

**SUBMITTAL TO THE BOARD OF SUPERVISORS
COUNTY OF RIVERSIDE, STATE OF CALIFORNIA**



FROM: TLMA - Planning Department

SUBMITTAL DATE:
October 14, 2008

SUBJECT: CHANGE OF ZONE NO. 7516, PLOT PLAN NO. 23259, TENTATIVE PARCEL MAP NO. 35882, (FAST TRACK NO. 2007-40) – (Mitigated Negative Declaration) – Applicant: Quarry Business Park, LLC – Engineer / Representative: Handley Engineering - First Supervisorial District – Glen Ivy Zoning Area – Temescal Canyon Area Plan: Community Development: Light Industrial (CD:LI) (0.25-0.60 Floor Area Ratio) – Location: Northeasterly of Temescal Canyon Road and Interstate 15, and southerly of Leroy Road – 12.74 Gross Acres - Zoning: Mineral Resources and Related Manufacturing (M-R-A) - **REQUEST: Change of zone proposes to alter the project site's current zoning classification from Mineral Resources and Related Manufacturing (M-R-A) to Manufacturing-Service Commercial (M-SC). The tentative parcel map is a Schedule "E" subdivision of 12.74 gross acres into six (6) industrial lots (Lots 1-6), and two (2) lettered lots, Lot A for common area for Lots 1 and 2, and Lot B for dedication to the public right-of-way. Lot 1 shall be 0.26 acres; Lot 2 shall be 0.30 acres; Lot 3 shall be 1.58 acres; Lot 4 shall be 1.34 acres; Lot 5 shall be 3.68 acres; Lot 6 shall be 3.90 acres; and, Lot A shall be 1.68 acres. The plot plan proposes to construct six (6) two-story buildings totaling 238,088 square feet for future industrial, manufacturing, and/or commercial uses.**

RECOMMENDED MOTION:

The Planning Department recommended Approval; and
THE PLANNING COMMISSION RECOMMENDED:

ADOPTION of a **MITIGATED NEGATIVE DECLARATION** for **ENVIRONMENTAL ASSESSMENT NO. 41708**, based on the findings incorporated in the initial study and the conclusion that the project will not have a significant effect on the environment; and,

APPROVAL of **CHANGE OF ZONE NO. 7516**, amending the zoning classification for the

Ron Goldman
Planning Director

RG:db

CONTINUED ON ATTACHED PAGE

REVIEWED BY EXECUTIVE OFFICE

DATE 10/21/08
Tina Grande
Departmental Concurrence

Policy Policy
Consent Consent
Dep't Recomm.: Per Exec. Ofc.:

The Honorable Board of Supervisors

RE: Change of Zone No. 7516, Plot Plan No. 23259, Tentative Parcel Map No. 35882,
(Fast Track No. 2007-40)

Page 2 of 2

subject property from Mineral Resources and Related Manufacturing (M-R-A) to Manufacturing Service Commercial (M-SC), in accordance with Exhibit #3, based upon the findings and conclusions incorporated in the staff report; and,

APPROVAL of **TENTATIVE PARCEL MAP NO. 35882**, subject to the attached conditions of approval, and based upon the findings and conclusions incorporated in the staff report; and,

APPROVAL of **PLOT PLAN NO. 23259**, subject to the attached conditions of approval and based upon the findings and conclusions incorporated in the staff report.

**PLANNING COMMISSION
MINUTE ORDER OCTOBER 1, 2008
RIVERSIDE COUNTY ADMINISTRATIVE CENTER**

I. **AGENDA ITEM 5.3: FAST TRACK NO. 2007- 40, CHANGE OF ZONE NO. 7516, TENTATIVE PARCEL MAP NO. 35882 AND PLOT PLAN NO. 23259** – Intent to Adopt a Mitigated Negative Declaration – Applicant: Quarry Business Park, LLC – Engineer/Representative: Handley Engineering – First Supervisorial District – Glen Ivy Zoning Area – Temescal Canyon Area Plan: Community Development: Light Industrial (CD: LI) (0.25-0.60 floor area ratio) – Location: Northeasterly of Temescal Canyon Road and Interstate 15 and southerly of Leroy Road. – 12.74 gross acres – Zoning: Mineral Resources and Related Manufacturing (M-R-A) – APN: 283-110-051. (Legislative)

II. **PROJECT DESCRIPTION**

The Change of Zone proposes to alter the project site's current zoning classification from Mineral Resources and Related Manufacturing (M-R-A) to Manufacturing Service Commercial (M-SC). The Tentative Parcel Map is a Schedule "E" subdivision of 12.74 gross acres into six (6) industrial lots (Lots 1-6), and two (2) lettered lots. The Plot Plan proposes to construct six (6) two-story commercial/manufacturing buildings totaling 238,088 square feet on 12.74 gross acres, with a floor area ratio of 0.43. There is a total of 29,519 square feet of office space, 49,600 square feet of warehouse space, and 158,969 square feet of manufacturing. The project includes 493 standard parking stalls, including 12 stalls for persons with disabilities and 6 van stalls for persons with disabilities. The project includes a total of 16 loading spaces, and 101,342 square feet of landscaping.

III. **MEETING SUMMARY**

The following staff presented the subject proposal:

Project Planner, Nicole Berumen, at 951-955-0545 or e-mail nberumen@rcttma.org.

The following spoke in favor of the subject proposal:

Darrell Clendenen, Applicant

Larry Markham, Applicant's Representative

Jessica Bavos, Applicant's Representative

The following would like to be recorded as in favor of the subject proposal but did not wish to speak:

Brett French, Landscape Architect, 1746 N. Bridgeport Ave., Claremont, California 91711

Bill Handley, Applicant's Representative, 130 El Camino Real #200, Tustin, California 92780

No one spoke in neutral or opposition of the subject proposal.

IV. **CONTROVERSIAL ISSUES**

NONE

V. **PLANNING COMMISSION ACTION**

The Planning Commission, by a vote of 5-0, recommended to the Board of Supervisors:

ADOPTION of a **MITIGATED NEGATIVE DECLARATION** for **ENVIRONMENTAL ASSESSMENT NO. 41708**, based on the findings incorporated in the initial study and the conclusion that the project will not have a significant effect on the environment; and,

**PLANNING COMMISSION
MINUTE ORDER OCTOBER 1, 2008
RIVERSIDE COUNTY ADMINISTRATIVE CENTER**

PLANNING COMMISSION 10/1/08
AGENDA ITEM NO. 5.3 PAGE 2

TENTATIVE APPROVAL of **CHANGE OF ZONE NO. 7516**, amending the zoning classification for the subject property from Mineral Resources and Related Manufacturing (M-R-A) to Manufacturing Service Commercial (M-SC), in accordance with Exhibit #3, based upon the findings and conclusions incorporated in the staff report; and,

APPROVAL of **TENTATIVE PARCEL MAP NO. 35882**, subject to the attached conditions of approval, and based upon the findings and conclusions incorporated in the staff report; and,

APPROVAL of **PLOT PLAN NO. 23259**, subject to the attached conditions of approval and based upon the findings and conclusions incorporated in the staff report.

VI. CD

The entire discussion of this agenda item can be found on CD. For a copy of the CD, please contact Chantell M. Griffin, Planning Commission Secretary, at (951) 955-3251 or E-mail at cgriffin@rctlma.org.

Agenda Item No.:
Area Plan: Temescal Canyon
Zoning Area: Glen Ivy
Supervisory District: First
Project Planner: Nicole Berumen
Planning Commission: October 1, 2008

Fast Track No. 2007-40
Change of Zone No. 7516
Tentative Parcel Map No. 35882
Plot Plan No. 23259
EA Number: 41708
Applicant: Quarry Business Park, LLC
Engineer/Rep.: Handley Engineering

**COUNTY OF RIVERSIDE PLANNING DEPARTMENT
ADDENDUM STAFF REPORT**

THE FOLLOWING MODIFICATIONS TO THE STAFF REPORT OCCURRED AT THE OCTOBER 1, 2008 PLANNING COMMISSION HEARING:

Environmental Assessment No. 23259-

Section 24 Floodplains: Findings of Facts a, b, c, and d referenced the project was located within a 100 year floodplain. The proposed project is not located within a 100 year floodplain, therefore the references to the floodplain were removed.

Section 27 Mineral Resources: Findings of Facts a, b, c, and d were modified to include BGR060011 which was issued in 2006.

Agenda Item No.: 5.3
Area Plan: Temescal Canyon
Zoning Area: Glen Ivy
Supervisorial District: First
Project Planner: Nicole Berumen
Planning Commission: October 1, 2008

Fast Track No. 2007-40
Change of Zone No. 7516
Tentative Parcel Map No. 35882
Plot Plan No. 23259
EA Number: 41708
Applicant: Quarry Business Park, LLC
Engineer/Rep.: Handley Engineering

COUNTY OF RIVERSIDE PLANNING DEPARTMENT STAFF REPORT

PROJECT DESCRIPTION AND LOCATION:

Change of Zone No. 7516 proposes to alter the project site's current zoning classification from Mineral Resources and Related Manufacturing (M-R-A) to Manufacturing Service Commercial (M-SC).

Tentative Parcel Map No. 35882 proposes a Schedule "E" subdivision of 12.74 gross acres into six (6) industrial lots (Lots 1-6), and two (2) lettered lots, Lot A for common area for Lots 1 and 2, and Lot B for dedication to the public right-of-way. Lot 1 shall be 0.26 gross acres; Lot 2 shall be 0.30 gross acres; Lot 3 shall be 1.58 gross acres; Lot 4 shall be 1.34 gross acres; Lot 5 shall be 3.68 gross acres; Lot 6 shall be 3.90 gross acres; and, Lot A shall be 1.68 gross acres.

Plot Plan No. 23259 proposes to construct six (6) two-story buildings totaling 238,088 square feet for future industrial, manufacturing, and/or commercial use on 12.74 gross acres.

- Building 1 is a multi-tenant building and totals 13,957 square feet (first floor: 11,342 sq. ft. and second floor: 2,615 sq. ft.).
- Building 2 is a multi-tenant building and totals 16,271 square feet (first floor: 12,990 sq. ft. and second floor: 3,281 sq. ft.).
- Building 3 has 4,000 square feet of office, 6,000 square feet of warehouse, and 20,341 square feet of manufacturing totaling 30,341 square feet (first floor: 28,341 sq. ft. and second floor: 2,000 sq. ft.).
- Building 4 has 4,000 square feet of office, 5,000 square feet of warehouse, and 16,975 square feet of manufacturing totaling 25,975 square feet (first floor: 23,975 sq. ft. and second floor: 2,000 sq. ft.).
- Building 5 has 4,000 square feet of office, 14,000 square feet of warehouse, and 55,006 square feet of manufacturing totaling 73,006 square feet (first floor: 71,006 sq. ft. and second floor: 2,000 sq. ft.).
- Building 6 has 7,000 square feet of office, 15,000 square feet of warehouse, and 56,538 of manufacturing totaling 78,538 square feet (first floor: 75,038 sq. ft. and second floor: 3,500 sq. ft.).

There is a total of 29,519 square feet of office space, 49,600 square feet of warehouse space, and 158,969 square feet of manufacturing. The project includes 493 standard parking stalls, including 12 stalls for persons with disabilities and 6 van stalls for persons with disabilities. The project includes a total of 16 loading spaces, and 101,342 (18%) square feet of landscaping.

The proposed project is located in the Temescal Canyon Area Plan of Western Riverside County; more specifically the project is located northeasterly of Temescal Canyon Road and Interstate 15 and southerly of Leroy Road.

AND/4

SUMMARY OF FINDINGS:

- | | |
|------------------------------------|--|
| 1. General Plan Land Use (Ex. #5): | Community Development: Light Industrial (CD: LI) (0.25-0.60 floor area ratio) |
| 2. Proposed Zoning (Ex. #2): | Manufacturing Service Commercial (M-SC) |
| 3. Surrounding Zoning (Ex. #2): | Wild Rose Specific Plan No. 176A4 Planning Area III-5 to the north, Manufacturing Service Commercial (M-SC) to the south, Mineral Resources and Related Manufacturing (M-R-A) to the east, and Wild Rose Specific Plan No. 176A4 Planning Areas III-2, I-9, and I-8 to the west. |
| 4. Existing Land Use (Ex. #1): | Vacant |
| 5. Surrounding Land Use (Ex. #1): | Manufacturing and Light Industrial uses to the north, vacant land and Interstate 15 to the south, vacant to the east, and Interstate 15, single family residential uses, medical offices and day care to the west. |
| 6. Project Data: | Total Acreage: 12.74 gross
Total Proposed Lots: eight (8)
Total Number of Buildings: six (6)
Total Building Square Footage: 238,088
Total Landscaping: 101,342 (18% of the site)
Total Parking: 493 standard spaces, 12 for persons with disabilities, 6 van stalls for persons with disabilities, and 16 loading spaces. |
| 7. Environmental Concerns: | See attached environmental assessment |

RECOMMENDATIONS:

ADOPTION of a **MITIGATED NEGATIVE DECLARATION** for **ENVIRONMENTAL ASSESSMENT NO. 41708**, based on the findings incorporated in the initial study and the conclusion that the project will not have a significant effect on the environment; and,

TENTATIVE APPROVAL of **CHANGE OF ZONE NO. 7516**, amending the zoning classification for the subject property from Mineral Resources and Related Manufacturing (M-R-A) to Manufacturing Service Commercial (M-SC), in accordance with Exhibit #3, based upon the findings and conclusions incorporated in the staff report; and,

APPROVAL of **TENTATIVE PARCEL MAP NO. 35882**, subject to the attached conditions of approval, and based upon the findings and conclusions incorporated in the staff report; and,

APPROVAL of **PLOT PLAN NO. 23259**, subject to the attached conditions of approval and based upon the findings and conclusions incorporated in the staff report.

CONCLUSIONS:

Move down ↓

1. The proposed project is in conformance with the Community Development: Light Industrial (CD: LI) (0.25-0.60 floor area ratio) Land Use Designation, and with all other elements of the Riverside County General Plan.
2. The proposed project is consistent with the Manufacturing Service Commercial (M-SC) zoning classification of Ordinance No. 348, and with all other applicable provisions of Ordinance No. 348.
3. The proposed project is consistent with the Schedule E map requirements of Ordinance No. 460, and with other applicable provisions of Ordinance No. 460.
4. The public's health, safety, and general welfare are protected through project design.
5. The proposed project is clearly compatible with the present and future logical development of the area.
6. The proposed project will not have a significant effect on the environment.
7. The proposed project will not preclude reserve design for the Multi-Species Habitat Conservation Plan (MSCHP).

FINDINGS: The following findings are in addition to those incorporated in the summary of findings , and in the attached environmental assessment, which is incorporated herein by reference.

1. The project site is designated Community Development: Light Industrial (CD: LI) (0.25-0.60 floor area ratio) on the Temescal Canyon Area Plan.
2. The proposed use, six (6) buildings totaling 238,088 sq. ft. on 12.74 gross acres for future industrial, manufacturing, and/or commercial uses, and with a floor area ratio of 0.43, is permitted use in the Community Development: Light Industrial (CD: LI) (0.25-0.60 floor area ratio) designation.
3. The proposed commercial subdivision with a minimum lot size of 0.26 acres, is permitted in the Community Development: Light Industrial (CD: LI) (0.25-0.60) designation.
4. The project site is surrounded by properties which are designated Community Development: Light Industrial (LI) (0.25-0.60) to the north and south, Community Development: Light Industrial (LI) (0.25-0.60) and Open Space: Water (W) to the east, and Community Development: Business Park (BP) (0.25-0.60) to the west.
5. The proposed zoning for the subject site is Manufacturing Service Commercial (M-SC).
6. The proposed use, six (6) buildings totaling 238,088 sq. ft. on 12.74 gross acres for future industrial, manufacturing, and/or commercial uses, is a permitted use, subject to approval of a plot plan in the Manufacturing Service Commercial (M-SC) zone.

7. The proposed use, six (6) buildings totaling 238,088 sq. ft. on 12.74 gross acres for future industrial, manufacturing, and/or commercial uses, is consistent with the development standards set forth in the Manufacturing Service Commercial (M-SC) zone.
8. The proposed commercial subdivision is permitted, subject to an approval of a tentative parcel map in the Manufacturing Service Commercial (M-SC) zone.
9. The proposed subdivision is consistent with the development standards set forth in the Manufacturing Service Commercial (M-SC) zone.
10. The project site is surrounded by properties which are zoned Specific Plan No. 176A4, P.A. III-5 and P.A. III-4 to the north, Manufacturing Service Commercial (M-SC) to the south, Mineral Resources and Related Manufacturing (M-R-A) to the east, and Specific Plan No. 176A4, P.A. III-2, I-9, and I-8 to the west.
11. Industrial, manufacturing and commercial uses have been constructed and are operating in the project vicinity to the north and west.
12. The proposed project is located within the 1-1986 Project Area (El Cerrito/Temescal Canyon sub-area) Redevelopment Area and is consistent with the goals of the Redevelopment Area
13. This project is not located within a Criteria Area of the Multi-Species Habitat Conservation Plan.
14. This project is within the City Sphere of Influence of Corona. As such, it is required to conform to the County's Memorandum of Understanding (MOU) with the City of Corona. The project was transmitted to the City of Corona for review on January 25, 2008. As of the writing of this staff report, no comments have been received from the City of Corona. This project does conform to the MOU.
15. Environmental Assessment No. 41708 identified the following potentially significant impacts:
 - a. Biological Resources
 - b. Geology/Soils
 - c. Hazards and Hazardous Materials
 - d. Hydrology and Water Quality
 - e. Transportation and Traffic

These listed impacts will be fully mitigated by the measures indicated in the environmental assessment, conditions of approval, and attached letters. No other significant impacts were identified.

INFORMATIONAL ITEMS:

1. As of this writing, no letters, in support or opposition have been received.
2. The project site is not located within:
 - a. A MSHCP Criteria Area;
 - b. An Agricultural Preserve;
 - c. An Airport Influence Area;

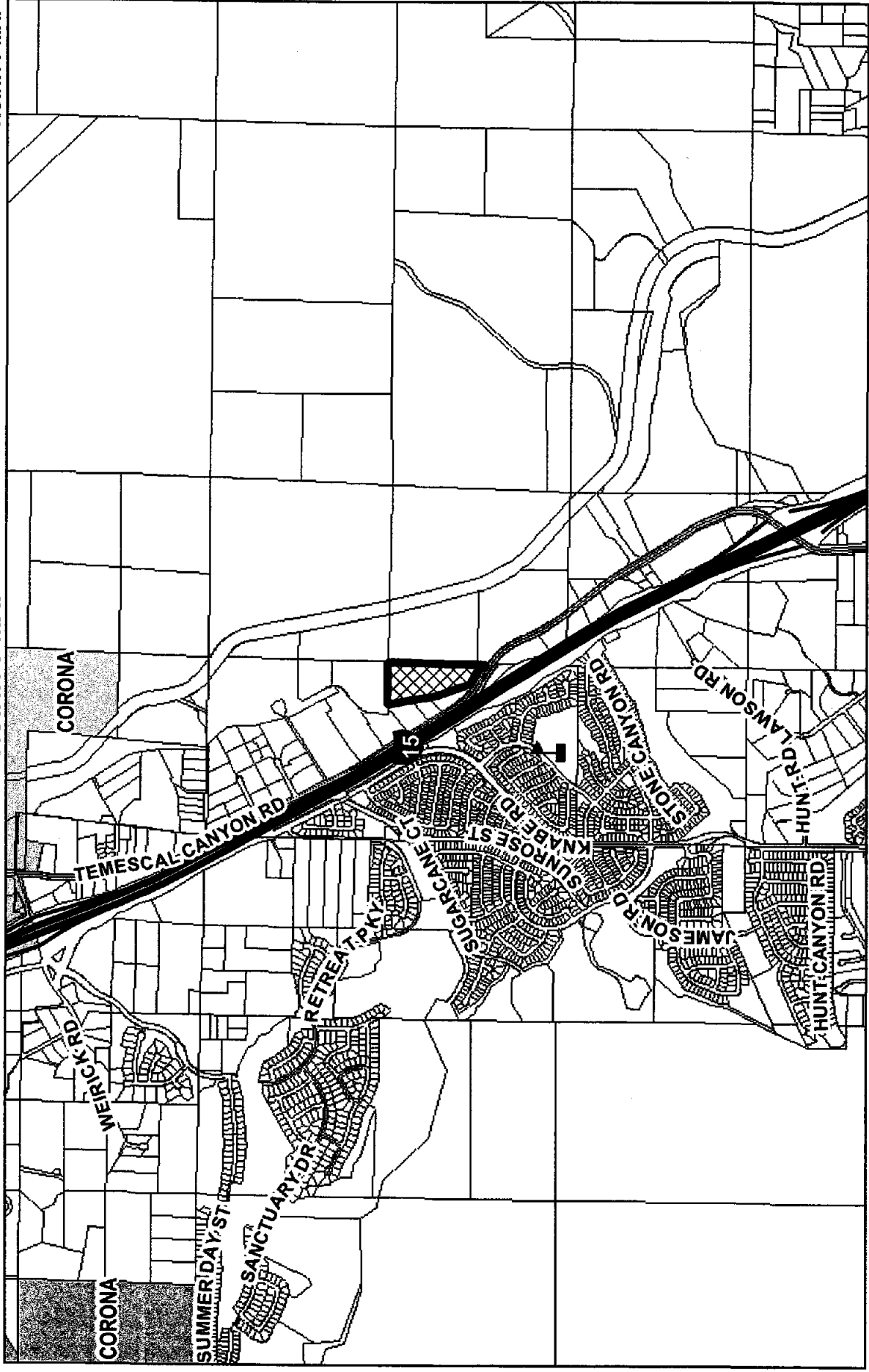
- d. A Fault Zone; or,
 - e. The Ord. 655 Mount Palomar Lighting Influence Area (46.96 miles).
3. The project site is located within:
- a. The City Sphere of Corona;
 - b. The Community of Glen Ivy Hot Springs;
 - c. A Redevelopment Area: 1-1986 Project Area (El Cerrito/Temescal Canyon sub-area);
 - d. The Corona-Norco Unified School District;
 - e. A Flood Zone (Zone A – 100 year);
 - f. The Stephen's Kangaroo Rat Fee Area; and,
 - g. A High Fire Area.
4. The subject site is currently designated as Assessor's Parcel Number 283-110-051.

NB: ls
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Date Prepared: 03/26/08
Date Revised: 9/03/08

Supervisor Buster
District 1
Date Drawn: 8/27/08

CZ07516 PP23259 PM35882
VICINITY MAP

Planner: Nicole Berumen
Date: 8/27/08
VICINITY MAP



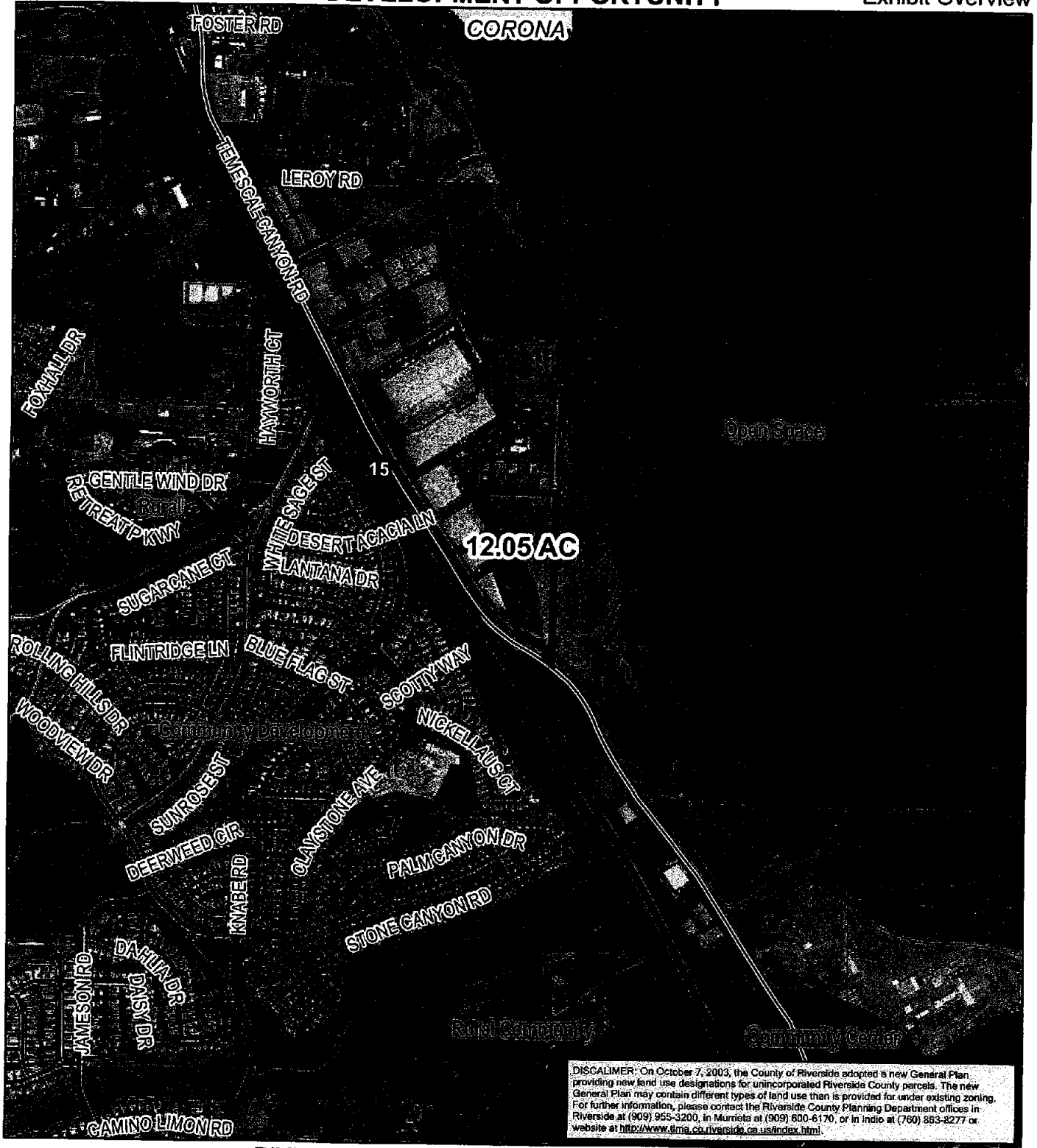
RIVERSIDE COUNTY PLANNING DEPARTMENT

Zone
Area: Glen Ivy
Township/Range: T4SR6W
Section : 27

Assessors
Blk. Pg. 283-11
Thomas
804 C3



DEVELOPMENT OPPORTUNITY



DISCLAIMER: On October 7, 2003, the County of Riverside adopted a new General Plan, providing new land use designations for unincorporated Riverside County parcels. The new General Plan may contain different types of land use than is provided for under existing zoning. For further information, please contact the Riverside County Planning Department offices in Riverside at (909) 955-3200, in Murrieta at (909) 600-6170, or in Indio at (760) 863-8277 or website at <http://www.rmcg.ca.us/index.html>.

RIVERSIDE COUNTY PLANNING DEPARTMENT

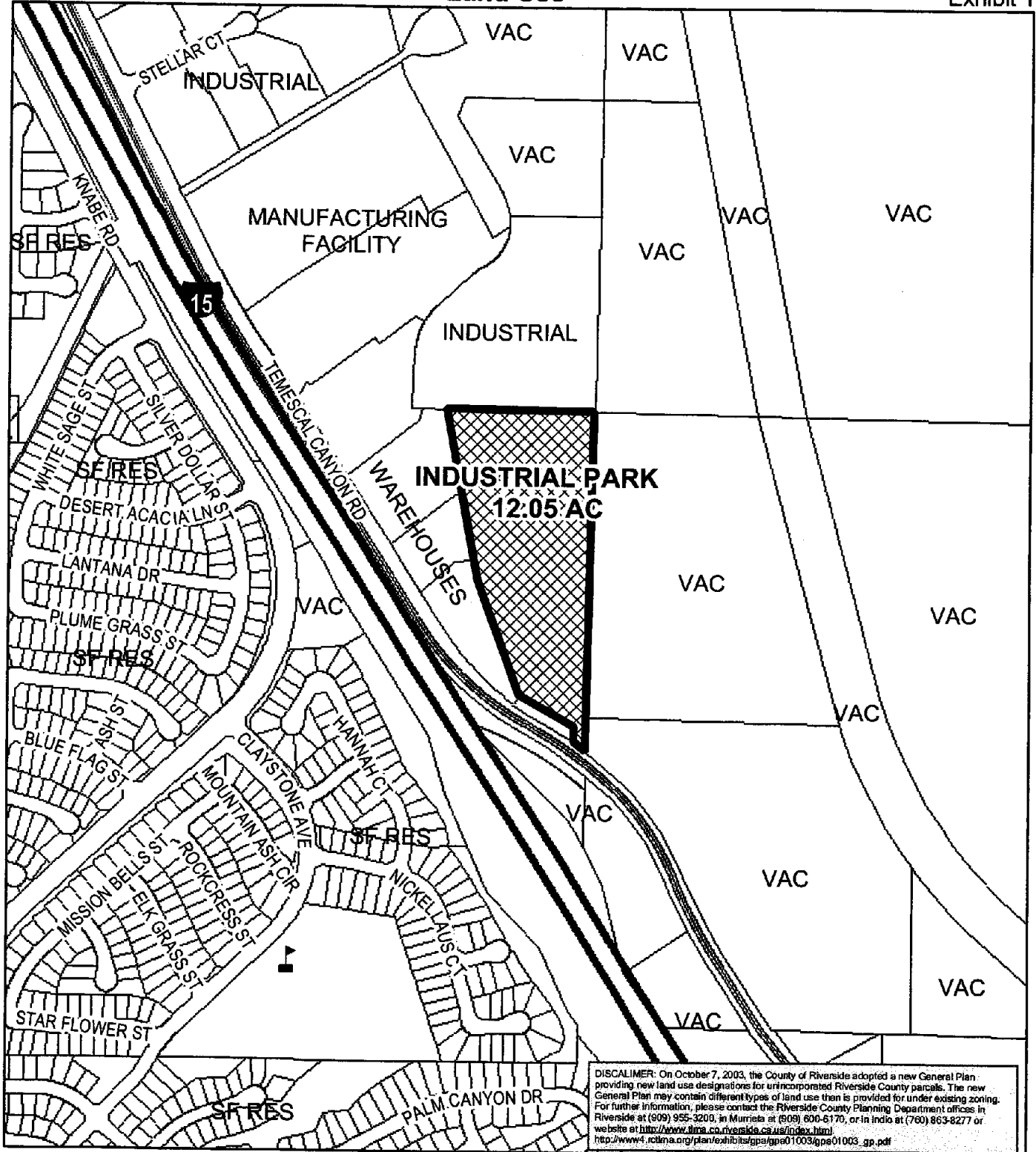
Area
 Plan: Glen Ivy
 Township/Range: T4SR6W
 Section: 27



Assessors
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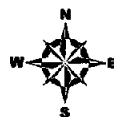
Land Use



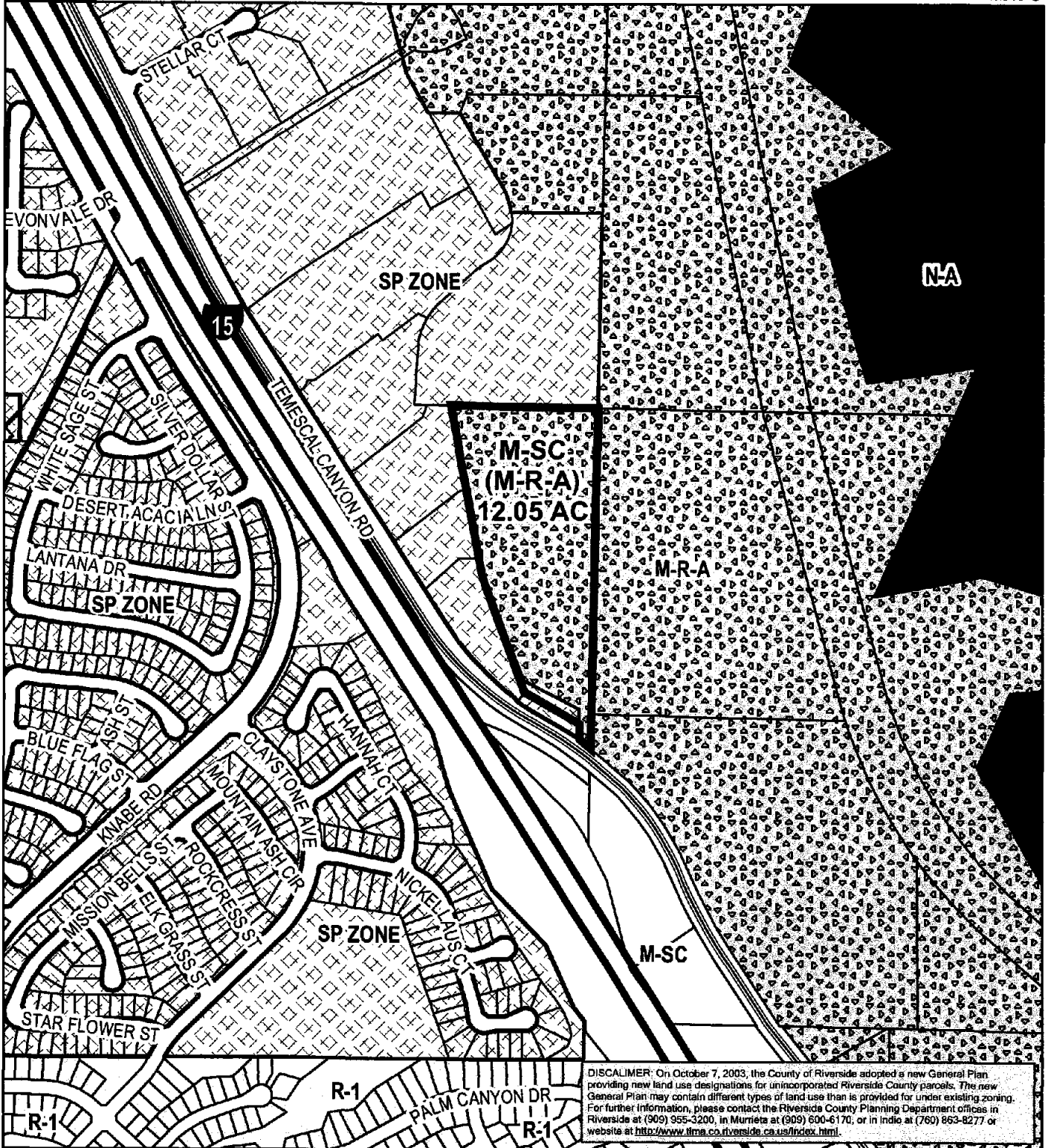
Zone
 Area: Glen Ivy
 Township/Range: T4SR6W
 Section: 27

RIVERSIDE COUNTY PLANNING DEPARTMENT

Assessors
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 Thomas
 Bros. Pg. 804 C3



PROPOSED ZONING

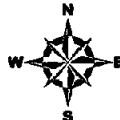


DISCLAIMER: On October 7, 2003, the County of Riverside adopted a new General Plan providing new land use designations for unincorporated Riverside County parcels. The new General Plan may contain different types of land use than is provided for under existing zoning. For further information, please contact the Riverside County Planning Department offices in Riverside at (909) 955-3200, in Murrieta at (909) 600-6170, or in Indio at (760) 863-8277 or website at <http://www.ltrm.ca.riverside.ca.us/index.html>.

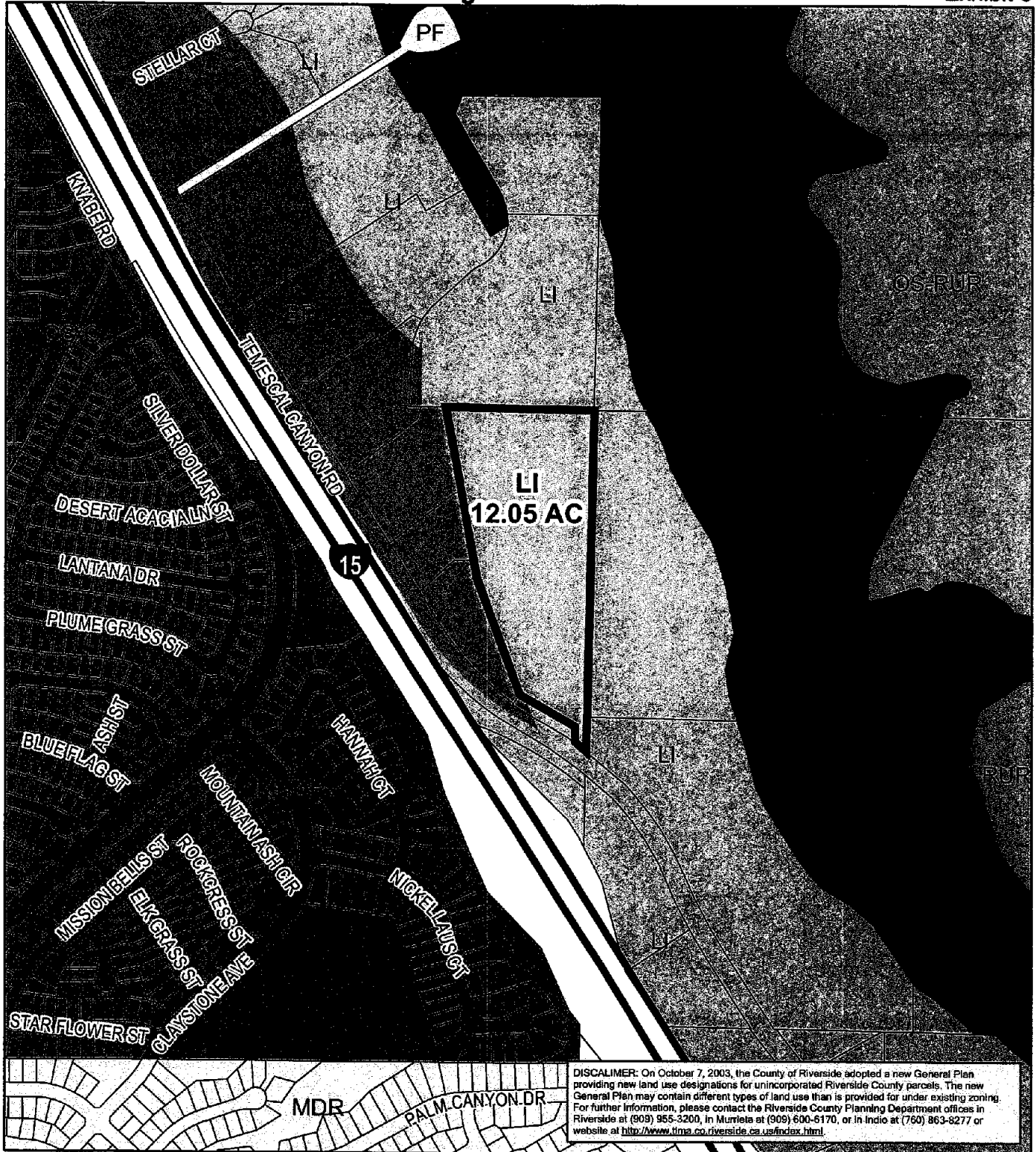
RIVERSIDE COUNTY PLANNING DEPARTMENT

Zone
Area: Glen Ivy
Township/Range: T4SR6W
Section : 27

Assessors
Bk. Pg. 283-11
Thomas
Bros. Pg. 804 C3



Existing General Plan



DISCALIMER: On October 7, 2003, the County of Riverside adopted a new General Plan providing new land use designations for unincorporated Riverside County parcels. The new General Plan may contain different types of land use than is provided for under existing zoning. For further information, please contact the Riverside County Planning Department offices in Riverside at (909) 955-3200, in Murrieta at (909) 600-6170, or in Indio at (760) 863-8277 or website at <http://www.tma.co.riverside.ca.us/index.html>.

Zone
Area: Glen Ivy
Township/Range: T4SR6W
Section : 27

RIVERSIDE COUNTY PLANNING DEPARTMENT

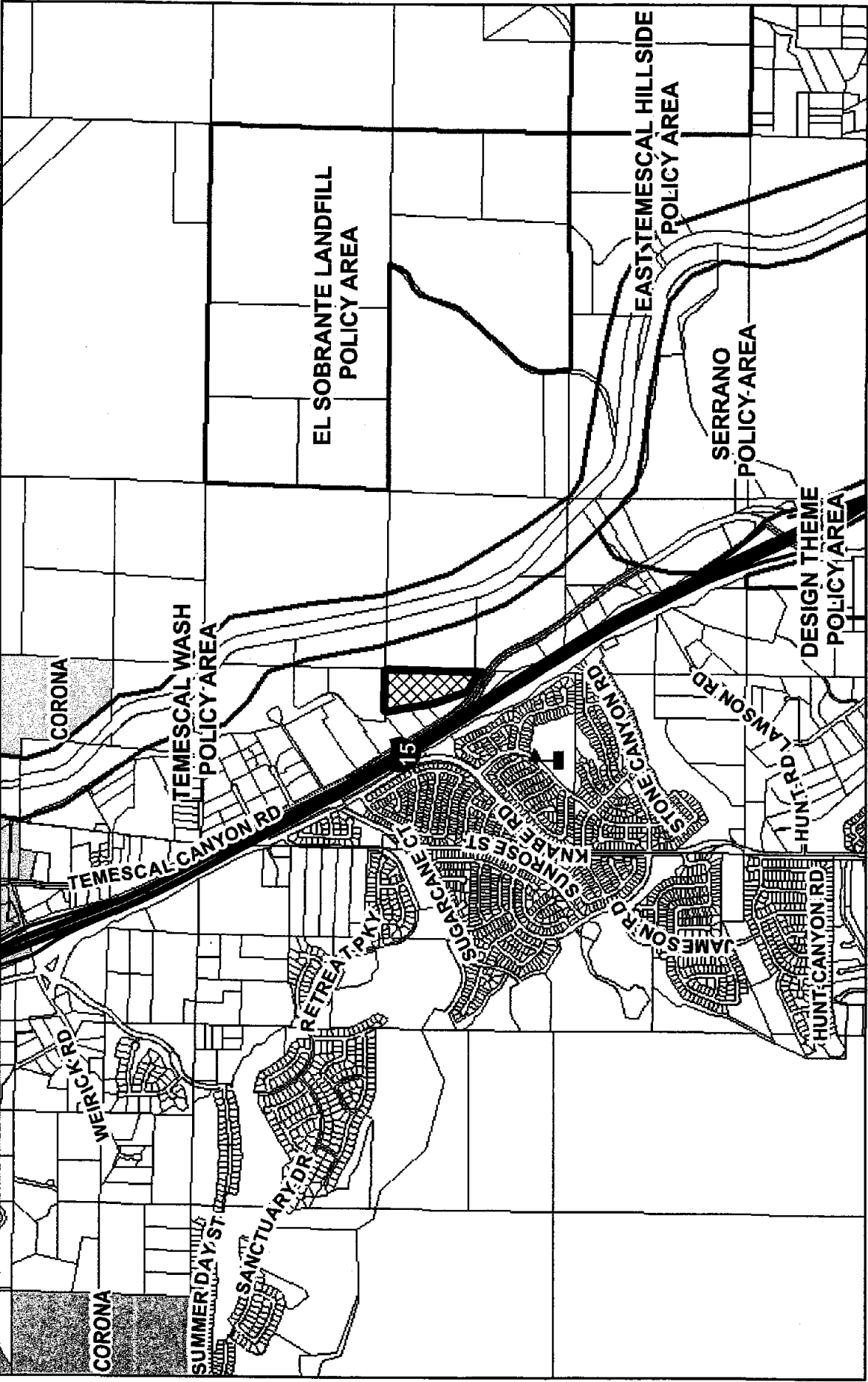
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Supervisor Buster
District 1
Date Drawn: 8/27/08

CZ07516 PP23259 PM35882
POLICY AREAS

Planner: Nicole Berumen
Date: 8/27/08
Exhibit 8



Zone: Glen Ivy
Area: Township/Range: T4SR6W
Section: 27

RIVERSIDE COUNTY PLANNING DEPARTMENT

Assessors
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Bros. Pg. 804 C3



NO.	REVISION	BY	DATE

HANDLEY ENGINEERING
 130 EL CAMINO REAL, SUITE 200
 TUSTIN, CA 92780
 (714) 669-1841



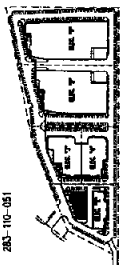
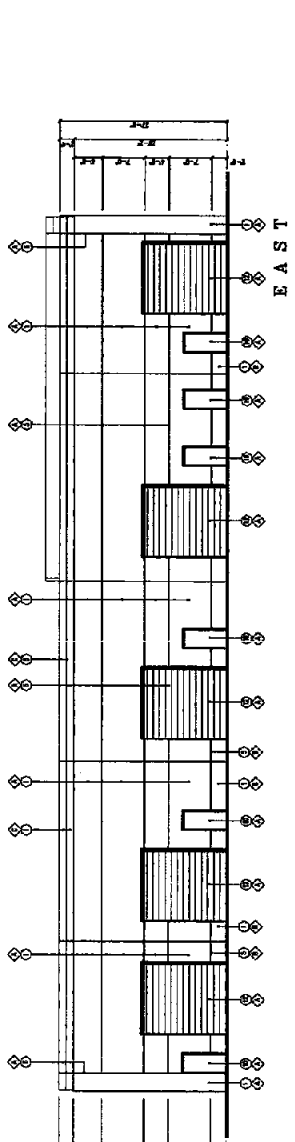
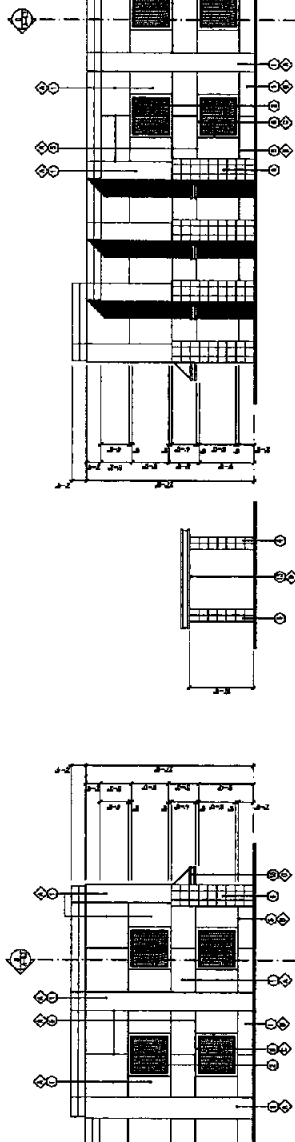
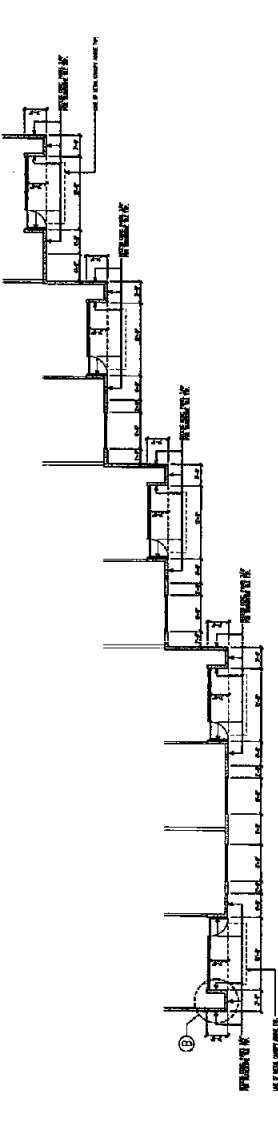
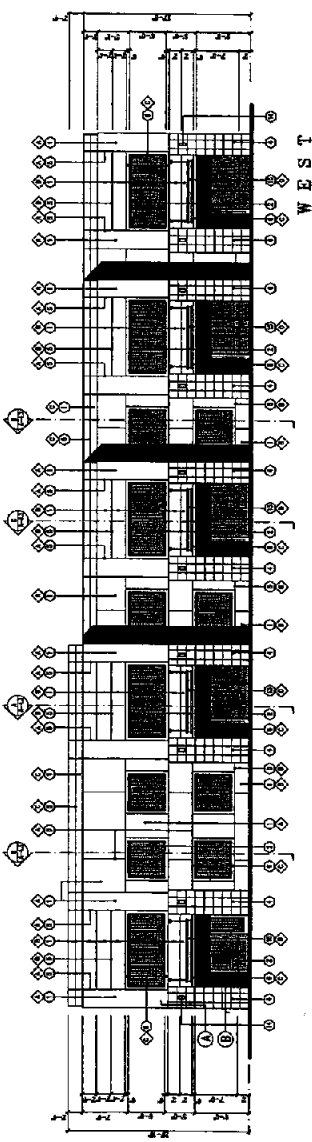
QUARRY BUSINESS PARK LLC
 GENERAL CANYON ROAD, INVERGEO COUNTY, CALIFORNIA

NEW INDUSTRIAL DEVELOPMENT FOR
 QUARRY BUSINESS PARK LLC
 GENERAL CANYON ROAD, INVERGEO COUNTY, CALIFORNIA
 DATE: 11/20/03
 JOB NO: 03-01
 DRAWING: 03-01-01
 SHEET: 03-01-01-01
 SCALE: 1/8" = 1'-0"
 SHEET: A-81
 OF: 2 SHEETS

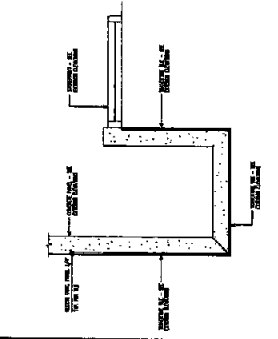
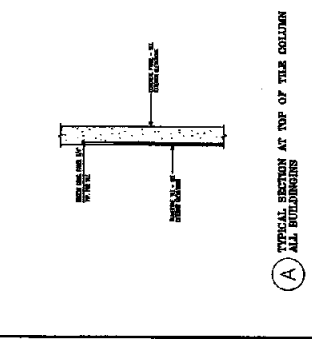
- ELEVATION NOTES :**
- 1. (SHOW) TRIM SURFACE PANEL - FINISH
 - 2. 1/2" X 1/2" X 1/2" METAL ANGLE TO BE LOCATED AS SHOWN
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- NOTE:**
1. ALL STRUCTURAL CONNECTIONS, CLAS AND METAL ATTACHMENTS SHALL BE AS SHOWN AND SHALL BE DESIGNED TO MEET ALL APPLICABLE CODES AND STANDARDS.
 2. STRUCTURAL STEEL MEMBERS SHALL BE AS SHOWN AND SHALL BE DESIGNED TO MEET ALL APPLICABLE CODES AND STANDARDS.
 3. THE FINISH SURFACE PANELS SHALL BE AS SHOWN AND SHALL BE DESIGNED TO MEET ALL APPLICABLE CODES AND STANDARDS.

- COLOR SCHEDULE :**
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KEY PLAN
 EXTERIOR ELEVATIONS BUILDING 1 EXHIBIT "B"



(A) TYPICAL SECTION AT TOP OF THE COLUMN ALL BUILDINGS

(B) TYPICAL PLAN VIEW WITH THE COLUMN ALL BUILDINGS

COVERED JUNGLE TRIBAL ELEVATOR
 TYPICAL (4) BAYS

NO.	REVISION	BY	DATE

HANDLEY ENGINEERING
 150 E. CAMINO REAL, SUITE 200
 TUSTIN, CA 92780
 (714) 889-1141



KEY INDUSTRIAL DEVELOPMENT FOR
QUARRY BUSINESS PARK LLC
 12500 CANYON ROAD, ANIMESIDE COUNTY, CALIFORNIA

DATE: 11/20/07
 DRAWN BY: JLD/ST
 CHECKED BY: JLD/ST
 SCALE: 1/8" = 1'-0"
 SHEET: A-3.2
 OF: 3

- ELEVATION NOTES:**
- 1. EXISTING BUILDING CONSTRUCTION - FINISH - PAINT
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- 1. ALL EXISTING CONSTRUCTION SHALL BE AS SHOWN ON THE ATTACHED PLANS AND SPECIFICATIONS. ALL NEW CONSTRUCTION SHALL BE AS SHOWN ON THE ATTACHED PLANS AND SPECIFICATIONS.
- 2. STRUCTURAL steel reinforcement of all EXISTING CONSTRUCTION SHALL BE AS SHOWN ON THE ATTACHED PLANS AND SPECIFICATIONS.
- 3. ALL NEW CONSTRUCTION SHALL BE AS SHOWN ON THE ATTACHED PLANS AND SPECIFICATIONS.
- 4. THE FINISH SHALL BE AS SHOWN ON THE ATTACHED PLANS AND SPECIFICATIONS.

LANDOWNER & APPLICANT
 QUARRY BUSINESS PARK, LLC
 2215 PANAMA ROAD, SUITE 107
 CORONA, CALIFORNIA 92839
 PHONE: (951) 734-5270

EXHIBIT PREPARER
 HANDLEY ENGINEERING
 150 E. CAMINO REAL, SUITE 200
 TUSTIN, CA 92780
 (714) 889-1141

ASSESSOR'S PARCEL NUMBER
 283-10-051

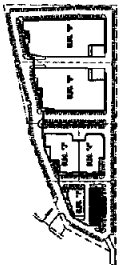
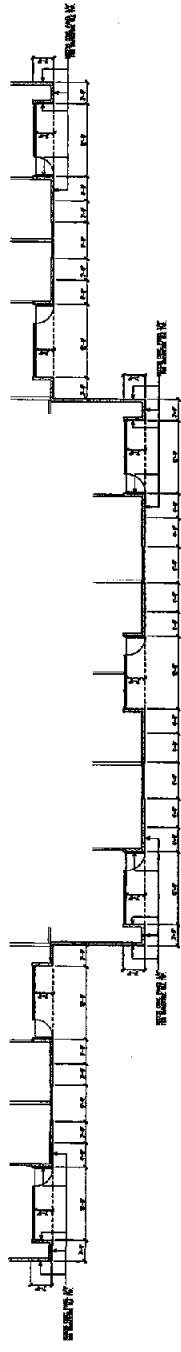
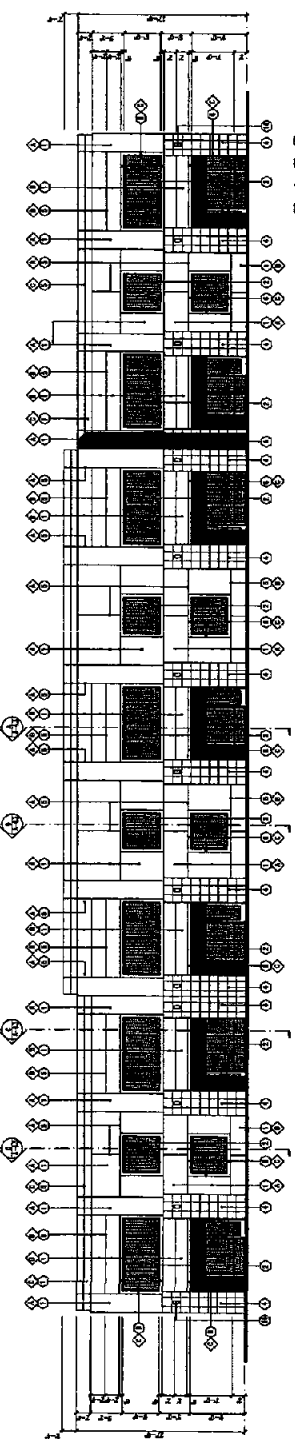
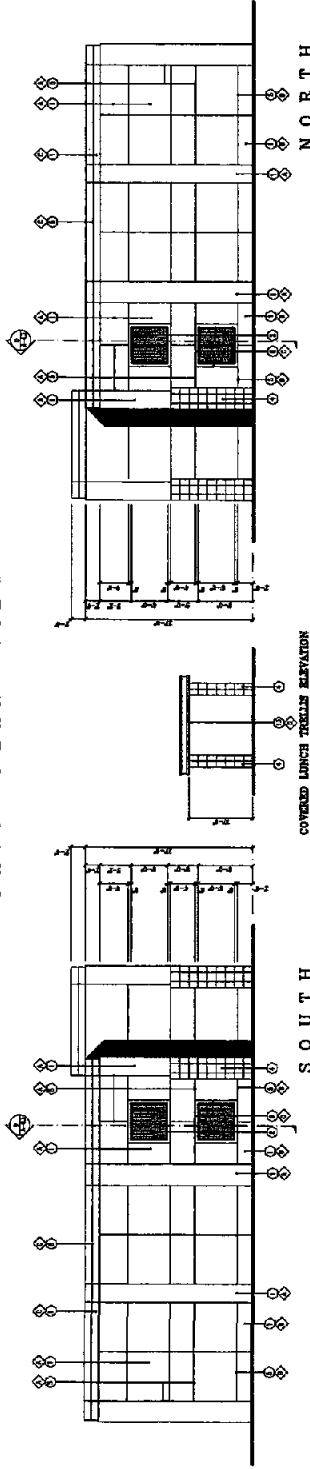


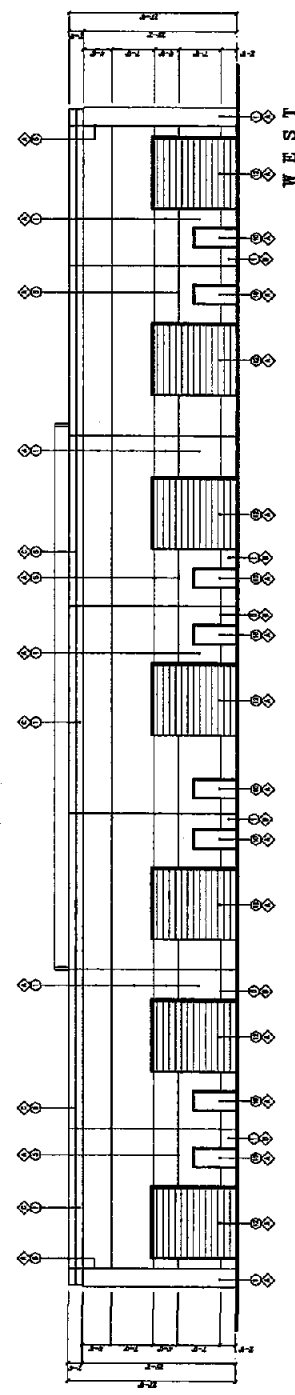
EXHIBIT "B"



EAST PLAN VIEW



EAST ELEVATION



WEST ELEVATION

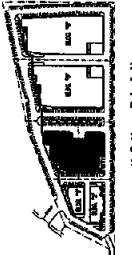
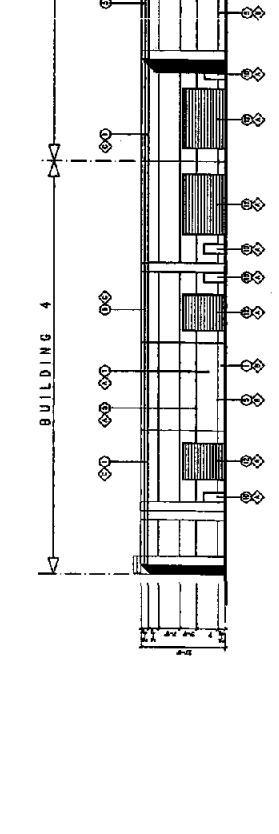
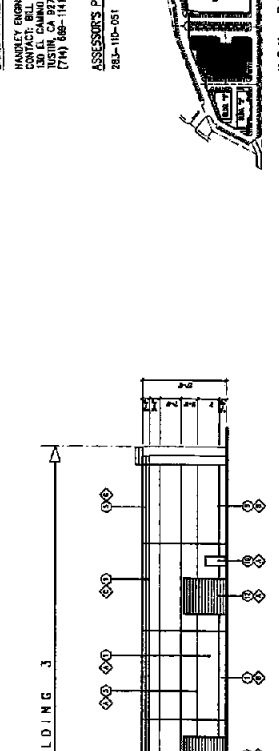
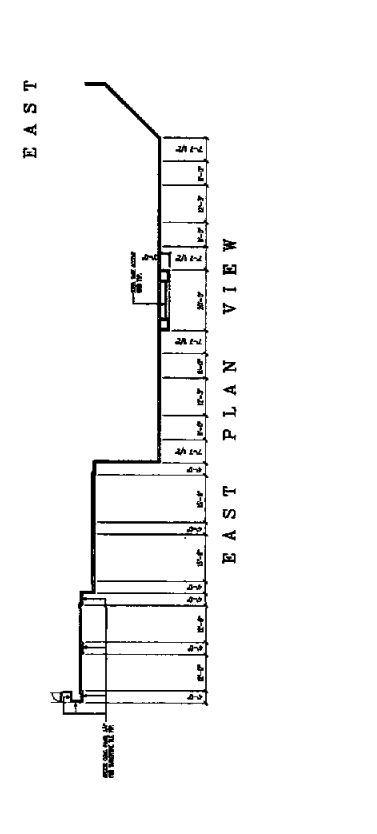
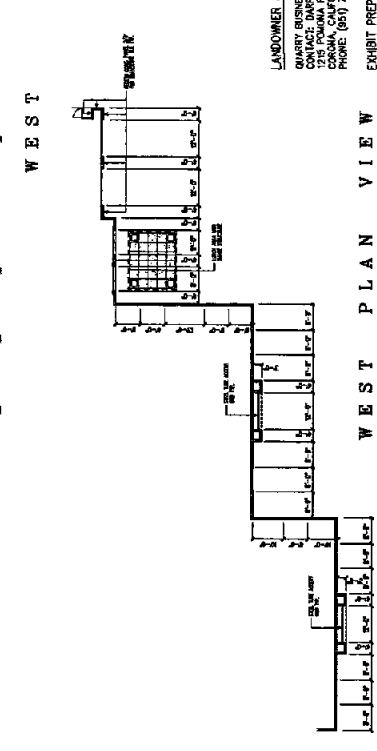
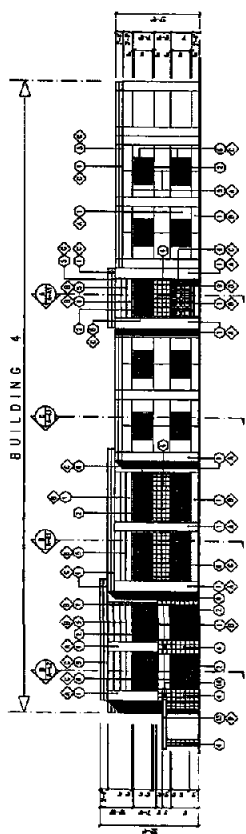
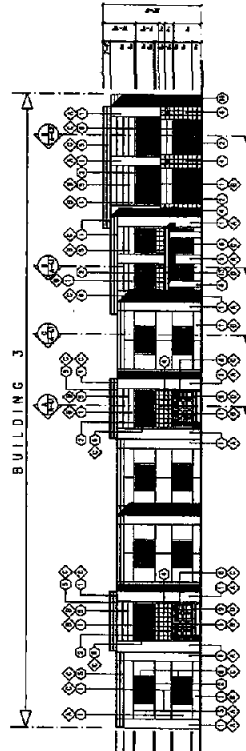
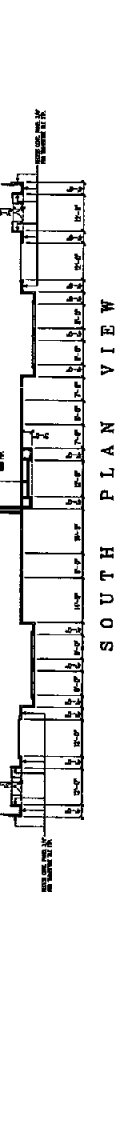
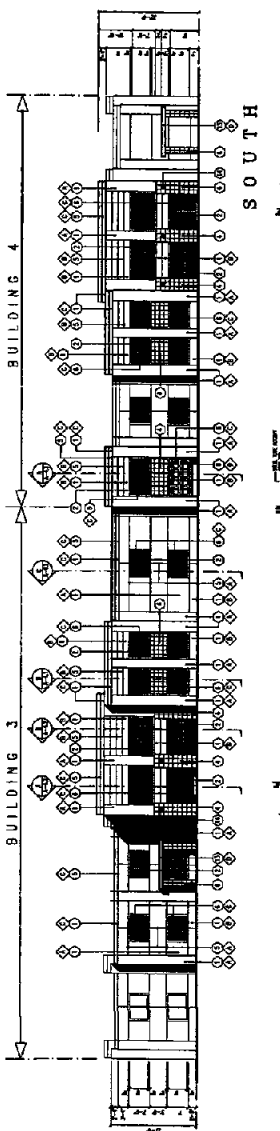
EXTERIOR ELEVATIONS BUILDING 2

NO.	REVISION	BY	DATE



- NOTE:**
1. DIMENSIONS AND MATERIALS SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.
 2. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
 3. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
 4. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
- COLOR SCHEDULE:**
- ① PAINT - EXTERIOR
 - ② PAINT - INTERIOR
 - ③ PAINT - ROOF
 - ④ PAINT - TRUSS
 - ⑤ PAINT - CEILING
 - ⑥ PAINT - FLOOR
 - ⑦ PAINT - WALL
 - ⑧ PAINT - DOOR
 - ⑨ PAINT - WINDOW
 - ⑩ PAINT - SIGN
 - ⑪ PAINT - TRAILER
 - ⑫ PAINT - FENCE
 - ⑬ PAINT - LIGHT
 - ⑭ PAINT - RAMP
 - ⑮ PAINT - STAIR
 - ⑯ PAINT - ELEVATOR
 - ⑰ PAINT - MECHANICAL
 - ⑱ PAINT - ELECTRICAL
 - ⑲ PAINT - PLUMBING
 - ⑳ PAINT - HVAC
 - ㉑ PAINT - FIRE
 - ㉒ PAINT - SAFETY
 - ㉓ PAINT - SECURITY
 - ㉔ PAINT - ACCESS
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 - ㊾ PAINT - CLEANING
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- REVISION NOTES:**
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LANDOWNER & APPLICANT:
 QUARRY BUSINESS PARK, LLC
 CONTACT: JAMES GLENN
 1000 INDUSTRIAL DEVELOPMENT FOR
 BENECA CANYON ROAD, PERRIS, CALIFORNIA 92462
 PHONE: (951) 734-8570

EXHIBIT PREPARER:
 HANDLEY ENGINEERING
 150 S. CHANDLER BLVD.
 SUITE 200
 COSTA MESA, CA 92626
 (714) 669-1841

ASSESSOR'S PARCEL NUMBER:
 283-110-051

KEY PLAN

EXHIBIT "B"

EXTERIOR ELEVATIONS BUILDING 3 & 4

NO.	REVISION	BY	DATE

HANDLEY ENGINEERING
 130 EL CAMINO REAL, TUSTIN, CA 92780
 (714) 899-1141



QUARRY BUSINESS PARK LLC
 12345 QUARRY ROAD, WINDSOR COUNTY, CALIFORNIA
 NEW INDUSTRIAL DEVELOPMENT FOR
 THERMAL, CALIFORNIA, WINDSOR COUNTY, CALIFORNIA

DATE	11/20/2017
JOB NO.	001-02
DRAWN	MA
CHECKED	MA
SCALE	1/8" = 1'-0"
SHEET	A-34
OF SHEETS	3

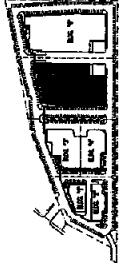
- ELEVATION NOTES :**
1. SHOW TRUSS MEMBER PANELS - FINISH
 2. 1/4" VERTICAL GLAZING BEZEL OR REFLECTIVE GLASS IN CLEAR
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- NOTES:**
1. ALL EXTERIOR CONSTRUCTION, CLAY AND METAL, ATTACHMENTS, FASTENERS AND PANELS SHALL BE DESIGNED TO MEET OR EXCEED THE FOLLOWING:
 2. STRUCTURAL STEEL MEMBERSHIP OF THE EXTERIOR SYSTEM SHALL BE THE RESPONSIBILITY OF THE CLIENT CONTRACTOR.
 3. THIS SYSTEM IS NOT TO BE USED FOR ANY OTHER PURPOSES.
- COLOR SCHEDULE :**
- 1. "PAINT" - WHITE
 - 2. "PAINT" - LIGHT GREY
 - 3. "PAINT" - LIGHT BLUE
 - 4. "PAINT" - LIGHT GREEN
 - 5. "PAINT" - LIGHT BROWN
 - 6. "PAINT" - LIGHT TAN
 - 7. "PAINT" - LIGHT PINK
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 - 100. "PAINT" - LIGHT ORANGE

LANDOWNER & APPLICANT:
 QUARRY BUSINESS PARK, LLC
 12345 QUARRY ROAD, WINDSOR COUNTY, CALIFORNIA
 CORONA, CALIFORNIA 92922
 PHONE: (951) 734-8570

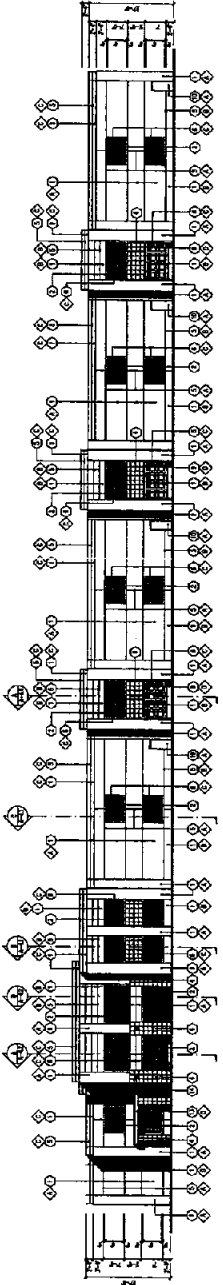
EXHIBIT PREPARER:
 HANDLEY ENGINEERING
 130 EL CAMINO REAL, TUSTIN, CA 92780
 (714) 899-1141

ASSESSOR'S PARCEL NUMBER:
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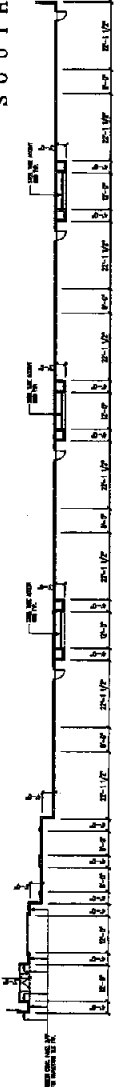


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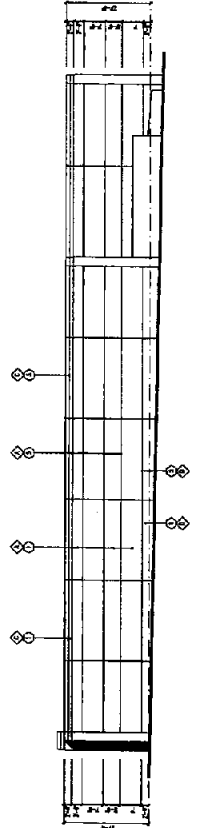
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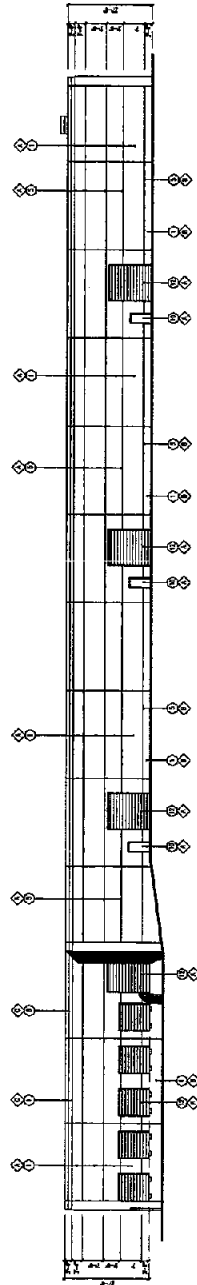
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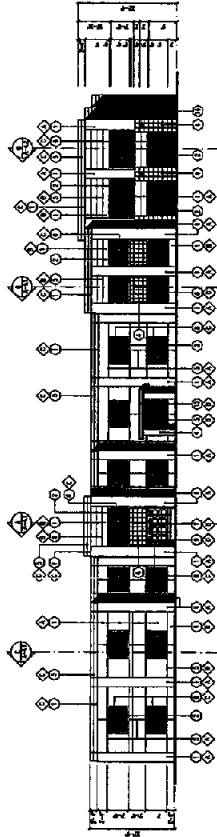
SOUTH PLAN VIEW



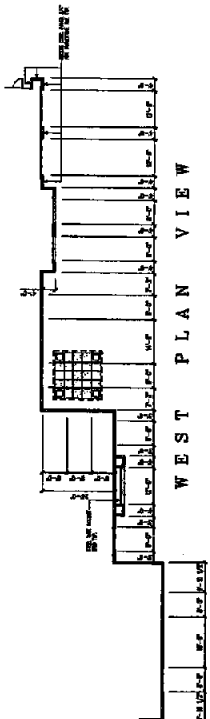
EAST



NORTH



WEST



WEST PLAN VIEW

EXTERIOR ELEVATIONS BUILDING 5

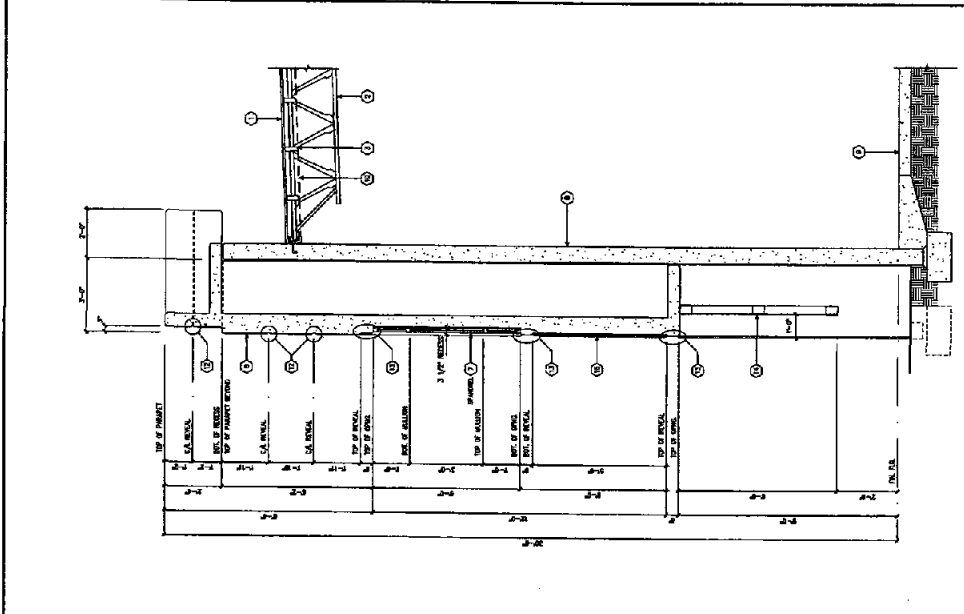
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HANDLEY ENGINEERING
 130 E. CALIANO REAL, SUITE 200
 WESTON, CA 93780
 (714) 866-1141

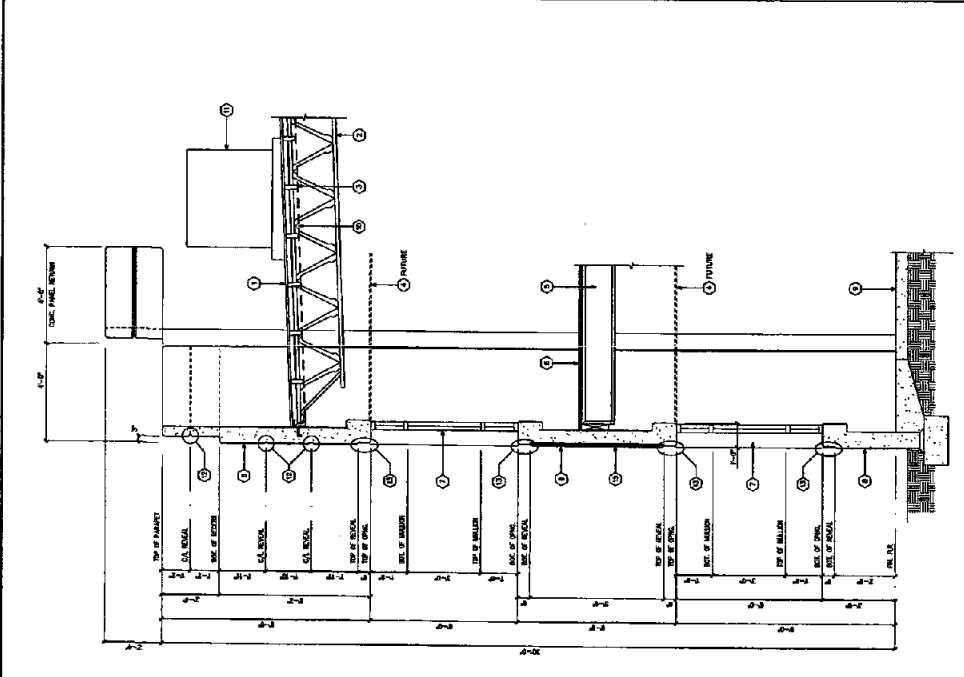


QUARRY BUSINESS PARK LLC
 100 INDUSTRIAL DEVELOPMENT FOR
 TEMPEL, GAYTON ROAD, INVERSOE COUNTY, CALIFORNIA

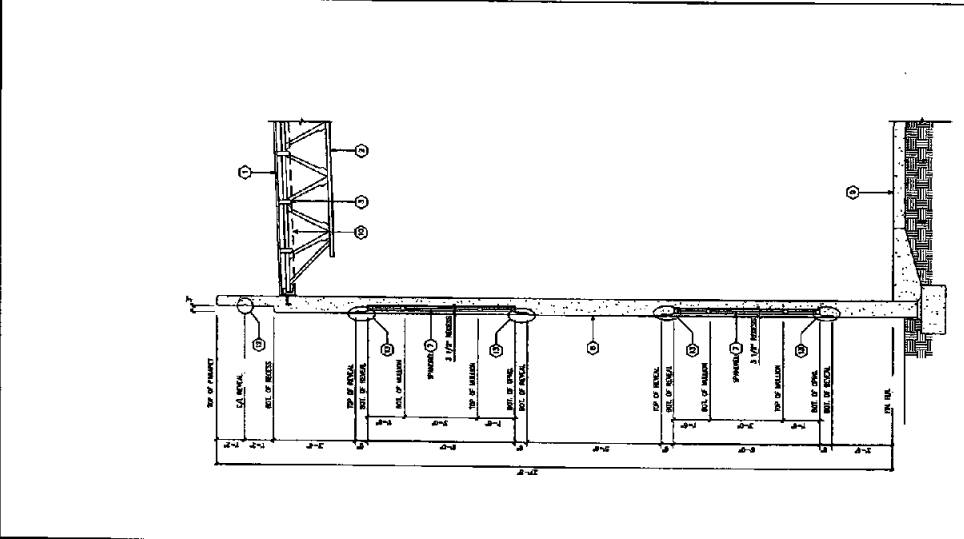
DATE: 11/04/07
 DRAWN: JRM
 CHECKED: JRM
 SCALE: 1/8"=1'-0"
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WALL SECTION A



WALL SECTION B



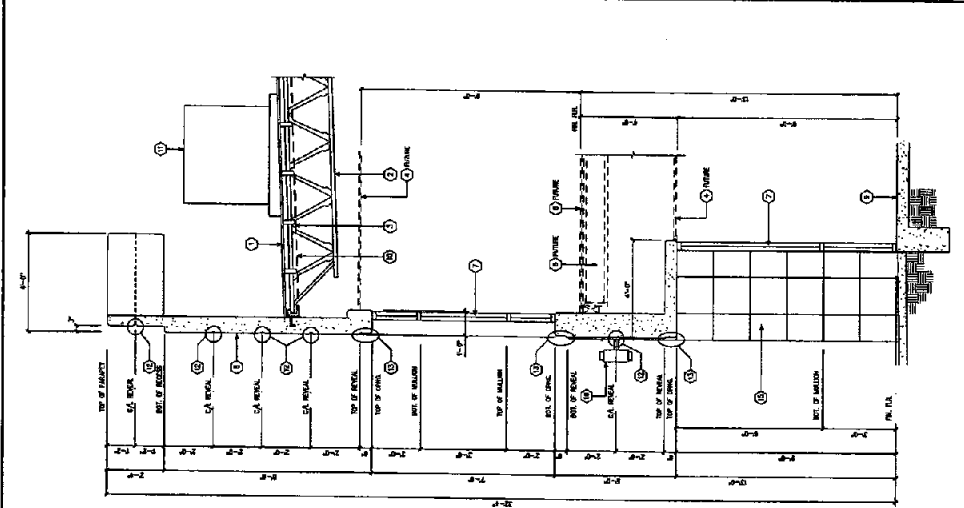
WALL SECTION C

GROSS SECTION NOTES

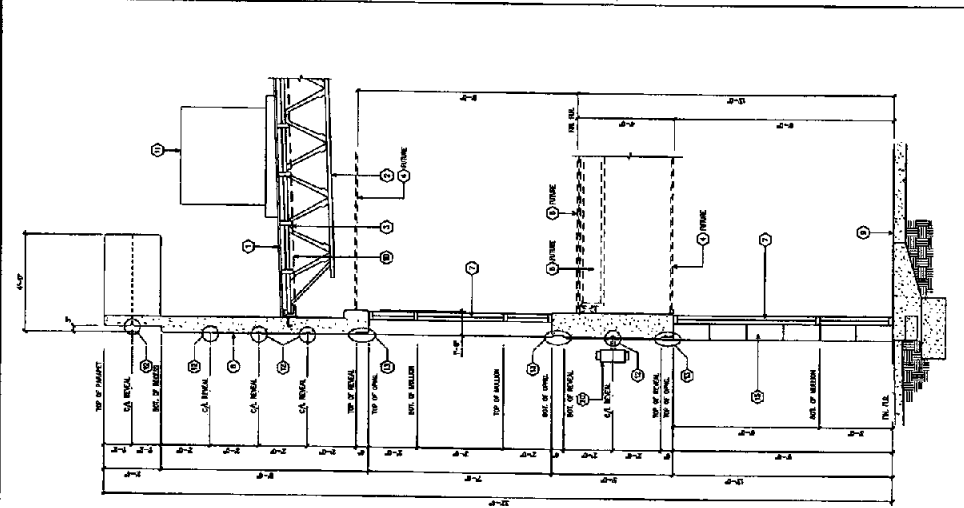
1. SEE PLAN FOR WALL AND ROOF SECTION
2. STEEL JOISTS AT 2'-0" O.C. - SEE FLOOR PLAN
3. STEEL JOISTS AT 4'-0" O.C. - SEE FLOOR PLAN
4. SUSPENDED ACCESS FLOOR PER PLAN
5. FLOOR JOISTS - SEE FLOOR PLAN
6. 3/4" WOOD JOISTS OVER FLOOR JOISTS, SEE DETAIL
7. GULLING - SEE EXTERIOR ELEVATION
8. CONCRETE FULL-UP PANEL
9. CONCRETE FULL-UP PANEL
10. INSULATION - SEE DETAIL
11. 1/2" WOOD JOIST
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SECTION THRU RECESSED ENTRY SCALE: 1/8"=1'-0"



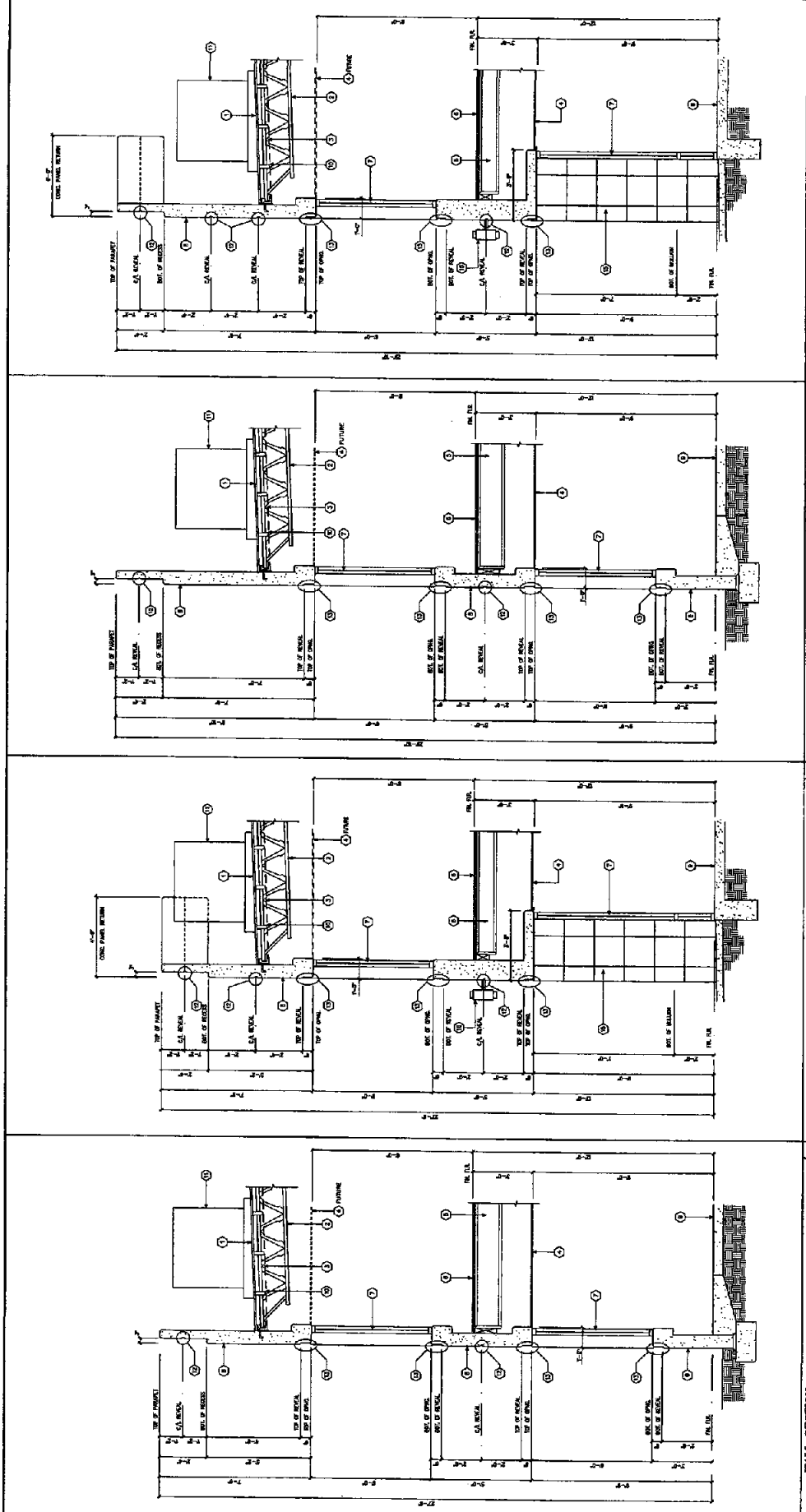
WALL SECTION SCALE: 1/8"=1'-0"

- CROSS SECTION NOTES
1. SEE ROOF PLAN FOR ROOF SLOPE
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WALL SECTION SCALE: 1/8"=1'-0"



NO.	REVISION	BY	DATE



SECTION THRU RECESSED ENTRY
WALL SECTION
WALL SECTION
WALL SECTION

SCALE: 1/2"=1'-0"

CROSS SECTION NOTES

1. SEE PLAN FOR WALL THICKNESS AND REINFORCING BARS.
2. STEEL JOIST AT 24" O.C. SEE FLOOR PLAN.
3. 2" MINIMUM CLEARANCE AT TOP OF WALL.
4. 2" MINIMUM CLEARANCE AT BOTTOM OF WALL.
5. 2" MINIMUM CLEARANCE AT SIDE OF WALL.
6. 2" MINIMUM CLEARANCE AT TOP OF ENTRY.
7. 2" MINIMUM CLEARANCE AT BOTTOM OF ENTRY.
8. 2" MINIMUM CLEARANCE AT SIDE OF ENTRY.
9. 2" MINIMUM CLEARANCE AT TOP OF WALL.
10. 2" MINIMUM CLEARANCE AT BOTTOM OF WALL.
11. 2" MINIMUM CLEARANCE AT SIDE OF WALL.
12. 2" MINIMUM CLEARANCE AT TOP OF ENTRY.
13. 2" MINIMUM CLEARANCE AT BOTTOM OF ENTRY.
14. 2" MINIMUM CLEARANCE AT SIDE OF ENTRY.
15. 2" MINIMUM CLEARANCE AT TOP OF WALL.
16. 2" MINIMUM CLEARANCE AT BOTTOM OF WALL.

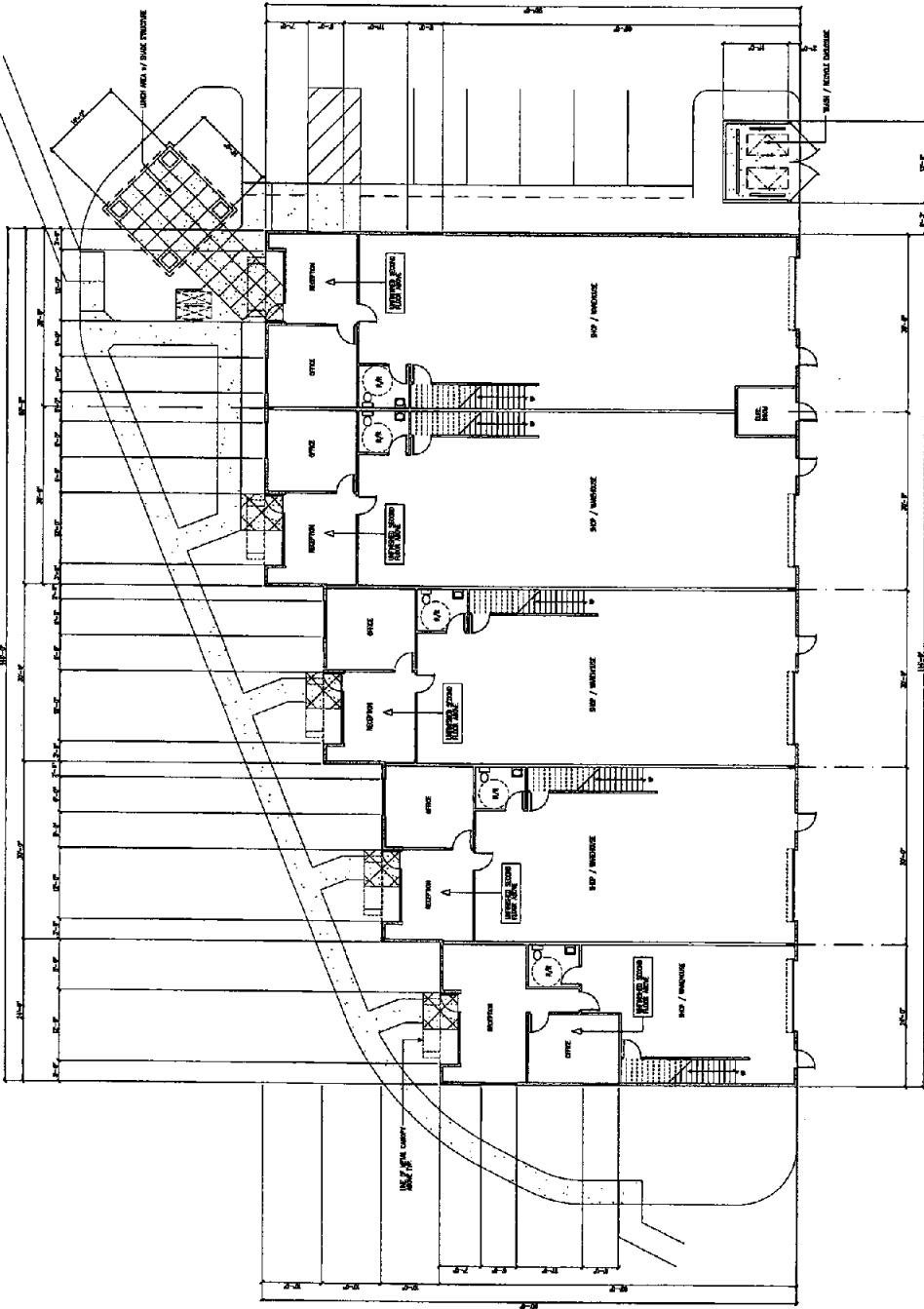
NO.	REVISION	BY	DATE

HANDLEY ENGINEERING
 130 EL CAMINO REAL, SUITE 200, TUSTIN, CA 92780
 (714) 899-1141



QUARRY BUSINESS PARK LLC
 130 EL CAMINO REAL, SUITE 200, TUSTIN, CA 92780
 (714) 899-1141

DATE	10/10/10
BY	ML
CHECKED	ML
SCALE	1" = 1'-0"
SHEET	A-21
PROJECT	NEW INDUSTRIAL DEVELOPMENT FOR
LOCATION	TECHNICAL CANYON ROAD, INDIANO CA, CALIFORNIA

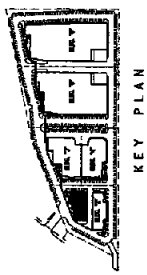


BUILDING AREA

FIRST FLOOR	11,365 S.F.
SECOND FLOOR	2,816 S.F.
TOTAL	14,181 S.F.

BUILDING USE

OFFICE	4,378 S.F.
WAREHOUSE	4,400 S.F.
MANUFACTURING	4,803 S.F.



KEY PLAN

FLOOR PLAN BUILDING 1

EXHIBIT "C"

LANDOWNER & APPLICANT
 QUARRY BUSINESS PARK, LLC
 CONTACT: DANIEL CLEDDEN
 130 EL CAMINO REAL, SUITE 200
 TUSTIN, CALIFORNIA 92780
 PHONE: (951) 734-6570

EXHIBIT PREPARER
 HANDLEY ENGINEERING
 CONTACT: BILL HANDLEY
 130 EL CAMINO REAL, SUITE 200
 TUSTIN, CA 92780
 PHONE: (714) 899-1141

ASSESSOR'S PARCEL NUMBER:
 263-110-051

NO.	REVISION	BY	DATE

HANDLEY ENGINEERING
 133 E. CAMINO REAL, SUITE 200
 FUSTON, CA 92380
 (714) 868-1811

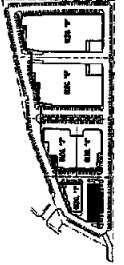


QUARRY BUSINESS PARK LLC
 133 E. CAMINO REAL, SUITE 200, FUSTON, CALIFORNIA 92380
 (714) 868-1811

DATE: 10/09/07	SHEET: 1
PROJECT: 08-23	SCALE: 1/8" = 1'-0"
DRAWN BY: [Signature]	DATE: 10/09/07
CHECKED BY: [Signature]	PROJECT: 08-23
APPROVED BY: [Signature]	DATE: 10/09/07
PROJECT: 08-23	SCALE: 1/8" = 1'-0"
DRAWN BY: [Signature]	DATE: 10/09/07
CHECKED BY: [Signature]	PROJECT: 08-23
APPROVED BY: [Signature]	DATE: 10/09/07

EXHIBIT "C"

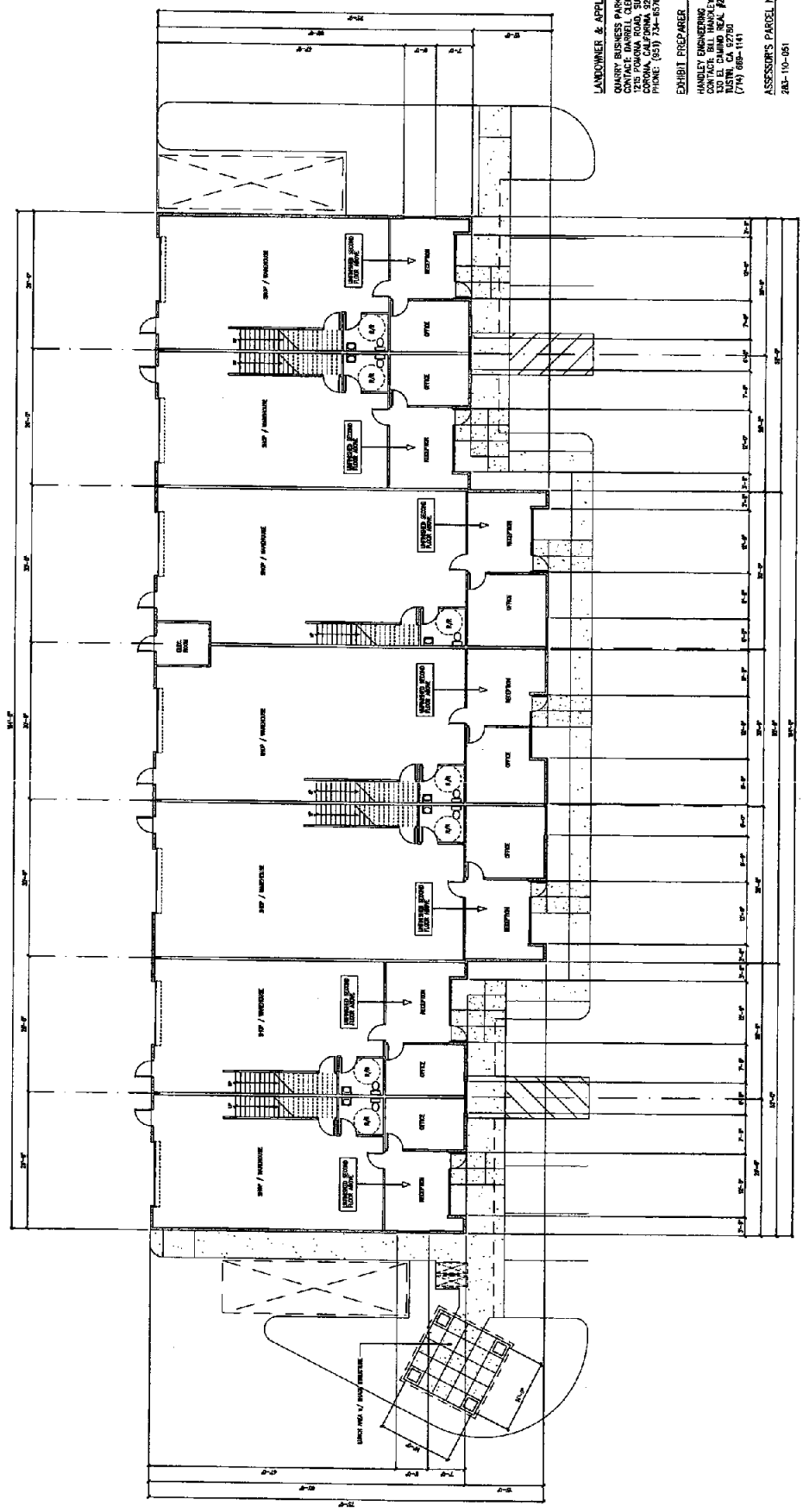
KEY PLAN



ASSESSOR'S PARCEL NUMBER
 283-10-051

LANDOWNER & APPLICANT
 QUARRY BUSINESS PARK, LLC
 CONTACT: DANIEL CLEMENCIA
 133 E. CAMINO REAL, SUITE 200
 FUSTON, CALIFORNIA 92380
 PHONE: (951) 734-1578

EXHIBIT PREPARER
 HANDLEY ENGINEERING
 CONTACT: BILL HANCKLEY
 133 E. CAMINO REAL, SUITE 200
 FUSTON, CALIFORNIA 92380
 PHONE: (714) 868-1811



BUILDING AREA

FIRST FLOOR	: 12,810 S.F.
SECOND FLOOR	: 5,000 S.F.
TOTAL	: 17,810 S.F.

BUILDING USE

OFFICE	: 5,791 S.F.
WAREHOUSE	: 5,000 S.F.
MANUFACTURING	: 5,000 S.F.



FLOOR PLAN BUILDING 2

NO.	REVISION	BY	DATE

HANDLEY ENGINEERING
 100 ST. CARMINE REAL. SUITE 200
 TUSTIN, CA 92780
 (714) 888-1141



QUARRY BUSINESS PARK LLC
 100 ST. CARMINE ROAD, INVERGORE COUNTY, CALIFORNIA

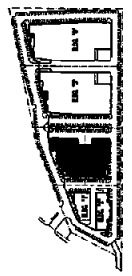
NEW INDUSTRIAL DEVELOPMENT FOR
 TIBERICAL CANYON ROAD, INVERGORE COUNTY, CALIFORNIA

DATE: 10/20/07
 JOB NO.: 07-01
 DRAWING NO.: 07-01-01
 SHEET NO.: 1 OF 2
 SCALE: 1/8" = 1'-0"

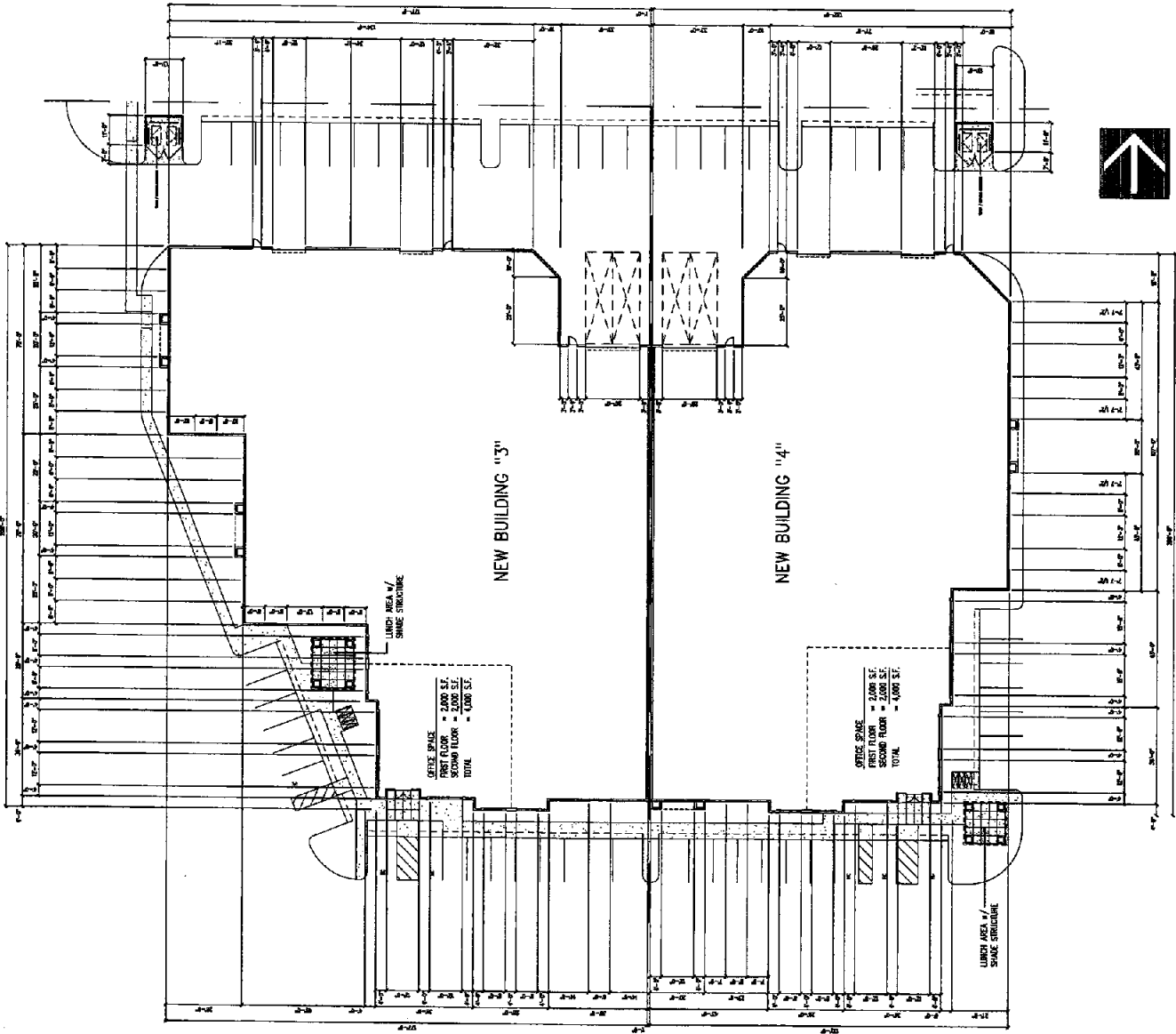
ASSESSOR'S PARCEL NUMBER:
 263-110-01

LANDOWNER & APPLICANT:
 QUARRY BUSINESS PARK, LLC
 CONTACT: JARRELL CLEGGEMAN
 17000 WILSON AVENUE, SUITE 100
 CORONA, CALIFORNIA 92702
 PHONE: (951) 734-8570

EXHIBIT PREPARER:
 HANDLEY ENGINEERING
 CONTACT: BILL HANDLEY
 100 ST. CARMINE ROAD
 TUSTIN, CA 92780
 (714) 888-1141



KEY PLAN
 EXHIBIT "C"
 SHEET A-23



FLOOR PLAN BUILDING 3 & 4

NO.	REVISION	BY	DATE

HANDLEY ENGINEERING
 130 E. GAYANO RD., TUSTIN, CA 92780
 (714) 669-1141



QUARRY BUSINESS PARK LLC
 NEW INDUSTRIAL DEVELOPMENT FOR
 TIBURCA CANYON ROAD, INVERSOKE COUNTY, CALIFORNIA

DATE	1/14/07
BY	LLS
CHKD	LLS
APP'D	LLS
SCALE	1/8" = 1'-0"
SHEET	1

A-2.4

LANDOWNER & APPLICANT:
 QUARRY BUSINESS PARK, LLC
 CONTACT: DARRELL CLEBERSON
 130 E. GAYANO RD., SUITE 100
 TUSTIN, CA 92780
 PHONE: (951) 734-6570

EXHIBIT PREPARER:
 HANDLEY ENGINEERING
 CONTACT: BILL HANDLEY
 130 E. GAYANO RD., SUITE 100
 TUSTIN, CA 92780
 (714) 669-1141

ASSESSOR'S PARCEL NUMBER:
 283-119-031

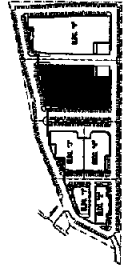
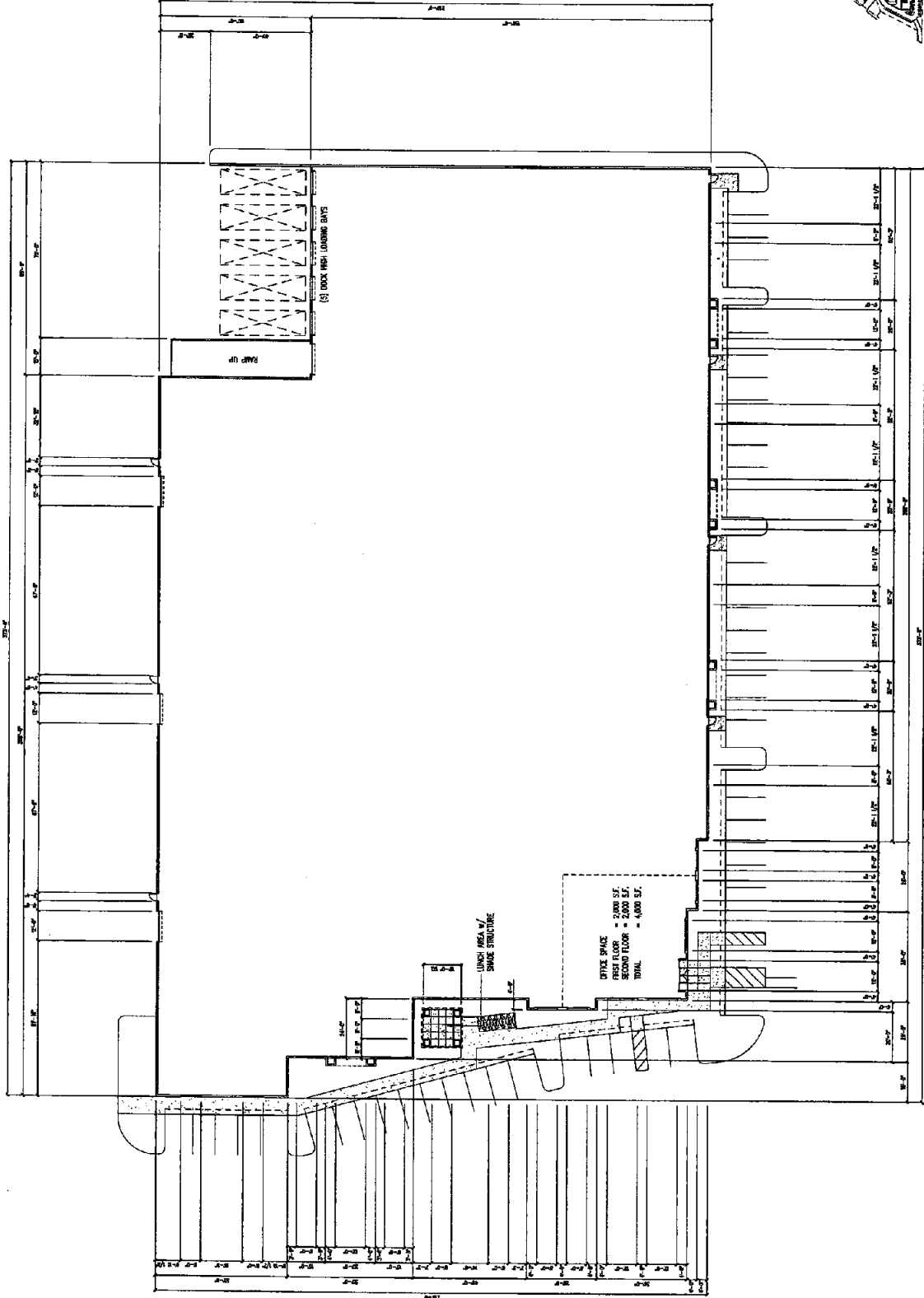


EXHIBIT "C"



FLOOR PLAN BUILDING 5

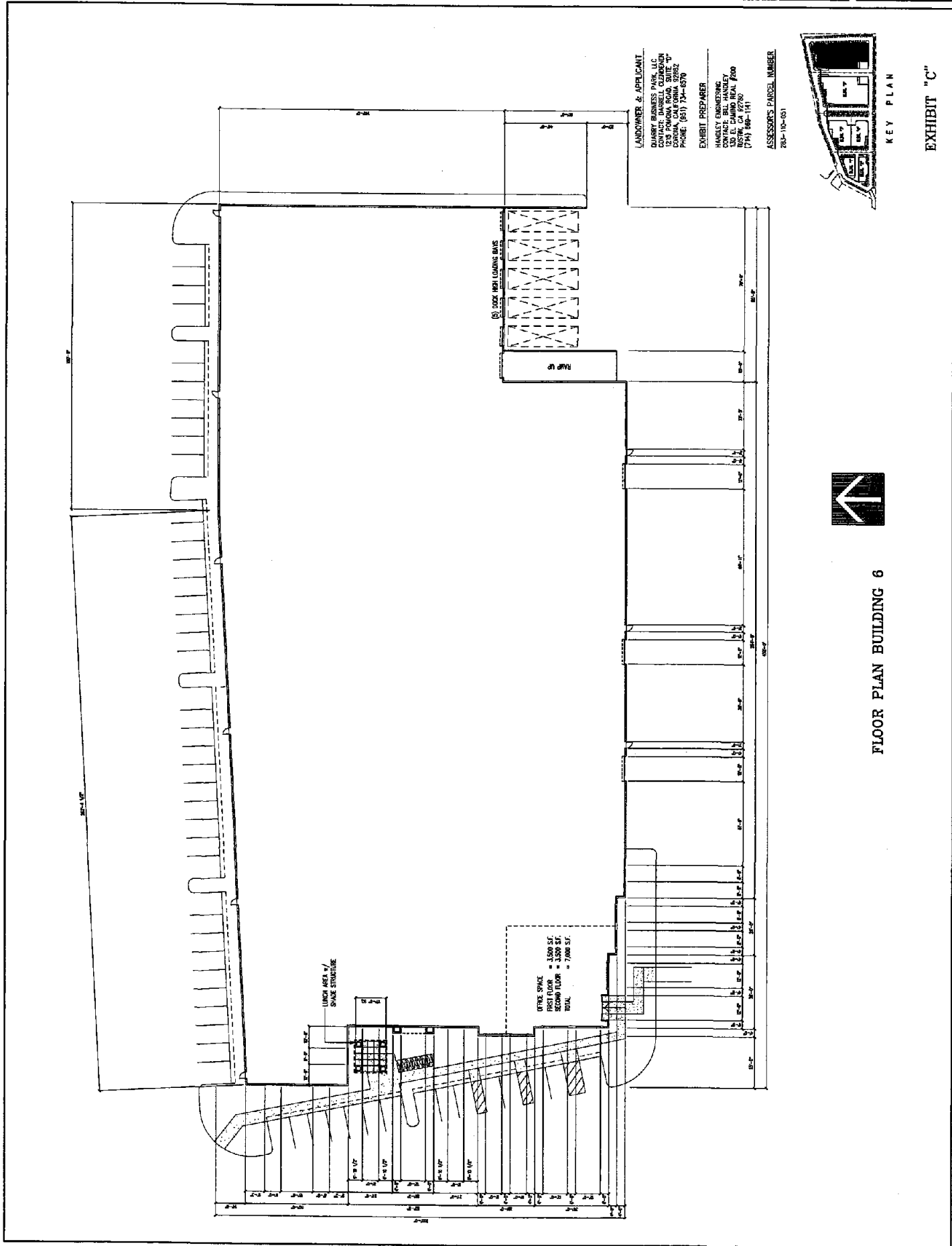
NO.	REVISION	BY	DATE

HANDLEY ENGINEERING
 139 E. CAMINO REAL, JUSTIN, CA 92780
 PHONE: (714) 885-1181
 FAX: (714) 885-1181



QUARRY BUSINESS PARK LLC
 139 E. CAMINO REAL, JUSTIN, CA 92780
 PHONE: (714) 885-1181
 FAX: (714) 885-1181

DATE: 10/20/01	SCALE: 1/8" = 1'-0"
JOB NO.: CA-01	SHEET: 1 OF 1
DRAWN: M.H.	PROJECT: A-2.5
CHECKED: M.H.	DATE: 10/20/01



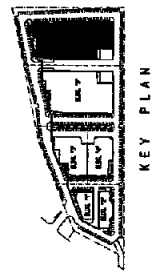
LUNCH AREA w/
SHADE STRUCTURE

OFFICE SPACE
 FIRST FLOOR = 3,000 S.F.
 SECOND FLOOR = 3,000 S.F.
 TOTAL = 7,000 S.F.

LANDOWNER & APPLICANT:
 QUARRY BUSINESS PARK, LLC
 139 E. CAMINO REAL, JUSTIN, CA 92780
 PHONE: (714) 885-1181

EXHIBIT PREPARER:
 HANDLEY ENGINEERING
 139 E. CAMINO REAL, JUSTIN, CA 92780
 PHONE: (714) 885-1181

ASSESSOR'S PARCEL NUMBER:
 283-102-001



FLOOR PLAN BUILDING 6

EXHIBIT "C"

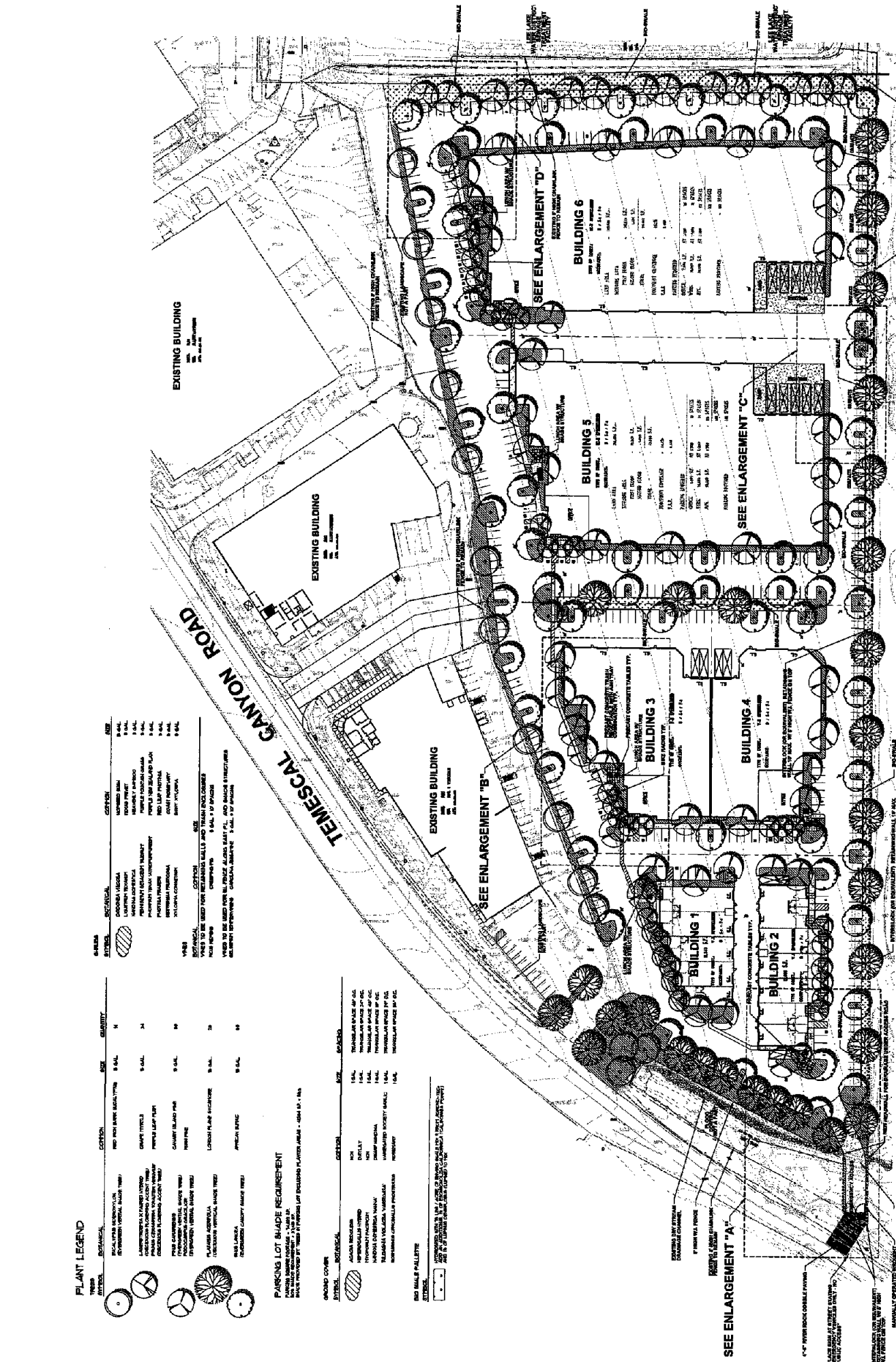
A-2.5
 SHEET 1 OF 1

PLANT LEGEND

SYMBOL	SYMBOLICAL	COMMON	SIZE	QUANTITY
	8' GALLON TREE	8' GALLON TREE	8' GALL	1
	12' GALLON TREE	12' GALLON TREE	12' GALL	2
	18' GALLON TREE	18' GALLON TREE	18' GALL	3
	24' GALLON TREE	24' GALLON TREE	24' GALL	4
	30' GALLON TREE	30' GALLON TREE	30' GALL	5
	36' GALLON TREE	36' GALLON TREE	36' GALL	6
	42' GALLON TREE	42' GALLON TREE	42' GALL	7
	48' GALLON TREE	48' GALLON TREE	48' GALL	8
	54' GALLON TREE	54' GALLON TREE	54' GALL	9
	60' GALLON TREE	60' GALLON TREE	60' GALL	10

PARKING LOT SHADE REQUIREMENT

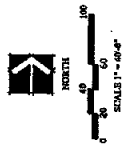
SYMBOL	SYMBOLICAL	COMMON	SIZE	QUANTITY
	18' GALLON TREE	18' GALLON TREE	18' GALL	1
	24' GALLON TREE	24' GALLON TREE	24' GALL	2
	30' GALLON TREE	30' GALLON TREE	30' GALL	3
	36' GALLON TREE	36' GALLON TREE	36' GALL	4
	42' GALLON TREE	42' GALLON TREE	42' GALL	5
	48' GALLON TREE	48' GALLON TREE	48' GALL	6
	54' GALLON TREE	54' GALLON TREE	54' GALL	7
	60' GALLON TREE	60' GALLON TREE	60' GALL	8



PRELIMINARY LANDSCAPE PLAN
THE QUARRY BUSINESS PARK, LLC
TEMESCAL CANYON ROAD, RIVERSIDE COUNTY
CLENDENEN DEVELOPMENT

WATER USAGE CALCULATIONS
 AREA OF IRRIGATION WITH AUTOMATIC IRRIGATION SYSTEMS - 100,000 SQ. FT.
 IRRIGATION RATE - 0.5 INCHES PER WEEK
 TOTAL WATER USAGE - 100,000 SQ. FT. x 0.5 INCHES PER WEEK = 50,000 GALLONS PER WEEK
 TOTAL WATER USAGE - 50,000 GALLONS PER WEEK

IRRIGATION STATEMENT
 The landscape design group plans, with other site needs, together the design of trees, shrubs, and grass. A detailed irrigation system using a combination of drip, micro, and other systems will be used to water each plant. The system will be designed to provide water to each plant on a separate irrigation valve and the controller for the system will be designed to efficiently irrigate the landscape and prevent waste of water. A 3" layer of mulch will be applied to the landscape and the irrigation system will be designed to conform to SDG&S. Note: Irrigation rates will be used to figure the landscape.



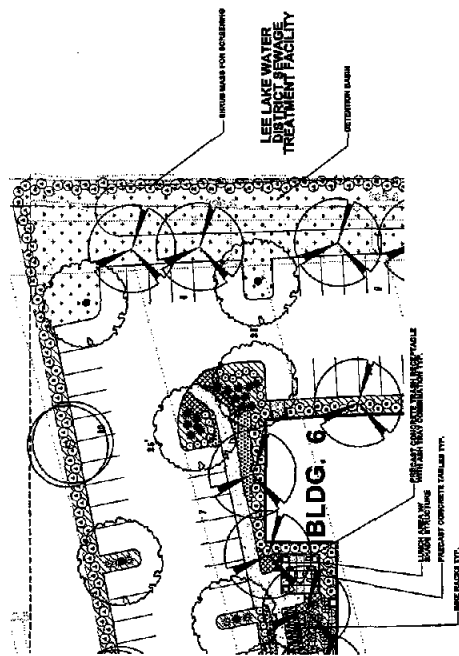
PLANT LEGEND

SYMBOL	BOTANICAL	CULTURE	SIZE	QUANTITY
	1/2" PALM TREE	1/2" PALM TREE	1/2" PALM TREE	14
	1/4" PALM TREE	1/4" PALM TREE	1/4" PALM TREE	34
	1/8" PALM TREE	1/8" PALM TREE	1/8" PALM TREE	54
	1/4" PALM TREE	1/4" PALM TREE	1/4" PALM TREE	14
	1/8" PALM TREE	1/8" PALM TREE	1/8" PALM TREE	14

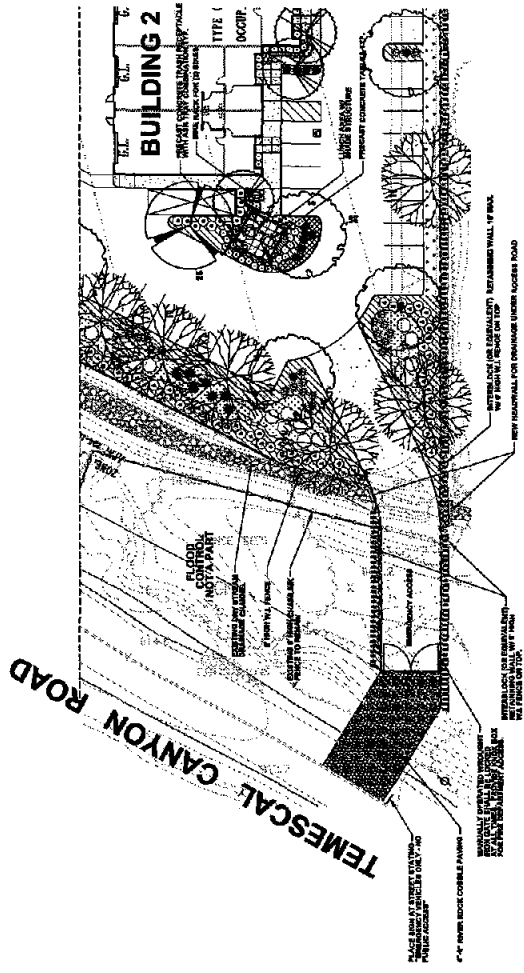
SYMBOL	BOTANICAL	CULTURE	SIZE
	1/2" PALM TREE	1/2" PALM TREE	1/2" PALM TREE
	1/4" PALM TREE	1/4" PALM TREE	1/4" PALM TREE
	1/8" PALM TREE	1/8" PALM TREE	1/8" PALM TREE
	1/4" PALM TREE	1/4" PALM TREE	1/4" PALM TREE
	1/8" PALM TREE	1/8" PALM TREE	1/8" PALM TREE

SYMBOL	BOTANICAL	CULTURE	SIZE
	1/2" PALM TREE	1/2" PALM TREE	1/2" PALM TREE
	1/4" PALM TREE	1/4" PALM TREE	1/4" PALM TREE
	1/8" PALM TREE	1/8" PALM TREE	1/8" PALM TREE
	1/4" PALM TREE	1/4" PALM TREE	1/4" PALM TREE
	1/8" PALM TREE	1/8" PALM TREE	1/8" PALM TREE

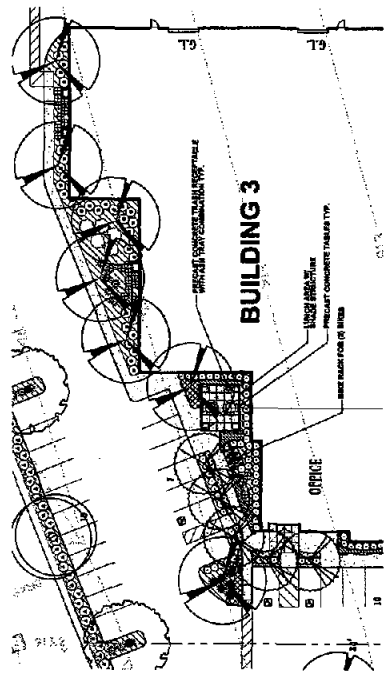
SYMBOL	BOTANICAL	CULTURE	SIZE
	1/2" PALM TREE	1/2" PALM TREE	1/2" PALM TREE
	1/4" PALM TREE	1/4" PALM TREE	1/4" PALM TREE
	1/8" PALM TREE	1/8" PALM TREE	1/8" PALM TREE
	1/4" PALM TREE	1/4" PALM TREE	1/4" PALM TREE
	1/8" PALM TREE	1/8" PALM TREE	1/8" PALM TREE



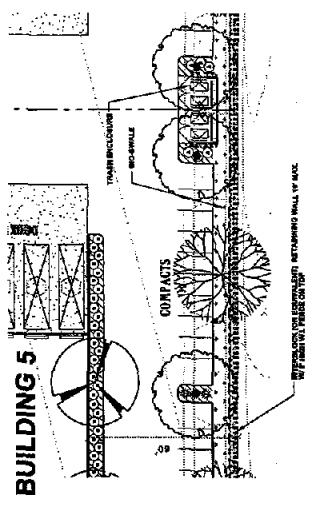
ENLARGEMENT "D"



ENLARGEMENT "A"



ENLARGEMENT "B"



ENLARGEMENT "C"

PRELIMINARY LANDSCAPE PLAN
THE QUARRY BUSINESS PARK, LLC
TEMESCAL CANYON ROAD, RIVERSIDE COUNTY
CLENDENEN DEVELOPMENT

