

**SUBMITTAL TO THE BOARD OF SUPERVISORS
COUNTY OF RIVERSIDE, STATE OF CALIFORNIA**

919B



FROM: TLMA - Planning Department

SUBMITTAL DATE:
March 5, 2009

**SUBJECT: CHANGE OF ZONE NO. 7186, PLOT PLAN NO. 20711, TENTATIVE
PARCEL MAP NO. 34706, ENVIRONMENTAL IMPACT REPORT NO. 497 – EA40256**

– Applicant: Oakmont Industrial Group - Engineer/Rep: Albert A. Webb & Associates -
First Supervisorial District – North Perris Zoning District – Mead Valley Area Plan –
Community Development: Light Industrial (CD:LI) (.25 to .60 floor to area ratio) -
Location: Northerly of Placentia Street, westerly of West Frontage Road, and easterly
of Harvill Avenue – 21.86 Gross Acres – Manufacturing Heavy (M-H) Zoning -

REQUEST: The Change of Zone proposes to change the zoning of the 21.86 gross
acre parcel from Manufacturing- Heavy (M-H) to Manufacturing- Service Commercial
(M-SC); The Plot Plan proposes the construction of two (2) manufacturing/ distribution
warehouse facilities: Building A is approximately 245,252 square feet (s.f.) which
includes 20,000 s.f. of office, 100,000 s.f. of manufacturing, as well as 125,252 s.f. for
distribution and Building B is approximately 83,750 square feet (s.f.) which includes
5,000 s.f. of office, 25,000 s.f. of manufacturing, as well as 53,750 s.f. of distribution. The
project includes 447 parking spaces and 32 loading spaces. Along the southern portion
of the project site there is a 20' trail easement which is to be dedicated to the County of
Riverside Parks & Recreation; The Tentative Parcel Map proposes a Schedule E
subdivision of 21.52 gross acres into two parcels: Parcel 1 is 13.63 gross acres and
Parcel 2 is 7.53 gross acres. The tentative parcel map also includes a 0.36 acre
dedication to the public right-of-way; and, the Environmental Impact Report has been
prepared to inform decisions makers and the public of the potential significant
environmental effects associated with the development of the proposed project per the
California Environmental Quality Act (CEQA) and the Riverside County Rules to
implement CEQA.

REVIEWED BY EXECUTIVE OFFICE

DATE 3/23/09
Tina Grande
Departmental Concurrence

Ron Goldman
Planning Director

RG:db

(CONTINUED ON ATTACHED PAGE)

Policy Policy
Consent Consent
Dept't Recomm.: Per Exec. Ofc.:

SEARCHED SERIALIZED INDEXED FILED
MAR 10 2009
COUNTY OF RIVERSIDE

Prev. Agn. Ref. | District: First | Agenda Number:

16.1

The Honorable Board of Supervisors

RE: **CHANGE OF ZONE NO. 7186, PLOT PLAN NO. 20711, TENTATIVE PARCEL MAP NO. 34706, ENVIRONMENTAL IMPACT REPORT NO. 497**

Page 2 of 2

RECOMMENDED MOTION:

The Planning Department recommended Approval; and,
THE PLANNING COMMISSION RECOMMENDED:

CERTIFICATION of **ENVIRONMENTAL IMPACT REPORT No. 497**, based on the findings incorporated in the EIR and the conclusion that the project will not have a significant effect on the environment;

APPROVAL of **CHANGE OF ZONE No. 7186**, as seen on Exhibit 3, subject to the attached conditions of approval, and based upon the findings and conclusions incorporated in the staff report;

APPROVAL of **PLOT PLAN No. 20711**, subject to the attached conditions of approval, and based upon the findings and conclusions incorporated in the staff report; and,

APPROVAL of **PARCEL MAP No. 34706**, subject to the attached conditions of approval, and based upon the findings and conclusions incorporated in the staff report.

Agenda Item No.: 5.7
Area Plan: Mead Valley
Zoning District: North Perris Area
Supervisory District: First District
Project Planner: Nicole Berumen
Planning Commission: April 2, 2008
Continued From: March 5, 2008

CHANGE OF ZONE NO. 7186
PLOT PLAN NO. 20711
TENTATIVE PARCEL MAP NO. 34706
EIR NO. 497
Applicant: Oakmont Industrial Group
Engineer/Rep: Albert A Webb Associates

COUNTY OF RIVERSIDE PLANNING DEPARTMENT ADDENDUM STAFF REPORT

Based on the proposed Mid County Parkway Alignment, more specifically Alternative 9 which would travel along the southern portion of the project site, after the Planning Commission Hearing the project applicant modified the site design to include the following project description:

Change of Zone No. 7186 proposes to change the zoning of the 21.86 gross acre parcel from Manufacturing- Heavy (M-H) to Manufacturing- Service Commercial (M-SC).

Plot Plan No. 20711 proposes the construction of two (2) manufacturing/ distribution warehouse facilities: Building A is approximately 245,252 square feet (s.f.) which includes 20,000 s.f. of office, 100,000 s.f. of manufacturing, as well as 125,252 s.f. for distribution and Building B is approximately 83,750 square feet (s.f.) which includes 5,000 s.f. of office, 25,000 s.f. of manufacturing, as well as 53,750 s.f. of distribution. The project includes 447 parking spaces and 32 loading spaces. Along the southern portion of the project site there is a 20' trail easement which is to be dedicated to the County of Riverside Parks & Recreation.

Tentative Parcel Map No. 34706 proposes a Schedule E subdivision of 21.52 gross acres into two parcels: Parcel 1 is 13.63 gross acres and Parcel 2 is 7.53 gross acres. The tentative parcel map also includes a 0.36 acre dedication to the public right-of-way

Environmental Impact Report No. 497 has been prepared to inform decisions makers and the public of the potential significant environmental effects associated with the development of the proposed project per the California Environmental Quality Act (CEQA) and the Riverside County Rules to implement CEQA.

All conditions of approval have been updated to reflect the most current project design.

ABR 3/3/09

Agenda Item No.: 5.7
Area Plan: Mead Valley
Zoning District: North Perris Area
Supervisory District: First District
Project Planner: Nicole Berumen
Planning Commission: April 2, 2008
Continued from: March 5, 2008

CHANGE OF ZONE No. 7186
PLOT PLAN No. 20711
TENTATIVE PARCEL MAP No. 34706
E.I.R. No: 497
STATE CLEARINGHOUSE NO. 2006101095
Applicant: Oakmont Industrial Group
Engineer/Rep.: Albert A Webb Associates

COUNTY OF RIVERSIDE PLANNING DEPARTMENT STAFF REPORT

PROJECT DESCRIPTION AND LOCATION:

Change of Zone No. 7186 proposes to change the zoning of the 21.86 gross acre parcel from Manufacturing- Heavy (M-H) to Manufacturing- Service Commercial (M-SC).

Plot Plan No. 20711 proposes the construction of two (2) manufacturing/ distribution warehouse facilities: Proposed Building A is approximately 235,500 square feet (s.f.) which includes 20,000 s.f. of office, 100,000 s.f. of manufacturing, as well as 115,500 s.f. for distribution and Proposed Building B is approximately 126,500 square feet (s.f.) which includes 12,200 s.f. of office, 61,000 s.f. of manufacturing, as well as 53,300 s.f. of distribution. The project will be built in two phases: Phase I will include the construction of Proposed Building A, 334 standard parking spaces, 8 Handicap parking spaces, adjacent loading spaces, landscaping for proposed Parcel 1 and an interim detention basin which is to remain until the completion of downstream drainage facilities; Phase II will include the removal of the interim detention basin, construction of Proposed Building B, 189 standard parking spaces, 7 Handicap parking spaces, adjacent loading spaces, and completion of landscaping for the entire site. Per Ordinance 460 landscaping requirements, the proposed project is required to provide 1.85 acres of landscaping and will be providing 2.68 acres of landscaping, therefore exceeding the requirement. Along the southern portion of the project site there is a 20' trail easement which is to be dedicated to the County of Riverside Parks & Recreation.

Tentative Parcel Map No. 34706 proposes a Schedule E subdivision of a 21.86 gross acre parcel into two parcels with Parcel 1 being approximately 13.36 gross acres and Parcel 2 being approximately 7.80 gross acres. The parcel map also includes a 0.36 acre dedication to the State of California Right of Way.

Environmental Impact Report No. 497 has been prepared to inform decisions makers and the public of the potential significant environmental effects associated with the development of the proposed project per the California Environmental Quality Act (CEQA) and the Riverside County Rules to implement CEQA.

The project site is located northerly of Placentia Street, westerly of West Frontage Road and easterly of Harvill Avenue in the Mead Valley Area Plan.

FURTHER PLANNING CONSIDERATIONS:

At the previous hearing, the Planning Commission expressed concern with the overriding considerations which were identified within Environmental Impact Report No. 497. More specifically the concern was associated with cumulative air impacts for the Mead Valley Area Plan and the overall Perris Basin, as well as for the project specific impacts. The Planning Commission directed staff to more fully evaluate the potentially significant, cumulative Air Quality Impacts, based upon the Commission's comments and public testimony presented at the last Planning Commission Public Hearing.

AK 3-10-08

ISSUES OF POTENTIAL CONCERN:

1. Environmental Impacts (EIR 497):

The project has been designed or conditioned to mitigate most environmental impacts to below a level of significance. However, overriding consideration will be required for the following unavoidable adverse impacts:

- a. **Air Quality:** Implementation of the proposed project would expose sensitive receptors to substantial pollutant concentrations (Impact 5.10.1). The proposed project would result in a cumulatively considerable net increase of criteria pollutants for which South Coast Air Basin (SoCAB) is in non attainment (Impact 5.10.3).

The Health Risk Assessment seen within the Draft Environmental Impact Report was revised per a comment letter received by South Coast Air Quality Management District dated November 20, 2007 included within the Final Environmental Impact Report. The revisions used for the model determined that the on going operations of the proposed project would result in a less than significant impact due to the cancer and non cancer risks from diesel emissions.

Increased truck traffic from virtually zero to projected levels will result in irreversible impacts that would remain significant and unavoidable. The project area is out of attainment for both Ozone and PM10 particulate matter. The proposed project would mitigate short term air quality impacts to a less than significant level, but with regards to long term emissions the proposed project would represent a significant cumulative impact.

- b. **Agricultural Resources:** A portion of the proposed project site is identified as containing Prime Farmland. Implementation of the proposed project site would result in the permanent conversion of lands designated as Prime Farmlands, therefore impacts would be significant and unavoidable (Impact 5.9-1).
- c. **Aesthetics:** Implementation of the proposed project would have a cumulative impact with regards to an increase in ambient nighttime lighting levels resulting from development and associated vehicle headlights. This is considered a significant and unavoidable cumulative impact (Impact CUMULATIVE IMPACT).

SUMMARY OF FINDINGS:

- | | |
|---|--|
| 1. Existing Land Use (Ex. #1): | Vacant |
| 2. Proposed Zoning (Ex. # 3): | Manufacturing- Service Commercial (M-SC) |
| 3. Surrounding Zoning (Ex. # 3): | Manufacturing Heavy (M-H) to the north, south and east, Manufacturing Medium (M-M) to the east, and Manufacturing Service Commercial (M-SC) to the west. |
| 4. Existing General Plan Land Use (Ex. #5): | Community Development: Light Industrial (CD:LI) (.25 to .60 floor to area ratio) |
| 5. Surrounding Land Use (Ex. #1): | Vacant to the east, south and west, outdoor storage |

6. Project Data: to the north, and manufacturing & office to the west.
Total Acreage: 19.80 acres
Total Proposed Lots: two lots
Proposed Min. Lot Size: 7.80 gross acres
Schedule: E
7. Environmental Concerns: See attached environmental impact report

RECOMMENDATIONS:

TENTATIVE CERTIFICATION of a **ENVIRONMENTAL IMPACT REPORT No. 497**, based on the findings incorporated in the EIR and the conclusion that the project will not have a significant effect on the environment; and,

TENTATIVE APPROVAL of **CHANGE OF ZONE No. 7186**, as seen on Exhibit 3, subject to the attached conditions of approval, and based upon the findings and conclusions incorporated in the staff report; and,

APPROVAL of **PLOT PLAN No. 20711**, subject to the attached conditions of approval, and based upon the findings and conclusions incorporated in the staff report; and,

APPROVAL of **PARCEL MAP No. 34706**, subject to the attached conditions of approval, and based upon the findings and conclusions incorporated in the staff report.

CONCLUSIONS:

1. The proposed project is in conformance with the Community Development: Light Industrial (CD:LI) (.25 to .60 floor to area ratio) Land Use Designation, and with all other elements of the Riverside County General Plan.
2. The proposed project is consistent with the proposed Manufacturing- Service Commercial (M-SC) zoning classification of Ordinance No. 348, and with all other applicable provisions of Ordinance No. 348.
3. The proposed project is consistent with the Schedule E map requirements of Ordinance No. 460, and with other applicable provisions of Ordinance No. 460.
4. The proposed project is consistent with the adopted policies of the Mead Valley Redevelopment Area.
5. The public's health, safety, and general welfare are protected through project design.
6. The proposed project is compatible with the present and future logical development of the area.
7. The Environmental Impact Report has determined that most potential adverse impacts can be mitigated to a level of less than significant by the recommended mitigation measures. However, the project will require the Riverside County Board of Supervisors to adopt Findings for Overriding

Considerations for the significant and unavoidable impacts to Air Quality, Agriculture and Aesthetics.

8. The proposed project will not preclude reserve design for the Multi-Species Habitat Conservation Plan (MSCHP).

FINDINGS: The following findings are in addition to those incorporated in the summary of findings, and in the attached environmental impact report, which is incorporated herein by reference.

1. The project site is designated Community Development: Light Industrial (CD:LI) (.25 to .60 floor to area ratio) on the Mead Valley Area Plan.
2. The proposed plot plan, is permitted in the Community Development: Light Industrial (CD:LI) (.25 to .60 floor to area ratio) land use designation.
3. The project site is surrounded by properties which are designated Community Development (CD:LI) (.25 to .60 floor to area ratio).
4. The proposed zoning for the subject site is Manufacturing- Service Commercial (M-SC).
5. The proposed plot plan is consistent with the development standards set forth in the Manufacturing- Service Commercial (M-SC) zone.
6. The project site is surrounded by properties which are zoned Manufacturing- Heavy (M-H) to the north, south and east, Manufacturing- Medium (M-M) to the east, and Manufacturing- Service Commercial (M-SC) to the west.
7. Within the vicinity of the proposed project there is manufacturing & office uses located to the west, an outdoor storage yard located to the north, and vacant land to the east, south and west.
8. This project not located within a Criteria Area of the Multi-Species Habitat Conservation Plan.
9. This project is within the City Sphere of Influence of Perris. The City of Perris has reviewed the proposed project and are in support of the proposed Change of Zone No. 7186 and use for the site, see email dated 8/29/05.
10. The proposed project will result in a significant and unavoidable impact to the environment. Specifically, the project will result in significant and unavoidable impacts to Air Quality, Agriculture and Aesthetics.

INFORMATIONAL ITEMS:

1. All letter which have been received pertaining to the proposed project have been included.
2. The project site is not located within:
 - a. A 100-year flood plain, an area drainage plan, or dam inundation area;
 - b. A high fire area; or
 - c. A fault zone.

3. The project site is located within:
 - a. The city of Perris sphere of influence,
 - b. The Stephens Kangaroo Rat Fee Area,
 - c. The boundaries of the Val Verde Unified School District,
 - d. Zone B (39 miles) of Lighting Ordinance 655,
 - e. Specific Plan No. 100 "A Street" and is in conformance with the plan, and
 - f. Land designated as Prime Farmland and Urban/Built Up Land.

4. The subject site is currently designated as Assessor's Parcel Numbers 317-240-008, 317-240-013, 317-240-015, 317-240-032, and 317-240-035.

NB:ls
Y:\Planning Master Forms\Staff Report.doc
Date Prepared: 2/8/08
Date Revised: 2/13/08

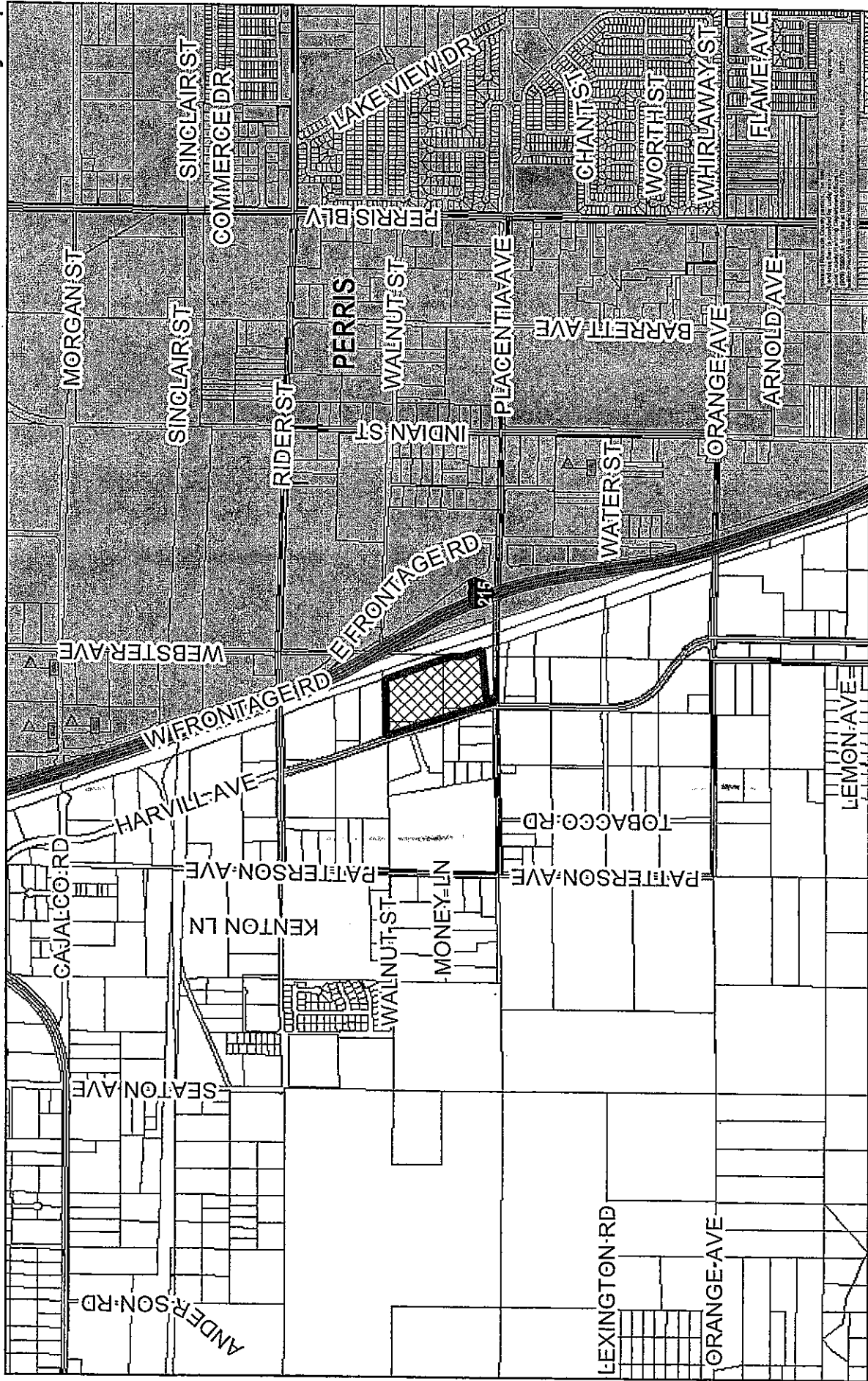
Supervisor Buster
District 1

Date Drawn: 2/06/08

CZ07186 PP20711 PM34706 EIR497

VICINITY MAP

Planner: Ryan Fowler
Date: 3/05/08
Vicinity Map



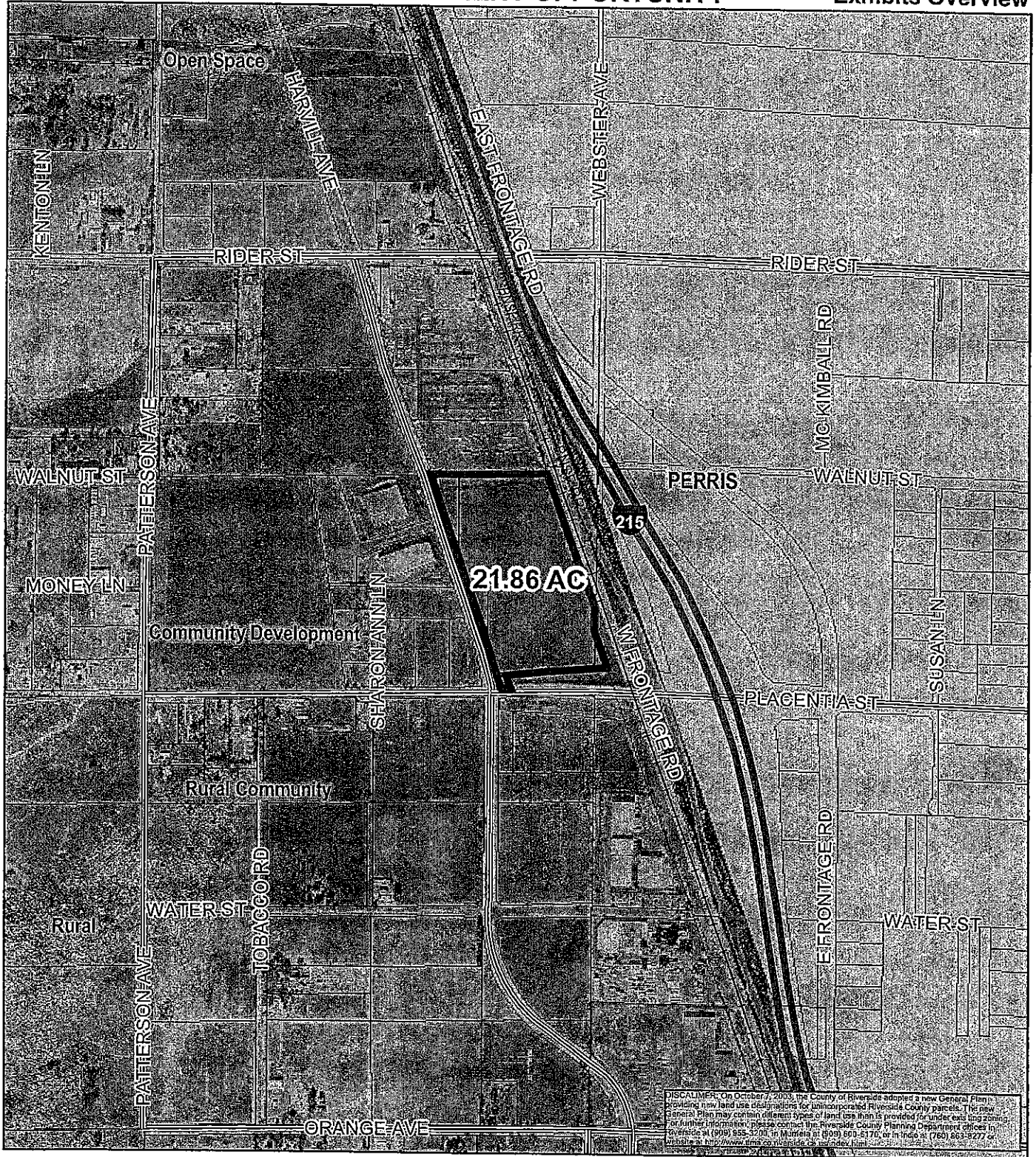
Zone
Area: North Perris
Township/Range: T4SR4W
Section: 13

RIVERSIDE COUNTY PLANNING DEPARTMENT

Assessors
Bk. Pg. 317-24
Thomas
Bros. Pg. 777 E4

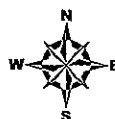


DEVELOPMENT OPPORTUNITY



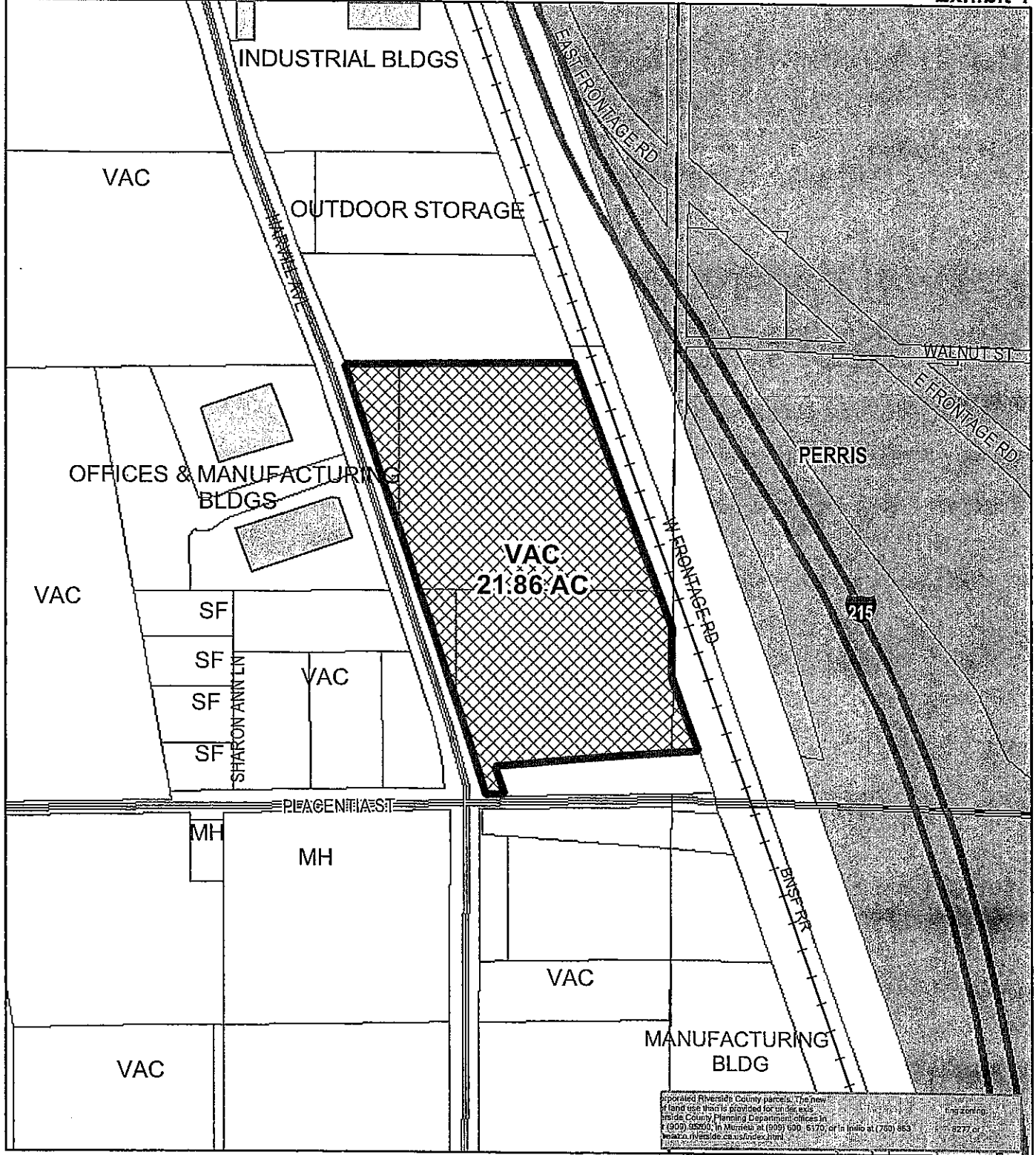
RIVERSIDE COUNTY PLANNING DEPARTMENT

Area
 Plan: North Perris
 Township/Range: T4SR4W
 Section: 13



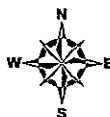
Assessors
 Bk. Pg. 317-24
 Thomas
 Bros. Pg. 777 E4

Land Use



RIVERSIDE COUNTY PLANNING DEPARTMENT

Zone
Area: North Perris
Township/Range: T4SR4W
Section: 13



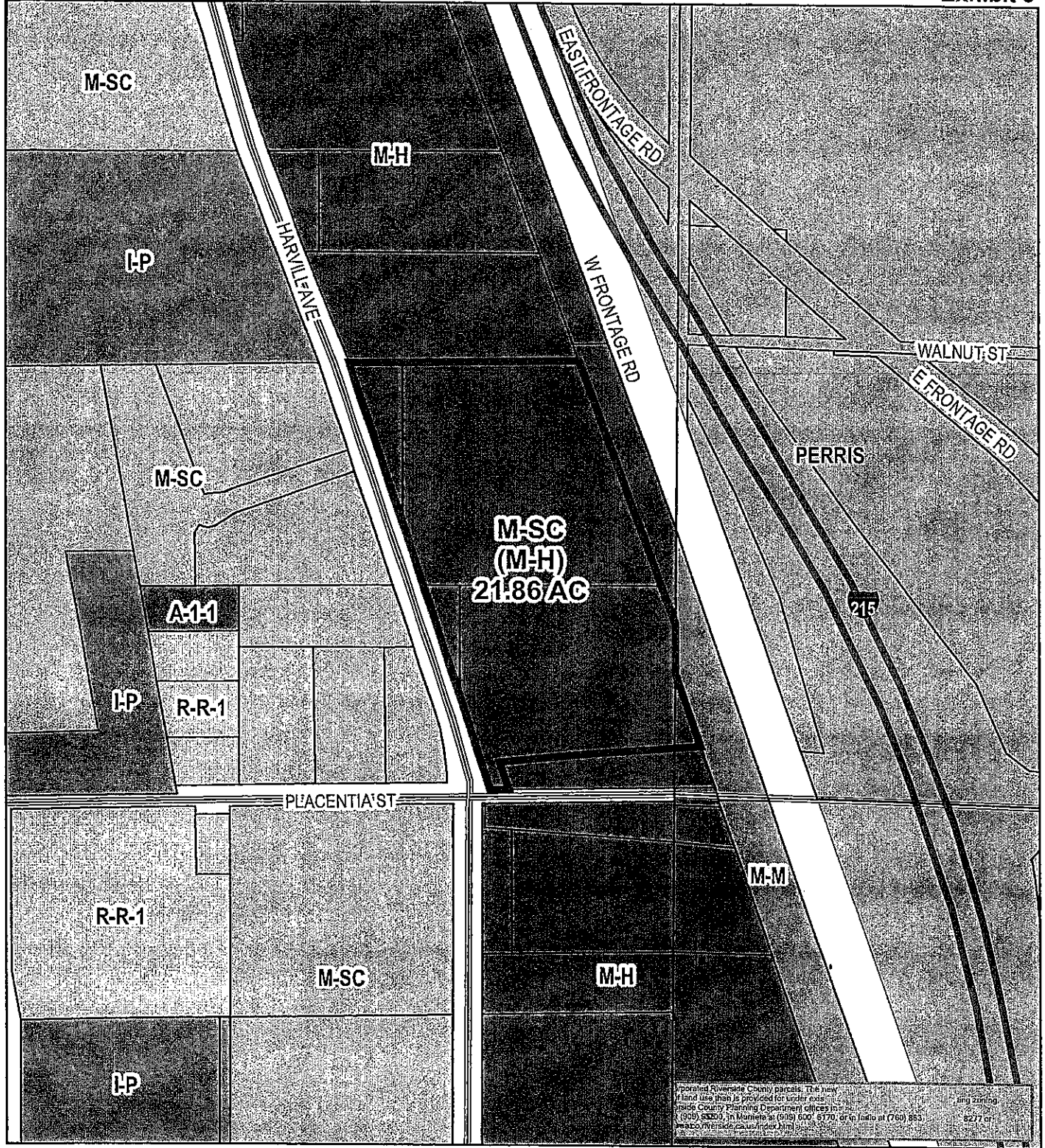
Assessors
Bk. Pg. 317-24
Thomas
Bros. Pg. 777 E4

Supervisor Buster
District 1
Date Drawn: 2/06/08

CZ07186 PP20711 PM34706 EIR497

Planner: Ryan Fowler
Date: 03/05/08
Exhibit 3

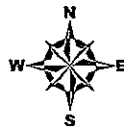
PROPOSED ZONING



Operated Riverside County parcels. The near
land use than is provided for under exte
Riverside County Planning Department offices in
(951) 533-3131, in Riverside at (951) 500-5170, or in Inland at (760) 853-
www.riversidecountyindex.htm 02/27/08

RIVERSIDE COUNTY PLANNING DEPARTMENT

Zone
Area: North Perris
Township/Range: T4SR4W
Section : 13

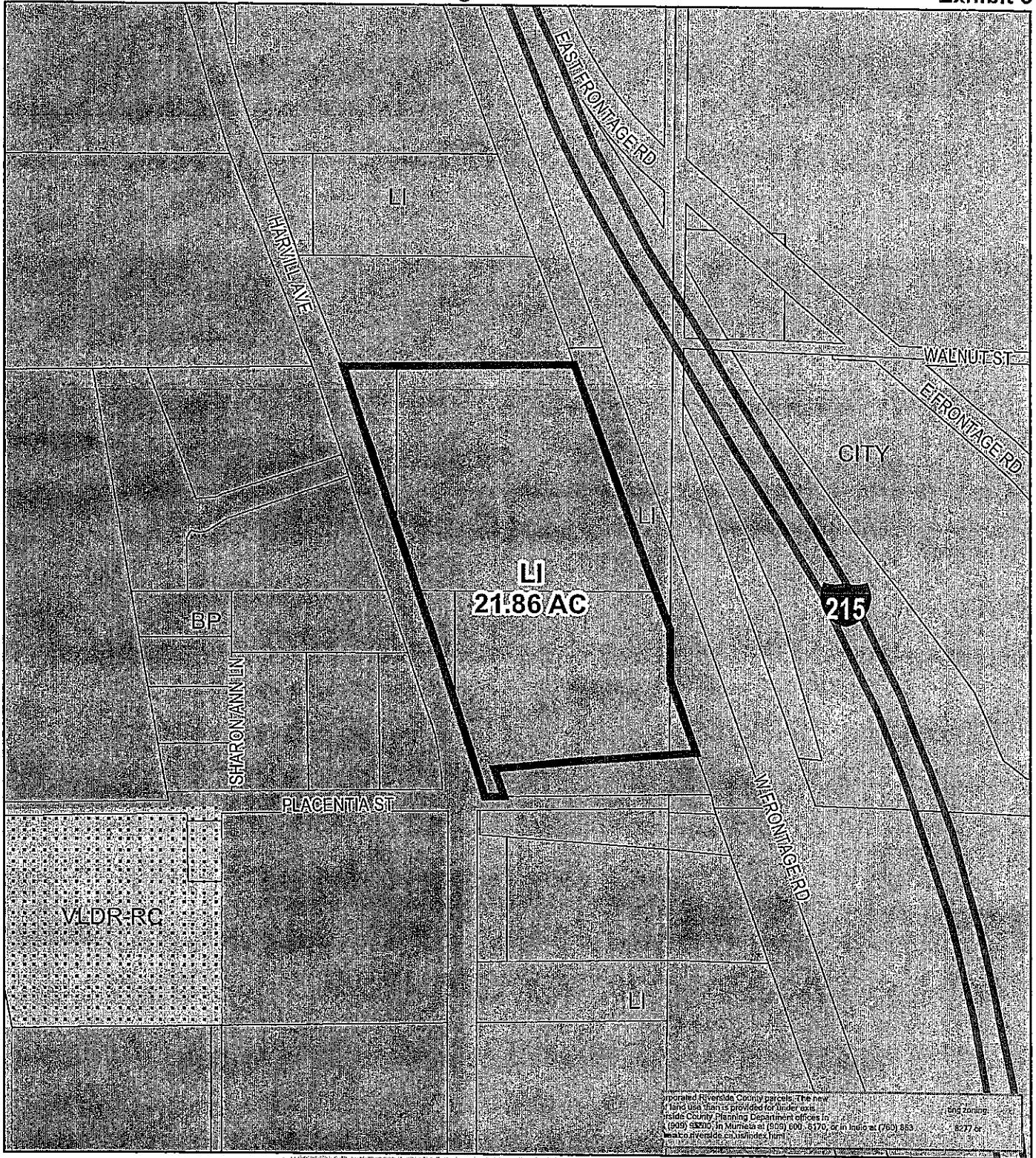


Assessors
Bk. Pg. 317-24
Thomas
Bros. Pg. 777 E4

Supervisor Buster
District 1
Date Drawn: 2/06/08

CZ07186 PP20711 PM34706 EIR497
Existing General Plan

Planner: Ryan Fowler
Date: 3/05/08
Exhibit 5



Unincorporated Riverside County parcels. The new
land use plan is provided for under existing
Riverside County Planning Department offices in
(951) 952-1100 in Murietta at (951) 600-1170, or in Inland at (951) 853-
West Riverside County Planning Department

Zone
Area: North Perris
Township/Range: T4SR4W
Section: 13

RIVERSIDE COUNTY PLANNING DEPARTMENT

Assessors
Bk. Pg. 317-24
Thomas
Bros. Pg. 777 E4

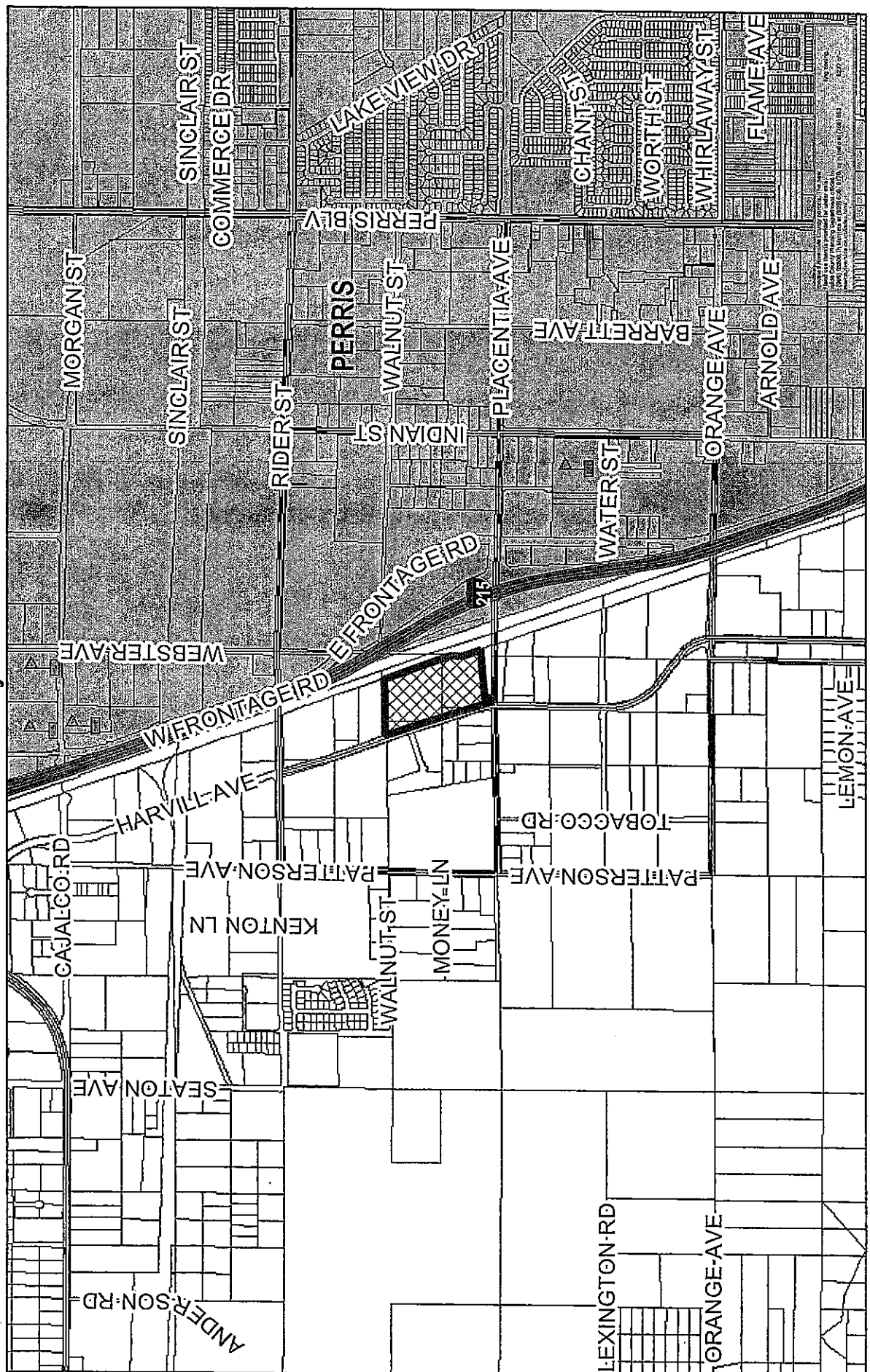


Supervisor Buster
District 1
Date Drawn: 2/06/08

CZ07186 PP20711 PM34706 EIR497

Policy Areas

Planner: Ryan Fowler
Date: 3/05/08
Exhibit 8



Zone
Area: North Perris
Township/Range: T4SR4W
Section : 13

RIVERSIDE COUNTY PLANNING DEPARTMENT

Assessors
Bk. Pg. 317-24
Thomas
Bros. Pg. 777 E4

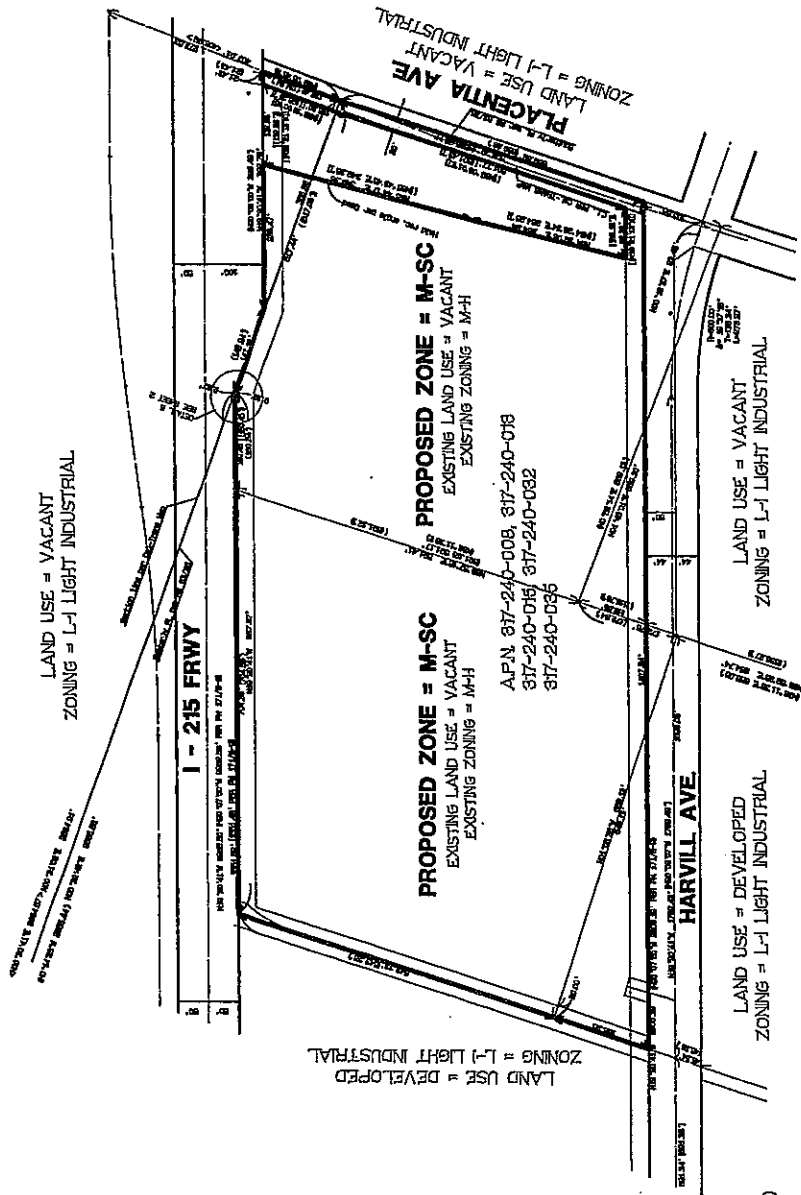


ASSESSOR'S PARCEL #:
 317-240-008, 317-240-013
 317-240-015, 317-240-052
 317-240-035

LAND OWNER:
 OAKMONT - HARVILL PLACENTIA LLC
 B CORPORATE PARK, 3RD FLOOR
 TRAYNE, CA 92606
 PH: (949) 442-8383

PREPARER:
 ALBERT A. WEBB ASSOCIATES
 3766 MCGRAY STREET
 RIVERSIDE, CA 92506
 PH: (951) 688-0770
 FAX: (951) 788-1266
 ATTN: SANDRA CHANDLER

APPLICANT:
 OAKMONT INDUSTRIAL GROUP
 B CORPORATE PARK, 3RD FLOOR
 IRVINE, CA 92606
 PH: (949) 442-8383



ACREAGE:
 TOTAL: 49.80 AC. (GROSS)
 49.44 AC. (NET)

NOTES:

- 2005 THOMAS BROS. MAP - PAGE 777, GRID F-4.
- FLOOD ZONE "C" NOT WITHIN 100 YR. FLOOD PLAIN. (PERMA PANEL NUMBER 060245 1450 D)
- THIS AREA IS NOT WITHIN A SPECIFIC PLAN.

LEGAL DESCRIPTION:

PARCEL A:
 THOSE PORTIONS OF LOTS 9 AND 10 OF REVISED MAP OF CHANDLERS SUBDIVISION OF THE NORTHWEST QUARTER OF SECTION 43, TOWNSHIP 4 SOUTH, RANGE 4 WEST, SAN BERNARDINO BASE AND MERIDIAN.
 PARCEL B:
 THAT PORTION OF THE NORTHWEST QUARTER OF SECTION 46, TOWNSHIP 4 SOUTH, RANGE 3 WEST, SAN BERNARDINO BASE AND MERIDIAN, LYING SOUTHWESTERLY OF THE ATCHISON, TOPEKA AND SANTA FE RAILROAD COMPANY RIGHT OF WAY.

UTILITIES:

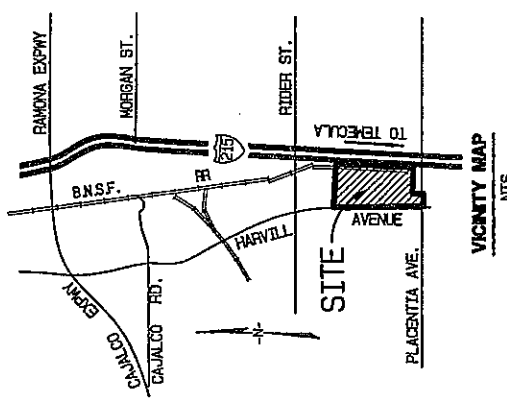
- WATER - EASTERN MUNICIPAL WATER DISTRICT
- SEWER - EASTERN MUNICIPAL WATER DISTRICT
- GAS - SOUTHERN CALIFORNIA GAS COMPANY
- ELECTRIC - SOUTHERN CALIFORNIA EDISON
- TELEPHONE - VERIZON

SCHOOL DISTRICT

VAL VERDE UNIFIED SCHOOL DISTRICT

M-SC

MANUFACTURING - SERVICE COMMERCIAL



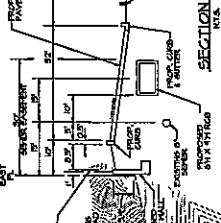
CHANGE OF ZONE

FOR

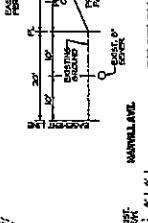
PLOT PLAN NO. XXXXX

EMB 4 SUBDIVISION OF A PORTION OF SECTION 43, T. 4 S., R. 4 E. SAN BERNARDINO COUNTY, CALIFORNIA	
SCALE: 1" = 200' DATE: 2/2/2008 DRAWN: T.S. CHECKED: T.S. DESIGNED: T.S.	CIVIL ENGINEERS WEBB 3766 MCGRAY ST. RIVERSIDE, CA 92506 TEL: (951) 688-0770 FAX: (951) 788-1266
SHEET 1 OF 1 SHEETS	DWG. NO. 060245/07

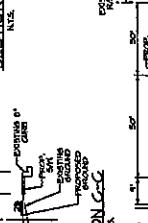
SECTION A-A
N.E.A.



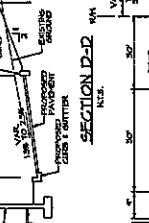
SECTION B-B
N.E.A.



SECTION C-C
N.E.A.



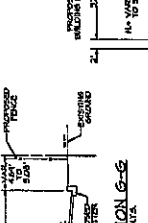
SECTION D-D
N.E.A.



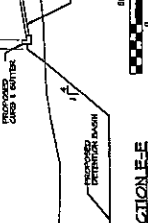
SECTION E-E
N.E.A.



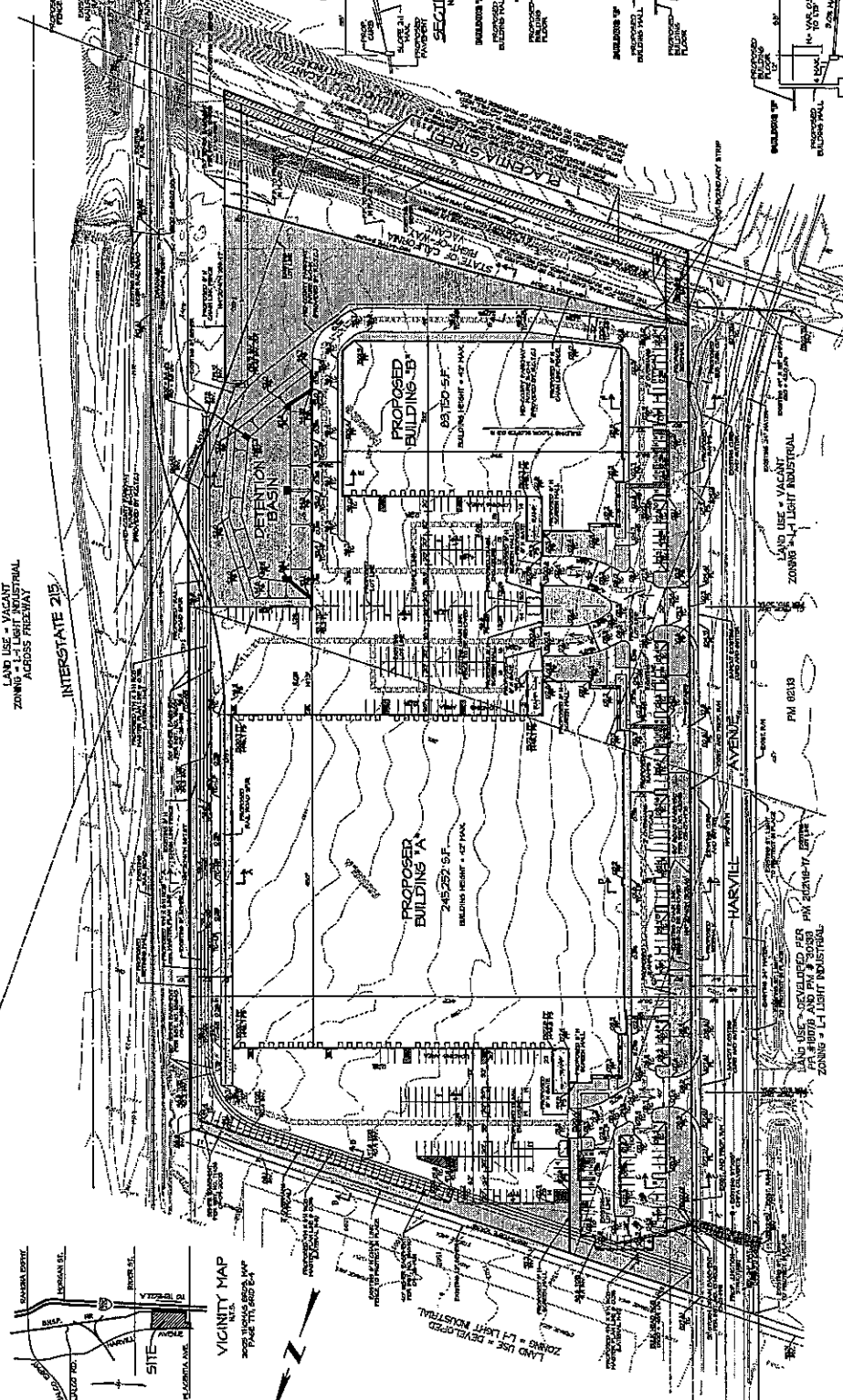
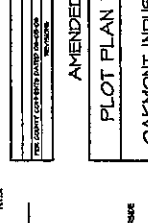
SECTION F-F
N.E.A.



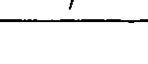
SECTION G-G
N.E.A.



SECTION H-H
N.E.A.



VICINITY MAP
N.E.A.



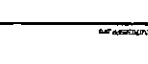
LANDSCAPING

- 1. THERE IS NO HURDLING OR OBSTRUCTIONAL VEHICLE SPACES.
- 2. THERE IS NO SIGNATURE BENCHES, SEWAGE DISPOSAL, INTERFERED FOR THIS SITE.
- 3. FOR SIGNATURE AND LANDSCAPING NEEDS TO LANDSCAPE.
- 4. LAND IS NOT SUITABLE TO OVERLOOK, INTERFERED ON PLACED HAZARD.
- 5. LAND IS NOT SUITABLE TO OVERLOOK, INTERFERED ON PLACED HAZARD.
- 6. THERE ARE NO SIGNATURE BENCHES, SEWAGE DISPOSAL, INTERFERED FOR THIS SITE.
- 7. THERE IS NO SIGNATURE BENCHES, SEWAGE DISPOSAL, INTERFERED FOR THIS SITE.
- 8. THERE IS NO SIGNATURE BENCHES, SEWAGE DISPOSAL, INTERFERED FOR THIS SITE.
- 9. THERE IS NO SIGNATURE BENCHES, SEWAGE DISPOSAL, INTERFERED FOR THIS SITE.
- 10. THERE IS NO SIGNATURE BENCHES, SEWAGE DISPOSAL, INTERFERED FOR THIS SITE.
- 11. THERE IS NO SIGNATURE BENCHES, SEWAGE DISPOSAL, INTERFERED FOR THIS SITE.
- 12. THERE IS NO SIGNATURE BENCHES, SEWAGE DISPOSAL, INTERFERED FOR THIS SITE.
- 13. THERE IS NO SIGNATURE BENCHES, SEWAGE DISPOSAL, INTERFERED FOR THIS SITE.
- 14. THERE IS NO SIGNATURE BENCHES, SEWAGE DISPOSAL, INTERFERED FOR THIS SITE.
- 15. THERE IS NO SIGNATURE BENCHES, SEWAGE DISPOSAL, INTERFERED FOR THIS SITE.
- 16. THERE IS NO SIGNATURE BENCHES, SEWAGE DISPOSAL, INTERFERED FOR THIS SITE.
- 17. THERE IS NO SIGNATURE BENCHES, SEWAGE DISPOSAL, INTERFERED FOR THIS SITE.
- 18. THERE IS NO SIGNATURE BENCHES, SEWAGE DISPOSAL, INTERFERED FOR THIS SITE.
- 19. THERE IS NO SIGNATURE BENCHES, SEWAGE DISPOSAL, INTERFERED FOR THIS SITE.
- 20. THERE IS NO SIGNATURE BENCHES, SEWAGE DISPOSAL, INTERFERED FOR THIS SITE.

NOTES

1. THIS AREA IS NOT SUITABLE TO OVERLOOK, INTERFERED ON PLACED HAZARD.
2. THIS AREA IS NOT SUITABLE TO OVERLOOK, INTERFERED ON PLACED HAZARD.
3. THIS AREA IS NOT SUITABLE TO OVERLOOK, INTERFERED ON PLACED HAZARD.
4. THIS AREA IS NOT SUITABLE TO OVERLOOK, INTERFERED ON PLACED HAZARD.
5. THIS AREA IS NOT SUITABLE TO OVERLOOK, INTERFERED ON PLACED HAZARD.
6. THIS AREA IS NOT SUITABLE TO OVERLOOK, INTERFERED ON PLACED HAZARD.
7. THIS AREA IS NOT SUITABLE TO OVERLOOK, INTERFERED ON PLACED HAZARD.
8. THIS AREA IS NOT SUITABLE TO OVERLOOK, INTERFERED ON PLACED HAZARD.
9. THIS AREA IS NOT SUITABLE TO OVERLOOK, INTERFERED ON PLACED HAZARD.
10. THIS AREA IS NOT SUITABLE TO OVERLOOK, INTERFERED ON PLACED HAZARD.
11. THIS AREA IS NOT SUITABLE TO OVERLOOK, INTERFERED ON PLACED HAZARD.
12. THIS AREA IS NOT SUITABLE TO OVERLOOK, INTERFERED ON PLACED HAZARD.
13. THIS AREA IS NOT SUITABLE TO OVERLOOK, INTERFERED ON PLACED HAZARD.
14. THIS AREA IS NOT SUITABLE TO OVERLOOK, INTERFERED ON PLACED HAZARD.
15. THIS AREA IS NOT SUITABLE TO OVERLOOK, INTERFERED ON PLACED HAZARD.
16. THIS AREA IS NOT SUITABLE TO OVERLOOK, INTERFERED ON PLACED HAZARD.
17. THIS AREA IS NOT SUITABLE TO OVERLOOK, INTERFERED ON PLACED HAZARD.
18. THIS AREA IS NOT SUITABLE TO OVERLOOK, INTERFERED ON PLACED HAZARD.
19. THIS AREA IS NOT SUITABLE TO OVERLOOK, INTERFERED ON PLACED HAZARD.
20. THIS AREA IS NOT SUITABLE TO OVERLOOK, INTERFERED ON PLACED HAZARD.

TYPICAL STREET SECTION HARVILL AVE.



LANDSCAPING

- 1. THERE IS NO SIGNATURE BENCHES, SEWAGE DISPOSAL, INTERFERED FOR THIS SITE.
- 2. THERE IS NO SIGNATURE BENCHES, SEWAGE DISPOSAL, INTERFERED FOR THIS SITE.
- 3. THERE IS NO SIGNATURE BENCHES, SEWAGE DISPOSAL, INTERFERED FOR THIS SITE.
- 4. THERE IS NO SIGNATURE BENCHES, SEWAGE DISPOSAL, INTERFERED FOR THIS SITE.
- 5. THERE IS NO SIGNATURE BENCHES, SEWAGE DISPOSAL, INTERFERED FOR THIS SITE.
- 6. THERE IS NO SIGNATURE BENCHES, SEWAGE DISPOSAL, INTERFERED FOR THIS SITE.
- 7. THERE IS NO SIGNATURE BENCHES, SEWAGE DISPOSAL, INTERFERED FOR THIS SITE.
- 8. THERE IS NO SIGNATURE BENCHES, SEWAGE DISPOSAL, INTERFERED FOR THIS SITE.
- 9. THERE IS NO SIGNATURE BENCHES, SEWAGE DISPOSAL, INTERFERED FOR THIS SITE.
- 10. THERE IS NO SIGNATURE BENCHES, SEWAGE DISPOSAL, INTERFERED FOR THIS SITE.
- 11. THERE IS NO SIGNATURE BENCHES, SEWAGE DISPOSAL, INTERFERED FOR THIS SITE.
- 12. THERE IS NO SIGNATURE BENCHES, SEWAGE DISPOSAL, INTERFERED FOR THIS SITE.
- 13. THERE IS NO SIGNATURE BENCHES, SEWAGE DISPOSAL, INTERFERED FOR THIS SITE.
- 14. THERE IS NO SIGNATURE BENCHES, SEWAGE DISPOSAL, INTERFERED FOR THIS SITE.
- 15. THERE IS NO SIGNATURE BENCHES, SEWAGE DISPOSAL, INTERFERED FOR THIS SITE.
- 16. THERE IS NO SIGNATURE BENCHES, SEWAGE DISPOSAL, INTERFERED FOR THIS SITE.
- 17. THERE IS NO SIGNATURE BENCHES, SEWAGE DISPOSAL, INTERFERED FOR THIS SITE.
- 18. THERE IS NO SIGNATURE BENCHES, SEWAGE DISPOSAL, INTERFERED FOR THIS SITE.
- 19. THERE IS NO SIGNATURE BENCHES, SEWAGE DISPOSAL, INTERFERED FOR THIS SITE.
- 20. THERE IS NO SIGNATURE BENCHES, SEWAGE DISPOSAL, INTERFERED FOR THIS SITE.

PROPOSED BUILDING 'A'
245,252 SF.
BUILDING HEIGHT - 47 FT MAX.

PROPOSED BUILDING 'B'
63,730 SF.
BUILDING HEIGHT - 47 FT MAX.

DEFENTION BASIN

LAND USE - VACANT
ZONING - L1 LIGHT INDUSTRIAL

LAND USE - VACANT
ZONING - L1 LIGHT INDUSTRIAL

LAND USE - VACANT
ZONING - L1 LIGHT INDUSTRIAL

LAND USE - VACANT
ZONING - L1 LIGHT INDUSTRIAL

LAND USE - VACANT
ZONING - L1 LIGHT INDUSTRIAL

LAND USE - VACANT
ZONING - L1 LIGHT INDUSTRIAL

LAND USE - VACANT
ZONING - L1 LIGHT INDUSTRIAL

PROPERTY OWNER:
WEBB INDUSTRIAL GROUP

APPLICANT:
WEBB INDUSTRIAL GROUP

PREPARED BY:
WEBB INDUSTRIAL GROUP

ARCHITECT:
WEBB INDUSTRIAL GROUP

UTILITIES:
WEBB INDUSTRIAL GROUP

SCHOOL DISTRICT:
WEBB INDUSTRIAL GROUP

AGGREGATOR'S PARCEL #:
WEBB INDUSTRIAL GROUP

ACREAGE:
WEBB INDUSTRIAL GROUP

LOT SUMMARY:
WEBB INDUSTRIAL GROUP

PROJECT NO. 20711

PERMISSIONAL STATE

HARVILL CENTER
 NE CORNER OF HARVILL LANE
 AND PLACENTIA STREET
 COUNTY OF RIVERSIDE, CA
 PLOT PLAN NO. 20771
 AMENDMENT 2

OWNER & APPLICANT:
OAKMONT INDUSTRIAL GROUP
 1801 MADISON STREET WEST
 SUITE 100
 IRVINE, CA 92614
 TEL: 949 241 1100
 FAX: 949 241 1100
 oir@oakmont.com

NO.	DATE	DESCRIPTION
01	01/15/14	ISSUED FOR PERMITS
02	01/15/14	ISSUED FOR PERMITS
03	01/15/14	ISSUED FOR PERMITS
04	01/15/14	ISSUED FOR PERMITS
05	01/15/14	ISSUED FOR PERMITS
06	01/15/14	ISSUED FOR PERMITS
07	01/15/14	ISSUED FOR PERMITS
08	01/15/14	ISSUED FOR PERMITS
09	01/15/14	ISSUED FOR PERMITS
10	01/15/14	ISSUED FOR PERMITS
11	01/15/14	ISSUED FOR PERMITS
12	01/15/14	ISSUED FOR PERMITS
13	01/15/14	ISSUED FOR PERMITS
14	01/15/14	ISSUED FOR PERMITS
15	01/15/14	ISSUED FOR PERMITS
16	01/15/14	ISSUED FOR PERMITS
17	01/15/14	ISSUED FOR PERMITS
18	01/15/14	ISSUED FOR PERMITS
19	01/15/14	ISSUED FOR PERMITS
20	01/15/14	ISSUED FOR PERMITS
21	01/15/14	ISSUED FOR PERMITS
22	01/15/14	ISSUED FOR PERMITS
23	01/15/14	ISSUED FOR PERMITS
24	01/15/14	ISSUED FOR PERMITS
25	01/15/14	ISSUED FOR PERMITS
26	01/15/14	ISSUED FOR PERMITS
27	01/15/14	ISSUED FOR PERMITS
28	01/15/14	ISSUED FOR PERMITS
29	01/15/14	ISSUED FOR PERMITS
30	01/15/14	ISSUED FOR PERMITS
31	01/15/14	ISSUED FOR PERMITS
32	01/15/14	ISSUED FOR PERMITS
33	01/15/14	ISSUED FOR PERMITS
34	01/15/14	ISSUED FOR PERMITS
35	01/15/14	ISSUED FOR PERMITS
36	01/15/14	ISSUED FOR PERMITS
37	01/15/14	ISSUED FOR PERMITS
38	01/15/14	ISSUED FOR PERMITS
39	01/15/14	ISSUED FOR PERMITS
40	01/15/14	ISSUED FOR PERMITS
41	01/15/14	ISSUED FOR PERMITS
42	01/15/14	ISSUED FOR PERMITS
43	01/15/14	ISSUED FOR PERMITS
44	01/15/14	ISSUED FOR PERMITS
45	01/15/14	ISSUED FOR PERMITS
46	01/15/14	ISSUED FOR PERMITS
47	01/15/14	ISSUED FOR PERMITS
48	01/15/14	ISSUED FOR PERMITS
49	01/15/14	ISSUED FOR PERMITS
50	01/15/14	ISSUED FOR PERMITS

REVISIONS

1. REVISED PERMITS
2. REVISED PERMITS
3. REVISED PERMITS
4. REVISED PERMITS
5. REVISED PERMITS
6. REVISED PERMITS
7. REVISED PERMITS
8. REVISED PERMITS
9. REVISED PERMITS
10. REVISED PERMITS
11. REVISED PERMITS
12. REVISED PERMITS
13. REVISED PERMITS
14. REVISED PERMITS
15. REVISED PERMITS
16. REVISED PERMITS
17. REVISED PERMITS
18. REVISED PERMITS
19. REVISED PERMITS
20. REVISED PERMITS
21. REVISED PERMITS
22. REVISED PERMITS
23. REVISED PERMITS
24. REVISED PERMITS
25. REVISED PERMITS
26. REVISED PERMITS
27. REVISED PERMITS
28. REVISED PERMITS
29. REVISED PERMITS
30. REVISED PERMITS
31. REVISED PERMITS
32. REVISED PERMITS
33. REVISED PERMITS
34. REVISED PERMITS
35. REVISED PERMITS
36. REVISED PERMITS
37. REVISED PERMITS
38. REVISED PERMITS
39. REVISED PERMITS
40. REVISED PERMITS
41. REVISED PERMITS
42. REVISED PERMITS
43. REVISED PERMITS
44. REVISED PERMITS
45. REVISED PERMITS
46. REVISED PERMITS
47. REVISED PERMITS
48. REVISED PERMITS
49. REVISED PERMITS
50. REVISED PERMITS

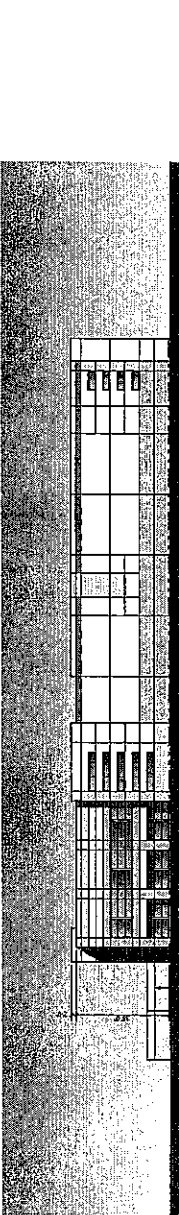
NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA BUILDING CODE AND ALL APPLICABLE ORDINANCES.
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA ELECTRICAL CODE AND ALL APPLICABLE ORDINANCES.
3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA MECHANICAL CODE AND ALL APPLICABLE ORDINANCES.
4. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA PLUMBING CODE AND ALL APPLICABLE ORDINANCES.
5. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA FIRE AND SAFETY CODE AND ALL APPLICABLE ORDINANCES.
6. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA LAND DEVELOPMENT CODE AND ALL APPLICABLE ORDINANCES.
7. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA ENVIRONMENTAL QUALITY ACT AND ALL APPLICABLE ORDINANCES.
8. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA HISTORIC PRESERVATION ACT AND ALL APPLICABLE ORDINANCES.
9. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA AIR RESOURCES ACT AND ALL APPLICABLE ORDINANCES.
10. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA WATER RESOURCES ACT AND ALL APPLICABLE ORDINANCES.
11. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA WILDFIRE ACT AND ALL APPLICABLE ORDINANCES.
12. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA SOLID WASTE ACT AND ALL APPLICABLE ORDINANCES.
13. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA SEISMIC ACT AND ALL APPLICABLE ORDINANCES.
14. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA DISASTER PREPAREDNESS ACT AND ALL APPLICABLE ORDINANCES.
15. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA CLIMATE CHANGE ACT AND ALL APPLICABLE ORDINANCES.
16. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA ENERGY EFFICIENCY ACT AND ALL APPLICABLE ORDINANCES.
17. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA GREEN BUILDING ACT AND ALL APPLICABLE ORDINANCES.
18. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA SUSTAINABLE DESIGN ACT AND ALL APPLICABLE ORDINANCES.
19. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA WATER EFFICIENCY ACT AND ALL APPLICABLE ORDINANCES.
20. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA AIR QUALITY ACT AND ALL APPLICABLE ORDINANCES.
21. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA SOIL CONSERVATION ACT AND ALL APPLICABLE ORDINANCES.
22. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA WETLANDS ACT AND ALL APPLICABLE ORDINANCES.
23. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA CULTURAL RESOURCES ACT AND ALL APPLICABLE ORDINANCES.
24. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA HISTORIC PRESERVATION ACT AND ALL APPLICABLE ORDINANCES.
25. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA ARCHITECTURAL HISTORIC PRESERVATION ACT AND ALL APPLICABLE ORDINANCES.
26. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA MONUMENTS ACT AND ALL APPLICABLE ORDINANCES.
27. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA HISTORIC PRESERVATION ACT AND ALL APPLICABLE ORDINANCES.
28. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA HISTORIC PRESERVATION ACT AND ALL APPLICABLE ORDINANCES.
29. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA HISTORIC PRESERVATION ACT AND ALL APPLICABLE ORDINANCES.
30. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA HISTORIC PRESERVATION ACT AND ALL APPLICABLE ORDINANCES.
31. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA HISTORIC PRESERVATION ACT AND ALL APPLICABLE ORDINANCES.
32. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA HISTORIC PRESERVATION ACT AND ALL APPLICABLE ORDINANCES.
33. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA HISTORIC PRESERVATION ACT AND ALL APPLICABLE ORDINANCES.
34. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA HISTORIC PRESERVATION ACT AND ALL APPLICABLE ORDINANCES.
35. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA HISTORIC PRESERVATION ACT AND ALL APPLICABLE ORDINANCES.
36. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA HISTORIC PRESERVATION ACT AND ALL APPLICABLE ORDINANCES.
37. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA HISTORIC PRESERVATION ACT AND ALL APPLICABLE ORDINANCES.
38. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA HISTORIC PRESERVATION ACT AND ALL APPLICABLE ORDINANCES.
39. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA HISTORIC PRESERVATION ACT AND ALL APPLICABLE ORDINANCES.
40. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA HISTORIC PRESERVATION ACT AND ALL APPLICABLE ORDINANCES.
41. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA HISTORIC PRESERVATION ACT AND ALL APPLICABLE ORDINANCES.
42. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA HISTORIC PRESERVATION ACT AND ALL APPLICABLE ORDINANCES.
43. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA HISTORIC PRESERVATION ACT AND ALL APPLICABLE ORDINANCES.
44. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA HISTORIC PRESERVATION ACT AND ALL APPLICABLE ORDINANCES.
45. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA HISTORIC PRESERVATION ACT AND ALL APPLICABLE ORDINANCES.
46. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA HISTORIC PRESERVATION ACT AND ALL APPLICABLE ORDINANCES.
47. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA HISTORIC PRESERVATION ACT AND ALL APPLICABLE ORDINANCES.
48. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA HISTORIC PRESERVATION ACT AND ALL APPLICABLE ORDINANCES.
49. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA HISTORIC PRESERVATION ACT AND ALL APPLICABLE ORDINANCES.
50. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA HISTORIC PRESERVATION ACT AND ALL APPLICABLE ORDINANCES.

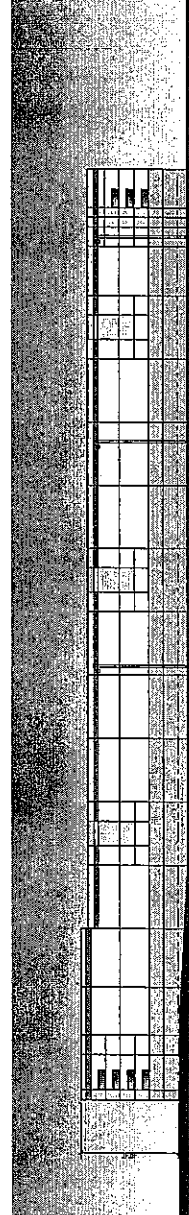
FINISH SCHEDULE

- 1. UNFINISHED CONCRETE
- 2. UNFINISHED GYPSUM BOARD
- 3. UNFINISHED PAINT
- 4. UNFINISHED TILE
- 5. UNFINISHED CARPET
- 6. UNFINISHED CEILING
- 7. UNFINISHED FLOORING
- 8. UNFINISHED WALLS
- 9. UNFINISHED ROOFING
- 10. UNFINISHED MECHANICAL
- 11. UNFINISHED ELECTRICAL
- 12. UNFINISHED PLUMBING
- 13. UNFINISHED HVAC
- 14. UNFINISHED LIGHTING
- 15. UNFINISHED SCAFFOLDING
- 16. UNFINISHED FORMWORK
- 17. UNFINISHED REINFORCEMENT
- 18. UNFINISHED CURBING
- 19. UNFINISHED PAVING
- 20. UNFINISHED LANDSCAPING
- 21. UNFINISHED SIGNAGE
- 22. UNFINISHED FURNITURE
- 23. UNFINISHED EQUIPMENT
- 24. UNFINISHED UTILITIES
- 25. UNFINISHED SECURITY
- 26. UNFINISHED ACCESSIBILITY
- 27. UNFINISHED SUSTAINABILITY
- 28. UNFINISHED GREEN BUILDING
- 29. UNFINISHED ENERGY EFFICIENCY
- 30. UNFINISHED WATER EFFICIENCY
- 31. UNFINISHED AIR QUALITY
- 32. UNFINISHED SOIL CONSERVATION
- 33. UNFINISHED WETLANDS
- 34. UNFINISHED CULTURAL RESOURCES
- 35. UNFINISHED HISTORIC PRESERVATION
- 36. UNFINISHED ARCHITECTURAL HISTORIC PRESERVATION
- 37. UNFINISHED MONUMENTS
- 38. UNFINISHED HISTORIC PRESERVATION
- 39. UNFINISHED HISTORIC PRESERVATION
- 40. UNFINISHED HISTORIC PRESERVATION
- 41. UNFINISHED HISTORIC PRESERVATION
- 42. UNFINISHED HISTORIC PRESERVATION
- 43. UNFINISHED HISTORIC PRESERVATION
- 44. UNFINISHED HISTORIC PRESERVATION
- 45. UNFINISHED HISTORIC PRESERVATION
- 46. UNFINISHED HISTORIC PRESERVATION
- 47. UNFINISHED HISTORIC PRESERVATION
- 48. UNFINISHED HISTORIC PRESERVATION
- 49. UNFINISHED HISTORIC PRESERVATION
- 50. UNFINISHED HISTORIC PRESERVATION

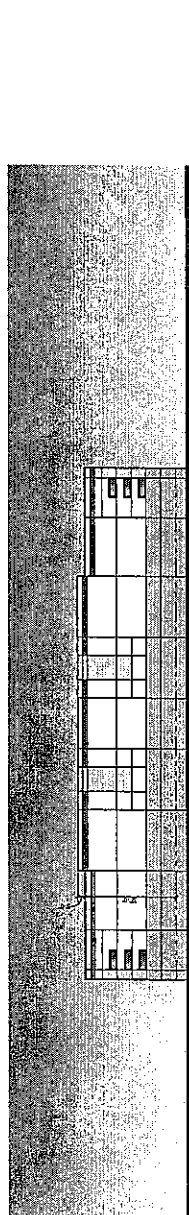
SCALE
 1" = 16'-0"



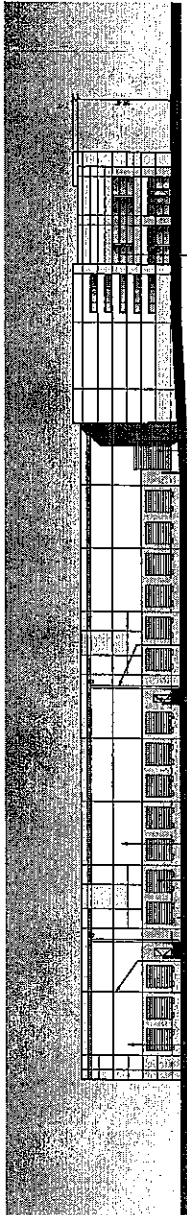
WEST ELEVATION BUILDING B



SOUTH ELEVATION BUILDING B



EAST ELEVATION BUILDING B



NORTH ELEVATION BUILDING B

NEW OFFICE/ WAREHOUSE FACILITY

Project Address: North East Corner of Harvill Ave.
And Placentia Street
County of Riverside , CA

Plot Plan No. 20771

Building Owner:

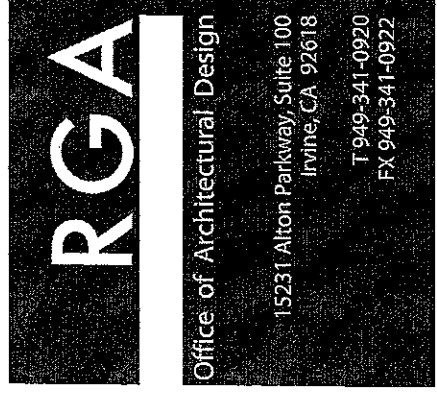
Oakmont Industrial Group
18201 McDermott Street West Suite E.
Irvine, CA 92614
Contact : Michael Johnson (949) 253-8080

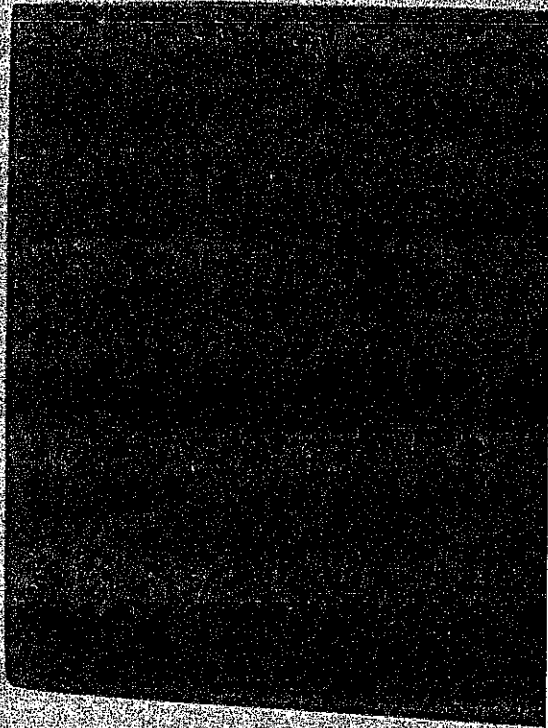
1.) Storefront glazing performance reflective Blue Monolithic 1/4" Visteon Versalux 2000R glass

2.) Exterior building colors to be:

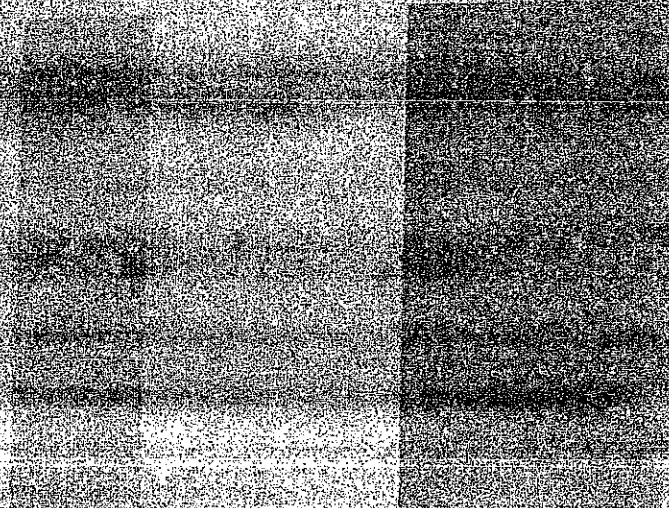
- A.) Primary base color by, ICI #614
Color : Stonington Beige MP#30yy 44/114
- B.) Field color by, ICI # 815
Color : Natural White MP# 50yy 83/029
- C.) Accent color by, ICI #. 649
Color : Oyster White MP#30yy 64/149

3.) Aluminum Clear anodized storefront w/ 2" x 4 1/4" min. sections.





**HARVILL CENTER
BUILDING A**
N/E CORNER OF HARVILL AVE.
AND PLACENTIA STREET
COUNTY OF RIVERSIDE, CA



C

B

A



OAKMONT
INDUSTRIAL GROUP

18701 MCDURMOTT STREET
WEST SUITE E
IRVINE, CA 92614
949-253-8080
MICHAEL JOHNSON
mjohnson@oakmontre.com

PARCEL MAP Parcel Map #: PM34706

Parcel: 317-240-035

10. GENERAL CONDITIONS

EVERY DEPARTMENT

10. EVERY. 1 MAP- DEFINITIONS RECOMMND

The words identified in the following list that appear in all capitals in the attached conditions of Tentative Commercial Parcel Map No. 34706 shall be henceforth defined as follows:

TENTATIVE MAP = Tentative Commercial Parcel Map No. 34706, Amended No. 2, dated July 30,2008.

FINAL MAP = Final Map or Parcel Map for the TENTATIVE MAP whether recorded in whole or in phases.

10. EVERY. 2 MAP- PROJECT DESCRIPTION RECOMMND

The land division hereby permitted is for a Schedule E subdivision of 21.52 gross acres into two parcels: Parcel 1 is 13.63 gross acres and Parcel 2 is 7.53 gross acres. The tentative parcel map also includes a 0.36 acre dedication to the public right-of-way.

10. EVERY. 3 MAP - HOLD HARMLESS RECOMMND

The land divider or any successor-in-interest shall defend, indemnify, and hold harmless the County of Riverside

COUNTY), its agents, officers, or employees from any claim, action, or proceeding against the COUNTY, its agents, officers, or employees to attack, set aside, void, or annul an approval of the COUNTY, its advisory agencies, appeal boards, or legislative body concerning the TENTATIVE MAP, which action is brought within the time period provided for in California Government Code, Section 66499.37. The COUNTY will promptly notify the land divider of any such claim, action, or proceeding against the COUNTY and will cooperate fully in the defense. If the COUNTY fails to promptly notify the land divider of any such claim, action, or proceeding or fails to cooperate fully in the defense, the land divider shall not, thereafter, be responsible to defend, indemnify, or hold harmless the COUNTY.

10. EVERY. 4 MAP - 90 DAYS TO PROTEST RECOMMND

The land divider has 90 days from the date of approval of these conditions to protest, in accordance with the procedures set forth in Government Code Section 66020, the

PARCEL MAP Parcel Map #: PM34706

Parcel: 317-240-035

10. GENERAL CONDITIONS

10. EVERY. 4 MAP - 90 DAYS TO PROTEST (cont.) RECOMMND

imposition of any and all fees, dedications, reservations and/or other exactions imposed on this project as a result of the approval or conditional approval of this project.

BS GRADE DEPARTMENT

10.BS GRADE. 1 MAP-GIN INTRODUCTION RECOMMND

Improvement such as grading, filling, over excavation and recompaction, and base or paving which require a grading permit are subject to the included Building and Safety Grading Division conditions of approval.

10.BS GRADE. 2 MAP-G1.2 OBEY ALL GDG REGS RECOMMND

All grading shall conform to the California Building Code, Ordinance 457, and all other relevant laws, rules and regulations governing grading in Riverside County and prior to commencing any grading which includes 50 or more cubic yards, the applicant shall obtain a grading permit from the Building & Safety Department.

10.BS GRADE. 3 MAP-G1.3 DISTURBS NEED G/PMT RECOMMND

Ordinance 457 requires a grading permit prior to clearing, grubbing or any top soil disturbances related to construction grading.

10.BS GRADE. 4 MAP-G1.5 EROS CNTRL PROTECT RECOMMND

Graded but undeveloped land shall provide, in addition to erosion control planting, any drainage facility deemed necessary to control or prevent erosion. Additional erosion protection may be required during the rainy season from October 15 to April 15.

10.BS GRADE. 5 MAP-G1.6 DUST CONTROL RECOMMND

All necessary measures to control dust shall be implemented by the developer during grading.

10.BS GRADE. 6 MAP-G2.1 GRADING BONDS RECOMMND

Grading in excess of 199 cubic yards will require performance security to be posted with the Building & Safety Department. Single family dwelling units graded one

PARCEL MAP Parcel Map #: PM34706

Parcel: 317-240-035

10. GENERAL CONDITIONS

10.BS GRADE. 6 MAP-G2.1 GRADING BONDS (cont.) RECOMMND

lot per permit and proposing to grade less than 5,000 cubic yards are exempt.

10.BS GRADE. 7 MAP-G2.5 2:1 MAX SLOPE RATIO RECOMMND

Grade slopes shall be limited to a maximum steepness ratio of 2:1 (horizontal to vertical) unless otherwise approved.

10.BS GRADE. 9 MAP-G2.8 MINIMUM DRAINAGE GRAD RECOMMND

Minimum drainage grade shall be 1% except on portland cement concrete where 0.35% shall be the minimum.

10.BS GRADE. 15 MAP-G1.4 NPDES/SWPPP RECOMMND

Prior to issuance of any grading or construction permits - whichever comes first - the applicant shall provide the Building and Safety Department evidence of compliance with the following: "Effective March 10, 2003 owner operators of grading or construction projects are required to comply with the N.P.D.E.S. (National Pollutant Discharge Elimination System) requirement to obtain a construction permit from the State Water Resource Control Board (SWRCB). The permit requirement applies to grading and construction sites of "ONE" acre or larger. The owner operator can comply by submitting a "Notice of Intent" (NOI), develop and implement a STORM WATER POLLUTION PREVENTION PLAN (SWPPP) and a monitoring program and reporting plan for the construction site. For additional information and to obtain a copy of the NPDES State Construction Permit contact the SWRCB at (916) 657-1146.

Additionally, at the time the county adopts, as part of any ordinance, regulations specific to the N.P.D.E.S., this project (or subdivision) shall comply with them.

FIRE DEPARTMENT

10.FIRE. 1 MAP-#50-BLUE DOT REFLECTORS RECOMMND

Blue retroreflective pavement markers shall be mounted on private streets, public streets and driveways to indicate location of fire hydrants. Prior to installation, placement of markers must be approved by the Riverside County Fire Department.

PARCEL MAP Parcel Map #: PM34706

Parcel: 317-240-035

10. GENERAL CONDITIONS

10.FIRE. 2 MAP-#15-POTENTIAL FIRE FLOW RECOMMND

The water mains shall be capable of providing a potential fire flow 4000 GPM and an actual fire flow available from any one hydrant shall be 2500 GPM for 2 hour duration at 20 PSI residual operating pressure.

10.FIRE. 3 MAP-#14-COM/RES HYD/SPACING RECOMMND

Approved super fire hydrants, (6"x4"x2 1/2"x2 1/2") shall be located at each street intersection and spaced not more than 330 feet apart in any direction, with no portion of any lot frontage more than 165 feet from a fire hydrant.

10.FIRE. 4 MAP NEW AMD#2 RECOMMND

ALL CONDITIONS ARE PER NEW AMENDED #2 DATED 7/30/08 VERSES OLD AMD#2 DATED 7/27/06.

FLOOD RI DEPARTMENT

10.FLOOD RI. 2 MAP- FLOOD HAZARD REPORT RECOMMND

Parcel Map No. 34706, Amended No. 2 is a proposal for a Schedule E Subdivision of 19.8 gross acres into two parcels. This project is located on the northeast corner of Harvill Avenue and Placentia Street and is being processed concurrently with Plot Plan No. 20711.

The site is subject to substantial tributary offsite storm flows from the west during large storm events. Some of these flows are delivered to the site through a series of culverts under Harvill Avenue near the northwest corner of the site. The site naturally drains in an easterly direction towards the railroad tracks which run parallel to the 215 Freeway. Storm flows will then tend to flow south along the tracks to an existing railroad culvert near the southeast corner of the site. This culvert aligns with a culvert under the 215 Freeway and coincides with the proposed alignment of the District's Perris Valley Master Drainage Plan (MDP) Line H.

Development of the site will require significant improvements to collect and convey offsite drainage as well as to mitigate increased runoff and impacts to water quality.

The site is located within the bounds of the Perris Valley

PARCEL MAP Parcel Map #: PM34706

Parcel: 317-240-035

10. GENERAL CONDITIONS

10.FLOOD RI. 2 MAP- FLOOD HAZARD REPORT (cont.) RECOMMND

Area Drainage Plan (ADP) for which drainage fees have been established by the Board of Supervisors. Applicable ADP fees will be due (in accordance with the Rules and Regulations for Administration of Area Drainage Plans) prior to permits for this project. Although the current fee for this ADP is \$8875 per acre, the fee due will be based on the fee in effect at the time of payment.

10.FLOOD RI. 3 MAP PERP DRAINAGE PATTERNS RECOMMND

The property's street and lot grading shall be designed in a manner that perpetuates the existing natural drainage patterns with respect to tributary drainage areas, outlet points and outlet conditions. Otherwise, a drainage easement shall be obtained from the affected property owners for the release of concentrated or diverted storm flows. A copy of the recorded drainage easement shall be submitted to the District for review.

10.FLOOD RI. 4 CONSTRUCT STORM DRAINS RECOMMND

Any development of this site will be required to construct Perris Valley Master Drainage Plan (MDP) Laterals H-10 and H-11 from Harvill Avenue to a point just upstream of the railroad culvert near the southeast corner of the site.

10.FLOOD RI. 5 MAP MAJOR FACILITIES RECOMMND

Major flood control facilities are being proposed. These shall be designed and constructed to District standards including those related to alignment and access to both inlets and outlets. The applicant shall consult the District early in the design process regarding materials, hydraulic design, and transfer of rights of way.

10.FLOOD RI. 6 USE- MAJOR FACILITIES - ADP RECOMMND

Prior to initiation of the final construction drawings for those facilities required to be built as part of the Perris Valley Area Drainage Plan, the developer shall contact the Riverside County Flood Control and Water Conservation District to ascertain the terms and conditions of design, construction, inspection, transfer of rights of way, project credit in lieu of charges and reimbursement schedules which may apply. The developer shall note that if the estimated cost for required Area

PARCEL MAP Parcel Map #: PM34706

Parcel: 317-240-035

10. GENERAL CONDITIONS

10.FLOOD RI. 6 USE- MAJOR FACILITIES - ADP (cont.) RECOMMND

Drainage Plan facilities exceeds the required mitigation charges and the developer wishes to receive credit for reimbursement in excess of his charges, the facilities will be constructed as a public works contract. Scheduling for construction of these facilities will be at the discretion of the District.

PLANNING DEPARTMENT

10.PLANNING. 1 MAP - IF HUMAN REMAINS FOUND RECOMMND

If human remains are encountered, State Health and Safety Code Section 7050.5 states that no further disturbance shall occur until the Riverside County Coroner has made the necessary findings as to origin. Further, pursuant to Public Resource Code Section 5097.98(b) remains shall be left in place and free from disturbance until a final decision as to the treatment and disposition has been made. If the Riverside County Coroner determines the remains to be Native American, the Native American Heritage Commission shall be contacted within a resonable timeframe. Subsequently, the Native American Heritage Commission shall identify the "most likely descendant." The most likely descendant shall then make recommendations and engage in consultation concerning the treatment of the remains as provided in Public Resources Code Section 5097.98.

10.PLANNING. 2 MAP - INADVERTENT ARCHAEO FIND RECOMMND

If during ground disturbance activities, unique cultural resources are discovered that were not assessed by the archaeological report(s) and/or environemntal assessment conducted prior to project approval, the following procedures shall be followed. Unique cultural resources are defined, for this condition, as being multiple artifacts in close association with each other, but may include fewer artifacts if the area of the find is determined to be of significance due to its sacred or cultural importance.

1. All ground disturbance activities within 100 feet of the discovered cultural resources shall be halted until a meeting is convened between the developer, the archaeologist, the Native American tribal respresentative and the Planning Director to discuss the significance of the find.

PARCEL MAP Parcel Map #: PM34706

Parcel: 317-240-035

10. GENERAL CONDITIONS

10.PLANNING. 2 MAP - INADVERTENT ARCHAEO FIND (cont.) RECOMMND

2. At the meeting, the significance of the discoveries shall be discussed and after consultation with the Native American tribal representative and the archaeologist, a decision shall be made, with the concurrence of the Planning Director, as to the appropriate mitigation (documentation, recovery, avoidance, etc.) for the cultural resources.

3. Grading of further ground disturbance shall not resume within the area of the discovery until an agreement has been reached by all parties as to the appropriate mitigation.

10.PLANNING. 3 MAP- MAP ACT COMPLIANCE RECOMMND

This land division shall comply with the State of California Subdivision Map Act and to all requirements of County Ordinance No. 460, Schedule "E" unless modified by the conditions listed herein.

10.PLANNING. 4 MAP - FEES FOR REVIEW RECOMMND

Any subsequent review/approvals required by the conditions of approval, including but not limited to grading or building plan review or review of any mitigation monitoring requirement, shall be reviewed on an hourly basis, or other appropriate fee, as listed in county Ordinance No. 671. Each submittal shall be accompanied with a letter clearly indicating which condition or conditions the submittal is intended to comply with.

10.PLANNING. 6 MAP - LANDSCAPE MAINTENANCE RECOMMND

The land divider, or any successor-in-interest to the land divider, shall be responsible for maintenance and upkeep of all slopes, landscaped areas and irrigation systems within the land division until such time as those operations are the responsibility of the individual home owners, a homeowners association, or any other successor-in-interest.

10.PLANNING. 7 MAP - TRAIL MAINTENANCE RECOMMND

The land divider, or the land divider's successor-in-interest, shall be responsible for the maintenance of any trail easement required under these conditions until such

PARCEL MAP Parcel Map #: PM34706

Parcel: 317-240-035

10. GENERAL CONDITIONS

10.PLANNING. 7 MAP - TRAIL MAINTENANCE (cont.) RECOMMND

time as the maintenance is taken over by an appropriate maintenance district.

10.PLANNING. 10 MAP - NO OFFSITE SIGNAGE RECOMMND

There shall be no offsite signage associated with this land division, except as otherwise provided by Ordinance No. 679.3 (Kiosk Program).

10.PLANNING. 11 MAP - OFFSITE SIGNS ORD 679.4 RECOMMND

No offsite subdivision signs advertising this land division/development are permitted, other than those allowed under Ordinance No. 679.4. Violation of this condition of approval may result in no further permits of any type being issued for this subdivision until the unpermitted signage is removed.

10.PLANNING. 12 MAP - FINAL MAP PREPARER RECOMMND

The FINAL MAP shall be prepared by a licensed land surveyor or registered civil engineer.

10.PLANNING. 15 MAP - ORD 810 OPN SPACE FEE RECOMMND

Prior to the issuance of either a certificate of occupancy or prior to building permit final inspection, the applicant shall comply with the provisions of Riverside County Ordinance No. 810, which requires payment of the appropriate fee set forth in the Ordinance. Riverside County Ordinance No. 810 has been established to set forth policies, regulations and fees related to the funding and acquisition of open space and habitat necessary to address the direct and cumulative environmental effects generated by new development projects described and defined in this Ordinance.

The fee shall be paid for each residential unit to be constructed within this land division.

In the event Riverside County Ordinance No. 810 is rescinded, this condition will no longer be applicable. However, should Riverside County Ordinance No. 810 be rescinded and superseded by a subsequent mitigation fee ordinance, payment of the appropriate fee set forth in that

PARCEL MAP Parcel Map #: PM34706

Parcel: 317-240-035

10. GENERAL CONDITIONS

10.PLANNING. 15 MAP - ORD 810 OPN SPACE FEE (cont.) RECOMMND

ordinance shall be required.

10.PLANNING. 17 MAP - ORD NO. 659 (DIF) RECOMMND

Prior to the issuance of either a certificate of occupancy or prior to building permit final inspection, the applicant shall comply with the provisions of Riverside County Ordinance No. 659, which requires the payment of the appropriate fee set forth in the Ordinance. Riverside County Ordinance No. 659 has been established to set forth policies, regulations and fees related to the funding and construction of facilities necessary to address the direct and cumulative environmental effects generated by new development projects described and defined in this Ordinance, and it establishes the authorized uses of the fees collected.

The fee shall be paid for each residential unit to be constructed within this land division. In the event Riverside County Ordinance No. 659 is rescinded, this condition will no longer be applicable. However, should Riverside County Ordinance No. 659 be rescinded and superseded by a subsequent mitigation fee ordinance, payment of the appropriate fee set forth in that ordinance shall be required.

10.PLANNING. 18 STKP- OFF-HIGHWAY VEHICLE USE RECOMMND

No off-highway vehicle use shall be allowed on any parcel used for stockpiling purposes. The landowners shall secure all parcels on which a stockpile has been placed and shall prevent all off-highway vehicles from using the property.

10.PLANNING. 19 MAP - SUBMIT BUILDING PLANS RECOMMND

The developer shall cause building plans to be submitted to the TLMA- Land Use Section for review by the Department of Building and Safety - Plan Check Division. Said plans shall be in conformance with the approved TENTATIVE MAP.

TRANS DEPARTMENT

10.TRANS. 1 MAP - TS/EXEMPT RECOMMND

The Transportation Department has not required a traffic study for the subject project. It has been determined that

PARCEL MAP Parcel Map #: PM34706

Parcel: 317-240-035

10. GENERAL CONDITIONS

10.TRANS. 1 MAP - TS/EXEMPT (cont.) RECOMMND

the project is exempt from traffic study requirements.

10.TRANS. 2 MAP - DRAINAGE 1 RECOMMND

The land divider shall protect downstream properties from damages caused by alteration of the drainage patterns, i.e., concentration or diversion of flow. Protection shall be provided by constructing adequate drainage facilities including enlarging existing facilities and/or by securing a drainage easement. All drainage easements shall be shown on the final map and noted as follows: "Drainage Easement - no building, obstructions, or encroachments by landfills are allowed". The protection shall be as approved by the Transportation Department.

10.TRANS. 3 MAP - DRAINAGE 2 RECOMMND

The land divider shall accept and properly dispose of all off-site drainage flowing onto or through the site. In the event the Transportation Department permits the use of streets for drainage purposes, the provisions of Article XI of Ordinance No. 460 will apply. Should the quantities exceed the street capacity or the use of streets be prohibited for drainage purposes, the subdivider shall provide adequate drainage facilities and/or appropriate easements as approved by the Transportation Department.

10.TRANS. 4 MAP - NO ADD'L ON-SITE R-O-W RECOMMND

No additional on-site right-of-way shall be required on Harvill Avenue since adequate right-of-way exists.

10.TRANS. 5 MAP- MID-COUNTY PARKWAY RECOMMND

The Transportation Department has evaluated the relationship of PM 34706 to the on-going study for the alignment of the Mid-County Parkway project. At this time, the alignment of the Mid-County Parkway has been determined and it is the one that would place the interchange of Interstate 215 and Mid-County Parkway in the vicinity of Interstate 215 and Placentia Street. The implementation of this alignment will require right-of-way in the southern portion of PM 34706.

PARCEL MAP Parcel Map #: PM34706

Parcel: 317-240-035

10. GENERAL CONDITIONS

10.TRANS. 7 MAP - STD INTRO 3(ORD 460/461)

RECOMMND

With respect to the conditions of approval for the referenced tentative exhibit, the land divider shall provide all street improvements, street improvement plans and/or road dedications set forth herein in accordance with Ordinance 460 and Riverside County Road Improvement Standards (Ordinance 461). It is understood that the tentative map correctly shows acceptable centerline elevations, all existing easements, traveled ways, and drainage courses with appropriate Q's, and that their omission or unacceptability may require the map to be resubmitted for further consideration. These Ordinances and all conditions of approval are essential parts and a requirement occurring in ONE is as binding as though occurring in all. All questions regarding the true meaning of the conditions shall be referred to the Transportation Department.

10.TRANS. 9 MAP - OFF-SITE PHASE

RECOMMND

Should the applicant choose to phase any portion of this project, said applicant shall provide off-site access roads to County maintained roads as approved by the Transportation Department.

20. PRIOR TO A CERTAIN DATE

PLANNING DEPARTMENT

20.PLANNING. 2 MAP - EXPIRATION DATE

RECOMMND

The conditionally approved TENTATIVE MAP shall expire three (3) years after the County of Riverside Board of Supervisors original approval date, unless extended as provided by County Ordinance No. 460. Action on a minor change and/or revised map request shall not extend the time limits of the originally approved TENTATIVE MAP. A Land Management System (LMS) hold shall be placed on the TENTATIVE MAP, and a LMS hold shall be placed on any subsequent minor change or revised map, which shall be set to take effect on the expiration date. The LMS hold effective date shall be extended in accordance with any permitted extensions of time. The LMS hold shall be downgraded to a LMS notice upon recordation of the the first phase of the TENTATIVE MAP. The LMS hold or notice shall remain in effect until the recordation of the final phase of the TENTATIVE MAP. If the TENTATIVE MAP expires

PARCEL MAP Parcel Map #: PM34706

Parcel: 317-240-035

20. PRIOR TO A CERTAIN DATE

20.PLANNING. 2 MAP - EXPIRATION DATE (cont.) RECOMMND

before the recordation of the final phase the LMS hold or notice shall remain in effect and no further FINAL MAP recordation shall be permitted.

50. PRIOR TO MAP RECORDATION

E HEALTH DEPARTMENT

50.E HEALTH. 1 MAP - WATER PLAN RECOMMND

A water system shall have plans and specifications approved by the water company and the Department of Environmental Health.

50.E HEALTH. 2 MAP - MONEY RECOMMND

Financial arrangements (securities posted) must be made for the water improvement plans and be approved by County Counsel.

50.E HEALTH. 3 MAP - SEWER PLAN - COUNTY RECOMMND

A sewer system shall have mylar plans and specifications as approved by the District, the County Survey Department and the Department of Environmental Health.

50.E HEALTH. 4 MAP - ANNEX FINALIZED RECOMMND

Annexation proceedings must be finalized with the applicable purveyor for sanitation service.

FIRE DEPARTMENT

50.FIRE. 1 MAP-#46-WATER PLANS RECOMMND

The applicant or developer shall furnish one copy of the water system plans to the Fire Department for review. Plans shall be signed by a registered civil engineer, containing a Fire Department approval signature block, and shall conform to hydrant type, location, spacing and minimum fire flow. Once plans are signed by the local water company, the originals shall be presented to the Fire Department for signature.

PARCEL MAP Parcel Map #: PM34706

Parcel: 317-240-035

50. PRIOR TO MAP RECORDATION

50.FIRE. 2 MAP-#53-ECS-WTR PRIOR/COMBUS RECOMMND

Ecs map must be stamped by the Riverside County Surveyor with the following note: The required water system, including fire hydrants, shall be installed and accepted by the appropriate water agency prior to any combustible building material placed on an individual lot.

FLOOD RI DEPARTMENT

50.FLOOD RI. 1 MAP SUBMIT ECS & FINAL MAP RECOMMND

A copy of the environmental constraint sheet and the final map shall be submitted to the District for review and approval. All submittals shall be date stamped by the engineer and include the appropriate plan check fee.

50.FLOOD RI. 3 MAP ADP FEES RECOMMND

A notice of drainage fees shall be placed on the environmental constraint sheet and final map. The exact wording of the note shall be as follows:

NOTICE OF DRAINAGE FEES

Notice is hereby given that this property is located in the Perris Valley Area Drainage Plan which was adopted by the Board of Supervisors of the County of Riverside pursuant to Section 10.25 of Ordinance 460 and Section 66483, et seq, of the Government Code and that said property is subject to fees for said drainage area.

Notice is further given that, pursuant to Section 10.25 of Ordinance 460, payment of the drainage fees shall be paid with cashier's check or money order only to the Riverside County Flood Control and Water Conservation District at the time of issuance of the grading or building permit for said parcels, whichever occurs first, and that the owner of each parcel, at the time of issuance of either the grading or building permit, shall pay the fee required at the rate in effect at the time of issuance of the actual permit.

50.FLOOD RI. 4 MAP SUBMIT PLANS RECOMMND

A copy of the improvement plans, grading plans, final map, environmental constraint sheet, BMP improvement plans, and any other necessary documentation along with supporting hydrologic and hydraulic calculations shall be submitted to

PARCEL MAP Parcel Map #: PM34706

Parcel: 317-240-035

50. PRIOR TO MAP RECORDATION

50.FLOOD RI. 4 MAP SUBMIT PLANS (cont.)

RECOMMND

the District for review. All submittals shall be date stamped by the engineer and include a completed Flood Control Deposit Based Fee Worksheet and the appropriate plan check fee deposit.

50.FLOOD RI. 5 MAP 3 ITEMS TO ACCEPT FACILITY

RECOMMND

Inspection and maintenance of the flood control facility/ies to be constructed with this tract must be performed by either the County Transportation Department or the Flood Control District. The engineer (owner) must request in writing that one of these agencies accept the proposed system. The request shall note the project number, location, briefly describe the system (sizes and lengths) and include an exhibit that shows the proposed alignment. The request to the District shall be addressed to the General Manager-Chief Engineer, Attn: Chief of the Planning Division.

If the District is willing to maintain the proposed facility three items must be accomplished prior to recordation of the final map or starting construction of the drainage facility: 1) the developer shall submit to the District the preliminary title reports, plats and legal descriptions for all right of way to be conveyed to the District and secure that right of way to the satisfaction of the District; 2) an agreement with the District and any maintenance partners must be executed which establishes the terms and conditions of inspection, operation and maintenance; and 3) plans for the facility must be signed by the District's General Manager-Chief Engineer. The plans cannot be signed prior to execution of the agreement.

An application to draw up an agreement must be submitted to the attention of the District's Administrative Services Section. All right of way transfer issues must be coordinated with the District's Right of Way Section.

The engineer/developer will need to submit proof of flood control facility bonds and a certificate of insurance to the District's Inspection section before a pre-construction meeting can be scheduled.

PARCEL MAP Parcel Map #: PM34706

Parcel: 317-240-035

50. PRIOR TO MAP RECORDATION

PARKS DEPARTMENT

50.PARKS. 1 MAP - TRAIL EASEMENT

RECOMMND

Prior to or in conjunction with the recordation of the final map, the applicant shall offer for dedication to the County of Riverside an easements for trails purposes. This easement shall be as shown on the approved trails plan.

The Mead Valley Area Plan identifies a Regional Trail (20') along Placentia Street. The trails plan shall show that portion of the proposed project that is along Placentia Street with the 20 foot dedicated easement.

PLANNING DEPARTMENT

50.PLANNING. 1 MAP - PREPARE A FINAL MAP

RECOMMND

After the approval of the TENTATIVE MAP and prior to the expiration of said map, the land divider shall cause the real property included within the TENTATIVE MAP, or any part thereof, to be surveyed and a FINAL MAP thereof prepared in accordance with the current County Transportation Department - Survey Division requirements, the conditionally approved TENTATIVE MAP, and in accordance with Article IX of County Ordinance No. 460.

50.PLANNING. 2 MAP- REQUIRED APPLICATIONS

RECOMMND

No FINAL MAP shall record until Change of Zone No. 7186 has been approved and adopted by the Board of Supervisors and has been made effective. This land division shall conform with the development standards of the zone ultimately applied to the property.

50.PLANNING. 4 MAP- OFFER OF TRAILS

RECOMMND

An offer of dedication to the County of Riverside for a fourteen to twenty foot (14'-20') wide regional trail along Placentia Street shall be noted on both the FINAL MAP and the Environmental Constraints Sheet.

50.PLANNING. 5 MAP- TRAIL MAINTENANCE

RECOMMND

The land divider shall form or annex to a trails maintenance district or other maintenance district approved by the County Planning Department, for the maintenance of a twenty foot (20') wide community trail

PARCEL MAP Parcel Map #: PM34706

Parcel: 317-240-035

50. PRIOR TO MAP RECORDATION

50.PLANNING. 5 MAP- TRAIL MAINTENANCE (cont.) RECOMMND

located along Placentia Street. The land divider, or the land divider's successors-in-interest or assignees, shall be responsible for the maintenance of the community trail easement until such time as the maintenance is taken over by the appropriate maintenance district.

50.PLANNING. 9 MAP - FINAL MAP PREPARER RECOMMND

The FINAL MAP shall be prepared by a licensed land surveyor or registered civil engineer.

50.PLANNING. 10 MAP - ECS SHALL BE PREPARED RECOMMND

The land divider shall prepare an Environmental Constraints Sheet (ECS) in accordance with Section 2.2. E. & F. of County Ordinance No. 460, which shall be submitted as part of the plan check review of the FINAL MAP.

50.PLANNING. 11 MAP- ECS AFFECTED LOTS RECOMMND

The following note shall be placed on the FINAL MAP:
"Environmental Constraint Sheet affecting this map is on file in the County of Riverside Transportation Department - Survey Division, in E.C.S. Book ____, Page ____.

50.PLANNING. 13 MAP - FEE BALANCE RECOMMND

Prior to recordation, the Planning Department shall determine if the deposit based fees for the TENTATIVE MAP are in a negative balance. If so, any unpaid fees shall be paid by the land divider and/or the land divider's successor-in-interest.

50.PLANNING. 16 MAP - ECS NOTE MT PALOMAR LIGH RECOMMND

The following Environmental Constraints Note shall be placed on the ECS:

"This property is subject to lighting restrictions as required by County Ordinance No. 655, which are intended to reduce the effects of night lighting on the Mount Palomar Observatory. All proposed outdoor lighting systems shall be in conformance with County Ordinance No. 655."

PARCEL MAP Parcel Map #: PM34706

Parcel: 317-240-035

50. PRIOR TO MAP RECORDATION

50.PLANNING. 17 MAP- SURVEYOR CHECK

RECOMMND

The County Transportation Department - Survey Division shall review any FINAL MAP and ensure compliance with the following:

A. All lots on the FINAL MAP shall be in substantial conformance with the approved TENTATIVE MAP relative to size and configuration.

B. All lots on the FINAL MAP shall comply with the length to width ratios, as established by Section 3.8.C. of County Ordinance No. 460.

C. The total number of industrial lots on the final map shall be two (2).

50.PLANNING. 18 MAP - MARCH AIR RESERVE

RECOMMND

1.Prior to recordation of final map, the landowner shall convey an avigation easement to the MARB/MIP Airport or provide documentation to the Riverside County Planning Department that such conveyance has previously been recorded.

2.The following uses shall be prohibited:

(a)Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.

(b)Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.

(c)Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area.

(d)Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.

PARCEL MAP Parcel Map #: PM34706

Parcel: 317-240-035

50. PRIOR TO MAP RECORDATION

50.PLANNING. 18 MAP - MARCH AIR RESERVE (cont.) RECOMMND

3.Any outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky, and shall comply with Ordinance No. 655, as applicable.

4.The attached notice shall be provided to all potential purchasers and tenants of the property.

50.PLANNING. 19 MAP- RECIPROCAL ACCESS AGREE RECOMMND

Prior to Map Recordation, the owner of the proposed property shall supply the Planning Department with a reciprocal access agreement, as it applies to the driveway on Parcel 1, as seen on Exhibit A.

TRANS DEPARTMENT

50.TRANS. 3 MAP - R-O-W DEDICATED 1 RECOMMND

Sufficient public street right-of-way along Placentia Street shall be dedicated for public use to provide for a 64 foot half width right-of-way.

50.TRANS. 4 MAP - IMP PLANS RECOMMND

Improvement plans for the required improvements must be prepared and shall be based upon a design profile extending a minimum of 300 feet beyond the project boundaries at a grade and alignment as approved by the Riverside County Transportation Department. Completion of road improvements does not imply acceptance for maintenance by County.

50.TRANS. 5 MAP - SOILS 2 RECOMMND

The developer/owner shall submit a preliminary soils and pavement investigation report addressing the construction requirements within the road right-of-way.

50.TRANS. 9 MAP - EASEMENT RECOMMND

Any easement not owned by a public utility, public entity or subsidiary, not relocated or eliminated prior to final map approval, shall be delineated on the final map in addition to having the name of the easement holder, and the nature of their interests, shown on the map.

PARCEL MAP Parcel Map #: PM34706

Parcel: 317-240-035

50. PRIOR TO MAP RECORDATION

50.TRANS. 12 MAP - VACATION

RECOMMND

The applicant, by his/her design, is requesting a vacation of the existing dedicated rights-of-way along Walnut Street east of Harvill Avenue. Accordingly, prior to recordation of the final map, the applicant shall have filed a separate application with the County Surveyor for a conditional vacation of the above-referenced rights-of-way, and the Board of Supervisors shall have approved the vacation request. If the Board of Supervisors denies the vacation request, the tentative map as designed may not record. The applicant may, however, redesign the map utilizing the existing rights-of-way, and may then reprocess the map after paying all appropriate fees and charges.

50.TRANS. 18 MAP - STREET LIGHT PLAN

RECOMMND

A separate street light plan is required for this project.

Street lighting shall be designed in accordance with County Ordinance 460 and Street Light Specification Chart found in Specification Section 22 of Ordinance 461. For projects within SCE boundaries use County of Riverside Ordinance 461, Standard No's 1000 or 1001. For projects within Imperial Irrigation District (IID) use IID's pole standard.

50.TRANS. 20 MAP - MAP.CORNER CUT-BACK I

RECOMMND

All corner cutbacks shall be applied per Standard 805, Ordinance 461, except for corners at Entry streets intersecting with General Plan roads, they shall be applied per Exhibit 'C' of the Countywide Design Guidelines.

50.TRANS. 21 MAP - STREET LIGHTS-L&LMD

RECOMMND

The project proponent shall contact the Transportation Department L&LMD 89-1-C Administrator and submit the following:

1. Completed Transportation Department application
2. Appropriate fees for annexation.
3. (2)Sets of street lighting plans approved by Transportation Department.
4. "Streetlight Authorization" form from SCE, IID or other electric provider.

PARCEL MAP Parcel Map #: PM34706

Parcel: 317-240-035

50. PRIOR TO MAP RECORDATION

50.TRANS. 23 MAP - STREET SWEEPING RECOMMND

The project proponent shall contact the County Service Area (CSA) Project Manager to file an application for annexation or inclusion into CSA for street sweeping; or enter into a similar mechanism as approved by the Transportation Department.

50.TRANS. 23 MAP - MID-CNTY PKWY/I-215 EASE RECOMMND

An additional transportation easement shall be dedicated to the County to accommodate the alignment of the Mid-County Parkway and I-215 interchange. The easement shall be the southeastern portion of the property and the footprint of the proposed building "B" shall be designed and constructed outside of said easement as shown on PP20711 Amended Exhibit No. 3 dated 7/30/2008. This easement may be used for additional parking and/or landscaping until it is needed for the transportation improvements as determined by the Transportation Department. No permanent construction or drainage facilities such as retention/detention basins shall be allowed within this easement area for the Mid-County Parkway/I-215. The boundaries of this easement shall be as approved by the Transportation Department.

50.TRANS. 26 MAP - ASSESSMENT DIST 1 RECOMMND

Should this project lie within any assessment/benefit district, the applicant shall, prior to recordation, make application for and pay for their reapportionment of the assessments or pay the unit fees in the benefit district.

50.TRANS. 33 MAP - UTILITY PLAN RECOMMND

Electrical power, telephone, communication, street lighting, and cable television lines shall be designed to be placed underground in accordance with ordinance 460 and 461, or as approved by the Transportation Department. The applicant is responsible for coordinating the work with the serving utility company. This also applies to existing overhead lines which are 33.6 kilovolts or below along the project frontage and between the nearest poles offsite in each direction of the project site. A disposition note describing the above shall be reflected on design improvement plans whenever those plans are required. A written proof for initiating the design and/or application of the relocation issued by the utility company shall be

03/02/09
16:00

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 21

PARCEL MAP Parcel Map #: PM34706

Parcel: 317-240-035

50. PRIOR TO MAP RECORDATION

50.TRANS. 33 MAP - UTILITY PLAN (cont.) RECOMMND

submitted to the Transportation Department for verification purposes.

50.TRANS. 34 MAP - ST DESIGN/IMPRV CONCEPT RECOMMND

The street design and improvement concept of this project shall be coordinated with PP20711.

60. PRIOR TO GRADING PRMT ISSUANCE

BS GRADE DEPARTMENT

60.BS GRADE. 1 MAP-G2.4GEOTECH/SOILS RPTS RECOMMND

Geotechnical soils reports, required in order to obtain a grading permit, shall be submitted to the Building and Safety Department's Grading Division for review and approval prior to issuance of a grading permit.

All grading shall be in conformance with the recommendations of the geotechnical/soils reports as approved by Riverside County.*

*The geotechnical/soils, compaction and inspection reports will be reviewed in accordance with the RIVERSIDE COUNTY GEOTECHNICAL GUIDELINES FOR REVIEW OF GEOTECHNICAL AND GEOLOGIC REPORTS.

60.BS GRADE. 2 MAP-G2.7DRNAGE DESIGN Q100 RECOMMND

All grading and drainage shall be designed in accordance with Riverside County Flood Control & Water Conservation District's conditions of approval regarding this application. If not specifically addressed in their conditions, drainage shall be designed to accommodate 100 year storm flows.

Additionally, the Building and Safety Department's conditional approval of this application includes an expectation that the conceptual grading plan reviewed and approved for it complies or can comply with any WQMP (Water Quality Management Plan) required by Riverside County Flood Control and Water Conservation District.

PARCEL MAP Parcel Map #: PM34706

Parcel: 317-240-035

60. PRIOR TO GRADING PRMT ISSUANCE

60.BS GRADE. 3 MAP-G2.14OFFSITE GDG ONUS

RECOMMND

Prior to the issuance of a grading permit, it shall be the sole responsibility of the owner/applicant to obtain any and all proposed or required easements and/or permissions necessary to perform the grading herein proposed.

60.BS GRADE. 4 MAP-G1.4 NPDES/SWPPP

RECOMMND

Prior to issuance of any grading or construction permits - whichever comes first - the applicant shall provide the Building and Safety Department evidence of compliance with the following: "Effective March 10, 2003 owner operators of grading or construction projects are required to comply with the N.P.D.E.S. (National Pollutant Discharge Elimination System) requirement to obtain a construction permit from the State Water Resource Control Board (SWRCB). The permit requirement applies to grading and construction sites of "ONE" acre or larger. The owner operator can comply by submitting a "Notice of Intent" (NOI), develop and implement a STORM WATER POLLUTION PREVENTION PLAN (SWPPP) and a monitoring program and reporting plan for the construction site. For additional information and to obtain a copy of the NPDES State Construction Permit contact the SWRCB at (916) 657-1146.

Additionally, at the time the county adopts, as part of any ordinance, regulations specific to the N.P.D.E.S., this project (or subdivision) shall comply with them.

60.BS GRADE. 5 MAP IMPORT/EXPORT

RECOMMND

In instances where a grading plan involves import or export, prior to obtaining a grading permit, the applicant shall have obtained approval for the import/export location from the Building and Safety department. If an Environmental Assessment, prior to issuing a grading permit, did not previously approve either location, a Grading Environmental Assessment shall be submitted to the Planning Director and the Environmental Programs Director for review and comment and to the Building and Safety Department Director for approval. Additionally, if the movement of import/export occurs using county roads, review and approval of the haul routes by the Transportation Department will be required.

PARCEL MAP Parcel Map #: PM34706

Parcel: 317-240-035

60. PRIOR TO GRADING PRMT ISSUANCE

60.BS GRADE. 6

MAP No Precise Grdg Permit

RECOMMND

A PRECISE GRADING PERMIT WILL NOT BE ISSUED, BY THE BUILDING AND SAFETY DEPARTMENT, FOR ANY PARCEL(S) OF THIS SUBDIVISION - UNLESS AN APPROPRIATE LAND USE PERMIT HAS ALSO BEEN ISSUED BY THE PLANNING DEPARTMENT AND APPROVED BY THE BOARD OF SUPERVISORS, FOR THAT SAME PARCEL(S).

EPD DEPARTMENT

60.EPD. 1

EPD - 30 DAY BURROWING OWL SUR

RECOMMND

Pursuant to Objective 6 and Objective 7 of the Species Account for the Burrowing Owl included in the Western Riverside County Multiple Species Habitat Conservation Plan, within 30 days prior to the issuance of a grading permit, a pre-construction presence/absence survey for the burrowing owl shall be conducted by a qualified biologist and the results of this presence/absence survey shall be provided in writing to the Environmental Programs Department. If it is determined that the project site is occupied by the Burrowing Owl, take of "active" nests shall be avoided pursuant to the MSHCP and the Migratory Bird Treaty Act. However, when the Burrowing Owl is present, relocation outside of the nesting season (March 1 through August 31) by a qualified biologist shall be required. The County Biologist shall be consulted to determine appropriate type of relocation (active or passive) and translocation sites. Occupation of this species on the project site may result in the need to revise grading plans so that take of "active" nests is avoided or alternatively, a grading permit may be issued once the species has been actively relocated.

If the grading permit is not obtained within 30 days of the survey a new survey shall be required.

FLOOD RI DEPARTMENT

60.FLOOD RI. 1

MAP ADP FEES

RECOMMND

Parcel Map 34706 is located within the limits of the Perris Valley Area Drainage Plan for which drainage fees have been adopted.

Drainage fees shall be paid with cashier's check or money

PARCEL MAP Parcel Map #: PM34706

Parcel: 317-240-035

60. PRIOR TO GRADING PRMT ISSUANCE

60.FLOOD RI. 1 MAP ADP FEES (cont.) RECOMMND

order only to the District at the time of the issuance of grading permits for the approved parcels or at the time of issuance of building permits if no grading permits are issued for the parcels and may be paid, at the option of the land owner, in pro rata amounts. The amount of the drainage fee required to be paid shall be the amount that is in effect for the particular Area Drainage Plan at the time of issuance of the grading permits or issuance of the building permits if grading permits are not issued.

60.FLOOD RI. 2 MAP GRADING RECOMMND

If any grading is proposed under this parcel map it shall conform to the conditions of approval for Plot Plan 20711.

60.FLOOD RI. 3 MAP EROS CNTRL AFTER RGH GRAD RECOMMND

Temporary erosion control measures shall be implemented immediately following rough grading to prevent deposition of debris onto downstream properties or drainage facilities. Plans showing these measures shall be submitted to the District for review.

60.FLOOD RI. 4 MAP SUBMIT PLANS RECOMMND

A copy of the improvement plans, grading plans, BMP improvement plans and any other necessary documentation along with supporting hydrologic and hydraulic calculations shall be submitted to the District for review. The plans must receive District approval prior to the issuance of grading permits. All submittals shall be date stamped by the engineer and include a completed Flood Control Deposit Based Fee Worksheet and the appropriate plan check fee deposit.

PARKS DEPARTMENT

60.PARKS. 1 MAP - TRAIL PLAN RECOMMND

Prior to the issuance of any grading permits, the applicant shall submit a trails plan to the Riverside County Regional Park and Open-Space District for review and approval. This trails plan shall show the trail with all topography, grading, cross-sections, street crossings and under crossings, signage (if appropriate) and landscaping.

03/02/09
16:00

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 26

PARCEL MAP Parcel Map #: PM34706

Parcel: 317-240-035

60. PRIOR TO GRADING PRMT ISSUANCE

60.PLANNING. 10 MAP- SKR FEE CONDITION (cont.) RECOMMND

No. 663 is rescinded, this condition will no longer be applicable. However, should Riverside County Ordinance No. 663 be rescinded and superseded by a subsequent mitigation fee ordinance, payment of the appropriate fee set forth in that ordinance shall be required.

60.PLANNING. 11 MAP - FEE BALANCE RECOMMND

Prior to issuance of grading permits, the Planning Department shall determine if the deposit based fees are in a negative balance. If so, any outstanding fees shall be paid by the applicant/developer.

60.PLANNING. 12 MAP - GRADING PLAN REVIEW RECOMMND

The land divider/permit holder shall cause a plan check application for a grading plan to be submitted to the county T.L.M.A - Land Use Division for review by the County Department of Building and Safety - Grading Division. Said grading plan shall be in conformance with the approved tentative map, in ompliance with County Ordinance No. 457, and the conditions of approval for the tentative map.

60.PLANNING. 14 MAP- REQ APPL PRIOR TO GRDG RECOMMND

No final map shall record until Change of Zone No. 7186 has been approved and adopted by the Board of Supervisors. This land division shall conform with the development standards of the zone ulitimately applied to the property.

80. PRIOR TO BLDG PRMT ISSUANCE

BS GRADE DEPARTMENT

80.BS GRADE. 1 MAP-G3.1NO B/PMT W/O G/PMT RECOMMND

Prior to issuance of any building permit, the property owner shall obtain a grading permit and/or approval to construct from the Grading Divisin of the Building and Safety Department.

PARCEL MAP Parcel Map #: PM34706

Parcel: 317-240-035

80. PRIOR TO BLDG PRMT ISSUANCE

FLOOD RI DEPARTMENT

80.FLOOD RI. 1 MAP ADP FEES

RECOMMND

Parcel Map 34706 is located within the limits of the Perris Valley Area Drainage Plan for which drainage fees have been adopted.

Drainage fees shall be paid with cashier's check or money order only to the District at the time of the issuance of grading permits for the approved parcels or at the time of issuance of building permits if no grading permits are issued for the parcels and may be paid, at the option of the land owner, in pro rata amounts. The amount of the drainage fee required to be paid shall be the amount that is in effect for the particular Area Drainage Plan at the time of issuance of the grading permits or issuance of the building permits if grading permits are not issued.

90. PRIOR TO BLDG FINAL INSPECTION

TRANS DEPARTMENT

90.TRANS. 1 MAP - WRCOG TUMF

RECOMMND

Prior to the issuance of an occupancy permit, the project proponent shall pay the Transportation Uniform Mitigation Fee (TUMF) in accordance with the fee schedule in effect at the time of issuance, pursuant to Ordinance No. 824.

90.TRANS. 2 MAP - STREET SWEEPING

RECOMMND

Street sweeping annexation or inclusion into CSA or similar mechanism as approved by the Transportation Department shall be completed.

90.TRANS. 3 MAP STREETLIGHT AUTHORIZATION

RECOMMND

Prior to OCCUPANCY, the project proponent shall submit to Transportation Department Permits the following:

1. "Streetlight Authorization" form approved by L&LMD No. 89-1 Administrator
- 2 Letter establishing interim energy account from SCE, IID or other electric provider.

PARCEL MAP Parcel Map #: PM34706

Parcel: 317-240-035

90. PRIOR TO BLDG FINAL INSPECTION

90.TRANS. 4 MAP - E STREET LIGHTS INSTALL RECOMMND

Install streetlights along the streets associated with development in accordance with the approved street lighting plan and standards of County Ordinance 460 and 461. For projects within Imperial Irrigation District (IID) use (IID's) pole standard.

Street light annexation into L&LMD or similar mechanism as approved by the Transportation Department shall be completed.

It shall be the responsibility of the Developer to ensure that streetlights are energized along the streets associated with this development where the Developer is seeking Building Final Inspection (Occupancy).

90.TRANS. 5 MAP - UTILITY INSTALL RECOMMND

Electrical power, telephone, communication, street lighting, and cable television lines shall be placed underground in accordance with ordinance 460 and 461, or as approved by the Transportation Department. This also applies to existing overhead lines which are 33.6 kilovolts or below along the project frontage and between the nearest poles offsite in each direction of the project site.

A certificate should be obtained from the pertinent utility company and submitted to the Department of Transportation as proof of completion.

90.TRANS. 6 MAP - EXISTING CURB & GUTTER RECOMMND

On existing curb and gutter, new driveways per Standard 207A, closure of existing driveways, sidewalks and/or drainage devices within County right-of-way, including sewer and water laterals on Harvill Avenue shall be constructed within the dedicated right-of-way in accordance with County Standards, Ordinance 461. Such construction shall be shown on existing street improvement plans and approved and permitted by the Transportation Department.

03/02/09
16:00

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 29

PARCEL MAP Parcel Map #: PM34706

Parcel: 317-240-035

100. PRIOR TO ISSUE GIVEN BLDG PRMT

PARKS DEPARTMENT

100.PARKS. 1

MAP - TRAIL CONSTRUCTION

RECOMMND

Prior to the issuance of the 2nd building permit, the applicant shall build the trail as shown on the approved trails plan. The applicant shall arrange for an inspection of the constructed trail with the Riverside County Regional Park and Open-Space District.

PLOT PLAN:TRANSMITTED Case #: PP20711

Parcel: 317-240-035

10. GENERAL CONDITIONS

EVERY DEPARTMENT

10. EVERY. 1 USE - PROJECT DESCRIPTION RECOMMND

The Plot Plan proposes proposes the construction of two (2) manufacturing/ distribution warehouse facilities: Building A is approximately 245,252 square feet (s.f.) which includes 20,000 s.f. of office, 100,000 s.f. of manufacturing, as well as 125,252 s.f. for distribution and Building B is approximately 83,750 square feet (s.f.) which includes 5000 s.f of office, 25,000 s.f of manufacturing, as well as 53,750 s.f. of distribution. The project includes 447 parking spaces and 32 loading spaces. Along the southern portion of the project site there is a 20' trail easement which is to be dedicated to the County of Riverside Parks & Recreation.

10. EVERY. 2 USE - HOLD HARMLESS RECOMMND

The applicant/permittee or any successor-in-interest shall defend, indemnify, and hold harmless the County of Riverside (COUNTY) its agents, officers, or employees from any claim, action, or proceeding against the COUNTY, its agents, officers, or employees to attack, set aside, void, or annul an approval of the COUNTY, its advisory agencies, appeal boards, or legislative body concerning Plot Plan 20711. The COUNTY will promptly notify the applicant/permittee of any such claim, action, or proceeding against the COUNTY and will cooperate fully in the defense. If the COUNTY fails to promptly notify the applicant/permittee of any such claim, action, or proceeding or fails to cooperate fully in the defense, the applicant/permittee shall not, thereafter, be responsible to defend, indemnify, or hold harmless the COUNTY.

10. EVERY. 3 USE - DEFINITIONS RECOMMND

The words identified in the following list that appear in all capitals in the attached conditions of Plot Plan No.20711 shall be henceforth defined as follows:

APPROVED EXHIBIT A = Site Plan for Plot Plan No. 20711, Amended No. 3, dated 7/30/08.

APPROVED EXHIBIT B= Project Elevations for Plot Plan No. 20711 Amended No. 3, dated 7/30/08.

APPROVED EXHIBIT C= Project Floor Plans for Plot Plan No.

PLOT PLAN:TRANSMITTED Case #: PP20711

Parcel: 317-240-035

10. GENERAL CONDITIONS

10. EVERY. 3 USE - DEFINITIONS (cont.) RECOMMND

20711 Amended No. 3, dated 7/30/08.

APPROVED EXHIBIT G= Preliminary Rough Grading for Plot Plan No. 20711 Amended No. 3, dated 7/30/08.

APPROVED EXHIBIT L= Preliminary Landscaping Plans for Plot Plan No. 20711 Amended No. 3, dated 1/27/09.

APPROVED EXHIBIT M= Project Colors and Materials for Plot Plan No. 20711, dated 7/30/08.

BS GRADE DEPARTMENT

10.BS GRADE. 1 USE -GIN INTRODUCTION RECOMMND

Improvements such as grading, filling, over excavation and recompaction, and base or paving which require a grading permit are subject to the included Building and Safety Department Grading Division conditions of approval.

10.BS GRADE. 3 USE-G1.2 OBEY ALL GDG REGS RECOMMND

All grading shall conform to the California Building Code, Ordinance 457, and all other relevant laws, rules, and regulations governing grading in Riverside County and prior to commencing any grading which includes 50 or more cubic yards, the applicant shall obtain a grading permit from the Building and Safety Department.

10.BS GRADE. 4 USE-G1.3 DISTURBS NEED G/PMT RECOMMND

Ordinance 457 requires a grading permit prior to clearing, grubbing, or any top soil disturbances related to construction grading.

10.BS GRADE. 5 USE-G1.6 DUST CONTROL RECOMMND

All necessary measures to control dust shall be implemented by the developer during grading. PM10 plan may be required at the time a grading permit is issued.

10.BS GRADE. 7 USE-G2.5 2:1 MAX SLOPE RATIO RECOMMND

Graded slopes shall be limited to a maximum steepness ratio of 2:1 (horizontal to vertical) unless otherwise approved.

03/12/09
11:44

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 3

PLOT PLAN:TRANSMITTED Case #: PP20711

Parcel: 317-240-035

10. GENERAL CONDITIONS

10.BS GRADE. 10 USE-G2.8MINIMUM DRNAGE GRADE RECOMMND

Minimum drainage grade shall be 1% except on portland cement concrete where .35% shall be the minimum.

10.BS GRADE. 14 USE-G2.23 OFFST. PAVED PKG RECOMMND

All offstreet parking areas which are conditioned to be paved shall conform to Ordinance 457 base and paving design and inspection requirements.

10.BS GRADE. 16 USE-G3.3RETAINING WALLS RECOMMND

Lots which propose retaining walls will require separate permits. They shall be obtained prior to the issuance of any other building permits - unless otherwise approved by the Building and Safety Director. The walls shall be designed by a Registered Civil Engineer - unless they conform to the County Standard Retaining Wall designs shown on the Building and Safety Department form 284-197.

10.BS GRADE. 19 USE-G4.3PAVING INSPECTIONS RECOMMND

The developer/applicant shall be responsible for obtaining the paving inspections required by Ordinance 457.

FIRE DEPARTMENT

10.FIRE. 1 USE-#01A - SHELL/FPE/COMM. RECOMMND

THESE CONDITIONS ARE FOR A SHELL BUILDING ONLY. Shell building will receive a shell final only. No Certificate of Occupancy (human occupant and/or materials) will be issued until the building occupant has been identified with their occupancy classification and have been conditioned by Riverside County Fire Department. Occupant or tenant identification is imperative for oderly and prompt processing. Upon identification of the occupant or tenant a Fire Protection Analysis report maybe required prior to establishing the requirements for the occupancy permit. Failure to provide a comprehensive data analysis and/or technical information acceptable to the fire department may result in project delays. A complete commodity listing disclosing type, quantity, level of hazard and potential for "Reactivity" must be provided within 120 days. The foregoing is necessary to properly occupancy classify the building(s). Failure to provide comprehensive data and/or highly technical

PLOT PLAN:TRANSMITTED Case #: PP20711

Parcel: 317-240-035

10. GENERAL CONDITIONS

10.FIRE. 1 USE-#01A - SHELL/FPE/COMM. (cont.) RECOMMND

information, will result in project delay and requirement for a complete Fire Protection Study for review.

10.FIRE. 2 USE-#04-HIGH PILE/RACK STORAGE RECOMMND

A separate permit may be required for high-pile storage and/or racks. Sprinkler plans and/or sprinkler review must be submitted by a licensed sprinkler contractor with storage and/or rack plans to Riverside County Fire Department for review and approval of the 2007 CFC. All commodities stored, rack dimensions, placement in building, sprinkler densities, etc. must be provided with suppression system for racks and/or high-pile storage review. A complete listing of commodities, classified using CFC and NFPA 13, 2002 Edition guidelines by a licensed Fire Protection Engineer (or other consultant approved by this jurisdiction).

10.FIRE. 3 USE-#50-BLUE DOT REFLECTOR RECOMMND

Blue retroreflective pavement markers shall be mounted on private street, public streets and driveways to indicate location of fire hydrants. Prior to installation, placement of markers must be approved by the Riverside County Fire Department.

10.FIRE. 4 USE-#23-MIN REQ FIRE FLOW RECOMMND

Minimum required fire flow shall be 4000 GPM for a 4 hour duration at 20 PSI residual operating pressure, which must be available before any combustible material is placed on the job site. Fire flow is based on type VN construction per the 2001 CBC and Building(s) having a fire sprinkler system.

10.FIRE. 5 USE-#19-ON/OFF LOOPED HYD RECOMMND

A combination of on-site and off-site super fire hydrants, on a looped system (6"x4"x 2-2 1/2"), will be located not less than 25 feet or more than 165 feet from any portion of the building as measured along approved vehicular travel ways. The required fire flow shall be available from any adjacent hydrants(s) in the system.

PLOT PLAN:TRANSMITTED Case #: PP20711

Parcel: 317-240-035

10. GENERAL CONDITIONS

10.FIRE. 6 USE-#84-TANK PERMITS RECOMMND

Applicant or Developer shall be responsible for obtaining under/aboveground fuel, chemical and mixed liquid storage tank permits, from the Riverside County Fire Department and Environmental Health Departments. Plans must be submitted for approval prior to installation. Aboveground fuel/mixed liquid tanks(s) shall meet the following standard: Tank must be tested and labeled to UL2085 Protected Tank Standard or SwRI 93-01. The test must include the Projectile Penetration Test and the Heavy Vehicle Impact Test. A sample copy of the tank's label from an independent test laboratory must be included with your plans.

10.FIRE. 7 USE-#89-RAPID HAZMAT BOX RECOMMND

Rapid entry Hazardous Material data and key storage cabinet shall be installed on the outside of the building. Plans shall be submitted to the Riverside County Fire Department for approval prior to installation.

10.FIRE. 8 USE-#25-GATE ENTRANCES RECOMMND

Any gate providing access from a road to a driveway shall be located at least 35 feet from the roadway and shall open to allow a vehicle to stop without obstructing traffic on the road. Where a one-way road with a single traffic lane provides access to a gate entrance, a 38 foot turning radius shall be used.

10.FIRE. 9 USE-#88A-AUTO/MAN GATES RECOMMND

Gate(s) shall be automatic or manual operated, minimum 24 feet in width, with a setback of 35 feet from face of curb/flow line. Gate access shall be equipped with a rapid entry system. Plans shall be submitted to the Fire Department for approval prior to installation. Automatic/manual gate pins shall be rated with shear pin force, not to exceed 30 foot pounds. Automatic gates shall be equipped with emergency backup power. Gates activated by the rapid entry system shall remain open until closed by the rapid entry system. (current plan check deposit base fee is \$126.00)

PLOT PLAN:TRANSMITTED Case #: PP20711

Parcel: 317-240-035

10. GENERAL CONDITIONS

FLOOD RI DEPARTMENT

10.FLOOD RI. 17

USE- FLOOD HAZARD REPORT

RECOMMND

Plot Plan No. 20711, Amended No. 3 is a proposal to construct two (2) industrial buildings in the Mead Valley Area Plan. The 19.80 acre site is located on the northeast corner of Harvill Avenue and Placentia Street. This project is being processed concurrently with Parcel Map No. 34706.

The site is subject to substantial tributary offsite storm flows from the west during large storm events. Some of these flows are delivered to the site through a series of culverts under Harvill Avenue near the northwest corner of the site. The site naturally drains in an easterly direction towards the railroad tracks which run parallel to the 215 Freeway. Storm flows will then tend to flow south along the tracks to an existing railroad culvert near the southeast corner of the site. This culvert is aligned with a culvert under the 215 Freeway which in turn would outlet into the proposed alignment of the District's Perris Valley Master Drainage Plan (MDP) Line H.

This project was issued conditions of approval under previous Amendment No. 2 with the proposal to construct one (1) building only and included a condition of approval to construct Perris Valley MDP Lateral H-11 from Harvill Avenue to a point just upstream of the railroad culvert as shown on the tentative exhibit.

Amendment No. 3 proposes to construct two (2) buildings, one of them with a smaller footprint than originally planned. With this proposal, the applicant would be required to construct Laterals H-10 and H-11 from Harvill Avenue to a point just upstream of the railroad culvert as well as mitigate both its increased runoff and impacts to water quality. The applicant proposes to construct a dual-use basin that would serve as an increased runoff and water quality basin. A temporary structure will be required to collect the tributary offsite runoff and discharge into Laterals H-10 and H-11. In lieu of the increased runoff basin, the applicant may construct Line H to the Perris Valley Storm Drain.

To mitigate the development's impact to water quality, the applicant has submitted a preliminary project specific Water Quality Management Plan (WQMP). As mentioned above,

03/12/09
11:44

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 7

PLOT PLAN:TRANSMITTED Case #: PP20711

Parcel: 317-240-035

10. GENERAL CONDITIONS

10.FLOOD RI. 17 USE- FLOOD HAZARD REPORT (cont.) RECOMMND

a dual-use basin would be utilized to mitigate water quality impacts to the site. The submitted WQMP appears to be adequate for this phase of development. A final WQMP shall be submitted prior to grading and/or building permit issuance.

The site is located within the bounds of the Perris Valley Area Drainage Plan (ADP) for which drainage fees have been established by the Board of Supervisors. Applicable ADP fees will be due (in accordance with the Rules and Regulations for Administration of Area Drainage Plans) prior to permits for this project. Although the current fee for this ADP is \$8,875 per acre, the fee due will be based on the fee in effect at the time of payment.

The District does not object to this proposal.

10.FLOOD RI. 20 USE 10 YR CURB - 100 YR ROW RECOMMND

The 10 year storm flow shall be contained within the curb and the 100 year storm flow shall be contained within the street right of way. When either of these criteria is exceeded, additional drainage facilities shall be installed. The property shall be graded to drain to the adjacent street or an adequate outlet.

10.FLOOD RI. 21 USE PERP DRAINAGE PATTERNS RECOMMND

The property's grading shall be designed in a manner that perpetuates the existing natural drainage patterns with respect to tributary drainage area, outlet points and outlet conditions; otherwise, a drainage easement shall be obtained from the affected property owners for the release of concentrated or diverted storm flows. A copy of the recorded drainage easement shall be submitted to the District for review.

10.FLOOD RI. 23 USE- MAJOR FACILITIES - ADP RECOMMND

Prior to initiation of the final construction drawings for those facilities required to be built as part of the Perris Valley Area Drainage Plan, the developer shall contact the Riverside County Flood Control and Water Conservation District to ascertain the terms and conditions of design, construction, inspection, transfer

PLOT PLAN:TRANSMITTED Case #: PP20711

Parcel: 317-240-035

10. GENERAL CONDITIONS

10.FLOOD RI. 23 USE- MAJOR FACILITIES - ADP (cont.) RECOMMND

of rights of way, project credit in lieu of charges and reimbursement schedules which may apply. The developer shall note that if the estimated cost for required Area Drainage Plan facilities exceeds the required mitigation charges and the developer wishes to receive credit for reimbursement in excess of his charges, the facilities will be constructed as a public works contract. Scheduling for construction of these facilities will be at the discretion of the District.

10.FLOOD RI. 26 USE SUBMIT FINAL WQMP =PRELIM RECOMMND

In compliance with Santa Ana Region and San Diego Region Regional Water Quality Control Board Orders, and Beginning January 1, 2005, projects submitted within the western region of the unincorporated area of Riverside County for discretionary approval will be required to comply with the Water Quality Management Plan for Urban Runoff (WQMP). The WQMP addresses post-development water quality impacts from new development and redevelopment projects. The WQMP requirements will vary depending on the project's geographic location (Santa Ana, Santa Margarita or Whitewater River watersheds). The WQMP provides detailed guidelines and templates to assist the developer in completing the necessary studies. These documents are available on-line at:
www.floodcontrol.co.riverside.ca.us under Programs and Services, Stormwater Quality.

To comply with the WQMP a developer must submit a "Project Specific" WQMP. This report is intended to a) identify potential post-project pollutants and hydrologic impacts associated with the development; b) identify proposed mitigation measures (BMPs) for identified impacts including site design, source control and treatment control post-development BMPs; and c) identify sustainable funding and maintenance mechanisms for the aforementioned BMPs. A template for this report is included as 'exhibit A' in the WQMP.

The developer has submitted a report that meets the criteria for a Preliminary Project Specific WQMP. The report will need to be revised to meet the requirements of a Final Project Specific WQMP. Also, it should be noted that if 401 certification is necessary for the project, the Water Quality Control Board may require additional water

PLOT PLAN:TRANSMITTED Case #: PP20711

Parcel: 317-240-035

10. GENERAL CONDITIONS

10.FLOOD RI. 26 USE SUBMIT FINAL WQMP =PRELIM (cont.) RECOMMND
quality measures.

10.FLOOD RI. 27 USE BMP MAINTENANCE & INSPECT RECOMMND

The BMP maintenance plan shall contain provisions for all treatment controlled BMPs to be inspected, and if required, cleaned no later than October 15 each year. Required documentation shall identify the entity that will inspect and maintain all structural BMPs within the project boundaries. A copy of all necessary documentation shall be submitted to the District for review and approval prior to the issuance of occupancy permits.

10.FLOOD RI. 28 USE 100 YR SUMP OUTLET RECOMMND

Drainage facilities outletting sump conditions shall be designed to convey the tributary 100 year storm flows. Additional emergency escape shall also be provided.

10.FLOOD RI. 29 USE MAJOR FACILITIES RECOMMND

Major flood control facilities are being proposed. These shall be designed and constructed to District standards including those related to alignment and access to both inlets and outlets. The applicant shall consult the District early in the design process regarding materials, hydraulic design and transfer of rights of way.

10.FLOOD RI. 30 USE INCREASED RUNOFF RECOMMND

The development of this site will adversely impact downstream property owners by increasing the rate and volume of flood flows. To mitigate this impact, the developer has proposed a detention basin. Although final design of the basin will not be required until the improvement plan stage of this development, the applicant's engineer has submitted a preliminary hydrology and hydraulics study that indicates that the general size, shape, and location of the proposed basin is sufficient to mitigate the impacts of the development.

10.FLOOD RI. 31 USE INCREASED RUNOFF CRITERIA RECOMMND

The development of this site would increase peak flow rates on downstream properties. Mitigation shall be required to offset such impacts. An increased runoff basin shall be

PLOT PLAN:TRANSMITTED Case #: PP20711

Parcel: 317-240-035

10. GENERAL CONDITIONS

10.FLOOD RI. 31

USE INCREASED RUNOFF CRITERIA (cont.)

RECOMMND

shown on the exhibit and calculations supporting the size of the basin shall be submitted to the District for review.

The entire area of proposed development will be routed through a detention facility(s) to mitigate increased runoff. All basins must have positive drainage; dead storage basins shall not be acceptable.

A complete drainage study including, but not limited to, hydrologic and hydraulic calculations for the proposed detention basin shall be submitted to the District for review and approval.

Storms to be studied will include the 1-hour, 3-hour, 6-hour and 24-hour duration events for the 2-year, 5-year and 10-year return frequencies. Detention basin(s) and outlet(s) sizing will ensure that none of these storm events has a higher peak discharge in the post-development condition than in the pre-development condition. For the 2-year and 5-year events the loss rate will be determined using an AMC I condition. For the 10-year event AMC II will be used. Constant loss rates shall be used for the 1-hour, 3-hour and 6-hour events. A variable loss rate shall be used for the 24-hour events.

Low Loss rates will be determined using the following:

1. Undeveloped Condition --> LOW LOSS = 90%
2. Developed Condition --> LOW LOSS = $.9 - (.8 \times \% \text{IMPERVIOUS})$
3. Basin Site --> LOW LOSS = 10%

Where possible and feasible the on-site flows should be mitigated before combining with off-site flows to minimize the size of the detention facility required. If it is necessary to combine off-site and on-site flows into a detention facility two separate conditions should be evaluated for each duration/return period/before-after development combination studied; the first for the total tributary area (off-site plus on-site), and the second for the area to be developed alone (on-site). It must be clearly demonstrated that there is no increase in peak flow rates under either condition (total tributary area or on-site alone), for each of the return period/duration combinations required to be evaluated. A single plot showing the pre-developed, post-developed and routed hydrographs for each storm considered, shall be included with the submittal of the hydrology study.

PLOT PLAN:TRANSMITTED Case #: PP20711

Parcel: 317-240-035

10. GENERAL CONDITIONS

10.FLOOD RI. 31 USE INCREASED RUNOFF CRITERIA (cont.) (cont.)RECOMMND

No outlet pipe(s) will be less than 18" in diameter. Where necessary an orifice plate may be used to restrict outflow rates. Appropriate trash racks shall be provided for all outlets less than 48" in diameter.

The basin(s) and outlet structure(s) must be capable of passing the 100-year storm without damage to the facility. Embankment shall be avoided in all cases unless site constraints or topography make embankment unavoidable in the judgment of the General Manager-Chief Engineer.

Mitigation basins should be designed for joint use and be incorporated into open space or park areas. Sideslopes should be no steeper than 4:1 and depths should be minimized where public access is uncontrolled.

A viable maintenance mechanism, acceptable to both the County and the District, should be provided for detention facilities. Generally, this would mean a CSA, landscape district, parks agency or commercial property owners association.

10.FLOOD RI. 32 USE WQMP ESTABL MAINT ENTITY RECOMMND

This project proposes BMP facilities that will require maintenance by public agency or commercial property owner association. To ensure that the public is not unduly burdened with future costs, prior to final approval or recordation of this case, the District will require an acceptable financial mechanism be implemented to provide for maintenance of treatment control BMPs in perpetuity. This may consist of a mechanism to assess individual benefiting property owners, or other means approved by the District. The site's treatment control BMPs must be shown on the project's improvement plans - either the street plans, grading plans, or landscaping plans. The type of improvement plans that will show the BMPs will depend on the selected maintenance entity.

10.FLOOD RI. 33 USE- CONSTRUCT MDP LATERALS RECOMMND

This project shall construct Perris Valley MDP Laterals H-10 and H-11 from Harvill Avenue to a point just upstream of the railroad culvert.

PLOT PLAN:TRANSMITTED Case #: PP20711

Parcel: 317-240-035

10. GENERAL CONDITIONS

PLANNING DEPARTMENT

10.PLANNING. 1

MAP - IF HUMAN REMAINS FOUND

RECOMMND

If human remains are encountered, State Health and Safety Code Section 7050.5 states that no further disturbance shall occur until the Riverside County Coroner has made the necessary findings as to origin. Further, pursuant to Public Resource Code Section 5097.98(b) remains shall be left in place and free from disturbance until a final decision as to the treatment and disposition has been made. If the Riverside County Coroner determines the remains to be Native American, the Native American Heritage Commission shall be contacted within a resonable timeframe. Subsequently, the Native American Heritage Commission shall identify the "most likely descendant." The most likely descendant shall then make recommendations and engage in consultation concerning the treatment of the remains as provided in Public Resources Code Section 5097.98.

10.PLANNING. 2

MAP - INADVERTENT ARCHAEO FIND

RECOMMND

If during ground disturbance activities, unique cultural resources are discovered that were not assessed by the archaeological report(s) and/or environemntal assessment conducted prior to project approval, the following procedures shall be followed. Unique cultural resources are defined, for this condition, as being multiple artifacts in close association with each other, but may include fewer artifacts if the area of the find is determined to be of significance due to its sacred or cultural importance.

1. All ground disturbance activities within 100 feet of the discovered cultural resources shall be halted until a meeting is convened between the developer, the archaeologist, the Native American tribal respresentative and the Planning Director to discuss the significance of the find.

2. At the meeting, the significance of the discoveries shall be discussed and after consultation with the Native American tribal representative and the archaeologist, a decision shall be made, with the concurrence of the Planning Director, as to the appropriate mitigation (documentation, recovery, avoidance, etc.) for the cultural resources.

PLOT PLAN:TRANSMITTED Case #: PP20711

Parcel: 317-240-035

10. GENERAL CONDITIONS

10.PLANNING. 2 MAP - INADVERTENT ARCHAEO FIND (cont.) RECOMMND

3. Grading of further ground disturbance shall not resume within the area of the discovery until an agreement has been reached by all parties as to the appropriate mitigation.

10.PLANNING. 3 USE - COMPLY WITH ORD./CODES RECOMMND

The development of these premises shall comply with the standards of Ordinance No. 348 and all other applicable Riverside County ordinances and State and Federal codes.

The development of the premises shall conform substantially with that as shown on APPROVED EXHIBIT A, unless otherwise amended by these conditions of approval.

10.PLANNING. 4 USE - FEES FOR REVIEW RECOMMND

Any subsequent submittals required by these conditions of approval, including but not limited to grading plan, building plan or mitigation monitoring review, shall be reviewed on an hourly basis (research fee), or other such review fee as may be in effect at the time of submittal, as required by Ordinance No. 671. Each submittal shall be accompanied with a letter clearly indicating which condition or conditions the submittal is intended to comply with.

10.PLANNING. 5 USE - LIGHTING HOODED/DIRECTED RECOMMND

Any outside lighting shall be hooded and directed so as not to shine directly upon adjoining property or public rights-of-way.

10.PLANNING. 6 USE- COLORS & MATERIALS RECOMMND

Building colors and materials shall be in substantial conformance with those shown on APPROVED EXHIBIT M.

10.PLANNING. 7 USE - LAND DIVISION REQUIRED RECOMMND

Prior to the sale of any individual structure as shown on APPROVED EXHIBIT A, a land division shall be recorded in accordance with Riverside County Ordinance No. 460, and any other pertinent ordinance.

PLOT PLAN:TRANSMITTED Case #: PP20711

Parcel: 317-240-035

10. GENERAL CONDITIONS

10.PLANNING. 8 USE- HOURS OF OPERATION RECOMMND

Use of the facilities approved under this plot plan shall be limited to the hours of 6 a.m. to 7 p.m., Monday through Saturday in order to reduce conflict with adjacent zones and/or land uses.

10.PLANNING. 9 USE- BASIS FOR PARKING RECOMMND

Parking for this project was determined primarily on the basis of County Ordinance No. 348, Section 18.12. a.(2).b), Industrial Uses: Warehouses, more specifically the project is proposing 329,002 square feet which requires 165 parking spaces. The project is providing a total of 447 parking spaces.

10.PLANNING. 10 USE - PERMIT SIGNS SEPARATELY RECOMMND

No signs are approved pursuant to this project approval. Prior to the installation of any on-site advertising or directional signs, a signing plan shall be submitted to and approved by the Planning Department pursuant to the requirements of Section 18.30 (Planning Department review only) of Ordinance No. 348.

10.PLANNING. 11 USE- LIMIT ON SIGNAGE RECOMMND

There is no signage being proposed for this project. Any signage shall be approved by the Planning Department pursuant to the requirements of Section 18.30 (Planning Department review only) of Ordinance No. 348.

10.PLANNING. 12 USE - NO OUTDOOR ADVERTISING RECOMMND

No outdoor advertising display, sign or billboard (not including on-site advertising or directional signs) shall be constructed or maintained within the property subject to this approval.

10.PLANNING. 15 USE - LANDSCAPE SPECIES RECOMMND

Drought tolerant and native plant species shall be preferred over non-drought tolerant and non-native species. However, the quantity and extent of those species shall depend on the project's climatic zones. Alternative types of low volume irrigation are encouraged to be used in order to conserve water.

PLOT PLAN:TRANSMITTED Case #: PP20711

Parcel: 317-240-035

10. GENERAL CONDITIONS

10.PLANNING. 16 USE- LANDSCAPE SCREENING RECOMMND

Landscape screening located from Harvill Avenue to West Frontage Road along the northern portion of the parcel shall be designed to be opaque up to a minimum height of six (6) feet at maturity except that planting within ten (10) feet of an entry or exit driveway shall not be permitted to grow higher than thirty (30) inches and no trees shall be planted within 10 feet of driveways, alleys, or street intersections.

10.PLANNING. 19 USE - RECLAIMED WATER RECOMMND

The permit holder shall connect to a reclaimed water supply for landscape watering purposes when secondary or reclaimed water is made available to the site.

10.PLANNING. 20 USE - NO SECOND FLOOR RECOMMND

No tenant improvement permit, or any other building permit, shall be granted for any second story, second floor, mezzanine, or interior balcony unless a plot plan, conditional use permit, public use permit, substantial conformance or a revised permit is approved by the Planning Department pursuant to Section 18.12 of Ordinance No. 348 in order to assure adequate parking remains within the property. Only a one story building was approved as part of this permit and reviewed for parking standards.

10.PLANNING. 21 USE- NO RESIDENT OCCUPANCY RECOMMND

No permanent occupancy shall be permitted within the property approved under this plot plan as shown on the APPROVED EXHIBIT A. No person, shall use the premises as a permanent mailing address nor be entitled to vote using an address within the premises as a place of residence.

10.PLANNING. 23 USE - NO OFF-ROAD USES ALLOWED RECOMMND

Trail bikes, dune buggies, off-road vehicles and other similar powered apparatus shall not be operated for purposes such as, but not limited to, hill climbing, trail riding, scrambling, racing and riding exhibitions.

10.PLANNING. 24 USE - EXTERIOR NOISE LEVELS RECOMMND

Exterior noise levels produced by any use allowed under this permit, including, but not limited to, any outdoor

PLOT PLAN:TRANSMITTED Case #: PP20711

Parcel: 317-240-035

10. GENERAL CONDITIONS

10.PLANNING. 24 USE - EXTERIOR NOISE LEVELS (cont.) RECOMMND

public address system, shall not exceed 45 db(A), 10-minute LEQ, between the hours of 10:00 p.m. to 6:00 a.m., and 65 db(A), 10-minute LEQ, at all other times as measured at any residential, hospital, school, library, nursing home or other similar noise sensitive land use. In the event noise exceeds this standard, the permittee or the permittee's successor-in-interest shall take the necessary steps to remedy the situation, which may include discontinued operation of the facilities.

10.PLANNING. 25 USE - NOISE MONITORING REPORTS RECOMMND

The permit holder may be required to submit periodic noise monitoring reports as determined by the Department of Building and Safety as part of a code enforcement action. Upon written notice from the Department of Building and Safety requiring such a report, the permittee or the permittee's successor-in-interest shall prepare and submit an approved report within thirty (30) calendar days to the Department of Building and Safety, unless more time is allowed through written agreement by the Department of Building and Safety. The noise monitoring report shall be approved by the Office of Industrial Hygiene of the Health Service Agency (the permittee or the permittee's successor-in-interest shall be required to place on deposit sufficient funds to cover the costs of this approval prior to commencing the required report).

10.PLANNING. 27 USE - VIABLE LANDSCAPING RECOMMND

All plant materials within landscaped areas shall be maintained in a viable growth condition throughout the life of this permit.

10.PLANNING. 28 USE- NO EA FOR GRADING RECOMMND

No environmental assessment for grading within the project boundaries shall be required provided such grading substantially conforms to the grading plan submitted as APPROVED EXHIBIT A, and does not significantly exceed 27,600 cubic yards of cut and 58,700 cubic yards of fill.

10.PLANNING. 29 USE - PREVENT DUST & BLOWSAND RECOMMND

Graded but undeveloped land shall be maintained in a condition so as to prevent a dust and/or blowsand nuisance

03/12/09
11:44

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 17

PLOT PLAN:TRANSMITTED Case #: PP20711

Parcel: 317-240-035

10. GENERAL CONDITIONS

10.PLANNING. 29 USE - PREVENT DUST & BLOWSAND (cont.) RECOMMND

and shall be either planted with interim landscaping or provided with other wind and water erosion control measures as approved by the Building and Safety Department and the State air quality management authorities.

10.PLANNING. 31 USE - CAUSES FOR REVOCATION RECOMMND

In the event the use hereby permitted under this permit, a) is found to be in violation of the terms and conditions of this permit, b) is found to have been obtained by fraud or perjured testimony, or c) is found to be detrimental to the public health, safety or general welfare, or is a public nuisance, this permit shall be subject to the revocation procedures.

10.PLANNING. 32 USE - CEASED OPERATIONS RECOMMND

In the event the use hereby permitted ceases operation for a period of ne (1) year or more, this approval shall become null and void.

10.PLANNING. 33 USE - 90 DAYS TO PROTEST RECOMMND

The project applicant has 90 days from the date of approval of these conditions to protest, in accordance with the procedures set forth in Government Code Section 66020, The imposition of any and all fees, dedications, reservations and/or other exactions imposed on this project as a result of this approval or conditional approval of the project.

10.PLANNING. 38 USE - ORD 810 O S FEE (1) RECOMMND

In accordance with Riverside County Ordinance No. 810, to assist in providing revenue to acquire and preserve open space and habitat, an Interim Open Space Mitigation Fee shall be paid for each development project or portion of an expanded development project to be constructed in Western Riverside County. The amount of the fee for commercial or industrial development shall be calculated on the basis of "Project Area," which shall mean the net area, measured in acres, from the adjacent road right-of-way to the limits of the project development. Any area identified as "NO USE PROPOSED" on the APPROVED EXHIBIT A shall not be included in the Project Area.

PLOT PLAN:TRANSMITTED Case #: PP20711

Parcel: 317-240-035

10. GENERAL CONDITIONS

10.PLANNING. 42 USE - BUSINESS LICENSING RECOMMND

Every person conducting a business within the unincorporated area of Riverside County, as defined in Riverside County Ordinance No. 857, shall obtain a business license. For more information regarding business registration, contact the Business Registration and License Program Office of the Code Enforcement Department at www.rctlma.org.buslic.

10.PLANNING. 43 USE - VIABLE LANDSCAPING RECOMMND

All plant materials within landscaped common areas shall be maintained in a viable growth condition throughout the life of this permit. To ensure that this occurs, the Planning Department shall require inspections in accordance with the Department's Milestone 90 condition entitled "MAP - LNDSCP/IRRIG INSTALL INS."

10.PLANNING. 44 USE- ARB SIGNS FOR IDLING RECOMMND

Signs stating that "The driver of a diesel-fueled motor vehicle with a gross vehicle weight rating (GVWR) greater than 10,000 pounds is prohibited from idling the vehicle's primary engine for more than five (5) minutes at any location and may not operate a diesel fueled auxiliary power system (APS) for more than 5 minutes at any location within 100 feet of a restricted area (residences). Electrical connections have been provided for your use. The minimum penalty for an idling violation is \$300.00. To report a violation please contact 1800-END-SMOG"

Signs shall be placed at the entrance to the loading docks and at every other loading dock and not be less than twenty four inches square.

TRANS DEPARTMENT

10.TRANS. 1 USE - TS/CONDITIONS RECOMMND

The Transportation Department has reviewed the traffic study submitted for the referenced project. The study has been prepared in accordance with County-approved guidelines. We generally concur with the findings relative to traffic impacts.

The Comprehensive General Plan circulation policies require a minimum of Level of Service 'C', except that Level of

PLOT PLAN:TRANSMITTED Case #: PP20711

Parcel: 317-240-035

10. GENERAL CONDITIONS

10.TRANS. 1 USE - TS/CONDITIONS (cont.)

RECOMMND

Service 'D' may be allowed with Board of Supervisors' approval in community defelopment areas at intersections of any combination of secondary highways, major highways, arterials, urban arterials, expressways or state highways and ramp intersections.

The study indicates that it is possible to achieve a Level of Service 'C' for the following intersections based on the traffic study assumptions.

Harvill Avenue (NS) at:
Cajalco Expressway (EW)
Rider Street (EW)
Project Driveway-North (EW)
Project Driveway-South (EW)
Placentia Avenue (EW)

I-215 Northbound Ramps (NS) at Ramona Expressway (EW)
I-215 Southbound Ramps (NS) at Cajalco Expressway (EW)
I-215 Northbound Ramps (NS) at Nuevo Road
I-215 Southbound Ramps (NS) at Nuevo Road

As such, the proposed project is consistent with this General Plan policy.

The associated conditions of approval incorporate mitigation measures identified in the traffic study, which are necessary to achieve or maintain the required level of service.

10.TRANS. 2 USE - MID-COUNTY PARKWAY

RECOMMND

The Transportation Department has evaluated the relationship of PP20711 to the on-going study for the alignment of the Mid-County Parkway project. At this time, the alignment of the Mid-County Parkway has been determined and it is the one that would place the interchange of Interstate 215 and Mid County Parkway in the vicinity of Interstate 215 and Placentia Street. The implementation of this alignment will require right-of-way in the southern portion of PP20711.

10.TRANS. 4 USE - NO ADD'L ON-SITE R-O-W

RECOMMND

No additional on-site right-of-way shall be required on Harvill Avenue since adequate right-of-way exists.

PLOT PLAN:TRANSMITTED Case #: PP20711

Parcel: 317-240-035

10. GENERAL CONDITIONS

10.TRANS. 7 USE - STD INTRO 3(ORD 460/461)

RECOMMND

With respect to the conditions of approval for the referenced tentative exhibit, the landowner shall provide all street improvements, street improvement plans and/or road dedications set forth herein in accordance with Ordinance 460 and Riverside County Road Improvement tandards (Ordinance 461). It is understood that the exhibit correctly shows acceptable centerline elevations, all existing easements, traveled ways, and drainage courses with appropriate Q's, and that their omission or unacceptability may require the exhibit to be resubmitted for further consideration. These Ordinances and all conditions of approval are essential parts and a requirement occurring in ONE is as binding as though occurring in all. All questions regarding the true meaning of the conditions shall be referred to the Transportation Department.

20. PRIOR TO A CERTAIN DATE

PLANNING DEPARTMENT

20.PLANNING. 1 USE - EXPIRATION DATE-PP

RECOMMND

This approval shall be used within two (2) years of approval date; otherwise, it shall become null and void and of no effect whatsoever. By use is meant the beginning of substantial construction contemplated by this approval within a two (2) year period which is thereafter diligently pursued to completion or o the actual occupancy of existing buildings or land under the terms of the authorized use. Prior to the expiration of the two year period, the permittee may request a one (1) year extension of time request in which to use this plot plan. A maximum of three one-year extension of time requests shall be permitted. Should the time period established by any of the extension of time requests lapse, or should all three one-year extensions be obtained and no substantial construction or use of this plot plan be initiated within five (5) years of the effective date of the issuance of this plot plan, this plot plan shall become null and void.

20.PLANNING. 3 USE- REVIEW OPERATION HOURS

RECOMMND

One year after issuance of occupancy permit the Planning Director and the Director of Building and Safety shall review this permit to consider the hours of operation. If

PLOT PLAN:TRANSMITTED Case #: PP20711

Parcel: 317-240-035

20. PRIOR TO A CERTAIN DATE

20.PLANNING. 3 USE- REVIEW OPERATION HOURS (cont.) RECOMMND

significant complaints have been received regarding noise and nuisance, the hours of operation of the warehouse may be further restricted.

20.PLANNING. 6 USE- MITIGATION MONITORING RECOMMND

WITHIN TWO (2) YEARS OF THE DATE OF APPROVAL OF THIS PERMIT, the permittee shall prepare and submit a written report to the Riverside County Planning Director demonstrating compliance with all conditions of approval and mitigation measures of this permit and EIR497.

50. PRIOR TO MAP RECORDATION

PARKS DEPARTMENT

50.PARKS. 1 MAP - TRAIL EASEMENT RECOMMND

Prior to or in conjunction with the recordation of the final map, the applicant shall offer for dedication to the County of Riverside an easement for trails purposes. This easement shall be as shown on the approved trails plan.

The Mead Valley Area Plan identifies a Regional Trail along Placentia Street. A portion of the proposed project is located along Placentia Street. The trails plan shall be in accordance with the Area Plan.

60. PRIOR TO GRADING PRMT ISSUANCE

BS GRADE DEPARTMENT

60.BS GRADE. 1 USE-G2.1 GRADING BONDS RECOMMND

Grading in excess of 199 cubic yards will require performance security to be posted with the Building and Safety Department. Single Family Dwelling units graded one lot per permit and proposing to grade less than 5,000 cubic yards are exempt.

60.BS GRADE. 3 USE-G2.4GEOTECH/SOILS RPTS RECOMMND

Geotechnical soils reports, required in order to obtain a grading permit, shall be submitted to the Building and Safety Department's Grading Division for review and approval prior to issuance of a grading permit.

03/12/09
11:44

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 22

PLOT PLAN:TRANSMITTED Case #: PP20711

Parcel: 317-240-035

60. PRIOR TO GRADING PRMT ISSUANCE

60.BS GRADE. 3 USE-G2.4GEOTECH/SOILS RPTS (cont.) RECOMMND

All grading shall be in conformance with the recommendations of the geotechnical/soils reports as approved by Riverside County.*

*The geotechnical/soils, compaction and inspection reports will be reviewed in accordance with the RIVERSIDE COUNTY GEOTECHNICAL GUIDELINES FOR REVIEW OF GEOTECHNICAL AND GEOLOGIC REPORTS.

60.BS GRADE. 4 USE-G2.7DRNAGE DESIGN Q100 RECOMMND

All grading and drainage shall be designed in accordance with Riverside County Flood Control & Water Conservation District's conditions of approval regarding this application. If not specifically addressed in their conditions, drainage shall be designed to accommodate 100 year storm flows.

Additionally, the Building and Safety Department's conditional approval of this application includes an expectation that the conceptual grading plan reviewed and approved for it complies or can comply with any WQMP (water Quality Management Plan) required by Riverside County Flood Control & Water Conservation District.

60.BS GRADE. 6 USE-G2.14OFFSITE GDG ONUS RECOMMND

Prior to the issuance of a grading permit, it shall be the sole responsibility of the owner/applicant to obtain any and all proposed or required easements and/or permissions necessary to perform the grading herein proposed.

60.BS GRADE. 9 USE-G1.4 NPDES/SWPPP RECOMMND

Prior to issuance of any grading or construction permits - whichever comes first - the applicant shall provide the Building and Safety Department evidence of compliance with the following: "Effective March 10, 2003 owner operators of grading or construction projects are required to comply with the N.P.D.E.S. (National Pollutant Discharge Elimination System) requirement to obtain a construction permit from the State Water Resource Control Board (SWRCB). The permit requirement applies to grading and construction sites of "ONE" acre or larger. The owner operator can comply by submitting a "Notice of Intent" (NOI), develop

03/12/09
11:44

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 23

PLOT PLAN:TRANSMITTED Case #: PP20711

Parcel: 317-240-035

60. PRIOR TO GRADING PRMT ISSUANCE

60.BS GRADE. 9 USE-G1.4 NPDES/SWPPP (cont.)

RECOMMND

and implement a STORM WATER POLLUTION PREVENTION PLAN (SWPPP) and a monitoring program and reporting plan for the construction site. For additional information and to obtain a copy of the NPDES State Construction Permit contact the SWRCB at (916) 657-1146.

Additionally, at the time the county adopts, as part of any ordinance, regulations specific to the N.P.D.E.S., this project (or subdivision) shall comply with them.

60.BS GRADE. 10 USE IMPORT/EXPORT

RECOMMND

In instances where a grading plan involves import or export, prior to obtaining a grading permit, the applicant shall have obtained approval for the import/export location from the Building and Safety department. If an Environmental Assessment, prior to issuing a grading permit, did not previously approve either location, a Grading Environmental Assessment shall be submitted to the Planning Director and the Environmental Programs Director for review and comment and to the Building and Safety Department Director for approval. Additionally, if the movement of import/export occurs using county roads, review and approval of the haul routes by the Transportation Department will be required.

EPD DEPARTMENT

60.EPD. 1 EPD - 30 DAY BURROWING OWL SUR

RECOMMND

Pursuant to Objective 6 and Objective 7 of the Species Account for the Burrowing Owl included in the Western Riverside County Multiple Species Habitat Conservation Plan, within 30 days prior to the issuance of a grading permit, a pre-construction presence/absence survey for the burrowing owl shall be conducted by a qualified biologist and the results of this presence/absence survey shall be provided in writing to the Environmental Programs Department. If it is determined that the project site is occupied by the Burrowing Owl, take of "active" nests shall be avoided pursuant to the MSHCP and the Migratory Bird Treaty Act. However, when the Burrowing Owl is present, relocation outside of the nesting season (March 1 through August 31) by a qualified biologist shall be

03/12/09
11:44

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 24

PLOT PLAN:TRANSMITTED Case #: PP20711

Parcel: 317-240-035

60. PRIOR TO GRADING PRMT ISSUANCE

60.EPD. 1 EPD - 30 DAY BURROWING OWL SUR (cont.) RECOMMND

required. The County Biologist shall be consulted to determine appropriate type of relocation (active or passive) and translocation sites. Occupation of this species on the project site may result in the need to revise grading plans so that take of "active" nests is avoided or alternatively, a grading permit may be issued once the species has been actively relocated.

If the grading permit is not obtained within 30 days of the survey a new survey shall be required.

FLOOD RI DEPARTMENT

60.FLOOD RI. 2 USE SUBMIT PLANS RECOMMND

A copy of the improvement plans, grading plans, BMP improvement plans and any other necessary documentation along with supporting hydrologic and hydraulic calculations shall be submitted to the District for review. The plans must receive District approval prior to the issuance of grading permits. All submittals shall be date stamped by the engineer and include a completed Flood Control Deposit Based Fee Worksheet and the appropriate plan check fee deposit.

60.FLOOD RI. 3 USE EROS CNTRL AFTER RGH GRAD RECOMMND

Temporary erosion control measures shall be implemented immediately following rough grading to prevent deposition of debris onto downstream properties or drainage facilities. Plans showing these measures shall be submitted to the District for review.

60.FLOOD RI. 4 USE OFFSITE EASE OR REDESIGN RECOMMND

Offsite drainage facilities shall be located within dedicated drainage easements obtained from the affected property owner(s). Document(s) shall be recorded and a copy submitted to the District prior to issuance of permits. If the developer cannot obtain such rights, the project shall be redesigned to eliminate the need for the easement.

03/12/09
11:44

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 25

PLOT PLAN:TRANSMITTED Case #: PP20711

Parcel: 317-240-035

60. PRIOR TO GRADING PRMT ISSUANCE

60.FLOOD RI. 5 USE WRITTEN PERM FOR GRADING

RECOMMND

Written permission shall be obtained from the affected property owner(s) allowing the proposed grading and/or facilities to be installed outside of the project boundaries. A copy of the written authorization shall be submitted to the District for review and approval.

60.FLOOD RI. 7 USE 3 ITEMS TO ACCEPT FACILITY

RECOMMND

Inspection and maintenance of the flood control facility/ies to be constructed with this development must be performed by either the County Transportation Department or the Flood Control District. The engineer (owner) must request in writing that one of these agencies accept the proposed system. The request shall note the project number, location, briefly describe the system (sizes and lengths) and include an exhibit that shows the proposed alignment. The request to the District shall be addressed to the General Manager-Chief Engineer, Attn: Chief of the Planning Division.

If the District is willing to maintain the proposed facility three items must be accomplished prior to the issuance of a grading permit or starting construction of the drainage facility, whichever comes first: 1) the developer shall submit to the District the preliminary title reports, plats and legal descriptions for all right of way to be conveyed to the District and secure that right of way to the satisfaction of the District; 2) an agreement with the District and any maintenance partners must be executed which establishes the terms and conditions of inspection, operation and maintenance; and 3) plans for the facility must be signed by the District's General Manager-Chief Engineer. The plans cannot be signed prior to execution of the agreement. An application to draw up an agreement must be submitted to the attention of the District's Administrative Services Section. All right of way transfer issues must be coordinated with the District's Right of Way Section.

The engineer/developer will need to submit proof of flood control facility bonds and a certificate of insurance to the District's Inspection section before a pre-construction meeting can be scheduled.

PLOT PLAN:TRANSMITTED Case #: PP20711

Parcel: 317-240-035

60. PRIOR TO GRADING PRMT ISSUANCE

60.FLOOD RI. 9 USE SUBMIT FINAL WQMP RECOMMND

A copy of the project specific WQMP shall be submitted to the District for review and approval.

60.FLOOD RI. 13 USE- MITCHARGE RECOMMND

The County Board of Supervisors has adopted the Perris Valley Area Drainage Plan (ADP) for the purpose of collecting drainage fees. This project may require earlier construction of downstream ADP facilities. To mitigate this effect, the District recommends that this project be required to pay a flood mitigation fee. The mitigation fee should be based upon the fee structures set for land divisions having comparable anticipated impermeable surface areas.

Plot Plan 20711 is located within the limits of the Perris Valley Area Drainage Plan for which drainage fees have been adopted to help mitigate the impacts of this development. The mitigation charge for this proposal shall equal the prevailing Area Drainage Plan fee rate multiplied by the area of the new development. This new development has a total of 17.2 acres subject to the fee. The charge is payable to the Flood Control District by cashier's check or money order only, and shall be paid after final approval of the staff report/conditions of approval by the Board of Supervisors and prior to issuance of permits.

PARKS DEPARTMENT

60.PARKS. 1 MAP - TRAIL PLAN RECOMMND

Prior to the issuance of any grading permits, the applicant shall submit a trails plan to the Riverside County Regional Park and Open-Space District for review and approval. This trails plan shall show the trail with all topography, grading, fencing, cross sections, street crossings and under crossings and landscaping.

60.PARKS. 2 MAP - TRAIL PLAN RECOMMND

Prior to the issuance of any grading permits, the applicant shall submit a trails plan to the Riverside County Regional Park and Open-Space District for review and approval. This trails plan shall show the trail along Placentia Street, which consists of a portion of the project's southerly boundary, as a Regional Trail with a 20' dedicated

PLOT PLAN:TRANSMITTED Case #: PP20711

Parcel: 317-240-035

60. PRIOR TO GRADING PRMT ISSUANCE

60.PARKS. 2 MAP - TRAIL PLAN (cont.) RECOMMND

easement. The trails plan shall show the trail with all grading, topography, fencing, cross-sections, street crossings and under crossings, signage (if appropriate) and landscaping.

PLANNING DEPARTMENT

60.PLANNING. 1 USE - SUBSIDENCE STUDY RECOMMND

PRIOR TO ISSUANCE OF A GRADING PERMIT, THE FOLLOWING SPECIAL GEOLOGIC STUDIES SHALL BE SUBMITTED TO THE DEPARTMENT OF BUILDING AND SAFETY:

A geologic/geotechnical investigation report to address the potential impact of subsidence on this project. This report may be included as part of the Geologic/Geotechnical report required for the grading permit (B&S condition) as described elsewhere in this conditions set.

60.PLANNING. 2 USE - GRADING PLANS RECOMMND

If grading is proposed, the project must comply with the following:

a. The developer shall submit one print of a comprehensive grading plan to the Department of Building and Safety which complies with the Uniform Building Code, Chapter 70, as amended by Ordinance No. 457 and as may be additionally provided for in these conditions.

b. A grading permit shall be obtained from the Department of Building and Safety prior to commencement of any grading outside of a County maintained road right-of-way.

c. Graded but undeveloped land shall be planted with interim landscaping or provided with other erosion control measures as approved by the Director of Building and Safety.

d. Graded areas shall be revegetated or landscaped with native species which are fire resistant, drought tolerant, low water using and erosion controlling.

PLOT PLAN:TRANSMITTED Case #: PP20711

Parcel: 317-240-035

60. PRIOR TO GRADING PRMT ISSUANCE

60.PLANNING. 8 USE- MITIGATION MONITORING RECOMMND

The permittee shall prepare and submit a written report to the Riverside County Planning Director demonstrating compliance with those conditions of approval and mitigation measures of this permit and EIR. No. 497 which must be satisfied prior to the issuance of a grading permit.

The Planning Director may require inspection or other monitoring to ensure such compliance.

60.PLANNING. 9 USE- COC REQUIRED (1) RECOMMND

Prior to issuance of a grading permit, an application for a Certificate of Land Division Compliance shall be filed with and approved by the Planning Department. Proof of recordation shall be presented to the Building and Safety Department.

60.PLANNING. 10 USE - BLOWSAND & DUST CONTROL RECOMMND

The permittee shall institute blowsand and dust control measures during grading and shall note or show the measures to be used on their grading plans. These measures shall include, but not be limited to: a) The use of irrigation during any construction activities; b) planting of cover crop or vegetation upon previously graded but undeveloped portions of the site; and c) provision of windbreaks or windrows, fencing, and/or landscaping to reduce the effects upon adjacent properties and property owners. The permittee shall comply with the directives of the Director of the Building and Safety Department with regards to the applicable sections of Ordinance No. 484 (Blowsand Control) and Ordinance No. 742 (Control of Fugitive Dust/PM10 in Urban Areas).

60.PLANNING. 12 USE- SKR FEE CONDITION RECOMMND

Prior to the issuance of a grading permit, the applicant shall comply with the provisions of Riverside County Ordinance No. 663, which generally requires the payment of the appropriate fee set forth in that ordinance. The amount of the fee required to be paid may vary depending upon a variety of factors, including the type of development application submitted and the applicability of any fee reduction or exemption provisions contained in Riverside County Ordinance No. 663. Said fee shall be calculated on the approved development project which is

PLOT PLAN:TRANSMITTED Case #: PP20711

Parcel: 317-240-035

60. PRIOR TO GRADING PRMT ISSUANCE

60.PLANNING. 12 USE- SKR FEE CONDITION (cont.) RECOMMND

anticipated to be 19.8 acres (gross) in accordance with APPROVED EXHIBIT NO. A. If the development is subsequently revised, this acreage amount may be modified in order to reflect the revised development project acreage amount. In the event Riverside County Ordinance No. 663 is rescinded, this condition will no longer be applicable. However, should Riverside County Ordinance No. 663 be rescinded and superseded by a subsequent mitigation fee ordinance, payment of the appropriate fee set forth in that ordinance shall be required.

60.PLANNING. 19 USE- REQD APPLICATIONS (1) RECOMMND

No grading permits shall be issued until Change of Zone No. 7186 has been approved and adopted by the Board of Supervisors and has been made effective. This permit shall conform with the development standards of the zone ultimately applied to the property.

TRANS DEPARTMENT

60.TRANS. 1 USE - TRANSPORTATION CLEARANCE RECOMMND

A clearance from the Transportation Department is required prior to the issuance of a grading permit.

80. PRIOR TO BLDG PRMT ISSUANCE

BS GRADE DEPARTMENT

80.BS GRADE. 1 USE* -G3.1NO B/PMT W/O G/PMT RECOMMND

Prior to issuance of any building permit, the property owner shall obtain a grading permit and/or approval to construct from the Grading Division of the Building and Safety Department.

E HEALTH DEPARTMENT

80.E HEALTH. 1 USE - WATER WILL SERVE RECOMMND

A "Will-Serve" letter is required from the appropriate water agency.

03/12/09
11:44

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 30

PLOT PLAN:TRANSMITTED Case #: PP20711

Parcel: 317-240-035

80. PRIOR TO BLDG PRMT ISSUANCE

80.E HEALTH. 2 USE - FOOD PLANS REQD RECOMMND

A total of three complete set of plans for each food establishment are needed including a fixture schedule, a finish schedule, and a plumbing schedule in order to ensure compliance with the California Uniform Retail Food Facilities Law.

80.E HEALTH. 3 USE - LEA CLEARANCE RECOMMND

Clearance from the Environmental Resources Management Division LEA

80.E HEALTH. 4 USE - PERC TEST REQD RECOMMND

satisfactory detailed soils percolation test in accordance with the procedures outlined in the Riverside County Waste Disposal Booklet entitled "Waste Disposal for Individual Homes, Commercial and Industrial".

FIRE DEPARTMENT

80.FIRE. 1 USE-#17A-BLDG PLAN CHECK \$ RECOMMND

Building Plan check deposit base fee of \$1,056.00, shall be paid in a check or money order to the Riverside County Fire Department after plans have been approved by our office.

80.FIRE. 2 USE-#4-WATER PLANS RECOMMND

The applicant or developer shall separately submit two copies of the water system plans to the Fire Department for review and approval. Calculated velocities shall not exceed 10 feet per second. Plans shall conform to the fire hydrant types, location and spacing, and the system shall meet the fire flow requirements.

Plans shall be signed and approved by a registered civil engineer and the local water company with the following certification: "I certify that the design of the water system is in accordance with the requirements prescribed by the Riverside County Fire Department."

PLOT PLAN:TRANSMITTED Case #: PP20711

Parcel: 317-240-035

80. PRIOR TO BLDG PRMT ISSUANCE

FLOOD RI DEPARTMENT

80.FLOOD RI. 2

USE SUBMIT PLANS

RECOMMND

A copy of the improvement plans, grading plans, BMP improvement plans and any other necessary documentation along with supporting hydrologic and hydraulic calculations shall be submitted to the District for review. The plans must receive District approval prior to the issuance of building permits. All submittals shall be date stamped by the engineer and include a completed Flood Control Deposit Based Fee Worksheet and the appropriate plan check fee deposit.

80.FLOOD RI. 3

USE 3 ITEMS TO ACCEPT FACILITY

RECOMMND

Inspection and maintenance of the flood control facility/ies to be constructed with this development must be performed by either the County Transportation Department or the Flood Control District. The engineer (owner) must request in writing that one of these agencies accept the proposed system. The request shall note the project number, location, briefly describe the system (sizes and lengths) and include an exhibit that shows the proposed alignment. The request to the District shall be addressed to the General Manager-Chief Engineer, Attn: Chief of the Planning Division.

If the District is willing to maintain the proposed facility three items must be accomplished prior to the issuance of a building permit or starting construction of the drainage facility, whichever comes first: 1) the developer shall submit to the District the preliminary title reports, plats and legal descriptions for all right of way to be conveyed to the District and secure that right of way to the satisfaction of the District; 2) an agreement with the District and any maintenance partners must be executed which establishes the terms and conditions of inspection, operation and maintenance; and 3) plans for the facility must be signed by the District's General Manager-Chief Engineer. The plans cannot be signed prior to execution of the agreement. An application to draw up an agreement must be submitted to the attention of the District's Administrative Services Section. All right of way transfer issues must be coordinated with the District's Right of Way Section.

The engineer/developer will need to submit proof of flood

PLOT PLAN:TRANSMITTED Case #: PP20711

Parcel: 317-240-035

80. PRIOR TO BLDG PRMT ISSUANCE

80.FLOOD RI. 3 USE 3 ITEMS TO ACCEPT FACILITY (cont.) RECOMMND

control facility bonds and a certificate of insurance to the District's Inspection section before a pre-construction meeting can be scheduled.

80.FLOOD RI. 5 USE SUBMIT FINAL WQMP RECOMMND

A copy of the project specific WQMP shall be submitted to the District for review and approval.

80.FLOOD RI. 8 USE- MITCHARGE RECOMMND

The County Board of Supervisors has adopted the Perris Valley Area Drainage Plan (ADP) for the purpose of collecting drainage fees. This project may require earlier construction of downstream ADP facilities. to mitigate this effect, the District recommends that this project be required to pay a flood mitigation fee. The mitigation fee should be based upon the fee structures set for land divisions having comparable anticipated impermeable surface areas.

Plot Plan 20711 is located within the limits of the Perris Valley Area Drainage Plan for which drainage fees have been adopted to help mitigate the impacts of this development. The mitigation charge for this proposal shall equal the prevailing Area Drainage Plan fee rate multiplied by the area of the new development. This new development has a total of 17.2 acres subject to the fee. The charge is payable to the Flood Control District by cashier's check or money order only, and shall be paid after final approval of the staff report/conditions of approval by the Board of Supervisors and prior to issuance of permits.

PLANNING DEPARTMENT

80.PLANNING. 1 USE*- ACOUSTICAL STUDY RECOMMND

The permittee shall have four (4) copies of a certified acoustical study performed by a professional acoustician prepared which outlines methods by which interior sound levels within the principal buildings of the proposed use will be maintained at no more than 45 db(A) and that airborne sound insulation methods will comply with Chapter 35 of the Uniform Building Code. The study shall be submitted to the Health Services Agency, Office of industrial Hygiene for review and comment (the permittee

PLOT PLAN:TRANSMITTED Case #: PP20711

Parcel: 317-240-035

80. PRIOR TO BLDG PRMT ISSUANCE

80.PLANNING. 1 USE*- ACOUSTICAL STUDY (cont.) RECOMMND

may be assessed review fees not to exceed the Agency's hourly rate) and shall forward the study along with any comments of the Health Service Agency and corrections to the Planning Department for approval.

80.PLANNING. 4 USE - BLOWSAND & DUST CONTROL RECOMMND

The permit holder shall institute blowsand and dust control measures during grading and shall note or show the measures to be used on their grading plans. These measures shall include, but not be limited to: a) The use of irrigation during any construction activities; b) planting of cover crop or vegetation upon previously graded but undeveloped portions of the site; and c) provision of windbreaks or windrows, fencing, and/or landscaping to reduce the effects upon adjacent properties and property owners. The permittee shall comply with the directives of the Director of the Building and Safety Department with regards to the applicable sections of Ordinance No. 484 (Blowsand Control) and Ordinance No. 742 (Control of Fugitive Dust/PM10 in Urban Areas).

80.PLANNING. 5 USE - LIGHTING PLANS RECOMMND

All street lights and other outdoor lighting shall be shown on electrical plans submitted to the Department of Building and Safety for plan check approval and shall comply with the requirements of Riverside County Ordinance No. 655 and the Riverside County Comprehensive General Plan.

80.PLANNING. 6 USE- CONFORM TO ELEVATIONS RECOMMND

Elevations of all buildings and structures submitted for building plan check approval shall be in substantial conformance with the elevations shown on APPROVED EXHIBIT B.

80.PLANNING. 7 USE- CONFORM TO FLOOR PLANS RECOMMND

Floor plans shall be in substantial conformance with that shown on APPROVED EXHIBIT C.

80.PLANNING. 8 USE - ROOF EQUIPMENT SHIELDING RECOMMND

Roof mounted equipment shall be shielded from ground view. Screening material shall be subject to Planning Department

03/12/09
11:44

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 34

PLOT PLAN:TRANSMITTED Case #: PP20711

Parcel: 317-240-035

80. PRIOR TO BLDG PRMT ISSUANCE

80.PLANNING. 8 USE - ROOF EQUIPMENT SHIELDING (cont.) RECOMMND
approval.

80.PLANNING. 9 USE- BUS STOPS RECOMMND
A bus stop shall be shown on the street improvement plans. The bus stop shall be coordinated with R.T.A. (Riverside Transit Agency) and shall be subject to Transportation Director and Planning Director approval.

80.PLANNING. 12 USE - RAIN SHUT-OFF IRRIGATION RECOMMND
The irrigation plan shall be in compliance with Section 18.12 of Ordinance No. 348, and include a rain shut-off device which is capable of shutting down the entire system. In addition, the plan will incorporate the use of in-line check valves, or sprinkler heads containing check valves to prohibit low head drainage.

80.PLANNING. 13 USE - LANDSCAPING SECURITIES RECOMMND
Performance securities, in amounts to be determined by the Director of Building and Safety to guarantee the installation of plantings, walls and/or fences, in accordance with the approved plan, shall be filed with the Department of Building and Safety. The performance security shall be released one year after structural final and the inspection report provides the plantings have been adequately installed and maintained. A cash security shall be required when the estimated cost is \$2,500.00 or less.

80.PLANNING. 14 USE- COC REQUIRED (2) RECOMMND
Prior to issuance of building permits, an application for a Certificate of Land Division Compliance shall be filed with and approved by the Planning Department. Proof of recordation shall be presented to the Department of Building and Safety.

If Planning Department Condition No. 60.PLANNING.9 is satisfied, this condition shall be considered MET.

80.PLANNING. 15 USE - FENCING PLAN REQUIRED RECOMMND
A fencing plan shall be submitted showing all fence locations and typical views of all types of fences or walls proposed. This plan shall require anti-graffiti coatings on

PLOT PLAN:TRANSMITTED Case #: PP20711

Parcel: 317-240-035

80. PRIOR TO BLDG PRMT ISSUANCE

80.PLANNING. 15 USE - FENCING PLAN REQUIRED (cont.) RECOMMND

fences and walls, where applicable.

80.PLANNING. 17 USE - REC & PARK DIST MITIG. RECOMMND

At this time the proposed project is located in an area of the County which does not have an established Community Service Area. If a community service area forms, which includes the project area, the proposed project will be required to join and pay applicable park and recreation mitigation fees and/or dedication of land as identified in the District's Master Plan.

80.PLANNING. 18 USE- MITIGATION MONITORING RECOMMND

The permittee shall prepare and submit a written report to the Riverside County Planning Director demonstrating compliance with those conditions of approval and mitigation measures of this permit and E.I.R No. 497 which must be satisfied prior to the issuance of a building permit.

The Planning Director may require inspection or other monitoring to ensure such compliance.

80.PLANNING. 19 USE - PLANS SHOWING BIKE RACKS RECOMMND

Bike rack spaces or bike lockers shall be shown on the project's parking and landscaping plan submitted to the Planning Department for approval. The project is required to have a total of seven (7) bike spaces.

80.PLANNING. 20 USE- HEIGHT LIMITATIONS RECOMMND

All buildings and structures within this permit shall not exceed 50 feet in overall height, except as provided by Section No. 18.20 of Ordinance No. 348. The permittee shall demonstrate to the satisfaction of the Planning Director and the Director of the Department of Building and Safety that construction plans comply with all height regulations; verification of compliance with the height regulations of this permit may include submission of a written certification by a state licensed professional that plans submitted to the Department of Building and Safety are in compliance and/or inspection of such plans by county staff.

PLOT PLAN:TRANSMITTED Case #: PP20711

Parcel: 317-240-035

80. PRIOR TO BLDG PRMT ISSUANCE

80.PLANNING. 22 USE- REQD APPLICATIONS (2) RECOMMND

No building permits shall be issued until Change of Zone No. 7186 has been approved and adopted by the Board of Supervisors and has been made effective. This permit shall conform with the development standards of the zone ultimately applied to the property.

80.PLANNING. 26 USE - PARKING/LANDSCAPING PLAN RECOMMND

Prior to issuance of grading or building permits, seven (7) copies of a Shading, Parking, Parking Lot Lighting and Landscaping and Irrigation Plan shall be submitted to and approved by the Planning Department. The location, number, genus, species, and container size of plants shall be shown. Plans shall meet all requirements of Ordinance No. 348, Sections 18.12, and 19.300 through 19.304 and as specified herein.

80.PLANNING. 27 USE- WASTE MGMT. CLEARANCE RECOMMND

A clearance letter from Riverside County Waste Management District shall be provided to the Riverside County Planning Department verifying compliance with the conditions contained in their letter dated November 16, 2007, summarized as follows:

The developer shall provide adequate areas for collecting and loading recyclable materials such as paper products, glass and green waste in commercial, industrial, public facilities and residential development projects.

The project proponent shall make every effort and take every means to recycle, reuse, and/or reduce the amount of construction and demolition materials generated by the development of the project that would otherwise be taken to a landfill. This can be done by either taking these materials directly to a recycling facility or by making arrangements through the franchise hauler or a construction clean up business.

Evidence to show that every effort has been made and every means has been taken to ensure compliance shall be presented by the project proponent to the Planning/Recycling Division of the Riverside County Waste Management Department in order to clear the project for occupancy permits.

PLOT PLAN:TRANSMITTED Case #: PP20711

Parcel: 317-240-035

80. PRIOR TO BLDG PRMT ISSUANCE

80.PLANNING. 27 USE- WASTE MGMT. CLEARANCE (cont.) RECOMMND

Since hazardous materials are not accepted at Riverside County landfills, the project proponent shall take any hazardous wastes, including paint used during construction to facilities that are permitted to receive them, in accordance with local, state, and federal regulations.

The project proponent shall use mulch and/or compost in the development and maintenance of landscaped areas within the project boundaries. Recycle green waste through either onsite composting of grass or sending seperated green waste to a composting facility.

Use xeriscaping and drought tolerant/ low maintenance vegetation in all landscaped areas of the project.

80.PLANNING. 31 USE- SCHOOL MITIGATION RECOMMND

Impacts to the Val Verde Unified School District shall be mitigated in accordance with California State law.

80.PLANNING. 38 USE- CC&R C/I MO COMMON EASE RECOMMND

The applicant shall notify the Planning Department that the following documents shall be submitted to the Office of the County Counsel and submit said documents to Planning Department for review along with the current fee, which documents shall be subject to County Counsel review:

1. A cover letter identifying the project for which approval is sought;

2. A signed and notarized declaration of covenants, conditions and restrictions;

3. A sample document conveying title to the purchaser of an individual lot or unit which provides that the declaration of covenants, conditions and restrictions is incorporated therein by reference; and,

4. A deposit equaling three (3) hours at the current hourly rate for the Review of Covenants, Conditions and Restrictions as established pursuant to Ordinance No. 671 at the time the above documents are submitted for review by County Counsel.

03/12/09
11:44

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 38

PLOT PLAN:TRANSMITTED Case #: PP20711

Parcel: 317-240-035

80. PRIOR TO BLDG PRMT ISSUANCE

80.PLANNING. 38 USE- CC&R C/I MO COMMON EASE (cont.)

RECOMMND

The declaration of covenants, conditions and restrictions submitted for review shall a) provide for a minimum term of 60 years, b) provide reciprocal easements for ingress, egress and parking, c) provide for the establishment of a maintenance operator, and d) contain the following provisions verbatim:

"Notwithstanding any provision in this Declaration to the contrary, the following provisions shall apply:

The Maintenance Operator established herein shall manage and continuously maintain the 'landscape area', more particularly described on Exhibit 'L' and Exhibit 'A' attached hereto.

The Maintenance Operator shall have the right to assess the owners of each individual parcel for the reasonable cost of maintaining such 'landscape area', and shall have the right to lien the property of any such owner who defaults in the payment of a maintenance assessment. An assessment lien, once created, shall be prior to all other liens recorded subsequent to the notice of assessment or other document creating the assessment lien.

This Declaration shall not be terminated, 'substantially' amended, or property deannexed therefrom absent the prior written consent of the Planning Director of the County of Riverside or the County's successor-in-interest. A proposed amendment shall be considered 'substantial' if it affects the extent, usage or maintenance of the 'common area' or any reciprocal easement established pursuant to the Declaration."

Once approved by the Office of County Counsel, the declaration of covenants, conditions and restrictions shall be recorded by the Planning Department with one copy retained for the case file, and one copy provided to the County Transportation Department - Survey Division.

80.PLANNING. 42 USE - FEE BALANCE

RECOMMND

Prior to issuance of building permits, the Planning Department shall determine if the deposit based fees for project are in a negative balance. If so, any outstanding fees shall be paid by the applicant/developer.

03/12/09
11:44

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 39

PLOT PLAN:TRANSMITTED Case #: PP20711

Parcel: 317-240-035

80. PRIOR TO BLDG PRMT ISSUANCE

80.PLANNING. 43 USE - PARKING/LNDSCPNG PLAN

RECOMMND

rior to issuance of building permits, seven (7) copies of a Shading, Parking, Landscaping, and Irrigation Plan shall be submitted to and approved by the Planning Department. The location, number, genus, species, and container size of plants shall be shown. Plans shall meet all requirements of Ordinance No. 859 (as adopted and any amendments thereto), the Riverside County Guide to California Friendly Landscaping, and Ordinance No. 348, Sections 18.12, and 19.300 through 19.304 and as specified herein. The irrigation plan shall include a smart controller capable of adjusting watering schedule based on weather data. In addition, the plan will incorporate the use of in-line check valves, or sprinkler heads containing check valves to prohibit low head drainage.

80.PLANNING. 44 USE - LANDSCAPING SECURITIES

RECOMMND

Performance securities, in amounts to be determined by the Director of Building and Safety to guarantee the installation of plantings, irrigation system, walls and/or fences, in accordance with the approved plan, shall be filed with the Department of Building and Safety. Securities may require review by County Counsel and other staff. Permit holder is encouraged to allow adequate time to ensure that securities are in place. The performance security may be released one year after structural final, inspection report, and the One-Year Post Establishment report confirms that the planting and irrigation components have been adequately installed and maintained. A cash security shall be required when the estimated cost is \$2,500.00 or less.

TRANS DEPARTMENT

80.TRANS. 2 USE - TS/GEOMETRICS

RECOMMND

The intersection of Harvill Avenue (NS) at Project Access-North (EW) shall be improved to provide the following geometrics:

Northbound: One northbound through lane and one shared through/right-turn lane

Southbound: One left-turn lane and two through lanes

Eastbound: N/A

PLOT PLAN:TRANSMITTED Case #: PP20711

Parcel: 317-240-035

80. PRIOR TO BLDG PRMT ISSUANCE

80.TRANS. 2 USE - TS/GEOMETRICS (cont.)

RECOMMND

Westbound: One shared right/left turn lane

The intersection of Harvill Avenue (NS) at Project Access-South (EW) shall be improved to provide the following geometrics:

Northbound: One northbound through lane and one shared through/right-turn lane

Southbound: One left-turn lane and two through lanes

Eastbound: N/A

Westbound: One shared right/left-turn lane

or as approved by the Transportation Department.

Any off-site widening required to provide these geometrics shall be the responsibility of the landowner/developer.

80.TRANS. 6 USE - R-O-W DEDICATION 1

RECOMMND

Sufficient public street right-of-way along Placentia. Street shall be conveyed for public use to provide for a 64 foot half width right-of-way.

80.TRANS. 7 USE-MID-CNTY PKWY/I-215 EASEMT

RECOMMND

An additional transportation easement shall be dedicated to the County to accommodate the alignment of the Mid-County Parkway and I-215 interchange. The easement shall be the southeastern portion of the property and the footprint of the proposed building "B" shall be designed and constructed outside of said easement. This easement may be used for additional parking and/or landscaping until it is needed for the transportation improvements as determined by the Transportation Department. No permanent construction or drainage facilities such as retention/detention basins shall be allowed within this easement area for the Mid-County Parkway/I-215. The boundaries of this easement shall be as approved by the Transportation Department.

PLOT PLAN:TRANSMITTED Case #: PP20711

Parcel: 317-240-035

80. PRIOR TO BLDG PRMT ISSUANCE

80.TRANS. 8 USE - LANDSCAPING

RECOMMND

Landscaping within public road rights-of-way shall comply with Transportation Department standards and require approval by the Transportation Department.

Assurance of continuing maintenance is required by filing an application for annexation into a County Service Area, Landscaping and Lighting Maintenance District NO. 89-1-Consolidated and/or Assessment District or enter into a continuous landscape maintenance agreement as approved by the Transportation Department.

80.TRANS. 9 USE - STREETLIGHTS - L&LMD

RECOMMND

The project proponent shall submit to the Transportation Department L&LMD No. 89-1-C Administrator the following:

1. Completed Transportation Department application
2. (2)Sets of street lighting plans approved by Transportation Department.
3. Appropriate fees for annexation.
4. "Streetlight Authorization" form from SCE, IID or other electric provider.

80.TRANS. 15 USE - MAP CORNER CUT-BACK I

RECOMMND

All corner cutbacks shall be applied per Standard 805, Ordinance 461, except for corners at Entry streets intersecting with General Plan roads, they shall be applied per Exhibit ' C' of the Countywide Design Guidelines.

80.TRANS. 23 USE - STREETLIGHT PLAN 1

RECOMMND

A separate street light plan is required for this project.

Street lighting shall be designed in accordance with County Ordinance 460 and Streetlight Specification Chart found in Specification Section 22 of Ordinance 461. For projects within SCE boundaries use County of Riverside Ordinance 461, Standard No's 1000 or 1001. For projects within Imperial Irrigation District (IID) use IID's pole standard.

PLOT PLAN:TRANSMITTED Case #: PP20711

Parcel: 317-240-035

80. PRIOR TO BLDG PRMT ISSUANCE

80.TRANS. 24 USE - UTILITY INSTALL

RECOMMND

Electrical power, telephone, communication, street lighting, and cable television lines shall be placed underground in accordance with Ordinance 460 and 461, or as approved by the Transportation Department. This also applies to existing overhead lines which are 33.6 kilovolts or below along the project frontage and between the nearest poles offsite in each direction of the project site.

A certificate should be obtained from the pertinent utility company and submitted to the Department of Transportation as proof of completion.

NOTE: 90.TRANS.15 USE-UTILITY INSTALL MOVED TO 80.TRANS.24

80.TRANS. 25 USE - VACATION/RE-DESIGN 1

RECOMMND

The project proponent, by his/her design, is requesting a vacation of the existing dedicated rights-of-way along Walnut Street, east of Harvill Avenue. The project proponent shall apply under separate application with the County Surveyor for a conditional vacation of Walnut Street, and receive a Board of Supervisors decision. Should the Board of Supervisors fail to approve said vacation request, the project proponent shall re-design the project, utilizing the existing rights-of-way.

NOTE: Moved from 90.TRANS.16.

90. PRIOR TO BLDG FINAL INSPECTION

BS GRADE DEPARTMENT

90.BS GRADE. 1 USE*G4.3PAVING INSPECTIONS

RECOMMND

The developer/applicant shall be responsible for obtaining the paving inspections required by Ordinance 457.

E HEALTH DEPARTMENT

90.E HEALTH. 1 USE - HAZMAT BUS PLAN

RECOMMND

The facility will require a business emergency plan for the storage of hazardous materials greater than 55 gallons, 200 cubic feet or 500 pounds, or any acutely hazardous materials or extremely hazardous substances.

PLOT PLAN:TRANSMITTED Case #: PP20711

Parcel: 317-240-035

90. PRIOR TO BLDG FINAL INSPECTION

90.E HEALTH. 2 USE - HAZMAT REVIEW RECOMMND

If further review of the site indicates additional environmental health issues, the Hazardous Materials Management Division reserves the right to regulate the business in accordance with applicable County Ordinances.

90.E HEALTH. 3 USE - HAZMAT CONTACT RECOMMND

Contact a Hazardous Materials Specialist, Hazardous Materials Management Division, at (951) 358-5055 for any additional requirements.

90.E HEALTH. 4 USE - HAZMAT TANKS RECOMMND

Construction plans must be reviewed and approved by the Hazardous Materials Division prior to the installation of the underground storage tank (UST) system. There is a construction fee based on the number of UST's installed. Permits from the Hazardous Materials Division must be obtained for the operation of the UST's prior to occupancy.

FIRE DEPARTMENT

90.FIRE. 1 USE-#45-FIRE LANES RECOMMND

The applicant shall prepare and submit to the Fire Department for approval, a site plan designating required fire lanes with appropriate lane painting and/or signs.

90.FIRE. 2 USE-#12A-SPRINKLER SYSTEM RECOMMND

Install a complete fire sprinkler system per NFPA 13 2002 edition in all buildings requiring a fire flow of 1500 GPM or greater. Sprinkler system(s) with pipe sizes in excess of 4" in diameter will require the project structural engineer to certify (wet signature) the stability of the building system for seismic and gravity loads to support the sprinkler system. All fire sprinkler risers shall be protected from any physical damage. The post indicator valve and fire department connection shall be located to the front, within 50 feet of a hydrant, and a minimum of 25 feet from the building(s). A statement that the building(s) will be automatically fire sprinkled must be included on the title page of the building plans.

Applicant or developer shall be responsible to install a

03/12/09
11:44

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 44

PLOT PLAN:TRANSMITTED Case #: PP20711

Parcel: 317-240-035

90. PRIOR TO BLDG FINAL INSPECTION

90.FIRE. 2 USE-#12A-SPRINKLER SYSTEM (cont.) RECOMMND

U.L. Central Station Monitored Fire Alarm System. Monitoring system shall monitor the fire sprinkler system(s) water flow, P.I.V.'s and all control valves. Plans must be submitted to the Fire Department for approval prior to installation. Contact fire department for guideline handout

90.FIRE. 3 USE-#27-EXTINGUISHERS RECOMMND

Install portable fire extinguishers with a minimum rating of 2A-10BC and signage. Fire Extinguishers located in public areas shall be in recessed cabinets mounted 48" (inches) to center above floor level with maximum 4" projection from the wall. Contact Fire Department for proper placement of equipment prior to installation.

FLOOD RI DEPARTMENT

90.FLOOD RI. 2 USE BMP - EDUCATION RECOMMND

The developer shall distribute environmental awareness education materials on general good housekeeping practices that contribute to protection of stormwater quality to all initial users. The developer may obtain NPDES Public Educational Program materials from the District's NPDES Section by either the District's website www.floodcontrol.co.riverside.ca.us, e-mail fcnpdes@co.riverside.ca.us, or the toll free number 1-800-506-2555. Please provide Project number, number of units and location of development. Note that there is a five-day minimum processing period requested for all orders.

The developer must provide to the District's PLAN CHECK Department a notarized affidavit stating that the distribution of educational materials to the tenants is assured prior to the issuance of occupancy permits.

90.FLOOD RI. 3 USE IMPLEMENT WQMP RECOMMND

All structural BMPs described in the project-specific WQMP shall be constructed and installed in conformance with approved plans and specifications. It shall be demonstrated that the applicant is prepared to implement all non-structural BMPs described in the approved project specific WQMP and that copies of the approved

PLOT PLAN:TRANSMITTED Case #: PP20711

Parcel: 317-240-035

90. PRIOR TO BLDG FINAL INSPECTION

90.FLOOD RI. 3 USE IMPLEMENT WQMP (cont.) RECOMMND

project-specific WQMP are available for the future owners/occupants. The District will not release occupancy permits for any portion of the project exceeding 80% of the project area prior to the completion of these tasks.

90.FLOOD RI. 5 USE FACILITY COMPLETION RECOMMND

The District will not release occupancy permits for any commercial lot within the map prior to the District's acceptance of the drainage system for operation and maintenance.

90.FLOOD RI. 6 USE BMP MAINTENANCE & INSPECT RECOMMND

The BMP maintenance plan shall contain provisions for all treatment controlled BMPs to be inspected, and if required, cleaned no later than October 15 each year. Required documentation shall identify the entity that will inspect and maintain all structural BMPs within the project boundaries. A copy of all necessary documentation shall be submitted to the District for review and approval prior to the issuance of occupancy permits.

PLANNING DEPARTMENT

90.PLANNING. 1 USE- MITIGATION MONITORING RECOMMND

The permit holder shall prepare and submit a written report to the Riverside County Planning Department demonstrating compliance with all remaining conditions of approval and mitigation measures of this permit and E.I.R No. 497. The Planning Director may require inspection or other monitoring to ensure such compliance.

90.PLANNING. 2 USE- HEIGHT LIMITATIONS RECOMMND

All buildings and structures within this permit shall not exceed 50 feet in height, except as provided by Section No. 18.20 of Ordinance No. 348. All buildings and structures shall comply with approved construction plans that are designed in accordance with this condition. The permit holder may be required to submit to the Planning Department a written certification from a state licensed professional that all buildings and structures within this permit comply with the height regulations, indicated above. The Planning Department may require inspection by county staff to

PLOT PLAN:TRANSMITTED Case #: PP20711

Parcel: 317-240-035

90. PRIOR TO BLDG FINAL INSPECTION

90.PLANNING. 2 USE- HEIGHT LIMITATIONS (cont.) RECOMMND

further verify compliance with this condition of approval.

90.PLANNING. 4 USE - COLOR/FINISH COMPLIANCE RECOMMND

The permittee shall properly install approved color and finish products in substantial conformance with Exhibit M.

90.PLANNING. 5 USE - COMPLY W/ ACOUSTIC STUDY RECOMMND

The permit holder shall construct and design the project in compliance with the recommendations of an approved acoustical study, as reviewed and, as the case may be, modified by the department of Environmental Health, Office of Industrial Hygiene and approved by the Planning Department.

The permit holder may be required to submit to the Planning Department a written certification from a state licensed professional that the project was constructed in compliance with the recommendations of the approved acoustical study.

The Planning Department may require further inspection by county staff to assure project compliance with this condition of approval.

90.PLANNING. 6 USE- PARKING PAVING MATERIAL RECOMMND

A minimum of five hundred and thirty eight (538) parking spaces shall be provided as shown on the APPROVED EXHIBIT A, unless otherwise approved by the Planning Department. The parking area shall be surfaced with asphaltic concrete or concrete to current standards as approved by the Department of Building and Safety.

90.PLANNING. 7 USE- ACCESSIBLE PARKING RECOMMND

A minimum of nine (9) accessible parking space[s] for persons with disabilities shall be provided as shown on APPROVED EXHIBIT A. Each parking space reserved for persons with disabilities shall be identified by a permanently affixed reflectorized sign constructed of porcelain on steel, beaded text or equal, displaying the International Symbol of Accessibility. The sign shall not be smaller than 70 square inches in area and shall be centered at the interior end of the parking space at a minimum height of 80 inches from the bottom of the sign to the parking space finished grade, or centered at a minimum height of 36 inches from the parking space finished grade,

PLOT PLAN:TRANSMITTED Case #: PP20711

Parcel: 317-240-035

90. PRIOR TO BLDG FINAL INSPECTION

90.PLANNING. 7 USE- ACCESSIBLE PARKING (cont.) RECOMMND

ground, or sidewalk. A sign shall also be posted in a conspicuous place, at each entrance to the off-street parking facility, not less than 17 inches by 22 inches, clearly and conspicuously stating the following:

"Unauthorized vehicles not displaying distinguishing placards or license plates issued for physically handicapped persons may be towed away at owner's expense."

In addition to the above requirements, the surface of each parking space shall have a surface identification sign duplicating the symbol of accessibility in blue paint of at least 3 square feet in size.

90.PLANNING. 9 USE- LOADING SPACES RECOMMND

A minimum of eight (8) loading space[s] shall be provided in accordance with Section 18.12.a.(2)f(3).b. of Ordinance 348, and as shown on APPROVED EXHIBIT A. The loading spaces shall be surfaced with six (6) inches of concrete over a suitable base and shall not be less than 10 feet wide by 35 feet long, with 14 feet vertical clearance.

90.PLANNING. 11 USE - LIGHTING PLAN COMPLY RECOMMND

All street lights and other outdoor lighting shall be shown on electrical plans submitted to the Department of Building and Safety for plan check approval and shall comply with the requirements of Riverside County Ordinance No. 655 and the Riverside County Comprehensive General Plan.

90.PLANNING. 12 USE - ROOF EQUIPMENT SHIELDING RECOMMND

Roof-mounted equipment shall be shielded from ground view. Screening material shall be subject to Planning Department approval.

90.PLANNING. 14 USE- INSTALL BIKE RACKS RECOMMND

A bicycle rack with a minimum of seven (7) spaces shall be provided in convenient locations to facilitate bicycle access to the project area as shown on APPROVED EXHIBIT A. The bicycle racks shall be shown on project landscaping and improvement plans submitted for Planning Department approval, and shall be installed in accordance with those

PLOT PLAN:TRANSMITTED Case #: PP20711

Parcel: 317-240-035

90. PRIOR TO BLDG FINAL INSPECTION

90.PLANNING. 14 USE- INSTALL BIKE RACKS (cont.) RECOMMND
plans.]

90.PLANNING. 15 USE - UTILITIES UNDERGROUND RECOMMND

All utilities, except electrical lines rated 33 kV or greater, shall be installed underground. If the permittee provides to the Department of Building and Safety and the Planning Department a definitive statement from the utility provider refusing to allow underground installation of the utilities they provide, this condition shall be null and void with respect to that utility.

90.PLANNING. 17 USE - CURBS ALONG PLANTERS RECOMMND

A six inch high curb with a twelve (12) inch wide walkway shall be constructed along planters on end stalls adjacent to automobile parking areas. Public parking areas shall be designed with permanent curb, bumper, or wheel stop or similar device so that a parked vehicle does not overhang required sidewalks, planters, or landscaped areas.

90.PLANNING. 20 USE- TRASH ENCLOSURES RECOMMND

Trash enclosure[s] shall be located as shown on the APPROVED EXHIBIT A, and shall be constructed prior to the issuance of occupancy permits. The enclosure(s) shall be a minimum of six (6) feet in height and shall be made with masonry block, landscaping screening, a solid gate which screens the bins from external view and shall be architecturally consistent with the primary structures. Additional enclosed area for collection of recyclable materials shall be located within, near or adjacent to each trash and rubbish disposal area. The recycling collection area shall be a minimum of fifty percent (50%) of the area provided for the trash/rubbish enclosure(s) or as approved by the Riverside County Waste Management Department. All recycling bins shall be labeled with the universal recycling symbol and with signage indicating to the users the type of material to be deposited in each bin.

90.PLANNING. 22 USE - COMPLY W/ LANDSCAPE PLAN RECOMMND

All required landscape planting and irrigation shall have been installed in accordance with approved Landscaping, Irrigation, and Shading Plans and be in a condition

PLOT PLAN:TRANSMITTED Case #: PP20711

Parcel: 317-240-035

90. PRIOR TO BLDG FINAL INSPECTION

90.PLANNING. 22 USE - COMPLY W/ LANDSCAPE PLAN (cont.) RECOMMND

acceptable to The and Mangement Agency - Land Use Division. The plants shall be healthy and free of weeds, disease or pests. The irrigation system shall be properly constructed and determined to be in good working order.

90.PLANNING. 23 USE - CERTIFY LANDSCAPE COMPLY RECOMMND

The permit holder's landscape architect or other state licensed party responsible for preparing landscaping and irrigation plans shall provide a Compliance Letter to the Planning Department and the Department of Building and Safety stating that the landscape and irrigation system has been installed in compliance with the approved landscaping and irrigation plans. The Compliance letter shall be submitted at least thre (3) working days prior to final inspection of the structure or issuance of occupancy permit, whichever occurs first.

90.PLANNING. 26 USE- WALL & FENCE LOCATIONS RECOMMND

Wall and/or fence locations shall be in conformance with EXHIBIT A.

90.PLANNING. 28 USE - CONDITION COMPLIANCE RECOMMND

The Department of Building and Safety shall verify that the Development Standards of this approval and all other preceding conditions have been complied with prior to any use allowed by this permit.

90.PLANNING. 32 USE- SKR FEE CONDITION RECOMMND

rior to the issuance of a certificate of occupancy, or upon building permit final inspection, whichever comes first, the applicant shall comply with the provisions of Riverside County Ordinance No. 663, which generally requires the payment of the appropriate fee set forth in that ordinance.

The amount of the fee required to be paid may vary, depending upon a variety of factors, including the type of development application submitted and the applicability of any fee reduction or exemption provisions contained in Riverside County Ordinance No. 663. Said fee shall be calculated on the approved development project which is anticipated to be 19.8 acres (gross) in accordance with APPROVED EXHIBIT A. If the development is subsequently

PLOT PLAN:TRANSMITTED Case #: PP20711

Parcel: 317-240-035

90. PRIOR TO BLDG FINAL INSPECTION

90.PLANNING. 32 USE- SKR FEE CONDITION (cont.)

RECOMMND

revised, this acreage amount may be modified in order to reflect the revised development project acreage amount. In the event Riverside County Ordinance No. 663 is rescinded, this condition will no longer be applicable. However, should Riverside County Ordinance No. 663 be rescinded and superseded by a subsequent mitigation fee ordinance, payment of the appropriate fee set forth in that ordinance shall be required.

90.PLANNING. 33 USE- ORD 810 O S FEE (2)

RECOMMND

Prior to the issuance of a certificate of occupancy, or upon building permit final inspection prior to use or occupancy for cases without final inspection or certificate of occupancy (such as an SMP)], whichever comes first, the applicant shall comply with the provisions of Riverside County Ordinance No. 810, which requires the payment of the appropriate fee set forth in the Ordinance. The amount of the fee will be based on the "Project Area" as defined in the Ordinance and the aforementioned Condition of Approval. The Project Area for Plot Plan No. 20711 is calculated to be 19.44 net acres. In the event Riverside County Ordinance No. 810 is rescinded, this condition will no longer be applicable. However, should Riverside County Ordinance No. 810 be rescinded and superseded by a subsequent mitigation fee ordinance, payment of the appropriate fee set forth in that ordinance shall be required.

90.PLANNING. 34 USE - COMPLY W/ LNDSCP/IRR PLN

RECOMMND

All required landscape planting and irrigation shall have been installed in accordance with approved Landscaping, Irrigation, and Shading Plans, Ordinance No. 859 (as adopted and any amendments thereto), and the Riverside County Guide to California Landscaping. All landscape and irrigation components shall be in a condition acceptable to the Planning Department through the implementation of the Department's Milestone 90 condition entitled "USE - LNDSCP/IRRIG INSTALL INS." The plants shall be healthy and free of weeds, disease or pests. The irrigation system shall be properly constructed and determined to be in good working order.

PLOT PLAN:TRANSMITTED Case #: PP20711

Parcel: 317-240-035

90. PRIOR TO BLDG FINAL INSPECTION

90.PLANNING. 35 USE - LNDSCP/IRRIG INSTALL

RECOMMND

The permit holder's landscape architect responsible for preparing the Landscaping and Irrigation Plans shall arrange for an Installation Inspection with the Planning Department at least fifteen (15) working days prior to final inspection of the structure or issuance of occupancy permit, whichever occurs first. Upon successful completion of the Installation Inspection and compliance with the Planning Department's Milestone 80 conditions entitled "USE-LANDSCAPING SECURITIES and LANDSCAPE INSPECTION DEPOSIT," both the County Planning Department's Landscape Inspector and the permit holder's landscape architect shall execute a Certificate of Completion that shall be submitted to the Planning Department and the Department of Building and Safety.

90.PLANNING. 36 USE- EXTENDED TRUCK IDLING

RECOMMND

Sign(s) stating that "EXTENDED IDLING TRUCK ENGINES IS NOT PERMITTED" shall be located at the entrance to the warehouse facility and at the truck parking area located near/at the entrances to the loading dock area.

The sign(s) at the entrance to facility shall not be less than twenty four inches square and will provide directions to truck parking spaces with electrical hookups.

The hookups will provide power for refrigerated trailers that need to be parked on-sight for more than 15 minutes.

TRANS DEPARTMENT

90.TRANS. 2 USE - IMP PLANS

RECOMMND

Improvement plans for the required improvements must be prepared and shall be based upon a design profile extending a minimum of 300 feet beyond the project boundaries at a grade and alignment as approved by the Riverside County Transportation Department. Completion of road improvements does not imply acceptance for maintenance by County.

90.TRANS. 6 USE - SIGNING & STRIPING

RECOMMND

A signing and striping plan is required for this project. The project proponent shall be responsible for any additional paving and/or striping removal caused by the striping plan. Traffic signing and striping shall be

PLOT PLAN:TRANSMITTED Case #: PP20711

Parcel: 317-240-035

90. PRIOR TO BLDG FINAL INSPECTION

90.TRANS. 6 USE - SIGNING & STRIPING (cont.) RECOMMND

performed by County forces with all incurred costs borne by the applicant, unless otherwise approved by the County Traffic Engineer.

90.TRANS. 10 USE STREETLIGHT AUTHORIZATION RECOMMND

Prior to OCCUPANCY, the project proponent shall submit to Transportation Department Permits the following:

1. "Streetlight Authorization" form approved by L&LMD No. 89-1-C Administrator.
2. Letter establishing interim energy account from SCE, IID or other electric provider.

90.TRANS. 11 USE - LANDSCAPING PLAN RECOMMND

The project proponent shall comply in accordance with landscaping requirements within public road rights-of-way, in accordance with Ordinance 461. Landscaping shall be improved within Harvill Avenue. Landscaping plans shall be submitted on standard County Plan sheet format (24" X 36"). Landscaping plans shall be submitted with the street improvement plans. If landscaping maintenance to be annexed to County Service Area, or Landscaping and Lighting Maintenance District, landscaping plans shall depict ONLY such landscaping, irrigation and related facilities as are to be placed within the public road rights-of-way.

90.TRANS. 12 USE - STREET LIGHTS INSTALL RECOMMND

Install streetlights along the streets associated with development in accordance with the approved street lighting plan and standards of County Ordinances 460 and 461. For projects within IID use IID's pole standard.

Street light annexation into L&LMD or similar mechanism as approved by the Transportation Department shall be completed.

It shall be the responsibility of the Developer to ensure that street lights are energized along the streets associated with this development where the developer is seeking Building Final Inspection (Occupancy).

PLOT PLAN:TRANSMITTED Case #: PP20711

Parcel: 317-240-035

90. PRIOR TO BLDG FINAL INSPECTION

90.TRANS. 13 USE- EXISTING CURB & GUTTER RECOMMND

On existing curb and gutter, new driveways per Standard 207A, sidewalks and/or drainage devices within County right-of-way, including sewer and water laterals on Harvill Avenue shall be constructed within the dedicated right-of-way in accordance with County Standards, Ordinance 461. Such construction shall be shown on existing street improvement plans and approved and permitted by the Transportation Department.

90.TRANS. 14 USE - UTILITY PLAN RECOMMND

Electrical power, telephone, communication, treet lighting, and cable television lines shall be designed to be placed underground in accordance with ordinance 460 and 461, or as approved by the Transportation Department. The applicant is responsible for coordinating the work with the serving utility company. This also applies to existing overhead lines which are 33.6 kilovolts or below along the project frontage and between the nearest poles offsite in each direction of the project site. A disposition note describing the above shall be reflected on design improvement plans whenever those plans are required. A written proof for initiating the design and/or application of the relocation issued by the utility company shall be submitted to the Transportation Department for verification purposes.

90.TRANS. 15 USE - UTILITY INSTALL RECOMMND

Electrical power, telephone, communication, street lighting, and cable television lines shall be placed underground in accordance with ordinance 460 and 461, or as approved by the Transportation Department. This also applies to existing overhead lines which are 33.6 kilovolts or below along the project frontage and between the nearest poles offsite in each direction of the project site.

A certificate should be obtained from the pertinent utility company and submitted to the Department of Transportation as proof of completion.

NOTE: 90.TRANS.15 USE-UTILITY INSTALL MOVED TO 80.TRANS.24

03/12/09
11:44

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 54

PLOT PLAN:TRANSMITTED Case #: PP20711

Parcel: 317-240-035

90. PRIOR TO BLDG FINAL INSPECTION

90.TRANS. 16 USE- VACATION/RE-DESIGN 1

RECOMMND

The project proponent, by his/her design, is requesting a vacation of the existing dedicated rights-of-way along Walnut Street, east of Harvill Avenue. The project proponent shall apply under separate application with the County Surveyor for a conditional vacation of Walnut Street, and receive a Board of Supervisors decision. Should the Board of Supervisors fail to approve said vacation request, the project proponent shall re-design the project, utilizing the existing rights-of-way.

NOTE: Moved to 80.TRANS.25.

90.TRANS. 17 USE - ST DESIGN/IMP CONCEPT

RECOMMND

The street design and improvement concept of this project shall be coordinated with PM34706.

100. PRIOR TO ISSUE GIVEN BLDG PRMT

PARKS DEPARTMENT

100.PARKS. 1 MAP - TRAIL CONSTRUCTION

RECOMMND

Prior to the issuance of building permits, the applicant shall build the trail as shown on the approved trails plan. The applicant shall arrange for an inspection of the constructed trail with the Regional Park and Open-Space District.

NOTICE OF COMPLETION & ENVIRONMENTAL TRANSMITTAL FORM

SCH#: 2006101095

Project Title: Change of Zone No. 7186, Tentative Parcel Map No. 34706, Plot Plan No. 20711
Lead Agency: County of Riverside Planning Dept. **Contact Person:** Josias Gonzales
Mailing Address: 4080 Lemon Street, 9th Floor PO Box 1409 **Phone:** 951-955-2217
City: Riverside **Zip:** 92502-1409 **County:** Riverside

Project Location

County: Riverside **City/Community:** Mead Valley
Cross Streets: Westerly of Interstate 215, northerly of Placentia Avenue easterly of Harvill Avenue **Zip Code:** 92570
Assessor's Parcel No(s): 317-240-008, -013, -015, -032, -035 **Section:** 13,18 **Twp:** 4 South **Range:** 3 & 4 **Base:** San Bernardino West
Latitude/Longitude: _____ " North/ _____ " West **Total Acres:** 20.0
Within 2 miles: **State Hwy#:** I-215 **Waterways:** _____
Airports: March Air Reserve Base **Railways:** BNSF **Schools:** _____

Document Type:

CEQA: NOP Draft EIR Early Cons Supplemental EIR Neg Dec Subsequent EIR Mit Neg Dec Other _____
NEPA: NOI EA Draft EIS FONSI
Other: Joint Document Final Document Other _____

Local Action Type:

General Plan Update Specific Plan Rezone Annexation
 General Plan Amendment Master Plan Prezone Redevelopment
 General Plan Element Planned Unit Development Use Permit Coastal Permit
 Community Plan Site Plan Land Division (Subdivision, etc.) Other _____

Development Type:

Residential: Units _____ Acres _____ Transportation: Type _____
 Office: Sq.Ft _____ Acres _____ Employees _____ Mining: Mineral _____
 Commercial: Sq.Ft _____ Acres _____ Employees _____ Power: Type _____ Watts _____
 Industrial: Sq.Ft 370,000 Acres _____ Employees _____ Waste Management: Type _____
 Educational: _____ Hazardous Waste: Type _____
 Recreational: _____ Other: _____
 Water Facilities: Type _____ MGD _____

Project Issues That May Have A Significant or Potentially Significant Impact

Aesthetic/Visual Flood Plain/Flooding Schools/Universities Water Quality
 Agricultural Land Forest Land/Fire Hazard Septic Systems Water Supply/Groundwater
 Air Quality Geologic/Seismic Sewer Capacity Wetland/Riparian
 Archaeology/Historical Minerals Soil Erosion/Compaction/Grading Growth Inducing
 Biological Resources Noise Solid Waste Land Use
 Coastal Zone Population/Housing Balance Toxic/Hazardous Cumulative Effects
 Drainage/Absorption Public Services/Facilities Traffic/Circulation Other: _____
 Economic/Jobs Recreation/Parks Vegetation
 Fiscal

Present Land Use/Zoning/General Plan Designation: Vacant Land/ Manufacturing Heavy/ Light Industrial

Project Description (use separate sheet if necessary):

The proposed project is the development of 370,000 square feet of light industrial buildings located in the County of Riverside on an approximately 20 acre parcel of land.

Reviewing Agencies Checklist
 (Recommend Clearinghouse distribution by checking appropriate boxes)

- | | |
|---|---|
| <input checked="" type="checkbox"/> Air Resources Board | <input type="checkbox"/> Office of Emergency Services |
| <input type="checkbox"/> Boating/Waterways, Dept. of Calif. Highway Patrol | <input checked="" type="checkbox"/> Office of Historic Preservation |
| <input checked="" type="checkbox"/> Caltrans District # 8 | <input checked="" type="checkbox"/> Parks & Recreation |
| <input checked="" type="checkbox"/> Caltrans Division of Aeronautics | <input type="checkbox"/> Pesticide Regulation, Department of |
| <input type="checkbox"/> Caltrans Planning | <input checked="" type="checkbox"/> Public Utilities Commission |
| <input type="checkbox"/> Coachella Valley Mountains Conservancy | <input type="checkbox"/> Reclamation Board |
| <input type="checkbox"/> Coastal Conservancy | <input checked="" type="checkbox"/> Regional WQCB # 8 |
| <input type="checkbox"/> Colorado River Board Commission | <input checked="" type="checkbox"/> Resources Agency |
| <input type="checkbox"/> Conservation, Department of | <input type="checkbox"/> S.F. Bay Conservation & Development Commission |
| <input type="checkbox"/> Corrections, Department of | <input type="checkbox"/> San Gabriel & Lower Los Angeles Rivers & Mountains Conservancy |
| <input type="checkbox"/> Delta Protection Commission | <input type="checkbox"/> San Joaquin River Conservancy |
| <input type="checkbox"/> Education, Dept. of Office of Public School Construction | <input type="checkbox"/> Santa Monica Mountains Conservancy |
| <input type="checkbox"/> Energy Commission | <input type="checkbox"/> State Lands Commission |
| <input checked="" type="checkbox"/> Fish & Game Region #6 | <input type="checkbox"/> SWRCB: Clean Water Grants |
| <input type="checkbox"/> Food & Agriculture, Department of | <input type="checkbox"/> SWRCB: Water Quality |
| <input type="checkbox"/> Forestry & Fire Protection | <input type="checkbox"/> SWRCB: Water Rights |
| <input type="checkbox"/> General Services, Department of | <input type="checkbox"/> Tahoe Regional Planning Agency |
| <input type="checkbox"/> Office of Historic Preservation | <input checked="" type="checkbox"/> Toxic Substances Control, Department of |
| <input type="checkbox"/> Health Services, Department of | <input checked="" type="checkbox"/> Water Resources, Department of |
| <input type="checkbox"/> Housing and Community Development | <input type="checkbox"/> Other: _____ |
| <input type="checkbox"/> Integrated Waste Management Board | <input type="checkbox"/> Other: _____ |
| <input checked="" type="checkbox"/> Native American Heritage Commission | |

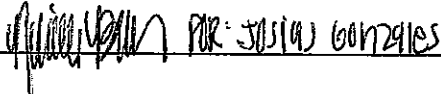
Public Review Period (to be filled in by lead agency)

Starting Date: 10/04/07

Ending Date: 11/19/2007

Lead Agency: Riverside County Planning Department
 Consulting Firm Golder & Associates
 Address: 4080 Lemon Street
 City/State/Zip: Riverside CA 9502
 Contact: Josias Gonzales
 Phone: 951-955-2217

Applicant Oakmont Industrial Group
 Address: 18201 Mc Dermott Street West, STE E
 City/State/Zip: Irvine, CA 91614
 Phone: 949-253-8080

Signature of the Lead Agency Representative  Date: 10-4-07

Envelopes to: State Clearinghouse, P.O. Box 3044, Sacramento, CA 95812-3044
Certified or Fed Ex packages to: State Clearinghouse, 1400 Tenth Street, Suite 222, Sacramento, CA 95814

Revised: 6/12/07
 Y:\Planning Master Forms\CEQA Forms\NOC Forms\NOC and Environmental Transmittal Form.doc

COMPREHENSIVE PROJECT REVIEW
(*INITIAL CASE ACCEPTANCE) COMMENT AGENDA
RIVERSIDE COUNTY PLANNING DEPARTMENT
9TH FLOOR, CAC - P.O. Box 1409
Riverside, CA 92502-1409

DATE: August 11, 2005

Transportation
Environmental Health
Flood Control District
Fire Department
Building & Safety (Grading)
Building & Safety
Regional Parks & Open Space
Geologist
EPD
Donna Duron
CSA # 152
EDA
Sheriff's Dept

Riv. Co. Waste
Supervisor Buster
Commissioner Roth
Riverside Transit Agency
City of Perris
Val Verde School Dist..
Eastern Municipal Water Dist.
So. Calif. Edison
So. Cal Gas
Caltrans #8
Caltrans Areonautics – David Cohen
EIC(Attachment "A")
Gretare Lake Mathews Area Association

CHANGE OF ZONE NO. 07186, PLOT PLAN NO. 20711 – EA No. 40256 – Applicant: Oakmont Perris Harvil Street LLC – Engineer/Rep.: Albert A. Webb Associates – First Supervisorial District – Mead Valley Area Plan – 19.80 gross acres – Located north of Placentia Avenue, south of Rider Street, east of Harvill Avenue, and west of Interstate 215 – Manufacturing-Heavy (M-H) Zone – REQUEST: Change of Zone No. 07186 is a proposal to alter the zone from M-H to Manufacturing-Service Commercial (M-SC). Plot Plan No. 20711 is a proposal to construct two manufacturing/distribution facilities (Building A – 227,000 SF and Building B – 127,000 SF), including landscape, parking, water quality and detention basins, on 19.80 acres. – Schedule N/A – APNs: 317-240-008, 317-240-013, 317-240-015, 317-240-032, 317-240-035 – Concurrent Cases: CZ07186, PP20711 – Related Cases: N/A – 1st transmittal.

Please review the case described above, along with the attached tentative map/exhibit **This case is scheduled for a CPR meeting on September 8, 2005** . **All County Agencies and Departments, please have draft conditions in the Land Management System by the above date.** If you cannot clear the exhibit, please have corrections in the system and DENY the routing. Once the route is complete, and the approval screen is approved with or without corrections, the case can be scheduled for a public hearing. All other agencies, please have your comments/conditions to the Planning Department as soon as possible. Your comments/recommendations/conditions are requested so that they may be incorporated in the staff report for this particular case.

Should you have any questions regarding this item, please do not hesitate to contact, **Kim Tran** , Project Planner, at **(909) 955-2217**.

COMMENTS:

DATE: SIGNATURE:
PLEASE PRINT NAME AND TITLE:
TELEPHONE:



AIRPORT LAND USE COMMISSION RIVERSIDE COUNTY

CHAIR December 17, 2007

Simon Housman
Rancho Mirage

Josias Gonzalez

VICE CHAIRMAN
Rod Ballance
Riverside

County of Riverside Planning Department
4080 Lemon Street, Ninth Floor
Riverside, CA 92501

COMMISSIONERS

MAIL STOP # 1070 (HAND DELIVERY)

Arthur Butler
Riverside

RE: AIRPORT LAND USE COMMISSION (ALUC) DEVELOPMENT REVIEW

Robin Lowe
Hemet

File No.: ZAP1044MA07

Related File No.: CZ07186 (Change of Zone), PP20711 (Plot Plan), EIR00497
(Environmental Impact Report)

John Lyon
Riverside

APN: 317-240-008; 317-240-013; 317-240-015; 317-240-032; 317-240-035.

Glen Holmes
Hemet

Dear Mr. Gonzalez:

Melanie Fesmire
Indio

On December 13, 2007, the Riverside County Airport Land Use Commission (ALUC) found the above-referenced project consistent with the 1984 Riverside County Airport Land Use Plan, as applied to the Airport Influence Area of March Air Force Base (now March Air Reserve Base/March Inland Port), with the plot plan finding subject to the following conditions:

STAFF

Director
Ed Cooper

CONDITIONS:

John Guerin
Cecilia Lara
Sophia Nolasco
Barbara Santos

1. Prior to recordation of a final map, issuance of building permits, or conveyance to an entity exempt from the Subdivision Map Act, whichever occurs first, the landowner shall convey an avigation easement to the MARB/MIP Airport. (Contact March Joint Powers Authority at (951) 656-7000 for additional information.)

2. Any outdoor lighting shall be hooded or shielded to assure that no lights are above the horizontal plane.

3. The following uses shall be prohibited:

a. Any use which would direct a steady light or flashing light of red, white, green or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.

b. Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.

County Administrative Center
4080 Lemon St., 9th Floor.
Riverside, CA 92501
(951) 955-5132

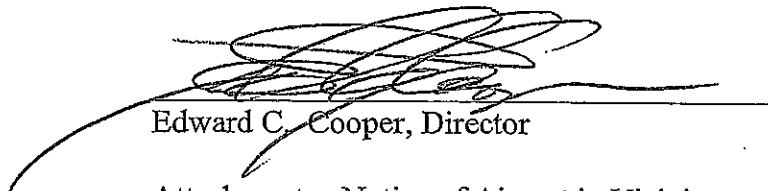
www.rcaluc.org

- c. Any use which would generate smoke or water vapor, or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area.
 - d. Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
4. The attached notice shall be given to all prospective buyers and/or tenants.

If you have any questions, please contact Cecilia Lara, Airport Land Use Commission staff planner, at (951) 955-0549.

Sincerely,

RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION



Edward C. Cooper, Director

Attachments: Notice of Airport in Vicinity

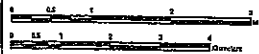
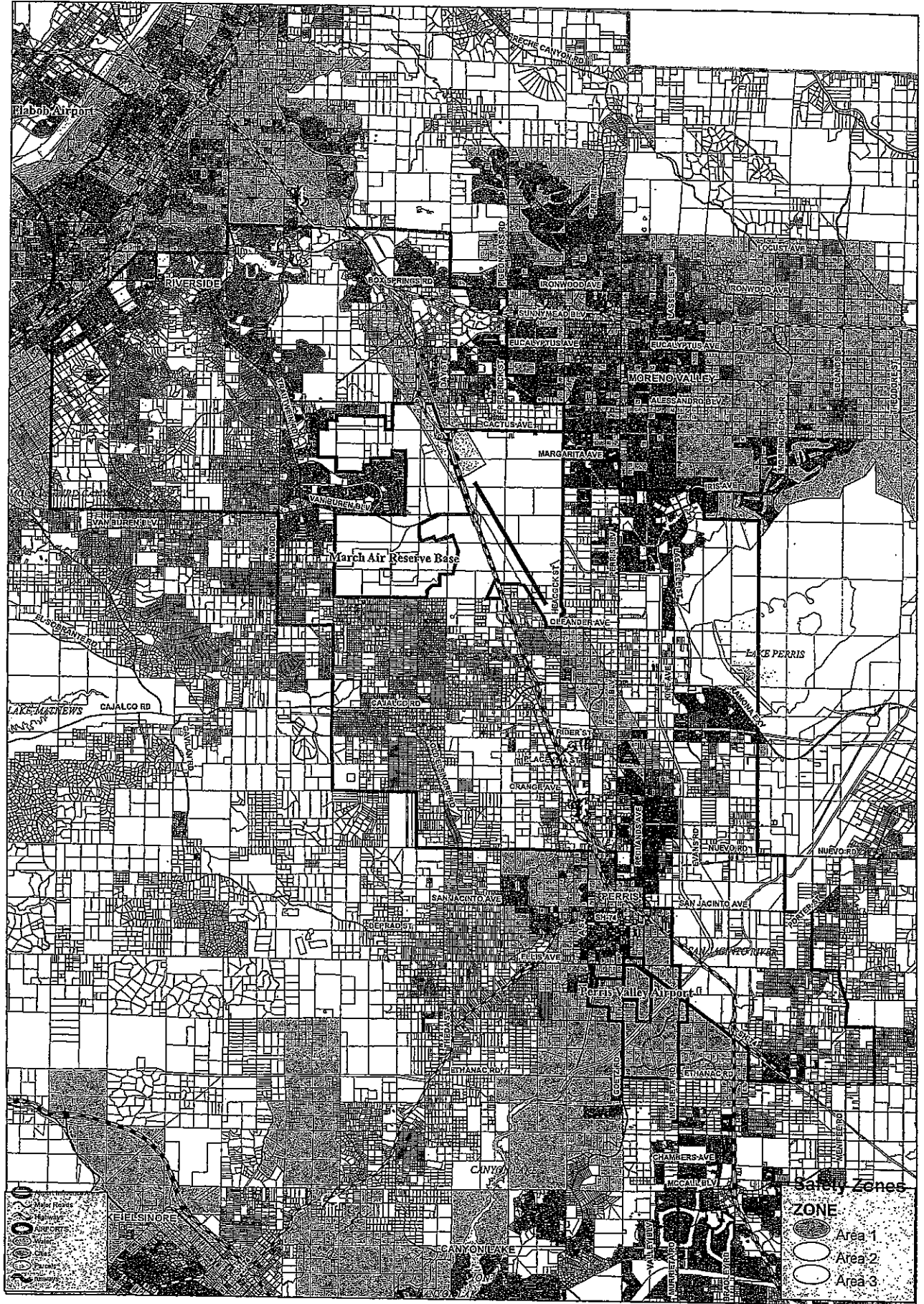
cc: ALUC Staff
Oakmont Industrial Group, LLC
Oakmont Perris Harvill Street (Atlanta)
Golder Associates, Inc. – Attn.: Kurt Schlyer
Dan Fairbanks -March JPA
Douglas Adams, U.S. Air Force Community Planner

NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances can vary from person to person. You may wish to consider what airport annoyances, if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Profession Code 11010 12(A)

Riverside County Airports

March Air Reserve Base



EASTERN INFORMATION CENTER

CALIFORNIA HISTORICAL RESOURCES INFORMATION SYSTEM

Department of Anthropology, University of California, Riverside, CA 92521-0418

(951) 827-5745 - Fax (951) 827-5409 - eickw@ucr.edu

Inyo, Mono, and Riverside Counties

September 12, 2005

TO: Kim Tran
Riverside County Planning Department, Riverside Office

RE: Cultural Resource Review
Case: PP-20711/CZ-7186—EA No. 40256

Records at the Eastern Information Center of the California Historical Resources Information System have been reviewed to determine if this project would adversely affect prehistoric or historic cultural resources:

- The proposed project area has not been surveyed for cultural resources and contains or is adjacent to known cultural resource(s). A Phase I study is recommended.
- Based upon existing data the proposed project area has the potential for containing cultural resources. A Phase I study is recommended.
- A Phase I cultural resource study (RI-) identified one or more cultural resources.
- The project area contains, or has the possibility of containing, cultural resources. However, due to the nature of the project or prior data recovery studies, an adverse effect on cultural resources is not anticipated. Further study is not recommended.
- A Phase I cultural resource study (RI-) identified no cultural resources. Further study is not recommended.
- There is a low probability of cultural resources. Further study is not recommended.
- If, during construction, cultural resources are encountered, work should be halted or diverted in the immediate area while a qualified archaeologist evaluates the finds and makes recommendations.
- Due to the archaeological sensitivity of the area, earthmoving during construction should be monitored by a professional archaeologist.
- The submission of a cultural resource management report is recommended following guidelines for Archaeological Resource Management Reports prepared by the California Office of Historic Preservation, *Preservation Planning Bulletin 4(a)*, December 1989.
 - Phase I Records search and field survey
 - Phase II Testing [Evaluate resource significance; propose mitigation measures for "significant" sites.]
 - Phase III Mitigation [Data recovery by excavation, preservation in place, or a combination of the two.]
 - Phase IV Monitor earthmoving activities

COMMENTS:

If you have any questions, please contact us.

Eastern Information Center



Riverside Transit Agency
1825 Third Street
P.O. Box 59968
Riverside, CA 92517-1968
Phone: (951) 565-5000
Fax: (951) 565-5001

September 12, 2005

Kim Tran, Project Planner
County of Riverside Planning Department
PO Box 1409
Riverside CA 92502-1409

**SUBJECT: Plot Plan 20711 for Oakmont Industrial Group
Riverside Transit Agency (RTA) Comments**

Thank you for the opportunity to review the Plot Plan, #20711 for the Oakmont Group's, 359,000 sq ft industrial development in the Mead Valley - Perris area, located near the intersection of Harvill Av and Placentia St. A copy of the RTA internal staff review memo regarding the project is attached for your information. *Although RTA's comments will arrive a week or so late after the deadline, the agency is hopeful that you will still have an opportunity to incorporate our recommendations in your reports.*

In the future, RTA would like to run local bus lines along this portion of Harvill Av, an arterial street serving a growing industrial area. The northbound buses will need to stop just north of the intersection with Placentia. This transit would connect directly from the proposed Metrolink station in Downtown Perris. To encourage and enhance future transit opportunities in this vicinity, RTA respectfully requests the plot plat be revised to include the recommended bus stop and bus turnout be placed at the following location:

- Install a paved, lighted and ADA-compliant bus turnout, with widened sidewalk space for related amenities along northbound (east side of) Harvill Av, north of the intersection with Placentia St and placed adjacent to the frontage of proposed "Building B";

RTA would be glad to work with the applicants' engineer if there are any questions. Thank you for considering this request.

If you need additional clarification or I can be of further assistance, please call me at (951) 565-5164 or contact me at mmccoy@riversidetransit.com.

Sincerely,

A handwritten signature in black ink that reads "Michael McCoy". The signature is written in a cursive, flowing style.

Michael McCoy
Senior Planner



September 12, 2005

PLANNING DEPARTMENT MEMO

DEVELOPMENT REVIEW

To: Augustus Ajawara, Director of Planning

From: Michael McCoy, Senior Planner *Mike*

Subject: County of Riverside, Plot Plan #20711 for 359,000 sq ft of industrial bldgs near Mead Valley & Perris, E of Harvill Av & N of Placentia St, just W of Interstate 215;
-- RTA Comments
Bus routes: None at present, but future bus service is likely along Harvill

Summary: Oakmont Industrial Group is proposing Plot Plan 20711 and related planning cases for 2 industrial buildings, totaling 359,000 sq ft, on 20 once-farmed acres situated east of Harvill Av and north of Placentia St in Mead Valley, near Perris. The plot plan suggests the buildings will be used mostly as a distribution center. 533 parking spaces are indicated on the site plan.

The nearest existing bus services, RTA routes #19 and #30, are 1½ mile distant at the intersection of Placentia and Perris Blvd, across Interstate 215. Route 41 is also about 1½ mile distant at the intersection of Harvill and Cajalco Expwy. RTA expects to establish transit in the future along arterial streets designated either by the County or the City of Perris, such as Harvill Av. Bus stops and turnouts would logically be site along northbound Harvill at signalized intersections, such as just north of its intersection with Placentia St.

This Harvill frontage now features curb and gutter but no sidewalk or landscaping. Any bus stop with a turnout would require demolition of about 150 feet of curb and gutter. RTA believes the demolition is warranted to place important future transit infrastructure.

To improve future accessibility to the bus, RTA staff will request transit amenities for the future service. A revised plot plan should indicate the requested turnout. RTA will request the County require installation of a bus stop and bus turnout with space for amenities at the following location:

- Northbound Harvill Ave, just north of the intersection with Placentia St. The turnout should be a minimum 150 ft long; including tapers, and be placed adjacent to proposed Building "B". There is sufficient easement shown to allow the turnout;
- The sidewalk near the bus turnout should be a minimum 6 feet wide to accommodate possible future placement by others of a bus passenger bench and shelter.

RTA staff will send the County TLMA a letter advising of this request and recommending the turnout be installed. Even though RTA staff was a week or so late in providing comments, the agency is hopeful the County will still be able to incorporate the request into the revised documents.

INITIAL REVIEW INFORMATION -

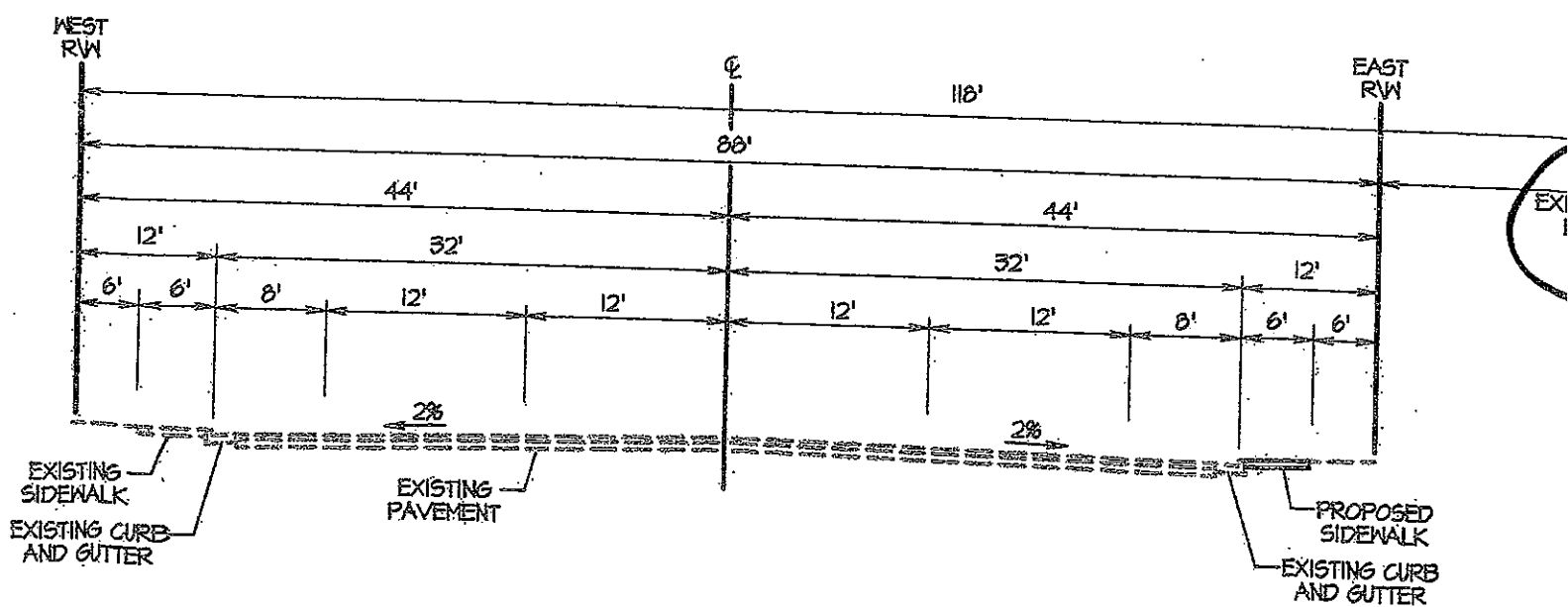
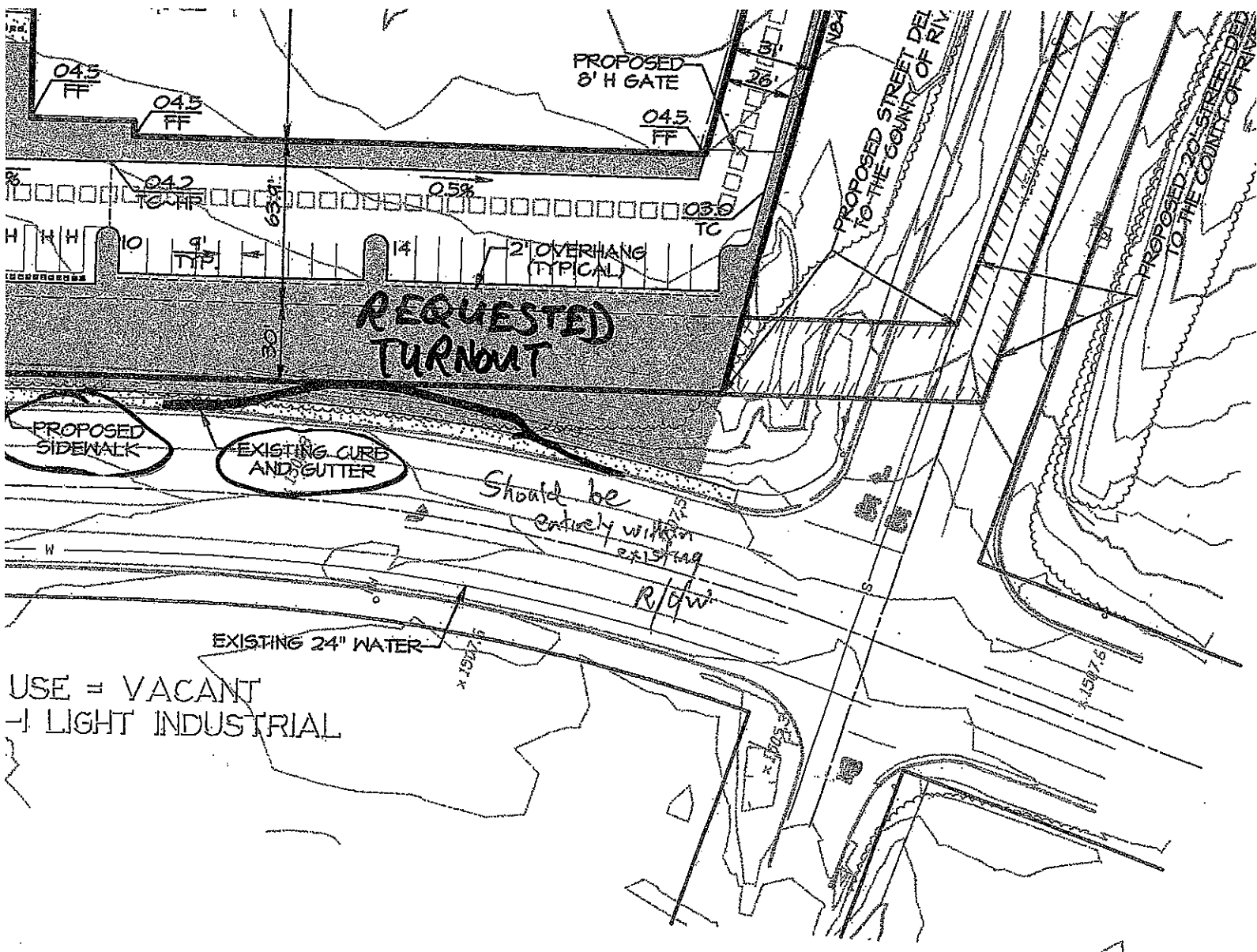
Review completed date: September 12, 2005.
Documents received at RTA: August 16, 2005;
Reply-by Date to Planning: September 8, 2005;
County Planning Commission hearing Date: unknown;
City Council or Board of Supervisors Agenda Date: Unknown or N/A;
Thomas Guide Map page and grid: 777,E-4;
Case Numbers: Plot Plan 20711, Zone Change 07186; Environ Assessment 40256
Case Planner: Kim Tran (951) 955-2217;
Applicant: Oakmont Industrial Group of Irvine CA

RTA PLANNING FOLLOW-UP:

- Standard "Acceptable" letter to jurisdiction without comments
- Letter with comments advising project modifications re transit issues
- Verbal conversation with Case Planner and appropriate letter follow-up

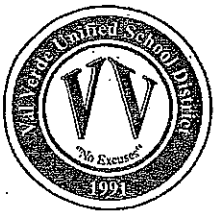
Letter sent: Date: 9/12/05

SECOND REVIEW: Review materials placed in archive files: Date: _____



TYPICAL STREET SECTION HARVILL AVE.

SECONDARY HIGHWAY PER RIV. CO. STD. NO. 102



"No Excuses"

Val Verde Unified School District

975 W. Morgan Street Perris, CA 92571 951-940-6100

August 22, 2005

C. Fred Workman, Ed.D.
Superintendent

Kim Tran
COUNTY OF RIVERSIDE, Planning Department
9th Floor, CAC - P.O. Box 1409
Riverside, CA 92502-1409

David Marshall
Assistant Superintendent
Education Services &
Human Resources

Susan Balt, Ph.D.
Director, Special Education

Carroll Brown, Ed.D.
Director, Accountability

Robert Nichols
Director, Education Services

Patricia Ralphs
Administrator,
Human Resources

Norman Towels, Ph.D.
Assistant Superintendent
Student Services

Mike Boyd
Assistant Superintendent
Business Services

Bill Angel
Director, Business Services

David Bazan
Director,
Information Technology

Michael Bazan
Director, Safety Services

Todd Butcher
Director,
Maintenance & Operations

Sandee Hackett
Director, Facilities

Robert Quanstrom
Director, Food Services

Re: Project Description: Change of Zone, Plot Plan No. 20711
Location: N of Placentia; S of Rider, E of Harvill, W of 215
Applicant: Oakmont Perris Harvil
APN: 317 240 008, 013, 015, 032, 035

Dear Mr. Tran:

We have reviewed the above referenced project. The Val Verde Unified School District would like to make the following comments and/or recommendations:

1. The District recommends that all environmental health agencies within your jurisdiction take into consideration the health, safety and welfare of the students of the Val Verde Unified School District.
2. The District recommends that it be apprised of any traffic flow changes that might affect the health, safety and welfare of the students of the Val Verde Unified School District as well as the Val Verde District Office staff.
3. Val Verde Unified School District has adopted State statutory industrial/commercial fees. Companies within your jurisdiction will need to satisfy the appropriate fees prior to issuance of building permits.

We appreciate your requesting our input concerning this project. Should you have any questions or concerning regarding the District's recommendations, please don't hesitate to contact me at (951) 940-6107.

Sincerely,

Sandee Hackett
Director, Facilities

SH/gjc

BOARD OF EDUCATION:

Liza Fisher

Stacey L. Guzman

Marla D. Kirkland

Jo Ann S. McAnlis

D. Shelly Yarbrough

cc: C. Fred Workman, Superintendent
Michael Boyd, Assistant Superintendent, Business Services

From: "Brad Eckhardt" <beckhardt@cityofperris.org>
To: "Kimberlin Tran" <KTRAN@rctlma.org>
Date: 9/1/2005 11:18:43 AM
Subject: RE: Zone Change 07186 and Plot Plan 20711

Thanks Kim:

I know it's unusual to get design comments, but with the explosion of industrial projects in Perris our Council is focused on getting quality development. I've attached the entire (draft) Industrial Code section for your amusement. Thanks for considering our comments.

BE

-----Original Message-----

From: Kimberlin Tran [mailto:KTRAN@rctlma.org]
Sent: Thursday, September 01, 2005 11:07 AM
To: Brad Eckhardt
Subject: Re: Zone Change 07186 and Plot Plan 20711

Hi Brad,

Duly noted. I'll have your comments in the case file for review.

Thanks!

Kim

>>> "Brad Eckhardt" <beckhardt@cityofperris.org> 08/29/05 4:32 PM >>>
Hi Kim:

The City of Perris supports the proposed zone change and use of the site for a Distribution Center. However, it is the City's finding that the plot plan, as proposed would have a significant, adverse aesthetic impact (as viewed from Interstate 215). Also, the project is located in Perris' Sphere of Influence and, as such, the City encourages the County to impose design standards in keeping with recently introduced City of Perris Industrial Design Guidelines. Relevant sections of these Guidelines have been excerpted for your consideration:

1. The existing 8' chain link fence should be replaced with a decorative screen wall. The screen wall should incorporate colors and materials of the primary structure. It should be softened with earthen berms and dense landscaping.
2. The building façades (including the rear façade) should include substantial variation in massing (changes in height and projecting or recessed elements).
3. The building elevations should have a clearly discernable base, body, and cap. The base should have a height of at least three (3) feet. The body shall occupy the middle portion of the elevation, covering about sixty percent (60%) of the average wall height. The cap shall occupy the highest portion of the elevation, excluding the roof, and shall have a dimension that does not exceed the height of the base. The cap shall consist of a cornice, parapet, awning, canopy, or eave. The base and cap shall be clearly distinguishable from the body through changes in color, material, pattern, profile, or texture.
4. Materials. As a general rule, the use of high quality natural building materials such as brick, stone, tinted/textured concrete (tilt-up) are appropriate. The following is a list of permitted materials for the building base, body, and cap. Other materials not specifically mentioned may be permitted, on a case-by-case basis.
 - a. Building Base: Brick, native stone, manufactured stone, or decorative concrete masonry units.
 - b. Building Body: Acceptable materials include wood, brick, native stone, manufactured stone, concrete, glass, or applied materials such as stucco or exterior insulated finish system (E.I.F.S.). Other materials such as imitation wood siding, sheet metal, corrugated metal, or other similar metal panels, are

considered inappropriate and should be avoided.

c. Building Cap: The building cap shall consist of materials introduced on the base and/or body of the building. Cornices and parapets shall be distinguishable from the building body by design and profile. Awnings, canopies, and eaves shall generally incorporate alternate color and materials.

Thanks for including the City of Perris in your Comprehensive Project Review and for considering our comments.

Brad Eckhardt

City of Perris
Community Development Department
135 North "D" Street
Perris, CA 92570-1998

951.943.5003 ext 272
951.943.8379 (fax)
beckhardt@cityofperris.org

NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influent area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances can vary from person to person. You may wish to consider what airport annoyances, if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Profession Code 11010 12(A)



"No Excuses"

Val Verde Unified School District

975 W Morgan Street Perris, CA 92571 951-940-6100

C. Fred Workman, Ed.D.
Superintendent

David Marshall
Deputy Superintendent
Education Services &
Human Resources

Carroll Brown, Ed.D.
Assistant Superintendent
Elementary Education

Robert Nichols
Assistant Superintendent,
Secondary Education

Scott Scambray
Assistant Superintendent
Testing & Accountability

Susan Balt, Ph.D.
Director, Special Education

Patricia Ralphs
Administrator,
Human Resources

Norman Towels, Ph.D.
Assistant Superintendent
Student Services

Mike Boyd
Deputy Superintendent,
Business Services

Bill Angel
Director, Business Services

David Bazan
Director,
Information Technology

Michael Bazan
Director, Risk Management

Todd Butcher
Director,
Maintenance & Operations

Brian Fountain
Director of Security

Sandee Hackett
Director, Facilities

Robert Quanstrom
Director, Food Services

Stacy Strawderman
Director, Purchasing & Warehouse

Board of Education:

Liza Fisher
Stacy L. Guzman
Maria D. Kirkland
Jo Ann S. McAnlis
D. Shelly Yarbrough

May 31, 2006

Kim Tran
COUNTY OF RIVERSIDE, Planning Department
9th Floor, CAC – P.O. Box 1409
Riverside, CA 92502-1409

Re: Project Description: TPM 34706, Subdivide 20 ac into 2 parcels
Location: N Placentia; E Harvill; E 215 Freeway
Applicant: Oakmont Perris Harvill St. LLC
APN: 317 240 013, 015, 032, 035

Dear Mr. Tran:

We have reviewed the above referenced project. The Val Verde Unified School District would like to make the following comments and/or recommendations:

1. The District recommends that all environmental health agencies within your jurisdiction take into consideration the health, safety and welfare of the students of the Val Verde Unified School District.
2. The District recommends that it be appraised of any traffic flow changes that might affect the health, safety and welfare of the students of the Val Verde Unified School District as well as the Val Verde District Office staff.
3. Val Verde Unified School District has adopted State statutory industrial/commercial fees of \$.42 per assessed square feet. Companies within your jurisdiction will need to satisfy the appropriate fees prior to issuance of building permits.

We appreciate your requesting our input concerning this project. Should you have any questions or concerning regarding the District's recommendations, please don't hesitate to contact me at (951) 940-6107.

Sincerely,

Sandee Hackett
Director, Facilities

SH/gjc

cc: C. Fred Workman, Superintendent
Michael Boyd, Deputy Superintendent, Business Services



Riverside County
Waste Management Department

Hans W. Kernkamp, General Manager-Chief Engineer

June 28, 2006

Kim Tran, Project Planner
Riverside County Planning Department
P. O. Box No. 1409
Riverside, CA 92502-1409

RE: Tentative Parcel Map No. 34706
Proposal: Divide 20 acres into 2 parcels
APN: 317-240-008, -013, -015, -032, -035

Dear Ms. Tran:

The Riverside County Waste Management Department has reviewed the proposed project located north of Placentia Street, east of Harvill Avenue, and east of I-215 Freeway, in the North Perris Zoning District. This project has the potential to impact long-term landfill capacity by generating solid waste that requires disposal. In order to mitigate the project's potential solid waste impact, and to help the County's efforts to comply with State law in diverting solid waste from landfill disposal, the project's applicant should implement the following measures, as feasible:

- Recycle the project's construction and demolition (C&D) waste through a C&D recycling facility.
- Use mulch and/or compost in the development and maintenance of landscaped areas within the project boundaries. Recycle green waste through either onsite composting of grass, i.e., leaving the grass clippings on the lawn, or sending separated green waste to a composting facility.
- Consider xeriscaping and using drought tolerant/low maintenance vegetation in all landscaped areas of the project.
- Hazardous materials **are not** accepted at the Riverside County landfills. Any hazardous wastes, including paint, used during construction must be properly disposed of at a licensed facility in accordance with local, state and federal regulations. Please contact the Riverside County Health Department for further information.

Thank you for the opportunity to review this proposal. If you have any questions, please call me at (951) 486-3284.

Sincerely,

Mirtha Liedl, Planner

PD#45157

EASTERN INFORMATION CENTER

CALIFORNIA HISTORICAL RESOURCES INFORMATION SYSTEM

Department of Anthropology, University of California, Riverside, CA 92521-0418

(951) 827-5745 - Fax (951) 827-5409 - eickw@ucr.edu

Inyo, Mono, and Riverside Counties

June 6, 2006

TO: Kim Tran
Riverside County Planning Department, Riverside Office

RE: Cultural Resource Review
Case: PM-34706/EA No. 40256

Records at the Eastern Information Center of the California Historical Resources Information System have been reviewed to determine if this project would adversely affect prehistoric or historic cultural resources:

- The proposed project area has not been surveyed for cultural resources and contains or is adjacent to known cultural resource(s). A Phase I study is recommended.
- Based upon existing data the proposed project area has the potential for containing cultural resources. A Phase I study is recommended.
- A Phase I cultural resource study (RI-) identified one or more cultural resources.
- The project area contains, or has the possibility of containing, cultural resources. However, due to the nature of the project or prior data recovery studies, an adverse effect on cultural resources is not anticipated. Further study is not recommended.
- A Phase I cultural resource study (RI-) identified no cultural resources. Further study is not recommended.
- There is a low probability of cultural resources. Further study is not recommended.
- If, during construction, cultural resources are encountered, work should be halted or diverted in the immediate area while a qualified archaeologist evaluates the finds and makes recommendations.
- Due to the archaeological sensitivity of the area, earthmoving during construction should be monitored by a professional archaeologist.
- The submission of a cultural resource management report is recommended following guidelines for Archaeological Resource Management Reports prepared by the California Office of Historic Preservation, *Preservation Planning Bulletin 4(a)*, December 1989.
 - Phase I Records search and field survey
 - Phase II Testing [Evaluate resource significance; propose mitigation measures for "significant" sites.]
 - Phase III Mitigation [Data recovery by excavation, preservation in place, or a combination of the two.]
 - Phase IV Monitor earthmoving activities

COMMENTS:

If you have any questions, please contact us.

Eastern Information Center



DEPARTMENT OF THE AIR FORCE
AIR FORCE RESERVE COMMAND

JUN 20 2006

MEMORANDUM FOR COUNTY OF RIVERSIDE
ATTN: KIM TRAN, PROJECT PLANNER
PLANNING DEPARTMENT
P.O. BOX 1409
RIVERSIDE, CA 92502-1409

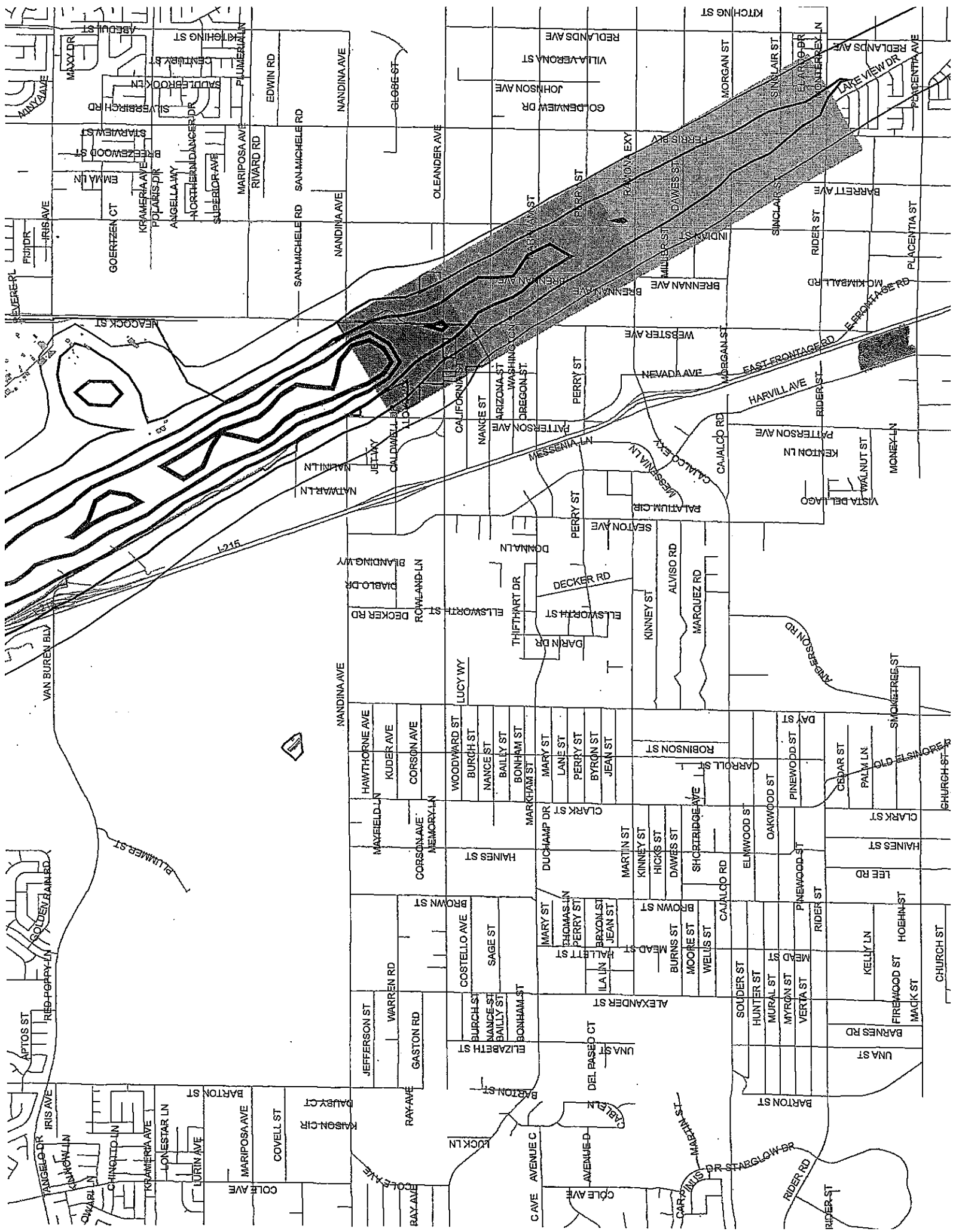
FROM: 452 MSG/CE (BOS)
610 Meyer Drive, Bldg. 2403
March ARB, CA 92518-2166

SUBJECT: Tentative Parcel Map No. 34706 – EA40256

1. The March Air Reserve Base (MARB) review of the proposal for a Schedule E subdivision of 20 gross acres into two (2) parcels located north of Placentia Street, east of Harvill Avenue, and east of I-215 Freeway, Mead Valley Area Plan, Riverside, California, is provided with this memorandum.
2. This development is consistent with compatible land use and MARB mission operations at the proposed location. The site does not occupy any area impacted by current mission aircraft noise, flight paths, or any zones related to localized aircraft incident statistics.
3. Thank you for the opportunity to review and comment on this proposed development. If you have any further questions, please contact Mr. Douglas Adams at (951) 655-7216.

A handwritten signature in cursive script, reading "Pamela M. Hann".


PAMELA M. HANN
Base Civil Engineer





Southern California
Gas Company
1981 W. Lagonia Avenue
Redlands, CA 92374-9720

Mailing Address:
PO Box 3003
Redlands, CA 92373-0306

A  Sempra Energy® utility

June 10, 2006

**Riverside County Planning Department
P.O. Box 1409
Riverside, CA 92502-1409**

Attention: Kim Tran

Re: Tentative Parcel Map No. 34706-EA40256 – RCO 3636

Dear: Ms. Tran

Thank you for the opportunity to review your plans for the above-referenced project. We have no comments or recommendations to submit on this particular development project.

If you need any additional information, please call Gertman Thomas at (909) 335-7733.

Sincerely,

Bryan Wilkie
Technical Services Supervisor

NOTICE OF PUBLIC HEARING

A PUBLIC HEARING has been scheduled, pursuant to Riverside County Land Use and Subdivision Ordinance Nos. 348 460, before the **Riverside County** Planning Commission to consider the project shown below:

CHANGE OF ZONE NO. 7186 / PLOT PLAN NO. 20711 / TENTATIVE PARCEL MAP NO. 34706 / ENVIRONMENTAL IMPACT REPORT NO. 497 – EA40256 – Applicant: Oakmont Industrial Group - Engineer/Rep: Albert A. Webb & Associates - First Supervisorial District – North Perris Zoning District – Mead Valley Area Plan – Community Development: Light Industrial (CD:LI) (.25 to .60 floor to area ratio) - Location: Northerly of Placentia Street, westerly of West Frontage Road, and easterly of Harvill Avenue – 19.8 Gross Acres – Zoning: Manufacturing Heavy (M-H) - **REQUEST:** The Change of Zone proposes to change the zoning of 19.8 gross acres from Manufacturing Heavy (M-H) to Manufacturing- Service Commercial (M-SC). The Plot Plan proposes the construction of two (2) manufacturing/ distribution warehouse facilities: Proposed Building A is approximately 235,500 square feet (s.f.) which includes 20,000 s.f. of office, 100,000 s.f. of manufacturing, as well as 115,500 s.f. for distribution and Proposed Building B is approximately 126,500 square feet (s.f.) which includes 12,200 s.f. of office, 61,000 s.f. of manufacturing, as well as 53,300 s.f. of distribution. The project will be built in two phases: Phase I will include the construction of Proposed Building A, 334 standard parking spaces, 8 Handicap parking spaces, adjacent loading spaces, landscaping for proposed Parcel 1 and an interim detention basin which is to remain until the completion of downstream drainage facilities; Phase II will include the removal of the interim detention basin, construction of Proposed Building A, 189 standard parking spaces, 7 Handicap parking spaces, adjacent loading spaces, and completion of landscaping for the entire site. Per Ordinance 460 landscaping requirements, the proposed project is required to provide 1.85 acres of landscaping and will be providing 2.68 acres of landscaping. Along the southern portion of the project site there is a 20' trail easement which is to be dedicated to the County of Riverside Parks & Recreation. The Tentative Parcel Map proposes a Schedule E subdivision of 19.8 gross acres into two parcels with Parcel 1 being approximately 13.36 gross acres and Parcel 2 being approximately 7.80 gross acres, there is also a .36 acre dedication to the State of California Right of Way. The Environmental Impact Report has been prepared to inform decision makers and the public of the potential environmental affects associated with the proposed development - APN: 317-120-008, 317-120-013, 317-120-015, 317-120-032, and 317-120-035. (Legislative)

TIME OF HEARING: 9:00 a.m. or as soon as possible thereafter.
DATE OF HEARING: March 5, 2008
PLACE OF HEARING: RIVERSIDE COUNTY ADMINISTRATIVE CENTER
BOARD CHAMBERS, 1ST FLOOR
4080 LEMON STREET
RIVERSIDE, CA 92501

For further information regarding this project, please contact Nicole Berumen, at 951-955-2391 or e-mail nberumen@rctlma.org, or go to the County Planning Department's Planning Commission agenda web page at http://www.tlma.co.riverside.ca.us/planning/content/hearings/pc/current_pc.html.

The Riverside County Planning Department has determined that although the proposed project could have a significant effect on the environment, **NO FURTHER ENVIRONMENTAL DOCUMENTATION IS REQUIRED** because (a) all potentially significant effects of the proposed project have been adequately analyzed in an earlier EIR or Negative Declaration pursuant to applicable legal standards, (b) all potentially significant effects of the proposed project have been avoided or mitigated pursuant to that earlier EIR or Negative Declaration, (c) the proposed project will not result in any new significant environmental effects not identified in the earlier EIR or Negative Declaration, (d) the proposed project will not substantially increase the severity of the environmental effects identified in the earlier EIR or Negative Declaration, (e) no considerably different mitigation measures have been identified and (f) no mitigation measures found infeasible have become feasible. The Planning Commission will consider the proposed application at the public hearing.

The case file for the proposed project may be viewed Monday through Friday, from 8:00 A.M. to 5:00 P.M. at the Planning Department office, located at 4080 Lemon St. 9th Floor, Riverside, CA 92501.

Any person wishing to comment on the proposed project may do so in writing between the date of this notice and the public hearing; or, may appear and be heard at the time and place noted above. All comments received prior to the public hearing will be submitted to the Planning Commission, and the Planning Commission will consider such comments, in addition to any oral testimony, before making a decision on the proposed project.

If this project is challenged in court, the issues may be limited to those raised at the public hearing, described in this notice, or in written correspondence delivered to the Planning Commission at, or prior to, the public hearing. Be advised that as a result of public hearings and comment, the Planning Commission may amend, in whole or in part, the proposed project. Accordingly, the designations, development standards, design or improvements, or any properties or lands within the boundaries of the proposed project, may be changed in a way other than specifically proposed.

Please send all written correspondence to:
RIVERSIDE COUNTY PLANNING DEPARTMENT, Attn: Nicole Berumen, P.O. Box 1409, Riverside, CA 92502-1409

PROPERTY OWNERS CERTIFICATION FORM

PP20711, CZ07186, PM34706

APN's 317-240-008, 013, 015, 032, 035

I, Mickey Zolezio, certify that on
(Print Name)

3/3/2009 the attached property owners list
(Date)

was prepared by County of Riverside / GIS
(Print Company or Individual's Name)

Distance Buffered : 1500'

Pursuant to application requirements furnished by the Riverside County Planning Department; Said list is a complete and true compilation of the owners of the subject property and all other property owners within 600 feet of the property involved, or if that area yields less than 25 different owners, all property owners within a notification area expanded to yield a minimum of 25 different owners, to a maximum notification area of 2,400 feet from the project boundaries, based upon the latest equalized assessment rolls. If the project is a subdivision with identified off-site access/improvements, said list includes a complete and true compilation of the names and mailing addresses of the owners of all property that is adjacent to the proposed off-site improvement/alignment.

I further certify that the information filed is true and correct to the best of my knowledge. I understand that incorrect or incomplete information may be grounds for rejection or denial of the application.

NAME: Mickey Zolezio

TITLE/REGISTRATION Senior GIS Analyst

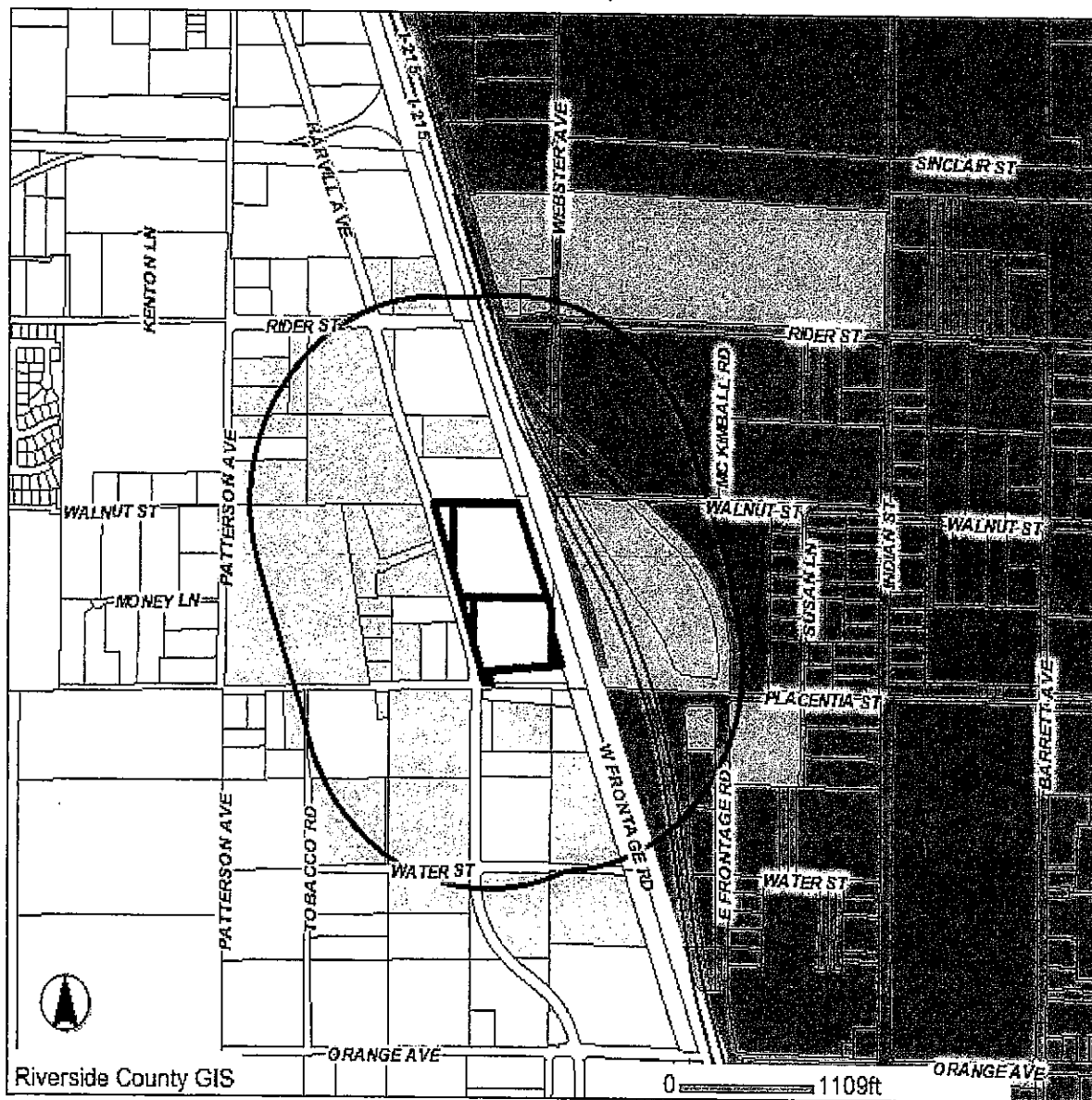
ADDRESS: 4080 Lemon St. 2nd Floor

Riverside, CA 92501

TELEPHONE (8 a.m. – 5 p.m.): (951) 955-4649

*Verified
By
Patricia Baccis
3/4/09
Exp. Aug. 4, 09*

PP20711, GZ07186, PM34706



Selected parcel(s):

- | | | | | | | |
|-------------|-------------|-------------|-------------|-------------|-------------|-------------|
| 303-050-002 | 305-020-017 | 305-050-051 | 305-050-057 | 305-060-015 | 305-060-019 | 305-060-021 |
| 305-090-047 | 317-170-016 | 317-170-023 | 317-170-024 | 317-170-033 | 317-230-019 | 317-230-020 |
| 317-230-021 | 317-230-022 | 317-230-036 | 317-230-038 | 317-230-042 | 317-230-044 | 317-230-049 |
| 317-240-001 | 317-240-008 | 317-240-017 | 317-240-019 | 317-240-020 | 317-240-021 | 317-240-028 |
| 317-240-043 | 317-240-044 | 317-240-045 | 317-260-004 | 317-260-007 | 317-260-015 | 317-260-016 |
| | 317-260-018 | 317-260-027 | 317-260-033 | 317-270-015 | 317-270-017 | |

IMPORTANT

This information is made available through the Riverside County Geographic Information System. The information is for reference purposes only. It is intended to be used as base level information only and is not intended to replace any recorded documents or other public records. Contact appropriate County Department or Agency if necessary. Reference to recorded documents and public records may be necessary and is advisable.

MAP PRINTED ON...03/3/2009

APN: 317240017 ASMT: 317240017
 CLIVE HARROLD
 20395 SHARON ANN LN
 PERRIS CA. 92570

APN: 317240019 ASMT: 317240019
 TOLLIE DELANEY
 BLANCHE L DELANEY
 2532 E WHIDBY LN
 ANAHEIM CA 92806

APN: 317240020 ASMT: 317240020
 RAY E WILLIAMS
 PATSY ANN WILLIAMS
 20463 SHARON ANN LN
 PERRIS CA 92570

APN: 317240021 ASMT: 317240021
 NAOMI BARNES
 TEODORA LATORENO
 20491 SHARON ANN LN
 PERRIS CA. 92570

APN: 317240028 ASMT: 317240028
 DAN SAMARIN
 DEBRA SAMARIN
 603 REPOSADO
 LA HABRA HEIGHTS CA 91633

APN: 317240043 ASMT: 317240043
 LLOYD M ASHMAN
 NANCY M ASHMAN
 17 E RIDGE CT
 DANVILLE CA 94526

APN: 317240044 ASMT: 317240044
 A & M INDUSTRIES
 C/O PREMIER LAMINATING
 20343 HARVILL AVE
 PERRIS CA. 92570

APN: 317240045 ASMT: 317240045
 ATI SERVICES
 C/O KUMIVA GROUP LLC
 1612 W PICO BLV
 LOS ANGELES CA 90015

APN: 317260007 ASMT: 317260007
 CLASSIC PACIFIC LAND DEV
 3197 B AIRPORT LOOK DR
 COSTA MESA CA 92626

APN: 317260015 ASMT: 317260015
 MIJO INV
 JEAN PIERRE ESQUIRE
 SUSANNE L ESQUIRE
 C/O JEAN P ESQUIRE
 43800 CORONADO DR
 TEMECULA CA 92592

APN: 317260016 ASMT: 317260016
 THRIFTY OIL CO
 13116 IMPERIAL HWY
 SANTA FE SPGS CA 90670

APN: 317260018 ASMT: 317260018
 NEWCOMB B WEISENBERGER
 2273 WESTWIND WAY
 SIGNAL HILL CA 90755

APN: 317260027 ASMT: 317260027
 CLAVAL CO
 P O BOX 1325
 NEWPORT BEACH CA 92663

APN: 317260033 ASMT: 317260033
 LAND DEV
 C/O CLASSIC PACIFIC LTD
 3197 B AIRPORT LOOP RD
 COSTA MESA CA 92626

1st Supervisor District
Robert Buster, Supervisor
Board of Supervisors, Riverside County
Mail Stop 1001

ATTN: Borre Winckel
Building Industry Assoc.
3891 11th St.
Riverside, CA 92501-2973

ATTN: Assemblyman John J. Benoit
California State Assembly
64th District
1223 University Ave., Suite 230
Riverside, CA 92507

ATTN: Representative Ken Calvert
California State Representatives
44th District
3400 Central Ave., Suite 200
Riverside, CA 92506

ATTN: Representative Darrell Issa
California State Representatives
49th District
1800 Thibodo Rd., Suite 310
Vista, CA 92083

ATTN: Senator Jim Battin
California State Senate, 37th District
73-710 Fred Waring Dr., Suite 112
Palm Desert, CA 92260-2574

Attn: Planning Director
Planning & Community Development
Department, City of Perris
135 N. D Street
Perris, CA 92570

Cultural Resources Committee,
Pechanga Band of Luiseno Mission
Indians
P.O. Box 2183
Temecula, CA 92593

ATTN: Elizabeth Lovsted
Eastern Municipal Water District
2270 Trumble Rd.
P.O. Box 8300
Perris, CA 92570

452nd MSG/CECC
March Air Reserve Base
Civil Engineering - BOS
610 Meyer Dr., Building 2403
March ARB, CA 92518-2166

ATTN: Garry Grant
Meadowbrook
Unincorporated Community
27068 Jarvis Ave.
Perris, CA 92570

ATTN: Robert Martin
Morongo Band of Mission Indians
11581 Potrero Rd.
Banning, CA 92220-6946

ATTN: Project Manager - Franklin A.
Dancy
Morongo Band of Mission Indians
Dept. of Planning & Building Services
49750 Seminole Dr.
Cabazon, CA 92230

ATTN: Susan Pangell
Morongo Tribal Council
11581 Potrero Rd.
Banning, CA 92220

ATTN: Emmanuelle Reynolds
Perris Union High School District
155 E. 4th St.
Perris, CA 92570-2124

Perris Valley Chamber of Commerce
11 S. D St.
Perris, CA 92570-2126

ATTN: Nate Pickett
CALTRANS District #8
464 W. 4th Street, 6th Floor
Mail Stop 728
San Bernardino, CA 92401-1400

Val Verde Unified School District
975 W. Morgan St.
Perris, CA 92571-3103

CALTRANS Division of Aeronautics
P.O. Box 942873
Sacramento, CA 94273

East Sierra and Inland Deserts, Reg 6
California Department of Fish & Game
3602 Inland Empire Blvd. #C220
Ontario, CA 91764

Attn: Marc Brewer
Regional Parks & Open Space District
Riverside County
4600 Crestmore Rd. Mail Stop 2970
Riverside, CA 92509

Mead Valley Municipal Advisory
Council

Attn: Lee Cousins
18870 Springwood Ln
Perris, CA 92570

Oakmont Industrial Group
c/o Michael Johnson
18201 McDermott Street West
Suite 5
Inline, CA 91614

Albert A Webb Associates
c/o Melissa Perez
3788 McCray St.
Riverside, CA 92506



COUNTY OF RIVERSIDE

TRANSPORTATION AND LAND MANAGEMENT AGENCY

George A. Johnson · Agency Director

Planning Department

Ron Goldman · Planning Director

TO: Office of Planning and Research (OPR)
P.O. Box 3044
Sacramento, CA 95812-3044
 County of Riverside County Clerk

FROM: Riverside County Planning Department
 4080 Lemon Street, 9th Floor
P. O. Box 1409
Riverside, CA 92502-1409

38686 El Cerrito Road
Palm Desert, California 92211

SUBJECT: Filing of Notice of Determination in compliance with Section 21152 of the California Public Resources Code.

EIR497, Change of Zone No. 7186, Plot Plan No. 20711, Tentative Parcel Map No. 34706

Project Title/Case Numbers

Nicole Berumen

County Contact Person

(951) 955-0545

Phone Number

2006101095

State Clearinghouse Number (if submitted to the State Clearinghouse)

Oakmont Industrial Group

Project Applicant

18201 McDermott St. West Ste. E, Irvine, CA 91614

Address

Project Location

The project site is located northerly of Placentia Street, westerly of West Frontage Road and easterly of Harvill Avenue in the Mead Valley Area Plan.

Project Description

The Change of Zone proposes to change the zoning of the 21.86 gross acre parcel from Manufacturing- Heavy (M-H) to Manufacturing- Service Commercial (M-SC); The Plot Plan proposes the construction of two (2) manufacturing/ distribution warehouse facilities: Building A is approximately 245,252 square feet (s.f.) which includes 20,000 s.f. of office, 100,000 s.f. of manufacturing, as well as 125,252 s.f. for distribution and Building B is approximately 83,750 square feet (s.f.) which includes 5,000 s.f. of office, 25,000 s.f. of manufacturing, as well as 53,750 s.f. of distribution. The project includes 447 parking spaces and 32 loading spaces. Along the southern portion of the project site there is a 20' trail easement which is to be dedicated to the County of Riverside Parks & Recreation; The Tentative Parcel Map proposes a Schedule E subdivision of 21.52 gross acres into two parcels: Parcel 1 is 13.63 gross acres and Parcel 2 is 7.53 gross acres. The tentative parcel map also includes a 0.36 acre dedication to the public right-of-way; and, the Environmental Impact Report has been prepared to inform decisions makers and the public of the potential significant environmental effects associated with the development of the proposed project per the California Environmental Quality Act (CEQA) and the Riverside County Rules to implement CEQA.

This is to advise that the Riverside County Board of Supervisors, as the lead agency, has approved the above-referenced project on _____, and has made the following determinations regarding that project:

1. The project WILL have a significant effect on the environment.
2. Environmental Impact Report No. 497 was prepared for this project and certified pursuant to the provisions of the California Environmental Quality Act (\$2,768.25 plus \$64.00)
3. Mitigation measures WERE made a condition of the approval of the project.
4. A Mitigation Monitoring and Reporting Plan/Program WAS adopted.
5. A statement of Overriding Considerations WAS adopted for the project.

This is to certify that the Final Environmental Impact Report, with comments, responses, and record of project approval is available to the general public at: Riverside County Planning Department, 4080 Lemon Street, 9th Floor, Riverside, CA 92501.

Signature

Title

Date

Date Received for Filing and Posting at OPR: _____

Y:\Planning Case Files-Riverside office\PP20711\BOS FORMS\PP20711-PM34706 NOD Form.doc Revised 01/15/08p

Please charge deposit fee case#: ZEIR497 ZCFG3712 .2,768.25

FOR COUNTY CLERK'S USE ONLY

COUNTY OF RIVERSIDE
SPECIALIZED DEPARTMENT RECEIPT
Permit Assistance Center

* REPRINTED * R0901557

4080 Lemon Street
Second Floor
Riverside, CA 92502
(951) 955-3200

39493 Los Alamos Road
Suite A
Murrieta, CA 92563
(951) 600-6100

38686 El Cerrito Road
Palm Desert, CA 92211
(760) 863-8277

Received from: OAKMONT INDUSTRIAL GROUP \$161.50
paid by: CK 369
paid towards: CFG03712 CALIF FISH & GAME: DOC FEE
CA FISH AND GAME FOR EA40256
at parcel #:
appl type: CFG3

By _____ Feb 03, 2009 16:07
SBROSTRO posting date Feb 03, 2009

Account Code	Description	Amount
658353120100208100	CF&G TRUST	\$161.50

Overpayments of less than \$5.00 will not be refunded!

Additional info at www.rctlma.org

COUNTY OF RIVERSIDE
SPECIALIZED DEPARTMENT RECEIPT
Permit Assistance Center

* REPRINTED * R0801571

4080 Lemon Street
Second Floor
Riverside, CA 92502
(951) 955-3200

39493 Los Alamos Road
Suite A
Murrieta, CA 92563
(951) 600-6100

38686 El Cerrito Road
Palm Desert, CA 92211
(760) 863-8277

Received from: OAKMONT INDUSTRIAL GROUP \$2,606.75
paid by: CK 1191
paid towards: CFG03712 CALIF FISH & GAME: DOC FEE
CA FISH AND GAME FOR EA40256
at parcel #:
appl type: CFG3

By _____ Feb 14, 2008 13:34
MBRASWEL posting date Feb 14, 2008

Account Code	Description	Amount
658353120100208100	CF&G TRUST	\$2,606.75

Overpayments of less than \$5.00 will not be refunded!

Additional info at www.rctlma.org

COUNTY OF RIVERSIDE
SPECIALIZED DEPARTMENT RECEIPT
Permit Assistance Center

* REPRINTED * R0515847

4080 Lemon Street
Second Floor
Riverside, CA 92502
(951) 955-3200

39493 Los Alamos Road
Suite A
Murrieta, CA 92563
(951) 600-6100

38686 El Cerrito Road
Palm Desert, CA 92211
(760) 863-8277

Received from: OAKMONT INDUSTRIAL GROUP \$64.00
paid by: CK 124
paid towards: CFG03712 CALIF FISH & GAME: DOC FEE
CA FISH AND GAME FOR EA40256
at parcel #:
appl type: CFG3

By _____ Aug 03, 2005 14:37
CYUHAS posting date Aug 03, 2005

Account Code	Description	Amount
658353120100208100	CF&G TRUST: RECORD FEES	\$64.00

Overpayments of less than \$5.00 will not be refunded!

Additional info at www.rctlma.org