

**RIVERSIDE COUNTY**  
**PLANNING DEPARTMENT**

*Carolyn Syms Luna*  
*Director*

**DATE: November 1, 2010**

**TO: Clerk of the Board of Supervisors**

**FROM: Planning Department - Riverside Office**

*D.M.*

**SUBJECT: CONDITIONAL USE PERMIT NO. 3622 – No Further Environmental Documentation**  
**Required**

*(Charge your time to these case numbers)*

**The attached item(s) require the following action(s) by the Board of Supervisors:**

- Place on Administrative Action (Receive & File; EOT)  Set for Hearing (Legislative Action Required: CZ, GPA, SR, SPA)
- Labels provided If Set For Hearing  Publish in Newspaper:
- 10 Day  20 Day  30 day  (3rd Dist) Press Enterprise and The Californian
- Place on Consent Calendar  CEQA Exempt
- Place on Policy Calendar (Resolutions; Ordinances; PNC)  10 Day  20 Day  30 day
- Place on Section Initiation Proceeding (GPIP)  Notify Property Owner's (app/agencyes/property owner labels provided)
- Controversial:  YES  NO

**Designate Newspaper used by Planning Department for Notice of Hearing:**  
**(3rd Dist) Press Enterprise and The Californian**

**Need Director's signature by 11/2/10**  
**Please schedule on the November 30, 2010 BOS Agenda**

**Documents to be sent to County Clerk's Office for Posting within five days:**

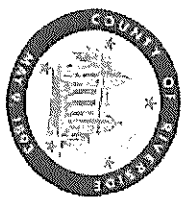
Notice of Exemption  
Fish & Game Receipt (CFG5519)

Riverside Office · 4080 Lemon Street, 12th Floor  
P.O. Box 1409, Riverside, California 92502-1409  
(951) 955-3200 · Fax (951) 955-3157

Desert Office · 38686 El Cerrito Road  
Palm Desert, California 92211  
(760) 863-8277 · Fax (760) 863-7555

*"Planning Our Future... Preserving Our Past"*

**SUBMITTAL TO THE BOARD OF SUPERVISORS  
COUNTY OF RIVERSIDE, STATE OF CALIFORNIA**



**FROM:** TLMA - Planning Department

**SUBMITTAL DATE:**  
November 3, 2010

**REVIEWED BY EXECUTIVE OFFICE**

**DATE** \_\_\_\_\_  
Tina Grande

*Departmental Concurrence*

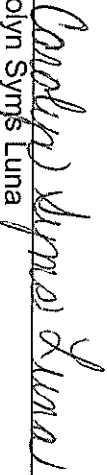
**SUBJECT: CONDITIONAL USE PERMIT NO. 3622** – Categorically Exempt per CEQA - Applicant: Jeff Rahman - Engineer/ Representative: Jeff Rahman - Third Supervisorial District – Ramona Zoning District – San Jacinto Valley Area Plan: Community Development: Commercial Retail (CD:CR) (0.20 to 0.35 floor area ratio) - Location: Southerly of Florida Avenue, easterly of Columbia Street, westerly of Cornell Street, and northerly of Acacia Avenue – 0.6 Gross Acres - Zoning: Scenic Highway Commercial (C-P-S) – **REQUEST:** The Conditional Use Permit proposes to convert an existing unoccupied building totaling approximately 9,720 square-feet into a 4,088 square-foot convenience store and a 5,632 square-foot of shell leasable area. The convenience store would include a market/deli and the sale of alcoholic beverages including beer, wine and distilled spirits for off-premises consumption (ABC License Type 21). In addition, an approximately 650 square-foot storage facility to be removed and 42 parking spaces are proposed.

**RECOMMENDED MOTION:**

The Planning Department's revised recommendation is for Approval; and,

**ADOPTION** of a **FINDING** of “**PUBLIC NECESSITY AND CONVENIENCE**,” regarding the sale of beer, wine and distilled spirits (TYPE 21) from the subject site for off-site consumption, based upon the findings and conclusions incorporated in the staff report; and

**APPROVAL** of **Conditional Use Permit 3622**, subject to the attached conditions of approval, and based upon the findings and conclusions incorporated in the staff report.

  
Carolyn Synys Luna  
Planning Director

Initials:  
CSL:vc

(continued on attached page)

Dep't Recomm.:     Consent     Policy  
Per Exec. Ofc.:     Consent     Policy

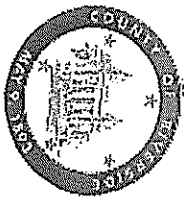
**Prev. Agn. Ref.**

**District:** Third

**Agenda Number:**

**BACKGROUND:** The project had been placed on the Planning Commission agenda on May 5, 2010 and July 14, 2010 and September 15, 2010. There have been several key issues raised by the Planning Commission related to the project. The major issues related to the project can be attributed to site design and off-site improvements. The applicant has indicated through site design submittals that no further street improvements would be necessary given the on-site buildings that currently exist. Several meetings have occurred between staff and the applicant where the applicant has stressed processing time and financial factors as a key contributor to moving the project forward. The applicant requested a DENIAL of the project in order to appeal the outstanding issues to the Board of Supervisors. On September 15, 2010, the Planning Commission moved forward with a DENIAL recommendation.

On October 19, 2010, the Planning Director prepared a Notice of Decision to inform the Board of the Planning Commission's action. At that time the Board decided to assume jurisdiction on this project and directed the Clerk to set the matter for public hearing. This package has been prepared for that hearing. The applicant has subsequently submitted a revised site plan reflecting matters raised at the September 15, 2010 Planning Commission hearing.



**SUBMITTAL TO THE BOARD OF SUPERVISORS  
COUNTY OF RIVERSIDE, STATE OF CALIFORNIA**

**FROM:** TLMA - Planning Department

**SUBMITTAL DATE:**  
October 6, 2010

REVIEWED BY EXECUTIVE OFF

DATE \_\_\_\_\_

Tina Grande

Departmental Concurrence

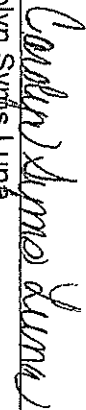
**SUBJECT: CONDITIONAL USE PERMIT NO. 3622** – No Further Environmental Documentation Required - Applicant: Jeff Rahman - Engineer/ Representative: Keith Gardner - Third Supervisorial District – Ramona Zoning District – San Jacinto Valley Area Plan: Community Development: Commercial Retail (CD:CR) (0.20 to 0.35 floor area ratio) - Location: Southerly of Florida Avenue, easterly of Columbia Street, westerly of Cornell Street, and northerly of Acacia Avenue – 0.6 Gross Acres - Zoning: Scenic Highway Commercial (C-P-S) – **REQUEST:** The Conditional Use Permit proposes to convert an existing unoccupied building totaling approximately 9,720 square-feet into a 4,088 square-foot convenience store and a 5,632 square-foot of shell leasable area. The convenience store would include a market/deli and the sale of alcoholic beverages including beer, wine and distilled spirits for off-premises consumption (ABC License Type 21). In addition, an approximately 650 square-foot storage facility will remain as storage and 35 parking spaces are proposed.

**RECOMMENDED MOTION:**

**RECEIVE AND FILE** The Notice of Decision for the above referenced case acted on by the Planning Commission on September 15, 2010.

The Planning Department recommended Approval; and, **THE PLANNING COMMISSION RECOMMENDS:**

**DENIAL of CONDITIONAL USE PERMIT NO. 3622** based upon the findings and conclusions incorporated in the staff report.

  
Carolyn Syms Luna  
Planning Director

Initials:  
CSL:vc

Policy

Consent

Dep't R m.:

Policy

Consent

Per Exec. Ofc.:

**Prev. Agn. Ref.**

**District:** Third

**Agenda Number:**

**Agenda Item No.:**

**Area Plan:** San Jacinto Valley  
**Zoning District:** Ramona  
**Supervisory District:** Third  
**Project Planner:** Wendell Bugtai  
**Board of Supervisors:** November 30, 2010  
**Denied at PC:** 9-15-10  
**Continued at PC:** 5-5-10, 7-14-10

**Conditional Use Permit 3622**

**E.A./EIR Number:** Exempt Per CEQA Section 15303 "New Construction or Conversion of Small Structures"  
**Applicant:** Jeff Rahman  
**Engineer/Representative:** Jeff Rahman

## **COUNTY OF RIVERSIDE PLANNING DEPARTMENT STAFF REPORT**

**PROJECT DESCRIPTION AND LOCATION:**

The Conditional Use Permit proposal is for an existing unoccupied building of approximately 4,000 square-feet to be converted into a convenience store. The convenience store would include a deli and the sale of alcoholic beverages including beer, wine and distilled spirits. The property also includes an existing 4,000 square-foot mechanic shop to be converted into three separate retail lease areas and attached to the proposed convenience store, thus increasing the square footage by approximately 1,500 square-feet. In addition, the applicant has proposed 43 parking spaces.

The project is located southerly of Florida Avenue, easterly of Columbia Street, westerly of Cornell Street, and northerly of Acacia Avenue.

**ISSUES OF POTENTIAL CONCERN:**

The project had been placed on the Planning Commission agenda on May 5, 2010 and July 14, 2010 and September 15, 2010. There have been several key issues raised by the Planning Commission related to the project. These issues are as follows:

1. Florida Avenue and Columbia Street Improvements
2. Parking issues in relation to Florida Avenue
3. Alcohol Sales and the proximity to the surrounding Church and Pre-School
4. South Wall improvements
5. On and Off-site landscaping
6. Architectural Details – materials color board
7. 50-foot Setback from Florida Avenue Scenic Highway Corridor

The major issues related to the project can be attributed to site design and off-site improvements. The applicant has indicated through site design submittals that no further street improvements would be necessary given the on-site buildings currently exist. Several meetings have occurred between staff and the applicant which the applicant has stressed processing time and financial factors as a key contributor to moving the project forward. The applicant has since requested a DENIAL of the project in order to appeal the outstanding issues to the Board of Supervisors. On September 15, 2010, the Planning Commission moved forward with a DENIAL recommendation and the project has since been set for public hearing at the Board of Supervisors.

As of the writing of this staff report, staff is waiting for a FINAL site plan along with colored elevations.

**SUMMARY OF FINDINGS:**

1. Existing General Plan Land Use (Ex. #5): Commercial Retail (CR)
2. Surrounding General Plan Land Use (Ex. #5): City of Hemet to the north and west

3. Existing Zoning (Ex. #2): Commercial Retail (CR) to the east and south  
Scenic Highway Commercial (C-P-S)
4. Surrounding Zoning (Ex. #2): City of Hemet to the north and west  
Scenic Highway Commercial (C-P-S) to the east and west
5. Existing Land Use (Ex. #1): Vacant commercial buildings
6. Surrounding Land Use (Ex. #1): North: City of Hemet  
East: Vacant  
South: Single Family Residence  
West: City of Hemet
7. Project Data: Total Acreage: 0.67-acres
8. Environmental Concerns: CEQA Exempt per Section 15303

**RECOMMENDATIONS:**

**ADOPTION** of a **FINDING** of “**PUBLIC NECESSITY AND CONVENIENCE,**” regarding the sale of beer, wine and distilled spirits (TYPE 21) from the subject site for off-site consumption, based upon the findings and conclusions incorporated in the staff report; and

**APPROVAL** of **Conditional Use Permit 3622**, subject to the attached conditions of approval, and based upon the findings and conclusions incorporated in the staff report.

**CONCLUSIONS:**

1. The proposed project is in conformance with the Community Development : Commercial Retail (CD:CR) Land Use Designation, and with all other elements of the Riverside County General Plan.
2. The proposed project is consistent with the Scenic Highway Commercial (C-P-S) zoning classification of Ordinance No. 348, and with all other applicable provisions of Ordinance No. 348.
3. The public's health, safety, and general welfare are protected through project design.
4. The proposed project is clearly compatible with the present and future logical development of the area.
5. The proposed project will not have a significant effect on the environment.
6. The proposed project will not preclude reserve design for the Multi-Species Habitat Conservation Plan (MSHCP).

**FINDINGS:** The following findings are in addition to those incorporated in the summary of findings and in the attached environmental assessment, which is incorporated herein by reference.

1. The project site is designated Community Development : Commercial Retail (CD:CR) on the San Jacinto Valley Area Plan.

2. The proposed use, a convenience and liquor store with retail office, is a permitted use in the Community Development : Commercial Retail (CD:CR) designation.
3. The project site is surrounded by properties which are designated Community Development: Commercial Retail (CD:CR) to the east and south and the City of Hemet to the north and west.
4. The public's health, safety and general welfare through the proposed use, convenience and liquor store with retail office, will be protected through project design. The current site plan which provides no street improvements will be a major safety issue for Planning Staff along Florida Avenue and Columbia Street.
5. The proposed use is clearly compatible with the present or future logical development of the area. Street improvements have been and will be requested for past and future projects which will require right-of-way improvements within the area. The lack of street improvements along a major intersection such as Florida Avenue and Columbia Street pose a major concern for the logical development of the surrounding area.
6. The zoning for the subject site is Scenic Highway Commercial (C-P-S) zoning.
7. The proposed use, a convenience and liquor store with retail office, is a permitted use, subject to approval of a conditional use permit, in the Scenic Highway Commercial (C-P-S) zone.
8. The proposed use, a convenience and liquor store with retail office, is consistent with the development standards set forth in the Scenic Highway Commercial (C-P-S) zone.
9. The project site is surrounded by properties which are zoned Scenic Highway Commercial (C-P-S) and the City of Hemet.
10. Residential and Commercial uses have been constructed and are operating in the project vicinity.
11. The proposed use, sale of Beer, Wine and distilled spirits (TYPE 21) for Off Premises Consumption, is a permitted use in the Scenic Highway Commercial (C-P-S) zoning classification subject to the approval of a Conditional Use Permit.
12. The year 2000 census population for census tract 433.10 was 4,582 persons according to the US Census Bureau (Census 2000 Summary File 3).
13. The maximum concentration level for General Liquor License (type 21) is combined with Beer and Wine (Type 20) and limited to one per 1,250 people by census tract (Alcoholic Beverage Control Act: California Business and Professions Code 23817.5)
14. Three (3) combined (Type 20 and Type 21) licenses are currently issued in Census Tract 433.10. There are approximately 0.79 licenses per 1,250 persons. Alcohol Beverage Control has indicated that there are two (2) Type 20 and Type 21 licenses allowed within census tract 433.10.
15. The project site is consistent with the objectives of Section 18.48 (Alcoholic Beverage Sales) of Ordinance No. 348.
16. No schools are located within 1,000 feet from the proposed project.

17. The project is located within 100 feet of existing and habited residences.
18. The project is not located within 1,000 feet of an existing or planned public park and/or playground.
19. The project is located within 1,000 feet of an existing or established place or religious worship.
20. The proposed project provides public necessity and convenience for the residents of the surrounding community.
21. Subsequent to the Planning Commission hearing on September 15, 2010, the applicant has submitted a revised site plan reflecting signing and striping, paving, parking and improved circulation to the project site. These new changes address the concerns brought forth during the September 15, 2010 Planning Commission hearing. The new site plan increases the parking spaces from thirty-four (34) to forty-two (42) where forty-one(41) spaces are required and addresses the major concern related to parking and circulation.

**INFORMATIONAL ITEMS:**

1. As of this writing, no letter of support or opposition have been recieved.
2. The project site is not located within:
  - a. A Redevelopment Area
  - b. A 100-year flood plain, an area drainage plan, or dam inundation area.
  - c. The Stephens Kangaroo Rat Fee Area or Core Reserve Area.
  - d. California Gnatcatcher, Quino Checkerspot Butterfly habitat.
  - e. Specific Plan
  - f. Agricultural Preserve
3. The project site is locate within:
  - a. The boundaries of the San Jacinto Valley Area Plan.
  - b. The city of Hemet sphere of influence.
  - c. Florida Avenue Corridor Policy Area
  - d. Hemet Unified School District
4. The subject site is currently designated as Assessor's Parcel Number 438-230-027.
5. This project was filed with the Planning Department on April 23, 2009.
6. This project was reviewed by the Land Development Committee one (1) times on the following date June 18, 2009.
7. Deposit Based Fees charged for this project, as of the time of staff report preparation, total \$32,896.14.

**PLANNING COMMISSION**  
**MINUTE ORDER SEPTEMBER 15, 2010**  
**RIVERSIDE COUNTY ADMINISTRATION CENTER**

- I. **AGENDA ITEM 4.5: CONDITIONAL USE PERMIT NO. 3622** – CEQA Exempt - Applicant: Jeff Rahman - Engineer/ Representative: Keith Gardner - Third Supervisorial District – Ramona Zoning District – San Jacinto Valley Area Plan: Community Development: Commercial Retail (CD:CR) (0.20 to 0.35 floor area ratio) - Location: Southerly of Florida Avenue, easterly of Columbia Street, westerly of Cornell Street, and northerly of Acacia Avenue – 0.6 Gross Acres - Zoning: Scenic Highway Commercial (C-P-S). (Quasi-judicial)
- II. **PROJECT DESCRIPTION**  
The Conditional Use Permit proposal is for an existing unoccupied building totaling approximately 9,720 square-feet to be converted into a 4,088 square-foot convenience store and a 5,632 square-foot of shell leasable area. The convenience store would include a market/deli and the sale of alcoholic beverages including beer, wine and distilled spirits (Type 21). In addition, an approximately 650 square-foot storage facility will remain as storage. The applicant has also proposed 35 parking spaces. - APN: 438-230-027.
- III. **MEETING SUMMARY**  
The following staff presented the subject proposal:  
Project Planner: Wendell Bugtai: 951-955-2419 or e-mail [wbugtai@rcplma.org](mailto:wbugtai@rcplma.org).  
The following person(s) spoke in favor of the subject proposal:  
None  
There were no speakers in a neutral position or in opposition of the subject proposal.
- IV. **CONTROVERSIAL ISSUES**  
NONE
- V. **PLANNING COMMISSION ACTION**  
The Planning Commission, by a vote of 5-0, recommended to the Board of Supervisors;  
**DENIAL of CONDITIONAL USE PERMIT NO. 3622** based upon the findings and conclusions incorporated in the staff report.
- VI. **CD**  
The entire discussion of this agenda item can be found on CD. For a copy of the CD, please contact Desiree Bowle, Interim Planning Commission Secretary, at (951) 955-0222 or E-mail at [dbowle@rcplma.org](mailto:dbowle@rcplma.org).

**PLANNING COMMISSION**  
**MINUTE ORDER JULY 14, 2010**  
**EASTERN MUNICIPAL WATER DISTRICT**

**I. AGENDA ITEM 8.3: CONDITIONAL USE PERMIT NO. 3622** – No New Environmental Documentation Required - Applicant: Jeff Rahman - Engineer/ Representative: Jeff Rahman - Third Supervisorial District – Ramona Zoning District – San Jacinto Valley Area Plan: Community Development: Commercial Retail (CD:CR) (0.20 to 0.35 floor area ratio) - Location: Southerly of Florida Avenue, easterly of Columbia Street, westerly of Cornell Street, and northerly of Acacia Avenue – 0.6 Gross Acres - Zoning: Scenic Highway Commercial (C-P-S)

**II. PROJECT DESCRIPTION**  
The Conditional Use Permit proposal is for an existing unoccupied building totaling approximately 9,720 square-feet to be converted into a 4,088 square-foot convenience store and a 5,632 square-foot of shell leasable area. The convenience store would include a market/deli and the sale of alcoholic beverages including beer, wine and distilled spirits (Type 21). In addition, an approximately 650 square-foot storage facility will remain as storage. The applicant has also proposed 35 parking spaces. APN: 438-230-027. (Continued from 5/5/10).

**III. MEETING SUMMARY**  
The following staff presented the subject proposal:  
Project Planner: Wendell Bugtai at 951-955-2419 or email [wbugtai@rcplma.org](mailto:wbugtai@rcplma.org).

The following spoke in favor of the subject proposal:  
Jeff Rahman, The Applicant

There were no speakers in a neutral or opposition of the subject proposal:

**IV. CONTROVERSIAL ISSUES**  
NONE

**V. PLANNING COMMISSION ACTION**  
The Planning Commission, by a vote of 5-0; continued the subject proposal to August 18, 2010.

**VI. CD**  
The entire discussion of this agenda item can be found on CD. For a copy of the CD, please contact Desiree Bowie, Interim Planning Commission Secretary, at (951) 955-0222 or E-mail at [dbowie@rcplma.org](mailto:dbowie@rcplma.org)

**PLANNING COMMISSION**  
**MINUTE ORDER MAY 5, 2010**  
**RIVERSIDE COUNTY ADMINISTRATIVE CENTER**

**I. AGENDA ITEM 7.6: CONDITIONAL USE PERMIT NO. 3622** - No Further Environmental Documentation Required - Applicant: Jeff Rahman - Engineer/ Representative: Keith Gardner - Third Supervisorial District - Ramona Zoning District - San Jacinto Valley Area Plan: Community Development: Commercial Retail (CD:CR) (0.20 to 0.35 floor area ratio) - Location: Southerly of Florida Avenue, easterly of Columbia Street, westerly of Cornell Street, and northerly of Acacia Avenue - 0.6 Gross Acres - Zoning: Scenic Highway Commercial (C-P-S) - **APN: 438-230-027** - (Quasi-judicial)

**II. PROJECT DESCRIPTION**

The Conditional Use Permit proposal is for an existing unoccupied building totaling approximately 9,720 square-feet to be converted into a 4,088 square-foot convenience store and a 5,632 square-foot of shell leasable area. The convenience store would include a market/deli and the sale of alcoholic beverages including beer, wine and distilled spirits (Type 21). In addition, an approximately 650 square-foot storage facility will remain as storage. The applicant has also proposed 35 parking spaces.

**III. MEETING SUMMARY**

The following staff presented the subject proposal:  
Project Planner: Wendell Bugtai, Ph: (951) 955-2419, or E-mail [wbugtai@rcclma.org](mailto:wbugtai@rcclma.org)

The following spoke in favor of the subject proposal:  
Jeff Rahman, Applicant

The following spoke in opposition of the subject proposal:  
James Ollerton, 191 North Cornell Street, Hemet, CA 92544

There were no speakers in a neutral position of the subject proposal.

**IV. CONTROVERSIAL ISSUES**

1. Parking
2. Florida Avenue and Columbia Street improvements
3. Alcohol sales proximity to local church and pre-school
4. South property line wall plans
5. Landscaping for project
6. Architectural details / material color board

**V. PLANNING COMMISSION ACTION**

The Planning Commission, by a vote of 4-0 (Commissioner Zuppardo absent), continued the subject proposal to July 14, 2010.

**VI. CD**

The entire discussion of this agenda item can be found on CD. For a copy of the CD, please contact Chantell Griffin, Planning Commission Secretary, at (951) 955-3251 or E-mail at [cgriffin@rcclma.org](mailto:cgriffin@rcclma.org).

**PLANNING  
COMMISSION  
STAFF REPORT**

**SEPTEMBER 15, 2010**

Agenda Item No.:  
Area Plan: San Jacinto Valley  
Zoning District: Ramona  
Supervisory District: Third  
Project Planner: Wendell Bugtai  
Planning Commission: September 15, 2010  
Continued from: May 5, 2010, July 14, 2010

Conditional Use Permit 3622  
E.A./EIR Number: Exempt Per CEQA Section  
21061.3 "Infill Site"  
Applicant: Jeff Rahman  
Engineer/Representative: Jeff Rahman

## **COUNTY OF RIVERSIDE PLANNING DEPARTMENT STAFF REPORT**

### **PROJECT DESCRIPTION AND LOCATION:**

The Conditional Use Permit proposal is for an existing unoccupied building of approximately 4,000 square-feet to be converted into a convenience store. The convenience store would include a deli and the sale of alcoholic beverages including beer, wine and hard liquor. The property also includes an existing 4,000 square-foot mechanic shop to be converted into three separate retail lease areas and attached to the proposed convenience store, thus increasing the square footage by approximately 1,500 square-feet. In addition, the applicant has proposed 35 parking spaces.

The project is located southerly of Florida Avenue, easterly of Columbia Street, westerly of Cornell Street, and northerly of Acacia Avenue.

### **ISSUES OF POTENTIAL CONCERN:**

The project had been placed on the Planning Commission agenda on May 5, 2010 and July 14, 2010. There have been several key issues raised by the Planning Commission related to the project. These issues are as follows:

1. Florida Avenue and Columbia Street Improvements
2. Parking issues in relation to Florida Avenue
3. Alcohol Sales and the proximity to the surrounding Church and Pre-School
4. South Wall improvements
5. On and Off-site landscaping
6. Architectural Details – materials color board
7. 50-foot Setback from Florida Avenue Scenic Highway Corridor

The major issues related to the project can be attributed to site design and off-site improvements. The applicant has indicated through site design submittals that no further street improvements would be necessary given the on-site buildings currently exist. Several meetings have occurred between staff and the applicant which the applicant has stressed processing time and financial factors as a key contributor to moving the project forward. The applicant has since requested a DENIAL of the project in order to appeal the outstanding issues to the Board of Supervisors.

As of the writing of this report, staff has received landscape and wall plans as part of their submittal. The applicant has since made a payment in order to move the project forward and has stated that materials and color board are forthcoming.

### **SUMMARY OF FINDINGS:**

1. Existing General Plan Land Use (Ex. #5): Commercial Retail (CR)
2. Surrounding General Plan Land Use (Ex. #5): City of Hemet to the north and west  
Commercial Retail (CR) to the east and south

3. Existing Zoning (Ex. #2): Scenic Highway Commercial (C-P-S)
4. Surrounding Zoning (Ex. #2): City of Hemet to the north and west  
Scenic Highway Commercial (C-P-S) to the east  
and west
5. Existing Land Use (Ex. #1): Vacant commercial buildings
6. Surrounding Land Use (Ex. #1): North: City of Hemet  
East: Vacant  
South: Single Family Residence  
West: City of Hemet
7. Project Data: Total Acreage: 0.67-acres
8. Environmental Concerns: CEQA Exempt per Section 21061.3

**RECOMMENDATIONS:**

**DENIAL of CONDITIONAL USE PERMIT No. 3622** based upon the findings and conclusions incorporated in the staff report.

**CONCLUSIONS:**

1. The proposed project is in conformance with the Community Development : Commercial Retail (CD:CR) Land Use Designation, and with all other elements of the Riverside County General Plan.
2. The proposed project is consistent with the Scenic Highway Commercial (C-P-S) zoning classification of Ordinance No. 348, and with all other applicable provisions of Ordinance No. 348.
3. The public's health, safety, and general welfare are not protected through project design.
4. The proposed project is clearly not compatible with the present and future logical development of the area.
5. The proposed project will not have a significant effect on the environment.
6. The proposed project will not preclude reserve design for the Multi-Species Habitat Conservation Plan (MSHCP).

**FINDINGS:** The following findings are in addition to those incorporated in the summary of findings and in the attached environmental assessment, which is incorporated herein by reference.

1. The project site is designated Community Development : Commercial Retail (CD:CR) on the San Jacinto Valley Area Plan.
2. The proposed use, a convenience and liquor store with retail office, is a permitted use in the Community Development : Commercial Retail (CD:CR) designation.
3. The project site is surrounded by properties which are designated Community Development : Commercial Retail (CD:CR) to the east and south and the City of Hemet to the north and west.

4. The public's health, safety and general welfare through the proposed use, convenience and liquor store with retail office, will not be protected through project design. The current site plan which provides no street improvements will be a major safety issue for Planning Staff along Florida Avenue and Columbia Street.
5. The proposed use is clearly not compatible with the present or future logical development of the area. Street improvements have been and will be requested for past and future projects which will require right-of-way improvements within the area. The lack of street improvements along a major intersection such as Florida Avenue and Columbia Street pose a major concern for the logical development of the surrounding area.
6. The zoning for the subject site is Scenic Highway Commercial (C-P-S) zoning.
7. The proposed use, a convenience and liquor store with retail office, is a permitted use, subject to approval of a conditional use permit, in the Scenic Highway Commercial (C-P-S) zone.
8. The proposed use, a convenience and liquor store with retail office, is consistent with the development standards set forth in the Scenic Highway Commercial (C-P-S) zone.
9. The project site is surrounded by properties which are zoned Scenic Highway Commercial (C-P-S) and the City of Hemet.
10. Residential and Commercial uses have been constructed and are operating in the project vicinity.
11. The proposed use, sale of Beer and Wine for Off Premises Consumption, is a permitted use in the Scenic Highway Commercial (C-P-S) zoning classification subject to the approval of a Conditional Use Permit.
12. The year 2000 census population for census tract 433.10 was 4,582 persons according to the US Census Bureau (Census 2000 Summary File 3).
13. The maximum concentration level for General Liquor License (type 21) is combined with Beer and Wine (Type 20) and limited to one per 1,250 people by census tract (Alcoholic Beverage Control Act: California Business and Professions Code 23817.5)
14. Three (3) combined (Type 20 and Type 21) licenses are currently issued in Census Tract 433.10. There are approximately 0.79 licenses per 1,250 persons. Alcohol Beverage Control has indicated that there are two (2) Type 20 and Type 21 licenses allowed within census tract 433.10.
15. The project site is consistent with the objectives of Section 18.48 (Alcoholic Beverage Sales) of Ordinance No. 348.
16. No schools are located within 1,000 feet from the proposed project.
17. The project is located within 100 feet of existing and habited residences.
18. The project is not located within 1,000 feet of an existing or planned public park and/or playground.
19. The project is located within 1,000 feet of an existing or established place or religious worship.

20. The proposed project provides public necessity and convenience for the residents of the surrounding community.

**INFORMATIONAL ITEMS:**

1. As of this writing, one (1) letters in support and one (1) letter in opposition have been received.
2. The project site is not located within:
  - a. A Redevelopment Area
  - b. A 100-year flood plain, an area drainage plan, or dam inundation area.
  - c. The Stephens Kangaroo Rat Fee Area or Core Reserve Area.
  - d. California Gnatcatcher, Quino Checkerspot Butterfly habitat.
  - e. Specific Plan
  - f. Agricultural Preserve
3. The project site is locate within:
  - a. The boundaries of the San Jacinto Valley Area Plan.
  - b. The city of Hemet sphere of influence.
  - c. Florida Avenue Corridor Policy Area
  - d. Hemet Unified School District
4. The subject site is currently designated as Assessor's Parcel Number 438-230-027.
5. This project was filed with the Planning Department on April 23, 2009.
6. This project was reviewed by the Land Development Committee one (1) times on the following date June 18, 2009.
7. Deposit Based Fees charged for this project, as of the time of staff report preparation, total \$32,896.14.

Y:\Planning Case Files-Riverside office\CUP03622\CUP 3622 - Staff Report 8-18-10.doc

Date Prepared: 01/01/01

Date Revised: 6/08/09 by RJuarez

**PLANNING  
COMMISSION  
STAFF REPORT  
JULY 14, 2010**

Agenda Item No.:  
Area Plan: San Jacinto Valley  
Zoning District: Ramona  
Supervisory District: Third  
Project Planner: Wendell Bugtai  
Planning Commission: July 14, 2010  
Continued from: May 5, 2010

Conditional Use Permit 3622  
E.A./EIR Number: Exempt Per CEQA Section  
21061.3 "Infill Site"  
Applicant: Jeff Rahman  
Engineer/Representative: Jeff Rahman

## COUNTY OF RIVERSIDE PLANNING DEPARTMENT STAFF REPORT

### PROJECT DESCRIPTION AND LOCATION:

The Conditional Use Permit proposal is for an existing unoccupied building of approximately 4,000 square-feet to be converted into a convenience store. The convenience store would include a deli and the sale of alcoholic beverages including beer, wine and hard liquor. The property also includes an existing 4,000 square-foot mechanic shop to be converted into three separate retail lease areas and attached to the proposed convenience store, thus increasing the square footage by approximately 1,500 square-feet. In addition, the applicant has proposed 35 parking spaces.

The project is located southerly of Florida Avenue, easterly of Columbia Street, westerly of Cornell Street, and northerly of Acacia Avenue.

### ISSUES OF POTENTIAL CONCERN:

During the May 5, 2010 Planning Commission, there were several issues that were raised by the Planning Commission as it relates to the project. These issues are as follows:

1. Florida Avenue and Columbia Street Improvements
2. Parking issues in relation to Florida Avenue
3. Alcohol Sales and the proximity to the surrounding Church and Pre-School
4. South Wall Improvements
5. On and Off-site landscaping
6. Architectural Details – materials color board
7. 50-foot Setback from Florida Avenue Scenic Highway Corridor

As of the writing of this report staff has not received any of the requested materials listed above. The applicant has since made a payment in order to move the project forward and has stated that all requested plans are forthcoming.

### SUMMARY OF FINDINGS:

- |  |  |
|--|--|
| 1. Existing General Plan Land Use (Ex. #5):    | Commercial Retail (CR)   |
| 2. Surrounding General Plan Land Use (Ex. #5): | City of Hemet to the north and west<br>Commercial Retail (CR) to the east and south              |
| 3. Existing Zoning (Ex. #2):                   | Scenic Highway Commercial (C-P-S)  |
| 4. Surrounding Zoning (Ex. #2):                | City of Hemet to the north and west<br>Scenic Highway Commercial (C-P-S) to the east<br>and west |
| 5. Existing Land Use (Ex. #1):                 | Vacant commercial buildings  |
| 6. Surrounding Land Use (Ex. #1):              | North: City of Hemet<br>East: Vacant   |

South: Single Family Residence  
West: City of Hemet

Total Acreage: 0.67-acres

CEQA Exempt per Section 21061.3

7. Project Data:
8. Environmental Concerns:

**RECOMMENDATIONS:**

**CONTINUANCE WITH DISCUSSION OFF-CALENDAR**

**CONCLUSIONS:**

1. The proposed project is in conformance with the Community Development : Commercial Retail (CD:CR) Land Use Designation, and with all other elements of the Riverside County General Plan.
2. The proposed project is consistent with the Scenic Highway Commercial (C-P-S) zoning classification of Ordinance No. 348, and with all other applicable provisions of Ordinance No. 348.
3. The public's health, safety, and general welfare are protected through project design.
4. The proposed project is clearly compatible with the present and future logical development of the area.
5. The proposed project will not have a significant effect on the environment.
6. The proposed project will not preclude reserve design for the Multi-Species Habitat Conservation Plan (MSHCP).

**FINDINGS:** The following findings are in addition to those incorporated in the summary of findings and in the attached environmental assessment, which is incorporated herein by reference.

1. The project site is designated Community Development : Commercial Retail (CD:CR) on the San Jacinto Valley Area Plan.
2. The proposed use, a convenience and liquor store with retail office, is a permitted use in the Community Development : Commercial Retail (CD:CR) designation.
3. The project site is surrounded by properties which are designated Community Development : Commercial Retail (CD:CR) to the east and south and the City of Hemet to the north and west.
4. The zoning for the subject site is Scenic Highway Commercial (C-P-S) zoning.
5. The proposed use, a convenience and liquor store with retail office, is a permitted use, subject to approval of a conditional use permit, in the Scenic Highway Commercial (C-P-S) zone.
6. The proposed use, a convenience and liquor store with retail office, is consistent with the development standards set forth in the Scenic Highway Commercial (C-P-S) zone.

7. The project site is surrounded by properties which are zoned Scenic Highway Commercial (C-P-S) and the City of Hemet.
8. Residential and Commercial uses have been constructed and are operating in the project vicinity.
9. The proposed use, sale of Beer and Wine for Off Premises Consumption, is a permitted use in the Scenic Highway Commercial (C-P-S) zoning classification subject to the approval of a Conditional Use Permit.
10. The year 2000 census population for census tract 433.10 was 4,582 persons according to the US Census Bureau (Census 2000 Summary File 3).
11. The maximum concentration level for General Liquor License (type 21) is combined with Beer and Wine (Type 20) and limited to one per 1,250 people by census tract (Alcoholic Beverage Control Act: California Business and Professions Code 23817.5)
12. Three (3) combined (Type 20 and Type 21) licenses are currently issued in Census Tract 433.10. There are approximately 0.79 licenses per 1,250 persons. Alcohol Beverage Control has indicated that there are two (2) Type 20 and Type 21 licenses allowed within census tract 433.10.
13. The project site is consistent with the objectives of Section 18.48 (Alcoholic Beverage Sales) of Ordinance No. 348.
14. No schools are located within 1,000 feet from the proposed project.
15. The project is located within 100 feet of existing and habited residences.
16. The project is not located within 1,000 feet of an existing or planned public park and/or playground.
17. The project is located within 1,000 feet of an existing or established place or religious worship.
18. The proposed project provides public necessity and convenience for the residents of the surrounding community.

**INFORMATIONAL ITEMS:**

1. As of this writing, no letters, in support or opposition have been received.
2. The project site is not located within:
  - a. A Redevelopment Area
  - b. A 100-year flood plain, an area drainage plan, or dam inundation area.
  - c. The Stephens Kangaroo Rat Fee Area or Core Reserve Area.
  - d. California Gnatcatcher, Quino Checkerspot Butterfly habitat.
  - e. Specific Plan
  - f. Agricultural Preserve
3. The project site is locate within:
  - a. The boundaries of the San Jacinto Valley Area Plan.
  - b. The city of Hemet sphere of influence.

- c. Florida Avenue Corridor Policy Area
  - d. Hemet Unified School District
4. The subject site is currently designated as Assessor's Parcel Number 438-230-027.
  5. This project was filed with the Planning Department on April 23, 2009.
  6. This project was reviewed by the Land Development Committee one (1) times on the following date June 18, 2009.
  7. Deposit Based Fees charged for this project, as of the time of staff report preparation, total \$17,296.14.

Y:\Planning Case Files-Riverside office\CUP03622\CUP 3622 - Staff Report 4-7-10.doc

Date Prepared: 01/01/01

Date Revised: 6/08/09 by RJuarez

PLANNING  
COMMISSION  
STAFF REPORT

MAY 5, 2010

4Agenda Item No.:  
Area Plan: San Jacinto Valley  
Zoning District: Ramona  
Supervisory District: Third  
Project Planner: Wendell Bugtai  
Planning Commission: May 5, 2010

Conditional Use Permit 3622  
E.A./EIR Number: Exempt Per CEQA Section  
21061.3 "Infill Site"  
Applicant: Jeff Rahman  
Engineer/Representative: Jeff Rahman

## COUNTY OF RIVERSIDE PLANNING DEPARTMENT STAFF REPORT

### PROJECT DESCRIPTION AND LOCATION:

The Conditional Use Permit proposal is for an existing unoccupied building of approximately 4,000 square-feet to be converted into a convenience store. The convenience store would include a deli and the sale of alcoholic beverages including beer, wine and hard liquor. The property also includes an existing 4,000 square-foot mechanic shop to be converted into three separate retail lease areas and attached to the proposed convenience store, thus increasing the square footage by approximately 1,500 square-feet. In addition, the applicant has proposed 35 parking spaces.

The project is located southerly of Florida Avenue, easterly of Columbia Street, westerly of Cornell Street, and northerly of Acacia Avenue.

### SUMMARY OF FINDINGS:

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City of Hemet to the north and west
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City of Hemet to the north and west
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5. Existing Land Use (Ex. #1): Vacant commercial buildings  
North: City of Hemet  
East: Vacant  
South: Single Family Residence  
West: City of Hemet
6. Surrounding Land Use (Ex. #1): Total Acreage: 0.67-acres
7. Project Data: CEQA Exempt per Section 21061.3
8. Environmental Concerns:

### RECOMMENDATIONS:

APPROVAL of Conditional Use Permit 3622, subject to the attached conditions of approval, and based upon the findings and conclusions incorporated in the staff report.

### CONCLUSIONS:

1. The proposed project is in conformance with the Community Development : Commercial Retail (CD:CR) Land Use Designation, and with all other elements of the Riverside County General Plan.

2. The proposed project is consistent with the Scenic Highway Commercial (C-P-S) zoning classification of Ordinance No. 348, and with all other applicable provisions of Ordinance No. 348.
3. The public's health, safety, and general welfare are protected through project design.
4. The proposed project is clearly compatible with the present and future logical development of the area.
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**FINDINGS:** The following findings are in addition to those incorporated in the summary of findings and in the attached environmental assessment, which is incorporated herein by reference.

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18. The proposed project provides public necessity and convenience for the residents of the surrounding community.

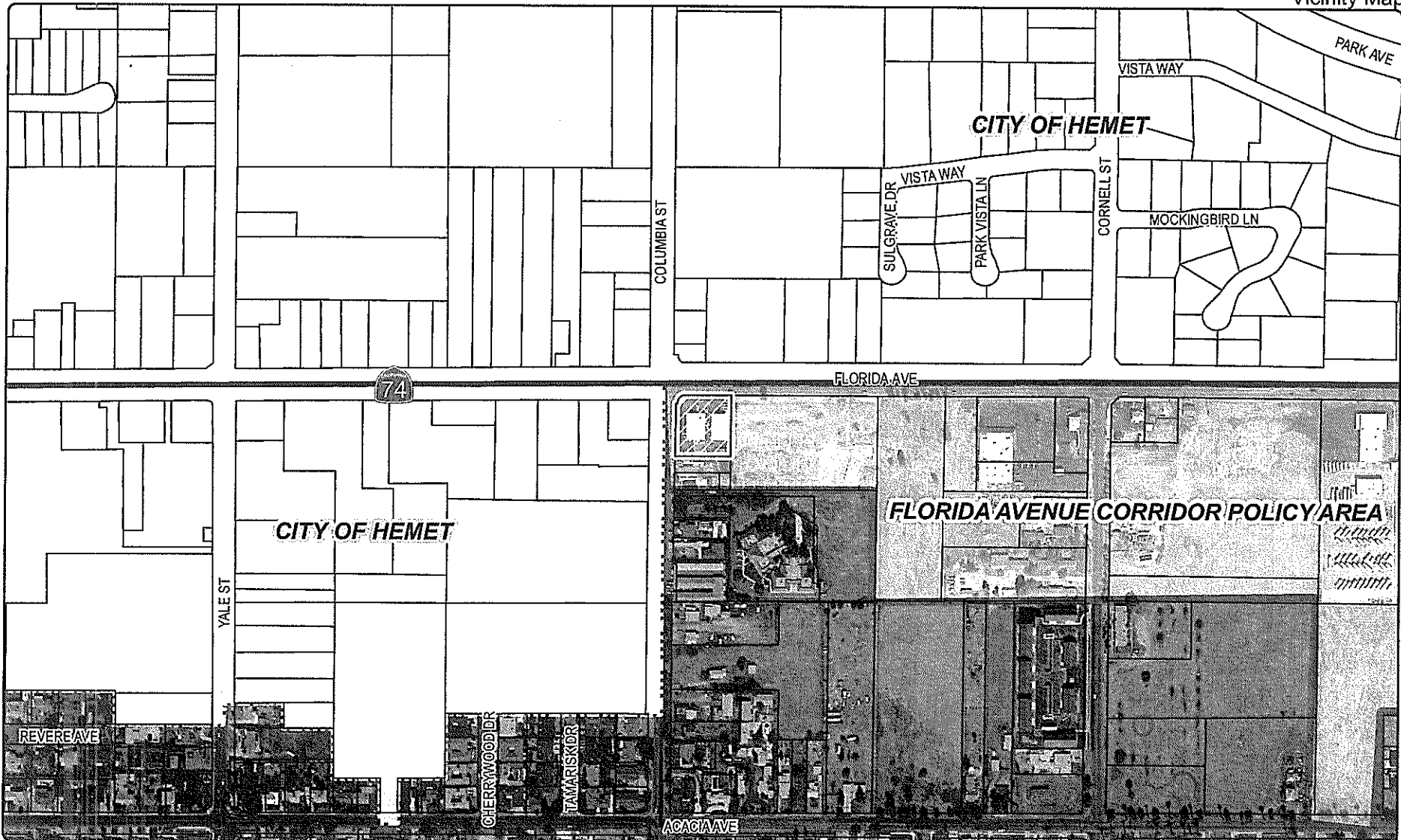
**INFORMATIONAL ITEMS:**

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2. The project site is not located within:
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**RIVERSIDE COUNTY PLANNING DEPARTMENT  
CUP03622  
VICINITY/POLICY AREAS**

Supervisor Stone  
District 3

Date Drawn: 2/16/2010  
Vicinity Map



Zoning District: Ramona  
Township/Range: T5SR1W  
Section: 12

Assessors Bk. Pg. 438-23  
Thomas Bros. Pg. 811 D7  
Edition 2009



DISCLAIMER: On October 7, 2003, the County of Riverside adopted a new General Plan providing new land use designations for unincorporated Riverside County parcels. The new General Plan may contain different types of land use than is provided for under existing zoning. For further information, please contact the Riverside County Planning Department offices in Riverside at (951) 955-3200 (Western County), or in Indio at (760) 863-8277 (Eastern County) or website at <http://www.lima.co.riverside.ca.us/index.html>



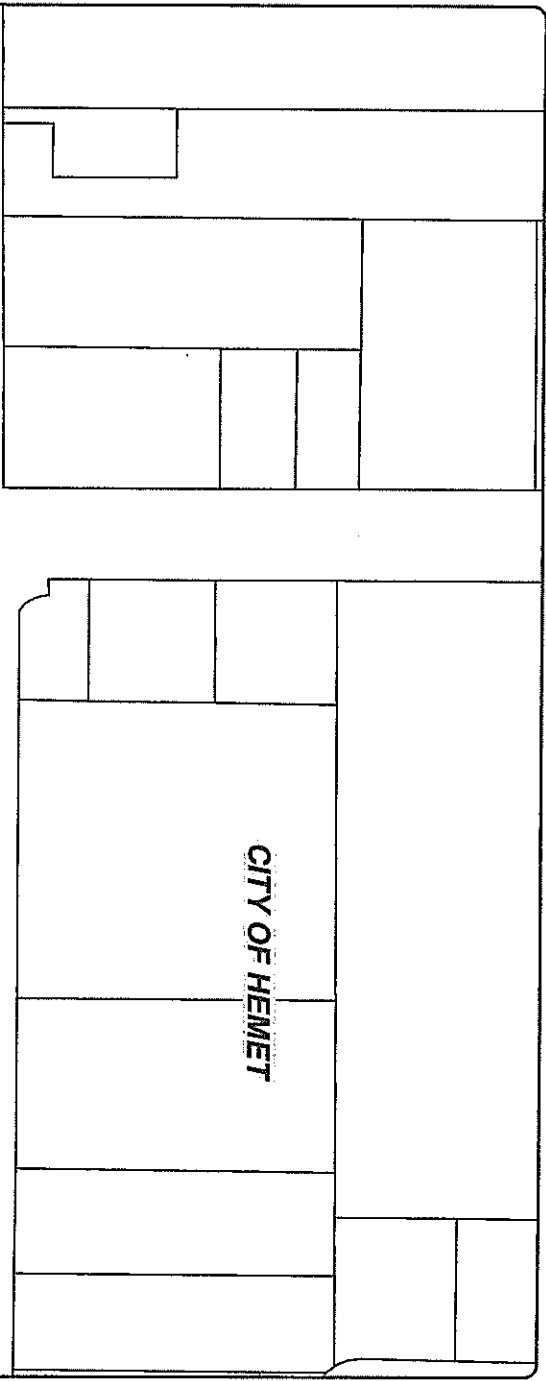
RIVERSIDE COUNTY PLANNING DEPARTMENT

CUP03622

EXISTING ZONING

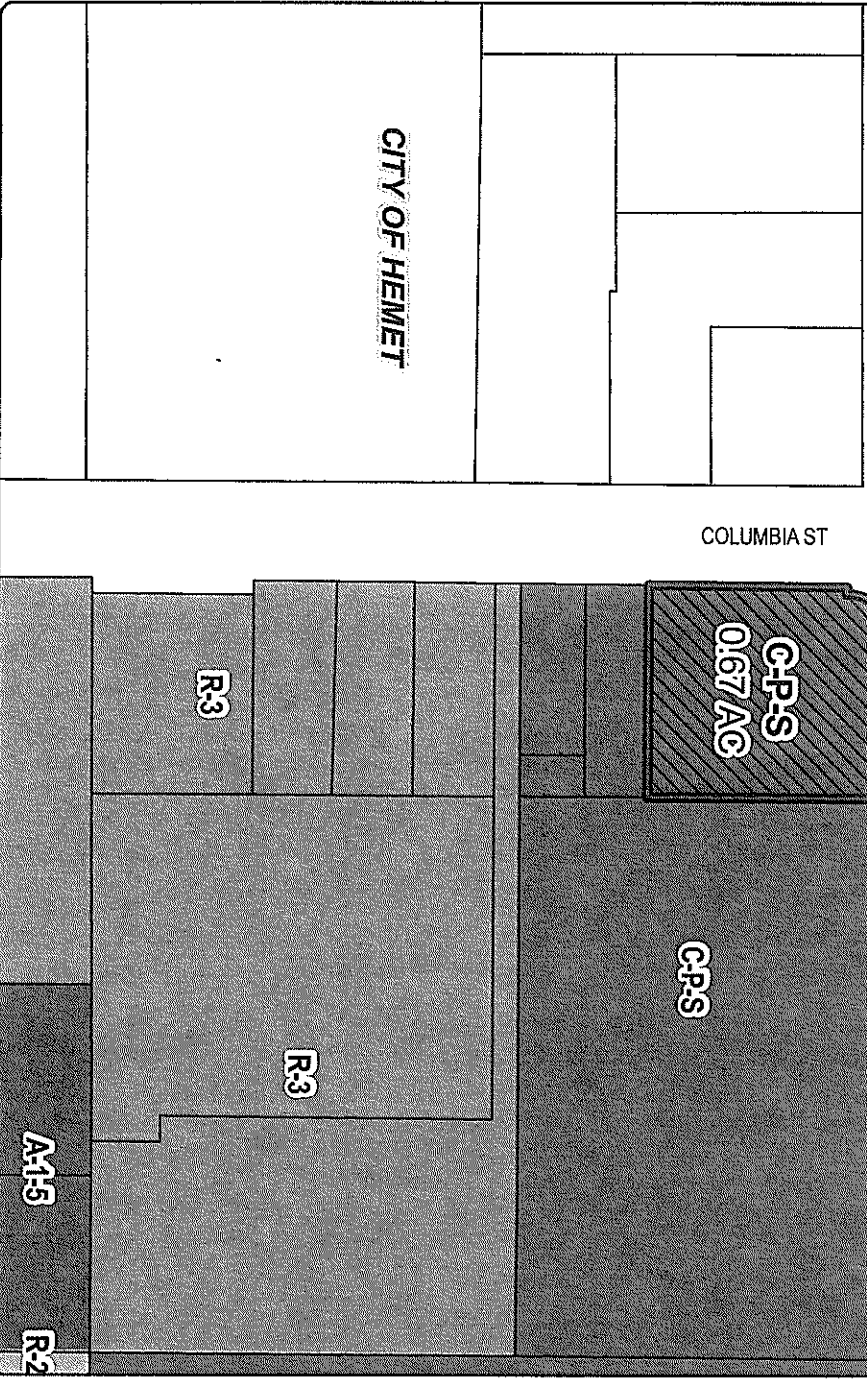
Supervisor Stone  
District 3

Date Drawn: 2/16/2010  
Exhibit 2



FLORIDA AVE

COLUMBIA ST



Zoning District: Ramona  
Township/Range: T5SR1W  
Section: 12



Assessors Bk. Pg. 438-23  
Thomas Bros. Pg. 811 D7  
Edition 2009

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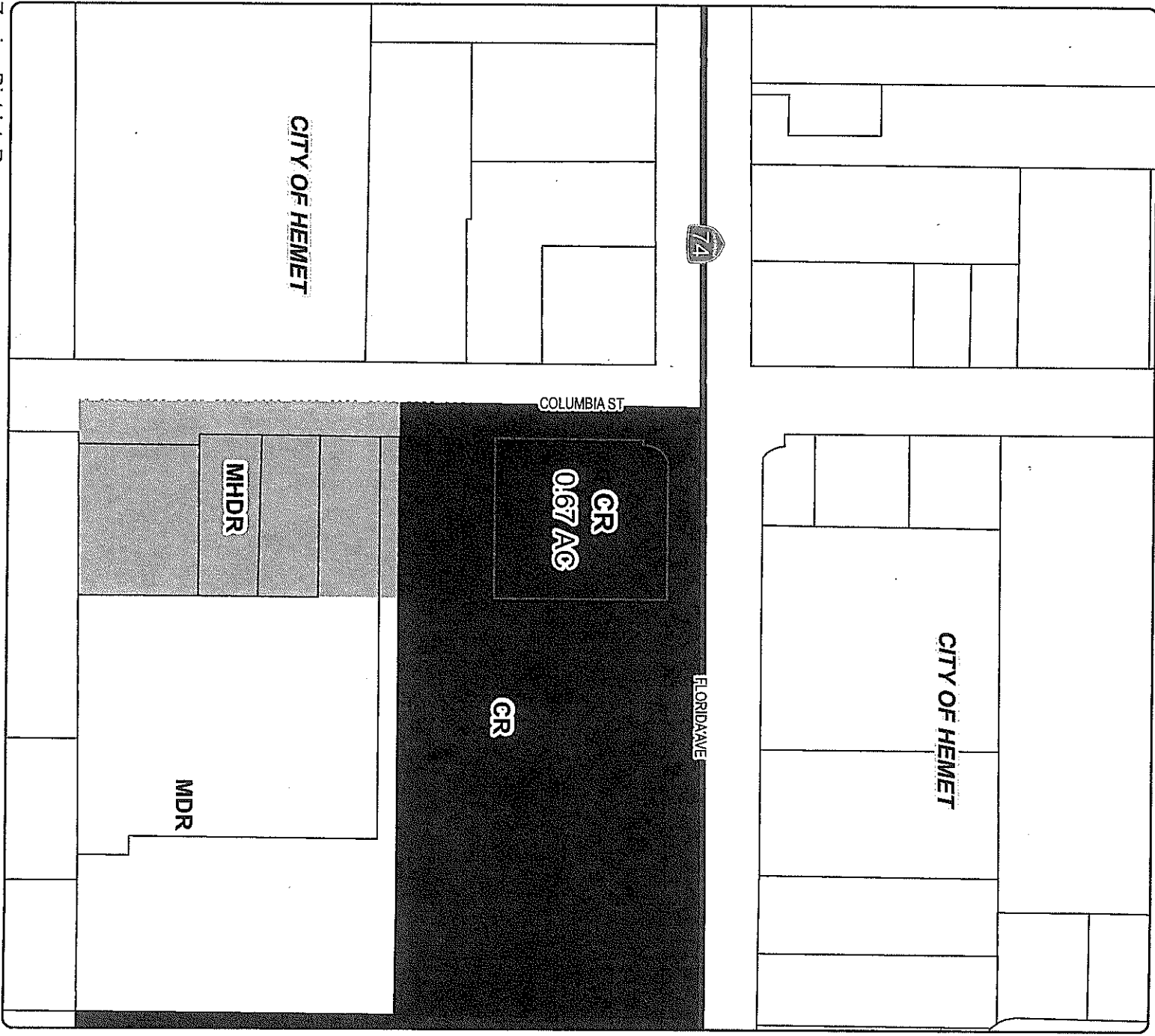
RIVERSIDE COUNTY PLANNING DEPARTMENT

CUP03622

EXISTING GENERAL PLAN

Date Drawn: 2/16/2010  
Exhibit 5

Supervisor Stone  
District: 3



Zoning District: Ramona  
Township/Range: T5SR1W  
Section: 12

Assessors Bk. Pg. 438-23  
Thomas Bros. Pg. 811 D7  
Edition 2009



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FD 21 BRASS SIGN ON 06, RE: REF. ACCEPTED AS  
CENTERLINE OF INTERSECTION FOR MP 44.7 04-20

# FLORIDA AVENUE

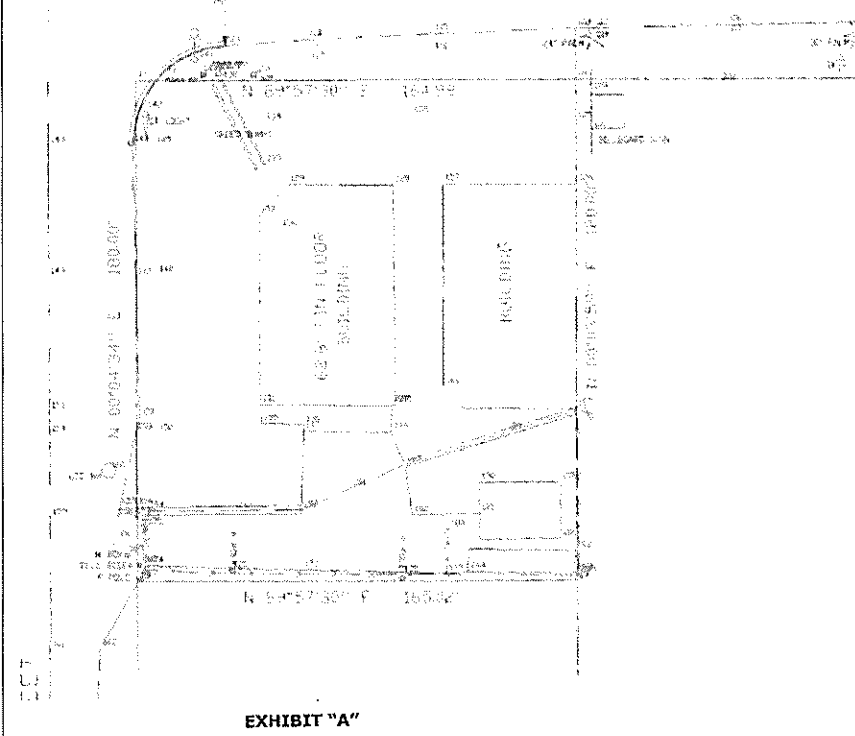


EXHIBIT "A"

All that certain real property situated in the County of Riverside, State of California, described as follows:

**Parcel 1:**

The Northerly 140 feet of the Westerly 50 feet of Lot 2 in Block 112 of the Lands of Hemet Land Company, in the County of Riverside, State of California, as shown by Map on file in Book 1, Page 14, of Maps, Official Records of Riverside County, California.

For the purpose of this description the measurement are measured from the side lines of Florida Avenue and Columbia Street.

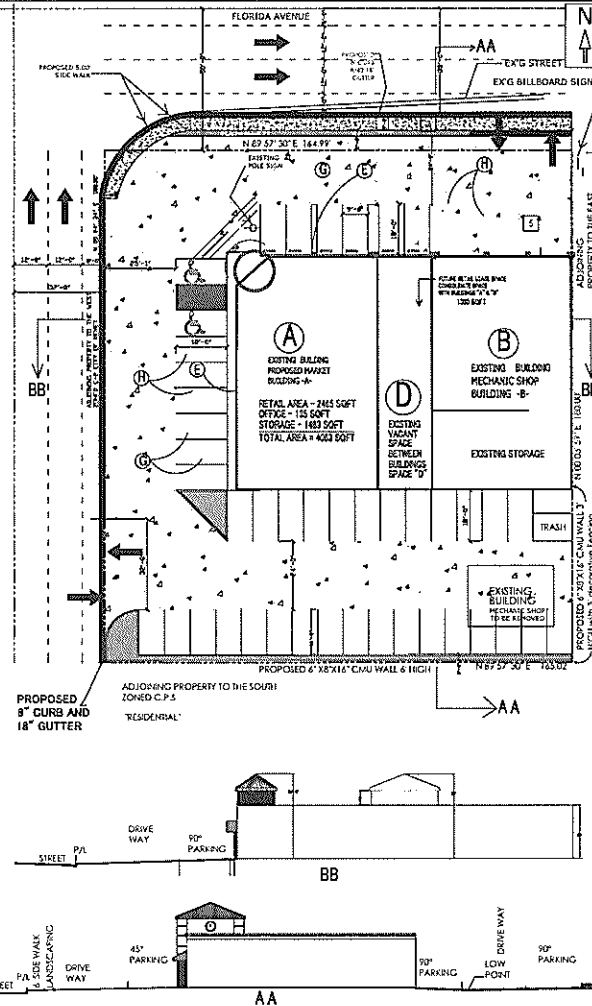
**Parcel 2:**

The Northerly 230 feet of the Westerly Half of Lot 2, in Block 112 of the Lands of the Hemet Land Company, in the County of Riverside, State of California, as shown by Map on file in Book 1, Page 14, of Maps, Official Records of Riverside County, California; said distance of 230 feet being measured from the center line of Florida Avenue.

Excepting therefrom the Easterly 132 feet.

Also excepting therefrom the westerly 140 feet of the Westerly 50 feet, measured from the side lines of Florida Avenue and Columbia Street.

Also excepting therefrom those portions in Florida Avenue and Columbia Street.



- (A) RETAIL AREA - 2465 SQFT    PARKING REQUIRED = 2465/209 = 12.33 PARKING SPACES = 12 SPACES  
OFFICE - 135 SQFT = 135/500 = 27 parking spaces  
STORAGE - 1463 SQFT + 135 office = 1598/1000 = 1.598 parking spaces  
TOTAL AREA = 4063 SQFT
- (B) CONSOLIDATED SPACE 'B'  
RETAIL AREA - 2741 SQFT    PARKING REQUIRED = 2741/150 = 18.27 PARKING SPACES  
STORAGE - 1454 SQFT    parking required = 1454/1000 = 1.454 parking spaces  
4195 SQFT
- (D) CONSOLIDATED SPACE 'D'  
RETAIL AREA - 1350    PARKING REQUIRED = 1350/200 SQFT = 6.75 PARKING SPACES

TOTAL PARKING REQUIRED 41 PARKING SPACES PLUS 2 HANDICAP PARKING SPACES WITH AT LEAST ONE VAN ACCESSIBLE  
TOTAL PARKING PROVIDED 42 PARKING SPACES PLUS 2 HANDICAP PARKING SPACES VAN ACCESSIBLE

OTHER	PROPERTY OWNER AND INVESTORS 415 NORTH SANTA FE MESA, CA 92584 760-473-3735
APPLICANT	APPLICANT: JEFF KAHMAN 951-536-6293 ADDRESS SAME AS PROPERTY OWNER
PARCEL DATA	PARCEL # 438-020-007 LOT AREA = .75 ACRE PROPERTY ZONED C.P.S. THIS PROJECT IS NOT WITHIN ANY SPECIFIC PLAN NO EASEMENTS
BUILDING DATA	BUILDING 'A' - EXISTING PREVIOUS USE - RETAIL AUTO PARTS PROPOSED USE - RETAIL VIGOR MART AREA = 4064 SQ FT HEIGHT = 17' EXISTING STEEL FRAME CONSTRUCTION NO CHANGE TO STRUCTURAL FRAME SYSTEM EXISTING STEEL PANELS FACADE PROPOSED FACE LIFT STUCCO AND AWNING PROPOSED TOILET ROOMS UPGRADE PROPOSED RENOV IMPROVEMENTS WORKS
	BUILDING 'B' - EXISTING PREVIOUS USE - RETAIL AUTO PARTS AREA = 4064 SQ FT HEIGHT = 17' EXISTING STEEL FRAME CONSTRUCTION NO CHANGE TO STRUCTURAL FRAME SYSTEM EXISTING STEEL PANELS FACADE EXISTING CHAIR LIFT WALL TO REMAIN PROPOSED FACE LIFT STUCCO AND AWNING PROPOSED TOILET ROOMS UPGRADE PROPOSED RENOV IMPROVEMENTS WORKS
	BUILDING 'C' - EXISTING PREVIOUS USE - RETAIL AUTO PARTS PROPOSED TO BE REMOVED AREA = 4152 SQ FT HEIGHT = 17' EXISTING STEEL FRAME CONSTRUCTION NO CHANGE TO STRUCTURAL FRAME SYSTEM EXISTING STEEL PANELS FACADE TO BE REMOVED
	SPACE 'D' - EXISTING FREE SPACE VACUUM SPACE BETWEEN BUILDINGS A & B 1370 SQ FT
	EXISTING CURB PER RIVERSIDE COUNTY STANDARDS EXISTING ASPHALT SIDEWALK ADA ACCESSIBLE SIDEWALK ADA ACCESSIBLE 4' WIDE 45° DIAGONAL STAIRS AT 30" O.C. 6" HIGH PRE-CAST CONCRETE WHEEL STOPS TYP STANDARD PARKING STALLS

AREA = 0.75 ACRES  
AREA = 32,670 SF

DRAWING SCALE:  
1" = 20'

**NOTES:**

FLORIDA AVENUE HWY 74

PROJECT ADDRESS: 438 N HWY 74 HEMET CA 92584

APR 438-020-007  
SHOWAS BROTHERS - BOOK 438 PAGE 23  
SCHOOL DISTRICT: HEMET UNIFIED SCHOOL DISTRICT  
WATER DISTRICT: LAKE HEMET WATER  
SEWER: JEFFCO

(A) AREA = 4064 SQ FT  
(B) AREA = 4064 SQ FT  
(C) AREA = 4152 SQ FT  
(D) AREA = 1370 SQ FT

DATE: 04/20/2019  
DRAWN BY: JPK  
SCALE: 1" = 20'

REVISIONS / ISSUED FOR

**APECO ENGINEERING GROUP, INC**

228 N STATE STREET  
HEMET CA 92543  
TEL: 951-536-6293  
CELL: 760-473-3735  
FAX: 951-536-6291  
CELL: 760-481-4217

PROJECT TITLE:  
PROPOSED MARKET/RETAIL PLAZA  
415 NORTH SANTA FE  
HEMET CA 92584  
TEL: 951-536-6293

PROPERTY OWNER/CLIENT NAME:  
RAHO B INVESTMENTS  
415 NORTH SANTA FE  
HEMET CA 92584  
TEL: 951-536-6293

SCOPE:  
ARCHITECTURAL/PLANNING

DRAWING TITLE:  
SITE PLAN

DATE: 04/20/2019  
JOB # 438-020-007

DRAWN BY: JPK  
SCALE: 1" = 20'

PROJECT NUMBER: 09-101  
DRAWING NUMBER: SP-101

PROPERTY OWNER/ CLIENT NAME:  
R AND B INVESTMENTS  
415 NORTH SANTA FE  
VISTA, CA 92084  
760-497-5785

PROJECT TITLE:  
PROPOSED MARKET/ RETAIL PLAZA  
41007 HIGHWAY 74  
HEMET CA 92344  
TEL. 951-538-0085

**APECO**

**ENGINEERING**

**GROUP, INC**

399 H STATE STREET  
HEMET CA 92343  
TEL: 951 682 8891  
CELL: 760 497 5785

FAX: 951 682 8891

CELL: 760 497 4827

**PLAN CHECK RESPONSE**

ITEM 5:  
PLEASE SEE SITE PLAN DWG, SCALE 1" = 20'  
ARCHITECTURAL DWGS SCALE 3/16" = 1'

ITEM 9:  
PLEASE SEE SITE PLAN DWG SP-101 DWG EXPLAIN  
PROJECT SCOPE, EXG AND PROPOSED.

ITEM 10:  
PLEASE SEE SITE PLAN DWG SP-101 DWG  
LEGAL DESCRIPTION PROVIDED EXHIBIT "A"

ITEM 11:  
PLEASE SEE SITE PLAN DWG SP-101 DWG

ITEM 12:

PLEASE SEE SITE PLAN DWG SP-101 DWG

ITEM 14:

PLEASE SEE SITE PLAN DWG SP-101 DWG

ITEM 22:

PLEASE SEE SITE PLAN DWG SP-101 DWG

ITEM 23:

PLEASE NOTE THAT EXG UTILITIES TO REMAIN WITHOUT CHANGES.

ITEM 24:

PLEASE NOTE THAT EXG ROADS AND ENTRANCES TO REMAIN WITHOUT CHANGES.  
EXG UTILITIES, POLES, TRANSMISSION LINES ARE TO REMAIN WITHOUT CHANGES.

ITEM 25:

PLEASE SEE SITE SURVEY ON DWG SP-101, THERE ARE NO EASEMENTS.

PLEASE SEE REVISED SITE PLAN, EXG DEDICATION TO FLORIDA ST ROW. SEE LOCATION ON DWG

ITEM 27:

PROJECT IS NOT WITHIN COMMUNITY SERVICE DISTRICT.

ITEM 28:

THERE ARE NO STREET IMPROVEMENTS

ITEM 29:

PLEASE SEE REVISED SITE PLAN, EXG DEDICATION TO FLORIDA ST ROW. SEE LOCATION ON DWG

PLEASE NOTE THAT BUILDINGS ARE EXISTING EXCEPT FOR THE ADDITION BETWEEN THE TWO STRUCTURES.

ITEM 39:

PLEASE SEE REVISED SITE PLAN DWG SP-101

PLEASE SEE DETAILED USE SPECIFICATION DWG SP-101

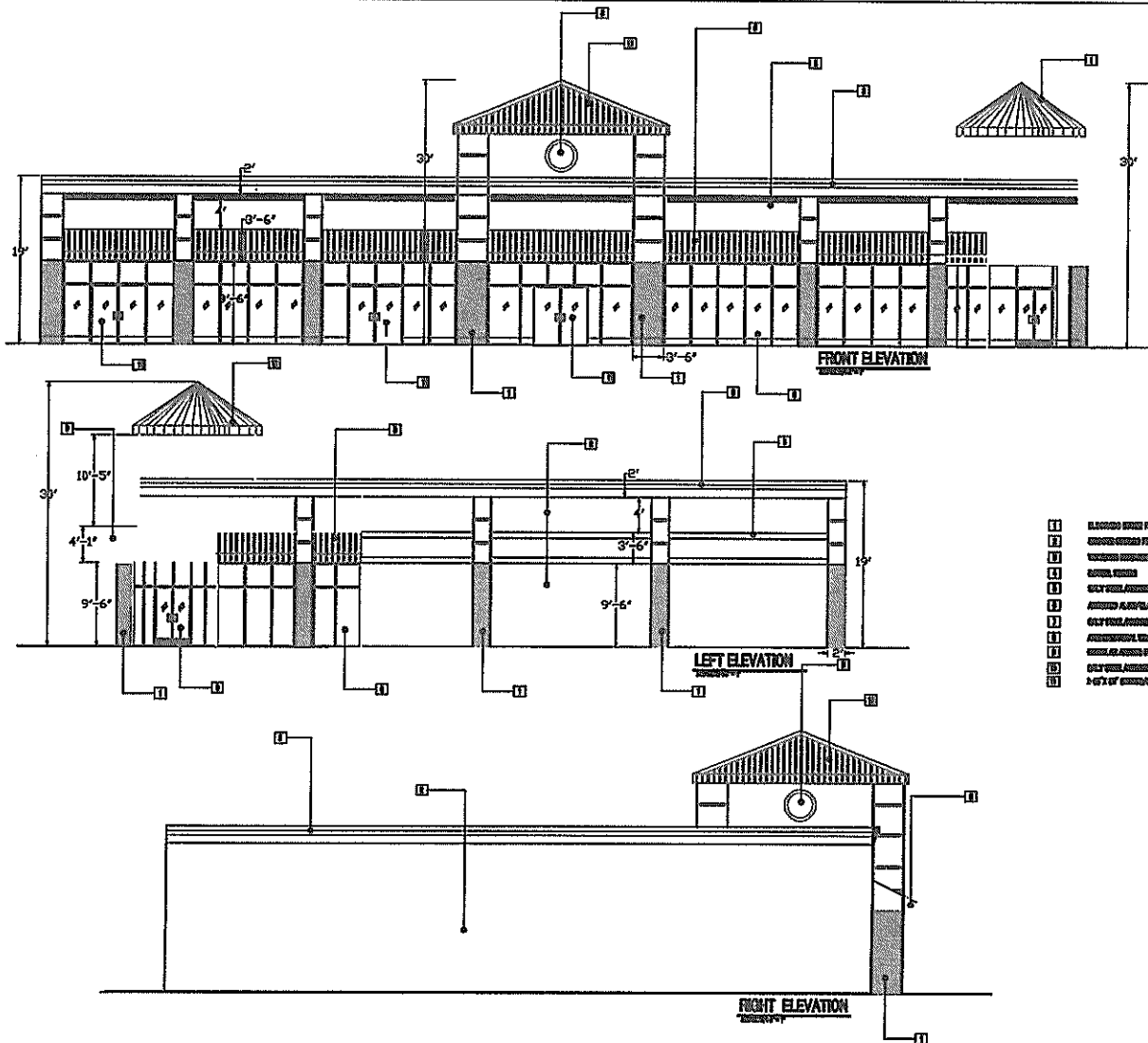
ITEM 42:

PLEASE SEE REVISED SITE PLAN DWG SP-101

SEE PROPOSED PARKING SPACES, NUMBERING AND ADA PARKING

SEE REVISED SITE PLANS SHOWING DIMENSIONS





**NOTES:**

- 1 ELECTRIC SERVICE PANEL
- 2 AIR-CONDITIONING SYSTEM
- 3 TELEPHONE EQUIPMENT
- 4 CONTROL PANELS
- 5 ONLY VENEER APPLICABLE TO EXTERIOR WALLS
- 6 APPLICABLE TO EXTERIOR WALLS
- 7 ONLY VENEER APPLICABLE TO EXTERIOR WALLS
- 8 APPLICABLE TO EXTERIOR WALLS
- 9 ONLY VENEER APPLICABLE TO EXTERIOR WALLS
- 10 ONLY VENEER APPLICABLE TO EXTERIOR WALLS
- 11 2-6" X 8" BRICK VENEER - EXTERIOR WALLS



NO.	DATE	DESCRIPTION

DESIGNED / DRAWN FOR

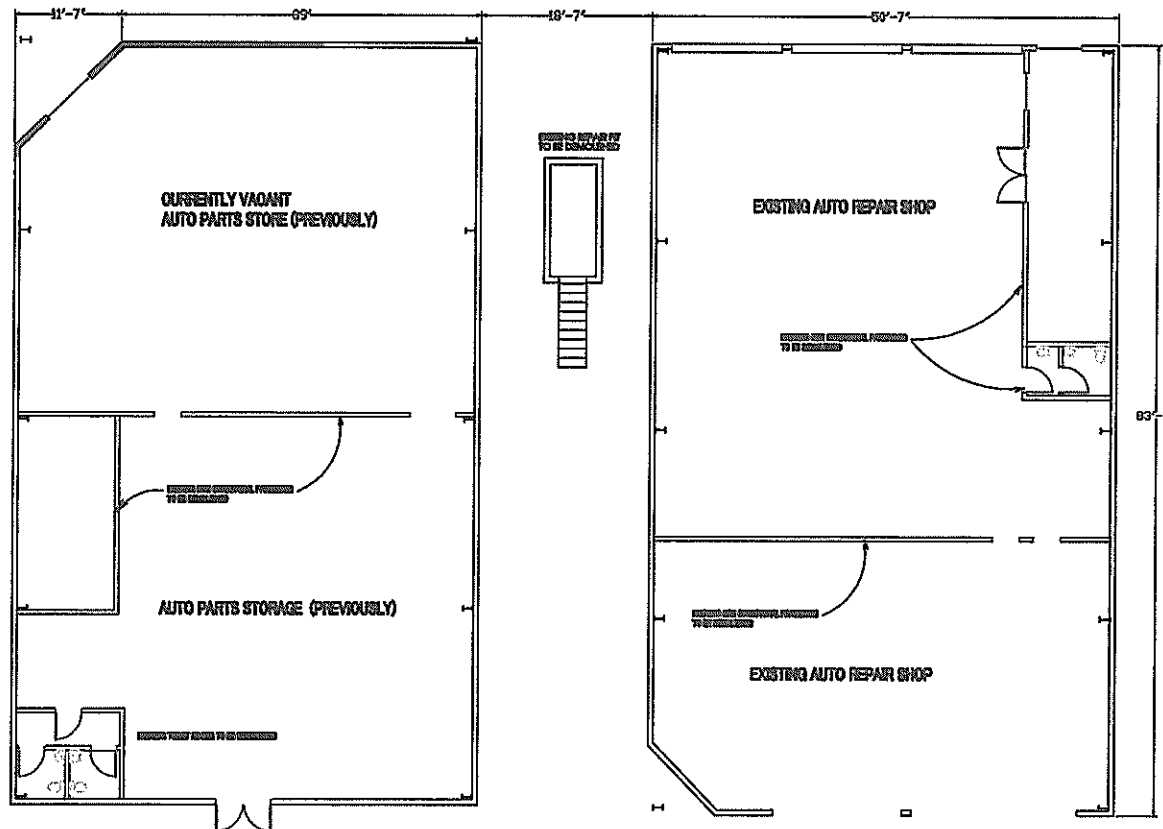
**APECO  
ENGINEERING  
GROUP, INC**

1000 W. 10TH AVENUE  
DENVER, CO 80202  
TEL: 303.733.1111  
FAX: 303.733.1112  
WWW.APECO-ENG.COM

PROJECT NO. 04-001  
DRAWING NO. 04-001

DATE: 04/01/04  
SCALE: AS SHOWN

PROJECT NO. 04-001  
DRAWING NO. 04-001



**EXISTING FLOOR PLANS**  
AS SHOWN

**NOTES:**

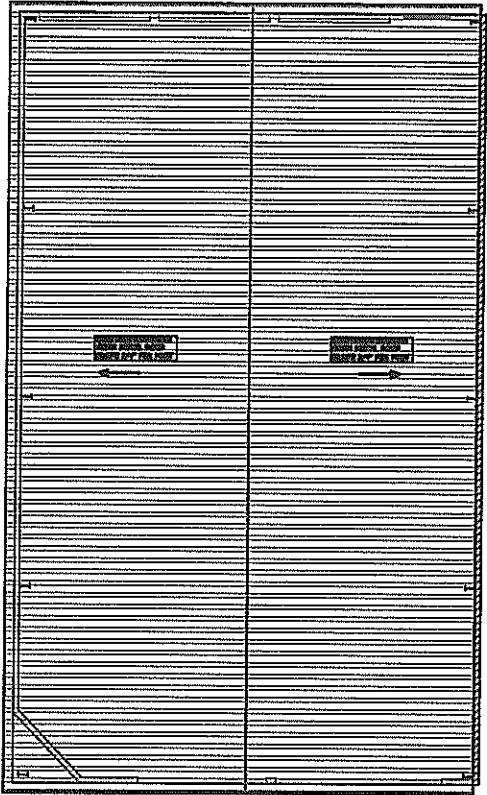
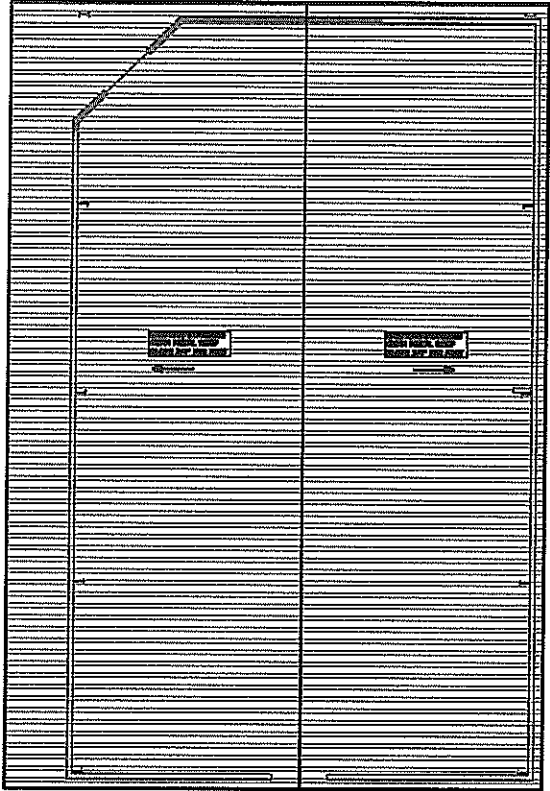


**APECO**  
**ENGINEERING**  
**GROUP, INC.**

PROJECT NO.	10-101
PROJECT NAME	10-101
DATE	10-101
SCALE	AS SHOWN
PROJECT NUMBER	10-101
DATE	10-101







**EXISTING ROOF PLANS**

000000-1

**NOTES:**



DATE	DESCRIPTION

REVISIONS / ISSUED FOR

**APECO  
ENGINEERING  
GROUP, INC**

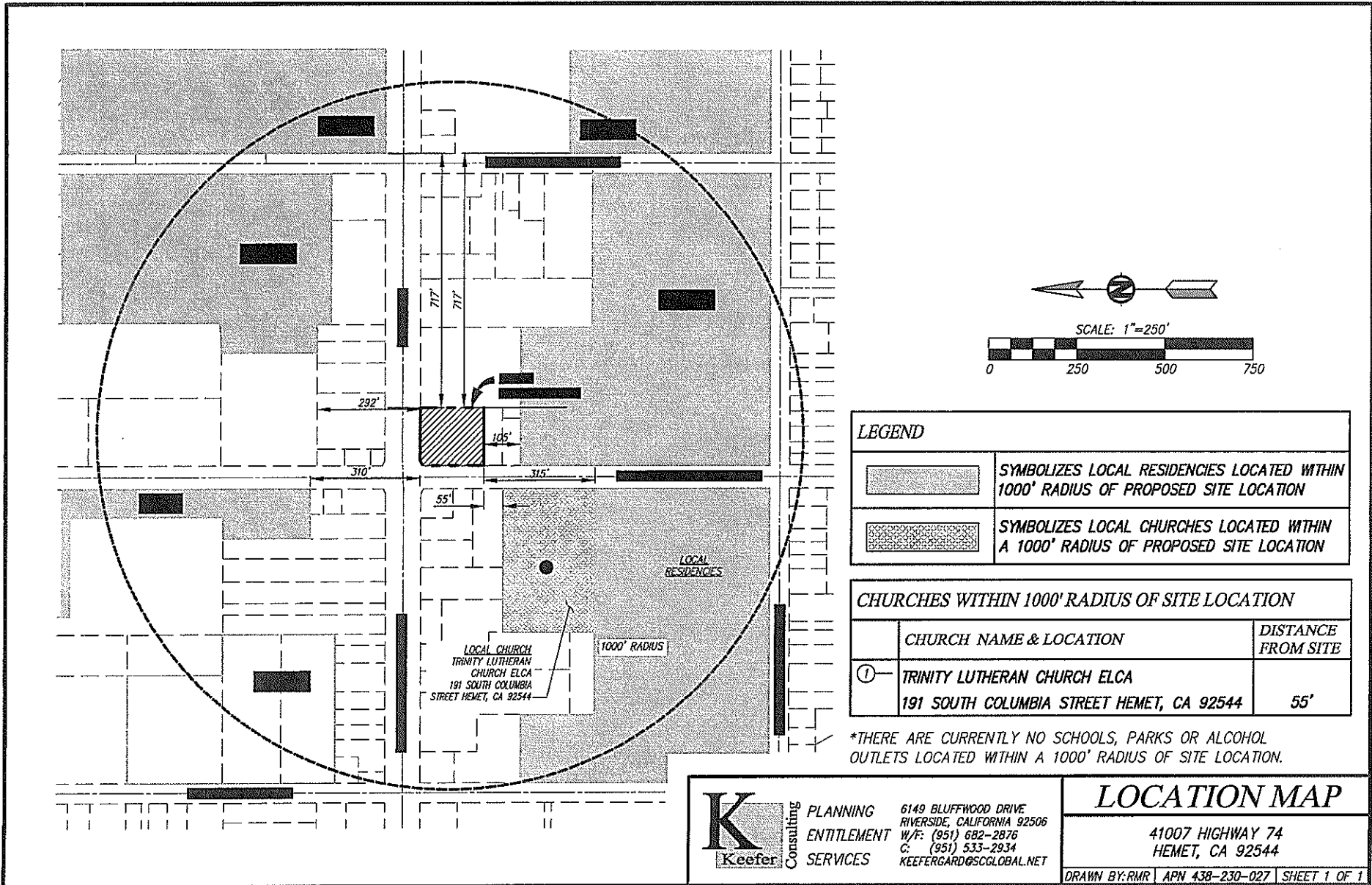
1000 WEST COUNTY  
ROAD 201  
SUITE 100  
WEST PALM BEACH, FL 33411

PROJ. NO. 1000  
PROJECT NAME: WEST PALM  
COUNTY ROAD 201  
SUITE 100  
WEST PALM BEACH, FL

PROPERTY OWNER: WEST PALM  
COUNTY ROAD 201  
SUITE 100  
WEST PALM BEACH, FL

DATE: 08/20/2010  
DRAWN BY: JCL/ML  
CHECKED BY: JCL/ML

PROJECT NUMBER: 1000  
DRAWING NUMBER: AE-100



**LEGEND**

	SYMBOLIZES LOCAL RESIDENCIES LOCATED WITHIN 1000' RADIUS OF PROPOSED SITE LOCATION
	SYMBOLIZES LOCAL CHURCHES LOCATED WITHIN A 1000' RADIUS OF PROPOSED SITE LOCATION

**CHURCHES WITHIN 1000' RADIUS OF SITE LOCATION**

	CHURCH NAME & LOCATION	DISTANCE FROM SITE
①	TRINITY LUTHERAN CHURCH ELCA 191 SOUTH COLUMBIA STREET HEMET, CA 92544	55'

\*THERE ARE CURRENTLY NO SCHOOLS, PARKS OR ALCOHOL OUTLETS LOCATED WITHIN A 1000' RADIUS OF SITE LOCATION.

**K** Consulting PLANNING 6149 BLUFFWOOD DRIVE  
 KeefeR ENTITLEMENT RIVERSIDE, CALIFORNIA 92506  
 SERVICES W/F: (951) 682-2876  
 C: (951) 533-2934  
 KEEFERGARD@SCGLOBAL.NET

**LOCATION MAP**  
 41007 HIGHWAY 74  
 HEMET, CA 92544  
 DRAWN BY:RMR | APN 438-230-027 | SHEET 1 OF 1

CONDITIONAL USE PERMIT Case #: CUP03622

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10. GENERAL CONDITIONS

EVERY DEPARTMENT

10. EVERY. 1 USE - PROJECT DESCRIPTION

RECOMMND

The use hereby permitted is Planning Department approval of a Plot Plan for an existing unoccupied building totaling approximately 9,720 square-feet to be converted into a 4,088 square-foot convenience store and a 5,632 square-foot of shell leasable area. The convenience store would include a market/deli and the sale of alcoholic beverages for off-site consumption including beer, wine and distilled spirits (Type 21) pursuant to Ordinance 348 Section 18.48.

In addition, an approximately 650 square-foot detached building will remain as storage. The applicant has also proposed 35 parking spaces.

10. EVERY. 2 USE - HOLD HARMLESS

RECOMMND

The applicant/permittee or any successor-in-interest shall defend, indemnify, and hold harmless the County of Riverside (COUNTY) its agents, officers, or employees from any claim, action, or proceeding against the COUNTY, its agents, officers, or employees to attack, set aside, void, or annul an approval of the COUNTY, its advisory agencies, appeal boards, or legislative body concerning Conditional Use Permit No. 3622. The COUNTY will promptly notify the applicant/permittee of any such claim, action, or proceeding against the COUNTY and will cooperate fully in the defense. If the COUNTY fails to promptly notify the applicant/permittee of any such claim, action, or proceeding or fails to cooperate fully in the defense, the applicant/permittee shall not, thereafter, be responsible to defend, indemnify, or hold harmless the COUNTY.

10. EVERY. 3 USE - DEFINITIONS

RECOMMND

The words identified in the following list that appear in all capitals in the attached conditions of Conditional Use Permit No. 3622 shall be henceforth defined as follows:

APPROVED EXHIBIT A = Conditional Use Permit No. 3622, Exhibit A, Amended No. 1, dated 2-16-10.

APPROVED EXHIBIT L = Conditional Use Permit No. 3622, Exhibit L, LANDSCAPE PLANS, dated 7-21-10

APPROVED EXHIBIT W = Conditional Use Permit No. 3622, Exhibit W, WALL AND FENCE PLANS, dated 7-21-10

CONDITIONAL USE PERMIT Case #: CUP03622

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10. GENERAL CONDITIONS

10. EVERY. 7 GEN - CONDITION MILESTONES

RECOMMND

10 = General Conditions. These conditions provide project specific information and will not have to be cleared individually.

20 = Prior to a Certain Date. These conditions require that action(s) by the developer/permit holder be taken by a specific date.

30 = Prior to Any Project Approval. These conditions are used for Specific Plans to ensure that tentative maps and other development projects will not go forward to public hearing without meeting the condition or reflecting the condition in its design.

40 = Prior to Phasing (Utilization). These conditions are used for phased subdivisions and/or subdivision phasing plans to ensure that the phasing does not void a recordation condition.

50 = Prior to Map Recordation. These conditions require the developer/permit holder to comply with certain conditions prior to the recordation of a Final Subdivision Map or Final Parcel Map.

60 = Prior to Grading Permit Issuance. These conditions require the developer/permit holder to comply with certain conditions prior to the issuance of a grading permit (and/or Surface Mining Permit Special Inspection.)

70 = Prior to Grading Final Inspection. These conditions require the developer/permit holder to comply with certain conditions prior to requesting a grading permit final inspection.

80 = Prior to Building Permit Issuance. These conditions require the developer/permit holder to comply with certain conditions prior to the issuance of a building permit.

90 = Prior to Building Final Inspection. These conditions require the developer/permit holder to comply with certain conditions prior to requesting a building permit final inspection.

100 = Prior to Issuance of Given Building Permit. These conditions require the developer/permit holder to comply with certain conditions prior to the issuance of a certain

CONDITIONAL USE PERMIT Case #: CUP03622

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10. GENERAL CONDITIONS

10. EVERY. 7 GEN - CONDITION MILESTONES (cont.)  
number of residential building permits. RECOMMND

BS GRADE DEPARTMENT

10.BS GRADE. 1 USE -GIN INTRODUCTION RECOMMND  
Improvements such as grading, filling, over excavation and  
recompaction, and base or paving which require a grading  
permit are subject to the included Building and Safety  
Department Grading Division conditions of approval.

10.BS GRADE. 3 USE-G1.2 OBEY ALL GDG REGS RECOMMND  
All grading shall conform to the California Building Code,  
Ordinance 457, and all other relevant laws, rules, and  
regulations governing grading in Riverside County and prior  
to commencing any grading which includes 50 or more cubic  
yards, the applicant shall obtain a grading permit from the  
Building and Safety Department.

10.BS GRADE. 4 USE-G1.3 DISTURBS NEED G/PMT RECOMMND  
Ordinance 457 requires a grading permit prior to clearing,  
grubbing, or any top soil disturbances related to  
construction grading.

10.BS GRADE. 5 USE-G1.4 NPDES/SWPPP RECOMMND  
Prior to issuance of any grading or construction permits -  
whichever comes first - the applicant shall provide the  
Building and Safety Department evidence of compliance with  
the following: "Effective March 10, 2003 owner operators  
of grading or construction projects are required to comply  
with the N.P.D.E.S. (National Pollutant Discharge  
Elimination System) requirement to obtain a construction  
permit from the State Water Resource Control Board (SWRCB).  
The permit requirement applies to grading and construction  
sites of "ONE" acre or larger. The owner operator can  
comply by submitting a "Notice of Intent" (NOI), develop  
and implement a STORM WATER POLLUTION PREVENTION PLAN  
(SWPPP) and a monitoring program and reporting plan for the  
construction site. For additional information and to obtain  
a copy of the NPDES State Construction Permit contact the  
SWRCB at (916) 657-1146.

Additionally, at the time the county adopts, as part of any

CONDITIONAL USE PERMIT Case #: CUP03622

Parcel : 438-230-027

10. GENERAL CONDITIONS

10.BS GRADE. 5 USE-G1.4 NPDES/SWPPP (cont.)

RECOMMND

ordinance, regulations specific to the N.P.D.E.S., this project (or subdivision) shall comply with them.

E HEALTH DEPARTMENT

10.E HEALTH. 1 LHMWD WATER & SEWER SERVICE

RECOMMND

Conditional Use Permit#3622 is proposing Lake Hemet Municipal Water District (LHMWD) potable water service and sanitary sewer service. It is the responsibility of the developer to ensure that all requirements to obtain potable water service and sanitary sewer service are met with LHMWD as well as all other applicable agencies.

FLOOD RI DEPARTMENT

10.FLOOD RI. 1 USE FLOOD HAZARD REPORT

RECOMMND

Conditional Use Permit No. 3622 is a proposal for an existing unoccupied building of approximately 4,000 square feet to be converted into a convenience store. The 0.69 acre property also includes an existing 4,000 square feet mechanic shop and a 650 square foot auxiliary mechanic building and provides 35 parking spaces. The site is located in the Hemet area southerly of Florida Avenue, easterly of Columbia Street, westerly of Cornell Street and northerly of Acacia Avenue.

This site is impacted by sheet flow type runoff from the east. Normally, mitigation for increased runoff is required for commercial type developments based upon the structures having an anticipated impermeable surface area. However, any increase in impervious area due to this project would be considered insignificant. Therefore, no mitigation will be required with this proposal. However, should additional development be proposed, the mitigation for increased runoff will be necessary at that time.

The development of this project would adversely impact water quality. To mitigate for these impacts, the development must incorporate Source Control BMPs, as applicable and feasible, into the project plans. Source Control BMPs include education, activity restrictions and proper maintenance (non-structural) as well as proper landscape/irrigation design and the protection of slopes and channels (structural).

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10. GENERAL CONDITIONS

PLANNING DEPARTMENT

10. PLANNING. 5 GEN - IF HUMAN REMAINS FOUND

RECOMMND

The developer/permit holder or any successor in interest shall comply with the following codes for the life of this project:

If human remains are encountered, State Health and Safety Code Section 7050.5 states that no further disturbance shall occur until the County Coroner has made the necessary findings as to origin. Further, pursuant to Public Resources Code Section 5097.98 (b), remains shall be left in place and free from disturbance until a final decision as to the treatment and their disposition has been made. If the Riverside County Coroner determines the remains to be Native American, the Native American Heritage Commission shall be contacted within the period specified by law. Subsequently, the Native American Heritage Commission shall identify the "Most Likely Descendant." The Most Likely Descendant shall then make recommendations and engage in consultation with the County and the property owner concerning the treatment of the remains as provided in Public Resources Code Section 5097.98. Human remains from other ethnic/cultural groups with recognized historical associations to the project area shall also be subject to consultation between appropriate representatives from that group and the County Planning Director.

10. PLANNING. 6 GEN - INADVERTANT ARCHAEO FIND

RECOMMND

The developer/permit holder or any successor in interest shall comply with the following for the life of this project:

If during ground disturbance activities, cultural resources are discovered that were not assessed by the archaeological reports and/or environmental assessment conducted prior to project approval, the following procedures shall be followed. A cultural resources site is defined, for this condition, as being three or more artifacts in close association with each other, but may include fewer artifacts if the area of the find is determined to be of significance due to its sacred or cultural importance.

1. All ground disturbance activities within 100 feet of the discovered cultural resource shall be halted until a meeting is convened between the developer, the project

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10. GENERAL CONDITIONS

10. PLANNING. 6 GEN - INADVERTANT ARCHAEO FIND (cont.) RECOMMND

archaeologist, the Native American tribal representative (or other appropriate ethnic/cultural group representative), and the Planning Director to discuss the significance of the find.

2. At the meeting, the significance of the discoveries shall be discussed and after consultation with the Native American tribal (or other appropriate ethnic/cultural group representative) and the archaeologist, a decision is made, with the concurrence of the Planning Director, as to the appropriate mitigation (documentation, recovery, avoidance, etc) for the cultural resource.

3. Further ground disturbance shall not resume within the area of the discovery until an agreement has been reached by all parties as to the appropriate preservation or mitigation measures.

10. PLANNING. 9 USE - RECLAIMED WATER RECOMMND

The permit holder shall connect to a reclaimed water supply for landscape watering purposes when secondary or reclaimed water is made available to the site.

10. PLANNING. 10 USE - MT PALOMAR LIGHTING AREA RECOMMND

Within the Mt. Palomar Special Lighting Area, as defined in Ordinance No. 655, low pressure sodium vapor lighting or overhead high pressure sodium vapor lighting with shields or cutoff luminaires, shall be utilized.

10. PLANNING. 11 USE - COMPLY WITH ORD./CODES RECOMMND

The development of these premises shall comply with the standards of Ordinance No. 348 and all other applicable Riverside County ordinances and State and Federal codes.

The development of the premises shall conform substantially with that as shown on APPROVED EXHIBIT A, unless otherwise amended by these conditions of approval.

10. PLANNING. 12 USE - FEES FOR REVIEW RECOMMND

Any subsequent submittals required by these conditions of approval, including but not limited to grading plan, building plan or mitigation monitoring review, shall be

CONDITIONAL USE PERMIT Case #: CUP03622

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10. GENERAL CONDITIONS

10. PLANNING. 12 USE - FEES FOR REVIEW (cont.) RECOMMND

reviewed on an hourly basis (research fee), or other such review fee as may be in effect at the time of submittal, as required by Ordinance No. 671. Each submittal shall be accompanied with a letter clearly indicating which condition or conditions the submittal is intended to comply with.

10. PLANNING. 13 USE - LIGHTING HOODED/DIRECTED RECOMMND

Any outside lighting shall be hooded and directed so as not to shine directly upon adjoining property or public rights-of-way.

10. PLANNING. 15 USE - LAND DIVISION REQUIRED RECOMMND

Prior to the sale of any individual structure as shown on APPROVED EXHIBIT A, a land division shall be recorded in accordance with Riverside County Ordinance No. 460, and any other pertinent ordinance.

10. PLANNING. 16 USE- HOURS OF OPERATION RECOMMND

Use of the facilities approved under this conditional use permit shall be limited to the hours of 7 a.m. to 10 p.m., Sunday-Thursday and 7 a.m. to 12 a.m. Friday-Saturday in order to reduce conflict with adjacent residential zones and/or land uses.

10. PLANNING. 17 USE- BASIS FOR PARKING RECOMMND

Parking for this project was determined primarily on the basis of County Ordinance No. 348, Section 18.12. a.(2).b), General Retail; including but not limited to, freestanding convenience markets, liquor stores and supermarkets.

10. PLANNING. 18 USE - PERMIT SIGNS SEPARATELY RECOMMND

No signs are approved pursuant to this project approval. Prior to the installation of any on-site advertising or directional signs, a signing plan shall be submitted to and approved by the Planning Department pursuant to the requirements of Section 18.30 (Planning Department review only) of Ordinance No. 348.

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10. GENERAL CONDITIONS

10. PLANNING. 20 USE - NO OUTDOOR ADVERTISING

RECOMMND

No outdoor advertising display, sign or billboard (not including on-site advertising or directional signs) shall be constructed or maintained within the property subject to this approval.

10. PLANNING. 26 USE - NO RESIDENT OCCUPANCY

RECOMMND

No permanent occupancy shall be permitted within the property approved under this conditional use permit as a principal place of residence. No person shall use the premises as a permanent mailing address nor be entitled to vote using an address within the premises as a place of residence.

10. PLANNING. 27 USE - MAINTAIN LICENSING

RECOMMND

At all times during the conduct of the permitted use the permittee shall maintain and keep in effect valid licensing approval from Alcoholic Beverage Control, or equivalent agency as provided by law. Should such licensing be denied, expire or lapse at any time in the future, this permit shall become null and void.

10. PLANNING. 28 USE - NO OFF-ROAD USES ALLOWED

RECOMMND

Trail bikes, dune buggies, off-road vehicles and other similar powered apparatus shall not be operated for purposes such as, but not limited to, hill climbing, trail riding, scrambling, racing and riding exhibitions.

10. PLANNING. 29 USE - EXTERIOR NOISE LEVELS

RECOMMND

Exterior noise levels produced by any use allowed under this permit, including, but not limited to, any outdoor public address system, shall not exceed 55 db(A), 10-minute LEQ, between the hours of 10:00 p.m. to 7:00 a.m., and 65 db(A), 10-minute LEQ, at all other times as measured at any residential, hospital, school, library, nursing home or other similar noise sensitive land use. In the event noise exceeds this standard, the permittee or the permittee's successor-in-interest shall take the necessary steps to remedy the situation, which may include discontinued operation of the facilities. he permit holder shall comply with the applicable standards of Ordinance No. 847.

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10. GENERAL CONDITIONS

10. PLANNING. 35 USE - CAUSES FOR REVOCATION

RECOMMND

In the event the use hereby permitted under this permit, a) is found to be in violation of the terms and conditions of this permit, b) is found to have been obtained by fraud or perjured testimony, or c) is found to be detrimental to the public health, safety or general welfare, or is a public nuisance, this permit shall be subject to the revocation procedures.

10. PLANNING. 36 USE - CEASED OPERATIONS

RECOMMND

In the event the use hereby permitted ceases operation for a period of one (1) year or more, this approval shall become null and void.

10. PLANNING. 37 USE - 90 DAYS TO PROTEST

RECOMMND

The project applicant has 90 days from the date of approval of these conditions to protest, in accordance with the procedures set forth in Government Code Section 66020, The imposition of any and all fees, dedications, reservations and/or other exactions imposed on this project as a result of this approval or conditional approval of the project.

10. PLANNING. 42 USE - ORD 810 O S FEE (1)

RECOMMND

In accordance with Riverside County Ordinance No. 810, to assist in providing revenue to acquire and preserve open space and habitat, an Interim Open Space Mitigation Fee shall be paid for each development project or portion of an expanded development project to be constructed in Western Riverside County. The amount of the fee for commercial or industrial development shall be calculated on the basis of "Project Area," which shall mean the net area, measured in acres, from the adjacent road right-of-way to the limits of the project development.

Any area identified as "NO USE PROPOSED" on the APPROVED EXHIBIT shall not be included in the Project Area.

10. PLANNING. 45 USE - BUSINESS LICENSING

RECOMMND

Every person conducting a business within the unincorporated area of Riverside County, as defined in Riverside County Ordinance No. 857, shall obtain a business license. For more information regarding business registration, contact the Business Registration and License

CONDITIONAL USE PERMIT Case #: CUP03622

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10. GENERAL CONDITIONS

10. PLANNING. 45 USE - BUSINESS LICENSING (cont.)

RECOMMND

Program Office of the Building and Safety Department at  
[www.rctlma.org.buSLic](http://www.rctlma.org.buSLic).

10. PLANNING. 46 USE - NO SECOND FLOOR

RECOMMND

No tenant improvement permit, or any other building permit, shall be granted for any second story, second floor, mezzanine, or interior balcony unless a plot plan, conditional use permit, public use permit, substantial conformance or a revised permit is approved by the Planning Department pursuant to Section 18.12 of Ordinance No. 348 in order to assure adequate parking remains within the property. Only a one story building was approved as part of this permit and reviewed for parking standards.

10. PLANNING. 47 USE - LC LANDSCAPE REQUIREMENT

RECOMMND

The developer/ permit holder shall:

- 1) Ensure all landscape and irrigation plans are in conformance with the APPROVED EXHIBITS;
- 2) Ensure all landscaping is provided with California Friendly Landscaping and a weather based irrigation controller(s) as defined by County Ordinance No. 859;
- 3) Ensure that irrigation plans which may use reclaimed water conform with the requirements of the local water purveyor; and,
- 4) Be responsible for maintenance, viability and upkeep of all slopes, landscaped areas, and irrigation systems until the successful completion of the twelve (12) month inspection or those operations become the responsibility of the individual property owner(s), a property owner's association, or any other successor-in-interest, whichever occurs later.

To ensure ongoing maintenance, the developer/ permit holder or any successor in interest shall:

- 1) Connect to a reclaimed water supply for landscape irrigation purposes when reclaimed water is made available.
- 2) Ensure that landscaping, irrigation and maintenance

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10. GENERAL CONDITIONS

10. PLANNING. 47 USE - LC LANDSCAPE REQUIREMENT (cont.) RECOMMND

systems comply with the Riverside County Guide to California Friendly Landscaping, and Ordinance No. 859.

3) Ensure that all landscaping is healthy, free of weeds, disease and pests.

TRANS DEPARTMENT

10. TRANS. 1 USE - TS/EXEMPT RECOMMND

The Transportation Department has not required a traffic study for the subject project. The Transportation Department has determined that the project is exempt from traffic study requirements.

10. TRANS. 2 USE - STD INTRO 3(ORD 460/461) RECOMMND

With respect to the conditions of approval for the referenced tentative exhibit, the landowner shall provide all street improvements, street improvement plans and/or road dedications set forth herein in accordance with Ordinance 460 and Riverside County Road Improvement tandards (Ordinance 461). It is understood that the exhibit correctly shows acceptable centerline elevations, all existing easements, traveled ways, and drainage courses with appropriate Q's, and that their omission or unacceptability may require the exhibit to be resubmitted for further consideration. These Ordinances and all conditions of approval are essential parts and a requirement occurring in ONE is as binding as though occurring in all. All questions regarding the true meaning of the conditions shall be referred to the Transportation Department.

10. TRANS. 3 USE - COUNTY WEB SITE RECOMMND

Additional information, standards, ordinances, policies, and design guidelines can be obtained from the Transportation Department Web site:  
<http://rctlma.org/trans/>. If you have questions, please call the Plan Check Section at (951) 955-6527.

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20. PRIOR TO A CERTAIN DATE

PLANNING DEPARTMENT

20. PLANNING. 2 USE- LIFE OF THE (ABC) PERMIT

RECOMMND

The life of the Alcohol Beverage Control (ABC) License for the sale of beer, wine, and distilled spirits (Type 21) approval under Conditional Use Permit No. 3622 shall terminate on May 5, 2020. The Type 21 License as described above shall therefore be null and void and of no effect whatsoever.

20. PLANNING. 3 USE- REVIEW OPERATION HOURS

RECOMMND

One year after issuance of occupancy permit the Planning Director and the Director of Building and Safety shall review this permit to consider the hours of operation. If significant complaints have been received regarding noise and nuisance, the hours of operation of the food mart may be further restricted.

20. PLANNING. 4 USE - EXPIRATION DATE-CUP

RECOMMND

This approval shall be used within two (2) years of the approval date; otherwise, it shall become null and void and of no effect whatsoever. By use is meant the beginning of substantial construction contemplated by this approval within two (2) year period which is thereafter diligently pursued to completion or to the actual occupancy of existing buildings or land under the terms of the authorized use. Prior to the expiration of the two year period, the permittee may request a one (1) year extension of time in which to begin substantial construction or use of this permit. Should the one year extension be obtained and no substantial construction or use of this permit be initiated within three (3) years of the approval date this permit, shall become null and void.

20. PLANNING. 7 USE - EXISTING STRUCTURE CHECK

RECOMMND

ITHIN SIXTY (60) DAYS OF THE EFFECTIVE DATE OF THIS PERMIT, the permittee or the permittee's successors-in-interest shall apply to the Building and Safety Department for all necessary permits, including the submission of all required documents and fees for any plan check review as determined by the Director of the Department of Building and Safety, to ensure that all existing buildings, structures and uses are in compliance with Ordinance No. 348 and Ordinance No. 457 and the conditions of approval of this permit.

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20. PRIOR TO A CERTAIN DATE

20. PLANNING. 8 USE - CONCEPT LINDSCP APPROVAL

RECOMMND

PRIOR TO APPROVAL BY THE BOARD OF SUPERVISORS, APPLICANT SHALL SUBMIT CONCEPTUAL LANDSCAPE PLANS AND HAVE SAID PLANS APPROVED BY THE PLANNING DEPARTMENT.

60. PRIOR TO GRADING PRMT ISSUANCE

PLANNING DEPARTMENT

60. PLANNING. 1 USE - PALEO PRIMP & MONITOR

RECOMMND

This site is mapped in the County's General Plan as having a high potential for paleontological resources (fossils). Proposed project site grading/earthmoving activities could potentially impact this resource. HENCE:

PRIOR TO ISSUANCE OF GRADING PERMITS:

1. The applicant shall retain a qualified paleontologist approved by the County of Riverside to create and implement a project-specific plan for monitoring site grading/earthmoving activities (project paleontologist).

2. The project paleontologist retained shall review the approved development plan and grading plan and shall conduct any pre-construction work necessary to render appropriate monitoring and mitigation requirements as appropriate. These requirements shall be documented by the project paleontologist in a Paleontological Resource Impact Mitigation Program (PRIMP). This PRIMP shall be submitted to the County Geologist for review and approval prior to issuance of a Grading Permit.

Information to be contained in the PRIMP, at a minimum and in addition to other industry standard and Society of Vertebrate Paleontology standards, are as follows:

1. Description of the proposed site and planned grading operations.
2. Description of the level of monitoring required for all earth-moving activities in the project area.
3. Identification and qualifications of the qualified paleontological monitor to be employed for grading operations monitoring.

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60. PRIOR TO GRADING PRMT ISSUANCE

60. PLANNING. 1 USE - PALEO PRIMP & MONITOR (cont.) RECOMMND

4. Identification of personnel with authority and responsibility to temporarily halt or divert grading equipment to allow for recovery of large specimens.
  5. Means and methods to be employed by the paleontological monitor to quickly salvage fossils as they are unearthed to avoid construction delays.
  6. Sampling of sediments that are likely to contain the remains of small fossil invertebrates and vertebrates.
  7. Procedures and protocol for collecting and processing of samples and specimens.
  8. Fossil identification and curation procedures to be employed.
  9. Identification of the permanent repository to receive any recovered fossil material. \* The County of Riverside must be consulted on the repository/museum to receive the fossil material prior to being curated.
  10. All pertinent exhibits, maps and references.
  11. Procedures for reporting of findings.
  12. Identification and acknowledgement of the developer for the content of the PRIMP as well as acceptance of financial responsibility for monitoring, reporting and curation fees.
- All reports shall be signed by the project paleontologist and all other professionals responsible for the report's content (eg. Professional Geologist), as appropriate. Two wet-signed original copies of the report(s) shall be submitted to the office of the County Geologist along with a copy of this condition and the grading plan for appropriate case processing and tracking. These documents should not be submitted to the project Planner, the Plan Check staff, the Land Use Counter or any other County Office. In addition, the applicant shall submit proof of hiring (i.e. copy of executed contract, retainer agreement, etc.) a project paleontologist for the in-grading implementation of the PRIMP.

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60. PRIOR TO GRADING PRMT ISSUANCE

60. PLANNING. 2 USE - GRADING PLANS

RECOMMND

If grading is proposed, the project must comply with the following:

a. The developer shall submit one print of a comprehensive grading plan to the Department of Building and Safety which complies with the Uniform Building Code, Chapter 70, as amended by Ordinance No. 457 and as may be additionally provided for in these conditions.

b. A grading permit shall be obtained from the Department of Building and Safety prior to commencement of any grading outside of a County maintained road right-of-way.

c. Graded but undeveloped land shall be planted with interim landscaping or provided with other erosion control measures as approved by the Director of Building and Safety.

d. Graded areas shall be revegetated or landscaped with native species which are fire resistant, drought tolerant, low water using and erosion controlling.

60. PLANNING. 4 GEN - FEE BALANCE

RECOMMND

Prior to issuance of grading permits, the Planning Department shall determine if the deposit based fees for CONDITIONAL USE PERMIT 3622 and/or any related case are in a negative balance. If so, any outstanding fees shall be paid by the developer/permit holder. The Planning Department shall clear this condition upon determination of compliance.

60. PLANNING. 5 GEN - GRADING PLAN CLEARANCE

RECOMMND

Prior to the issuance of a grading permit, the developer shall submit a Request for Planning Clearance of Rough Grading Permit form to the Planning Department. The Planning Department shall verify that the plan-check approved grading plan is in conformance with APPROVED EXHIBITS. The developer shall also submit proof of compliance with ALL applicable departments "Prior to Grading Permit Issuance" conditions at that time. Upon determination of condition compliance, the Planning Department will clear all "Prior to Grading Permit Issuance" conditions.

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60. PRIOR TO GRADING PRMT ISSUANCE

60. PLANNING. 5 GEN - GRADING PLAN CLEARANCE (cont.) RECOMMND

NOTE:  
All proposed grading for structures including, but not limited to, new dwellings, outbuildings, barns, corrals, and storage buildings shall occur within the approved building pad sites.

60. PLANNING. 6 USE - COC REQUIRED (1) RECOMMND

Prior to issuance of a grading permit, an application for a Certificate of Land Division Compliance shall be filed with and approved by the Planning Department. Proof of recordation shall be presented to the Building and Safety Department.

TRANS DEPARTMENT

60. TRANS. 1 USE-SBMT/APPVD GRADG PLAN/TRAN RECOMMND

When you submit a grading plan to the Department of Building and Safety, a copy of the grading plan shall be submitted and approved by the Transportation Department prior to a grading permit issuance.

Submit required grading plan to the Transportation Department, Plan Check Section, 8th Floor, 4080 Lemon Street, Riverside, CA.

60. TRANS. 2 USE - OBTAIN L&LMD APPLICATION RECOMMND

Obtain an application from the Transportation Department, L&LMD Section, 8th Floor, 4080 Lemon Street, Riverside, CA, to submit application for required annexation per condition of approval 80.TRANS.2 and 90.TRANS.3.

If you have any questions or for the processing fee amount, please call the L&LMD Section at (951) 955-6748.

80. PRIOR TO BLDG PRMT ISSUANCE

E HEALTH DEPARTMENT

80. E HEALTH. 1 GRADE - HAZMAT PHASE II RECOMMND

A Phase II Environmental Assessment is required to be completed for petroleum products or other hazardous

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80. PRIOR TO BLDG PRMT ISSUANCE

80.E HEALTH. 1 GRADE - HAZMAT PHASE II (cont.) RECOMMND

materials used on the property. The results must be reviewed by Haz Mat to verify that the levels are below hazardous waste criteria. If there are questions regarding the number of samples or other requirements, please call (951) 358-5055.

80.E HEALTH. 2 USE - FOOD PLANS REQD RECOMMND

A total of three complete set of plans for each food establishment are needed including a fixture schedule, a finish schedule, and a plumbing schedule in order to ensure compliance with all current State and Local regulations.

PLANNING DEPARTMENT

80.PLANNING. 5 USE - LIGHTING PLANS(1) RECOMMND

All street lights and other outdoor lighting shall be shown on electrical plans submitted to the Department of Building and Safety for plan check approval and shall comply with the requirements of Riverside County Ordinance No. 655 and the Riverside County Comprehensive General Plan.

80.PLANNING. 6 USE- CONFORM TO ELEVATIONS RECOMMND

Prior to approval of all elevations for buildings and structures related to building plan check approval, the Director of the Planning Department and the Director of Building and Safety shall approve all submitted elevations.

80.PLANNING. 7 USE- CONFORM TO FLOOR PLANS RECOMMND

Floor Plans shall be submitted and approved by the Director of the Planning Department and the Director of Building and Safety.

80.PLANNING. 8 USE - ROOF EQUIPMENT SHIELDING RECOMMND

Roof mounted equipment shall be shielded from ground view. Screening material shall be subject to Planning Department approval.

80.PLANNING. 24 USE - WASTE MGMT. CLEARANCE RECOMMND

A clearance letter from Riverside County Waste Management District shall be provided to the Riverside County Planning

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80. PRIOR TO BLDG PRMT ISSUANCE

80. PLANNING. 24 USE - WASTE MGMT. CLEARANCE (cont.) RECOMMND

Department verifying compliance with the conditions contained in their letter dated June 2, 2009, summarized as follows: The developer shall provide adequate areas for collecting and loading recyclable materials such as paper products, glass and green waste in commercial, industrial, public facilities and residential development projects.

80. PLANNING. 28 USE - SCHOOL MITIGATION RECOMMND

Impacts to the Hemet Unified School District shall be mitigated in accordance with California State law.

80. PLANNING. 38 USE - FEE BALANCE RECOMMND

Prior to issuance of building permits, the Planning Department shall determine if the deposit based fees for project are in a negative balance. If so, any outstanding fees shall be paid by the applicant/developer.

80. PLANNING. 39 GEN- FEE BALANCE CHECK RECOMMND

Prior to issuance of building permits, the Planning Department shall determine if the deposit based fees for CONDITIONAL USE PERMIT 3622 and/or any related case are in a negative balance. If so, any outstanding fees shall be paid by the developer/permit holder. The Planning Department shall clear this condition upon determination of compliance.

Note:

This condition shall be considered cleared if the 60 Series FEE BALANCE condition is in a MET status.

80. PLANNING. 46 GEN - USE BUILDING PLANS RECOMMND

Prior to the issuance of a building permit, the developer shall submit a Request for Planning Department Clearance form to the Planning Department. The Planning Department shall verify that the plan-check approved building plans are in conformance with APPROVED EXHIBITS. The developer shall also submit proof of compliance with all Planning Department "Prior to Building Permit Issuance" conditions at that time. Upon determination of condition compliance, the Planning Department will clear all "Prior to Building Permit Issuance" conditions.

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80. PRIOR TO BLDG PRMT ISSUANCE

80.PLANNING. 47 MAP- PARKING SPACES

RECOMMND

Parking spaces are required in accordance with County Ordinance No. 348. If parking areas and driveways shall be surfaced with asphaltic concrete to current standards as approved by the Riverside County Department of Building and Safety.

80.PLANNING. 49 USE- COC REQUIRED (2)

RECOMMND

Prior to issuance of building permits, an application for a Certificate of Land Division Compliance shall be filed with and approved by the Planning Department. Proof of recordation shall be presented to the Department of Building and Safety.

If Planning Department Condition No. 60.PLANNING.6 is satisfied, this condition shall be considered MET.

80.PLANNING. 50 MAP - TRASH ENCLOSURES

RECOMMND

Prior to the construction of any trash enclosure, a building permit for said enclosure shall be obtained from the County Department of Building and Safety.

80.PLANNING. 52 USE - PLANS SHOWING BIKE RACKS

RECOMMND

Bike rack spaces or bike lockers shall be shown on the project's parking and landscaping plan submitted to the Planning Department for approval.

80.PLANNING. 53 USE - LC LANDSCAPE PLOT PLAN

RECOMMND

Prior to issuance of building permits, the developer/permit holder shall file a Landscaping Minor Plot Plan Application to the Riverside County Planning Department for review and approval along with the current fee. The landscaping plans shall be in conformance with the APPROVED EXHIBITS; in compliance with Ordinance No. 348, Section 18.12; Ordinance No. 859; and, be prepared consistent with the County of Riverside Guide to California Friendly Landscaping.

At minimum, plans shall include the following components:  
1) Landscape and irrigation working drawings "stamped" by a California certified landscape architect;

2) Weather based controllers and necessary components to eliminate water waste;

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80. PRIOR TO BLDG PRMT ISSUANCE

80. PLANNING. 53 USE - LC LANDSCAPE PLOT PLAN (cont.)

RECOMMND

- 3) A copy of the "stamped" approved grading plans; and,
  - 4) Emphasis on native and drought tolerant species.
- When applicable, plans shall include the following components:
- 1) Identification of all common/open space areas;
  - 2) Natural open space areas and those regulated/conserved by the prevailing MSHCP;
  - 3) Shading plans for projects that include parking lots/areas;
  - 4) The use of canopy trees (24" box or greater) within the parking areas;
  - 5) Landscaping plans for slopes exceeding 3 feet in height;
  - 6) Landscaping and irrigation plans associated with entry monuments. All monument locations and dimensions shall be provided on the plan; and/or,
  - 7) If this is a phased development, then a copy of the approved phasing plan shall be submitted for reference.

NOTE:

1) Landscaping plans for areas within the road right-of-way shall be submitted for review and approval by the Transportation Department only. The Planning Department shall not approve landscape plans within the Road Right-of-Way.

) When the Landscaping Plot Plan is located within a special district such as Valley-Wide Recreation and Park District, Turupa Community Services District, Coachella Valley Water District, a County Service Area (CSA) or other maintenance district, the developer/permit holder shall submit plans for review to the appropriate special district for simultaneous review. The permit holder shall show evidence to the Planning Department that the subject District has approved said plans.

As part of the plan check review process and request for condition clearance, the developer/permit holder shall show

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80. PRIOR TO BLDG PRMT ISSUANCE

80. PLANNING. 53 USE - LC LANDSCAPE PLOT PLAN (cont.) (cont.) RECOMMND

proof of the approved landscaping plot plan by providing the Plot Plan number. The planning department shall verify the landscape route is approved and the Plot Plan is in TENTAPPR status. Upon verification of compliance with this condition and the APPROVED EXHIBITS, the Planning Department shall clear this condition.

80. PLANNING. 54 GEN - LC LANDSCAPE SECURITIES RECOMMND

Prior to the issuance of building permits, the developer/permit holder shall submit an estimate to replace plantings, irrigation systems, ornamental landscape elements, walls and/or fences, in amounts to be approved by the Riverside County Planning Department, Landscape Division. Once the Planning Department has approved the estimate, the developer/permit holder shall submit the estimate to the Riverside County Department of Building and Safety who will then provide the developer/permit holder with the requisite forms. The required forms shall be completed and submitted to Building and Safety for processing and review in conjunction with County Counsel. Upon determination of compliance, the Department of Building and Safety shall clear this condition.

NOTE:

A cash security shall be required when the estimated cost is \$2,500.00 or less. It is highly encouraged to allow adequate time to ensure that securities are in place. The performance security shall be released following a successful completion of the One Year Post-Establishment Inspection, and the inspection report confirms that the planting and irrigation components are thriving and in good working order consistent with the approved landscaping plans.

80. PLANNING. 56 USE - LIGHTING PLANS (2) RECOMMND

A photometrics analysis shall be submitted and establish a zero (0) candles at any residential property line.

80. PLANNING. 57 USE - LIGHTING PLANS (3) RECOMMND

All proposed lighting shall be approved by the Planning Director. This includes, but is not limited to style and type of lighting and location.

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80. PRIOR TO BLDG PRMT ISSUANCE

80.PLANNING. 58 MAP - TRASH ENCLOSURES (2)

RECOMMND

Prior to building permit the applicant or successor of interest shall provide plans showing the location of the trash enclosure onsite. The applicant shall also provide elevations of the trash enclosure. All of these submittals shall meet the requirements of Ordinance 348 and be acceptable to the Planning Director.

80.PLANNING. 59 USE- DEMOLISH STORAGE BLDG

RECOMMND

Prior to building permit issuance, applicant shall obtain a demolition permit from the Building and Safety Department to demolish the storage facility located on the southeast portion of the property.

TRANS DEPARTMENT

80.TRANS. 1 USE - CALTRANS ENCRCHMNT PRMT

RECOMMND

Prior to doing any work within the State highway right-of-way, clearance and/or an encroachment permit must be obtained by the applicant from the District 08 Office of the State Department of Transportation in San Bernardino.

80.TRANS. 2 USE-ANNEX L&LMD/OTHER DIST

RECOMMND

The project proponent shall comply with County requirements within public road rights-of-way, in accordance with Ordinance 461. Assurance of maintenance is required by filing an application for annexation to Landscaping and Lighting Maintenance District No. 89-1-Consolidated by contacting the Transportation Department at (951) 955-6767 and/or any other maintenance district approved by the Transportation Department or by processing and filing a 'Landscape Maintenance Agreement' through the Transportation Department Plan Check Division. Said annexation should include the following:

- (1) Landscaping along Florida Avenue (SH-74).
- (2) Traffic signals located on Florida Avenue (SH-74) at intersection of Columbia Street.

NOTE: Any commercial project along State Highway 74 must annex into L&LMD 89-1-C in addition to executing a landscape maintenance agreement.

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80. PRIOR TO BLDG PRMT ISSUANCE

80.TRANS. 3 USE-LANDSCAPING (Plan)

RECOMMND

Landscaping within public road right-of-way shall comply with Transportation Department standards, Ordinance 461, Comprehensive Landscaping Guidelines & Standards, and Ordinance 859 and shall require approval by the Transportation Department.

Landscaping plans shall be designed within Florida Avenue (SH-74) and submitted to the Transportation Department. Landscaping plans shall be submitted on standard County plan sheet format (24" x 36"). Landscaping plans shall be submitted with the street improvement plans.

90. PRIOR TO BLDG FINAL INSPECTION

E HEALTH DEPARTMENT

90.E HEALTH. 1 USE - HAZMAT BUS PLAN

RECOMMND

The facility will require a business emergency plan for the storage of hazardous materials greater than 55 gallons, 200 cubic feet or 500 pounds, or any acutely hazardous materials or extremely hazardous substances.

90.E HEALTH. 2 USE - HAZMAT REVIEW

RECOMMND

If further review of the site indicates additional environmental health issues, the Hazardous Materials Management Division reserves the right to regulate the business in accordance with applicable County Ordinances.

90.E HEALTH. 3 USE - HAZMAT CONTACT

RECOMMND

Contact a Hazardous Materials Specialist, Hazardous Materials Management Division, at (951) 358-5055 for any additional requirements.

FIRE DEPARTMENT

90.FIRE. 1 USE-#45-FIRE LANES

RECOMMND

The applicant shall prepare and submit to the Fire Department for approval, a site plan designating required fire lanes with appropriate lane painting and/or signs.

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90. PRIOR TO BLDG FINAL INSPECTION

90.FIRE. 2 USE-#27-EXTINGUISHERS

RECOMMND

Install portable fire extinguishers with a minimum rating of 2A-10BC and signage. Fire Extinguishers located in public areas shall be in recessed cabinets mounted 48" (inches) to center above floor level with maximum 4" projection from the wall. Contact Fire Department for proper placement of equipment prior to installation.

PLANNING DEPARTMENT

90.PLANNING. 1 USE - PALEO MONITORING REPORT

RECOMMND

PRIOR TO BUILDING FINAL INSPECTION:

The applicant shall submit to the County Geologist one wet-signed copy of the Paleontological Monitoring Report prepared for site grading operations at this site. The report shall be certified by the professionally-qualified Paleontologist responsible for the content of the report. This Paleontologist must be on the County's Paleontology Consultant List. The report shall contain a report of findings made during all site grading activities and an appended itemized list of fossil specimens recovered during grading (if any) and proof of accession of fossil materials into the pre-approved museum repository. In addition, all appropriate fossil location information shall be submitted to the San Bernardino County Museum and Los Angeles County Museum of Natural History, at a minimum, for incorporation into their Regional Locality Inventories.

90.PLANNING. 5 USE - COLOR/FINISH COMPLIANCE

RECOMMND

The permittee shall properly install approved color and finish products in accordance with these conditions of approval.

90.PLANNING. 8 USE - ACCESSIBLE PARKING

RECOMMND

A minimum of two (2) accessible parking spaces for persons with disabilities shall be provided as shown on APPROVED EXHIBIT A. Each parking space reserved for persons with disabilities shall be identified by a permanently affixed reflectorized sign constructed of porcelain on steel, beaded text or equal, displaying the International Symbol of Accessibility. The sign shall not be smaller than 70 square inches in area and shall be centered at the interior end of the parking space at a minimum height of 80 inches

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90. PRIOR TO BLDG FINAL INSPECTION

90. PLANNING. 8 USE - ACCESSIBLE PARKING (cont.)

RECOMMND

from the bottom of the sign to the parking space finished grade, or centered at a minimum height of 36 inches from the parking space finished grade, ground, or sidewalk. A sign shall also be posted in a conspicuous place, at each entrance to the off-street parking facility, not less than 17 inches by 22 inches, clearly and conspicuously stating the following:

"Unauthorized vehicles not displaying distinguishing placards or license plates issued for physically handicapped persons may be towed away at owner's expense.

90. PLANNING. 12 USE - LIGHTING PLAN COMPLY

RECOMMND

In addition to the above requirements, the surface of each parking space shall have a surface identification sign duplicating the symbol of accessibility in blue paint of at least 3 square feet in size.

90. PLANNING. 13 USE - ROOF EQUIPMENT SHIELDING

RECOMMND

Roof-mounted equipment shall be shielded from ground view. Screening material shall be subject to Planning Department approval.

90. PLANNING. 21 USE - EXISTING STRUCTURES

RECOMMND

All existing buildings, structures and uses on the entire property shall conform to all the applicable requirements of Ordinance No. 348 and Ordinance No. 457, and the conditions of this permit.

90. PLANNING. 26 USE - CONDITION COMPLIANCE

RECOMMND

The Department of Building and Safety shall verify that the Development Standards of this approval and all other preceding conditions have been complied with prior to any use allowed by this permit.

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90. PRIOR TO BLDG FINAL INSPECTION

90. PLANNING. 29

USE-WASTE MANAGEMENT CLEARANCE

RECOMMND

A clearance letter from Riverside County Waste Management Department shall be provided to the Riverside County Planning Department verifying compliance with the conditions of their letter dated June 2, 2009.

90. PLANNING. 30

GEN- FEE BALANCE

RECOMMND

Prior to final inspection, the Planning Department shall determine if the deposit based fees for CONDITIONAL USE PERMIT 3622 and/or any related case are in a negative balance. If so, any outstanding fees shall be paid by the developer/permit holder. The Planning Department shall clear this condition upon determination of compliance.

Note:

This condition shall be considered cleared if the 80 or 60 Series FEE BALANCE conditions are in a MET status.

90. PLANNING. 37

GEN - USE FINAL INSPECTION

RECOMMND

Prior to final inspection, the developer/permit holder shall contact the Planning Department to conduct a final inspection. The Planning Department shall do the following:

1. Verify compliance with all Planning Department 90 series conditions of approval; and,
2. Verify the site has been constructed according to the APPROVED EXHIBITS of this permit and/or APPROVED EXHIBITS that were required as a result of this permit.

The Planning Department shall verify this condition as part of the final inspection, and shall clear this condition upon determination of compliance.

90. PLANNING. 39

USE - LC LNDSCP INSPECT DEPOST

RECOMMND

Prior to building permit final inspection, the developer/permit holder shall file an Inspection Request Form and deposit sufficient funds to cover the costs of Installation, Six Month Establishment, and One Year Post-Establishment inspections. In the event that an open landscape case is not available, then the applicant shall open a FEE ONLY case to conduct inspections. The deposit required for landscape inspections shall be determined by

CONDITIONAL USE PERMIT Case #: CUP03622

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90. PRIOR TO BLDG FINAL INSPECTION

90.PLANNING. 39 USE - LC LINDSCP INSPECT DEPOST (cont.)

RECOMMND

the Riverside County Landscape Division. The Planning Department shall clear this condition upon determination of compliance.

90.PLANNING. 40 USE - LC COMPLY W/ LINDSCP/ IRR

RECOMMND

The developer/permit holder shall coordinate with their designated landscape representative and the Riverside County Planning Department's landscape inspector to ensure all landscape planting and irrigation systems have been installed in accordance with APPROVED EXHIBITS, landscaping, irrigation, and shading plans. The Planning Department will ensure that all landscaping is healthy, free of weeds, disease and pests; and, irrigation systems are properly constructed and determined to be in good working order. The developer/permit holder's designated landscape representative and the Riverside County Planning Department's landscape inspector shall determine compliance with this condition and execute a Landscape Certificate of Completion. Upon determination of compliance, the Planning Department shall clear this condition.

TRANS DEPARTMENT

90.TRANS. 1 USE - WRCOG TUMF

RECOMMND

Prior to the issuance of an occupancy permit, the project proponent shall pay the Transportation Uniform Mitigation Fee (TUMF) in accordance with the fee schedule in effect at the time of issuance, pursuant to Ordinance No. 824.

90.TRANS. 2 USE-EXISTING MAINTAINED(CONST)

RECOMMND

Florida Avenue (SH-74) along project boundary is a paved County maintained road designated as a Major Highway and shall be improved with 8" concrete curb and gutter located 38 feet from centerline to curb line and match up asphalt concrete paving; reconstruction; or resurfacing of existing paving as determined by the Transportation Department within the 50 foot half-width dedicated right-of-way in accordance with County Standard No. 93. (38'/50') (Modified for reduced right-of-way from 59' to 50'.)

NOTE: A 6' sidewalk shall be constructed adjacent to curb line within the 12' parkway.

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90. PRIOR TO BLDG FINAL INSPECTION

90.TRANS. 3 USE-ANNEX L&LMD/OTHER DIST

RECOMMND

The project proponent shall complete annexation to Landscaping and Lighting Maintenance District No. 89-1-Consolidated, and/or any other maintenance district approved by the Transportation Department or by processing and filing a 'Landscape Maintenance Agreement' through the Transportation Department Plan Check Division for continuous maintenance within public road rights-of-way, in accordance with Ordinance 461, Comprehensive Landscaping Guidelines & Standards, and Ordinance 859. Said annexation should include the following:

- (1) Landscaping along Florida Avenue (SH-74).
- (2) Traffic signals located on Florida Avenue at intersection of Columbia Street.

NOTE: Any commercial project along State Highway 79 must annex into L&LMD 89-1-C in addition to executing a landscape maintenance agreement.

90.TRANS. 4 USE - IMP PLANS

RECOMMND

Improvement plans for the required improvements must be prepared and submit to the Transportation Department.

NOTE: Before you prepare the street improvement plan(s), please review the Street Improvement Plan Policies and Guidelines from the Transportation Department Web site: [www.rctlma.org/trans/land\\_dev\\_plan\\_check\\_guidelines.html](http://www.rctlma.org/trans/land_dev_plan_check_guidelines.html).

90.TRANS. 5 USE - IMPROVEMENTS

RECOMMND

Columbia Street along project boundary is a paved County maintained road designated as a Secondary Highway and shall be improved with 6" concrete curb and gutter located 32 feet from the centerline, and match up asphalt concrete paving; reconstruction; or resurfacing of existing paving as determined by the Transportation Department within the existing half-width dedicated right-of-way in accordance with County Standard No. 94 and as approved by the Director of Transportation. (Modified for reduced right-of-way.)

NOTE: Construct transition AC pavement tapering and join existing AC pavement to the south as approved by the

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07:17

Riverside County LMS  
CONDITIONS OF APPROVAL

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90. PRIOR TO BLDG FINAL INSPECTION

90.TRANS. 5

USE - IMPROVEMENTS (cont.)

RECOMMND

Director of Transportation.

**LAND DEVELOPMENT COMMITTEE**  
**INITIAL CASE TRANSMITTAL**  
**RIVERSIDE COUNTY PLANNING DEPARTMENT - RIVERSIDE**  
**P.O. Box 1409**  
**Riverside, CA 92502-1409**

DATE: May 22, 2009

TO:

Riv. Co. Transportation Dept.  
Riv. Co. Environmental Health Dept.  
Riv. Co. Flood Control District  
Riv. Co. Fire Department  
Riv. Co. Dept. of Bldg. & Safety - Grading  
Riv. Co. Dept. of Bldg & Safety 2<sup>nd</sup> Floor  
Regional Parks & Open Space District.  
Riv. Co. Environmental Programs Dept.

P.D. Geology Section-D. Jones  
P.D. Trails Section-Christina Lindsay  
P.D. Landscaping Section-R. Dyo  
Riv. Co. Economic Dev. Agency Redevel.  
Riverside Transit Agency  
Riv. Co. Sheriff's Dept.  
Riv. Co. Waste Management Dept.  
3rd District Supervisor

3rd District Planning Commissioner  
Valley-Wide Recreation & Parks Dist.  
Temecula Valley Unified School Dist.  
City of Hemet  
Vertzon  
CALTRANS District #8  
Reg. Water Qlty. Control Board Santa Ana  
Eastern Municipal Water Dist.

**CONDITIONAL USE PERMIT NO.03622**

EA42165 - CFG05519 - Applicant: Jeff Rahman - Engineer/

Representative: Keith Gardner - Third Supervisorial District - Ramona Zoning District - San Jacinto Valley Area Plan: Community Development: Commercial Retail (CD:CR) (0.20 to 0.35 floor area ratio) - Location: Southerly of Florida Avenue, easterly of Columbia Street, westerly of Cornell Street, and northerly of Acacia Avenue - 0.69 Gross Acres - Zoning: Scenic Highway Commercial (C-P-S) - **REQUEST:** A proposal for an existing unoccupied building of approximately 4,000 square-feet to be converted into a convenience store. The convenience store would include a deli and the sale of alcoholic beverages including beer, wine and hard liquor. The property also includes an existing 4,000 square-foot mechanic shop and a 650 square-foot auxiliary mechanic building and provides 35 parking spaces. - APN: 438-230-027

Please review the attached map(s) and/or exhibit(s) for the above-described project. This case is scheduled for a **LDC meeting on June 18, 2009**. All LDC Members please have draft conditions in the Land Management System on or before the above date. If it is determined that the attached map(s) and/or exhibit(s) are not acceptable, please have corrections in the system and DENY the routing on or before the above date. Once the route is complete, and the approval screen is approved with or without corrections, the case can be scheduled for a public hearing.

All other transmitted entities, please have your comments, questions and recommendations to the Planning Department on or before the above date. Your comments/recommendations/conditions are requested so that they may be incorporated in the staff report for this particular case.

Should you have any questions regarding this project, please do not hesitate to contact **Wendell Bugtai, Project Planner**, at **(951) 955-2402** or email at [wbugtai@rcclma.org](mailto:wbugtai@rcclma.org) / **MAILSTOP# 1070**.

COMMENTS:

DATE: \_\_\_\_\_

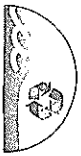
SIGNATURE: \_\_\_\_\_

PLEASE PRINT NAME AND TITLE: \_\_\_\_\_

TELEPHONE: \_\_\_\_\_

*If you do not include this transmittal in your response, please include a reference to the case number and project planner's name. Thank you.*

**FILE COPY**



Riverside County  
Waste Management Department

Hans W. Kernkamp, General Manager-Chief Engineer

June 2, 2009

Wendell Bugtai, Project Planner  
Riverside County Planning Department  
P. O. Box No. 1409  
Riverside, CA 92502-1409

**RE: Conditional Use Permit No. 3622 — Convert an existing building into a convenience store, including a deli and the sale of alcoholic beverages. In addition, an existing 4,000 square foot mechanic shop and a 650-square foot auxiliary mechanic building will continue to be operated adjacent to the converted convenience store.  
APN: 438-230-027**

Dear Mr. Bugtai:

The Riverside County Waste Management Department (RCWMD) has reviewed the proposed project located south of Florida Avenue, east of Columbia Street, west of Cornell Street, and north of Acacia Avenue, in the Ramona Zoning District. In order to mitigate the project's potential solid waste impacts and to help the County's efforts to comply with State law in diverting solid waste from landfill disposal, the Department is recommending that the following conditions be made a part of any Conditions of Approval for the project:

1. **Prior to issuance of a building permit for EACH building**, the applicant shall submit three (3) copies of a Recyclables Collection and Loading Area plot plan to the Riverside County Waste Management Department for review and approval. The plot plan shall conform to ***Design Guidelines for Recyclables Collection and Loading Areas***, provided by the Waste Management Department, and shall show the location of and access to the collection area for recyclable materials, along with its dimensions and construction detail, including elevation/facade, construction materials and signage. The plot plan shall clearly indicate how the trash and recycling enclosures shall be accessed by the hauler.
2. **Prior to final building inspection for EACH building**, the applicant shall construct the recyclables collection and loading area in compliance with the Recyclables Collection and Loading Area plot plan, as approved and stamped by the Riverside County Waste Management Department and as verified by the Riverside County Building and Safety Department through site inspection.

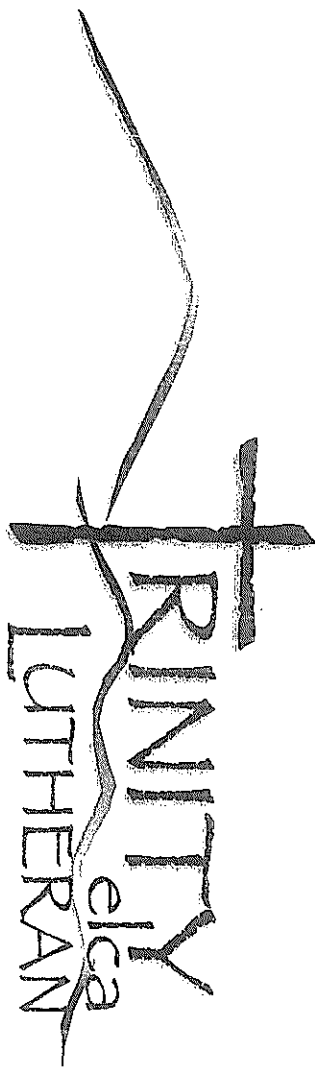
3. a) **Prior to issuance of a building permit**, a *Waste Recycling Plan* (WRP) shall be submitted to the Waste Management Department for approval. At a minimum, the WRP must identify the materials (i.e., concrete, asphalt, wood, etc.) that will be generated by construction and development, the projected amounts, the measures/methods that will be taken to recycle, reuse, and/or reduce the amount of materials, the facilities and/or haulers that will be utilized, and the targeted recycling or reduction rate. Materials can be taken directly to recycling facilities (Riverside County Waste Management Department, Recycling Section, can be contacted directly at 951.486.3200 for a list of facilities), or arrangements can be made through the franchise hauler and/or a construction clean-up business.
- b) **Prior to issuance of an occupancy permit**, evidence (i.e., receipts or other type verification) to demonstrate project compliance with the approved WRP shall be presented by the project proponent to the Planning Division of the Riverside County Waste Management Department in order to clear the project for occupancy permits.
4. Since hazardous materials are not accepted at Riverside County landfills, the project proponent shall take any hazardous wastes, including paint used during construction, to facilities that are permitted to receive them, in accordance with local, state, and federal regulations. For further information, please contact the Household Hazardous Waste Collection Program at 1-800-304-2226.
5. Use mulch and/or compost in the development and maintenance of landscaped areas within the project boundaries. Recycle green waste through either onsite composting of grass, i.e., leaving the grass clippings on the lawn, or sending separated green waste to a composting facility.
6. Consider xeriscaping and using drought tolerant/low maintenance vegetation in all landscaped areas of the project.

Thank you for the opportunity to review this proposal. If you have any questions, please call me at (951) 486-3284.

Sincerely,



Mirtha Liedl, Planner

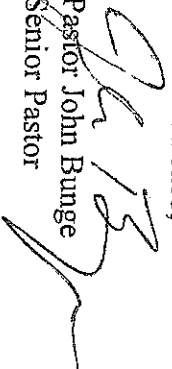


June 15, 2010

Dear Jeff,

After discussion at its June 14<sup>th</sup> meeting the Congregational Council of Trinity Lutheran Church has decided that it has no opposition to the building improvements you have proposed at the corner of Florida and Columbia St.. including the authorization to sell of wine and beer  
We are happy to send this on to any agency that would like a copy.

Grace and Peace,

  
Pastor John Bunge  
Senior Pastor

# COVINGTON & CROWE LLP

FRANK J. LIZARRAGA, JR.  
SAMUEL P. CROWE  
PAUL J. BURKHART  
TANYA D.S. HEHR  
JESSE T. MORRISON  
ERIC J. YOUNGQUIST  
WENDY D. MEYER  
BRENT L. VALDEZ

ATTORNEYS AT LAW  
3800 E. CONCOURS, SUITE 300  
DUNTRARIO, CALIFORNIA 91764  
TELEPHONE (909) 983-9393  
TELECOPIER (909) 391-6762

MAURICE G. COVINGTON  
(1909-1997)

HAROLD A. BAILIN  
(1930-1988)

GEORGE W. PORTER  
(1930-2008)

April 27, 2010

RIVERSIDE COUNTY PLANNING DEPT.  
Attn: Wendell Bugtai  
PO Box 1409  
Riverside, CA 92502-1409

RE: Conditional Use Permit No. 3622

Dear Planning Commission:

I wish to object to the proposed project (convenience store at Florida Ave./Columbia St., Hemet) for two reasons:

First, as a nearby resident on Cornell Street (APN 438240030), around the corner from the proposed project, the last thing that area needs is another location where alcohol is sold. The location in question is nearly across the street from a motel where vagrants are known to inhabit, directly across the street from a restaurant where on-site liquor sales occur, adjacent to a vacant field where purchasers of alcohol are likely to congregate and cause mischief, one block from another convenience store at the N/E corner of Florida and Cornell and one block from a gas station with a convenience store at the S/W corner of Florida and Yale. There is yet another convenience store near the S/E corner of Florida and Yale.

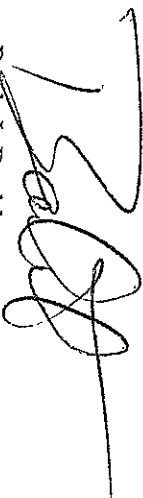
In other words, there already exist three convenience stores within a two block radius of the project, all of whom sell alcohol, and there may be others I am forgetting. The addition of another purveyor of alcohol is likely to lead to more crime and lower property values in an area that has suffered enough.

The second reason for my objection is, in my opinion, even more persuasive. A few months ago I represented a commercial tenant who operated an auto repair facility at the location in question. He was being evicted by the Applicant, Jeff Rahman. We had heard rumors of a desire by the applicant to install a project such as the one currently being proposed for your consideration. We raised that issue in court as part of our defense, and were assured by Mr. Rahman and his attorney, William Windham, that no such project was being considered. These representations were made in open court, **UNDER OATH** before the judge, as well as subsequently by Mr. Windham.

In addition to assuring me and the court that there was no intent to install a convenience store at the location, Mr. Windham also assured me outside of court that "there is no way a liquor store would ever be approved there."

I believe that the applicant should not be allowed to lie under oath in order to evict a tenant under false pretenses, without suffering any consequences for his deception. To approve this project would be to reward him for his perjury.

Sincerely,

A handwritten signature in black ink, appearing to read "P. Burkhardt", written over a horizontal line.

Paul J. Burkhardt  
COVINGTON & CROWE, LLP

PJB:jt  
344634



**APPLICATION FOR LAND USE AND DEVELOPMENT**

Proposal (describe project, indicate the number of proposed lots/parcels, units, and the schedule of the subdivision, Vesting Map, PRD):

To establish an El Toro Marketplace in an existing building. The market intends to sell beer, wine, and alcohol for off-site consumption

Related cases filed in conjunction with this request:

n/a

Is there a previous development application filed on the same site: Yes  No

If yes, provide Case No(s) \_\_\_\_\_ (Parcel Map, Zone Change, etc.)

E.A. No. (if known) \_\_\_\_\_ E.I.R. No. (if applicable): \_\_\_\_\_

Have any special studies or reports, such as a traffic study, biological report, archaeological report, geological or geotechnical reports, been prepared for the subject property? Yes  No

If yes, indicate the type of report(s) and provide a copy: \_\_\_\_\_

Is water service available at the project site: Yes  No

If "No," how far must the water line(s) be extended to provide service? (No. of feet/miles) \_\_\_\_\_

Is sewer service available at the site? Yes  No

If "No," how far must the sewer line(s) be extended to provide service? (No. of feet/miles) \_\_\_\_\_

Will the proposal result in cut or fill slopes steeper than 2:1 or higher than 10 feet? Yes  No

How much grading is proposed for the project site? \_\_\_\_\_  
n/a

Estimated amount of cut = cubic yards: \_\_\_\_\_  
n/a

Estimated amount of fill = cubic yards \_\_\_\_\_

Does the project need to import or export dirt? Yes  No

Import \_\_\_\_\_ Export \_\_\_\_\_ Neither \_\_\_\_\_

What is the anticipated source/destination of the import/export? \_\_\_\_\_

**APPLICATION FOR LAND USE AND DEVELOPMENT**

**AUTHORIZATION FOR CONCURRENT FEE TRANSFER**

The signature below authorizes the Planning Department and TLMA to expedite the refund and billing process by transferring monies among concurrent applications to cover processing costs as necessary. Fees collected in excess of the actual cost of providing specific services will be refunded. If additional funds are needed to complete the processing of your application, you will be billed, and processing of the application will cease until the outstanding balance is paid and sufficient funds are available to continue the processing of the application. The applicant understands the deposit fee process as described above, and that there will be NO refund of fees which have been expended as part of the application review or other related activities or services, even if the application is withdrawn or the application is ultimately denied.

All signatures must be originals ("wet-signed"). Photocopies of signatures are not acceptable.

Jeff Rahman

PRINTED NAME OF APPLICANT

SIGNATURE OF APPLICANT

**AUTHORITY FOR THIS APPLICATION IS HEREBY GIVEN:**

I certify that I am/we are the record owner(s) or authorized agent and that the information filed is true and correct to the best of my knowledge. An authorized agent must submit a letter from the owner(s) indicating authority to sign the application on the owner's behalf.

All signatures must be originals ("wet-signed"). Photocopies of signatures are not acceptable.

Jeff Rahman

PRINTED NAME OF PROPERTY OWNER(S)

SIGNATURE OF PROPERTY OWNER(S)

PRINTED NAME OF PROPERTY OWNER(S)

SIGNATURE OF PROPERTY OWNER(S)

If the property is owned by more than one person, attach a separate sheet that references the application case number and lists the printed names and signatures of all persons having an interest in the property.

See attached sheet(s) for other property owners signatures.

**PROPERTY INFORMATION:**

Assessor's Parcel Number(s): 438230027

Section: 12 Township: 5 south Range: 1 west

Approximate Gross Acreage: .698

General location (nearby or cross streets): North of \_\_\_\_\_, South of \_\_\_\_\_

Florida Ave / Hwy 74 East of Columbia Street West of \_\_\_\_\_

Thomas Brothers map, edition year, page number, and coordinates: 2009, pg 811, 7D

## NOTICE OF PUBLIC HEARING

A **PUBLIC HEARING** has been scheduled, pursuant to Riverside County Land Use Ordinance No. 348, before the **RIVERSIDE COUNTY PLANNING COMMISSION** to consider the project shown below:

**CONDITIONAL USE PERMIT NO. 3622** – Categorically Exempt per CEQA Section 15303 (c) - Applicant: Jeff Rahman - Engineer/ Representative: Jeff Rahman - Third Supervisorial District – Ramona Zoning District – San Jacinto Valley Area Plan: Community Development: Commercial Retail (CD:CR) (0.20 to 0.35 floor area ratio) - Location: Southerly of Florida Avenue, easterly of Columbia Street, westerly of Cornell Street, and northerly of Acacia Avenue – 0.6 Gross Acres - Zoning: Scenic Highway Commercial (C-P-S) – **REQUEST:** The Conditional Use Permit proposes to convert an existing unoccupied building totaling approximately 9,720 square-feet into a 4,088 square-foot convenience store and a 5,632 square-foot of shell leasable area. The convenience store would include a market/deli and the sale of alcoholic beverages including beer, wine and distilled spirits for off-premises consumption (ABC License Type 21). In addition, an approximately 650 square-foot storage facility will remain as storage and 42 parking spaces are proposed. (Quasi-Judicial)

**TIME OF HEARING:** 9:00 a.m. or as soon as possible thereafter.  
**DATE OF HEARING:** May 5, 2010  
**PLACE OF HEARING:** RIVERSIDE COUNTY ADMINISTRATIVE CENTER  
BOARD CHAMBERS, 1<sup>ST</sup> FLOOR  
4080 LEMON STREET  
RIVERSIDE, CA 92501

For further information regarding this project, please contact Wendell Bugtai, Project Planner at 951-955-2419 or e-mail [wbugtai@rcplma.org](mailto:wbugtai@rcplma.org) , or go to the County Planning Department's Planning Commission agenda web page at [www.tlma.co.riverside.ca.us/planning/pc.html](http://www.tlma.co.riverside.ca.us/planning/pc.html)

The Riverside County Planning Department has determined that the above-described application is exempt from the provisions of the California Environmental Quality Act (CEQA). The Planning Commission will consider the proposed application at the public hearing.

The case file for the proposed project may be viewed Monday through Friday, from 8:00 A.M. to 5:00 P.M. at the Planning Department office, located at 4080 Lemon St. 12th Floor, Riverside, CA 92501.

Any person wishing to comment on the proposed project may do so in writing between the date of this notice and the public hearing; or, may appear and be heard at the time and place noted above. All comments received prior to the public hearing will be submitted to the Planning Commission, and the Planning Commission will consider such comments, in addition to any oral testimony, before making a decision on the proposed project.

If this project is challenged in court, the issues may be limited to those raised at the public hearing, described in this notice, or in written correspondence delivered to the Planning Commission at, or prior to, the public hearing. Be advised that as a result of public hearings and comment, the Planning Commission may amend, in whole or in part, the proposed project. Accordingly, the designations, development standards, design or improvements, or any properties or lands within the boundaries of the proposed project, may be changed in a way other than specifically proposed.

Please send all written correspondence to:

RIVERSIDE COUNTY PLANNING DEPARTMENT  
Attn: Wendell Bugtai, Project Planner  
P.O. Box 1409, Riverside, CA 92502-1409

**PUBLIC HEARING NOTICE LABELS CERTIFICATION FORM**

I, David Mares, Print name certify that on 10/6/10, Date

the attached property owner's list was prepared by:

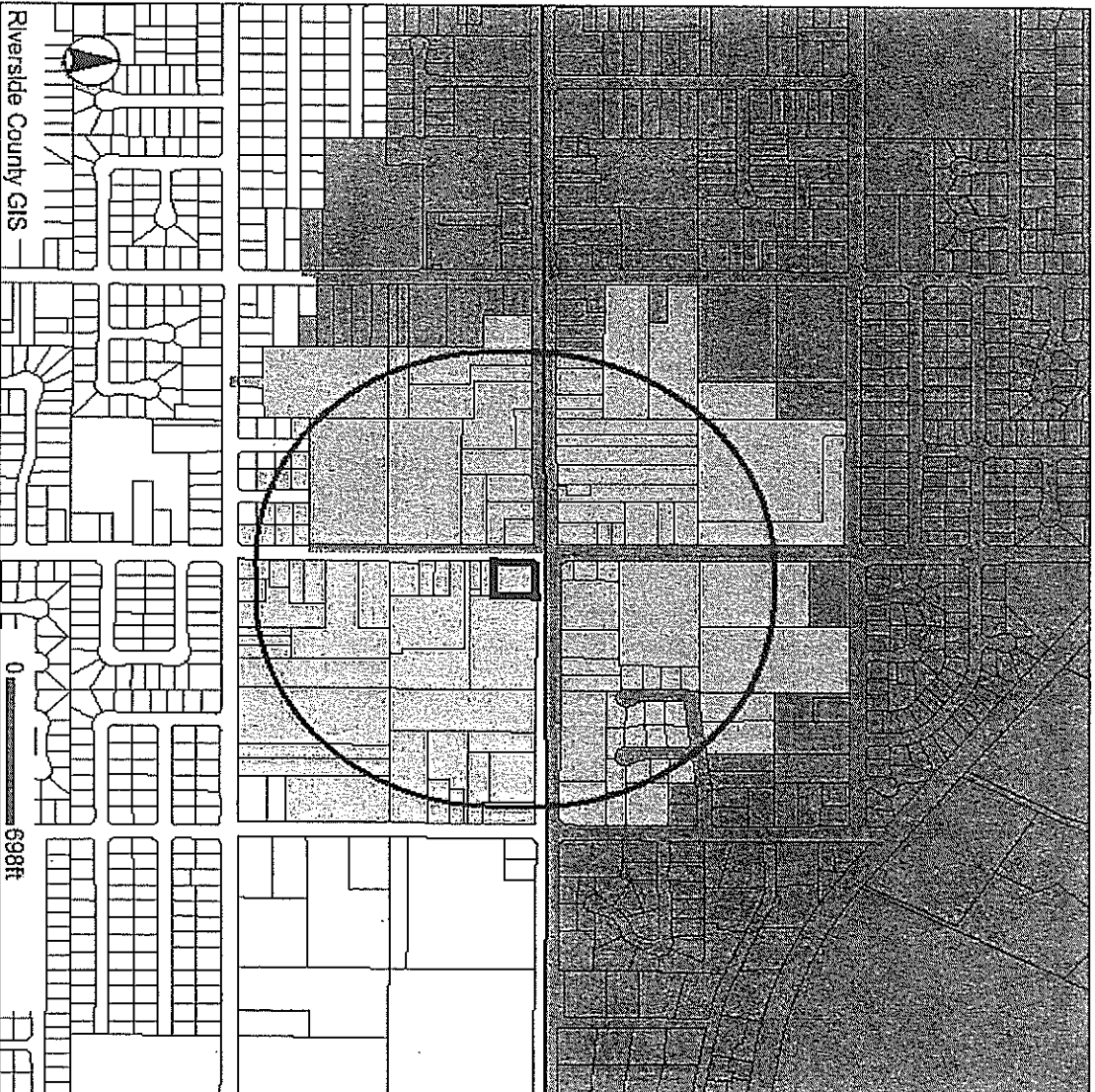
David Mares for the following project, CUP 3622  
Print Company Name and/or Individual's Name Project case number(s)

using a radius distance of 1000 feet, pursuant to application requirements furnished by the Riverside County Planning Department. Said list is a complete and true compilation of the project applicant, the applicant's engineer/representative, if any, the owner(s) of the subject property, the school district or districts within whose boundary the subject project is located, every City within one mile of the subject property or within whose sphere of influence the subject property is located, if any, and, all other property owners within a 600 foot radius around the subject property, and all contiguously owned properties, if any, or if that area yields less than 25 different owners, all property owners within a notification area expanded to yield a minimum of 25 different owners, to a maximum area of 2,400 feet from the project boundaries, based upon the latest equalized assessment rolls. If the property is a subdivision with identified off-site access/improvements, said list includes a complete and true compilation of the names and mailing addresses of the owners of all the property that is adjacent to the proposed off-site improvement/alignment.

I further certify that the information field is true and correct to the best of my knowledge.

Name: David Mares  
Title/Registration: Principal Planner  
Address: 4080 Lemon St.  
Address: \_\_\_\_\_  
City: Riverside State: Ca Zip: 92502  
Telephone No.: (951) 955-9076 Fax No.: ( ) \_\_\_\_\_  
E-Mail: \_\_\_\_\_  
Case No.: CUP3 622

CUP3622 - 1,000 Ft. Buffer



**Selected parcel(s):**  
 No labels created these parcel(s)...

438-220-021	438-230-002	438-230-006	438-230-009	438-230-011	438-230-015	438-230-027
438-230-032	438-230-036	438-230-039	438-240-001	438-240-011	438-240-015	438-240-029
438-240-033	438-240-036	438-240-039	438-240-042	438-250-002	445-210-005	445-220-001
445-220-003	445-220-009	445-290-002	445-290-005	445-290-021	445-300-014	445-300-020
	445-300-026	445-300-033	445-300-039			

**\*IMPORTANT\***

This information is made available through the Riverside County Geographic Information System. The information is for reference purposes only. It is intended to be used as base level information only and is not intended to replace any recorded documents or other public records. Contact appropriate County Department or Agency if necessary. Reference to recorded documents and public records may be necessary and is advisable.

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Owner:  
R & B Investments, Inc.  
328 North State St., Ste. 201  
Hemet, CA 92543

Applicant:  
Jeff Rahman  
328 North State St.  
Hemet, CA 92543

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25941 COLUMBIA ST  
HEMET CA. 92544

APN: 445300035 ASMT: 445300035  
SALLY RAEHL  
LAWRENCE H ALDERSON  
RICHARD L ALDERSON  
THOMAS C ALDERSON, ETAL  
1400 W JOHNSTON AVE  
HEMET CA 92543

APN: 445300034 ASMT: 445300034  
CLAUDIA A COVERT  
PMB 226  
41800 WASHINGTON ST B105  
BERMUDA DUNES CA 92203

APN: 445300039 ASMT: 445300039  
PARK COLUMBIA APARTMENTS INC  
C/O NANCY ANDERSON  
P O BOX 9118  
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JUPITER FL 33458

C/O ROD J SHEARER  
12115 NE 98TH ST NO 1800  
VANCOUVER WA 98682

APN: 438230039 ASMT: 438230039  
FOUD E HADWEH  
NELLY G HADWEH  
NABIL S MATAR  
ARLETTE P MATAR  
41241 E FLORIDA AVE  
HEMET CA. 92544

APN: 438240001 ASMT: 438240001  
JERRY T RASKEY  
183 SULGRAVE DR  
HEMET CA. 92544

APN: 438240002 ASMT: 438240002  
PANGRETTSCHE HERBERT & DENA  
LIVING TRUST  
C/O HERBERT PANGRETTSCHE  
171 SULGRAVE DR  
HEMET CA. 92544

APN: 438240003 ASMT: 438240003  
GREGORIO M JIMENEZ  
EVANGELINA U JIMENEZ  
157 SULGRAVE DR  
HEMET CA. 92544

APN: 438240004 ASMT: 438240004  
MARLYS A NICHOLS  
141 SULGRAVE DR  
HEMET CA. 92544

APN: 438240005 ASMT: 438240005  
BOK SIL LEE  
830 3RD AVE  
LOS ANGELES CA 90005

APN: 438240006 ASMT: 438240006  
GREATER TEXAS PROP INC  
C/O PIERRE L DEBOURGNIECHT  
8 NEWBURY ST  
BOSTON MA 2116

APN: 438240007 ASMT: 438240007  
RODOLFO GARCIA RAMOS  
CONSUELO SAENZ RAMOS  
800 N BUENA VISTA  
HEMET CA. 92543

APN: 438240012 ASMT: 438240012  
XCELL CAPITAL  
STE H130 PMB 433  
638 CAMINO DE LOS MARE  
SAN CLEMENTE CA 92673

APN: 438240013 ASMT: 438240013  
THAKORBHAI MADHAVBHAI PATEL  
URMILABEN THAKORBHAI PATEL  
2688 E FLORIDA AVE  
HEMET CA. 92544

APN: 438240015 ASMT: 438240015  
RAY N JOHNSON  
PATRICIA A JOHNSON  
132 SULGRAVE DR  
HEMET CA. 92544

APN: 438240016 ASMT: 438240016  
STEVE S FROMM  
MARGIELA FROMM  
10541 GROVELAND AVE  
WHITTIER CA 90603

APN: 438240017 ASMT: 438240017  
GEORGE ANTONIO CASTRO  
ELSIE CASTRO  
164 SULGRAVE DR  
HEMET CA. 92544

APN: 438240018 ASMT: 438240018  
STEVE KNAUSS  
RUSHKA KNAUSS  
2739 VISTA WAY  
HEMET CA. 92544

APN: 438240019 ASMT: 438240019  
FRANCISCO LUNA  
EDNA B LUNA  
2769 VISTA WAY  
HEMET CA. 92544

APN: 438240020 ASMT: 438240020  
KENNETH FINN  
SHERENA FINN  
163 PARK VISTA LN  
HEMET CA. 92544

APN: 438240022 ASMT: 438240022  
WILSON BILL & BETTY FAMILY TRUST  
WILLIAM E WILSON  
BETTY E WILSON  
133 PARK VISTA LN  
HEMET CA. 92544

APN: 438240023 ASMT: 438240023  
HENRY C HICKS  
DOROTHY HICKS  
132 PARK VISTA LN  
HEMET CA. 92544

APN: 438240024 ASMT: 438240024  
KEVIN W SECHREST  
146 PARK VISTA LN  
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APN: 438240025 ASMT: 438240025  
JOHN T HAYS  
CAROLYN J HAYS  
2406 EL RANCHO CIR  
HEMET CA 92544

APN: 438240026 ASMT: 438240026  
VICTOR RUIZ  
ALICIA RUIZ  
2809 VISTA WAY  
HEMET CA. 92544

APN: 438240029 ASMT: 438240029  
CELINDA CHRISTINA DURAN  
161 N CORNELL ST  
HEMET CA. 92544

APN: 438240030 ASMT: 438240030  
PAUL J BURKHART  
LAURIE A BURKHART  
131 N CORNELL ST  
HEMET CA. 92544

APN: 438240039 ASMT: 438240039  
JAVIER DELGADO  
ALENA R DELGADO  
1820 W EATON AVE  
HEMET CA 92545

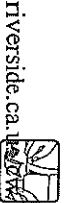
APN: 438240042 ASMT: 438240042  
IBRAHIM M HAKIM  
C/O NADER SARKIS  
568 PREGRINE  
SAN JACINTO CA 92582

APN: 438250002 ASMT: 438250002  
RAYMOND E HENRY  
11730 WETHERBY LN  
LOS ANGELES CA 90077

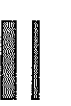
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APN: 445300028 ASMT: 445300028  
PAUL J GETZ  
LOUISE A GETZ  
4497 DU CAME ST  
HEMET CA. 92544

APN: 445300029 ASMT: 445300029  
ARMANDO IBARRA  
NORMA A BAHENA  
25940 TAMARISK DR  
HEMET CA. 92544

APN: 445300030 ASMT: 445300030  
RAFAEL R MEZA  
14645 ELM CROFT AVE  
NORWALK CA 90650

APN: 445300031 ASMT: 445300031  
DEREK G MIAH  
AIMEE C MIAH  
DAVID MIAH  
C/O DAVID MIAH  
25980 TAMARISK DR  
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CONSUELO SAENZ RAMOS  
800 N BUENA VISTA  
HEMET CA 92543

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XCCELL CAPITAL  
STE H130 PMB 433  
638 CAMINO DE LOS MARE  
SAN CLEMENTE CA 92673

APN: 438240013 ASMT: 438240013  
THAKORBHAI MADHAVBHAI PATEL  
URMLIABEN THAKORBHAI PATEL  
2668 E FLORIDA AVE  
HEMET CA. 92544

APN: 438240015 ASMT: 438240015  
RAY N JOHNSON  
PATRICIA A JOHNSON  
132 SULGRAVE DR  
HEMET CA. 92544

APN: 438240016 ASMT: 438240016  
STEVE S FROMM  
MARGIELA FROMM  
10541 GROVELAND AVE  
WHITTIER CA 90603

APN: 438240017 ASMT: 438240017  
GEORGE ANTONIO CASTRO  
ELSIE CASTRO  
164 SULGRAVE DR  
HEMET CA. 92544

APN: 438240018 ASMT: 438240018  
STEVE KNAUSS  
RUSHKA KNAUSS  
2739 VISTA WAY  
HEMET CA. 92544

APN: 438240019 ASMT: 438240019  
FRANCISCO LUNA  
EDNA B LUNA  
2769 VISTA WAY  
HEMET CA. 92544

APN: 438240020 ASMT: 438240020  
KENNETH FINN  
SHERENA FINN  
163 PARK VISTA LN  
HEMET CA. 92544

APN: 438240022 ASMT: 438240022  
WILSON BILL & BETTY FAMILY TRUST  
WILLIAM E WILSON  
BETTY E WILSON  
133 PARK VISTA LN  
HEMET CA. 92544

APN: 438240023 ASMT: 438240023  
HENRY C HICKS  
DOROTHY HICKS  
132 PARK VISTA LN  
HEMET CA. 92544

APN: 438240024 ASMT: 438240024  
KEVIN W SECHREST  
146 PARK VISTA LN  
HEMET CA. 92544

APN: 438240025 ASMT: 438240025  
JOHN T HAYS  
CAROLYN J HAYS  
2406 EL RANCHO CIR  
HEMET CA. 92544

APN: 438240026 ASMT: 438240026  
VICTOR RUIZ  
ALICIA RUIZ  
2809 VISTA WAY  
HEMET CA. 92544

APN: 438240029 ASMT: 438240029  
CELINDA CHRISTINA DURAN  
161 N CORNELL ST  
HEMET CA. 92544

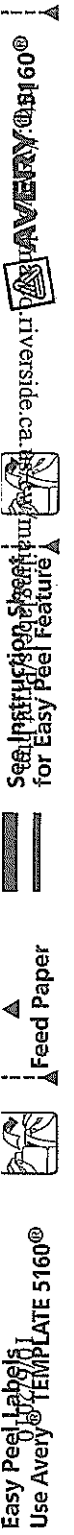
APN: 438240030 ASMT: 438240030  
PAUL J BURKHART  
LAURIE A BURKHART  
131 N CORNELL ST  
HEMET CA. 92544

APN: 438240039 ASMT: 438240039  
JAVIER DELGADO  
ALENA R DELGADO  
1820 WEATON AVE  
HEMET CA. 92545

APN: 438240042 ASMT: 438240042  
IBRAHIM M HAKIM  
C/O NADER SARIKIS  
558 PEREGRINE  
SAN JACINTO CA 92582

APN: 438250002 ASMT: 438250002  
RAYMOND E HENRY  
11730 WETHERBY LN  
LOS ANGELES CA 90077

APN: 438250004 ASMT: 438250004  
AURORA LOAN SERVICES  
10250 PARK MEADOWS DR  
LITTLETON CO 80124



APN: 438220001 ASMT: 438220001  
ROBERT L TAYLOR  
JOAN A TAYLOR  
P O BOX 129  
HEMET CA 92546

APN: 438220002 ASMT: 438220002  
JOHN R SPENCER  
SHIRLEY G SPENCER  
12700 SOULE ST  
POWAY CA 92064

APN: 438220003 ASMT: 438220003  
SOWATHANA LAMSONG  
25836 COLUMBIA ST  
HEMET CA. 92544

APN: 438220004 ASMT: 438220004  
SPSSM INV II  
4900 SANTA ANA NO 2C  
EL MONTE CA 91732

APN: 438220005 ASMT: 438220005  
CARLOS NAVARRO  
ERNESTINA NAVARRO  
25960 COLUMBIA ST  
HEMET CA. 92544

APN: 438220006 ASMT: 438220006  
BETTY J HALMAN  
41014 ACACIA AVE  
HEMET CA. 92544

APN: 438220007 ASMT: 438220007  
ENTRUST ADMINISTRATION INC  
555 12TH ST NO 1250  
OAKLAND CA 94607

APN: 438220008 ASMT: 438220008  
FANCY VISIONS INTERNATIONAL INC  
C/O DENNIS W WEBB  
46740 JUN HILLS DR  
AGUANGA CA 92536

APN: 438220009 ASMT: 438220009  
GLEN MCMILLIN  
41070 ACACIA AVE  
HEMET CA. 92544

APN: 438220011 ASMT: 438220011  
EARL L MORRIS  
ELMONDA R MORRIS  
41088 ACACIA AVE  
HEMET CA. 92544

APN: 438220012 ASMT: 438220012  
JAMES L OLSEN  
SANDRA OLSEN  
41122 E ACACIA AVE  
HEMET CA. 92544

APN: 438220013 ASMT: 438220013  
FARMERS & MERCHANTS BANK OF  
LONG BEACH  
C/O REC DEPT  
302 PINE AVE  
LONG BEACH CA 90802

APN: 438220014 ASMT: 438220014  
JOSE O GOMEZ  
LILIAN GOMEZ  
41198 ACACIA AVE  
HEMET CA. 92544

APN: 438220015 ASMT: 438220015  
NSM FAROQUE  
1565 COULSTON STE 4  
SAN BERNARDINO CA 92408

APN: 438220021 ASMT: 438220021  
NEW YORK APTS  
C/O DOUG WETTON  
P O BOX 5647  
BALBOA ISLAND CA 92662

APN: 438230002 ASMT: 438230002  
OTTO JOHN P & THELMA J FAMILY  
TRUST  
JOHN P OTTO  
THELMA J OTTO  
27325 IDA LN  
HEMET CA 92544

APN: 438230003 ASMT: 438230003  
HAROLD HOCHBERG  
25808 COLUMBIA ST  
HEMET CA. 92544

APN: 438230006 ASMT: 438230006  
PAUL F THOMPSON  
25858 COLUMBIA ST  
HEMET CA. 92544

APN: 438230009 ASMT: 438230009  
JOHN P OTTO  
THELMA J OTTO  
OTTO JOHN P & THELMA J FAMILY  
TRUST  
27325 IDA LN  
HEMET CA 92544

APN: 438230011 ASMT: 438230011  
MASIKO HOLDINGS  
C/O SWATI PANSE  
27110 SOBOBA ST  
HEMET CA 92544

APN: 438230012 ASMT: 438230012  
GEORGE SAFIE  
28304 VISTA DEL VALLE  
HEMET CA 92543

APN: 438230015 ASMT: 438230015  
TOURYALAI SHALIKAR  
OLGA SHALIKAR  
41215 E FLORIDA AVE  
HEMET CA 92544

APN: 438230016 ASMT: 438230016  
IRVIN HENRY ROBINSON  
BERNICE L ROBINSON  
25825 CORNELL ST  
HEMET CA. 92544

APN: 438230018 ASMT: 438230018  
SARAH MAE TORRES  
42051 SAN JOSE DR  
SAN JACINTO CA 92583

APN: 438230019 ASMT: 438230019  
JUDY HOLTE  
GARY V WACKER  
RITA W WACKER  
P O BOX 4020  
HEMET CA 92546

APN: 438230027 ASMT: 438230027  
R & B INV INC  
415 N SANTA FE AVE  
VISTA CA 92084

APN: 438230032 ASMT: 438230032  
MARK TWAIN CLEMONS  
25828 COLUMBIA ST  
HEMET CA. 92543

APN: 438230033 ASMT: 438230033  
RAKESH C GUPTA

APN: 438230035 ASMT: 438230035

APN: 438230037 ASMT: 438230037  
JERRY ERWIN ASSOC INC



APN: 438250005 ASMT: 438250005  
NORMAN E HUREWITZ  
KAREN E HUREWITZ  
2750 VISTA WWAY  
HEMET CA. 92544

APN: 445210005 ASMT: 445210005  
RIVERSIDE COUNTY FLOOD CONT  
1995 MARKET ST  
RIVERSIDE CA 92501

APN: 445210007 ASMT: 445210007  
RIVERSIDE COUNTY FLOOD CONTROL  
1995 MARKET ST  
RIVERSIDE CA 92501

APN: 445220001 ASMT: 445220001  
DAVEID M LUDWIG  
241 N SANDPIPER CIR  
ORANGE CA 92869

APN: 445220003 ASMT: 445220003  
SREENIVASA R NAKKA  
HEMALATHA NAKKA  
C/O ROSENTHAL & EXCELL  
1600 E FLORIDA AVE 110  
HEMET CA 92544

APN: 445220009 ASMT: 445220009  
L CRAIG WHITE  
LUANN L WHITE  
2224 E FLORIDA  
HEMET CA 92544

APN: 445220010 ASMT: 445220010  
TEODORO CERVANTES  
SONIA B CERVANTES  
2244 E FLORIDA AVE  
HEMET CA. 92544

APN: 445220011 ASMT: 445220011  
JOSEPH DATTILO  
MARIA C DATTILO  
2288 E FLORIDA AVE  
HEMET CA. 92544

APN: 445220013 ASMT: 445220013  
JORGE LEYVA  
RAQUEL LEYVA  
118 E FLORIDA AVE  
HEMET CA 92543

APN: 445220015 ASMT: 445220015  
KALI P CHAUDHURI  
C/O KPG PROPERTY MGMT  
2312 PARK AVE NO 602  
TUSTIN CA 92782

APN: 445220016 ASMT: 445220016  
WILLIAM E THOMAS  
SOUTH PAC TRUST INTERNATIONAL  
INC  
C/O GREENACRE FAMILY TRUST  
42830 CHAUDHURI CIR  
HEMET CA 92544

APN: 445220019 ASMT: 445220019  
HABIB REHMAN  
NASREEN AYESHA REHMAN  
27861 CORNELL ST  
HEMET CA 92544

APN: 445220021 ASMT: 445220021  
LATHAM MANAGEMENT &  
CONSULTING SERVICES INC  
1225 E LATHAM AVE  
HEMET CA 92543

APN: 445220024 ASMT: 445220024  
TRACI HOLLAND VINCENT  
6026 ST AGUSTINE DR  
RIVERSIDE CA 92506

APN: 445220025 ASMT: 445220025  
FRANCISCO JAVIER MEDINA  
1324 STROZLER AVE  
SOUTH EL MONTE CA 91733

APN: 445290002 ASMT: 445290002  
DGVM V34 INC  
2433 E FLORIDA AVE  
HEMET CA 92544

APN: 445290021 ASMT: 445290021  
NADIM HASAN  
NAWAL HASAN  
ALI M YASIN  
SALAM A YASIN  
5930 COPPERHELD AVE  
RIVERSIDE CA 92507

APN: 445290022 ASMT: 445290022  
GEORGE H MAYERS  
P O BOX 158  
HEMET CA 92546

APN: 445290023 ASMT: 445290023  
CHUN INV  
C/O LARRY JOHN  
4230 DOUGLAS BLV NO 100  
GRAMITE BAY CA 95746

APN: 445290024 ASMT: 445290024  
MARKET STREET LAND & CATTLE CO  
GONE FISHING  
C/O CHIP OWEN  
1415 SAVOY CIR  
SAN DIEGO CA 92107

APN: 445290026 ASMT: 445290026  
DALE H ROBSON  
FLORA M ROBSON  
MAY E ROBSON  
C/O MAY ROBSON  
7501 PALM AVE SPC 171  
YUCCA VALLEY CA 92284

APN: 445290027 ASMT: 445290027  
TRINITY LUTHERAN CHURCH OF  
HEMET  
191 S COLUMBIA ST  
HEMET CA. 92544

APN: 445290028 ASMT: 445290028  
CRC CA  
P O BOX 281  
GLEN DIVE MT 59330

APN: 445300020 ASMT: 445300020  
MOHAMMADREZA MOHAMMADKHANI  
MICHAEL NABER  
25951 CHERRYWOOD DR  
HEMET CA. 92544

APN: 445300021 ASMT: 445300021  
WILLIAM G STROMBLAD  
26146 REGENT CT  
HEMET CA 92544

APN: 445300022 ASMT: 445300022  
VICENTE VILLA  
25964 CHERRYWOOD DR  
HEMET CA. 92544

APN: 445300026 ASMT: 445300026  
RAFAEL PEREZ  
105 B AVE  
NATIONAL CITY CA 91950

# COUNTY OF RIVERSIDE TRANSPORTATION AND LAND MANAGEMENT AGENCY

George A. Johnson - Agency Director  
**Planning Department**  
Ron Goldman - Planning Director

## NOTICE OF EXEMPTION

TO:  Office of Planning and Research (OPR)  
P. O. Box 3044  
Sacramento, CA 95812-3044  
 County of Riverside County Clerk

FROM:  Riverside County Planning Department  
 4080 Lemon Street, 9th Floor  
P. O. Box 1409  
Riverside, CA 92502-1409

38686 El Cerrito Road  
Palm Desert, CA 92201

Project Title/Case No.: CUP 3622 / CFG 5519

Project Location: In the unincorporated area of Riverside County, more specifically located southwerty of Florida Avenue, eastwerty of Columbia Street, westerly of Cornell Street, and northerly of Acadia Avenue.

Project Description: The Plot Plan proposal is for an existing unoccupied building totaling approximately 9,720 square-feet to be converted into a 4,088 square-foot convenience store and a 5,632 square-foot of shell leasable area. The convenience store would include a market/deli and the sale of alcoholic beverages for off-site consumption including beer, wine and distilled spirits (Type 21) for Off Premises Consumption pursuant to Ordinance 348 Section 13.48. In addition, an approximately 650 square-foot detached building to be removed.

Name of Public Agency Approving Project: Riverside County Planning Department

Project Sponsor: Jeff Rahman

Exempt Status: (Check one)  
 Ministerial (Sec. 21080(b)(1); 15268)  Categorical Exemption (15303 (c))  
 Declared Emergency (Sec. 21080(b)(3); 15269(a))  Statutory Exemption ( )  
 Emergency Project (Sec. 21080(b)(4); 15269 (b)(c))  Other: \_\_\_\_\_

1. **Reasons why project is exempt:** CEQA 15303 (c) – New Construction or Conversion of Small Structures

- (a) The project is currently and existing unoccupied building totaling approximately 9,720 square-feet to be converted into a 4,088 square-foot convenience store and a 5,632 square-foot of shell leasable area. In addition, an approximately 650 square-foot detached building to be removed. The project site has no value as a habitat for endangered, rare or threatened species.
- (b) The project is currently and existing unoccupied building totaling approximately 9,720 square-feet to be converted into a 4,088 square-foot convenience store and a 5,632 square-foot of shell leasable area. In addition, an approximately 650 square-foot detached building to be removed and can be adequately served by all required utilities and public services.

2. CEQA 15303 (c) – Review of Exemption

Based upon staff review as the lead agency, this activity is covered by the general rule that CEQA applies only to projects, which have the potential for causing a significant effect on the environment. Where it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the activity is not subject to CEQA.

As stated in the definition for "New Construction or Conversion of Small Structures" within the CEQA guidelines Section 15303, the site is an urbanized area that meets the following criteria:

A store, motel, office, restaurant or similar structure not involving the use of significant amounts of hazardous substances, and not exceeding 2500 square feet in floor area. In urbanized areas, the exemption also applies to up to four such commercial buildings not exceeding 10,000 square feet in floor area on sites zoned for such use, if not involving the use of significant amounts of hazardous substances where all necessary public services and facilities are available and the surrounding area is not environmentally sensitive.

Wendell Bucfal 951-955-2419

*County Contact Person*

 Signature

Project Planner Title

*Phone Number*

November 1, 2010 Date

Date Received for Filing and Posting at OPR: \_\_\_\_\_  
Revised: 3/15/10 by R. Jauritz  
Y:\Planning Master Form\Templates\CEQA Form\SNCE Form.doc

Please charge deposit fee case#: ZEA- N/A ZCFG No. 5519 - County Clerk Posting Fee  
**FOR COUNTY CLERKS USE ONLY**

COUNTY OF RIVERSIDE  
SPECIALIZED DEPARTMENT RECEIPT  
Permit Assistance Center

N\* REPRINTED \* R0905610

4080 Lemon Street                      39493 Los Alamos Road                      38686 El Cerrito Rd  
Second Floor                              Suite A    Indio, CA 92211  
Riverside, CA 92502                      Murrieta, CA 92563                              (760) 863-8271  
(951) 955-3200                              (951) 694-5242

\*\*\*\*\*

Received from: RAHMAN JEFF

\$64.00

paid by: CK 1128

CA F&G FEE FOR CUP03622

paid towards: CFG05519 CALIF FISH & GAME: DOC FEE

at parcel:

appl type: CFG3

By SBROSTRO    Apr 23, 2009 16:25

posting date Apr 23, 2009

\*\*\*\*\*

Account Code	Description	Amount
658353120100208100	CF&G TRUST: RECORD FEES	\$64.00

Overpayments of less than \$5.00 will not be refunded!