

SUBMITTAL TO THE BOARD OF SUPERVISORS
COUNTY OF RIVERSIDE, STATE OF CALIFORNIA

111B



FROM: TLMA - Planning Department

SUBMITTAL DATE:
March 16, 2011

SUBJECT: PUBLIC USE PERMIT NO. 907 (FAST TRACK NO. 2010-07) – EA42398 –
Applicant: Santa Rosa Academy – Engineer/Representative: Brad Burke Architect – Third Supervisorial District – Winchester Zoning District – Sun City / Menifee Valley Area Plan: Rural Community: Estate Density Residential (RC: EDR) (2 Acre Minimum) – Location: northerly of Wickerd Road, easterly of El Centro Lane and westerly of La Ventana Lane – 25.0 Gross Acres – Zoning: Residential Agricultural - 5 Acre Minimum (R-A-5) – **REQUEST:** The Public Use Permit proposes a 109,125 square foot public charter school, Santa Rosa Academy, consisting of multiple buildings for up to 1,500 students for grades K-12 with 237 parking spaces on a 25 gross acre site to be constructed in two (2) phases. Phase I will include the construction of approximately 67,065 square feet of building area consisting of 55 classrooms, administrative offices, a library / technology center, a student pavilion, a security office and 237 parking spaces. Phase II will include the construction of approximately 42,060 square feet of building area consisting of a theater, a gymnasium, and baseball and soccer fields. – APN(s): 466-210-031 and 466-210-032.

RECOMMENDED MOTION:

ADOPTION of a **MITIGATED NEGATIVE DECLARATION** for **ENVIRONMENTAL ASSESSMENT NO. 42398**, based on the findings incorporated in the initial study, and the conclusion that the project will not have a significant effect on the environment; and,

APPROVAL of **PUBLIC USE PERMIT NO. 907**, subject to the attached Conditions of Approval, and based upon the findings and conclusions incorporated in the staff report.



Greg Neal, Deputy Director for
Carolyn Syms Luna
Planning Director

Initials:
CSL:vc

Dep't Recomm.: ☐ Consent ☒ Policy
Per Exec. Ofc.: ☐ Consent ☒ Policy

Prev. Agn. Ref.

District: Third

Agenda Number:

16.1

Agenda Item No.:
Area Plan: Sun City / Menifee Valley
Zoning District: Winchester
Supervisory District: Third
Project Planner: Christian Hinojosa
Board of Supervisors: April 12, 2011

PUBLIC USE PERMIT NO. 907
(Fast Track No. 2010-07)
Environmental Assessment No. 42398
Applicant: Santa Rosa Academy
Engineer/Representative: Brad Burke
Architect

COUNTY OF RIVERSIDE PLANNING DEPARTMENT STAFF REPORT

PROJECT DESCRIPTION AND LOCATION:

The Public Use Permit (Fast Track No. 2010-07) proposes a 109,125 square foot public charter school, Santa Rosa Academy, consisting of multiple buildings for up to 1,500 students for grades K-12 with 237 parking spaces on a 25 gross acre site to be constructed in two (2) phases. Phase I will include the construction of approximately 67,065 square feet of building area consisting of 55 classrooms, administrative offices, a library / technology center, a student pavilion, a security office and 237 parking spaces. Phase II will include the construction of approximately 42,060 square feet of building area consisting of a theater, a gymnasium, and baseball and soccer fields.

The project site is located northerly of Wickerd Road, easterly of El Centro Lane and westerly of La Ventana Lane.

SUMMARY OF FINDINGS:

- | | |
|--|--|
| 1. Existing Land Use (Ex. #1): | Vacant land |
| 2. Surrounding Land Use (Ex. #1): | Vacant land to the north, south and east and single family residences to the west. |
| 3. Existing Zoning (Ex. #2): | Residential Agricultural - 5 Acre Minimum (R-A-5) |
| 4. Surrounding Zoning (Ex. #2): | Residential Agricultural - 5 Acre Minimum (R-A-5) to the north and east and Light Agriculture - 5 Acre Minimum (A-1-5) to the south and west. |
| 5. General Plan Land Use (Ex. #5): | Rural Community: Estate Density Residential (RC: EDR) (2 Acre Minimum) |
| 6. Surrounding General Plan Land Use (Ex. #5): | Rural Community: Estate Density Residential (RC: EDR) (2 Acre Minimum) to the north, east and west and Rural: Rural Residential (R: RR) (5 Acre Minimum) to the south. |
| 7. Project Data: | Total Acreage: 25 Gross
Total Proposed Building Area: 109,125 Square Feet
Total Proposed Construction Phases: 2
Total Proposed Parking Spaces: 237
Total Number of Students: 1,500 from K-12 |
| 8. Environmental Concerns: | See attached Environmental Assessment No. 42398 |

D.M.

RECOMMENDATIONS:

ADOPTION of a **MITIGATED NEGATIVE DECLARATION** for **ENVIRONMENTAL ASSESSMENT NO. 42398**, based on the findings incorporated in the initial study, and the conclusion that the project will not have a significant effect on the environment; and,

APPROVAL of **PUBLIC USE PERMIT NO. 907**, subject to the attached conditions of approval, and based upon the findings and conclusions incorporated in the staff report.

CONCLUSIONS:

1. The proposed project is in conformance with the Rural Community: Estate Density Residential (RC: EDR) (2 Acre Minimum) land use designation, and with all other elements of the Riverside County General Plan including the applicable Policy Areas.
2. The proposed project is consistent with the applicable policies of the Estate Density Residential & Rural Residential Policy Area and Highway 79 Policy Area.
3. The proposed project is consistent with the Residential Agricultural - 5 Acre Minimum (R-A-5) zoning classification of Ordinance No. 348, and with all other applicable provisions of Ordinance No. 348.
4. The public's health, safety and general welfare are protected through project design.
5. The proposed project is clearly compatible with the present and future logical development of the area.
6. The proposed project will not preclude reserve design for the Western Riverside County Multiple Species Habitat Conservation Plan (WRCMSHCP).
7. The proposed project will not have a significant effect on the environment.

FINDINGS: The following findings are in addition to those incorporated in the summary of findings, and in the attached environmental assessment, which is incorporated herein by reference.

1. The project site is designated Rural Community: Estate Density Residential (RC: EDR) (2 Acre Minimum), and is located within the Estate Density Residential & Rural Residential Policy Area and Highway 79 Policy Area, on the Sun City / Menifee Valley Area Plan.
2. The proposed use, educational institution, is in conformance with the Rural Community: Estate Density Residential (RC: EDR) (2 Acre Minimum) land use designation, and the applicable policies (SCMVAP 6.1) of the Estate Density Residential & Rural Residential Policy Area and (SCMVAP 5.1 and SCMVAP 5.2) Highway 79 Policy Area on the basis that the General Plan's Land Use Compatibility state: (LU 6.2) "Direct public, educational, religious, and utility uses established to serve the surrounding community toward those areas designated for Community Development and Rural Community uses on the applicable Area Plan land use maps. These uses may be found consistent with any of the Community Development, Rural Community, or Rural foundation designations, including the Rural Village Overlay, as well as the Open Space – Rural and Agriculture designations, under the following conditions: a. The facility is compatible in

scale and design with surrounding land uses, and does not generate excessive noise, traffic, light, fumes, or odors that might have a negative impact on adjacent neighborhoods. b. The location of the proposed use will not jeopardize public health, safety, and welfare, or the facility is necessary to ensure the continual public safety and welfare." The project is consistent with the future and logical development of the area, and the public's health, safety and general welfare are protected through project design. Therefore, the proposed use, educational institution, is consistent with policy LU 6.2.

3. The project site is surrounded by properties which are designated Rural Community: Estate Density Residential (RC: EDR) (2 Acre Minimum) to the north, east and west and Rural: Rural Residential (R: RR) (5 Acre Minimum) to the south.
4. The zoning for the subject site is Residential Agricultural - 5 Acre Minimum (R-A-5).
5. The proposed use, educational institution, is a permitted use in the Residential Agricultural - 5 Acre Minimum (R-A-5) zone according to the provisions in Section 18.29. Public Use Permits, subject to the approval of a public use permit.
6. The proposal, as designed, is consistent with the development standards set forth in the Residential Agricultural - 5 Acre Minimum (R-A-5) zone.
7. The project site is surrounded by properties which are zoned Residential Agricultural - 5 Acre Minimum (R-A-5) to the north and east and Light Agriculture - 5 Acre Minimum (A-1-5) to the south and west.
8. Within the vicinity of the proposed project there is vacant land to the north, south and east and single family residences to the west.
9. This project is not located within a Criteria Area of the Western Riverside County Multiple Species Habitat Conservation Plan (WRCMSHCP).
10. Environmental Assessment No. 42398 identified the following potentially significant impacts:
 - a. Biological Resources
 - b. Cultural Resources
 - c. Greenhouse Gas Emissions
 - d. Hydrology/Water Quality
 - e. Transportation/Traffic

These listed impacts will be fully mitigated by the measures indicated in the environmental assessment, conditions of approval, and attached letters. No other significant impacts were identified.

INFORMATIONAL ITEMS:

1. As of this writing, no letters, in support or opposition have been received.
2. The project site is not located within:
 - a. A City of Sphere of Influence;
 - b. A Airport Influence Area;

- c. An Agriculture Preserve;
- d. A Redevelopment Area;
- e. A WRCMSHCP Criteria Cell;
- f. A High Fire area;
- g. A County Fault Zone;
- h. A Flood Zone; or,
- i. A Dam Inundation Area.

3. The project site is located within:

- a. An WRMSHCP Fee Area (Ordinance No. 810);
- b. The Stephen's Kangaroo Rat Fee Area (Ordinance No. 663.10);
- c. A Development Impact Fee Area (Ordinance No. 659);
- d. The Mt. Palomar Lighting Ordinance No. 655 (Zone B);
- e. The Eastern Municipal Water District;
- f. The Lakeview/Nuevo/Romoland/Homeland Number146 County Service Area (Street Lighting Library);
- g. A Circulation Element Right-Of-Way (Secondary 100' ROW);
- h. A High Paleontological Potential (High B);
- i. An Area Low Liquefaction Potential;
- j. An Area Susceptible to Subsidence; and,
- k. The boundaries of the Menifee Union & Perris Union High School District.

- 4. The subject site is currently designated as Assessor's Parcel Numbers 466-210-031 and 466-210-032.
- 5. This project was filed with the Planning Department on November 4, 2010.
- 6. This project was reviewed by the Land Development Committee 3 times on the following dates December 9, 2010, January 6, 2011 and February 17, 2011.
- 7. Deposit Based Fees charged for this project, as of the time of staff report preparation, total \$28,958.37.

RIVERSIDE COUNTY PLANNING DEPARTMENT

PUP00907 FTA 2010-07

VICINITY/POLICY AREAS

Supervisor Stone
District 3

Date Drawn: 2/23/11
Vicinity Map



Zoning Area: Winchester
Township/Range: T7SR2W
Section: 27

Assessors Bk. Pg. 466-21
Thomas Bros. Pg. 869 A
Edition 2009



DISCLAIMER: On October 7, 2003, the County of Riverside adopted a new General Plan providing new land use designations for unincorporated Riverside County parcels. The new General Plan may contain different types of land use than is provided for under existing zoning. For further information, please contact the Riverside County Planning Department offices in Riverside at (951) 955-3200 (Western County), or in Irwin at (760) 963-8277 (Eastern County) or website at <http://www.lrra.co/riverside.ca.us/index.html>

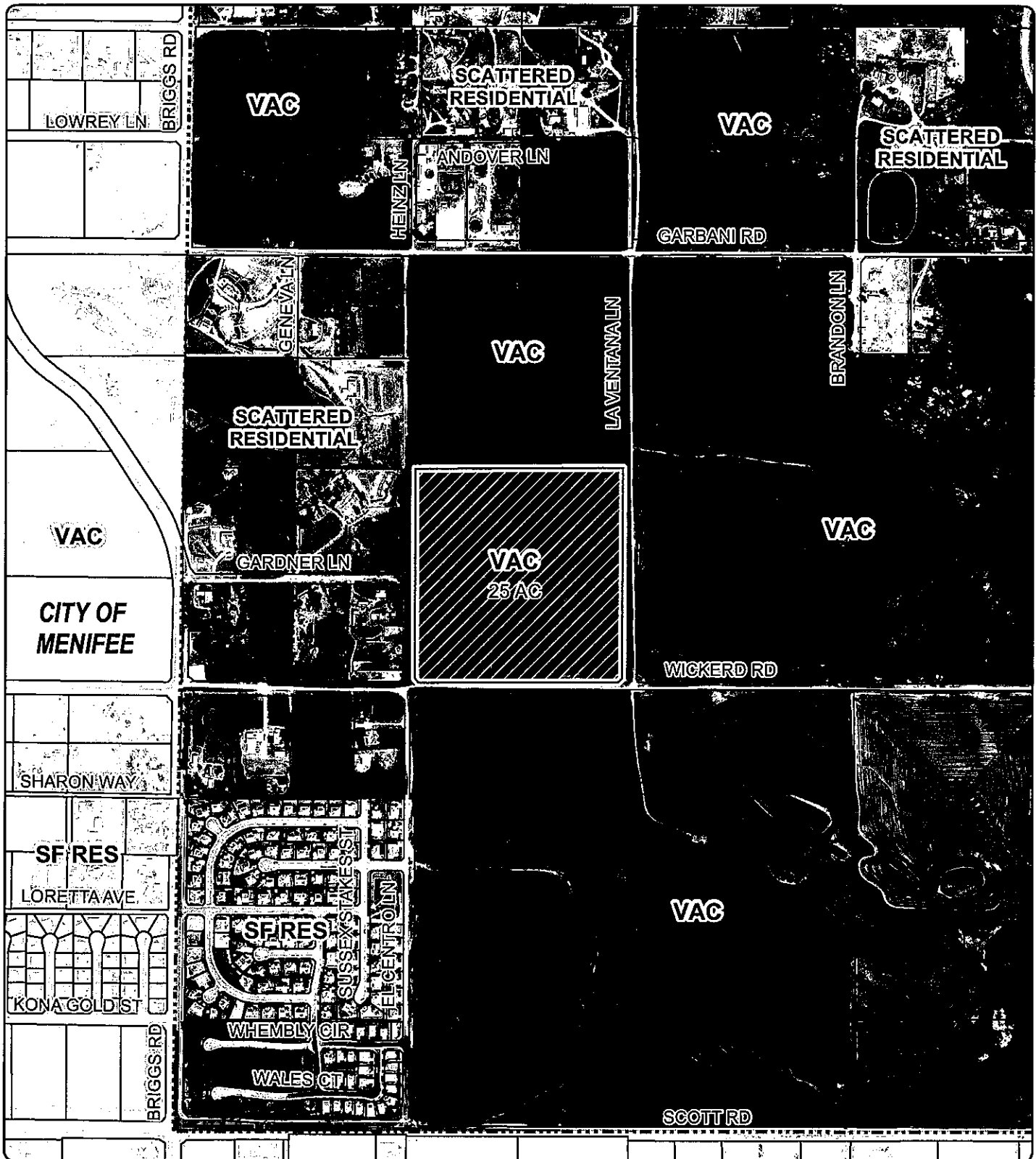
RIVERSIDE COUNTY PLANNING DEPARTMENT

PUP00907 FTA 2010-07

Supervisor Stone
District 3

LAND USE

Date Drawn: 2/23/11
Exhibit 1



Zoning Area: Winchester
Township/Range: T7SR2W
Section: 27



Assessors Bk. Pg. 466-21
Thomas Bros. Pg. 869 A
Edition 2009

DISCLAIMER: On October 7, 2003, the County of Riverside adopted a new General Plan providing new land use designations for unincorporated Riverside County parcels. The new General Plan may contain different types of land use than is provided for under existing zoning. For further information, please contact the Riverside County Planning Department offices in Riverside at (951) 955-3200 (Western County), or in Indio at (760) 863-8277 (Eastern County) or website at <http://www.tlma.co.riverside.ca.us/index.html>

0 250 500 1,000 1,500 2,000 Feet

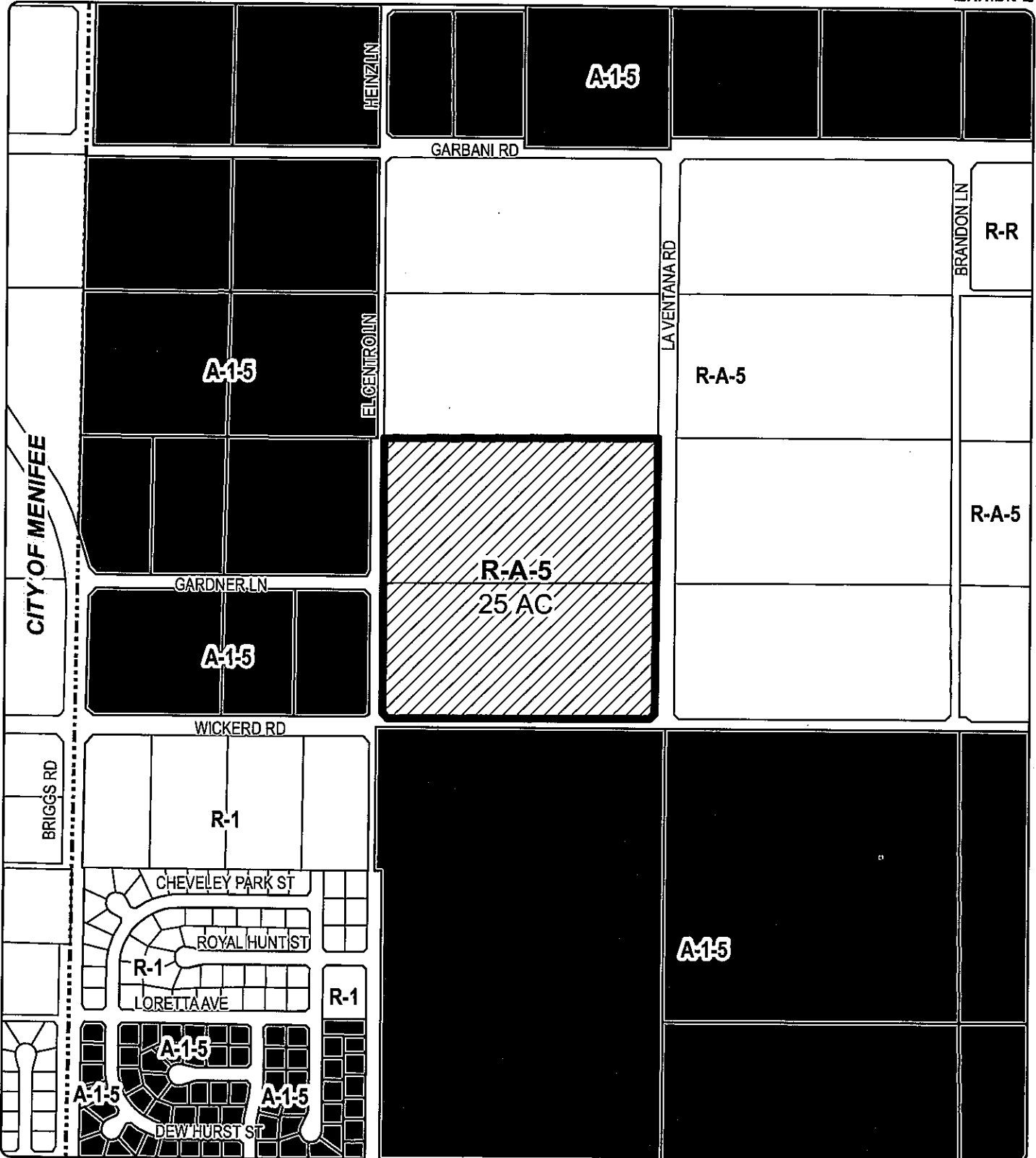
RIVERSIDE COUNTY PLANNING DEPARTMENT

PUP00907 FTA 2010-07

Supervisor Stone
District 3

EXISTING ZONING

Date Drawn: 2/23/11
Exhibit 2

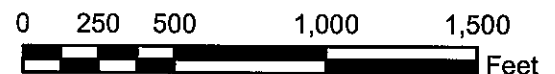


Zoning Area: Winchester
Township/Range: T7SR2W
Section: 27



Assessors Bk. Pg. 466-21
Thomas Bros. Pg. 869 A
Edition 2009

DISCLAIMER: On October 7, 2003, the County of Riverside adopted a new General Plan providing new land use designations for unincorporated Riverside County parcels. The new General Plan may contain different types of land use than is provided for under existing zoning. For further information, please contact the Riverside County Planning Department offices in Riverside at (951) 955-3200 (Western County), or in Indio at (760) 853-8277 (Eastern County) or website at <http://www.ltrm.co.riverside.ca.us/index.html>



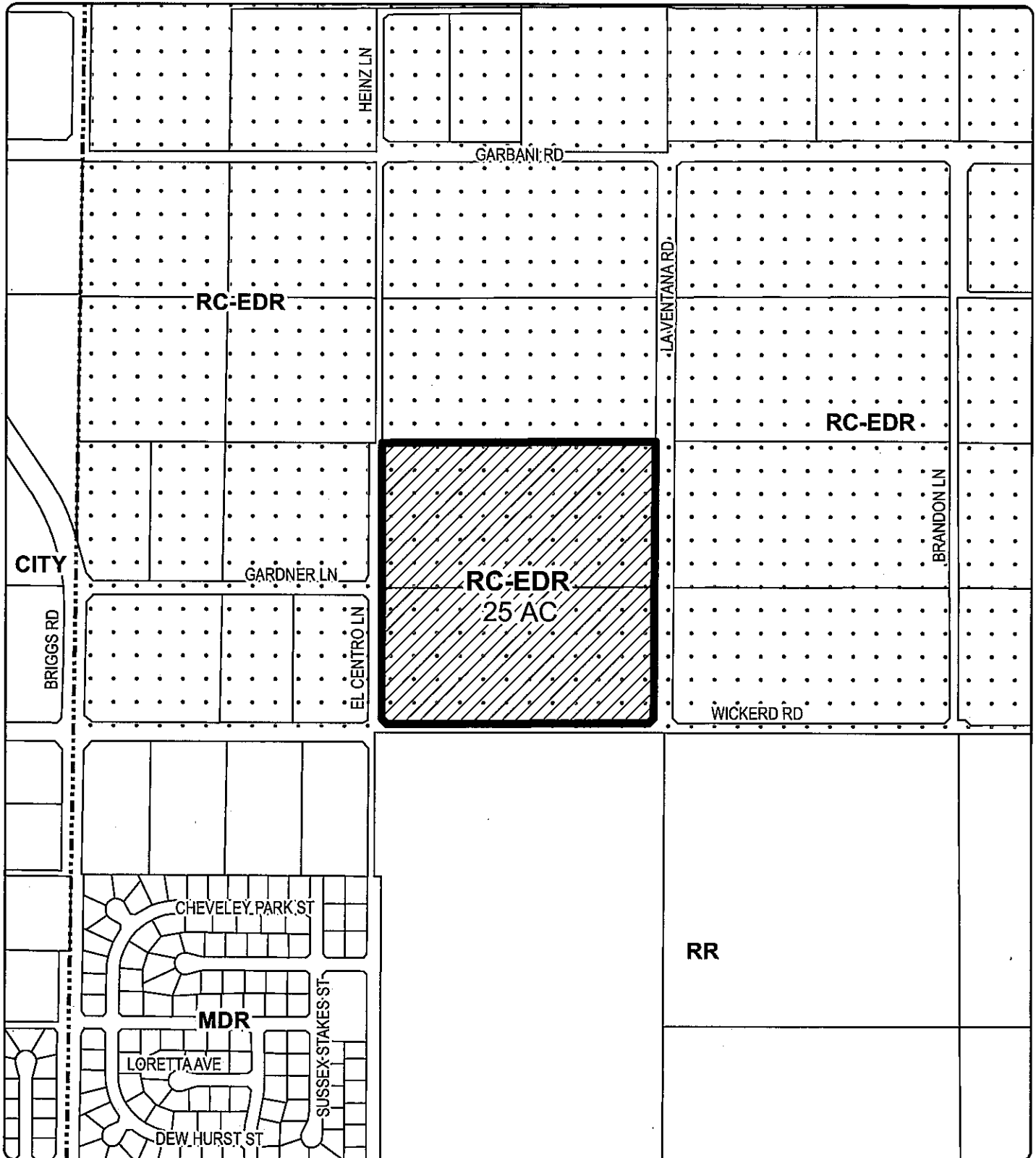
RIVERSIDE COUNTY PLANNING DEPARTMENT

PUP00907 FTA 2010-07

EXISTING GENERAL PLAN

Supervisor Stone
District 3

Date Drawn: 2/23/11
Exhibit 5

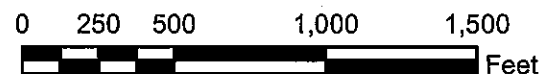


Zoning Area: Winchester
Township/Range: T7SR2W
Section: 27

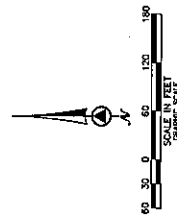
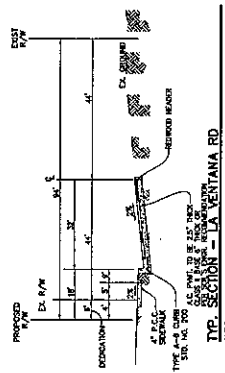
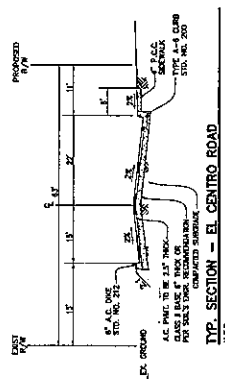


Assessors Bk. Pg. 466-21
Thomas Bros. Pg. 869 A
Edition 2009

DISCLAIMER: On October 7, 2003, the County of Riverside adopted a new General Plan providing new land use designations for unincorporated Riverside County parcels. The new General Plan may contain different types of land use than is provided for under existing zoning. For further information, please contact the Riverside County Planning Department offices in Riverside at (951) 955-3200 (Western County), or in Indio at (760) 863-8277 (Eastern County) or website at <http://www.tlma.co.riverside.ca.us/index.html>



COUNTY OF RIVERSIDE, STATE OF CALIFORNIA
SECTION 18 TOWNSHIP, 6 SOUTH, RANGE 2 WEST



The Santa Rosa Academy
Riverside County, California

MASSON ASSOCIATES, INC.
2000 Technology Dr., Suite 200
Menlo Park, CA 94025
P: 650.321.2579
F: 650.321.1764

GENERAL NOTES

- LEGAL DESCRIPTION: PARCELS 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841,

505A CALMS

AREA CALCS				
TOTAL AREA	25.00 AC.	GRACES		1,000,000.00
TOTAL NO. OF	1,000,000.00	AREA		1,000,000.00
				1,000,000.00

ROOM PLANS

EARTH WORK
 FULL: 46,500 CY
 CUT: 46,500 CY

ASSESSMENT NOTES

- AN EASEMENT FOR UTILITIES AND INCIDENTAL PURPOSES, IN FAVOR OF SOUTHERN COUNTRIES GAS COMPANY, BY INSTRUMENT RECORDED JULY 1, 1949, IN BOOK 1068, PAGE 304

ANSWER

OWNER
CAL. UNEMPLOYING C/O

APPLICANT

SANTA ROSA ACADEMY
28237 LA PIEDRA ROAD
MENFEE, CALIFORNIA 92584
PHONE: (951) 872-2400
FAX: (951) 872-4060

APPROVED BY

WASSON AND ASSOCIATES, INC.
200 E WASHINGTON AVE. STE 1
ESCONDIDO, CALIFORNIA 92025
PHONE: (714) 741-3370

ADDITIONAL REPRESENTATIVE

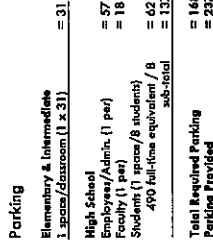
COMPETITIVE EDGE DEVELOPMENT
1120 SHIPSON WAY
ESCONDIDO, CALIFORNIA 92025
PHONE: (714) 480-2873
FAX: (714) 437-0971

www.elsevier.com/locate/jmb



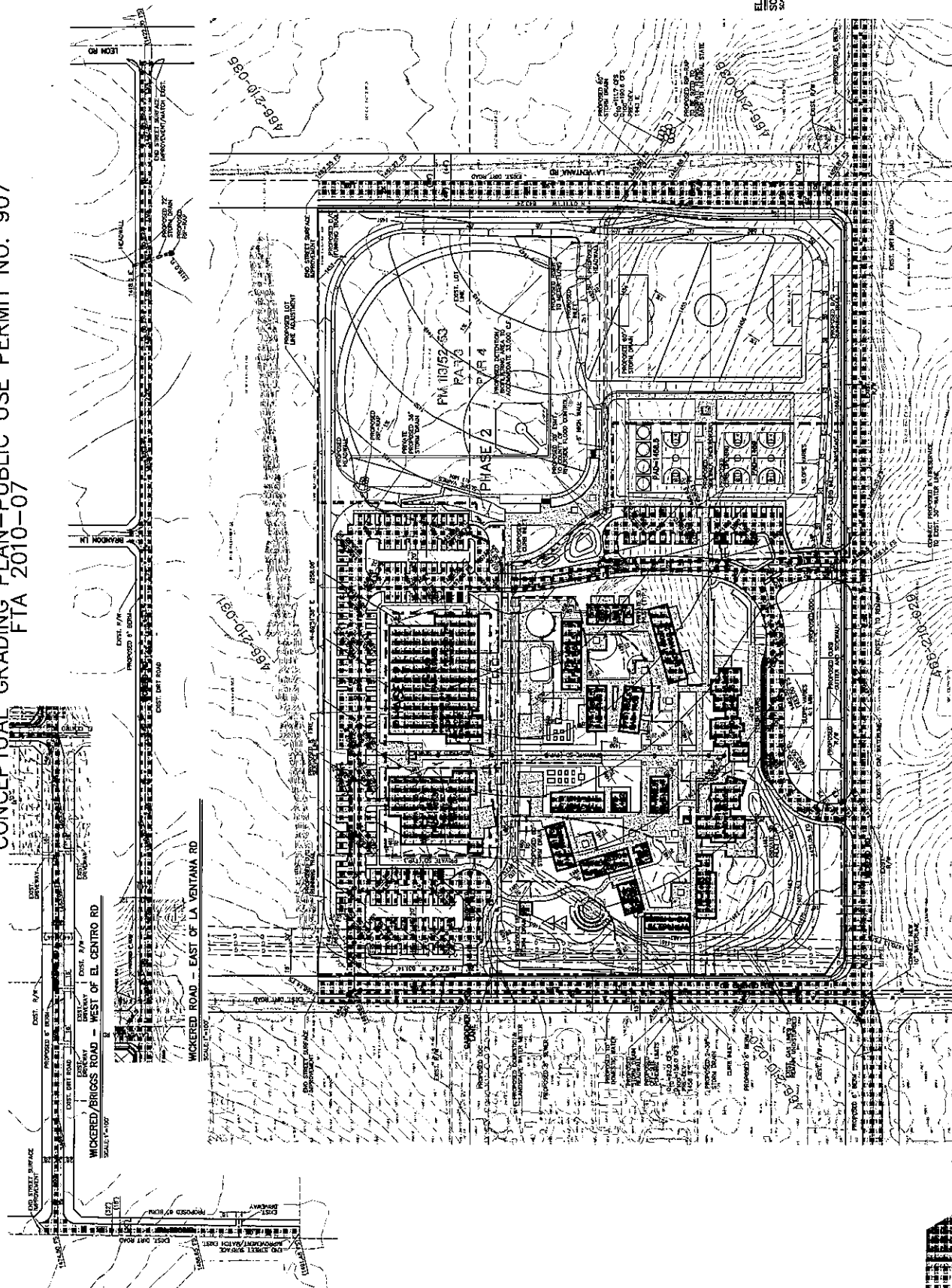
Site Plan
P.U.P. #907
Brad Burke Architect
A1.0

----- Accessible Path
All sidewalks and w
min. of 42" wide

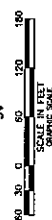


Parking

CONCEPTUAL GRADING PLAN—PUBLIC USE PERMIT NO. 907
FTA 2010-07



EL CENTRO ROAD SEWER CONNECTION
SOUTH OF WICKERD
SCALE = 8" = 1'



CONCEPTUAL GRADING PLAN
01-24-11
Brad Burke Architect
c1.1

DATE	AMENDMENT BLOCK
11/27/0	PUP SUBMITTAL
12/27/0	REVISED PUP SUBMITTAL

The Santa Rosa Academy
Riverside County, California

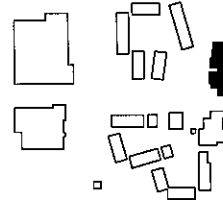


Material

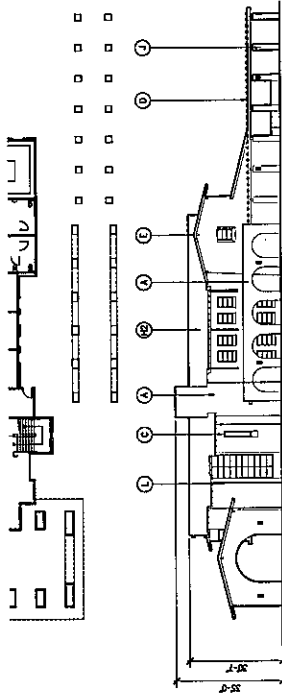
- A. Typical Walls and Columns - Cement Plaster (Light Mission to Santa Barbara finish - Integral Colon White)
- B. Concrete Walls - Concrete Tilt-up (Colon White)
- C. Windows - Metal Storefront (Finish: Dark Anodized)
- D. Exposed Framing - Douglas Fir (Finish: Medium Brown Stain)
- E. Exposed Trim - Douglas Fir (Finish: Medium Brown Stain)
- F. Guardrails/Handrails - Ornamental Ironwork (Finish: galvanized)
- G. Exterior Stairs - Precast Concrete
- H. Roofing
 - H1. Built-up at flat
 - H2. Clay tile (Mission Red)
 - H3. Standing seam metal (Colon Anodized)
- I. Site Walls and Trellis Columns - Stone Veneer/Plaster (colon plaster to match building)
- K. Mechanical Unit - Screened by Parapet
- L. Concealed Downspout - Exposed at Roof for gutter and wall connection (Galv. Finish)

Exterior Light Features

Keyplan



P.U.P. Submittal - 11/22/10
 P.U.P. Submittal - 12/23/10
 P.U.P. Submittal - 1/17/11
 Building A - Elevations
 P.U.P. #907
 Brad Burke Architects
A2.2

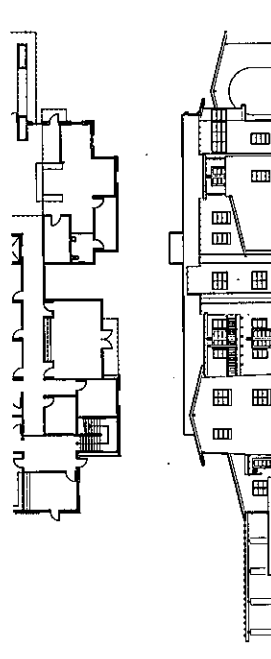


South Elevation
Scale 1/8" = 1'-0"



West Elevation
Scale 1/8" = 1'-0"

East Elevation
Scale 1/8" = 1'-0"



North Elevation
Scale 1/8" = 1'-0"

Santa Rosa Academy
 Riverside County, California

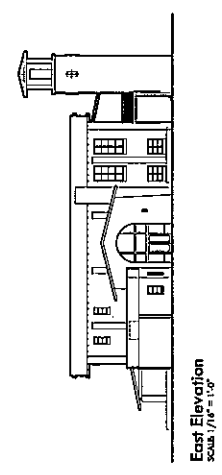
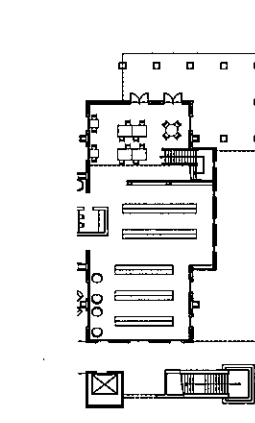
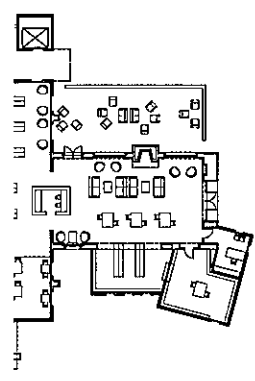
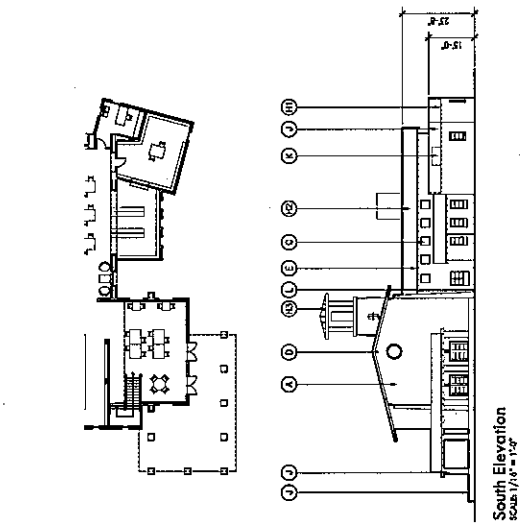
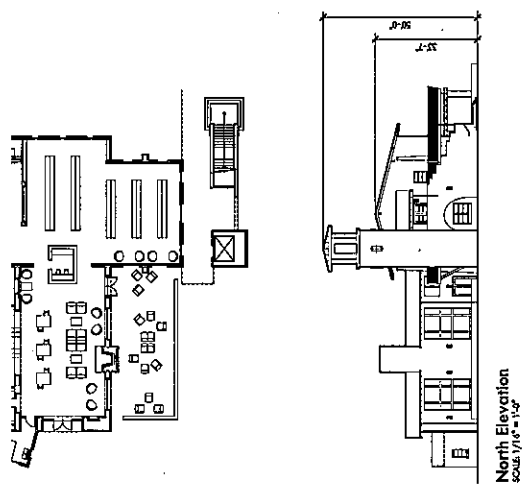
CASE: PUP00907, AMD. #2
 EXHIBIT: B (Sheets 1-11)
 DATED: 2/03/11
 PLANNER: C. HINOJOSA



Santa Rosa Academy
Riverside County, California

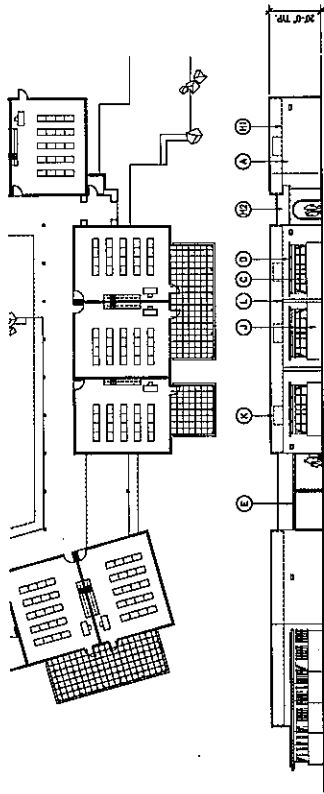
Building B - Elevations
P.U.P. #907
Brod Burke Architect
A3.2

DATE: 11/20/23
BY: B. BURKE
FOR: S. R. ACADEMY
PROJECT: 11/20/23
REVISION: 11/20/23

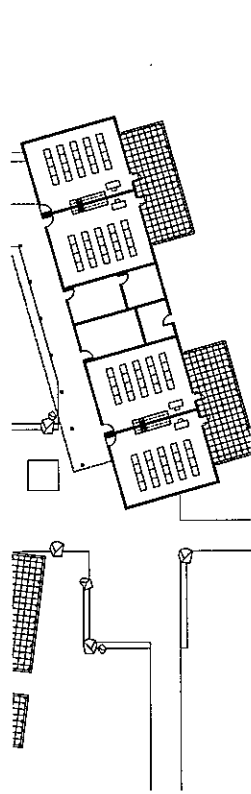


- Material**
- A. Typical Walls and Columns - Cement Plaster (Light Mission to Santa Barbara finish - Integral Color White)
 - B. Concrete Walls - Concrete Tilt-up (Color: White)
 - C. Windows - Metal Sashfront (Finish: Dark Anodized)
 - D. Exposed Framing - Douglas Fir (Finish: Medium Brown Stain)
 - E. Exposed Trim - Douglas Fir (Finish: Medium Brown Stain)
 - F. Guardrails/Handrails - Ornamental Ironwork (Finish: galvanized)
 - G. Exterior Stairs - Precast Concrete
 - Roofing**
 - H1. Built-up at flat
 - H2. Clay tile (Mission Red)
 - H3. Standing seam metal (Color Anodized)
 - J. Site Walls and Trench Columns - Stone Veneer/Plaster (color plaster to match building)
 - K. Mechanical Unit - Screened by Parapet
 - L. Concealed Downspout - Exposed at Roof for gutter and wall connection (Galv. Finish)

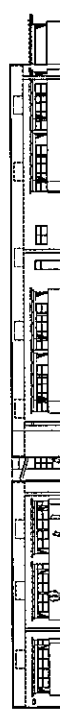
■ Exterior Light Fixtures



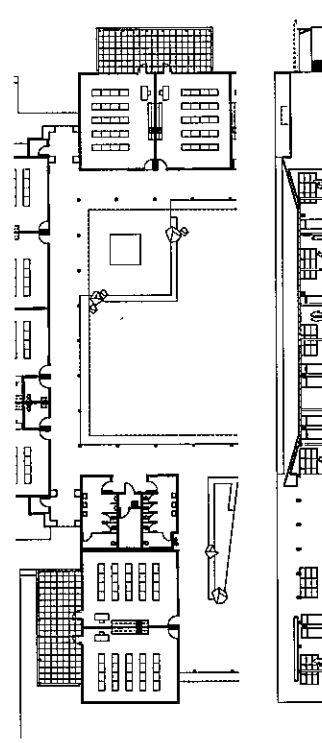
East Elevation
Scale: 1/8" = 1'-0"



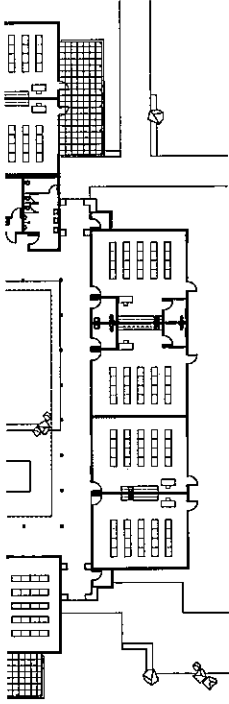
South Elevation
Scale: 1/8" = 1'-0"



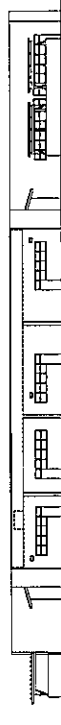
West Elevation
Scale: 1/8" = 1'-0"



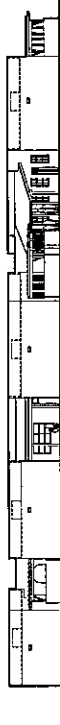
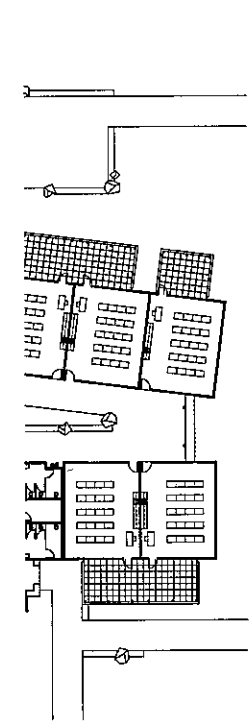
North Elevation
Scale: 1/8" = 1'-0"



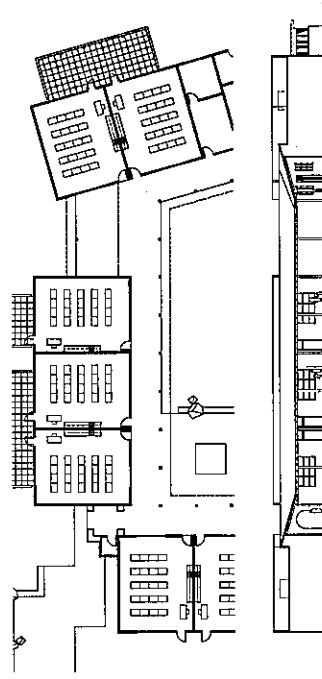
West Court Elevation
Scale: 1/8" = 1'-0"



West Elevation
Scale: 1/8" = 1'-0"



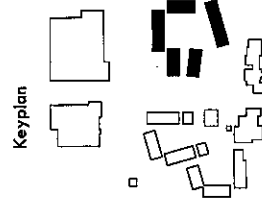
West Elevation
Scale: 1/8" = 1'-0"



West Court Elevation
Scale: 1/8" = 1'-0"

- Material**
- A. Typical Walls and Columns - Cement Plaster (Light Mission to Santa Barbara finish - Integral Colon White)
 - B. Concrete Walls - Concrete Tilt-up (Colon White)
 - C. Windows - Metal Storefront (Finish Dark Anodized)
 - D. Exposed Framing - Douglas Fir. (Finish: Medium Brown Stain)
 - E. Exposed Trim - Douglas Fir. (Finish: Medium Brown Stain)
 - F. Guardsills/Handrails - Ornamental Ironwork (Finish: Polished)
 - G. Exterior Stairs - Precast Concrete
 - Roofing**
 - H1. Built-up at flat
 - H2. Clay tile (Mission Red)
 - H3. Standing seam metal (Colon Anodized)
 - J. Sills Walls and Trallia Columns - Stone Veneer/Plaster (Colon plaster to match building)
 - K. Mechanical Unit - Screened by Parapet
 - L. Concealed Downspout - Exposed at Roof for gutter and wall connection. (Galv. Finish)

Exterior Light Fixtures



Building C - Elevations
P.U.P. #907
Brad Burke Architects
A4.1

DATE: 11/27/13	
FILE: 11/27/13	
FILE: 11/27/13	
FILE: 11/27/13	
FILE: 11/27/13	
FILE: 11/27/13	

Santa Rosa Academy
Riverside County, California

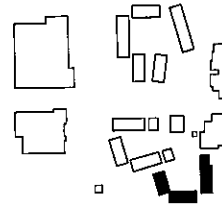


Material

- A. Typical Walls and Columns - Cement Plaster (Light Mission to Santa Barbara finish - Integral Colon White)
- B. Concrete Walls - Concrete Tilt-up (Colon White)
- C. Windows - Metal Sashfront (Finish: Dark Anodized)
- D. Exposed Framing - Douglas Fir. (Finish: Medium Brown Stain)
- E. Exposed Trim - Douglas Fir. (Finish: Medium Brown Stain)
- F. Guardrails/Randalls - Ornamental Ironwork (Finish: galvanized)
- G. Exterior Stairs - Precast Concrete
- Roofing
 - H1. Built-up at flat
 - H2. Clay tile (Mission Red)
 - H3. Standing seam metal (Colon Anodized)
- J. Site Walls and Trellis Columns - Stone Veneer/Plaster (color plaster to match building)
- K. Mechanical Unit - Screened by Parapet
- L. Concealed Downspout - Exposed at Roof for gutter and wall connection (Galk. Finish)

Exterior Light Fixtures

Keyplan



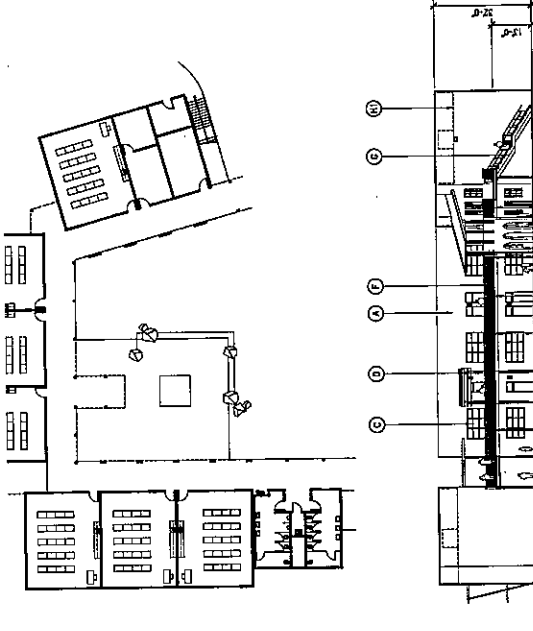
ALLS. Scaled - 11/21/10
 ALLS. Scaled - 11/21/10
 ALLS. Scaled - 11/21/10
 ALLS. Scaled - 11/21/10

Building D - Elevations

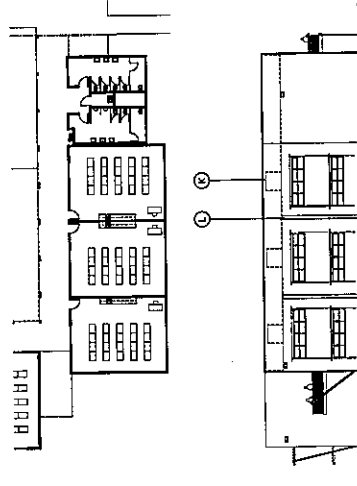
P.U.P. #907

Brad Burke Architects

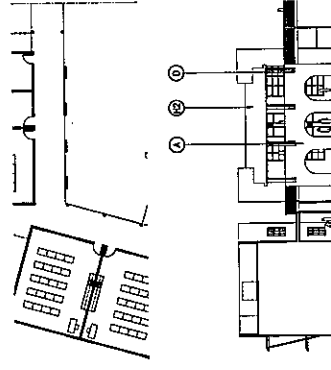
A5.2



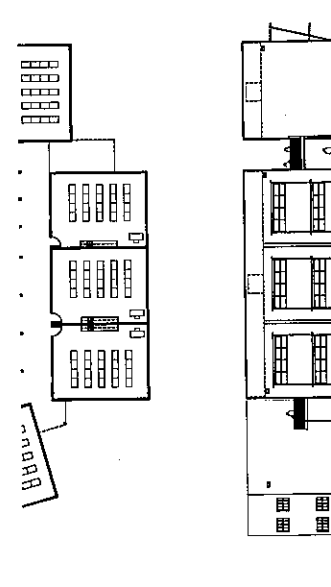
East Elevation
SCALE 1/16" = 1'-0"



South Elevation
SCALE 1/16" = 1'-0"



South-Court Elevation
SCALE 1/16" = 1'-0"



West Elevation
SCALE 1/16" = 1'-0"

Santa Rosa Academy
 Riverside County, California

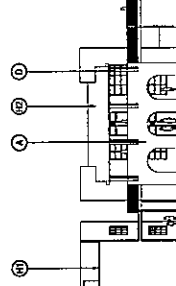
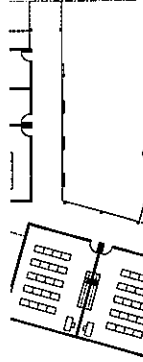
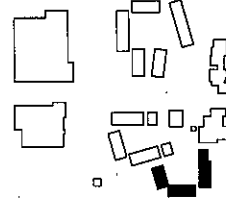


Material

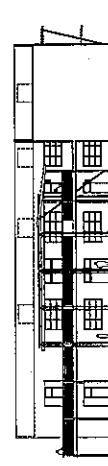
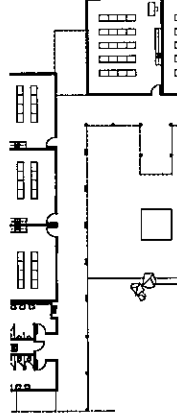
- A. Typical Walls and Columns - Cement Plaster (Light Mission to Santa Barbara finish - Integral Colon White)
- B. Concrete Walls - Concrete Tilt-up (Colon White)
- C. Windows - Metal Storefront (Finish: Dark Anodized)
- D. Exposed Framing - Douglas Fir (Finish: Medium Brown Stain)
- E. Exposed Trim - Douglas Fir (Finish: Medium Brown Stain)
- F. Guardrails/Handrails - Ornamental Ironwork (finish galvanized)
- G. Exterior Stairs - Precast Concrete
- Roofing
 - H1. Built-up at flat
 - H2. Clay tile (Mission Red)
 - H3. Standing seam metal (Colon Anodized)
- J. Site Walls and Trailis Columns - Stone Veneer/Plaster (colon plaster to match building)
- K. Mechanical Unit - Screened by Parapet
- L. Concealed Downspout - Exposed at Roof for gutter and wall connection. (Galv. Finish)

Exterior Light Fixtures

Keyplan



South-Court Elevation
Scale 1/16" = 1'-0"



East-Court Elevation
Scale 1/16" = 1'-0"



Santa Rosa Academy
Riverside County, California

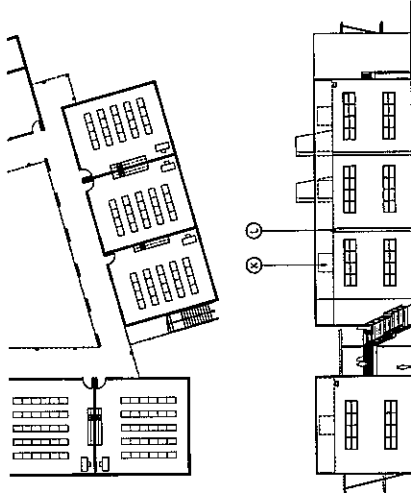
PLAT Submittal - 11/27/19
PLAT Submittal - 12/27/20
PLAT Submittal - 12/27/21

Building D - Elevations
P.U.P. #8907
Broad Buena Vista

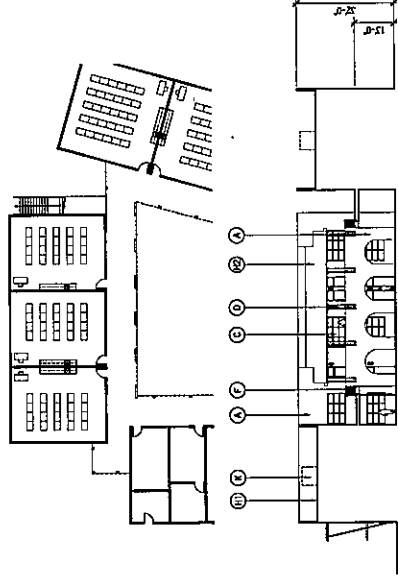
A5.3

Material

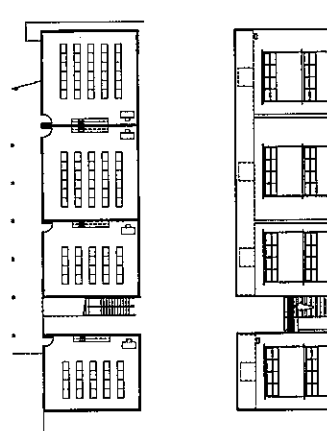
- A. Typical Walls and Columns - Cement Plaster (Light Allusion to Santa Barbara finish - Integral Colon White)
- B. Concrete Walls - Concrete Till-up (Colon White)
- C. Windows - Metal Storefront (Finish: Dark Anodized)
- D. Exposed Framing - Douglas Fir. (Finish: Medium Brown Stain)
- E. Exposed Trim - Douglas Fir. (Finish: Medium Brown Stain)
- F. Guardrails/Banisters - Ornamental Ironwork (Finish: galvanized)
- G. Exterior Stairs - Precast Concrete
- Roofing
 - H1. Built-up or flat
 - H2. Clay tile (Mission Red)
 - H3. Standing seam metal (Colon Anodized)
- J. Site Walls and Trellis Columns - Stone Veneer/Plaster (colon plaster to match building)
- K. Mechanical Unit - Screened by Parapet
- L. Concealed Downspout - Exposed at Roof for gutter and wall connection. (Galv. Finish)



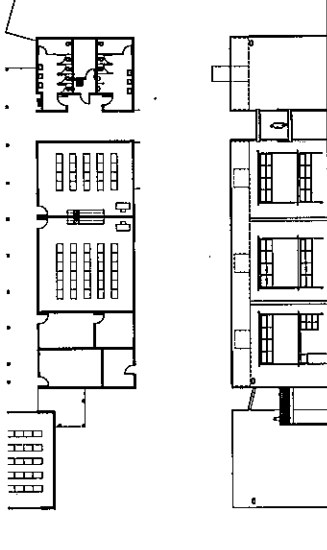
North Elevation
SCALE: 1/16" = 1'-0"



South-Court Elevation
SCALE: 1/16" = 1'-0"

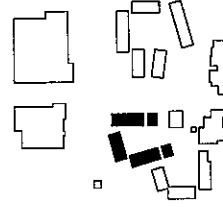


East Elevation
SCALE: 1/16" = 1'-0"



West Elevation
SCALE: 1/16" = 1'-0"

Keyplan



Santa Rosa Academy
Riverside County, California

PLP, Submitted - 11/2/10
PLP, Re-Submitted - 12/2/10
PLP, Re-Submitted - 1/2/11

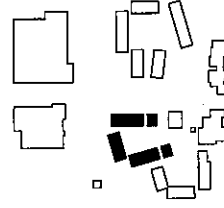
Building E - Elevations
P.L.P. #007
Brad Burke Architects
A6.2

Material

- A. Typical Walls and Columns - Cement Plaster (Light Mission to Santa Barbara finish - Integral Colon White)
- B. Concrete Walls - Concrete Tilt-up (Colon White)
- C. Windows - Metal Sashfront (Finish: Dark Anodized)
- D. Exposed Framing - Douglas Fir (Finish: Medium Brown Stain)
- E. Exposed Trim - Douglas Fir (Finish: Medium Brown Stain)
- F. Guards/Handrails - Ornamental Ironwork (finis galvanized)
- G. Exterior Stairs - Precast Concrete
- Roofing
 - H1. Built-up on flat
 - H2. Clay tile (Mission Red)
 - H3. Standing seam metal (Colon Anodized)
- J. Site Walls and Trellis Columns - Stone Veneer/Plaster (colon plaster to match building)
- K. Mechanical Unit - Screened by Parapet
- L. Concealed Downspout - Exposed at Roof for gutter and wall connection (Galv. Finish)

Exterior Light Fixtures

Keyplan

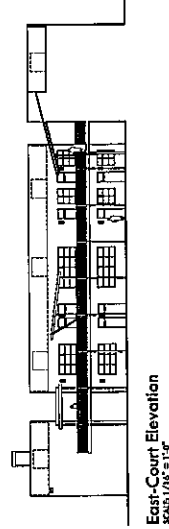
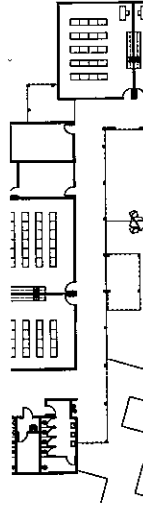
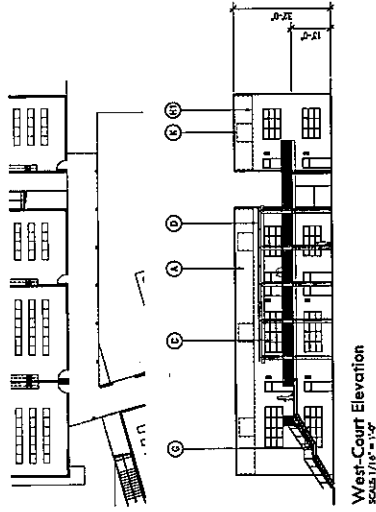


P.U.P. Submitted - 11/2/10
 P.U.P. Re-Submitted - 1/25/11
 P.U.P. Re-Submitted - 1/27/11

Building E - Elevations

P.U.P. #907
Brad Barker Architects

A6.3



Santa Rosa Academy
 Riverside County, California

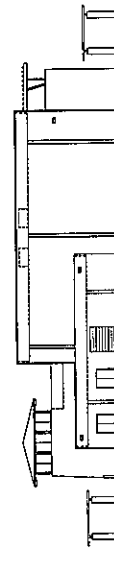
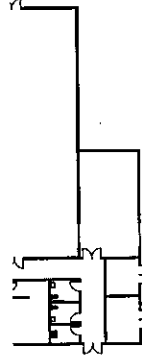
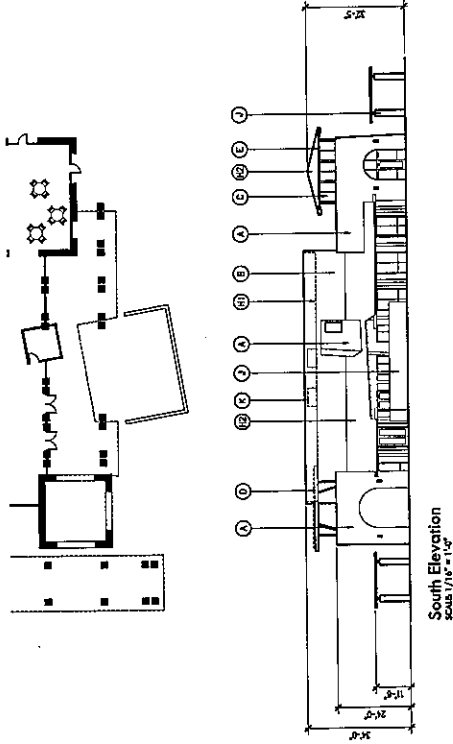
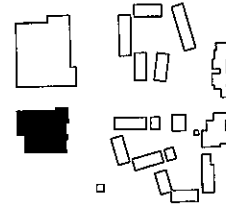


Material

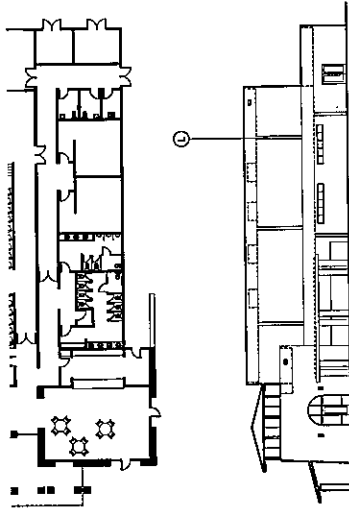
- A. Typical Walls and Columns - Cement Plaster (Light Mission to Santa Barbara finish - Integral Colon White)
- B. Concrete Walls - Concrete Tilt-up (Colon White)
- C. Windows - Metal Storefront (Finish: Dark Anodized)
- D. Exposed Framing - Douglas Fir (Finish: Medium Brown Stain)
- E. Exposed Trim - Douglas Fir (Finish: Medium Brown Stain)
- F. Guardrails/Handrails - Ornamental Ironwork (Finish: Polished)
- G. Exterior Stairs - Precast Concrete
- H. Roofing
 - H1. Built up flat
 - H2. Clay tile (Mission Red)
 - H3. Standing seam metal (Colon Anodized)
- I. Site Walls and Terra Columns - Stone Veneer/Plaster (color plaster to match building)
- K. Mechanical Unit - Screened by Porcelain
- L. Concealed Downspout - Exposed at Roof for gutter and wall connection (Galv. Finish)

Exterior Light Fixtures

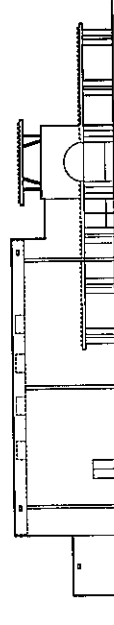
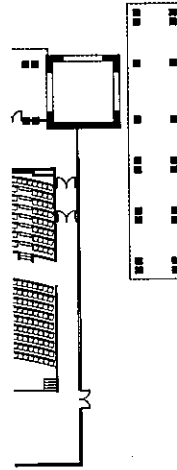
Keyplan



North Elevation
Scale 1/16" = 1'-0"



East Elevation
Scale 1/16" = 1'-0"



West Elevation
Scale 1/16" = 1'-0"

Building F - Elevations

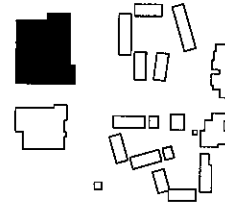
2115, 2116, 2117, 2118, 2119, 2120, 2121, 2122, 2123, 2124, 2125, 2126, 2127, 2128, 2129, 2130, 2131, 2132, 2133, 2134, 2135, 2136, 2137, 2138, 2139, 2140, 2141, 2142, 2143, 2144, 2145, 2146, 2147, 2148, 2149, 2150, 2151, 2152, 2153, 2154, 2155, 2156, 2157, 2158, 2159, 2160, 2161, 2162, 2163, 2164, 2165, 2166, 2167, 2168, 2169, 2170, 2171, 2172, 2173, 2174, 2175, 2176, 2177, 2178, 2179, 2180, 2181, 2182, 2183, 2184, 2185, 2186, 2187, 2188, 2189, 2190, 2191, 2192, 2193, 2194, 2195, 2196, 2197, 2198, 2199, 2200, 2201, 2202, 2203, 2204, 2205, 2206, 2207, 2208, 2209, 2210, 2211, 2212, 2213, 2214, 2215, 2216, 2217, 2218, 2219, 2220, 2221, 2222, 2223, 2224, 2225, 2226, 2227, 2228, 2229, 2230, 2231, 2232, 2233, 2234, 2235, 2236, 2237, 2238, 2239, 2240, 2241, 2242, 2243, 2244, 2245, 2246, 2247, 2248, 2249, 2250, 2251, 2252, 2253, 2254, 2255, 2256, 2257, 2258, 2259, 2260, 2261, 2262, 2263, 2264, 2265, 2266, 2267, 2268, 2269, 2270, 2271, 2272, 2273, 2274, 2275, 2276, 2277, 2278, 2279, 2280, 2281, 2282, 2283, 2284, 2285, 2286, 2287, 2288, 2289, 2290, 2291, 2292, 2293, 2294, 2295, 2296, 2297, 2298, 2299, 2300, 2301, 2302, 2303, 2304, 2305, 2306, 2307, 2308, 2309, 2310, 2311, 2312, 2313, 2314, 2315, 2316, 2317, 2318, 2319, 2320, 2321, 2322, 2323, 2324, 2325, 2326, 2327, 2328, 2329, 2330, 2331, 2332, 2333, 2334, 2335, 2336, 2337, 2338, 2339, 2340, 2341, 2342, 2343, 2344, 2345, 2346, 2347, 2348, 2349, 2350, 2351, 2352, 2353, 2354, 2355, 2356, 2357, 2358, 2359, 2360, 2361, 2362, 2363, 2364, 2365, 2366, 2367, 2368, 2369, 2370, 2371, 2372, 2373, 2374, 2375, 2376, 2377, 2378, 2379, 2380, 2381, 2382, 2383, 2384, 2385, 2386, 2387, 2388, 2389, 2390, 2391, 2392, 2393, 2394, 2395, 2396, 2397, 2398, 2399, 2400, 2401, 2402, 2403, 2404, 2405, 2406, 2407, 2408, 2409, 2410, 2411, 2412, 2413, 2414, 2415, 2416, 2417, 2418, 2419, 2420, 2421, 2422, 2423, 2424, 2425, 2426, 2427, 2428, 2429, 2430, 2431, 2432, 2433, 2434, 2435, 2436, 2437, 2438, 2439, 2440, 2441, 2442, 2443, 2444, 2445, 2446, 2447, 2448, 2449, 2450, 2451, 2452, 2453, 2454, 2455, 2456, 2457, 2458, 2459, 2460, 2461, 2462, 2463, 2464, 2465, 2466, 2467, 2468, 2469, 2470, 2471, 2472, 2473, 2474, 2475, 2476, 2477, 2478, 2479, 2480, 2481, 2482, 2483, 2484, 2485, 2486, 2487, 2488, 2489, 2490, 2491, 2492, 2493, 2494, 2495, 2496, 2497, 2498, 2499, 2500, 2501, 2502, 2503, 2504, 2505, 2506, 2507, 2508, 2509, 2510, 2511, 2512, 2513, 2514, 2515, 2516, 2517, 2518, 2519, 2520, 2521, 2522, 2523, 2524, 2525, 2526, 2527, 2528, 2529, 2530, 2531, 2532, 2533, 2534, 2535, 2536, 2537, 2538, 2539, 2540, 2541, 2542, 2543, 2544, 2545, 2546, 2547, 2548, 2549, 2550, 2551, 2552, 2553, 2554, 2555, 2556, 2557, 2558, 2559, 2560, 2561, 2562, 2563, 2564, 2565, 2566, 2567, 2568, 2569, 2570, 2571, 2572, 2573, 2574, 2575, 2576, 2577, 2578, 2579, 2580, 2581, 2582, 2583, 2584, 2585, 2586, 2587, 2588, 2589, 2590, 2591, 2592, 2593, 2594, 2595, 2596, 2597, 2598, 2599, 2600, 2601, 2602, 2603, 2604, 2605, 2606, 2607, 2608, 2609, 2610, 2611, 2612, 2613, 2614, 2615, 2616, 2617, 2618, 2619, 2620, 2621, 2622, 2623, 2624, 2625, 2626, 2627, 2628, 2629, 2630, 2631, 2632, 2633, 2634, 2635, 2636, 2637, 2638, 2639, 2640, 2641, 2642, 2643, 2644, 2645, 2646, 2647, 2648, 2649, 2650, 2651, 2652, 2653, 2654, 2655, 2656, 2657, 2658, 2659, 2660, 2661, 2662, 2663, 2664, 2665, 2666, 2667, 2668, 2669, 2670, 2671, 2672, 2673, 2674, 2675, 2676, 2677, 2678, 2679, 2680, 2681, 2682, 2683, 2684, 2685, 2686, 2687, 2688, 2689, 2690, 2691, 2692, 2693, 2694, 2695, 2696, 2697, 2698, 2699, 2700, 2701, 2702, 2703, 2704, 2705, 2706, 2707, 2708, 2709, 2710, 2711, 2712, 2713, 2714, 2715, 2716, 2717, 2718, 2719, 2720, 2721, 2722, 2723, 2724, 2725, 2726, 2727, 2728, 2729, 2730, 2731, 2732, 2733, 2734, 2735, 2736, 2737, 2738, 2739, 2740, 2741, 2742, 2743, 2744, 2745, 2746, 2747, 2748, 2749, 2750, 2751, 2752, 2753, 2754, 2755, 2756, 2757, 2758, 2759, 2760, 2761, 2762, 2763, 2764, 2765, 2766, 2767, 2768, 2769, 2770, 2771, 2772, 2773, 2774, 2775, 2776, 2777, 2778, 2779, 2780, 2781, 2782, 2783, 2784, 2785, 2786, 2787, 2788, 2789, 2790, 2791, 2792, 2793, 2794, 2795, 2796, 2797, 2798, 2799, 2800, 2801, 2802, 2803, 2804, 2805, 2806, 2807, 2808, 2809, 2810, 2811, 2812, 2813, 2814, 2815, 2816, 2817, 2818, 2819, 2820, 2821, 2822, 2823, 2824, 2825, 2826, 2827, 2828, 2829, 2830, 2831, 2832, 2833, 2834, 2835, 2836, 2837, 2838, 2839, 2840, 2841, 2842, 2843, 2844, 2845, 2846, 2847, 2848, 2849, 2850, 2851, 2852, 2853, 2854, 2855, 2856, 2857, 2858, 2859, 2860, 2861, 2862, 2863, 2864, 2865, 2866, 2867, 2868, 2869, 2870, 2871, 2872, 2873, 2874, 2875, 2876, 2877, 2878, 2879, 2880, 2881, 2882, 2883, 2884, 2885, 2886, 2887, 2888, 2889, 2890, 2891, 2892, 2893, 2894, 2895, 2896, 2897, 2898, 2899, 2900, 2901, 2902, 2903, 2904, 2905, 2906, 2907, 2908, 2909, 2910, 2911, 2912, 2913, 2914, 2915, 2916, 2917, 2918, 2919, 2920, 2921, 2922, 2923, 2924, 2925, 2926, 2927, 2928, 2929, 2930, 2931, 2932, 2933, 2934, 2935, 2936, 2937, 2938, 2939, 2940, 2941, 2942, 2943, 2944, 2945, 2946, 2947, 2948, 2949, 2950, 2951, 2952, 2953, 2954, 2955, 2956, 2957, 2958, 2959, 2960, 2961, 2962, 2963, 2964, 2965, 2966, 2967, 2968, 2969, 2970, 2971, 2972, 2973, 2974, 2975, 2976, 2977, 2978, 2979, 2980, 2981, 2982, 2983, 2984, 2985, 2986, 2987, 2988, 2989, 2990, 2991, 2992, 2993, 2994, 2995, 2996, 2997, 2998, 2999, 3000, 3001, 3002, 3003, 3004, 3005, 3006, 3007, 3008, 3009, 3010, 3011, 3012, 3013, 3014, 3015, 3016, 3017, 3018, 3019, 3020, 3021, 3022, 3023, 3024, 3025, 3026, 3027, 3028, 3029, 3030, 3031, 3032, 3033, 3034, 3035, 3036, 3037, 3038, 3039, 3040, 3041, 3042, 3043, 3044, 3045, 3046, 3047, 3048, 3049, 3050, 3051, 3052, 3053, 3054, 3055, 3056, 3057, 3058, 3059, 3060, 3061, 3062, 3063, 3064, 3065, 3066, 3067, 3068, 3069, 3070, 3071, 3072, 3073, 3074, 3075, 3076, 3077, 3078, 3079, 3080, 3081, 3082, 3083, 3084, 3085, 3086, 3087, 3088, 3089, 3090, 3091, 3092, 3093, 3094, 3095, 3096, 3097, 3098, 3099, 3100, 3101, 3102, 3103, 3104, 3105, 3106, 3107, 3108, 3109, 3110, 3111, 3112, 3113, 3114, 3115, 3116, 3117, 3118, 3119, 3120, 3121, 3122, 3123, 3124, 3125, 3126, 3127, 3128, 3129, 3130, 3131, 3132, 3133, 3134, 3135, 3136, 3137, 3138, 3139, 3140, 3141, 3142, 3143, 3144, 3145, 3146, 3147, 3148, 3149, 3150, 3151, 3152, 3153, 3154, 3155, 3156, 3157, 3158, 3159, 3160, 3161, 3162, 3163, 3164, 3165, 3166, 3167, 3168, 3169, 3170, 3171, 3172, 3173, 3174, 3175, 3176, 3177, 3178, 3179, 3180, 3181, 3182, 3183, 3184, 3185, 3186, 3187, 3188, 3189, 3190, 3191, 3192, 3193, 3194, 3195, 3196, 3197, 3198, 3199, 3200, 3201, 3202, 3203, 3204, 3205, 3206, 3207, 3208, 3209, 3210, 3211, 3212, 3213, 3214, 3215, 3216, 3217, 3218, 3219, 3220, 3221, 3222, 3223, 3224, 3225, 3226, 3227, 3228, 3229, 3230, 3231, 3232, 3233, 3234, 3235, 3236, 3237, 3238, 3239, 3240, 3241, 3242, 3243, 3244, 3245, 3246, 3247, 3248, 3249, 3250, 3251, 3252, 3253, 3254, 3255, 3256, 3257, 3258, 3259, 3260, 3261, 3262, 3263, 3264, 3265, 3266, 3267, 3268, 3269, 3270, 3271, 3272, 3273, 3274, 3275, 3276, 3277, 3278, 3279, 3280, 3281, 3282, 3283, 3284, 3285, 3286, 3287, 3288, 3289, 3290, 3291, 3292, 3293, 3294, 3295, 3296, 3297, 3298, 3299, 3300, 3301, 3302, 3303, 3304, 3305, 3306, 3307, 3308, 3309, 3310, 3311, 3312, 3313, 3314, 3315, 3316, 3317, 3318, 3319, 3320, 3321, 3322, 3323, 3324, 3325, 3326, 3327, 3328, 3329, 3330, 3331, 3332, 3333, 3334, 3335, 3336, 3337, 3338, 3339, 3340, 3341, 3342, 3343, 3344, 3345, 3346, 3347, 3348, 3349, 3350, 3351, 3352, 3353, 3354, 3355, 3356, 3357, 3358, 3359, 3360, 3361, 3362, 3363, 3364, 3365, 3366, 3367, 3368, 3369, 3370, 3371, 3372, 3373, 3374, 3375, 3376, 3377, 3378, 3379, 3380, 3381, 3382, 3383, 3384, 3385, 3386, 3387, 3388, 3389, 3390, 3391, 3392, 3393, 3394, 3395, 3396, 3397, 3398, 3399, 3400, 3401, 3402, 3403, 3404, 3405, 3406, 3407, 3408, 3409, 3410, 3411, 3412, 3413, 3414, 3415, 3416, 3417, 3418, 3419, 3420, 3421, 3422, 3423, 3424, 3425, 3426, 3427, 3428, 3429, 3430, 3431, 3432, 3433, 3434, 3435, 3436, 3437, 3438, 3439, 3440, 3441, 3442, 3443, 3444, 3445, 3446, 3447, 3448, 3449, 3450, 3451, 3452, 3453, 3454, 3455, 3456, 3457, 3458, 3459, 3460, 3461, 3462, 3463, 3464, 3465, 3466, 3467, 3468, 3469, 3470, 3471, 3472, 3473, 3474, 3475, 3476, 3477, 3478, 3479, 3480, 3481, 3482, 3483, 3484, 3485, 3486, 3487, 3488, 3489, 3490, 3491, 3492, 3493, 3494, 3495, 3496, 3497, 3498, 3499, 3500, 3501, 3502, 3503, 3504, 3505, 3506, 3507, 3508, 3509, 3510, 3511, 3512, 3513, 3514, 3515, 3516, 3517, 3518, 3519, 3520, 3521, 3522, 3523, 3524, 3525, 3526, 3527, 3528, 3529, 3530, 3531, 3532, 3533, 3534, 3535, 3536, 3537, 3538, 3539, 3540, 3541, 3542, 3543, 3544, 3545, 3546, 3547, 3548, 3549, 3550, 3551, 3552, 3553, 3554, 3555, 3556, 3557, 3558, 3559, 3560, 3561, 3562, 3563, 3564, 3565, 3566, 3567, 3568, 3569, 3570, 3571, 3572, 3573, 3574, 3575, 3576, 3577, 3578, 3579, 3580, 3581, 3582, 3583, 3584, 3585, 3586, 3587, 3588, 3589, 3590, 3591, 3592, 3593, 3594, 3595, 3596, 3597, 3598, 3599, 3600, 3601, 3602, 3603, 3604, 3605, 3606, 3607, 3608, 3609, 3610, 3611, 3612, 3613, 3614, 3615, 3616, 3617, 3618, 3619, 3620, 3621, 3622, 3623, 3624, 3625, 3626, 3627, 3628, 3629, 3630, 3631, 3632, 3633, 3634, 3635, 3636, 3637, 3638, 3639, 3640, 3641, 3642, 3643, 3644, 3645, 3646, 3647, 3648, 3649, 3650, 3651, 3652, 3653, 3654, 3655, 3656, 3657, 3658, 3659, 3660, 3661, 3662, 3663, 3664, 3665, 3666, 3667, 3668, 3669, 3670, 3671, 3672, 3673, 3674, 3675, 3676, 3677, 3678, 3679, 3680, 3681, 3682, 3683, 3684, 3685, 3686, 3687, 3688, 3689, 3690, 3691, 3692, 3693, 3694, 3695, 3696, 3697, 3698, 3699, 3700, 3701, 3702, 3703, 3704, 3705, 3706, 3707, 3708, 3709, 3710, 3711, 3712, 3713, 3714, 3715, 3716, 3717, 3718, 3719, 3720, 3721, 3722, 3723, 3724, 3725, 3726, 3727, 3728, 3729, 3730, 3731, 3732, 3733, 3734, 3735, 3736, 3737, 3738, 3739, 3740, 3741, 3742, 3743, 3744, 3745, 3746, 3747, 3748, 3749, 3750, 3751, 3752, 3753, 3754, 3755, 3756, 3757, 3758, 3759, 3760, 3761, 3762, 3763, 3764, 3765, 3766, 3767, 3768, 3769, 3770, 3771, 3772, 3773, 3774, 3775, 3776, 3777, 3778, 3779, 3780, 3781, 3782, 3783, 3784, 3785, 3786, 3787, 3788, 3789, 3790, 3791, 3792, 3793, 3794, 3795, 3796, 3797, 3798, 3799, 3800, 3801, 3802, 3803, 3804, 3805, 3806, 3807, 3808, 3809, 3810, 3811, 3812, 3813, 3814, 3815, 3816, 3817, 3818, 3819, 3820, 3821, 3822, 3823, 3824, 3825, 3826, 3827, 3828, 3829, 3830, 3831, 3832, 3833, 3834, 3835, 3836, 3837, 3838, 3839, 3840, 3841, 3842, 3843, 3844, 3845, 3846, 3847, 3848, 3849, 3850, 3851, 3852, 3853, 3854, 3855, 3856, 3857, 3858, 3859, 3860, 3861, 3862, 3863, 3864, 3865, 3866, 3867, 3868, 3869, 3870, 3871, 3872, 3873, 3874, 3875, 3876, 3877, 3878, 3879, 3880, 3881, 3882, 3883, 3884, 3885, 3886, 3887, 3888, 3889, 3890, 3891, 3892, 3893, 3894, 3895, 3896, 3897, 3898, 3899, 3900, 3901, 3902, 3903, 3904, 3905, 3906, 3907, 3908, 3909, 3910, 3911, 3912, 3913, 3914, 3915, 3916, 3917, 3918, 3919, 3920, 3921, 3922, 3923, 3924, 3925, 3926, 3927, 3928, 3929, 3930, 3931, 3932, 3933, 3934, 3935, 3936, 3937, 3938, 3939, 3940, 3941, 3942, 3943, 3944, 3945, 3946, 3947, 3948, 3949, 3950, 3951, 3952, 3953, 3954, 3955, 3956, 3957, 3958, 3959, 3960, 3961, 3962, 3963, 3964, 3965, 3966, 3967, 3968, 3969, 3970, 3971, 3972, 3973, 3974, 3975, 3976, 3977, 3978, 3979, 3980, 3981, 3982, 3983, 3984, 3985, 3986, 3987, 3988, 3989, 3990, 3991, 3992, 3993, 3994, 3995, 3996, 3997, 3998, 3999, 4000,

Material

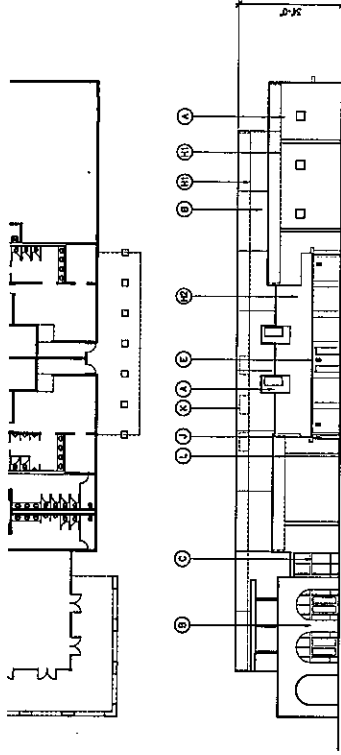
- A. Typical Walls and Columns - Cement Plaster (Light Mission to Santa Barbara finish - Integral Colon White)
- B. Concrete Walls - Concrete Tilt-up (Colon White)
- C. Windows - Metal Storefront (Finish Dark Anodized)
- D. Exposed Framing - Douglas Fir (Finish Medium Brown Stain)
- E. Exposed Trim - Douglas Fir (Finish Medium Brown Stain)
- F. Guards/Handrails - Ornamental Ironwork (Finish galvanized)
- G. Exterior Stairs - Precast Concrete
- H. Roofing
 - H1. Built-up or flat
 - H2. Clay tile (Mission Red)
 - H3. Standing seam metal (Colon Anodized)
- J. Site Walls and Trellis Columns - Stone Veneer/Plaster (colon plaster to match building)
- K. Mechanical Unit - Screened by Parapet
- L. Concealed Downspout - Exposed at Roof for gutter and wall connection. (Galv. Finish)

Exterior Light Fixtures

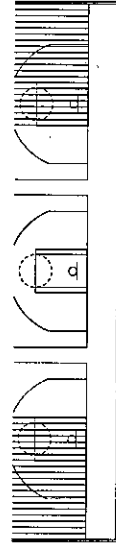
Keyplan



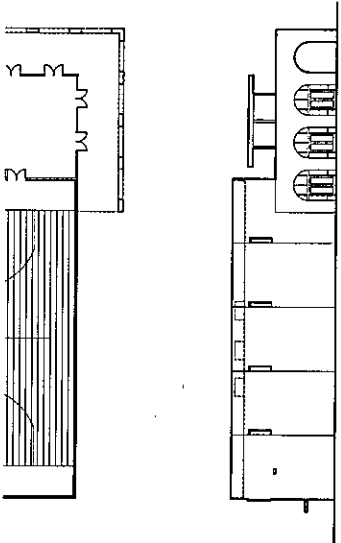
Building G - Elevations
 P.J.P. Architects - 11/2/10
 P.J.P. #907
 Brad Burke Architects
A8.1



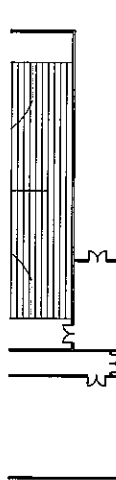
South Elevation
 Scale 1/8" = 1'-0"



North Elevation
 Scale 1/8" = 1'-0"



West Elevation
 Scale 1/8" = 1'-0"



East Elevation
 Scale 1/8" = 1'-0"

Santa Rosa Academy
 Riverside County, California

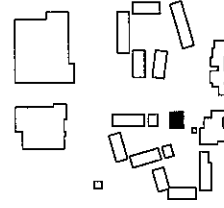


Material

- A. Typical Walls and Columns - Cement Plaster (Light Mission to Santa Barbara finish - Integral Color White)
- B. Concrete Walls - Concrete Tilt-up (Colon White)
- C. Windows - Metal Storefront (Finish: Dark Anodized)
- D. Exposed Framing - Douglas Fir (Finish: Medium Brown Stain)
- E. Exposed Trim - Douglas Fir (Finish: Medium Brown Stain)
- F. Guardrails/Handrails - Ornamental Ironwork (Finish: Galvanized)
- G. Exterior Stairs - Precast Concrete
- H. Roofing
 - H1. Built-up at flat
 - H2. Clay tile (Mission Red)
 - H3. Standing seam metal (Colon Anodized)
- I. Site Walls and Trellis Columns - Stone Veneer/Plaster (color plaster to match building)
- K. Mechanical Unit - Screened by Parapet
- L. Concealed Downspout - Exposed at Roof for gutter and wall connection (Galv. Finish)

■ Exterior Light Features

Keyplan

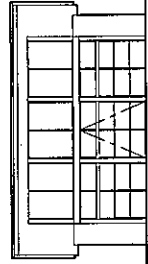
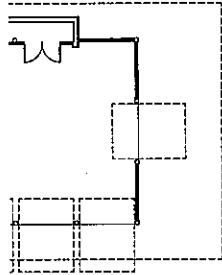


Pavilion - Elevations

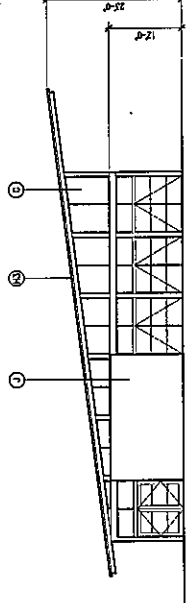
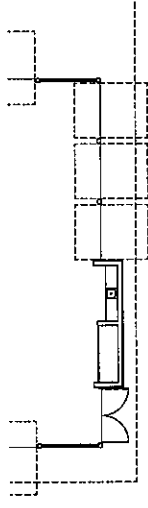
P.U.P. Schedule - 11/22/13
P.U.P. Schedule - 12/21/10
P.U.P. Schedule - 11/27/11

P.U.P. #907
Brad Burke Architects

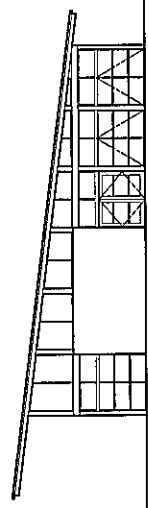
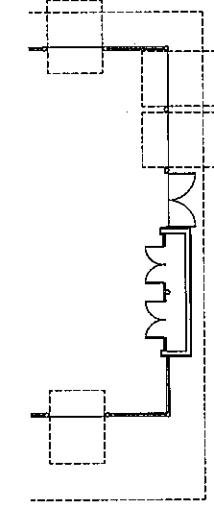
A9.1



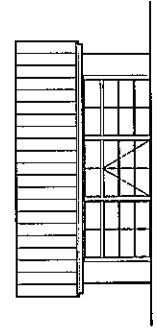
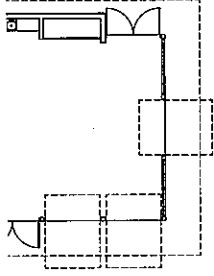
East Elevation
Scale: 1/8" = 1'-0"



South Elevation
Scale: 1/8" = 1'-0"



North Elevation
Scale: 1/8" = 1'-0"



West Elevation
Scale: 1/8" = 1'-0"

Santa Rosa Academy
Riverside County, California

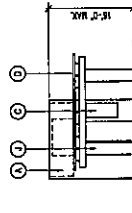
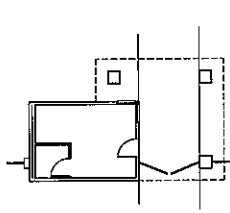
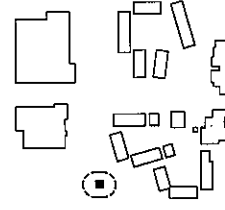


Material

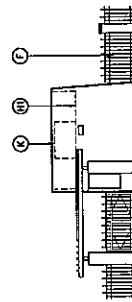
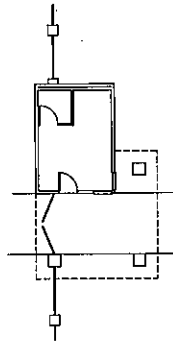
- A. Typical Walls and Columns - Cement Plaster (Light Mission to Santa Barbara finish - Integral Colon White)
- B. Concrete Walls - Concrete Tilt-up (Colon White)
- C. Windows - Metal Storefront (Finish Dark Anodized)
- D. Exposed Framing - Douglas Fir. (Finish Medium Brown Stain)
- E. Exposed Trim - Douglas Fir. (Finish Medium Brown Stain)
- F. Guardrails/Banisters - Ornamental Ironwork (Finish galvanized)
- G. Exterior Stairs - Precast Concrete
- Roofing
- H1. Built-up at flat
- H2. Clay tile (Mission Red)
- H3. Standing seam metal (Colon Anodized)
- J. Site Walls and Trellis Columns - Stone Veneer/Plaster (colon plaster to match building)
- K. Mechanical Unit - Screened by Parapet
- L. Concealed Downspout - Exposed at Roof for gutter and wall connection (Galv. Finish)

Exterior Light Fixtures

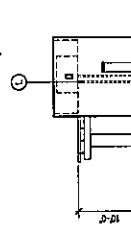
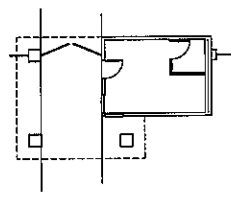
Keyplan



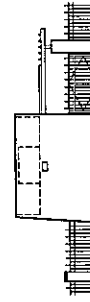
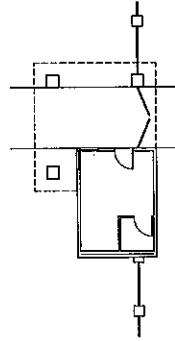
East Elevation
Scale: 1/8" = 1'-0"



North Elevation
Scale: 1/8" = 1'-0"



West Elevation
Scale: 1/8" = 1'-0"



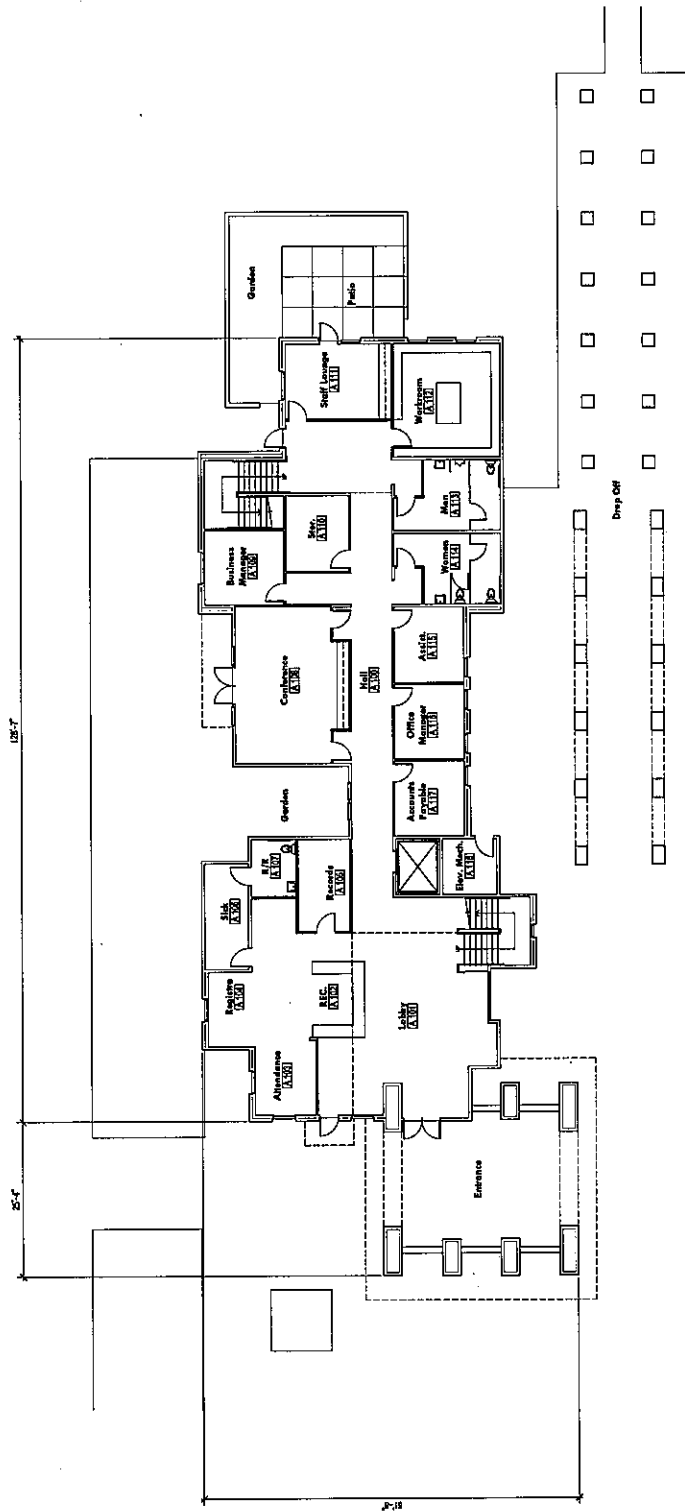
South Elevation
Scale: 1/8" = 1'-0"

Security Off - Elev.
P.L.P. #807
Brad Butler, Architect
A10.1

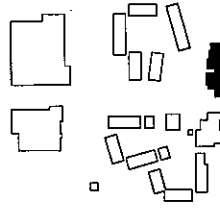
PLP Submittal - 11/2/10
PLP to Client - 12/2/10
PLP to Client - 12/2/11

Santa Rosa Academy
Riverside County, California





Keyplan

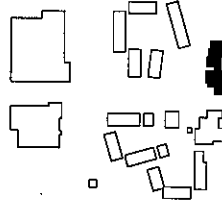


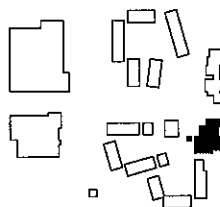
Building A - 1st Floor
P.U.P. #907
Brad Burke Architect
A2.0

PLA. Schematic - 11/22/09
PLA. Schematic - 12/27/10
PLA. Schematic - 1/17/11

Santa Rosa Academy
Riverside County, California

CASE: PUP00907, AMD. #2
EXHIBIT: C (Sheets 1-13)
DATED: 2/03/11
PLANNER: C. HINOJOSA

[illegible]



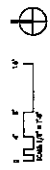
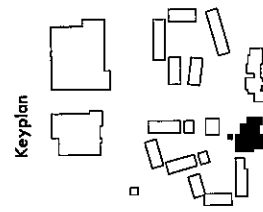
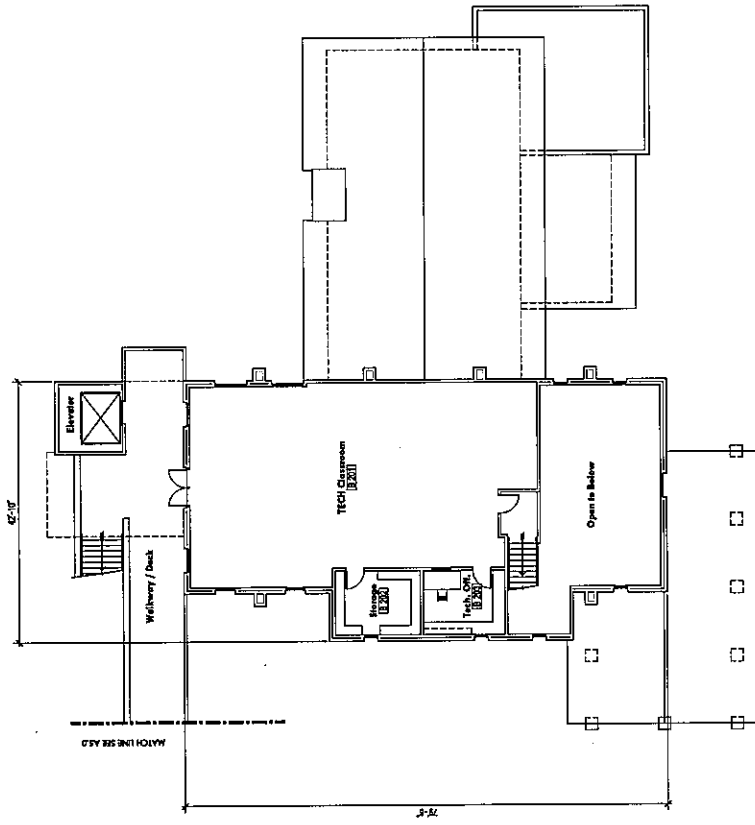
Building B - 1st Floor
P.U.P. #907
Brad Burke Architect
A3.0

P.U.P. Submittal - 11/2/10
P.U.P. Re-Submittal - 12/21/10
P.U.P. Re-Submittal - 1/27/11

Full, le-Sabonka - 1/1/11



Santa Rosa Academy
Riverside County, California



2112 Schedule - 11/27/10
2112 Re-Schedule - 12/27/10
2112 Re-Schedule - 1/17/11
Building B - 2nd Floor
P.U.P. #907
Brad Burke Architect
A3.1



Building C - Floor Plan
P.U.P. #907
Brad Burke Architects
A4.0

PLUP, Submetnal - 11/2/10
PLUP, Re-Submetnal - 12/21/10
PLUP, Re-Submetnal - 1/17/11



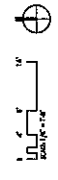
Santa Rosa Academy
Riverside County, California



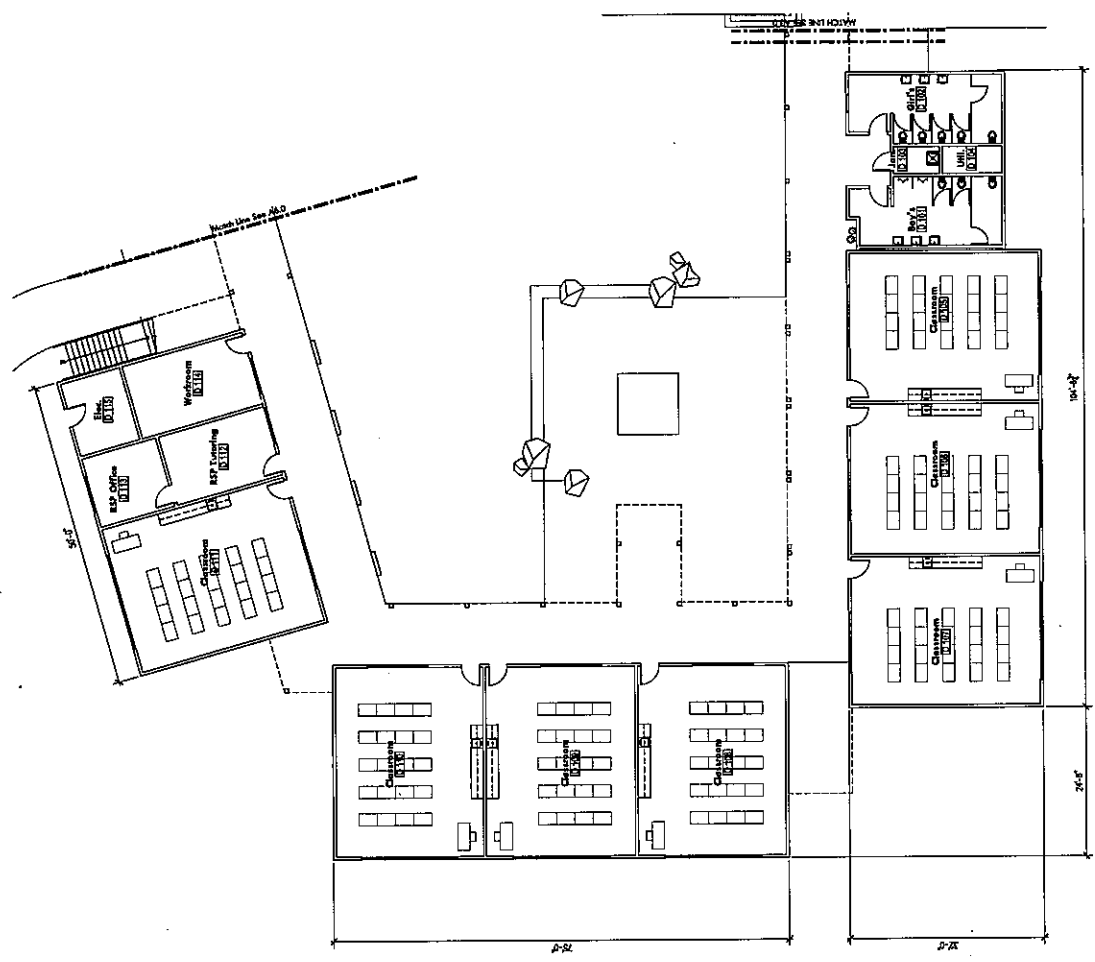
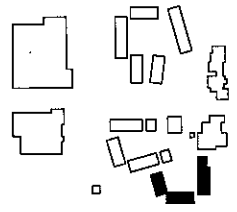
Santa Rosa Academy
 Riverside County, California

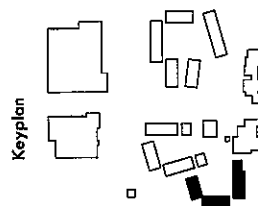
PLP Submitted: 11/27/15
 PLP by: [Signature] - 1571710
 PLP by: [Signature] - 1571711

Building D - 1st Floor
 P.L.P. #007
 Brad Burke - Architect
A5.0

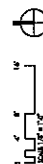


Keyplan

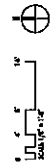
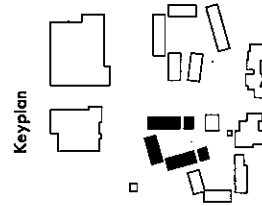
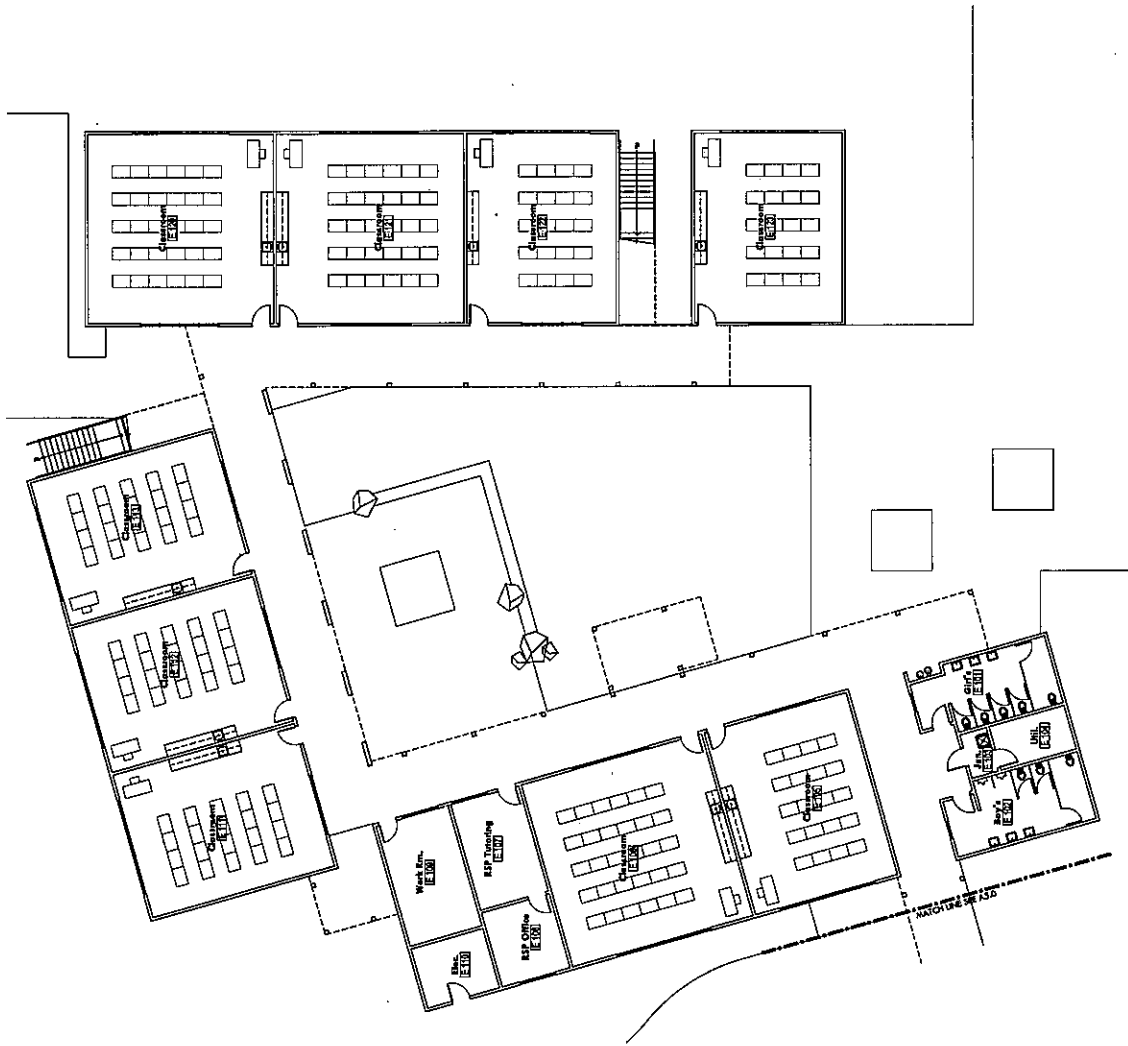




Keyplan



Building D - 2nd Floor
P.U.P. #907
Brad Burke Architect
A5.1

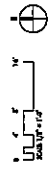
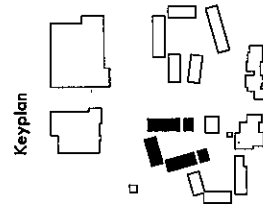
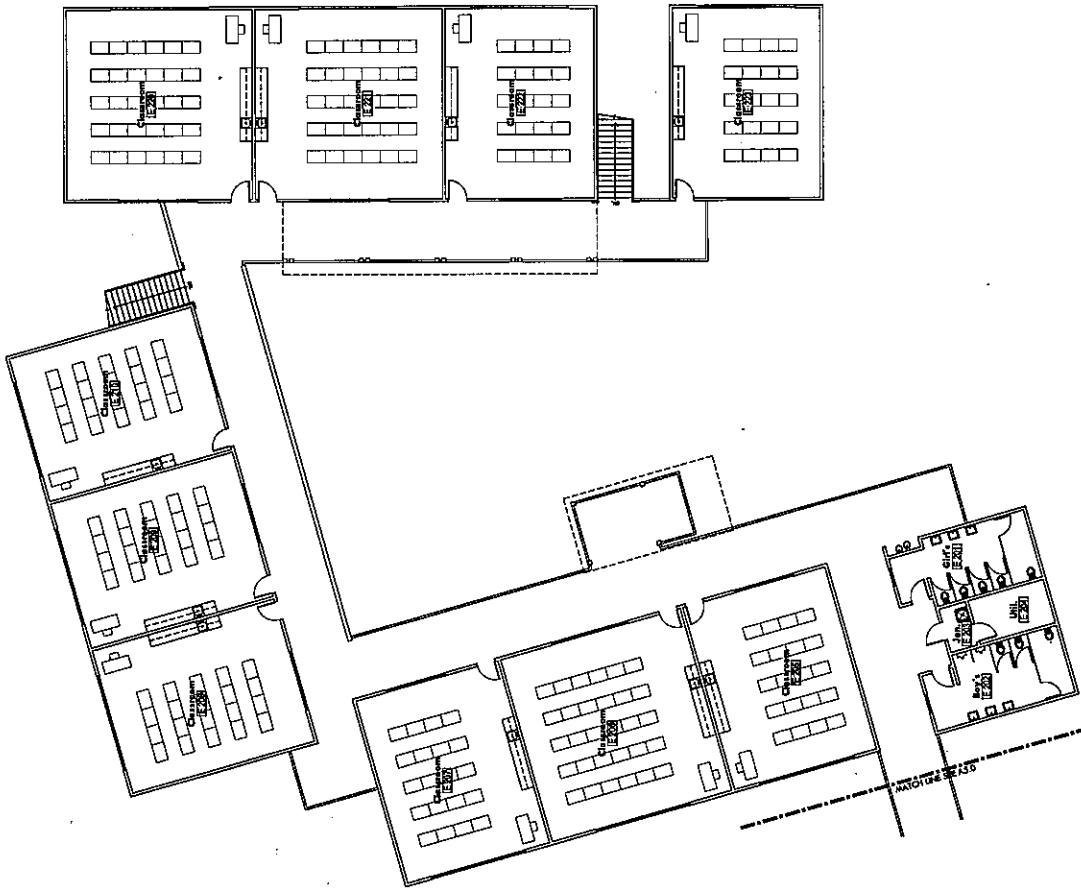


Building E - 1st Floor
 PUP #907
 Brad Burke Architects
A6.0

PLAT Submittal - 11/27/15
PLAT Submittal - 12/17/15
PLAT Submittal - 12/17/15
PLAT Submittal - 12/17/15



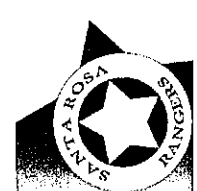
Santa Rosa Academy
 Riverside County, California

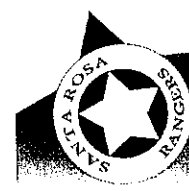


Building E - 2nd Floor
 P.L.P. #907
 Brad Burke Architect
A6.1

PLP - Submitted - 11/2/10	
PLP - Re-Submitted - 1/25/11	
PLP - Re-Submitted - 1/17/11	

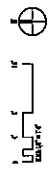
Santa Rosa Academy
 Riverside County, California



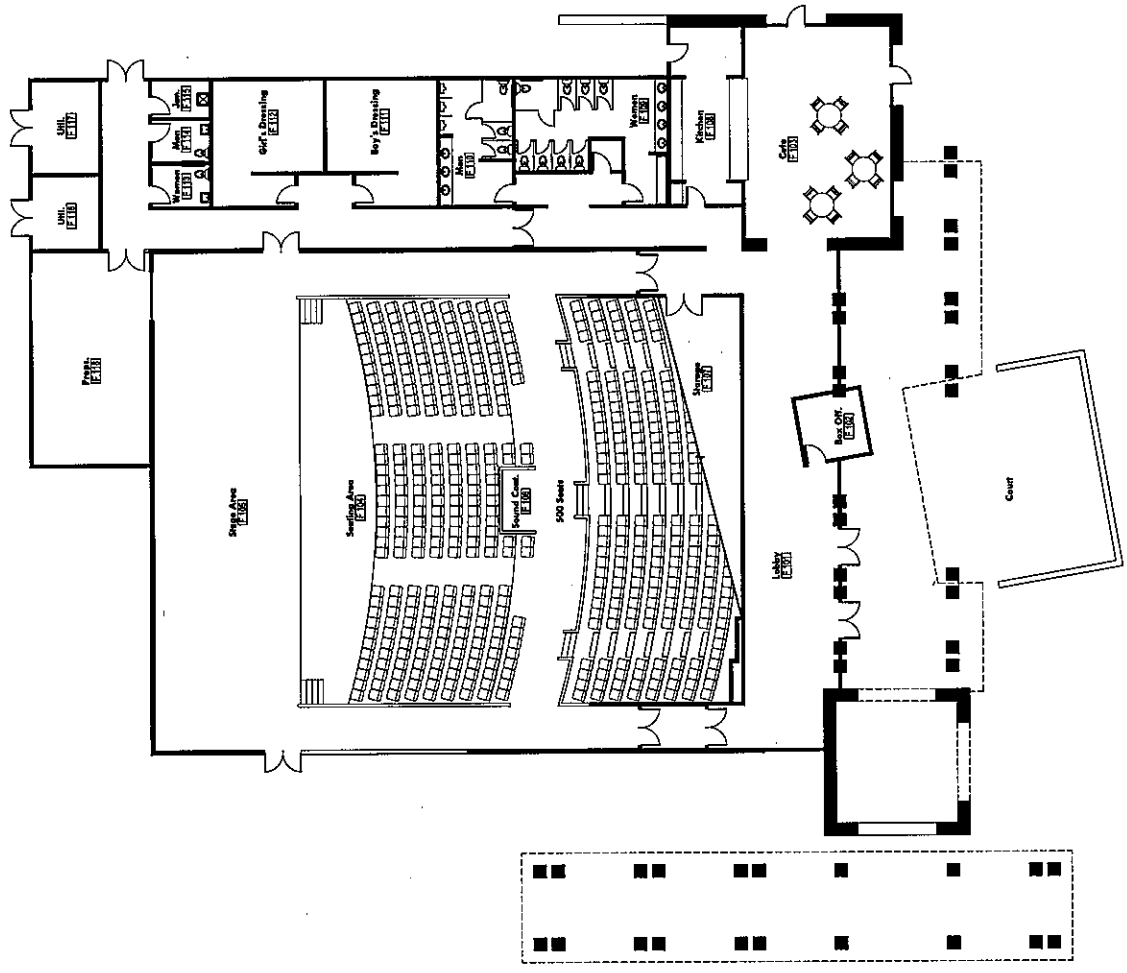
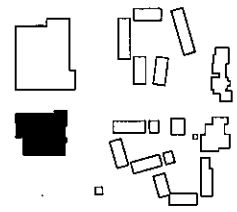


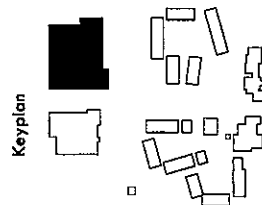
Santa Rosa Academy
 Riverside County, California

Building F - Floor Plan
 P.U.P. #907
 Brad Burke Architect
A7.0

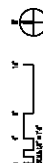


Keyplan





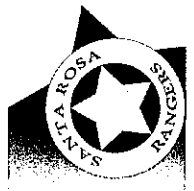
Keyplan



Building G - Floor Plan
P.U.P. #1907
Brad Burke Architects
A8.0

Santa Rosa Academy
Riverside County, California

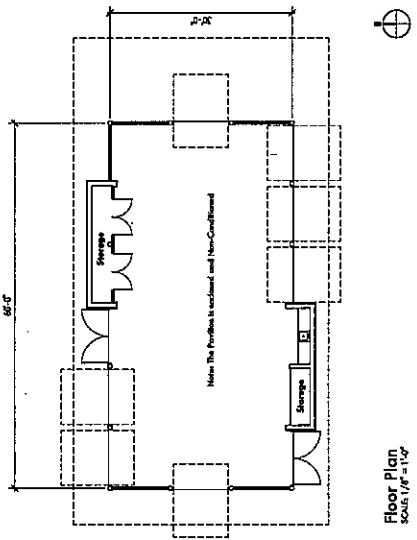




Santa Rosa Academy
Riverside County, California

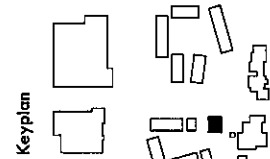
PLP, Submitted - 11/27/19
PLP, In-Review - 12/2/19
PLP, In-Review - 12/2/19
PLP, In-Review - 12/2/19

Pavilion - Floor Plan
P.U.P. #907
Brad Burke Architect
A9.0



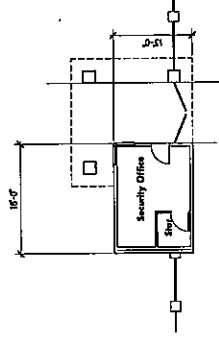
- Material**
- A. Typical Walls and Columns - Cement Plaster (Light Mission to Santa Barbara finish - Integral Color White)
 - B. Concrete Walls - Concrete Tilt-up (Color White)
 - C. Windows - Metal Storefront (Finish Dark Anodized)
 - D. Exposed Framing - Douglas Fir. (Finish Medium Brown Stain)
 - E. Exposed Trim - Douglas Fir. (Finish Medium Brown Stain)
 - F. Guardrail/Handrails - Ornamental Ironwork (Finish galvanized)
 - G. Exterior Stairs - Precast Concrete
 - H. Roofing
 - H1. Built-up at flat
 - H2. Clay tile (Mission Red)
 - H3. Standing seam metal (Color Anodized)
 - I. Site Walls and Trellis Columns - Stone Veneer/Plaster (color plaster to match building)
 - J. Mechanical Unit - Screened by Parapet
 - K. Concealed Downspout - Exposed at Roof for gutter and wall connection. (Galv. Finish)

Exterior Light Fixtures



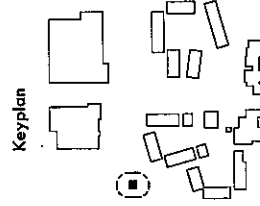
Material

- A. Typical Walls and Columns - Cement Plaster (Light Mission to Santa Barbara finish - Integral Color White)
 - B. Concrete Walls - Concrete Tilt-up (Colon White)
 - C. Windows - Metal Storefront (Finish Dark Anodized)
 - D. Exposed Framing - Douglas Fir (Finish Medium Brown Stain)
 - E. Exposed Trim - Douglas Fir (Finish Medium Brown Stain)
 - F. Guardrails/Handrails - Ornamental Ironwork (Finish galvanized)
 - G. Exterior Stairs - Precast Concrete
- Roofing
- H1. Built-up or flat
 - H2. Clay tile (Mission Red)
 - H3. Standing seam metal (Colon Anodized)
- J. Site Walls and Trellis Columns - Stone Veneer/Plaster (colon plaster to match building)
 - K. Mechanical Unit - Screened by Parapet
 - L. Concealed Downspout - Exposed at Roof for gutter and wall connection. (Coliv. Finish)



Security Office Floor Plan
Scale 1/8" = 1'-0"

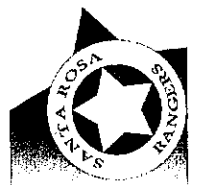
Exterior Light Fixtures



Security Office
P.L.P. #907
Brad Burke Architect
A10.0

PLP Schedule - 11/27/19
PLP to Schedule - 12/5/19
PLP to Schedule - 12/7/19
PLP to Schedule - 12/7/19
PLP to Schedule - 12/7/19
PLP to Schedule - 12/7/19
PLP to Schedule - 12/7/19
PLP to Schedule - 12/7/19
PLP to Schedule - 12/7/19
PLP to Schedule - 12/7/19

Santa Rosa Academy
Riverside County, California



[illegible][illegible]

TOTAL AREA	23.00 AC. GROSS	1,088,000 SF
TOTAL DEVELOPED AREA	23.00 AC	1,088,000 SF
TOTAL DEDICATION	0.44 AC	19,184 SF
TOTAL LANDSCAPE AREA	13.86 AC	604,813 SF
TOTAL BUILDING AREA	2.05 AC	89,298 SF

FULL: 68,500 CY

AN EASEMENT FOR UTILITIES AND INCIDENTAL PURPOSES, IN FAVOR OF SOUTHERN COUNTRIES GAS COMPANY, IN INSTRUMENT RECORDED JULY 1, 1914, IN BOOK 1006, PAGE 304

GAIL LIEBERGUTH C/O
408-220 LLC
41381 KALMA STREET, STE 200
MURRETA, CALIFORNIA 92562
PHONE : (951) 838-0600
FAX: (951) 834-9801

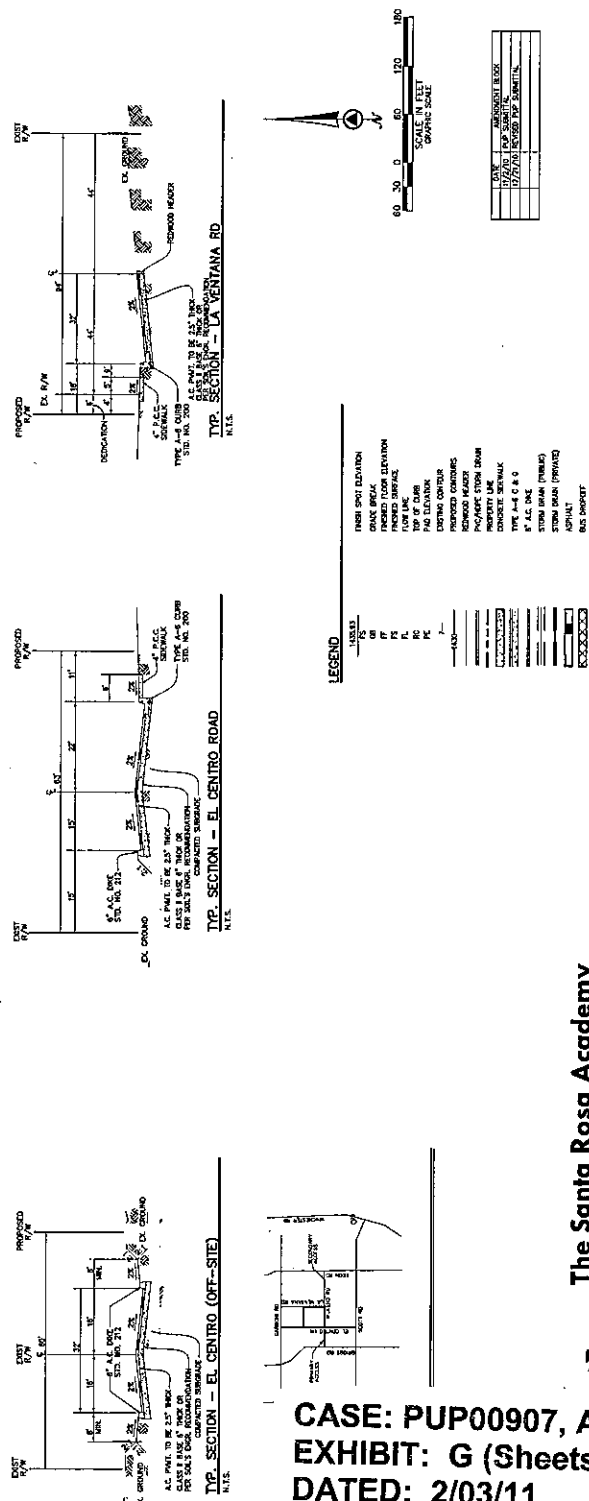
SANTA ROSA ACADEMY
28237 LA PIEDRA ROAD
MONTFEL, CALIFORNIA 92584
PHONE: (951) 672-2400
FAX: (951) 672-6060

MASSON AND ASSOCIATES, INC.
200 E. WASHINGTON AVE., STE 200
ESCONDIDO, CALIFORNIA 92025
PHONE: (760) 741-3570
FAX: (760) 741-3788

COMPETITIVE EDGE DEVELOPMENT
1120 TAMMISON WAY
ESCONDIDO, CALIFORNIA 92025
PHONE: (760) 480-2675
FAX: (760) 737-0931



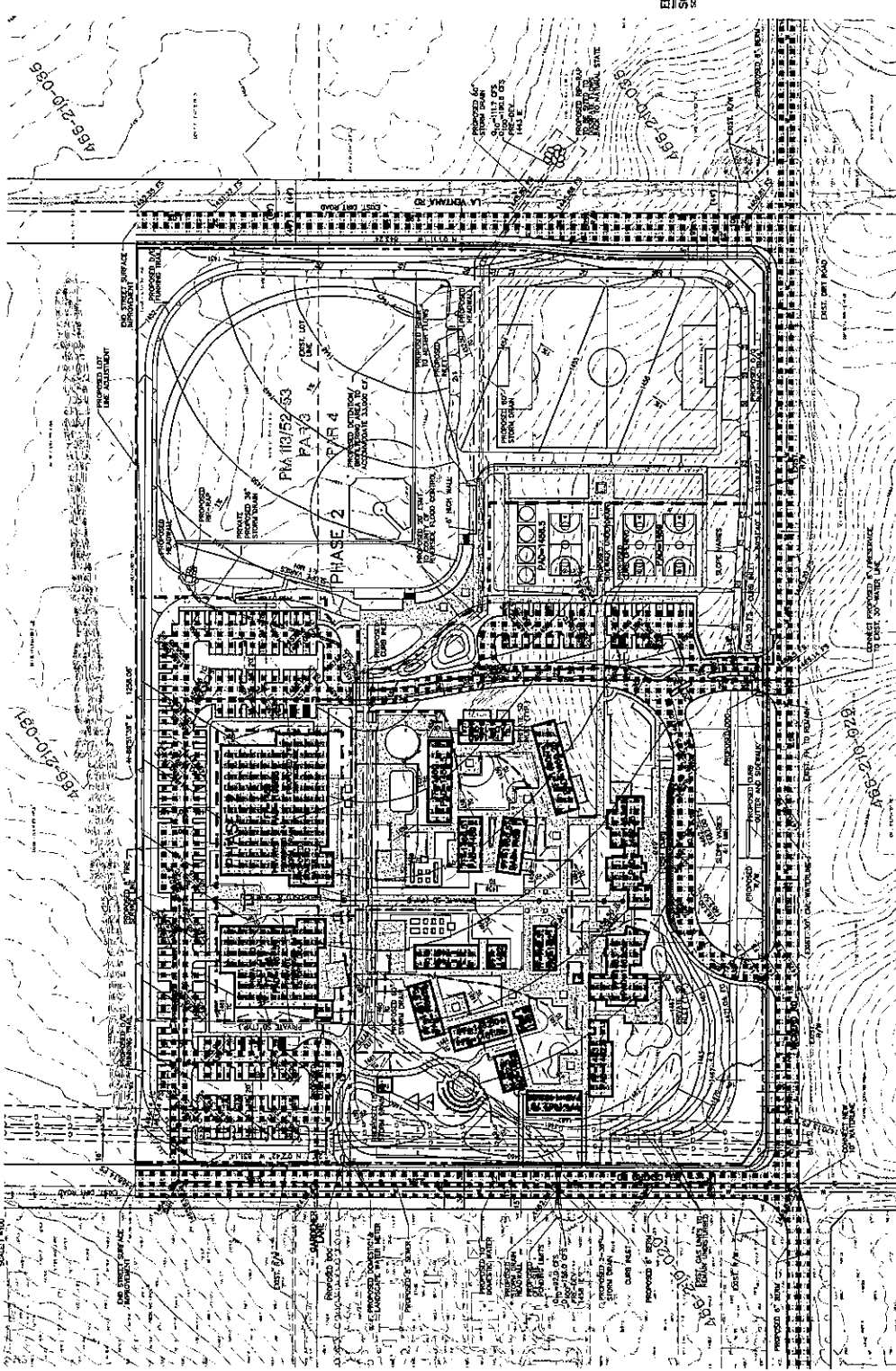
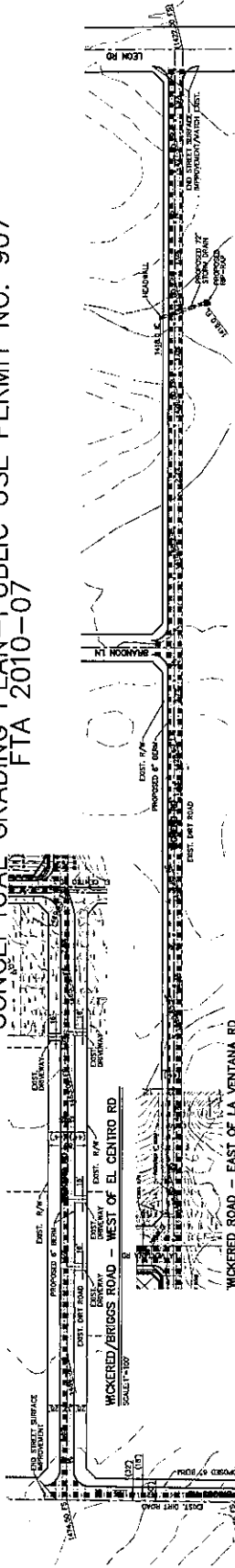
TITLE SHEET
01-24-11
Brad Burke Architect
C1.0



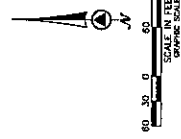
The Santa Rosa Academy
Riverside County, California

CASE: PUP00907, AMD. #2
EXHIBIT: G (Sheets 1-2)
DATED: 2/03/11
PLANNER: C. HINOJOSA

CONCEPTUAL GRADING PLAN-PUBLIC USE PERMIT NO. 907 FTA 2010-07



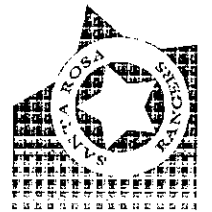
EL CENTRO ROAD SEWER CONNECTION
SOUTH OF WICKERD
SCALE: 1"=40'

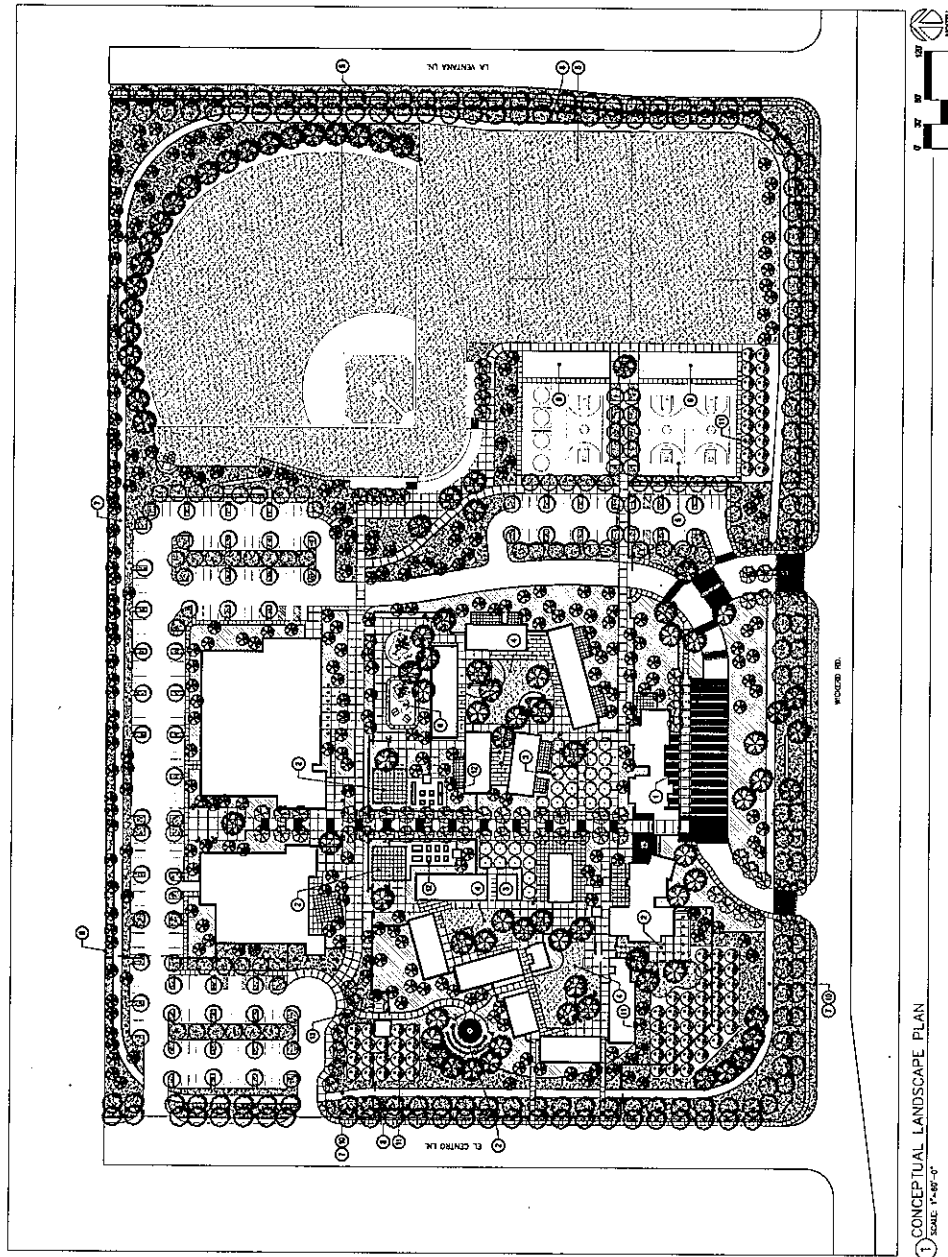


CONCEPTUAL GRADING PLAN
01-24-11
Brad Burke Architects
C1.1

DATE	REVISION
01-24-11	1.00
02-24-11	2.00
03-24-11	3.00
04-24-11	4.00
05-24-11	5.00
06-24-11	6.00
07-24-11	7.00
08-24-11	8.00
09-24-11	9.00
10-24-11	10.00
11-24-11	11.00
12-24-11	12.00

The Santa Rosa Academy
Riverside County, California



[illegible][illegible]

CENTRAL LANDSCAPE NOTES

ALL PLANTS TO BE INSTALLED TO DEPTH OF 3' IN ALL SOIL AREAS EXCEPT BANKS AND PLANTER BEDGES. AROUND AREAS OF 80' BANKS SHALL BE REVEGETATED AT ALL TIMES THAT ARE WITHIN A FT. OF HEDGEROW AREAS.

C. 17' CROWN COVER - WALK-OUTS SHALL BE PROVIDED AT PLANTER AREAS NEXT TO 6" CURBS IN PARKING AREAS.

MAINTENANCE & OVERSEER

THE PLANNING DEPARTMENT WILL BE OWNER-MANAGED (SANTA ROSA CALIFORNIA)

BOTTLE PARKING CALCULATIONS

PER REQUIREMENT NO. J49, CLASSES 1 & BKC RACKS FOR A MIN. OF (7) UTICLES SHALL BE PROVIDED.

RECD PARAGRAPH - EMPLOYEES: 106 (1 BKE PER 25)

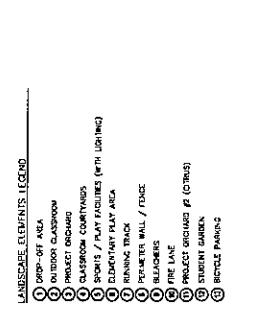
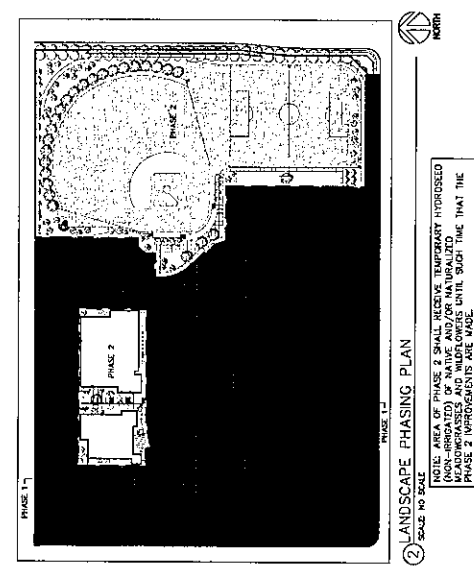
RECD PARAGRAPH - PATRONS/STUDENTS: 62 (1 BKE PER 33)

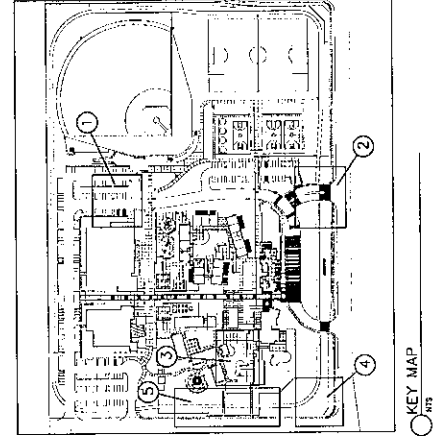
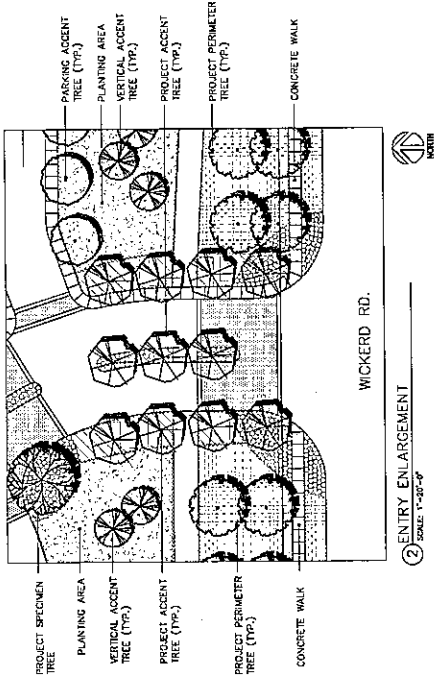
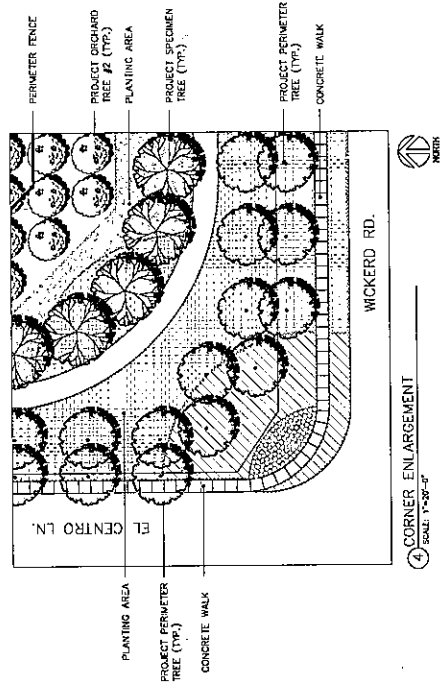
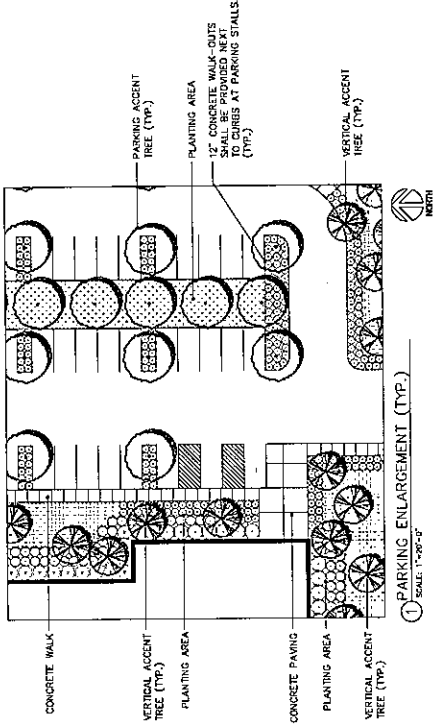
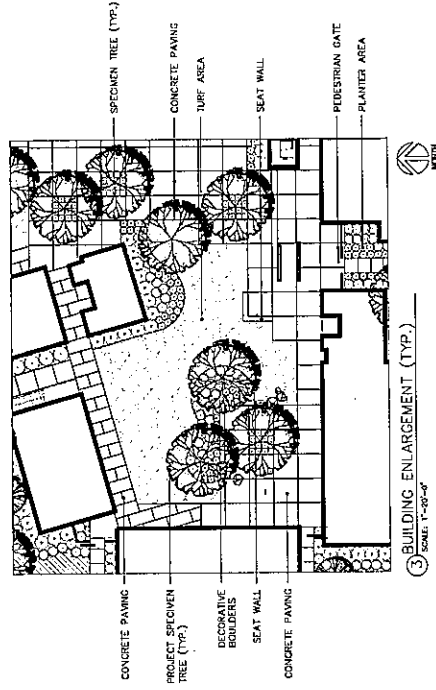
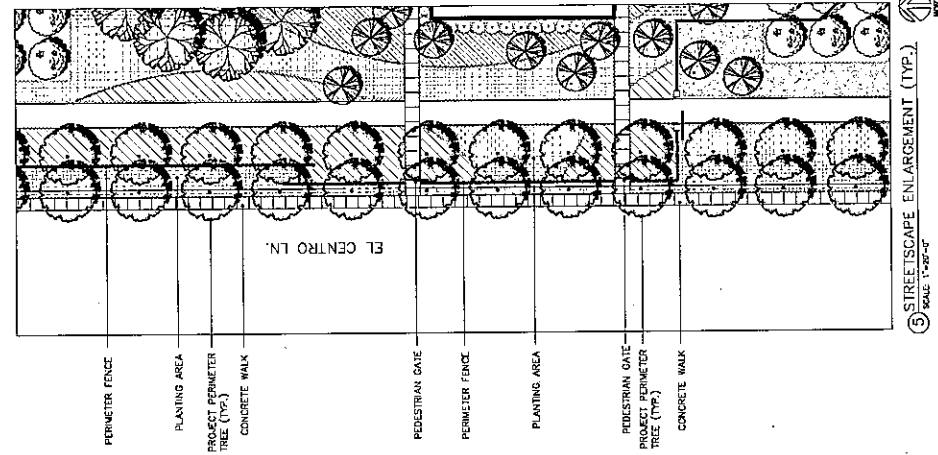
SHADING PLAN CALCULATIONS

TOTAL AREA OF PARKING: 38,394 SF

AREA OF SHADING: 10,000 SF

PERCENTAGE OF PARKING SHADED: 27% X

[illegible]



NOTE: REFER TO CANDIDATE PLANT LEGEND ON SHEET L1.0 (CONCEPTUAL LANDSCAPE PLAN) FOR ALL PROPOSED TREE, SHRUB AND GRASS SPECIES.



CONCEPTUAL-LANDSCAPE-ENLARGEMENTS-PLAN

JAN-25-2011
Brad Burke Architect

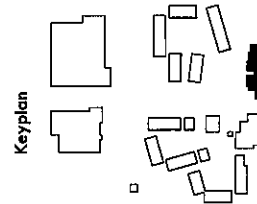
L2.0

The Santa Rosa Academy
Riverside County, California



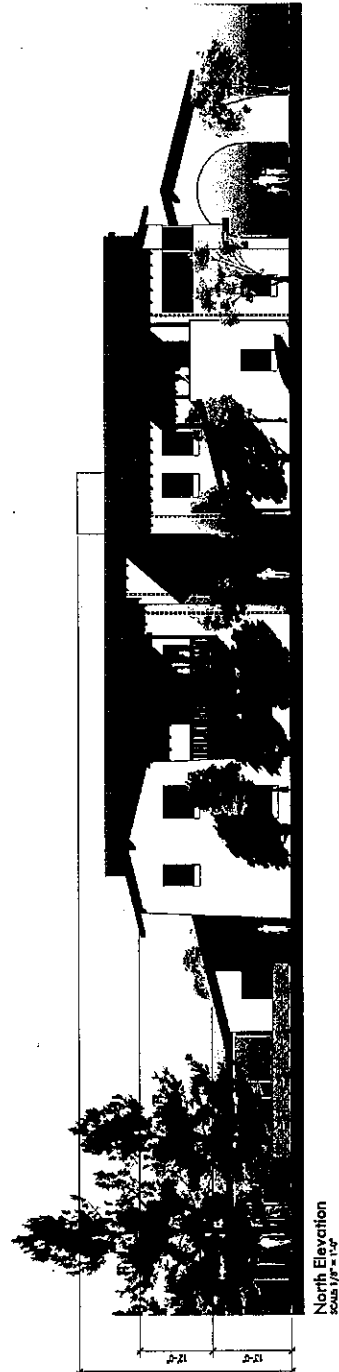
A.	Typical Walls and Columns - Cement Plaster (light tuffe) to match Barbara finish - (Integral Colon White)
B.	Concrete Walls - Concrete Tuck-up (Colon White)
C.	Windows - Metal Storefront (Finish Dark Anodized)
D.	Exposed Framing - Douglas Fir. (Finish: Medium Brown Stain)
E.	Exposed Trim - Douglas Fir. (Finish: Medium Brown Stain)
F.	Guardrails/Handrails - Ornamental Ironwork (finish galvanized)
G.	Exterior Stairs - Precast Concrete
	Roofing
H1.	Ballcap at flat
H2.	Clay tile (Mission Red)
H3.	Standing seam metal (Colon Anodized)
J.	Site Walls and Turrets Columns - Stone
K.	Vanner/Plaster (colon, plaster to match building)
X.	Mechanical Unit - Screened by Parapet
L.	Coated Downspout - Exposed at Roof for gutter and wall connection. (Galv. Finish)

Exterior Light Fixtures



Building A - Elevations
P.L.P. #907
Brad Burke Architect
A2.2c

P.L.P. Submitted - 11/2/10
P.L.P. Re-Submitted - 12/2/10
P.L.P. Re-Submitted - 1/17/11



CASE: PUP00907, AMD. #2
EXHIBIT: M (Sheets 1-12)
DATED: 2/03/11
PLANNER: C. HINOJOSA

Material

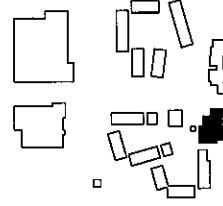
- A. Typical Walls and Columns - Cement Plaster (Light Mission to Santa Barbara finish - Integral Colon White)
- B. Concrete Walls - Concrete Tilt-up (Colon White)
- C. Windows - Metal Storefront (Finish Dark Anodized)
- D. Exposed Framing - Douglas Fir (Finish Medium Brown Stain)
- E. Exposed Trim - Douglas Fir (Finish Medium Brown Stain)
- F. Guardrails/Handrails - Ornamental Ironwork (Finish galvanized)
- G. Exterior Stairs - Precast Concrete

Roofing

- H1. Built-up on flat
- H2. Clay tile (Mission Red)
- H3. Standing seam metal (Colon Anodized)
- J. Site Walls and Trellis Columns - Stone Veneer/Plaster (colon plaster to match building)
- K. Medicinal Unit - Screened by Parapet
- L. Concealed Downpour - Exposed at Roof for gutter and wall connection. (Galv. Finish)

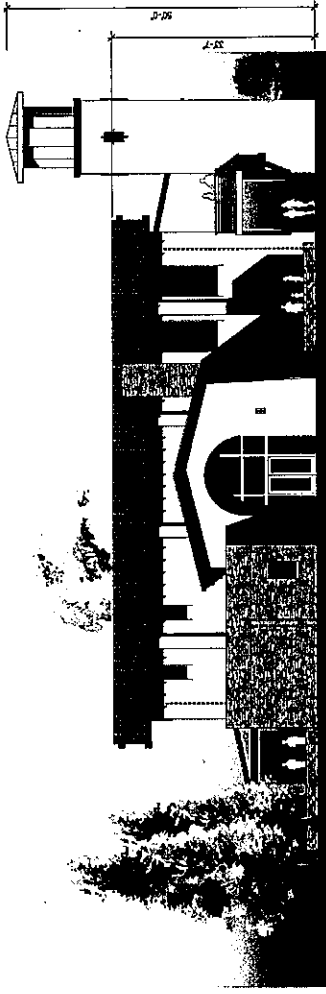
Exterior Light Fixtures

Keyplan

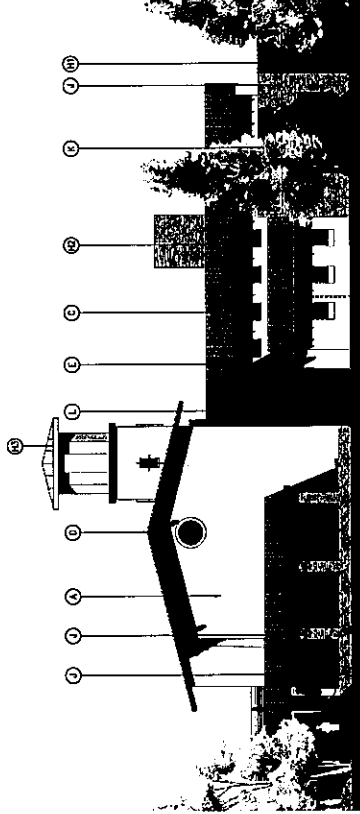


Building B - Elevations
 R.U. 2, 8902
 Brad Burke Architects
A3.2c

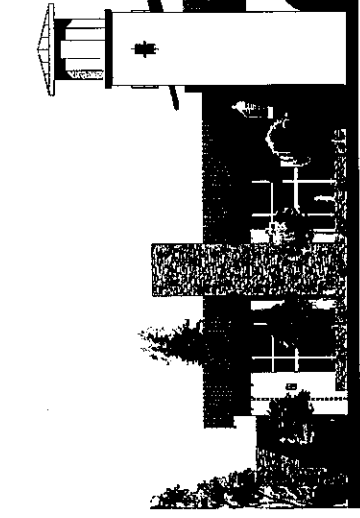
PLAT. Schematic - 11/2/10
PLAT. R. Schematic - 11/21/10
PLAT. R. Schematic - 11/21/10
PLAT. R. Schematic - 11/21/10
PLAT. R. Schematic - 11/21/10
PLAT. R. Schematic - 11/21/10
PLAT. R. Schematic - 11/21/10
PLAT. R. Schematic - 11/21/10
PLAT. R. Schematic - 11/21/10
PLAT. R. Schematic - 11/21/10



East Elevation
 SCALE 1/8" = 1'-0"



South Elevation
 SCALE 1/8" = 1'-0"



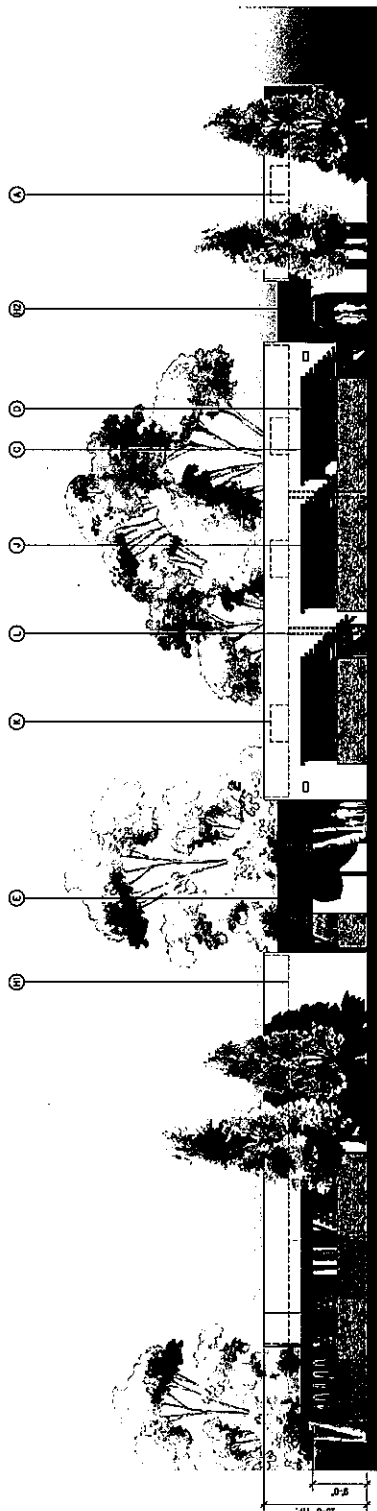
North Elevation
 SCALE 1/8" = 1'-0"



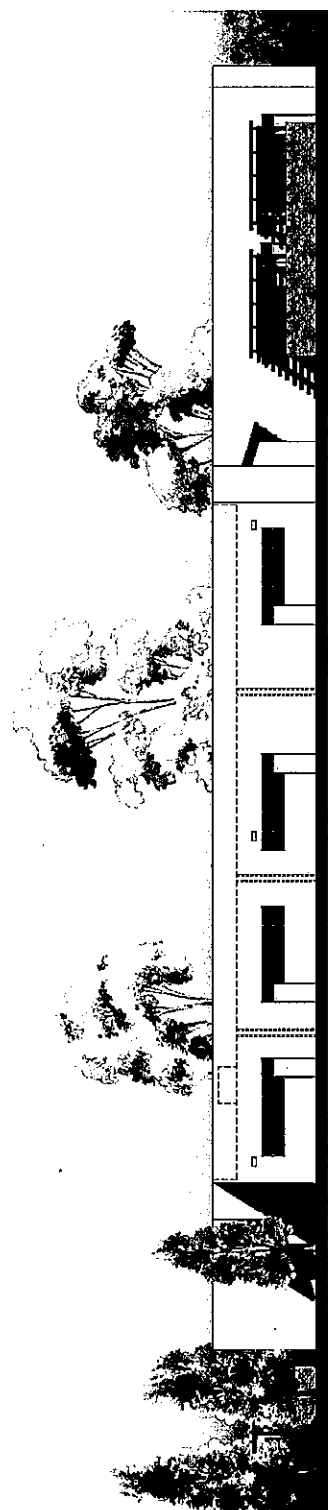
West Elevation
 SCALE 1/8" = 1'-0"



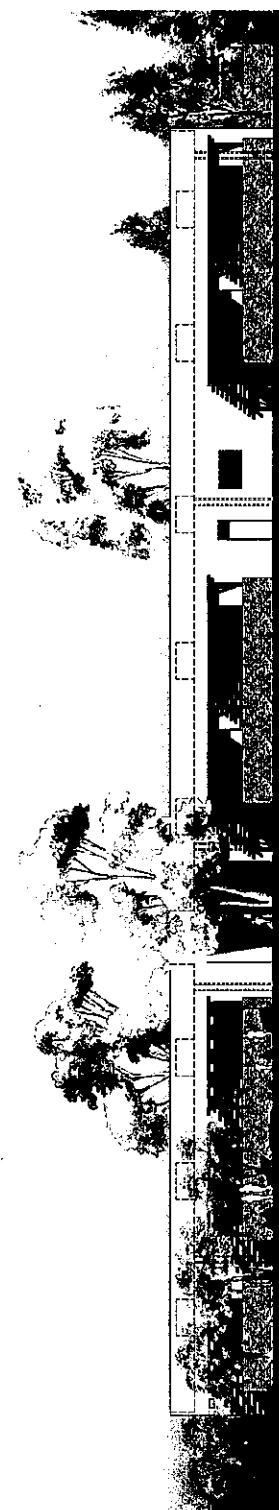
Santa Rosa Academy
 Riverside County, California



East Elevation
Scale 1/8" = 1'-0"



North Elevation
Scale 1/8" = 1'-0"



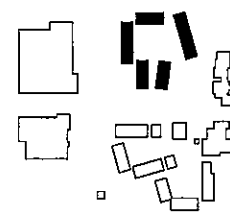
South Elevation
Scale 1/8" = 1'-0"

Material

- A. Typical Walls and Columns - Cement Plaster (Light Mission to Santa Barbara Finish - Integral Color White)
- B. Concrete Walls - Concrete Tilt-up (Color White)
- C. Windows - Metal Storefront (Finish Dark Anodized)
- D. Exposed Framing - Douglas Fir (Finish Medium Brown Stain)
- E. Exposed Trim - Douglas Fir (Finish Medium Brown Stain)
- F. Guardrails/Handrails - Ornamental Ironwork (Finish galvanized)
- G. Exterior Stairs - Precast Concrete
- H. Roofing
 - H1. Built-up on flat
 - H2. Clay tile (Mission Red)
 - H3. Standing seam metal (Color Anodized)
- I. Site Walls and Trellis Columns - Stone Veneer/Plaster (color plaster to match building)
- K. Mechanical Unit - Screened by Parapet
- L. Concealed Downspout - Exposed at Roof for gutter and wall connection. (Galv. Finish)

Exterior Light Fixtures

Keyplan



Building C - Elevations
 R.U.P. #907
 Bred Burke Architects
A4.1c

DATE: 11/27/19	
BY: BBA	
FOR: 11/27/19	
FILE: 11/27/19	

Santa Rosa Academy
 Riverside County, California





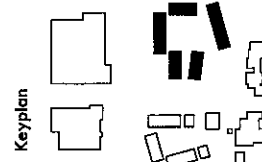
West Elevation
Scale 1/4" = 1'-0"



West Court Elevation
Scale 1/4" = 1'-0"



South Court Elevation
Scale 1/4" = 1'-0"



Keyplan

Material

- A. Typical Walls and Columns - Cement Plaster (Light Mission to Santa Barbara finish - Integral Colon White)
- B. Concrete Walls - Concrete Tilt-up (Colon White)
- C. Windows - Metal Storefront (Finish Dark Anodized)
- D. Exposed Framing - Douglas Fir (Finish Medium Brown Stain)
- E. Exposed Trim - Douglas Fir (Finish Medium Brown Stain)
- F. Guardrails/Handrails - Ornamental Ironwork (finish galvanized)
- G. Exterior Stairs - Precast Concrete

Roofing

- H1. Built-up at flat
- H2. Clay tile (Mission Red)
- H3. Standing seam metal (Colon Anodized)
- J. Site Walls and Trellis Columns - Stone Veneer/Plaster (colon plaster to match building)
- K. Mechanical Unit - Screened by Perimeter
- L. Concealed Downspout - Exposed at Roof for gutter and wall connection. (Galv. Finish)

Exterior Light Fixtures

Building C - Elevations
P.U.P. #907
Brad Burke Architect

A4.2c

11/15/2010	11/15/2010
11/15/2010	11/15/2010
11/15/2010	11/15/2010
11/15/2010	11/15/2010
11/15/2010	11/15/2010
11/15/2010	11/15/2010
11/15/2010	11/15/2010
11/15/2010	11/15/2010
11/15/2010	11/15/2010
11/15/2010	11/15/2010

Santa Rosa Academy
Riverside County, California

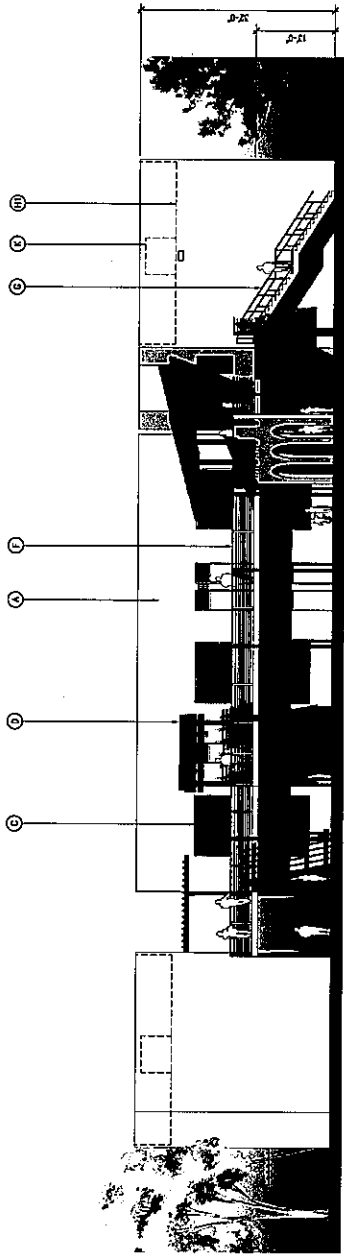




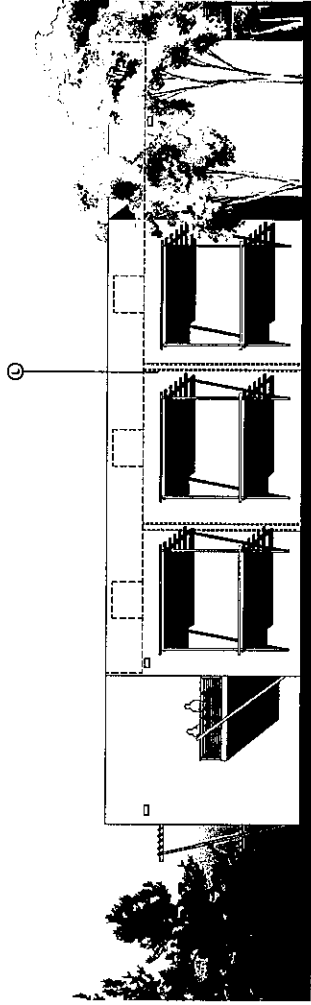
Santa Rosa Academy
Riverside County, California

DATE: 11/27/10	
BY: [Signature]	
FOR: [Signature]	
FILE: 11/27/10	
FILE: 11/27/10	
FILE: 11/27/10	

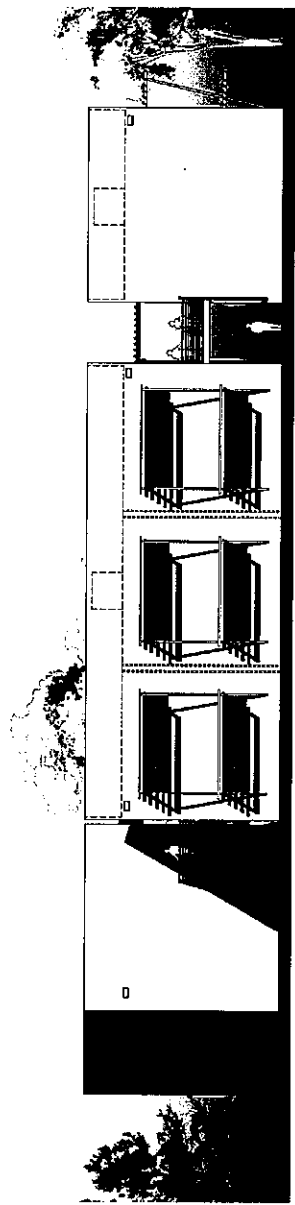
Building D - Elevations
S.U.P. #897
Brad Butler, Architect
A5.2c



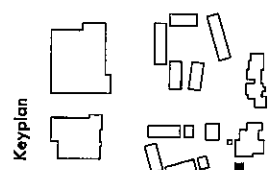
East Elevation
SCALE: 1/8" = 1'-0"



South Elevation
SCALE: 1/8" = 1'-0"



West Elevation
SCALE: 1/8" = 1'-0"



Keyplan

- Material**
- A. Typical Walls and Columns - Cement Plaster (Light Mission to Santa Barbara Finish - Integral Color White)
 - B. Concrete Walls - Concrete Tilt-up (Color White)
 - C. Windows - Metal Storefront (Finish: Dark Anodized)
 - D. Exposed Framing - Douglas Fir (Finish: Medium Brown Stain)
 - E. Exposed Trim - Douglas Fir (Finish: Medium Brown Stain)
 - F. Guards/Handrails - Ornamental Ironwork (Finish: Galvanized)
 - G. Exterior Stairs - Precast Concrete
- Roofing**
- H1. Built-up at flat
 - H2. Clay tile (Mission Red)
 - H3. Standing seam metal (Color: Anodized)
- J. Site Walls and Trellis Columns - Stone Veneer/Plaster (color plaster to match building)
 - K. Mechanical Unit - Screened by Parapet
 - L. Concealed Downspout - Exposed at Roof for gutter and wall connection. (Galv. Finish)

Exterior Light Fixtures



Santa Rosa Academy
Riverside County, California

Building D - Elevations
P.U.P. #907
Brad Burke Architects
A5.3c

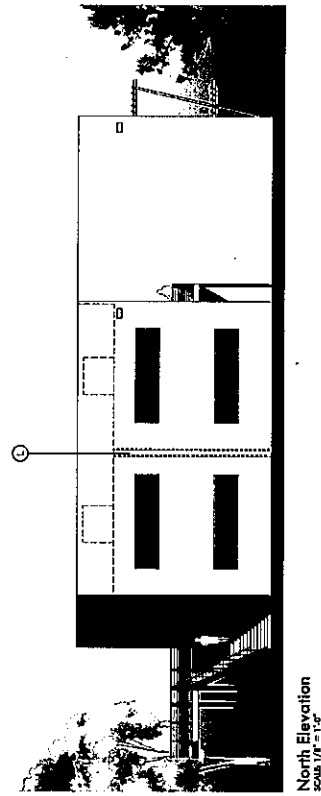
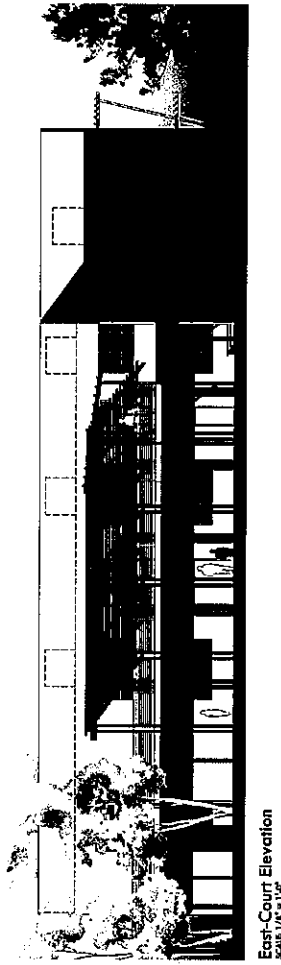
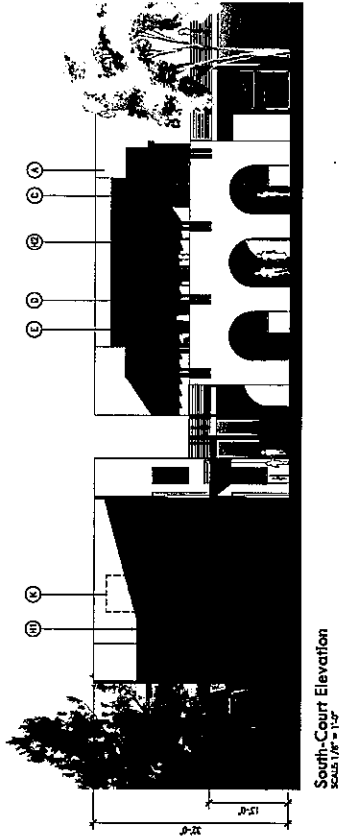
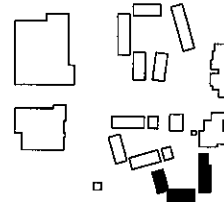
ALL: Schematic - 11/27/15
2017: Pre-Design - 1/27/16
2017: Design - 7/27/17

Material

- A. Typical Walls and Columns - Cement Plaster (Light Mission to Santa Barbara finish - Integral Colon White)
 - B. Concrete Walls - Concrete Till-up (Colon White)
 - C. Windows - Metal Storefront (Finish: Dark Anodized)
 - D. Exposed Framing - Douglas Fir. (Finish: Medium Brown Stain)
 - E. Exposed Trim - Douglas Fir. (Finish: Medium Brown Stain)
 - F. Guardrails/Handrails - Ornamental ironwork (finish: galvanized)
 - G. Exterior Stairs - Precast Concrete
- Roofing**
- H1. Bulkhead or flat
 - H2. Clay Tile (Mission Red)
 - H3. Standing seam metal (Colon Anodized)
- J. Site Walls and Trellis Columns - Stone Veneer/Plaster (colon plaster to match building)
 - K. Mechanical Unit - Screened by Parapet
 - L. Concealed Downspout - Exposed at Roof for gutter and wall connection. (Galv. Finish)

Exterior Light Fixtures

Keyplan

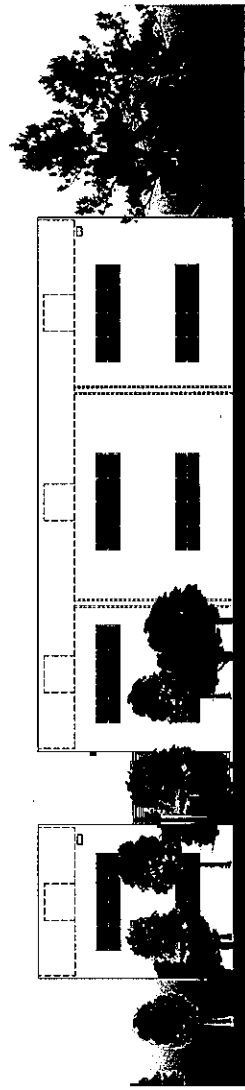




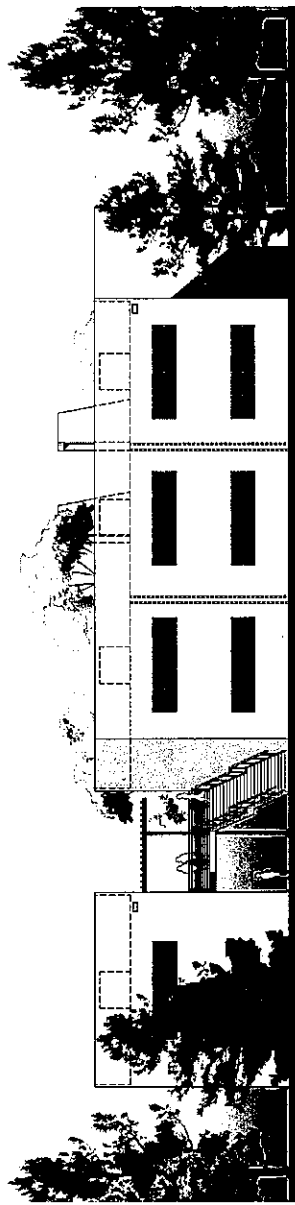
Santa Rosa Academy
Riverside County, California

DATE: 11/2/10	
BY: [Signature]	
DATE: 11/2/10	
BY: [Signature]	
DATE: 11/2/10	
BY: [Signature]	

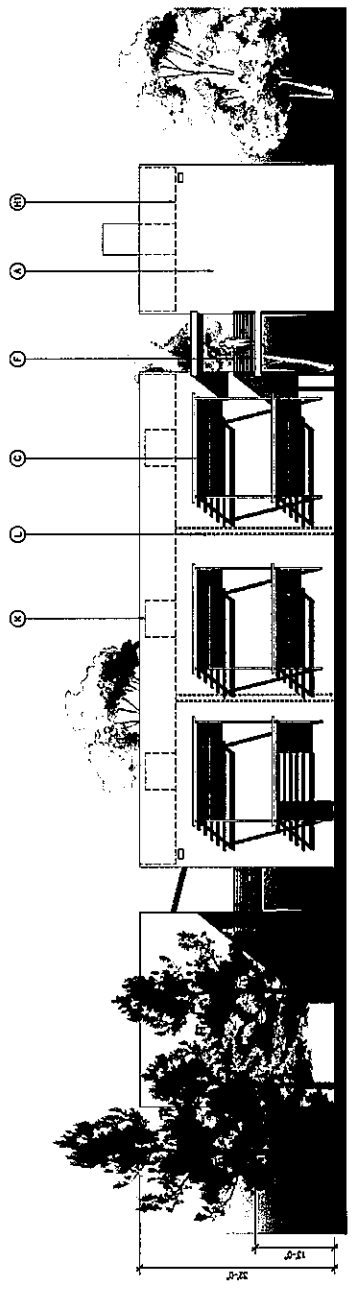
Building E - Elevations
P.U.P. #907
Brod Burke Architect
A6.2c



East Elevation
Scale 1/8" = 1'-0"



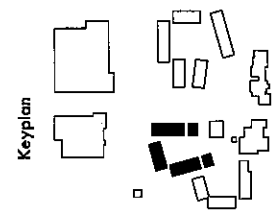
North Elevation
Scale 1/8" = 1'-0"



West Elevation
Scale 1/8" = 1'-0"

- Material**
- A. Typical Walls and Columns - Cement Plaster (Light Mission to Santa Barbara finish - Integral Colon White)
 - B. Concrete Walls - Concrete Tilt-up (Colon White)
 - C. Windows - Metal Storefront (Finish Dark Anodized)
 - D. Exposed Framing - Douglas Fir (Finish Medium Brown Stain)
 - E. Exposed Trim - Douglas Fir (Finish Medium Brown Stain)
 - F. Guardrails/Handrails - Ornamental Ironwork (finish galvanized)
 - G. Exterior Stairs - Precast Concrete
- Roofing**
- H1. Built-up at flat
 - H2. Clay tile (Mission Red)
 - H3. Standing seam metal (Colon Anodized)
- J. Site Walls and Trellis Columns - Stone Veneer/Plaster (colon plaster to match building)**
- K. Mechanical Unit - Screened by Parapet**
- L. Concealed Downspout - Exposed at Roof (to gutter and wall connection. (Colon Finish)**

■ Exterior Light Fixtures

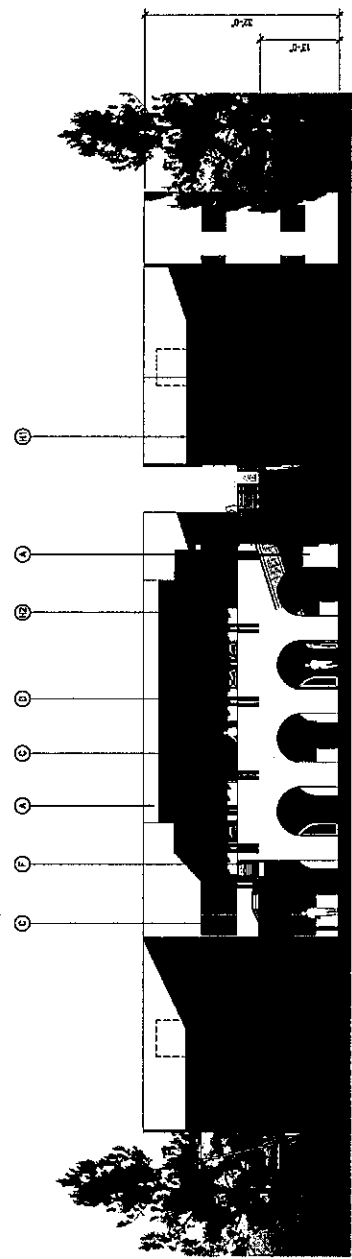




Santa Rosa Academy
Riverside County, California

PLP Schedule - 11/21/10
PLP Rev 3 Schedule - 11/21/10
PLP Rev 3 Schedule - 11/21/10
PLP Rev 3 Schedule - 11/21/10
PLP Rev 3 Schedule - 11/21/10
PLP Rev 3 Schedule - 11/21/10

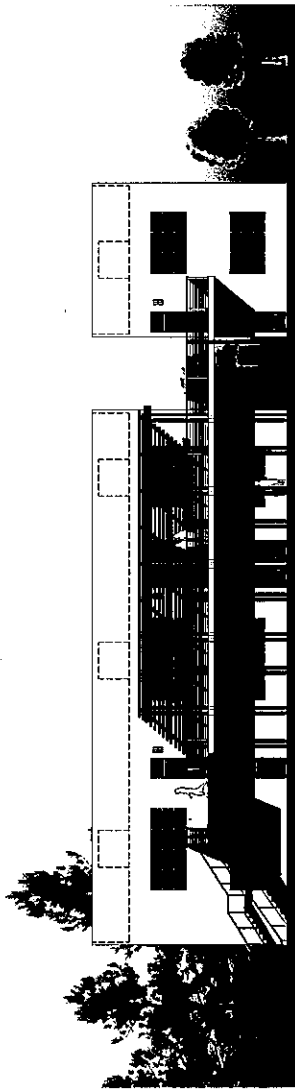
Building E - Elevations
P.U.P. #907
Brad Burke Architect
A6.3c



South-Court Elevation
Scale: 1/8" = 1'-0"

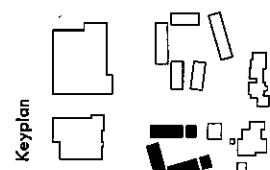


East-Court Elevation
Scale: 1/8" = 1'-0"



West-Court Elevation
Scale: 1/8" = 1'-0"

- Material**
- A. Typical Walls and Columns - Cement Plaster (Light Mission to Santa Barbara finish - Integral Colon White)
 - B. Concrete Walls - Concrete Tilt-up (Colon White)
 - C. Windows - Metal Storefront (Finish Dark Anodized)
 - D. Exposed Framing - Douglas Fir (Finish Medium Brown Stain)
 - E. Exposed Trim - Douglas Fir (Finish Medium Brown Stain)
 - F. Guardrails/Handrails - Ornamental Ironwork (Finish galvanized)
 - G. Exterior Stairs - Precast Concrete
- Roofing**
- H1. Bulk-up at flat
 - H2. Clay tile (Mission Red)
 - H3. Standing seam metal (Colon Anodized)
- J. Site Walls and Trailis Columns - Stone Veneer/Plaster (colon plaster to match building)
 - K. Mechanical Unit - Screened by Parapet
 - L. Concealed Downpour - Exposed at Roof for gutter and wall connection. (Galv. Finish)
- Exterior Light Fixtures**



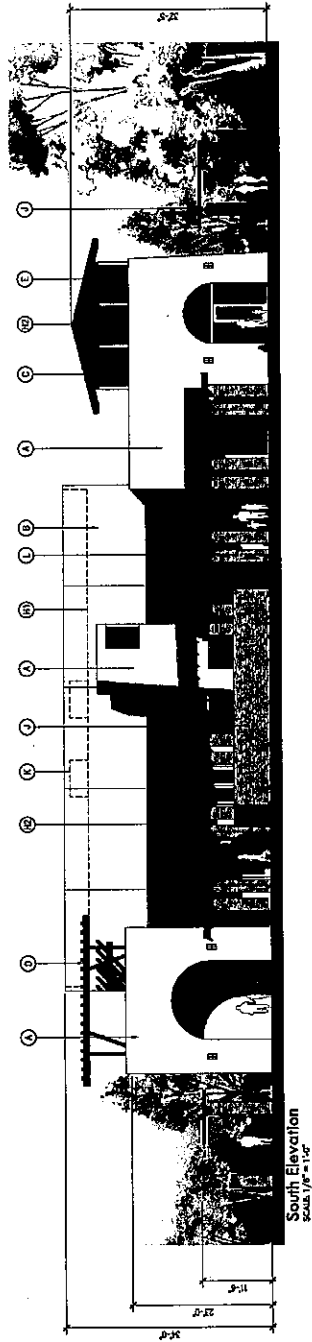
Keyplan



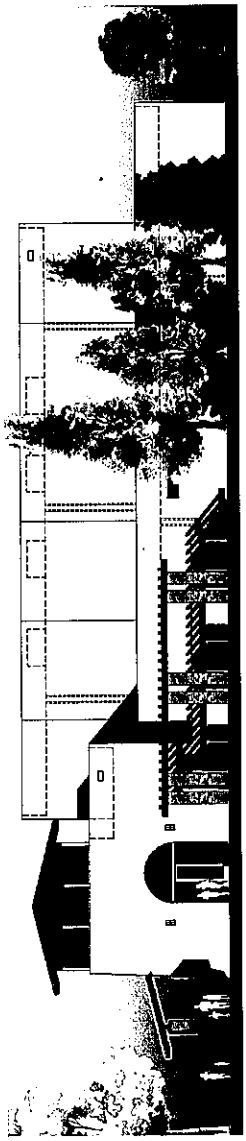
Santa Rosa Academy
Riverside County, California

ALL SCHEDULED - 11/21/10
ALL SCHEDULED - 12/21/10
ALL SCHEDULED - 11/21/11

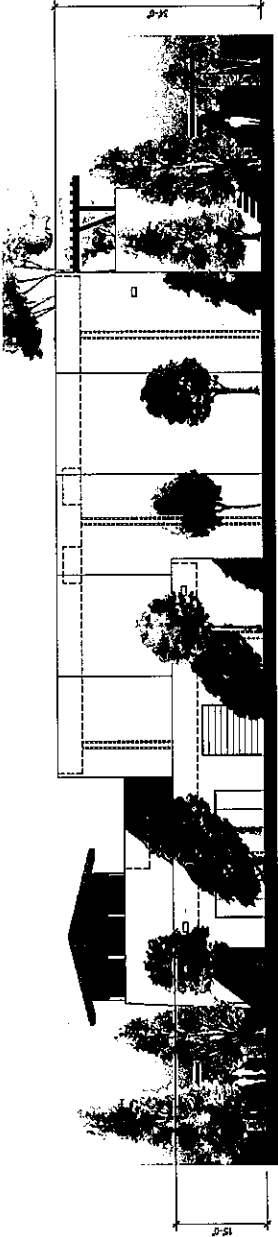
Building F - Elevations
P.O.P. #902
Brad Burke Architects
A7.1c



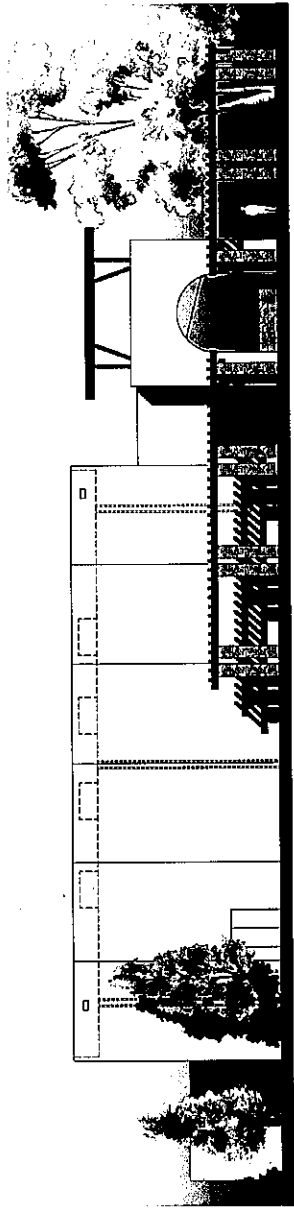
South Elevation
SCALE: 1/8" = 1'-0"



East Elevation
SCALE: 1/8" = 1'-0"



North Elevation
SCALE: 1/8" = 1'-0"

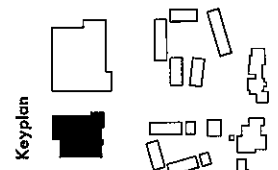


West Elevation
SCALE: 1/8" = 1'-0"

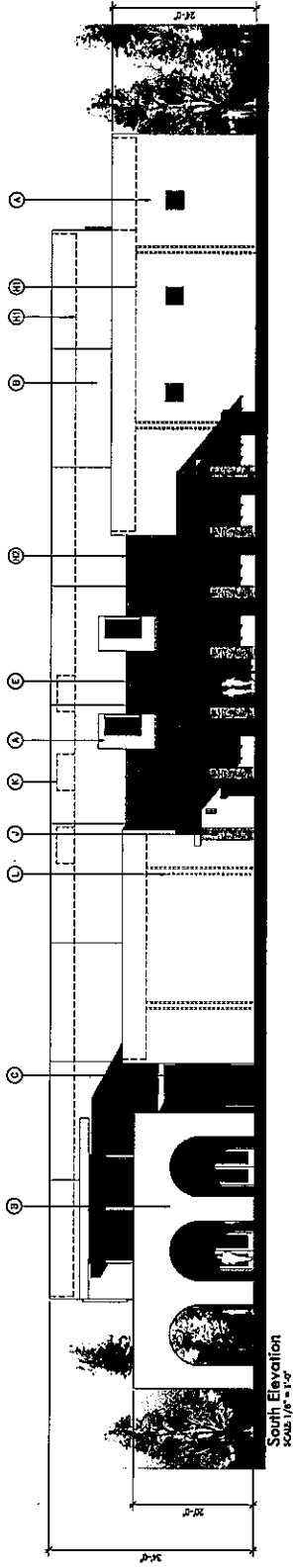
Material

- A. Typical Walls and Columns - Cement Plaster (Light Mission to Santa Barbara finish - Integral Color White)
- B. Concrete Walls - Concrete Tilt-up (Color White)
- C. Windows - Metal Storefront (Finish Dark Anodized)
- D. Exposed Framing - Douglas Fir. (Finish Medium Brown Stain)
- E. Exposed Trim - Douglas Fir. (Finish Medium Brown Stain)
- F. Gutters/Handrails - Ornamental Ironwork (finish galvanized)
- G. Exterior Sills - Precast Concrete
- H. Roofing
 - H1. Bulldozer at flat
 - H2. Clay tile (Mission Red)
 - H3. Standing seam metal (Color Anodized)
- I. Site Walls and Trellis Columns - Stone Veneer/Plaster (color plaster to match building)
- J. Mechanical Unit - Screened by Parapet
- K. Concealed Downspout - Exposed on Roof for gutter and wall connection. (Galv. Finish)

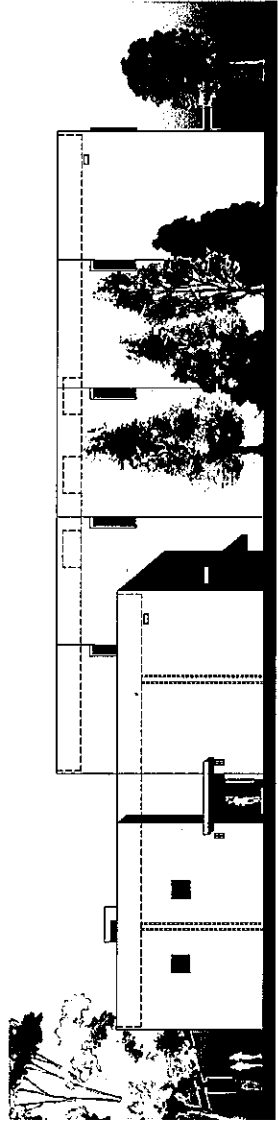
■ Exterior Light Fixtures



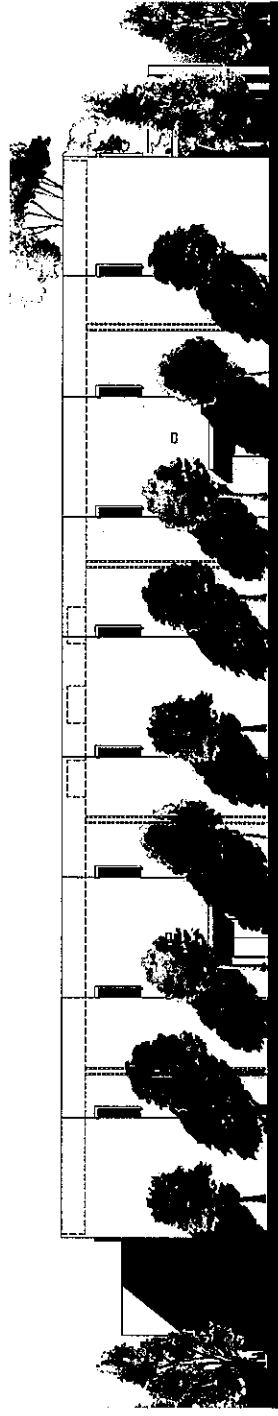
Keyplan



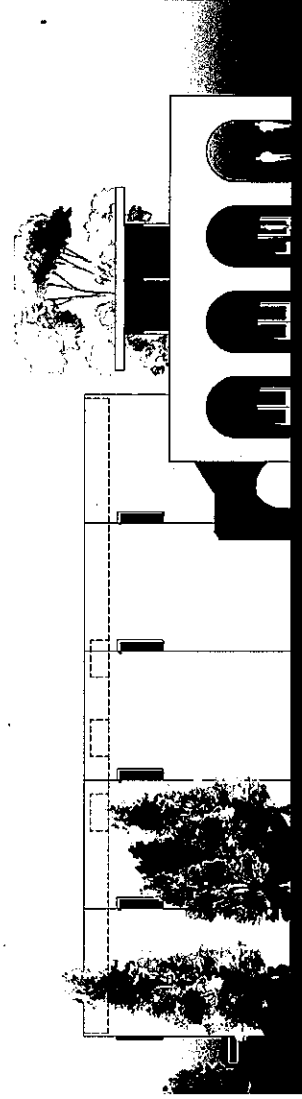
South Elevation
Scale 1/8" = 1'-0"



East Elevation
Scale 1/8" = 1'-0"



North Elevation
Scale 1/8" = 1'-0"



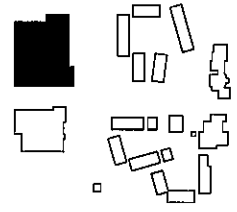
West Elevation
Scale 1/8" = 1'-0"

Material

- A. Typical Walls and Columns - Cement Plaster (Light Medium Brown) and Salsara finish - Integral Colon White
- B. Concrete Walls - Concrete Tilt-up (Colon White)
- C. Windows - Metal Storefront (Finish Dark Anodized)
- D. Exposed Framing - Douglas Fir. (Finish Medium Brown Stain)
- E. Exposed Trim - Douglas Fir. (Finish Medium Brown Stain)
- F. Guardrails/Randrails - Ornamental ironwork (finish galvanized)
- G. Exterior Stairs - Precast Concrete
- H. Roofing
 - H1. Built-up or flat
 - H2. Clay tiles (Mission Red)
 - H3. Standing seam metal (Colon Anodized)
- J. Site Walls and Trillis Columns - Stone Veneer/Plaster (colon plaster to match building)
- K. Mechanical Unit - Screened by Parapet
- L. Concealed Downspout - Exposed at Roof for gutter and wall connection. (Galv. Finish)

- Exterior Light Fixtures

Keyplan



Santa Rosa Academy
Riverside County, California

Building G - Elevations
P.U.P. #907
Brad Burke Architects
A8.1c



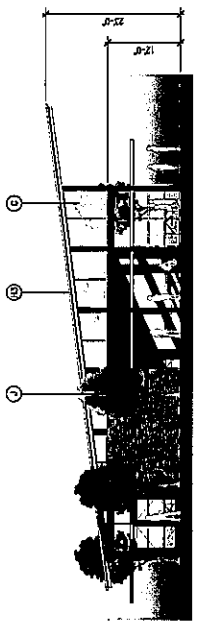
Santa Rosa Academy
Riverside County, California

PLP Schematic - 11/27/18
PLP Schematic - 11/27/18
PLP Schematic - 11/27/18
PLP Schematic - 11/27/18
PLP Schematic - 11/27/18
PLP Schematic - 11/27/18
PLP Schematic - 11/27/18
PLP Schematic - 11/27/18

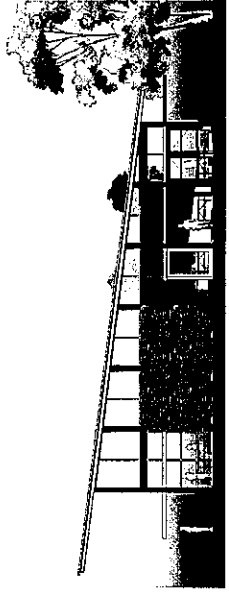
Pavilion - Elevations
P.L.P. #9907
Brad Burke Architects
A9.1c



East Elevation
SCALE: 1/8" = 1'-0"



South Elevation
SCALE: 1/8" = 1'-0"



North Elevation
SCALE: 1/8" = 1'-0"



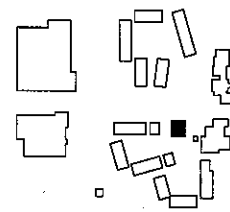
West Elevation
SCALE: 1/8" = 1'-0"

Material

- A. Typical Walls and Columns - Cement Plaster (Light Mission to Santa Barbara finish - Integral Colon White)
- B. Concrete Walls - Concrete Till-up (Colon White)
- C. Windows - Metal Serefront (Finish: Dark Anodized)
- D. Exposed Framing - Douglas Fir (Finish: Medium Brown Stain)
- E. Exposed Trim - Douglas Fir (Finish: Medium Brown Stain)
- F. Guardsails/Handrails - Ornamental Ironwork (finish galvanized)
- G. Exterior Stairs - Precast Concrete
- Roofing
 - H1. Built-up at flat
 - H2. Clay tile (Mission Red)
 - H3. Standing seam metal (Color: Anodized)
- J. Site Walls and Trellis Columns - Stone Veneer/Plaster (colon plaster to match building)
- K. Mechanical Unit - Screened by Parapet
- L. Concealed Downspout - Exposed at Roof for gutter and wall connection. (Galv. Finish)

Exterior Light Fixtures

Keyplan





Santa Rosa Academy
Riverside County, California

ALL Schematic - 11/27/10	
ALL Schematic - 11/27/10	
ALL Schematic - 11/27/10	
ALL Schematic - 11/27/10	
ALL Schematic - 11/27/10	

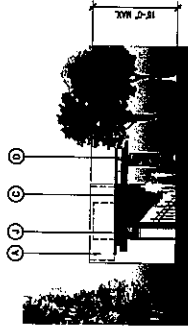
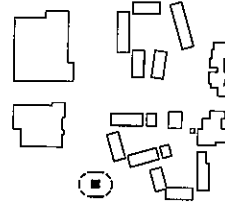
Security Off. - Elev.
S.U.F. #907
Brad Butler Architect
A10.1c

Material

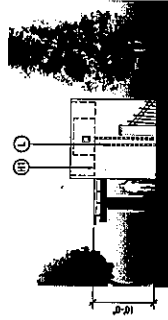
- A. Tylated Walls and Columns - Cement Plaster (Light Mission to Santa Barbara finish - Integral Colon White)
- B. Concrete Walls - Concrete Tilt-up (Colon White)
- C. Windows - Metal Storefront (Finish Dark Anodized)
- D. Exposed Framing - Douglas Fir. (Finish Medium Brown Stain)
- E. Exposed Trim - Douglas Fir. (Finish Medium Brown Stain)
- F. Guards/Handrails - Ornamental Ironwork (Finish galvanized)
- G. Exterior Stairs - Precast Concrete
- H. Roofing
 - H1. Built-up at flat
 - H2. Clay Tile (Mission Red)
 - H3. Standing seam metal (Colon Anodized)
- J. Site Walls and Trellis Columns - Stone Veneer/Plaster (colon plaster to match building)
- K. Mechanical Unit - Screened by Parapet
- L. Concealed Downspout - Exposed at Roof for gutter and wall connection. (Galv. finish)

Exterior Light Fixtures

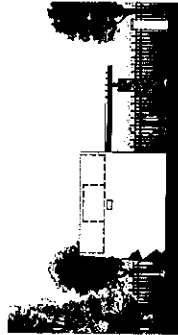
Keyplan



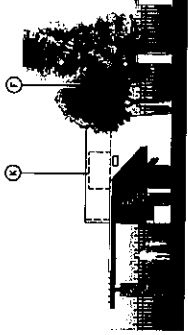
East Elevation
Scale 1/8" = 1'-0"



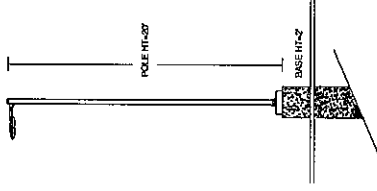
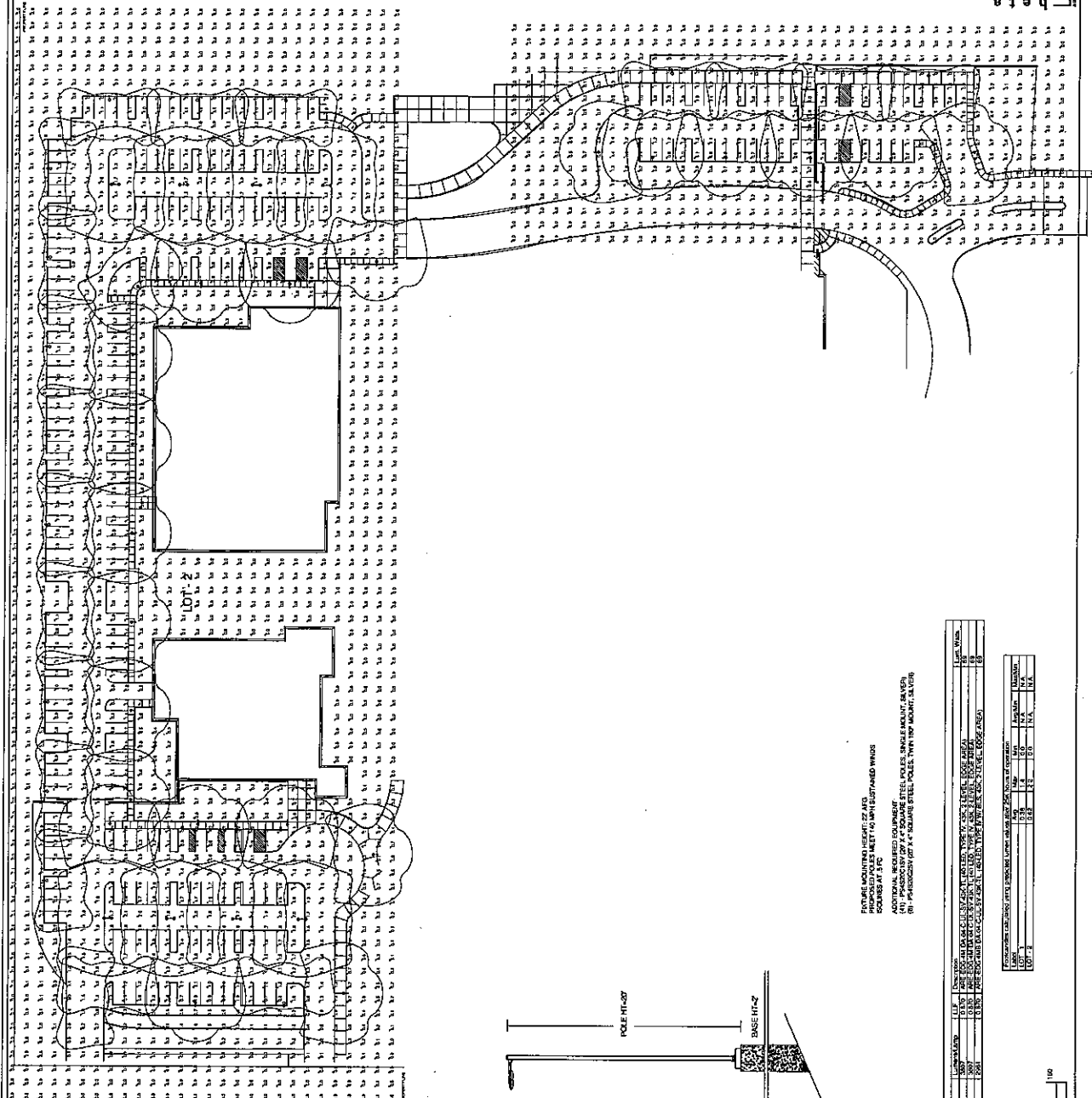
West Elevation
Scale 1/8" = 1'-0"



South Elevation
Scale 1/8" = 1'-0"



North Elevation
Scale 1/8" = 1'-0"



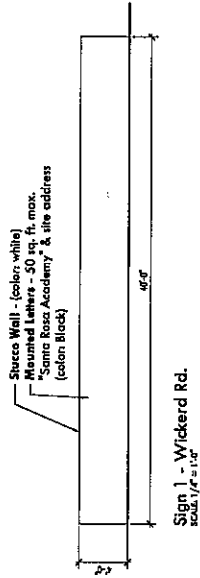
POLE MOUNTING HEIGHT 22' AND
PROPOSED POLES MEET ALL MINIMUM STANDARDS
FOR LIGHTING
(A) - PROPOSED 22' 4" SQUARE STEEL POLES, SINGLE MOUNT, 3000W
(B) - PROPOSED 22' 4" SQUARE STEEL POLES, TWIN TOP MOUNT, 3000W

Item	Quantity	Unit	Notes
1. POLES	10	EA	22' 4" SQUARE STEEL POLES, SINGLE MOUNT, 3000W
2. ARMS	10	EA	22' 4" SQUARE STEEL POLES, TWIN TOP MOUNT, 3000W
3. LUMINAIRES	20	EA	3000W, 150LM, 150LM, 150LM
4. WIRING	100	FT	12/2, 12/3, 12/4, 12/5, 12/6, 12/7, 12/8, 12/9, 12/10, 12/11, 12/12, 12/13, 12/14, 12/15, 12/16, 12/17, 12/18, 12/19, 12/20, 12/21, 12/22, 12/23, 12/24, 12/25, 12/26, 12/27, 12/28, 12/29, 12/30, 12/31, 12/32, 12/33, 12/34, 12/35, 12/36, 12/37, 12/38, 12/39, 12/40, 12/41, 12/42, 12/43, 12/44, 12/45, 12/46, 12/47, 12/48, 12/49, 12/50, 12/51, 12/52, 12/53, 12/54, 12/55, 12/56, 12/57, 12/58, 12/59, 12/60, 12/61, 12/62, 12/63, 12/64, 12/65, 12/66, 12/67, 12/68, 12/69, 12/70, 12/71, 12/72, 12/73, 12/74, 12/75, 12/76, 12/77, 12/78, 12/79, 12/80, 12/81, 12/82, 12/83, 12/84, 12/85, 12/86, 12/87, 12/88, 12/89, 12/90, 12/91, 12/92, 12/93, 12/94, 12/95, 12/96, 12/97, 12/98, 12/99, 12/100

Item	Quantity	Unit	Notes
1. POLES	10	EA	22' 4" SQUARE STEEL POLES, SINGLE MOUNT, 3000W
2. ARMS	10	EA	22' 4" SQUARE STEEL POLES, TWIN TOP MOUNT, 3000W
3. LUMINAIRES	20	EA	3000W, 150LM, 150LM, 150LM
4. WIRING	100	FT	12/2, 12/3, 12/4, 12/5, 12/6, 12/7, 12/8, 12/9, 12/10, 12/11, 12/12, 12/13, 12/14, 12/15, 12/16, 12/17, 12/18, 12/19, 12/20, 12/21, 12/22, 12/23, 12/24, 12/25, 12/26, 12/27, 12/28, 12/29, 12/30, 12/31, 12/32, 12/33, 12/34, 12/35, 12/36, 12/37, 12/38, 12/39, 12/40, 12/41, 12/42, 12/43, 12/44, 12/45, 12/46, 12/47, 12/48, 12/49, 12/50, 12/51, 12/52, 12/53, 12/54, 12/55, 12/56, 12/57, 12/58, 12/59, 12/60, 12/61, 12/62, 12/63, 12/64, 12/65, 12/66, 12/67, 12/68, 12/69, 12/70, 12/71, 12/72, 12/73, 12/74, 12/75, 12/76, 12/77, 12/78, 12/79, 12/80, 12/81, 12/82, 12/83, 12/84, 12/85, 12/86, 12/87, 12/88, 12/89, 12/90, 12/91, 12/92, 12/93, 12/94, 12/95, 12/96, 12/97, 12/98, 12/99, 12/100

100'

Notes: Sign Program shall adhere to
Ordinance 348 Sec. 19.4

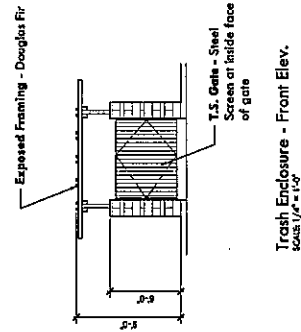
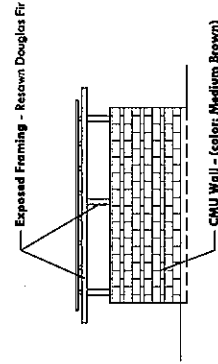
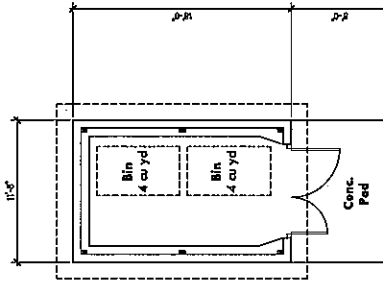
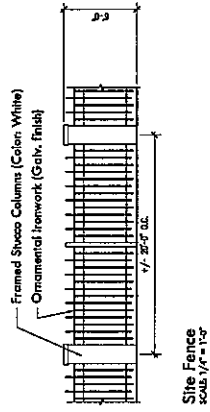


Signage
P.U.P. #007
Bred Burke Architect
A1.1

PLS. Schedule: 1/12/10
PLS. Re-Schedule: 1/22/10
PLS. Re-Schedule: 1/27/11

Santa Rosa Academy
Riverside County, California

CASE: PUP00907, AMD. #2
EXHIBIT: S
DATED: 2/03/11
PLANNER: C. HINOJOSA



PLAT. Submittal - 1/17/10
PLAT. Submittal - 1/17/10
PLAT. Submittal - 1/17/10
PLAT. Submittal - 1/17/10
PLAT. Submittal - 1/17/10
PLAT. Submittal - 1/17/10
PLAT. Submittal - 1/17/10
PLAT. Submittal - 1/17/10
PLAT. Submittal - 1/17/10
PLAT. Submittal - 1/17/10

COUNTY OF RIVERSIDE

ENVIRONMENTAL ASSESSMENT FORM: INITIAL STUDY

Environmental Assessment (E.A.) Number: 42398
Project Case Type (s) and Number(s): Public Use Permit No. 907 (Fast Track No. 2010-07)
Lead Agency Name: County of Riverside Planning Department
Address: P.O. Box 1409, Riverside, CA 92502-1409
Contact Person: Christian Hinojosa, Project Planner
Telephone Number: (951) 955-0972
Applicant's Name: Santa Rosa Academy
Applicant's Address: 28237 La Piedra Road; Menifee, CA 92584
Engineer's Name: Brad Burke Architect
Engineer's Address: 1120 Simpson Way; Escondido, CA 92029

I. PROJECT INFORMATION

A. Project Description:

The Public Use Permit (Fast Track No. 2010-07) proposes a 109,125 square foot public charter school, Santa Rosa Academy, consisting of multiple buildings for up to 1,500 students for grades K-12 with 237 parking spaces on a 25 gross acre site to be constructed in two (2) phases. Phase I will include the construction of approximately 67,065 square feet of building area consisting of 55 classrooms, administrative offices, a library / technology center, a student pavilion, a security office and 237 parking spaces. Phase II will include the construction of approximately 42,060 square feet of building area consisting of a theater, a gymnasium, and baseball and soccer fields.

B. Type of Project: Site Specific ☒; Countywide ☐; Community ☐; Policy ☐.

C. Total Project Area: 25 Gross

Residential Acres: 25 Gross	Lots: 2	Units: N/A	Projected No. of Residents: N/A
Commercial Acres: N/A	Lots: N/A	Sq. Ft. of Bldg. Area: N/A	Est. No. of Employees: N/A
Industrial Acres: N/A	Lots: N/A	Sq. Ft. of Bldg. Area: N/A	Est. No. of Employees: N/A
Landscape Area: 56%		Sq. Ft. of LS. Area: 604,613	

D. Assessor's Parcel Nos: 466-210-031 and 466-210-032

E. Street References: northerly of Wickerd Road, easterly of El Centro Lane and westerly of La Ventana Lane

F. Section, Township & Range Description or reference/attach a Legal Description:
Sections 18, Township 6 South, Range 2 West

G. Brief description of the existing environmental setting of the project site and its surroundings: The project site is located in the Sun City / Menifee Valley Area Plan of the Riverside County General Plan. Urban development projects have been approved or are currently being processed through the County of Riverside to the south and west. Within the vicinity of the proposed project there is vacant land to the north, south and east and single family residences to the west. The project site is currently vacant. The topography of the project site is generally level with an elevation of approximately 1460 feet above mean sea level over the majority of the property.

II. APPLICABLE GENERAL PLAN AND ZONING REGULATIONS

A. General Plan Elements/Policies:

1. **Land Use:** The proposed project meets the requirements of the Rural Community: Estate Density Residential (RC: EDR) (2 Acre Minimum) General Plan Land Use Designation. The proposed project meets all other applicable land use policies.
2. **Circulation:** The proposed project has been reviewed for conformance with County Ordinance 461 by the Riverside County Transportation Department. Adequate circulation facilities exist and are proposed to serve the proposed project. The proposed project meets with all applicable circulation policies of the General Plan.
3. **Multipurpose Open Space:** No natural open space land was required to be preserved within the boundaries of this project. The proposed project meets with all other applicable Multipurpose Open Space Element policies.
4. **Safety:** The proposed project is within an area that has a low susceptibility to liquefaction. The proposed project is not located within any other special hazard zone (including fault zone, high fire hazard area, dam inundation zone, etc.). The proposed project has allowed for sufficient provision of emergency response services to the future users of this project through the project design and payment of development impact fees. The proposed project meets with all other applicable Safety Element policies.
5. **Noise:** The proposed project will need to comply with the recommendations by the Department of Public Health, Office of Industrial Hygiene based upon the submitted diagrams, surrounding zoning and proposed road between sensitive receivers on the west of the proposed school site. The proposed project meets all other applicable Noise Element policies.
6. **Housing:** The Public Use Permit (Fast Track No. 2010-07) proposes a 109,125 square foot public charter school with Residential Agricultural - 5 Acre Minimum (R-A-5) zoning. The proposed project could potentially induce population growth in the area either directly (e.g., by proposing new homes and businesses) or indirectly (e.g., through extension of roads or other infrastructure). The proposed project meets all other applicable Housing Element policies.
7. **Air Quality:** The proposed project has been conditioned to control any fugitive dust during grading and construction activities. The proposed project meets all other applicable Air Quality Element policies.

B. General Plan Area Plan(s): Sun City / Menifee Valley

C. Foundation Component(s): Rural Community

D. Land Use Designation(s): Estate Density Residential (EDR) (2 Acre Minimum)

E. Overlay(s), if any: N/A

F. Policy Area(s), if any: Estate Density Residential & Rural Residential and Highway 79

G. Adjacent and Surrounding:

1. **Area Plan(s):** Sun City / Menifee Valley

2. **Foundation Component(s):**

To the North, East and West: Rural Community

To the South: Rural

3. **Land Use Designation(s):**

To the North, East and West: Estate Density Residential (EDR) (2 Acre Minimum)

To the South: Rural Residential (RR) (5 Acre Minimum)

4. **Overlay(s) and Policy Area(s):**

To the North, South, East and West: Estate Density Residential & Rural Residential Policy Area and Highway 79 Policy Area

H. Adopted Specific Plan Information

1. **Name and Number of Specific Plan, if any:** N/A

2. **Specific Plan Planning Area, and Policies, if any:** N/A

I. **Existing Zoning:** Residential Agricultural - 5 Acre Minimum (R-A-5)

J. **Proposed Zoning, if any:** N/A

K. **Adjacent and Surrounding Zoning:**

To the North and East: Residential Agricultural - 5 Acre Minimum (R-A-5)

To the South and West: Light Agriculture - 5 Acre Minimum (A-1-5)

III. ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED

The environmental factors checked below (x) would be potentially affected by this project, involving at least one impact that is a "Potentially Significant Impact" or "Less than Significant with Mitigation Incorporated" as indicated by the checklist on the following pages.

- | | | |
|--|---|---|
| <input type="checkbox"/> Aesthetics | <input type="checkbox"/> Hazards & Hazardous Materials | <input type="checkbox"/> Recreation |
| <input type="checkbox"/> Agriculture & Forest Resources | <input checked="" type="checkbox"/> Hydrology/Water Quality | <input checked="" type="checkbox"/> Transportation/Traffic |
| <input type="checkbox"/> Air Quality | <input type="checkbox"/> Land Use/Planning | <input type="checkbox"/> Utilities/Service Systems |
| <input checked="" type="checkbox"/> Biological Resources | <input type="checkbox"/> Mineral Resources | <input type="checkbox"/> Other |
| <input checked="" type="checkbox"/> Cultural Resources | <input type="checkbox"/> Noise | <input type="checkbox"/> Other |
| <input type="checkbox"/> Geology/Soils | <input type="checkbox"/> Population/Housing | <input type="checkbox"/> Mandatory Findings of Significance |
| <input checked="" type="checkbox"/> Greenhouse Gas Emissions | <input type="checkbox"/> Public Services | |

IV. DETERMINATION

On the basis of this initial evaluation:

A PREVIOUS ENVIRONMENTAL IMPACT REPORT/NEGATIVE DECLARATION WAS NOT PREPARED

☐ I find that the proposed project **COULD NOT** have a significant effect on the environment, and a **NEGATIVE DECLARATION** will be prepared.

☒ I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because revisions in the project, described in this document, have been made or agreed to by the project proponent. **A MITIGATED NEGATIVE DECLARATION**

will be prepared.

☐ I find that the proposed project MAY have a significant effect on the environment, and an **ENVIRONMENTAL IMPACT REPORT** is required.

A PREVIOUS ENVIRONMENTAL IMPACT REPORT/NEGATIVE DECLARATION WAS PREPARED

☐ I find that although the proposed project could have a significant effect on the environment, **NO NEW ENVIRONMENTAL DOCUMENTATION IS REQUIRED** because (a) all potentially significant effects of the proposed project have been adequately analyzed in an earlier EIR or Negative Declaration pursuant to applicable legal standards, (b) all potentially significant effects of the proposed project have been avoided or mitigated pursuant to that earlier EIR or Negative Declaration, (c) the proposed project will not result in any new significant environmental effects not identified in the earlier EIR or Negative Declaration, (d) the proposed project will not substantially increase the severity of the environmental effects identified in the earlier EIR or Negative Declaration, (e) no considerably different mitigation measures have been identified and (f) no mitigation measures found infeasible have become feasible.

☐ I find that although all potentially significant effects have been adequately analyzed in an earlier EIR or Negative Declaration pursuant to applicable legal standards, some changes or additions are necessary but none of the conditions described in California Code of Regulations, Section 15162 exist. An **ADDENDUM** to a previously-certified EIR or Negative Declaration has been prepared and will be considered by the approving body or bodies.

☐ I find that at least one of the conditions described in California Code of Regulations, Section 15162 exist, but I further find that only minor additions or changes are necessary to make the previous EIR adequately apply to the project in the changed situation; therefore a **SUPPLEMENT TO THE ENVIRONMENTAL IMPACT REPORT** is required that need only contain the information necessary to make the previous EIR adequate for the project as revised.

☐ I find that at least one of the following conditions described in California Code of Regulations, Section 15162, exist and a **SUBSEQUENT ENVIRONMENTAL IMPACT REPORT** is required: (1) Substantial changes are proposed in the project which will require major revisions of the previous EIR or negative declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; (2) Substantial changes have occurred with respect to the circumstances under which the project is undertaken which will require major revisions of the previous EIR or negative declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; or (3) New information of substantial importance, which was not known and could not have been known with the exercise of reasonable diligence at the time the previous EIR was certified as complete or the negative declaration was adopted, shows any the following: (A) The project will have one or more significant effects not discussed in the previous EIR or negative declaration; (B) Significant effects previously examined will be substantially more severe than shown in the previous EIR or negative declaration; (C) Mitigation measures or alternatives previously found not to be feasible would in fact be feasible, and would substantially reduce one or more significant effects of the project, but the project proponents decline to adopt the mitigation measures or alternatives; or, (D) Mitigation measures or alternatives which are considerably different from those analyzed in the previous EIR or negative declaration would substantially reduce one or more significant effects of the project on the environment, but the project proponents decline to adopt the mitigation measures or alternatives.

Signature

March 14, 2011

Date

Christina Hinojosa, Project Planner

For Carolyn Syms Luna, Planning Director

Printed Name

V. ENVIRONMENTAL ISSUES ASSESSMENT

In accordance with the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000-21178.1), this Initial Study has been prepared to analyze the proposed project to determine any potential significant impacts upon the environment that would result from construction and implementation of the project. In accordance with California Code of Regulations, Section 15063, this Initial Study is a preliminary analysis prepared by the Lead Agency, the County of Riverside, in consultation with other jurisdictional agencies, to determine whether a Negative Declaration, Mitigated Negative Declaration, or an Environmental Impact Report is required for the proposed project. The purpose of this Initial Study is to inform the decision-makers, affected agencies, and the public of potential environmental impacts associated with the implementation of the proposed project.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
AESTHETICS Would the project				
1. Scenic Resources	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a) Have a substantial effect upon a scenic highway corridor within which it is located?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings and unique or landmark features; obstruct any prominent scenic vista or view open to the public; or result in the creation of an aesthetically offensive site open to public view?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure C-7 "Scenic Highways"

Findings of Fact:

a) The Riverside County General Plan indicates that the project site is not located within a designated scenic corridor. Development of the project site will not affect any scenic resources, as adjacent lands have been developed with uses compatible with the proposed project.

b) The proposed project will not substantially damage scenic resources, including, but not limited to, trees, rock outcroppings and unique or landmark features, or obstruct a prominent scenic vista or view open to the public, as these features do not exist on the project site. Additionally, the proposed project will not result in the creation of an aesthetically offensive site open to public view.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

2. Mt. Palomar Observatory

a) Interfere with the nighttime use of the Mt. Palomar Observatory, as protected through Riverside County Ordinance No. 655?

☐ ☐ ☒ ☐

Source: GIS database, Ord. No. 655 (Regulating Light Pollution)

Findings of Fact:

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------------	--	---------------------------------------	--------------

a) According to the GIS Database, the project site is located approximately 25.25 miles from the Mt. Palomar Observatory which is within the designated Zone B Special Lighting Area that surrounds the Mt. Palomar Observatory. Ordinance No. 655 contains approved materials and methods of installation, definition, general requirements, requirements for lamp source and shielding, prohibition and exceptions. With incorporation of project lighting requirements of the Riverside County Ordinance No. 655 into the proposed project, this impact will be reduced to a less than significant impact. (COA: 10.PLANNING.32). This is a standard condition of approval and therefore is not considered mitigation pursuant to CEQA.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

3. Other Lighting Issues

a) Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
--------------------------	--------------------------	-------------------------------------	--------------------------

b) Expose residential property to unacceptable light levels?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
--------------------------	--------------------------	-------------------------------------	--------------------------

Source: On-site Inspection, Project Application Materials

Findings of Fact:

a) The proposed project will result in a new source of light and glare from the addition of security lighting, facility lighting, as well as vehicular lighting from cars traveling on adjacent roadways.

Riverside County Ordinance No. 655 is applicable to the project site. Pursuant of this Ordinance, the project's onsite lighting will be directed downward or shielded and hooded to avoid shining onto adjacent properties and streets. Furthermore, the amount of lighting will be similar to residential areas surrounding the site. Conditions of Approval 10.PLANNING.07 and 80.PLANNING.20 are not considered unique mitigation measures pursuant to CEQA. No additional mitigation is identified or required.

b) The proposed project is not expected to create unacceptable light levels as it has been conditioned for conformance with Ordinance No. 655. Therefore, the proposed project would not create a new source of substantial light or glare which would adversely affect day or nighttime views in the area or expose residential property to unacceptable light levels. Impacts would be less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

AGRICULTURE & FOREST RESOURCES Would the project

4. Agriculture

a) Convert Prime Farmland, Unique Farmland, or

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
--------------------------	--------------------------	--------------------------	-------------------------------------

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
Farmland of Statewide Importance (Farmland) as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?				
b) Conflict with existing agricultural zoning, agricultural use or with land subject to a Williamson Act contract or land within a Riverside County Agricultural Preserve?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Cause development of non-agricultural uses within 300 feet of agriculturally zoned property (Ordinance No. 625 "Right-to-Farm")?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure OS-2 "Agricultural Resources," GIS database, and Project Application Materials.

Findings of Fact:

a) The project site will not convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland) as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use.

b) The project site will not conflict with existing agricultural zoning, agricultural use or with land subject to a Williamson Act contract or land within a Riverside County Agricultural Preserve.

c) The project site is and all properties in its vicinity are agriculturally zoned. The proposed project will therefore cause development of a non-agricultural use within 300' of an agricultural zoned property (Ordinance No. 625 "Right-to-Farm"). However, the proposed project is consistent with the Residential Agricultural - 5 Acre Minimum (R-A-5) zone. Therefore, any potential agricultural impact is considered less than significant.

d) The project site will not involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

5. Forest

a) Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code section 12220(g)), timberland (as defined by Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Govt. Code section 51104(g))?

b) Result in the loss of forest land or conversion of forest land to non-forest use?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
c) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure OS-3 "Parks, Forests and Recreation Areas," and Project Application Materials.

Findings of Fact:

a) & b) The proposed project will not conflict with or cause rezoning of any forest land or timberland zoned areas. Nor is the proposed project in a forest area.

c) The project will not involve any other changes to the environment which could result in conversion of forest land to non-forest use.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

AIR QUALITY Would the project				
6. Air Quality Impacts	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a) Conflict with or obstruct implementation of the applicable air quality plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Violate any air quality standard or contribute substantially to an existing or projected air quality violation?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Expose sensitive receptors which are located within 1 mile of the project site to project substantial point source emissions?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Involve the construction of a sensitive receptor located within one mile of an existing substantial point source emitter?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Create objectionable odors affecting a substantial number of people?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: SCAQMD CEQA Air Quality Handbook Table 6-2; AQMD Air Quality Management Plan (2007); County General Plan Air Quality Element; Project Application Materials, Global Climate Change Evaluation prepared by Scientific Resources Associated, dated January 14, 2011

Findings of Fact:

a) The South Coast Air Quality Management District (SCAQMD) is responsible for developing a regional air quality management plan to insure compliance with state and federal air quality standards. The SCAQMD has adopted the 2003 Air Quality Management Plan (AQMP). The 2003 AQMP is

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------------	--	---------------------------------------	--------------

based on socioeconomic forecasts (including population estimates) provided by the Southern California Association of Governments (SCAG). The County General Plan is consistent with SCAG's Regional Growth Management Plan and SCAQMD's Air Quality Management Plan. This project is consistent with the General Plan land use designations and population estimates.

b) The SCAQMD permit is evidence that the point source complies with all SCAQMD rules and regulations. Air quality impacts would occur during site preparation, including grading and equipment exhaust. Major sources of fugitive dust are a result of grading and site preparation during construction by vehicles and equipment and generated by construction vehicles and equipment traveling over exposed surfaces, as well as by soil disturbances from grading and filling. These short-term construction related impacts will be reduced below a level of significance by dust control measures implemented during grading. (COA: 10.BS GRADE.08) This is a standard condition of approval and is not considered mitigation pursuant to CEQA.

c) The project will not result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard.

d) A sensitive receptor is a person in the population who is particularly susceptible to health effects due to exposure to an air contaminant than is the population at large. Sensitive receptors (and the facilities that house them) in proximity to localized CO sources, toxic air contaminants or odors are of particular concern. High levels of CO are associated with major traffic sources, such as freeways and major intersections, and toxic air contaminants are normally associated with manufacturing and commercial operations. Land uses considered to be sensitive receptors include long-term health care facilities, rehabilitation centers, convalescent centers, retirement homes, residences, schools, playgrounds, child care centers, and athletic facilities. Surrounding land uses include vacant land and single family residences, which are considered a sensitive receptor; however, the project is not expected to generate substantial point source emissions. The long-term project impacts in the daily allowable emissions for the project's operational phase are considered to be less than significant.

e) The project will not create sensitive receptors located within one mile of an existing substantial point source emitter.

f) The project will not create objectionable odors affecting a substantial number of people.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

BIOLOGICAL RESOURCES Would the project

7. Wildlife & Vegetation

a) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Conservation Community Plan, or other approved local, regional, or state conservation plan?

☐ ☐ ☐ ☒

b) Have a substantial adverse effect, either directly or through habitat modifications, on any endangered, or threatened species, as listed in Title 14 of the California

☐ ☐ ☐ ☒

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
Code of Regulations (Sections 670.2 or 670.5) or in Title 50, Code of Federal Regulations (Sections 17.11 or 17.12)?				
c) Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U. S. Wildlife Service?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident migratory wildlife corridors, or impede the use of native wildlife nursery sites?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations or by the California Department of Fish and Game or U. S. Fish and Wildlife Service?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g) Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: GIS Database, WRCMSHCP, On-site Inspection, PDB05689 Biological Assessment(s) for the Burrowing Owl, Munz's Onion San Diego Ambrosia, Many-Stemmed Dudleya, Spreading Navarretia, California Orcutt Grass and Wright's Trichocoronis and Focused Surveys for the Burrowing Owl prepared by Kidd Biological Inc., dated August 15 2010

Findings of Fact:

- a) The proposed project will not conflict with the provisions of an adopted Habitat Conservation Plan, Natural Conservation Community Plan, or other approved local, regional, or state conservation plan.
- b) The proposed project will not conflict with any endangered, or threatened species, as listed in Title 14 of the California Code of Regulations (Sections 670.2 or 670.5) or in Title 50, Code of Federal Regulations (Sections 17.11 or 17.12) as a result of mitigation.
- c) Burrowing Owl Mitigation and Monitoring Plan PDB05689 and observations by County biologist Jared Bond confirm that burrowing owls are located within the El Centro Lane right-of-way and thus a Burrowing Owl Mitigation and Monitoring Plan is required prior to issuance of a grading permit. (COA: 60.EPD.02)
- d) The proposed project will not interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident migratory wildlife corridors, or impede the use of native wildlife nursery sites.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------------	--	---------------------------------------	--------------

e) The proposed project will not have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations or by the California Department of Fish and Game or U. S. Fish and Wildlife Service.

f) The proposed project will not have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means.

g) The proposed project will not conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance.

Mitigation: Pursuant to Objective 6 and Objective 7 of the Species Account for the Burrowing Owl included in the Western Riverside County Multiple Species Habitat Conservation Plan, within 30 days prior to the issuance of a grading permit, a pre-construction presence/absence survey for the burrowing owl shall be conducted by a qualified biologist and the results of this presence/absence survey shall be provided in writing to the Environmental Programs Division. If the grading permit is not obtained within 30 days of the survey a new survey shall be required. (COA: 60.EPD.01) Burrowing Owl Mitigation Plan PDB05689 must be prepared by a qualified biologist currently holding a MOU with the County and submitted to the Environmental Programs Division of the Planning Department for review and approval. The mitigation plan shall include discussion of how the project construction will avoid the areas occupied by burrowing owls and measures to insure their protection during all phases of construction. The mitigation plan shall also include the following: Banding of owls observed utilizing the project site (including owls located within the 150m buffer zone) Fencing/Screening shall be place in an appropriate manner such that it provides visual and noise buffers between areas occupied by burrowing owls and the grading/construction area. Burrows located within the project site that are suitable for burrowing owl occupation but are not currently occupied must be collapsed by a qualified biologist once the biologist has confirmed that the burrows are not currently utilizing the burrow. Burrows that are collapsed shall be mitigated at a 1:1 ratio using an accepted artificial burrowing owl box design. A qualified biological monitor shall be on the project site during all project related construction activates during the breeding season (March 1- August 31). A qualified biological monitor shall be on the project site during all project related activities that have the potential to encroach into the avoidance buffers as outlined in the Burrowing Owl Mitigation Guidelines (75 meter buffer for Feb 1- Aug 31) and (50 meter buffer for Sept 1- Jan 31). The mitigation and monitoring plan may include additional measures as deemed acceptable between the project biologist and the Environmental Programs Division. The intent of the Mitigation and Monitoring Plan is to insure that burrowing owls are not directly impacted during construction activities, this includes any potential impacts to owls potential nesting in proximity (150 meters) to the project site. (COA: 60.EPD.02) Documentation indicating that the Burrowing Owl Mitigation and Monitoring Plan approved by the Environmental Programs Division were followed during all phases of grading and that a qualified biological monitor was on site as directed through the mitigation plan. Documentation must be to the satisfaction of the Environmental Programs Division. (COA: 70.EPD.01, 80.EPD.01)

Monitoring: Monitoring shall be conducted by the Building and Safety and Environmental Programs Departments through the permitting process.

CULTURAL RESOURCES Would the project

8. Historic Resources

a) Alter or destroy an historic site?

☐
☐
☐
☒

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
b) Cause a substantial adverse change in the significance of a historical resource as defined in California Code of Regulations, Section 15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan Figure OS-7, Project Application Materials, PDA04686 Archaeological Report prepared by Brian F. Smith and Associates, dated March 1, 2011

Findings of Fact:

a) A records search conducted at the Eastern Information Center (EIC) indicated that no historical resources existed on the project site. Therefore, the proposed project will not alter or destroy an historic site.

b) Development of the proposed project will have a less than significant impact on a historical resource as defined in California Code of Regulations, Section 15064.5.

If during ground disturbance activities, unique cultural resources are discovered that were not assessed by the environmental assessment conducted prior to project approval, the following procedures shall be followed. Unique cultural resources are defined, for this condition, as being multiple artifacts in close association with each other, but may include fewer artifacts if the area of the find is determined to be of significance due to its sacred or cultural importance.

1. All ground disturbance activities within 100 feet of the discovered cultural resources shall be halted until a meeting is convened between the developer, the archaeologist, the Native American tribal representative and the Planning Director to discuss the significance of the find.

2. At the meeting, the significance of the discoveries shall be discussed and after consultation with the Native American tribal representative and the archaeologist, a decision shall be made, with the concurrence of the Planning Director, as to the appropriate mitigation. Conditions of Approval 10.PLANNING.01 and 10.PLANNING.02 are not considered unique mitigation measures pursuant to CEQA. No additional mitigation is identified or required.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

9. Archaeological Resources	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
a) Alter or destroy an archaeological site.				
b) Cause a substantial adverse change in the significance of an archaeological resource pursuant to California Code of Regulations, Section 15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Disturb any human remains, including those interred outside of formal cemeteries?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Restrict existing religious or sacred uses within the potential impact area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure OS-6 "Relative Archaeological Sensitivity of Diverse Landscapes," Project Application Materials, PDA04686 Archaeological Report prepared by Brian F. Smith and Associates, dated March 1, 2011

Findings of Fact:

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------------	--	---------------------------------------	--------------

a) As a result of information contained within PDA04686 Archaeological Report prepared by Brian F. Smith and Associates, dated March 1, 2011, it has been determined that archaeological monitoring of earth-disturbing activities is required and that tribal monitoring is appropriate due to the numerous documented Native American archaeological sites in close proximity to the project site. Therefore, impacts are considered less than significant with mitigation.

b) This project will have a less than significant impact change in the significance of an archaeological resource pursuant to California Code of Regulations, Section 15064.5.

c) This project will have less than significant impact on human remains, including those interred outside of formal cemeteries. However, as a precaution, this project has been conditioned to halt construction and immediately contact the State Health and Safety Code Section 7050.5 if human remains are found. If remains are determined to be prehistoric, the coroner shall notify the Native American Heritage Commission, which will determine and notify the appropriate Native American Tribe who is the most likely descendant. The descendant shall inspect the site of discovery and make a recommendation as to the appropriate mitigation. After the recommendation has been made, the property owner, Native American Tribe representative, and a County representative shall meet to determine the appropriate mitigation measures and corrective actions to be implemented. Condition of Approval 10.PLANNING.01 is not considered a unique mitigation measure pursuant to CEQA. No additional mitigation is identified or required.

d) This project will not restrict existing or religious or sacred uses within the potential impact area.

Mitigation: Prior to the issuance of grading permits, the developer/permit holder shall retain and enter into a monitoring and mitigation service contract with a qualified Archaeologist for services. This professional shall be known as the "Project Archaeologist." The Project Archeologist shall be included in the pre-grade meetings to provide cultural/historical sensitivity training including the establishment of set guidelines for ground disturbance in sensitive areas with the grading contractors and any required tribal or special interest monitors. The Project Archaeologist shall manage and oversee monitoring for all initial ground disturbing activities and excavation of each portion of the project site including clearing, grubbing, tree removals, grading, trenching, stockpiling of materials, rock crushing, structure demolition and etc. The Project Monitor shall have the authority to temporarily divert, redirect or halt the ground disturbance activities to allow identification, evaluation, and potential recovery of cultural resources in coordination with any tribal or special interest monitors. The developer/permit holder shall submit a fully executed copy of the contract to the Riverside County Planning Department to ensure compliance with this condition of approval. Upon verification, the Planning Department shall clear this condition. (COA: 60.PLANNING.02) Prior to the issuance of grading permits, the developer/permit holder shall enter into an agreement and retain a monitor designated by the Pechanga Band of Luiseno Mission Indians. This group shall be known as the Tribal Monitor for this project. The agreement shall address the treatment and ultimate disposition of cultural resources which may include repatriation and/or curation in a Riverside County approved curation facility.

The Tribal Monitor shall be allowed on-site during all initial ground disturbing activities and excavation of each portion of the project site including clearing, grubbing, tree removals, grading, trenching, stockpiling of materials, rock crushing, structure demolition and etc. Tribal monitoring is not required for precise grading or other construction phases not related to mass or rough grading. The Tribal Monitor shall have the limited authority to temporarily divert, redirect or halt the ground disturbance activities to allow identification, evaluation, and potential recovery of cultural resources in coordination

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------------	--	---------------------------------------	--------------

with the Project Archaeologist. The developer/permit holder shall submit a fully executed copy of the agreement to the Riverside County Planning Department to ensure compliance with this condition of approval. Upon verification, the Planning Department shall clear this condition. (COA: 60.PLANNING.04) Prior to final inspection of the first building permit, the developer/permit holder shall prompt the Cultural Resources Professional to submit two (2) copies of a Phase IV Cultural Resources Monitoring Report that complies with the Riverside County Planning Department's requirements for such reports. The report shall include evidence of the required cultural/historical sensitivity training for the construction staff held during the pre-grade meeting. The Planning Department shall review the report to determine adequate mitigation compliance. Provided the report is adequate, the Planning Department shall clear this condition. (COA: 90.PLANNING.03)

Monitoring: Monitoring shall be conducted by Building and Safety Department through the permitting process.

10. Paleontological Resources

☐
☒
☐
☐

a) Directly or indirectly destroy a unique paleontological resource, or site, or unique geologic feature?

Source: Riverside County General Plan Figure OS-8 "Paleontological Sensitivity"

Findings of Fact:

a) According to the Riverside County General Plan, the project site is located within an area of High Paleontological sensitivity (High B). Therefore, this project will have a less than significant impact with mitigation on potential paleontological resources.

Mitigation: PRIOR TO ISSUANCE OF GRADING PERMITS: 1.The applicant shall retain a qualified paleontologist approved by the County of Riverside to create and implement a project-specific plan for monitoring site grading/earthmoving activities (project paleontologist). 2. The project paleontologist retained shall review the approved development plan and grading plan and shall conduct any pre-construction work necessary to render appropriate monitoring and mitigation requirements as appropriate. These requirements shall be documented by the project paleontologist in a Paleontological Resource Impact Mitigation Program (PRIMP). This PRIMP shall be submitted to the County Geologist for review and approval prior to issuance of a Grading Permit. All reports shall be signed by the project paleontologist and all other professionals responsible for the report's content (eg. Professional Geologist), as appropriate. Two wet-signed original copies of the report(s) shall be submitted to the office of the County Geologist along with a copy of this condition and the grading plan for appropriate case processing and tracking. These documents should not be submitted to the project Planner, the Plan Check staff, the Land Use Counter or any other County office. In addition, the applicant shall submit proof of hiring (i.e. copy of executed contract, retainer agreement, etc.) a project paleontologist for the in-grading implementation of the PRIMP. (COA: 60.PLANNING.01).

Monitoring: Monitoring shall be conducted by Building and Safety Department through the permitting process.

GEOLOGY AND SOILS Would the project

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
11. Alquist-Priolo Earthquake Fault Zone or County Fault Hazard Zones	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a) Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Be subject to rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan Figure S-2 "Earthquake Fault Study Zones," GIS database, Geotechnical Due-Diligence Interpretive Report (GEO No. 2231) prepared by Earth Strata, Inc., dated June 3, 2010

Findings of Fact:

a) The project site is not located within an Alquist-Priolo Earthquake Fault Zone. The proposed project will not expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death. California Building Code (CBC) requirements pertaining to industrial development will mitigate the potential impact to less than significant. As CBC requirements are applicable to all industrial development they are not considered mitigation for CEQA implementation purposes.

b) The project site is not located within an Alquist-Priolo Earthquake Fault Zone and no known fault lines are present on or adjacent to the project site. Therefore, there is a low potential for rupture of a known fault.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

12. Liquefaction Potential Zone	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a) Be subject to seismic-related ground failure, including liquefaction?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan Figure S-3 "Generalized Liquefaction", Geotechnical Due-Diligence Interpretive Report (GEO No. 2231) prepared by Earth Strata, Inc., dated June 3, 2010

Findings of Fact:

a) The project site is located within an area of low liquefaction potential. The County Geologist has reviewed and has recommended approval of the project with no conditions of approval regarding liquefaction potential.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

13. Ground-shaking Zone	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
--------------------------------	--------------------------	--------------------------	-------------------------------------	--------------------------

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------------	--	---------------------------------------	--------------

Be subject to strong seismic ground shaking?

Source: Riverside County General Plan Figure S-4 "Earthquake-Induced Slope Instability Map," and Figures S-13 through S-21 (showing General Ground Shaking Risk), Geotechnical Due-Diligence Interpretive Report (GEO No. 2231) prepared by Earth Strata, Inc., dated June 3, 2010

Findings of Fact:

a) There are no known active or potentially active faults that traverse the site and the site is not located within an Alquist-Priolo Earthquake Fault Zone. The principal seismic hazard that could affect the site is ground shaking resulting from an earthquake occurring along several major active or potentially active faults in southern California. The County Department of Building and Safety requires construction to conform to the California Building Code (CBC). Through the compliance with Riverside County requirements related to geotechnical and soil reports, the potential of the proposed project due to ground shaking will be less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

14. Landslide Risk

☐ ☐ ☐ ☒

a) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, collapse, or rockfall hazards?

Source: Riverside County General Plan Figure S-5 "Regions Underlain by Steep Slope"

Findings of Fact:

a) The project site is generally flat and according to Figure S-5, the project site is not located in an area with slopes greater than 25%; therefore, there is no potential for landslides. The project site and surrounding area does not consist of rocky terrain therefore the project is not subject to rock fall hazards. No impacts will occur as a result of the proposed project.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

15. Ground Subsidence

☐ ☐ ☒ ☐

a) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in ground subsidence?

Source: Riverside County General Plan Figure S-7 "Documented Subsidence Areas", Geotechnical Due-Diligence Interpretive Report (GEO No. 2231) prepared by Earth Strata, Inc., dated June 3, 2010

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------------	--	---------------------------------------	--------------

Findings of Fact:

a) The project site is located in an area susceptible to subsidence, but not located near any documented areas of subsidence. California Building Code (CBC) requirements pertaining to development will mitigate the potential impact to less than significant. As CBC requirements are applicable to all development, they are not considered mitigation for CEQA implementation purposes.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

16. Other Geologic Hazards

☐ ☐ ☐ ☒

a) Be subject to geologic hazards, such as seiche, mudflow, or volcanic hazard?

Source: Project Application Materials, Geotechnical Due-Diligence Interpretive Report (GEO No. 2231) prepared by Earth Strata, Inc., dated June 3, 2010

Findings of Fact:

a) The project site is not located in an area susceptible to unstable geologic hazards such as seiche, mudflow, or volcanic hazard on the project site.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

17. Slopes

☐ ☐ ☒ ☐

a) Change topography or ground surface relief features?

b) Create cut or fill slopes greater than 2:1 or higher than 10 feet?

☐ ☐ ☐ ☒

c) Result in grading that affects or negates subsurface sewage disposal systems?

☐ ☐ ☐ ☒

Source: Riverside County General Plan figure S-5 "Regions Underlain by Steep Slopes", Building and Safety – Grading Review, Project Application Materials

Findings of Fact:

a) The project will have a less than significant impact change to the existing topography on the subject site. The grading will follow the natural slopes and not alter any significant elevated topographic features located on the site.

b) The project will not cut or fill slopes greater than 2:1, but may create a slope higher than 10 feet. In order to minimize the impact, the project has been conditioned to grade so that the slopes reflect the natural terrain.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--	--------------------------------------	--	---------------------------------------	--------------

c) The project will not result in grading that affects or negates subsurface sewage disposal systems.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

18. Soils

a) Result in substantial soil erosion or the loss of topsoil?

☐ ☐ ☒ ☐

b) Be located on expansive soil, as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial risks to life or property?

☐ ☐ ☒ ☐

c) Have soils incapable of adequately supporting use of septic tanks or alternative waste water disposal systems where sewers are not available for the disposal of waste water?

☐ ☐ ☐ ☒

Source: Riverside County General Plan figure S-6 "Engineering Geologic Materials Map", Flood Control review, Building and Safety Grading review, Project Application Materials, Geotechnical Due-Diligence Interpretive Report (GEO No. 2231) prepared by Earth Strata, Inc., dated June 3, 2010

Findings of Fact:

a) The development of the project site may have the potential to result in soil erosion during grading and construction. Standard Conditions of Approval have been issued regarding soil erosion that will further ensure protection of public health, safety, and welfare upon final engineering of the project and are not considered mitigation for CEQA implementation purposes. (COA 10.BS GRADE.04)

b) The project may be located on expansive soil; however, California Building Code (CBC) requirements pertaining all structures will mitigate the potential impact to less than significant. As IBC requirements are applicable to all structures they are not considered mitigation for CEQA implementation purposes.

c) The project will be connected to a sewer system; there will be no septic on site.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

19. Erosion

a) Change deposition, siltation, or erosion that may modify the channel of a river or stream or the bed of a lake?

☐ ☐ ☐ ☒

b) Result in any increase in water erosion either on or off site?

☐ ☐ ☒ ☐

Source: Flood Control District review, Building and Safety – Grading Review, Project Materials

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------------	--	---------------------------------------	--------------

Findings of Fact:

a) The project site is not located near the channel of a river, or stream, or the bed of a lake. Thus the proposed project does not change deposition, siltation or erosion that may modify the channel of a river or stream or the bed of a lake.

b) The project may result in an increase in water erosion either on or off site. Building and Safety Department has provided standard conditions of approval to ensure erosion impacts are mitigated to less than significant levels upon final engineering and are not considered mitigation for CEQA implementation purposes. (COA: 10.BS GRADE.06, 10.BS GRADE.07)

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

20. Wind Erosion and Blowsand from project either on or off site.

☐
☐
☒
☐

a) Be impacted by or result in an increase in wind erosion and blowsand, either on or off site?

Source: Riverside County General Plan Figure S-8 "Wind Erosion Susceptibility Map," Ord. 484

Findings of Fact:

a) The project site is located within a moderate wind erosion area. All projects proposing grading are condition for dust control (COA: 10.BS GRADE.08). The Riverside County General Plan, Safety Element Policy for Wind Erosion requires buildings to be designed to resist wind loads which are covered by the California Building Code (CBC). With such compliance, impacts to wind erosion and blowsand from the project on or off site are considered to be less than significant. As no unique mitigation measures are identified, no additional mitigation is required.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

GREENHOUSE GAS EMISSIONS Would the project

21. Greenhouse Gas Emissions

a) Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?

☐
☐
☒
☐

b) Conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?

☐
☒
☐
☐

Source: Project Application Materials, Global Climate Change Evaluation prepared by Scientific Resources Associated, dated January 14, 2011

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------------	--	---------------------------------------	--------------

Findings of Fact:

a) Analysis by Scientific Resources Associated (January 14, 2011) indicates the project's annual GHG emissions will be 2,594 metric tons per year (MTY) of CO₂-equivalents (CO₂e). This total is below the threshold of 3,000 MTY CO₂e for residential and commercial project currently proposed by the South Coast Air Quality Management District. This project total includes both direct (amortized construction, area source and mobile emissions) and indirect (electricity, solid waste and water usage) GHG emissions. Therefore, the project will not result in significant generation of greenhouse gases, either directly or indirectly, and will not have a significant impact on the environment due to greenhouse gas emissions.

b) To ensure reductions below the expected "Business As Usual" (BAU) scenario, the project will be subject to a variety of measures that will reduce the project's greenhouse gas emissions. These measures include the following:

a. Compliance with all applicable policies, measures and regulations promulgated through, or as a result of, AB 32, California's "Global Warming Solutions Act of 2006," including measures outlined by the California Air Resources Board in their Climate Change Scoping Plan (December 2008) for AB 32 implementation.

b. The following additional GHG-reducing measures:

(1) Lighting: Low-pressure sodium vapor (LPSV) lighting or overhead high pressure sodium vapor lighting with shields or cutoff luminaires shall be used on the project site. While used principally to reduce light pollution, these types of luminaires, particularly LPSV, are also extremely energy efficient. Where sodium lighting is not necessary or not advisable due to color, LED or other energy-efficient lighting shall be used, as appropriate.

(2) Bicycle Racks: To facilitate and encourage non-motorized transportation, bicycle racks shall be provided in convenient locations to facilitate bicycle access to the project area. The bicycle racks shall be shown on project landscaping and improvement plans submitted for Planning Department approval, and shall be installed in accordance with those plans.

(3) Recycling: To facilitate and encourage recycling to reduce landfill-associated emissions among others, the project shall provide trash enclosures that include additional enclosed area(s) for collection of recyclable materials. The recycling collection area(s) shall be located within, near or adjacent to each trash and rubbish disposal area. The recycling collection area shall be a minimum of 50% of the area provided for the trash/rubbish enclosure(s) or as approved by the Riverside County Waste Management Department.

(4) Water-Efficient Landscaping: All required landscape planting and irrigation shall be installed according to approved Landscaping, Irrigation and Shading Plans and be in a condition acceptable to the County. Landscaping and irrigation shall comply with County Ordinance No. 859, Water-Efficient Landscaping Standards. Reducing landscaping water use will conserve electricity, reducing GHG emissions associated with electricity production.

(5) Title 24: Use of equipment and fixtures that comply with applicable Title 24 energy conservation requirements.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------------	--	---------------------------------------	--------------

As a result of implementation of, and compliance with, the above measures, the project will further reduce greenhouse gas emissions below that expected for a business-as-usual project, consistent with the policies and plans of the County and the State, AB 32 in particular. These measures ensure the project will not conflict with the any applicable plans, policies or regulations related to reducing greenhouse gas emissions, and that this project's affect on the attainment of these plans is less than significant with mitigation.

Mitigation: Within the Mt. Palomar Special Lighting Area, as defined in Ordinance No. 655, low pressure sodium vapor lighting or overhead high pressure sodium vapor lighting with shields or cutoff luminaires, shall be utilized. (COA: 10.PLANNING.32). Bike rack spaces or bike lockers shall be shown on the project's parking and landscaping plan submitted to the Planning Department for approval. A bicycle rack with a minimum of eighteen (18) spaces shall be provided in convenient locations to facilitate bicycle access to the project area as shown on APPROVED EXHIBIT L. The bicycle racks shall be shown on project landscaping and improvement plans submitted for Planning Department approval, and shall be installed in accordance with those plans. (COA: 80.PLANNING.13, 90.PLANNING.13). Three (3) trash enclosures which are adequate to enclose a minimum of two (2) bins shall be located as shown on the APPROVED EXHIBIT A, and shall be constructed prior to the issuance of occupancy permits. The enclosure(s) shall be a minimum of six (6) feet in height and shall be made with masonry block with landscaping screening, above trellis and a solid gate which screens the bins from external view. Additional enclosed area for collection of recyclable materials shall be located within, near or adjacent to each trash and rubbish disposal area. The recycling collection area shall be a minimum of fifty percent (50%) of the area provided for the trash/rubbish enclosure(s) or as approved by the Riverside County Waste Management Department. All recycling bins shall be labeled with the universal recycling symbol and with signage indicating to the users the type of material to be deposited in each bin. (COA: 90.PLANNING.18) Prior to issuance of building permits, the developer/permit holder shall file a Landscaping Minor Plot Plan Application to the Riverside County Planning Department for review and approval along with the current fee. The landscaping plans shall be in conformance with the APPROVED EXHIBITS; in compliance with Ordinance No. 348, Section 18.12; Ordinance No. 859; and, be prepared consistent with the County of Riverside Guide to California Friendly Landscaping. (COA: 80.PLANNING.01, 90.PLANNING.02) Construction of all nonresidential buildings or structures shall exceed the energy standards of the 2008 Building Efficiency Standards as set forth in the 2008 California Energy Code (Title 24, Part 6 of the California Code of Regulations) by a minimum of five percent (5%) in aggregate. Submission of a Title 24 worksheet with building plans for each implementing development project shall be required by the Department of Building and Safety in order to obtain a building permit and set the condition to MET status. The worksheet shall include both the calculations showing the minimum Title 24 compliance requirements and calculations for the implementing development project. Compliance is determined by comparing the energy use of the proposed development to a minimally Title 24 compliant development. The calculations must be from an energy analysis computer program approved by the California Energy Commission in accordance with Title 24, Part 6, Article 1, Section 10-109. (COA: 80.PLANNING.22)

Monitoring: Monitoring shall be conducted by Building and Safety Department and SCAQMD through the permitting process.

HAZARDS AND HAZARDOUS MATERIALS Would the project

22. Hazards and Hazardous Materials

☐
☐
☒
☐

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
a) Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?				
b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Impair implementation of or physically interfere with an adopted emergency response plan or an emergency evacuation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Project Application Materials, Departments of Environmental Health and Fire Review

Findings of Fact:

a) & b) During construction of the proposed project, there is a limited potential for accidental release of construction-related products although not in sufficient quantity to pose a significant hazard to people and the environment. The proposed project will not create a hazard to the public or the environment. Impacts would be less than significant.

c) The project has been reviewed by the Riverside County Fire Department for emergency access, and will not impair implementation of or physically interfere with an adopted emergency response plan or an emergency evacuation plan.

d) The project will not emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school.

e) The project is not located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would not create a significant hazard to the public or the environment.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

23. Airports	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a) Result in an inconsistency with an Airport Master Plan?				
b) Require review by the Airport Land Use Commission?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
c) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) For a project within the vicinity of a private airstrip, or heliport, would the project result in a safety hazard for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure S-19 "Airport Locations," GIS database, Project Application Materials

Findings of Fact:

a) The project site is not located within the vicinity of any public or private airport; therefore, the project will not result in an inconsistency with an Airport Master Plan.

b) The project site is not located within the vicinity of any public or private airport; therefore will not require review by the Airport Land Use Commission (ALUC).

c) The proposed project is not located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, and will not result in a safety hazard for people residing or working in the project area.

d) The project is not within the vicinity of a private airstrip, or heliport and would not result in a safety hazard for people residing or working in the project area.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

24. Hazardous Fire Area

a) Expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
--------------------------	--------------------------	--------------------------	-------------------------------------

Source: Riverside County General Plan Figure S-11 "Wildfire Susceptibility," GIS database

Findings of Fact:

a) According to GIS, the project site is not located in a hazardous fire area. No impacts will occur as a result of the proposed project.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
HYDROLOGY AND WATER QUALITY Would the project				
25. Water Quality Impacts	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
a) Substantially alter the existing drainage pattern of the site or area, including the alteration of the course of a stream or river, in a manner that would result in substantial erosion or siltation on- or off-site?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) Violate any water quality standards or waste discharge requirements?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Create or contribute runoff water that would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
e) Place housing within a 100-year flood hazard area, as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Place within a 100-year flood hazard area structures which would impede or redirect flood flows?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
g) Otherwise substantially degrade water quality?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
h) Include new or retrofitted stormwater Treatment Control Best Management Practices (BMPs) (e.g. water quality treatment basins, constructed treatment wetlands), the operation of which could result in significant environmental effects (e.g. increased vectors or odors)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County Flood Control District Flood Hazard Report/Condition, Sun City / Menifee Valley Area Plan Figure 9 "Flood Hazards"

Findings of Fact:

a) A drainage area of approximately 110-acres is tributary to El Centro Lane along the southwesterly boundary of the site. Runoff from this watershed flows easterly through a wide, broad low which traverses the site. The drainage plan proposes that runoff from this watershed would be collected into two 36-inch pipes under El Centro Lane which will then connect to a 60-inch storm drain which will convey the storm runoff through the site. Flows are discharged downstream of La Ventana Road along the easterly boundary. It is anticipated that the District will accept this facility for operation and maintenance once it is constructed. Therefore, it shall be designed and built to District standards. As shown on the exhibit, the storm drain has angle points. All angle points shown on the exhibit shall be 'smoothed out' with curves that have a minimum radius of 35-feet. Sufficient right of way or easements at the inlet and outlet structures for maintenance access will be required. Additional easement(s) may be necessary at the inlet for the necessary ponding required for the storm runoff.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------------	--	---------------------------------------	--------------

Letters of permission have been obtained from both the upstream and downstream property owners who are affected by the drainage improvements associated with this project. While a 20-foot wide storm drain easement is shown on the exhibit, the actual width of the easement will be determined during final engineering and will depend on the size and depth of the pipe. Therefore, impacts are considered less than significant with mitigation. (COA: 10.FLOOD RI.02)

b) The project will not violate any water quality standards or waste discharge requirements, and has been conditioned to comply with standard water quality conditions of approval.

c) The project will not substantially deplete groundwater supplies or interfere substantially with groundwater recharge.

d), g) & h) For water quality and increased runoff mitigation, the onsite runoff is collected and conveyed through a series of onsite storm drains which outlet at the northwest corner of the ball field located in the northeast portion of the project. The southeasterly quadrant of the project conveys flows overland to the ball field. The ball field serves as a mitigation basin (labeled Detention/Biofiltering Area on the exhibit) for both increased runoff and water quality. The BMP design shall be refined at improvement plan check stage. Flows travel to the outlet structure located in the southeast corner of the ball field where they pond up, enter the outlet structure and are then conveyed to the 60-inch storm drain. This project is located in the Warm Springs Valley sub-watershed of the Murrieta Creek Area Drainage Plan (ADP) for which drainage fees have been established by the Board of Supervisors. A Zone 7 maintenance charge for the drainage facilities the District will assume for maintenance will also be required. Therefore, impacts are considered less than significant with mitigation. (COA: 10.FLOOD RI.02)

e) The project will not place housing within a 100-year flood hazard area, as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map.

f) The 10 year storm flow shall be contained within the curb and the 100 year storm flow shall be contained within the street right of way. When either of these criteria is exceeded, additional drainage facilities shall be installed. The property shall be graded to drain to the adjacent street or an adequate outlet. Drainage facilities outletting sump conditions shall be designed to convey the tributary 100 year storm flows. Additional emergency escape shall also be provided. Therefore, impacts are considered less than significant with mitigation. (COA: 10.FLOOD RI.04, 10.FLOOD RI.05)

Mitigation: A copy of the improvement plans, grading plans, BMP improvement plans and any other necessary documentation along with supporting hydrologic and hydraulic calculations shall be submitted to the District for review. (COA: 60.FLOODRI.02, 80.FLOODRI.02) Temporary erosion control measures shall be implemented immediately following rough grading to prevent deposition of debris onto downstream properties or drainage facilities. Plans showing these measures shall be submitted to the District for review. (COA: 60.FLOODRI.03) Offsite drainage facilities shall be located within dedicated drainage easements obtained from the affected property owner(s). (COA: 60.FLOODRI.04) Written permission shall be obtained from the affected property owner(s) allowing the proposed grading and/or facilities to be installed outside of the project boundaries. A copy of the written authorization shall be submitted to the District for review and approval. (COA: 60.FLOODRI.05) Inspection and maintenance of the flood control facility/ies to be constructed with this development must be performed by either the County Transportation Department or the Flood Control District. (COA: 60.FLOODRI.07, 80.FLOODRI.03) The County Board of Supervisors has adopted the Murrieta Creek Area Drainage Plan (ADP) for the purpose of collecting drainage fees.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------------	--	---------------------------------------	--------------

This project may require earlier construction of downstream ADP facilities. To mitigate this effect, the District recommends that this project be required to pay a flood mitigation fee. Public Use Permit 907 is located within the limits of the Warm Springs Valley sub-watershed of the Murrieta Creek Area Drainage Plan for which drainage fees have been adopted to help mitigate the impacts of this development. The mitigation charge for this proposal shall equal the prevailing Area Drainage Plan fee rate multiplied by the area of the new development. This new development has a total of 17.1-acres subject to the fee. The charge is payable to the Flood Control District by cashier's check or money order only, and shall be paid after final approval of the staff report/conditions of approval by the Board of Supervisors and prior to issuance of permits. (COA: 60.FLOODRI.08, 80.FLOODRI.04) A copy of the project specific WQMP shall be submitted to the District for review and approval. (COA: 60.FLOODRI.09, 80.FLOODRI.05) All flood control facilities should be constructed to District standards. All facilities that the District will assume for maintenance will require the payment of a one time maintenance charge equal to the "present worth" value of 10 years of maintenance costs at the time of improvement plan approval. (COA: 60.FLOODRI.10, 80.FLOODRI.06) The developer shall distribute environmental awareness education materials on general good housekeeping practices that contribute to protection of stormwater quality to all initial users. All structural BMPs described in the project-specific WQMP shall be constructed and installed in conformance with approved plans and specifications. The BMP maintenance plan shall contain provisions for all treatment controlled BMPs to be inspected, and if required, cleaned no later than October 15 each year. (COA: 90.FLOODRI.02, 90.FLOODRI.03, 90.FLOODRI.05).

Monitoring: Monitoring shall be conducted by the Riverside County Flood Control District and by the Department of Building and Safety plan check process.

26. Floodplains

Degree of Suitability in 100-Year Floodplains. As indicated below, the appropriate Degree of Suitability has been checked.

NA - Not Applicable <input type="checkbox"/>	U - Generally Unsuitable <input checked="" type="checkbox"/>	R - Restricted <input type="checkbox"/>		
a) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner that would result in flooding on- or off-site?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) Changes in absorption rates or the rate and amount of surface runoff?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c) Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam (Dam Inundation Area)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
d) Changes in the amount of surface water in any water body?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure S-9 "100- and 500-Year Flood Hazard Zones," Figure S-10 "Dam Failure Inundation Zone," Riverside County Flood Control District Flood Hazard Report/Condition, GIS database

Findings of Fact:

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------------	--	---------------------------------------	--------------

a) & b) A drainage area of approximately 110-acres is tributary to El Centro Lane along the southwesterly boundary of the site. Runoff from this watershed flows easterly through a wide, broad low which traverses the site. The drainage plan proposes that runoff from this watershed would be collected into two 36-inch pipes under El Centro Lane which will then connect to a 60-inch storm drain which will convey the storm runoff through the site. Flows are discharged downstream of La Ventana Road along the easterly boundary. It is anticipated that the District will accept this facility for operation and maintenance once it is constructed. Therefore, it shall be designed and built to District standards. As shown on the exhibit, the storm drain has angle points. All angle points shown on the exhibit shall be 'smoothed out' with curves that have a minimum radius of 35-feet. Sufficient right of way or easements at the inlet and outlet structures for maintenance access will be required. Additional easement(s) may be necessary at the inlet for the necessary ponding required for the storm runoff. Letters of permission have been obtained from both the upstream and downstream property owners who are affected by the drainage improvements associated with this project. While a 20-foot wide storm drain easement is shown on the exhibit, the actual width of the easement will be determined during final engineering and will depend on the size and depth of the pipe. Therefore, impacts are considered less than significant with mitigation. (COA: 10.FLOOD RI.02).

c) The 10 year storm flow shall be contained within the curb and the 100 year storm flow shall be contained within the street right of way. When either of these criteria is exceeded, additional drainage facilities shall be installed. The property shall be graded to drain to the adjacent street or an adequate outlet. Drainage facilities outletting sump conditions shall be designed to convey the tributary 100 year storm flows. Additional emergency escape shall also be provided. Therefore, impacts are considered less than significant with mitigation. (COA: 10.FLOOD RI.04, 10.FLOOD RI.05)

d) The project will not cause changes in the amount of surface water in any water body.

Mitigation: Temporary erosion control measures shall be implemented immediately following rough grading to prevent deposition of debris onto downstream properties or drainage facilities. Plans showing these measures shall be submitted to the District for review. (COA: 60.FLOODRI.03) Offsite drainage facilities shall be located within dedicated drainage easements obtained from the affected property owner(s). (COA: 60.FLOODRI.04) Written permission shall be obtained from the affected property owner(s) allowing the proposed grading and/or facilities to be installed outside of the project boundaries. A copy of the written authorization shall be submitted to the District for review and approval. (COA: 60.FLOODRI.05) Inspection and maintenance of the flood control facility/ies to be constructed with this development must be performed by either the County Transportation Department or the Flood Control District. (COA: 60.FLOODRI.07, 80.FLOODRI.03) All flood control facilities should be constructed to District standards. All facilities that the District will assume for maintenance will require the payment of a one time maintenance charge equal to the "present worth" value of 10 years of maintenance costs at the time of improvement plan approval. (COA: 60.FLOODRI.10, 80.FLOODRI.06)

Monitoring: Monitoring shall be conducted by the Riverside County Flood Control District and by the Department of Building and Safety plan check process.

LAND USE/PLANNING Would the project

27. Land Use

a) Result in a substantial alteration of the present or planned land use of an area?

☐
☐
☒
☐

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
b) Affect land use within a city sphere of influence and/or within adjacent city or county boundaries?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan, GIS database, Project Application Materials

Findings of Fact:

a) Within the vicinity of the proposed project there is vacant land to the north, south and east and single family residences to the west. The project site is currently vacant and proposes a 109,125 square foot public charter school. Therefore, impacts are considered less than significant.

b) The project does not affect land use within a city sphere of influence or within adjacent city or county boundaries.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

28. Planning	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a) Be consistent with the site's existing or proposed zoning?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Be compatible with existing surrounding zoning?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Be compatible with existing and planned surrounding land uses?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Be consistent with the land use designations and policies of the Comprehensive General Plan (including those of any applicable Specific Plan)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Disrupt or divide the physical arrangement of an established community (including a low-income or minority community)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Land Use Element, Staff review, GIS database

Findings of Fact:

a) The project is consistent with the site's existing zoning Residential Agricultural - 5 Acre Minimum (R-A-5).

b) The surrounding zoning is Residential Agricultural - 5 Acre Minimum (R-A-5) to the north and east and Light Agriculture - 5 Acre Minimum (A-1-5) to the south and west. The project will be compatible with the surrounding zoning classifications.

c) The project site is designated Rural Community: Estate Density Residential (RC: EDR) (2 Acre Minimum) in the Riverside County General Plan. Surrounding properties are also designated Rural Community: Estate Density Residential (RC: EDR) (2 Acre Minimum) to the north, east and west and Rural: Rural Residential (R: RR) (5 Acre Minimum) to the south.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--	--------------------------------------	--	---------------------------------------	--------------

d) The project is consistent with current land use designations and the policies of the Riverside County General Plan.

e) The project will not disrupt or divide the physical arrangement of an established community.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

MINERAL RESOURCES Would the project

29. Mineral Resources

a) Result in the loss of availability of a known mineral resource that would be of value to the region or the residents of the State?

☐ ☐ ☐ ☒

b) Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?

☐ ☐ ☐ ☒

c) Be an incompatible land use located adjacent to a State classified or designated area or existing surface mine?

☐ ☐ ☐ ☒

d) Expose people or property to hazards from proposed, existing or abandoned quarries or mines?

☐ ☐ ☐ ☒

Source: Riverside County General Plan Figure OS-5 "Mineral Resources Area"

Findings of Fact:

a) The project site is within MRZ-3, which is defined as areas where the available geologic information indicates that mineral deposits are likely to exist; however, the significance of the deposit is undetermined.

The Riverside County General Plan identifies policies that encourage protection for existing mining operations and for appropriate management of mineral extraction. A significant impact that would constitute a loss of availability of a known mineral resource would include unmanaged extraction or encroach on existing extraction. No existing or abandoned quarries or mines exist in the area surrounding the project site. The project does not propose any mineral extraction on the project site. Any mineral resources on the project site will be unavailable for the life of the project; however, the project will not result in the permanent loss of significant mineral resources.

b) The project will not result in the loss of availability of a known mineral resource in an area classified or designated by the State that would be of value to the region or the residents of the State. The project will not result in the loss of availability of a locally important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan.

c) The project will not be an incompatible land use located adjacent to a State classified or designated area or existing surface mine.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------------	--	---------------------------------------	--------------

d) The project will not expose people or property to hazards from proposed, existing or abandoned quarries or mines.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

NOISE Would the project result in

Definitions for Noise Acceptability Ratings

Where indicated below, the appropriate Noise Acceptability Rating(s) has been checked.

NA - Not Applicable

A - Generally Acceptable

B - Conditionally Acceptable

C - Generally Unacceptable

D - Land Use Discouraged

30. Airport Noise

a) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport would the project expose people residing or working in the project area to excessive noise levels?

NA ☒ A ☐ B ☐ C ☐ D ☐

b) For a project within the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels?

NA ☒ A ☐ B ☐ C ☐ D ☐

Source: Riverside County General Plan Figure S-19 "Airport Locations," County of Riverside Airport Facilities Map, Project Application Materials

Findings of Fact:

a) The project site is not located within an airport land use plan or within two miles of a public airport or public use airport that would expose people residing on the project site to excessive noise levels.

b) The project is not located within the vicinity of a private airstrip that would expose people residing on the project site to excessive noise levels.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

31. Railroad Noise

NA ☒ A ☐ B ☐ C ☐ D ☐

Source: Riverside County General Plan Figure C-1 "Circulation Plan", GIS database

Findings of Fact:

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------------	--	---------------------------------------	--------------

The project site is not located adjacent to a rail line. No impacts will occur as a result of the proposed project.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

32. Highway Noise

NA ☐ A ☒ B ☐ C ☐ D ☐

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
--------------------------	--------------------------	-------------------------------------	--------------------------

Source: Riverside County General Plan Figure C-1 "Circulation Plan", GIS database

Findings of Fact:

The project site is located approximately 2.25 miles east of Interstate 215. Therefore, due to distance, impacts would be less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

33. Other Noise

NA ☒ A ☐ B ☐ C ☐ D ☐

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
--------------------------	--------------------------	--------------------------	-------------------------------------

Source: Project Application Materials, GIS database

Findings of Fact:

No other noise sources have been identified near the project site that would contribute a significant amount of noise to the project.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

34. Noise Effects on or by the Project

a) A substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
--------------------------	--------------------------	--------------------------	-------------------------------------

b) A substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
--------------------------	--------------------------	-------------------------------------	--------------------------

c) Exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
--------------------------	--------------------------	--------------------------	-------------------------------------

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
d) Exposure of persons to or generation of excessive ground-borne vibration or ground-borne noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Project Application Materials, Riverside County General Plan Noise Element; Riverside County Noise Ordinance No. 847, Letter from the Department of Public Health Office of Industrial Hygiene, dated February 15, 2011 from Steven Hinde, CIH, Senior Industrial Hygienist

Findings of Fact:

a) The proposed project will not cause a substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project.

b) The project might create a substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project. However, all noise generated during project construction and the operation of the site must comply with the County's noise standards, which restricts construction (short-term) and operational (long-term) noise levels. Therefore, any potential noise impact is considered less than significant.

c) The project will not cause exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies.

d) Persons might be exposed to groundborne vibration or groundborne noise levels during construction and operation of the project; however, to minimize ambient noise levels during construction and operation of the proposed project, construction and operation shall be restricted substantially to daylight hours.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

POPULATION AND HOUSING Would the project

35. Housing	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a) Displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Create a demand for additional housing, particularly housing affordable to households earning 80% or less of the County's median income?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Displace substantial numbers of people, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Affect a County Redevelopment Project Area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Cumulatively exceed official regional or local population projections?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------------	--	---------------------------------------	--------------

roads or other infrastructure)?

Source: Project Application Materials, GIS database, Riverside County General Plan Housing Element

Findings of Fact:

- a) The project will not necessitate the construction or replacement of housing elsewhere.
- b) The project could create a demand for additional housing; however, any demand will be accommodated on the housing market and any development will be required to develop per the General Plan.
- c) The project will not displace any people.
- d) The project site is not located within a County Redevelopment Project Area.
- e) The project will not cumulatively exceed official regional or local population projections.
- f) Development of the proposed project site will have a less than significant impact on inducing substantial population growth in an area either directly (e.g., by proposing new homes and businesses) or indirectly (e.g., through extension of roads or other infrastructure).

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

PUBLIC SERVICES Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered government facilities or the need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:

36. Fire Services

☐ ☐ ☒ ☐

Source: Riverside County General Plan Safety Element

Findings of Fact:

The proposed project will have no impact on the demand for Fire services. Prior to the issuance of a certificate of occupancy, the applicant shall comply with the provision of Ordinance No. 659 which requires payment of the appropriate fees set forth in the Ordinance. Ordinance No. 659 is established to set forth policies, regulations and fees related to the funding and construction of facilities necessary to address the direct a cumulative environmental effect generated by new development projects. With compliance to Ordinance No. 659, impact to Fire services is viewed as less than significant.

Additionally, the project with not result in substantial adverse physical impacts associate with the provision of new or physically altered government facilities or the need for new or physically altered governmental facilities. As such, this project will not cause the construction of which could cause

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------------	--	---------------------------------------	--------------

significant environmental impacts, in order to maintain acceptable service ratios, response ties or other performance objectives for any of the public services.

Any project subject to Ordinance No. 659 will be conditioned for compliance. Compliance with Ordinance No. 659 is not considered a unique mitigation measure. No additional mitigation is identified or required. (COA: 90.PLANNING.31)

Mitigation: No mitigation measures are required.

Monitoring: No mitigation measures are required.

37. Sheriff Services

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
--------------------------	--------------------------	-------------------------------------	--------------------------

Source: Riverside County General Plan

Findings of Fact:

The proposed project will have no impact on the demand for Sheriff services. Prior to the issuance of a certificate of occupancy, the applicant shall comply with the provision of Ordinance No. 659 which requires payment of the appropriate fees set forth in the Ordinance. Ordinance No. 659 is established to set forth policies, regulations and fees related to the funding and construction of facilities necessary to address the direct a cumulative environmental effect generated by new development projects. With compliance to Ordinance No. 659, impact to Sheriff services is viewed as less than significant.

Additionally, the project will not result in substantial adverse physical impacts associated with the provision of new or physically altered government facilities or the need for new or physically altered governmental facilities. As such, this project will not cause the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response ties or other performance objectives for any of the public services.

Any project subject to Ordinance No. 659 will be conditioned for compliance. Compliance with Ordinance No. 659 is not considered a unique mitigation measure. No additional mitigation is identified or required. (COA: 90.PLANNING.31)

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

38. Schools

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
--------------------------	--------------------------	-------------------------------------	--------------------------

Source: GIS database

Findings of Fact:

The proposed project is located within the Menifee Union & Perris Union High School District. The impact of the project is considered less than significant.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------------	--	---------------------------------------	--------------

Additionally, the project will not result in substantial adverse physical impacts associated with the new provision of new or physically altered government facilities or the need for new or physically alter governmental facilities. As such, this project will not cause the construction of which could cause significant environmental impacts, in order to maintain acceptable service rations and performance objectives for any public services.

These projects have been conditioned to comply with School Mitigation Impact fees in order to mitigate the potential effects to school services. This is a standard condition of approval and pursuant to CEQA is not considered mitigation (COA: 80.PLANNING.19). Therefore, impacts are considered less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

39. Libraries

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
--------------------------	--------------------------	-------------------------------------	--------------------------

Source: Riverside County General Plan

Findings of Fact:

The proposed project will have no impact on the demand for Library services. Prior to the issuance of a certificate of occupancy, the applicant shall comply with the provision of Ordinance No. 659 which requires payment of the appropriate fees set forth in the Ordinance. Ordinance No. 659 is established to set forth policies, regulations and fees related to the funding and construction of facilities necessary to address the direct a cumulative environmental effect generated by new development projects. With compliance to Ordinance No. 659, impact to Library services is viewed as less than significant.

Additionally, the project with not result in substantial adverse physical impacts associated with the provision of new or physically altered government facilities or the need for new or physically altered governmental facilities. As such, this project will not cause construction which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services.

Any project subject to Ordinance No. 659 will be conditioned for compliance. This is not a unique mitigation measure. No further mitigation measures have been identified; no additional or unique mitigation is required. (COA: 90.PLANNING.31)

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

40. Health Services

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
--------------------------	--------------------------	-------------------------------------	--------------------------

Source: Riverside County General Plan

Findings of Fact:

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------------	--	---------------------------------------	--------------

The construction of health service buildings in conjunction with the proposed development is not anticipated. Existing health services facilities will serve the site.

Additionally, the project will no result in substantial adverse physical impacts associated with the provision of new or physically altered government facilities or the need for new or physically altered governmental facilities. As such, this project will not cause construction which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services.

Any project subject to Ordinance No. 659 will be conditioned for compliance. This is not a unique mitigation measure. No further mitigation measures have been identified; no additional or unique mitigation is required. (COA: 90.PLANNING.31)

Mitigation: No mitigation measures are required.

Monitoring: No mitigation measures are required.

RECREATION

41. Parks and Recreation

a) Would the project include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?

☐
☐
☐
☒

b) Would the project include the use of existing neighborhood or regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?

☐
☐
☐
☒

c) Is the project located within a C.S.A. or recreation and park district with a Community Parks and Recreation Plan (Quimby fees)?

☐
☐
☒
☐

Source: GIS database, Ord. No. 460, Section 10.35 (Regulating the Division of Land – Park and Recreation Fees and Dedications), Ord. No. 659 (Establishing Development Impact Fees), Parks & Open Space Department Review

Findings of Fact:

a) & b) The proposed project does not include public recreational facilities or require the construction or expansion of recreational facilities as well as it does not include the use of existing neighborhood or regional parks or other recreational facilities.

c) The project is within the Lakeview/Nuevo/Romoland/Homeland County Service Area No. 146. Ordinance No. 460 does not require payment of Quimby fees for commercial / industrial developments.

Mitigation: No mitigation measures are required.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------------	--	---------------------------------------	--------------

Monitoring: No monitoring measures are required.

42. Recreational Trails

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
--------------------------	--------------------------	--------------------------	-------------------------------------

Source: Riverside County Parks, Riverside County General Plan Figure C-7 "Trails and Bikeway System", Ord. No. 460, Ord. No. 461

Findings of Fact:

The Sun City / Menifee Valley Area Plan indicates that no trails are proposed to be constructed and dedicated along the north of Wickerd Road, east of El Centro Lane and west of La Ventana Lane.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

TRANSPORTATION/TRAFFIC Would the project

43. Circulation

<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
--------------------------	-------------------------------------	--------------------------	--------------------------

a) Conflict with an applicable plan, ordinance or policy establishing a measure of effectiveness for the performance of the circulation system, taking into account all modes of transportation, including mass transit and non-motorized travel and relevant components of the circulation system, including but not limited to intersections, streets, highways and freeways, pedestrian and bicycle paths, and mass transit?

b) Conflict with an applicable congestion management program, including, but not limited to level of service standards and travel demand measures, or other standards established by the county congestion management agency for designated roads or highways?

<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
--------------------------	-------------------------------------	--------------------------	--------------------------

c) Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
--------------------------	--------------------------	--------------------------	-------------------------------------

d) Alter waterborne, rail or air traffic?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
--------------------------	--------------------------	--------------------------	-------------------------------------

e) Substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g. farm equipment)?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
--------------------------	--------------------------	--------------------------	-------------------------------------

f) Cause an effect upon, or a need for new or altered maintenance of roads?

<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
--------------------------	-------------------------------------	--------------------------	--------------------------

g) Cause an effect upon circulation during the project's construction?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
--------------------------	--------------------------	-------------------------------------	--------------------------

h) Result in inadequate emergency access or access to nearby uses?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
--------------------------	--------------------------	--------------------------	-------------------------------------

i) Conflict with adopted policies, plans or programs regarding public transit, bikeways or pedestrian facilities, or

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
--------------------------	--------------------------	--------------------------	-------------------------------------

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------------	--	---------------------------------------	--------------

otherwise substantially decrease the performance or safety of such facilities?

Source: Riverside County General Plan, Transportation Department Review, Ord. No. 348, Ord. No. 659

Findings of Fact:

a), b) & f) The Transportation Department has reviewed the traffic study submitted for the referenced project. The study has been prepared in accordance with County-approved guidelines. The General Plan circulation policies require a minimum of Level of Service 'C', except that Level of Service 'D' may be allowed in community development areas at intersections of any combination of secondary highways, major highways, arterials, urban arterials, expressways or state highways and ramp intersections. The study indicates that it is possible to achieve adequate levels of service for the following intersections based on the traffic study assumptions. I-215 Southbound Ramps (NS) at: Scott Road (EW), I-215 Northbound Ramps (NS) at: Scott Road (EW), Antelope Road (NS) at: Scott Road (EW), Menifee Road (NS) at: Scott Road (EW), Briggs Road (NS) at: Scott Road (EW), El Centro Road (NS) at: Project Driveway North (EW), El Centro Road (NS) at: Project Driveway South (EW), El Centro Road (NS) at: Wickerd Road (EW), Project Driveway West (NS) at: Wickerd Road (EW), Project Driveway East (NS) at: Wickerd Road (EW), Leon Road (NS) at: Wickerd Road (EW), Leon road (NS) at: Scott Road (EW). The associated conditions of approval incorporate mitigation measures identified in the traffic study, which are necessary to achieve or maintain the required level of service. (COA: 10.TRANS.03)

c) The project will have no impact on circulation that would result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks.

d) The project site will have no impact on circulation altering waterborne, rail or air traffic.

e) The proposed project site would have no impact on circulation substantially increasing hazards to a design feature or incompatible uses.

g) The proposed project site would have a less than significant impact on circulation because there are improvements that are going to be constructed.

h) The proposed project site would have no impact on circulation resulting in inadequate emergency access or access to nearby uses.

i) Development of this project will not conflict with adopted policies supporting alternative transportation such as bus turnouts or bicycle racks.

Mitigation: The start time for the elementary school, junior high, and high school shall be spaced at intervals of no less than 30 minutes apart. The end time for the elementary school, junior high, and high school shall be spaced no less than 30 minutes apart. (COA: 80.TRANS.06) The project proponent shall be responsible for the design of traffic signal(s) at the intersections of: Signal(s) not eligible for fee credit: Briggs Road (NS) at Scott Road (EW) (signal modification, see geometrics) or as approved by the Transportation Department. For improvements eligible for fee credit, the project proponent shall contact the Transportation Department and enter into an agreement for signal

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------------	--	---------------------------------------	--------------

mitigation fee credit or reimbursement prior to start of construction of the signal. All work shall be pre-approved by and shall comply with the requirements of the Transportation Department and the public contract code in order to be eligible for fee credit or reimbursement. (COA: 80.TRANS.07, 80.TRANS.08, 90.TRANS.16) Prior to the time of issuance of a Certificate of Occupancy or upon final inspection, whichever occurs first, the project proponent shall pay fees in accordance with Zone "A" of the Scott Road and Bridge Benefit District. (COA: 90.TRANS.08)

Monitoring: Monitoring shall be conducted by the Riverside County Transportation Department and by the Department of Building and Safety plan check process.

44. Bike Trails

☐ ☐ ☐ ☒

Source: Riverside County Parks, Riverside County General Plan Figure C-7 "Trails and Bikeway System", Ord. No. 460, Ord. No. 461

Findings of Fact:

The project site is not located near a bike trail.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

UTILITY AND SERVICE SYSTEMS Would the project

45. Water

☐ ☐ ☐ ☒

a) Require or result in the construction of new water treatment facilities or expansion of existing facilities, the construction of which would cause significant environmental effects?

b) Have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed?

☐ ☐ ☒ ☐

Source: Department of Environmental Health Review

Findings of Fact:

a) The Eastern Municipal Water District (EMWD) will service the project with water. The Riverside County Department of Environmental Health has reviewed this project. The project does not require or will not result in the construction of new water treatment facilities or expansion of existing facilities, the construction of which would cause significant environmental effects.

b) There is a sufficient water supply available to serve the project from existing entitlements and resources. This project has been conditioned to comply with the requirements of the Riverside County Department of Environmental Health.

Mitigation: No mitigation measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--	--------------------------------------	--	---------------------------------------	--------------

Monitoring: No monitoring measures are required.

46. Sewer

a) Require or result in the construction of new wastewater treatment facilities, including septic systems, or expansion of existing facilities, the construction of which would cause significant environmental effects?

☐ ☐ ☐ ☒

b) Result in a determination by the wastewater treatment provider that serves or may service the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?

☐ ☐ ☒ ☐

Source: Department of Environmental Health Review

Findings of Fact:

a) The Eastern Municipal Water District (EMWD) will service the project with sewer services. The Riverside County Department of Health has reviewed this project. The project will not require or will not result in the construction of new wastewater treatment facilities, including septic systems, or expansion of existing facilities, the construction of which would cause significant environmental effects.

b) This project has been conditioned to comply with the requirements of the Riverside County Department of Environmental Health.

Mitigation: No mitigation measures are necessary.

Monitoring: No monitoring measures are necessary.

47. Solid Waste

a) Is the project served by a landfill with sufficient permitted capacity to accommodate the project's solid waste disposal needs?

☐ ☐ ☒ ☐

b) Comply with federal, state, and local statutes and regulations related to solid wastes (including the CIWMP (County Integrated Waste Management Plan)?

☐ ☐ ☒ ☐

Source: Riverside County General Plan, Letter from Riverside County Waste Management Department, dated November 22, 2010 from Sung Key Ma, Planner

Findings of Fact:

a) The project will not substantially alter existing or future solid waste generation patterns and disposal services. The landfill that will serve the project has sufficient capacity to accommodate the project's anticipated solid waste disposal needs.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------------	--	---------------------------------------	--------------

b) The development will comply with federal, state, and local statutes and regulations related to solid wastes (including the CIWMP (County Integrated Waste Management Plan). Conditions of Approval 60.PLANNING.17, 80.PLANNING.18 and 90.PLANNING.25 are not considered unique mitigation measures pursuant to CEQA. No additional mitigation is identified or required.

Mitigation: No mitigation measures are necessary.

Monitoring: No monitoring measures are necessary.

48. Utilities

Would the project impact the following facilities requiring or resulting in the construction of new facilities or the expansion of existing facilities; the construction of which could cause significant environmental effects?

a) Electricity?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Natural gas?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Communications systems?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Storm water drainage?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Street lighting?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) Maintenance of public facilities, including roads?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g) Other governmental services?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan, Ord. No 517, Ord. No. 659

Findings of Fact:

a), b) & c) The project will require utility services in the form of Electricity, Natural gas, and Telecommunications. Utility service infrastructure is available to the project site and the project is not anticipated to create a need for new facilities.

d) Storm water drainage will be handled on-site.

e) & f) Street lighting exists for the access to the project site. Overall, the project will have an incremental impact on the maintenance of public facilities, including roads.

g) The project will not require additional government services.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

49. Energy Conservation

a) Would the project conflict with any adopted energy conservation plans?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
--------------------------	--------------------------	--------------------------	-------------------------------------

Source: Project Application Materials

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------------	--	---------------------------------------	--------------

Findings of Fact:

a) The proposed project will not impact any adopted energy conservation plans.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

MANDATORY FINDINGS OF SIGNIFICANCE

50. Does the project have the potential to substantially degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare, or endangered plant or animal to eliminate important examples of the major periods of California history or prehistory?

☐
☐
☒
☐

Source: Staff review, Project Application Materials

Findings of Fact:

Implementation of the proposed project would not substantially degrade the quality of the environment, substantially reduce the habitat of fish or wildlife species, cause a fish or wildlife populations to drop below self sustaining levels, threaten to eliminate a plant or animal community, or reduce the number or restrict the range of a rare or endangered plant or animal, or eliminate important examples of the major periods of California history or prehistory.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

51. Does the project have impacts which are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, other current projects and probable future projects)?

☐
☐
☐
☒

Source: Staff review, Project Application Materials

Findings of Fact:

The project does not have impacts which are individually limited, but cumulatively considerable.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------------	--	---------------------------------------	--------------

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

52. Does the project have environmental effects that will cause substantial adverse effects on human beings, either directly or indirectly?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
---	--------------------------	--------------------------	--------------------------	-------------------------------------

Source: Staff review, Project Application Materials

Findings of Fact:

The proposed project would not result in environmental effects which would cause substantial adverse effects on human beings, either directly or indirectly.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

VI. EARLIER ANALYSES

Earlier analyses may be used where, pursuant to the tiering, program EIR, or other CEQA process, an effect has been adequately analyzed in an earlier EIR or negative declaration as per California Code of Regulations, Section 15063 (c) (3) (D). In this case, a brief discussion should identify the following:

- Earlier Analyses Used, if any: Riverside County General Plan.
- Sun City / Menifee Valley Area Plan.
- SCAQMD CEQA Air Quality Handbook
- Global Climate Change Evaluation prepared by Scientific Resources Associated, dated January 14, 2011
- PDB05689 Biological Assessment(s) for the Burrowing Owl, Munz's Onion San Diego Ambrosia, Many-Stemmed Dudleya, Spreading Navarretia, California Orcutt Grass and Wright's Trichocoronis and Focused Surveys for the Burrowing Owl prepared by Kidd Biological Inc., dated August 15 2010
- PDA04686 Archaeological Report prepared by Brian F. Smith and Associates, dated March 1, 2011
- Geotechnical Due-Diligence Interpretive Report (GEO No. 2231) prepared by Earth Strata, Inc., dated June 3, 2010
- Letter from the Department of Public Health Office of Industrial Hygiene, dated February 15, 2011 from Steven Hinde, CIH, Senior Industrial Hygienist
- Letter from Riverside County Waste Management Department, dated November 22, 2010 from Sung Key Ma, Planner

Location Where Earlier Analyses, if used, are available for review:

Location: County of Riverside Planning Department

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------------	--	---------------------------------------	--------------

4080 Lemon Street, 12th Floor
Riverside, CA 92502-1409

VII. AUTHORITIES CITED

Authorities cited: Public Resources Code Sections 21083 and 21083.05; References: California Government Code Section 65088.4; Public Resources Code Sections 21080(c), 21080.1, 21080.3, 21082.1, 21083, 21083.05, 21083.3, 21093, 21094, 21095 and 21151; *Sundstrom v. County of Mendocino* (1988) 202 Cal.App.3d 296; *Leonoff v. Monterey Board of Supervisors* (1990) 222 Cal.App.3d 1337; *Eureka Citizens for Responsible Govt. v. City of Eureka* (2007) 147 Cal.App.4th 357; *Protect the Historic Amador Waterways v. Amador Water Agency* (2004) 116 Cal.App.4th at 1109; *San Franciscans Upholding the Downtown Plan v. City and County of San Francisco* (2002) 102 Cal.App.4th 656.

03/15/11
16:53

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 1

PUBLIC USE PERMIT Case #: PUP00907

Parcel: 466-210-031

10. GENERAL CONDITIONS

EVERY DEPARTMENT

10. EVERY. 1

USE - PROJECT DESCRIPTION

RECOMMND

The use hereby permitted is for a 109,125 square foot public charter school, Santa Rosa Academy, consisting of multiple buildings for up to 1,500 students for grades K-12 with 237 parking spaces on a 25 gross acre site to be constructed in two (2) phases. Phase I will include the construction of approximately 67,065 square feet of building area consisting of 55 classrooms, administrative offices, a library / technology center, a student pavilion, a security office and 237 parking spaces. Phase II will include the construction of approximately 42,060 square feet of building area consisting of a theater, a gymnasium, and baseball and soccer fields.

10. EVERY. 2

USE - HOLD HARMLESS

RECOMMND

The applicant/permittee or any successor-in-interest shall defend, indemnify, and hold harmless the County of Riverside (COUNTY) its agents, officers, or employees from any claim, action, or proceeding against the COUNTY, its agents, officers, or employees to attack, set aside, void, or annul an approval of the COUNTY, its advisory agencies, appeal boards, or legislative body concerning Public Use Permit No. 907. The COUNTY will promptly notify the applicant/permittee of any such claim, action, or proceeding against the COUNTY and will cooperate fully in the defense. If the COUNTY fails to promptly notify the applicant/permittee of any such claim, action, or proceeding or fails to cooperate fully in the defense, the applicant/permittee shall not, thereafter, be responsible to defend, indemnify, or hold harmless the COUNTY.

10. EVERY. 3

USE - DEFINITIONS

RECOMMND

The words identified in the following list that appear in all capitals in the attached conditions of Public Use Permit No. 907 shall be henceforth defined as follows:

APPROVED EXHIBIT A = Site Plan (Sheets 1-3) for Public Use Permit No. 907, Amended No. 2, dated February 3, 2011.

APPROVED EXHIBIT B = Project Elevations (Sheets 1-11) for Public Use Permit No. 907, Amended No. 2, dated February 3, 2011.

03/15/11
16:53

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 2

PUBLIC USE PERMIT Case #: PUP00907

Parcel: 466-210-031

10. GENERAL CONDITIONS

10. EVERY. 3 USE - DEFINITIONS (cont.)

RECOMMND

APPROVED EXHIBIT C = Floor Plans (Sheets 1-13) for Public Use Permit No. 907, Amended No. 2, dated February 3, 2011.

APPROVED EXHIBIT G = Conceptual Grading Plan (Sheets 1-2) for Public Use Permit No. 907, Amended No. 2, dated February 3, 2011.

APPROVED EXHIBIT L = Preliminary Landscaping Plans (Sheets 1-2) for Public Use Permit No. 907, Amended No. 2, dated February 3, 2011.

APPROVED EXHIBIT L-1 = Preliminary Landscaping Color Plant Palette Booklet for Public Use Permit No. 907, Amended No. 2, dated February 3, 2011.

APPROVED EXHIBIT M = Project Colors and Materials (Sheets 1-12) for Public Use Permit No. 907, Amended No. 2, dated February 3, 2011.

APPROVED EXHIBIT P = Photometric Plan for Public Use Permit No. 907, Amended No. 2, dated February 3, 2011.

APPROVED EXHIBIT S = Sign Program for Public Use Permit No. 907, Amended No. 2, dated February 3, 2011.

APPROVED EXHIBIT W = Wall Plan for Public Use Permit No. 907, Amended No. 2, dated February 3, 2011.

10. EVERY. 4 USE - 90 DAYS TO PROTEST

RECOMMND

The project developer has 90 days from the date of approval of these conditions to protest, in accordance with the procedures set forth in Government Code Section 66020, the imposition of any and all fees, dedications, reservations and/or other exactions imposed on this project as a result of this approval or conditional approval of this project.

BS GRADE DEPARTMENT

10.BS GRADE. 1 USE - GENERAL INTRODUCTION

RECOMMND

Improvements such as grading, filling, over excavation and recompaction, and base or paving which require a grading permit are subject to the included Building and Safety Department Grading Division conditions of approval.

03/15/11
16:53

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 3

PUBLIC USE PERMIT Case #: PUP00907

Parcel: 466-210-031

10. GENERAL CONDITIONS

10.BS GRADE. 3 USE - OBEY ALL GDG REGS RECOMMND

All grading shall conform to the California Building Code, Ordinance 457, and all other relevant laws, rules, and regulations governing grading in Riverside County and prior to commencing any grading which includes 50 or more cubic yards, the applicant shall obtain a grading permit from the Building and Safety Department.

10.BS GRADE. 4 USE - DISTURBS NEED G/PMT RECOMMND

Ordinance 457 requires a grading permit prior to clearing, grubbing, or any top soil disturbances related to construction grading.

10.BS GRADE. 5 USE - PRE-CONSTRUCTION MTG RECOMMND

Prior to conducting any clearing, stockpiling, grading or excavation, the applicant is required to schedule a pre-construction meeting with the Building and Safety Department Environmental Compliance Division.

10.BS GRADE. 6 USE - NPDES INSPECTIONS RECOMMND

Construction activities including clearing, stockpiling, grading or excavation of land which disturbs less than 1 acre and requires a grading permit or construction permit shall provide for effective control of erosion, sediment and all other pollutants year-round. The permittee shall be responsible for the installation and monitoring of effective erosion and sediment controls. Such controls may be evaluated by the Department of Building and Safety periodically to very compliance with industry recognized erosion control measures.

Construction activities including but not limited to clearing, stockpiling, grading or excavation of land, which disturbs 1 acre or more or on-sites which are part of a larger common plan of development which disturbs 5 acres or more are required to keep a current copy of the storm water pollution prevention plan (SWPPP) on the construction site and shall be made available to the Department of Building and Safety upon request.

Year-round, Best Management Practices (BMP's) shall be maintained and be in place for all areas that have been graded or disturbed and for all material, equipment and/or operations that need protection. Removal BMP's (those BMP's

03/15/11
16:53

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 4

PUBLIC USE PERMIT Case #: PUP00907

Parcel: 466-210-031

10. GENERAL CONDITIONS

10.BS GRADE. 6 USE - NPDES INSPECTIONS (cont.) RECOMMND

which must be temporarily removed during construction activities) shall be in place at the end of each working day when there is a forecast of rain within the next five days, by the National Weather Service or whenever rain is imminent.

Monitoring for erosion and sediment control is required and shall be performed by the person responsible for the SWPPP. The Department of Building and Safety will conduct periodic NPDES inspections of the site throughout the recognized storm season to verify compliance with the site Storm Water Pollution Prevention Plan (SWPPP).

10.BS GRADE. 7 USE - EROSION CNTRL PROTECT RECOMMND

Graded but undeveloped land shall provide, in addition to erosion control planting, any drainage facility deemed necessary to control or prevent erosion. Additional erosion protection may be required during the rainy season from October 1, to May 31.

10.BS GRADE. 8 USE - DUST CONTROL RECOMMND

All necessary measures to control dust shall be implemented by the developer during grading. A PM10 plan may be required at the time a grading permit is issued.

10.BS GRADE. 9 USE - 2:1 MAX SLOPE RATIO RECOMMND

Graded slopes shall be limited to a maximum steepness ratio of 2:1 (horizontal to vertical) unless otherwise approved.

10.BS GRADE. 11 USE - MINIMUM DRNAGE GRADE RECOMMND

Minimum drainage grade shall be 1% except on portland cement concrete where .35% shall be the minimum.

10.BS GRADE. 12 USE - DRAINAGE & TERRACING RECOMMND

Provide drainage facilities and terracing in conformance with the California Building Code's chapter on "EXCAVATION & GRADING".

03/15/11
16:53

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 5

PUBLIC USE PERMIT Case #: PUP00907

Parcel: 466-210-031

10. GENERAL CONDITIONS

10.BS GRADE. 13 USE - SLOPE SETBACKS RECOMMND

Observe slope setbacks from buildings & property lines per the California Building Code as amended by Ordinance 457.

10.BS GRADE. 15 USE - FIRE D'S OK ON DR.WY RECOMMND

Driveways shall be designed in accordance with Riverside County Fire Department standards - or the governing Fire Department - and shall require their approval prior to issuance of the grading permit. Approval shall be in the form of a conditional approval letter addressed to the related case or by written approval from the Fire Department.

10.BS GRADE. 18 USE - OFFST. PAVED PKG RECOMMND

All offstreet parking areas which are conditioned to be paved shall conform to Ordinance 457 base and paving design and inspection requirements.

10.BS GRADE. 20 USE - RETAINING WALLS RECOMMND

Lots which propose retaining walls will require separate permits. They shall be obtained prior to the issuance of any other building permits - unless otherwise approved by the Building and Safety Director. The walls shall be designed by a Registered Civil Engineer - unless they conform to the County Standard Retaining Wall designs shown on the Building and Safety Department form 284-197.

10.BS GRADE. 23 USE - MANUFACTURED SLOPES RECOMMND

Plant and irrigate all manufactured slopes equal to or greater than 3 feet in vertical height with drought tolerant grass or ground cover; slopes 15 feet or greater in vertical height shall also be planted with drought tolerant shrubs or trees in accordance with the requirements of Ordinance 457.

10.BS GRADE. 24 USE - FINISH GRADE RECOMMND

Finish grade shall be sloped to provide proper drainage away from all exterior foundation walls in accordance with the California Building Code and Ordinance 457.

03/15/11
16:53

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 6

PUBLIC USE PERMIT Case #: PUP00907

Parcel: 466-210-031

10. GENERAL CONDITIONS

E HEALTH DEPARTMENT

10.E HEALTH. 1 EMWD WATER AND SEWER SERVICE

RECOMMND

Public Use Permit#907 is proposing Eastern Municipal Water District (EMWD) potable water and sanitary sewer service. It is the responsibility of the developer to ensure that all requirements to obtain water and sewer service are met with (EMWD) as well as all other applicable agencies.

FIRE DEPARTMENT

10.FIRE. 1 USE-#50-BLUE DOT REFLECTOR

RECOMMND

Blue retroreflective pavement markers shall be mounted on private street, public streets and driveways to indicate location of fire hydrants. Prior to installation, placement of markers must be approved by the Riverside County Fire Department.

10.FIRE. 2 USE-#23-MIN REQ FIRE FLOW

RECOMMND

Minimum required fire flow shall be 2250 GPM for a 2 hour duration at 20 PSI residual operating pressure, which must be available before any combustible material is placed on the job site. Fire flow is based on type VB construction per the 2010 CBC and Building(s) having a fire sprinkler system.

10.FIRE. 3 USE-#31-ON/OFF NOT LOOPED HYD

RECOMMND

A combination of on-site and off-site super fire hydrant(s) (6"x4"x 2-2-1/2"), will be located not less than 25 feet or more than 225 feet from any portion of the building as measured along approved vehicular travel ways. The required fire flow shall be available from any adjacent hydrants(s) in the system.

10.FIRE. 4 USE-#25-GATE ENTRANCES

RECOMMND

ny gate providing access from a road to a driveway shall be located at least 35 feet from the roadway and shall open to allow a vehicle to stop without obstructing traffic on the road. Where a one-way road with a single traffic lane provides access to a gate entrance, a 38 foot turning radius shall be used.

PUBLIC USE PERMIT Case #: PUP00907

Parcel: 466-210-031

10. GENERAL CONDITIONS

10.FIRE. 5

USE-#88A-AUTO/MAN GATES

RECOMMND

Gate(s) shall be automatic operated, minimum 20 feet in width, with a setback of 35 feet from face of curb/flow line. Gate access shall be equipped with a rapid entry system. Plans shall be submitted to the Fire Department for approval prior to installation. Automatic/manual gate pins shall be rated with shear pin force, not to exceed 30 foot pounds. Automatic gates shall be equipped with emergency backup power. Gates activated by the rapid entry system shall remain open until closed by the rapid entry system.

FLOOD RI DEPARTMENT

10.FLOOD RI. 2

USE FLOOD HAZARD REPORT

RECOMMND

Public Use Permit 00907 is a request to develop an approximately 25-acre site for a charter school. The site is located in the Winchester area on the northeast corner of Wickerd Road and El Centro Lane. The District has previously reviewed this site as Fast Track 2010 - 07.

A drainage area of approximately 110-acres is tributary to El Centro Lane along the southwesterly boundary of the site. Runoff from this watershed flows easterly through a wide, broad low which traverses the site. The drainage plan proposes that runoff from this watershed would be collected into two 36-inch pipes under El Centro Lane which will then connect to a 60-inch storm drain which will convey the storm runoff through the site. Flows are discharged downstream of La Ventana Road along the easterly boundary. It is anticipated that the District will accept this facility for operation and maintenance once it is constructed. Therefore, it shall be designed and built to District standards. As shown on the exhibit, the stormdrain has angle points. All angle points shown on the exhibit shall be 'smoothed out' with curves that have a minimum radius of 35-feet. Sufficient right of way or easements at the inlet and outlet structures for maintenance access will be required. Additional easement(s) may be necessary at the inlet for the necessary ponding required for the storm runoff. Letters of permission have been obtained from both the upstream and downstream property owners who are affected by the drainage improvements associated with this project. While a 20-foot wide storm drain easement is shown on the exhibit, the actual width of the easement will be determined during final engineering and will depend on the size and depth of

PUBLIC USE PERMIT Case #: PUP00907

Parcel: 466-210-031

10. GENERAL CONDITIONS

10.FLOOD RI. 2 USE FLOOD HAZARD REPORT (cont.)

RECOMMND

the pipe.

For water quality and increased runoff mitigation, the onsite runoff is collected and conveyed through a series of onsite storm drains which outlet at the northwest corner of the ball field located in the northeast portion of the project. The southeasterly quadrant of the project conveys flows overland to the ball field. The ball field serves as a mitigation basin (labeled Detention/Biofiltering Area on the exhibit) for both increased runoff and water quality. The BMP design shall be refined at improvement plan check stage. Flows travel to the outlet structure located in the southeast corner of the ball field where they pond up, enter the outlet structure and are then conveyed to the 60-inch storm drain.

This project is located in the Warm Springs Valley sub-watershed of the Murrieta Creek Area Drainage Plan (ADP) for which drainage fees have been established by the Board of Supervisors. A Zone 7 maintenance charge for the drainage facilities the District will assume for maintenance will also be required.

10.FLOOD RI. 4 USE 10 YR CURB - 100 YR ROW

RECOMMND

The 10 year storm flow shall be contained within the curb and the 100 year storm flow shall be contained within the street right of way. When either of these criteria is exceeded, additional drainage facilities shall be installed. The property shall be graded to drain to the adjacent street or an adequate outlet.

10.FLOOD RI. 5 USE 100 YR SUMP OUTLET

RECOMMND

Drainage facilities outletting sump conditions shall be designed to convey the tributary 100 year storm flows. Additional emergency escape shall also be provided.

10.FLOOD RI. 6 USE PERP DRAINAGE PATTERNS

RECOMMND

The property's grading shall be designed in a manner that perpetuates the existing natural drainage patterns with respect to tributary drainage area, outlet points and outlet conditions; otherwise, a drainage easement shall be obtained from the affected property owners for the release of concentrated or diverted storm flows. A copy of the

PUBLIC USE PERMIT Case #: PUP00907

Parcel: 466-210-031

10. GENERAL CONDITIONS

10.FLOOD RI. 6 USE PERP DRAINAGE PATTERNS (cont.) RECOMMND

recorded drainage easement shall be submitted to the District for review.

10.FLOOD RI. 10 USE MAJOR FACILITIES RECOMMND

Major flood control facilities are being proposed. These shall be designed and constructed to District standards including those related to alignment and access to both inlets and outlets. The applicant shall consult the District early in the design process regarding materials, hydraulic design and transfer of rights of way.

10.FLOOD RI. 11 USE INCREASED RUNOFF RECOMMND

The development of this site will adversely impact downstream property owners by increasing the rate and volume of flood flows. To mitigate this impact, the developer has proposed a detention basin. Although final design of the basin will not be required until the improvement plan stage of this development, the applicant's engineer has submitted a preliminary hydrology and hydraulics study that indicates that the general size, shape, and location of the proposed basin is sufficient to mitigate the impacts of the development.

10.FLOOD RI. 12 USE INCREASED RUNOFF CRITERIA RECOMMND

The development of this site would increase peak flow rates on downstream properties. Mitigation shall be required to offset such impacts. An increased runoff basin shall be shown on the exhibit and calculations supporting the size of the basin shall be submitted to the District for review.

The entire area of proposed development will be routed through a detention facility(s) to mitigate increased runoff. All basins must have positive drainage; dead storage basins shall not be acceptable.

A complete drainage study including, but not limited to, hydrologic and hydraulic calculations for the proposed detention basin shall be submitted to the District for review and approval.

Storms to be studied will include the 1-hour, 3-hour, 6-hour and 24-hour duration events for the 2-year, 5-year and 10-year return frequencies. Detention basin(s) and outlet(s) sizing will ensure that none of these storm

PUBLIC USE PERMIT Case #: PUP00907

Parcel: 466-210-031

10. GENERAL CONDITIONS

10.FLOOD RI. 12

USE INCREASED RUNOFF CRITERIA (cont.)

RECOMMND

events has a higher peak discharge in the post-development condition than in the pre-development condition. For the 2-year and 5-year events the loss rate will be determined using an AMC I condition. For the 10-year event AMC II will be used. Constant loss rates shall be used for the 1-hour, 3-hour and 6-hour events. A variable loss rate shall be used for the 24-hour events.

Low Loss rates will be determined using the following:

1. Undeveloped Condition --> LOW LOSS = 90%
2. Developed Condition --> LOW LOSS = $.9 - (.8 \times \% \text{IMPERVIOUS})$
3. Basin Site --> LOW LOSS = 10%

Where possible and feasible the on-site flows should be mitigated before combining with off-site flows to minimize the size of the detention facility required. If it is necessary to combine off-site and on-site flows into a detention facility two separate conditions should be evaluated for each duration/return period/before-after development combination studied; the first for the total tributary area (off-site plus on-site), and the second for the area to be developed alone (on-site). It must be clearly demonstrated that there is no increase in peak flow rates under either condition (total tributary area or on-site alone), for each of the return period/duration combinations required to be evaluated. A single plot showing the pre-developed, post-developed and routed hydrographs for each storm considered, shall be included with the submittal of the hydrology study.

No outlet pipe(s) will be less than 18" in diameter. Where necessary an orifice plate may be used to restrict outflow rates. Appropriate trash racks shall be provided for all outlets less than 48" in diameter.

The basin(s) and outlet structure(s) must be capable of passing the 100-year storm without damage to the facility. Embankment shall be avoided in all cases unless site constraints or topography make embankment unavoidable in the judgment of the General Manager-Chief Engineer.

Mitigation basins should be designed for joint use and be incorporated into open space or park areas. Sideslopes should be no steeper than 4:1 and depths should be minimized where public access is uncontrolled.

PUBLIC USE PERMIT Case #: PUP00907

Parcel: 466-210-031

10. GENERAL CONDITIONS

10.FLOOD RI. 12 USE INCREASED RUNOFF CRITERIA (cont.) (cont.) RECOMMND

A viable maintenance mechanism, acceptable to both the County and the District, should be provided for detention facilities. Generally, this would mean a CSA, landscape district, parks agency or commercial property owners association.

10.FLOOD RI. 14 USE WQMP ESTABL MAINT ENTITY RECOMMND

This project proposes BMP facilities that will require maintenance by public agency or commercial property owner association. To ensure that the public is not unduly burdened with future costs, prior to final approval or recordation of this case, the District will require an acceptable financial mechanism be implemented to provide for maintenance of treatment control BMPs in perpetuity. This may consist of a mechanism to assess individual benefiting property owners, or other means approved by the District. The site's treatment control BMPs must be shown on the project's improvement plans - either the street plans, grading plans, or landscaping plans. The type of improvement plans that will show the BMPs will depend on the selected maintenance entity.

10.FLOOD RI. 16 USE SUBMIT FINAL WQMP =PRELIM RECOMMND

In compliance with Santa Ana Region and San Diego Region Regional Water Quality Control Board Orders, and Beginning January 1, 2005, projects submitted within the western region of the unincorporated area of Riverside County for discretionary approval will be required to comply with the Water Quality Management Plan for Urban Runoff (WQMP). The WQMP addresses post-development water quality impacts from new development and redevelopment projects. The WQMP requirements will vary depending on the project's geographic location (Santa Ana, Santa Margarita or Whitewater River watersheds). The WQMP provides detailed guidelines and templates to assist the developer in completing the necessary studies. These documents are available on-line at: www.rcflood.org under Programs and Services, Stormwater Quality.

To comply with the WQMP a developer must submit a "Project Specific" WQMP. This report is intended to a) identify potential post-project pollutants and hydrologic impacts associated with the development; b) identify proposed

PUBLIC USE PERMIT Case #: PUP00907

Parcel: 466-210-031

10. GENERAL CONDITIONS

10.FLOOD RI. 16 USE SUBMIT FINAL WQMP =PRELIM (cont.) RECOMMND

mitigation measures (BMPs) for identified impacts including site design, source control and treatment control post-development BMPs; and c) identify sustainable funding and maintenance mechanisms for the aforementioned BMPs. A template for this report is included as 'exhibit A' in the WQMP.

The developer has submitted a report that meets the criteria for a Preliminary Project Specific WQMP. The report will need to be revised to meet the requirements of a Final Project Specific WQMP. Also, it should be noted that if 401 certification is necessary for the project, the Water Quality Control Board may require additional water quality measures.

10.FLOOD RI. 17 USE BMP MAINTENANCE & INSPECT RECOMMND

The BMP maintenance plan shall contain provisions for all treatment controlled BMPs to be inspected, and if required, cleaned no later than October 15 each year. Required documentation shall identify the entity that will inspect and maintain all structural BMPs within the project boundaries. A copy of all necessary documentation shall be submitted to the District for review and approval prior to the issuance of occupancy permits.

PLANNING DEPARTMENT

10.PLANNING. 1 GEN - IF HUMAN REMAINS FOUND RECOMMND

The developer/permit holder or any successor in interest shall comply with the following codes for the life of this project:

If human remains are encountered, State Health and Safety Code Section 7050.5 states that no further disturbance shall occur until the County Coroner has made the necessary findings as to origin. Further, pursuant to Public Resources Code Section 5097.98 (b), remains shall be left in place and free from disturbance until a final decision as to the treatment and their disposition has been made. If the Riverside County Coroner determines the remains to be Native American, the Native American Heritage Commission shall be contacted within the period specified by law. Subsequently, the Native American Heritage Commission shall identify the "Most Likely Descendant." The Most Likely

03/15/11
16:53

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 13

PUBLIC USE PERMIT Case #: PUP00907

Parcel: 466-210-031

10. GENERAL CONDITIONS

10.PLANNING. 1 GEN - IF HUMAN REMAINS FOUND (cont.) RECOMMND

Descendant shall then make recommendations and engage in consultation with the County and the property owner concerning the treatment of the remains as provided in Public Resources Code Section 5097.98. Human remains from other ethnic/cultural groups with recognized historical associations to the project area shall also be subject to consultation between appropriate representatives from that group and the County Planning /Director.

10.PLANNING. 2 GEN - INADVERTANT ARCHAEO FIND RECOMMND

The developer/permit holder or any successor in interest shall comply with the following for the life of this project:

If during ground disturbance activities, cultural resources are discovered that were not assessed by the archaeological reports and/or environmental assessment conducted prior to project approval, the following procedures shall be followed. A cultural resources site is defined, for this condition, as being three or more artifacts in close association with each other, but may include fewer artifacts if the area of the find is determined to be of significance due to its sacred or cultural importance.

1.All ground disturbance activities within 100 feet of the discovered cultural resource shall be halted until a meeting is convened between the developer, the project archaeologist, the Native American tribal representative (or other appropriate ethnic/cultural group representative), and the Planning Director to discuss the significance of the find.

2.At the meeting, the significance of the discoveries shall be discussed and after consultation with the Native American tribal (or other appropriate ethnic/cultural group representative) and the archaeologist, a decision is made, with the concurrence of the Planning Director, as to the appropriate mitigation (documentation, recovery, avoidance, etc) for the cultural resource.

3.Further ground disturbance shall not resume within the area of the discovery until an agreement has been reached by all parties as to the appropriate preservation or mitigation measures.

PUBLIC USE PERMIT Case #: PUP00907

Parcel: 466-210-031

10. GENERAL CONDITIONS

10.PLANNING. 3

USE - LC LANDSCAPE REQUIREMENT

RECOMMND

The developer/ permit holder shall:

1)Ensure all landscape and irrigation plans are in conformance with the APPROVED EXHIBITS;

2)Ensure all landscaping is provided with California Friendly landscaping and a weather based irrigation controller(s) as defined by County Ordinance No. 859;

3)Ensure that irrigation plans which may use reclaimed water conform with the requirements of the local water purveyor; and,

4)Be responsible for maintenance, viability and upkeep of all slopes, landscaped areas, and irrigation systems until the successful completion of the twelve (12) month inspection or those operations become the responsibility of the individual property owner(s), a property owner's association, or any other successor-in-interest, whichever occurs later.

To ensure ongoing maintenance, the developer/ permit holder or any successor in interest shall:

1)Connect to a reclaimed water supply for landscape irrigation purposes when reclaimed water is made available.

2)Ensure that landscaping, irrigation and maintenance systems comply with the Riverside County Guide to California Friendly Landscaping, and Ordinance No. 859.

3)Ensure that all landscaping is healthy, free of weeds, disease and pests.

10.PLANNING. 4

USE - GEO02231

RECOMMND

County Geologic Report (GEO) No. 2231 submitted for this project (PUP00907) was prepared by Earth Strata, Inc. and is entitled "Geotechnical Due-Diligence Interpretive Report, Proposed Santa Rosa Academy, Located North of Wickerd Road, West of La Ventana, and East of El Centro Lane, Menifee Area, Riverside County, California", dated June 3, 2010. In addition, Earth Strata prepared the following documents for this project"

03/15/11
16:53

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 15

PUBLIC USE PERMIT Case #: PUP00907

Parcel: 466-210-031

10. GENERAL CONDITIONS

10.PLANNING. 4 USE - GEO02231 (cont.)

RECOMMND

"Preliminary Geotechnical Interpretive Report, Proposed Santa Rosa Academy, Located North of Wickerd Road, West of La Ventana, and East of El Centro Lane, Menifee Area, Riverside County, California", dated December 23, 2010.

"Response to the County of Riverside Review Comments Regarding County Geologic Report No. 2231, Proposed Santa Rosa Academy, Located North of Wickerd Road, West of La Ventana, and East of El Centro Lane, Menifee Area, Riverside County, California", dated December 23, 2010.

"Response to the County of Riverside Review Comments #2 Regarding County Geologic Report No. 2231, Proposed Santa Rosa Academy Charter School, Located North of Wickerd Road, West of La Ventana Road, and East of El Centro Lane, Menifee Area, Riverside County, California", dated January 27, 2011.

These documents are herein incorporated as a part of GEO02231.

GEO02231 concluded:

- 1.No active faults are known to project through the site.
- 2.The potential for surface rupture to adversely impact the proposed structures is very low to remote.
- 3.The site is not subject to liquefaction.
- 4.There are no known hazards relative to landslides, debris flow or other slope instability with regard to the subject property.
- 5.The potential for hydroconsolidation is negligible to non-existent.

GEO02231 recommended:

1. Removal of low density, compressible earth materials, such as upper alluvial materials, should continue until firm competent fan deposits or bedrock is encountered.
- 2.Oversized rock should be disposed of offsite or stockpiled onsite and crushed for future use.

03/15/11
16:53

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 16

PUBLIC USE PERMIT Case #: PUP00907

Parcel: 466-210-031

10. GENERAL CONDITIONS

10.PLANNING. 4 USE - GEO02231 (cont.) (cont.) RECOMMND

GEO02231 satisfies the requirement for a Geologic Study for Planning / CEQA purposes. GEO02231 is hereby accepted for Planning purposes. This approval is not intended, and should not be misconstrued as approval for grading permit. Engineering and other building code parameters will be reviewed and additional comments and/or conditions may be imposed by the Building and Safety Department upon application for grading and/or building permits.

10.PLANNING. 5 USE - COMPLY WITH ORD./CODES RECOMMND

The development of these premises shall comply with the standards of Ordinance No. 348 and all other applicable Riverside County ordinances and State and Federal codes.

The development of the premises shall conform substantially with that as shown on APPROVED EXHIBIT A, unless otherwise amended by these conditions of approval.

10.PLANNING. 6 USE - FEES FOR REVIEW RECOMMND

Any subsequent submittals required by these conditions of approval, including but not limited to grading plan, building plan or mitigation monitoring review, shall be reviewed on an hourly basis (research fee), or other such review fee as may be in effect at the time of submittal, as required by Ordinance No. 671. Each submittal shall be accompanied with a letter clearly indicating which condition or conditions the submittal is intended to comply with.

10.PLANNING. 7 USE - LIGHTING HOODED/DIRECTED RECOMMND

Any outside lighting shall be hooded and directed so as not to shine directly upon adjoining property or public rights-of-way.

10.PLANNING. 8 USE - COLORS & MATERIALS RECOMMND

Building colors and materials shall be in substantial conformance with those shown on APPROVED EXHIBIT M.

10.PLANNING. 9 USE - LAND DIVISION REQUIRED RECOMMND

Prior to the sale of any individual structure as shown on APPROVED EXHIBIT A, a land division shall be recorded in

PUBLIC USE PERMIT Case #: PUP00907

Parcel: 466-210-031

10. GENERAL CONDITIONS

10.PLANNING. 9 USE - LAND DIVISION REQUIRED (cont.) RECOMMND

accordance with Riverside County Ordinance No. 460, and any other pertinent ordinance.

10.PLANNING. 11 USE - BASIS FOR PARKING RECOMMND

Parking for this project was determined primarily on the basis of County Ordinance No. 348, Section 18.12. a.(2).b), elementary and intermediate: 1 space per classroom, high schools: 1 space per employee, PLUS 1 space per faculty member, AND 1 space per 8 students.

For elementary and intermediate, the project is proposing 31 classrooms that require 31 parking spaces. For high school, the project will have 57 employees, 18 faculty members and 490 high school students that require 137 parking spaces. The project is required to provide a total of 168 parking spaces. The project is providing a total of 237 parking spaces.

10.PLANNING. 12 USE - LIMIT ON SIGNAGE RECOMMND

Signage for this project shall be limited to the sign program shown on APPROVED EXHIBIT S. Any additional signage shall be approved by the Planning Department pursuant to the requirements of Section 18.30 (Planning Department review only) of Ordinance No. 348.

10.PLANNING. 13 USE - NO OUTDOOR ADVERTISING RECOMMND

No outdoor advertising display, sign or billboard (not including on-site advertising or directional signs) shall be constructed or maintained within the property subject to this approval.

10.PLANNING. 15 USE - PHASES ALLOWED RECOMMND

Construction of this project may be done in two (2) phases as shown on APPROVED EXHIBITS A and L. Any additional phases, or modifications to the approved phasing, may be permitted provided a plan for each phase of development is submitted to and approved by the Planning Department. Phasing approval shall not apply to the requirements of any agency other than the Planning Department unless otherwise indicated by the affected agency.

03/15/11
16:53

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 18

PUBLIC USE PERMIT Case #: PUP00907

Parcel: 466-210-031

10. GENERAL CONDITIONS

10.PLANNING. 19 USE - RECLAIMED WATER

RECOMMND

The permit holder shall connect to a reclaimed water supply for landscape watering purposes when secondary or reclaimed water is made available to the site.

10.PLANNING. 21 USE - NO RESIDENT OCCUPANCY

RECOMMND

No permanent occupancy shall be permitted within the property approved under this public use permit as a principal place of residence. No person shall use the premises as a permanent mailing address nor be entitled to vote using an address within the premises as a place of residence.

10.PLANNING. 22 USE - MAINTAIN LICENSING

RECOMMND

At all times during the conduct of the permitted use the permittee shall maintain and keep in effect valid licensing approval from the Menifee Union School District, or regulatory authority as provided by law. Should such licensing be denied, expire or lapse at any time in the future, this permit shall become null and void.

10.PLANNING. 23 USE - EXTERIOR NOISE LEVELS

RECOMMND

The following conditions shall be applied to the project based on the information provided by the acoustical consultant:

1. Facility-related noise, as projected to any portion of any surrounding property containing a "sensitive receiver, habitable dwelling, hospital, school, library or nursing home", must not exceed the following worst-case noise levels 45 dB(A) - 10 minute noise equivalent level ("leq"), between the hours of 10:00 p.m. to 7:00 a.m. (nighttime standard) and 65 dB (A) - 10 minute leq, between 7:00 a.m. and 10:00 p. m. (daytime standard).

2. Whenever a construction site is within one-quarter (1/4) of a mile of an occupied residence or residences, no construction activities shall be undertaken between the hours of 6:00 p.m. and 6:00 a.m. during the months of June through September and between the hours of 6:00 p.m. and 7:00 a.m. during the months of October through May. Exceptions to these standards shall be allowed only with the written consent of the building official.

PUBLIC USE PERMIT Case #: PUP00907

Parcel: 466-210-031

10. GENERAL CONDITIONS

10.PLANNING. 23 USE - EXTERIOR NOISE LEVELS (cont.) RECOMMND

3.All construction vehicles, equipment fixed or mobile shall be equipped with properly operating and maintained mufflers.

4.During construction, best efforts should be made to locate stockpiling and/or vehicle staging area as far as practicable from existing residential dwellings to the west of the site.

10.PLANNING. 26 USE - CAUSES FOR REVOCATION RECOMMND

In the event the use hereby permitted under this permit,
a) is found to be in violation of the terms and conditions of this permit,
b) is found to have been obtained by fraud or perjured testimony, or
c) is found to be detrimental to the public health, safety or general welfare, or is a public nuisance, this permit shall be subject to the revocation procedures.

10.PLANNING. 27 USE - CEASED OPERATIONS RECOMMND

In the event the use hereby permitted ceases operation for a period of one (1) year or more, this approval shall become null and void.

10.PLANNING. 32 USE - MT PALOMAR LIGHTING AREA RECOMMND

Within the Mt. Palomar Special Lighting Area, as defined in Ordinance No. 655, low pressure sodium vapor lighting or overhead high pressure sodium vapor lighting with shields or cutoff luminaires, shall be utilized.

10.PLANNING. 33 USE - ORD 810 O S FEE (1) RECOMMND

In accordance with Riverside County Ordinance No. 810, to assist in providing revenue to acquire and preserve open space and habitat, an Interim Open Space Mitigation Fee shall be paid for each development project or portion of an expanded development project to be constructed in Western Riverside County. The amount of the fee for commercial or industrial development shall be calculated on the basis of "Project Area," which shall mean the net area, measured in acres, from the adjacent road right-of-way to the limits of the project development.

PUBLIC USE PERMIT Case #: PUP00907

Parcel: 466-210-031

10. GENERAL CONDITIONS

10.PLANNING. 37 USE - BUSINESS LICENSING

RECOMMND

Every person conducting a business within the unincorporated area of Riverside County, as defined in Riverside County Ordinance No. 857, shall obtain a business license. For more information regarding business registration, contact the Business Registration and License Program Office of the Building and Safety Department at www.rctlma.org.buslic.

TRANS DEPARTMENT

10.TRANS. 1 USE - STD INTRO 3(ORD 460/461)

RECOMMND

With respect to the conditions of approval for the referenced tentative exhibit, the landowner shall provide all street improvements, street improvement plans and/or road dedications set forth herein in accordance with Ordinance 460 and Riverside County Road Improvement Standards (Ordinance 461). It is understood that the exhibit correctly shows acceptable centerline elevations, all existing easements, traveled ways, and drainage courses with appropriate Q's, and that their omission or unacceptability may require the exhibit to be resubmitted for further consideration. These ordinances and all conditions of approval are essential parts and a requirement occurring in ONE is as binding as though occurring in all. All questions regarding the true meaning of the conditions shall be referred to the Transportation Department.

10.TRANS. 2 USE - COUNTY WEB SITE

RECOMMND

Additional information, standards, ordinances, policies, and design guidelines can be obtained from the Transportation Department Web site: <http://rctlma.org/trans/>. If you have questions, please call the Plan Check Section at (951) 955-6527.

10.TRANS. 3 USE - TS/CONDITONS

RECOMMND

The Transportation Department has reviewed the traffic study submitted for the referenced project. The study has been prepared in accordance with County-approved guidelines. We generally concur with the findings relative to traffic impacts.

The General Plan circulation policies require a minimum of

03/15/11
16:53

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 21

PUBLIC USE PERMIT Case #: PUP00907

Parcel: 466-210-031

10. GENERAL CONDITIONS

10. TRANS. 3

USE - TS/CONDITIONS (cont.)

RECOMMEND

Level of Service 'C', except that Level of Service 'D' may be allowed in community development areas at intersections of any combination of secondary highways, major highways, arterials, urban arterials, expressways or state highways and ramp intersections.

The study indicates that it is possible to achieve adequate levels of service for the following intersections based on the traffic study assumptions.

I-215 Southbound Ramps (NS) at:
Scott Road (EW)

I-215 Northbound Ramps (NS) at:
Scott Road (EW)

Antelope Road (NS) at:
Scott Road (EW)

Menifee Road (NS) at:
Scott Road (EW)

Briggs Road (NS) at:
Scott Road (EW)

El Centro Road (NS) at:
Project Driveway North (EW)

El Centro Road (NS) at:
Project Driveway South (EW)

El Centro Road (NS) at:
Wickerd Road (EW)

Project Driveway West (NS) at:
Wickerd Road (EW)

Project Driveway East (NS) at:
Wickerd Road (EW)

Leon Road (NS) at:
Wickerd Road (EW)

Leon road (NS) at:
Scott Road (EW)

PUBLIC USE PERMIT Case #: PUP00907

Parcel: 466-210-031

10. GENERAL CONDITIONS

10.TRANS. 3 USE - TS/CONDTIONS (cont.) (cont.)

RECOMMND

As such, the proposed project is consistent with this General Plan policy.

The associated conditions of approval incorporate mitigation measures identified in the traffic study, which are necessary to achieve or maintain the required level of service.

10.TRANS. 4 USE - CREDIT/REIMBURSEMENT

RECOMMND

In order to receive any fee credit or reimbursement for improvements, the project proponent shall contact the Transportation Department and enter into an agreement for fee credit or reimbursement prior to advertising. All work shall be preapproved by and shall comply with the requirements of the Transportation Department and the public contracts code in order to be eligible for fee credit or reimbursement.

To enter into an agreement, please contact our Funding Programs group at (951) 955-1667.

For more information regarding the public work bidding requirements please visit the following link:
http://www.rctlma.org/trans/rbbd_contractbidding.html.

20. PRIOR TO A CERTAIN DATE

PLANNING DEPARTMENT

20.PLANNING. 4 USE - EXPIRATION DATE-PUP

RECOMMND

This approval shall be used within two (2) years of the approval date; otherwise, it shall become null and void and of no effect whatsoever. By use is meant the beginning of substantial construction contemplated by this approval within two (2) year period which is thereafter diligently pursued to completion under the terms of the authorized use. Prior to the expiration of the two year period, the permittee may request a one (1) year extension of time in which to begin substantial construction or use of this permit. Should the one year extension be obtained and no substantial construction or use of this permit be initiated within three (3) years of the approval date this permit, shall become null and void.

PUBLIC USE PERMIT Case #: PUP00907

Parcel: 466-210-031

60. PRIOR TO GRADING PRMT ISSUANCE

BS GRADE DEPARTMENT

60.BS GRADE. 1 USE - NPDES/SWPPP

RECOMMND

Prior to issuance of any grading or construction permits - whichever comes first - the applicant shall provide the Building and Safety Department evidence of compliance with the following: "Effective March 10, 2003 owner operators of grading or construction projects are required to comply with the N.P.D.E.S. (National Pollutant Discharge Elimination System) requirement to obtain a construction permit from the State Water Resource Control Board (SWRCB). The permit requirement applies to grading and construction sites of "ONE" acre or larger. The owner operator can comply by submitting a "Notice of Intent" (NOI), develop and implement a STORM WATER POLLUTION PREVENTION PLAN (SWPPP) and a monitoring program and reporting plan for the construction site. For additional information and to obtain a copy of the NPDES State Construction Permit contact the SWRCB at (916) 657-1146.

Additionally, at the time the county adopts, as part of any ordinance, regulations specific to the N.P.D.E.S., this project (or subdivision) shall comply with them.

60.BS GRADE. 2 USE - GRADING SECURITY

RECOMMND

Grading in excess of 199 cubic yards will require a performance security to be posted with the Building and Safety Department.

60.BS GRADE. 3 USE - IMPORT / EXPORT

RECOMMND

In instances where a grading plan involves import or export, prior to obtaining a grading permit, the applicant shall have obtained approval for the import/export location from the Building and Safety Department.

A separate stockpile permit is required for the import site. It shall be authorized in conjunction with an approved construction project and shall comply with the requirements of Ordinance 457.

If an Environmental Assessment, prior to issuing a grading permit, did not previously approve either location, a Grading Environmental Assessment shall be submitted to the Planning Director and Environmental Programs Director for review and comment and to the Building and Safety Department Director for approval.

03/15/11
16:53

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 24

PUBLIC USE PERMIT Case #: PUP00907

Parcel: 466-210-031

60. PRIOR TO GRADING PRMT ISSUANCE

60.BS GRADE. 3 USE - IMPORT / EXPORT (cont.)

RECOMMND

Additionally, if the movement of import / export occurs using county roads, review and approval of the haul routes by the Transportation Department may be required.

60.BS GRADE. 4 USE - GEOTECH/SOILS RPTS

RECOMMND

Geotechnical soils reports, required in order to obtain a grading permit, shall be submitted to the Building and Safety Department for review and approval prior to issuance of a grading permit. All grading shall be in conformance with the recommendations of the geotechnical/soils reports as approved by Riverside County.* *The geotechnical/soils, compaction and inspection reports will be reviewed in accordance with the RIVERSIDE COUNTY GEOTECHNICAL GUIDELINES FOR REVIEW OF GEOTECHNICAL AND GEOLOGIC REPORTS.

60.BS GRADE. 6 USE - DRAINAGE DESIGN Q100

RECOMMND

All drainage facilities shall be designed in accordance with the Riverside County Flood Control & Water District's letter regarding this application, or if not specifically addressed in their letter, to accommodate 100 year storm flows.

60.BS GRADE. 7 USE - OFFSITE GRDG ONUS

RECOMMND

Prior to the issuance of a grading permit, it shall be the sole responsibility of the owner/applicant to obtain any and all proposed or required easements and/or permissions necessary to perform the grading herein proposed.

60.BS GRADE. 8 USE - NOTARIZED OFFSITE LTR

RECOMMND

A notarized letter of permission, from the affected property owners or easement holders, is required for any proposed off site grading.

60.BS GRADE. 11 USE - APPROVED WQMP

RECOMMND

Prior to the issuance of a grading permit, the owner / applicant shall submit to the Building & Safety Department Engineering Division evidence that the project - specific Water Quality Management Plan (WQMP) has been approved by the Riverside County Flood Control District and that all approved water quality treatment controlled BMPs have been

03/15/11
16:53

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 25

PUBLIC USE PERMIT Case #: PUP00907

Parcel: 466-210-031

60. PRIOR TO GRADING PRMT ISSUANCE

60.BS GRADE. 11 USE - APPROVED WQMP (cont.) RECOMMND
included on the grading plan.

60.BS GRADE. 12 USE - PRE-CONSTRUCTION MTG RECOMMND

Upon receiving grading plan approval and prior to the issuance of a grading permit, the applicant is required to schedule a pre-construction meeting with the Building and Safety Department Environmental Compliance Division.

EPD DEPARTMENT

60.EPD. 1 EPD - 30 DAY BURROWING OWL SUR RECOMMND

Pursuant to Objective 6 and Objective 7 of the Species Account for the Burrowing Owl included in the Western Riverside County Multiple Species Habitat Conservation Plan, within 30 days prior to the issuance of a grading permit, a pre-construction presence/absence survey for the burrowing owl shall be conducted by a qualified biologist and the results of this presence/absence survey shall be provided in writing to the Environmental Programs Division.

If the grading permit is not obtained within 30 days of the survey a new survey shall be required.

60.EPD. 2 EPD- BUOW MONITORING PLAN RECOMMND

Burrowing Owl Mitigation and Monitoring Plan
PDB05689 and observations by County biologist Jared Bond confirms that burrowing owls are located within the El Centro right-of-way and thus a Burrowing Owl Mitigation and Monitoring Plan is required prior to issuance of a grading permit. The mitigation plan must be prepared by a qualified biologist currently holding a MOU with the County and submitted to the Environmental Programs Division of the Planning Department for review and approval. The mitigation plan shall include discussion of how the project construction will avoid the areas occupied by burrowing owls and measures to insure their protection during all phases of construction. The mitigation plan shall also include the following:

Banding of owls observed utilizing the project site
(including owls located within the 150m buffer zone)
Fencing/Screening shall be place in an appropriate manner

PUBLIC USE PERMIT Case #: PUP00907

Parcel: 466-210-031

60. PRIOR TO GRADING PRMT ISSUANCE

60.EPD. 2

EPD- BUOW MONITORING PLAN (cont.)

RECOMMND

such that it provides visual and noise buffers between areas occupied by burrowing owls and the grading/construction area.

Burrows located within the project site that are suitable for burrowing owl occupation but are not currently occupied must be collapsed by a qualified biologist once the biologist has confirmed that the burrows are not currently utilizing the burrow. Burrows that are collapsed shall be mitigated at a 1:1 ratio using an accepted artificial burrowing owl box design.

A qualified biological monitor shall be on the project site during all project related construction activities during the breeding season (March 1- August 31).

A qualified biological monitor shall be on the project site during all project related activities that have the potential to encroach into the avoidance buffers as outlined in the Burrowing Owl Mitigation Guidelines (75 meter buffer for Feb 1- Aug 31) and (50 meter buffer for Sept 1- Jan 31).

The mitigation and monitoring plan may include additional measures as deemed acceptable between the project biologist and the Environmental Programs Division. The intent of the Mitigation and Monitoring Plan is to insure that burrowing owls are not directly impacted during construction activities, this includes any potential impacts to owls potential nesting in proximity (150 meters) to the project site.

FLOOD RI DEPARTMENT

60.FLOOD RI. 2

USE SUBMIT PLANS

RECOMMND

A copy of the improvement plans, grading plans, BMP improvement plans and any other necessary documentation along with supporting hydrologic and hydraulic calculations shall be submitted to the District for review. The plans must receive District approval prior to the issuance of grading permits. All submittals shall be date stamped by the engineer and include a completed Flood Control Deposit Based Fee Worksheet and the appropriate plan check fee deposit.

60.FLOOD RI. 3

USE EROS CNTRL AFTER RGH GRAD

RECOMMND

Temporary erosion control measures shall be implemented immediately following rough grading to prevent deposition

03/15/11
16:53

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 27

PUBLIC USE PERMIT Case #: PUP00907

Parcel: 466-210-031

60. PRIOR TO GRADING PRMT ISSUANCE

60.FLOOD RI. 3 USE EROS CNTRL AFTER RGH GRAD (cont.) RECOMMND

of debris onto downstream properties or drainage facilities. Plans showing these measures shall be submitted to the District for review.

60.FLOOD RI. 4 USE OFFSITE EASE OR REDESIGN RECOMMND

Offsite drainage facilities shall be located within dedicated drainage easements obtained from the affected property owner(s). Document(s) shall be recorded and a copy submitted to the District prior to issuance of permits. If the developer cannot obtain such rights, the project shall be redesigned to eliminate the need for the easement.

60.FLOOD RI. 5 USE WRITTEN PERM FOR GRADING RECOMMND

Written permission shall be obtained from the affected property owner(s) allowing the proposed grading and/or facilities to be installed outside of the project boundaries. A copy of the written authorization shall be submitted to the District for review and approval.

60.FLOOD RI. 7 USE 3 ITEMS TO ACCEPT FACILITY RECOMMND

Inspection and maintenance of the flood control facility/ies to be constructed with this development must be performed by either the County Transportation Department or the Flood Control District. The engineer (owner) must request in writing that one of these agencies accept the proposed system. The request shall note the project number, location, briefly describe the system (sizes and lengths) and include an exhibit that shows the proposed alignment. The request to the District shall be addressed to the General Manager-Chief Engineer, Attn: Chief of the Planning Division.

If the District is willing to maintain the proposed facility three items must be accomplished prior to the issuance of a grading permit or starting construction of the drainage facility: 1) the developer shall submit to the District the preliminary title reports, plats and legal descriptions for all right of way to be conveyed to the District and secure that right of way to the satisfaction of the District; 2) an agreement with the District and any maintenance partners must be executed which establishes the terms and conditions of inspection,

PUBLIC USE PERMIT Case #: PUP00907

Parcel: 466-210-031

60. PRIOR TO GRADING PRMT ISSUANCE

60.FLOOD RI. 7 USE 3 ITEMS TO ACCEPT FACILITY (cont.)

RECOMMND

operation and maintenance; and 3) plans for the facility must be signed by the District's General Manager-Chief Engineer. The plans cannot be signed prior to execution of the agreement. An application to draw up an agreement must be submitted to the attention of the District's Administrative Services Section. All right of way transfer issues must be coordinated with the District's Right of Way Section.

The engineer/developer will need to submit proof of flood control facility bonds and a certificate of insurance to the District's Inspection section before a pre-construction meeting can be scheduled.

60.FLOOD RI. 8 USE WARM SPRINGS VALLEY ADP

RECOMMND

The County Board of Supervisors has adopted the Murrieta Creek Area Drainage Plan (ADP) for the purpose of collecting drainage fees. This project may require earlier construction of downstream ADP facilities. To mitigate this effect, the District recommends that this project be required to pay a flood mitigation fee. The mitigation fee should be based upon the fee structures set for land divisions having comparable anticipated impermeable surface areas.

Public Use Permit 907 is located within the limits of the Warm Springs Valley sub-watershed of the Murrieta Creek Area Drainage Plan for which drainage fees have been adopted to help mitigate the impacts of this development. The mitigation charge for this proposal shall equal the prevailing Area Drainage Plan fee rate multiplied by the area of the new development. This new development has a total of 17.1-acres subject to the fee. The charge is payable to the Flood Control District by cashier's check or money order only, and shall be paid after final approval of the staff report/conditions of approval by the Board of Supervisors and prior to issuance of permits.

60.FLOOD RI. 9 USE SUBMIT FINAL WQMP

RECOMMND

A copy of the project specific WQMP shall be submitted to the District for review and approval.

03/15/11
16:53

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 29

PUBLIC USE PERMIT Case #: PUP00907

Parcel: 466-210-031

60. PRIOR TO GRADING PRMT ISSUANCE

60.FLOOD RI. 10

USE ZONE 7 PRESENT WORTH MAINT

RECOMMND

All flood control facilities should be constructed to District standards. All facilities that the District will assume for maintenance will require the payment of a one time maintenance charge equal to the "present worth" value of 10 years of maintenance costs at the time of improvement plan approval.

PLANNING DEPARTMENT

60.PLANNING. 1

USE - PALEO PRIMP & MONITOR

RECOMMND

This site is mapped in the County's General Plan as having a High potential for paleontological resources (fossils). Proposed project site grading/earthmoving activities could potentially impact this resource. HENCE:

PRIOR TO ISSUANCE OF GRADING PERMITS:

1.The applicant shall retain a qualified paleontologist approved by the County of Riverside to create and implement a project-specific plan for monitoring site grading/earthmoving activities (project paleontologist).

2.The project paleontologist retained shall review the approved development plan and grading plan and shall conduct any pre-construction work necessary to render appropriate monitoring and mitigation requirements as appropriate. These requirements shall be documented by the project paleontologist in a Paleontological Resource Impact Mitigation Program (PRIMP). This PRIMP shall be submitted to the County Geologist for review and approval prior to issuance of a Grading Permit.

Information to be contained in the PRIMP, at a minimum and in addition to other industry standard and Society of Vertebrate Paleontology standards, are as follows:

1.Description of the proposed site and planned grading operations.

2.Description of the level of monitoring required for all earth-moving activities in the project area.

3.Identification and qualifications of the qualified paleontological monitor to be employed for grading operations monitoring.

PUBLIC USE PERMIT Case #: PUP00907

Parcel: 466-210-031

60. PRIOR TO GRADING PRMT ISSUANCE

60.PLANNING. 1

USE - PALEO PRIMP & MONITOR (cont.)

RECOMMND

4. Identification of personnel with authority and responsibility to temporarily halt or divert grading equipment to allow for recovery of large specimens.

5. Direction for any fossil discoveries to be immediately reported to the property owner who in turn will immediately notify the County Geologist of the discovery.

6. Means and methods to be employed by the paleontological monitor to quickly salvage fossils as they are unearthed to avoid construction delays.

7. Sampling of sediments that are likely to contain the remains of small fossil invertebrates and vertebrates.

8. Procedures and protocol for collecting and processing of samples and specimens.

9. Fossil identification and curation procedures to be employed.

10. Identification of the permanent repository to receive any recovered fossil material. * The County of Riverside must be consulted on the repository/museum to receive the fossil material and a written agreement between the property owner/developer and the repository must be in place prior to site grading.

11. All pertinent exhibits, maps and references.

12. Procedures for reporting of findings.

13. Identification and acknowledgement of the developer for the content of the PRIMP as well as acceptance of financial responsibility for monitoring, reporting and curation fees.

All reports shall be signed by the project paleontologist and all other professionals responsible for the report's content (eg. Professional Geologist), as appropriate. Two wet-signed original copies of the report(s) shall be submitted to the office of the County Geologist along with a copy of this condition and the grading plan for appropriate case processing and tracking. These documents should not be submitted to the project Planner, the Plan Check staff, the Land Use Counter or any other County

PUBLIC USE PERMIT Case #: PUP00907

Parcel: 466-210-031

60. PRIOR TO GRADING PRMT ISSUANCE

60.PLANNING. 1 USE - PALEO PRIMP & MONITOR (cont.) (cont.) RECOMMND

office. In addition, the applicant shall submit proof of hiring (i.e. copy of executed contract, retainer agreement, etc.) a project paleontologist for the in-grading implementation of the PRIMP.

60.PLANNING. 2 GEN*- CULTURAL RESOURCES PROFE RECOMMND

As a result of information contained within archaeological report PD-A-4686, prepared on March 1, 2011 by Brian F. Smith and Associates, it has been determined that archaeological monitoring of earth-disturbing activities is required.

Prior to the issuance of grading permits, the developer/permit holder shall retain and enter into a monitoring and mitigation service contract with a qualified Archaeologist for services. This professional shall be known as the "Project Archaeologist." The Project Archeologist shall be included in the pre-grade meetings to provide cultural/historical sensitivity training including the establishment of set guidelines for ground disturbance in sensitive areas with the grading contractors and any required tribal or special interest monitors. The Project Archaeologist shall manage and oversee monitoring for all initial ground disturbing activities and excavation of each portion of the project site including clearing, grubbing, tree removals, grading, trenching, stockpiling of materials, rock crushing, structure demolition and etc. The Project Monitor shall have the authority to temporarily divert, redirect or halt the ground disturbance activities to allow identification, evaluation, and potential recovery of cultural resources in coordination with any tribal or special interest monitors.

The developer/permit holder shall submit a fully executed copy of the contract to the Riverside County Planning Department to ensure compliance with this condition of approval. Upon verification, the Planning Department shall clear this condition.

NOTE:

1)The Project Archaeologist is responsible for implementing mitigation using standard professional practices for cultural resources. The Professional shall consult with the County, developer/permit holder and any required tribal or special interest group monitor throughout the process.

PUBLIC USE PERMIT Case #: PUP00907

Parcel: 466-210-031

60. PRIOR TO GRADING PRMT ISSUANCE

60.PLANNING. 2 GEN*- CULTURAL RESOURCES PROFE (cont.) RECOMMND

2)This agreement shall not modify any condition of approval or mitigation measure.

60.PLANNING. 4 GEN*- TRIBAL MONITORING RECOMMND

As a result of information contained in archaeological report PD-A-4686, prepared March 1, 2011, by Brian F. Smith Associates, it has been determined that tribal monitoring is appropriate due to the numerous documented Native American archaeological sites in close proximity to this project.

Prior to the issuance of grading permits, the developer/permit holder shall enter into an agreement and retain a monitor designated by the Pechanga Band of Luiseno Mission Indians. This group shall be known as the Tribal Monitor for this project. The agreement shall address the treatment and ultimate disposition of cultural resources which may include repatriation and/or curation in a Riverside County approved curation facility.

The Tribal Monitor shall be allowed on-site during all initial ground disturbing activities and excavation of each portion of the project site including clearing, grubbing, tree removals, grading, trenching, stockpiling of materials, rock crushing, structure demolition and etc. Tribal monitoring is not required for precise grading or other construction phases not related to mass or rough grading. The Tribal Monitor shall have the limited authority to temporarily divert, redirect or halt the ground disturbance activities to allow identification, evaluation, and potential recovery of cultural resources in coordination with the Project Archaeologist.

The developer/permit holder shall submit a fully executed copy of the agreement to the Riverside County Planning Department to ensure compliance with this condition of approval. Upon verification, the Planning Department shall clear this condition.

NOTE:

1) The Project Archaeologist is responsible for implementing mitigation and standard professional practices for cultural resources, and shall consult with the County

03/15/11
16:53

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 33

PUBLIC USE PERMIT Case #: PUP00907

Parcel: 466-210-031

60. PRIOR TO GRADING PRMT ISSUANCE

60.PLANNING. 4

GEN*- TRIBAL MONITORING (cont.)

RECOMMND

and developer/permit holder throughout the process. The tribal monitor is responsible for facilitating consultation on behalf of the Tribe only.

2) Tribal monitoring does not replace any required Cultural Resources monitoring, but rather serves as a supplement for consultation and advisory purposes for Tribal interests only.

3) This agreement shall not modify any condition of approval or mitigation measure.

4) The developer/permit holder shall contact the Planning Director for consideration of this condition after forty-five (45) days, if an agreement with the tribe has not been met.

5) Should repatriation be preferred, it shall not occur until after the Phase IV monitoring report has been submitted to the Riverside County Planning Department. Should curation be preferred, the developer/permit holder is responsible for all costs.

60.PLANNING. 8

USE - LOT LINE ADJUSTMENT REQ

RECOMMND

An application for Lot Line Adjustment shall be filed with the Planning Department for review and approval. The Lot Line Adjustment application shall relocate the common lot line between Parcel 3 of PM18607 (APN: 466-210-031) and Parcel 4 of PM18607 (APN: 466-210-032). Proof of recordation shall be submitted to the Planning Department within six (6) months of recorded deeds. The proposed parcels shall comply with the development standards of the Residential Agricultural - 5 Acre Minimum (R-A-5) zone.

60.PLANNING. 11

USE - SKR FEE CONDITION

RECOMMND

Prior to the issuance of a grading permit, the applicant shall comply with the provisions of Riverside County Ordinance No. 663, which generally requires the payment of the appropriate fee set forth in that ordinance. The amount of the fee required to be paid may vary depending upon a variety of factors, including the type of development application submitted and the applicability of any fee reduction or exemption provisions contained in Riverside County Ordinance No. 663. Said fee shall be

PUBLIC USE PERMIT Case #: PUP00907

Parcel: 466-210-031

60. PRIOR TO GRADING PRMT ISSUANCE

60.PLANNING. 11 USE - SKR FEE CONDITION (cont.)

RECOMMND

calculated on the approved development project which is anticipated to be 25 acres (gross) in accordance with APPROVED EXHIBIT A. If the development is subsequently revised, this acreage amount may be modified in order to reflect the revised development project acreage amount. In the event Riverside County Ordinance No. 663 is rescinded, this condition will no longer be applicable. However, should Riverside County Ordinance No. 663 be rescinded and superseded by a subsequent mitigation fee ordinance, payment of the appropriate fee set forth in that ordinance shall be required.

60.PLANNING. 14 USE - FEE STATUS

RECOMMND

Prior to the issuance of grading permits for Public Use Permit No. 907, the Planning Department shall determine the status of the deposit based fees. If the fees are in a negative status, the permit holder shall pay the outstanding balance.

60.PLANNING. 15 USE - GRADING PLAN REVIEW

RECOMMND

The permit holder shall submit an application for a grading plan check to be submitted to the County T.L.M.A - Land Use Division for review by the County Planning Department. Said grading plan shall be in conformance with the APPROVED EXHIBITS of this public use permit, in compliance with County Ordinance No. 457, and the conditions of approval.

60.PLANNING. 16 USE - PLANNING DEPT REVIEW

RECOMMND

As part of the plan check review of the proposed grading plan for the subject property, the Department of Building and Safety - Grading Division shall submit a copy of the proposed grading plan, along with the applicable Log/Permit Numbers for reference, to the county Planning Department to be reviewed for compliance with the approved site plan.

60.PLANNING. 17 USE - WASTE MGMT CLEARANCE

RECOMMND

A clearance letter from Riverside County Waste Management District shall be provided to the Riverside County Planning Department verifying compliance with the conditions contained in their letter dated November 22, 2010, summarized as follows:

03/15/11
16:53

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 35

PUBLIC USE PERMIT Case #: PUP00907

Parcel: 466-210-031

60. PRIOR TO GRADING PRMT ISSUANCE

60.PLANNING. 17 USE - WASTE MGMT CLEARANCE (cont.) RECOMMND

PRIOR TO ISSUANCE OF A GRADING PERMIT, the applicant shall submit three (3) copies of a Recyclables Collection and Loading Area plot plan to the Riverside County Waste Management Department for review and approval. The plot plan shall conform to Design Guidelines for Recyclables Collection and Loading Areas, provided by the Waste Management Department, and shall show the location of and access to the collection area for recyclable materials, along with its dimensions and construction detail, including elevation/facade, construction materials and signage. The plot plan shall clearly indicate how the trash and recycling enclosures shall be accessed by the hauler.

TRANS DEPARTMENT

60.TRANS. 1 USE-SBMT/APPVD GRADG PLAN/TRAN RECOMMND

When you submit a grading plan to the Department of Building and Safety, a copy of the grading plan shall be submitted and approved by the Transportation Department prior to a grading permit issuance.

Submit required grading plan to the Transportation Department, Plan Check Section, 8th Floor, 4080 Lemon Street, Riverside, CA.

60.TRANS. 2 USE - OBTAIN L&LMD APPLICATION RECOMMND

Obtain an application from the Transportation Department, L&LMD Section, 8th Floor, 4080 Lemon Street, Riverside, CA, to submit application for required annexation per condition of approval 80.TRANS.3 and 90.TRANS.9.

If you have any questions or for the processing fee amount, please call the L&LMD Section at (951) 955-6748.

60.TRANS. 3 USE - CREDIT/REIMBURSEMENT RECOMMND

In order to receive any fee credit or reimbursement for improvements, the project proponent shall contact the Transportation Department and enter into an agreement for fee credit or reimbursement prior to advertising. All work shall be preapproved by and shall comply with the requirements of the Transportation Department and the public contracts code in order to be eligible for fee credit or reimbursement.

03/15/11
16:53

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 36

PUBLIC USE PERMIT Case #: PUP00907

Parcel: 466-210-031

60. PRIOR TO GRADING PRMT ISSUANCE

60.TRANS. 3 USE - CREDIT/REIMBURSEMENT (cont.)

RECOMMND

To enter into an agreement, please contact our Funding Programs group at (951) 955-1667.

For more information regarding the public work bidding requirements please visit the following link:
http://www.rctlma.org/trans/rbbd_contractbidding.html.

70. PRIOR TO GRADING FINAL INSPECT

EPD DEPARTMENT

70.EPD. 1 EPD- BUOW MONITORIING PLAN

RECOMMND

Documentation indicating that the Burrowing Owl Mitigation and Monitoring Plan approved by the Environmental Programs Division were followed during all phases of grading and that a qualified biological monitor was on site as directed through the mitigation plan. Documentation must be to the satisfaction of the Environmental Programs Division.

PLANNING DEPARTMENT

70.PLANNING. 1 USE - PALEO MONITORING REPORT

RECOMMND

PRIOR TO GRADING FINAL:

The applicant shall submit to the County Geologist one wet-signed copy of the Paleontological Monitoring Report prepared for site grading operations at this site. The report shall be certified by the professionally-qualified Paleontologist responsible for the content of the report. This Paleontologist must be on the County's Paleontology Consultant List. The report shall contain a report of findings made during all site grading activities and an appended itemized list of fossil specimens recovered during grading (if any) and proof of accession of fossil materials into the pre-approved museum repository. In addition, all appropriate fossil location information shall be submitted to the Western Center, the San Bernardino County Museum and Los Angeles County Museum of Natural History, at a minimum, for incorporation into their Regional Locality Inventories.

03/15/11
16:53

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 37

PUBLIC USE PERMIT Case #: PUP00907

Parcel: 466-210-031

80. PRIOR TO BLDG PRMT ISSUANCE

BS GRADE DEPARTMENT

80.BS GRADE. 1 USE - NO B/PMT W/O G/PMT

RECOMMND

Prior to the issuance of any building permit, the property owner shall obtain a grading permit and/or approval to construct from the Building and Safety Department.

80.BS GRADE. 2 USE - ROUGH GRADE APPROVAL

RECOMMND

Prior to the issuance of any building permit, the applicant shall obtain rough grade approval and/or approval to construct from the Building and Safety Department. The Building and Safety Department must approve the completed grading of your project before a building permit can be issued. Rough Grade approval can be accomplished by complying with the following:

1.Submitting a "Wet Signed" copy of the Soils Compaction Report containing substantiating data from the Soils Engineer (registered geologist or certified geologist, civil engineer or geotechnical engineer as appropriate) for his/her certification of the project.

2.Submitting a "Wet Signed" copy of the Rough Grade certification from a Registered Civil Engineer certifying that the grading was completed in conformance with the approved grading plan.

3.Submitting a Contractors Statement of Conformance form (284-259).

4.Requesting a Rough Grade Inspection and obtaining rough grade approval from a Riverside County inspector.

5.Rough Grade Only Permits: In addition to obtaining all required inspections and approval of all final reports, all sites permitted for rough grade only shall provide 100 percent vegetative coverage to stabilize the site prior to receiving a rough grade permit final.

Prior to release for building permit, the applicant shall have met all rough grade requirements to obtain Building and Safety Department clearance.

03/15/11
16:53

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 38

PUBLIC USE PERMIT Case #: PUP00907

Parcel: 466-210-031

80. PRIOR TO BLDG PRMT ISSUANCE

E HEALTH DEPARTMENT

80.E HEALTH. 1 USE - FOOD PLANS REQD

RECOMMND

A total of 3 complete set of plans for each food establishment are needed including a fixture schedule, a finish schedule, and a plumbing schedule in order to ensure compliance with current State and Local regulations.

80.E HEALTH. 2 USE - POOL PLANS REQD

RECOMMND

A set of three complete plans for the swimming pool/spa must be submitted to verify compliance with the California Administrative Code, the California Health and Safety Code and the Uniform Plumbing Code.

EPD DEPARTMENT

80.EPD. 1 EPD- BUOW MONITORING PLAN

RECOMMND

Documentation indicating that the Burrowing Owl Mitigation and Monitoring Plan approved by the Environmental Programs Division were followed during all phases of grading and that a qualified biological monitor was on site as directed through the mitigation plan. Documentation must be to the satisfaction of the Environmental Programs Division.

FIRE DEPARTMENT

80.FIRE. 1 USE-#17A-BLDG PLAN CHECK \$

RECOMMND

Building Plan check deposit base fee of \$1,056.00, shall be paid in a check or money order to the Riverside County Fire Department after plans have been approved by our office.

80.FIRE. 2 USE-#4-WATER PLANS

RECOMMND

The applicant or developer shall separately submit two copies of the water system plans to the Fire Department for review and approval. Calculated velocities shall not exceed 10 feet per second. Plans shall conform to the fire hydrant types, location and spacing, and the system shall meet the fire flow requirements.

Plans shall be signed and approved by a registered civil engineer and the local water company with the following certification: "I certify that the design of the water system is in accordance with the requirements prescribed by

03/15/11
16:53

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 39

PUBLIC USE PERMIT Case #: PUP00907

Parcel: 466-210-031

80. PRIOR TO BLDG PRMT ISSUANCE

80.FIRE. 2 USE-#4-WATER PLANS (cont.)

RECOMMND

the Riverside County Fire Department."

FLOOD RI DEPARTMENT

80.FLOOD RI. 2 USE SUBMIT PLANS

RECOMMND

A copy of the improvement plans, grading plans, BMP improvement plans and any other necessary documentation along with supporting hydrologic and hydraulic calculations shall be submitted to the District for review. The plans must receive District approval prior to the issuance of building permits. All submittals shall be date stamped by the engineer and include a completed Flood Control Deposit Based Fee Worksheet and the appropriate plan check fee deposit.

80.FLOOD RI. 3 USE 3 ITEMS TO ACCEPT FACILITY

RECOMMND

Inspection and maintenance of the flood control facility/ies to be constructed with this development must be performed by either the County Transportation Department or the Flood Control District. The engineer (owner) must request in writing that one of these agencies accept the proposed system. The request shall note the project number, location, briefly describe the system (sizes and lengths) and include an exhibit that shows the proposed alignment. The request to the District shall be addressed to the General Manager-Chief Engineer, Attn: Chief of the Planning Division.

If the District is willing to maintain the proposed facility three items must be accomplished prior to the issuance of a building permit or starting construction of the drainage facility: 1) the developer shall submit to the District the preliminary title reports, plats and legal descriptions for all right of way to be conveyed to the District and secure that right of way to the satisfaction of the District; 2) an agreement with the District and any maintenance partners must be executed which establishes the terms and conditions of inspection, operation and maintenance; and 3) plans for the facility must be signed by the District's General Manager-Chief Engineer. The plans cannot be signed prior to execution of the agreement. An application to draw up an agreement must be submitted to the attention of the District's Administrative Services Section. All right of way transfer

PUBLIC USE PERMIT Case #: PUP00907

Parcel: 466-210-031

80. PRIOR TO BLDG PRMT ISSUANCE

80.FLOOD RI. 3 USE 3 ITEMS TO ACCEPT FACILITY (cont.) RECOMMND

issues must be coordinated with the District's Right of Way Section.

The engineer/developer will need to submit proof of flood control facility bonds and a certificate of insurance to the District's Inspection section before a pre-construction meeting can be scheduled.

80.FLOOD RI. 4 USE WARM SPRINGS VALLEY ADP RECOMMND

The County Board of Supervisors has adopted the Murrieta Creek Area Drainage Plan (ADP) for the purpose of collecting drainage fees. This project may require earlier construction of downstream ADP facilities. to mitigate this effect, the District recommends that this project be required to pay a flood mitigation fee. The mitigation fee should be based upon the fee structures set for land divisions having comparable anticipated impermeable surface areas.

Public Use Permit 907 is located within the limits of the Warm Springs Valley sub-watershed of the Murrieta Creek Area Drainage Plan for which drainage fees have been adopted to help mitigate the impacts of this development. The mitigation charge for this proposal shall equal the prevailing Area Drainage Plan fee rate multiplied by the area of the new development. This new development has a total of 17.1-acres subject to the fee. The charge is payable to the Flood Control District by cashier's check or money order only, and shall be paid after final approval of the staff report/conditions of approval by the Board of Supervisors and prior to issuance of permits.

80.FLOOD RI. 5 USE SUBMIT FINAL WQMP RECOMMND

A copy of the project specific WQMP shall be submitted to the District for review and approval.

80.FLOOD RI. 6 USE ZONE 7 PRESENT WORTH MAINT RECOMMND

All flood control facilities should be constructed to District standards. All facilities that the District will assume for maintenance will require the payment of a one time maintenance charge equal to the "present worth" value of 10 years of maintenance costs at the time of improvement

03/15/11
16:53

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 41

PUBLIC USE PERMIT Case #: PUP00907

Parcel: 466-210-031

80. PRIOR TO BLDG PRMT ISSUANCE

80.FLOOD RI. 6 USE ZONE 7 PRESENT WORTH MAINT (cont.) RECOMMND
plan approval.

PLANNING DEPARTMENT

80.PLANNING. 1 USE - LC LANDSCAPE PLOT PLAN RECOMMND

Prior to issuance of building permits, the developer/permit holder shall file a Landscaping Minor Plot Plan Application to the Riverside County Planning Department for review and approval along with the current fee. The landscaping plans shall be in conformance with the APPROVED EXHIBITS; in compliance with Ordinance No. 348, Section 18.12; Ordinance No. 859; and, be prepared consistent with the County of Riverside Guide to California Friendly Landscaping.

At minimum, plans shall include the following components:

1)Landscape and irrigation working drawings "stamped" by a California certified landscape architect;

2)Weather based controllers and necessary components to eliminate water waste;

3)A copy of the "stamped" approved grading plans; and,

4)Emphasis on native and drought tolerant species.

When applicable, plans shall include the following components:

1)Identification of all common/open space areas;

2)Natural open space areas and those regulated/conserved by the prevailing MSHCP;

3)Shading plans for projects that include parking lots/areas;

4)The use of canopy trees (24" box or greater) within the parking areas;

5)Landscaping plans for slopes exceeding 3 feet in height;

6)Landscaping and irrigation plans associated with entry monuments. All monument locations and dimensions shall be provided on the plan; and/or,

7)If this is a phased development, then a copy of the

03/15/11
16:53

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 42

PUBLIC USE PERMIT Case #: PUP00907

Parcel: 466-210-031

80. PRIOR TO BLDG PRMT ISSUANCE

80.PLANNING. 1 USE - LC LANDSCAPE PLOT PLAN (cont.)

RECOMMND

approved phasing plan shall be submitted for reference.

NOTE:

1)Landscaping plans for areas within the road right-of-way shall be submitted for review and approval by the Transportation Department only. The Planning Department shall not approve landscape plans within the Road Right-of-Way.

)When the Landscaping Plot Plan is located within a special district such as Valley-Wide Recreation and Park District, Jurupa Community Services District, Coachella Valley Water District, a County Service Area (CSA) or other maintenance district, the developer/permit holder shall submit plans for review to the appropriate special district for simultaneous review. The permit holder shall show evidence to the Planning Department that the subject District has approved said plans.

As part of the plan check review process and request for condition clearance, the developer/permit holder shall show proof of the approved landscaping plot plan by providing the Plot Plan number. The planning department shall verify the landscape route is approved and the Plot Plan is in TENTAPPR status. Upon verification of compliance with this condition and the APPROVED EXHIBITS, the Planning Department shall clear this condition.

80.PLANNING. 2 USE - LC LANDSCAPE SECURITIES

RECOMMND

Prior to the issuance of building permits, the developer/permit holder shall submit an estimate to replace plantings, irrigation systems, ornamental landscape elements, walls and/or fences, in amounts to be approved by the Riverside County Planning Department, Landscape Division. Once the Planning Department has approved the estimate, the developer/permit holder shall submit the estimate to the Riverside County Department of Building and Safety who will then provide the developer/permit holder with the requisite forms. The required forms shall be completed and submitted to Building and Safety for processing and review in conjunction with County Counsel. Upon determination of compliance, the Department of Building and Safety shall clear this condition.

NOTE:

PUBLIC USE PERMIT Case #: PUP00907

Parcel: 466-210-031

80. PRIOR TO BLDG PRMT ISSUANCE

80.PLANNING. 2 USE - LC LANDSCAPE SECURITIES (cont.) RECOMMND

A cash security shall be required when the estimated cost is \$2,500.00 or less. It is highly encouraged to allow adequate time to ensure that securities are in place. The performance security shall be released following a successful completion of the One Year Post-Establishment Inspection, and the inspection report confirms that the planting and irrigation components are thriving and in good working order consistent with the approved landscaping plans.

80.PLANNING. 4 USE - LOT LINE ADJUSTMENT RECOMMND

The permit holder shall file an application for Lot Line Adjustment with the County Planning Department, for review and approval, in accordance with County Ordinance No. 460, Section 20.1. The Lot Line Adjustment application shall relocate the common lot line between Parcel 3 of PM18607 (APN: 466-210-031) and Parcel 4 of PM18607 (APN: 466-210-032), as indicated on approved Exhibit A. The proposed parcels shall comply with the development standards of the Residential Agricultural - 5 Acre Minimum (R-A-5) zone. The Planning Department shall approve the lot line adjustment and the permit holder shall thereafter provide proof of recordation of the notice of lot line adjustment and new owner deed(s) to the Planning Department.

This condition shall be considered MET if Condition Of Approval No. 60.PLANNING.08 is satisfied.

80.PLANNING. 5 USE - CONFORM TO ELEVATIONS RECOMMND

Elevations of all buildings and structures submitted for building plan check approval shall be in substantial conformance with the elevations shown on APPROVED EXHIBIT B.

80.PLANNING. 6 USE - CONFORM TO FLOOR PLANS RECOMMND

Floor plans shall be in substantial conformance with that shown on APPROVED EXHIBIT C.

80.PLANNING. 7 USE - ROOF EQUIPMENT SHIELDING RECOMMND

Roof mounted equipment shall be shielded from ground view. Screening material shall be subject to Planning Department

03/15/11
16:53

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 44

PUBLIC USE PERMIT Case #: PUP00907

Parcel: 466-210-031

80. PRIOR TO BLDG PRMT ISSUANCE

80.PLANNING. 7 USE - ROOF EQUIPMENT SHIELDING (cont.) RECOMMND
approval.

80.PLANNING. 13 USE - PLANS SHOWING BIKE RACKS RECOMMND
Bike rack spaces or bike lockers shall be shown on the project's parking and landscaping plan submitted to the Planning Department for approval.

80.PLANNING. 18 USE - WASTE MGMT CLEARANCE RECOMMND
A clearance letter from Riverside County Waste Management District shall be provided to the Riverside County Planning Department verifying compliance with the conditions contained in their letter dated November 22, 2010, summarized as follows:

PRIOR TO ISSUANCE OF A BUILDING PERMIT OR DEMOLITON PERMIT, a Waste Recycling Plan (WRP) shall be submitted to the Waste Management Department for approval. At a minimum, the WRP must identify the materials (i.e., concrete, asphalt, wood, etc.) that will be generated by construction and development, the projected amounts, the measures/methods that will be taken to recycle, reuse, and/or reduce the amount of materials, the facilities and/or haulers that will be utilized, and the targeted recycling or reduction rate. Arrangements can be made through the franchise hauler.

80.PLANNING. 19 USE - SCHOOL MITIGATION RECOMMND
Impacts to the Menifee Union & Perris Union High School District shall be mitigated in accordance with California State law.

80.PLANNING. 20 USE - LIGHTING PLANS RECOMMND
All parking lot lights and other outdoor lighting shall be shown on electrical plans submitted to the Department of Building and Safety for plan check approval and shall comply with the requirements of Riverside County Ordinance No. 655 and the Riverside County General Plan.

80.PLANNING. 21 USE - FEE STATUS RECOMMND
Prior to issuance of building permits for Public Use Permit No. 907, the Planning Department shall determine the

03/15/11
16:53

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 45

PUBLIC USE PERMIT Case #: PUP00907

Parcel: 466-210-031

80. PRIOR TO BLDG PRMT ISSUANCE

80.PLANNING. 21 USE - FEE STATUS (cont.)

RECOMMND

status of the deposit based fees for project. If the case fees are in a negative state, the permit holder shall pay the outstanding balance.

80.PLANNING. 22 USE - TITLE 24 BLD EFF STNDARD

RECOMMND

Construction of all nonresidential buildings or structures shall exceed the energy standards of the 2008 Building Efficiency Standards as set forth in the 2008 California Energy Code (Title 24, Part 6 of the California Code of Regulations) by a minimum of five percent (5%) in aggregate. Submission of a Title 24 worksheet with building plans for each implementing development project shall be required by the Department of Building and Safety in order to obtain a building permit and set the condition to MET status. The worksheet shall include both the calculations showing the minimum Title 24 compliance requirements and calculations for the implementing development project. Compliance is determined by comparing the energy use of the proposed development to a minimally Title 24 compliant development. The calculations must be from an energy analysis computer program approved by the California Energy Commission in accordance with Title 24, Part 6, Article 1, Section 10-109.

TRANS DEPARTMENT

80.TRANS. 1 USE - R-O-W DEDICATION 1/SUR

RECOMMND

Sufficient public street right-of-way along La Ventana Road shall be conveyed for public use to provide for a 50'- 62 foot half-width right-of-way per County Standard No. 94, Ordinance 461, Sheets (1 of 2) and (2 of 2).

Sufficient public street right-of-way along Wickerd Road shall be conveyed for public use to provide for a 50 foot half-width right-of-way per County Standard No. 94, Ordinance 461.

Sufficient public street right-of-way along El Centro Road shall be conveyed for public use to provide for a 33 foot half-width right-of-way per County Standard No. 104, Section "A", Ordinance 461.

03/15/11
16:53

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 46

PUBLIC USE PERMIT Case #: PUP00907

Parcel: 466-210-031

80. PRIOR TO BLDG PRMT ISSUANCE

80.TRANS. 2 USE-MAP CORNER CUT-BACK I/SUR

RECOMMND

All corner cutbacks shall be applied per Standard 805,
Ordinance 461.

80.TRANS. 3 USE - ANNEX L&LMD/OTHER DIST

RECOMMND

Prior to the issuance of a building permit, the project proponent shall comply with County requirements within public road rights-of-way, in accordance with Ordinance 461. Assurance of maintenance is required by filing an application for annexation to Landscaping and Lighting Maintenance District No. 89-1-Consolidated by contacting the Transportation Department at (951)955-6767, and/or any other maintenance district approved by the Transportation Department or by processing and filing a 'Landscape Maintenance Agreement' through the Transportation Department Plan Check Division. Said annexation should include the following:

- (1) Landscaping along Wickerd Road and La Ventana Road.
- (2) Streetlights.
- (3) Traffic signals located on Briggs Road
at intersection of Scott Road.
- (4) Street sweeping.

For street lighting, the project proponent shall contact the Transportation Department L&LMD 89-1-C Administrator and submit the following:

- (1) Completed Transportation Department application.
- (2) Appropriate fees for annexation.
- (3) (2) sets of street lighting plans approved by
Transportation Department.
- (4) "Streetlight Authorization" form from SCE, IID or
other electric provider.

80.TRANS. 4 USE - LIGHTING PLAN

RECOMMND

A separate street light plan is required for this project. Street lighting shall be designed in accordance with County Ordinance 460 and Streetlight Specification Chart found in

03/15/11
16:53

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 47

PUBLIC USE PERMIT Case #: PUP00907

Parcel: 466-210-031

80. PRIOR TO BLDG PRMT ISSUANCE

80.TRANS. 4 USE - LIGHTING PLAN (cont.)

RECOMMND

Specification Section 22 of Ordinance 461. For projects within SCE boundaries use County of Riverside Ordinance 461, Standard No. 1000 or No. 1001. For projects within Imperial Irrigation District (IID) use IID's pole standard.

80.TRANS. 5 USE - LANDSCAPING

RECOMMND

Landscaping within public road right-of-way shall comply with Transportation Department standards, Ordinance 461, Comprehensive Landscaping Guidelines & Standards, and Ordinance 859 and shall require approval by the Transportation Department.

Landscaping plans shall be designed within Wickerd Road and La Ventana Road and submitted to the Transportation Department. Landscaping plans shall be submitted on standard County plan sheet format (24" x 36"). Landscaping plans shall be submitted with the street improvement plans.

80.TRANS. 6 USE - TS/SCHOOL HOURS

RECOMMND

The start time for the elementary school, junior high, and high school shall be spaced at intervals of no less than 30 minutes apart. The end time for the elementary school, junior high, and high school shall be spaced no less than 30 minutes apart.

80.TRANS. 7 USE - TS/DESIGN

RECOMMND

The project proponent shall be responsible for the design of traffic signal(s) at the intersections of:

Signal(s) not eligible for fee credit:

Briggs Road (NS) at Scott Road (EW) (signal modification, see geometrics)

or as approved by the Transportation Department.

For improvements eligible for fee credit, the project proponent shall contact the Transportation Department and enter into an agreement for signal mitigation fee credit or reimbursement prior to start of construction of the signal.

All work shall be pre-approved by and shall comply with the requirements of the Transportation Department and the public contract code in order to be eligible for fee credit or reimbursement.

03/15/11
16:53

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 48

PUBLIC USE PERMIT Case #: PUP00907

Parcel: 466-210-031

80. PRIOR TO BLDG PRMT ISSUANCE

80.TRANS. 8

USE - TS/GEOMETRICS

RECOMMND

The intersection of El Centro Road (NS) at Project Driveway North (EW) shall be improved to provide the following geometrics:

Northbound: one shared through and right-turn lane
Southbound: one shared left-turn and through lane
Eastbound: N/A
Westbound: one shared left-turn lane and right-turn lane
- stop controlled

The intersection of El Centro Road (NS) at Project Driveway South (EW) shall be improved to provide the following geometrics:

Northbound: One shared through and right-turn lane
Southbound: one shared left-turn and through lane
Eastbound: N/A
Westbound: one shared left-turn lane and right-turn lane
- stop controlled

The intersection of El Centro Road (NS) at Wickerd Road (EW) shall be improved to provide the following geometrics:

Northbound: N/A
Southbound: one shared left-turn and right-turn lane
- stop controlled
Eastbound: one shared left-turn and through lane
Westbound: one shared through and right-turn lane

The intersection of Project Driveway West (NS) at Wickerd Road (EW) shall be improved to provide the following geometrics:

Northbound: N/A
Southbound: one shared left-turn and right-turn lane
- stop controlled
Eastbound: one through lane
Westbound: one through lane

The intersection of Project Driveway East (NS) at Wickerd Road (EW) shall be improved to provide the following geometrics:

Northbound: N/A
Southbound: one shared left-turn and right-turn lane
- stop controlled

03/15/11
16:53

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 49

PUBLIC USE PERMIT Case #: PUP00907

Parcel: 466-210-031

80. PRIOR TO BLDG PRMT ISSUANCE

80.TRANS. 8

USE - TS/GEOMETRICS (cont.)

RECOMMND

Eastbound: one shared left-turn and through lane
Westbound: one shared through and right-turn lane

The intersection of Briggs Road (NS) at Scott Road (EW)
shall be improved to provide the following geometrics:

Northbound: one shared left-turn, through, and right-turn
lane

Southbound: one shared left-turn and through lane, one
right-turn lane

Eastbound: one left-turn lane, two through lanes

Westbound: one left-turn lane, two through lanes, one
right-turn lane

Note: The project proponent shall improve the eastbound
left-turn lane to provide 350' of storage.

or as approved by the Transportation Department.

All improvements listed are requirements for interim
conditions only. Full right-of-way and roadway half
sections adjacent to the property for the ultimate roadway
cross-section per the County's Road Improvement Standards
and Specifications must be provided.

Any off-site widening required to provide these geometrics
shall be the responsibility of the landowner/developer.

90. PRIOR TO BLDG FINAL INSPECTION

BS GRADE DEPARTMENT

90.BS GRADE. 1

USE - WQMP BMP INSPECTION

RECOMMND

Prior to final building inspection, the applicant shall
obtain inspection of all treatment controlled BMPs and/or
clearance from the Building and Safety Department. All
structural BMPs described in the project - specific WQMP
and indicated on the approved grading plan shall be
constructed and installed in conformance with the approved
plans and specifications. The Building and Safety
Department must inspect and approve the completed WQMP
treatment controlled BMPs for your project before a
building final can be obtained.

03/15/11
16:53

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 50

PUBLIC USE PERMIT Case #: PUP00907

Parcel: 466-210-031

90. PRIOR TO BLDG FINAL INSPECTION

90.BS GRADE. 3 USE - BMP GPS COORDINATES

RECOMMND

Prior to final building inspection, the applicant/owner shall provide the Department of Building Safety with GPS coordinates for the location of the project - specific WQMP treatment controlled BMPs.

90.BS GRADE. 4 USE - BMP REGISTRATION

RECOMMND

Prior to final building inspection, the applicant/owner shall register the project - specific WQMP treatment controlled BMPs with the Department of Building Safety Business Registration Division. Any person or entity that owns or operates a commercial and/or industrial facility shall register such facility for annual inspections.

90.BS GRADE. 5 USE - REQ'D GRADING INSP'S

RECOMMND

The developer / applicant shall be responsible for obtaining the following inspections required by Ordinance 457.

- 1.Sub-grade inspection prior to base placement.
- 2.Base inspection prior to paving.
- 3.Precise grade inspection of entire permit area.
 - a.Inspection of Final Paving
 - b.Precise Grade Inspection
 - c.Inspection of onsite storm drain facilities
 - d.Inspection of the WQMP treatment controlled BMPs

90.BS GRADE. 6 USE - PRECISE GRDG APPROVAL

RECOMMND

Prior to final building inspection, the applicant shall obtain precise grade approval and/or clearance from the Building and Safety Department. The Building and Safety Department must approve the precise grading of your project before a building final can be obtained. Precise Grade approval can be accomplished by complying with the following:

- 1.Requesting and obtaining approval of all required grading inspections.
- 2.Submitting a "Wet Signed" copy of the Soils Compaction Report from the Soils Engineer (registered geologist or

03/15/11
16:53

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 51

PUBLIC USE PERMIT Case #: PUP00907

Parcel: 466-210-031

90. PRIOR TO BLDG FINAL INSPECTION

90.BS GRADE. 6 USE - PRECISE GRDG APPROVAL (cont.) RECOMMND

certified geologist, civil engineer or geotechnical engineer as appropriate) for the sub-grade and base of all paved areas.

3.Submitting a "Wet Signed" copy of the Sub-grade (rough) Certification from a Registered Civil Engineer certifying that the sub-grade was completed in conformance with the approved grading plan.

4.Submitting a "Wet Signed" copy of the Precise (Final) Grade Certification for the entire site from a Registered Civil Engineer certifying that the precise grading was completed in conformance with the approved grading plan.

5.Submitting a "Wet Signed" copy of the Certification certifying the installation of any onsite storm drain systems not inspected by Riverside County Flood Control District or the Riverside County Transportation Department.

6.Submitting a "Wet Signed" copy of the Water Quality Management Plan (WQMP) Certification from a Registered Civil Engineer certifying that the Water Quality Management Plan treatment controlled BMPs have been installed in accordance with the approved WQMP.

Prior to release for building final, the applicant shall have met all precise grade requirements to obtain Building and Safety Department clearance.

E HEALTH DEPARTMENT

90.E HEALTH. 1 USE - HAZMAT BUS PLAN RECOMMND

The facility will require a business emergency plan for the storage of hazardous materials greater than 55 gallons, 200 cubic feet or 500 pounds, or any acutely hazardous materials or extremely hazardous substances.

90.E HEALTH. 2 USE - HAZMAT REVIEW RECOMMND

If further review of the site indicates additional environmental health issues, the Hazardous Materials Management Division reserves the right to regulate the business in accordance with applicable County Ordinances.

03/15/11
16:53

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 52

PUBLIC USE PERMIT Case #: PUP00907

Parcel: 466-210-031

90. PRIOR TO BLDG FINAL INSPECTION

90.E HEALTH. 3 USE - HAZMAT CONTACT

RECOMMND

Contact a Hazardous Materials Specialist, Hazardous Materials Management Division, at (951) 358-5055 for any additional requirements.

FIRE DEPARTMENT

90.FIRE. 1 USE-#45-FIRE LANES

RECOMMND

The applicant shall prepare and submit to the Fire Department for approval, a site plan designating required fire lanes with appropriate lane painting and/or signs.

90.FIRE. 2 USE-#66-DISPLAY BOARDS

RECOMMND

Display Boards will be as follows: Each complex shall have an illuminated diagrammatic representation of the actual layout which shows name of complex, all streets, building designators, unit members, and fire hydrant locations within dimension and located next to roadway access. The minimum size shall be no less than 4 feet x 4 feet.

90.FIRE. 3 USE-#12A-SPRINKLER SYSTEM

RECOMMND

Install a complete fire sprinkler system per NFPA 13 2010 edition in all buildings requiring a fire flow of 1500 GPM or greater. Sprinkler system(s) with pipe sizes in excess of 4" in diameter will require the project structural engineer to certify (wet signature) the stability of the building system for seismic and gravity loads to support the sprinkler system. All fire sprinkler risers shall be protected from any physical damage. The post indicator valve and fire department connection shall be located to the front, within 50 feet of a hydrant, and a minimum of 25 feet from the building(s). A statement that the building(s) will be automatically fire sprinkled must be included on the title page of the building plans.

Applicant or developer shall be responsible to install a U.L. Central Station Monitored Fire Alarm System. Monitoring system shall monitor the fire sprinkler system(s) water flow, P.I.V.'s and all control valves. Plans must be submitted to the Fire Department for approval prior to installation. Contact fire department for guideline handout

03/15/11
16:53

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 53

PUBLIC USE PERMIT Case #: PUP00907

Parcel: 466-210-031

90. PRIOR TO BLDG FINAL INSPECTION

90.FIRE. 4 USE-#83-AUTO/MAN FIRE ALARM

RECOMMND

Applicant or developer shall be responsible to install a manual and automatic Fire Alarm System. Plans must be submitted to the Fire Department for approval prior to installation.

90.FIRE. 5 USE-#27-EXTINGUISHERS

RECOMMND

Install portable fire extinguishers with a minimum rating of 2A-10BC and signage. Fire Extinguishers located in public areas shall be in recessed cabinets mounted 48" (inches) to center above floor level with maximum 4" projection from the wall. Contact Fire Department for proper placement of equipment prior to installation.

90.FIRE. 6 USE-#36-HOOD DUCTS

RECOMMND

A U.L. 300 hood duct fire extinguishing system must be installed over the cooking equipment. Wet chemical extinguishing system must provide automatic shutdown of all electrical componets and outlets under the hood upon activation. System must be installed by a licensed C-16 contractor. Plans must be submitted with current fee to the Fire Department for review and approval prior to installation.

NOTE: A dedicated alarm system is not required to be installed for the exclusive purpose of monitoring this suppression system. However, a new or pre-existing alarm system must be connected to the extinguishing system. (* separate fire alarm plans must be submitted for connection)

FLOOD RI DEPARTMENT

90.FLOOD RI. 2 USE BMP - EDUCATION

RECOMMND

The developer shall distribute environmental awareness education materials on general good housekeeping practices that contribute to protection of stormwater quality to all initial users. The developer may obtain NPDES Public Educational Program materials from the District's NPDES Section by either the District's website www.floodcontrol.co.riverside.ca.us, e-mail fcnpdes@co.riverside.ca.us, or the toll free number 1-800-506-2555. Please provide Project number, number of

03/15/11
16:53

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 54

PUBLIC USE PERMIT Case #: PUP00907

Parcel: 466-210-031

90. PRIOR TO BLDG FINAL INSPECTION

90.FLOOD RI. 2 USE BMP - EDUCATION (cont.)

RECOMMND

units and location of development. Note that there is a five-day minimum processing period requested for all orders.

The developer must provide to the District's PLAN CHECK Department a notarized affidavit stating that the distribution of educational materials to the tenants is assured prior to the issuance of occupancy permits.

90.FLOOD RI. 3 USE IMPLEMENT WQMP

RECOMMND

All structural BMPs described in the project-specific WQMP shall be constructed and installed in conformance with approved plans and specifications. It shall be demonstrated that the applicant is prepared to implement all non-structural BMPs described in the approved project specific WQMP and that copies of the approved project-specific WQMP are available for the future owners/occupants. The District will not release occupancy permits for any portion of the project exceeding 80% of the project area prior to the completion of these tasks.

90.FLOOD RI. 5 USE BMP MAINTENANCE & INSPECT

RECOMMND

The BMP maintenance plan shall contain provisions for all treatment controlled BMPs to be inspected, and if required, cleaned no later than October 15 each year. Required documentation shall identify the entity that will inspect and maintain all structural BMPs within the project boundaries. A copy of all necessary documentation shall be submitted to the District for review and approval prior to the issuance of occupancy permits.

PLANNING DEPARTMENT

90.PLANNING. 1 USE - LC LNDSCP INSPECT DEPOST

RECOMMND

Prior to building permit final inspection, the developer/permit holder shall file an Inspection Request Form and deposit sufficient funds to cover the costs of Installation, Six Month Establishment, and One Year Post-Establishment inspections. In the event that an open landscape case is not available, then the applicant shall open a FEE ONLY case to conduct inspections. The deposit required for landscape inspections shall be determined by the Riverside County Landscape Division. The Planning

03/15/11
16:53

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 55

PUBLIC USE PERMIT Case #: PUP00907

Parcel: 466-210-031

90. PRIOR TO BLDG FINAL INSPECTION

90.PLANNING. 1 USE - LC LNDSCP INSPECT DEPOST (cont.) RECOMMND

Department shall clear this condition upon determination of compliance.

90.PLANNING. 2 USE - LC COMPLY W/ LNDSCP/ IRR RECOMMND

The developer/permit holder shall coordinate with their designated landscape representative and the Riverside County Planning Department's landscape inspector to ensure all landscape planting and irrigation systems have been installed in accordance with APPROVED EXHIBITS, landscaping, irrigation, and shading plans. The Planning Department will ensure that all landscaping is healthy, free of weeds, disease and pests; and, irrigation systems are properly constructed and determined to be in good working order. The developer/permit holder's designated landscape representative and the Riverside County Planning Department's landscape inspector shall determine compliance with this condition and execute a Landscape Certificate of Completion. Upon determination of compliance, the Planning Department shall clear this condition.

90.PLANNING. 3 GEN - CULTURAL RESOURCES RPT RECOMMND

Prior to final inspection of the first building permit, the developer/permit holder shall prompt the Cultural Resources Professional to submit two (2) copies of a Phase IV Cultural Resources Monitoring Report that complies with the Riverside County Planning Department's requirements for such reports. The report shall include evidence of the required cultural/historical sensitivity training for the construction staff held during the pre-grade meeting. The Planning Department shall review the report to determine adequate mitigation compliance. Provided the report is adequate, the Planning Department shall clear this condition.

90.PLANNING. 6 USE - PARKING PAVING MATERIAL RECOMMND

A minimum of two hundred thirty seven (237) parking spaces shall be provided as shown on the APPROVED EXHIBIT A, unless otherwise approved by the Planning Department. The parking area shall be surfaced with asphaltic concrete or concrete to current standards as approved by the Department of Building and Safety.

03/15/11
16:53

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 56

PUBLIC USE PERMIT Case #: PUP00907

Parcel: 466-210-031

90. PRIOR TO BLDG FINAL INSPECTION

90.PLANNING. 7 USE - ACCESSIBLE PARKING

RECOMMND

A minimum of ten (10) accessible parking spaces for persons with disabilities shall be provided as shown on APPROVED EXHIBIT A. Each parking space reserved for persons with disabilities shall be identified by a permanently affixed reflectorized sign constructed of porcelain on steel, beaded text or equal, displaying the International Symbol of Accessibility. The sign shall not be smaller than 70 square inches in area and shall be centered at the interior end of the parking space at a minimum height of 80 inches from the bottom of the sign to the parking space finished grade, or centered at a minimum height of 36 inches from the parking space finished grade, ground, or sidewalk. A sign shall also be posted in a conspicuous place, at each entrance to the off-street parking facility, not less than 17 inches by 22 inches, clearly and conspicuously stating the following:

"Unauthorized vehicles not displaying distinguishing placards or license plates issued for physically handicapped persons may be towed away at owner's expense. Towed vehicles may be reclaimed by telephoning the local sheriff's office."

In addition to the above requirements, the surface of each parking space shall have a surface identification sign duplicating the symbol of accessibility in blue paint of at least 3 square feet in size.

90.PLANNING. 11 USE - ROOF EQUIPMENT SHIELDING

RECOMMND

Roof-mounted equipment shall be shielded from ground view. Screening material shall be subject to Planning Department approval.

90.PLANNING. 13 USE - INSTALL BIKE RACKS

RECOMMND

A bicycle rack with a minimum of eighteen (18) spaces shall be provided in convenient locations to facilitate bicycle access to the project area as shown on APPROVED EXHIBIT L. The bicycle racks shall be shown on project landscaping and improvement plans submitted for Planning Department approval, and shall be installed in accordance with those plans.

03/15/11
16:53

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 57

PUBLIC USE PERMIT Case #: PUP00907

Parcel: 466-210-031

90. PRIOR TO BLDG FINAL INSPECTION

90.PLANNING. 14 USE - UTILITIES UNDERGROUND

RECOMMND

All utilities, except electrical lines rated 33 kV or greater, shall be installed underground. If the permittee provides to the Department of Building and Safety and the Planning Department a definitive statement from the utility provider refusing to allow underground installation of the utilities they provide, this condition shall be null and void with respect to that utility.

90.PLANNING. 15 USE - CURBS ALONG PLANTERS

RECOMMND

A six inch high curb with a twelve (12) inch wide walkway shall be constructed along planters on end stalls adjacent to automobile parking areas. Public parking areas shall be designed with permanent curb, bumper, or wheel stop or similar device so that a parked vehicle does not overhang required sidewalks, planters, or landscaped areas.

90.PLANNING. 18 USE - TRASH ENCLOSURES

RECOMMND

Three (3) trash enclosures which are adequate to enclose a minimum of two (2) bins shall be located as shown on the APPROVED EXHIBIT A, and shall be constructed prior to the issuance of occupancy permits. The enclosure(s) shall be a minimum of six (6) feet in height and shall be made with masonry block with landscaping screening, above trellis and a solid gate which screens the bins from external view. Additional enclosed area for collection of recyclable materials shall be located within, near or adjacent to each trash and rubbish disposal area. The recycling collection area shall be a minimum of fifty percent (50%) of the area provided for the trash/rubbish enclosure(s) or as approved by the Riverside County Waste Management Department. All recycling bins shall be labeled with the universal recycling symbol and with signage indicating to the users the type of material to be deposited in each bin.

90.PLANNING. 21 USE - REMOVE OUTDOOR ADVERTISE

RECOMMND

All existing outdoor advertising displays, signs or billboards shall be removed.

90.PLANNING. 22 USE - WALL & FENCE LOCATIONS

RECOMMND

Wall and/or fence locations shall be in conformance with APPROVED EXHIBIT A.

03/15/11
16:53

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 58

PUBLIC USE PERMIT Case #: PUP00907

Parcel: 466-210-031

90. PRIOR TO BLDG FINAL INSPECTION

90.PLANNING. 23 USE - PHASES MUST BE COMPLETE

RECOMMND

If the project has been phased, all facilities meant to serve the current phase of development shall be installed in a usable condition. Project landscaping may not all be deferred until the final phase.

90.PLANNING. 25 USE - WASTE MGMT CLEARANCE

RECOMMND

A clearance letter from Riverside County Waste Management District shall be provided to the Riverside County Planning Department verifying compliance with the conditions contained in their letter dated November 22, 2010, summarized as follows:

1. PRIOR TO ISSUANCE OF AN OCCUPANCY PERMIT FOR EACH CONSTRUCTION PHASE, the applicant shall construct the recyclables collection and loading area in compliance with the Recyclables Collection and Loading Area plot plan, as approved and stamped by the Riverside County Waste Management Department and as verified by the Riverside County Building and Safety Department through site inspection.

2. PRIOR TO ISSUANCE OF AN OCCUPANCY PERMIT, evidence (i.e., receipts or other type of verification) to demonstrate project compliance with the approved WRP shall be presented by the project proponent to the Planning/Recycling Division of the Riverside County Waste Management Department in order to clear the project for occupancy permit.

90.PLANNING. 26 USE - SKR FEE CONDITION

RECOMMND

Prior to the issuance of a certificate of occupancy, or upon building permit final inspection, whichever comes first, the applicant shall comply with the provisions of Riverside County Ordinance No. 663, which generally requires the payment of the appropriate fee set forth in that ordinance.

The amount of the fee required to be paid may vary, depending upon a variety of factors, including the type of development application submitted and the applicability of any fee reduction or exemption provisions contained in Riverside County Ordinance No. 663. Said fee shall be calculated on the approved development project which is anticipated to be 25 acres (gross) in accordance with

03/15/11
16:53

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 59

PUBLIC USE PERMIT Case #: PUP00907

Parcel: 466-210-031

90. PRIOR TO BLDG FINAL INSPECTION

90.PLANNING. 26 USE - SKR FEE CONDITION (cont.) RECOMMND

APPROVED EXHIBIT A. If the development is subsequently revised, this acreage amount may be modified in order to reflect the revised development project acreage amount. In the event Riverside County Ordinance No. 663 is rescinded, this condition will no longer be applicable. However, should Riverside County Ordinance No. 663 be rescinded and superseded by a subsequent mitigation fee ordinance, payment of the appropriate fee set forth in that ordinance shall be required.

90.PLANNING. 27 USE - CONDITION COMPLIANCE RECOMMND

The Department of Building and Safety shall verify that the Development Standards of this approval and all other preceding conditions have been complied with prior to any use allowed by this permit.

90.PLANNING. 30 USE - ORD 810 O S FEE (2) RECOMMND

Prior to the issuance of a certificate of occupancy, or upon building permit final inspection prior to use or occupancy for cases without final inspection or certificate of occupancy (such as an SMP), whichever comes first, the applicant shall comply with the provisions of Riverside County Ordinance No. 810, which requires the payment of the appropriate fee set forth in the Ordinance. The amount of the fee will be based on the "Project Area" as defined in the Ordinance and the aforementioned Condition of Approval. The Project Area for Public Use Permit No. 907 is calculated to be 24.56 net acres. In the event Riverside County Ordinance No. 810 is rescinded, this condition will no longer be applicable. However, should Riverside County Ordinance No. 810 be rescinded and superseded by a subsequent mitigation fee ordinance, payment of the appropriate fee set forth in that ordinance shall be required.

90.PLANNING. 31 USE - ORD NO. 659 (DIF) RECOMMND

Prior to the issuance of either a certificate of occupancy or prior to building permit final inspection, the applicant shall comply with the provisions of Riverside County Ordinance No. 659, which requires the payment of the appropriate fee set forth in the Ordinance. Riverside County Ordinance No. 659 has been established to set forth policies, regulations and fees related to the funding and

03/15/11
16:53

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 60

PUBLIC USE PERMIT Case #: PUP00907

Parcel: 466-210-031

90. PRIOR TO BLDG FINAL INSPECTION

90.PLANNING. 31 USE - ORD NO. 659 (DIF) (cont.)

RECOMMND

installation of facilities and the acquisition of open space and habitat necessary to address the direct and cumulative environmental effects generated by new development project described and defined in this Ordinance, and it establishes the authorized uses of the fees collected.

The amount of the fee for commercial or industrial development shall be calculated on the basis of the "Project Area," as defined in the Ordinance, which shall mean the net area, measured in acres, from the adjacent road right-of-way to the limits of the project development. The Project Area for Public Use Permit No. 907 has been calculated to be 24.56 net acres.

In the event Riverside County Ordinance No. 659 is rescinded, this condition will no longer be applicable. However, should Riverside County Ordinance No. 659 be rescinded and superseded by a subsequent mitigation fee ordinance, payment of the appropriate fee set forth in that ordinance shall be required.

TRANS DEPARTMENT

90.TRANS. 1 USE - OFF-SITE INFO

RECOMMND

The off-site rights-of-way required for said access road shall be accepted to vest title in the name of the public if not already accepted.

90.TRANS. 2 USE - SIGNING & STRIPING

RECOMMND

A signing and striping plan is required for this project. The project proponent shall be responsible for any additional paving and/or striping removal caused by the striping plan. Traffic signing and striping shall be performed by County forces with all incurred costs borne by the applicant, unless otherwise approved by the County Traffic Engineer.

90.TRANS. 3 USE STREETLIGHT AUTHORIZATION

RECOMMND

Prior to OCCUPANCY, the project proponent shall submit to Transportation Department Permits the following:

1. "Streetlight Authorization" form approved by L&LMD No.

03/15/11
16:53

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 61

PUBLIC USE PERMIT Case #: PUP00907

Parcel: 466-210-031

90. PRIOR TO BLDG FINAL INSPECTION

90.TRANS. 3 USE STREETLIGHT AUTHORIZATION (cont.) RECOMMND

89-1-C Administrator.

2. Letter establishing interim energy account from SCE, IID or other electric provider.

90.TRANS. 4 USE - STREETLIGHTS INSTALL RECOMMND

Install streetlights along the streets associated with development in accordance with the approved street lighting plan and standards of County Ordinances 460 and 461. For projects within IID use IID's pole standard.

Streetlight annexation into L&LMD or similar mechanism as approved by the Transportation Department shall be completed.

It shall be the responsibility of the developer to ensure that streetlights are energized along the streets associated with this development where the developer is seeking Building Final Inspection (Occupancy).

90.TRANS. 5 USE - UTILITY PLAN RECOMMND

Electrical power, telephone, communication, street lighting, and cable television lines shall be designed to be placed underground in accordance with Ordinance 460 and 461, or as approved by the Transportation Department. The applicant is responsible for coordinating the work with the serving utility company. This also applies to existing overhead lines which are 33.6 kilovolts or below along the project frontage and between the nearest poles offsite in each direction of the project site. A disposition note describing the above shall be reflected on design improvement plans whenever those plans are required. A written proof for initiating the design and/or application of the relocation issued by the utility company shall be submitted to the Transportation Department for verification purposes.

90.TRANS. 6 USE - UTILITY INSTALL RECOMMND

Electrical power, telephone, communication, street lighting, and cable television lines shall be placed underground in accordance with Ordinance 460 and 461, or as approved by the Transportation Department. This also applies to existing overhead lines which are 33.6 kilovolts

03/15/11
16:53

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 62

PUBLIC USE PERMIT Case #: PUP00907

Parcel: 466-210-031

90. PRIOR TO BLDG FINAL INSPECTION

90.TRANS. 6 USE - UTILITY INSTALL (cont.) RECOMMND

or below along the project frontage and between the nearest poles offsite in each direction of the project site.

A certificate should be obtained from the pertinent utility company and submitted to the Department of Transportation as proof of completion.

90.TRANS. 7 USE-DEDICATIONS/ACCEPTANCE RECOMMND

The applicant shall provide two offsite access roads from the project site to a publicly maintained road to the satisfaction of Transportation.

If there were previously dedicated public roads and utility easements but not accepted by the County, and if acceptance of said roads and easement is needed to satisfy this requirement, the applicant shall file a separate application to the County of Riverside, Office of the County Surveyor, for the acceptance of the existing dedications by resolution. All costs incurred to satisfy this condition shall be paid by the applicant.

90.TRANS. 8 USE - R & B B D RECOMMND

Prior to the time of issuance of a Certificate of Occupancy or upon final inspection, whichever occurs first, the project proponent shall pay fees in accordance with Zone "A" of the Scott Road and Bridge Benefit District.

NOTE: The project gross acreage is 25 acres.

90.TRANS. 9 USE - ANNEX L&LMD/OTHER DIST RECOMMND

Prior to issuance of an occupancy permit, the project proponent shall complete annexation to Landscaping and Lighting Maintenance District No. 89-1-Consolidated, and/or any other maintenance district approved by the Transportation Department or by processing and filing a 'Landscape Maintenance Agreement' through the Transportation Department Plan Check Division for continuous maintenance within public road rights-of-way, in accordance with Ordinance 461, Comprehensive Landscaping Guidelines & Standards, and Ordinance 859. Said annexation should include the following:

- (1) Landscaping along Wickerd Road and La Ventana Road.

03/15/11
16:53

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 63

PUBLIC USE PERMIT Case #: PUP00907

Parcel: 466-210-031

90. PRIOR TO BLDG FINAL INSPECTION

90.TRANS. 9 USE - ANNEX L&LMD/OTHER DIST (cont.) RECOMMND

- (2) Streetlights.
- (3) Traffic signals located on Briggs Road at intersection of Scott Road.
- (4) Street sweeping.

90.TRANS. 10 USE - IMP PLANS RECOMMND

Improvement plans for the required improvements must be prepared and shall be based upon a design profile extending a minimum of 300 feet beyond the limit of construction at a grade and alignment as approved by the Riverside County Transportation Department. Completion of road improvements does not imply acceptance for maintenance by County.

NOTE: Before you prepare the street improvement plan(s), please review the Street Improvement Plan Policies and Guidelines from the Transportation Department Web site: www.rctlma.org/trans/land_dev_plan_check_guidelines.html.

90.TRANS. 11 USE - LANDSCAPING COMM/IND RECOMMND

Landscaping within public road right-of-way shall comply with Transportation Department standards and Ordinance 461 and shall require approval by the Transportation Department. Landscaping shall be improved within Wickerd Road and La Ventana Road.

Assurance of continuous maintenance is required by processing and filing a 'Landscape Maintenance Agreement' through the Transportation Department Plan Check Division; or if desired the developer may file an application for annexation into Landscaping and Lighting Maintenance District No. 89-1-Consolidated by contacting the Transportation Department at (951) 955-6767.

90.TRANS. 12 USE - CONSTRUCT RAMP RECOMMND

Ramps shall be constructed at 4-way intersections and "T" intersections per Draft Standard No. 403, sheets 1 through 7 of Ordinance 461.

PUBLIC USE PERMIT Case #: PUP00907

Parcel: 466-210-031

90. PRIOR TO BLDG FINAL INSPECTION

90.TRANS. 13

USE - R-O-W DEDICATION/SUR

RECOMMND

Sufficient public street right-of-way along La Ventana Road shall be conveyed for public use to provide for a 50'- 62 foot half-width right-of-way per County Standard No. 94, Ordinance 461, Sheets (1 of 2) and (2 of 2).

Sufficient public street right-of-way along Wickerd Road shall be conveyed for public use to provide for a 50 foot half-width right-of-way per County Standard No. 94, Ordinance 461.

Sufficient public street right-of-way along El Centro Road shall be conveyed for public use to provide for a 33 foot half-width right-of-way per County Standard No. 104, Section "A", Ordinance 461.

90.TRANS. 14

USE - OFF-SITE ACCESS

RECOMMND

The landowner/developer shall provide/acquire sufficient public off-site rights-of-way to provide for two paved access roads to a paved and maintained road. Said access roads shall be constructed with 32' of AC pavement within a 44' to 60' dedicated right-of-way in accordance with County Standard No. 106, Section A (32'/44'-60') at a grade and alignment as approved by the Transportation Department. The applicant shall provide the appropriate environmental clearances for said off-site improvements prior to recordation or the signature of any street improvement plans.

1. Said off-site access road shall be the westerly extension of Wickerd Road to Briggs Road and the southerly extension of Briggs Road to a paved County maintained Briggs Road.
2. Said off-site access road shall be the easterly extension of Wickerd Road to a paved County maintained Leon Road.

90.TRANS. 15

USE - DEDICATIONS

RECOMMND

Wickerd Road along project boundary is designated as a Secondary Highway and shall be improved with 32' half-width AC pavement and 6" concrete curb and gutter within the 50' half-width dedicated right-of-way in accordance with County Standard No. 94, Ordinance 461. (32'/50')

03/15/11
16:53

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 65

PUBLIC USE PERMIT Case #: PUP00907

Parcel: 466-210-031

90. PRIOR TO BLDG FINAL INSPECTION

90.TRANS. 15

USE - DEDICATIONS (cont.)

RECOMMND

NOTE: 1. All proposed driveways shall be constructed per County Standard No. 207A.

2. Construct a 5' concrete sidewalk 9' from the curb line within the 18' parkway.

3. Construct AC pavement tapering and join the proposed off-site AC pavement of Wickerd Road along to the west and east project boundaries as directed by the Director of Transportation.

El Centro Lane along project boundary is designated as a Enhanced Local Street and shall be improved with 37' part-width AC pavement (22' on the project side and 15' on the opposite side of the centerline) and 6" concrete curb and gutter within the 63' full-width (33' on the project side and 30' on the opposite side of the centerline) dedicated right-of-way in accordance with County Standard No. 104, Section "A", Ordinance 461. (Modified for increased AC improvements from 34' to 37' part-width improvements.)

NOTE: 1. The proposed driveway shall be constructed per County Standard No. 207A.

2. Construct an 11' concrete sidewalk adjacent the curb line within the 11' parkway as directed by the Director of Transportation.

La Ventana Road along project boundary is designated as a Secondary Highway and shall be improved with 32' to 44' half-width AC pavement and 6" concrete curb and gutter within the 50' to 62' half-width dedicated right-of-way in accordance with County Standard No. 94, Ordinance 461. (32' to 44'/50' to 62')

NOTE: 1. Construct a 5' concrete sidewalk 9' from the curb line within the 18' parkway.

2. A cash in-lieu of construction shall be paid by the applicant/owner for the design and improvements of La Ventana Road. You may contact Alan French, County Plan Check Engineer, at (951) 955-6527 for more information.

03/15/11
16:53

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 66

PUBLIC USE PERMIT Case #: PUP00907

Parcel: 466-210-031

90. PRIOR TO BLDG FINAL INSPECTION

90.TRANS. 16

USE - TS/INSTALLATION

RECOMMND

The project proponent shall be responsible for the design and construction of traffic signal(s) at the intersections of:

Signal(s) not eligible for fee credit:

Briggs Road (NS) at Scott Road (EW) (modification, see geometrics)

or as approved by the Transportation Department.

For improvements eligible for fee credit, the project proponent shall contact the Transportation Department and enter into an agreement for signal mitigation fee credit or reimbursement prior to start of construction of the signal. All work shall be pre-approved by and shall comply with the requirements of the Transportation Department and the public contract code in order to be eligible for fee credit or reimbursement.

LAND DEVELOPMENT COMMITTEE
INITIAL CASE TRANSMITTAL
RIVERSIDE COUNTY PLANNING DEPARTMENT - RIVERSIDE
P.O. Box 1409
Riverside, CA 92502-1409

DATE: November 15, 2010

TO:

Riv. Co. Transportation Dept.
Riv. Co. Environmental Health Dept.
Riv. Co. Flood Control District
Riv. Co. Fire Department
Riv. Co. Dept. of Bldg. & Safety – Grading
Riv. Co. Dept. of Bldg. & Safety – Plan Check
Regional Parks & Open Space District
Riv. Co. Environmental Programs Dept.

P.D. Geology Section-D. Jones
Riv. Co. GIS – Phillip Kang
P.D. Landscaping Section-R. Dyo
P.D. Archaeology Section-L. Mouriquand
Riv. Co. Sheriff's Department
Riv. Co. Waste Management Dept.
3rd District Supervisor
3rd District Planning Commissioner

Menifee Union School Dist
Perris Union High School Dist.
Eastern Municipal Water Dist.
Southern California Gas
Southern California Edison
Verizon
RWQCB- San Diego
Eastern Information Center (UCR)

PUBLIC USE PERMIT NO. 907, FTA 2010-07 - EA42398 – Applicant: Santa Rosa Academy –
Engineer/Representative: Burke Bradley Anders - Third Supervisorial District - Winchester Zoning Area -
Sun City/Menifee Valley Area Plan: Rural Communities: Estate Density Residential (RC-EDR) (2 Acre
Minimum) – **Location:** Northerly of Wickered Road, southerly of Garbani Road, easterly of El Centro
Lane and westerly of La Ventana Lane - 36.85 Gross Acres - **Zoning:** Residential Agriculture - 5 Acre
Minimum (R-A-5) - **REQUEST:** Proposes a 95,000 sq. ft. charter school on 25 acres to be constructed in
two (2) phases. Facilities include administration, classrooms, library, technology center, theater,
gymnasium, and baseball and soccer fields. Thirteen (13) buildings total - **APN(s):** 466-210-031, 466-
210-032 - **Related Cases:** GPA00946

Please review the attached map(s) and/or exhibit(s) for the above-described project. This case is
scheduled for a **LDC Meeting Agenda on December 9, 2010**. All LDC Members please have draft
conditions in the Land Management System on or before the above date. If it is determined that the
attached map(s) and/or exhibit(s) are not acceptable, please have corrections in the system and **DENY**
the routing on or before the above date. Once the route is complete, and the approval screen is
approved with or without corrections, the case can be scheduled for a public hearing.

All other transmitted entities, please have your comments, questions and recommendations to the
Planning Department on or before the above date. Your comments/recommendations/conditions are
requested so that they may be incorporated in the staff report for this particular case.

Should you have any questions regarding this project, please do not hesitate to contact
Christian Hinojosa, Project Planner, at (951) 955-0972 or email at **chinojos@rctlma.org /**
MAILSTOP# 1070.

COMMENTS:

DATE: _____ SIGNATURE: _____

PLEASE PRINT NAME AND TITLE: _____

TELEPHONE: _____

*If you do not include this transmittal in your response, please include a reference to the case number and project
planner's name. Thank you.*



Fast Track Authorization

Case No.: _____

FTA No. 2010-07

SUPERVISOR: Jeff Stone

SUPERVISORIAL DISTRICT: 3

Company/Developer: Santa Rosa Academy Charter School

Contact: Brad Burke

Address: 1120 Simpson Way, Escondido, CA 92029

Phone: (619) 675-2510

Fax: (760) 737-0931

Email: bradb@compedgedev.com

Architectural Firm: Brad Burke Architect

Contact: Brad Burke

Address: P.O. Box 1514 Poway, CA 92074

Phone: (619) 675-2510

Fax: (858) 513-0824

Email: brad@bradburkearchitect.com

Engineering Firm: Masson and Associates

Contact: John Masson

Address: 200 E. Washington Avenue, Escondido, CA 92025

Phone: (760) 241-3570

Fax: (760) 741-1786

Email: johnmasson@masson-assoc.com

Land Use Application(s): ☐ General Plan Amendment ☐ Conditional Use Permit ☐ Change of Zone

☐ Plot Plan ☐ Parcel Map ☒ Other PUP

Site Information:

Assessor's Parcel Number(s) 466-210-032; portion of 466-210-032

Cross Streets/Address NEC of Wickerd and El Centro

Land Use Designation RC-EDR

Zoning R-A-5

Site Acreage 25

Redevelopment Project Area/Sub-Area N/A

Unincorporated Community Winchester

Project Information (Estimate Amounts):

Eligibility Criteria ☒ Full Time Jobs ☒ Capital Investment ☐ Annual Taxable Sales ☐ Board of Supervisors ☐ Child Care
☐ Workforce Housing ☐ Other _____

Permanent Full-Time Jobs 100

Wages per Hour \$10-30

Construction Jobs 250

Capital Investment \$25,000,000

Taxable Sales \$0

Bldg Size 95,000

Project Type

☒ Commercial

☐ Industrial

☐ Office

☐ Residential

☒ Other Charter School

Industrial Classification N/A

Commercial Classification Office

Project Description:

95,000 SF Charter School to be constructed in 2 phases. Facilities include: administration, classrooms, library, technology center, theater, gymnasium, and baseball and soccer fields. (13 buildings total)

The Economic Development Agency (EDA) hereby acknowledges that the above referenced development warrants special consideration relative to the permit processing as required by the County of Riverside, and encourages the affected County agencies to immediately institute "FAST TRACK" procedures to enable the project to proceed as soon as possible, in accordance with Board Fast Track Policy A-32. *This Authorization contains preliminary project information and serves as a basis for determining "FAST TRACK" eligibility. During the county's development review process, the proposed project size and configuration may be altered.

Dan Martinez
Dan Martinez, Managing Director of EDA

5-26-10
Date



February 15, 2011

TO: Christian Hinojosal, Project Planner

FROM: Steven Hinde, CIH, Senior Industrial Hygienist

RE: Public Use Permit No. 907 Amendment No.2

A noise study is not required based upon the submitted diagrams, surrounding zoning, proposed road between sensitive receivers on the west of the proposed school site. However, they still need to follow:

1. Facility-related noise, **as projected to any portion of any surrounding property containing a "sensitive receiver, habitable dwelling, hospital, school, library or nursing home"**, must not exceed the following worst-case noise levels 45 dB(A) – 10 minute noise equivalent level ("leq"), between the hours of 10:00 p.m. to 7:00 a.m. (nighttime standard) and 65 dB (A) – 10 minute leq, between 7:00 a.m. and 10:00 p. m. (daytime standard).
2. Whenever a construction site is within one-quarter (1/4) of a mile of an occupied residence or residences, no construction activities shall be undertaken between the hours of 6:00 p.m. and 6:00 a.m. during the months of June through September and between the hours of 6:00 p.m. and 7:00 a.m. during the months of October through May. Exceptions to these standards shall be allowed only with the written consent of the building official.
3. All construction vehicles, equipment fixed or mobile shall be equipped with properly operating and maintained mufflers.
4. During construction, best efforts should be made to locate stockpiling and/or vehicle staging area as far as practicable from existing residential dwellings to the west of the site.

Please contact Steve Hinde if you have any questions.



Riverside County
Waste Management Department

Hans W. Kernkamp, General Manager-Chief Engineer

November 22, 2010

Christian Hinojosa, Project Planner
Riverside County Planning Department
P.O. Box No. 1409
Riverside, CA 92502-1409

RE: Public Use Permit (PUP) No. 907
Construct a 95,000-Square Foot Charter School on 25 Acres in 2 Phases
with Facilities Including Administration, Classrooms, Library,
Technology Center, Theater, Gymnasium, and Baseball, Basketball, and
Soccer Fields (APN: 466-210-031)

Dear Mr. Hinojosa:

The Riverside County Waste Management Department (RCWMD) has reviewed the proposed project, located westerly of La Ventana Lane, northerly of Wickered Road, southerly of Garbani Road, and easterly of El Centro Lane within the Sun City/Menifee Area Plan. The RCWMD recommends the following conditions for approval of PUP 907:

1. **PRIOR TO ISSUANCE OF A GRADING PERMIT**, the applicant shall submit three (3) copies of a Recyclables Collection and Loading Area plot plan to the Riverside County Waste Management Department for review and approval. The plot plan shall conform to ***Design Guidelines for Recyclables Collection and Loading Areas***, provided by the Waste Management Department, and shall show the location of and access to the collection area for recyclable materials, along with its dimensions and construction detail, including elevation/façade, construction materials and signage. The plot plan shall clearly indicate how the trash and recycling enclosures shall be accessed by the hauler.
2. **PRIOR TO ISSUANCE OF AN OCCUPANCY PERMIT FOR EACH CONSTRUCTION PHASE**, the applicant shall construct the recyclables collection and loading area in compliance with the Recyclables Collection and Loading Area plot plan, as approved and stamped by the Riverside County Waste Management Department and as verified by the Riverside County Building and Safety Department through site inspection.
3. Should construction of new buildings or structures and/or removal of existing buildings or structures be necessary for project approval and implementation, the following conditions shall apply:
 - a) **PRIOR TO ISSUANCE OF A BUILDING PERMIT OR DEMOLITION PERMIT**, a *Waste Recycling Plan* (WRP) shall be submitted to the Waste Management Department for approval. At a minimum, the WRP must identify the materials (i.e., concrete, asphalt, wood, etc.) that

will be generated by construction and development, the projected amounts, the measures/methods that will be taken to recycle, reuse, and/or reduce the amount of materials, the facilities and/or haulers that will be utilized, and the targeted recycling or reduction rate. Arrangements can be made through the franchise hauler.

- b) **PRIOR TO ISSUANCE OF AN OCCUPANCY PERMIT**, evidence (i.e., receipts or other type of verification) to demonstrate project compliance with the approved WRP shall be presented by the project proponent to the Planning/Recycling Division of the Riverside County Waste Management Department in order to clear the project for occupancy permit.
4. Hazardous materials are not accepted at Riverside County landfills. In compliance with federal, state, and local regulations and ordinances, any hazardous waste generated in association with the development of the project shall be disposed of at a permitted Hazardous Waste disposal facility. Hazardous waste materials include, but are not limited to, paint, batteries, oil, asbestos, and solvents. For further information regarding determination, transportation, and disposal of hazardous waste, please contact the Riverside County Department of Environmental Health, Environmental Protection and Oversight Division, at 1.888.722.4234
 5. Use mulch and/or compost in the development and maintenance of landscaped areas within the project boundaries. Recycle green waste through either onsite composting of grass, i.e., leaving the grass clippings on the lawn, or sending separated green waste to a composting facility.
 6. Consider xeriscaping and using drought tolerant/low maintenance vegetation in all landscaped areas of the project.

Thank you for the opportunity to review this proposal. If you have any questions, please call me at (951) 486-3283.

Sincerely,

A handwritten signature in black ink, appearing to read 'Sung Key Ma', is written over the typed name and title.

Sung Key Ma
Urban/Regional Planner IV

RIVERSIDE COUNTY

STANLEY SNIFF
SHERIFF-CORONER



Sheriff

PERRIS STATION

December 1, 2010

Mr. Christian Hinojosa, Project Planner
Riverside County Planning Department - Riverside
P.O. Box 1409
Riverside, CA 92502 - 1409

Re: Public Use Permit No. 907, FTA 2010-07 - EA 42394

Dear Sir:

This letter is being written in response to a proposal by the Santa Rosa Academy Charter School to construct a 95,000 sq. ft. charter school upon 25 acres within the non-incorporated area of Winchester.

When reviewing proposed construction and development, law enforcement takes consideration the nature of the development, increase in population, and impact on traffic flow.

Certain developments by their nature increase the demand for law enforcement. Large schools usually create a need for additional law enforcement during school hours, and during special events. Schools may contract for additional services to address these issues. The Riverside County Sheriff's Department encourages large schools to contract for the services of School Resource Officers. This is not mandatory.

Law enforcement deployment is primarily driven by population. An increase in population usually equates to an increased demand for law enforcement. The development of the charter school will not directly impact population within the area.

Traffic patterns are directly affected by school activity. Traffic flow is most affected during the times students arrive and depart from school. Special events, such as sporting activities, also have a negative impact on traffic within the school zone. Upon careful examination of the construction plan, it appears the proposed school has taken traffic flow patterns into consideration. Multiple drive-through parking areas serve to mitigate

traffic congestion upon the roadway. This same traffic control plan has been used by Citrus High School in Mead Valley and the Martin Luther King High School in Woodcrest.

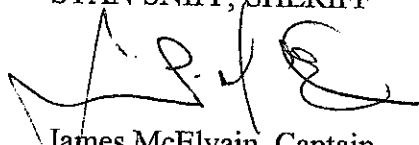
The plan lacks a wide easement along the roadway edge leading to the parking areas. This easement is necessary to allow persons to negotiate to and from the parking areas without impacting public roadway traffic flow.

1. The project site falls within the service area boundary of the Perris Sheriff Station.
2. The address for the Perris Sheriff Station is 137 N. Perris Blvd., Ste. A, Perris, CA 92570.
3. The Riverside County Sheriff's Department currently has a service standard of 1.0 deputy per 1,000 residents.
4. The Riverside County Sheriff's Department makes every effort to respond as soon as possible to all calls for service.
5. There are no established minimum standards for law enforcement response times. We anticipate that the following average response times for the project area will continue:
 - a. In the area of Winchester, we averaged 7.8 minutes response time to emergency calls and 18 minutes for non-emergency calls

If there is any further information required, please do not hesitate to contact me at (951) 210-1026.

Very truly yours,

STAN SNIFF, SHERIFF



James McElvain, Captain
Perris Station

December 10, 2010

Mr. Christian Hinojosa, Project Planner
Riverside County Planning Department
PO Box 1409
Riverside CA 92502-1409

RE: Initial Case Transmittal Public Use Permit 907 and related applications,
Santa Rosa Academy

Dear Mr. Hinojosa:

Southern California Edison (SCE) appreciates the opportunity to review and provide comment on the Initial Case Transmittal for the Santa Rosa Academy project. The project is described as a proposal to construct a 95,000 sq. ft. charter school on 25 acres to be constructed in two (2) phases. Facilities are to include administration, classrooms, library, technology center, theater, gymnasium, and baseball and soccer fields. The project is stated to be located northerly of Wickered Road, southerly of Garbani Road, easterly of El Centro Lane and westerly of La Ventana Lane.

SCE Company right-of-ways and fee-owned properties are purchased for the exclusive use of SCE to operate and maintain its present and future facilities. Any proposed use will be reviewed on a case-by-case basis by SCE's Operating Department. Approvals or denials will be in writing based upon review of the maps provided and compatibility with SCE right-of-way constraints and rights. In the event the project impacts SCE facilities or its land related rights, please forward six (6) sets of plans depicting SCE's facilities and associated land rights to the following location:

Real Properties Department
Southern California Edison Company
2131 Walnut Grove Avenue
G.O.3 – Second Floor
Rosemead, CA 91770

If development plans result in the need to build new, or relocate existing, SCE electrical facilities that operate at or above 50 kV, the SCE construction may have environmental consequences subject to CEQA provisions, as implemented by the CPUC. If those environmental consequences are identified and addressed by the local agency in the CEQA process for the larger project, SCE may not be



Louis B. Davis
Region Manager
Local Public Affairs

required to pursue a later, separate, mandatory CEQA review through the CPUC's General Order 131-D (GO 131-D) process. If the SCE facilities are not adequately addressed in the Draft EIR and the new facilities could result in significant environmental impacts, the required additional CEQA review could delay approval of the SCE power line portion of the project for two years or longer.

Once again, we thank you for the opportunity to comment on the Initial Case Transmittal for this project. If you have any questions regarding this letter, please do not hesitate to contact me at (951) 249-8468.

Sincerely,

A handwritten signature in black ink, appearing to read 'Louis Davis', written over a horizontal line.

Louis Davis
Local Public Affairs Region Manager
Southern California Edison Company

Ron Goldman · Planning Director

APPLICATION FOR LAND USE AND DEVELOPMENT

CHECK ONE AS APPROPRIATE:

<input type="checkbox"/> PLOT PLAN	<input type="checkbox"/> CONDITIONAL USE PERMIT	<input type="checkbox"/> TEMPORARY USE PERMIT
<input type="checkbox"/> REVISED PERMIT	<input checked="" type="checkbox"/> PUBLIC USE PERMIT	<input type="checkbox"/> VARIANCE

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED.

CASE NUMBER: FTA 2010-07 Pup 00907 DATE SUBMITTED: Nov. 4, 2010

APPLICATION INFORMATION

Applicant's Name: Santa Rosa Academy E-Mail: lbadillo@santarosaacademy.com

Mailing Address: 28237 La Piedra Road

Menifee	Street CA	92584
	City	State

Daytime Phone No: (951) 672-2400 Fax No: (951) 672-6060

Engineer/Representative's Name: CED c/o Brad Burke E-Mail: bradb@compedgedev.com

Mailing Address: 1120 Simpson Way

Escondido	Street CA	92029
	City	State

Daytime Phone No: (619) 675-2510 Fax No: (760) 737-0931

Property Owner's Name: Gail Ubersetzig E-Mail: jlytle@rancongroup.com

Mailing Address: 41391 Kalmia Street, Suite 200

Murrieta	Street CA	92562
	City	State

Daytime Phone No: (951) 696-0600 ext. 124 Fax No: (951) 834-9801

If the property is owned by more than one person, attach a separate page that reference the application case number and lists the names, mailing addresses, and phone numbers of all persons having an interest in the real property or properties involved in this application.

The Planning Department will primarily direct communications regarding this application to the person identified above as the Applicant. The Applicant may be the property owner, representative, or other assigned agent.

APPLICATION FOR LAND USE AND DEVELOPMENT

AUTHORIZATION FOR CONCURRENT FEE TRANSFER

The signature below authorizes the Planning Department and TLMA to expedite the refund and billing process by transferring monies among concurrent applications to cover processing costs as necessary. Fees collected in excess of the actual cost of providing specific services will be refunded. If additional funds are needed to complete the processing of your application, you will be billed, and processing of the application will cease until the outstanding balance is paid and sufficient funds are available to continue the processing of the application. The applicant understands the deposit fee process as described above, and that there will be NO refund of fees which have been expended as part of the application review or other related activities or services, even if the application is withdrawn or the application is ultimately denied.

All signatures must be originals ("wet-signed"). Photocopies of signatures are **not** acceptable.

Laura Badillo Laura Badillo
PRINTED NAME OF APPLICANT SIGNATURE OF APPLICANT

AUTHORITY FOR THIS APPLICATION IS HEREBY GIVEN:

I certify that I am/we are the record owner(s) or authorized agent and that the information filed is true and correct to the best of my knowledge. An authorized agent must submit a letter from the owner(s) indicating authority to sign the application on the owner's behalf.

All signatures must be originals ("wet-signed"). Photocopies of signatures are **not** acceptable.

x Gail Ubersetzig Gail Ubersetzig
PRINTED NAME OF PROPERTY OWNER(S) SIGNATURE OF PROPERTY OWNER(S)

PRINTED NAME OF PROPERTY OWNER(S) SIGNATURE OF PROPERTY OWNER(S)

If the property is owned by more than one person, attach a separate sheet that references the application case number and lists the printed names and signatures of all persons having an interest in the property.

☐ See attached sheet(s) for other property owners signatures.

PROPERTY INFORMATION:

Assessor's Parcel Number(s): 466-210-032 and a portion of 466-210-031

Section: 18 Township: 6 south Range: 2 west

Approximate Gross Acreage: 25

General location (nearby or cross streets): North of Wickard, South of Garbani, East of El Centro, West of La Ventana

Thomas Brothers map, edition year, page number, and coordinates: 2005, page 869, grid A7

APPLICATION FOR LAND USE AND DEVELOPMENT

Proposal (describe project, indicate the number of proposed lots/parcels, units, and the schedule of the subdivision, Vesting Map, PRD):

Charter school for grades K-12. Phase One includes Administration, Library and Classrooms. Phase Two

includes Theater, Gym and sports fields.

Related cases filed in conjunction with this request:

none

Is there a previous development application filed on the same site: Yes ☐ No ☐

If yes, provide Case No(s). _____ (Parcel Map, Zone Change, etc.)

E.A. No. (if known) _____ E.I.R. No. (if applicable): _____

Have any special studies or reports, such as a traffic study, biological report, archaeological report, geological or geotechnical reports, been prepared for the subject property? Yes ☒ No ☐

If yes, indicate the type of report(s) and provide a copy: bio, geo, hydro. traffic pending, GHG pending

Is water service available at the project site: Yes ☐ No ☒

If "No," how far must the water line(s) be extended to provide service? (No. of feet/miles) 32 ft & 800 ft

Will the proposal eventually require landscaping either on-site or as part of a road improvement or other common area improvements? Yes ☒ No ☐

Is sewer service available at the site? Yes ☐ No ☒

If "No," how far must the sewer line(s) be extended to provide service? (No. of feet/miles) 700 ft

Will the proposal result in cut or fill slopes steeper than 2:1 or higher than 10 feet? Yes ☐ No ☒

How much grading is proposed for the project site?

Estimated amount of cut = cubic yards: 46,500

Estimated amount of fill = cubic yards 46,500

Does the project need to import or export dirt? Yes ☐ No ☒

Import _____ Export _____ Neither _____

APPLICATION FOR LAND USE AND DEVELOPMENT

What is the anticipated source/destination of the import/export?

What is the anticipated route of travel for transport of the soil material?

How many anticipated truckloads? _____ truck loads.

What is the square footage of usable pad area? (area excluding all slopes) 840,000 incl. sports fields sq. ft.

Is the development proposal located within 8½ miles of March Air Reserve Base? Yes ☐ No ☒

If yes, will any structure exceed fifty-feet (50') in height (above ground level)? Yes ☐ No ☐

Does the development project area exceed more than one acre in area? Yes ☒ No ☐

Is the development project located within any of the following watersheds (refer to Riverside County Land Information System (RCLIS) (<http://www3.tlma.co.riverside.ca.us/pa/rclis/index.html>) for watershed location)?

☐ Santa Ana River

☒ Santa Margarita River

☐ San Jacinto River

☐ Whitewater River

HAZARDOUS WASTE SITE DISCLOSURE STATEMENT

Government Code Section 65962.5 requires the applicant for any development project to consult specified state-prepared lists of hazardous waste sites and submit a signed statement to the local agency indicating whether the project is located on or near an identified site. Under the statute, no application shall be accepted as complete without this signed statement.

I (we) certify that I (we) have investigated our project with respect to its location on or near an identified hazardous waste site and that my (our) answers are true and correct to the best of my (our) knowledge. My (Our) investigation has shown that:

☒ The project is not located on or near an identified hazardous waste site.

☐ The project is located on or near an identified hazardous waste site. Please list the location of the hazardous waste site(s) on an attached sheet.

Owner/Representative (1) _____

Date 11-12-10

Owner/Representative (2) _____

Date _____

PROPERTY OWNERS CERTIFICATION FORM

I, VINNIE NGUYEN, certify that on 2/23/2011.

The attached property owners list was prepared by Riverside County GIS,

APN (s) or case numbers PUP00907 ETA 2010-07 For

Company or Individual's Name Planning Department,

Distance buffered 1000'.

Pursuant to application requirements furnished by the Riverside County Planning Department, Said list is a complete and true compilation of the owners of the subject property and all other property owners within 600 feet of the property involved, or if that area yields less than 25 different owners, all property owners within a notification area expanded to yield a minimum of 25 different owners, to a maximum notification area of 2,400 feet from the project boundaries, based upon the latest equalized assessment rolls. If the project is a subdivision with identified off-site access/improvements, said list includes a complete and true compilation of the names and mailing addresses of the owners of all property that is adjacent to the proposed off-site improvement/alignment.

I further certify that the information filed is true and correct to the best of my knowledge. I understand that incorrect or incomplete information may be grounds for rejection or denial of the application.

NAME: Vinnie Nguyen

TITLE GIS Analyst

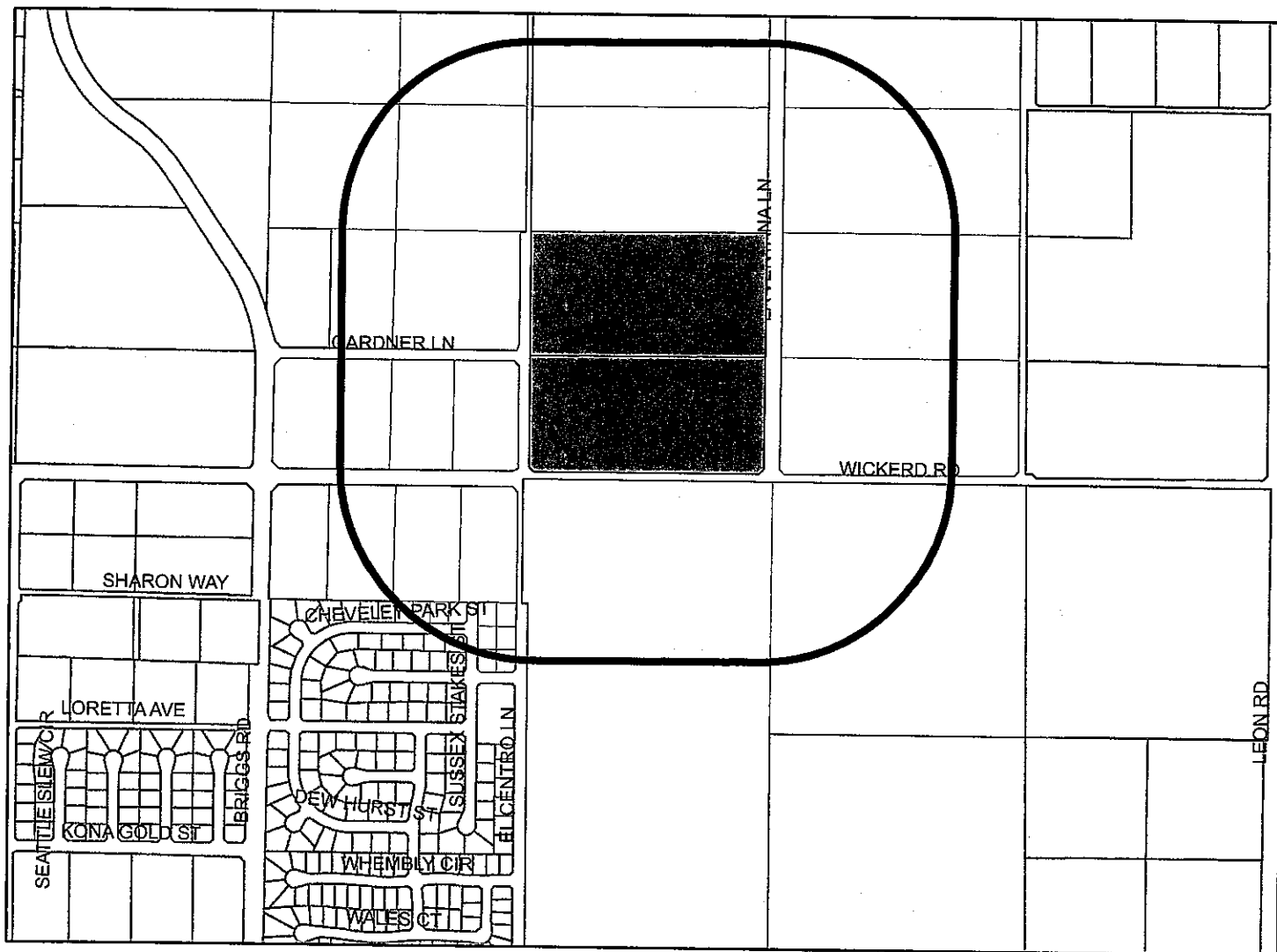
ADDRESS: 4080 Lemon Street 2nd Floor

Riverside, Ca. 92502

TELEPHONE NUMBER (8 a.m. -- 5 p.m.): (951) 955-8158

*checked by: V. Calderon
exp: 8/23/11*

1000 feet buffer



Selected Parcels

466-210-019	466-210-012	466-220-003	466-382-006	466-382-003	466-382-001	466-210-011	466-220-029	466-382-004	466-220-022
466-382-005	466-220-021	466-381-015	466-210-036	466-220-020	466-381-017	466-210-035	466-210-034	466-210-033	466-210-032
466-210-031	466-210-029	466-210-030	466-380-024	466-380-023	466-382-002	466-210-027	466-210-026	466-210-014	466-210-020
466-381-014	466-210-028	466-381-016	466-210-013						



1,000 500 0 1,000 Feet

Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

APN: 466210019, ASMT: 466210019
AUSTREBERTO MONGE, ETAL
30145 GARDNER LN
MENIFEE CA. 92584

APN: 466220029, ASMT: 466220029
HYUN JAEIHM, ETAL
C/O JOONG H CHOH
4N680 WARE WOODS DR
ST CHARLES IL 60175

APN: 466210012, ASMT: 466210012
BRIAN E BAKER, ETAL
32090 GENEVA LANE
MENIFEE CA 92584

APN: 466382004, ASMT: 466382004
JAMES A TRUAX, ETAL
32695 EL CENTRO LN
MENIFEE CA. 92584

APN: 466220003, ASMT: 466220003
CALVARY CHAPEL OF MENIFEE
29220 SCOTT RD
MENIFEE CA 92584

APN: 466220022, ASMT: 466220022
JENELLE MARIE JACKSON, ETAL
32575 EL CENTRO LN
MENIFEE CA. 92584

APN: 466382006, ASMT: 466382006
CLAUDE FOREMAN, ETAL
32655 EL CENTRO LN
MENIFEE CA. 92584

APN: 466382005, ASMT: 466382005
JOHN R DALY, ETAL
32675 EL CENTRO LN
MENIFEE CA. 92584

APN: 466382003, ASMT: 466382003
DAVID BARTL, ETAL
32690 SUSSEX STAKES ST
MENIFEE CA. 92584

APN: 466220021, ASMT: 466220021
JONG DUK KIM, ETAL
32043 CAMINO RABAGO
TEMECULA CA 92592

APN: 466382001, ASMT: 466382001
DOUGLAS R CADY, ETAL
39161 MEMORY DR
MURRIETA CA 92563

APN: 466381015, ASMT: 466381015
JPMORGAN CHASE BANK
C/O WASHINGTON MUTUAL BANK
7255 BAYMEADOWS WAY
JACKSONVILLE FL 32256

APN: 466210011, ASMT: 466210011
HILDA HERNANDEZ, ETAL
C/O RICARDO HERNANDEZ
1001 FLINTROCK RD
DIAMOND BAR CA 91765

APN: 466210036, ASMT: 466210036
JVRL 220
C/O AMBER MANAGEMENT
29826 HAUN RD NO 305
MENIFEE CA 92584



APN: 466220020, ASMT: 466220020
KEVIN ELLIS
30125 WICKARD ST
SUN CITY CA. 92586

APN: 466210026, ASMT: 466210026
RICHARD M BATES
30076 GARDNER LN
MENIFEE CA. 92584

APN: 466381017, ASMT: 466381017
KEVIN MCNEELEY, ETAL
30240 CHEVELEY PARK ST
MENIFEE CA. 92584

APN: 466210014, ASMT: 466210014
ROBERT L ROBINSON, ETAL
C/O SHIRLEY A FARRINGTON
14465 BUSH ST
RIVERSIDE CA 92508

APN: 466210030, ASMT: 466210030
LARRY J UEBERSETZIG, ETAL
C/O HUB ENTERPRISES
29826 HAUN RD STE 305
MENIFEE CA 92586

APN: 466210020, ASMT: 466210020
RONALD W WYSCARVER, ETAL
30155 GARDNER LN
SUN CITY CA 92584

APN: 466380024, ASMT: 466380024
LEONARDO MARTINEZ, ETAL
30221 CHEVELEY PARK ST
MENIFEE CA. 92584

APN: 466381014, ASMT: 466381014
ROSA CANDELA
30180 CHEVELEY PARK ST
MENIFEE CA. 92584

APN: 466380023, ASMT: 466380023
MATIAS R CARIN, ETAL
30241 CHEVELEY PARK ST
MENIFEE CA. 92584

APN: 466210028, ASMT: 466210028
SHARON K SHEPARD
1041 N CALIFORNIA AVE
LA PUENTE CA 91744

APN: 466382002, ASMT: 466382002
NORMAN A KULA, ETAL
32670 SUSSEX STAKES ST
MENIFEE CA. 92584

APN: 466381016, ASMT: 466381016
THERESSIA HOLLIS
30220 CHEVELEY PARK ST
MENIFEE CA. 92584

APN: 466210027, ASMT: 466210027
PHILIP R SHANE
30220 GARDNER LN
MENIFEE CA 92584

APN: 466210013, ASMT: 466210013
VICKI LYNN ROMBERGER
32100 GENEVA LN
MENIFEE CA. 92584

Centralized Correspondence,
Southern California Gas Company
P.O. Box 3150
San Dimas, CA 91773

Eastern Information Center
Dept. of Anthropology
1334 Watkins Hall, University of
California, Riverside
Riverside, CA 92521-0418

ATTN: Elizabeth Lovsted
Eastern Municipal Water District
2270 Trumble Rd.
P.O. Box 8300
Perris, CA 92570

Menifee Union School District
30205 Menifee Rd.
Menifee, CA 92562

ATTN: Emmanuelle Reynolds
Perris Union High School District
155 E. 4th St.
Perris, CA 92570-2124

ATTN: Michael McCann / David Barker
Reg. Water Quality Control Board #9
San Diego
9174 Sky Park Court, Suite 100
San Diego, CA 92123-4340

Southern California Edison
2244 Walnut Grove Ave., Rm 312
P.O. Box 600
Rosemead, CA 91770

Soboba Band of Mission Indians
Scott Cozaet, Chairperson
P.O. Box 487
San Jacinto, CA 92581

Pechanga Band of Mission Indians
Mark Macarro, Chairperson
P.O. Box 1477
Temecula, CA 92593

Applicant:

Laura Badillo
Santa Rosa Academy
28237 La Piedra Road
Menifee, CA 92584

Engineer:

Brad Burke Architect
1120 Simpson Way
Escondido, CA 92029

Owner:

Gail Übersetzig
41391 Kakma Street, Suite 200
Murrieta, CA 92562

FOR COUNTY CLERK'S USE ONLY



FOR COUNTY CLERK'S USE ONLY

COUNTY OF RIVERSIDE
SPECIALIZED DEPARTMENT RECEIPT
Permit Assistance Center

M* REPRINTED * R1012070

4080 Lemon Street
Second Floor
Riverside, CA 92502
(951) 955-3200

39493 Los Alamos Road
Suite A
Murrieta, CA 92563
(951) 694-5242

38686 El Cerrito Rd
Indio, CA 92211
(760) 863-8271

Received from: SANTA ROSA ACADEMY \$64.00
paid by: CK 14-827417
FISH & GAME FEE FOR EA42398
paid towards: CFG05761 CALIF FISH & GAME: DOC FEE
at parcel:
appl type: CFG3

By _____ Nov 04, 2010 15:16
MGARDNER posting date Nov 04, 2010

Account Code	Description	Amount
658353120100208100	CF&G TRUST: RECORD FEES	\$64.00

Overpayments of less than \$5.00 will not be refunded!

COUNTY OF RIVERSIDE
SPECIALIZED DEPARTMENT RECEIPT
Permit Assistance Center

M* REPRINTED * I1100568

4080 Lemon Street
Second Floor
Riverside, CA 92502
(951) 955-3200

39493 Los Alamos Road
Suite A
Murrieta, CA 92563
(951) 694-5242

38686 El Cerrito Rd
Indio, CA 92211
(760) 863-8271

Received from: SANTA ROSA ACADEMY \$2,044.00
paid by: VI 04309B
FISH & GAME FEE FOR EA42398
paid towards: CFG05761 CALIF FISH & GAME: DOC FEE
at parcel:
appl type: CFG3

By JCMITCHE Mar 07, 2011 11:23
posting date Mar 07, 2011

Account Code	Description	Amount
658353120100208100	CF&G TRUST	\$2,044.00

Overpayments of less than \$5.00 will not be refunded!