

SUBMITTAL TO THE BOARD OF SUPERVISORS
COUNTY OF RIVERSIDE, STATE OF CALIFORNIA



FROM: TLMA - Planning Department

SUBMITTAL DATE:
March 21, 2011

SUBJECT: TENTATIVE PARCEL MAP NO. 35267 / PLOT PLAN NO. 22636 (FAST TRACK NO. 2007-35) – Intent to Adopt a Mitigated Negative Declaration – Applicant: Rigoberto Vazquez Sr. – Engineer/Representative: Jorge A. Castillo, P.E. – Second Supervisorial District – Rubidoux Zoning District – Jurupa Area Plan: Community Development: Light Industrial (CD: LI) (0.25 - 0.60 Floor/Area Ratio) – Location: Southerly of 26th Street and easterly of Rubidoux Boulevard – 6.45 Gross Acres – Zoning: Industrial Park (I-P) and Manufacturing-Service Commercial (M-SC) – **REQUEST:** The Tentative Parcel Map is a Schedule E subdivision of 6.45 acres into eight (8) industrial parcels ranging in size from 0.64 to 0.94 acres. The Plot Plan proposes to develop eight (8) industrial and manufacturing buildings with a total building area of 108,000 square feet with 72,000 square feet of storage space, 12,000 square feet of office space, 24,000 square feet of fabrication space (floor/area ratio of 0.38) and 168 parking spaces.

RECOMMENDED MOTION:

ADOPTION of a **MITIGATED NEGATIVE DECLARATION** for **ENVIRONMENTAL ASSESSMENT NO. 41306**, based on the findings incorporated in the initial study, and the conclusion that the project will not have a significant effect on the environment;

APPROVAL of **TENTATIVE PARCEL MAP NO. 35267**, subject to the attached conditions of approval, and based upon the findings and conclusions incorporated in the staff report; and,

APPROVAL of **PLOT PLAN NO. 22636**, subject to the attached conditions of approval, and based upon the findings and conclusions incorporated in the staff report.



Greg Neal, Deputy Director for
Carolyn Syms Luna
Planning Director

Initials:
CSL:vc/dm

Dep't Recomm.: ☐ Consent ☒ Policy
Per Exec. Ofc.: ☐ Consent ☒ Policy

Prev. Agn. Ref.

District: Second

Agenda Number:

16.1

Agenda Item No.:
Area Map: Jurupa
Zoning District: Rubidoux
Supervisory District: Second
Project Planner: Christian Hinojosa
Board of Supervisors: February 8, 2011

TENTATIVE PARCEL MAP NO. 35267
PLOT PLAN NO. 22636
(FAST TRACK NO. 2007-35)
E.A. NO. 41306
Applicant: Rigoberto Vazquez Sr.
Engineer/Representative: Jorge A. Castillo,
PE

COUNTY OF RIVERSIDE PLANNING DEPARTMENT STAFF REPORT

PROJECT DESCRIPTION AND LOCATION:

Tentative Parcel Map No. 35267 is a Schedule E subdivision of 6.45 gross (6.04 net) acres into eight (8) industrial parcels, ranging from 0.64 acres to 0.94 acres.

Plot Plan No. 22636 proposes to develop eight (8) industrial and manufacturing buildings, Rubidoux Development Industrial Park, with a total building area of 108,000 square feet with 72,000 square feet of storage space, 12,000 square feet of office space, 24,000 square feet of fabrication space, 56,371 square feet of landscaping area (20%) and 168 parking spaces on a 6.45 gross (6.04 net) acre site with a floor area ratio of 0.38 (Light Industrial requires a 0.25 - 0.60 floor area ratio). The project also proposes to improve 26th Street with curb and gutter to discharge onsite runoff to an existing catch basin at the intersection off Hall Avenue and 26th Street.

The project site is located in the Community of Belltown of the Jurupa Area Plan in Western Riverside County; more specifically, southerly of 26th Street and easterly of Rubidoux Boulevard.

SUMMARY OF FINDINGS:

- | | |
|--|---|
| 1. Existing Land Use (Ex. #1): | Vacant land |
| 2. Surrounding Land Use (Ex. #1): | Industrial uses to the north and east, vacant land and single family residences to the south and west. |
| 3. Existing Zoning (Ex. #2): | Industrial Park (I-P) and Manufacturing-Service Commercial (M-SC) |
| 4. Surrounding Zoning (Ex. #2): | Manufacturing-Service Commercial (M-SC) to the north, south, east and west. |
| 5. General Plan Land Use (Ex. #5): | Community Development: Light Industrial (CD: LI) (0.25 - 0.60 Floor Area Ratio) |
| 6. Surrounding General Plan Land Use (Ex. #5): | Community Development: Light Industrial (CD: LI) (0.25 - 0.60 Floor Area Ratio) to the north, south, east and west. |
| 7. Project Data: | Total Acreage: 6.45 Gross / 6.04 Net
Floor Area Ratio: 0.38
Total Number of Buildings: 8
Total Building Area: 108,000 Square Feet
Total Landscape Area: 56,371 Sq. Ft. (20%)
Total Parking Spaces: 168
Total Proposed Industrial Parcels: 8 (ranging from 0.64 acres to 0.94 acres)
Proposed Schedule Subdivision: E |

D.M.

8. Environmental Concerns:

See attached Environmental Assessment No. 41306

RECOMMENDATIONS:

ADOPTION of a **MITIGATED NEGATIVE DECLARATION** for **ENVIRONMENTAL ASSESSMENT NO. 41306**, based on the findings incorporated in the initial study, and the conclusion that the project will not have a significant effect on the environment;

APPROVAL of **TENTATIVE PARCEL MAP NO. 35267**, subject to the attached conditions of approval, and based upon the findings and conclusions incorporated in the staff report; and,

APPROVAL of **PLOT PLAN NO. 22636**, subject to the attached conditions of approval, and based upon the findings and conclusions incorporated in the staff report.

CONCLUSIONS:

1. The proposed project is in conformance with the Community Development: Light Industrial (CD: LI) (0.25 - 0.60 Floor Area Ratio) land use designation, and with all other elements of the Riverside County General Plan.
2. The proposed project is consistent with the Industrial Park (I-P) and Manufacturing-Service Commercial (M-SC) zoning classifications of Ordinance No. 348, and with all other applicable provisions of Ordinance No. 348.
3. The proposed subdivision is consistent with the Schedule E map requirements of Ordinance No. 460, and with other applicable provisions of Ordinance No. 460.
4. The proposed project is compliant with the adopted policies and objectives of the Jurupa Valley Redevelopment Project Area (JVPA) (Rubidoux sub-area).
5. The public's health, safety and general welfare are protected through project design.
6. The proposed project is compatible with the present and future logical development of the area.
7. The proposed project will not preclude reserve design for the Multi-Species Habitat Conservation Plan (MSCHP).
8. The proposed project will not have a significant effect on the environment.

FINDINGS: The following findings are in addition to those incorporated in the summary of findings, and in the attached environmental assessment, which is incorporated herein by reference.

1. The project site is designated Community Development: Light Industrial (CD: LI) (0.25 - 0.60 Floor Area Ratio) on the Jurupa Area Plan.
2. The proposed use, industrial and manufacturing buildings, is a permitted use in the Community Development: Light Industrial (CD: LI) (0.25 - 0.60 Floor Area Ratio) land use designation.

3. The project site is surrounded by properties which are designated Community Development: Light Industrial (CD: LI) (0.25 – 0.60 Floor Area Ratio) to the north, south, east and west.
4. The zoning for the subject site is Industrial Park (I-P) and Manufacturing-Service Commercial (M-SC).
5. The proposed use, industrial and manufacturing buildings, is permitted subject to approval of a plot plan in the Industrial Park (I-P) and Manufacturing-Service Commercial (M-SC) zones.
6. The proposed use, industrial and manufacturing buildings, is consistent with the development standards set forth in the Industrial Park (I-P) and Manufacturing-Service Commercial (M-SC) zones.
7. The project site is surrounded by properties which are zoned Manufacturing-Service Commercial (M-SC) to the north, south, east and west.
8. Within the vicinity of the proposed project there are industrial uses to the north and east, vacant land and single family residences to the south and west.
9. The improvements proposed for the subdivision are consistent with the Schedule E map requirements of Ordinance No. 460.
10. The Redevelopment Development Agency (RDA) has reviewed the proposed project and has determined that the project is compliant with the adopted policies and objectives of the Jurupa Valley Redevelopment Project Area (JVPA) (Rubidoux sub-area).
11. This project is not located within a Criteria Area of the Multi-Species Habitat Conservation Plan.
12. Environmental Assessment No. 41306 identified the following potentially significant impacts:
 - a. Air Quality
 - b. Cultural Resources
 - c. Greenhouse Gas Emissions
 - d. Hydrology/Water Quality
 - e. Noise

These listed impacts will be fully mitigated by the measures indicated in the environmental assessment, conditions of approval, and attached letters. No other significant impacts were identified.

INFORMATIONAL ITEMS:

1. As of this writing, no letters, in support or opposition have been received.
2. The project site is not located within:
 - a. An Area subject to the Mt. Palomar Lighting Ordinance No. 655;

- b. A City of Sphere of Influence;
- c. The SKR Fee Area (Ordinance No. 663.10);
- d. A Airport Influence Area;
- e. An Agriculture Preserve;
- f. A WRCMSHCP Criteria Cell;
- g. A High Fire area;
- h. A County Fault Zone;
- i. A Flood Zone;
- j. An Area Drainage Plan Area; or,
- k. A Dam Inundation Area.

3. The project site is located within:

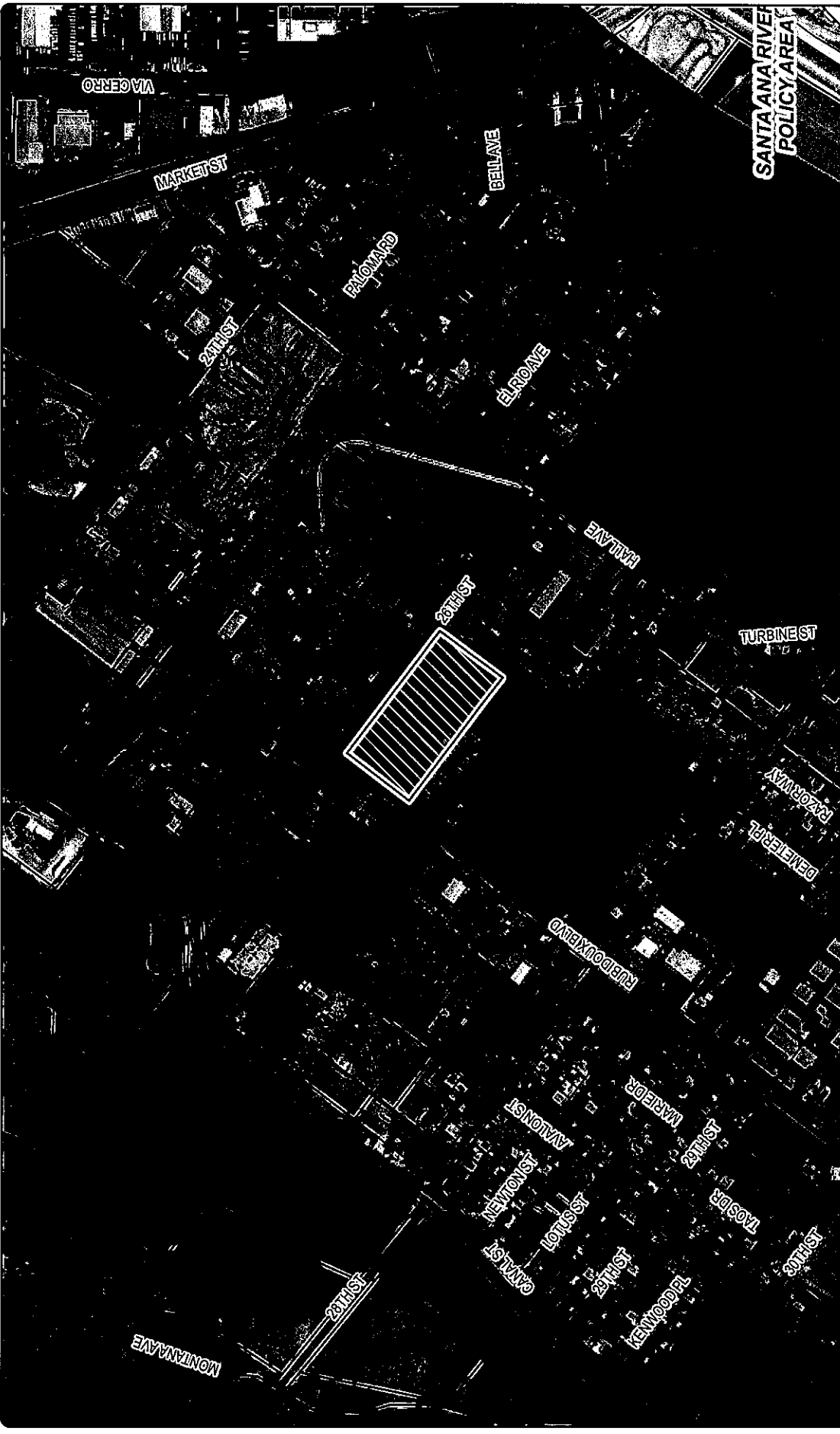
- a. The Boundaries of the Jurupa Area Plan;
- b. An MSHCP Fee Area (Ordinance No. 810);
- c. A Development Impact Fee Area (Ordinance No. 659);
- d. The Rubidoux Community Service District;
- e. A Circulation Element Right-Of-Way (Major 118' ROW);
- f. The Jurupa Valley Redevelopment Project Area (JVPA) (Rubidoux sub-area);
- g. A High Paleontological Potential (High A);
- h. An Area Moderate Liquefaction Potential;
- i. An Area Susceptible to Subsidence; and,
- j. The boundaries of the Jurupa Unified School District.

- 4. The subject site is currently designated as Assessor's Parcel Numbers 178-150-008 and 178-150-009.
- 5. This project was filed with the Planning Department on March 14, 2007.
- 6. This project was reviewed by the Land Development Committee 4 times on the following dates May 3, 2007, January 3, 2008, April 24, 2008 and June 19, 2008.
- 7. Deposit Based Fees charged for this project, as of the time of staff report preparation, total \$59,836.96.

RIVERSIDE COUNTY PLANNING DEPARTMENT
PM35267 PP22636
VICINITY/POLICY AREAS

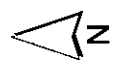
Supervisor Tavaglione
 District 2

Date Drawn: 12/21/2009
 Vicinity Map



Assessors Bk. Pg. 178-15
 Thomas Bros. Pg. 645 E7
 Edition 2009

Zoning District: Rubidoux
 Township/Range: T2SR5W
 Section: 10



DISCLAIMER: On October 7, 2003, the County of Riverside adopted a new General Plan providing new land use designations for unincorporated Riverside County parcels. The new General Plan may contain different types of land use than is provided for under existing zoning. For further information, please contact the Riverside County Planning Department offices in Riverside at (951) 955-3200 (Western County), or in Indio at (760) 863-8277 (Eastern County) or website at <http://www.lima.co.riverside.ca.us/index.html>

RIVERSIDE COUNTY PLANNING DEPARTMENT

PM35267 PP22636

LAND USE

Supervisor Tavaglione
District 2

Date Drawn: 12/21/2009
Exhibit 1



Zoning District: Rubidoux
Township/Range: T2SR5W
Section: 10

Assessors Bk. Pg. 178-15
Thomas Bros. Pg. 645 E7
Edition 2009



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0 130 260 520 780 1,040 Feet

RIVERSIDE COUNTY PLANNING DEPARTMENT

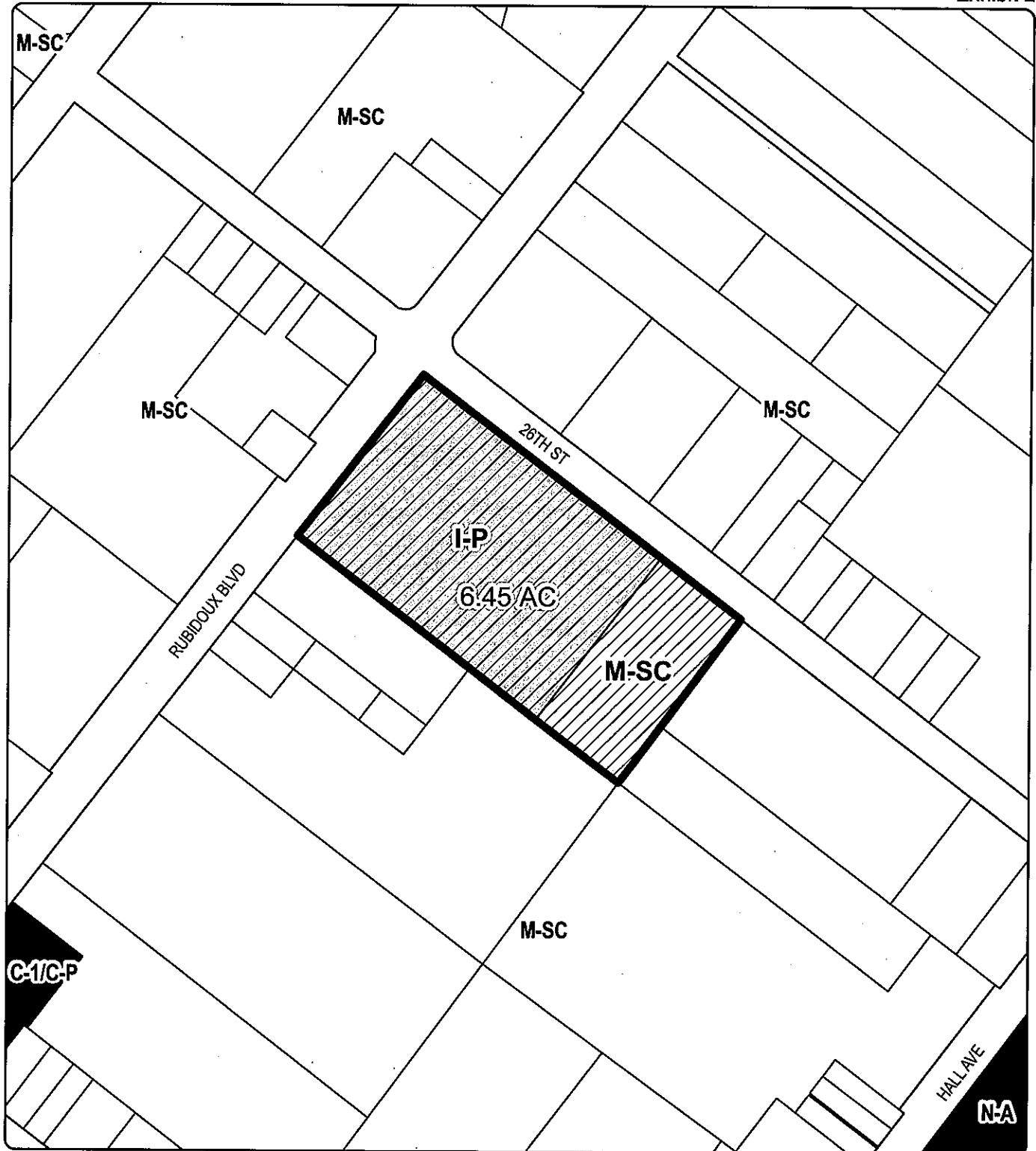
PM35267 PP22636

EXISTING ZONING

Supervisor Tavaglione
District 2

Date Drawn: 12/21/2009

Exhibit 2



Zoning District: Rubidoux
Township/Range: T2SR5W
Section: 10

Assessors Bk. Pg. 178-15
Thomas Bros. Pg. 645 E7
Edition 2009

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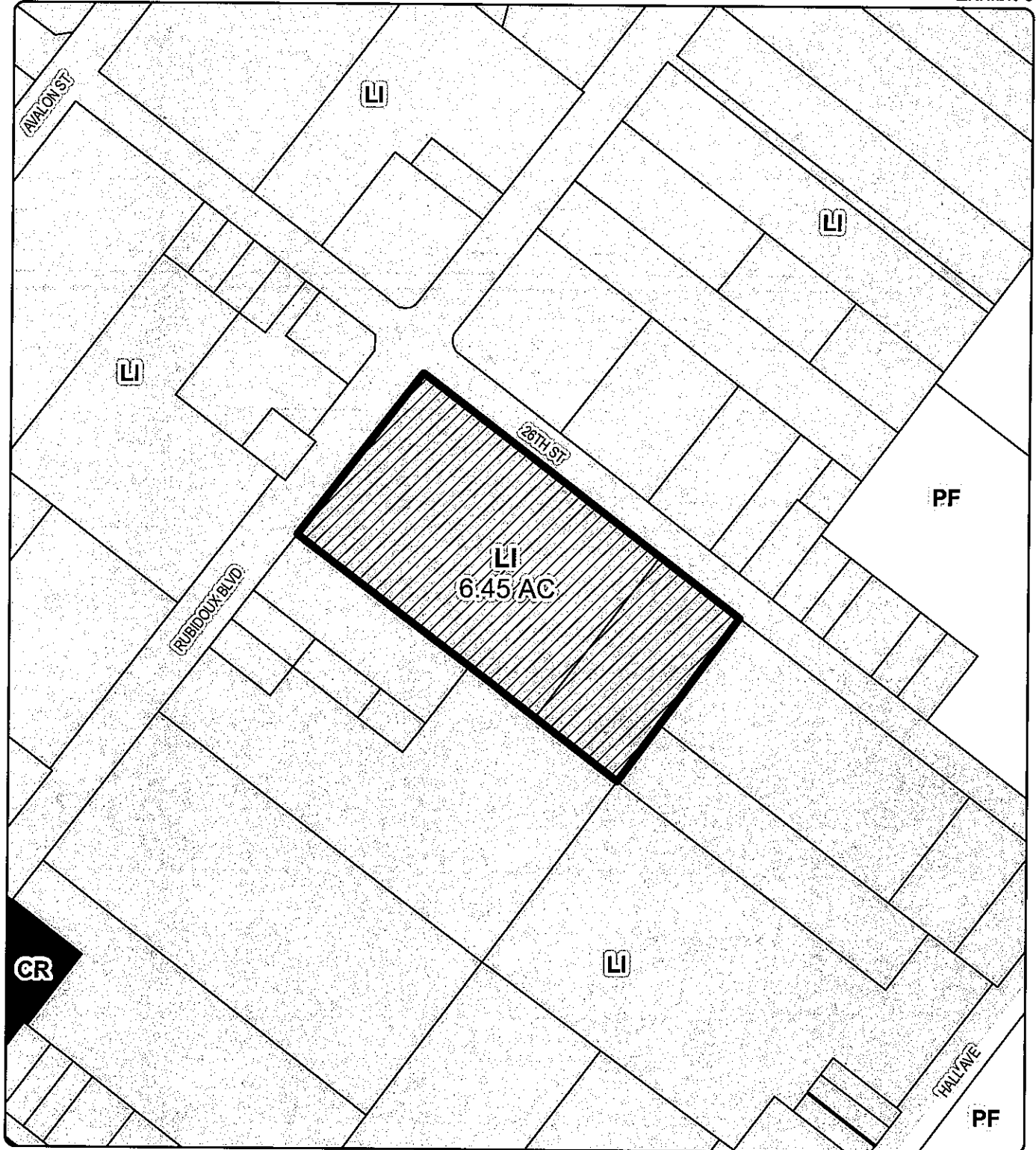
RIVERSIDE COUNTY PLANNING DEPARTMENT

PM35267 PP22636

EXISTING GENERAL PLAN

Supervisor Tavaglione
District: 2

Date Drawn: 12/21/2009
Exhibit 5



Zoning District: Rubidoux
Township/Range: T2SR5W
Section: 10

Assessors Bk. Pg. 178-15
Thomas Bros. Pg. 645 E7
Edition 2009



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RUBIDOUX DEVELOPMENT INDUSTRIAL PARK
OFFICE - STORAGE - FABRICATION
2610 RUBIDOUX BLVD.
RIVERSIDE, CA 92504

PLOT PLAN NO. 22650

RELATIVE LOCATION
A
B
C
D
E
F
G
H

Sheet Title
NEW SITE PLAN

No. Revisions	Date
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2	11-10-77
3	12-10-77
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499	4-10-19
500	5-10-19



RUBIDOUX DEVELOPMENT INDUSTRIAL PARK
OFFICE - STORAGE - FABRICATION
2610 RUBIDOUX BLVD.
RIVERSIDE, CA 92504

PLOT PLAN NO. 22636

RELEASE LOCATION

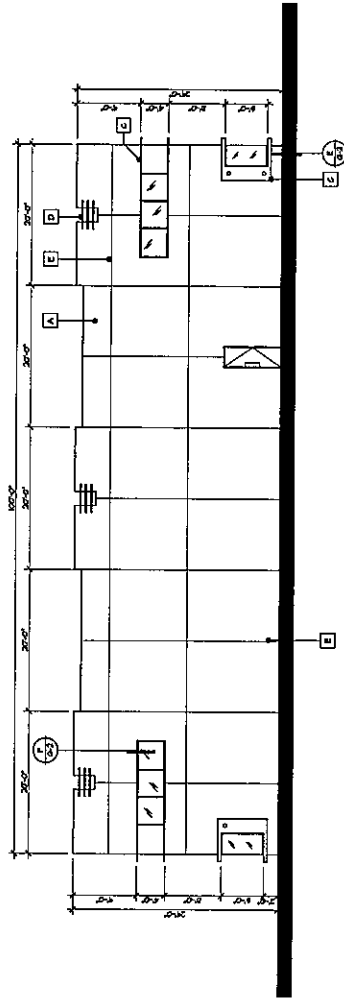
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3	3rd Planning Review	12-1-77
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Sheet Title
NORTH ELEVATION
EAST ELEVATION

NO.	REVISIONS	DATE
1	1st Planning Review	11-24-77
2	2nd Planning Review	12-1-77
3	3rd Planning Review	12-1-77
4	4th Planning Review	12-1-77
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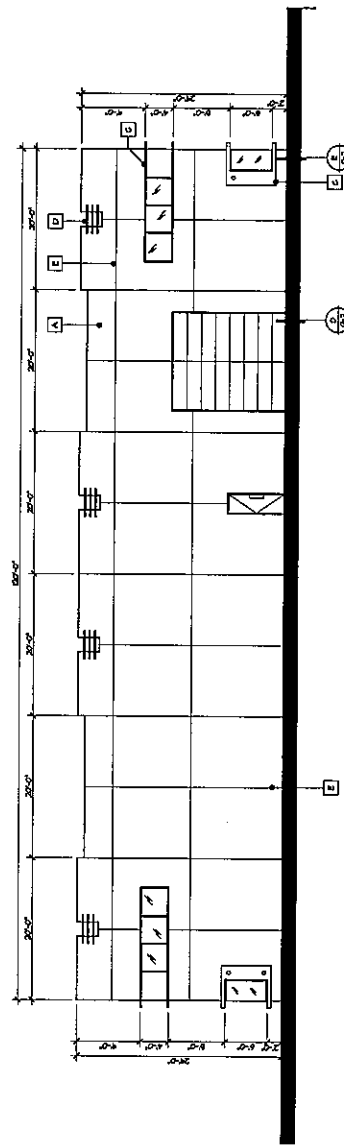
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Checked	4
Date Prep.	3-18-80
Scale	1/8" = 1'-0"
Project	11-24-77
Sheet	11-24-77

A-2



NORTH ELEVATION

Scale: 1/8" = 1'-0"



EAST ELEVATION

Scale: 1/8" = 1'-0"

- COLORS & MATERIALS
- A. NATURAL CONCRETE COLOR
 - B. CONCRETE COLOR
 - C. SHIMMER METAL SHEET
 - D. SHIMMER METAL SHEET
 - E. SHIMMER METAL SHEET
 - F. SHIMMER METAL SHEET
 - G. SHIMMER METAL SHEET
 - H. SHIMMER METAL SHEET
 - I. SHIMMER METAL SHEET
 - J. SHIMMER METAL SHEET
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 - S. SHIMMER METAL SHEET
 - T. SHIMMER METAL SHEET
 - U. SHIMMER METAL SHEET
 - V. SHIMMER METAL SHEET
 - W. SHIMMER METAL SHEET
 - X. SHIMMER METAL SHEET
 - Y. SHIMMER METAL SHEET
 - Z. SHIMMER METAL SHEET



RUBIDOUX DEVELOPMENT INDUSTRIAL PARK
OFFICE - STORAGE - FABRICATION
2610 RUBIDOUX BLVD.
RIVERSIDE, CA 92504

PLOT PLAN NO. 224594

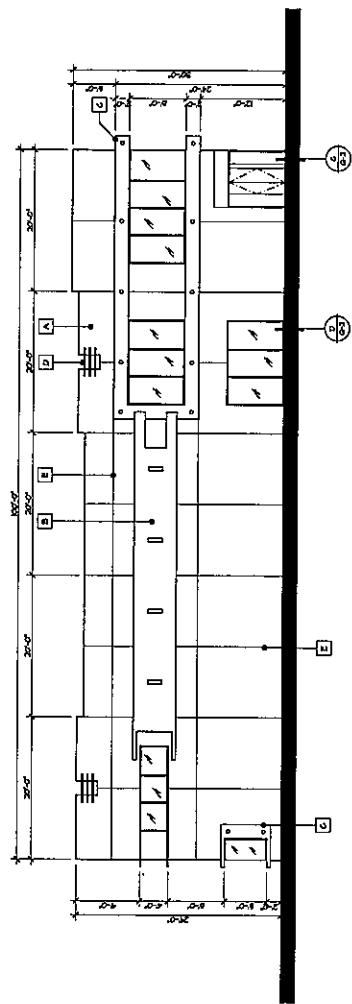
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Sheet Title
NORTH ELEVATION
EAST ELEVATION

No.	Revisions	Date
1	Initial Drawing	10-26-77
2	First Planning Revision	11-26-77
3	Second Planning Revision	12-26-77
4	Third Planning Revision	1-26-78
5	Architectural Revision	1-26-78
6	Architectural Revision	1-26-78

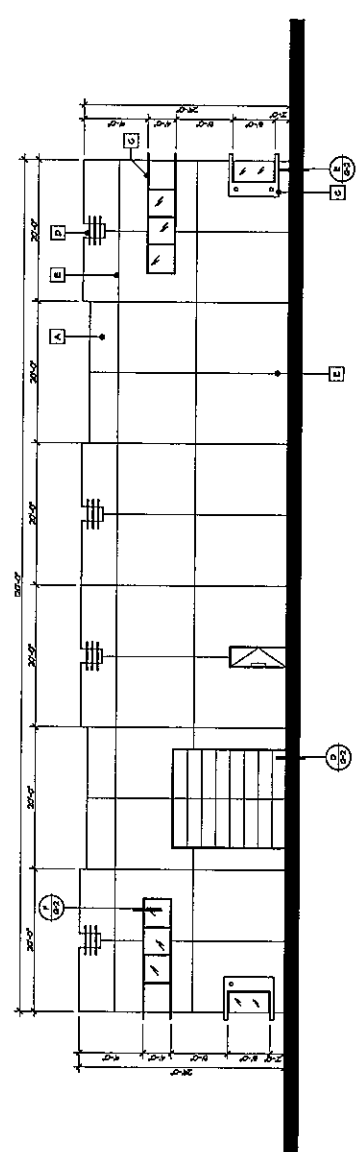
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		1-18-78			

B-2



NORTH ELEVATION

Scale: 1/8" = 1'-0"



EAST ELEVATION

Scale: 1/8" = 1'-0"

- COLORS & MATERIALS
- A. MURAL CONCRETE COLOR
 - B. CONCRETE COLOR
 - C. CONCRETE COLOR
 - D. CONCRETE COLOR
 - E. CONCRETE COLOR
 - F. CONCRETE COLOR
 - G. CONCRETE COLOR
 - H. CONCRETE COLOR
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 - R. CONCRETE COLOR
 - S. CONCRETE COLOR
 - T. CONCRETE COLOR
 - U. CONCRETE COLOR
 - V. CONCRETE COLOR
 - W. CONCRETE COLOR
 - X. CONCRETE COLOR
 - Y. CONCRETE COLOR
 - Z. CONCRETE COLOR



RUBIDOUX DEVELOPMENT INDUSTRIAL PARK
OFFICE - STORAGE - FABRICATION
2610 RUBIDOUX BLVD.
RIVERSIDE, CA 92504

PLOT PLAN NO. 22856

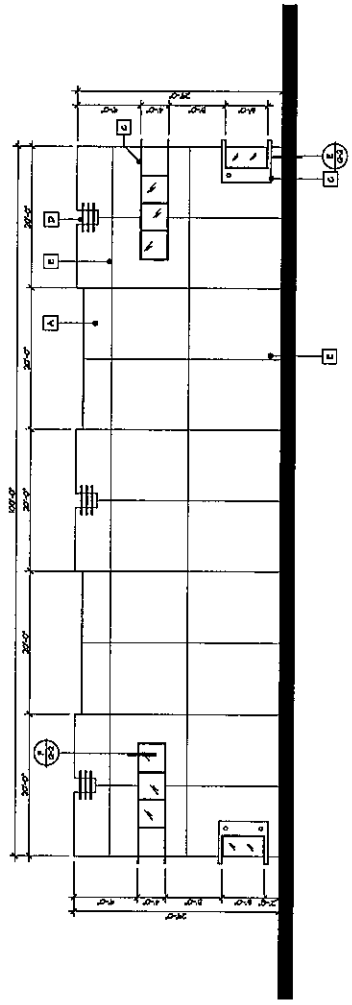
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Sheet Title
SOUTH ELEVATION
WEST ELEVATION

No.	Revisions	Date
1	Initial Drawing	1-1-80
2	Revised Drawing	1-1-80
3	Revised Drawing	1-1-80
4	Revised Drawing	1-1-80
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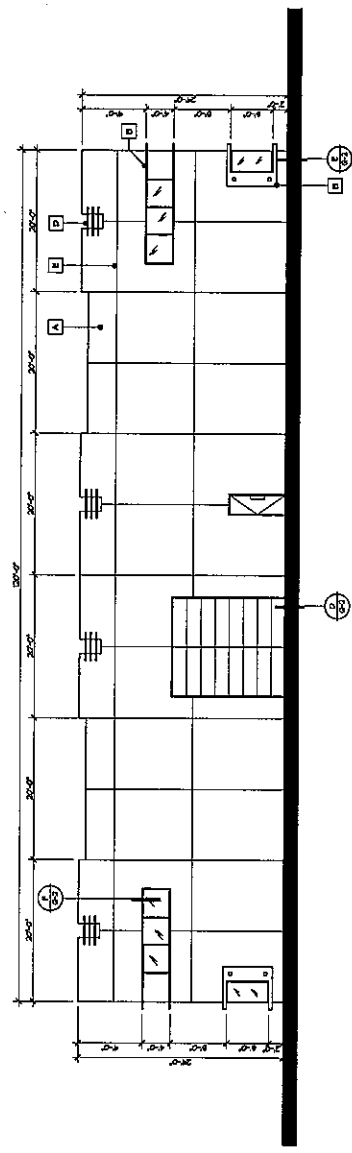
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Checked	1
Date Print	1-1-80
Scale	1"=10'
Project	1
Sheet	1

D-3



SOUTH ELEVATION

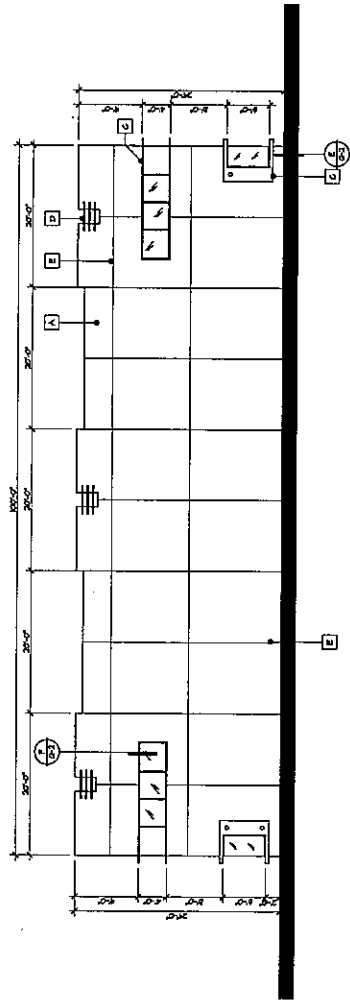
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WEST ELEVATION

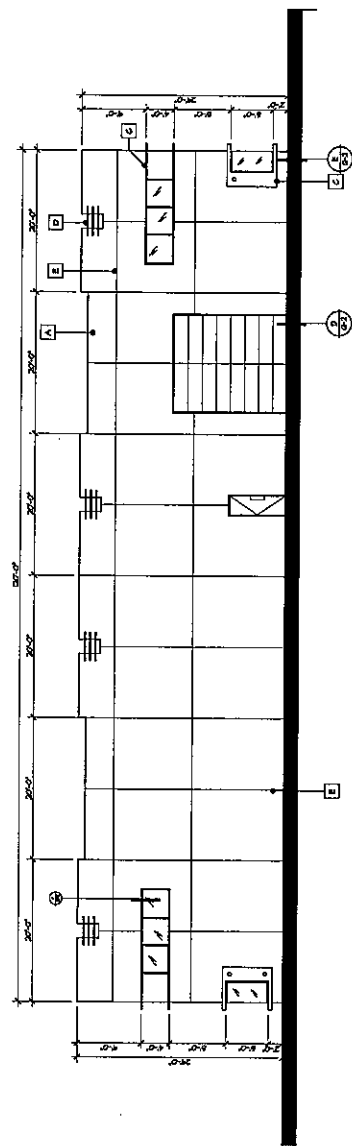
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- COLORS & MATERIALS
- A NATURAL CONCRETE COLOR
 - B CONCRETE COLOR
 - C STAINLESS STEEL SHEETS
 - D STAINLESS STEEL
 - E STAINLESS STEEL
 - F STAINLESS STEEL
 - G STAINLESS STEEL
 - H STAINLESS STEEL
 - I STAINLESS STEEL
 - J STAINLESS STEEL
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 - X STAINLESS STEEL
 - Y STAINLESS STEEL
 - Z STAINLESS STEEL



NORTH ELEVATION

Scale: 1/8" = 1'-0"



EAST ELEVATION

SECRET

COLORS & MATERIALS

A	NATURAL CONCRETE COLOR
B	CORTEX COLOR
	SHIMMER METAL SHEETS
C	BLACK COLOR
	METAL SOUND
D	BLACK COLOR
	FINCHT IRON PINK
E	CONCRETE BREAK REPAIR
F	BLACK COLOR
	FRAME FOR PHOTOGRAPHS
	TOPIER GLASS IN BACKS COLOR

No. Reviews	Date
1st Planning Review	11-20-71
2nd Planning Review	5-4-6
3rd Planning Review	5-20-6
4th/5th Review	7-1-6
Drawn	J.
Checked	-
Initials	2-10-6
Scatter	-
Project #	-

E-2

RUBIDOUX DEVELOPMENT INDUSTRIAL PARK
OFFICE - STORAGE - FABRICATION
2610 RUBIDOUX BLVD.
RIVERSIDE, CA 92504

2610 RUBIDOUX BLVD.
RIVERSIDE, CA 92504

2610 RUBIDOUX BLVD.
RIVERSIDE, CA 92504

2610 RUBIDOUX BLVD.
RIVERSIDE, CA 92504

PLOT PLAN NO. 22636

Building Location



Sheet Title

NORTH ELEVATION
EAST ELEVATION

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RUBIDOUX DEVELOPMENT INDUSTRIAL PARK
OFFICE - STORAGE - FABRICATION
2610 RUBIDOUX BLVD.
RIVERSIDE, CA 92504

PLOT PLAN NO. 22656

BUILDING LOCATION	
10' 0" 10' 0"	10' 0" 10' 0"

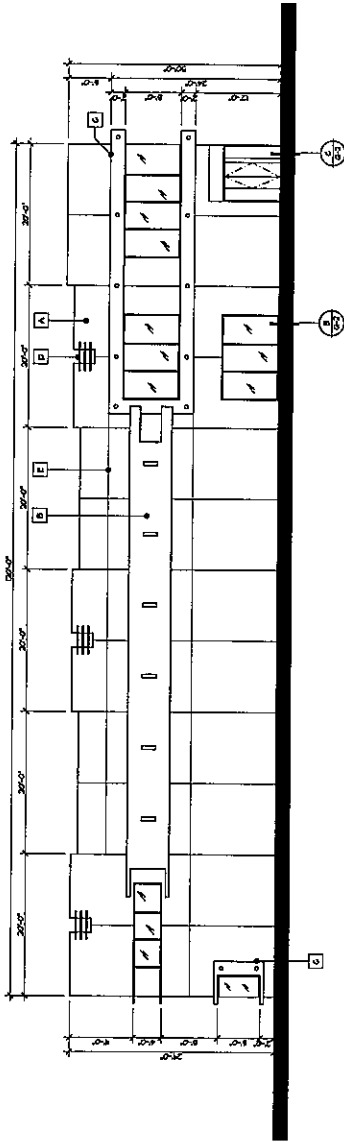
Sheet Title
NORTH ELEVATION
EAST ELEVATION

No. Revisions	
1	Initial Drawing
2	Final Drawing
3	Final Drawing
4	Final Drawing
5	Final Drawing
6	Final Drawing
7	Final Drawing
8	Final Drawing
9	Final Drawing
10	Final Drawing

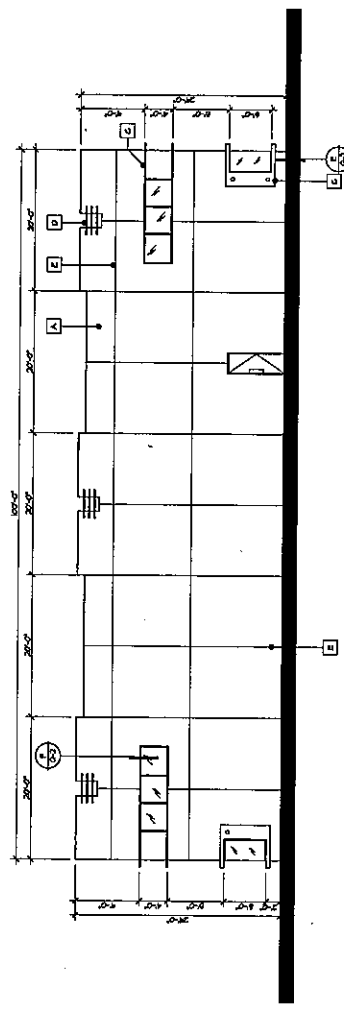
Drawn	Check
Date	Date
Scale	Scale
Project	Project

FH-2
Sheet 1

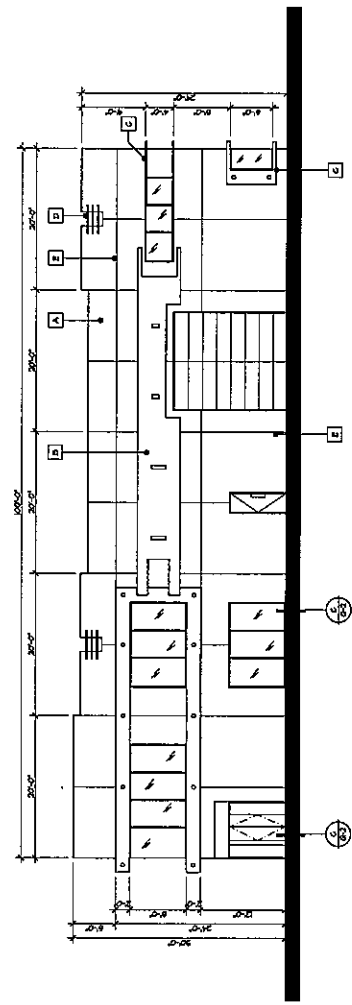
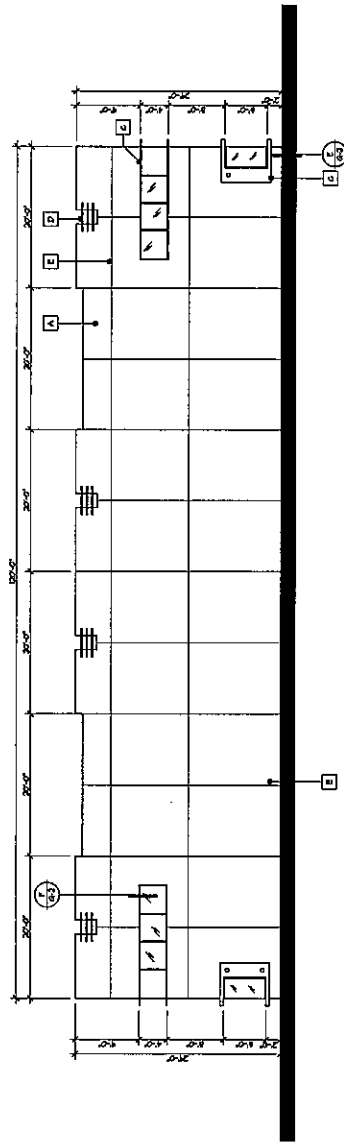
- COLORS & MATERIALS**
- A. MURAL CONCRETE COLOR
 - B. LIGHTER CONCRETE COLOR
 - C. LIGHTER CONCRETE COLOR
 - D. LIGHTER CONCRETE COLOR
 - E. LIGHTER CONCRETE COLOR
 - F. LIGHTER CONCRETE COLOR
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 - Q. LIGHTER CONCRETE COLOR
 - R. LIGHTER CONCRETE COLOR
 - S. LIGHTER CONCRETE COLOR
 - T. LIGHTER CONCRETE COLOR
 - U. LIGHTER CONCRETE COLOR
 - V. LIGHTER CONCRETE COLOR
 - W. LIGHTER CONCRETE COLOR
 - X. LIGHTER CONCRETE COLOR
 - Y. LIGHTER CONCRETE COLOR
 - Z. LIGHTER CONCRETE COLOR



NORTH ELEVATION



EAST ELEVATION



SOUTH ELEVATION

WEST ELEVATION

$$\text{Scale, } 1/8" = 1'-0"$$

Scale: 1/8" = 1'-0"

COLORS & MATERIALS

<input type="checkbox"/> A	NATURAL CONCRETE COLOR
<input type="checkbox"/> B	COPPER COLOR SHIMMER METAL SHEETS
<input type="checkbox"/> C	BLACK COLOR METAL SCABS
<input type="checkbox"/> D	BLACK COLOR PULCHIT FROM POROS
<input type="checkbox"/> E	CONCRETE BREAK REVEAL
<input type="checkbox"/> F	BLACK COLOR PLATE FOR PHOTOPODS TEMPER GLASS IN BRICK COLOR

Street, Thibideau
SOUTH ELEVATION
WEST ELEVATION

PLOT PLAN NO. 22656

RUBIDOUX DEVELOPMENT INDUSTRIAL PARK
OFFICE - STORAGE - FABRICATION
2610 RUBIDOUX BLVD.
RIVERSIDE, CA 92509

FH-3
100-45



RUBIDOUX DEVELOPMENT INDUSTRIAL PARK
OFFICE - STORAGE - FABRICATION
2610 RUBIDOUX BLVD.
RIVERSIDE, CA 92504

PLOT PLAN NO. 22856

REVISION LOCATION

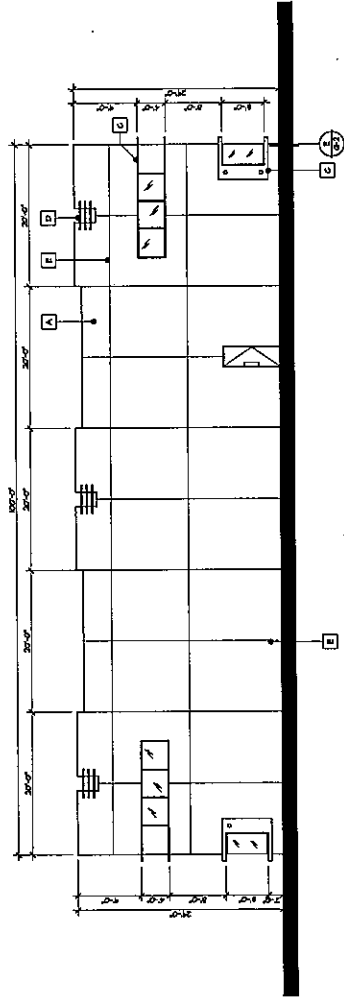


Sheet Title
NORTH ELEVATION
EAST ELEVATION

No.	Revision	Date
1	Initial Planning Review	12-24-7
2	Final Planning Review	8-4-8
3	Final Planning Review	8-24-8
4	Final Planning Review	7-1-8

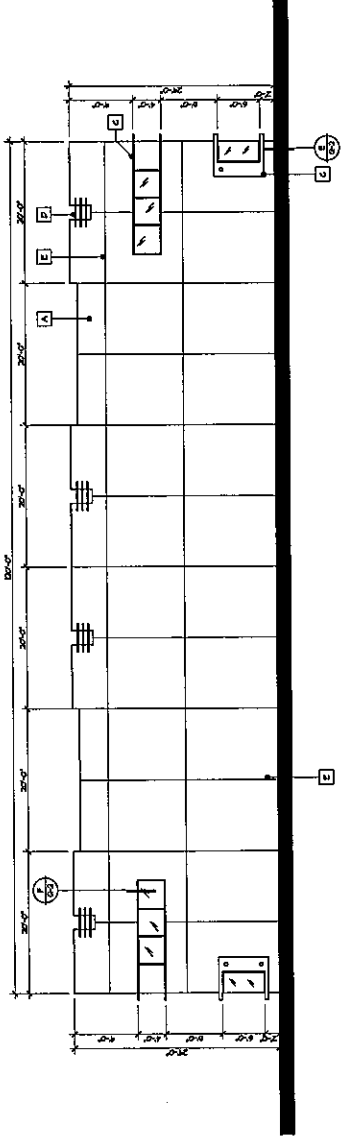
Drawn	J.L.
Checked	-
Date Print	2-18-9
Scale	-
Project #	-

Sheet #
G-2



NORTH ELEVATION

Scale: 1/8" = 1'-0"



EAST ELEVATION

Scale: 1/8" = 1'-0"

- COLORS & MATERIALS
- A NATURAL CONCRETE COLOR
 - B COPPER COLOR
 - C BRASS METAL SHEET
 - D BRASS METAL SHEET
 - E BRASS METAL SHEET
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 - Z BRASS METAL SHEET

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The architectural floor plan shows a building layout with a central corridor. The corridor is 10'-0" wide and runs vertically. To the left of the corridor are several rooms, including a large room (10'-0" x 10'-0") and a smaller room (10'-0" x 10'-0"). To the right of the corridor are more rooms, including a large room (10'-0" x 10'-0") and a smaller room (10'-0" x 10'-0"). A staircase is located on the right side of the plan. The plan includes dimensions for room widths and corridor segments. Key features include a central corridor with multiple doors, a staircase on the right side, and several rooms of varying sizes. The plan is oriented vertically with a north arrow pointing upwards.

- ### COLORS & MATERIALS
- | | |
|----------|--|
| A | NATURAL CONCRETE COLOR |
| B | CORTEX COLOR
DIAMOND METAL SHEETS |
| C | BLACK COLOR
METAL SCHEM |
| D | BLACK COLOR
PULVITRON IRON WORK |
| E | CONCRETE BRICKS METAL |
| F | BLACK COLOR
PLATE FOR WOODWORKS
TYPICAL BLACK IN BRICK COLOR |



RUBIDOUX DEVELOPMENT INDUSTRIAL PARK
OFFICE - STORAGE - FABRICATION
2610 RUBIDOUX BLVD.
RIVERSIDE, CA 92504

PLOT PLAN NO. 22636

BUILDING LOCATION



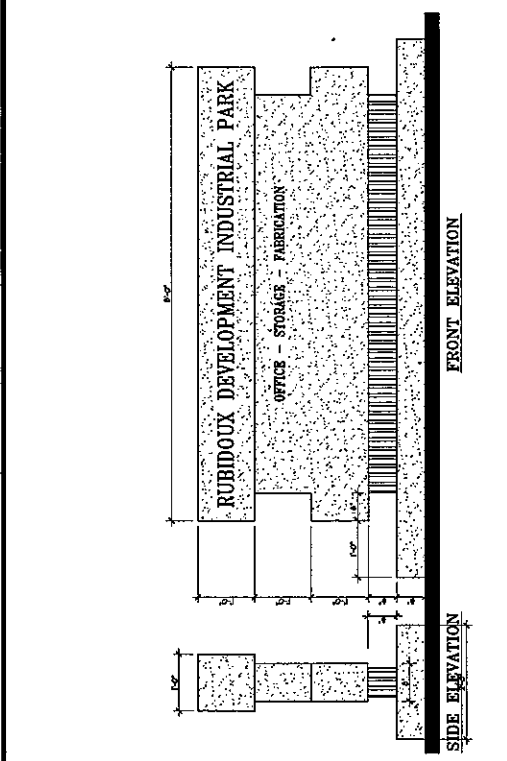
Sheet Title
MONUMENT STORAGE
SECTIONS
TRASH ENCLOSURE

No.	Revisions	Date
1	Initial Planning Review	10-26-71
2	Final Planning Review	3-2-72
3	Final Planning Review	3-2-72
4	Architectural Revision	1-1-73

Drawn	Checked	Date Print	Scale	Project	Sheet
		2-12-73	1/4" = 1'-0"		Q-1

GENERAL KEY NOTES:

- 1 OFFICE/INTERIOR
- 2 OFFICE AREA
- 3 OFFICE AREA
- 4 OFFICE AREA
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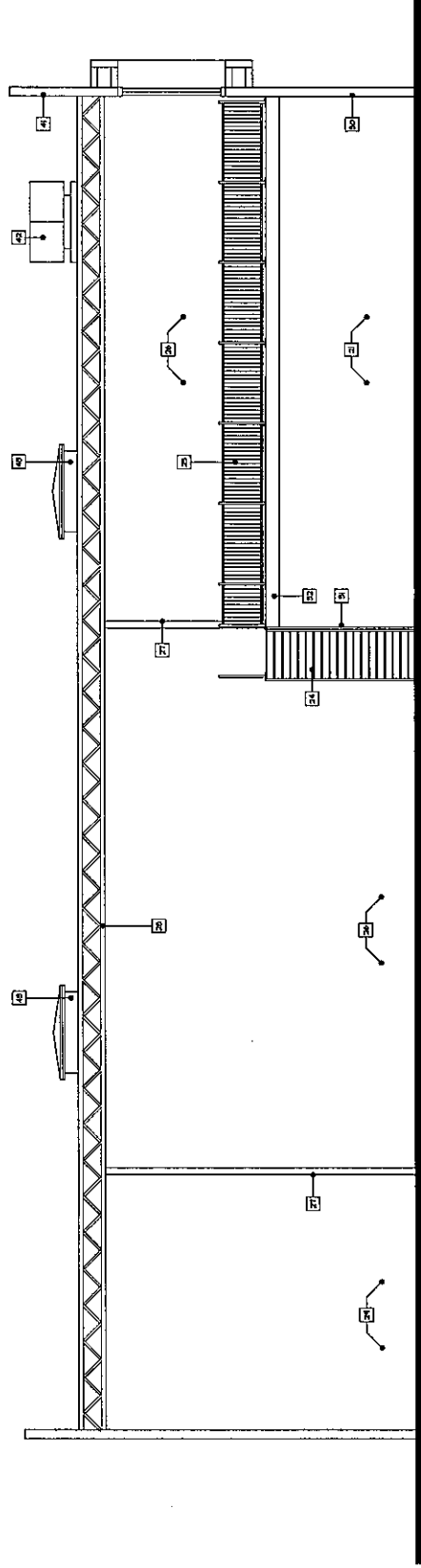


MONUMENT SIGNAGE

Scale: 1" = 1'-0"

TRASH ENCLOSURE

Scale: 1/4" = 1'-0"



SECTION A

Scale: 1/4" = 1'-0"



RUBIDOUX DEVELOPMENT INDUSTRIAL PARK
OFFICE - STORAGE - FABRICATION
2610 RUBIDOUX BLVD.
RIVERSIDE, CA 92504

PLOT PLAN NO. 22856

BUILDING LOCATION	
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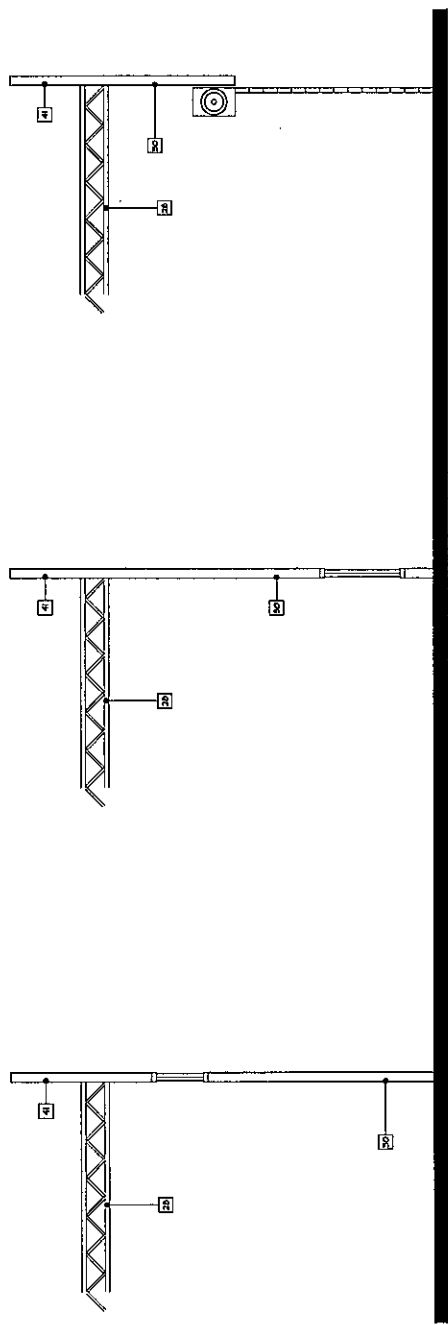
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No.	Revisions	Date
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2	Final Planning Review	2-24-77
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100	Final Planning Review	3-2-77

Drawn:	J.
Checked:	-
Date Print:	3-2-77
Scale:	-
Project #	-
Sheet #	-

Q-2

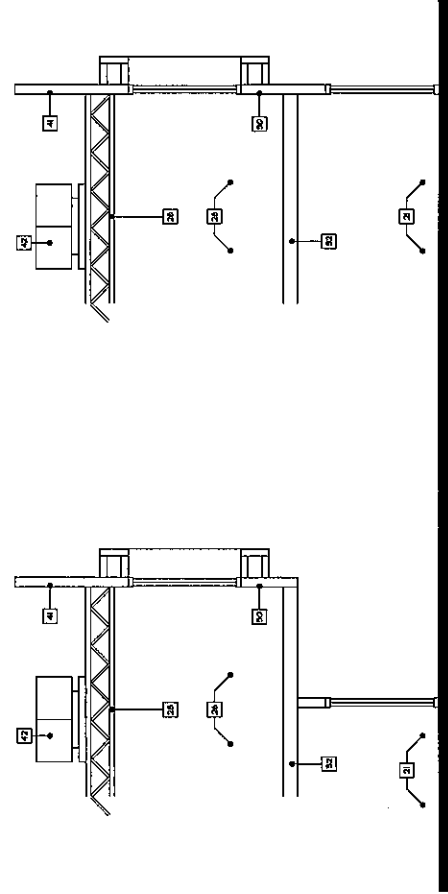
- GENERAL KEY NOTES:
- OFFICE/INTERIOR
- 1 OFFICE AREA
 - 2 MEN AND RESTROOM
 - 3 WOMEN AND RESTROOM
 - 4 METAL FABRICATED SHAK
 - 5 4" HMM METAL OPEN RAMP RAILS
 - 6 STORAGE AREA
 - 7 STEEL COLUMN
 - 8 OPEN/PER STEEL TRUSS
 - 9 FABRICATION AREA
 - 10 TIE-UP CONCRETE PILL
 - 11 METAL STEPS PILL
 - 12 1/2 FLOOR JOYS
 - 13 ROOF
 - 14 HANOVER 5-4" PER HOUR
 - 15 AS ANTI-TECHNICAL PRO
 - 16 FOR OFFICE & FIRST FLOOR ONLY
 - 17 4" x 8" VENTILATION SCROLLERS
 - 18 1/2" DED



SECTION F
Scale: 1/4" = 1'-0"

SECTION E
Scale: 1/4" = 1'-0"

SECTION D
Scale: 1/4" = 1'-0"



SECTION C
Scale: 1/4" = 1'-0"

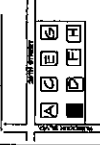
SECTION B
Scale: 1/4" = 1'-0"



RUBIDOUX DEVELOPMENT - FABRICATION
OFFICE - STORAGE - FABRICATION
2610 RUBIDOUX BLVD.
RIVERSIDE, CA 92504

PLOT PLAN NO. 22856

PLANNING LOCATION

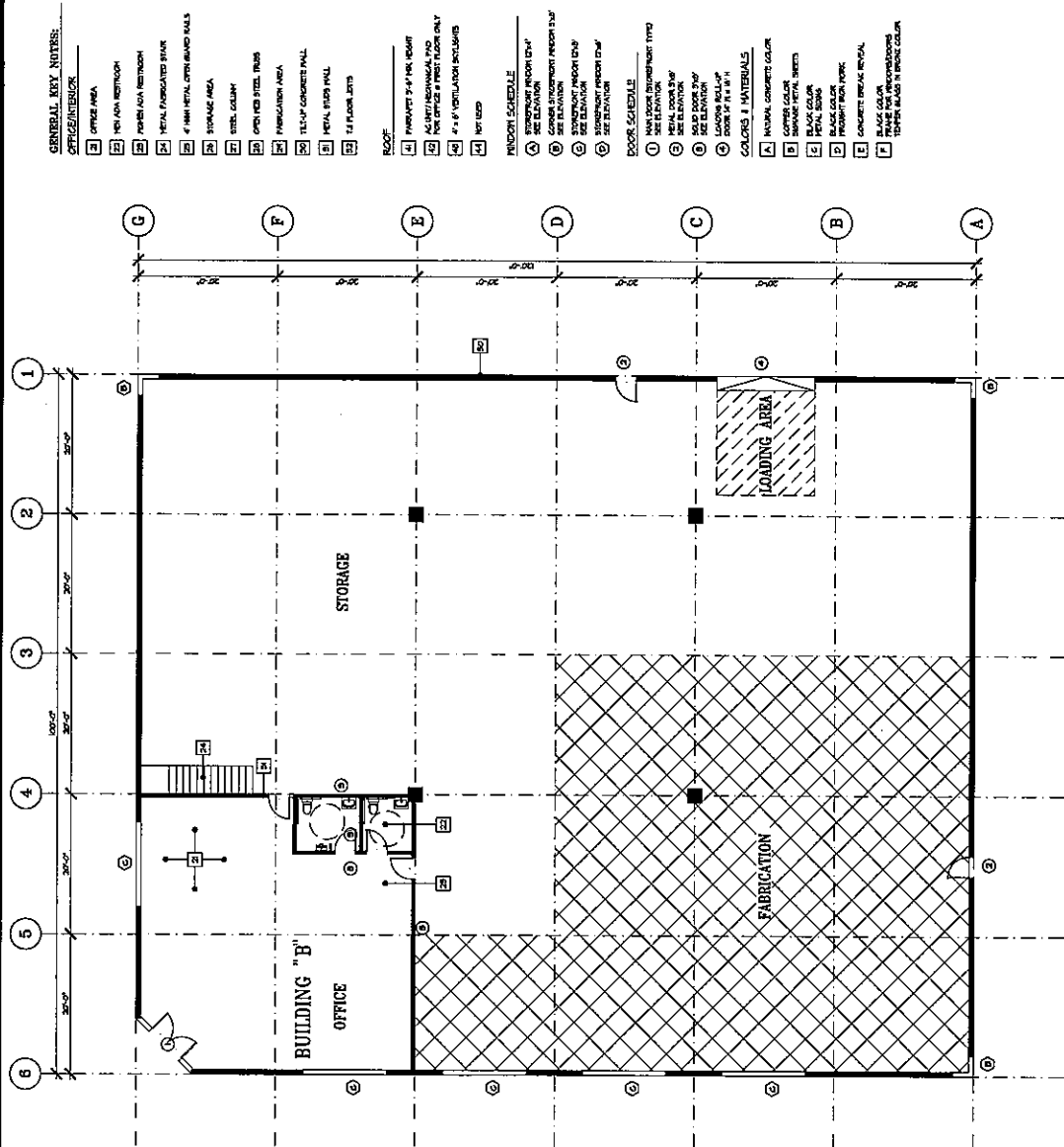


Sheet Title
BUILDING "B"
FLOOR PLAN

No.	Revisions	Date
1	Initial Planning Review	11-28-77
2	Final Planning Review	12-1-77
3	Final Planning Review	12-1-77
4	Final Planning Review	12-1-77

Drawn	Checked	1
Date Print	2-13-78	
Project	Project 1	
Sheet	Sheet 1	

B-1



GENERAL KEY NOTES:

OFFICE/INTERIOR

1 OFFICE AREA

2 10' X 10' RECEPTION

3 10' X 10' RECEPTION

4 10' X 10' RECEPTION

5 10' X 10' RECEPTION

6 10' X 10' RECEPTION

7 10' X 10' RECEPTION

8 10' X 10' RECEPTION

9 10' X 10' RECEPTION

10 10' X 10' RECEPTION

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81 10' X 10' RECEPTION

82 10' X 10' RECEPTION

83 10' X 10' RECEPTION

84 10' X 10' RECEPTION

BLDG. "B" GROUND FLOOR PLAN
Scale: 1/8" = 1'-0"



RUBIDOUX DEVELOPMENT - FABRICATION
2610 RUBIDOUX BLVD.
RIVERSIDE, CA 92504

PLOT PLAN NO. 22656

BUILDING LOCATION	
1	2
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Sheet Title
BUILDING "C"
FLOOR PLAN

No.	Revision	Date
1	Initial Planning	10-26-71
2	Final Planning	11-10-71
3	Final Planning	11-10-71
4	Final Planning	11-10-71
5	Final Planning	11-10-71

Drawn	1
Checked	-
Date Print	2-10-72
Scale	-
Project #	-
Sheet #	C-1

GENERAL KEY NOTES:

1. OFFICE AREA

2. OFFICE AREA

3. OFFICE AREA

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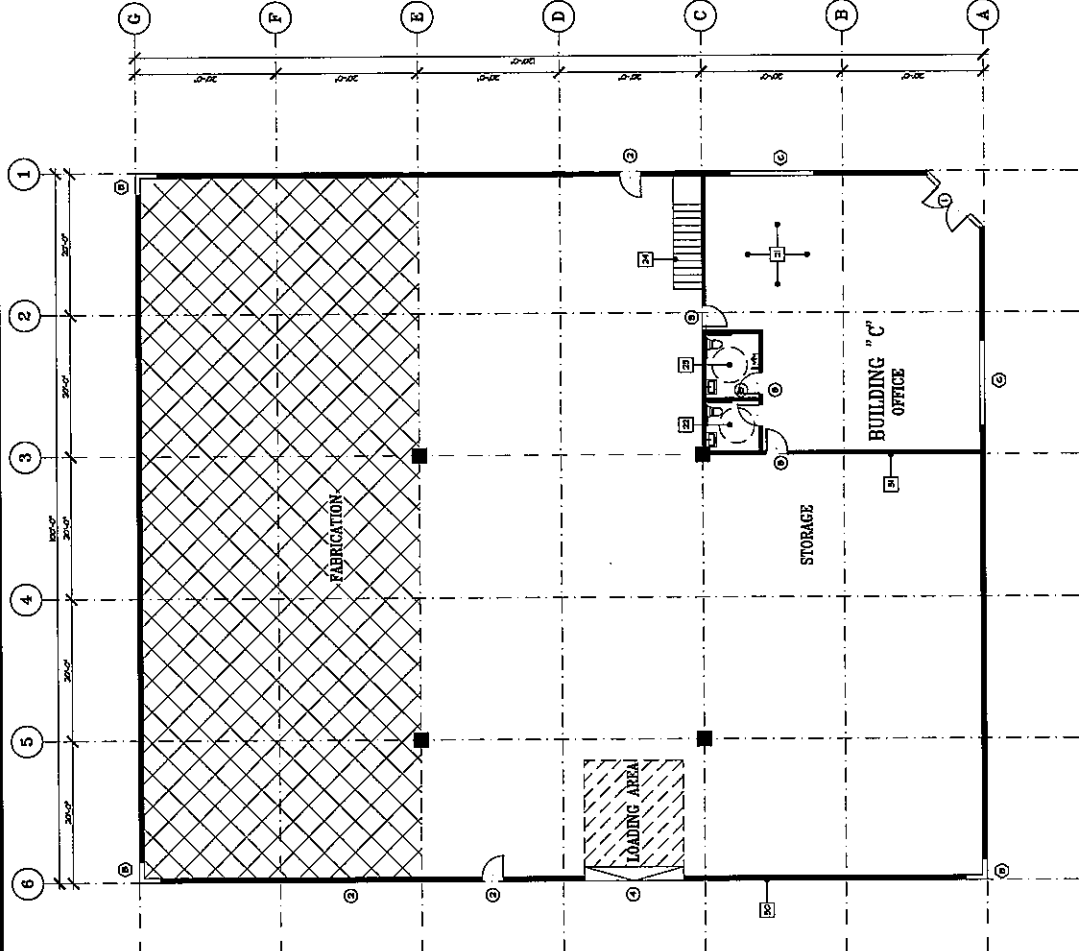
38. OFFICE AREA

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42. OFFICE AREA



BLDG. "C" GROUND FLOOR PLAN

Scale: 1/8" = 1'-0"



RUBIDOUX DEVELOPMENT INDUSTRIAL PARK
OFFICE - STORAGE - FABRICATION
2610 RUBIDOUX BLVD.
RIVERSIDE, CA 92504

PLOT PLAN NO. 22036

BUILDING LOCATION

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
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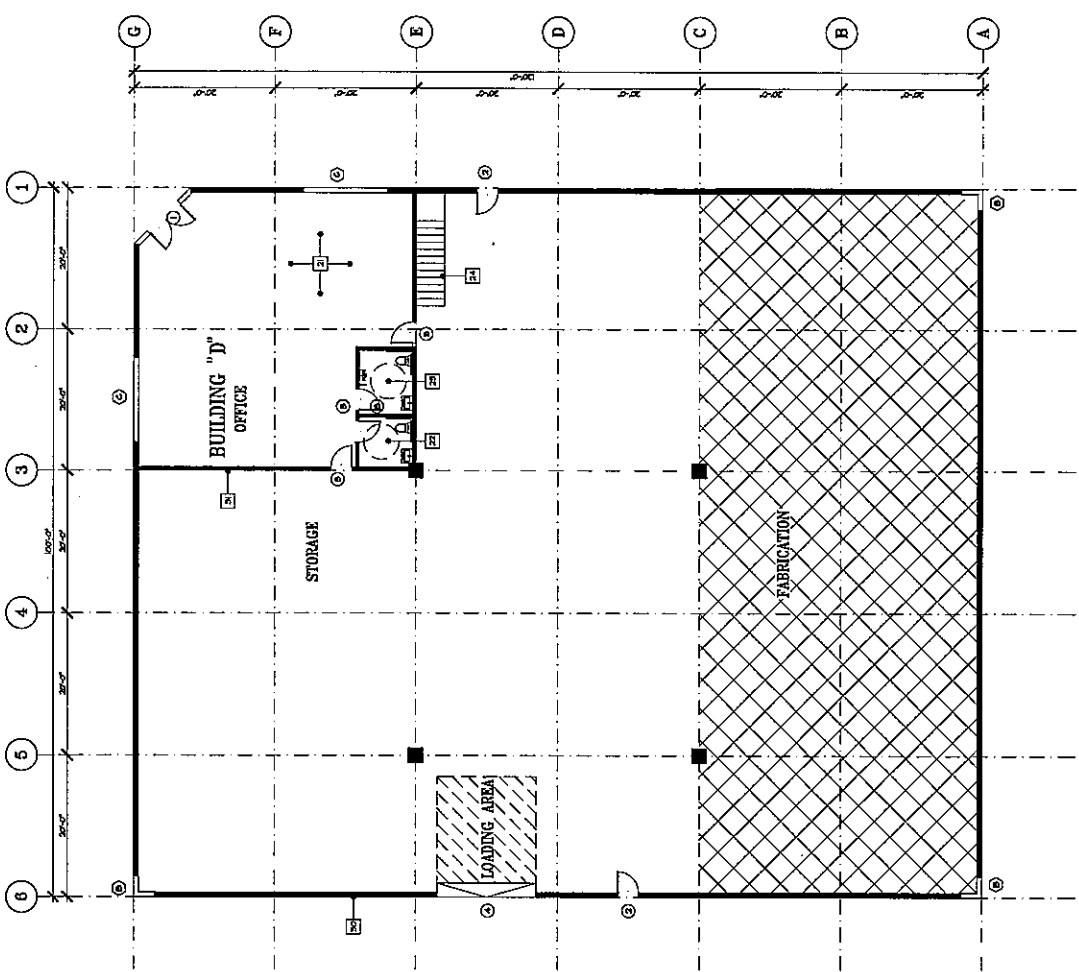
Sheet Title
**BUILDING "D"
FLOOR PLAN**

No.	Revisions	Date
1	Initial Planning Review	11-20-7
2	Second Planning Review	5-4-8
3	Third Planning Review	9-2-8
4	Architectural Revision	7-7-8

Drawn	4
Checked	2
Date Print	2-4-8
Scale	-
Project #	-
Sheet #	D-1

GENERAL KEY NOTES:

- OFFICE/INTERIOR**
- 1 OFFICE AREA
 - 2 MEN AND WOMEN RESTROOM
 - 3 OPEN AREA RESTROOM
 - 4 METAL FABRICATED SEAM
 - 5 FLOOR METAL OPEN WARD RAILS
 - 6 STORAGE AREA
 - 7 STEEL COLUMN
 - 8 OPEN FIBER STEEL TRUSS
 - 9 FABRICATION AREA
 - 10 METAL CONCRETE FILL
 - 11 METAL INTER FILL
 - 12 1/2 FLOOR JISTS
 - 13 ROOF
 - 14 HANGERS 2" x 4" PER JOIST
 - 15 ACME TRUSS METAL TWO
 - 16 1/2" x 1/2" VENTILATION SOLUTIONS
 - 17 VENTILATION
 - 18 WINDOW SCHEDULE
 - 19 STURDIMENT WINDOW 12" x 16"
 - 20 SEE ELEVATION
 - 21 STURDIMENT WINDOW 12" x 16"
 - 22 SEE ELEVATION
 - 23 STURDIMENT WINDOW 12" x 16"
 - 24 SEE ELEVATION
 - 25 STURDIMENT WINDOW 12" x 16"
 - 26 SEE ELEVATION
 - 27 DOOR SCHEDULE
 - 28 METAL DOOR 12" x 16"
 - 29 SEE ELEVATION
 - 30 METAL DOOR 12" x 16"
 - 31 SEE ELEVATION
 - 32 LOADING ROLLUP
 - 33 DOOR 12" x 16"
 - 34 DOOR 12" x 16"
 - 35 COLORS & MATERIALS
 - 36 METAL CONCRETE COLUMN
 - 37 CONCRETE COLUMN
 - 38 SAWDUST METAL SHEET
 - 39 BLACK COLOR
 - 40 METAL SCHE
 - 41 PRECINCT WORK
 - 42 CONCRETE BRICK REPAIR
 - 43 BLACK COLOR
 - 44 MAKE FOR IMPROVED
 - 45 IMPROVED IN BRICK COLOR



BLDG. "D" GROUND FLOOR PLAN

Scale: 1/8" = 1'-0"



RUBIDOUX DEVELOPMENT INDUSTRIAL PARK
OFFICE - STORAGE - FABRICATION
2610 RUBIDOUX BLVD.
RIVERSIDE, CA 92504

PLOT PLAN NO. 22696

BUILDING LOCATION

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GENERAL KEY NOTES:

OUTSIDE/INTERIOR

1. OFFICE AREA

2. OFFICE AREA

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5. OFFICE AREA

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7. OFFICE AREA

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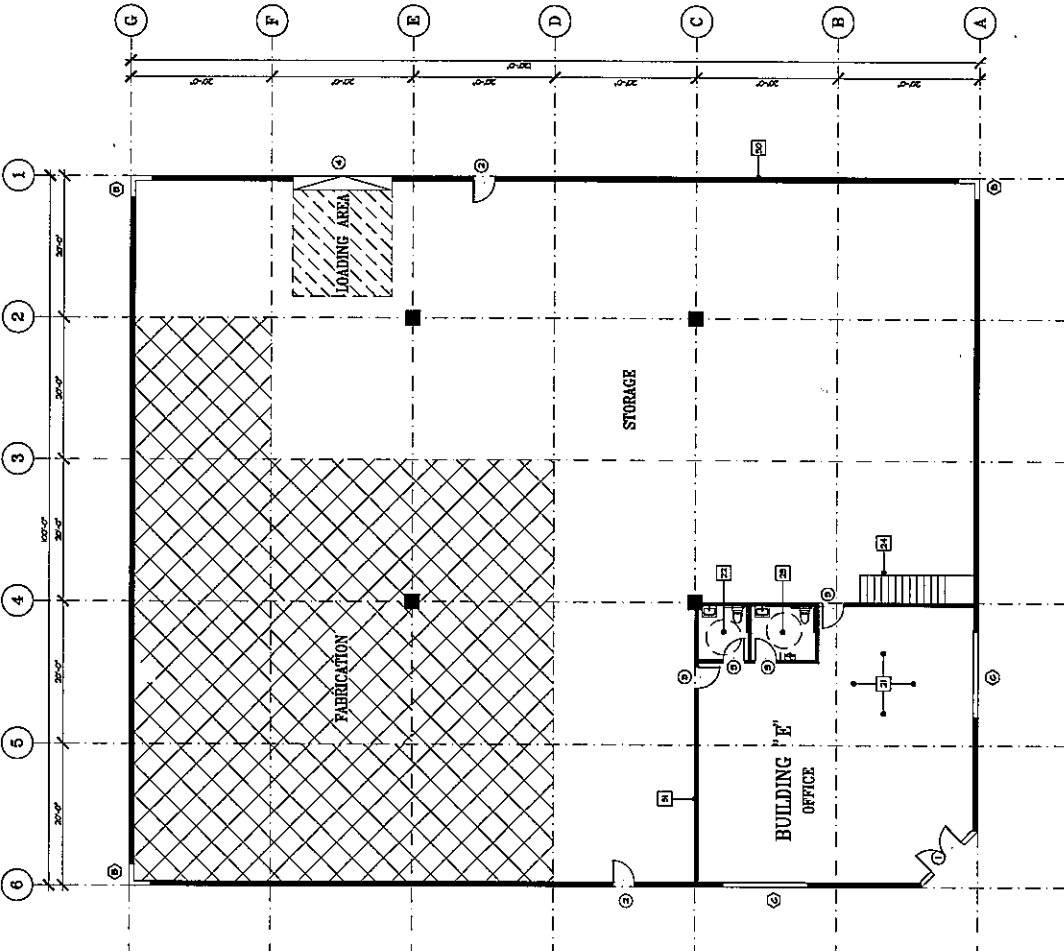
71. OFFICE AREA

72. OFFICE AREA

73. OFFICE AREA

74. OFFICE AREA

75. OFFICE AREA



BLDG. "E" GROUND FLOOR PLAN

Scale: 1/8" = 1'-0"



E-1

Sheet 1

Project 1

Date Print

Drawn

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2-10-9

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RUBIDOUX DEVELOPMENT INDUSTRIAL PARK
OFFICE - STORAGE - FABRICATION
2610 RUBIDOUX BLVD.
RIVERSIDE, CA 92504

PLOT PLAN NO. 22656

REVISION LOCATION

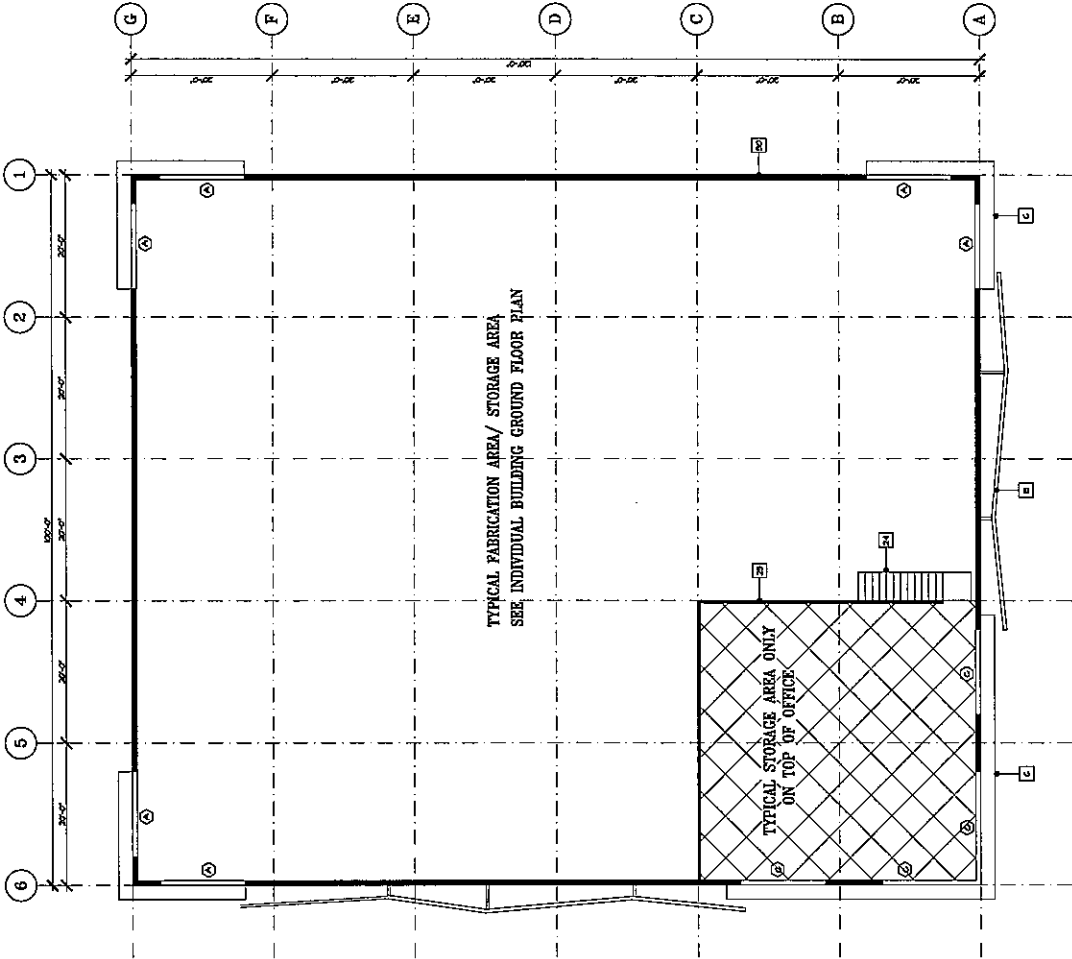
1	2	3	4	5	6	7	8	9	10
A	B	C	D	E	F	G	H	I	J

Sheet Title
TYPICAL SECOND FLOOR
STORAGE AREA

No.	Revisions	Date
1	1st Planning Revision	11-28-77
2	2nd Planning Revision	1-2-78
3	3rd Planning Revision	5-21-78
4	4th Planning Revision	7-1-78

Drawn	Checked	Reviewed	Scale
-	-	-	-
Project #	Sheet #		
-	M-1		

- GENERAL KEY NOTES:
- OFFICE/INTERIOR
- 1 OFFICE AREA
 - 2 MEN AND RESTROOM
 - 3 MEN AND RESTROOM
 - 4 METAL FABRICATED STAIR
 - 5 4" HAWK METAL LIDS BOUND BALLS
 - 6 STORAGE AREA
 - 7 STEEL COLUMN
 - 8 OPEN END STEEL TRUSS
 - 9 FABRICATION AREA
 - 10 TIE-UP CONCRETE WALL
 - 11 METAL STEPS HALL
 - 12 1/2 FLOOR JOYS
- ROOF
- 13 PARAPET 3'-4" HIGH
 - 14 ALUMINUM RAINSCREEN, 1/2" FOR OFFICE & FLOOR ONLY
 - 15 4" x 8" VENTILATION DECKS
 - 16 NOT USED
- WINDUP SCHEDULE
- 17 ROOF/STAIR ROOM 2" x 4"
 - 18 SEE ELEVATION
 - 19 ROOF/STAIR ROOM 2" x 4"
 - 20 SEE ELEVATION
 - 21 ROOF/STAIR ROOM 2" x 4"
 - 22 SEE ELEVATION
 - 23 ROOF/STAIR ROOM 2" x 4"
 - 24 SEE ELEVATION



TYPICAL SECOND FLOOR (STORAGE)

Scale: 1/8" = 1'-0"

SECTION A-A
SCALE 1/8" = 1'-0"

SECTION B-B
S&P 1-10'

SECTION C-C

SECTION E-E
SCALE 1"=10'

SECTION FF
SOLZ: F=10'


SECTION G-G
Welded Steel

SECTION HH
HH-1

SECTION H

SECTION J-J

SECTION K-X

Underground Service Alert
 Call: TOLL FREE
 1-800
 227-2600
 TWO WORKING DAYS BEFORE YOU DIG

NOTE:
WORK CONTAINED WITHIN THESE PLANS SHALL NOT COMMENCE UNTIL AN EMPLOYMENT PERMIT AND OR GRADING PERMIT HAS BEEN ISSUED.

THE PRIVATE DESIGNER BEING THESE PLANS IS RESPONSIBLE FOR ASSURING THE ACCURACY AND ACCEPTABILITY OF THE DESIGN NOTED IN THE EVENT OF DISCREPANCIES ARISING AFTER COUNTY APPROVAL. BECAUSE OF THE COMPLEX NATURE OF THE PROJECT, THE PRIVATE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REVIEWING THE PLANS FOR APPROVAL BY THE COUNTY.

[illegible]

COUNTY OF RIVERSIDE
TRANSPORTATION DEPARTMENT
APPROVED BY:
JULIAN D. FRENCH R.C.E. 43702 Exp. 12-31-08

三和洋行 Hall & Fotherman, Inc.
Engineering Service • Planning • Landscape Architecture
2100 Avenue C, New York 17, N.Y.
Phone: (212) 697-1800 Telex: 272727 Fax: (212) 697-1800

PREPARED BY:

MARSHALL A. CARLSON, P.E. DATE _____
R.C.No. 31981 EXP. DATE _____

BENCHMARK:
COUNTY OF PAVANCO BRASS DISK STAMPED
M.L.R.-3-84 AT THE SOUTHWEST CORNER OF THE
BANK BUILDING
HIGHWAY 45.5 FEET ABOVE SEA LEVEL
OF THE RICHMOND BOLLIVARD 27.0 FEET BOUND
OFF SHARP OF HIGHWAY BOLLIVARD. THE SEERNAUK
OF BANK DISK 51.5 IN THE TOP OF A 1.0 FOOT
A 2.0 FOOT CONCRETE POST AND MARKED M.L.R.-3-84.
ELEVATION: 68.55

SCALE: _____
H: _____ V: _____

TRACT 35267	I.P. No. 0XXXXX	SHEET NO. <u>2</u> OF <u>2</u> SHEETS
COUNTY OF RIVERSIDE		FILE NO.
SECTIONS		
PLOT PLAN NO. 22636		
RIVERSIDE INDUSTRIAL PARK, LLC 1400 N. HIGHWAY 91 BLOOMINGTON, MO 64710		COUNTY FILE NO. W.C.

26TH STREET

RUBIDOUX BOULEVARD

BUILDING 'A'
FF=866.80
PAD=866.30

BUILDING 'B'
FF=867.00
PAD=866.50

BUILDING 'C'
FF=861.25
PAD=861.00

BUILDING 'D'
FF=862.10
PAD=861.80

BUILDING 'E'
FF=857.70
PAD=857.10

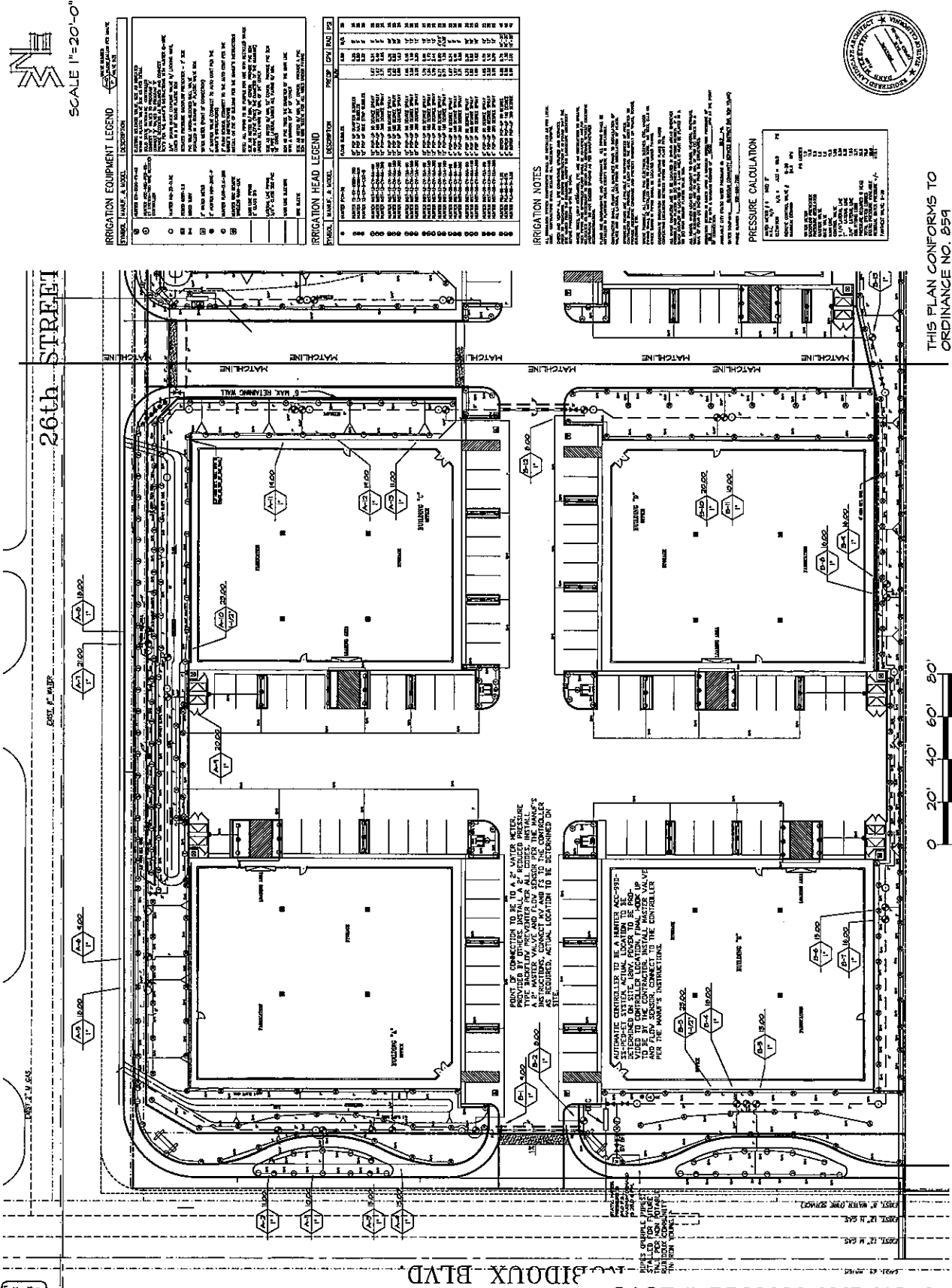
BUILDING 'F'
FF=859.35
PAD=858.85

BUILDING 'G'
FF=852.90
PAD=852.40

BUILDING 'H'
FF=854.70
PAD=854.20

THESE PLANS SHALL NOT
ENCROACHMENT PERMIT AND
BE ISSUED.

CASE #: PP22636 AMD NO. 3
EXHIBIT:G (SHEETS 1-2)
DATE: 7/23/08
PLANNER:C.HINOJOSA



THIS PLAN CONFORMS TO
ORDINANCE NO. 859

CASE #: PP22636 AMD NO. 3
EXHIBIT:L (SHEETS 1-9)
DATE: 7/23/08
PLANNER:C.HINOJOSA

ELC

ENVIRONMENTAL LANDSCAPE CONCEPTS
LAND PLANNERS
2256 MEADOW LANE, FULLERTON, CALIFORNIA 92831-2123
TEL 951.254.1232
VOICE 714.773.9266
FAX 714.773.9266
www.elc-landscape.com

Rubidoux Dev., Industrial Park
890 East Ontario Boulevard
Ontario, CA 91761-1835
909-391-1077

IRIGATION SCHEMATIC
Rubidoux Dev., Industrial Park
2510 Rubidoux Boulevard, Rubidoux, Ca 92316

Date: 7-03-03
Drawn by: Dams
Sheet: L-2
Job no. 24019

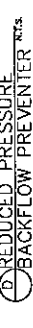
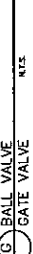
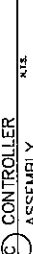
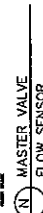
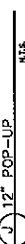
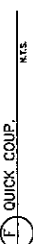
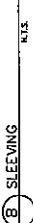
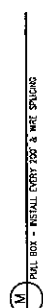
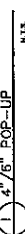
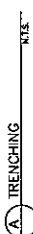


SCALE 1"=20'-0"

IRRIGATION EQUIPMENT LEGEND

SYMBOL	NAME & MODEL	DESCRIPTION
1	PISTON PUMP 1/2 HP	1/2 HP PISTON PUMP
2	PISTON PUMP 3/4 HP	3/4 HP PISTON PUMP
3	PISTON PUMP 1 HP	1 HP PISTON PUMP
4	PISTON PUMP 1 1/2 HP	1 1/2 HP PISTON PUMP
5	PISTON PUMP 2 HP	2 HP PISTON PUMP
6	PISTON PUMP 3 HP	3 HP PISTON PUMP
7	PISTON PUMP 4 HP	4 HP PISTON PUMP
8	PISTON PUMP 5 HP	5 HP PISTON PUMP
9	PISTON PUMP 6 HP	6 HP PISTON PUMP
10	PISTON PUMP 8 HP	8 HP PISTON PUMP
11	PISTON PUMP 10 HP	10 HP PISTON PUMP
12	PISTON PUMP 15 HP	15 HP PISTON PUMP
13	PISTON PUMP 20 HP	20 HP PISTON PUMP
14	PISTON PUMP 25 HP	25 HP PISTON PUMP
15	PISTON PUMP 30 HP	30 HP PISTON PUMP
16	PISTON PUMP 35 HP	35 HP PISTON PUMP
17	PISTON PUMP 40 HP	40 HP PISTON PUMP
18	PISTON PUMP 45 HP	45 HP PISTON PUMP
19	PISTON PUMP 50 HP	50 HP PISTON PUMP
20	PISTON PUMP 55 HP	55 HP PISTON PUMP
21	PISTON PUMP 60 HP	60 HP PISTON PUMP
22	PISTON PUMP 65 HP	65 HP PISTON PUMP
23	PISTON PUMP 70 HP	70 HP PISTON PUMP
24	PISTON PUMP 75 HP	75 HP PISTON PUMP
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35	PISTON PUMP 130 HP	130 HP PISTON PUMP
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37	PISTON PUMP 140 HP	140 HP PISTON PUMP
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39	PISTON PUMP 150 HP	150 HP PISTON PUMP
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44	PISTON PUMP 175 HP	175 HP PISTON PUMP
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63	PISTON PUMP 270 HP	270 HP PISTON PUMP
64	PISTON PUMP 275 HP	275 HP PISTON PUMP
65	PISTON PUMP 280 HP	280 HP PISTON PUMP
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74	PISTON PUMP 325 HP	325 HP PISTON PUMP
75	PISTON PUMP 330 HP	330 HP PISTON PUMP
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105	PISTON PUMP 480 HP	480 HP PISTON PUMP
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295	PISTON PUMP 1430 HP	1430 HP PISTON PUMP
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300	PISTON PUMP 1455 HP	1455 HP PISTON PUMP
301	PISTON PUMP 1460 HP	1460 HP PISTON PUMP</

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Figure 1: A large, empty coordinate grid for plotting a map. The grid is 10 cm wide and 10 cm high. The horizontal axis (X-axis) is labeled 'Easting' and ranges from 0 to 1000. The vertical axis (Y-axis) is labeled 'Northing' and ranges from 0 to 1000. The grid lines are spaced at 100m intervals. The grid is divided into four quadrants by the 500m lines. The quadrants are labeled: Top-Left (Northing 0-500, Easting 0-500), Top-Right (Northing 0-500, Easting 500-1000), Bottom-Left (Northing 500-1000, Easting 0-500), and Bottom-Right (Northing 500-1000, Easting 500-1000). The grid is used for plotting the map of the area around the school.

Private County Government's Legislative Priorities for the Legislature		LEGISLATIVE PRIORITIES	
Rank	Legislative Priority	Rank	Legislative Priority
1	Reduce the state income tax	1	Reduce the state income tax
2	Reduce the state sales tax	2	Reduce the state sales tax
3	Reduce the state property tax	3	Reduce the state property tax
4	Reduce the state corporate tax	4	Reduce the state corporate tax
5	Reduce the state inheritance tax	5	Reduce the state inheritance tax
6	Reduce the state gift tax	6	Reduce the state gift tax
7	Reduce the state estate tax	7	Reduce the state estate tax
8	Reduce the state capital gains tax	8	Reduce the state capital gains tax
9	Reduce the state dividend tax	9	Reduce the state dividend tax
10	Reduce the state interest tax	10	Reduce the state interest tax
11	Reduce the state unemployment tax	11	Reduce the state unemployment tax
12	Reduce the state workers' compensation tax	12	Reduce the state workers' compensation tax
13	Reduce the state disability tax	13	Reduce the state disability tax
14	Reduce the state health care tax	14	Reduce the state health care tax
15	Reduce the state education tax	15	Reduce the state education tax
16	Reduce the state pension tax	16	Reduce the state pension tax
17	Reduce the state social security tax	17	Reduce the state social security tax
18	Reduce the state Medicare tax	18	Reduce the state Medicare tax
19	Reduce the state Medicaid tax	19	Reduce the state Medicaid tax
20	Reduce the state child support tax	20	Reduce the state child support tax
21	Reduce the state child care tax	21	Reduce the state child care tax
22	Reduce the state child abuse tax	22	Reduce the state child abuse tax
23	Reduce the state child neglect tax	23	Reduce the state child neglect tax
24	Reduce the state child neglect tax	24	Reduce the state child neglect tax
25	Reduce the state child neglect tax	25	Reduce the state child neglect tax

Figure 1 is a schematic diagram of the experimental setup for measuring the rate of change of water potential. It shows a plant with a stem and leaves, connected to a water potential sensor (WP) and a data logger (DL). The sensor is inserted into the stem, and the data logger records the potential over time. The diagram also shows a cross-section of the stem with the sensor tip and a small volume of water (V) being measured. The sensor is labeled 'WP' and the data logger is labeled 'DL'. The diagram is labeled 'Figure 1. Schematic diagram of the experimental setup for measuring the rate of change of water potential.'

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Do not leave the hot continuously for more than 10 minutes. When reducing the heat,

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506 JOURNAL OF POST KEYNESIAN ECONOMICS

TABLE 1
 THE MONETARY POLICY FRAMEWORK

The table presents the monetary policy framework for the Argentine economy. It is organized into three main sections: 'Monetary Policy', 'Fiscal Policy', and 'Exchange Rate Policy'. Each section contains a list of policy instruments and their corresponding targets or objectives. The 'Monetary Policy' section includes 'Monetary Growth', 'Interest Rates', and 'Money Supply'. The 'Fiscal Policy' section includes 'Government Spending', 'Taxation', and 'Debt'. The 'Exchange Rate Policy' section includes 'Exchange Rate' and 'Reserves'. The table is structured as follows:

Policy Instrument	Target/Objective
Monetary Growth	Controlled
Interest Rates	Controlled
Money Supply	Controlled
Government Spending	Controlled
Taxation	Controlled
Debt	Controlled
Exchange Rate	Controlled
Reserves	Controlled

Yoshi, I'd be happy to see you in a "Grip-and-Tear" bag, but please do not use the bag for anything other than its intended purpose. If you do, we will not be responsible for any damage or loss.

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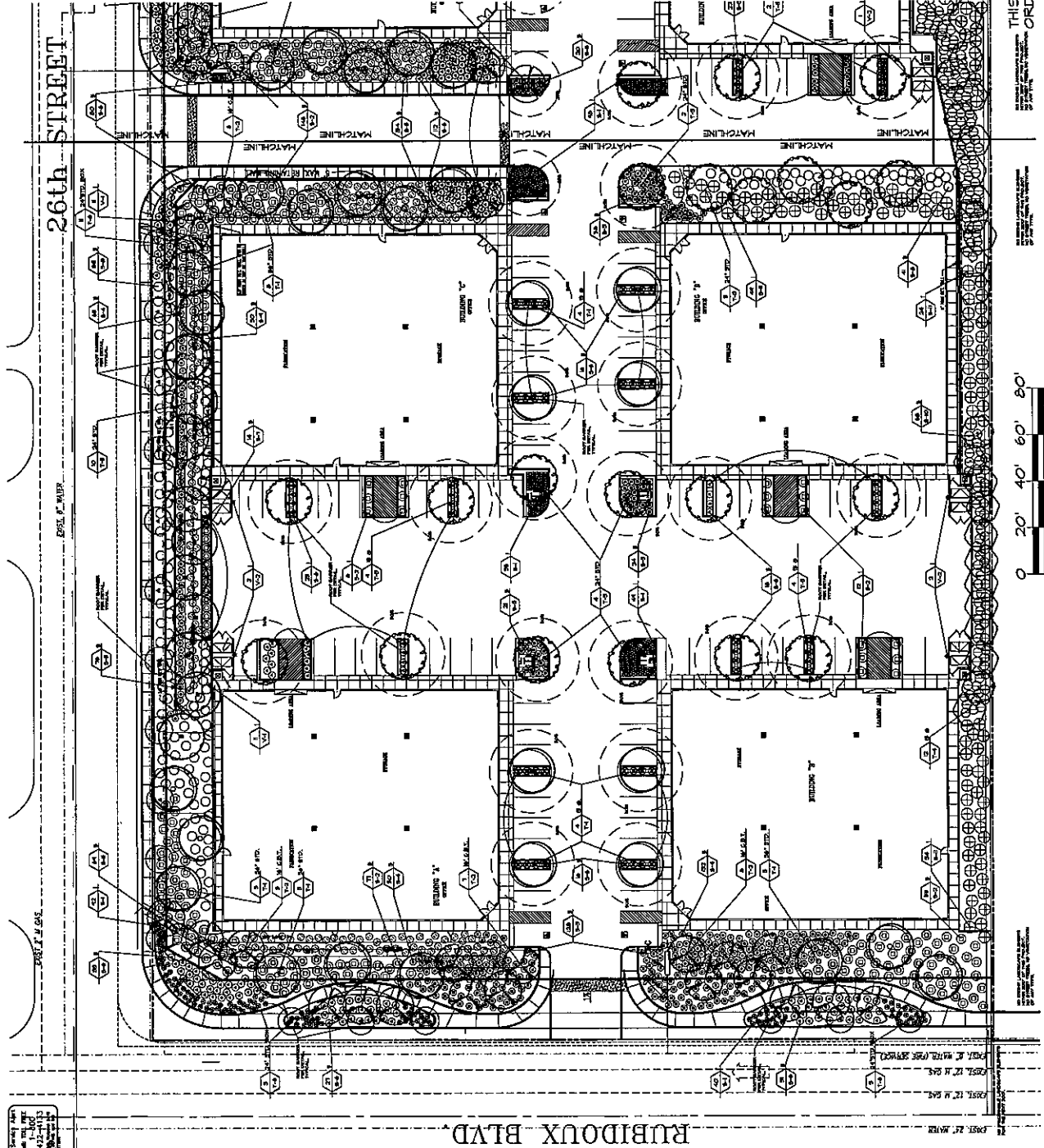
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SCALE 1"=20'-0"

REFER TO SHEET L-4 FOR
PLANTING LEGEND, DETAILS &
NOTES.



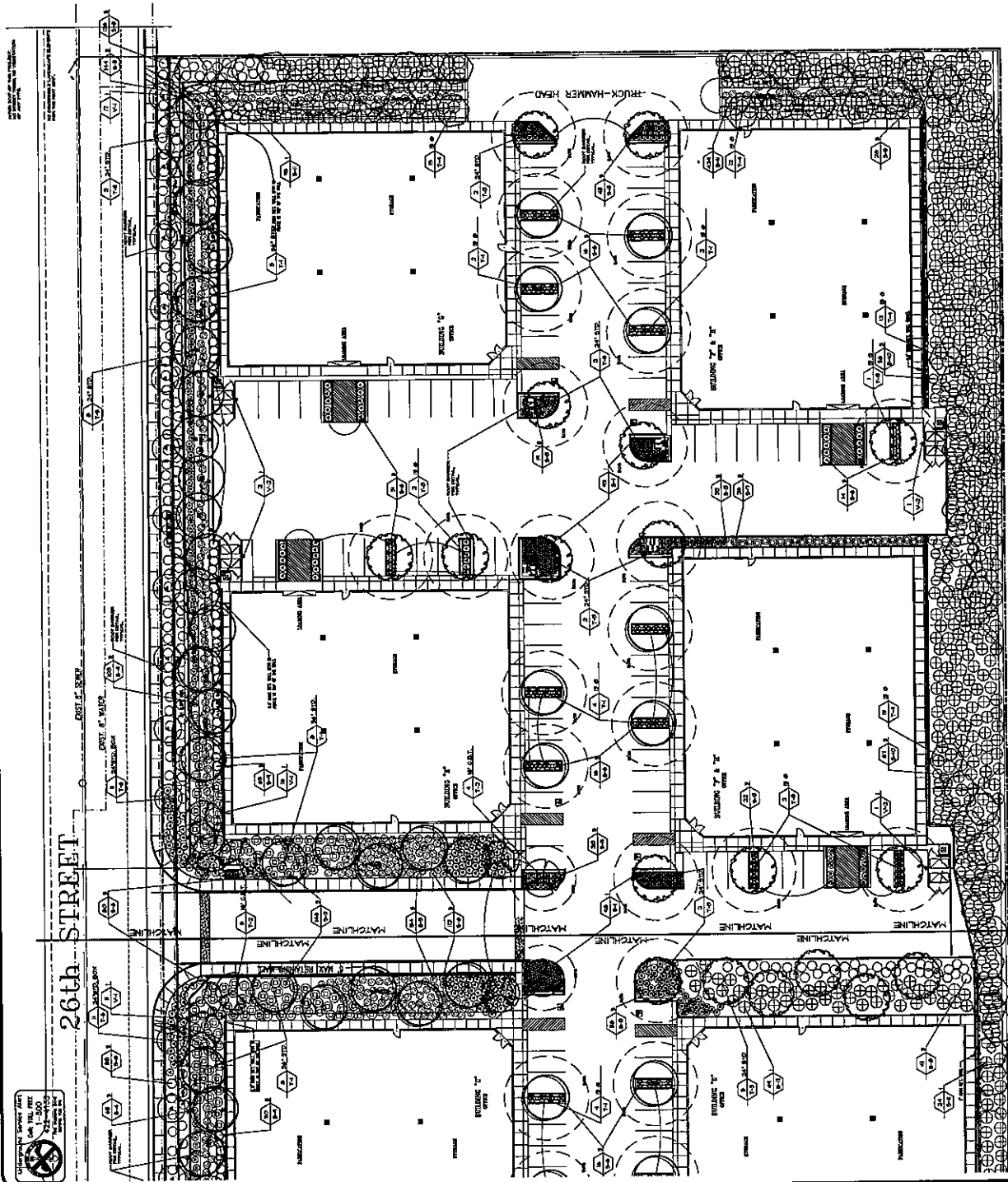


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PLANT LEGEND

ALL TREES TO HAVE LEAKA ROOT BARRIERS INST. TO ANY INTERFERENCE OR OBSTACLE.

TREES:

SYM. BOTANICAL NAME	COMMON NAME	SIZE	ESTIMATED QUANTITY	EVER. DEG.	REGION 4	HYDROZONE	SPACING
T-1 QUERCUS AGROPHYLLA	COAST LINE OAK	36" BOX	44	E	LOH	ONE	RANDOM
T-2 MASHINGTONIA ROBUSTA	MEXICAN FAN PALM	18" GBT.	50	E	LOH	ONE	RANDOM
T-3 PINUS PALMERIS	ALPERTO PINE	34" BOX	30	E	LOH	ONE	RANDOM
T-4 BICALYPTUS SIDERONYLON	RED ROSEBARK	9 GALLON	64	E	LOH	ONE	RANDOM
T-5 PINUS COULTERI	COLTIER PINE	34" BOX	14	E	LOH	ONE	RANDOM
T-6 ARBUTUS UNEDO (STREET TREE)	STRANDBERRY TREE	18 GALLON	20	E	LOH	ONE	30' ON CENTER

SHRUBS:

SYM. BOTANICAL NAME	COMMON NAME	SIZE	ESTIMATED QUANTITY	EVER. DEG.	REGION 4	HYDROZONE	SPACING
S-1 OENOTHERA CAERULEA	WHITE EVENING PRIMROSE	1 GALLON	426	E	LOH	ONE	24"
S-2 BACCHARIS P. TRICH PLENS #2	DWARF COTYLE BRUSH	9 GALLON	246	E	LOH	ONE	48"
S-3 HUMPHRIA TRIANGULARIS	CORAL FLOWER	9 GALLON	510	E	LOH	ONE	32"
S-4 HESPERALOE PARVIFLORA	RED YUCCA	9 GALLON	350	E	LOH	ONE	32"
S-5 FENISTEM S. "BATON CANYON"	BATON CANYON FOUNTAIN GRASS	9 GALLON	460	E	LOH	ONE	36"
S-6 LANTANA Y. "NEW GOLD"	GOLDEN LANTANA	9 GALLON	420	E	LOH	ONE	36"
S-7 ELAEAGNUS FUMIGOS	SILVERBERRY	9 GALLON	40	E	LOH	ONE	42"
S-8 Ceanothus 6H. "YANKEE POINT"	"YANKEE POINT CA. LILAC	9 GALLON	250	E	LOH	ONE	48"
S-9 GREVILLEA NOELII	NOEL'S GREVILLEA	9 GALLON	95	E	LOH	ONE	48"
S-10 SINKHOSIA CHINENSIS "VISTA"	VISTA JOLUBA	9 GALLON	252	E	LOH	ONE	48"
S-11 ACACIA NEBOLENS "DESERT CARPET"	DESERT CARPET ACACIA	1 GALLON	636	E	LOH	ONE	60"

VINES:

SYM. BOTANICAL NAME	COMMON NAME	SIZE	ESTIMATED QUANTITY	EVER. DEG.	REGION 4	HYDROZONE	SPACING
V-1 BOGANVILLEA TOUSSEYI 12"	BOGANVILLEA	1 GALLON	55	E	LOH	ONE	RANDOM
V-2 MACADAMEA UNUS-CATI	CATS CLAW VINE	1 GALLON	6	E	LOH	ONE	RANDOM

GROUND COVERS:

SYM. BOTANICAL NAME SIZE

ALL PLANTED AREAS TO BE PROVIDED WITH A 3" DEEP LAYER OF SHREDDED REDWOOD BARK. LANDSCAPE CONTRACTOR TO SUBMIT SAMPLE TO LANDSCAPE ARCHITECT.

18 24" INDICATES QUANTITY OF MATERIAL
T-12 INDICATES SIZE OF CONTAINER STOCK
INDICATES PLANT LEGEND SYMBOL

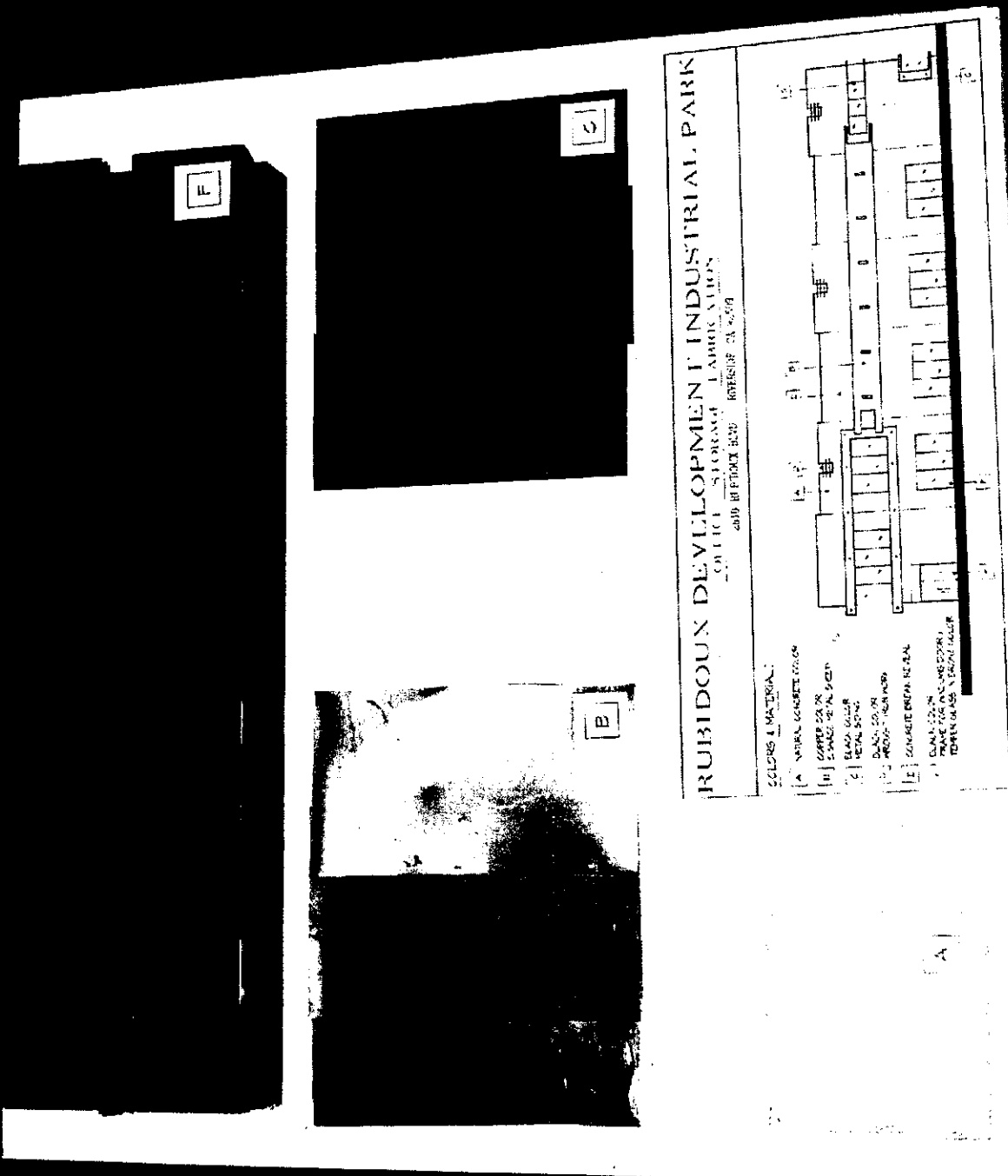
ALL TREES TO BE LOCATED A MINIMUM OF 10'-0" FROM ALL STREET LIGHTS.

PARKING LOT SHADE CALC'S:

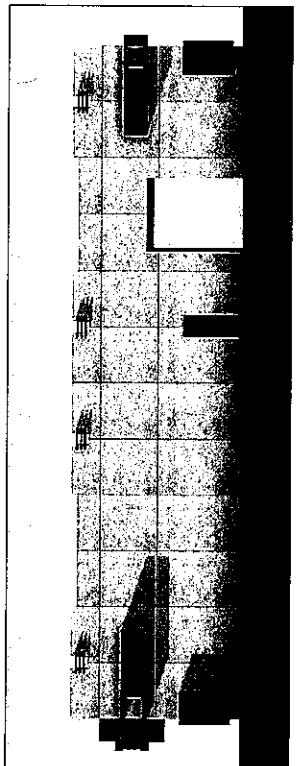
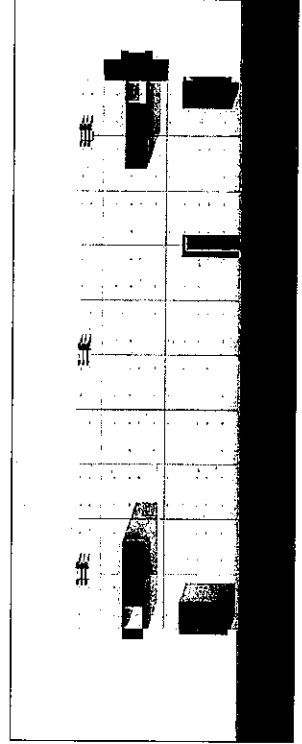
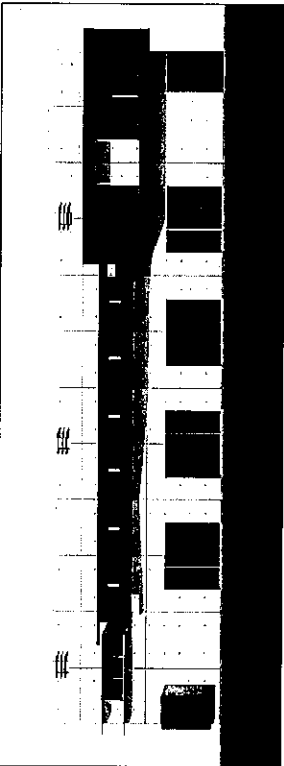
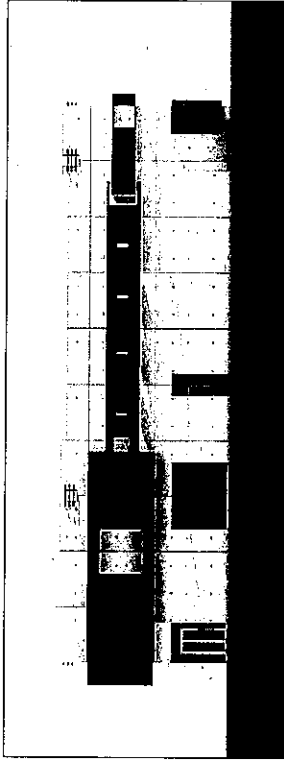
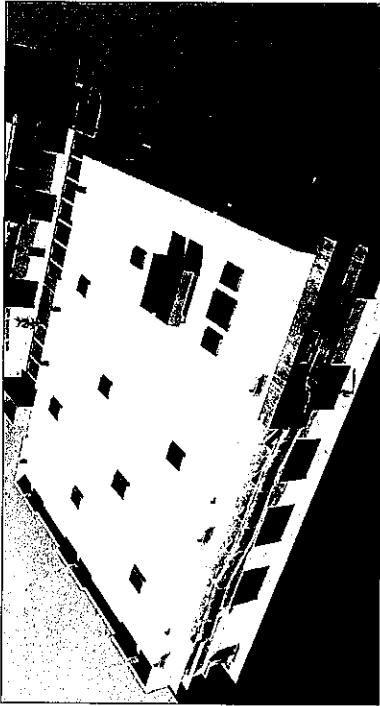
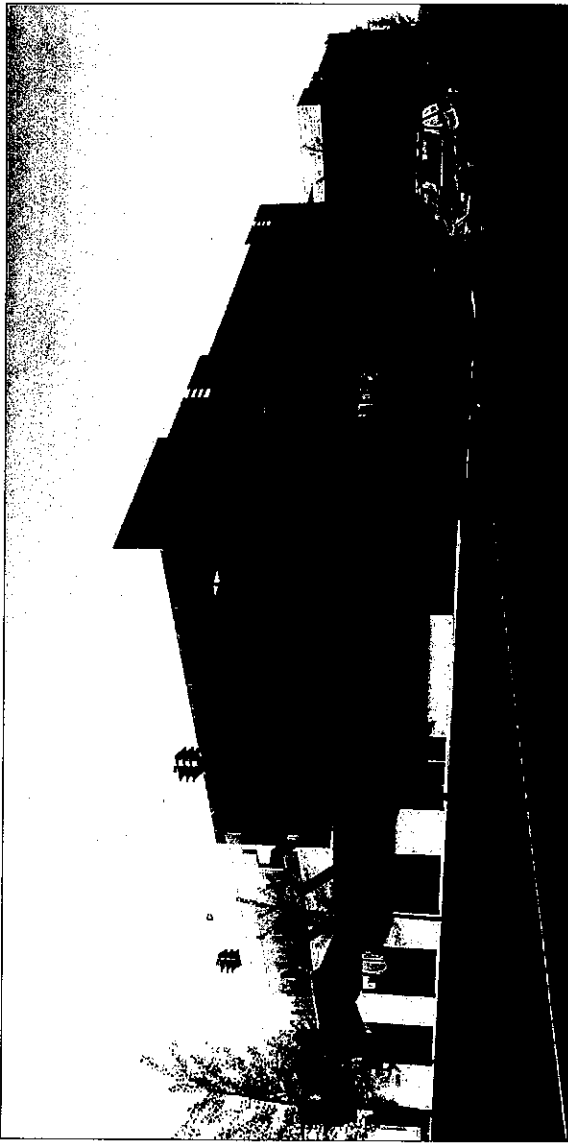
SYM.	BOTANICAL NAME	COMMON NAME	SIZE	ESTIMATED QUANTITY	EVER. DEG.	REGION 4	HYDROZONE	SPACING
T-1	QUERCUS AGROPHYLLA	COAST LINE OAK	36" BOX	44	E	LOH	ONE	RANDOM
T-2	MASHINGTONIA ROBUSTA	MEXICAN FAN PALM	18" GBT.	50	E	LOH	ONE	RANDOM
T-3	PINUS PALMERIS	ALPERTO PINE	34" BOX	30	E	LOH	ONE	RANDOM
T-4	BICALYPTUS SIDERONYLON	RED ROSEBARK	9 GALLON	64	E	LOH	ONE	RANDOM
T-5	PINUS COULTERI	COLTIER PINE	34" BOX	14	E	LOH	ONE	RANDOM
T-6	ARBUTUS UNEDO (STREET TREE)	STRANDBERRY TREE	18 GALLON	20	E	LOH	ONE	30' ON CENTER
TOTAL TREE SHADE: 30,000 S.F.								
TOTAL PARKING AREA: 24,000 S.F.								
SHADE AREA REQUIRED: 20,000 S.F.								
TOTAL SHADE PROVIDED: 30,000 S.F.								
PERCENT SHADE: 125%								



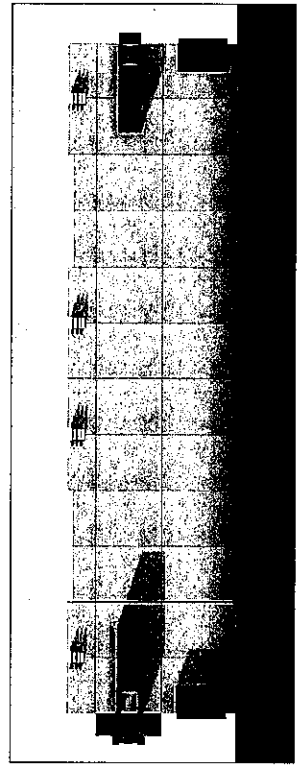
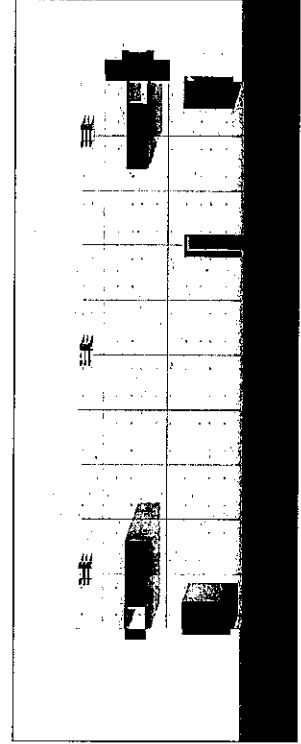
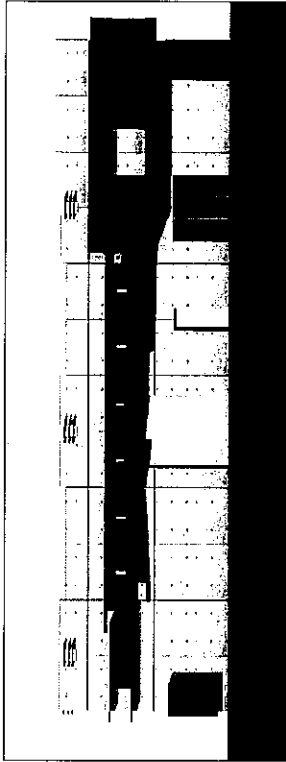
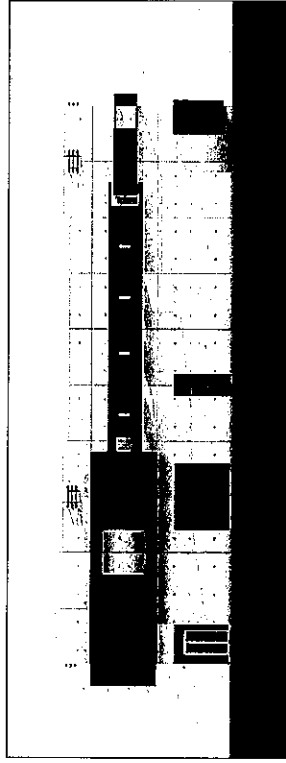
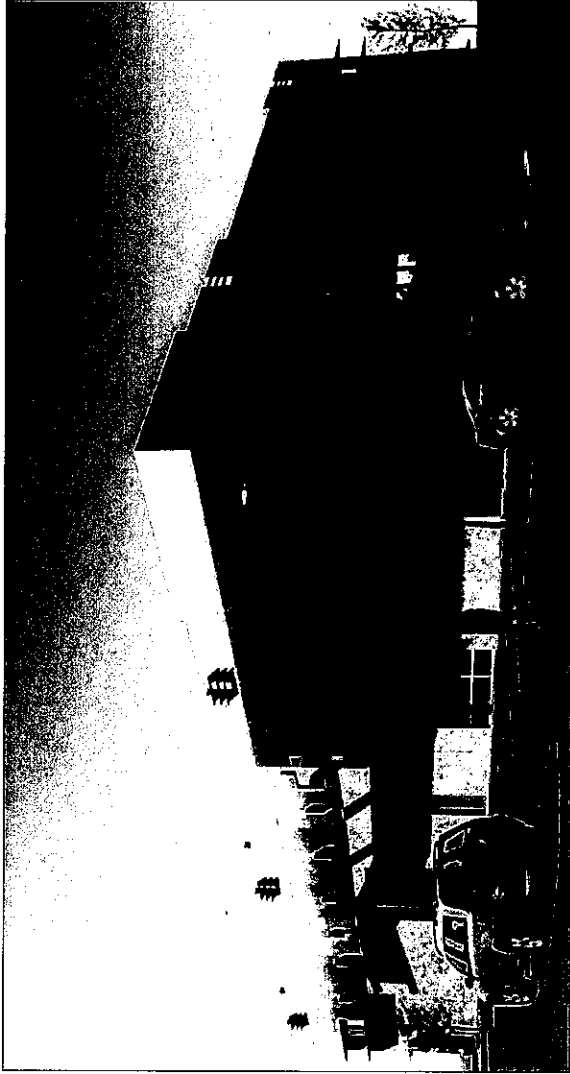
THIS PLAN CONFORMS TO
ORDINANCE NO. 859



CASE #: PP22636 AMD NO. 3
 EXHIBIT:M (SHEETS 1-3)
 DATE: 7/23/08
 PLANNER:C.HINOJOSA



RUBIDOUX DEVELOPMENT INDUSTRIAL PARK
 OFFICE - STORAGE - FABRICATION
 2410 RUBIDOUX BLVD.
 RIVERSIDE, CA 92506



RUBIDOUX DEVELOPMENT INDUSTRIAL PARK
 OFFICE - STORAGE - FABRICATION
 2310 RUBIDOUX BLVD.
 RIVERSIDE, CA 92506

COUNTY OF RIVERSIDE

ENVIRONMENTAL ASSESSMENT FORM: INITIAL STUDY

Environmental Assessment (E.A.) Number: 41306

Project Case Type (s) and Number(s): Tentative Parcel Map No. 35267 and Plot Plan No. 22636 (Fast Track No. 2007-35)

Lead Agency Name: County of Riverside Planning Department

Address: P.O. Box 1409, Riverside, CA 92502-1409

Contact Person: Christian Hinojosa, Project Planner

Telephone Number: (951) 955-0972

Applicant's Name: Rigoberto Vazquez Sr.

Applicant's Address: 615 South Oaks Avenue; Ontario, CA 91762

Engineer's Name: Jorge A. Castillo, PE

Engineer's Address: 2121 W. Imperial Hwy. #403; La Habra, CA 90631

I. PROJECT INFORMATION

A. Project Description:

Tentative Parcel Map No. 35267 is a Schedule E subdivision of 6.45 gross (6.04 net) acres into eight (8) industrial parcels, ranging from 0.64 acres to 0.94 acres.

Plot Plan No. 22636 proposes to develop eight (8) industrial and manufacturing buildings, Rubidoux Development Industrial Park, with a total building area of 108,000 square feet with 72,000 square feet of storage space, 12,000 square feet of office space, 24,000 square feet of fabrication space, 56,371 square feet of landscaping area (20%) and 168 parking spaces on a 6.45 gross (6.04 net) acre site with a floor area ratio of 0.38 (Light Industrial requires a 0.25 - 0.60 floor area ratio). The project also proposes to improve 26th Street with curb and gutter to discharge onsite runoff to an existing catch basin at the intersection off Hall Avenue and 26th Street.

B. Type of Project: Site Specific ☒; Countywide ☐; Community ☐; Policy ☐.

C. Total Project Area: 6.45 Gross / 6.04 Net

Residential Acres: N/A	Lots: N/A	Units: N/A	Projected No. of Residents: N/A
Commercial Acres: N/A	Lots: N/A	Sq. Ft. of Bldg. Area: N/A	Est. No. of Employees: N/A
Industrial Acres: 6.45 Gross	Lots: 8	Sq. Ft. of Bldg. Area: 108,000	Est. No. of Employees: N/A
Landscape Area: 20%		Sq. Ft. of LS. Area: 56,371	

D. Assessor's Parcel No: 178-150-008 and 178-150-009

E. Street References: southerly of 26th Street and easterly of Rubidoux Boulevard

F. Section, Township & Range Description or reference/attach a Legal Description:
Sections 10, Township 2 South, Range 5 West

G. Brief description of the existing environmental setting of the project site and its surroundings: The project site is located in the Jurupa Area Plan of the Riverside County General Plan. Urban development projects have been approved or are currently being processed through the County of Riverside to the north, south, east and west. Vacant land, single family residences and industrial land uses currently surround the project site. The site is currently vacant with low-growing vegetation. The topography of the project site is generally

level, with a low elevation of approximately 860 feet above mean sea level over the majority of the property.

II. APPLICABLE GENERAL PLAN AND ZONING REGULATIONS

A. General Plan Elements/Policies:

1. **Land Use:** The proposed project meets the requirements of the Community Development: Light Industrial (CD: LI) (0.25 - 0.60 Floor Area Ratio) General Plan Land Use Designation. The proposed project meets all other applicable land use policies.
2. **Circulation:** The proposed project has been reviewed for conformance with County Ordinance 461 by the Riverside County Transportation Department. Adequate circulation facilities exist and are proposed to serve the proposed project. The proposed project meets with all applicable circulation policies of the General Plan.
3. **Multipurpose Open Space:** No natural open space land was required to be preserved within the boundaries of this project. The proposed project meets with all other applicable Multipurpose Open Space Element policies.
4. **Safety:** The proposed project is within an area that has a moderate susceptibility to liquefaction. The proposed project is not located within any other special hazard zone (including fault zone, high fire hazard area, dam inundation zone, etc.). The proposed project has allowed for sufficient provision of emergency response services to the future users of this project through the project design and payment of development impact fees. The proposed project meets with all other applicable Safety Element policies.
5. **Noise:** Sufficient mitigation measures against any foreseeable noise impacts have been incorporated into the design of the project. The proposed project meets all other applicable Noise Element policies.
6. **Housing:** The project proposes eight (8) industrial and manufacturing buildings with a total building area of 108,000 square feet with Industrial Park (I-P) and Manufacturing-Service Commercial (M-SC) zonings. The proposed project could potentially induce population growth in the area either directly (e.g., by proposing new homes and businesses) or indirectly (e.g., through extension of roads or other infrastructure). There are no impacts to housing as a direct result of this project at this time. The proposed project meets all other applicable Housing Element policies.
7. **Air Quality:** The proposed project has been conditioned to control any fugitive dust during grading and construction activities. The proposed project meets all other applicable Air Quality Element policies.

B. General Plan Area Plan(s): Jurupa Area Plan

C. Foundation Component(s): Community Development

D. Land Use Designation(s): Light Industrial (LI) (0.25 - 0.60 Floor Area Ratio)

E. Overlay(s), if any: Jurupa Valley Redevelopment Project Area (JVPA) (Rubidoux sub-area)

F. Policy Area(s), if any: N/A

G. Adjacent and Surrounding:

1. **Area Plan(s):** Jurupa Area Plan
2. **Foundation Component(s):**
To the North, South, East and West: Community Development
3. **Land Use Designation(s):**
To the North, South, East and West: Light Industrial (LI) (0.25 - 0.60 Floor Area Ratio)
4. **Overlay(s) and Policy Area(s):**
To the North, South, East & West: Jurupa Valley Redevelopment Project Area (JVPA)
(Rubidoux sub-area)

H. Adopted Specific Plan Information

1. **Name and Number of Specific Plan, if any:** N/A
2. **Specific Plan Planning Area, and Policies, if any:** N/A

I. Existing Zoning: Industrial Park (I-P) and Manufacturing-Service Commercial (M-SC)

J. Proposed Zoning, if any: N/A

K. Adjacent and Surrounding Zoning:

To the North, South, East & West: Manufacturing-Service Commercial (M-SC)

III. ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED

The environmental factors checked below (x) would be potentially affected by this project, involving at least one impact that is a "Potentially Significant Impact" or "Less than Significant with Mitigation Incorporated" as indicated by the checklist on the following pages.

- | | | |
|--|---|---|
| <input type="checkbox"/> Aesthetics | <input type="checkbox"/> Hazards & Hazardous Materials | <input type="checkbox"/> Recreation |
| <input type="checkbox"/> Agriculture & Forest Resources | <input checked="" type="checkbox"/> Hydrology/Water Quality | <input type="checkbox"/> Transportation/Traffic |
| <input checked="" type="checkbox"/> Air Quality | <input type="checkbox"/> Land Use/Planning | <input type="checkbox"/> Utilities/Service Systems |
| <input type="checkbox"/> Biological Resources | <input type="checkbox"/> Mineral Resources | <input type="checkbox"/> Other |
| <input checked="" type="checkbox"/> Cultural Resources | <input checked="" type="checkbox"/> Noise | <input type="checkbox"/> Other |
| <input type="checkbox"/> Geology/Soils | <input type="checkbox"/> Population/Housing | <input type="checkbox"/> Mandatory Findings of Significance |
| <input checked="" type="checkbox"/> Greenhouse Gas Emissions | <input type="checkbox"/> Public Services | |

IV. DETERMINATION

On the basis of this initial evaluation:

A PREVIOUS ENVIRONMENTAL IMPACT REPORT/NEGATIVE DECLARATION WAS NOT PREPARED

☐ I find that the proposed project **COULD NOT** have a significant effect on the environment, and a **NEGATIVE DECLARATION** will be prepared.

☒ I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because revisions in the project, described in this document, have been made or agreed to by the project proponent. **A MITIGATED NEGATIVE DECLARATION** will be prepared.

☐ I find that the proposed project MAY have a significant effect on the environment, and an **ENVIRONMENTAL IMPACT REPORT** is required.

A PREVIOUS ENVIRONMENTAL IMPACT REPORT/NEGATIVE DECLARATION WAS PREPARED

☐ I find that although the proposed project could have a significant effect on the environment, **NO NEW ENVIRONMENTAL DOCUMENTATION IS REQUIRED** because (a) all potentially significant effects of the proposed project have been adequately analyzed in an earlier EIR or Negative Declaration pursuant to applicable legal standards, (b) all potentially significant effects of the proposed project have been avoided or mitigated pursuant to that earlier EIR or Negative Declaration, (c) the proposed project will not result in any new significant environmental effects not identified in the earlier EIR or Negative Declaration, (d) the proposed project will not substantially increase the severity of the environmental effects identified in the earlier EIR or Negative Declaration, (e) no considerably different mitigation measures have been identified and (f) no mitigation measures found infeasible have become feasible.

☐ I find that although all potentially significant effects have been adequately analyzed in an earlier EIR or Negative Declaration pursuant to applicable legal standards, some changes or additions are necessary but none of the conditions described in California Code of Regulations, Section 15162 exist. An **ADDENDUM** to a previously-certified EIR or Negative Declaration has been prepared and will be considered by the approving body or bodies.

☐ I find that at least one of the conditions described in California Code of Regulations, Section 15162 exist, but I further find that only minor additions or changes are necessary to make the previous EIR adequately apply to the project in the changed situation; therefore a **SUPPLEMENT TO THE ENVIRONMENTAL IMPACT REPORT** is required that need only contain the information necessary to make the previous EIR adequate for the project as revised.

☐ I find that at least one of the following conditions described in California Code of Regulations, Section 15162, exist and a **SUBSEQUENT ENVIRONMENTAL IMPACT REPORT** is required: (1) Substantial changes are proposed in the project which will require major revisions of the previous EIR or negative declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; (2) Substantial changes have occurred with respect to the circumstances under which the project is undertaken which will require major revisions of the previous EIR or negative declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; or (3) New information of substantial importance, which was not known and could not have been known with the exercise of reasonable diligence at the time the previous EIR was certified as complete or the negative declaration was adopted, shows any the following: (A) The project will have one or more significant effects not discussed in the previous EIR or negative declaration; (B) Significant effects previously examined will be substantially more severe than shown in the previous EIR or negative declaration; (C) Mitigation measures or alternatives previously found not to be feasible would in fact be feasible, and would substantially reduce one or more significant effects of the project, but the project proponents decline to adopt the mitigation measures or alternatives; or, (D) Mitigation measures or alternatives which are considerably different from those analyzed in the previous EIR or negative declaration would substantially reduce one or more significant effects of the project on the environment, but the project proponents decline to adopt the mitigation measures or alternatives.

Signature

December 21, 2010

Date

Christina Hinojosa, Project Planner

Printed Name

For Carolyn Syms Luna, Planning Director

V. ENVIRONMENTAL ISSUES ASSESSMENT

In accordance with the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000-21178.1), this Initial Study has been prepared to analyze the proposed project to determine any potential significant impacts upon the environment that would result from construction and implementation of the project. In accordance with California Code of Regulations, Section 15063, this Initial Study is a preliminary analysis prepared by the Lead Agency, the County of Riverside, in consultation with other jurisdictional agencies, to determine whether a Negative Declaration, Mitigated Negative Declaration, or an Environmental Impact Report is required for the proposed project. The purpose of this Initial Study is to inform the decision-makers, affected agencies, and the public of potential environmental impacts associated with the implementation of the proposed project.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
AESTHETICS Would the project				
1. Scenic Resources	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a) Have a substantial effect upon a scenic highway corridor within which it is located?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings and unique or landmark features; obstruct any prominent scenic vista or view open to the public; or result in the creation of an aesthetically offensive site open to public view?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan Figure C-7 "Scenic Highways"

Findings of Fact:

a) The project site is located in a primarily urban area of Riverside County, which has no designated Scenic Highways. The Riverside County Integrated Plan (RCIP) indicates that the project site is not located within a designated scenic corridor. Development of the project site will not affect any scenic resources, as adjacent lands have been developed with uses compatible with the proposed project.

b) The proposed project will not substantially damage scenic resources, including, but not limited to, trees, rock outcroppings and unique or landmark features, or obstruct a prominent scenic vista or view open to the public, as these features do not exist on the project site. Additionally, the proposed project will not result in the creation of an aesthetically offensive site open to public view.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

2. Mt. Palomar Observatory	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a) Interfere with the nighttime use of the Mt. Palomar Observatory, as protected through Riverside County Ordinance No. 655?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: GIS database, Ord. No. 655 (Regulating Light Pollution)

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Findings of Fact:

a) According to the GIS Database, the project site is located approximately 54.33 miles from the Mt. Palomar Observatory. The project is located outside the 45-mile radius defined by Ordinance No. 655 and the 30-mile radius defined by the RCIP as the Mt. Palomar Special Lighting Areas, and, therefore, is not subject to any special lighting policies that protect the Mt. Palomar Observatory.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

3. Other Lighting Issues

a) Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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b) Expose residential property to unacceptable light levels?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Source: On-site Inspection, Project Application Materials

Findings of Fact:

a) The proposed project will result in a new source of light and glare from the addition of security lighting, facility lighting, as well as vehicular lighting from cars traveling on adjacent roadways.

Riverside County Ordinance No. 655 is applicable to the project site. Pursuant of this Ordinance, the project's onsite lighting will be directed downward or shielded and hooded to avoid shining onto adjacent properties and streets. Furthermore, the amount of lighting will be similar to other planned industrial areas surrounding the site. PP22636 Conditions of Approval 10.PLANNING.06 and 80.PLANNING.20 are not considered unique mitigation measures pursuant to CEQA. No additional mitigation is identified or required.

b) The proposed project is not expected to create unacceptable light levels as it has been conditioned for conformance with Ordinance No. 655. Therefore, the proposed project would not create a new source of substantial light or glare which would adversely affect day or nighttime views in the area or expose residential property to unacceptable light levels. Impacts would be less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

AGRICULTURE & FOREST RESOURCES Would the project

4. Agriculture

a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland) as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
non-agricultural use?				
b) Conflict with existing agricultural zoning, agricultural use or with land subject to a Williamson Act contract or land within a Riverside County Agricultural Preserve?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Cause development of non-agricultural uses within 300 feet of agriculturally zoned property (Ordinance No. 625 "Right-to-Farm")?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure OS-2 "Agricultural Resources," GIS database, and Project Application Materials.

Findings of Fact:

a) The project site will not convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland) as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use.

b) The project site will not conflict with existing agricultural zoning, agricultural use or with land subject to a Williamson Act contract or land within a Riverside County Agricultural Preserve.

c) The project site is not located within 300 feet of agriculturally zoned property; therefore there is no potential for the project to indirectly impact agricultural lands.

d) The project site will not involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

5. Forest	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a) Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code section 12220(g)), timberland (as defined by Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Govt. Code section 51104(g))?				
b) Result in the loss of forest land or conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure OS-3 "Parks, Forests and Recreation Areas," and Project Application Materials.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Findings of Fact:

a-b) The proposed project will not conflict with or cause rezoning of any forest land or timberland zoned areas. Nor is the proposed project in a forest area.

b) The project will not involve any other changes to the environment which could result in conversion of forest land to non-forest use.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

AIR QUALITY Would the project

6. Air Quality Impacts

a) Conflict with or obstruct implementation of the applicable air quality plan?

☐ ☐ ☒ ☐

b) Violate any air quality standard or contribute substantially to an existing or projected air quality violation?

☐ ☐ ☒ ☐

c) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors)?

☐ ☒ ☐ ☐

d) Expose sensitive receptors which are located within 1 mile of the project site to project substantial point source emissions?

☐ ☐ ☒ ☐

e) Involve the construction of a sensitive receptor located within one mile of an existing substantial point source emitter?

☐ ☐ ☐ ☒

f) Create objectionable odors affecting a substantial number of people?

☐ ☐ ☐ ☒

Source: SCAQMD CEQA Air Quality Handbook Table 6-2, AQMD Air Quality Management Plan (2007), County General Plan Air Quality Element, Project Application Materials, Climate Change Analysis prepared by Urban Crossroads, dated August 19, 2010

Findings of Fact:

a) The South Coast Air Quality Management District (SCAQMD) is responsible for developing a regional air quality management plan to insure compliance with state and federal air quality standards. The SCAQMD has adopted the 2003 Air Quality Management Plan (AQMP). The 2003 AQMP is based on socioeconomic forecasts (including population estimates) provided by the Southern California Association of Governments (SCAG). The County General Plan is consistent with SCAG's Regional Growth Management Plan and SCAQMD's Air Quality Management Plan. This project is consistent with the General Plan land use designations and population estimates.

b) The SCAQMD permit is evidence that the point source complies with all SCAQMD rules and regulations. Air quality impacts would occur during site preparation, including grading and equipment

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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exhaust. Major sources of fugitive dust are a result of grading and site preparation during construction by vehicles and equipment and generated by construction vehicles and equipment traveling over exposed surfaces, as well as by soil disturbances from grading and filling. These short-term construction related impacts will be reduced below a level of significance by dust control measures implemented during grading. (PP22636 COA: 10.BS GRADE.05) This is a standard condition of approval and is not considered mitigation pursuant to CEQA.

c) During project operation, vehicle emission impacts would not exceed levels of significance, as the project would not generate a substantial amount of mobile source air pollutants. Similarly, due to the limited development intensity of the site, the project would not generate a substantial amount of area source air pollution (PP22636 COA: 10.PLANNING.23). Accordingly, operational air quality impacts are evaluated as less than significant with mitigation.

d) A sensitive receptor is a person in the population who is particularly susceptible to health effects due to exposure to an air contaminant than is the population at large. Sensitive receptors (and the facilities that house them) in proximity to localized CO sources, toxic air contaminants or odors are of particular concern. High levels of CO are associated with major traffic sources, such as freeways and major intersections, and toxic air contaminants are normally associated with manufacturing and commercial operations. Land uses considered to be sensitive receptors include long-term health care facilities, rehabilitation centers, convalescent centers, retirement homes, residences, schools, playgrounds, child care centers, and athletic facilities. Surrounding land uses include single family residences 40 feet to the south of the project site, which is considered a sensitive receptor; however, the project is not expected to generate substantial point source emissions. The long-term project impacts in the daily allowable emissions for the project's operational phase are considered to be not significant.

e) The project will not create sensitive receptors located within one mile of an existing substantial point source emitter.

f) The project will not create objectionable odors affecting a substantial number of people.

Mitigation: Construction of all nonresidential buildings or structures shall exceed the energy standards of the 2008 Building Efficiency Standards as set forth in the 2008 California Energy Code (Title 24, Part 6 of the California Code of Regulations) by a minimum of five percent (5%) in aggregate. Submission of a Title 24 worksheet with building plans for each implementing development project shall be required by the Department of Building and Safety in order to obtain a building permit and set the condition to MET status. The worksheet shall include both the calculations showing the minimum Title 24 compliance requirements and calculations for the implementing development project. Compliance is determined by comparing the energy use of the proposed development to a minimally Title 24 compliant development. The calculations must be from an energy analysis computer program approved by the California Energy Commission in accordance with Title 24, Part 6, Article 1, Section 10-109 (PP22636 COA: 80.PLANNING.30). Sign(s) stating that "EXTENDED IDLING TRUCK ENGINES IS NOT PERMITTED" shall be located at the entrance to the industrial park. The sign(s) at the entrance to facility shall not be less than twenty four inches square and will provide directions to truck parking spaces with electrical hookups. The hookups will provide power for refrigerated trailers that need to be parked on-sight for more than 5 minutes (PP22636 COA: 90.PLANNING.35).

Monitoring: Monitoring shall be conducted by Building and Safety Department and SCAQMD through the permitting process.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
BIOLOGICAL RESOURCES Would the project				
7. Wildlife & Vegetation	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Conservation Community Plan, or other approved local, regional, or state conservation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Have a substantial adverse effect, either directly or through habitat modifications, on any endangered, or threatened species, as listed in Title 14 of the California Code of Regulations (Sections 670.2 or 670.5) or in Title 50, Code of Federal Regulations (Sections 17.11 or 17.12)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U. S. Wildlife Service?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident migratory wildlife corridors, or impede the use of native wildlife nursery sites?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations or by the California Department of Fish and Game or U. S. Fish and Wildlife Service?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g) Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: GIS Database, WRC-MSHCP, On-site Inspection, Habitat Assessment and MSHCP Consistency Analysis (PDB05083) prepared by Michael Brandman Associates, dated November 27, 2006, Focused Survey for Delhi Sands Flower-Loving Fly (PDB05522) prepared by Larry Munsey International, dated November 2008, 2nd Year of a 2 Year Focused Survey for Delhi Sands Flower-Loving Fly (PDB05626) prepared by L&L Environmental, Inc., dated October 21, 2009.

Findings of Fact:

a) Development of the project site will have less than significant impact on an adopted Habitat Conservation Plan, Natural Conservation Community Plan, or other approved local, regional, or state conservation plan.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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b) Development of the project site will have less than significant impact on any endangered, or threatened species, as listed in Title 14 of the California Code of Regulations (Sections 670.2 or 670.5) or in Title 50, Code of Federal Regulations (Sections 17.11 or 17.12) as a result of mitigation.

c) Development of the project site will have less than significant substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U. S. Wildlife Service.

d) The proposed project will not interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident migratory wildlife corridors, or impede the use of native wildlife nursery sites.

e) The proposed project will not have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations or by the California Department of Fish and Game or U. S. Fish and Wildlife Service.

f) The proposed project will not have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means.

g) The proposed project will not conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

CULTURAL RESOURCES Would the project

8. Historic Resources	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a) Alter or destroy an historic site?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Cause a substantial adverse change in the significance of a historical resource as defined in California Code of Regulations, Section 15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan Figure OS-7, Project Application Materials

Findings of Fact:

a) A records search conducted at the Eastern Information Center (EIC) indicated that no historical resources existed on the project site. Therefore the proposed project will not alter or destroy an historic site.

b) Development of the proposed project will have a less than significant impact on a historical resource as defined in California Code of Regulations, Section 15064.5.

If during ground disturbance activities, unique cultural resources are discovered that were not assessed by the environmental assessment conducted prior to project approval, the following procedures shall be followed. Unique cultural resources are defined, for this condition, as being

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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multiple artifacts in close association with each other, but may include fewer artifacts if the area of the find is determined to be of significance due to its sacred or cultural importance.

1. All ground disturbance activities within 100 feet of the discovered cultural resources shall be halted until a meeting is convened between the developer, the archaeologist, the Native American tribal representative and the Planning Director to discuss the significance of the find.
2. At the meeting, the significance of the discoveries shall be discussed and after consultation with the Native American tribal representative and the archaeologist, a decision shall be made, with the concurrence of the Planning Director, as to the appropriate mitigation. PP22636 Conditions of Approval 10.PLANNING.01 and 10.PLANNING.02 are not considered unique mitigation measures pursuant to CEQA. No additional mitigation is identified or required.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

9. Archaeological Resources	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a) Alter or destroy an archaeological site.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Cause a substantial adverse change in the significance of an archaeological resource pursuant to California Code of Regulations, Section 15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Disturb any human remains, including those interred outside of formal cemeteries?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Restrict existing religious or sacred uses within the potential impact area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure OS-6 "Relative Archaeological Sensitivity of Diverse Landscapes," Project Application Materials

Findings of Fact:

a) This area has been completely disturbed. It is not identified as an area of Relative Archaeological Sensitivity of Diverse Landscapes map of the RCIP, Multipurpose Open Space Element (Figure OS-06). Therefore, this project will have no impact on archaeological resources.

b) This project will have a less than significant impact change in the significance of an archaeological resource pursuant to California Code of Regulations, Section 15064.5.

c) This project will have less than significant impact on human remains, including those interred outside of formal cemeteries. However, as a precaution, this project has been conditioned to halt construction and immediately contact the State Health and Safety Code Section 7050.5 if human remains are found. If remains are determined to be prehistoric, the coroner shall notify the Native American Heritage Commission, which will determine and notify the appropriate Native American Tribe who is the most likely descendant. The descendant shall inspect the site of discovery and make a recommendation as to the appropriate mitigation. After the recommendation has been made, the property owner, Native American Tribe representative, and a County representative shall meet to determine the appropriate mitigation measures and corrective actions to be implemented. PP22636 Condition of Approval 10.PLANNING.01 is not considered a unique mitigation measure pursuant to CEQA. No additional mitigation is identified or required.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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d) This project will not restrict existing or religious or sacred uses within the potential impact area.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

10. Paleontological Resources

<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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a) Directly or indirectly destroy a unique paleontological resource, or site, or unique geologic feature?

Source: Riverside County General Plan Figure OS-8 "Paleontological Sensitivity," Paleontological Resources Assessment Report (PDA04320) prepared by Michael Brandman Associates, dated August 10, 2007

Findings of Fact:

a) According to the Riverside County General Plan, the project site is located within an area of High Paleontological sensitivity (High A). Therefore, this project will have a less than significant impact with mitigation on potential paleontological resources.

Mitigation: The land divider/permit holder shall retain a qualified paleontologist for monitoring services as recommended in the Paleontological Resources Assessment report prepared by Michael Brandman Associates, dated August 10, 2007, for this project. The developer shall submit a copy of a fully executed contract for these services including the name, telephone number and address of the retained, qualified paleontologist to the Planning Department and the Department of Building and Safety. The paleontologist shall submit to the County Archaeologist a report of the results of the monitoring upon conclusion of monitoring activities. A pregrade meeting between the paleontologist and the excavation and grading contractor shall be required prior to commencing work. When necessary, in the professional opinion of the retained paleontologist (and/or as determined by the Planning Director), the paleontologist or representative shall have the authority to monitor actively all project related grading and construction and shall have the authority to temporarily divert, redirect, or halt grading activity to allow recovery of paleontological resources. (PP22636 COA: 60.PLANNING.04). Prior to Final Inspection, the applicant shall submit to the County Archaeologist one paper copy and two (2) copies on CD of the Paleontology Monitoring report. The report shall be certified by a professionally-qualified paleontologist listed on the County's Paleontology Consultant List. (PP22636 COA: 90.PLANNING.02).

Monitoring: Monitoring shall be conducted by Building and Safety Department through the permitting process.

GEOLOGY AND SOILS Would the project

11. Alquist-Priolo Earthquake Fault Zone or County Fault Hazard Zones

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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a) Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death?

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
b) Be subject to rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan Figure S-2 "Earthquake Fault Study Zones," GIS database, Geotechnical Engineering Investigation Report (GEO No. 1862) prepared by NorCal Engineering, dated July 25, 2006

Findings of Fact:

a) The project site is not located within an Alquist-Priolo Earthquake Fault Zone. The proposed project will not expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death. California Building Code (CBC) requirements pertaining to commercial development will mitigate the potential impact to less than significant. As CBC requirements are applicable to all commercial development they are not considered mitigation for CEQA implementation purposes.

b) The project site is not located within an Alquist-Priolo Earthquake Fault Zone and no known fault lines are present on or adjacent to the project site. Therefore, there is a low potential for rupture of a known fault.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

12. Liquefaction Potential Zone	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a) Be subject to seismic-related ground failure, including liquefaction?				

Source: Riverside County General Plan Figure S-3 "Generalized Liquefaction", Geotechnical Engineering Investigation Report (GEO No. 1862) prepared by NorCal Engineering, dated July 25, 2006

Findings of Fact:

a) The project site is located within an area of moderate liquefaction potential. The County Geologist has reviewed and approved the project with no conditions of approval.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

13. Ground-shaking Zone	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Be subject to strong seismic ground shaking?				

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Source: Riverside County General Plan Figure S-4 "Earthquake-Induced Slope Instability Map," and Figures S-13 through S-21 (showing General Ground Shaking Risk), Geotechnical Engineering Investigation Report (GEO No. 1862) prepared by NorCal Engineering, dated July 25, 2006

Findings of Fact:

a) There are no known active or potentially active faults that traverse the site and the site is not located within an Alquist-Priolo Earthquake Fault Zone. The principal seismic hazard that could affect the site is ground shaking resulting from an earthquake occurring along several major active or potentially active faults in southern California. The County Department of Building and Safety requires construction to conform to the California Building Code (CBC). Through the compliance with Riverside County requirements related to geotechnical and soil reports, the potential of the proposed project due to ground shaking will be less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

14. Landslide Risk

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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a) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, collapse, or rockfall hazards?

Source: Riverside County General Plan Figure S-5 "Regions Underlain by Steep Slope"

Findings of Fact:

a) The project site is generally flat and according to Figure S-5, the project site is not located in an area with slopes greater than 25%; therefore, there is no potential for landslides. The project site and surrounding area does not consist of rocky terrain therefore the project is not subject to rock fall hazards. No impacts will occur as a result of the proposed project.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

15. Ground Subsidence

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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a) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in ground subsidence?

Source: RCIP Figure S-7 "Documented Subsidence Areas", Geotechnical Engineering Investigation Report (GEO No. 1862) prepared by NorCal Engineering, dated July 25, 2006

Findings of Fact:

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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a) The project site is located in an area susceptible to subsidence, but not located near any documented areas of subsidence. California Building Code (CBC) requirements pertaining to development will mitigate the potential impact to less than significant. As CBC requirements are applicable to all development, they are not considered mitigation for CEQA implementation purposes.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

16. Other Geologic Hazards

a) Be subject to geologic hazards, such as seiche, mudflow, or volcanic hazard?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Source: Project Application Materials, Geotechnical Engineering Investigation Report (GEO No. 1862) prepared by NorCal Engineering, dated July 25, 2006

Findings of Fact:

a) The project site is not located in an area susceptible to unstable geologic hazards such as seiche, mudflow, or volcanic hazard on the project site.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

17. Slopes

a) Change topography or ground surface relief features?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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b) Create cut or fill slopes greater than 2:1 or higher than 10 feet?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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c) Result in grading that affects or negates subsurface sewage disposal systems?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Source: RCIP figure S-5 "Regions Underlain by Steep Slopes", Building and Safety – Grading Review, Project Application Materials

Findings of Fact:

a) The project will have a less than significant impact change to the existing topography on the subject site. The grading will follow the natural slopes and not alter any significant elevated topographic features located on the site.

b) The project will not cut or fill slopes greater than 2:1, but may create a slope higher than 10 feet. In order to minimize the impact, the project has been conditioned to grade so that the slopes reflect the natural terrain.

c) The project will not result in grading that affects or negates subsurface sewage disposal systems.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

18. Soils	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a) Result in substantial soil erosion or the loss of topsoil?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Be located on expansive soil, as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial risks to life or property?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Have soils incapable of adequately supporting use of septic tanks or alternative waste water disposal systems where sewers are not available for the disposal of waste water?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: RCIP figure S-6 "Engineering Geologic Materials Map", Flood Control review, Building and Safety Grading review, Project Application Materials, Geotechnical Engineering Investigation Report (GEO No. 1862) prepared by NorCal Engineering, dated July 25, 2006

Findings of Fact:

a) The development of the project site may have the potential to result in soil erosion during grading and construction. Standard Conditions of Approval have been issued regarding soil erosion that will further ensure protection of public health, safety, and welfare upon final engineering of the project and are not considered mitigation for CEQA implementation purposes. (PP22636 COA 10.BS GRADE.04)

b) The project may be located on expansive soil; however, California Building Code (CBC) requirements pertaining all structures will mitigate the potential impact to less than significant. As IBC requirements are applicable to all structures they are not considered mitigation for CEQA implementation purposes.

c) The project will be connected to a sewer system; there will be no septic on site.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

19. Erosion	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a) Change deposition, siltation, or erosion that may modify the channel of a river or stream or the bed of a lake?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Result in any increase in water erosion either on or off site?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Flood Control District review, Building and Safety – Grading Review, Project Materials

Findings of Fact:

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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a) The project site is not located near the channel of a river, or stream, or the bed of a lake. Thus the proposed project does not change deposition, siltation or erosion that may modify the channel of a river or stream or the bed of a lake.

b) The project may result in an increase in water erosion either on or off site. Building and Safety Department has provided standard conditions of approval to ensure erosion impacts are mitigated to less than significant levels upon final engineering and are not considered mitigation for CEQA implementation purposes. (PP22636 COA: 10.BS GRADE.06 and 10.BS GRADE.20)

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

20. Wind Erosion and Blowsand from project either on or off site.

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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a) Be impacted by or result in an increase in wind erosion and blowsand, either on or off site?

Source: Riverside County General Plan Figure S-8 "Wind Erosion Susceptibility Map," Ord. 460, Sec. 14.2 & Ord. 484

Findings of Fact:

a) The project site is located within a HIGH wind erosion area. All projects proposing grading are condition for dust control (PP22636 COA: 10.BS GRADE.05). The RCIP, Safety Element Policy for Wind Erosion requires buildings to be designed to resist wind loads which are covered by the California Building Code (CBC). With such compliance, impacts to wind erosion and blowsand from the project on or off site are considered to be less than significant. As no unique mitigation measures are identified, no additional mitigation is required.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

GREENHOUSE GAS EMISSIONS Would the project

21. Greenhouse Gas Emissions

a) Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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b) Conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?

<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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Source: Project Application Materials, Climate Change Analysis prepared by Urban Crossroads, dated August 19, 2010

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Findings of Fact:

a) Analysis by Urban Crossroads (August 11, 2010) indicates the project's annual GHG emissions will be 1,873.85 metric tons per year (MTY) of CO₂-equivalents (CO₂e). This total is below the threshold of 10,000 MTY CO₂e for industrial projects established by the South Coast Air Quality Management District. This project total includes both direct (amortized construction, area source and mobile emissions) and indirect (electricity, solid waste and water usage) GHG emissions. Therefore, the project will not result in significant generation of greenhouse gases, either directly or indirectly, and will not have a significant impact on the environment due to greenhouse gas emissions.

b) The project is consistent with the Riverside County General Plan's land use designation Community Development: Light Industrial (CD: LI) (0.25 - 0.60 Floor Area Ratio) for the site. Therefore, the project does not represent development in excess of the State's "Business As Usual" (BAU) scenario. Further, the project will be subject to a variety of measures that will reduce the project's greenhouse gas emissions to below the BAU level. These measures include the following:

- Compliance with all applicable policies, measures and regulations promulgated through, or as a result of, AB 32, California's "Global Warming Solutions Act of 2006," including measures outlined by the California Air Resources Board in their Climate Change Scoping Plan (December 2008) for AB 32 implementation.
- Compliance with County Ordinance No. 859, Water-Efficient Landscaping Standards.
- Conditions of Approval requiring compliance with the following additional GHG-reducing measures:
 1. Preparation and implementation of a Waste Recycling Program approved by the County Waste Management Department for reduction and recycling of both construction and operational wastes.
 2. Use of equipment and fixtures that comply with applicable Title 24 energy conservation requirements for both the new addition and remodeled areas within the existing space.
 3. Project construction activities will conform to all applicable SCAQMD and CARB air quality protection requirements for construction equipment and vehicles.

As a result of implementation of, and compliance with, the above measures, the project will further reduce greenhouse gas emissions below that expected for a business-as-usual project, consistent with the policies and plans of the County and the State, AB 32 in particular. These measures ensure the project will not conflict with the any applicable plans, policies or regulations related to reducing greenhouse gas emissions, and that this project's affect on the attainment of these plans is less than significant with mitigation.

Mitigation: Construction of all nonresidential buildings or structures shall exceed the energy standards of the 2008 Building Efficiency Standards as set forth in the 2008 California Energy Code (Title 24, Part 6 of the California Code of Regulations) by a minimum of five percent (5%) in aggregate. Submission of a Title 24 worksheet with building plans for each implementing development project shall be required by the Department of Building and Safety in order to obtain a building permit and set the condition to MET status. The worksheet shall include both the calculations showing the minimum Title 24 compliance requirements and calculations for the implementing development project. Compliance is determined by comparing the energy use of the proposed development to a minimally Title 24 compliant development. The calculations must be from an energy analysis computer program approved by the California Energy Commission in accordance with Title 24, Part 6, Article 1, Section 10-109 (PP22636 COA: 80.PLANNING.30). Sign(s) stating that "EXTENDED IDLING TRUCK

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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ENGINES IS NOT PERMITTED" shall be located at the entrance to the industrial park. The sign(s) at the entrance to facility shall not be less than twenty four inches square and will provide directions to truck parking spaces with electrical hookups. The hookups will provide power for refrigerated trailers that need to be parked on-sight for more than 5 minutes (PP22636 COA: 90.PLANNING.35).

Monitoring: Monitoring shall be conducted by Building and Safety Department and SCAQMD through the permitting process.

HAZARDS AND HAZARDOUS MATERIALS Would the project

22. Hazards and Hazardous Materials

a) Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?

☐ ☐ ☒ ☐

b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?

☐ ☐ ☒ ☐

c) Impair implementation of or physically interfere with an adopted emergency response plan or an emergency evacuation plan?

☐ ☐ ☐ ☒

d) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?

☐ ☐ ☐ ☒

e) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?

☐ ☐ ☐ ☒

Source: Project Application Materials, Departments of Environmental Health and Fire Review

Findings of Fact:

a-b) During construction of the proposed project, there is a limited potential for accidental release of construction-related products although not in sufficient quantity to pose a significant hazard to people and the environment. The proposed project will not create a hazard to the public or the environment. Impacts would be less than significant.

c) The project has been reviewed by the Riverside County Fire Department for emergency access, and will not impair implementation of or physically interfere with an adopted emergency response plan or an emergency evacuation plan.

d) The project will not emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school.

e) The project is not located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would not create a significant hazard to the public or the environment.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

23. Airports	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a) Result in an inconsistency with an Airport Master Plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Require review by the Airport Land Use Commission?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) For a project within the vicinity of a private airstrip, or heliport, would the project result in a safety hazard for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure S-19 "Airport Locations," GIS database, Project Application Materials, Riverside County Airport Land Use Commission (ALUC) e-mail, dated January 28, 2009

Findings of Fact:

- a) The project site is not located within the vicinity of any public or private airport; therefore, the project will not result in an inconsistency with an Airport Master Plan.
- b) The project site is not located within the vicinity of any public or private airport; therefore will not require review by the Airport Land Use Commission (ALUC).
- c) The proposed project is not located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, and will not result in a safety hazard for people residing or working in the project area.
- d) The project is not within the vicinity of a private airstrip, or heliport and would not result in a safety hazard for people residing or working in the project area.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

24. Hazardous Fire Area	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a) Expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands?				

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Source: Riverside County General Plan Figure S-11 "Wildfire Susceptibility," GIS database

Findings of Fact:

a) According to GIS, the project site is not located in a hazardous fire area. No impacts will occur as a result of the proposed project.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

HYDROLOGY AND WATER QUALITY Would the project

25. Water Quality Impacts

a) Substantially alter the existing drainage pattern of the site or area, including the alteration of the course of a stream or river, in a manner that would result in substantial erosion or siltation on- or off-site?

☐ ☐ ☒ ☐

b) Violate any water quality standards or waste discharge requirements?

☐ ☐ ☒ ☐

c) Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)?

☐ ☐ ☒ ☐

d) Create or contribute runoff water that would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff?

☐ ☐ ☒ ☐

e) Place housing within a 100-year flood hazard area, as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map?

☐ ☐ ☐ ☒

f) Place within a 100-year flood hazard area structures which would impede or redirect flood flows?

☐ ☐ ☒ ☐

g) Otherwise substantially degrade water quality?

☐ ☐ ☒ ☐

h) Include new or retrofitted stormwater Treatment Control Best Management Practices (BMPs) (e.g. water quality treatment basins, constructed treatment wetlands), the operation of which could result in significant environmental effects (e.g. increased vectors or odors)?

☐ ☒ ☐ ☐

Source: Riverside County Flood Control District Flood Hazard Report/Condition, Jurupa Area Plan Figure 8 "Flood Hazards"

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Findings of Fact:

- a) The proposed project will not substantially alter the existing drainage pattern of the site or area, including the alteration of the course of a stream or river, in a manner that would result in substantial erosion or siltation on- or off-site.
- b) The project will not violate any water quality standards or waste discharge requirements, and has been conditioned to comply with standard water quality conditions of approval.
- c) The project will not substantially deplete groundwater supplies or interfere substantially with groundwater recharge.
- d) The project will not create or contribute runoff water that would exceed the capacity of existing or planned storm water drainage systems or provide substantial additional sources of polluted runoff.
- e) The project will not place housing within a 100-year flood hazard area, as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map.
- f) The project will not place structures within a 100 flood hazard area which would impede and/or redirect flows. Additionally, the project has been conditioned to contain the 100 year food storm flow within the street right of way. (PP22636 COA: 10.BS GRADE.09). However, this is considered a standard CEQA mitigation measure, no unique mitigation is required.
- g) The proposed project will not violate any water quality standards or waste discharge requirements and it will not substantially deplete or degrade groundwater supplies or interfere substantially with groundwater recharge.
- h) The BMP maintenance plan shall contain provisions for all treatment controlled BMPs to be inspected, and if required, cleaned no later than October 15 each year. Required documentation shall identify the entity that will inspect and maintain all structural BMPs within the project boundaries. A copy of all necessary documentation shall be submitted to the District for review and approval prior to the issuance of occupancy permits (PP22636 COA: 10.FLOODRI.16). Therefore, this project will have a less than significant impact with mitigation.

Mitigation: A copy of the BMP improvement plans along with any necessary documentation shall be submitted to the Districts Plan Check Section for review. A copy of the improvement and grading plans shall be included for reference. The plans must receive the District's approval prior to issuance of permits. All submittals shall be date stamped by the engineer and include a completed Flood Control Deposit Based Fee Worksheet and the appropriate plan check fee deposit. A copy of the project specific WQMP shall be submitted to the District for review and approval. The developer shall distribute environmental awareness education materials on general good housekeeping practices that contribute to protection of stormwater quality to all initial users. All structural BMPs described in the project-specific WQMP shall be constructed and installed in conformance with approved plans and specifications. The BMP maintenance plan shall contain provisions for all treatment controlled BMPs to be inspected, and if required, cleaned no later than October 15 each year. (PP22636 COA: 60.FLOODRI.02, 60.FLOODRI.09, 80.FLOODRI.02, 80.FLOODRI.05, 90.FLOODRI.02, 90.FLOODRI.03, 90.FLOODRI.05).

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Monitoring: Monitoring shall be conducted by the Riverside County Flood Control District and by the Department of Building and Safety plan check process.

26. Floodplains

Degree of Suitability in 100-Year Floodplains. As indicated below, the appropriate Degree of Suitability has been checked.

NA - Not Applicable ☒

U - Generally Unsuitable ☐

R - Restricted ☐

a) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner that would result in flooding on- or off-site?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Changes in absorption rates or the rate and amount of surface runoff?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam (Dam Inundation Area)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Changes in the amount of surface water in any water body?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure S-9 "100- and 500-Year Flood Hazard Zones," Figure S-10 "Dam Failure Inundation Zone," Riverside County Flood Control District Flood Hazard Report/Condition, GIS database

Findings of Fact:

- a) The project will not substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner that would result in flooding on- or off-site.
- b) The project will not substantially change absorption rates or the rate and amount of surface runoff.
- c) The project will not place housing within a 100-year flood hazard area, as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map.
- d) The project will not cause changes in the amount of surface water in any water body.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

LAND USE/PLANNING Would the project

27. Land Use	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a) Result in a substantial alteration of the present or planned land use of an area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Affect land use within a city sphere of influence	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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and/or within adjacent city or county boundaries?

Source: RCIP, GIS database, Project Application Materials

Findings of Fact:

- a) The project would not result in a substantial alteration of the present or planned land of the area.
- b) The project does not affect land use within a city sphere of influence or within adjacent city or county boundaries.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

28. Planning

a) Be consistent with the site's existing or proposed zoning?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Be compatible with existing surrounding zoning?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Be compatible with existing and planned surrounding land uses?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Be consistent with the land use designations and policies of the Comprehensive General Plan (including those of any applicable Specific Plan)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Disrupt or divide the physical arrangement of an established community (including a low-income or minority community)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Land Use Element, Staff review, GIS database

Findings of Fact:

- a) The project is consistent with the site's existing zoning Industrial Park (I-P) and Manufacturing-Service Commercial (M-SC).
- b) The surrounding zoning is Manufacturing-Service Commercial (M-SC) to the north, south, east and west. The project will be compatible with the surrounding zoning classifications.
- c) The project site is designated Community Development: Light Industrial (CD: LI) (0.25 - 0.60 Floor Area Ratio) in the RCIP. Surrounding properties are also designated Community Development: Light Industrial (CD: LI) (0.25 - 0.60 Floor Area Ratio) to the north, south, east and west.
- d) The project is consistent with current land use designations and the policies of the RCIP.
- e) The project will not disrupt or divide the physical arrangement of an established community.

Mitigation: No mitigation measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Monitoring: No monitoring measures are required.

MINERAL RESOURCES Would the project

29. Mineral Resources

a) Result in the loss of availability of a known mineral resource that would be of value to the region or the residents of the State?

☐ ☐ ☐ ☒

b) Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?

☐ ☐ ☐ ☒

c) Be an incompatible land use located adjacent to a State classified or designated area or existing surface mine?

☐ ☐ ☐ ☒

d) Expose people or property to hazards from proposed, existing or abandoned quarries or mines?

☐ ☐ ☐ ☒

Source: Riverside County General Plan Figure OS-5 "Mineral Resources Area"

Findings of Fact:

a) The project site is within MRZ-3, which is defined as areas where the available geologic information indicates that mineral deposits are likely to exist; however, the significance of the deposit is undetermined.

The RCIP identifies policies that encourage protection for existing mining operations and for appropriate management of mineral extraction. A significant impact that would constitute a loss of availability of a known mineral resource would include unmanaged extraction or encroach on existing extraction. No existing or abandoned quarries or mines exist in the area surrounding the project site. The project does not propose any mineral extraction on the project site. Any mineral resources on the project site will be unavailable for the life of the project; however, the project will not result in the permanent loss of significant mineral resources.

b) The project will not result in the loss of availability of a known mineral resource in an area classified or designated by the State that would be of value to the region or the residents of the State. The project will not result in the loss of availability of a locally important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan.

c) The project will not be an incompatible land use located adjacent to a State classified or designated area or existing surface mine.

d) The project will not expose people or property to hazards from proposed, existing or abandoned quarries or mines.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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NOISE Would the project result in

Definitions for Noise Acceptability Ratings

Where indicated below, the appropriate Noise Acceptability Rating(s) has been checked.

NA - Not Applicable

A - Generally Acceptable

B - Conditionally Acceptable

C - Generally Unacceptable

D - Land Use Discouraged

30. Airport Noise

a) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport would the project expose people residing or working in the project area to excessive noise levels?

NA ☒ A ☐ B ☐ C ☐ D ☐

b) For a project within the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels?

NA ☒ A ☐ B ☐ C ☐ D ☐

Source: Riverside County General Plan Figure S-19 "Airport Locations," County of Riverside Airport Facilities Map, Project Application Materials

Findings of Fact:

a) The project site is not located within an airport land use plan or within two miles of a public airport or public use airport that would expose people residing on the project site to excessive noise levels.

b) The project is not located within the vicinity of a private airstrip that would expose people residing on the project site to excessive noise levels.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

31. Railroad Noise

NA ☒ A ☐ B ☐ C ☐ D ☐

Source: Riverside County General Plan Figure C-1 "Circulation Plan", GIS database

Findings of Fact:

The project site is not located adjacent to a rail line. No impacts will occur as a result of the proposed project.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

32. Highway Noise

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
NA <input type="checkbox"/> A <input checked="" type="checkbox"/> B <input type="checkbox"/> C <input type="checkbox"/> D <input type="checkbox"/>				

Source: Riverside County General Plan Figure C-1 "Circulation Plan", GIS database

Findings of Fact:

The project site is located approximately 2,000 feet north of State Highway 60. The project's land uses would not be sensitive to highway noise; therefore, impacts would be less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

33. Other Noise	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
NA <input checked="" type="checkbox"/> A <input type="checkbox"/> B <input type="checkbox"/> C <input type="checkbox"/> D <input type="checkbox"/>				

Source: Project Application Materials, GIS database

Findings of Fact:

No other noise sources have been identified near the project site that would contribute a significant amount of noise to the project.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

34. Noise Effects on or by the Project	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a) A substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project?				
b) A substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c) Exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Exposure of persons to or generation of excessive ground-borne vibration or ground-borne noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Project Application Materials, Riverside County General Plan Noise Element; Riverside County Noise Ordinance No. 847, Letter from the Department of Public Health Office of Industrial Hygiene, dated December 16, 2010 from Steven Hinde, CIH, Senior Industrial Hygienist

Findings of Fact:

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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a) The proposed project will not cause a substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project.

b) The project might create a substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project. However, all noise generated during project construction and the operation of the site must comply with the County's noise standards, which restricts construction (short-term) and operational (long-term) noise levels. Therefore, any potential noise impact is considered less than significant with mitigation.

c) The project will not cause exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies.

d) Persons might be exposed to groundborne vibration or groundborne noise levels during construction and operation of the project; however, to minimize ambient noise levels during construction and operation of the proposed project, construction and operation shall be restricted substantially to daylight hours.

Mitigation: The permit holder shall construct and design the project in compliance with the recommendations of an approved acoustical study, as reviewed and, as the case may be, modified by the Department of Public Health, Office of Industrial Hygiene and approved by the Planning Department. The permit holder may be required to submit to the Planning Department a written certification from a state licensed professional that the project was constructed in compliance with the recommendations of the approved acoustical study. The Planning Department may require further inspection by county staff to assure project compliance with this condition of approval. (PP22636 COA: 80.PLANNING.02)

Monitoring: Monitoring shall be conducted by Building and Safety Department through the permitting process.

POPULATION AND HOUSING	Would the project			
35. Housing	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a) Displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Create a demand for additional housing, particularly housing affordable to households earning 80% or less of the County's median income?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Displace substantial numbers of people, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Affect a County Redevelopment Project Area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Cumulatively exceed official regional or local population projections?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Source: Project Application Materials, GIS database, Riverside County General Plan Housing Element

Findings of Fact:

- a) The project will not necessitate the construction or replacement of housing elsewhere.
- b) The project could create a demand for additional housing; however, any demand will be accommodated on the housing market and any development will be required to develop per the General Plan.
- c) The project will not displace any people.
- d) The project site is located within the Jurupa Valley Redevelopment Project Area (JVPA) (Rubidoux sub-area); the Riverside County Economic Development Agency (EDA) reviewed the proposed project and it found it to be compliant with the adopted policies and objectives of the Jurupa Valley Redevelopment Project Area.
- e) The project will not cumulatively exceed official regional or local population projections.
- f) Development of the proposed project site will have a less than significant impact on inducing substantial population growth in an area either directly (e.g., by proposing new homes and businesses) or indirectly (e.g., through extension of roads or other infrastructure).

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

PUBLIC SERVICES Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered government facilities or the need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:

36. Fire Services

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Source: Riverside County General Plan Safety Element

Findings of Fact:

The proposed project will have no impact on the demand for Fire services. Prior to the issuance of a certificate of occupancy, the applicant shall comply with the provision of Ordinance No. 659 which requires payment of the appropriate fees set forth in the Ordinance. Ordinance 659 is established to set forth policies, regulations and fees related to the funding and construction of facilities necessary to address the direct a cumulative environmental effect generated by new development projects. With compliance to Ordinance No. 659, impact to Fire services is viewed as less than significant.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Additionally, the project will not result in substantial adverse physical impacts associated with the provision of new or physically altered government facilities or the need for new or physically altered governmental facilities. As such, this project will not cause the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services.

Any project subject to Ordinance No. 659 will be conditioned for compliance. Compliance with Ordinance No. 659 is not considered a unique mitigation measure. No additional mitigation is identified or required. (PP22636 COA: 90.PLANNING.31)

Mitigation: No mitigation measures are required.

Monitoring: No mitigation measures are required.

37. Sheriff Services

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Source: RCIP

Findings of Fact:

The proposed project will have no impact on the demand for Sheriff services. Prior to the issuance of a certificate of occupancy, the applicant shall comply with the provision of Ordinance No. 659 which requires payment of the appropriate fees set forth in the Ordinance. Ordinance 659 is established to set forth policies, regulations and fees related to the funding and construction of facilities necessary to address the direct cumulative environmental effect generated by new development projects. With compliance to Ordinance No. 659, impact to Sheriff services is viewed as less than significant.

Additionally, the project will not result in substantial adverse physical impacts associated with the provision of new or physically altered government facilities or the need for new or physically altered governmental facilities. As such, this project will not cause the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services.

Any project subject to Ordinance No. 659 will be conditioned for compliance. Compliance with Ordinance No. 659 is not considered a unique mitigation measure. No additional mitigation is identified or required. (PP22636 COA: 90.PLANNING.31)

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

38. Schools

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Source: Jurupa Unified School District correspondence, GIS database

Findings of Fact:

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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The proposed project is located within the Jurupa Unified School District. The impact of the project is considered less than significant.

Additionally, the project will not result in substantial adverse physical impacts associated with the new provision of new or physically altered government facilities or the need for new or physically alter governmental facilities. As such, this project will not cause the construction of which could cause significant environmental impacts, in order to maintain acceptable service rations and performance objectives for any public services.

These projects have been conditioned to comply with School Mitigation Impact fees in order to mitigate the potential effects to school services. This is a standard condition of approval and pursuant to CEQA is not considered mitigation (PP22636 COA 80.PLANNING.17). Therefore, impacts are considered less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

39. Libraries

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Source: RCIP

Findings of Fact:

The proposed project will have no impact on the demand for Library services. Prior to the issuance of a certificate of occupancy, the applicant shall comply with the provision of Ordinance No. 659 which requires payment of the appropriate fees set forth in the Ordinance. Ordinance 659 is established to set forth policies, regulations and fees related to the funding and construction of facilities necessary to address the direct a cumulative environmental effect generated by new development projects. With compliance to Ordinance No. 659, impact to Library services is viewed as less than significant.

Additionally, the project with not result in substantial adverse physical impacts associated with the provision of new or physically altered government facilities or the need for new or physically altered governmental facilities. As such, this project will not cause construction which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services.

Any project subject to Ordinance No. 659 will be conditioned for compliance. This is not a unique mitigation measure. No further mitigation measures have been identified; no additional or unique mitigation is required. (PP22636 COA: 90.PLANNING.31)

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

40. Health Services

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Source: RCIP

Findings of Fact:

The construction of health service buildings in conjunction with the proposed development is not anticipated. Existing health services facilities will serve the site.

Additionally, the project will no result in substantial adverse physical impacts associated with the provision of new or physically altered government facilities or the need for new or physically altered governmental faculties. As such, this project will not cause construction which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services.

Any project subject to Ordinance No. 659 will be conditioned for compliance. This is not a unique mitigation measure. No further mitigation measures have been identified; no additional or unique mitigation is required. (PP22636 COA: 90.PLANNING.31)

Mitigation: No mitigation measures are required.

Monitoring: No mitigation measures are required.

RECREATION

41. Parks and Recreation

a) Would the project include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?

☐ ☐ ☐ ☒

b) Would the project include the use of existing neighborhood or regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?

☐ ☐ ☐ ☒

c) Is the project located within a C.S.A. or recreation and park district with a Community Parks and Recreation Plan (Quimby fees)?

☐ ☐ ☒ ☐

Source: GIS database, Ord. No. 460, Section 10.35 (Regulating the Division of Land – Park and Recreation Fees and Dedications), Ord. No. 659 (Establishing Development Impact Fees), Parks & Open Space Department Review

Findings of Fact:

a-b) The proposed project does not include recreational facilities or require the construction or expansion of recreational facilities as well as it does not include the use of existing neighborhood or regional parks or other recreational facilities.

c) The project is within the Jurupa Area Recreation and Parks District. Ordinance No. 460 does not require payment of Quimby fees for commercial / industrial developments.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

42. Recreational Trails

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Source: Riverside County Parks, RCIP Figure C-7 "Trails and Bikeway System", Ord. No. 460, Ord. No. 461

Findings of Fact:

The Jurupa Area Plan indicates that no trails are proposed to be constructed and dedicated along 26th Street and Rubidoux Boulevard.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

TRANSPORTATION/TRAFFIC Would the project

43. Circulation

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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a) Conflict with an applicable plan, ordinance or policy establishing a measure of effectiveness for the performance of the circulation system, taking into account all modes of transportation, including mass transit and non-motorized travel and relevant components of the circulation system, including but not limited to intersections, streets, highways and freeways, pedestrian and bicycle paths, and mass transit?

b) Conflict with an applicable congestion management program, including, but not limited to level of service standards and travel demand measures, or other standards established by the county congestion management agency for designated roads or highways?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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c) Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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d) Alter waterborne, rail or air traffic?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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e) Substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g. farm equipment)?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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f) Cause an effect upon, or a need for new or altered maintenance of roads?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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g) Cause an effect upon circulation during the project's construction?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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h) Result in inadequate emergency access or access to nearby uses?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
i) Conflict with adopted policies, plans or programs regarding public transit, bikeways or pedestrian facilities, or otherwise substantially decrease the performance or safety of such facilities?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: RCIP, Transportation Department Review, Ord. No. 348, Ord. No 659

Findings of Fact:

- a) The proposed project site will have a less than significant impact on an increase in traffic which is substantial in relation to the existing traffic load and capacity of the street system. The project site would not result in a substantial increase in either the number of vehicle trips, the volume to capacity ratio on roads or congestion at intersections.
- b) The project will have a less than significant impact on the level of service standard established by the county congestion management agency for designated road or highways.
- c) The project will have a less than significant impact on circulation that would result in a change in traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks.
- d) The project site will have no impact on circulation altering waterborne, rail or air traffic.
- e) The proposed project site would have no impact on circulation substantially increasing hazards to a design feature or incompatible uses.
- f) The proposed project site would have less than significant impact on circulation causing an effect upon, or need for new or altered maintenance of roads.
- g) The proposed project site would have a less than significant impact on circulation because there are improvements that are going to be constructed.
- h) The proposed project site would have no impact on circulation resulting in inadequate emergency access or access to nearby uses.
- i) Development of this project will not conflict with adopted policies supporting alternative transportation such as bus turnouts or bicycle racks.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

44. Bike Trails	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Source: Riverside County Parks, RCIP Figure C-7 "Trails and Bikeway System", Ord. No. 460, Ord. No. 461

Findings of Fact:

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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The project site is not located near a bike trail.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

UTILITY AND SERVICE SYSTEMS Would the project

45. Water

a) Require or result in the construction of new water treatment facilities or expansion of existing facilities, the construction of which would cause significant environmental effects?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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b) Have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Source: Department of Environmental Health Review

Findings of Fact:

a) The Rubidoux Community Services District will service the project with water. The Riverside County Department of Environmental Health has reviewed this project. The project does not require or will not result in the construction of new water treatment facilities or expansion of existing facilities, the construction of which would cause significant environmental effects.

b) There is a sufficient water supply available to serve the project from existing entitlements and resources. This project has been conditioned to comply with the requirements of the Riverside County Department of Environmental Health.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

46. Sewer

a) Require or result in the construction of new wastewater treatment facilities, including septic systems, or expansion of existing facilities, the construction of which would cause significant environmental effects?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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b) Result in a determination by the wastewater treatment provider that serves or may service the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Source: Department of Environmental Health Review

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Findings of Fact:

a) The Rubidoux Community Services District will service the project with sewer services. The Riverside County Department of Health has reviewed this project. The project will not require or will not result in the construction of new wastewater treatment facilities, including septic systems, or expansion of existing facilities, the construction of which would cause significant environmental effects.

b) This project has been conditioned to comply with the requirements of the Riverside County Department of Environmental Health.

Mitigation: No mitigation measures are necessary.

Monitoring: No monitoring measures are necessary.

47. Solid Waste

a) Is the project served by a landfill with sufficient permitted capacity to accommodate the project's solid waste disposal needs?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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b) Comply with federal, state, and local statutes and regulations related to solid wastes (including the CIWMP (County Integrated Waste Management Plan)?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Source: RCIP, Letter from Riverside County Waste Management Division, dated April 17, 2007 from Ryan Ross, Planner

Findings of Fact:

a) The project will not substantially alter existing or future solid waste generation patterns and disposal services. The landfill that will serve the project has sufficient capacity to accommodate the project's anticipated solid waste disposal needs.

b) The development will comply with federal, state, and local statutes and regulations related to solid wastes (including the CIWMP (County Integrated Waste Management Plan). PP22636 Conditions of Approval 10.PLANNING.45, 80.PLANNING.16 and 90.PLANNING.28 are not considered unique mitigation measures pursuant to CEQA. No additional mitigation is identified or required.

Mitigation: No mitigation measures are necessary.

Monitoring: No monitoring measures are necessary.

48. Utilities

Would the project impact the following facilities requiring or resulting in the construction of new facilities or the expansion of existing facilities; the construction of which could cause significant environmental effects?

a) Electricity?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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b) Natural gas?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
c) Communications systems?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Storm water drainage?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Street lighting?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) Maintenance of public facilities, including roads?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g) Other governmental services?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: RCIP, Ord. No 517, Ord. No. 659

Findings of Fact:

a-c) The project will require utility services in the form of Electricity, Natural gas, and Telecommunications. Utility service infrastructure is available to the project site and the project is not anticipated to create a need for new facilities.

d) Storm water drainage will be handled on-site.

e-f) Street lighting exists for the access to the project site. Overall, the project will have an incremental impact on the maintenance of public facilities, including roads.

g) The project will not require additional government services.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

49. Energy Conservation

a) Would the project conflict with any adopted energy conservation plans?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Source: Project Application Materials

Findings of Fact:

a) The proposed project will not impact any adopted energy conservation plans.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

MANDATORY FINDINGS OF SIGNIFICANCE

50. Does the project have the potential to substantially degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare, or endangered plant or animal to

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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eliminate important examples of the major periods of California history or prehistory?

Source: Staff review, Project Application Materials

Findings of Fact:

Implementation of the proposed project would not substantially degrade the quality of the environment, substantially reduce the habitat of fish or wildlife species, cause a fish or wildlife populations to drop below self sustaining levels, threaten to eliminate a plant or animal community, or reduce the number or restrict the range of a rare or endangered plant or animal, or eliminate important examples of the major periods of California history or prehistory.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

- | | | | | |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| 51. Does the project have impacts which are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, other current projects and probable future projects)? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

Source: Staff review, Project Application Materials

Findings of Fact:

The project does not have impacts which are individually limited, but cumulatively considerable.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

- | | | | | |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| 52. Does the project have environmental effects that will cause substantial adverse effects on human beings, either directly or indirectly? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

Source: Staff review, Project Application Materials

Findings of Fact:

The proposed project would not result in environmental effects which would cause substantial adverse effects on human beings, either directly or indirectly.

Mitigation: No mitigation measures are required.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Monitoring: No monitoring measures are required.

VI. EARLIER ANALYSES

Earlier analyses may be used where, pursuant to the tiering, program EIR, or other CEQA process, an effect has been adequately analyzed in an earlier EIR or negative declaration as per California Code of Regulations, Section 15063 (c) (3) (D). In this case, a brief discussion should identify the following:

- Earlier Analyses Used, if any: RCIP: Riverside County Integrated Project.
- Jurupa Area Plan.
- SCAQMD CEQA Air Quality Handbook
- Climate Change Analysis prepared by Urban Crossroads, dated August 19, 2010
- Habitat Assessment and MSHCP Consistency Analysis (PDB05083) prepared by Michael Brandman Associates, dated November 27, 2006
- Focused Survey for Delhi Sands Flower-Loving Fly (PDB05522) prepared by Larry Munsey International, dated November 2008
- 2nd Year of a 2 Year Focused Survey for Delhi Sands Flower-Loving Fly (PDB05626) prepared by L&L Environmental, Inc., dated October 21, 2009
- Paleontological Resources Assessment Report (PDA04320) prepared by Michael Brandman Associates, dated August 10, 2007
- Geotechnical Engineering Investigation Report (GEO No. 1862) prepared by NorCal Engineering, dated July 25, 2006
- Letter from the Department of Public Health Office of Industrial Hygiene, dated December 16, 2010 from Steven Hinde, CIH, Senior Industrial Hygienist
- Letter from Riverside County Waste Management Division, dated April 17, 2007 from Ryan Ross, Planner

Location Where Earlier Analyses, if used, are available for review:

Location: County of Riverside Planning Department
4080 Lemon Street, 12th Floor
Riverside, CA 92502-1409

VII. AUTHORITIES CITED

Authorities cited: Public Resources Code Sections 21083 and 21083.05; References: California Government Code Section 65088.4; Public Resources Code Sections 21080(c), 21080.1, 21080.3, 21082.1, 21083, 21083.05, 21083.3, 21093, 21094, 21095 and 21151; *Sundstrom v. County of Mendocino* (1988) 202 Cal.App.3d 296; *Leonoff v. Monterey Board of Supervisors* (1990) 222 Cal.App.3d 1337; *Eureka Citizens for Responsible Govt. v. City of Eureka* (2007) 147 Cal.App.4th 357; *Protect the Historic Amador Waterways v. Amador Water Agency* (2004) 116 Cal.App.4th at 1109; *San Franciscans Upholding the Downtown Plan v. City and County of San Francisco* (2002) 102 Cal.App.4th 656.

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10. GENERAL CONDITIONS

EVERY DEPARTMENT

10. EVERY. 1 MAP - DEFINITIONS

RECOMMND

The words identified in the following list that appear in all capitals in the attached conditions of Tentative Parcel Map No. 35267 shall be henceforth defined as follows:

TENTATIVE MAP = Tentative Parcel Map No. 35267, Amended No. 1, dated July 23, 2008.

FINAL MAP = Final Map or Parcel Map for the TENTATIVE MAP whether recorded in whole or in phases.

10. EVERY. 2 MAP - PROJECT DESCRIPTION

RECOMMND

The land division hereby permitted is a Schedule E subdivision of 6.45 gross (6.04 net) acres into eight (8) industrial parcels, ranging from 0.64 acres to 0.94 acres.

The project site is located in the Community of Belltown of the Jurupa Area Plan in Western Riverside County; more specifically, southerly of 26th Street and easterly of Rubidoux Boulevard.

10. EVERY. 3 MAP - HOLD HARMLESS

RECOMMND

The land divider or any successor-in-interest shall defend, indemnify, and hold harmless the County of Riverside (COUNTY), its agents, officers, or employees from any claim, action, or proceeding against the COUNTY, its agents, officers, or employees to attack, set aside, void, or annul an approval of the COUNTY, its advisory agencies, appeal boards, or legislative body concerning the TENTATIVE MAP, which action is brought within the time period provided for in California Government Code, Section 66499.37. The COUNTY will promptly notify the land divider of any such claim, action, or proceeding against the COUNTY and will cooperate fully in the defense. If the COUNTY fails to promptly notify the land divider of any such claim, action, or proceeding or fails to cooperate fully in the defense, the land divider shall not, thereafter, be responsible to defend, indemnify, or hold harmless the COUNTY.

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10. GENERAL CONDITIONS

10. EVERY. 4 MAP - 90 DAYS TO PROTEST RECOMMND

The land divider has 90 days from the date of approval of these conditions to protest, in accordance with the procedures set forth in Government Code Section 66020, the imposition of any and all fees, dedications, reservations and/or other exactions imposed on this project as a result of the approval or conditional approval of this project.

BS GRADE DEPARTMENT

10.BS GRADE. 1 MAP-GIN INTRODUCTION RECOMMND

Improvement such as grading, filling, over excavation and recompaction, and base or paving which require a grading permit are subject to the included Building and Safety Grading Division conditions of approval.

10.BS GRADE. 2 MAP-G1.2 OBEY ALL GDG REGS RECOMMND

All grading shall conform to the California Building Code, Ordinance 457, and all other relevant laws, rules and regulations governing grading in Riverside County and prior to commencing any grading which includes 50 or more cubic yards, the applicant shall obtain a grading permit from the Building & Safety Department.

10.BS GRADE. 3 MAP-G1.3 DISTURBS NEED G/PMT RECOMMND

Ordinance 457 requires a grading permit prior to clearing, grubbing or any top soil disturbances related to construction grading.

10.BS GRADE. 4 MAP-G1.5 EROS CNTRL PROTECT RECOMMND

Graded but undeveloped land shall provide, in addition to erosion control planting, any drainage facility deemed necessary to control or prevent erosion. Additional erosion protection may be required during the rainy season from October 1 to May 31.

10.BS GRADE. 5 MAP-G1.6 DUST CONTROL RECOMMND

All necessary measures to control dust shall be implemented by the developer during grading.

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10. GENERAL CONDITIONS

10.BS GRADE. 6 MAP-G2.1 GRADING BONDS RECOMMND

Grading in excess of 199 cubic yards will require performance security to be posted with the Building & Safety Department. Single family dwelling units graded one lot per permit and proposing to grade less than 5,000 cubic yards are exempt.

10.BS GRADE. 7 MAP-G2.5 2:1 MAX SLOPE RATIO RECOMMND

Grade slopes shall be limited to a maximum steepness ratio of 2:1 (horizontal to vertical) unless otherwise approved.

10.BS GRADE. 8 MAP-G2.6SLOPE STABL'TY ANLY RECOMMND

A slope stability report shall be submitted and approved by the County Geologist for all proposed cut or fill slopes steeper than 2:1 (horizontal to vertical) or over 30 feet in vertical height - unless addressed in a previous report.

10.BS GRADE. 9 MAP-G2.8MINIMUM DRNAGE GRAD RECOMMND

Minimum drainage grade shall be 1% except on portland cement concrete where 0.35% shall be the minimum.

10.BS GRADE. 14 MAP-G2.24LU PMT TO GRD SUB RECOMMND

A GRADING PERMIT WILL NOT BE ISSUED, BY THE BUILDING AND SAFETY DEPARTMENT, FOR ANY PARCEL(S) OF THIS SUBDIVISION UNLESS AN APPROPRIATE LAND USE PERMIT HAS ALSO BEEN ISSUED AND APPROVED, BY THE PLANNING DEPARTMENT, FOR THAT SAME PARCEL(S).

10.BS GRADE. 15 MAP-G1.4 NPDES/SWPPP RECOMMND

Prior to issuance of any grading or construction permits - whichever comes first - the applicant shall provide the Building and Safety Department evidence of compliance with the following: "Effective March 10, 2003 owner operators of grading or construction projects are required to comply with the N.P.D.E.S. (National Pollutant Discharge Elimination System) requirement to obtain a construction permit from the State Water Resource Control Board (SWRCB). The permit requirement applies to grading and construction sites of "ONE" acre or larger. The owner operator can comply by submitting a "Notice of Intent" (NOI), develop and implement a STORM WATER POLLUTION PREVENTION PLAN (SWPPP) and a monitoring program and reporting plan for the

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10. GENERAL CONDITIONS

10.BS GRADE. 15 MAP-G1.4 NPDES/SWPPP (cont.) RECOMMND

construction site. For additional information and to obtain a copy of the NPDES State Construction Permit contact the SWRCB at (916) 657-1146.

Additionally, at the time the county adopts, as part of any ordinance, regulations specific to the N.P.D.E.S., this project (or subdivision) shall comply with them.

FIRE DEPARTMENT

10.FIRE. 1 MAP-#50-BLUE DOT REFLECTORS RECOMMND

Blue retroreflective pavement markers shall be mounted on private streets, public streets and driveways to indicate location of fire hydrants. Prior to installation, placement of markers must be approved by the Riverside County Fire Department.

10.FIRE. 2 MAP-#15-POTENTIAL FIRE FLOW RECOMMND

The water mains shall be capable of providing a potential fire flow 4000 GPM and an actual fire flow available from any one hydrant shall be 2500 GPM for 2-hour duration at 20 PSI residual operating pressure.

10.FIRE. 3 MAP-#14-COM/RES HYD/SPACING RECOMMND

Approved super fire hydrants, (6"x4"x 2-2 1/2") shall be located at each street intersection and spaced not more than 330 feet apart in any direction, with no portion of any lot frontage more than 165 feet from a fire hydrant.

FLOOD RI DEPARTMENT

10.FLOOD RI. 1 MAP FLOOD HAZARD REPORT RECOMMND

PM 35267 is a proposal for an Industrial Park on a 6.5 acre in the Rubidoux area. The property is located east of Rubidoux Blvd and south of 26th St.

The parcel map is related to Plot Plan 22636. Except for nuisance nature local runoff that may traverse portions of the property, the project is considered free from ordinary storm flood hazard. However, a storm of unusual magnitude could cause some damage. New construction should comply

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10. GENERAL CONDITIONS

10.FLOOD RI. 1

MAP FLOOD HAZARD REPORT (cont.)

RECOMMND

with all applicable ordinances.

The site naturally drains northeast to 26TH Street and then to the catch basin at the intersection of 26th Street and Hall Avenue.

The District will not require this project to mitigate for increased runoff as flows leaving the site will be discharged to an existing catch basin at the intersection of Hall Avenue and 26th Street which is considered an adequate outlet but mitigation for the water quality will be required. Since the catch basin is further down the road the District understands that the developer shall improve the 26th Street with curb and gutter on the south side to get credit for an adequate outlet.

The revised Water Quality Plan dated May 2008 was received and reviewed by the District.

The project proposes to mitigate the impacts to water quality with grassy swales along the eastern, western and northern boundary of the site. Onsite runoff is directed to these grassy swale which outlets to 26th Street.

This concept is acceptable to the District; however the grassy swales design and calculations may require modifications during final engineering. It should be noted that to determine the length of grassy swale the District recommends using the worksheet from the water quality manual.

10.FLOOD RI. 5

MAP PERP DRAINAGE PATTERNS

RECOMMND

The property's street and lot grading shall be designed in a manner that perpetuates the existing natural drainage patterns with respect to tributary drainage areas, outlet points and outlet conditions. Otherwise, a drainage easement shall be obtained from the affected property owners for the release of concentrated or diverted storm flows. A copy of the recorded drainage easement shall be submitted to the District for review.

10.FLOOD RI. 16

MAP WQMP ESTABL MAINT ENTITY

RECOMMND

This project proposes BMP facilities that will require maintenance by a public agency or homeowner's association. To ensure that the public is not unduly burdened with future costs, prior to final approval or recordation of this case, the District will require an acceptable financial mechanism be implemented to provide for maintenance of treatment control BMPs in perpetuity. This

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10. GENERAL CONDITIONS

10.FLOOD RI. 16 MAP WQMP ESTABL MAINT ENTITY (cont.) RECOMMND

may consist of a mechanism to assess individual benefiting property owners, or other means approved by the District. The site's treatment control BMPs must be shown on the project's improvement plans - either the street plans, grading plans, or landscaping plans. The type of improvement plans that will show the BMPs will depend on the selected maintenance entity.

10.FLOOD RI. 17 MAP SUBMIT FINAL WQMP>PRELIM RECOMMND

In compliance with Santa Ana Region and San Diego Region Regional Water Quality Control Board Orders, and Beginning January 1, 2005, projects submitted within the western region of the unincorporated area of Riverside County for discretionary approval will be required to comply with the Water Quality Management Plan for Urban Runoff (WQMP). The WQMP addresses post-development water quality impacts from new development and redevelopment projects. The WQMP requirements will vary depending on the project's geographic location (Santa Ana, Santa Margarita or Whitewater River watersheds). The WQMP provides detailed guidelines and templates to assist the developer in completing the necessary studies. These documents are available on-line at:
www.floodcontrol.co.riverside.ca.us under Programs and Services, Stormwater Quality.

To comply with the WQMP a developer must submit a "Project Specific" WQMP. This report is intended to a) identify potential post-project pollutants and hydrologic impacts associated with the development; b) identify proposed mitigation measures (BMPs) for identified impacts including site design, source control and treatment control post-development BMPs; and c) identify sustainable funding and maintenance mechanisms for the aforementioned BMPs. A template for this report is indicated as 'exhibit A' on the website above. A final Project Specific WQMP must be approved by the District prior to issuance of building or grading permits.

projects that require a Project Specific WQMPs were required to submit a PRELIMINARY Project Specific WQMP along with the land-use application package in the tentative phase of development in order to obtain recommended conditions of approval. The developer has submitted a report that minimally meets the criteria for a preliminary project

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10. GENERAL CONDITIONS

10.FLOOD RI. 17 MAP SUBMIT FINAL WQMP>PRELIM (cont.)

RECOMMND

specific WQMP of addressing points a, b, and c above. It shall be noted that while the preliminary project specific WQMP was adequate at that stage, the preliminary WQMP report will need significant revisions at the improvement plan check phase of the development in order to meet the requirements of a final project specific WQMP - including detailed drawings for the BMPs along with all supporting calculations. It should also be noted that if 401 certification is necessary for the project, the Water Quality Control Board may require additional water quality measures.

10.FLOOD RI. 19 MAP BMP MAINTENANCE & INSPECT

RECOMMND

The CC&R's for the development's Home/Property Owners Association (HOA/POA) shall contain provisions for all privately owned structural best management practices (BMPs) to be inspected, and if required, cleaned no later than October 15 each year. The CC&R's shall identify the entity that will inspect and maintain all structural BMPs within the project boundaries. A copy of the CC&R's shall be submitted to the District for review and approval prior to the recordation of the map.

PLANNING DEPARTMENT

10.PLANNING. 1 MAP - GEO 1862

RECOMMND

County Geologic Report (GEO) No. 1862, submitted for this project (PP22636 & PM35267), was prepared by NorCal Engineering and is entitled: "Geotechnical Engineering Investigation, Proposed Industrial Development - Located at the Southwest Corner of Rubidoux Boulevard and 26th Street, Belltown, in the County of Riverside, California", dated July 25, 2006. Additionally, NorCal Engineering and their consultant prepared the following responses:

1."Response to County Geologic Report Review Sheet - Proposed Industrial Development - Located at Southwest Corner of Rubidoux Boulevard and 26th Street, Belltown, in the County of Riverside, California" dated August 30, 2007.

2."Response to County Geotechnical Report Review Sheet - Proposed Industrial Development - Located at Southwest Corner of Rubidoux Boulevard and 26th Street, Belltown, in the County of Riverside, California" dated August 30, 2007.

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10. GENERAL CONDITIONS

10. PLANNING. 1

MAP - GEO 1862 (cont.)

RECOMMND

3. "Geotechnical Evaluation of Potential Faulting, Proposed Industrial Development, Southwest Corner of Rubidoux Boulevard and 26th Street, Belltown, County of Riverside, California" prepared by Andrew Stone, Engineering Geology and dated August 31, 2007.

4. "Second Response to County Geologic Report Review Sheet - Proposed Industrial Development - Located at Southwest Corner of Rubidoux Boulevard and 26th Street, Belltown, in the County of Riverside, California" dated September 14, 2007.

These reports are now included as part of GEO No. 1862.

GEO No 1862 concluded:

1. Based on literature research, aerial photo interpretation and site work performed, the consultant determined that no known active faults trend toward or across this site and therefore the potential for this site to be affected by surface fault rupture is considered low.

2. Based on the lack of groundwater in the borings advanced for this project and groundwater data collected from nearby water wells it was determined that the current and historic high groundwater levels in this area exceed 50 feet. Based on the depth to groundwater and the data indicating that the deeper site soils are relatively dense, it was concluded that the potential for this site to be affected by seismically induced liquefaction is low.

3. With the exception of groundshaking, the potential for this site to be affected by other secondary seismic hazards such as dynamic settlement, seismically induced landsliding or flooding and/or seiche/tsunami is considered low. The site should be expected to experience peak horizontal ground accelerations of about 0.42 g from a magnitude 6.6 earthquake along the San Jacinto (San Bernardino segment) fault which is about 6 miles away. This earthquake has a 10% probability of exceedence in 50 years.

GEO No 1862 recommended:

1. All vegetation, organics and other deleterious materials should be removed from the site prior to grading and

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10. GENERAL CONDITIONS

10.PLANNING. 1

MAP - GEO 1862 (cont.) (cont.)

RECOMMND

properly disposed of offsite. All upper fill/disturbed soils, estimated at about 1 to 1 1/2 feet thick, shall be removed to expose native soils exhibiting an in-place relative compaction of at least 85% of the maximum dry density as determined by ASTM D-1557. The exposed approved surface should be scarified to a depth of 12 inches, brought to within 2% of optimum moisture content and compacted to a minimum of 90% of the maximum dry density as determined by ASTM Test Method D-1557 and verified by field density testing.

2.The loose near surface soils should be removed to such a depth as to provide a minimum of two feet of compacted fill beneath all footings and slabs. All fill soils should be cleaned of organics or any other deleterious materials, be placed in layers not exceeding six inches in thickness, moisture conditioned to within 2% of the optimum moisture content and compacted to a minimum of 90% of the maximum dry density as determined by ASTM Test Method D-1557 and verified by field density testing.

3.All structures should be designed in accordance with the latest provisions of the most recent edition of the Uniform Building Code for a site located in UBC Seismic Zone 4, located 10 km from a UBC Type B seismic source and overlying a UBC Type Sd soil.

GEO No. 1862 satisfies the requirement for a Geologic/Seismic Study for Planning /CEQA purposes. GEO No. 1862 is hereby accepted for Planning purposes. This approval is not intended, and should not be misconstrued as approval for grading permit. Engineering and other building code parameters will be reviewed and additional comments and/or conditions may be imposed by the Building and Safety Department upon application for grading and/or building permits.

10.PLANNING. 2

MAP - IF HUMAN REMAINS FOUND

RECOMMND

If human remains are encountered, State Health and Safety Code Section 7050.5 states that no further disturbance shall occur until the Riverside County Coroner has made the necessary findings as to origin. Further, pursuant to Public Resource Code Section 5097.98(b) remains shall be left in place and free from disturbance until a

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10. GENERAL CONDITIONS

10.PLANNING. 2

MAP - IF HUMAN REMAINS FOUND (cont.)

RECOMMND

final decision as to the treatment and disposition has been made. If the Riverside County Coroner determines the remains to be Native American, the Native American Heritage Commission shall be contacted within a resonable timeframe. Subsequently, the Native American Heritage Commission shall identify the "most likely descendant." The most likely descendant shall then make recommendations and engage in consultation concerning thetreatment of the remains as provided in Public Resources Code Section 5097.98.

10.PLANNING. 3

MAP - INADVERTENT ARCHAEO FIND

RECOMMND

If during ground disturbance activities, unique cultural resources are discovered that were not assessed by the archaeological report(s) and/or environemntal assessment conducted prior to project approval, the following procedures shall be followed. Unique cultural resources are defined, for this condition, as being multiple artifacts in close association with each other, but may include fewer artifacts if the area of the find is determined to be of significance due to its sacred or cultural importance.

1. All ground disturbance activities within 100 feet of the discovered cultural resources shall be halted until a meeting is convened between the developer, the archaeologist, the Native American tribal representative and the Planning Director to discuss the significance of the find.

2. At the meeting, the significance of the discoveries shall be discussed and after consultation with the Native American tribal representative and the archaeologist, a decision shall be made, with the concurrence of the Planning Director, as to the appropriate mitigation (documentation, recovery, avoidance, etc.) for the cultural resources.

3. Grading of further ground disturbance shall not resume within the area of the discovery until an agreement has been reached by all parties as to the appropriate mitigation.

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10.PLANNING. 4 MAP - MAP ACT COMPLIANCE RECOMMND

This land division shall comply with the State of California Subdivision Map Act and to all requirements of County Ordinance No. 460, Schedule E, unless modified by the conditions listed herein.

10.PLANNING. 5 MAP - FEES FOR REVIEW RECOMMND

Any subsequent review/approvals required by the conditions of approval, including but not limited to grading or building plan review or review of any mitigation monitoring requirement, shall be reviewed on an hourly basis, or other appropriate fee, as listed in County Ordinance No. 671. Each submittal shall be accompanied with a letter clearly indicating which condition or conditions the submittal is intended to comply with.

10.PLANNING. 11 MAP - OFFSITE SIGNS ORD 679.4 RECOMMND

No offsite subdivision signs advertising this land division/development are permitted, other than those allowed under Ordinance No. 679.4. Violation of this condition of approval may result in no further permits of any type being issued for this subdivision until the unpermitted signage is removed.

10.PLANNING. 13 MAP - FINAL MAP PREPARER RECOMMND

The FINAL MAP shall be prepared by a licensed land surveyor or registered civil engineer.

10.PLANNING. 16 MAP - ORD 810 OPN SPACE FEE RECOMMND

Prior to the issuance of either a certificate of occupancy or prior to building permit final inspection, the applicant shall comply with the provisions of Riverside County Ordinance No. 810, which requires payment of the appropriate fee set forth in the Ordinance. Riverside County Ordinance No. 810 has been established to set forth policies, regulations and fees related to the funding and acquisition of open space and habitat necessary to address the direct and cumulative environmental effects generated by new development projects described and defined in this Ordinance.

The fee shall be paid for each unit to be constructed within this land division.

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10. GENERAL CONDITIONS

10.PLANNING. 16 MAP - ORD 810 OPN SPACE FEE (cont.)

RECOMMND

In the event Riverside County Ordinance No. 810 is rescinded, this condition will no longer be applicable. However, should Riverside County Ordinance No. 810 be rescinded and superseded by a subsequent mitigation fee ordinance, payment of the appropriate fee set forth in that ordinance shall be required.

10.PLANNING. 18 MAP - ORD NO. 659 (DIF)

RECOMMND

Prior to the issuance of either a certificate of occupancy or prior to building permit final inspection, the applicant shall comply with the provisions of Riverside County Ordinance No. 659, which requires the payment of the appropriate fee set forth in the Ordinance. Riverside County Ordinance No. 659 has been established to set forth policies, regulations and fees related to the funding and construction of facilities necessary to address the direct and cumulative environmental effects generated by new development projects described and defined in this Ordinance, and it establishes the authorized uses of the fees collected.

The fee shall be paid for each unit to be constructed within this land division. In the event Riverside County Ordinance No. 659 is rescinded, this condition will no longer be applicable. However, should Riverside County Ordinance No. 659 be rescinded and superseded by a subsequent mitigation fee ordinance, payment of the appropriate fee set forth in that ordinance shall be required.

10.PLANNING. 19 MAP - LC LANDSCAPE REQUIREMENTS

RECOMMND

Prior to the installation or rehabilitation of 2,500 square feet or more of landscaped area, the developer/ permit holder/landowner shall:

1) Submit landscape and irrigation plans to the County Planning Department for review and approval. Such plans shall be submitted as a Minor Plot Plan subject to the appropriate fees and inspections as determined by the County, comply with Ordinance No. 859 and be prepared in accordance with the County of Riverside Guide to California Friendly Landscaping. Emphasis shall be placed on using plant species that are drought tolerant and low water

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10. GENERAL CONDITIONS

10.PLANNING. 19

MAP - LC LANDSCAPE REQUIREMENTS (cont.)

RECOMMEND

using.

2) Ensure all landscape and irrigation plans are in conformance with the APPROVED LANDSCAPE EXHIBITS for PP22636;

3) Ensure all landscaping is provided with a weather based irrigation controller(s) as defined by County Ordinance No. 859;

4) Ensure that irrigation plans which may use reclaimed water conform with the requirements of the local water purveyor; and,

5) Ensure that all common area landscaping is healthy, free of weeds, disease and pests and all plant materials are maintained in a viable growth condition.

The developer/permit holder is responsible for the maintenance, viability and upkeep of all slopes, landscaped areas, and irrigation systems until the successful completion of the Installation Inspection or those operations become the responsibility of the individual property owner(s), a property owner's association, or any other successor-in-interest, whichever occurs later.

10.PLANNING. 21

MAP - LC LANDSCAPE REQUIREMENTS

RECOMMEND

Prior to the installation or rehabilitation of 2,500 square feet or more of landscaped area, the developer/ permit holder/landowner shall:

1) Submit landscape and irrigation plans to the County Planning Department for review and approval. Such plans shall be submitted as a Minor Plot Plan subject to the appropriate fees and inspections as determined by the County, comply with Ordinance No. 859 and be prepared in accordance with the County of Riverside Guide to California Friendly Landscaping. Emphasis shall be placed on using plant species that are drought tolerant and low water using.

2) Ensure all landscape and irrigation plans are in conformance with the APPROVED EXHIBITS and in conformance with the conceptual landscape plan approved for PP22636;
AND

3) Ensure all landscaping is provided with a weather based irrigation controller(s) as defined by County Ordinance No. 859;

4) Ensure that irrigation plans which may use reclaimed water conform with the requirements of the local water

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10. GENERAL CONDITIONS

10.PLANNING. 21 MAP - LC LANDSCAPE REQUIREMENTS (cont.) RECOMMND

purveyor; and,
5) Ensure that all common area landscaping is healthy, free of weeds, disease and pests and all plant materials are maintained in a viable growth condition.

The developer/permit holder is responsible for the maintenance, viability and upkeep of all slopes, landscaped areas, and irrigation systems until the successful completion of the Installation Inspection or those operations become the responsibility of the individual property owner(s), a property owner's association, or any other successor-in-interest, whichever occurs later.

10.PLANNING. 22 MAP - LC LANDSCAPE SPECIES RECOMMND

The developer/ permit holder/landowner shall use the County of Riverside's California Friendly Plant List when making plant selections. The list can be found at the following web site
<http://www.rctlma.org/planning/content/devproc/landscape/landscape.html> . Use of plant material with a "low" or "very low" water use designation is strongly encouraged.

10.PLANNING. 23 USE - OFF-HIGHWAY VEHICLE USE RECOMMND

No off-highway vehicle use shall be allowed on any parcel or open space area located within the boundaries of this land division.

10.PLANNING. 24 USE - SUBMIT BUILDING PLANS RECOMMND

The developer shall cause building plans to be submitted to the TLMA- Land Use Section for review by the Department of Building and Safety - Plan Check Division. Said plans shall be in conformance with the approved TENTATIVE MAP.

TRANS DEPARTMENT

10.TRANS. 3 MAP - DRAINAGE 1 RECOMMND

The land divider shall protect downstream properties from damages caused by alteration of the drainage patterns, i.e., concentration or diversion of flow. Protection shall be provided by constructing adequate drainage facilities including enlarging existing facilities and/or by securing a drainage easement. All drainage easements shall be shown

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10. GENERAL CONDITIONS

10.TRANS. 3 MAP - DRAINAGE 1 (cont.)

RECOMMND

on the final map and noted as follows: "Drainage Easement - no building, obstructions, or encroachments by landfills are allowed". The protection shall be as approved by the Transportation Department.

10.TRANS. 4 MAP - DRAINAGE 2

RECOMMND

The land divider shall accept and properly dispose of all off-site drainage flowing onto or through the site. In the event the Transportation Department permits the use of streets for drainage purposes, the provisions of Article XI of Ordinance No. 460 will apply. Should the quantities exceed the street capacity or the use of streets be prohibited for drainage purposes, the subdivider shall provide adequate drainage facilities and/or appropriate easements as approved by the Transportation Department.

10.TRANS. 8 MAP - STD INTRO 3(ORD 460/461)

RECOMMND

With respect to the conditions of approval for the referenced tentative exhibit, the land divider shall provide all street improvements, street improvement plans and/or road dedications set forth herein in accordance with Ordinance 460 and Riverside County Road Improvement Standards (Ordinance 461). It is understood that the tentative map correctly shows acceptable centerline elevations, all existing easements, traveled ways, and drainage courses with appropriate Q's, and that their omission or unacceptability may require the map to be resubmitted for further consideration. These Ordinances and all conditions of approval are essential parts and a requirement occurring in ONE is as binding as though occurring in all. All questions regarding the true meaning of the conditions shall be referred to the Transportation Department.

10.TRANS. 10 MAP - OFF-SITE PHASE

RECOMMND

Should the applicant choose to phase any portion of this project, said applicant shall provide off-site access roads to County maintained roads as approved by the Transportation Department.

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10. GENERAL CONDITIONS

10.TRANS. 11

MAP - COUNTY WEB SITE

RECOMMND

Additional information, standards, ordinances, policies, and design guidelines can be obtained from the Transportation Department Web site:
<http://rctlma.org/trans/>. If you have questions, please call the Plan Check Section at (951) 955-6527.

20. PRIOR TO A CERTAIN DATE

PLANNING DEPARTMENT

20.PLANNING. 2

MAP - EXPIRATION DATE

RECOMMND

The conditionally approved TENTATIVE MAP shall expire three (3) years after the County of Riverside Board of Supervisors original approval date, unless extended as provided by County Ordinance No. 460. Action on a minor change and/or revised map request shall not extend the time limits of the originally approved TENTATIVE MAP. A Land Management System (LMS) hold shall be placed on the TENTATIVE MAP, and a LMS hold shall be placed on any subsequent minor change or revised map, which shall be set to take effect on the expiration date. The LMS hold effective date shall be extended in accordance with any permitted extensions of time. The LMS hold shall be downgraded to a LMS notice upon recordation of the the first phase of the TENTATIVE MAP. The LMS hold or notice shall remain in effect until the recordation of the final phase of the TENTATIVE MAP. If the TENTATIVE MAP expires before the recordation of the final phase, the LMS hold or notice shall remain in effect and no further FINAL MAP recordation shall be permitted.

50. PRIOR TO MAP RECORDATION

FIRE DEPARTMENT

50.FIRE. 1

MAP-#46-WATER PLANS

RECOMMND

The applicant or developer shall furnish one copy of the water system plans to the Fire Department for review. Plans shall be signed by a registered civil engineer, containing a Fire Department approval signature block, and shall conform to hydrant type, location, spacing and minimum fire flow. Once plans are signed by the local water company, the originals shall be presented to the Fire Department for signature.

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50. PRIOR TO MAP RECORDATION

50.FIRE. 2 MAP-#53-ECS-WTR PRIOR/COMBUS RECOMMND

Ecs map must be stamped by the Riverside County Surveyor with the following note: The required water system, including fire hydrants, shall be installed and accepted by the appropriate water agency prior to any combustible building material placed on an individual lot.

FLOOD RI DEPARTMENT

50.FLOOD RI. 2 MAP SUBMIT PLANS RECOMMND

A copy of the improvement plans, grading plans, final map, environmental constraint sheet, BMP improvement plans, and any other necessary documentation along with supporting hydrologic and hydraulic calculations shall be submitted to the District for review. All submittals shall be date stamped by the engineer and include a completed Flood Control Deposit Based Fee Worksheet and the appropriate plan check fee deposit.

50.FLOOD RI. 9 MAP SUBMIT FINAL WQMP RECOMMND

A copy of the project specific WQMP shall be submitted to the District for review and approval.

PLANNING DEPARTMENT

50.PLANNING. 1 MAP - PREPARE A FINAL MAP RECOMMND

After the approval of the TENTATIVE MAP and prior to the expiration of said map, the land divider shall cause the real property included within the TENTATIVE MAP, or any part thereof, to be surveyed and a FINAL MAP thereof prepared in accordance with the current County Transportation Department - Survey Division requirements, the conditionally approved TENTATIVE MAP, and in accordance with Article IX of County Ordinance No. 460.

50.PLANNING. 9 MAP - FINAL MAP PREPARER RECOMMND

The FINAL MAP shall be prepared by a licensed land surveyor or registered civil engineer.

50.PLANNING. 17 MAP - SURVEYOR CHECK RECOMMND

The County Transportation Department - Survey Division shall review any FINAL MAP and ensure compliance with the

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50. PRIOR TO MAP RECORDATION

50.PLANNING. 17 MAP - SURVEYOR CHECK (cont.)

RECOMMND

following:

A. All lots on the FINAL MAP shall be in substantial conformance with the approved TENTATIVE MAP relative to size and configuration.

B. All lots on the FINAL MAP shall comply with the length to width ratios, as established by Section 3.8.C. of County Ordinance No. 460.

C. The total number of industrial lots on the final map shall be 8, with 0 open space, recreation/utility lots.

50.PLANNING. 18 MAP - FEE BALANCE

RECOMMND

Prior to recordation, the Planning Department shall determine if the deposit based fees for the TENTATIVE MAP are in a negative balance. If so, any unpaid fees shall be paid by the land divider and/or the land divider's successor-in-interest.

50.PLANNING. 19 MAP - CC&R RECIPROCAL EASEMNT

RECOMMND

The land divider shall (a) notify the Planning Department that the following documents shall be shortly, or have been, submitted to the Office of the County Counsel for review; and (b) the land divider shall submit copies of the following documents to the Planning Department for concurrent review along with any condition review fee; and (c) the documents to be submitted by the land divider to the Office of the County Counsel shall include all of the following:

1. A cover letter identifying the project for which approval is sought referencing the Planning Department case number;

2. A copy AND an original wet signed, notarized grant of reciprocal easement document, which includes, but is not necessarily limited to, both a legal description of the boundaries of the reciprocal easement and a scaled map or diagram of such boundaries, both signed and stamped by a California registered civil engineer or licensed land surveyor;

3. A sample document conveying title to the purchaser

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50. PRIOR TO MAP RECORDATION

50.PLANNING. 19

MAP - CC&R RECIPROCAL EASEMNT (cont.)

RECOMMND

of an individual lot or unit which provides that the grant of reciprocal easement is incorporated therein by reference; and

4. A deposit equaling three (3) hours at the current hourly rate for the Review of Covenants, Conditions and Restrictions as established pursuant to Ordinance No. 671 at the time the above documents are submitted for review by the Office of the County Counsel.

The grant of reciprocal easement document submitted for review shall (a) provide for no limit to the term of years or life of the reciprocal easement, (b) provide reciprocal easements for ingress and egress between parcels 4, 6, 7 and 8 shown on the TENTATIVE MAP, and (c) contain the following provisions verbatim:

"Notwithstanding any provision in this Grant of Reciprocal Easement to the contrary, the following provision shall apply:

This Grant of Reciprocal Easement shall not be terminated, 'substantially' amended, or property deannexed therefrom absent the prior written consent of the Planning Director of the County of Riverside, or the County's successor-in-interest. A proposed amendment shall be considered 'substantial' if it affects the extent, usage or maintenance of the reciprocal easement established pursuant to the Grant of Reciprocal Easement."

Once approved by the Office of the County Counsel, the copy and the original grant of reciprocal easement document shall be forwarded to the Planning Department. The Planning Department shall keep the copy for the case file and forward the original document to the Transportation Department-Survey Division-for safe keeping until the final map is ready to record. The Transportation Department-Survey Division-shall record the original grant of reiprocal easement document in conjunction with the recordation of the final map.

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50. PRIOR TO MAP RECORDATION

TRANS DEPARTMENT

50.TRANS. 1 MAP - GEOMETRICS

RECOMMND

The intersection of Rubidoux Boulevard (NS) at Project Driveway Access (EW) shall be improved to provide the following geometrics:

Northbound: one through lane and one shared through/right turn lane

Southbound: one through lane and one shared through/right turn lane

Eastbound: one shared left/through/right turn lane

Westbound: one shared left/through/right turn lane

NOTE: The project proponent shall install appropriate channelization and signage at the project driveway on Rubidoux Blvd. to facilitate right-in/right-out access only. Left turn access is prohibited at this driveway.

50.TRANS. 2 MAP - IMP PLANS

RECOMMND

Improvement plans for the required improvements must be prepared and shall be based upon a design profile extending a minimum of 300 feet beyond the limit of construction at a grade and alignment as approved by the Riverside County Transportation Department. Completion of road improvements does not imply acceptance for maintenance by County.

NOTE: Before you prepare the street improvement plan(s), please review the Street Improvement Plan Policies and Guidelines from the Transportation Department Web site: http://www.rctlma.org/trans/land_dev_plan_check_guidelines.html.

50.TRANS. 3 MAP - SOILS 2

RECOMMND

The developer/owner shall submit a preliminary soils and pavement investigation report addressing the construction requirements within the road right-of-way.

50.TRANS. 7 MAP - EASEMENT/SUR

RECOMMND

Any easement not owned by a public utility, public entity or subsidiary, not relocated or eliminated prior to final map approval, shall be delineated on the final map in addition to having the name of the easement holder, and the nature of their interests, shown on the map.

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50. PRIOR TO MAP RECORDATION

50.TRANS. 11 MAP - ST DESIGN/IMPRV CONCEPT RECOMMND

The street design and improvement concept of this project shall be coordinated with PP22636 and with EDA Project Coordinator Cathy Wampler at (951) 955-6803.

50.TRANS. 12 MAP - STRIPING PLAN RECOMMND

A signing and striping plan is required for this project. The applicant shall be responsible for any additional paving and/or striping removal caused by the striping plan. Traffic signing and striping shall be performed by County forces with all incurred costs borne by the applicant, unless otherwise approved by the County Traffic Engineer.

50.TRANS. 13 MAP - STREET NAME SIGN RECOMMND

The land divider shall install street name sign(s) in accordance with County Standard No. 816 as directed by the Transportation Department.

50.TRANS. 15 MAP - INTERSECTION/50' TANGENT RECOMMND

All enterline intersections shall be at 90 degrees, plus or minus 5 degrees, with a minimum 50' tangent, measured from flowline/curbface or as approved by the Transportation Planning and Development Review Division Engineer.

50.TRANS. 16 MAP - STREET LIGHT PLAN RECOMMND

A separate street light plan is required for this project.

Street lighting shall be designed in accordance with County Ordinance 460 and Street Light Specification Chart found in Specification Section 22 of Ordinance 461. For projects within SCE boundaries use County of Riverside Ordinance 461, Standard No's 1000 or 1001.

50.TRANS. 17 MAP - MAP.CORNER CUT-BACK I RECOMMND

All corner cutbacks shall be applied per Standard 805, Ordinance 461, except for corners at Entry streets intersecting with General Plan roads, they shall be applied per Exhibit 'C' of the Countywide Design Guidelines.

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50. PRIOR TO MAP RECORDATION

50.TRANS. 18

MAP - STREET LIGHTS-L&LMD

RECOMMND

The project proponent shall contact the Transportation Department L&LMD 89-1-C Administrator and submit the following:

1. Completed Transportation Department application
2. Appropriate fees for annexation.
3. (2)Sets of street lighting plans approved by Transportation Department.
4. "Streetlight Authorization" form from SCE, IID or other electric provider.

50.TRANS. 20

MAP - STREET SWEEPING

RECOMMND

The project proponent shall contact the County Service Area (CSA) Project Manager to file an application for annexation or inclusion into CSA for street sweeping; or enter into a similar mechanism as approved by the Transportation Department.

50.TRANS. 23

MAP - UTILITY PLAN

RECOMMND

Electrical power, telephone, communication, street lighting, and cable television lines shall be designed to be placed underground in accordance with ordinance 460 and 461, or as approved by the Transportation Department. The applicant is responsible for coordinating the work with the serving utility company. This also applies to existing overhead lines which are 33.6 kilovolts or below along the project frontage and between the nearest poles offsite in each direction of the project site. A disposition note describing the above shall be reflected on design improvement plans whenever those plans are required. A written proof for initiating the design and/or application of the relocation issued by the utility company shall be submitted to the Transportation Department for verification purposes.

50.TRANS. 24

MAP - EXISTING MAINTAINED

RECOMMND

Rubidoux Boulevard along project boundary is a paved County maintained road and designated as a Major Highway and shall be improved with 38' AC pavement, 8" concrete curb and gutter, located 38 feet from centerline, and match up

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50. PRIOR TO MAP RECORDATION

50.TRANS. 24 MAP - EXISTING MAINTAINED (cont.) RECOMMND

asphalt concrete paving; reconstruction; or resurfacing of existing paving as determined by the Transportation Department within the 59 foot half-width dedicated right-of-way in accordance with County Standard No. 93. (38'/59')

NOTE 1: A 5' meandering sidewalk shall be constructed within the 21' parkway per Standard 404.

NOTE 2: Driveways shall be constructed per Standard No. 207A.

50.TRANS. 25 MAP - PART-WIDTH RECOMMND

26th Street along project boundary is a paved County maintained road and designated as Industrial Collector road and shall be improved with 46' part-width AC pavement, (28' on the project side and 18' on opposite side), 6" concrete curb and gutter and 6' sidewalk adjacent to the curb line within a 72' full-width dedicated right-of-way (39' on project side and 33' on opposite side) in accordance with County Standard No. 111.

NOTE: A 6' sidewalk shall be constructed adjacent to the curb line within the 11' parkway.

60. PRIOR TO GRADING PRMT ISSUANCE

BS GRADE DEPARTMENT

60.BS GRADE. 1 MAP-G2.4GEOTECH/SOILS RPTS RECOMMND

Geotechnical soils reports, required in order to obtain a grading permit, shall be submitted to the Building and Safety Department's Grading Division for review and approval prior to issuance of a grading permit.

All grading shall be in conformance with the recommendations of the geotechnical/soils reports as approved by Riverside County.*

*The geotechnical/soils, compaction and inspection reports will be reviewed in accordance with the RIVERSIDE COUNTY GEOTECHNICAL GUIDELINES FOR REVIEW OF GEOTECHNICAL AND GEOLOGIC REPORTS.

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60. PRIOR TO GRADING PRMT ISSUANCE

60.BS GRADE. 2

MAP-G2.7DRNAGE DESIGN Q100

RECOMMND

All grading and drainage shall be designed in accordance with Riverside County Flood Control & Water Conservation District's conditions of approval regarding this application. If not specifically addressed in their conditions, drainage shall be designed to accommodate 100 year storm flows.

Additionally, the Building and Safety Department's conditional approval of this application includes an expectation that the conceptual grading plan reviewed and approved for it complies or can comply with any WQMP (Water Quality Management Plan) required by Riverside County Flood Control and Water Conservation District.

60.BS GRADE. 3

MAP-G2.14OFFSITE GDG ONUS

RECOMMND

Prior to the issuance of a grading permit, it shall be the sole responsibility of the owner/applicant to obtain any and all proposed or required easements and/or permissions necessary to perform the grading herein proposed.

60.BS GRADE. 4

MAP-G1.4 NPDES/SWPPP

RECOMMND

Prior to issuance of any grading or construction permits - whichever comes first - the applicant shall provide the Building and Safety Department evidence of compliance with the following: "Effective March 10, 2003 owner operators of grading or construction projects are required to comply with the N.P.D.E.S. (National Pollutant Discharge Elimination System) requirement to obtain a construction permit from the State Water Resource Control Board (SWRCB). The permit requirement applies to grading and construction sites of "ONE" acre or larger. The owner operator can comply by submitting a "Notice of Intent" (NOI), develop and implement a STORM WATER POLLUTION PREVENTION PLAN (SWPPP) and a monitoring program and reporting plan for the construction site. For additional information and to obtain a copy of the NPDES State Construction Permit contact the SWRCB at (916) 657-1146.

Additionally, at the time the county adopts, as part of any ordinance, regulations specific to the N.P.D.E.S., this project (or subdivision) shall comply with them.

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60. PRIOR TO GRADING PRMT ISSUANCE

60.BS GRADE. 5 MAP IMPORT/EXPORT

RECOMMND

In instances where a grading plan involves import or export, prior to obtaining a grading permit, the applicant shall have obtained approval for the import/export location from the Building and Safety department. If an Environmental Assessment, prior to issuing a grading permit, did not previously approve either location, a Grading Environmental Assessment shall be submitted to the Planning Director and the Environmental Programs Director for review and comment and to the Building and Safety Department Director for approval. Additionally, if the movement of import/export occurs using county roads, review and approval of the haul routes by the Transportation Department will be required.

FLOOD RI DEPARTMENT

60.FLOOD RI. 2 MAP SUBMIT PLANS

RECOMMND

A copy of the improvement plans, grading plans, BMP improvement plans and any other necessary documentation along with supporting hydrologic and hydraulic calculations shall be submitted to the District for review. The plans must receive District approval prior to the issuance of grading permits. All submittals shall be date stamped by the engineer and include a completed Flood Control Deposit Based Fee Worksheet and the appropriate plan check fee deposit.

60.FLOOD RI. 3 MAP EROS CNTRL AFTER RGH GRAD

RECOMMND

Temporary erosion control measures shall be implemented immediately following rough grading to prevent deposition of debris onto downstream properties or drainage facilities. Plans showing these measures shall be submitted to the District for review.

60.FLOOD RI. 8 MAP SUBMIT FINAL WQMP

RECOMMND

A copy of the project specific WQMP shall be submitted to the District for review and approval.

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PARCEL MAP Parcel Map #: PM35267

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60. PRIOR TO GRADING PRMT ISSUANCE

PLANNING DEPARTMENT

60.PLANNING. 1 MAP - PLANNING DEPT REVIEW

RECOMMND

As part of the plan check review of the proposed grading plan for the subject property, the Department of Building and Safety - Grading Division shall submit a copy of the proposed grading plan, along with the applicable Log/Permit Numbers for reference, to the County Planning Department to be reviewed for compliance with the approved tentative map.

60.PLANNING. 2 MAP - GRADING PLAN REVIEW

RECOMMND

The land divider/permit holder shall cause a plan check application for a grading plan to be submitted to the county T.L.M.A - Land Use Division for review by the County Department of Building and Safety - Grading Division. Said grading plan shall be in conformance with the approved tentative map, in compliance with County Ordinance No. 457, and the conditions of approval for the tentative map.

60.PLANNING. 3 MAP - FEE BALANCE

RECOMMND

Prior to issuance of grading permits, the Planning Department shall determine if the deposit based fees are in a negative balance. If so, any outstanding fees shall be paid by the applicant/developer.

60.PLANNING. 4 MAP - COA MET ONCE

RECOMMND

Prior to issuance of any grading or construction permits - whichever comes first - conditions of approval for Parcel Map No. 35267 shall only be met once and not to be met again with Plot Plan No. 22636 and visa versa, if repeated conditions of approval occur.

80. PRIOR TO BLDG PRMT ISSUANCE

BS GRADE DEPARTMENT

80.BS GRADE. 1 MAP-G3.1NO B/PMT W/O G/PMT

RECOMMND

Prior to issuance of any building permit, the property owner shall obtain a grading permit and/or approval to construct from the Grading Divisin of the Building and Safety Department.

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80. PRIOR TO BLDG PRMT ISSUANCE

E HEALTH DEPARTMENT

80.E HEALTH. 1 USE - WATER WILL SERVE RECOMMND

A "Will-Serve" letter is required from the appropriate water agency.

80.E HEALTH. 2 USE - FOOD PLANS REQD RECOMMND

A total of 3 complete set of plans for each food establishment are needed including a fixture schedule, a finish schedule, and a plumbing schedule in order to ensure compliance with current State and Local regulations.

80.E HEALTH. 3 USE - LEA CLEARANCE RECOMMND

Clearance from the Environmental Resources Management Division LEA

FLOOD RI DEPARTMENT

80.FLOOD RI. 1 MAP CONSTRUCT CURB & GUTTER RECOMMND

the developer shall improve the 26th Street with curb and gutter on the south side to get credit for an adequate outlet.

80.FLOOD RI. 2 MAP SUBMIT PLANS RECOMMND

A copy of the improvement plans, grading plans, BMP improvement plans and any other necessary documentation along with supporting hydrologic and hydraulic calculations shall be submitted to the District for review. The plans must receive District approval prior to the issuance of building permits. All submittals shall be date stamped by the engineer and include a completed Flood Control Deposit Based Fee Worksheet and the appropriate plan check fee deposit.

80.FLOOD RI. 4 MAP SUBMIT FINAL WQMP RECOMMND

A copy of the project specific WQMP shall be submitted to the District for review and approval.

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80. PRIOR TO BLDG PRMT ISSUANCE

PLANNING DEPARTMENT

80.PLANNING. 1 MAP - NO BUILDING PERMITS

RECOMMND

No building permits shall be attached to this Parcel Map.
All building permits should be attached to Plot Plan No.
22636.

90. PRIOR TO BLDG FINAL INSPECTION

E HEALTH DEPARTMENT

90.E HEALTH. 1 USE - HAZMAT BUS PLAN

RECOMMND

The facility will require a business emergency plan for the
storage of hazardous materials greater than 55 gallons, 200
cubic feet or 500 pounds, or any acutely hazardous
materials or extremely hazardous substances.

90.E HEALTH. 2 USE - HAZMAT REVIEW

RECOMMND

If further review of the site indicates additional
environmental health issues, the Hazardous Materials
Management Division reserves the right to regulate the
business in accordance with applicable County Ordinances.

90.E HEALTH. 3 USE - HAZMAT CONTACT

RECOMMND

Contact the Hazardous Materials Management Division,
at (951) 273-9143 for any additional requirements.

FLOOD RI DEPARTMENT

90.FLOOD RI. 2 MAP BMP - EDUCATION

RECOMMND

The developer shall distribute environmental awareness
education materials on general good housekeeping practices
that contribute to protection of stormwater quality to all
initial residents. The developer may obtain NPDES Public
Educational Program materials from the District's NPDES
Section by either the District's website
www.floodcontrol.co.riverside.ca.us, e-mail
fcnpdes@co.riverside.ca.us, or the toll free number
1-800-506-2555. Please provide Project number, number of
units and location of development. Note that there is a
five-day minimum processing period requested for all
orders.

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90. PRIOR TO BLDG FINAL INSPECTION

90.FLOOD RI. 2 MAP BMP - EDUCATION (cont.)

RECOMMND

The developer must provide to the District's PLAN CHECK Department a notarized affidavit stating that the distribution of educational materials to the tenants is assured prior to the issuance of occupancy permits.

90.FLOOD RI. 3 MAP IMPLEMENT WQMP

RECOMMND

All structural BMPs described in the project-specific WQMP shall be constructed and installed in conformance with approved plans and specifications. It shall be demonstrated that the applicant is prepared to implement all non-structural BMPs described in the approved project specific WQMP and that copies of the approved project-specific WQMP are available for the future owners/occupants. The District will not release occupancy permits for any portion of the project exceeding 80% of the total recorded residential lots within the map or phase within the map prior to the completion of these tasks.

90.FLOOD RI. 4 MAP FACILITY COMPLETION

RECOMMND

The District will not release occupancy permits for any residential lot within the map or phase within the map prior to the District's acceptance of the drainage system for operation and maintenance.

TRANS DEPARTMENT

90.TRANS. 1 MAP - WRCOG TUMF

RECOMMND

Prior to the issuance of an occupancy permit, the project proponent shall pay the Transportation Uniform Mitigation Fee (TUMF) in accordance with the fee schedule in effect at the time of issuance, pursuant to Ordinance No. 824.

90.TRANS. 2 MAP - STREET SWEEPING

RECOMMND

Street sweeping annexation or inclusion into CSA or similar mechanism as approved by the Transportation Department shall be completed.

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90. PRIOR TO BLDG FINAL INSPECTION

90.TRANS. 3

MAP STREETLIGHT AUTHORIZATION

RECOMMND

Prior to OCCUPANCY, the project proponent shall submit to Transportation Department Permits the following:

1. "Streetlight Authorization" form approved by L&LMD No. 89-1 Administrator
- 2 Letter establishing interim energy account from SCE, IID or other electric provider.

90.TRANS. 4

MAP - E STREET LIGHTS INSTALL

RECOMMND

Install streetlights along the streets associated with development in accordance with the approved street lighting plan and standards of County Ordinance 460 and 461. For projects within Imperial Irrigation District (IID) use (IID's) pole standard.

Street light annexation into L&LMD or similar mechanism as approved by the Transportation Department shall be completed.

It shall be the responsibility of the Developer to ensure that streetlights are energized along the streets associated with this development where the Developer is seeking Building Final Inspection (Occupancy).

90.TRANS. 5

MAP - UTILITY INSTALL

RECOMMND

Electrical power, telephone, communication, street lighting, and cable television lines shall be placed underground in accordance with ordinance 460 and 461, or as approved by the Transportation Department. This also applies to existing overhead lines which are 33.6 kilovolts or below along the project frontage and between the nearest poles offsite in each direction of the project site.

A certificate should be obtained from the pertinent utility company and submitted to the Department of Transportation as proof of completion.

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10. GENERAL CONDITIONS

EVERY DEPARTMENT

10. EVERY. 1 USE - PROJECT DESCRIPTION RECOMMND

The use hereby permitted is to develop eight (8) industrial and manufacturing buildings, Rubidoux Development Industrial Park, with a total building area of 108,000 square feet with 72,000 square feet of storage space, 12,000 square feet of office space, 24,000 square feet of fabrication space, 56,371 square feet of landscaping area (20%) and 168 parking spaces on a 6.45 gross (6.04 net) acre site with a floor area ratio of 0.38 (Light Industrial requires a 0.25 - 0.60 floor area ratio). The project also proposes to improve 26th Street with curb and gutter to discharge onsite runoff to an existing catch basin at the intersection off Hall Avenue and 26th Street.

The project site is located in the Community of Belltown of the Jurupa Area Plan in Western Riverside County; more specifically, southerly of 26th Street and easterly of Rubidoux Boulevard.

10. EVERY. 2 USE - HOLD HARMLESS RECOMMND

The applicant/permittee or any successor-in-interest shall defend, indemnify, and hold harmless the County of Riverside (COUNTY) its agents, officers, or employees from any claim, action, or proceeding against the COUNTY, its agents, officers, or employees to attack, set aside, void, or annul an approval of the COUNTY, its advisory agencies, appeal boards, or legislative body concerning Plot Plan No. 22636. The COUNTY will promptly notify the applicant/permittee of any such claim, action, or proceeding against the COUNTY and will cooperate fully in the defense. If the COUNTY fails to promptly notify the applicant/permittee of any such claim, action, or proceeding or fails to cooperate fully in the defense, the applicant/permittee shall not, thereafter, be responsible to defend, indemnify, or hold harmless the COUNTY.

10. EVERY. 3 USE - DEFINITIONS RECOMMND

The words identified in the following list that appear in all capitals in the attached conditions of Plot Plan No. 22636 shall be henceforth defined as follows:

APPROVED EXHIBIT A = Site Plan (Sheets 1-2) for Plot Plan No. 22636 Amended No. 3, dated July 23, 2008.

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10. GENERAL CONDITIONS

10. EVERY. 3 USE - DEFINITIONS (cont.)

RECOMMND

APPROVED EXHIBIT B = Project Elevations (Sheets 1-16) for Plot Plan No. 22636 Amended No. 3, dated July 23, 2008.

APPROVED EXHIBIT C = Project Floor Plans (Sheets 1-9) for Plot Plan No. 22636 Amended No. 3, dated July 23, 2008.

APPROVED EXHIBIT G = Conceptual Grading Plan (Sheets 1-2) for Plot Plan No. 22636 Amended No. 3, dated July 23, 2008.

APPROVED EXHIBIT L = Preliminary Landscaping Plans (Sheets 1-9) for Plot Plan No. 22636 Amended No. 3, dated July 23, 2008.

APPROVED EXHIBIT M = Project Colors and Materials (Sheets 1-3) for Plot Plan No. 22636 Amended No. 3, dated July 23, 2008.

10. EVERY. 4 USE - 90 DAYS TO PROTEST

RECOMMND

The project developer has 90 days from the date of approval of these conditions to protest, in accordance with the procedures set forth in Government Code Section 66020, the imposition of any and all fees, dedications, reservations and/or other exactions imposed on this project as a result of this approval or conditional approval of this project.

BS GRADE DEPARTMENT

10.BS GRADE. 1 USE - GENERAL INTRODUCTION

RECOMMND

Improvements such as grading, filling, over excavation and recompactation, and base or paving which require a grading permit are subject to the included Building and Safety Department Grading Division conditions of approval.

10.BS GRADE. 3 USE - OBEY ALL GDG REGS

RECOMMND

All grading shall conform to the California Building Code, Ordinance 457, and all other relevant laws, rules, and regulations governing grading in Riverside County and prior to commencing any grading which includes 50 or more cubic yards, the applicant shall obtain a grading permit from the Building and Safety Department.

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10. GENERAL CONDITIONS

10.BS GRADE. 4 USE - DISTURBS NEED G/PMT RECOMMND

Ordinance 457 requires a grading permit prior to clearing, grubbing, or any top soil disturbances related to construction grading.

10.BS GRADE. 5 USE - DUST CONTROL RECOMMND

All necessary measures to control dust shall be implemented by the developer during grading. A PM10 plan may be required at the time a grading permit is issued.

10.BS GRADE. 6 USE-G2.3SLOPE EROS CL PLAN RECOMMND

Erosion control - landscape plans, required for manufactured slopes greater than 3 feet in vertical height, are to be signed by a registered landscape architect and bonded per the requirements of Ordinance 457 (refer to dept. form 284-47).

10.BS GRADE. 7 USE - 2:1 MAX SLOPE RATIO RECOMMND

Graded slopes shall be limited to a maximum steepness ratio of 2:1 (horizontal to vertical) unless otherwise approved.

10.BS GRADE. 8 USE - SLOPE STABL'TY ANLYS RECOMMND

A slope stability report shall be submitted and approved by the County Geologist for all proposed cut and fill slopes over 30 feet in vertical height, or cut slopes steeper than 2:1 (horizontal to vertical)- unless addressed in a previous report. Fill slopes shall not be steeper than 2:1 (horizontal to vertical).

10.BS GRADE. 9 USE-G2.7DRNAGE DESIGN Q100 RECOMMND

All grading and drainage shall be designed in accordance with Riverside County Flood Control & Water Conservation District's conditions of approval regarding this application. If not specifically addressed in their conditions, drainage shall be designed to accommodate 100 year storm flows.

Additionally, the Building and Safety Department's conditional approval of this application includes an expectation that the conceptual grading plan reviewed and approved for it complies or can comply with any WQMP (water Quality Management Plan) required by Riverside County Flood

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10. GENERAL CONDITIONS

10.BS GRADE. 9 USE-G2.7DRNAGE DESIGN Q100 (cont.) RECOMMND
Control & Water Conservation District.

10.BS GRADE. 10 USE - MINIMUM DRNAGE GRADE RECOMMND
Minimum drainage grade shall be 1% except on portland
cement concrete where .35% shall be the minimum.

10.BS GRADE. 11 USE - DRAINAGE & TERRACING RECOMMND
Provide drainage facilities and terracing in conformance
with the California Building Code's chapter on "EXCAVATION
& GRADING".

10.BS GRADE. 12 USE - SLOPE SETBACKS RECOMMND
Observe slope setbacks from buildings & property lines per
the California Building Code as amended by Ordinance 457.

10.BS GRADE. 13 USE - OFFST. PAVED PKG RECOMMND
All offstreet parking areas which are conditioned to be
paved shall conform to Ordinance 457 base and paving design
and inspection requirements.

10.BS GRADE. 14 USE-G.3.1NO B/PMT W/O G/PMT RECOMMND
Prior to the issuance of any building permit, the property
owner shall obtain a grading permit and/or approval to
construct from the Grading Division of the Building and
Safety Department.

10.BS GRADE. 15 USE - RETAINING WALLS RECOMMND
Lots which propose retaining walls will require separate
permits. They shall be obtained prior to the issuance of
any other building permits - unless otherwise approved by
the Building and Safety Director. The walls shall be
designed by a Registered Civil Engineer - unless they
conform to the County Standard Retaining Wall designs
shown on the Building and Safety Department form 284-197.

10.BS GRADE. 16 USE - CRIB/RETAIN'G WALLS RECOMMND
Cribwall (retaining) walls shall be designed by a qualified
professional who shall provide the following information
for review and approval - this shall be in addition to

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10. GENERAL CONDITIONS

10.BS GRADE. 16 USE - CRIB/RETAIN'G WALLS (cont.) RECOMMND

standard retaining wall data normally required. The plans shall clearly show: soil preparation and compaction requirements to be accomplished prior to footing-first course installation, method/requirement of footing-first course installation, properties of materials to be used (i.e. Fc=2500 p.s.i.). Additionally special inspection by the manufacturer/dealer and a registered special inspector will be required.

10.BS GRADE. 17 USE - MANUFACTURED SLOPES RECOMMND

Plant and irrigate all manufactured slopes equal to or greater than 3 feet in vertical height with drought tolerant grass or ground cover; slopes 15 feet or greater in vertical height shall also be planted with drought tolerant shrubs or trees in accordance with the requirements of Ordinance 457.

10.BS GRADE. 18 USE-G4.3PAVING INSPECTIONS RECOMMND

The developer/applicant shall be responsible for obtaining the paving inspections required by Ordinance 457.

10.BS GRADE. 19 USE - LOT TO LOT DRN ESMT RECOMMND

A recorded easement is required for lot to lot drainage.

10.BS GRADE. 20 USE - NPDES INSPECTIONS RECOMMND

Construction activities including clearing, stockpiling, grading or excavation of land which disturbs less than 1 acre and requires a grading permit or construction permit shall provide for effective control of erosion, sediment and all other pollutants year-round. The permittee shall be responsible for the installation and monitoring of effective erosion and sediment controls. Such controls may be evaluated by the Department of Building and Safety periodically to verify compliance with industry recognized erosion control measures.

Construction activities including but not limited to clearing, stockpiling, grading or excavation of land, which disturbs 1 acre or more or on-sites which are part of a larger common plan of development which disturbs 5 acres or more are required to keep a current copy of the storm water pollution prevention plan (SWPPP) on the construction site

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10. GENERAL CONDITIONS

10.BS GRADE. 20 USE - NPDES INSPECTIONS (cont.)

RECOMMND

and shall be made available to the Department of Building and Safety upon request.

Year-round, Best Management Practices (BMP's) shall be maintained and be in place for all areas that have been graded or disturbed and for all material, equipment and/or operations that need protection. Removal BMP's (those BMP's which must be temporarily removed during construction activities) shall be in place at the end of each working day when there is a forecast of rain within the next five days, by the National Weather Service or whenever rain is imminent.

Monitoring for erosion and sediment control is required and shall be performed by the person responsible for the SWPPP. The Department of Building and Safety will conduct periodic NPDES inspections of the site throughout the recognized storm season to verify compliance with the site Storm Water Pollution Prevention Plan (SWPPP).

FIRE DEPARTMENT

10.FIRE. 1 USE-#01A - SHELL/FPE/COMM.

RECOMMND

THESE CONDITIONS ARE FOR A SHELL BUILDING ONLY. Shell building will receive a shell final only. No Certificate of Occupancy (human occupant and/or materials) will be issued until the building occupant has been identified with their occupancy classification and have been conditioned by Riverside County Fire Department. Occupant or tenant identification is imperative for orderly and prompt processing. Upon identification of the occupant or tenant a Fire Protection Analysis report maybe required prior to establishing the requirements for the occupancy permit. Failure to provide a comprehensive data analysis and/or technical information acceptable to the fire department may result in project delays.

10.FIRE. 2 USE-#04-HIGH PILE/RACK STORAGE

RECOMMND

A separate permit may be required for high-pile storage and/or racks. Sprinkler plans and/or sprinkler review must be submitted by a licensed sprinkler contractor with storage and/or rack plans to Riverside County Fire Department for review and approval of the 2007 CFC compliance. All commodities stored, rack dimensions,

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10. GENERAL CONDITIONS

10.FIRE. 2 USE-#04-HIGH PILE/RACK STORAGE (cont.) RECOMMND

placement in building, sprinkler densities, etc. must be provided with suppression system for racks and/or high-pile storage review. A complete listing of commodities, classified using CFC , 2007 Edition and NFPA 13, 2002 Edition guidelines by a licensed Fire Protection Engineer (or other consultant approved by this jurisdiction).

10.FIRE. 3 USE-#50-BLUE DOT REFLECTOR RECOMMND

Blue retroreflective pavement markers shall be mounted on private street, public streets and driveways to indicate location of fire hydrants. Prior to installation, placement of markers must be approved by the Riverside County Fire Department.

10.FIRE. 4 USE-#23-MIN REQ FIRE FLOW RECOMMND

Minimum required fire flow shall be 1500 GPM for a 2 hour duration at 20 PSI residual operating pressure, which must be available before any combustible material is placed on the job site. Fire flow is based on type VB construction per the 2007 CBC and Building(s) having a fire sprinkler system.

10.FIRE. 5 USE-#31-ON/OFF NOT LOOPED HYD RECOMMND

A combination of on-site and off-site super fire hydrant(s) (6"x4"x 2-2-1/2"), will be located not less than 25 feet or more than 165 feet from any portion of the building as measured along approved vehicular travel ways. The required fire flow shall be available from any adjacent hydrants(s) in the system.

10.FIRE. 6 USE-#84-TANK PERMITS RECOMMND

Applicant or Developer shall be responsible for obtaining under/aboveground fuel, chemical and mixed liquid storage tank permits, from the Riverside County Fire Department and Environmental Health Departments. Plans must be submitted for approval prior to installation. Aboveground fuel/mixed liquid tanks(s) shall meet the following standard: Tank must be tested and labeled to UL2085 Protected Tank Standard or SwRI 93-01. The test must include the Projectile Penetration Test and the Heavy Vehicle Impact Test. A sample copy of the tank's label from an independent

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10. GENERAL CONDITIONS

10.FIRE. 6 USE-#84-TANK PERMITS (cont.) RECOMMND

test laboratory must be included with your plans.

10.FIRE. 7 USE-#89-RAPID HAZMAT BOX RECOMMND

Rapid entry Hazardous Material data and key storage cabinet shall be installed on the outside of the building. Plans shall be submitted to the Riverside County Fire Department for approval prior to installation.

10.FIRE. 8 USE-#25-GATE ENTRANCES RECOMMND

ny gate providing access from a road to a driveway shall be located at least 35 feet from the roadway and shall open to allow a vehicle to stop without obstructing traffic on the road. Where a one-way road with a single traffic lane provides access to a gate entrance, a 38 foot turning radius shall be used.

10.FIRE. 9 USE-#88A-AUTO/MAN GATES RECOMMND

Gate(s) shall be automatic operated, minimum 20 feet in width, with a setback of 35 feet from face of curb/flow line. Gate access shall be equipped with a rapid entry system. Plans shall be submitted to the Fire Department for approval prior to installation. Automatic/manual gate pins shall be rated with shear pin force, not to exceed 30 foot pounds. Automatic gates shall be equipped with emergency backup power. Gates activated by the rapid entry system shall remain open until closed by the rapid entry system.

FLOOD RI DEPARTMENT

10.FLOOD RI. 1 USE FLOOD HAZARD REPORT RECOMMND

PP 22636 is a proposal for an Industrial Park on a 6.5 acre in the Rubidoux area. The property is located east of Rubidoux Blvd and south of 26th St.

Except for nuisance nature local runoff that may traverse portions of the property, the project is considered free from ordinary storm flood hazard. However, a storm of unusual magnitude could cause some damage. New construction should comply with all applicable ordinances.

The site naturally drains northeast to 26TH Street and then to the catch basin at the intersection of 26th Street and

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10. GENERAL CONDITIONS

10.FLOOD RI. 1

USE FLOOD HAZARD REPORT (cont.)

RECOMMND

Hall Avenue.

The District will not require this project to mitigate for increased runoff as flows leaving the site will be discharged to an existing catch basin at the intersection off Hall Avenue and 26th Street which is considered an adequate outlet but mitigation for the water quality will be required. Since the catch basin is further down the road the District understands that the developer shall improve the 26th Street with curb and gutter on the south side to get credit for an adequate outlet.

The revised Water Quality Plan dated May 2008 was received and reviewed by the District.

The project proposes to mitigate the impacts to water quality with grassy swales along the eastern, western and northern boundary of the site. Onsite runoff is directed to these grassy swale which outlets to 26th Street.

This concept is acceptable to the District; however the grassy swales design and calculations may require modifications during final engineering. It should be noted that to determine the length of grassy swale the District recommends using the worksheet from the water quality manual.

10.FLOOD RI. 5

USE PERP DRAINAGE PATTERNS

RECOMMND

The property's grading shall be designed in a manner that perpetuates the existing natural drainage patterns with respect to tributary drainage area, outlet points and outlet conditions; otherwise, a drainage easement shall be obtained from the affected property owners for the release of concentrated or diverted storm flows. A copy of the recorded drainage easement shall be submitted to the District for review.

10.FLOOD RI. 13

USE WQMP ESTABL MAINT ENTITY

RECOMMND

This project proposes BMP facilities that will require maintenance by public agency or commercial property owner association. To ensure that the public is not unduly burdened with future costs, prior to final approval or recordation of this case, the District will require an acceptable financial mechanism be implemented to provide for maintenance of treatment control BMPs in perpetuity. This may consist of a mechanism to assess individual benefiting property owners, or other means approved by the District. The site's treatment control BMPs must be shown

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10. GENERAL CONDITIONS

10.FLOOD RI. 13 USE WQMP ESTABL MAINT ENTITY (cont.) RECOMMND

on the project's improvement plans - either the street plans, grading plans, or landscaping plans. The type of improvement plans that will show the BMPs will depend on the selected maintenance entity.

10.FLOOD RI. 14 USE SUBMIT FINAL WQMP>PRELIM RECOMMND

In compliance with Santa Ana Region and San Diego Region Regional Water Quality Control Board Orders, and Beginning January 1, 2005, projects submitted within the western region of the unincorporated area of Riverside County for discretionary approval will be required to comply with the Water Quality Management Plan for Urban Runoff (WQMP). The WQMP addresses post-development water quality impacts from new development and redevelopment projects. The WQMP requirements will vary depending on the project's geographic location (Santa Ana, Santa Margarita or Whitewater River watersheds). The WQMP provides detailed guidelines and templates to assist the developer in completing the necessary studies. These documents are available on-line at:
www.floodcontrol.co.riverside.ca.us under Programs and Services, Stormwater Quality.

To comply with the WQMP a developer must submit a "Project Specific" WQMP. This report is intended to a) identify potential post-project pollutants and hydrologic impacts associated with the development; b) identify proposed mitigation measures (BMPs) for identified impacts including site design, source control and treatment control post-development BMPs; and c) identify sustainable funding and maintenance mechanisms for the aforementioned BMPs. A template for this report is indicated as 'exhibit A' on the website above. A final Project Specific WQMP must be approved by the District prior to issuance of building or grading permits.

Projects that require a Project Specific WQMPs were required to submit a PRELIMINARY Project Specific WQMP along with the land-use application package in the tentative phase of development in order to obtain recommended conditions of approval. The developer has submitted a report that minimally meets the criteria for a preliminary project specific WQMP of addressing points a, b, and c above. It shall be noted that while the preliminary project specific WQMP was adequate at that

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10. GENERAL CONDITIONS

10.FLOOD RI. 14 USE SUBMIT FINAL WQMP>PRELIM (cont.) RECOMMND

stage, the preliminary WQMP report will need significant revisions at the improvement plan check phase of the development in order to meet the requirements of a final project specific WQMP - including detailed drawings for the BMPs along with all supporting calculations. It should also be noted that if 401 certification is necessary for the project, the Water Quality Control Board may require additional water quality measures.

10.FLOOD RI. 16 USE BMP MAINTENANCE & INSPECT RECOMMND

The BMP maintenance plan shall contain provisions for all treatment controlled BMPs to be inspected, and if required, cleaned no later than October 15 each year. Required documentation shall identify the entity that will inspect and maintain all structural BMPs within the project boundaries. A copy of all necessary documentation shall be submitted to the District for review and approval prior to the issuance of occupancy permits.

PLANNING DEPARTMENT

10.PLANNING. 1 USE - IF HUMAN REMAINS FOUND RECOMMND

If human remains are encountered, State Health and Safety Code Section 7050.5 states that no further disturbance shall occur until the Riverside County Coroner has made the necessary findings as to origin. Further, pursuant to Public Resource Code Section 5097.98(b) remains shall be left in place and free from disturbance until a final decision as to the treatment and disposition has been made. If the Riverside County Coroner determines the remains to be Native American, the Native American Heritage Commission shall be contacted within a reasonable timeframe. Subsequently, the Native American Heritage Commission shall identify the "most likely descendant." The most likely descendant shall then make recommendations and engage in consultation concerning the treatment of the remains as provided in Public Resources Code Section 5097.98.

10.PLANNING. 2 USE - INADVERTENT ARCHAEO FIND RECOMMND

If during ground disturbance activities, unique cultural resources are discovered that were not assessed by the archaeological report(s) and/or environmental assessment

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10.PLANNING. 2 USE - INADVERTENT ARCHAEO FIND (cont.) RECOMMND

conducted prior to project approval, the following procedures shall be followed. Unique cultural resources are defined, for this condition, as being multiple artifacts in close association with each other, but may include fewer artifacts if the area of the find is determined to be of significance due to its sacred or cultural importance.

1. All ground disturbance activities within 100 feet of the discovered cultural resources shall be halted until a meeting is convened between the developer, the archaeologist, the Native American tribal representative and the Planning Director to discuss the significance of the find.

2. At the meeting, the significance of the discoveries shall be discussed and after consultation with the Native American tribal representative and the archaeologist, a decision shall be made, with the concurrence of the Planning Director, as to the appropriate mitigation (documentation, recovery, avoidance, etc.) for the cultural resources.

3. Grading of further ground disturbance shall not resume within the area of the discovery until an agreement has been reached by all parties as to the appropriate mitigation.

10.PLANNING. 3 USE - GEO 1862 RECOMMND

County Geologic Report (GEO) No. 1862, submitted for this project (PP22636 & PM35267), was prepared by NorCal Engineering and is entitled: "Geotechnical Engineering Investigation, Proposed Industrial Development - Located at the Southwest Corner of Rubidoux Boulevard and 26th Street, Belltown, in the County of Riverside, California", dated July 25, 2006. Additionally, NorCal Engineering and their consultant prepared the following responses:

1."Response to County Geologic Report Review Sheet - Proposed Industrial Development - Located at Southwest Corner of Rubidoux Boulevard and 26th Street, Belltown, in the County of Riverside, California" dated August 30, 2007.

2."Response to County Geotechnical Report Review Sheet - Proposed Industrial Development - Located at Southwest Corner of Rubidoux Boulevard and 26th Street, Belltown, in

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10. GENERAL CONDITIONS

10.PLANNING. 3

USE - GEO 1862 (cont.)

RECOMMND

the County of Riverside, California" dated August 30, 2007.

3."Geotechnical Evaluation of Potential Faulting, Proposed Industrial Development, Southwest Corner of Rubidoux Boulevard and 26th Street, Belltown, County of Riverside, California" prepared by Andrew Stone, Engineering Geology and dated August 31, 2007.

4."Second Response to County Geologic Report Review Sheet - Proposed Industrial Development - Located at Southwest Corner of Rubidoux Boulevard and 26th Street, Belltown, in the County of Riverside, California" dated September 14, 2007.

These reports are now included as part of GEO No. 1862.

GEO No 1862 concluded:

1.Based on literature research, aerial photo interpretation and site work performed, the consultant determined that no known active faults trend toward or across this site and therefore the potential for this site to be affected by surface fault rupture is considered low.

2.Based on the lack of groundwater in the borings advanced for this project and groundwater data collected from nearby water wells it was determined that the current and historic high groundwater levels in this area exceed 50 feet. Based on the depth to groundwater and the data indicating that the deeper site soils are relatively dense, it was concluded that the potential for this site to be affected by seismically induced liquefaction is low.

3.With the exception of groundshaking, the potential for this site to be affected by other secondary seismic hazards such as dynamic settlement, seismically induced landsliding or flooding and/or seiche/tsunami is considered low. The site should be expected to experience peak horizontal ground accelerations of about 0.42 g from a magnitude 6.6 earthquake along the San Jacinto (San Bernardino segment) fault which is about 6 miles away. This earthquake has a 10% probability of exceedence in 50 years.

GEO No 1862 recommended:

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10. GENERAL CONDITIONS

10.PLANNING. 3

USE - GEO 1862 (cont.) (cont.)

RECOMMND

1.All vegetation, organics and other deleterious materials should be removed from the site prior to grading and properly disposed of offsite. All upper fill/disturbed soils, estimated at about 1 to 1 1/2 feet thick, shall be removed to expose native soils exhibiting an in-place relative compaction of at least 85% of the maximum dry density as determined by ASTM D-1557. The exposed approved surface should be scarified to a depth of 12 inches, brought to within 2% of optimum moisture content and compacted to a minimum of 90% of the maximum dry density as determined by ASTM Test Method D-1557 and verified by field density testing.

2.The loose near surface soils should be removed to such a depth as to provide a minimum of two feet of compacted fill beneath all footings and slabs. All fill soils should be cleaned of organics or any other deleterious materials, be placed in layers not exceeding six inches in thickness, moisture conditioned to within 2% of the optimum moisture content and compacted to a minimum of 90% of the maximum dry density as determined by ASTM Test Method D-1557 and verified by field density testing.

3.All structures should be designed in accordance with the latest provisions of the most recent edition of the Uniform Building Code for a site located in UBC Seismic Zone 4, located 10 km from a UBC Type B seismic source and overlying a UBC Type Sd soil.

GEO No. 1862 satisfies the requirement for a Geologic/Seismic Study for Planning /CEQA purposes. GEO No. 1862 is hereby accepted for Planning purposes. This approval is not intended, and should not be misconstrued as approval for grading permit. Engineering and other building code parameters will be reviewed and additional comments and/or conditions may be imposed by the Building and Safety Department upon application for grading and/or building permits.

10.PLANNING. 4

USE - COMPLY WITH ORD./CODES

RECOMMND

The development of these premises shall comply with the standards of Ordinance No. 348 and all other applicable Riverside County ordinances and State and Federal codes.

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10. GENERAL CONDITIONS

10.PLANNING. 4 USE - COMPLY WITH ORD./CODES (cont.) RECOMMND

The development of the premises shall conform substantially with that as shown on APPROVED EXHIBIT A, unless otherwise amended by these conditions of approval.

10.PLANNING. 5 USE - FEES FOR REVIEW RECOMMND

Any subsequent submittals required by these conditions of approval, including but not limited to grading plan, building plan or mitigation monitoring review, shall be reviewed on an hourly basis (research fee), or other such review fee as may be in effect at the time of submittal, as required by Ordinance No. 671. Each submittal shall be accompanied with a letter clearly indicating which condition or conditions the submittal is intended to comply with.

10.PLANNING. 6 USE - LIGHTING HOODED/DIRECTED RECOMMND

Any outside lighting shall be hooded and directed so as not to shine directly upon adjoining property or public rights-of-way.

10.PLANNING. 7 USE - COLORS & MATERIALS RECOMMND

Building colors and materials shall be in substantial conformance with those shown on APPROVED EXHIBIT M.

10.PLANNING. 8 USE - LAND DIVISION REQUIRED RECOMMND

Prior to the sale of any individual structure as shown on APPROVED EXHIBIT A, Tentative Parcel Map No. 35267 shall be recorded in accordance with Riverside County Ordinance No. 460, and any other pertinent ordinance.

10.PLANNING. 9 USE - HOURS OF OPERATION RECOMMND

Use of the facilities approved under this plot plan shall be limited to the hours of 7 a.m. to 6 p.m., Monday through Sunday in order to reduce conflict with adjacent zones and/or land uses.

10.PLANNING. 10 USE - BASIS FOR PARKING RECOMMND

Parking for this project was determined primarily on the basis of County Ordinance No. 348, Section 18.12. a.(2).b), Industrial uses: If number of workers cannot be determined:

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10. GENERAL CONDITIONS

10.PLANNING. 10 USE - BASIS FOR PARKING (cont.) RECOMMND

1 space per 250 square feet of office area, PLUS 1 space per 500 square feet of fabrication area, and PLUS 1 space per 1,000 square feet of storage area.

The project is proposing 12,000 square feet of office area, 24,000 square feet of fabrication area and 72,000 square feet of storage area with a total building area of 108,000 square feet that requires 168 parking spaces. The project is providing a total of 168 parking spaces.

10.PLANNING. 11 USE - LIMIT ON SIGNAGE RECOMMND

No signs are approved pursuant to this project approval. Prior to the installation of any on-site advertising or directional signs, a signing plan shall be submitted to and approved by the Planning Department pursuant to the requirements of Section 18.30 (Planning Department review only) of Ordinance No. 348.

10.PLANNING. 12 USE - NO OUTDOOR ADVERTISING RECOMMND

No outdoor advertising display, sign or billboard (not including on-site advertising or directional signs) shall be constructed or maintained within the property subject to this approval.

10.PLANNING. 13 USE - PHASE BY NEW PERMIT RECOMMND

Construction of this project may be done progressively in phases provided a plan is submitted with appropriate fees to the Planning Department and approved prior to issuance of any building permits. Phasing approval shall not apply to the requirements of any agency other than the Planning Department unless so indicated by the affected agency.

10.PLANNING. 20 USE - RECLAIMED WATER RECOMMND

The permit holder shall connect to a reclaimed water supply for landscape watering purposes when secondary or reclaimed water is made available to the site.

10.PLANNING. 22 USE - NO RESIDENT OCCUPANCY RECOMMND

No permanent occupancy shall be permitted within the property approved under this plot plan as a principal place of residence. No person shall use the premises as a

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10. GENERAL CONDITIONS

10.PLANNING. 22 USE - NO RESIDENT OCCUPANCY (cont.) RECOMMND

permanent mailing address nor be entitled to vote using an address within the premises as a place of residence.

10.PLANNING. 23 USE - MAINTAIN LICENSING RECOMMND

At all times during the conduct of the permitted use the permittee shall maintain and keep in effect valid licensing approval from the South Coast Air Quality Management District (SCAQMD), or equivalent agency as provided by law. Should such licensing be denied, expire or lapse at any time in the future, this permit shall become null and void.

10.PLANNING. 24 USE - EXTERIOR NOISE LEVELS RECOMMND

The following conditions shall be applied to the project based on the information provided by the acoustical consultant:

1. Facility-related noise, as projected to any portion of any surrounding property containing a "habitable dwelling, hospital, school, library or nursing home", must not exceed the following worst-case noise levels.

A) 45 dB(A) - 10 minute noise equivalent level ("leq"), between the hours of 10:00 p.m. to 7:00 a.m. (nighttime standard).

B) 65 dB (A) - 10 minute leq, between 7:00 a.m. and 10:00 p.m. (daytime standard)

2. Our Department (Office of Industrial Hygiene) must receive, review and approve an acoustical report (as listed above). Building design must be shown to reduce interior noise to at or below 45 Ldn for the office buildings along Rubidoux Blvd.

3. The applicant shall first pay review fees to the Department of Public Health for all time spent in review of this project. Fees will be assessed at the Department's hourly rate for Industrial Hygienists. Fill out the Industrial Hygiene's Acoustical Review Application Form.

10.PLANNING. 25 USE - NOISE MONITORING REPORTS RECOMMND

The permit holder may be required to submit periodic noise monitoring reports as determined by the Department of

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10.PLANNING. 25 USE - NOISE MONITORING REPORTS (cont.) RECOMMND

Building and Safety as part of a code enforcement action. Upon written notice from the Department of Building and Safety requiring such a report, the permittee or the permittee's successor-in-interest shall prepare and submit an approved report within thirty (30) calendar days to the Department of Building and Safety, unless more time is allowed through written agreement by the Department of Building and Safety. The noise monitoring report shall be approved by the Office of Industrial Hygiene of the Health Service Agency (the permittee or the permittee's successor-in-interest shall be required to place on deposit sufficient funds to cover the costs of this approval prior to commencing the required report).

10.PLANNING. 27 USE - CAUSES FOR REVOCATION RECOMMND

In the event the use hereby permitted under this permit,
a) is found to be in violation of the terms and conditions of this permit,
b) is found to have been obtained by fraud or perjured testimony, or
c) is found to be detrimental to the public health, safety or general welfare, or is a public nuisance, this permit shall be subject to the revocation procedures.

10.PLANNING. 28 USE - CEASED OPERATIONS RECOMMND

In the event the use hereby permitted ceases operation for a period of one (1) year or more, this approval shall become null and void.

10.PLANNING. 29 USE - IND OCCUPANT CHANGE RECOMMND

Prior to initial occupancy, upon tenant/occupant change, or upon change in industrial use, the permit holder shall provide a letter from the Planning Department to Building & Safety verifying no need for further environmental, hazardous materials or air quality review as a result of the change.

10.PLANNING. 35 USE - ORD 810 O S FEE (1) RECOMMND

In accordance with Riverside County Ordinance No. 810, to assist in providing revenue to acquire and preserve open space and habitat, an Interim Open Space Mitigation Fee shall be paid for each development project or portion of an

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10.PLANNING. 35 USE - ORD 810 O S FEE (1) (cont.) RECOMMND

expanded development project to be constructed in Western Riverside County. The amount of the fee for commercial or industrial development shall be calculated on the basis of "Project Area," which shall mean the net area, measured in acres, from the adjacent road right-of-way to the limits of the project development.

Any area identified as "NO USE PROPOSED" on the APPROVED EXHIBIT shall not be included in the Project Area.

10.PLANNING. 37 USE - 2ND DIST LS GUIDELINES RECOMMND

The permit holder shall comply with the intent of the "DESIGN AND LANDSCAPE GUIDELINES FOR DEVELOPMENT IN THE SECOND SUPERVISORIAL DISTRICT (Revised)", approved by the Board of Supervisors, September 15, 1998, and revised October 23, 1998 to APPROVED EXHIBITS B, L and M.

Note: In the event of a conflict between the Design Guidelines and Approved Landscape Plans, the Approved Plans shall take precedence.

10.PLANNING. 40 USE - BUSINESS LICENSING RECOMMND

Every person conducting a business within the unincorporated area of Riverside County, as defined in Riverside County Ordinance No. 857, shall obtain a business license. For more information regarding business registration, contact the Business Registration and License Program Office of the Building and Safety Department at www.rctlma.org.buslic.

10.PLANNING. 41 USE - LC LANDSCAPE REQUIREMENT RECOMMND

The developer/ permit holder shall:

1)Ensure all landscape and irrigation plans are in conformance with the APPROVED EXHIBITS;

2)Ensure all landscaping is provided with California Friendly landscaping and a weather based irrigation controller(s) as defined by County Ordinance No. 859;

3)Ensure that irrigation plans which may use reclaimed water conform with the requirements of the local water purveyor; and,

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10.PLANNING. 41 USE - LC LANDSCAPE REQUIREMENT (cont.) RECOMMND

4)Be responsible for maintenance, viability and upkeep of all slopes, landscaped areas, and irrigation systems until the successful completion of the twelve (12) month inspection or those operations become the responsibility of the individual property owner(s), a property owner's association, or any other successor-in-interest, whichever occurs later.

To ensure ongoing maintenance, the developer/ permit holder or any successor in interest shall:

1)Connect to a reclaimed water supply for landscape irrigation purposes when reclaimed water is made available.

2)Ensure that landscaping, irrigation and maintenance systems comply with the Riverside County Guide to California Friendly Landscaping, and Ordinance No. 859.

3)Ensure that all landscaping is healthy, free of weeds, disease and pests.

10.PLANNING. 42 USE - ELECTRICAL HOOK-UPS RECOMMND

Tenant(s) receiving shipping container refrigerated units shall provide electrical hook-ups at all dock door positions as a part of the tenant improvement project for the building. The use of truck engines or auxiliary generators to power refrigerated shipping container units for more than 5 minutes is not allowed.

10.PLANNING. 43 USE - ARB SIGN FOR IDLING RECOMMND

Signs stating that "The driver of a diesel-fueled motor vehicle with a gross vehicle weight rating (GVWR) greater than 10,000 pounds is prohibited from idling the vehicle's primary engine for more than five (5) minutes at any location and may not operate a diesel fueled auxiliary power system (APS) for more than 5 minutes at any location within 100 feet of a restricted area (residences). The minimum penalty for an idling violation is \$300.00. To report a violation please contact 1800-END-SMOG" Signs shall be placed at every other loading dock and not be less than twenty four inches square.

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10.PLANNING. 45

USE - WASTE MGMT CLEARANCE

RECOMMND

A clearance letter from Riverside County Waste Management District shall be provided to the Riverside County Planning Department verifying compliance with the conditions contained in their letter dated April 17, 2007, summarized as follows:

The Riverside County Waste Management Department (Department) has reviewed the proposed project located east of Rubidoux Boulevard and south of 26th Street, in the Jurupa Area Plan. It should be noted that the project is located approximately 300 feet easterly of the closed Belltown Landfill, a 15-acre facility which operated from 1956 to 1964 as a burn site for waste. The proposed project is also approximately 850 feet southeast of the closed West Riverside Landfill, a 72-acre facility which operated from 1965 to 1993. Groundwater and gas monitoring at the sites indicate that there are no groundwater or air quality issues stemming from the closed facilities.

In order to mitigate the project's potential solid waste impacts and to help the County's efforts to comply with State law in diverting solid waste from landfill disposal, the Department is recommending that the following conditions be made a part of any Conditions of Approval for the project:

1. Prior to issuance of a building permit for EACH building, the applicant shall submit three (3) copies of a Recyclables Collection and Loading Area plot plan to the Riverside County Waste Management Department for review and approval. The plot plan shall conform to Design Guidelines for Recyclables Collection and Loading Areas, provided by the Waste Management Department, and shall show the location of and access to the collection area for recyclable materials, along with its dimensions and construction detail, including elevation/facade, construction materials and signage. The plot plan shall clearly indicate how the trash and recycling enclosures shall be accessed by the hauler.

2. Prior to final building inspection for EACH building, the applicant shall construct the recyclables collection and loading area in compliance with the Recyclables Collection and Loading Area plot plan, as approved and stamped by the Riverside County Waste Management Department and as verified by the Riverside County Building and Safety

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10.PLANNING. 45 USE - WASTE MGMT CLEARANCE (cont.)

RECOMMND

Department through site inspection.

3. Prior to issuance of a building permit, a Waste Recycling Plan (WRP) shall be submitted to the Waste Management Department for approval. At a minimum, the WRP must identify the materials (i.e., concrete, asphalt, wood, etc.) that will be generated by construction and development, the projected amounts, the measures/methods that will be taken to recycle, reuse, and/or reduce the amount of materials, the facilities and/or haulers that will be utilized, and the targeted recycling or reduction rate. Materials can be taken directly to recycling facilities (Riverside County Waste Management Department, Recycling Section, can be contacted directly at 951.486.3200 for a list of facilities), or arrangements can be made through the franchise hauler and/or a construction clean-up business.

4. Prior to issuance of an occupancy permit, evidence (i.e., receipts or other type verification) to demonstrate project compliance with the approved WRP shall be presented by the project proponent to the Planning/Recycling Division of the Riverside County Waste Management Department in order to clear the project for occupancy permits.

5. Since hazardous materials are not accepted at Riverside County landfills, the project proponent shall take any hazardous wastes, including paint used during construction, to facilities that are permitted to receive them, in accordance with local, state, and federal regulations. For further information, please contact the Household Hazardous Waste Collection Program at 1-800-304-2226.

6. Use mulch and/or compost in the development and maintenance of landscaped areas within the project boundaries. Recycle green waste through either onsite composting of grass, i.e., leaving the grass clippings on the lawn, or sending separated green waste to a composting facility.

7. Consider xeriscaping and using drought tolerant/low maintenance vegetation in all landscaped areas of the project.

Any questions, please contact Ryan Ross, Planner from the Riverside County Waste Management Department Phone (951)

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10.PLANNING. 45 USE - WASTE MGMT CLEARANCE (cont.) (cont.) RECOMMND
486-3351.

TRANS DEPARTMENT

10.TRANS. 5 USE - STD INTRO 3(ORD 460/461) RECOMMND

With respect to the conditions of approval for the referenced tentative exhibit, the landowner shall provide all street improvements, street improvement plans and/or road dedications set forth herein in accordance with Ordinance 460 and Riverside County Road Improvement tandards (Ordinance 461). It is understood that the exhibit correctly shows acceptable centerline elevations, all existing easements, traveled ways, and drainage courses with appropriate Q's, and that their omission or unacceptability may require the exhibit to be resubmitted for further consideration. These Ordinances and all conditions of approval are essential parts and a requirement occurring in ONE is as binding as though occurring in all. All questions regarding the true meaning of the conditions shall be referred to the Transportation Department.

10.TRANS. 6 USE - COUNTY WEB SITE RECOMMND

Additional information, standards, ordinances, policies, and design guidelines can be obtained from the Transportation Department Web site:
<http://rctlma.org/trans/>. If you have questions, please call the Plan Check Section at (951) 955-6527.

20. PRIOR TO A CERTAIN DATE

PLANNING DEPARTMENT

20.PLANNING. 1 USE - EXPIRATION DATE-PP RECOMMND

This approval shall be used within two (2) years of approval date; otherwise, it shall become null and void and of no effect whatsoever. By use is meant the beginning of substantial construction contemplated by this approval within a two (2) year period which is thereafter diligently pursued to completion or of the actual occupancy of existing buildings or land under the terms of the authorized use.

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20. PRIOR TO A CERTAIN DATE

20.PLANNING. 1 USE - EXPIRATION DATE-PP (cont.)

RECOMMND

Prior to the expiration of the two year period, the permittee may request a one (1) year extension of time request in which to use this plot plan. A maximum of three one-year extension of time requests shall be permitted. Should the time period established by any of the extension of time requests lapse, or should all three one-year extensions be obtained and no substantial construction or use of this plot plan be initiated within five (5) years of the effective date of the issuance of this plot plan, this plot plan shall become null and void.

60. PRIOR TO GRADING PRMT ISSUANCE

BS GRADE DEPARTMENT

60.BS GRADE. 1 USE-G2.1 GRADING BONDS

RECOMMND

Grading in excess of 199 cubic yards will require performance security to be posted with the Building and Safety Department. Single Family Dwelling units graded one lot per permit and proposing to grade less than 5,000 cubic yards are exempt.

60.BS GRADE. 2 USE-G2.3SLOPE EROS CL PLAN

RECOMMND

Erosion control - landscape plans, required for manufactured slopes greater than 3 feet in vertical height, are to be signed by a registered landscape architect and bonded per the requirements of Ordinance 457, see form 284-47.

60.BS GRADE. 3 USE-G2.4GEOTECH/SOILS RPTS

RECOMMND

Geotechnical soils reports, required in order to obtain a grading permit, shall be submitted to the Building and Safety Department's Grading Division for review and approval prior to issuance of a grading permit.

All grading shall be in conformance with the recommendations of the geotechnical/soils reports as approved by Riverside County.*

*The geotechnical/soils, compaction and inspection reports will be reviewed in accordance with the RIVERSIDE COUNTY GEOTECHNICAL GUIDELINES FOR REVIEW OF GEOTECHNICAL AND GEOLOGIC REPORTS.

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60. PRIOR TO GRADING PRMT ISSUANCE

60.BS GRADE. 4 USE-G2.7DRNAGE DESIGN Q100 RECOMMND

All grading and drainage shall be designed in accordance with Riverside County Flood Control & Water Conservation District's conditions of approval regarding this application. If not specifically addressed in their conditions, drainage shall be designed to accommodate 100 year storm flows.

Additionally, the Building and Safety Department's conditional approval of this application includes an expectation that the conceptual grading plan reviewed and approved for it complies or can comply with any WQMP (water Quality Management Plan) required by Riverside County Flood Control & Water Conservation District.

60.BS GRADE. 5 USE-G2.13FIRE D'S OK ON DR. RECOMMND

Driveways shall be designed in accordance with Riverside County Fire Department standards - or the governing Fire Department if not the County - and shall require their approval prior to issuance of the grading permit. Approval shall be in the form of a conditional approval letter addressed to the related case file or by written approval from the Fire Department.

60.BS GRADE. 6 USE-G2.14OFFSITE GDG ONUS RECOMMND

Prior to the issuance of a grading permit, it shall be the sole responsibility of the owner/applicant to obtain any and all proposed or required easements and/or permissions necessary to perform the grading herein proposed.

60.BS GRADE. 7 USE-G2.15NOTRD OFFSITE LTR RECOMMND

A notarized letter of permission, from the affected property owners or easement holders, is required for any proposed off site grading.

60.BS GRADE. 8 USE-G2.16REC'D ESMT REQ'D RECOMMND

A recorded easement is required for off site drainage facilities.

60.BS GRADE. 9 USE-G1.4 NPDES/SWPPP RECOMMND

Prior to issuance of any grading or construction permits - whichever comes first - the applicant shall provide the

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60. PRIOR TO GRADING PRMT ISSUANCE

60.BS GRADE. 9 USE-G1.4 NPDES/SWPPP (cont.)

RECOMMND

Building and Safety Department evidence of compliance with the following: "Effective March 10, 2003 owner operators of grading or construction projects are required to comply with the N.P.D.E.S. (National Pollutant Discharge Elimination System) requirement to obtain a construction permit from the State Water Resource Control Board (SWRCB). The permit requirement applies to grading and construction sites of "ONE" acre or larger. The owner operator can comply by submitting a "Notice of Intent" (NOI), develop and implement a STORM WATER POLLUTION PREVENTION PLAN (SWPPP) and a monitoring program and reporting plan for the construction site. For additional information and to obtain a copy of the NPDES State Construction Permit contact the SWRCB at (916) 657-1146.

Additionally, at the time the county adopts, as part of any ordinance, regulations specific to the N.P.D.E.S., this project (or subdivision) shall comply with them.

60.BS GRADE. 10 USE IMPORT/EXPORT

RECOMMND

In instances where a grading plan involves import or export, prior to obtaining a grading permit, the applicant shall have obtained approval for the import/export location from the Building and Safety department. If an Environmental Assessment, prior to issuing a grading permit, did not previously approve either location, a Grading Environmental Assessment shall be submitted to the Planning Director and the Environmental Programs Director for review and comment and to the Building and Safety Department Director for approval. Additionally, if the movement of import/export occurs using county roads, review and approval of the haul routes by the Transportation Department will be required.

FLOOD RI DEPARTMENT

60.FLOOD RI. 2 USE SUBMIT PLANS

RECOMMND

A copy of the improvement plans, grading plans, BMP improvement plans and any other necessary documentation along with supporting hydrologic and hydraulic calculations shall be submitted to the District for review. The plans must receive District approval prior to the issuance of grading permits. All submittals shall be date stamped by the engineer and include a completed Flood Control Deposit

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60. PRIOR TO GRADING PRMT ISSUANCE

60.FLOOD RI. 2 USE SUBMIT PLANS (cont.) RECOMMND

Based Fee Worksheet and the appropriate plan check fee deposit.

60.FLOOD RI. 3 USE EROS CNTRL AFTER RGH GRAD RECOMMND

Temporary erosion control measures shall be implemented immediately following rough grading to prevent deposition of debris onto downstream properties or drainage facilities. Plans showing these measures shall be submitted to the District for review.

60.FLOOD RI. 9 USE SUBMIT FINAL WQMP RECOMMND

A copy of the project specific WQMP shall be submitted to the District for review and approval.

PLANNING DEPARTMENT

60.PLANNING. 4 USE - PALEONTOLOGIST REQUIRED RECOMMND

The land divider/permit holder shall retain a qualified paleontologist for monitoring services as recommended in the Paleontological Resources Assessment report prepared by Michael Brandman Associates, dated August 10, 2007, for this project. The developer shall submit a copy of a fully executed contract for these services including the name, telephone number and address of the retained, qualified paleontologist to the Planning Department and the Department of Building and Safety. The paleontologist shall submit to the County Archaeologist a report of the results of the monitoring upon conclusion of monitoring activities. A pregrade meeting between the paleontologist and the excavation and grading contractor shall be required prior to commencing work. When necessary, in the professional opinion of the retained paleontologist (and/or as determined by the Planning Director), the paleontologist or representative shall have the authority to monitor actively all project related grading and construction and shall have the authority to temporarily divert, redirect, or halt grading activity to allow recovery of paleontological resources.

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60. PRIOR TO GRADING PRMT ISSUANCE

60.PLANNING. 17 USE - FEE STATUS

RECOMMND

Prior to the issuance of grading permits for Plot Plan No. 22636, the Planning Department shall determine the status of the deposit based fees. If the fees are in a negative status, the permit holder shall pay the outstanding balance.

60.PLANNING. 18 USE - COA MET ONCE

RECOMMND

Prior to issuance of any grading or construction permits - whichever comes first - conditions of approval for Plot Plan No. 22636 shall only be met once and not to be met again with Parcel Map No. 35267 and visa versa, if repeated conditions of approval occur.

60.PLANNING. 19 USE - REQD LAND COMPLIANCE

RECOMMND

No grading permits shall be issued until Certificate of Compliance Nos. 6503 and 6504 have been approved and recorded by the Planning Department, or until Tentative Parcel Map No. 35267 has been surveyed and a FINAL MAP thereof prepared and approved by the County Transportation Department - Survey Division, whichever comes first, and have been made effective.

TRANS DEPARTMENT

60.TRANS. 1 USE-SBMT/APPVD GRADG PLAN/TRAN

RECOMMND

When you submit a grading plan to the Department of Building and Safety, a copy of the grading plan shall be submitted and approved by the Transportation Department prior to a grading permit issuance.

Submit required grading plan to the Transportation Department, Plan Check Section, 8th Floor, 4080 Lemon Street, Riverside, CA.

60.TRANS. 2 USE - OBTAIN L&LMD APPLICATION

RECOMMND

Obtain an application from the Transportation Department, L&LMD Section, 8th Floor, 4080 Lemon Street, Riverside, CA, to submit application for required annexation per condition of approval.

If you have any questions or for the processing fee amount, please call the L&LMD Section at (951) 955-6748.

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80. PRIOR TO BLDG PRMT ISSUANCE

BS GRADE DEPARTMENT

80.BS GRADE. 1 USE* -G3.1NO B/PMT W/O G/PMT

RECOMMND

Prior to issuance of any building permit, the property owner shall obtain a grading permit and/or approval to construct from the Grading Division of the Building and Safety Department.

E HEALTH DEPARTMENT

80.E HEALTH. 2 USE - FOOD PLANS REQD

RECOMMND

A total of 3 complete set of plans for each food establishment are needed including a fixture schedule, a finish schedule, and a plumbing schedule in order to ensure compliance with current State and Local regulations.

80.E HEALTH. 3 USE - WATR/SEWR WILL SERVE

RECOMMND

A "will serve" letter is required from the agency/agencies serving potable water and sanitary sewers.

FIRE DEPARTMENT

80.FIRE. 1 USE-#17A-BLDG PLAN CHECK \$

RECOMMND

Building Plan check deposit base fee of \$1,056.00, shall be paid in a check or money order to the Riverside County Fire Department after plans have been approved by our office.

80.FIRE. 2 USE-#4-WATER PLANS

RECOMMND

The applicant or developer shall separately submit two copies of the water system plans to the Fire Department for review and approval. Calculated velocities shall not exceed 10 feet per second. Plans shall conform to the fire hydrant types, location and spacing, and the system shall meet the fire flow requirements.

Plans shall be signed and approved by a registered civil engineer and the local water company with the following certification: "I certify that the design of the water system is in accordance with the requirements prescribed by the Riverside County Fire Department."

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80. PRIOR TO BLDG PRMT ISSUANCE

FLOOD RI DEPARTMENT

80.FLOOD RI. 2 USE SUBMIT PLANS

RECOMMND

A copy of the improvement plans, grading plans, BMP improvement plans and any other necessary documentation along with supporting hydrologic and hydraulic calculations shall be submitted to the District for review. The plans must receive District approval prior to the issuance of building permits. All submittals shall be date stamped by the engineer and include a completed Flood Control Deposit Based Fee Worksheet and the appropriate plan check fee deposit.

80.FLOOD RI. 5 USE SUBMIT FINAL WQMP

RECOMMND

A copy of the project specific WQMP shall be submitted to the District for review and approval.

80.FLOOD RI. 6 USE CONSTRUCT CURB & GUTTER

RECOMMND

The developer shall improve the 26th Street with curb and gutter on the south side to get credit for an adequate outlet.

PLANNING DEPARTMENT

80.PLANNING. 2 USE - COMPLY W/ ACOUSTIC STUDY

RECOMMND

The permit holder shall construct and design the project in compliance with the recommendations of an approved acoustical study, as reviewed and, as the case may be, modified by the Department of Public Health, Office of Industrial Hygiene and approved by the Planning Department. The permit holder may be required to submit to the Planning Department a written certification from a state licensed professional that the project was constructed in compliance with the recommendations of the approved acoustical study. The Planning Department may require further inspection by county staff to assure project compliance with this condition of approval.

80.PLANNING. 3 USE - CONFORM TO ELEVATIONS

RECOMMND

Elevations of all buildings and structures submitted for building plan check approval shall be in substantial conformance with the elevations shown on APPROVED EXHIBITS B and M.

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80. PRIOR TO BLDG PRMT ISSUANCE

80.PLANNING. 4 USE - CONFORM TO FLOOR PLANS RECOMMND

Floor plans shall be in substantial conformance with that shown on APPROVED EXHIBIT C.

80.PLANNING. 5 USE - ROOF EQUIPMENT SHIELDING RECOMMND

Roof mounted equipment shall be shielded from ground view. Screening material shall be subject to Planning Department approval.

80.PLANNING. 9 USE - FENCING PLAN REQUIRED RECOMMND

A fencing plan shall be submitted showing all wall and fence locations and typical views of all types of fences or walls proposed. This plan shall require anti-graffiti coatings on fences and walls, where applicable.

80.PLANNING. 11 USE - PLANS SHOWING BIKE RACKS RECOMMND

Bike rack spaces or bike lockers shall be shown on the project's parking and landscaping plan submitted to the Planning Department for approval.

80.PLANNING. 16 USE - WASTE MGMT CLEARANCE RECOMMND

A clearance letter from Riverside County Waste Management District shall be provided to the Riverside County Planning Department verifying compliance with the conditions contained in their letter dated April 17, 2007, summarized as follows:

1. Prior to issuance of a building permit for EACH building, the applicant shall submit three (3) copies of a Recyclables Collection and Loading Area plot plan to the Riverside County Waste Management Department for review and approval. The plot plan shall conform to Design Guidelines for Recyclables Collection and Loading Areas, provided by the Waste Management Department, and shall show the location of and access to the collection area for recyclable materials, along with its dimensions and construction detail, including elevation/facade, construction materials and signage. The plot plan shall clearly indicate how the trash and recycling enclosures shall be accessed by the hauler.

2. Prior to issuance of a building permit, a Waste Recycling Plan (WRP) shall be submitted to the Waste

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80. PRIOR TO BLDG PRMT ISSUANCE

80.PLANNING. 16 USE - WASTE MGMT CLEARANCE (cont.) RECOMMND

Management Department for approval. At a minimum, the WRP must identify the materials (i.e., concrete, asphalt, wood, etc.) that will be generated by construction and development, the projected amounts, the measures/methods that will be taken to recycle, reuse, and/or reduce the amount of materials, the facilities and/or haulers that will be utilized, and the targeted recycling or reduction rate. Materials can be taken directly to recycling facilities (Riverside County Waste Management Department, Recycling Section, can be contacted directly at 951.486.3200 for a list of facilities), or arrangements can be made through the franchise hauler and/or a construction clean-up business.

80.PLANNING. 17 USE - SCHOOL MITIGATION RECOMMND

Impacts to the Jurupa Unified School District shall be mitigated in accordance with California State law.

80.PLANNING. 20 USE - LIGHTING PLANS RECOMMND

All parking lot lights and other outdoor lighting shall be shown on electrical plans submitted to the Department of Building and Safety for plan check approval and shall comply with the requirements of Riverside County Ordinance No. 655 and the Riverside County Comprehensive General Plan.

80.PLANNING. 21 USE - FEE STATUS RECOMMND

Prior to issuance of building permits for Plot Plan No. 22636, the Planning Department shall determine the status of the deposit based fees for project. If the case fees are in a negative state, the permit holder shall pay the outstanding balance.

80.PLANNING. 25 USE - LANDSCAPE PLOT PLAN APPR RECOMMND

When the Landscaping Plot Plan is located within the Jurupa Community Services District, prior to landscape plan submittal to the Planning Department, the permit holder shall show evidence to the Planning Department that the Jurupa Community Services District has approved said plans.

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80.. PRIOR TO BLDG PRMT ISSUANCE

80.PLANNING. 26

USE - LC LANDSCAPE PLOT PLAN

RECOMMND

Prior to issuance of building permits, the developer/permit holder shall file a Landscaping Minor Plot Plan Application to the Riverside County Planning Department for review and approval along with the current fee. The landscaping plans shall be in conformance with the APPROVED EXHIBITS; in compliance with Ordinance No. 348, Section 18.12; Ordinance No. 859; and, be prepared consistent with the County of Riverside Guide to California Friendly Landscaping.

At minimum, plans shall include the following components:
1)Landscape and irrigation working drawings "stamped" by a California certified landscape architect;

2)Weather based controllers and necessary components to eliminate water waste;

3)A copy of the "stamped" approved grading plans; and,

4)Emphasis on native and drought tolerant species.

When applicable, plans shall include the following components:

1)Identification of all common/open space areas;

2)Natural open space areas and those regulated/conserved by the prevailing MSHCP;

3)Shading plans for projects that include parking lots/areas;

4)The use of canopy trees (24" box or greater) within the parking areas;

5)Landscaping plans for slopes exceeding 3 feet in height;

6)Landscaping and irrigation plans associated with entry monuments. All monument locations and dimensions shall be provided on the plan; and/or,

7)If this is a phased development, then a copy of the approved phasing plan shall be submitted for reference.

NOTE:

1)Landscaping plans for areas within the road right-of-way shall be submitted for review and approval by the Transportation Department only. The Planning Department

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80. PRIOR TO BLDG PRMT ISSUANCE

80.PLANNING. 26 USE - LC LANDSCAPE PLOT PLAN (cont.)

RECOMMND

shall not approve landscape plans within the Road Right-of-Way.

2)When the Landscaping Plot Plan is located within a special district such as Valley-Wide Recreation and Park District, Jurupa Community Services District, Coachella Valley Water District, a County Service Area (CSA) or other maintenance district, the developer/permit holder shall submit plans for review to the appropriate special district for simultaneous review. The permit holder shall show evidence to the Planning Department that the subject District has approved said plans.

As part of the plan check review process and request for condition clearance, the developer/permit holder shall show proof of the approved landscaping plot plan by providing the Plot Plan number. The planning department shall verify the landscape route is approved and the Plot Plan is in TENTAPPR status. Upon verification of compliance with this condition and the APPROVED EXHIBITS, the Planning Department shall clear this condition.

80.PLANNING. 27 USE - LC LANDSCAPE SECURITIES

RECOMMND

Prior to the issuance of building permits, the developer/permit holder shall submit an estimate to replace plantings, irrigation systems, ornamental landscape elements, walls and/or fences, in amounts to be approved by the Riverside County Planning Department, Landscape Division. Once the Planning Department has approved the estimate, the developer/permit holder shall submit the estimate to the Riverside County Department of Building and Safety who will then provide the developer/permit holder with the requisite forms. The required forms shall be completed and submitted to Building and Safety for processing and review in conjunction with County Counsel. Upon determination of compliance, the Department of Building and Safety shall clear this condition.

NOTE:

A cash security shall be required when the estimated cost is \$2,500.00 or less. It is highly encouraged to allow adequate time to ensure that securities are in place. The performance security shall be released following a successful completion of the One Year Post-Establishment Inspection, and the inspection report confirms that the

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80.PLANNING. 27 USE - LC LANDSCAPE SECURITIES (cont.) RECOMMND

planting and irrigation components are thriving and in good working order consistent with the approved landscaping plans.

80.PLANNING. 28 USE - LC LNDSCP COMMN AREA MNT RECOMMND

Prior to building permit issuance, the developer/permit holder shall submit Covenants, Conditions, and Restrictions (CC&R) to the Riverside County Counsel for review along with the required fees set forth by the Riverside County Fee Schedule.

For purposes of landscaping and maintenance, the following minimum elements shall be incorporated into the CC&R's:
1)Permanent public, quasi-public or private maintenance organization shall be established for proper management of the water efficient landscape and irrigation systems. Any agreements with the maintenance organization shall stipulate that maintenance of landscaped areas will occur in accordance with Ordinance No. 859 (as adopted and any amendments thereto) and the County of Riverside Guide to California Friendly Landscaping.

2)The CC&R's shall prohibit the use of water-intensive landscaping and require the use of low water use landscaping pursuant to the provisions of Ordinance No. 859 (as adopted and any amendments thereto).

3)The common maintenance areas shall include all those identified on the approved landscape maintenance exhibit.

The Planning Department shall clear this condition once a copy of the County Counsel approved CC&R's has been submitted to the Planning Department.

80.PLANNING. 29 USE - SHERIFF LETTER RECOMMND

Prior to the issuance of a building permit, the Riverside County Planning Department shall verify compliance with the conditions contained in the Riverside County Sheriff letter dated April 13, 2007.

80.PLANNING. 30 USE - TITLE 24 BLD EFF STNDARD RECOMMND

Construction of all nonresidential buildings or structures shall exceed the energy standards of the 2008 Building

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80. PRIOR TO BLDG PRMT ISSUANCE

80.PLANNING. 30 USE - TITLE 24 BLD EFF STNDARD (cont.)

RECOMMND

Efficiency Standards as set forth in the 2008 California Energy Code (Title 24, Part 6 of the California Code of Regulations) by a minimum of five percent (5%) in aggregate. Submission of a Title 24 worksheet with building plans for each implementing development project shall be required by the Department of Building and Safety in order to obtain a building permit and set the condition to MET status. The worksheet shall include both the calculations showing the minimum Title 24 compliance requirements and calculations for the implementing development project. Compliance is determined by comparing the energy use of the proposed development to a minimally Title 24 compliant development. The calculations must be from an energy analysis computer program approved by the California Energy Commission in accordance with Title 24, Part 6, Article 1, Section 10-109.

TRANS DEPARTMENT

80.TRANS. 1 USE - GEOMETRICS

RECOMMND

The intersection of Rubidoux Boulevard (NS) at Project Driveway Access (EW) shall be improved to provide the following geometrics:

Northbound: one through lane and one shared through/right turn lane

Southbound: one through lane and one shared through/right turn lane

Eastbound: one shared left/through/right turn lane

Westbound: one shared left/through/right turn lane

NOTE: The project proponent shall install appropriate channelization and signage at the project driveway on Rubidoux Blvd. to facilitate right-in/right-out access only. Left turn access is prohibited at this driveway.

80.TRANS. 5 USE - R-O-W DEDICATION 1/SUR

RECOMMND

Sufficient public street right-of-way along Rubidoux Boulevard shall be conveyed for public use to provide for a 59 foot half-width right-of-way.

Sufficient public street right-of-way along 26th Street shall be conveyed for public use to provide for a 39 foot half-width right-of-way.

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80. PRIOR TO BLDG PRMT ISSUANCE

80.TRANS. 7 USE - STREETLIGHTS - L&LMD

RECOMMND

The project proponent shall submit to the Transportation Department L&LMD No. 89-1-C Administrator the following:

1. Completed Transportation Department application
2. (2)Sets of street lighting plans approved by Transportation Department.
3. Appropriate fees for annexation.
4. "Streetlight Authorization" form from SCE, IID or other electric provider.

80.TRANS. 12 USE - MAP CORNER CUT-BACK I

RECOMMND

All corner cutbacks shall be applied per Standard 805, Ordinance 461, except for corners at Entry streets intersecting with General Plan roads, they shall be applied per Exhibit ' C' of the Countywide Design Guidelines.

80.TRANS. 16 USE - STREETLIGHT PLAN 1

RECOMMND

A separate street light plan is required for this project. Street lighting shall be designed in accordance with County Ordinance 460 and Streetlight Specification Chart found in Specification Section 22 of Ordinance 461. For projects within SCE boundaries use County of Riverside Ordinance 461, Standard No's 1000 or 1001. For projects within 461, Standard No's 1000 or 1001.

80.TRANS. 17 USE - LANDSCAPING COMM/IND

RECOMMND

Landscaping within public road right-of-way shall comply with Transportation Department standards and Ordinance 461 and shall require approval by the Transportation Department.

Landscaping plans shall be designed within Rubidoux Boulevard and 26th Street and submitted to the Transportation Department. Landscaping plans shall be submitted on standard County Plan sheet format (24" X 36"). Landscaping plans shall be submitted with the street improvement plans.

Assurance of continuous maintenance is required by processing and filing a 'Landscape Maintenance Agreement'

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80. PRIOR TO BLDG PRMT ISSUANCE

80.TRANS. 17 USE - LANDSCAPING COMM/IND (cont.)

RECOMMND

through the Transportation Department Plan Check Division;
or if desired the developer may file an application for
annexation into Landscaping and Lighting Maintenance
District No. 89-1-Consolidated by contacting the
Transportation Department at (951) 955-6767.

90. PRIOR TO BLDG FINAL INSPECTION

BS GRADE DEPARTMENT

90.BS GRADE. 1 USE*G4.3PAVING INSPECTIONS

RECOMMND

The developer/applicant shall be responsible for obtaining
the paving inspections required by Ordinance 457.

E HEALTH DEPARTMENT

90.E HEALTH. 1 USE - HAZMAT BUS PLAN

RECOMMND

The facility will require a business emergency plan for the
storage of hazardous materials greater than 55 gallons, 200
cubic feet or 500 pounds, or any acutely hazardous
materials or extremely hazardous substances.

90.E HEALTH. 2 USE - HAZMAT REVIEW

RECOMMND

If further review of the site indicates additional
environmental health issues, the Hazardous Materials
Management Division reserves the right to regulate the
business in accordance with applicable County Ordinances.

90.E HEALTH. 3 USE - HAZMAT CONTACT

RECOMMND

Contact a Hazardous Materials Specialist, Hazardous
Materials Management Division, at (951) 358-5055 for any
additional requirements.

FIRE DEPARTMENT

90.FIRE. 1 USE-#45-FIRE LANES

RECOMMND

The applicant shall prepare and submit to the Fire
Department for approval, a site plan designating required
fire lanes with appropriate lane painting and/or signs.

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90. PRIOR TO BLDG FINAL INSPECTION

90.FIRE. 2

USE-#12A-SPRINKLER SYSTEM

RECOMMND

Install a complete fire sprinkler system per NFPA 13 2002 edition in all buildings requiring a fire flow of 1500 GPM or greater. Sprinkler system(s) with pipe sizes in excess of 4" in diameter will require the project structural engineer to certify (wet signature) the stability of the building system for seismic and gravity loads to support the sprinkler system. All fire sprinkler risers shall be protected from any physical damage. The post indicator valve and fire department connection shall be located to the front, within 50 feet of a hydrant, and a minimum of 25 feet from the building(s). A statement that the building(s) will be automatically fire sprinkled must be included on the title page of the building plans.

Applicant or developer shall be responsible to install a U.L. Central Station Monitored Fire Alarm System. Monitoring system shall monitor the fire sprinkler system(s) water flow, P.I.V.'s and all control valves. Plans must be submitted to the Fire Department for approval prior to installation. Contact fire department for guideline handout

90.FIRE. 3

USE-#27-EXTINGUISHERS

RECOMMND

Install portable fire extinguishers with a minimum rating of 2A-10BC and signage. Fire Extinguishers located in public areas shall be in recessed cabinets mounted 48" (inches) to center above floor level with maximum 4" projection from the wall. Contact Fire Department for proper placement of equipment prior to installation.

FLOOD RI DEPARTMENT

90.FLOOD RI. 2

USE BMP - EDUCATION

RECOMMND

The developer shall distribute environmental awareness education materials on general good housekeeping practices that contribute to protection of stormwater quality to all initial users. The developer may obtain NPDES Public Educational Program materials from the District's NPDES Section by either the District's website www.floodcontrol.co.riverside.ca.us, e-mail fcnpdes@co.riverside.ca.us, or the toll free number 1-800-506-2555. Please provide Project number, number of units and location of development. Note that there is a

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90. PRIOR TO BLDG FINAL INSPECTION

90.FLOOD RI. 2 USE BMP - EDUCATION (cont.)

RECOMMND

five-day minimum processing period requested for all orders.

The developer must provide to the District's PLAN CHECK Department a notarized affidavit stating that the distribution of educational materials to the tenants is assured prior to the issuance of occupancy permits.

90.FLOOD RI. 3 USE IMPLEMENT WQMP

RECOMMND

All structural BMPs described in the project-specific WQMP shall be constructed and installed in conformance with approved plans and specifications. It shall be demonstrated that the applicant is prepared to implement all non-structural BMPs described in the approved project specific WQMP and that copies of the approved project-specific WQMP are available for the future owners/occupants. The District will not release occupancy permits for any portion of the project exceeding 80% of the project area prior to the completion of these tasks.

90.FLOOD RI. 5 USE BMP MAINTENANCE & INSPECT

RECOMMND

The BMP maintenance plan shall contain provisions for all treatment controlled BMPs to be inspected, and if required, cleaned no later than October 15 each year. Required documentation shall identify the entity that will inspect and maintain all structural BMPs within the project boundaries. A copy of all necessary documentation shall be submitted to the District for review and approval prior to the issuance of occupancy permits.

PLANNING DEPARTMENT

90.PLANNING. 2 USE - ARCHO MONITORING REPORT

RECOMMND

Prior to Final Inspection, the applicant shall submit to the County Archaeologist one paper copy and two (2) copies on CD of the Paleontology Monitoring report. The report shall be certified by a professionally-qualified paleontologist listed on the County's Paleontology Consultant List.

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90. PRIOR TO BLDG FINAL INSPECTION

90.PLANNING. 5 USE - PARKING PAVING MATERIAL

RECOMMND

A minimum of one hundred and sixty-eight (168) parking spaces shall be provided as shown on the APPROVED EXHIBIT A, unless otherwise approved by the Planning Department. The parking area shall be surfaced with asphaltic concrete or concrete to current standards as approved by the Department of Building and Safety.

90.PLANNING. 6 USE - ACCESSIBLE PARKING

RECOMMND

A minimum of eight (8) accessible parking spaces for persons with disabilities shall be provided as shown on APPROVED EXHIBIT A. Each parking space reserved for persons with disabilities shall be identified by a permanently affixed reflectorized sign constructed of porcelain on steel, beaded text or equal, displaying the International Symbol of Accessibility. The sign shall not be smaller than 70 square inches in area and shall be centered at the interior end of the parking space at a minimum height of 80 inches from the bottom of the sign to the parking space finished grade, or centered at a minimum height of 36 inches from the parking space finished grade, ground, or sidewalk. A sign shall also be posted in a conspicuous place, at each entrance to the off-street parking facility, not less than 17 inches by 22 inches, clearly and conspicuously stating the following:

"Unauthorized vehicles not displaying distinguishing placards or license plates issued for physically handicapped persons may be towed away at owner's expense. Towed vehicles may be reclaimed by telephoning the local sheriff's office."

In addition to the above requirements, the surface of each parking space shall have a surface identification sign duplicating the symbol of accessibility in blue paint of at least 3 square feet in size.

90.PLANNING. 10 USE - ROOF EQUIPMENT SHIELDING

RECOMMND

Roof-mounted equipment shall be shielded from ground view. Screening material shall be subject to Planning Department approval.

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90. PRIOR TO BLDG FINAL INSPECTION

90.PLANNING. 12 USE - INSTALL BIKE RACKS

RECOMMND

A bicycle rack with a minimum of 2 spaces shall be provided in convenient locations to facilitate bicycle access to the project area as shown on APPROVED EXHIBIT A. The bicycle racks shall be shown on project landscaping and improvement plans submitted for Planning Department approval, and shall be installed in accordance with those plans.

90.PLANNING. 13 USE - UTILITIES UNDERGROUND

RECOMMND

All utilities, except electrical lines rated 33 kV or greater, shall be installed underground. If the permittee provides to the Department of Building and Safety and the Planning Department a definitive statement from the utility provider refusing to allow underground installation of the utilities they provide, this condition shall be null and void with respect to that utility.

90.PLANNING. 15 USE - CURBS ALONG PLANTERS

RECOMMND

A six inch high curb with a twelve (12) inch wide walkway shall be constructed along planters on end stalls adjacent to automobile parking areas. Public parking areas shall be designed with permanent curb, bumper, or wheel stop or similar device so that a parked vehicle does not overhang required sidewalks, planters, or landscaped areas.

90.PLANNING. 18 USE - TRASH ENCLOSURES

RECOMMND

Eight (8) trash enclosures which are adequate to enclose a minimum of two (2) bins shall be located as shown on the APPROVED EXHIBIT A, and shall be constructed prior to the issuance of occupancy permits. The enclosure(s) shall be a minimum of six (6) feet in height and shall be made with masonry block with landscaping screening, above trellis, and a solid gate which screens the bins from external view. Additional enclosed area for collection of recyclable materials shall be located within, near or adjacent to each trash and rubbish disposal area. The recycling collection area shall be a minimum of fifty percent (50%) of the area provided for the trash/rubbish enclosure(s) or as approved by the Riverside County Waste Management Department. All recycling bins shall be labeled with the universal recycling symbol and with signage indicating to the users the type of material to be deposited in each bin.

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Parcel: 178-150-008

90. PRIOR TO BLDG FINAL INSPECTION

90.PLANNING. 21 USE - REMOVE OUTDOOR ADVERTISE RECOMMND

All existing outdoor advertising displays, signs or billboards shall be removed.

90.PLANNING. 22 USE - WALL & FENCE LOCATIONS RECOMMND

Wall and/or fence locations shall be in conformance with APPROVED EXHIBIT A.

90.PLANNING. 27 USE - CONDITION COMPLIANCE RECOMMND

The Department of Building and Safety shall verify that the Development Standards of this approval and all other preceding conditions have been complied with prior to any use allowed by this permit.

90.PLANNING. 28 USE - WASTE MGMT CLEARANCE RECOMMND

A clearance letter from Riverside County Waste Management District shall be provided to the Riverside County Planning Department verifying compliance with the conditions contained in their letter dated April 17, 2007, summarized as follows:

1. Prior to final building inspection for EACH building, the applicant shall construct the recyclables collection and loading area in compliance with the Recyclables Collection and Loading Area plot plan, as approved and stamped by the Riverside County Waste Management Department and as verified by the Riverside County Building and Safety Department through site inspection.

2. Prior to issuance of an occupancy permit, evidence (i.e., receipts or other type verification) to demonstrate project compliance with the approved WRP shall be presented by the project proponent to the Planning/Recycling Division of the Riverside County Waste Management Department in order to clear the project for occupancy permits.

90.PLANNING. 30 USE - ORD 810 O S FEE (2) RECOMMND

Prior to the issuance of a certificate of occupancy, or upon building permit final inspection prior to use or occupancy for cases without final inspection or certificate of occupancy (such as an SMP), whichever comes first, the applicant shall comply with the provisions of Riverside County Ordinance No. 810, which requires the payment of the

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90. PRIOR TO BLDG FINAL INSPECTION

90.PLANNING. 30 USE - ORD 810 O S FEE (2) (cont.)

RECOMMND

appropriate fee set forth in the Ordinance. The amount of the fee will be based on the "Project Area" as defined in the Ordinance and the aforementioned Condition of Approval. The Project Area for Plot Plan No. 22636 is calculated to be 6.04 net acres. In the event Riverside County Ordinance No. 810 is rescinded, this condition will no longer be applicable. However, should Riverside County Ordinance No. 810 be rescinded and superseded by a subsequent mitigation fee ordinance, payment of the appropriate fee set forth in that ordinance shall be required.

90.PLANNING. 31 USE - ORD NO. 659 (DIF)

RECOMMND

Prior to the issuance of either a certificate of occupancy or prior to building permit final inspection, the applicant shall comply with the provisions of Riverside County Ordinance No. 659, which requires the payment of the appropriate fee set forth in the Ordinance. Riverside County Ordinance No. 659 has been established to set forth policies, regulations and fees related to the funding and installation of facilities and the acquisition of open space and habitat necessary to address the direct and cumulative environmental effects generated by new development projects described and defined in this Ordinance, and it establishes the authorized uses of the fees collected.

The amount of the fee for commercial or industrial development shall be calculated on the basis of the "Project Area," as defined in the Ordinance, which shall mean the net area, measured in acres, from the adjacent road right-of-way to the limits of the project development. The Project Area for Plot Plan No. 22636 has been calculated to be 6.04 net acres.

In the event Riverside County Ordinance No. 659 is rescinded, this condition will no longer be applicable. However, should Riverside County Ordinance No. 659 be rescinded and superseded by a subsequent mitigation fee ordinance, payment of the appropriate fee set forth in that ordinance shall be required.

90.PLANNING. 32 USE - LC LNDSCP INSPECT DEPOST

RECOMMND

Prior to building permit final inspection, the developer/permit holder shall file an Inspection Request

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90. PRIOR TO BLDG FINAL INSPECTION

90.PLANNING. 32 USE - LC LNDSCP INSPECT DEPOST (cont.) RECOMMND

Form and deposit sufficient funds to cover the costs of Installation, Six Month Establishment, and One Year Post-Establishment inspections. In the event that an open landscape case is not available, then the applicant shall open a FEE ONLY case to conduct inspections. The deposit required for landscape inspections shall be determined by the Riverside County Landscape Division. The Planning Department shall clear this condition upon determination of compliance.

90.PLANNING. 33 GEN - LC COMPLY W/ LNDSCP/ IRR RECOMMND

The developer/permit holder shall coordinate with their designated landscape representative and the Riverside County Planning Department's landscape inspector to ensure all landscape planting and irrigation systems have been installed in accordance with APPROVED EXHIBITS, landscaping, irrigation, and shading plans. The Planning Department will ensure that all landscaping is healthy, free of weeds, disease and pests; and, irrigation systems are properly constructed and determined to be in good working order. The developer/permit holder's designated landscape representative and the Riverside County Planning Department's landscape inspector shall determine compliance with this condition and execute a Landscape Certificate of Completion. Upon determination of compliance, the Planning Department shall clear this condition.

90.PLANNING. 34 USE - SHERIFF LETTER RECOMMND

Prior to the issuance of either a certificate of occupancy or prior to building permit final inspection, the Riverside County Planning Department shall verify compliance with the conditions contained in the Riverside County Sheriff letter dated April 13, 2007.

90.PLANNING. 35 USE - EXTENDED TRUCK IDLING RECOMMND

Sign(s) stating that "EXTENDED IDLING TRUCK ENGINES IS NOT PERMITTED" shall be located at the entrance to the industrial park. The sign(s) at the entrance to facility shall not be less than twenty four inches square and will provide directions to truck parking spaces with electrical hookups.

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90.PLANNING. 35 USE - EXTENDED TRUCK IDLING (cont.)

RECOMMND

The hookups will provide power for refrigerated trailers that need to be parked on-sight for more than 5 minutes.

TRANS DEPARTMENT

90.TRANS. 1 USE - IMP PLANS

RECOMMND

Improvement plans for the required improvements must be prepared and shall be based upon a design profile extending a minimum of 300 feet beyond the limit of construction at a grade and alignment as approved by the Riverside County Transportation Department. Completion of road improvements does not imply acceptance for maintenance by County.

NOTE: Before you prepare the street improvement plan(s), please review the Street Improvement Plan Policies and Guidelines from the Transportation Department Web site: www.rctlma.org/trans/land_dev_plan_check_guidelines.html.

90.TRANS. 2 USE - ST DESIGN/IMP CONCEPT

RECOMMND

The street design and improvement concept of this project shall be coordinated with PM35267 and "EDA" Project Coordinator Cathy Wampler at (951) 955-6803.

90.TRANS. 5 USE - SIGNING & STRIPING

RECOMMND

A signing and striping plan is required for this project. The project proponent shall be responsible for any additional paving and/or striping removal caused by the striping plan. Traffic signing and striping shall be performed by County forces with all incurred costs borne by the applicant, unless otherwise approved by the County Traffic Engineer.

90.TRANS. 7 USE - WRCOG TUMF

RECOMMND

Prior to the issuance of an occupancy permit, the project proponent shall pay the Transportation Uniform Mitigation Fee (TUMF) in accordance with the fee schedule in effect at the time of issuance, pursuant to Ordinance No. 824.

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90. PRIOR TO BLDG FINAL INSPECTION

90.TRANS. 8 USE STREETLIGHT AUTHORIZATION

RECOMMND

Prior to OCCUPANCY, the project proponent shall submit to Transportation Department Permits the following:

1. "Streetlight Authorization" form approved by L&LMD No. 89-1-C Administrator.
2. Letter establishing interim energy account from SCE, IID or other electric provider.

90.TRANS. 9 USE - STREETLIGHTS INSTALL

RECOMMND

Install streetlights along the streets associated with development in accordance with the approved street lighting plan and standards of County Ordinances 460 and 461. For projects within IID use IID's pole standard.

Streetlight annexation into L&LMD or similar mechanism as approved by the Transportation Department shall be completed.

It shall be the responsibility of the developer to ensure that streetlights are energized along the streets associated with this development where the developer is seeking Building Final Inspection (Occupancy).

90.TRANS. 11 USE - UTILITY PLAN

RECOMMND

Electrical power, telephone, communication, treet lighting, and cable television lines shall be designed to be placed underground in accordance with ordinance 460 and 461, or as approved by the Transportation Department. The applicant is responsible for coordinating the work with the serving utility company. This also applies to existing overhead lines which are 33.6 kilovolts or below along the project frontage and between the nearest poles offsite in each direction of the project site. A disposition note describing the above shall be reflected on design improvement plans whenever those plans are required. A written proof for initiating the design and/or application of the relocation issued by the utility company shall be submitted to the Transportation Department for verification purposes.

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Riverside County LMS
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Parcel: 178-150-008

90. PRIOR TO BLDG FINAL INSPECTION

90.TRANS. 12 USE - UTILITY INSTALL

RECOMMND

lectrical power, telephone, communication, street lighting, and cable television lines shall be placed underground in accordance with ordinance 460 and 461, or as approved by the Transportation Department. This also applies to existing overhead lines which are 33.6 kilovolts or below along the project frontage and between the nearest poles offsite in each direction of the project site.

A certificate should be obtained from the pertinent utility company and submitted to the Department of Transportation as proof of completion.

90.TRANS. 13 USE - LANDSCAPING COMM/IND

RECOMMND

Landscaping within public road right-of-way shall comply with Transportation Department standards and Ordinance 461 and shall require approval by the Transportation Department. Landscaping shall be improved within Rubidoux Boulevard and 26th Street.

Assurance of continuous maintenance is required by processing and filing a 'Landscape Maintenance Agreement' through the Transportation Department Plan Check Division; or if desired the developer may file an application for annexation into Landscaping and Lighting Maintenance District No. 89-1-Consolidated by contacting the Transportation Department at (951) 955-6767.

90.TRANS. 14 USE - EXISTING MAINTAINED

RECOMMND

Rubidoux Boulevard along project boundary is a paved County maintained road and designated as a Major Highway and shall be improved with 38' AC pavement, 8" concrete curb and gutter, located 38 feet from centerline, and match up asphalt concrete paving; reconstruction; or resurfacing of existing paving as determined by the Transportation Department within the 59 foot half-width dedicated right-of-way in accordance with County Standard No. 93. (38'/59')

NOTE 1: A 5' meandering sidewalk shall be constructed within the 21' parkway per Standard 404.

NOTE 2: Driveways shall be constructed per Standard No. 207A, Ordinance 461.

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90. PRIOR TO BLDG FINAL INSPECTION

90.TRANS. 15 USE - PART-WIDTH

RECOMMND

26th Street along project boundary is a paved County maintained road and designated as Industrial Collector road and shall be improved with 46' part-width AC pavement, (28' on the project side and 18' on opposite side), 6" concrete curb and gutter and 6' sidewalk adjacent to the curb line within a 72' full-width dedicated right-of-way (39' on project side and 33' on opposite side) in accordance with County Standard No. 111.

NOTE: 1. A 6' sidewalk shall be constructed adjacent to the curb line within the 11' parkway.

2. Driveway shall be constructed per County Standard No. 207A, Ordinance 461.

90.TRANS. 16 USE - R-O-W DEDICATION/SUR

RECOMMND

Sufficient public street right-of-way along Rubidoux Boulevard shall be conveyed for public use to provide for a 59 foot half-width right-of-way.

Sufficient public street right-of-way along 26th Street shall be conveyed for public use to provide for a 39 foot half-width right-of-way.

**COMPREHENSIVE PROJECT REVIEW
INITIAL CASE TRANSMITTAL
RIVERSIDE COUNTY PLANNING DEPARTMENT - RIVERSIDE
P.O. Box 1409
Riverside, CA 92502-1409**

DATE: April 9, 2007

TO:

Transportation Dept.
Environmental Health Dept.
Flood Control Dist.
Fire Department
Dept. of Bldg. & Safety (Pln.Chk)
Regional Parks & Open Space Dist.
Co. Geologist
Environmental Programs Dept.
P.D. Trails Coordinator-J. Jolliffe
Riv. Information Technology
Riv. Transit Agency
Riv. Sheriffs Department
Riv. Waste Management Dpt.

Jurupa Area Recreation & Parks Dist.
Riv. Airport Land Use Commission
Supervisor Tavaglione
Commissioner Snell
Jurupa Unified School Dist.
Rubidoux CSD
SCE
Southern California Gas
Regional Water Quality Control Board
EIC
Sobobas Indian Tribe
Pechanga Indian Tribe
Jurupa Cultural Center

PLOT PLAN NO. 22636, AND TENTATIVE PARCEL MAP NO. 35267 – EA41306 – Applicant: Rigo Vasquez – Engineer/Representative: Hatem Sayed – Second Supervisorial District - Rubidoux Zoning District - Jarupa Area Plan: Community Development: Light Industrial (CD:LI) (0.25 - 0.60 Floor Area Ratio) – Location: Easterly of Rubidoux Boulevard and Southerly of 26th Street – 6.5 Gross Acres - Zoning: Industrial Park (I-P) and Manufacturing-Service Commercial - **REQUEST:** The Plot Plan proposes eight (8) R&D/Industrial buildings of 12,000 square feet each, for a total of 96,000 square feet of building area. The project includes 42,546 square feet of landscaping, 159 parking stalls, and 0.32 acres of dedicated right-of-way. Additionally, the Schedule E subdivision is of 6.5 gross acres into eight (8) lots for financing purposes. Parcel 1 is 33,254 square feet (gross), Parcel 2 is 30,084 square feet (gross), Parcel 3 is 32,075 square feet (gross), Parcel 4 is 27,982 square feet (gross), Parcel 5 is 32,056 square feet (gross), Parcel 6 is 28,063 square feet (gross), Parcel 7 is 40,857 square feet (gross), and Parcel 8 is 38,708 square feet (gross) for a total of 263,079 square feet (gross). - APN(s): 178-150-008, 178-150-009 - Related Cases: N/A - Concurrent Cases: N/A

Please review the attached exhibit(s) for the above-described project. This case is scheduled for a **CPR meeting on May 3, 2007**. All County Agencies and Departments, please have draft conditions in the Land Management System by the above date. If you cannot clear the exhibit, please have corrections in the system and DENY the routing. Once the route is complete, and the approval screen is approved with or without corrections, the case can be scheduled for a public hearing. All other agencies, please have your comments/conditions to the Planning Department as soon as possible. Your comments/recommendations/ conditions are requested so that they may be incorporated in the staff report for this particular case.

Should you have any questions regarding this item, please do not hesitate to contact **Brian Moore**, Project Planner, at (951) 955-2137 or email at bmoore@RCTLMA.org / **MAILSTOP# 1070**.

COMMENTS:

DATE: _____ SIGNATURE: _____

PLEASE PRINT NAME AND TITLE: _____

TELEPHONE: _____

If you do not include this transmittal in your response, please include a reference to the case number and project planner's name. Thank you.



December 16, 2010

TO: Christian Hinojosal, Project Planner

FROM: Steven Hinde, CIH, Senior Industrial Hygienist

RE: Plot Plan No. 22636

A noise study is required to address requirements for determining and mitigating from the Rubidoux development industrial park regarding noise impacts to the interior and to the surrounding area. A noise study will be required prior to pulling building permits for the Plot Plan.

Noise standards to be addressed:

1. Facility-related noise, **as projected to any portion of any surrounding property containing a "habitable dwelling, hospital, school, library or nursing home"**, must not exceed the following worst-case noise levels.

A) 45 dB(A) – 10 minute noise equivalent level ("leq"), between the hours of 10:00 p.m. to 7:00 a.m. (nighttime standard).

B) 65 dB (A) – 10 minute leq, between 7:00 a.m. and 10:00 p.m. (daytime standard)

2. Our Department (Office of Industrial Hygiene) must receive, review and approve an acoustical report (as listed above). Building design must be shown to reduce interior noise to at or below 45 Ldn for the office buildings along Rubidoux Blvd.

3. The applicant shall first pay review fees to the Department of Public Health for all time spent in review of this project. Fees will be assessed at the Department's hourly rate for Industrial Hygienists. Fill out the Industrial Hygiene's Acoustical Review Application Form.

Please contact Steven Hinde if you have any questions.



Riverside County
Waste Management Department

Hans W. Kernkamp, General Manager-Chief Engineer

April 17, 2007

Brian Moore, Project Planner
Riverside County Planning Department
P. O. Box No. 1409
Riverside, CA 92502-1409

RE: Plot Plan No. 22636

Proposal: The Plot Plan proposes to construct eight (8) R&D/Industrial buildings

APNs: 178-150-008, -009

Dear Mr. Moore:

The Riverside County Waste Management Department (Department) has reviewed the proposed project located east of Rubidoux Boulevard and south of 26th Street, in the Jurupa Area Plan. It should be noted that the project is located approximately 300 feet easterly of the closed Belltown Landfill, a 15-acre facility which operated from 1956 to 1964 as a burn site for waste. The proposed project is also approximately 850 feet southeast of the closed West Riverside Landfill, a 72-acre facility which operated from 1965 to 1993. Groundwater and gas monitoring at the sites indicate that there are no groundwater or air quality issues stemming from the closed facilities.

In order to mitigate the project's potential solid waste impacts and to help the County's efforts to comply with State law in diverting solid waste from landfill disposal, the Department is recommending that the following conditions be made a part of any Conditions of Approval for the project:

1. **Prior to issuance of a building permit for EACH building**, the applicant shall submit three (3) copies of a Recyclables Collection and Loading Area plot plan to the Riverside County Waste Management Department for review and approval. The plot plan shall conform to ***Design Guidelines for Recyclables Collection and Loading Areas***, provided by the Waste Management Department, and shall show the location of and access to the collection area for recyclable materials, along with its dimensions and construction detail, including elevation/façade, construction materials and signage. The plot plan shall clearly indicate how the trash and recycling enclosures shall be accessed by the hauler.
2. **Prior to final building inspection for EACH building**, the applicant shall construct the recyclables collection and loading area in compliance with the Recyclables Collection and Loading Area plot plan, as approved and stamped by the Riverside County Waste Management Department and as verified by the Riverside County Building and Safety Department through site inspection.

3. a) **Prior to issuance of a building permit**, a *Waste Recycling Plan* (WRP) shall be submitted to the Waste Management Department for approval. At a minimum, the WRP must identify the materials (i.e., concrete, asphalt, wood, etc.) that will be generated by construction and development, the projected amounts, the measures/methods that will be taken to recycle, reuse, and/or reduce the amount of materials, the facilities and/or haulers that will be utilized, and the targeted recycling or reduction rate. Materials can be taken directly to recycling facilities (Riverside County Waste Management Department, Recycling Section, can be contacted directly at 951.486.3200 for a list of facilities), or arrangements can be made through the franchise hauler and/or a construction clean-up business.

b) **Prior to issuance of an occupancy permit**, evidence (i.e., receipts or other type verification) to demonstrate project compliance with the approved WRP shall be presented by the project proponent to the Planning/Recycling Division of the Riverside County Waste Management Department in order to clear the project for occupancy permits.
4. Since hazardous materials are not accepted at Riverside County landfills, the project proponent shall take any hazardous wastes, including paint used during construction, to facilities that are permitted to receive them, in accordance with local, state, and federal regulations. For further information, please contact the Household Hazardous Waste Collection Program at 1-800-304-2226.
5. Use mulch and/or compost in the development and maintenance of landscaped areas within the project boundaries. Recycle green waste through either onsite composting of grass, i.e., leaving the grass clippings on the lawn, or sending separated green waste to a composting facility.
6. Consider xeriscaping and using drought tolerant/low maintenance vegetation in all landscaped areas of the project.

Thank you for the opportunity to review this proposal. If you have any questions, please call me at (951) 486-3351.

Sincerely,



Ryan Ross
Planner

RIVERSIDE COUNTY SHERIFF

Jurupa Valley Station
7477 Mission Blvd.
Riverside, CA 92509
(951) 955-2612 / 2600
(951) 955-2630 Fax

County of Riverside
Planning Department
9th Floor, CAC - PO Box 1409
Riverside, CA 92502-1409
ATTN: Brian Moore, Project Planner

April 13, 2007

RE: Plot Plan No. 22636; Tentative Parcel Map No. 35267; EA No. 41306
APN: 178-150-008, 178-150-009; Related Cases: N/A; Concurrent Cases: N/A
Applicant: Rigo Vasquez; Engineer/Representative: Hatem Sayed
Project: 8 Industrial Building Complex

Dear Mr. Moore,

Thank you for the opportunity to comment on the above indicated request. The proposal includes the request to develop some 6.5 gross acres with eight industrial buildings of 12,000 square feet each, 42,546 square feet of landscaping, 159 parking stalls and subdivision of the indicated lots into eight separate parcels. The project is located within the Rubidoux Zoning District, Jurupa Area Plan and the 2nd Supervisorial District.

The Riverside County Sheriff's Department has identified several issues and concerns relative to law enforcement and public safety, which addresses requirements, recommendations and conditions for approval on the project.

Final and Post Construction:

1. Property Signs:

The entire project area shall post the following signs and tenant businesses shall enforce the civil laws for their respective leased premises.

- A. "No Trespassing & Loitering" signs shall be displayed prominently throughout the project area at all businesses (602 P.C.). These signs should be prominently displayed along the rear of the business locations to discourage loitering and vagrancy.
- B. Further recommendations may apply for signs which restrict Skateboard & Rollerblade devices and / or private property parking restrictions (Riverside County Ordinance, C.O. 792).

2. Lighting:

The project area must have an inclusive lighting plan conducted by professional firm. The installation of adequate lighting standards with the proper type light and lumens for the area will require review by the Sheriff's Department.

3. Convex Mirror(s):

Due to limited visibility, the installation of convex mirror type devices may be required to improve safety for the public and employees, to limit vehicular and pedestrian accidents, as well as, decrease premises liability. These devices may be appropriate at the corners of buildings, stairwells or blind spots.

4. Refuse Containment Areas:

According to the proposed plan, the building has a trash or refuse container with enclosed area. The metal door(s) to the containment area shall have a locking device. The doors should remain locked at all times, absent trash being discarded, which should preclude unlawful dumping at the site and / or homeless shelter problems.

5. Graffiti Resistant Surfaces, Walls and Monuments:

The property owner shall be required to maintain the property, as well as, the leased tenants with respect to their businesses. At present, the County of Riverside, Economic Development Agency operates a Graffiti Abatement program via CDBG grant monies. The timely reporting of vandalism and graffiti to local law enforcement is essential, as well as, the expeditious removal from public view.

The property owner or designated responsible party shall be familiar with C.O. 704.1, Amendment to the Riverside County Ordinance for the Abatement of Graffiti.

6. Address Numbering:

All the buildings shall have displayed address numerics of a size and contrasting in color from the building façade. The numbers need to be visible from the street and interior property sides for any approaching emergency vehicles. No obstructions should limit their visibility (i.e. landscaping). Further, the numerics for the separate buildings shall be displayed atop the roofs (minimum size 1' x 4') contrasting color from the roofline.

Construction Phases:

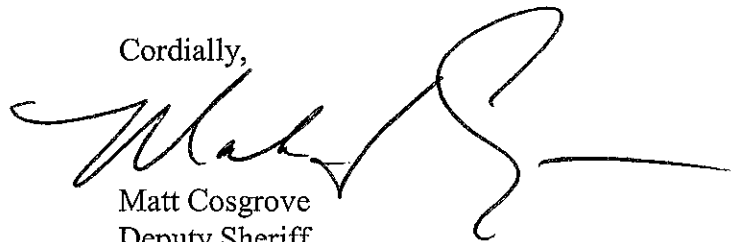
1. The construction site(s) for the various businesses should have respective material storage areas established and enclosed a six (6) foot chain link fence. This will minimize the theft of materials and / or equipment.
2. A list of the serial numbered property, equipment, and / or licensed vehicles should be maintained at both, the site (contractors office) and off-site to provide a back-up copy of the listed property. The inventory of these items would assist in the proper reporting to law enforcement should any theft occur.
3. The public and non-essential employees should be restricted in access to the construction site.
4. Current emergency contact information for the project should be kept on file with the Riverside County Sheriff's Department. The developer and builders name, address and phone number should be posted at the work site.

The site should have a clearly designated point of contact, such as a trailer or office. Post the emergency and non-emergency numbers for the fire department, law enforcement and ambulance service within the local area. The address for the location(s) should be posted visibly from the street and posted near phones at the site. Any phones blocked for outgoing calls should not be blocked from calling 9-1-1.

5. Visibility into the construction site should not be intentionally hampered. Areas under construction should be lit during hours of darkness. All entrances and exits should be clearly marked.

Should the applicant, architect, planner or Land Development Committee have any questions regarding the above issues and conditions, they may contact Deputy Matt Cosgrove at (951) 955-9230.

Cordially,

A handwritten signature in black ink, appearing to read 'Matt Cosgrove', with a long horizontal line extending to the right.

Matt Cosgrove
Deputy Sheriff
Jurupa Valley Station
CPTED Coordinator

cc: - RSO, Admin.
- JVS File

**COMPREHENSIVE PROJECT REVIEW
INITIAL CASE TRANSMITTAL
RIVERSIDE COUNTY PLANNING DEPARTMENT - RIVERSIDE
P.O. Box 1409
Riverside, CA 92502-1409**

RECEIVED

DATE: April 9, 2007

APR 12 2007

TO:

Transportation Dept.
Environmental Health Dept.
Flood Control Dist.
Fire Department
Dept. of Bldg. & Safety (Pln.Chk)
Regional Parks & Open Space Dist.
Co. Geologist
Environmental Programs Dept.
P.D. Trails Coordinator-J. Jolliffe
Riv. Information Technology
Riv. Transit Agency
Riv. Sheriffs Department
Riv. Waste Management Dpt.

FACILITY PLANNING

Jurupa Area Recreation & Parks Dist.
Riv. Airport Land Use Commission
Supervisor Tavaglione
Commissioner Snell
Jurupa Unified School Dist.
Rubidoux CSD
SCE
Southern California Gas
Regional Water Quality Control Board
EIC
Sobobas Indian Tribe
Pechanga Indian Tribe
Jurupa Cultural Center

PLOT PLAN NO. 22636, AND TENTATIVE PARCEL MAP NO. 35267 – EA41306 – Applicant: Rigo Vasquez – Engineer/Representative: Hatem Sayed – Second Supervisorial District - Rubidoux Zoning District - Jarupa Area Plan: Community Development: Light Industrial (CD:LI) (0.25 - 0.60 Floor Area Ratio) – Location: Easterly of Rubidoux Boulevard and Southerly of 26th Street – 6.5 Gross Acres - Zoning: Industrial Park (I-P) and Manufacturing-Service Commercial - **REQUEST:** The Plot Plan proposes eight (8) R&D/Industrial buildings of 12,000 square feet each, for a total of 96,000 square feet of building area. The project includes 42,546 square feet of landscaping, 159 parking stalls, and 0.32 acres of dedicated right-of-way. Additionally, the Schedule E subdivision is of 6.5 gross acres into eight (8) lots for financing purposes. Parcel 1 is 33,254 square feet (gross), Parcel 2 is 30,084 square feet (gross), Parcel 3 is 32,075 square feet (gross), Parcel 4 is 27,982 square feet (gross), Parcel 5 is 32,056 square feet (gross), Parcel 6 is 28,063 square feet (gross), Parcel 7 is 40,857 square feet (gross), and Parcel 8 is 38,708 square feet (gross) for a total of 263,079 square feet (gross). - APN(s): 178-150-008, 178-150-009 - Related Cases: N/A - Concurrent Cases: N/A

Please review the attached exhibit(s) for the above-described project. This case is scheduled for a **CPR meeting on May 3, 2007**. All County Agencies and Departments, please have draft conditions in the Land Management System by the above date. If you cannot clear the exhibit, please have corrections in the system and DENY the routing. Once the route is complete, and the approval screen is approved with or without corrections, the case can be scheduled for a public hearing. All other agencies, please have your comments/conditions to the Planning Department as soon as possible. Your comments/recommendations/ conditions are requested so that they may be incorporated in the staff report for this particular case.

Should you have any questions regarding this item, please do not hesitate to contact **Brian Moore**, Project Planner, at (951) 955-2137 or email at bmoore@RCTLMA.org / **MAILSTOP# 1070**.

COMMENT: The Jurupa Unified School District is currently operating at capacity. Additional development projects will impact existing schools and create a need for additional facilities. School impact fees shall be paid pursuant to state law; even after such payment the District's schools will become increasingly impacted and overcrowded.

DATE: 4/13/07

SIGNATURE: Shelia E. Carpenter

PLEASE PRINT NAME AND TITLE: Shelia E. Carpenter, Director of Centralized Support Services

TELEPHONE: 951.360.2777

If you do not include this transmittal in your response, please include a reference to the case number and project planner's name. Thank you.



RIVERSIDE COUNTY
Economic Development Agency

MEMORANDUM

ECONOMIC DEVELOPMENT AGENCY

Robin Zimpfer
Assistant County Executive Officer/EDA

TO: Andrew Gonzalez, Planning Department
CC: Tina English, Lance Noland, John Field, Susan Swieca

FROM: **Redevelopment Agency**
Nicole Walker, Development Specialist 1

DATE: April 15, 2008

SUBJECT: **COMPREHENSIVE PLANNING REVIEW**
Comments

Case: Plot Plan 22636 Amd #2 [Construction of eight (8) industrial buildings- Rubidoux]

Site Visit: January 3, 2008

PROJECT DESCRIPTION AND LOCATION:

Plot Plan 22636, Amended No. 2 proposes to construct eight (8) industrial buildings in the community of Rubidoux. Currently vacant, the proposed project consists of 6.37 acres located at the southeast corner of Rubidoux Boulevard and 26th Street. The zoning for the proposed project is Industrial Park (I-P) and Manufacturing- Service Commercial (M-SC) and the land use designation is Light Industrial (CD: LI). Surrounding land uses include single-family residences to the south and west, vacant land to the east, and a market and mobile homes to the north. Surrounding zoning is exclusively M-SC zoning. Concurrent planning cases include Tentative Parcel Map 35267, Amended No. 2, a proposal to subdivide the project site into eight (8) separate parcels and Fast Track Case No. 2007-35.

REDEVELOPMENT PROJECT AREA(S)

The proposed project is located in the Jurupa Valley Project Area (JVPA) (Rubidoux sub-area).

REDEVELOPMENT AGENCY COMMENTS:

The mission of the Redevelopment Agency is to eliminate present blight and prevent the potential for future blight in and ultimately add value to, all redevelopment project areas by recommending approval of projects that meet the highest standards of quality possible. This is of particular concern in the Rubidoux sub-area where blighting conditions are still present. In addition, it is of absolute importance that all new development in the sub-area be designed to upgrade the aesthetics of the surrounding area and minimize the potential for environmental degradation and issues relating to the health, safety and welfare of the public.



RIVERSIDE COUNTY
Economic Development Agency

MEMORANDUM

ECONOMIC DEVELOPMENT AGENCY

Robin Zimpfer
Assistant County Executive Officer/EDA

Comprehensive Planning Review Comments
Re: Plot Plan 22636 Amd #2
April 15, 2008
Page 2

The proposed project looks attractive. It appears as if the applicant put a lot of thought into the aesthetics of the proposed structures and landscaping.

The Redevelopment Agency has no further comments/concerns regarding the proposed project at this time.



RIVERSIDE COUNTY
Economic Development Agency

Fast Track Authorization

Case No.: _____

FTA No. 2007-35

SUPERVISOR: John Tavaglione

SUPERVISORIAL DISTRICT: 2

Company/Developer: Rubidoux Industrial Park, LLC.

Contact: Rigo Vazquez

Address: 890 E. Ontario Blvd., Ontario Ca. 91761

Phone: (909) 208-3403

Fax: (909) 460-2513

Email: Rvazquez@advancofire.com

Architectural Firm: Calculus, Inc.

Contact: Jorge Castillo

Address: 2121 West Imperial Hwy., Suite 403, La Habra Ca. 90631

Phone: (562) 682-3620

Fax: (562) 684-0130

Email: CalculusInc@charter.net

Engineering Firm: Calculus, Inc.

Contact: Jorge Castillo

Address: 2121 West Imperial Hwy., Suite 403, La Habra Ca. 90631

Phone: (562) 682-3620

Fax: (562) 684-0130

Email: CalculusInc@charter.net

Land Use Application(s): ☐ General Plan Amendment ☐ Conditional Use Permit ☐ Change of Zone

☒ Plot Plan ☒ Parcel Map ☐ Other _____

Site Information:

Assessor's Parcel Number(s) 178-150-008

Cross Streets/Address 26th St. and Rubidoux Blvd.

Land Use Designation Light Industrial

Zoning I-P

Site Acreage 6.37

Redevelopment Project Area/Sub-Area: Jurupa Valley Project Area

Project Information (Estimate Amounts):

Eligibility Criteria ☒ Full Time Jobs ☐ Capital Investment ☒ Annual Taxable Sales ☐ Board of Supervisors ☐ Child Care
☐ Workforce Housing ☐ Other _____

Permanent Full-Time Jobs 80

Wages per Hour \$10-25

Construction Jobs 60

Capital Investment \$8,000,000

Taxable Sales \$32,000,000

Bldg Size 96,000

Project Type

☐ Commercial

☒ Industrial

☐ Office

☐ Residential

☐ Other _____

Industrial Classification Manufacturing

Commercial Classification N/A

Project Description:

Rubidoux industrial park proposes to develop eight industrial concrete tilt-up buildings at 12,000 sq. ft. each totaling 96,000 sq. ft.

The Economic Development Agency (EDA) hereby acknowledges that the above referenced development warrants special consideration relative to the permit processing as required by the County of Riverside, and encourages the affected County agencies to immediately institute "FAST TRACK" procedures to enable the project to proceed as soon as possible, in accordance with Board Fast Track Policy A-32. *This Authorization contains preliminary project information and serves as a basis for determining "FAST TRACK" eligibility. During the county's development review process, the proposed project size and configuration may be altered.

Robin Zimpfer
Robin Zimpfer, Assistant County Executive Director/EDA

Date 12-6-07

COUNTY OF RIVERSIDE
TRANSPORTATION AND LAND MANAGEMENT AGENCY
Planning Department
Robert C. Johnson Planning Director

APPLICATION FOR LAND USE AND DEVELOPMENT

CHECK ONE AS APPROPRIATE:

- ☒ PLOT PLAN ☐ CONDITIONAL USE PERMIT ☐ TEMPORARY USE PERMIT
☐ REVISED PERMIT ☐ PUBLIC USE PERMIT ☐ VARIANCE

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED.

CASE NUMBER: PP 22636 DATE SUBMITTED: 3/14/07

APPLICATION INFORMATION

Applicant's Name: Rigo VAZQUEZ E-Mail: RVAZQUEZ@ADVANCE FIRE.COM

Mailing Address: 615 S. OAKS AVE.
ONTARIO CA 91762
City State ZIP

Daytime Phone No: (909) 208-3403 Fax No: (909) 460-2513

Engineer/Representative's Name: HATEM SAYED E-Mail: hsayed@hfinc.com

Mailing Address: 9130 ANAHEIM STE 120
RANCHO CUCAMONGA CA 91730
City State ZIP

Daytime Phone No: (909) 919-7800 Fax No: (909) 919-7801

Property Owner's Name: RUBIDOUX INDUSTRIAL PARK, LLC E-Mail: RVAZQUEZ@ADVANCE FIRE.COM

Mailing Address: 176 W. BRYANT ST.
BLOOMINGTON CA 92316
City State ZIP

Daytime Phone No: (909) 208-3403 Fax No: (909) 460-2513

If the property is owned by more than one person, attach a separate page that reference the application case number and lists the names, mailing addresses, and phone numbers of all persons having an interest in the real property or properties involved in this application.

The Planning Department will primarily direct communications regarding this application to the person identified above as the Applicant. The Applicant may be the property owner, representative, or other assigned agent.

APPLICATION FOR LAND USE AND DEVELOPMENT

AUTHORIZATION FOR CONCURRENT FEE TRANSFER

The signature below authorizes the Planning Department and TLMA to expedite the refund and billing process by transferring monies among concurrent applications to cover processing costs as necessary. Fees collected in excess of the actual cost of providing specific services will be refunded. If additional funds are needed to complete the processing of your application, you will be billed, and processing of the application will cease until the outstanding balance is paid and sufficient funds are available to continue the processing of the application. The applicant understands the deposit fee process as described above, and that there will be NO refund of fees which have been expended as part of the application review or other related activities or services, even if the application is withdrawn or the application is ultimately denied.

All signatures must be originals ("wet-signed"). Photocopies of signatures are **not** acceptable.

Rigo Vazquez

PRINTED NAME OF APPLICANT

[Signature]

SIGNATURE OF APPLICANT

AUTHORITY FOR THIS APPLICATION IS HEREBY GIVEN:

I certify that I am/we are the record owner(s) or authorized agent and that the information filed is true and correct to the best of my knowledge. An authorized agent must submit a letter from the owner(s) indicating authority to sign the application on the owner's behalf.

All signatures must be originals ("wet-signed"). Photocopies of signatures are **not** acceptable.

MICHAEL A. MADRID

PRINTED NAME OF PROPERTY OWNER(S)

[Signature]

SIGNATURE OF PROPERTY OWNER(S)

RIGO B. VAZQUEZ

PRINTED NAME OF PROPERTY OWNER(S)

[Signature]

SIGNATURE OF PROPERTY OWNER(S)

If the property is owned by more than one person, attach a separate sheet that references the application case number and lists the printed names and signatures of all persons having an interest in the property.

PROPERTY INFORMATION:

Assessor's Parcel Number(s): 178-150-008 / 178-150-009

Section: 10 Township: TS2 Range: RSW

Approximate Gross Acreage: 6.5 AC

General location (street address, cross streets, etc.): North of 28TH ST., South of 26TH ST., East of HALL ST., West of RUBIDOUX BLVD.

Thomas Brothers map, edition year, page number, and coordinates: RIVERSIDE COUNTY PG. 645
GRID E-7

Proposal (describe project, indicate the number of proposed lots/parcels, units, and the schedule of the subdivision, Vesting Map, PRD):

APPLICATION FOR LAND USE AND DEVELOPMENT

8 Industrial buildings, 8 parcels proposed.
Schedule E.

Related cases filed in conjunction with this request:

PAR - 00958

Is there a previous development application filed on the same site: Yes ☐ No ☒

If yes, provide Case No(s). _____ (Parcel Map, Zone Change, etc.)

E.A. No. (if known) _____ E.I.R. No. (if applicable): _____

Have any special studies or reports, such as a traffic study, biological report, archaeological report, geological or geotechnical reports, been prepared for the subject property? Yes ☒ No ☐

If yes, indicate the type of report(s) and provide a copy: MS4CP

Is water service available at the project site: Yes ☒ No ☐

If "No," how far must the water line(s) be extended to provide service? (No. of feet/miles) _____

Is sewer service available at the site? Yes ☒ No ☐

If "No," how far must the sewer line(s) be extended to provide service? (No. of feet/miles) _____

Will the proposal result in cut or fill slopes steeper than 2:1 or higher than 10 feet? Yes ☐ No ☒

How much grading is proposed for the project site?

Estimated amount of cut = cubic yards: 58,800

Estimated amount of fill = cubic yards 20,270

Does the project need to import or export dirt? Yes ☒ No ☐

Import _____ Export 38,530 Neither _____

What is the anticipated source/destination of the import/export?

Export will be transferred to Emerald Meadows Ranch PM 32971

What is the anticipated route of travel for transport of the soil material?

Rubidoux Blvd.

APPLICATION FOR LAND USE AND DEVELOPMENT

How many anticipated truckloads? 3,210 truck loads.

What is the square footage of usable pad area? (area excluding all slopes) 226,872 sq. ft.

Is the development proposal located within 8½ miles of March Air Reserve Base? Yes ☐ No ☒

If yes, will any structure exceed fifty-feet (50') in height (above ground level)? Yes ☐ No ☒

Does the development project area exceed more than one acre in area? Yes ☒ No ☐

If yes, in which one of the following watersheds is it located (refer to Riverside County GIS for watershed location)?

Check answer:

☒ Santa Ana River

☐ Santa Margarita River

☐ San Jacinto River

☐ Colorado River

HAZARDOUS WASTE SITE DISCLOSURE STATEMENT

Government Code Section 65962.5 requires the applicant for any development project to consult specified state-prepared lists of hazardous waste sites and submit a signed statement to the local agency indicating whether the project is located on or near an identified site. Under the statute, no application shall be accepted as complete without this signed statement.

I (we) certify that I (we) have investigated our project with respect to its location on or near an identified hazardous waste site and that my (our) answers are true and correct to the best of my (our) knowledge. My (Our) investigation has shown that:

☒ The project is not located on or near an identified hazardous waste site.

☐ The project is located on or near an identified hazardous waste site. Please list the location of the hazardous waste site(s) on an attached sheet.

Owner/Representative (1) 

Date 12-21-06

Owner/Representative (2) 

Date 12-21-06

COUNTY OF RIVERSIDE
TRANSPORTATION AND LAND MANAGEMENT AGENCY
Planning Department
Robert C. Johnson Planning Director

APPLICATION FOR SUBDIVISION AND DEVELOPMENT

CHECK ONE AS APPROPRIATE:

- | | | |
|--|---|---|
| <input type="checkbox"/> TRACT MAP | <input type="checkbox"/> MINOR CHANGE | <input type="checkbox"/> VESTING MAP |
| <input type="checkbox"/> REVISED MAP | <input type="checkbox"/> REVERSION TO ACREAGE | <input type="checkbox"/> EXPIRED RECORDABLE MAP |
| <input checked="" type="checkbox"/> PARCEL MAP | <input type="checkbox"/> AMENDMENT TO FINAL MAP | |

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED.

CASE NUMBER: PM35267 DATE SUBMITTED: _____

APPLICATION INFORMATION

Applicant's Name: Rigo Vazquez E-Mail: RVAZQUEZ@ADVANTO FIRE.COM

Mailing Address: 615 S. OAKS AVE
ONTARIO Ca 91762
City State ZIP

Daytime Phone No: (909) 208-3403 Fax No: (909) 460-2513

Engineer/Representative's Name: Hatem Sayed E-Mail: hsayed@hfine.com

Mailing Address: 9130 Anaheim pl., Ste. 120
Rancho Cucamonga Ca 91730
City State ZIP

Daytime Phone No: (909) 919-7800 Fax No: (909) 919-7801

Property Owner's Name: Rubidoux Industrial Park LLC E-Mail: RVAZQUEZ@ADVANTO FIRE.COM

Mailing Address: 176 W. Bryant St.
Bloomington Ca 92316
City State ZIP

Daytime Phone No: (909) 208-3403 Fax No: (909) 460-2513

If additional persons have an ownership interest in the subject property in addition to that indicated above, attach a separate sheet that references the application case number and lists the names, mailing addresses, and phone numbers of those persons having an interest in the real property or properties involved in this application.

The Planning Department will primarily direct communications regarding this application to the person identified above as the Applicant. The Applicant may be the property owner, representative, or other assigned agent.

APPLICATION FOR SUBDIVISION AND DEVELOPMENT

AUTHORIZATION FOR CONCURRENT FEE TRANSFER

The signature below authorizes the Planning Department and TLMA to expedite the refund and billing process by transferring monies among concurrent applications to cover processing costs as necessary. Fees collected in excess of the actual cost of providing specific services will be refunded. If additional funds are needed to complete the processing of your application, you will be billed, and processing of the application will cease until the outstanding balance is paid and sufficient funds are available to continue the processing of the application. The applicant understands the deposit fee process as described above, and that there will be NO refund of fees which have been expended as part of the application review or other related activities or services, even if the application is withdrawn or the application is ultimately denied.

All signatures must be originals ("wet-signed"). Photocopies of signatures are not acceptable.

Rigoberto Vazquez
PRINTED NAME OF APPLICANT

[Signature]
SIGNATURE OF APPLICANT

AUTHORITY FOR THIS APPLICATION IS HEREBY GIVEN:

I certify that I am/we are the record owner(s) or authorized agent and that the information filed is true and correct to the best of my knowledge. An authorized agent must submit a letter from the owner(s) indicating authority to sign the application on the owner's behalf.

All signatures must be originals ("wet-signed"). Photocopies of signatures are not acceptable.

Michael A. Madrid
PRINTED NAME OF PROPERTY OWNER(S)

[Signature]
SIGNATURE OF PROPERTY OWNER(S)

Rigo B. Vazquez
PRINTED NAME OF PROPERTY OWNER(S)

[Signature]
SIGNATURE OF PROPERTY OWNER(S)

If the subject property is owned by persons who have not signed as owners above, attach a separate sheet that references the application case number and lists the printed names and signatures of all persons having an interest in the property.

PROPERTY INFORMATION:

Assessor's Parcel Number(s): 178-150-008 / 178-150-009

Section: 10 Township: T52 Range: R5W

Approximate Gross Acreage: 6.5 AC

General location (street address, cross streets, etc.): North of 28th St., South of 26th St., East of Hall St., West of Rubideux Blvd

Thomas Brothers map, edition year, page number, and coordinates: Riverside County Pg. 645, Grid E-7

APPLICATION FOR SUBDIVISION AND DEVELOPMENT

Proposal (describe project, indicate the number of proposed lots/parcels, units, and the schedule of the subdivision, whether the project is a Vesting Map or Planned Residential Development (PRD):

8 Industrial buildings, 8 parcels proposed,
Schedule E.

Related cases filed in conjunction with this request:

PAR-00958

Is there a previous development application filed on the same site: Yes ☐ No ☒

If yes, provide Case No(s). _____ (Parcel Map, Zone Change, etc.)

E.A. No. (if known) _____ E.I.R. No. (if applicable): _____

Have any special studies or reports, such as a traffic study, biological report, archaeological report, geological or geotechnical reports, been prepared for the subject property? Yes ☒ No ☐

If yes, indicate the type of report(s) and provide a copy: MSHCP

Is water service available at the project site: Yes ☒ No ☐

If "No," how far must the water line(s) be extended to provide service? (No. of feet/miles) _____

Is sewer service available at the site? Yes ☒ No ☐

If "No," how far must the sewer line(s) be extended to provide service? (No. of feet/miles) _____

Will the proposal result in cut or fill slopes steeper than 2:1 or higher than 10 feet? Yes ☐ No ☒

How much grading is proposed for the project site?

Estimated amount of cut = cubic yards: 58,800

Estimated amount of fill = cubic yards 20,270

Does the project need to import or export dirt? Yes ☒ No ☐

Import _____ Export 38,530 Neither _____

What is the anticipated source/destination of the import/export?

export will be transferred to Emerald Meadows Ranch PM 32971

APPLICATION FOR SUBDIVISION AND DEVELOPMENT

What is the anticipated route of travel for transport of the soil material?

Rebideux Blvd.

How many anticipated truckloads? 3,210 truck loads.

What is the square footage of usable pad area? (area excluding all slopes) 226,872 sq. ft.

If this is a residential subdivision, is it located in a Recreation and Park District or County Service Area authorized to collect fees for park and recreational services? Yes ☐ No ☒

If yes, does the subdivision intend to dedicate land or pay Quimby fees, or a combination of both?

Dedicate land ☐ Pay Quimby fees ☐ Combination of both ☐

Is the subdivision located within 8½ miles of March Air Reserve Base? Yes ☐ No ☒

If yes, will any structure exceed fifty-feet (50') in height (above ground level)? Yes ☐ No ☐

Does the subdivision exceed more than one acre in area? Yes ☒ No ☐

If yes, in which one of the following watersheds is it located (refer to Riverside County GIS for watershed location)?

Check answer:

☒ Santa Ana River

☐ Santa Margarita River

☐ San Jacinto River

☐ Colorado River

HAZARDOUS WASTE SITE DISCLOSURE STATEMENT

Government Code Section 65962.5 requires the applicant for any development project to consult specified state-prepared lists of hazardous waste sites and submit a signed statement to the local agency indicating whether the project is located on or near an identified site. Under the statute, no application shall be accepted as complete without this signed statement.

I (we) certify that I (we) have investigated our project with respect to its location on or near an identified hazardous waste site and that my (our) answers are true and correct to the best of my (our) knowledge. My (Our) investigation has shown that:

☒ The project is not located on or near an identified hazardous waste site.

☐ The project is located on or near an identified hazardous waste site. Please list the location of the hazardous waste site(s) on an attached sheet.

Owner/Representative (1) 

Date 12-21-06

Owner/Representative (2) 

Date 12-21-06

PROPERTY OWNERS CERTIFICATION FORM

I, VINNIE NGUYEN, certify that on 3/21/2011.

The attached property owners list was prepared by Riverside County GIS.

APN (s) or case numbers Pm 35267/PP22636/FTA2007-35 For

Company or Individual's Name Planning Department.

Distance buffered 800'.

Pursuant to application requirements furnished by the Riverside County Planning Department, Said list is a complete and true compilation of the owners of the subject property and all other property owners within 600 feet of the property involved, or if that area yields less than 25 different owners, all property owners within a notification area expanded to yield a minimum of 25 different owners, to a maximum notification area of 2,400 feet from the project boundaries, based upon the latest equalized assessment rolls. If the project is a subdivision with identified off-site access/improvements, said list includes a complete and true compilation of the names and mailing addresses of the owners of all property that is adjacent to the proposed off-site improvement/alignment.

I further certify that the information filed is true and correct to the best of my knowledge. I understand that incorrect or incomplete information may be grounds for rejection or denial of the application.

NAME: Vinnie Nguyen

TITLE GIS Analyst

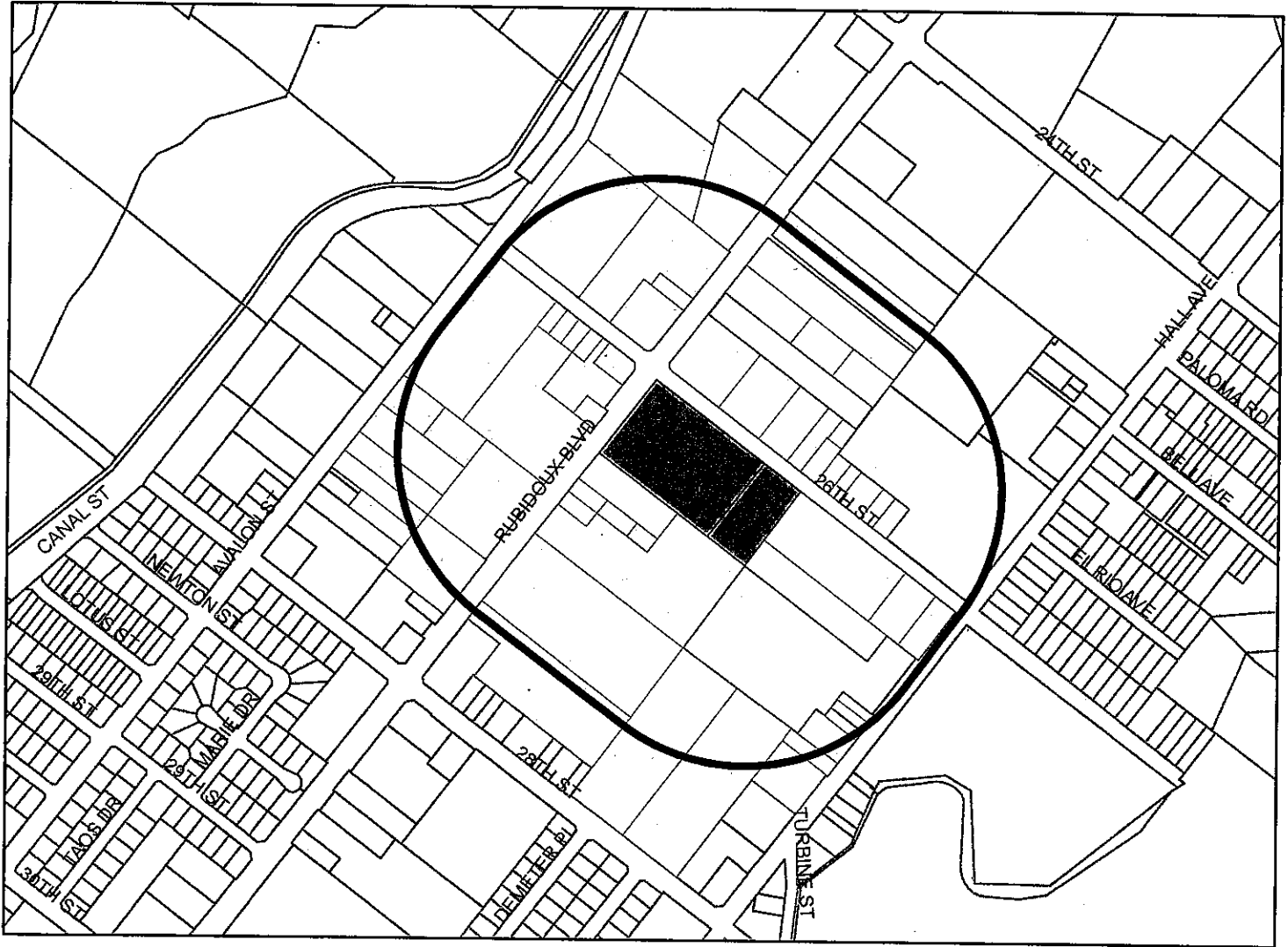
ADDRESS: 4080 Lemon Street 2nd Floor

Riverside, Ca. 92502

TELEPHONE NUMBER (8 a.m. – 5 p.m.): (951) 955-8158

checked by:
Vca [signature]
Exp: 9-21-11

800 feet buffer



Selected Parcels

178-160-001	178-090-009	178-230-008	178-140-012	178-102-013	178-090-002	178-230-014	178-140-020	178-230-001	178-230-005
178-230-006	178-140-008	178-140-009	178-090-004	178-230-019	178-140-018	178-140-010	178-230-016	178-140-013	178-102-006
178-230-015	178-230-009	178-222-010	178-140-002	178-140-005	178-140-006	178-102-003	178-102-001	178-102-004	178-102-002
178-150-006	178-230-013	178-140-016	178-140-015	178-140-014	178-140-017	178-150-004	178-150-005	178-160-004	178-102-011
178-140-011	178-230-012	178-102-010	178-102-012	178-090-005	178-150-003	178-160-003	178-101-004	178-160-002	178-102-009
178-160-005	178-150-009	178-150-008	178-140-021	178-090-007	178-230-002	178-150-001	178-150-002	178-150-007	178-140-007
178-090-003									



810 405 0 810 Feet

Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

APN: 178160001, ASMT: 178160001
ADAN SALAZAR CASTILLO
0

APN: 178140020, ASMT: 178140020
BETON IND
1230 W 130TH ST
GARDENA CA 90247

APN: 178090009, ASMT: 178090009
ALEC COMMERCIAL PROP
2200 S YALE ST
SANTA ANA CA 92703

APN: 178230001, ASMT: 178230001
BETTY M CREASON
0

APN: 178230008, ASMT: 178230008
AMELIA LENOIR
3289 RUTHANN DR
RIVERSIDE CA 92509

APN: 178230006, ASMT: 178230006
CARLOS RAMIREZ RIOS, ETAL
C/O OLGA RIOS
3713 PINE AVE
EL MONTE CA 91731

APN: 178140012, ASMT: 178140012
ANTONIO OROZCO
0

APN: 178140009, ASMT: 178140009
CAROLA GILES
2418 W CALDWELL
COMPTON CA 90220

APN: 178102013, ASMT: 178102013
AWI PROP
2459 LEE AVE
SOUTH EL MONTE CA 91733

APN: 178090004, ASMT: 178090004
CATHEDRAL OF PRAISE
P O BOX 736
RIALTO CA 92377

APN: 178090002, ASMT: 178090002
BARRY W LOOP, ETAL
2542 AVALON ST
RIVERSIDE CA 92509

APN: 178230019, ASMT: 178230019
DANIEL M MCMAHON
27164 NUEVO RD
PERRIS CA 92571

APN: 178230014, ASMT: 178230014
BENEDICTO PEREZ, ETAL
3297 FELISA CT
RIVERSIDE CA 92509

APN: 178140010, ASMT: 178140010
DAVID W FREWING, ETAL
109 STONE CANYON RD
BOULDER CITY NV 89005



APN: 178230016, ASMT: 178230016
ELIZABETH VIRGINIA WILLIAMS
1234 MASSACHUSETTS
WASHINGTON DC 20005

APN: 178140006, ASMT: 178140006
JAMES A SMITH
645 S SANTA FE
SANTA ANA CA 92705

APN: 178140013, ASMT: 178140013
GILBERTO B VASQUEZ, ETAL
0

APN: 178102002, ASMT: 178102002
JOANNE C LEWIS
20325 STANFORD AVE
RIVERSIDE CA 92507

APN: 178102006, ASMT: 178102006
HARRIS G BRODERICK, ETAL
P O BOX 2040
LOMPOC CA 93436

APN: 178150006, ASMT: 178150006
JOHN ANKHASIRISAN, ETAL
911 SAND SPOLING
WHITTIER CA 90601

APN: 178230015, ASMT: 178230015
HECTOR RAMIREZ, ETAL
5490 26TH ST
RIVERSIDE CA 92509

APN: 178230013, ASMT: 178230013
JOSE RAMON SANCHEZ
0

APN: 178230009, ASMT: 178230009
ISAIAS FONSECA, ETAL
0

APN: 178140014, ASMT: 178140014
JOSEPH J ADAMS, ETAL
2625 RUBIDOUX BLV
RIVERSIDE CA 92509

APN: 178222010, ASMT: 178222010
J GUADALUPE GARCIA, ETAL
621 E SPRUCE ST
ONTARIO CA 91761

APN: 178150004, ASMT: 178150004
LARTHELL SIMS
0

APN: 178140002, ASMT: 178140002
JAMES A HOLLEY
2928 TAOS DR
RIVERSIDE CA 92509

APN: 178150005, ASMT: 178150005
LARTHELL SIMS
2670 RUBIDOUX BLV
RIVERSIDE CA 92509



APN: 178140011, ASMT: 178140011
MARIO MARTINEZ
0

APN: 178160005, ASMT: 178160005
RUBEN SANDOVAL
0

APN: 178230012, ASMT: 178230012
MAYER II LTD
STE 1
24564 HAWTHORNE BLVD
TORRANCE CA 90505

APN: 178150008, ASMT: 178150008
RUBIDOUX INDUSTRIAL PARK
890 E ONTARIO BLV
ONTARIO CA 91761

APN: 178102012, ASMT: 178102012
MONA ANN RODRIGUEZ, ETAL
67960 ONTINA RD
CATHEDRAL CITY CA 92234

APN: 178140021, ASMT: 178140021
SCELZI BROS
2772 S CHERRY AVE
FRESNO CA 93706

APN: 178150003, ASMT: 178150003
NICK KALAJ, ETAL
0

APN: 178090007, ASMT: 178090007
SIERRA PACIFIC ELECTRICAL CONTRACTING
0

APN: 178160003, ASMT: 178160003
PEDRE PARREIRA M TROVAO
18326 DEVLIN
ARTESIA CA 90701

APN: 178230002, ASMT: 178230002
SILVANO TORRES
10268 56TH ST
MIRA LOMA CA 91752

APN: 178101004, ASMT: 178101004
POUK & STEINLE INC
C/O BOB BRISCOE
0

APN: 178150002, ASMT: 178150002
STOCKDALE INV GROUP INC
26000 COMMERCENTRE DR
LAKE FOREST CA 92630

APN: 178160002, ASMT: 178160002
RICHARD BUTTS
UNKNOWN 8/12/97
RECHECKED 11/18/2004 0

APN: 178150007, ASMT: 178150007
TIM SWIFT, ETAL
5001 VICTORIA AVE
RIVERSIDE CA 92506



APN: 178140007, ASMT: 178140007
WALTER BROWN, ETAL
0

APN: 178090003, ASMT: 178090003
YALE COMMERCIAL REAL ESTATE
2200 S YALE ST
SANTA ANA CA 92705

ATTN: Mr. Snyder
Community Services District,
City of Rubidoux
3590 Rubidoux Blvd.
Riverside, CA 92509-4525

Centralized Correspondence,
Southern California Gas Company
P.O. Box 3150
San Dimas, CA 91773

Cultural Resources Committee,
Pechanga Band of Luiseno Mission
Indians
P.O. Box 2183
Temecula, CA 92593

Eastern Information Center
Dept. of Anthropology
1334 Watkins Hall, University of
California, Riverside
Riverside, CA 92521-0418

Jurupa Area Recreation & Park District
4810 Pedley Rd.
Riverside, CA 92509

Jurupa Mountains Cultural Center
7621 Granite Hill Dr.
Riverside, CA 92509-1202

ATTN: Pam Lauzon & Janet Dewhirst
Jurupa Unified School District
4850 Pedley Rd.
Riverside, CA 92509-3966

ATTN: Executive Officer
Reg. Water Quality Control Board #8
Santa Ana
3737 Main St., Suite 500
Riverside, CA 92501-3348

Soboba Band of Luiseno Indians
P.O. Box 487
San Jacinto, CA 92581

Southern California Edison
2244 Walnut Grove Ave., Rm 312
P.O. Box 600
Rosemead, CA 91770

Rachel Lopez
Center for Community Action &
Environmental Justice
P.O. Box 33124
Riverside, CA 925190

Monique Carter
Economic Development Agency
Mail Stop # 1330

Applicant:
Rigoberto Vazquez Sr.
615 South Oaks Avenue
Ontario, CA 91762

Engineer:
Jorge A. Castillo, PE
Calculus Inc.
2121 W. Imperial Hwy. #403
La Habra, CA 90631

Owner:
Rubidoux Industrial Park LLC
Rigoberto Vazquez, Managing Partner
615 South Oaks Avenue
Ontario, CA 91762





FOR COUNTY CLERK'S USE ONLY

COUNTY OF RIVERSIDE
SPECIALIZED DEPARTMENT RECEIPT
Permit Assistance Center

D* REPRINTED * R0704222

4080 Lemon Street
Second Floor
Riverside, CA 92502
(951) 955-3200

39493 Los Alamos Road
Suite A
Murrieta, CA 92563
(951) 694-5242

38686 El Cerrito Rd
Indio, CA 92211
(760) 863-8271

Received from: VAZQUEZ RIGO \$64.00
paid by: CK 1023
CFG FOR EA41306
paid towards: CFG04681 CALIF FISH & GAME: DOC FEE
at parcel:
appl type: CFG3

By VDOMINGU Mar 14, 2007 13:10
posting date Mar 14, 2007

Account Code	Description	Amount
658353120100208100	CF&G TRUST: RECORD FEES	\$64.00

Overpayments of less than \$5.00 will not be refunded!

COUNTY OF RIVERSIDE
SPECIALIZED DEPARTMENT RECEIPT
Permit Assistance Center

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4080 Lemon Street
Second Floor
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(951) 955-3200

39493 Los Alamos Road
Suite A
Murrieta, CA 92563
(951) 694-5242

38686 El Cerrito Rd
Indio, CA 92211
(760) 863-8271

Received from: VAZQUEZ RIGO
paid by: CK 1145
CFG FOR EA41306
paid towards: CFG04681 CALIF FISH & GAME: DOC FEE
at parcel:
appl type: CFG3

\$2,010.25

By _____ Jul 28, 2010 10:50
MGARDNER posting date Jul 28, 2010

Account Code	Description	Amount
658353120100208100	CF&G TRUST	\$2,010.25

Overpayments of less than \$5.00 will not be refunded!

COUNTY OF RIVERSIDE
SPECIALIZED DEPARTMENT RECEIPT
Permit Assistance Center

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4080 Lemon Street
Second Floor
Riverside, CA 92502
(951) 955-3200

39493 Los Alamos Road
Suite A
Murrieta, CA 92563
(951) 694-5242

38686 El Cerrito Rd
Indio, CA 92211
(760) 863-8271

Received from: VAZQUEZ RIGO

\$33.75

paid by: MC 05164Z

CFG FOR EA41306

paid towards: CFG04681

CALIF FISH & GAME: DOC FEE

at parcel:

appl type: CFG3

By _____ Dec 21, 2010 10:25
JCMITCHE posting date Dec 21, 2010

Account Code	Description	Amount
658353120100208100	CF&G TRUST	\$33.75

Overpayments of less than \$5.00 will not be refunded!