

**SUBMITTAL TO THE BOARD OF SUPERVISORS
COUNTY OF RIVERSIDE, STATE OF CALIFORNIA**

108



FROM: Economic Development Agency / Facilities Management

SUBMITTAL DATE:

March 7, 2013

SUBJECT: Fourth Amendment to Lease – Department of Public Social Services

RECOMMENDED MOTION: That the Board of Supervisors:

1. Approve the attached Fourth Amendment to Lease and authorize the Chairman of the Board to execute same on behalf of the County;
2. Approve and direct the Auditor Controller to make the budget adjustment as shown on Schedule A, attached; and
3. Find that the project is exempt from The California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15301, Existing Facilities.

BACKGROUND: (Commences on Page 2)

FISCAL PROCEDURES APPROVED
PAUL ANGULO, CPA, AUDITOR-CONTROLLER
BY Samuel Wong 3/6/13
SAMUEL WONG

Robert Field
Robert Field
Assistant County Executive Officer/EDA

FINANCIAL DATA	Current F.Y. Total Cost:	\$ 120,691	In Current Year Budget:	No
	Current F.Y. Net County Cost:	\$ 2,836	Budget Adjustment:	Yes
	Annual Net County Cost:	\$ 15,676	For Fiscal Year:	2012/13

COMPANION ITEM ON BOARD AGENDA: No

SOURCE OF FUNDS: Federal 59.63%; State 38.02%; County 2.35%

Positions To Be Deleted Per A-30	<input type="checkbox"/>
Requires 4/5 Vote	<input checked="" type="checkbox"/>

C.E.O. RECOMMENDATION:

APPROVE

BY:

Jennifer Sargent
Jennifer Sargent

County Executive Office Signature

REVIEWED BY CIP FORM APPROVED COUNTY COUNSEL DATE 2/13
 BY: PATRICIA MUNROE Departmental Concurrence
 Susan Loew, Director Department of Public Social Services
 Christopher Hans
 Dep't Recomm.: Consent Policy
 Per Exec. Ofc.: Consent Policy

Prev. Agn. Ref.: 3.8 of 5/11/99; 3.6 of 11/9/99; 3.20 of 7/27/10; 3.38 of 1/16/2011

District: 5/5

Agenda Number:

3-15

BACKGROUND:

The County holds a leasehold interest, as Lessee, under a lease between the County and Banning #169, LP, a California limited partnership, for the facility located at 63 South 4th Street, Banning.

The Department of Public Social Services (DPSS) has occupied this location for the Self Sufficiency Division since 1999. This office and location continues to meet the needs of DPSS and this Fourth Amendment to Lease represents an expansion of 1,559 square feet and lease extension. Tenant improvements will be completed in both the existing office space and expansion area to provide improved space utilization and to accommodate new staffing scheduled to occupy.

Location: 63 S. Fourth Street
Banning, CA 92220

Lessor: Banning #169, LLC
B.A.G. Investments, Inc.
10100 Culver Blvd., Suite D
Culver City, CA 90232

Size: Increasing from 23,136 to 24,695 square feet, upon completion of improvements, estimated effective June 1, 2013.

Rent:	Current	New
	\$ 1.53 per sq. ft.	\$ 1.68 per sq. ft.
	\$ 35,297.52 per month	\$ 41,487.60 per month
	\$423,570.24 per year	\$497,851.20 per year

Increases: Annually per a schedule.

Term: Five year lease extension commencing July 1, 2013.

Tenant Improvements: Not to exceed \$329,270.00 to be reimbursed in three payments over three fiscal years. In addition, new carpet, tile, and paint throughout the original 19,500 square foot space will be completed at Lessor's expense and is included in the rent.

RCIT: \$30,090.00

The attached Fourth Amendment to Lease has been reviewed and approved by County Counsel as to legal form.

FINANCIAL DATA:

All associated costs for this lease will be fully funded through the DPSS budget. DPSS has budgeted these costs in FY 2012/13; however, the Economic Development Agency (EDA) requires a budget adjustment to its FY 2012/13 budget to cover related transactional costs with the property owner. While EDA will front the costs for this lease with the property owner, DPSS will reimburse EDA for all associated lease costs.

Attachments:
Schedule A, Exhibit A, Exhibit B
Fourth Amendment to Lease

SCHEDULE A

Increase Appropriations:

47220-7200400000-526700	Rent/Lease Buildings	\$ 6,190
47220-7200400000-522410	Tenant Improvements	\$109,757

Increase Estimated Revenue:

47220-7200400000-777330	Leasing Services	\$ 6,190
47220-7200400000-781360	Misc. Revenue	\$109,757

Exhibit A

DPSS Lease Cost Analysis FY 2012/13 63 S. Fourth Street, Banning, California

Total Square Footage to be Leased:

EXPECTED AMOUNTS

Current office:	23,136 SQFT	
Total Expected Lease Cost for FY 2012/13		\$ 423,570.24

ACTUAL AMOUNTS

Current Office:	23,136 SQFT
Proposed Office:	24,695 SQFT

Approximate Cost per SQFT (July - May)		\$ 1.53
Approximate Cost per SQFT (June)		\$ 1.68

Lease Cost per Month (July - May)		\$ 35,297.52
Lease Cost per Month (June)		<u>\$ 41,487.60</u>

Total Lease Cost (July - May)		\$ 388,272.72
Total Lease Cost (June)		<u>\$ 41,487.60</u>
Total Actual Lease Cost for FY 2012/13		\$ 429,760.32
Total Lease Cost Variance for FY 2012/13		\$ 6,190.08

Estimated Additional Costs:

EXPECTED AMOUNTS

Utility Cost per Square Foot		\$ 0.12
Estimated Utility Costs per Month (July - June)		\$ 2,776.32

Total Estimated Utility Cost for FY 2012/13		\$ 33,315.84
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RCIT		\$ 30,090.00
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Tenant Improvements		\$ -
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EDA Lease Management Fee (Based @ 3.93%)		<u>\$ 16,646.31</u>
Total Estimated Expected Cost for FY 2012/13		\$ 80,052.15

ACTUAL AMOUNTS

Utility Cost per Square Foot		\$ 0.12
Costs per Month (July - May)		\$ 2,776.32
Costs per Month (June)		<u>\$ 2,963.40</u>

Total Estimated Actual Utility Cost for FY 2012/13		\$ 33,502.92
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RCIT		\$ 30,090.00
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Tenant Improvements = \$329,270/3yrs		\$ 109,756.67
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EDA Lease Management Fee (Based @ 3.93%)		<u>\$ 21,203.02</u>
Total Estimated Actual Cost for FY 2012/13		\$ 194,552.61

Total Estimated Cost Variance for FY 2012/13		<u>\$ 114,500.46</u>
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TOTAL ESTIMATED COST FOR FY 2012/13		<u>\$ 120,690.54</u>
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TOTAL COUNTY COST: 2.35%		\$ 2,836.23
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Exhibit B

DPSS Lease Cost Analysis FY 2013/14 63 S. Fourth Street, Banning, California

Current Square Feet Occupied:

Current Office:	24,695	SQFT	
Approximate Cost per SQFT (July - June)	\$	1.68	
Lease Cost per Month (July - June)			\$ 41,487.60
Total Lease Cost (July - June)			\$ 497,851.20
Total Expected Lease Cost for FY 2013/14			\$ 497,851.20
<u>Estimated Additional Costs:</u>			
Utility Cost per Square Foot	\$	0.12	
Estimated Utility Costs per Month (July - June)			<u>\$ 2,963.40</u>
Total Estimated Utility Cost for FY 2013/14			\$ 35,560.80
Tenant Improvement (2nd of 3 payments)			\$ 109,756.67
EDA Lease Management Fee (Based @ 3.93%)			<u>\$ 23,878.99</u>
TOTAL ESTIMATED COST FOR FY 2013/14			<u>\$ 667,047.66</u>
TOTAL COUNTY COST: 2.35%			\$ 15,675.62

1 **1. Description.** Section 1(a) shall be amended as follows: Upon
2 completion of the improvements referenced in Section 4 of this Fourth Amendment to
3 Lease, the premises leased will increase to approximately 24,695 square feet, located
4 at 63 South Fourth Street, Banning, California, as more particularly shown on Exhibit
5 "G," attached hereto and by this reference made a part of this Lease.

6 **2. Term.** Section 3(a) of the Lease shall be amended as follows: The term
7 of this Lease shall be extended for a period of five (5) years commencing July 1, 2013,
8 and expiring June 30, 2018.

9 **3. Rent During Extended Term.** Section 4 of the Third Amendment to
10 Lease shall be amended as follows:

11 County shall pay to Lessor the monthly sum as rent for the Leased
12 premises during the extended term of this Lease as indicated below:

13 a. Effective July 1, 2012 through June 30, 2013, the monthly rent
14 payable shall be \$35,297.52.

15 b. Effective July 1, 2013, the monthly rent payable shall be
16 \$38,868.48 and shall be payable through June 30, 2014.

17 (i) Notwithstanding the terms of Section 3(a) or 3(b) of this Fourth
18 Amendment, upon completion and acceptance by County of the tenant improvements
19 in the expansion area as set forth in paragraph 9(k) in Section 4 of this Fourth
20 Amendment to Lease, and not including those improvements set forth in paragraph
21 9(k.iv), the monthly rent shall be adjusted to \$41,487.60, and shall be payable through
22 June 30, 2014. Rent shall be prorated if completion takes effect in the middle of a
23 month.

24 c. Effective July 1, 2014, and continuing until June 30, 2015, the
25 monthly rent payable shall be \$42,243.27.

26 d. Effective July 1, 2015, and continuing until June 30, 2016, the
27 monthly rent payable shall be \$43,014.05.

28

1 e. Effective July 1, 2016, and continuing until June 30, 2017, the
2 monthly rent payable shall be \$43,800.24.

3 f. Effective July 1, 2017, and continuing until June 30, 2018, the
4 monthly rent payable shall be \$44,603.16.

5 **4. Improvements.** Section 9 shall be amended to add subsection 9 (k) as
6 follows:

7 9 (k). **Additional Improvements by Lessor.** Lessor, at its
8 expense, subject to reimbursement of the total cost by County, shall complete tenant
9 improvements per the attached Exhibit "G." Remodel work within the existing space
10 shall be performed after hours and on weekends. Tenant improvements in the
11 expansion space can be performed either during regular hours, provided staff is
12 uninterrupted, or after hours, or on weekends. Cost of the tenant improvements as paid
13 for by Lessor shall not exceed \$329,270.00, which includes a County contingency
14 amount of \$5,000.00 for change orders requested and approved by County. Upon
15 completion of the tenant improvements, Lessor shall provide County with updated
16 plans based on field changes during construction. In addition, Lessor shall provide
17 County with an itemized statement of the actual costs incurred accompanied by
18 vendor, contractor, subcontractor, and material man invoices if requested by County.
19 County shall not reimburse Lessor an amount in excess of actual costs, nor in excess
20 of \$329,270.00. County shall reimburse Lessor as follows:

21 (i) One Third (1/3) of the reimbursement amount shall be paid
22 within sixty (60) days after completion of the Leasehold Improvements and receipt of
23 invoicing with appropriate backup documents.

24 (ii) One half (1/2) of the remaining balance, together with
25 interest thereon at the rate of six percent (6%) per annum, from the date of Substantial
26 Completion until the date of payment, shall be paid no later than the month of October
27 of the County fiscal year following the fiscal year in which the initial payment referenced
28 in Subsection 9 (k) (i) above was paid.

1 (iii) The remaining balance, together with interest thereon at the
2 rate of six percent (6%) per annum, from the date of Substantial Completion until the
3 date of payment, shall be paid no later than the month of October of the County fiscal
4 year following the fiscal year in which the payment referenced in Subsection 9 (k) (ii)
5 above was paid.

6 (iv) Lessor shall, at Lessor's sole expense not subject to
7 reimbursement, complete the following improvements prior to December 31, 2013:

8 a. Replace carpet and base in original premises with Shaw
9 carpet tiles as specified by County. Lessor's responsibility shall include lifting of
10 workstations, removal of existing floor and new installation.

11 b. Paint interior of original premises.

12 c. Replace VCT and base in two existing lobby's with ceramic
13 tile and base as specified by County.

14 d. Install chair rail in lobby areas where seating is aligned.

15 e. Replace VCT and base in break room with ceramic tile and
16 base as specified by County.

17 f. Install counter for additional seating in break room.

18 g. Install wall pack lighting in secured parking area for
19 improved lighting.

20 h. Complete parking lot maintenance and repairs in secured
21 parking.

22 All work stated above to be completed in phases after hours and on weekends.

23 **5. Notices.** Section 13 of the Lease shall be amended as follows: Any
24 notices required or desired to be served by either party upon the other shall be
25 addressed to the respective parties as set forth below:

26 ///

27 ///

28 ///

1 **COUNTY:**

2 County of Riverside

3 Economic Development Agency

4 3403 Tenth Street, Suite 500

5 Riverside, California 92501

6 Attn: Deputy Director of Real Estate

7 Telephone: (951) 955-4820

LESSOR:

Banning #169, LP

c/o B.A.G. Investments, Inc.

8665 South Wilshire, Suite 302

Beverly Hills, CA 90211

(310) 289-0446

8 **6. County's Representative.** Section 19 of the Lease shall be amended as
9 follows: County hereby appoints the Assistant County Executive Officer of the
10 Economic Development Agency as its authorized representative to administer this
11 Lease.

12 **7. Fourth Amendment to Prevail.** Unless defined herein or the context
13 requires otherwise, all capitalized terms herein shall have the meaning defined in the
14 Lease, as heretofore amended. The provisions of this Fourth Amendment shall prevail
15 over any inconsistency or conflicting provisions of the Lease, as heretofore amended,
16 and shall supplement the remaining provisions thereof.

17 **8. Miscellaneous.** Except as amended or modified herein, all terms of the
18 Lease shall remain in full force and effect. If any provisions of this Amendment shall be
19 determined to be illegal or unenforceable, such determination shall not affect any other
20 provision of the Lease. Either this Amendment or the Lease shall be recorded by the
21 County.

22
23 (SIGNATURES ON NEXT PAGE)
24
25
26
27
28

1 **9.** This Fourth Amendment to Lease shall not be binding or consummated
2 until its approval by the County's Board of Supervisors.

3 Dated: 2-28-13

4 **BANNING #169, LP**, a California limited
5 partnership

6 By: 
7 Alan J. Gindi, President of B.A.G.
8 Investments, Inc.
9 General Partner

10 **COUNTY OF RIVERSIDE**, a political
11 subdivision of the State of California

12 By: _____
13 John J. Benoit, Chairman
14 Board of Supervisors

15 **ATTEST:**
16 Kecia Harper-Ihem
17 Clerk of the Board

18 By: _____
19 Deputy

20 **APPROVED AS TO FORM:**
21 PAMELA J. WALLS, County Counsel

22 By: 
23 Patricia Munroe, Deputy

24
25
26 HR:mr/022113/BA019/15.556 H:\Scans Temp Hold\Fourth Amendment to Lease - 63 S. Fourth Street, Banning;
27 FM042130001900 PM 022113.doc
28

ABRAMSON TEIGER ARCHITECTS

8924 LINBLADE STREET, CULVER CITY, CA 90232
TELEPHONE (310) 838-8998 FAX (310) 838-8332

63 SOUTH 4TH STREET

Banning, CA 92220

Project Costs
26-Dec-12

Consultant Fees	Cost
Consultants	\$21,000.00
Reimbursables	3,000.00
Sub Total - Consultant Fees	\$24,000.00

Construction Costs	Cost
Permit Fees	\$3,750.00
Construction Cost	278,090.00
Fire Protection	3,500.00
Audio Video	By County of Riverside
Security Alarm	By County of Riverside
Tel - Data - PA - Clocks - Belts	By County of Riverside
FF&E - estimated	By County of Riverside
Contingency 5%	14,930.00
Sub Total	\$300,270.00

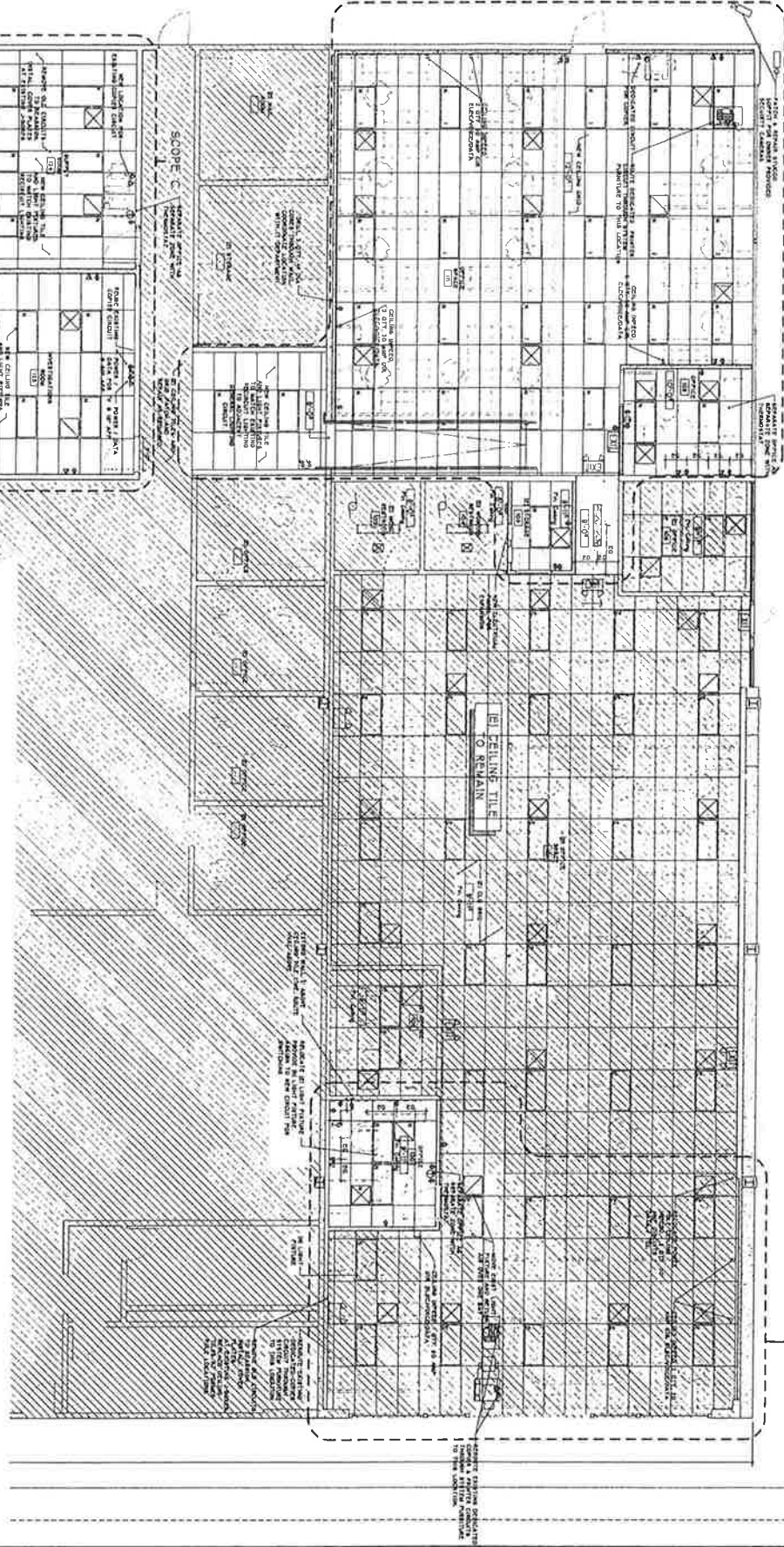
Total	\$324,270.00
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Preliminary Cost Estimate Gindi Banning Expansion 12/28/2012

Trade	Description	Cost
Title 24 MEP	Title 24, Mechanical, Electrical, Plumbing	2000
Engineering	Structural Calcs and Plans tilt up opening Building, Fire	3500
Permits	Steel post, U channel	5000
Structural Steel	Concrete wall and floor, Storage Room, Conference Room ceilings, walls	5000
Demolition	New Concrete ramp and footings	21000
Concrete	Metal stud framing, Wood beam to carry folding wall	10000
Framing	New drop in fixtures, new circuits to power poles	5000
Electrical	Connect main line from laundry to supply existing	21000
Plumbing	R-30 at roof, R-13 at ext walls, R-11 at interior walls	1500
Insulation	5/8" drywall at walls, orangepeel texture to match	3000
Drywall	Newly drywalled areas only to match existing	7000
Paint	New T bar to match latest expansion, 2011, Repair damaged areas	3500
T-bar	Sprinkle new 5000 sq. ft., connect to existing system	11000
Fire Sprinklers	Per Troy Alarm Quote dated Dec. 5, 2012	36000
Fire Safety	New Storefront 10'x37' Dual Glazed	6000
Glass	One 5 ton package with zone control, add zone control new offices and supply room	13000
HVAC	new carpet squares to match latest remodel, 2011	20000
Carpet	Ramp up to tile to be covered at lobby, fill mat location, not recommended	20000
Floor leveling	Two new interior to match, one new exterior HM with panic hardware	2000
Doors	Repairs as necessary at new HVAC and old penetrations	4000
Roof	As Required	2500
Fire Extinguishers	Aluminum handrail at new ramp	200
Handrail	Graffiti film and tint	1500
Tint	As Specified	5000
Folding wall		12000
Contractor fee		44140
Contingency		13,250
Total		<u>278090</u>

SCOPE A

SCOPE B



Reflected Ceiling Plan

ELECTRICAL LEGEND

- EXISTING LIGHT FIXTURE
- NEW LIGHT FIXTURE
- NEW LIGHT FIXTURE WITH DIMMER
- NEW LIGHT FIXTURE WITH DIMMER AND SENSITIVE DIMMING
- NEW LIGHT FIXTURE WITH DIMMER AND SENSITIVE DIMMING AND SENSITIVE DIMMING
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LEGEND

- AREA NOT IN SCOPE OF WORK
- EXISTING WALL (IF EXISTING)
- EXISTING 1 1/2" OR CONCRETE WALL TO REMAIN
- EXISTING 3 1/2" OR CONCRETE WALL TO REMAIN
- NEW PARTITION WALL, MTL. AND FINISHING PER FINISH SCHEDULE
- NEW PARTITION WALL, MTL. AND FINISHING PER FINISH SCHEDULE
- NEW PARTITION WALL, MTL. AND FINISHING PER FINISH SCHEDULE

GENERAL NOTES

1. LIGHT FIXTURES, WIRING, ELECTRICAL, AND PLUMBING TO BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL LOCAL ORDINANCES.
2. CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY AND COUNTY OF SAN DIEGO.
3. PROVIDE ROOM SCHEDULES PER ARCHITECT'S SCHEDULE.
4. CONTRACTOR TO REMOVE EXISTING LIGHT FIXTURES AND WIRING.

GB12 A 21

Reflected Ceiling Plan

DATE: 01/11/12

BY: [Signature]

**ABRAMSON
TELFER
ARCHITECTS**

2020 W. SAN ANTONIO STREET
SAN ANTONIO, TEXAS 78208
TEL: 214-520-0800
FAX: 214-520-0822

**Gindi Banning
65 S. 4th Street
Banning, CA 92220**





**ABARSON
ARCHITECTS**

1000 PARKWAY SOUTH
SUITE 200
SAN FRANCISCO, CA 94116
TEL: 415-774-0800
WWW.ABARSONARCHITECTS.COM

**Gindi Banning
65 S. 4th Street
Banning, CA 92220**



No.	Date	Revised
1	01/12/10	ISSUED FOR PERMITS
2	01/12/10	REVISED PER COMMENTS
3	01/12/10	REVISED PER COMMENTS

Code Analysis

Checklist for Code Analysis

1. Review all applicable codes and standards.

2. Verify that all code requirements are met.

3. Document any code violations and proposed solutions.

4. Obtain approval from the relevant authority.

PERMITTED OCCUPANCY

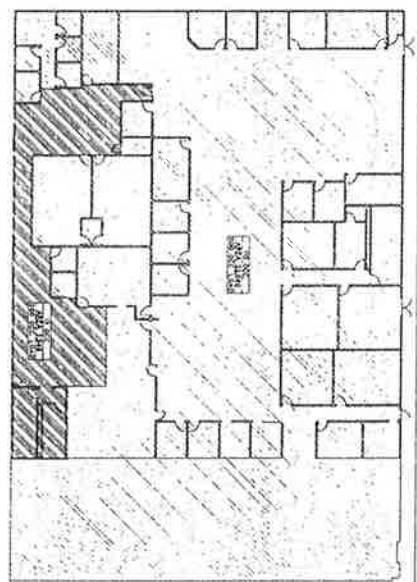
PERMITTED OCCUPANCY: RESIDENTIAL

PERMITTED OCCUPANCY: COMMERCIAL

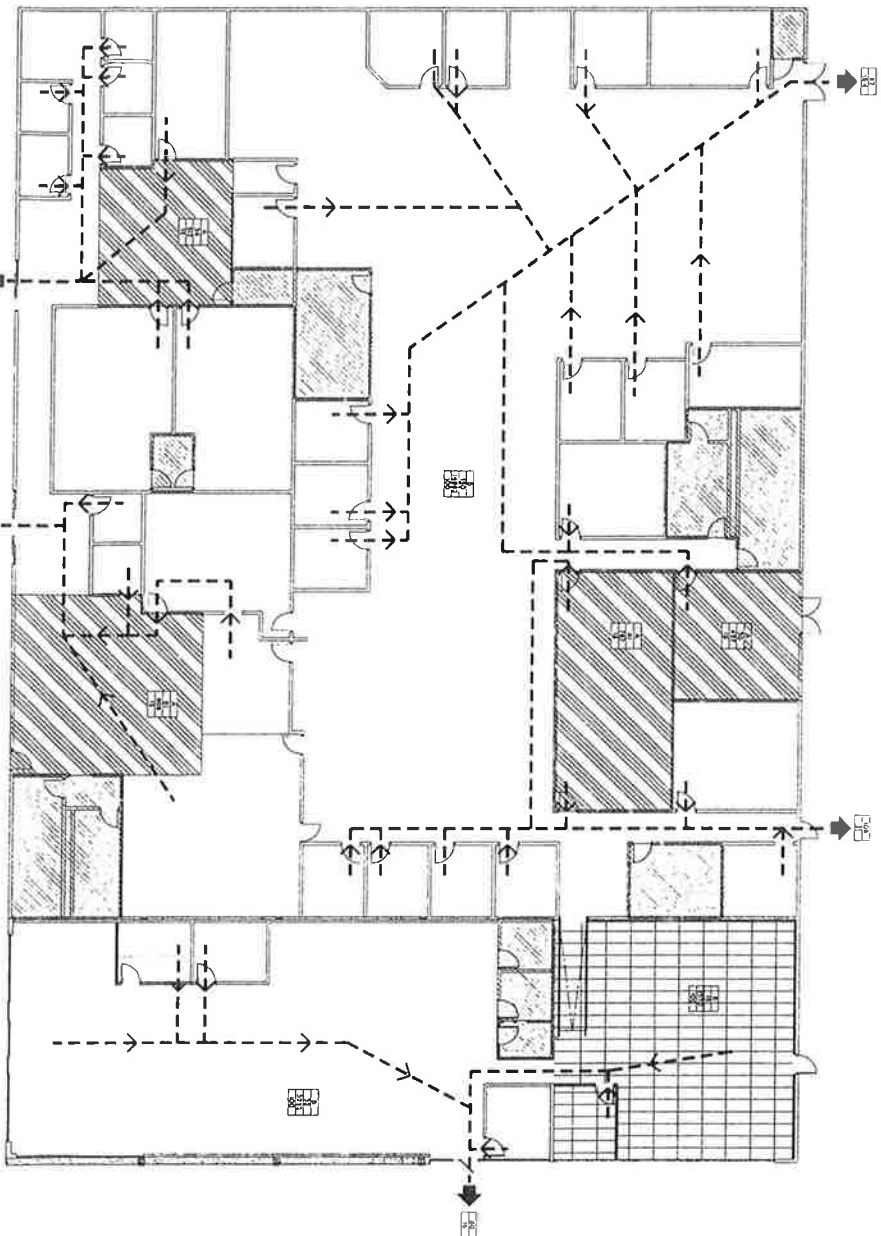
PERMITTED OCCUPANCY: INDUSTRIAL

PERMITTED OCCUPANCY: PUBLIC USE

PERMITTED OCCUPANCY: OTHER



Parking Future Court
Scale: 1/8" = 1'-0"



Occupancy Load and Egress Plan
Scale: 1/8" = 1'-0"

GENERAL NOTES

- SEE ARCHITECT'S PLAN FOR ROOM SCHEDULES.
- SEE ARCHITECT'S PLAN FOR OCCUPANCY LOADS.
- SEE ARCHITECT'S PLAN FOR EGRESS PATHS.
- SEE ARCHITECT'S PLAN FOR EGRESS WIDTHS.
- SEE ARCHITECT'S PLAN FOR EGRESS DOORS.
- SEE ARCHITECT'S PLAN FOR EGRESS STAIRS.
- SEE ARCHITECT'S PLAN FOR EGRESS RAMP.
- SEE ARCHITECT'S PLAN FOR EGRESS SIGNAGE.
- SEE ARCHITECT'S PLAN FOR EGRESS LIGHTING.
- SEE ARCHITECT'S PLAN FOR EGRESS SMOKE DETECTORS.
- SEE ARCHITECT'S PLAN FOR EGRESS SPRINKLERS.
- SEE ARCHITECT'S PLAN FOR EGRESS EXITS.
- SEE ARCHITECT'S PLAN FOR EGRESS ESCAPE ROUTES.
- SEE ARCHITECT'S PLAN FOR EGRESS HOLD-OPEN DEVICES.
- SEE ARCHITECT'S PLAN FOR EGRESS INTERCOM SYSTEMS.
- SEE ARCHITECT'S PLAN FOR EGRESS PAIRING.

LEGEND

- ACCENTED USE SPACE
- ASSEMBLY OCCUPANCY
- CONCENTRATED
- MINOR OCCUPANCY

TABLE: DISTANCE TO EXITS

ROOM	MAX DISTANCE TO EXIT	MIN DISTANCE TO EXIT
OFFICE	100 FT	50 FT
RECEPTION	100 FT	50 FT
CONFERENCE	100 FT	50 FT
RESTROOM	100 FT	50 FT
STAIR	100 FT	50 FT
RAMP	100 FT	50 FT
EXIT	100 FT	50 FT

TABLE: OCCUPANCY LOADS

ROOM	OCCUPANCY	LOAD
OFFICE	RESIDENTIAL	10
RECEPTION	RESIDENTIAL	10
CONFERENCE	RESIDENTIAL	10
RESTROOM	RESIDENTIAL	10
STAIR	RESIDENTIAL	10
RAMP	RESIDENTIAL	10
EXIT	RESIDENTIAL	10

TABLE: EGRESS WIDTHS

ROOM	EGRESS WIDTH
OFFICE	44"
RECEPTION	44"
CONFERENCE	44"
RESTROOM	44"
STAIR	44"
RAMP	44"
EXIT	44"



GB12

12



**ABRAMSON
TEIGER
ARCHITECTS**

825 UNIVERSITY STREET
SAN FRANCISCO, CA 94108
TEL: 415-774-0888
WWW.ABRAMSONTEIGER.COM

Gind Banning
65 S. 4th Street
Banning, CA 92220



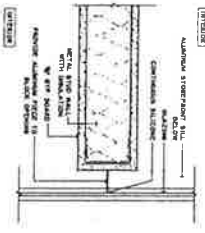
NO.	DATE	REVISION
1	11/11/11	ISSUE FOR PERMITS
2	11/11/11	REVISED PER COMMENTS
3	11/11/11	REVISED PER COMMENTS
4	11/11/11	REVISED PER COMMENTS

Detail: Wall Types, Door Schedules and Elevations

Door Schedule

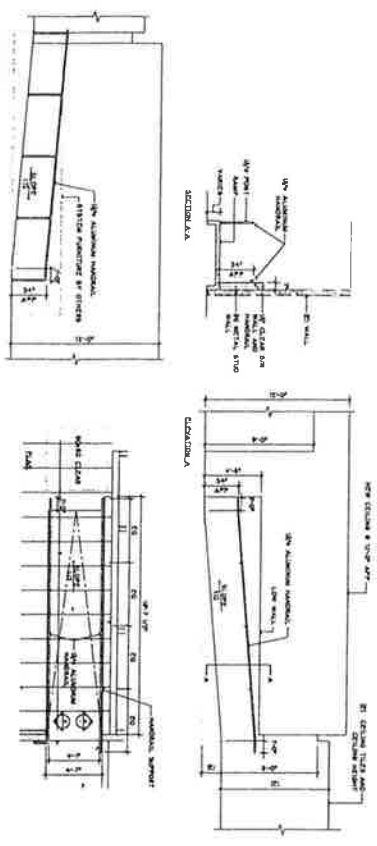
DOOR NO.	DOOR SIZE	DOOR TYPE	FRAME	GLASS	SWITCH	ROOM	MARKING
101	36" x 80"	SWING	ALUMINUM	GLASS	NO	LOBBY	101
102	36" x 80"	SWING	ALUMINUM	GLASS	NO	LOBBY	102
103	36" x 80"	SWING	ALUMINUM	GLASS	NO	LOBBY	103
104	36" x 80"	SWING	ALUMINUM	GLASS	NO	LOBBY	104
105	36" x 80"	SWING	ALUMINUM	GLASS	NO	LOBBY	105
106	36" x 80"	SWING	ALUMINUM	GLASS	NO	LOBBY	106
107	36" x 80"	SWING	ALUMINUM	GLASS	NO	LOBBY	107
108	36" x 80"	SWING	ALUMINUM	GLASS	NO	LOBBY	108
109	36" x 80"	SWING	ALUMINUM	GLASS	NO	LOBBY	109
110	36" x 80"	SWING	ALUMINUM	GLASS	NO	LOBBY	110

NOTES: 1. ALL DOORS SHALL BE 1 3/4" MIN. THICK. 2. ALL DOORS SHALL BE 1 3/4" MIN. HIGH. 3. ALL DOORS SHALL BE 1 3/4" MIN. WIDE. 4. ALL DOORS SHALL BE 1 3/4" MIN. CLEARANCE. 5. ALL DOORS SHALL BE 1 3/4" MIN. GAP. 6. ALL DOORS SHALL BE 1 3/4" MIN. SPACER. 7. ALL DOORS SHALL BE 1 3/4" MIN. FINISH. 8. ALL DOORS SHALL BE 1 3/4" MIN. GLASS. 9. ALL DOORS SHALL BE 1 3/4" MIN. FRAME. 10. ALL DOORS SHALL BE 1 3/4" MIN. MARKING.

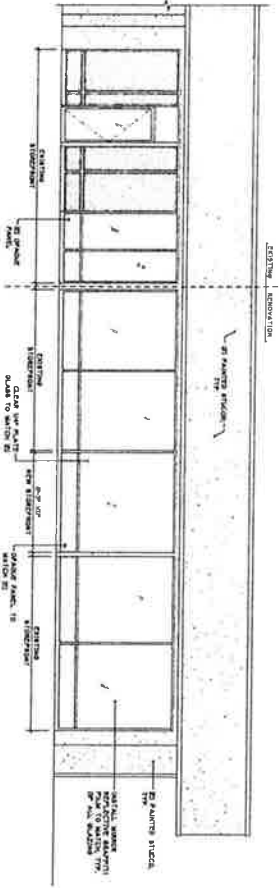


Wall Detail at (B) Stairfront
SCALE: 1/8" = 1'-0"

Door Schedule
SCALE: 1/8" = 1'-0"



Exterior Elevation
SCALE: 1/8" = 1'-0"

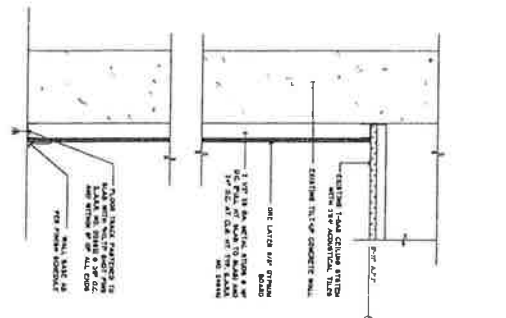


SCALE: 1/8" = 1'-0"

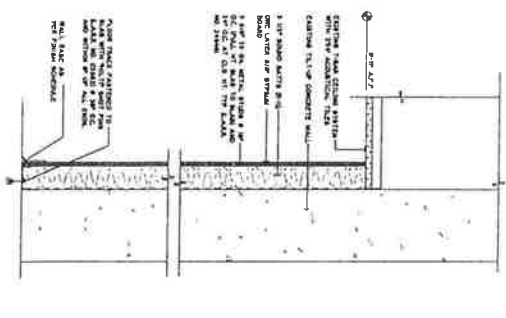
Finish Schedule

NO.	FINISH	LOCATION
1	Acoustic Ceiling Tiles	LOBBY
2	Acoustic Ceiling Tiles	LOBBY
3	Acoustic Ceiling Tiles	LOBBY
4	Acoustic Ceiling Tiles	LOBBY
5	Acoustic Ceiling Tiles	LOBBY
6	Acoustic Ceiling Tiles	LOBBY
7	Acoustic Ceiling Tiles	LOBBY
8	Acoustic Ceiling Tiles	LOBBY
9	Acoustic Ceiling Tiles	LOBBY
10	Acoustic Ceiling Tiles	LOBBY
11	Acoustic Ceiling Tiles	LOBBY
12	Acoustic Ceiling Tiles	LOBBY
13	Acoustic Ceiling Tiles	LOBBY
14	Acoustic Ceiling Tiles	LOBBY
15	Acoustic Ceiling Tiles	LOBBY
16	Acoustic Ceiling Tiles	LOBBY
17	Acoustic Ceiling Tiles	LOBBY
18	Acoustic Ceiling Tiles	LOBBY
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21	Acoustic Ceiling Tiles	LOBBY
22	Acoustic Ceiling Tiles	LOBBY
23	Acoustic Ceiling Tiles	LOBBY
24	Acoustic Ceiling Tiles	LOBBY
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27	Acoustic Ceiling Tiles	LOBBY
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29	Acoustic Ceiling Tiles	LOBBY
30	Acoustic Ceiling Tiles	LOBBY
31	Acoustic Ceiling Tiles	LOBBY
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33	Acoustic Ceiling Tiles	LOBBY
34	Acoustic Ceiling Tiles	LOBBY
35	Acoustic Ceiling Tiles	LOBBY
36	Acoustic Ceiling Tiles	LOBBY
37	Acoustic Ceiling Tiles	LOBBY
38	Acoustic Ceiling Tiles	LOBBY
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42	Acoustic Ceiling Tiles	LOBBY
43	Acoustic Ceiling Tiles	LOBBY
44	Acoustic Ceiling Tiles	LOBBY
45	Acoustic Ceiling Tiles	LOBBY
46	Acoustic Ceiling Tiles	LOBBY
47	Acoustic Ceiling Tiles	LOBBY
48	Acoustic Ceiling Tiles	LOBBY
49	Acoustic Ceiling Tiles	LOBBY
50	Acoustic Ceiling Tiles	LOBBY

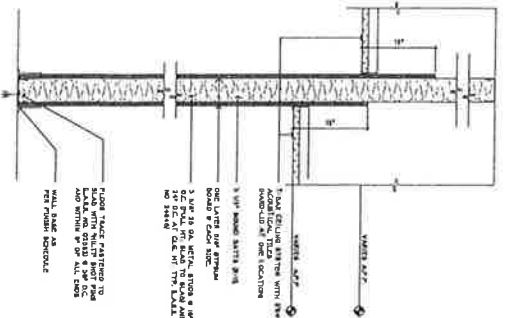
Finish Schedule
SCALE: 1/8" = 1'-0"



Wall Type C
SCALE: 1/8" = 1'-0"



Wall Type B
SCALE: 1/8" = 1'-0"

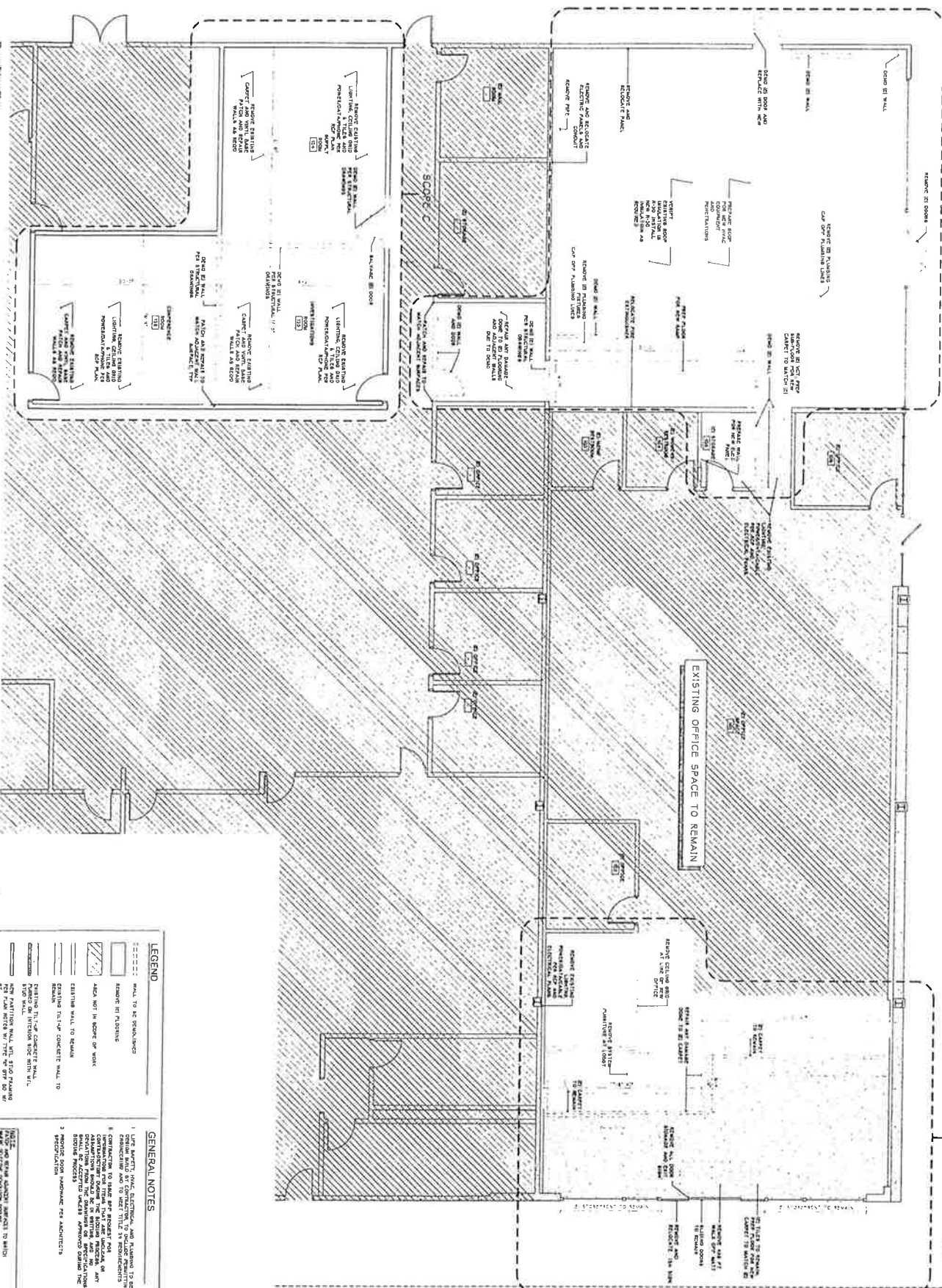


Wall Type A
SCALE: 1/8" = 1'-0"

SCOPE A

SCOPE B

EXISTING OFFICE SPACE TO REMAIN



Demolition Plan
Scale: 1/8" = 1'-0"

LEGEND

[Symbol]	WALL TO BE DEMOLISHED
[Symbol]	REMOVING W/ PARTITION
[Symbol]	WALL NOT IN SCOPE OF WORK
[Symbol]	EXISTING WALL TO REMAIN
[Symbol]	EXISTING TYPICAL CONCRETE WALL TO REMAIN
[Symbol]	EXISTING CONCRETE PARTITION WALL WITH W/1"
[Symbol]	NEW PARTITION WALL ON 3/4" STUD WITH W/1"
[Symbol]	NEW FLOOR NOTED W/ OTHER SHEET OR W/

GENERAL NOTES

1. VERIFY ALL UTILITIES, HVAC, ELECTRICAL, AND PLUMBING TO BE REMOVED ARE PROPERLY CAPTURED AND REMOVED TO THE APPROPRIATE LOCATION.
2. CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SAN JOSE AND THE CALIFORNIA DEPARTMENT OF INDUSTRIAL RELATIONS (DIR) BEFORE BEGINNING WORK.
3. REMOVE ROOM NUMBER PER ARCHITECT'S SPECIFICATION.



**ABRAMSON
TEIGER
ARCHITECTS**

800 HARBOR STREET
SAN FRANCISCO, CALIFORNIA
TEL: 415.774.1122
WWW.ABRAMSONTEIGER.COM

Glndi Banning
65 S. 4th Street
Banning, CA 92220



NO.	DATE	REVISION
1	08/11/2011	ISSUED FOR PERMITS
2	08/11/2011	REVISED PER COMMENTS
3	08/11/2011	REVISED PER COMMENTS