

RIVERSIDE COUNTY PLANNING DEPARTMENT

Carolyn Syms Luna
Director

DATE: October 21, 2013

TO: Clerk of the Board of Supervisors

FROM: Planning Department - Riverside Office

SUBJECT: FAST TRACK CONDITIONAL USE PERMIT NO. 3497R1 & CONDITIONAL USE PERMIT NO. 3686 (FTA -2012-01) - 20 DAY NOTICE -- MITIGATED NEGATIVE DECLARATION

(Charge your time to these case numbers)

The attached item(s) require the following action(s) by the Board of Supervisors:

- | | |
|--|--|
| <input type="checkbox"/> Place on Administrative Action <small>(Receive & File; EOT)</small> | <input checked="" type="checkbox"/> Set for Hearing <small>(Legislative Action Required; CZ, GPA, SP, SPA)</small> |
| <input type="checkbox"/> Labels provided If Set For Hearing | <input checked="" type="checkbox"/> Publish in Newspaper: |
| <input type="checkbox"/> 10 Day <input type="checkbox"/> 20 Day <input type="checkbox"/> 30 day | (4th Dist) Desert Sun and Press Enterprise |
| <input type="checkbox"/> Place on Consent Calendar | <input checked="" type="checkbox"/> Mitigated Negative Declaration |
| <input type="checkbox"/> Place on Policy Calendar <small>(Resolutions, Ordinances; PNC)</small> | <input type="checkbox"/> 10 Day <input checked="" type="checkbox"/> 20 Day <input type="checkbox"/> 30 day |
| <input type="checkbox"/> Place on Section Initiation Proceeding <small>(GPIP)</small> | <input type="checkbox"/> Notify Property Owners <small>(app/agencies/property owner labels provided)</small> |
| | Controversial: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO |

Designate Newspaper used by Planning Department for Notice of Hearing:
(4th Dist) Desert Sun and Press Enterprise

Documents to be sent to County Clerk's Office for Posting within five days:

Notice of Determination and Mit Neg Dec Forms
California Department of Fish & Wildlife Receipt (CFG05985)

Do not send these documents to the County Clerk for posting until the Board has taken final action on the subject cases.

Riverside Office · 4080 Lemon Street, 12th Floor
P.O. Box 1409, Riverside, California 92502-1409
(951) 955-3200 · Fax (951) 955-1811

Desert Office · 38686 El Cerrito Road
Palm Desert, California 92211
(760) 863-8277 · Fax (760) 863-7555

"Planning Our Future... Preserving Our Past"

**SUBMITTAL TO THE BOARD OF SUPERVISORS
COUNTY OF RIVERSIDE, STATE OF CALIFORNIA**



FROM: TLMA - Planning Department

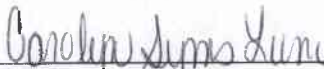
SUBMITTAL DATE:
October 21, 2013

SUBJECT: FAST TRACK CONDITIONAL USE PERMIT NO. 3497, REVISED PERMIT NO. 1 / FAST TRACK CONDITIONAL USE PERMIT NO. 3686 (FTA-2012-01) – Intent to Adopt Mitigated Negative Declaration – Fourth/Fourth Supervisorial District – REQUEST: Fast Track Conditional Use Permit No. 3497, Revised Permit No. 1 proposes to modify a previously approved farm labor camp (unbuilt). The modification is as follows: an increase in the number of beds from 96 to 160.

Fast Track Conditional Use Permit No. 3686 is located on property adjacent to CUP No. 3497R1 and proposes to construct a migrant agricultural worker mobile home park consisting of 84 units with typical single wide and double wide mobile home spaces ranging from approximately 2,800 square feet to 3,500 square feet along with 1,780 square foot community center building, 1,040 square foot child care facility for up to 15 children, 800 square foot children's playground, and 2,800 square foot outdoor play area.

RECOMMENDED MOTION:

ADOPTION of a **MITIGATED NEGATIVE DECLARATION** for **ENVIRONMENTAL ASSESSMENT NO. 42609**, based on the findings incorporated in the initial study and the conclusion that the project will not have a significant effect on the environment; and,



Carolyn Syms Luna
Planning Director

Initials: CSL:jo
(Continued on Attached Page)

REVIEWED BY EXECUTIVE OFFICE

DATE _____ Tina Grande
Departmental Concurrence

Dep't Recomm.: Consent Policy
Per Exec. Ofc.: Consent Policy

Prev. Agn. Ref.

District: 4/4

Agenda Number:

APPROVAL of **FAST TRACK CONDITIONAL USE PERMIT NO. 3497, REVISED PERMIT NO. 1**, subject to the attached conditions of approval; and,

APPROVAL of **FAST TRACK CONDITIONAL USE PERMIT NO. 3686**, subject to the attached conditions of approval, and based upon the findings and conclusions incorporated in the staff report.

BACKGROUND: The project, consisting of two (2) Conditional Use Permits is located on 25 gross acres that was previously approved under Conditional Use Permit No. 3497 in 2009 for a 96 bed farm labor camp and 84 space migrant agricultural worker mobile home park. The project remains unbuilt. The project site is mostly vacant except for an existing "migrant agricultural worker shower facility" approved in 2005 under Plot Plan No. 20402.

The owner/applicant recently obtained approval and recorded Change of Zone No. 7785 (CZ No. 7785) in 2012 and Tentative Parcel Map No. 36456 (PM36456) in 2013. CZ No. 7785 modified the westerly 11 acres from A-2-20 to A-2-10 and PM36456 created two (2) parcels with the westerly parcel consisting of approximately 11.1 gross acres and the easterly parcel consisting of approximately 13.7 gross acres.

The project was separated into two (2) CUP's with the westerly parcel for the revised farm labor camp being processed under Conditional Use Permit No. 3497, Revised Permit No. 1 (CUP No. 3497R1) and the easterly parcel for the migrant agricultural worker mobile home park being processed under Conditional Use Permit No. 3686 (CUP No. 3686).

The primary purpose of revised CUP No. 3497R1 (San Cristobal) for the farm labor camp is to increase the number of beds from 96 to 160. Additionally, CUP No. 3686 (Los Vinedos) eliminates driveway access from Hammond Road, and limits driveway access from realigned 68th Avenue due to traffic safety concerns.

Both Conditional Use Permits were presented to the Mecca Community Council on June 12, 2013, where street lighting and decorative entry monuments were discussed and resolved. Staff recommends approval of both Conditional Use Permits.

Agenda Item No.:
Area Plan: Eastern Coachella
Zoning District: Mecca
Supervisorial District: Fourth
Project Planner: Jay Olivas
Board of Supervisors: November 26, 2013

FAST TRACK CONDITIONAL USE PERMIT NO. 3497, REVISED PERMIT NO. 1
FAST TRACK CONDITIONAL USE PERMIT NO. 3686 (FTA-2012-01)
Environmental Assessment No.: 42609
Applicant: Desert Alliance for Community Empowerment (DACE)
Engineer: Watson Engineering

COUNTY OF RIVERSIDE PLANNING DEPARTMENT STAFF REPORT

PROJECT DESCRIPTION AND LOCATION:

Fast Track Conditional Use Permit No. 3497, Revised Permit No. 1 proposes to modify previously approved farm labor camp (unbuilt) by increasing the number of beds from 96 to 160 in four (4) dormitory buildings totaling approximately 17,544 square feet along with 5,544 square foot community center building with availability of church services for approximately 90 people, as well as a 2,084 square foot square foot manager's quarters and a 924 square foot laundry building.

Fast Track Conditional Use Permit No. 3686 proposes to construct a migrant agricultural worker mobile home park consisting of 84 units with typical single wide and double wide mobile home spaces ranging from approximately 2,800 square feet to 3,500 square feet along with 1,780 square foot community center building, 1,040 square foot child care facility for up to 15 children, 800 square foot children's playground, and 2,800 square foot outdoor play area.

The project is located in the Eastern Coachella Valley Area Plan; more specifically, northerly of Hammond Road, southerly of 68th Avenue, easterly of Johnson Street, and westerly of Grant Street in the community of Mecca.

ISSUES OF POTENTIAL CONCERN:

Issues of potential concern revolve around transportation related improvements including re-alignment of 68th Avenue, street lighting, and noise impacts. These issues were resolved with recommended conditions of approval from the Transportation Department and from the Department of Environmental Health, Office of Industrial Hygiene. The Office of Industrial Hygiene is requiring minimum 5-10 foot high combination berm and block walls to address traffic and railroad noise impact from adjoining Hammond Road and realigned 68th Avenue.

Additionally, the project was presented to the Mecca Community Council on June 12, 2013 where final recommendations on street lighting and decorative entry monuments are reflected in the exhibits and recommended conditions for approval.

The project also proposes private water and sewer system that will tie into Coachella Valley Water District facilities. The project has received clearances from both the Department of Environmental Health and from the Coachella Valley Water District transmittal letter dated June 3, 2013, attached to this staff report.

SUMMARY OF FINDINGS:

1. Existing General Plan Land Use (Ex. #5): Agriculture (10 Acre Minimum) & Medium High Density Residential (5-8 D.U./Ac.)
2. Surrounding General Plan Land Use (Ex. #5): Agriculture (10 Acre Minimum)

- | | |
|-----------------------------------|---|
| 3. Existing Zoning (Ex. #3): | Heavy Agriculture – 10 Acre Minimum (A-2-10) & Controlled Development Areas (W-2) |
| 4. Surrounding Zoning (Ex. #3): | Heavy Agriculture – 20 Acre Minimum (A-2-20) |
| 5. Existing Land Use (Ex. #1): | Vacant & Migrant Shower Facility |
| 6. Surrounding Land Use (Ex. #1): | Crops, Vacant Land & Scattered Dwellings |
| 7. Project Data: | Total Acreage: 25 Gross Acres |
| 8. Environmental Concerns: | See attached environmental assessment |

RECOMMENDATIONS:

ADOPTION of a **MITIGATED NEGATIVE DECLARATION** for **ENVIRONMENTAL ASSESSMENT NO. 42609**, based on the findings incorporated in the initial study and the conclusion that the project will not have a significant effect on the environment; and,

APPROVAL of **FAST TRACK CONDITIONAL USE PERMIT NO. 3497**, **REVISED PERMIT NO. 1**, subject to the attached conditions of approval; and,

APPROVAL of **FAST TRACK CONDITIONAL USE PERMIT NO. 3686**, subject to the attached conditions of approval, and based upon the findings and conclusions incorporated in the staff report.

FINDINGS: The following findings are in addition to those incorporated in the summary of findings and in the attached environmental assessment, which is incorporated herein by reference.

1. The project site is designated Agriculture (10 Acre Minimum) and Medium High Density Residential (5-8 D.U./Ac.) on the Eastern Coachella Valley Area Plan.
2. The existing Agriculture land use designation on the westerly portion of the project site is compatible with the proposed project (CUP 3497R1) in that farm labor camps are an agricultural related land use.
3. The existing Medium High Density Residential (MHDR) (5-8 D.U./Ac.) land use designation on the easterly portion of the project site is compatible with the proposed migrant agricultural worker mobile home park with 84 spaces (CUP 3686) in that there is a proposed net density of approximately 6.47 D.U./Ac. within the allowed density range of MHDR.
4. The existing zoning for the subject site is Heavy Agriculture – 10 Acre Minimum (A-2-10) on the westerly portion and Controlled Development Areas (W-2) on the easterly portion.
5. The majority of the project site is vacant except for a migrant shower facility located on the far westerly portion of the site.
6. Surrounding land uses consists of crops, vacant land, and scattered single family dwellings. The project is consistent with existing surrounding land uses in that the project will be located on two (2) 10 gross acre parcels which is a typical rural agricultural parcel size in this area, and will include site improvements such as fencing and desert landscaping.

7. The project is within the Coachella Valley Multiple Species Habitat Conservation Plan, but is not specifically located within a Conservation Area. This project fulfills the requirements of that plan through conformance with Ordinance No. 875.
8. Access to the site is from realigned 68th Avenue (103' ROW) via Hammond Road (91' ROW). The project will provide appropriate street and off-site traffic mitigation, such as, right-of-way improvements, in compliance with the requirements of the circulation element of the General Plan.
9. The project is approximately one mile from a fire station. The project will provide appropriate fire protection measures in conformance with the fire services policies of the General Plan.
10. Domestic water and sanitation shall be coordinated with the County Environmental Health Department and the Coachella Valley Water District. Domestic water and sanitation shall be provided in conformance with the water and sewer land use standards of the General Plan.
11. The project is not located within the sphere of influence of any city. However, it is located within the boundaries of the Mecca Community Council which held meetings to present the project.
12. The Riverside County Housing Element (Policy 1.2) has identified special needs housing for farm workers and low to very low income populations which the proposed project encourages since the subject land proposes farm labor housing.
13. The farm labor camp/migrant housing facility is consistent with the land use element policy LU 16.3 which allows farm worker housing as an interim land use under certain circumstances. The project complies with these circumstances in that the subject area is primarily agriculture, the proposal has a recommended condition of a 10 year life, the project will have adequate infrastructure with required improvements, the project will not create significant land use incompatibilities due to the agriculture nature of the area with existing crops, and the proposal will not jeopardize public health, safety and welfare due to compliance with uniform building codes.
14. The initial study performed pursuant to Environmental Assessment No. 42609 identified the following potentially significant impacts:
 - a. Hydrology/Water Quality
 - b. Noise
 - c. Transportation/Traffic
 - d. Utilities/Service Systems

CONCLUSIONS:

1. The proposed project is in conformance with the Agriculture (10 Acre Minimum) and Medium High Density Residential Land Use Designations (5-8 D.U./Ac.), and with all other elements of the Riverside County General Plan.
2. The proposed project is consistent with the Heavy Agriculture – 10 Acre Minimum (A-2-10) and Controlled Development Areas (W-2) zoning classifications of Ordinance No. 348, and with all other applicable provisions of Ordinance No. 348.

3. The public's health, safety, and general welfare are protected through project design.
4. The proposed project is conditionally compatible with the present and future logical development of the area.
5. The proposed project will not have a significant effect on the environment.

INFORMATIONAL ITEMS:

1. As of this writing (10/21/13), no comment letters have been received from the general public.
2. The project site is not located within:
 - a. A city sphere of influence;
 - b. A FEMA 100-year flood plain, an area drainage plan, or dam inundation area;
 - c. A high fire area;
3. The project site is located within:
 - a. Coachella Valley Unified School District;
 - b. High Liquefaction Area.
4. The subject site is currently designated as Assessor's Parcel Number 729-050-002.

RIVERSIDE COUNTY PLANNING DEPARTMENT
CUP03497R1 / CUP03686
VICINITY/POLICY AREAS

Supervisor Benoit
 District 4

Date Drawn: 7/03/13
 Vicinity Map



District: Lower Coachella Valley
 Township/Range: T7SR9E
 Section: 21

Assessors Bk. Pg. 729-05
 Thomas Bros. Pg. 5652 H2
 Edition 2009



DISCLAIMER: On October 7, 2003, the County of Riverside adopted a new General Plan providing new land use designations for unincorporated Riverside County parcels. The new General Plan may contain different types of land use than is provided for under existing zoning. For further information, please contact the Riverside County Planning Department offices in Riverside at (951) 955-3200 (Western County), or in Indio at (760) 863-8277 (Eastern County) or website at <http://www.firma.co.riverside.ca.us/index.html>



RIVERSIDE COUNTY PLANNING DEPARTMENT

CUP03497R1 / CUP03686

Supervisor Benoit
District 4

LAND USE

Date Drawn: 7/03/13
Exhibit 1



District: Lower Coachella Valley
Township/Range: T7SR9E
Section: 21

Assessors Bk. Pg. 729-05
Thomas Bros. Pg. 5652 H2
Edition 2009



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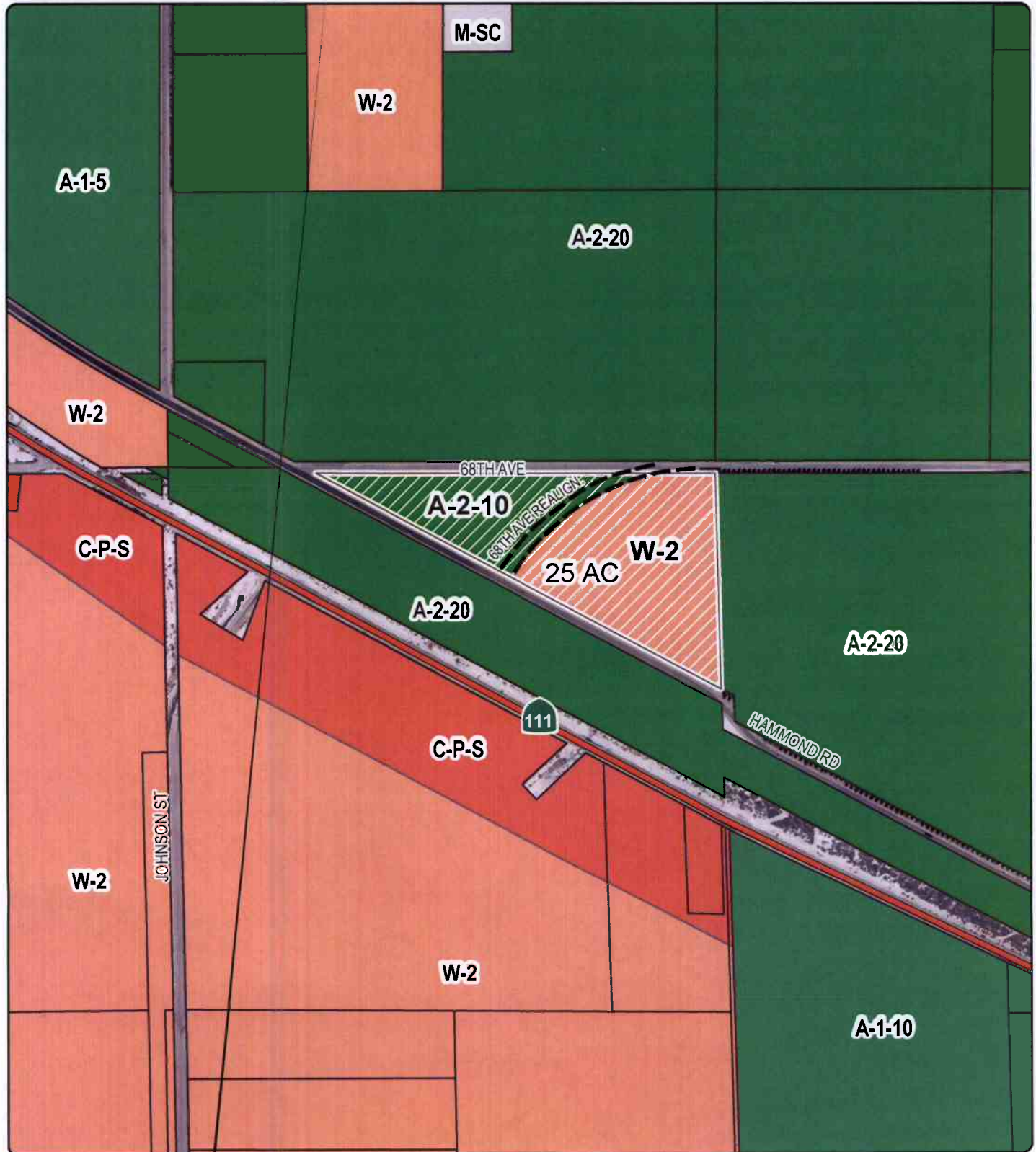
RIVERSIDE COUNTY PLANNING DEPARTMENT

CUP03497R1 / CUP03686

Supervisor Benoit
District 4

Date Drawn: 7/03/13
Exhibit 3

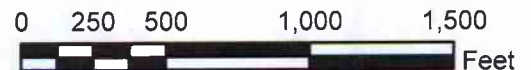
EXISTING ZONING



District: Lower Coachella Valley
Township/Range: T7SR9E
Section: 21

Assessors Bk. Pg. 729-05
Thomas Bros. Pg. 5652 H2
Edition 2009

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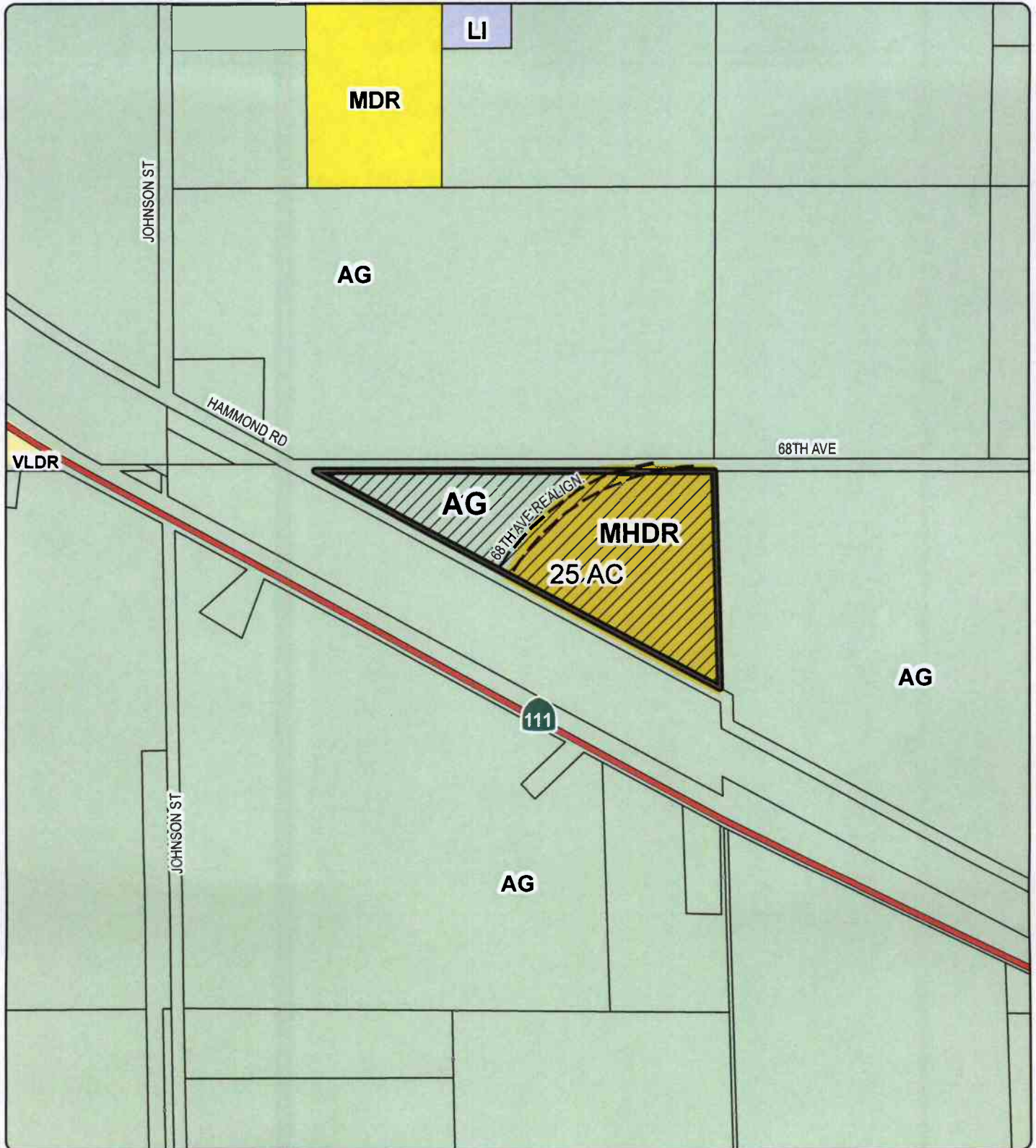
RIVERSIDE COUNTY PLANNING DEPARTMENT

CUP03497R1 / CUP03686

EXISTING GENERAL PLAN

Supervisor Benoit
District 4

Date Drawn: 7/03/13
Exhibit 5

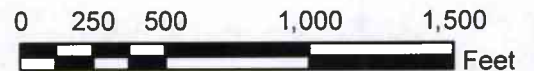


District: Lower Coachella Valley
Township/Range: T7SR9E
Section: 21



Assessors Bk. Pg. 729-05
Thomas Bros. Pg. 5652 H2
Edition 2009

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IN THE UNINCORPORATED TERRITORY OF RIVERSIDE COUNTY, STATE OF CALIFORNIA
CONDITIONAL USE PERMIT NO. 3497 (REVISED NO.1)
SAN CRISTOBAL LABOR HOUSING
 BEING A PORTION OF THE NORTHWEST QUARTER OF SECTION 21,
 TOWNSHIP 7 SOUTH, RANGE 8 EAST, S.B.8.4 M.
 FEBRUARY 8, 2013

NO.	REVISIONS	DATE
1	PROJECT APPROVAL BY THE BOARD	02/08/13
2	APPROVED	02/08/13

OWNER/APPLICANT/DEVELOPER:
 DESERT ALLIANCE FOR COMMUNITY EMPLOYMENT
 5200 ENTERPRISE WAY, SUITE 111, COVINGTON CA
 95926
 TELEPHONE (707) 381-4000 FAX (707) 381-4100

ASSESSOR'S PARCEL NO.:
 040-020-000-000

GROSS AREA: 11.06 ACRES
NET AREA: 6.77 ACRES

EXISTING ZONE:
 A2-20 (SUN CRISTOBAL / DOMAINS)

PROPOSED ZONE:
 A2-10

EXISTING GP:
 AGRICULTURE (A0) (10 ACRE MINIMUM)

PROPOSED GP:
 AGRICULTURE (A0) (10 ACRE MINIMUM)

FLOOD ZONE:
 NOT WITHIN FEMA FLOOD AREA

THOMAS BROTHERS:
 PG 962 GRID 02

OVERALL AREA TABULATIONS:
 TOTAL PANSPLAY AREA LANDSCAPE AREA:
 1.22 AC
 1.26 AC
 0.22 AC
 0.22 AC
 1.11 AC
 1.08 AC

PARKING TABULATIONS:
 PHASE I (LABOR HOUSING COMPLEX) SAN CRISTOBAL

REQUIRED PARKING:
 80 SPACES
 8 SPACES
 2.75 SPACES PER UNIT (2 UNITS)

TOTAL PARKING REQUIRED:
 88 SPACES

PARKING PROVIDED:
 143 SPACES
 5 SPACES
 147 SPACES

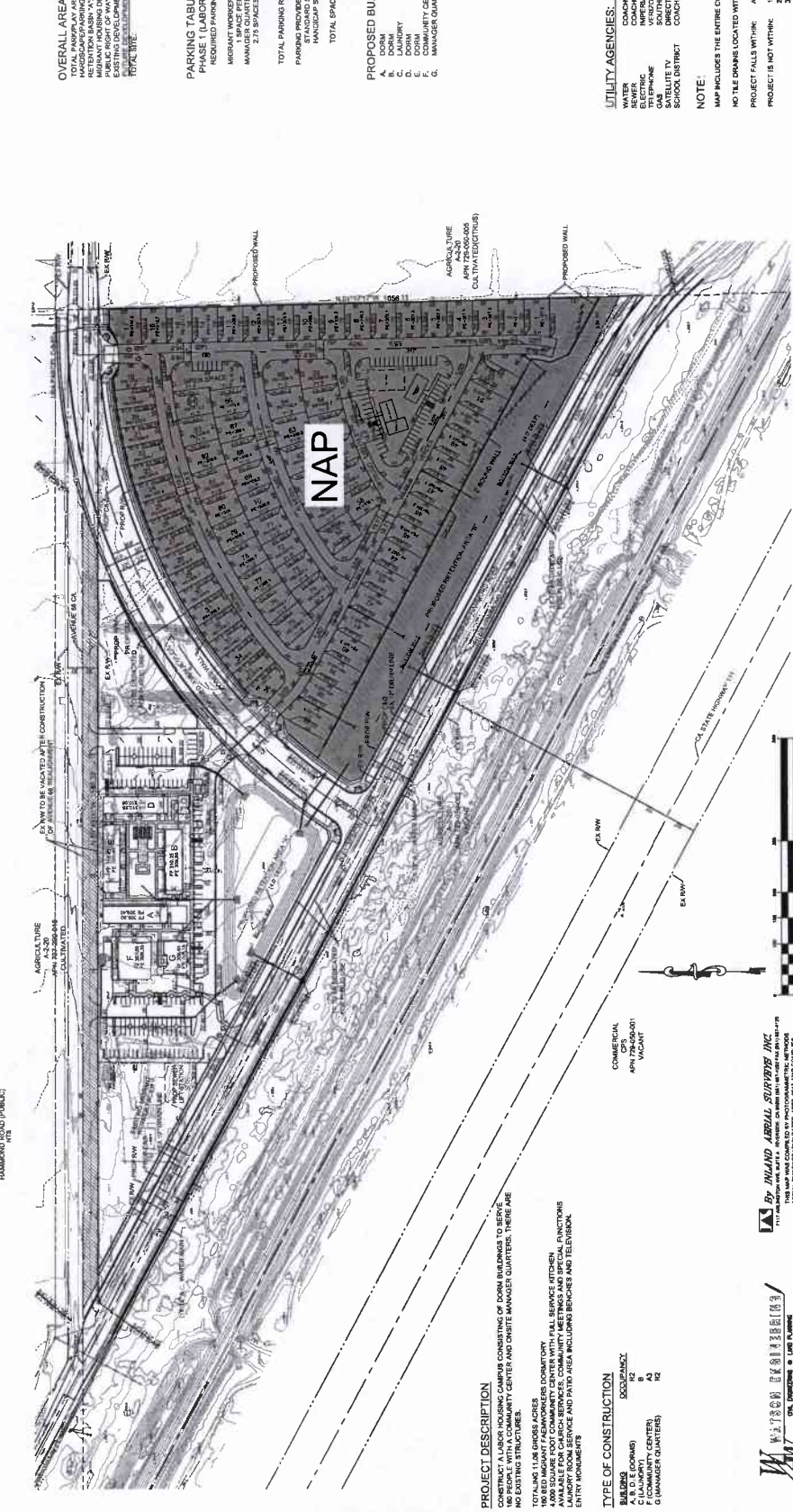
PROPOSED BUILDINGS:
 438
 438
 792
 438
 438
 3,200
TOTAL: 28,596

UTILITY AGENCIES:
 WATER: CALIFORNIA WATER SERVICE
 SEWER: COACHELLA VALLEY WATER DISTRICT
 ELECTRIC: IMPERIAL IRRIGATION DISTRICT
 GAS: SOUTHERN CALIFORNIA GAS COMPANY
 TELEPHONE: SOUTHERN CALIFORNIA TELEPHONE
 SCHOOL: COACHELLA VALLEY UNIFIED

NOTE:
 MAP INCLUDES THE ENTIRE CONTIGUOUS OWNERSHIP OF THE LAND UNDER
 NO TILE DRAINS LOCATED WITHIN PROJECT BOUNDARY.
 PROJECT FALLS WITHIN: A HIGH DISRUPTION POTENTIAL AREA
 PROJECT IS NOT WITHIN:
 1. A ZONE OF HISTORIC OR ARCHITECTURAL INTEREST
 2. A ZONE OF MINOR AVIATION OBSTACLES
 3. A FAULT ZONE

DIRT QUANTITY ESTIMATE:
 CUT 14,000 C.Y.
 FILL 14,000 C.Y.

NOTE: CONTRACTOR IS RESPONSIBLE
 FOR HIS OWN ESTIMATE OF QUANTITIES.



LEGAL DESCRIPTION
 THE LAND REFERRED TO HEREIN IS SITUATED IN THE STATE OF CALIFORNIA, COUNTY OF RIVERSIDE, UNINCORPORATED AREA, DESCRIBED AS FOLLOWS:

THAT PORTION OF THE NORTHWEST QUARTER OF SECTION 21, TOWNSHIP 7 SOUTH, RANGE 8 EAST, S.B. 8.4 M., BEING A PORTION OF THE NORTHWEST QUARTER OF SECTION 21, TOWNSHIP 7 SOUTH, RANGE 8 EAST, S.B. 8.4 M., AS NOW CONSTRUCTED, EXCEPTING THEREFROM ANY PORTION LYING WITHIN HAWKING ROAD.

ABBREVIATIONS:
 FG = FINISH GRADE
 NG = NATURAL GRADE
 FF = FINISH FLOOR
 MR = MINIMUM RANGE
 UTL = UTILITIES
 UTL - 1 = UTILITIES
 UTL - 2 = UTILITIES
 UTL - 3 = UTILITIES

PROJECT DESCRIPTION
 CONSTRUCT LABOR HOUSING CAMPUS CONSISTING OF DORM BUILDINGS TO SERVE 100 BED IMMIGRANT WORKER DOMINIUM CENTER AND VISITOR QUARTERS. THERE ARE NO EXISTING STRUCTURES.

TOTALING 11.06 ACRES
 100 BED IMMIGRANT WORKER DOMINIUM CENTER
 VISITOR QUARTERS
 AVAILABLE FOR CARP, BATHS, COMMUNITY MEETINGS AND SPECIAL FUNCTIONS
 LAUNDRY ROOM SERVICE AND PAINT AREA INCLUDING BENCHES AND TELEVISION CLOSET MANAGEMENT

TYPE OF CONSTRUCTION
 B (DORM)
 A, B, D, E (DORMS)
 C (COMMUNITY CENTER)
 G (MANAGER QUARTERS)

SEVERALTY:
 R2
 A
 R2

COMMERCIAL
 APN 79-029-001
 MOUNT

WATSON ENGINEERS & ARCHITECTS
 CIVIL ENGINEERS, ARCHITECTS, LAND PLANNERS
 1200 W. 1ST ST., SUITE 100
 RIVERSIDE, CA 92501
 TEL: (951) 508-8888
 FAX: (951) 508-8889
 WWW.WATSONENGINEERS.COM

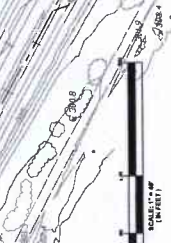
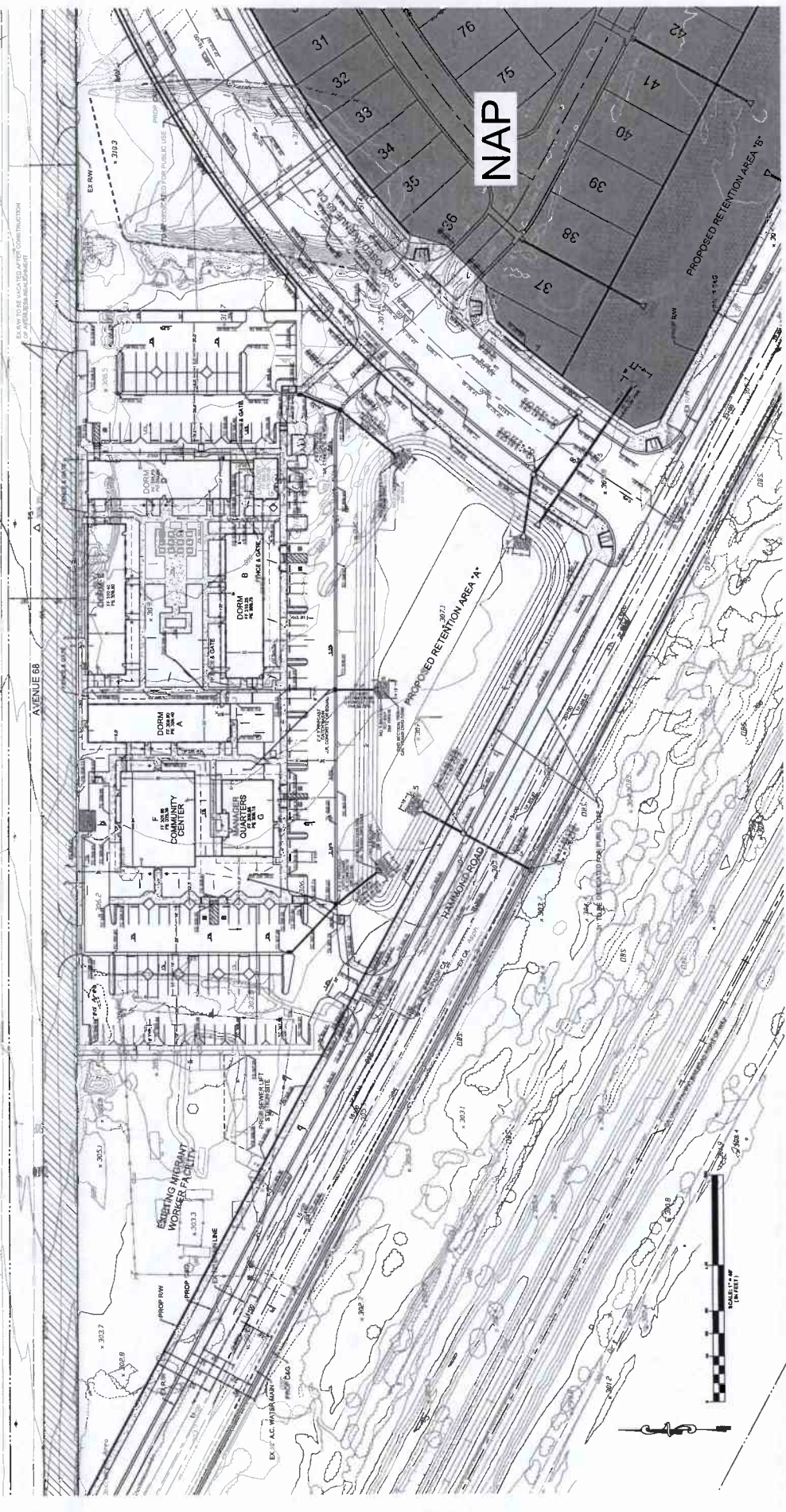
DR. HALUAP ABRAR, ARCHITECT/PLANNER
 THE MAP WAS COMPAILED BY PHOTOGRAMMETRY AND GROUND CONTROL POINTS WERE USED TO CORRECT FOR DISTORTION. HEIGHTS WERE DETERMINED BY GPS SURVEY.

NO.	REVISIONS	APPROVED DATE
1	PRELIMINARY PLAN WITH PUBLIC USE	
2	REVISIONS FOR PUBLIC USE	
3	REVISIONS FOR PUBLIC USE	
4	REVISIONS FOR PUBLIC USE	
5	REVISIONS FOR PUBLIC USE	
6	REVISIONS FOR PUBLIC USE	
7	REVISIONS FOR PUBLIC USE	
8	REVISIONS FOR PUBLIC USE	
9	REVISIONS FOR PUBLIC USE	
10	REVISIONS FOR PUBLIC USE	

IN THE UNINCORPORATED TERRITORY OF RIVERSIDE COUNTY, STATE OF CALIFORNIA
CONDITIONAL USE PERMIT NO. 3497 (REVISED NO.1)
SAN CRISTOBAL LABOR HOUSING
 BEING A PORTION OF THE NORTHWEST QUARTERS OF SECTION 21,
 TOWNSHIP 7 SOUTH, RANGE 9 EAST, S.B.B.A.M.
 FEBRUARY 8, 2013

AGRICULTURE
 A-2-20
 APN 727-290-016
 CULTIVATED

- ABBREVIATIONS:
 B = BOUNDARY
 FL = FLOW LINE
 FF = FINISH FLOOR
 FS = FINISH SURFACE
 MA = MANHOLE
 CAS = CURB AND GUTTER
 (LS) = LANDSCAPE AREA



By **INLAND AERIAL SURVEYS INC.**
 1715 S. MAIN ST. SUITE 100, RIVERSIDE, CA 92507
 PHONE: (951) 514-1111 FAX: (951) 514-1112
 WWW.INLANDAERIALSURVEYS.COM
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 OR BY ANY MEANS, WITHOUT PERMISSION IN WRITING
 FROM INLAND AERIAL SURVEYS INC.

WATSON ENGINEERING
 1000 W. MAIN ST. SUITE 100, RIVERSIDE, CA 92507
 PHONE: (951) 514-1111 FAX: (951) 514-1112
 WWW.WATSONENGINEERING.COM

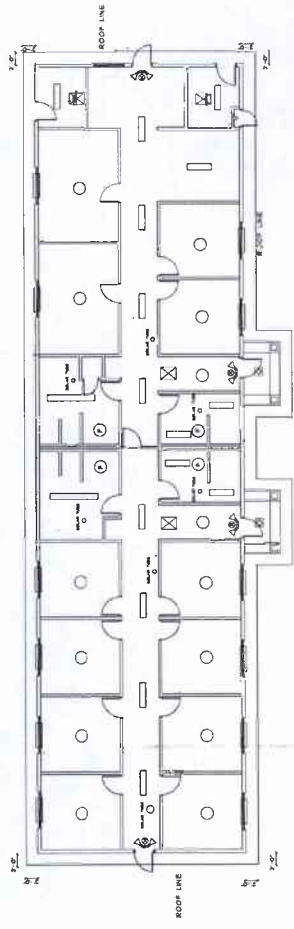
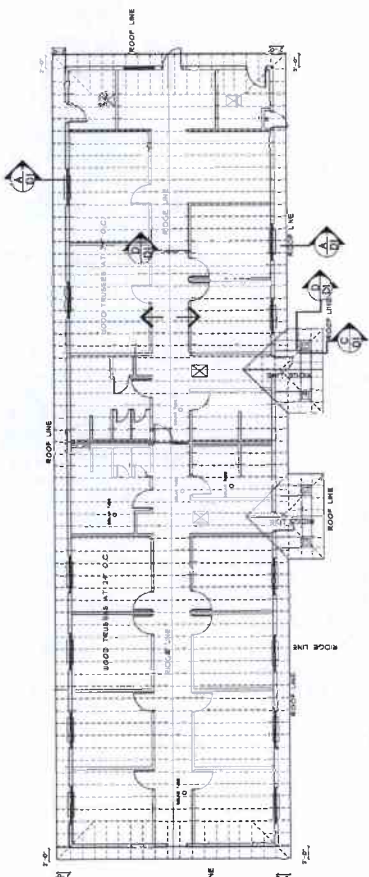
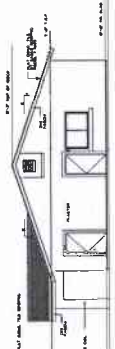
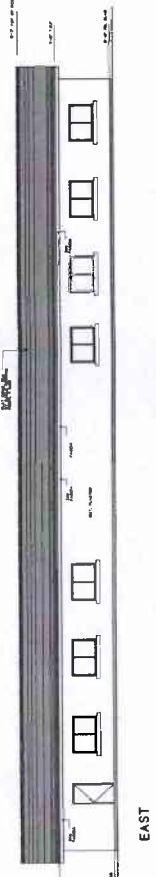
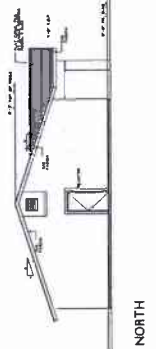
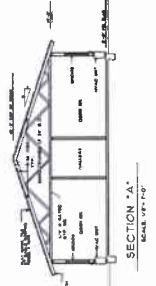
Architecture Planning Interior Design

ROBERT H. RICCIARDI ARCHITECT

ROBERT H. RICCIARDI R.C.A.S.B.B.

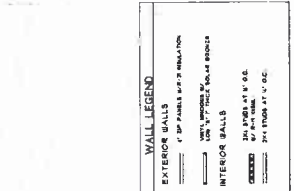
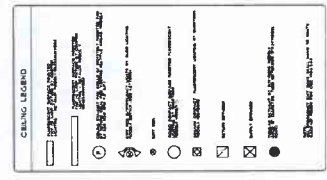
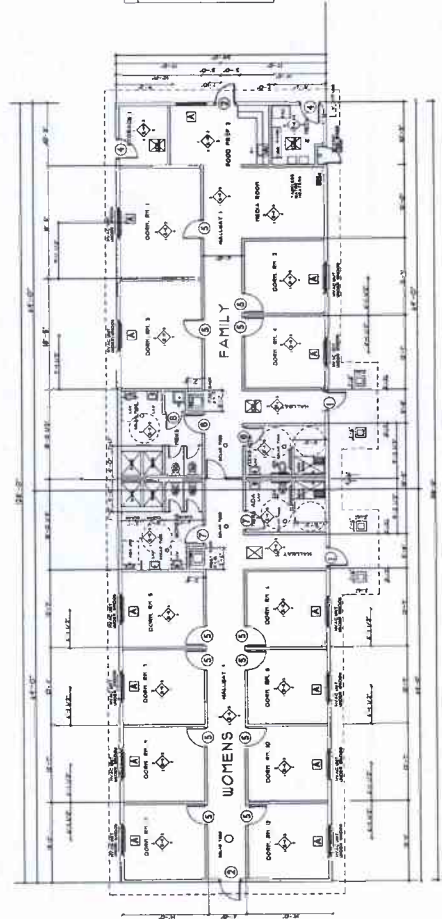
75-00 GENALO FORD DRIVE SUITE 115
PALM BEACH, CALIFORNIA 92271

TEL: 408-333-1155 FAX: 408-333-1155



ROOF PLAN
BUILDING A FAMILY AND WOMEN DORMITORY
SCALE 1/4" = 1'-0"

CEILING PLAN
BUILDING A FAMILY AND WOMEN DORMITORY
SCALE 1/4" = 1'-0"



NO.	DATE	REVISIONS

PROJECT
DANCE
SAN CRISTOBAL
MIGRANT AGRICULTURAL HOUSING
MECCA, CALIFORNIA

SOUTHEAST CORNER HARMOND & 68TH AVE
MECCA, CALIFORNIA

TITLE
BUILDING A
PRELIMINARY FLOOR AND ROOF PLANS
EXTERIOR ELEVATIONS

DATE: 11/11/2010
DRAWN BY: [Signature]
CHECKED BY: [Signature]
AS NOTED
PROJECT

SCALE: 1/4" = 1'-0"

PROJECT NO. AA2

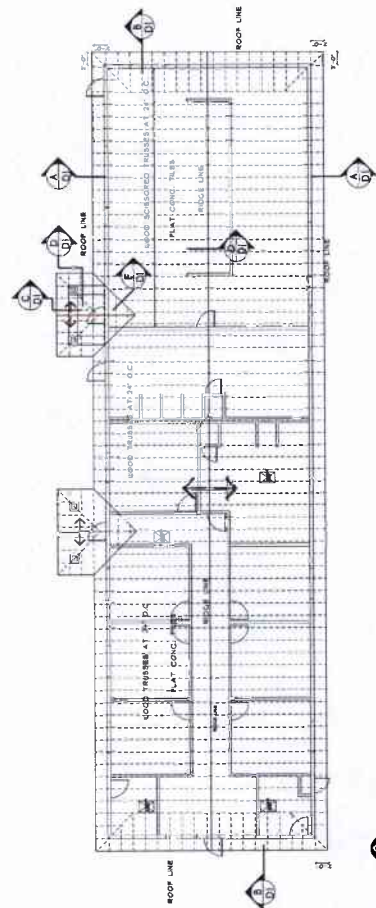
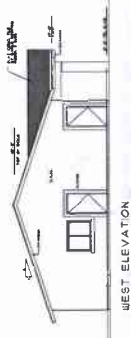
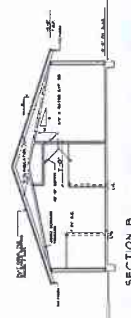
ARCHITECT'S SEAL
ROBERT H. RICCIARDI
REGISTERED ARCHITECT
CALIFORNIA
NO. 31474
EXPIRES: 12/31/2012

Architectural Firm: Planning Interior Design

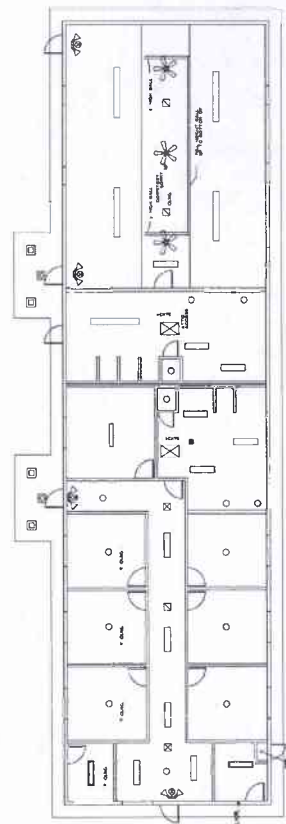
ROBERT H. RICCIARDI ARCHITECT

ROBERT H. RICCIARDI ARCHITECT
 7400 GONZALES FORD DRIVE
 PALM BEACH, CALIFORNIA 92070
 PHONE: (407) 833-1100
 FAX: (407) 833-1101

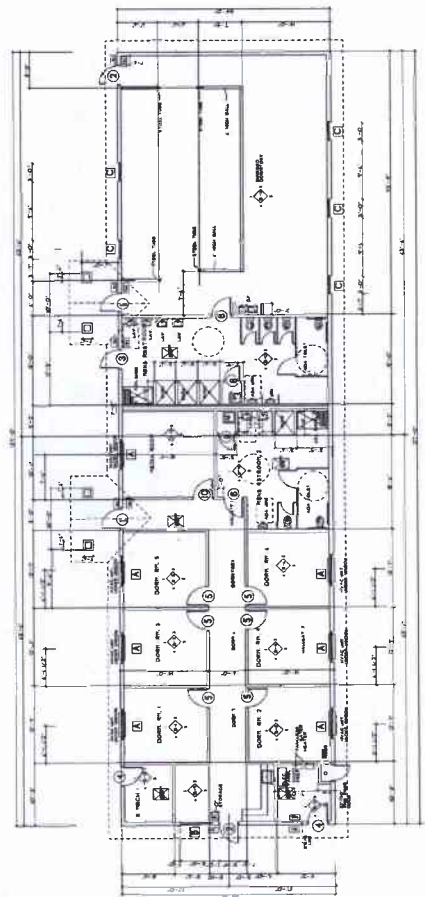
SCALE: 1/4" = 1'-0"



BUILDING B DORMITORY ROOF PLAN



BLDG. B CEILING PLAN



FLOOR PLAN (OR BESS) BUILDING B DORMITORY

WALL LEGEND

- EXTERIOR WALLS: 4" CP PANDA EPS-2 EMULATION
- INTERIOR WALLS: 1/2" GYPSUM BOARD
- CONCRETE: 12" MIN. AT 4" O.C.

CEILING LEGEND

- ACoustic tile
- Drop ceiling
- Grid ceiling
- Recessed lighting
- Linear lighting
- Spot lighting
- Emergency lighting
- Smoke detector
- Fire alarm pull station
- Fire alarm horn
- Fire alarm strobe
- Fire alarm speaker
- Fire alarm control panel
- Fire alarm control unit
- Fire alarm control unit cabinet
- Fire alarm control unit battery
- Fire alarm control unit transformer
- Fire alarm control unit wiring
- Fire alarm control unit conduit
- Fire alarm control unit raceway
- Fire alarm control unit junction box
- Fire alarm control unit terminal box
- Fire alarm control unit panel
- Fire alarm control unit enclosure
- Fire alarm control unit cabinet
- Fire alarm control unit battery
- Fire alarm control unit transformer
- Fire alarm control unit wiring
- Fire alarm control unit conduit
- Fire alarm control unit raceway
- Fire alarm control unit junction box
- Fire alarm control unit terminal box
- Fire alarm control unit panel
- Fire alarm control unit enclosure

NO.	DATE	REVISIONS

PROJECT: D.A.C.E. SAN CRISTOBAL MIGRANT AGRICULTURAL HOUSING MECCA, CALIFORNIA SOUTHWEST CORNER HARMOND & BETH AVE. MECCA, CALIFORNIA

TITLE: BUILDING B CEILING & ROOF PLANS

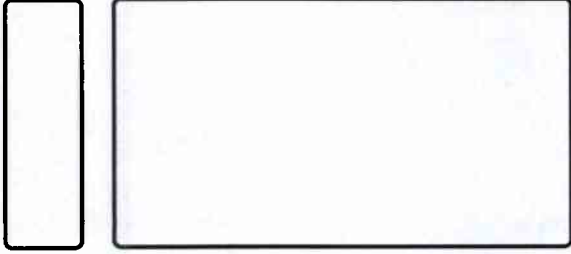
DATE: 04/11/00
 DRAWN BY: R.H.R.
 CHECKED BY: R.H.R.
 APPROVED BY: R.H.R.

SCALE: 1/4" = 1'-0"

PROJECT NO. A83



Architecture Planning Interior Design
ROBERT H. RICCIARDI
 ARCHITECT
 ROBERT H. RICCIARDI N.C.A.R.E.
 75-00 GERALD FORD DRIVE SUITE 115
 PALM DESERT, CALIFORNIA 92211
 TELEPHONE 760-338-3333
 FAX 760-338-3337



NO.	DATE	REVISIONS

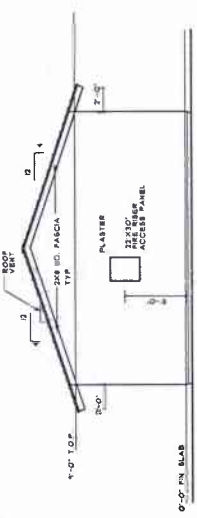
PROJECT
 DACE
 AN UNIFORM
 MOUNTAIN AGRICULTURAL HOUSING
 MECCA, CALIFORNIA
 SOUTH-EAST CORNER HARMOND & 8TH AVE.
 MECCA, CALIFORNIA

TITLE
 BUILDING C
 FLOOR, CEILING AND ROOF PLANS
 AND SCHEDULES

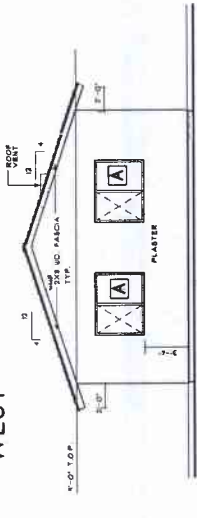
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 CHECKED BY: _____
 APPROVED: _____

REF. NO.
 AC.1

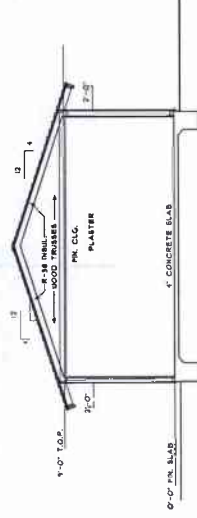
C:\WORKING AND SETTING\STA\BOTH\CEILING\PROJ\CEILING.C PLANS\BUILDING C FLOOR AND ROOF PLANS



WEST



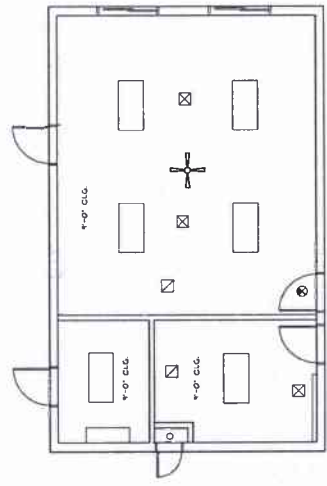
EAST



SECTION A

CEILING LEGEND

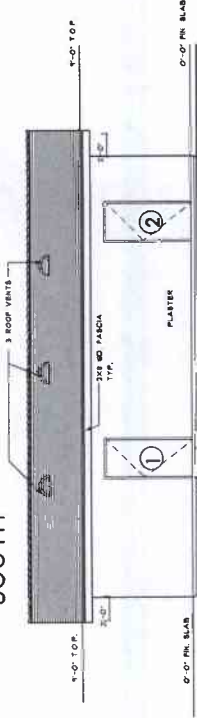
- PLASTER ON 1/2" CONCRETE SLAB
- RECESSED LIGHT
- ⊗ CEILING EXHAUST FAN
- ⊕ EXH. FAN
- ⊗ CEILING DUCT, 1/4" OF DUCT
- ⊗ CEILING RETURN AIR REGISTER
- ⊗ FAN W/ DIMMER SWITCH



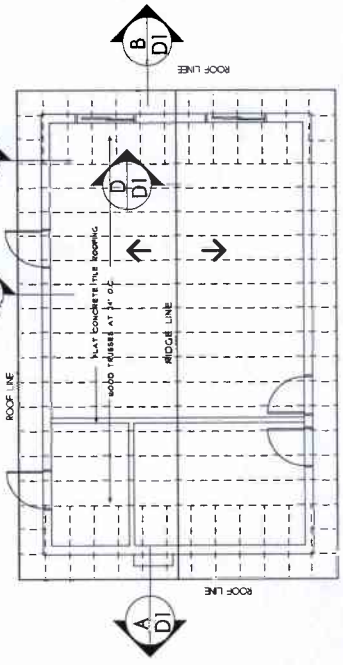
BUILDING C: CEILING PLAN



SOUTH



NORTH



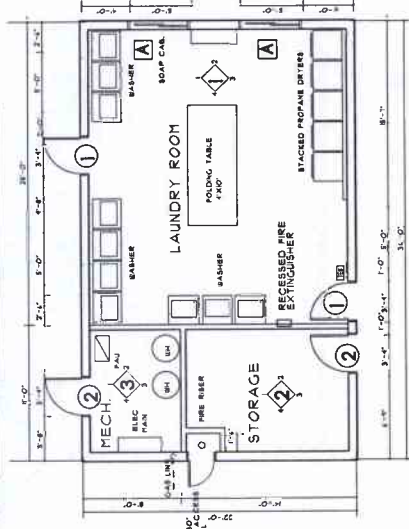
BUILDING C ROOF PLAN

WALL LEGEND

- ▬ EXTERIOR WALLS
- ▬ INTERIOR WALLS
- ▬ INTERIOR PARTITION WALLS
- ▬ INTERIOR PARTITION WALLS
- ▬ INTERIOR PARTITION WALLS

TACTILE EXIT SIGNAGE SYMBOL

NOTE:
 1. TACTILE EXIT SIGNAGE SYMBOLS SHALL BE INSTALLED AT THE EXITS OF THE BUILDING.
 2. TACTILE EXIT SIGNAGE SYMBOLS SHALL BE INSTALLED AT THE EXITS OF THE BUILDING.
 3. TACTILE EXIT SIGNAGE SYMBOLS SHALL BE INSTALLED AT THE EXITS OF THE BUILDING.



BUILDING C: FLOOR PLAN

BUILDING AREA: 115 S.F.

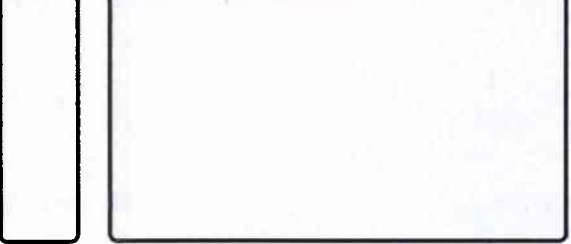
1/4" = 1'-0"

1/4" = 4'-0"

Architecture Planning Interior Design

ROBERT H. RICCIARDI
ARCHITECT

ROBERT H. RICCIARDI M.C.A.R.B.
14405 GERALD FORD DRIVE SUITE 115
PALM DESERT, CALIFORNIA 92111
TEL: 760/339-0000
FAX: 760/339-0001



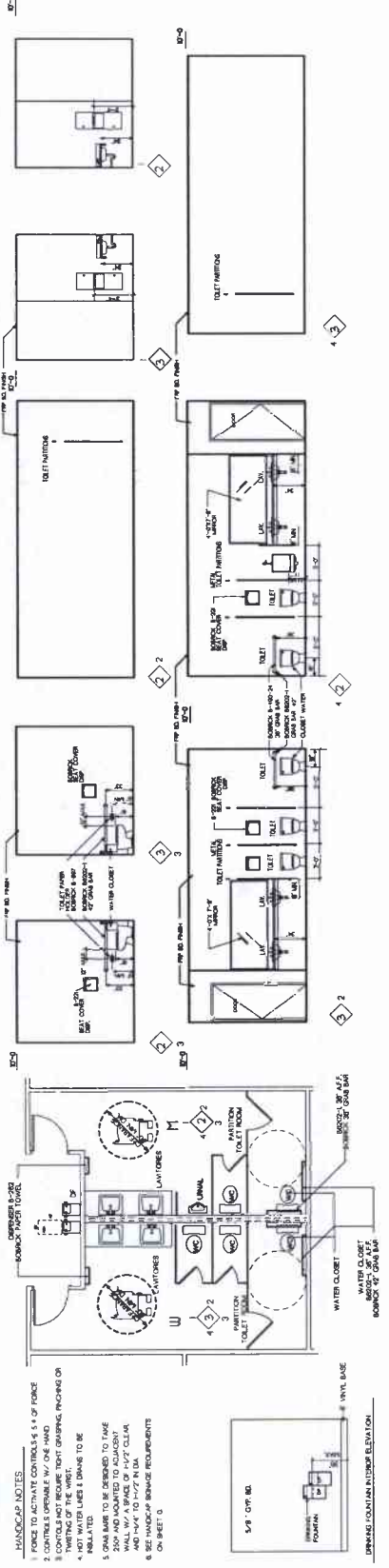
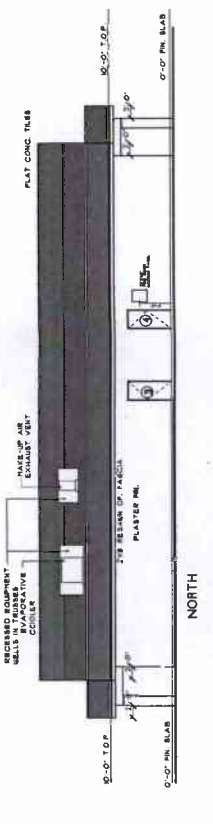
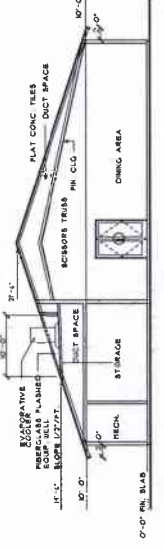
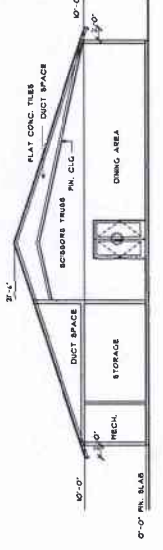
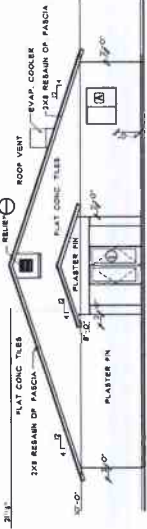
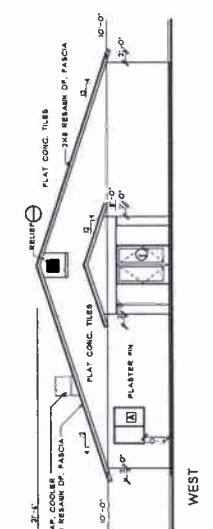
NO.	DATE	REVISIONS

PROJECT
D.A.C.E.
SAN CRISTOBAL
MIGRANT AGRICULTURAL HOUSING
MECCA, CALIFORNIA

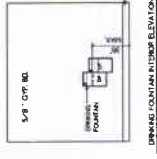
SOUTHEAST CORNER HORNWOOD & 8TH AVE.
MECCA, CALIFORNIA

TITLE
BUILDING F
COMPANY BUILDING
EXTERIOR ELEVATIONS AND SECTION

DATE: MAY 2002
SCALE: 1/8" = 1'-0"
SHEET NO.: AF-2



- MANUfact NOTES
1. FORCE TO ACTIVATE CONTROLS 1/4 OF FORCE
 2. CONTROLS OPERABLE W/ ONE HAND
 3. CONTROLS REQUIRE TIGHT GRIPPING, FINISHES OR FINISHES OF THE WALLS TO BE
 4. WALLS TO BE 1/2" THICK TO BE
 5. 200 AND MOUNTED TO ADJACENT WALLS TO BE 1/2" THICK TO BE
 6. SEE MANUfact REQUIREMENTS ON SHEET 0



Architecture Planning Interior Design
ROBERT H. RICCIARDI
 ARCHITECT
 ROBERT B. RICCIARDI
 S.C.A.S.B.
 76-400 GERRARD ROAD DRIVE SUITE 115
 PALM DESERT, CALIFORNIA 92270
 TEL: 760-325-1100 FAX: 760-325-1101



NO. DATE REVISED

PROJECT
 D.L.G.E. CONTRACTUAL
 LABOR HOUSING
 MESSA, CALIFORNIA
 82-85 80TH AVENUE
 MESSA, CALIFORNIA

TITLE
 BUILDING F
 COMBASTY BUILDING
 FLOOR PLAN CEILING PLAN, ROOF PLAN

DATE
 SHEET NO.
 AFT
 OF

ROOM FINISH SCHEDULE

ROOM TITLE	WALLS	CEILING	FLOOR	FINISH	REMARKS
1 DRINK AREA	1 1/2" GYPSUM BOARD	1/2" GYPSUM BOARD	1/2" GYPSUM BOARD	1/2" GYPSUM BOARD	
2 RESTROOM	1/2" GYPSUM BOARD	1/2" GYPSUM BOARD	1/2" GYPSUM BOARD	1/2" GYPSUM BOARD	
3 KITCHEN	1/2" GYPSUM BOARD	1/2" GYPSUM BOARD	1/2" GYPSUM BOARD	1/2" GYPSUM BOARD	
4 STORAGE ROOM	1/2" GYPSUM BOARD	1/2" GYPSUM BOARD	1/2" GYPSUM BOARD	1/2" GYPSUM BOARD	
5 ELECTRICAL	1/2" GYPSUM BOARD	1/2" GYPSUM BOARD	1/2" GYPSUM BOARD	1/2" GYPSUM BOARD	
6 KITCHEN	1/2" GYPSUM BOARD	1/2" GYPSUM BOARD	1/2" GYPSUM BOARD	1/2" GYPSUM BOARD	
7 RESTROOM	1/2" GYPSUM BOARD	1/2" GYPSUM BOARD	1/2" GYPSUM BOARD	1/2" GYPSUM BOARD	
8 RESTROOM	1/2" GYPSUM BOARD	1/2" GYPSUM BOARD	1/2" GYPSUM BOARD	1/2" GYPSUM BOARD	
9 RESTROOM	1/2" GYPSUM BOARD	1/2" GYPSUM BOARD	1/2" GYPSUM BOARD	1/2" GYPSUM BOARD	
10 RESTROOM	1/2" GYPSUM BOARD	1/2" GYPSUM BOARD	1/2" GYPSUM BOARD	1/2" GYPSUM BOARD	
11 RESTROOM	1/2" GYPSUM BOARD	1/2" GYPSUM BOARD	1/2" GYPSUM BOARD	1/2" GYPSUM BOARD	
12 RESTROOM	1/2" GYPSUM BOARD	1/2" GYPSUM BOARD	1/2" GYPSUM BOARD	1/2" GYPSUM BOARD	
13 RESTROOM	1/2" GYPSUM BOARD	1/2" GYPSUM BOARD	1/2" GYPSUM BOARD	1/2" GYPSUM BOARD	
14 RESTROOM	1/2" GYPSUM BOARD	1/2" GYPSUM BOARD	1/2" GYPSUM BOARD	1/2" GYPSUM BOARD	
15 RESTROOM	1/2" GYPSUM BOARD	1/2" GYPSUM BOARD	1/2" GYPSUM BOARD	1/2" GYPSUM BOARD	

MATERIALS LEGEND

ITEM	DESCRIPTION	REMARKS
1	1/2" GYPSUM BOARD	FOR WALLS
2	1/2" GYPSUM BOARD	FOR CEILING
3	1/2" GYPSUM BOARD	FOR FLOOR
4	1/2" GYPSUM BOARD	FOR PARTITION WALLS
5	1/2" GYPSUM BOARD	FOR PARTITION CEILING
6	1/2" GYPSUM BOARD	FOR PARTITION FLOOR
7	1/2" GYPSUM BOARD	FOR PARTITION WALLS AND CEILING
8	1/2" GYPSUM BOARD	FOR PARTITION WALLS AND FLOOR
9	1/2" GYPSUM BOARD	FOR PARTITION WALLS, CEILING AND FLOOR
10	1/2" GYPSUM BOARD	FOR PARTITION WALLS AND CEILING
11	1/2" GYPSUM BOARD	FOR PARTITION WALLS AND FLOOR
12	1/2" GYPSUM BOARD	FOR PARTITION WALLS, CEILING AND FLOOR
13	1/2" GYPSUM BOARD	FOR PARTITION WALLS AND CEILING
14	1/2" GYPSUM BOARD	FOR PARTITION WALLS AND FLOOR
15	1/2" GYPSUM BOARD	FOR PARTITION WALLS, CEILING AND FLOOR

RESTROOM BRONZE DOOR NO. 8 N.T.S.

NOTE:
 1. BRONZE DOOR SHALL BE 1/2" THICK.
 2. BRONZE DOOR SHALL BE 1/2" THICK.
 3. BRONZE DOOR SHALL BE 1/2" THICK.
 4. BRONZE DOOR SHALL BE 1/2" THICK.
 5. BRONZE DOOR SHALL BE 1/2" THICK.
 6. BRONZE DOOR SHALL BE 1/2" THICK.
 7. BRONZE DOOR SHALL BE 1/2" THICK.
 8. BRONZE DOOR SHALL BE 1/2" THICK.
 9. BRONZE DOOR SHALL BE 1/2" THICK.
 10. BRONZE DOOR SHALL BE 1/2" THICK.
 11. BRONZE DOOR SHALL BE 1/2" THICK.
 12. BRONZE DOOR SHALL BE 1/2" THICK.
 13. BRONZE DOOR SHALL BE 1/2" THICK.
 14. BRONZE DOOR SHALL BE 1/2" THICK.
 15. BRONZE DOOR SHALL BE 1/2" THICK.

DOOR SCHEDULE

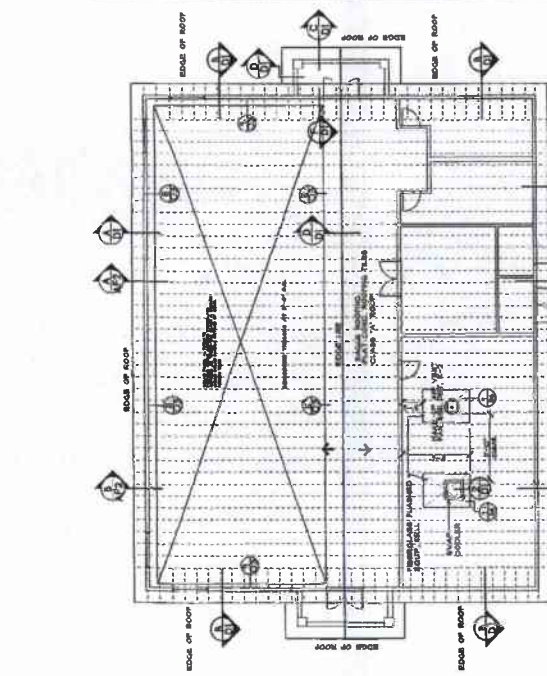
DOOR NUMBER	TYPE	FINISH	REMARKS
1	1/2" GYPSUM BOARD	1/2" GYPSUM BOARD	
2	1/2" GYPSUM BOARD	1/2" GYPSUM BOARD	
3	1/2" GYPSUM BOARD	1/2" GYPSUM BOARD	
4	1/2" GYPSUM BOARD	1/2" GYPSUM BOARD	
5	1/2" GYPSUM BOARD	1/2" GYPSUM BOARD	
6	1/2" GYPSUM BOARD	1/2" GYPSUM BOARD	
7	1/2" GYPSUM BOARD	1/2" GYPSUM BOARD	
8	1/2" GYPSUM BOARD	1/2" GYPSUM BOARD	
9	1/2" GYPSUM BOARD	1/2" GYPSUM BOARD	
10	1/2" GYPSUM BOARD	1/2" GYPSUM BOARD	
11	1/2" GYPSUM BOARD	1/2" GYPSUM BOARD	
12	1/2" GYPSUM BOARD	1/2" GYPSUM BOARD	
13	1/2" GYPSUM BOARD	1/2" GYPSUM BOARD	
14	1/2" GYPSUM BOARD	1/2" GYPSUM BOARD	
15	1/2" GYPSUM BOARD	1/2" GYPSUM BOARD	

WINDOW SCHEDULE

WINDOW NUMBER	TYPE	FINISH	REMARKS
1	1/2" GYPSUM BOARD	1/2" GYPSUM BOARD	
2	1/2" GYPSUM BOARD	1/2" GYPSUM BOARD	
3	1/2" GYPSUM BOARD	1/2" GYPSUM BOARD	
4	1/2" GYPSUM BOARD	1/2" GYPSUM BOARD	
5	1/2" GYPSUM BOARD	1/2" GYPSUM BOARD	
6	1/2" GYPSUM BOARD	1/2" GYPSUM BOARD	
7	1/2" GYPSUM BOARD	1/2" GYPSUM BOARD	
8	1/2" GYPSUM BOARD	1/2" GYPSUM BOARD	
9	1/2" GYPSUM BOARD	1/2" GYPSUM BOARD	
10	1/2" GYPSUM BOARD	1/2" GYPSUM BOARD	
11	1/2" GYPSUM BOARD	1/2" GYPSUM BOARD	
12	1/2" GYPSUM BOARD	1/2" GYPSUM BOARD	
13	1/2" GYPSUM BOARD	1/2" GYPSUM BOARD	
14	1/2" GYPSUM BOARD	1/2" GYPSUM BOARD	
15	1/2" GYPSUM BOARD	1/2" GYPSUM BOARD	

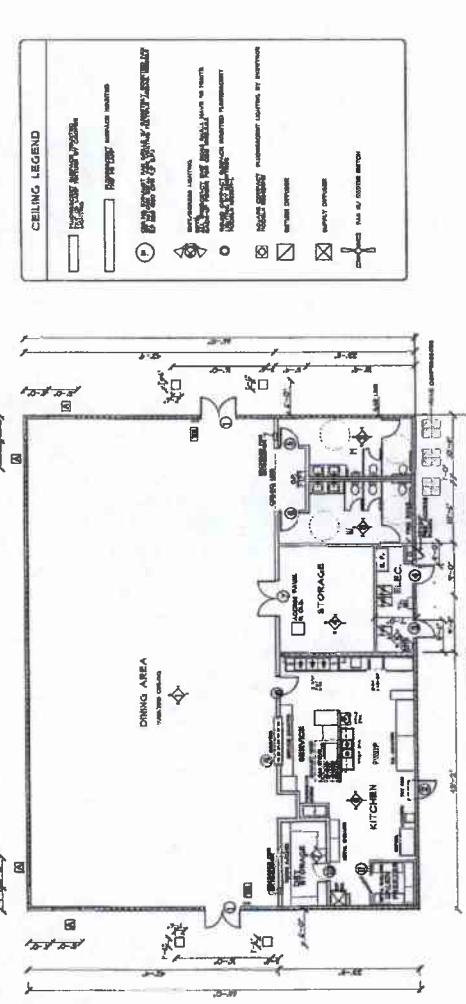
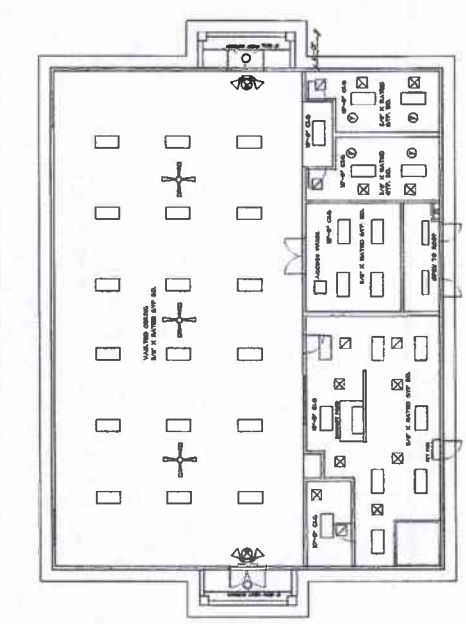
CEILING LEGEND

1. 1/2" GYPSUM BOARD
 2. 1/2" GYPSUM BOARD
 3. 1/2" GYPSUM BOARD
 4. 1/2" GYPSUM BOARD
 5. 1/2" GYPSUM BOARD
 6. 1/2" GYPSUM BOARD
 7. 1/2" GYPSUM BOARD
 8. 1/2" GYPSUM BOARD
 9. 1/2" GYPSUM BOARD
 10. 1/2" GYPSUM BOARD
 11. 1/2" GYPSUM BOARD
 12. 1/2" GYPSUM BOARD
 13. 1/2" GYPSUM BOARD
 14. 1/2" GYPSUM BOARD
 15. 1/2" GYPSUM BOARD



WALL LEGEND

1. 1/2" GYPSUM BOARD
 2. 1/2" GYPSUM BOARD
 3. 1/2" GYPSUM BOARD
 4. 1/2" GYPSUM BOARD
 5. 1/2" GYPSUM BOARD
 6. 1/2" GYPSUM BOARD
 7. 1/2" GYPSUM BOARD
 8. 1/2" GYPSUM BOARD
 9. 1/2" GYPSUM BOARD
 10. 1/2" GYPSUM BOARD
 11. 1/2" GYPSUM BOARD
 12. 1/2" GYPSUM BOARD
 13. 1/2" GYPSUM BOARD
 14. 1/2" GYPSUM BOARD
 15. 1/2" GYPSUM BOARD

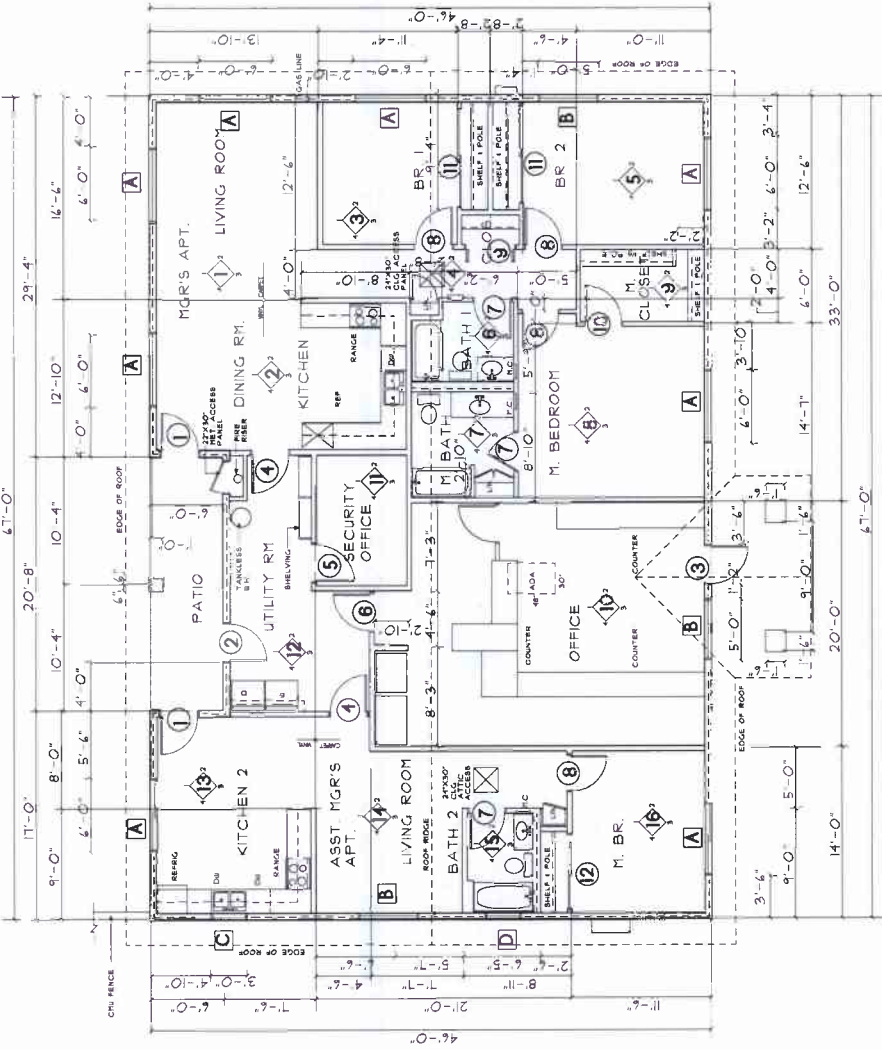


ROOM FINISH SCHEDULE		CEILING		WALLS		FLOOR		DOORS		WINDOWS		REMARKS	
ROOM NUMBER	ROOM TITLE	FINISH	HT	W	H	W	H	W	H	W	H	W	H
1	LIVING ROOM	1	10'-0"	1	10'-0"	1	10'-0"	1	10'-0"	1	10'-0"	1	10'-0"
2	KITCHEN	2	10'-0"	2	10'-0"	2	10'-0"	2	10'-0"	2	10'-0"	2	10'-0"
3	BEDROOM 1	3	10'-0"	3	10'-0"	3	10'-0"	3	10'-0"	3	10'-0"	3	10'-0"
4	HALLWAY	4	10'-0"	4	10'-0"	4	10'-0"	4	10'-0"	4	10'-0"	4	10'-0"
5	BEDROOM 2	5	10'-0"	5	10'-0"	5	10'-0"	5	10'-0"	5	10'-0"	5	10'-0"
6	BATH 1	6	10'-0"	6	10'-0"	6	10'-0"	6	10'-0"	6	10'-0"	6	10'-0"
7	MASTER BATH	7	10'-0"	7	10'-0"	7	10'-0"	7	10'-0"	7	10'-0"	7	10'-0"
8	MASTER BEDROOM	8	10'-0"	8	10'-0"	8	10'-0"	8	10'-0"	8	10'-0"	8	10'-0"
9	HALLIE CLOSET	9	10'-0"	9	10'-0"	9	10'-0"	9	10'-0"	9	10'-0"	9	10'-0"
10	OFFICE	10	10'-0"	10	10'-0"	10	10'-0"	10	10'-0"	10	10'-0"	10	10'-0"
11	SECURITY OFFICE	11	10'-0"	11	10'-0"	11	10'-0"	11	10'-0"	11	10'-0"	11	10'-0"
12	UTILITY ROOM	12	10'-0"	12	10'-0"	12	10'-0"	12	10'-0"	12	10'-0"	12	10'-0"
13	KITCHEN 2	13	10'-0"	13	10'-0"	13	10'-0"	13	10'-0"	13	10'-0"	13	10'-0"
14	LIVING ROOM 2	14	10'-0"	14	10'-0"	14	10'-0"	14	10'-0"	14	10'-0"	14	10'-0"
15	BATH 2	15	10'-0"	15	10'-0"	15	10'-0"	15	10'-0"	15	10'-0"	15	10'-0"
16	MASTER BEDROOM 2	16	10'-0"	16	10'-0"	16	10'-0"	16	10'-0"	16	10'-0"	16	10'-0"

MATERIALS LEGEND	
ITEM	DESCRIPTION
FLOOR	WALLS
1	1
2	2
3	3
CEILING	CEILING
4	4
5	5
6	6

DOOR SCHEDULE		
ROOM NUMBER	DOOR TYPE	REMARKS
1	1	
2	2	
3	3	
4	4	
5	5	
6	6	
7	7	
8	8	
9	9	
10	10	
11	11	
12	12	
13	13	
14	14	
15	15	
16	16	

WINDOW SCHEDULE		
ROOM NUMBER	WINDOW TYPE	REMARKS
1	1	
2	2	
3	3	
4	4	
5	5	
6	6	
7	7	
8	8	
9	9	
10	10	
11	11	
12	12	
13	13	
14	14	
15	15	
16	16	



BUILDING G FLOOR PLAN

SCALE: 1/4" = 1'-0"

WALL LEGEND

EXTERIOR WALLS

2X4 STUDS AT 16" O.C. W/ R-21 INSUL.

INTERIOR WALLS

VINYL WINDOWS W/ LOW E T THICK SOLAR BRONZE

2X4 STUDS AT 16" O.C. W/ R-18 INSUL.

2X4 STUDS AT 16" O.C. W/ R-13 INSUL.

Architecture Planning Interior Design

ROBERT H. RICCIARDI ARCHITECT

ROBERT H. RICCIARDI M.C.A.R.B.

75-100 GERALD FORD DRIVE SUITE 115 PALM DESERT, CALIFORNIA 92211

TEL: 760-329-7277 FAX: 760-329-7277



NO.	DATE	REVISIONS

PROJECT: DACE SAN CRISTOBAL APARTMENTS MECCA, CALIFORNIA SOUTHEAST CORNER HARMOND & 88TH AVE MECCA, CALIFORNIA

TITLE: BUILDING G DUPLEX AND OFFICE BUILDING FLOOR PLAN AND SCHEDULES

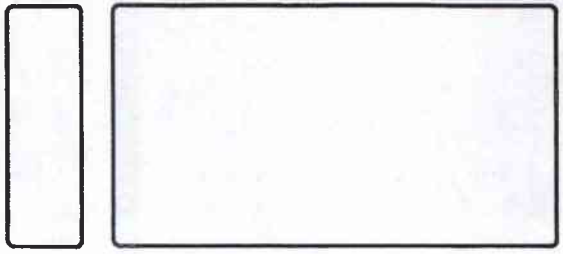
DATE: MAY 2009
DRAWN: M. B. B. B.
CHECKED: M. B. B. B.
IN CHARGE: M. B. B. B.

AGI

1

VINYL FLOORING
NOTE: SEE FLOOR SCHEDULE FOR FINISHES. ALL VINYL FLOORING TO MATCH VINYL FLOORING. GRAB THICK 3/4" X 1/4" X 1/4" POROUS SUBSTRATE.
NOTE: SEE WINDOW SCHEDULE FOR WINDOW TYPES AND SIZES. ALL WINDOW FINISHES TO MATCH WINDOW SCHEDULE.
NOTE: SEE WINDOW SCHEDULE FOR WINDOW TYPES AND SIZES. ALL WINDOW FINISHES TO MATCH WINDOW SCHEDULE.

Architects Planning Interior Design
ROBERT H. RICCIARDI ARCHITECT
 ROBERT H. RICCIARDI, R.C.A.A.B.
 17-400 GERALD FORD DRIVE, SUITE 101
 PALM BEACH, CALIFORNIA 92061
 PHONE 760-833-1234



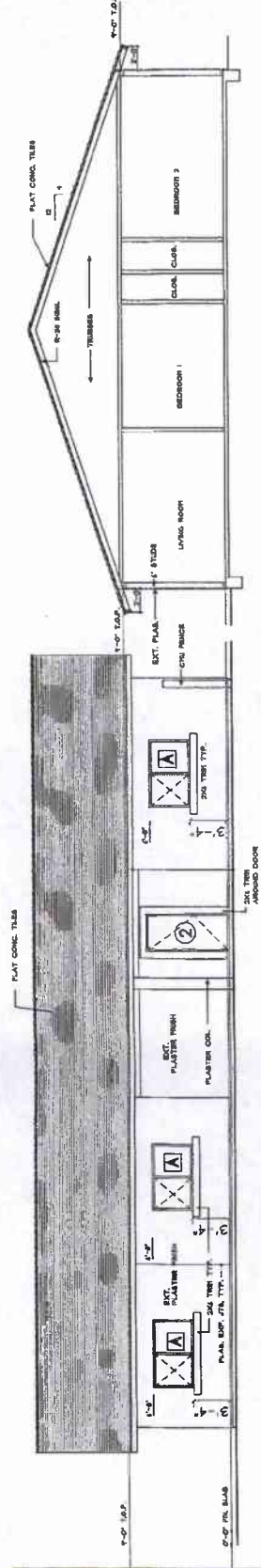
NO.	DATE	REVISION

PROJECT
 D.A.C.E.
 SAN CLEMENTE
 JUNIOR HIGH SCHOOL
 MESQUITA, CALIFORNIA
 82-85 85TH AVENUE
 MESQUITA, CALIFORNIA

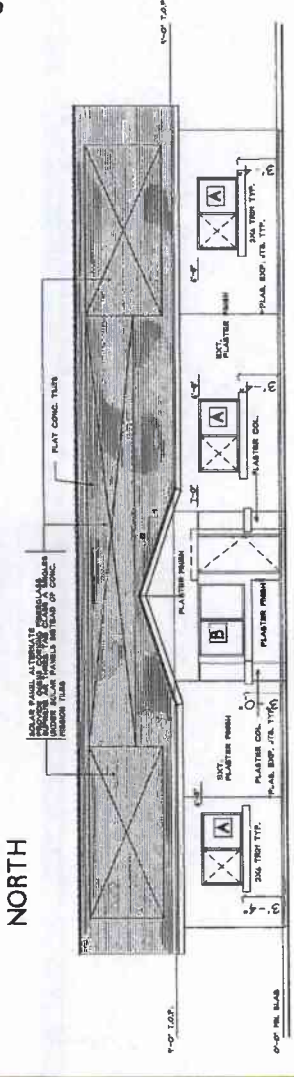
TITLE
 BUILDING E
 PLAN OF EXTERIOR WALLS AND
 EXTERIOR ELEVATIONS AND SECTION

DATE: APR 28, 1971
 DRAWN BY: J. R. [unclear]
 CHECKED BY: [unclear]
 SCALE: AS SHOWN

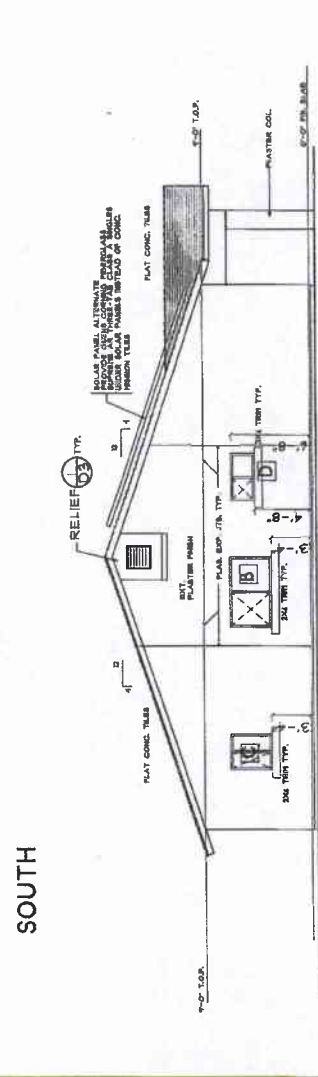
MEET NO. AG81



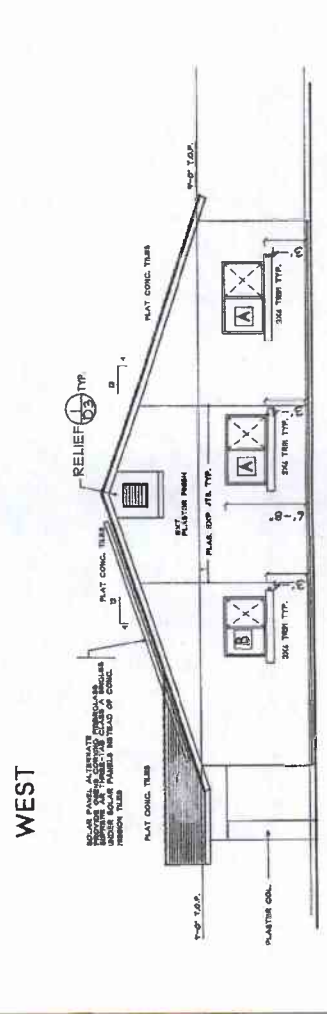
SECTION A



NORTH



SOUTH



WEST

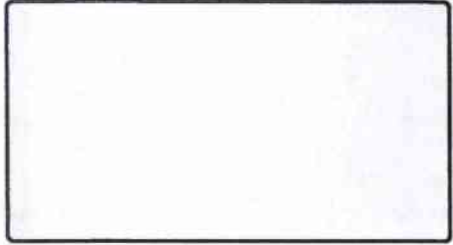


EAST

Architecture Planning Interior Design

ROBERT H. RICCIARDI
ARCHITECT

ROBERT H. RICCIARDI REG. ARCH.
77-000 GERALD FORD DRIVE SUITE 115
PALM DESERT, CALIFORNIA 92260
TEL: 760-325-2222
FAX: 760-325-2222

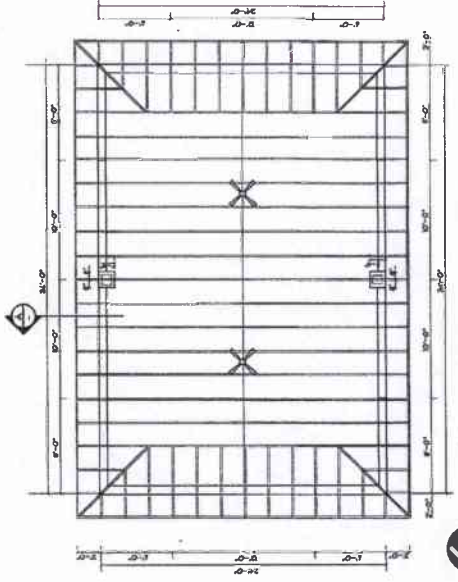
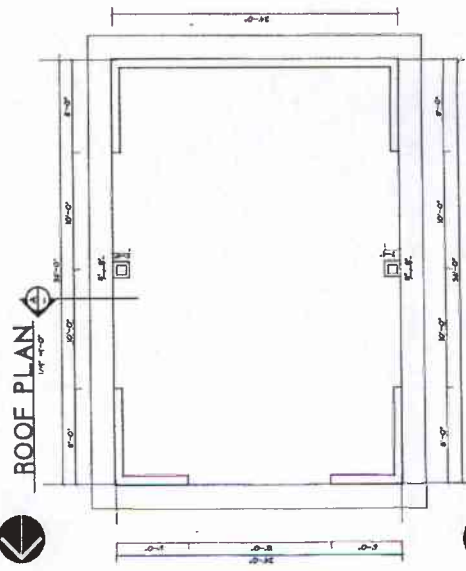
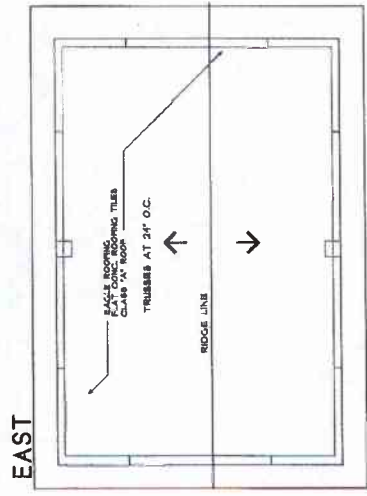
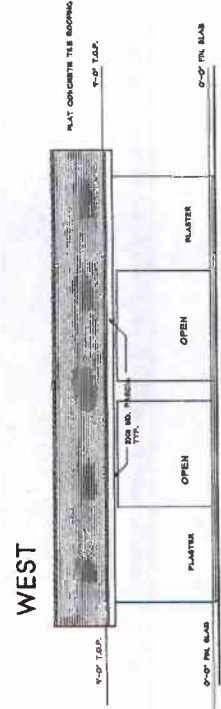
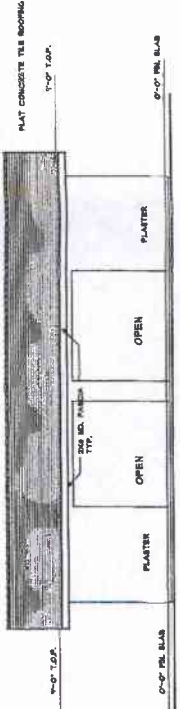
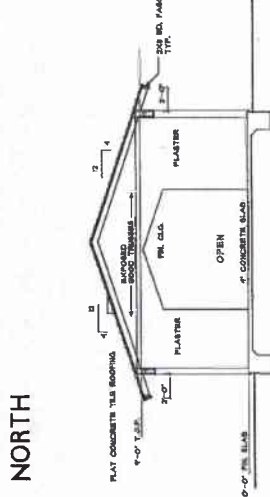
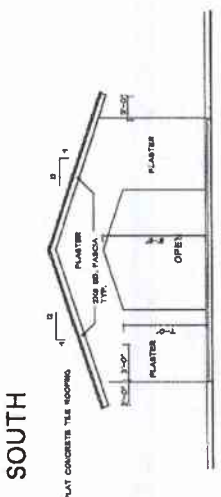
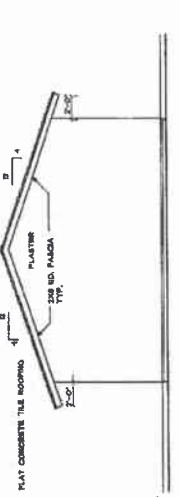


NO.	DATE	REVISIONS

PROJECT
D.A.C.E.
SAN CRISTOBAL
MIGRANT LABOR HOUSING
MEDICAL CAMP, CALIFORNIA
82-85 85TH AVE.
MEDICAL CAMP, CALIFORNIA

TITLE
BUILDING 14
PATIO STRUCTURE
FLOOR AND ROOF PLANS
EXTERIOR ELEVATIONS

DATE	SCALE	PROJECT NO.
		AH9



BUILDING AREA: 173 S.F.

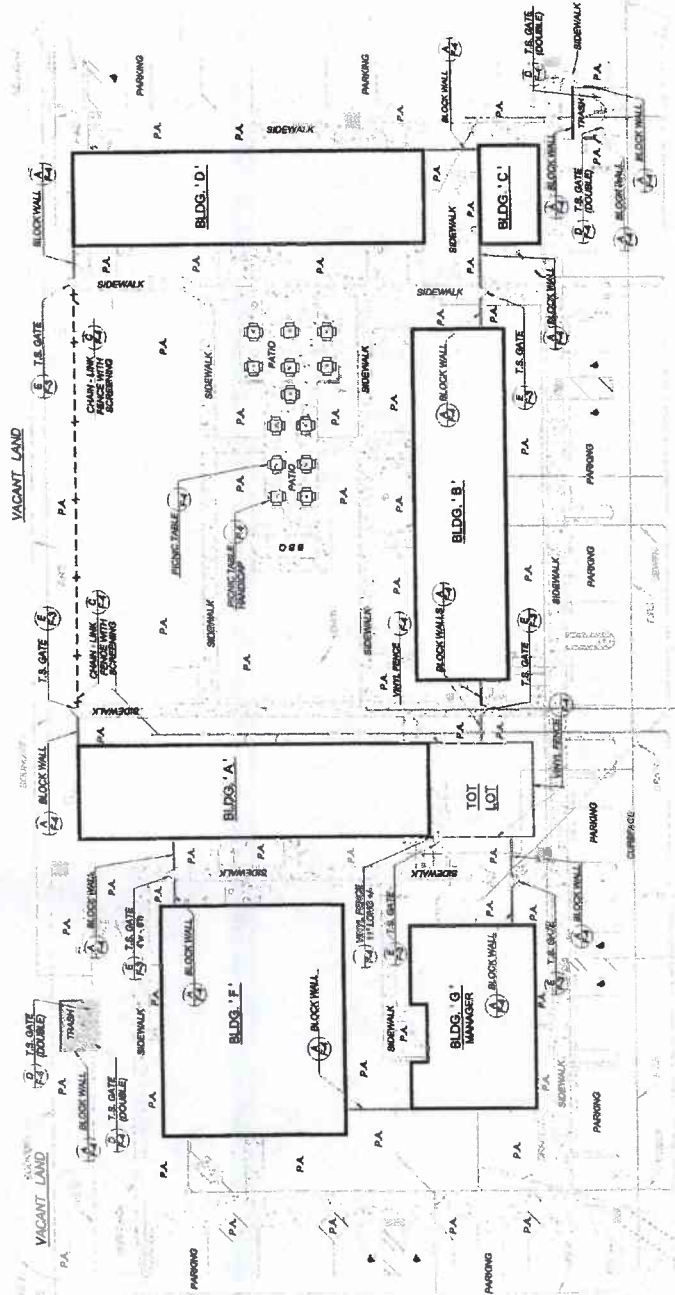
BUILDING AREA: 173 S.F.

NOTES

1. SEE SHEETS FOR LOCATION AND STRUCTURAL INFORMATION OF BLOCK WALLS AND TUBULAR STEEL GATES FOR TRASH ENCLOSURE.
 2. SEE CIVIL DRAWINGS FOR LOCATION OF CHAIN-LINK FENCES AND CHAIN-LINK ROLLING GATES.
- STRUCTURAL INFORMATION PER GATE MANUFACTURER & LOCAL CODE. INSTALL PER GATE MANUFACTURER DETAILS, NOTES & SPECIFICATIONS.

SEE SHEET F-2

SEE SHEET F-2



GRAPHIC SCALE: 1" = 20'-0"

- LEGEND**
- PA = PLANTING AREA
 - ROW = RIGHT OF WAY
 - PL = PROPERTY LINE
 - T.S. = TUBULAR STEEL
 - FL = PROPERTY LINE

**WALL, FENCING & PICNIC TABLE PLAN
HOUSING AREA**

SEE SHEET F-3 FOR MATERIAL SCHEDULE / LEGEND.

RIVERSIDE COUNTY NOTE
NO CHANGES OR SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN APPROVAL BY THE COUNTY LANDSCAPE PLANNERS

THESE PLANS HAVE BEEN REVIEWED BY THE CALIFORNIA WATER RESOURCES DIVISION IN CONNECTION WITH THE LOCAL STREAMS ACT (S.A. 3700). THE REVIEW IS LIMITED TO THE TECHNICAL ASPECTS OF THE PLANS AND DOES NOT CONSTITUTE AN ENDORSEMENT OF THE PROJECT OR A GUARANTEE OF THE ACCURACY OF THE INFORMATION PROVIDED HEREON.

CLIP 34871 / SCHEDULE A / LP No. 120055
COUNTY OF RIVERSIDE
SAN CRISTOBAL - HOUSING & WELL SITE AREAS
WALL, FENCING & PICNIC TABLE PLAN
DATE: 05/06/2013
DRAWN BY: (T) 780.361.6500

BENCH MARK: H 1256
COUNTY: RIVERSIDE
NOTE: ADD TO NEGATIVE ELEVATION
MARKING TO BE 5.21 - 1410.29

PREPARED BY:
RAY LOPEZ ASSOCIATES
LANDSCAPE ARCHITECTURE & PLANNING
PO BOX 1086, WALL GATE, CA 92574
(714) 208-0888 (R) rlopez@rla.com



APPROVED	DATE	COUNTY

REVISION	DATE	DESCRIPTION

NOTE:
LOCAL PERMITS FOR THESE PLANS SHALL OBTAIN COMPLIANCE WITH AN ENCROACHMENT PERMIT AND/OR A GRADING PERMIT HAVE BEEN OBTAINED.
A PERMITS DIVISION SHALL REVIEW THESE PLANS FOR PERMITS.
DATE: 05/06/2013

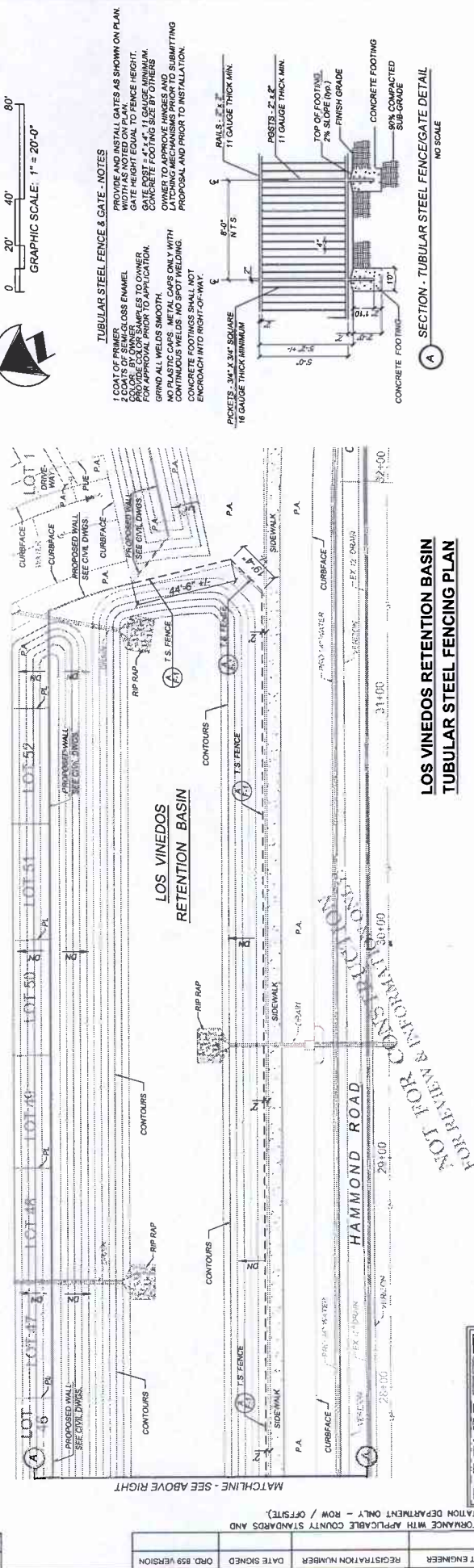
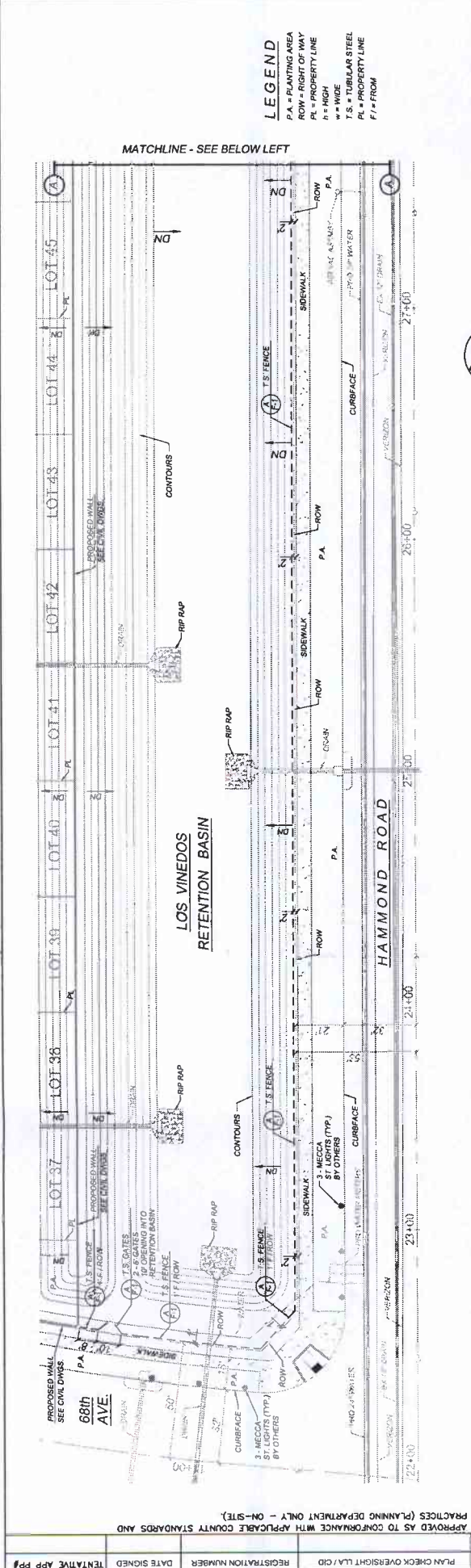


PLAN CHECK OVERSIGHT ENGINEER	DATE SIGNED	ORD. 869 VERSION
REGISTERED PROFESSIONAL ARCHITECT	DATE SIGNED	
REGISTERED PROFESSIONAL LANDSCAPE ARCHITECT	DATE SIGNED	
REGISTERED PROFESSIONAL CIVIL ENGINEER	DATE SIGNED	
REGISTERED PROFESSIONAL ELECTRICAL ENGINEER	DATE SIGNED	
REGISTERED PROFESSIONAL MECHANICAL ENGINEER	DATE SIGNED	
REGISTERED PROFESSIONAL PLUMBING ENGINEER	DATE SIGNED	
REGISTERED PROFESSIONAL STRUCTURAL ENGINEER	DATE SIGNED	
REGISTERED PROFESSIONAL SURVEYOR	DATE SIGNED	
REGISTERED PROFESSIONAL TRANSPORTATION ENGINEER	DATE SIGNED	
REGISTERED PROFESSIONAL WATER RESOURCES ENGINEER	DATE SIGNED	
REGISTERED PROFESSIONAL WASTE ENGINEER	DATE SIGNED	
REGISTERED PROFESSIONAL WIND ENGINEER	DATE SIGNED	
REGISTERED PROFESSIONAL ZONING ADMINISTRATOR	DATE SIGNED	

APPROVED AS TO CONFORMANCE WITH APPLICABLE COUNTY STANDARDS AND PRACTICES (TRANSPORTATION DEPARTMENT ONLY - ROW / OFFSITE).

APPROVED AS TO CONFORMANCE WITH APPLICABLE COUNTY STANDARDS AND PRACTICES (PLANNING DEPARTMENT ONLY - OR-SITE).

PLAN CHECK OVERSIGHT LIA / CID
REGISTRATION NUMBER
DATE SIGNED
TENTATIVE APP P#



LEGEND
 PA = PLANTING AREA
 ROW = RIGHT OF WAY
 PK = PROPERTY LINE
 H = HIGH
 W = WIDE
 T.S. = TUBULAR STEEL
 PL = PROPERTY LINE
 F/ = FROM

TUBULAR STEEL FENCE & GATE - NOTES
 1 COAT OF PRIMER
 2 COATS OF SEMI-GLOSS ENAMEL
 PROVIDE COLOR SAMPLES TO OWNER FOR APPROVAL PRIOR TO APPLICATION.
 GRIND ALL WELDS SMOOTH
 CONTINUOUS WELDS ONLY WITH CONTINUOUS WELDS NO SPOT WELDING.
 CONCRETE FOOTINGS SHALL NOT ENDOUCH INTO RIGHT-OF-WAY.
 PROVIDE AND INSTALL GATES AS SHOWN ON PLAN.
 GATE HEIGHT EQUAL TO FENCE HEIGHT.
 CONCRETE FOOTING SIZE BY OTHERS.
 OWNER TO APPROVE HINGES AND LATCHING MECHANISMS PRIOR TO SUBMITTING PROPOSAL AND PRIOR TO INSTALLATION.

SECTION - TUBULAR STEEL FENCE/GATE DETAIL
 NO SCALE

**LOS VINEDOS RETENTION BASIN
 TUBULAR STEEL FENCING PLAN**

APPROVED AS TO CONFORMANCE WITH APPLICABLE COUNTY STANDARDS AND PRACTICES (TRANSPORTATION DEPARTMENT ONLY - ROW / OFFSETS).

APPROVED AS TO CONFORMANCE WITH APPLICABLE COUNTY STANDARDS AND PRACTICES (PLANNING DEPARTMENT ONLY - ON-SITE).

PLAN CHECK OVERSIGHT ENGINEER: _____ REGISTRATION NUMBER: _____ DATE SIGNED: _____

PLAN CHECK OVERSIGHT ENGINEER: _____ REGISTRATION NUMBER: _____ DATE SIGNED: _____

ORD. 859 VERSION

NOT FOR CONSTRUCTION
 FOR REVIEW & INFORMATION ONLY

NOTE:
 WORK CONTAINED WITHIN THESE PLANS IS THE PROPERTY OF RAY LOPEZ ASSOCIATES PLANNING AND ENGINEERING. NO PART OF THESE PLANS IS TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RAY LOPEZ ASSOCIATES PLANNING AND ENGINEERING.

PREPARED BY:
 RAY LOPEZ ASSOCIATES PLANNING AND ENGINEERING
 3030 OFFICE BLDG., VISTA DEL CERRILLO, SANTA ROSA, CA 95474
 50990 JACKSON ST., VISTA SANTA ROSA, CA 95724
 (714) 208-8888 (E) RL.A@raylopez.com

CERT. NO. 3474, EXP. 12.31.2013

DATE: _____

SCALE: SEE ABOVE

FOR: D.A.C.E. (T) 180.391.0550

PROJECT: LOS VINEDOS RETENTION BASIN

PROJECT NO.: 1052050

CUP: 34871 / SCHEDULE A / LP No. 1052050

COUNTY OF RIVERSIDE

PROJECT: T-1

DATE: 5/23/13

SAN CRISTOBAL MIGRANT HOUSING



BLDG. A (WOMEN'S & FAMILY DORMITORY)
SCALE: 1/4" = 1'-0"



BLDG. B (DORMITORY)
SCALE: 1/4" = 1'-0"



SAN CRISTOBAL MIGRANT HOUSING



BLDG. B NORTH ELEVATION (DORMITORY)
SCALE: 1/4" = 1'-0"



BLDG. B SOUTH ELEVATION (DORMITORY)
SCALE: 1/4" = 1'-0"

ROBERT H. RICCIARDI ARCHITECT



SAN CRISTOBAL MIGRANT HOUSING



BLDG. D (DORMITORY)
SCALE: 1/4" = 1'-0"



BLDG. E (DORMITORY)
SCALE: 1/4" = 1'-0"



SAN CRISTOBAL MIGRANT HOUSING



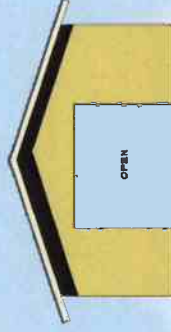
BLDG. F (COMMUNITY CENTER)
SCALE: 1/4" = 1'-0"



BLDG. C (LAUNDRY)
SCALE: 1/4" = 1'-0"



BLDG. G (RESIDENTIAL DUPLEX W/OFFICE)
SCALE: 1/4" = 1'-0"



BLDG. H (SHADE STRUCTURE)
SCALE: 1/4" = 1'-0"



SAN CRISTOBAL MIGRANT HOUSING



BLDG. F (COMMUNITY CENTER)
SCALE: 1/4" = 1'-0"



BLDG. C (LAUNDRY)
SCALE: 1/4" = 1'-0"



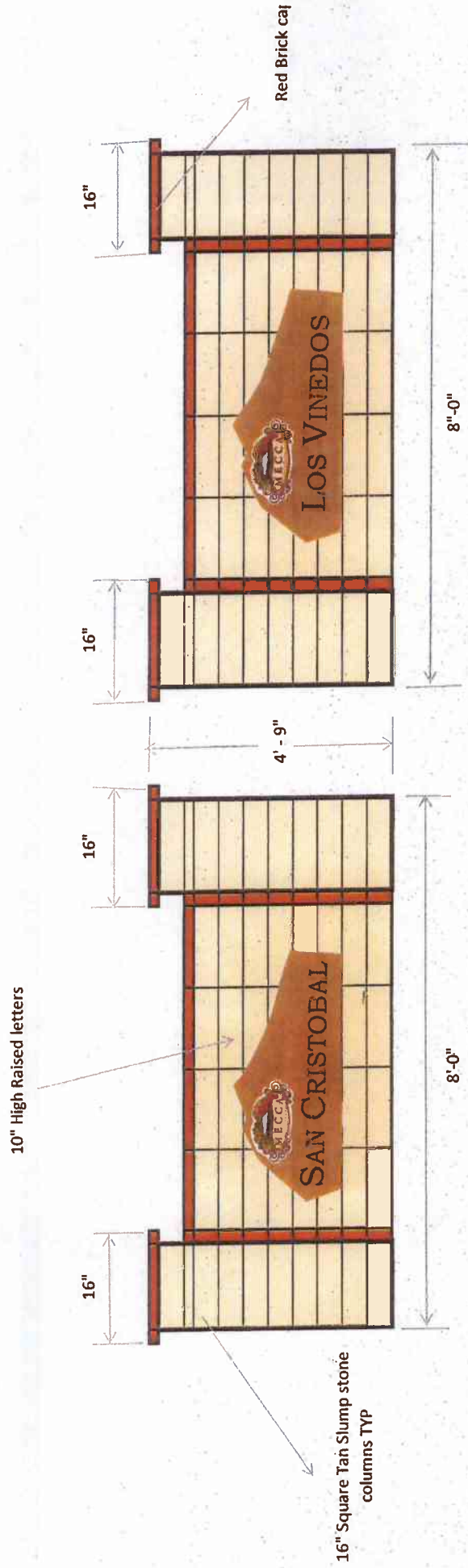
BLDG. G (RESIDENTIAL DUPLEX W/OFFICE)
SCALE: 1/4" = 1'-0"



BLDG. H (SHADE STRUCTURE)
SCALE: 1/4" = 1'-0"



Entrance Signs Dimension and lay out



NO.	REVISIONS	APPROVED DATE

IN THE UNINCORPORATED TERRITORY OF RIVERSIDE COUNTY, STATE OF CALIFORNIA
CONDITIONAL USE PERMIT NO. 3686
LOS VINEDOS LABOR HOUSING
 BEING A PORTION OF THE NORTHWEST QUARTER OF SECTION 21,
 TOWNSHIP 7 SOUTH, RANGE 5 EAST, S.B.B.A.M.
 FEBRUARY 8, 2013

OWNER/APPLICANT/DEVELOPER:
 JEFFREY YARTLAND, PROJECT COORDINATOR
 10000 S. MOUNTAIN VIEW, SUITE 1
 COACHELLA, CA 92236
 TELEPHONE (760) 391-5090 FAX (760) 391-5100
 729-555-022

ASSESSOR'S PARCEL NO.:
 729-555-022

GROSS AREA: 13.76 ACRES
NET AREA: 12.97 ACRES

EXISTING ZONE:
 R2-100 LOS VINEDOS (MOBILE HOMES)

PROPOSED ZONE:
 W2

EXISTING GP:
 RESIDENTIAL HIGH DENSITY (R2-100)

PROPOSED GP:
 RESIDENTIAL HIGH DENSITY (W2)

FLOOD ZONE:
 NOT WITHIN FLOOD AREA

THOMAS BROTHERS:
 PG 567 GRID 12

OVERALL AREA TABULATIONS:
 0.50 AC. 15' WIDE SIDEWALK
 1.54 AC. 15' WIDE SIDEWALK
 0.79 AC. 15' WIDE SIDEWALK
 2.00 AC. 15' WIDE SIDEWALK
 100 SPACES
 13.76 AC.

PARKING TABULATIONS:
 (84 MOBILE HOME SPACES) LOS VINEDOS
 REQUIRED PARKING:
 MOBILE HOME UNITS 188 SPACES
 2 SPACE PER UNIT 11 SPACES
 TOTAL PARKING REQUIRED 199 SPACES
 PARKING PROVIDED 199 SPACES
 STANDARD SPACES 48 SPACES
 HANDICAP SPACES 4 SPACES
 MOBILE HOME SPACES 147 SPACES
 TOTAL SPACES 200 SPACES

UTILITY AGENCIES:
 WATER COACHELLA VALLEY WATER DISTRICT (760) 398-2851
 SEWER SAN DIEGO COUNTY WATER REUSE (760) 398-2851
 ELECTRIC SOUTHWEST CALIFORNIA (760) 398-2851
 TELEPHONE VERIZON TELEPHONE COMPANY (760) 984-1700
 DIRECT TV DIRECTV (800) 224-4888
 SCHOOL DISTRICT COACHELLA VALLEY UNIFIED (760) 924-154

NOTE:
 MAP INCLUDES THE ENTIRE CONTIGUOUS OWNERSHIP OF THE LAND UNDER
 NO LOTS LOCATED WITHIN PROJECT BOUNDARY.
 PROJECT FALLS WITHIN: 1. A HIGH LIQUIDATION POTENTIAL AREA
 PROJECT IS NOT WITHIN: 1. A SPECIFIC PLAN AREA
 2. 200' OF ANY KNOWN EASTING WELL
 3. A FLOOD ZONE

UTILITIES:
 WATER
 SEWER
 ELECTRIC
 TELEPHONE
 DIRECT TV
 SCHOOL DISTRICT

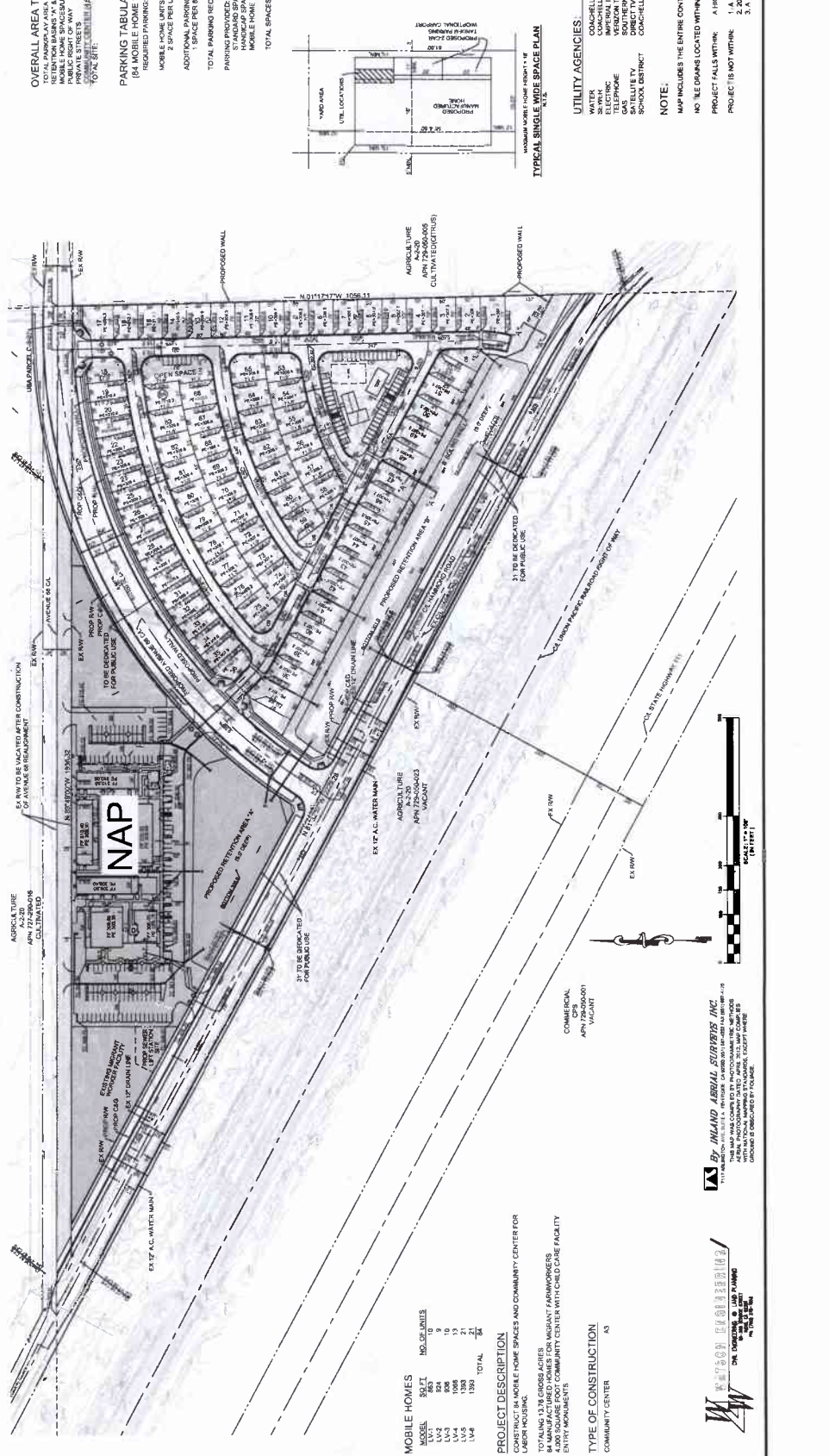
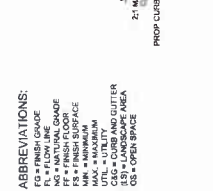
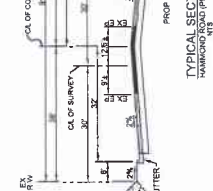
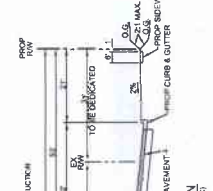
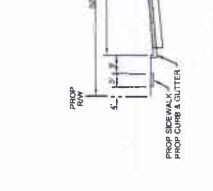
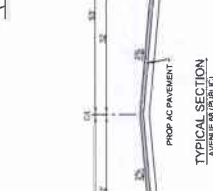
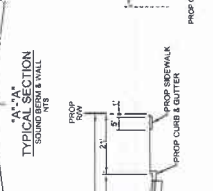
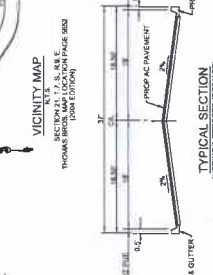
TYPICAL SINGLE WIDE SPACE PLAN
 1/2" = 1' - 0"

TYPICAL DOUBLE WIDE SPACE PLAN
 1/2" = 1' - 0"

OVERALL AREA TABULATIONS:
 0.50 AC. 15' WIDE SIDEWALK
 1.54 AC. 15' WIDE SIDEWALK
 0.79 AC. 15' WIDE SIDEWALK
 2.00 AC. 15' WIDE SIDEWALK
 100 SPACES
 13.76 AC.

PARKING TABULATIONS:
 (84 MOBILE HOME SPACES) LOS VINEDOS
 REQUIRED PARKING:
 MOBILE HOME UNITS 188 SPACES
 2 SPACE PER UNIT 11 SPACES
 TOTAL PARKING REQUIRED 199 SPACES
 PARKING PROVIDED 199 SPACES
 STANDARD SPACES 48 SPACES
 HANDICAP SPACES 4 SPACES
 MOBILE HOME SPACES 147 SPACES
 TOTAL SPACES 200 SPACES

UTILITY AGENCIES:
 WATER COACHELLA VALLEY WATER DISTRICT (760) 398-2851
 SEWER SAN DIEGO COUNTY WATER REUSE (760) 398-2851
 ELECTRIC SOUTHWEST CALIFORNIA (760) 398-2851
 TELEPHONE VERIZON TELEPHONE COMPANY (760) 984-1700
 DIRECT TV DIRECTV (800) 224-4888
 SCHOOL DISTRICT COACHELLA VALLEY UNIFIED (760) 924-154



DIRT QUANTITY ESTIMATE:

ITEM	QUANTITY
1. FILL	19,500 C.Y.
2. CUT	1,500 C.Y.
TOTAL	21,000 C.Y.

NOTE: QUANTITIES ARE BASED ON THE ASSUMPTIONS AND CONDITIONS SHOWN ON THIS DRAWING. QUANTITIES ARE APPROXIMATE AND SUBJECT TO CHANGE.

MOBILE HOMES

MODEL	SHEETS	MOBILE HOMES
LV-1	9	9
LV-2	84	84
LV-3	19	19
LV-4	1008	1008
LV-5	1303	1303
LV-6	21	21
LV-7	1	1
TOTAL	1365	1365

PROJECT DESCRIPTION

MOBILE HOME SPACES AND COMMUNITY CENTER FOR LABOR HOUSING.

TOTALING 13.76 GROSS ACRES

84 MANUFACTURED HOMES FOR MIGRANT FARMWORKERS

COMMUNITY CENTER WITH CHILD CARE FACILITY

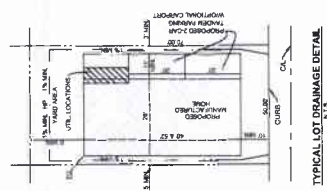
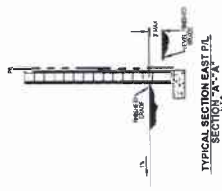
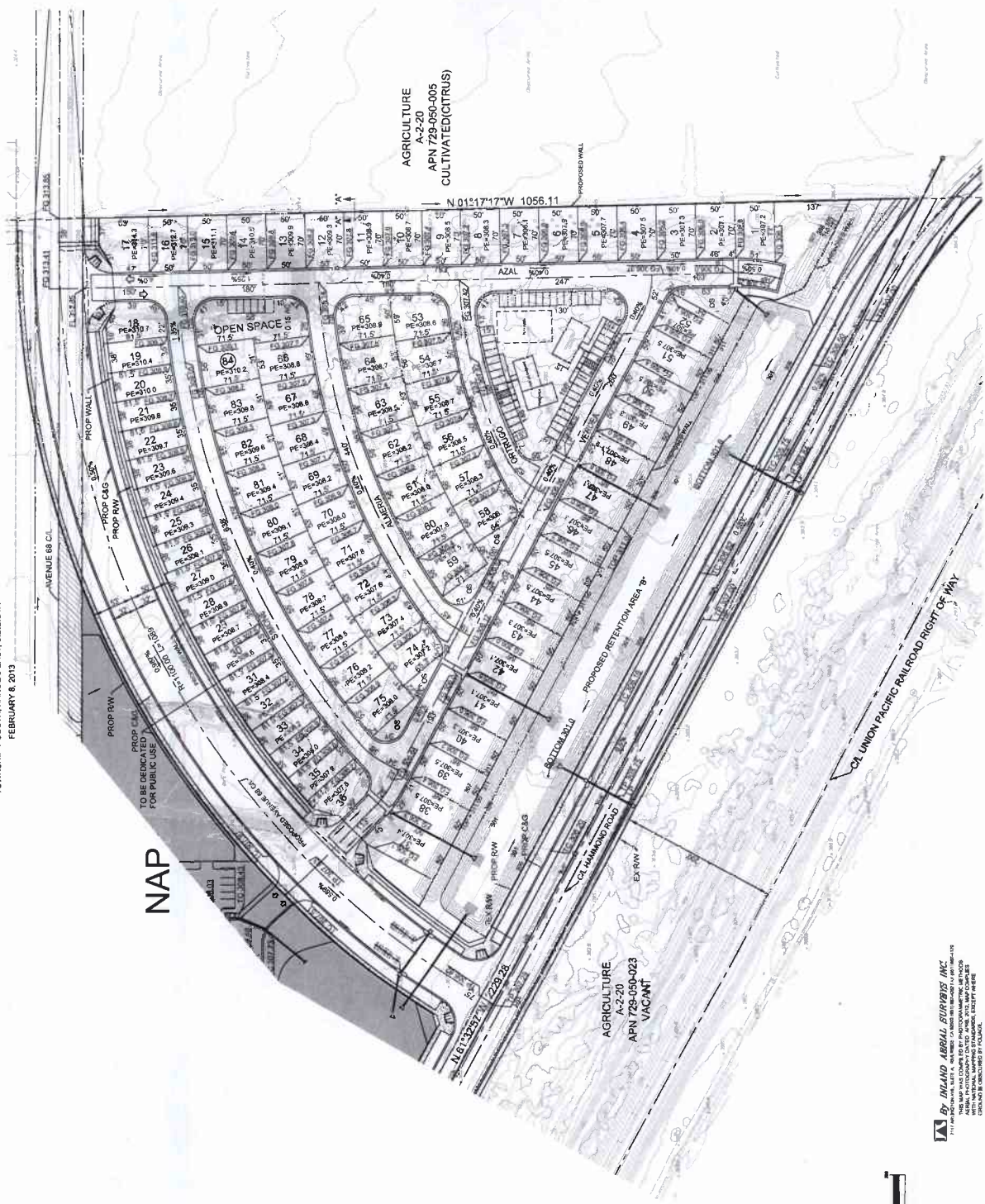
ENTRY MONUMENTS

TYPE OF CONSTRUCTION
 AS

BY INLAND AERIAL SURVEYS, INC.
 THE MAP WAS DRAWN BY PHOTOGRAMMETRIC METHODS
 UNDER THE SUPERVISION OF THE ENGINEER
 AND IN ACCORDANCE WITH THE CALIFORNIA
 SURVEYING ACTS OF 1907 AND 1937
 AS AMENDED
 10/15/12

NO.	REVISIONS	DATE

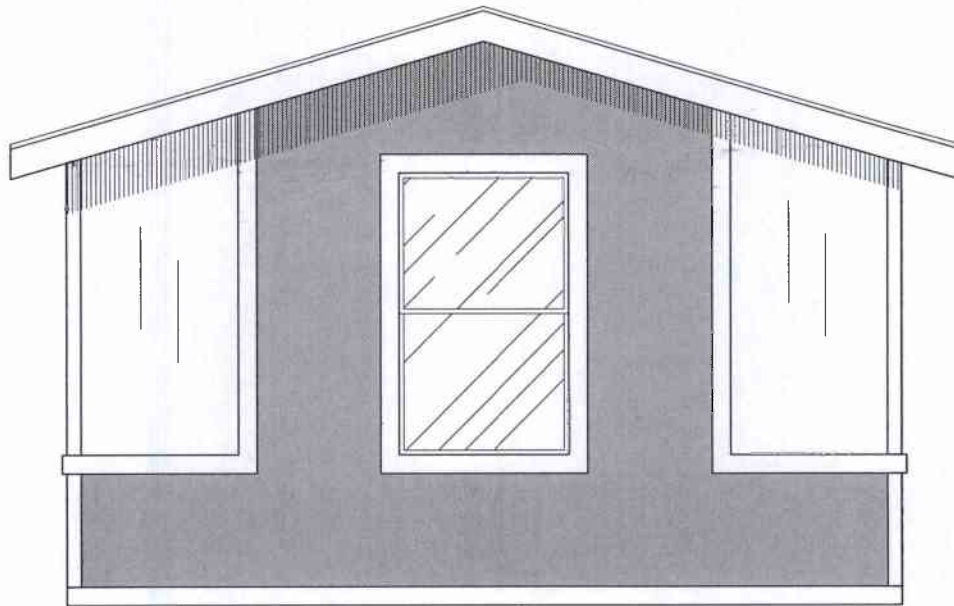
IN THE UNINCORPORATED TERRITORY OF RIVERSIDE COUNTY, STATE OF CALIFORNIA
CONDITIONAL USE PERMIT NO. 3686
LOS VINEDOS LABOR HOUSING
 BEING A PORTION OF THE NORTHWEST QUARTER OF SECTION 21,
 TOWNSHIP 7 SOUTH, RANGE 9 EAST, S.B.B. & M.
 FEBRUARY 8, 2013



- ABBREVIATIONS:
- FG = FINISH GRADE
 - NG = NATURAL GRADE
 - FS = FINISH SURFACE
 - ML = MINIMUM
 - UTL = UTILITY
 - LSJ = LANDSCAPE AREA
 - HP = HIGH POINT

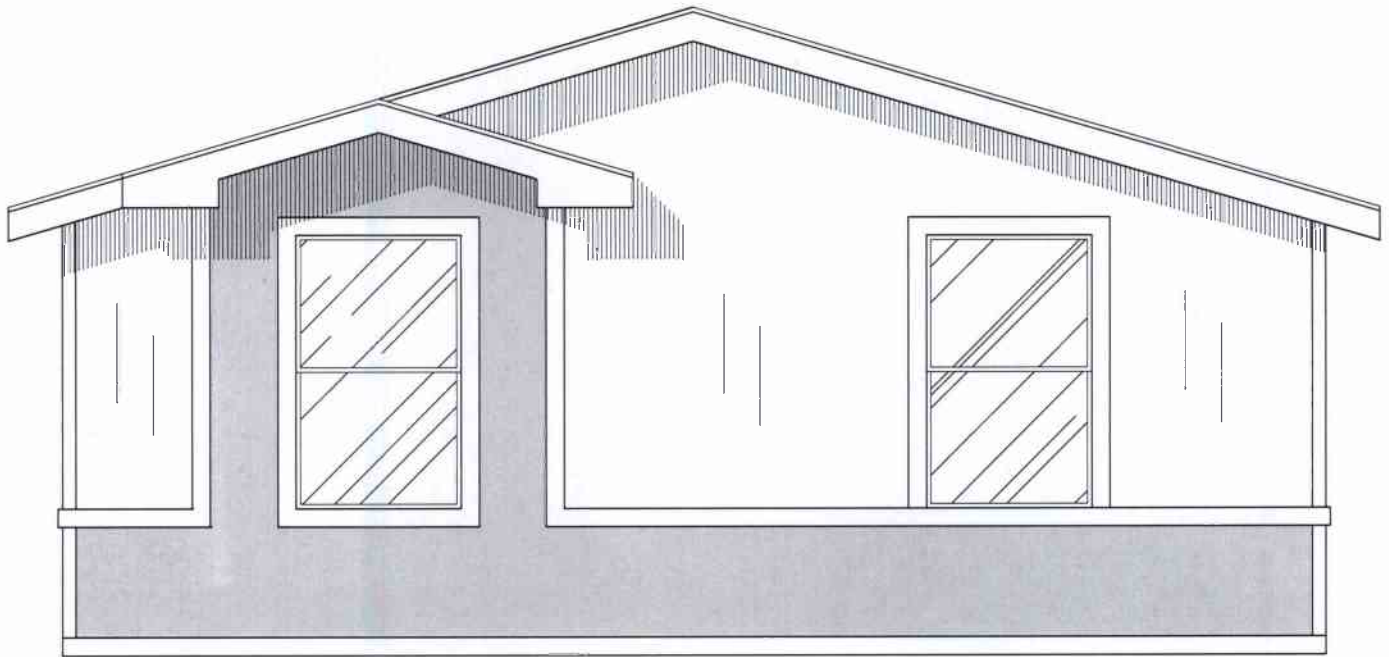


M.A.T.C.O. ENGINEERS & ARCHITECTS, INC.
 1800 W. 10TH STREET, SUITE 100
 RIVERSIDE, CALIFORNIA 92507
 TEL: 951-514-1100
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 WWW.MATCOENGINEERS.COM



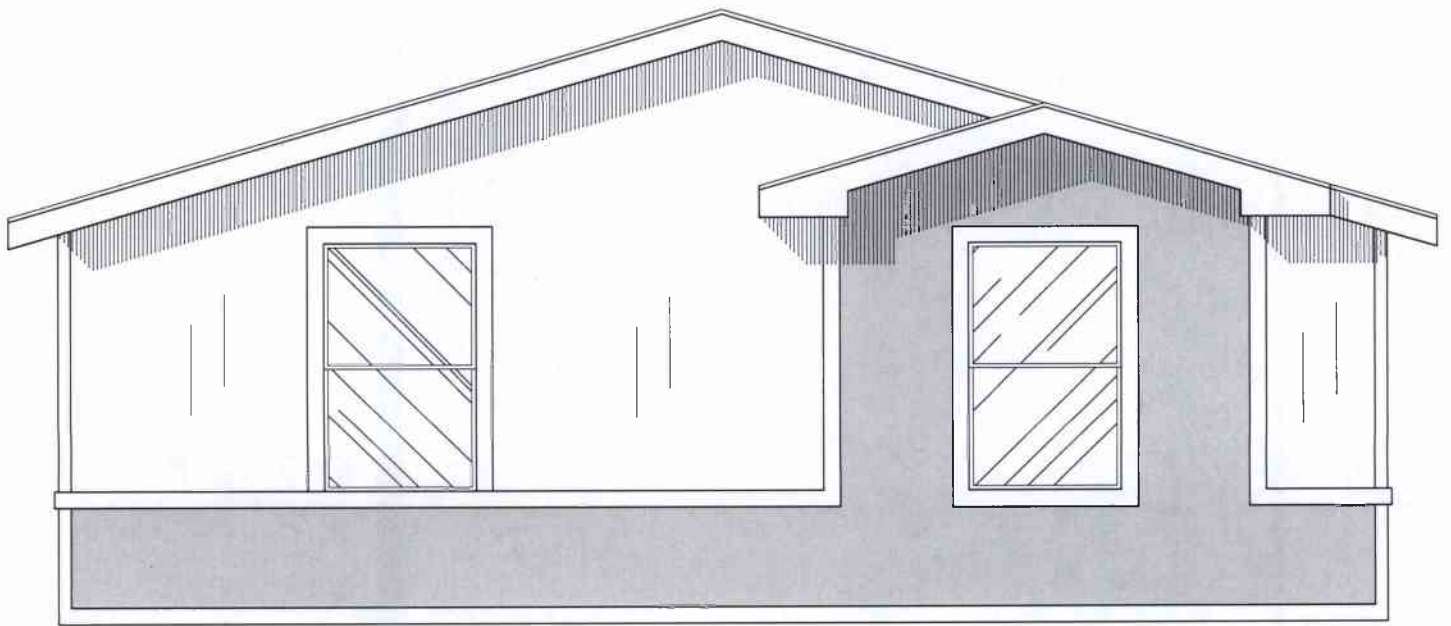
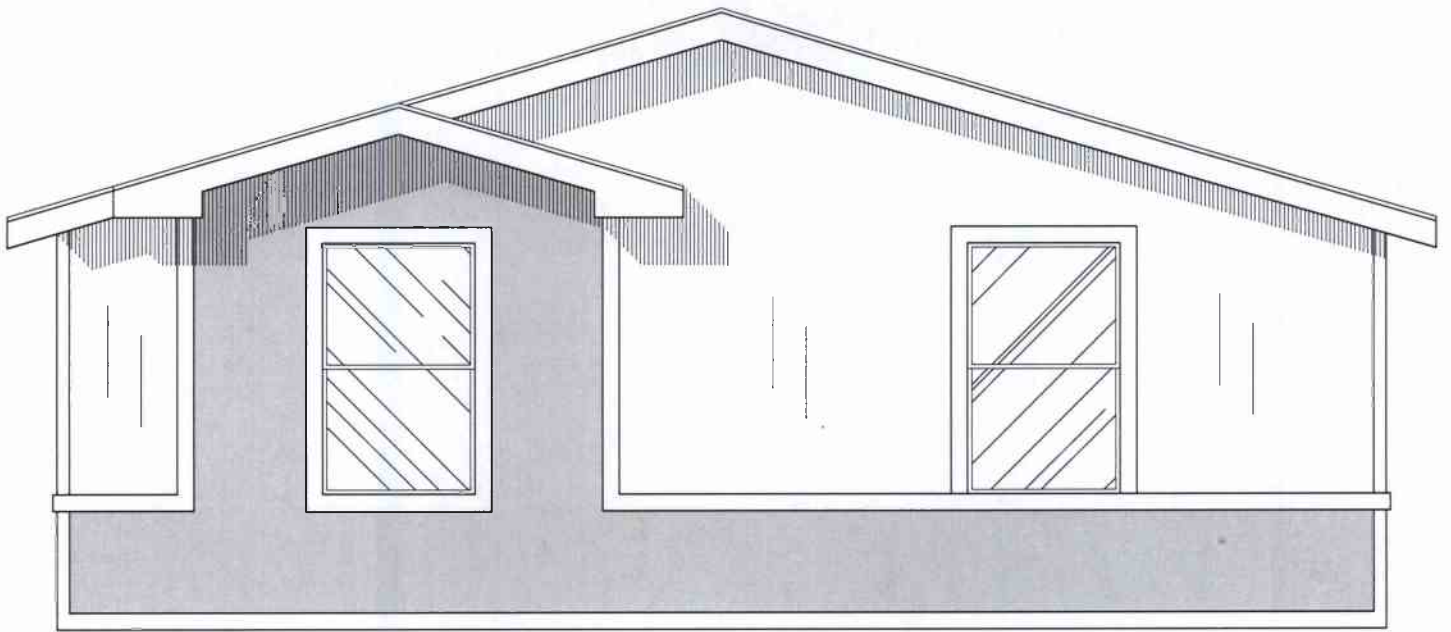
Los Vinedos - Single Wide

04.18.12 dh



Los Vinedos - 24 Wide

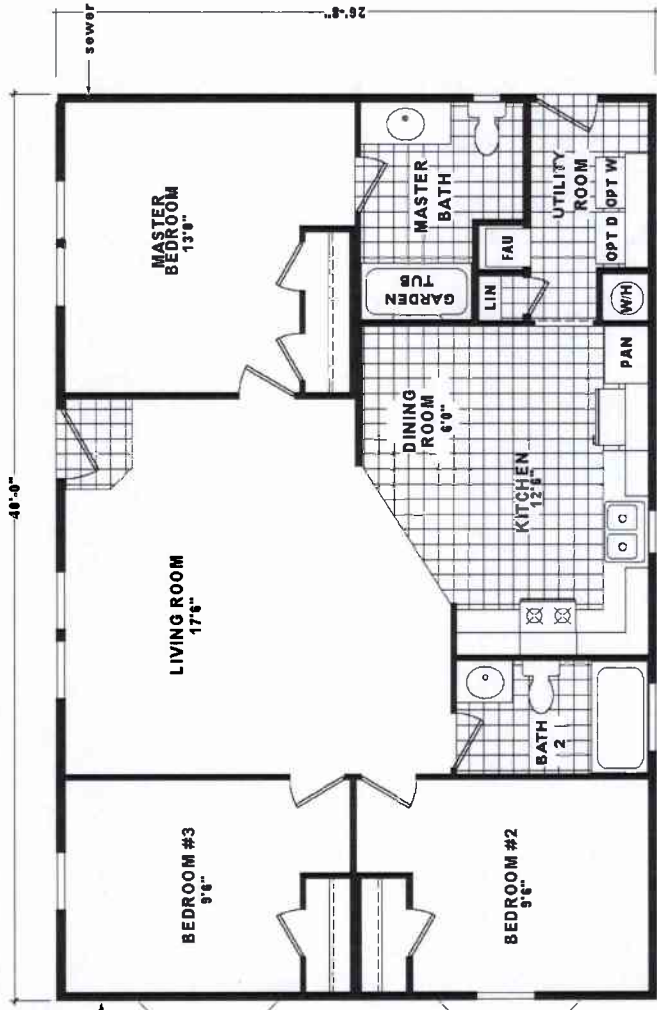
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Los Vinedos - 28 Wides

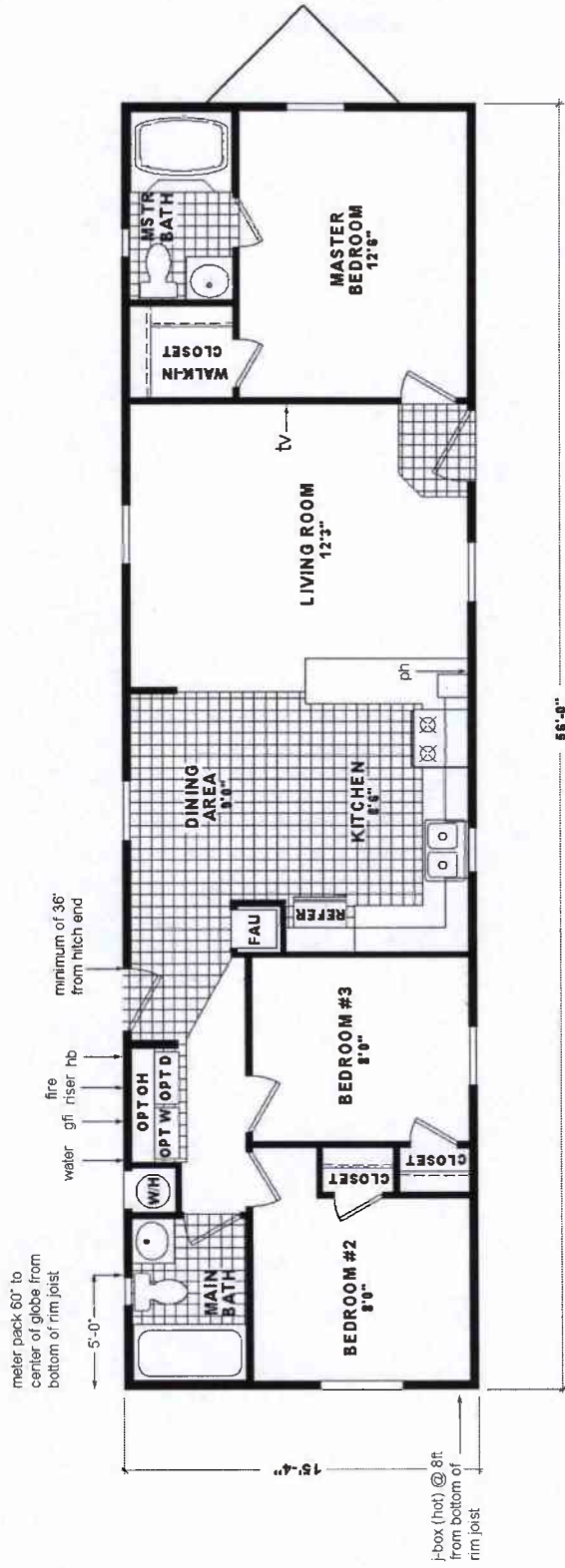
04.18.12 dh

D.A.C.E
 LOS VENIDOS #2 - RIGHT
 APPROXIMATELY 1066 SQ. FT.
 3 BEDROOM, 2 BATH
 (MAP SPECIFICATIONS)



j-box (hot) @ 8ft
 from bottom of
 rim joist

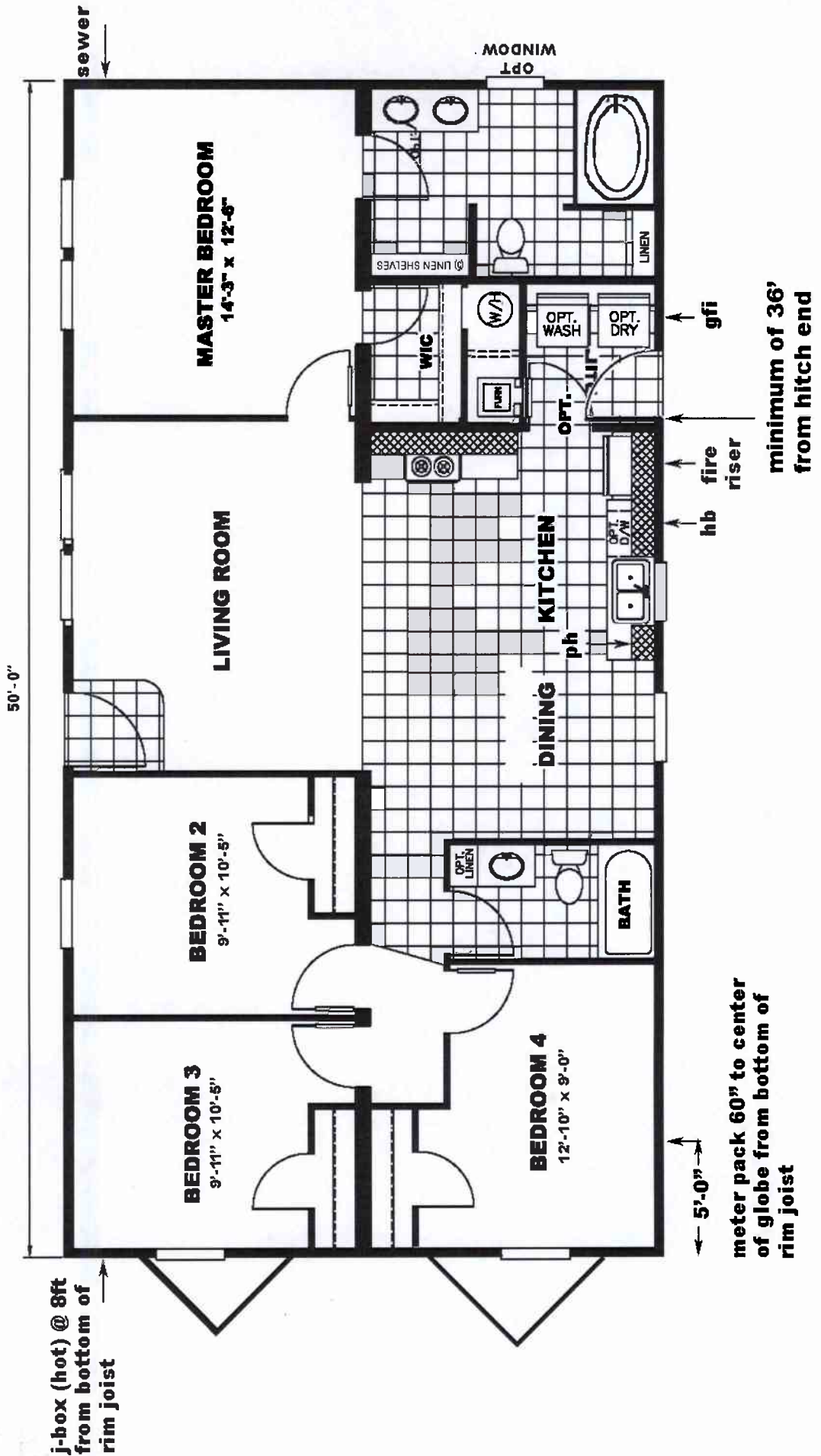
5'-0" meter pack 60" to center
 of globe from bottom of
 rim joist



Run Cat - 5 from phone jack to under house @ meter pack

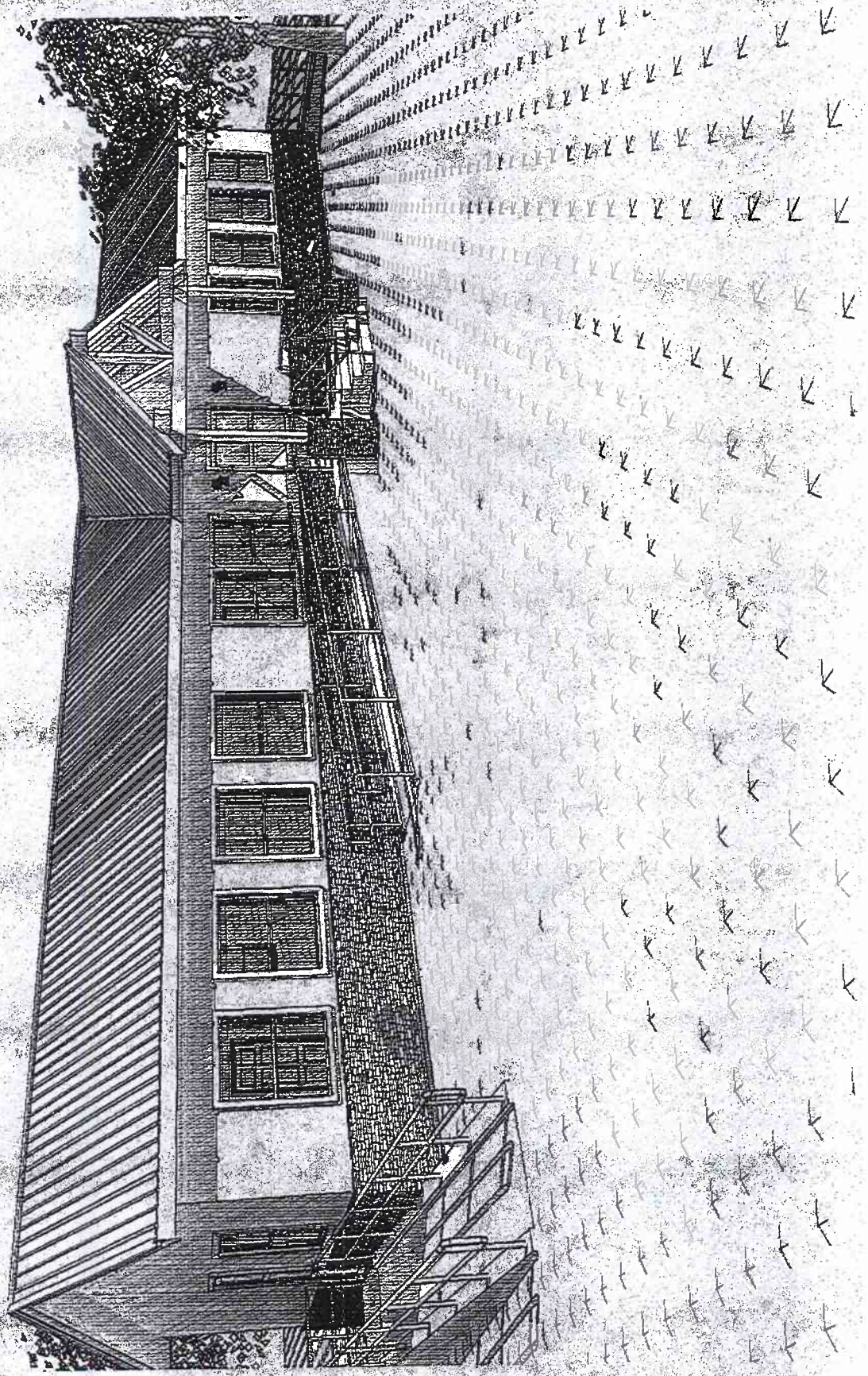
D.A.C.E.
 LOS VENIDOS #1 - RIGHT
 APPROXIMATELY 858 SQ. FT.
 3 BEDROOM, 2 BATH
 (MAP SPECIFICATIONS)

D.A.C.E.
LOS VENIDOS #3 - RIGHT
APPROXIMATELY 1333 SQ. FT.
(MAP SPECIFICATIONS)
(WAS MVP-28544A - 2FT SHRINK)

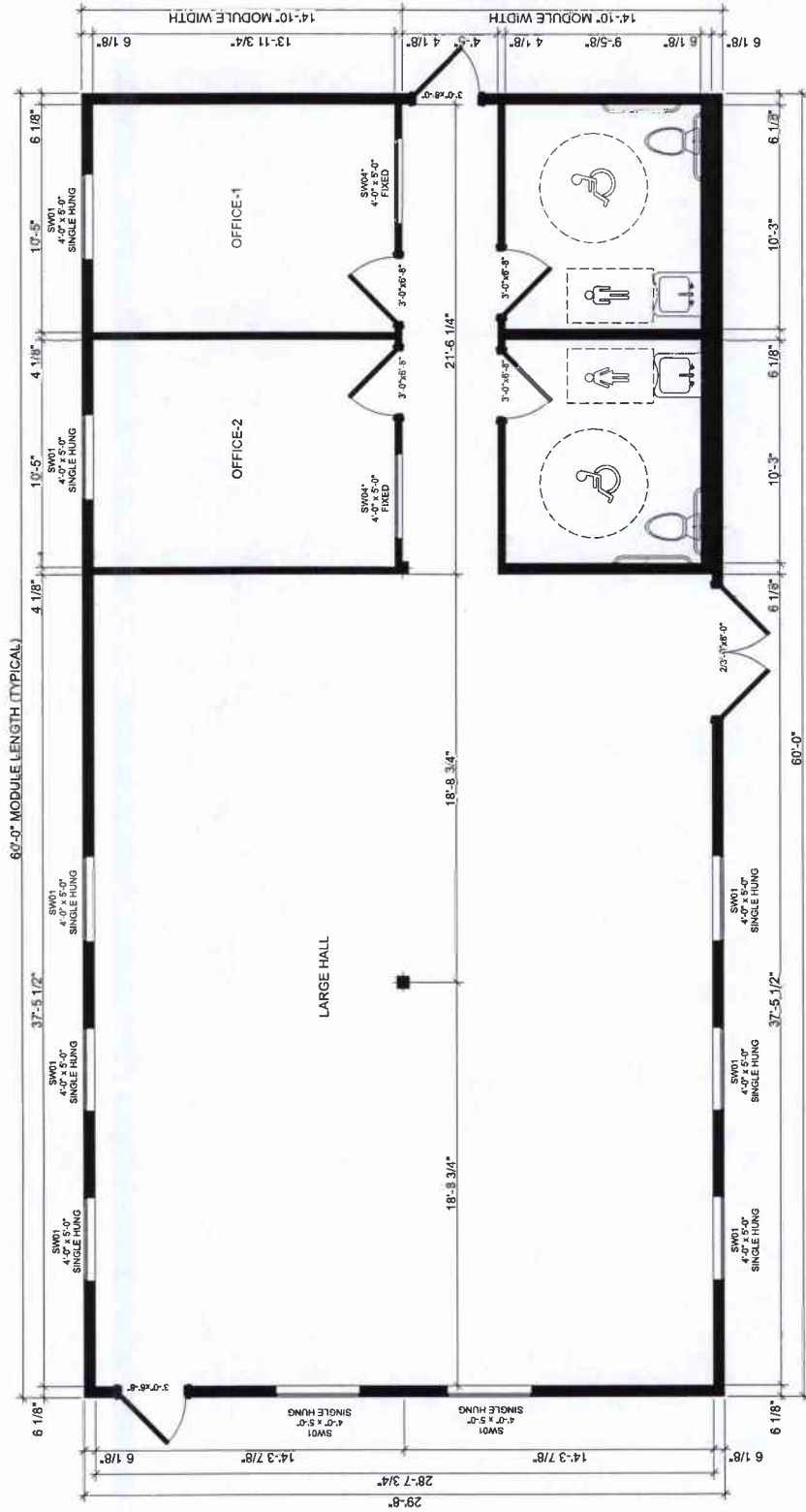


Los Vinedos

Community Building Front Elevation



2015/04/20

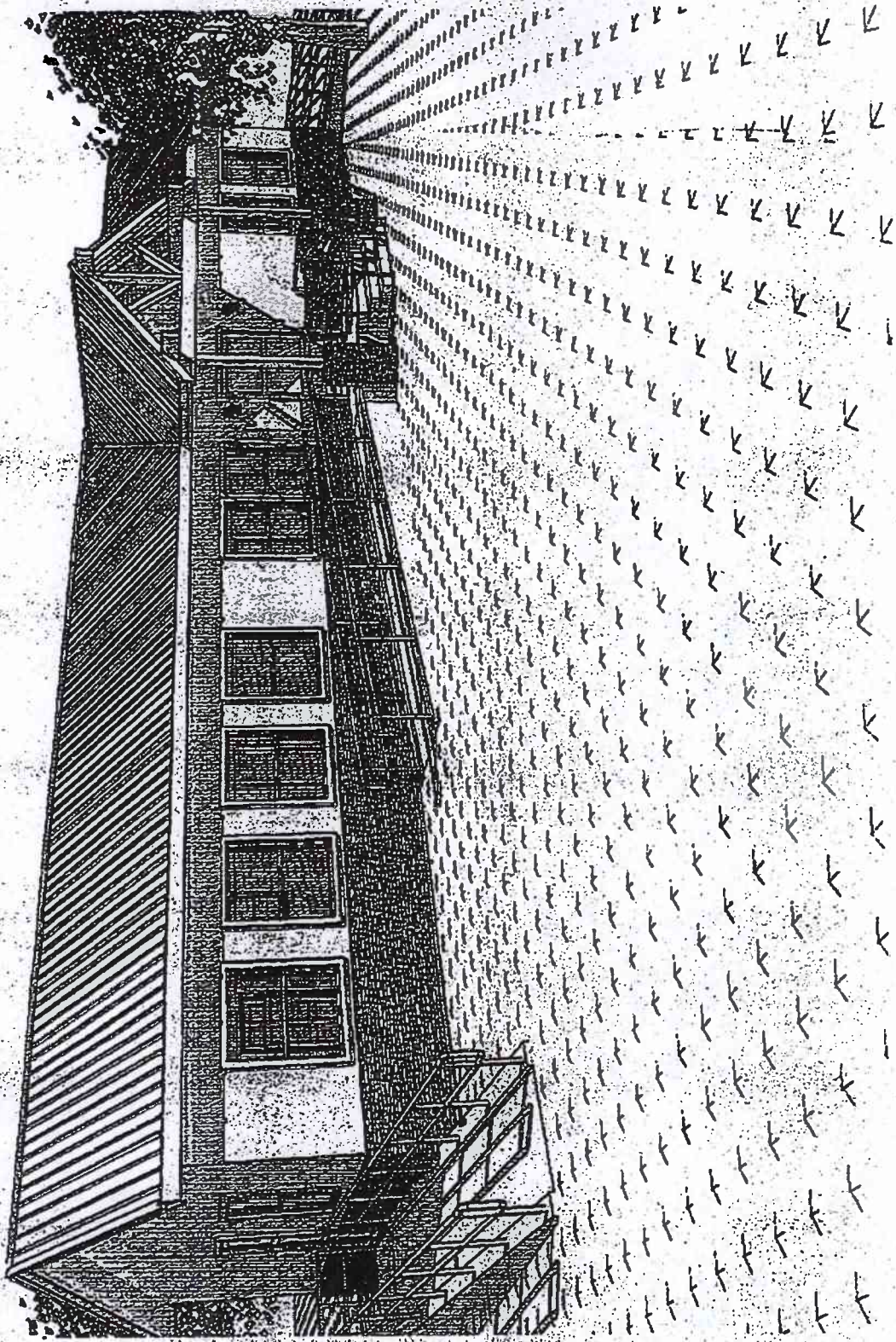


A-11
 Drafted by: JLB
 jason.bos@claytonhomes.com.com
 (916) 363-2681
 Date Printed: 5/21/13

CMH MANUFACTURING WEST
 Cochella Club House Concept Plan - 1780 Square Feet

Los Vinedos

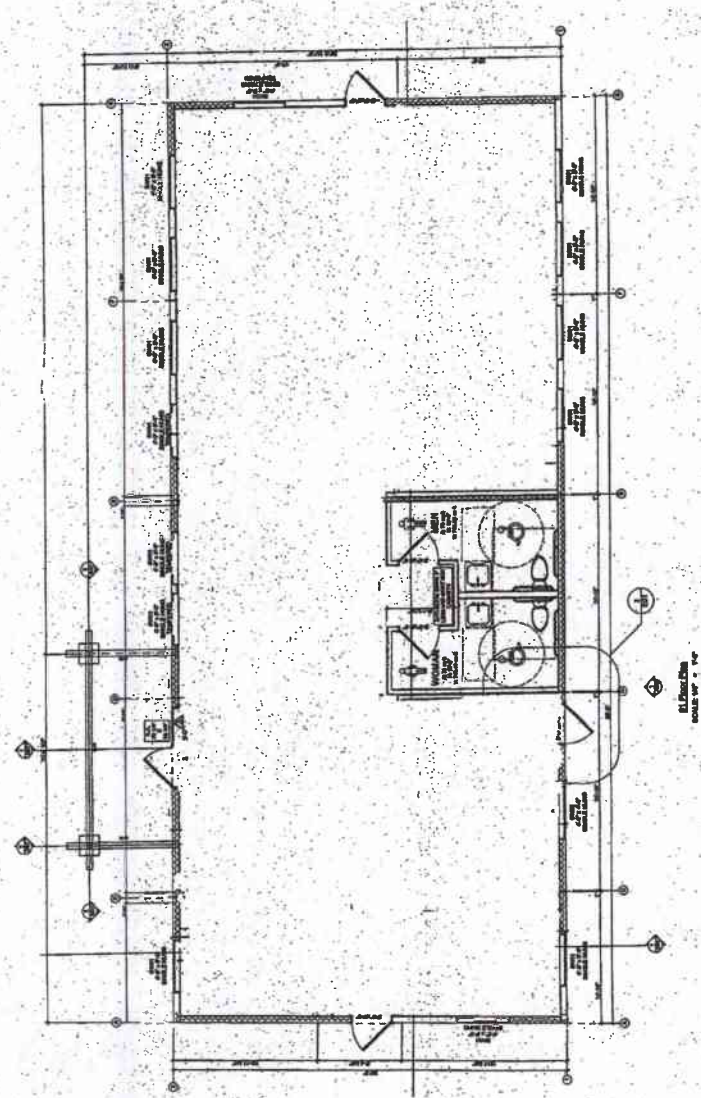
Day Care Building Front Elevation



Los Vinedos
 Day Care Building
 40' X 26'
 1040 Square ft

NO.	REVISION	DATE	DESCRIPTION
1	REVISED CHANGED DOOR SWINGS		
2	REVISED HAD ACCESS LOCATIONS		
3	REVISED HAD ACCESS LOCATIONS		
4	REVISED HAD ACCESS LOCATIONS		
5	REVISED HAD ACCESS LOCATIONS		
6	REVISED HAD ACCESS LOCATIONS		
7	REVISED HAD ACCESS LOCATIONS		
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100	REVISED HAD ACCESS LOCATIONS		

PROJECT NO. 03-11-002
 DRAWN BY: J.E. SMITH (03/19/03)
 CHECKED BY:
 SHEET TITLE
FLOOR PLAN



COUNTY OF RIVERSIDE

ENVIRONMENTAL ASSESSMENT FORM: INITIAL STUDY

Environmental Assessment (E.A.) Number: 42609

Project Case Type (s) and Number(s): Conditional Use Permit No. 3497, Revised Permit No. 1 & Conditional Use Permit No. 3686

Lead Agency Name: County of Riverside Planning Department

Address: P.O. Box 1409, Riverside, CA 92502-1409

Contact Person: Jay Olivas, Project Planner

Telephone Number: (951) 955-1195

Applicant's Name: Desert Alliance for Community Empowerment (DACE)

Applicant's Address: 53990 Enterprise Way South Coachella, CA 92236

Engineer's Name: Lloyd Watson, P.E.

Engineer's Address: 50-200 Monroe Street Indio, CA 92201

I. PROJECT INFORMATION

A. Project Description:

Conditional Use Permit No. 3497, Revised Permit No. 1 proposes to modify previously approved farm labor camp (unbuilt) by increasing the number of beds from 96 to 160 in four (4) dormitory buildings totaling approximately 17,544 square feet along with 5,544 square foot community center building with availability of church services for approximately 90 people, as well as a 2,084 square foot square foot manager's quarters and a 924 square foot laundry building.

Conditional Use Permit No. 3686 proposes to construct a migrant agricultural worker mobile home park consisting of 84 units with typical single wide and double wide mobile home spaces ranging from approximately 2,800 square feet to 3,500 square feet along with 1,780 square foot community center building, 1,040 square foot child care facility for up to 15 children, 800 square foot children's playground, and 2,800 square foot outdoor play area.

B. Type of Project: Site Specific ; Countywide ; Community ; Policy .

C. Total Project Area: 25 Acres

Residential Acres: 25	Lots: 2	Units: 84	Projected Residents: 400
Commercial Acres: N/A	Lots:	Sq. Ft. of Bldg. Area:	Est. No. of Employees:
Industrial Acres: N/A	Lots:	Sq. Ft. of Bldg. Area:	Est. No. of Employees:
Other: N/A			

D. Assessor's Parcel No(s): 729-050-002

E. Street References: Northerly of Hammond Road, southerly of 68th Avenue, easterly of Johnson Street, and westerly of Grant Street.

F. Section, Township & Range Description or reference/attach a Legal Description:
Township 7 South, Range 9 East, Section 21

G. Brief description of the existing environmental setting of the project site and its surroundings: The project is located in the Eastern Coachella Valley in Mecca. The topography of the area consists of flat land. The project site is primarily vacant with existing

migrant shower facility at the westerly corner. Crops on large parcels, vacant land, and scattered dwellings surround the project site.

II. APPLICABLE GENERAL PLAN AND ZONING REGULATIONS

A. General Plan Elements/Policies:

1. **Land Use:** The General Plan Land Use designation is Agriculture (AG) (10 Acre Minimum) on the westerly 11.06 acre portion and Medium High Density Residential (MHDR) (5-8 DU/AC) on the easterly 13.77 acre portion within the Eastern Coachella Valley Area Plan. The project would meet all applicable land use policies.
2. **Circulation:** The proposed project will add overall trips to the area. Due to the size of the project, right-of-way dedications/improvements will be required for future access and circulation for the project site. The proposed project meets all other applicable circulation policies of the General Plan.
3. **Multipurpose Open Space:** The proposed project is not located within a Conservation Area of the Coachella Valley Multiple Species Habitat Conservation Plan (CVMSHCP). The proposed project meets all applicable Multipurpose Open Space Element policies.
4. **Safety:** The proposed project is not located in a flood zone, fault zone, or dam inundation area. There is liquefaction potential for the project site. The proposed project site is susceptible to subsidence. The project is not within a high fire area, but does provide for emergency vehicle access. The proposed project meets all applicable Safety Element policies.
5. **Noise:** The proposed project will permanently increase the ambient noise levels in the project vicinity above levels existing without the project. However, the project proposes to create a farm labor camp and mobile home park and the impact to noise levels would not be significant. The project does include sound walls along portions of Hammond Road and realigned 68th Avenue to address traffic/rail road noise impacts to the mobile home park portion. The proposed project meets all applicable Noise Element policies.
6. **Housing:** The project proposes farm labor camp for 160 persons and 84 space mobile home park which contributes to the achievement of the Riverside County General Plan's goal of providing quality and diversified housing for the County's expanding population. Therefore, the project complies with all applicable Housing element policies.
7. **Air Quality:** The proposed project has been conditioned to control any fugitive dust during any future grading and construction activities. The proposed project meets all applicable Air Quality Element policies.

B. General Plan Area Plan(s): Eastern Coachella Valley Area Plan

C. Foundation Component(s): Agriculture; Community Development

D. Land Use Designation(s): Agriculture (10 Acre Minimum) and Medium High Density Residential (5-8 D.U./Ac.)

E. Overlay(s), if any: Not Applicable

F. Policy Area(s), if any: Not Applicable

G. Adjacent and Surrounding:

- 1. **Area Plan(s):** Eastern Coachella Valley Area Plan
- 2. **Foundation Component(s):** Agriculture
- 3. **Land Use Designation(s):** Agriculture; Medium Density Residential (2-5 D.U./Ac.); Light Industrial (.25 - .60 FAR)
- 4. **Overlay(s) and Policy Area(s):** Not Applicable

H. Adopted Specific Plan Information

- 1. **Name and Number of Specific Plan, if any:** Not Applicable
- 2. **Specific Plan Planning Area, and Policies, if any:** Not Applicable

I. Existing Zoning: Heavy Agriculture – 10 Acre Minimum (A-2-10) and Controlled Development Areas (W-2)

J. Proposed Zoning, if any: Not applicable

K. Adjacent and Surrounding Zoning: Heavy Agriculture – 20 Acre Minimum (A-2-20)

III. ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED

The environmental factors checked below (x) would be potentially affected by this project, involving at least one impact that is a "Potentially Significant Impact" or "Less than Significant with Mitigation Incorporated" as indicated by the checklist on the following pages.

- | | | |
|---|---|---|
| <input type="checkbox"/> Aesthetics | <input type="checkbox"/> Hazards & Hazardous Materials | <input type="checkbox"/> Recreation |
| <input type="checkbox"/> Agriculture & Forest Resources | <input checked="" type="checkbox"/> Hydrology / Water Quality | <input checked="" type="checkbox"/> Transportation / Traffic |
| <input type="checkbox"/> Air Quality | <input type="checkbox"/> Land Use / Planning | <input checked="" type="checkbox"/> Utilities / Service Systems |
| <input type="checkbox"/> Biological Resources | <input type="checkbox"/> Mineral Resources | <input type="checkbox"/> Other: |
| <input type="checkbox"/> Cultural Resources | <input checked="" type="checkbox"/> Noise | <input type="checkbox"/> Other: |
| <input type="checkbox"/> Geology / Soils | <input type="checkbox"/> Population / Housing | <input type="checkbox"/> Mandatory Findings of Significance |
| <input type="checkbox"/> Greenhouse Gas Emissions | <input type="checkbox"/> Public Services | |

IV. DETERMINATION

On the basis of this initial evaluation:

A PREVIOUS ENVIRONMENTAL IMPACT REPORT/NEGATIVE DECLARATION WAS NOT PREPARED

I find that the proposed project **COULD NOT** have a significant effect on the environment, and a **NEGATIVE DECLARATION** will be prepared.

I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because revisions in the project, described in this document, have been made or agreed to by the project proponent. **A MITIGATED NEGATIVE DECLARATION** will be prepared.

I find that the proposed project **MAY** have a significant effect on the environment, and an

ENVIRONMENTAL IMPACT REPORT is required.

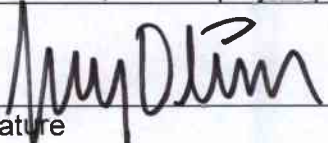
A PREVIOUS ENVIRONMENTAL IMPACT REPORT/NEGATIVE DECLARATION WAS PREPARED

I find that although the proposed project could have a significant effect on the environment, **NO NEW ENVIRONMENTAL DOCUMENTATION IS REQUIRED** because (a) all potentially significant effects of the proposed project have been adequately analyzed in an earlier EIR or Negative Declaration pursuant to applicable legal standards, (b) all potentially significant effects of the proposed project have been avoided or mitigated pursuant to that earlier EIR or Negative Declaration, (c) the proposed project will not result in any new significant environmental effects not identified in the earlier EIR or Negative Declaration, (d) the proposed project will not substantially increase the severity of the environmental effects identified in the earlier EIR or Negative Declaration, (e) no considerably different mitigation measures have been identified and (f) no mitigation measures found infeasible have become feasible.

I find that although all potentially significant effects have been adequately analyzed in an earlier EIR or Negative Declaration pursuant to applicable legal standards, some changes or additions are necessary but none of the conditions described in California Code of Regulations, Section 15162 exist. An **ADDENDUM** to a previously-certified EIR or Negative Declaration has been prepared and will be considered by the approving body or bodies.

I find that at least one of the conditions described in California Code of Regulations, Section 15162 exist, but I further find that only minor additions or changes are necessary to make the previous EIR adequately apply to the project in the changed situation; therefore a **SUPPLEMENT TO THE ENVIRONMENTAL IMPACT REPORT** is required that need only contain the information necessary to make the previous EIR adequate for the project as revised.

I find that at least one of the following conditions described in California Code of Regulations, Section 15162, exist and a **SUBSEQUENT ENVIRONMENTAL IMPACT REPORT** is required: (1) Substantial changes are proposed in the project which will require major revisions of the previous EIR or negative declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; (2) Substantial changes have occurred with respect to the circumstances under which the project is undertaken which will require major revisions of the previous EIR or negative declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; or (3) New information of substantial importance, which was not known and could not have been known with the exercise of reasonable diligence at the time the previous EIR was certified as complete or the negative declaration was adopted, shows any the following:(A) The project will have one or more significant effects not discussed in the previous EIR or negative declaration;(B) Significant effects previously examined will be substantially more severe than shown in the previous EIR or negative declaration;(C) Mitigation measures or alternatives previously found not to be feasible would in fact be feasible, and would substantially reduce one or more significant effects of the project, but the project proponents decline to adopt the mitigation measures or alternatives; or,(D) Mitigation measures or alternatives which are considerably different from those analyzed in the previous EIR or negative declaration would substantially reduce one or more significant effects of the project on the environment, but the project proponents decline to adopt the mitigation measures or alternatives.



Signature

October 3, 2013

Date

Jay Olivas, Project Planner

Printed Name

For Carolyn Syms Luna, Director

V. ENVIRONMENTAL ISSUES ASSESSMENT

In accordance with the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000-21178.1), this Initial Study has been prepared to analyze the proposed project to determine any potential significant impacts upon the environment that would result from construction and implementation of the project. In accordance with California Code of Regulations, Section 15063, this Initial Study is a preliminary analysis prepared by the Lead Agency, the County of Riverside, in consultation with other jurisdictional agencies, to determine whether a Negative Declaration, Mitigated Negative Declaration, or an Environmental Impact Report is required for the proposed project. The purpose of this Initial Study is to inform the decision-makers, affected agencies, and the public of potential environmental impacts associated with the implementation of the proposed project.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
AESTHETICS Would the project				
1. Scenic Resources				
a) Have a substantial effect upon a scenic highway corridor within which it is located?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings and unique or landmark features; obstruct any prominent scenic vista or view open to the public; or result in the creation of an aesthetically offensive site open to public view?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan Figure C-7 "Scenic Highways"

Findings of Fact:

- a) The proposed project is adjacent to Hammond Road and 68th Avenue which are not designated as scenic highway corridors. The project is approximately 500 feet from State Highway 111 which is a designated scenic highway corridor. The project includes perimeter treatment such as decorative fencing and walls to reduce visual impacts to less than significant impact from adjoining roads.
- b) The proposed project will not substantially damage scenic resources, including, but not limited to, trees, rock outcroppings and unique or landmark features, or obstruct a prominent scenic vista or view open to the public, as these features do not exist on the project site. Additionally, the project will not result in the creation of an aesthetically offensive site open to public as the project was conditioned to incorporate landscaping along Hammond Road and realigned 68th Avenue as shown on approved conceptual planting plan, Exhibit L. The development also includes monument based residential identification signs reviewed by the Mecca Community Council and impacts would be less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

2. Mt. Palomar Observatory

a) Interfere with the nighttime use of the Mt. Palomar Observatory, as protected through Riverside County Ordinance No. 655?

Source: GIS database, Ord. No. 655 (Regulating Light Pollution)

Findings of Fact:

a) The project site is located greater than 45 miles from Mt. Palomar Observatory and would not be subject to Ordinance No. 655 requirements. Therefore, there would be no impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

3. Other Lighting Issues

a) Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?

b) Expose residential property to unacceptable light levels?

Source: On-site Inspection, Project Application Description

Findings of Fact:

a) The proposed project would create a new source of light from the new development, however, any new source of light is not anticipated to reach a significant level due to the size and scope of the project. Therefore, the impact is considered less than significant.

b) Surrounding land uses include crops, vacant land and scattered dwellings. The project proposes a farm labor camp and mobile home park. The amount of light that will be created is not considered substantial, and would be hooded/directed (Condition of Approval (COA) 10.PLANNING.5—CUP 3497R1 and CUP 3686). Therefore, surrounding properties will not be exposed to unacceptable light levels. Impacts to light levels are considered less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

AGRICULTURE & FOREST RESOURCES Would the project

4. Agriculture

a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland) as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?

b) Conflict with existing agricultural zoning, agricultural

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
use or with land subject to a Williamson Act conparcel or land within a Riverside County Agricultural Preserve?				
c) Cause development of non-agricultural uses within 300 feet of agriculturally zoned property (Ordinance No. 625 "Right-to-Farm")?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan Figure OS-2 "Agricultural Resources," GIS database, and Project Application Materials.

Findings of Fact:

- a) The proposed project is located on land designated as farmland of "Local Importance" and "Prime Farmland" as shown on the Riverside County Land Information System (RCLIS). However, the subject land is designated Agriculture (AG) and Medium High Density Residential (MHDR) which may support potential non-agricultural development. Additionally, Riverside County Integrated Project (RCIP) EIR, prepared in 2003, analyzed the effect of these land use designations on farmland and issued a Statement of Overriding Consideration, stating that the benefits of the RCIP Land Use Map, proposed under the 2003 RCIP, outweigh the impacts to farmland. With adherence to the AG and MHDR land use designation, this project would not create involve additional or new impacts not previously analyzed in the RCIP EIR. Therefore, no impact will occur.
- b) The project site is surrounded by crops, vacant land and scattered dwellings within an agricultural setting. The site is not located within an Agricultural Preserve. Therefore, less than significant impacts will occur.
- c) The proposed project is located adjacent to agriculturally zoned property and would cause development of non-agricultural uses within 300 feet of agriculturally zoned property (Ordinance No. 625 "Right-to-Farm"). Less than significant impacts related to agriculturally zoned properties are anticipated.
- d) The proposed project is located within a Farmland Designation. The project would involve changes in the existing environment which, due to their location or nature, would result in conversion of Farmland, to non-agricultural use for agricultural worker housing. Therefore, less than significant impacts will occur.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
5. Forest				
a) Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code section 12220(g)), timberland (as defined by Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Govt. Code section 51104(g))?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Result in the loss of forest land or conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure OS-3 "Parks, Forests and Recreation Areas," and Project Application Materials.

Findings of Fact:

a) The County does not have zoning that is specific to the preservation of forest land or timberland. Therefore, the proposed project will not conflict with any forest land zoning.

b & c) The site contains disturbed agricultural land; however, this is not considered forest land per the Public Resources Code. Therefore, the project will not result in the loss of any forest land.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

AIR QUALITY Would the project

6. Air Quality Impacts	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a. Conflict with or obstruct implementation of the applicable air quality plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Violate any air quality standard or contribute substantially to an existing or projected air quality violation?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. Expose sensitive receptors which are located within 1 mile of the project site to project substantial point source emissions?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e. Involve the construction of a sensitive receptor located within one mile of an existing substantial point source emitter?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f. Create objectionable odors affecting a substantial number of people?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Source: SCAQMD CEQA Air Quality Handbook Table 6-2

Findings of Fact: The South Coast Air Quality Management District (SCAQMD) issued the 2012 Regional Air Quality Management Plan (AQMP) for the Salton Sea Air Basin (SSAB) for attaining compliance with state and federal air quality standards. Under this plan, the County must implement air quality control measures associated with transportation facilities. This project does not propose any transportation facilities that would require transportation control measures, and therefore will not obstruct implementation of the AQMP.

- a) The 2012 AQMP is based on socio-economic forecasts (including population estimates) provided by the Southern California Association of Governments (SCAG) which in turn are based on data submitted to SCAG by the Riverside County Center for Demographic Research as approved by the Riverside County Board of Supervisors. This most recent data, known as Riverside County Projections 2010 (RCP-10) is based on land use and demographic data from the county through 2010, as well as the County General Plan. The proposed project represents revisions to a land use that was previously approved in 2009 (CUP 3497) and that remains consistent with the County General Plan (both its land use designations and its population projections). Thus, since the General Plan is used to formulate SCAG's Regional Growth Management Plan and SCAQMD's Air Quality Management Plan, the project is also consistent with these documents as well. The estimated population proposed by this project will not obstruct the implementation of the 2012 AQMP. The project would not impair AQMP plans and impacts would be less than significant.
- b) Air quality impacts would occur during site preparation, including from grading and equipment exhaust. Major sources of fugitive dust are a result of grading and site preparation during construction by vehicles and equipment and generated by construction vehicles and equipment traveling over exposed surfaces, as well as by soil disturbances from grading and filling. These short-term, construction-related impacts will be reduced below a level of significance by dust control measures implemented during grading (COA 10.BS GRADE.8 – CUP 3497R1 and CUP 3686). Therefore, the impact is considered less than significant.
- c) The project will not result in a cumulatively considerable net increase of any criteria pollutant for which the project region is in non-attainment status pursuant to any applicable federal or state ambient air quality standard. Therefore, less than significant impacts are expected.
- d) A sensitive receptor is a person in the population who is particularly susceptible to health effects due to exposure to an air contaminant than is the population at large. Sensitive receptors (and the facilities that house them) in proximity to localized CO sources, toxic air contaminants or odors are of particular concern. High levels of CO are associated with major traffic sources, such as freeways and major intersections, and toxic air contaminants are normally associated with manufacturing and commercial operations. Land uses considered to be sensitive receptors include long-term health care facilities, rehabilitation centers, convalescent centers, retirement homes, residences, schools, playgrounds, child care centers, and athletic facilities. Surrounding land uses include vacant land, crops, and scattered dwellings; however, the project is not expected to generate substantial point-source emissions. The project will not include major transportation facilities, commercial or manufacturing uses, or generate significant odors. Therefore, there is no impact.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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- e) Surrounding uses do not include significant localized CO sources, toxic air contaminants or odors. Therefore, the proposed project will not involve the construction of a sensitive receptor located within one mile of an existing substantial point-source emitter. Therefore, no impacts are expected.
- f) The housing related project will not create objectionable odors affecting a substantial number of people. Therefore, there is no impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

BIOLOGICAL RESOURCES Would the project

7. Wildlife & Vegetation

a. Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Conservation Community Plan, or other approved local, regional, or state conservation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Have a substantial adverse effect, either directly or through habitat modifications, on any endangered, or threatened species, as listed in Title 14 of the California Code of Regulations (Sections 670.2 or 670.5) or in Title 50, Code of Federal Regulations (Sections 17.11 or 17.12)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U. S. Wildlife Service?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident migratory wildlife corridors, or impede the use of native wildlife nursery sites?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations or by the California Department of Fish and Game or U. S. Fish and Wildlife Service?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f. Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g. Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Source: GIS database, CV-MSHCP, On-site Inspection, EPD review

Findings of Fact:

a-g) The proposed project is not located within a Conservation Area of the Coachella Valley Multiple Species Habitat Conservation Plan (CV-MSHCP). A review by the Environmental Programs Division of the Planning Department was done to assure consistency with the CV-MSHCP plan. No inconsistencies were reported, except both Conditional Use Permits have been conditioned for a Preconstruction Survey for Burrowing Owl and Ground Nesting Birds prior to any grading activities (COA 60.EPD.1—CUP 3497R1 and CUP 3686). The land is previously disturbed as agricultural land. Therefore, the project site does not conflict with the provisions of any of the above adopted Habitat Conservation Plans, Natural Conservation Community Plan, or other approved local, regional, or state conservation plan. Therefore, impacts are considered less than significant.

Mitigation: No mitigation measures required.

Monitoring: No monitoring measures required.

CULTURAL RESOURCES Would the project

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
8. Historic Resources	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a. Alter or destroy an historic site?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Cause a substantial adverse change in the significance of a historical resource as defined in California Code of Regulations, Section 15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: On-site Inspection, Project Application Materials, Phase 1 Archaeological Assessment by CRM Tech. dated April 8, 2008

Findings of Fact:

a-b) On-site surveys did not result in any historic resources located on site. The majority of the site is currently vacant and does not contain any structures or other features that could be deemed as significant historic resources. The report concluded that no known potentially significant resources will be adversely impacted by the proposed project. The proposed project would not cause substantial adverse change in the significance of a historical resource as defined in California Code of Regulations, Section 15064.5. Therefore, there would be no impact.

In the event of an accidental discovery or recognition of any human remains in any location other than a dedicated cemetery, State Health and Safety Code Section 7050.5 state that no further disturbance shall occur until the County Coroner has made the necessary findings as to the origin and disposition pursuant to Public Resources Code Section 5097.98.

Mitigation: No mitigation measures required.

Monitoring: No monitoring measures required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
9. Archaeological Resources	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a. Alter or destroy an archaeological site.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Cause a substantial adverse change in the significance of an archaeological resource pursuant to California Code of Regulations, Section 15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c. Disturb any human remains, including those interred outside of formal cemeteries?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d. Restrict existing religious or sacred uses within the potential impact area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: On-site Inspection, Project Application Materials, Phase 1 Archaeological Assessment by CRM Tech. dated April 8, 2008

Findings of Fact:

a-d) No historic, prehistoric sites or isolated artifacts were detected during the pedestrian survey of the project site. No impacts are anticipated. Should unanticipated archaeological resources be encountered, work must halt in the immediate vicinity until they can be evaluated by a qualified archaeologist (COA 10.PLANNING.18-CUP 3497R1 and COA 10.PLANNING.14— CUP 3686).

Mitigation: No mitigation measures required.

Monitoring: No monitoring measures required.

10. Paleontological Resources	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a. Directly or indirectly destroy a unique paleontological resource, or site, or unique geologic feature?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan Figure OS-8 "Paleontological Sensitivity", Paleontological Report No. 1346 by CRM Tech dated February 18, 2009; County Geologist Comments

Findings of Fact:

a) According to RCLIS (GIS database) and review by the County Geologist, the project site is located in an area that is designated as having undetermined potential. A condition has been added to the case to require a paleontological monitoring report prior to grading permit (COA 60.PLANNING.1— CUP 3497R1 and CUP 3686). Therefore, the impact is considered less than significant.

Mitigation: No mitigation measures required.

Monitoring: No monitoring measures required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
GEOLOGY AND SOILS Would the project				
11. Alquist-Priolo Earthquake Fault Zone or County Fault Hazard Zones	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a. Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Be subject to rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure S-2 "Earthquake Fault Study Zones," GIS database, Geologist Comments

Findings of Fact:

a) According to RCLIS (GIS database), the proposed project is not located within a fault zone. Based on the review of aerial photos, site mapping and literature research, there is no evidence of active faults crossing trending toward the subject site that would expose people to structures to potential substantial adverse risks. Therefore, no impacts are expected.

b) In addition, the site is not located within one-half mile from an earthquake fault zone. Therefore, the potential for this site to be affected by surface fault rupture is considered low and no impacts are expected.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

12. Liquefaction Potential Zone	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a. Be subject to seismic-related ground failure, including liquefaction?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan Figure S-3 "Generalized Liquefaction," County Geologic Report No. 2136 by Earth Systems Southwest dated February 2008

Findings of Fact:

a) According to RCLIS (GIS database), there is a high potential for this site to be affected by seismically induced liquefaction. County Geologic Report No. 2136 indicated groundwater improvement methods to prevent liquefaction from occurring such as compaction and foundation systems for the buildings (COA 10.PLANNING.20 – CUP 3497R1 and COA 10.PLANNING.16 – CUP 3686) which will reduce impacts to less than significant.

Mitigation: No mitigation measures required.

Monitoring: No monitoring measures required.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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13. Ground-shaking Zone

Be subject to strong seismic ground shaking?

Source: Riverside County General Plan Figure S-4 "Earthquake-Induced Slope Instability Map," and Figures S-13 through S-21 (showing General Ground Shaking Risk)

Findings of Fact:

According to General Plan Figure S-4, the proposed project site is not located in an area which is susceptible to landslide risk as a result of seismic activity. Figure S-13 of the General Plan indicates that the proposed project site is located in an area that has a very high ground-shaking risk. The proposed development will be required to comply with the latest edition of the California Building Code (CBC 2010) which takes into consideration earthquake risk. The proposed project will have a less than significant impact with regard to ground shaking.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

14. Landslide Risk

a. Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, collapse, or rockfall hazards?

Source: On-site Inspection, Riverside County General Plan

Findings of Fact:

a) The project site has flat topography, there is no potential for landslide risk. Therefore, no impacts are expected to occur.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

15. Ground Subsidence

a. Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in ground subsidence?

Source: Project Application Materials, GIS database; County Geologic Report No. 2136 by Earth Systems Southwest dated February 2008

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Findings of Fact:

- a) According to RCLIS (GIS database), the proposed project is located in area of active subsidence and is addressed by County Geologic Report No. 2136 which requires a foundation system, therefore, impacts are less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

16. Other Geologic Hazards

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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- a. Be subject to geologic hazards, such as seiche, mudflow, or volcanic hazard?

Source: On-site Inspection, Project Application Materials

Findings of Fact:

- a) The proposed project is not located within an area that is subject to geologic hazards, such as seiche, mudflow, or volcanic hazard. Therefore, there is no impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

17. Slopes

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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- a. Change topography or ground surface relief features?

- b. Create cut or fill slopes greater than 2:1 or higher than 10 feet?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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- c. Result in grading that affects or negates subsurface sewage disposal systems?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Source: Project Application Materials, Building and Safety – Grading Review

Findings of Fact:

- a) The project proposes contains flat topography. The proposed project will not substantially alter ground surface relief features. Therefore, there is no impact.
- b) No slopes with a slope ratio greater than two to one (2:1) (horizontal run: vertical rise) are proposed. Therefore, there is no impact.
- c) No infiltration lines will be disturbed as a result of the two Conditional Use Permits. Therefore, there is no impact.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

18. Soils

a) Result in substantial soil erosion or the loss of topsoil?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Be located on expansive soil, as defined in Section 1802.3.2 of the California Building Code (2010), creating substantial risks to life or property?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Have soils incapable of adequately supporting use of septic tanks or alternative waste water disposal systems where sewers are not available for the disposal of waste water?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Project Application Materials, Geology Review, County Geologic Report No. 2136 dated February 2008

Findings of Fact:

- a) Graded, but undeveloped, land shall provide, in addition to erosion-control planting, any drainage facilities deemed necessary to control or prevent erosion. Additional erosion protection may be required during the rainy season from October 1st to May 31st (COA 10.BS GRADE.7—CUP 3497R1 and CUP 3686). Therefore, the impact is considered less than significant.
- b) Based on County Geologic Report No. 2136 with concurrence from the County Geologist, the expansion potential of the onsite soils is considered high, but is addressed with design provisions such as compaction and foundation system. Therefore, impacts are considered less than significant.
- c) The area will feature a sanitation system for the proposed development. Each parcel is a minimum of ten gross acres which can support an overall sewer system. Therefore, there is no impact since soils are adequate for sanitation systems.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

19. Erosion

a. Change deposition, siltation, or erosion that may modify the channel of a river or stream or the bed of a lake?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Result in any increase in water erosion either on or off site?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Source: Project Application Materials

Findings of Fact:

- a) The project will not have an impact or change deposition, siltation, or erosion that may modify the channel of a river, stream, or the bed of a lake. Therefore, there is no impact.
- b) The proposed project is anticipated not to result in any increase in water erosion either on or off site with implementation of conditions of approval. The project has been required to accept and properly dispose of all off-site drainage flowing onto or through the site (COA 10.TRANS.11—CUP 3497R1 and CUP 3686). Impacts related to water erosion are considered less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

20. Wind Erosion and Blowsand from project either on or off site.

a. Be impacted by or result in an increase in wind erosion and blowsand, either on or off site?

Source: Riverside County General Plan Figure S-8 “Wind Erosion Susceptibility Map,” Ordinance 460, Section 14.2 and Ordinance 484

Findings of Fact:

- a) The project site lies within an area of wind erosion. The project site is not anticipated to be impacted by blowsand from off site because current levels of wind erosion on adjacent properties that would impact this site are considered less than significant. A condition has been placed on the project to control dust created during grading activities (COA 10 BS.GRADE.8—CUP 3497R1 and CUP 3686). Therefore, the impact is considered less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

GREENHOUSE GAS EMISSIONS Would the project

21. Greenhouse Gas Emissions

a) Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?

b) Conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?

Source: Application materials

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Findings of Fact:

- a) The proposed project with farm labor camp and migrant agricultural worker mobile home park was previously approved under CUP 3497 in 2009. This project proposes no new uses beyond those approved in 2009 and is consistent with the County General Plan. As greenhouse gas emissions from this project are consistent with forecast growth, emission impacts would be less than significant.
- b) The project is consistent with the Riverside County General Plan’s land use designation(s) of Agriculture (10 Acre Minimum) and Medium High Density Residential (MHDR) (5-8 D.U./Ac.) and does not propose to amend the General Plan. Hence, the project is consistent with the assumptions and policies proposed in the County’s draft Climate Action Plan (CAP) and it does not represent development in excess of the CAP’s “Business As Usual” (BAU) scenario. Furthermore, it implements the policies of the draft CAP and ensures the project is an improvement over BAU conditions by requiring the qualitative measures to reduce the project’s greenhouse gas emissions. These are implemented through mandatory compliance with the project Conditions of Approval that include the following GHG-reducing measures:

i. The project shall require PM10 Dust Control Plan (COA 60.PLANNING.4—CUP 3497R1 and COA.60.PLANNING.3—COA 3686 and COA 10.BS GRADE.8—CUP 3497R1 and CUP 3686)

ii. Separate waste containers for recyclable materials recovery shall be provided onsite (COA’s 90.PLANNING.8—CUP 3497R1 and CUP 3686).

iii. Compliance with 2010 California Building Code for energy efficiency (COA 10.BS PLAN CHECK.1—CUP 3497R1 and CUP 3686).

As a result of implementation of, and compliance with, the above measures, the project will reduce greenhouse gas emissions below that expected for a business-as-usual project, consistent with the policies and plans of the County (including the draft CAP) and the State, AB 32 in particular. These measures ensure that the project will not conflict with the any applicable plans, policies or regulations related to reducing greenhouse gas emissions and will not hinder County attainment goals. For these reasons, the project’s effect on the attainment of these plans will be less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

HAZARDS AND HAZARDOUS MATERIALS Would the project

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
22. Hazards and Hazardous Materials	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a. Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
materials into the environment?				
c. Impair implementation of or physically interfere with an adopted emergency response plan or an emergency evacuation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d. Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e. Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Project Application Materials, Department of Environmental Health Review

Findings of Fact:

- a) The project does not propose any use that would involve the transport, use, or disposal of hazardous material—beyond a small increase in typical household cleaner. Therefore, less than significant impacts are expected.
- b) The proposed project is not anticipated to create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment. Therefore, there is no impact.
- c) The proposed project will not impair implementation of or physically interfere with an adopted emergency response plan or an emergency evacuation plan. The project allows for adequate emergency access. Therefore, there is no impact.
- d) There are no existing or proposed schools within one-quarter mile of the project site. Also, the proposed project does not propose the transportation of substantial amounts of hazardous materials. Therefore, there is no impact.
- e) The proposed project is not located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, would not create a significant hazard to the public or the environment. Therefore, there is no impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

23. Airports	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a. Result in an inconsistency with an Airport Master Plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Require review by the Airport Land Use Commission?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c. For a project located within an airport land use plan or, where such a plan has not been adopted,	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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within two miles of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area?

d. For a project within the vicinity of a private airstrip, or heliport, would the project result in a safety hazard for people residing or working in the project area?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Source: Riverside County General Plan Figure S-19 "Airport Locations," GIS database

Findings of Fact:

- a) The project site is not located within an Airport Master Plan. No impacts are anticipated.
- b) The project site is not located within an Airport Master Plan and was not reviewed by the Airport Land Use Commission. Therefore, there would be no impact.
- c) The project site is not located within an airport land use plan. Therefore, there would be no impact.
- d) The project site is not located within the vicinity of a private airstrip, or heliport, and therefore would not result in a safety hazard for people residing or working in the project area. Therefore, there is no impact.

Mitigation: No mitigation measures required.

Monitoring: No monitoring measures required.

24. Hazardous Fire Area

a. Expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands?

Source: Riverside County General Plan Figure S-11 "Wildfire Susceptibility," GIS database

Findings of Fact:

- a) The proposed project is not located within a high fire area. The site allows for primary/secondary access for emergency vehicles. It is not anticipated that the proposed project would expose people or structures to a significant risk of loss, injury or death involving wildland fires. Therefore, there is no impact.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
HYDROLOGY AND WATER QUALITY Would the project				
25. Water Quality Impacts	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a. Substantially alter the existing drainage pattern of the site or area, including the alteration of the course of a stream or river, in a manner that would result in substantial erosion or siltation on- or off-site?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Violate any water quality standards or waste discharge requirements?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. Create or contribute runoff water that would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. Place housing within a 100-year flood hazard area, as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f. Place within a 100-year flood hazard area structures which would impede or redirect flood flows?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g. Otherwise substantially degrade water quality?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h. Include new or retrofitted stormwater Treatment Control Best Management Practices (BMPs) (e.g. water quality treatment basins, constructed treatment wetlands), the operation of which could result in significant environmental effects (e.g. increased vectors and odors)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County Flood Control District Flood Hazard Report/Condition; Coachella Valley Water District Letter dated March 11, 2011

Findings of Fact:

- a) The topography consists of flat land and was previously disturbed agriculture land. The project is not anticipated to substantially alter the existing drainage patterns of the area, but will contain new on-site retention basins to retain 100 percent of the runoff for a 100 year flood event. Impacts would be less than significant.
- b) The proposed project will not violate any water quality standards or waste discharge requirements. BMPs include minimizing urban runoff, minimizing the impervious footprint, conserving natural areas, and minimizing directly connected impervious areas. Less than significant impacts are anticipated.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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- c) Water service is provided by the Coachella Valley Water District as indicated in their comment letter dated June 3, 2013 and from a private water system. The proposed project will not substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted). Therefore, there is less than significant impact.
- d) During construction and grading phase of development, the project has the potential to contribute to additional polluted runoff water. However, the project will not exceed the capacity of existing or planned stormwater drainage systems. The project will be required to provide for adequate drainage facilities and/or appropriate easements should the project exceed current capacity. Therefore, the impact is considered less than significant.
- e) The proposed project is not located within a 100-year flood zone. The project will not place housing within a 100-year flood hazard area, as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map. Therefore, no impacts are anticipated.
- f) The proposed project is not located within a 100-year flood zone. The project will not place within a 100-year flood hazard area structures which would impede or redirect flood flows. Therefore, no impacts are anticipated.
- g) The proposed project is not anticipated to substantially degrade water quality (refer to Finding of Fact 23b). County Flood has reviewed a Preliminary Water Quality Management Plan and found size of the retention basins as being adequate (COA 10.Flood.1—CUP 3497R1 and CUP 3686). Therefore, impacts are considered less than significant.
- h) The site has been designed with drainage infrastructure. The proposed project does include the construction of new or retrofitted stormwater Treatment Control Best Management Practices (BMPs) (e.g. water quality treatment basins, constructed treatment wetlands). With required design and improvements, impacts would be less than significant.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

26. Floodplains

Degree of Suitability in 100-Year Floodplains. As indicated below, the appropriate Degree of Suitability has been checked.

	NA - Not Applicable <input type="checkbox"/>	U - Generally Unsuitable <input checked="" type="checkbox"/>	R - Restricted <input type="checkbox"/>
a. Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner that would result in flooding on- or off-site?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Changes in absorption rates or the rate and amount of surface runoff?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
c. Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam (Dam Inundation Area)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. Changes in the amount of surface water in any water body?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure S-9 "100- and 500-Year Flood Hazard Zones," Figure S-10 "Dam Failure Inundation Zone," Riverside County Flood Control District Flood Hazard Condition, GIS database; Coachella Valley Water District Letter dated June 3, 2013

Findings of Fact:

- a) The project will not substantially alter the existing drainage pattern for the area subject to required design and improvements. The project is affected by 155 acres of off-site tributary with a projected 100 year peak flow of 202 cubic feet per second which would be collected by 68th Avenue and Hammond Road and existing topographic features to match pre-existing conditions. Impacts would be less than significant with mitigation incorporated.
- b) Absorption rates and run-off from offsite flows will be addressed by site design including street improvements and retention basins. Impacts would be less than significant with mitigation incorporated.
- c) The proposed project would not expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam. In addition, the project site is not located in an area susceptible to the impacts of the failure of a levee or dam. Therefore, impacts are considered less than significant.
- d) The proposed project is not expected to change the amount of surface water in any body of water. Therefore, there is no impact.

Mitigation: Compliance with the conditions of approval on file in the Land Management System (LMS), and compliance with the Coachella Valley Water District transmittal letter dated June 3, 2013.

Monitoring: Monitoring shall be provided by Building and Safety Department, Transportation Department, and the Coachella Valley Water District.

LAND USE/PLANNING Would the project

27. Land Use	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a. Result in a substantial alteration of the present or planned land use of an area?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Affect land use within a city sphere of influence and/or within adjacent city or county boundaries?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: RCIP, GIS database, Project Application Materials

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Findings of Fact:

- a) The project would not substantially alter the planned land use of the area since the westerly 11.6 acre portion is intended for a farm labor camp in the "Agriculture" land use designation and the easterly 13.7 acre portion is intended for an migrant agricultural worker mobile home park in the Medium High Density Residential (MHDR) (5-8 D.U./Ac) land use designation. Farm labor camps are conditionally consistent with Agriculture designation. The migrant agricultural worker mobile home park has a proposed density of approximately 6.13 D.U./Ac. within the MHDR allowed density range. Less than significant impacts are anticipated.
- b) According to RCLIS (GIS Database), the proposed project is not located within a city sphere of influence for any City or adjacent to any city boundaries, therefore there would be no impact.

Mitigation: No mitigation required.

Monitoring: No monitoring required.

28. Planning	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a. Be consistent with the site's existing or proposed zoning?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Be compatible with existing surrounding zoning?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. Be compatible with existing and planned surrounding land uses?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. Be consistent with the land use designations and policies of the Comprehensive General Plan (including those of any applicable Specific Plan)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. Disrupt or divide the physical arrangement of an established community (including a low-income or minority community)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Land Use Element, Staff review, GIS database

Findings of Fact:

- a) The proposed project site is currently zoned Heavy Agriculture – 10 Acre Minimum (A-2-10) and Controlled Development Areas (W-2). The proposed development with farm labor camp for up to 160 persons would be conditionally consistent within the existing A-2-10 zone and the 84 space migrant agricultural worker mobile home park would be conditionally consistent with the W-2 zone. Impacts would be less than significant.
- b) The site is surrounded by land which is zoned A-2-20; the proposed project is conditionally compatible with the existing surrounding zoning. Impacts would be less than significant.
- c) The proposed project is surrounded by crops, vacant land, and scattered dwellings. The project on 25 gross acres will be compatible with existing and future land uses in the area.
- d) The land use designation for the proposed project site is Agriculture (AG) and Medium High Density Residential (MHDR) (5-8 DU/AC). The proposed project will not result in a substantial

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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alteration of the present or planned land use of this area. The proposed project is consistent with the land use designation and policies of the General Plan.

- e) The proposed project will not disrupt or divide the physical arrangement of an established community.

Mitigation: No mitigation required.

Monitoring: No monitoring required.

MINERAL RESOURCES Would the project

29. Mineral Resources

a) Result in the loss of availability of a known mineral resource that would be of value to the region or the residents of the State?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Be an incompatible land use located adjacent to a State classified or designated area or existing surface mine?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Expose people or property to hazards from proposed, existing or abandoned quarries or mines?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure OS-5 "Mineral Resources Area"

Findings of Fact:

- a) The project area has not been used for mining. Therefore, the project would not result in the loss of availability of a known mineral resource in an area classified or designated by the State that would be of value to the region or the residents of the State. Therefore, there is no impact.
- b) The project site has not been used for mineral resources; therefore, the project will not result in the loss of availability of a locally important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan. Therefore, there is no impact.
- c) Surrounding the project site are crops, vacant land, and scattered dwellings. There are no existing surface mines surrounding the project site; therefore, the project will be compatible with the surrounding uses and will not be located adjacent to a State classified, designated area, or existing surface mine. Therefore, there is no impact.
- d) The project site is not located adjacent or near an abandoned quarry mine; therefore, the project will not expose people or property to hazards from quarry mines. Therefore, there is no impact.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

NOISE Would the project result in

Definitions for Noise Acceptability Ratings

Where indicated below, the appropriate Noise Acceptability Rating(s) has been checked.

NA - Not Applicable

A - Generally Acceptable

B - Conditionally Acceptable

C - Generally Unacceptable

D - Land Use Discouraged

30. Airport Noise

a. For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport would the project expose people residing or working in the project area to excessive noise levels?

NA A B C D

b. For a project within the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels?

NA A B C D

Source: Riverside County General Plan Figure S-19 "Airport Locations," County of Riverside Airport Facilities Map

Findings of Fact:

- a) The proposed project site is not located within an Airport Influence Area. Therefore, there would be no impact.
- b) The proposed project site is not located within the vicinity of a private air strip; therefore, the project will not expose people residing on the project site to excessive noise levels. No impacts are expected.

Mitigation: No mitigation required.

Monitoring: No monitoring required.

31. Railroad Noise

NA A B C D

Source: Riverside County General Plan Figure C-1 "Circulation Plan", GIS database, On-site Inspection

Findings of Fact: The proposed project is located at nearest point approximately 250 feet from an existing railroad located on southwesterly side of Hammond Road. Based on transmittal by Office of Industrial Hygiene dated April 15, 2009, requirements such as, but not limited to, 5-10 foot high combination earthen berms/walls along portions of 68th Avenue and Hammond Road, all mobile

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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homes having interior noise reduction of 20 dBa CNEL, or higher, to meet the interior noise standard, and all units being required to have a windows closed condition with means of mechanical ventilation, would reduce impacts to less than significant with mitigation incorporated.

Mitigation: Compliance with the conditions of approval on file in the LMS (COA's 80.PLANING.10 and 90.PLANNING.13 —CUP 3497R1 and COA's 80.PLANNING.8 and 90.PLANNING.11--CUP 3686), and transmittal from the Office of Industrial Hygiene dated April 15, 2009 which includes requirements such as, but not limited to, 5-10 foot high combination earthen berms/walls along portions of 68th Avenue and Hammond Road, all mobile homes having interior noise reduction of 20 dBa CNEL, or higher, to meet the interior noise standard, and all units being required to have a windows closed condition with means of mechanical ventilation.

Monitoring: Monitoring shall be provided by the Building and Safety Department and Office of Industrial Hygiene.

32. Highway Noise

NA A B C D

Source: On-site Inspection, Project Application Materials

Findings of Fact: The proposed project is located in the vicinity of State Highway 111. Based on transmittal by Office of Industrial Hygiene dated April 15, 2009, requirements for 5-10 foot high combination earthen berms/walls along portions of 68th Avenue and Hammond Road would reduce impacts to less than significant with mitigation incorporated.

Mitigation: Compliance with conditions of approval on file in the LMS (COA's 80.PLANING.10 and 90.PLANNING.13 —CUP 3497R1 and COA's 80.PLANNING.8 and 90.PLANNING.11--CUP 3686), and transmittal from the Office of Industrial Hygiene dated April 15, 2009, which includes requirements such as, but not limited to, 5-10 foot high combination earthen berms/walls along portions of 68th Avenue and Hammond Road, all mobile homes having interior noise reduction of 20 dBa CNEL, or higher, to meet the interior noise standard, and all units being required to have a windows closed condition with means of mechanical ventilation.

Monitoring: Monitoring shall be provided by the Building and Safety Department and Office of Industrial Hygiene.

33. Other Noise

NA A B C D

Source: Project Application Materials, Riverside County Land Information System (RCLIS), County Ordinance No. 847 (Regulating Noise in Riverside County)

Findings of Fact: Short-term, construction-related noise impacts may occur during project grading and construction. However, construction activities will be required to comply with County noise standards. Since the construction site is within one-quarter mile of an occupied residence, no construction activities shall be undertaken between the hours of 6:00 p.m. and 6:00 a.m. during the months of June through September and between the hours of 6:00 p.m. and 7:00 a.m. during the months of October through May. All construction vehicles, equipment fixed or mobile shall be equipped with properly operating and maintained mufflers. During construction, best efforts will be

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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made to locate stockpiling and/or vehicle staging areas as far as practical from existing residential dwellings. Impacts would be less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation measures are required.

34. Noise Effects on or by the Project

a. A substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. A substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. Exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
d. Exposure of persons to or generation of excessive ground-borne vibration or ground-borne noise levels?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan, Table N-1 (“Land Use Compatibility for Community Noise Exposure”); Project Application Materials

Findings of Fact:

- a) The proposed project will raise ambient noise levels in the area which currently exist without the project. However, the project shall not create a substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project. The development of the proposed project will not substantially increase ambient noise levels. Therefore, this impact is considered less than significant.
- b) The proposed project may create a substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project during construction. As discussed in Finding of Fact 33-Other Noise, construction hours would be limited due to the proximity of the project site to occupied residences. The project will be consistent with the County Noise Ordinance No. 847, therefore, impacts are considered less than significant.
- c) The proposed project will not expose people to or generate noise levels in excess of standards established in the local general plan, noise ordinance (County Ordinance No. 847), or applicable standards of other agencies, subject to compliance with measures outlined in Office of Industrial Hygiene transmittal dated April 15, 2009. Exterior noise levels will be limited to less than or equal to 45 dB(A) 10-minute LEQ between the hours of 10:00 p.m. to 7:00 a.m., and 65 dB(A) at all other times pursuant to County Ordinance No. 847. Impacts would be less than significant with mitigation incorporated.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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d) The proposed project will not expose people to or generate excessive ground-borne vibration or ground-borne noise levels, subject to compliance with measures outlined in the Office of Industrial Hygiene transmittal letter dated April 15, 2009. Impacts would be less than significant with mitigation incorporated.

Mitigation: Compliance with conditions of approval on file in the LMS (COA's 80.PLANING.10 and 90.PLANNING.13 —CUP 3497R1 and COA's 80.PLANNING.8 and 90.PLANNING.11--CUP 3686), and transmittal from the Office of Industrial Hygiene dated April 15, 2009, which includes requirements such as, but not limited to, 5-10 foot high combination earthen berms/walls along portions of 68th Avenue and Hammond Road, all mobile homes having interior noise reduction of 20 dBa CNEL, or higher, to meet the interior noise standard, and all units being required to have a windows closed condition with means of mechanical ventilation.

Monitoring: Monitoring shall be provided by the Building and Safety Department and Office of Industrial Hygiene.

POPULATION AND HOUSING Would the project

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
35. Housing	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a. Displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Create a demand for additional housing, particularly housing affordable to households earning 80% or less of the County's median income?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. Displace substantial numbers of people, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d. Affect a County Redevelopment Project Area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e. Cumulatively exceed official regional or local population projections?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f. Induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Project Application Materials, GIS database, Riverside County General Plan Housing Element

Findings of Fact:

a) The proposed project site contains no existing occupied units and the majority of the land is vacant. The proposed project will not displace any existing residences with proposed addition of farm labor camp for 160 persons and mobile home park with 84 spaces. Therefore, there is no impact.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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- b) The proposed project creates farm labor housing as currently allowed in the existing A-2-10 zone and W-2 zone and would include affordable units. Therefore, the impact would be less than significant.
- c) The proposed project site contains vacant land and modular shower facilities; therefore, it will not displace substantial numbers of people, necessitating the construction of replacement housing elsewhere.
- d) The project is not located within or near a County Redevelopment Project Area.
- e) The project with farm labor camp and migrant agricultural mobile home park would equate to an increase of approximately 400 additional persons. Farm labor housing would bring new residents to the site. This population increase will not exceed official regional or local population projections and therefore impacts are less than significant.
- f) The project will not induce substantial population growth in an area.

Mitigation: No mitigation required.

Monitoring: No monitoring required.

PUBLIC SERVICES Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered government facilities or the need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:

36. Fire Services

Source: Riverside County General Plan Safety Element

Findings of Fact:

The proposed project will have a less than significant impact on the demand for Fire services since project is required to provide adequate fire access along Hammond Road and 68th Avenue. Additionally, the project will not result in substantial adverse physical impacts associated with the provision of new or physically altered government facilities or the need for new or physically altered governmental facilities. As such, this project will not cause additional construction that would result in any significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services. Therefore, the impact is considered less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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37. Sheriff Services

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Source: General Plan

Findings of Fact:

The Riverside County Sheriff's Department (RCSD) provides law enforcement and crime prevention services to the project site. Similar to fire protection services, the proposed project will incrementally increase the demand for sheriff services in the project area; however, due to its limited size, the proposed project will not create a significant impact on sheriff services. The proposed project will have a less than significant impact on sheriff services and no mitigation measures are required.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required

38. Schools

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Source: Riverside Unified School District correspondence, GIS database

Findings of Fact:

The Coachella Valley Unified School District provides public education services for the project area. The applicant of this project is conditioned to pay the school impact fees for residential uses as set by State Law. Fees are required to be paid prior to issuance of any building permits (COA 80.PLANNING.9—CUP 3497R1) (COA 80.PLANNING.5—CUP 3686). Therefore, with payment of school fees the potential impact is mitigated to a less than significant level.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

39. Libraries

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Source: General Plan

Findings of Fact:

The proposed development may have impacts on library resources because it will generate end users, however, impacts are considered less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
40. Health Services	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: General Plan

Findings of Fact:

The proposed project will not have a significant impact on health services and no mitigation measures are required. Due to slight population increase, impacts are considered less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

RECREATION

41. Parks and Recreation	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a. Would the project include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Would the project include the use of existing neighborhood or regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. Is the project located within a C.S.A. or recreation and park district with a Community Parks and Recreation Plan (Quimby fees)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County Land Information System (RCLIS); County Ordinance No. 460, Section 10.35 (Regulating the Division of Land – Park and Recreation Fees and Dedications); County Ordinance No. 659.10 (Establishing Development Impact Fees)

Findings of Fact:

- a) The scope of the proposed project does not involve the construction or expansion of recreational facilities that would have an adverse physical impact on the environment. Therefore, there would be no impact.
- b) Future residents of the project site could potentially use neighboring recreational facilities. Due to the size of the proposed development, which entails the addition of persons to the area, it is anticipated that the project would generate less than significant impacts to nearby parks and recreational facilities.
- c) The project is not subject to Quimby fees at that time with no proposed land division. Thus, there is no impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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42. Recreational Trails

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Source: Open Space and Conservation Map for Western County trail alignments

Findings of Fact:

The General Plan does not identify any trails on this site and the proposed project has not incorporated any trails into its design; therefore, the project will have no impact on recreational trails.

Mitigation: No mitigation required.

Monitoring: No monitoring required.

TRANSPORTATION/TRAFFIC Would the project

43. Circulation

<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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a) Conflict with an applicable plan, ordinance or policy establishing a measure of effectiveness for the performance of the circulation system, taking into account all modes of transportation, including mass transit and non-motorized travel and relevant components of the circulation system, including but not limited to intersections, streets, highways and freeways, pedestrian and bicycle paths, and mass transit?

b) Conflict with an applicable congestion management program, including, but not limited to level of service standards and travel demand measures, or other standards established by the county congestion management agency for designated roads or highways?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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c) Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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d) Alter waterborne, rail or air traffic?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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e) Substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g. farm equipment)?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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f) Cause an effect upon, or a need for new or altered maintenance of roads?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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g) Cause an effect upon circulation during the project's construction?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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h) Result in inadequate emergency access or access to nearby uses?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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i) Conflict with adopted policies, plans or programs regarding public transit, bikeways or pedestrian facilities, or otherwise substantially decrease the performance or safety of such facilities?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Source: General Plan; Riverside County Transportation Department Review, Riverside County Fire Department Review

Findings of Fact:

a) The proposed project will increase vehicular traffic with required dedications/improvements for Hammond Road (91' ROW) and realignment of 68th Avenue (103' ROW) which includes new street lighting (COA 90.TRANS.8 – CUP 3686). However, the Transportation Department did not require a traffic study for the proposed project. The project will not cause an increase in traffic which is substantial in relation to the existing traffic loads and capacity of the street system. Nor will the project conflict with any County policy regarding mass transit. Due to required road dedications/improvements, including realignment of Avenue 68, impacts are considered less than significant with mitigation incorporated.

b) The project site meets all parking requirements of Ordinance No. 348 Section 18.12 "Off-Street Parking." Nor will the project conflict with an applicable congestion management plan. Impacts would be less than significant.

c & d) The proposed project is not located within an Airport Influence Area. The project will not change air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks. Therefore, there is no impact.

e) The proposed project will not substantially increase hazards to a design feature (e.g. sharp curves or dangerous intersections) or incompatible uses (e.g. farm equipment). Therefore, there is no impact.

f) The project will cause a slight increase in the population of the area, thus creating an increase in maintenance responsibility. A portion of property taxes are provided to the Community Services District to offset the increased cost of maintenance. Therefore, there is a less than significant impact.

g) It is not anticipated that there will be a substantial effect upon circulation during the proposed project's construction. Therefore, this impact is considered less than significant.

h) The proposed project will not result in inadequate emergency access or access to nearby uses. Therefore, this impact is considered less than significant.

i) The proposed project will not conflict with adopted policies supporting alternative transportation (e.g. bus turnouts, bicycle racks). Therefore, there is no impact.

Mitigation: Compliance with the conditions of approval on file in the LMS including conditions for right-of-way dedication and street improvements, such as COA 80.TRANS.4 – ROW Dedication and 90.TRANS.20—IMP Plans (CUP 3497R1 and CUP 3686).

Monitoring: Monitoring shall be provided by the Transportation Department.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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44. Bike Trails	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Source: General Plan

Findings of Fact:

The project is not located adjacent to or nearby any designated bike trails. Therefore, there is no impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

UTILITY AND SERVICE SYSTEMS Would the project

45. Water	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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a) Require or result in the construction of new water treatment facilities or expansion of existing facilities, the construction of which would cause significant environmental effects?

b) Have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed?

Source: Department of Environmental Health Review

Findings of Fact:

- a) The proposed project is served by the Coachella Valley Water District and private water system which includes an on-site well along with related infrastructure such as water meters and water lines. Impacts would be less than significant with mitigation incorporated.
- b) The proposed project will be served by the Coachella Valley Water District (CVWD) and private water system. Based on review by CVWD, it is anticipated that the project will have sufficient water supplies available for the proposed development. The impact is considered less than significant with mitigation incorporated.

Mitigation: Compliance with the conditions of approval on file in the LMS such as COA 10.E HEALTH.1—CUP 3497R1 and CUP 3686, and transmittal from the Coachella Valley Water District dated June 3, 2013.

Monitoring: Monitoring shall be provided by the Building and Safety Department, Environmental Health Department, and the Coachella Valley Water District.

46. Sewer	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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a) Require or result in the construction of new wastewater treatment facilities, including septic systems, or expansion of existing facilities, the construction of which would cause significant environmental effects?

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
b) Result in a determination by the wastewater treatment provider that serves or may service the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Source: Department of Environmental Health Review

Findings of Fact:

- a) The proposed project would result in the construction of new waste water treatment facilities by Coachella Valley Water District (CVWD) and private sewer system that will be handled by a package Lift Station and then will be tied into the main CVWD main sewer pipeline on Hammond Road prior to project occupancy. The construction of new wastewater treatment systems is not anticipated to cause significant environmental effects due to flat topography and nearby water district facilities. Impacts would be less than significant with mitigation incorporated.
- b) The proposed project will have adequate wastewater treatment capacity to serve the project site subject to new CVWD sewer pipeline along Hammond Road and private sewer improvements such as a package Lift station prior to project occupancy. Therefore, the project will not result in service that has inadequate capacity to serve the project's projected demand. Impacts would be less than significant with mitigation incorporated.

Mitigation: Compliance with the conditions of approval on file in the LMS such as COA 10.E HEALTH.1—CUP 3497R1 and CUP 3686, and transmittal from the Coachella Valley Water District dated June 3, 2013.

Monitoring: Monitoring shall be provided by the Building and Safety Department, Environmental Health Department, and the Coachella Valley Water District.

47. Solid Waste

a) Is the project served by a landfill with sufficient permitted capacity to accommodate the project's solid waste disposal needs?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Does the project comply with federal, state, and local statutes and regulations related to solid wastes including the CIWMP (County Integrated Waste Management Plan)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: General Plan, Riverside County Waste Management District correspondence

Findings of Fact:

- a-b) The project will not generate significant amounts of construction or demolition waste. The project is subject to the Riverside County Waste Management Department transmittal letter dated July 16, 2012 which requires a Waste Recycling Plan prior to issuance of building permit. The proposed project will not require nor result in the construction of new landfill facilities, including the expansion of existing facilities. Impacts would be less than significant.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Mitigation: No mitigation required.

Monitoring: No monitoring required.

48. Utilities

Would the project impact the following facilities requiring or resulting in the construction of new facilities or the expansion of existing facilities; the construction of which could cause significant environmental effects?

a) Electricity?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Natural gas?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Communications systems?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Storm water drainage?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Street lighting?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) Maintenance of public facilities, including roads?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g) Other governmental services?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: General Plan

Findings of Fact:

- a,b,c) The project will require utility services in the form of electricity, natural gas, and telecommunications for any future development. Each of the utility systems is available at the project site and lines will have to be extended onto the site, which will already be disturbed by grading and other construction activities. These impacts are considered less than significant based on the availability of existing public facilities that support local systems. Compliance with the requirements of Imperial Irrigation District, Southern California Gas, and the telephone company will ensure that potential impacts to utility systems are reduced to a non-significant level.
- d) Storm water drainage will be handled both on and off site from existing/planned site improvements, adjacent roadways and based on required on-site retention as described in the Coachella Valley District transmittal letter dated June 3, 2013.
- e) Cumulative traffic impacts from the project will result in the need for additional street lights. Electricity is available at the project site and lines will have to be extended onto the site, which will already be disturbed by grading and other construction activities. These impacts are considered less than significant based on the availability of existing public facilities that support local systems.
- f) Maintenance of public roads will be required to support the new development. The impact would be less than significant.
- g) The project will not require additional government services.

Mitigation: No mitigation required.

Monitoring: No monitoring required.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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49. Energy Conservation

a) Would the project conflict with any adopted energy conservation plans?

Source: General Plan

Findings of Fact:

a) The County has not adopted any energy conservation plans, nor do any State or Federal energy conservation plans apply to the project site.

Mitigation: No mitigation required.

Monitoring: No monitoring required

MANDATORY FINDINGS OF SIGNIFICANCE

50. Does the project have the potential to substantially degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal, or eliminate important examples of the major periods of California history or prehistory?

Source: Staff review, Project Application Materials

Findings of Fact: Implementation of the proposed project would not substantially degrade the quality of the environment, substantially reduce the habitat of fish or wildlife species, cause a fish or wildlife populations to drop below self-sustaining levels, threaten to eliminate a plant or animal community, or reduce the number or restrict the range of a rare or endangered plant or animal, or eliminate important examples of the major periods of California history or prehistory.

51. Does the project have impacts which are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, other current projects and probable future projects)?

Source: Staff review, Project Application Materials

Findings of Fact: The project does not have impacts which are individually limited, but cumulatively considerable. Most of the area consists of large crops and scattered dwellings. The introduction of

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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minor amounts of new possible sites will not cumulatively impact the area as adequate resources and infrastructure exist to accommodate the increase in capacity.

52. Does the project have environmental effects that will cause substantial adverse effects on human beings, either directly or indirectly?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Source: Staff review, project application

Findings of Fact: The proposed project would not result in environmental effects which would cause substantial adverse effects on human beings, either directly or indirectly.

VI. EARLIER ANALYSES

Earlier analyses may be used where, pursuant to the tiering, program EIR, or other CEQA process, an effect has been adequately analyzed in an earlier EIR or negative declaration as per California Code of Regulations, Section 15063 (c) (3) (D). In this case, a brief discussion should identify the following:

Earlier Analyses Used, if any: Conditional Use Permit No. 3497

- CAPCOA, CEQA and Climate Change, January 2008.
- GIS: Riverside County Geographic Information System database.
- CVMSHCP: CV Multiple Species Habitat Conservation Plan.
- Riverside County General Plan, Adopted October 7, 2003.

Location Where Earlier Analyses, if used, are available for review:

Location: County of Riverside Planning Department
4080 Lemon Street, 12th Floor
Riverside, CA 92501

VII. AUTHORITIES CITED

Authorities cited: Public Resources Code Sections 21083 and 21083.05; References: California Government Code Section 65088.4; Public Resources Code Sections 21080(c), 21080.1, 21080.3, 21082.1, 21083, 21083.05, 21083.3, 21093, 21094, 21095 and 21151; *Sundstrom v. County of Mendocino* (1988) 202 Cal.App.3d 296; *Leonoff v. Monterey Board of Supervisors* (1990) 222 Cal.App.3d 1337; *Eureka Citizens for Responsible Govt. v. City of Eureka* (2007) 147 Cal.App.4th 357; *Protect the Historic Amador Waterways v. Amador Water Agency* (2004) 116 Cal.App.4th at 1109; *San Franciscans Upholding the Downtown Plan v. City and County of San Francisco* (2002) 102 Cal.App.4th 656.

FAST TRACK CONDITIONAL USE PERMIT

NO. 3497, REVISED PERMIT NO. 1

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Parcel: 729-050-002

10. GENERAL CONDITIONS

EVERY DEPARTMENT

10. EVERY. 1 USE - PROJECT DESCRIPTION RECOMMND

The use hereby permitted is for a farm labor camp/migrant housing facility and this revised permit increases the number of beds from 96 to 160 in four (4) dormitory buildings totaling approximately 17,544 square feet along with 5,544 square foot community center building with availability of church services for approximately 90 people, as well as a 2,084 square foot manager's quarters and a 924 square foot laundry building, located within Assessor's Parcel Number 729-050-002.

10. EVERY. 2 USE - HOLD HARMLESS RECOMMND

The applicant/permittee or any successor-in-interest shall defend, indemnify, and hold harmless the County of Riverside or its agents, officers, and employees (COUNTY) from the following:

(a) any claim, action, or proceeding against the COUNTY to attack, set aside, void, or annul an approval of the COUNTY, its advisory agencies, appeal boards, or legislative body concerning the CONDITIONAL USE PERMIT; and,

(b) any claim, action or proceeding against the COUNTY to attack, set aside, void or annul any other decision made by the COUNTY concerning the CONDITIONAL USE PERMIT, including, but not limited to, decisions made in response to California Public Records Act requests.

The COUNTY shall promptly notify the applicant/permittee of any such claim, action, or proceeding and shall cooperate fully in the defense. If the COUNTY fails to promptly notify the applicant/permittee of any such claim, action, or proceeding or fails to cooperate fully in the defense, the applicant/permittee shall not, thereafter, be responsible to defend, indemnify or hold harmless the COUNTY.

The obligations imposed by this condition include, but are not limited to, the following: the applicant/permittee shall pay all legal services expenses the COUNTY incurs in connection with any such claim, action or proceeding, whether it incurs such expenses directly, whether it is ordered by a court to pay such expenses, or whether it

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10. GENERAL CONDITIONS

10. EVERY. 2 USE - HOLD HARMLESS (cont.) RECOMMND

incurs such expenses by providing legal services through its Office of County Counsel.

10. EVERY. 3 USE - DEFINITIONS RECOMMND

The words identified in the following list that appear in all capitals in the attached conditions of Conditional Use Permit No. 3497, Revised Permit No. 1 shall be henceforth defined as follows:

APPROVED EXHIBIT A = Conditional Use Permit No. 3497, Revised Permit No. 1, Exhibit A, Amended No. 2 (Sheets 1-2), Exhibits B-1 through B-11 (Elevations/Floor Plans), Exhibits M-1 through M-5 (Color Elevations), Exhibit L (Landscaping Plans), and Exhibit S (Freestanding Sign).

BS GRADE DEPARTMENT

10.BS GRADE. 1 USE - GENERAL INTRODUCTION RECOMMND

Improvements such as grading, filling, over excavation and recompaction, and base or paving which require a grading permit are subject to the included Building and Safety Department Grading Division conditions of approval.

10.BS GRADE. 3 USE - OBEY ALL GDG REGS RECOMMND

All grading shall conform to the California Building Code, Ordinance 457, and all other relevant laws, rules, and regulations governing grading in Riverside County and prior to commencing any grading which includes 50 or more cubic yards, the applicant shall obtain a grading permit from the Building and Safety Department.

10.BS GRADE. 4 USE - DISTURBS NEED G/PMT RECOMMND

Ordinance 457 requires a grading permit prior to clearing, grubbing, or any top soil disturbances related to construction grading.

10.BS GRADE. 6 USE - NPDES INSPECTIONS RECOMMND

Construction activities including clearing, stockpiling, grading or excavation of land which disturbs less than 1 acre and requires a grading permit or construction Building permit shall provide for effective control of erosion,

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10. GENERAL CONDITIONS

10.BS GRADE. 6

USE - NPDES INSPECTIONS (cont.)

RECOMMND

sediment and all other pollutants year-round. The permit holder shall be responsible for the installation and monitoring of effective erosion and sediment controls. Such controls will be evaluated by the Department of Building and Safety periodically and prior to permit Final to verify compliance with industry recognized erosion control measures.

Construction activities including but not limited to clearing, stockpiling, grading or excavation of land, which disturbs 1 acre or more or on-sites which are part of a larger common plan of development which disturbs less than 1 acre are required to obtain coverage under the construction general permit with the State Water Resources Control Board. You are required to provide proof of WDID# and keep a current copy of the storm water pollution prevention plan (SWPPP) on the construction site and shall be made available to the Department of Building and Safety upon request.

Year-round, Best Management Practices (BMP's) shall be maintained and be in place for all areas that have been graded or disturbed and for all material, equipment and/or operations that need protection. Stabilized Construction Entrances and project perimeter linear barriers are required year round. Removal BMP's (those BMP's which must be temporarily removed during construction activities) shall be in place at the end of each working day.

Monitoring for erosion and sediment control is required and shall be performed by the QSD or QSP as required by the Construction General Permit. Stormwater samples are required for all discharge locations and projects may not exceed limits set forth by the Construction General Permit Numeric Action Levels and/or Numeric Effluent Levels. A Rain Event Action Plan is required when there is a 50% or greater forecast of rain within the 48 hours, by the National Weather Service or whenever rain is imminent. The QSD or QSP must print and save records of the precipitation forecast for the project location area from (<http://www.srh.noaa.gov/forecast>) and must accompany monitoring reports and sampling test data. A Rain gauge is required on site. The Department of Building and Safety will conduct periodic NPDES inspections of the site throughout the recognized storm season to verify compliance with the Construction General Permit and Stormwater

CONDITIONAL USE PERMIT Case #: CUP03497R1

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10. GENERAL CONDITIONS

10.BS GRADE. 6 USE - NPDES INSPECTIONS (cont.) (cont.) RECOMMND
ordinances and regulations.

10.BS GRADE. 7 USE - EROSION CNTRL PROTECT RECOMMND

Graded but undeveloped land shall provide, in addition to erosion control planting, any drainage facility deemed necessary to control or prevent erosion. Additional erosion protection may be required during the rainy season from October 1, to May 31.

10.BS GRADE. 8 USE - DUST CONTROL RECOMMND

All necessary measures to control dust shall be implemented by the developer during grading. A PM10 plan may be required at the time a grading permit is issued.

10.BS GRADE. 9 USE - 2:1 MAX SLOPE RATIO RECOMMND

Graded slopes shall be limited to a maximum steepness ratio of 2:1 (horizontal to vertical) unless otherwise approved.

10.BS GRADE. 11 USE - MINIMUM DRNAGE GRADE RECOMMND

Minimum drainage grade shall be 1% except on portland cement concrete where .35% shall be the minimum.

10.BS GRADE. 12 USE - DRAINAGE & TERRACING RECOMMND

Provide drainage facilities and terracing in conformance with the California Building Code's chapter on "EXCAVATION & GRADING".

10.BS GRADE. 13 USE - SLOPE SETBACKS RECOMMND

Observe slope setbacks from buildings & property lines per the California Building Code as amended by Ordinance 457.

10.BS GRADE. 18 USE - OFFST. PAVED PKG RECOMMND

All offstreet parking areas which are conditioned to be paved shall conform to Ordinance 457 base and paving design and inspection requirements.

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10. GENERAL CONDITIONS

10.BS GRADE. 20 USE - RETAINING WALLS RECOMMND

Lots which propose retaining walls will require separate permits. They shall be obtained prior to the issuance of any other building permits - unless otherwise approved by the Building and Safety Director. The walls shall be designed by a Registered Civil Engineer - unless they conform to the County Standard Retaining Wall designs shown on the Building and Safety Department form 284-197.

10.BS GRADE. 23 USE - MANUFACTURED SLOPES RECOMMND

Plant and irrigate all manufactured slopes equal to or greater than 3 feet in vertical height with drought tolerant grass or ground cover; slopes 15 feet or greater in vertical height shall also be planted with drought tolerant shrubs or trees in accordance with the requirements of Ordinance 457.

10.BS GRADE. 24 USE - FINISH GRADE RECOMMND

Finish grade shall be sloped to provide proper drainage away from all exterior foundation walls in accordance with the California Building Code and Ordinance 457.

BS PLNCK DEPARTMENT

10.BS PLNCK. 1 USE - PLAN CHECK RECOMMND

Related cases for this project include CZ07785, CUP03686 for the proposed construction of a mobile home park consisting of 84 spaces, a community center, and a day care facility. CUP03497R1 includes a proposed dormitory to house up to 160 workers, a community building and an on-site manager's quarters. The dormitory, community building and managers quarters will each require BNR permit types and comply with minimum occupancy classification requirements.

PERMIT ISSUANCE:

Per section 105.1 (2010 California Building Code, CBC): Where any owner or authorized agent intends to construct, enlarge, alter, repair, move, demolish or change the occupancy of a building or structure, or to erect, install, enlarge, alter, repair, remove, convert, or replace any electrical, gas, mechanical, or plumbing system, the regulation of which is governed by this code, or to cause any such work to be done, shall first make application to the building official and obtain the required permit.

CONDITIONAL USE PERMIT Case #: CUP03497R1

Parcel: 729-050-002

10. GENERAL CONDITIONS

10.BS PLNCK. 1 USE - PLAN CHECK (cont.)

RECOMMND

The applicant shall obtain the required building permit(s) from the building department prior to any construction or placement of any building, structure or equipment on the property.

The applicant shall obtain an approved final building inspection and certificate of occupancy from the building department prior to any use or occupancy of the building, or structure.

At no time shall the approval of the planning case exhibit allow for the construction or use of any building or structure.

In non-residential applications, separate building permits may include a permit for the structure (Shell building), grading, tenant improvements, accessory structures and/or equipment, which may include trash enclosures, light standards, block walls/fencing etcà In residential applications, each separate structure will require a separate building permit.

ACCESSIBLE PATH OF TRAVEL:

The building plan submittal will include a revised site plan to reflect all required accessible path of travel details. The revised site plan shall include the following information for the required continuous paved accessible path of travel:

- 1.Connection to the public R.O.W.
- 2.Connection to all buildings.
- 3.Connection to areas of public accommodation (Including recreation/sports park facilities and viewing areas.
- 4.Connection to accessible designed trash enclosures.
- 5.Connection to mail kiosks.
- 6.Connection to accessible parking loading/unloading areas.

THE DETAILS SHALL INCLUDE:

- 1.Accessible path construction type (Concrete or asphalt)
- 2.Path width.
- 3.Path slope%, cross slope%.
- 4.Ramp and curb cut-out locations.
- 5.Level landing areas at all entrance and egress points.

CODE/ORDINANCE REQUIREMENTS:

The applicant shall obtain the required building permit(s) from the building department prior to any construction on the property. All building plans and supporting documentation shall comply with current adopted California Building Codes, Riverside County Ordinances, and California

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10. GENERAL CONDITIONS

10.BS PLNCK. 1 USE - PLAN CHECK (cont.) (cont.) RECOMMND

Title 25 regulations in effect at the time of building plan submittal and fee payment to the Building Department. All Building Department plan submittal and fee requirements shall apply

E HEALTH DEPARTMENT

10.E HEALTH. 1 CVWD WATER AND SEWER SERVICE RECOMMND

Conditional Use Permit#3497 R1 is proposing Coachella Valley Water District (CVWD) potable water and sanitary sewer service. It is the responsibility of the developer to ensure that all requirements to obtain potable water and sanitary sewer service are met with CVWD as well as all other applicable agencies.

10.E HEALTH. 3 WELL(S) -NON-POTABLE USE RECOMMND

All individual well(s) proposed to supply water for fire, irrigation and laundry facilities shall comply with all applicable requirements. All hose bibs served by individual well(s) onsite must be labeled "NON POTABLE, DO NOT DRINK".

10.E HEALTH. 4 INDUSTRIAL HYGIENE-NOISE STUDY RECOMMND

Noise Consultant: Urban Crossroads
41 Corporate Park, Suite 300
Irvine, CA 92606

Noise Study: "San Cristobal Migrant Housing Facility and Los Vinedos Mobil Park Noise Study, County of Riverside, California JN:05970-03 dated November 26, 2008"

Based on the County of Riverside, Industrial Hygiene Program's review the aforementioned Noise Study, Conditional Use Permit#3497 R1 shall comply with the recommendations set forth under Steve Hindi's (RivCo - Industrial Hygienist) response letter dated April 15, 2009.

For further information, please contact the Industrial Hygiene Program at (951) 955-8980.

CONDITIONAL USE PERMIT Case #: CUP03497R1

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10. GENERAL CONDITIONS

10.E HEALTH. 5 ENV CLEANUPS PROGRAM-COMMENTS RECOMMND

If a previously unidentified release or threatened release of a hazardous material or presence of a naturally occurring hazardous material is discovered during development at the site, construction activities shall cease and the County of Riverside Department of Environmental Health, Environmental Cleanups Program shall be notified immediately. Additionally, further assessment and/or cleanup may be required.

FIRE DEPARTMENT

10.FIRE. 1 USE-#50-BLUE DOT REFLECTOR RECOMMND

Blue retroreflective pavement markers shall be mounted on private street, public streets and driveways to indicate location of fire hydrants. Prior to installation, placement of markers must be approved by the Riverside County Fire Department.

10.FIRE. 2 USE*-#23-MIN REQ FIRE FLOW INEFFECT

Minimum required fire flow shall be 1500 GPM for a 2 hour duration at 20 PSI residual operating pressure, which must be available before any combustible material is placed on the job site. Fire flow is based on type VB construction per the 2010 CFC and Building(s) having a fire sprinkler system.

10.FIRE. 3 USE-#20-SUPER FIRE HYDRANT RECOMMND

Super fire hydrants) (6"x4"x 2-2 1/2") shall be located ot less than 25 feet or more than 165 feet from any portion of the building as measured along approved vehicular travel ways.

10.FIRE. 4 USE-#19-ON/OFF LOOPED HYD RECOMMND

A combination of on-site and off-site super fire hydrants, on a looped system (6"x4"x 2-2 1/2"), will be located not less than 25 feet or more than 165 feet from any portion of the building as measured along approved vehicular travel ways. The required fire flow shall be available from any adjacent hydrants(s) in the system.

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10. GENERAL CONDITIONS

10.FIRE. 5 USE-#89-RAPID ENTRY KEY BOX RECOMMND

A knox box shall be installed on the outside of the buildings. All gates require knox pad locks or automatic key entry. Plans shall be submitted to the Riverside County Fire Department for approval prior to installation.

10.FIRE. 6 USE-#84-TANK PERMITS INEFFECT

Applicant or Developer shall be responsible for obtaining under/aboveground fuel, chemical and mixed liquid storage tank permits, from the Riverside County Fire Department and Environmental Health Departments. Plans must be submitted for approval prior to installation. Aboveground fuel/mixed liquid tanks(s) shall meet the following standard: Tank must be tested and labeled to UL2085 Protected Tank Standard or SwRI 93-01. The test must include the Projectile Penetration Test and the Heavy Vehicle Impact Test. A sample copy of the tank's label from an independent test laboratory must be included with your plans. Need UL/FM Rating on Fire pump. Need 2nd back up 55 gal. drum outside the original diesel tank per our agreement (Robert Davis - Land Vision Management). Thrust block is stated on #43, we need detail on all thrust blocks. Need to resubmit plans showing the hook up to well.

FLOOD RI DEPARTMENT

10.FLOOD RI. 1 USE FLOOD HAZARD REPORT RECOMMND

Conditional Use Permit 03497, Revised No. 1, is a proposal to modify the previously approved farm labor camp (un-built) by allowing additional occupancy in dormitories with a community building and on-site manager's quarters on an approximately 11-acre site. The site is located in the eastern Coachella Valley between Avenue 68 and Hammond Road west of Grant Street. The Flood Control District did not review or comment on the original project (CUP 3497). CUP 3686, PM 36456 and CZ 7785 are being processed concurrently with CUP 3497R1. CUP 3497R1 is located adjacent to and west of CUP 3686.

It should be noted that the Flood Control District's review of this project is limited to the water quality aspects contained in the Water Quality Management Plan (WQMP) only and the flood protection and drainage aspects/impacts of

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10. GENERAL CONDITIONS

10.FLOOD RI. 1

USE FLOOD HAZARD REPORT (cont.)

RECOMMND

this project will be reviewed by other departments and/or agencies.

A preliminary project-specific WQMP was submitted for review. For the project's water quality mitigation, a triangular shaped basin is proposed in the southeasterly portion of the site. The basin is designed to collect and retain the 100-year 24-hour storm runoff generated from the site. Calculations submitted indicate the size of the basin is adequate. A final project-specific WQMP will be required. The development must incorporate Site Design Best Management Practices (BMPs) and Source Control BMPs, as applicable and feasible, into the project plans. Site Design BMPs include minimizing urban runoff and impervious footprint, conserving natural areas, and minimizing directly connected impervious areas. Source Control BMPs include education, activity restrictions and proper maintenance (non-structural) as well as proper landscape/irrigation design and the protection of slopes and channels (structural).

PLANNING DEPARTMENT

10.PLANNING. 1

USE - PDP01346 AMENDED

RECOMMND

County Paleontological Report (PDP) No. 1346, submitted for this case (CUP03497), was prepared by CRM Tech and is entitled: "Paleontological Resource Assessment Report, San Cristobal Migrant Agricultural Workers Housing, Assessor's Parcel No. 729-050-002, Near the Community of Mecca, Riverside County California", dated February 18, 2009. CUP03497R1, CUP03686 and PM 36456 are located on the same property as CUP03497 and, hence, PDP01346 is acceptable for these new projects.

PDP01346 concluded:

1.The project is determined to have a high potential for containing significant Holocene invertebrate remains and a low to undetermined potential for Pleistocene and Holocene vertebrate fossil remains.

2.The proposed project's potential impact on paleontological resources is determined to range from low to undetermined for Pleistocene and Holocene vertebrate fossil remains and high for significant Holocene

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10. GENERAL CONDITIONS

10.PLANNING. 1 USE - PDP01346 AMENDED (cont.)

RECOMMND

invertebrate remains.

PDP01346 recommended:

1.As the primary component of the mitigation program, a surface collection of the freshwater mollusk remains exposed on the surface should be accomplished prior to the commencement of the project and all earth-moving operations within the project area should be monitored for any evidence of significant, nonrenewable paleontological resources.

2.Excavations should be monitored by a qualified paleontological monitor. Monitoring should be restricted to undisturbed Lake Cahuilla beds and any undisturbed subsurface older alluvium which might be present below the surface.

3.Collected samples of sediments should be washed to recover small invertebrate and vertebrate fossils.

4.Specimens should be identified, curated, and placed into a repository with permanent retrievable storage.

5.A report of findings, including an itemized inventory of recovered specimens, should be prepared upon completion of the steps outlined above.

PDP01346 satisfies the requirement for a Paleontological Study for Planning/CEQA purposes. PDP01346 is hereby accepted for CUP03497R1, CUP03686 and PM 36456. Prior to grading permit issuance, an appropriate paleontological resource impact mitigation program (PRIMP) shall be submitted to the County Geologist for review and approval, as described elsewhere in this conditions set.

10.PLANNING. 3 USE - COMPLY WITH ORD./CODES

RECOMMND

The development of these premises shall comply with the standards of Ordinance No. 348 and all other applicable Riverside County ordinances and State and Federal codes.

The development of the premises shall conform substantially with that as shown on APPROVED EXHIBIT A, unless otherwise amended by these conditions of approval.

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10. GENERAL CONDITIONS

10.PLANNING. 4 USE - FEES FOR REVIEW RECOMMND

Any subsequent submittals required by these conditions of approval, including but not limited to grading plan, building plan or mitigation monitoring review, shall be reviewed on an hourly basis (research fee), or other such review fee as may be in effect at the time of submittal, as required by Ordinance No. 671. Each submittal shall be accompanied with a letter clearly indicating which condition or conditions the submittal is intended to comply with.

10.PLANNING. 5 USE - LIGHTING HOODED/DIRECTED RECOMMND

Any outside lighting shall be hooded and directed so as not to shine directly upon adjoining property or public rights-of-way.

10.PLANNING. 6 USE - LAND DIVISION REQUIRED RECOMMND

Prior to the sale of any individual structure as shown on APPROVED EXHIBIT A, a land division shall be recorded in accordance with Riverside County Ordinance No. 460, and any other pertinent ordinance.

10.PLANNING. 7 USE - COLORS & MATERIALS RECOMMND

Building colors and materials shall be in substantial conformance with those shown on APPROVED EXHIBIT A.

10.PLANNING. 9 USE - PHASES ALLOWED RECOMMND

Construction of this project may be done in phases as shown on APPROVED EXHIBIT A. Any additional phases, or modifications to the approved phasing, may be permitted provided a plan for each phase of development is submitted to and approved by the Planning Department. Phasing approval shall not apply to the requirements of any agency other than the Planning Department unless otherwise indicated by the affected agency.

10.PLANNING. 11 USE - EXTERIOR NOISE LEVELS RECOMMND

Exterior noise levels produced by any use allowed under this permit, including, but not limited to, any outdoor public address system, shall not exceed 45 db(A), 10-minute LEQ, between the hours of 10:00 p.m. to 7:00 a.m., and 65 db(A), 10-minute LEQ, at all other times as

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10. GENERAL CONDITIONS

10.PLANNING. 11 USE - EXTERIOR NOISE LEVELS (cont.) RECOMMND

measured at any residential, hospital, school, library, nursing home or other similar noise sensitive land use. In the event noise exceeds this standard, the permittee or the permittee's successor-in-interest shall take the necessary steps to remedy the situation, which may include discontinued operation of the facilities. The permit holder shall comply with the applicable standards of Ordinance No. 847.

10.PLANNING. 12 USE - NOISE MONITORING REPORTS RECOMMND

The permit holder may be required to submit periodic noise monitoring reports as determined by the Department of Building and Safety as part of a code enforcement action. Upon written notice from the Department of Building and Safety requiring such a report, the permittee or the permittee's successor-in-interest shall prepare and submit an approved report within thirty (30) calendar days to the Department of Building and Safety, unless more time is allowed through written agreement by the Department of Building and Safety. The noise monitoring report shall be approved by the Office of Industrial Hygiene of the Health Service Agency (the permittee or the permittee's successor-in-interest shall be required to place on deposit sufficient funds to cover the costs of this approval prior to commencing the required report).

10.PLANNING. 13 USE - AGRICULTURE CODES RECOMMND

This property is located within the Coachella Valley and all landscape planting shall comply with the requirements of the State Agriculture Code and the directives of the Riverside County Agricultural Commissioner. All landscaping plans submitted to the Planning Department shall included the following notation: "Warning: Plant material listed may or may not have been approved by the Agricultural Commissioner's office. Landscape contractor, please contact the developer for status of Agricultural Commissioner's approval or denial. Plan material not conforming with quarantine laws may be destroyed and civil action taken. All plant material is subject to inspection at the discretion of the Agricultural Commissioner's office. All plant material must be free from Red Scale (Aonidiella aurantii.)"

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10. GENERAL CONDITIONS

10.PLANNING. 14 USE - VOID RELATED PROJECT RECOMMND

Any approval for use of or development on this property that was made pursuant to CUP03497 shall become null and void upon final approval of CUP03497R1 by the County of Riverside.

10.PLANNING. 15 USE - CAUSES FOR REVOCATION RECOMMND

In the event the use hereby permitted under this permit,
a) is found to be in violation of the terms and conditions of this permit,
b) is found to have been obtained by fraud or perjured testimony, or
c) is found to be detrimental to the public health, safety or general welfare, or is a public nuisance, this permit shall be subject to the revocation procedures.

10.PLANNING. 16 USE - CEASED OPERATIONS RECOMMND

In the event the use hereby permitted ceases operation for a period of one (1) year or more, this approval shall become null and void.

10.PLANNING. 17 USE - 90 DAYS TO PROTEST RECOMMND

The project applicant has 90 days from the date of approval of these conditions to protest, in accordance with the procedures set forth in Government Code Section 66020, the imposition of any and all fees, dedications, reservations and/or other exactions imposed on this project as a result of the approval or conditional approval of this project.

10.PLANNING. 18 USE - INADVERTANT ARCHAEO FIND RECOMMND

INADVERTENT ARCHAEOLOGICAL FIND
The developer/permit holder or any successor in interest shall comply with the following for the life of this permit:

If during ground disturbance activities, cultural resources* are discovered that were not assessed by the archaeological report(s) and/or environmental assessment conducted prior to project approval, the following procedures shall be followed:

1. All ground disturbance activities within 100 feet of the discovered cultural resource shall be halted until a

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10. GENERAL CONDITIONS

10.PLANNING. 18

USE - INADVERTANT ARCHAEO FIND (cont.)

RECOMMND

meeting is convened between the developer, the project archaeologist**, and the County Archaeologist to discuss the significance of the find.

2. The developer shall call the County Archaeologist immediately upon discovery of the cultural resource to convene the meeting.

3. At the meeting, the significance of the discoveries shall be discussed and a decision is to be made, with the concurrence of the County Archaeologist, as to the appropriate mitigation (documentation, recovery, avoidance, etc) for the cultural resource.

4. Further ground disturbance shall not resume within the area of the discovery until a meeting has been convened with the aforementioned parties and a decision is made, with the concurrence of the County Archaeologist, as to the appropriate mitigation measures.

* A cultural resources site is defined, for this condition, as being three or more artifacts in close association with each other, but may include fewer artifacts if the area of the find is determined to be of significance due to its sacred or cultural importance.

** If not already employed by the project developer, a County approved archaeologist shall be employed by the project developer to assess the value/importance of the cultural resource, attend the meeting described above, and continue monitoring of all future site grading activities as necessary.

10.PLANNING. 19

USE - IF HUMAN REMAINS FOUND

RECOMMND

IF HUMAN REMAINS ARE FOUND ON THIS SITE:

The developer/permit holder or any successor in interest shall comply with the following codes for the life of this project:

Pursuant to State Health and Safety Code Section 7050.5, if human remains are encountered, no further disturbance shall occur until the County Coroner has made the necessary findings as to origin. Further, pursuant to Public Resources Code Section 5097.98 (b), remains shall be left in place and free from disturbance until a final decision

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10. GENERAL CONDITIONS

10.PLANNING. 19

USE - IF HUMAN REMAINS FOUND (cont.)

RECOMMND

as to the treatment and their disposition has been made. If the Riverside County Coroner determines the remains to be Native American, the Native American Heritage Commission shall be contacted within the period specified by law. Subsequently, the Native American heritage Commission shall identify the "Most Likely Descendant". The Most Likely Descendant shall then make recommendations and meet with the property owner and the County Archaeologist concerning the treatment of the remains as provided in Public Resources Code Section 5097.98. Human remains from other ethnic/cultural groups with recognized historical associations to the project area shall also be subject to a meeting between appropriate representatives from that group and the County Archaeologist.

10.PLANNING. 20

USE - GEO02136

RECOMMND

County Geologic Report (GEO) No. 2136, submitted for this project (CUP03497) was prepared by Earth Systems Southwest and is entitled: "Geotechnical Engineering Report, Proposed Migrant Housing Facility, Southeast Corner of Avenue 68 and Hammond Road, Mecca, California", dated February, 20, 2008. In addition, Earth Systems prepared the following:

"Addendum to Geotechnical Engineering Report, Earth Systems Southwest, Geotechnical Engineering Report, Proposed Migrant Housing Facility - San Cristobal, Southeast Corner of Avenue 68 and Hammond Road, Mecca, California, File No.: 10113-02, Doc. No.: 0-02-737, dated February 20, 2008", dated January 26, 2009.

"Addendum to Geotechnical Engineering Report and Response to Riverside County Planning Department Review Comments, Earth Systems Southwest, Geotechnical Engineering Report, Proposed Migrant Housing Facility - San Cristobal, Southeast Corner of Avenue 68 and Hammond Road, Mecca, California, File No.: 10113-02, Doc. No.: 0-02-737, dated February 20, 2008", dated May 28, 2009.

These documents are herein incorporated as a part of GEO02136.

GEO02136 concluded:

1.The primary hazard to the site is strong ground shaking

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10. GENERAL CONDITIONS

10.PLANNING. 20 USE - GEO02136 (cont.)

RECOMMND

from earthquakes along the San Andreas faults.

2.No active faults are mapped in the immediate vicinity of the site.

3.The probability of fault rupture across the site is extremely low.

4.The potential for liquefaction at this site is high.

5.Total ground subsidence induced from liquefaction is estimated to range from about 2 to 3.5 inches. Differential building settlements may be estimated to be about 50 to 67% of the total subsidence (about 2 inches).

6.The hazard from tsunamis is non-existent.

7.Hazards from seiches are considered negligible.

8.Potential hazards from slope instability, landslides, or debris flows are considered negligible.

GEO02136 recommended:

1.Adherence to the grading and structural recommendations in the Earth Systems Southwest February 20, 2009 report.

2.Ground improvement methods to prevent liquefaction from occurring (vibroflotation compaction, stone columns, or compaction grouting) or, at a minimum, a foundation system that can withstand the expected movement without causing such structural damage so as to pose a life-safety hazard.

GEO No. 2136 satisfies the requirement for a Geologic Study for Planning / CEQA purposes CUP03497R1 and CUP03686. GEO No. 2136 is hereby accepted for Planning purposes. This approval is not intended, and should not be misconstrued as approval for grading permit. Engineering and other building code parameters will be reviewed and additional comments and/or conditions may be imposed by the Building and Safety Department upon application for grading and/or building permits.

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10. GENERAL CONDITIONS

10.PLANNING. 21 USE - LIMIT ON SIGNAGE RECOMMND

Signage for this project shall be limited to the 8'x 5' freestanding entrance sign shown on APPROVED EXHIBIT A. Any additional signage shall be approved by the Planning Department pursuant to the requirements of Section 18.30 (Planning Department review only) of Ordinance No. 348.

TRANS DEPARTMENT

10.TRANS. 1 USE - COUNTY WEB SITE RECOMMND

Additional information, standards, ordinances, policies, and design guidelines can be obtained from the Transportation Department Web site: <http://rctlma.org/trans/>. If you have questions, please call the Plan Check Section at (951) 955-6527.

10.TRANS. 6 USE - ASSESS/BENEFIT DIST 1 RECOMMND

Should this project lie within any assessment/benefit district, the project proponent shall, prior to issuance of a building permit, make application for and pay for their reapportionment of the assessments or pay the unit fees in the benefit district.

10.TRANS. 9 USE - STD INTRO (ORD 461) RECOMMND

With respect to the conditions of approval for the referenced tentative exhibit, the landowner shall provide all street improvements, street improvement plans and/or road dedications set forth herein in accordance with Riverside County Road Improvement Standards (Ordinance 461). It is understood that the exhibit correctly shows acceptable centerline elevations, all existing easements, traveled ways, and drainage courses with appropriate Q's, and that their omission or unacceptability may require the exhibit to be resubmitted for further consideration. This ordinance and all conditions of approval are essential parts and a requirement occurring in ONE is as binding as though occurring in all. All questions regarding the true meaning of the conditions shall be referred to the Transportation Department.

10.TRANS. 10 USE - ENCROACHMENT PERMIT RECOMMND

An encroachment permit must be obtained from the Transportation Department prior to the commencement of any

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10. GENERAL CONDITIONS

10.TRANS. 10 USE - ENCROACHMENT PERMIT (cont.) RECOMMND

work within the County road right-of-way.

10.TRANS. 11 USE - FLOOD HAZARD REPORT 1 RECOMMND

This is a proposal to construct farm labor housing on 11 acres (APN 729-050-002). This project lies within the limits of the Mecca area on the east side of Hammond and south of 68th Ave. The Mecca area does not have regional facilities and the new development is proposing to retain 100 percent of the runoff for a 100-year event. The owner shall provide mitigation measures to be incorporated into the development to prevent flooding of the site or downstream properties. The 100 percent retention of the post-development runoff from the 100 year storm will be mitigated as part of the drainage improvements for this project.

10.TRANS. 12 USE - FLOOD HAZARD REPORT 2 RECOMMND

This project is located in an area designated Zone D on Federal Flood Insurance Rate Maps which are in effect at this time by the Federal Emergency Management Agency.

10.TRANS. 13 USE - RETENTION BASIN RECOMMND

For retention basin sizing and calculations refer to letter dated October 22, 2012 from Alan French to Majeed Farshad.

10.TRANS. 14 USE - DRAINAGE PROTECTION RECOMMND

The proponent shall protect downstream properties from damages caused by alteration of drainage patterns, i.e., concentration or diversion of flow. Protection shall be provided by constructing adequate drainage facilities including enlarging existing facilities and/or by securing a drainage easement. All drainage easements shall be recorded by separate instrument or on a map and noted as follows, "Drainage Easement - no building, obstructions, or encroachments are allowed.

10.TRANS. 15 USE - ENCROACHMENT PERMIT RECOMMND

An encroachment permit must be obtained from the Transportation Department prior to the commencement of any work within the County road right-of-way.

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20. PRIOR TO A CERTAIN DATE

PLANNING DEPARTMENT

20.PLANNING. 1 USE - EXPIRATION DATE-CUP/PUP

RECOMMND

This approval shall be used within two (2) years of the approval date; otherwise, it shall become null and void and of no effect whatsoever. By use is meant the beginning of substantial construction contemplated by this approval within two (2) year period which is thereafter diligently pursued to completion or to the actual occupancy of existing buildings or land under the terms of the authorized use. Prior to the expiration of the two year period, the permittee may request a one (1) year extension of time in which to begin substantial construction or use of this permit. Should the one year extension be obtained and no substantial construction or use of this permit be initiated within three (3) years of the approval date this permit, shall become null and void.

20.PLANNING. 2 USE - LIFE OF THE PERMIT

RECOMMND

The life of Conditional Use Permit No. 3497R1 shall terminate on July 1, 2023. This permit shall thereafter be null and void and of no effect whatsoever.

60. PRIOR TO GRADING PRMT ISSUANCE

BS GRADE DEPARTMENT

60.BS GRADE. 1 USE - NPDES/SWPPP

RECOMMND

Prior to issuance of any grading or construction permits - whichever comes first - the applicant shall provide the Building and Safety Department evidence of compliance with the following: "Effective March 10, 2003 owner operators of grading or construction projects are required to comply with the N.P.D.E.S. (National Pollutant Discharge Elimination System) requirement to obtain a construction permit from the State Water Resource Control Board (SWRCB). The permit requirement applies to grading and construction sites of "ONE" acre or larger. The owner operator can comply by submitting a "Notice of Intent" (NOI), develop and implement a STORM WATER POLLUTION PREVENTION PLAN (SWPPP) and a monitoring program and reporting plan for the construction site. For additional information and to obtain a copy of the NPDES State Construction Permit contact the SWRCB at www.swrcb.ca.gov.

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60. PRIOR TO GRADING PRMT ISSUANCE

60.BS GRADE. 1 USE - NPDES/SWPPP (cont.) RECOMMND

Additionally, at the time the county adopts, as part of any ordinance, regulations specific to the N.P.D.E.S., this project (or subdivision) shall comply with them.

60.BS GRADE. 2 USE - GRADING SECURITY RECOMMND

Grading in excess of 199 cubic yards will require a performance security to be posted with the Building and Safety Department.

60.BS GRADE. 3 USE - IMPORT / EXPORT RECOMMND

In instances where a grading plan involves import or export, prior to obtaining a grading permit, the applicant shall have obtained approval for the import/export location from the Building and Safety Department.

A separate stockpile permit is required for the import site. It shall be authorized in conjunction with an approved construction project and shall comply with the requirements of Ordinance 457.

If an Environmental Assessment, prior to issuing a grading permit, did not previously approve either location, a Grading Environmental Assessment shall be submitted to the Planning Director for review and comment and to the Building and Safety Department Director for approval.

Additionally, if the movement of import / export occurs using county roads, review and approval of the haul routes by the Transportation Department may be required.

60.BS GRADE. 4 USE - GEOTECH/SOILS RPTS RECOMMND

Geotechnical soils reports, required in order to obtain a grading permit, shall be submitted to the Building and Safety Department for review and approval prior to issuance of a grading permit. All grading shall be in conformance with the recommendations of the geotechnical/soils reports as approved by Riverside County.* *The geotechnical/soils, compaction and inspection reports will be reviewed in accordance with the RIVERSIDE COUNTY GEOTECHNICAL GUIDELINES FOR REVIEW OF GEOTECHNICAL AND GEOLOGIC REPORTS.

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60. PRIOR TO GRADING PRMT ISSUANCE

60.BS GRADE. 6 USE - DRAINAGE DESIGN Q100 RECOMMND

All drainage facilities shall be designed in accordance with the Riverside County Flood Control & Water District's or Coachella Valley Water District's conditions of approval regarding this application. If not specifically addressed in their conditions, drainage shall be designed to accommodate 100 year storm flows.

60.BS GRADE. 7 USE - OFFSITE GRDG ONUS RECOMMND

Prior to the issuance of a grading permit, it shall be the sole responsibility of the owner/applicant to obtain any and all proposed or required easements and/or permissions necessary to perform the grading herein proposed.

60.BS GRADE. 8 USE - NOTARIZED OFFSITE LTR RECOMMND

A notarized letter of permission from the affected property owners or easement holders shall be provided in instances where off site grading is proposed as part of the grading plan.

60.BS GRADE. 9 USE - RECORDED ESMT REQ'D RECOMMND

In instances where the grading plan proposes drainage facilities on adjacent offsite property, the owner/applicant shall provide a copy of the recorded drainage easement.

60.BS GRADE. 11 USE - APPROVED WQMP RECOMMND

Prior to the issuance of a grading permit, the owner / applicant shall submit to the Building & Safety Department Engineering Division evidence that the project - specific Water Quality Management Plan (WQMP) has been approved by the Riverside County Flood Control District or Riverside County Transportation Department and that all approved water quality treatment control BMPs have been included on the grading plan.

60.BS GRADE. 12 USE - PRE-CONSTRUCTION MTG RECOMMND

Upon receiving grading plan approval and prior to the issuance of a grading permit, the applicant is required to schedule a pre-construction meeting with the Building and Safety Department Environmental Compliance Division.

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60. PRIOR TO GRADING PRMT ISSUANCE

60.BS GRADE. 13 USE- PM10 PLAN REQUIRED RECOMMND

A PM10 Fugitive Dust Mitigation Plan, prepared in accordance with AQMD Rule 403.1, shall be submitted to the Building and Safety Department for review and approval prior to the issuance of a grading permit.

1.NOTE: The PM 10 plan shall require the posting of signs in accordance with Building and Safety form "Signage Recommendations".

2.NOTE: All PM 10 measures must be in place prior to commencing any grading activity on site.

60.BS GRADE. 15 USE- PM 10 CLASS REQUIRED RECOMMND

Prior to the issuance of a grading permit, as a requirement of the CIP, the owner, developer, contractor, and their assignees must attend the PM10 class conducted by SCAQMD. Currently, classes are scheduled monthly by SCAQMD.

60.BS GRADE. 16 USE- BMP CONST NPDES PERMIT RECOMMND

Prior to the issuance of a grading permit, the owner / applicant shall obtain a BMP (Best Management Practices) Permit for the monitoring of the erosion and sediment control BMPs for the site. The Department of Building and Safety will conduct NPDES (National Pollutant Discharge Elimination System) inspections of the site based on Risk Level to verify compliance with the Construction General Permit, Stormwater ordinances and regulations until completion of the construction activities, permanent stabilization of the site and permit final.

60.BS GRADE. 17 USE - SWPPP REVIEW RECOMMND

Grading and construction sites of "ONE" acre or larger required to develop a STORM WATER POLLUTION PREVENTION PLAN (SWPPP) - the owner/applicant shall submit the SWPPP to the Building and Safety Department Environmental Compliance Division for review and approval prior to issuance of a grading permit.

EPD DEPARTMENT

60.EPD. 1 EPD - PRECONSTRUCTIONS SURVEY RECOMMND

A PRECONSTRUCTION SURVEY FOR BURROWING OWL AND GROUND NESTING BIRDS MUST BE CONDUCTED WITHIN 30 DAYS PRIOR TO

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60. PRIOR TO GRADING PRMT ISSUANCE

60.EPD. 1 EPD - PRECONSTRUCTIONS SURVEY (cont.) RECOMMND

ISSUANCE OF ANY GRADING PERMIT FOR CUP03497R1.

FLOOD RI DEPARTMENT

60.FLOOD RI. 1 USE SUBMIT FINAL WQMP RECOMMND

A copy of the project specific WQMP shall be submitted to the District for review and approval.

60.FLOOD RI. 2 USE SUBMIT PLANS MINOR REVIEW RECOMMND

The scope of the District review will be limited to verification that this proposal has met its obligation under the County's municipal stormwater permit. A copy of the BMP improvement plans along with any necessary documentation shall be submitted to the Districts Plan Check Section for review. A copy of the improvement and grading plans shall be included for reference. The plans must receive the District's approval prior to issuance of permits. All submittals shall be date stamped by the engineer and include a completed Flood Control Deposit Based Fee Worksheet and the appropriate plan check fee deposit.

PLANNING DEPARTMENT

60.PLANNING. 3 USE - CVWD CLEARANCE RECOMMND

A clearance letter from the Coachella Valley Water District shall be provided to the Riverside County Planning Department verifying compliance with the conditions stated in their letter dated June 3, 2013, attached to these conditions of approval.

60.PLANNING. 4 USE - PM10 MITIGATION PLAN RECOMMND

Notwithstanding any provision of Riverside County Ordinance No. 742 (Control of Fugitive Dust & PM10) to the contrary, this project shall comply with the requirements of Ordinance No. 742, including, but not necessarily limited to, the submission of a PM10 Mitigation Plan containing all reasonably available fugitive dust control measures, and, thereafter, the permit holder shall comply with all provisions of the approved PM10 Mitigation Plan during grading, earth movement operations and construction of the project as determined by the Director of the Department of

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60. PRIOR TO GRADING PRMT ISSUANCE

60.PLANNING. 4 USE - PM10 MITIGATION PLAN (cont.)

RECOMMND

Building and Safety.

The permit holder shall submit a copy of the approved PM10 Mitigation Plan to the Planning Department and the submitted copy shall include a cover letter containing a written certification from a state licensed professional that the control measures of the plan are included in the grading and building plans submitted to the Department of Building and Safety pursuant to obtaining a grading permit.

60.PLANNING. 5 USE - PALEO PRIMP & MONITOR

RECOMMND

This site is mapped in the County's General Plan as having a High potential for paleontological resources (fossils). Proposed project site grading/earthmoving activities could potentially impact this resource. HENCE:

PRIOR TO ISSUANCE OF GRADING PERMITS:

1.The applicant shall retain a qualified paleontologist approved by the County of Riverside to create and implement a project-specific plan for monitoring site grading/earthmoving activities (project paleontologist).

2.The project paleontologist retained shall review the approved development plan and grading plan and shall conduct any pre-construction work necessary to render appropriate monitoring and mitigation requirements as appropriate. These requirements shall be documented by the project paleontologist in a Paleontological Resource Impact Mitigation Program (PRIMP). This PRIMP shall be submitted to the County Geologist for review and approval prior to issuance of a Grading Permit.

Information to be contained in the PRIMP, at a minimum and in addition to other industry standards and Society of Vertebrate Paleontology standards, are as follows:

1.Description of the proposed site and planned grading operations.

2.Description of the level of monitoring required for all earth-moving activities in the project area.

3.Identification and qualifications of the qualified paleontological monitor to be employed for grading

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60. PRIOR TO GRADING PRMT ISSUANCE

60.PLANNING. 5 USE - PALEO PRIMP & MONITOR (cont.)

RECOMMND

operations monitoring.

4. Identification of personnel with authority and responsibility to temporarily halt or divert grading equipment to allow for recovery of large specimens.

5. Direction for any fossil discoveries to be immediately reported to the property owner who in turn will immediately notify the County Geologist of the discovery.

6. Means and methods to be employed by the paleontological monitor to quickly salvage fossils as they are unearthed to avoid construction delays.

7. Sampling of sediments that are likely to contain the remains of small fossil invertebrates and vertebrates.

8. Procedures and protocol for collecting and processing of samples and specimens.

9. Fossil identification and curation procedures to be employed.

10. Identification of the permanent repository to receive any recovered fossil material. *Pursuant the County of Riverside "SABER Policy", paleontological fossils found in the County of Riverside should, by preference, be directed to the Western Science Center in the City of Hemet. A written agreement between the property owner/developer and the repository must be in place prior to site grading.

11. All pertinent exhibits, maps and references.

12. Procedures for reporting of findings.

13. Identification and acknowledgement of the developer for the content of the PRIMP as well as acceptance of financial responsibility for monitoring, reporting and curation fees.

The property owner and/or applicant on whose land the paleontological fossils are discovered shall provide appropriate funding for monitoring, reporting, delivery and curating the fossils at the institution where the fossils will be placed, and will provide confirmation to the County that such funding has been paid to the institution.

All reports shall be signed by the project paleontologist

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60.PLANNING. 5 USE - PALEO PRIMP & MONITOR (cont.) (cont.) RECOMMND

and all other professionals responsible for the report's content (eg. Professional Geologist), as appropriate. Two wet-signed original copies of the report(s) shall be submitted to the office of the County Geologist along with a copy of this condition and the grading plan for appropriate case processing and tracking. These documents should not be submitted to the project Planner, the Plan Check staff, the Land Use Counter or any other County office. In addition, the applicant shall submit proof of hiring (i.e. copy of executed contract, retainer agreement, etc.) a project paleontologist for the in-grading implementation of the PRIMP.

TRANS DEPARTMENT

60.TRANS. 2 USE-SBMT/APPVD GRADG PLAN/TRAN RECOMMND

When you submit a grading plan to the Department of Building and Safety, a copy of the grading plan shall be submitted and approved by the Transportation Department prior to a grading permit issuance.

Submit required grading plan to the Transportation Department, Plan Check Section, 8th Floor, 4080 Lemon Street, Riverside, CA.

60.TRANS. 4 USE - OBTAIN L&LMD APPLICATION RECOMMND

Obtain an application from the Transportation Department, L&LMD Section, 8th Floor, 4080 Lemon Street, Riverside, CA, to submit application for required annexation per condition of approval 80.TRANS. 10 and 90.TRANS. 18.

If you have any questions or for the processing fee amount, please call the L&LMD Section at (951) 955-6748.

60.TRANS. 5 USE - WATER QUALITY MGMT PLANS RECOMMND

The developer shall submit Water Quality Management Plans (WQMP) to Riverside County Flood Control & Water Conservation District and Transportation Department for review and approval.

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60.TRANS. 6 USE - RETENTION BASIN RECOMMND

For retention basin sizing and calculations refer to letter dated October 22, 2012, from Alan French to Majeed Farshad.

60.TRANS. 7 USE - SUBMIT PLANS 1 RECOMMND

The project proponent shall comply with Riverside County Ordinance 458.12 as amended in the preparation of on-site flood protection. The project proponent shall submit plans for grading, landscaping, and irrigation systems, any other necessary documentation along with supporting hydrologic and hydraulic calculations to Riverside County Transportation Department for review and approval. The project proponent shall pay all fees as required by Riverside County Transportation Department.

60.TRANS. 8 USE - EASEMENT FOR DRAINAGE RECOMMND

The developer will prepare and record easements for drainage purposed by separate instrument or on a map, to the benefit of public, for areas where drainage facilities and other drainage appurtenances are required and/or where drainage flow patterns must be maintained to convey flood plain water. All drainage easements shall be recorded by separate instrument or on a map and noted as follows, "Drainage Easement - no building, obstructions, or encroachments are allowed."

60.TRANS. 9 USE - TYPICAL SITE GRADING RECOMMND

All on-site grading shall be graded to drain to on site drainage facilities. Offsite drainage shall be conveyed through the project site in a manner that will not adversely impact either on-site improvements or worsen the existing drainage conditions to adjacent offsite properties.

60.TRANS. 10 USE - BASIN FENCING RECOMMND

The land divider/permit holder shall file seven (7) sets of a Wall/Fencing Plan to the County Planning Department for review and approval. Said plan shall be submitted to the Department in the form of a plot plan application pursuant to County Ordinance No. 348, Section 18.30.a.(1) (Plot Plans not subject to the California Environmental Quality Act and not subject to review by any governmental agency other than the Planning Department), along with the current

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60.TRANS. 10 USE - BASIN FENCING (cont.) RECOMMND

fee. The plan shall be in compliance with Section 18.12, and the TENTATIVE MAP conditions of approval.

Wrought iron or tubular steel fence sections may be included within developments where view opportunities and/or terrain warrant its use. Where privacy of views is not an issue, tubular steel or wrought iron sections should be constructed in perimeter walls in order to take advantage of casual view opportunities.

70. PRIOR TO GRADING FINAL INSPECT

PLANNING DEPARTMENT

70.PLANNING. 1 USE - PALEO MONITORING REPORT RECOMMND

"PRIOR TO GRADING FINAL:

The applicant shall submit to the County Geologist one wet-signed copy of the Paleontological Monitoring Report prepared for site grading operations at this site. The report shall be certified by the professionally-qualified Paleontologist responsible for the content of the report. This Paleontologist must be on the County's Paleontology Consultant List. The report shall contain a report of findings made during all site grading activities and an appended itemized list of fossil specimens recovered during grading (if any) and proof of accession of fossil materials into the pre-approved museum repository. In addition, all appropriate fossil location information shall be submitted to the Western Center, the San Bernardino County Museum and Los Angeles County Museum of Natural History, at a minimum, for incorporation into their Regional Locality Inventories."

TRANS DEPARTMENT

70.TRANS. 1 USE - EROSION CONTROL RECOMMND

Temporary erosion control measures shall be implemented immediately following site grading to prevent depositions of debris onto downstream properties, public right-of-way, or drainage facilities. Plans showing these measures shall be submitted to Riverside County Transportation Department for review prior to the start of any site work.

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80. PRIOR TO BLDG PRMT ISSUANCE

BS GRADE DEPARTMENT

80.BS GRADE. 1 USE - NO B/PMT W/O G/PMT RECOMMND

Prior to the issuance of any building permit, the property owner shall obtain a grading permit and/or approval to construct from the Building and Safety Department.

80.BS GRADE. 2 USE - ROUGH GRADE APPROVAL RECOMMND

Prior to the issuance of any building permit, the applicant shall obtain rough grade approval and/or approval to construct from the Building and Safety Department. The Building and Safety Department must approve the completed grading of your project before a building permit can be issued. Rough Grade approval can be accomplished by complying with the following:

1.Submitting a "Wet Signed" copy of the Soils Compaction Report containing substantiating data from the Soils Engineer (registered geologist or certified geologist, civil engineer or geotechnical engineer as appropriate) for his/her certification of the project.

2.Submitting a "Wet Signed" copy of the Rough Grade certification from a Registered Civil Engineer certifying that the grading was completed in conformance with the approved grading plan.

3.Requesting a Rough Grade Inspection and obtaining rough grade approval from a Riverside County inspector.

4.Rough Grade Only Permits: In addition to obtaining all required inspections and approval of all final reports, all sites permitted for rough grade only shall provide 100 percent vegetative coverage to stabilize the site prior to receiving a rough grade permit final.

Prior to release for building permit, the applicant shall have met all rough grade requirements to obtain Building and Safety Department clearance.

E HEALTH DEPARTMENT

80.E HEALTH. 1 INDUSTRIAL HYGIENE CLEARANCE INEFFECT

Prior to the Issuance of a Building Permit, the applicant shall comply with the following: