



# RIVERSIDE COUNTY PLANNING DEPARTMENT

*Juan C. Perez*  
*TLMA Director/Interim Planning Director*

**DATE: June 17, 2014**

**TO: Clerk of the Board of Supervisors**

**FROM: Planning Department - Desert Office**

**SUBJECT: CHANGE OF ZONE NO. 7710; CONDITIONAL USE PERMIT NO. 3623 - 10 DAY NOH**  
**(DUE TO PROPOSED CHANGE OF ZONE)**

(Charge your time to these case numbers)

**The attached item(s) require the following action(s) by the Board of Supervisors:**

- |   |   |
|---|---|
| <input type="checkbox"/> Place on Administrative Action (Receive & File; EOT)                   | <input checked="" type="checkbox"/> Set for Hearing (Legislative Action Required; CZ, GPA, SP, SPA)                   |
| <input type="checkbox"/> Labels provided If Set For Hearing                                     | <input checked="" type="checkbox"/> Publish in Newspaper:   |
| <input type="checkbox"/> 10 Day <input type="checkbox"/> 20 Day <input type="checkbox"/> 30 day | (4th Dist) Desert Sun and Press Enterprise  |
| <input type="checkbox"/> Place on Consent Calendar  | <input checked="" type="checkbox"/> Mitigated Negative Declaration  |
| <input type="checkbox"/> Place on Policy Calendar (Resolutions; Ordinances; PNC)                | <input checked="" type="checkbox"/> 10 Day <input type="checkbox"/> 20 Day <input checked="" type="checkbox"/> 30 day |
| <input type="checkbox"/> Place on Section Initiation Proceeding (GPIP)                          | <input type="checkbox"/> Notify Property Owners (app/agencies/property owner labels provided)                         |
|   | Controversial: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO                                    |

**Documents to be sent to County Clerk's Office for Posting within five days:**

Notice of Determination  
California Department of Fish & Wildlife Receipt (CFG05520)

**Do not send these documents to the County Clerk for posting until the Board has taken final action on the subject cases.**

**July 15<sup>th</sup> Board Date**

Riverside Office · 4080 Lemon Street, 12th Floor  
P.O. Box 1409, Riverside, California 92502-1409  
(951) 955-3200 · Fax (951) 955-1811

Desert Office · 77-588 Duna Court, Suite H  
Palm Desert, California 92211  
(760) 863-8277 · Fax (760) 863-7555

"Planning Our Future... Preserving Our Past"

**SUBMITTAL TO THE BOARD OF SUPERVISORS  
COUNTY OF RIVERSIDE, STATE OF CALIFORNIA**



**FROM:** TLMA - Planning Department

**SUBMITTAL DATE:**  
June 24, 2014

**SUBJECT: CHANGE OF ZONE NO. 7710 / CONDITIONAL USE PERMIT NO. 3623** – Adopt Mitigated Negative Declaration for Environmental Assessment No. 42166 - Applicant: Ino Cruz – Fourth/Fourth Supervisorial District – Mecca Zoning District – **REQUEST: Change of Zone No. 7710** proposes to modify the Light Agriculture – 5 Acre Minimum (A-1-5) zone to the Scenic Highway Commercial (C-P-S) zone on an existing 14 acre lot. **Conditional Use Permit No. 3623** proposes to construct and operate an automobile and truck travel center consisting of a 13,600 square foot convenience store with 24 hour retail sale of gasoline and diesel fuel, food/beverages, and the concurrent sale of beer and wine for off-premises consumption with Type 20 ABC License (No PN&C required). Additionally, the proposed automobile and truck travel center includes 1,152 square foot car wash, 5,350 square foot gasoline canopy with eight (8) pumps and 3,570 square foot diesel fuel canopy with six (6) pumps, and up to three (3) drive-thru restaurants and two (2) sit down restaurants totaling approximately 15,905 square feet. The proposed project includes a 200 square foot freestanding sign up to 35 feet in height, a separate 100 square foot pricing and directory monument sign, as well as wall and fuel canopy signage. Total on-site parking consists of 203 vehicle spaces and 19 truck spaces.

**RECOMMENDED MOTION:** That the Board of Supervisors:

Initials  
JCP:jo

(continued on next page)

  
\_\_\_\_\_  
Juan C. Perez, TLMA Director/  
Interim Planning Director

FORM-APPROVED COUNTY COUNSEL  
BY: *Synthia M. Gunzel* 7-2-14  
SYNTHIA M. GUNZEL  
DATE: 7-2-14  
Departmental Concurrence

FINANCIAL DATA	Current Fiscal Year:	Next Fiscal Year:	Total Cost:	Ongoing Cost:	POLICY/CONSENT (per Exec. Office)
<b>COST</b>	\$ N/A	\$ N/A	\$ N/A	\$ N/A	Consent <input type="checkbox"/> Policy <input type="checkbox"/>
<b>NET COUNTY COST</b>	\$ N/A	\$ N/A	\$ N/A	\$ N/A	
<b>SOURCE OF FUNDS:</b> N/A				<b>Budget Adjustment:</b> N/A	
				<b>For Fiscal Year:</b> N/A	

**C.E.O. RECOMMENDATION:**

**County Executive Office Signature**

**MINUTES OF THE BOARD OF SUPERVISORS**

- A-30
- 4/5 Vote
- Positions Added
- Change Order

**Prev. Agn. Ref.:** \_\_\_\_\_ **District:** 4/4 **Agenda Number:** \_\_\_\_\_

**SUBMITTAL TO THE BOARD OF SUPERVISORS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA  
FORM 11: Change of Zone No. 7710 / Conditional Use Permit No. 3623**

**DATE: June 24, 2014**

**PAGE: 2 of 3**

1. **ADOPT** a **MITIGATED NEGATIVE DECLARATION** for **ENVIRONMENTAL ASSESSMENT NO. 42166** and the **MITIGATION MEASURES** set forth herein based on the findings incorporated in the initial study, the staff report, and the conclusion that the project will not have a significant effect on the environment; and,
2. **APPROVE CHANGE OF ZONE NO. 7710**, amending the zoning classification for the subject property from the Light Agriculture – 5 Acre Minimum (A-1-5) zone to the Scenic Highway Commercial (C-P-S) zone in accordance with Exhibit #3, based upon the findings and conclusions incorporated in the staff report; and,
3. **APPROVE CONDITIONAL USE PERMIT NO. 3623**, subject to the attached conditions of approval, and based upon the findings and conclusions incorporated in the staff report.
4. **ADOPT Ordinance No. 348.4783** amending the zoning in the Mecca District shown on Map No. 33.010 Change of Zone No. 7710, attached hereto and incorporated herein by reference.

**BACKGROUND:**

The project was heard before the Planning Commission on May 21, 2014. A Memo was provided to the Planning Commissioners with attached building elevation changes, recommended changes to the conditions of approval, and copy of a single public comment letter.

Planning Department staff and the 4<sup>th</sup> District Planning Commissioner worked with the applicant to add additional architectural elements to the exterior building sides prior to the Planning Commission hearing which are now incorporated in the Board Package. The site plan was also corrected to eliminate reference to detention basin along the easterly and southerly project boundary.

Based on consultation with Planning Department and Transportation Department, staff also incorporated amendments to recommended Conditions of Approval (COA) with regards to Rights-of Way (ROW) Dedications (COA's 80.Trans.4, 90.Trans.31) and Fences/Berms (COA 90.Planning.41). The main purpose of these condition changes was to ensure Caltrans ROW along State Highway 86 and 66<sup>th</sup> Avenue (State Highway 195) be kept clear of structures and remain undeveloped. Conditions of Approval 80.Planning.34 and 90.Planning.47 were deleted since the Caltrans ROW Dedication is not required with the CUP.

Staff also received a public comment letter received May 19, 2014 which is incorporated into the Board Package. The public comment letter was a general information inquiry about the location of project, whether it was a private development, and if there were any potential effects on surrounding properties. Staff responded with a written response on June 19, 2014. This person did not attend the PC hearing.

No one from the public spoke in favor, neutral, or opposition to the project at the Planning Commission hearing on May 21, 2014.

The Planning Commission recommends approval/adoption of the zone change and conditional use permit.

**Impact on Citizens and Businesses**

An environmental assessment has been completed for this proposed project. The impact on the local citizens and businesses has been slightly increased with the proposed 14 acre truck stop, but are reduced below a level of significance with recommended conditions of approval including, but not limited to, perimeter treatment including fencing and landscaping, architectural design of the buildings, and road improvements.

**SUBMITTAL TO THE BOARD OF SUPERVISORS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA  
FORM 11: Change of Zone No. 7710 / Conditional Use Permit No. 3623**

**DATE: June 24, 2014**

**PAGE: 3 of 3**

**SUPPLEMENTAL:**

**Additional Fiscal Information**

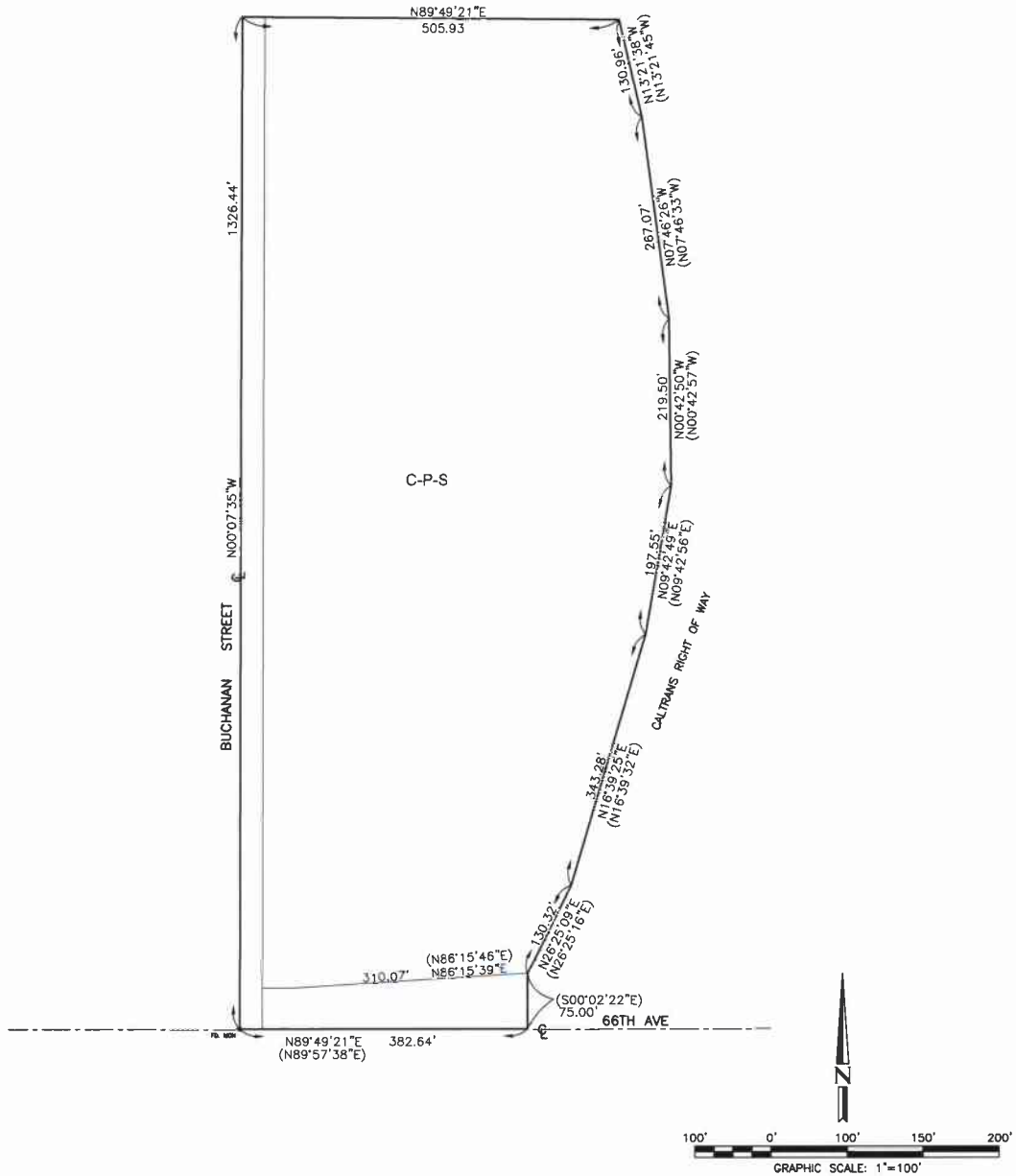
N/A

**Contract History and Price Reasonableness**

N/A



SECTION 7, T.7 S, R. 9 E, S. B. B. & M.



LEGEND

C-P-S SCENIC HIGHWAY COMMERCIAL

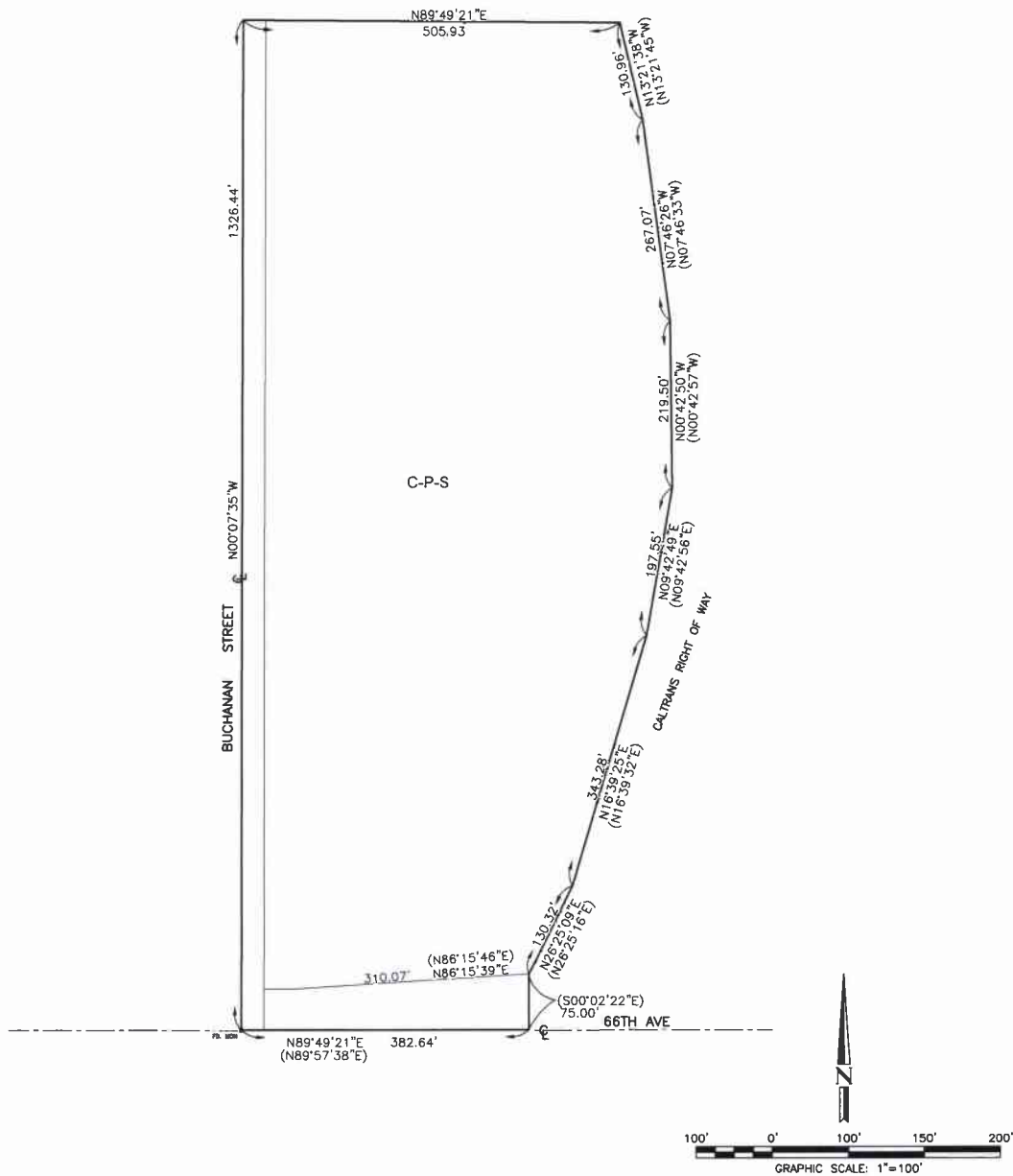
MAP NO. 33.010  
CHANGE OF OFFICIAL ZONING PLAN

MECCA DISTRICT

CHANGE OF ZONE CASE NO. 07710  
AMENDING ORDINANCE NO. 348  
ADOPTED BY ORDINANCE NO. 348.4783  
JULY 15, 2014

RIVERSIDE COUNTY BOARD OF SUPERVISORS

SECTION 7, T.7 S, R. 9 E., S. B. B. & M.



LEGEND

C-P-S SCENIC HIGHWAY COMMERCIAL

MAP NO. 33.010  
CHANGE OF OFFICIAL ZONING PLAN

MECCA DISTRICT

CHANGE OF ZONE CASE NO. 07710  
AMENDING ORDINANCE NO. 348  
ADOPTED BY ORDINANCE NO. 348.4783  
JULY 15, 2014

RIVERSIDE COUNTY BOARD OF SUPERVISORS

**Agenda Item No.: 3.1**  
**Area Plan: Eastern Coachella Valley**  
**Zoning District: Mecca**  
**Supervisory District: Fourth/Fourth**  
**Project Planner: Jay Olivas**  
**Planning Commission: May 21, 2014**

**CHANGE OF ZONE NO. 7710**  
**CONDITIONAL USE PERMIT NO. 3623**  
**E.A. Number: 42166**  
**Applicant: Thermal Service Station, LP**  
**Representative: Ino Cruz**

## **COUNTY OF RIVERSIDE PLANNING DEPARTMENT STAFF REPORT**

### **PROJECT DESCRIPTION AND LOCATION:**

**Change of Zone No. 7710** proposes to modify the Light Agriculture – 5 Acre Minimum (A-1-5) zone to the Scenic Highway Commercial (C-P-S) zone on an existing 14 acre lot.

**Conditional Use Permit No. 3623** proposes to construct and operate an automobile and truck travel center on a 14 acre site to include 13,600 square foot convenience store up to 28 feet in height with 24 hour retail sale of gasoline and diesel fuel, food/beverages, and concurrent sale of beer and wine for off-premises consumption with Type 20 ABC License (No PN&C required). Additionally, the proposed automobile and truck travel center includes 1,152 square foot car wash, 5,350 square foot gasoline canopy with eight (8) pumps and 3,570 square foot diesel fuel canopy with six (6) pumps, and up to three (3) drive-thru restaurants and two (2) sit down restaurants totaling approximately 15,905 square feet. The proposed project includes 200 square foot freestanding sign up to 35 feet in height, separate 100 square foot pricing and directory monument sign, plus wall and fuel canopy signage. Total on-site parking consists of 203 vehicle spaces and 19 truck spaces.

The development is proposed to be constructed in three (3) phases as identified on Exhibit P for the proposed project. Phase 1 consists of developing within the areas labeled on Exhibit P as: 1) Pad 3 which includes a convenience store, a McDonald's restaurant, an eight (8) dispenser gasoline canopy, a six (6) diesel dispenser canopy with truck scale and a self-service car wash; and 2) Pad 4 which includes the water treatment retention basin and water tank with pump and chlorinating system. Phases 2 and 3 consist of developing the areas within Pad 1 and 2, respectively, with restaurant buildings and drive-thru areas.

Off-site access is along Buchanan Street via State Highway 86 and 66<sup>th</sup> Avenue (State Highway 195). The project site is located northerly of 66<sup>th</sup> Avenue (State Highway 195), southerly of Avenue 65, easterly of Buchanan Street, and westerly of State Highway 86 in the Eastern Coachella Valley.

### **ISSUE OF POTENTIAL CONCERN:**

Issues of potential concern consist of traffic, drainage, and proposed liquor license for the sale of beer and wine for off-premises consumption within the proposed convenience store.

Traffic and drainage issues were resolved as the result of required studies and clearances obtained along with recommended conditions of approval.

The proposed liquor license is located within 1,000 feet radius of an existing business to the east that currently has an active off-site alcohol beverage control license.

There are no schools, parks or churches within the 1,000 foot vicinity of the project. According to the California Department of Alcoholic Beverage Control (ABC), there are 11 on-sale and eight (8) off-sale alcoholic beverage licenses within census tract 456.04. According to the ABC, a Type 20 license is a



retail license. A determination of Public Necessity and Convenience is not required since there is no over concentration of licenses within the census tract according to ABC's email of April 15, 2014.

With the lack of impacts to schools, parks, and churches in the immediate vicinity, staff finds that the Type 20 license would not have a negative impact to the community, and therefore supports concurrent sale of beer and wine for off-premises consumption for this proposed travel center/truck stop.

**BACKGROUND:**

The subject property is currently vacant. The only previous planning review for the site was Pre-Application Review No. 1093 (PAR 1093) in 2007. PAR 1093 consisted of an initial conceptual design of the travel center/truck stop that is currently proposed with CUP 3623.

The project was initially applied for in 2009. However, major studies such as Traffic, Hydrology/Drainage, Amended Exhibits, and CEQA Initial Study were not completed until 2013/2014.

**SUMMARY OF FINDINGS:**

- |  |  |
|--|--|
| 1. Existing General Plan Land Use (Ex. #5):    | Commercial Tourist (.20-.35 Floor Area Ratio)  |
| 2. Surrounding General Plan Land Use (Ex. #5): | Commercial Tourist, Commercial Retail, Agriculture, Rural Residential  |
| 3. Existing Zoning (Ex. #3):                   | Light Agriculture – 5 Acre Minimum (A-1-5)   |
| 4. Proposed Zoning (Ex. #3):                   | Scenic Highway Commercial (C-P-S)  |
| 5. Surrounding Zoning (Ex. #3):                | Scenic Highway Commercial (C-P-S), Light Agriculture – 5 Acre Minimum (A-1-5), Light Agriculture – 10 Acre Minimum (A-1-10)  |
| 6. Existing Land Use (Ex. #1):                 | Vacant   |
| 7. Surrounding Land Use (Ex. #1):              | Truck Stop to the east (CUP 3309R1).   |
| 8. Project Data:                               | Total Acreage: 14 Gross / Net<br>Total Number of Proposed Buildings: 8<br>Total Proposed Building Square Footage: 38,500<br>Total Auto Parking Spaces: 203<br>Liquor License Type: ABC 20 Off-Sale Beer/Wine |
| 9. Environmental Concerns:                     | See attached environmental assessment  |

**RECOMMENDATIONS:**

**THE PLANNING COMMISSION RECOMMENDS THAT THE BOARD OF SUPERVISORS TAKE THE FOLLOWING ACTIONS:**

**ADOPT** a **MITIGATED NEGATIVE DECLARATION** for **ENVIRONMENTAL ASSESMENT NO. 42166** and the **MITIGATION MEASURES** set forth herein based on the findings incorporated in the initial study, the staff report, and the conclusion that the project will not have a significant effect on the environment; and,

**TENTATIVELY APPROVE CHANGE OF ZONE NO. 7710** amending the zoning classification for the subject property from the Light Agriculture – 5 Acre Minimum (A-1-5) zone to the Scenic Highway Commercial (C-P-S) zone in accordance with Exhibit #3, based upon the findings and conclusions incorporated in the staff report; pending final adoption of the zoning ordinance by the Board of Supervisors; and,

**APPROVE CONDITIONAL USE PERMIT NO. 3623**, subject to the attached conditions of approval, and based upon the findings and conclusions incorporated in the staff report.

**FINDINGS:** The following findings are in addition to those incorporated in the summary of findings, and in the attached environmental assessment, which is incorporated herein by reference.

1. The General Plan land use designation for the project site is Community Development: Commercial Tourist (CD: CT) (.20 - .35 Floor Area Ratio) within the Eastern Coachella Valley Area Plan.
2. The proposed use, a travel center/truck stop, is consistent with the Community Development: Commercial Tourist (CD: CT) (.20 - .35 Floor Area Ratio) land use designation in that the travel center is a tourist-related commercial development where automobile and truck travelers along the adjacent State Highway 86 could frequent the site.
3. The project site is surrounded by properties which are designated Community Development: Commercial Tourist (CD: CT) (.20 - .35 Floor Area Ratio) to the north and south, Community Development: Commercial Retail (CD: CR) and Rural Residential (Rural: RR) to the east; and Agriculture: (AG) (10 Acre Minimum) to the west.
4. The existing zoning for the subject site is Light Agriculture – 5 Acre Minimum (A-1-5) proposed to be changed to Scenic Highway - Commercial (C-P-S).
5. The proposed automobile and truck travel center consists of the following uses: convenience store, gasoline station, car wash, and restaurants, which are further described in the project description. Each of these individual uses are permitted uses with an approved conditional use permit in the proposed C-P-S zone, Section 9.50.b. of Ordinance No. 348.
6. The proposed change of zone will make the zoning consistent with the General Plan. The allowance of travel and tourist services is established by the General Plan and area plan.
7. The project site is surrounded by properties which are zoned Scenic Highway Commercial (C-P-S) and Light Agriculture (A-1-5; A-1-10).
8. The proposed use, a travel center/truck stop, is consistent with the development standards set forth in the Scenic Highway Commercial (C-P-S) Zone in the following ways:

- a. The proposed project's building heights are allowed up to 50 feet in this zone and the maximum height of the proposed convenience store building is up to approximately 28 feet, below the height limit allowed by the C-P-S zone, as indicated in Section 9.53c. of Zoning Ordinance No. 348.
  - b. The proposed project's travel center buildings are not subject to yard requirements (setbacks) since all buildings do not exceed 35 feet in height in accordance with Section 9.53b. of Zoning Ordinance No. 348.
  - c. Automobile storage spaces are provided in accordance with Section 18.12 of Zoning Ordinance No. 348 in that the proposed project provides 203 vehicle parking spaces and 19 truck parking spaces.
  - d. The proposed project is conditioned to screen all roof mounted equipment as required in Section 9.53e. of Zoning Ordinance No. 348.
  - e. Signage is proposed with the project including a freestanding sign up to 200 square feet and up to 35 feet in height which is within the size limits as indicated by Section 19.4e of Zoning Ordinance No. 348.
9. Within the vicinity of the proposed project site there is an existing automobile and truck travel center immediately to the east across State Highway 86, along with vacant and agriculture land to north, south, and west.
  10. A traffic study dated March 17, 2009, and dated revised July 3, 2013, was prepared by Darnell & Associates to analyzed potential traffic impacts. Based on review of the report, mitigation measures and conditions were added to the proposed project to resolve all potential traffic impacts.
  11. A drainage study dated September 2009, and dates revised February 2013, was prepared to analyze potential drainage impacts. Based on review of the report, mitigation measures and conditions were added to the proposed project to resolve all potential drainage impacts.
  12. The population for Census Tract 456.04 was approximately 13,694 persons according to the US Census Bureau.
  13. The proposed project will be consistent with the objectives of Type 20 – Off-Sale licensing requirements (Alcoholic Beverage Control Act: California Business and Professions Code 23357).
  14. Per the Email received April 11, 2014 from ABC, there are 11 on-sale and eight (8) off-sale ABC licenses currently in Census Tract 456.04.
  15. Per the Email received April 15, 2014 from the ABC, a Public Necessity and Convenience finding is not required since there is no over concentration of alcohol licenses in Census Tract 456.04.
  16. The proposed project is conditionally consistent with the objectives of Section 18.48 (Alcoholic Beverage Sales) of Ordinance No. 348.
  17. The proposed project is not located within 1,000 feet of an established place of religious worship.

18. No schools are located within 1,000 feet from the project site.
19. The proposed project is not located within 1,000 feet of an existing or planned public park or playground.
20. The proposed project will not be situated in such a manner that the facility will cause undue vehicle traffic impacts to any school, church, public park or playground.
21. The project is adjacent to State Highway 86 and 66th Avenue (State Highway 195), which are designated state highways under jurisdiction of CALTRANS. The project would also provide direct access from Buchanan Street (78' ROW). The project will provide appropriate street improvements and off-site traffic mitigation, such as, Transportation Uniform Mitigation (TUMF) fees, in compliance with the requirements of the circulation element of the General Plan.
22. The proposed project is approximately three miles from a fire station. The project will provide appropriate fire protection measures in conformance with the fire services policies of the General Plan.
23. Domestic water and sewer is provided by the Coachella Valley Water District. Domestic water and sanitation shall be provided in conformance with the water and sewer land uses standards of the General Plan.
24. Visual impacts have been addressed with project landscaping, building setbacks, walls/fences, use of trellis structures for the drive-through restaurants, and frontage of Buildings E & F at the corner of 66<sup>th</sup> and Buchanan Street.
25. The project is located within the boundaries of the Mecca Community Council and was brought to the January 2013 community council meeting for informational purposes.
26. The project is within the Coachella Valley Multiple Species Habitat Conservation Plan, but is not specifically located within a Conservation Area.
27. Environmental Assessment No. 42166 identified the following potentially significant impacts:
  - a) Geology Soils
  - b) Hydrology/Water Quality
  - c) Transportation/Traffic
  - d) Paleontological Resources

These listed impacts will be fully mitigated by the measures indicated in the environmental assessment, conditions of approval, and attached letters. No other significant impacts were identified.

### **CONCLUSIONS:**

1. The proposed project is in conformance with the Community Development: Commercial Tourist (CD: CT) (.20 - .35 Floor Area Ratio) land use designation, and with all other elements of the Riverside County General Plan.

2. The proposed project is consistent with the proposed change of zone to the Scenic Highway Commercial (C-P-S) zoning classification of Ordinance No. 348, and with all other applicable provisions of Ordinance No. 348.
3. The public's health, safety and general welfare are protected through project design.
4. The proposed project is compatible with the present and future logical development of the area.
5. Based on the whole record, the proposed project will not have a significant effect on the environment and the mitigated negative declaration reflects the County's independent judgment and analysis.

**INFORMATIONAL ITEMS:**

1. As of this writing (4/21/14), no public letters, in support or opposition have been received.
2. The project site is not located within:
  - a. An Historic Preservation District;
  - b. Agriculture Preserve;
  - c. A Redevelopment Area;
  - d. A High Fire area;
  - e. An Airport Influence Area;
  - f. A Conservation Area.
3. The project site is located within:
  - a. Areas of Flooding Sensitivity;
  - b. An Area subject to the Mt. Palomar Lighting Ordinance No. 655 (Zone B);
  - c. An Area of Liquefaction Potential (High);
  - d. An Area Susceptible to Subsidence;
  - e. A Low Paleontological Sensitivity Area; and,
  - f. The boundaries of the Palm Springs Unified School District.
4. The subject site is currently designated as Assessor's Parcel Number 727-100-024.

**RIVERSIDE COUNTY PLANNING DEPARTMENT  
CZ07710 CUP03623  
VICINITY/POLICY AREAS**

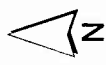
Supervisor Benoit  
District 4

Date Drawn: 04/22/2013  
Vicinity Map



Assessors Bk. Pg. 727-10  
Thomas Bros. Pg. 5592 D6  
Edition 2011

Zoning District: Mecca  
Township/Range: T7SR9E  
Section: 7



DISCLAIMER: On October 7, 2003, the County of Riverside adopted a new General Plan providing new land use designations for unincorporated Riverside County parcels. The new General Plan may contain different types of land use than is provided for under existing zoning. For further information, please contact the Riverside County Planning Department offices in Riverside at (951) 955-3200 (Western County), or in Indio at (760) 863-9277 (Eastern County) or website at <http://www.almacounty.com/index.html>.

RIVERSIDE COUNTY PLANNING DEPARTMENT  
CZ07710 CUP03623

Supervisor Benoit  
District 4

Date Drawn: 04/22/2013  
Exhibit 1

LAND USE



Zoning Area: Rancho California  
Township/Range: T7SR2W  
Section: 27

Assessors Bk. Pg. 727-10  
Thomas Bros. Pg. 5592 D6  
Edition 2011



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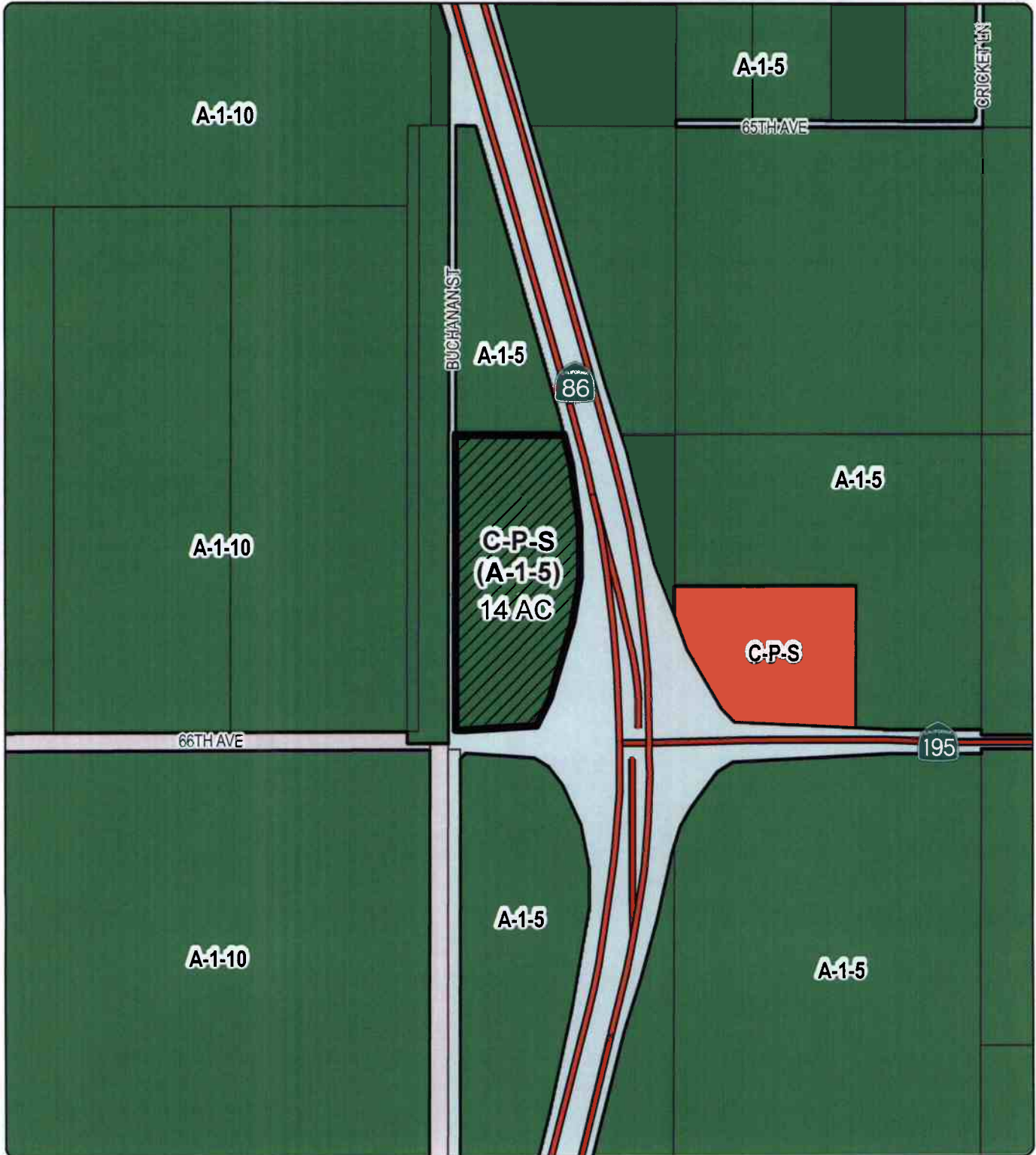
RIVERSIDE COUNTY PLANNING DEPARTMENT

CZ07710 CUP03623

PROPOSED ZONING

Supervisor Benoit  
District 4

Date Drawn: 04/22/2013  
Exhibit 3



Zoning District: Mecca  
Township/Range: T7SR9E  
Section: 7

Assessors Bk. Pg. 727-10  
Thomas Bros. Pg. 5592 D6  
Edition 2011



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RIVERSIDE COUNTY PLANNING DEPARTMENT

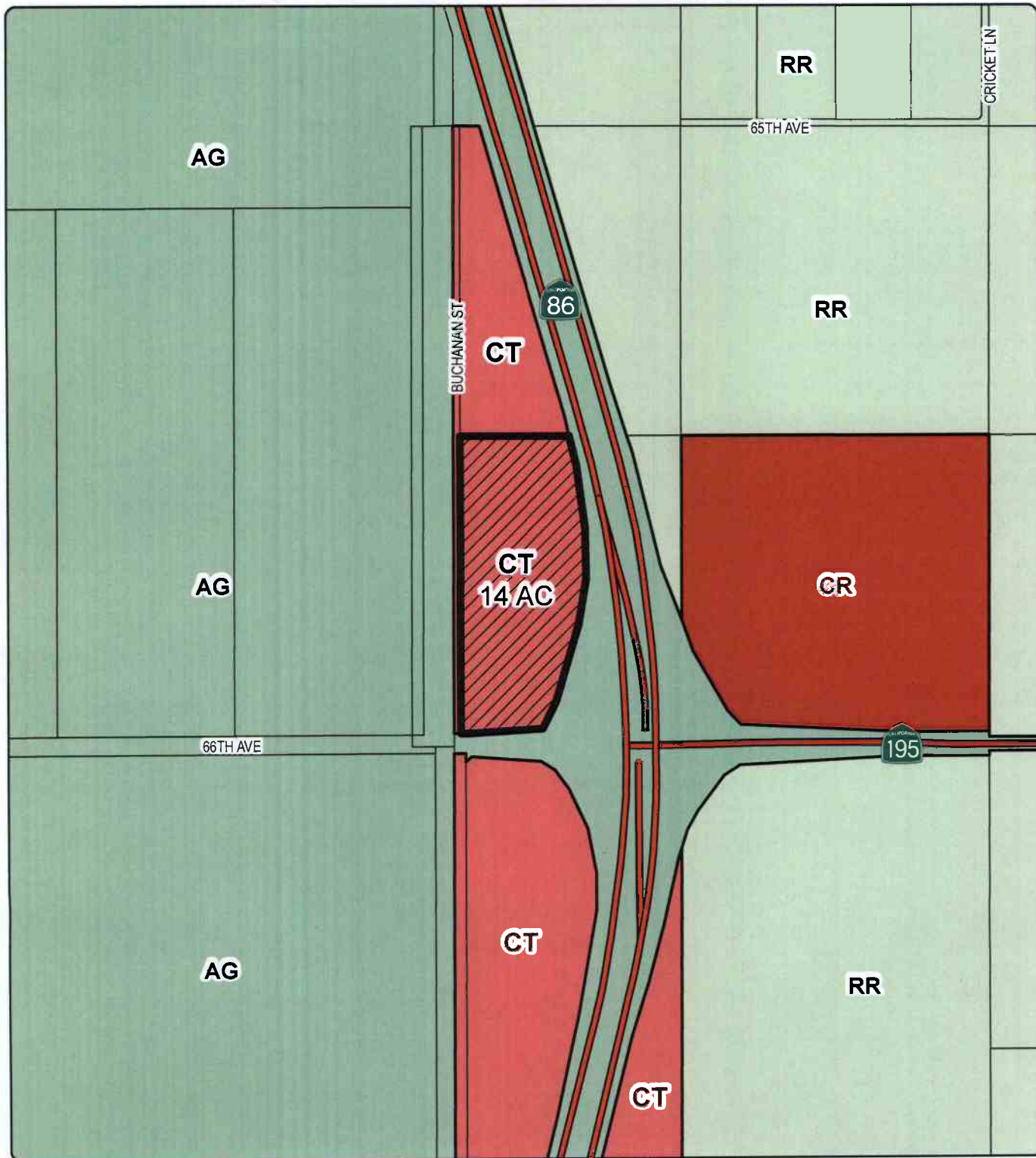
CZ07710 CUP03623

EXISTING GENERAL PLAN

Supervisor Benoit  
District 4

Date Drawn: 04/22/2013

Exhibit 5

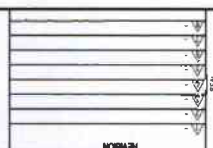


Zoning District: Mecca  
Township/Range: T7SR9E  
Section: 7

Assessors Bk. Pg. 727-10  
Thomas Bros. Pg. 5592 D6  
Edition 2011



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DATE: 04/15/11  
DRAWN BY: [Name]  
SCALE: 1" = 60'-0"  
CIP CASE NO: 08823  
DRAWING NO.

# AMS1-1

- ### KEYNOTES
- UTILITY TRANSFORMER LOCATION.
  - PROPOSED DETENTION BASIN TREATMENT CANOPY, BMP TRASH BIN AND RECYCLE BIN ENCLOSURE.
  - UNDERGROUND GREASE INTERCEPTOR TANK - TYP FOR RESTAURANTS
  - ACCESSIBLE PATH OF TRAVEL.
  - ACCESSIBLE PARKING STALL WITH SLOPED RAMP.
  - MONUMENT SIGN TO BE VISIBLE FROM STREET.
  - EMERGENCY PUMP SHUT-OFF SWITCH.
  - 6" CONCRETE CURB AT PAVEMENT.
  - RETENTION BASIN.
  - 35'-0" HIGH PULCON SIGN SEEN FROM HIGHWAY.
  - DOUBLE SIDED SIGN PROVIDE "DO NOT ENTER" SIGN ON FRONT SIDE AND "PROCEED WITH CAUTION - PEDESTRIAN CROSSWALK" SIGN ON BACK SIDE. REFER TO ACCESSIBILITY NOTE 1.2.AS1.2.
  - CALTRANS RIGHT-OF-WAY DEDICATION LINE.
  - PAINTED BOUNDARY STRIPES AND STALLS AT TRUCK STOP PARKING.
  - DRIVEWAY AS FIRE SERVICE ACCESS ONLY.
  - TEMPORARY GRADED AND PAVED COURSEWAY.
  - CON-OPERATED VACUUM & AIR-WATER DISPENSER UNITS.
  - OSBERGHOOD WOOD TRELLIS TO PROVIDE SHADE.
  - PROPERTY LINE.
  - CHANGING STATION FOR ELECTRIC.
  - PROPANE TANK EXCHANGE AND TANK FILL STATIONS.
  - RACK FOR 5 BICYCLES - PER ORDINANCE NO. 348 SECTION 18.12.
  - LOADING ZONE.
  - RESTAURANT DELIVERY TRUCK LOADING ZONE.
  - RESTAURANT DELIVERY TRUCK PARKWAY.
  - LOADING ZONE BELIARD (2 PLACES)
  - FUTURE PROPOSED CALTRANS RIGHT OF WAY

### SITE DATA

OWNER / APPLICANT:  
THERMAL SERVICE STATION, LP  
P.O. BOX 1858 CORONA, CA 92788  
TEL: (951) 280-2832 FAX: (951) 280-2832  
CONTACT: [Name]  
PROJECT INFORMATION:  
N/88th ST / E BUCHANAN W/HP 86, THERMAL, CA  
ASSESSOR'S PARCEL # 727-100-024-3

AREA	TYPE	CONCRETE	ASPHALT
1. TOTAL 8-PUMP CANOPY	3,540 SQ FT	3,540	0
2. TOTAL 6-PUMP CANOPY	3,570 SQ FT	3,570	0
3. TOTAL 4-PUMP CANOPY	1,660 SQ FT	1,660	0
4. TOTAL 2-PUMP CANOPY	1,000 SQ FT	1,000	0
5. TOTAL 1-PUMP CANOPY	2,940 SQ FT	2,940	0
6. RESTAURANT W/ DRIVE-THRU	1,000 SQ FT	1,000	0
7. RESTAURANT W/ DRIVE-THRU	1,000 SQ FT	1,000	0
8. RESTAURANT W/ DRIVE-THRU	984 SQ FT	984	0
9. RESTAURANT W/ DRIVE-THRU	2,500 SQ FT	2,500	0
10. RESTAURANT W/ DRIVE-THRU	2,100 SQ FT	2,100	0
11. RESTAURANT W/ DRIVE-THRU	1,000 SQ FT	1,000	0
12. RESTAURANT W/ DRIVE-THRU	1,000 SQ FT	1,000	0
13. RESTAURANT W/ DRIVE-THRU	1,000 SQ FT	1,000	0
14. RESTAURANT W/ DRIVE-THRU	1,000 SQ FT	1,000	0
15. RESTAURANT W/ DRIVE-THRU	1,000 SQ FT	1,000	0
16. RESTAURANT W/ DRIVE-THRU	1,000 SQ FT	1,000	0
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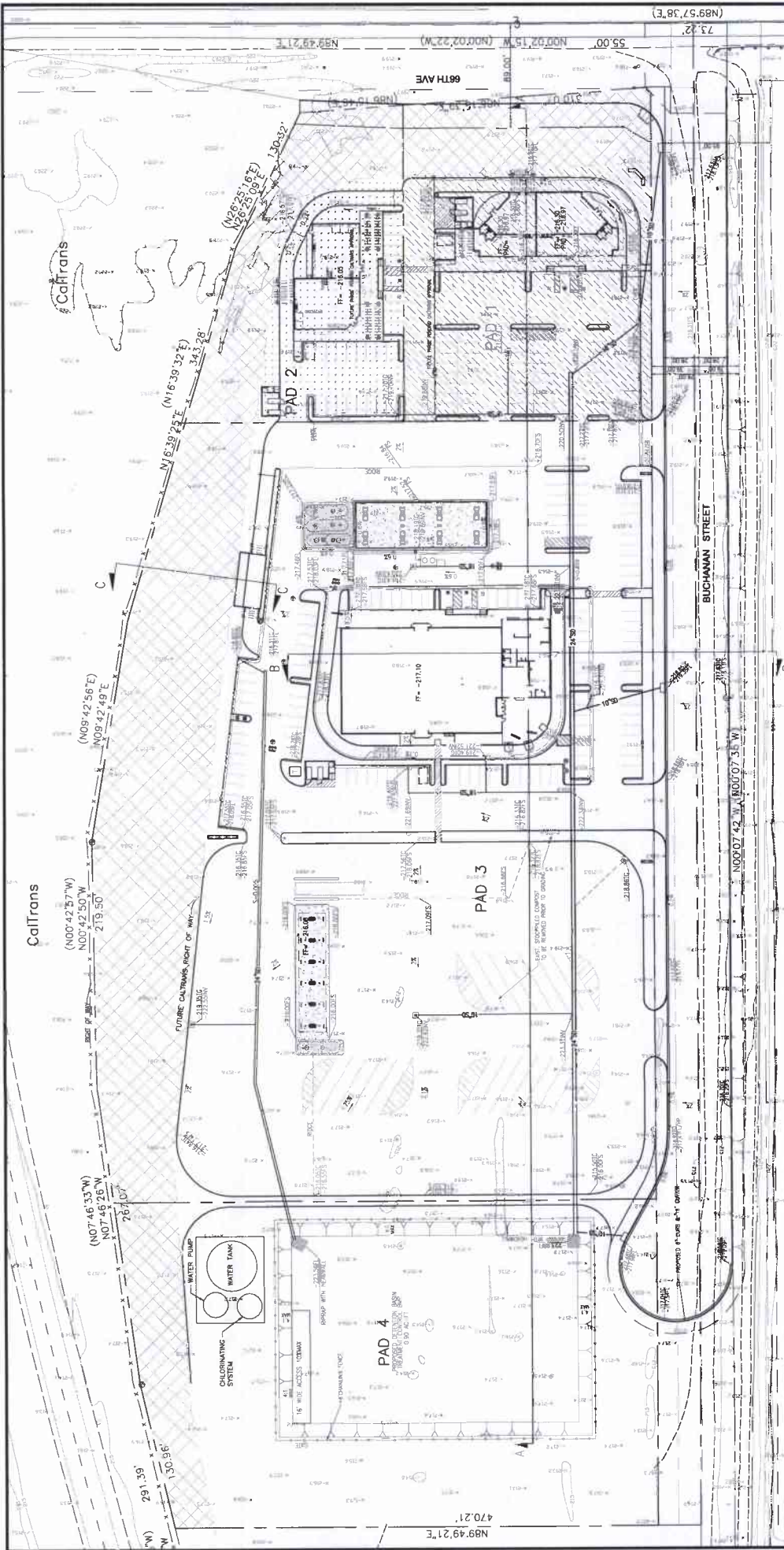
### STRUCTURES LEGEND

1. CONVENIENCE STORE  
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99. RESTAURANT W/ DRIVE-THRU  
100. RESTAURANT W/ DRIVE-THRU

### LEGAL DESCRIPTION

ALL THAT CERTAIN REAL PROPERTY SITUATED IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:  
THE SOUTH HALF OF LOT 2 OF THE SOUTHWEST QUARTER OF SECTION 36, TOWNSHIP 12N, RANGE 12E, SOUTHWEST 1/4 CORNER OF THE COUNTY OF RIVERSIDE, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA.  
EXCEPTING THAT PORTION OF THE SOUTH HALF OF LOT 2, LINE 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763,





**UTILITY SERVICES**

COACHELLA VALLEY WATER DISTRICT (CWD) (760) 398-2851  
 SOUTHWEST GAS CO DISTRICT (SG) (760) 241-5221  
 SDC CALIFORNIA EDSM CO (760) 245-0311  
 (800) 655-4555  
 UNDERGROUND SERVICE ALERT (800) 271-2800

**LEGEND**

90.06 EXIST. GRADE  
 91.62 PROPOSED GRADE  
 92.00 FUTURE GRADE  
 93.00 FUTURE GRADE

**ABBREVIATIONS**

AB - AGGREGATE BASE  
 AC - ASPHALT WALK  
 CH - CURB FACE  
 CP - CLEANING CURB  
 FD - FUTURE DRIVE  
 FS - FINISH GRADE  
 FM - FINISH SURFACE  
 HP - HIGH POINT  
 LA - LEAD AND TAG

**LEGEND**

☐ PULL BOX  
 ☐ GRATE DRAIN  
 ☐ GAS REGULATOR  
 ☐ WATER VALVE  
 ☐ BACKFLOW PREVENTOR  
 ☐ WATER METER  
 ☐ GAS METER  
 ☐ SEWER CLEAN OUT  
 ☐ TELEPHONE WALL  
 ☐ BIKE RACK

**LEGEND**

☐ FIRE HYDRANT  
 ☐ STREET LIGHT  
 ☐ TRAFFIC SIGNAL  
 ☐ LIGHT STANDARD  
 ☐ POWER POLE  
 ☐ WATER METER  
 ☐ GAS METER  
 ☐ TELEPHONE WALL

**LEGEND**

☐ MEASURED  
 ☐ MANHOLE  
 ☐ OVERHEAD  
 ☐ POWER POLE  
 ☐ SEWER  
 ☐ SINK  
 ☐ SOAK  
 ☐ TOP OF CURB  
 ☐ UNDERGROUND  
 ☐ WATER VALVE  
 ☐ DRAINAGE COURSE

**FOR REVIEW ONLY**

DATE: 07/24/12

COUNTY OF RIVERSIDE DEPARTMENT OF PUBLIC WORKS

CONCEPTUAL GRADING PLAN  
 THERMAL SERVICE STATION, LP  
 68TH AVENUE, RIVERSIDE, CA

Prepared By: **A.J. KOLTAVY/CIVIL ENGINEERS**  
 27 ORCHARD SUITE 105 LAKE FOREST, CA 92530  
 PHONE: (951) 580-1000

Recommended By: \_\_\_\_\_ DATE: \_\_\_\_\_  
 Accepted By: \_\_\_\_\_ DATE: \_\_\_\_\_  
 R.C.E. No. 19744 Expires 09/30/13

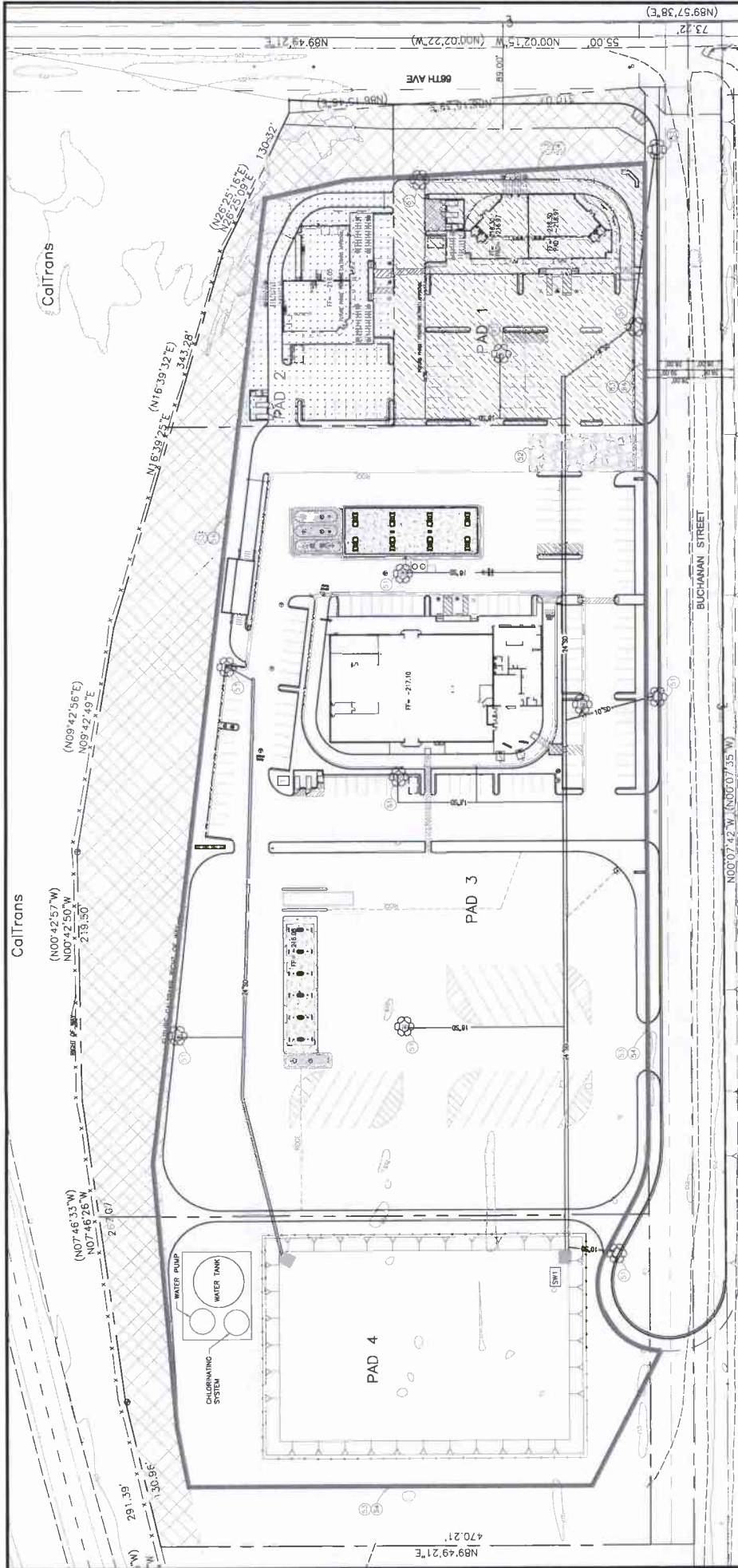
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 Checked By: \_\_\_\_\_  
 Designated By: \_\_\_\_\_  
 Scale: \_\_\_\_\_  
 Date: \_\_\_\_\_  
 R.C.E. No. 20571 Expires \_\_\_\_\_

CONSTRUCTION RECORD

Computer: \_\_\_\_\_  
 Inspector: \_\_\_\_\_  
 Date Completed: \_\_\_\_\_

Sheet 1 of 4





**PRIVATE ENGINEER'S NOTICE TO CONTRACTORS**

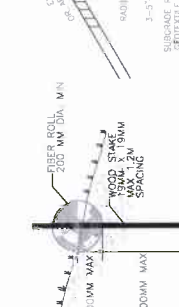
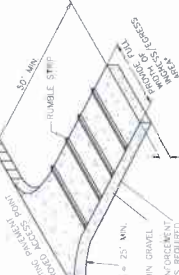
THE CONTRACTOR SHALL ASSUME THE ENTIRE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE OWNER AND THE ENGINEER HERELY FROM ANY AND ALL REPRESENTATIONS MADE OR IMPLIED IN CONNECTION WITH THE PREPARATION OF THESE PLANS. IN CONNECTION WITH THE OBLIGATION OF THE CONTRACTOR TO MAINTAIN THE JOB SITE ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OF THE UNDERLYING PROPERTY.

**LEGEND**

- GRAVEL (BIG) AROUND INLET/OUTLET
- GRAVEL BAG AROUND PROPERTY
- STABILIZED EVIDENCE
- FENCE
- SAMPLING LOCATION

**CONSTRUCTION NOTES**

1. PLACE GRAVEL FILLED SANDBAGS AROUND INLET/OUTLET AS 5' ODH
2. STABILIZED CONSTRUCTION ENTRANCE PER DETAIL HEREON
3. INSTALL 6" FIBER ROLL WITH FIBER FABRIC
4. INSTALL FIBER ROLL PER DETAIL HEREON OR AS APPROVED BY INSPECTOR



**FOR REVIEW ONLY**

DATE: 07/24/12

COUNTY OF RIVERSIDE DEPARTMENT OF PUBLIC WORKS

CONCEPTUAL GRADING PLAN  
THERMAL SERVICE STATION, LP  
68th HIGHWAY, CA

Drawing No. **C-3**  
Sheet **3** of **4**

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PREPARED BY: **A.J. KOLTAVARY/CIVIL ENGINEERS**  
27 ORCHARD SUITE 105, LAKE FOREST, CA 92530  
PHONE: (951) 360-0000

RECOMMENDED BY: \_\_\_\_\_ DATE: \_\_\_\_\_

ACCEPTED BY: **WILLIAM J. HART DIRECTOR OF PUBLIC WORKS** DATE: \_\_\_\_\_

R.C.E. No.: 19744 Expires: 09/29/13

---

DESIGNED BY: \_\_\_\_\_ DRAWN BY: \_\_\_\_\_ CHECKED BY: \_\_\_\_\_

PLANS PREPARED UNDER SUPERVISION OF: \_\_\_\_\_

ANDREW J. KOLTAVARY DATE: 07/23/12  
R.C.E. No. 78381 Expires

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SCALE: Horizontal Vertical

SEAL:

**STABILIZED CONSTRUCTION ENTRANCE DETAIL**  
N.E.S.

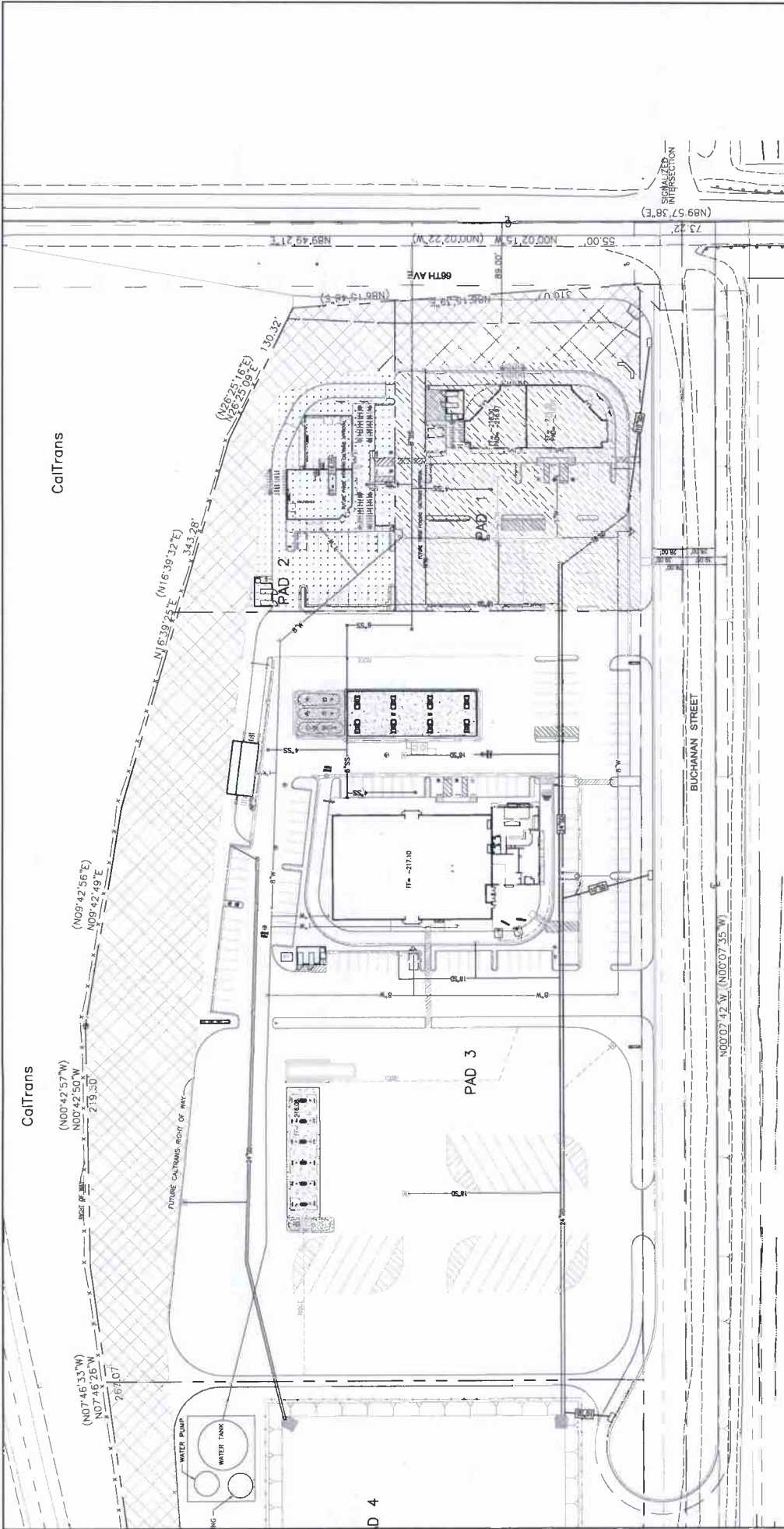
**CATCH BASIN SANDBAG DETAIL**  
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**FIBER ROLL DETAIL**  
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**FIBER ROLL DETAIL**  
N.E.S.

CONSTRUCTION RECORD DATE ACC'D REVISIONS

CONTRACTOR: \_\_\_\_\_ INSPECTOR: \_\_\_\_\_ DATE COMPLETE: \_\_\_\_\_



**FOR REVIEW ONLY**

PREPARED BY  
**A.J. KOLTAVY/CIVIL ENGINEERS**  
 27 ORCHARD SUITE 102, LAKE FOREST, CA 92650  
 PHONE: (949) 861-4576

PAD 2 FUTURE PHASE  
 PAD 1 FUTURE PHASE  
 UNDEVELOP AREA

RECOMMENDED BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
 ACCEPTED BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
 (Signature of Andrew J. Koltavy)  
 R.C.E. No. 19744 Expires 09/20/13



SCALE  
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CONSTRUCTION RECORD  
 DATE BY REVISIONS DATE BY

DATE	BY	REVISIONS	DATE	BY

CONTRACTOR  
 \_\_\_\_\_  
 INSPECTOR  
 \_\_\_\_\_  
 DATE COMPLETED  
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COUNTY OF RIVERSIDE DEPARTMENT OF PUBLIC WORKS  
 CONCEPTUAL UTILITY PLAN  
 THERMAL SERVICE STATION, LP  
 68TH STREET, RIVERSIDE, CA

Drawing No. **C-4**  
 Sheet **4** of **4**  
 DATE: 07/26/12





224 SOUTH JOY STREET  
CORONA, CA 92879-1958  
P.O. BOX 1958  
CORONA, CA 92878-1958  
FAX (951) 280-3832  
DIRECT (951) 280-3833



PRELIMINARY ELEVATIONS  
THERMAL SERVICE STATION LP  
NWC HWY 86 & 66TH AVE  
COUNTY OF RIVERSIDE, CA



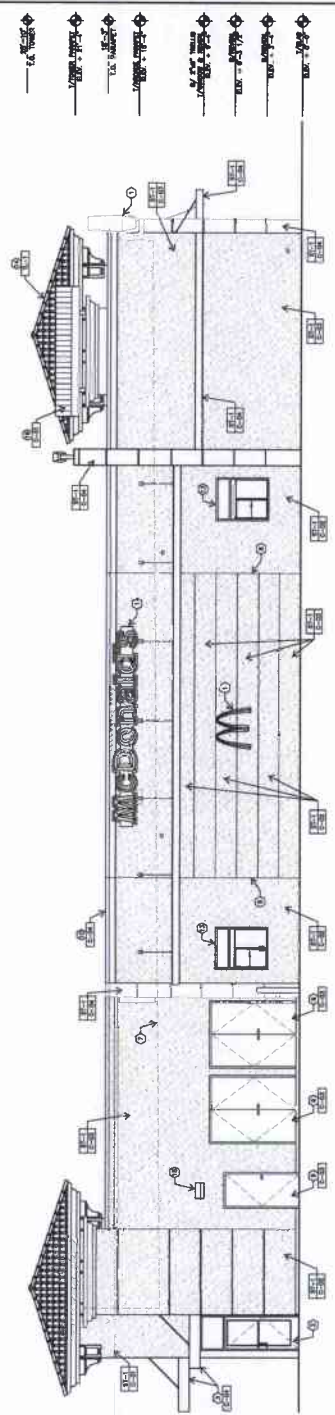
JOB NO. 2707  
DATE 04-25-14  
DRAWN BY I.C.  
SCALE 3/16" = 1'-0"  
CIP CASE NO. 038823  
DRAWING NO.

**A2-2**

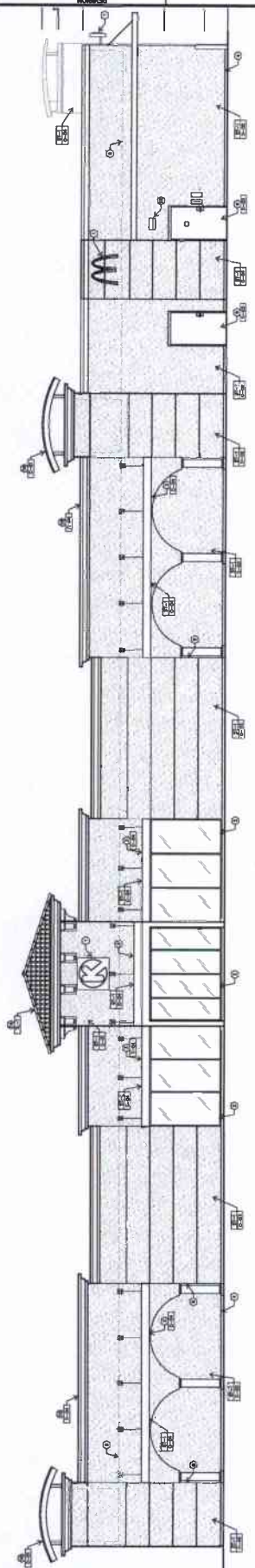
**GENERAL NOTES**  
1. REVEAL LOCATIONS SHOWN ARE TO BE MATCHED AS CLOSELY AS POSSIBLE.  
2. SOME MATCHING DUE TO PRODUCT LIMITATIONS WILL BE NECESSARY.

- KEYED NOTES**
- 1. STORAGE BY SOH CONTRACTOR
  - 2. ALUMINUM STOREFRONT SYSTEM
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- EXTERIOR FINISHES**
- ST-01 7/8" STUCCO (PORTLAND CEMENT PLASTER) WITH COLOR CONTROL JOINTS AS REQUIRED
  - TL-01 STAINLESS STEEL
  - TL-02 STAINLESS STEEL
  - TL-03 STAINLESS STEEL
  - TL-04 STAINLESS STEEL
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  - TL-100 STAINLESS STEEL



WEST ELEVATION



NORTH ELEVATION



**GENERAL NOTES**

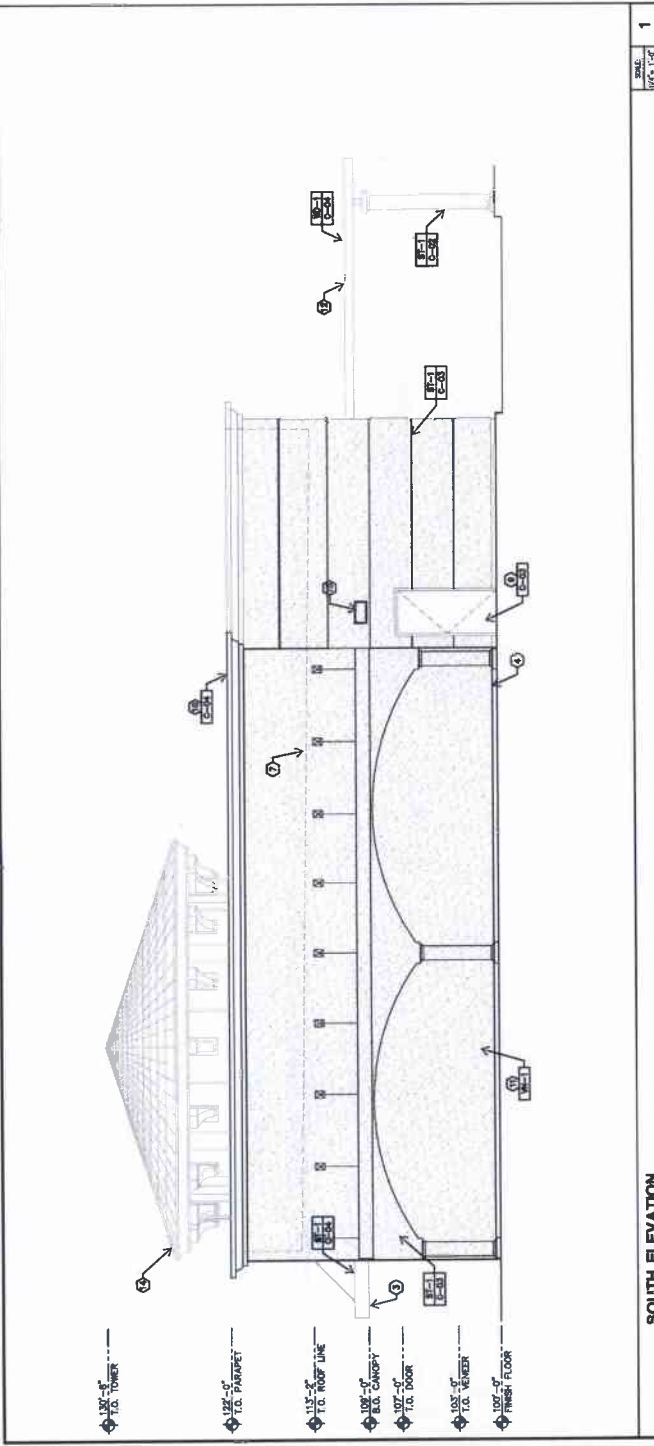
- REVEAL LOCATIONS SHOWN ARE TO BE MATCHED AS CLOSELY AS POSSIBLE.
- SOME VARIATION DUE TO PRODUCT LIMITATIONS WILL BE ACCEPTABLE.
- ALL ROOF EQUIPMENT TO BE SCHEDULED FROM N.E.C.

**KEYED NOTES**

- FINISH BY SOW CONTRACTOR
- ALUMINUM STOREFRONT SYSTEM
- EXTERIOR LIGHTING CANOPY
- 3" SCHEDULE LINE
- 1/2" SCHEDULE LINE AT FRONT OF BUILDING
- 1/2" SCHEDULE LINE AT REAR OF BUILDING
- ROOF LINE SLOPE
- REVEALS IN FINISH
- EXTERIOR METAL DOOR AND FRAME AT REAR ENTR.
- 1/2" SCHEDULE LINE AT REAR ENTR.
- 1/2" SCHEDULE LINE AT FRONT ENTR.
- STAINLESS STEEL WALKER SIGN
- EXTERIOR SHADE WOOD CANOPY
- SHOCK-RESISTANT MOUNTING
- ROOF TOP CORNER TRIM
- EXTERIOR WALL LIGHTING

**EXTERIOR FINISHES**

EF-1	3/4" STICCO (PORTLAND CEMENT PLASTER)
EF-2	1/2" SCHEDULE LINE
EF-3	1/2" SCHEDULE LINE
EF-4	COLOR TO BE DETERMINED BY OWNER
EF-5	COLOR CHANGES
EF-6	CONCRETE STONE VENEER
EF-7	COLOR CHANGES
EF-8	WATER-PROOF STAIN
EF-9	EXTERIOR WALLING - COLOR TROPICOL (RHS271)
EF-10	EXTERIOR WALLING - COLOR CANTON CLAY (RHS204)
EF-11	EXTERIOR WALLING - COLOR THERMOCOLD NAUF (RHS200)
EF-12	EXTERIOR WALLING - COLOR ALABASTRIS (RHS208)



SOUTH ELEVATION

**GENERAL NOTES**

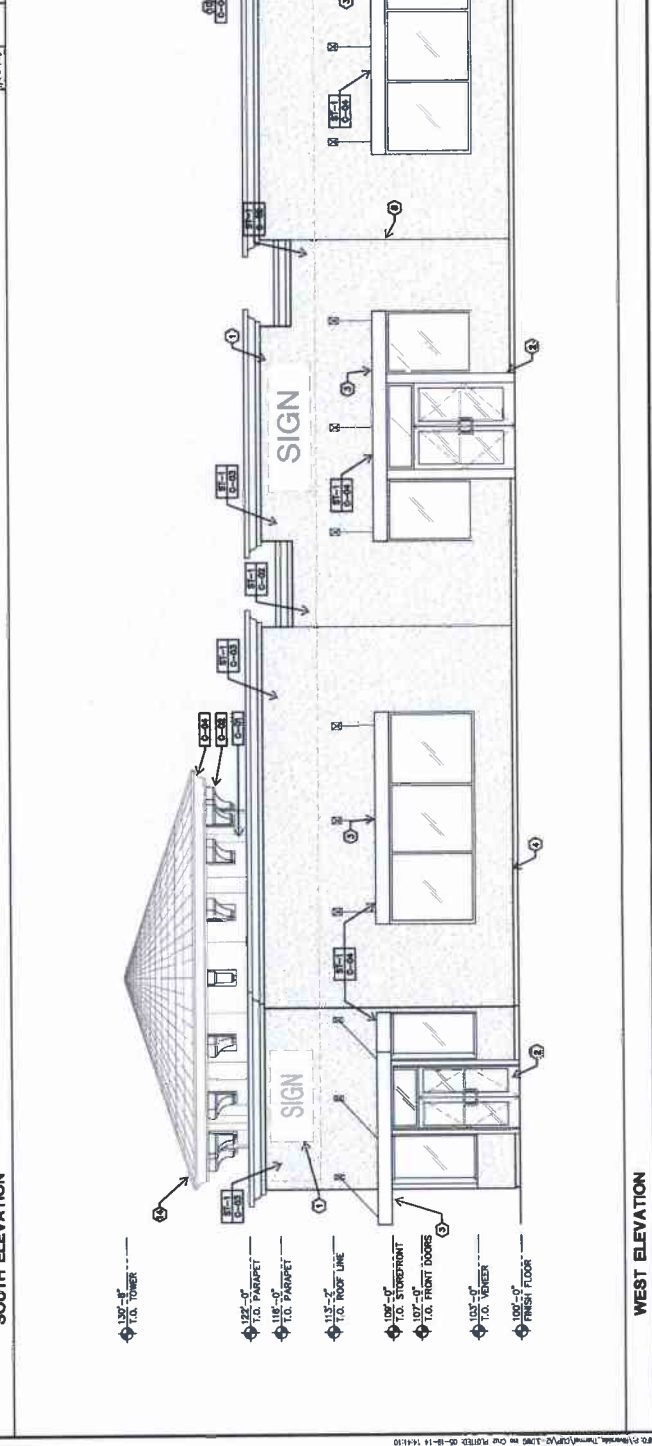
- REVEAL LOCATIONS SHOWN ARE TO BE MATCHED AS CLOSELY AS POSSIBLE.
- SOME VARIATION DUE TO PRODUCT LIMITATIONS WILL BE ACCEPTABLE.
- ALL ROOF EQUIPMENT TO BE SCHEDULED FROM N.E.C.

**KEYED NOTES**

- FINISH BY SOW CONTRACTOR
- ALUMINUM STOREFRONT SYSTEM
- EXTERIOR LIGHTING CANOPY
- 3" SCHEDULE LINE
- 1/2" SCHEDULE LINE AT FRONT OF BUILDING
- 1/2" SCHEDULE LINE AT REAR OF BUILDING
- ROOF LINE SLOPE
- REVEALS IN FINISH
- EXTERIOR METAL DOOR AND FRAME AT REAR ENTR.
- 1/2" SCHEDULE LINE AT REAR ENTR.
- 1/2" SCHEDULE LINE AT FRONT ENTR.
- STAINLESS STEEL WALKER SIGN
- EXTERIOR SHADE WOOD CANOPY
- SHOCK-RESISTANT MOUNTING
- ROOF TOP CORNER TRIM
- EXTERIOR WALL LIGHTING

**EXTERIOR FINISHES**

EF-1	3/4" STICCO (PORTLAND CEMENT PLASTER)
EF-2	1/2" SCHEDULE LINE
EF-3	1/2" SCHEDULE LINE
EF-4	COLOR TO BE DETERMINED BY OWNER
EF-5	COLOR CHANGES
EF-6	CONCRETE STONE VENEER
EF-7	COLOR CHANGES
EF-8	WATER-PROOF STAIN
EF-9	EXTERIOR WALLING - COLOR TROPICOL (RHS271)
EF-10	EXTERIOR WALLING - COLOR CANTON CLAY (RHS204)
EF-11	EXTERIOR WALLING - COLOR THERMOCOLD NAUF (RHS200)
EF-12	EXTERIOR WALLING - COLOR ALABASTRIS (RHS208)



WEST ELEVATION



**GENERAL NOTES**

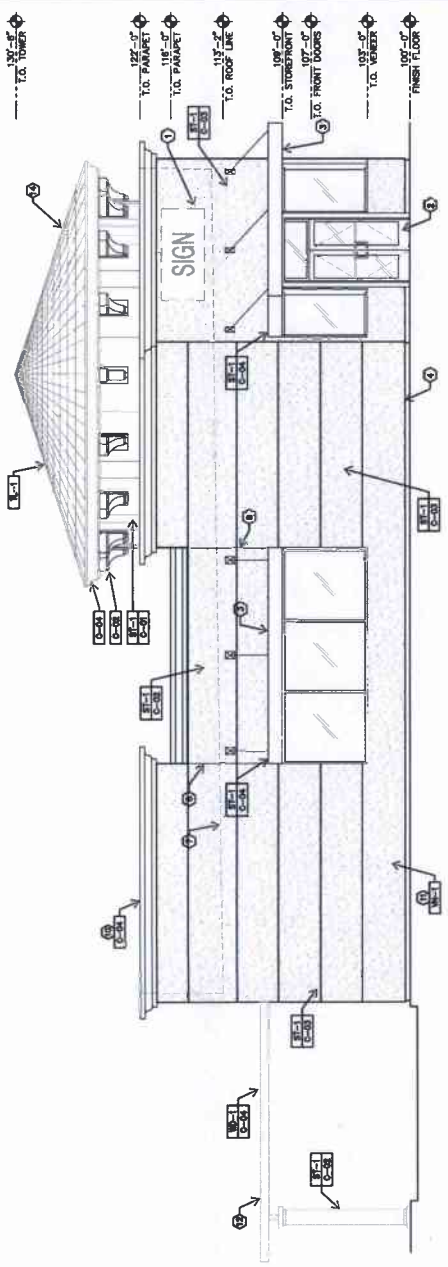
1. RECALL LOCATIONS SHOWN ARE TO BE MATCHED AS CLOSELY AS POSSIBLE. SOME VARIATION DUE TO PRODUCT LIMITATIONS WILL BE ACCEPTABLE.
2. ALL ROOF EQUIPMENT TO BE SCHEDULED FROM VIEW.

**KEYED NOTES**

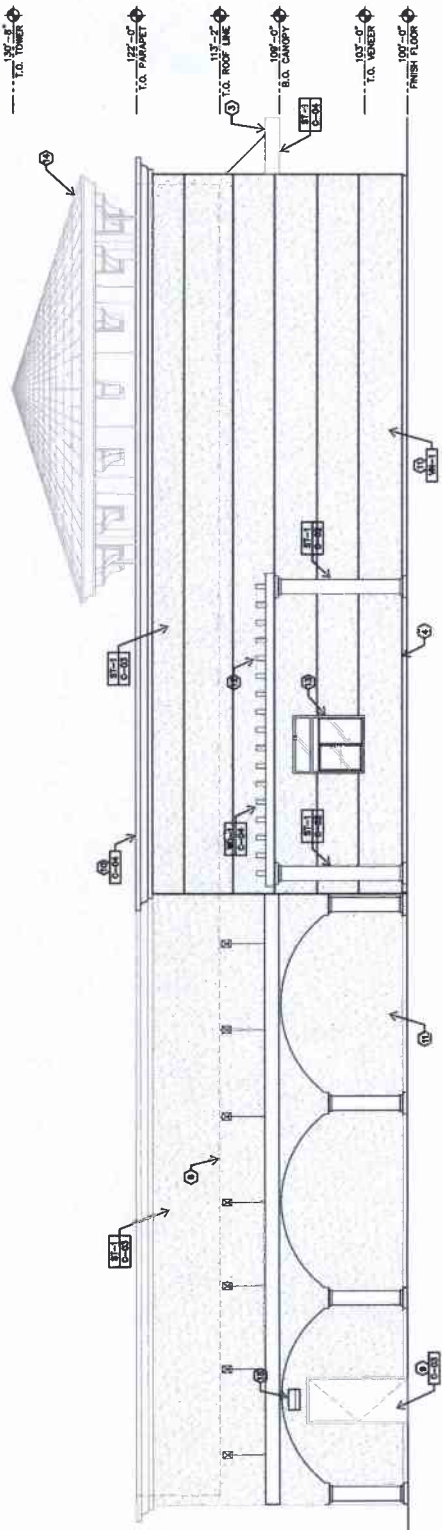
- 1. SIGNAGE BY SIGN COMPANY
- 2. ALUMINUM STOREFRONT SYSTEM
- 3. EXTERIOR LIGHTING CANOPY
- 4. 4" SLOPED LAINE
- 5. 1" REVEALS IN FINISH
- 6. EXTERIOR METAL DOOR AND FRAME AT REAR EXT.
- 7. EXTERIOR METAL DOOR AND FRAME AT FRONT EXT.
- 8. STAINLESS STEEL SHINE BROOM CANOPY
- 9. EXTERIOR SHADE WOOD CANOPY
- 10. DRIVE-THRU STOREFRONT WINDOW
- 11. ROOF CORNER TRIMMER
- 12. EXTERIOR WALL LIGHTING

**EXTERIOR FINISHES**

- E-1 7/8" BRICK PORTLAND CEMENT PLASTER OVER METAL LATH - FINISH CONTROL JOINTS AS REQUIRED
- E-2 1/2" GYPSUM BOARD - FINISH TO BE DETERMINED BY OWNER
- W-1 CORONA/NO STONE RENDER
- W-2 COLOR CHABLES
- W-3 1" WATER-PROOF STAIN
- C-1 STUCCO WILLIAMS - COLOR TERRAZZO (REAR TV)
- C-2 STUCCO WILLIAMS - COLOR CANTON CLAY (REAR A)
- C-3 STUCCO WILLIAMS - COLOR THICKSHELL TALKIE (FRONT)
- C-4 STUCCO WILLIAMS - COLOR ALABASTER (FRONT)



**NORTH ELEVATION** SCALE: 1/4" = 1'-0" 1



**EAST ELEVATION** SCALE: 1/4" = 1'-0" 2

224 SOUTH JOY STREET  
CORONA, CA 92629-1958  
P.O. BOX 1958  
CORONA, CA 92628-1958  
DIRECT (951) 280-3833  
FAX (951) 280-3832



RESTAURANTS E & F  
ELEVATIONS  
THERMAL SERVICE STATION LP  
COUNTY OF RIVERSIDE, CA

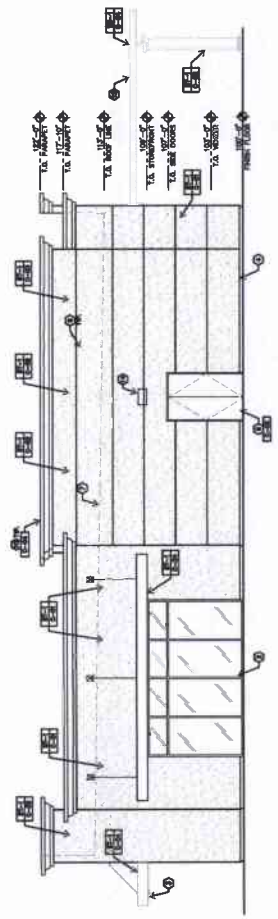


DATE: 04-25-14  
JOB NO: 2707  
SCALE: AS SHOWN  
DRAWN BY: AS SHOWN  
CIP CASE NO: 09823  
DRAWING NO: A2-5

**GENERAL NOTES**  
A. REVEAL LOCATIONS SHOWN ARE TO BE MATCHED AS CLOSELY AS POSSIBLE. SOME VARIATION DUE TO PRODUCT LIMITATIONS WILL BE ACCEPTABLE.  
B. ALL ROOF EQUIPMENT TO BE SCHEDULED FROM NEW.

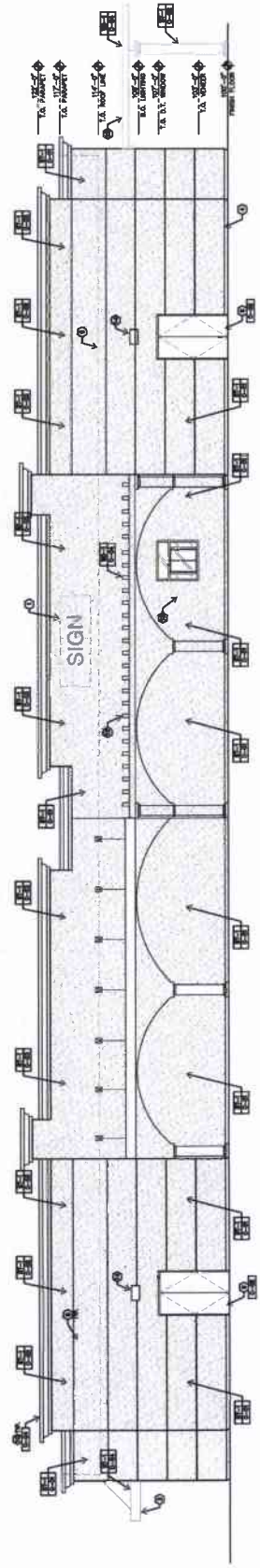
- KEYED NOTES**
- 1 FINISH BY S&P CONTRACTOR
  - 2 ALUMINUM STOREFRONT SYSTEM
  - 3 EXTERIOR LIGHTING CANOPY
  - 4 SCHEDULED LIGHT
  - 5 LOWER ROOF LINE AT FRONT OF BUILDING
  - 6 LOWER ROOF LINE AT REAR OF BUILDING
  - 7 REVEALS IN FINISH
  - 8 EXTERIOR METAL DOOR AND FRAME AT REAR DET.
  - 9 EXTERIOR SHADE WOOD CANOPY
  - 10 EXTERIOR SHADE WOOD CANOPY NOT USED
  - 11 EXTERIOR WALL LIGHTING

- EXTERIOR FINISHES**
- EF-1 7/8" STUCCO (PORTLAND CEMENT PLASTER) OVER METAL LATH - PROVIDE CONTROL JOINTS AS REQUIRED
  - EF-2 1/2" STUCCO (PORTLAND CEMENT PLASTER) OVER METAL LATH - PROVIDE CONTROL JOINTS AS REQUIRED
  - EF-3 CORONADO STONE VENEER
  - EF-4 COLOR: SANDS
  - EF-5 WATER-PROOF STAIN
  - EF-6 SERRINI WALLS - COLOR: TROCHILUS (NEW/2)
  - EF-7 SERRINI WALLS - COLOR: CLAYTON CLAY (NEW/4)
  - EF-8 SERRINI WALLS - COLOR: THRESHOLD TAPE (NEW/3)
  - EF-9 SERRINI WALLS - COLOR: ALAMASTER (NEW/0)



SCALE: 1/8" = 1'-0"

WEST ELEVATION



SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

2







WEST ELEVATION

SCALE: 1/8" = 1'-0"

1

**GENERAL NOTES**

1. SEVERAL LOCATIONS SHOWN ARE TO BE MATCHED AS CLOSELY AS POSSIBLE TO EXISTING CONDITIONS. SOME VARIATION DUE TO PRODUCT LIMITATIONS WILL BE ACCEPTABLE.

**KEYED NOTES**

1. 1/2" ALUMINUM ANGLE  
2. ALUMINUM EXTERIOR LIGHT FIXTURE  
3. EXTERIOR LIGHTING CANOPY  
4. SOFFIT LINE  
5. HANGER ROOF LINE AT FRONT OF BUILDING  
6. HANGER ROOF LINE AT REAR OF BUILDING  
7. HANGER ROOF LINE AT BLUE OF BUILDING  
8. 1" REVEALS IN FRANK  
9. EXTERIOR METAL DOOR AND FRAME  
10. PREMANUFACTURED CORNER AT PARAPET  
11. NOT USED  
12. 1/2" ALUMINUM ANGLE  
13. 1/2" ALUMINUM ANGLE  
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**EXTERIOR FINISHES**

ST-1 7/8" STUCCO (PORTLAND CEMENT PLASTER)  
ST-2 1/2" STUCCO (PORTLAND CEMENT PLASTER)  
ST-3 1/2" STUCCO (PORTLAND CEMENT PLASTER)  
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ST-99 1/2" STUCCO (PORTLAND CEMENT PLASTER)  
ST-100 1/2" STUCCO (PORTLAND CEMENT PLASTER)

NORTH ELEVATION

SCALE: 1/8" = 1'-0"

2

224 SOUTH JOY STREET  
CORONA, CA 92879-1958  
P.O. BOX 1958  
CORONA, CA 92878-1958  
DIRECT (951) 280-3833  
FAX (951) 280-3833



CONVENIENCE STORE & DELI  
PRELIMINARY ELEVATIONS  
THERMAL SERVICE STATION, LP  
NMC HWY 86 & 68TH AVE  
COUNTY OF RIVERSIDE, CA

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
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JOB NO: 2707  
DATE: 08-01-12  
DRAWN BY: CFT  
SCALE: 3/16" = 1'-0"  
CIP CASE NO: 09893  
DRAWING NO.

A2-2



RESTAURANT NO.2  
 ELEVATIONS  
 THERMAL SERVICE STATION LP  
 COUNTY OF RIVERSIDE, CA

224 SOUTH JOY STREET  
 CORONA, CA 92879-1958  
 P.O. BOX 1958  
 CORONA, CA 92878-1958  
 DIRECT FAX (951) 280-3832

**GENERAL NOTES**

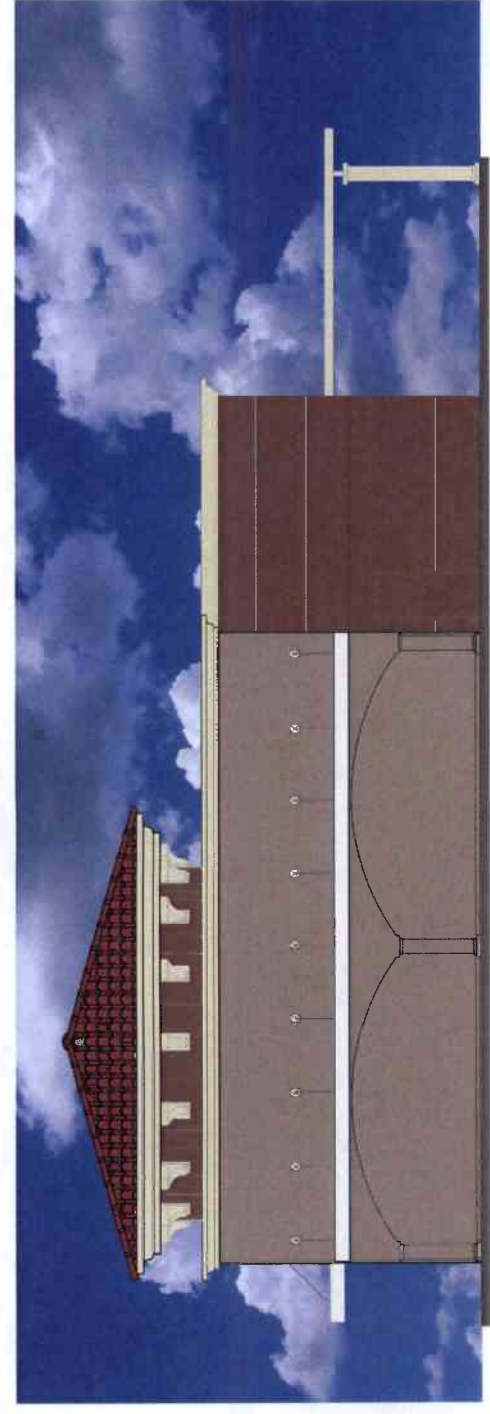
- A. GENERAL LOCATIONS SHOWN ARE TO BE MAINTAINED AS CLOSELY AS POSSIBLE.
- B. SOME MATERIALS DUE TO PRODUCT LIMITATIONS WILL BE ACCEPTABLE.
- C. ALL ROOF EQUIPMENT TO BE SCREENED FROM VIEW.

**KEYED NOTES**

- 1 SOURCE BY SOI CONTRACTOR
- 2 1/2" STUCCO (PORTLAND CEMENT PLASTER)
- 3 1/2" STUCCO (PORTLAND CEMENT PLASTER)
- 4 EXTERIOR LIGHTING CANOPY
- 5 4" SOURED LITE
- 6 ROOF LINE AT FRONT OF BUILDING
- 7 ROOF LINE AT REAR OF BUILDING
- 8 1" REVEALS AT FINISH
- 9 EXTERIOR METAL DOOR AND FRAME AT REAR EXIT
- 10 PREFABRICATED CORNER AT PARAPET
- 11 STONE FINISH WHERE SHOWN
- 12 EXTERIOR SHADE WOOD CANOPY
- 13 1/2" STUCCO (PORTLAND CEMENT PLASTER)
- 14 ROOF LINE AT REAR OF BUILDING
- 15 EXTERIOR WALL LIGHTING

**EXTERIOR FINISHES**

- ST-1 1/2" STUCCO (PORTLAND CEMENT PLASTER)
- ST-2 1/2" STUCCO (PORTLAND CEMENT PLASTER)
- ST-3 1/2" STUCCO (PORTLAND CEMENT PLASTER)
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- ST-98 1/2" STUCCO (PORTLAND CEMENT PLASTER)
- ST-99 1/2" STUCCO (PORTLAND CEMENT PLASTER)
- ST-100 1/2" STUCCO (PORTLAND CEMENT PLASTER)



**SOUTH ELEVATION**

SCALE: 1/8" = 1'-0"

1



**WEST ELEVATION**

SCALE: 1/8" = 1'-0"

2





NORTH ELEVATION

SCALE: 1/4"=1'-0"

1



EAST ELEVATION

SCALE: 1/4"=1'-0"

2

**GENERAL NOTES**

- A. REVEAL LOCATIONS SHOWN ARE TO BE MATCHED AS CLOSELY AS POSSIBLE. SOME VARIATION DUE TO PRODUCT LIMITATIONS WILL BE ACCEPTABLE.
- B. ALL NOT COMMENT TO BE ORDERED FROM VEN.

**KEYED NOTES**

- 1. FINISHES BY VEN. CONSTRUCTION
- 2. ALUMINUM STORMDOOR SYSTEM
- 3. EXTERIOR LIGHTING CANOPY
- 4. 4" SPACED LITE
- 5. HORIZONTAL ROOF LINE AT FRONT OF BUILDING
- 6. HORIZONTAL ROOF LINE AT REAR OF BUILDING
- 7. ROOF LINE SLOPE
- 8. 1" REVEALS IN FINISH
- 9. EXTERIOR METAL DOOR AND FRAME AT REAR EXIT
- 10. PREMANUFACTURED CORNER AT PARAPET
- 11. STONE FINISH WHERE SHOWN
- 12. 1/2" REVEALS AT CORNER OF BUILDING
- 13. 1/2" REVEALS AT CORNER OF BUILDING
- 14. 1/2" REVEALS AT CORNER OF BUILDING
- 15. ROOFTOP CORNER TURNER
- 16. EXTERIOR WALL LIGHTING

**EXTERIOR FINISHES**

- 1. 7/8" STUCCO (PORTLAND AND CEMENT PLASTER)
- 2. FINISHES TO BE MATCHED AS CLOSELY AS POSSIBLE
- 3. STAINLESS STEEL ROOF TILE
- 4. COLOR TO BE DETERMINED BY OWNER
- 5. COLOR TO BE DETERMINED BY OWNER
- 6. COLOR TO BE DETERMINED BY OWNER
- 7. EXTERIOR WOOD
- 8. WEATHER-PROOF STAIN
- 9. SPERM WILLIAMS - COLOR: THROUGHOUT (SPT001A)
- 10. SPERM WILLIAMS - COLOR: CANTON CLAY (SPT004A)
- 11. SPERM WILLIAMS - COLOR: THRESHOLD TRAFFIC (SPT005A)
- 12. SPERM WILLIAMS - COLOR: ALABASTER (SPT008)

**RESTAURANT NO. 1  
ELEVATIONS**

THERMAL SERVICE STATION LP  
NWC HWY 88 & 68th AVE  
COUNTY OF RIVERSIDE, CA

DATE	JOB NO
04-25-14	2707
SCALE	DRAWN BY
1/4"=1'-0"	CT
CAP. CASE NO. 008823	



DATE 04-25-14 JOB NO 2707  
SCALE 1/4"=1'-0" DRAWN BY CT  
CAP. CASE NO. 008823

**A2-4**

224 SOUTH JOY STREET  
CORONA, CA 92679-1958  
P.O. BOX 1958  
CORONA, CA 92678-1958  
DIRECT (951) 280-3833  
FAX (951) 280-3832

224 SOUTH JOY STREET  
CORONA, CA 92679-1958  
P.O. BOX 1958  
CORONA, CA 92678-1958  
DIRECT (951) 280-3833  
FAX (951) 280-3832



**RESTAURANTS E & F  
ELEVATIONS**  
THERMAL SERVICE STATION, LP  
COUNTY OF RIVERSIDE, CA

DATE	JOB NO.
04-25-14	2707
SCALE	DRAWN BY
AS SHOWN	CT
CUP CASE NO.03883	
DRAWING NO.	



**A2-5**

**GENERAL NOTES**

- A. REVEAL LOCATIONS SHOWN ARE TO BE MATCHED AS CLOSELY AS POSSIBLE. SOME VARIATION DUE TO PRODUCT LIMITATIONS WILL BE ACCEPTABLE.
- B. ALL NEW EQUIPMENT TO BE SPECIFIED FROM VEH.

**KEYED NOTES**

- 1) FINISHES BY S&B CONTRACTOR.
- 2) ALUMINUM STORMDOOR SYSTEM.
- 3) EXTERIOR LIGHTING CANOPY.
- 4) SLOPED LINE - 4" SLOPED LINE AT FRONT OF BUILDING.
- 5) SLOPED LINE - 4" SLOPED LINE AT REAR OF BUILDING.
- 6) LOWER ROOF LINE - 4" SLOPED LINE AT REAR OF BUILDING.
- 7) ROOF LINE SLOPE.
- 8) 1" REVEALS IN FINISH.
- 9) EXTERIOR METAL DOOR AND FRAME AT REAR EXT.
- 10) PREMANUFACTURED CORNICE AT PARAPET.
- 11) EXTERIOR SHADE HOOD CANOPY.
- 12) EXTERIOR SHADE HOOD CANOPY.
- 13) DRIVE-THRU STORMDOOR WINDOW.
- 14) EXTERIOR WALL LIGHTING.

**EXTERIOR FINISHES**

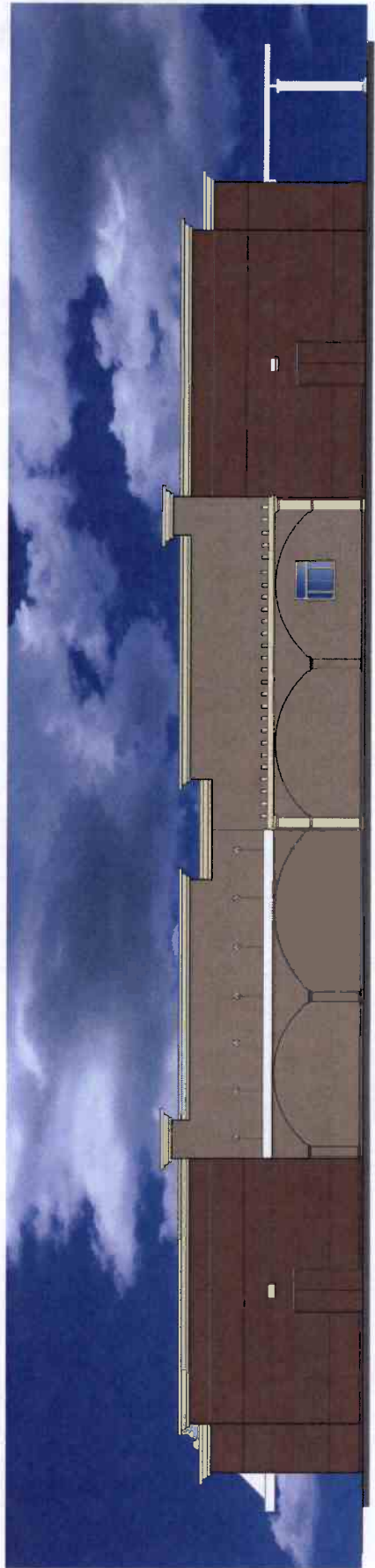
- E-1-1) 1/2" X 1/2" GROUT AND GROUT PLASTER
- E-1-2) 1/2" X 1/2" GROUT AND GROUT PLASTER
- E-1-3) SPANISH CLAY ROOF TILE
- E-1-4) SPANISH CLAY ROOF TILE
- E-1-5) SPANISH CLAY ROOF TILE
- E-1-6) SPANISH CLAY ROOF TILE
- E-1-7) SPANISH CLAY ROOF TILE
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- E-1-29) SPANISH CLAY ROOF TILE
- E-1-30) SPANISH CLAY ROOF TILE
- E-1-31) SPANISH CLAY ROOF TILE
- E-1-32) SPANISH CLAY ROOF TILE
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- E-1-41) SPANISH CLAY ROOF TILE
- E-1-42) SPANISH CLAY ROOF TILE
- E-1-43) SPANISH CLAY ROOF TILE
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- E-1-96) SPANISH CLAY ROOF TILE
- E-1-97) SPANISH CLAY ROOF TILE
- E-1-98) SPANISH CLAY ROOF TILE
- E-1-99) SPANISH CLAY ROOF TILE
- E-1-100) SPANISH CLAY ROOF TILE



**WEST ELEVATION**

SCALE: 1/4" = 1'-0"

1



**SOUTH ELEVATION**

SCALE: 1/4" = 1'-0"

2

224 SOUTH JOY STREET  
CORONA, CA 92879-1958  
P.O. BOX 1958  
CORONA, CA 92878-1958  
DIRECT (951) 280-3833  
FAX (951) 280-3833



**RESTAURANTS E & F**  
THERMAL SERVICE STATION, LP  
COUNTY OF RIVERSIDE, CA



DATE 07-29-12  
JOB NO. 2707  
SCALE AS SHOWN  
DRAWN BY AS SHOWN  
CJT  
CJP CASE NO. 08823  
DRAWING NO.

**A2-6**

**GENERAL NOTES**

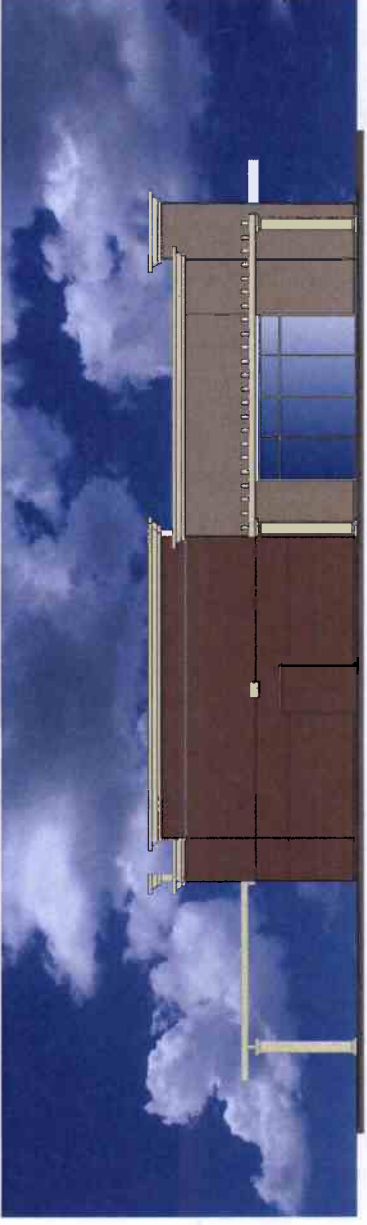
- 1. SPECIAL LOCATIONS SHALL BE MATCHED AS CLOSELY AS POSSIBLE.
- 2. SOME VARIATION DUE TO PRODUCT LIMITATIONS MAY BE ACCEPTABLE.
- 3. ALL ROOF EQUIPMENT TO BE SCHEDULED FROM VIEW.

**KEYED NOTES**

- 1. USE BY SIGN CONTRACTOR
- 2. ALUMINUM FINISH AT ROOF
- 3. EXTERIOR LIGHTING CAPTIVE
- 4. SCHEDULE LINE
- 5. HANGER ROOF LINE AT FRONT OF BUILDING
- 6. HANGER ROOF LINE AT REAR OF BUILDING
- 7. ROOF LINE AT REAR OF BUILDING
- 8. 1" REVEALS IN FINISH
- 9. EXTERIOR METAL DOOR AND FRAME AT REAR EXIT
- 10. PREMANUFACTURED CORNER AT PARAPET.
- 11. NOT USED
- 12. FINISH: BRICK CASSETTE
- 13. DARK-BROWN STONE/SLAT WINDOW
- 14. EXTERIOR WALL LIGHTING

**EXTERIOR FINISHES**

- 15-1 7/8" STUCCO (PORTLAND CEMENT PLASTER)
- 16-1 1/2" STUCCO (PORTLAND CEMENT PLASTER)
- 17-1 SPANISH CLAY ROOF TILE
- 18-1 COLOR TO BE DETERMINED BY OWNER
- 19-1 CORNWALL STONE MOWER
- 20-1 STUCCO
- 21-1 WEATHER-PROOF STAIN
- 22-1 STUCCO
- 23-1 STUCCO
- 24-1 STUCCO
- 25-1 STUCCO
- 26-1 STUCCO
- 27-1 STUCCO
- 28-1 STUCCO
- 29-1 STUCCO
- 30-1 STUCCO
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- 91-1 STUCCO
- 92-1 STUCCO
- 93-1 STUCCO
- 94-1 STUCCO
- 95-1 STUCCO
- 96-1 STUCCO
- 97-1 STUCCO
- 98-1 STUCCO
- 99-1 STUCCO
- 100-1 STUCCO



**EAST ELEVATION**

SCALE: 1/8" = 1'-0"

1



**NORTH ELEVATION**

SCALE: 1/8" = 1'-0"

2

224 SOUTH JOY STREET  
 CORONA, CA 92879-1958  
 P.O. BOX 1958  
 CORONA, CA 92878-1958  
 DIRECT (951) 280-3833  
 FAX (951) 280-3832



**CAR WASH**  
**EXTERIOR ELEVATIONS**  
 THERMAL SERVICE STATION, LP  
 1400 HWY 88 & 88th AVE  
 COUNTY OF RIVERSIDE, CA

DATE	04-25-14
SCALE	AS SHOWN
AS SHOWN	I.C.
CUP CASE NO.	03923
DRAWING NO.	



JAW NO. 2707  
 DRAWN BY I.C.  
 CUP CASE NO. 03923  
 DRAWING NO.

**CWA.2.1**



(A) FRONT ELEVATION  
 SCALE: 1/4"=1'-0"

(B) RIGHT SIDE ELEVATION  
 SCALE: 1/4"=1'-0"



(C) LEFT SIDE ELEVATION  
 SCALE: 1/4"=1'-0"

(D) REAR ELEVATION  
 SCALE: 1/4"=1'-0"

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**CONVENIENCE STORE WITH  
 RESTAURANT B FLOOR PLAN**  
 THERMAL SERVICE STATION, LP  
 1100 HWY 88 & 88th AVE  
 COUNTY OF RIVERSIDE, CA

DATE	03-15-12	7707
SCALE	1/8" = 1'-0"	
DRAWN BY		
CHECKED BY		
DATE		
SCALE		
DRAWN BY		
CHECKED BY		

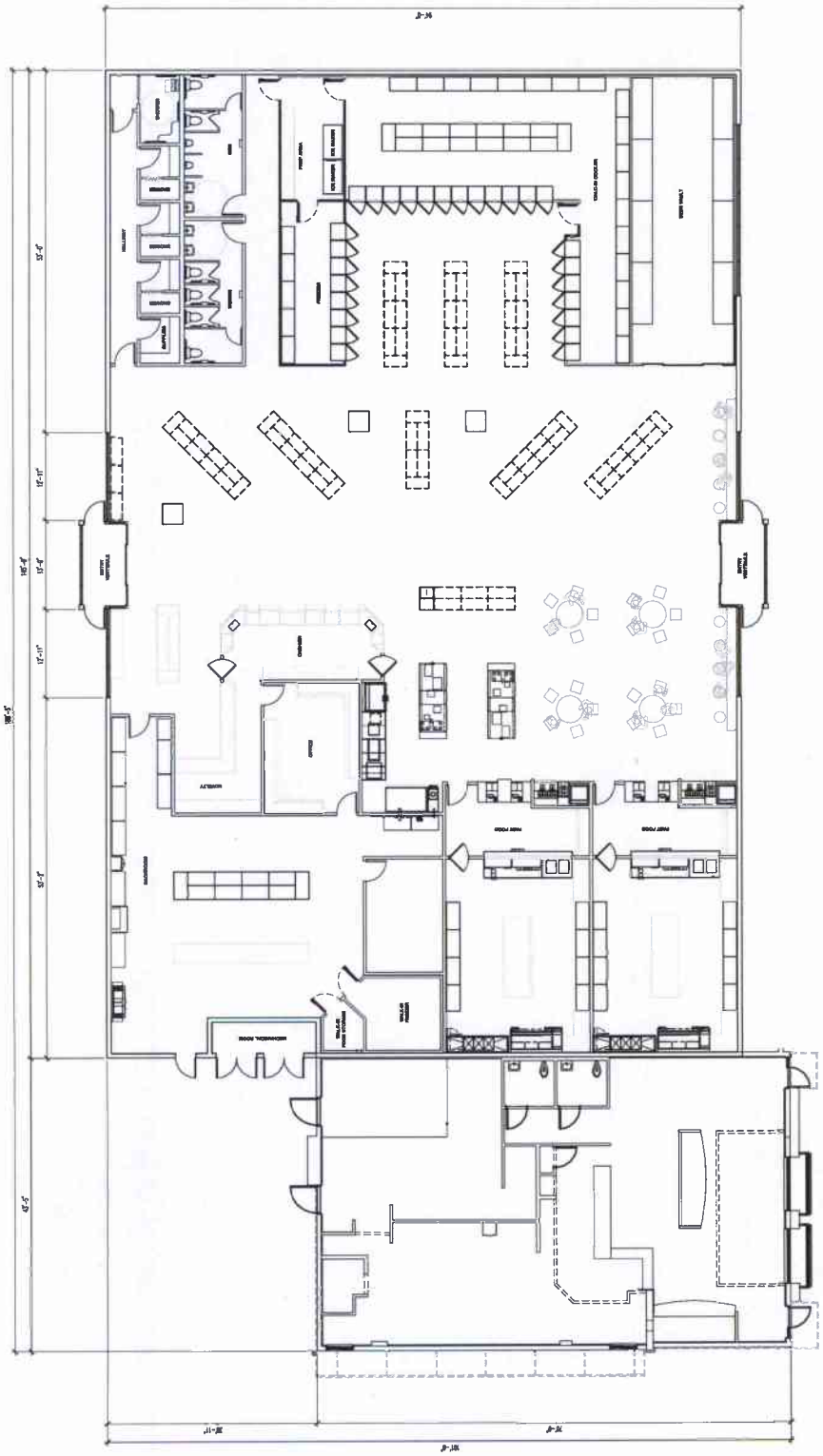


DATE 03-15-12 7707  
 SCALE 1/8" = 1'-0"  
 DRAWN BY  
 CHECKED BY  
 DATE  
 SCALE  
 DRAWN BY  
 CHECKED BY

CIP CASE NO. 038823  
 DRAWING NO.  
**A1-1**



SCALE: 1/8" = 1'-0"  
 SHEET: 1



**NEW  
 CONVENIENCE STORE**  
 13,800 SQ. FT  
 SERVICE AREA = 5,665 S.F.  
 13,000/200 S.F. = 65 CMS

**NEW  
 MCDONALD'S**  
 2,940 SQ. FT  
 SERVICE AREA = 1,000 S.F.  
 2,940/100 S.F. = 30 CMS

CONVENIENCE STORE W/ RESTAURANT B FLOOR PLAN

224 SOUTH JOY STREET  
 CORONA, CA 92879-1958  
 P.O. BOX 1958  
 CORONA, CA 92878-1958  
 DIRECT (951) 280-3833  
 FAX (951) 280-3832



**RESTAURANTS C & D  
 FLOOR PLAN**  
 THERMAL SERVICE STATION LP  
 COUNTY OF RIVERSIDE, CA

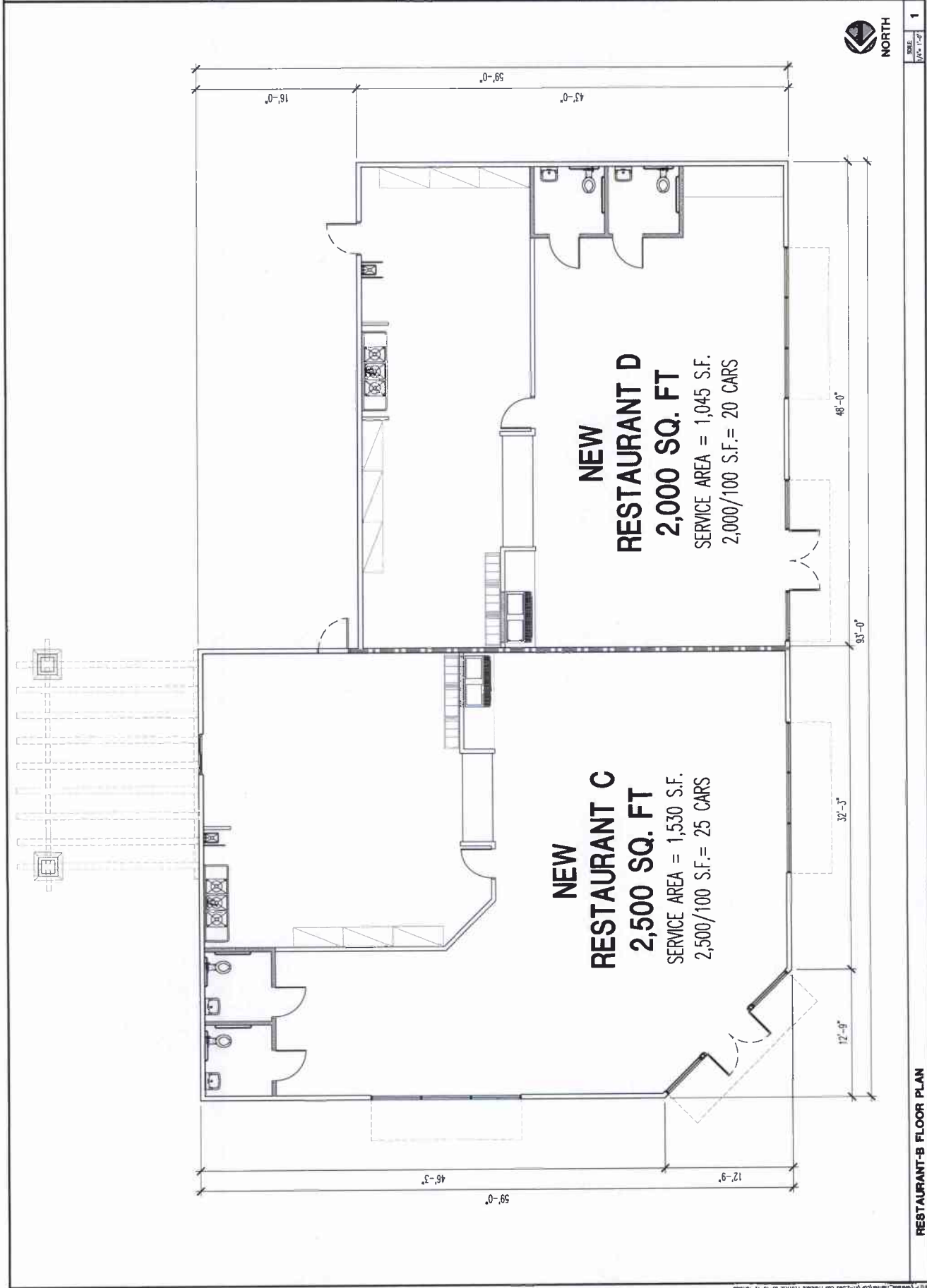
REVISION	DATE	BY



DATE: 03-15-12  
 SCALE: 1/8" = 1'-0"  
 DRAWN BY: EST  
 CIP CASE NO: 08023  
 DRAWING NO:

**A1-2**

**NORTH**  
 SCALE: 1/8" = 1'-0"  
 1



**RESTAURANT-B FLOOR PLAN**

1915 P:\Projects\Thermal\A1-2083 Cor Thermal RESTOR 03-15-12 10:53

224 SOUTH JOY STREET  
 CORONA, CA 92879-1958  
 P.O. BOX 1958  
 CORONA, CA 92878-1958  
 DIRECT (951) 260-3833  
 FAX (951) 260-3832

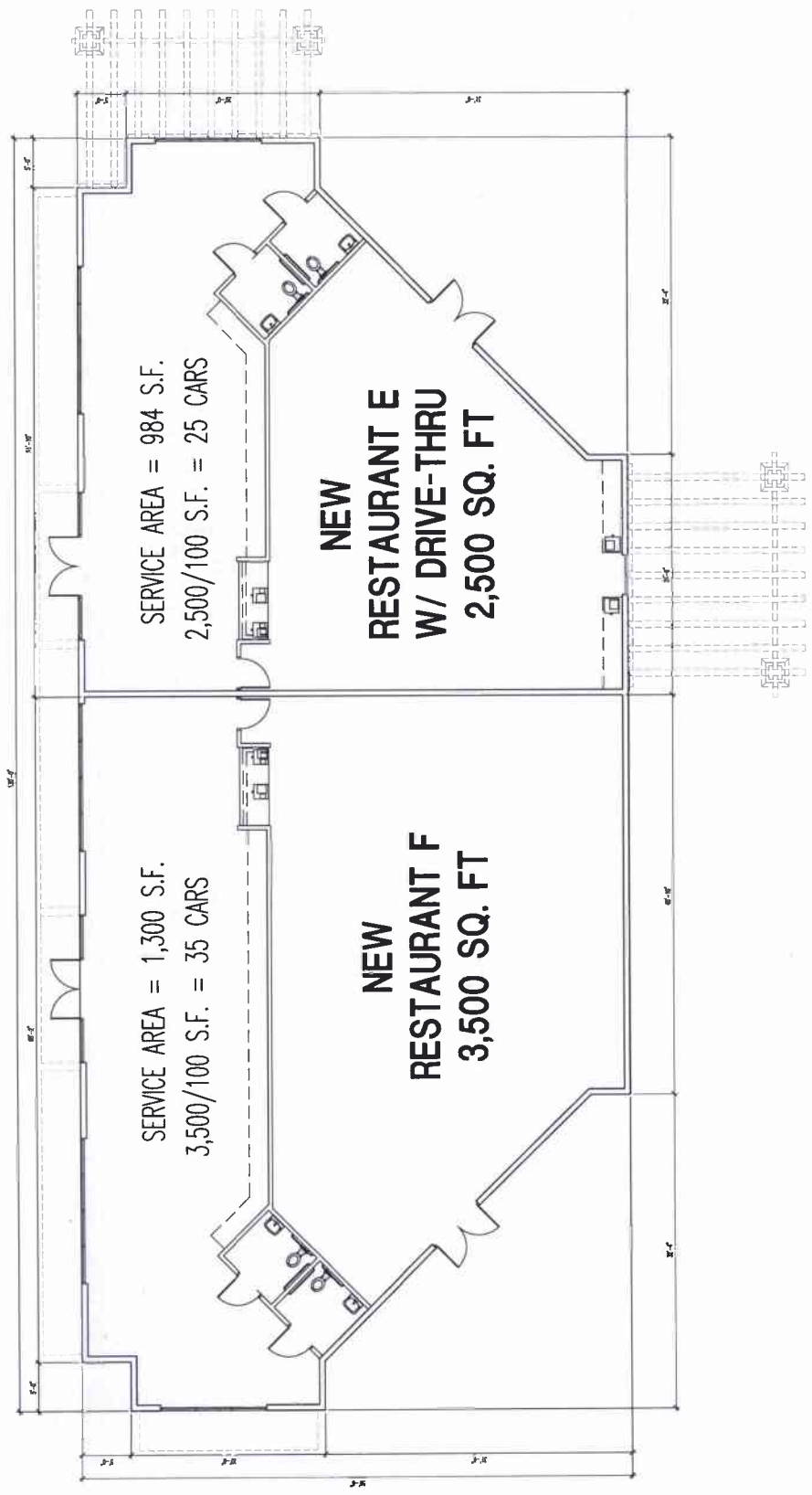


**RESTAURANTS E & F  
 PRELIMINARY FLOOR PLAN**  
 THERMAL SERVICE STATION, LP  
 COUNTY OF RIVERSIDE, CA

DATE	03-15-12
SCALE	3/16"=1'-0"
CJP CASE NO.	030823
DRAWING NO.	A1-3



**A1-3**



**RESTAURANTS E & F FLOOR PLAN**





224 SOUTH JOY STREET  
CORONA, CA 92729-1598  
P.O. BOX 1958  
CORONA, CA 92728-1958  
DIRECT (951) 280-3833  
FAX (951) 280-3832



**CANOPY ELEVATIONS**  
THERMAL SERVICE STATION, LP  
COUNTY OF RIVERSIDE, CA  
NWC HWY 88 & 88TH AVE



DATE: 04-25-14  
JOB NO: 2707  
DRAWN BY: AS SHOWN  
CHECKED BY: CT  
C.P. CASE NO: 09823  
DRAWING NO.

**CA2-2**

**GENERAL NOTES**

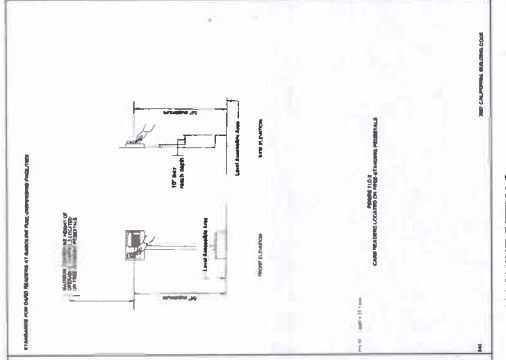
1. SURFACE SHALL BE PAINTED ACCORDING TO THE MANUFACTURER'S RECOMMENDATION.
2. ALL SURFACES SHALL BE PROTECTED FROM DAMAGE DURING CONSTRUCTION.
3. THE SHALL PROVIDE SLOPE TO BE INDICATED OTHERWISE ON THE CANOPY.

**KEY NOTES**

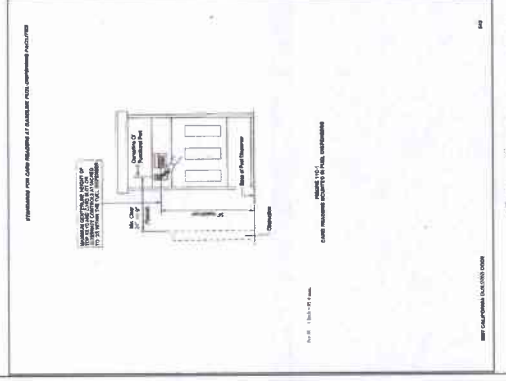
1. FINISH WITH FLAT COLORED.
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17. FINISH WITH FLAT COLORED.
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19. FINISH WITH FLAT COLORED.
20. FINISH WITH FLAT COLORED.

**EXTERIOR PAINTS**

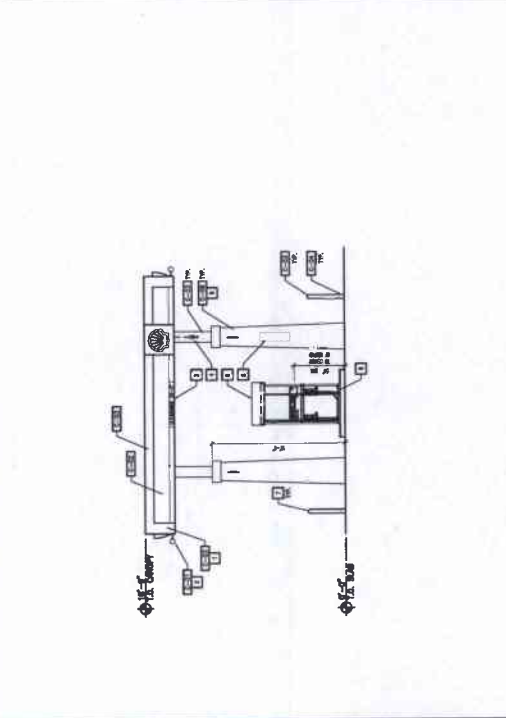
CE-1	FLAT	FLAT
CE-2	FLAT	FLAT
CE-3	FLAT	FLAT
CE-4	FLAT	FLAT
CE-5	FLAT	FLAT
CE-6	FLAT	FLAT
CE-7	FLAT	FLAT
CE-8	FLAT	FLAT
CE-9	FLAT	FLAT
CE-10	FLAT	FLAT
CE-11	FLAT	FLAT
CE-12	FLAT	FLAT
CE-13	FLAT	FLAT
CE-14	FLAT	FLAT
CE-15	FLAT	FLAT
CE-16	FLAT	FLAT
CE-17	FLAT	FLAT
CE-18	FLAT	FLAT
CE-19	FLAT	FLAT
CE-20	FLAT	FLAT



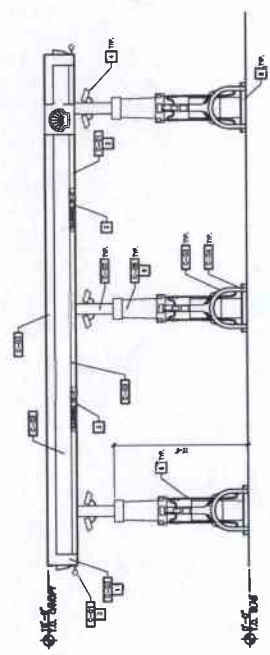
**DISPENSER ADA CREDIT CARD MACHINE DETAILS**  
SCALE: 3/16" = 1'-0"



**FRONT ELEVATION**  
SCALE: 3/16" = 1'-0"



**SIDE ELEVATION**  
SCALE: 3/16" = 1'-0"



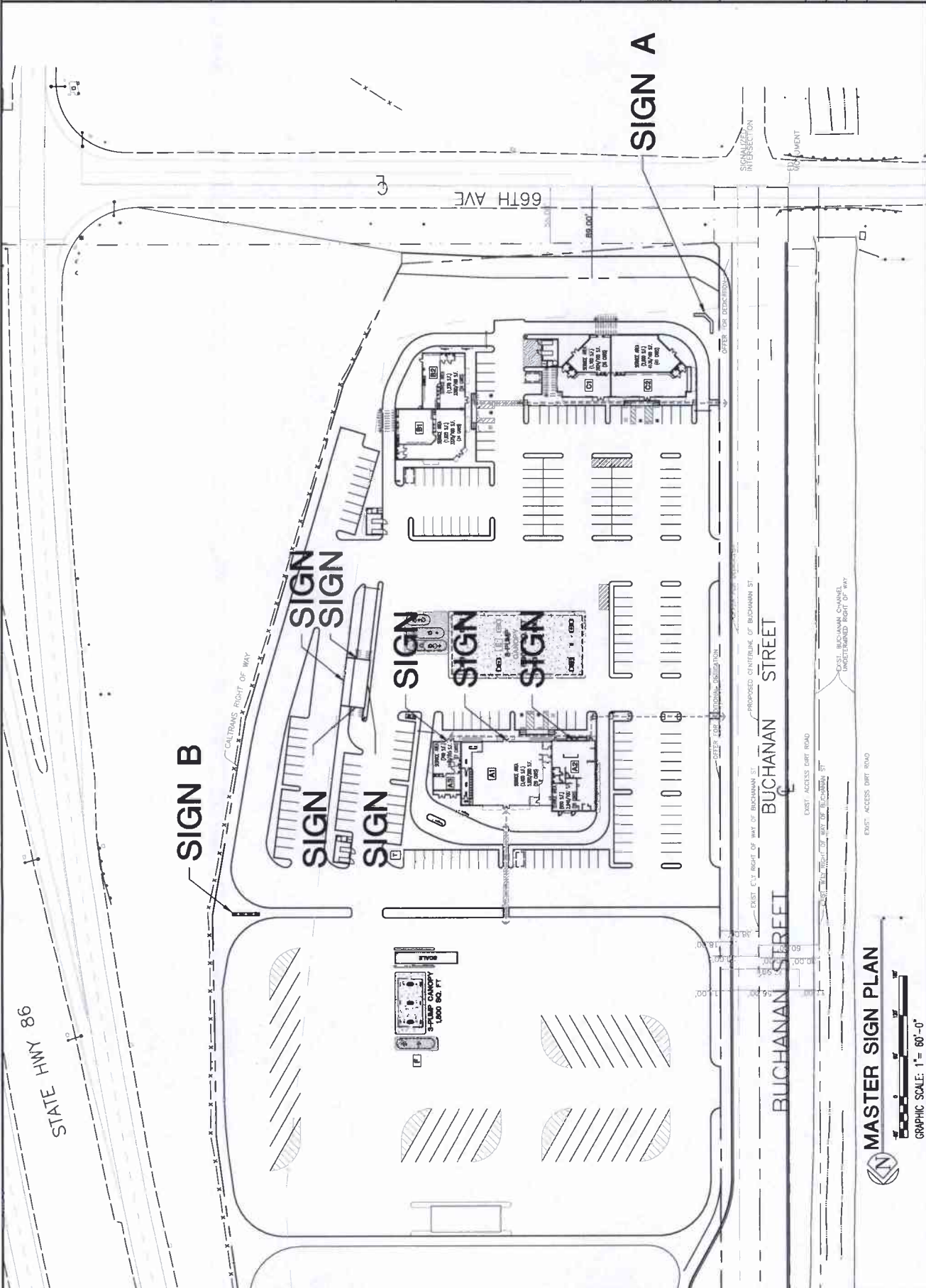
**FRONT ELEVATION**  
SCALE: 3/16" = 1'-0"

224 SOUTH JOY STREET  
 CORONA, CA 92729-1958  
 P.O. BOX 1958  
 CORONA, CA 92728-1958  
 DIRECT (951) 280-3833  
 FAX (951) 280-3833

**MASTER SITE PLAN**  
 THERMAL SERVICE STATION LP  
 COUNTY OF RIVERSIDE, CA

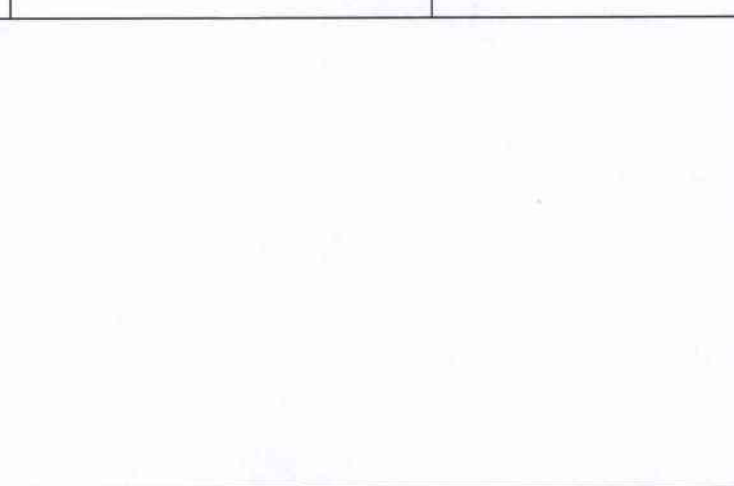
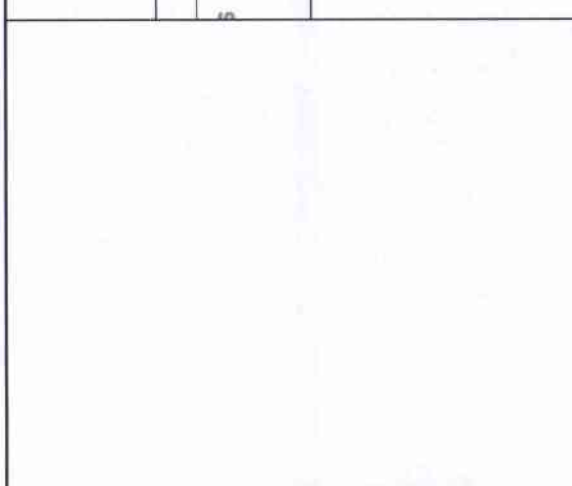
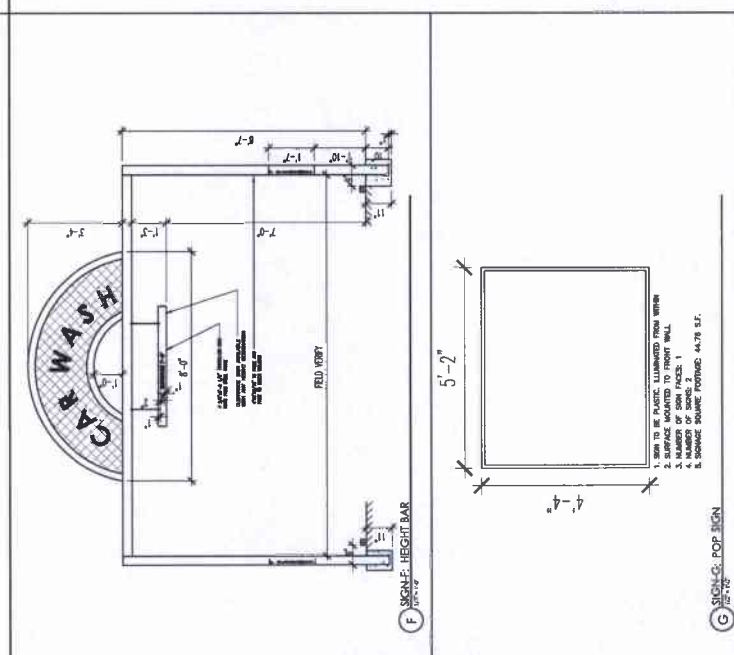
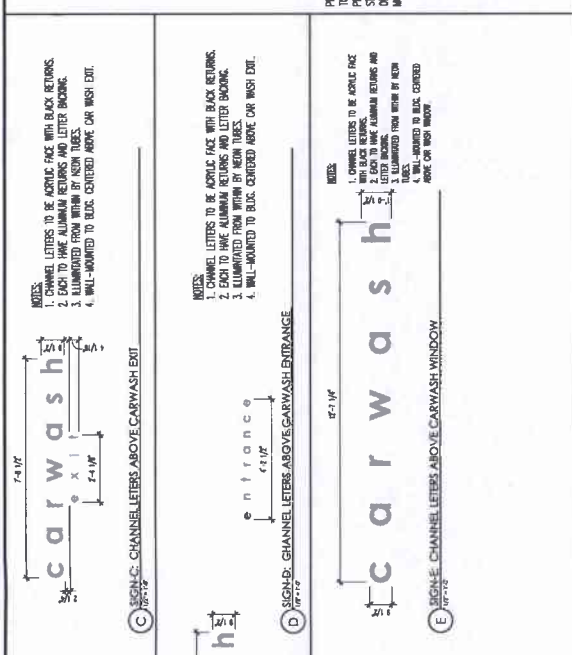
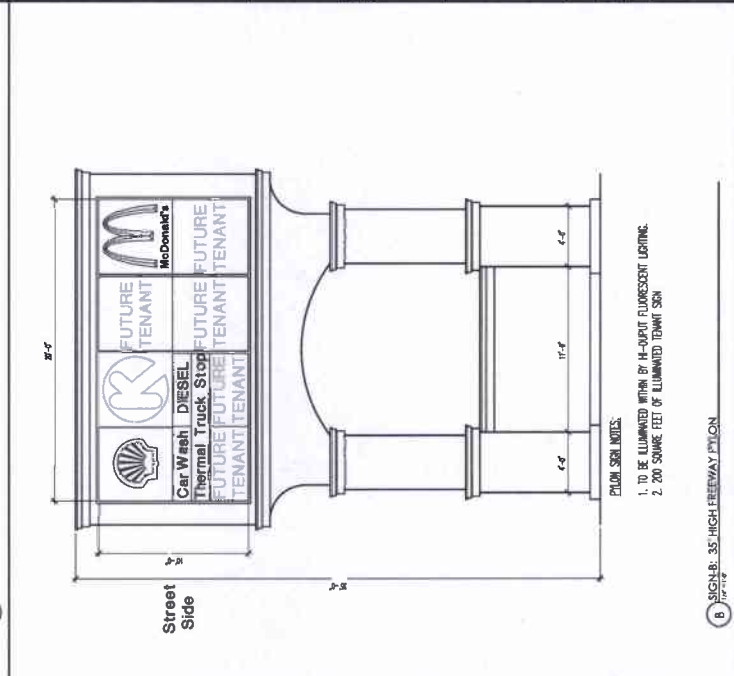
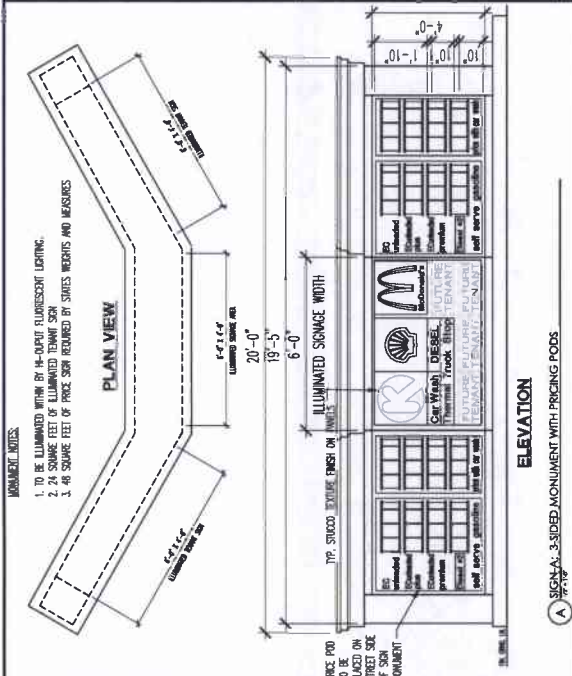
DATE	JOB NO.
04-29-14	2707
SCALE	DRAWN BY
AS SHOWN	DBT
CJP CASE NO. 03823	
DRAWING NO.	

**SNI-1**



**MASTER SIGN PLAN**  
 GRAPHIC SCALE: 1" = 60'-0"

DATE	JAN 10
SCALE	AS SHOWN
DRAWN BY	DBT
CIP CASE NO.	008823
DRAWING NO.	SN1-3



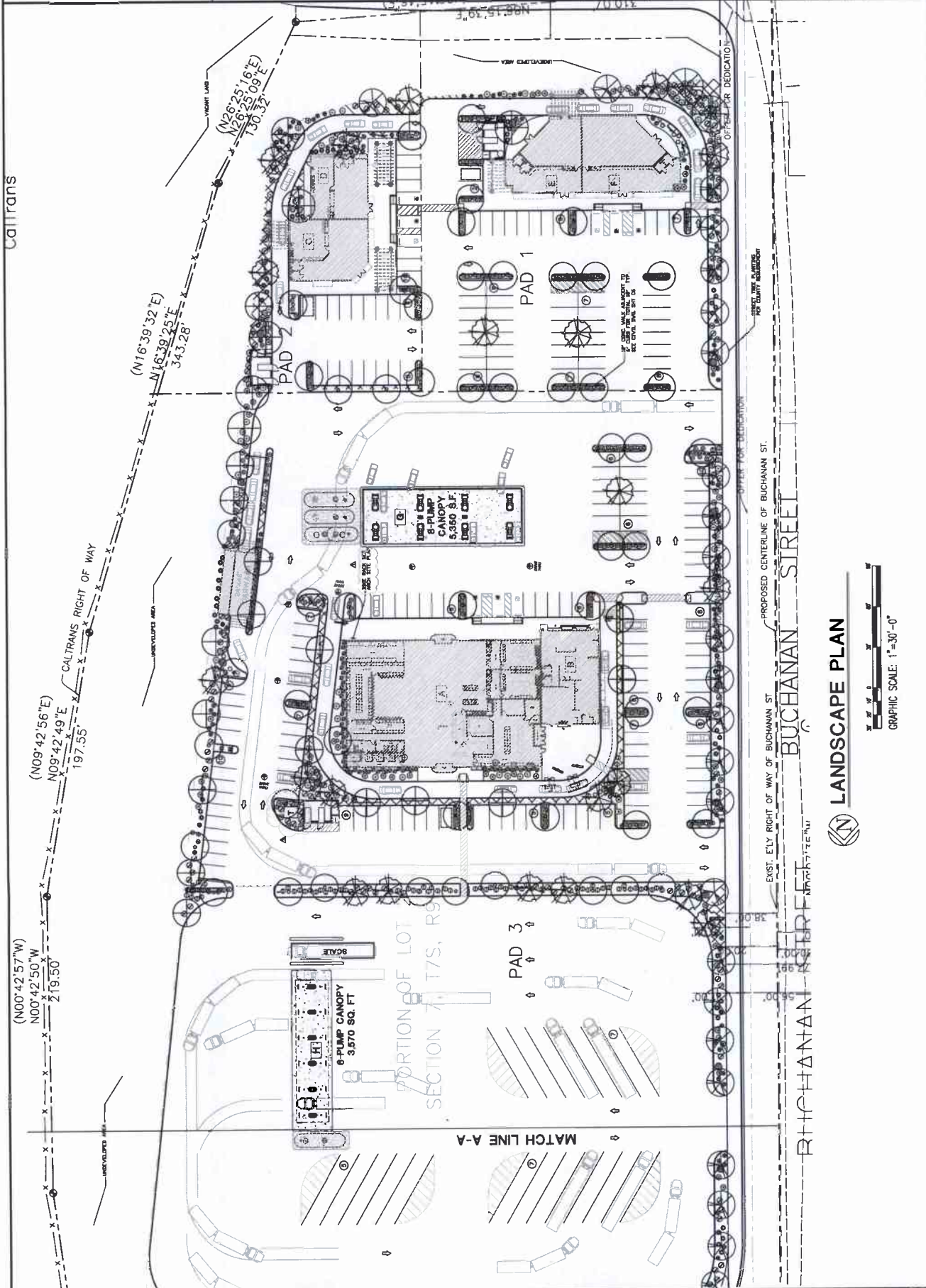
224 SOUTH JOY STREET  
CORONA, CA 92825-1958  
P.O. BOX 1958  
CORONA, CA 92878-1958  
DIRECT (951) 280-3833  
FAX (951) 280-3832

LANDSCAPE PLAN  
THERMAL SERVICE STATION, LP  
NWC HWY 88 & 88th AVE  
COUNTY OF RIVERSIDE, CA



DATE: 03-15-12  
SCALE: 1"=30'-0"  
DRAWN BY: CH  
CUP CASE NO: 03623  
DRAWING NO.:

L-1



LANDSCAPE PLAN



8875 P:\Projects\Thermal\22471-1205 Civil\Project\22471-1205-11 12413



224 SOUTH JOY STREET  
CORONA, CA 92879-1958  
P.O. BOX 1958  
CORONA, CA 92878-1958  
DIRECT (951) 280-3833  
FAX (951) 280-3833



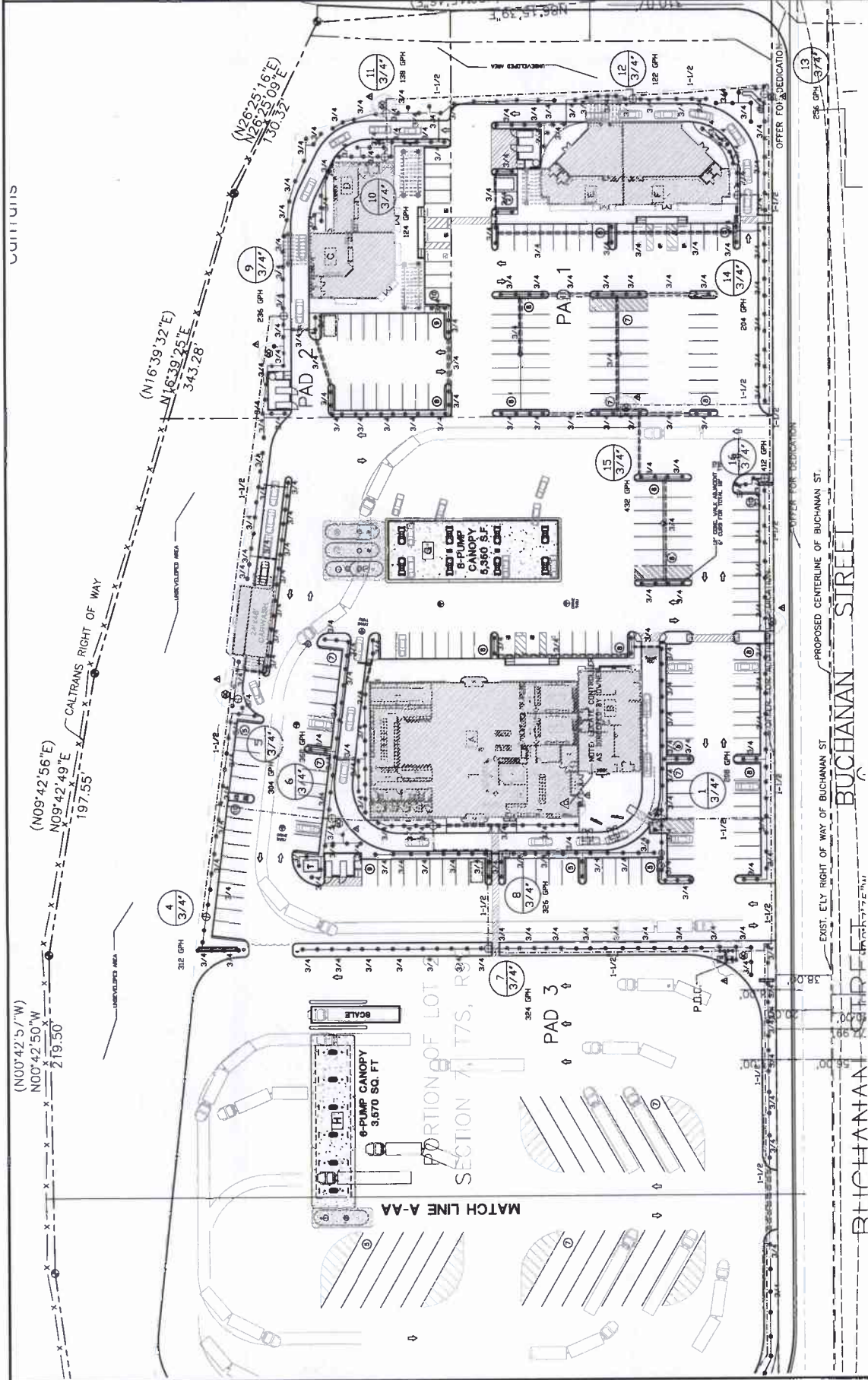
THMAL SERVICE STATION LP  
MHC HM 88 & 88B AVE  
COUNTY OF RIVERSIDE, CA

IRRIGATION PLAN



DATE: 02-15-12  
JOB NO: 27107  
DESIGNED BY: [Signature]  
DRAWN BY: [Signature]  
SCALE: 1"=30'-0"  
CIP CASE NO: 038823  
DRAWING NO.

L-2



IRRIGATION PLAN



BOUNDARIES

(N00°42'57"W)  
N00°42'50"W  
219.50'

(N09°42'56"E)  
N09°42'49"E  
197.55'

CALTRANS RIGHT OF WAY

(N16°39'32"E)  
N16°39'25"E  
343.28'

(N26°25'16"E)  
N26°25'09"E  
700.32'

MATCH LINE A-A  
SECTION 7, T7S, R9E  
PORTION OF LOT 17, R9E

EXIST. ELY RIGHT OF WAY OF BUCHANAN ST  
PROPOSED CENTERLINE OF BUCHANAN ST.

BUCHANAN STREET  
BUCHANAN STREET

OFFER FOR DEDICATION

OFFER FOR DEDICATION

OFFER FOR DEDICATION

OFFER FOR DEDICATION







# COUNTY OF RIVERSIDE

## ENVIRONMENTAL ASSESSMENT FORM: INITIAL STUDY

**Environmental Assessment (E.A.) Number:** 42166

**Project Case Type (s) and Number(s):** Change of Zone No. 7710; Conditional Use Permit No. 3623

**Lead Agency Name:** County of Riverside Planning Department

**Address:** 77588 El Duna Court, Ste. H, Palm Desert, CA 92211

**Contact Person:** Jay Olivas, Project Planner

**Telephone Number:** (760) 863-7050

**Applicant's Name:** Ino Cruz (for Thermal Service Station, LP)

**Applicant's Address:** 224 South Joy Street, Corona, CA 92879

**Engineer's Name:** Absolute Design Methods, Inc.

**Engineer's Address:** P.O. Box 1958, Corona, CA 92878

### I. PROJECT INFORMATION

**A. Project Description:** **Change of Zone No. 7710** proposes to modify the Light Agriculture – 5 Acre Minimum (A-1-5) zone to the Scenic Highway Commercial (C-P-S) zone on an existing 14 acre lot. **Conditional Use Permit No. 3623** proposes to construct and operate an automobile and truck travel center on a 14 acre site to include 13,600 square foot convenience store up to 28 feet in height with 24-hour retail sale of gasoline and diesel fuel, food/beverages, and concurrent sale of beer and wine for off-premises consumption with Type 20 ABC License (No PN&C required). Additionally, the proposed automobile and truck travel center includes 1,152 square foot car wash, 5,350 square foot gasoline canopy with eight (8) pumps, 3,570 square foot diesel fuel canopy with six (6) pumps, up to three (3) drive-thru restaurants, and two (2) sit down restaurants totaling approximately 15,905 square feet. The proposed project also includes a signage program. Total on-site parking consists of 203 vehicle spaces and 19 truck spaces. The development is proposed to be constructed in three (3) phases with separate area to remain undeveloped. Off-site access is proposed along Buchanan Street via State Highway 86 and 66<sup>th</sup> Avenue (State Highway 195). The project site is currently designated as Commercial Tourist (CT) in the General Plan and the uses proposed are consistent with this land use designation. The Buchanan Channel, an irrigation canal, is located on the west side of Buchanan Street. The project site encompasses approximately 14.0 acres on one parcel. The proposed project site is undeveloped and is located in a predominantly undeveloped desert area with some areas formally used for agriculture. Regional-scale roadways in the vicinity of the project site include Avenue 66 (State Highway 195; east-west) and State Highway 86 (north-south).

**B. Type of Project:** Site Specific ; Countywide ; Community ; Policy .

**C. Total Project Area:** 14.0 Gross Acres

Residential Acres: 0	Lots: 0	Units: 0	Projected No. of Residents: 0
Commercial Acres: 14.0	Lots: 1	Sq. Ft. of Bldg. Area: 39,577	Est. No. of Employees: 229
Industrial Acres: 0	Lots: 0	Sq. Ft. of Bldg. Area: 0	Est. No. of Employees: 0
Other:			

**D. Assessor's Parcel No(s):** 727-100-024

**E. Street References:** Northerly of Avenue 66 (State Highway 195), southerly of Avenue 65, easterly of Buchanan Street, and westerly of State Highway 86.

**F. Section, Township & Range Description or reference/attach a Legal Description:**  
Township 7 South, Range 9 East, Section 7

**Brief description of the existing environmental setting of the project site and its surroundings:**

The project site contains no existing structures or improvements. The sites elevation is approximately 180-190 feet below mean sea level, and the relatively level terrain exhibits a slight incline to the northwest. The ground surface appears to have been plowed or disked in the past, but has a substantial regrowth that is especially dense in the western and southwestern portions of the project area. The vegetation includes saltbush, cattle brush, rabbit brush, salt cedars, arrow weeds, palm trees, mesquite, and small desert shrubs and grasses. Soils are predominantly a fine, brownish-grey sandy loam with evidence of freshwater shells, typical of the Coachella Valley desert floor. A row of wooden power poles is located along the southern boundary of the project site. Currently an unpaved roadway is located along the westerly perimeter of the project site, adjacent to the County's Buchanan Channel (irrigation channel). The project site is bordered to the north by an agricultural property, which at one time was a palm tree nursery, followed by a manure farming operation. Uses to the east consist of State Highway 86 and the Mecca Travel Center (east side of State Highway 86). The Mecca Travel Center consists of a gas station/truck stop, fast-food restaurant uses, and a commercial use (Western Union office). Land uses to the south of the project site include State Highway 195 (Avenue 66) with undeveloped vacant land south of State Highway 195. Agricultural land is located to the west beyond Buchanan Channel. The project site is located within the Coachella Valley Multiple Species Conservation Plan (CVMSHCP) limits; however, it is not located within or adjacent to a designated Conservation Area. Refer to Figure 1 for the regional and project location. Refer to Figure 2 for the site plan.

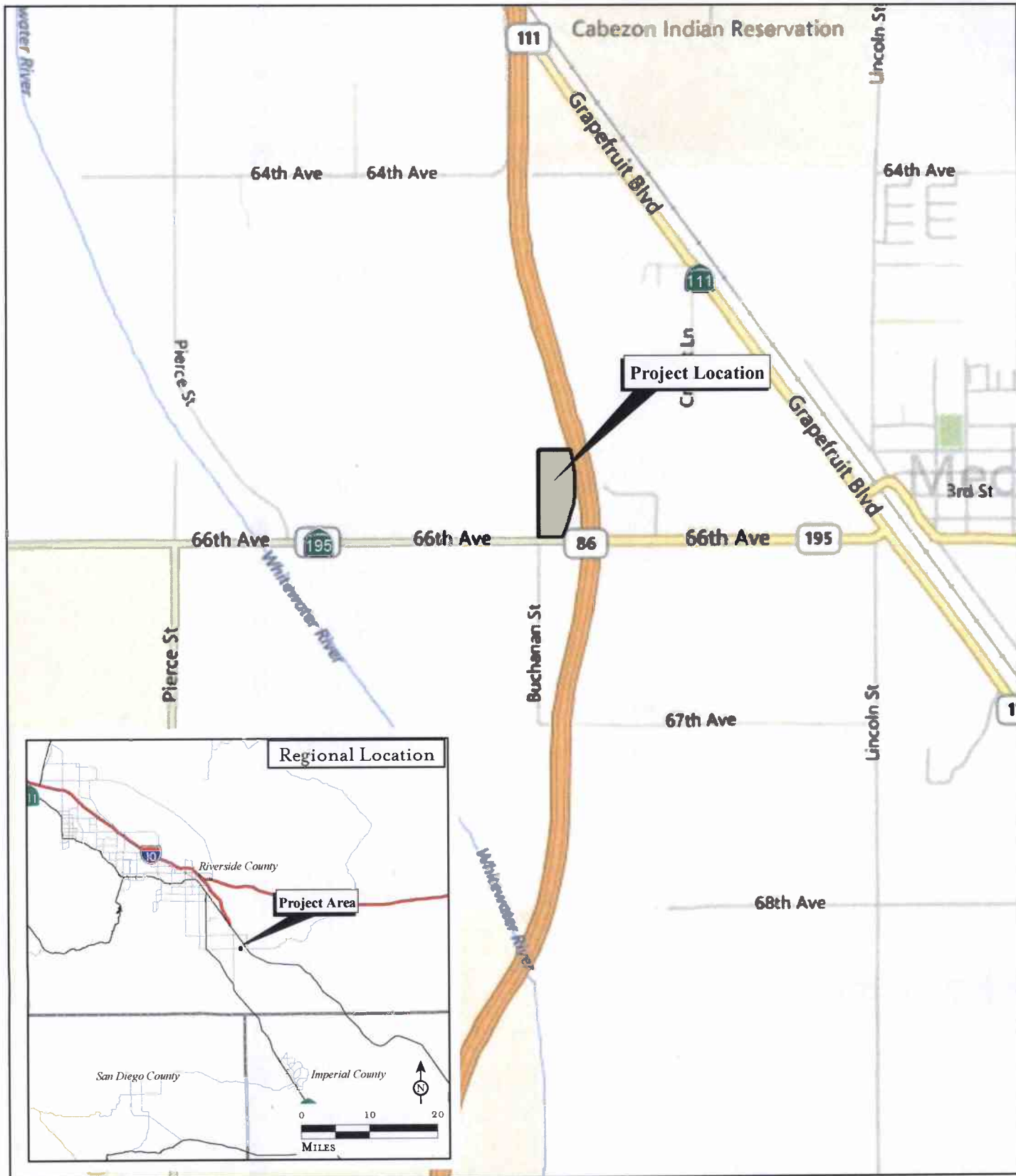
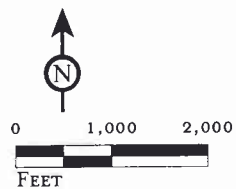


FIGURE 1

LSA



SOURCE: Bing Road Map, 2010

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*Thermal Travel Center  
Initial Study/Mitigated Negative Declaration*

Regional and Project Location

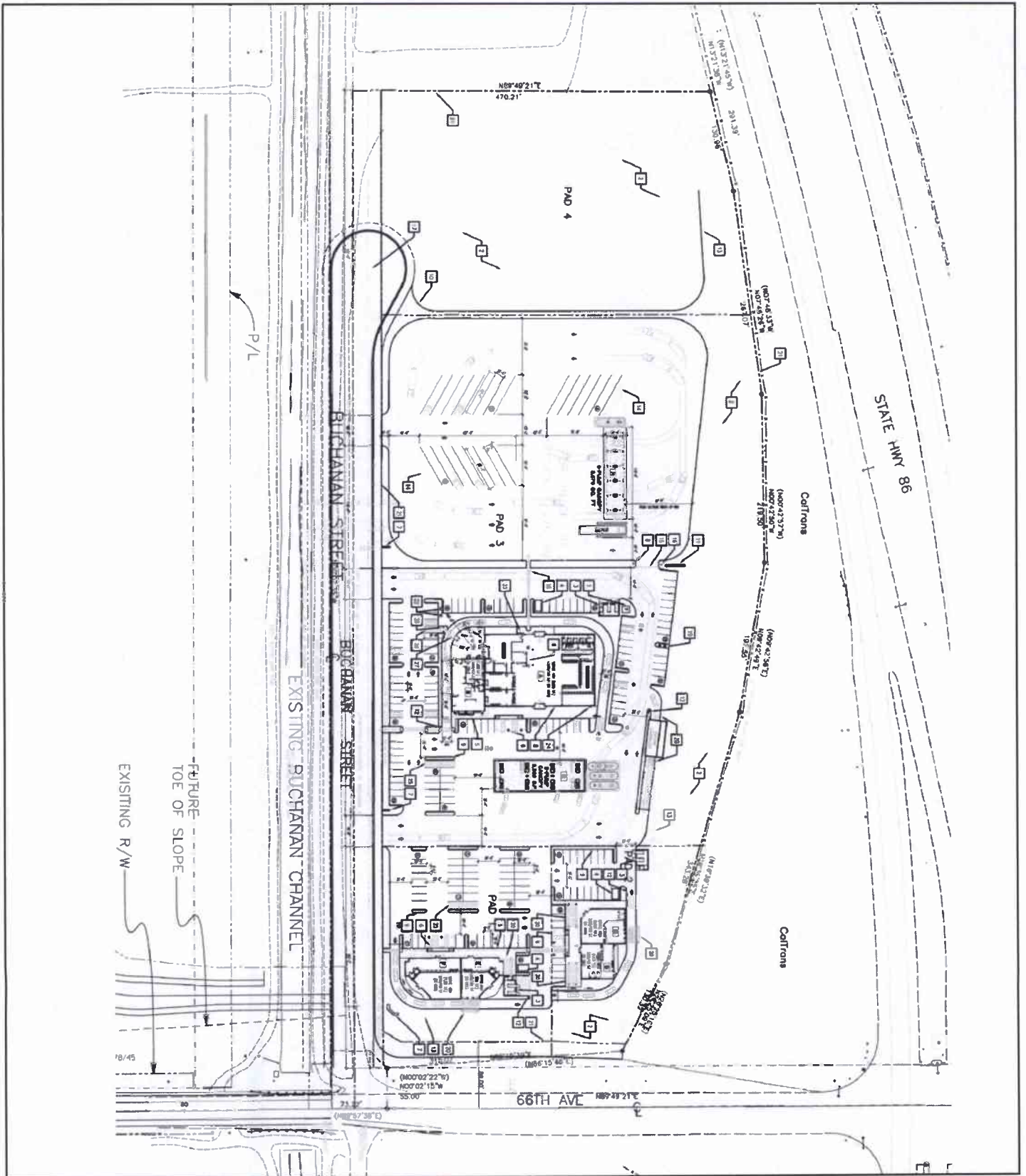
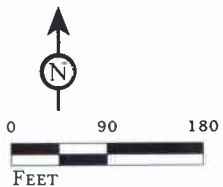


FIGURE 2

LSA



*Thermal Travel Center  
Initial Study/Mitigated Negative Declaration*

Site Plan

SOURCE: Absolute Design Methods, 7-30-12.

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## I. APPLICABLE GENERAL PLAN AND ZONING REGULATIONS

### A. General Plan Elements/Policies:

1. **Land Use:** The proposed project is located within the Commercial Tourist land use designation. The proposed project is in conformance with the Land Use Element of the General Plan.
2. **Circulation:** The project has adequate circulation to the site along Avenue 66 and includes improvements to Buchanan Street with curbs, gutters, and sidewalks and other local intersections as conditions of approval. Therefore, it is consistent with the Circulation Element of the General Plan. The proposed project meets all other applicable circulation policies of the General Plan.
3. **Multipurpose Open Space:** No natural open space land was required to be preserved within the boundaries of this project. The proposed project meets with all other applicable Multipurpose Open Space element policies.
4. **Safety:** The proposed project is located within Areas of Flooding Sensitivity (FEMA Zone D). Proposed retention basins mitigate flood impacts from the incremental increased runoff. The proposed project has allowed for sufficient provision of emergency response services to the tenants of this project through the project design and payment of development impact fees. The proposed project meets with all other applicable Safety element policies.
5. **Noise:** The project will not generate noise levels in excess of standards established in the General Plan or noise ordinance. The project meets all other applicable Noise Element Policies.
6. **Housing:** The proposed project is not subject to Housing Element Policies as no housing is proposed under this project.
7. **Air Quality:** The proposed project will not conflict with any applicable Air Quality element policies.

**B. General Plan Area Plan(s):** Eastern Coachella Valley

**C. Foundation Component(s):** Community Development

**D. Land Use Designation(s):** Commercial Tourist (0.20-0.35 FAR)

**E. Overlay(s), if any:** Not Applicable

**F. Policy Area(s), if any:** Not Applicable

**G. Adjacent and Surrounding Area Plan(s), Foundation Component(s), Land Use Designation(s), and Overlay(s) and Policy Area(s), if any:** The project site and surrounding area are all part of the Eastern Coachella Valley Area Plan. Adjacent Foundation Components consist of Community Development, Rural, and Agriculture. Land use designations to the north and south of the site consist of Commercial Tourist. Land use designations to the west of the project site consist of Agriculture. Commercial Retail designations are located to the east across State Highway 86. Lands to the northeast and

southeast across State Highway 86 are designated Rural Residential. No Area Plans are located adjacent to the site.

**H. Adopted Specific Plan Information**

- 1. Name and Number of Specific Plan, if any: Not Applicable
- 2. Specific Plan Planning Area, and Policies, if any: Not Applicable

I. Existing Zoning: Light Agriculture (A-1-5)

J. Proposed Zoning, if any: Scenic Highway Commercial (C-P-S)

K. **Adjacent and Surrounding Zoning:** The project site is surrounded by properties which are zoned Agriculture (A-1-5, A-1-10) to the north, south, and west while areas to the east are designated Agriculture (A-1-5) to the east across State Highway 86. A parcel at the junction of State Highway 86 and State Highway 195 (northeast quadrant) is zoned Scenic Highway Commercial (C-P-S).

**II. ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED**

The environmental factors checked below ( x ) would be potentially affected by this project, involving at least one impact that is a "Potentially Significant Impact" or "Less than Significant with Mitigation Incorporated" as indicated by the checklist on the following pages.

- |   |   |  |
|---|---|--|
| <input type="checkbox"/> Aesthetics                     | <input type="checkbox"/> Hazards & Hazardous Materials        | <input type="checkbox"/> Recreation                                  |
| <input type="checkbox"/> Agriculture & Forest Resources | <input checked="" type="checkbox"/> Hydrology / Water Quality | <input checked="" type="checkbox"/> Transportation / Traffic         |
| <input type="checkbox"/> Air Quality                    | <input type="checkbox"/> Land Use / Planning                  | <input type="checkbox"/> Utilities / Service Systems                 |
| <input type="checkbox"/> Biological Resources           | <input type="checkbox"/> Mineral Resources                    | <input checked="" type="checkbox"/> Other: Paleontological Resources |
| <input type="checkbox"/> Cultural Resources             | <input type="checkbox"/> Noise                                | <input type="checkbox"/> Other:                                      |
| <input checked="" type="checkbox"/> Geology / Soils     | <input type="checkbox"/> Population / Housing                 | <input type="checkbox"/> Mandatory Findings of Significance          |
| <input type="checkbox"/> Greenhouse Gas Emissions       | <input type="checkbox"/> Public Services                      |  |

**III. DETERMINATION**

On the basis of this initial evaluation:

**A PREVIOUS ENVIRONMENTAL IMPACT REPORT/NEGATIVE DECLARATION WAS NOT PREPARED**

- I find that the proposed project **COULD NOT** have a significant effect on the environment, and a **NEGATIVE DECLARATION** will be prepared.
- I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because revisions in the project, described in this document, have been made or agreed to by the project proponent. **A MITIGATED NEGATIVE DECLARATION** will be prepared.
- I find that the proposed project **MAY** have a significant effect on the environment, and an **ENVIRONMENTAL IMPACT REPORT** is required.

**A PREVIOUS ENVIRONMENTAL IMPACT REPORT/NEGATIVE DECLARATION WAS PREPARED**

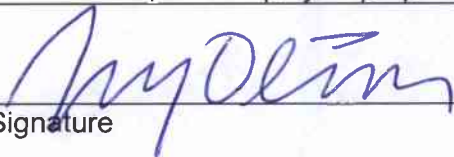
- I find that although the proposed project could have a significant effect on the environment, **NO NEW ENVIRONMENTAL DOCUMENTATION IS REQUIRED** because (a) all potentially significant effects of the proposed project have been adequately analyzed in an earlier EIR or Negative

Declaration pursuant to applicable legal standards, (b) all potentially significant effects of the proposed project have been avoided or mitigated pursuant to that earlier EIR or Negative Declaration, (c) the proposed project will not result in any new significant environmental effects not identified in the earlier EIR or Negative Declaration, (d) the proposed project will not substantially increase the severity of the environmental effects identified in the earlier EIR or Negative Declaration, (e) no considerably different mitigation measures have been identified and (f) no mitigation measures found infeasible have become feasible.

I find that although all potentially significant effects have been adequately analyzed in an earlier EIR or Negative Declaration pursuant to applicable legal standards, some changes or additions are necessary but none of the conditions described in California Code of Regulations, Section 15162 exist. An **ADDENDUM** to a previously-certified EIR or Negative Declaration has been prepared and will be considered by the approving body or bodies.

I find that at least one of the conditions described in California Code of Regulations, Section 15162 exist, but I further find that only minor additions or changes are necessary to make the previous EIR adequately apply to the project in the changed situation; therefore a **SUPPLEMENT TO THE ENVIRONMENTAL IMPACT REPORT** is required that need only contain the information necessary to make the previous EIR adequate for the project as revised.

I find that at least one of the following conditions described in California Code of Regulations, Section 15162, exist and a **SUBSEQUENT ENVIRONMENTAL IMPACT REPORT** is required: (1) Substantial changes are proposed in the project which will require major revisions of the previous EIR or negative declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; (2) Substantial changes have occurred with respect to the circumstances under which the project is undertaken which will require major revisions of the previous EIR or negative declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; or (3) New information of substantial importance, which was not known and could not have been known with the exercise of reasonable diligence at the time the previous EIR was certified as complete or the negative declaration was adopted, shows any the following:(A) The project will have one or more significant effects not discussed in the previous EIR or negative declaration;(B) Significant effects previously examined will be substantially more severe than shown in the previous EIR or negative declaration;(C) Mitigation measures or alternatives previously found not to be feasible would in fact be feasible, and would substantially reduce one or more significant effects of the project, but the project proponents decline to adopt the mitigation measures or alternatives; or,(D) Mitigation measures or alternatives which are considerably different from those analyzed in the previous EIR or negative declaration would substantially reduce one or more significant effects of the project on the environment, but the project proponents decline to adopt the mitigation measures or alternatives.



Signature

April 28, 2014

Date

Jay Olivas, Project Planner

Printed Name

For Juan C. Perez, Interim Planning Director

#### IV. ENVIRONMENTAL ISSUES ASSESSMENT

In accordance with the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000-21178.1), this Initial Study has been prepared to analyze the proposed project to determine any potential significant impacts upon the environment that would result from construction and implementation of the project. In accordance with California Code of Regulations, Section 15063, this Initial Study is a preliminary analysis prepared by the Lead Agency, the County of Riverside, in consultation with other jurisdictional agencies, to determine whether a Negative Declaration, Mitigated Negative Declaration, or an Environmental Impact Report is required for the proposed project. The purpose of this Initial Study is to inform the decision-makers, affected agencies, and the public of potential environmental impacts associated with the implementation of the proposed project.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>AESTHETICS</b> Would the project				
<b>1. Scenic Resources</b>				
a) Have a substantial effect upon a scenic highway corridor within which it is located?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings and unique or landmark features; obstruct any prominent scenic vista or view open to the public; or result in the creation of an aesthetically offensive site open to public view?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan Figure C-9 "Scenic Highways"

Findings of Fact:

- a) The project site is located along Avenue 66 (State Highway 195) and Buchanan Street and is adjacent and west of State Highway 86. None of these highways or roadways are designated as a scenic highway corridor nor are any of these highways or roadways eligible for designation as a scenic highway corridor. The nearest officially designated State Scenic Highway is State Route 74 (SR-74) located approximately 18 miles west of the project site east of the San Jacinto and Santa Rosa Mountains. State Route 111 (SR-111) is identified as an Eligible State Scenic Highway and is located approximately 0.8 mile east of the project site. While eligible scenic highways are located in the vicinity of the project site, development of the project site with the proposed uses would not affect views or scenery that are afforded from this highway. Therefore, there would be no impact.
- b) Development of the proposed project will not substantially damage scenic resources, including, but not limited to, trees, rock outcroppings and unique or landmark features, or obstruct a prominent scenic vista or view open to the public, as these features do not exist on the project site. The project incorporates a variety of colors, textures, and attractive architectural features. The project would not result in the development of an aesthetically offensive site open to public view as the project would include a landscape plot plan indicated by Condition of Approval (COA) 80.Planning.28, screening of mechanical equipment (COA 90.Planning.13), trash enclosures (COA 90.Planning.20), project signage (COA 10.Planning.48) and placement of utilities underground (COA 90.Planning.15). The project also incorporates the County's Mecca Design Guidelines<sup>1</sup> including design features such as

<sup>1</sup> Mecca Design Guidelines, Riverside County Planning Department, adopted July 21, 2009.



Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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varied rooflines. Because the proposed project would not cause significant impact to designated scenic resources, impacts associated with this issue are less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**2. Mt. Palomar Observatory**

a) Interfere with the nighttime use of the Mt. Palomar Observatory, as protected through Riverside County Ordinance No. 655?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Source: GIS database, Ord. No. 655 (Regulating Light Pollution)

Findings of Fact:

a) Riverside County Ordinance 655 restricts the permitted use of certain light fixtures emitting light into the night sky that may have a detrimental effect on astronomical observation and research. This ordinance establishes two zones: Zone A is the area within a 15-mile radius of Palomar Observatory; Zone B is the area that extends from the outer limit of Zone A to 45 miles from Palomar Observatory. The project site is located approximately 46.8 miles from Mt. Palomar Observatory and is not located within Zone B established by Ordinance No. 655. The proposed project does not have the potential to interfere with activities of the Observatory. Therefore, there would be no impact.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation measures are required.

**3. Other Lighting Issues**

a) Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Expose residential property to unacceptable light levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: On-site Inspection, Project Application Description

Findings of Fact:

a) Development of the project site would create a new source of light with a new occupancy as a travel center; however, any new source of light is not anticipated to reach a significant level due to the size and scope of the project. Construction is not anticipated to occur at night; therefore, no construction lighting at night is required. There are no residential properties located adjacent to the project site. The project is required to adhere to Section 8.80.050 of the County's Municipal Code which establishes standards for outdoor lighting. Therefore, any existing or new lighting is conditioned to be hooded thereby reducing any lighting impacts to less than significant (Condition of Approval [COA] 10.Planning.3). Furthermore, the project site

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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plan is designed with landscaped setbacks in accordance with the County Development Code which would further reduce light interference to adjacent properties. Glare that may reflect off of reflective materials are not expected to adversely affect daytime views in the area. Impacts are less than significant.

- b) Surrounding adjacent land uses include roadways and vacant land. There is an existing travel center located east of State Highway 86. There are no residential uses in the project vicinity. The amount of light that will be created is consistent with existing levels that exist in the project area (specifically at the existing travel center east of State Highway 86) and is not considered substantial; therefore, surrounding properties will not be exposed to unacceptable light levels. Impacts to light levels are considered less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**AGRICULTURE & FOREST RESOURCES** Would the project

**4. Agriculture**

a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland) as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Conflict with existing agricultural zoning, agricultural use or with land subject to a Williamson Act contract or land within a Riverside County Agricultural Preserve?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Cause development of non-agricultural uses within 300 feet of agriculturally zoned property (Ordinance No. 625 "Right-to-Farm")?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan Figure OS-2 "Agricultural Resources," GIS database, California Department of Conservation Farmland Mapping and Monitoring Program, and Project Application Materials

Findings of Fact:

- a-b) Important farmland maps are compiled by the California Department of Conservation, Farmland Mapping and Monitoring Program (FMMP), pursuant to the provisions of Section 65570 of the California Government Code. These maps utilize data from the United States Department of Agriculture (USDA), Natural Resources Conservation Service (NRCS) soil survey, and current land use information using eight mapping categories and represent an inventory of agricultural resources within the State. The maps depict currently urbanized lands and a qualitative sequence of agricultural designations. Maps and statistics are produced biannually using a process that integrates aerial photo interpretation, field

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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mapping, a computerized mapping system, and public review. Mapping of County farmland categories is conducted every two years.

Based on the FMMP, the project site is mapped as Farmland of Local Importance. Therefore, the proposed project will not result in the conversion of land designated as Prime, Unique, or Statewide Important Farmland. Because the proposed project will not result in the conversion of land designated as Prime, Unique, or Statewide Important Farmland, no impact will result from implementation of the proposed project.

While the project site is zoned for agricultural use (A-1-5), there is no Williamson Act contract in effect. The proposed project would not affect land under an existing Williamson Act contract. Therefore, there would be no impact.

- c-d) The project site is currently zoned for agricultural use (A-1-5) as well as the land adjacent to the project site (A-1-10). However, there is no existing active agricultural activity currently occurring on the project site nor is there existing active agricultural activity occurring on adjacent sites. Furthermore, the existing zoning designation does allow for the development of other uses on the project site, including but not limited to, public parks and golf courses, mining operations, churches, temples libraries, etc. Ordinance No. 625 ("Right-to-Farm") provides a nuisance defense for certain agricultural activities, operations, and facilities. The Ordinance defines "agricultural activity, operation, or facility, or appurtenances thereof" as including, but not limited to,

*"the cultivation and tillage of the soil, dairying, the production, cultivation, growing, and harvesting of any agricultural commodity, including timber, viticulture, apiculture, or horticulture, the raising of livestock, fur bearing animals, fish, or poultry, and any practices performed by a farmer or on a farm as incident to or in conjunction with such farming operations, including preparation for market, delivery to storage or to market, or to carriers for transportation to market."*

Development of the project site would not result in the loss of an existing agricultural activity as no agricultural activity is currently occurring on the project site. As previously noted, there is no existing active agricultural activity occurring on adjacent sites. Based on the definition of what constitutes "agricultural activity, operation, or facility, or appurtenances thereof," as defined in Ordinance No. 625, no lands within 300 feet of the project site are involved in agricultural activity, operation, or contain agricultural facilities; therefore, implementation of the proposed project would not conflict with the provisions stipulated in Riverside County Ordinance No. 625. Impacts are less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>5. Forest</b>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a) Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code section 12220(g)), timberland (as defined by Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Govt. Code section 51104(g))?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Result in the loss of forest land or conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure OS-3 "Parks, Forests and Recreation Areas," and Project Application Materials.

Findings of Fact:

- a) The project is not located within the boundaries of a forest land (as defined in Public Resources Code section 12220(g)), timberland (as defined by Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Govt. Code section 51104(g)). Therefore, the proposed project will not impact land designated as forest land, timberland, or timberland zoned Timberland Production.
- b) According to General Plan, the project is not located within forest land and will not result in the loss of forest land or conversion of forest land to non-forest use; therefore, no impact will occur as a result of the proposed project.
- c) The project will not involve other changes in the existing environment which, due to their location or nature, could result in conversion of forest land to non-forest use. No impact would occur.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

<b>AIR QUALITY</b> Would the project	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>6. Air Quality Impacts</b>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a) Conflict with or obstruct implementation of the applicable air quality plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Violate any air quality standard or contribute substantially to an existing or projected air quality violation?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Expose sensitive receptors which are located within 1 mile of the project site to project substantial point source emissions?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>