

RIVERSIDE COUNTY PLANNING DEPARTMENT

Juan C. Perez
Interim Planning Director

DATE: July 8, 2014

TO: Clerk of the Board of Supervisors

FROM: Planning Department - Riverside Office *D.M.*

SUBJECT: Tentative Parcel Map No. 36161 and Plot Plan No. 24054 (FTA 2009-01)
(Charge your time to these case numbers)

The attached item(s) require the following action(s) by the Board of Supervisors:

- | | |
|---|--|
| <input type="checkbox"/> Place on Administrative Action (Receive & File: EOT) | <input checked="" type="checkbox"/> Set for Hearing (Legislative Action Required; CZ, GPA, SP, SPA) |
| <input type="checkbox"/> Labels provided If Set For Hearing | <input checked="" type="checkbox"/> Publish in Newspaper: |
| <input type="checkbox"/> 10 Day <input type="checkbox"/> 20 Day <input type="checkbox"/> 30 day | (3rd Dist) Press Enterprise |
| <input type="checkbox"/> Place on Consent Calendar | <input checked="" type="checkbox"/> No New Environmental Documentation Required |
| <input type="checkbox"/> Place on Policy Calendar (Resolutions, Ordinances, PNC) | <input checked="" type="checkbox"/> 10 Day <input type="checkbox"/> 20 Day <input type="checkbox"/> 30 day |
| <input type="checkbox"/> Place on Section Initiation Proceeding (GPIP) | <input type="checkbox"/> Notify Property Owners (app/agencies/property owner labels provided) |
| | Controversial: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO |

Designate Newspaper used by Planning Department for Notice of Hearing:
(3rd Dist) Press Enterprise/The Californian

Documents to be sent to County Clerk's Office for Posting within five days:

Notice of Determination
Fish & Game Receipt (CFG05254)

Riverside Office · 4080 Lemon Street, 12th Floor
P.O. Box 1409, Riverside, California 92502-1409
(951) 955-3200 · Fax (951) 955-1811

Desert Office · 38686 El Cerrito Road
Palm Desert, California 92211
(760) 863-8277 · Fax (760) 863-7555

"Planning Our Future... Preserving Our Past"

**SUBMITTAL TO THE BOARD OF SUPERVISORS
COUNTY OF RIVERSIDE, STATE OF CALIFORNIA**



FROM: TLMA – Planning Department

SUBMITTAL DATE:
July 8, 2014

SUBJECT: TENTATIVE PARCEL MAP NO. 36161 and PLOT PLAN NO. 24054 (FTA 2009-01) – No New Environmental Documentation Required – Applicant: Suzanne Scarborough (Pinnacle Hotels USA) – Third/Third Supervisorial District - Location: southerly of Flossie Way, easterly of Pourroy Road, and westerly of Winchester Road (Highway 79) – REQUEST: The Tentative Parcel Map is a Schedule “E” subdivision of 23.66 acres into six (6) parcels ranging in size from 0.79 to 7.70 acres, for commercial purposes. The Plot Plan proposes a 160,680 square foot commercial center consisting of a drug store, bank, gas station/convenience store, day care facility, market, restaurants, and retail uses in buildings ranging from 3,000 to 55,000 square feet with 1,014 parking spaces. The project proposes to be constructed in three (3) phases.

RECOMMENDED MOTION: That the Board of Supervisors:

- FIND THAT NO NEW ENVIRONMENTAL DOCUMENTS ARE REQUIRED** because all potentially significant effects on the environment have been adequately analyzed in the previously adopted Mitigated Negative Declaration, based on the findings and conclusions in Environmental Assessment No. 41906, pursuant to applicable legal standards and have been avoided or mitigated pursuant to the earlier MND, and none of the conditions described in CEQA Guidelines Section 15162 exist based on the findings and conclusions set forth in the attached staff report; and,

JCP:dm

Juan C. Perez, TLMA Director /
Interim Planning Director

FINANCIAL DATA	Current Fiscal Year:	Next Fiscal Year:	Total Cost:	Ongoing Cost:	POLICY/CONSENT (per Exec. Office)
COST	\$ N/A	\$ N/A	\$ N/A	\$ N/A	Consent <input type="checkbox"/> Policy <input type="checkbox"/>
NET COUNTY COST	\$ N/A	\$ N/A	\$ N/A	\$ N/A	
SOURCE OF FUNDS: DBF				Budget Adjustment: N/A	
				For Fiscal Year:	N/A

C.E.O. RECOMMENDATION:

County Executive Office Signature

MINUTES OF THE BOARD OF SUPERVISORS

FORM APPROVED COUNTY COUNSEL
BY: MICHELLE CLACK
DATE: 7/13/14

Departmental Concurrence

- A-30
- 4/5 Vote
- Positions Added
- Change Order

Prev. Agn. Ref.:

District:3/3

Agenda Number:

**SUBMITTAL TO THE BOARD OF SUPERVISORS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA
FORM 11: TENTATIVE PARCEL MAP NO. 36161 and PLOT PLAN NO. 24054 (FTA 2009-01)**

DATE: July 8, 2014

PAGE: Page 2 of 2

APPROVE TENTATIVE PARCEL MAP NO. 36161, subject to the attached conditions of approval, and based upon the findings and conclusions incorporated in the staff report; and,

APPROVE PLOT PLAN NO. 24054, subject to the attached conditions of approval, and based upon the findings and conclusions incorporated in the staff report.

BACKGROUND:

Summary

General Plan Amendment (GPA) No. 1050 was submitted to the Planning Department on March 12, 2008, and was subsequently initiated by the Riverside County Board of Supervisors on September 16, 2008. Change of Zone (CZ) No. 7709, Tentative Parcel Map (PM) No. 36161 and Plot Plan (PP) No. 24054 were submitted to the Planning Department on April 6, 2009, to join together with the initiated GPA.

The GPA proposed to amend the site's existing General Plan Land Use designation from Community Development: Low Density Residential (CD: LDR) (½ Acre Minimum) to Community Development: Commercial Retail (CD: CR) (0.20-0.35 Floor Area Ratio), and the CZ proposed to change the site's zoning classification from Rural Residential (R-R) to General Commercial (C-1/C-P).

All four applications were heard by the Planning Commission on August 19, 2009, where they were subsequently continued to the September 30, 2009 Commission hearing. At that hearing, the Commission recommended approval of the GPA and CZ, but the PM and PP were continued off-calendar until department corrections were addressed and the site plan was cleared by all departments.

The GPA and CZ were moved forward to be heard by the Board of Supervisors on January 12, 2010, where the two applications were tentatively approved by the Board. The final adoptions of the GPA and zoning ordinance for the CZ have been held in abeyance until the PM and PP can be considered by the Board.

The applicant is now ready to move forward with the PP and PM actions. This project meets the Fast Track criteria due to its potential to create full time jobs (estimated 130), significant capital investments and annual taxable sales. The PP and PM are therefore coming directly to the Board for consideration. Should the Board approve this project, the resolution approving the GPA and the zoning ordinance for the CZ will be brought to the Board for final action.

Staff has also included conditions that require the General Plan Amendment No. 1050 and Change of Zone No. 7709 to be adopted by the Board of Supervisors prior to recordation of Tentative Parcel Map No. 36161 (50.PLANNING.2) and prior to the issuance of a building permit for PP24054 (80.PLANNING.23).

Impact on Citizens and Businesses

The impacts of this project have been evaluated through the environmental review and public hearing process by Planning staff.



RIVERSIDE COUNTY
Economic Development Agency

Fast Track Authorization

Case No.: _____

FTA No. 2009-01

SUPERVISOR: Jeff Stone

SUPERVISORIAL DISTRICT: 3

Company/Developer: Pinnacle Plaza at Winchester

Contact: Suzanne Scarborough

Address: 8369 Vicker Street, Suite 101, San Diego, CA 92111

Phone: (858) 974-8201

Fax: (858) 974-8203

Email: sscarborough@pinnaclehotelsusa.com

Architectural Firm: Smith Consulting Architect MCG Architecture

Contact: Norman Barrett Page Winkler

Address: 12220 El Camino Real, Suite 200, San Diego, CA 92130 18201 Von Karmann Ave, Suite 250, Irvine, CA 92612

Phone: (858) 793-4777 949-553-1117

Fax: (858) 793-4787

Email: norman@sca-sd.com pwinkler@mcgarchitecture.com

Engineering Firm: JLC Engineering

Contact: Joe Castaneda

Address: 40040 Coliseum Way, Murrieta, CA 92562

Phone: (951) 304-9552

Fax: (951) 304-3568

Email: joe@jlcengineering.net

Land Use Application(s): General Plan Amendment Conditional Use Permit Change of Zone

Plot Plan Parcel Map Other _____

Site Information:

Assessor's Parcel Number(s) 476-010-015; -016; -017

Cross Streets/Address Pourroy/Abelia and Winchester Road

Land Use Designation LDR

Zoning R-R

Site Acreage 23.66

Redevelopment Project Area/Sub-Area N/A

Unincorporated Community French Valley

Project Information (Estimate Amounts):

Eligibility Criteria Full Time Jobs Capital Investment Annual Taxable Sales Board of Supervisors Child Care

Workforce Housing Other _____

Permanent Full-Time Jobs 130

Wages per Hour \$10-50

Construction Jobs 50

Capital Investment \$39,500,000

Taxable Sales \$46,500,000

Bldg Size 160,680

Project Type

Commercial

Industrial

Office

Residential

Other Day Care Facility

Industrial Classification N/A

Commercial Classification Community Shopping Center

Project Description:

The Pinnacle Plaza at Winchester development includes a commercial retail center with a drugstore, bank, gas station, and day care center.

The Economic Development Agency (EDA) hereby acknowledges that the above referenced development warrants special consideration relative to the permit processing as required by the County of Riverside, and encourages the affected County agencies to immediately institute "FAST TRACK" procedures to enable the project to proceed as soon as possible, in accordance with Board Fast Track Policy A-32. *This Authorization contains preliminary project information and serves as a basis for determining "FAST TRACK" eligibility. During the county's development review process, the proposed project size and configuration may be altered.

Robin Zimpfer
Robin Zimpfer, Assistant County Executive Director/EDA

1/8/09
Date

Agenda Item No.:
Area Plan: Southwest
Zoning Area: Rancho California
Supervisory District: Third/Third
Project Planner: H. P. Kang
Board of Supervisors: August 5, 2014
Continued From PC: September 30, 2009 &
August 19, 2009

TENTATIVE PARCEL MAP NO. 36161
PLOT PLAN NO. 24054
(FAST TRACK NO. 2009-01)
Environmental Assessment Number: 41906
Applicant: Pinnacle Winchester
Engineer/Representative: Pinnacle Winchester

COUNTY OF RIVERSIDE PLANNING DEPARTMENT STAFF REPORT

PROJECT DESCRIPTION AND LOCATION:

The Tentative Parcel Map is a Schedule "E" subdivision of 23.66 acres into six (6) parcels ranging in size from 0.79 to 7.70 acres, for commercial purposes.

The Plot Plan proposes a 160,680 square foot commercial center consisting of drugstore, bank, gas station/convenience store, day care facility, market, restaurants, and retail uses in buildings ranging from 3,000 to 55,000 square feet with 1,014 parking spaces. The project proposes to be constructed in three (3) phases.

The project is located southerly of Flossie Way, easterly of Pourroy Road, and westerly of Winchester Road (Highway 79).

BACKGROUND:

General Plan Amendment (GPA) No. 1050 was submitted to the Planning Department on March 12, 2008, and was subsequently initiated by the Riverside County Board of Supervisor's on September 16, 2008. Change of Zone (CZ) No. 7709, Tentative Parcel Map (PM) No. 36161 and Plot Plan (PP) No. 24054 were submitted to the Planning Department on April 6, 2009 to join together with the initiated GPA.

The GPA proposed to amend the site's existing General Plan Land Use designation from Community Development: Low Density Residential (CD: LDR) (½ Acre Minimum) to Community Development: Commercial Retail (CD: CR) (0.20-0.35 Floor Area Ratio), and the CZ proposed to change the site's zoning classification from Rural Residential (R-R) to General Commercial (C-1/C-P).

All four applications were heard by the Planning Commission on August 19, 2009, where they were subsequently continued to the September 30, 2009 Commission hearing. At that hearing, the Commission took action on the GPA and CZ, but the PM and PP were continued off-calendar until department corrections were addressed and the site plan was signed off by all departments.

The GPA and CZ were moved forward to be heard by the Board of Supervisors on January 12, 2010, to give the applicant the ability to secure funding to continue the project, where those two applications were tentatively approved and the mitigated negative declaration (which covered all 4 applications) was adopted by the Board. The final adoptions of the GPA and CZ have been held in abeyance until the PM and PP can "catch up" with the two applications tentatively approved by the Board on January 12, 2010.

Subsequent to the Planning Commission's continuance of the PM and PP, in September 2009, the Board of Supervisors have modified the County's Fast Track Policies and therefore, the PM and PP will not be taken back to the Planning Commission, but instead be scheduled directly with the Board of Supervisors.

SUMMARY OF FINDINGS:

1. Proposed (Tentatively Approved) General Plan Land Use (Ex. #6): Community Development: Commercial Retail (CD:CR) (0.20-0.35 Floor Area Ratio)
2. Surrounding General Plan Land Use (Ex. #6): North: Rural: Rural Residential (R: RR) (5 Acre Minimum)
East: Community Development: Medium Density Residential (CD: MDR) (2-5 Dwelling Units Per Acre) and Open Space: Conservation (OS: C)
South: Community Development: Medium Density Residential (CD:M DR) (2-5 Dwelling Units Per Acre) and Open Space: Conservation (OS: C)
West: Community Development: Low Density Residential (CD: LDR) (½ Acre Minimum)
3. Proposed (Tentatively Approved) Zoning (Ex. #3): General Commercial (C-1/C-P)
4. Surrounding Zoning (Ex. #3): North: Rural Residential (R-R)
East: Specific Plan (SP) SP No. 286 (Winchester 1800)
South: Rural Residential (R-R) and Specific Plan (SP) SP No. 286 (Winchester 1800)
West: Rural Residential (R-R) and One-Family Dwellings (R-1)
5. Existing Land Use (Ex. #1): Vacant
6. Surrounding Land Use (Ex. #1): North: Scattered Single Family Residential and Vacant
East: Vacant
South: Vacant
West: Single Family Residential and Vacant
7. Project Data: Total Acreage: 23.66
Total Proposed Lots: 6
Proposed Min. Lot Size: 0.82 Acres
Schedule: "E"
8. Environmental Concerns: No Further Environmental Documentation is Required pursuant to CEQA Guidelines Section 15162.

RECOMMENDATIONS:

FIND THAT NO NEW ENVIRONMENTAL DOCUMENTS ARE REQUIRED because all potentially significant effects on the environment have been adequately analyzed in the earlier adopted Mitigated Negative Declaration based on the findings and conclusions in Environmental Assessment No. 41906 pursuant to the applicable legal standards and have been avoided or mitigated pursuant to that earlier MND, and none of the conditions described in CEQA Guidelines Section 15162 exist based on the findings and conclusions set forth herein; and,

APPROVE TENTATIVE PARCEL MAP NO. 36161, subject to the attached conditions of approval, and based upon the findings and conclusions incorporated in the staff report; and,

APPROVE PLOT PLAN NO. 24054, subject to the attached conditions of approval, and based upon the findings and conclusions incorporated in the staff report.

FINDINGS: The following findings are in addition to those incorporated in the summary of findings, which is incorporated herein by reference.

1. The project site is currently designated as Community Development: Low Density Residential (CD: LDR) (½ Acre Minimum) on the Southwest Area Plan, and is located within the Highway 79 Policy Area. The policies within this Policy Area, in general, address overall trip generation reduction for residential development; and therefore do not directly affect this project.
2. The project site is tentatively designated as Community Development: Commercial Retail (CD: CR) (0.20-0.35 Floor Area Ratio.) on the Southwest Area Plan; per the Board's action on January 12, 2010.
3. According to the General Plan, Commercial Retail uses will be permitted based on their compatibility with surrounding land uses. This proposed neighborhood commercial center is compatible with surrounding residential uses as it proposes to serve local residents by providing commercial services, as well as expanding basic employment job opportunities (jobs that contribute directly to the County's economic base) that would improve the ratio of jobs-to-workers in the County.
4. The proposed use, a 160,680 square foot commercial center consisting of drug store, bank, gas station/convenience store, day care facility, market, restaurants, and retail uses in buildings ranging from 3,000 to 55,000 square feet, with 1,014 parking spaces, is permitted in the Community Development: Commercial Retail (CD:CR) land use designation.
5. The project site is surrounded by properties which are designated Rural: Rural Residential (R: RR) (5 Acre Minimum) to the north; Community Development: Medium Density Residential (CD: MDR) (2-5 Dwelling Units Per Acre) to the east and south, and Open Space: Conservation (OS: C) to the east and south; Community Development: Medium Density Residential (CD: MDR) (2-5 Dwelling Units Per Acre); and, Community Development: Low Density Residential (CD: LDR) (½ Acre Minimum) to the west.
6. The zoning for the subject site is Rural Residential (R-R); however, the zoning classification has been tentative approved to General Commercial (C-1/C-P), per the Board's action on January 12, 2010.
7. The proposed uses, within the 160,680 square foot commercial center, consisting of drugstore, bank, gas station/convenience store, day care facility, market, restaurants, and retail uses in buildings ranging from 3,000 to 55,000 square feet with 1,014 parking spaces, are allowed uses, subject to approval of a plot plans, and are consistent with the development standards set forth in the General Commercial (C-1/C-P) zone.
8. The project site is surrounded by properties which are zoned Rural Residential (R-R) to the north, south and west and Specific Plan No. 286, Winchester 1800 to the east and south and One-Family Dwellings (R-1) to the west.

9. Commercial uses have not been constructed near the project vicinity which has creating a need for the proposed commercial uses to serve nearby residences.
10. Environmental Assessment No. 41906 for the adopted Mitigated Negative Declaration identified the following potentially significant impacts:
 - a. Biological Resources
 - b. Cultural Resources
 - c. Geology
 - d. Hydrology/Water Quality
 - e. Transportation/Traffic

These listed impacts will be fully mitigated by the measures indicated in the environmental assessment. No other significant impacts were identified.

11. In accordance with CEQA Guidelines Section 15162, Tentative Parcel Map No. 36161 and Plot Plan No. 24054 will not result in any new significant environmental effects not identified in the adopted MND. Additionally, they will not result in a substantial increase in the severity of previously identified significant effects, do not propose any substantial changes which will require major revisions to the adopted MND, no considerably different mitigation measures have been identified and no mitigation measures found infeasible have become feasible because of the following:
 - a. Environmental Assessment No. 41906, in pertinent part, analyzed Tentative Parcel Map No. 36161 which proposed a subdivision of 23.66 acres into 6 parcels for commercial purposes. It also analyzed Plot Plan No. 24054 which proposed a 160,680 square foot commercial center to be built in 3 phases and consist of drugstore, bank, gas station/convenience store, day care facility, market, restaurants, and retail uses in buildings ranging from 3,000 to 55,000 square feet with 1,014 parking spaces;
 - b. Currently, Tentative Parcel Map No. 36161 and Plot Plan No. 24054 propose the same subdivision and use analyzed in EA 41906 as set forth above;
 - c. Additionally, the proposed project is located on the same site as that analyzed in EA 41906;
 - d. Finally, the two identified mitigation measures for Biological Resources identified in EA 41906 have been incorporated as conditions of approval into both the Plot Plan and Tentative Parcel Map; the identified mitigation measure for Cultural Resources has been incorporated as a condition of approval into both the Plot Plan and Tentative Parcel Map; the identified mitigation measure for Geology has been incorporated as a condition of approval into the Plot Plan; the identified mitigation measures for Hydrology/Water Quality have been incorporated as conditions of approval into the Plot Plan; and the identified mitigation measure for Transportation/Traffic has been incorporated as conditions of approval into the Plot Plan.

CONCLUSIONS:

1. The proposed project is in conformance with the tentatively approved Community Development: Commercial Retail (CD:CR) (0.20-0.35 Floor Area Ratio) proposed Land Use Designation, and with all other elements of the Riverside County General Plan.

2. The proposed project is consistent with the tentatively approved General Commercial (C-1/C-P) zoning classification of Ordinance No. 348, and with all other applicable provisions of Ordinance No. 348.
3. The public's health, safety, and general welfare are protected through project design.
4. The proposed project is clearly compatible with the present and future logical development of the area.
5. The proposed project will not have a significant effect on the environment.
6. The proposed project will not preclude reserve design for the Western Riverside County Multiple Species Habitat Conservation Plan (WRCMSHCP). The project has been conditioned to provide a list of the landscaping that will be used as the site is located near WRCMSHCP areas in order to ensure that only non-invasive landscape species are utilized.

INFORMATIONAL ITEMS:

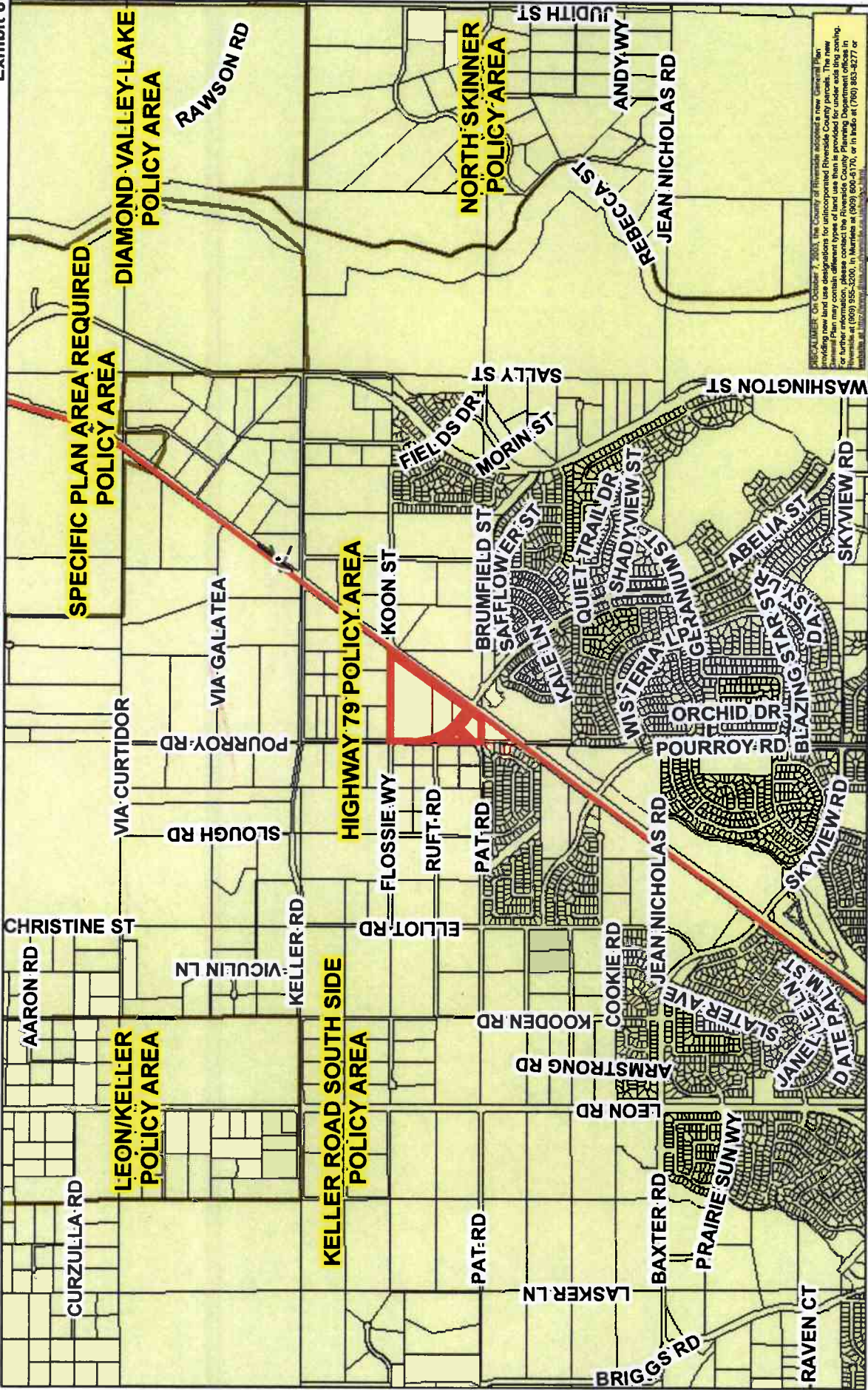
1. As of this writing, no letters, in support or opposition have been received.
2. The project site is not located within:
 - a. A Specific Plan;
 - b. An Agricultural Preserve;
 - c. An Airport Influence Area;
 - d. A Redevelopment Area;
 - e. A High Fire area;
 - f. A Fault Zone; or,
 - g. A County Service area.
3. The project site is located within:
 - a. The boundaries of the Hemet Unified School District;
 - b. The Sphere of Influence of the City of Murrieta;
 - c. The Highway 79 Policy Area;
 - d. An area of low potential for liquefaction;
 - e. An area susceptible for subsidence;
 - f. An area of low potential for paleontological sensitivity; and,
 - g. The Stephens Kangaroo Rat Fee area.
4. The subject site is currently designated as Assessor's Parcel Numbers 476-010-054, 476-010-055, 476-010-016 and 476-010-017.

PP24054/PM36161

Planner: Alisa Krizek
 Date: 8/06/08
 Exhibit 8

Supervisor Stone
 District 3
 Date Drawn: 7/21/08

POLICY AREAS



RECALCULATED: On October 7, 2004, the County of Riverside adopted a new General Plan. The new General Plan includes a new map of incorporated Riverside County parcels. The new General Plan may contain additional information for the Riverside County Planning Department offices in Riverside at (951) 955-3200, in Murietta at (951) 690-6170, or in Indio at (760) 963-8277 or available at <http://www.riversideplanning.com>.

RIVERSIDE COUNTY PLANNING DEPARTMENT

Zone
 Area: Rancho California
 Township/Range: T6SR2W
 Section : 28

Assessors
 Bk. Pg. 476-01
 Thomas
 Bros. Pg. 899 E4



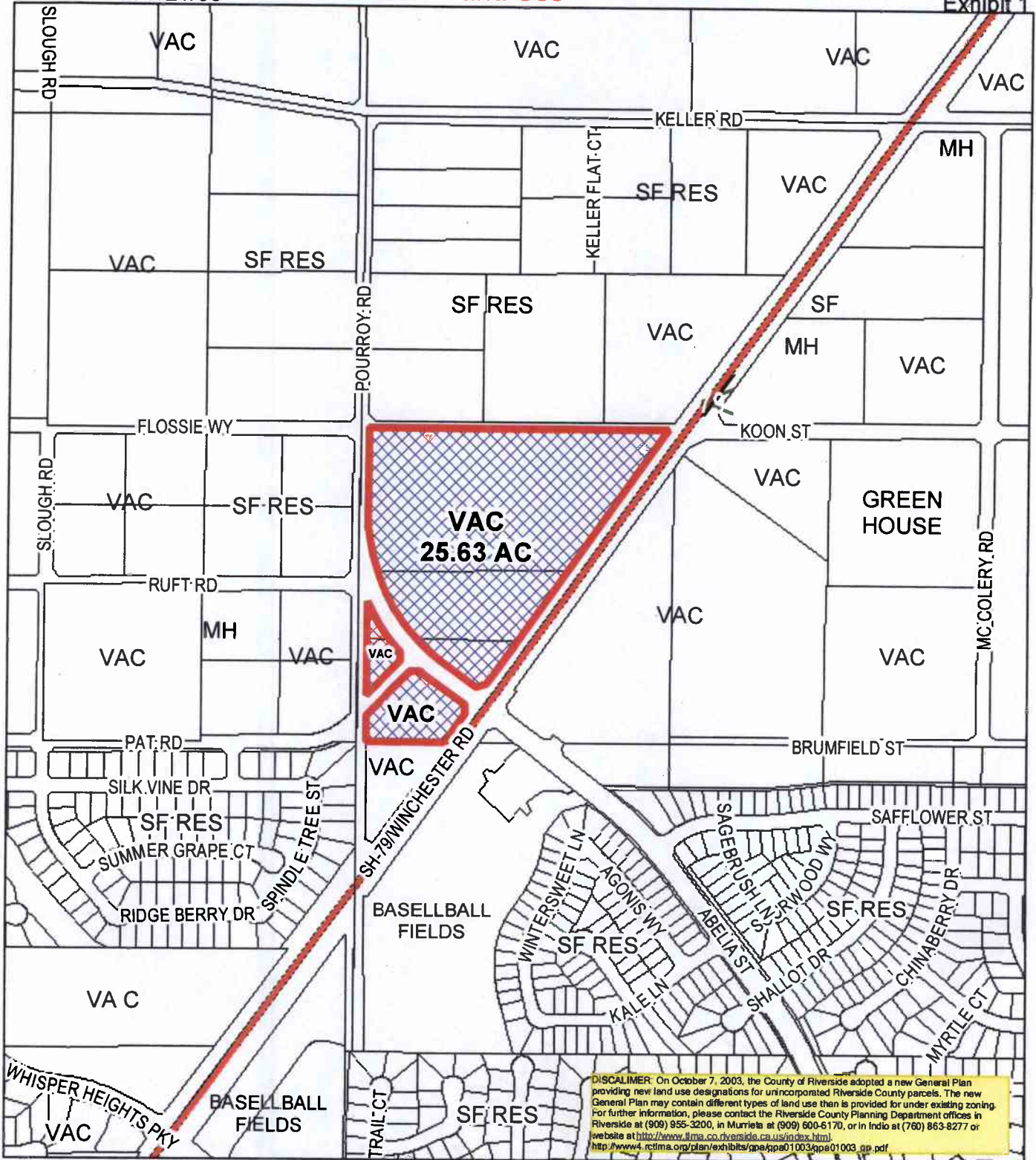
Supervisor Stone
 District 3
 Date Drawn: 7/21/08

PP24054/PM36161

Planner: Alisa Krizek
 Date: 8/06/08

Land Use

Exhibit 1



DISCLAIMER: On October 7, 2003, the County of Riverside adopted a new General Plan providing new land use designations for unincorporated Riverside County parcels. The new General Plan may contain different types of land use than is provided for under existing zoning. For further information, please contact the Riverside County Planning Department offices in Riverside at (909) 955-3200, in Murrieta at (909) 600-6170, or in Indio at (760) 863-8277 or website at http://www.rctdms.org/plan/exhibits/gpe/ppa01003/ppa01003_gp.pdf

Zone
 Area: Rancho California
 Township/Range: T6SR2W
 Section: 28

RIVERSIDE COUNTY PLANNING DEPARTMENT

Assessors
 Bk. Pg. 476-01
 Thomas
 Bros. Pg. 899-E4



Supervisor Stone
 District 3
 Date Drawn: 7/15/09

PP24054/PM36161

Planner: Kinika Hesterly
 Date: 8/19/09
 Exhibit 3

PROPOSED ZONING



RIVERSIDE COUNTY PLANNING DEPARTMENT

Area: Rancho California
 Township/Range: T6SR2W
 Section: 26



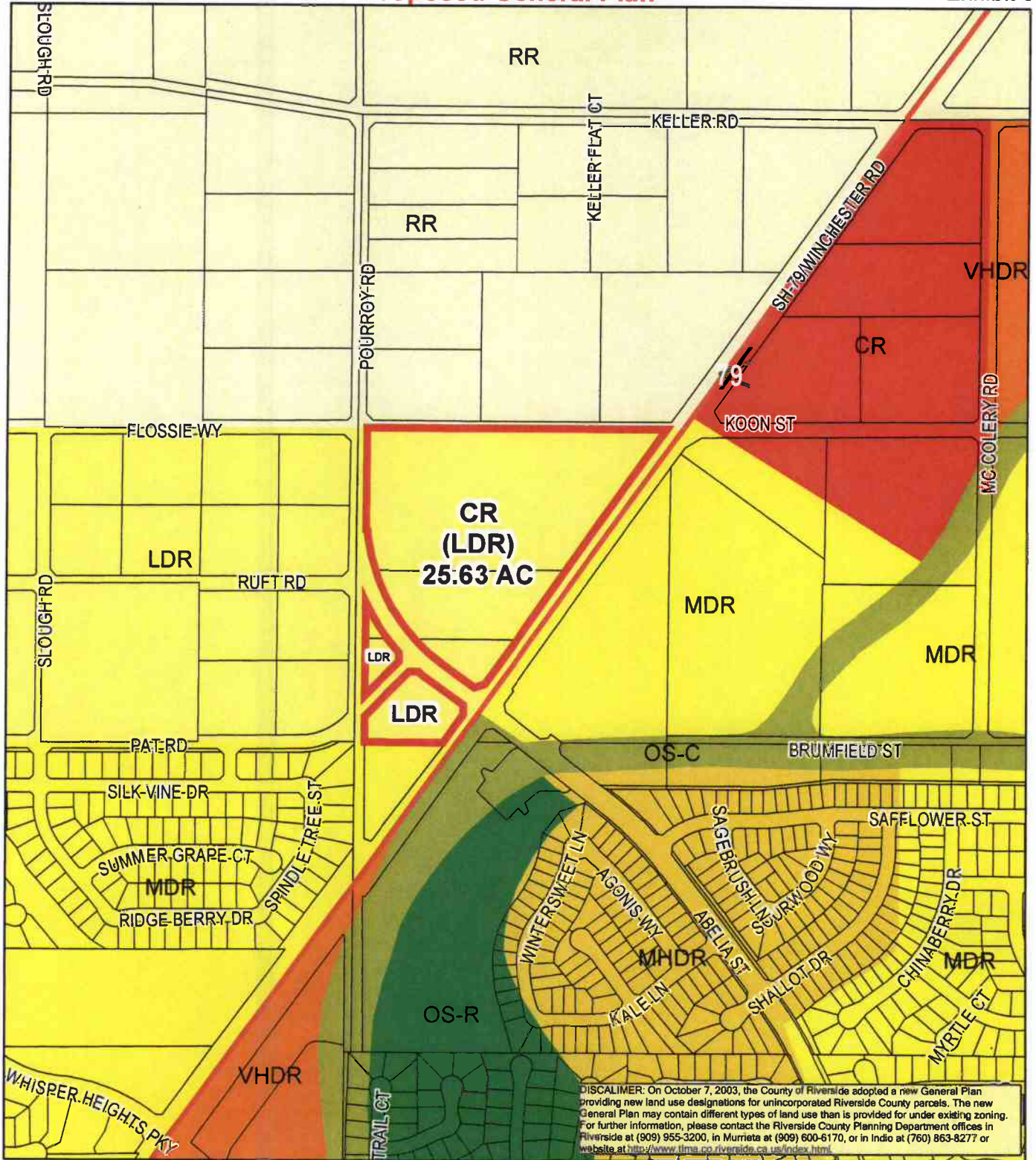
Assessors
 Bk. Pg. 476-01
 Thomas
 Bros. Pg. 899 E4

Supervisor Stone
 District 3
 Date Drawn: 7/21/08

PP24054/PM36161

Planner: Alisa Krizek
 Date: 8/06/08
 Exhibit 6

Proposed General Plan



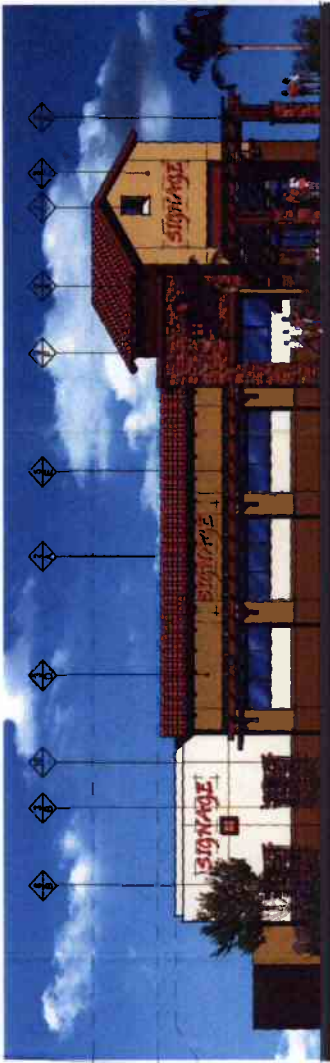
DISCLAIMER: On October 7, 2003, the County of Riverside adopted a new General Plan providing new land use designations for unincorporated Riverside County parcels. The new General Plan may contain different types of land use than is provided for under existing zoning. For further information, please contact the Riverside County Planning Department offices in Riverside at (909) 955-3200, in Murrieta at (909) 600-6170, or in Indio at (760) 863-8277 or website at <http://www.tlma.co.riverside.ca.us/index.html>

Zone
Area: Rancho California
Township/Range: T6SR2W
Section : 28

RIVERSIDE COUNTY PLANNING DEPARTMENT

Assessors
Bk.Pg. 476-01
Thomas
Bros. Pg. 899 E4





TOP OF ROOF
ELEV. 28' 0" AFF

TOP OF ROOF
ELEV. 28' 0" AFF

TOP OF FINISH
ELEV. 28' 0" AFF

FINISH FLOOR
ELEV. 1' 0" AFF

NORTHEAST ELEVATION



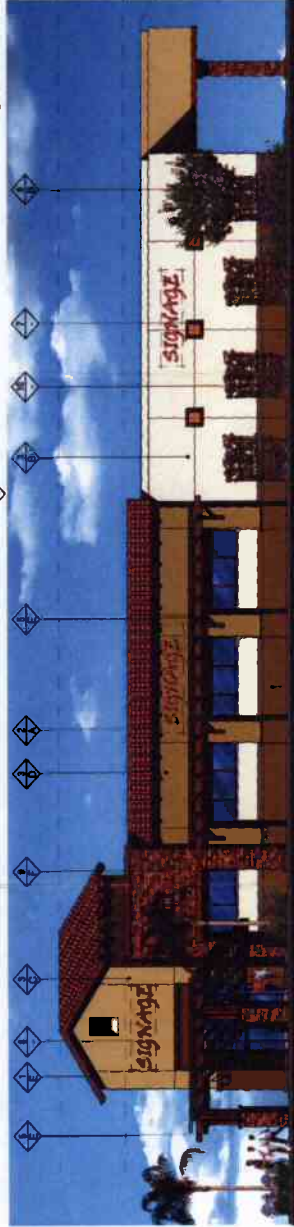
TOP OF ROOF
ELEV. 28' 0" AFF

TOP OF ROOF
ELEV. 28' 0" AFF

TOP OF FINISH
ELEV. 28' 0" AFF

FINISH FLOOR
ELEV. 1' 0" AFF

EAST ELEVATION (CORNER)



SOUTHEAST ELEVATION

TOP OF ROOF
ELEV. 28' 0" AFF

TOP OF ROOF
ELEV. 28' 0" AFF

TOP OF FINISH
ELEV. 28' 0" AFF

FINISH FLOOR
ELEV. 1' 0" AFF

CASE & PIPEDA, AND #1
EXHIBIT: B (Items 1-16)
DATED: 7/13/18
PREPARED BY: T. TOSTERLEY

ASSESSORS PARCEL NUMBERS - 478-010-015
478-010-016
478-010-017

Pinnacle Plaza at Winchester
Temecula, CA

APPLICANT AND OWNER
PINNACLE WINCHESTER LP
C/O PINNACLE HOTELS USA
8388 VICKERS STREET, SUITE 101
SAN DIEGO, CA 92111
(858) 974-8201 X 330

ELEVATIONS - BUILDING A - DRUGSTORE

Scale: 1/8" = 1'-0"

DATE: 1/30/2018
DCO JOB #: 08.011.01

DATE: _____
REVISIONS: _____

NOT A CONTRACTOR DRAW. ALL DIMENSIONS SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD AND SHALL BE RESPONSIBLE FOR ANY DISCREPANCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTIONS.

MATERIAL DESCRIPTION

- WOOD PAISIA
- US TILE - SPANISH TILE
- EXTERIOR STUCCO FINISH
- DOOR GLAZING WITH POWDER COATED METAL FRAME SLIDING DOOR
- METAL TRELLIS
- 3/4" REVEAL
- RECESSED DECORATIVE MEDALLION
- SONAGE
- STONE VENEER
- GREENSCREEN TRELLIS
- ROLL-UP DOOR

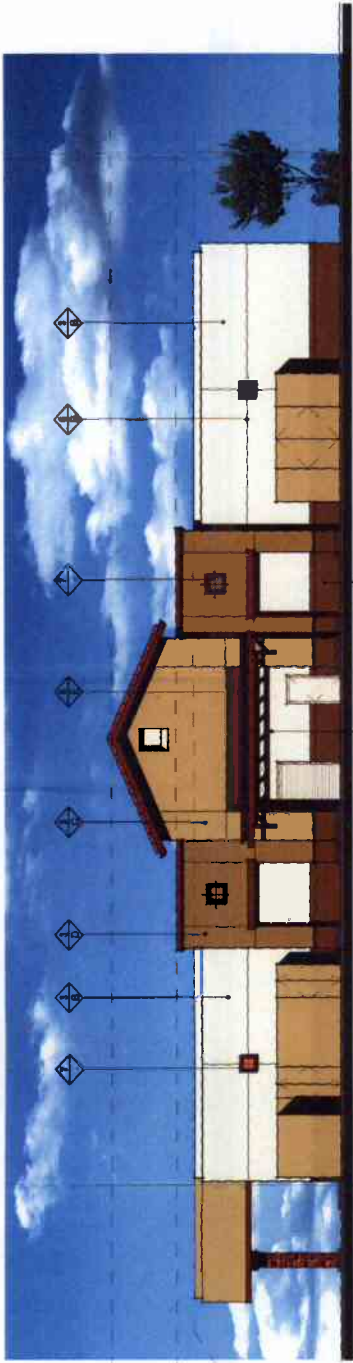
COLOR DESCRIPTION

- US TILE - SPANISH TILE
- BASKIN WILLIAMS
- TAWAID WHITE SW 6128
- BASKIN WILLIAMS
- RESTAURANT GOLD SW 61 28
- BASKIN WILLIAMS
- STONEY BROOK SW 6110
- BASKIN WILLIAMS
- TUGGED BROWN SW 6032
- STONE VENEER
- ELDONADO STONE



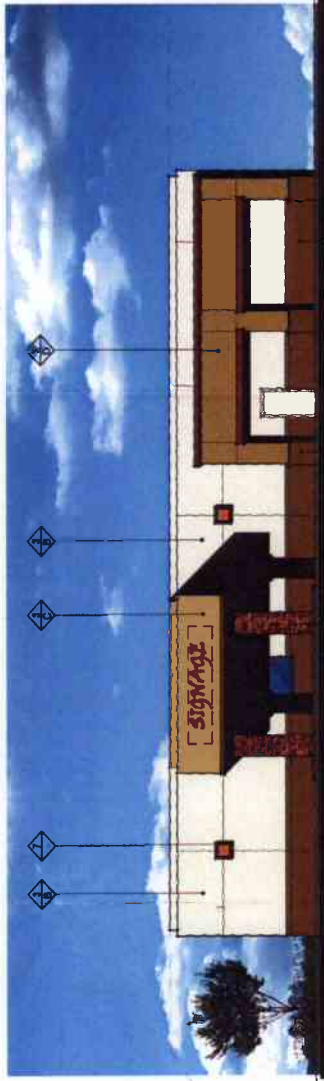
EXHIBIT PREPARER 18201 Van Arman Avenue, Suite 250
Irvine, California 92612
T 949.583.1117 F 949.414.7866
mgarchitects.com

A - 201a



NORTHWEST ELEVATION

- TOP OF ROOF
ELEV. 28.22' AFF
- TOP OF WALL
ELEV. 28.22' AFF
- TOP OF WINDOW
ELEV. 28.22' AFF
- FLOOR FLOOR
ELEV. 0.00' AFF



SOUTHWEST ELEVATION

- TOP OF ROOF
ELEV. 28.22' AFF
- FLOOR FLOOR
ELEV. 0.00' AFF

MATERIAL DESCRIPTION

- WOOD PANELS
- US TILE - SPANISH TILE
- EXTERIOR STUCCO FINISH
- DOOR GLAZING WITH POWDER COATED METAL FRAME & RUBBER GASKET
- METAL TRELLIS
- 3/4" REVEAL
- RECESSED DECORATIVE MEDALLION
- SIGNAGE
- STONE VENEER
- GREENHOUSE TRELLIS
- ROLL-UP DOOR

COLOR DESCRIPTION

- US TILE - SPANISH TILE
- SHERWIN WILLIAMS "PARADISE WHITE" SW 6128
- SHERWIN WILLIAMS "RESTRAINED GOLD" SW 6128
- SHERWIN WILLIAMS "STEADY BROWN" SW 6119
- SHERWIN WILLIAMS "RUBBED BROWN" SW 6026
- STONE VENEER ELIZABETH STONE

ASSESSORS PARCEL NUMBERS - 476-010-015
476-010-016
476-010-017

EXHIBIT PREPARER 1001 Van Korman Avenue, Suite 250
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mcg@mcgarchitect.com

**Pinnacle Plaza at Winchester
Temecula, CA**

ELEVATIONS - BUILDING A - DRUGSTORE

Scale: 1/8" = 1'-0"
0' 2' 4' 6' 8' 10'

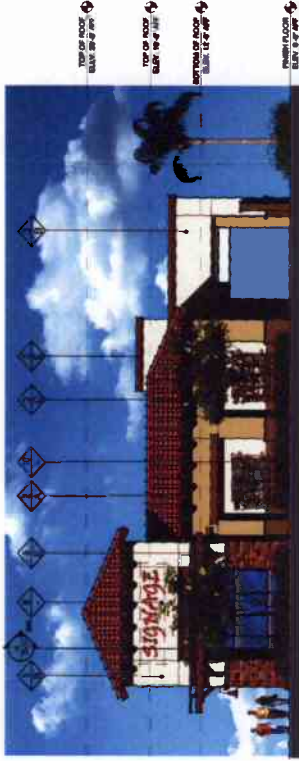
APPLICANT AND OWNER
PINNACLE WINCHESTER LP
C/O PINNACLE HOTELS USA
8368 VICKERS STREET, SUITE 101
SAN DIEGO, CA 92111
(858) 974-8201 X. 330

DATE: 11/20/2009
MOG JOB #: 08.017.01
DATE: REVISED:

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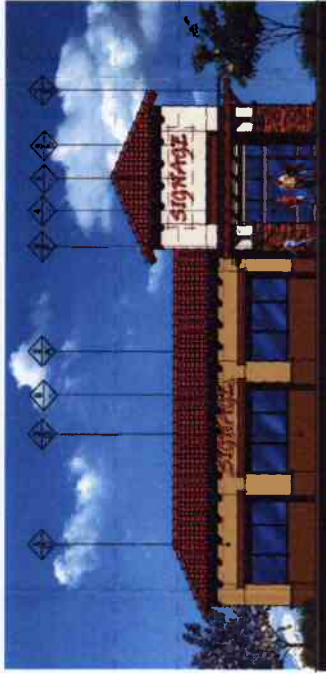


A - 201b



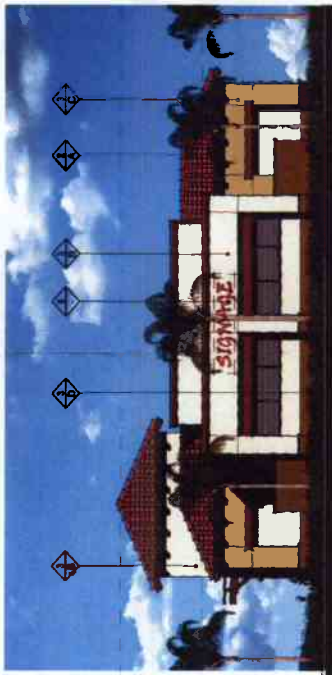
NORTHEAST ELEVATION

- TOP OF ROOF
ELEV. 28'-0" (28')
- TOP OF ROOF
ELEV. 18'-0" (18')
- TOP OF ROOF
ELEV. 12'-0" (12')
- FINISH FLOOR
ELEV. 8'-0" (8')



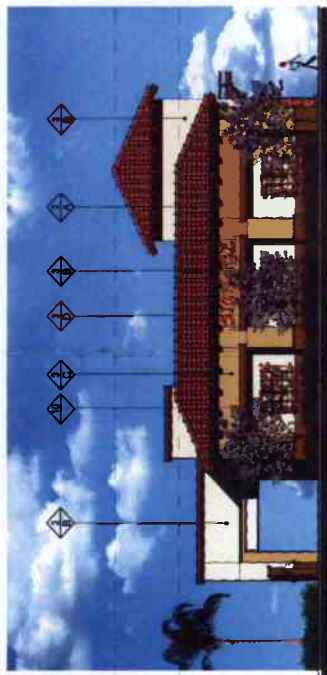
SOUTHEAST ELEVATION

- TOP OF ROOF
ELEV. 28'-0" (28')
- TOP OF ROOF
ELEV. 18'-0" (18')
- TOP OF ROOF
ELEV. 12'-0" (12')
- FINISH FLOOR
ELEV. 8'-0" (8')



NORTHWEST ELEVATION

- TOP OF ROOF
ELEV. 28'-0" (28')
- TOP OF ROOF
ELEV. 18'-0" (18')
- FINISH FLOOR
ELEV. 8'-0" (8')



SOUTHWEST ELEVATION

- TOP OF ROOF
ELEV. 28'-0" (28')
- TOP OF ROOF
ELEV. 18'-0" (18')
- FINISH FLOOR
ELEV. 8'-0" (8')

MATERIAL DESCRIPTION

- WOOD FASCIA
- US TILE - SPANISH TILE
- EXTERIOR STUCCO FINISH
- DOOR GLAZING WITH POWDER COATED METAL FRAME SLIDING DOOR
- METAL TRUSS
- 3/4" REVEAL
- RECESSED DECORATIVE MEDALLION
- SHRIMP
- STONE VENEER
- GREEN-GREEN TRUSS
- ROLL-UP DOOR

COLOR DESCRIPTION

- US TILE - SPANISH TILE
- SHERWIN WILLIAMS "NAVALO WHITE" SW 6128
- SHERWIN WILLIAMS "RESTRAINED COOL" SW 6128
- SHERWIN WILLIAMS "STEADY BROWN" SW 6110
- SHERWIN WILLIAMS "PLUGGED BROWN" SW 6002
- STONE VENEER ELBORADO STONE

ASSESSORS PARCEL NUMBERS - 478-010-015
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478-010-017

**Pinnacle Plaza at Winchester
Temecula, CA**

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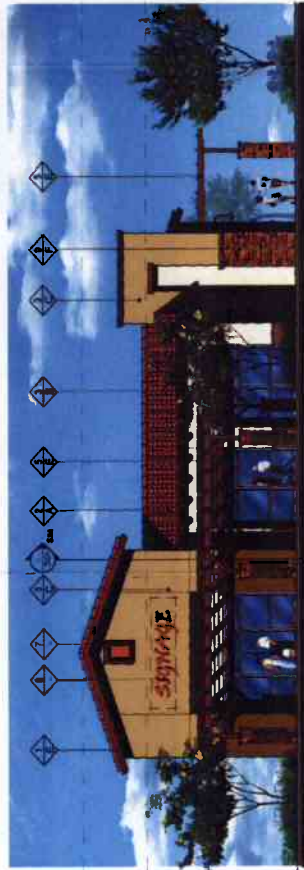
WEST ELEVATION

- TOP OF ROOF ELEV. 28' 0" AFF
- TOP OF ROOF ELEV. 28' 0" AFF
- ENTRANCE OF TOWER ELEV. 18' 0" AFF
- FINISH FLOOR ELEV. 0' 0" AFF



NORTHEAST ELEVATION

- TOP OF ROOF ELEV. 28' 0" AFF
- ENTRANCE OF TOWER ELEV. 18' 0" AFF
- FINISH FLOOR ELEV. 0' 0" AFF



SOUTHEAST ELEVATION

- TOP OF ROOF ELEV. 28' 0" AFF
- ENTRANCE OF TOWER ELEV. 18' 0" AFF
- FINISH FLOOR ELEV. 0' 0" AFF

MATERIAL DESCRIPTION

- WOOD FINISH
- US TILE - SPANISH TILE
- EXTERIOR STUCCO FINISH
- DOOR GLAZING WITH POWDER COATED METAL FRAME SLIDING DOOR
- METAL TRELLIS
- 3M REVEAL
- RECESSED DECORATIVE MBSALLON
- BORGARE
- STONE VENEER
- GREENSCREEN TRELLIS
- ROLL-UP DOOR

COLOR DESCRIPTION

- US TILE - SPANISH TILE
- SHERWIN WILLIAMS "MAJAO WHITE" SW 6128
- SHERWIN WILLIAMS "RESTAINED OOLY" SW 61 29
- SHERWIN WILLIAMS "STEADY BROWN" SW 61 10
- SHERWIN WILLIAMS "TAUOGED BROWN" SW 6082
- STONE VENEER
- ELDORADO STONE

**Pinnacle Plaza at Winchester
Temecula, CA**

ASSESSOR'S PARCEL NUMBERS - 476-010-015
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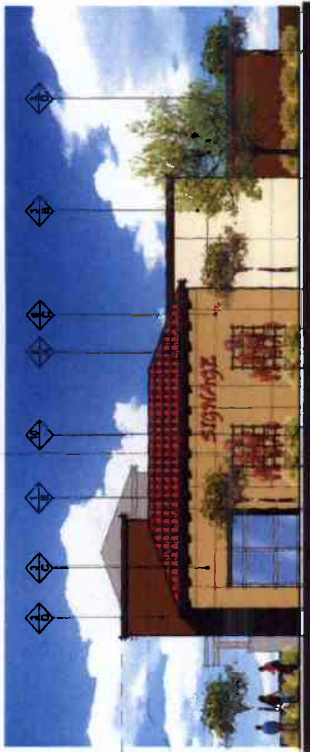
DATE 11/26/2009
MCO JOB # 08/07/01

DATE REVISIONS

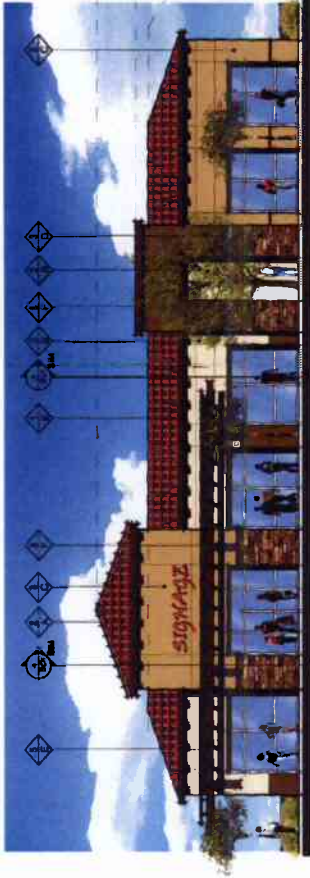
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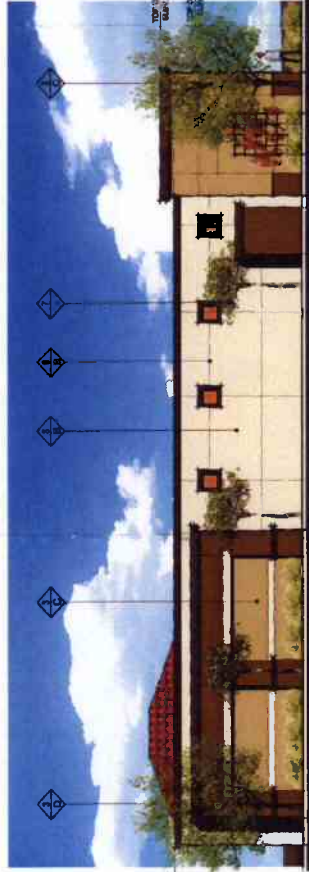
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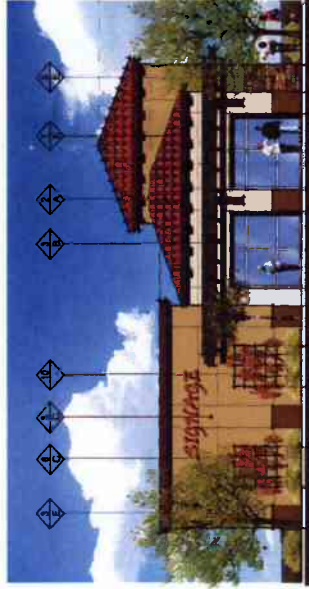
RIGHT SIDE ELEVATION



FRONT ELEVATION



REAR ELEVATION



LEFT SIDE ELEVATION

MATERIAL DESCRIPTION

- ◇ WOOD PANELS
- ◇ US TILE - SPANISH TILE
- ◇ EXTENSION BRICK/FLOOR FINISH
- ◇ DOOR BLINDS WITH POWDER COATED METAL FRAME BRASS DOOR
- ◇ METAL THERMALS
- ◇ 3/4" TRAVEL
- ◇ RECTANGULAR DECATIVATING SIGNALIZATION
- ◇ STONE VENEER
- ◇ CORRUGATED METAL THERMALS
- ◇ MULLION DOOR

COLOR DESCRIPTION

- ◇ US TILE - SPANISH TILE
- ◇ BROWN TILE BLINDS
- ◇ MARBLE MOUNTAIN - 906 6108
- ◇ BRICKWORK VENEER
- ◇ "FACED" BLOCK - 906 6112
- ◇ BRICKWORK VENEER
- ◇ BRICKWORK VENEER - 9114
- ◇ BRICKWORK VENEER - 9114
- ◇ BRICKWORK VENEER - 9114
- ◇ STONE VENEER
- ◇ BRICKWORK STONE

DATE: 11/20/2008
 MCG JOB #: 06 017.01

DATE: REVISIONS



ELEVATIONS - BUILDING D - RESTAURANT

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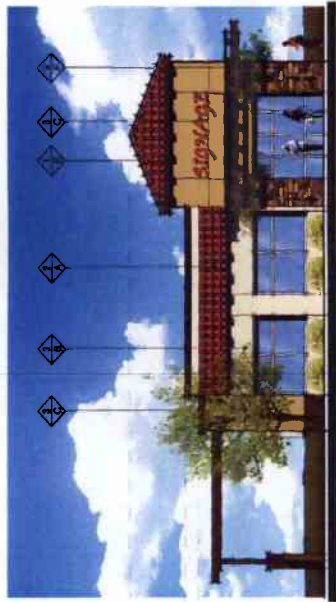
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A - 204



Pinnacle Plaza at Winchester
 Temecula, CA



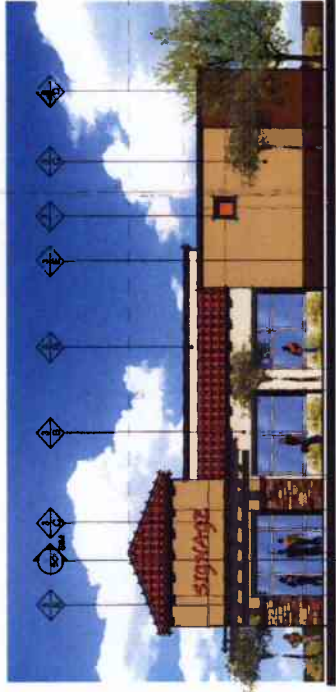
TOP OF ROOF
ELEV. 87'-2 1/2" ④

TOP OF FINISH
ELEV. 88'-0" ⑤

TOP OF FINISH
ELEV. 17'-0" ⑥

FINISH FLOOR
ELEV. 84'-0" ⑦

SIDE ELEVATION



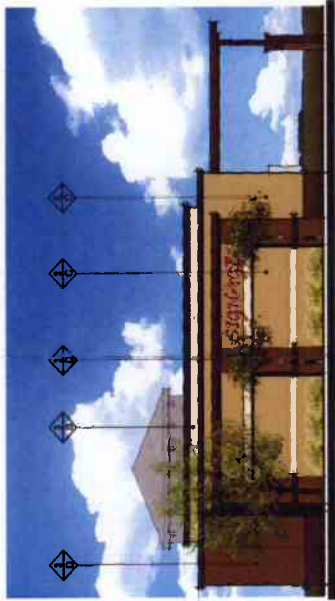
TOP OF ROOF
ELEV. 87'-2 1/2" ④

TOP OF FINISH
ELEV. 88'-0" ⑤

TOP OF FINISH
ELEV. 17'-0" ⑥

FINISH FLOOR
ELEV. 84'-0" ⑦

FRONT ELEVATION



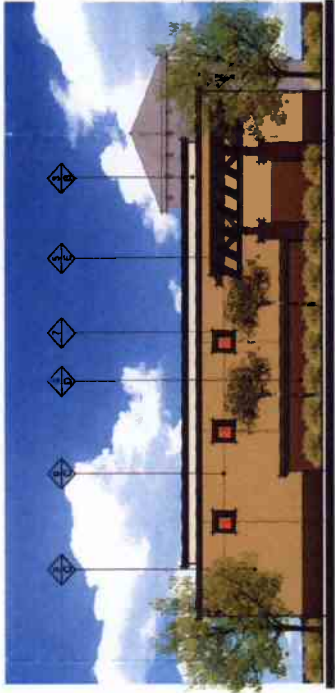
TOP OF ROOF
ELEV. 87'-2 1/2" ④

TOP OF FINISH
ELEV. 88'-0" ⑤

TOP OF FINISH
ELEV. 17'-0" ⑥

FINISH FLOOR
ELEV. 84'-0" ⑦

SIDE ELEVATION



TOP OF ROOF
ELEV. 87'-2 1/2" ④

TOP OF FINISH
ELEV. 88'-0" ⑤

TOP OF FINISH
ELEV. 17'-0" ⑥

FINISH FLOOR
ELEV. 84'-0" ⑦

REAR ELEVATION

- MATERIAL DESCRIPTION**
- ④ WOOD FINISH
 - ⑤ US TILE - SPANISH TILE
 - ⑥ EXTERIOR BRICKWOOD FINISH
 - ⑦ DOOR GLASS WITH POLYURETHANE COATING
 - ⑧ METAL FRAME SLIDING DOOR
 - ⑨ METAL TRAILER
 - ⑩ 3/4" METAL
 - ⑪ RECESSED ALUMINUM TRAILER INSTALLATION
 - ⑫ BRASS
 - ⑬ STONE VENEER
 - ⑭ CONCRETE TRAILS
 - ⑮ ROLL-UP DOOR
- COLOR DESCRIPTION**
- ④ US TILE - SPANISH TILE
 - ⑤ BRICKWOOD FINISH
 - ⑥ METAL TRAILER
 - ⑦ METAL TRAILER
 - ⑧ METAL TRAILER
 - ⑨ METAL TRAILER
 - ⑩ METAL TRAILER
 - ⑪ METAL TRAILER
 - ⑫ METAL TRAILER
 - ⑬ METAL TRAILER
 - ⑭ METAL TRAILER
 - ⑮ METAL TRAILER

Pinnacle Plaza at Winchester Temecula, CA

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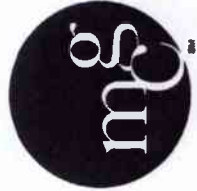
ELEVATIONS - BUILDING E - RESTAURANT

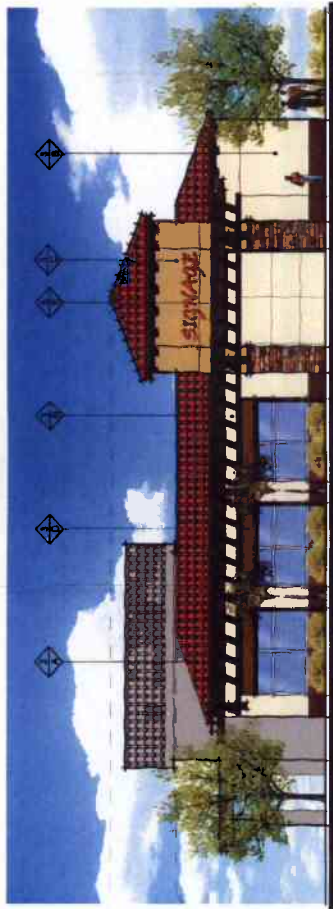


DATE: 11/02/2009
MOJ JOB #: 08 017.01

DATE: _____ REVISIONS: _____

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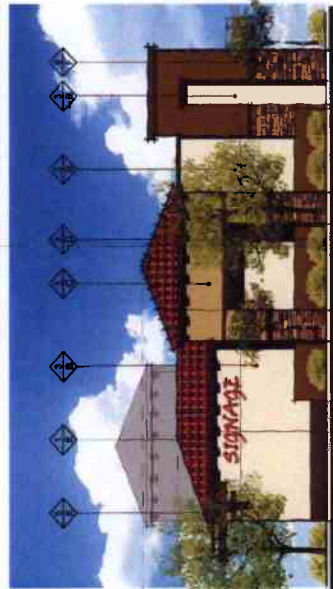




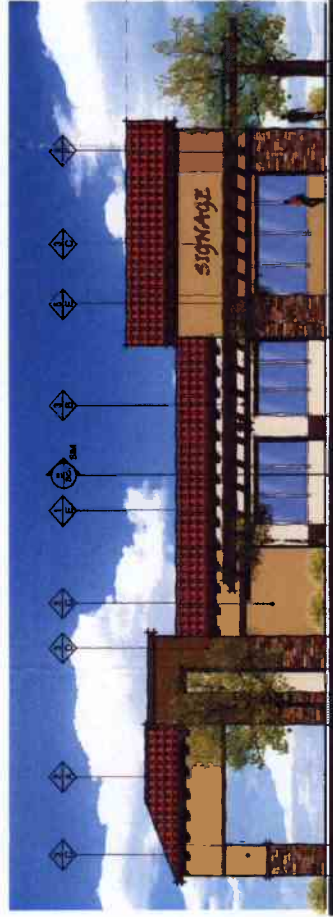
SIDE ELEVATION



FRONT ELEVATION



REAR ELEVATION



SIDE ELEVATION

TOP OF ROOF
SLIP: 38'-0" AFF

TOP OF ROOF
SLIP: 37'-0" AFF

FLOOR FLOOR
SLIP: 0'-0" AFF

TOP OF ROOF
SLIP: 37'-0" AFF

TOP OF ROOF
SLIP: 37'-0" AFF

FLOOR FLOOR
SLIP: 0'-0" AFF

TOP OF ROOF
SLIP: 38'-11" AFF

TOP OF ROOF
SLIP: 37'-0" AFF

FLOOR FLOOR
SLIP: 0'-0" AFF

TOP OF ROOF
SLIP: 37'-0" AFF

TOP OF ROOF
SLIP: 37'-0" AFF

FLOOR FLOOR
SLIP: 0'-0" AFF

DATE: 11/20/2008
MCE JOB #: 09.017.01

DATE: REVISIONS



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Pinnacle Plaza at Winchester Temecula, CA

ASSESSOR'S PARCEL NUMBERS - 476-010-015
476-010-016
476-010-017

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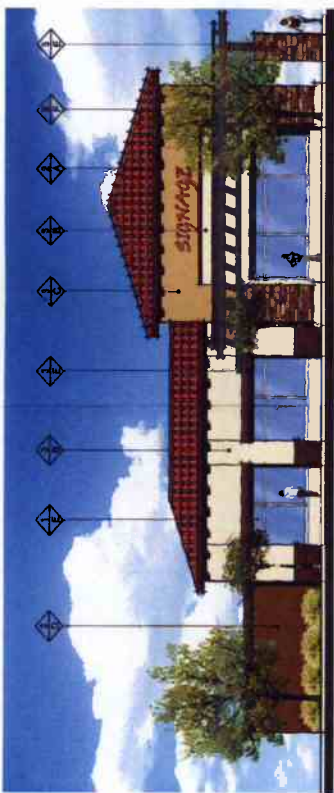
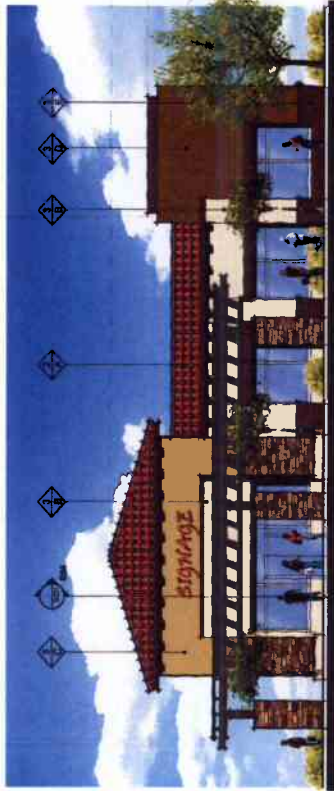


MATERIAL DESCRIPTION

- WOOD FINISH
- UP TILE - SPANISH TILE
- EXTERIOR BRICK FINISH
- METAL PANEL ALUMINUM COOK
- METAL TILES
- 3"X6" METAL
- RENDERED STucco WITH MESH
- RENDERED STucco WITH MESH
- STONE VENEER
- CONCRETE TILES
- WALL-UP DOOR

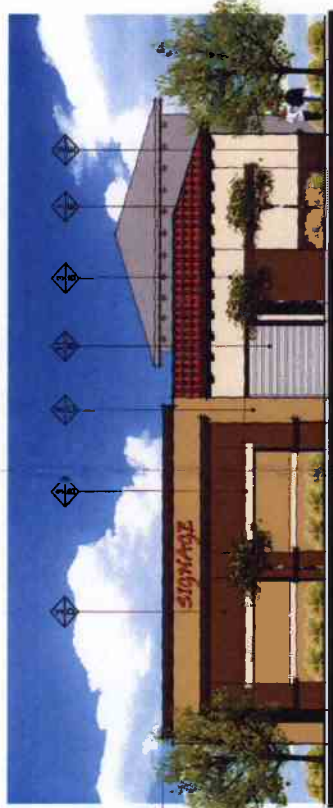
COLOR DESCRIPTION

- UP TILE - SPANISH TILE
- WOOD FINISH
- EXTERIOR BRICK FINISH
- METAL PANEL ALUMINUM COOK
- METAL TILES
- 3"X6" METAL
- RENDERED STucco WITH MESH
- RENDERED STucco WITH MESH
- STONE VENEER
- CONCRETE TILES
- WALL-UP DOOR



FRONT ELEVATION

SIDE ELEVATION



SIDE ELEVATION

REAR ELEVATION

TOP OF ROOF 8/24 5:00 P.M.

TOP OF FINISH 8/24 5:00 P.M.

TOP OF ROOF 8/24 5:00 P.M.

FIRST FLOOR 8/24 5:00 P.M.

TOP OF ROOF 8/24 5:00 P.M.

TOP OF FINISH 8/24 5:00 P.M.

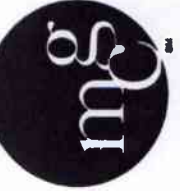
CEILING 8/24 5:00 P.M.

- MATERIAL DESCRIPTION**
- WOOD FINISH
 - MS TILES - SPANISH-TILE
 - EXTERIOR BRICKWORK
 - EXTERIOR STONE FINISH (PREFERENTLY NATURAL STONE)
 - METAL WALLS
 - SMY FINISH
 - EXTERIOR DECORATIVE BRICKWORK
 - BRICKWORK
 - STONE FINISH
 - EXTERIOR STONE FINISH
 - WALL LAP JOINT
- COLOR DESCRIPTION**
- MS TILES - SPANISH-TILE
 - EXTERIOR BRICKWORK
 - EXTERIOR STONE FINISH (PREFERENTLY NATURAL STONE)
 - EXTERIOR STONE FINISH
 - EXTERIOR STONE FINISH
 - EXTERIOR STONE FINISH
 - EXTERIOR STONE FINISH
 - EXTERIOR STONE FINISH
 - EXTERIOR STONE FINISH
 - EXTERIOR STONE FINISH
 - EXTERIOR STONE FINISH

Pinnacle Plaza at Winchester Temecula, CA

ASSESSOR'S PARCEL NUMBERS - 476-010-015
476-010-016
476-010-017

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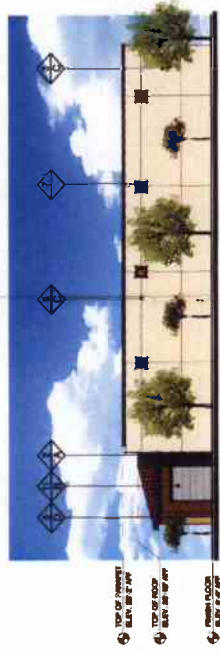
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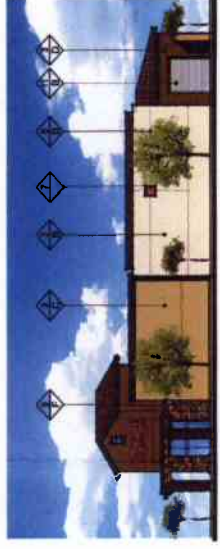


FRONT ELEVATION

REAR ELEVATION



SIDE ELEVATION



SIDE ELEVATION

MATERIAL DESCRIPTION

- List of materials and colors: WOOD/FACIA, US TILE, SPANISH TILE, EXTENSION STUCCO FINISH, DOOR GLAZERS WITH POWDER COATED METAL FINISH, METAL TRILLS, 5"X8" MASONRY, REINFORCED DECORATIVE BRICKMASONRY, STONE, STONE MASONRY, CONCRETE MASONRY, ROLL-UP DOOR, COLOR DESCRIPTION, US TILE, SPANISH TILE, BRICKWORK MASONRY, BRICKWORK MASONRY, BRICKWORK MASONRY, BRICKWORK MASONRY, STONE MASONRY, CONCRETE MASONRY.

ASSESSOR'S PARCEL NUMBERS - 476-010-015 476-010-016 476-010-017

Pinnacle Plaza at Winchester Temecula, CA

ELEVATIONS - BUILDING J, K, L AND M - MAJORS

DATE 11/09/2009 MOD JOB # 09.071.01

APPLICANT AND OWNER PINNACLE WINCHESTER LP C/O PINNACLE HOTELS USA 8368 VICKERS STREET, SUITE 101 SAN DIEGO, CA 92111 (858) 874-8201 X 330



Scale: 1/16" = 1'-0"

EXHIBIT PREPARER 10201 Van Korman Avenue, Suite 250 Irvine, California 92612 T 949.553.1117 F 949.474.7658 mgspreparation.com A - 209

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PINNACLE PLAZA AT WINCHESTER TEMECULA, CA

INDEX:

A-100 SITE PLAN
 A-101 FLOOR PLAN - BUILDING A - DRUGSTORE
 A-102 FLOOR PLAN - BUILDING B - GAS STATION
 A-103 FLOOR PLAN - BUILDING C - RESTAURANT
 A-104 FLOOR PLAN - BUILDING D - RESTAURANT
 A-105 FLOOR PLAN - BUILDING E - RESTAURANT
 A-106 FLOOR PLAN - BUILDING F - FINANCIAL
 A-107 FLOOR PLAN - BUILDING G AND H - SHOP/MARKET
 A-108 FLOOR PLAN - BUILDING I, K, L AND M - MAJORS
 A-201 ELEVATIONS - BUILDING A - DRUGSTORE
 A-202 ELEVATIONS - BUILDING B - GAS STATION
 A-203 ELEVATIONS - BUILDING C - RESTAURANT
 A-204 ELEVATIONS - BUILDING D - RESTAURANT
 A-205 ELEVATIONS - BUILDING E - RESTAURANT
 A-206 ELEVATIONS - BUILDING F - FINANCIAL
 A-207 ELEVATIONS - BUILDING G AND H - SHOP/MARKET
 A-208 ELEVATIONS - BUILDING I, K, L AND M - MAJORS
 A-301 SECTIONS AND DETAILS
 A-302 SECTIONS AND DETAILS

SPECIFIC PLAN:

NO WITH A SPECIFIC PLAN

LAND USE:

VACANT RETAIL / RESTAURANT / DAY CARE
 ALL STRUCTURES SHOWN ARE PROPOSED

ZONING:

R1 AND LDR
 GENERAL COMMERCIAL AND COMMERCIAL RETAIL

PROJECT CONTACT LIST:

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 PINNACLE WINCHESTER LP
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 (619) 974-8201 X 330
 CONTACT: JUDITH SCARBROUGH

OWNER:
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LEGAL JURISDICTION:
 COUNTY OF SAN DIEGO
 PLANNING DEPARTMENT
 10500 LA JOLLA VILLAGE CENTER DRIVE
 SAN DIEGO, CA 92131
 (619) 394-3939 FAX
 CONTACT: WENDY DOWNTON

LANDSCAPE:

ALHAMBRA GROUP
 4108 INTERSTATE CIRCLE NORTH, SUITE C
 TEMECULA, CA 92590
 (951) 268-8800 FAX
 CONTACT: WENDY DOWNTON

UTILITIES:

WATER: EASTERN MUNICIPAL WATER DISTRICT
 SEWER: EASTERN MUNICIPAL WATER DISTRICT
 GAS: SOUTHERN CALIFORNIA GAS COMPANY
 ELECTRICAL: SOUTHERN CALIFORNIA Edison
 TELEPHONE: VERIZON

TOPOGRAPHY:

EXISTING TOPOGRAPHY COMPILED BY J.C. ENGINEERS

LEGAL DESCRIPTION:

PARCELS 13 AND 14 TOGETHER WITH LETTERED LOT 77 AS SHOWN BY PARCEL MAP
 AND PART OF PARCELS 15 AND 16 AS SHOWN BY PARCEL MAP, RECORDS OF RIVERSIDE
 COUNTY, CALIFORNIA.

DENSITY (COVERAGE):

150,000 S.F. / 1,376,000 S.F. = 10.9%

TITLE OF EXHIBIT:

GENERAL PLAN AMENDMENT / CHANGE OF ZONE / LOT PLAN / PARCEL MAP

LANDSCAPING:

REQUIRED PROPOSED LANDSCAPING PER ORDINANCE NO. 899
 APPLICABLE TO 78-10-015 AND 476-010-017
 PROPOSED LANDSCAPING = 18,300 S.F. (1.31 AC)

NOTES:

1. SEE PARCEL MAP FOR PHASE 888, GRID E-4
2. SEE PARCEL MAP FOR PHASE 888, GRID E-4
3. SEE CIVIL DRAWINGS FOR STREET IMPROVEMENT CROSS SECTION
4. SEE CIVIL DRAWINGS FOR RIGHT OF WAY
5. SEE CIVIL DRAWINGS FOR - BATHING TOP OF GRADE
6. SEE CIVIL DRAWINGS FOR - FLOOD HAZARD INFORMATION
7. SEE CIVIL DRAWINGS FOR - LOCATION, SIZE OF LANDSCAPE AREAS
8. NO LANDSCAPING SPACES SHOWN FOR BUILDINGS < 7,500 S.F.
9. PER RIVERSIDE COUNTY ORDINANCE NO. 848, SECTION 8.12, ALL PLANTERS MUST BE AT LEAST 4 FEET IN HEIGHT AND A MINIMUM OF 18 INCHES IN DIAMETER AT THE FEET (5) INCHES AND HAVE A MINIMUM AREA OF 28 SQUARE FEET.

BUILDINGS:

BUILDING	S.F.	2007/08	2008/09	2009/10	2010/11	2011/12	2012/13	2013/14	2014/15	2015/16	2016/17	2017/18
PHASE 1:												
BUILDING A	13,500 S.F.	M	M	M	M	M	M	M	M	M	M	M
BUILDING B	3,000 S.F.	M	M	M	M	M	M	M	M	M	M	M
BUILDING C	3,000 S.F.	M	M	M	M	M	M	M	M	M	M	M
TOTAL	21,500 S.F.											
PHASE 2:												
BUILDING D	6,000 S.F.	M	M	M	M	M	M	M	M	M	M	M
BUILDING E	3,000 S.F.	M	M	M	M	M	M	M	M	M	M	M
BUILDING F	8,000 S.F.	M	M	M	M	M	M	M	M	M	M	M
BUILDING G	13,500 S.F.	M	M	M	M	M	M	M	M	M	M	M
BUILDING H	15,800 S.F.	M	M	M	M	M	M	M	M	M	M	M
BUILDING I	55,000 S.F.	M	M	M	M	M	M	M	M	M	M	M
TOTAL	81,300 S.F.											
PHASE 3:												
BUILDING J	10,000 S.F.	M	M	M	M	M	M	M	M	M	M	M
BUILDING K	12,000 S.F.	M	M	M	M	M	M	M	M	M	M	M
BUILDING L	12,000 S.F.	M	M	M	M	M	M	M	M	M	M	M
BUILDING M	14,000 S.F.	M	M	M	M	M	M	M	M	M	M	M
TOTAL	58,000 S.F.											
GRAND TOTAL	180,800 S.F.											

ADDITIONAL REQUIREMENTS:

PHASE	BUILDING	SOFT	PARKING	RATIO	REQUIRED	BI-CYCLE	PROVIDED
1	A	13,500	1/200	88	0	4	74
	B	3,000	1/200	15	0	2	15
	C	3,000	1/200	25	0	2	27
2	D	6,000	1/145	91	0	4	2
	E	3,000	1/145	42	0	2	1
	F	8,000	1/200	20	0	2	1
	G	13,500	1/145	70	0	3	2
	H	10,000	1/175	85	0	4	4
	I	55,000	1/200	275	0	8	11
	TOTAL	81,300		583		23	21
3	J	10,000	1/200	50	0	2	2
	K	12,000	1/200	60	0	4	4
	L	12,000	1/200	60	0	3	3
	M	14,000	1/200	70	0	3	3
	TOTAL	58,000		270		12	12
TOTAL	180,800		991		6	38	

NOTE: *145 SF of Servicing Area (80%) = 1 Per / 2 Employees

VICINITY MAP

DATE: 11/20/2009
 MOD. JOB #: 08.017.01
 DATE: [] REVISIONS: []

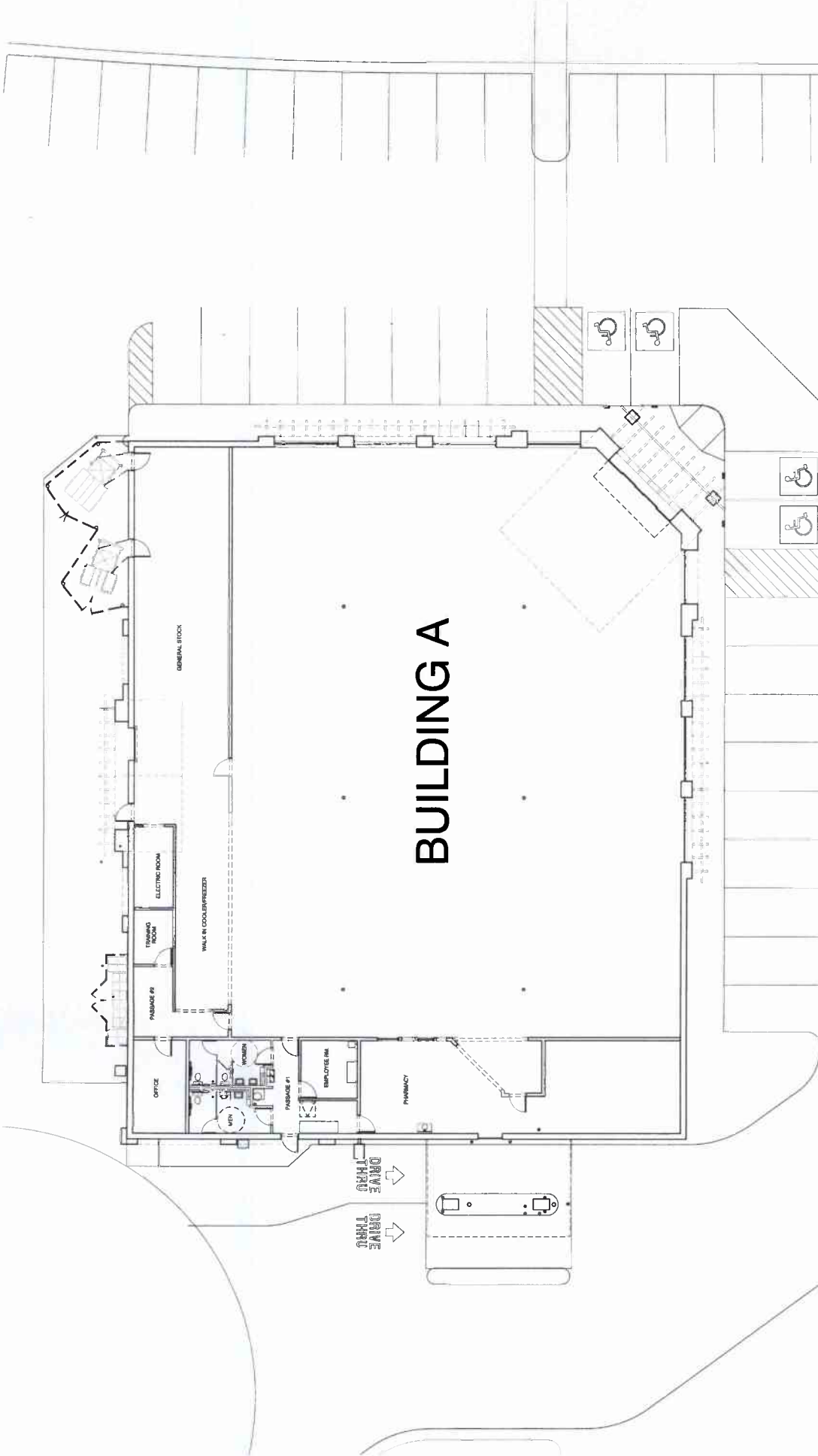
COVER SHEET

ASSASSORS PARCEL NUMBERS - 476-010-015
 476-010-016
 476-010-017

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 Irvine, California 92612
 T: 949.553.1117 F: 949.474.7056
 mcg@architectural.com

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 C/O PINNACLE HOTELS USA
 8866 VICKERS STREET, SUITE 101
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 (858) 974-8201 X 330

COVER SHEET



BUILDING A

Pinnacle Plaza at Winchester Temecula, CA

SEE SITE PLAN FOR BLDG AREA
ASSESSOR'S PARCEL NUMBERS - 476-010-016
476-010-017
476-010-017

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A - 101

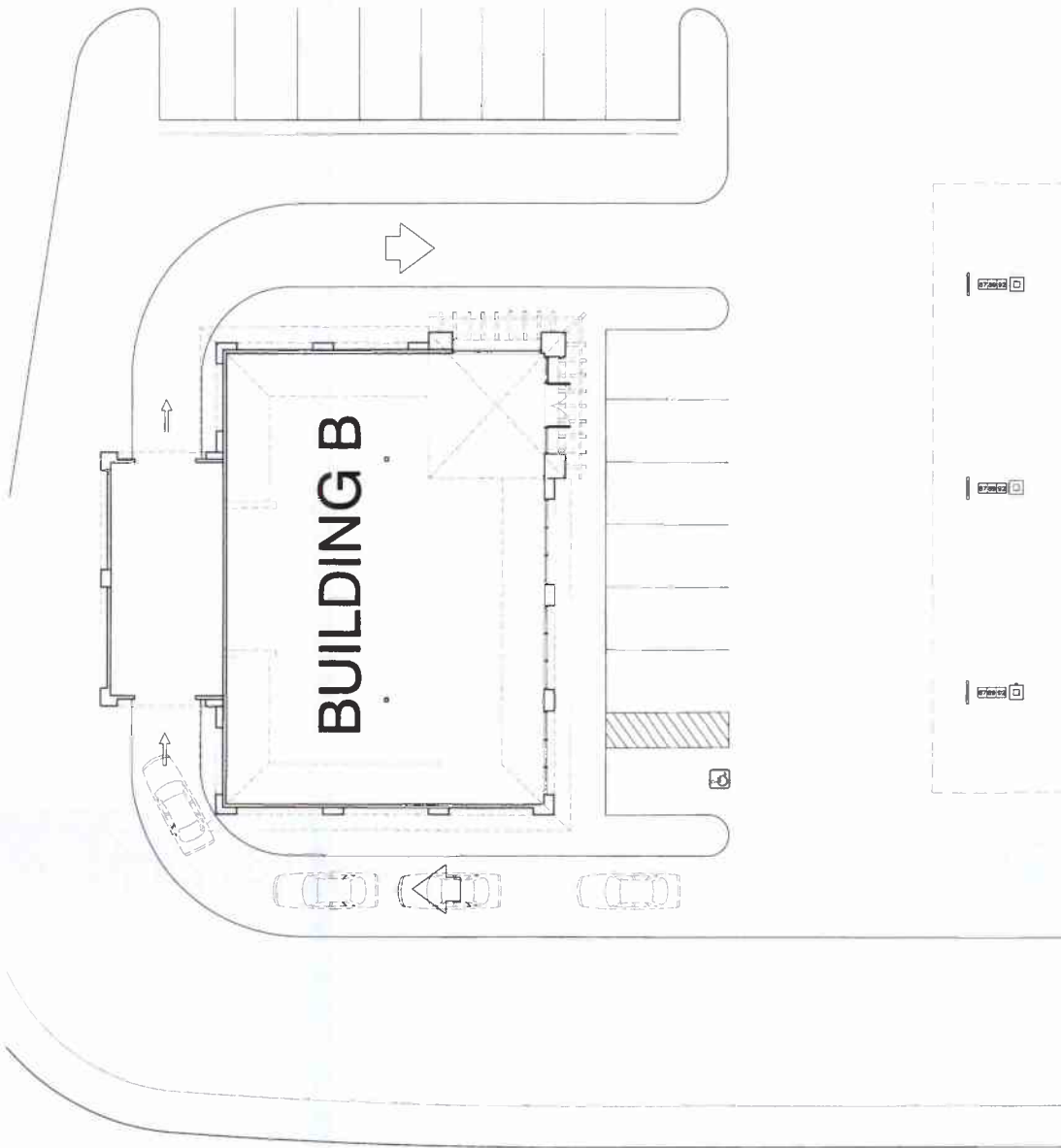
FLOOR PLAN - BUILDING A DRUGSTORE



DATE 11/02/09
MC3 JOB # 08.017.01

DATE	REVISIONS

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**Pinnacle Plaza at Winchester
Temecula, CA**

SEE SITE PLAN FOR BLDG AREA
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FLOOR PLAN - BUILDING B - GAS STATION



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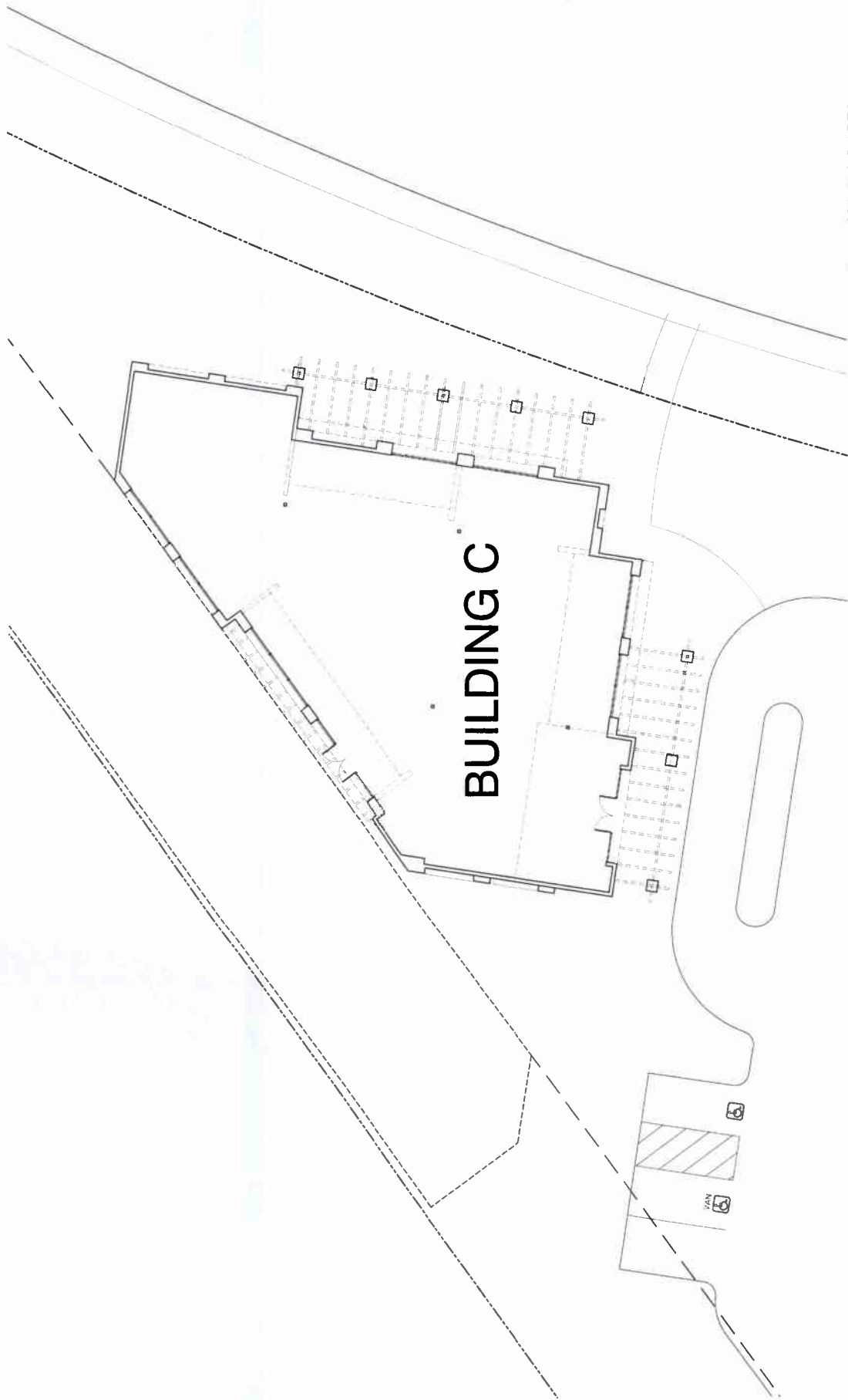
A - 102



DATE: 11/06/2009
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BUILDING C

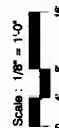
Pinnacle Plaza at Winchester Temecula, CA

SEE SITE PLAN FOR BLDG AREA
ASSESSOR'S PARCEL NUMBERS - 476-010-015
476-010-016
476-010-017

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megarchitectura.com

A - 103

FLOOR PLAN - BUILDING C - DAYCARE



Scale : 1/8" = 1'-0"

DATE 11/20/2009
MGB_JOB # 09.017.01

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NO.	DATE	DESCRIPTION

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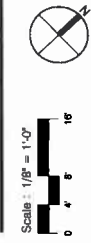
Pinnacle Plaza at Winchester
 Temecula, CA

FLOOR PLAN - BUILDING D - RESTAURANT



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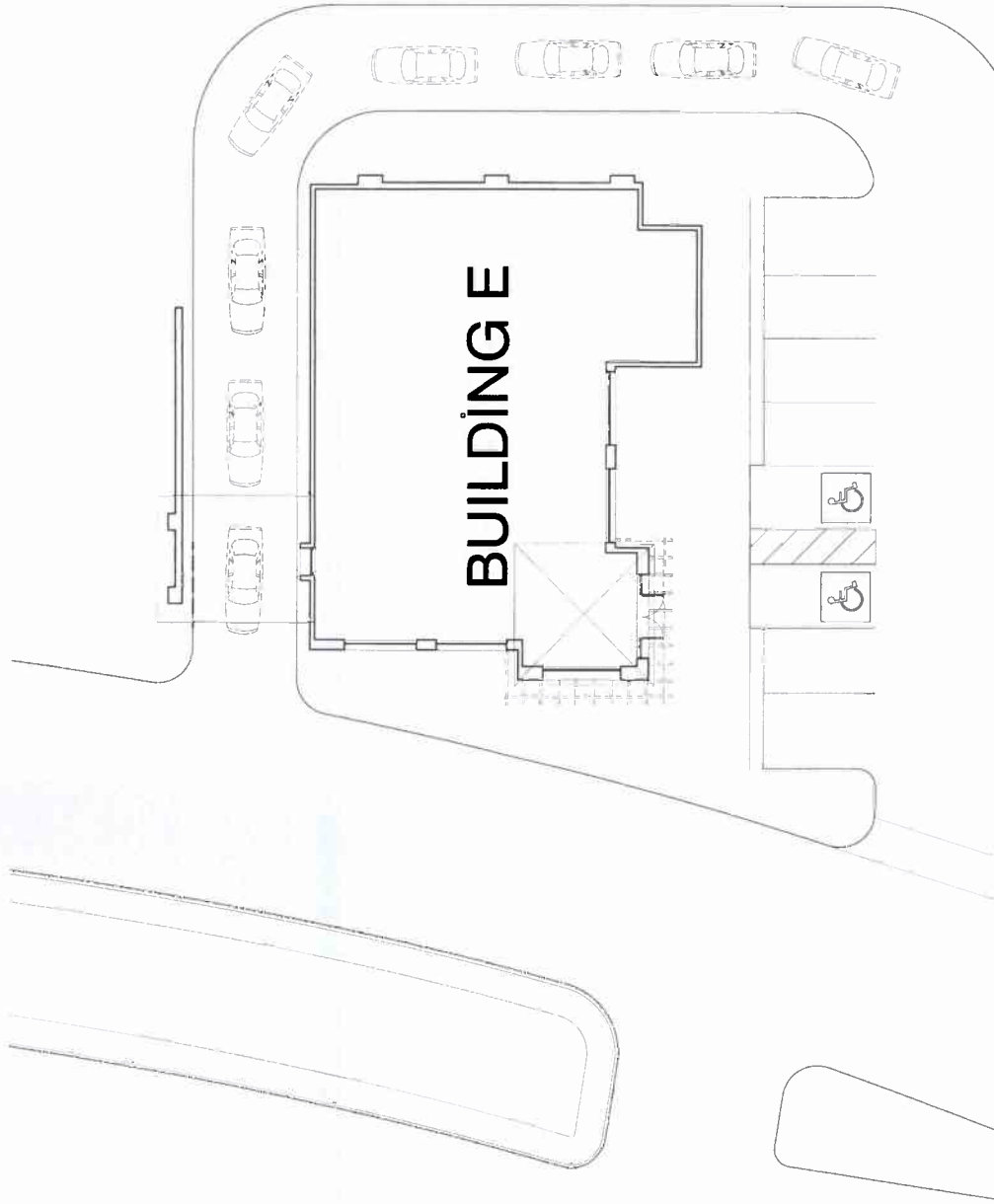


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DATE 11/09/2008
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BUILDING E

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 Temecula, CA**

SEE SITE PLAN FOR BLDG AREA
 ASSESSOR'S PARCEL NUMBERS - 476-010-015
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 476-010-017

FLOOR PLAN - BUILDING E - RESTAURANT

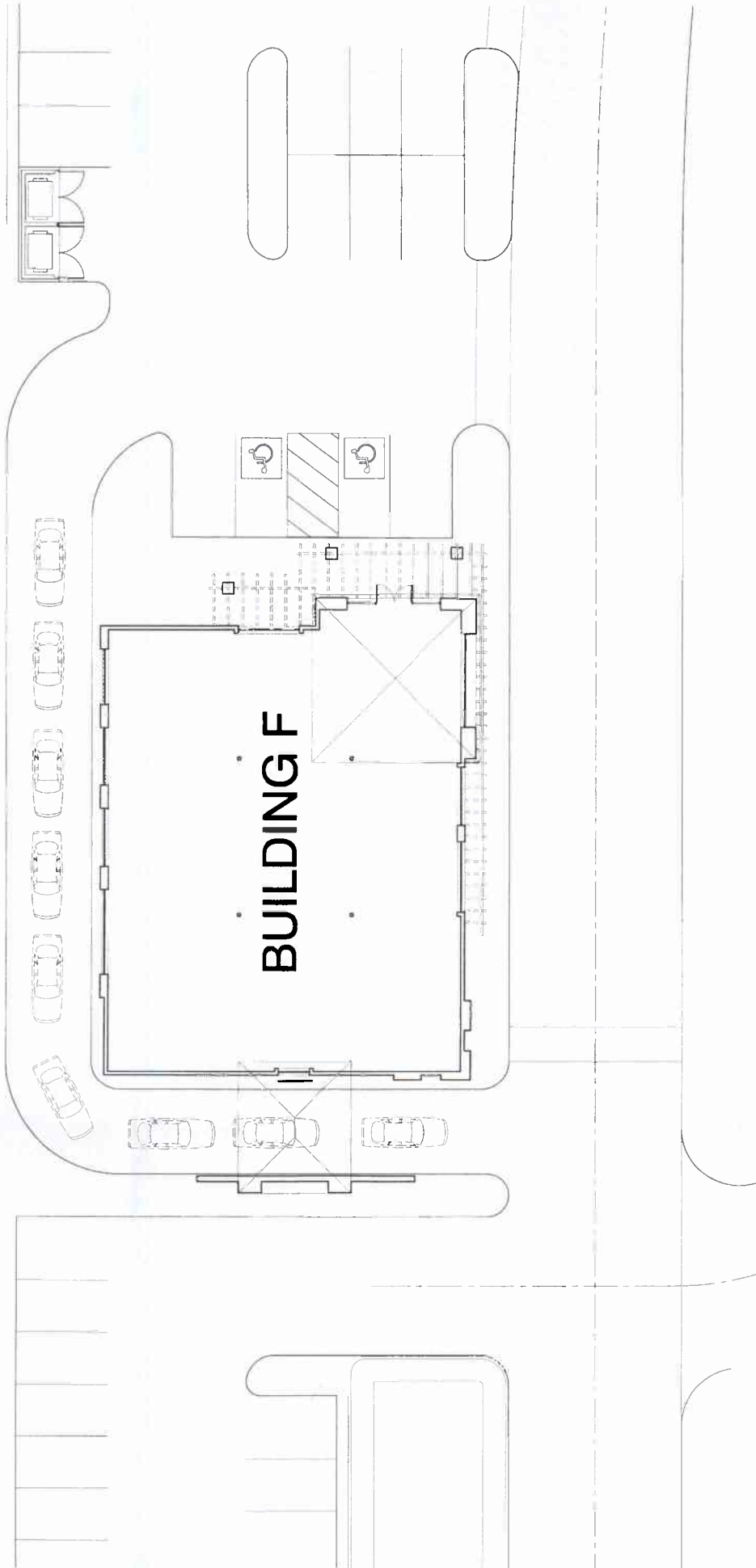


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A - 105



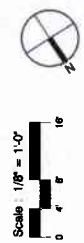


**Pinnacle Plaza at Winchester
Temecula, CA**

SEE SITE PLAN FOR BLDG AREA
ASSESSOR'S PARCEL NUMBERS - 476-010-015
476-010-016
476-010-017

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FLOOR PLAN - BUILDING F - FINANCIAL



DATE: 11/30/2009
MCS JOB #: 09.017.01

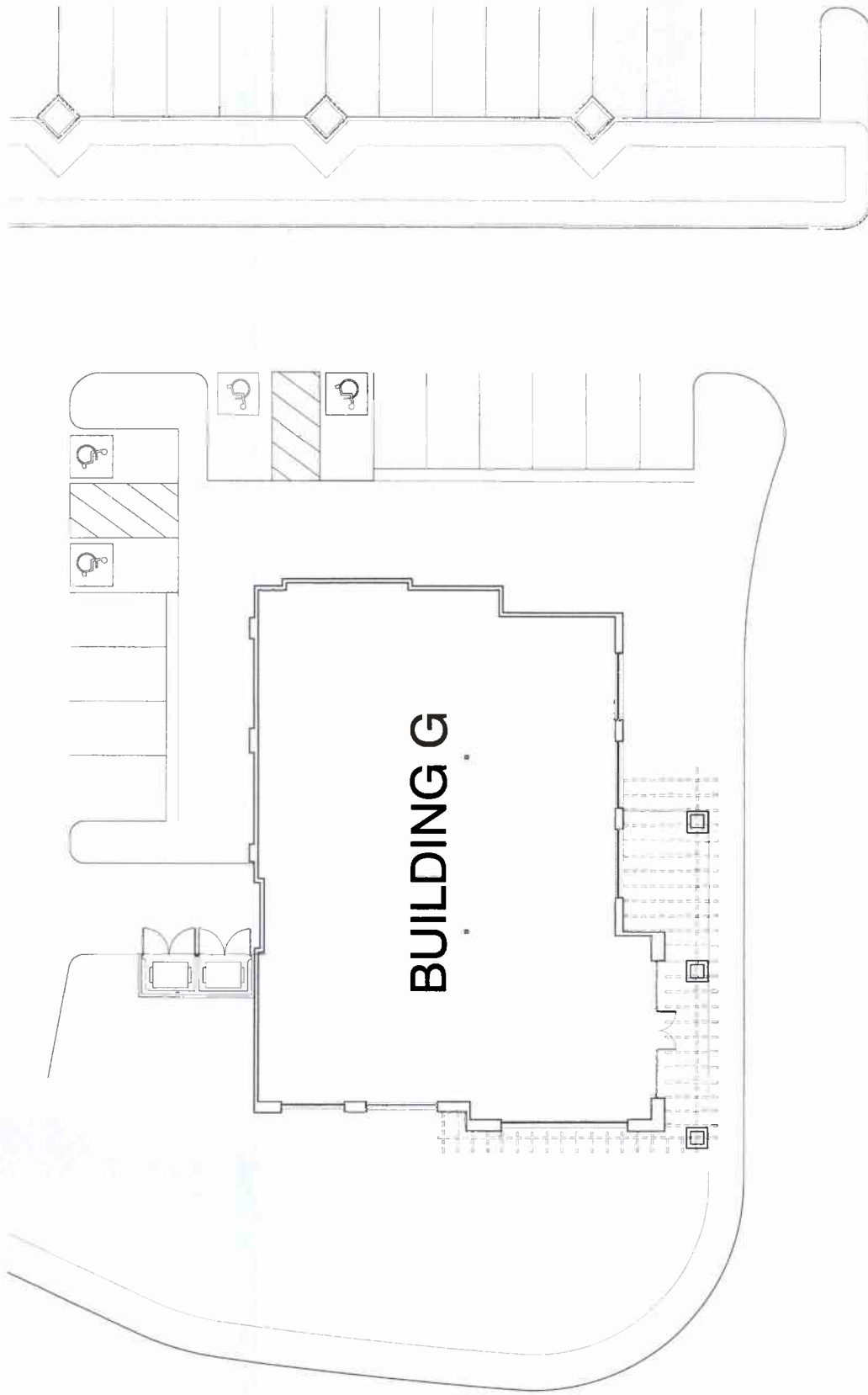
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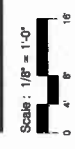
A - 106



**Pinnacle Plaza at Winchester
Temecula, CA**

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476-010-016
476-010-017**

FLOOR PLAN - BUILDING G - RESTAURANT



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MCG JOB #: 06.017.01

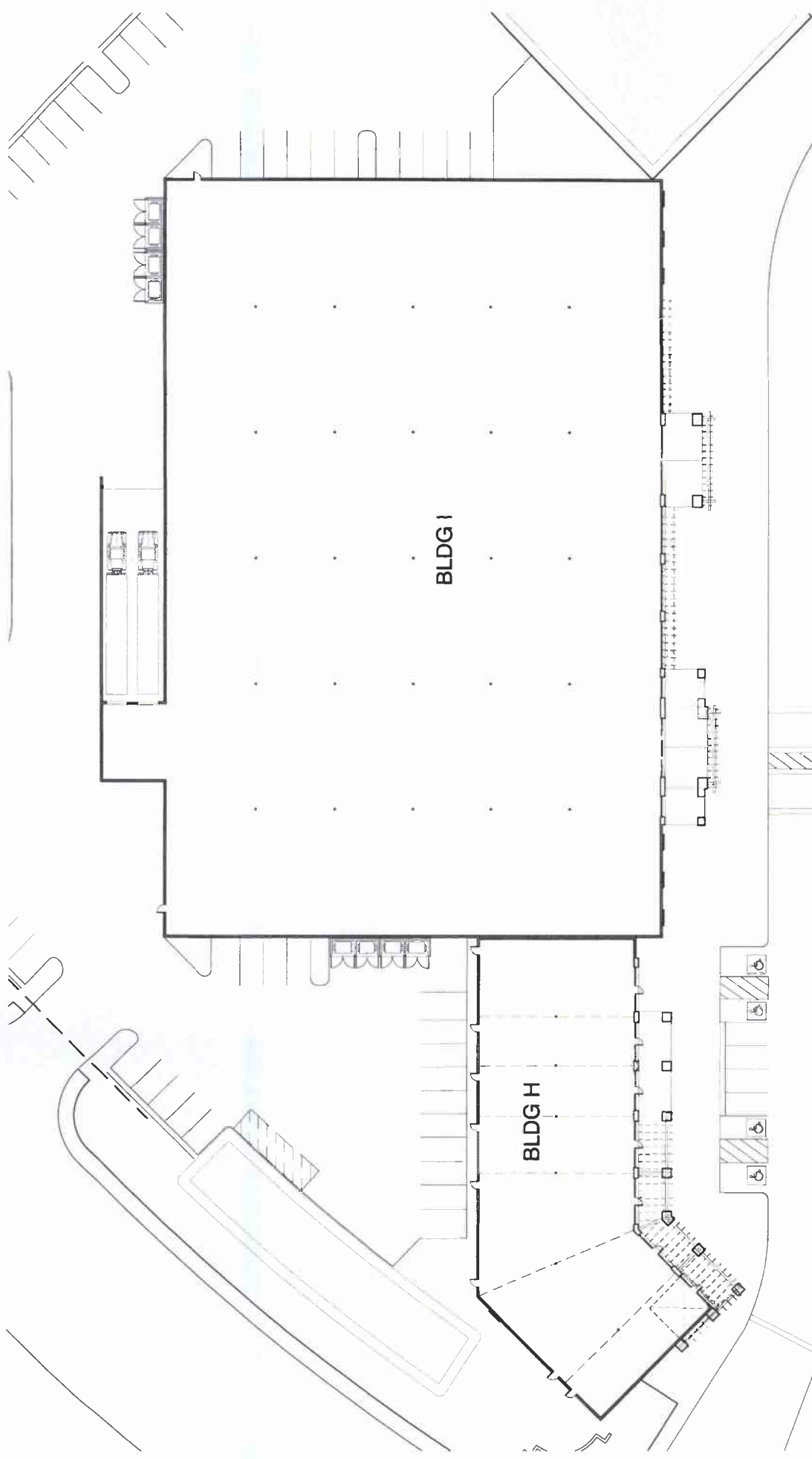
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A - 107



SEE SITE PLAN FOR BLDG AREA
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Pinnacle Plaza at Winchester
 Temecula, CA

FLOOR PLAN - BUILDING H AND I - SHOPSMARKET



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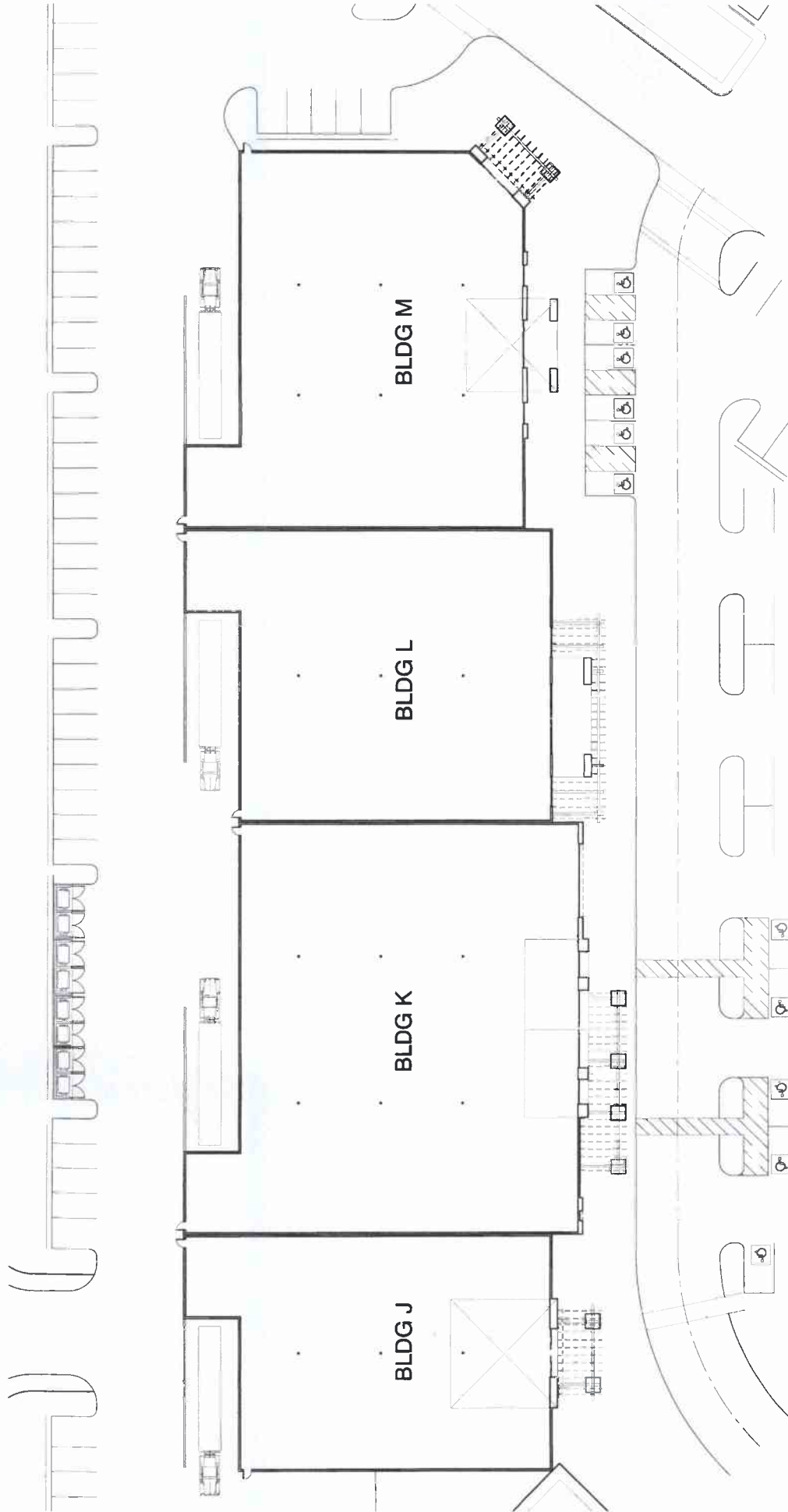
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A - 108



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Pinnacle Plaza at Winchester
 Temecula, CA

FLOOR PLAN - BUILDINGS J, K, L AND M - MAJORS



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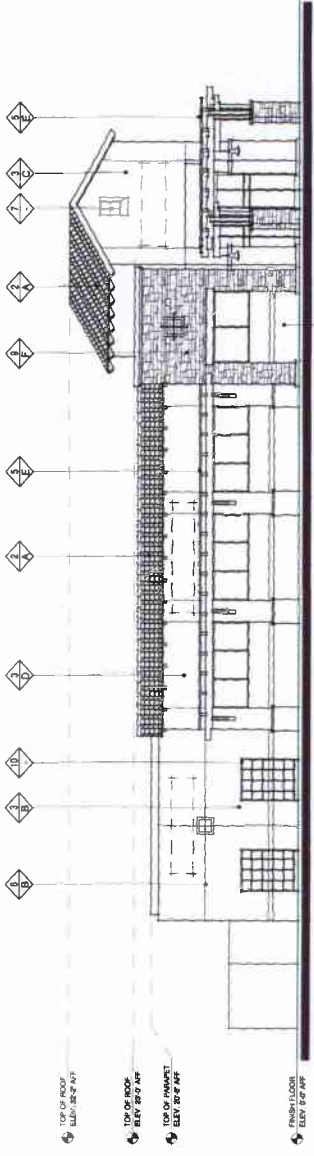
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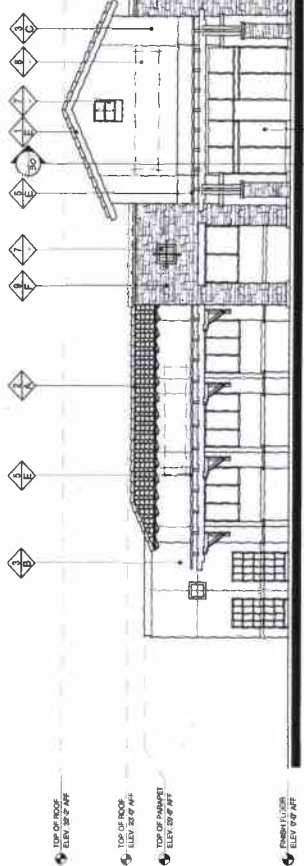
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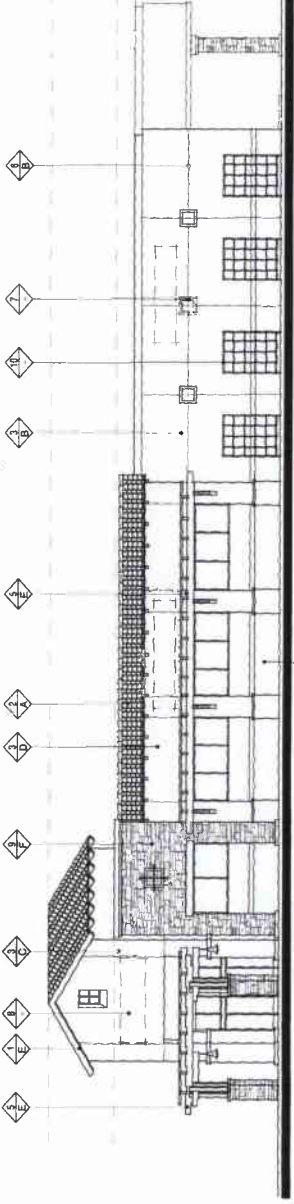
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NORTHEAST ELEVATION



EAST ELEVATION (CORNER)



SOUTHEAST ELEVATION

MATERIAL DESCRIPTION

- WOOD FASCIA
- US TILE - SPANISH TILE
- EXTERIOR STUCCO FINISH
- DOOR GLAZING WITH POWDER COATED METAL FRAME SLIDING DOOR
- METAL TRELLIS
- 3M REVEAL
- RECESSED DECORATIVE MEDALLION
- SIGNAGE
- STONE VENEER
- GREENSCREEN TRELLIS
- ROLL-UP DOOR

COLOR DESCRIPTION

- US TILE - SPANISH TILE
- SHERWIN WILLIAMS "NAVAJO WHITE" SW 8128
- SHERWIN WILLIAMS "RESTRAINED GOLD" SW 8129
- SHERWIN WILLIAMS "STEADY BROWN" SW 8110
- SHERWIN WILLIAMS "RUGGED BROWN" SW 8082
- STONE VENEER
- ELDORADO STONE

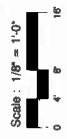
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Temecula, CA**

ASSESSORS PARCEL NUMBERS - 476-010-015
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ELEVATIONS - BUILDING A - DRUGSTORE



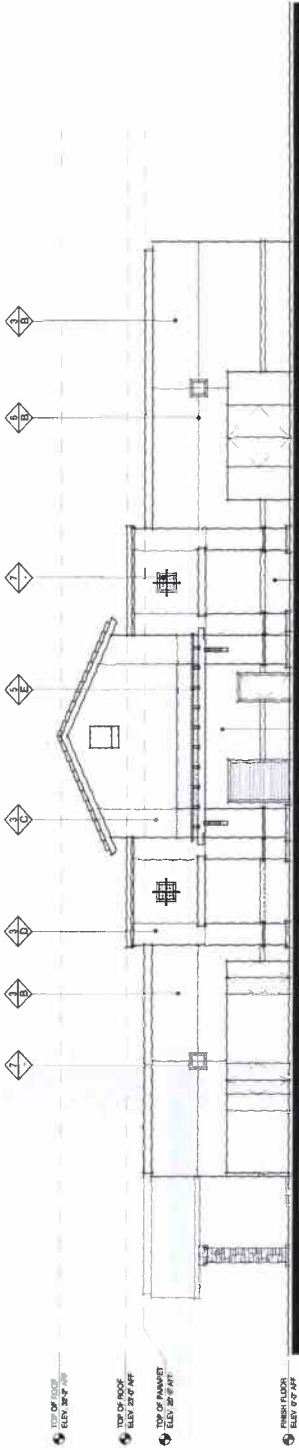
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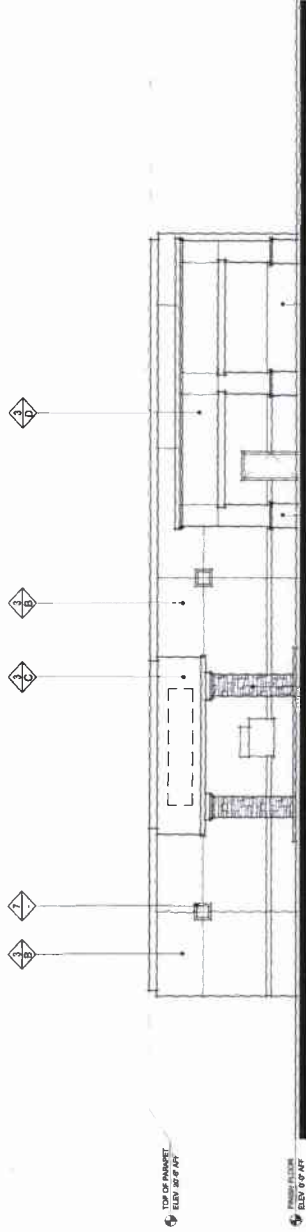
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A - 201a



NORTHWEST ELEVATION



SOUTHWEST ELEVATION

MATERIAL DESCRIPTION

- WOOD FASCIA
- US TILE - SPANISH TILE
- EXTERIOR STUCCO FINISH
- DOOR GLAZING WITH POWDER COATED METAL FRAME BUILDING DOOR
- METAL TRELLIS
- 3/4" REVEAL
- RECESSED DECORATIVE MEDALLION
- SIGNAGE
- STONE VENEER
- GREENSCREEN TRELLIS
- ROLL-UP DOOR

COLOR DESCRIPTION

- US TILE - SPANISH TILE
- SHERWIN WILLIAMS "NAVAJO WHITE" SW 6126
- SHERWIN WILLIAMS "RESTRAINED GOLD" SW 61 26
- SHERWIN WILLIAMS "STEADY BROWN" SW 61 10
- SHERWIN WILLIAMS "TRUSSED BROWN" SW 6032
- STONE VENEER ELKORADO STONE

**Pinnacle Plaza at Winchester
Temecula, CA**

ASSESSOR'S PARCEL NUMBERS - 476-010-015
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A - 201b

ELEVATIONS - BUILDING A - DRUGSTORE

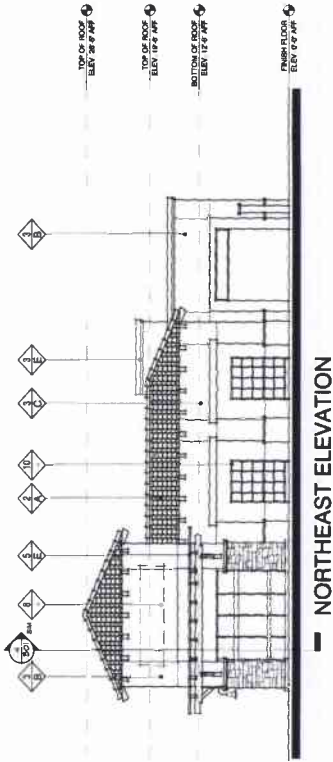


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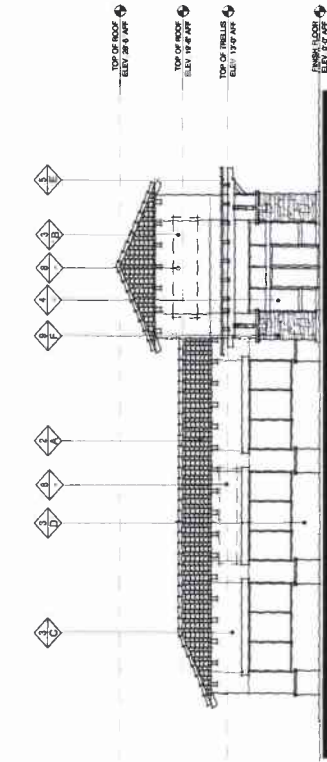
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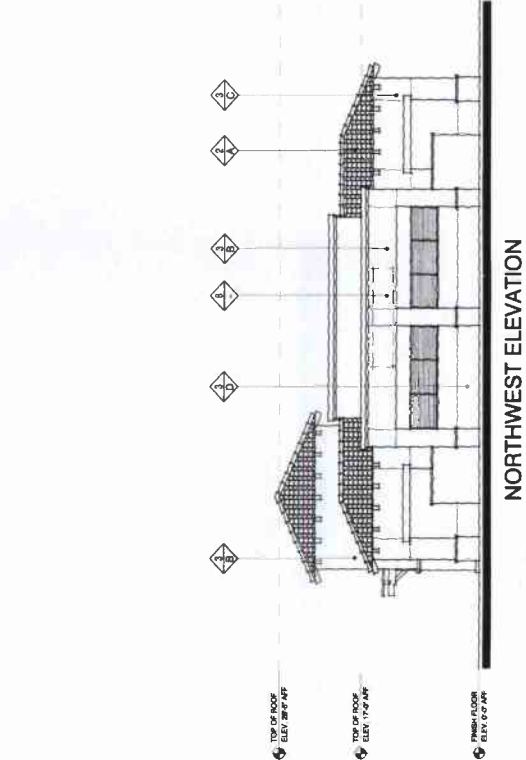




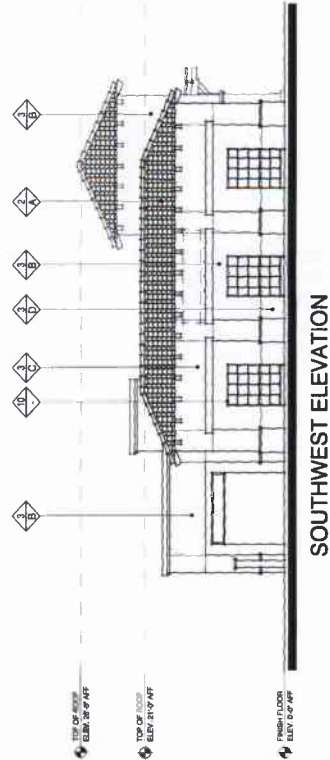
NORTHEAST ELEVATION



SOUTHEAST ELEVATION



NORTHWEST ELEVATION



SOUTHWEST ELEVATION

TOP OF ROOF
ELEV. 26' 0" AFF
TOP OF ROOF
ELEV. 18' 0" AFF
BOTTOM OF ROOF
ELEV. 12' 0" AFF
FINISH FLOOR
ELEV. 0' 0" AFF

TOP OF ROOF
ELEV. 26' 0" AFF
TOP OF ROOF
ELEV. 18' 0" AFF
TOP OF TRELLIS
ELEV. 12' 0" AFF
FINISH FLOOR
ELEV. 0' 0" AFF

TOP OF ROOF
ELEV. 26' 0" AFF
TOP OF ROOF
ELEV. 18' 0" AFF
FINISH FLOOR
ELEV. 0' 0" AFF

TOP OF ROOF
ELEV. 26' 0" AFF
TOP OF ROOF
ELEV. 18' 0" AFF
FINISH FLOOR
ELEV. 0' 0" AFF

MATERIAL DESCRIPTION

- 1 WOOD FASCIA
- 2 US TILE - SPANISH TILE
- 3 EXTERIOR STUCCO FINISH
- 4 DOOR GLAZING WITH POWDER COATED METAL FRAME SLIDING DOOR
- 5 METAL TRELLIS
- 6 3/4" REVEAL
- 7 RECESSED DECORATIVE MEDALLION
- 8 SIGNAGE
- 9 STONE VENEER
- 10 GREENSCREEN TRELLIS
- 11 ROLL-UP DOOR

COLOR DESCRIPTION

- 1 US TILE - SPANISH TILE
- 2 SHERWIN WILLIAMS "MAVADO WHITE" SW 6128
- 3 SHERWIN WILLIAMS "RESTRAINED GOLD" SW 61 29
- 4 SHERWIN WILLIAMS "STEADY BROWN" SW 6110
- 5 SHERWIN WILLIAMS "RUGGED BROWN" SW 6022
- 6 STONE VENEER ELBORADO STONE

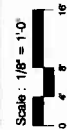
**Pinnacle Plaza at Winchester
Temecula, CA**

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476-010-016
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ELEVATIONS - BUILDING B - GAS STATION

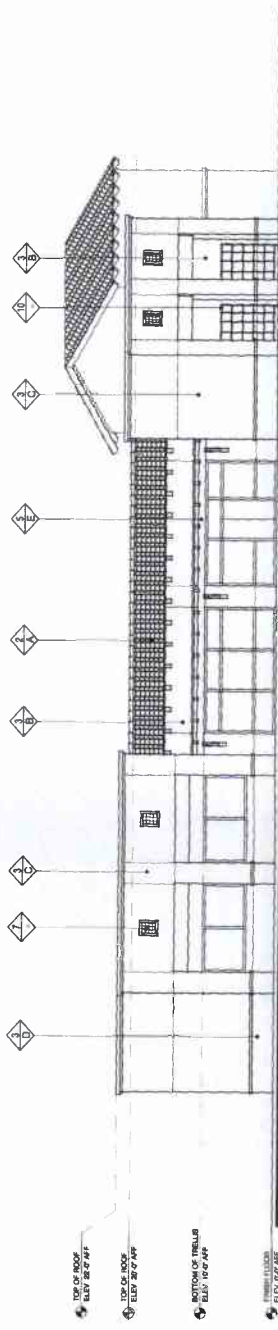


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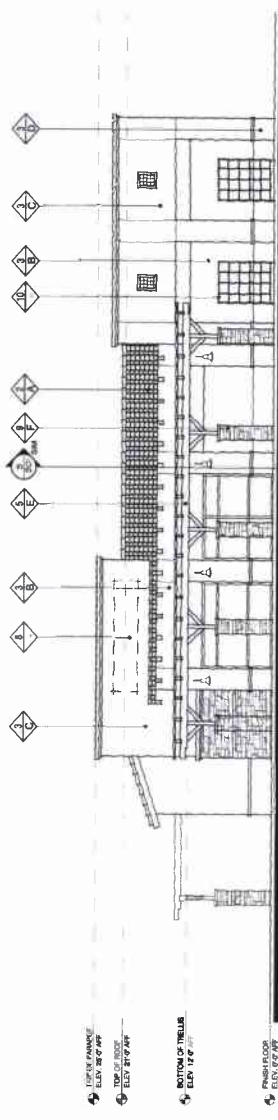
WEST ELEVATION

TOP OF ROOF
ELEV. 28.2' AFF

TOP OF SLOPE
ELEV. 28.2' AFF

BOTTOM OF TRELLIS
ELEV. 12.0' AFF

FINISH FLOOR
ELEV. 6.0' AFF



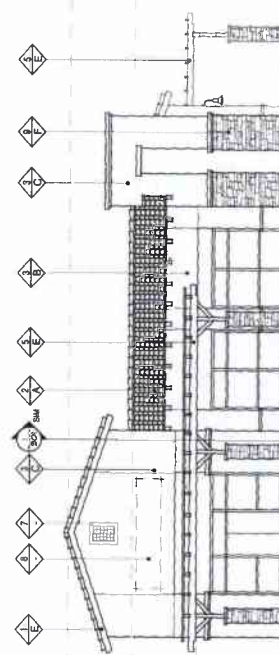
NORTHEAST ELEVATION

TOP OF FRAME
ELEV. 28.2' AFF

TOP OF ROOF
ELEV. 28.2' AFF

BOTTOM OF TRELLIS
ELEV. 12.0' AFF

FINISH FLOOR
ELEV. 6.0' AFF



SOUTHEAST ELEVATION

TOP OF ROOF
ELEV. 28.2' AFF

TOP OF SLOPE
ELEV. 28.2' AFF

BOTTOM OF TRELLIS
ELEV. 12.0' AFF

FINISH FLOOR
ELEV. 6.0' AFF

MATERIAL DESCRIPTION

- WOOD FASCIA
- US TILE - SPANISH TILE
- EXTERIOR STUCCO FINISH
- DOOR GLAZING WITH POWDER COATED METAL FRAME SLIDING DOOR
- METAL TRELLIS
- 3/4" REveal

- RECESSED DECORATIVE MEDALLION
- SIGNAGE
- STONE VENEER
- GREENSCREEN TRELLIS
- ROLL-UP DOOR

COLOR DESCRIPTION

- US TILE - SPANISH TILE
- SHERWIN WILLIAMS "NAVAJO WHITE" SW 6128
- SHERWIN WILLIAMS "RESTRAINED GOLD" SW 6129
- SHERWIN WILLIAMS "STEADY BROWN" SW 6110
- SHERWIN WILLIAMS "RUGGED BROWN" SW 6062
- STONE VENEER ELDORADO STONE

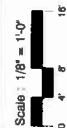
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Pinnacle Plaza at Winchester
Temecula, CA

ELEVATIONS - BUILDING C - DAYCARE



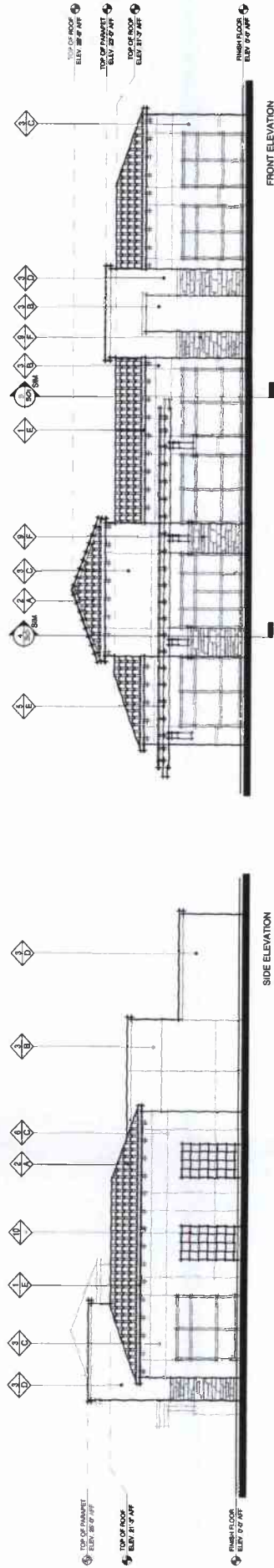
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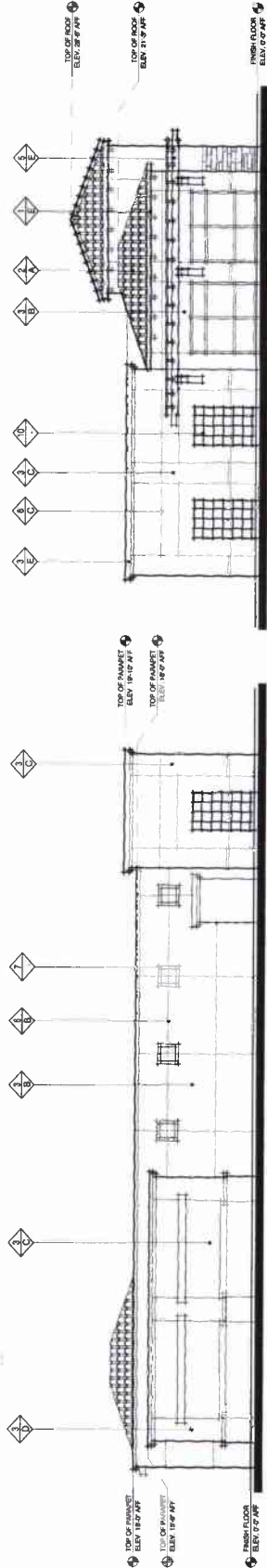
A - 203





FRONT ELEVATION

SIDE ELEVATION



REAR ELEVATION

SIDE ELEVATION

- MATERIAL DESCRIPTION**
- WOOD INADA
 - US TILE - SPANISH TILE
 - EXTERIOR STUCCO FINISH
 - DOOR GLAZING WITH POLYURETHANE COATED METAL FRAME, GLASS DOOR
 - METAL TRILLER
 - 3/4" REVEAL
 - RECESSED DECORATIVE MEDALLION
 - BRONZE
 - STONE VENEER
 - GREENGLASS TRILLER
 - ROLL-UP DOOR
- COLOR DESCRIPTION**
- US TILE SPANISH TILE
 - BEVERLY HILLS
 - "MAYAO WHITE" SW 6129
 - BEVERLY HILLS
 - RESTONWOOD SW 6129
 - "STONEY MOUNTAIN" SW 6119
 - BEVERLY HILLS
 - "RUSSETT BROWN" SW 6062
 - STONE VENEER
 - CUSTOM PAINT

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ELEVATIONS - BUILDING D - RESTAURANT

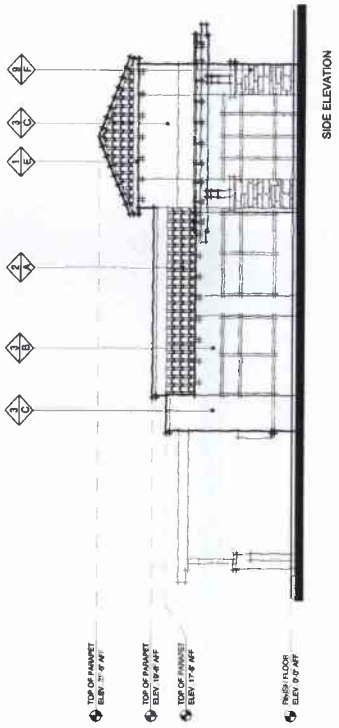


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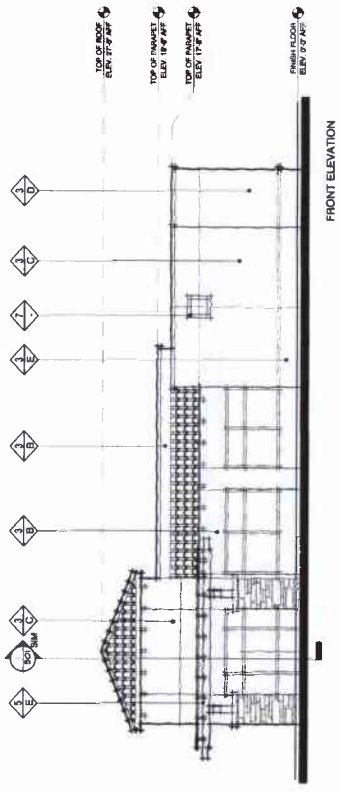
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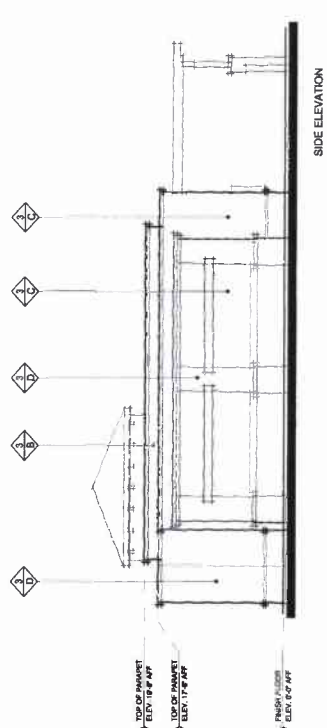




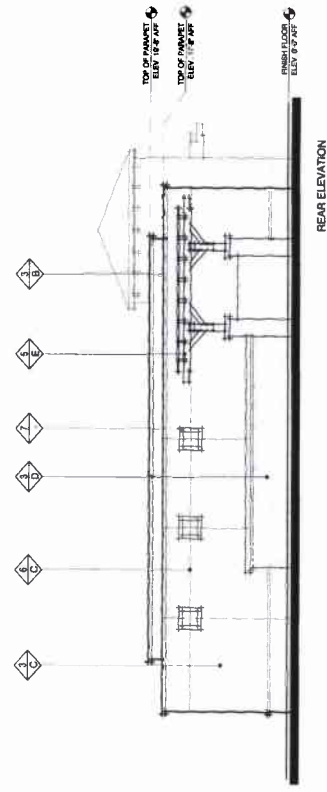
SIDE ELEVATION



FRONT ELEVATION



SIDE ELEVATION



REAR ELEVATION

- MATERIAL DESCRIPTION**
- WOOD FINISH
 - US TILE SPANISH TILE
 - EXTENSIVE STAINLESS STEEL
 - DOOR GLAZING WITH FINANCET COATED METAL FRAME SLIDING DOOR
 - METAL TRILLES
 - 3/4" METAL
 - RECELDED DECORATIVE METAL ON
 - STONE VENSER
 - GREENSCREEN TRILLES
 - ROLL-UP DOOR
- COLOR DESCRIPTION**
- US TILE SPANISH TILE
 - WOOD FINISH
 - RECELDED DECORATIVE METAL ON
 - STONE VENSER
 - GREENSCREEN TRILLES
 - ROLL-UP DOOR

DATE: 11/20/2009
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ELEVATIONS - BUILDING E - RESTAURANT



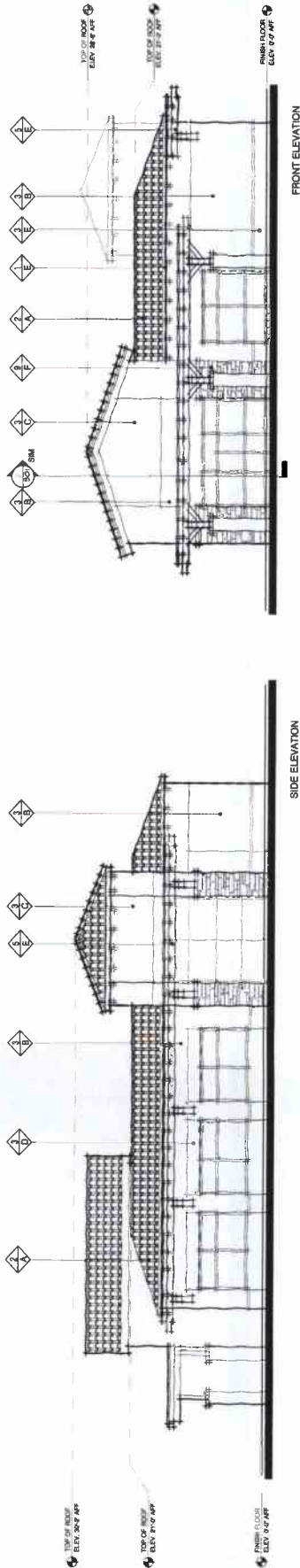
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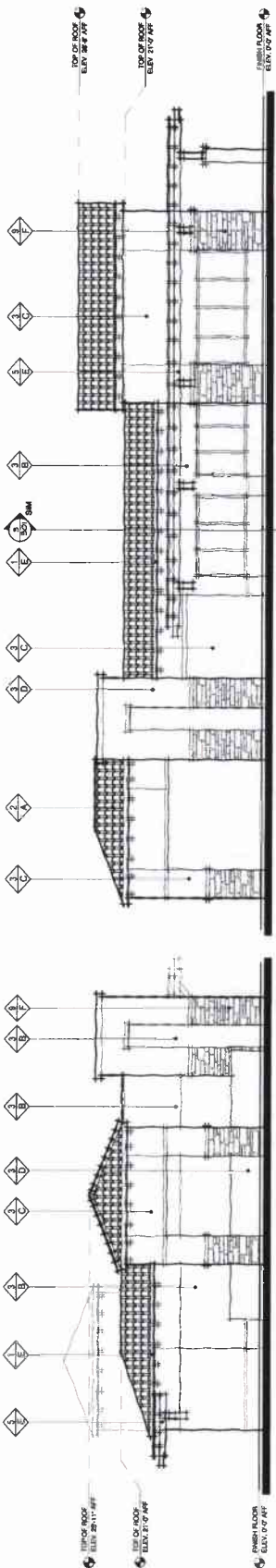
A - 205





FRONT ELEVATION

SIDE ELEVATION



SIDE ELEVATION

REAR ELEVATION

- | MATERIAL DESCRIPTION | COLOR DESCRIPTION |
|--|-------------------------------|
| WOOD FASCIA | US TILE SPANISH TILE |
| US TILE SPANISH TILE | SPANISH WALLWARE |
| EXTERIOR STUCCO FINISH | SPANISH WALLWARE |
| WOOD GLAZING WITH FINISH COATED METAL FRAME SLIDING DOOR | "STAYAWAY" COLDFRAME FIN #12R |
| METAL TRUSS | SPANISH WALLWARE |
| 3" METAL | "STAYAWAY" FIN #11 |
| RECESSED DECORATIVE MULLION | "WOOD WALLWARE" FIN #03 |
| SPANISH | STONE VENISEL |
| STONE VENISEL | GREENCREEPER TRILLS |
| GREENCREEPER TRILLS | ROLL-UP DOOR |

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A - 206

Pinnacle Plaza at Winchester Temecula, CA

ELEVATIONS - BUILDING F - FINANCIAL

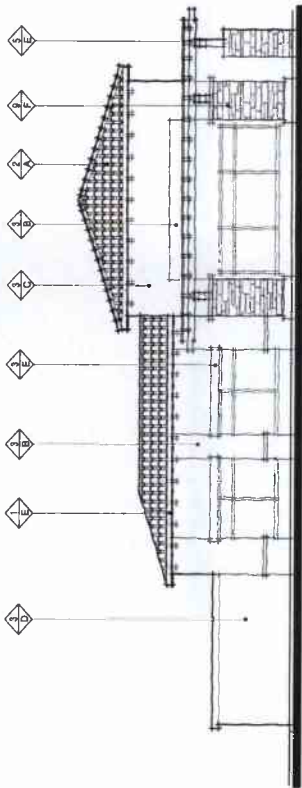


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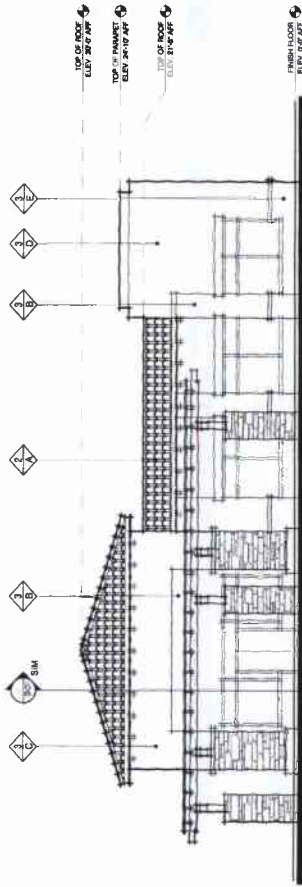
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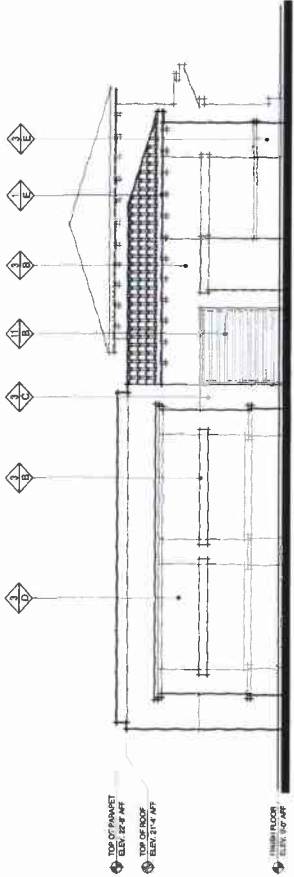




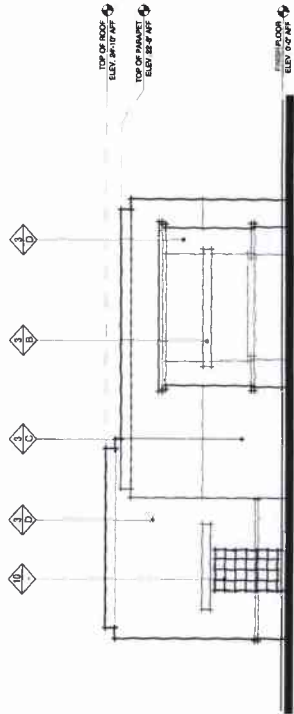
SIDE ELEVATION



FRONT ELEVATION



REAR ELEVATION



SIDE ELEVATION

- MATERIAL DESCRIPTION**
- WOOD FASCIA
 - US TILE - SPANISH TILE
 - EXTENSION BT WOOD FASCIA
 - METAL FRAME BEHIND EOOD
 - METAL TRUSSES
 - 3/4" METAL
 - RECESSED DECORATIVE METALLUM
 - SONAGE
 - STONE VENEER
 - GREENSCREEN TRUSSES
 - ROLLUP DOOR
- COLOR DESCRIPTION**
- US TILE - SPANISH TILE
 - BESTWIN WILLIAMS
 - "MAYO WHITE" SW 678
 - BESTWIN WILLIAMS
 - "RESTON GOLD" SW 6126
 - BESTWIN WILLIAMS
 - "STEADY BROWN" SW 6110
 - BESTWIN WILLIAMS
 - "RUGGED BROWN" SW 0025
 - "MAYO WHITE"
 - ELONWOOD STONE

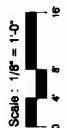
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ELEVATIONS - BUILDING G - RESTAURANT

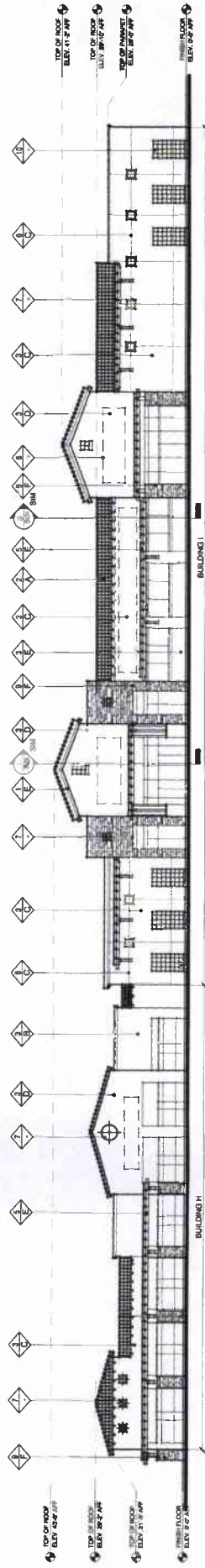


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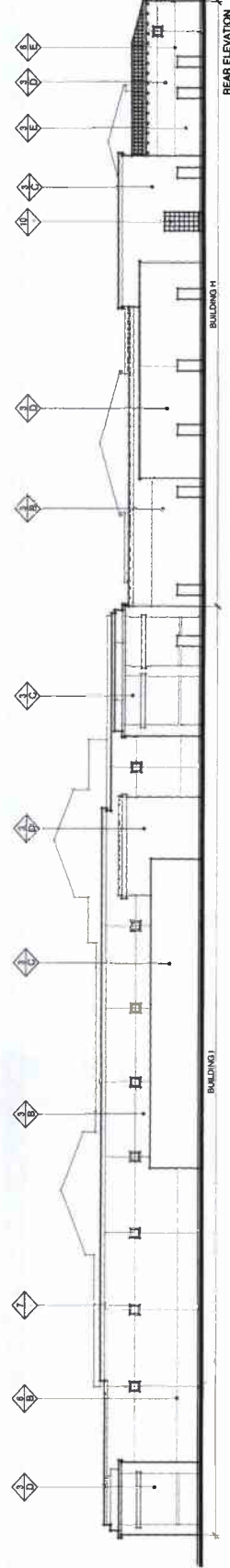
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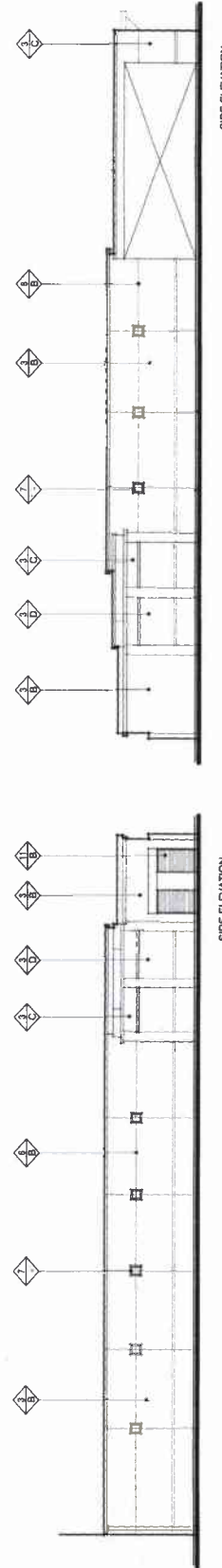




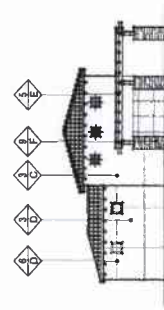
FRONT ELEVATION



REAR ELEVATION



SIDE ELEVATION



SIDE ELEVATION

- MATERIAL DESCRIPTION**
- 1 WOOD FACIA
 - 2 UR TILE - SPANISH TILE
 - 3 EXTERIOR BRICK FINISH
 - 4 COOK BLANKS WITH PAPER COATED METAL FRAME LIQUID DOOR
 - 5 METAL TRUSS
 - 6 3/4" REVEAL
 - 7 RECESSED DECORATIVE METALLION
 - 8 SHIMMER
 - 9 STONE SLABER
 - 10 GRIFFINDORF TRILLIS
 - 11 ROLLUP DOOR
- COLOR DESCRIPTION**
- 12 UR TILE - SPANISH TILE
 - 13 SPURRY WILLIAMS
 - 14 MANDALAY WALL
 - 15 WESTWARD SOLID SW 6128
 - 16 SPURRY WILLIAMS
 - 17 'STUART BROWN' SW 6110
 - 18 SPURRY WILLIAMS
 - 19 STONE SLABER
 - 20 ELDORADO STONE

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Temecula, CA

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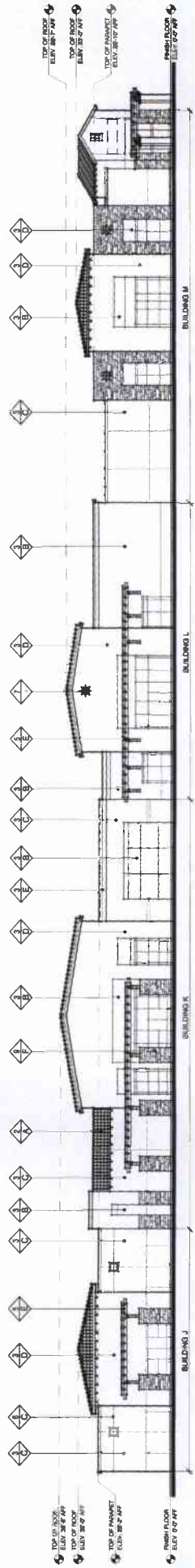
ELEVATIONS - BUILDING H AND I - SHOPS/MARKET



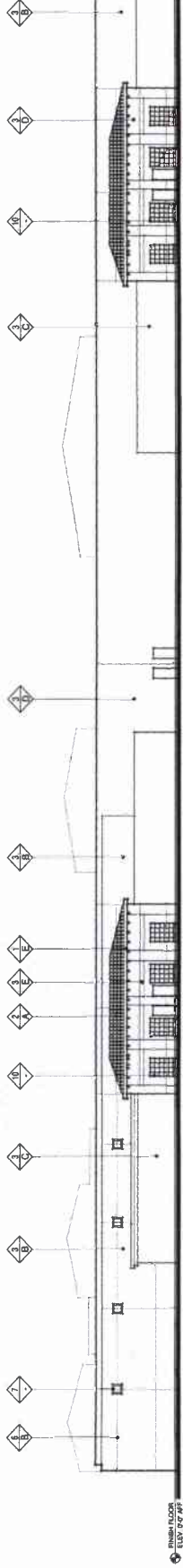
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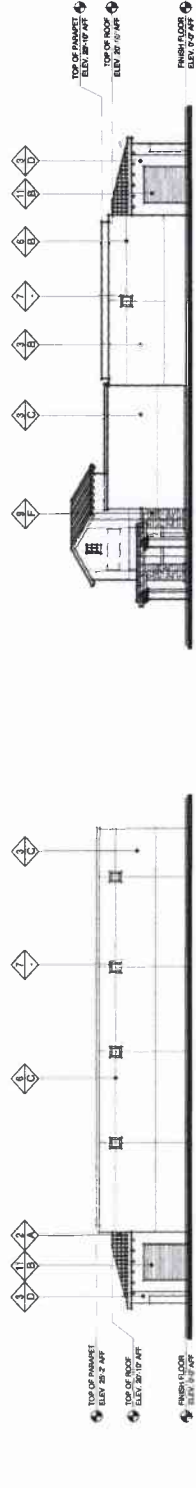




FRONT ELEVATION



REAR ELEVATION



SIDE ELEVATION

SIDE ELEVATION

- MATERIAL DESCRIPTION**
- WOOD PANDA
 - US TILE - SPANISH TILE
 - EXTENSIVE STUCCO FINISH
 - DOOR GLAZING WITH POWDER COATED METAL FRAME (ALUMINUM)
 - METAL TRUSS
 - 3M REVEAL
 - RECESSED DECORATIVE MEDALLION
 - DOORCASE
 - STONE VENEER
 - ORNLANDER TRUSS
 - ROLL-UP DOOR
- COLOR DESCRIPTION**
- US TILE - SPANISH TILE
 - SHERRIN WILLIAMS "MADRID MATTE" SW 6128
 - SHERRIN WILLIAMS "RESTORED GOLD" SW 61 75
 - SHERRIN WILLIAMS "STREATH" SW 61 110
 - SHERRIN WILLIAMS "TRUCOED BROWN" SW 6002
 - STONE VENEER EUROGRANITE

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ELEVATIONS - BUILDING J, K, L AND M - MAJORS

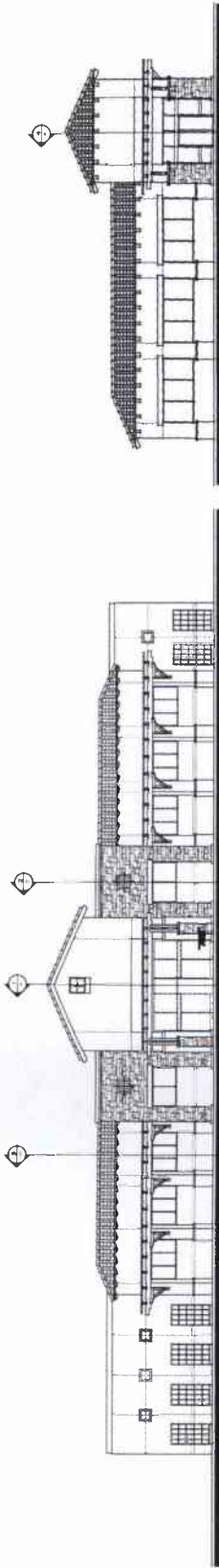


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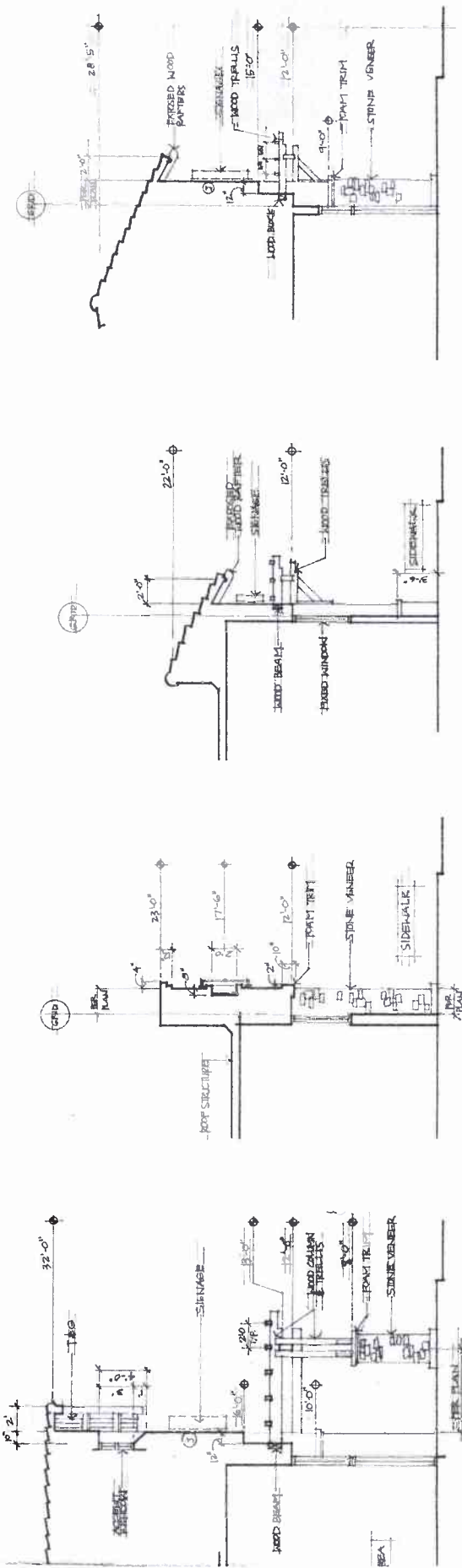
DRUGSTORE ELEVATION

GAS STATION CONVENIENT STORE ELEVATION



DAYCARE ELEVATION

DAYCARE ELEVATION



SECTION 1

SECTION 2

SECTION 3

SECTION 4

Pinnacle Plaza at Winchester
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SECTIONS AND DETAILS

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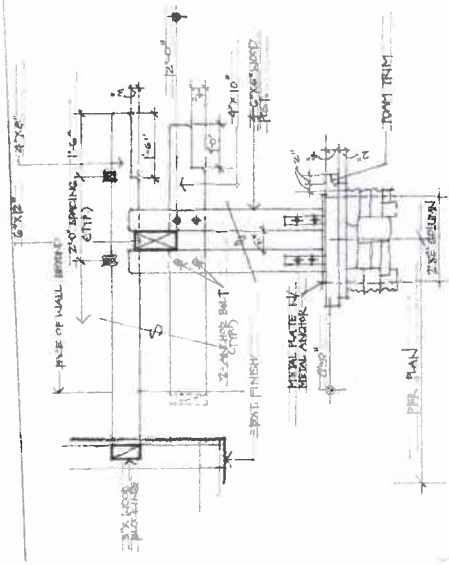
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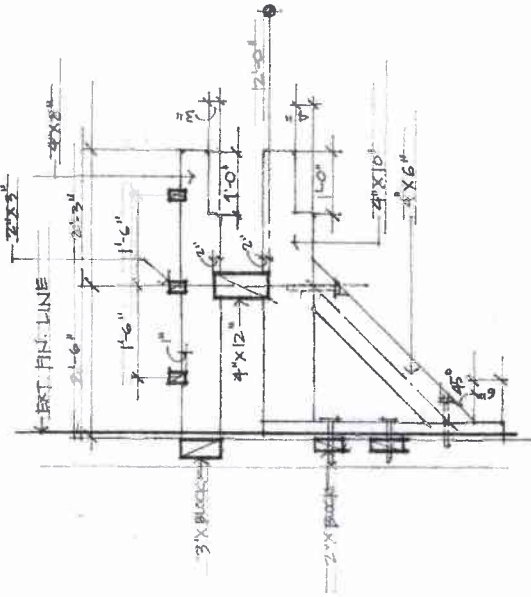
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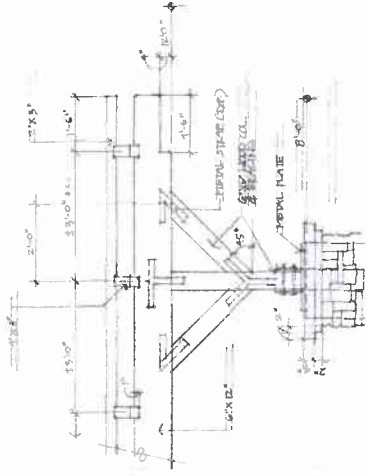
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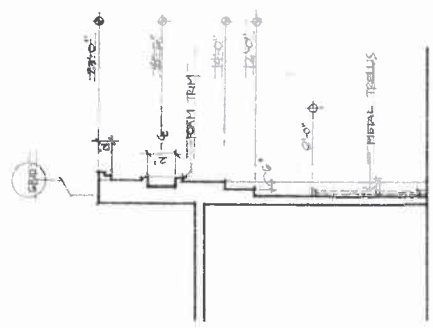
TRELLIS DETAIL 2



TRELLIS DETAIL 1

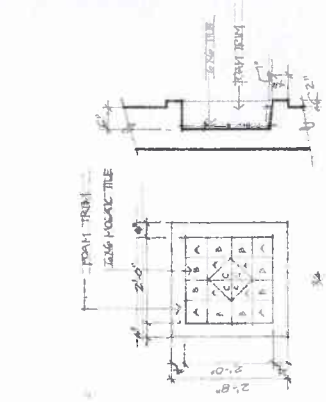


TRELLIS DETAIL 3

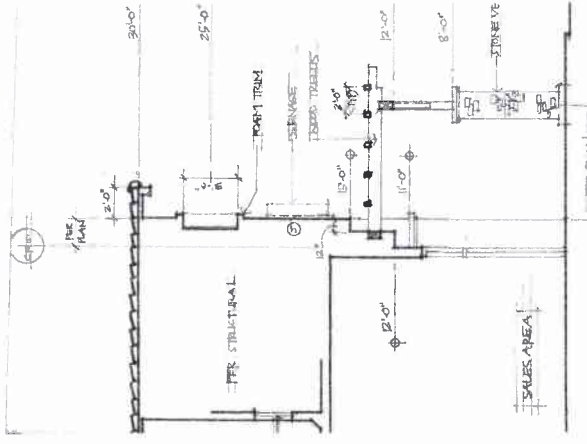


SECTION 6

Pinnacle Plaza at Winchester
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ACCENT TILE DETAIL



SECTION 5

SECTIONS AND DETAILS

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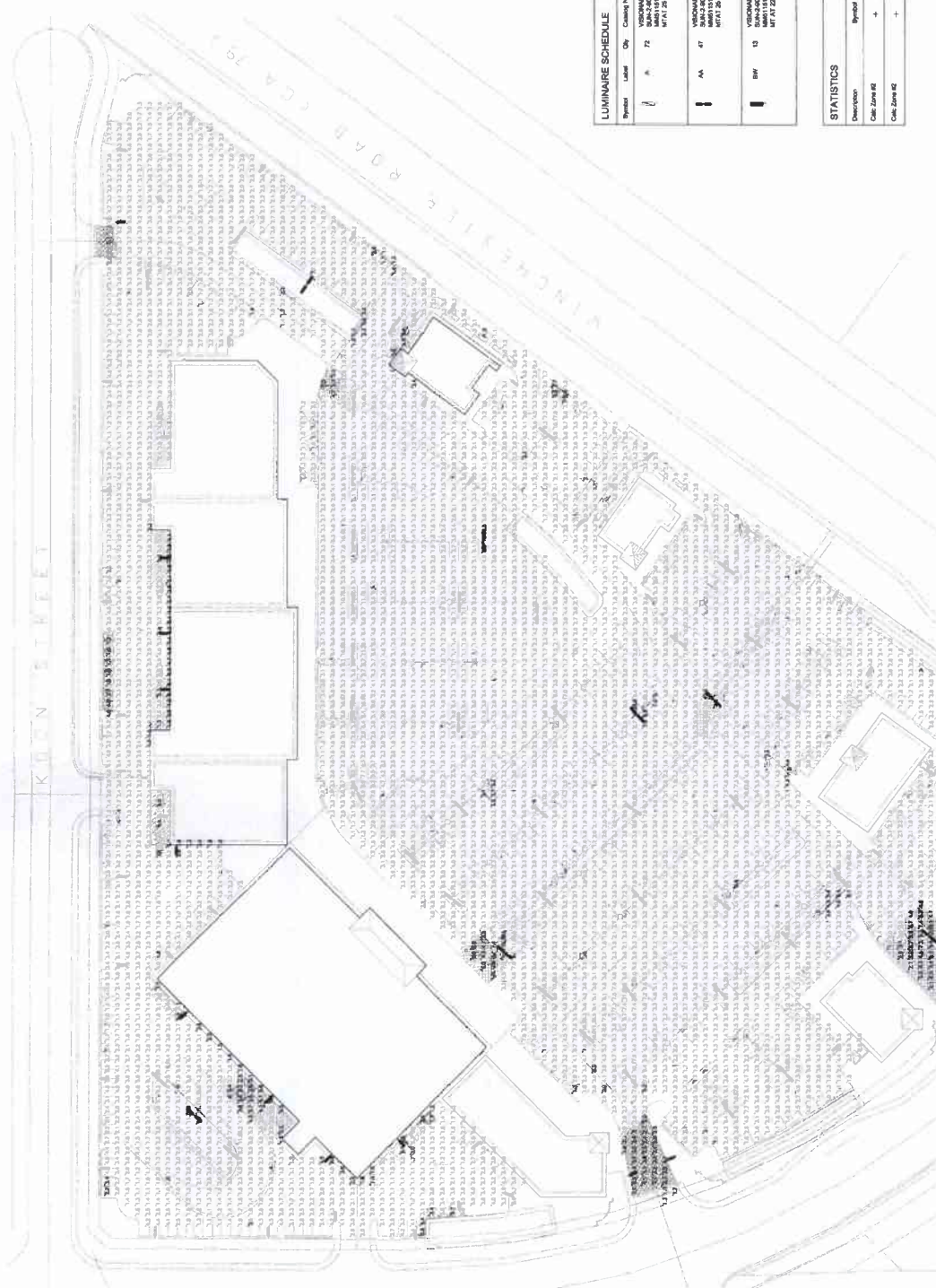
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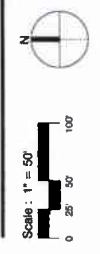
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PINNACLE WINCHESTER LP
C/O PINNACLE HOTELS USA
8369 VICKERS STREET, SUITE 101
SAN DIEGO, CA 92111
(858) 974-8201 X 330

RPM
REGISTERED PROFESSIONAL MEASUREMENTS
15000 LA JOLLA VILLAGE CENTER DRIVE
SAN DIEGO, CA 92131
PH: 619.451.1000
FAX: 619.451.1001
WWW.RPM-CA.COM

REGISTERED PROFESSIONAL ENGINEER
No. 01548
Exp. 12/31/2008
STATE OF CALIFORNIA
CIVIL ENGINEERING



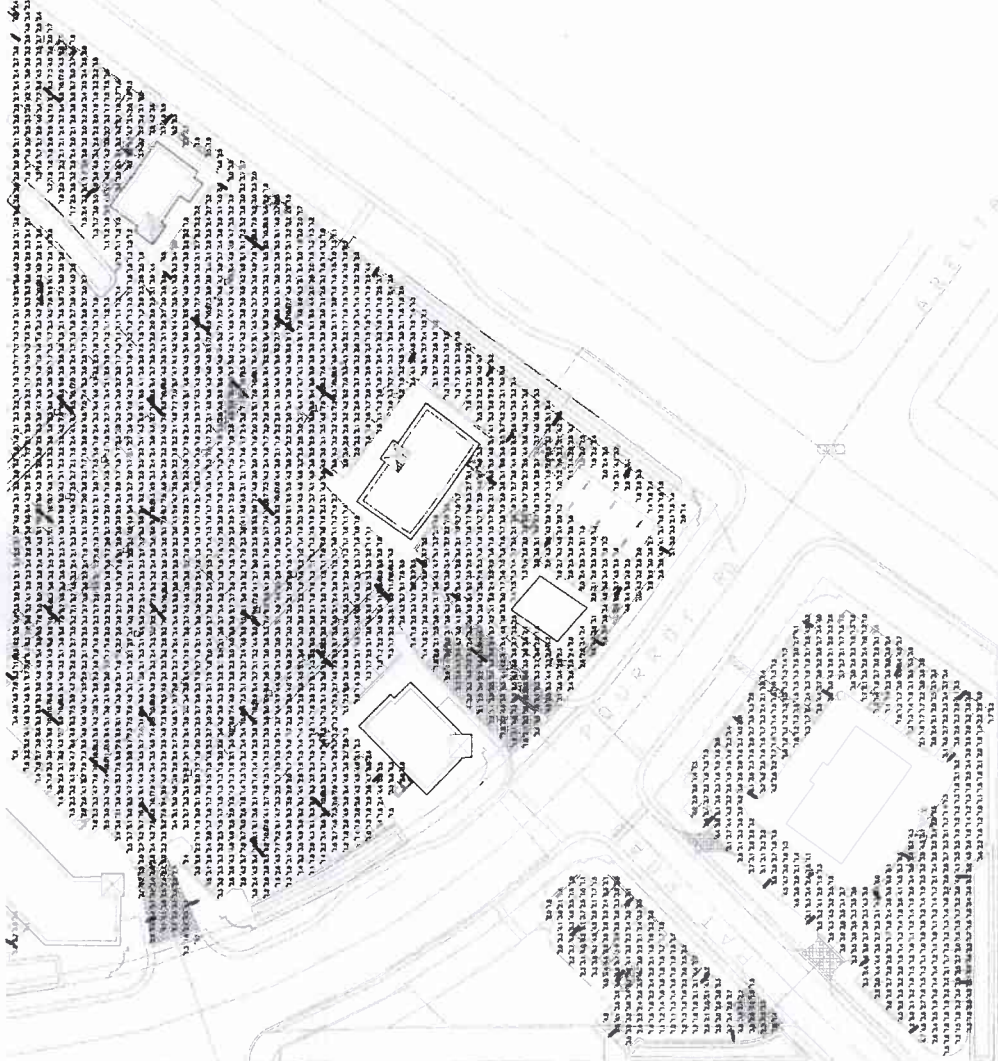
DATE:	04/22/2008
MC3 JOB #:	08.017.0
DATE:	
REVISIONS:	

THIS DOCUMENT IS UNCLASSIFIED
DATE 04/22/2008 BY 60321/RS/BAW/SKD
REASON: INFORMATION IS NECESSARY TO BE MADE AVAILABLE TO THE PUBLIC
GOVERNMENT AGENCY APPROVAL: No comments or approvals of
any kind are given or implied by the reviewer.

Symbol	Label	Qty	Quantity Number	Description	Length	File	Luminaire	LF	Watts
1	72		VISCOMARE LUMINAIRE MFL128 FT AVG	28-1/4" X 20 1/2" X 4 FT POLE MOUNTED REFLECTOR NAT LUMINAIRE SPECULAR TEMPERED GLASS LENS	2.80W LPS	LUMINAIRE 9	1000	0.72	225.4
2	47		VISCOMARE LUMINAIRE MFL128 FT AVG	28-1/4" X 20 1/2" X 4 FT POLE MOUNTED REFLECTOR NAT LUMINAIRE SPECULAR TEMPERED GLASS LENS	2.80W LPS	LUMINAIRE 9	1000	0.72	225.4
3	13		VISCOMARE LUMINAIRE MFL128 FT AVG	28-1/4" X 20 1/2" X 4 FT POLE MOUNTED REFLECTOR NAT LUMINAIRE SPECULAR TEMPERED GLASS LENS	2.80W LPS	LUMINAIRE 9	1000	0.72	225.4

Direction	Symbol	Avg	Min	Max	Min	Max	Min	Max
Calc Zone #1	+	3.4 E	11.8 E	17.6 E	1.0 E	11.8 E	11.8 E	24.1
Calc Zone #2	+	4.8 E	7.8 E	3.3 E	3.3 E	2.3 E	13.1	13.1

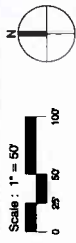




Pinnacle Plaza at Winchester Temecula, CA

ASSESSORS PARCEL NUMBERS - 476-010-015
476-010-016
476-010-017

PARTIAL PHOTOMETRIC SITE PLAN



DATE: 04/05/2009
MCL JOB #: 09/07/01

DATE: REVISIONS:

1. This drawing was prepared by MCL Lighting Design, Inc. (MCL) under contract to the Client. MCL is not responsible for the accuracy of the information provided by the Client. MCL is not responsible for the accuracy of the information provided by the Client. MCL is not responsible for the accuracy of the information provided by the Client.



RPM
ROBERT M. PINNACE
REGISTERED PROFESSIONAL ENGINEER
No. 81508
License No. 49132-0389
State of California
Professional Seal

APPLICANT AND OWNER
PINNACLE WINCHESTER LP
C/O PINNACLE HOTELS, USA
8369 VICKERS STREET, SUITE 101
SAN DIEGO, CA 92111
(858) 974-8201 X 330

EXHIBIT PREPARER
18201 Van Korman Avenue, Suite 250
Irvine, California 92612
Tel: 949.553.1117 Fax: 949.474.7056
mregarchitect.com

Symbol	Label	Qty	Category Number	Description	Lamp	File	Lumens	LF	Width
77	77	1	VISORANGE 20 WFL, 2.07W, X-PPH POLE MOUNTED SPECIALIZED REFLECTION PLAT LUMINAIRE SPECULAR TEMPERED GLASS LINE	2400W LP	LUMINAIRE S	14000	0.72	23.4	
AA	AA	4	VISORANGE 20 WFL, 2.07W, X-PPH LUMINAIRE SPECULAR TEMPERED GLASS LINE	2400W LP	LUMINAIRE S	14000	0.72	48.8	
BW	BW	13	VISORANGE 20 WFL, 2.07W, X-PPH LUMINAIRE SPECULAR TEMPERED GLASS LINE	2400W LP	LUMINAIRE S	14000	0.72	23.4	

Dimension	Symbol	Avg	Min	Max	Max/Min	Avg/Min
Clear Zone #1	+	3.4 ft	11.8 ft	16.5 ft	114.1	8.41
Clear Zone #2	+	4.2 ft	13.8 ft	23.1 ft	1.51	



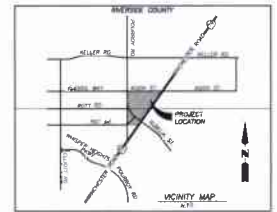
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CASE: PP24054
EXHIBIT: G, AMD. #2
DATED: 3/07/11
PLANNER: K. HESTERLY

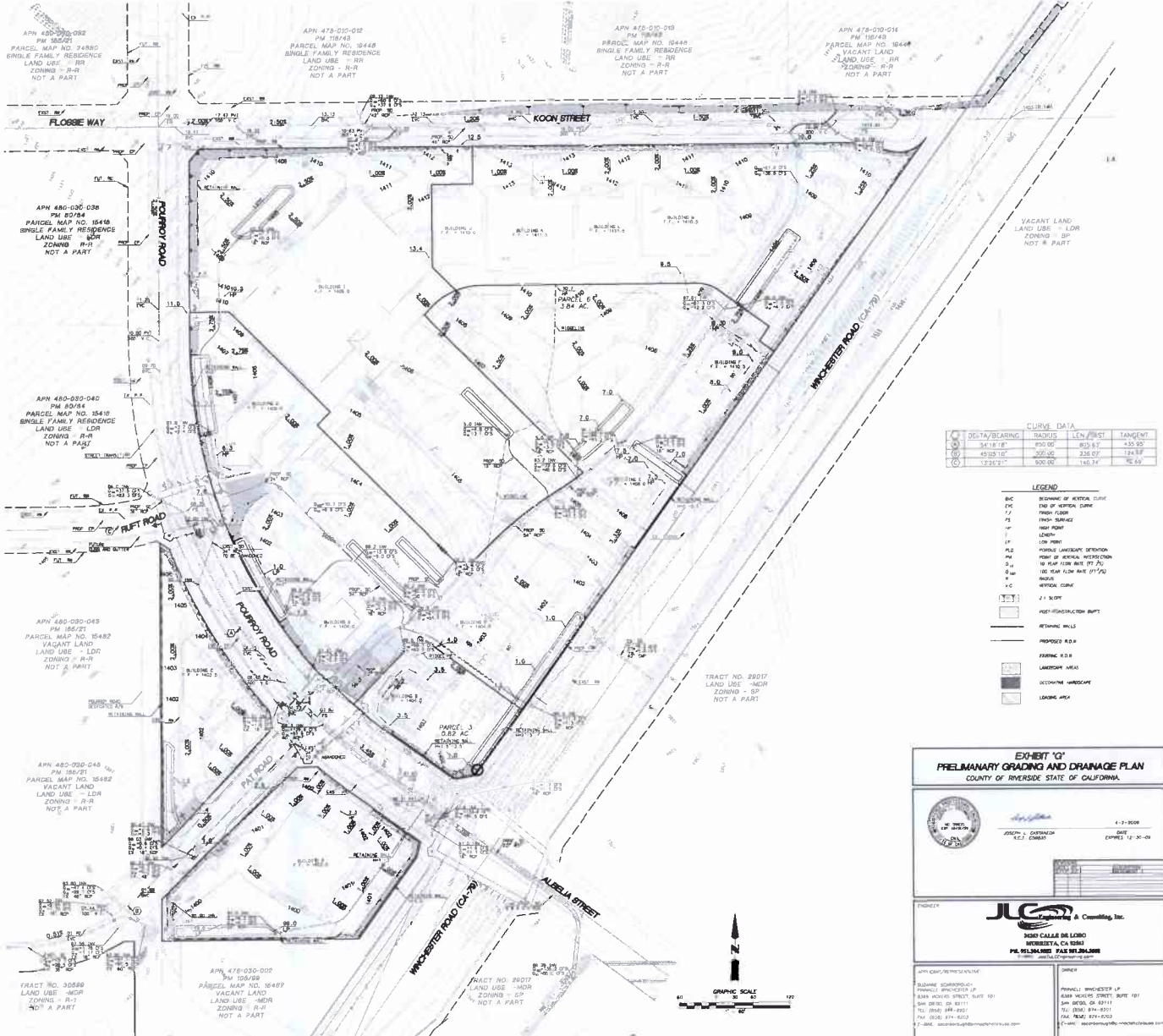
COUNTY OF RIVERSIDE, STATE OF CALIFORNIA
PRELIMINARY GRADING AND DRAINAGE PLAN

JLC ENGINEERING & CONSULTING, INC.
 AMENDMENT 1

FEBRUARY 17, 2010



SECTION 28 TOWNSHIP 8 SOUTH RANGE 2 WEST
 THOMAS BROS. PAGE 088, 03, 04, E3 AND E4



NO.	DETA/BEARING	RADIUS	LEN/POST	TANGENT
1	84°18'18"	250.00'	303.84'	125.00'
2	49°02'18"	300.00'	236.07'	124.89'
3	173°12'1"	300.00'	140.74'	162.69'

- LEGEND**
- BC - BEARING OF VERTICAL CURVE
 - ENC - END OF VERTICAL CURVE
 - FC - FINISH SURFACE
 - FS - FINISH SURFACE
 - HP - HIGH POINT
 - LEN - LENGTH
 - LP - LOW POINT
 - PL - PROPOSED VERTICAL CURVE
 - PIV - POINT OF VERTICAL INTERSECTION
 - Q - 100 YEAR FLOW RATE (FT³/S)
 - Q - 100 YEAR FLOW RATE (CFS)
 - VC - VERTICAL CURVE
 - Z - 1% SLOPE
 - Z - 1% SLOPE
 - POST-RECONSTRUCTION SWFT
 - RETAINING WALL
 - PROPOSED R.O.B.
 - EXISTING R.O.B.
 - UNIMPAVED AREA
 - EXISTING HARDSCAPE
 - LOADING AREA

EXHIBIT 'G'
PRELIMINARY GRADING AND DRAINAGE PLAN
 COUNTY OF RIVERSIDE, STATE OF CALIFORNIA

APPROVED: *[Signature]* DATE: 4-7-2010
 PROJECT: *[Signature]* DATE: 02/08/10

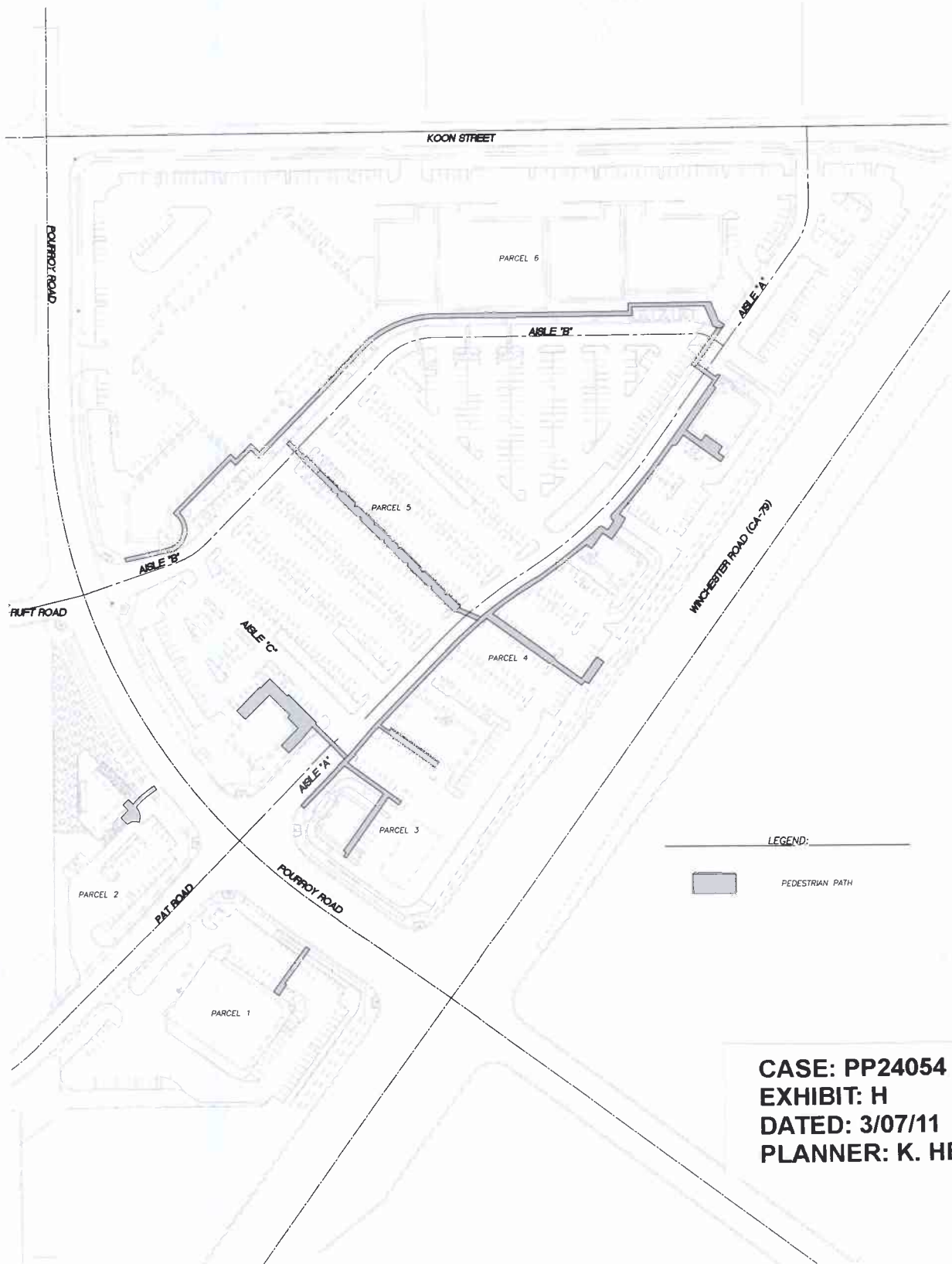
JLC ENGINEERING & CONSULTING, INC.
 8000 CALLES DE LEON
 RIVERSIDE, CA 92504
 PH: 951-514-2000 FAX: 951-514-2008
 WWW.JLCEngineering.com

PROJECT: PROJECT NO. 09111
 DATE: 02/08/10
 SHEET NO. 09111-001
 TOTAL SHEETS: 09111-002

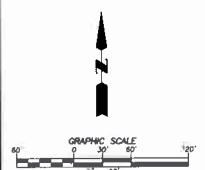
PINNACLE WINCHESTER PLAZA

COUNTY OF RIVERSIDE, STATE OF CALIFORNIA

PEDESTRIAN PATH MAP



CASE: PP24054
EXHIBIT: H
DATED: 3/07/11
PLANNER: K. HESTERLY

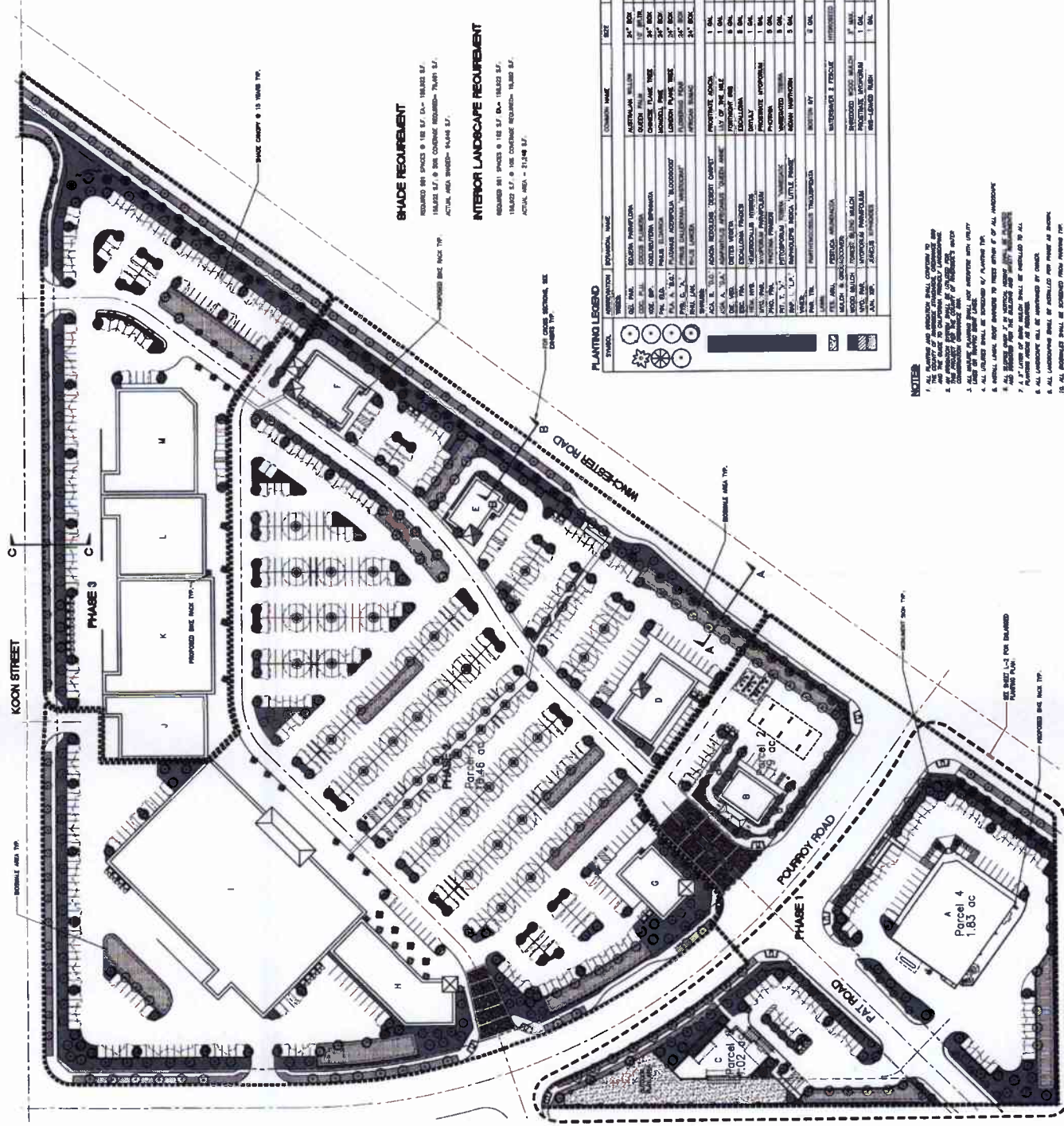


JLC Engineering & Consulting, Inc.
 36263 CALLE DE LOBO
 MURRIETA, CA 92562
 PH. 951.304.9552 FAX 951.304.3568

EXHIBIT 'H'
WINCHESTER PLAZA
PEDESTRIAN PATH
MAP



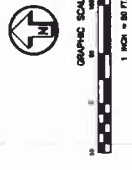
- Shadeable Canopy Requirements**
1. Shadeable Canopy Requirements: Minimum 10% Coverage
 2. Shadeable Canopy Requirements: Minimum 10% Coverage
- Shade Requirement**
 REQUIRED 80% PINNACLE 10' x 10' 0" - 10' x 10' 0"
 10' x 10' 0" PINNACLE 10' x 10' 0" - 10' x 10' 0"
 ACTUAL AREA SHADING - 10' x 10' 0"
- Interior Landscape Requirement**
 REQUIRED 80% PINNACLE 10' x 10' 0" - 10' x 10' 0"
 10' x 10' 0" PINNACLE 10' x 10' 0" - 10' x 10' 0"
 ACTUAL AREA SHADING - 10' x 10' 0"



PLANTING LEGEND	SYMBOL	PLANTING NAME	QUANTITY	NOTES
(Symbol)	1	ACACIA	1	10' x 10' 0"
(Symbol)	2	ACACIA	1	10' x 10' 0"
(Symbol)	3	ACACIA	1	10' x 10' 0"
(Symbol)	4	ACACIA	1	10' x 10' 0"
(Symbol)	5	ACACIA	1	10' x 10' 0"
(Symbol)	6	ACACIA	1	10' x 10' 0"
(Symbol)	7	ACACIA	1	10' x 10' 0"
(Symbol)	8	ACACIA	1	10' x 10' 0"
(Symbol)	9	ACACIA	1	10' x 10' 0"
(Symbol)	10	ACACIA	1	10' x 10' 0"
(Symbol)	11	ACACIA	1	10' x 10' 0"
(Symbol)	12	ACACIA	1	10' x 10' 0"
(Symbol)	13	ACACIA	1	10' x 10' 0"
(Symbol)	14	ACACIA	1	10' x 10' 0"
(Symbol)	15	ACACIA	1	10' x 10' 0"
(Symbol)	16	ACACIA	1	10' x 10' 0"
(Symbol)	17	ACACIA	1	10' x 10' 0"
(Symbol)	18	ACACIA	1	10' x 10' 0"
(Symbol)	19	ACACIA	1	10' x 10' 0"
(Symbol)	20	ACACIA	1	10' x 10' 0"
(Symbol)	21	ACACIA	1	10' x 10' 0"
(Symbol)	22	ACACIA	1	10' x 10' 0"
(Symbol)	23	ACACIA	1	10' x 10' 0"
(Symbol)	24	ACACIA	1	10' x 10' 0"
(Symbol)	25	ACACIA	1	10' x 10' 0"
(Symbol)	26	ACACIA	1	10' x 10' 0"
(Symbol)	27	ACACIA	1	10' x 10' 0"
(Symbol)	28	ACACIA	1	10' x 10' 0"
(Symbol)	29	ACACIA	1	10' x 10' 0"
(Symbol)	30	ACACIA	1	10' x 10' 0"
(Symbol)	31	ACACIA	1	10' x 10' 0"
(Symbol)	32	ACACIA	1	10' x 10' 0"
(Symbol)	33	ACACIA	1	10' x 10' 0"
(Symbol)	34	ACACIA	1	10' x 10' 0"
(Symbol)	35	ACACIA	1	10' x 10' 0"
(Symbol)	36	ACACIA	1	10' x 10' 0"
(Symbol)	37	ACACIA	1	10' x 10' 0"
(Symbol)	38	ACACIA	1	10' x 10' 0"
(Symbol)	39	ACACIA	1	10' x 10' 0"
(Symbol)	40	ACACIA	1	10' x 10' 0"
(Symbol)	41	ACACIA	1	10' x 10' 0"
(Symbol)	42	ACACIA	1	10' x 10' 0"
(Symbol)	43	ACACIA	1	10' x 10' 0"
(Symbol)	44	ACACIA	1	10' x 10' 0"
(Symbol)	45	ACACIA	1	10' x 10' 0"
(Symbol)	46	ACACIA	1	10' x 10' 0"
(Symbol)	47	ACACIA	1	10' x 10' 0"
(Symbol)	48	ACACIA	1	10' x 10' 0"
(Symbol)	49	ACACIA	1	10' x 10' 0"
(Symbol)	50	ACACIA	1	10' x 10' 0"

NOTE:

1. ALL PLANTING SHALL BE INSTALLED BY THE CONTRACTOR.
2. ALL PLANTING SHALL BE INSTALLED BY THE CONTRACTOR.
3. ALL PLANTING SHALL BE INSTALLED BY THE CONTRACTOR.
4. ALL PLANTING SHALL BE INSTALLED BY THE CONTRACTOR.
5. ALL PLANTING SHALL BE INSTALLED BY THE CONTRACTOR.
6. ALL PLANTING SHALL BE INSTALLED BY THE CONTRACTOR.
7. ALL PLANTING SHALL BE INSTALLED BY THE CONTRACTOR.
8. ALL PLANTING SHALL BE INSTALLED BY THE CONTRACTOR.
9. ALL PLANTING SHALL BE INSTALLED BY THE CONTRACTOR.
10. ALL PLANTING SHALL BE INSTALLED BY THE CONTRACTOR.



REVISED

ALHAMBRA GROUP
LANDSCAPE ARCHITECTURE
California License #2017
RECREATION FACILITIES PLANNING
14350 Edinburg Circle, Suite C
Van Nuys, CA 91411 (818) 704-8822 Fax: 818-704-8823



PROJECT: PINNACLE PLAZA AT WINCHESTER
OWNER: PINNACLE WINCHESTER LP C/O PINNACLE HOTELS USA, INC.
DATE: 04-01-06
DRAWN: V.D.
CHECKED: V.D.
DATE: 04-01-06
PLANNER: M. WESTRALLY

JOB NO. 06-149

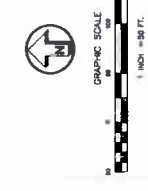


PHASE LEGEND

PHASE 1	PHASE 2	PHASE 3
BUILDING A	BUILDING D	BUILDING J
BUILDING B	BUILDING E	BUILDING K
BUILDING C	BUILDING F	BUILDING L
	BUILDING G	BUILDING M
	BUILDING H	
	BUILDING I	

PLANTING LEGEND

SYMBOL	ABBREVIATION	SYMBOL	COMMON NAME	SIZE	NUMBER	REMARKS	WATER USE
(Tree icon)	CELESTIAL	(Tree icon)	AUTUMN WILLO	24" DIA	51	DOUBLE STAKE / HEIGHT 8'-11" / SPREAD 3'-4" DIA.	M
(Tree icon)	CELESTIAL	(Tree icon)	CHERRY PLUM TREE	24" DIA	219	DOUBLE STAKE / HEIGHT 8'-11" / SPREAD 3'-4" DIA.	M
(Tree icon)	CELESTIAL	(Tree icon)	MONSIEUR ORANGE	24" DIA	51	DOUBLE STAKE / HEIGHT 8'-11" / SPREAD 3'-4" DIA.	M
(Tree icon)	CELESTIAL	(Tree icon)	LONDON PLUM TREE	24" DIA	40	DOUBLE STAKE / HEIGHT 8'-11" / SPREAD 3'-4" DIA.	M
(Tree icon)	CELESTIAL	(Tree icon)	PURPLE LEAF PLUM	24" DIA	89	DOUBLE STAKE / HEIGHT 8'-11" / SPREAD 3'-4" DIA.	M
(Tree icon)	CELESTIAL	(Tree icon)	PROSTRATE DOGWOOD	1 CAL	222	FALL & SPREADING @ 8' O.C.	L
(Tree icon)	CELESTIAL	(Tree icon)	LET OF THE TREE	1 CAL	1	FALL & SPREADING @ 8' O.C.	L
(Tree icon)	CELESTIAL	(Tree icon)	EXCALIBUR	3 CAL	1	FALL & SPREADING @ 8' O.C.	L
(Tree icon)	CELESTIAL	(Tree icon)	PROSTRATE HYDRANGEA	1 CAL	1	FALL & SPREADING @ 8' O.C.	L
(Tree icon)	CELESTIAL	(Tree icon)	PROSTRATE HYDRANGEA	3 CAL	1	FALL & SPREADING @ 8' O.C.	L
(Tree icon)	CELESTIAL	(Tree icon)	MINI HYDRANGEA	3 CAL	1	FALL & SPREADING @ 8' O.C.	L
(Tree icon)	CELESTIAL	(Tree icon)	WESTERN YU	3 CAL	1	ATTACH TO WALL	M
(Tree icon)	CELESTIAL	(Tree icon)	WATERBURY	3 CAL	1	ATTACH TO WALL	M
(Tree icon)	CELESTIAL	(Tree icon)	SHREVEWOOD WOOD PALM	3" DIA	1	AS REQD.	M
(Tree icon)	CELESTIAL	(Tree icon)	SHREVEWOOD WOOD PALM	1 CAL	1	FALL & SPREADING @ 8' O.C.	L
(Tree icon)	CELESTIAL	(Tree icon)	RED-BUDDED DOGWOOD	1 CAL	1	AS REQD.	M



COLOR LANDSCAPE PLAN

ALL TREE SYMBOLS 1. LANDSCAPE ARCHITECTURE GROUP HAS NOT VISITED THE PROJECT SITE. THEREFORE, THE PLANTING LEGEND IS BASED ON THE INFORMATION PROVIDED BY THE CLIENT. THE CLIENT IS RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED. THE PLANTING LEGEND IS BASED ON THE INFORMATION PROVIDED BY THE CLIENT. THE CLIENT IS RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED.

REVISED

ALHAMBRA GROUP
LANDSCAPE ARCHITECTURE
CREATING BEAUTIFUL SPACES
4180 DOWNEY DRIVE, SUITE 100
DOWNEY, CA 90241
RECREATION FACILITIES PLANNING
CALIFORNIA LICENSE #2017



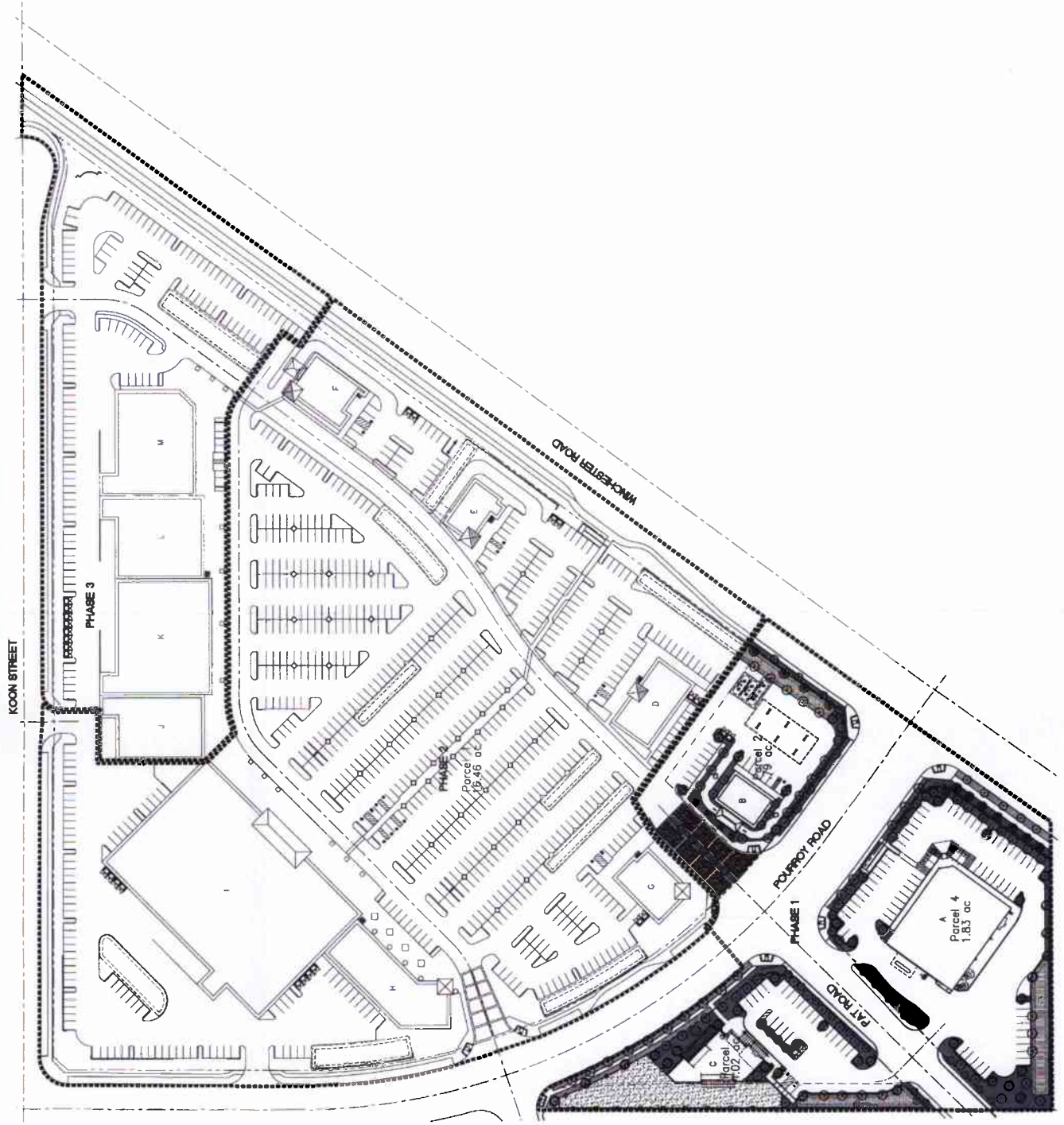
PROJECT: PINNACLE WINCHESTER LP C/O PINNACLE HOTELS USA, INC.
OWNER: PINNACLE WINCHESTER LP
800 WOODBURY STREET, SUITE 100
DOWNEY, CA 90241
800 828-8288 FAX 909 824-8808 CONTACT: SARAH SCARBOROUGH

DATE: 04/23/11
JOB NO. 08-149
DRAWN: VJD
CHECKED: VJD
SCALE: 1" = 40 FT.
DATE: 04/23/11
DRAWN BY: VJD
CHECKED BY: VJD
PLANNED BY: VJD



GRAPHIC SCALE
1" = 40 FT.

PHASING PLAN 1



THIS PLAN, SPECIFICATIONS, SCHEDULES AND THE INFORMATION THEREON ARE THE PROPERTY OF ALHAMBRA GROUP LANDSCAPE ARCHITECTURE. IT SHALL BE USED ONLY FOR THE PROJECT AND SHALL NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF ALHAMBRA GROUP LANDSCAPE ARCHITECTURE. ANY UNAUTHORIZED USE OF THIS PLAN OR INFORMATION THEREON SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO ALHAMBRA GROUP LANDSCAPE ARCHITECTURE.

REVISED

ALHAMBRA GROUP
LANDSCAPE ARCHITECTURE
California license #2017
RECREATION FACILITIES PLANNING
4753 GARDEN GROVE BLVD, SUITE 5
GARDEN GROVE, CA 92640 (714) 944-8888 FAX 949-944-8883

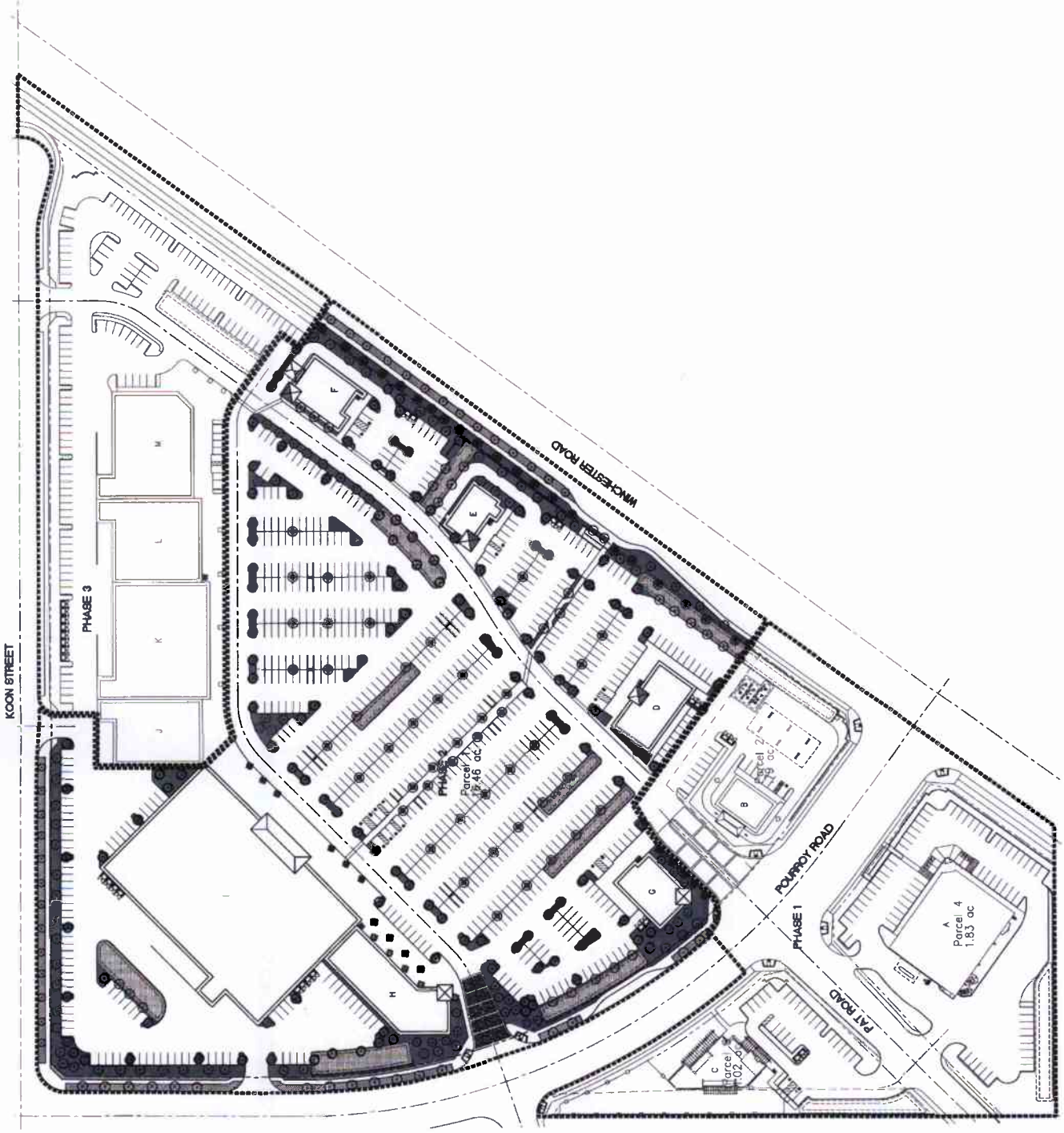


PROJECT: PINNACLE WINCHESTER LP C/O PINNACLE HOTELS USA, INC.
OWNER: PINNACLE HOTELS USA, INC.
DRAWN: V/D
CHECKED: V/D
DATE: 04/23/16

GRAPHIC SCALE
1" = 80 FT.
JOB NO. CG-149



PHASING PLAN 2



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REVISED

ALHAMBRA GROUP
LANDSCAPE ARCHITECTURE
California license #2017
RECREATION FACILITIES PLANNING
41232 Colton Ave, Suite 5
Torrance, CA 90503 (310) 552-7800 Fax: (310) 552-7803



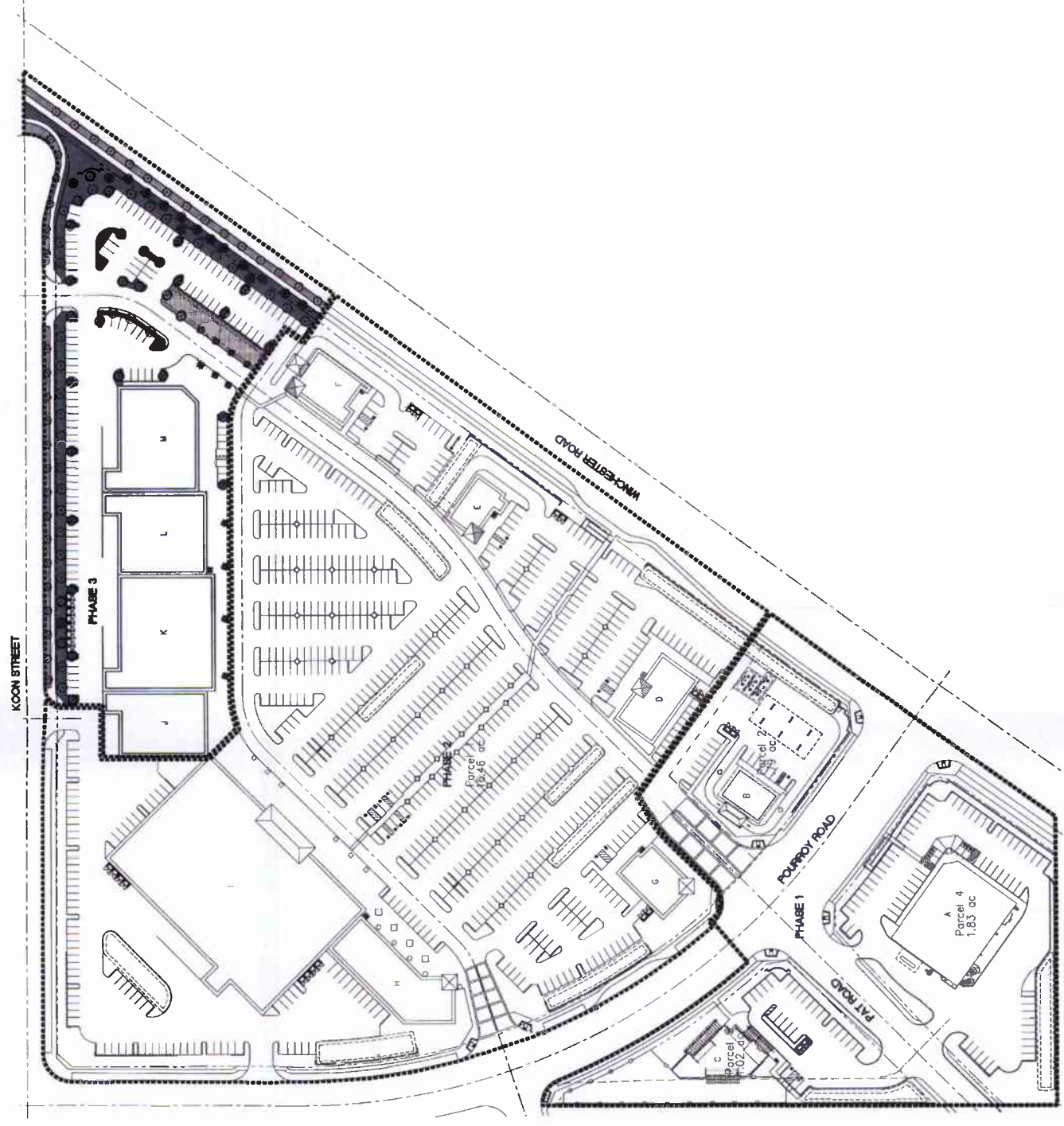
PROJECT: PINNACLE WINCHESTER LP C/O PINNACLE HOTELS USA, INC.
OWNER: PINNACLE WINCHESTER LP C/O PINNACLE HOTELS USA, INC.
1400 WICKERS STREET, SUITE 201
SAN DIEGO, CA 92104 (619) 574-8800 FAX: (619) 574-8805 CONTACT: SARAH@PWINC.COM

PROJECT: PINNACLE WINCHESTER LP C/O PINNACLE HOTELS USA, INC.
DRAWN: V.D.
CHECKED: V.D.
DATE: 04/23/11
SCALE: 1" = 80' FT.
JOB NO. 08-149



GRAPHIC SCALE
1" = 80' FT.

PHASING PLAN 3



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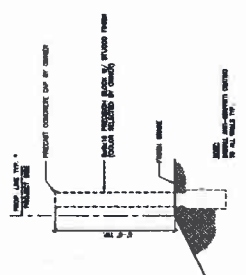
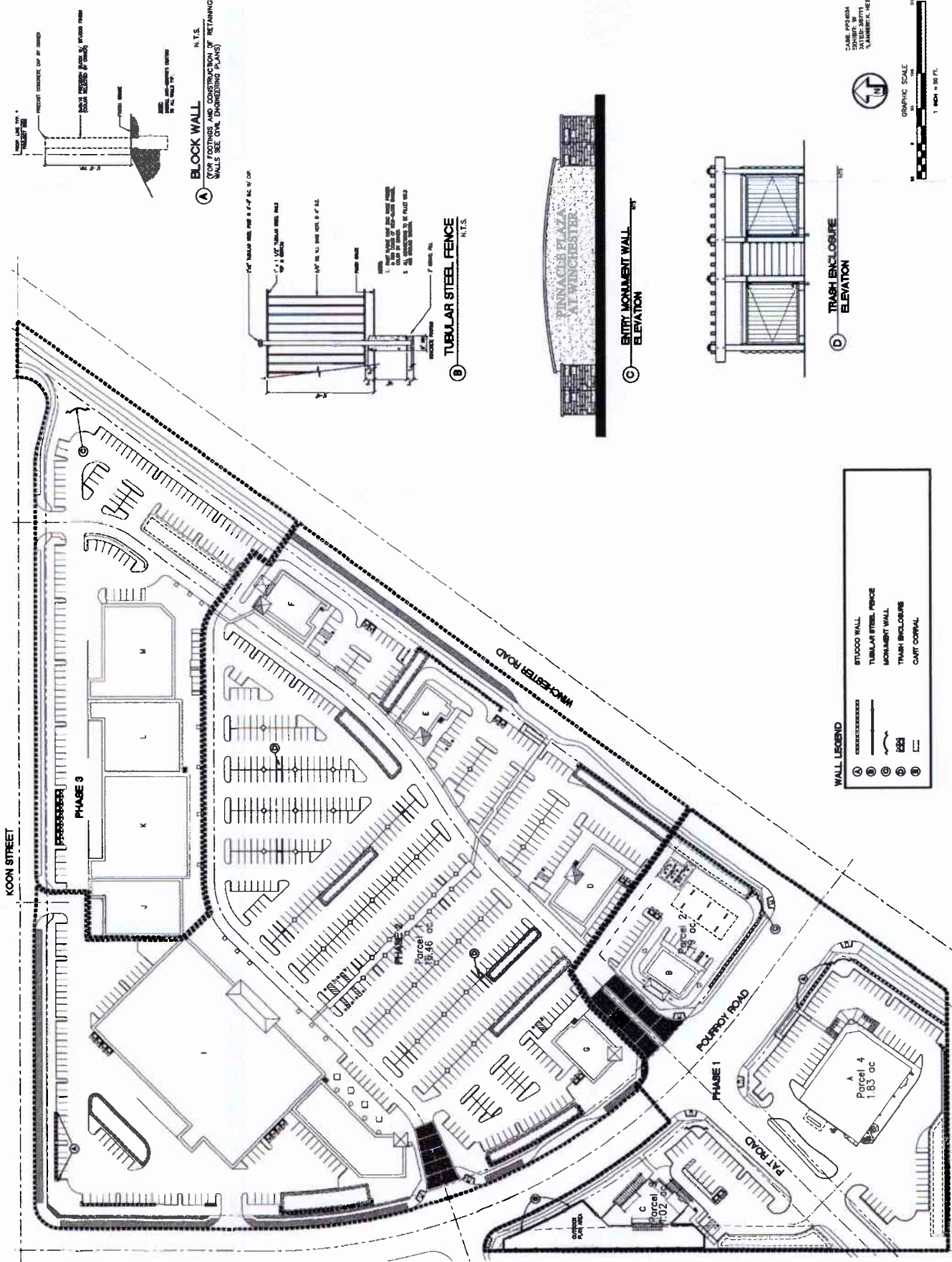
REVISED

ALHAMBRA GROUP
LANDSCAPE ARCHITECTURE
RECREATION FACILITIES PLANNING
California license #2017
1133 GARDEN GROVE BLVD
GARDEN GROVE, CA 92641
TEL: 949.441.1133
WWW.ALHAMBRA.COM

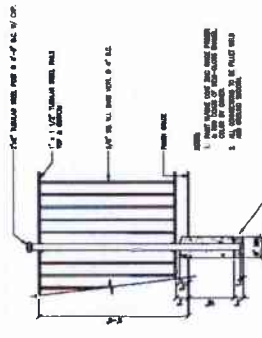


PROJECT: PINNACLE WINCHESTER LP C/O PINNACLE HOTELS & USA, INC.
DRAWN: V/D
CHECKED: V/D
DATE: 04/23/11
SHEET: L-2
of 7 sheets
JOB NO.: 08-149

8888 WINCHESTER STREET, SUITE 301
SAN DIEGO, CA 92121 (619) 574-6271 FAX (619) 574-6228 CONTACT: BILLYE KRAMER@ALHAMBRA.COM



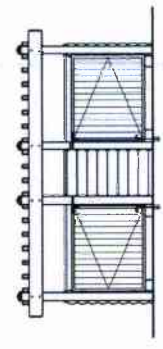
A BLOCK WALL
(FOR FOOTINGS AND CONSTRUCTION OF RETAINING WALLS SEE CIVIL ENGINEERING PLANS)
N.T.S.



B TUBULAR STEEL FENCE
N.T.S.



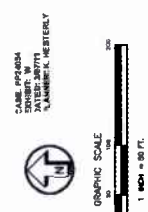
C ENTRY MONUMENT WALL
ELEVATION



D TRASH ENCLOSURE
ELEVATION

WALL LEGEND

(A)	STUCCO WALL
(B)	TUBULAR STEEL FENCE
(C)	MONUMENT WALL
(D)	TRASH ENCLOSURE
(E)	CURT CURB WALL



FENCE AND WALL PLAN

CASE: PP24054
EXHIBIT: D (PAGES 1-60)
DATED: 4/2009
PLANNER: K. HESTERLY

Design Guidelines

For

Pinnacle Plaza at Winchester

Prepared For:

County of Riverside
Planning Department
4080 Lemon Street, 9th Floor
P.O. Box 1409
Riverside, CA 92502
Phone: 951.955.3200
Fax: 951.955.1817

Property Owner/Applicant:

Pinnacle Winchester, LP
8369 Vickers Street 101
San Diego, CA 92111
Phone: 858.974.8201 X330
Fax: 858.974.8203

Prepared By:

Matthew Fagan Consulting Services
42011 Avenida Vista Ladera
Temecula, CA 92591
Phone/Fax: 951.699.2338
matthewfagan@roadrunner.com

April 2009

TABLE OF CONTENTS

I. INTRODUCTION	4
II. SITE DESIGN CONCEPTS	7
1. Site Layout	7
2. Site Access	7
3. Parking Areas	7
III. ARCHITECTURAL THEME	11
1. Architectural Styles	11
2. Building Form	11
3. Roof Form	17
4. Architectural Detailing	17
5. Colors & Materials	23
IV. LANDSCAPE MASTER PLAN	26
1. Parking and Entry Areas	26
2. Project Perimeters	30
A. Winchester Road	30
B. Pourroy Road	30
C. Koon Street	30
3. Walls, Fences, and Retaining Walls	31
4. General Concepts	37
5. Entry Monumentation	37
A. Major Entries	37
B. Minor Entries	37
6. Plant Legend and Palette	39
7. General Planting Guidelines	39
8. Irrigation Standards	39
9. Water Conservation	39
10. Sustainability	39
V. SITE AMENITIES	43
1. Pedestrian Access	43
2. Gathering and Seating Areas	43
3. Site Furnishings	43
4. Utilities, Lighting, and Service Areas	50
A. Utilities	50
B. Lighting	50
C. Loading and Service Areas	50
D. Trash Enclosures	51
VI. SIGNAGE	56
1. Guidelines	56
A. Appropriate	56
B. Inappropriate	56
2. General Sign Standards and Specifications	57
3. Building-Mounted Signs	57
A. General	57
B. Wall Signs	57
C. Permanent Window Signs	57
D. Awning Signs	57
E. Projecting Signs	58
F. Hanging Signs	58
4. Monument Sign	58
A. General	58
B. Specific Requirements	58

LIST OF FIGURES

Figure 1	Vicinity Map	5
Figure 2	Site Plan	6
Figure 3	Building Orientation	8
Figure 4	Street Edge Definitions	9
Figure 5	Pedestrian and Bike Access	10
Figure 6	Elevations	13
Figure 7	Architectural Design Themes and Elements	14
Figure 8	Building Entrance Emphasis	15
Figure 9	Architectural Details	16
Figure 10	Building Mass	18
Figure 11	Awnings	19
Figure 12	Roof Form	20
Figure 13	Building Facades	21
Figure 14	Building Trim and Accents	22
Figure 15	Murals, Trellises and Vines	24
Figure 16	Colors and Materials	25
Figure 17	Comprehensive Landscape Plan	27
Figure 18	Parking Area Landscaping	28
Figure 19	Colored/Textured Paving	29
Figure 20	Winchester Road Frontage	32
Figure 21	Winchester Road Frontage at Drive Through	33
Figure 22	Pourroy Road Frontage	34
Figure 23	Koon Street Frontage	35
Figure 24	Walls and Fences	36
Figure 25	Entry Monumentation	38
Figure 26	Plant Palette	42
Figure 27	Pedestrian Access	44
Figure 28	Pedestrian Walkways	45
Figure 29	Outdoor Gathering Areas	46
Figure 30	Gathering Areas Amenities	47
Figure 31	Outdoor Dining	48
Figure 32	Site Furnishings	49
Figure 33	Utilities	52
Figure 34	Light Fixtures	53
Figure 35	Loading Areas	54
Figure 36	Trash Enclosures	55
Figure 37	Signage	59

LIST OF TABLES

Table 1	Planting Legend	41
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I. INTRODUCTION

These Design Guidelines (hereafter "Guidelines") have been established to ensure the cohesive development of the Pinnacle Plaza at Winchester commercial center. Pinnacle Plaza at Winchester (hereafter "Project") is located in the French Valley portion of the County of Riverside and State of California. The Project is specifically located northwest of Winchester Road, east of Pourroy Road, south of Koon Street, northwest of the intersection of Pourroy Road/Abelia Street and Winchester Road (refer to Figure 1, Vicinity Map). The Project site is approximately 24 acres (gross) with 160,680 square feet of neighborhood commercial uses. These uses potentially include: a daycare facility, drug store, gas station/convenience store, financial institution, major grocery store, and other retail and restaurant uses (refer to Figure 2, Site Plan).

The major Project entry points are taken off of Pourroy Road. Minor entries, for service and secondary access, will be provided from Koon Street to the north. No direct access to the Project is proposed from Winchester Road. Pad buildings are located adjacent to the Winchester and Pourroy Road frontages. The proposed market and major tenants are located at the northwest portion of the site, with the rear of the buildings facing Koon Street. Pedestrian access is provided to the site via sidewalks and throughout the site via walkways and sidewalks.

The Project will be developed in three (3) phases. The boundaries of these phases are approximate and may change due to marketing conditions at the time of development of each respective phase. Site design concepts, an architectural theme, an overall color palette, a landscape master plan, hardscape components, as well as standards for signage, have been created in these Guidelines. The Guidelines will allow the Project to be a cohesive center, while at the same time allowing for flexibility as it is developed in phases. It is important to establish strong and clearly defined landscape and architectural guidelines that will shape an overall identity. These Guidelines are intended to establish the themes that will allow visitors to view the Project as comprehensive, yet unique center.

The Guidelines are organized as follows:

- Section II: Site Design Concepts
- Section III: Architectural Theme
- Section IV: Landscape Master Plan
- Section V: Site Amenities
- Section VI: Signage

The Guidelines are not intended to be interpreted as a rigid formula for design but instead are to encourage creativity of design. Variations shall be permitted, to allow for individual identity and branding. This variation will be permitted as long as the original intent of the Guidelines, as it pertains to quality and aesthetics, is achieved. Interpretations of the Guidelines will be made by the Director of Planning. Should the Director of Planning deem the changes as "too substantive", then the Director may defer the matter to the appropriate decision making body (i.e., Planning Commission and/or Board of Supervisors).

VICINITY MAP

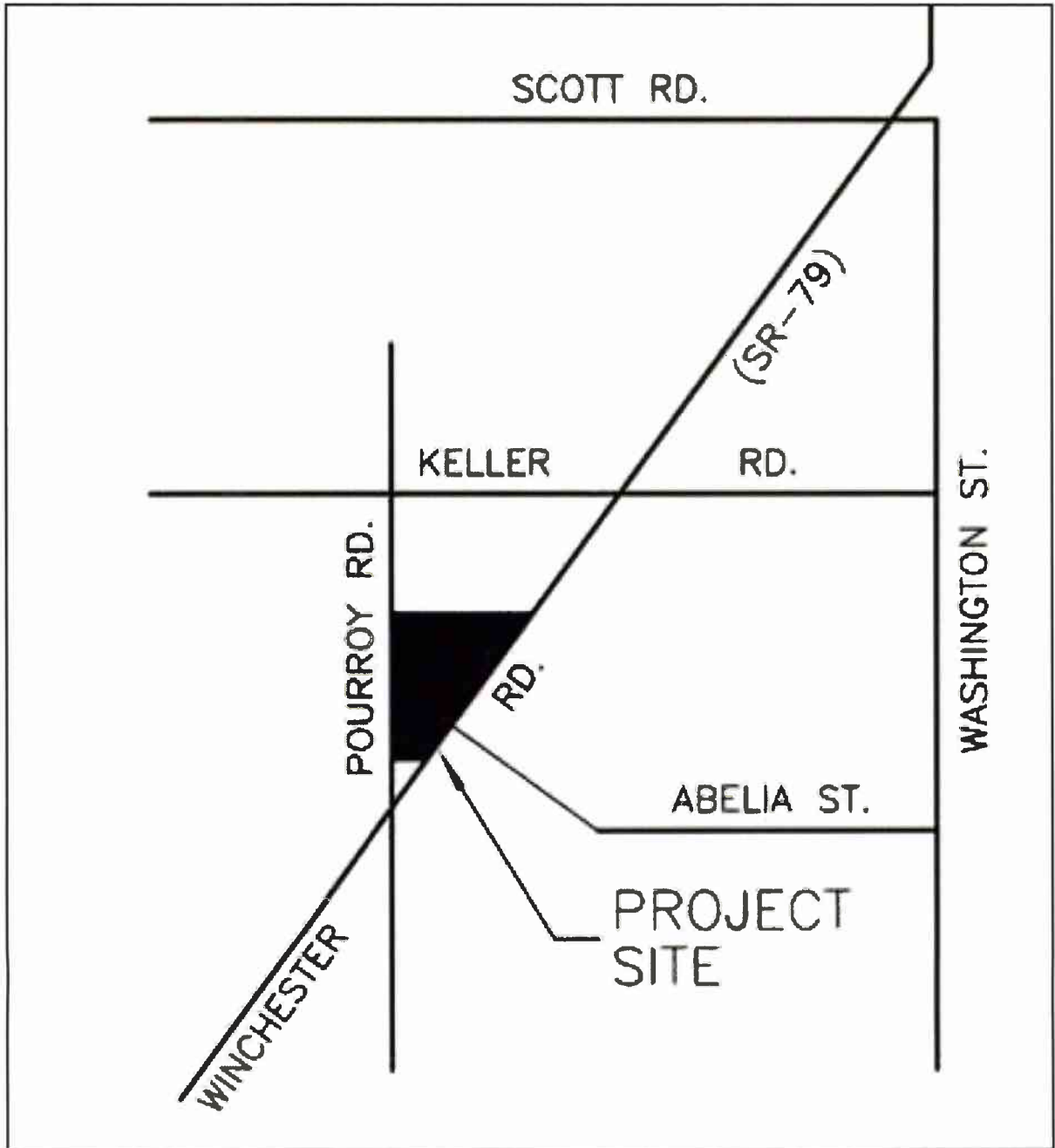


FIGURE 1

SITE PLAN

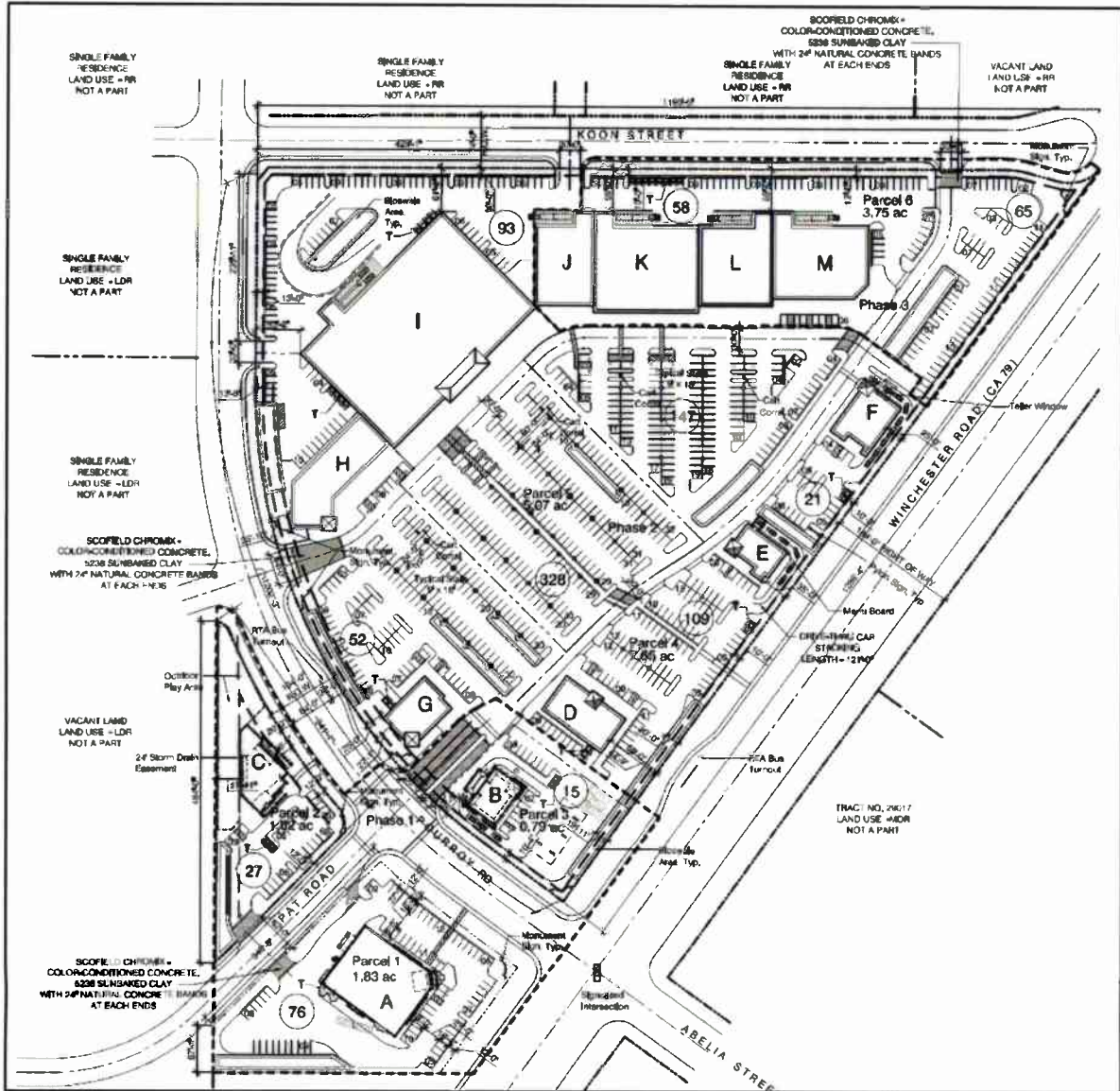


FIGURE 2

II. SITE DESIGN CONCEPTS

The purpose of these commercial Design Guidelines is to guide the layout and design of all commercial development within the Pinnacle Plaza at Winchester commercial center. These Guidelines, working in conjunction with the provisions of the Ordinance N. 348, will be used to determine the character and scale of all future development for the Project. A properly planned commercial center provides a solid foundation for the anticipated economic and social activities that will occur once the center is completed (reference Figure 2).

1. Site Layout

- a. Buildings should be oriented toward the streets and parking areas (reference Figure 3).
- b. Whenever possible, some buildings should be located closer to the street to emphasize building architecture and minimize the tendency for parking lots to be the key definer of the street edge (reference Figure 4).
- c. The layout of parking areas and the design of the on-site circulation system shall be designed to be both convenient and functional.
- d. Pedestrian and vehicular conflicts shall be minimized. Whenever pedestrian and vehicular circulation paths cross, measures shall be undertaken to highlight these potential conflict areas. Typical measures may include: changing paving materials, textures, or colors to emphasize the conflict point and the use of decorative bollards.
- e. Local weather conditions and sun protection should be considered in the design and orientation of buildings.

2. Site Access

- a. Design convenient pedestrian and bicycle access to all adjacent streets (reference Figure 5).
- b. Driveway entries shall align with existing or planned median openings or adjacent driveways. Reciprocal access drives are encouraged when feasible to reduce conflicting turning movements and link adjacent properties.
- c. To promote safe pedestrian access, sidewalks should be provided from all adjacent streets.

3. Parking Areas

- a. Parking areas and circulatory patterns shall be designed to be convenient and easily maneuverable by motorists and pedestrians to easily reach the site, circulate through the parking lot, and exit the site.
- b. Vehicular line of sight shall be maintained in all areas throughout the parking lot.
- c. To eliminate problems caused by vehicles backing into the primary circulation drive aisles, parking spaces shall not be located along the main drive aisle when alternative layouts are feasible.
- d. Handicapped accessible parking spaces shall be convenient to building entries.
- e. The use of dead end drive aisles shall be minimized whenever possible unless a turn-around area that extends five feet into the adjacent landscaping is included to enable vehicles to back out of the parking space.
- f. Parking stalls at the end of an aisle shall be a minimum of 9' wide. A 1' mono-pour concrete step-out shall be provided within the landscape area adjacent to these parking spaces.

BUILDING ORIENTATION

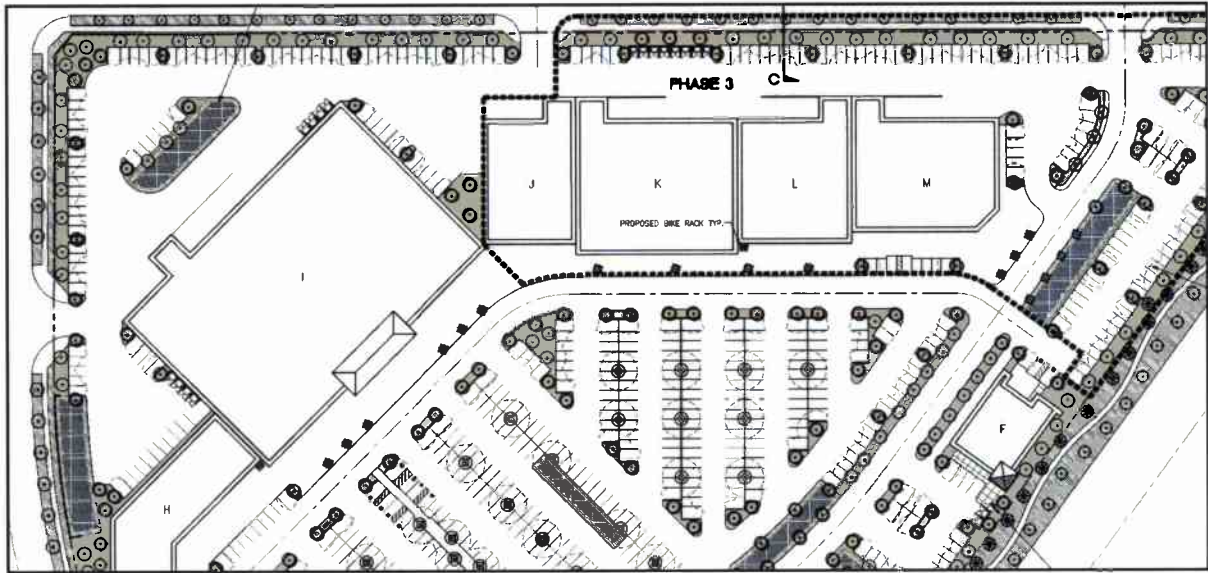


FIGURE 3

STREET EDGE DEFINITION

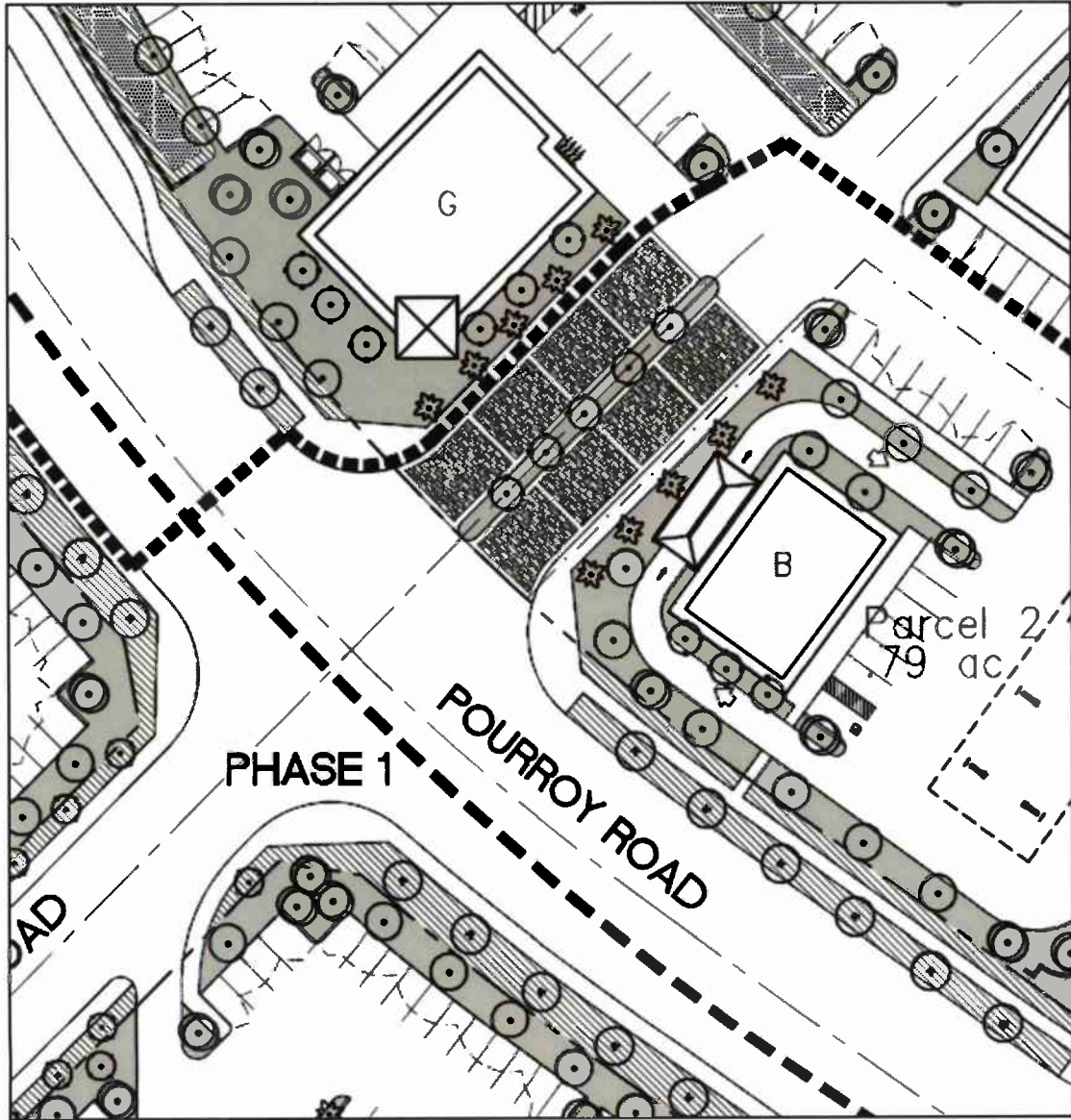


FIGURE 4

PEDESTRIAN and BIKE ACCESS

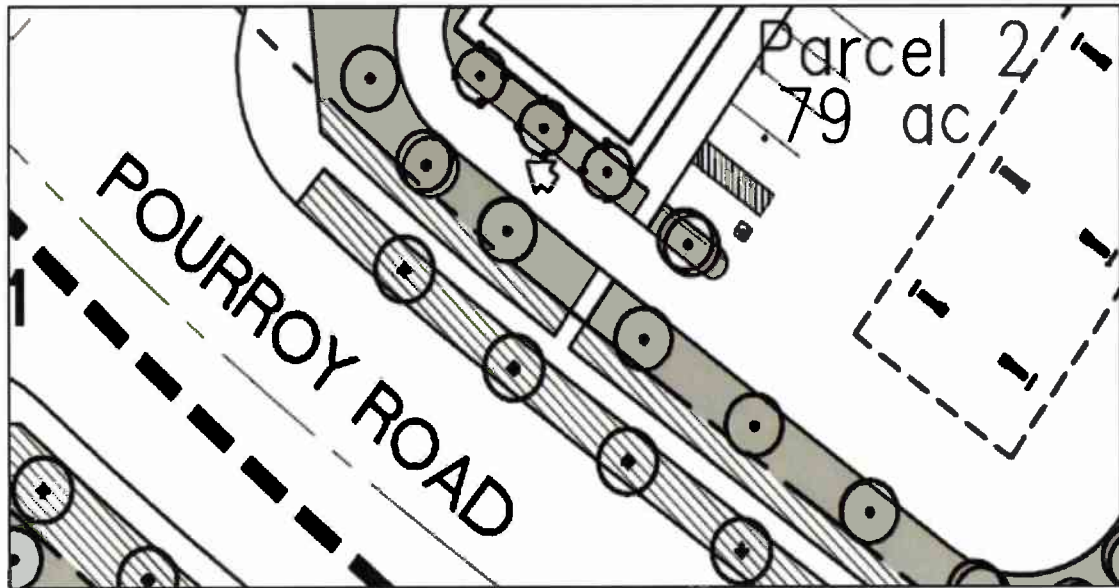


FIGURE 5

III. ARCHITECTURAL THEME

The design all buildings should reflect the architectural design theme established for the entire Project. When building scale, materials, and architectural character are blended in the correct way, the Project becomes an asset and a source of pride for the surrounding community and both are enriched. Building designs shall incorporate appropriate articulation on all building facades, variations in building massing and roof lines, and changes in wall planes and windows to relate to the scale of the surrounding community.

1. Architectural Styles

- a. The Contemporary Tuscan architectural style will be the primary architectural style for the Project (reference Figure 6). Elements that define the Contemporary Tuscan architectural style include:
 - Proportioning of building design elements based upon an authentic interpretation of the building style.
 - An informal, asymmetrical arrangement of building massing.
 - A system of layering of façade elements used to relate to multi-building images of Tuscany.
 - Towers used as building accents and only to identify tenant entries.
 - Authentic subtle colors used to enhance the design focus on building forms and to compliment the community.
 - Minimal use of applied decoration and faux materials.
 - Shade structures to create a comfortable human scale and to provide changing shadow patterns.
- b. While recognizing that individual tenants may have specific architectural needs, the commercial complex as a whole shall have a consistent architectural style with individual buildings designed with complementary forms, colors, and materials.
- c. Corporate “chain” style architecture shall be adjusted to complement the rest of the center and fit into the scale and character of the community.
- d. Buildings shall be designed so that the structures do not “turn their backs” to the street; additional articulation is encouraged for buildings placed on prominent corners and project entryways and the rear of the buildings along Pourroy Road and Koon Street.
- e. The buildings shall incorporate consistent design themes and elements throughout the entire project to create a cohesive and integrated design (reference Figure 7).

2. Building Form

- a. Building entrances shall be emphasized using lighting, landscaping, and architecture (reference Figure 8).
- b. Acknowledging sensitivity to budget, it is expected that the highest level of articulation will occur on the front façade. However, similar and complementary massing, materials, and details shall be incorporated into every other building elevation visible to the public.
- c. Architectural details and materials on lower walls that relate to human scale, such as arches, trellises, or awnings, shall be utilized (reference Figure 9).
- d. Architectural elements, such as overhangs, trellises, projections, awnings, insets, material, texture, and color, can be used to create shadow patterns that contribute to a building’s character.
- e. Buildings shall have clearly defined customer entrances. The primary building entrances can be emphasized by incorporating elements such as:

- Architectural details, such as tile work and moldings, integrated into the building structure to frame the entryway.
- Canopies or porticos.
- Overhangs or covered arcades.
- Raised corniced parapets over the door.
- Raised parapet wall or roof forms.
- Outdoor pedestrian features or enhanced landscaping.
- Planters or wing walls that incorporate landscaping and/or sitting areas.

ELEVATIONS



FIGURE 6

ARCHITECTURAL DESIGN THEMES and ELEMENTS

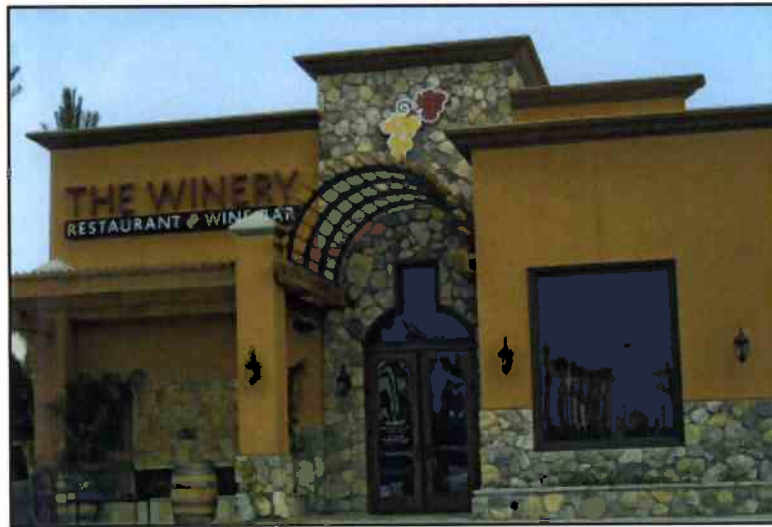


FIGURE 7

BUILDING ENTRANCE EMPHASIS



FIGURE 8

ARCHITECTURAL DETAILS and ELEMENTS



FIGURE 9

- f. Changes in materials should occur at intersecting planes, preferably at the inside corners of changing wall planes or where architectural elements intersect, such as projection or fence line.
- g. When very large buildings are proposed, building mass shall be broken into smaller elements that are consistent with the proportions of the architectural style (reference Figure 10).
- h. When adjustments to building mass are necessary, some of the following techniques may be used to ensure the proper scale of the building.
 - Variations in roofline and roof forms.
 - Use of ground level arcades and covered areas.
 - Use of protected and recessed entries.
 - Use of vertical elements on or in front of expansive blank walls.
 - Use of pronounced wall plane offsets and projections.
 - Use of focal points and vertical accents.
 - Inclusion of windows on elevations facing streets and pedestrian areas.
- i. Awnings can also be used provide smaller areas of shade and can contribute to a building's character (reference Figure 11).

3. Roof Form

- a. Roof forms shall complement and be consistent with the architecture of the center (reference Figure 12).
- b. The shape, slope, materials, and color of the roof shall be consistent with the scale and theme of the building.
- c. Variations in roof form can be used to create additional interest, lessen the mass of the building, and add to the center's visual appeal (reference Figure 12).
- d. Roof elements shall continue all the way around the building and not just be used only in the most visible locations.
- e. Deep roof overhangs or covered arcades are encouraged to create shadow and add depth to facades.
- f. Roof mounted mechanical equipment shall be screened by parapet walls or other integrated and permanent building architectural components.

4. Architectural Detailing

- a. All facades, including back and side elevations of a building, generally visible from public view or adjacent to residential areas, shall reflect the overall design, colors, and textures used on the front façade (reference Figure 13).
- b. Building elevations shall incorporate architectural features and patterns that include a pedestrian scale.
- c. Windows and doors shall be proportionate to the building elevation.
- d. Doors and windows shall be enhanced by the use of accent trim.
- e. Window type, material, shape, and proportion shall complement the architectural style of the building.
- f. Roof drain elements shall be incorporated within the building or within an architectural feature such as columns.
- g. Service and exit doors shall be integrated into the architecture of publicly visible elevations.
- h. Building trim and accent areas may incorporate different building materials and colors if they are compatible with the theme of the center and the architectural style of the buildings (reference Figure 14).

BUILDING MASS



FIGURE 10

AWNINGS



FIGURE 11

ROOF FORM

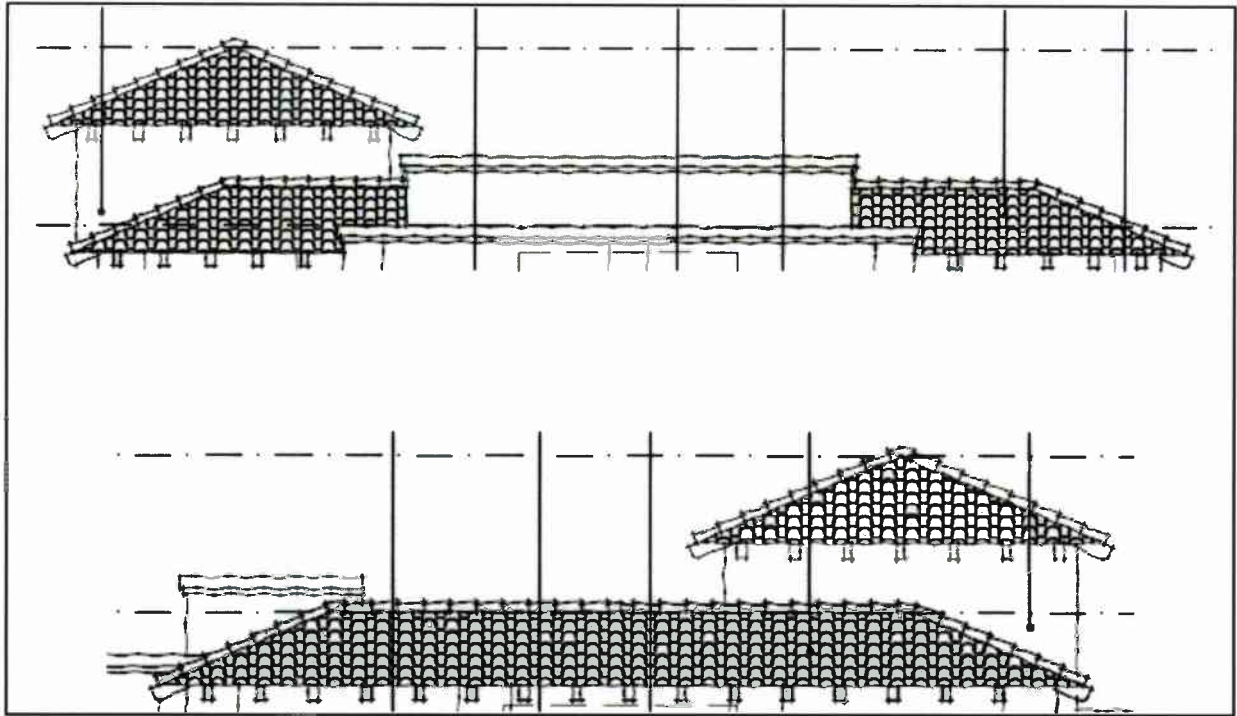


FIGURE 12

BUILDING FACADES



FIGURE 13

BUILDING TRIM and ACCENTS

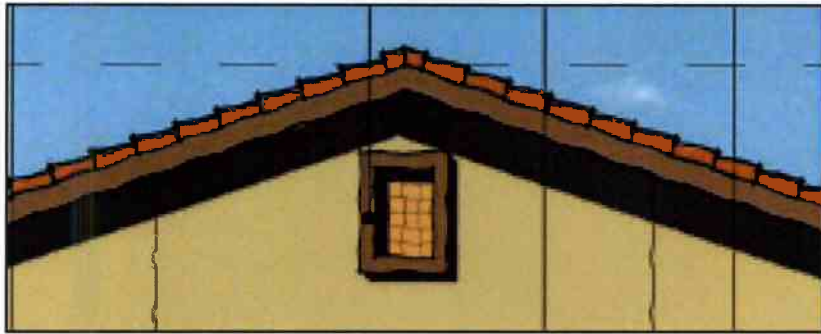


FIGURE 14

- i. Murals, trellises, vines, and/or espaliers can be placed on large expanses of walls at the rear or sides of buildings to break up building mass and to create visual interest (reference Figure 15).

5. Colors & Materials (reference Figure 16)

- a. The materials and colors used shall convey a sense of quality architecture and permanence.
- b. Colors used on exterior facades shall be harmonious. Contrasting colors are encouraged to accentuate details.
- c. Roof materials and colors shall be consistent with the desired architectural style.
- d. Materials and colors shall be used to enhance different parts of a building's facade.

MURALS, TRELLISES and VINES



FIGURE 15

COLORS and MATERIALS



FIGURE 16

IV. LANDSCAPE MASTER PLAN

The Project's landscaping shall complement the colors, materials, and aesthetics of the overall theme established with these Guidelines. Plant species, sizes, colors, hardscape materials, and textures shall be implemented to achieve this goal. The physical layouts of these elements are to be designed to complement the scale of the Project while reinforcing the overall theme. A Comprehensive Landscape Plan is included as part of these Guidelines (reference Figure 17). The components of the Comprehensive Landscape Plan are described in the remainder of this section. Site amenities are contained in Section V of these Guidelines.

Project landscaping and parking areas often constitute the majority of many commercial centers. Consequently, the criteria used to guide these areas have a substantial influence on the overall theme and functionality of a commercial center. Parking areas shall be designed to allow for customers and deliveries to easily access the site. Landscaping shall be used to frame and soften structures, define site functions, enhance the quality of the environment, accent selected portions of the site, as well as screen undesirable views.

1. Parking and Entry Areas

- a. Vehicular line of sight shall be maintained in all areas throughout the parking lot.
- b. Parking areas shall be landscaped to minimize summer glare and heat buildup and to reduce the negative visual impact associated with large areas of paving (reference Figure 18).
- c. Landscaping within parking areas shall be protected from encroaching vehicles by concrete curbing or raised planting areas.
- d. The use of colored or textured paving treatments at entry drives is encouraged. Also, paving materials shall be varied in texture and color where pedestrian and vehicular areas overlap. The use of stamped concrete, stone, brick or granite pavers, exposed aggregate, or colored concrete is encouraged in parking lots to promote pedestrian safety and to minimize the negative impact of large expanses of asphalt pavement (reference Figure 19).

COMPREHENSIVE LANDSCAPE PLAN

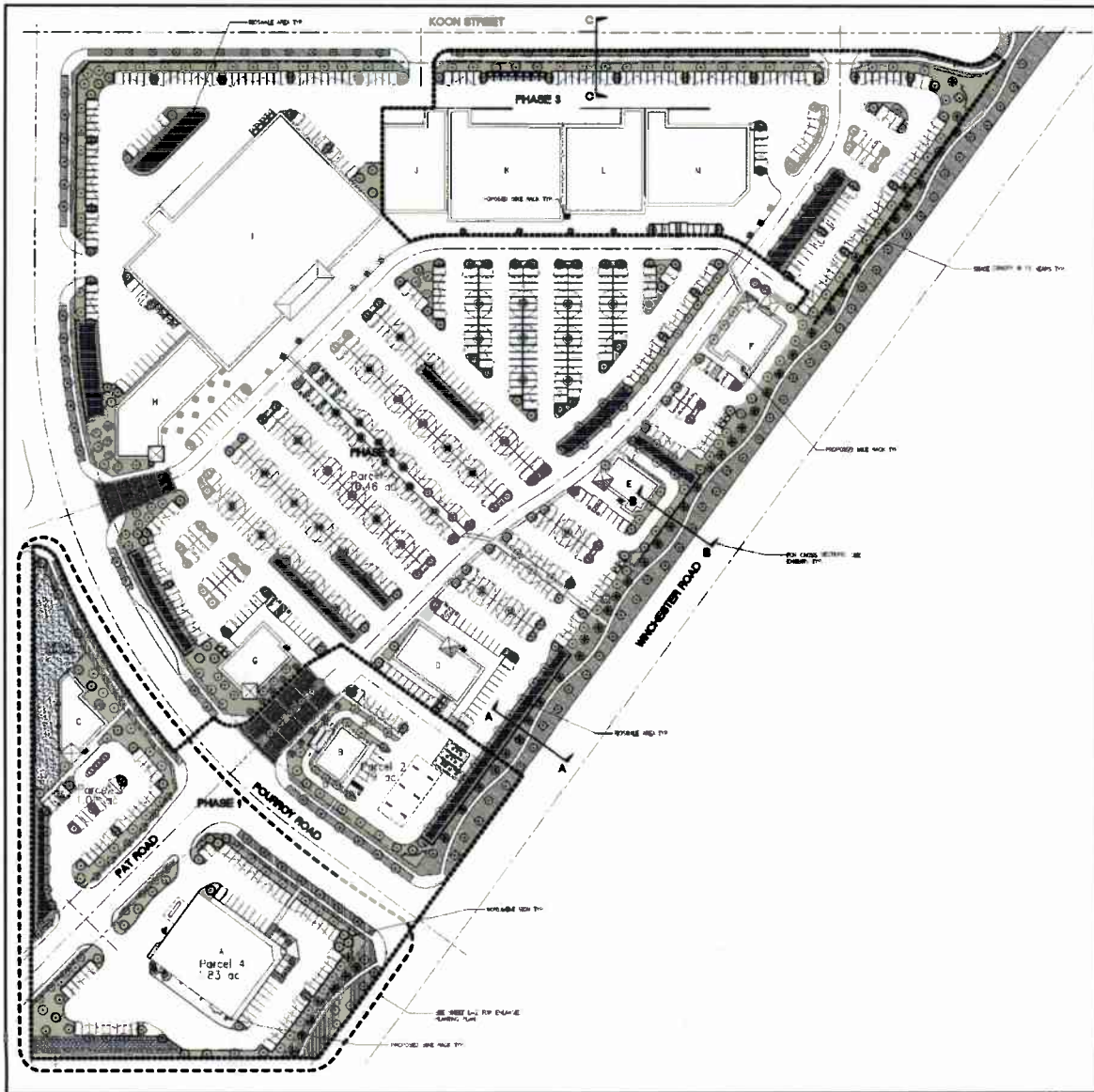


FIGURE 17

PARKING AREA LANDSCAPING

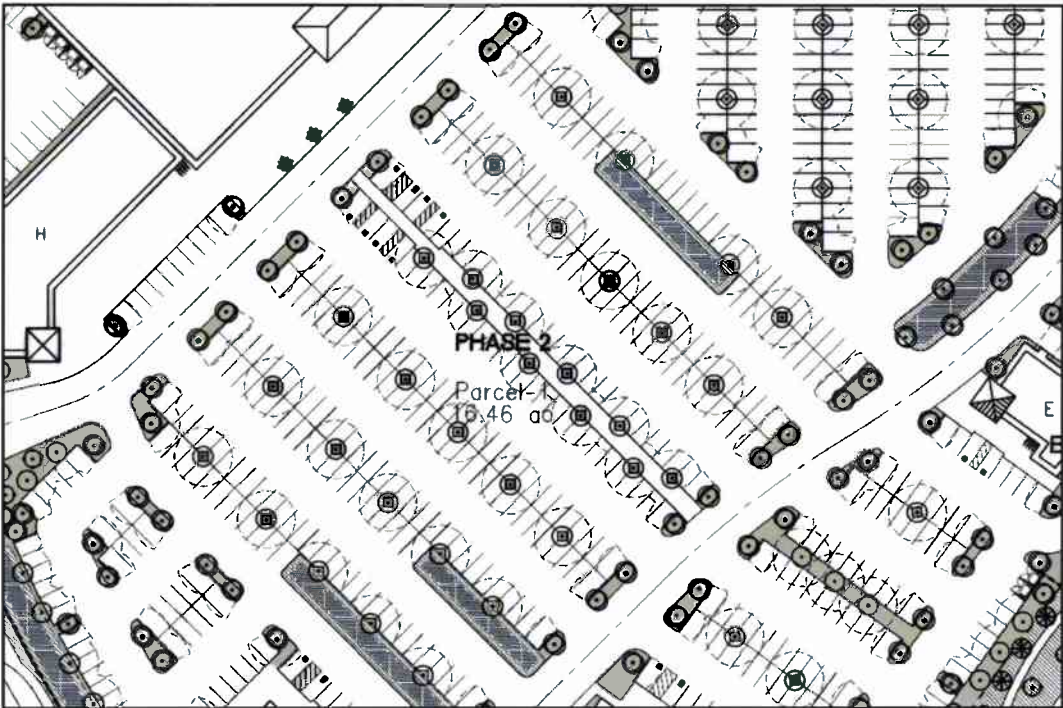


FIGURE 18

COLORED / TEXTURED PAVING

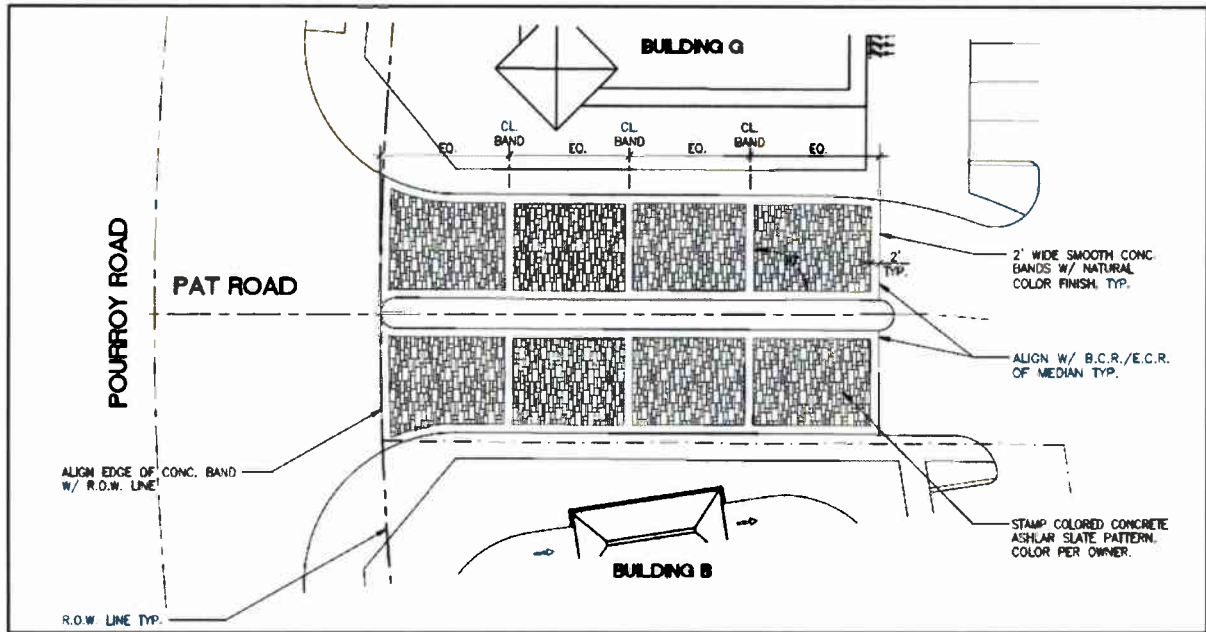


FIGURE 19

2. Project Perimeters

Attention must be given to the treatment of the Project perimeters. The perimeters present the Project's first impression to the community. In addition to the aesthetic function, the perimeters also create buffers to and from adjacent uses and create water quality control features that serve to treat runoff from the site.

A. Winchester Road

The Winchester Road Frontage is depicted on the Master Landscape Plan (Reference Figure 18). The vast majority of views into the Project site from Winchester Road will be from motorists. Two sections (reference Figures 20 and 21) depict two typical conditions along the Winchester Road Frontage. The following Guidelines apply to the Winchester Road Frontage:

- a. Utilize a combination of trees, shrubs, and ground covers to make this frontage aesthetically pleasing.
- b. A meandering sidewalk shall traverse the length of this frontage.
- c. Special attention shall be made to screening cars in the drive-through lanes through the use of layers of plant material.
- d. Evergreen shrubs will be utilized to reduce headlight intrusion into the roadway.
- e. Provide pedestrian connections at appropriate locations.

B. Pourroy Road

Whereas the Winchester Road frontage provides a more "regional frontage" to the Project, the Pourroy Road frontage provides the "local" frontage of the Project to the immediate community (reference Figure 22). In addition to the landscaping, building facades and entry monumentation provide interest to motorists and pedestrians on this frontage. The following Guidelines apply to the Pourroy Road frontage:

- a. Utilize a combination of trees, shrubs, and ground covers to make this frontage aesthetically pleasing.
- b. Install curb-separated sidewalks whenever feasible. Special attention shall be made to screening cars in the drive-through lanes through the use of layers of plant material.
- c. Evergreen shrubs will be utilized to reduce headlight intrusion into the roadway.
- d. Provide pedestrian connections at appropriate locations.

C. Koon Street

The Koon Street frontage (reference Figure 23) provides an aesthetically pleasing streetscene and serves to screen the more functional side of the Project. The rear elevations of buildings, service and loading areas, as well as employee parking areas are located adjacent to this frontage. While this tends to be the quieter side of the Project with most of the activity occurring in the fronts of the buildings, it can generate noise during servicing functions. The following Guidelines apply to the Koon Street frontage:

- a. Utilize a combination of trees, shrubs, and ground covers to make this frontage aesthetically pleasing.

- b. Install curb-separated sidewalks whenever feasible. Special attention shall be made to screening cars in the drive-through lanes through the use of layers of plant material.
- c. Evergreen shrubs will be utilized to reduce headlight intrusion into the roadway.
- d. Provide pedestrian connections at appropriate locations.
- e. Provide two layers of landscaping along this frontage.
- f. Additional articulation is required on the buildings that have rear elevations on Koon Street.
- g. Loading areas shall be screened in the manner prescribed in these Guidelines.

3. Walls, Fences, and Retaining Walls

Freestanding walls, fences, and retaining walls can reinforce the center's identity and image as well as provide security and soil retention. If walls are not used carefully, this can detract from the quality of the project and thus shall not be used to simply demarcate property lines. The materials, style, and height of walls and fences shall provide an element of visual continuity throughout the Pinnacle Plaza at Winchester center.

- a. Walls and fences shall only be used when necessary for security and screening purposes (reference Figure 24).
- b. For parking or utility screen walls, the use of materials and colors found elsewhere in the center is encouraged.
- c. Walls shall be articulated with decorative columns or high quality materials.
- d. Walls which are visible to the public on both sides shall have similar decorative finishes applied to both sides.

WINCHESTER ROAD FRONTAGE

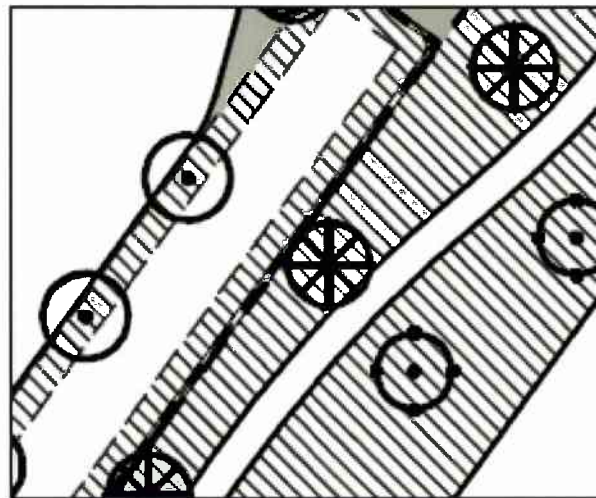
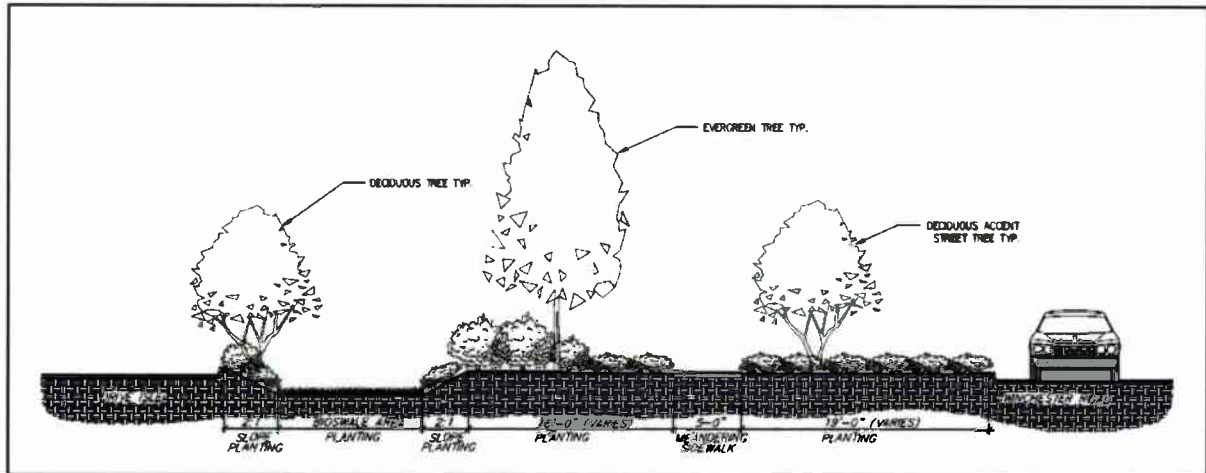


FIGURE 20

WINCHESTER ROAD FRONTAGE AT DRIVE THROUGH

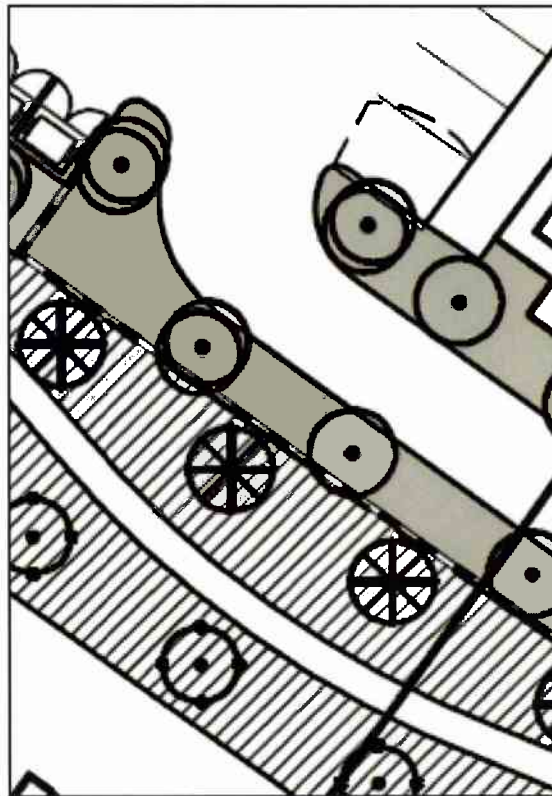
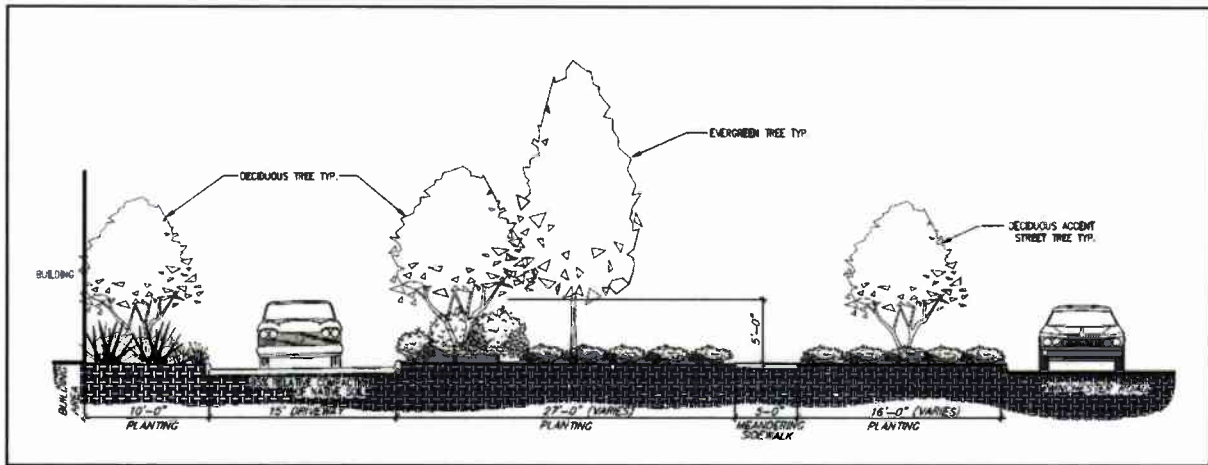


FIGURE 21

POURROY ROAD FRONTAGE

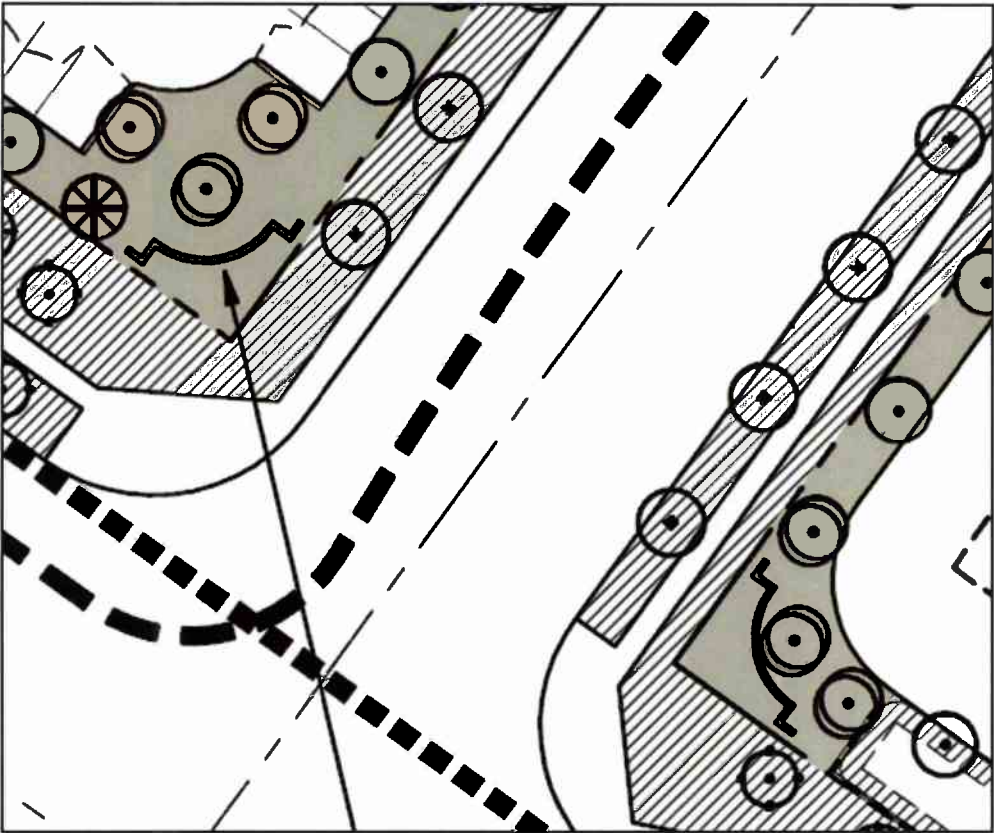


FIGURE 22

KOON STREET FRONTAGE

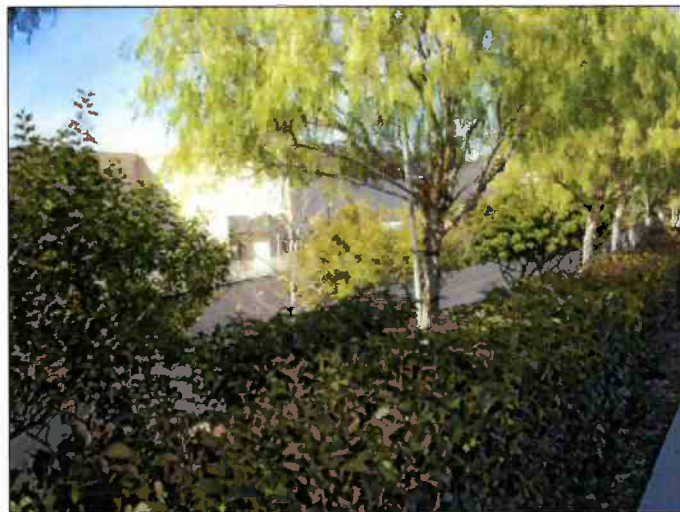
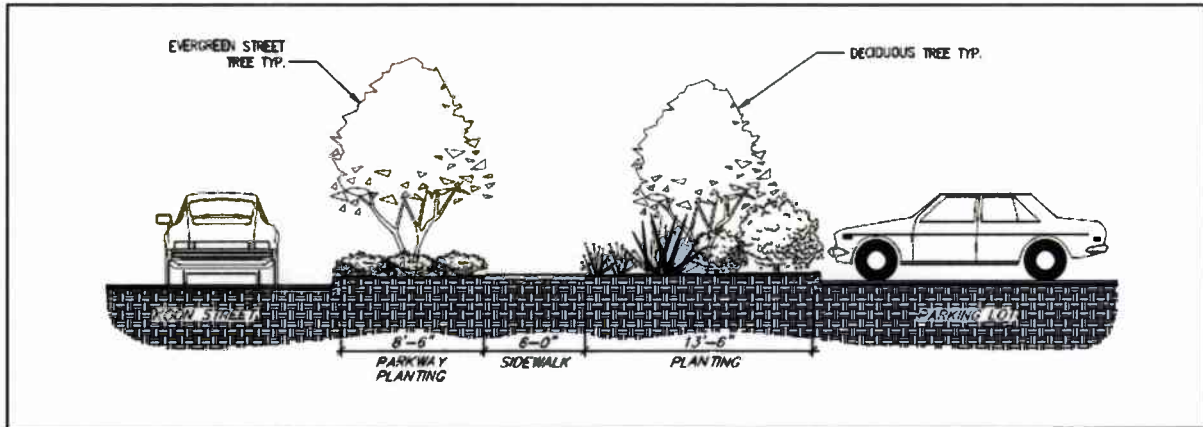


FIGURE 23

WALLS AND FENCES

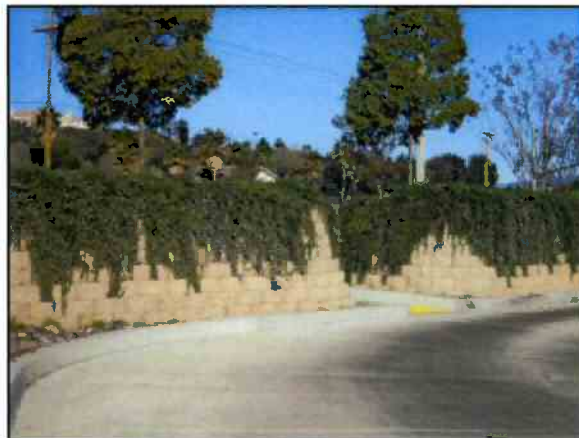
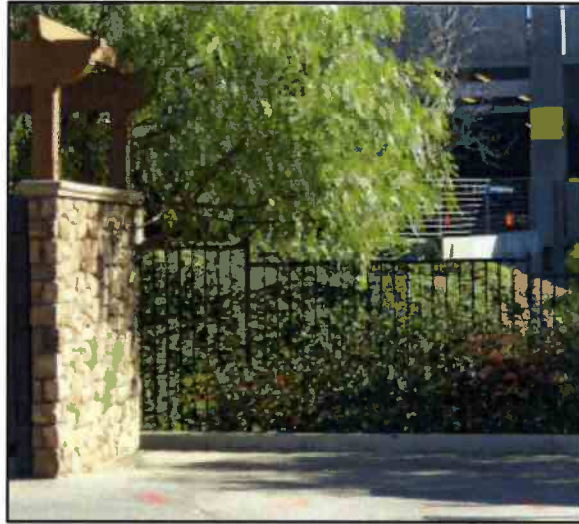


FIGURE 24

4. General Concepts

- a. Landscaping is used to define building entrances, activity hubs, focal points, provide screening for drive-through lanes and service areas, and serve as buffer areas with adjacent residential uses.
- b. Landscape plans shall include a combination of trees, shrubs, and ground cover.
- c. Specimen trees shall be strategically planted to assist new development in looking “established” as quickly as possible.
- d. Trees and shrubs shall be located and spaced to allow for mature and long-term growth.
- e. Trees and larger shrubs shall be selected and planted in locations which will minimize future root problems.
- f. Deciduous trees can be used to provide solar control during summer and winter, provide fall color, seasonal flower, and other desired effects.
- g. Slopes shall be planted in accordance with County Ordinance No. 457.
- h. Landscaping planted directly below the eaves or at a rain gutter outlet must be sturdy, have a subsurface matrix of roots to tolerate heavy sheet flow and periodic saturation, and incorporate appropriate hard surfaces to minimize erosion.
- i. Irrigation systems shall be designed to prevent overspray onto walkways, parking areas, buildings, and fences.

5. Entry Monumentation

Special landscaping will occur at the major and minor entries that will identify the points of entry, identify the Project, and set the tone for the center. Clear views for traffic safety and project signage must be maintained. Enhanced vehicular and pedestrian access will identify major entries, as follows (reference Figure 25):

A. Major Entries

Major entries to the Project are located at the intersection of Pourroy Road and Pat Road. It is the intent that these entries are larger in scale than the minor entries and serve as the “front door” to the center.

- a. Accent trees with fall or flowering color should be used as identify plantings.
- b. Low-scale walls, shrubs, and ground covers with annual or perennial color should be used to highlight key areas, such as the base of project entry monuments.
- c. Trees should be massed to create an effect similar to native plantings in undisturbed areas.

B. Minor Entries

Minor entries to the Project are located on Pourroy Road and on Koon Street. These entries create a lesser sense of arrival than the major entries, yet still create an aesthetic entry statement into the center.

- a. Secondary entries delineate the entry to the project interior. They are located at the westerly and easterly edges of the project along Pourroy Road.
- b. Design elements may include accent plantings, low scale walls, and monumentation.

ENTRY MONUMENTATION

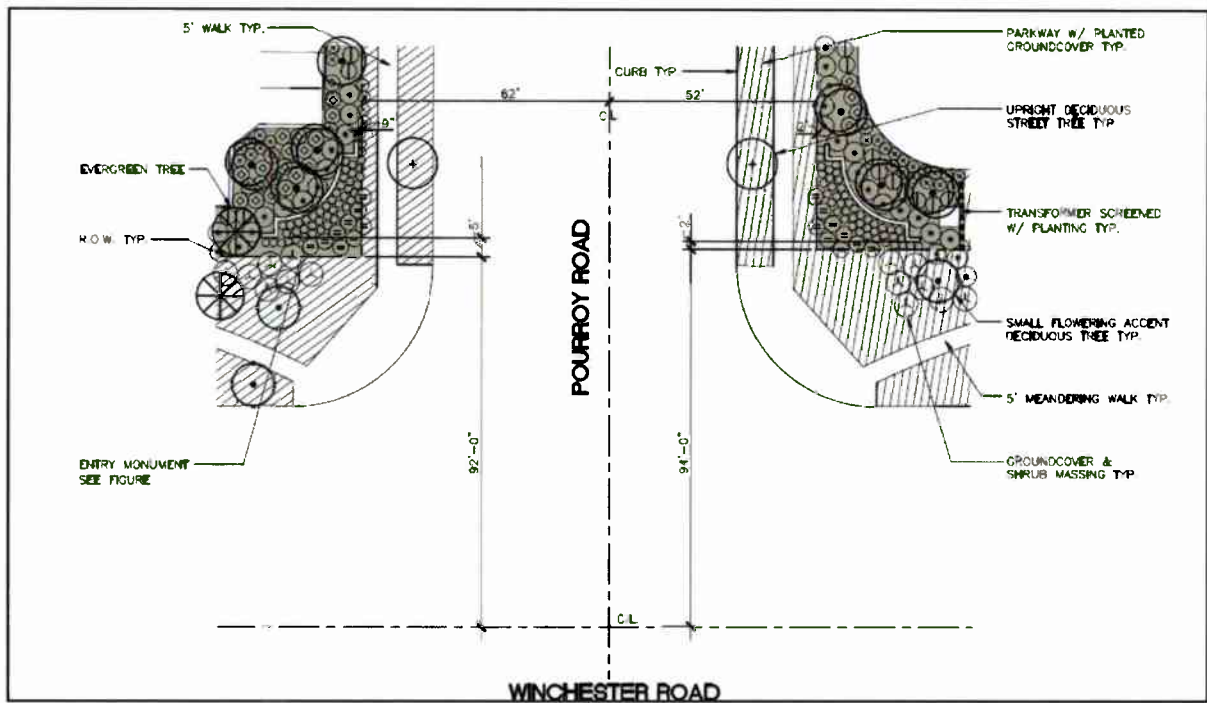


FIGURE 25

6. Plant Legend and Palette

The plant material for this project will be native or acclimatized to the area. A Plant Legend is included as part of these Guidelines, which details names, sizes, and types of plants referenced on the Project's Comprehensive Landscape Plan (reference Table 1). A Plant Palette is also included as part of these Guidelines and it includes botanical and common names and pictures for trees, shrubs, vines, and ground covers (reference Figure 26).

7. General Planting Guidelines

All planting and irrigation shall conform to the County of Riverside Standards, Ordinance No. 859 and the Guide to California Friendly Landscaping. All mature planting shall not interfere with utility lines or traffic sightlines. All utilities shall be screened. Linear root barriers shall be installed for all trees within 6' of all hardscape. All slopes over 3' in vertical height shall be planted and irrigated per Building and Safety requirements. A 3" layer of bark mulch shall be installed to all planting areas as required. All landscaping will be maintained by an overall maintenance entity (i.e., property owners' association – POA).

8. Irrigation Standards

Southern California is an arid region, with limited rainfall. Due to this and the fact that much of the water for the area is imported, the irrigation design shall incorporate water saving technology. The shrub areas shall be irrigated utilizing drip irrigation and the entire system shall be attached to the reclaimed water system as it becomes available. Irrigation controllers with "EvapoTranspiration" (ET) sensing devices will be utilized to further save water and create an outstanding environment for plant growth and sustainability. The words of "evaporation" and "transpiration" are combined into "EvapoTranspiration" or ET. Water "evaporates" from the dirt. Plants use "transpiration" of soil moisture to cool themselves like humans use "perspiration". Plants also use water in photosynthesis. ET measures all these water losses from the landscape. All irrigation systems shall conform to County Ordinance No. 859 (Water Efficient Landscape Requirements).

9. Water Conservation

Water-conserving measures shall be incorporated into the project and shall include, but not be limited to, the use of low-flush toilets and drought-tolerant plant species.

10. Sustainability

In addition to the water conservation Guidelines listed above, the Project should implement "sustainability" concepts as part of its overall design and development. Implementation of the following design concepts, which are contained within the Riverside County General Plan, will ensure that the Project is compatible with the surrounding development, while minimizing and reducing the Project's use of natural resources.

- a. Compliance with the design standards of the appropriate area plan land use category.
- b. Require that structures be constructed in accordance with the requirements of the County's zoning, building, and other pertinent codes and regulations.

- c. Pursue energy efficiency through street configuration, building orientation, and landscaping to capitalize on shading and facilitate solar energy, as provided for in Title 24 of the California Administrative Code.
- d. Incorporate water conservation techniques, such as groundwater recharge basins, use of porous pavement, drought-tolerant landscaping, and water recycling, as appropriate.
- e. Include consistent and well-designed signage that is integrated with the building's architectural character.
- f. Provide safe and convenient vehicular access and reciprocal access between adjacent commercial uses.
- g. Locate buildings access points along sidewalks, pedestrian areas, and bicycle routes, and include amenities that encourage pedestrian activity.
- h. Establish safe and frequent pedestrian crossings.

PLANTING LEGEND













SYMBOL	ABBREVIATION	BOTANICAL NAME	COMMON NAME	SIZE	NUMBER	REMARKS	WATER USE
TREES:							
	OE. PAR.	GELEDA PARVIFLORA	AUSTRALIAN WILLOW	24" BOX	53	DOUBLE STAKE / HEIGHT 8-10' , SPREAD 3'-4' MIN	L
	COC. PUM.	COCCUS PLUMOSA	QUEEN PALM	10' BR.TR.	31	PLANT PER DETAIL	M
	KOE. BP.	KOBLIADUTERA BIPINNATA	CHINESE PLAME TREE	24" BOX	220	DOUBLE STAKE / HEIGHT 8-10' , SPREAD 3'-4' MIN	M
	PN. BLD.	PNUS BLDANICA	MONDBL PINE	24" BOX	81	DOUBLE STAKE / HEIGHT 8-10' , SPREAD 3'-4' MIN	L
	PLA. A. 'B.G.'	PLATANUS ACERIFOLIA 'BLDOGGOOD'	LONDON PLANE TREE	24" BOX	41	DOUBLE STAKE / HEIGHT 8-10' , SPREAD 3'-4' MIN.	M
	PRU. C. 'K.Y.'	PRUNUS CERASIFERA 'KRAUTER VESUMUS'	PURPLE LEAF PLUM	24" BOX	80	DOUBLE STAKE / HEIGHT 8-10' , SPREAD 3'-4' MIN.	M
	RNU. LAN.	RNUS LANCEA	AFRICAN SUMAC	24" BOX	223	DOUBLE STAKE / HEIGHT 8-10' , SPREAD 3'-4' MIN.	M
SHRUBS:							
	ACA. R. 'D.C.'	ACACIA REDOLENS 'DESERT CARPET'	PROSTRATE ACACIA	1 GAL	-	FULL & SPREADING @ 6' O.C.	L
	AGA. A. 'Q.A.'	AGAPANTHUS AFRICANUS 'QUEEN ANNE'	LILY OF THE LILE	1 GAL	-	FULL & BUSHY	M
	DIE. VBG.	DIERIS VERGIDA	PORTNIGHT IRIS	5 GAL	-	FULL & BUSHY	M
	ESC. PRA.	ESCALLONIA PARADISI	ESCALLONIA	5 GAL	-	FULL & BUSHY	M
	NEM. HYB.	NEMEROCALLIS HYBRIDS	SNYLIBY	1 GAL	-	FULL & BUSHY (50% ORANGE & YELLOW)	M
	MYO. PAR.	MYOPORUM PARVIFOLIUM	PROSTRATE MYOPORUM	1 GAL	-	FULL & SPREADING @ 4' O.C.	L
	PHO. PRA.	PHOTINA FRASERI	PHOTINA	5 GAL	-	FULL & BUSHY	M
	PH. T. 'V.'	PHYTOPORUM TOBIRA 'VARIEGATA'	VARIEGATED TOBIRA	5 GAL	-	FULL & BUSHY	M
	RAP. L. 'L.P.'	RAPHNOLEPIS INOICA 'LITTLE PINKIE'	INDIAN HAWTHORN	5 GAL	-	FULL & BUSHY	M
VINES:							
	PAR. TRL.	PARIBENOCOSIS TRICUSPIDATA	BOSTON IVY	5 GAL	-	ATTACH TO WALL	M
LAWN:							
	FES. ARU.	FESTUCA ARUNDACEA	WATERSAVER 2 FESCUE	HYDROSEED	AS REQ'D.	12 LBS./ 1,000 S.F. - CONTACT JAY INGHAM @ (877) 800-0227	N
MULCH & GROUNDCOVER:							
	WOOD MULCH	FOREST BLEND MULCH	SHREDDED WOOD MULCH	3" MAX.	AS REQ'D.	3" DEEP--TERRA VERDE INDUSTRIES (948) 551-0383	
	MYO. PAR.	MYOPORUM PARVIFOLIUM	PROSTRATE MYOPORUM	1 GAL	-	FULL & SPREADING @ 4' O.C.	L
	JUN. XP.	JUNCUS XIPHOIDES	IRIS-LEAVED RUSH	1 GAL	AS REQ'D.	BIOSWALE CHANNEL	M

TABLE 1

PLANT PALETTE

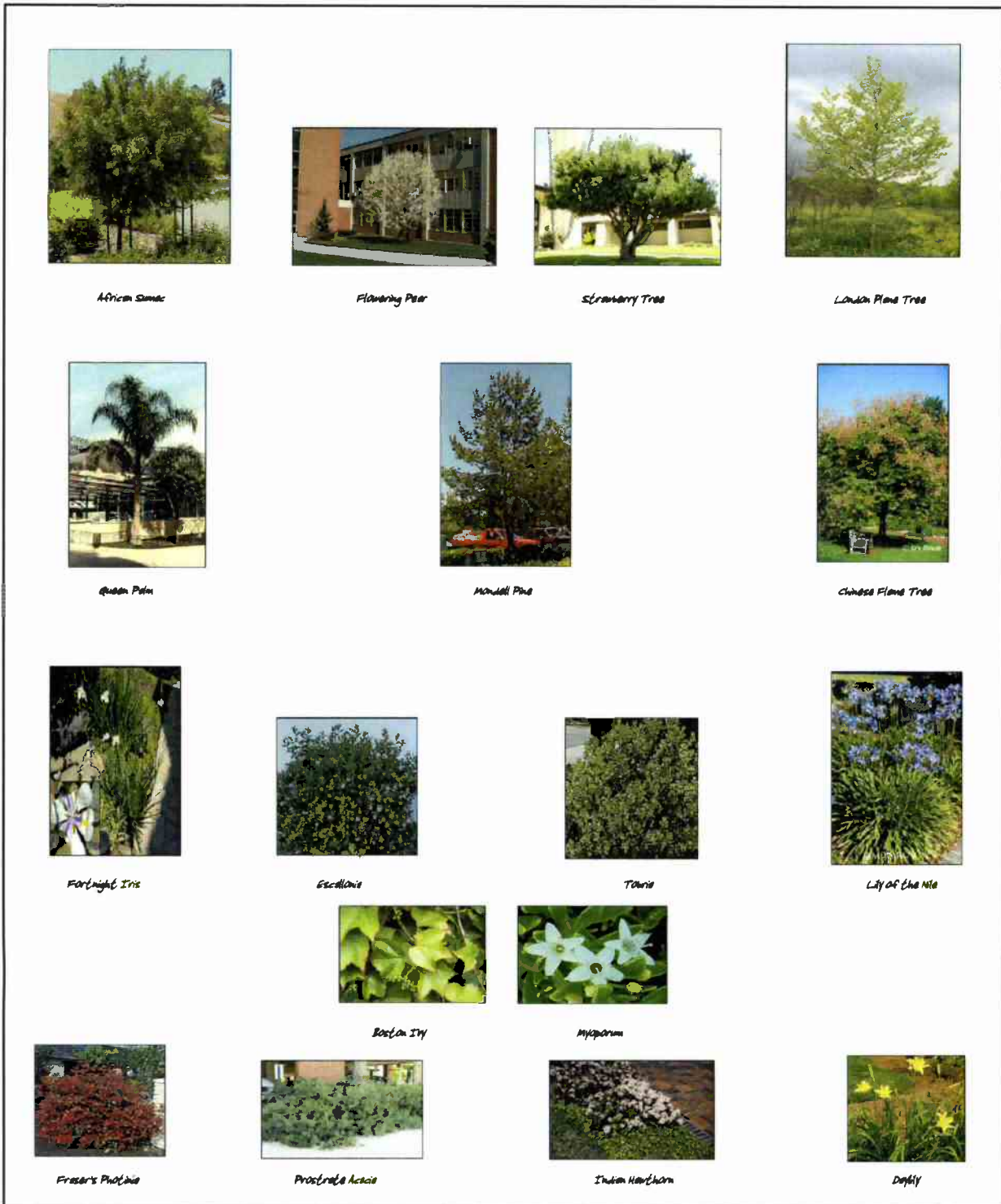


FIGURE 26

V. SITE AMENITIES

Site and pedestrian amenities enhance the attractiveness, vitality, and functionality of a commercial center. These amenities can create a positive image and can enhance its commercial attractiveness. Site amenities and entry features shall be coordinated to complement one another and create a unified project appearance.

1. Pedestrian Access

- a. The Project shall provide easily identifiable pedestrian access to building entrances and key areas within the site from the adjacent sidewalks, parking areas, and bus stops (reference Figure 27).
- b. Pedestrian walkways shall be safe, visually attractive, and well defined by landscaping and lighting (reference Figure 28).
- c. Whenever pedestrian and vehicular circulation paths cross, measures shall be undertaken to highlight these potential conflict areas.
- d. Textured paving, when provided at crosswalks, shall not conflict with the requirements of the Americans with Disabilities Act requirements.

2. Gathering and Seating Areas

- a. Plazas and outdoor gathering areas shall be integrated into the center to create a place where people can rest and interact (reference Figure 29).
- b. These gathering areas can incorporate shade trees or structures along with pedestrian amenities such as benches, fountains, landscaping, and public art (reference Figure 30).
- c. Outdoor gathering and pedestrian amenity areas shall be separated or screened from residential areas and from vehicular traffic as much as practical.
- d. Allowing for outdoor dining can enliven plazas and other outdoor activity areas (reference Figure 31).
- e. Areas between buildings can be designed with the pedestrian in mind. Landscaping and pedestrian scaled elements such as awnings or trellises shall be integrated into the elevation and the passageway shall be safely lit.

3. Site Furnishings

- a. Use of site furnishings, such as benches, tables, bike racks, and other pedestrian amenities shall be provided at building entrances, plazas, open spaces, and/or other pedestrian areas (reference Figure 32).
- b. Site furnishings used shall not block pedestrian access or visibility to plazas, open space areas, and/or building entrances.
- c. Site furnishings, such as benches, tables, trash receptacles, and other pedestrian amenities used shall be made of durable, weather-resistant, and vandal-resistant materials.
- d. Disperse bicycle parking facilities throughout the site and locate the bicycle parking facilities in convenient and visible areas that do not interfere with pedestrian circulation.

PEDESTRIAN ACCESS



FIGURE 27

PEDESTRIAN WALKWAYS



FIGURE 28