

SUBMITTAL TO THE BOARD OF SUPERVISORS
COUNTY OF RIVERSIDE, STATE OF CALIFORNIA

901B



FROM: TLMA - Planning Department

SUBMITTAL DATE:
February 3, 2010

SUBJECT: CHANGE OF ZONE NO. 7419 AND PLOT PLAN NO. 23535 – CEQA

Exempt - Applicant: Western Land Company - Engineer/Representative: Jim Unland - Third Supervisorial District - Bautista Zoning District - San Jacinto Valley Area Plan: Community Development: Commercial Retail (CD:CR) - Location: Northerly of State Highway 74 (Florida Ave), westerly of 4th Street, southerly of C Street, and easterly of Fairview Avenue. - 1.66 Gross Acres - Zoning: Scenic Highway Commercial (C-P-S) and Rural Residential (R-R) - **REQUEST:** The Change of Zone proposes to change a portion of the sites existing zoning from Rural Residential (R-R) to Scenic Highway Commercial (C-P-S). The Plot Plan proposes a 9,825 square foot commercial retail building on 0.90 net acre parcel, 5,577 square feet of landscaping, and 50 parking spaces - APN: 549-153-015. (Legislative)

RECOMMENDED MOTION:

The Planning Department recommended Approval; and,
THE PLANNING COMMISSION RECOMMENDED:

APPROVAL of **CHANGE OF ZONE NO. 7419**, from Rural Residential (R-R) zoning classification to the Scenic Highway Commercial (C-P-S) zoning classification zone in accordance with Exhibit #3; and

Ron Goldman
Planning Director

RG:vc
RG

(Continued of attached page)

MINUTES OF THE BOARD OF SUPERVISORS

On motion of Supervisor Stone, seconded by Supervisor Benoit and duly carried, IT WAS ORDERED that the above matter is tentatively approved as recommended, and that staff is directed to prepare the necessary documents for final action.

Ayes: Tavaglione, Stone, Benoit and Ashley
Nays: None
Absent: Buster
Date: March 2, 2010
xc: Planning, Co.Co., Applicant

Kecia Harper-Ihem
Clerk of the Board
By:
Deputy

Prev. Agn. Ref.

District: Third

Agenda Number:

ATTACHMENTS FILED

WITH THE CLERK OF THE BOARD

16.2

The Honorable Board of Supervisors
RE: CZ07419, PP23535
Date: February 4, 2010
Page 2 of 2

APPROVAL of **Plot Plan No. 23535**, subject to the attached conditions of approval, and based upon the findings and conclusions incorporated in the staff report.

BACKGROUND: The project site currently has split zoning between Rural Residential (R-R) on the easterly portion and Scenic Highway Commercial (C-P-S) on the westerly portion (Ex. #3). The Change of Zone proposes change the Rural Residential (R-R) zoned portion of the site to Scenic Highway Commercial (C-P-S), bringing the entire project site's zoning to Scenic Highway Commercial (C-P-S), which is highly consistent with the underlying Commercial Retail (CR) Land Use Designation.

COUNTY OF RIVERSIDE

TRANSPORTATION AND LAND MANAGEMENT AGENCY

George A. Johnson · Agency Director

Planning Department

Ron Goldman · Planning Director

Original Negative Declaration/Notice of
Determination was routed to County
Clerks for posting on.

3-25-10

Jm

Date

Initial

NOTICE OF EXEMPTION

TO: ☐ Office of Planning and Research (OPR)
P.O. Box 3044
Sacramento, CA 95812-3044
☒ County of Riverside County Clerk

FROM: Riverside County Planning Department
☒ 4080 Lemon Street, 9th Floor
P. O. Box 1409
Riverside, CA 92502-1409

☐ 38686 El Cerrito Road
Palm Desert, CA 92201

Project Title/Case No.: Change of zone No. 7419 and Plot Plan No. 23535

Project Location: The project site is located in the San Jacinto Valley Area Plan, more specifically, Northerly of State Highway 74(Florida Ave), westerly of 4th Street, southerly of C Street, and easterly of Fairview Avenue.

Project Description: CHANGE OF ZONE NO. 7419 proposes to change a portion of the sites existing zoning from Rural Residential (R-R) to Scenic Highway Commercial (C-P-S). PLOT PLAN NO. 23535 proposes a 9,825 square foot commercial retail building on 0.90 net acre parcel, 5,577 square feet of landscaping, and 49 parking spaces.

ADOPTED by Riverside County Board of Supervisors on March 23, 2010.

Name of Public Agency Approving Project: Riverside County Planning Department

Project Sponsor: Western Land Co.

Exempt Status: (Check one)

☐ Ministerial (Sec. 21080(b)(1); 15268)

☐ Declared Emergency (Sec. 21080(b)(3); 15269(a))

☐ Emergency Project (Sec. 21080(b)(4); 15269 (b)(c))

☒ Categorical Exemption (15303(c))

☐ Statutory Exemption ()

☐ Other: _____

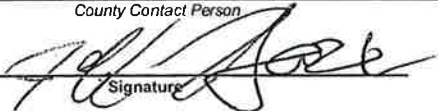
Reasons why project is exempt: Class 3 consists of construction and location of limited numbers of new, small facilities or structures; installation of small new equipment and facilities in small structures; and the conversion of existing small structures from one use to another where only minor modifications are made in the exterior of the structure. The numbers of structures described in this section are the maximum allowable on any legal parcel. Examples of this exemption include, but are not limited to: (c). A store, motel, office, restaurant or similar structure not involving the use of significant amounts of hazardous substances and not exceeding 2,500 sq. ft. in floor area. In urbanized areas, up to four (4) such commercial buildings not exceeding 10,000 sq. ft. in floor area where all necessary public services and facilities are available and the surrounding area is not environmentally sensitive.

Jeff Horn

County Contact Person

(951) 955- 4641

Phone Number



Signature

Project Planner

Title

5/21/09

Date

Date Received for Filing and Posting at OPR: _____

Y:\Planning Case Files-Riverside office\PP23535\PP23535 NOE.doc

Adoption verified by: Sandi Schlemmer, Deputy Clerk of the Board on 3/23/10.
Sandi Schlemmer for Kecia Harper-Ihem, Clerk of the Board of Supervisors

COUNTY OF RIVERSIDE

TRANSPORTATION AND LAND MANAGEMENT AGENCY

George A. Johnson · Agency Director

Planning Department

Ron Goldman · Planning Director

9013

February 4, 2010

SUBJECT: Change of Zone No. 7419, Plot Plan No. 23535

SECTION: Development Review – Riverside Office

TO: Clerk of the Board of Supervisors

FROM: Planning Department

03.02.10

The attached item(s) require the following action(s) by the Board of Supervisors:

- | | |
|---|--|
| <input type="checkbox"/> Approve | <input checked="" type="checkbox"/> Set for Hearing |
| <input type="checkbox"/> Deny | <input checked="" type="checkbox"/> Publish in Newspaper: Press Enterprise |
| <input type="checkbox"/> Place on Policy Calendar | <input checked="" type="checkbox"/> CEQA Exempt |
| <input type="checkbox"/> Place on Consent Calendar | <input checked="" type="checkbox"/> 10 Day <input type="checkbox"/> 20 Day <input type="checkbox"/> 30 day |
| <input type="checkbox"/> Place on Administrative Action | <input type="checkbox"/> Certify Environmental Impact Report |
| <input type="checkbox"/> Place on Section of Initiation Proceeding | <input checked="" type="checkbox"/> Notify Property Owners |
| <input type="checkbox"/> File: NOD and Mit. Neg. Declaration | <input type="checkbox"/> Labels provided |
| <input type="checkbox"/> Labels provided: | Controversial: <input type="checkbox"/> YES <input type="checkbox"/> NO |
| <input type="checkbox"/> If Set For Hearing: | |
| <input type="checkbox"/> 10 Day <input type="checkbox"/> 20 Day <input type="checkbox"/> 30 day | |

Designate Newspaper used by Planning Department for Notice of Hearing: Press Enterprise

PLEASE SCHEDULE FOR MARCH 2, 2010 AGENDA

Clerk Of The Board

Please charge your time to case number(s): FREE

DO NOT charge case
PER FEE APPRAISAL
Agreement. Ray Hernandez

PLEASE ADVISE
IF THERE IS AN
ISSUE WITH THE
REQUESTED DATE.
Thanks,
Ray

Documents to be sent to County Clerk's Office for Posting:

Notice of Exemption
Fish & Game Receipt (CFG05327)

**Do not sent these documents until the Board has taken final action
on all of the referenced applications**

Revised: 02/03/10

Y:\Planning Case Files-Riverside office\PP23535\DH-PC-BOS Hearings

Riverside Office · 4080 Lemon Street, 9th Floor
P.O. Box 1409, Riverside, California 92502-1409
(951) 955-3200 · Fax (951) 955-3157

Desert Office · 38686 El Cerrito Road
Palm Desert, California 92211
(760) 863-8277 · Fax (760) 863-7555

Ray
2-4-10

**PLANNING COMMISSION
MINUTE ORDER AUGUST 19, 2009
RIVERSIDE COUNTY ADMINISTRATIVE CENTER**

- I. AGENDA ITEM 7.7: CHANGE OF ZONE NO. 7419 AND PLOT PLAN NO. 23535 – CEQA Exempt**
- Applicant: Western Land Company - Engineer/Representative: Jim Unland - Third Supervisorial District - Bautista Zoning District - San Jacinto Valley Area Plan: Community Development: Commercial Retail (CD:CR) - Location: Northerly of State Highway 74 (Florida Ave), westerly of 4th Street, southerly of C Street, and easterly of Fairview Avenue. - 1.66 Gross Acres - Zoning: Scenic Highway Commercial (C-P-S) and Rural Residential (R-R) - APN: 549-153-015. (Continued from 7/22/09). (Legislative)

II. PROJECT DESCRIPTION

The Change of Zone proposes to change a portion of the sites existing zoning from Rural Residential (R-R) to Scenic Highway Commercial (C-P-S). The Plot Plan proposes a 9,825 square foot commercial retail building on 0.90 net acre parcel, 5,577 square feet of landscaping, and 50 parking spaces.

III. MEETING SUMMARY

The following staff presented the subject proposal:
Project Planner, Jeff Horn, at 951-955-4641 or e-mail jhorn@rctlma.org.

The following spoke in favor of the subject proposal:
Andrea Gros, Applicant, 530 St. John Place, Hemet, California 92543

No one spoke in a neutral position or in opposition of the subject proposal.

IV. CONTROVERSIAL ISSUES
NONE

V. PLANNING COMMISSION ACTION

The Planning Commission, by a vote of 5-0, recommended to the Board of Supervisors;

TENTATIVE APPROVAL of **CHANGE OF ZONE NO. 7419**, from Rural Residential (R-R) zoning classification to the Scenic Highway Commercial (C-P-S) zoning classification zone in accordance with Exhibit #3; and

APPROVAL of **Plot Plan No. 23535**, subject to the attached conditions of approval, and based upon the findings and conclusions incorporated in the staff report.

VI. CD

The entire discussion of this agenda item can be found on CD. For a copy of the CD, please contact Chantell Griffin, Planning Commission Secretary, at (951) 955-3251 or E-mail at cgriffin@rctlma.org.

Agenda Item No.: 7.7
Area Plan: San Jacinto Valley
Zoning District: Bautista
Supervisory District: Third
Project Planner: Jeff Horn
Planning Commission: August 19, 2009
Continued From: July 22, 2009

CHANGE OF ZONE NO. 7419
PLOT PLAN NO. 23535
CEQA EXEMPT Section per Section 15303(c)
Applicant: Western Land Co.
Engineer/Representative: Jim Unland

COUNTY OF RIVERSIDE PLANNING DEPARTMENT STAFF REPORT

PROJECT DESCRIPTION AND LOCATION:

CHANGE OF ZONE NO. 7419 proposes to change a portion of the sites existing zoning from Rural Residential (R-R) to Scenic Highway Commercial (C-P-S).

PLOT PLAN NO. 23535 proposes a 9,825 square foot commercial retail building on 0.90 net acre parcel, 5,577 square feet of landscaping, and 49 parking spaces.

The project site is located in the community Valle Vista, more specifically, northerly of State Highway 74(Florida Ave), westerly of 4th Street, southerly of C Street, and easterly of Fairview Avenue

FURTHER PLANNING CONSIDERATIONS:

August 3, 2009

At the July 22, 2009 Planning Commission hearing, the project was continued at the request of the Commission, in order to allow Planning Staff to work with the applicant on creating enhanced Architectural Elevations for the project. At the time of this writing, Planning Staff is working with the applicant to prepare amended Elevation exhibits to address the concerns of the Planning Commission.

Additionally, the following issues were addressed and agreed upon at the July 22, 2009 hearing:

1. The Transportation Department introduced a modified Conditions of Approval set to address the Commission's concerns with an existing alley along the northerly property line of the subject parcel. Transportation proposed a vacation of the alley in favor of the property owner. The applicant was agreeable to these conditions.
2. Condition of Approval 10.PLANNING.08 "HOURS OF OPERATION" was modified at the request of the applicant to extended hours of operation to 6:00 am to 9:00 pm, and include a provision for 24-hour operation for Suite 101.

BACKGROUND:

The project site currently has split zoning between Rural Residential (R-R) on the easterly portion and Scenic Highway Commercial (C-P-S) on the westerly portion (Ex. #3). The Change of Zone proposes change the Rural Residential (R-R) zoned portion of the site to Scenic Highway Commercial (C-P-S), bringing the entire project site's zoning to Scenic Highway Commercial (C-P-S), which is highly consistent with the underlying Commercial Retail (CR) Land Use Designation.

SUMMARY OF FINDINGS:

1. Existing General Plan Land Use (Ex. #5): Commercial Retail (CR)
2. Surrounding General Plan Land Use (Ex. #5): Medium Density Residential (MDR) (2-5 dwelling units per acre) to the north and Commercial Retail (CR) to the east, south, and west.

W

- | | |
|-----------------------------------|---|
| 3. Existing Zoning (Ex. #3): | Rural Residential (R-R) and Scenic Highway Commercial (C-P-S) |
| 4. Proposed Zoning (Ex. #3): | Scenic Highway Commercial (C-P-S). |
| 5. Surrounding Zoning (Ex. #3): | Rural Residential (R-R) to the north and east, and Scenic Highway Commercial (C-P-S) to the south and west. |
| 6. Existing Land Use (Ex. #1): | Vacant Land |
| 7. Surrounding Land Use (Ex. #1): | Single family residential to the north and east, commercial to the south, and vacant land to the west. |
| 8. Project Data: | Total Acreage: 0.90 net acres
Total Building Square Footage: 9,825 Sq. Ft.
Parking Space: 50 spaces |
| 9. Environmental Concerns: | CEQA EXEMPT per Section 15303(c) |

RECOMMENDATIONS:

TENTATIVE APPROVAL of **CHANGE OF ZONE NO. 7419**, from Rural Residential (R-R) zoning classification to the Scenic Highway Commercial (C-P-S) zoning classification zone in accordance with Exhibit #3; and

APPROVAL of **Plot Plan No. 23535**, subject to the attached conditions of approval, and based upon the findings and conclusions incorporated in the staff report.

CONCLUSIONS:

1. The proposed project is in conformance with the Commercial Retail (CR) Land Use Designation, and with all other elements of the Riverside County General Plan.
2. The proposed project is consistent with the Scenic Highway Commercial (C-P-S) zoning classification of Ordinance No. 348, and with all other applicable provisions of Ordinance No. 348.
3. The public's health, safety, and general welfare are protected through project design.
4. The proposed project is clearly compatible with the present and future logical development of the area.
5. The proposed project will not have a significant effect on the environment.
6. The proposed project will not preclude reserve design for the Multi-Species Habitat Conservation Plan (MSHCP).

FINDINGS: The following findings are in addition to those incorporated in the summary of findings,, which is incorporated herein by reference.

1. The project site is designated Commercial Retail (CR) on the San Jacinto Valley Area Plan.
2. The proposed use, a 9,825 square foot commercial retail building, is a permitted use in the Commercial Retail (CR) designation.
3. The project site is surrounded by properties which are designated Medium Density Residential (MDR) (2-5 dwelling units per acre) to the north and Commercial Retail (CR) to the east, south, and west.
4. The existing zoning for the subject site is Rural Residential (RR) and Scenic Highway Commercial (C-P-S).
5. The existing zoning for the subject site is Scenic Highway Commercial (C-P-S).
6. The proposed use, a 9,825 square foot commercial retail building, is a permitted use, subject to approval of a plot plan, in the Scenic Highway Commercial (C-P-S) zone.
7. The proposed use, a 9,825 square foot commercial retail building, is consistent with the development standards set forth in the Scenic Highway Commercial (C-P-S) zone.
8. The project site is surrounded by properties which are zoned Rural Residential (R-R) to the north and east, and Scenic Highway Commercial (C-P-S) to the south and west.
9. Commercial uses have been constructed and are operating in the project vicinity.
10. This project is not located within a Criteria Area of the Multi-Species Habitat Conservation Plan.
11. The project conforms to Article Nineteen (19), Section 15303(c), of the CEQA Guidelines, which states that new construction of small structures are exempt from CEQA if the proposed project: Consists of a store, motel, office, restaurant or similar structure not involving the use of significant amounts of hazardous substances and not exceeding 2,500 sq. ft. in floor area. In urbanized areas, up to four (4) such commercial buildings not exceeding 10,000 sq. ft. in floor area where all necessary public services and facilities are available and the surrounding area is not environmentally sensitive.

The project site is located in a highly urbanized area, along a major thoroughfare, Florida Avenue (SH-74). All required public utilities, services, and facilities are available and in close proximity to the project site. The area surrounding the project site is not environmentally sensitive, consisting of existing single family residences to the north and east, commercial development to the south (across Florida Avenue), and heavily disturbed and graded vacant land to the west.

INFORMATIONAL ITEMS:

1. As of this writing, no letters, in support or opposition have been received.
2. The project site is not located within:
 - a. A 100-year flood plain, an area drainage plan, or dam inundation area.
 - b. California Gnatcatcher, Quino Checkerspot Butterfly habitat.

- c. A MSHCP Criteria Cell.
 - d. A Fault Zone
3. The project site is located within:
- a. The boundaries of the San Jacinto Valley Area Plan.
 - b. The city of Hemet sphere of influence.
 - c. The Stephens Kangaroo Rat Fee Area or Core Reserve Area.
 - d. The Valley-Wide Recreation and Parks District.
 - e. The boundaries of the Hemet Unified School District.
 - f. Zone B of Lighting Ord. 655, 27.04 miles.
4. The subject site is currently designated as Assessor's Parcel Number 549-153-015.
5. Change of Zone No. 7419 filed with the Planning Department on September 14, 2006, Plot Plan No. 23535 was filed on June 18, 2008.
6. This project was reviewed by the Land Development Committee two (2) times on the following dates July 24, 2008 and January 8, 2009.
7. Deposit Based Fees charged for this project, as of the time of staff report preparation, total \$22,717.5

JH:jh

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Date Prepared: 4/13/09, Date Revised: 4/13/09

Agenda Item No.: 5.5
Area Plan: San Jacinto Valley
Zoning District: Bautista
Supervisory District: Third
Project Planner: Jeff Horn
Planning Commission: July 22, 2009

CHANGE OF ZONE NO. 7419
PLOT PLAN NO. 23535
CEQA EXEMPT Section per Section 15303(c)
Applicant: Western Land Co.
Engineer/Representative: Jim Unland

COUNTY OF RIVERSIDE PLANNING DEPARTMENT STAFF REPORT

PROJECT DESCRIPTION AND LOCATION:

CHANGE OF ZONE NO. 7419 proposes to change a portion of the sites existing zoning from Rural Residential (R-R) to Scenic Highway Commercial (C-P-S).

PLOT PLAN NO. 23535 proposes a 9,825 square foot commercial retail building on 0.90 net acre parcel, 5,577 square feet of landscaping, and 49 parking spaces.

The project site is located in the community Valle Vista, more specifically, northerly of State Highway 74 (Florida Ave), westerly of 4th Street, southerly of C Street, and easterly of Fairview Avenue

Background:

The project site currently has split zoning between Rural Residential (R-R) on the easterly portion and Scenic Highway Commercial (C-P-S) on the westerly portion (Ex. #3). The Change of Zone proposes change the Rural Residential (R-R) zoned portion of the site to Scenic Highway Commercial (C-P-S), bringing the entire project site's zoning to Scenic Highway Commercial (C-P-S), which is highly consistent with the underlying Commercial Retail (CR) Land Use Designation.

SUMMARY OF FINDINGS:

- | | |
|--|--|
| 1. Existing General Plan Land Use (Ex. #5): | Commercial Retail (CR) |
| 2. Surrounding General Plan Land Use (Ex. #5): | Medium Density Residential (MDR) (2-5 dwelling units per acre) to the north and Commercial Retail (CR) to the east, south, and west. |
| 3. Existing Zoning (Ex. #3): | Rural Residential (R-R) and Scenic Highway Commercial (C-P-S) |
| 4. Proposed Zoning (Ex. #3): | Scenic Highway Commercial (C-P-S). |
| 5. Surrounding Zoning (Ex. #3): | Rural Residential (R-R) to the north and east, and Scenic Highway Commercial (C-P-S) to the south and west. |
| 6. Existing Land Use (Ex. #1): | Vacant Land |
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| 8. Project Data: | Total Acreage: 0.90 net acres
Total Building Square Footage: 9,825 Sq. Ft.
Parking Space: 50 spaces |
| 9. Environmental Concerns: | CEQA EXEMPT per Section 15303(c) |

W

RECOMMENDATIONS:

TENTATIVE APPROVAL of **CHANGE OF ZONE NO. 7419**, from Rural Residential (R-R) zoning classification to the Scenic Highway Commercial (C-P-S) zoning classification zone in accordance with Exhibit #3; and

APPROVAL of **Plot Plan No. 23535**, subject to the attached conditions of approval, and based upon the findings and conclusions incorporated in the staff report.

CONCLUSIONS:

1. The proposed project is in conformance with the Commercial Retail (CR) Land Use Designation, and with all other elements of the Riverside County General Plan.
2. The proposed project is consistent with the Scenic Highway Commercial (C-P-S) zoning classification of Ordinance No. 348, and with all other applicable provisions of Ordinance No. 348.
3. The public's health, safety, and general welfare are protected through project design.
4. The proposed project is clearly compatible with the present and future logical development of the area.
5. The proposed project will not have a significant effect on the environment.
6. The proposed project will not preclude reserve design for the Multi-Species Habitat Conservation Plan (MSHCP).

FINDINGS: The following findings are in addition to those incorporated in the summary of findings,, which is incorporated herein by reference.

1. The project site is designated Commercial Retail (CR) on the San Jacinto Valley Area Plan.
2. The proposed use, a 9,825 square foot commercial retail building, is a permitted use in the Commercial Retail (CR) designation.
3. The project site is surrounded by properties which are designated Medium Density Residential (MDR) (2-5 dwelling units per acre) to the north and Commercial Retail (CR) to the east, south, and west.
4. The existing zoning for the subject site is Rural Residential (RR) and Scenic Highway Commercial (C-P-S).
5. The existing zoning for the subject site is Scenic Highway Commercial (C-P-S).
6. The proposed use, a 9,825 square foot commercial retail building, is a permitted use, subject to approval of a plot plan, in the Scenic Highway Commercial (C-P-S) zone.

7. The proposed use, a 9,825 square foot commercial retail building, is consistent with the development standards set forth in the Scenic Highway Commercial (C-P-S) zone.
8. The project site is surrounded by properties which are zoned Rural Residential (R-R) to the north and east, and Scenic Highway Commercial (C-P-S) to the south and west.
9. Commercial uses have been constructed and are operating in the project vicinity.
10. This project is not located within a Criteria Area of the Multi-Species Habitat Conservation Plan.
11. The project conforms to Article Nineteen (19), Section 15303(c), of the CEQA Guidelines, which states that new construction of small structures are exempt from CEQA if the proposed project: Consists of a store, motel, office, restaurant or similar structure not involving the use of significant amounts of hazardous substances and not exceeding 2,500 sq. ft. in floor area. In urbanized areas, up to four (4) such commercial buildings not exceeding 10,000 sq. ft. in floor area where all necessary public services and facilities are available and the surrounding area is not environmentally sensitive.

INFORMATIONAL ITEMS:

1. As of this writing, no letters, in support or opposition have been received.
2. The project site is not located within:
 - a. A 100-year flood plain, an area drainage plan, or dam inundation area.
 - b. California Gnatcatcher, Quino Checkerspot Butterfly habitat.
 - c. A MSHCP Criteria Cell.
 - d. A Fault Zone
3. The project site is locate within:
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 - d. The Valley-Wide Recreation and Parks District.
 - e. The boundaries of the Hemet Unified School District.
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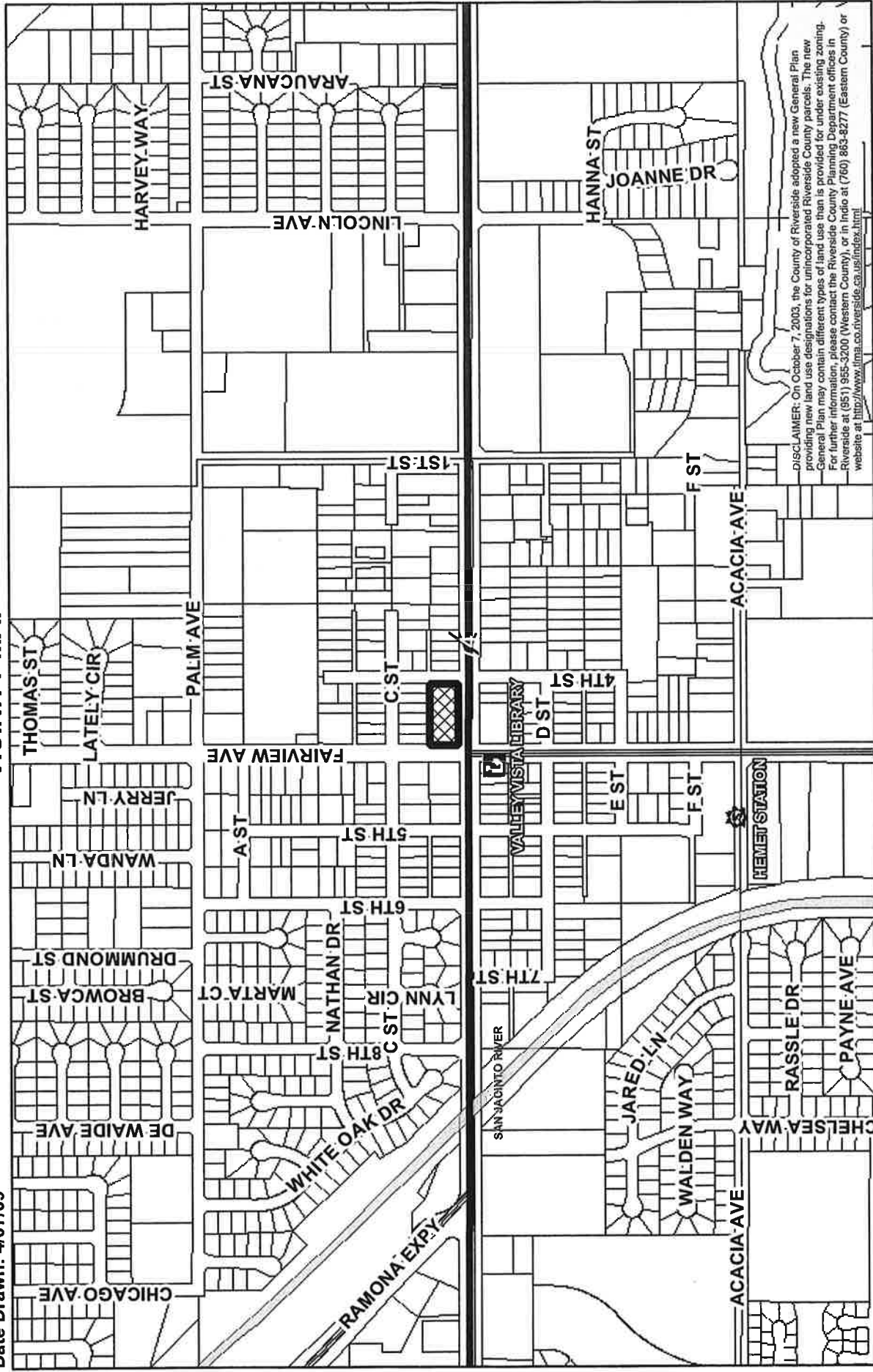
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Date Prepared: 4/13/09, Date Revised: 4/13/09

Planner: Jeff Horn
Date: 5/13/09
VICINITY MAP

CZ0741y PP23535
VICINITY MAP

Supervisor: Stone
District 3
Date Drawn: 4/07/09



RIVERSIDE COUNTY PLANNING DEPARTMENT

Assessors
Bk. Pg. 549-15
Thomas
Bros. Pg. 782 A6

Area: Bautista
Township/Range: T5SR1E
Section: 9



Supervisor: Stone
District: 3
Date Drawn: 4/07/09

CZ07419 PP23535
DEVELOPMENT OPPORTUNITY

Planner: Jeff Horn
Date: 5/13/09
Exhibit Overview



RIVERSIDE COUNTY PLANNING DEPARTMENT

Area: Bautista
Township/Range: T5SR1E
Section: 9



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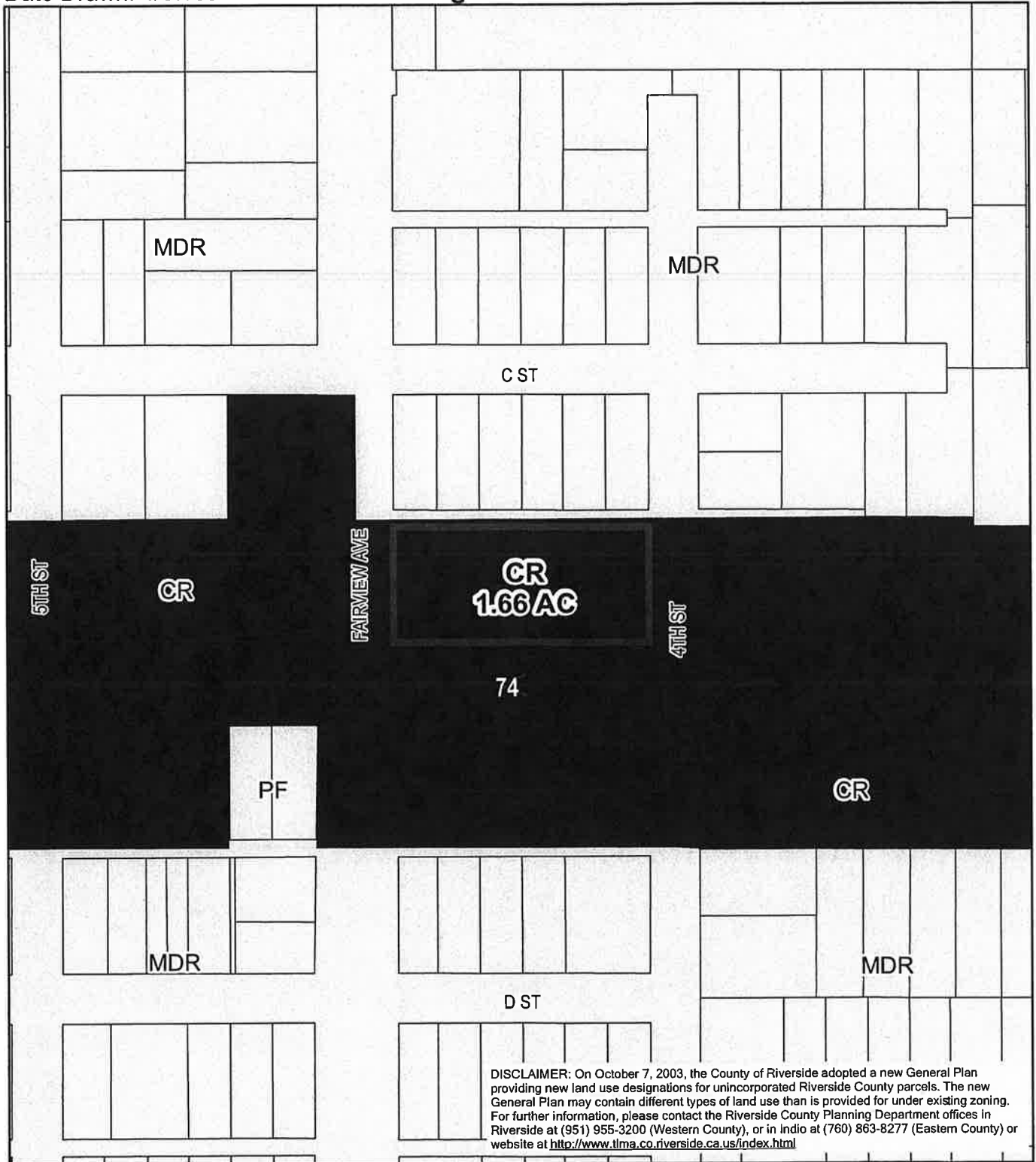
Assessors
Bk. Pg. 549-15
Thomas
Bros. Pg. 782 A6

Supervisor: Stone
District 3
Date Drawn: 4/07/09

CZ07419 PP23535

Planner: Jeff Horn
Date: 5/13/09
Exhibit 5

Existing General Plan



RIVERSIDE COUNTY PLANNING DEPARTMENT

Area: Bautista
Township/Range: T5SR1E
Section: 9



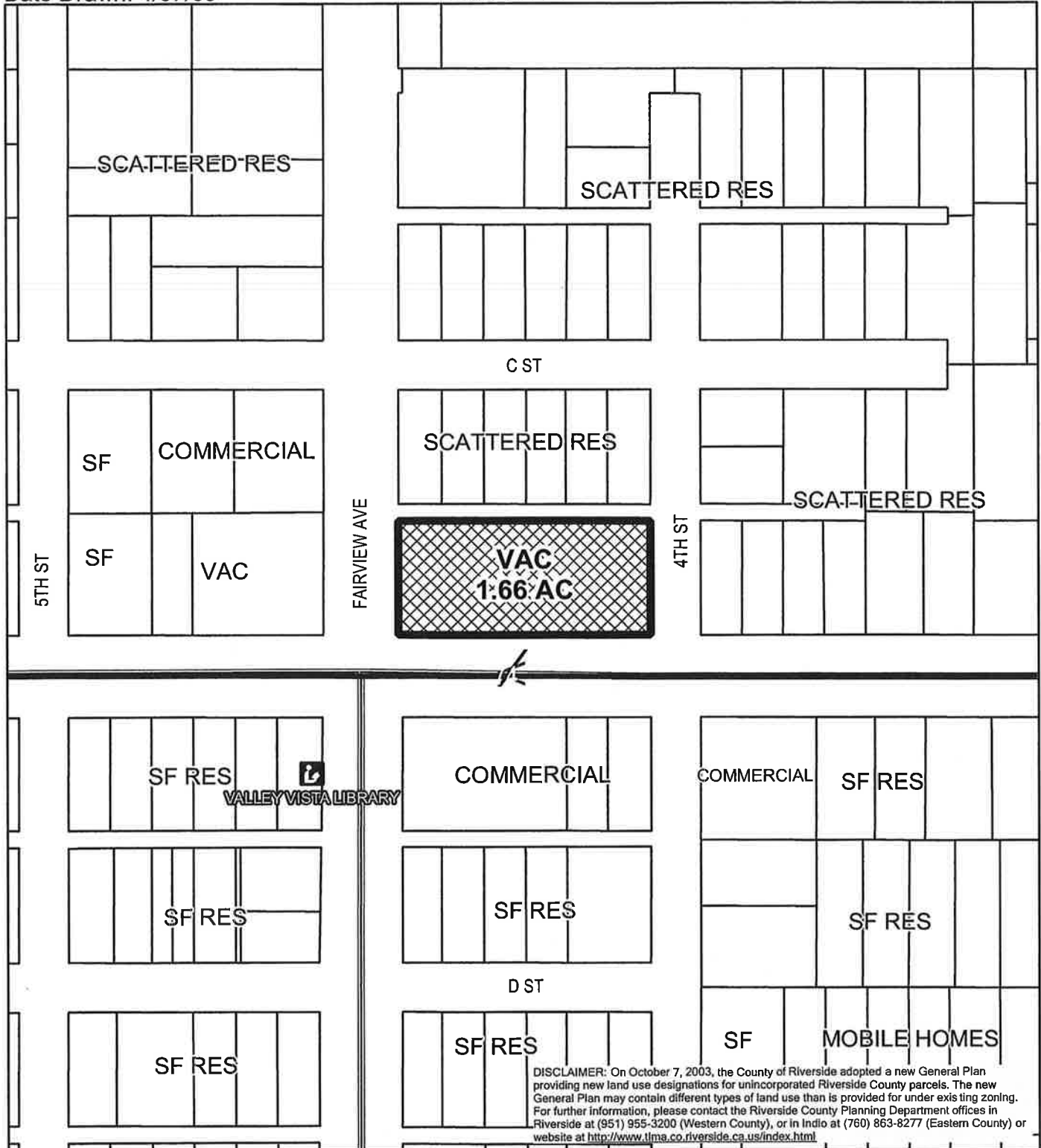
Assessors
Bk. Pg. 549-15
Thomas
Bros. Pg. 782 A6

Supervisor: Stone
District: 3
Date Drawn: 4/07/09

CZ07419 PP23535

Planner: Jeff Horn
Date: 5/13/09
Exhibit 1

Land Use



RIVERSIDE COUNTY PLANNING DEPARTMENT

Area: Bautista
Township/Range: T5SR1E
Section: 9

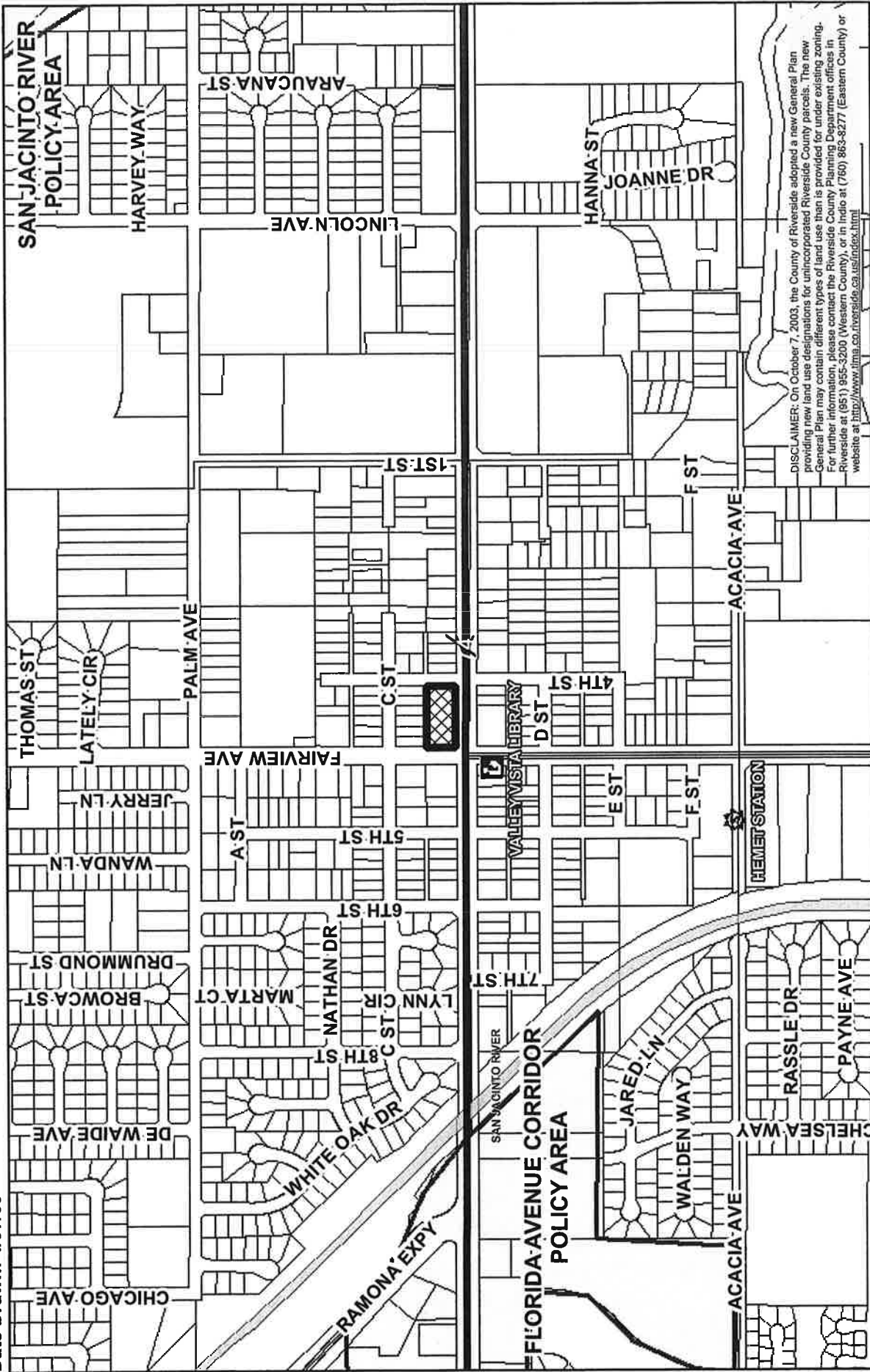


Assessors
Bk. Pg. 549-15
Thomas
Bros. Pg. 782 A6



CZ0741y PP23535 POLICY AREAS

Supervisor: Stone
District 3
Date Drawn: 4/07/09

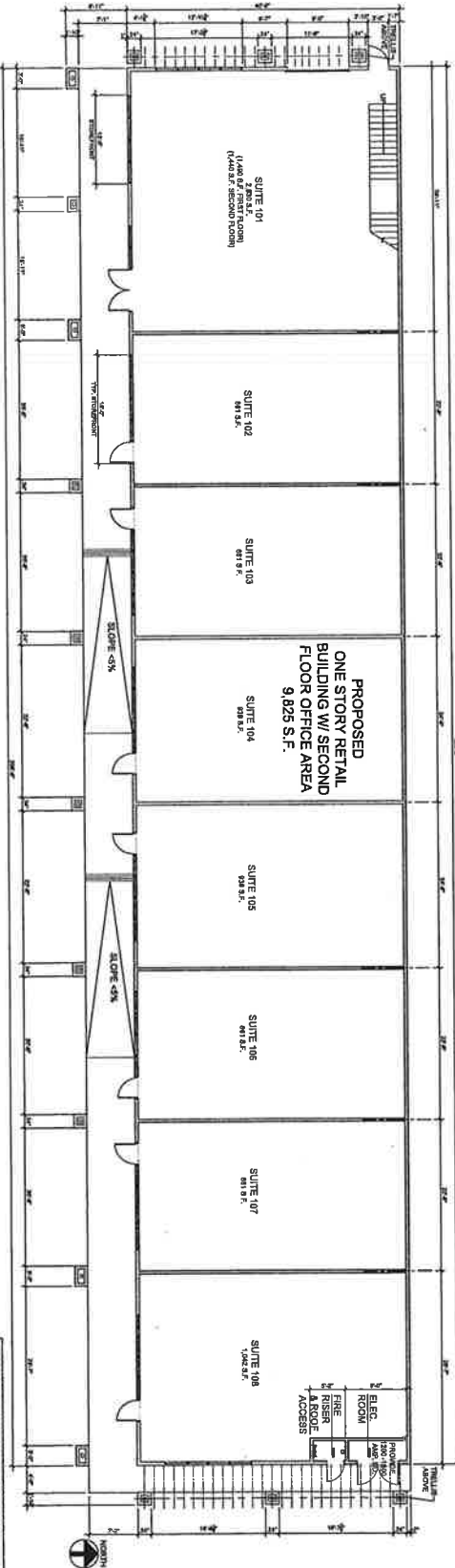


RIVERSIDE COUNTY PLANNING DEPARTMENT

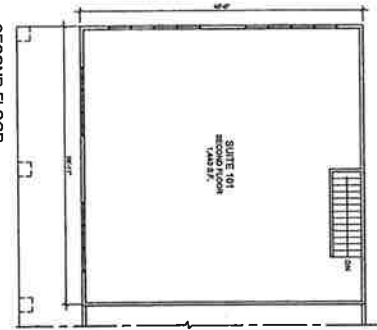
Assessors
Bk. Pg. 549-15
Thomas
Bros. Pg. 782 A6

Area: Bautista
Township/Range: T5SR1E
Section: 9

FIRST FLOOR



SECOND FLOOR

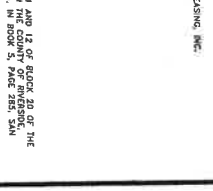


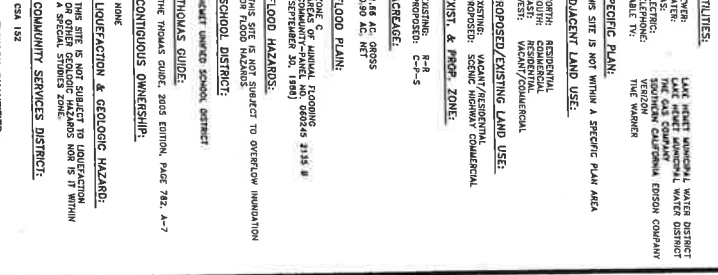
FLOOR PLAN - EXHIBIT "C"

- APPLICATION MATRIX (1-7)**
1. APPLICANT:
HERRON + RUMANSOFF ARCHITECTS, INC.
530 ST. JOHN'S PLACE
HEMET, CALIFORNIA 92343
(951) 854-4431
 2. LAND OWNER:
HEMET AUTO CENTER LEASING INC.
530 ST. JOHN'S PLACE
HEMET, CALIFORNIA 92343
P.O. BOX 828
HEMET, CALIFORNIA 92343
(951) 854-4431
 3. SUBMITTER:
HERRON + RUMANSOFF ARCHITECTS, INC.
530 ST. JOHN'S PLACE
HEMET, CALIFORNIA 92343
(951) 854-4431
 4. ASSOCIATE DESIGNER:
HERRON + RUMANSOFF ARCHITECTS, INC.
530 ST. JOHN'S PLACE
HEMET, CALIFORNIA 92343
(951) 854-4431
 5. SCALE:
SEE EACH DRAWING FOR SPECIFIC SCALE.
 6. NORTH ARROW:
SEE EACH DRAWING FOR THIS REFERENCE.
 7. DATE OF PREPARATION:
08/11/2008

SCALE
1/8" = 1'-0"

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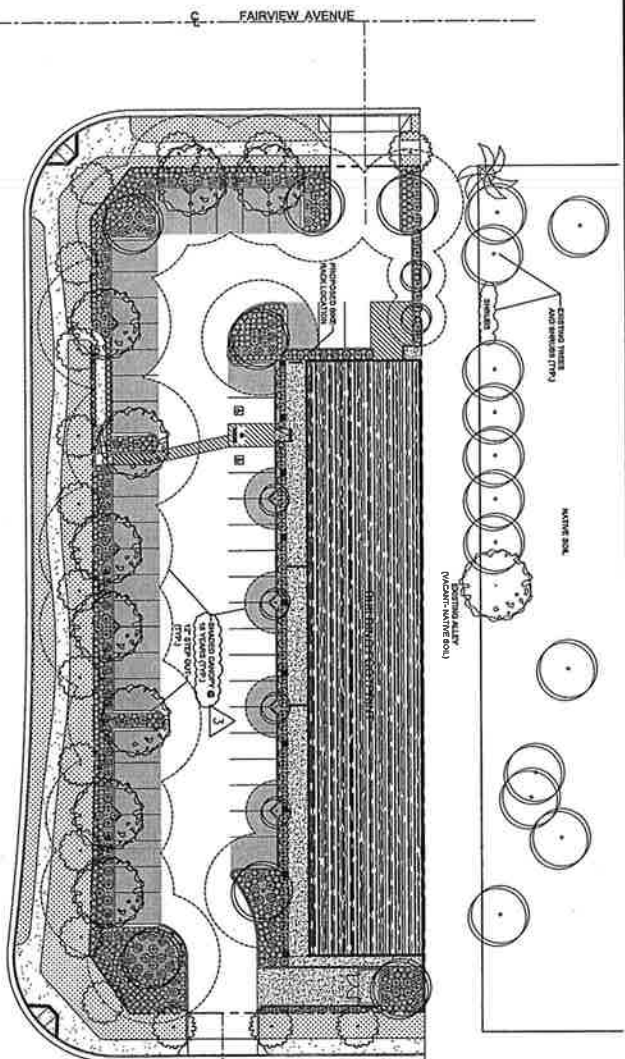




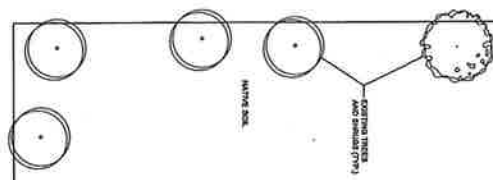
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PLANTING LEGEND:



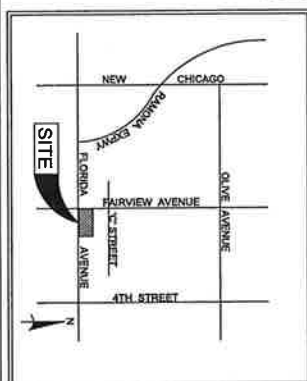
FLORIDA AVENUE



NOTES:

- SHADING REQUIREMENTS:**
1. ALL NEWLY PLANTED TREES SHALL BE LOCATED AT LEAST 10 FT. FROM THE CURB OR CONCRETE DRIVEWAY. TREES SHALL BE LOCATED AT LEAST 10 FT. FROM CONCRETE DRIVEWAYS. TREES SHALL BE LOCATED AT LEAST 10 FT. FROM THE CURB OR CONCRETE DRIVEWAY. TREES SHALL BE LOCATED AT LEAST 10 FT. FROM THE CURB OR CONCRETE DRIVEWAY.
- INTERIOR LANDSCAPE REQUIREMENTS:**
1. ALL INTERIOR LANDSCAPE SHALL BE LOCATED AT LEAST 10 FT. FROM THE CURB OR CONCRETE DRIVEWAY. TREES SHALL BE LOCATED AT LEAST 10 FT. FROM THE CURB OR CONCRETE DRIVEWAY. TREES SHALL BE LOCATED AT LEAST 10 FT. FROM THE CURB OR CONCRETE DRIVEWAY.
- PERMITS:**
1. ALL PERMITS SHALL BE OBTAINED FROM THE CITY OF SAN ANTONIO. PERMITS SHALL BE OBTAINED FROM THE CITY OF SAN ANTONIO. PERMITS SHALL BE OBTAINED FROM THE CITY OF SAN ANTONIO.
- PAVING REQUIREMENTS:**
1. ALL PAVING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF SAN ANTONIO. PAVING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF SAN ANTONIO. PAVING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF SAN ANTONIO.
- IRIGATION REQUIREMENTS:**
1. ALL IRIGATION SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF SAN ANTONIO. IRIGATION SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF SAN ANTONIO. IRIGATION SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF SAN ANTONIO.
- WATER REQUIREMENTS:**
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- PLANTING REQUIREMENTS:**
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- CONSTRUCTION REQUIREMENTS:**
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- FINISH REQUIREMENTS:**
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- FINAL REQUIREMENTS:**
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PLOT PLAN NO. 23535




VICINITY MAP
2007 THOMAS GUIDE, RIVERSIDE COUNTY
PAGE: 782 GRID: A-7

SCALE 1"=20'-0"

0 10' 20' 40'

NORTH



CONCEPTUAL LANDSCAPE PLAN

$$1^{\circ} = 25.5^{\circ}$$

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HEMET AUTO CENTER LEASING INC.
DBA - WESTERN LAND COMPANY
RICHARD SHIREK
HEMET, CALIFORNIA

PLOT PLAN
SUBMITTAL 06/11/2011

ISSUE PURPOSE	don
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total per page	50
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PLANNING
CORRECTIONS 11/27/98

AMENDED PLANS 02/18/99

PLANING
CORRECTIONS

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87-9 DIRECTS L-1 2	58-31-06	CONCEPTUAL LAND-USE PLAN	herron rumansoff
sheet no.	job no.	shl.description	architects, inc.

530 St. Johns Place Hemet, California 92543

951 652-4431 951 652-0373 Fax

02/01/10
09:58

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 1

PLAN:TRANSMITTED Case #: PP23535

Parcel: 549-153-015

10. GENERAL CONDITIONS

EVERY DEPARTMENT

10. EVERY. 1 USE - PROJECT DESCRIPTION RECOMMND

The use hereby permitted is for a 9,825 square foot commercial retail building on 0.90 net acre parcel, 5,577 square feet of landscaping, and 49 parking spaces.

10. EVERY. 2 USE - HOLD HARMLESS RECOMMND

The applicant/permittee or any successor-in-interest shall defend, indemnify, and hold harmless the County of Riverside (COUNTY) its agents, officers, or employees from any claim, action, or proceeding against the COUNTY, its agents, officers, or employees to attack, set aside, void, or annul an approval of the COUNTY, its advisory agencies, appeal boards, or legislative body concerning PP23535. The COUNTY will promptly notify the applicant/permittee of any such claim, action, or proceeding against the COUNTY and will cooperate fully in the defense. If the COUNTY fails to promptly notify the applicant/permittee of any such claim, action, or proceeding or fails to cooperate fully in the defense, the applicant/permittee shall not, thereafter, be responsible to defend, indemnify, or hold harmless the COUNTY.

10. EVERY. 3 USE - DEFINITIONS RECOMMND

The words identified in the following list that appear in all capitals in the attached conditions of Plot Plan No. 23535 shall be henceforth defined as follows:

APPROVED EXHIBIT A = Site Plan for Plot Plan No. 23535, Exhibit A, Amended No. 2, dated 8/18/09.

APPROVED EXHIBIT B = Elevations for Plot Plan No. 23535, Exhibit B, Amended No. 2, dated 8/18/09.

APPROVED EXHIBIT C = Floor Plan for Plot Plan No. 23535, Exhibit C, Amended No. 2, dated 8/18/09.

APPROVED EXHIBIT G = Grading Plan for Plot Plan No. 23535, Exhibit G, Amended No. 2, dated 8/18/09.

APPROVED EXHIBIT L = Preliminary Landscape Plan for Plot Plan No. 23535, Exhibit L, Amended No. 5, dated 5/1/09.

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Riverside County LMS
CONDITIONS OF APPROVAL

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F. 1 PLAN:TRANSMITTED Case #: PP23535

Parcel: 549-153-015

10. GENERAL CONDITIONS

10. EVERY. 4 USE - 90 DAYS TO PROTEST

RECOMMND

The project developer has 90 days from the date of approval of these conditions to protest, in accordance with the procedures set forth in Government Code Section 66020, the imposition of any and all fees, dedications, reservations and/or other exactions imposed on this project as a result of this approval or conditional approval of this project.

BS GRADE DEPARTMENT

10.BS GRADE. 1 USE -GIN INTRODUCTION

RECOMMND

Improvements such as grading, filling, over excavation and recompaction, and base or paving which require a grading permit are subject to the included Building and Safety Department Grading Division conditions of approval.

10.BS GRADE. 3 USE-G1.2 OBEY ALL GDG REGS

RECOMMND

All grading shall conform to the California Building Code, Ordinance 457, and all other relevant laws, rules, and regulations governing grading in Riverside County and prior to commencing any grading which includes 50 or more cubic yards, the applicant shall obtain a grading permit from the Building and Safety Department.

10.BS GRADE. 4 USE-G1.3 DISTURBS NEED G/PMT

RECOMMND

Ordinance 457 requires a grading permit prior to clearing, grubbing, or any top soil disturbances related to construction grading.

10.BS GRADE. 5 USE-G1.6 DUST CONTROL

RECOMMND

All necessary measures to control dust shall be implemented by the developer during grading. PM10 plan may be required at the time a grading permit is issued.

10.BS GRADE. 6 USE-G2.3SLOPE EROS CL PLAN

RECOMMND

Erosion control - landscape plans, required for manufactured slopes greater than 3 feet in vertical height, are to be signed by a registered landscape architect and bonded per the requirements of Ordinance 457 (refer to dept. form 284-47).

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Riverside County LMS
CONDITIONS OF APPROVAL

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E. F PLAN:TRANSMITTED Case #: PP23535

Parcel: 549-153-015

10. GENERAL CONDITIONS

10.BS GRADE. 7 USE-G2.5 2:1 MAX SLOPE RATIO RECOMMND

Graded slopes shall be limited to a maximum steepness ratio of 2:1 (horizontal to vertical) unless otherwise approved.

10.BS GRADE. 8 USE-G2.6SLOPE STABL'TY ANLYS RECOMMND

A slope stability report shall be submitted and approved by the County Geologist for all proposed cut or fill slopes steeper than 2:1 (horiz. to vert.) or over 30' in vertical height - unless addressed in a previous report.

10.BS GRADE. 9 USE-G2.7DRNAGE DESIGN Q100 RECOMMND

All grading and drainage shall be designed in accordance with Riverside County Flood Control & Water Conservation District's conditions of approval regarding this application. If not specifically addressed in their conditions, drainage shall be designed to accommodate 100 year storm flows.

Additionally, the Building and Safety Department's conditional approval of this application includes an expectation that the conceptual grading plan reviewed and approved for it complies or can comply with any WQMP (water Quality Management Plan) required by Riverside County Flood Control & Water Conservation District.

10.BS GRADE. 10 USE-G2.8MINIMUM DRNAGE GRADE RECOMMND

Minimum drainage grade shall be 1% except on portland cement concrete where .35% shall be the minimum.

10.BS GRADE. 11 USE-G2.9DRNAGE & TERRACING RECOMMND

Provide drainage facilities and terracing in conformance with the Uniform Building Code's chapter on "EXCAVATION & GRADING".

10.BS GRADE. 12 USE-G2.10 SLOPE SETBACKS RECOMMND

Observe slope setbacks from buildings & property lines per the Uniform Building Code as amended by Ordinance 457.

10.BS GRADE. 13 USE-G2.23 OFFST. PAVED PKG RECOMMND

All offstreet parking areas which are conditioned to be paved shall conform to Ordinance 457 base and paving design

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Riverside County LMS
CONDITIONS OF APPROVAL

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PLAN:TRANSMITTED Case #: PP23535

Parcel: 549-153-015

10. GENERAL CONDITIONS

10.BS GRADE. 13 USE-G2.23 OFFST. PAVED PKG (cont.) RECOMMND
and inspection requirements.

10.BS GRADE. 14 USE-G.3.1NO B/PMT W/O G/PMT RECOMMND

Prior to the issuance of any building permit, the property owner shall obtain a grading permit and/or approval to construct from the Grading Division of the Building and Safety Department.

10.BS GRADE. 15 USE-G3.3RETAINING WALLS RECOMMND

Lots which propose retaining walls will require separate permits. They shall be obtained prior to the issuance of any other building permits - unless otherwise approved by the Building and Safety Director. The walls shall be designed by a Registered Civil Engineer - unless they conform to the County Standard Retaining Wall designs shown on the Building and Safety Department form 284-197.

10.BS GRADE. 16 USE-G3.4CRIB/RETAIN'G WALLS RECOMMND

Cribwall (retaining) walls shall be designed by a qualified professional who shall provide the following information for review and approval - this shall be in addition to standard retaining wall data normally required. The plans shall clearly show: soil preparation and compaction requirements to be accomplished prior to footing-first course installation, method/requirement of footing-first course installation, properties of materials to be used (i.e. Fc=2500 p.s.i.). Additionally special inspection by the manufacturer/dealer and a registered special inspector will be required.

10.BS GRADE. 17 USE-G4.1E-CL 4:1 OR STEEPER RECOMMND

Plant & irrigate all manufactured slopes steeper than a 4:1 (horizontal to vertical) ratio and 3 feet or greater in vertical height with grass or ground cover; slopes 15 feet or greater in vertical height shall be planted with additional shrubs or trees or as approved by the Building & Safety Department's Erosion Control Specialist.

10.BS GRADE. 18 USE-G4.3PAVING INSPECTIONS RECOMMND

The developer/applicant shall be responsible for obtaining the paving inspections required by Ordinance 457.

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Riverside County LMS
CONDITIONS OF APPROVAL

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PLOT PLAN:TRANSMITTED Case #: PP23535

Parcel: 549-153-015

10. GENERAL CONDITIONS

10.BS GRADE. 19 USE-G2.17LOT TO LOT DRN ESMT

RECOMMND

A recorded easement is required for lot to lot drainage.

10.BS GRADE. 20 USE-G1.4 NPDES/SWPPP

RECOMMND

Prior to issuance of any grading or construction permits - whichever comes first - the applicant shall provide the Building and Safety Department evidence of compliance with the following: "Effective March 10, 2003 owner operators of grading or construction projects are required to comply with the N.P.D.E.S. (National Pollutant Discharge Elimination System) requirement to obtain a construction permit from the State Water Resource Control Board (SWRCB). The permit requirement applies to grading and construction sites of "ONE" acre or larger. The owner operator can comply by submitting a "Notice of Intent" (NOI), develop and implement a STORM WATER POLLUTION PREVENTION PLAN (SWPPP) and a monitoring program and reporting plan for the construction site.

For additional information and to obtain a copy of the NPDES State Construction Permit contact the SWRCB at (916) 657-1146.

Additionally, at the time the county adopts, as part of any ordinance, regulations specific to the N.P.D.E.S., this project (or subdivision) shall comply with them.

E HEALTH DEPARTMENT

10.E HEALTH. 1 EMWD WATER AND SEWER SERVICE

RECOMMND

Plot Plan#23535 proposes Eastern Municipal Water District (EMWD) water and sewer service. It is the responsibility of the developer to ensure that all requirements to obtain water and sewer service are met with EMWD, as well as, all other applicable agencies.

Any existing septic system(s) and/or well(s) must be properly abandoned or removed under permit with the Department of Environmental Health (DEH).

FIRE DEPARTMENT

10.FIRE. 1 USE-#50-BLUE DOT REFLECTOR

RECOMMND

Blue retroreflective pavement markers shall be mounted on private street, public streets and driveways to indicate

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CONDITIONS OF APPROVAL

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Plot PLAN:TRANSMITTED Case #: PP23535

Parcel: 549-153-015

10. GENERAL CONDITIONS

10.FIRE. 1 USE-#50-BLUE DOT REFLECTOR (cont.) RECOMMND

location of fire hydrants. Prior to installation, placement of markers must be approved by the Riverside County Fire Department.

10.FIRE. 2 USE-#23-MIN REQ FIRE FLOW RECOMMND

Minimum required fire flow shall be 1500 GPM for a 2 hour duration at 20 PSI residual operating pressure, which must be available before any combustible material is placed on the job site. Fire flow is based on type VB construction per the 2007 CBC and Building(s) having a fire sprinkler system.

10.FIRE. 3 USE-#31-ON/OFF NOT LOOPED HYD RECOMMND

A combination of on-site and off-site super fire hydrant(s) (6"x4"x 2-2-1/2"), will be located not less than 25 feet or more than 165 feet from any portion of the building as measured along approved vehicular travel ways. The required fire flow shall be available from any adjacent hydrants(s) in the system.

FLOOD RI DEPARTMENT

10.FLOOD RI. 1 USE- FLOOD HAZARD REPORT RECOMMND

Plot Plan 23535 proposes a 9,825 square foot commercial retail building on a 0.90 net acre parcel, 5,577 square feet of landscaping, and 49 parking spaces. Located in the San Jacinto Valley Area Plan north of State Highway 74 (Florida Avenue), west of 4th street, south of C street and east of Fairview Avenue.

Our review indicates the site has a tributary drainage area of approximately 10 acres from the south. Runoff from the site enters the San Jacinto River by way of the Valle-Vista - Bethlam Avenue Storm drain approximately one-half mile from the site. Generally, mitigation for increased runoff is required for commercial type developments based upon the structures having an anticipated impermeable surface area. The increase in impervious area of this project is not significant and, therefore, it is acceptable to use a volume-based BMP as a means of increased runoff mitigation.

However, should additional development be proposed, the mitigation for increased runoff may be necessary at that time.

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Riverside County LMS
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PLAN: TRANSMITTED Case #: PP23535

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10. GENERAL CONDITIONS

10.FLOOD RI. 1 USE- FLOOD HAZARD REPORT (cont.)

RECOMMND

A Water Quality Management Plan (WQMP) was provided and reviewed. Therein, it is proposed to use an infiltration trench as a volume-based BMP and, as such, serve dual-purpose in this case for water quality treatment and increased runoff mitigation. The District does not object to this proposal.

10.FLOOD RI. 3 USE 10 YR CURB - 100 YR ROW

RECOMMND

The 10 year storm flow shall be contained within the curb and the 100 year storm flow shall be contained within the street right of way. When either of these criteria is exceeded, additional drainage facilities shall be installed. The property shall be graded to drain to the adjacent street or an adequate outlet.

10.FLOOD RI. 4 USE 100 YR SUMP OUTLET

RECOMMND

Drainage facilities outletting sump conditions shall be designed to convey the tributary 100 year storm flows. Additional emergency escape shall also be provided.

10.FLOOD RI. 5 USE PERP DRAINAGE PATTERNS

RECOMMND

The property's grading shall be designed in a manner that perpetuates the existing natural drainage patterns with respect to tributary drainage area, outlet points and outlet conditions; otherwise, a drainage easement shall be obtained from the affected property owners for the release of concentrated or diverted storm flows. A copy of the recorded drainage easement shall be submitted to the District for review.

10.FLOOD RI. 15 USE SUBMIT FINAL WQMP =PRELIM

RECOMMND

In compliance with Santa Ana Region and San Diego Region Regional Water Quality Control Board Orders, and Beginning January 1, 2005, projects submitted within the western region of the unincorporated area of Riverside County for discretionary approval will be required to comply with the Water Quality Management Plan for Urban Runoff (WQMP). The WQMP addresses post-development water quality impacts from new development and redevelopment projects. The WQMP requirements will vary depending on the project's geographic location (Santa Ana, Santa Margarita or

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10. GENERAL CONDITIONS

10.FLOOD RI. 15 USE SUBMIT FINAL WQMP =PRELIM (cont.)

RECOMMND

Whitewater River watersheds). The WQMP provides detailed guidelines and templates to assist the developer in completing the necessary studies. These documents are available on-line at:

www.floodcontrol.co.riverside.ca.us under Programs and Services, Stormwater Quality.

To comply with the WQMP a developer must submit a "Project Specific" WQMP. This report is intended to a) identify potential post-project pollutants and hydrologic impacts associated with the development; b) identify proposed mitigation measures (BMPs) for identified impacts including site design, source control and treatment control post-development BMPs; and c) identify sustainable funding and maintenance mechanisms for the aforementioned BMPs. A template for this report is included as 'exhibit A' in the WQMP.

The developer has submitted a report that meets the criteria for a Preliminary Project Specific WQMP. The report will need to be revised to meet the requirements of a Final Project Specific WQMP. Also, it should be noted that if 401 certification is necessary for the project, the Water Quality Control Board may require additional water quality measures.

10.FLOOD RI. 16 USE BMP MAINTENANCE & INSPECT

RECOMMND

The BMP maintenance plan shall contain provisions for all treatment controlled BMPs to be inspected, and if required, cleaned no later than October 15 each year. Required documentation shall identify the entity that will inspect and maintain all structural BMPs within the project boundaries. A copy of all necessary documentation shall be submitted to the District for review and approval prior to the issuance of occupancy permits.

PLANNING DEPARTMENT

10.PLANNING. 1 MAP - IF HUMAN REMAINS FOUND

RECOMMND

If human remains are encountered, State Health and Safety Code Section 7050.5 states that no further disturbance shall occur until the Riverside County Coroner has made the necessary findings as to origin. Further, pursuant to Public Resource Code Section 5097.98(b) remains shall

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10. GENERAL CONDITIONS

10. PLANNING. 1 MAP - IF HUMAN REMAINS FOUND (cont.)

RECOMMEND

be left in place and free from disturbance until a final decision as to the treatment and disposition has been made. If the Riverside County Coroner determines the remains to be Native American, the Native American Heritage Commission shall be contacted within a reasonable timeframe. Subsequently, the Native American Heritage Commission shall identify the "most likely descendant." The most likely descendant shall then make recommendations and engage in consultation concerning the treatment of the remains as provided in Public Resources Code Section 5097.98.

10. PLANNING. 2 MAP - INADVERTENT ARCHAEO FIND

RECOMMEND

If during ground disturbance activities, unique cultural resources are discovered that were not assessed by the archaeological report(s) and/or environmental assessment conducted prior to project approval, the following procedures shall be followed. Unique cultural resources are defined, for this condition, as being multiple artifacts in close association with each other, but may include fewer artifacts if the area of the find is determined to be of significance due to its sacred or cultural importance.

1. All ground disturbance activities within 100 feet of the discovered cultural resources shall be halted until a meeting is convened between the developer, the archaeologist, the Native American tribal representative and the Planning Director to discuss the significance of the find.

2. At the meeting, the significance of the discoveries shall be discussed and after consultation with the Native American tribal representative and the archaeologist, a decision shall be made, with the concurrence of the Planning Director, as to the appropriate mitigation (documentation, recovery, avoidance, etc.) for the cultural resources.

3. Grading of further ground disturbance shall not resume within the area of the discovery until an agreement has been reached by all parties as to the appropriate mitigation.

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10. GENERAL CONDITIONS

10. PLANNING. 3 USE - COMPLY WITH ORD./CODES

RECOMMND

The development of these premises shall comply with the standards of Ordinance No. 348 and all other applicable Riverside County ordinances and State and Federal codes.

The development of the premises shall conform substantially with that as shown on APPROVED EXHIBIT A, unless otherwise amended by these conditions of approval.

10. PLANNING. 4 USE - FEES FOR REVIEW

RECOMMND

Any subsequent submittals required by these conditions of approval, including but not limited to grading plan, building plan or mitigation monitoring review, shall be reviewed on an hourly basis (research fee), or other such review fee as may be in effect at the time of submittal, as required by Ordinance No. 671. Each submittal shall be accompanied with a letter clearly indicating which condition or conditions the submittal is intended to comply with.

10. PLANNING. 5 USE - LIGHTING HOODED/DIRECTED

RECOMMND

Any outside lighting shall be hooded and directed so as not to shine directly upon adjoining property or public rights-of-way.

10. PLANNING. 8 USE - HOURS OF OPERATION

RECOMMND

Use of the facilities approved under this plot plan use shall be limited to the hours of 6:00 a.m. to 9:00 p.m., Monday through Sunday in order to reduce conflict with adjacent residential zones and/or land uses. Suite 101 on the westerly end of the structure will be allowed to operate 24 hours a day.

10. PLANNING. 9 USE - BASIS FOR PARKING

RECOMMND

Parking for this project was determined primarily on the basis of County Ordinance No. 348, Section 18.12. a.(2).b), General Retail, 1 space/200 sq. ft. of gross floor area.

10. PLANNING. 12 USE - NO OUTDOOR ADVERTISING

RECOMMND

No outdoor advertising display, sign or billboard (not including on-site advertising or directional signs) shall be constructed or maintained within the property subject to

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10. GENERAL CONDITIONS

10.PLANNING. 12 USE - NO OUTDOOR ADVERTISING (cont.) RECOMMND

this approval.

10.PLANNING. 15 USE - LANDSCAPE SPECIES RECOMMND

Drought tolerant and native plant species shall be preferred over non-drought tolerant and non-native species. However, the quantity and extent of those species shall depend on the project's climatic zones. Alternative types of low volume irrigation are encouraged to be used in order to conserve water.

10.PLANNING. 19 USE - RECLAIMED WATER RECOMMND

The permit holder shall connect to a reclaimed water supply for landscape watering purposes when secondary or reclaimed water is made available to the site.

10.PLANNING. 21 USE - NO RESIDENT OCCUPANCY RECOMMND

No permanent occupancy shall be permitted within the property approved under this plot plan as a principal place of residence. No person shall use the premises as a permanent mailing address nor be entitled to vote using an address within the premises as a place of residence.

10.PLANNING. 24 USE - EXTERIOR NOISE LEVELS RECOMMND

Exterior noise levels produced by any use allowed under this permit, including, but not limited to, any outdoor public address system, shall not exceed 55 db(A), 10-minute LEQ, between the hours of 10:00 p.m. to 7:00 a.m., and 65 db(A), 10-minute LEQ, at all other times as measured at any residential, hospital, school, library, nursing home or other similar noise sensitive land use. In the event noise exceeds this standard, the permittee or the permittee's successor-in-interest shall take the necessary steps to remedy the situation, which may include discontinued operation of the facilities. The permit holder shall comply with the applicable standards of Ordinance No. 847.

10.PLANNING. 27 USE - VIABLE LANDSCAPING RECOMMND

All plant materials within landscaped areas shall be maintained in a viable growth condition throughout the life of this permit.

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10. GENERAL CONDITIONS

10.PLANNING. 29 USE - PREVENT DUST & BLOWSAND

RECOMMND

Graded but undeveloped land shall be maintained in a condition so as to prevent a dust and/or blowsand nuisance and shall be either planted with interim landscaping or provided with other wind and water erosion control measures as approved by the Building and Safety Department and the State air quality management authorities.

10.PLANNING. 31 USE - CAUSES FOR REVOCATION

RECOMMND

In the event the use hereby permitted under this permit, a) is found to be in violation of the terms and conditions of this permit, b) is found to have been obtained by fraud or perjured testimony, or c) is found to be detrimental to the public health, safety or general welfare, or is a public nuisance, this permit shall be subject to the revocation procedures.

10.PLANNING. 32 USE - CEASED OPERATIONS

RECOMMND

In the event the use hereby permitted ceases operation for a period of one (1) year or more, this approval shall become null and void.

10.PLANNING. 33 USE - 90 DAYS TO PROTEST

RECOMMND

The project applicant has 90 days from the date of approval of these conditions to protest, in accordance with the procedures set forth in Government Code Section 66020, The imposition of any and all fees, dedications, reservations and/or other exactions imposed on this project as a result of this approval or conditional approval of the project.

10.PLANNING. 38 USE - ORD 810 O S FEE (1)

RECOMMND

In accordance with Riverside County Ordinance No. 810, to assist in providing revenue to acquire and preserve open space and habitat, an Interim Open Space Mitigation Fee shall be paid for each development project or portion of an expanded development project to be constructed in Western Riverside County. The amount of the fee for commercial or industrial development shall be calculated on the basis of "Project Area," which shall mean the net area, measured in acres, from the adjacent road right-of-way to the limits of the project development.

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10.PLANNING. 40 USE - 3RD & 5TH DIST DSGN STDS RECOMMND

The permit holder shall comply with the "DESIGN STANDARDS & GUIDELINES, THIRD AND FIFTH SUPERVISORIAL DISTRICTS, COUNTY OF RIVERSIDE, adopted by the Board of Supervisors, July 17, 2001.

10.PLANNING. 41 USE - C/W DESIGN GUIDELINES RECOMMND

The project shall conform to the Countywide Design Standards and Guidelines, adopted January 13, 2004.

10.PLANNING. 42 USE - BUSINESS LICENSING RECOMMND

Every person conducting a business within the unincorporated area of Riverside County, as defined in Riverside County Ordinance No. 857, shall obtain a business license. For more information regarding business registration, contact the Business Registration and License Program Office of the Building and Safety Department at www.rctlma.org.buslic.

10.PLANNING. 45 USE - MT PALOMAR LIGHTING AREA RECOMMND

Within the Mt. Palomar Special Lighting Area, as defined in Ordinance No. 655, low pressure sodium vapor lighting or overhead high pressure sodium vapor lighting with shields or cutoff luminaires, shall be utilized.

10.PLANNING. 47 USE - PERMIT SIGNS RECOMMND

No signs are approved pursuant to this project approval. Prior to the installation of any on-site advertising or directional signs, a signing plan shall be submitted to and approved by the Planning Department pursuant to the requirements of Section 18.30 (Planning Department review only) of Ordinance No. 348. This shopping center is allowed a maximum of two (2) free standing signs, provided that the two signs are not located on the same street; are at least 100 feet apart and the second sign does not exceed 100 square feet in surface area and 20 feet in height.

10.PLANNING. 49 USE - LANDSCAPING REVIEW/COMPL RECOMMND

All landscaping plans shall be prepared in accordance with Ordinance 859 (as adopted and any amendments thereto), the Riverside County Guide to California Landscaping, and Ordinance 348, Section 18.12. Such plans shall be reviewed

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10. GENERAL CONDITIONS

10. PLANNING. 49 USE - LANDSCAPING REVIEW/COMPL (cont.) RECOMMND

and approved by the Planning Department, the appropriate maintenance authority, and shall be in conformance with the PRELIMINARY LANDSCAPING plans.

10. PLANNING. 51 USE - GEO02119 RECOMMND

County Geologic Report (GEO) No. 2119, submitted for this project (PP23535) was prepared by Inland Foundation Engineering, Inc. and is entitled: "Preliminary Geotechnical Report, Proposed Commercial Development, NEC Florida and Fairview Avenues, Valle Vista Area, Riverside County, California", Project No. W315-004, dated November 18, 2008. In addition, Inland Foundation submitted "Response to County Review Comments - County Geologic Report No. 2119, Preliminary Geotechnical Report, Proposed Commercial Development, NEC Florida and Fairview Avenues, Valle Vista Area, Riverside County, California", dated February 11, 2009. This document is herein incorporated as a part of GEO No. 2119.

GEO No. 2119 concluded:

1. Groundwater was not encountered within any of the exploratory borings to a depth of 51.5 feet and is expected to be on the order of 125 feet below the existing ground surface.

2. The potential for liquefaction is considered nil.

3. No documented active faults are known to traverse toward the subject site.

4. Other secondary effects and geologic hazards such as slope failure, lurching, seismic settlement, seiches, tsunamis and surface rupture are not considered to be of significance to the project.

GEO No. 2119 recommended:

1. All grading should be performed in accordance with the applicable provisions of the California Building Code.

2. All building, slab and pavement areas and all surfaces to receive compacted fill should be cleared of existing loose soil, vegetation, debris, and other suitable materials.

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10. GENERAL CONDITIONS

10.PLANNING. 51 USE - GEO02119 (cont.)

RECOMMND

GEO No. 2119 satisfies the requirement for a Geologic Study for Planning / CEQA purposes. GEO No. 2119 is hereby accepted for Planning purposes. This approval is not intended, and should not be misconstrued as approval for grading permit. Engineering and other building code parameters will be reviewed and additional comments and/or conditions may be imposed by the Building and Safety Department upon application for grading and/or building permits.

10.PLANNING. 52 USE - PDP01351

RECOMMND

County Paleontological Report (PDP) No. 1351, submitted for this case (PP23535), was prepared by Brian F. Smith Associates and is entitled: "Paleontological resource and monitoring assessment, Lots 7-12 along State Route 74 immediately east of Fairview Avenue, community of Valle Vista, unincorporated Riverside County, California", dated March 12, 2009. In addition, Brian F. Smith Associates prepared "Response to Comments, Case No. PP23535: 'Paleontological resource and monitoring assessment, Lots 7-12 along State Route 74 immediately east of Fairview Avenue, community of Valle Vista, unincorporated Riverside County, California, (APN 549-153-015)' [County Paleontological Report (PDP) No. 1351]", dated March 23, 2009. This document is herein incorporated as a part of PDP No. 1351.

PDP01351 concluded:

1. Based on information provided in the geotechnical report for this project, the limited amount of recommended overexcavation beyond removal of the one to four feet of undesirable fill materials and an inferred geologically young age (Holocene) for sediments above a depth of 45 feet, the limited amount of excavation activity is unlikely to reveal any potentially significant nonrenewable paleontological resources.

PDP001351 recommended:

1. No paleontological monitoring for the limited site grading activities.

2. Paleontological monitoring for trenching activities such as for placement of new sewer lines where they are deeper

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10. GENERAL CONDITIONS

10. PLANNING. 52 USE - PDP01351 (cont.)

RECOMMND

than existing lines, or represent new alignments.

PDP01351 satisfies the requirement for a Paleontological Study for Planning/CEQA purposes. PDP01351 is hereby accepted for PP23535. This project will be conditioned for grading plan review and incidental find parameters as described elsewhere in this conditions set.

10. PLANNING. 53 USE - RESTRICTED OUTDOOR VENDING

RECOMMND

The placement of outdoor vending machines or displays shall be restricted within the project site. Prohibited items include payphones, snack and soda machines, newspaper dispensers, sales racks, etc.

10. PLANNING. 54 USE - LIMITED WINDOW ADVERTISING

RECOMMND

Window advertising or displays shall be limited to ten (10) percent coverage on any window within the project site.

TRANS DEPARTMENT

10. TRANS. 1 USE - TS/EXEMPT

RECOMMND

The Transportation Department has not required a traffic study for the subject project. The Transportation Department has determined that the project is exempt from traffic study requirements.

10. TRANS. 2 USE - STD INTRO 3 (ORD 460/461)

RECOMMND

With respect to the conditions of approval for the referenced tentative exhibit, the landowner shall provide all street improvements, street improvement plans and/or road dedications set forth herein in accordance with Ordinance 460 and Riverside County Road Improvement standards (Ordinance 461). It is understood that the exhibit correctly shows acceptable centerline elevations, all existing easements, traveled ways, and drainage courses with appropriate Q's, and that their omission or unacceptability may require the exhibit to be resubmitted for further consideration. These Ordinances and all conditions of approval are essential parts and a requirement occurring in ONE is as binding as though occurring in all. All questions regarding the true meaning of the conditions shall be referred to the Transportation

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10. GENERAL CONDITIONS

10.TRANS. 2 USE - STD INTRO 3 (ORD 460/461) (cont.) RECOMMND

Department.

10.TRANS. 3 USE - R-O-W EXCEEDS/VACATION RECOMMND

The existing right-of-way along the back alley exceeds that which is required for this project. The project proponent may submit a request for the vacation of said excess right-of-way. Said procedure shall be as approved by the Board of Supervisors. If said excess or superseded right-of-way is also County-owned land, it may be necessary to enter into an agreement with the County for its purchase or exchange.

10.TRANS. 4 USE - COUNTY WEB SITE RECOMMND

Additional information, standards, ordinances, policies, and design guidelines can be obtained from the Transportation Department Web site:
<http://rctlma.org/trans/>.

20. PRIOR TO A CERTAIN DATE

PLANNING DEPARTMENT

20.PLANNING. 1 USE - EXPIRATION DATE-PP RECOMMND

This approval shall be used within two (2) years of approval date; otherwise, it shall become null and void and of no effect whatsoever. By use is meant the beginning of substantial construction contemplated by this approval within a two (2) year period which is thereafter diligently pursued to completion or of the actual occupancy of existing buildings or land under the terms of the authorized use.

Prior to the expiration of the two year period, the permittee may request a one (1) year extension of time request in which to use this plot plan. A maximum of three one-year extension of time requests shall be permitted. Should the time period established by any of the extension of time requests lapse, or should all three one-year extensions be obtained and no substantial construction or use of this plot plan be initiated within five (5) years of the effective date of the issuance of this plot plan, this plot plan shall become null and void.

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60. PRIOR TO GRADING PRMT ISSUANCE

BS GRADE DEPARTMENT

60.BS GRADE. 1 USE-G2.1 GRADING BONDS RECOMMND

Grading in excess of 199 cubic yards will require performance security to be posted with the Building and Safety Department. Single Family Dwelling units graded one lot per permit and proposing to grade less than 5,000 cubic yards are exempt.

60.BS GRADE. 2 USE-G2.3SLOPE EROS CL PLAN RECOMMND

Erosion control - landscape plans, required for manufactured slopes greater than 3 feet in vertical height, are to be signed by a registered landscape architect and bonded per the requirements of Ordinance 457, see form 284-47.

60.BS GRADE. 3 USE-G2.4GEOTECH/SOILS RPTS RECOMMND

Geotechnical soils reports, required in order to obtain a grading permit, shall be submitted to the Building and Safety Department's Grading Division for review and approval prior to issuance of a grading permit.

All grading shall be in conformance with the recommendations of the geotechnical/soils reports as approved by Riverside County.*

*The geotechnical/soils, compaction and inspection reports will be reviewed in accordance with the RIVERSIDE COUNTY GEOTECHNICAL GUIDELINES FOR REVIEW OF GEOTECHNICAL AND GEOLOGIC REPORTS.

60.BS GRADE. 4 USE-G2.7DRNAGE DESIGN Q100 RECOMMND

All grading and drainage shall be designed in accordance with Riverside County Flood Control & Water Conservation District's conditions of approval regarding this application. If not specifically addressed in their conditions, drainage shall be designed to accommodate 100 year storm flows.

Additionally, the Building and Safety Department's conditional approval of this application includes an expectation that the conceptual grading plan reviewed and approved for it complies or can comply with any WQMP (water Quality Management Plan) required by Riverside County Flood

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60. PRIOR TO GRADING PRMT ISSUANCE

60.BS GRADE. 4 USE-G2.7DRNAGE DESIGN Q100 (cont.) RECOMMND
Control & Water Conservation District.

60.BS GRADE. 5 USE-G2.13FIRE D'S OK ON DR. RECOMMND

Driveways shall be designed in accordance with Riverside County Fire Department standards - or the governing Fire Department if not the County - and shall require their approval prior to issuance of the grading permit. Approval shall be in the form of a conditional approval letter addressed to the related case file or by written approval from the Fire Department.

60.BS GRADE. 6 USE-G2.14OFFSITE GDG ONUS RECOMMND
Prior to the issuance of a grading permit, it shall be the sole responsibility of the owner/applicant to obtain any and all proposed or required easements and/or permissions necessary to perform the grading herein proposed.

60.BS GRADE. 7 USE-G2.15NOTRD OFFSITE LTR RECOMMND
A notarized letter of permission, from the affected property owners or easement holders, is required for any proposed off site grading.

60.BS GRADE. 9 USE-G1.4 NPDES/SWPPP RECOMMND
Prior to issuance of any grading or construction permits - whichever comes first - the applicant shall provide the Building and Safety Department evidence of compliance with the following: "Effective March 10, 2003 owner operators of grading or construction projects are required to comply with the N.P.D.E.S. (National Pollutant Discharge Elimination System) requirement to obtain a construction permit from the State Water Resource Control Board (SWRCB). The permit requirement applies to grading and construction sites of "ONE" acre or larger. The owner operator can comply by submitting a "Notice of Intent" (NOI), develop and implement a STORM WATER POLLUTION PREVENTION PLAN (SWPPP) and a monitoring program and reporting plan for the construction site. For additional information and to obtain a copy of the NPDES State Construction Permit contact the SWRCB at (916) 657-1146.

Additionally, at the time the county adopts, as part of any ordinance, regulations specific to the N.P.D.E.S., this

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60. PRIOR TO GRADING PRMT ISSUANCE

60.BS GRADE. 9 USE-G1.4 NPDES/SWPPP (cont.) RECOMMND

project (or subdivision) shall comply with them.

60.BS GRADE. 10 USE IMPORT/EXPORT RECOMMND

In instances where a grading plan involves import or export, prior to obtaining a grading permit, the applicant shall have obtained approval for the import/export location from the Building and Safety department. If an Environmental Assessment, prior to issuing a grading permit, did not previously approve either location, a Grading Environmental Assessment shall be submitted to the Planning Director and the Environmental Programs Director for review and comment and to the Building and Safety Department Director for approval. Additionally, if the movement of import/export occurs using county roads, review and approval of the haul routes by the Transportation Department will be required.

FLOOD RI DEPARTMENT

60.FLOOD RI. 2 USE SUBMIT PLANS RECOMMND

A copy of the improvement plans, grading plans, BMP improvement plans and any other necessary documentation along with supporting hydrologic and hydraulic calculations shall be submitted to the District for review. The plans must receive District approval prior to the issuance of grading permits. All submittals shall be date stamped by the engineer and include a completed Flood Control Deposit Based Fee Worksheet and the appropriate plan check fee deposit.

60.FLOOD RI. 3 USE EROS CNTRL AFTER RGH GRAD RECOMMND

Temporary erosion control measures shall be implemented immediately following rough grading to prevent deposition of debris onto downstream properties or drainage facilities. Plans showing these measures shall be submitted to the District for review.

60.FLOOD RI. 9 USE SUBMIT FINAL WQMP RECOMMND

A copy of the project specific WQMP shall be submitted to the District for review and approval.

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60. PRIOR TO GRADING PRMT ISSUANCE

PLANNING DEPARTMENT

60.PLANNING. 1 USE - GRADING PLANS

RECOMMND

If grading is proposed, the project must comply with the following:

a. The developer shall submit one print of a comprehensive grading plan to the Department of Building and Safety which complies with the Uniform Building Code, Chapter 70, as amended by Ordinance No. 457 and as may be additionally provided for in these conditions.

b. A grading permit shall be obtained from the Department of Building and Safety prior to commencement of any grading outside of a County maintained road right-of-way.

c. Graded but undeveloped land shall be planted with interim landscaping or provided with other erosion control measures as approved by the Director of Building and Safety.

d. Graded areas shall be revegetated or landscaped with native species which are fire resistant, drought tolerant, low water using and erosion controlling.

60.PLANNING. 2 USE - NPDES COMPLIANCE (2)

RECOMMND

Since this project will disturb one (1) or more acres or is part of a larger project that will disturb five or more acres, it will require a National Pollutant Discharge Elimination System (NPDES) Construction General Permit from the State Water Resources Control Board. Clearance for grading shall not be given until either the district or the Department of Building and Safety has determined that the project has complied with the current County requirements regarding the NPDES Construction General Permit.

60.PLANNING. 11 USE - SKR FEE CONDITION

RECOMMND

Prior to the issuance of a grading permit, the applicant shall comply with the provisions of Riverside County Ordinance No. 663, which generally requires the payment of the appropriate fee set forth in that ordinance. The amount of the fee required to be paid may vary depending upon a variety of factors, including the type of

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60. PRIOR TO GRADING PRMT ISSUANCE

60.PLANNING. 11 USE - SKR FEE CONDITION (cont.)

RECOMMND

development application submitted and the applicability of any fee reduction or exemption provisions contained in Riverside County Ordinance No. 663. Said fee shall be calculated on the approved development project which is anticipated to be 0.90 acres (gross) in accordance with APPROVED EXHIBIT NO. A. If the development is subsequently revised, this acreage amount may be modified in order to reflect the revised development project acreage amount. In the event Riverside County Ordinance No. 663 is rescinded, this condition will no longer be applicable. However, should Riverside County Ordinance No. 663 be rescinded and superseded by a subsequent mitigation fee ordinance, payment of the appropriate fee set forth in that ordinance shall be required.

60.PLANNING. 22 USE - FEE STATUS

RECOMMND

Prior to the issuance of grading permits for Plot Plan No. 23535, the Planning Department shall determine the status of the deposit based fees. If the fees are in a negative status, the permit holder shall pay the outstanding balance.

60.PLANNING. 28 USE - PALEO GRADING REVIEW

RECOMMND

PDP01351, prepared by Brian F. Smith Associates March 12, 2009, determined the proposed project's potential to impact paleontological resources is LOW for the recommended minimal overexcavation depths, however, there is a potential for impact to paleontological resources if deeper excavations such as sewer line excavation are conducted.
HENCE,

PRIOR TO ISSUANCE OF ANY GRADING PERMIT, THE FOLLOWING SHALL BE SUBMITTED TO AND APPROVED BY THE COUNTY GEOLOGIST:

A Paleontological Resource Impact Mitigation Program (PRIMP) report that includes, at a minimum, the following:

- 1.Description of the proposed site and planned grading operations.
- 2.Description of the level of monitoring required for all earth-moving activities in the project area.
- 3.Identification and qualifications of the qualified

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60. PRIOR TO GRADING PRMT ISSUANCE

60. PLANNING. 28

USE - PALEO GRADING REVIEW (cont.)

RECOMMEND

paleontological monitor to be employed for grading operations monitoring.

4. Identification of personnel with authority and responsibility to temporarily halt or divert grading equipment to allow for recovery of large specimens.

5. Means and methods to be employed by the paleontological monitor to quickly salvage fossils as they are unearthed to avoid construction delays.

6. Sampling of sediments that are likely to contain the remains of small fossil invertebrates and vertebrates.

7. Procedures and protocol for collecting and processing of samples and specimens.

8. Fossil identification and curation procedures to be employed.

9. Identification of the permanent repository to receive any recovered fossil material. * The County of Riverside must be consulted on the repository/museum to receive the fossil material prior to being curated.

10. All pertinent exhibits, maps and references.

11. Procedures for reporting of findings.

12. Identification and acknowledgement of the developer for the content of the PRIMP as well as acceptance of financial responsibility for monitoring, reporting and curation fees.

All reports shall be signed by the qualified paleontologist and all other professionals responsible for the report's content (eg. Professional Geologist), as appropriate. Two wet-signed original copies of the report shall be submitted to the office of the County Geologist along with a copy of this condition and the grading plan for appropriate case processing and tracking. These documents should not be submitted to the project Planner, the Plan Check staff, the Land Use Counter or any other County office. In addition, the applicant shall submit proof of hiring (i.e. copy of executed contract, retainer agreement, etc.) a qualified paleontologist for the in-grading implementation of the PRIMP.

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60. PRIOR TO GRADING PRMT ISSUANCE

TRANS DEPARTMENT

60.TRANS. 1 USE - TRANSPORTATION CLEARANCE

RECOMMND

A clearance from the Transportation Department is required prior to the issuance of a grading permit.

80. PRIOR TO BLDG PRMT ISSUANCE

BS GRADE DEPARTMENT

80.BS GRADE. 1 USE* -G3.1NO B/PMT W/O G/PMT

RECOMMND

Prior to issuance of any building permit, the property owner shall obtain a grading permit and/or approval to construct from the Grading Division of the Building and Safety Department.

E HEALTH DEPARTMENT

80.E HEALTH. 2 USE - FOOD PLANS REQD

RECOMMND

A total of three complete set of plans for each food establishment are needed including a fixture schedule, a finish schedule, and a plumbing schedule in order to ensure compliance with the California Uniform Retail Food Facilities Law.

FIRE DEPARTMENT

80.FIRE. 1 USE-#17A-BLDG PLAN CHECK \$

RECOMMND

Building Plan check deposit base fee of \$1,056.00, shall be paid in a check or money order to the Riverside County Fire Department after plans have been approved by our office.

80.FIRE. 2 USE-#4-WATER PLANS

RECOMMND

The applicant or developer shall separately submit two copies of the water system plans to the Fire Department for review and approval. Calculated velocities shall not exceed 10 feet per second. Plans shall conform to the fire hydrant types, location and spacing, and the system shall meet the fire flow requirements.

Plans shall be signed and approved by a registered civil engineer and the local water company with the following certification: "I certify that the design of the water system is in accordance with the requirements prescribed by

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80. PRIOR TO BLDG PRMT ISSUANCE

80.FIRE. 2 USE-#4-WATER PLANS (cont.)

RECOMMND

the Riverside County Fire Department."

FLOOD RI DEPARTMENT

80.FLOOD RI. 2 USE SUBMIT PLANS

RECOMMND

A copy of the improvement plans, grading plans, BMP improvement plans and any other necessary documentation along with supporting hydrologic and hydraulic calculations shall be submitted to the District for review. The plans must receive District approval prior to the issuance of building permits. All submittals shall be date stamped by the engineer and include a completed Flood Control Deposit Based Fee Worksheet and the appropriate plan check fee deposit.

80.FLOOD RI. 5 USE SUBMIT FINAL WQMP

RECOMMND

A copy of the project specific WQMP shall be submitted to the District for review and approval.

PLANNING DEPARTMENT

80.PLANNING. 2 USE - UNDERGROUND UTILITIES

RECOMMND

All utilities, except electrical lines rated 33 kV or greater, shall be installed underground. If the permittee provides to the Department of Building and Safety and the Planning Department a definitive statement from the utility provider refusing to allow underground installation of the utilities they provide, this condition shall be null and void with respect to that utility.

80.PLANNING. 5 USE - LIGHTING PLANS

RECOMMND

All street lights and other outdoor lighting shall be shown on electrical plans submitted to the Department of Building and Safety for plan check approval and shall comply with the requirements of Riverside County Ordinance No. 655 and the Riverside County Comprehensive General Plan.

80.PLANNING. 6 USE - CONFORM TO ELEVATIONS

RECOMMND

Elevations of all buildings and structures submitted for building plan check approval shall be in substantial conformance with the elevations shown on APPROVED EXHIBIT

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80. PRIOR TO BLDG PRMT ISSUANCE

80.PLANNING. 6 USE - CONFORM TO ELEVATIONS (cont.) RECOMMND

B_.

80.PLANNING. 7 USE - CONFORM TO FLOOR PLANS RECOMMND

Floor plans shall be in substantial conformance with that shown on APPROVED EXHIBIT C.

80.PLANNING. 8 USE - ROOF EQUIPMENT SHIELDING RECOMMND

Roof mounted equipment shall be shielded from ground view. Screening material shall be subject to Planning Department approval.

80.PLANNING. 12 USE - RAIN SHUT-OFF IRRIGATION RECOMMND

The irrigation plan shall be in compliance with Section 18.12 of Ordinance No. 348, and include a rain shut-off device which is capable of shutting down the entire system. In addition, the plan will incorporate the use of in-line check valves, or sprinkler heads containing check valves to prohibit low head drainage.

80.PLANNING. 13 USE - LANDSCAPING SECURITIES RECOMMND

Performance securities, in amounts to be determined by the Director of Building and Safety to guarantee the installation of plantings, irrigation systems, walls and/or fences, in accordance with the approved plan, shall be filed with the Department of Building and Safety. The performance security shall be released one year after structural final and the inspection report provides the plantings have been adequately installed and maintained. A cash security shall be required when the estimated cost is \$2,500.00 or less.

80.PLANNING. 15 USE - FENCING PLAN REQUIRED RECOMMND

A fencing plan shall be submitted showing all wall and fence locations and typical views of all types of fences or walls proposed. This plan shall require anti-graffiti coatings on fences and walls, where applicable.

80.PLANNING. 19 USE - PLANS SHOWING BIKE RACKS RECOMMND

Bike rack spaces or bike lockers shall be shown on the project's parking and landscaping plan submitted to the

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80. PRIOR TO BLDG PRMT ISSUANCE

80.PLANNING. 19 USE - PLANS SHOWING BIKE RACKS (cont.) RECOMMND

Planning Department for approval.

80.PLANNING. 20 USE - HEIGHT LIMITATIONS RECOMMND

All buildings and structures within this permit shall not exceed 35 feet in overall height, except as provided by Section No. 18.20 of Ordinance No. 348. The permittee shall demonstrate to the satisfaction of the Planning Director and the Director of the Department of Building and Safety that construction plans comply with all height regulations; verification of compliance with the height regulations of this permit may include submission of a written certification by a state licensed professional that plans submitted to the Department of Building and Safety are in compliance and/or inspection of such plans by county staff.

80.PLANNING. 25 USE - AGENCY CLEARANCE RECOMMND

A clearance letter from Economic Development Agency shall be provided to the Riverside County Planning Department verifying compliance with the conditions contained in their letter dated August 12, 2008, summarized as follows:

A minor plot plan for outdoor/onsite signage shall be submitted to the Redevelopment Agency for review and comment.

80.PLANNING. 26 USE - PERMIT SIGNS SEPARATELY RECOMMND

Prior to the issuance of building permits, a signing plan in compliance with Section 19.4 of Ordinance No. 348 shall be submitted to and approved by the Planning Department pursuant to the requirements of Section 18.30 (Planning Department review only) of Ordinance No. 348.

80.PLANNING. 27 USE - WASTE MGMT. CLEARANCE RECOMMND

A clearance letter from Riverside County Waste Management District shall be provided to the Riverside County Planning Department verifying compliance with the conditions contained in their letter dated July 21, 2008, summarized as follows: The developer shall provide adequate areas for collecting and loading recyclable materials such as paper products, glass and green waste in commercial, industrial, public facilities and residential development projects.

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80. PRIOR TO BLDG PRMT ISSUANCE

80.PLANNING. 31 USE - SCHOOL MITIGATION

RECOMMND

Impacts to the Hemet Unified School District shall be mitigated in accordance with California State law.

80.PLANNING. 45 USE - LIGHTING PLANS

RECOMMND

All parking lot lights and other outdoor lighting shall be shown on electrical plans submitted to the Department of Building and Safety for plan check approval and shall comply with the requirements of Riverside County Ordinance No. 655 and the Riverside County Comprehensive General Plan.

80.PLANNING. 46 USE - FEE STATUS

RECOMMND

Prior to issuance of building permits for Plot Plan No. 23535, the Planning Department shall determine the status of the deposit based fees for project. If the case fees are in a negative state, the permit holder shall pay the outstanding balance.

80.PLANNING. 49 USE - LANDSCAPE PLOT PLAN

RECOMMND

The land divider/permit holder shall file six (6) sets of a Landscaping and Irrigation Plan to the County Planning Department for review and approval. Said plan shall be submitted to the Department in the form of a plot plan application pursuant to County Ordinance No. 348, Section 18.30.a.(1) (Plot Plans not subject to the California Environmental Quality Act and not subject to review by any governmental agency other than the Planning Department), along with the current fee. The plan shall be in compliance with Section 18.12, Sections 19.300 through 19.304., and the conditions of approval for the parent permit or plot plan. The plan shall show all common open space areas and label those open space areas regulated/or conserved by the prevailing MSHCP. The plan shall address all areas and conditions of the tract requiring landscaping and irrigation to be installed including, but not limited to: slope planting, common area and/or park landscaping, and individual front yard landscaping. Emphasis shall be placed on using plant species that are drought tolerant and low water using.

Landscaping and Irrigation Plot Plans shall be prepared consistent with Ordinance No. 859 (as adopted and any amendments thereto), the Riverside County Guide to California Landscaping, and Ordinance No. 348, Section

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80. PRIOR TO BLDG PRMT ISSUANCE

80.PLANNING. 49 USE - LANDSCAPE PLOT PLAN (cont.)

RECOMMND

18.12.

Landscaping plans for areas that are totally within the road right-of-way shall be submitted to the Transportation Department only. Slope Landscaping plans for slopes exceeding 3 feet in height shall be submitted to the Planning Department for review by the landscape division.

NOTES: The Landscape plot plan may include the requirements of any other minor plot plan required by the subdivision conditions of approval. However, minor plot plan conditions of approval shall be cleared individually.

The land divider/permit holder shall file seven (7) sets of

80.PLANNING. 50 USE - LANDSCAPE PLOT PLAN APPR

RECOMMND

When the Landscaping Plot Plan is located within the Valley-Wide Recreation and Park District, Jurupa Community Services District, a County Service Area (CSA) or other special maintenance district then, prior to landscape plan submittal to the Planning Department, the permit holder shall show evidence to the Planning Department that the subject District has approved said plans.

80.PLANNING. 51 USE - LNDSCP INSPECTION DEPOSI

RECOMMND

Prior to issuance of building permits, the permit holder shall open a Landscape DBF case and deposit the prevailing DBF amount to cover the Installation, Six Month and One Year Landscape Inspections. In the event that no Landscape DBF case type is available through the County, then the applicant shall open and deposit sufficient funds into an HR case type at the current prevailing, Board adopted, hourly rate. The amount of hours for the Six Month and One Year Landscape Inspections will be determined by the County Planning Department's Landscape personnel prior to approval of the requisite Minor Plot Plan for Planting and Irrigation.

80.PLANNING. 52 USE - PARKING/LNDSCPNG PLAN

RECOMMND

Prior to issuance of building permits, six (6) copies of a Shading, Parking, Landscaping, and Irrigation Plan shall be submitted to and approved by the Planning Department. The

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80.PLANNING. 52 USE - PARKING/LNDSCPNG PLAN (cont.) RECOMMND

location, number, genus, species, and container size of plants shall be shown. Plans shall meet all requirements of Ordinance No. 859 (as adopted and any amendments thereto), the Riverside County Guide to California Friendly Landscaping, and Ordinance No. 348, Sections 18.12, and 19.300 through 19.304 and as specified herein. The irrigation plan shall include a smart controller capable of adjusting watering schedule based on weather data. In addition, the plan will incorporate the use of in-line check valves, or sprinkler heads containing check valves to prohibit low head drainage.

80.PLANNING. 53 USE - SPECIMEN TREES REQUIRED RECOMMND

Landscaping plans shall incorporate the use of specimen (24" box or greater) canopy trees along streets and within the parking areas. All trees and shrubs shall be drawn to reflect the average specimen size at 15 years of age. All trees shall be double-staked and secured with non-wire ties.

TRANS DEPARTMENT

80.TRANS. 1 USE - TS/MODIFICATION RECOMMND

The project proponent shall be responsible for the design of traffic signals at the intersections of:

Fairview Avenue (NS) at:

SR-74 (EW) - signal modification to accommodate street widening along the project frontage on the north side of SR-74.

with no credit given for Traffic Signal Mitigation Fees

or as approved by the Transportation Department

Installation of the signals shall be per 90.TRANS.1.

80.TRANS. 2 USE - CALTRANS ENCRCHMNT PRMT RECOMMND

Prior to ssuance of a building permit or any use allowed by this permit, and prior to doing any work within the State highway right-of-way, clearance and/or an encroachment permit must be obtained by the applicant from the District 08 Office of the State Department of Transportation in San

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80. PRIOR TO BLDG PRMT ISSUANCE

80.TRANS. 2 USE - CALTRANS ENCRCHMNT PRMT (cont.) RECOMMND
Bernardino.

80.TRANS. 3 USE - R-O-W DEDICATION 1 RECOMMND

Sufficient public street right-of-way along Florida Avenue (SH-74) shall be conveyed for public use to provide for a 74' to 76 foot half-width right-of-way.

Sufficient public street right-of-way along Fairview Avenue shall be conveyed for public use to provide for a 50 foot half-width right-of-way.

Sufficient public street right-of-way along 4th Street shall be conveyed for public use to provide for a 37 foot half-width right-of-way.

80.TRANS. 4 USE - MAP CORNER CUT-BACK I RECOMMND

All corner cutbacks shall be applied per Standard 805, Ordinance 461, except for corners at Entry streets intersecting with General Plan roads, they shall be applied per Exhibit ' C ' of the Countywide Design Guidelines.

80.TRANS. 5 USE-ANNEX L&LMD/OTHER DIST RECOMMND

Prior to the issuance of a building permit, the project proponent shall comply with County requirements within public road rights-of-way, in accordance with Ordinance 461. Assurance of maintenance is required by filing an application for annexation to Landscaping and Lighting Maintenance District No. 89-1-Consolidated and/or any other maintenance district approved by the Transportation Department. Said annexation should include the following:

- (1) Landscaping.
- (2) Street lights.
- (3) Traffic signals located on Florida Avenue (SH-74) at intersection of Fairview Avenue.
- (4) Street sweeping.

For street lighting, the project proponent shall contact the Transportation Department L&LMD 89-1-C Administrator and submit the following:

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80. PRIOR TO BLDG PRMT ISSUANCE

80.TRANS. 5

USE-ANNEX L&LMD/OTHER DIST (cont.)

RECOMMND

- (1) Completed Transportation Department application.
- (2) Appropriate fees for annexation.
- (3) (2) sets of street lighting plans approved by Transportation Department.
- (4) "Streetlight Authorization" form from SCE, IID or other electric provider.

80.TRANS. 6

USE - LIGHTING PLAN

RECOMMND

A separate street light plan and/or a separate bridge light plan is required for this project. Street lighting shall be designed in accordance with County Ordinance 460 and Streetlight Specification Chart found in Specification Section 22 of Ordinance 461. For projects within SCE boundaries use County of Riverside Ordinance 461, Standard No. 1000 or No. 1001. For projects within Imperial Irrigation District (IID) use IID's pole standard.

80.TRANS. 7

USE-LANDSCAPING/TRAIL COM/IND

RECOMMND

Landscaping within public road right-of-way shall comply with Transportation Department standards, Ordinance 461, Comprehensive Landscaping Guidelines & Standards, and Ordinance 859 and shall require approval by the Transportation Department.

Landscaping plans shall be designed within Florida Avenue (SH-74), Fairview Avenue, and 4th Street and submitted to the Transportation Department. Landscaping plans shall be submitted on standard County plan sheet format (24" x 36"). Landscaping plans shall be submitted with the street improvement plans.

Assurance of continuous maintenance is required by processing and filing a 'Landscape Maintenance Agreement' through the Transportation Department Plan Check Division; or if desired the developer may file an application for annexation into Landscaping and Lighting Maintenance District No. 89-1-Consolidated by contacting Judy Watterlond, Transportation Department at (951) 955-6829.

NOTE: Any commercial project along a State highway must

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80. PRIOR TO BLDG PRMT ISSUANCE

80.TRANS. 7 USE-LANDSCAPING/TRAIL COM/IND (cont.) RECOMMND
annex into L&LMD 89-1-C in addition to executing a
Landscape Maintenance Agreement.

90. PRIOR TO BLDG FINAL INSPECTION

BS GRADE DEPARTMENT

90.BS GRADE. 1 USE*G4.3PAVING INSPECTIONS RECOMMND
The developer/applicant shall be responsible for obtaining
the paving inspections required by Ordinance 457.

E HEALTH DEPARTMENT

90.E HEALTH. 1 USE - HAZMAT BUS PLAN RECOMMND
The facility will require a business emergency plan for the
storage of hazardous materials greater than 55 gallons, 200
cubic feet or 500 pounds, or any acutely hazardous
materials or extremely hazardous substances.

90.E HEALTH. 2 USE - HAZMAT REVIEW RECOMMND
If further review of the site indicates additional
environmental health issues, the Hazardous Materials
Management Division reserves the right to regulate the
business in accordance with applicable County Ordinances.

90.E HEALTH. 3 USE - HAZMAT CONTACT RECOMMND
Contact the Hazardous Materials Management Division,
at (951) 358-5055 for any additional requirements.

FIRE DEPARTMENT

90.FIRE. 1 USE-#45-FIRE LANES RECOMMND
The applicant shall prepare and submit to the Fire
Department for approval, a site plan designating required
fire lanes with appropriate lane painting and/or signs.

90.FIRE. 2 USE-#12A-SPRINKLER SYSTEM RECOMMND
Install a complete fire sprinkler system per NFPA 13
2002 edition in all buildings requiring a fire flow of 1500

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90. PRIOR TO BLDG FINAL INSPECTION

90.FIRE. 2

USE-#12A-SPRINKLER SYSTEM (cont.)

RECOMMND

GPM or greater. Sprinkler system(s) with pipe sizes in excess of 4" in diameter will require the project structural engineer to certify (wet signature) the stability of the building system for seismic and gravity loads to support the sprinkler system. All fire sprinkler risers shall be protected from any physical damage. The post indicator valve and fire department connection shall be located to the front, within 50 feet of a hydrant, and a minimum of 25 feet from the building(s). A statement that the building(s) will be automatically fire sprinkled must be included on the title page of the building plans.

Applicant or developer shall be responsible to install a U.L. Central Station Monitored Fire Alarm System. Monitoring system shall monitor the fire sprinkler system(s) water flow, P.I.V.'s and all control valves. Plans must be submitted to the Fire Department for approval prior to installation. Contact fire department for guideline handout

90.FIRE. 3

USE-#27-EXTINGUISHERS

RECOMMND

Install portable fire extinguishers with a minimum rating of 2A-10BC and signage. Fire Extinguishers located in public areas shall be in recessed cabinets mounted 48" (inches) to center above floor level with maximum 4" projection from the wall. Contact Fire Department for proper placement of equipment prior to installation.

FLOOD RI DEPARTMENT

90.FLOOD RI. 2

USE BMP - EDUCATION

RECOMMND

The developer shall distribute environmental awareness education materials on general good housekeeping practices that contribute to protection of stormwater quality to all initial users. The developer may obtain NPDES Public Educational Program materials from the District's NPDES Section by either the District's website www.floodcontrol.co.riverside.ca.us; e-mail fcnpdes@co.riverside.ca.us, or the toll free number 1-800-506-2555. Please provide Project number, number of units and location of development. Note that there is a five-day minimum processing period requested for all

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90. PRIOR TO BLDG FINAL INSPECTION

90.FLOOD RI. 2 USE BMP - EDUCATION (cont.)

RECOMMND

orders.

The developer must provide to the District's PLAN CHECK Department a notarized affidavit stating that the distribution of educational materials to the tenants is assured prior to the issuance of occupancy permits.

90.FLOOD RI. 3 USE IMPLEMENT WQMP

RECOMMND

All structural BMPs described in the project-specific WQMP shall be constructed and installed in conformance with approved plans and specifications. It shall be demonstrated that the applicant is prepared to implement all non-structural BMPs described in the approved project specific WQMP and that copies of the approved project-specific WQMP are available for the future owners/occupants. The District will not release occupancy permits for any portion of the project exceeding 80% of the project area prior to the completion of these tasks.

90.FLOOD RI. 5 USE BMP MAINTENANCE & INSPECT

RECOMMND

The BMP maintenance plan shall contain provisions for all treatment controlled BMPs to be inspected, and if required, cleaned no later than October 15 each year. Required documentation shall identify the entity that will inspect and maintain all structural BMPs within the project boundaries. A copy of all necessary documentation shall be submitted to the District for review and approval prior to the issuance of occupancy permits.

PLANNING DEPARTMENT

90.PLANNING. 2 USE - HEIGHT LIMITATIONS

RECOMMND

All buildings and structures within this permit shall not exceed 35 feet in height, except as provided by Section No. 18.20 of Ordinance No. 348. All buildings and structures shall comply with approved construction plans that are designed in accordance with this condition. The permit holder may be required to submit to the Planning Department a written certification from a state licensed professional that all buildings and structures within this permit comply with the height regulations, indicated above. The Planning Department may require inspection by county staff to further verify compliance with this condition of approval.

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90. PRIOR TO BLDG FINAL INSPECTION

90.PLANNING. 6

USE - PARKING PAVING MATERIAL

RECOMMND

A minimum of 49 parking spaces shall be provided as shown on the APPROVED EXHIBIT A, unless otherwise approved by the Planning Department. The parking area shall be surfaced with asphaltic concrete or concrete to current standards as approved by the Department of Building and Safety.

90.PLANNING. 7

USE - ACCESSIBLE PARKING

RECOMMND

A minimum of two (2) accessible parking space[s] for persons with disabilities shall be provided as shown on APPROVED EXHIBIT A. Each parking space reserved for persons with disabilities shall be identified by a permanently affixed reflectorized sign constructed of porcelain on steel, beaded text or equal, displaying the International Symbol of Accessibility. The sign shall not be smaller than 70 square inches in area and shall be centered at the interior end of the parking space at a minimum height of 80 inches from the bottom of the sign to the parking space finished grade, or centered at a minimum height of 36 inches from the parking space finished grade, ground, or sidewalk. A sign shall also be posted in a conspicuous place, at each entrance to the off-street parking facility, not less than 17 inches by 22 inches, clearly and conspicuously stating the following:

"Unauthorized vehicles not displaying distinguishing placards or license plates issued for physically handicapped persons may be towed away at owner's expense. Towed vehicles may be reclaimed at ____ or by telephoning ____."

In addition to the above requirements, the surface of each parking space shall have a surface identification sign duplicating the symbol of accessibility in blue paint of at least 3 square feet in size.

90.PLANNING. 9

USE - LOADING SPACES

RECOMMND

A minimum of two (2) loading space[s] shall be provided in accordance with Section 18.12.a.(2)f(3).b. of Ordinance 348, and as shown on APPROVED EXHIBIT A. The loading spaces shall be surfaced with six (6) inches of concrete over a suitable base.

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90. PRIOR TO BLDG FINAL INSPECTION

90.PLANNING. 11 USE - LIGHTING PLAN COMPLY RECOMMND

All street lights and other outdoor lighting shall be shown on electrical plans submitted to the Department of Building and Safety for plan check approval and shall comply with the requirements of Riverside County Ordinance No. 655 and the Riverside County Comprehensive General Plan.

90.PLANNING. 12 USE - ROOF EQUIPMENT SHIELDING RECOMMND

Roof-mounted equipment shall be shielded from ground view. Screening material shall be subject to Planning Department approval.

90.PLANNING. 14 USE - INSTALL BIKE RACKS RECOMMND

A bicycle rack with a minimum of two (2) spaces shall be provided in convenient locations to facilitate bicycle access to the project area as shown on APPROVED EXHIBIT A. The bicycle racks shall be shown on project landscaping and improvement plans submitted for Planning Department approval, and shall be installed in accordance with those plans.

90.PLANNING. 15 USE - UTILITIES UNDERGROUND RECOMMND

All utilities, except electrical lines rated 33 kV or greater, shall be installed underground. If the permittee provides to the Department of Building and Safety and the Planning Department a definitive statement from the utility provider refusing to allow underground installation of the utilities they provide, this condition shall be null and void with respect to that utility.

90.PLANNING. 17 USE - CURBS ALONG PLANTERS RECOMMND

A six inch high curb with a twelve (12) inch wide walkway shall be constructed along planters on end stalls adjacent to automobile parking areas. Public parking areas shall be designed with permanent curb, bumper, or wheel stop or similar device so that a parked vehicle does not overhang required sidewalks, planters, or landscaped areas.

90.PLANNING. 20 USE - TRASH ENCLOSURES RECOMMND

One (1) trash enclosure] which is adequate to enclose a minimum of two (2) bins shall be located as shown on the APPROVED EXHIBIT A, and shall be constructed prior to the