

**SUBMITTAL TO THE BOARD OF SUPERVISORS
COUNTY OF RIVERSIDE, STATE OF CALIFORNIA**

304B



REVIEWED BY EXECUTIVE OFFICE
DATE 9/23/10 *only*
Tina Grande
Departmental Concurrence

FROM: TLMA - Planning Department

SUBMITTAL DATE:
September 16, 2010

SUBJECT: CONDITIONAL USE PERMIT NO. 3579 – Intent to adopt a Mitigated Negative Declaration – Applicant: Max Webb – Engineer/Representative: Rick Engineering – Third Supervisorial District – Homeland Zoning Area – Harvest Valley/Winchester Area Plan: Community Development: Commercial Retail (CD:CR) (0.20 to 0.35 floor area ratio) – Location: southerly of SH-74, westerly of SH-79/Winchester Road, and northerly of Old State Highway – 3.4 Gross Acres - Zoning: Scenic Highway Commercial (C-P-S) - **REQUEST:** The Conditional Use Permit proposes to construct a 3.4 gross acre commercial center consisting of four (4) buildings totaling 17,401 square feet of building area, 95 standard parking stalls, and 8 handicapped stalls. The proposal consists of a 8,764 square foot retail and specialty food building, a 2,872 square foot fast food restaurant with a drive-thru pad, a 2,734 square foot fast food restaurant with drive-thru pad, and a 3,031 square foot convenience store pad with a gas station fuel area.

RECOMMENDED MOTION:

RECEIVE AND FILE The Notice of Decision for the above referenced case acted on by the Planning Commission on June 2, 2010.

The Planning Department recommended Approval; and,
THE PLANNING COMMISSION:

ADOPTED a **MITIGATED NEGATIVE DECLARATION** for **ENVIRONMENTAL ASSESSMENT NO. 41692**, based on the findings incorporated in the initial study and the conclusion that the

Carolyn Syms Luna

Carolyn Syms Luna
Planning Director

Initials:
CSL:vc *p.m.*

(continued on attached page)

MINUTES OF THE BOARD OF SUPERVISORS

On motion of Supervisor Buster, seconded by Supervisor Benoit and duly carried by unanimous vote, IT WAS ORDERED that the above matter of approval is received and filed as recommended.

Ayes: Buster, Tavaglione, Stone, Benoit and Ashley
Nays: None
Absent: None
Date: October 5, 2010
xc: Planning, Applicant

Kecia Harper-Ihem
Clerk of the Board
By: *[Signature]*
Deputy

Dep't Recomm.: Consent Policy
Per Exec. Ofc.: Consent Policy

Prev. Agn. Ref.

District: Third

Agenda Number:

ATTACHMENTS FILED

1.2

project will not have a significant effect on the environment; and,

APPROVED CONDITIONAL USE PERMIT NO. 3579, subject to the attached conditions of approval, and based upon the findings and conclusions incorporated in the staff report.

BACKGROUND:

CONDITIONAL USE PERMIT NO. 3579 was approved by the Planning Commission on June 2, 2010 with the following modifications:

1. The parking space located most closely to the exit point of the drive-thru for proposed building C was removed to ensure safer automobile interaction at this location. The applicant has provided an amended Site Plan and Grading Plan to reflect this change.
2. The proposed on-site advertising, requiring approval through **VARIANCE NO. 1864**, was not supported by the Planning Commission. The applicant has provided new exhibits proposing on-site advertising that is in conformance with the standards of Section 19.4 of Ordinance No. 348 and has withdrawn the application for **VARIANCE NO. 1864**.

WITHIN 90 DAYS OF PROJECT APPROVAL, a Certificate of Parcel Merger shall be submitted for review and processing by the Planning Department. The Parcel Merger shall merge Assessor Parcel Nos. 458-103-008 through 458-103-014 (four (4) legal parcels). (COA 20.PLANNING.02)

COUNTY OF RIVERSIDE

TRANSPORTATION AND LAND MANAGEMENT AGENCY

Planning Department

Carolyn Syms Luna · Director

Original Negative Declaration/Notice of
Determination was routed to County
Clerks for posting on.

10/18/10
Date

CV
Initial

MITIGATED NEGATIVE DECLARATION

Project/Case Number: Environmental Assessment No. 41692 and Conditional Use Permit No. 3579

Based on the Initial Study, it has been determined that the proposed project, subject to the proposed mitigation measures, will not have a significant effect upon the environment.

PROJECT DESCRIPTION, LOCATION, AND MITIGATION MEASURES REQUIRED TO AVOID POTENTIALLY SIGNIFICANT EFFECTS. (see Environmental Assessment and Conditions of Approval)

COMPLETED/REVIEWED BY:

By: Jeff Horn Title: Project Planner Date: May 10, 2010

Applicant/Project Sponsor: Max Webb Date Submitted: December 20, 2001

ADOPTED BY: Planning Commission

Person Verifying Adoption: Jeff Horn Date: June 2, 2010

The Mitigated Negative Declaration may be examined, along with documents referenced in the initial study, if any, at:

Riverside County Planning Department, 4080 Lemon Street, 9th Floor, Riverside, CA 92501

For additional information, please contact Jeff Horn at (951) 955-4641.

Revised: 10/16/07

Y:\Planning Case Files-Riverside office\CUP03579\DH-PC-BOS Hearings\CUP03579 MND.doc

Please charge deposit fee case#: ZEA41692 ZCFG5040 .

FOR COUNTY CLERK'S USE ONLY

OCT 05 2010 1,2

COUNTY OF RIVERSIDE
TRANSPORTATION AND LAND MANAGEMENT AGENCY
Planning Department

Carolyn Syms Luna · Director

TO: Office of Planning and Research (OPR)
P.O. Box 3044
Sacramento, CA 95812-3044
 County of Riverside County Clerk

FROM: Riverside County Planning Department
 4080 Lemon Street, 9th Floor
P. O. Box 1409
Riverside, CA 92502-1409

38686 El Cerrito Road
Palm Desert, California 92211

SUBJECT: Filing of Notice of Determination in compliance with Section 21152 of the California Public Resources Code.

ENVIRONMENTAL ASSESSMENT NO. 41692 and CONDITIONAL USE PERMIT NO. 3579

Project Title/Case Numbers

Jeff Horn (951) 955-4641
County Contact Person Phone Number

N/A
State Clearinghouse Number (if submitted to the State Clearinghouse)

Max Webb 8383 Wilshire Blvd Suite 740, Beverly Hills CA 90211
Project Applicant Address

Southerly of State Highway 74, westerly of State Highway 79/Winchester Road and northerly of Old State Highway
Project Location

Conditional Use Permit No. 3579 proposes to construct a 3.4 gross acre commercial center consisting of four (4) buildings totaling 17,401 square feet of building area, 95 standard parking stalls, and 8 handicapped stalls. The proposal consists of a 8,764 square foot retail and specialty food building, a 2,872 square foot fast food restaurant with a drive-thru, a 2,734 square foot fast food restaurant with drive-thru, and a 3,031 square foot gas station and convenience store with concurrent sale of beer and wine for off-premises consumption (Type-20 ABC).

Project Description

This is to advise that the Riverside County Planning Commission, as the lead agency, has approved the above-referenced project on June 2, 2010, and has made the following determinations regarding that project:

1. The project WILL NOT have a significant effect on the environment.
2. A Mitigated Negative Declaration was prepared for the project pursuant to the provisions of the California Environmental Quality Act. (\$2,010.25 plus \$64.00)
3. Mitigation measures WERE made a condition of the approval of the project.
4. A Mitigation Monitoring and Reporting Plan/Program WAS adopted.
5. A statement of Overriding Considerations WAS NOT adopted for the project.

This is to certify that the Mitigated Negative Declaration, with comments, responses, and record of project approval is available to the general public at: Riverside County Planning Department, 4080 Lemon Street, 9th Floor, Riverside, CA 92501.

Daniel Mares for Jeff Horn
Signature

Urban Regional Planner
Title

June 29, 2010
Date

Date Received for Filing and Posting at OPR: _____

Y:\Planning Case Files-Riverside office\CUP03579\DH-PC-BOS Hearings\NOD Form CUP03579.doc Revised 01/15/08

Please charge deposit fee case#: ZEA41692 ZCFG05040

FOR COUNTY CLERK'S USE ONLY

OCT 05 2010 1.2

COUNTY OF RIVERSIDE
SPECIALIZED DEPARTMENT RECEIPT
Permit Assistance Center

A* REPRINTED * R0800079

4080 Lemon Street
Second Floor
Riverside, CA 92502
(951) 955-3200

39493 Los Alamos Road
Suite A
Murrieta, CA 92563
(951) 694-5242

38686 El Cerrito Rd
Indio, CA 92211
(760) 863-8271

Received from: WEBB SURVIVOR'S TRUST \$64.00
paid by: CK 3186
CA FISH AND GAME FOR EA41692
paid towards: CFG05040 CALIF FISH & GAME: DOC FEE
at parcel:
appl type: CFG3

By _____ Jan 03, 2008 15:44
MBRASWEL posting date Jan 03, 2008

Account Code	Description	Amount
658353120100208100	CF&G TRUST: RECORD FEES	\$64.00

Overpayments of less than \$5.00 will not be refunded!

OCT 05 2010 1.2

COUNTY OF RIVERSIDE
SPECIALIZED DEPARTMENT RECEIPT
Permit Assistance Center

A* REPRINTED * R1001513

4080 Lemon Street
Second Floor
Riverside, CA 92502
(951) 955-3200

39493 Los Alamos Road
Suite A
Murrieta, CA 92563
(951) 694-5242

38686 El Cerrito Rd
Indio, CA 92211
(760) 863-8271

Received from: WEBB SURVIVOR'S TRUST \$2,010.25
paid by: CK 231
CA FISH AND GAME FOR EA41692
paid towards: CFG05040 CALIF FISH & GAME: DOC FEE
at parcel:
appl type: CFG3

By SBROSTRO Feb 10, 2010 11:50
posting date Feb 10, 2010

Account Code	Description	Amount
658353120100208100	CF&G TRUST	\$2,010.25

Overpayments of less than \$5.00 will not be refunded!

OCT 05 2010 1.2

COUNTY OF RIVERSIDE
TRANSPORTATION AND LAND MANAGEMENT AGENCY
Planning Department
Carolyn Syms Luna · Director

304B

DATE: September 16, 2010

TO: Clerk of the Board of Supervisors

FROM: Planning Department - Riverside Office *p.m. [initials]*

SUBJECT: CONDITIONAL USE PERMIT NO. 3579 – Mitigated Negative Declaration
(Charge your time to these case numbers)

The attached item(s) require the following action(s) by the Board of Supervisors:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Place on Administrative Action (Receive & File; EOT) | <input type="checkbox"/> Set for Hearing (Legislative Action Required: CZ, GPA, SP, SPA) |
| <input type="checkbox"/> Labels provided If Set For Hearing | <input type="checkbox"/> Publish in Newspaper: |
| <input type="checkbox"/> 10 Day <input type="checkbox"/> 20 Day <input type="checkbox"/> 30 day | **SELECT Advertisement** |
| <input type="checkbox"/> Place on Consent Calendar | <input type="checkbox"/> **SELECT CEQA Determination** |
| <input type="checkbox"/> Place on Policy Calendar (Resolutions; Ordinances; PNC) | <input type="checkbox"/> 10 Day <input type="checkbox"/> 20 Day <input type="checkbox"/> 30 day |
| <input type="checkbox"/> Place on Section Initiation Proceeding (GPIP) | <input type="checkbox"/> Notify Property Owners (app/agencies/property owner labels provided) |
| | Controversial: <input type="checkbox"/> YES <input type="checkbox"/> NO |

Designate Newspaper used by Planning Department for Notice of Hearing:
(3rd Dist) Press Enterprise and The Californian

Need Director's signature by 9/15/10
Please schedule on the ~~September 28, 2010~~ BOS Agenda

Documents to be sent to County Clerk's Office for Posting within five days:

Notice of Determination and Mit Neg Dec Forms
Fish & Game Receipt (CFG5040)

**PLANNING COMMISSION
MINUTE ORDER JUNE 2, 2010
RIVERSIDE COUNTY ADMINISTRATIVE CENTER**

I. AGENDA ITEM 7.4: CONDITIONAL USE PERMIT NO. 3579 AND VARIANCE NO. 1864 - Intent to Adopt a Mitigated Negative Declaration - Applicant: Max Webb - Engineer/Representative: Rick Engineering - Third Supervisorial District - Homeland Zoning Area - Harvest Valley/Winchester Area Plan: Community Development: Commercial Retail (CD:CR) (0.20 to 0.35 floor area ratio) - Location: southerly of SH-74, westerly of SH-79/Winchester Road, and northerly of Old State Highway - 3.4 Gross Acres - Zoning: Scenic Highway Commercial (C-P-S) - **APNs:** 458-103-008, 458-103-009, 458-103-010, 458-103-011, 458-103-012, 458-103-013 and 458-103-014 - (Quasi-judicial)

II. PROJECT DESCRIPTION

The Conditional Use Permit proposes to construct a 3.4 gross acre commercial center consisting of four (4) buildings totaling 17,401 square feet of building area, 95 standard parking stalls, and 8 handicapped stalls. The proposal consists of a 8,764 square foot retail and specialty food building, a 2,872 square foot fast food restaurant with a drive-thru, a 2,734 square foot fast food restaurant with drive-thru, and a 3,031 square foot gas station and convenience store with concurrent sale of beer and wine for off-premises consumption (Type-20 ABC). The Variance proposes to increase the number of free-standing signs allowed per shopping center with frontage on two or more streets from a maximum of two (2) to four (4) free-standing signs, all of which to be located along Highway 74. The main pylon sign proposed will be 15' tall and 10' wide for a total surface area of 150 square foot. The three tenant monument signs proposed for the two fast food restaurants and gas station will be 6' high and 8' wide for a total of 48 square feet per sign. (Ordinance No. 348, Section 19.4.a.)

III. MEETING SUMMARY

The following staff presented the subject proposal:

Project Planner: Jeff Horn, (951) 955-4641 or E-mail jhorn@rctlma.org

The following spoke in favor of the subject proposal:

Larry Markham, Applicant's Representative, 41635 Enterprise Circle N., Suite B, Temecula, CA 92590-5614

There were no speakers in a neutral position or in opposition of the subject proposal.

IV. CONTROVERSIAL ISSUES

NONE

V. PLANNING COMMISSION ACTION

The Planning Commission, by a vote of 4-0 (Commissioner Zuppardo absent); recommended, with modifications, to the Board of Supervisors;

APPROVAL of **CONDITIONAL USE PERMIT NO. 3579**, subject to the attached conditions of approval and based upon the findings and conclusions incorporated in the staff report.

VI. CD

The entire discussion of this agenda item can be found on CD. For a copy of the CD, please contact Chantell Griffin, Planning Commission Secretary, at (951) 955-3251 or E-mail at cgriffin@rctlma.org.

Agenda Item No.:
Area Plan: Harvest Valley/Winchester
Zoning Area: Homeland
Supervisorial District: Third
Project Planner: Jeff Horn
Board of Supervisors:

Conditional Use Permit No. 3579
Environmental Assessment No. 41692
Applicant: Max Webb
Engineer/Representative: Rick Engineering

COUNTY OF RIVERSIDE PLANNING DEPARTMENT ADDENDUM STAFF REPORT

PROJECT DESCRIPTION AND LOCATION:

Conditional Use Permit No. 3579 proposes to construct a 3.4 gross acre commercial center consisting of four (4) buildings totaling 17,401 square feet of building area, 95 standard parking stalls, and 8 handicapped stalls. The proposal consists of a 8,764 square foot retail and specialty food building, a 2,872 square foot fast food restaurant with a drive-thru, a 2,734 square foot fast food restaurant with drive-thru, and a 3,031 square foot gas station and convenience store with concurrent sale of beer and wine for off-premises consumption (Type-20 ABC).

The project site is located southerly of State Highway 74, westerly of State Highway 79/Winchester Road and northerly of Old State Highway within the Green Acres community of the Harvest Valley/Winchester Area Plan.

BACKGROUND:

Conditional Use Permit No. 3579 was approved by the Planning Commission on June 2, 2010 with the following modifications:

1. The parking space located most closely to the exit point of the drive-thru for proposed building C was removed to ensure safer automobile interaction at this location. The applicant has provided an amended Site Plan and Grading Plan to reflect this change.
2. The proposed on-site advertising, requiring approval through **Variance No. 1864**, was not supported by the Planning Commission. The applicant has provided new exhibits proposing on-site advertising that is in conformance with the standards of Section 19.4 of Ordinance No. 348 and has withdrawn the application for **Variance No. 1864**.
3. WITHIN 90 DAYS OF PROJECT APPROVAL, a Certificate of Parcel Merger shall be submitted for review and processing by the Planning Department. The Parcel Merger shall merge Assessor Parcel Nos. 458-103-008 through 458-103-014 (four (4) legal parcels). (COA 20.PLANNING.02)

SUMMARY OF FINDINGS:

- | | |
|--|---|
| 1. Existing General Plan Land Use (Ex. #5): | Community Development: Commercial Retail (CD:CR)(0.20 to 0.35 floor area ratio) |
| 2. Surrounding General Plan Land Use (Ex. #5): | State Highway 74 to the north, Community Development: Commercial Retail (CD:CR) (0.20 to 0.35 floor area ratio) to the east and west, and Rural Community: Low Density Residential (RC: LDR) to the south |
| 3. Existing Zoning (Ex. #2): | Scenic Highway Commercial (C-P-S) |
| 4. Surrounding Zoning (Ex. #2): | State Highway 74 to the north, Scenic Highway |

- | | |
|-----------------------------------|---|
| 5. Existing Land Use (Ex. #1): | Commercial (C-P-S) to the east and west, and Rural Residential (R-R) to the south |
| 6. Surrounding Land Use (Ex. #1): | Vacant land |
| 7. Project Data: | State Highway 74 to the north, vacant land and scattered single family residences to the east, south and west |
| 8. Environmental Concerns: | Total Acreage: 3.4 Gross Acres
Total Building Area: 17,401 Sq. Ft |
| | See attached environmental assessment |

RECOMMENDATIONS:

ADOPTION of a **MITIGATED NEGATIVE DECLARATION** for **ENVIRONMENTAL ASSESSMENT NO. 41692**, based on the findings incorporated in the initial study and the conclusion that the project will not have a significant effect on the environment; and,

APPROVAL of **CONDITIONAL USE PERMIT NO. 3579**, subject to the attached conditions of approval, and based upon the findings and conclusions incorporated in the staff report.

CONCLUSIONS:

1. The proposed project is in conformance with the Community Development: Commercial Retail (CD:CR) (0.20 to 0.35 floor area ratio) Land Use Designation, and with all other elements of the Riverside County General Plan.
2. The proposed project is consistent with the Scenic Highway Commercial (C-P-S) zoning classification of Ordinance No. 348, and with all other applicable provisions of Ordinance No. 348.
3. The public's health, safety, and general welfare are protected through project design.
4. The proposed project is conditionally compatible with the present and future logical development of the area.
5. The proposed project will not have a significant effect on the environment.
6. The proposed project will not preclude reserve design for the Multi-Species Habitat Conservation Plan (MSHCP).

FINDINGS: The following findings are in addition to those incorporated in the summary of findings and in the attached environmental assessment, which is incorporated herein by reference.

1. The project site is designated Community Development: Commercial Retail (CD:CR) (0.20 to 0.35 floor area ratio) on the Harvest Valley/Winchester Area Plan.
2. The proposed use, a commercial center with convenience store and gas station, is a permitted use in the Community Development: Commercial Retail (CD:CR) (0.20 to 0.35 floor area ratio) designation.

3. The project site is surrounded by properties which are designated Community Development: Commercial Retail (CD:CR) (0.20 to 0.35 floor area ratio) to the east and west, and Rural Community: Low Density Residential (RC: LDR) to the south. State Highway 74 lies to the north of the project site.
4. The project is in conformance with the Green Acres Policy Area, which requires proposed projects to address transportation infrastructure capacity within the policy area. (HVWAP 4.1)
5. The project is in conformance with the Highway 79 Policy Area, which requires proposed projects to allow for lot sizes within the residential land use designation that accommodate limited animal keeping per the Riverside County Zoning Ordinance. (HVWAP 7.1 and 7.2)
6. The zoning for the subject site is Scenic Highway Commercial (C-P-S).
7. The proposed use, a commercial center with convenience store and gas station, is a permitted use, subject to approval of a conditional use permit, in the Scenic Highway Commercial (C-P-S).
8. The proposed use, a commercial center with convenience store and gas station, is consistent with the development standards set forth in the Scenic Highway Commercial (C-P-S) zone.
9. The project site is surrounded by properties which are zoned Scenic Highway Commercial (C-P-S) to the east and west, and Rural Residential (R-R) to the south. State Highway 74 lies to the north of the project site.
10. Scattered single family dwellings on large lots have been constructed in the project vicinity. State Highway 74 lies to the north of the project site. State Highway 79 lies to the east of the project site.
11. The year 2000 census population for census tract 433.04 was 3,886 persons according to the US Census Bureau (Census 2000 Summary File 3).
12. The population of Riverside County increased by 24% from the year 2000 to the year 2005 according to the US Census Bureau (American Community Survey 2005).
13. The maximum concentration level for General Liquor License (type 21) is combined with Beer and Wine (Type 20) and limited to one per 1,250 people by census tract (Alcoholic Beverage Control Act: California Business and Professions Code 23817.5)
14. One (1) combined (Type 20 and Type 21) license is currently issued in Census Tract 433.04. This is approximately 0.21 licenses per 1,250 persons. Census tract 433.04 is not currently over concentrated with Type 20 and Type 21 combined liquor licenses.
15. The project site is consistent with the objectives of Section 18.48 (Alcoholic Beverage Sales) of Ordinance No. 348.
16. No schools are located within 1,000 feet from the proposed project.
17. The project is located within 200 feet of existing and habited residences.

18. This project site is not located within a Cell Criteria Area of the Multi-Species Habitat Conservation Plan.
19. Environmental Assessment No. 41692 identified the following potentially significant impacts:
 - a. Hazards & Hazardous Materials
 - b. Hydrology/Water Quality
 - c. Population/Housing

These listed impacts will be fully mitigated by the measures indicated in the environmental assessment, conditions of approval, and attached letters. No other significant impacts were identified.

INFORMATIONAL ITEMS:

1. As of this writing, no letters, in support or opposition have been received.
2. The project site is not located within:
 - a. The March Joint Powers Authority Jurisdiction.
 - b. A city sphere of influence
 - c. A General Plan Policy Overlay Area.
 - d. A Zoning Overlay Area.
 - e. A Specific Plan.
 - f. An Agricultural Preserve.
 - g. An Airport Influence Area or Airport Compatibility Zone.
 - h. A WRCMSHCP Cell Criteria Area.
 - i. A High Fire Area.
 - j. A Fault Zone.
3. The project site is located within:
 - a. Green Acres General Plan Policy Area.
 - b. Homeland/Green Acres Redevelopment Area.
 - c. The Stephens Kangaroo Rat Fee Area.
 - d. Partially within a mapped flood plain.
 - e. An area of Low Liquefaction Potential.
 - f. An area Susceptible to Subsidence.
 - g. An area of Low Paleontological Sensitivity.
 - h. CSA 80 – Homeland Street Lighting.
 - i. The boundaries of the Hemet Unified School District.
 - j. Zone B of Lighting Ordinance No. 655.
4. The subject site is currently designated as Assessor's Parcel Numbers 458-103 008, 009, 010, 011, 012, 013 and 014.
5. This project was filed with the Planning Department on January 3, 2008.
6. This project was reviewed by the Land Development Committee three times on the following dates March 6, 2008, May 7, 2009, and December 10, 2009.

7. Deposit Based Fees charged for this project, as of the time of staff report preparation, total \$35,206.54.

JH:jh

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Agenda Item No.: 7.4
Area Plan: Harvest Valley/Winchester
Zoning Area: Homeland
Supervisory District: Third
Project Planner: Jeff Horn
Planning Commission: June 2, 2010

Conditional Use Permit No. 3579
Variance No. 1864
Environmental Assessment No. 41692
Applicant: Max Webb
Engineer/Representative: Rick Engineering

COUNTY OF RIVERSIDE PLANNING DEPARTMENT STAFF REPORT

PROJECT DESCRIPTION AND LOCATION:

Conditional Use Permit No. 3579 proposes to construct a 3.4 gross acre commercial center consisting of four (4) buildings totaling 17,401 square feet of building area, 95 standard parking stalls, and 8 accessible stalls. The proposal consists of a 8,764 square foot retail and specialty food building, a 2,872 square foot fast food restaurant with a drive-thru, a 2,734 square foot fast food restaurant with drive-thru, and a 3,031 square foot gas station and convenience store with concurrent sale of beer and wine for off-premises consumption (Type-20 ABC).

Variance No. 1864 proposes to increase the number of free-standing signs allowed per shopping center with frontage on two or more streets from a maximum of two (2) to four (4) free-standing signs, all of which to be located along Highway 74. The main pylon sign proposed will be 15' tall and 10' wide for a total surface area of 150 square feet. The three tenant monument signs proposed for the two fast food restaurants and gas station will be 6' high and 8' wide for a total of 48 square feet per sign. (Ordinance No. 348, Section 19.4.a.)

The project site is located southerly of State Highway 74, westerly of State Highway 79/Winchester Road and northerly of Old State Highway within the Green Acres community of the Harvest Valley/Winchester Area Plan.

BACKGROUND:

The project site has previously received land use approval for a commercial center consisting of a gas station/carwash/convenience store, with beer/wine sales for off-site consumption, two fast food restaurants, and a retail specialty store. Conditional Use Permit No. 3294 and Change of Zone No. 6470 were approved by the Planning Commission on November 22, 2000 and by the Board of Supervisors on February 27, 2001. However, CUP03294 became null and void on February 27, 2005 due to untimely extension filing (COA 20.PLANNING.04 of CUP03294).

FURTHER PLANNING CONSIDERATION:

The applicant has submitted a letter to the Planning Director requesting an exception to the parking requirements of Ordinance No. 348, Section 18.12 "Off Street Vehicle Parking." Total parking required for the project site is 109, based on proposed uses requiring a minimum of 111 provided spaces and a 2% reduction in parking allowed due to a bus stop being created within the proposal. The project currently proposes a total of 103 parking spaces (95 standard space and eight (8) accessible spaces).

ISSUES OF POTENTIAL CONCERN:

Several meetings have occurred between the Planning Department and the project's applicant throughout the development review process, the Planning Department has conveyed to the applicant concerns with the intensity of building usage within the project site. The Planning Department

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recommends that one (1) building be removed to allow for a more orderly development of the site. The project's applicant has stated that any decrease to the amount of buildings onsite would render the project economical unviable.

As a result of the project's intensity, staff remains concerned with circulation and site design within the project site, a major concern being automobile interaction at the drive-thru exit at building C. The exit point and adjacent parking is highly susceptible to collisions when a vehicle is exiting the drive-thru and another is backing out of or entering a stall.

Even though Staff has a concern about the number of buildings on site, Staff does support the applicants request for reduced parking. Due to the transitory nature of the proposed uses onsite, standard parking requirements are excessive.

SUMMARY OF FINDINGS:

- | | |
|--|---|
| 1. Existing General Plan Land Use (Ex. #5): | Community Development: Commercial Retail (CD:CR)(0.20 to 0.35 floor area ratio) |
| 2. Surrounding General Plan Land Use (Ex. #5): | State Highway 74 to the north, Community Development: Commercial Retail (CD:CR) (0.20 to 0.35 floor area ratio) to the east and west, and Rural Community: Low Density Residential (RC: LDR) to the south |
| 3. Existing Zoning (Ex. #2): | Scenic Highway Commercial (C-P-S) |
| 4. Surrounding Zoning (Ex. #2): | State Highway 74 to the north, Scenic Highway Commercial (C-P-S) to the east and west, and Rural Residential (R-R) to the south |
| 5. Existing Land Use (Ex. #1): | Vacant land |
| 6. Surrounding Land Use (Ex. #1): | State Highway 74 to the north, vacant land and scattered single family residences to the east, south and west |
| 7. Project Data: | Total Acreage: 3.4 Gross Acres
Total Building Area: 17,401 Sq. Ft |
| 8. Environmental Concerns: | See attached environmental assessment |

RECOMMENDATIONS:

CONTINUE WITH DISCUSSION TO JULY 14, 2010

CONCLUSIONS:

1. The proposed project is in conformance with the Community Development: Commercial Retail (CD:CR) (0.20 to 0.35 floor area ratio) Land Use Designation, and with all other elements of the Riverside County General Plan.
2. The proposed project is consistent with the Scenic Highway Commercial (C-P-S) zoning classification of Ordinance No. 348, and with all other applicable provisions of Ordinance No. 348.

3. The public's health, safety, and general welfare are protected through project design.
4. The proposed project is conditionally compatible with the present and future logical development of the area.
5. The proposed project will not have a significant effect on the environment.
6. The proposed project will not preclude reserve design for the Multi-Species Habitat Conservation Plan (MSHCP).

FINDINGS: The following findings are in addition to those incorporated in the summary of findings and in the attached environmental assessment, which is incorporated herein by reference.

1. The project site is designated Community Development:Commercial Retail (CD:CR) (0.20 to 0.35 floor area ratio) on the Harvest Valley/Winchester Area Plan.
2. The proposed use, a commercial center with convenience store and gas station, is a permitted use in the Community Development: Commercial Retail (CD:CR) (0.20 to 0.35 floor area ratio) designation.
3. The project site is surrounded by properties which are designated Community Development: Commercial Retail (CD:CR) (0.20 to 0.35 floor area ratio) to the east and west, and Rural Community: Low Density Residential (RC: LDR) to the south. State Highway 74 lies to the north of the project site.
4. The project is in conformance with the Green Acres Policy Area, which requires proposed projects to address transportation infrastructure capacity within the policy area. (HWWAP 4.1)
5. The project is in conformance with the Highway 79 Policy Area, which requires proposed projects to allow for lot sizes within the residential land use designation that accommodate limited animal keeping per the Riverside County Zoning Ordinance. (HWWAP 7.1 and 7.2)
6. The zoning for the subject site is Scenic Highway Commercial (C-P-S).
7. The proposed use, a commercial center with convenience store and gas station, is a permitted use, subject to approval of a conditional use permit, in the Scenic Highway Commercial (C-P-S).
8. The proposed use, a commercial center with convenience store and gas station, is consistent with the development standards set forth in the Scenic Highway Commercial (C-P-S) zone.
9. The project site is surrounded by properties which are zoned Scenic Highway Commercial (C-P-S) to the east and west, and Rural Residential (R-R) to the south. State Highway 74 lies to the north of the project site.
10. Scattered single family dwellings on large lots have been constructed in the project vicinity. State Highway 74 lies to the north of the project site. State Highway 79 lies to the east of the project site.
11. The year 2000 census population for census tract 427.23 was 4,327 persons according to the US

Census Bureau (Census 2000 Summary File 3).

12. The maximum concentration level for General Liquor License (type 21) is combined with Beer and Wine (Type 20) and limited to one (1) per 1,250 people by census tract (Alcoholic Beverage Control Act: California Business and Professions Code 23817.5)
14. Three (3) combined (Type 20 and Type 21) license are allowed in Census Tract 427.23 by the Department of Alcoholic Beverage Control (ABC). One (1) combined (Type 20 and Type 21) currently exists within Census Tract 427.23. The addition of one (1) additional Type 20 license would not cause an overconcentration within Census Tract 427.23.
15. The project site is consistent with the objectives of Section 18.48 (Alcoholic Beverage Sales) of Ordinance No. 348.
16. No schools are located within 1,000 feet from the proposed project.
17. The project is located within 200 feet of existing and habited residences.
18. This project site is not located within a Cell Criteria Area of the Multi-Species Habitat Conservation Plan.
19. Environmental Assessment No. 41692 identified the following potentially significant impacts:
 - a. Hazards & Hazardous Materials
 - b. Hydrology/Water Quality
 - c. Population/Housing

These listed impacts will be fully mitigated by the measures indicated in the environmental assessment, conditions of approval, and attached letters. No other significant impacts were identified.

INFORMATIONAL ITEMS:

1. As of this writing, no letters, in support or opposition have been received.
2. The project site is not located within:
 - a. The March Joint Powers Authority Jurisdiction.
 - b. A city sphere of influence
 - c. A Zoning Overlay Area.
 - d. A Specific Plan.
 - e. An Agricultural Preserve.
 - f. An Airport Influence Area or Airport Compatibility Zone.
 - g. A WRCMSHCP Cell Criteria Area.
 - h. A High Fire Area.
 - i. A Fault Zone.
3. The project site is located within:
 - a. The Green Acres General Plan Policy Area.
 - b. The Highway 79 Policy Overlay Area.
 - c. A Scenic Highway Corridor.

- d. Homeland/Green Acres Redevelopment Area.
 - e. The Stephens Kangaroo Rat Fee Area.
 - f. Partially within a mapped flood plain.
 - g. An area of Low Liquefaction Potential.
 - h. An area Susceptible to Subsidence.
 - i. An area of Low Paleontological Sensitivity.
 - j. CSA 80 – Homeland Street Lighting.
 - k. The boundaries of the Hemet Unified School District.
 - l. Zone B of Lighting Ordinance No. 655.
4. The subject site is currently designated as Assessor's Parcel Numbers 458-103 008, 009, 010, 011, 012, 013 and 014.
 5. This project was filed with the Planning Department on January 3, 2008.
 6. This project was reviewed by the Land Development Committee three times on the following dates March 6, 2008, May 7, 2009, and December 10, 2009.
 7. Deposit Based Fees charged for this project, as of the time of staff report preparation, total \$37,206.54.

JH:jh

Y:\Planning Case Files-Riverside office\CUP03579\PC\CUP03579.Staff Report.doc

RIVERSIDE COUNTY PLANNING DEPARTMENT

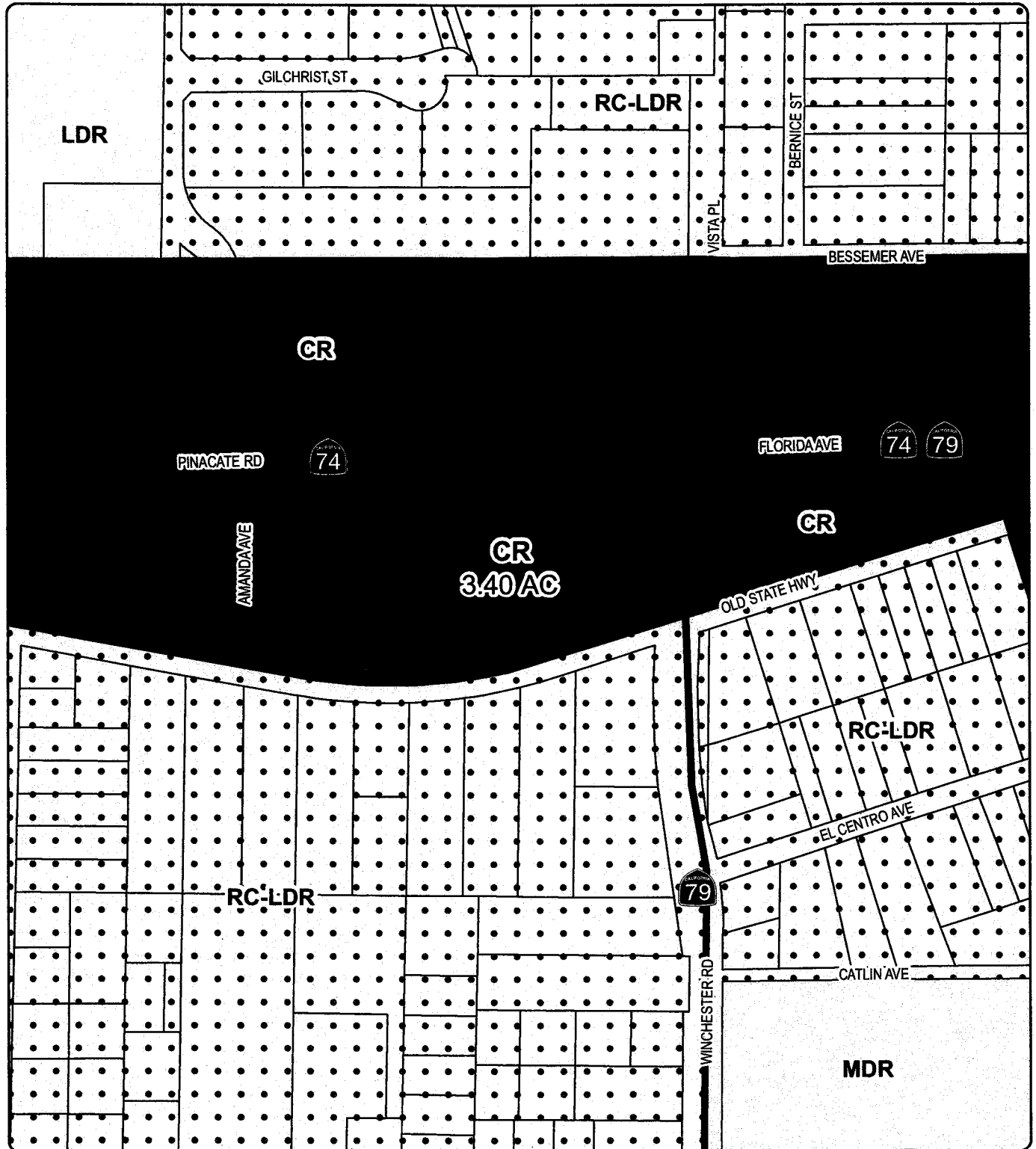
CUP03579

Date Drawn: 2/25/2010

Supervisor Stone
District: 3

EXISTING GENERAL PLAN

Exhibit 5



Zoning Area: Homeland
Township/Range: T5SR2W
Section: 15

Assessors Bk. Pg. 458-10
Thomas Bros. Pg. 839 G2
Edition 2009



DISCLAIMER: On October 7, 2003, the County of Riverside adopted a new General Plan providing new land use designations for unincorporated Riverside County parcels. The new General Plan may contain different types of land use than is provided for under existing zoning. For further information, please contact the Riverside County Planning Department offices in Riverside at (951) 955-3200 (Western County), or in Indio at (760) 863-8277 (Eastern County) or website at <http://www.tlma.co.riverside.ca.us/index.html>

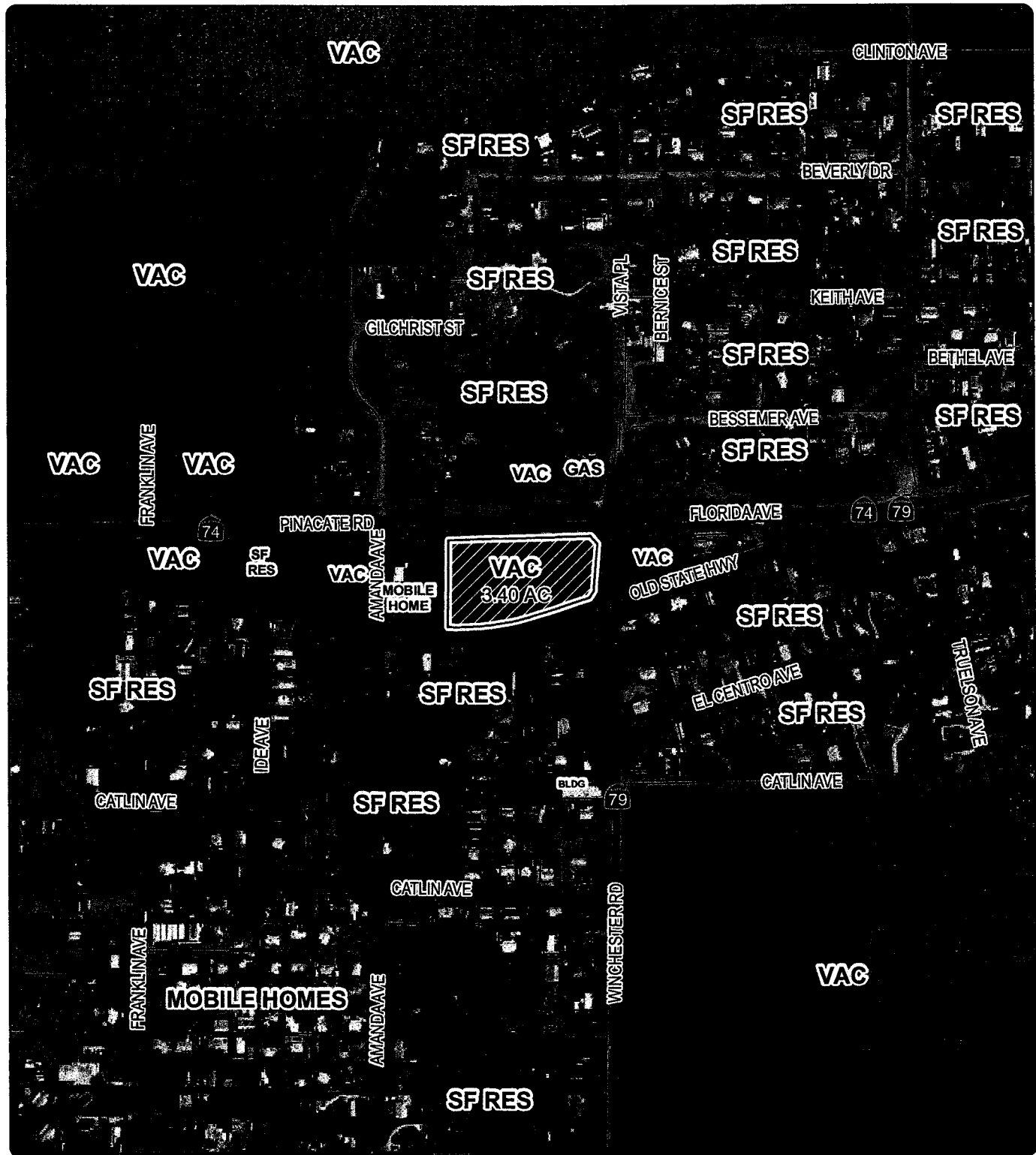
RIVERSIDE COUNTY PLANNING DEPARTMENT

CUP03579

LAND USE

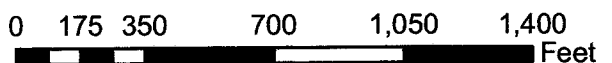
Supervisor Stone
District 3

Date Drawn: 2/25/2010
Exhibit 1



Zoning Area: Homeland
Township/Range: T5SR2W
Section: 15

Assessors Bk. Pg. 458-10
Thomas Bros. Pg. 839 G2
Edition 2009

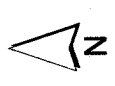


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**RIVERSIDE COUNTY PLANNING DEPARTMENT
CUP03579
VICINITY/POLICY AREAS**

Supervisor Stone
District 3

Date Drawn: 2/25/2010
Vicinity Map



Assessors Bk. Pg. 458-10
Thomas Bros. Pg. 839 G2
Edition 2009



Zoning Area: Homeland
Township/Range: T5SR2W
Section: 15

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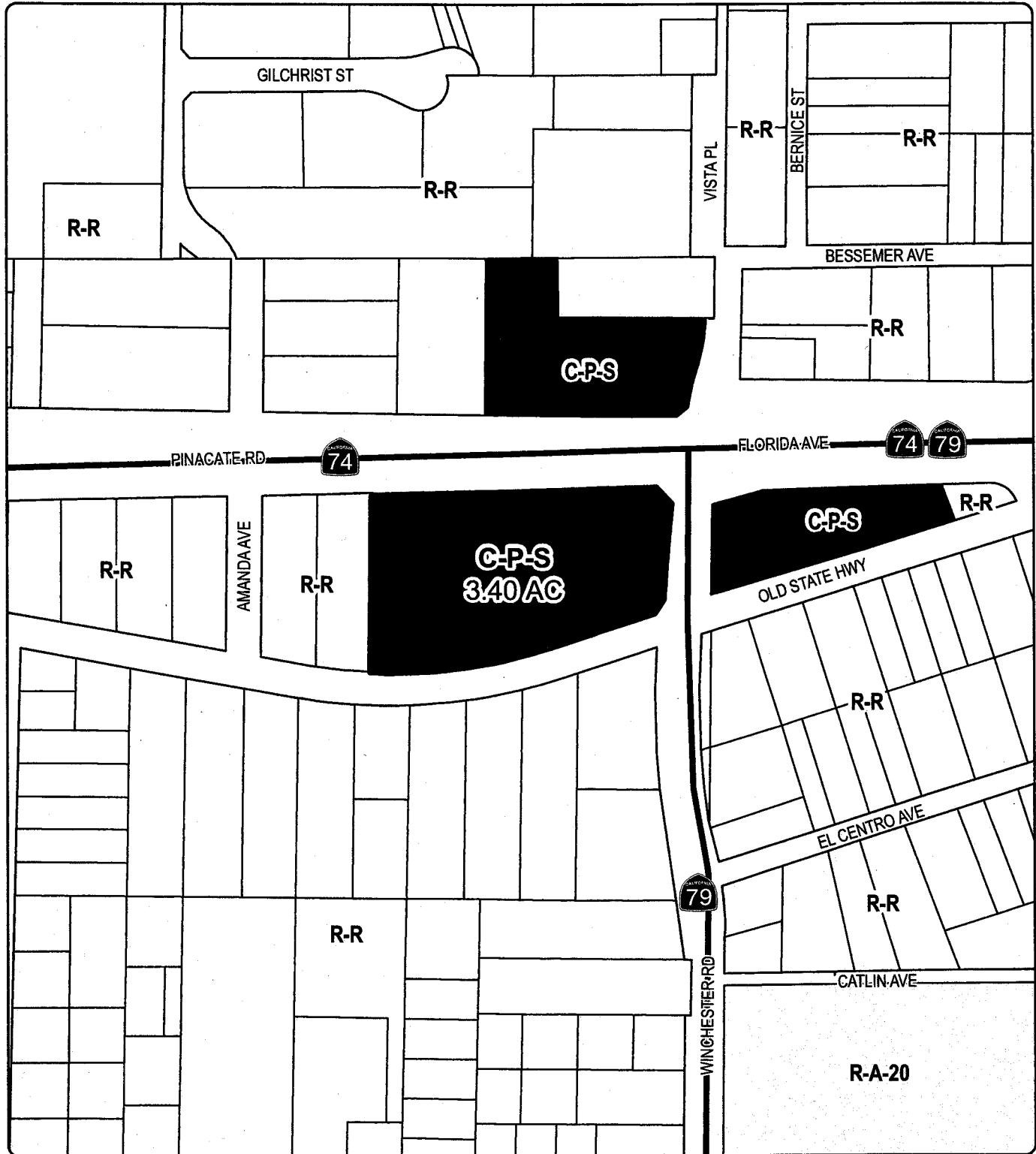
RIVERSIDE COUNTY PLANNING DEPARTMENT

CUP03579

EXISTING ZONING

Supervisor Stone
District 3

Date Drawn: 2/25/2010
Exhibit 2



Zoning Area: Homeland
Township/Range: T5SR2W
Section: 15

Assessors Bk. Pg. 458-10
Thomas Bros. Pg. 839 G2
Edition 2009



DISCLAIMER: On October 7, 2003, the County of Riverside adopted a new General Plan providing new land use designations for unincorporated Riverside County parcels. The new General Plan may contain different types of land use than is provided for under existing zoning. For further information, please contact the Riverside County Planning Department offices in Riverside at (951) 955-3200 (Western County), or in Indio at (760) 863-8277 (Eastern County) or website at <http://www.tlma.co.riverside.ca.us/index.html>



May 4, 2010

Mr. Jeff Horn
County of Riverside Planning Department
4080 Lemon Street, 9th Floor
Riverside, Ca 92502

**RE: CUP 03579 (HEMET CENTER) PARKING VARIANCE
RICK ENGINEERING COMPANY JN 15582**

Mr. Horn,

The 3.4-acre Hemet Center commercial site project is requesting a variance from County Ordinance 348, Section 18.2 that sets the requirements for off street parking for private development. Per this ordinance, the total parking requirement for this project is 109 spaces, which includes a 2% reduction for including a bus turnout on State Highway 79. The project currently proposes 103 parking spaces on the plot plan.


During the design of the project site, we were required to increase the right-of-way dedication along all 3 roads surrounding the project; Highway 79 from 67' to 92' half width right-of-way dedication, Highway 74 from 50' to 59' half width right-of-way, and Old Stat Hwy 79 from 30' to 37' half width right-of-way dedication. This caused a significant impact to the project site's design and layout creating a reduction in available parking stalls.

Additionally, the southwest corner of the project lies within a FEMA floodplain, limiting the usable area for the building structures. A proposed parking lot to be used for employee and overflow parking was proposed in this area that included 18 additional parking stalls, thus exceeding the required parking requirement. However, upon planning department review, the removal of this parking lot was requested due to the significant grade difference found between this parking lot and the commercial site that is created due to the existing terrain, thus isolating the parking from the commercial development.

Due to these circumstances, we are requesting a variance from county Ordinance 348, section 18.2, for a reduction in required parking stalls.

If you have any questions regarding the variance request, or require additional information, please give me a call at 951-782-0707 at your convenience.

Sincerely,
RICK ENGINEERING COMPANY



Richard O'Neill
Principal Project Engineer

FA15582\Correspondence\20100604 Parking Variance Request.doc

1223 University Avenue, Suite 240 • Riverside, California 92507-3418 • (951) 782-0707 • FAX: (951) 782-0723 • rickengineering.com

RIVERSIDE SAN DIEGO ORANGE SACRAMENTO SAN LUIS OBISPO PHOENIX TUCSON



**California Department of Alcoholic Beverage
Control
For the County of RIVERSIDE - (Off-Sale Licenses)
and Census Tract = 0427.23**

Report as of 5/3/2010

License Number	Status	License Type	Orig. Iss. Date	Expir Date	Primary Owner and Premises Addr.	Business Name	Mailing Address	Geo Code
1) 407589	ACT	20	2/9/2004	1/31/2011	HARI HARBANS SINGH 28340 HWY 79 WINCHESTER, CA 92596 Census Tract: 0427.23	WINCHESTER RANCH MARKET	32674 SPUN COTTON DR WINCHESTER, CA 92596-8669	3300

--- End of Report ---

For a definition of codes, view our [glossary](#).

HEMET CENTER

CONDITIONAL
 PERMIT
 SUBMITTAL

33420 Highway 74
 S/W Corner
 Highway 74 &
 Highway 79
 Hemet, California

Developed By:
 Hemet Ventures LLC

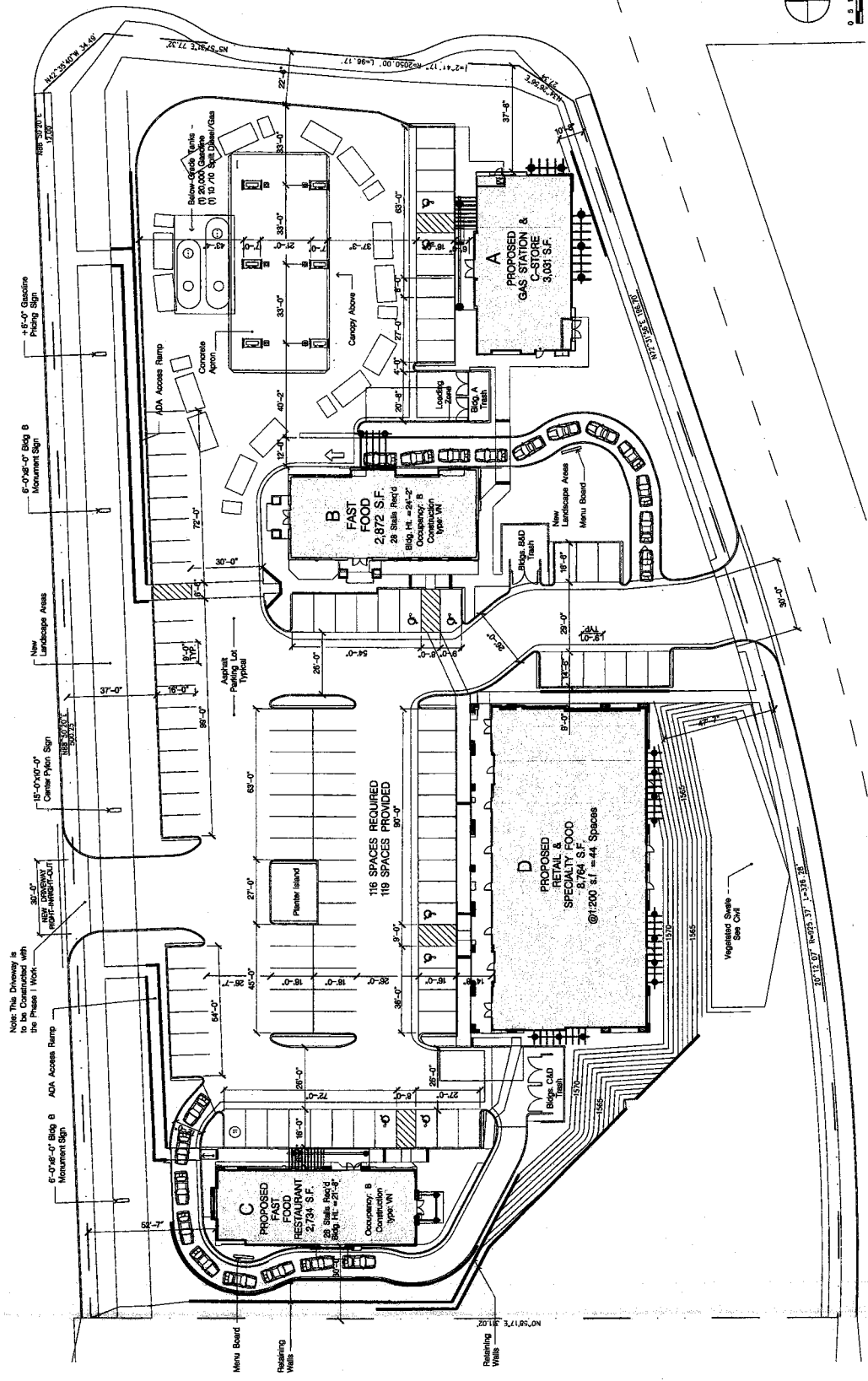
PROJECT NO. 182381
 LAST ISSUE DATE: 07-20-09

REVISIONS:
 C.I.P. COSTS SUBMITTAL 14 07-20-09

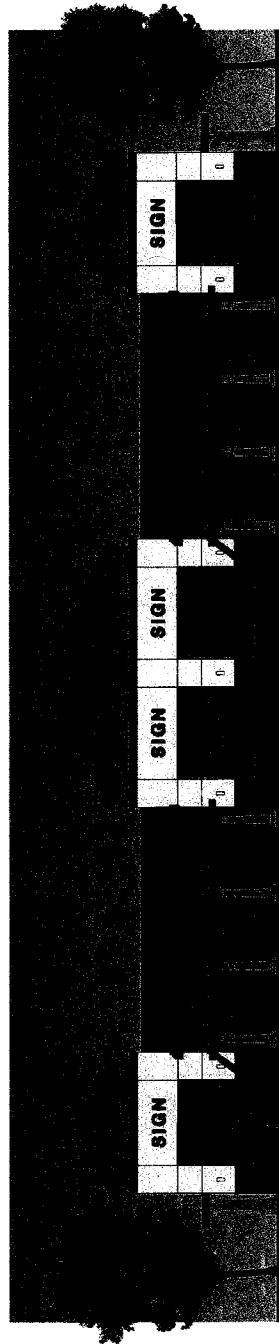
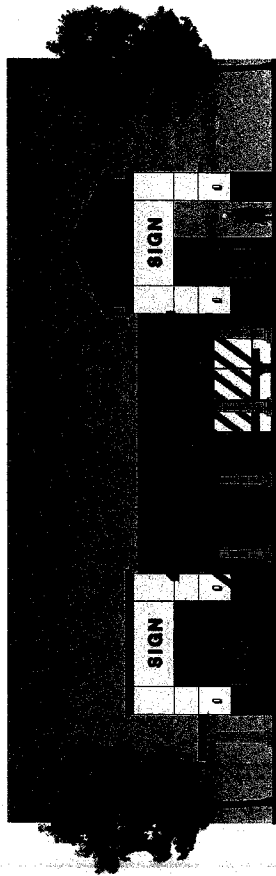
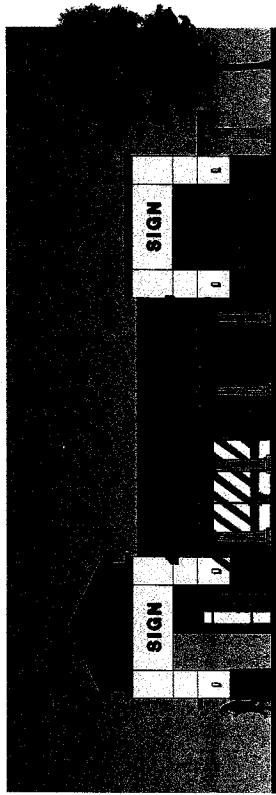
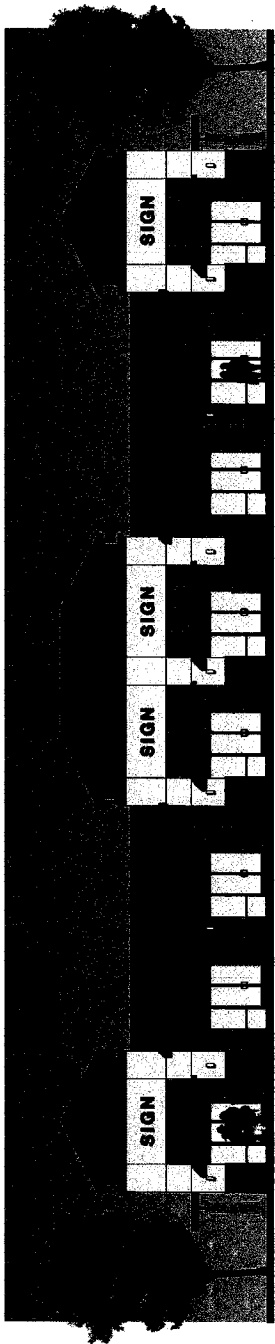
SHEET
 A-1

STATE HIGHWAY 74

STATE HIGHWAY 79



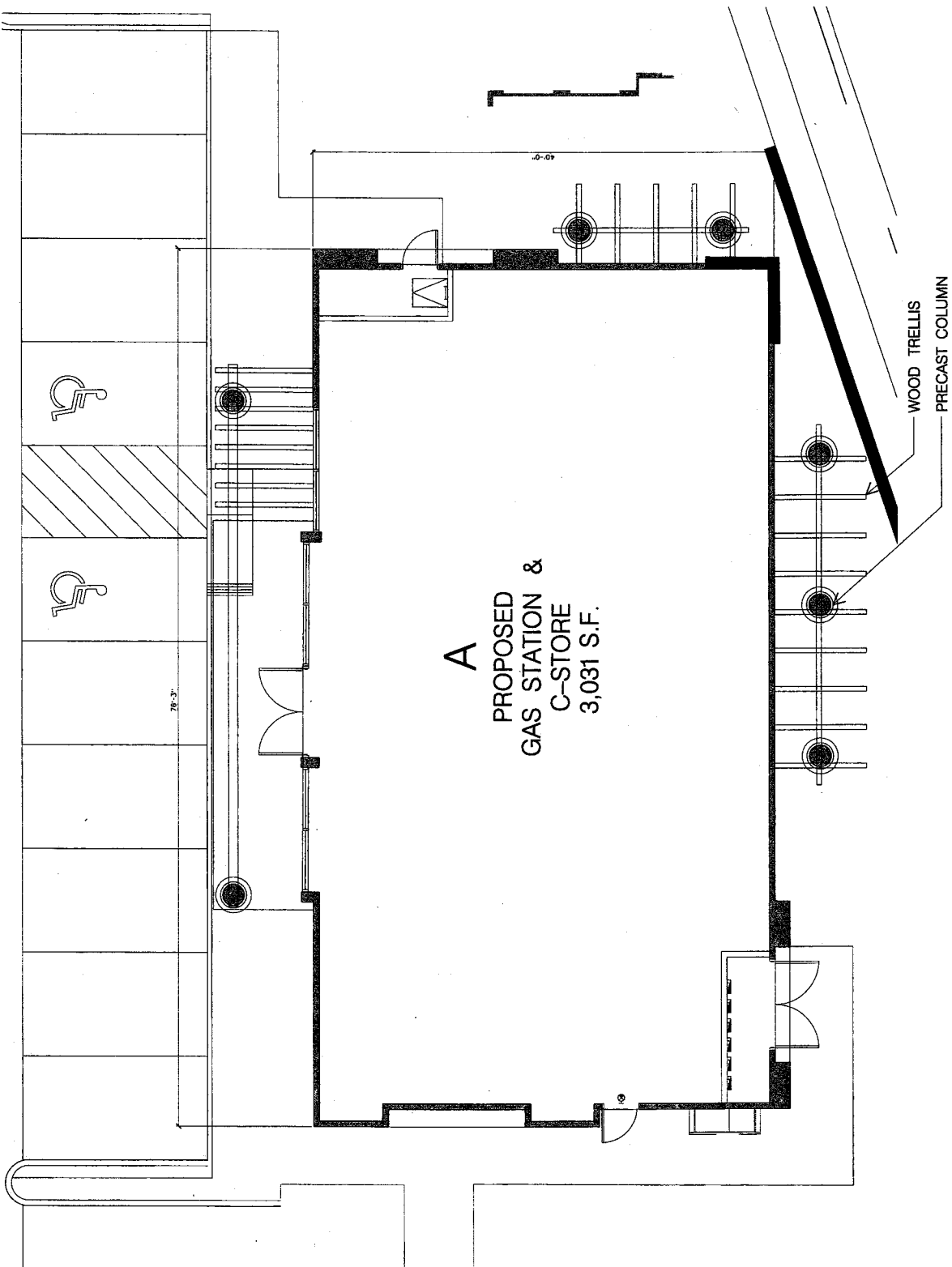
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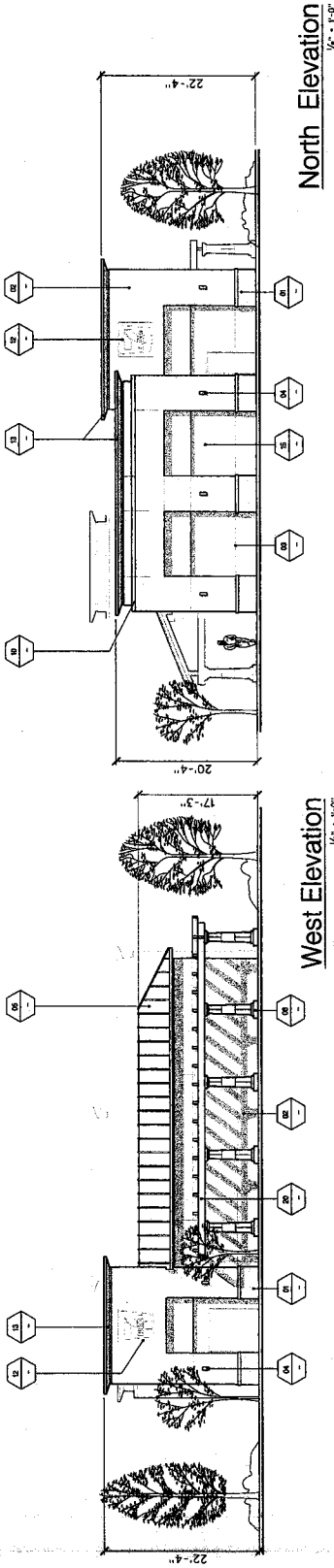
Hemet Center

33420 Highway 74 • Hemet, California

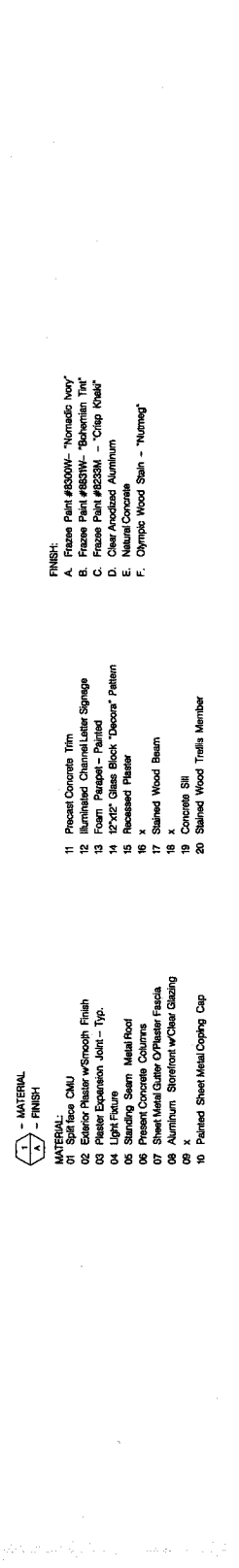
Building D - Colored Elevations



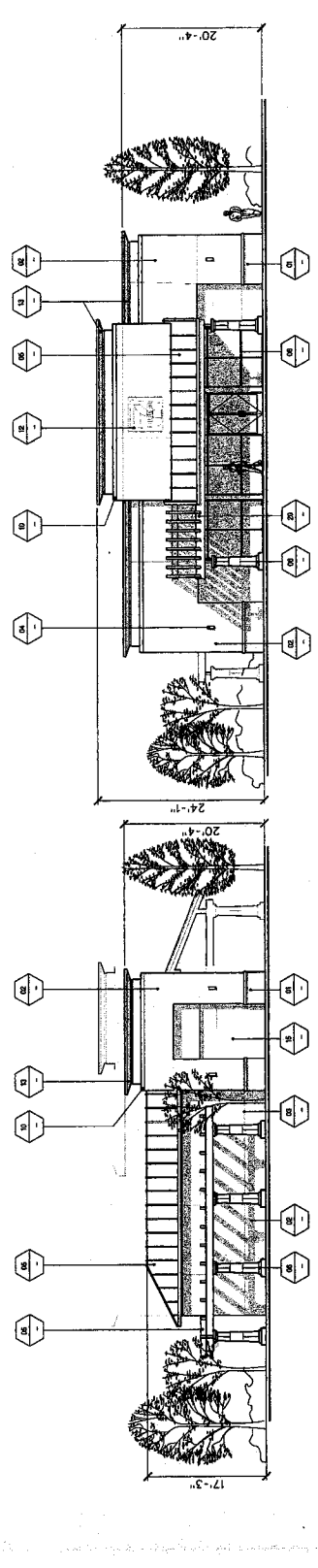
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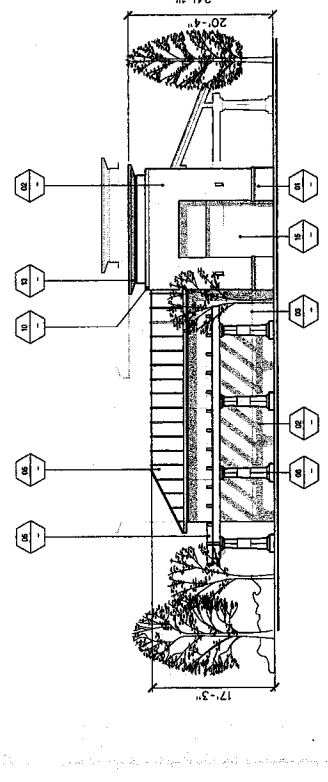
North Elevation
1/4" = 1'-0"



West Elevation
1/4" = 1'-0"



East Elevation
1/4" = 1'-0"



South Elevation
1/4" = 1'-0"

- 1 - MATERIAL
2 - FINISH
- MATERIAL:
01 Spf Pine CMU
02 Exterior Plaster w/Smooth Finish
03 Plaster Expansion Joint - Typ.
04 Light Fixture
05 Standing Seam Metal Roof
06 Precast Concrete Columns
07 Sheet Metal Gutter w/Plaster Fascia
08 Aluminum Storefront w/Clear Glazing
09 x
10 Painted Sheet Metal Coping Cap

- FINISH:
A. Frazee Paint #600W - "Normadic Ivory"
B. Frazee Paint #683W - "Bohemian Tan"
C. Frazee Paint #623M - "Crisp Khaki"
D. Clear Anodized Aluminum
E. Natural Concrete
F. Olympic Wood Stain - "Hummel"
- 11 Precast Concrete Trim
12 Illuminated Channel Letter Signage
13 Foam Panel - Painted
14 12"x12" Glass Block, "Decor" Pattern
15 Recesed Plaster
16 x
17 Stained Wood Beam
18 x
19 Concrete Sill
20 Stained Wood Tralis Member

- 11 Precast Concrete Trim
12 Illuminated Channel Letter Signage
13 Foam Panel - Painted
14 12"x12" Glass Block, "Decor" Pattern
15 Recesed Plaster
16 x
17 Stained Wood Beam
18 x
19 Concrete Sill
20 Stained Wood Tralis Member

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PROJECT NAME:
HEMET CENTER

CONDITIONAL
 USE PERMIT
 SUBMITTAL

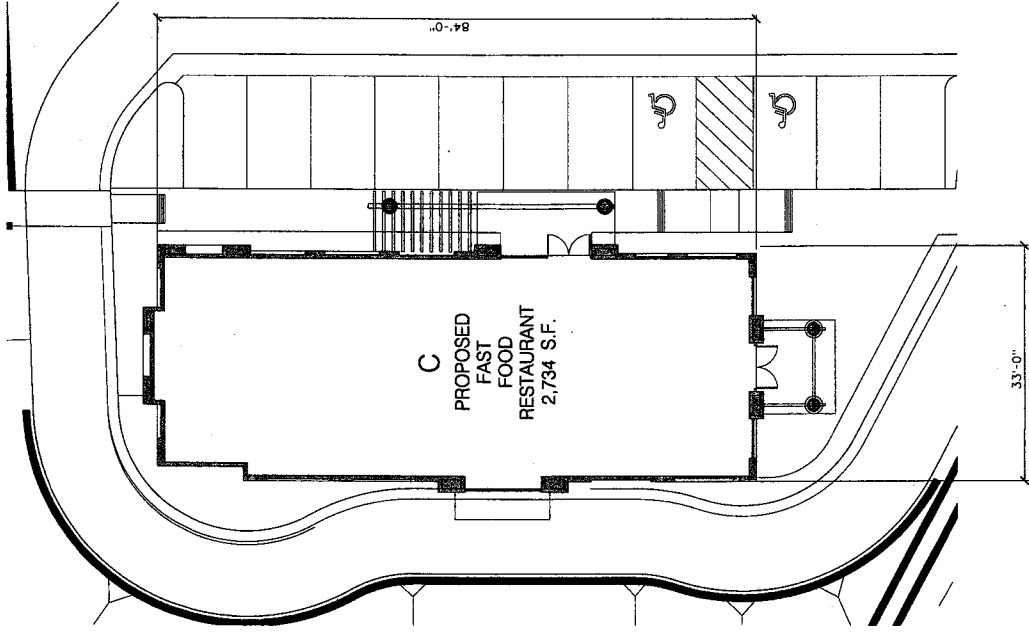
33420 Highway 74
 S/W Corner
 Highway 74 &
 Highway 79
 Hemet, California

Developed By:
 Hemet Ventures LLC

SHEET TITLE:
**BUILDING C
 FLOOR PLAN**

PROJECT NO.: _____
 LAST ISSUE DATE: _____
 REVISIONS:
 CLIP: 0309 SUBMITTA, N. 07-01-09

DATE: _____
 DRAWN BY: _____
 CHECKED BY: _____
 APPROVED BY: _____



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PROJECT NAME
HEMET CENTER

CONDITIONAL
SITE PLAN
SUBMITTAL

33420 Highway 74
S / W Corner
Highway 74 &
Highway 79
Hemet, California

Developed By:
Hemet Ventures LLC

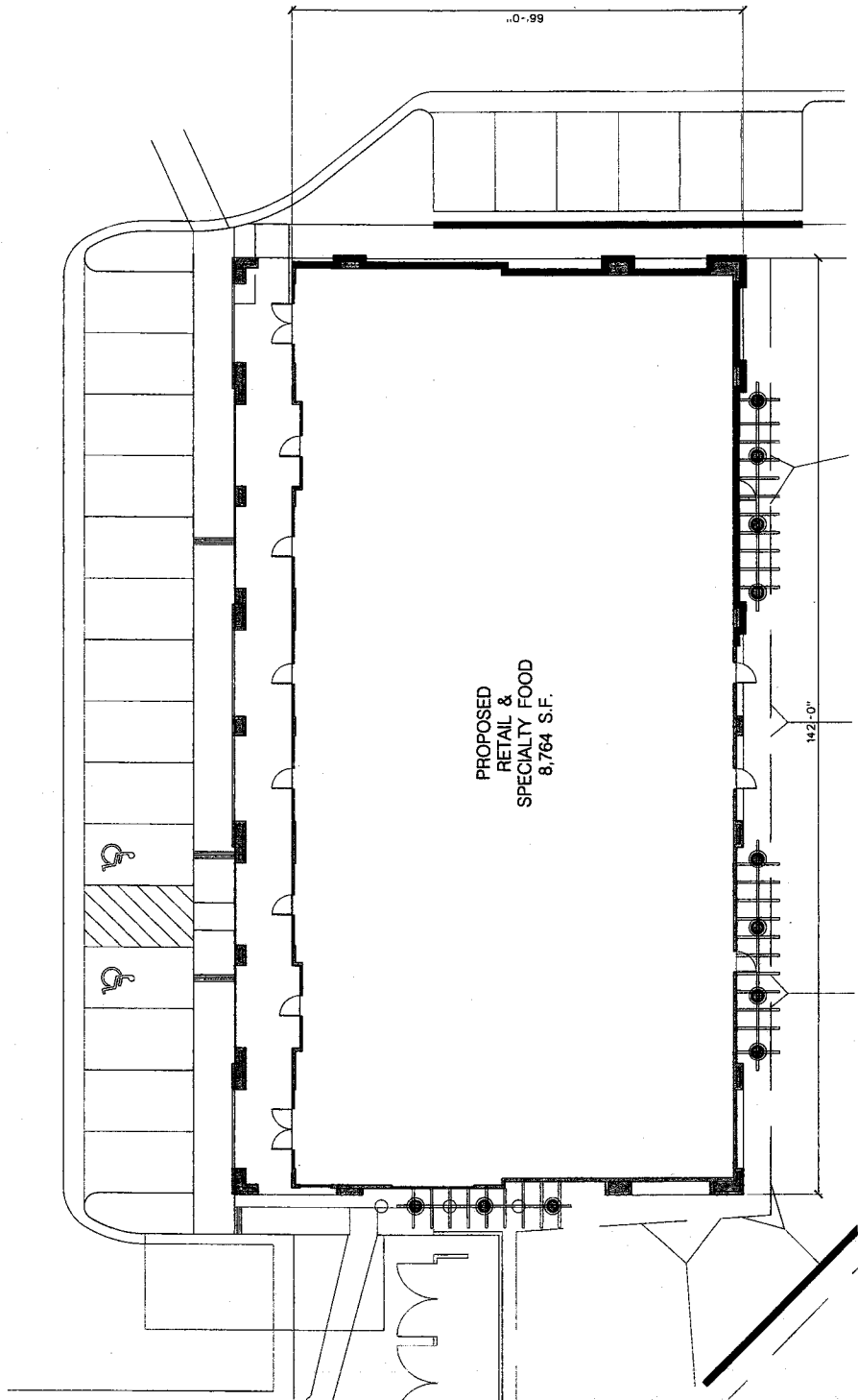
SHEET TITLE
**BUILDING D
FLOOR PLAN**



PROJECT NO. 29281
LAST ISSUE DATE: 07-01-09

REVISIONS:

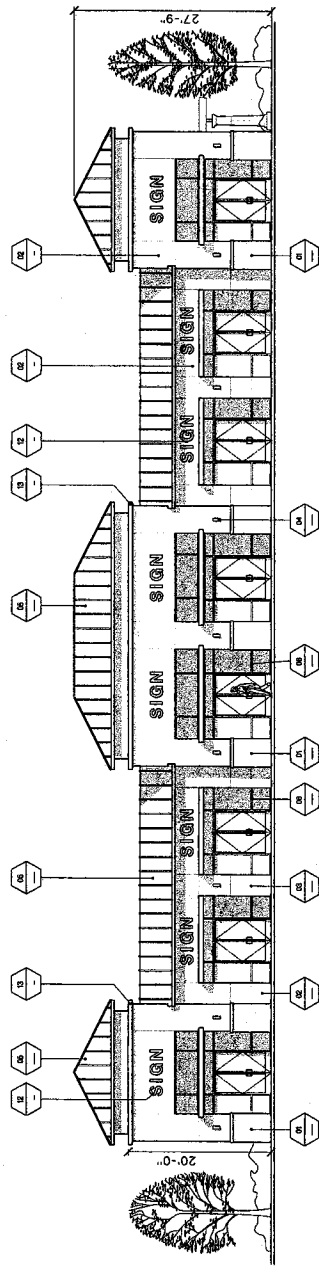
NO.	DATE	DESCRIPTION
1	07-01-09	CLIP, SUBMITTAL #1



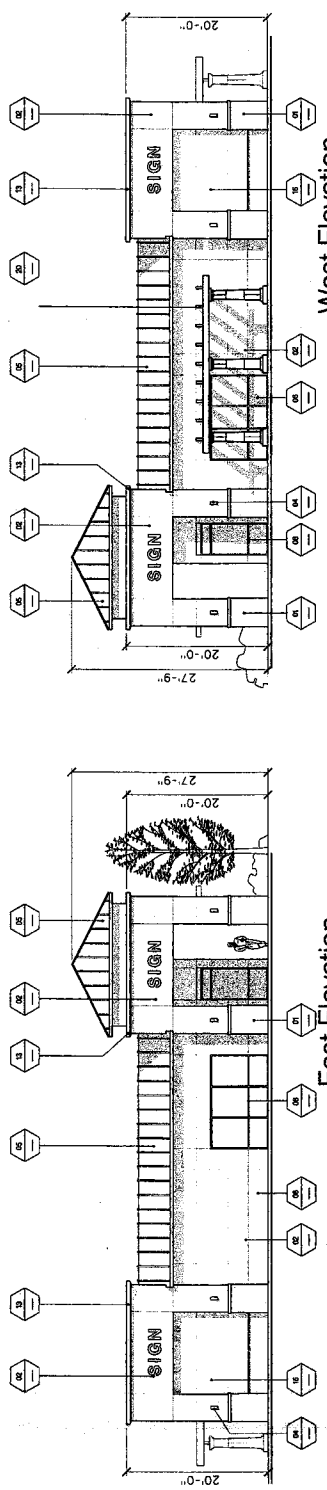
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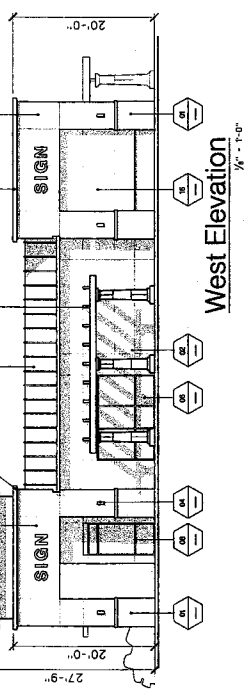
- MATERIAL**
1 - MATERIAL
A - FINISH
- MATERIALS:**
01 5/8" x 3/4" CMU
02 Exterior Plaster w/Smooth Finish
03 Plaster Expansion Joint - Typ.
04 Light Putty
05 Standing Seam Metal Roof
06 Painted Concrete Columns
07 Sheet Metal Gutter w/Plaster Fascia
08 Aluminum Storefront w/Clear Glazing
09 X
10 Painted Sheet Metal Coping Cap
11 Precast Concrete Trim
12 Illuminated Channel Letter Signage
13 Foam Panel - Painted
14 12"x12" Glass Block "Uconor" Pattern
15 Recessed Plaster
16 Painted Wood Beam
17 Stained Wood Beam
18 Concrete Sill
19 Stained Wood Trim Member
- FINISH:**
A. Frazee Paint #8300W - "Nomadic Ivory"
B. Frazee Paint #8831W - "Bohemian Tan"
C. Frazee Paint #8233W - "Crisp Khaki"
D. Clear Anodized Aluminum
E. Natural Concrete
F. Olympic Wood Stain - "Nutmeg"



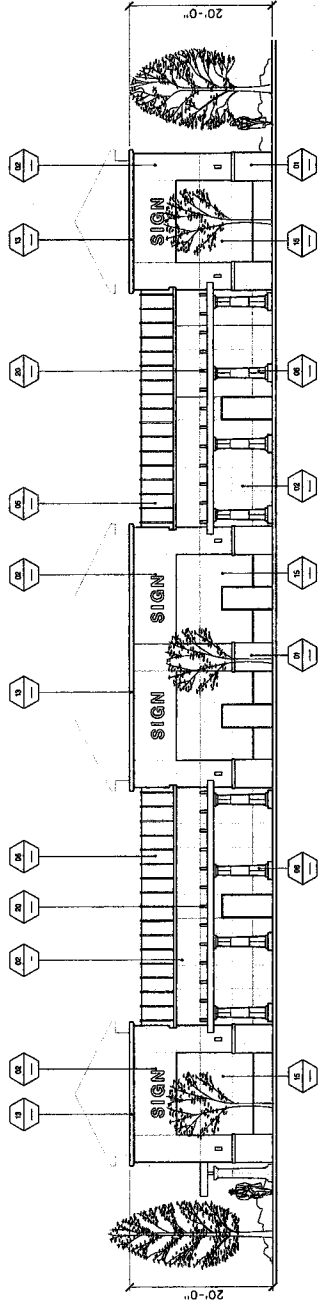
North Elevation
1/8" = 1'-0"



East Elevation
1/8" = 1'-0"



West Elevation
1/8" = 1'-0"



South Elevation
1/8" = 1'-0"

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COUNTY OF RIVERSIDE

ENVIRONMENTAL ASSESSMENT FORM: INITIAL STUDY

Environmental Assessment (E.A.) Number: 41692
Project Case Type (s) and Number(s): Conditional Use Permit No. 3579
Lead Agency Name: County of Riverside Planning Department
Address: P.O. Box 1409, Riverside, CA 92502-1409
Contact Person: Jeff Horn
Telephone Number: (951) 955 4641
Applicant's Name: Max Webb
Applicant's Address: 8383 Wilshire Blvd Suite 740, Beverly Hills CA 90211

I. PROJECT INFORMATION

A. Project Description:

Conditional Use Permit No. 3579 proposes to construct a 3.4 gross acre commercial center consisting of four (4) buildings totaling 17,401 square feet of building area, 95 standard parking stalls, and 8 handicapped stalls. The proposal consists of a 8,764 square foot retail and specialty food building, a 2,872 square foot fast food restaurant with a drive-thru, a 2,734 square foot fast food restaurant with drive-thru, and a 3,031 square foot gas station and convenience store with concurrent sale of beer and wine for off-premises consumption (Type-20 ABC).

B. Type of Project: Site Specific ; Countywide ; Community ; Policy .

C. Total Project Area: 3.4 Gross Acres

Residential Acres: N/A	Lots: N/A	Units: N/A	Projected No. of Residents: N/A
Commercial Acres: N/A	Lots: N/A	Sq. Ft. of Bldg. Area: N/A	Est. No. of Employees: N/A
Industrial Acres: N/A	Lots: N/A	Sq. Ft. of Bldg. Area: N/A	Est. No. of Employees: N/A
Other: 3.4	Lots: N/A	Sq. Ft. of Bldg. Area: 17,401	Est. No. of Employees: N/A

D. Assessor's Parcel No(s): 458-103 008, 009, 010, 011, 012, 013 and 014

E. Street References: The project site is located southerly of State Highway 74, westerly of State Highway 79/Winchester Road and northerly of Old State Highway within the Green Acres community of the Harvest Valley/Winchester Area Plan.

F. Section, Township & Range Description or reference/attach a Legal Description:
Section 15 Township 5 South, Range 2 west

G. Brief description of the existing environmental setting of the project site and its surroundings: The project is in an older residential neighborhood on the outskirts of the city of Hemet. There are scattered single family residents to the south, west and east. To the north is a gas station and convenience store. The area is highly vegetated with Residential/Urban/Exotic species. It sits at the intersection of Hwy 74 and Hwy79. The southwesterly portion of the site is located within the 100 year flood plain as defined by FEMA.

II. APPLICABLE GENERAL PLAN AND ZONING REGULATIONS

A. General Plan Elements/Policies:

1. **Land Use:** The project is located in the Harvest Valley/Winchester Area Plan of the RCIP. The land use designation is Commercial Retail (CD:CR). The project adheres to the land use policies of the General Plan including density, slope characteristics, and access.
2. **Circulation:** The project does not impact any transportation facilities referenced in the General Plan.
3. **Multipurpose Open Space:** The project does not propose any multipurpose open space areas within the project's boundaries. The proposed project meets all other applicable Multipurpose Open Space element policies.
4. **Safety:** The proposed project is located within a high fire hazard area and a subsidence susceptible area. A non-developed portion of the project site located within a special hazard zone (including 100-year flood zone, fault zone, dam inundation zone, area with high liquefaction potential, etc.). The proposed project allows for sufficient provision of emergency response services to the future residents of this project through the project design and payment of development impact fees. Sufficient mitigation against any foreseeable hazardous sources in the area has been provided. The proposed project meets all other applicable Safety Element policies.
5. **Noise:** Existing land uses in the project vicinity will not present noise compatibility issues with the proposed project. (N 1.4)
6. **Housing:** The proposed project meets with all applicable Housing element policies.
7. **Air Quality:** The proposed project has been conditioned to control any fugitive dust during grading and construction activities. The proposed project has been designed to promote pedestrian and bicycle use and limit the use of automobiles for transportation, thereby reducing air pollution. The proposed project meets all other applicable Air Quality element policies.

B. General Plan Area Plan: Harvest Valley/Winchester

C. Foundation Component: Community Development

D. Land Use Designation: Commercial Retail

E. Overlay, if any: N/A

F. Policy Area, if any: Green Acres

G. Adjacent and Surrounding Area Plan, Foundation Components, Land Use Designations, and Overlay and Policy Area, if any: Harvest Valley/Winchester Area Plan, Community Development and Rural Community Foundation, Commercial Retail and Low Density Residential Land Use Designations and Green Acres and SH-79 policy areas.

H. Adopted Specific Plan Information

1. **Name and Number of Specific Plan, if any:** N/A

2. **Specific Plan Planning Area, and Policies, if any:** N/A

I. Existing Zoning: Scenic Highway Commercial (C-P-S)

J. Proposed Zoning, if any: N/A

K. **Adjacent and Surrounding Zoning:** The project site is surrounded by properties which are zoned Scenic Highway Commercial (C-P-S) to the east and west, and Rural Residential (R-R) to the south, and State Highway 74 to the north.

III. ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED

The environmental factors checked below (x) would be potentially affected by this project, involving at least one impact that is a "Potentially Significant Impact" or "Less than Significant with Mitigation Incorporated" as indicated by the checklist on the following pages.

- | | | |
|--|---|---|
| <input type="checkbox"/> Aesthetics | <input checked="" type="checkbox"/> Hazards & Hazardous Materials | <input type="checkbox"/> Public Services |
| <input type="checkbox"/> Agriculture Resources | <input checked="" type="checkbox"/> Hydrology/Water Quality | <input type="checkbox"/> Recreation |
| <input type="checkbox"/> Air Quality | <input type="checkbox"/> Land Use/Planning | <input type="checkbox"/> Transportation/Traffic |
| <input type="checkbox"/> Biological Resources | <input type="checkbox"/> Mineral Resources | <input type="checkbox"/> Utilities/Service Systems |
| <input type="checkbox"/> Cultural Resources | <input type="checkbox"/> Noise | <input type="checkbox"/> Other |
| <input type="checkbox"/> Geology/Soils | <input checked="" type="checkbox"/> Population/Housing | <input type="checkbox"/> Mandatory Findings of Significance |

IV. DETERMINATION

On the basis of this initial evaluation:

A PREVIOUS ENVIRONMENTAL IMPACT REPORT/NEGATIVE DECLARATION WAS NOT PREPARED

- I find that the proposed project **COULD NOT** have a significant effect on the environment, and a **NEGATIVE DECLARATION** will be prepared.
- I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because revisions in the project, described in this document, have been made or agreed to by the project proponent. **A MITIGATED NEGATIVE DECLARATION** will be prepared.
- I find that the proposed project **MAY** have a significant effect on the environment, and an **ENVIRONMENTAL IMPACT REPORT** is required.

A PREVIOUS ENVIRONMENTAL IMPACT REPORT/NEGATIVE DECLARATION WAS PREPARED

- I find that although the proposed project could have a significant effect on the environment **NOTHING FURTHER IS REQUIRED** because all potentially significant effects (a) have been adequately analyzed in an earlier EIR or Negative Declaration pursuant to applicable legal standards and (b) have been avoided or mitigated pursuant to that earlier EIR or Negative Declaration, including revisions or mitigation measures that are imposed upon the proposed project.
- I find that although all potentially significant effects have been adequately analyzed in an earlier EIR or Negative Declaration pursuant to applicable legal standards, some changes or additions are necessary but none of the conditions described in California Code of Regulations, Section 15162 exist. An **ADDENDUM** to a previously-certified EIR or Negative Declaration has been prepared and will be considered by the approving body or bodies.
- I find that at least one of the conditions described in California Code of Regulations, Section 15162 exist, but I further find that only minor additions or changes are necessary to make the previous EIR adequately apply to the project in the changed situation; therefore a **SUPPLEMENT TO THE ENVIRONMENTAL IMPACT REPORT** is required that need only contain the information necessary to make the previous EIR adequate for the project as revised.
- I find that at least one of the following conditions described in California Code of Regulations, Section 15162, exist and a **SUBSEQUENT ENVIRONMENTAL IMPACT REPORT** is required: (1)

Substantial changes are proposed in the project which will require major revisions of the previous EIR or negative declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; (2) Substantial changes have occurred with respect to the circumstances under which the project is undertaken which will require major revisions of the previous EIR or negative declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; or (3) New information of substantial importance, which was not known and could not have been known with the exercise of reasonable diligence at the time the previous EIR was certified as complete or the negative declaration was adopted, shows any the following:(A) The project will have one or more significant effects not discussed in the previous EIR or negative declaration;(B) Significant effects previously examined will be substantially more severe than shown in the previous EIR or negative declaration;(C) Mitigation measures or alternatives previously found not to be feasible would in fact be feasible, and would substantially reduce one or more significant effects of the project, but the project proponents decline to adopt the mitigation measures or alternatives; or,(D) Mitigation measures or alternatives which are considerably different from those analyzed in the previous EIR or negative declaration would substantially reduce one or more significant effects of the project on the environment, but the project proponents decline to adopt the mitigation measures or alternatives.



Signature

May 10, 2010
Date

Jeff Horn
Printed Name

For Ron Goldman, Planning Director

V. ENVIRONMENTAL ISSUES ASSESSMENT

In accordance with the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000-21178.1), this Initial Study has been prepared to analyze the proposed project to determine any potential significant impacts upon the environment that would result from construction and implementation of the project. In accordance with California Code of Regulations, Section 15063, this Initial Study is a preliminary analysis prepared by the Lead Agency, the County of Riverside, in consultation with other jurisdictional agencies, to determine whether a Negative Declaration, Mitigated Negative Declaration, or an Environmental Impact Report is required for the proposed project. The purpose of this Initial Study is to inform the decision-makers, affected agencies, and the public of potential environmental impacts associated with the implementation of the proposed project.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
AESTHETICS Would the project				
1. Scenic Resources	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a) Have a substantial effect upon a scenic highway corridor within which it is located?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings and unique or landmark features; obstruct any prominent scenic vista or view open to the public; or result in the creation of an aesthetically offensive site open to public view?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan Figure C-7 "Scenic Highways"

Findings of Fact:

- a) The project is located within the vicinity of a scenic highway. Scenic Highways provide the motorist with views of distinctive natural characteristics that are not typical of other areas in the County. The intent of these policies is to conserve significant scenic resources along scenic highways for future generations and to manage development along scenic highways and corridors so that it will not detract from the area's natural characteristics.

There is one State Eligible Scenic Highway adjacent to the proposal. State Route 74 runs along the northerly property line of the project site. The project site confirms to the intent of the Scenic Highway policy through design by adhering to a 50-foot property line setback for all buildings fronting on SR-74. This design future will ensure scenic views along the highway will remain intact.

- b) The project will not substantially damage scenic resources, including, but not limited to, trees, rock outcroppings and unique or landmark features; obstruct any prominent scenic vista or view open to the public; or result in the creation of an aesthetically offensive site open to public view.

Mitigation: No mitigation required.

Monitoring: No monitoring required.

2. Mt. Palomar Observatory	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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a) Interfere with the nighttime use of the Mt. Palomar Observatory, as protected through Riverside County Ordinance No. 655?

Source: GIS database, Ord. No. 655 (Regulating Light Pollution)

Findings of Fact:

a) According to the RCIP, the project site is located 29.01 miles away from the Mt. Palomar Observatory; which is within the designated 45-mile (ZONE B) Special Lighting Area that surrounds the Mt. Palomar Observatory. Ordinance No. 655 contains approved materials and methods of installation, definition, general requirements, requirements for lamp source and shielding, prohibition and exceptions. With incorporation of project lighting requirements of the Riverside County Ordinance No. 655 into the proposed project, this impact will be reduced to a less than significant impact. All proposed outdoor lighting shall comply with Ordinance No. 655, which includes the use of low pressure sodium vapor lighting or overhead high pressure sodium vapor lighting with shields or luminaries. (10.PLANNING.46) This is a standard condition of approval and therefore is not considered mitigation pursuant to CEQA.

Mitigation: No mitigation required.

Monitoring: No monitoring required.

3. Other Lighting Issues

a) Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?

b) Expose residential property to unacceptable light levels?

Source: On-site Inspection, Project Application Description

Findings of Fact: Riverside County Ordinance No. 655 is applicable to the project site. Therefore, the project must comply with Ordinance No. 655, including, but not limited to Low-Pressure Sodium Voltage (LPSV) street lights. Pursuant to Ordinance No. 655, the project's onsite lighting will be directed downward or shielded and hooded to avoid shining onto adjacent properties and streets. Furthermore, the amount of lighting will be similar to other residential areas surrounding the site.

The proposed project is not expected to create unacceptable light levels because of conformance with Ordinance No. 655. Therefore, the proposed project would not create a new source of substantial light or glare which would adversely affect day or nighttime views in the area or expose residential property to unacceptable light levels. Impacts would be less than significant. No mitigation measures are required.

a) The proposed project will introduce new sources of nighttime light and glare into the area. Spill of light onto surrounding properties, and "night glow" can be reduced by using hoods and other design features on light fixtures used within the proposed project. Inclusion of these design features in the project is addressed through standard County conditions of approval, plan checks, permitting procedures, and code enforcement. Potential impacts associated with glare will be reduced to below the level of significance through these standard County practices and procedures and implementation of the below-listed mitigation measure.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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b) The proposed project would result in a new source of light and glare. Vehicular lighting would increase from cars traveling to and from the project site. However, this impact would be minimal based on the small number of trips this project would generate.

Mitigation: No mitigation required.

Monitoring: No monitoring required.

AGRICULTURE RESOURCES Would the project

4. Agriculture

a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland) as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?

b) Conflict with existing agricultural use, or a Williamson Act (agricultural preserve) contract (Riv. Co. Agricultural Land Conservation Contract Maps)?

c) Cause development of non-agricultural uses within 300 feet of agriculturally zoned property (Ordinance No. 625 "Right-to-Farm")?

d) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use?

Source: Riverside County General Plan Figure OS-2 "Agricultural Resources," GIS database, and Project Application Materials.

Findings of Fact:

- a) This project site is designated as Urban – Built Up land on the maps prepared pursuant to Farmland Mapping and Monitoring Program of the California Resources Agency, and therefore will not convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland) to non-agricultural use. The land use designations the surrounding properties are Commercial Retail to the north, east, and west, and Rural Community: Low Density Residential (RC:LDR). The project site is therefore more suitable for rural residential uses than agricultural uses and impacts are less than significant.
- b) There are no existing agriculture uses on the project site therefore the project will not Conflict with existing agricultural use, or a Williamson Act (agricultural preserve) contract (Riv. Co. Agricultural Land Conservation Contract Maps).
- c) The project is not located near any existing agricultural uses or properties zoned primarily for agricultural uses and therefore will not cause development of non-agricultural uses within 300 feet of agriculturally zoned property. The project site has no existing agricultural uses.
- d) The project does not proposes any changes to the existing environment, therefore the project will no impact.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

AIR QUALITY Would the project

5. Air Quality Impacts

a) Conflict with or obstruct implementation of the applicable air quality plan?

b) Violate any air quality standard or contribute substantially to an existing or projected air quality violation?

c) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors)?

d) Expose sensitive receptors which are located within 1 mile of the project site to project substantial point source emissions?

e) Involve the construction of a sensitive receptor located within one mile of an existing substantial point source emitter?

f) Create objectionable odors affecting a substantial number of people?

Source: SCAQMD CEQA Air Quality Handbook Table 6-2

Findings of Fact: Appendix G of the current State CEQA Guidelines indicates that a project will significantly impact air quality if the project violates any ambient air quality standard, contributes substantially to an existing air quality violation, or exposes sensitive receptors to substantial pollutant concentrations.

a) The project site is located in the South Coast Air Basin (SCAB). The South Coast Air Quality Management District (SCAQMD) Governing Board adopted its most recent Air Quality Management Plan (AQMP) for the SCAB on August 1, 2003. The AQMP is a plan for the regional improvement of air quality. As part of adoption of the County's General Plan in 2003, the General Plan EIR (SCH No. 2002051143) analyzed the General Plan growth projections for consistency with the AQMP and concluded that the General Plan is consistent with the SCAQMD's AQMP. The project is consistent with the County General Plan and would therefore be consistent with the SCAQMD's AQMP.

b-c) The South Coast Air Basin (SCAB) is in a non-attainment status for federal ozone standards, federal carbon monoxide standards, and state and federal particulate matter standards. Any development in the SCAB, including the proposed Project, would cumulatively contribute to these pollutant violations.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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The project is consistent with the General Plan and the Harvest Valley/Winchester Area Plan land use designations. The General Plan (2003) is a policy document that reflects the County's vision for the future of Riverside County. The General Plan is organized into eight separate elements, including an Air Quality Element. The purpose of the Air Quality Element is to protect County residents from the harmful effects of poor air quality. The Air Quality Element identifies goals, policies, and programs that are meant to balance actions regarding land use, circulation, and other issues with their potential effects on air quality. The Air Quality Element, in conjunction with local and regional air quality planning efforts, addresses ambient air quality standards set forth by the Federal Environmental Protection Agency (EPA) and the California Air Resources Board (CARB). Potential air quality impacts resulting from the proposed Project would not exceed emissions projected by the Air Quality Element. The County is charged with implementing the policies in the General Plan Air Quality Element, which are focused on reducing concentrations of criteria pollutants, reducing negative impacts to sensitive receptors, reducing mobile and stationary pollutant sources, increasing energy conservation and efficiency, improving the jobs to housing balance, and facilitating multi-jurisdictional coordination for the improvement of air quality.

Implementation of the project would not impact air quality beyond the levels documented in EIR No. 441 prepared for the General Plan. The project may impact air quality in the short-term additional during construction or grading and in the long-term through operation. Construction activities associated with the Project would result in emissions of carbon monoxide (CO), volatile organic gases (VOC), nitrogen dioxide (NOX), particulate sulfate (SOX) and particulate matter (PM10 and PM2.5). Construction emissions are expected from the use of construction equipment (including heavy diesel trucks) and fugitive dust (associated with site preparation and equipment travel on paved and unpaved roads). Construction emissions would occur in close proximity to the disturbance area, but some spillover into the surrounding community may occur. In accordance with standard county requirements, dust control measures and maintenance of construction equipment shall be utilized on the property to limit the amount of particulate matter generated. These are standard requirements and are not considered mitigation pursuant to CEQA.

The proposed project would primarily impact air quality through increased automotive emissions. Single projects typically do not generate enough traffic and associated air pollutants to violate clean air standards or contribute enough air pollutants to be considered a cumulatively considerable significant impact. Operational impacts associated with the project would be expected to result in emissions of VOC, NOX, CO, PM10, PM2.5 and SOX. Operational emissions would result from vehicle emissions, fugitive dust associated with vehicle travel, combustion emissions associated with natural gas use, emission related to electricity generation, and landscape equipment maintenance emissions. In the long term, emissions of VOC, NOX, CO, PM10 and PM2.5 and could exceed SCAQMD significance thresholds (in pounds per day). In addition, another potential impact is emissions from the project that may contribute to green house gases (GHGs) and therefore to global climate change. An individual project cannot generate enough GHG emissions to individually influence global climate change. However, the project may have an incremental contribution to cumulative GHG emissions. To date, no Federal, State, or project area local agencies have developed thresholds against which a proposed project can be evaluated to assist lead agencies in determining whether or not the proposed project is significant. In accordance with CEQA Guidelines (section 15064 (h) (3)) a project's incremental contribution to a cumulative impact may be considered less than significant if the Project will comply with a mitigation

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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program that addresses the impact. The project will primarily impact GHGs by emissions of carbon dioxide in the form of vehicle exhaust and use of electricity. However, with compliance with standard requirements for use of low VOC paints and compliance with California Energy Commission Title 24 requirements for building energy efficiency, direct and cumulative air quality impacts would be reduced to a level below significance. These are standard requirements and are not considered mitigation pursuant to CEQA. Therefore, the impact is considered less than significant.

- d) A sensitive receptor is a person in the population who is particularly susceptible to health effects due to exposure to an air contaminant than is the population at large. Sensitive receptors (and the facilities that house them) in proximity to localized CO sources, toxic air contaminants or odors are of particular concern. High levels of CO are associated with major traffic sources, such as freeways and major intersections, and toxic air contaminants are normally associated with manufacturing and commercial operations. Land uses considered to be sensitive receptors include long-term health care facilities, rehabilitation centers, convalescent centers, retirement homes, residences, schools, playgrounds, child care centers, and athletic facilities. Surrounding land uses include residential, which is considered a sensitive receptor, however, a commercial center is not considered a substantial point source emitter or a sensitive receptor.
- e) Surrounding land uses do not include significant localized CO sources, toxic air contaminants, or odors. A church is not considered a substantial point source emitter or a sensitive receptor. Therefore, the impact is considered less than significant.
- f) The project will not create objectionable odors affecting a substantial number of people. Therefore, there is no impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

BIOLOGICAL RESOURCES Would the project

6. Wildlife & Vegetation

a) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Conservation Community Plan, or other approved local, regional, or state conservation plan?

b) Have a substantial adverse effect, either directly or through habitat modifications, on any endangered, or threatened species, as listed in Title 14 of the California Code of Regulations (Sections 670.2 or 670.5) or in Title 50, Code of Federal Regulations (Sections 17.11 or 17.12)?

c) Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U. S. Wildlife Service?

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident migratory wildlife corridors, or impede the use of native wildlife nursery sites?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations or by the California Department of Fish and Game or U. S. Fish and Wildlife Service?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g) Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: GIS database, WRCMSHCP, On-site Inspection

Findings of Fact:

- a) Implementation of the project will not conflict with the provisions of an adopted Habitat Conservation Plan, Natural Conservation Community Plan, or other approved local, regional, or state conservation plan. Therefore, there will be no impacts as a result of the project.
- b) Implementation of the project will not have a substantial adverse effect, either directly or through habitat modifications, on any endangered, or threatened species, as listed in Title 14 of the California Code of Regulations (Sections 670.2 or 670.5) or in Title 50, Code of Federal Regulations (Sections 17.11 or 17.12). Therefore, there will be no impact as a result of the project.
- c) Implementation of the project will not have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California department of Fish and Game or U. S. Wildlife Service. Therefore, there will be no impact as a result of the project.
- d) Implementation of the project will not Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident migratory wildlife corridors, or impede the use of native wildlife nursery sites. Therefore, there will be no impact as a result of the project.
- e) Implementation of the project will not have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, and regulations or by the California Department of Fish and Game or U. S. Fish and Wildlife Service. Therefore, there will be no impact as a result of the project.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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- f) Implementation of the project will not have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means. Therefore, there will be no impact as a result of the project.
- g) Implementation of the project will not conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance. Therefore, there will be no impact as a result.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

CULTURAL RESOURCES Would the project

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
7. Historic Resources	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a) Alter or destroy an historic site?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Cause a substantial adverse change in the significance of a historical resource as defined in California Code of Regulations, Section 15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: On-site Inspection, Project Application Materials

Findings of Fact:

- a) The project site is vacant and does not contain any historical structures. Therefore, no impacts are anticipated.
- b) The proposed project would not cause substantial adverse change in the significance of a historical resource as defined in California Code of Regulations, Section 15064.5. Therefore, no impacts are anticipated.

Mitigation: No mitigation required.

Monitoring: No monitoring required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
8. Archaeological Resources	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a) Alter or destroy an archaeological site.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Cause a substantial adverse change in the significance of an archaeological resource pursuant to California Code of Regulations, Section 15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Disturb any human remains, including those interred outside of formal cemeteries?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Restrict existing religious or sacred uses within the potential impact area?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: On-site Inspection, Project Application Materials

Findings of Fact:

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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- a) Implementation of the project will not alter or destroy a known archaeological site. Per the review conducted by the Riverside County Archaeologist, the proposed project will not alter or destroy an archaeological site. However, In the event that during ground disturbance activities, unique cultural resources are discovered that were not assessed by the archaeological report(s) and/or environmental assessment conducted prior to project approval, specific procedures as outlined in the conditions of approval must be followed. Therefore, less than significant impacts are anticipated.
- b) Per the review conducted by the Riverside County Archaeologist, the proposed project will not cause a substantial adverse change in the significance of an archaeological resource pursuant to California Code of Regulations, Section 15064.5. In the event that during ground disturbance activities, unique cultural resources are discovered that were not assessed by the archaeological report(s) and/or environmental assessment conducted prior to project approval, specific procedures as outlined in the conditions of approval must be followed. Therefore, less than significant impacts are anticipated.
- c) Per the review conducted by the Riverside County Archaeologist, the proposed project will not disturb any human remains, including those interred outside of formal cemeteries. If human remains are encountered, State Health and Safety Code Section 7050.5 states that no further disturbance shall occur until the Riverside County Coroner has made the necessary findings as to origin. Further, pursuant to Public Resource Code Section 5097.98(b) remains shall be left in place and free from disturbance until a final decision as to the treatment and disposition has been made. If the Riverside County Coroner determines the remains to be Native American, the Native American Heritage Commission shall be contacted within a reasonable timeframe. Subsequently, the Native American Heritage Commission shall identify the "most likely descendant." The most likely descendant shall then make recommendations and engage in consultation concerning the treatment of the remains as provided in Public Resources Code Section 5097.98. (COA 10.Planning.05) This is not unique mitigation therefore impacts are less than significant.
- d) There are no known existing religious or sacred uses within the potential impact area.

Mitigation: No mitigation required.

Monitoring: No monitoring required.

9. Paleontological Resources

- a) Directly or indirectly destroy a unique paleontological resource, or site, or unique geologic feature?

Source: Riverside County General Plan Figure OS-8 "Paleontological Sensitivity"

Findings of Fact:

- a) The project site is located within a low potential for paleontological sensitivity area within the Riverside County. According to the County's General Plan, this site has been mapped as having a "Low Potential" for paleontological resources. This category encompasses lands for

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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which previous field surveys and documentation demonstrates a low potential for containing significant paleontological resources subject to adverse impacts. As such, this project is not anticipated to require any direct mitigation for paleontological resources. However, should fossil remains be encountered during site development:

1. All site earthmoving shall be ceased in the area of where the fossil remains are encountered. Earthmoving activities may be diverted to other areas of the site.
2. The applicant shall retain a qualified paleontologist approved by the County of Riverside.
3. The paleontologist shall determine the significance of the encountered fossil remains.
4. Paleontological monitoring of earthmoving activities will continue thereafter on an as-needed basis by the paleontologist during all earthmoving activities that may expose sensitive strata. Earthmoving activities in areas of the project area where previously undisturbed strata will be buried but not otherwise disturbed will not be monitored. The supervising paleontologist will have the authority to reduce monitoring once he/she determines the probability of encountering any additional fossils has dropped below an acceptable level.
5. If fossil remains are encountered by earthmoving activities when the paleontologist is not onsite, these activities will be diverted around the fossil site and the paleontologist called to the site immediately to recover the remains.
6. Any recovered fossil remains will be prepared to the point of identification and identified to the lowest taxonomic level possible by knowledgeable paleontologists. The remains then will be curated (assigned and labeled with museum* repository fossil specimen numbers and corresponding fossil site numbers, as appropriate; places in specimen trays and, if necessary, vials with completed specimen data cards) and catalogued, an associated specimen data and corresponding geologic and geographic site data will be archived (specimen and site numbers and corresponding data entered into appropriate museum repository catalogs and computerized data bases) at the museum repository by a laboratory technician. The remains will then be accessioned into the museum* repository fossil collection, where they will be permanently stored, maintained, and, along with associated specimen and site data, made available for future study by qualified scientific investigators. The County of Riverside must be consulted on the repository/museum to receive the fossil material prior to being curated.

This is not unique mitigation therefore impacts are less than significant. (COA 10.Planning.03).

Mitigation: No mitigation measures required.

Monitoring: No monitoring measures required.

GEOLOGY AND SOILS Would the project

10. Alquist-Priolo Earthquake Fault Zone or County Fault Hazard Zones

a) Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death?

b) Be subject to rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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for the area or based on other substantial evidence of a known fault?

Source: Riverside County General Plan Figure S-2 "Earthquake Fault Study Zones," GIS database. GEO02141

Findings of Fact: The project site is not within an Alquist-Priolo Earthquake Fault Zone. The Riverside County Geologist has reviewed the project proposal and has deemed it designed to protect the public health, safety, and welfare.

Mitigation: No mitigation measures required.

Monitoring: No monitoring measures required.

11. Liquefaction Potential Zone

a) Be subject to seismic-related ground failure, including liquefaction?

Source: Riverside County General Plan Figure S-3 "Generalized Liquefaction," GEO01909

Findings of Fact:

- a) The project site is located within an area designated as having a moderate potential for liquefaction. Adherence to California Building Code (CBC) will reduce impacts to less than significant levels. Adherence to code is not considered mitigation pursuant to CEQA. Therefore, the impact is considered less than significant.

Mitigation: No mitigation measures required.

Monitoring: No monitoring measures required.

12. Ground-shaking Zone

a) Be subject to strong seismic ground shaking?

Source: Riverside County General Plan Figure S-4 "Earthquake-Induced Slope Instability Map," and Figures S-13 through S-21 (showing General Ground Shaking Risk)

Findings of Fact:

- a) There are no known active or potentially active faults that traverse the site and the site is not located within an Alquist-Priolo Earthquake Fault Zone. The principal seismic hazard that could affect the site is ground shaking resulting from an earthquake occurring along several major active or potentially active faults in southern California. California Building Code (CBC) requirements pertaining to development will mitigate the potential impact to less than significant. As CBC requirements are applicable to all development, they are not considered mitigation for CEQA implementation purposes.

Mitigation: No mitigation measures required.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Monitoring: No monitoring measures required.

13. Landslide Risk

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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a) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, collapse, or rockfall hazards?

Source: On-site Inspection, Riverside County General Plan Figure S-5 "Regions Underlain by Steep Slope," GEO01909.

Findings of Fact:

a) According to Figure S-5, the project site is located in an area of low to locally moderate susceptibility to seismically induced landslides and rockfalls. The project will be required to implement the site-specific recommendations in the Geological Soils Report. (COA 60.BS GRADE.3) These site-specific recommendations address temporary and permanent slopes, drainage, site preparation including any structural removals, compaction, utility trenches, fill materials, soils observation, post-tensioned foundation and slab systems, preliminary foundations design parameters, slab-on-grade, settlement considerations, retaining walls, seismic coefficients, corrosion, and preliminary pavement design parameters. Therefore, according to the existing conditions and with the implementation of recommended procedures, impacts are considered less than significant.

Mitigation: No mitigation measures required.

Monitoring: No monitoring measures required.

14. Ground Subsidence

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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a) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in ground subsidence?

Source: General Plan Fig. S-7 "Documented Subsidence Areas", RCLIS

Findings of Fact:

a) The project site is located in an area susceptible to subsidence. California Building Code (CBC) requirements pertaining to development will mitigate the potential impact to less than significant. As CBC requirements are applicable to all development, they are not considered mitigation for CEQA implementation purposes.

Mitigation: No mitigation measures required.

Monitoring: No monitoring measures required.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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15. Other Geologic Hazards

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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a) Be subject to geologic hazards, such as seiche, mudflow, or volcanic hazard?

Source: On-site Inspection, Project Application Materials,

a) The project site is not located near any large bodies of water or in a known volcanic area; therefore, the project site is not subject to geologic hazards, such as seiche, mudflow, or volcanic hazard.

Mitigation: No mitigation measures required.

Monitoring: No monitoring measures required.

16. Slopes

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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a) Change topography or ground surface relief features?

b) Create cut or fill slopes greater than 2:1 or higher than 10 feet?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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c) Result in grading that affects or negates subsurface sewage disposal systems?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Source: Riv. Co. 800 Scale Slope Maps, Project Application Materials

Findings of Fact:

- a) The project area is relatively flat and will not require an extensive amount of grading. The design and safety of proposed slopes has been reviewed by the Building and Safety – Grading Division, Riverside County Geologist and the Riverside County Planning Department. All agencies have deemed the project proposal to be designed to protect the health, safety, and welfare of the public. Standard conditions of approval have been issued regarding slopes that will further ensure protection of public health, safety, and welfare upon final engineering of the project and are not considered mitigation for CEQA implementation purposes.
- b) The project will not create or fill slopes greater than 2:1. The project may create slopes greater than ten feet. In order to minimize the impact, the project has been conditioned to grade so that the slopes reflect the natural terrain. (COA 10.BS GRADE.7)
- c) The project will not result in grading that affects or negates subsurface sewage disposal systems

Mitigation: No mitigation measures required.

Monitoring: No monitoring measures required.

17. Soils

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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a) Result in substantial soil erosion or the loss of

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
topsoil?				
b) Be located on expansive soil, as defined in Table 18-1-B of the Uniform Building Code (COA 1994), creating substantial risks to life or property?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: General Plan figure S-6 "Engineering Geologic Materials Map", Flood Control review, Building and Safety Grading review, application materials

Findings of Fact:

- a) The development of the project site may have the potential to result in soil erosion during additional grading and construction. Standard conditions of approval have been issued regarding soil erosion that will further ensure protection of public health, safety, and welfare upon final engineering of the project and are not considered mitigation for CEQA implementation purposes.
- b) The project may be located on expansive soil; however, California Building Code (CBC) requirements pertaining to commercial development will mitigate the potential impact to less than significant. As CBC requirements are applicable to all development, they are not considered mitigation for CEQA implementation purposes.

Mitigation: No mitigation measures required.

Monitoring: No monitoring measures required.

18. Erosion	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a) Change deposition, siltation, or erosion that may modify the channel of a river or stream or the bed of a lake?				
b) Result in any increase in water erosion either on or off site?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Flood Control District review, Project Materials

Findings of Fact:

- a) Implementation of the proposed project will involve grading and various construction activities. Standard construction procedures, and federal, state and local regulations implemented in conjunction with the site's storm water pollution prevention plan (SWPPP) and its Best Management Practices (BMPs) required under the National Pollution Discharge System (NPDES) general construction permit, will minimize potential for erosion during construction. These practices will keep substantial amounts of soil material from eroding from the project site and prevent deposition within receiving waters located downstream. Therefore, the impact is considered less than significant.
- b) The potential for on-site erosion will increase due to grading and excavating activities during the construction phase. However, BMPs will be implemented for maintaining water quality and reducing erosion. In addition, Riverside County Flood Control has provided standard conditions of approval to ensure erosion impacts are mitigated to less than significant levels

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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upon final engineering and are not considered mitigation for CEQA implementation purposes. Therefore, the impact is considered less than significant.

Mitigation: No mitigation measures required.

Monitoring: No monitoring measures required.

19. Wind Erosion and Blowsand from project either on or off site.

a) Be impacted by or result in an increase in wind erosion and blowsand, either on or off site?

Source: Riverside County General Plan Figure S-8 "Wind Erosion Susceptibility Map," Ord. 460, Sec. 14.2 & Ord. 484

Findings of Fact:

a) The project site lies within a moderate area of wind erosion. The project will decrease the amount of exposed dirt, which is subject to wind erosion, with the incorporation of concrete, asphalt, and landscaping. No changes will be made on adjacent properties that would increase wind erosion offsite that would impact this project. Current levels of wind erosion on adjacent properties that would impact this site are considered less than significant. A condition has been placed on the project to control dust created during grading activities. (COA 10.BS GRADE.5) This is a standard condition of approval and is not considered mitigation pursuant to CEQA.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

HAZARDS AND HAZARDOUS MATERIALS Would the project

20. Hazards and Hazardous Materials

a) Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?

b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?

c) Impair implementation of or physically interfere with an adopted emergency response plan or an emergency evacuation plan?

d) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?

e) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Source: Project Application Materials

Findings of Fact:

a) The project proposes a commercial retail center and gas station; therefore, the project will be responsible for having the correct permits to ensure that the gasoline and other hazardous materials will be kept away from the general public. Riverside County Hazardous Materials has requested a business emergency plan for storage of hazardous material. The facility will require a business emergency plan for the storage of hazardous materials greater than 55 gallons, 200 cubic feet or 500 pounds, or any acutely hazardous materials or extremely hazardous substances. If further review of the site indicates additional environmental health issues, the Hazardous Materials Management Division reserves the right to regulate the business in accordance with applicable County Ordinances (COA 90. E HEALTH.1, 90.E HEALTH.2)

In addition, during construction, hazardous materials such oil, diesel fuel, and gasoline may be transported to and used at the project site. The California State Department of Toxic Substances Control (DTSC) operates programs for proper hazardous waste disposal and transport and takes enforcement actions against those who mishandle or dispose of hazardous wastes improperly. The Riverside County Department of Environmental Health, also requires licensed hazardous waste haulers to collect and transport hazardous wastes. Compliance with the requirements of the California State Department of Toxic Substances Control and the Riverside County Department of Environmental Health would reduce the impact to less than significant levels. Compliance with the requirements of the California DTSC and Riverside County of Environmental Health is not considered unique mitigation pursuant to CEQA.

- b) The proposed project is not anticipated to result in a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment.
- c) The Riverside County General Plan includes a Standardized Emergency Management System Multi-Hazard Functional Plan that establishes the responsibilities of the various County agencies in times of a disaster. As the proposed project would not prohibit any of the Plan's policies from being enacted in the event of an emergency, the project will not interfere with the establishment and maintenance of this plan. Therefore, implementation of the proposed project is not expected to hamper or create any significant impact on the ability of the County to implement disaster plans in the event of an emergency. Impacts are considered less than significant.
- d) No portions of the proposed project are within a quarter-mile of a school site nor will the project emit hazardous emissions or handle acutely hazardous materials. No impacts are anticipated.
- e) The project is not located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Mitigation: Prior to issuance of Final Building Permits the facility will require a business emergency plan for the storage of hazardous materials greater than 55 gallons, 200 cubic feet or 500 pounds, or any acutely hazardous materials or extremely hazardous substances.

If further review of the site indicates additional environmental health issues, the Hazardous Materials Management Division reserves the right to regulate the business in accordance with applicable County Ordinances (COA 90. E HEALTH.1, 90.E HEALTH.2)

Monitoring: Monitoring shall be conducted by the Environmental Health Department during the Building and Safety Plan check process

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
21. Airports	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a) Result in an inconsistency with an Airport Master Plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Require review by the Airport Land Use Commission?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) For a project within the vicinity of a private airstrip, or heliport, would the project result in a safety hazard for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure S-19 "Airport Locations," GIS database

Findings of Fact:

- a) The project site is not located within the vicinity of any public or private airport; therefore, the project will not result in an inconsistency with an Airport Master Plan.
- b) The project site is not located within the vicinity of any public or private airport; therefore will not require review by the Airport Land Use Commission.
- c) The project is not located within an airport land use plan and would not result in a safety hazard for people residing or working in the project area.
- d) The project is not within the vicinity of a private airstrip, or heliport and would not result in a safety hazard for people residing or working in the project area.

Mitigation: No mitigation measures required.

Monitoring: No monitoring measures required.

22. Hazardous Fire Area	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a) Expose people or structures to a significant risk	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands?

Source: Riverside County General Plan Figure S-11 "Wildfire Susceptibility," GIS database.

Findings of Fact:

a) According to the General Plan, the proposed project site is located adjacent to a hazardous fire area. The proposed project will not expose people or structures to a significant risk of loss, injury or death involving wild land fires, including where wild lands are adjacent to urbanized areas or where residences are intermixed with wild lands. The project shall adhere to all Fire Department requirements for projects located within high fire hazard areas. These are standard conditions of approval and are not considered mitigation under CEQA.

Mitigation: No mitigation measures required.

Monitoring: No monitoring measures required.

HYDROLOGY AND WATER QUALITY Would the project

23. Water Quality Impacts

a) Substantially alter the existing drainage pattern of the site or area, including the alteration of the course of a stream or river, in a manner that would result in substantial erosion or siltation on- or off-site?

b) Violate any water quality standards or waste discharge requirements?

c) Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)?

d) Create or contribute runoff water that would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff?

e) Place housing within a 100-year flood hazard area, as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map?

f) Place within a 100-year flood hazard area structures which would impede or redirect flood flows?

g) Otherwise substantially degrade water quality?

h) Include new or retrofitted stormwater Treatment Control Best Management Practices (BMPs) (e.g. water quality treatment basins, constructed treatment wetlands),

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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the operation of which could result in significant environmental effects (e.g. increased vectors and odors)?

Source: Riverside County Flood Control District Flood Hazard Report/Condition, Figure 6 of the FEMA Flood Plain Map, Project Application Materials, Hydrology Study, and WQMP

Findings of Fact:

The project site is a long rectangular shaped lot with the majority of the project site proposed to be developed. The southwest corner of site is within a mapped Zone "A" floodplain, as delineated on Panel Number 06065C-2080G of the Flood Insurance Rate Maps issued in conjunction with the National Flood Insurance Program (NFIP) administered by the Federal Emergency Management Agency (FEMA). The site also receives tributary offsite flows from three Caltrans culverts. Approximately 32 cfs and 34 cfs of storm runoff is delivered to the site via two 24-inch CMP Caltrans culverts located at the northern-central and northeastern corner of the site, respectively. An additional 20 cfs is delivered via an 18-inch culvert located near the southeast corner of the site. The proposed project would result in creating increased runoff and would impact the water quality. The project proposes to mitigate the increased runoff impacts by collecting the onsite flows and discharging into an underground detention basin. The onsite flows will be treated by an enhanced grassy swale before discharging into a storm drain. After running through an enhanced grassy swale, the onsite flows would confluence with the offsite flows at the southwest corner of the site. Once the flows have reached the southwestern corner of the site, it is then conveyed into the proposed storm drain system along Old State Highway 74 in a westerly direction, and outlets into a small earthen channel. This earthen channel would be constructed along a property line of two properties on the south side of Highway 74 (APNs: 458-220-011 and 458-220-012). The developer has obtained permission from the affected property owners for the construction of the channel. This channel will not be maintained by the District the developer shall come up with the mechanism to maintain this channel.

- a) The project site is located in a moderately urbanized area, and is part of the Winchester/North Hemet portion of the Salt Creek Channel Area Drainage Plan (ADP). The project will be connected to an existing system of culverts and channels, and will have limited impacts on the existing drainage patterns of the site or local area including the alteration of the course of a stream or river, in a manner that would result in substantial erosion or siltation on- or off-site.

However, during grading and construction, temporary erosion control measures shall be implemented immediately following rough grading to prevent deposition of debris onto downstream properties or drainage facilities. (COA 60.Flood RI.05).

- b) The project has been conditioned prior to grading permit issuance to submit copies of the BMP improvement plans and any other necessary documentation to the District for review (COA 60. Flood RI.07). In addition, prior to grading permit issuance, a copy of the project specific WQMP shall be submitted to the District for review and approval. All proposed BMP's shall be shown on the grading plan (COA 60. Flood RI. 02). Therefore, the impact is considered less than significant with mitigation incorporated.

Additionally, the project has been conditioned to provide to the Building and Safety Department evidence of compliance with the N.P.D.E.S. (National Pollutant Discharge Elimination System) requirement and to obtain a construction permit from the State Water Resource Control Board (SWRCB) prior to issuance of any grading or construction permit.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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The permit requirement applies to grading and construction sites of "ONE" acre or larger. The owner/operator would comply by submitting a "Notice of Intent" (NOI), develop and implement a Storm Water Pollution Prevention Plan (SWPPP) and a monitoring program and reporting plan for the construction site. Therefore, the impact is considered less than significant with mitigation incorporated.

- c) The project does not propose the construction of any new wells, and will receive water from the Eastern Municipal Water District. Development of the project will not substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted. Therefore, the impact is considered less than significant.
- d) The development of this site will adversely impact downstream property owners by increasing the rate and volume of flood flows from the project site. The project proposes to mitigate the increased runoff impacts by collecting the onsite flows and discharging into an underground detention basin. The onsite flows will be treated by an enhanced grassy swale before discharging into a storm drain. After running through an enhanced grassy swale, the onsite flows would confluence with the offsite flows at the southwest corner of the site. Once the flows have reached the southwestern corner of the site, it is then conveyed into the proposed storm drain system along Old State Highway 74 in a westerly direction, and outlets into a existing small earthen channel. This channel will not be maintained by the District the developer shall come up with the mechanism to maintain this channel. Offsite drainage facilities shall be located within dedicated drainage easements obtained from the affected property owner(s). Document(s) shall be recorded and a copy submitted to the District prior to issuance of permits. If the developer cannot obtain such rights, the project shall be redesigned to eliminate the need for the easement (COA 60.Flood RI.04). As proposed, this earthen channel would be constructed along a property line of two properties on the south side of Highway 74 (APNs: 458-220-011 and 458-220-012). The developer has obtained permission from the affected property owners for the construction of the channel. (COA 60.Flood RI.05). To mitigate water quality, the project has been conditioned prior to grading permit and buildings permit issuance to submit copies of the plans for BMPs and any other necessary documentation to the District for review (COA 60.Flood RI.07 and 80.Flood Ri.02). In addition, prior to grading permit, a copy of the project specific WQMP shall be submitted to the District for review and approval. (COA 60. Flood RI. 09) All proposed BMP's shall be shown on the grading plan (COA 60. Flood RI. 03). Therefore, the impact is considered less than significant with mitigation incorporated.
- e) A portion of the project site is not located within a 100-year flood hazard area. The project does not propose to place housing within a 100-year flood hazard area. Therefore, there is no impact.
- f) A portion of the project site is not located within a 100-year flood hazard area. The project does not propose to place structures within a 100-year flood hazard area. Therefore, there is no impact.
- g) The proposed project is not anticipated to otherwise substantially degrade water quality. To avoid the substantial degradation of water quality, the project has been conditioned prior to the

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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issuance of any grading or construction permits, to comply with the National Pollutant Discharge Elimination System, by developing and implementing a storm water pollution prevention plan, as well as a monitoring program and reporting plan for the construction site. The project has also been conditioned to submit a Final Water Quality Management Plan prior to grading permit issuance for review and approval. The WQMP addresses post-development water quality impacts from new development and re-development projects. These are standard conditions of approval and are not considered unique mitigation pursuant to CEQA. Therefore, the impact is considered less than significant.

- h) The proposed project will include the construction of new or retrofitted stormwater Treatment Control Best Management Practices (BMPs) (e.g. water quality treatment basins, constructed treatment wetlands). Prior to grading permit issuance, BMP improvement plans and any other necessary documentation shall be submitted to the District for review. The plans must receive District approval prior to the issuance of grading permits to ensure that the operation of the BMP's shall not result in significant environmental effects (COA 60. Flood RI.07) Therefore, the impact is considered less than significant with mitigation incorporated.

The County Board of Supervisors has adopted the Winchester/North Hemet portion of the Salt Creek Channel Area Drainage Plan (ADP) for the purpose of collecting drainage fees. This project may require earlier construction of downstream ADP facilities. To mitigate this effect, the District recommends that this project be required to pay a flood mitigation fee. The mitigation fee should be based upon the fee structures set for land divisions having comparable anticipated impermeable surface areas. CUP 3579 is located within the limits of the Winchester/North Hemet portion of the Salt Creek Channel Area Drainage Plan for which drainage fees have been adopted to help mitigate the impacts of this development. (COA 60.Flood Ri.08, and 80.Flood RI.04)

Mitigation:

Prior to grading permit issuance, a copy of the improvement plans, grading plans, BMP improvement plans and any other necessary documentation along with supporting hydrologic and hydraulic calculations shall be submitted to the District for review. (COA 60. Flood RI. 02)

Prior to grading permit issuance, a copy of the project specific WQMP shall be submitted to the District for review and approval. All proposed BMP's shall be shown on the grading plan (COA 60. Flood RI. 03)

Prior to issuance of grading permits, the proposed offsite drainage facilities shall be located within dedicated drainage easements obtained from the affected property owner(s). Document(s) shall be recorded and a copy submitted to the District. If the developer cannot obtain such rights, the project shall be redesigned to eliminate the need for the easement (COA 60.Flood RI.04).

Prior to grading permit issuance , plans showing temporary erosion control measures shall to prevent deposition of debris onto downstream properties or drainage facilities shall be submitted to the District for review. (COA 60.Flood RI.05).

Prior to grading permit issuance, a copy of the project specific WQMP shall be submitted to the Flood Control District for review and approval. All proposed BMP's shall be shown on the grading plan (COA 60.Flood RI.07 and 80.Flood RI.02).

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Prior to the issuance of permits, grading or building, the project must pay flood mitigation fee to the Salt Creek Channel Area Drainage. (COA 60.Flood Ri.08, and 80.Flood Ri.04)

Prior to grading permit, a copy of the project specific WQMP shall be submitted to the District for review and approval. (COA 60. Flood Ri. 09)

Monitoring: Monitoring shall be conducted by the Flood Control District during the Building and Safety Plan check process.

24. Floodplains

Degree of Suitability in 100-Year Floodplains. As indicated below, the appropriate Degree of Suitability has been checked.

	NA - Not Applicable <input checked="" type="checkbox"/>	U - Generally Unsuitable <input type="checkbox"/>	R - Restricted <input type="checkbox"/>	No Impact <input type="checkbox"/>
a) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner that would result in flooding on- or off-site?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Changes in absorption rates or the rate and amount of surface runoff?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam (Dam Inundation Area)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Changes in the amount of surface water in any water body?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan Figure S-9 "100- and 500-Year Flood Hazard Zones," Figure S-10 "Dam Failure Inundation Zone," Riverside County Flood Control District Flood Hazard Report/Condition, GIS database

Findings of Fact:

- a) The project site is a long rectangular shaped lot with the majority of the project site proposed to be developed. The southwest corner of site is within a mapped Zone "A" floodplain, as delineated on Panel Number 06065C-2080G of the Flood Insurance Rate Maps issued in conjunction with the National Flood Insurance Program (NFIP) administered by the Federal Emergency Management Agency (FEMA). Any development within the FEMA floodplain will require a Conditional Letter of Map Revision (CLOMR) prior to grading and prior to building and will require Letter of Map Revision (LOMR) prior to occupancy. (COA 80. Flood Ri.06). Therefore, with incorporated mitigation, the project shall not substantially alter the existing drainage pattern of the site or area, including the alteration of the course of a stream or river, in a manner that would result in substantial erosion or siltation on- or off-site.
- b) A portion of the project site is located in a 100-year flood plain, however, no development is proposed within this area. As such, this proposal will not increase flow rates on downstream property owners; therefore, the project will not result in changes in absorption rates or the rate and amount of surface runoff. Therefore, there is no impact.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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- c) A portion of the project site is located in a 100-year flood plain, however, no development is proposed within this area. The project will not expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam. Therefore, there is no impact.
- d) The project site is not located in a 100-year flood plain. The project will not cause changes in the amount of surface water in any water body. Therefore, there is no impact.

Mitigation: Prior to issuance of buildings permits, any development within the FEMA floodplain will require a Conditional Letter of Map Revision (CLOMR) prior to grading and prior to building and will require Letter of Map Revision (LOMR) prior to occupancy. (COA 80. Flood RI.06 and 90.Flood.RI.06).

Monitoring: Monitoring shall be conducted by the Flood Control District during the Building and Safety Plan check process.

LAND USE/PLANNING Would the project

25. Land Use	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a) Result in a substantial alteration of the present or planned land use of an area?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Affect land use within a city sphere of influence and/or within adjacent city or county boundaries?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: RCIP, GIS database, Project Application Materials,

Findings of Fact:

- a) The project site's general plan land use designation is Community Development: Commercial Retail (CD:CR). The project proposes to permit commercial center on a 3.4 gross acre parcel, and will not negatively impact the existing land uses within the vicinity of the project site. Therefore, the impact is considered less than significant.
- b) The project site is not located within a Sphere of Influence.

Mitigation: No mitigation measures required.

Monitoring: No monitoring measures required.

26. Planning	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a) Be consistent with the site's existing or proposed zoning?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Be compatible with existing surrounding zoning?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Be compatible with existing and planned surrounding land uses?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Be consistent with the land use designations and policies of the Comprehensive General Plan (including those of any applicable Specific Plan)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
e) Disrupt or divide the physical arrangement of an established community (including a low-income or minority community)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Land Use Element, Staff review, GIS database,

Findings of Fact:

- a) The project site is currently zoned Scenic Highway Commercial (C-P-S). Gas stations, restaurants and retail buildings are an approved use with the C-P-S zoning classification with a conditional use permit. The project proposes to construct a 3.4 gross acre commercial center consisting of four (4) buildings totaling 17,401 square feet of building area, 95 standard parking stalls, and 8 handicapped stalls. The proposal consists of a 8,764 square foot retail and specialty food building, a 2,872 square foot fast food restaurant with a drive-thru, a 2,734 square foot fast food restaurant with drive-thru, and a 3,031 square foot gas station and convenience store with concurrent sale of beer and wine for off-premises consumption (Type-20 ABC). Therefore, the project is consistent with the site's existing zoning.
- b) The project site is surrounded by properties zoned Scenic Highway Commercial (C-P-S) to the east and west, Rural Residential (R-R) to the south, and State Highway 74 to the north. The project is conditionally compatible with the existing and allowed uses with the vicinity of the project, and therefore, the impact is considered less than significant.
- c) Existing land uses surrounding the project site include a mixture of vacant land and single family residential with limited agricultural or animal-keeping uses on large lots to the north, south, and west, a gas station exists to the north across-SH-74, and vacant land classified for commercial retail exists to the east. The project will be compatible with the surrounding properties. Therefore, the impact is considered less than significant.
- d) The project site's general plan land use designation is Community Development: Commercial Retail (CD:CR). The project proposes to construct a 3.4 gross acre commercial center consisting of four (4) buildings totaling 17,401 square feet of building area, 95 standard parking stalls, and 8 handicapped stalls. The proposal consists of a 8,764 square foot retail and specialty food building, a 2,872 square foot fast food restaurant with a drive-thru, a 2,734 square foot fast food restaurant with drive-thru, and a 3,031 square foot gas station and convenience store with concurrent sale of beer and wine for off-premises consumption (Type-20 ABC). The project is consistent with the general plan land use of the site.
- e) The proposed project shall not disrupt or divide the physical arrangement of an established community (including a low-income or minority community). The project lies at the base of a small mountain, as a result of topographical restrictions, limited development will occur to the west and north of the project site. Therefore, the impact is considered less than significant.

Mitigation: No mitigation measures required.

Monitoring: No monitoring measures required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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MINERAL RESOURCES Would the project

27. Mineral Resources	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a) Result in the loss of availability of a known mineral resource in an area classified or designated by the State that would be of value to the region or the residents of the State?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Be an incompatible land use located adjacent to a State classified or designated area or existing surface mine?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Expose people or property to hazards from proposed, existing or abandoned quarries or mines?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure OS-5 "Mineral Resources Area."

Findings of Fact:

- a) The project site is located in an area where mineral resources have not been studied; however upon review by the County Geologist, the significance of the loss of availability of a known mineral resource shall be less than significant. According to General Plan Figure OS-5, the proposed project is located in an area that is designated MRZ-3. MRZ-3 is an area where mineral deposits are likely to exist however the significance of the deposits is undetermined. Since the value of the mineral resources which are likely to exist is undetermined the proposed development will have a less than significant impact with regard to impact such deposits.
- b) The project will not result in the loss of availability of a known mineral resource in an area classified or designated by the State that would be of value to the region or the residents of the State. The project will not result in the loss of availability of a locally important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan.
- c) The project will not be an incompatible land use located adjacent to a State classified or designated area or existing surface mine.
- d) The proposed project is not located within the vicinity of any quarries or mines which may pose a risk for people or property. The proposed project will have no impact with regard to exposure to quarries or mines. Therefore, there is no impact.

Mitigation: No mitigation measures required.

Monitoring: No monitoring measures required.

NOISE Would the project result in

Definitions for Noise Acceptability Ratings

Where indicated below, the appropriate Noise Acceptability Rating(s) has been checked.

- NA - Not Applicable
- A - Generally Acceptable
- B - Conditionally Acceptable
- C - Generally Unacceptable
- D - Land Use Discouraged

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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28. Airport Noise

a) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport would the project expose people residing or working in the project area to excessive noise levels?

NA A B C D

b) For a project within the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels?

NA A B C D

Source: Riverside County General Plan Figure S-19 "Airport Locations," County of Riverside Airport Facilities Map,

Findings of Fact:

- a) The project site is not located within an airport land use plan or within two miles of a public airport or public use airport that would expose people residing on the project site to excessive noise levels.
- b) The project is not located within the vicinity of a private airstrip that would expose people residing on the project site to excessive noise levels. There is a private helicopter landing pad on a residential parcel to the southwest of the parcel; however, this is for the private use of the property owner only. Therefore, the impact is considered less than significant.

Mitigation: No mitigation measures required.

Monitoring: No monitoring measures required.

29. Railroad Noise

NA A B C D

Source: Riverside County General Plan Figure C-1 "Circulation Plan", GIS database, On-site Inspection,

Findings of Fact: The project site is not located adjacent to or near an active railroad line. No impacts will occur as a result of the proposed project.

Mitigation: No mitigation measures required.

Monitoring: No monitoring measures required.

30. Highway Noise

NA A B C D

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Source: On-site Inspection, Project Application Materials, Department of Public Health Review, Noise Impact Analysis

Findings of Fact: The project site is located adjacent to two (2) highways, SH-74 and SH-79 (Winchester Road) and will experience exterior noise level impacts. Noise measurements taken on these roads show that existing noise levels range from 61.2 to 74.0 dBA CNEL. The transportation related noise exterior noise level criteria provided in the County of Riverside Noise Element (General Plan) does not identify specific on-site noise level limits for commercial land uses. However, the noise compatibility matrix provided in noise element does provide guidelines for commercial uses according to predicted noise level exposure. This analysis shows that the buildings nearest to SH-74 will be exposed to ambient noise levels considered "conditionally acceptable" for commercial uses. The existing outdoor noise environment is consistent with the proposed commercial land uses and can be developed using conventional construction with closed windows and a fresh air supply system or air conditioning. Therefore, impacts are considered less than significant.

Mitigation: No mitigation measures required.

Monitoring: No monitoring measures required.

31. Other Noise

NA A B C D

Source: Project Application Materials, GIS database.

Findings of Fact: No other noise impacts are expected in or immediately surrounding the project area.

Mitigation: No mitigation measures required.

Monitoring: No monitoring measures required.

32. Noise Effects on or by the Project

a) A substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project?

b) A substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project?

c) Exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?

d) Exposure of persons to or generation of excessive ground-borne vibration or ground-borne noise levels?

Source: Project Application Materials, Department of Public Health Review, Noise Impact Analysis

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Findings of Fact:

a-d) The nuisance noise level impacts of the proposed project will consist primarily of typical commercial center operations, including but not limited to, auto-engine noise, drive-thru speakerphones, and the use of rooftop mounted air conditioning units. The nearest noise sensitive areas are the existing noise sensitive residential land uses to the west and south of the project site. Through design, the project will mitigate potential increases in ambient noise levels by providing a 6-foot high wall along the westerly property of the project and by enclosing all roof-top mechanical equipment or providing a 5-foot parapet wall along rooftops with mechanical equipment or air condition units.

Additionally, Construction activities associated with private development are localized and temporary. The project would potentially cause increased "short term" noise levels in the vicinity of the project site. At about 50 feet from the noise source construction noise levels are generally between 88 and 91 decibels (dB).

These noise receptors could be temporarily exposed to noise levels above the Community noise Equivalent Level (CNEL) of 65dB. Construction activities are during daylight hours, beginning at 7:00 A.M. to 6:00 P.M. and are regulated by County Ordinances. The increase in noise level would only occur during project construction and noise impact would be insignificant.

The project does not require the blasting of rock formations or the use of heavy impact equipment for driving piles. Any vibration from conventional earth moving and paving equipment should be less significant, if at all physically noticeable.

Mitigation: No mitigation measures required.

Monitoring: No monitoring measures required.

POPULATION AND HOUSING Would the project

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
33. Housing	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a) Displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Create a demand for additional housing, particularly housing affordable to households earning 80% or less of the County's median income?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Displace substantial numbers of people, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Affect a County Redevelopment Project Area?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
e) Cumulatively exceed official regional or local population projections?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) Induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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of roads or other infrastructure)?

Source: Project Application Materials, GIS database, Riverside County General Plan Housing Element, Review by Riverside County Redevelopment Agency

Findings of Fact:

- a) The project site currently contains no existing homes that or structures onsite; therefore, the proposed project will not displace substantial numbers of people, necessitating the construction of replacement housing elsewhere.
- b) The project may create employment opportunities, but not substantial enough to create a demand for additional housing. Therefore, the impact is considered less than significant.
- c) The project site does not contain housing; therefore, the proposed project will not displace substantial numbers of people, necessitating the construction of replacement housing elsewhere. Therefore, there is no impact.
- d) The project is located within the Mid County Project Area (MCPA) (Homeland/Green Acres Sub Area) Redevelopment Project Area. The mission of the Redevelopment Agency is to eliminate blight and prevent the potential for future blight in and ultimately add value to, all redevelopment projects by recommending approval projects that meet the highest standards of quality possible. This is a particular concern in the Homeland/Green Acres sub-area where blighting conditions are still present. It is of absolute importance that all new development in the sub-area be designed to upgrade the aesthetics of the surrounding area and minimize the potential for environmental degradation and issues relating to the health, safety, and welfare of the public. All applicable components of the proposed project shall conform to the commercial development design criteria found in the *Third and Fifth District Design Guidelines (July 17, 2001)* (COA 10.PLANNING.45) Additionally, Prior to the installation of any signage on the project site, a minor plot plan for outdoor/on-site signage shall be submitted to the Redevelopment Agency for review and comment. (COA 80.PLANNING.25)
- e) The project is consistent with the general plan land use designation of the site. The project will not cumulatively exceed official regional or local population projections. Therefore, there is no impact.
- f) The project will not induce substantial population growth in an area. Therefore, there is no impact.

Mitigation: Prior to the issuance of Building Permits a clearance letter from Economic Development Agency shall be provided to the Riverside County Planning Department verifying compliance with the conditions contained in their letter dated April 14, 2008, summarized as follows: "Prior to the installation of any signage on the project site, a minor plot plan for outdoor/on-site signage shall be submitted to the Redevelopment Agency for review and comment." (COA 80.PLANNING.25)

Monitoring: Monitoring shall be conducted by Planning Department during the Building and Safety Plan check process.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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PUBLIC SERVICES Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered government facilities or the need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:

34. Fire Services

Source: Riverside County General Plan Safety Element

Findings of Fact:

The project area is serviced by the Riverside County Fire Department. Any potential significant effects will be mitigated by the payment of standard fees to the County of Riverside. The project will not directly physically alter existing facilities or result in the construction of new facilities. Any construction of new facilities required by the cumulative effects of surrounding projects would have to meet all applicable environmental standards. The project shall comply with County Ordinance No. 659 to mitigate the potential effects to fire services. (COA 90.PLANNING.33) This is a standard condition of approval and pursuant to CEQA is not considered mitigation.

Mitigation: No mitigation measures required

Monitoring: No monitoring measures required.

35. Sheriff Services

Source: RCIP

Findings of Fact:

The project area is serviced by the Riverside County Sheriff's Department. Any potential significant effects will be mitigated by the payment of standard fees to the County of Riverside. The project will not directly physically alter existing facilities or result in the construction of new facilities. Any construction of new facilities required by the cumulative effects of surrounding projects would have to meet all applicable environmental standards. The project shall comply with County Ordinance No. 659 to mitigate the potential effects to fire services. (COA 90.PLANNING.33) This is a standard condition of approval and pursuant to CEQA is not considered mitigation.

Mitigation: No mitigation measures required

Monitoring: No monitoring measures required.

36. Schools

Source: Hemet Unified School District correspondence, GIS database

Findings of Fact:

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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The project will not physically alter existing facilities or result in the construction of new or physically altered facilities. The proposed project is located within the Hemet Unified School District. Any construction of new facilities required by the cumulative effects of this project and surrounding projects would have to meet all applicable environmental standards. This project has been conditioned to comply with School Mitigation Impact fees in order to mitigate the potential effects to school services. (COA 80.PLANNING.30) This is a standard condition of approval and pursuant to CEQA is not considered mitigation.

Mitigation: No mitigation measures required

Monitoring: No monitoring measures required.

37. Libraries

Source: RCIP

Findings of Fact:

The proposed project will not create a significant incremental demand for library services. The project will not require the provision of new or altered government facilities at this time. Any construction of new facilities required by the cumulative effects of surrounding projects would have to meet all applicable environmental standards. This project shall comply with County Ordinance No. 659 to mitigate the potential effects to library services. (COA 90.PLANNING.33) This is a standard condition of approval and pursuant to CEQA is not considered mitigation.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures required.

38. Health Services

Source: RCIP

Findings of Fact:

In the event of an emergency, employees of the proposed project may access several hospitals located within the service parameters of County health centers. Because the project involves business development, the demand for health services will remain relatively constant over time. Because the project is located within the service area of several health care facilities, the project impacts are considered to be less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures required.

RECREATION

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
39. Parks and Recreation	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a) Would the project include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Would the project include the use of existing neighborhood or regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Is the project located within a C.S.A. or recreation and park district with a Community Parks and Recreation Plan (Quimby fees)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: GIS database, Ord. No. 460, Section 10.35 (Regulating the Division of Land – Park and Recreation Fees and Dedications), Ord. No. 659 (Establishing Development Impact Fees).

Findings of Fact:

- a-b) The proposed commercial center will not require the construction or expansion of recreational facilities. Therefore, no impacts associated with recreational facilities are anticipated.
- c) The project site is located within Valley-Wide Recreation and Parks District. Non-residential projects are not subject to Quimby Fees, therefore no impacts to parks and recreation will occur.

Mitigation: No mitigation measures required

Monitoring: No monitoring measures required.

40. Recreational Trails	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Source: Riv. Co. 800 Scale Equestrian Trail Maps, San Jacinto Valley Area Plan.

Findings of Fact:

- a) There are no General Plan designated trails adjacent to the project site, therefore no bike trails are proposed.

Mitigation: No mitigation measures required

Monitoring: No monitoring measures required.

TRANSPORTATION/TRAFFIC Would the project

41. Circulation	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a) Cause an increase in traffic which is substantial in relation to the existing traffic load and capacity of the street system (i.e., result in a substantial increase in either	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
the number of vehicle trips, the volume to capacity ratio on roads, or congestion at intersections)?				
b) Result in inadequate parking capacity?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c) Exceed, either individually or cumulatively, a level of service standard established by the county congestion management agency for designated road or highways?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Alter waterborne, rail or air traffic?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) Substantially increase hazards to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g. farm equipment)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g) Cause an effect upon, or a need for new or altered maintenance of roads?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h) Cause an effect upon circulation during the project's construction?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
i) Result in inadequate emergency access or access to nearby uses?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
j) Conflict with adopted policies supporting alternative transportation (e.g. bus turnouts, bicycle racks)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: RCIP

Findings of Fact:

- a) The development of a commercial center on 3.4 gross acres will not cause a significant increase in traffic which is substantial in relation to the existing traffic load and capacity of the street system (i.e. result in a substantial increase in either the number of vehicle trips, the volume to capacity ratio on roads, or congestion at intersections).
- b) The project proposes 103 parking spaces (95 standard and 8 accessible) and will result in adequate parking capacity. Although the proposed amount does not meet the minimum requirements of 109 spaces per the County's Off-Street Parking ordinance section, an exception has been allowed due to topographical restraints within the project site.
- c) The project will not exceed either individually or cumulatively, a level of service standard established by the county congestion management agency for designated road or highway.
- d) The project will not result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks.
- e) The project will not alter waterborne, rail or air traffic.
- f) The project will not substantially increase hazards to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g. farm equipment).

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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- g) The project has been required to make improvements to the adjacent County Maintained roads and State Highways Old Highway 74, SH-74, and SH-79 (Winchester Road). These improvements are required for all General Plan designated roads. Therefore no unique mitigation is required and impacts shall be less than significant.
- h) The construction of a commercial center will not have a significant effect the existing circulation. Primary access shall be taken off of State Route 74 and Secondary access shall be taken off Old Highway 74. Required improvement will limit any significant effects on the current circulation.
- i) The project site provides sufficient alternate or secondary access therefore impacts relating to emergency access or access to nearby uses is less than significant.
- j) The project does is in conformance with adopted policies supporting alternative transportation (e.g. bus turnouts, bicycle racks). A bus turnout will be constructed along Winchester Road and the project site incorporation bicycle racks.

Mitigation: No mitigation measures required

Monitoring: No monitoring measures required.

42. Bike Trails	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Source: RCIP

Findings of Fact: There are no General Plan designated bike trails adjacent to the project site therefore no bike trails are proposed.

Mitigation: No mitigation measures required

Monitoring: No monitoring measures required.

UTILITY AND SERVICE SYSTEMS Would the project

43. Water	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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a) Require or result in the construction of new water treatment facilities or expansion of existing facilities, the construction of which would cause significant environmental effects?

b) Have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Source: Department of Environmental Health Review

Findings of Fact:

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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- a) The project will be served by Eastern Municipal Water District (EMWD) pursuant to the arrangement of financial agreements. The project will not physically alter existing facilities. Any construction of new facilities required by the cumulative effects of this project and surrounding projects would have to meet all applicable environmental standards. Therefore, the impact is considered less than significant. (COA 10. E. HEALTH.02)
- b) The project will have sufficient water supplies available to serve the project by Eastern Municipal Water District (EMWD) pursuant to the arrangement of financial agreements. Therefore, the impact is considered less than significant.

Mitigation: No mitigation measures required.

Monitoring: No monitoring measures required.

44. Sewer

a) Require or result in the construction of new wastewater treatment facilities, including septic systems, or expansion of existing facilities, the construction of which would cause significant environmental effects?

b) Result in a determination by the wastewater treatment provider that serves or may service the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?

Source: Department of Environmental Health Review

Findings of Fact:

a-b) Wastewater or sewage from residential subdivision would be treated at EMWD wastewater treatment plant in San Jacinto. The treatment plant has the capacity to accept the discharge from the residential subdivision as presently zoned in accordance with the General Plan. (COA 10. E. HEALTH.02). Therefore, the impact is considered less than significant.

Mitigation: No mitigation measures required.

Monitoring: No monitoring measures required.

45. Solid Waste

a) Is the project served by a landfill with sufficient permitted capacity to accommodate the project's solid waste disposal needs?

b) Comply with federal, state, and local statutes and regulations related to solid wastes (COA including the CIWMP (COA County Integrated Waste Management Plan)?

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Source: RCIP, Riverside County Waste Management District correspondence

Findings of Fact:

a-b) According to the Riverside County Waste Management Department, the proposed project has the potential to impact landfill capacity from the generation of solid waste during construction. The project will not physically alter existing facilities or result in the construction of new or physically altered facilities. Any construction of new facilities required by the cumulative effects of this project and surrounding projects would have to meet all applicable environmental standards. Therefore, the impact is considered less than significant.

Mitigation: No mitigation measures required

Monitoring: No monitoring measures required.

46. Utilities

a) Would the project impact the following facilities requiring or resulting in the construction of new facilities or the expansion of existing facilities; the construction of which could cause significant environmental effects?

a) Electricity?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Natural gas?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Communications systems?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Storm water drainage?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Street lighting?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) Maintenance of public facilities, including roads?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g) Other governmental services?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h) Conflict with adopted energy conservation plans?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: RCIP

a-h) Implementation of the project will result in an incremental system capacity demand for energy systems, communication systems, storm water drainage systems, street lighting systems, maintenance of public facilities, including roads and potentially other governmental services. Each of the utility systems, including collection of solid waste, is available at the project site and lines will have to be extended onto the site, which will already be disturbed by grading and other construction activities. These impacts are considered less than significant based on the availability of existing public facilities that support local systems. The project will not conflict with adopted energy conservation plans.

Compliance with the requirements of Southern California Edison, Eastern Municipal Water District, Verizon, Riverside County Flood Control and Riverside County Transportation Department will ensure that potential impacts to utility systems are reduced to a non-significant level.

Based on data available at this time, no offsite utility improvements will be required to support this project, other than improvement of local roadways. Therefore, the impact is considered less than significant

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Mitigation: No mitigation measures required

Monitoring: No monitoring measures required.

MANDATORY FINDINGS OF SIGNIFICANCE

47. Does the project have the potential to substantially degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare, or endangered plant or animal to eliminate important examples of the major periods of California history or prehistory?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Source: Staff review, Project Application Materials

Findings of Fact:

Implementation of the proposed project would not degrade the quality of the environment, substantially reduce the habitat of fish or wildlife species, cause a fish or wildlife populations to drop below self sustaining levels, threaten to eliminate a plant or animal community, or reduce the number or restrict the range of a rare or endangered plant or animal, or eliminate important examples of the major periods of California history or prehistory.

48. Does the project have the potential to achieve short-term environmental goals, to the disadvantage of long-term environmental goals? (A short-term impact on the environment is one that occurs in a relatively brief, definitive period of time while long-term impacts will endure well into the future.)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Source: Staff review, Project Application Materials

Findings of Fact:

The proposed project does not have the potential to achieve short-term environmental goals, to the disadvantage of long-term environmental goals.

49. Does the project have impacts which are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of an individual project are considerable when viewed in connection with the effects of past projects, the effects of other current	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
--	--------------------------	--------------------------	-------------------------------------	--------------------------

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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projects, and the effects of probable future projects as defined in California Code of Regulations, Section 15130)?

Source: Staff review, Project Application Materials

Findings of Fact:

The project does not have impacts which are individually limited, but cumulatively considerable.

50. Does the project have environmental effects that will cause substantial adverse effects on human beings, either directly or indirectly?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Source: Staff review, project application

Findings of Fact:

The proposed project would not result in environmental effects which would cause substantial adverse effects on human beings, either directly or indirectly.

VI. EARLIER ANALYSES

Earlier analyses may be used where, pursuant to the tiering, program EIR, or other CEQA process, an effect has been adequately analyzed in an earlier EIR or negative declaration as per California Code of Regulations, Section 15063 (c)(3)(D). In this case, a brief discussion should identify the following:

Earlier Analyses Used, if any:

Riverside County Integrated Plan (RCIP): Riverside County Integrated Project

Riverside County Land Information System (RCLIS) Website - <http://www3.tlma.co.riverside.ca.us/pa/rclis/index.html>

Location Where Earlier Analyses, if used, are available for review:

GEO No. 2141 County Geologic Report (GEO) No. 2141, submitted for this project (CUP03579) was prepared by G.A. Nicoll and Associates, Inc. and is entitled: "Geotechnical Report Upgrade, Proposed 3.5-Acre Shopping Center Site, SEC of SR #79 and SR #74, Hemet, California", dated February 3, 2009.

In addition, the following Geologic related documents were submitted for this project:

"Geotechnical Feasibility Investigation, 3.5+/- Acre Site, NEC of SR-79 and SR-74, Hemet, California", prepared by G.A. Nicoll and Associates, Inc. and dated October 19, 1998.

"Geotechnical Feasibility Investigation, 3.5+/- Acre Site, NEC of SR-79 and SR-74, Hemet, California", prepared by Pacific Southwest Group and dated December 09, 1999.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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"Response to Supplemental Investigation for the Proposed Hemet Center, APN: 453-103-008 through -014, Located on the Southwest Corner of SR-79 and SR-74, Green Acres Area, Riverside County, California", prepared by LGC Inland and dated October 1, 2009.

Noise Impact Analysis prepares by Urban Crossroads, entitled "Hemet Center Noise Impact Analysis" dated March 6, 2009.

Location: County of Riverside Planning Department
4080 Lemon Street, 9th Floor
Riverside, CA 92505

JH:jh

Y:\Planning Case Files-Riverside office\CUP03579\PC\EA41692.doc
Revised: 5/12/10

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10. GENERAL CONDITIONS

EVERY DEPARTMENT

10. EVERY. 1 USE - PROJECT DESCRIPTION RECOMMND

The use hereby permitted is to construct a 3.4 gross acre commercial center consisting of four (4) buildings totaling 17,401 square feet of building area, 95 standard parking stalls, and 8 handicapped stalls. The proposal consists of a 8,764 square foot retail and specialty food building, a 2,872 square foot fast food restaurant with a drive-thru, a 2,734 square foot fast food restaurant with drive-thru, and a 3,031 square foot gas station and convenience store with concurrent sale of beer and wine for off-premises consumption (Type-20 ABC).

10. EVERY. 2 USE - HOLD HARMLESS RECOMMND

The applicant/permittee or any successor-in-interest shall defend, indemnify, and hold harmless the County of Riverside (COUNTY) its agents, officers, or employees from any claim, action, or proceeding against the COUNTY, its agents, officers, or employees to attack, set aside, void, or annul an approval of the COUNTY, its advisory agencies, appeal boards, or legislative body concerning CUP03579. The COUNTY will promptly notify the applicant/permittee of any such claim, action, or proceeding against the COUNTY and will cooperate fully in the defense. If the COUNTY fails to promptly notify the applicant/permittee of any such claim, action, or proceeding or fails to cooperate fully in the defense, the applicant/permittee shall not, thereafter, be responsible to defend, indemnify, or hold harmless the COUNTY.

10. EVERY. 3 USE - DEFINITIONS RECOMMND

The words identified in the following list that appear in all capitals in the attached conditions of Conditional Use Permit No. 3579 shall be henceforth defined as follows:

APPROVED EXHIBIT A = Site Plan for Conditional Use Permit No. 3579, Amended No. 3, dated June 9, 2010.

APPROVED EXHIBIT B AND C = Elevations and Floor Plans (Sheets 1-8) for Conditional Use Permit No. 3579, Amended No. 2, dated November 9, 2009.

APPROVED EXHIBIT G = Grading Plan (Sheets 1-2) for Conditional Use Permit No. 3579, Amended No. 3, dated

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10. GENERAL CONDITIONS

10. EVERY. 3 USE - DEFINITIONS (cont.) RECOMMND

June 9, 2010.

APPROVED EXHIBIT L = Conceptual Landscaping Plan for Conditional Use Permit No. 3579, Exhibit L, Amended No. 2, dated November 9, 2009.

APPROVED EXHIBIT S = Signs for Conditional Use Permit No. 3579, Exhibit S, dated June 9, 2010.

[MODIFIED PER SITE CHANGES MADE AT 6/2/10 PLANNING COMMISSION]

BS GRADE DEPARTMENT

10.BS GRADE. 1 USE - GIN INTRODUCTION RECOMMND

Improvements such as grading, filling, over excavation and recompaction, and base or paving which require a grading permit are subject to the included Building and Safety Department Grading Division conditions of approval.

10.BS GRADE. 3 USE-G1.2 OBEY ALL GDG REGS RECOMMND

All grading shall conform to the California Building Code, Ordinance 457, and all other relevant laws, rules, and regulations governing grading in Riverside County and prior to commencing any grading which includes 50 or more cubic yards, the applicant shall obtain a grading permit from the Building and Safety Department.

10.BS GRADE. 4 USE-G1.3 DISTURBS NEED G/PMT RECOMMND

Ordinance 457 requires a grading permit prior to clearing, grubbing, or any top soil disturbances related to construction grading.

10.BS GRADE. 5 USE-G1.6 DUST CONTROL RECOMMND

All necessary measures to control dust shall be implemented by the developer during grading. PM10 plan may be required at the time a grading permit is issued.

10.BS GRADE. 6 USE-G2.3SLOPE EROS CL PLAN RECOMMND

Erosion control - landscape plans, required for manufactured slopes greater than 3 feet in vertical height,

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10. GENERAL CONDITIONS

10.BS GRADE. 6 USE-G2.3SLOPE EROS CL PLAN (cont.) RECOMMND

are to be signed by a registered landscape architect and bonded per the requirements of Ordinance 457 (refer to dept. form 284-47).

10.BS GRADE. 7 USE-G2.5 2:1 MAX SLOPE RATIO RECOMMND

Graded slopes shall be limited to a maximum steepness ratio of 2:1 (horizontal to vertical) unless otherwise approved.

10.BS GRADE. 8 USE-G2.6SLOPE STABL'TY ANLYS RECOMMND

A slope stability report shall be submitted and approved by the County Geologist for all proposed cut or fill slopes steeper than 2:1 (horiz. to vert.) or over 30' in vertical height - unless addressed in a previous report.

10.BS GRADE. 9 USE-G2.7DRNAGE DESIGN Q100 RECOMMND

All grading and drainage shall be designed in accordance with Riverside County Flood Control & Water Conservation District's conditions of approval regarding this application. If not specifically addressed in their conditions, drainage shall be designed to accommodate 100 year storm flows.

Additionally, the Building and Safety Department's conditional approval of this application includes an expectation that the conceptual grading plan reviewed and approved for it complies or can comply with any WQMP (water Quality Management Plan) required by Riverside County Flood Control & Water Conservation District.

10.BS GRADE. 10 USE-G2.8MINIMUM DRNAGE GRADE RECOMMND

Minimum drainage grade shall be 1% except on portland cement concrete where .35% shall be the minimum.

10.BS GRADE. 11 USE-G2.9DRNAGE & TERRACING RECOMMND

Provide drainage facilities and terracing in conformance with the California Building Code's chapter on "GRADING".

10.BS GRADE. 12 USE-G2.10 SLOPE SETBACKS RECOMMND

Observe slope setbacks from buildings & property lines per the California Building Code as amended by Ordinance 457.

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10. GENERAL CONDITIONS

10.BS GRADE. 13 USE-G2.23 OFFST. PAVED PKG RECOMMND

All offstreet parking areas which are conditioned to be paved shall conform to Ordinance 457 base and paving design and inspection requirements.

10.BS GRADE. 14 USE-G.3.1NO B/PMT W/O G/PMT RECOMMND

Prior to the issuance of any building permit, the property owner shall obtain a grading permit and/or approval to construct from the Grading Division of the Building and Safety Department.

10.BS GRADE. 15 USE-G3.3RETAINING WALLS RECOMMND

Lots which propose retaining walls will require separate permits. They shall be obtained prior to the issuance of any other building permits - unless otherwise approved by the Building and Safety Director. The walls shall be designed by a Registered Civil Engineer - unless they conform to the County Standard Retaining Wall designs shown on the Building and Safety Department form 284-197.

10.BS GRADE. 16 USE-G3.4CRIB/RETAIN'G WALLS RECOMMND

Cribwall (retaining) walls shall be designed by a qualified professional who shall provide the following information for review and approval - this shall be in addition to standard retaining wall data normally required. The plans shall clearly show: soil preparation and compaction requirements to be accomplished prior to footing-first course installation, method/requirement of footing-first course installation, properties of materials to be used (i.e. Fc=2500 p.s.i.). Additionally special inspection by the manufacturer/dealer and a registered special inspector will be required.

10.BS GRADE. 17 USE-G4.1E-CL 4:1 OR STEEPER RECOMMND

lant & irrigate all manufactured slopes steeper than a 4:1 (horizontal to vertical) ratio and 3 feet or greater in vertical height with grass or ground cover; slopes 15 feet or greater in vertical height shall be planted with additional shrubs or trees or as approved by the Building & Safety Department's Erosion Control Specialist.

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10. GENERAL CONDITIONS

10.BS GRADE. 18 USE-G4.3PAVING INSPECTIONS RECOMMND

The developer/applicant shall be responsible for obtaining the paving inspections required by Ordinance 457.

10.BS GRADE. 19 USE-G2.17LOT TO LOT DRN ESMT RECOMMND

A recorded easement is required for lot to lot drainage.

10.BS GRADE. 20 USE-G1.4 NPDES/SWPPP RECOMMND

Prior to issuance of any grading or construction permits - whichever comes first - the applicant shall provide the Building and Safety Department evidence of compliance with the following: "Effective March 10, 2003 owner operators of grading or construction projects are required to comply with the N.P.D.E.S. (National Pollutant Discharge Elimination System) requirement to obtain a construction permit from the State Water Resource Control Board (SWRCB). The permit requirement applies to grading and construction sites of "ONE" acre or larger. The owner operator can comply by submitting a "Notice of Intent" (NOI), develop and implement a STORM WATER POLLUTION PREVENTION PLAN (SWPPP) and a monitoring program and reporting plan for the construction site.

For additional information and to obtain a copy of the NPDES State Construction Permit contact the SWRCB at (916) 657-1146.

Additionally, at the time the county adopts, as part of any ordinance, regulations specific to the N.P.D.E.S., this project (or subdivision) shall comply with them.

E HEALTH DEPARTMENT

10.E HEALTH. 1 PAR - HAZMAT UST PLANS RECOMMND

Construction plans must be reviewed and approved by the Hazardous Materials Division prior to the installation of the underground storage tank (UST) system. Contact Haz Mat at (951) 358-5055 for current fees.

10.E HEALTH. 2 EMWD WATER AND SEWER SERVICE RECOMMND

Conditional Use Permit#3579 is proposing Eastern Municipal Water District (EMWD) water and sewer service. It

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10. GENERAL CONDITIONS

10.E HEALTH. 2 EMWD WATER AND SEWER SERVICE (cont.) RECOMMND

is the responsibility of the developer to ensure that all requirements to obtain water and sewer service are met with EMWD, as well as, all other applicable agencies.

FIRE DEPARTMENT

10.FIRE. 1 USE-#50-BLUE DOT REFLECTOR RECOMMND

Blue retroreflective pavement markers shall be mounted on private street, public streets and driveways to indicate location of fire hydrants. Prior to installation, placement of markers must be approved by the Riverside County Fire Department.

10.FIRE. 2 USE-#23-MIN REQ FIRE FLOW RECOMMND

Minimum required fire flow shall be 1500 GPM for a 2 hour duration at 20 PSI residual operating pressure, which must be available before any combustible material is placed on the job site. Fire flow is based on type VN construction per the 2007 CBC and Building(s) having a fire sprinkler system.

10.FIRE. 3 USE-#31-ON/OFF NOT LOOPED HYD RECOMMND

A combination of on-site and off-site super fire hydrant(s) (6"x4"x 2-2-1/2"), will be located not less than 25 feet or more than 165 feet from any portion of the building as measured along approved vehicular travel ways. The required fire flow shall be available from any adjacent hydrants(s) in the system.

10.FIRE. 4 USE-#84-TANK PERMITS RECOMMND

Applicant or Developer shall be responsible for obtaining under/aboveground fuel, chemical and mixed liquid storage tank permits, from the Riverside County Fire Department and Environmental Health Departments. Plans must be submitted for approval prior to installation. Aboveground fuel/mixed liquid tanks(s) shall meet the following standard: Tank must be tested and labeled to UL2085 Protected Tank Standard or SwRI 93-01. The test must include the Projectile Penetration Test and the Heavy Vehicle Impact Test. A sample copy of the tank's label from an independent test laboratory must be included with your plans.

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10. GENERAL CONDITIONS

FLOOD RI DEPARTMENT

10.FLOOD RI. 1

USE FLOOD HAZARD REPORT

RECOMMND

Conditional Use Permit 03579 is a proposal to construct fast food, convenience store, and gas station on a 3.4-acre site in the in the Homeland area. The site is located on the southwest corner of Highway 74 and Highway 79.

Our review indicates that the southwest corner of site is within a mapped Zone "A" floodplain, as delineated on Panel Number 06065C-2080G of the Flood Insurance Rate Maps issued in conjunction with the National Flood Insurance Program (NFIP) administered by the Federal Emergency Management Agency (FEMA). The site also receives tributary offsite flows from three Caltrans culverts. Approximately 32 cfs and 34 cfs of strom runoff is delivered to the site via two 24-inch CMP Caltrans culverts located at the northern-central and northeastern corner of the site, respectively. An additional 20 cfs is delivered via an 18-inch culvert located near the southeast corner of the site. The proposed project would result in creating increased runoff and would impact the water quality. The developer proposes to mitigate the increased runoff impacts by collecting the onsite flows and discharging it into an underground detention basin. The onsite flows will be treated by enhanced grassy swale before discharging into a storm drain. After running through an enhanced grassy swale the onsite flows would confluence with the offsite flows at the southwest corner of the site. Once the flows have reached the southwestern corner of the site then it is conveyed in the proposed storm drain system along Old State Highway 74 in a westerly direction, and outlet into a proposed small earthen channel. This earthen channel would be constructed along a property line of two properties on the south side of Highway 74. The developer has obtained permission from the affected property owners for the construction of the channel. This channel will not be maintained by the District the developer shall come up with the mechanism to maintain this channel. The developer has submitted a hydrology study and a preliminary water quality management plan received on November 5, 2009.

The proposed detention basin is sized using HEC 1 analysis, based on the difference in volume 10-year 24 hr pre development and post development. An enhanced grassy swale is proposed along the southwestern boundary to mitigate for

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10. GENERAL CONDITIONS

10.FLOOD RI. 1 USE FLOOD HAZARD REPORT (cont.) RECOMMND

water quality. Conceptually the increased runoff and the water quality mitigation are acceptable to the District, but may need additional work at the final plan check stage.

Any development within the the FEMA floodplain will require a Conditional Letter of Map Revision (CLOMR) prior to grading and prior to building and will require Letter of Map Revision (LOMR) prior to occupancy.

It should be noted that the site is located within the bounds of the Winchester/North Hemet portion of the Salt Creek Channel Area Drainage Plans (ADP) for which drainage fees have been established by the Board of Supervisors. Applicable ADP fees will be due (in accordance with the Rules and Regulations for Administration of Area Drainage Plans) prior to permits for this project. Although the current fee for this ADP is \$131 per acre, the fee due will be based on the fee in effect at the time of payment.

10.FLOOD RI. 4 USE 100 YR SUMP OUTLET RECOMMND

Drainage facilities outletting sump conditions shall be designed to convey the tributary 100 year storm flows. Additional emergency escape shall also be provided.

10.FLOOD RI. 5 USE PERP DRAINAGE PATTERNS RECOMMND

The property's grading shall be designed in a manner that perpetuates the existing natural drainage patterns with respect to tributary drainage area, outlet points and outlet conditions; otherwise, a drainage easement shall be obtained from the affected property owners for the release of concentrated or diverted storm flows. A copy of the recorded drainage easement shall be submitted to the District for review.

10.FLOOD RI. 6 USE COORDINATE DRAINAGE DESIGN RECOMMND

Development of this property shall be coordinated with development of adjacent properties to ensure that watercourses remain unobstructed and stormwaters are not diverted from one watershed to another. This may require the construction of temporary drainage facilities or offsite construction and grading. A drainage easement shall be obtained from the affected property owners for the release of concentrated or diverted storm flows. A copy of

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10. GENERAL CONDITIONS

10.FLOOD RI. 6 USE COORDINATE DRAINAGE DESIGN (cont.) RECOMMND

the recorded drainage easement shall be submitted to the District for review.

10.FLOOD RI. 10 USE INCREASED RUNOFF RECOMMND

The development of this site will adversely impact downstream property owners by increasing the rate and volume of flood flows. To mitigate this impact, the developer has proposed a detention basin. Although final design of the basin will not be required until the improvement plan stage of this development, the applicant's engineer has submitted a preliminary hydrology and hydraulics study that indicates that the general size, shape, and location of the proposed basin is sufficient to mitigate the impacts of the development.

10.FLOOD RI. 11 USE INCREASED RUNOFF CRITERIA RECOMMND

The development of this site would increase peak flow rates on downstream properties. Mitigation shall be required to offset such impacts. An increased runoff basin shall be shown on the exhibit and calculations supporting the size of the basin shall be submitted to the District for review.

The entire area of proposed development will be routed through a detention facility(s) to mitigate increased runoff. All basins must have positive drainage; dead storage basins shall not be acceptable.

A complete drainage study including, but not limited to, hydrologic and hydraulic calculations for the proposed detention basin shall be submitted to the District for review and approval.

Storms to be studied will include the 1-hour, 3-hour, 6-hour and 24-hour duration events for the 2-year, 5-year and 10-year return frequencies. Detention basin(s) and outlet(s) sizing will ensure that none of these storm events has a higher peak discharge in the post-development condition than in the pre-development condition. For the 2-year and 5-year events the loss rate will be determined using an AMC I condition. For the 10-year event AMC II will be used. Constant loss rates shall be used for the 1-hour, 3-hour and 6-hour events. A variable loss rate shall be used for the 24-hour events.

Low Loss rates will be determined using the following:

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10. GENERAL CONDITIONS

10.FLOOD RI. 11

USE INCREASED RUNOFF CRITERIA (cont.)

RECOMMND

1. Undeveloped Condition --> LOW LOSS = 90%
2. Developed Condition --> LOW LOSS = .9 - (.8x%IMPERVIOUS)
3. Basin Site --> LOW LOSS = 10%

Where possible and feasible the on-site flows should be mitigated before combining with off-site flows to minimize the size of the detention facility required. If it is necessary to combine off-site and on-site flows into a detention facility two separate conditions should be evaluated for each duration/return period/before-after development combination studied; the first for the total tributary area (off-site plus on-site), and the second for the area to be developed alone (on-site). It must be clearly demonstrated that there is no increase in peak flow rates under either condition (total tributary area or on-site alone), for each of the return period/duration combinations required to be evaluated. A single plot showing the pre-developed, post-developed and routed hydrographs for each storm considered, shall be included with the submittal of the hydrology study.

No outlet pipe(s) will be less than 18" in diameter. Where necessary an orifice plate may be used to restrict outflow rates. Appropriate trash racks shall be provided for all outlets less than 48" in diameter.

The basin(s) and outlet structure(s) must be capable of passing the 100-year storm without damage to the facility. Embankment shall be avoided in all cases unless site constraints or topography make embankment unavoidable in the judgment of the General Manager-Chief Engineer.

Mitigation basins should be designed for joint use and be incorporated into open space or park areas. Sideslopes should be no steeper than 4:1 and depths should be minimized where public access is uncontrolled.

A viable maintenance mechanism, acceptable to both the County and the District, should be provided for detention facilities. Generally, this would mean a CSA, landscape district, parks agency or commercial property owners association.

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10. GENERAL CONDITIONS

10.FLOOD RI. 13 USE WQMP ESTABL MAINT ENTITY

RECOMMND

This project proposes BMP facilities that will require maintenance by public agency or commercial property owner association. To ensure that the public is not unduly burdened with future costs, prior to final approval or recordation of this case, the District will require an acceptable financial mechanism be implemented to provide for maintenance of treatment control BMPs in perpetuity. This may consist of a mechanism to assess individual benefiting property owners, or other means approved by the District. The site's treatment control BMPs must be shown on the project's improvement plans - either the street plans, grading plans, or landscaping plans. The type of improvement plans that will show the BMPs will depend on the selected maintenance entity.

10.FLOOD RI. 14 USE SUBMIT FINAL WQMP>PRELIM

RECOMMND

In compliance with Santa Ana Region and San Diego Region Regional Water Quality Control Board Orders, and Beginning January 1, 2005, projects submitted within the western region of the unincorporated area of Riverside County for discretionary approval will be required to comply with the Water Quality Management Plan for Urban Runoff (WQMP). The WQMP addresses post-development water quality impacts from new development and redevelopment projects. The WQMP requirements will vary depending on the project's geographic location (Santa Ana, Santa Margarita or Whitewater River watersheds). The WQMP provides detailed guidelines and templates to assist the developer in completing the necessary studies. These documents are available on-line at:
www.rcflood.org/NPDES.

To comply with the WQMP a developer must submit a "Project Specific" WQMP. This report is intended to a) identify potential post-project pollutants and hydrologic impacts associated with the development; b) identify proposed mitigation measures (BMPs) for identified impacts including site design, source control and treatment control post-development BMPs; and c) identify sustainable funding and maintenance mechanisms for the aforementioned BMPs. A template for this report is indicated as 'exhibit A' on the website above. A final Project Specific WQMP must be approved by the District prior to issuance of building or grading permits.

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10. GENERAL CONDITIONS

10.FLOOD RI. 14 USE SUBMIT FINAL WQMP>PRELIM (cont.)

RECOMMND

Projects that require a Project Specific WQMPs were required to submit a PRELIMINARY Project Specific WQMP along with the land-use application package in the tentative phase of development in order to obtain recommended conditions of approval. The developer has submitted a report that minimally meets the criteria for a preliminary project specific WQMP of addressing points a, b, and c above. It shall be noted that while the preliminary project specific WQMP was adequate at that stage, the preliminary WQMP report will need significant revisions at the improvement plan check phase of the development in order to meet the requirements of a final project specific WQMP - including detailed drawings for the BMPs along with all supporting calculations. It should also be noted that if 401 certification is necessary for the project, the Water Quality Control Board may require additional water quality measures.

10.FLOOD RI. 16 USE BMP MAINTENANCE & INSPECT

RECOMMND

The BMP maintenance plan shall contain provisions for all treatment controlled BMPs to be inspected, and if required, cleaned no later than October 15 each year. Required documentation shall identify the entity that will inspect and maintain all structural BMPs within the project boundaries. A copy of all necessary documentation shall be submitted to the District for review and approval prior to the issuance of occupancy permits.

PLANNING DEPARTMENT

10.PLANNING. 3 USE - LOW PALEO

RECOMMND

According to the County's General Plan, this site has been mapped as having a "Low Potential" for paleontological resources. This category encompasses lands for which previous field surveys and documentation demonstrates a low potential for containing significant paleontological resources subject to adverse impacts. As such, this project is not anticipated to require any direct mitigation for paleontological resources. However, should fossil remains be encountered during site development:

1.All site earthmoving shall be ceased in the area of where the fossil remains are encountered. Earthmoving activities may be diverted to other areas of the site.

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10. GENERAL CONDITIONS

10. PLANNING. 3

USE - LOW PALEO (cont.)

RECOMMND

2. The applicant shall retain a qualified paleontologist approved by the County of Riverside.

3. The paleontologist shall determine the significance of the encountered fossil remains.

4. Paleontological monitoring of earthmoving activities will continue thereafter on an as-needed basis by the paleontologist during all earthmoving activities that may expose sensitive strata. Earthmoving activities in areas of the project area where previously undisturbed strata will be buried but not otherwise disturbed will not be monitored. The supervising paleontologist will have the authority to reduce monitoring once he/she determines the probability of encountering any additional fossils has dropped below an acceptable level.

5. If fossil remains are encountered by earthmoving activities when the paleontologist is not onsite, these activities will be diverted around the fossil site and the paleontologist called to the site immediately to recover the remains.

6. Any recovered fossil remains will be prepared to the point of identification and identified to the lowest taxonomic level possible by knowledgeable paleontologists. The remains then will be curated (assigned and labeled with museum* repository fossil specimen numbers and corresponding fossil site numbers, as appropriate; places in specimen trays and, if necessary, vials with completed specimen data cards) and catalogued, an associated specimen data and corresponding geologic and geographic site data will be archived (specimen and site numbers and corresponding data entered into appropriate museum repository catalogs and computerized data bases) at the museum repository by a laboratory technician. The remains will then be accessioned into the museum* repository fossil collection, where they will be permanently stored, maintained, and, along with associated specimen and site data, made available for future study by qualified scientific investigators. * The County of Riverside must be consulted on the repository/museum to receive the fossil material prior to being curated.

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10. GENERAL CONDITIONS

10. PLANNING. 4

USE - GEO02141

RECOMMND

County Geologic Report (GEO) No. 2141, submitted for this project (CUP03579) was prepared by G.A. Nicoll and Associates, Inc. and is entitled: "Geotechnical Report Upgrade, Proposed 3.5-Acre Shopping Center Site, SEC of SR #79 and SR #74, Hemet, California", dated February 3, 2009.

In addition, the following documents were submitted for this project:

"Geotechnical Feasibility Investigation, 3.5+/- Acre Site, NEC of SR-79 and SR-74, Hemet, California", prepared by G.A. Nicoll and Associates, Inc. and dated October 19, 1998.

"Geotechnical Feasibility Investigation, 3.5+/- Acre Site, NEC of SR-79 and SR-74, Hemet, California", prepared by Pacific Southwest Group and dated December 09, 1999.

"Response to Supplemental Investigation for the Proposed Hemet Center, APN: 453-103-008 through -014, Located on the Southwest Corner of SR-79 and SR-74, Green Acres Area, Riverside County, California", prepared by LGC Inland and dated October 1, 2009.

These documents are herein incorporated as a part of GEO02141.

GEO02141 concluded:

1.LGC is the geotechnical engineer of record for this project (CUP03579).

2.Groundwater is not anticipated to be encountered during grading and is not considered a constraint for the proposed development.

3.Review of geologic maps/literature, geologic mapping during LGC's field investigation and review of aerial photographs did not indicate evidence of faulting, landsliding or slope instability through the subject site.

4.The potential for fault rupture should be considered very low.

5.The potential for liquefaction at the subject site is anticipated to be very low.

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10. GENERAL CONDITIONS

10.PLANNING. 4 USE - GEO02141 (cont.)

RECOMMND

6. There is a potential for seismically induced dry sand settlement of the left in place Quaternary older alluvial fan deposits, with settlements of up to .5 inch.

7. Soils underlying the remedial removal depths are considered to have a very low to low hydro-consolidation potential.

GEO02141 recommended:

1. Compressible materials not removed by the planned grading should be excavated to competent material and replaced with compacted fill soils.

2. Removal bottoms should have a minimum of 85 percent relative compaction per ASTM-D-1557 to be considered as a competent bottom.

3. Material that is removed may be placed as fill provided the material is relatively free from rocks (greater than 6 inches in maximum dimension), organic material and construction debris, is moisture-conditioned or dried (as needed) to obtain above-optimum moisture content, and then recompacted prior to additional fill placement or construction.

GEO No. 2141 satisfies the requirement for a Geologic Study for Planning / CEQA purposes. GEO No. 2141 is hereby accepted for Planning purposes. This approval is not intended, and should not be misconstrued as approval for grading permit. Engineering and other building code parameters will be reviewed and additional comments and/or conditions may be imposed by the Building and Safety Department upon application for grading and/or building permits.

10.PLANNING. 5 GEN - IF HUMAN REMAINS FOUND

RECOMMND

The developer/permit holder or any successor in interest shall comply with the following codes for the life of this project:

If human remains are encountered, State Health and Safety Code Section 7050.5 states that no further disturbance shall occur until the County Coroner has made the necessary findings as to origin. Further, pursuant to Public

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10. GENERAL CONDITIONS

10.PLANNING. 5 GEN - IF HUMAN REMAINS FOUND (cont.)

RECOMMND

Resources Code Section 5097.98 (b), remains shall be left in place and free from disturbance until a final decision as to the treatment and their disposition has been made. If the Riverside County Coroner determines the remains to be Native American, the Native American Heritage Commission shall be contacted within the period specified by law. Subsequently, the Native American Heritage Commission shall identify the "Most Likely Descendant." The Most Likely Descendant shall then make recommendations and engage in consultation with the County and the property owner concerning the treatment of the remains as provided in Public Resources Code Section 5097.98. Human remains from other ethnic/cultural groups with recognized historical associations to the project area shall also be subject to consultation between appropriate representatives from that group and the County Planning /Director.

10.PLANNING. 6 GEN - INADVERTANT ARCHAEO FIND

RECOMMND

The developer/permit holder or any successor in interest shall comply with the following for the life of this project:

If during ground disturbance activities, cultural resources are discovered that were not assessed by the archaeological reports and/or environmental assessment conducted prior to project approval, the following procedures shall be followed. A cultural resources site is defined, for this condition, as being three or more artifacts in close association with each other, but may include fewer artifacts if the area of the find is determined to be of significance due to it sacred or cultural importance.

1.All ground disturbance activities within 100 feet of the discovered cultural resource shall be halted until a meeting is convened between the developer, the project archaeologist, the Native American tribal representative (or other appropriate ethnic/cultural group representative), and the Planning Director to discuss the significance of the find.

2.At the meeting, the significance of the discoveries shall be discussed and after consultation with the Native American tribal (or other appropriate ethnic/cultural group representative) and the archaeologist, a decision is made, with the concurrence of the Planning Director, as to the

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10. GENERAL CONDITIONS

10.PLANNING. 6

GEN - INADVERTANT ARCHAEO FIND (cont.)

RECOMMND

appropriate mitigation (documentation, recovery, avoidance, etc) for the cultural resource.

3.Further ground disturbance shall not resume within the area of the discovery until an agreement has been reached by all parties as to the appropriate preservation or mitigation measures.

10.PLANNING. 7

USE - LC LANDSCAPE REQUIREMENT

RECOMMND

The developer/ permit holder shall:

1)Ensure all landscape and irrigation plans are in conformance with the APPROVED EXHIBITS;

2)Ensure all landscaping is provided with California Friendly landscaping and a weather based irrigation controller(s) as defined by County Ordinance No. 859;

3)Ensure that irrigation plans which may use reclaimed water conform with the requirements of the local water purveyor; and,

4)Be responsible for maintenance, viability and upkeep of all slopes, landscaped areas, and irrigation systems until the successful completion of the twelve (12) month inspection or those operations become the responsibility of the individual property owner(s), a property owner's association, or any other successor-in-interest, whichever occurs later.

To ensure ongoing maintenance, the developer/ permit holder or any successor in interest shall:

1)Connect to a reclaimed water supply for landscape irrigation purposes when reclaimed water is made available.

2)Ensure that landscaping, irrigation and maintenance systems comply with the Riverside County Guide to California Friendly Landscaping, and Ordinance No. 859.

3)Ensure that all landscaping is healthy, free of weeds, disease and pests.

08/10/10
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10. GENERAL CONDITIONS

10.PLANNING. 8 USE - COMPLY WITH ORD./CODES RECOMMND

The development of these premises shall comply with the standards of Ordinance No. 348 and all other applicable Riverside County ordinances and State and Federal codes.

The development of the premises shall conform substantially with that as shown on APPROVED EXHIBIT A, unless otherwise amended by these conditions of approval.

10.PLANNING. 9 USE - FEES FOR REVIEW RECOMMND

Any subsequent submittals required by these conditions of approval, including but not limited to grading plan, building plan or mitigation monitoring review, shall be reviewed on an hourly basis (research fee), or other such review fee as may be in effect at the time of submittal, as required by Ordinance No. 671. Each submittal shall be accompanied with a letter clearly indicating which condition or conditions the submittal is intended to comply with.

10.PLANNING. 10 USE - LIGHTING HOODED/DIRECTED RECOMMND

Any outside lighting shall be hooded and directed so as not to shine directly upon adjoining property or public rights-of-way.

10.PLANNING. 13 USE - HOURS OF OPERATION RECOMMND

Use of the facilities approved under this conditional use permit shall be limited to the hours of 6 a.m. to 12 p.m., Monday through Sunday in order to reduce conflict with adjacent residential zones and/or land uses.

10.PLANNING. 14 USE - BASIS FOR PARKING RECOMMND

Parking for this project was determined primarily on the basis of County Ordinance No. 348, Section 18.12. a.(2).b), [General Retail, 1 space/200 sq. ft] and [Restaraunts, 1 space/45 sq. ft. of serving area and 1 space/2 employees].

10.PLANNING. 16 USE - LIMIT ON SIGNAGE RECOMMND

Signage for this project shall be limited to the three (3) signs shown on APPROVED EXHIBIT A. Any additional signage shall be approved by the Planning Department pursuant to the requirements of Section 18.30

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10. GENERAL CONDITIONS

10.PLANNING. 16 USE - LIMIT ON SIGNAGE (cont.) RECOMMND

(Planning Department review only) of Ordinance No. 348.

10.PLANNING. 17 USE - NO OUTDOOR ADVERTISING RECOMMND

No outdoor advertising display, sign or billboard (not including on-site advertising or directional signs) shall be constructed or maintained within the property subject to this approval.

10.PLANNING. 22 USE - RECLAIMED WATER RECOMMND

The permit holder shall connect to a reclaimed water supply for landscape watering purposes when secondary or reclaimed water is made available to the site.

10.PLANNING. 27 USE - EXTERIOR NOISE LEVELS RECOMMND

Exterior noise levels produced by any use allowed under this permit, including, but not limited to, any outdoor public address system, shall not exceed 45 db(A), 10-minute LEQ, between the hours of 10:00 p.m. to 7:00 a.m., and 65 db(A), 10-minute LEQ, at all other times as measured at any residential, hospital, school, library, nursing home or other similar noise sensitive land use. In the event noise exceeds this standard, the permittee or the permittee's successor-in-interest shall take the necessary steps to remedy the situation, which may include discontinued operation of the facilities. The permit holder shall comply with the applicable standards of Ordinance No. 847.

10.PLANNING. 33 USE - CAUSES FOR REVOCATION RECOMMND

In the event the use hereby permitted under this permit, a) is found to be in violation of the terms and conditions of this permit, b) is found to have been obtained by fraud or perjured testimony, or c) is found to be detrimental to the public health, safety or general welfare, or is a public nuisance, this permit shall be subject to the revocation procedures.

10.PLANNING. 34 USE - CEASED OPERATIONS RECOMMND

In the event the use hereby permitted ceases operation for a period of one (1) year or more, this approval shall become null and void.