

APN: 670230016, ASMT: 670230016
PALM SPRINGS CEMETERY DIST
69920 E RAMON RD
CATHEDRAL CITY CA 92234

APN: 670480076, ASMT: 670480076
RENEE E HAYER
16450 COLEBRIDGE CT
CHINO HILLS CA 91709

APN: 670220001, ASMT: 670220001
PALM SPRINGS UNIFIED SCHOOL DISTRICT
980 TAHQUITZ CANYON 202
PALM SPRINGS CA 92262

APN: 670480010, ASMT: 670480010
RIV PROP
C/O LOUIE S NORWOOD
268 N LINCOLN NO 12
CORONA CA 92882

APN: 670480030, ASMT: 670480030
PATRICIA J WARREN
184 VIA MILANO
RANCHO MIRAGE CA. 92270

APN: 670480031, ASMT: 670480031
ROBERT E BROWN, ETAL
182 VIA MILANO
RANCHO MIRAGE CA. 92270

APN: 670470050, ASMT: 670470050
PHILIP WESLEY YOUNG, ETAL
VIA DEL SIGNORIA
RANCHO MIRAGE CA. 92270

APN: 670480052, ASMT: 670480052
RODOLFO GOMEZ, ETAL
240 VIA PADUA
RANCHO MIRAGE CA. 92270

APN: 670230014, ASMT: 670230014
RAMON ROAD PARTNERS LTD
P O BOX 1623
PALM DESERT CA 92261

APN: 670480053, ASMT: 670480053
ROGER M CASEY, ETAL
238 VIA PADUA
RANCHO MIRAGE CA. 92270

APN: 670480050, ASMT: 670480050
REBECCA HYATT
244 VIA PADUA
RANCHO MIRAGE CA. 92270

APN: 670480044, ASMT: 670480044
RON N RISTAINO, ETAL
253 VIA MARTELLI
RANCHO MIRAGE CA. 92270

APN: 670480026, ASMT: 670480026
REBECCA J FLOOD WILSON, ETAL
C/O MAURICE WILSON
112 VIA TIBERIO
RANCHO MIRAGE CA. 92270

APN: 670230006, ASMT: 670230006
SCC RANCHO MIRAGE
C/O SUN CAL CO
2392 MORSE AVE
IRVINE CA 92614

APN: 670470042, ASMT: 670470042
 LAWNA MCNEILL
 104 VIA DEL SIGNORIA
 RANCHO MIRAGE CA. 92270

APN: 670480027, ASMT: 670480027
 TERRY L LAHN
 110 VIA TIBERIO
 RANCHO MIRAGE CA. 92270

APN: 670240005, ASMT: 670240005
 SOUTHERN PACIFIC TRANSPORTATION CO
 SOUTHERN PACIFIC TRANSPORTATION CO
 1700 FARNAM ST 10TH FL S
 OMAHA NE 68102

APN: 670470007, ASMT: 670470007
 THOMAS A CONNORS, ETAL
 96 VIA SAN MARCO
 RANCHO MIRAGE CA. 92270

APN: 673320001, ASMT: 673320001
 STARWOOD RANCHO MIRAGE ACQUISITION
 C/O EPROP TAX DEPT 206
 P O BOX 4900
 SCOTTSDALE AZ 85261

APN: 670480083, ASMT: 670480083
 TUSCANY AT RANCHO MIRAGE
 C/O PAM
 74041 HIGHWAY 111
 PALM DESERT CA 92261

APN: 670470005, ASMT: 670470005
 STEVEN M ELLINGTON
 75 PANORAMA RD
 CATHEDRAL CY CA 92234

APN: 670470060, ASMT: 670470060
 TUSCANY AT RANCHO MIRAGE INC
 68936 ADELINA
 CATHEDRAL CY CA 92234

APN: 670470047, ASMT: 670470047
 STEVEN T ERICKSON, ETAL
 114 VIA DEL SIGNORIA
 RANCHO MIRAGE CA. 92270

APN: 670470058, ASMT: 670470058
 TUSCANY AT RANCHO MIRAGE INC
 C/O ENCLAVE GROUP
 68936 ADELINA RD
 CATHEDRAL CY CA 92234

APN: 670470053, ASMT: 670470053
 SUZANNE OSUNA ARMSTRONG
 130 VIA TUSCANY
 RANCHO MIRAGE CA. 92270

APN: 670480087, ASMT: 670480087
 TUSCANY AT RANCHO MIRAGE INC
 C/O PALM DESERT ESCROW
 74041 HIGHWAY 111
 PALM DESERT CA 92261

APN: 670480048, ASMT: 670480048
 TANYA L NIWA
 C/O SCOTT NIWA
 OAKMONT DR
 RANCHO MIRAGE CA 92270

APN: 670220016, ASMT: 670220016
 USA 670
 UNKNOWN 01-18-90
 0

APN: 673120024, ASMT: 673120024
LA AGUA CALIENTE BAND OF CAHUILLA INDIANS
C/O CONNIE MEDINA
5401 DINAH SHORE DR
PALM SPRINGS CA 92264

APN: 670470017, ASMT: 670470017
WALTER M ROBERTS, ETAL
95 VIA SAN MARCO
RANCHO MIRAGE CA. 92270

APN: 670480006, ASMT: 670480006
WESS JOHN MURDOUGH, ETAL
124 O SHOUGHNESY BLVD
SAN FRANCISCO CA 94127

APN: 670470041, ASMT: 670470041
WILLIAM G BOBERSKI, ETAL
VIA DEL SIGNORIA
RANCHO MIRAGE CA. 92270

City of Rancho Mirage
69-825 Highway 111
Rancho Mirage, CA 92270

City of Cathedral City
68-700 Avenida Lalo Guerrero
Cathedral City, CA 92234

Agua Caliente Band of Cahuilla Indians
Richard Milanovich, Chairperson
5401 Dinah Shore Drive
Palm Springs 92262

Palm Springs Unified School Dist.
980 E. Tahquitz Cyn. Way. Ste. #204
Palm Springs, CA 92262

Applicant / Owner:
SCC Rancho Mirage LLC
2392 Morse Ave
Irvine, CA 92614

Engineer:
Adkan Engineers
6820 Airport Drive
Riverside, CA 92504

**EXTRA LABELS FOR
TR32463**

Design Manual Tentative Tract Map 32463

For submission to
Riverside County Transportation and Land Management Agency

Prepared for

SCC Rancho Mirage, LLC
2392 Morse Avenue
Irvine, CA 92614

Prepared by

Michael Madden Associates
24795 Eaton Lane, Suite 100
Laguna Niguel, CA 92677

TKD Associates, Inc.
71-780 San Jacinto Dr., Suite F-2
Rancho Mirage, CA 92270

December 1, 2009

Case #: TR32463
Exhibit: M (Design Manual)
Date: 12/09/2009
Planner: J. Olivas

Tentative Tract Map 32463 Design Manual

Table of Contents

- I. INTRODUCTION
 - A. Purpose
 - B. Project Summary
 - C. Authority and Requirements
 - 1. Riverside Countywide Design Standards and Guidelines
 - 2. Riverside County R-1 Zone Requirements
 - 3. City of Rancho Mirage Community Design Element
 - D. Property Owner/Developer

- II. COMMUNITY DESIGN MANUAL
 - A. Community Design Concept
 - 1. Sense of Place
 - 2. Open Space
 - 3. Community Streets
 - 4. Connectivity
 - 5. Creative Design
 - 6. Density
 - B. Architectural Design Concept
 - C. Residential Design Standards
 - 1. Colors and Materials
 - 2. Articulation of Building Facades
 - 3. Varied Roof Styles
 - 4. 360 Degree Architecture
 - 5. Streetscape Design
 - a.) Multiple Floor Plans and Elevations
 - b.) Variable Front Setbacks
 - c.) Colors and Materials
 - 6. Garage Location and Design
 - 7. Residential Lot Standards (County/City/Project)
 - a.) Minimum Lot Size
 - b.) Minimum Lot Depth
 - c.) Minimum Lot Width
 - d.) Density
 - e.) Private Outdoor Space
 - f.) Front Yard Setback
 - g.) Side yard Setback
 - h.) Rear Yard Setback

- i.) Garage Setbacks
 - j.) Maximum Lot Coverage
 - k.) Minimum Distance Between Structures
 - l.) Maximum Building Height
 - 8. Recreation Vehicle Parking
 - 9. Prohibited Uses
 - III. COMMUNITY FACILITIES STANDARDS
 - A. Walls and Fencing
 - B. Outdoor Lighting
 - C. Street Signs
 - D. Mailboxes
 - E. Retention, Drainage and Open Space
 - F. Well Site
 - IV. RESIDENTIAL STREET DESIGN
 - A. Street Patterns
 - B. Street Widths
 - V. LANDSCAPE DESIGN GUIDELINES
 - A. Community Entry
 - B. Perimeter Street Landscaping
 - C. Residential Landscape Requirements
 - D. Open Space Enhancements

List of Exhibits

- Exhibit 1-1: Project Location
- Exhibit 2-1: Proposed Site Plan
- Exhibit 2-2: Residential Lot Standards (table)
- Exhibit 2-3: Architectural Themes
- Exhibit 2-4: Thematic Floor Plan 1
- Exhibit 2-5: Thematic Floor Plan 2
- Exhibit 2-6: Thematic Floor Plan 3
- Exhibit 2-7: Thematic Floor Plan 4
- Exhibit 2-8: Thematic Floor Plan 5
- Exhibit 2-9: Thematic Floor Plan 6
- Exhibit 3-1: Community Walls and Fences
- Exhibit 3-2: Mailboxes
- Exhibit 4-1: Street Sections
- Exhibit 5-1: Landscape Plan
- Exhibit 5-2: Community Entrance
- Exhibit 5-3: Perimeter Street Parkway Enhancement
- Exhibit 5-4: Residential Landscape Requirements
- Exhibit 5-5: Central Open Space Enhancement (Lot F)
- Exhibit 5-6: Northeast Open Space Enhancement (Lot H) and Community Entry
- Exhibit 5-7: Recommended Plant Palette

I. INTRODUCTION

A. Purpose

The purpose of this Design Manual is to set forth detailed development guidelines to facilitate the development of an approximately 80-acre Single Family Development located north of Ramon Road between Palm Vista Street and Los Alamos Street as seen in Exhibit 1 – Project Location.

B. Project Summary

Tentative Tract Map 32463 (TTM 32463) is a proposed residential development in an unincorporated area of Riverside County adjacent to the City of Rancho Mirage. Located north of Ramon Road the project is bounded by Palm Vista Street to the west and Los Alamos Street to the east and is within the City of Rancho Mirage's Sphere of Influence.

Project entitlements consist of Change of Zone application (CZ06987) from W-2-20 (Controlled Development Area) to R-1 (One Family Dwellings) and approval of a Tentative Tract Map (TTM 32463) to allow for the development of 206 Single Family Detached homes. Please refer to Exhibit 2 – Proposed Site Plan.

C. Authority and Requirements

This Design Manual combines the requirements of the Riverside Countywide Design Standards and Guidelines and the Riverside County Zoning Requirements. In addition the manual is responsive to design considerations as defined in the City of Rancho Mirage's Community Design Element.

1. Riverside Countywide Design Standards and Guidelines

The Riverside County Board of Supervisors adopted the "Countywide Design Standards & Guidelines" on January 13, 2004. County staff, in its review of TTM 32463, directed the applicant to prepare a Design Manual illustrating consistency with the guidelines requirements.

The Tentative Tract Map 32463 Design Manual provides the standards and criteria used to meet the County's Design Standards and Guidelines. Development within the project shall be required to adhere to these standards.

2. Riverside County "R-1" Zone Requirements

Tentative Tract Map 32463 is consistent with the R-1 Zone requirements, Article VI, Section 6.1 of the Land Use Ordinance 348, Riverside County.

3. Rancho Mirage Community Design Element

In response to the project's proximity to the City of Rancho Mirage the design of Tentative Tract Map 32463 complies with the Residential Development

Standards of the City's "R-M" Zone and this Design Manual has been prepared with consideration towards the goals and policies of the Community Design Element portion of the City's General Plan.

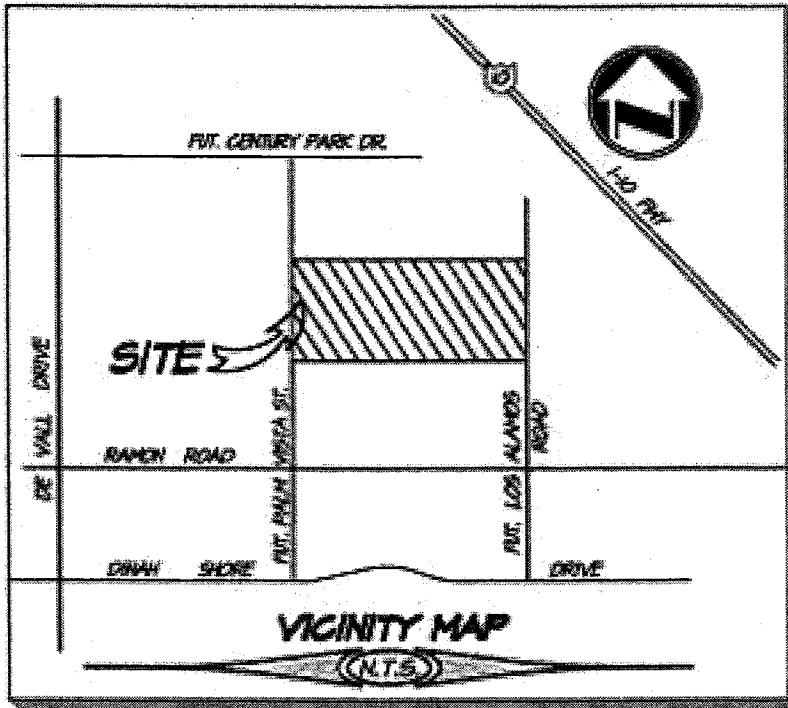
D. Property Ownership and Developer

The property owner and developer is:

SCC Rancho Mirage, LLC
2392 Morse Avenue
Irvine, CA 92614

Exhibit 1 – Project Location

THOMAS BROS. GUIDE PAGE 181 J11.12 AND PAGE 188 A11A2 (2009)



SEC. 14, T 4S, R 5E

II. COMMUNITY DESIGN MANUAL

A. Community Design Concept

Tentative Tract Map 32463 provides for a community design that is responsive to both the standards and guidelines referenced in the Riverside County "Countywide Design Standards and Guidelines" as well as applicable goals and policies as stated in the City of Rancho Mirage's "Community Design Element." While this Design Manual is formatted to address the required standards and guidelines established by the County of Riverside, references to the City of Rancho Mirage's goals such as creating a sense of place; addressing project edge conditions including community walls and perimeter parkways; utilization of drought-tolerant landscapes while still providing desert color and planting variations; variation in rooflines and recognition of this importance along project edges adjacent to perimeter streets; as well as a number of other goals have been incorporated into these design guidelines.

1. Sense of Place

A primary goal of Tentative Tract Map 32463 and its design is to create a "Sense of Place" and as such be responsive to the desires of the County Guidelines and City's goals. This is accomplished via several complimentary community components working together to establish a cohesive community. Enhanced entries address the community upon arrival with landscaped open spaces extending into the community. Neighborhood streets are framed with various architectural styles, elevations and building masses incorporating desert appropriate colors and materials. All streets lead to the community's central open space, a 3.3 acre central park/retention feature in the middle of the community which provides a community gathering area. A desert landscape compliments the residential homes and the community open space elements, which is an extension of the landscape fabric introduced along the projects perimeter parkways. A thematic community wall creates the backdrop to these parkways. The parkways and community walls provide the project's "edges" and are reflective of the quality of style described within the City's Community Design Element and provide the desired "visual continuity and design transition", a stated Design Principal in City's the Design Element.

2. Open Space

There are two significant open space features providing visual enhancement and passive recreation opportunities to the community. These are the aforementioned central park/retention feature of 3.3 acres and a 1.2 acre open space/retention feature adjacent to the community entry off of Los Alamos Street. Both of these features will have landscape enhancements 3.3 acre central park/retention feature, intended to be a "people-friendly space," will include open areas for passive play and recreation, connected via trails and pathways. Seating and shade trees will be incorporated for all-season enjoyment.

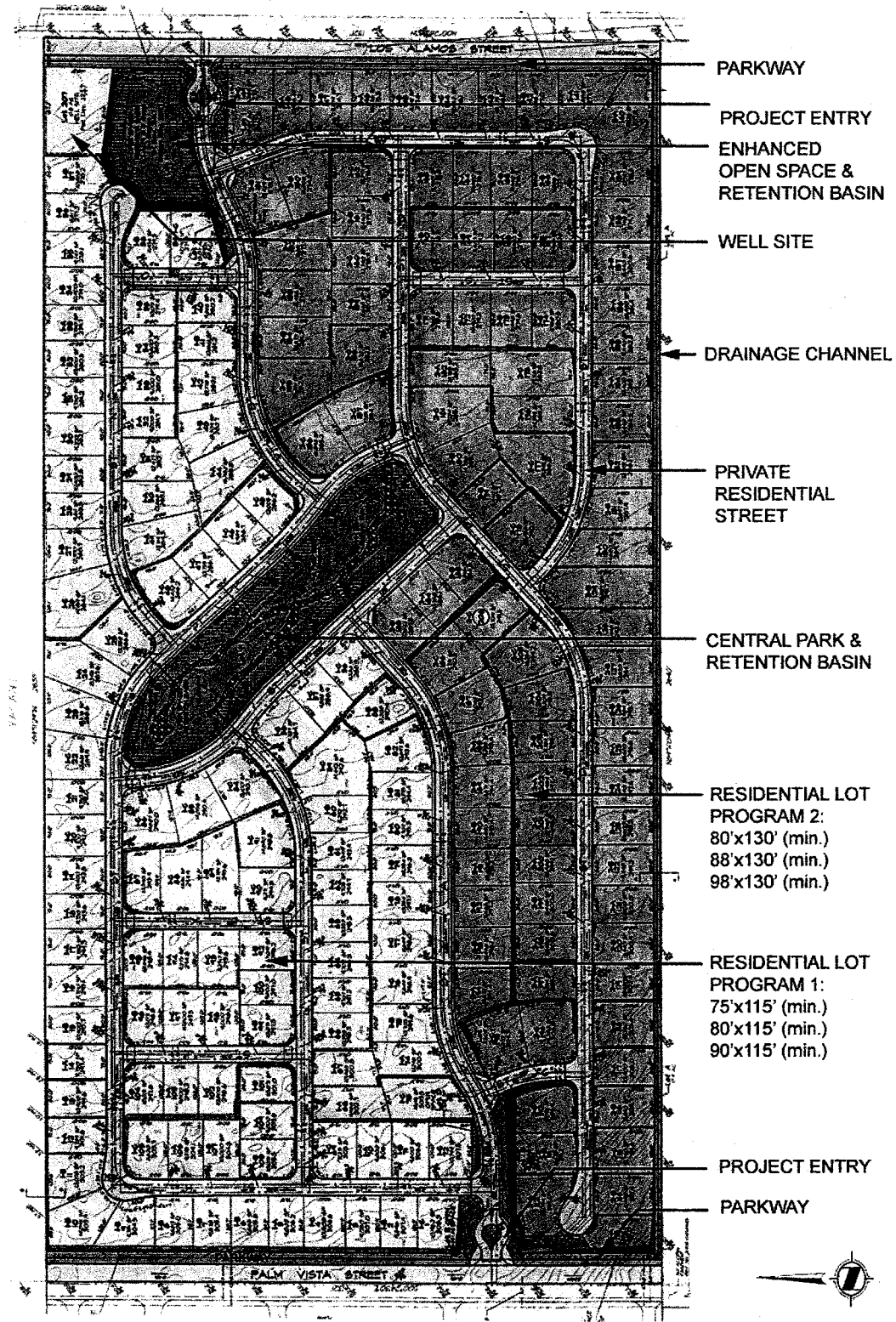


Exhibit 2-1. Proposed Site Plan

3. Community Streets

Streets within the project are scaled to the residential neighborhoods, provide access to homes and link neighborhoods to one another and the community amenities in short walkable blocks. Streets will be framed by one-story homes having desert appropriate architecture with a variety of complimenting colors and materials. Front yard landscapes will be of a consistent desert palette and frame the streets with landscape enhancements. Street widths are designed to encourage slow traffic speeds in keeping with the residential neighborhood context.

4. Connectivity

Connectivity within TTM32463 and it's neighborhood design reinforces the "Sense of Place" and strengthens the role of the central open space feature as an important community component. Connectivity provides for social interface and "neighborliness" by providing easy access to neighborhoods and amenities.

Within TTM 32463 the street layout directs all neighborhoods to the central park area. Sidewalks border the two primary streets within the community linking the central park to the community entries and pedestrian ways, which are further connected to the meandering sidewalks within the parkways along Palm Vista Drive and Los Alamos Street. These parkways and sidewalks connect to the broader system of walkways and trails incorporated into the surrounding areas and Rancho Mirage.

5. Creative Design

Addressing the goals of both the County of Riverside and City of Rancho Mirage via the collaboration and compatibility of the above four components TTM 32463 provides for a pleasing community design and neighborhood fabric oriented around a 3.3 acre central park and open space amenity. A strong "Sense of Arrival" and "Sense of Place" is established with the plan. Traditional neighborhood configurations are provided with a street design responsive to the residential neighborhood scale and with all streets leading to the central community park feature. Residential architecture will be given an attention to building massing, roofline variation, architectural theme and color/materials.

Connectivity internally to the central community park is provided via neighborhood streets and sidewalks and externally to surrounding areas via perimeter parkways and pedestrian walks. Storm water retention is integrated in a creative and multi-functional open space system.

6. Density

The project proposes an overall density of 2.58 dwelling units per gross acre. This is an appropriate density within the County's R-1 Zone (2-5 dwelling units per acre) and below the City's R-M Zone (4-5 dwelling units per acre).

B. Architectural Design Concept

In keeping with the desert setting and regional influences the proposed architectural theme for the community is comprised of the complimentary styles of "Santa Barbara Spanish," "Spanish Mission" and "Italian Country." Please refer to Exhibit 2-2, Thematic Architecture. Creative license has been taken with the styles noted above to adapt them the desert climate and regional influences. Common elements of these styles include: A.) A common palette of desert appropriate colors and tones; B.) Thematic windows, archways and doors; C.) Accent materials such as stone and tile; and D.) Incorporation of courtyards and/or outside living areas.

Thematic floor plans for the proposed development are provided in Exhibits 2-4 through 2-9.

C. Residential Design Standards

1. Colors and Materials

The colors and materials shall be varied between adjacent buildings. Warm, natural desert colors such as off-whites, creams, tan, taupe, sages, browns and similar shades thereof, will be utilized.

2. Articulation of Building Facades

Each of the proposed six (6) floor plans will provide for a variety of building facades and articulation along the streets, reinforced with a variety of architectural styles and material/color palettes. Projecting architectural features such as front entry facades, setback and side-facing garages, variable roof lines and other similar features will be used to create both vertical and horizontal articulation of the building elevations. Some of these design features will be included on rear facades and side facades of homes visible from streets and/or open spaces. Special features such as arched windows and door articulation, extended overhangs and building edge treatments such as arbors, awnings and shutters will be utilized, appropriate to the architectural style. Windows will be framed with compatible materials to create well defined "edge" treatments and provide distinct shadows on the building facades.

3. Varied Roof Styles

Variation in roof style will be achieved in concert with the different floor plans and elevations. Differing roof styles such as gables or hips as well as varying roof tiles and colors will further emphasize roof variation.

4. 360 Degree Architecture

As noted above, design features such as window treatments, trellises, overhangs and other features will be provided on all sides of the house visible from streets and open space.

5. Streetscape Design

a. Multiple Floor Plans and Elevations

Six different floor plans will be provided for the project. Each floor plan will have three (3) distinct elevation variations based upon architectural style. One elevation shall not be repeated more than each fourth house.

b. Variable Front Yard Setbacks

In recognition of the City of Rancho Mirage's standard front yard setbacks shall be 20 feet rather than the County's minimum of 15-feet/average 20-feet. Front entry façade projections, setbacks to the garage and garage orientation will provide the appearance of setback variation along the neighborhood streets.

c. Color and Materials

The colors and materials on adjacent residential structures shall be varied and dependent upon architectural style to establish separate identities for adjacent homes. A variety of colors and textures of building materials shall be employed as appropriate to the architectural style while maintaining overall continuity in the neighborhood.

6. Garage Location and Design

Front-facing and side-facing garage orientation shall be incorporated within the project. Where more than two (2) garage doors face the street the third door shall and increased setback or offset. Please refer to Exhibit 2-2, Residential Lot Standards, for garage setbacks.

7. Residential Lot Standards – Exhibit 2-2

The following standards shall apply to each lot (TTM32463 Column).

Development Standard	County R-1 Zone	City R-M Zone	TTM 32463
Minimum Lot Size	7,200sf	8,000sf	9,000sf
Minimum Lot Depth	100ft.	90ft.	115ft.
Minimum Lot Width	60ft.	70ft.	75ft.
Density	2-5 du/a	4-5 du/a	2.58 du/gross acre
Private Outdoor Space	NA	500sf	500sf.
Front Yard	20ft.	20ft.	20ft.
Side Yard	10% of lot width with 5ft. max.	10ft.	10ft.
Street Side	10ft.	15ft.	15ft.
Rear Yard	10ft.	25ft.	25ft.
Garage Setback - Front Facing	20ft.	20ft.	20ft.
Garage Setback - Side Facing	NA.	15ft.	15ft.
Maximum Lot Coverage	50%	30%	30%
Min. Distance Between Structures	6ft.-10ft.	20ft.	20ft.
Maximum Height	3-story/40ft. max.	20ft./1-story	20ft./1-story

8. Recreation Vehicle Parking

No recreational vehicle shall be stored in the front yard or side yards, or on any driveway of homes. No recreational vehicle shall be stored on any of the project streets.

9. Prohibited Uses

Uses other than residential uses are prohibited on the site.

Remainder of this page left intentionally blank.



Elevation A - Santa Barbara Spanish Theme

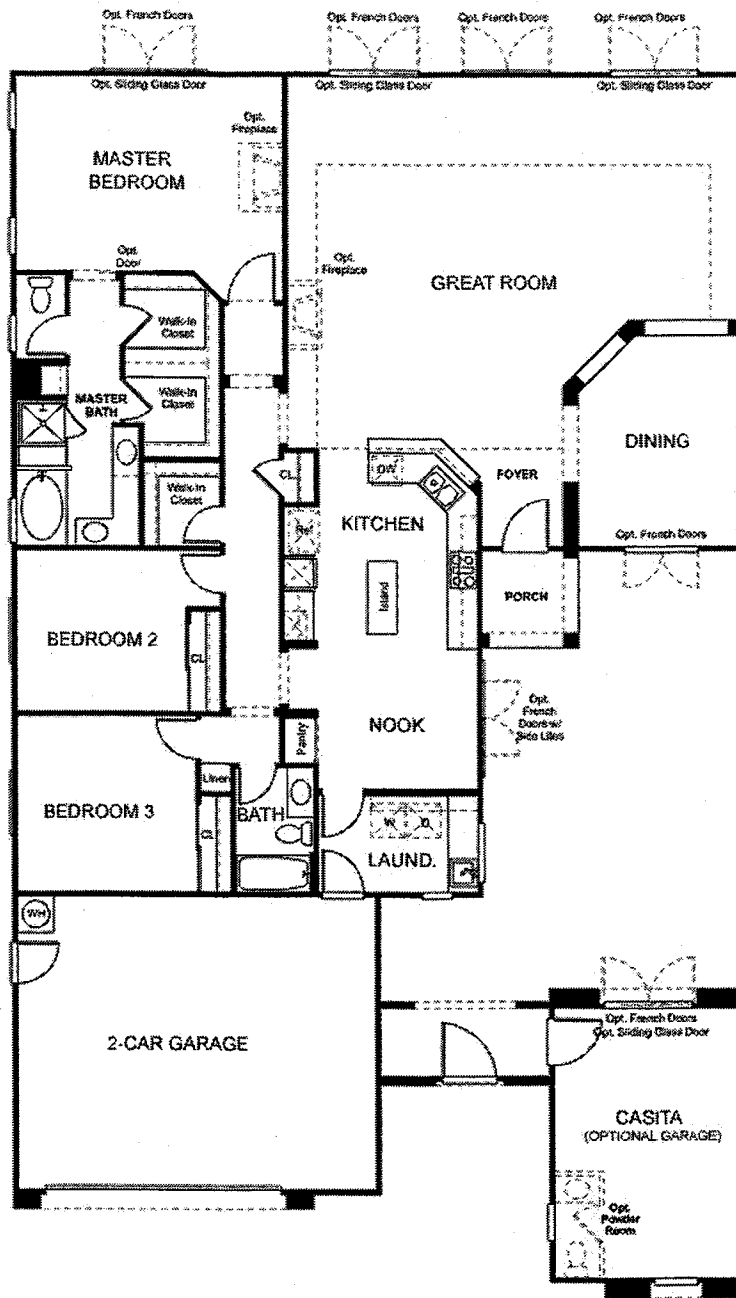


Elevation B - Spanish Mission Theme

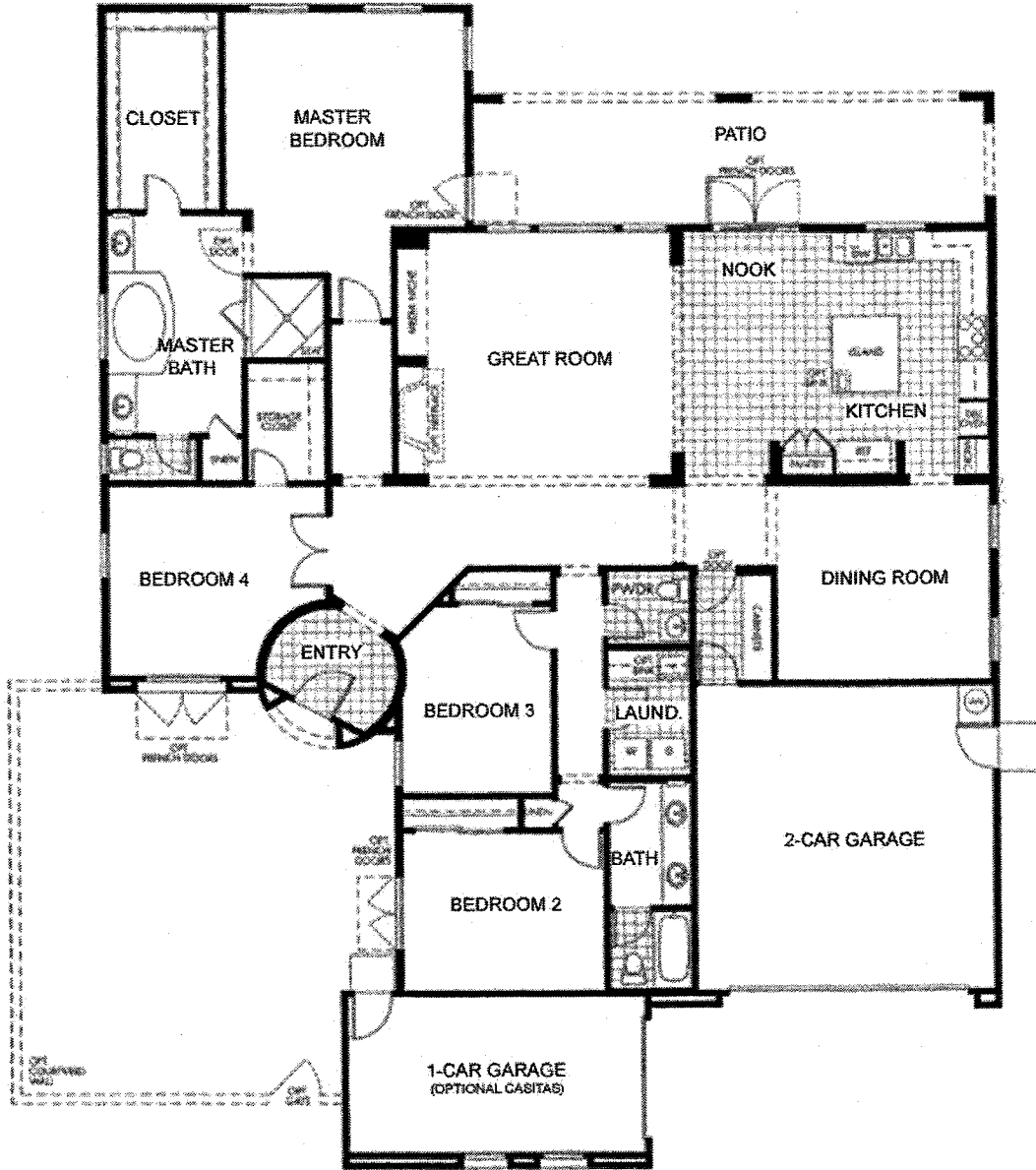


Elevation C - Italian Country Theme

Exhibit 2-3. Architectural Theme

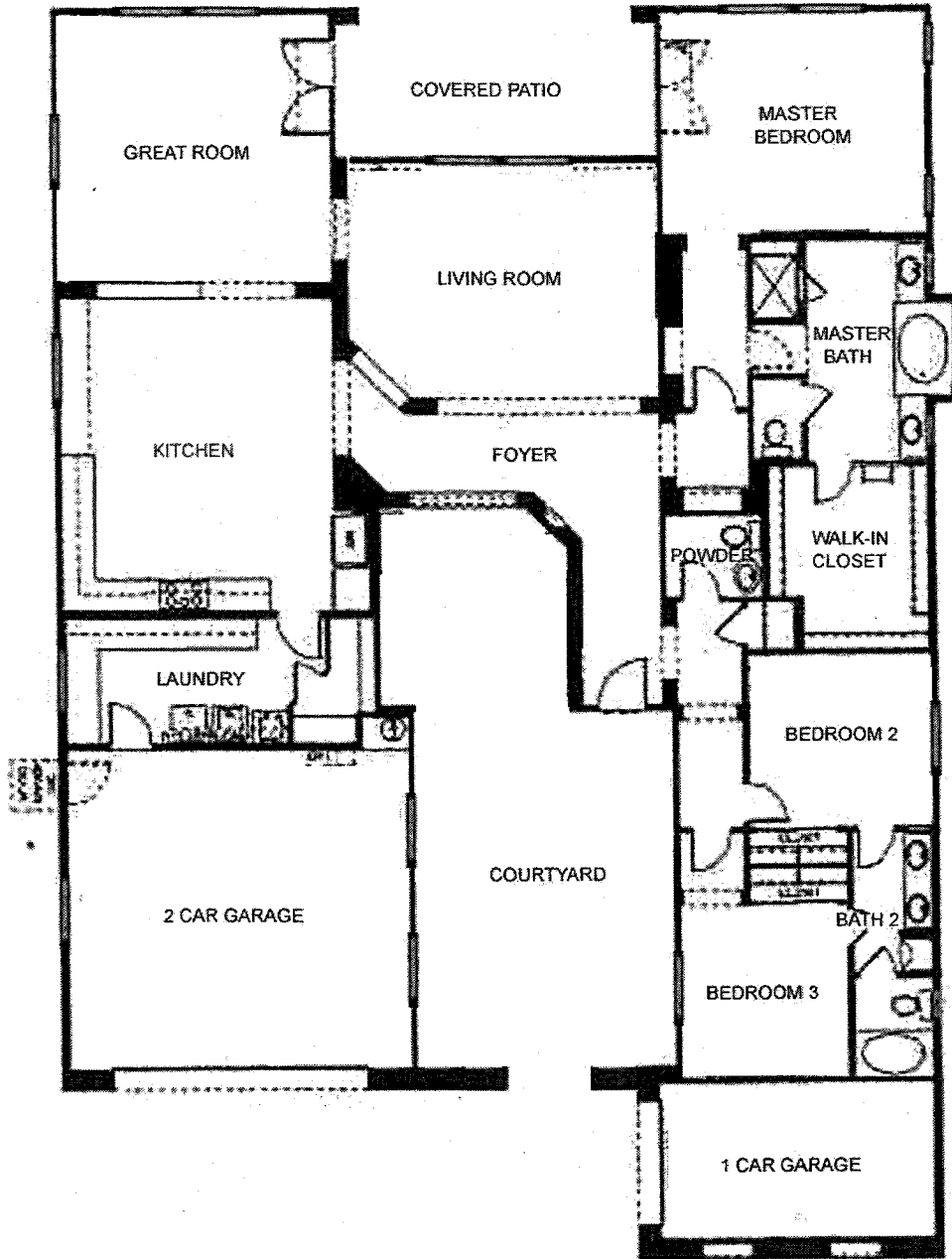


2,300sf (approx.)
Exhibit 2-4. Thematic Floor Plan 1

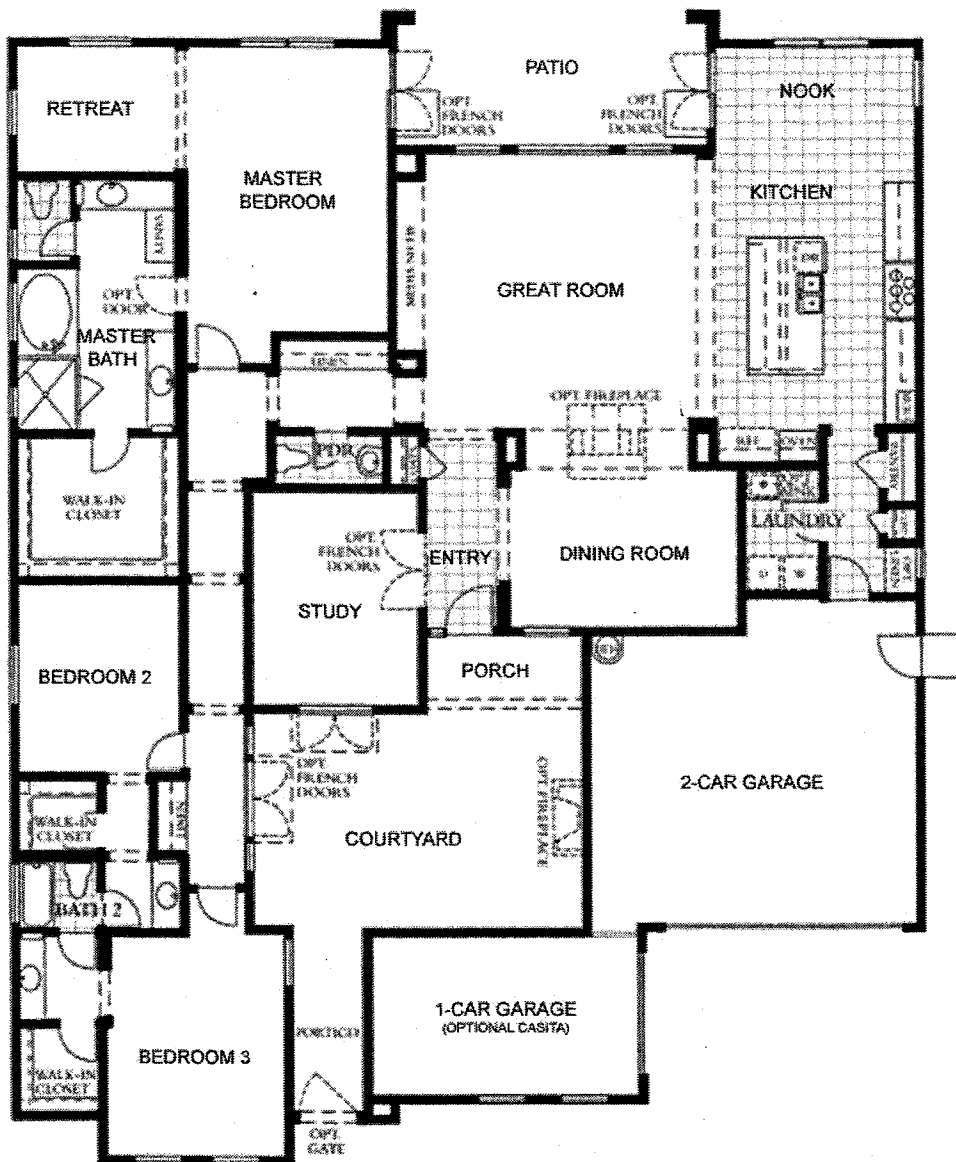


2,500sf (approx.)

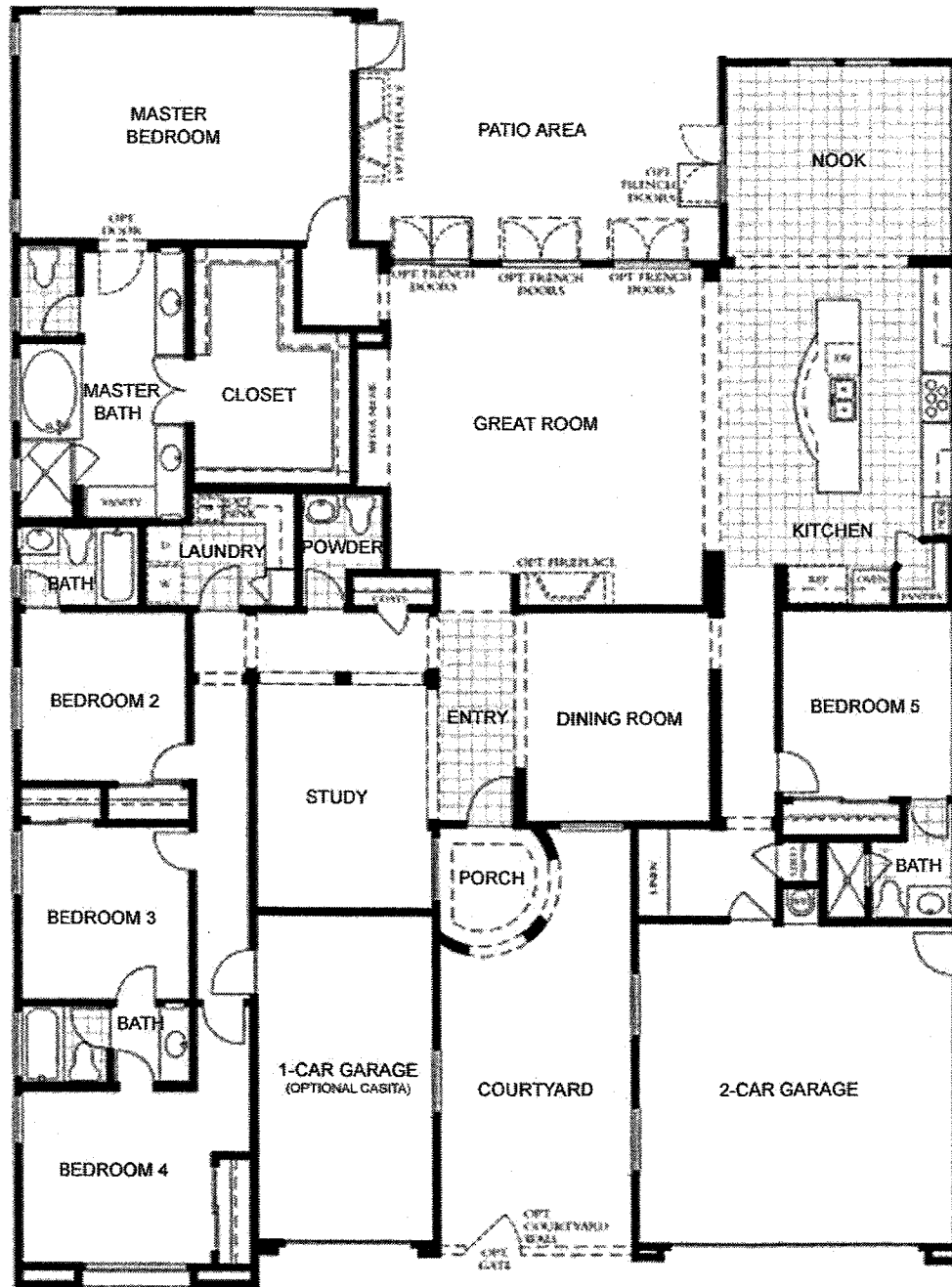
Exhibit 2-5. Thematic Floor Plan 2



2,800sf (approx.)
Exhibit 2-6. Thematic Floor Plan 3

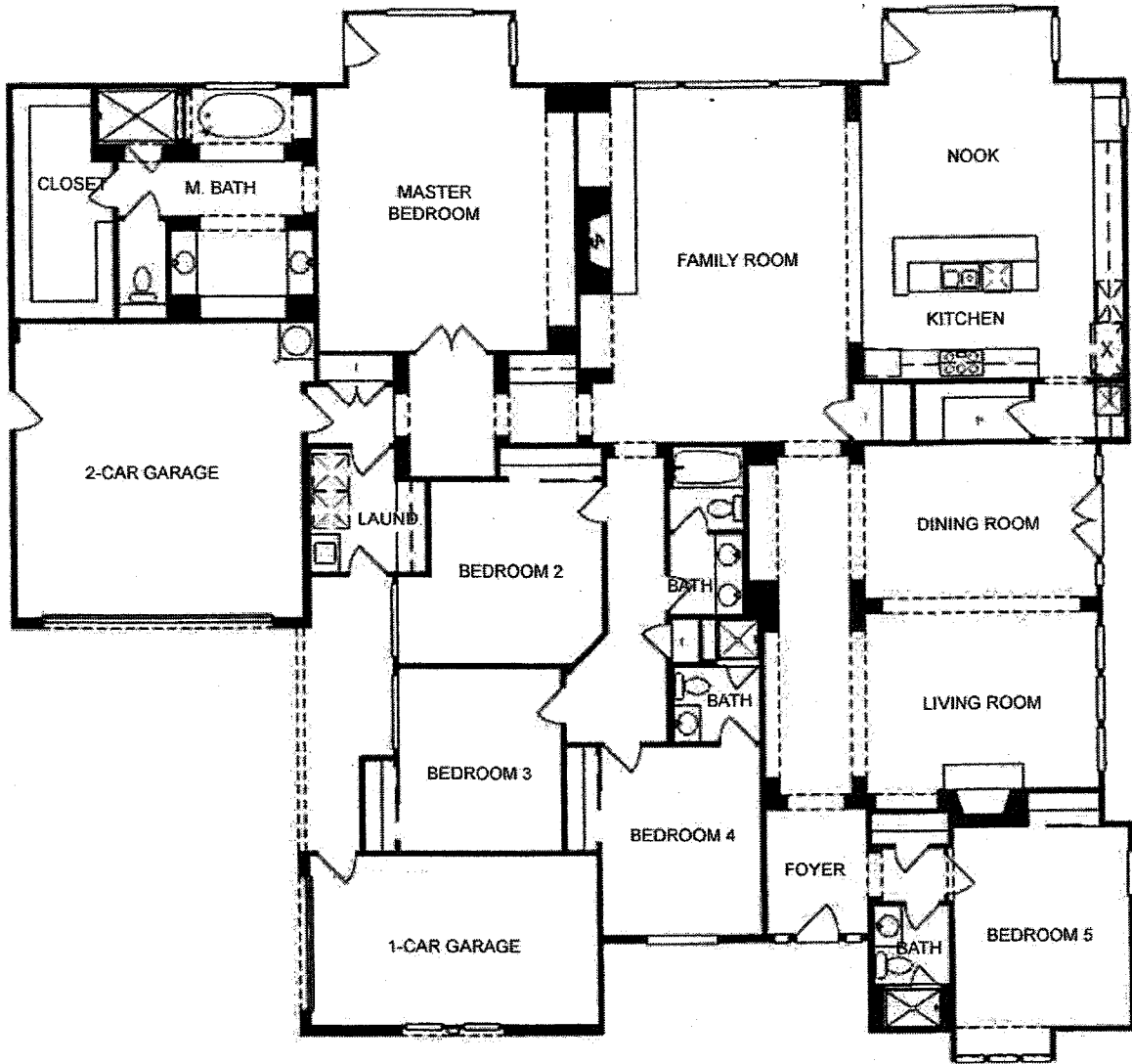


2,700sf (approx.)
Exhibit 2-7. Thematic Floor Plan 4



3,000sf (approx.)

Exhibit 2-8. Thematic Floor Plan 5



3,400sf (approx.)

Exhibit 2-9. Thematic Floor Plan 6

III. COMMUNITY FACILITIES STANDARDS

A. Walls and Fencing

1. Community Walls and Fences

Community walls along Los Alamos Street, Palm Vista Street and along the north and south project borders shall be slump stone block with a slurry finish, painted in earth tones appropriate in color to the desert region. Capping and accent pilasters shall be included to temper the top line of the walls

At project entries powder-coated wrought iron or tubular steel fencing shall be utilized to provide casual views into the project from these locations.

All construction shall be of good quality and sufficient durability with an approved stain or sealant to minimize water staining.



Exhibit 3-1. Community Walls

2. Residential Walls and Fences

Within residential lots front, side and rear yard walls shall be constructed of masonry (slump stone block with integral color or a material of similar appearance, maintenance and structural durability), with a minimum height of five (5) feet and a maximum height of six (6) feet. Corner lots shall be provided with wrap-around decorative block wall returns of slump stone with slurry finish similar to the community wall detail. Swimming pools shall be enclosed per Riverside County standards. Where view opportunities prevail powder-coated wrought-iron or tubular steel fencing may be used.

3. Side Yard Gates

Side yard gates are required on one side of the house and shall be constructed of powder-coated wrought iron or tubular steel, wood, or a wood-like vinyl. Wood and vinyl

gates shall be painted in desert appropriate earth tones complimentary to the tone of the adjacent block walls.

B. Outdoor Lighting

Outdoor lighting, other than street lighting, shall be low to the ground or shielded and hooded to avoid shining directly onto adjacent properties and streets. Street lighting standards are addressed by County Regulations. Ordinance No. 655 (45 miles from Mt. Palomar) lighting requirements shall be observed as the project site and City of Rancho Mirage fall within the Palomar restricted light zone. Illuminated street address lighting fixtures shall be installed on the front yard of each home to facilitate location of street address numbers for safety and public convenience and to compensate for dark sky considerations. "Night skies" provisions such as lower lighting levels, backlit addresses and street signs, and other indirect light methods shall be required.

Consistent with the desert environment, street lighting will not be provided on local streets except at intersections. Architecturally themed street lights, complimentary to the residential architectural theme, shall be utilized within the project site. Street lighting along perimeter streets (Palm Vista Street and Los Alamos Street) shall be located per Riverside County Standards.

C. Street Signs

Street signs shall be designed and installed throughout the community compatible with a style common to Rancho Mirage residential communities.

D. Mailbox Design

Multiple banks of 12, 16 or greater mailboxes shall be distributed throughout the neighborhoods and shall conform with current United States Postal Service standards.

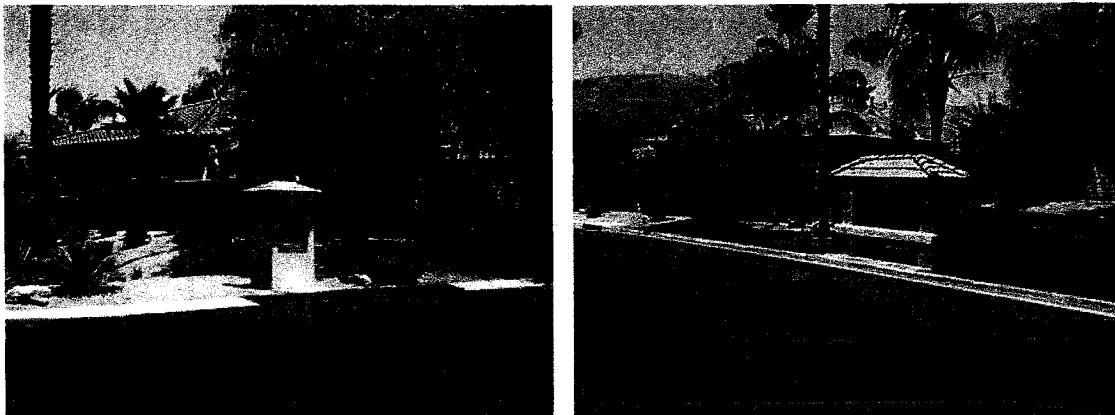


Exhibit 3-2. Mailboxes

E. Retention, Drainage and Open Space

There is no natural drainage courses that cross the project site. However, the entire area is subject to a sheet flow during major storm events. Because the development of hard surfaces such as streets and structures will decrease ground water percolation and increase run-off, two (2) retention basins are required. The retention basins will be incorporated into the community's open space features as illustrated in Exhibits 5-6 and 5-7. In addition to the utility purpose of the retention basins in providing site drainage, pedestrian trails, passive play areas, sitting/shade areas and a variety of desert landscape materials will be provided for visual enhancement and community enjoyment. All materials utilized in amenitizing the central open space, including landscape materials, shall have the ability to accommodate periodic inundation.

A fifteen (15) foot wide drainage channel runs along the southern boundary of the site to capture storm flow from adjacent lands.

In addition to the above described retention basins other miscellaneous open space areas are scattered throughout the community. Typical improvements will include well manicured desert landscape with trees, shrubs and groundcovers. Along the perimeter of the site at both Palm Vista Street and Los Alamos Streets a 13-foot landscaped easement is being provided in addition to the 12-foot public street parkway, for a total width of 25-feet through which a meandering sidewalk will pass. This expanded parkway will be enhanced with a low-water desert appropriate landscape in keeping with the project's landscape theme and plant palette, as illustrated in Exhibit 5-4, Perimeter Street Parkway Enhancement.

F. Well Site

A well site (water) is located on the northeast corner of the project site. This site shall be enclosed by the community wall element on all sides. A powder-coated wrought iron or tubular steel gate providing vehicle access for maintenance and service shall be provided, which will remain locked and secured at all times.

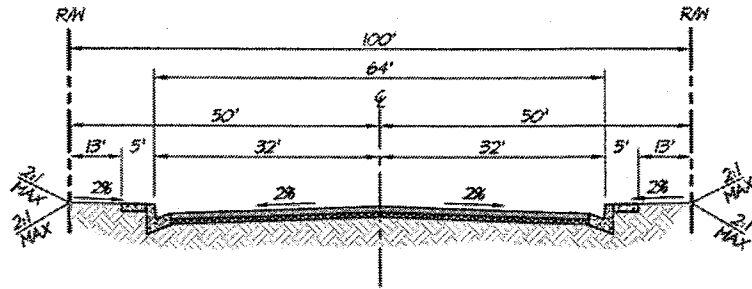
IV. RESIDENTIAL STREET DESIGN

A. Street Patterns

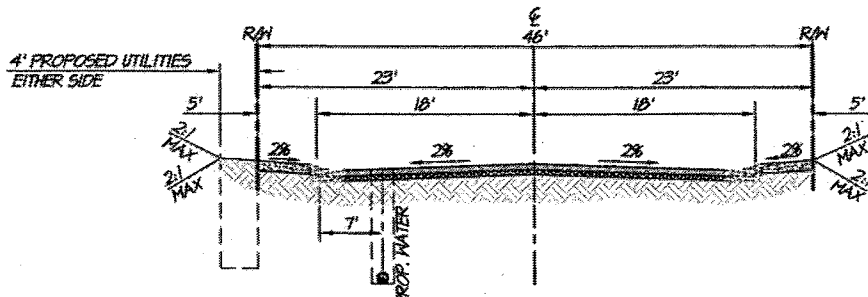
The community is designed in a "loose-grid" pattern of short walkable streets. Streets are oriented to provide direct access to the central open space/park amenity, as well as ease in access to the community entries.

B. Street Widths

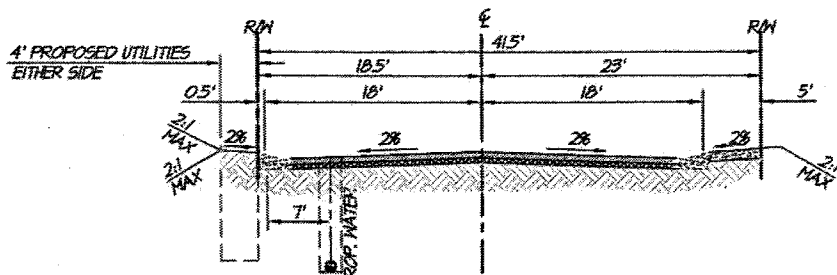
Street widths and right-of-ways vary depending on the level of street. The following street sections represent those proposed for the project (please see next page for Exhibit 4-1, Street Sections):



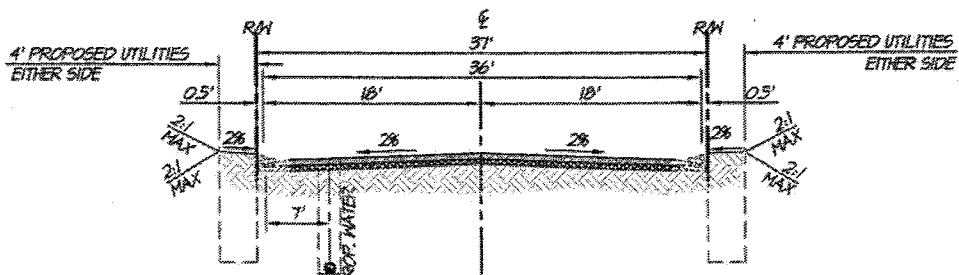
100' RIGHT OF WAY PUBLIC
 COUNTY OF RIVERSIDE STD. XXX
 LOS ALAMOS AND PALM VISTA



TYPICAL SECTION-INTERIOR STREETS A & B
 P.U.E. & SIDEWALK ONLY WHERE SHOWN ON PLANS



TYPICAL SECTION-INTERIOR PRIVATE STREET @ ENTRANCE
 STREETS I & M ALONG BASIN LOT F
 P.U.E. & SIDEWALK ONLY WHERE SHOWN ON PLANS



TYPICAL SECTION- LOCAL INTERIOR PRIVATE STREETS
 STREETS C-L, N & O
 P.U.E. ONLY WHERE SHOWN ON PLANS

Exhibit 4-1. Street Sections

V. COMMUNITY LANDSCAPE

The community landscape theme will compliment the project's architectural styles and be comprised of water efficient desert appropriate plant materials providing a variety of color, textures, massing and height variations throughout the neighborhoods. Plantings shall include trees, shrubs, groundcovers and limited areas of turf. The Plant Palette for the community shall be as per the Coachella Valley Water District Plant List. Please refer to Exhibit 5-1, Landscape Plan, and Exhibit 5-7, Plant Palette. The community landscape will be HOA maintained.

A. Community Entry

The community entries (2) are located off of Palm Vista Street and Los Alamos Street. Both entrances are setback over 150 feet from the centerline of these streets. Each community entry shall have a powder-coated wrought-iron or tubular steel gate designed to compliment the residential architecture, landscape and community walls. The entry gates will be key and card controlled. A call box will be located in a central "island" for guests and deliveries. Project signage will be designed into the theme and style of the entry and walls.

The entries will be landscaped enhanced with desert plantings providing a visual continuity from the perimeter parkway landscape to the interior community landscape. A central landscape island with a focal accent/theme tree and underlying shrubs or groundcover will be the centerpiece of the arrival complimenting the backdrop created by the community gates. The entry environs will be framed on both sides by complimenting theme trees, shrubs and ground cover, enclosing the arrival space and entry experience. Sidewalks and pedestrian gates will provide pedestrian access.

Please refer to Exhibit 5-2, Community Entrance.

B. Perimeter Street Landscaping

The parkways along Palm Vista Street and Los Alamos Street will be landscape enhanced with a variety of desert plantings providing color, texture, massing and vertical variation. A 13-foot wide expanded landscape easement will be provided in addition to the 12-foot parkway (part of the Public Street Right-of-Way) combining for a 25-foot wide landscaped parkway along the perimeter public streets. Meandering through the landscaped parkway will be an 8-foot wide walkway, per the City of Rancho Mirage Standards Detail 500.

This perimeter street landscape will establish the initial "personality" of the community and initiate the arrival experience. The combination of accent canopy trees and columnar evergreen leaf or coniferous trees will present a pleasing visual compliment to the lower level shrubs, groundcovers and decorative grasses. Attention to plant material colors and textures will provide an additional layer of visual enhancement.

Please refer to Exhibit 5-3, Perimeter Street Parkway Enhancement.

C. Residential Landscape Requirements

The Master Developer will install the front and street side yard landscaping as per County of Riverside "Countywide Design Standards and Guidelines" adopted January 13, 2004, Section IV. Landscape Design Standards, Subsection E. Yard Landscaping Requirements. Minimal amounts of turf and larger areas of water efficient desert appropriate plant material will be utilized.

Two 24" box trees will be provided within each front yard, with one located between the lots to provide shade for the sidewalk and create a "street tree" effect. Colorful shrubs, ground covers, decorative grasses and stone will accent the yards in a manner complimentary to the architectural styles selected for the community as well as the community-wide landscape fabric. In lieu of regularly spaced street trees the project is relying on the County standards of two trees per front yard to create an informal effect.

Please refer to Exhibit 5-4, Residential Landscape Requirements.

D. Open Space Enhancements

The various community open space elements previously referenced in these design guidelines will be landscaped with a variety of desert plantings providing color, texture, massing and vertical variation. The Central Open Space and Northeast Open Space elements will be landscaped with canopy trees, various shrubs and groundcovers to provide an appealing display of colors and textures. Decorative stone will create a "dry creek" feature which will also provide for a low-flow drainage course during seasonal times. Colors and tones of the dry creek will compliment the native soils. The Central Open Space area will be further enhanced with grassed areas for passive play and gatherings as well as accent canopy trees under whose shade seating benches will be provided. Pathways will lead to these elements from the surrounding sidewalks and neighborhoods.

In addition to the above described retention basins other miscellaneous open space areas are scattered throughout the community. Typical improvements will include well manicured desert landscape with trees, shrubs and groundcovers.

Please refer to Exhibit 5-5, Central Open Space Enhancement and 5-6, Northeast Open Space Enhancement and Community Entry.

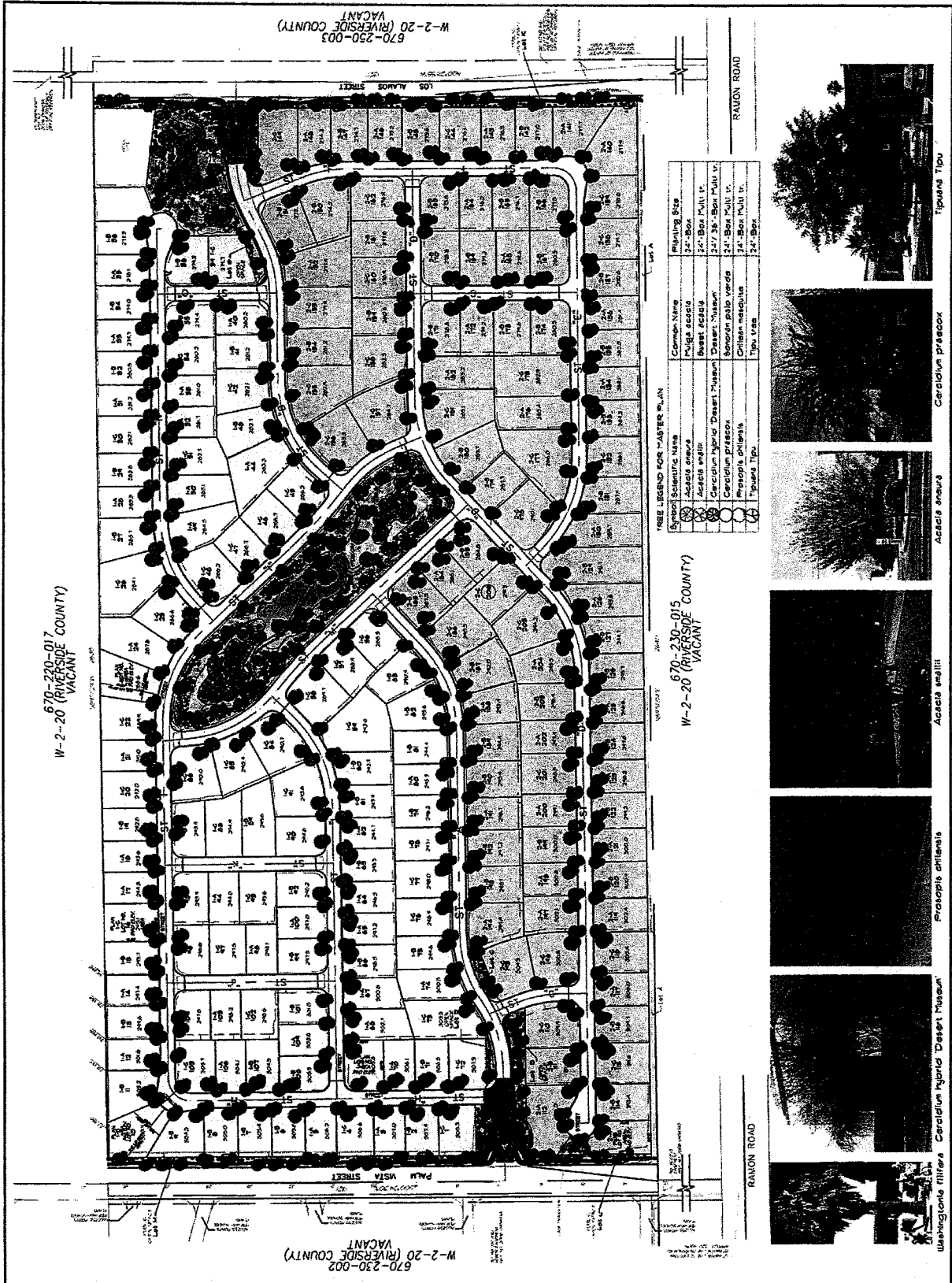


Exhibit 5-1. Landscape Plan

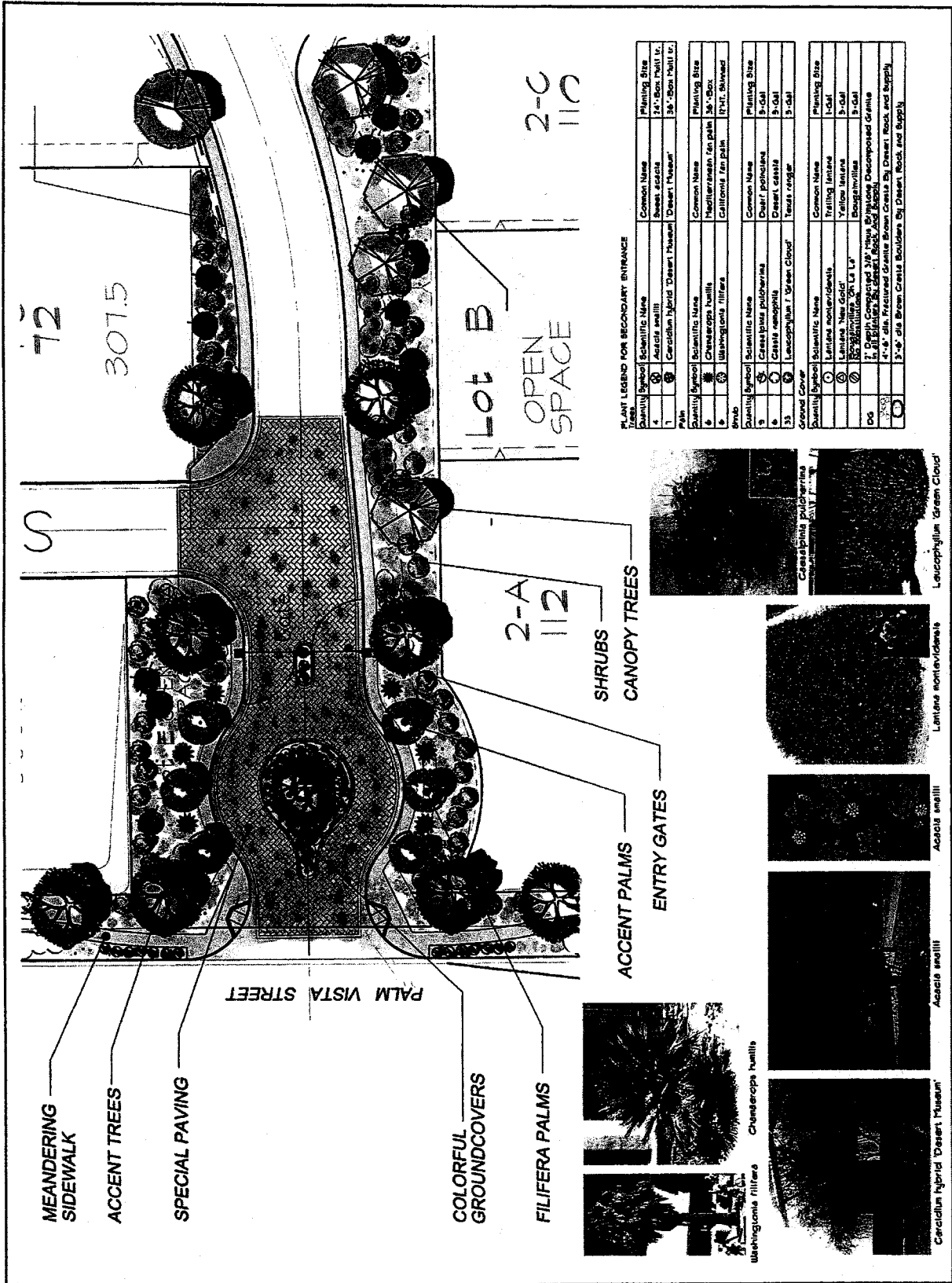


Exhibit 5-2. Community Entrance

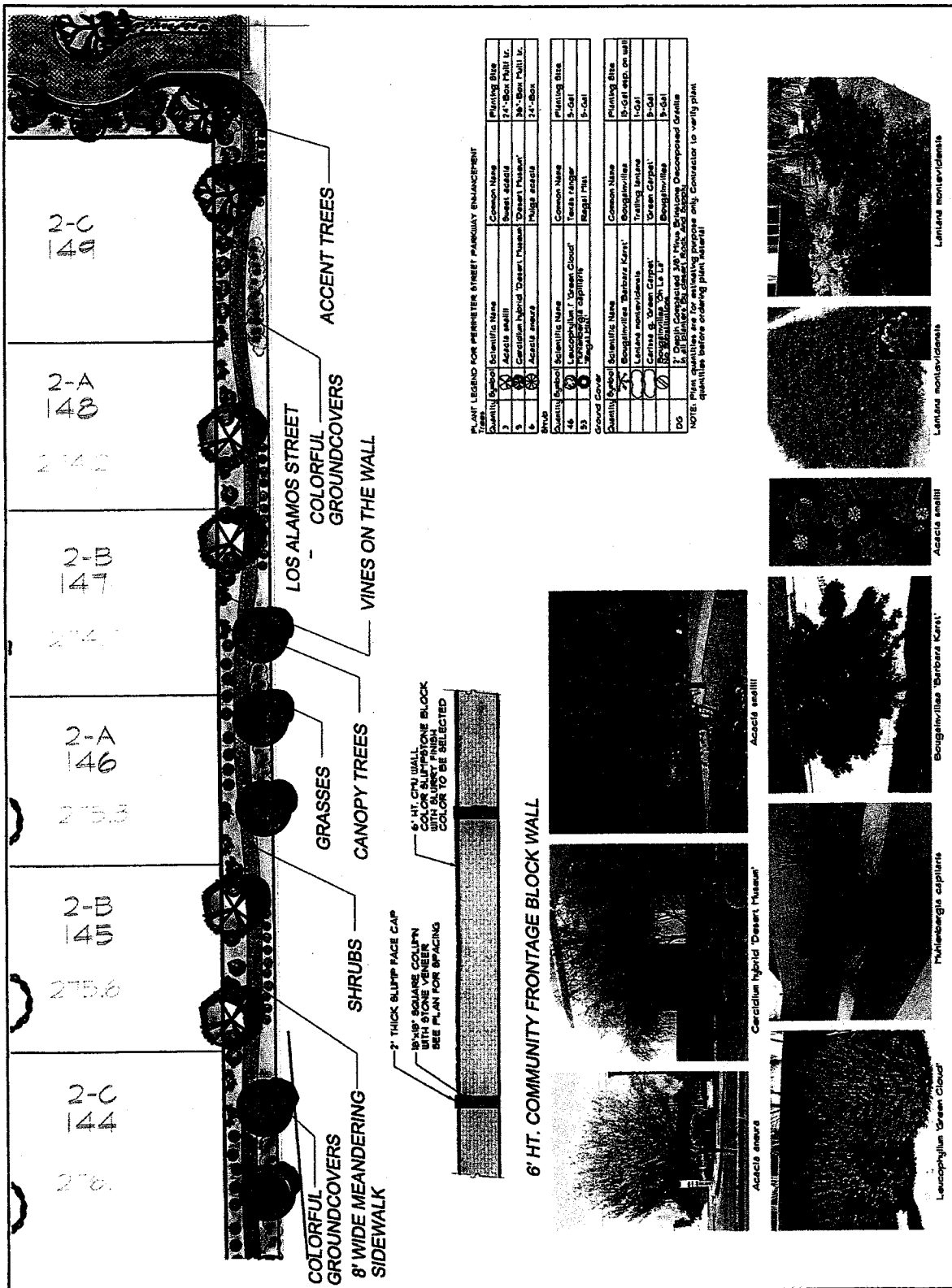


Exhibit 5-3. Perimeter Street Parkway Enhancement

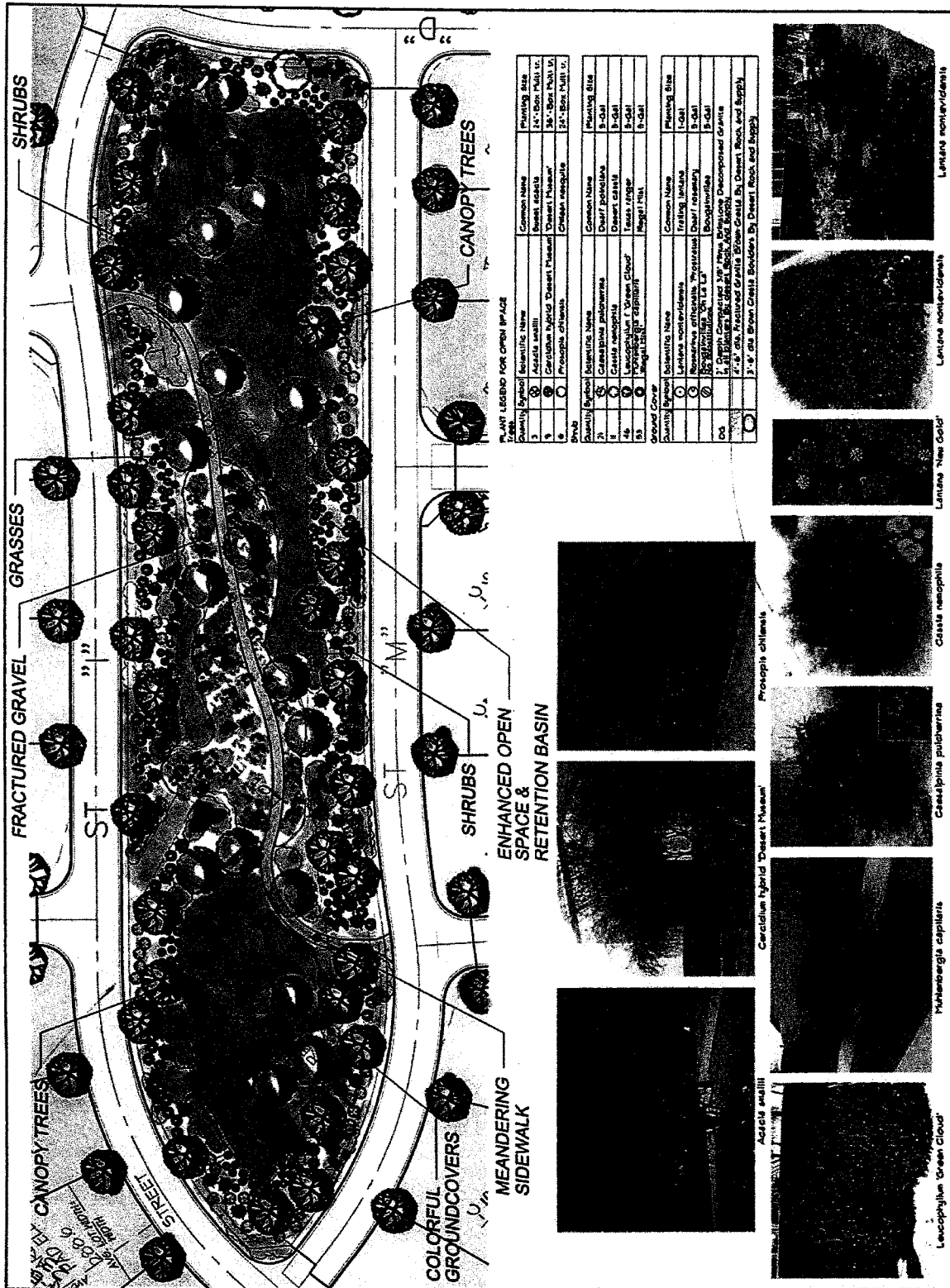


Exhibit 5-5. Central Open Space Enhancement

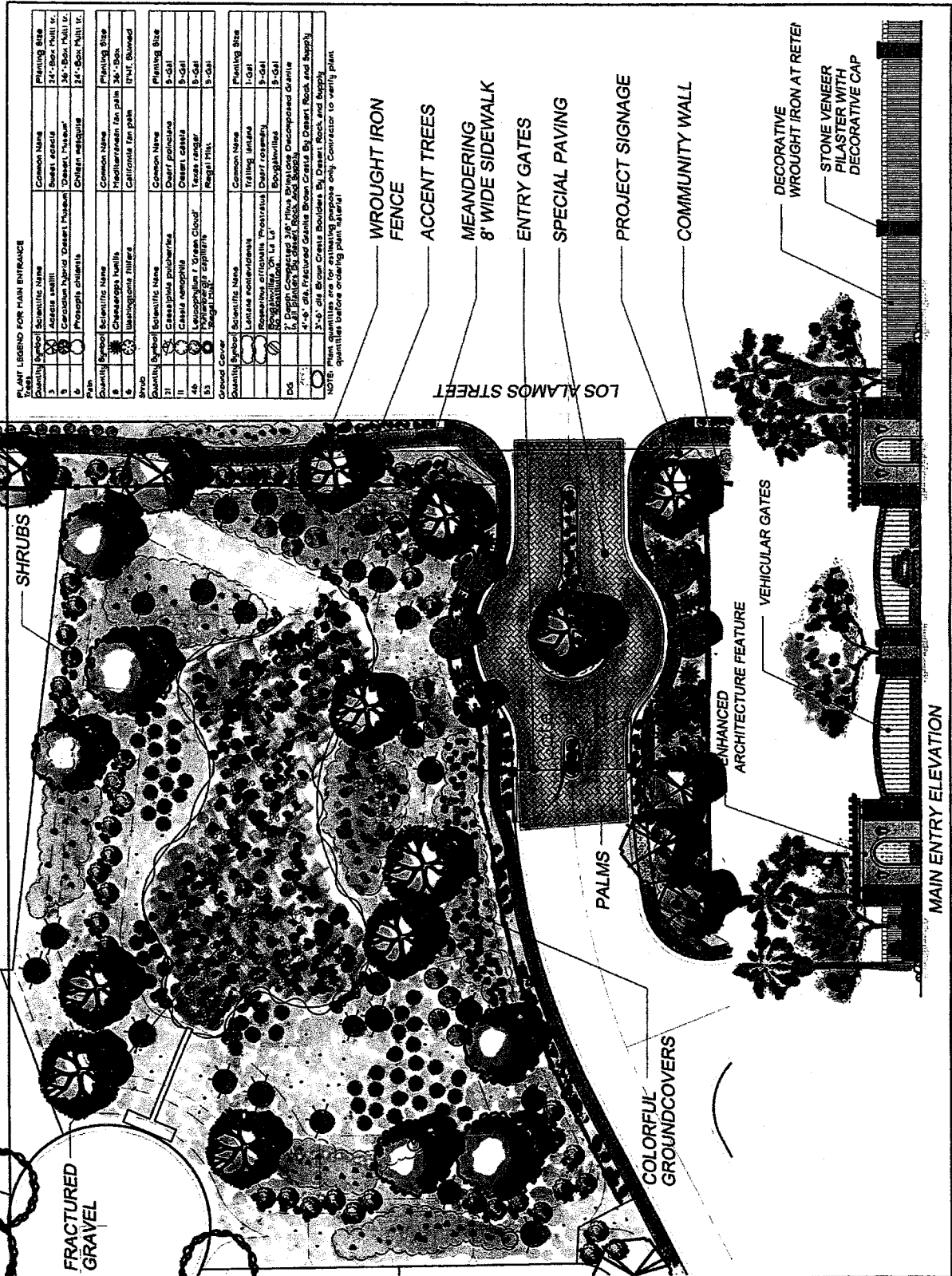


Exhibit 5-6. Northeast Open Space Enhancement and Community Entry

Exhibit 5-7. Recommended Plant Palette (from Coachella Valley Water District, Lush and Efficient new edition)

TREES

Botanical

Acacia aneura
Acacia farnesiana
Acacia salicina
Acacia saligna
Acacia stenophylla
Bauhinia variegata
Brahea armata
Butia Capitata
Caesalpinia cacalaco
Callistemon viminalis
Chamaerops humilis
Chilopsis linearis
Chorisia speciosa
Cupressus arizonica
Cupressus Sempervirens
Dalbergia sissoo
Fraxinus uhdei
Geijera parviflora
Lysiloma watsonii var. thornberi
Melaleuca quinquenervia
Olea europaea
Olneya tesota
Parkinsonia floridum
Parkinsonia hybrid 'Desert Museum'
Parkinsonia microphylla
Parkinsonia praecox
Pithecellobium flexicaule
Prosopis glandulosa
Prosopis hybrid 'Phoenix'
Prosopis velutina
Prunus caroliniana 'Bright 'n Tight'
Prunus cerasifera 'Krauter Vesuvius'
Quercus virginiana 'Heritage'
Rhus lancea
Schinus molle
Sophora secundiflora
Ulmus parvifolia
Vitex agnus-castus
Washingtonia filifera

Common

Mulga
 Sweet Acacia
 Willow Acacia
 Blue Leaf Wattle
 Shoestring Acacia
 Purple Orchid Tree
 Mexican Blue Palm
 Pindo Palm
 Cascalote
 Bottle Brush Tree
 Mediterranean Fan Palm
 Desert Willow
 Silk floss Tree, Kapok
 Arizona Cypress
 Italian Cypress
 Indian Rosewood
 Evergreen Ash
 Australian Willow
 Feather Tree
 Cajeput Tree
 Fruitless Olive
 Desert Ironwood
 Blue Palo Verde
 Desert Museum Palo Verde
 Little Leaf Palo Verde
 Palo Brea, Sonoran Palo Verde
 Texas Ebony
 Honey Mesquite
 Phoenix Mesquite
 Velvet Mesquite
 Cherry Laurel
 Purple Plum
 Southern Live Oak
 African Sumac
 California Pepper
 Texas Mtn. Laurel
 Evergreen Elm
 Chaste Tree
 California Fan Palm

SHRUBS

Botanical

Iyogyne huegelii
Anisacanthus quadrifidus brevilobus
Anisacanthus quadrifidus wrightii
Buddleia marrubifolia

Common

Blue Hibiscus
 Mountain Fire
 Mexican Flame
 Woolly Butterflybush

<i>Buxus microphylla japonica</i>	Japanese Boxwood
<i>Caesalpinia gilliesii</i>	Yellow Bird of Paradise
<i>Caesalpinia mexicana</i>	Mexican Bird of Paradise
<i>Caesalpinia pulcherrima</i>	Red Bird of Paradise
<i>Calliandra californica</i>	Baja Fairy Duster
<i>Calliandra eriophylla</i>	Fairy Duster
<i>Calliandra Haematocephala</i>	Pink Powder Puff
<i>Callistemon viminalis 'Little John'</i>	Little John Bottlebrush
<i>Carissa grandiflora</i>	Natal Plum
<i>Cordia boissieri</i>	Texas Olive
<i>Cuphea hyssopifolia</i>	False Heather, Mexican Heather
<i>Cuphea llavea</i>	Bat-Faced Cuphea
<i>Cycas revoluta</i>	Sago Palm
<i>Dalea frutescens</i>	Black Dalea
<i>Dalea pulchra</i>	Indigo Bush
<i>Dodonaea viscosa</i>	Green Hop Bush
<i>Encelia farinosa</i>	Brittle Bush
<i>Eremophila maculata v. brevifolia</i>	Red Eremophila
<i>Ericameria laricifolia</i>	Turpentine Bush
<i>Eriogonum fasciculatum v. poliofolium</i>	Flattop Buckwheat
<i>Feijoa sellowiana</i>	Pineapple Guava
<i>Fraxinus greggii</i>	Little Leaf Ash
<i>Gardenia jasminoides</i>	Gardenia
<i>Grewia occidentalis</i>	Lavender Star-Flower
<i>Hibiscus rosa-sinensis</i>	Hibiscus
<i>Hyptis emoryi</i>	Desert Lavender
<i>Ilex vomitoria 'Stokes Dwarf'</i>	Dwarf Yaupon
<i>Justicia brandegeana</i>	Shrimp Plant
<i>Justicia californica</i>	Chuparosa
<i>Justicia spicigera</i>	Mexican Honeysuckle
<i>Lantana camara</i>	Lantana
<i>Larrea tridentata</i>	Creosote Bush
<i>Leucophyllum candidum</i>	Violet Silverleaf
<i>Leucophyllum frutescens</i>	Texas Ranger
<i>Leucophyllum laevigatum</i>	Chihuahuan Rain Sage
<i>Leucophyllum langmaniae</i>	Cinnamon Sage
<i>Leucophyllum pruinosum</i>	Sierra Ranger
<i>Leucophyllum zygophyllum</i>	Blue Ranger
<i>Ligustrum japonicum</i>	Wax Leaf Privet
<i>Murraya paniculata</i>	Orange Jessamine
<i>Myrtus communis</i>	True Myrtle
<i>Nandina domestica</i>	Heavenly Bamboo
<i>Nerium oleander</i>	Oleander
<i>Pittosporum tobira</i>	Wheeler's Dwarf
<i>Plumbago scandens</i>	White Desert Plumbago
<i>Prunus Caroliniana 'Compacta'</i>	Dwarf Cherry Laurel
<i>Pyracantha crenatoserrata</i>	Graber's Pyracantha
<i>Pyracantha X 'Santa Cruz Prostrata'</i>	Prostrate Pyracantha
<i>Rhaphiolepis indica</i>	Indian Hawthorn
<i>Ruellia brittoniana</i>	Ruellia
<i>Ruellia peninsularis</i>	Baja Ruellia
<i>Salvia clevelandii</i>	Chaparral Sage
<i>Salvia greggii</i>	Autumn sage
<i>Salvia leucantha</i>	Mexican Bush Sage
<i>Senna artemisioides</i>	Feathery Senna
<i>Senna artemisioides filifolia</i>	Desert Senna

Senna artemisioides petiolaris
Senna wislizenii
Simmondsia chinensis
Tagetes lemmonii
Tecoma stans
Tecomaria capensis
Thevetia peruviana
Vauquelinia californica
Viburnum tinus
Viquiera deltoidea
Xylosma congestum

Silver Senna
 Shrubby Senna
 Jojoba
 Mountain Marigold
 Yellow Trumpet Flower
 Cape Honeysuckle
 Lucky Nut
 Arizona Rosewood
 Laurustinus
 Golden Eye
 Xylosma

GROUND COVERS

Botanical

Acacia redolens 'Prostrata'
Baccharis X 'Centennial'
Calylophus hartwegii
Chrysactinia mexicana
Convolvulus cneorum
Convolvulus mauritanicus
Dalea capitata
Dalea greggii
Lantana montevidensis
Myoporum parvifolium
Oenothera berlandieri
Oenothera stubbei
Rosmarinus officinalis 'Prostratus'
Ruellia brittoniana 'Katie'
Wedelia trilobata

Common

Prostrate Acacia
 Prostrate Desert Broom
 Calylophus
 Damianita
 Silver Bush Morning
 Ground Morning Glory
 Golden Dalea
 Trailing Indigo Bush
 Trailing Lantana
 Myoporum Prostratum
 Mexican Evening Primrose
 Chihuahuan Primrose
 Prostrate Rosemary
 Drawf Ruella
 Yellow Dot

VINES

Botanical

Antigonon leptopus
Bougainvillea species
Campsis radicans
Clytostoma callistegioides
Gelsemium sempervirens
Hardenbergia violacea
Jasminum mesnyi
Lonicera japonica "Halliana"
Macfadyena unguis-cati
Mascagnia macroptera
Parthenocissus tricuspidata
Passiflora X alatocaerulea
Passiflora foetida longipedunculata
Podranea ricasoliana
Rosea banksiae
Trachelospermum jasminoides
Vigna caracalla
Vitis californica
Vitis vinifera
Wisteria floribunda

Common

Coral Vine, Queen's Wreath
 Climbing Bougainvillea
 Trumpet Vine
 Lavender Trumpet Vine
 Carolina Jessamine
 Lilac Vine
 Primrose Jasmine
 Hall's Honeysuckle
 Catclaw
 Yellow Orchid Vine
 Hacienda Creeper
 Passion Flower Vine
 Baja Passion Vine
 Pink Trumpet Vine
 Lady Banks Rose
 Star Jasmine
 Snail Vine
 California Wild Grape
 Grape
 Japanese Wisteria

Wisteria sinensis

Chinese Wisteria

CACTI & SUCCULENTS*Botanical*

Agave americana
Agave americana marginata
Agave americana mediopicta
Agave colorata
Agave geminiflora
Agave murpheyi
Agave parryi
Agave victoria-reginae
Agave vilmoriniana
Agave weberi
Aloe arborescens
Aloe dawei
Aloe ferox
Aloe variegata
Aloe vera
Asclepias linearis
Asclepias subulata
Bulbine frutescens
Carnegiea gigantea
Cereus hildmannianus
Dasylicium longissimum
Dasylicium acrotriche
Dasylicium wheeleri
Echinocactus grusonii
Echinocereus engelmannii
Euphorbia rigida
Ferocactus cylindraceus
Ferocactus wislizenii
Fouquieria splendens
Hesperaloe parvifolia
Hesperaloe funifera
Nolina microcarpa
Opuntia basilaris
Opuntia engelmannii
Opuntia ficus-indica
Pachycereus marginatus
Pachypodium lamerei
Pedilanthus macrocarpus
Portulacaria afra
Stenocereus thurberi
Trichocereus huascha
Yucca aloifolia
Yucca baccata
Yucca elata
Yucca gloriosa
Yucca pallida
Yucca recurvifolia
Yucca rigida
Yucca whipplei

Common

Century Plant
 Variegated Century Plant
 Mediopicta Variegated Century
 Mescal Ceniza
 Twin-Flowered Agave
 Murphy's Agave
 Parry's Agave
 Queen Victoria Agave
 Octopus Agave
 Weber's Agave
 Tree Aloe
 Dawe's Aloe
 Cape Aloe
 Patridge Breast Aloe
 Aloe Vera, True Aloe
 Threadleaf Milkweed
 Desert Milkweed
 Bulbine
 Saguaro Cactus
 Hildmann's Cereus
 Grass Tree
 Green Desert Spoon
 Desert Spoon
 Golden Barrel Cactus
 Engelmann's Hedgehog
 Gopher Plant
 Compass Barrel
 Fish-Hook Barrel Cactus
 Ocotillo
 Red Yucca
 Giant Hesperaloe
 Bear Grass
 Beavertail Prickly Pear
 Engelmann's Prickly Pear
 Indian Fig
 Mexican Fencepost
 Madagascar Palm
 Slipper Flower
 Elephant's Food
 Organ Pipe Cactus
 Argentine Hedgehog
 Spanish Bayonet
 Banana Yucca
 Soaptree Yucca
 Spanish Dagger
 Pale-Leaf Yucca
 Pendulous Yucca
 Blue Yucca
 Our Lord's Candle

ORNAMENTAL GRASSES*Botanical*

Imperata cylindrica 'Rubra'
Muhlenbergia capillaris
Muhlenbergia emersleyi
Muhlenbergia lindheimeri
Muhlenbergia rigens
Nassella tenuissima
Pennisetum setaceum 'Rubrum'

Common

Japanese Blood Grass
 Pink Muhley
 Bull Grass
 Lindheimer Muhley
 Deer Grass
 Mexican Thread Grass
 Red Fountain Grass

PERENNIALS*Botanical*

Artemisia schmidtiana 'Silver Mound'
Asparagus densiflorus
Asparagus macowanii
Asparagus setaceus
Baileya multiradiata
Bergenia crassifolia
Berlandiera lyrata
Centaurea cineraria
Cerastium tomentosum
Chrysanthemum frutescens
Dicliptera resupinata
Dietes bicolor
Dietes vegeta
Dyssodia pentachaeta
Echinacea purpurea
Euphorbia milii
Euphorbia tirucalli
Euryops pectinatus 'Viridis'
Gaillardia X grandiflora
Gaura lindheimeri
Hemerocallis hybrids
Hesperis matronalis
Heuchera sanguinea
Hymenoxys acaulis
Lavandula stoechas
Melampodium leucanthum
Nierembergia caerulea
Oenothera caespitosa
Penstemon baccharifolius
Penstemon eatonii
Penstemon parryi
Penstemon pseudospectabilis
Penstemon superbus
Psilostrophe cooperi
Psilostrophe tagetina
Ratibida columnaris
Rudbeckia hirta
Salvia farinacea
Salvia X superba
Sphaeralcea ambigua

Common

Angel's Hair
 Asparagus Fern
 Macowan Asparagus Fern
 Fern Asparagus
 Desert Marigold
 Siberian Tea
 Chocolate Flower
 Dusty Miller
 Snow-in-Summer
 Marguerite
 Dicliptera
 Peacock Flower
 Butterfly Iris
 Golden Dyssodia
 Purple Coneflower
 Crown of Thorns
 Pencil Bush
 Green Gold
 Blanket Flower
 Gaura
 Daylily
 Dame's Rocket
 Coral Bells
 Angelita Daisy
 Spanish Lavender
 Blackfoot Daisy
 Dwarf Cup Flower
 White Evening Primose
 Rock Penstemon
 Firecracker Penstemon
 Parry's Penstemon
 Canyon Penstemon
 Superb Penstemon
 Paperflower
 Texas Paperflower
 Mexican Hat
 Black-Eyed Susan
 Mealy Cup Sage
 Blue Queen Sage
 Globe Mallow

Tagetes lucida
Tulbaghia violacea
Verbena peruviana
Verbena pulchella
Verbena Rigida
Zauschneria californica
Zephyranthes candida
Zinnia acerosa
Zinnia grandiflora

Licorice Marigold
 Society Garlic
 Peruvian Verbena
 Moss Verbena
 Sandpiper Verbena
 California Fushia
 Rain Lily
 Desert Zinnia
 Prairie Zinnia

ANNUALS

Botanical

Antirrhinum majus
Calendula officinalis
Catharanthus roseus
Centaurea cyanus
Chrysanthemum X morifolium
Delphinium species
Dianthus Species
Eschscholzia californica
Gaillardia pulchella
Geranium species
Linaria maroccana
Linum grandiflorum
Linum perenne
Lobelia erinus
Lobularia maritima
Lupinus densiflorus
Lupinus texensis
Matthiola incana
Papaver rhoeas
Petunia hybrids
Phacelia campanularia
Phlox drummondii
Primula malacoides
Silene armeria
Tagetes erecta
Tithonia rotundifolia
Verbena hybrids
Viola cornuta
Viola X wittrockiana
Zinnia elegans

Common

Snapdragon
 Calendula
 Periwinkle Vinca
 Bachelor's Button
 Chrysanthemum
 Larkspur
 Dianthus
 California Poppy
 Indian Blanket
 Geranium
 Toadflax
 Scarlet Flax
 Blue Flax
 Lobelia
 Sweet Alyssum
 Golden Lupine
 Texas Bluebonnet
 Stock
 Flanders Field Poppy
 Petunia
 California Bluebell
 Annual Phlox
 Fairy Primrose
 Catchfly
 Marigold
 Mexican Sunflower
 Verbena
 Viola
 Pansy
 Zinnia



OFFICE OF
CLERK OF THE BOARD OF SUPERVISORS
1st FLOOR, COUNTY ADMINISTRATIVE CENTER
P.O. BOX 1147, 4080 LEMON STREET
RIVERSIDE, CA 92502-1147
PHONE: (951) 955-1060
FAX: (951) 955-1071

KECIA HARPER-IHEM
Clerk of the Board of Supervisors

KIMBERLY A. RECTOR
Assistant Clerk of the Board

October 19, 2010

THE PRESS ENTERPRISE
ATTN: LEGALS
P.O. BOX 792
RIVERSIDE, CA 92501

E-MAIL: legals@pe.com
FAX: (951) 368-9018

RE: NOTICE OF PUBLIC HEARING: ZC 6987 and TTM 32463

To Whom It May Concern:

Attached is a copy for publication in your newspaper for **One (1) Time on Thursday, October 21, 2010.**

We require your affidavit of publication immediately upon completion of the last publication.

Your invoice must be submitted to this office in duplicate, WITH TWO CLIPPINGS OF THE PUBLICATION.

NOTE: PLEASE COMPOSE THIS PUBLICATION INTO A SINGLE COLUMN FORMAT.

Thank you in advance for your assistance and expertise.

Sincerely,

Mcgil

Cecilia Gil, Board Assistant to
KECIA HARPER-IHEM, CLERK OF THE BOARD

Gil, Cecilia

From: PE Legals [legals@pe.com]
Sent: Tuesday, October 19, 2010 8:12 AM
To: Gil, Cecilia
Subject: RE: FOR PUBLICATION: ZC 6987 TTM 32463

Received for publication on Oct. 21

Thank You!
Maria

Maria G. Tinajero • Legal Advertising Department • 1-800-880-0345 • Fax: 951-368-9018

enterprisemedia

Publisher of the Press-Enterprise

Please Note: Deadline is 10:30 AM two (2) business days prior to the date you would like to publish.

Additional days required for larger ad sizes

From: Gil, Cecilia [mailto:CCGIL@rcbos.org]
Sent: Monday, October 18, 2010 5:25 PM
To: PE Legals
Subject: FOR PUBLICATION: ZC 6987 TTM 32463

Good afternoon!

Attached is a Notice of Public Hearing, for publication on Thursday, Oct. 21, 2010. Please confirm. THANK YOU!

Cecilia Gil

Board Assistant to the
Clerk of the Board of Supervisors
951-955-8464

**THE COUNTY ADMINISTRATIVE CENTER IS CLOSED EVERY FRIDAY UNTIL FURTHER NOTICE.
PLEASE CONSIDER THE ENVIRONMENT BEFORE PRINTING.**



OFFICE OF
CLERK OF THE BOARD OF SUPERVISORS
1st FLOOR, COUNTY ADMINISTRATIVE CENTER
P.O. BOX 1147, 4080 LEMON STREET
RIVERSIDE, CA 92502-1147
PHONE: (951) 955-1060
FAX: (951) 955-1071

KECIA HARPER-IHEM
Clerk of the Board of Supervisors

KIMBERLY A. RECTOR
Assistant Clerk of the Board

October 19, 2010

THE DESERT SUN
ATTN: LEGALS
PO BOX 2734
PALM SPRINGS, CA 92263

EMAIL: legals@thedesertsun.com
FAX: (760) 778-4731

RE: NOTICE OF PUBLIC HEARING: ZC 6987 and TTM 32463

To Whom It May Concern:

Attached is a copy for publication in your newspaper for **One (1) Time on Thursday, October 21, 2010.**

We require your affidavit of publication immediately upon completion of the last publication.

Your invoice must be submitted to this office in duplicate, **WITH TWO CLIPPINGS OF THE PUBLICATION.**

NOTE: PLEASE COMPOSE THIS PUBLICATION INTO A SINGLE COLUMN FORMAT.

Thank you in advance for your assistance and expertise.

Sincerely,

Mcgil

Cecilia Gil, Board Assistant to
KECIA HARPER-IHEM, CLERK OF THE BOARD

Gil, Cecilia

From: Moeller, Charlene [CMOELLER@palmspri.gannett.com]
Sent: Monday, October 18, 2010 5:28 PM
To: Gil, Cecilia
Subject: RE: FOR PUBLICATION: ZC 6987 TTM 32463

Ad received and will publish on date(s) requested.

Charlene Moeller
Public Notice Customer Service Rep.
The Desert Sun Newspaper
750 N. Gene Autry Trail, Palm Springs, CA 92262
(760) 778-4578, Fax (760) 778-4731
Desert Sun legals@thedesertsun.com
& Desert Post Weekly dpwlegals@thedesertsun.com
The Coachella Valley's #1 Source in News & Advertising! Visit us at mydesert.com
Please Be Kind to the Environment; Think before you print.

From: Gil, Cecilia [<mailto:CCGIL@rcbos.org>]
Sent: Monday, October 18, 2010 5:25 PM
To: tds-legals
Subject: FOR PUBLICATION: ZC 6987 TTM 32463

Good afternoon!

Attached is a Notice of Public Hearing, for publication on Thursday, Oct. 21, 2010. Please confirm. THANK YOU!

Cecilia Gil
Board Assistant to the
Clerk of the Board of Supervisors
951-955-8464

**THE COUNTY ADMINISTRATIVE CENTER IS CLOSED EVERY FRIDAY UNTIL FURTHER NOTICE.
PLEASE CONSIDER THE ENVIRONMENT BEFORE PRINTING.**

NOTICE OF PUBLIC HEARING BEFORE THE BOARD OF SUPERVISORS OF RIVERSIDE COUNTY ON A CHANGE OF ZONE AND TENTATIVE TRACT MAP IN THE CATHEDRAL CITY – PALM DESERT ZONING DISTRICT – WESTERN COACHELLA VALLEY AREA PLAN, FOURTH SUPERVISORIAL DISTRICT AND NOTICE OF INTENT TO ADOPT A MITIGATED NEGATIVE DECLARATION

NOTICE IS HEREBY GIVEN that a public hearing at which all interested persons will be heard, will be held before the Board of Supervisors of Riverside County, California, on the 1st Floor Board Chambers, County Administrative Center, 4080 Lemon Street, Riverside, on **Tuesday, November 2, 2010 at 1:30 P.M.** to consider the application submitted by SCC Rancho Mirage, LLC – Adkan Engineers, on **Change of Zone No. 6987**, which proposes to amend the zone from Controlled Development Areas – 20 Acre Minimum (W-2-20) to One Family Dwellings (R-1), or such other zones as the Board may find appropriate; and, **Tentative Tract Map No. 32463, Schedule A**, which proposes to subdivide 80 acres into 206 single family residential lots with separate common open space lots including a well site and two retention basins (“the project”). The project is located northerly of Ramon Road, easterly of Palm Vista Street, and westerly of Los Alamos Street in the Cathedral City – Palm Desert Zoning District – Western Coachella Valley Area Plan, Fourth Supervisorial District.

The Planning Commission approved the project, found that the project will not have a significant effect on the environment and recommended the adoption of a Mitigated Negative Declaration for **Environmental Assessment No. 39616**.

The project case file may be viewed from the date of this notice until the public hearing, Monday through Thursday, from 7:30 a.m. to 5:30 p.m. at the Clerk of the Board of Supervisors at 4080 Lemon Street, 1st Floor, Riverside, California 92501, and at the Riverside County Planning Department at 4080 Lemon Street, 12th Floor, Riverside, California 92501.

FOR FURTHER INFORMATION REGARDING THIS PROJECT, PLEASE CONTACT JAY OLIVAS, PROJECT PLANNER, AT (951) 955-1195 OR EMAIL jolivas@rctlma.org.

Any person wishing to testify in support of or in opposition to the project may do so in writing between the date of this notice and the public hearing, or may appear and be heard at the time and place noted above. All written comments received prior to the public hearing will be submitted to the Board of Supervisors and the Board of Supervisors will consider such comments, in addition to any oral testimony, before making a decision on the project.

If you challenge the above item in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence to the Planning Commission or Board of Supervisors at, or prior to, the public hearing. Be advised that as a result of the public hearing and the consideration of all public comment, written and oral, the Board of Supervisors may amend, in whole or in part, the project and/or the related environmental document. Accordingly, the designations, development standards, design or improvements, or any properties or lands within the boundaries of the project, may be changed in a way other than specifically proposed.

Please send all written correspondence to: Clerk of the Board, 4080 Lemon Street, 1st Floor, Post Office Box 1147, Riverside, CA 92502-1147

Dated: October 19, 2010

Kecia Harper-Ihem
Clerk of the Board
By: Cecilia Gil, Board Assistant

Gil, Cecilia

From: Meyer, Mary Ann [MaMeyer@asrclkrec.com]
Sent: Tuesday, October 19, 2010 9:36 AM
To: Gil, Cecilia
Subject: RE: FOR POSTING: ZC 6987 TTM 32463

received and posted

From: Gil, Cecilia
Sent: Monday, October 18, 2010 5:26 PM
To: Meyer, Mary Ann
Cc: Marshall, Tammie
Subject: FOR POSTING: ZC 6987 TTM 32463

Good afternoon!

Attached is a Notice of Public Hearing, for POSTING. Please confirm. THANK YOU!

Cecilia Gil

Board Assistant to the
Clerk of the Board of Supervisors
951-955-8464

**THE COUNTY ADMINISTRATIVE CENTER IS CLOSED EVERY FRIDAY UNTIL FURTHER NOTICE.
PLEASE CONSIDER THE ENVIRONMENT BEFORE PRINTING.**

CERTIFICATE OF MAILING

(Original copy, duly executed, must be attached to
the original document at the time of filing)

I, Cecilia Gil, Board Assistant, for the
(NAME and TITLE)

County of Riverside, do hereby certify that I am not a party to the within action or proceeding; that on October 19, 2010, I mailed a copy of the following document:

NOTICE OF PUBLIC HEARING

ZC 6987 and TTM 32463

to the parties listed in the attached labels, by depositing said copy with postage thereon fully prepaid, in the United States Post Office, 3890 Orange St., Riverside, California, 92501.

Board Agenda Date: November 2, 2010 @ 1:30 PM

SIGNATURE: Mcgil
Cecilia Gil

DATE: October 19, 2010

PROPERTY OWNERS CERTIFICATION FORM

I, VINNIE NGUYEN, certify that on 7/26/2010,

The attached property owners list was prepared by Riverside County GIS,

APN (s) or case numbers CZ06987 / TR32463 For

Company or Individual's Name Planning Department,

Distance buffered 1600'

Pursuant to application requirements furnished by the Riverside County Planning Department, Said list is a complete and true compilation of the owners of the subject property and all other property owners within 600 feet of the property involved, or if that area yields less than 25 different owners, all property owners within a notification area expanded to yield a minimum of 25 different owners, to a maximum notification area of 2,400 feet from the project boundaries, based upon the latest equalized assessment rolls. If the project is a subdivision with identified off-site access/improvements, said list includes a complete and true compilation of the names and mailing addresses of the owners of all property that is adjacent to the proposed off-site improvement/alignment.

I further certify that the information filed is true and correct to the best of my knowledge. I understand that incorrect or incomplete information may be grounds for rejection or denial of the application.

NAME: Vinnie Nguyen

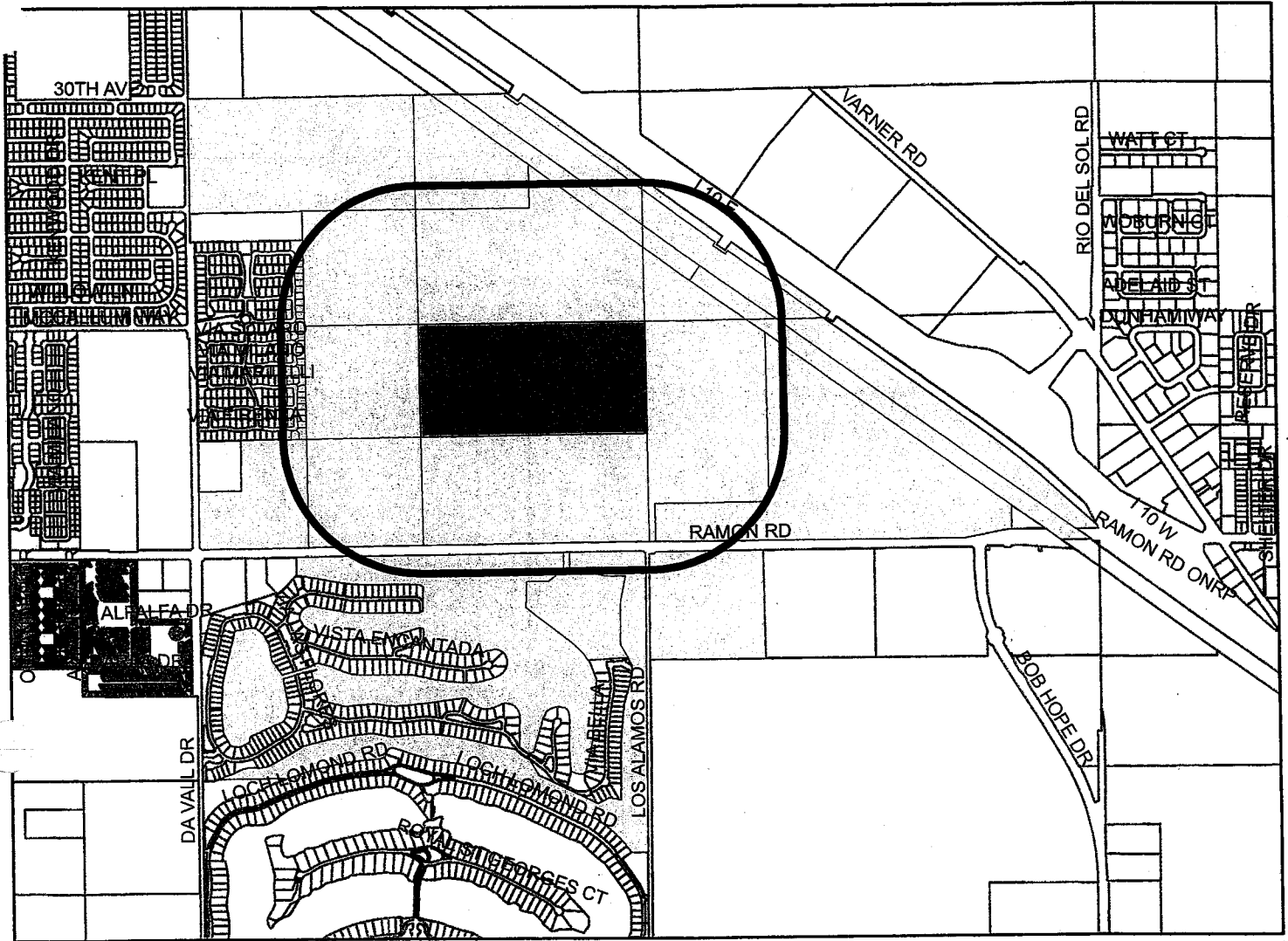
TITLE GIS Analyst

ADDRESS: 4080 Lemon Street 2nd Floor

Riverside, Ca. 92502

TELEPHONE NUMBER (8 a.m. – 5 p.m.): (951) 955-8158

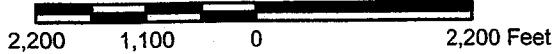
1600 feet buffer



Selected Parcels

670-480-012	670-470-029	670-480-066	670-480-063	670-480-054	670-470-045	670-480-009	670-480-011	670-470-044	670-470-049
670-470-006	670-470-043	670-470-018	670-480-008	670-480-055	670-480-024	670-480-029	670-480-028	670-470-016	670-480-045
670-480-073	670-480-074	670-480-013	670-470-048	670-470-054	670-480-042	670-470-046	670-480-056	670-480-064	670-470-052
670-480-051	670-480-065	670-480-075	670-480-007	670-480-043	670-480-049	670-240-003	670-250-003	670-250-004	670-470-008
670-480-046	670-480-025	670-480-047	670-470-051	670-230-016	670-230-002	670-220-001	670-480-030	670-470-050	670-230-014
670-480-050	670-480-026	670-480-076	670-480-010	670-480-031	670-480-052	670-480-053	670-480-044	670-230-006	670-470-042
670-240-004	670-240-006	670-250-007	670-250-008	670-220-005	670-220-004	670-240-005	673-320-007	673-320-008	673-320-001
670-470-005	670-470-047	670-470-053	670-480-048	670-480-027	670-470-007	670-480-083	670-470-061	670-470-060	670-470-059
670-470-058	670-480-086	670-470-064	670-480-088	670-480-085	670-480-087	670-240-009	670-230-015	670-220-017	670-220-007

rst 90 parcels shown



Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.



APN: 670480012, ASMT: 670480012
384909 B C
5495 232ND ST
LANGLEY BC CANADA V2Z2P8 0

APN: 670480011, ASMT: 670480011
DAVID G BOYDEN, ETAL
P O BOX 71
LOUSANA AB CANADA T0M1K0 0

APN: 670470029, ASMT: 670470029
BARBARA A BOYAJIAN
85 VIA DEL MERCATO
RANCHO MIRAGE CA. 92270

APN: 670470044, ASMT: 670470044
DOUGLAS A CREVLING, ETAL
108 VIA DEL SIGNORIA
RANCHO MIRAGE CA. 92270

APN: 670480066, ASMT: 670480066
BARBARA J NAGY, ETAL
248 VIA SAN LUCIA
RANCHO MIRAGE CA. 92270

APN: 670470049, ASMT: 670470049
DUANE M GODIER, ETAL
118 VIA DEL SIGNORIA
RANCHO MIRAGE CA. 92270

APN: 670480063, ASMT: 670480063
BILL WADDLE, ETAL
4322 CRESCENT WAY
CYPRESS CA 90630

APN: 670470006, ASMT: 670470006
EDITH M GALLARDO
133 VIA TUSCANY
RANCO MIRAGE CA 92270

APN: 670480054, ASMT: 670480054
BILT MOR DEV
4322 CRESENT AVE
CYPRESS CA 90630

APN: 670470043, ASMT: 670470043
EILEEN MILLER GIRSON, ETAL
511 LE CLAIRE AVE
WILMETTE IL 60091

APN: 670470045, ASMT: 670470045
CATHERINE ESQUERRE
110 VIA DEL SIGNORIA
RANCHO MIRAGE CA. 92270

APN: 670470018, ASMT: 670470018
ERNEST VACA, ETAL
84 VIA DEL MERCATO
RANCHO MIRAGE CA 92270

APN: 670480009, ASMT: 670480009
CRAIG ELG, ETAL
117 VIA SOLARO
RANCHO MIRAGE CA. 92270

APN: 670480008, ASMT: 670480008
GLENN PADEN
119 VIA SOLARO
RANCHO MIRAGE CA. 92270

79 ZC6987 TTM 32463



APN: 670480055, ASMT: 670480055
GUSTAVO BRIONES, ETAL
234 VIA FIRENZIA
RANCHO MIRAGE CA. 92270

APN: 670480074, ASMT: 670480074
JOSEPH CHRISTOPHER PATENCIO, ETAL
251 VIA SAN LUCIA
RANCHO MIRAGE CA. 92270

APN: 670480024, ASMT: 670480024
HAROLD BERG, ETAL
183 VIA MILANO
RANCHO MIRAGE CA. 92270

APN: 670480013, ASMT: 670480013
JOSEPH L JARECKI, ETAL
124 VIA SOLARO
RANCHO MIRAGE CA. 92270

APN: 670480029, ASMT: 670480029
JACQUELINE W MACDONALD
186 VIA MILANO
RANCHO MIRAGE CA. 92270

APN: 670470048, ASMT: 670470048
JOSEPH NAZARIAN
116 VIA DEL SIGNORIA
RANCHO MIRAGE CA. 92270

APN: 670480028, ASMT: 670480028
JOHN C COX
108 VIA TIBERIO
RANCHO MIRAGE CA. 92270

APN: 670470054, ASMT: 670470054
JUAN CARLOS OBISPO
128 VIA TUSCANY
RANCHO MIRAGE CA. 92270

APN: 670470016, ASMT: 670470016
JOHN E THOMPSON, ETAL
93 VIA SAN MARCO
RANCHO MIRAGE CA. 92270

APN: 670480042, ASMT: 670480042
JUAN J RUIZ, ETAL
11716 RIDGEGATE DR
WHITTIER CA 90601

APN: 670480045, ASMT: 670480045
JOHN K SCHOFIELD, ETAL
1024 HILLDALE AVE
WEST HOLLYWOOD CA 90069

APN: 670470046, ASMT: 670470046
JULIANA AILABOUNI
112 VIA DEL SIGNORIA
RANCHO MIRAGE CA. 92270

APN: 670480073, ASMT: 670480073
JONATHAN BROWN, ETAL
249 VIA SAN LUCIA
RANCHO MIRAGE CA. 92270

APN: 670480056, ASMT: 670480056
LAWRENCE E ERICKSON, ETAL
501 E AVENIDA SAN JUAN
SAN CLEMENTE CA 91672





APN: 670480064, ASMT: 670480064
LAWRENCE F JARECKI, ETAL
233 VIA FIRENZA
RANCHO MIRAGE CA. 92270

APN: 670480049, ASMT: 670480049
MARVIN G LUSK, ETAL
246 VIA PADUA
RANCHO MIRAGE CA. 92270

APN: 670470052, ASMT: 670470052
LAWRENCE SHOEMAKER, ETAL
132 VIA TUSCANY
RANCHO MIRAGE CA. 92270

APN: 670250004, ASMT: 670250004
MELVA MARTINDALE
C/O SELZER EALY HEMPHILL & BLASDEL
69844 HIGHWAY 111 STE K
RANCHO MIRAGE CA 92270

APN: 670480051, ASMT: 670480051
LINDA C ORGILL, ETAL
242 VIA PADUA
RANCHO MIRAGE CA. 92270

APN: 670470008, ASMT: 670470008
META SUSAN TRIGIANO
94 VIA SAN MARCO
RANCHO MIRAGE CA. 92270

APN: 670480065, ASMT: 670480065
LISA M DEBENON
16360 ROSEWOOD ST
FOUNTAIN VALLEY CA 92708

APN: 670480046, ASMT: 670480046
MICHAEL B UNHJEM
3210 A 40TH AVE S
FARGO ND 58104

APN: 670480075, ASMT: 670480075
LORI H HIVNER
250 VIA MARTELLI
RANCHO MIRAGE CA. 92270

APN: 670480025, ASMT: 670480025
MICHAEL GRAUEL, ETAL
185 VIA MILANO
RANCHO MIRAGE CA. 92270

APN: 670480007, ASMT: 670480007
MARIA J MARQUEZ
121 VIA SOLARO
RANCHO MIRAGE CA. 92270

APN: 670480047, ASMT: 670480047
MIKE MOORE, ETAL
250 VIA PADUA
RANCHO MIRAGE CA. 92270

APN: 670480043, ASMT: 670480043
MARIO GARDNER
C/O RESORT PARKING SVCS
36665 BANKSIDE DR NO E
CATHEDRAL CY CA 92234

APN: 670470051, ASMT: 670470051
MILTON KRAUSE, ETAL
134 VIA TUSCANY
RANCHO MIRAGE CA. 92270



APN: 670230016, ASMT: 670230016
PALM SPRINGS CEMETERY DIST
69920 E RAMON RD
CATHEDRAL CITY CA 92234

APN: 670480076, ASMT: 670480076
RENEE E HAYER
16450 COLEBRIDGE CT
CHINO HILLS CA 91709

APN: 670220001, ASMT: 670220001
PALM SPRINGS UNIFIED SCHOOL DISTRICT
980 TAHQUITZ CANYON 202
PALM SPRINGS CA 92262

APN: 670480010, ASMT: 670480010
RIV PROP
C/O LOUIE S NORWOOD
268 N LINCOLN NO 12
CORONA CA 92882

APN: 670480030, ASMT: 670480030
PATRICIA J WARREN
184 VIA MILANO
RANCHO MIRAGE CA. 92270

APN: 670480031, ASMT: 670480031
ROBERT E BROWN, ETAL
182 VIA MILANO
RANCHO MIRAGE CA. 92270

APN: 670470050, ASMT: 670470050
PHILIP WESLEY YOUNG, ETAL
120 VIA DEL SIGNORIA
RANCHO MIRAGE CA. 92270

APN: 670480052, ASMT: 670480052
RODOLFO GOMEZ, ETAL
240 VIA PADUA
RANCHO MIRAGE CA. 92270

APN: 670230014, ASMT: 670230014
RAMON ROAD PARTNERS LTD
P O BOX 1623
PALM DESERT CA 92261

APN: 670480053, ASMT: 670480053
ROGER M CASEY, ETAL
238 VIA PADUA
RANCHO MIRAGE CA. 92270

APN: 670480050, ASMT: 670480050
REBECCA HYATT
244 VIA PADUA
RANCHO MIRAGE CA. 92270

APN: 670480044, ASMT: 670480044
RON N RISTAINO, ETAL
253 VIA MARTELLI
RANCHO MIRAGE CA. 92270

APN: 670480026, ASMT: 670480026
REBECCA J FLOOD WILSON, ETAL
C/O MAURICE WILSON
112 VIA TIBERIO
RANCHO MIRAGE CA. 92270

APN: 670230006, ASMT: 670230006
SCC RANCHO MIRAGE
C/O SUN CAL CO
2392 MORSE AVE
IRVINE CA 92614



APN: 670470042, ASMT: 670470042
SHAWNA MCNEILL
104 VIA DEL SIGNORIA
RANCHO MIRAGE CA. 92270

APN: 670480027, ASMT: 670480027
TERRY L LAHN
110 VIA TIBERIO
RANCHO MIRAGE CA. 92270

APN: 670240005, ASMT: 670240005
SOUTHERN PACIFIC TRANSPORTATION CO
SOUTHERN PACIFIC TRANSPORTATION CO
1700 FARNAM ST 10TH FL S
OMAHA NE 68102

APN: 670470007, ASMT: 670470007
THOMAS A CONNORS, ETAL
96 VIA SAN MARCO
RANCHO MIRAGE CA. 92270

APN: 673320001, ASMT: 673320001
STARWOOD RANCHO MIRAGE ACQUISITION
C/O EPROP TAX DEPT 206
P O BOX 4900
SCOTTSDALE AZ 85261

APN: 670480083, ASMT: 670480083
TUSCANY AT RANCHO MIRAGE
C/O PAM
74041 HIGHWAY 111
PALM DESERT CA 92261

APN: 670470005, ASMT: 670470005
STEVEN M ELLINGTON
68675 PANORAMA RD
CATHEDRAL CY CA 92234

APN: 670470060, ASMT: 670470060
TUSCANY AT RANCHO MIRAGE INC
68936 ADELINA
CATHEDRAL CY CA 92234

APN: 670470047, ASMT: 670470047
STEVEN T ERICKSON, ETAL
114 VIA DEL SIGNORIA
RANCHO MIRAGE CA. 92270

APN: 670470058, ASMT: 670470058
TUSCANY AT RANCHO MIRAGE INC
C/O ENCLAVE GROUP
68936 ADELINA RD
CATHEDRAL CY CA 92234

APN: 670470053, ASMT: 670470053
SUZANNE OSUNA ARMSTRONG
130 VIA TUSCANY
RANCHO MIRAGE CA. 92270

APN: 670480087, ASMT: 670480087
TUSCANY AT RANCHO MIRAGE INC
C/O PALM DESERT ESCROW
74041 HIGHWAY 111
PALM DESERT CA 92261

APN: 670480048, ASMT: 670480048
TANYA L NIWA
C/O SCOTT NIWA
29 OAKMONT DR
RANCHO MIRAGE CA 92270

~~APN: 670220016, ASMT: 670220016
USA 670
UNKNOWN 01-18-90
0~~

Impression antibouillage et à séchage rapide

Utilisez le gabarit AVERY 5162®

Feed Paper



www.avery.com

1-800-GO-AVERY



AVERY 5162®

APN: 673120024, ASMT: 673120024
USA AGUA CALIENTE BAND OF CAHUILLA INDIANS
C/O CONNIE MEDINA
5401 DINAH SHORE DR
PALM SPRINGS CA 92264

APN: 670470017, ASMT: 670470017
WALTER M ROBERTS, ETAL
95 VIA SAN MARCO
RANCHO MIRAGE CA. 92270

APN: 670480006, ASMT: 670480006
WESS JOHN MURDOUGH, ETAL
124 O SHOUGHNESY BLVD
SAN FRANCISCO CA 94127

APN: 670470041, ASMT: 670470041
WILLIAM G BOBERSKI, ETAL
102 VIA DEL SIGNORIA
RANCHO MIRAGE CA. 92270

Étiquettes faciles à peeler
Utilisez le gabarit AVERY 5162®



Sens de lecture
www.avery.com
1-800-GO-AVERY

Replier à la hachure afin de
faciliter le retrait des unités

Use Avery Template 5162®
www.avery.com

City of Rancho Mirage
69-825 Highway 111
Rancho Mirage, CA 92270

City of Cathedral City
68-700 Avenida Lalo Guerrero
Cathedral City, CA 92234

Agua Caliente Band of Cahuilla Indians
Richard Milanovich, Chairperson
5401 Dinah Shore Drive
Palm Springs 92262

Palm Springs Unified School Dist.
980 E. Tahquitz Cyn. Way. Ste. #204
Palm Springs, CA 92262

Applicant / Owner:
SCC Rancho Mirage LLC
2392 Morse Ave
Irvine, CA 92614

Engineer:
Adkan Engineers
6820 Airport Drive
Riverside, CA 92504

**EXTRA LABELS FOR
TR32463**



① REMITTANCE ADDRESS
 POST OFFICE BOX 12009
 RIVERSIDE, CA 92502-2209
 FAX (951) 368-9026

① BILLING PERIOD 10/21/10 - 10/21/10
 ② ADVERTISING/CLIENT NAME BOARD OF SUPERVISORS
 ③ BILLING DATE 10/21/10
 FOR BILLING INFORMATION CALL (951) 368-9713
 ④ PAGE NO 1
 ⑤ TOTAL AMOUNT DUE 227.50
 UNAPPLIED AMOUNT 0
 ⑥ TERMS OF PAYMENT Due Upon Receipt

③ BILLED ACCOUNT NAME AND ADDRESS
 BOARD OF SUPERVISORS
 COUNTY OF RIVERSIDE
 P.O. BOX 1147
 RIVERSIDE CA 92502

⑥ BILLED ACCOUNT NUMBER 045202
 REP NO LE04

Statement #: 56566177 Amount Paid \$ _____ Your Check # _____


PLEASE DETACH AND RETURN UPPER PORTION WITH YOUR REMITTANCE

⑩ DATE	⑪ REFERENCE	⑫ ⑬ DESCRIPTION-OTHER COMMENTS/CHARGES	⑭ SAU SIZE ⑮ BILLED UNITS	⑯ RATE	⑰ GROSS AMOUNT	⑱ NET AMOUNT
10/21	4239233 C0	PH ZC 6987 TTM 32463EA Class : 10 Ctext Ad# 10438001 Placed By : Cecilia Gil	175 L	1.30		227.50

*Planning
 16.3 of 11/2/10
 79P 1hr
 ZC 6987*

RECEIVED RIVERSIDE COUNTY
 CLERK/BOARD OF SUPERVISORS
 2010 NOV - 1 PM 12:59

① CURRENT NET AMOUNT DUE	② 30 DAYS	60 DAYS	OVER 90 DAYS	* UNAPPLIED AMOUNT	⑳ PLEASE PAY THIS AMOUNT
					227.50

THE PRESS-ENTERPRISE 
 P.O. BOX 12009
 RIVERSIDE, CA 92502-2209
 TELEPHONE (951) 368-9711
 (951) 368-9720 [(951) 368-9713

ADVERTISING
 STATEMENT/INVOICE


 * UNAPPLIED AMOUNTS ARE INCLUDED IN TOTAL AMOUNT DUE

② STATEMENT NUMBER	① BILLING PERIOD	④ BILLED ACCOUNT NUMBER	⑦ ADVERTISER/CLIENT NUMBER	⑥ ADVERTISER/CLIENT NAME
56566177	10/21/10 - 10/21/10	045202		BOARD OF SUPERVISORS

THE PRESS-ENTERPRISE

3450 Fourteenth Street
Riverside CA 92501-3878
951-684-1200
951-368-9018 FAX

PROOF OF PUBLICATION
(2010, 2015.5 C.C.P.)

Press-Enterprise

PROOF OF PUBLICATION OF

Ad Desc.: PH ZC 6987 TTM 32463 EA

I am a citizen of the United States. I am over the age of eighteen years and not a party to or interested in the above entitled matter. I am an authorized representative of THE PRESS-ENTERPRISE, a newspaper of general circulation, printed and published daily in the County of Riverside, and which newspaper has been adjudicated a newspaper of general circulation by the Superior Court of the County of Riverside, State of California, under date of April 25, 1952, Case Number 54446, under date of March 29, 1957, Case Number 65673 and under date of August 25, 1995, Case Number 267864; that the notice, of which the annexed is a printed copy, has been published in said newspaper in accordance with the instructions of the person(s) requesting publication, and not in any supplement thereof on the following dates, to wit:

10-21-10

I Certify (or declare) under penalty of perjury that the foregoing is true and correct.

Date: Oct. 21, 2010
At: Riverside, California



BOARD OF SUPERVISORS

P.O. BOX 1147
COUNTY OF RIVERSIDE
RIVERSIDE CA 92502

Ad #: 10438001

PO #:

Agency #: _____

Ad Copy:

NOTICE OF PUBLIC HEARING BEFORE THE BOARD OF SUPERVISORS OF RIVERSIDE COUNTY ON A CHANGE OF ZONE AND TENTATIVE TRACT MAP IN THE CATHEDRAL CITY - PALM DESERT ZONING DISTRICT - WESTERN COACHELLA VALLEY AREA PLAN, FOURTH SUPERVISORIAL DISTRICT AND NOTICE OF INTENT TO ADOPT A MITIGATED NEGATIVE DECLARATION

NOTICE IS HEREBY GIVEN that a public hearing at which all interested persons will be heard, will be held before the Board of Supervisors of Riverside County, California, on the 1st Floor Board Chambers, County Administrative Center, 4080 Lemon Street, Riverside, on Tuesday, November 2, 2010 at 1:30 P.M. to consider the application submitted by SCC Rancho Mirage, LLC - Adkan Engineers, on Change of Zone No. 6987, which proposes to amend the zone from Controlled Development Areas - 20 Acre Minimum (W-2-20) to One Family Dwellings (R-1), or such other zones as the Board may find appropriate; and, Tentative Tract Map No. 32463, Schedule A, which proposes to subdivide 80 acres into 206 single family residential lots with separate common open space lots including a well site and two retention basins ("the project"). The project is located northerly of Ramon Road, easterly of Palm Vista Street, and westerly of Los Alamos Street in the Cathedral City - Palm Desert Zoning District - Western Coachella Valley Area Plan, Fourth Supervisorial District.

The Planning Commission approved the project, found that the project will not have a significant effect on the environment and recommended the adoption of a Mitigated Negative Declaration for Environmental Assessment No. 39616.

The project case file may be viewed from the date of this notice until the public hearing, Monday through Thursday, from 7:30 a.m. to 5:30 p.m. at the Clerk of the Board of Supervisors at 4080 Lemon Street, 1st Floor, Riverside, California 92501, and at the Riverside County Planning Department at 4080 Lemon Street, 12th Floor, Riverside, California 92501.

FOR FURTHER INFORMATION REGARDING THIS PROJECT, PLEASE CONTACT JAY OLIVAS, PROJECT PLANNER, AT (951) 955-1195 OR EMAIL jolivas@rctlma.org.

Any person wishing to testify in support of or in opposition to the project may do so in writing between the date of this notice and the public hearing, or may appear and be heard at the time and place noted above. All written comments received prior to the public hearing will be submitted to the Board of Supervisors and the Board of Supervisors will consider such comments, in addition to any oral testimony, before making a decision on the project.

If you challenge the above item in court, you may be limited to raising only those issues you or someone else raised at the pub-

lic hearing described in this notice, or in written correspondence to the Planning Commission or Board of Supervisors at, or prior to, the public hearing. Be advised that as a result of the public hearing and the consideration of all public comment, written and oral, the Board of Supervisors may amend, in whole or in part, the project and/or the related environmental document. Accordingly, the designations, development standards, design or improvements, or any properties or lands within the boundaries of the project, may be changed in a way other than specifically proposed. Please send all written correspondence to: Clerk of the Board, 4080 Lemon Street, 1st Floor, Post Office Box 1147, Riverside, CA 92502-1147
Dated: October 19, 2010
Kecia Harper-Ihem
Clerk of the Board
By: Cecilia Gil, Board Assistant 10/21

The Desert Sun

mydesert.com

750 N. Gene Autry Trail
Palm Springs, CA 92262
Billing Inquiries: (866) 875-0854
Main Office: (760) 322-8889

ADVERTISING INVOICE/STATEMENT

Make Checks payable to DESERT SUN PUBLISHING CO.
P.O. Box 677368 Dallas, TX 75267-7368
A finance charge of 1.5% per month (18% Annually) will be added to balances not paid by the 20th.

102

RIV0690000038798380023974810820

RIVERSIDE COUNTY-BOARD OF SUP.
PO BOX 1147
RIVERSIDE CA 92502-1147

Customer No.	Invoice No.
RIV069	0003879838
For the Period	Thru
09/27/10	10/31/10
Due Date	Amount Due
11/15/10	2,397.48
AMOUNT PAID	

PLEASE RETURN THIS TOP SECTION WITH PAYMENT IN THE ENCLOSED ENVELOPE AND INCLUDE YOUR CUSTOMER NUMBER ON REMITTANCE.

Date	EDT	Class	Description	Times Run	Col	Depth	Total Size	Rate	Amount
0927			BALANCE FORWARD						12,302.18
1004			PAYMENT - THANK YOU						9,751.38-
1022			PAYMENT - THANK YOU						2,361.30-
0929	CLS	0001	CECLIA NO 4106 NOTICE I	4	2	141.00	1128.00		484.12
1008	CLS	0001	CECILIA NO 4290 BOARD OF	2	2	224.00	896.00		387.84
1009	CLS	0001	CECILIA NO 4312 NOTICE O	2	2	99.00	396.00		180.34
1010	CLS	0001	CECILIA NO 4328 NOTICE O	2	2	96.00	384.00		175.36
1015	CLS	0001	CECILIA NO 4396 BOARD OF	2	2	265.00	1060.00		455.90
1021	CLS	0001	CECILIA NO 4471 NOTICE O	2	2	93.00	372.00		170.38
1021	CLS	0001	CECILIA NO 4472 NOTICE O	2	2	92.00	368.00		168.72
1030	CLS	0001	CECILIA NO 4650 BOARD OF	2	2	102.00	408.00		185.32
									RECEIVED RIVERSIDE COUNTY CLERK / BOARD OF SUPERVISORS 2010 NOV - 8 PM 3:37
Current		Over 30 Days	Over 60 Days	Over 90 Days	Over 120 Days	Total Due			
2,207.98		.00	.00	.00	189.50	2,397.48			
Contract Type	Contract Qnty.	Expiration Date	Current Usage	Total Used	Quantity Remaining	Salesperson			
						MOELLER			

16.3 of 11/2/10

The Advertiser shall make payment within 15 days of the billing date indicated on Company's statement, and, in the event that it fails to make payment within such time, Company may reject advertising copy and / or immediately cancel this contract and Advertiser agrees to indemnify Company for all expenses incurred in connection with the collection of amounts payable under this contract, including but not limited to collection fees, attorney's fees and court costs. If this agreement is cancelled due to Advertiser's failure to make timely payment, Company may rebill the Advertiser for the outstanding balance due at the open or earned contract rate, whichever is applicable.

TO ENSURE PROPER CREDIT, PLEASE RETURN THE TOP SECTION AND INCLUDE YOUR CUSTOMER NUMBER ON REMITTANCE.

Customer Number	Name	Invoice Number	Amount Paid
RIV069	RIVERSIDE COUNTY-BOARD OF SUP.	0003879838	

The Desert Sun
750 N Gene Autry Trail
Palm Springs, CA 92262
760-778-4578 / Fax 760-778-4731

Certificate of Publication

State Of California ss:
County of Riverside

Advertiser:

RIVERSIDE COUNTY-BOARD OF SUP.
4080 LEMON ST
RIVERSIDE CA 925013

2000229505

I am over the age of 18 years old, a citizen of the United States and not a party to, or have interest in this matter. I hereby certify that the attached advertisement appeared in said newspaper (set in type not smaller than non pariel) in each and entire issue of said newspaper and not in any supplement thereof on the following dates, to wit:

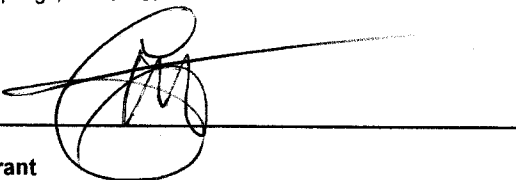
Newspaper: **The Desert Sun**

10/21/2010

I acknowledge that I am a principal clerk of the printer of The Desert Sun, printed and published weekly in the City of Palm Springs, County of Riverside, State of California. The Desert Sun was adjudicated a newspaper of general circulation on March 24, 1988 by the Superior Court of the County of Riverside, State of California Case No. 191236.

I declare under penalty of perjury that the foregoing is true and correct. Executed on this 21st day of October, 2010 in Palm Springs, California.

Declarant



No 4471
NOTICE OF PUBLIC HEARING BEFORE THE BOARD OF SUPERVISORS OF RIVERSIDE COUNTY ON A CHANGE OF ZONE AND TENTATIVE TRACT MAP IN THE CATHEDRAL CITY - PALM DESERT ZONING DISTRICT - WESTERN COACHELLA VALLEY AREA PLAN, FOURTH SUPERVISORIAL DISTRICT AND NOTICE OF INTENT TO ADOPT A MITIGATED NEGATIVE DECLARATION

NOTICE IS HEREBY GIVEN that a public hearing at which all interested persons will be heard, will be held before the Board of Supervisors of Riverside County, California, on the 1st Floor Board Chambers, County Administrative Center, 4080 Lemon Street, Riverside, on Tuesday, November 2, 2010 at 1:30 P.M. to consider the application submitted by SCC Rancho Mirage, LLC - Adkan Engineers, on Change of Zone No. 6967, which proposes to amend the zone from Controlled Development Areas - 20 Acre Minimum (W-2-20) to One Family Dwellings (R-1), or such other zones as the Board may find appropriate; and, Tentative Tract Map No. 32463, Schedule A, which proposes to subdivide 80 acres into 206 single family residential lots with separate common open space lots including a well site and two retention basins ("the project"). The project is located northerly of Ramon Road, easterly of Palm Vista Street, and westerly of Los Alamos Street in the Cathedral City - Palm Desert Zoning District - Western Coachella Valley Area Plan, Fourth Supervisorial District.

The Planning Commission approved the project, found that the project will not have a significant effect on the environment and recommended the adoption of a Mitigated Negative Declaration for Environmental Assessment No. 39616.

The project case file may be viewed from the date of this notice until the public hearing, Monday through Thursday, from 7:30 a.m. to 5:30 p.m. at the Clerk of the Board of Supervisors at 4080 Lemon Street, 1st Floor, Riverside, California 92501, and at the Riverside County Planning Department at 4080 Lemon Street, 12th Floor, Riverside, California 92501.

FOR FURTHER INFORMATION REGARDING THIS PROJECT, PLEASE CONTACT JAY OLIVAS, PROJECT PLANNER, AT (951) 955-1195 OR EMAIL jolivas@rctma.org.

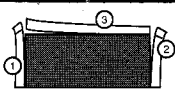
Any person wishing to testify in support of or in opposition to the project may do so in writing between the date of this notice and the public hearing, or may appear and be heard at the time and place noted above. All written comments received prior to the public hearing will be submitted to the Board of Supervisors and the Board of Supervisors will consider such comments, in addition to any oral testimony, before making a decision on the project.

If you challenge the above item in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence to the Planning Commission or Board of Supervisors at, or prior to, the public hearing. Be advised that as a result of the public hearing and the consideration of all public comment, written and oral, the Board of Supervisors may amend, in whole or in part, the project and/or the related environmental document. Accordingly, the designations, development standards, design or improvements, or any properties or lands within the boundaries of the project, may be changed in a way other than specifically proposed.

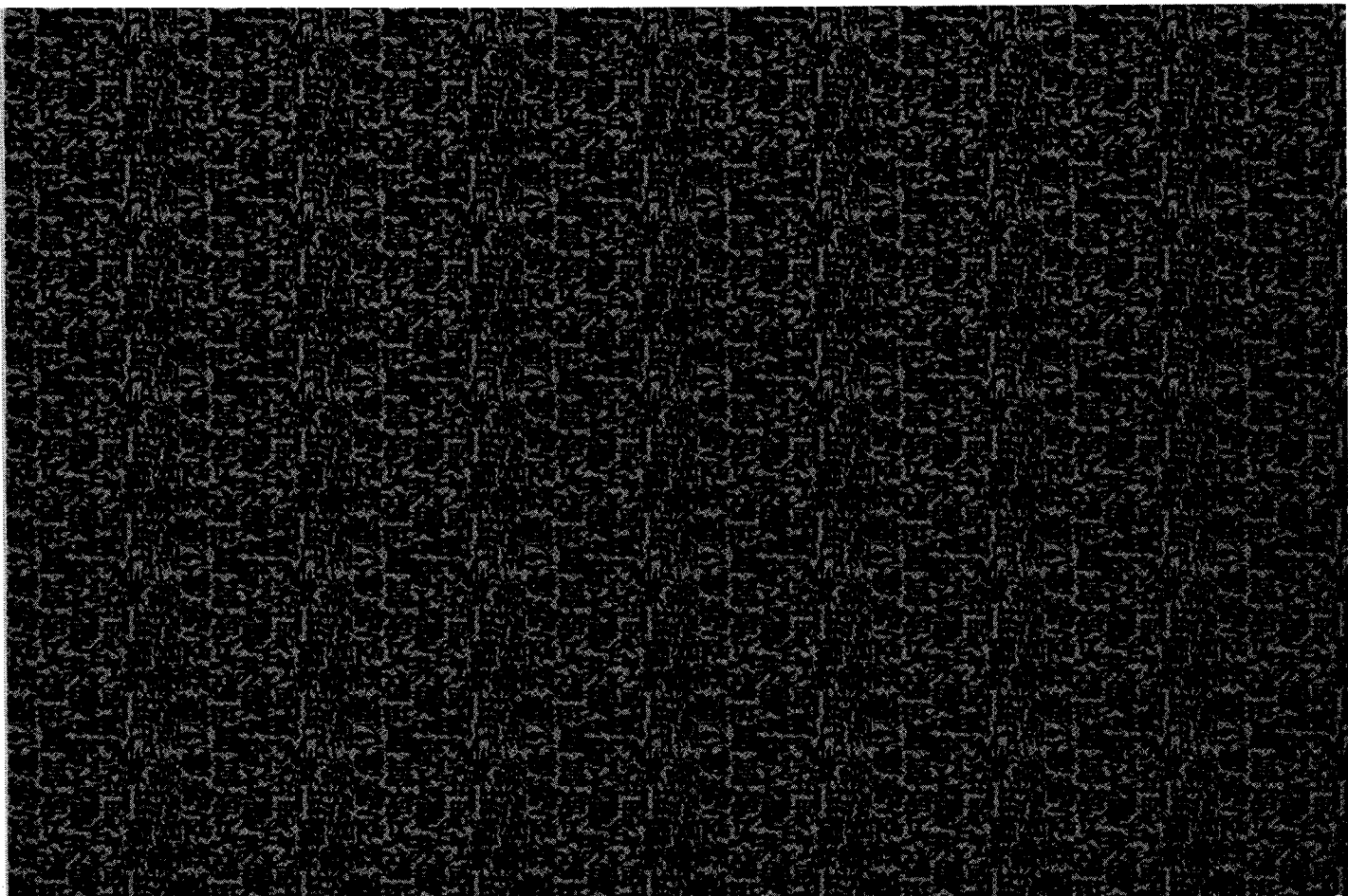
Please send all written correspondence to: Clerk of the Board, 4080 Lemon Street, 1st Floor, Post Office Box 1147, Riverside, CA 92502-1147

Dated: October 19, 2010
Kecia Harper-Ihem
Clerk of the Board
By: Cecilia Gil, Board Assistant

Published: 10/21/10



REMOVE SIDE EDGES FIRST
THEN FOLD AND TEAR THIS STUB ALONG PERFORATION



Riverside County Clerk of the Board
County Administrative Center
4080 Lemon Street, 1st Floor Annex
P. O. Box 1147
Riverside, CA 92502-1147

PUBLIC HEARING NOTICE
This may affect your property

APN: 670480065, ASMT: 670480065
LISA M DEBENON
16360 ROSEWOOD ST
FOUNTAIN VALLEY CA 92708

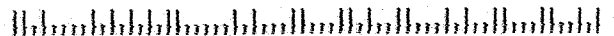
RECEIVED RIVERSIDE COUNTY
CLERK / BOARD OF SUPERVISORS
2010 OCT 28 PM 3:04

NIXIE 927 DC 1 00 10/28/10

RETURN TO SENDER
ATTEMPTED - NOT KNOWN
UNABLE TO FORWARD

BC: 92502114747 *2177-04215-22-18

HL *L.P. 925021147
927080999



NOTICE OF PUBLIC HEARING BEFORE THE BOARD OF SUPERVISORS OF RIVERSIDE COUNTY ON A CHANGE OF ZONE AND TENTATIVE TRACT MAP IN THE CATHEDRAL CITY - PALM DESERT ZONING DISTRICT - WESTERN COACHELLA VALLEY AREA PLAN, FOURTH SUPERVISORIAL DISTRICT AND NOTICE OF INTENT TO ADOPT A MITIGATED NEGATIVE DECLARATION

NOTICE IS HEREBY GIVEN that a public hearing at which all interested persons will be heard, will be held before the Board of Supervisors of Riverside County, California, on the 1st Floor Board Chambers, County Administrative Center, 4080 Lemon Street, Riverside, on **Tuesday, November 2, 2010 at 1:30 P.M.** to consider the application submitted by SCC Rancho Mirage, LLC - Adkan Engineers, on **Change of Zone No. 6987**, which proposes to amend the zone from Controlled Development Areas - 20 Acre Minimum (W-2-20) to One Family Dwellings (R-1), or such other zones as the Board may find appropriate; and, **Tentative Tract Map No. 32463, Schedule A**, which proposes to subdivide 80 acres into 206 single family residential lots with separate common open space lots including a well site and two retention basins ("the project"). The project is located northerly of Ramon Road, easterly of Palm Vista Street, and westerly of Los Alamos Street in the Cathedral City - Palm Desert Zoning District - Western Coachella Valley Area Plan, Fourth Supervisorial District.

The Planning Commission approved the project, found that the project will not have a significant effect on the environment and recommended the adoption of a Mitigated Negative Declaration for **Environmental Assessment No. 39616**.

The project case file may be viewed from the date of this notice until the public hearing, Monday through Thursday, from 7:30 a.m. to 5:30 p.m. at the Clerk of the Board of Supervisors at 4080 Lemon Street, 1st Floor, Riverside, California 92501, and at the Riverside County Planning Department at 4080 Lemon Street, 12th Floor, Riverside, California 92501.

FOR FURTHER INFORMATION REGARDING THIS PROJECT, PLEASE CONTACT JAY OLIVAS, PROJECT PLANNER, AT (951) 955-1195 OR EMAIL [jolivas@rcctima.org](mailto:joliv@rcctima.org).

Any person wishing to testify in support of or in opposition to the project may do so in writing between the date of this notice and the public hearing, or may appear and be heard at the time and place noted above. All written comments received prior to the public hearing will be submitted to the Board of Supervisors and the Board of Supervisors will consider such comments, in addition to any oral testimony, before making a decision on the project.

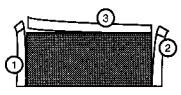
If you challenge the above item in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence to the Planning Commission or Board of Supervisors at, or prior to, the public hearing. Be advised that as a result of the public hearing and the consideration of all public comment, written and oral, the Board of Supervisors may amend, in whole or in part, the project and/or the related environmental document. Accordingly, the designations, development standards, design or improvements, or any properties or lands within the boundaries of the project, may be changed in a way other than specifically proposed.

Please send all written correspondence to: Clerk of the Board, 4080 Lemon Street, 1st Floor, Post Office Box 1147, Riverside, CA 92502-1147

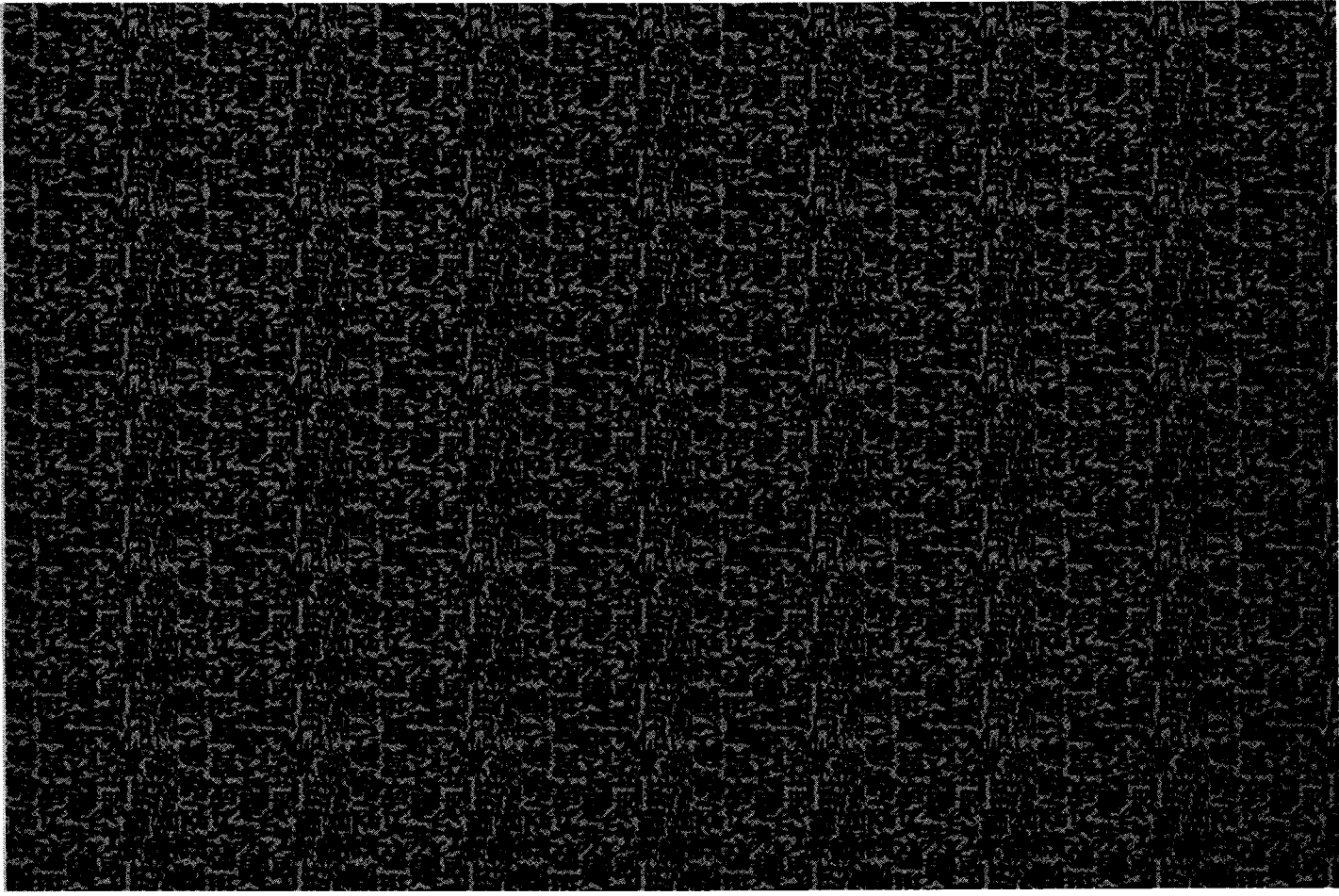
Dated: October 19, 2010

Kecia Harper-Ithem
Clerk of the Board
By: Cecilia Gil, Board Assistant

16.3 of 11-02-10



REMOVE SIDE EDGES FIRST
THEN FOLD AND TEAR THIS STUB ALONG PERFORATION



Riverside County Clerk of the Board
County Administrative Center
4080 Lemon Street, 1st Floor Annex
P. O. Box 1147
Riverside, CA 92502-1147

PUBLIC HEARING NOTICE
This may affect your property

APN: 670230014, ASMT: 670230014
RAMON ROAD PARTNERS LTD
P O BOX 1623
PALM DESERT CA 92261

BC

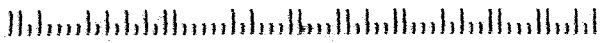
RECEIVED RIVERSIDE COUNTY
CLERK / BOARD OF SUPERVISORS
2010 NOV - 1 PM 12: 59

NIXIE 923 DE 1 00 10/28/10

RETURN TO SENDER
VACANT
UNABLE TO FORWARD

BC: 92502114747 *1977-03861-28-35

HL *15810202271



NOTICE OF PUBLIC HEARING BEFORE THE BOARD OF SUPERVISORS OF RIVERSIDE COUNTY ON A CHANGE OF ZONE AND TENTATIVE TRACT MAP IN THE CATHEDRAL CITY - PALM DESERT ZONING DISTRICT - WESTERN COACHELLA VALLEY AREA PLAN, FOURTH SUPERVISORIAL DISTRICT AND NOTICE OF INTENT TO ADOPT A MITIGATED NEGATIVE DECLARATION

NOTICE IS HEREBY GIVEN that a public hearing at which all interested persons will be heard, will be held before the Board of Supervisors of Riverside County, California, on the 1st Floor Board Chambers, County Administrative Center, 4080 Lemon Street, Riverside, on **Tuesday, November 2, 2010 at 1:30 P.M.** to consider the application submitted by SCC Rancho Mirage, LLC - Adkan Engineers, on **Change of Zone No. 6987**, which proposes to amend the zone from Controlled Development Areas - 20 Acre Minimum (W-2-20) to One Family Dwellings (R-1), or such other zones as the Board may find appropriate; and, **Tentative Tract Map No. 32463, Schedule A**, which proposes to subdivide 80 acres into 206 single family residential lots with separate common open space lots including a well site and two retention basins ("the project"). The project is located northerly of Ramon Road, easterly of Palm Vista Street, and westerly of Los Alamos Street in the Cathedral City - Palm Desert Zoning District - Western Coachella Valley Area Plan, Fourth Supervisorial District.

The Planning Commission approved the project, found that the project will not have a significant effect on the environment and recommended the adoption of a Mitigated Negative Declaration for **Environmental Assessment No. 39616**.

The project case file may be viewed from the date of this notice until the public hearing, Monday through Thursday, from 7:30 a.m. to 5:30 p.m. at the Clerk of the Board of Supervisors at 4080 Lemon Street, 1st Floor, Riverside, California 92501, and at the Riverside County Planning Department at 4080 Lemon Street, 12th Floor, Riverside, California 92501.

FOR FURTHER INFORMATION REGARDING THIS PROJECT, PLEASE CONTACT JAY OLIVAS, PROJECT PLANNER, AT (951) 955-1195 OR EMAIL [jolivas@rctima.org](mailto:jolivasa@rctima.org).

Any person wishing to testify in support of or in opposition to the project may do so in writing between the date of this notice and the public hearing, or may appear and be heard at the time and place noted above. All written comments received prior to the public hearing will be submitted to the Board of Supervisors and the Board of Supervisors will consider such comments, in addition to any oral testimony, before making a decision on the project.

If you challenge the above item in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence to the Planning Commission or Board of Supervisors at, or prior to, the public hearing. Be advised that as a result of the public hearing and the consideration of all public comment, written and oral, the Board of Supervisors may amend, in whole or in part, the project and/or the related environmental document. Accordingly, the designations, development standards, design or improvements, or any properties or lands within the boundaries of the project, may be changed in a way other than specifically proposed.

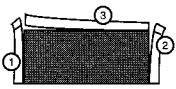
Please send all written correspondence to: Clerk of the Board, 4080 Lemon Street, 1st Floor, Post Office Box 1147, Riverside, CA 92502-1147

Dated: October 19, 2010

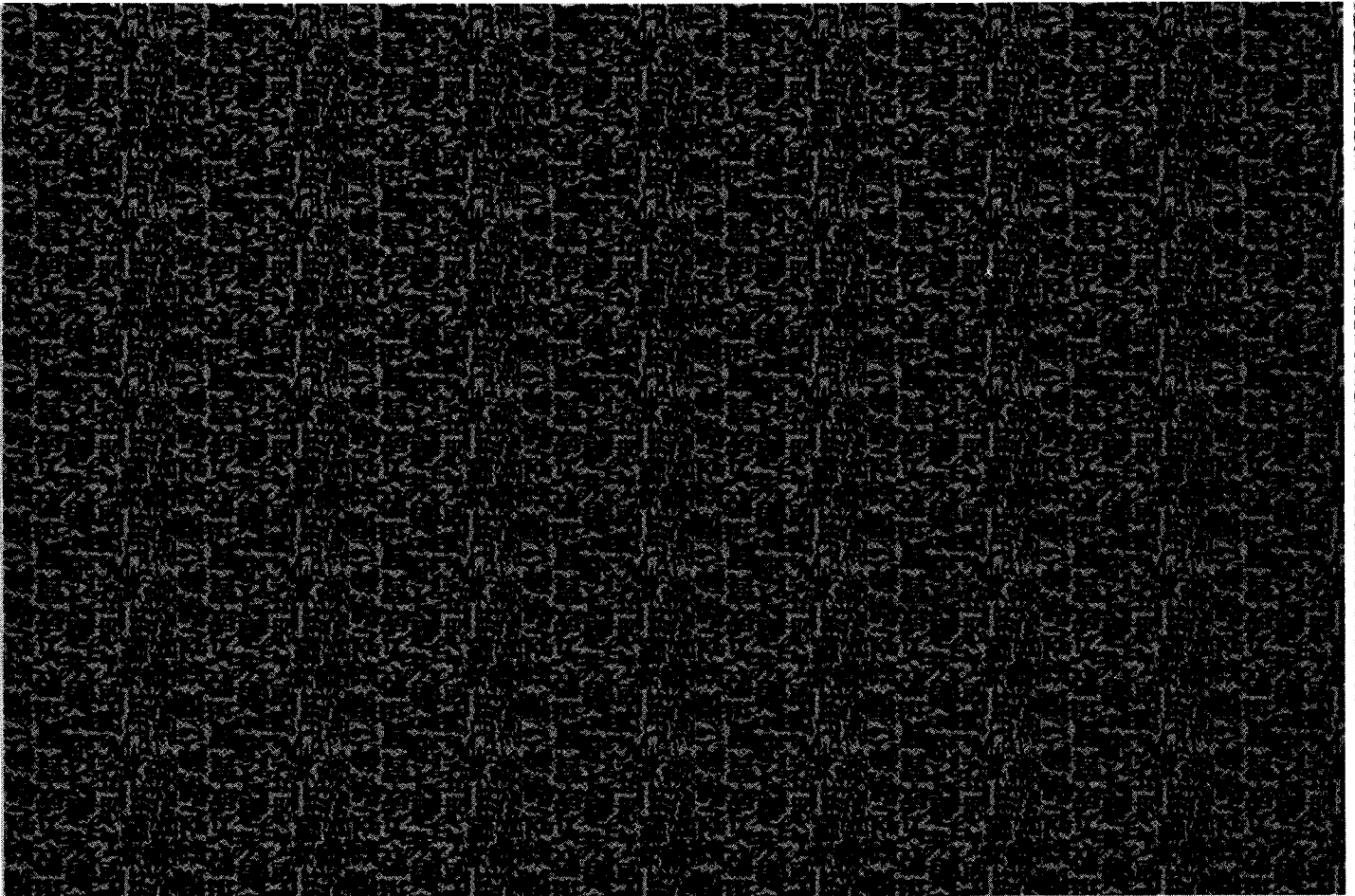
Kecia Harper-Ihem
Clerk of the Board

By: Cecilia Gil, Board Assistant

16.3 w/ 11-02-10



REMOVE SIDE EDGES FIRST
THEN FOLD AND TEAR THIS STUB ALONG PERFORATION



Riverside County Clerk of the Board
County Administrative Center
4080 Lemon Street, 1st Floor Annex
P. O. Box 1147
Riverside, CA 92502-1147

PUBLIC HEARING NOTICE
This may affect your property

APN: 670250004, ASMT: 670250004
MELVA MARTINDALE
C/O SELZER EALY HEMPHILL & BLASDEL
69844 HIGHWAY 111 STE K
RANCHO MIRAGE CA 92270

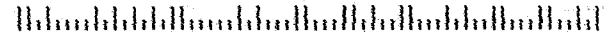
RECEIVED RIVERSIDE COUNTY
CLERK/BOARD OF SUPERVISORS
2010 OCT 25 PM 3:05

NIXIE 923 DE 1 00 10/23/10

RETURN TO SENDER
ATTEMPTED - NOT KNOWN
UNABLE TO FORWARD

BC: 92502114747 *1977-01023-23-48

HL*19256282270



NOTICE OF PUBLIC HEARING BEFORE THE BOARD OF SUPERVISORS OF RIVERSIDE COUNTY ON A CHANGE OF ZONE AND TENTATIVE TRACT MAP IN THE CATHEDRAL CITY - PALM DESERT ZONING DISTRICT - WESTERN COACHELLA VALLEY AREA PLAN, FOURTH SUPERVISORIAL DISTRICT AND NOTICE OF INTENT TO ADOPT A MITIGATED NEGATIVE DECLARATION

NOTICE IS HEREBY GIVEN that a public hearing at which all interested persons will be heard, will be held before the Board of Supervisors of Riverside County, California, on the 1st Floor Board Chambers, County Administrative Center, 4080 Lemon Street, Riverside, on **Tuesday, November 2, 2010 at 1:30 P.M.** to consider the application submitted by SCC Rancho Mirage, LLC - Adkan Engineers, on **Change of Zone No. 6987**, which proposes to amend the zone from Controlled Development Areas - 20 Acre Minimum (W-2-20) to One Family Dwellings (R-1), or such other zones as the Board may find appropriate; and, **Tentative Tract Map No. 32463, Schedule A**, which proposes to subdivide 80 acres into 206 single family residential lots with separate common open space lots including a well site and two retention basins ("the project"). The project is located northerly of Ramon Road, easterly of Palm Vista Street, and westerly of Los Alamos Street in the Cathedral City - Palm Desert Zoning District - Western Coachella Valley Area Plan, Fourth Supervisorial District.

The Planning Commission approved the project, found that the project will not have a significant effect on the environment and recommended the adoption of a Mitigated Negative Declaration for **Environmental Assessment No. 39616**.

The project case file may be viewed from the date of this notice until the public hearing, Monday through Thursday, from 7:30 a.m. to 5:30 p.m. at the Clerk of the Board of Supervisors at 4080 Lemon Street, 1st Floor, Riverside, California 92501, and at the Riverside County Planning Department at 4080 Lemon Street, 12th Floor, Riverside, California 92501.

FOR FURTHER INFORMATION REGARDING THIS PROJECT, PLEASE CONTACT JAY OLIVAS, PROJECT PLANNER, AT (951) 955-1195 OR EMAIL [jolivas@rcplma.org](mailto:joliv@rcplma.org).

Any person wishing to testify in support of or in opposition to the project may do so in writing between the date of this notice and the public hearing, or may appear and be heard at the time and place noted above. All written comments received prior to the public hearing will be submitted to the Board of Supervisors and the Board of Supervisors will consider such comments, in addition to any oral testimony, before making a decision on the project.

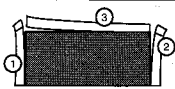
If you challenge the above item in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence to the Planning Commission or Board of Supervisors at, or prior to, the public hearing. Be advised that as a result of the public hearing and the consideration of all public comment, written and oral, the Board of Supervisors may amend, in whole or in part, the project and/or the related environmental document. Accordingly, the designations, development standards, design or improvements, or any properties or lands within the boundaries of the project, may be changed in a way other than specifically proposed.

Please send all written correspondence to: Clerk of the Board, 4080 Lemon Street, 1st Floor, Post Office Box 1147, Riverside, CA 92502-1147

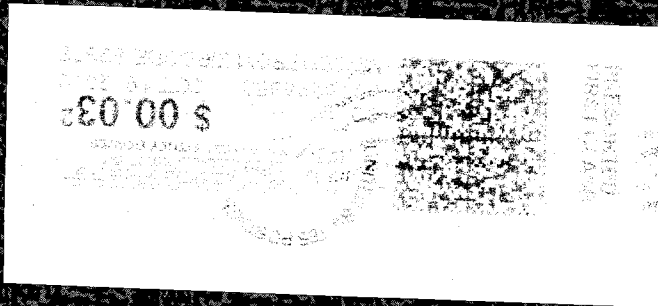
Dated: October 19, 2010

Kecia Harper-Ihem
Clerk of the Board
By: Cecilia Gil, Board Assistant

16.3 of 11/02/10



REMOVE SIDE EDGES FIRST
THEN FOLD AND TEAR THIS STUB ALONG PERFORATION



Riverside County Clerk of the Board
County Administrative Center
4080 Lemon Street, 1st Floor Annex
P. O. Box 1147
Riverside, CA 92502-1147

PUBLIC HEARING NOTICE
This may affect your property

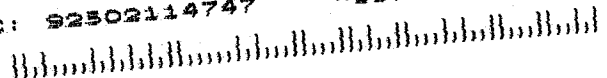
V.T.F.

APN: 670470058, ASMT: 670470058
TUSCANY AT RANCHO MIRAGE INC
C/O ENCLAVE GROUP
68936 ADELINA RD
CATHEDRAL CY CA 92234

RECEIVED RIVERSIDE COUNTY
CLERK / BOARD OF SUPERVISORS
2010 OCT 26 PM 12:33

NIXIE 923 DE 1 00 10/23/10
RETURN TO SENDER
NOT DELIVERABLE AS ADDRESSED
UNABLE TO FORWARD

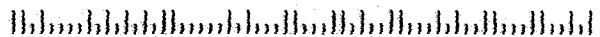
BC: 92502114747 *1977-06158-21-43



HL 92502114747

RETURN TO SENDER
ATTEMPTED - NOT KNOWN
UNABLE TO FORWARD

BC: 92502114747 *1004-06988-19-42



92260849650201747

NOTICE OF PUBLIC HEARING BEFORE THE BOARD OF SUPERVISORS OF RIVERSIDE COUNTY ON A CHANGE OF ZONE AND TENTATIVE TRACT MAP IN THE CATHEDRAL CITY - PALM DESERT ZONING DISTRICT - WESTERN COACHELLA VALLEY AREA PLAN, FOURTH SUPERVISORIAL DISTRICT AND NOTICE OF INTENT TO ADOPT A MITIGATED NEGATIVE DECLARATION

NOTICE IS HEREBY GIVEN that a public hearing at which all interested persons will be heard, will be held before the Board of Supervisors of Riverside County, California, on the 1st Floor Board Chambers, County Administrative Center, 4080 Lemon Street, Riverside, on **Tuesday, November 2, 2010 at 1:30 P.M.** to consider the application submitted by SCC Rancho Mirage, LLC - Adkan Engineers, on **Change of Zone No. 6987**, which proposes to amend the zone from Controlled Development Areas - 20 Acre Minimum (W-2-20) to One Family Dwellings (R-1), or such other zones as the Board may find appropriate; and, **Tentative Tract Map No. 32463, Schedule A**, which proposes to subdivide 80 acres into 206 single family residential lots with separate common open space lots including a well site and two retention basins ("the project"). The project is located northerly of Ramon Road, easterly of Palm Vista Street, and westerly of Los Alamos Street in the Cathedral City - Palm Desert Zoning District - Western Coachella Valley Area Plan, Fourth Supervisorial District.

The Planning Commission approved the project, found that the project will not have a significant effect on the environment and recommended the adoption of a Mitigated Negative Declaration for **Environmental Assessment No. 39616.**

The project case file may be viewed from the date of this notice until the public hearing, Monday through Thursday, from 7:30 a.m. to 5:30 p.m. at the Clerk of the Board of Supervisors at 4080 Lemon Street, 1st Floor, Riverside, California 92501, and at the Riverside County Planning Department at 4080 Lemon Street, 12th Floor, Riverside, California 92501.

FOR FURTHER INFORMATION REGARDING THIS PROJECT, PLEASE CONTACT JAY OLIVAS, PROJECT PLANNER, AT (951) 955-1195 OR EMAIL jolivas@rccltma.org.

Any person wishing to testify in support of or in opposition to the project may do so in writing between the date of this notice and the public hearing, or may appear and be heard at the time and place noted above. All written comments received prior to the public hearing will be submitted to the Board of Supervisors and the Board of Supervisors will consider such comments, in addition to any oral testimony, before making a decision on the project.

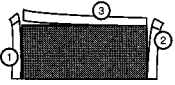
If you challenge the above item in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence to the Planning Commission or Board of Supervisors at, or prior to, the public hearing. Be advised that as a result of the public hearing and the consideration of all public comment, written and oral, the Board of Supervisors may amend, in whole or in part, the project and/or the related environmental document. Accordingly, the designations, development standards, design or improvements, or any properties or lands within the boundaries of the project, may be changed in a way other than specifically proposed.

Please send all written correspondence to: Clerk of the Board, 4080 Lemon Street, 1st Floor, Post Office Box 1147, Riverside, CA 92502-1147

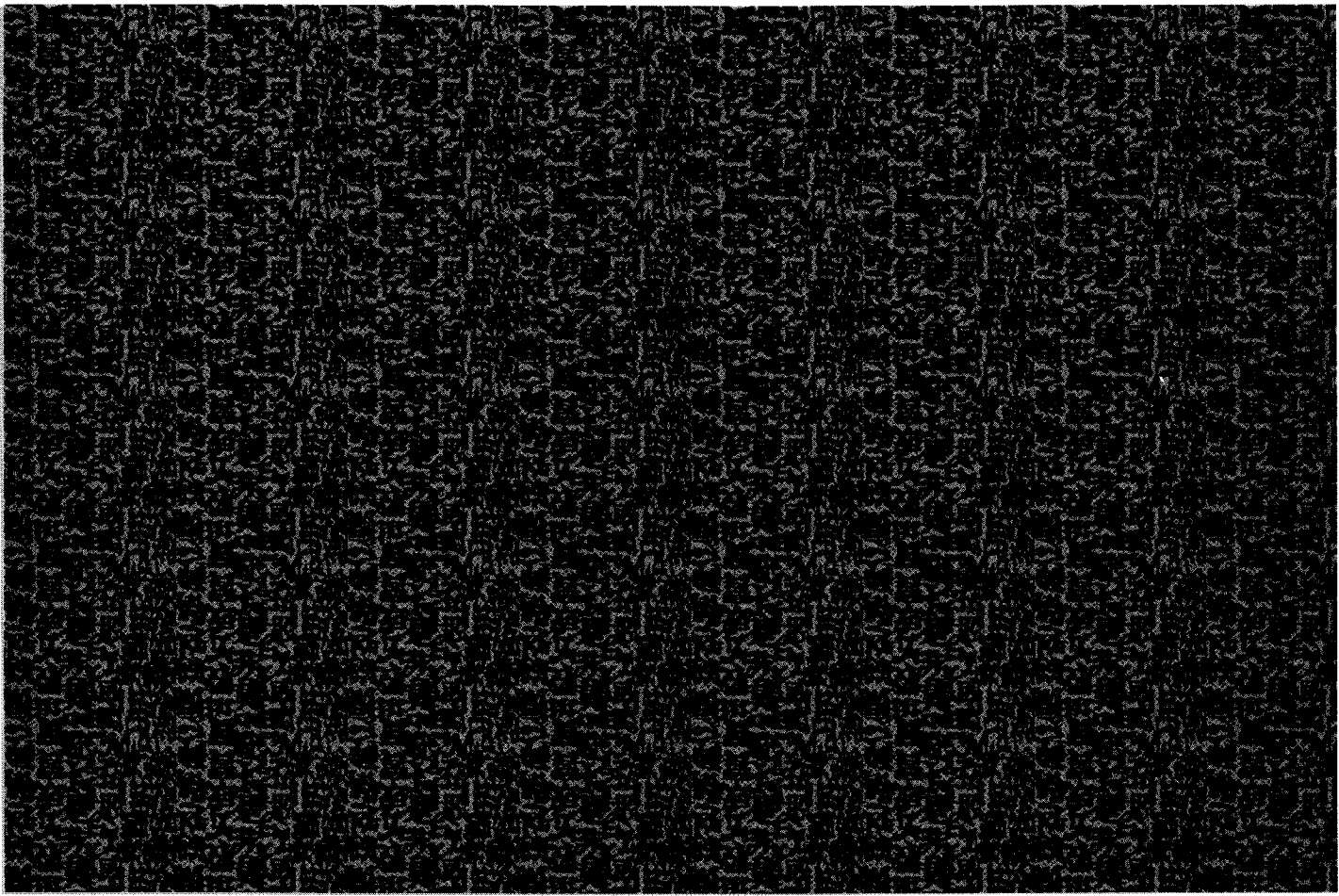
Dated: October 19, 2010

Kecia Harper-Ihem
Clerk of the Board

By: Cecilia Gil, Board Assistant



REMOVE SIDE EDGES FIRST
THEN FOLD AND TEAR THIS STUB ALONG PERFORATION



Riverside County Clerk of the Board
County Administrative Center
4080 Lemon Street, 1st Floor Annex
P. O. Box 1147
Riverside, CA 92502-1147

PUBLIC HEARING NOTICE
This may affect your property

APN: 670480087, ASMT: 670480087
TUSCANY AT RANCHO MIRAGE INC
C/O PALM DESERT ESCROW
74041 HIGHWAY 111
PALM DESERT CA 92261

RECEIVED RIVERSIDE COUNTY
CLERK / BOARD OF SUPERVISORS
2010 OCT 26 PM 12:33

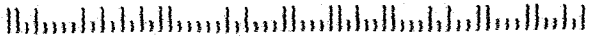
not in escrow

NIXIE 923 SE 1 00 10/24/10

RETURN TO SENDER
ATTEMPTED - NOT KNOWN
UNABLE TO FORWARD

BC: 92502114747 *2704-01615-20-42

HL*14350202260



NOTICE OF PUBLIC HEARING BEFORE THE BOARD OF SUPERVISORS OF RIVERSIDE COUNTY ON A CHANGE OF ZONE AND TENTATIVE TRACT MAP IN THE CATHEDRAL CITY - PALM DESERT ZONING DISTRICT - WESTERN COACHELLA VALLEY AREA PLAN, FOURTH SUPERVISORIAL DISTRICT AND NOTICE OF INTENT TO ADOPT A MITIGATED NEGATIVE DECLARATION

NOTICE IS HEREBY GIVEN that a public hearing at which all interested persons will be heard, will be held before the Board of Supervisors of Riverside County, California, on the 1st Floor Board Chambers, County Administrative Center, 4080 Lemon Street, Riverside, on **Tuesday, November 2, 2010 at 1:30 P.M.** to consider the application submitted by SCC Rancho Mirage, LLC - Adkan Engineers, on **Change of Zone No. 6987**, which proposes to amend the zone from Controlled Development Areas - 20 Acre Minimum (W-2-20) to One Family Dwellings (R-1), or such other zones as the Board may find appropriate; and, **Tentative Tract Map No. 32463, Schedule A**, which proposes to subdivide 80 acres into 206 single family residential lots with separate common open space lots including a well site and two retention basins ("the project"). The project is located northerly of Ramon Road, easterly of Palm Vista Street, and westerly of Los Alamos Street in the Cathedral City - Palm Desert Zoning District - Western Coachella Valley Area Plan, Fourth Supervisorial District.

The Planning Commission approved the project, found that the project will not have a significant effect on the environment and recommended the adoption of a Mitigated Negative Declaration for **Environmental Assessment No. 39616**.

The project case file may be viewed from the date of this notice until the public hearing, Monday through Thursday, from 7:30 a.m. to 5:30 p.m. at the Clerk of the Board of Supervisors at 4080 Lemon Street, 1st Floor, Riverside, California 92501, and at the Riverside County Planning Department at 4080 Lemon Street, 12th Floor, Riverside, California 92501.

FOR FURTHER INFORMATION REGARDING THIS PROJECT, PLEASE CONTACT JAY OLIVAS, PROJECT PLANNER, AT (951) 955-1195 OR EMAIL jolivasa@rcctima.org.

Any person wishing to testify in support of or in opposition to the project may do so in writing between the date of this notice and the public hearing, or may appear and be heard at the time and place noted above. All written comments received prior to the public hearing will be submitted to the Board of Supervisors and the Board of Supervisors will consider such comments, in addition to any oral testimony, before making a decision on the project.

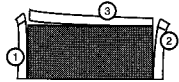
If you challenge the above item in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence to the Planning Commission or Board of Supervisors at, or prior to, the public hearing. Be advised that as a result of the public hearing and the consideration of all public comment, written and oral, the Board of Supervisors may amend, in whole or in part, the project and/or the related environmental document. Accordingly, the designations, development standards, design or improvements, or any properties or lands within the boundaries of the project, may be changed in a way other than specifically proposed.

Please send all written correspondence to: Clerk of the Board, 4080 Lemon Street, 1st Floor, Post Office Box 1147, Riverside, CA 92502-1147

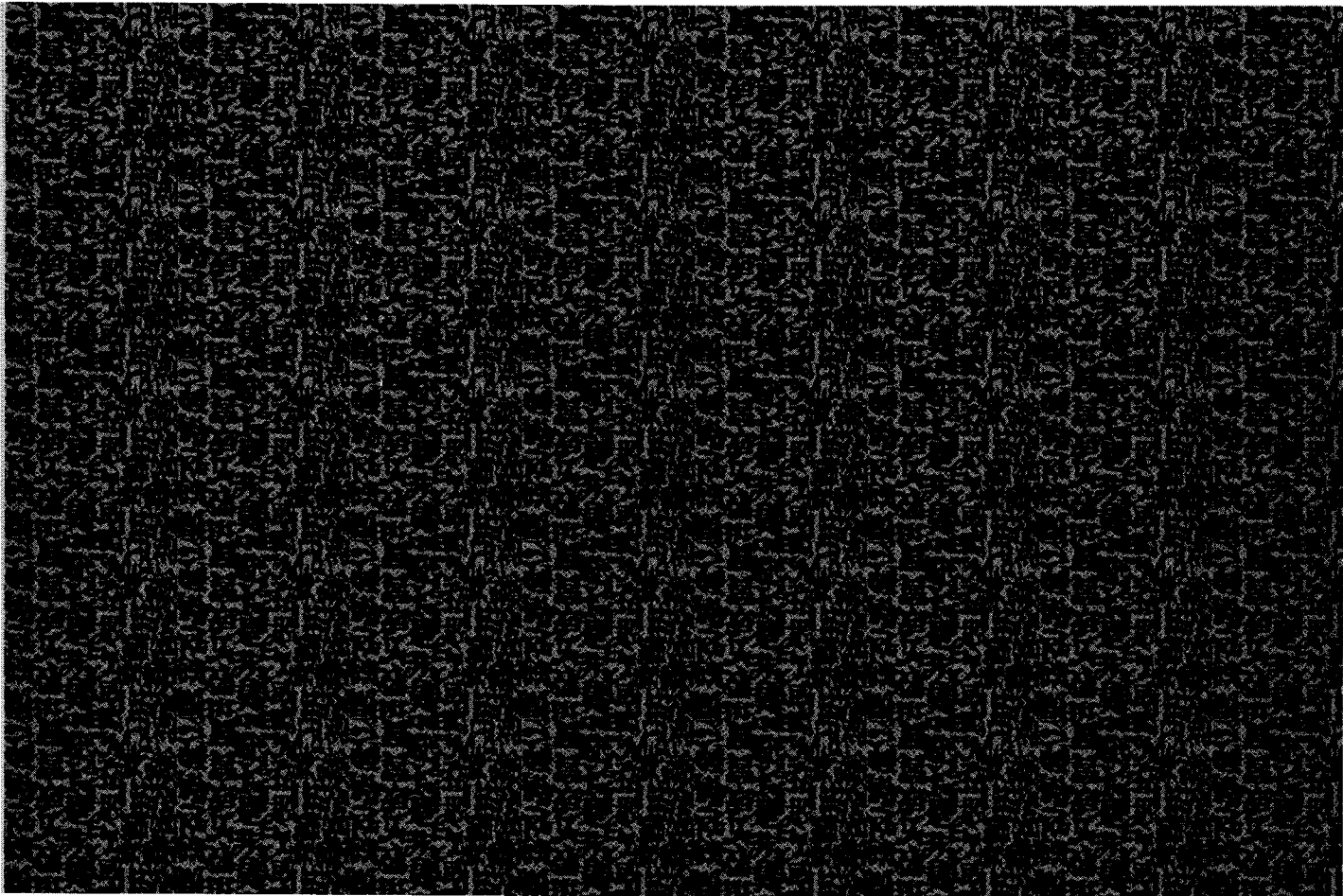
Dated: October 19, 2010

Kecia Harper-Ihem
Clerk of the Board

By: Cecilia Gill, Board Assistant



REMOVE SIDE EDGES FIRST
THEN FOLD AND TEAR THIS STUB ALONG PERFORATION



Riverside County Clerk of the Board
County Administrative Center
4080 Lemon Street, 1st Floor Annex
P. O. Box 1147
Riverside, CA 92502-1147

PUBLIC HEARING NOTICE
This may affect your property

V.T.F.

APN: 670470060, ASMT: 670470060
TUSCANY AT RANCHO MIRAGE INC
68936 ADELINA
CATHEDRAL CY CA 92234

2010 OCT 26 PM 12:33

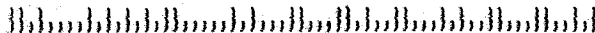
RECEIVED RIVERSIDE COUNTY
CLERK / BOARD OF SUPERVISORS

NIXIE 923 DE 1 00 10/25/10

RETURN TO SENDER
NOT DELIVERABLE AS ADDRESSED
UNABLE TO FORWARD

BC: 92502114747 *1977-06137-21-49

HL*1389910200*



NOTICE OF PUBLIC HEARING BEFORE THE BOARD OF SUPERVISORS OF RIVERSIDE COUNTY ON A CHANGE OF ZONE AND TENTATIVE TRACT MAP IN THE CATHEDRAL CITY - PALM DESERT ZONING DISTRICT - WESTERN COACHELLA VALLEY AREA PLAN, FOURTH SUPERVISORIAL DISTRICT AND NOTICE OF INTENT TO ADOPT A MITIGATED NEGATIVE DECLARATION

NOTICE IS HEREBY GIVEN that a public hearing at which all interested persons will be heard, will be held before the Board of Supervisors of Riverside County, California, on the 1st Floor Board Chambers, County Administrative Center, 4080 Lemon Street, Riverside, on **Tuesday, November 2, 2010 at 1:30 P.M.** to consider the application submitted by SCC Rancho Mirage, LLC - Adkan Engineers, on **Change of Zone No. 6987**, which proposes to amend the zone from Controlled Development Areas - 20 Acre Minimum (W-2-20) to One Family Dwellings (R-1), or such other zones as the Board may find appropriate; and, **Tentative Tract Map No. 32463, Schedule A**, which proposes to subdivide 80 acres into 206 single family residential lots with separate common open space lots including a well site and two retention basins ("the project"). The project is located northerly of Ramon Road, easterly of Palm Vista Street, and westerly of Los Alamos Street in the Cathedral City - Palm Desert Zoning District - Western Coachella Valley Area Plan, Fourth Supervisorial District.

The Planning Commission approved the project, found that the project will not have a significant effect on the environment and recommended the adoption of a Mitigated Negative Declaration for **Environmental Assessment No. 39616.**

The project case file may be viewed from the date of this notice until the public hearing, Monday through Thursday, from 7:30 a.m. to 5:30 p.m. at the Clerk of the Board of Supervisors at 4080 Lemon Street, 1st Floor, Riverside, California 92501, and at the Riverside County Planning Department at 4080 Lemon Street, 12th Floor, Riverside, California 92501.

FOR FURTHER INFORMATION REGARDING THIS PROJECT, PLEASE CONTACT JAY OLIVAS, PROJECT PLANNER, AT (951) 955-1195 OR EMAIL [jolivas@rcctima.org](mailto:joliv@rcctima.org).

Any person wishing to testify in support of or in opposition to the project may do so in writing between the date of this notice and the public hearing, or may appear and be heard at the time and place noted above. All written comments received prior to the public hearing will be submitted to the Board of Supervisors and the Board of Supervisors will consider such comments, in addition to any oral testimony, before making a decision on the project.

If you challenge the above item in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence to the Planning Commission or Board of Supervisors at, or prior to, the public hearing. Be advised that as a result of the public hearing and the consideration of all public comment, written and oral, the Board of Supervisors may amend, in whole or in part, the project and/or the related environmental document. Accordingly, the designations, development standards, design or improvements, or any properties or lands within the boundaries of the project, may be changed in a way other than specifically proposed.

Please send all written correspondence to: Clerk of the Board, 4080 Lemon Street, 1st Floor, Post Office Box 1147, Riverside, CA 92502-1147

Dated: October 19, 2010

Kecia Harper-Ihem
Clerk of the Board

By: Cecilia Gil, Board Assistant



Gerard Sullivan
Senior General Attorney

November 2, 2010

VIA e-mail at jolivas@rctlma.org
and facsimile at 951-955-1071

Clerk of the Board
4080 Lemon Street, 1st Floor
Post Office Box 1147
Riverside, California 92501-1147

Re: Notice to consider application of SCC Rancho Mirage, LLC to change zone from Controlled Development to One Family Dwellings or such other zones as the Board may find appropriate ("Project"), northerly of Ramon Road, easterly of Palm Vista Street, and westerly of Los Alamos Street in the Cathedral City, Riverside, California ("City")

Dear Sir or Madam:

Union Pacific Railroad Company, a Delaware Corporation ("UP"), is delivering this letter in accordance with the provisions of the above notice. It appears that the Project is located near UP's rail lines. Accordingly, UP wishes to raise the following issues.

Development near UP rail lines can negatively impact rail services and create unintended consequences that are in neither UP's nor the City's best interests. New housing and other development predictably will attract more cars and pedestrians to the areas around the UP rail lines, and people may trespass onto the railroad right-of-way as well.

In addition to the obvious safety concerns of which UP remains vigilantly aware, these factors also have the result that trains may be forced to proceed more slowly through the City, and/or to make more frequent emergency stops, which makes rail service less effective and efficient. In the event of train slowdowns or stoppages, train cars may be forced to block at-grade roadway intersections, causing traffic disruptions. Moreover, the interaction of people and trains may make people all the more aware of the natural and unavoidable features of rail service, including noise, mechanical odors and vibration.

UP requests that the City analyze and seek to mitigate the impacts that development of the Project will have on the UP rail lines and rail services by requiring appropriate mitigation measures. Possible mitigation measures include, for example, sound walls, setbacks, fences and other barriers, and public education and disclosure.

Clerk of Board
November 1, 2010
Page 2

UP believes the City should consider concerns regarding land use, traffic, mechanical odor, vehicle-related air quality, pedestrian safety, trespassing, noise, and vibration.

Any residential population near UP rail lines creates concerns about pedestrian safety that must be addressed. More specifically, with respect to the UP rail line, additional vehicle trips and traffic congestion could negatively impact at-grade rail crossings in the area by increasing the chance of train-vehicular conflicts. This raises an obvious safety issue as well.

Because the Project would be expected to increase traffic vehicle trips and traffic congestion, the Project must necessarily generate some car exhaust that may impact air quality.

A large concentration of new residents near the UP rail lines raises the likelihood that trespassers will intrude on the right-of-way. Some residents could decide to trespass onto the right-of-way, either as a shortcut for reaching their destinations, or for the purpose of extending their walks or jogs.

The City should examine the impacts associated with the increased likelihood of trespassing on the UP right-of-way and set forth appropriate mitigation measures. In particular, the City should consider requiring the developer to install barrier walls or fences, pavement markings, and/or "no trespassing" signs designed to prevent local residents from trespassing onto the right-of-way. Buffers and setbacks adjacent should be required adjacent to the right-of-way.

UP's rail operations generate the noise one would expect from an active railway. The City should analyze these possible noise impacts. As a mitigation measure, the City should at least require the developer to disclose to the general public the daytime and nighttime noise levels naturally occurring with UP's long-standing freight rail service. The City also should consider requiring appropriate noise mitigation measures, such as construction of sound barrier walls or landscape buffers, and/or use of sound-proofing materials and techniques in the Project.

It is well-known that rail operations generate vibration normally associated with an active railway. The City should analyze this possible impact. As a mitigation measure, the City should at least require the developer to disclose to the general public this pre-existing and predictably-occurring vibration.

UP will appreciate it if the City give due consideration to the above concerns. Significant environmental impacts may result with respect to land use, traffic, vehicle-related air quality, mechanical odor, pedestrian safety and trespassing, noise, and vibration.

Clerk of the Board
November 2, 2010
Page 3

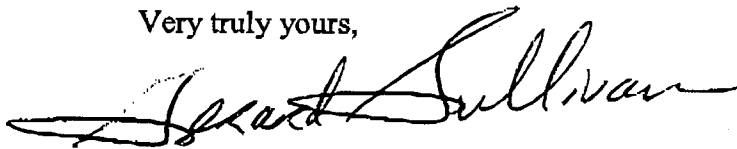
Please give notice to UP of all future hearings and other matters with respect to this Project as follows:

Mr. Mike Sattler
Senior Manager – Real Estate
Union Pacific Railroad Company
1400 Douglas Street - STOP 1690
Omaha, Nebraska 68179-1580

With a copy to:

Ms. Donna Coltrane
Union Pacific Railroad Company
1400 Douglas Street - STOP 1580
Omaha, Nebraska 68179-1580

Very truly yours,

A handwritten signature in black ink, appearing to read "Gerard Sullivan", written in a cursive style.

Gerard Sullivan

cc: Mike Sattler

***** FACSIMILE COVER SHEET *****

NOV 02 2010 15:30

Message To:

919519551071

Message From:

03

Pages

Follow This Cover Page

**Riverside County Board of Supervisors
Request to Speak**

Submit request to Clerk of Board (right of podium),
Speakers are entitled to three (3) minutes, subject
Board Rules listed on the reverse side of this form.

SPEAKER'S NAME: ED ADKISON

Address: 6820 Airport Dr.
(only if follow-up mail response requested)

City: RIVERSIDE **Zip:** 92504

Phone #: (951) 688-0241

Date: 11-2-2010 **Agenda #** 16.3

PLEASE STATE YOUR POSITION BELOW:

Position on "Regular" (non-appealed) Agenda Item:

Support **Oppose** **Neutral**

Developers / Representative

Note: If you are here for an agenda item that is filed
for "Appeal", please state separately your position on
the appeal below:

Support **Oppose** **Neutral**

I give my 3 minutes to: _____

11-2-10 16.3

ATTACHMENTS FILED
WITH
THE CLERK OF THE BOARD