

SUBMITTAL TO THE BOARD OF SUPERVISORS
COUNTY OF RIVERSIDE, STATE OF CALIFORNIA



325B

FROM: TLMA - Planning Department

SUBMITTAL DATE:
June 27, 2010

REVIEWED BY EXECUTIVE OFFICE

DATE 6/30/11/rmb

Tina Grande

Departmental Concurrence

SUBJECT: GENERAL PLAN AMENDMENT NO. 1105, CHANGE OF ZONE NO. 7752 AND PLOT PLAN NO. 24778 (FTA 2010-10) - EA42406 – Applicant: Workforce Homebuilders LLC – Engineer/Representative: Douglas Goodman - Fifth Supervisorial District - University Zoning District - Highgrove Area Plan: Community Development: Medium Density Residential (CD:MDR) (2-5 DU/AC) – Location: Northerly of Spring Street on the southwest corner of Center Street and Michigan Avenue - 7.43 Gross Acres - Zoning: One Family Dwellings (R-1) - REQUEST: The plot plan proposes an 89-unit low income housing apartment complex including a tot-lot, parking, trash enclosures, and pedestrian pathways on a 6.71 acre site. The Change of Zone proposes to change the zoning from One Family Dwellings (R-1) to General Residential (R-3) for a 6.71 acre portion of the existing parcel. The General Plan Amendment proposes to change the Land Use Designation from Medium Density Residential (MDR) to High Density Residential (HDR) on 6.71 acres of the site and Public Facilities (PF) on the remaining 0.72 acres.

RECOMMENDED MOTION:

ADOPTION of a **MITIGATED NEGATIVE DECLARATION** for **ENVIRONMENTAL ASSESSMENT NO. 42046** based on the findings incorporated in the initial study and the conclusion that the project will not have a significant effect on the environment; and,

ADOPTION of **RESOLUTION NO. 2011-176 ADOPTING GENERAL PLAN AMENDMENT NO. 1105**, to amend the Land Use Designation from Medium Density Residential (MDR) to High Density Residential (HDR) on 6.71 acres of the site and Public Facilities (PF) on the remaining 0.72 acres (currently a County owned public library); and,

Carolyn Syms Luna

Carolyn Syms Luna
Planning Director

Initials:
CSL:vc

(continued on attached page)

MINUTES OF THE BOARD OF SUPERVISORS

On motion of Supervisor Ashley, seconded by Supervisor Buster and duly carried, IT WAS ORDERED that the above matter is approved as recommended.

Ayes: Buster, Stone, Benoit, and Ashley
Nays: None
Absent: Tavaglione
Date: July 12, 2011
xc: Planning, Applicant

Kecia Harper-Ihem
Clerk of the Board

By: *Kecia Harper-Ihem*
Deputy

Dept't Recomm.: Consent Policy
Per Exec. Ofc.: Consent Policy

Prev. Agn. Ref.

District: Fifth

Agenda Number:

ATTACHMENTS FILED
WITH THE CLERK OF THE BOARD

16.6

The Honorable Board of Supervisors

Re: GENERAL PLAN AMENDMENT NO. 1105 / CHANGE OF ZONE NO. 7752 / PLOT
PLAN NO. 24778 (FTA # 2010-10)

Page 2 of 2

ADOPTION of **ORDINANCE NO. 348.4724 CHANGE OF ZONE NO. 7752**, an Ordinance of the County of Riverside Amending Ordinance No. 348 Zoning (CZ7752) to change the zoning from One-Family Dwellings (R-1) to General Residential (R-3) for a 6.71 acre portion of the existing parcel, and based upon the findings and conclusions incorporated in the staff report; and,

APPROVAL of **PLOT PLAN NO. 24778**, subject to the attached conditions of approval, and based upon the findings and conclusions incorporated in the staff report.

BACKGROUND:

The Project is proposed next to the City of Riverside's Historic Gage Canal. The Project is not improving the canal; however, secondary emergency access will cross the canal. The City of Riverside has reviewed the proposed plans and has granted permission for the crossing.

The Project site is located adjacent to an existing elementary school (Highgrove Elementary School) and one single family home. The Project has been designed to minimize potential impacts to and from the school and the single family home through wall/fence and parking lot details, as well as additional landscaping.

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ORDINANCE NO. 348.4724
AN ORDINANCE OF THE COUNTY OF RIVERSIDE
AMENDING ORDINANCE NO. 348 RELATING TO ZONING

The Board of Supervisors of the County of Riverside ordains as follows:

Section 1. Section 4.1 of Ordinance No. 348, and University District Zoning Plan Map No. 5, as amended, are further amended by placing in effect in the zone or zones as shown on the map entitled "Change of Official Zoning Plan, University District, Map No. 5.023 Change of Zone Case No. 7752," which map is made a part of this ordinance.

Section 2. This ordinance shall take effect 30 days after its adoption.

BOARD OF SUPERVISORS OF THE COUNTY
OF RIVERSIDE, STATE OF CALIFORNIA

By: Bob Buster
Chairman, Board of Supervisors
Bob Buster

ATTEST: Kecia Harper-Them
Clerk of the Board

By: Kecia Harper-Them
Deputy

(SEAL)

APPROVED AS TO FORM
June 27, 2011

By: Tiffany North
TIFFANY NORTH
Deputy County Counsel

TNN/mdk
06/27/11
G:\PROPERTY\MDUSEK\CZ ZONING ORD & FORM1\FORMAT.348\4724.DOC

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STATE OF CALIFORNIA)
)
COUNTY OF RIVERSIDE) ss

I HEREBY CERTIFY that at a regular meeting of the Board of Supervisors of said county held on July 12, 2011, the foregoing ordinance consisting of 2 Sections was adopted by the following vote:

AYES: Buster, Stone, Benoit and Ashley
NAYS: None
ABSENT: Tavaglione

DATE: July 12, 2011

KECIA HARPER-IHEM
Clerk of the Board

BY: *Karen [Signature]*
Deputy

SEAL

2

3 **RESOLUTION NO. 2011-176**

4 **AMENDING THE**

5 **RIVERSIDE COUNTY GENERAL PLAN**

6 **(GENERAL PLAN AMENDMENT NO. 1105)**

7 **WHEREAS**, pursuant to the provisions of Government Code Sections 65090 and 65350 et seq.,

8 public hearings were held before the Riverside County Board of Supervisors on July 12, 2011, to consider the

9 proposed amendment to the Highgrove Area Plan of the Riverside County General Plan; and,

10 **WHEREAS**, all the provisions of the California Environmental Quality Act (CEQA) and Riverside

11 County CEQA implementing procedures have been satisfied; and,

12 **WHEREAS**, the above matters were discussed fully with testimony and documentation presented by

13 the public and affected government agencies; now, therefore,

14 **BE IT RESOLVED, FOUND, DETERMINED AND ORDERED** by the Board of Supervisors of

15 the County of Riverside, and in regular session assembled on July 12, 2011 that:

16 A General Plan Amendment No. 1105 (GPA01105) is a proposal to amend the Land Use

17 Element by amending the Highgrove Area Plan Land Use Map from Medium Density Residential

18 (MDR) (2 to 5 dwelling units per acre) within the Community Development Foundation Component to

19 High Density Residential (8 to 14 dwelling units per acre) on approximately 6.71 acres of Assessor's

20 Parcel No. 255-070-013 and Public Facilities (PF) on the remaining 0.72 acres of the same parcel

21 located northerly of Center Avenue, easterly of Garfield Avenue, southerly of Spring Street, and

22 westerly of Spring Street in the Highgrove area of the Fifth Supervisorial District, as shown on the

23 exhibit entitled "GPA01105, Exhibit 7," a copy of which is attached hereto and incorporated herein by

24 reference. GPA01105 is associated with Change of Zone No. 07752, and Plot Plan No. 24778, which

25 were considered concurrently with this amendment at the public hearing before the Board of Supervisors

26 on July 12, 2011. Change of Zone No. 07752 proposes to change the zoning on the parcel (APN 255-

27 070-013) from One Family Dwelling (R-1) to General Residential (R-3). Plot Plan No. 24778 proposes

28 to develop a twelve building, one and two story, 68,817 square feet, 89-unit low income housing

BY:  0123/11
TIFFANY N. NORBUT
DATE

1 apartment development ("Highgrove Workforce Apartments") on a 6.71 acre site with 22.9% building
2 lot coverage, 24,829 square feet (8.4%) of common area, 239 parking spaces, and 119,726 square feet
3 (40.9%) of landscaping within the parcel.

4 **BE IT FURTHER RESOLVED** by the Board of Supervisors, based on the evidence presented on
5 this matter, both written and oral, including Environmental Assessment No. 42406, that:

- 6 1. The site is located in the Highgrove Area Plan.
- 7 2. The Highgrove Area Plan Land Use Map determines the extent, intensity, and location of land
8 uses within area plan.
- 9 3. The site is further located within the Highgrove Community Policy Area. A policy area is a
10 portion of an area plan that contains special or unique characteristics that merit detailed
11 attention and focused policies.
- 12 4. The site is currently designated Medium Density Residential (MDR) (2 to 5 dwelling units per
13 acre) within the Community Development Foundation Component.
- 14 5. GPA01105 proposes to change the Highgrove Area Plan land use designation on the site from
15 Medium Density Residential (MDR) within the Community Development Foundation
16 Component to High Density Residential (HDR) (8 to 14 dwelling units per acre) on
17 approximately 6.71 acres of Assessor's Parcel No. 255-070-013 and Public Facilities (PF)
18 on the remaining 0.72 acres of the same parcel.
- 19 6. The site is bordered by Low Density Residential (LDR) to the north and east, Medium Density
20 Residential (MDR) to the west and south.
- 21 7. The site is currently zoned One-Family Dwellings (R-1).
- 22 8. The associated Change of Zone No. 7752 proposes to change the zoning of the site from One-
23 Family Dwellings (R-1) to General Residential (R-3) on approximately 6.71 acres of
24 Assessor's Parcel No. 255-070-013.
- 25 9. Surrounding land uses include existing single family residential development to the east and
26 north, vacant land to the south, and a school to the west.
- 27 10. 6.71 acres of the site is currently vacant. A library is on the remaining 0.72 acres of the
28 site.

1 11. GPA01105 is consistent with the goals and policies of the Highgrove Area Plan, the Highgrove
2 Community Policy Area, and with all policies of the Riverside County General Plan.

3 12. GPA01105 does not involve a change in the Riverside County Vision. The Vision calls for
4 affordable residential development. GPA01105 meets the housing goals of the Riverside
5 County Vision by accommodating the anticipated maturation in the community and by
6 providing special housing needs to persons who cannot afford market-rate housing, such as
7 those of persons with disabilities, elderly, large families, farm workers, and families with
8 female heads of households. Additionally, the General Plan calls for higher density
9 housing to be placed near appropriate amenities such as parks, libraries, sewer, water and
10 jobs.

11 13. GPA01105 does not involve a change in any General Plan Principle, or any Foundation
12 Component designation in the General Plan. The MDR, HDR, and PF land use designations
13 are all within the Community Development Foundation Component. Also, given staff's
14 review the proposed designations satisfy each of the General Plan Principals and Policies;
15 including Highgrove Area Plan Policy (HAP 2.3) which requires that two additional
16 findings be made if more intense land uses are proposed:

17 (i) That the existing level of public facilities and services available to serve the project
18 are adequate for the more intense land use or there is a reasonable assurance that an
19 adequate level of services will be available in the near future. In this case, a library
20 is currently under construction on the project site. Additionally, park facilities exist
21 across the street from the site, and the adjacent Gage Canal will provide
22 opportunities for additional trail recreational features that will link to neighboring
23 open space areas. Water and sewer service are also available at the project
24 boundaries which are adequately sized to accommodate the project.

25 (ii) The proposed land use designation shall be compatible with surrounding land uses
26 and land use designations, and will not create future land use incompatibilities. In
27 this case, the project is near a number of public amenities and has been designed to
28 minimize conflicts with surrounding land uses or densities.

- 1 14. GPA01105 contributes to the achievement of the purposes of the General Plan and is not
2 detrimental to them. The Housing Element of the General Plan recognizes that "housing
3 policies must be responsive to the special housing needs of persons who cannot afford
4 market-rate housing, such as those of persons with disabilities, elderly, large families, farm
5 workers, families with female heads of households, and families and persons in need of
6 emergency shelter." The proposed project contributes to the purposes of the General Plan.
- 7 15. Special circumstances or conditions have emerged that were unanticipated in preparing the
8 General Plan. Plot Plan No. 23256, located at the northwest corner of Spring Street and
9 Garfield Avenue, was approved by the Board of Supervisors on February 19, 2009. Plot
10 Plan No. 23256 is for eleven warehouse and office buildings ranging in size from 6,112
11 square feet to 67,432 square feet. The northwest corner of Spring Street and Garfield
12 Avenue is westerly of the location for this proposed General Plan Amendment. The
13 application of a High Density Residential (8-14 Dwelling Units Per Acre) land use
14 designation on Assessor's Parcel No. 255-070-013 will help meet future housing needs for
15 employees of this warehouse and office complex. Additionally, the County Economic
16 Development Department recently constructed a library on the same parcel. The
17 construction of the library was not anticipated in the 2003 General Plan. Placing higher
18 density housing close to such amenities is encouraged by the General Plan.
- 19 16. The proposed General Plan Amendment will not be detrimental to public health, safety, and welfare.
- 20 17. The findings of the initial study performed pursuant to Environmental Assessment No. 42046, a
21 copy of the Mitigated Negative Declaration is attached hereto, are incorporated herein by
22 reference. The Environmental Assessment determined that the proposed General Plan
23 Amendment, Change of Zone, and Plot Plan ("the Project") would have impacts on, or be
24 impacted by geology/soils and cultural resources. However, it was determined that each of
25 these impacts was insignificant or would be mitigated to a level of non-significance through the
26 application of adopted County ordinances, through the measures indicated in the initial study, and
27 through conditions of approval (including any referenced government agency letters) applied to
28 the associated Project. The initial study concluded that the Project, as mitigated, would not have

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a significant effect on the environment.

BE IT FURTHER RESOLVED by the Board of Supervisors that it **ADOPTS** the Mitigated Negative Declaration for Environmental Assessment No. 42046 and **ADOPTS** General Plan Amendment No. 1105 (GPA01105) from Medium Density Residential (MDR) to High Density Residential (HDR) and Public Facilities (PF), as described herein and as shown on the exhibit entitled "GPA01105, Exhibit 7." The adoption of General Plan Amendment No. 1105 is being done in accordance with Government Code section 65358, subdivision (c).

BE IT FURTHER RESOLVED by the Board of Supervisors that the custodians of the documents upon which this decision is based are the Clerk of the Board of Supervisors and the County Planning Department, and that such documents are located at 4080 Lemon Street, Riverside, California.

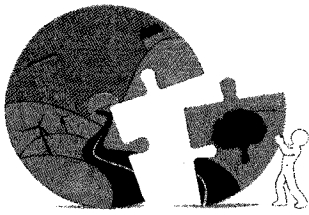
ROLL CALL:

Ayes: Buster, Stone, Benoit, and Ashley
Nays: None
Absent: Tavaglione

The foregoing is certified to be a true copy of a resolution duly adopted by said Board of Supervisors on the date therein set forth.

KECIA HARPER-IHEM, Clerk of said Board

By: _____
Deputy



Carolyn Syms Luna
Director

RIVERSIDE COUNTY
PLANNING DEPARTMENT

Memorandum

DATE: July 12, 2011
TO: Board of Supervisors
FROM: Matt Straite, Project Planner
RE: **Item 16.6, General Plan Amendment No. 1105/Change of Zone No. 7752/Plot Plan No. 24778 (Fast Track Authorization (FTA 2010-10))**

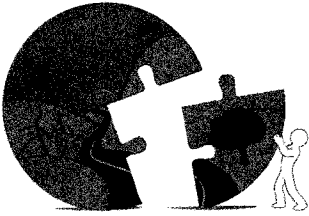
Planning Staff would like to recommend the Board add condition 10. Planning. 40 (Use – GEO02266) to the recommended conditions of approval (copy attached.)

Y:\Planning Case Files-Riverside office\PP24778\BOS Hearing\Memo to BOS PP24778-GPA1105-CZ7752 7 12 11.docx

Riverside Office · 4080 Lemon Street, 12th Floor
P.O. Box 1409, Riverside, California 92502-1409
(951) 955-3200 · Fax (951) 955-1811

Desert Office · 38686 El Cerrito Road
Palm Desert, California 92211
(760) 863-8277 · Fax (760) 863-7555

"Planning Our Future... Preserving Our Past"



Carolyn Syms Luna
Director

RIVERSIDE COUNTY PLANNING DEPARTMENT

Original Negative Declaration/Notice of
Determination was routed to County
Clerks for posting on.

7/12/11
Date

KB
Initial

MITIGATED NEGATIVE DECLARATION

Project/Case Number: GENERAL PLAN AMENDMENT NO. 1105, CHANGE OF ZONE NO. 7752 AND PLOT PLAN NO. 24778 (FTA 2010-10) and Disposition and Development Agreement.

Based on the Initial Study, it has been determined that the proposed project, subject to the proposed mitigation measures, will not have a significant effect upon the environment.

PROJECT DESCRIPTION, LOCATION, AND MITIGATION MEASURES REQUIRED TO AVOID POTENTIALLY SIGNIFICANT EFFECTS. (see Environmental Assessment and Conditions of Approval)

COMPLETED/REVIEWED BY:

By: Matt Straite Title: Project Planner Date: June 6, 2011

Applicant/Project Sponsor: Workforce Homebuilders LLC Date Submitted: November 16, 2010

ADOPTED BY: Board of Supervisors

Person Verifying Adoption: [Signature] Date: JUL 12 2011

The Mitigated Negative Declaration may be examined, along with documents referenced in the initial study, if any, at:

Riverside County Planning Department 4080 Lemon Street, 12th Floor, Riverside, CA 92501

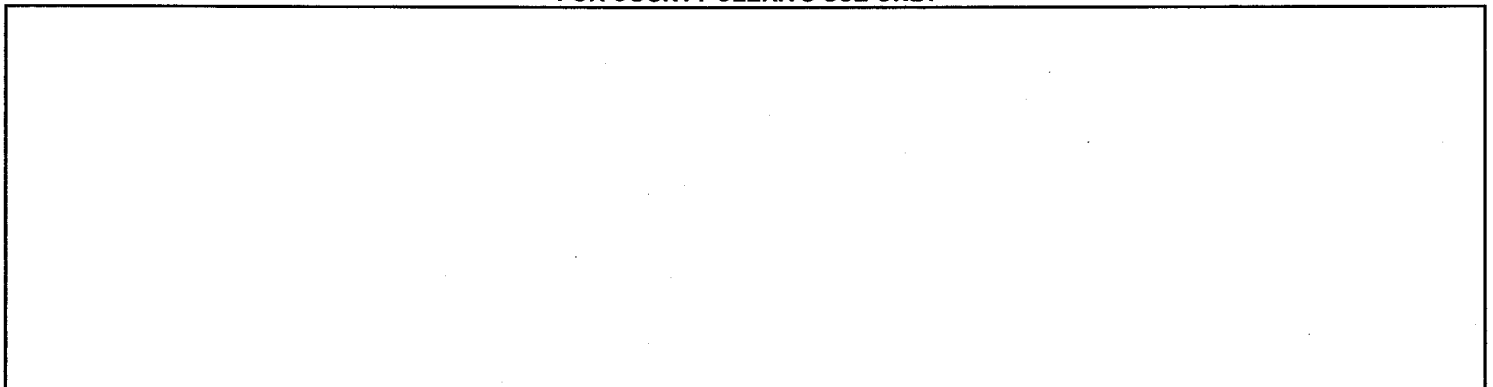
For additional information, please contact Matt Straite at 951-955-8631.

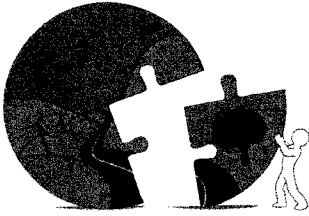
Revised: 10/16/07
Y:\Planning Case Files-Riverside office\PP24778\BOS Hearing\BOS\Mitigated Negative Declaration.docx

Please charge deposit fee case#: ZEA42406 ZCFG05772

FOR COUNTY CLERK'S USE ONLY

JUL 12 2011 10.6





RIVERSIDE COUNTY PLANNING DEPARTMENT

Carolyn Syms Luna
Director

TO: Office of Planning and Research (OPR)
P.O. Box 3044
Sacramento, CA 95812-3044
 County of Riverside County Clerk

FROM: Riverside County Planning Department
 4080 Lemon Street, 12th Floor
P. O. Box 1409
Riverside, CA 92502-1409

38686 El Cerrito Road
Palm Desert, California 92211

SUBJECT: Filing of Notice of Determination in compliance with Section 21152 of the California Public Resources Code.

EA42406, General Plan Amendment No. 1105, Change Of Zone No. 7752, Plot Plan No. 24778 (FTA 2010-10) and Disposition and Development Agreement
Project Title/Case Numbers

Matt Straite
County Contact Person

951-955-8631
Phone Number

N/A
State Clearinghouse Number (if submitted to the State Clearinghouse)

Workforce Homebuilders LLC
Project Applicant

2019 Sky View Drive Colton CA
Address

Northerly of Spring Street on the southwest corner of Center Street and Michigan Avenue
Project Location

The General Plan Amendment proposes to change the Land Use Designation from Medium Density Residential (MDR) to High Density Residential (HDR) on 6.71 acres of the site and Public Facilities (PF) on the remaining 0.72 acres. The Change of Zone proposes to change the zoning from One-Family Dwellings (R-1) to General residential (R-3) for a 6.71 acre portion of the existing parcel. The plot plan proposes an 89-unit low income housing apartment complex including a tot-lot, parking, trash enclosures, and pedestrian pathways on a 6.71 acre site.
Project Description

This is to advise that the Riverside County Board of Supervisors, as the lead agency, has approved the above-referenced project on July 12, 2011, and has made the following determinations regarding that project:

1. The project WILL NOT have a significant effect on the environment.
2. A Negative Declaration was prepared for the project pursuant to the provisions of the California Environmental Quality Act (\$2,044.00 + \$64.00).
3. Mitigation measures WERE made a condition of the approval of the project.
4. A Mitigation Monitoring and Reporting Plan/Program WAS NOT adopted.
5. A statement of Overriding Considerations WAS NOT adopted for the project.

This is to certify that the Mitigated Negative Declaration, with comments, responses, and record of project approval is available to the general public at: Riverside County Planning Department, 4080 Lemon Street, 12th Floor, Riverside, CA 92501.

Carolyn Syms Luna
Signature

Board Assistant
Title

JUL 12 2011
Date

Date Received for Filing and Posting at OPR: _____

DM/rj
Revised 8/25/2009
Y:\Planning Case Files-Riverside office\PP24778\BOS Hearing\BOS\NOD Form PP24778.docx

Please charge deposit fee case#: ZEA42406 ZCFG05772 .

FOR COUNTY CLERK'S USE ONLY

JUL 12 2011 16.6

COUNTY OF RIVERSIDE
SPECIALIZED DEPARTMENT RECEIPT
Permit Assistance Center

J* REPRINTED * R1105459

4080 Lemon Street
Second Floor
Riverside, CA 92502
(951) 955-3200

39493 Los Alamos Road
Suite A
Murrieta, CA 92563
(951) 694-5242

38686 El Cerrito Rd
Indio, CA 92211
(760) 863-8271

Received from: WORKFORCE HOMEBUILDER LLC \$2,044.00
paid by: VI 036811
EA42406
paid towards: CFG05772 CALIF FISH & GAME; DOC FEE
at parcel: 530 CENTER ST RIV
appl type: CFG3

By _____ Jun 02, 2011 14:54
GLKING posting date Jun 02, 2011

Account Code	Description	Amount
658353120100208100	CF&G TRUST	\$2,044.00

Overpayments of less than \$5.00 will not be refunded!

COUNTY OF RIVERSIDE
SPECIALIZED DEPARTMENT RECEIPT
Permit Assistance Center

J* REPRINTED * R1012429

4080 Lemon Street
Second Floor
Riverside, CA 92502
(951) 955-3200

39493 Los Alamos Road
Suite A
Murrieta, CA 92563
(951) 694-5242

38686 El Cerrito Rd
Indio, CA 92211
(760) 863-8271

Received from: WORKFORCE HOMEBUILDER LLC \$4.40
paid by: VI 032574
EA42406
paid towards: CFG05772 CALIF FISH & GAME: DOC FEE
at parcel: 530 CENTER ST RIV
appl type: CFG3

By _____ Nov 16, 2010 15:55
MGARDNER posting date Nov 16, 2010

Account Code	Description	Amount
658353120100208100	CF&G TRUST: RECORD FEES	\$4.40

Overpayments of less than \$5.00 will not be refunded!

COUNTY OF RIVERSIDE
SPECIALIZED DEPARTMENT RECEIPT
Permit Assistance Center

J* REPRINTED * R1012428

4080 Lemon Street
Second Floor
Riverside, CA 92502
(951) 955-3200

39493 Los Alamos Road
Suite A
Murrieta, CA 92563
(951) 694-5242

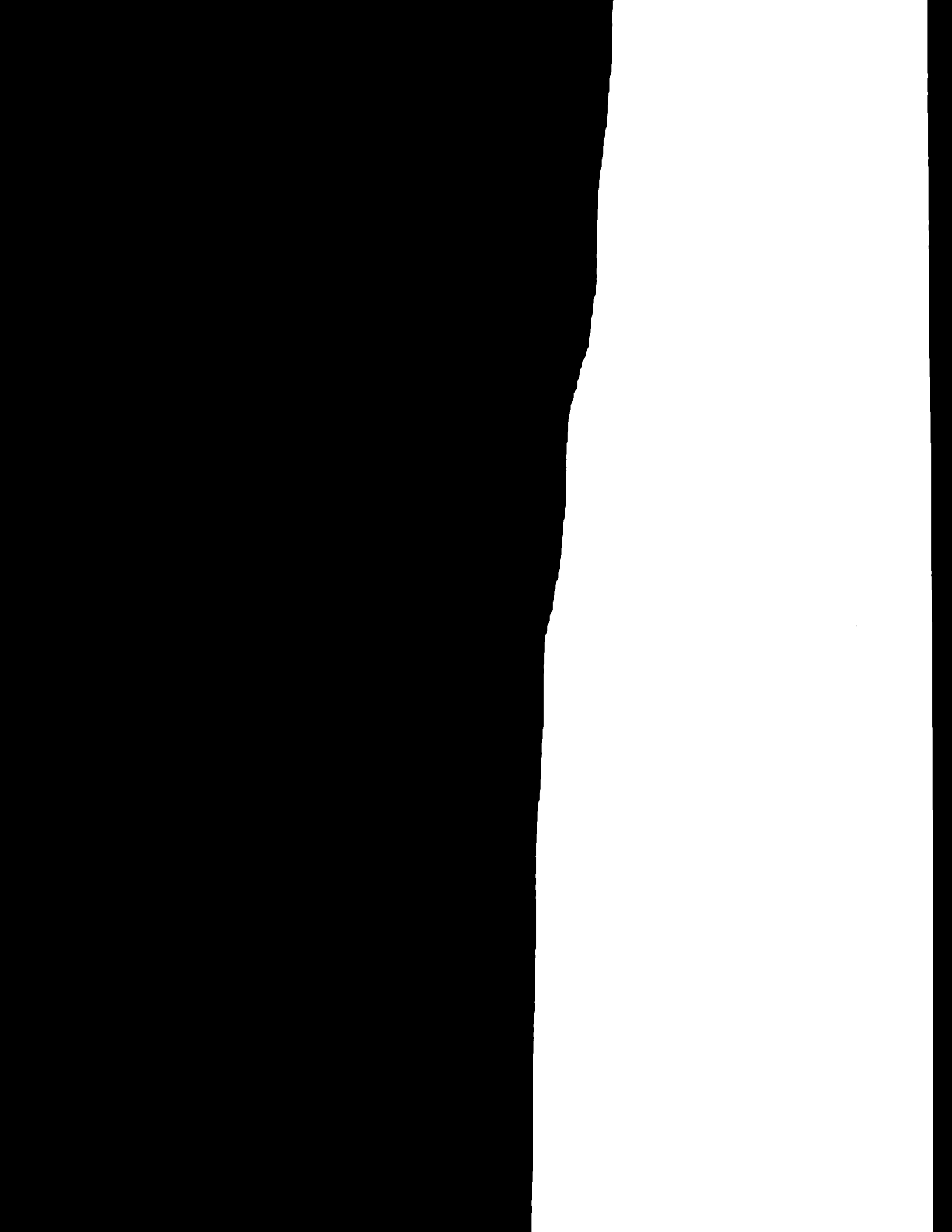
38686 El Cerrito Rd
Indio, CA 92211
(760) 863-8271

Received from: WORKFORCE HOMEBUILDER LLC \$59.60
paid by: CK 1107
EA42406
paid towards: CFG05772 CALIF FISH & GAME: DOC FEE
at parcel: 530 CENTER ST RIV
appl type: CFG3

By _____ Nov 16, 2010 15:53
MGARDNER posting date Nov 16, 2010

Account Code	Description	Amount
658353120100208100	CF&G TRUST: RECORD FEES	\$59.60

Overpayments of less than \$5.00 will not be refunded!





OFFICE OF
CLERK OF THE BOARD OF SUPERVISORS
1st FLOOR, COUNTY ADMINISTRATIVE CENTER
P.O. BOX 1147, 4080 LEMON STREET
RIVERSIDE, CA 92502-1147
PHONE: (951) 955-1060
FAX: (951) 955-1071

KECIA HARPER-IHEM
Clerk of the Board of Supervisors

KIMBERLY A. RECTOR
Assistant Clerk of the Board

July 20, 2011

PRESS ENTERPRISE
ATTN: LEGALS
P.O. BOX 792
RIVERSIDE, CA 92501

FAX: (951) 368-9018
E-MAIL: legals@pe.com

RE: ADOPTION OF ORDINANCE NO. 348.4724 (ZC 7752)

To Whom It May Concern:

Attached is a copy for publication in your newspaper for **ONE (1) TIME** on **Friday, July 22, 2011**.

We require your affidavit of publication immediately upon completion of the last publication.

Your invoice must be submitted to this office in duplicate, **WITH TWO CLIPPINGS OF THE PUBLICATION**.

NOTE: PLEASE COMPOSE THIS PUBLICATION INTO A SINGLE COLUMN FORMAT.

Thank you in advance for your assistance and expertise.

Sincerely,

McGil

Cecilia Gil, Board Assistant to
KECIA HARPER-IHEM, CLERK OF THE BOARD

Gil, Cecilia

From: PE Legals <legals@pe.com>
Sent: Wednesday, July 20, 2011 8:18 AM
To: Gil, Cecilia
Subject: RE: FOR PUBLICATION: Adoption of Ord. No. 348.4724 (ZC 7752)

Received for publication on July 22

Thank You!

enterpris@media

Publisher of the Press-Enterprise

Maria G. Tinajero · Legal Advertising Department

1-800-880-0345 · Fax: 951-368-9018 · email: legals@pe.com

Please Note: Deadline is 10:30 AM two (2) business days prior to the date you would like to publish.
Additional days required for larger ad sizes

From: Gil, Cecilia [<mailto:CCGIL@rcbos.org>]
Sent: Wednesday, July 20, 2011 7:28 AM
To: PE Legals
Subject: FOR PUBLICATION: Adoption of Ord. No. 348.4724 (ZC 7752)

Good Morning! Attached is an Adoption of Ordinance, for publication on Friday, July 22, 2011. Please confirm. THANK YOU!

Cecilia Gil

Board Assistant to the
Clerk of the Board of Supervisors
951-955-8464

**THE COUNTY ADMINISTRATIVE CENTER IS CLOSED EVERY FRIDAY UNTIL FURTHER NOTICE.
PLEASE CONSIDER THE ENVIRONMENT BEFORE PRINTING.**

BOARD OF SUPERVISORS OF THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA

ORDINANCE NO. 348.4724

**AN ORDINANCE OF THE COUNTY OF RIVERSIDE
AMENDING ORDINANCE NO. 348 RELATING TO ZONING**

The Board of Supervisors of the County of Riverside ordains as follows:

Section 1. Section 4.1 of Ordinance No. 348, and University District Zoning Plan Map No. 5. as amended, are further amended by placing in effect in the zone or zones as shown on the map entitled "Change of Official Zoning Plan, University District, Map No. 5.023 Change of Zone Case No. 7752," which map is made a part of this ordinance.

Section 2. This ordinance shall take effect 30 days after its adoption.

(insert map exhibit here)

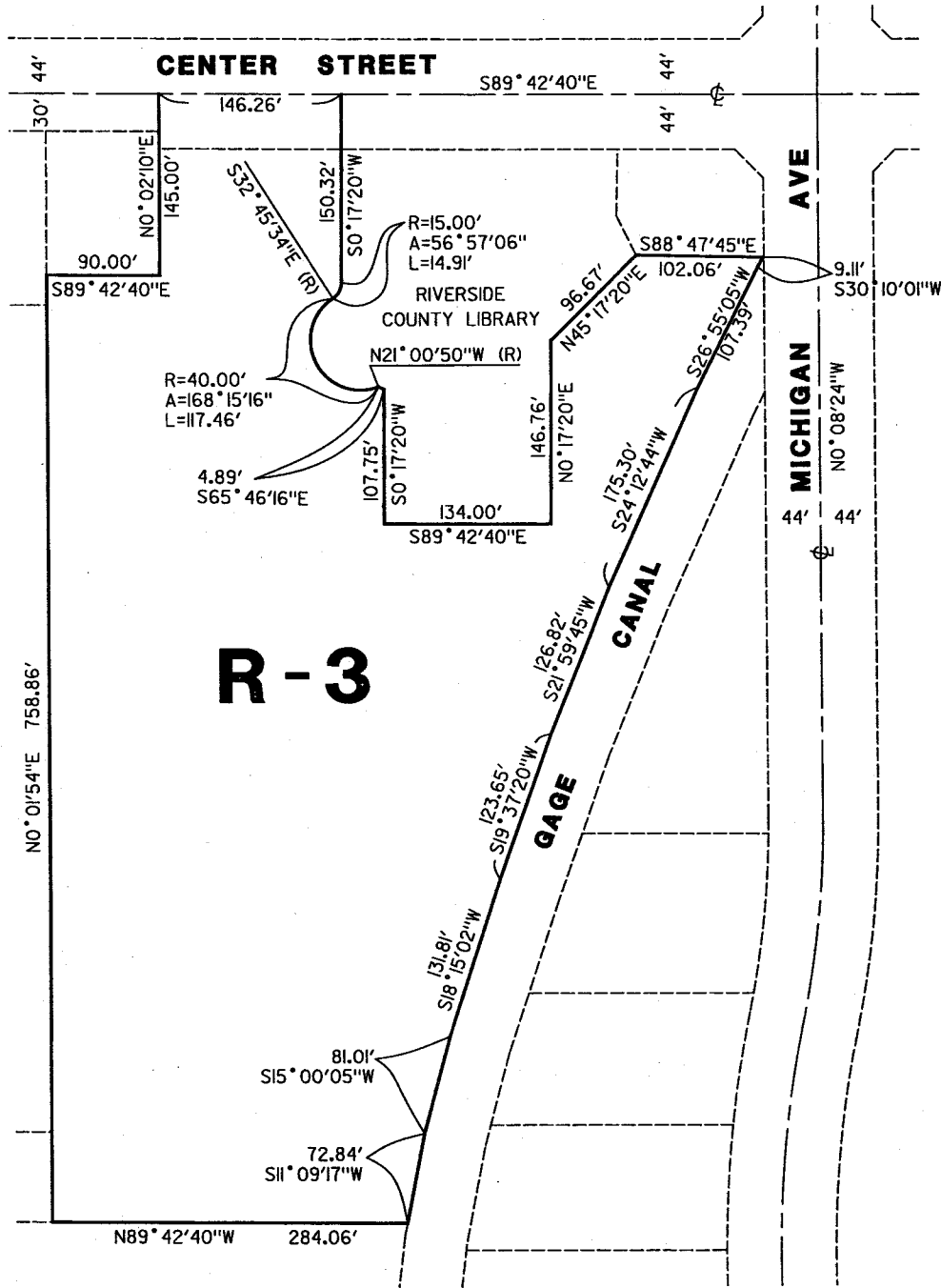
Bob Buster, Chairman of the Board

I HEREBY CERTIFY that at a regular meeting of the Board of Supervisors of said County, held on **July 12, 2011**, the foregoing Ordinance consisting of two (2) sections was adopted by said Board by the following vote:

AYES: Buster, Stone, Benoit and Ashley
NAYS: None
ABSENT: Tavaglione

Kecia Harper-Ihem, Clerk of the Board
By: Cecilia Gil, Board Assistant

SECTION 8 T.2S, R.4W S.B.B. & M.



LEGEND

R-3 GENERAL RESIDENTIAL

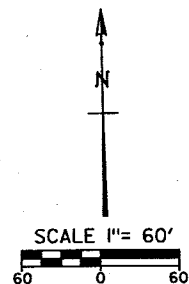
MAP NO. 5.023

CHANGE OF OFFICIAL ZONING PLAN
UNIVERSITY DISTRICT

CHANGE OF ZONE CASE NO. 07752
 AMENDING ORDINANCE NO. 348
 ADOPTED BY ORDINANCE NO. 348.4724
 JULY 12, 2011

RIVERSIDE COUNTY BOARD OF SUPERVISORS

A.P.N. 255-070-013



THE PRESS-ENTERPRISE PT.com

THE BUSINESS PRESS SoCal Commercial Printing

LA PRENSA WEEKLY

8-MEDIA waves LANDSOCAL LA PRENSA HS

① BILLING PERIOD ② ADVERTISING/CLIENT NAME

06/22/11 - 06/22/11 BOARD OF SUPERVISORS

⑤ BILLING DATE | FOR BILLING INFORMATION CALL ④ PAGE NO

06/22/11 (951) 368-9713 1

③ TOTAL AMOUNT DUE * UNAPPLIED AMOUNT ③ TERMS OF PAYMENT

237.90 Due Upon Receipt

⑨ REMITTANCE ADDRESS

POST OFFICE BOX 12009
RIVERSIDE, CA 92502-2209

⑩ BILLED ACCOUNT NAME AND ADDRESS

BOARD OF SUPERVISORS
COUNTY OF RIVERSIDE
P.O. BOX 1147
RIVERSIDE CA 92502

⑥ BILLED ACCOUNT NUMBER | REP NO

045202 LE04

Statement #: 56600621 Amount Paid \$ _____ Your Check # _____

PLEASE DETACH AND RETURN UPPER PORTION WITH YOUR REMITTANCE

① DATE	① REFERENCE	② ③ ④ DESCRIPTION-OTHER COMMENTS/CHARGES	⑤ SAU SIZE ⑥ BILLED UNITS	⑦ RATE	⑧ GROSS AMOUNT	⑨ NET AMOUNT
06/22	4308819 C0	PH GPA 1105 ZC 7752 PP24778 Class : 10 Ctext Ad# 10699917 Placed By : Cecilia Gil	183 L	1.30		237.90

RECEIVED RIVERSIDE COUNTY
 CLERK/BOARD OF SUPERVISORS
 2011 JUN 30 PM 2:37

Planning
 16.6 of 07/12/11
 ZC 7752
 1hr

① *CURRENT NET AMOUNT DUE	② 30 DAYS	60 DAYS	OVER 90 DAYS	* UNAPPLIED AMOUNT	③ PLEASE PAY THIS AMOUNT
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STATEMENT/INVOICE

* UNAPPLIED AMOUNTS ARE INCLUDED IN TOTAL AMOUNT DUE



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① BILLING PERIOD	⑥ BILLED ACCOUNT NUMBER
⑦ ADVERTISER/CLIENT NUMBER	⑧ ADVERTISER/CLIENT NAME
56600621 06/22/11 - 06/22/11	045202 BOARD OF SUPERVISORS

THE PRESS-ENTERPRISE

3450 Fourteenth Street
Riverside CA 92501-3878
951-684-1200
951-368-9018 FAX

**PROOF OF PUBLICATION
(2010, 2015.5 C.C.P.)**

Press-Enterprise

PROOF OF PUBLICATION OF

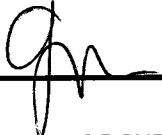
Ad Desc.: PH GPA 1105 ZC 7752 PP24778

I am a citizen of the United States. I am over the age of eighteen years and not a party to or interested in the above entitled matter. I am an authorized representative of THE PRESS-ENTERPRISE, a newspaper of general circulation, printed and published daily in the County of Riverside, and which newspaper has been adjudicated a newspaper of general circulation by the Superior Court of the County of Riverside, State of California, under date of April 25, 1952, Case Number 54446, under date of March 29, 1957, Case Number 65673 and under date of August 25, 1995, Case Number 267864; that the notice, of which the annexed is a printed copy, has been published in said newspaper in accordance with the instructions of the person(s) requesting publication, and not in any supplement thereof on the following dates, to wit:

06-22-11

I Certify (or declare) under penalty of perjury that the foregoing is true and correct.

Date: Jun. 22, 2011
At: Riverside, California



BOARD OF SUPERVISORS

P.O. BOX 1147
COUNTY OF RIVERSIDE
RIVERSIDE CA 92502

Ad #: 10699917

PO #:

Agency #: _____

Ad Copy:

NOTICE OF PUBLIC HEARING BEFORE THE BOARD OF SUPERVISORS OF RIVERSIDE COUNTY ON A FAST TRACK GENERAL PLAN AMENDMENT, CHANGE OF ZONE AND A PLOT PLAN IN THE UNIVERSITY ZONING DISTRICT HIGH-GROVE AREA PLAN, FIFTH SUPERVISORIAL DISTRICT AND NOTICE OF INTENT TO ADOPT A MITIGATED NEGATIVE DECLARATION

NOTICE IS HEREBY GIVEN that a public hearing at which all interested persons will be heard, will be held before the Board of Supervisors of Riverside County, California, on the 1st Floor Board Chambers, County Administrative Center, 4080 Lemon Street, Riverside, on Tuesday, July 12, 2011 at 1:30 P.M. to consider the application submitted by Workforce Homebuilders LLC - Douglas Goodman, on General Plan Amendment No. 1105, which proposes to change the land use designation from Medium Density Residential (MDR) to High Density Residential (HDR) on 6.71 acres of the site and Public Facilities (PF) on the remaining 0.72 acres; Change of Zone No. 7752, which proposes to change the zone from One Family Dwellings (R-1) to General residential (R-3) for a 6.71 acre portion of the existing parcel, or such other zones as the Board may find appropriate; and, Plot Plan No. 24778 (FTA 2010-10), which proposes an 89-unit low income housing apartment complex including a lot, parking, trash enclosures, and pedestrian pathways on a 6.71 acre site ("the project"). The project is located northerly of Spring Street on the southwest corner of Center Street and Michigan Avenue in the University Zoning District - Highgrove Area Plan, Fifth Supervisorial District.

The Planning Department has determined that the project will not have a significant effect on the environment and recommends the adoption of a Mitigated Negative Declaration for Environmental Assessment No. 42406.

The project case file may be viewed from the date of this notice until the public hearing, Monday through Thursday, from 7:30 a.m. to 5:30 p.m. at the Clerk of the Board of Supervisors at 4080 Lemon Street, 1st Floor, Riverside, California 92501, and at the Riverside County Planning Department at 4080 Lemon Street, 12th Floor, Riverside, California 92501.

FOR FURTHER INFORMATION REGARDING THIS PROJECT, PLEASE CONTACT MATT STRAITE, PROJECT PLANNER, AT (951) 955-8631 OR EMAIL mstrait@rcplma.org.

Any person wishing to testify in support of or in opposition to the project may do so in writing between the date of this notice and the public hearing, or may appear and be heard at the time and place noted above. All written comments received prior to the public hearing will be submitted to the Board of Supervisors and the Board of Supervisors will consider such comments, in addition to any oral testimony,

**Riverside County Board of Supervisors
Request to Speak**

Submit request to Clerk of Board (right of podium),
Speakers are entitled to three (3) minutes, subject
Board Rules listed on the reverse side of this form.

SPEAKER'S NAME: TOM MIZE

Address: 546 VIA ZAPATA
(only if follow-up mail response requested)

City: RIVERSIDE **Zip:** 92507

Phone #: (951) 784-1822

Date: 7/12/11 **Agenda #** 16.6

PLEASE STATE YOUR POSITION BELOW:

Position on "Regular" (non-appealed) Agenda Item:

Support **Oppose** **Neutral**

I AM THE DEVELOPER!!!

Note: If you are here for an agenda item that is filed
for "Appeal", please state separately your position on
the appeal below:

Support **Oppose** **Neutral**

I give my 3 minutes to: _____

Riverside County Board of Supervisors
Request to Speak

6 min. ✓

Submit request to Clerk of Board (right of podium),
Speakers are entitled to three (3) minutes, subject
Board Rules listed on the reverse side of this form.

SPEAKER'S NAME: Raymond Gage

Address: 614 Sway
(only if follow up mail response requested)

City: Riverside Zip: 92507

Phone #: 951 788 2003

Date: _____ Agenda # 16.6

PLEASE STATE YOUR POSITION BELOW:

Position on "Regular" (non-appealed) Agenda Item:

_____ Support Oppose _____ Neutral

Note: If you are here for an agenda item that is filed
for "Appeal", please state separately your position on
the appeal below:

_____ Support _____ Oppose _____ Neutral

I give my 3 minutes to: _____

**Riverside County Board of Supervisors
Request to Speak**

Submit request to Clerk of Board (right of podium),
Speakers are entitled to three (3) minutes, subject
Board Rules listed on the reverse side of this form.

SPEAKER'S NAME: Raymond Gage
using Don Rite minute

Address: 480 East Main St
(only if follow-up mail response requested)

City: Highgrove **Zip:** 92507

Phone #: 783 4855

Date: _____ **Agenda #** 16.6

PLEASE STATE YOUR POSITION BELOW:

Position on "Regular" (non-appealed) Agenda Item:

_____ **Support** **Oppose** _____ **Neutral**

Note: If you are here for an agenda item that is filed
for "Appeal", please state separately your position on
the appeal below:

_____ **Support** _____ **Oppose** _____ **Neutral**

I give my 3 minutes to: Raymond Gage
Don Rite

✓

**Riverside County Board of Supervisors
Request to Speak**

Submit request to Clerk of Board (right of podium),
Speakers are entitled to three (3) minutes, subject
Board Rules listed on the reverse side of this form.

SPEAKER'S NAME: Don Rubidoux

Address: _____
(only if follow-up mail response requested)

City: High Bloue **Zip:** ~~95~~ 92507

Phone #: 951-788-4166

Date: 7-12-2011 **Agenda #** 16.1a

PLEASE STATE YOUR POSITION BELOW:

Position on "Regular" (non-appealed) Agenda Item:

_____ **Support** **Oppose** _____ **Neutral**

Note: If you are here for an agenda item that is filed
for "Appeal", please state separately your position on
the appeal below:

_____ **Support** **Oppose** _____ **Neutral**

I give my 3 minutes to: _____

**Riverside County Board of Supervisors
Request to Speak**



Submit request to Clerk of Board (right of podium),
Speakers are entitled to three (3) minutes, subject
Board Rules listed on the reverse side of this form.

SPEAKER'S NAME: FRANK MILLAN

Address: 584 SWAYZEE CT
(only if follow-up mail response requested)

City: HIGHWAY **Zip:** 92507

Phone #: 951-275-9811

Date: 07.12.11 **Agenda #** 16.6

PLEASE STATE YOUR POSITION BELOW:

Position on "Regular" (non-appealed) Agenda Item:

Support **Oppose** **Neutral**

Note: If you are here for an agenda item that is filed
for "Appeal", please state separately your position on
the appeal below:

Support **Oppose** **Neutral**

I give my 3 minutes to: _____

**Riverside County Board of Supervisors
Request to Speak**



Submit request to Clerk of Board (right of podium),
Speakers are entitled to three (3) minutes, subject
Board Rules listed on the reverse side of this form.

SPEAKER'S NAME: Armando C. Hernandez

Address: 617 Swayzee Ct.
(only if follow-up mail response requested)

City: Riverside **Zip:** 92507-1815

Phone #: 951-316-1661

Date: 7/12/11 **Agenda #** 16-6

PLEASE STATE YOUR POSITION BELOW:

Position on "Regular" (non-appealed) Agenda Item:

Support **Oppose** **Neutral**

Note: If you are here for an agenda item that is filed
for "Appeal", please state separately your position on
the appeal below:

Support **Oppose** **Neutral**

I give my 3 minutes to: _____

Riverside County Board of Supervisors
Request to Speak



Submit request to Clerk of Board (right of podium),
Speakers are entitled to three (3) minutes, subject
Board Rules listed on the reverse side of this form.

SPEAKER'S NAME: JOE ORTIZ

Address: 472 TANNER CIR
(only if follow-up mail response requested)

City: RIVERSIDE **Zip:** 92507

Phone #: (951) 213-2056

Date: 12 JULY 2011 **Agenda #** 16.6

PLEASE STATE YOUR POSITION BELOW:

Position on "Regular" (non-appealed) Agenda Item:

 Support X **Oppose** **Neutral**

Note: If you are here for an agenda item that is filed
for "Appeal", please state separately your position on
the appeal below:

 Support **Oppose** **Neutral**

I give my 3 minutes to: _____

*didn't speak

**Riverside County Board of Supervisors
Request to Speak**

Submit request to Clerk of Board (right of podium),
Speakers are entitled to three (3) minutes, subject
Board Rules listed on the reverse side of this form.

SPEAKER'S NAME: Cynthia Cruz

Address: 40 459 Center St
(only if follow-up mail response requested)

City: Hightgrove **Zip:** 92507

Phone #: 951-321-9337

Date: 7/12/11 **Agenda #** ~~16.6~~ 16.6

PLEASE STATE YOUR POSITION BELOW:

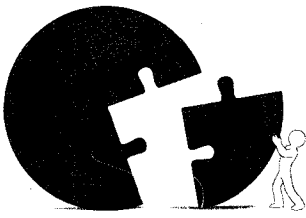
Position on "Regular" (non-appealed) Agenda Item:

Support Oppose Neutral

Note: If you are here for an agenda item that is filed
for "Appeal", please state separately your position on
the appeal below:

Support Oppose Neutral

I give my 3 minutes to: PROPOSED # ~~16.6~~ 16.6
PUBLIC HEARING ANNOUNCEMENT FOR 1:30pm
RE: STOPPING General Plan Amendment (No 1105)
NO ON CHANGE OF ZONE 7752
PLEASE CANCEL PLOT PLAN NO 24778 (FTA 2010-10)



**RIVERSIDE COUNTY
PLANNING DEPARTMENT**

325B

Carolyn Syms Luna
Director

DATE: June 30, 2011

TO: Clerk of the Board of Supervisors

FROM: Planning Department - Riverside Office

SUBJECT: General Plan Amendment No. 1105, Change of Zone No.7752 and Plot Plan No. 24778 (FTA 2010-10)

(Charge your time to these case numbers)

The attached item(s) require the following action(s) by the Board of Supervisors:

- Place on Administrative Action (Receive & File; EOT)
 - Labels provided If Set For Hearing
 - 10 Day 20 Day 30 day
 - Place on Consent Calendar
 - Place on Policy Calendar (Resolutions; Ordinances; PNC)
 - Place on Section Initiation Proceeding (GPIP)
 - Set for Hearing (Legislative Action Required; CZ, GPA, SP, SPA)
 - Publish in Newspaper:
 - **SELECT Advertisement****
 - Mitigated Negative Declaration
 - 10 Day 20 Day 30 day
 - Notify Property Owners (app/agencies/property owner labels provided)
- Controversial: YES NO

Designate Newspaper used by Planning Department for Notice of Hearing:
(5th Dist) Press Enterprise — *This item has already been noticed.*

Need Director's signature by 6/30/11
Please schedule on the July 12, 2011 BOS Agenda

Documents to be sent to County Clerk's Office for Posting within five days:
Notice of Determination and Mit Neg Dec Forms
Fish & Game Receipt (CFG05772)

Do not send these documents to the County Clerk for posting until the Board has taken final action on the subject cases.

Riverside Office · 4080 Lemon Street, 12th Floor
P.O. Box 1409, Riverside, California 92502-1409
(951) 955-3200 · Fax (951) 955-1811

Desert Office · 38686 El Cerrito Road
Palm Desert, California 92211
(760) 863-8277 · Fax (760) 863-7555

"Planning Our Future... Preserving Our Past"

JRM
07.12.2011

NOTICE OF PUBLIC HEARING
SCHEDULING REQUEST FORM

DATE SUBMITTED: June 6, 2011

TO: Planning Commission Secretary

FROM: Case Planner

(Riverside)

PHONE No.: 951-955-8631

E-Mail: mstrait@RCTLMA.ORG

SCHEDULE FOR: BOS on July 12, 2011

OK - KI

20-Day Advertisement Mitigated Negative Declaration

GENERAL PLAN AMENDMENT NO. 1105, CHANGE OF ZONE NO. 7752 AND PLOT PLAN NO. 24778 (FTA 2010-10)
- Intent to Adopt a Mitigated Negative Declaration – Applicant: Workforce Homebuilders LLC – Engineer/Representative: Douglas Goodman - Fifth Supervisorial District - University Zoning District - Highgrove Area Plan: Community Development: Medium Density Residential (CD:MDR) (2-5 D.U./AC.) – Location: Northerly of Spring Street on the southwest corner of Center Street and Michigan Avenue - 7.43 Gross Acres - Zoning: One Family Dwellings (R-1) - **REQUEST:** The General Plan Amendment proposes to change the Land Use Designation from Medium Density Residential (MDR) to High Density Residential (HDR) on 6.71 acres of the site and Public Facilities (PF) on the remaining 0.72 acres. The Change of Zone proposes to change the zoning from One Family Dwellings (R-1) to General residential (R-3) for a 6.71 acre portion of the existing parcel. The plot plan proposes an 89-unit low income housing apartment complex including a tot-lot, parking, trash enclosures, and pedestrian pathways on a 6.71 acre site. – APN: 255-070-013

TYPE OF PROJECT:

- EXTENSION OF TIME
- RECEIVE AND FILE
- HEARING ITEM
- GPIIP
- WORKSHOP
- SCOPING SESSION
-
- APPEAL
 - Provide additional labels for staff report mail out to appellants
 - Revise Agency Labels to include appellants

Provide one set of mailing labels, including surrounding property owners, Non-County Agencies and Interested Parties; and, owner, applicant, and engineer/representative (pre-approved by plan techs - Riverside planners only).

Provide one set of labels for owner, applicant, and engineer/representative.

Fee Balance: \$10,358, as of 6/6/11.

CFG Case # 05772 - Fees Paid: \$2,108

Estimated amount of time needed for Public Hearing: 20 Min minutes (10 min. minimum)

Controversial: YES NO

Provide a very brief explanation of controversy (1 short sentence)



OFFICE OF
CLERK OF THE BOARD OF SUPERVISORS
1st FLOOR, COUNTY ADMINISTRATIVE CENTER
P.O. BOX 1147, 4080 LEMON STREET
RIVERSIDE, CA 92502-1147
PHONE: (951) 955-1060
FAX: (951) 955-1071

KECIA HARPER-IHEM
Clerk of the Board of Supervisors

KIMBERLY A. RECTOR
Assistant Clerk of the Board

June 20, 2011

E-MAIL: legals@pe.com
FAX: (951) 368-9018

THE PRESS ENTERPRISE
ATTN: LEGALS
P.O. BOX 792
RIVERSIDE, CA 92501

RE: NOTICE OF PUBLIC HEARING: GPA 1105 ZC 7752 PP 24778 (FTA 2010-10)

From
Sent
To:
Subject

Attachment

Cecilia
Board
Clerk
951-955-1060

THE COUNTY OF RIVERSIDE
PLEASE

To Whom It May Concern:

Attached is a copy for publication in your newspaper for **One (1) Time on Wednesday, June 22, 2011.**

We require your affidavit of publication immediately upon completion of the last publication.

Your invoice must be submitted to this office in duplicate, WITH TWO CLIPPINGS OF PUBLICATION.

NOTE: PLEASE COMPOSE THIS PUBLICATION INTO A SINGLE COLUMN FORMAT.

Thank you in advance for your assistance and expertise.

Sincerely,

McGil

Assistant to

CLERK OF THE BOARD



OFFICE OF
CLERK OF THE BOARD OF SUPERVISORS
1st FLOOR, COUNTY ADMINISTRATIVE CENTER
P.O. BOX 1147, 4080 LEMON STREET
RIVERSIDE, CA 92502-1147
PHONE: (951) 955-1060
FAX: (951) 955-1071

KECIA HARPER-IHEM
Clerk of the Board of Supervisors

KIMBERLY A. RECTOR
Assistant Clerk of the Board

June 20, 2011

THE PEPPER ENTERPRISE
ATTORNEYS LEGALS
P.O. BOX 792
RIVERSIDE, CA 92501

E-MAIL: legals@pe.com
FAX: (951) 368-9018

RE: NOTICE OF PUBLIC HEARING: GPA 1105 ZC 7752 PP 24778 (FTA 2010-10)

To Whom It May Concern:

Attached is a copy for publication in your newspaper for **One (1) Time on Wednesday, June 22, 2011.**

We require your affidavit of publication immediately upon completion of the last publication.

Your invoice must be submitted to this office in duplicate, WITH TWO CLIPPINGS OF THE PUBLICATION.

NOTE: PLEASE COMPOSE THIS PUBLICATION INTO A SINGLE COLUMN FORMAT.

Thank you in advance for your assistance and expertise.

Sincerely,

McGil

Cecilia Gil, Board Assistant to
KECIA HARPER-IHEM, CLERK OF THE BOARD

Gil, Cecilia

From: PE Legals <legals@pe.com>
Sent: Monday, June 20, 2011 8:51 AM
To: Gil, Cecilia
Subject: RE: FOR PUBLICATION: GPA 1105 ZC 7752 PP 24778

Received for publication on June 22

Thank You!

enterprise media

Publisher of the Press-Enterprise

Maria G. Tinajero · Legal Advertising Department

1-800-880-0345 · Fax: 951-368-9018 · email: legals@pe.com

Please Note: Deadline is 10:30 AM two (2) business days prior to the date you would like to publish.
Additional days required for larger ad sizes

From: Gil, Cecilia [<mailto:CCGIL@rcbos.org>]
Sent: Monday, June 20, 2011 8:33 AM
To: PE Legals
Subject: FOR PUBLICATION: GPA 1105 ZC 7752 PP 24778

Attached is a Notice of Public Hearing, for publication on Wednesday, June 22, 2011. Please confirm.
THANK YOU!

Cecilia Gil

Board Assistant to the
Clerk of the Board of Supervisors
951-955-8464

**THE COUNTY ADMINISTRATIVE CENTER IS CLOSED EVERY FRIDAY UNTIL FURTHER NOTICE.
PLEASE CONSIDER THE ENVIRONMENT BEFORE PRINTING.**

NOTICE OF PUBLIC HEARING BEFORE THE BOARD OF SUPERVISORS OF RIVERSIDE COUNTY ON A FAST TRACK GENERAL PLAN AMENDMENT, CHANGE OF ZONE AND A PLOT PLAN IN THE UNIVERSITY ZONING DISTRICT – HIGHGROVE AREA PLAN, FIFTH SUPERVISORIAL DISTRICT AND NOTICE OF INTENT TO ADOPT A MITIGATED NEGATIVE DECLARATION

NOTICE IS HEREBY GIVEN that a public hearing at which all interested persons will be heard, will be held before the Board of Supervisors of Riverside County, California, on the 1st Floor Board Chambers, County Administrative Center, 4080 Lemon Street, Riverside, on **Tuesday, July 12, 2011 at 1:30 P.M.** to consider the application submitted by Workforce Homebuilders LLC – Douglas Goodman, on **General Plan Amendment No. 1105**, which proposes to change the land use designation from Medium Density Residential (MDR) to High Density Residential (HDR) on 6.71 acres of the site and Public Facilities (PF) on the remaining 0.72 acres; **Change of Zone No. 7752**, which proposes to change the zone from One Family Dwellings (R-1) to General residential (R-3) for a 6.71 acre portion of the existing parcel, or such other zones as the Board may find appropriate; and, **Plot Plan No. 24778 (FTA 2010-10)**, which proposes an 89-unit low income housing apartment complex including a tot-lot, parking, trash enclosures, and pedestrian pathways on a 6.71 acre site (“the project”). The project is located northerly of Spring Street on the southwest corner of Center Street and Michigan Avenue in the University Zoning District – Highgrove Area Plan, Fifth Supervisorial District.

The Planning Department has determined that the project will have a significant effect on the environment and recommends the adoption of a Mitigated Negative Declaration and **Assessment No. 42406**.

*per Matt S.
(via email)*

significant effect on the environment for **Environmental**

The project case file may be viewed from the date of this notice through Thursday, from 7:30 a.m. to 5:30 p.m. at the Planning Department, 4080 Lemon Street, 1st Floor, Riverside, California. The project case file may also be viewed at the Planning Department at 4080 Lemon Street, 12th Floor, Riverside, California.

EA 42406

public hearing, Monday July 11, 2011 at 10:00 a.m. at the Board of Supervisors at 4080 Lemon Street, Riverside County Planning Department.

FOR FURTHER INFORMATION REGARDING THIS PROJECT, PLEASE CONTACT MATT STRAITE, PROJECT PLANNER, AT (951) 955-8631 OR EMAIL mstrait@rctlma.org.

Any person wishing to testify in support of or in opposition to the project may do so in writing between the date of this notice and the public hearing, or may appear and be heard at the time and place noted above. All written comments received prior to the public hearing will be submitted to the Board of Supervisors and the Board of Supervisors will consider such comments, in addition to any oral testimony, before making a decision on the project.

If you challenge the above item in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence to the Planning Commission or Board of Supervisors at, or prior to, the public hearing. Be advised that as a result of the public hearing and the consideration of all public comment, written and oral, the Board of Supervisors may amend, in whole or in part, the project and/or the related environmental document. Accordingly, the designations, development standards, design or improvements, or any properties or lands within the boundaries of the project, may be changed in a way other than specifically proposed.

Please send all written correspondence to: Clerk of the Board, 4080 Lemon Street, 1st Floor, Post Office Box 1147, Riverside, CA 92502-1147

Dated: June 20, 2011

Kecia Harper-Ihem
Clerk of the Board
By: Cecilia Gil, Board Assistant

Gil, Cecilia

From: Meyer, Mary Ann <MaMeyer@asrclkrec.com>
Sent: Monday, June 20, 2011 8:35 AM
To: Gil, Cecilia
Subject: RE: FOR POSTING: GPA 1105 ZC 7752 PP 24778

posted

From: Gil, Cecilia
Sent: Monday, June 20, 2011 8:34 AM
To: Meyer, Mary Ann
Subject: FOR POSTING: GPA 1105 ZC 7752 PP 24778

One more for POSTING. Please confirm. THANK YOU!

Cecilia Gil

Board Assistant to the
Clerk of the Board of Supervisors
951-955-8464

**THE COUNTY ADMINISTRATIVE CENTER IS CLOSED EVERY FRIDAY UNTIL FURTHER NOTICE.
PLEASE CONSIDER THE ENVIRONMENT BEFORE PRINTING.**

CERTIFICATE OF MAILING

(Original copy, duly executed, must be attached to the original document at the time of filing)

I, Cecilia Gil, Board Assistant, for the
(NAME and TITLE)

County of Riverside, do hereby certify that I am not a party to the within action or proceeding; that on June 20, 2011, I mailed a copy of the following document:

NOTICE OF PUBLIC HEARING

GPA 1105, ZC 7752, PP 24778 (FTA 2010-10)

to the parties listed in the attached labels, by depositing said copy with postage thereon fully prepaid, in the United States Post Office, 3890 Orange St., Riverside, California, 92501.

Board Agenda Date: July 12, 2011 @ 1:30 PM

SIGNATURE: Mcgil
Cecilia Gil

DATE: June 20, 2011

PROPERTY OWNERS CERTIFICATION FORM

I, VINNIE NGUYEN, certify that on 5/31/2011.

The attached property owners list was prepared by Riverside County GIS,

APN (s) or case numbers PP 24778 For

Company or Individual's Name Planning Department,

Distance buffered 600'.

Pursuant to application requirements furnished by the Riverside County Planning Department, Said list is a complete and true compilation of the owners of the subject property and all other property owners within 600 feet of the property involved, or if that area yields less than 25 different owners, all property owners within a notification area expanded to yield a minimum of 25 different owners, to a maximum notification area of 2,400 feet from the project boundaries, based upon the latest equalized assessment rolls. If the project is a subdivision with identified off-site access/improvements, said list includes a complete and true compilation of the names and mailing addresses of the owners of all property that is adjacent to the proposed off-site improvement/alignment.

I further certify that the information filed is true and correct to the best of my knowledge. I understand that incorrect or incomplete information may be grounds for rejection or denial of the application.

NAME: Vinnie Nguyen

TITLE GIS Analyst

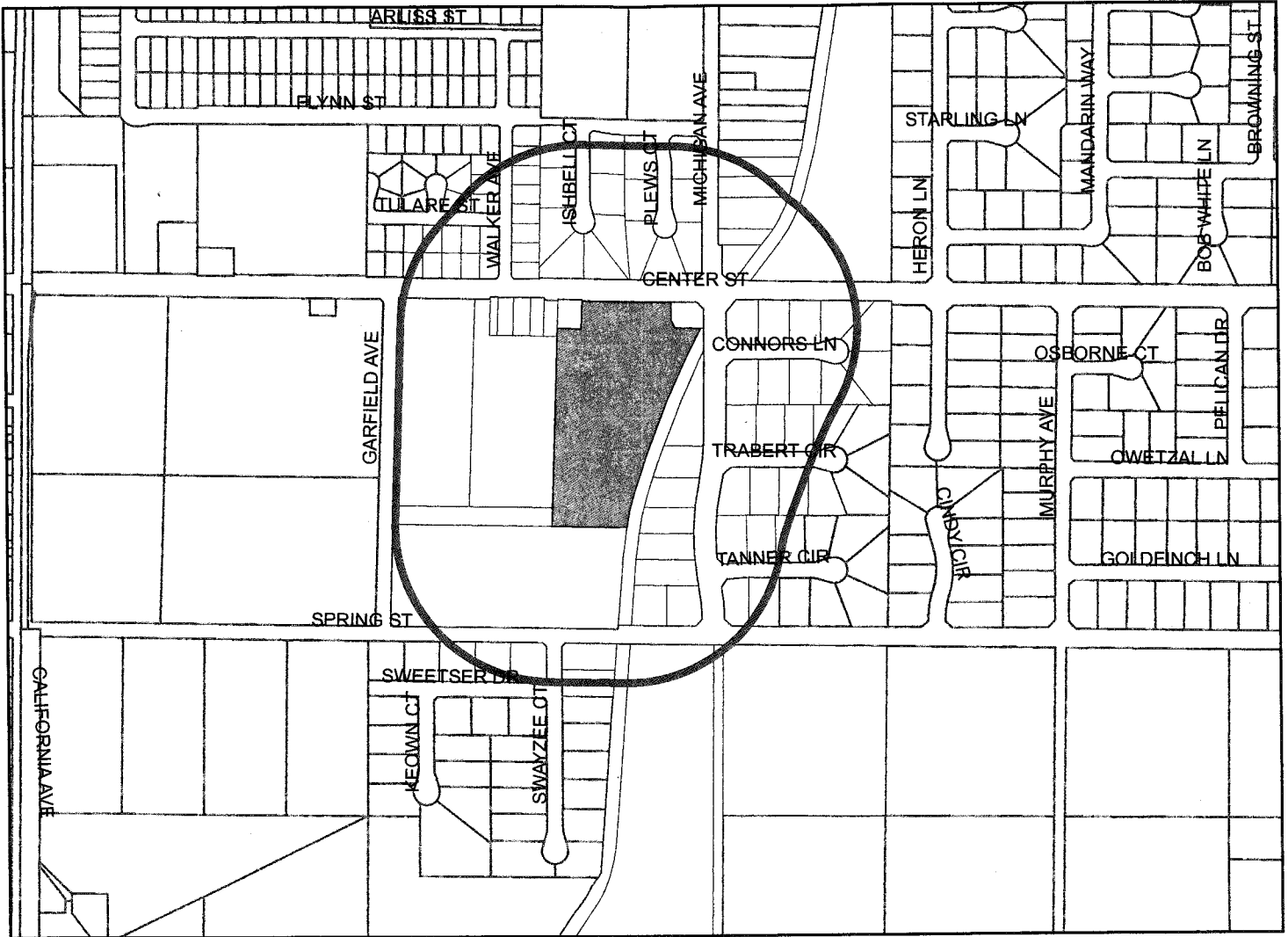
ADDRESS: 4080 Lemon Street 2nd Floor

Riverside, Ca. 92502

TELEPHONE NUMBER (8 a.m. - 5 p.m.): (951) 955-8158

✓ 6/1/11 *ajm*
EXPIRES: 12/31/2011

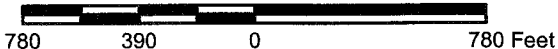
600 feet buffer



Selected Parcels

255-060-008	255-250-008	255-052-022	255-053-003	255-371-002	255-372-024	255-052-019	255-070-004	255-360-021	255-360-014
255-052-016	255-052-002	255-080-046	255-052-006	255-051-009	255-360-019	255-070-015	255-070-016	255-080-043	255-110-010
255-052-020	255-080-041	255-360-020	255-052-025	255-360-008	255-360-003	255-070-005	255-360-018	255-052-004	255-110-011
255-130-001	255-130-011	255-053-011	255-070-009	255-051-008	255-360-013	255-052-003	255-070-010	255-250-006	255-250-007
255-053-005	255-360-006	255-360-010	255-360-001	255-360-022	255-360-031	255-250-009	255-070-014	255-360-002	255-080-045
255-360-012	255-051-011	255-052-024	255-360-005	255-053-008	255-250-013	255-360-009	255-052-015	255-052-026	255-360-024
255-053-010	255-052-007	255-080-015	255-080-042	255-372-023	255-360-032	255-052-027	255-080-018	255-250-011	255-070-013
255-052-017	255-051-010	255-053-009	255-070-006	255-360-004	255-052-008	255-053-006	255-053-004	255-070-011	255-052-023
255-250-012	255-051-012	255-371-003	255-052-013	255-360-011	255-052-005	255-052-014	255-053-012	255-053-007	255-052-018

rst 90 parcels shown



Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

ASMT: 255051008, APN: 255051008
GARY TOWNSON, ETAL
193 WALKER AVE
RIVERSIDE, CA. 92507

ASMT: 255052004, APN: 255052004
DEBORAH GUZMAN
216 WALKER AVE
RIVERSIDE, CA. 92507

ASMT: 255051009, APN: 255051009
CHARLES ROBERSON
205 WALKER AVE
RIVERSIDE, CA. 92507

ASMT: 255052005, APN: 255052005
SAMUEL ALZEN, ETAL
234 WALKER AVE
RIVERSIDE, CA. 92507

ASMT: 255051010, APN: 255051010
RICHARD ZINCHUK, ETAL
12225 OVERCREST DR
YUCAIPA CA 92399

ASMT: 255052006, APN: 255052006
CELESTINO OCHOA, ETAL
250 WALKER AVE
RIVERSIDE, CA. 92507

ASMT: 255051011, APN: 255051011
KATIE WILSHIRE
222 WARING AVE
RIVERSIDE, CA. 92507

ASMT: 255052007, APN: 255052007
MARTIN MENA, ETAL
268 WALKER AVE
RIVERSIDE, CA. 92507

ASMT: 255051012, APN: 255051012
ROSE COOLEY
2849 MOORGATE PL
RIVERSIDE CA 92506

ASMT: 255052008, APN: 255052008
RODERICK SHEWALTER, ETAL
290 WALKER AVE
RIVERSIDE, CA. 92507

ASMT: 255052002, APN: 255052002
CAROL MCKINNEY
184 WALKER AVE
RIVERSIDE, CA. 92507

ASMT: 255052013, APN: 255052013
RUTH STARNES
186 PLEWS CT
RIVERSIDE, CA. 92507

ASMT: 255052003, APN: 255052003
GEORGIA COALSON, ETAL
200 WALKER AVE
RIVERSIDE, CA. 92507

ASMT: 255052014, APN: 255052014
SHAD BOAL, ETAL
216 PLEWS CT
RIVERSIDE, CA. 92507

GPA 1105 ZC 7752 PP 24778 (101)



ASMT: 255053004, APN: 255053004
RONALD BRUINS, ETAL
666 TULARE ST
RIVERSIDE, CA. 92507

ASMT: 255053011, APN: 255053011
ESTELA RODRIGUEZ
665 CENTER ST
RIVERSIDE, CA. 92507

ASMT: 255053005, APN: 255053005
IMOGENE POWELL
654 TULARE ST
RIVERSIDE, CA. 92507

ASMT: 255053012, APN: 255053012
SHIRLEY MACARTHUR
2185 ADAMS ST
RIVERSIDE CA 92507

ASMT: 255053006, APN: 255053006
ROGER LUTHER, ETAL
268 OWETZAL LN
RIVERSIDE CA 92507

ASMT: 255070004, APN: 255070004
ANTHONY MARTINEZ
381 MICHIGAN AVE
RIVERSIDE, CA. 92507

ASMT: 255053007, APN: 255053007
THOMAS RUDD, ETAL
630 TULARE ST
RIVERSIDE, CA. 92507

ASMT: 255070005, APN: 255070005
DAVID ZIMMERMANN, ETAL
411 MICHIGAN AVE
RIVERSIDE, CA. 92507

ASMT: 255053008, APN: 255053008
LIVIER MARISCAL
629 CENTER ST
RIVERSIDE, CA. 92507

ASMT: 255070006, APN: 255070006
ROBERT HOPKINS
423 MICHIGAN AVE
RIVERSIDE, CA. 92507

ASMT: 255053009, APN: 255053009
ROBERT GARCIA, ETAL
9549 51ST ST
RIVERSIDE CA 92509

ASMT: 255070007, APN: 255070007
TRAVIS CIDILA, ETAL
437 MICHIGAN AVE
RIVERSIDE, CA. 92507

ASMT: 255053010, APN: 255053010
MARIO PINEDA, ETAL
1412 BLAIR LN
TUSTIN CA 92780

ASMT: 255070008, APN: 255070008
YVONNE SEPULVEDA
451 MICHIGAN AVE
RIVERSIDE, CA. 92507

ASMT: 255250007, APN: 255250007
HIGHGROVE ELEMENTARY SCHOOL DIST
UNKNOWN 03-30-94

ASMT: 255360001, APN: 255360001
JESSE ROBLES, ETAL
487 CONNORS LN
RIVERSIDE, CA. 92507

ASMT: 255250008, APN: 255250008
A W PROP WEST
P O BOX 9296
RANCHO SANTA FE CA 92067

ASMT: 255360002, APN: 255360002
JUDD LENE
469 CONNORS LN
RIVERSIDE, CA. 92507

ASMT: 255250009, APN: 255250009
JORGE RUELAS, ETAL
598 CENTER ST
RIVERSIDE, CA. 92507

ASMT: 255360003, APN: 255360003
DAVID HARVEY, ETAL
451 CONNERS LN
RIVERSIDE CA 92507

ASMT: 255250010, APN: 255250010
TRACY TOVAR, ETAL
608 CENTER ST
RIVERSIDE, CA. 92507

ASMT: 255360004, APN: 255360004
ROBIN YOUNG, ETAL
433 CONNORS LN
RIVERSIDE, CA. 92507

ASMT: 255250011, APN: 255250011
RAY GONZALES, ETAL
630 CENTER ST
RIVERSIDE CA 92507

ASMT: 255360005, APN: 255360005
KHANH CAI
415 CONNORS LN
RIVERSIDE, CA. 92507

ASMT: 255250012, APN: 255250012
RONALD TRUJILLO, ETAL
22140 LADERA ST
GRAND TERRACE CA 92313

ASMT: 255360006, APN: 255360006
JAMES HOLMES, ETAL
416 CONNORS LN
RIVERSIDE, CA. 92507

ASMT: 255250013, APN: 255250013
LORENZO CASTILLO, ETAL
620 CENTER ST
RIVERSIDE CA 92507

ASMT: 255360007, APN: 255360007
VANCE HANNAH, ETAL
434 CONNORS LN
RIVERSIDE, CA. 92507

ASMT: 255360031, APN: 255360031
JOE ORTIZ, ETAL
472 TANNER CIR
RIVERSIDE, CA. 92507

ASMT: 255360032, APN: 255360032
ONEAL PROP MANAGEMENT
161 MCKINLEY NO 120
CORONA CA 92879

ASMT: 255371001, APN: 255371001
WILLIAM KELLY, ETAL
605 SWEETSER DR
RIVERSIDE, CA. 92507

ASMT: 255371002, APN: 255371002
AMERIKA TAGALOA, ETAL
625 SWEETSER DR
RIVERSIDE, CA. 92507

ASMT: 255371003, APN: 255371003
RU YING HSIAO, ETAL
18508 KLUM PL
ROWLAND HEIGHTS CA 91748

ASMT: 255372023, APN: 255372023
MICHELLE LUNA
530 SWAYZEE CT
RIVERSIDE, CA. 92507

ASMT: 255372024, APN: 255372024
ANDREW CASTRO, ETAL
514 SWAYZEE CT
RIVERSIDE, CA. 92507

from
Agenda Item No.:
Area Plan: Highgrove
Zoning District: University
Supervisory District: Fifth
Project Planner: Matt Straite
Board of Supervisors: July 12, 2011

GENERAL PLAN AMENDMENT NO. 1105
CHANGE OF ZONE NO. 7752
PLOT PLAN NO. 24778
(FTA 2010-10)
Environmental Assessment No. 42406
Applicant: Workforce Homebuilders LLC
Engineer/Representative: Douglas Goodman

COUNTY OF RIVERSIDE PLANNING DEPARTMENT STAFF REPORT

PROJECT DESCRIPTION AND LOCATION:

The General Plan Amendment proposes to change the Land Use Designation from Medium Density Residential (MDR) to High Density Residential (HDR) on 6.71 acres of the site and Public Facilities (PF) on the remaining 0.72 acres. The Change of Zone proposes to change the zoning from One Family Dwellings (R-1) to General residential (R-3) for a 6.71 acre portion of the existing parcel. The Plot Plan proposes an 89-unit low income housing apartment complex including a tot-lot, parking, trash enclosures, and pedestrian pathways on a 6.71 acre site.

The project is located northerly of Spring Street on the southwest corner of Center Street and Michigan Avenue, just north of the City of Riverside.

ISSUES OF POTENTIAL CONCERN:

The project is located on a parcel that is being shared with a public library that just recently opened. The project site and the library site are both currently owned by the Economic Development Agency (EDA). The Plot Plan and the Change of Zone are only proposed on a 6.71 acre portion of the existing parcel. The General Plan Amendment is being proposed on the entire 7.43 acre parcel including the apartments and the library site.

The project is located next to the historic Gage Canal. The canal is currently filled and the surface is dirt and sand. The County proposes a regional trail on the Canal, however, the canal right of way is owned by the City of Riverside. The project is not improving the Canal; however, a portion of the project's secondary emergency-only access will cross the Canal. Permission has been granted by the City for the crossing and the City has reviewed all plans.

Lastly, the site is adjacent to a school located to the west of the project. The structure placement and wall and fence plan have been carefully designed to minimize impacts to the school, and from the school on the project. The structures are not on the property line and parking areas and driveways have been placed between the structures and the school property. Additionally, the project site is separated from all residential structures by streets or the Canal, except one single family home near the northwest corner of the development. The project applicant has met with the homeowner to ensure they are comfortable with the interface between the existing home and the project. The interface is complicated because the existing home and the proposed site has an elevation difference, the apartments will be higher than the existing home, creating possible privacy issues and possible issues with the wall in the existing homes backyard be about 15 feet tall as it would have to be a combination retaining wall and privacy wall. The project has addressed this by having the project site slope to the neighbor's wall, so the wall does not need to be as tall. To address the privacy issues the structures window placement along the interface has been limited and additional plantings will help buffer the two properties.

SUMMARY OF FINDINGS:

1. Proposed General Plan Land Use (Ex. #7): High Density Residential (HDR) on 6.71 acres of the site and Public Facilities (PF) on the remaining 0.72 acres
2. Surrounding General Plan Land Use (Ex. #5): Low Density Residential (LDR) to the north and east, Medium Density Residential (MDR) to the west and south
3. Existing Zoning (Ex. #2): One Family Dwelling (R-1)
4. Surrounding Zoning (Ex. #2): One Family Dwelling (R-1) to the west, and south, and One Family Dwelling, 20,000 square foot minimum (R-1-20,000) to the east and north.
5. Existing Land Use (Ex. #1): Vacant on 6.71 acres of the site and a library on the remaining portion of the lot.
6. Surrounding Land Use (Ex. #1): Existing single family residential development to the east and north, vacant to the south, and a school to the west.
7. Project Data: Total Acreage: The Plot Plan and the Change of Zone are only proposed on a 6.71 acre portion of the existing parcel. The General Plan Amendment is being proposed on the entire 7.43 acre parcel including the apartments and the library site.

Total Proposed Units: 89
8. Environmental Concerns: See attached environmental assessment

RECOMMENDATIONS:

ADOPTION of a **MITIGATED NEGATIVE DECLARATION** for **ENVIRONMENTAL ASSESSMENT NO. 42046** based on the findings incorporated in the initial study and the conclusion that the project will not have a significant effect on the environment; and,

ADOPTION of **RESOLUTION NO. 2011-176 ADOPTING GENERAL PLAN AMENDMENT NO. 1105**, to amend the Land Use Designation from Medium Density Residential (MDR) to High Density Residential (HDR) on 6.71 acres of the site and Public Facilities (PF) on the remaining 0.72 acres (currently a County owned public library); and,

ADOPTION of **ORDINANCE NO. 345.4724 CHANGE OF ZONE NO. 7752**, an Ordinance of the County of Riverside Amending Ordinance No. 348 Zoning (CZ7742) to change the zoning from One-Family Dwellings (R-1) to General Residential (R-3) for a 6.71 acre portion of the existing parcel, and based upon the findings and conclusions incorporated in the staff report; and,

APPROVAL of **PLOT PLAN NO. 24778**, subject to the attached conditions of approval, and based upon the findings and conclusions incorporated in the staff report.

CONCLUSIONS:

1. The proposed project is in conformance with the proposed Community Development: High Density Residential (HDR) Land Use Designation, and with all other elements of the Riverside County General Plan.
2. The proposed project is consistent with the proposed General Residential (R-3) zoning classification of Ordinance No. 348, and with all other applicable provisions of Ordinance No. 348.
3. The public's health, safety, and general welfare are protected through project design.
4. The proposed project is conditionally compatible with the present and future logical development of the area.
5. The proposed project will not preclude reserve design for the Western Riverside County Multiple Species Habitat Conservation Plan (WRCMSHCP).

FINDINGS: The following findings are in addition to those incorporated in the summary of findings and in the attached environmental assessment, which is incorporated herein by reference.

1. The project site is designated Medium Density Residential (MDR) on the Highgrove Area Plan.
2. The project is proposing a General Plan Amendment that will change the designation to High Density residential (HDR). The General Plan requires that certain findings be made to support such a revision.
3. The proposed Amendment does not involve a change in or conflict with the Riverside County Vision; any General Plan Principle; or any Foundation Component designation in the General Plan. The proposed Amendment does not conflict with:
 - (a) The Riverside County Vision. The Vision calls for affordable residential development. Additionally, the General Plan calls for higher density housing to be placed near appropriate amenities such as parks, libraries, sewer, water and jobs. As illustrated in Finding #5, the area has changed since 2003, when the General Plan Land Use Designations were applied to the site. A higher density designation now implements the Vision of the General Plan.
 - (b) Any General Plan Principle. Given staff's review the proposed designation satisfies each of the General Plan Principals and Policies; including Highgrove Area Plan Policy (HAP 2.3) which requires that two additional findings be made if more intense land uses are proposed:
 - (i) That the existing level of public facilities and services available to serve the project are adequate for the more intense land use or there is a reasonable assurance that an adequate level of services will be available in the near future. A library is currently under construction on the project site. Additionally, park facilities exist across the street from the site, and the adjacent Gage Canal will provide opportunities for additional trail recreational features that will link to neighboring open space areas. Additionally, water and sewer service are

available at the project boundaries which are adequately sized to accommodate the project.

- (ii) The proposed land use designation shall be compatible with surrounding land uses and land use designations, and will not create future land use incompatibilities. The project is near a number of public amenities and has been designed to minimize conflicts with surrounding land uses or densities.

4. The proposed General Plan Amendment contributes to the achievement of the purposes of the General Plan and is not detrimental to them. The Housing Element of the General Plan recognizes that "housing policies must be responsive to the special housing needs of persons who cannot afford market-rate housing, such as those of persons with disabilities, elderly, large families, farm workers, families with female heads of households, and families and persons in need of emergency shelter." The proposed project contributes to the purposes of the General Plan.
5. Special circumstances or conditions have emerged that were unanticipated in preparing the General Plan. A different project, Plot Plan No. 23256, located at the northwest corner of Spring Street and Garfield Avenue, was approved February 19, 2009, for 11 warehouse and office buildings ranging in size from 6,112 square feet to 67,432 square feet. The northwest corner of Spring Street and Garfield Avenue is westerly of the location for the proposed General Plan Amendment. The application of a High Density Residential (8-14 Dwelling Units Per Acre) designation on the subject property will help meet future housing needs for employees of this warehouse and office complex. Additionally, the County Economic Development Department has recently constructed a library on the same parcel. This was not anticipated in the 2003 General Plan. Placing higher density housing close to such amenities is encouraged by the General Plan.
6. The proposed use, multi-family residential housing, is consistent with the High Density Residential (HDR) designation.
7. The project site is surrounded by properties which are designated Low Density Residential (LDR) to the north and east, Medium Density Residential (MDR) to the west and south.
8. The zoning for the subject site is One Family Dwelling (R-1).
9. The proposed zoning for the site is General Residential (R-3).
10. The proposed use, multi-family residential housing, is a permitted use, subject to approval of a plot plan in the General Residential (R-3) zoning classification, more specifically it is listed in section 8.1(a)(12) of the Zoning Ordinance.
11. The proposed use, multi-family residential housing, is consistent with the development standards set forth in the General Residential (R-3) zone.
12. The project site is surrounded by properties which are zoned One-Family Dwelling (R-1) to the west, and south, and One Family Dwelling- 20,000 Square Foot Minimum (R-1-20,000) to the east and north.

13. Residential uses have been constructed and are operating in the project vicinity.
14. This project is not located within a Criteria Area of the Multiple-Species Habitat Conservation Plan.
15. This project is within the City Sphere of Influence of Riverside. As such, it is required to conform to the County's Memorandum of Understanding (MOU) with that city. This project does conform to the MOU.
16. Environmental Assessment No. 42406 identified the following potentially significant impacts:
 - a. Geology and Soils
 - b. Cultural Resources

These listed impacts will be fully mitigated by the measures indicated in the environmental assessment, conditions of approval, and attached letters. No other significant impacts were identified.

INFORMATIONAL ITEMS:

1. As of this writing, no letters, in support or opposition have been received.
2. The project site is not located within:
 - a. A 100-year flood plain, an area drainage plan, or dam inundation area;
 - b. High Fire Area;
 - c. The Stephens Kangaroo Rat Fee Area or Core Reserve Area; or,
 - d. California Gnatcatcher, Quino Checkerspot Butterfly habitat.
3. The project site is located within:
 - a. The City of Riverside sphere of influence;
 - b. The boundaries of the County Service Area No. 126
 - c. An area of low liquefaction potential;
 - d. Along RTA Transit Route #14. RTA has indicated a stop exists at the neighboring library.
4. The subject site is currently designated as Assessor's Parcel Number 255-070-013.

MS

Y:\Planning Case Files-Riverside office\PP24778\BOS Hearing\BOS\BOS PP24778 Staff Report (Repaired).docx

Date Prepared: 01/01/01

Date Revised: 06/23/11

2
3 RESOLUTION NO. 2011-176
4 AMENDING THE
5 RIVERSIDE COUNTY GENERAL PLAN
6 (GENERAL PLAN AMENDMENT NO. 1105)

7 WHEREAS, pursuant to the provisions of Government Code Sections 65090 and 65350 et seq.,
8 public hearings were held before the Riverside County Board of Supervisors on July 12, 2011, to consider the
9 proposed amendment to the Highgrove Area Plan of the Riverside County General Plan; and,

10 WHEREAS, all the provisions of the California Environmental Quality Act (CEQA) and Riverside
11 County CEQA implementing procedures have been satisfied; and,

12 WHEREAS, the above matters were discussed fully with testimony and documentation presented by
13 the public and affected government agencies; now, therefore,

14 BE IT RESOLVED, FOUND, DETERMINED AND ORDERED by the Board of Supervisors of
15 the County of Riverside, and in regular session assembled on July 12, 2011 that:

16 A General Plan Amendment No. 1105 (GPA01105) is a proposal to amend the Land Use
17 Element by amending the Highgrove Area Plan Land Use Map from Medium Density Residential
18 (MDR) (2 to 5 dwelling units per acre) within the Community Development Foundation Component to
19 High Density Residential (8 to 14 dwelling units per acre) on approximately 6.71 acres of Assessor's
20 Parcel No. 255-070-013 and Public Facilities (PF) on the remaining 0.72 acres of the same parcel
21 located northerly of Center Avenue, easterly of Garfield Avenue, southerly of Spring Street, and
22 westerly of Spring Street in the Highgrove area of the Fifth Supervisorial District, as shown on the
23 exhibit entitled "GPA01105, Exhibit 7," a copy of which is attached hereto and incorporated herein by
24 reference. GPA01105 is associated with Change of Zone No. 07752, and Plot Plan No. 24778, which
25 were considered concurrently with this amendment at the public hearing before the Board of Supervisors
26 on July 12, 2011. Change of Zone No. 07752 proposes to change the zoning on the parcel (APN 255-
27 070-013) from One Family Dwelling (R-1) to General Residential (R-3). Plot Plan No. 24778 proposes
28 to develop a twelve building, one and two story, 68,817. square feet, 89-unit low income housing

BY:  0123/11
Tiffany N. Noruff
DATE

1 apartment development ("Highgrove Workforce Apartments") on a 6.71 acre site with 22.9% building
2 lot coverage, 24,829 square feet (8.4%) of common area, 239 parking spaces, and 119,726 square feet
3 (40.9%) of landscaping within the parcel.

4 **BE IT FURTHER RESOLVED** by the Board of Supervisors, based on the evidence presented on
5 this matter, both written and oral, including Environmental Assessment No. 42406, that:

- 6 1. The site is located in the Highgrove Area Plan.
- 7 2. The Highgrove Area Plan Land Use Map determines the extent, intensity, and location of land
8 uses within area plan.
- 9 3. The site is further located within the Highgrove Community Policy Area. A policy area is a
10 portion of an area plan that contains special or unique characteristics that merit detailed
11 attention and focused policies.
- 12 4. The site is currently designated Medium Density Residential (MDR) (2 to 5 dwelling units per
13 acre) within the Community Development Foundation Component.
- 14 5. GPA01105 proposes to change the Highgrove Area Plan land use designation on the site from
15 Medium Density Residential (MDR) within the Community Development Foundation
16 Component to High Density Residential (HDR)_(8 to 14 dwelling units per acre) on
17 approximately 6.71 acres of Assessor's Parcel No. 255-070-013 and Public Facilities (PF)
18 on the remaining 0.72 acres of the same parcel.
- 19 6. The site is bordered by Low Density Residential (LDR) to the north and east, Medium Density
20 Residential (MDR) to the west and south.
- 21 7. The site is currently zoned One-Family Dwellings (R-1).
- 22 8. The associated Change of Zone No. 7752 proposes to change the zoning of the site from One-
23 Family Dwellings (R-1) to General Residential (R-3) on approximately 6.71 acres of
24 Assessor's Parcel No. 255-070-013.
- 25 9. Surrounding land uses include existing single family residential development to the east and
26 north, vacant land to the south, and a school to the west.
- 27 10. 6.71 acres of the site is currently vacant. A library is on the remaining 0.72 acres of the
28 site.

1 11. GPA01105 is consistent with the goals and policies of the Highgrove Area Plan, the Highgrove
2 Community Policy Area, and with all policies of the Riverside County General Plan.

3 12. GPA01105 does not involve a change in the Riverside County Vision. The Vision calls for
4 affordable residential development. GPA01105 meets the housing goals of the Riverside
5 County Vision by accommodating the anticipated maturation in the community and by
6 providing special housing needs to persons who cannot afford market-rate housing, such as
7 those of persons with disabilities, elderly, large families, farm workers, and families with
8 female heads of households. Additionally, the General Plan calls for higher density
9 housing to be placed near appropriate amenities such as parks, libraries, sewer, water and
10 jobs.

11 13. GPA01105 does not involve a change in any General Plan Principle, or any Foundation
12 Component designation in the General Plan. The MDR, HDR, and PF land use designations
13 are all within the Community Development Foundation Component. Also, given staff's
14 review the proposed designations satisfy each of the General Plan Principals and Policies;
15 including Highgrove Area Plan Policy (HAP 2.3) which requires that two additional
16 findings be made if more intense land uses are proposed:

17 (i) That the existing level of public facilities and services available to serve the project
18 are adequate for the more intense land use or there is a reasonable assurance that an
19 adequate level of services will be available in the near future. In this case, a library
20 is currently under construction on the project site. Additionally, park facilities exist
21 across the street from the site, and the adjacent Gage Canal will provide
22 opportunities for additional trail recreational features that will link to neighboring
23 open space areas. Water and sewer service are also available at the project
24 boundaries which are adequately sized to accommodate the project.

25 (ii) The proposed land use designation shall be compatible with surrounding land uses
26 and land use designations, and will not create future land use incompatibilities. In
27 this case, the project is near a number of public amenities and has been designed to
28 minimize conflicts with surrounding land uses or densities.

- 1 14. GPA01105 contributes to the achievement of the purposes of the General Plan and is not
2 detrimental to them. The Housing Element of the General Plan recognizes that "housing
3 policies must be responsive to the special housing needs of persons who cannot afford
4 market-rate housing, such as those of persons with disabilities, elderly, large families, farm
5 workers, families with female heads of households, and families and persons in need of
6 emergency shelter." The proposed project contributes to the purposes of the General Plan.
- 7 15. Special circumstances or conditions have emerged that were unanticipated in preparing the
8 General Plan. Plot Plan No. 23256, located at the northwest corner of Spring Street and
9 Garfield Avenue, was approved by the Board of Supervisors on February 19, 2009. Plot
10 Plan No. 23256 is for eleven warehouse and office buildings ranging in size from 6,112
11 square feet to 67,432 square feet. The northwest corner of Spring Street and Garfield
12 Avenue is westerly of the location for this proposed General Plan Amendment. The
13 application of a High Density Residential (8-14 Dwelling Units Per Acre) land use
14 designation on Assessor's Parcel No. 255-070-013 will help meet future housing needs for
15 employees of this warehouse and office complex. Additionally, the County Economic
16 Development Department recently constructed a library on the same parcel. The
17 construction of the library was not anticipated in the 2003 General Plan. Placing higher
18 density housing close to such amenities is encouraged by the General Plan.
- 19 16. The proposed General Plan Amendment will not be detrimental to public health, safety, and welfare.
- 20 17. The findings of the initial study performed pursuant to Environmental Assessment No. 42046, a
21 copy of the Mitigated Negative Declaration is attached hereto, are incorporated herein by
22 reference. The Environmental Assessment determined that the proposed General Plan
23 Amendment, Change of Zone, and Plot Plan ("the Project") would have impacts on, or be
24 impacted by geology/soils and cultural resources. However, it was determined that each of
25 these impacts was insignificant or would be mitigated to a level of non-significance through the
26 application of adopted County ordinances, through the measures indicated in the initial study, and
27 through conditions of approval (including any referenced government agency letters) applied to
28 the associated Project. The initial study concluded that the Project, as mitigated, would not have

1 a significant effect on the environment.

2 **BE IT FURTHER RESOLVED** by the Board of Supervisors that it **ADOPTS** the Mitigated
3 Negative Declaration for Environmental Assessment No. 42046 and **ADOPTS** General Plan Amendment No.
4 1105 (GPA01105) from Medium Density Residential (MDR) to High Density Residential (HDR) and Public
5 Facilities (PF), as described herein and as shown on the exhibit entitled "GPA01105, Exhibit 7." The adoption
6 of General Plan Amendment No. 1105 is being done in accordance with Government Code section 65358,
7 subdivision (c).

8 **BE IT FURTHER RESOLVED** by the Board of Supervisors that the custodians of the
9 documents upon which this decision is based are the Clerk of the Board of Supervisors and the County
10 Planning Department, and that such documents are located at 4080 Lemon Street, Riverside, California.

RIVERSIDE COUNTY PLANNING DEPARTMENT
GPA01105
VICINITY/POLICY AREAS

Supervisor Ashley
 District 5

Date Drawn: 8/24/10
 Vicinity Map



Zoning District: University
 Township/Range: T2SR4W
 Section: 8

Assessors Bk. Pg. 255-07
 Thomas Bros. Pg. 646 6D
 Edition 2009



DISCLAIMER: On October 7, 2003, the County of Riverside adopted a new General Plan providing new land use designations for unincorporated Riverside County parcels. The new General Plan may contain different types of land use than is provided for under existing zoning. For further information, please contact the Riverside County Planning Department offices in Riverside at (951) 955-3200 (Western County), or in Indio at (760) 863-8277 (Eastern County) or website at <http://www.firma.co.riverside.ca.us/index.html>

RIVERSIDE COUNTY PLANNING DEPARTMENT

GPA01105

LAND USE

Supervisor Ashley
District 5

Date Drawn: 8/24/10
Exhibit 1

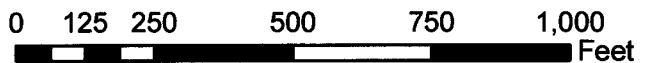


Zoning District: University
Township/Range: T2SR4W
Section: 8

Assessors Bk. Pg. 255-07
Thomas Bros. Pg. 646 6D
Edition 2009



DISCLAIMER: On October 7, 2003, the County of Riverside adopted a new General Plan providing new land use designations for unincorporated Riverside County parcels. The new General Plan may contain different types of land use than is provided for under existing zoning. For further information, please contact the Riverside County Planning Department offices in Riverside at (951) 955-3200 (Western County), or in Indio at (760) 863-8277 (Eastern County) or website at <http://www.rmc.co.riverside.ca.us/index.html>

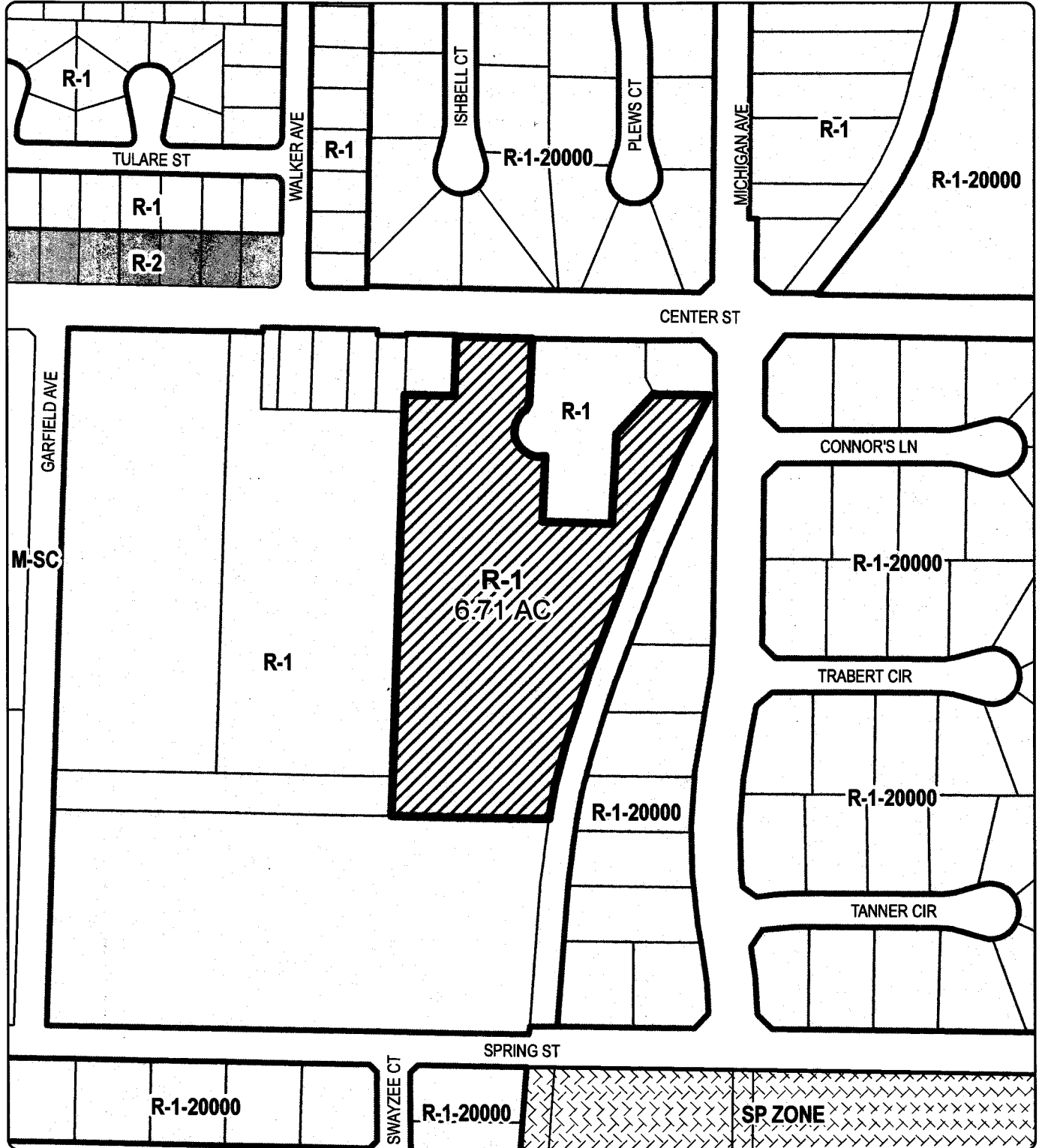


RIVERSIDE COUNTY PLANNING DEPARTMENT

GPA01105
EXISTING ZONING

Supervisor Ashley
District 5

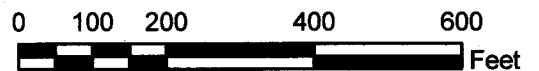
Date Drawn: 8/24/10
Exhibit 2



Zoning District: University
Township/Range: T2SR4W
Section: 8

Assessors Bk. Pg. 255-07
Thomas Bros. Pg. 646 6D
Edition 2009

DISCLAIMER: On October 7, 2003, the County of Riverside adopted a new General Plan providing new land use designations for unincorporated Riverside County parcels. The new General Plan may contain different types of land use than is provided for under existing zoning. For further information, please contact the Riverside County Planning Department offices in Riverside at (951) 955-3200 (Western County), or in Indio at (760) 863-8277 (Eastern County) or website at <http://www.tima.co.riverside.ca.us/index.html>



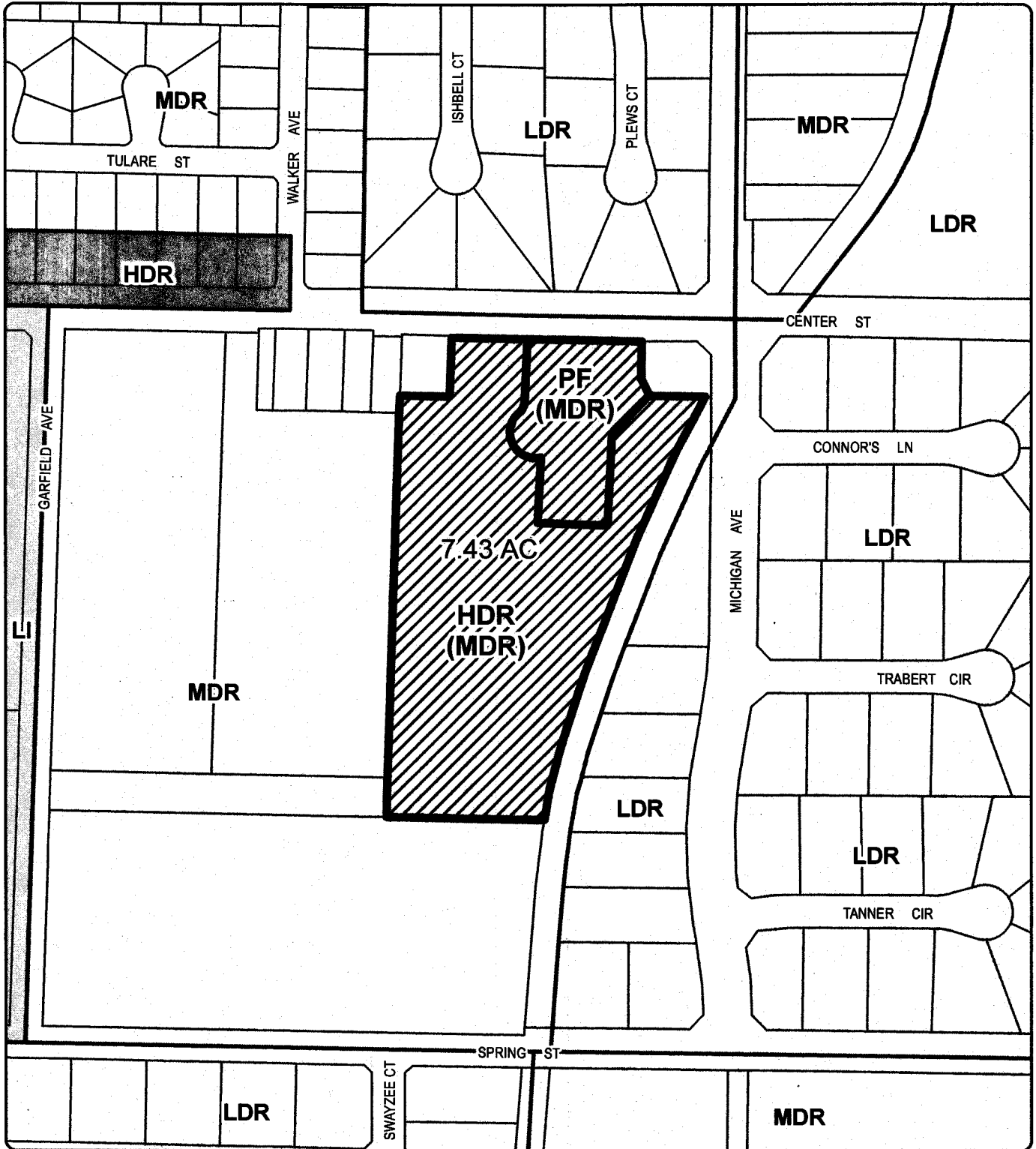
RIVERSIDE COUNTY PLANNING DEPARTMENT

GPA01105

RECOMMENDED GENERAL PLAN

Supervisor Ashley
District 5

Date Drawn: 8/24/10
Exhibit 7



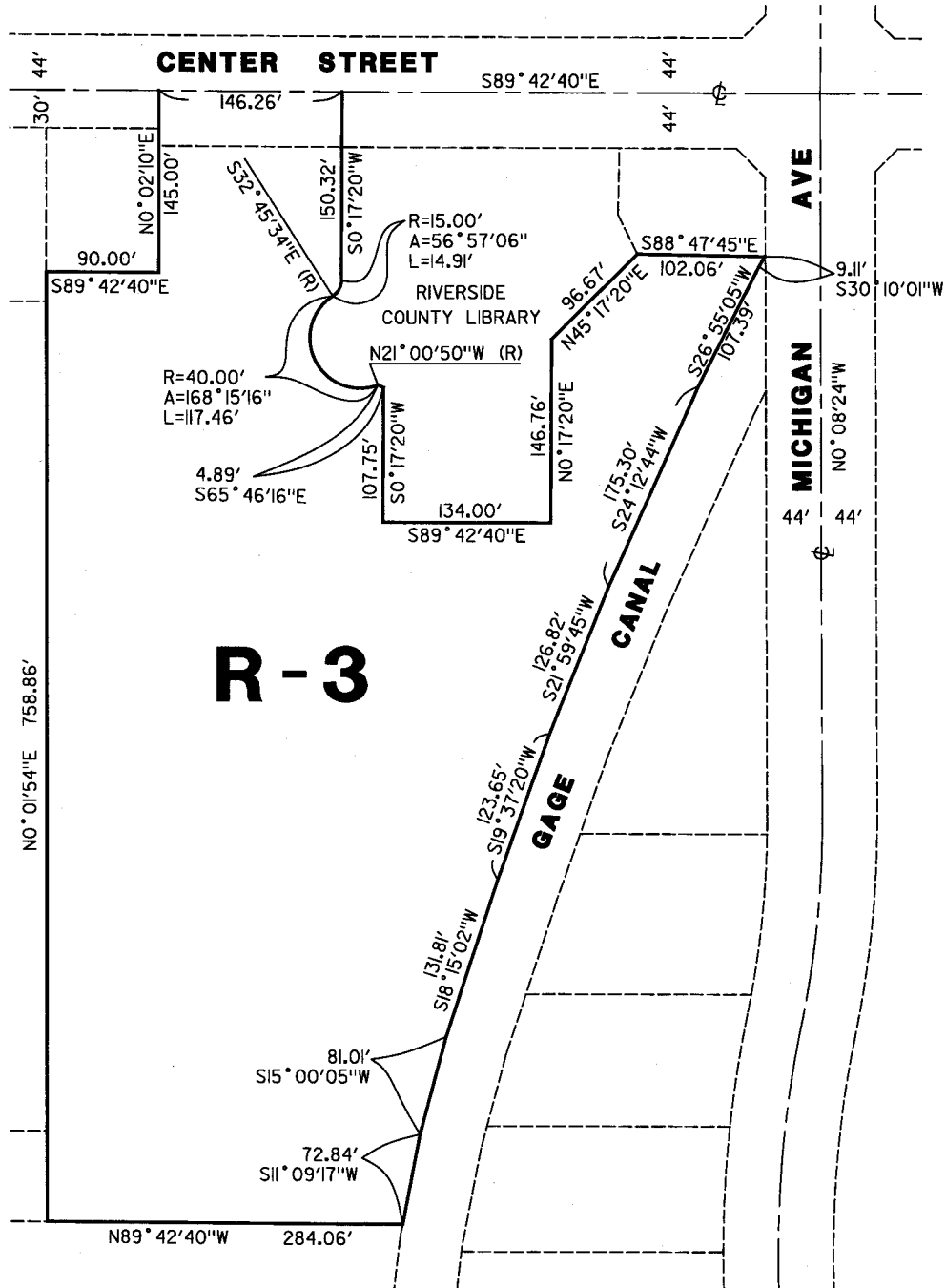
Zoning District: University
Township/Range: T2SR4W
Section: 8

Assessors Bk. Pg. 255-07
Thomas Bros. Pg. 646 6D
Edition 2009



DISCLAIMER: On October 7, 2003, the County of Riverside adopted a new General Plan providing new land use designations for unincorporated Riverside County parcels. The new General Plan may contain different types of land use than is provided for under existing zoning. For further information, please contact the Riverside County Planning Department offices in Riverside at (951) 955-3200 (Western County), or in Indio at (760) 863-8277 (Eastern County) or website at <http://www.riverside.ca.us/index.html>

SECTION 8 T.2S, R.4W S.B.B. & M.



R-3

LEGEND

R-3 GENERAL RESIDENTIAL

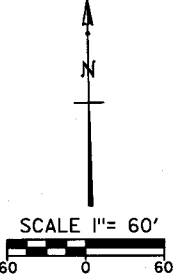
MAP NO. 5.023

**CHANGE OF OFFICIAL ZONING PLAN
UNIVERSITY DISTRICT**

CHANGE OF ZONE CASE NO. 07752
AMENDING ORDINANCE NO. 348
ADOPTED BY ORDINANCE NO. 348.4724
JULY 12, 2011

RIVERSIDE COUNTY BOARD OF SUPERVISORS

A.P.N. 255-070-013



Project Summary:
 Total Site Area: 6.71 Net Gross Acres
 Total Units: 89 Units
 Phase 1: 2 Bdrm., 1 Bk., 24 Units
 Phase 2: 2 Bdrm., 2 Bk., 37 Units
 Phase 3: 2 Bdrm., 2 Bk., 28 Units
 Net Density: 13.26 Homes/Net Gross Acres
 Road Area: 6.71 Acres
 (Total Site Area minus Pocket Park)

Lead Use Summary:
 Lead (Pb) (mg/kg): 21.00 (AS) / 21.00 (AS)
 Asbestos (mg/kg): 0.00 (AS) / 0.00 (AS)
 PCBs (mg/kg): 0.00 (AS) / 0.00 (AS)
 PCDDs (mg/kg): 0.00 (AS) / 0.00 (AS)
 PCDFs (mg/kg): 0.00 (AS) / 0.00 (AS)
 PAHs (mg/kg): 0.00 (AS) / 0.00 (AS)
 PCBs (mg/kg): 0.00 (AS) / 0.00 (AS)
 PCDDs (mg/kg): 0.00 (AS) / 0.00 (AS)
 PCDFs (mg/kg): 0.00 (AS) / 0.00 (AS)
 PAHs (mg/kg): 0.00 (AS) / 0.00 (AS)

NO. OF UNITS	TOTAL AREA (S.F.)	PER UNIT AREA (S.F.)	PER UNIT COST (\$)	PER UNIT COST (\$/S.F.)
24	1,180	49.2	22,000	\$447.14
37	1,720	46.5	22,000	\$447.14
28	1,280	45.7	22,000	\$447.14
89	4,180	46.9	22,000	\$447.14

Legal Description:
 THE COUNTY OF RIVERSIDE, CALIFORNIA, COUNTY CLERK HAS FILED IN PUBLIC RECORDS BOOK 19, PAGE 112, A CERTIFICATE OF INTEREST IN REAL PROPERTY, WHICH IS A PART OF THE RECORDS OF THE COUNTY OF RIVERSIDE, CALIFORNIA, COUNTY CLERK, AND THE SAME IS HEREBY REFERRED TO BY THIS INSTRUMENT.

Proposed Description:
 This project is a residential development consisting of 89 units (24 units in Phase 1, 37 units in Phase 2, and 28 units in Phase 3). The project is located on a 6.71-acre site bounded by Michigan Street to the north, Center Street to the south, and Gage Canal to the west. The project includes a library, a gated entry, a laundry room, a maintenance building, and a school. The project is proposed to be developed in three phases over a period of 18 months.

CONTACT:
 PROJECT ARCHITECT: WILLIAM HEZMALHALCH ARCHITECTS INC.
 PROJECT ENGINEER: WILLIAM HEZMALHALCH ARCHITECTS INC.
 PROJECT SURVEYOR: WILLIAM HEZMALHALCH ARCHITECTS INC.



Code Development Plan Proposed and Revisions:

Code	Comments
MIR 1	Multi-Family Residential
MIR 2	Multi-Family Residential (Medium Density)
MIR 3	Multi-Family Residential (High Density)
MIR 4	Multi-Family Residential (Very High Density)
MIR 5	Multi-Family Residential (Special Use)

LIBRARY FUNDS:
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 Amount: []
 Date: []

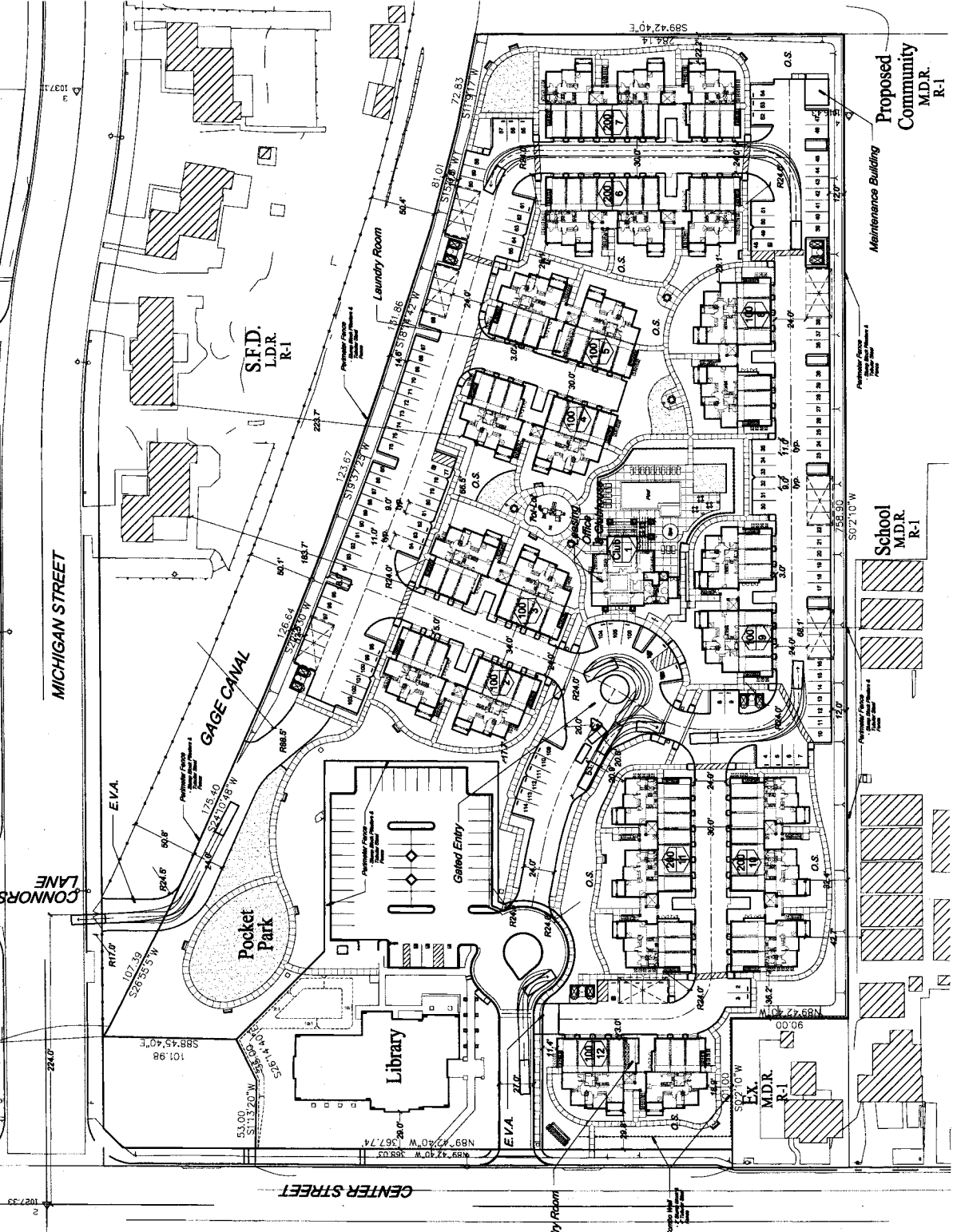
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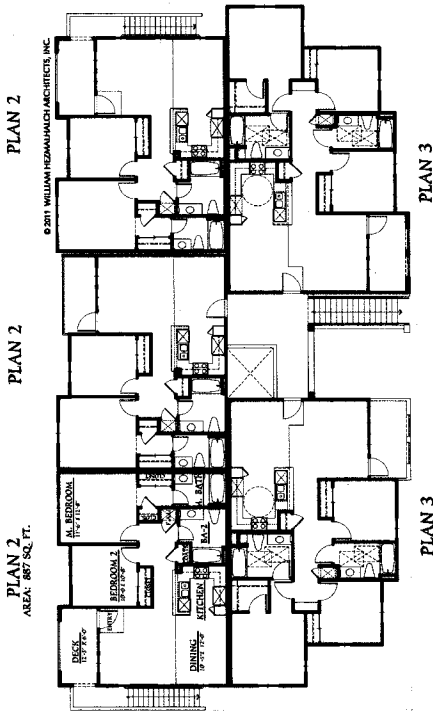
ARCHITECTURAL PLOT PLAN HIGHGROVE WORKFORCE APARTMENTS COUNTY OF RIVERSIDE, CALIFORNIA WORKFORCE HOMEBUILDERS LLC



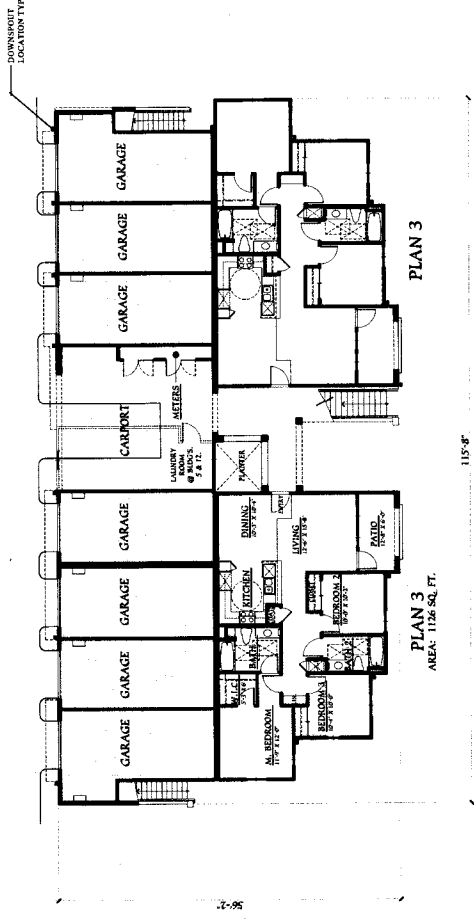
MARCH 16, 2011
 200889

WILLIAM HEZMALHALCH ARCHITECTS, INC. © 2011

SP-1
 WILLIAM HEZMALHALCH
 ARCHITECTS, INC.
 290 REHARL AVENUE SUITE 300 SANTA ANA CA 92705-6565
 949 251 2801 www.hezmalhalch.com Tel: 949 251 1555

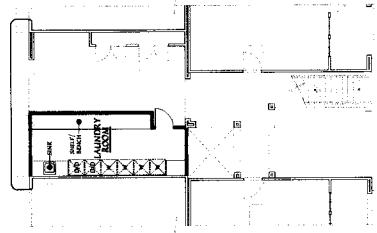


SECOND FLOOR COMPOSITE PLAN



FIRST FLOOR COMPOSITE PLAN

Building Type 100	
Garage/ Carport	2846
1st Floor Residence	2252
1st Floor Stairs	600
2nd floor Residence	4913
2nd Floor Decks	658
Total Building s.f.	11269



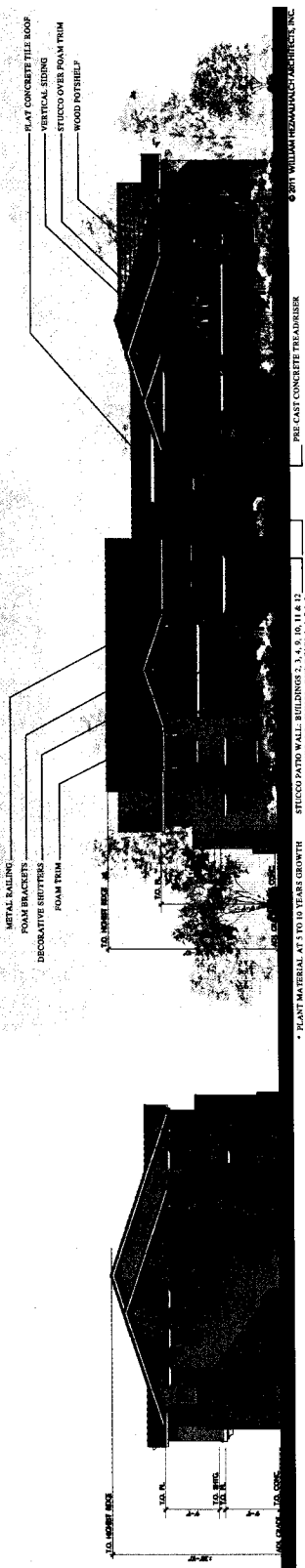
LAUNDRY ROOM @ BUILDINGS 5 & 12
AREA: 268 SQ. FT.

BUILDING 100: CONCEPTUAL COMPOSITE PLANS
HIGHGROVE WORKFORCE APARTMENTS
 COUNTY OF RIVERSIDE, CALIFORNIA
 WORKFORCE HOMEBUILDERS LLC

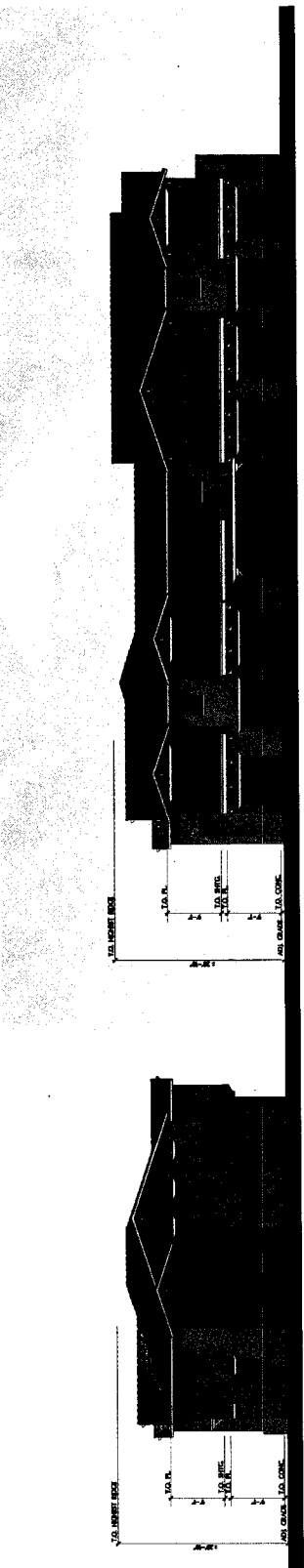
W
 WILLIAM HEZMALHALCH
 ARCHITECTS, INC.
 1000 W. MAIN ST., SUITE 200
 RIVERSIDE, CA 92507
 WWW.HEZMALHALCH.COM TEL: 951.250.1520

MARCH 16, 2011
 200810

A1.0



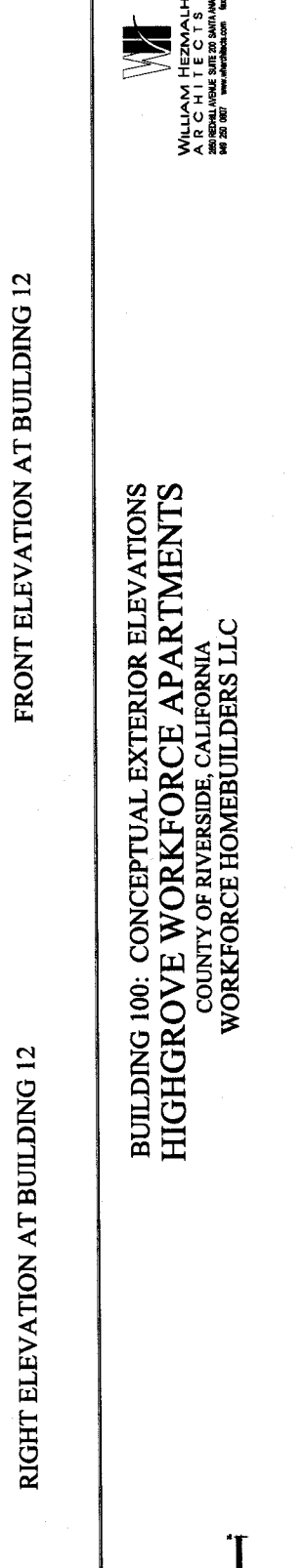
FRONT ELEVATION



REAR ELEVATION



RIGHT ELEVATION



LEFT ELEVATION

BUILDING 100: CONCEPTUAL EXTERIOR ELEVATIONS
 HIGHGROVE WORKFORCE APARTMENTS
 COUNTY OF RIVERSIDE, CALIFORNIA
 WORKFORCE HOMEBUILDERS LLC

W
 WILLIAM HEZMALHALCH
 ARCHITECTS, INC.
 1000 UNIVERSITY AVENUE, SUITE 100
 RIVERSIDE, CALIFORNIA 92507
 WWW.HEZMALHALCH.COM TEL: 951.231.1820

A1.1

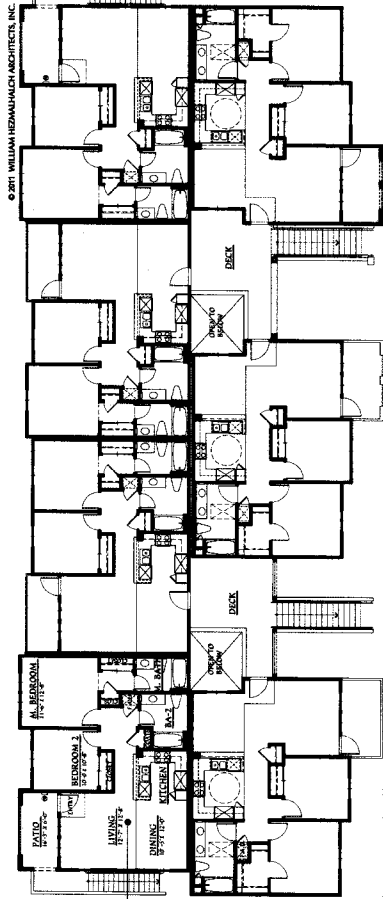
MARCH 16, 2011
 2008189



PLAN 2

PLAN 2

PLAN 2



PLAN 2
AREA: 887 SQ. FT.

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Building Type 200	3767
Garage/Carport	3378
1st Floor Residence	1135
1st Floor Stairs	6926
2nd floor Residence	1092
2nd Floor Decks	16298
Total Building s.f.	

PLAN 1

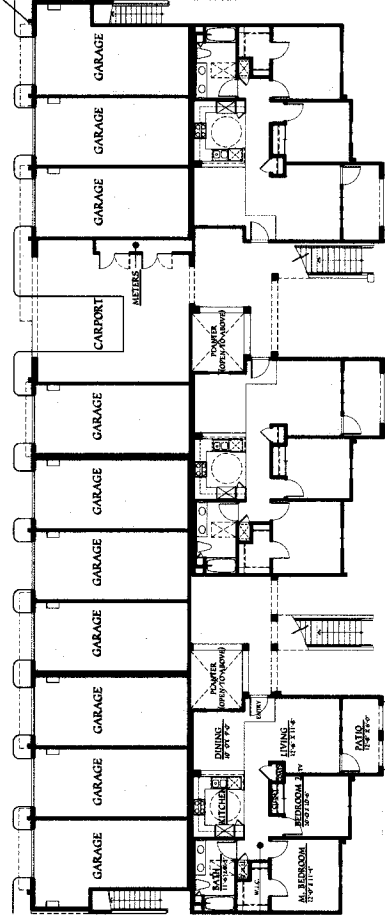
PLAN 1

PLAN 1

1/4"=10'

SECOND FLOOR COMPOSITE PLAN

DOWNSPORT
LOCATION TYPE



PLAN 1
AREA: 886 SQ. FT.

PLAN 1

PLAN 1

PLAN 1

1/4"=10'

FIRST FLOOR COMPOSITE PLAN

MARCH 16, 2011
300011P

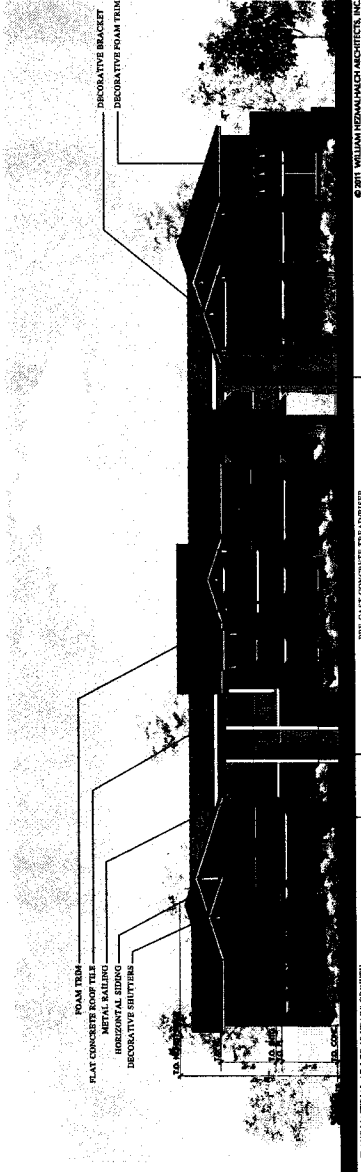


BUILDING 200: CONCEPTUAL COMPOSITE PLANS HIGHGROVE WORKFORCE APARTMENTS COUNTY OF RIVERSIDE, CALIFORNIA WORKFORCE HOMEBUILDERS LLC

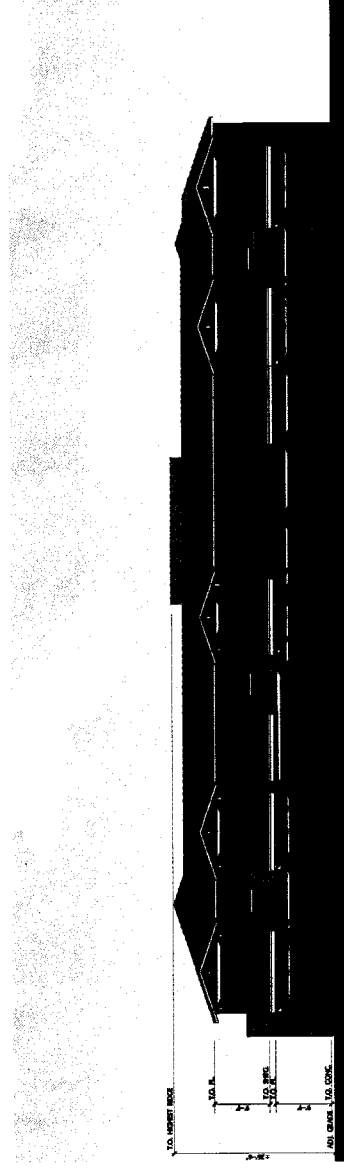


WILLIAM HEZMALHALCH
ARCHITECTS, INC.
2800 REDHILL AVENUE SUITE 200 SAN JUAN CA 92078-5503
P: 951.250.1001 www.hezmalhalch.com fax: 949.250.1009

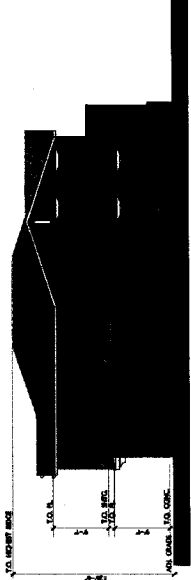
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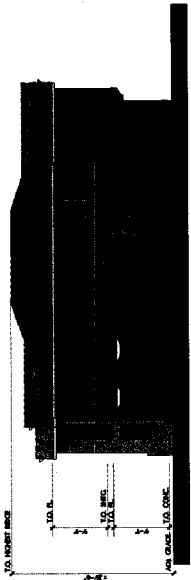
FRONT ELEVATION



REAR ELEVATION



LEFT ELEVATION



RIGHT ELEVATION



LEFT ELEVATION AT BUILDING 10

STYCO PATIO WALL BUILDINGS 1, 2, 3, 10, 11 & 12
 1000 W. BROADWAY, WILSON, N.C. 27157

PLANT MATERIAL AT 2 TO 10 YEARS GROWTH

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MARCH 16, 2011



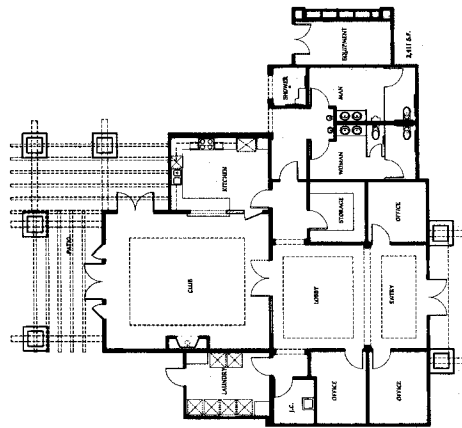
2008189

BUILDING 200: CONCEPTUAL EXTERIOR ELEVATIONS
 HIGHGROVE WORKFORCE APARTMENTS
 COUNTY OF RIVERSIDE, CALIFORNIA
 WORKFORCE HOMEBUILDERS LLC



WILLIAM HEZMALHALCH
 ARCHITECTS, INC.
 200 REDHILL AVENUE SUITE 200 SAN ANTONIO, TEXAS 78240
 PH: 210.357.0007 WWW.HEZMALHALCH.COM FAX: 210.357.1059

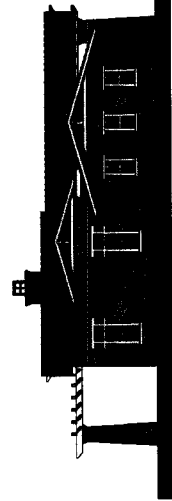
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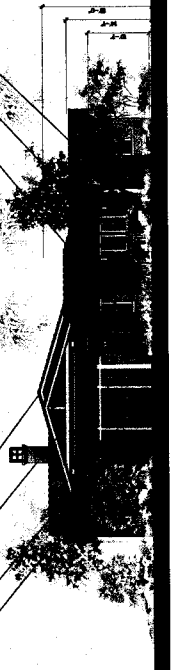
FLOOR PLAN

FLAT CONCRETE ROOF DECK
VERTICAL SIDING
STUCCO TAPERED COLUMN
TRADITIONAL WALL SCOURE

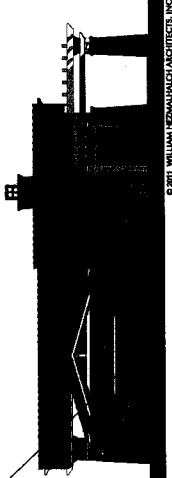
STUCCO OVER FOAM TRIM
WOOD BRACKET
BRICK CAP VENTILATOR
MAIL BOXES



LEFT ELEVATION



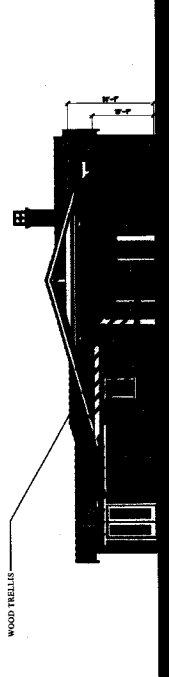
FRONT ELEVATION



RIGHT ELEVATION

* PLANT MATERIALS TO 10 YEARS GROWTH

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REAR ELEVATION

WOOD TRELLIS

Club House	2411
Total Building s.f.	

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2008189

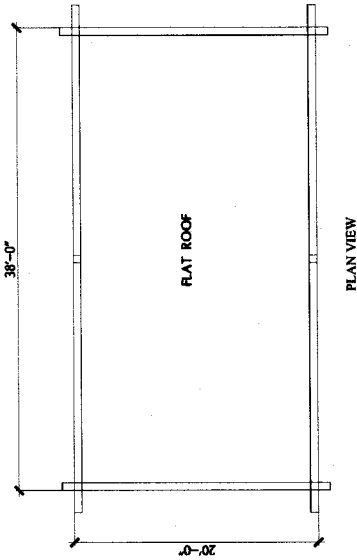


CLUB HOUSE ELEVATIONS AND FLOOR PLAN
HIGHGROVE WORKFORCE APARTMENTS
 COUNTY OF RIVERSIDE, CALIFORNIA
 WORKFORCE HOMEBUILDERS LLC

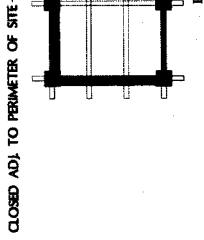


WILLIAM HEZMALHALCH
 ARCHITECTS, INC.
 2008 HENRY AVENUE SUITE 200 SANTA ANA, CA 92706-6640
 949.251.1007 www.hezmalhalch.com fax 949.251.1020

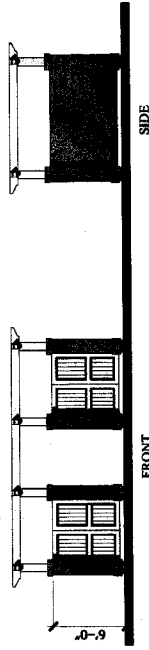
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PLAN VIEW

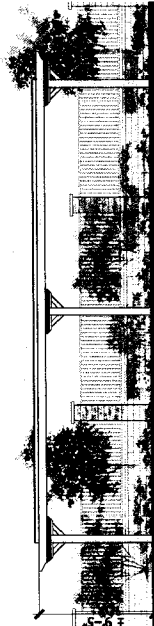


PLAN VIEW



FRONT

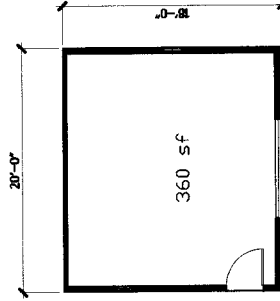
SIDE



FRONT

SIDE

CARPOT



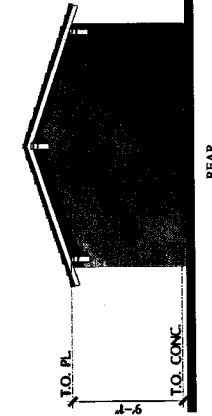
FRONT

REAR

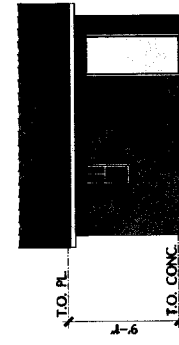
SIDE

TRASH ENCLOSURE

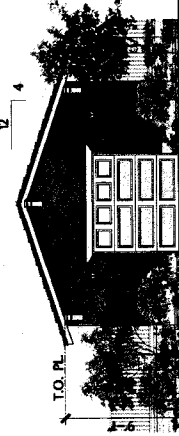
Maintenance Building	360
Total Building s.f.	360



REAR



LEFT



FRONT

RIGHT

MAINTENANCE BUILDING

MAINTENANCE BUILDING, CARPORT & TRASH ENCLOSURE
HIGHGROVE WORKFORCE APARTMENTS
 COUNTY OF RIVERSIDE, CALIFORNIA
 WORKFORCE HOMEBUILDERS LLC

MARCH 16, 2011
 2009105

W
 WILLIAM HEZMIALCH
 ARCHITECTS
 2000 BENTLEY AVENUE SUITE 200 SANFORD CA 92382
 949 251 8007 www.whezmialch.com fax 949 251 1630

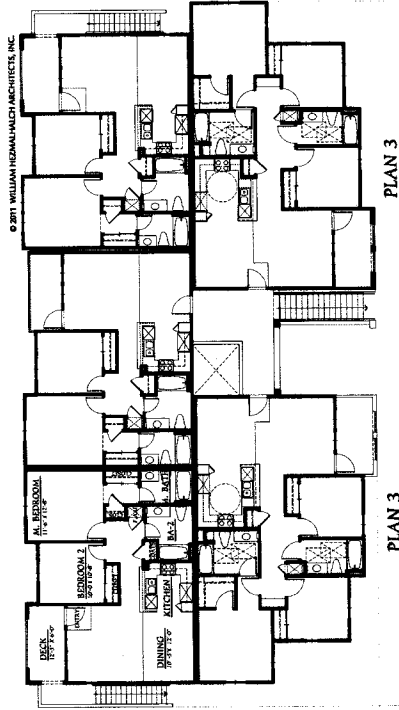
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PLAN 2
AREA: 847 SQ. FT.

PLAN 2

PLAN 2



PLAN 3

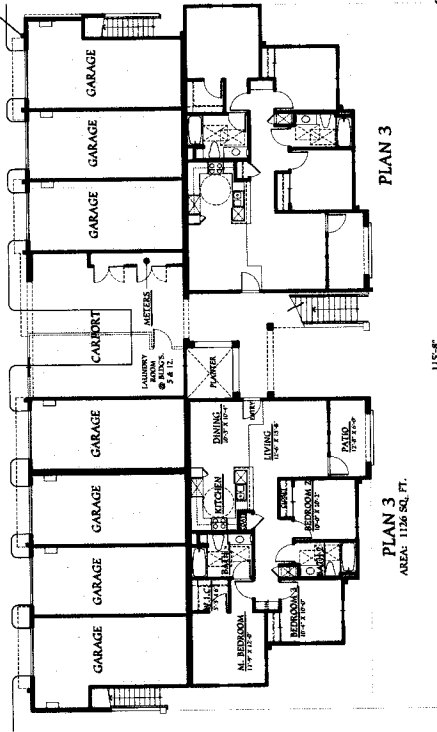
PLAN 3

115'-8"

SECOND FLOOR COMPOSITE PLAN

Building Type 100	
Garage/Carport	2846
1st Floor Residence	2252
1st Floor Sheds	600
2nd Floor Residence	4913
2nd Floor Decks	658
Total Building S.F.	11269

DOWNSCOUT
LOCATION TYP.

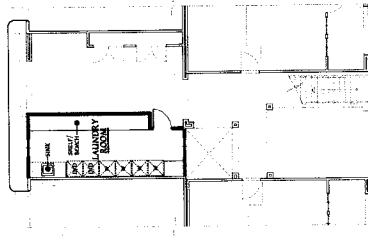


PLAN 3
AREA: 1126 SQ. FT.

PLAN 3

115'-8"

FIRST FLOOR COMPOSITE PLAN



LAUNDRY ROOM @ BUILDINGS 5 & 12

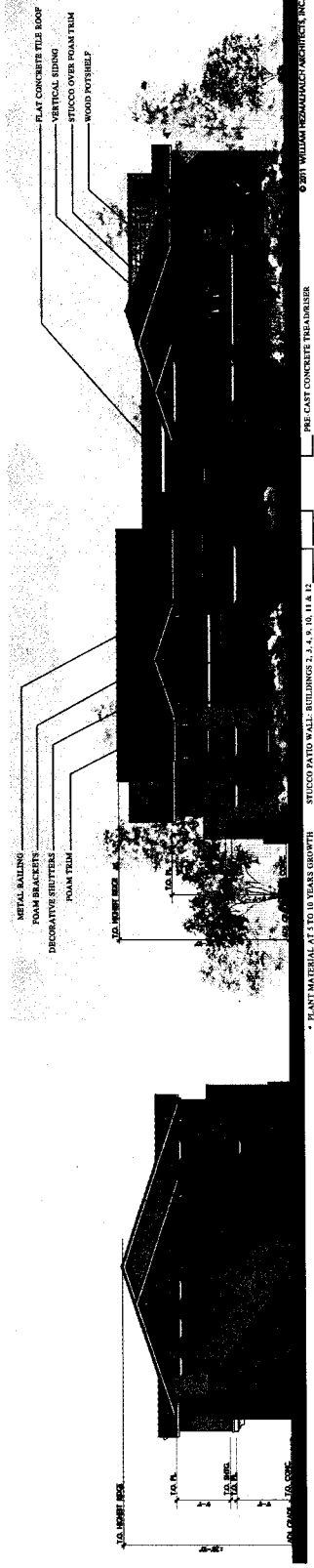
AREA: 268 SQ. FT.

BUILDING 100: CONCEPTUAL COMPOSITE PLANS
HIGHGROVE WORKFORCE APARTMENTS
 COUNTY OF RIVERSIDE, CALIFORNIA
 WORKFORCE HOMEBUILDERS LLC



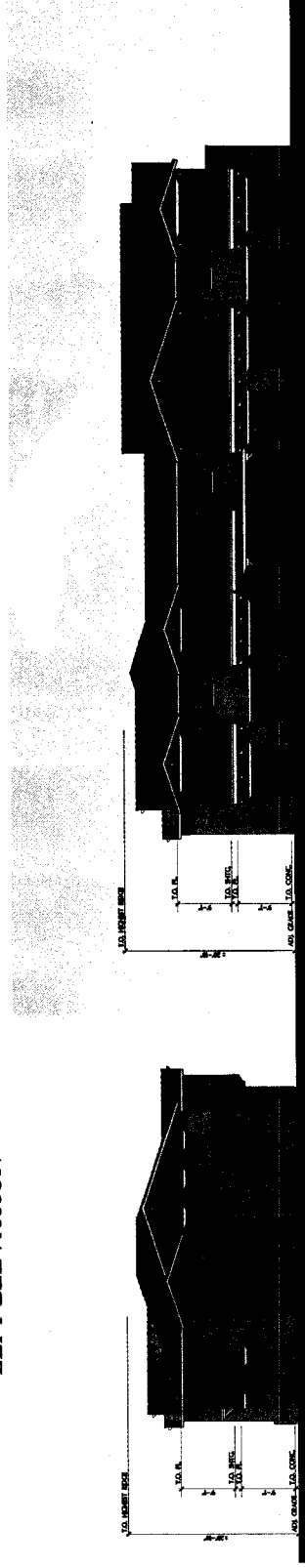
WILLIAM HERZMALCH
 ARCHITECTS
 INC.
 200 BENTLEY AVENUE SUITE 200 SANTA ANA CA 92705-6568
 949 251 1871 www.williamherzmalch.com fax 949 251 1528

A1.0



FRONT ELEVATION

LEFT ELEVATION



REAR ELEVATION

RIGHT ELEVATION



RIGHT ELEVATION AT BUILDING 12

FRONT ELEVATION AT BUILDING 12

BUILDING 100: CONCEPTUAL EXTERIOR ELEVATIONS
HIGHGROVE WORKFORCE APARTMENTS
 COUNTY OF RIVERSIDE, CALIFORNIA
 WORKFORCE HOMEBUILDERS LLC

W
WILLIAM HEZMALCH
ARCHITECTS INC.
 260 REDLAND AVENUE SUITE 200 SANTA ANA, CA 92704-5640
 949 251 0607 www.hezmalch.com fax 949 251 1539

MARCH 16, 2011
 2007079

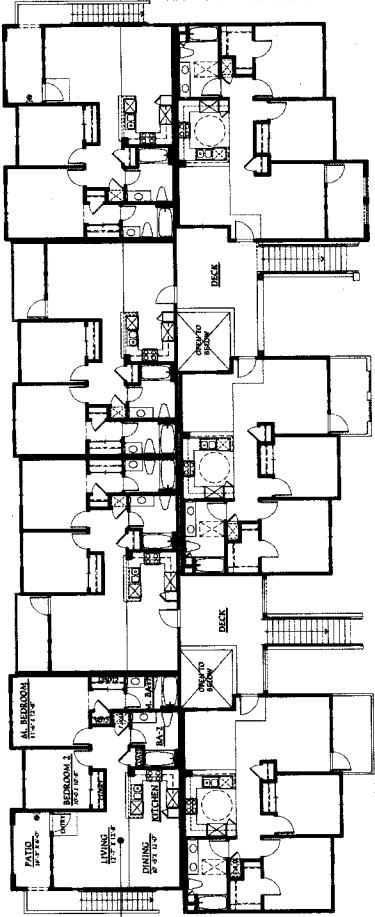


PLAN 2

PLAN 2

PLAN 2

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PLAN 2
AREA: 887 SQ. FT.

PLAN 1

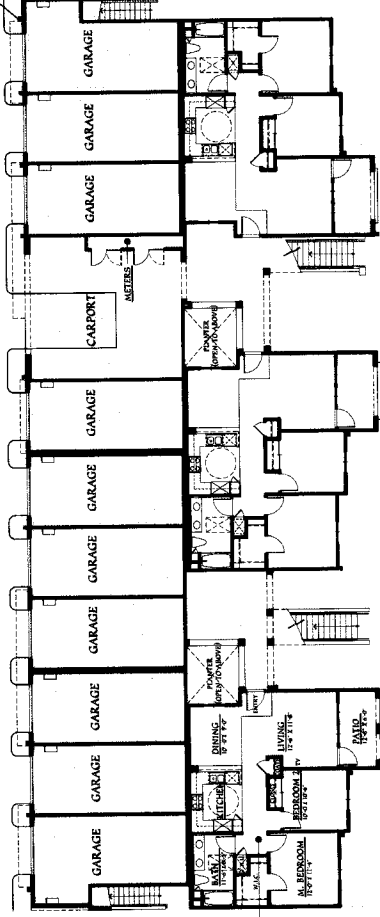
PLAN 1

PLAN 1

1/4"=10'

SECOND FLOOR COMPOSITE PLAN

APPROXIMATE
LOCATION TYP.



PLAN 1
AREA: 886 SQ. FT.

PLAN 1

PLAN 1

PLAN 1

1/4"=10'

FIRST FLOOR COMPOSITE PLAN

Building Type 200	3767
Garage/Carport	3378
1st Floor Residence	1135
1st Floor Stairs	6926
2nd Floor Residence	1092
2nd Floor Decks	16298
Total Building s.f.	16298

BUILDING 200: CONCEPTUAL COMPOSITE PLANS
HIGHGROVE WORKFORCE APARTMENTS
 COUNTY OF RIVERSIDE, CALIFORNIA
 WORKFORCE HOMEBUILDERS LLC



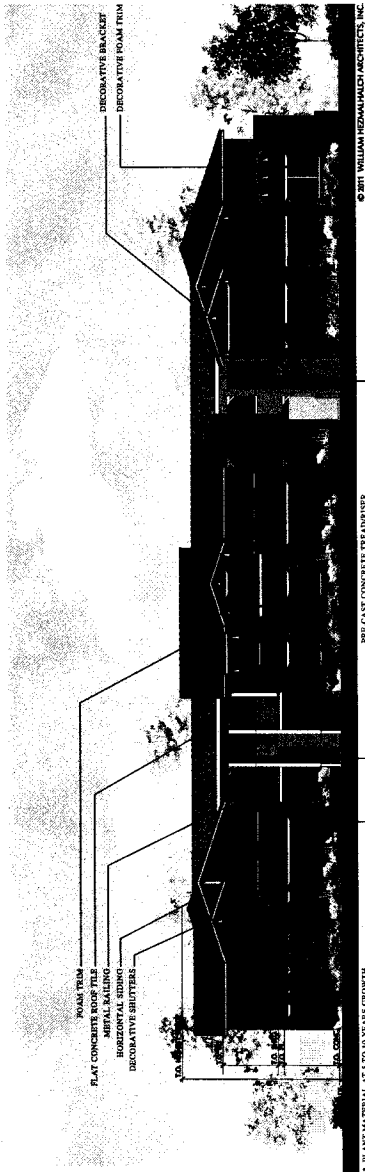
**WILLIAM HEZMALHALCH
 ARCHITECTS, INC.**
 280 RIVERSIDE AVENUE SUITE 200 DANA POINT, CA 92629
 949.251.1001 www.hezmalhalch.com fax 949.251.1001

A2.0

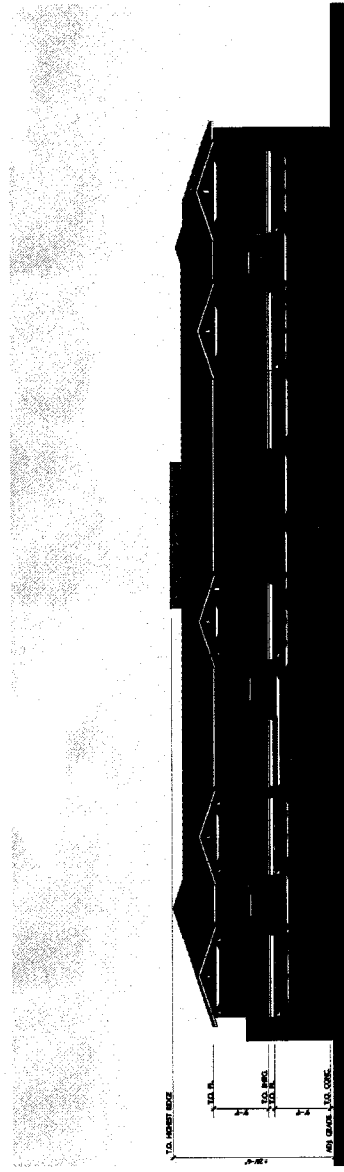
MARCH 16, 2011

2008109

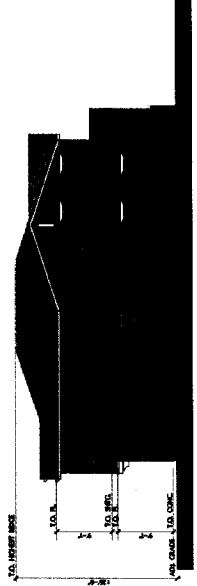




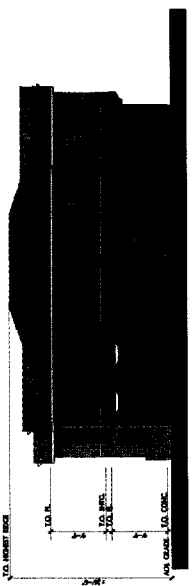
FRONT ELEVATION



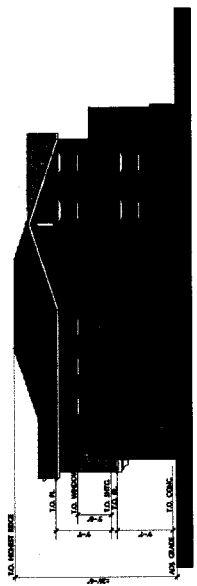
REAR ELEVATION



LEFT ELEVATION



RIGHT ELEVATION



LEFT ELEVATION AT BUILDING 10

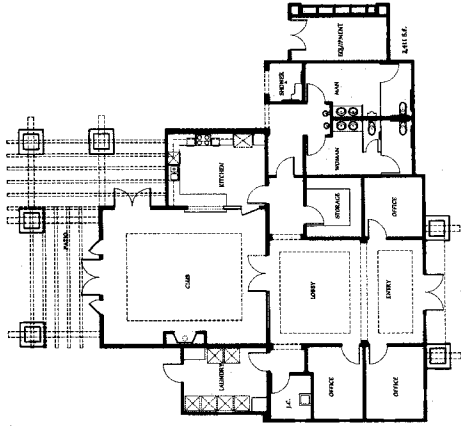
BUILDING 200: CONCEPTUAL EXTERIOR ELEVATIONS
HIGHGROVE WORKFORCE APARTMENTS
 COUNTY OF RIVERSIDE, CALIFORNIA
 WORKFORCE HOMEBUILDERS LLC

W
 WILLIAM HEZMALHALCH
 ARCHITECTS, INC.
 1000 W. 10TH STREET, SUITE 200
 RIVERSIDE, CA 92507
 WWW.HEZMALHALCH.COM TEL: 951.250.1000

A2.1

MARCH 16, 2011

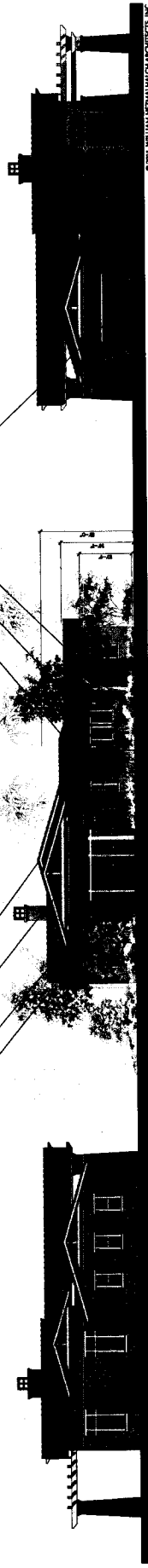
200919



FLOOR PLAN

FLAT CONCRETE ROOF TIERS
VERTICAL SHING
STUCCO TAPERED COLUMN
TRADITIONAL WALL SOUNCH

STUCCO OVER FOAM TRIM
WOOD BRACKET
BRICK CAP VENEER
MAIL BOXES



LEFT ELEVATION

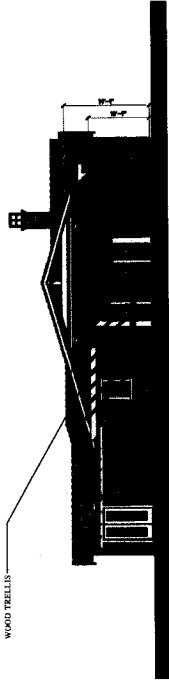
FRONT ELEVATION

RIGHT ELEVATION

* PLANT MATERIALS TO 10 YEARS GROWTH

© 2011 WILLIAM HEZMALHALCH ARCHITECTS, INC.

Club House	2411
Total Building s.f.	



REAR ELEVATION

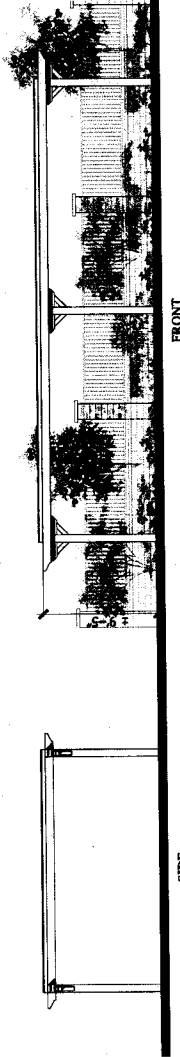
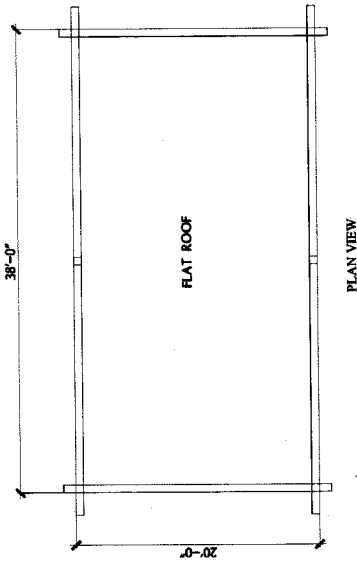
CLUB HOUSE ELEVATIONS AND FLOOR PLAN
HIGHGROVE WORKFORCE APARTMENTS
COUNTY OF RIVERSIDE, CALIFORNIA
WORKFORCE HOMEBUILDERS LLC

A3.0

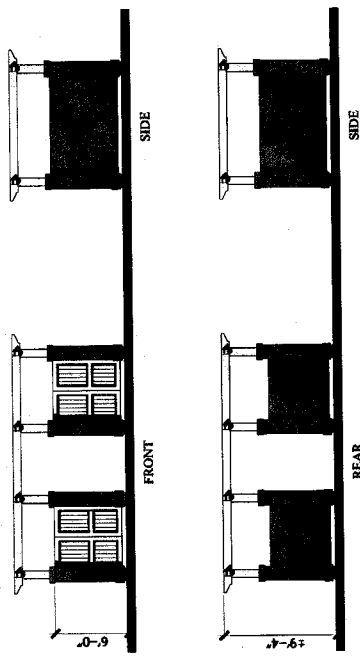
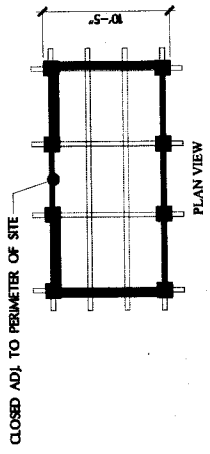
WILLIAM HEZMALHALCH
ARCHITECTS
1000 UNIVERSITY AVENUE, SUITE 100
SAN ANTONIO, TEXAS 78205
954.252.0007 www.hezmalch.com

MARCH 16, 2011
2008199

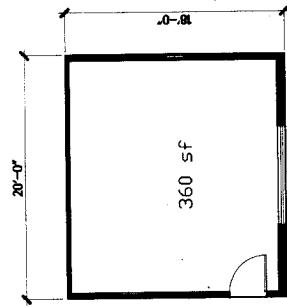




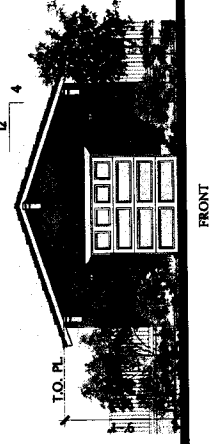
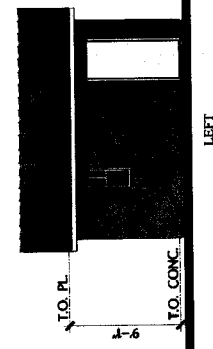
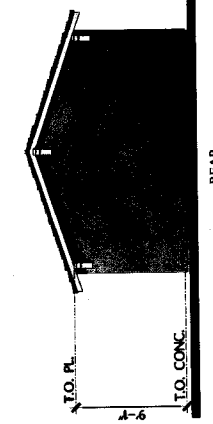
CARPORIT



TRASH ENCLOSURE



Maintenance Building	360
Total Building s.f.	360



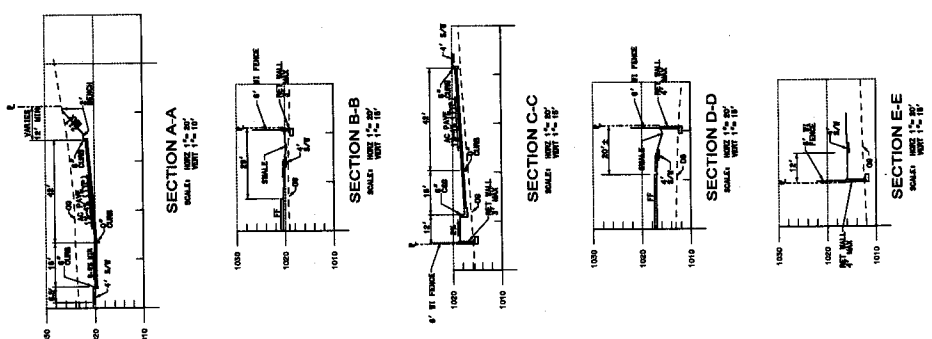
MAINTENANCE BUILDING

MAINTENANCE BUILDING, CARPORT & TRASH ENCLOSURE
HIGHGROVE WORKFORCE APARTMENTS
 COUNTY OF RIVERSIDE, CALIFORNIA
 WORKFORCE HOMEBUILDERS LLC

A4.0

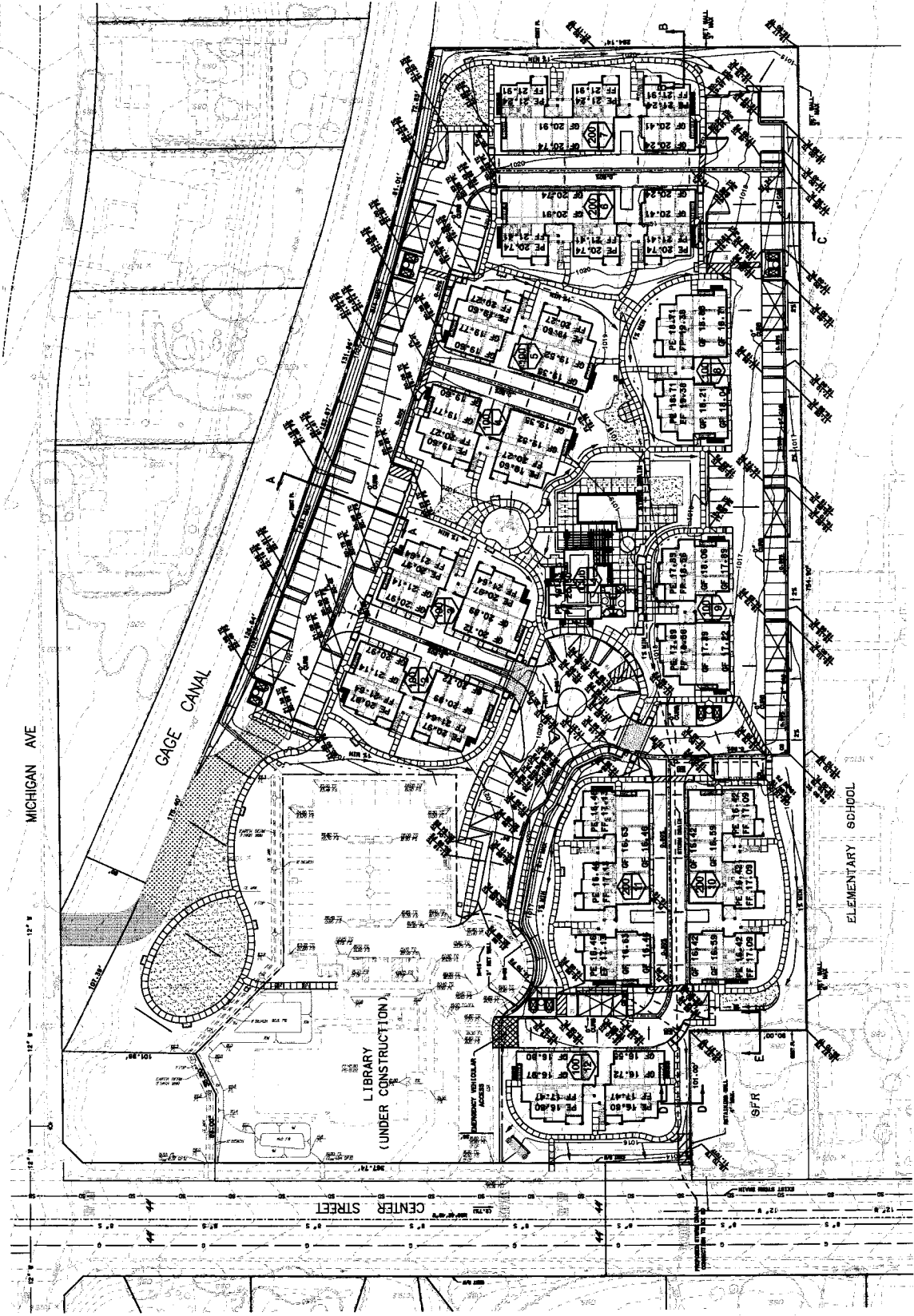
W

WILLIAM HEZMALHALCH
 ARCHITECTS INC.
 1000 W. UNIVERSITY AVENUE
 SUITE 200
 RIVERSIDE, CA 92507
 WWW.WHARCHITECTS.COM TEL: 951.239.1828



- NOTES**
1. PROPERTY - 1.48 ACRES, CITY AIR ZONES - PROJECT SITE - 1.71 ACRES, NET AND GROSS
 2. THE EXISTING PROJECT SITE IS VACANT LAND
 3. THERE ARE NO EXISTING CASINETS ON THE PROJECT SITE
 4. THE PROJECT WILL BE SERVED BY PUBLIC SEWER
 5. THIS SITE IS NOT SUBJECT TO OVERFLOW, INUNDATION OR FLOOD HAZARD
 6. THE FLOOD ZONE DESIGNATION IS "0"
 7. THE PROJECT IS NOT WITHIN A SPECIFIC PLAIN AREA
 8. THERE ARE NO EXISTING TREES ON THE SITE

CIVIL ENGINEER:
 WILLIAM HEZMALHALCH
 ARCHITECTS INC.
 200 WEST 10TH STREET
 RIVERSIDE, CALIFORNIA 92504
 951-501-0007 WWW.WHHA.COM
 951-501-0008



ADA NOTE
 ALL SIDEWALKS AND DRIVEWAYS COMPLY WITH ADA SLOPE REQUIREMENTS

EARTHWORK QUANTITIES
 CUT - 4,700 CY
 FILL - 9,400 CY
 THESE ARE MAX QUANTITIES WITH NO CONSIDERATION FOR EXISTING UTILITIES OR OBSTRUCTIONS. SITE IS DESIGNED TO BALANCE.

TEMP. NOTE
 SEE SHEET C-2 FOR TEMP. FEATURES AND BMP'S

W

WILLIAM HEZMALHALCH ARCHITECTS INC.
 200 WEST 10TH STREET
 RIVERSIDE, CALIFORNIA 92504
 951-501-0007 WWW.WHHA.COM
 951-501-0008

C-1

CONCEPTUAL GRADING PLAN
HIGHGROVE WORKFORCE APARTMENTS
 COUNTY OF RIVERSIDE, CALIFORNIA
 WORKFORCE HOMEBUILDERS LLC

SEE SHEET C-2 FOR WATER QUALITY BMP'S FEATURES

Goodman & Associates
 1000 WEST 10TH STREET
 RIVERSIDE, CALIFORNIA 92504
 951-501-0007

MARCH 16, 2011

DATE



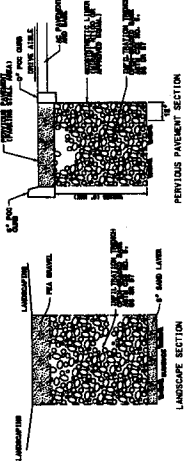
WILLIAM HEZMALHALCH
ARCHITECTS INC.
2800 REDHILLWAYE SUITE 200 SANTA ANITA, CA 92668
949 251 0007 www.williamhezmalhalch.com

CONCEPTUAL GRADING PLAN
HIGHGROVE WORKFORCE APARTMENTS
COUNTY OF RIVERSIDE, CALIFORNIA
WORKFORCE HOMEBUILDERS LLC

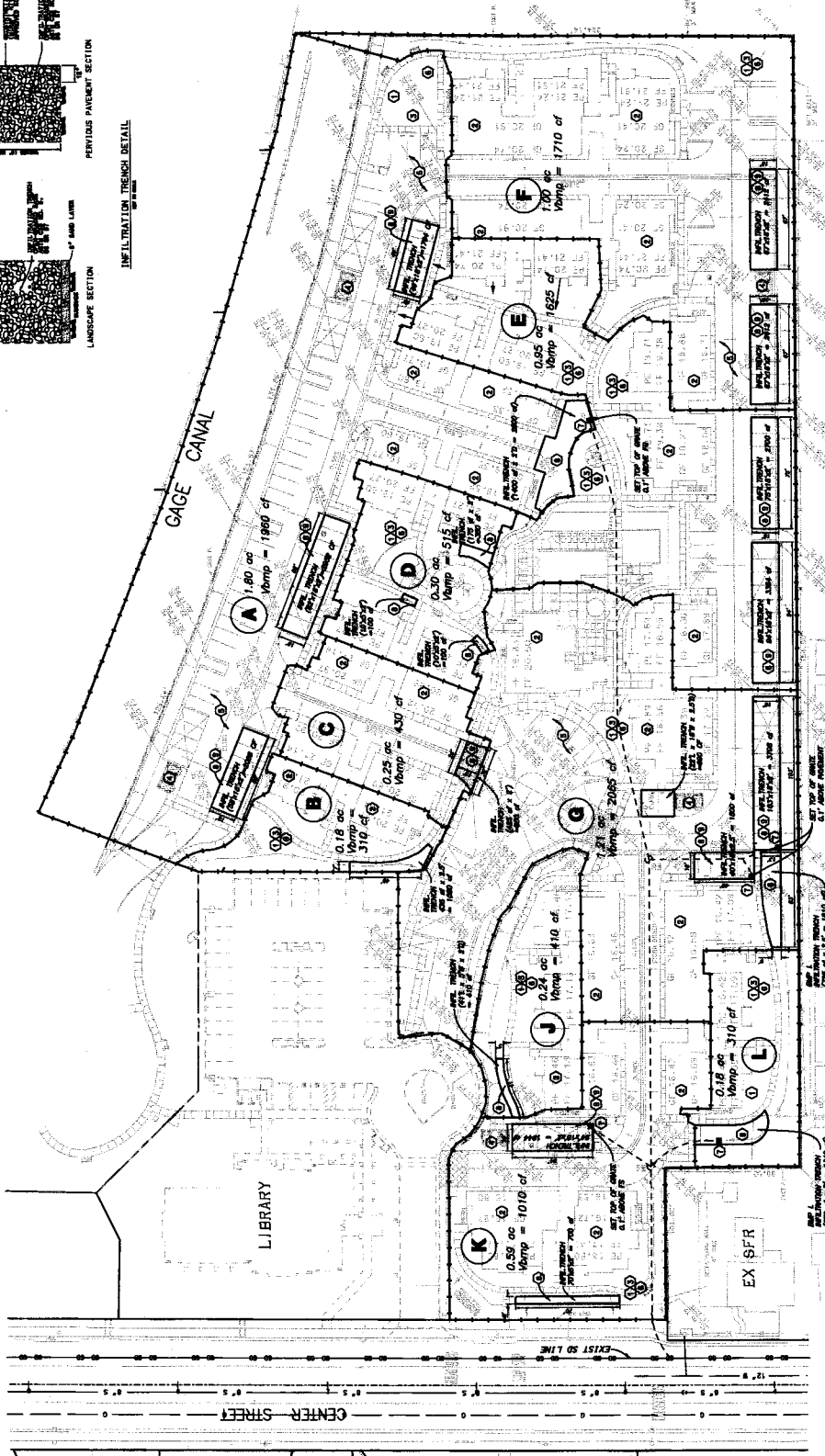


DATE: _____
PROJECT NUMBER: 152-1800
BY: [Signature]
CHECKED BY: [Signature]
DATE: _____

MARCH 16, 2011



INFILTRATION TRENCH DETAIL



- WOMP/BMP NOTES:**
- ① 90-10: LANDSCAPE PLANTING
 - ② 90-11: ROOF RAMPFF CONTROLS
 - ③ 90-12: EFFICIENT IRRIGATION
 - ④ 90-32: TRASH ENCLOSURE
 - ⑤ 90-33: PARKING LOT SHEEPING
 - ⑥ COMMON AREA LITTER CONTROLS
 - ⑦ 90-13: STENCILING & STORAGE
 - ⑧ TC-10: INFILTRATION TRENCH
 - ⑨ 90-20: PERVIOUS PAVEMENT

- LEGEND**
- (A) SUBAREA DESIGNATION
 - SUBAREA BOUNDARY
 - Vmp BMP DESIGN VOLUME
 - ▭ PROPOSED INFILTRATION BASIN
 - PROPOSED INLET
 - PROPOSED STORM DRAIN

EXIST ELEMENTARY SCHOOL



Goodman & Associates, Inc.
1000 W. 10TH STREET, SUITE 100
RIVERSIDE, CALIFORNIA 92507
TEL: 951-509-8888
WWW.GOODMAN-ASSOCIATES.COM

PROJECT DESCRIPTION

TWO STORY APARTMENTS, 2 & 3 BEDROOMS, 80 UNITS AT 800 DUAL. THE PROJECT IS TO BE A HIGH DENSITY RESIDENTIAL DEVELOPMENT WITH A WALKABLE FAMILY FRIENDLY DESIGN. THE PROPOSED INFRASTRUCTURE INCLUDES A WALKABLE FAMILY FRIENDLY DESIGN. THE PROPOSED INFRASTRUCTURE INCLUDES A WALKABLE FAMILY FRIENDLY DESIGN. THE PROPOSED INFRASTRUCTURE INCLUDES A WALKABLE FAMILY FRIENDLY DESIGN.

IRRIGATION DESIGN

UTILIZE PREMIUM SPRAY NOZZLES, ROTATOR NOZZLES, CONVENTIONAL ROTORS AND ONE SYSTEM APPLICATIONS THROUGHOUT THE SITE. THE IRRIGATION SYSTEM SHALL BE CONTROLLED BY AN IRRIGATION CONTROL VALVE (ICV) AND A CONTROLLER. THE IRRIGATION SYSTEM SHALL BE CONTROLLED BY AN IRRIGATION CONTROL VALVE (ICV) AND A CONTROLLER. THE IRRIGATION SYSTEM SHALL BE CONTROLLED BY AN IRRIGATION CONTROL VALVE (ICV) AND A CONTROLLER.

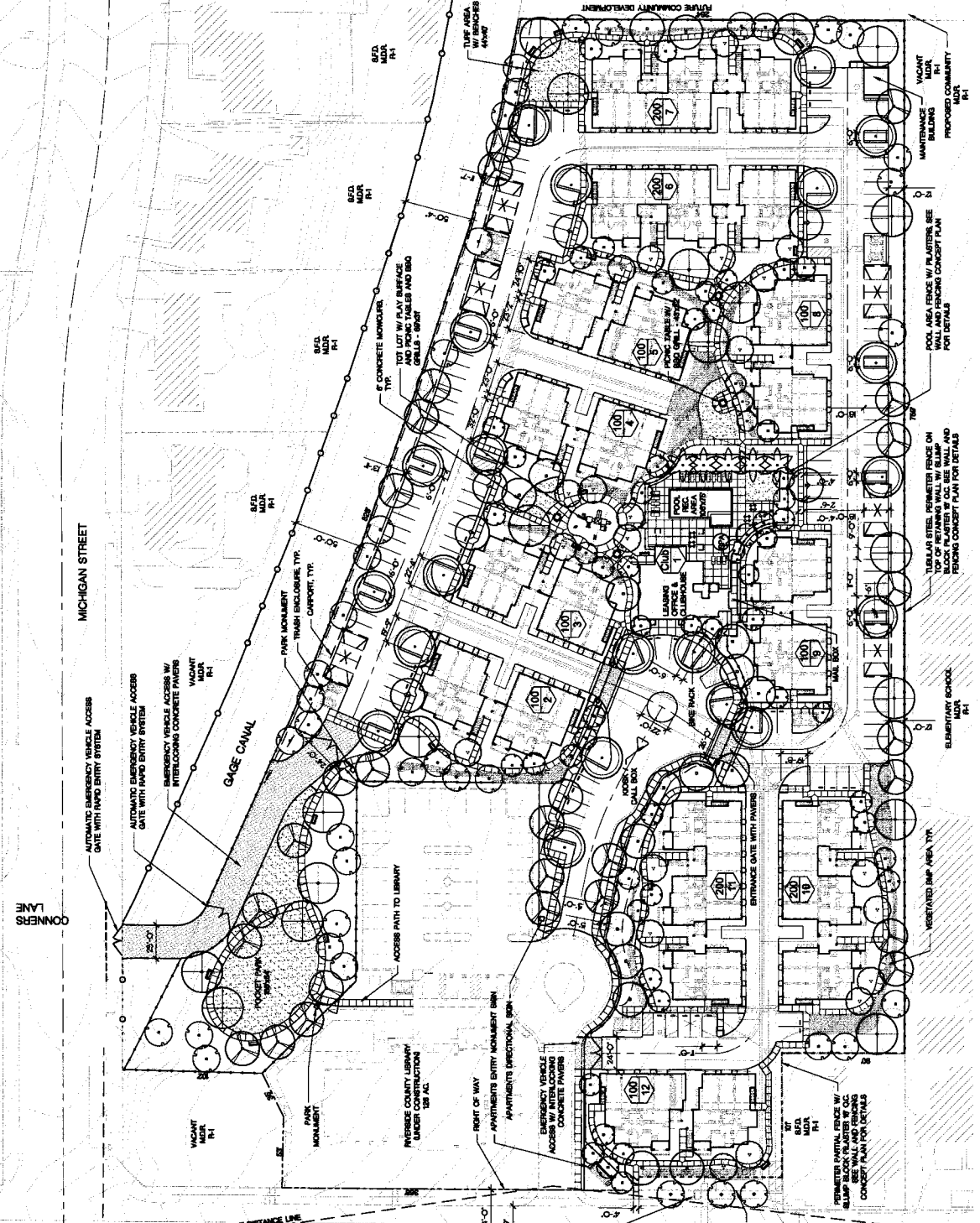
MAXIMUM ALLOW WATER ALLOWANCE (MAWA)

Reverside County Ordinance 6842 Landscape Water Use Calculations

Highgrove Workforce Apartments		
1 Maximum Annual Water Allowance		
IRRIGATION ALLOWANCE = 250 GALLONS PER 100 SQ FT PER YEAR MAWA = 250,000 GALLONS PER 100,000 SQ FT PER YEAR		
2 Estimated Annual Water Use		
Irrigation System: 250,000 GALLONS PER 100,000 SQ FT PER YEAR Landscape Water Use: 250,000 GALLONS PER 100,000 SQ FT PER YEAR Total Water Use: 500,000 GALLONS PER 100,000 SQ FT PER YEAR		
Irrigation System: 250,000 GALLONS PER 100,000 SQ FT PER YEAR Landscape Water Use: 250,000 GALLONS PER 100,000 SQ FT PER YEAR Total Water Use: 500,000 GALLONS PER 100,000 SQ FT PER YEAR		
Irrigation System: 250,000 GALLONS PER 100,000 SQ FT PER YEAR Landscape Water Use: 250,000 GALLONS PER 100,000 SQ FT PER YEAR Total Water Use: 500,000 GALLONS PER 100,000 SQ FT PER YEAR		
Irrigation System: 250,000 GALLONS PER 100,000 SQ FT PER YEAR Landscape Water Use: 250,000 GALLONS PER 100,000 SQ FT PER YEAR Total Water Use: 500,000 GALLONS PER 100,000 SQ FT PER YEAR		

PLANTING DESIGN

OVERSEED IRRIGATION SHALL NOT BE PERMITTED WITHIN 24" OF ANY NON-REMEABLE SURFACE OR PER ORE 8622 REQUIREMENTS. ALL NON-TURF PLANTING AREAS WITH A SLOPE LESS THAN 2% SHALL BE COVERED WITH A MINIMUM 2" LAYER OF ORGANIC MULCH AROUND BRUSH PLANTING AND 1" OF ORGANIC MULCH AROUND BRUSH PLANTING FROM CURB. ALL BRUSH PLANTING SHALL BE COVERED WITH A MINIMUM 2" LAYER OF ORGANIC MULCH. ALL BRUSH PLANTING SHALL BE COVERED WITH A MINIMUM 2" LAYER OF ORGANIC MULCH. ALL BRUSH PLANTING SHALL BE COVERED WITH A MINIMUM 2" LAYER OF ORGANIC MULCH.



SITE DATA FOR CONCEPTUAL LANDSCAPE PLAN
 PROJECT SITE AREA: 671 ACRES
 PROJECT SITE AREA: 671 ACRES
 PROJECT SITE AREA: 671 ACRES
 PROJECT SITE AREA: 671 ACRES
 PROJECT SITE AREA: 671 ACRES

PERCENTAGE OF TOTAL PARKING AREA REQUIRED TO BE SHADED
 NUMBER OF PARKING SPACES: 1,000
 NUMBER OF PARKING SPACES: 1,000
 NUMBER OF PARKING SPACES: 1,000
 NUMBER OF PARKING SPACES: 1,000
 NUMBER OF PARKING SPACES: 1,000

MARCH 8, 2017

LANDSCAPE CONCEPT PLAN

HIGHGROVE WORKFORCE APARTMENTS

COUNTY OF RIVERSIDE, CALIFORNIA

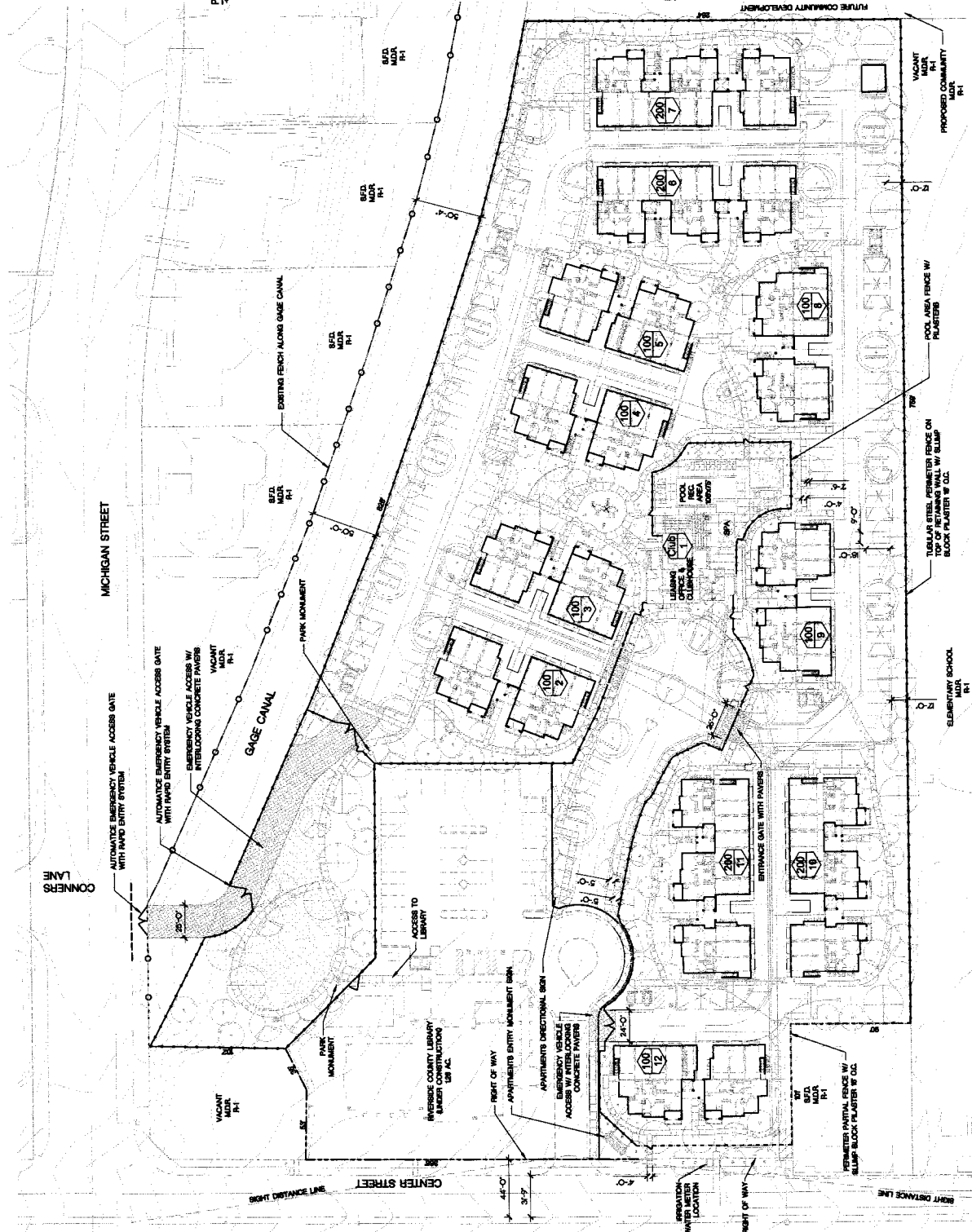
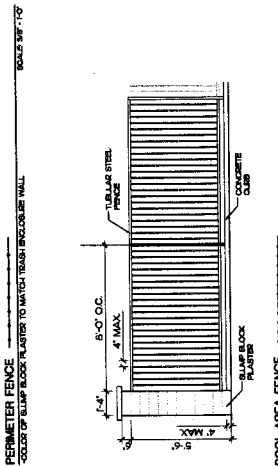
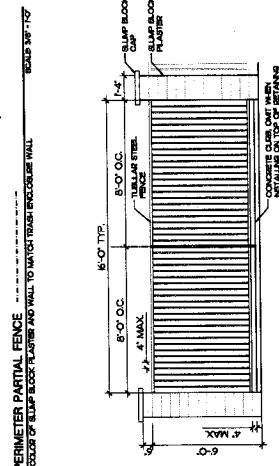
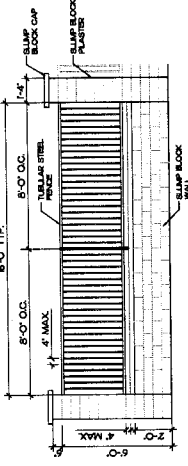
WORKFORCE HOMEBUILDERS LLC

APR #254-070-013
 530 Center St. Highgrove, CA 92507
WILLIAM HEZMALHALCH ARCHITECTS INC.
 2866 REINHARDT AVENUE SUITE 200 SANTA ANA, CA 92704-5663
 949 281 0007 www.aharchitects.com

VAN DYCK
 LANDSCAPE ARCHITECTS

LS-1

PROJECT TOP 4



VAN DYKE
LANDSCAPERS ARCHITECTS

APN # 252-070013
530 Center St., Redlands, CA 92370

LS-2
SHEET 2 OF 4

WILLIAM HEZMAL-HALCH
ARCHITECTS INC.
280 REDHILL AVENUE SUITE 200 SANTA ANA CA 92705-6548
949 250 1807 www.hezmal.com Lic. 946 250 1528

SEE SHEET 04 FOR LANDSCAPE CONCEPT PLAN
SEE SHEET 04 FOR CONCEPT SHADE PLANTING PLAN
AND SHEET 04 FOR CONCEPT PLANTING PALETTE

WALL AND FENCING CONCEPT PLAN
HIGHGROVE WORKFORCE APARTMENTS
COUNTY OF RIVERSIDE, CALIFORNIA
WORKFORCE HOMEBUILDERS LLC



MARCH 18, 2018

PROJECT DESCRIPTION
 TWO STORY APARTMENTS 4.3 BEDROOMS IN UNITS AT 248 DUAL. THE PROJECT IS COMPOSED OF 7 AND 9 FLOOR & ONE RECREATION BUILDING AT 248 B. THE RECREATION BUILDING WILL BE USED AS A COMMUNITY CENTER AND WILL BE A VACANT FAMILY ORIENTED COMMUNITY. THE PROPOSED HIGHGROVE LIBRARY IS AN APARTMENT THAT WILL PROMOTE COMMUNITY BONDING AND PEDESTRIAN ACTIVITY. ALSO TO BE CONSIDERED IS THE PROPOSED POCKET PARK WHICH WILL BE A COMMUNITY AND THE LIBRARY. MAIN VELOCULAR ACCESS IS TAKEN FROM CENTER STREET WITH AN ELEVATOR ACCESS TO THE POCKET PARK TO MICROWAVE STREET.



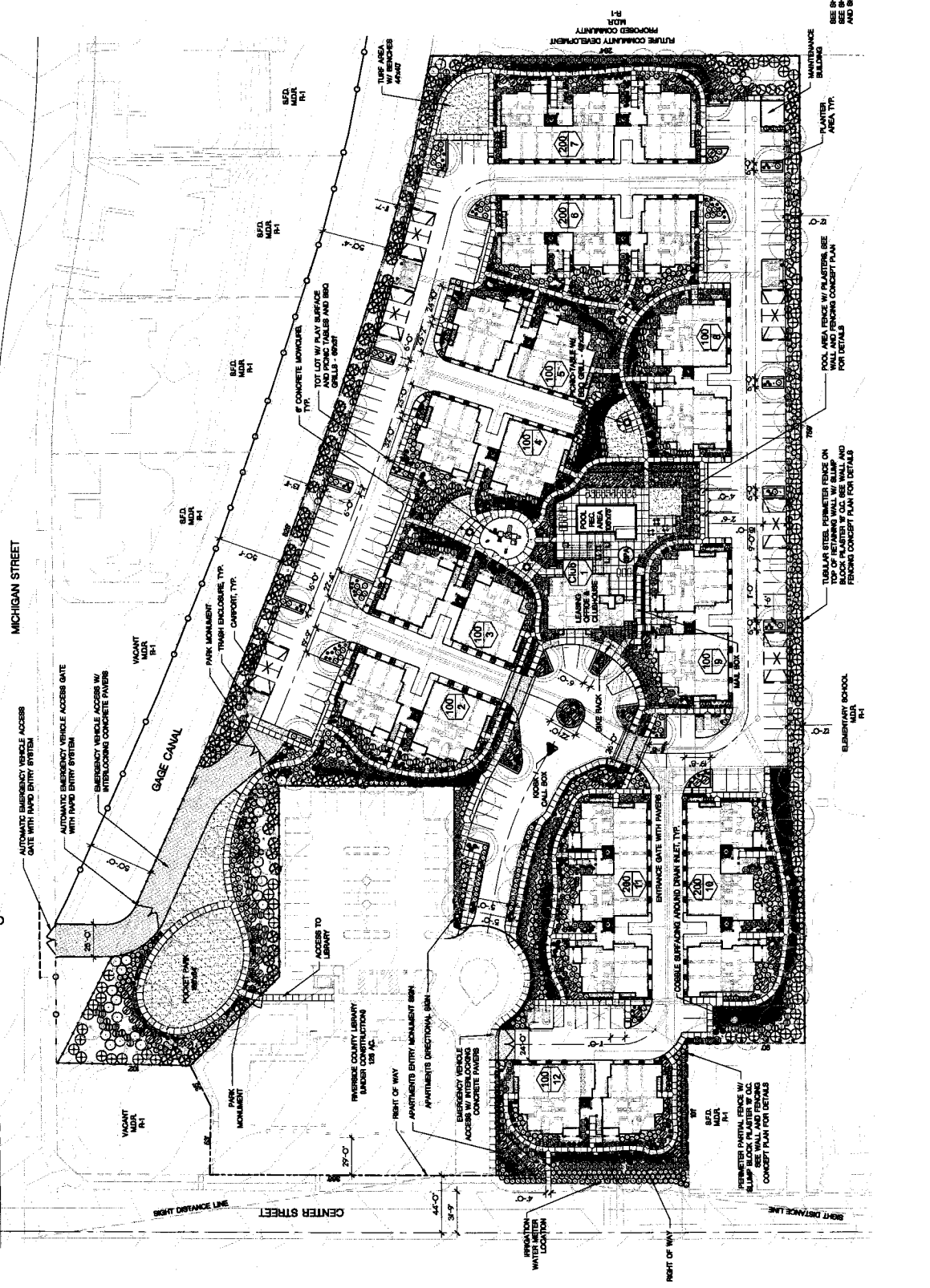
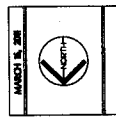
VAN DYKE
 LANDSCAPING ARCHITECTS
 530 Center St, Highgrove, CA 92507
 (951) 255-0700
 www.vandyke.com

APN # 255-070-013
 530 Center St, Highgrove, CA 92507

LS-3

WILLIAM HEZMALHALCH ARCHITECTS INC.
 1000 W. 10TH ST. SUITE 100
 RIVERSIDE, CA 92507
 (951) 255-0700
 www.williamhezmhalch.com

CONCEPTUAL SHRUB PLANTING PLAN
HIGHGROVE WORKFORCE APARTMENTS
 COUNTY OF RIVERSIDE, CALIFORNIA
 WORKFORCE HOMEBUILDERS LLC

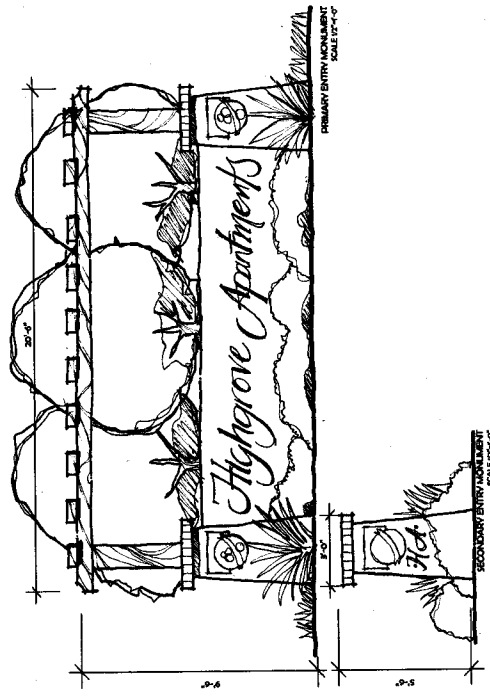


SEE SHEET LS-1 FOR LANDSCAPE CONCEPT PLAN
 SEE SHEET LS-2 FOR WALL AND FENCING CONCEPT PLAN
 AND SHEET LS-4 FOR CONCEPTUAL PLANTING PALETTE

MARCH 15, 2016

PLANTING LEGEND FOR TREES

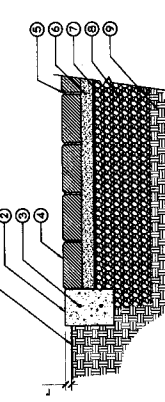
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	QUANTITY	MATURE SIZE	WATER USE	DETAILS	REMARKS
[Symbol: Circle with cross]	CELESTIA TABACONENSIS	CELESTIA	34 BOX	AS BLOWN 2	37-50H X 20-20W L	MULTITRUNK			
[Symbol: Circle with cross]	GEUTZIA SHAUENASTER	HOVEY LOGOET	34 BOX	AS BLOWN 22	37-50H X 20-20W M	MULTITRUNK			
[Symbol: Circle with cross]	COLEUTISIA BERNATA	CHERRY PLUME TREE	34 BOX	AS BLOWN 24	20-40H X 20-20W M	MULTITRUNK			
[Symbol: Circle with cross]	LAGERTSIRANIA BUCKA	ORANGE LITTLE PALM/FAN	34 BOX	AS BLOWN 2	5'-8"OH X 20-20W M	MULTITRUNK			
[Symbol: Circle with cross]	PHORBEA DACTYLOIDES	DATE PALM	8' SPH	AS BLOWN 5	60H X 22W M	DIAMOND CUT			
[Symbol: Circle with cross]	PERSEA CARIBBEA	CHERRY PETALOE	34 BOX	AS BLOWN 5	30-41H X 20-20W M	STD.			
[Symbol: Circle with cross]	PLATANUS RADICATA	CALIFORNIA BUCKEYEE	34 BOX	AS BLOWN 9	30-60H X 20-20W M	STD.			
[Symbol: Circle with cross]	PODOPHYLLUM SECALIS	POISON IVY	34 BOX	AS BLOWN 47	20-40H X 20-20W M	STD.			
[Symbol: Circle with cross]	QUERUS LIX	HOLLY OAK	34 BOX	AS BLOWN 2	30-60H X 20-20W L	STD.			
[Symbol: Circle with cross]	SALIX LASIOCARPA	ARIZONA SALIC	34 BOX	AS BLOWN 3	20-60H X 20-20W L	STD.			
[Symbol: Circle with cross]	TRICHOPHYLLUM DONNELLII	REDBARK BOX	34 BOX	AS BLOWN 28	30-60H X 20W M	STD.			
[Symbol: Circle with cross]	ULMUS PARVIFOLIA	WAXY DOGWOOD	34 BOX	AS BLOWN 15	40-60H X 20-20W M	STD.			



PLANTING LEGEND FOR SHRUBS AND GROUNDCOVERS

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	QUANTITY	MATURE SIZE	WATER USE	DETAILS	REMARKS
[Symbol: Circle with cross]	APERTINIA ELATOR	CARTERSON PLANT	5 GAL	AS BLOWN	18	21" X 2' W	H		
[Symbol: Circle with cross]	BOCCARDEA TINIFOLIA	DRYSP COYOTE BUSH	5 GAL	AS BLOWN	18	21" W	L		
[Symbol: Circle with cross]	ROSA PRINCESSA	ROSE	5 GAL	AS BLOWN	18	21" X 2' W	L		
[Symbol: Circle with cross]	ROSA PRINCESSA	ROSE	5 GAL	AS BLOWN	18	21" X 2' W	L		
[Symbol: Circle with cross]	ROSA PRINCESSA	ROSE	5 GAL	AS BLOWN	18	21" X 2' W	L		
[Symbol: Circle with cross]	ROSA PRINCESSA	ROSE	5 GAL	AS BLOWN	18	21" X 2' W	L		
[Symbol: Circle with cross]	ROSA PRINCESSA	ROSE	5 GAL	AS BLOWN	18	21" X 2' W	L		

LEGEND



1 FINISH SURFACE
 2 CONCRETE CONTROL JOINTS 1/2" WIDE
 3 2" CONTROL JOINTS 8" O.C.
 4 CONCRETE PAVES 8" X 8" X 2" THICKNESS
 5 1/2" POLYETHYLENE MEMBRANE
 6 3/4" - 1" GRAVEL 12" DEPTH
 7 1/2" - 3/4" GRAVEL 12" DEPTH
 8 1/4" - 1/2" GRAVEL 12" DEPTH

CONCRETE PAVER FOR EMERGENCY VEHICLE ACCESS
 1187-118

CONCEPTUAL PLANTING PALETTE
HIGHGROVE WORKFORCE APARTMENTS
 COUNTY OF RIVERSIDE, CALIFORNIA
 WORKFORCE HOMEBUILDERS LLC



WILLIAM HEZMALHALCH ARCHITECTS INC.
 280 WESTLINE AVENUE SUITE 200 SANTA ANA, CA 92705
 949.581.1807 www.hezmalhalch.com 949.581.1805

VAN DYKE LABORATOR ARCHITECTS

ASB 24.55.001.01
 510 Carter St., Highgrove, CA 92507
 5/21/18
LS-4
 SHEET 4 OF 4

MARCH 5, 2018

Highgrove Workforce Apartments

PP24778 - CZ07752

Preliminary Landscape Booklet

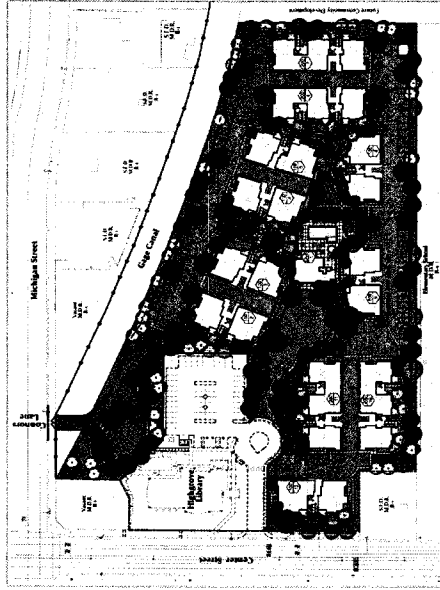
as of March 16, 2011

INDEX SHEET

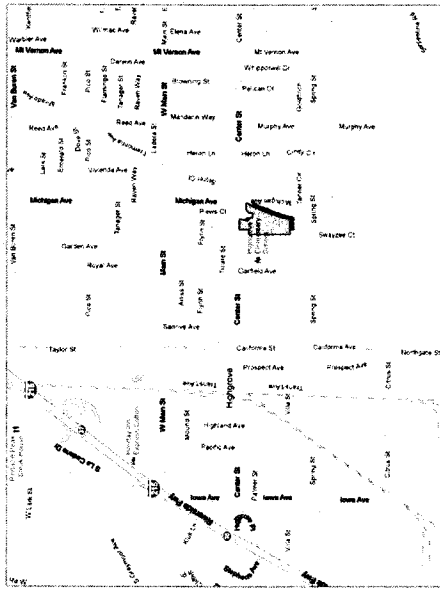
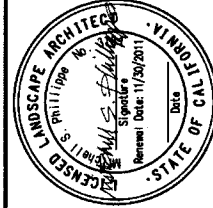
- Preliminary Landscape Exhibit - 1
- Preliminary Landscape Exhibit - 2
- Preliminary Phasing Plan
- Preliminary Maintenance Plan
- Preliminary Fencing Plan - 1
- Preliminary Fencing Plan - 2

LANDSCAPE CONCEPT THEORY

The landscape design for this apartment development is emphasized on low maintenance landscaping, while providing a comfortable and pleasant setting for the residents. The low maintenance landscaping includes: utilizing naturalized, adaptive and drought tolerant plant materials, minimizing lawn area and implementing smart irrigation system for water efficiency. Vegetated BMP areas are implemented at infiltration basins, and continue throughout the site for consistency. The plant materials selected for this project meet the Riverside County Ordinance No 859.2, County of Riverside Guide to California Friendly Landscaping and the Community of Highgrove Design Guidelines. Seating and picnic areas are provided along the paths and around the tot lot. Adjacent to the Clubhouse, a lap pool accommodated with a separate spa is provided under the shadow of date palms. All paths within this project are ADA accessible. The perimeter walls and fences are covered with vines and screened by large shrubs for privacy.

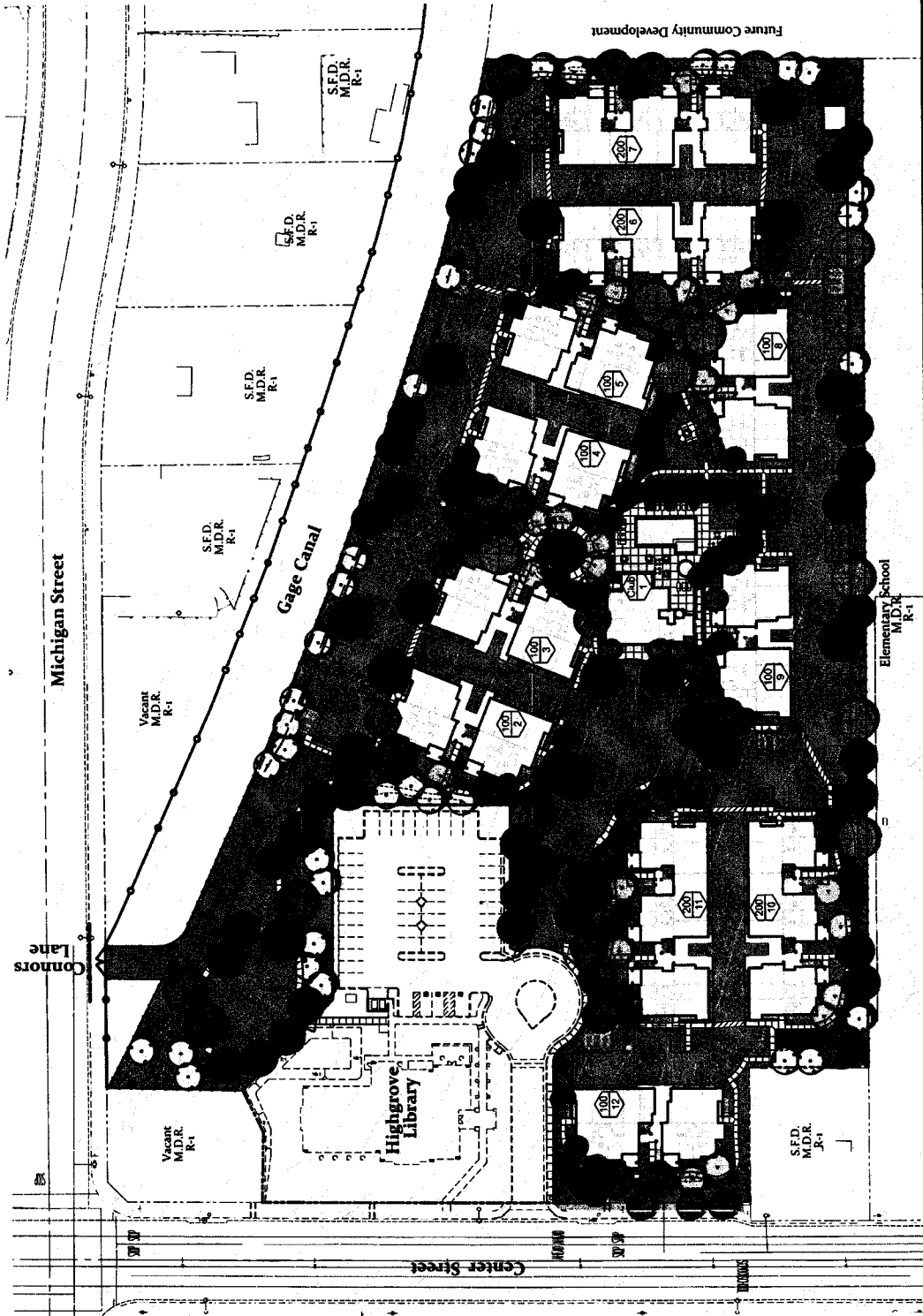


SITE MAP
NOT TO SCALE



VICINITY MAP
NOT TO SCALE

Prepared by:
VAN DYKE
LANDSCAPE ARCHITECTS

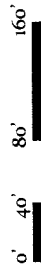


LANDSCAPE LEGEND

Trees

- *Chitalpa tashkentensis*
- *Chitalpa*
- *Gleditsia 'Shademaster'*
- Honey Locust
- *Koeleruteria bipinata*
- Chinese Flame Tree
- *Lagerstroemia indica*
- Crape Myrtle (Pale Pink)
- *Phoenix dactylifera*
- Date Palm
- *Pistachia chinensis*
- Chinese Pistache
- *Platanus racemosa*
- California Sycamore
- *Podocarpus gracilior*
- Fern Pine
- *Quercus ilex*
- Holly Oak
- *Rhus lancea*
- African Sumac
- *Tristania conferta*
- Brisbane Box
- *Ulmus parvifolia 'True Green'*
- Chinese Evergreen Elm

Note: See Preliminary Landscape Exhibit - 2 for Shrub and Groundcover Legend



Highgrove Workforce Apartments
 Preliminary Landscape Exhibit - 1
 as of March 16, 2011



LANDSCAPE LEGEND

Shrubs

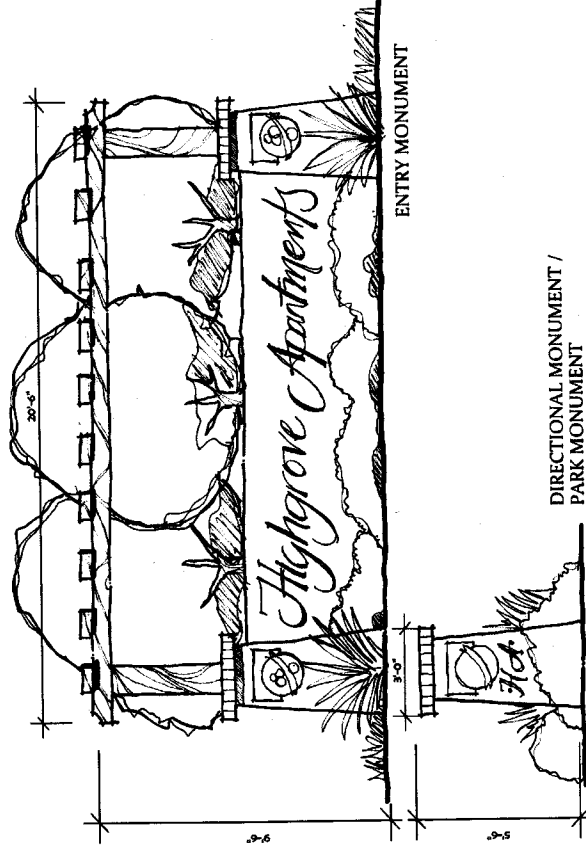
Aspidistra elatior
 Cast Iron Plant
 Baccharis 'Twin Peaks'
 Dwarf Coyote Brush
 Bougainvillea 'Oo-la-la'
 Dwarf Bougainvillea
 Caesalpinia pulcherrima
 Mexican Poinciana
 Callistemon viminalis 'Little John'
 Dwarf Bottlebrush
 Dodonaea viscosa 'Purpurea'
 Purple Hopbush
 Elaeagnus pungens
 Silverberry
 Heteromeles arbutifolia
 Toyon
 Grevillea 'Noellii'
 Noel's GreVILLE
 Lantana camara var. 'New Gold'
 New Gold Lantana
 Ligustrum japonicum 'Rotundifolium'
 Privet
 Lonicera japonica 'Halliana'
 Hall's Japanese Honeysuckle
 Polygala fruticosa 'Petite Butterflies'
 Sweet Pest Shrub
 Rhus ovata
 Sugar Bush
 Salvia microphylla 'Berzerkeley'
 Little Leaf Sage
 Salvia muelleri
 Royal Purple Sage
 Schefflera arboricola
 Hawaiian Elf Schefflera
 Trachelospermum jasminoides
 Star Jasmine

Accent Shrubs

Agapanthus 'Queen Anne'
 Dwarf Lily of the Nile
 Aloe Sriata
 Coral Aloe
 Carex buchananii
 Leatherleaf Sedge
 Carissa 'Boxwood Beauty'
 Dwarf Natal Plum
 Miscanthus transmorrissonensis
 Evergreen Miscanthus
 Muhlenbergia rigens
 Deer Grass
 Phormium 'Wings of Gold'
 Flax Variegated
 Ruellia brittoniana 'Katie'
 Katie Ruellia
Vines
 Antigonon leptopus
 Queen's Wreath
 Polygonum aubertii
 Silver Lace Vine
Groundcovers
 Carex elata 'Aurea'
 Bowles Golden Sedge
 Carex tumicola
 Berkeley Sedge
 Festuca ovina glauca
 Blue Fescue
 Hybrid Bermuda GN-1
 Turf

PLANTING CONCEPT

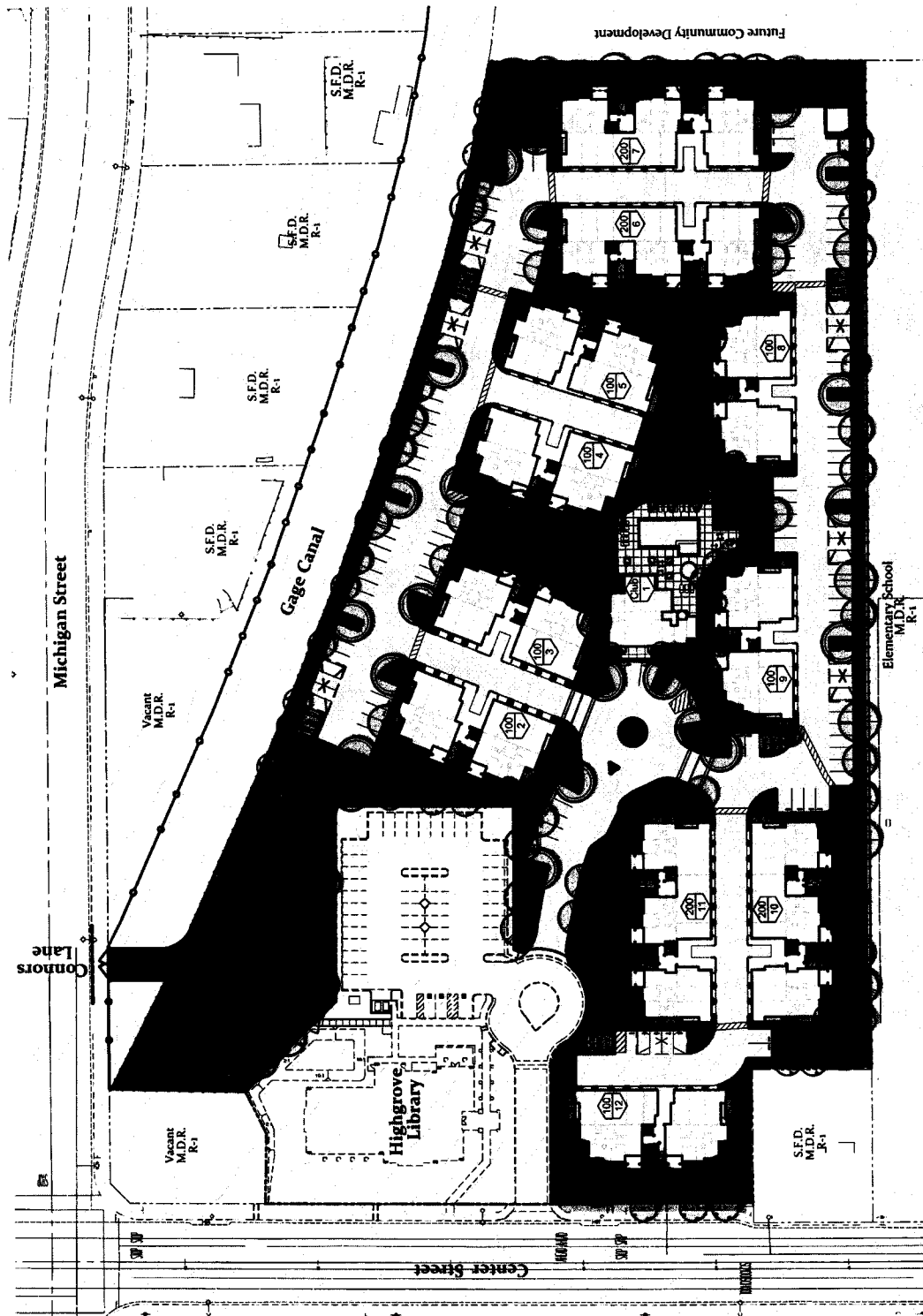
The plant materials selected for this project meet the Riverside County Ordinance No. 859.2, County of Riverside Guide to California Friendly Landscaping and the Community of Highgrove Design Guidelines. They are predominantly low maintenance, drought tolerant, naturalized and adapted plant species for the region of Highgrove. We are mixing deciduous flowering trees along with evergreen shade trees to create seasonal effects. Planting areas are a composite mixture of vibrant shrubs, stunning succulents, and trailing groundcovers with organic mulch underneath. Moisture loving grasses are planted for bottom of swale, and accented with ornamental grasses in vegetated BMP areas. Large screening shrubs are provided along the perimeter wall and fence for privacy.



Highgrove Workforce Apartments

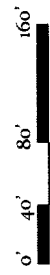
Preliminary Landscape Exhibit - 2

as of March 16, 2011



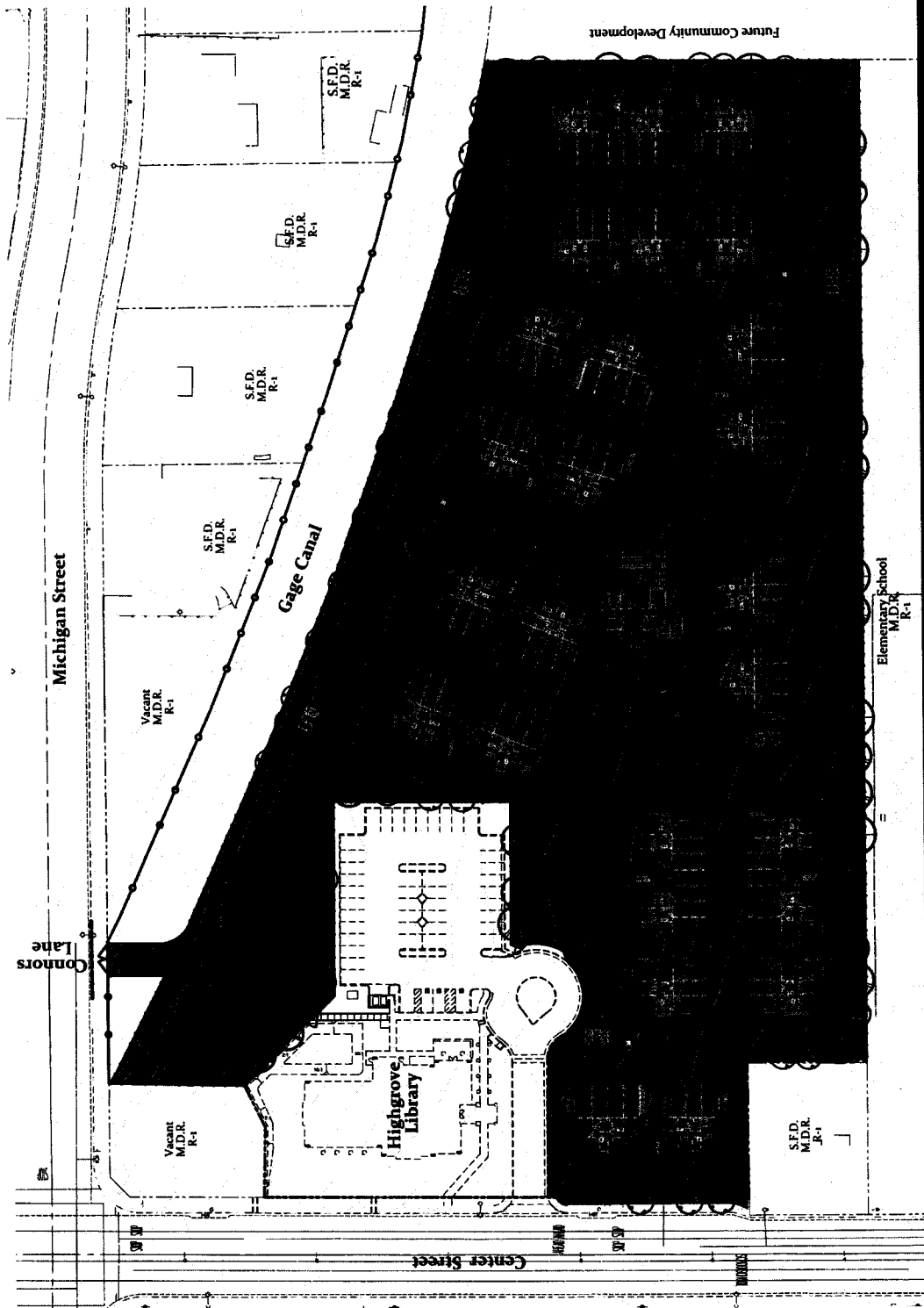
LEGEND

■ All landscaping to be installed in one phase.



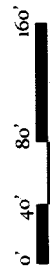
HIGHGROVE WORKFORCE APARTMENTS
 Preliminary Phasing Exhibit
 as of March 16, 2011





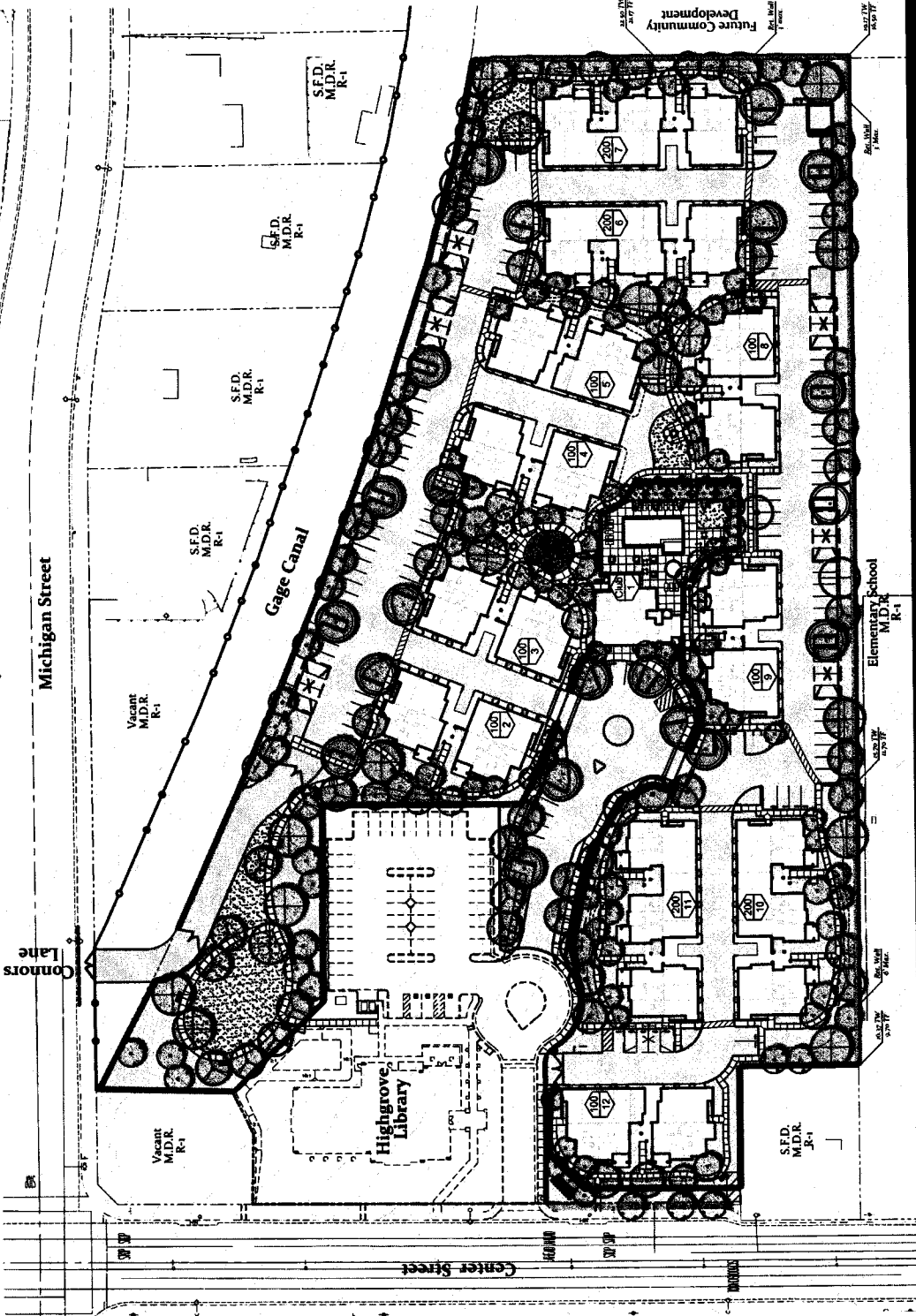
LEGEND

■ Privately Maintained by Apartments Management



Highgrove Workforce Apartments
 Preliminary Maintenance Exhibit
 as of March 16, 2011

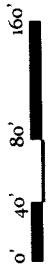




LEGEND

- Perimeter Partial Fence
- Perimeter Fence
- Perimeter Fence on top of Retaining Wall
- Pool Area Fence

Note:
 - See preliminary Fencing Exhibit - 2 for wall and fence details
 - Color of partial block wall and pilaster to match architectural color on trash enclosure
 - Color of tubular steel fence to be black

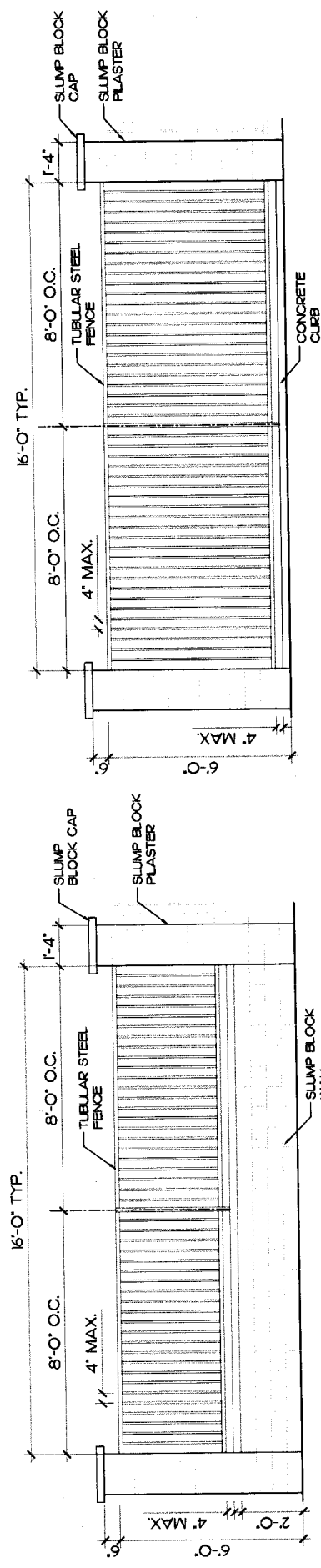


Highgrove Workforce Apartments

Preliminary Fencing Exhibit - 1

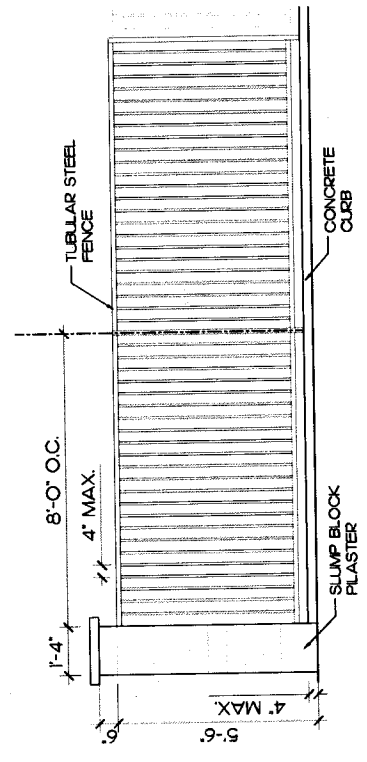
as of March 16, 2011





Perimeter Fence
 Perimeter Fence on top of Retaining Wall
 Color of slump block pilaster to match trash enclosure wall

Perimeter Partial Fence
 Color of slump block pilaster and wall to match trash enclosure wall



Pool Area Fence
 Color of slump block pilaster to match trash enclosure wall

Highgrove Workforce Apartments

Preliminary Fencing Exhibit - 2

as of March 16, 2011

COUNTY OF RIVERSIDE

ENVIRONMENTAL ASSESSMENT FORM: INITIAL STUDY

Environmental Assessment (E.A.) Number: 42406
Project Case Type (s) and Number(s): Plot Plan No. 24778, General Plan Amendment No. 1105, Change of Zone No. 7752 and Disposition and Development Agreement No. RD5-09-001
Lead Agency Name: County of Riverside Planning Department
Address: P.O. Box 1409, Riverside, CA 92502-1409
Contact Person: Matt Straite
Telephone Number: 951-955-8631
Applicant's Name: Workforce Homebuilders LLC
Applicant's Address: 8300 Utica Ave. Suite 173 Rancho Cucamonga CA

I. PROJECT INFORMATION

A. Project Description: The plot plan proposes an 89-unit low income housing apartment complex including a tot-lot, parking, trash enclosures, and pedestrian pathways on a 6.71 acre site. The Change of Zone proposes to change the zoning from One Family Dwellings (R-1) to General Residential (R-3) for a 6.71 acre portion of the existing parcel. The General Plan Amendment proposes to change the Land Use Designation from Medium Density Residential (MDR) to High Density Residential (HDR) on 6.71 acres of the site and Public Facilities (PF) on the remaining 0.72 acres. Disposition and Development Agreement No. RD5-09-001 by and between the Redevelopment Agency for the County of Riverside ("Agency") and Workforce Homebuilders LLC proposes to convey land owned by the Agency to the Developer and provide financing for the development of an 89 unit affordable housing apartment complex. The Agency acquired the Site, primarily for the purpose of carrying out its obligation to eliminate blight and provide safe and decent affordable housing to its residents. The action which implements the proposed Project include disposition of the Site by the Agency to the Developer. The total parcel area is 7.43 acres. All CEQA requirements for the Library on the 0.72 acre portion of the site has been previously completed.

B. Type of Project: Site Specific ; Countywide ; Community ; Policy .

C. Total Project Area: 6.71 for the Change of Zone and the Plot Plan, 7.43 acres for the General Plan Amendment.

Residential Acres: 6.71	Lots: 1	Units: 89	Projected No. of Residents: 267
Commercial Acres: n/a	Lots: n/a	Sq. Ft. of Bldg. Area: n/a	Est. No. of Employees: 4
Industrial Acres: n/a	Lots: n/a	Sq. Ft. of Bldg. Area: n/a	Est. No. of Employees:

D. Assessor's Parcel No(s): 255-070-013

E. Street References: Northerly of Spring Street on the southwest corner of Center Street and Michigan Avenue.

F. Section, Township & Range Description or reference/attach a Legal Description:
Section 8 northwest, Township 2 south, Range 4 west

G. Brief description of the existing environmental setting of the project site and its surroundings: The area surrounding the site is generally built out. There are developed single family homes to the north and east, a school to the west, and vacant land to the south. The area once supported citrus crops, now the area to the south is baron.

II. APPLICABLE GENERAL PLAN AND ZONING REGULATIONS

A. General Plan Elements/Policies:

1. **Land Use:** All aspects of the project are consistent with the policies and provisions of the General Plan, specifically the need to bring higher density housing to the Highgrove Area.
2. **Circulation:** The project will add overall trips to the area. Adequate circulation facilities exist and are proposed to serve the proposed project. The proposed project meets with all applicable circulation policies of the General Plan.
3. **Multipurpose Open Space:** The proposed project meets all applicable Multipurpose Open Space element policies.
4. **Safety:** The proposed project has allowed for sufficient provision of emergency response services to the future tenants of this project. The proposed project meets with all other applicable Safety element policies.
5. **Noise:** Sufficient mitigation against any foreseeable noise sources in the area has been provided for in the design of the project. The proposed project meets with all other applicable Noise element policies.
6. **Housing:** The proposed project meets all applicable Housing element policies including addressing the needs for affordable housing.
7. **Air Quality:** The proposed project has been conditioned to control any fugitive dust during grading and construction activities. The proposed project meets with all other applicable Air Quality Element policies.

B. General Plan Area Plan(s): Highgrove

C. Foundation Component(s): Community Development

D. Land Use Designation(s): Community Development: Medium Density Residential (CD:MDR) (2-5 DU/AC).

E. Overlay(s), if any: None

F. Policy Area(s), if any: Highgrove Community Policy Area

G. Adjacent and Surrounding Area Plan(s), Foundation Component(s), Land Use Designation(s), and Overlay(s) and Policy Area(s), if any: Highgrove Area Plan to the north, south, east, and west; Community Development to the north, south, east, and west; Low Density Residential (LDR) to the north and east, Medium Density Residential (MDR) to the west and south; and Highgrove Community Policy Area to the north, south, east, and west.

H. Adopted Specific Plan Information

1. **Name and Number of Specific Plan, if any:** n/a
2. **Specific Plan Planning Area, and Policies, if any:** n/a

I. Existing Zoning: One-Family Dwelling (R-1)

J. **Proposed Zoning, if any:** General Residential (R-3)

K. **Adjacent and Surrounding Zoning:** One Family Dwelling (R-1) to the west, and south, and One Family Dwelling- 20,000 Square Foot Minimum (R-1-20,000) to the east and north.

III. ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED

The environmental factors checked below (x) would be potentially affected by this project, involving at least one impact that is a "Potentially Significant Impact" or "Less than Significant with Mitigation Incorporated" as indicated by the checklist on the following pages.

- | | | |
|---|--|---|
| <input type="checkbox"/> Aesthetics | <input type="checkbox"/> Hazards & Hazardous Materials | <input type="checkbox"/> Recreation |
| <input type="checkbox"/> Agriculture & Forest Resources | <input type="checkbox"/> Hydrology / Water Quality | <input type="checkbox"/> Transportation / Traffic |
| <input type="checkbox"/> Air Quality | <input type="checkbox"/> Land Use / Planning | <input type="checkbox"/> Utilities / Service Systems |
| <input type="checkbox"/> Biological Resources | <input type="checkbox"/> Mineral Resources | <input type="checkbox"/> Other: |
| <input checked="" type="checkbox"/> Cultural Resources | <input type="checkbox"/> Noise | <input type="checkbox"/> Other: |
| <input checked="" type="checkbox"/> Geology / Soils | <input type="checkbox"/> Population / Housing | <input type="checkbox"/> Mandatory Findings of Significance |
| <input type="checkbox"/> Greenhouse Gas Emissions | <input type="checkbox"/> Public Services | |

IV. DETERMINATION

On the basis of this initial evaluation:

A PREVIOUS ENVIRONMENTAL IMPACT REPORT/NEGATIVE DECLARATION WAS NOT PREPARED


- I find that the proposed project **COULD NOT** have a significant effect on the environment, and a **NEGATIVE DECLARATION** will be prepared.
- I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because revisions in the project, described in this document, have been made or agreed to by the project proponent. **A MITIGATED NEGATIVE DECLARATION** will be prepared.
- I find that the proposed project **MAY** have a significant effect on the environment, and an **ENVIRONMENTAL IMPACT REPORT** is required.

A PREVIOUS ENVIRONMENTAL IMPACT REPORT/NEGATIVE DECLARATION WAS PREPARED

- I find that although the proposed project could have a significant effect on the environment, **NO NEW ENVIRONMENTAL DOCUMENTATION IS REQUIRED** because (a) all potentially significant effects of the proposed project have been adequately analyzed in an earlier EIR or Negative Declaration pursuant to applicable legal standards, (b) all potentially significant effects of the proposed project have been avoided or mitigated pursuant to that earlier EIR or Negative Declaration, (c) the proposed project will not result in any new significant environmental effects not identified in the earlier EIR or Negative Declaration, (d) the proposed project will not substantially increase the severity of the environmental effects identified in the earlier EIR or Negative Declaration, (e) no considerably different mitigation measures have been identified and (f) no mitigation measures found infeasible have become feasible.
- I find that although all potentially significant effects have been adequately analyzed in an earlier EIR or Negative Declaration pursuant to applicable legal standards, some changes or additions are necessary but none of the conditions described in California Code of Regulations, Section 15162 exist. An **ADDENDUM** to a previously-certified EIR or Negative Declaration has been prepared and will be considered by the approving body or bodies.

I find that at least one of the conditions described in California Code of Regulations, Section 15162 exist, but I further find that only minor additions or changes are necessary to make the previous EIR adequately apply to the project in the changed situation; therefore a **SUPPLEMENT TO THE ENVIRONMENTAL IMPACT REPORT** is required that need only contain the information necessary to make the previous EIR adequate for the project as revised.

I find that at least one of the following conditions described in California Code of Regulations, Section 15162, exist and a **SUBSEQUENT ENVIRONMENTAL IMPACT REPORT** is required: (1) Substantial changes are proposed in the project which will require major revisions of the previous EIR or negative declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; (2) Substantial changes have occurred with respect to the circumstances under which the project is undertaken which will require major revisions of the previous EIR or negative declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; or (3) New information of substantial importance, which was not known and could not have been known with the exercise of reasonable diligence at the time the previous EIR was certified as complete or the negative declaration was adopted, shows any the following:(A) The project will have one or more significant effects not discussed in the previous EIR or negative declaration;(B) Significant effects previously examined will be substantially more severe than shown in the previous EIR or negative declaration;(C) Mitigation measures or alternatives previously found not to be feasible would in fact be feasible, and would substantially reduce one or more significant effects of the project, but the project proponents decline to adopt the mitigation measures or alternatives; or,(D) Mitigation measures or alternatives which are considerably different from those analyzed in the previous EIR or negative declaration would substantially reduce one or more significant effects of the project on the environment, but the project proponents decline to adopt the mitigation measures or alternatives.



Signature



Date



Printed Name

For Carolyn Syms Luna, Director

V. ENVIRONMENTAL ISSUES ASSESSMENT

In accordance with the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000-21178.1), this Initial Study has been prepared to analyze the proposed project to determine any potential significant impacts upon the environment that would result from construction and implementation of the project. In accordance with California Code of Regulations, Section 15063, this Initial Study is a preliminary analysis prepared by the Lead Agency, the County of Riverside, in consultation with other jurisdictional agencies, to determine whether a Negative Declaration, Mitigated Negative Declaration, or an Environmental Impact Report is required for the proposed project. The purpose of this Initial Study is to inform the decision-makers, affected agencies, and the public of potential environmental impacts associated with the implementation of the proposed project.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
AESTHETICS Would the project				
1. Scenic Resources				
a) Have a substantial effect upon a scenic highway corridor within which it is located?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings and unique or landmark features; obstruct any prominent scenic vista or view open to the public; or result in the creation of an aesthetically offensive site open to public view?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan Figure C-9 "Scenic Highways"

Findings of Fact:

- a) There are no scenic corridors near the project site. There will be no impacts to scenic highways.
- b) The proposed project will not substantially damage scenic resources, including, but not limited to, trees, rock outcroppings and unique or landmark features, or obstruct a prominent scenic vista or view open to the public, as these features do not exist on the project site. The projects is designed to mimic single family Craftsman construction as called for in the Highgrove Design Guidelines and the City of Riverside design Guidelines. The project is consistent with all other aspects of both design guidelines, and thus will have less than significant impacts to the area.

Mitigation: None required

Monitoring: None required

2. Mt. Palomar Observatory				
a) Interfere with the nighttime use of the Mt. Palomar Observatory, as protected through Riverside County Ordinance No. 655?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: GIS database, Ord. No. 655 (Regulating Light Pollution), General Plan

Findings of Fact:

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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a) According to the General Plan, the project site is located outside the Special Lighting Area that surrounds the Mt. Palomar Observatory. As a result there will be no impacts.

Mitigation: None required

Monitoring: None required

3. Other Lighting Issues

a) Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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b) Expose residential property to unacceptable light levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Source: On-site Inspection, Project Application Description

a-b) The project will not create substantial light or glare which would adversely affect day or nighttime views in the area, or expose residential property to unacceptable levels of light or glare. The design of the structures limits the glare that will be produced. Only one dwelling unit is contiguous to the site and walls will prevent light trespass in that instance.

Mitigation: None required

Monitoring: None required

AGRICULTURE & FOREST RESOURCES Would the project

4. Agriculture

a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland) as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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b) Conflict with existing agricultural zoning, agricultural use or with land subject to a Williamson Act contract or land within a Riverside County Agricultural Preserve?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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c) Cause development of non-agricultural uses within 300 feet of agriculturally zoned property (Ordinance No. 625 "Right-to-Farm")?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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d) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Source: Riverside County General Plan Figure OS-2 "Agricultural Resources," GIS database, and Project Application Materials.

Findings of Fact:

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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- a) The project site is not designated as prime, statewide important, unique, or locally important farm land. Therefore, no impacts will occur.
- b) The project is not located within or adjacent to an agricultural preserve established pursuant to the Williamson Act. Therefore, no impacts will occur.
- c) The project is not located within 300 feet of existing agriculturally zoned property, therefore, no impacts will occur.
- d) The project will create a subdivision that will permit uses consistent with the General Plan Land Use designation for the site and will not affect any agricultural lands in the County. Therefore, no impacts will occur.

Mitigation: None required

Monitoring: None required

5. Forest

a) Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code section 12220(g)), timberland (as defined by Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Govt. Code section 51104(g))?

b) Result in the loss of forest land or conversion of forest land to non-forest use?

c) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of forest land to non-forest use?

Source: Riverside County General Plan Figure OS-3 "Parks, Forests and Recreation Areas," and Project Application Materials.

Findings of Fact:

a) The project will not conflict with zoning of any forest land. The County does not have a zoning designation specifically for forestland or timber production.

b-c) There is no forest land near the site, the project is in an urbanized area.

Mitigation: None required

Monitoring: None required

AIR QUALITY Would the project

6. Air Quality Impacts

a) Conflict with or obstruct implementation of the applicable air quality plan?

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
b) Violate any air quality standard or contribute substantially to an existing or projected air quality violation?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Expose sensitive receptors which are located within 1 mile of the project site to project substantial point source emissions?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Involve the construction of a sensitive receptor located within one mile of an existing substantial point source emitter?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Create objectionable odors affecting a substantial number of people?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: SCAQMD CEQA Air Quality Handbook Table 6-2

Findings of Fact:

a) The project will not conflict with or obstruct implementation of the applicable air quality plans. The project will not have a significant impact to air quality standards, or contribute substantially to an existing or projected air quality violation. The project is for 89 apartment units, Table 6-2 lists a 261 unit threshold for impacts. Therefore, this project would not exceed any SCAQMD standards or air quality management plans.

b-c) Construction and grading fugitive dust resulting from construction of the street improvements will be guided by standard conditions of approval including condition 10.BS GRADE.8 which requires the project applicant control fugitive dust and require a PM10 plan to be created and submitted for review. These are not considered mitigation as they are standard conditions of approval.

d-e) The closest existing sensitive receptor is contiguous to the project site, including existing residential and school uses; however, the project is not considered a point source emitter, and has standard conditions of approval regulating construction impacts. Operational impacts would not generate significant emissions as discussed in "a." Thus, no impacts are anticipated.

f) The project proposes to construct structures and internal driveways, no objectionable odor will result from either.

Mitigation: None required

Monitoring: None required

BIOLOGICAL RESOURCES Would the project

7. Wildlife & Vegetation

a) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Conservation Community Plan, or other approved local, regional, or state conservation

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
plan?				
b) Have a substantial adverse effect, either directly or through habitat modifications, on any endangered, or threatened species, as listed in Title 14 of the California Code of Regulations (Sections 670.2 or 670.5) or in Title 50, Code of Federal Regulations (Sections 17.11 or 17.12)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U. S. Wildlife Service?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations or by the California Department of Fish and Game or U. S. Fish and Wildlife Service?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g) Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: GIS database, WRC-MSHCP and/or CV-MSHCP, On-site Inspection

Findings of Fact:

a) The Environmental Programs Division has reviewed the project and concluded that it will not conflict with the Western Riverside County Multiple-Species Habitat Conservation Plan (WRC-MSHCP). The project site does not conflict with the provisions of any of the adopted Habitat Conservation Plans, Natural Conservation Community Plan, or other approved local, regional, or state conservation plan. Impacts associated with the project are less than significant.

b-c) The County Biologists review did not find that the project will have any impact either directly or through habitat modifications on any listed Title 14, Title 50 or US and CA Fish and Wildlife listed species. Impacts associated with the project are less than significant.

d) The project will have less than a significant impact on any movement of any native resident or migratory fish or wildlife species or with established native resident migratory wildlife corridors, or impede the use of native wildlife nursery sites. However, the project will have some cumulative impacts to open space and wildlife habitat, and payment of development mitigation fees pursuant to Ordinance No. 810 will off-set any possible cumulative impacts. This is not considered mitigation for CEQA purposes as it is a standard condition of approval.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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e-g) The project has no riparian features or distinctive habitat. The project is not influenced by wildlife and vegetation issues as identified in the RCIP, including wetlands and protected biological resources, and the project does not involve the potential for adverse effect, either individually or cumulatively, on wildlife.

Mitigation: None required

Monitoring: None required

CULTURAL RESOURCES Would the project

8. Historic Resources

a) Alter or destroy an historic site?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) Cause a substantial adverse change in the significance of a historical resource as defined in California Code of Regulations, Section 15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: On-site Inspection, Project Application Materials, PD-A-4697R3 prepared on June 2011 by L&L Environmental, Inc

Findings of Fact:

a-b) The cultural resources assessment of the project site indicate that the project parcel may contain subsurface deposits or components of the historic Gage Canal constructed between 1885 and 1889 that runs along the eastern edge of the project. To mitigate any possible impacts to the site, prior to the issuance of grading permits, the developer/permit holder shall retain and enter into a monitoring and mitigation service contract with a qualified Historic Archaeologist for services, COA 60.PLANNING. 1. Otherwise, the site is currently vacant and does not contain any structures or other features that could be deemed as significant historic resources.

The project area has the potential to contained buried cultural resources. In the event of an accidental discovery or recognition of any human remains in any location other than a dedicated cemetery, State Health and Safety Code Section 7050.5 state that no further disturbance shall occur until the County Coroner has made the necessary findings as to the origin and disposition pursuant to Public Resources Code Section 5097.98.

Mitigation: The project shall retain an Archeologist to monitor grading activities, prior to the issuance of any grading permits COA 60.PLANNING.1.

Monitoring: Monitoring will be done through the Building and Safety Plan check process and the County Archeologist.

9. Archaeological Resources

a) Alter or destroy an archaeological site.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Cause a substantial adverse change in the significance of an archaeological resource pursuant to California Code of Regulations, Section 15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Disturb any human remains, including those interred	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
outside of formal cemeteries?				
d) Restrict existing religious or sacred uses within the potential impact area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Project Application Materials PD-A-4697R3 prepared on June 2011 by L&L Environmental, Inc

Findings of Fact:

a-b) Per the archeological study and Archeologists review of the project, no archeological sites are known to exist on or near the site. Therefore, there will be no impacts to any archeological site.

c-d) No historic, prehistoric sites or isolated artifacts were detected during the pedestrian survey of the project site, including offsite access. However, the project area has the potential to contained buried cultural resources. Should unanticipated archaeological resources be encountered, work must halt in the immediate vicinity until they can be evaluated by a qualified archaeologist.

Mitigation: None required

Monitoring: None required

10. Paleontological Resources	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
a) Directly or indirectly destroy a unique paleontological resource, or site, or unique geologic feature?				

Source: Riverside County General Plan Figure OS-8 "Paleontological Sensitivity"

Findings of Fact:

a) This site is mapped in the County's General Plan as having a High potential for paleontological resources (fossils). Proposed project site grading/earthmoving activities could potentially impact this resource. To mitigate possible impact the project is required to retain a paleontologist, who shall conduct pre-construction work and monitoring as appropriate COA 60.Planning.4.

Mitigation: The project shall retain an Paleontologist to monitor grading activities, prior to the issuance of any grading permits COA 60.Planning.4.

Monitoring: Monitoring will be done through the Building and Safety Plan check process and the County Geologist.

GEOLOGY AND SOILS Would the project

11. Alquist-Priolo Earthquake Fault Zone or County Fault Hazard Zones	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a) Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death?				
b) Be subject to rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault?

Source: Riverside County General Plan Figure S-2 "Earthquake Fault Study Zones," GIS database, Geologist Comments, Geo Study No. 2266 by Krazan and Associates dated June 22, 2009

Findings of Fact:

a-b) A geological study was created for the project site. The project site is not within an Earthquake Fault-Rupture Hazard Zone (EFRHZ) (formerly an Alquist-Priolo Earthquake Fault Zone) or County of Riverside designated fault zone (RCLIS 2006), but is within a seismically active area of Southern California and strong ground shaking from nearby seismic events is likely to impact the site during the anticipated lifetime of the structures. According to the geotechnical report, the most significant geological hazard to the project site will be moderate to strong seismic shaking that is likely to occur during the design life of the project. The proposed site structures should be designed in accordance with the California Building Code.

Mitigation: None required

Monitoring: None required

12. Liquefaction Potential Zone

a) Be subject to seismic-related ground failure, including liquefaction?

Source: Riverside County General Plan Figure S-3 "Generalized Liquefaction," Geo Study No. 2266 by Krazan and Associates dated June 22, 2009

Findings of Fact:

a) The project is located within a low Liquefaction Potential Zone. The study concluded that the liquefaction potential at the site is considered to be unlikely based on the fact that the groundwater is approximately deeper than 100 feet, and the dense nature of the subsurface soils.

Mitigation: None required

Monitoring: None required

13. Ground-shaking Zone

Be subject to strong seismic ground shaking?

Source: Riverside County General Plan Figure S-4 "Earthquake-Induced Slope Instability Map," and Figures S-13 through S-21 (showing General Ground Shaking Risk), Geo Study No. 2266 by Krazan and Associates dated June 22, 2009

Findings of Fact:

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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a) There are no known active or potentially active faults that traverse the site and the site is not located within an Alquist-Priolo Earthquake Fault Zone. The principle seismic hazard that has the potential to affect the site is ground shaking resulting from an earthquake occurring along several major active or potentially active faults in southern California, especially the San Andreas Fault.

Uniform Building Code (UBC) and California Building Code (CBC) requirements pertaining to residential development will mitigate the potential impact to less than significant. As UBC and CBC requirements are applicable to all residential development they are not considered mitigation for CEQA implementation purposes. As a minimum, structure design should conform to CBC and UBC requirements.

Mitigation: None required

Monitoring: None required

14. Landslide Risk

a) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, collapse, or rockfall hazards?

Source: On-site Inspection, Riverside County General Plan Figure S-5 "Regions Underlain by Steep Slope," Geo Study No. 2266 by Krazan and Associates dated June 22, 2009

Findings of Fact:

a) According to the Geo study for the site, the ground surface of the subject site has no slope. Nor is the site susceptible to liquefaction. As such, the subject site should not be susceptible to slope instability.

Mitigation: None required

Monitoring: None required

15. Ground Subsidence

a) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in ground subsidence?

Source: Riverside County General Plan Figure S-7 "Documented Subsidence Areas Map," Geo Study No. 2266 by Krazan and Associates dated June 22, 2009

Findings of Fact:

a) The project site is not located within an area subject to unstable geologic units or soil, including ground subsidence.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Mitigation: None required

Monitoring: None required

16. Other Geologic Hazards

a) Be subject to geologic hazards, such as seiche, mudflow, or volcanic hazard?

Source: On-site Inspection, Project Application Materials, Geo Study No. 2266 by Krazan and Associates dated June 22, 2009

Findings of Fact:

a) The project is not affected by geological hazards such as seiche, tsunami or volcanic hazard.

Mitigation: None required

Monitoring: None required

17. Slopes

a) Change topography or ground surface relief features?

b) Create cut or fill slopes greater than 2:1 or higher than 10 feet?

c) Result in grading that affects or negates subsurface sewage disposal systems?

Source: Riv. Co. 800-Scale Slope Maps, Project Application Materials

Findings of Fact:

a-c) The project is not affected by significant topography, surface features, or slopes. The project site is relatively flat and would have not impact on slopes.

Mitigation: None required

Monitoring: None required

18. Soils

a) Result in substantial soil erosion or the loss of topsoil?

b) Be located on expansive soil, as defined in Section 1802.3.2 of the California Building Code (2007), creating substantial risks to life or property?

c) Have soils incapable of adequately supporting use of septic tanks or alternative waste water disposal systems

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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where sewers are not available for the disposal of waste water?

Source: U.S.D.A. Soil Conservation Service Soil Surveys, Project Application Materials, On-site Inspection

Findings of Fact:

a) The soils on the site are 100% Greenfield sandy loam. Regionally speaking the site is within an alluvial fan area, however, significant infrastructure has been constructed in the area and the project is essentially infill in an urbanized area. The project has designed drainage features that will prevent erosion, and no erosion should impact the site. However, the project may concentrate drainage onto offsite areas adjacent to the project. Offsite easements are required for drainage and requirements for such has been added to the project (COA 60.BS GRADE.9 and 60.BS GRADE.8)

b) The project soils consist of Greenfield sandy loam, which is generally not expansive. No impacts are anticipated.

c) The project is proposing to connect to the City of Riverside sewer system. No offsite construction is required to connect, an existing, adequately sized line exists in center Street with a 10" stub out for the project.

Mitigation: The project will concentrate drainage into offsite areas which will require both permission from the neighboring parcel as well as easements to be recorded for said drainage. Condition of Approval 60.BS GRADE.9 will require an easement, and 60.BS GRADE.8 will require permission from offsite owners that may be impacted.

Monitoring: Project monitoring will be performed through the standard Building and Safety Plan check process.

19. Erosion

a) Change deposition, siltation, or erosion that may modify the channel of a river or stream or the bed of a lake?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Result in any increase in water erosion either on or off site?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Source: U.S.D.A. Soil Conservation Service Soil Surveys

Findings of Fact:

a) No rivers, streams or lakes are located on or adjacent to the project site and no significant impacts are anticipated to affect erosion on or off-site based on the proposed residential project.

b) The project has been designed to address flows through site and flows created by the project to minimize erosion. However, the project may concentrate drainage onto offsite areas adjacent to the project. Offsite easements are required for drainage and requirements for such has been added to the project (COA 60.BS GRADE.9 and 60.BS GRADE.8)

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Mitigation: The project will concentrate drainage into offsite areas which will require both permission from the neighboring parcel as well as easements to be recorded for said drainage. Condition of Approval 60.BS GRADE.9 will require an easement, and 60.BS GRADE.8 will require permission from offsite owners that may be impacted.

Monitoring: Project monitoring will be performed through the standard Building and Safety Plan check process.

20. Wind Erosion and Blowsand from project either on or off site.

a) Be impacted by or result in an increase in wind erosion and blowsand, either on or off site?

Source: Riverside County General Plan Figure S-8 "Wind Erosion Susceptibility Map," Ord. No. 460, Article XV & Ord. No. 484

Findings of Fact:

a) The project site lies within a low area of wind erosion. The project will decrease the amount of exposed dirt, which is subject to wind erosion, with the incorporation of concrete, asphalt, and landscaping. The project may be influenced by wind erosion and blowsand issues during project grading. Air quality and PM10 concerns are addressed in Section No. 5, above. Standard conditions of approval regulate PM10 during construction and operational impacts should be minimal.

Mitigation: None required

Monitoring: None required

GREENHOUSE GAS EMISSIONS Would the project

21. Greenhouse Gas Emissions

a) Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?

b) Conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?

Source: Highgrove Workforce Housing Project Greenhouse Gas Plan prepared by William Hezmalhalch Architects dated June 2, 2011

Findings of Fact:

a) Although there are no adopted federal, state, or local quantitative thresholds for the region, the County of Riverside is using AB32 as a guide. AB32 basically requires a 30% reduction in Greenhouse Gas creation over a "business-as-usual" model of development. Many measures implemented by the State will address a large portion of the required reduction, roughly 25% of the required 30%. Therefore, the project is responsible for proving that the project will address the

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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remaining required 5% reduction in GHG. The GHG study submitted for the project quantity's the reductions in GHG brought about through the project design and finds that the project, as designed, reduces the impacts 11.64%, which is over the additional 5% requirement to address the needs of AB32. According to a GHG study submitted for the project, the design of the project will reduce GHGs from business-as-usual by 11.64% exceeding CARB's target of 5% to 10% for the year 2020 and 3% to 10% for the year 2035. In addition, the energy associated with water use will be reduced by 26.3%. Having that said, the impacts are considered to be less than significant.

b) As of the creation of this environmental analysis, the only adopted policy that would impact this project at the time of approval would be Assembly Bill 32 (AB32). This project does not conflict with the requirements of AB 32.

Mitigation: None required

Monitoring: None required

HAZARDS AND HAZARDOUS MATERIALS Would the project

22. Hazards and Hazardous Materials

a) Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Impair implementation of or physically interfere with an adopted emergency response plan or an emergency evacuation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Project Application Materials

Findings of Fact:

a) The proposed project is a residential apartment complex and will not cause routine transport of hazardous materials.

b) The proposed use will create internal circulation, however, no reasonable upsets are expected.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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c) All streets, even private internal circulation streets are required to build to County standards, additionally the proposed project is consistent with the existing uses proposed by the Land Use designation, and therefore, there will be no impacts.

d) The proposed land subdivision and use will emit no waste or hazards.

e) No known hazardous waste site exists on or near the project site.

Mitigation: None required

Monitoring: None required

23. Airports

a) Result in an inconsistency with an Airport Master Plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Require review by the Airport Land Use Commission?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) For a project within the vicinity of a private airstrip, or heliport, would the project result in a safety hazard for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure S-19 "Airport Locations," GIS database

Findings of Fact:

a-d) The project is not near an airport or within an airport influence zone of any kind and does not require Airport Land Use Commission review.

Mitigation: None required

Monitoring: None required

24. Hazardous Fire Area

a) Expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Source: Riverside County General Plan Figure S-11 "Wildfire Susceptibility," GIS database

Findings of Fact:

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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a) The project is not located within a High Fire Area identified by Ordinance No. 546. Secondary access is shown as part of the project design.

Mitigation: None required

Monitoring: None required

HYDROLOGY AND WATER QUALITY Would the project

25. Water Quality Impacts

a) Substantially alter the existing drainage pattern of the site or area, including the alteration of the course of a stream or river, in a manner that would result in substantial erosion or siltation on- or off-site?

b) Violate any water quality standards or waste discharge requirements?

c) Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)?

d) Create or contribute runoff water that would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff?

e) Place housing within a 100-year flood hazard area, as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map?

f) Place within a 100-year flood hazard area structures which would impede or redirect flood flows?

g) Otherwise substantially degrade water quality?

h) Include new or retrofitted stormwater Treatment Control Best Management Practices (BMPs) (e.g. water quality treatment basins, constructed treatment wetlands), the operation of which could result in significant environmental effects (e.g. increased vectors or odors)?

Source: Riverside County Flood Control District Flood Hazard Report/Condition.

Findings of Fact:

a) The project is proposing an apartment complex in a flat urbanized area with existing flood infrastructure. The project will not substantially alter the drainage patterns of the area or project site in a manner that will impact erosion or siltation. Therefore, will be no impacts.

b) The project has designed with infiltration trenches. The Flood Control department has indicated in Condition of Approval 10.FLOODRI.1 that additional details may be required; however, the preliminary

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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WQMP which explains these features has been conceptually approved by the Flood Control Department. A final WQMP is required prior to building permit (COA 80.RIFLOOD.3). This condition is considered a standard condition and not mitigation for CEQA purposes. Overall the project design will mitigate the impacts and no further mitigation is required to reduce the impacts to less than significant.

c) The project would require water service, but is below the threshold of the requirement for Water Supply Assessment. A Will Serve Letter has been provided.

d) The project would not create an incremental increase in the runoff. However, all onsite runoff will be treated prior to offsite discharge.

e-f) The project site is not located within a 100 year flood plain and will not place any structures within any designated floodways.

g-h) The project will not degrade water quality as appropriate BMP's have been incorporated into the project design, in accordance with the preliminary Water Quality Management Plan (WQMP), and the operation of the BMP's will be administered by a public agency as outlined in Condition of Approval 10.FLOODRI.3. This condition is standard and not considered mitigation for CEQA purposes.

Mitigation: None required

Monitoring: None required

26. Floodplains

Degree of Suitability in 100-Year Floodplains. As indicated below, the appropriate Degree of Suitability has been checked.

NA - Not Applicable U - Generally Unsuitable R - Restricted

a) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner that would result in flooding on- or off-site?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Changes in absorption rates or the rate and amount of surface runoff?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam (Dam Inundation Area)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Changes in the amount of surface water in any water body?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan Figure S-9 "100- and 500-Year Flood Hazard Zones," Figure S-10 "Dam Failure Inundation Zone," Riverside County Flood Control District Flood Hazard Report/Condition, GIS database

Findings of Fact:

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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a) The project will not alter the existing drainage pattern of the site or area, and will not alter the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner that would result in flooding on- or off-site as proposed. The site is in an urban area that contains appropriate flood control facilities to protect the site.

b) The project will increase the amount of impermeable surfaces slightly altering the existing drainage pattern of the site; however, the design will mitigate any impacts. The proposed infiltration trenches will address the change in impermeable surfaces.

c-d) The project is not proposing any structures that are not protected from flood waters, is not in a dam inundation area and will not impact the surface water in any water body.

Mitigation: None required

Monitoring: None required

LAND USE/PLANNING Would the project

27. Land Use

a) Result in a substantial alteration of the present or planned land use of an area?

b) Affect land use within a city sphere of influence and/or within adjacent city or county boundaries?

Source: Riverside County General Plan, GIS database, Project Application Materials

Findings of Fact:

a) The project will result in an alteration of the planned uses for the area, and is proposing a General Plan Amendment and Change of Zone as a result. The project will not involve a change in or conflict with the Riverside County Vision; any General Plan Principle; or any Foundation Component designation in the General Plan. The project is consistent with the General Plan Principals and Policies; including Highgrove Area Plan Policy HAP 2.3 which requires, if more intense land uses are proposed, that the existing level of public facilities and services are available to serve the project and that the use is compatible with surrounding designations.

A library is currently under construction on the project site. Additionally, park facilities exist across the street from the site, and the adjacent Gage Canal will provide opportunities for additional trail recreational features that will like to neighboring open space areas. The proposed land use designation shall be compatible with surrounding land uses and land use designations, and will not create future land use incompatibilities. The project will be near a number of public amenities and will not conflict with surrounding land uses or densities.

Highgrove Policies HAP 5.1 through 5.7 outline very specific requirements for any proposed land use change that will increase intensity. These policies specifically require enhanced residential amenities, sewer infrastructure and buffers to rural development. All such requirements will be implemented.

Additionally, the proposed Amendment contributes to the achievement of the purposes of the General Plan. The Housing Element of the General Plan recognizes that "housing policies must be responsive

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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to the special housing needs of persons who cannot afford market-rate housing, such as those of persons with disabilities, elderly, large families, farm workers, families with female heads of households, and families and persons in need of emergency shelter.”

Lastly, special circumstances or conditions have emerged that were unanticipated in preparing the General Plan. As previously stated, the proposed Amendment meets the housing goals of the Riverside County Vision by accommodating the anticipated maturation in the community and by providing special housing needs to persons who cannot afford market-rate housing, such as those of persons with disabilities, elderly, large families, farm workers, and families with single heads of households. Plot Plan 23256, located at the northwest corner of Spring Street and Garfield Avenue, was approved February 19, 2009, for 11 warehouse and office buildings ranging in size from 6,112 square feet to 67,432 square feet. The High Density Residential (8-14 Dwelling Units Per Acre) could help meet future housing needs for employees of this warehouse and office complex. Additionally, the County Economic Development department is currently constructing a library on the same parcel as the proposed land use change. This was not anticipated in the 2003 General Plan. Placing higher density housing close to such amenities is encouraged by the General Plan.

b) The project is located with the City of Riverside sphere of influence. The County has worked closely with the City to assure compatibility. All projects within the Highgrove area of the City's Sphere is Influence are required by County Board resolution to comply with the City's design guidelines. The project complies with the Design Guidelines and there is no impact.

Mitigation: None required

Monitoring: None required

28. Planning

a) Be consistent with the site's existing or proposed zoning?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Be compatible with existing surrounding zoning?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Be compatible with existing and planned surrounding land uses?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Be consistent with the land use designations and policies of the General Plan (including those of any applicable Specific Plan)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Disrupt or divide the physical arrangement of an established community (including a low-income or minority community)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Land Use Element, Staff review, GIS database

Findings of Fact:

a) The site is zoned One-Family Dwelling (R-1), the project is proposing a Change of Zone. The project is proposing to re-zone the site General Residential (R-3). In addition, the proposed project is consistent with the requirements of the proposed zone.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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b) The property is surrounded by One-Family Dwelling (R-1) to the west, and south, and One Family Dwelling, 20,000- Square Foot Minimum (R-1-20,000) to the east and north. The project will transition the single family development to the Manufacturing Service Commercial (M-SC) classifications further to the west.

c) The project is proposing a General Plan Amendment for the site to change the designation from Medium Density Residential (MDR) to High Density Residential (HDR). See Section 27 of this EA for detail. In short, the proposal can be supported and the impacts of the increase in density will be mitigated through the project design.

e) The project site is currently vacant and will not disrupt any existing uses.

Mitigation: None required

Monitoring: None required

MINERAL RESOURCES Would the project

29. Mineral Resources

a) Result in the loss of availability of a known mineral resource that would be of value to the region or the residents of the State?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Be an incompatible land use located adjacent to a State classified or designated area or existing surface mine?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Expose people or property to hazards from proposed, existing or abandoned quarries or mines?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure OS-5 "Mineral Resources Area"

Findings of Fact:

a-d) The project site is not designated as a mineral resource zone or contain any known potential mineral resources; the project is not located adjacent to an existing or abandoned mine or quarry.

Mitigation: None required

Monitoring: None required

NOISE Would the project result in

Definitions for Noise Acceptability Ratings

Where indicated below, the appropriate Noise Acceptability Rating(s) has been checked.

NA - Not Applicable A - Generally Acceptable B - Conditionally Acceptable
 C - Generally Unacceptable D - Land Use Discouraged

30. Airport Noise

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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a) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport would the project expose people residing or working in the project area to excessive noise levels?

NA A B C D

b) For a project within the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels?

NA A B C D

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Source: Riverside County General Plan Figure S-19 "Airport Locations," County of Riverside Airport Facilities Map

Findings of Fact:

a-b) The project site is not near or within any airport influence zone.

Mitigation: None required

Monitoring: None required

31. Railroad Noise

NA A B C D

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Source: Riverside County General Plan Figure C-1 "Circulation Plan", GIS database, On-site Inspection

Findings of Fact:

The project site is not near any existing railroad facilities.

Mitigation: None required

Monitoring: None required

32. Highway Noise

NA A B C D

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Source: On-site Inspection, Project Application Materials

Findings of Fact:

The project site is not near any existing Highway facilities larger than a collector.

Mitigation: None required

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Monitoring: None required

33. Other Noise

NA A B C D

Source: Project Application Materials, GIS database

Findings of Fact:

The project site is in an urbanized area, minimal impacts to the site may occur based on standard suburban activities. Additionally a school is located next to the site on the west. This may result in some daytime noise. Walls have been required from the project, and parking areas have been intentionally placed between the school and the structures to minimize disturbance.

Mitigation: None required

Monitoring: None required

34. Noise Effects on or by the Project

a) A substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project?

b) A substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project?

c) Exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?

d) Exposure of persons to or generation of excessive ground-borne vibration or ground-borne noise levels?

Source: Riverside County General Plan, Table N-1 ("Land Use Compatibility for Community Noise Exposure"); Project Application Materials

Findings of Fact:

a-d) The project will create a less than significant increase in ambient noise in the area. The proposed high density residential use will include the use of outdoor recreational activities and typical residential noise levels. The project site contains vacant land to the south, existing single family dwellings to the east and north, and school uses to the west. The proposed use will be consistent with the surrounding uses. It will have minimal noise during construction, however operating hours are required by ordinance which will mitigate all impacts.

Mitigation: None required

Monitoring: None required

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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POPULATION AND HOUSING Would the project

35. Housing	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a) Displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Create a demand for additional housing, particularly housing affordable to households earning 80% or less of the County's median income?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Displace substantial numbers of people, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Affect a County Redevelopment Project Area?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Cumulatively exceed official regional or local population projections?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Project Application Materials, GIS database, Riverside County General Plan Housing Element

Findings of Fact:

a-c) The proposed project is on vacant land and proposes high density residential uses. There will be no impact.

d) The site is located in a County Redevelopment Area. The proposed project is consistent with the redevelopment goals of the area.

e-f) The project is proposing housing. The project is located along an established street in an established area. The density is higher than that proposed in the 2003 General Plan; however, the project is consistent with the intent of the General Plan.

Mitigation: None required

Monitoring: None required

PUBLIC SERVICES Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered government facilities or the need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:

36. Fire Services	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Source: Riverside County General Plan Safety Element

Findings of Fact:

The project area is serviced by the Riverside County Fire Department. Any significant effects will be mitigated by the payment of standard fees to the County of Riverside. The project will not directly physically alter existing facilities or result in the construction of new physically altered facilities. Any construction of new facilities required by the cumulative effects of this project and surrounding projects would have to meet all applicable standards. This project has been conditioned to comply with County Ordinance No. 659 in order to mitigate the potential effects to fire services, see COA 90.PLANNING.34. This is a standard condition of approval and pursuant to CEQA is not considered mitigation.

Mitigation: None required

Monitoring: None required

37. Sheriff Services

Source: Riverside County General Plan

Findings of Fact:

The proposed area is serviced by the Riverside County Sheriff's Department. The proposed project would not have an incremental effect on the level of sheriff services provided in the vicinity of the project area. Any construction of new facilities required by the cumulative effects of this project and surrounding projects would have to meet all applicable environmental standards. This project has been conditioned to comply with County Ordinance No. 659 in order to mitigate the potential effects to sheriff services, see COA 90.PLANNING.34. This is a standard condition of approval and pursuant to CEQA is not considered mitigation.

Mitigation: None required

Monitoring: None required

38. Schools

Source: Riverside Unified School District correspondence, GIS database

Findings of Fact:

The project will not physically alter existing facilities or result in the construction of new or physically altered facilities. The proposed project is located within the boundary of the Riverside Unified School District. Any construction of new facilities required by the cumulative effects of this project and surrounding projects would have to meet all applicable environmental standards. This project has been conditioned to comply with School Mitigation Impact fees per County Ordinance 659 in order to mitigate the potential effects to school services, see COA 80.PLANNING.30. This is a standard condition of approval and pursuant to CEQA is not considered mitigation.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Mitigation: None required

Monitoring: None required

39. Libraries

Source: Riverside County General Plan

Findings of Fact:

The project will not physically alter existing facilities or result in the construction of new or physically altered facilities. Development fees required by the Riverside County Ordinance No. 659 may be used at the County's discretion to provide additional library facilities. Any construction of new facilities required by the cumulative effects of this project and surrounding projects would have to meet all applicable environmental standards. This project has been conditioned to comply with County Ordinance No. 659 in order to mitigate the potential effects to library services, see COA 90.PLANNING.34. This is a standard condition of approval and pursuant to CEQA is not considered mitigation.

Mitigation: None required

Monitoring: None required

40. Health Services

Source: Riverside County General Plan

Findings of Fact:

The use of the approximately 7-acre site would not cause an impact on health services. The site is located within the service parameters of County health centers. The project will not physically alter existing facilities or result in the construction of new or physically altered facilities. The presence of medical communities generally corresponds with the increase in population associated with the new development. Any construction of new facilities required by the cumulative effects of this project and surrounding projects would have to meet all applicable environmental standards. Ordinance 659 addresses emergency medical services, see COA 90.PLANNING.34.

Mitigation: None required

Monitoring: None required

RECREATION

41. Parks and Recreation

a) Would the project include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
b) Would the project include the use of existing neighborhood or regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Is the project located within a Community Service Area (CSA) or recreation and park district with a Community Parks and Recreation Plan (Quimby fees)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: GIS database, Ord. No. 659 (Establishing Development Impact Fees), Parks & Open Space Department Review

Findings of Fact:

a-c) The project will include recreational features including a pool and child's play area. The project will have a cumulative impact on regional parks, however, a component of the fees paid to Ordinance 659 would address this impact.

Mitigation: None required

Monitoring: None required

42. Recreational Trails

Source: Riv. Co. 800-Scale Equestrian Trail Maps, Open Space and Conservation Map for Western County trail alignments

Findings of Fact:

The project is located next to the Gage Canal which is designated for a regional trail, however, no improvements exist, only right of way. The project will not be constructing any portion of the trail, however, the project will also not be impacting the existing right of way. A secondary access will cross the canal, with the cooperation of the City of Riverside which currently owns the property and right of way for the canal. This access should not impact the future ability for the trail to be completed, as the secondary access is gated and only to be used for emergency access. Thus, no impacts are anticipated.

Mitigation: None required

Monitoring: None required

TRANSPORTATION/TRAFFIC Would the project

43. Circulation

a) Conflict with an applicable plan, ordinance or policy establishing a measure of effectiveness for the performance of the circulation system, taking into account all modes of transportation, including mass transit and non-motorized travel and relevant components of the circulation system, including but not limited to intersections, streets,

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
highways and freeways, pedestrian and bicycle paths, and mass transit?				
b) Conflict with an applicable congestion management program, including, but not limited to level of service standards and travel demand measures, or other standards established by the county congestion management agency for designated roads or highways?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Alter waterborne, rail or air traffic?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g. farm equipment)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Cause an effect upon, or a need for new or altered maintenance of roads?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g) Cause an effect upon circulation during the project's construction?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h) Result in inadequate emergency access or access to nearby uses?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
i) Conflict with adopted policies, plans or programs regarding public transit, bikeways or pedestrian facilities, or otherwise substantially decrease the performance or safety of such facilities?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan

Findings of Fact:

a and c) The project will generate traffic to the area and have regional cumulative transportation system impacts that will be mitigated using standard payments of TUMF and DIF fees, see COA 90.PLANNING.34. The project is not anticipated to have any significant traffic or circulation impacts.

b) The proposed residential project is consistent with the parking requirements of the project per section 18.12 of Ordinance 348, and will therefore have a less than significant impact to parking.

d-e) The project will not result in any airborne or rail traffic changes. There will be no impacts.

f) All streets have been designed to not create any substantial design hazards. There will be no impacts.

g and i) The project has not been required to construct any street improvements.

h) Construction of the internal driveways will not result in the temporary closure of any critical transportation facilities.

j) The project will not conflict with any adopted policies.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Mitigation: None required

Monitoring: None required

44. Bike Trails

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Source: Riverside County General Plan

Findings of Fact:

No trials are required or proposed by the project.

Mitigation: None required

Monitoring: None required

UTILITY AND SERVICE SYSTEMS Would the project

45. Water

a) Require or result in the construction of new water treatment facilities or expansion of existing facilities, the construction of which would cause significant environmental effects?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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b) Have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Source: Department of Environmental Health Review

Findings of Fact:

a-b) Services exist to the site boundaries due to neighboring development and will not require or result in the construction of new water treatment facilities or expansion of existing facilities, the construction of which would cause significant environmental effects. The project will have an impact on the water supplies available to, but less than significant impact with incorporated design mitigation.

Mitigation: None required

Monitoring: None required

46. Sewer

a) Require or result in the construction of new wastewater treatment facilities, including septic systems, or expansion of existing facilities, the construction of which would cause significant environmental effects?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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b) Result in a determination by the wastewater treatment provider that serves or may service the project that it has adequate capacity to serve the project's projected

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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demand in addition to the provider's existing commitments?

Source: Department of Environmental Health Review

Findings of Fact:

a-b) The City of Riverside has indicated that the project can be served by existing sewer lines near the site. A ten inch (10") sewer line stub exists in Center Street for the project site. The existing sewer treatment plant is sized to accommodate all flows that the existing sewer lines can support. Thus, there will be no impacts.

Mitigation: None required

Monitoring: None required

47. Solid Waste

a) Is the project served by a landfill with sufficient permitted capacity to accommodate the project's solid waste disposal needs?

b) Does the project comply with federal, state, and local statutes and regulations related to solid wastes including the CIWMP (County Integrated Waste Management Plan)?

Source: Riverside County General Plan, Riverside County Waste Management District correspondence

Findings of Fact:

a-b) The project is served by the Lambs Canyon Landfill. The project will not physically alter existing landfill facilities or result in the construction of new or physically altered facilities. Any construction of new facilities required by the cumulative effects of this project and surrounding projects would have to meet all applicable environmental standards.

Mitigation: None required

Monitoring: None required

48. Utilities

Would the project impact the following facilities requiring or resulting in the construction of new facilities or the expansion of existing facilities; the construction of which could cause significant environmental effects?

a) Electricity?

b) Natural gas?

c) Communications systems?

d) Storm water drainage?

e) Street lighting?

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
f) Maintenance of public facilities, including roads?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g) Other governmental services?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source:

Findings of Fact:

a-h) The project plans were transmitted to utility providers in the area without a response. Similar project uses have been constructed in the area, this project will not impact these utilities in an adverse way.

Mitigation: None required

Monitoring: None required

49. Energy Conservation

a) Would the project conflict with any adopted energy conservation plans?

Source: Staff Review

Findings of Fact:

The County is currently creating County wide specific energy conservation plans. The project will comply with Title 24 and other applicable codes.

Mitigation: None required

Monitoring: None required

MANDATORY FINDINGS OF SIGNIFICANCE

50. Does the project have the potential to substantially degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal, or eliminate important examples of the major periods of California history or prehistory?

Source: Staff review, Project Application Materials

Findings of Fact: Implementation of the proposed project would not substantially degrade the quality of the environment, substantially reduce the habitat of fish or wildlife species, cause a fish or wildlife populations to drop below self-sustaining levels, threaten to eliminate a plant or animal community, or

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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reduce the number or restrict the range of a rare or endangered plant or animal, or eliminate important examples of the major periods of California history or prehistory.

51. Does the project have impacts which are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, other current projects and probable future projects)?

Source: Staff review, Project Application Materials

Findings of Fact: The project does not have impacts which are individually limited, but cumulatively considerable.

52. Does the project have environmental effects that will cause substantial adverse effects on human beings, either directly or indirectly?

Source: Staff review, project application

Findings of Fact: The proposed project would not result in environmental effects which would cause substantial adverse effects on human beings, either directly or indirectly.

VI. EARLIER ANALYSES

Earlier analyses may be used where, pursuant to the tiering, program EIR, or other CEQA process, an effect has been adequately analyzed in an earlier EIR or negative declaration as per California Code of Regulations, Section 15063 (c) (3) (D). In this case, a brief discussion should identify the following:

Earlier Analyses Used, if any:

Highgrove Workforce Housing Project Greenhouse Gas Plan prepared by William Hezmalhalch Architects dated June 2, 2011

Geo Study No. 2266 by Krazan and Associates dated June 22, 2009

PD-A-4697R3, prepared on June 2011 by L&L Environmental, Inc.

Location Where Earlier Analyses, if used, are available for review:

Location: County of Riverside Planning Department
 4080 Lemon Street, 12th Floor
 Riverside, CA 92505

VII. AUTHORITIES CITED

Authorities cited: Public Resources Code Sections 21083 and 21083.05; References: California Government Code Section 65088.4; Public Resources Code Sections 21080(c), 21080.1, 21080.3,

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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21082.1, 21083, 21083.05, 21083.3, 21093, 21094, 21095 and 21151; *Sundstrom v. County of Mendocino* (1988) 202 Cal.App.3d 296; *Leonoff v. Monterey Board of Supervisors* (1990) 222 Cal.App.3d 1337; *Eureka Citizens for Responsible Govt. v. City of Eureka* (2007) 147 Cal.App.4th 357; *Protect the Historic Amador Waterways v. Amador Water Agency* (2004) 116 Cal.App.4th at 1109; *San Franciscans Upholding the Downtown Plan v. City and County of San Francisco* (2002) 102 Cal.App.4th 656.

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PLOT PLAN:TRANSMITTED Case #: PP24778

Parcel: 255-070-013

10. GENERAL CONDITIONS

EVERY DEPARTMENT

10. EVERY. 1 USE - PROJECT DESCRIPTION

RECOMMND

The use hereby permitted is for an 89-unit low income housing apartment complex including a tot-lot, parking, trash enclosures, and pedestrian pathways on a 6.71 acre site.

10. EVERY. 2 USE - HOLD HARMLESS

RECOMMND

The applicant/permittee or any successor-in-interest shall defend, indemnify, and hold harmless the County of Riverside or its agents, officers, and employees (COUNTY) from the following:

(a) any claim, action, or proceeding against the COUNTY to attack, set aside, void, or annul an approval of the COUNTY, its advisory agencies, appeal boards, or legislative body concerning the PLOT PLAN; and,

(b) any claim, action or proceeding against the COUNTY to attack, set aside, void or annul any other decision made by the COUNTY concerning the PLOT PLAN, including, but not limited to, decisions made in response to California Public Records Act requests.

The COUNTY shall promptly notify the applicant/permittee of any such claim, action, or proceeding and shall cooperate fully in the defense. If the COUNTY fails to promptly notify the applicant/permittee of any such claim, action, or proceeding or fails to cooperate fully in the defense, the applicant/permittee shall not, thereafter, be responsible to defend, indemnify or hold harmless the COUNTY.

The obligations imposed by this condition include, but are not limited to, the following: the applicant/permittee shall pay all legal services expenses the COUNTY incurs in connection with any such claim, action or proceeding, whether it incurs such expenses directly, whether it is ordered by a court to pay such expenses, or whether it incurs such expenses by providing legal services through its Office of County Counsel.

06/14/11
08:48

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 2

PLOT PLAN:TRANSMITTED Case #: PP24778

Parcel: 255-070-013

10. GENERAL CONDITIONS

10. EVERY. 3 USE - DEFINITIONS

RECOMMND

The words identified in the following list that appear in all capitals in the attached conditions of Plot Plan No.24778 shall be henceforth defined as follows:

APPROVED EXHIBIT A = Plot Plan No. 24778 , Exhibit A, Amended No. 1, dated 3/23/11.

APPROVED EXHIBIT B = Plot Plan No. 24778, Exhibit B, Elevations Amended No. 1, dated 3/23/11.

APPROVED EXHIBIT C = Plot Plan No. 24778, Exhibit C, Floor Plans Amended No. 1, dated 3/23/11.

APPROVED EXHIBIT G = Plot Plan No. 24778, Exhibit G, Grading Exhibit dated 3/23/11.

APPROVED EXHIBIT L = Plot Plan No. 24778, Exhibit L, Landscape Plans dated 3/23/11.

APPROVED EXHIBIT W = Plot Plan No. 24778, Exhibit W, Wall and Fence Plan dated 3/23/11.

APPROVED EXHIBIT S = Plot Plan No. 24778, Exhibit S, Sign Plan dated 3/23/11.

BS GRADE DEPARTMENT

10.BS GRADE. 1 USE - GENERAL INTRODUCTION

RECOMMND

Improvements such as grading, filling, over excavation and recompaction, and base or paving which require a grading permit are subject to the included Building and Safety Department Grading Division conditions of approval.

10.BS GRADE. 3 USE - OBEY ALL GDG REGS

RECOMMND

All grading shall conform to the California Building Code, Ordinance 457, and all other relevant laws, rules, and regulations governing grading in Riverside County and prior to commencing any grading which includes 50 or more cubic yards, the applicant shall obtain a grading permit from the Building and Safety Department.

PLOT PLAN:TRANSMITTED Case #: PP24778

Parcel: 255-070-013

10. GENERAL CONDITIONS

10.BS GRADE. 4 USE - DISTURBS NEED G/PMT RECOMMND

Ordinance 457 requires a grading permit prior to clearing, grubbing, or any top soil disturbances related to construction grading.

10.BS GRADE. 5 USE - PRE-CONSTRUCTION MTG RECOMMND

Prior to conducting any clearing, stockpiling, grading or excavation, the applicant is required to schedule a pre-construction meeting with the Building and Safety Department Environmental Compliance Division.

10.BS GRADE. 6 USE - NPDES INSPECTIONS RECOMMND

Construction activities including clearing, stockpiling, grading or excavation of land which disturbs less than 1 acre and requires a grading permit or construction Building permit shall provide for effective control of erosion, sediment and all other pollutants year-round. The permit holder shall be responsible for the installation and monitoring of effective erosion and sediment controls. Such controls will be evaluated by the Department of Building and Safety periodically and prior to permit Final to verify compliance with industry recognized erosion control measures.

Construction activities including but not limited to clearing, stockpiling, grading or excavation of land, which disturbs 1 acre or more or on-sites which are part of a larger common plan of development which disturbs less than 1 acre are required to obtain coverage under the construction general permit with the State Water Resources Control Board. You are required to provide proof of WDID# and keep a current copy of the storm water pollution prevention plan (SWPPP) on the construction site and shall be made available to the Department of Building and Safety upon request.

Year-round, Best Management Practices (BMP's) shall be maintained and be in place for all areas that have been graded or disturbed and for all material, equipment and/or operations that need protection. Stabilized Construction Entrances and project perimeter linear barriers are required year round. Removal BMP's (those BMP's which must be temporarily removed during construction activities) shall be in place at the end of each working day.

PLOT PLAN:TRANSMITTED Case #: PP24778

Parcel: 255-070-013

10. GENERAL CONDITIONS

10.BS GRADE. 6 USE - NPDES INSPECTIONS (cont.) RECOMMND

Monitoring for erosion and sediment control is required and shall be performed by the QSD or QSP as required by the Construction General Permit. Stormwater samples are required for all discharge locations and projects may not exceed limits set forth by the Construction General Permit Numeric Action Levels and/or Numeric Effluent Levels. A Rain Event Action Plan is required when there is a 50% or greater forecast of rain within the 48 hours, by the National Weather Service or whenever rain is imminent. The QSD or QSP must print and save records of the precipitation forecast for the project location area from (<http://www.srh.noaa.gov/forecast>) and must accompany monitoring reports and sampling test data. A Rain gauge is required on site. The Department of Building and Safety will conduct periodic NPDES inspections of the site throughout the recognized storm season to verify compliance with the Construction General Permit and Stormwater ordinances and regulations.

10.BS GRADE. 7 USE - EROSION CNTRL PROTECT RECOMMND

Graded but undeveloped land shall provide, in addition to erosion control planting, any drainage facility deemed necessary to control or prevent erosion. Additional erosion protection may be required during the rainy season from October 1, to May 31.

10.BS GRADE. 8 USE - DUST CONTROL RECOMMND

All necessary measures to control dust shall be implemented by the developer during grading. A PM10 plan may be required at the time a grading permit is issued.

10.BS GRADE. 9 USE - 2:1 MAX SLOPE RATIO RECOMMND

Graded slopes shall be limited to a maximum steepness ratio of 2:1 (horizontal to vertical) unless otherwise approved.

10.BS GRADE. 11 USE - MINIMUM DRNAGE GRADE RECOMMND

Minimum drainage grade shall be 1% except on portland cement concrete where .35% shall be the minimum.

PLOT PLAN:TRANSMITTED Case #: PP24778

Parcel: 255-070-013

10. GENERAL CONDITIONS

10.BS GRADE. 12 USE - DRAINAGE & TERRACING RECOMMND

Provide drainage facilities and terracing in conformance with the California Building Code's chapter on "EXCAVATION & GRADING".

10.BS GRADE. 13 USE - SLOPE SETBACKS RECOMMND

Observe slope setbacks from buildings & property lines per the California Building Code as amended by Ordinance 457.

10.BS GRADE. 14 USE - SLOPES IN FLOODWAY RECOMMND

Graded slopes which infringe into the 100 year storm flood way boundaries, shall be protected from erosion, or other flood hazards, by a method acceptable to the Building & Safety Department's Engineer - which may include Riverside County Flood Control & Water Conservation District's review and approval. However, no graded slope will be allowed which in the professional judgment of the Building & Safety Department Engineer blocks, concentrates or diverts drainage flows.

10.BS GRADE. 18 USE - OFFST. PAVED PKG RECOMMND

All offstreet parking areas which are conditioned to be paved shall conform to Ordinance 457 base and paving design and inspection requirements.

10.BS GRADE. 20 USE - RETAINING WALLS RECOMMND

Lots which propose retaining walls will require separate permits. They shall be obtained prior to the issuance of any other building permits - unless otherwise approved by the Building and Safety Director. The walls shall be designed by a Registered Civil Engineer - unless they conform to the County Standard Retaining Wall designs shown on the Building and Safety Department form 284-197.

10.BS GRADE. 23 USE - MANUFACTURED SLOPES RECOMMND

Plant and irrigate all manufactured slopes equal to or greater than 3 feet in vertical height with drought tolerant grass or ground cover; slopes 15 feet or greater in vertical height shall also be planted with drought tolerant shrubs or trees in accordance with the requirements of Ordinance 457.

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10. GENERAL CONDITIONS

10.BS GRADE. 24 USE - FINISH GRADE RECOMMND

Finish grade shall be sloped to provide proper drainage away from all exterior foundation walls in accordance with the California Building Code and Ordinance 457.

E HEALTH DEPARTMENT

10.E HEALTH. 1 RIV PUBLIC UTIL-WATER & SEWER RECOMMND

Plot Plan#24778 is proposing water and sewer service from the City of Riverside Public Utilities. It is the responsibility of the developer to ensure that all requirements to obtain water and sewer service are met with the City of Riverside Public Utilities as well as all other applicable agencies.

FIRE DEPARTMENT

10.FIRE. 1 USE-#50-BLUE DOT REFLECTOR RECOMMND

Blue retroreflective pavement markers shall be mounted on private street, public streets and driveways to indicate location of fire hydrants. Prior to installation, placement of markers must be approved by the Riverside County Fire Department.

10.FIRE. 2 USE-#23-MIN REQ FIRE FLOW RECOMMND

Minimum required fire flow shall be 1750 GPM for a 2 hour duration at 20 PSI residual operating pressure, which must be available before any combustible material is placed on the job site. Fire flow is based on type VB construction per the 2010 CBC and Building(s) having a fire sprinkler system.

10.FIRE. 3 USE-#20-SUPER FIRE HYDRANT RECOMMND

Super fire hydrants) (6"x4"x 2-2 1/2") shall be located ot less than 25 feet or more than 250165 feet from any portion of the building as measured along approved vehicular travel ways.

10.FIRE. 4 USE-#25-GATE ENTRANCES RECOMMND

ny gate providing access from a road to a driveway shall be located at least 35 feet from the roadway and shall open to

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10. GENERAL CONDITIONS

10.FIRE. 4 USE-#25-GATE ENTRANCES (cont.) RECOMMND

allow a vehicle to stop without obstructing traffic on the road. Where a one-way road with a single traffic lane provides access to a gate entrance, a 38 foot turning radius shall be used.

10.FIRE. 5 USE-#88A-AUTOMATIC GATES RECOMMND

Gate(s) shall be automatic operated, minimum 20 feet in width, with a setback of 35 feet from face of curb/flow line. Gate access shall be equipped with a rapid entry system. Plans shall be submitted to the Fire Department for approval prior to installation. Automatic/manual gate pins shall be rated with shear pin force, not to exceed 30 foot pounds. Automatic gates shall be equipped with emergency backup power. Gates activated by the rapid entry system shall remain open until closed by the rapid entry system.

FLOOD RI DEPARTMENT

10.FLOOD RI. 1 USE FLOOD HAZARD RPT 05/09/11 RECOMMND

Plot Plan No. 24778 proposes an 89-unit low income housing apartment complex including a tot-lot, parking, trash enclosures, and pedestrian pathways. The 6.71 acre site is located in the Highgrove area, north of Spring Street on the southwest corner of Center Street and Michigan Avenue.

The site is protected from offsite runoff from developments to the east. Gage Canal is located along the east. Except for nuisance nature local runoff that may traverse portions of the property, the project is considered free from ordinary storm flood hazard. However, a storm of unusual magnitude could cause some damage. New construction should comply with all applicable ordinances.

Runoff from the site drains northwest towards Center Street. Highgrove - Center Street Storm Drain (project number 1-0078) and Spring Street Channel, stage 1 (project number 1-0080) located to the north and south, respectively. These drainage improvements provide flood protection and adequate outlet to the site.

The proposed development of this site would adversely impact water quality. To mitigate for these impacts, infiltration trenches are proposed. A routing analysis was performed in an attempt to show that the infiltration

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10. GENERAL CONDITIONS

10.FLOOD RI. 1 USE FLOOD HAZARD RPT 05/09/11 (cont.) RECOMMND

trenches would address the Hydrologic Conditions of Concern (HCOC) and water quality impacts. It should be noted that the routing simulation is unacceptable. If the greater of the entire HCOC or Vbmp volumes can drain into a BMP, and if such volume is infiltrated, a routing analysis is not necessary. Additionally, the infiltration trench calculation underestimates the required width and/or depth of the trench.

The submittal reflects the general drainage and water quality plan for the development and meets the minimum requirements for the development review process. However, additional details will be required at the time improvement plans are submitted. This may require additional infiltration trench area and/or porous pavement provided in the parking areas. It should be noted that the WQMP shall comply with the latest Municipal Separate Storm Sewer (MS4) permit requirements.

10.FLOOD RI. 2 USE SUBMIT FINAL WQMP>PRELIM RECOMMND

In compliance with Santa Ana Region and San Diego Region Regional Water Quality Control Board Orders, and Beginning January 1, 2005, projects submitted within the western region of the unincorporated area of Riverside County for discretionary approval will be required to comply with the Water Quality Management Plan for Urban Runoff (WQMP). The WQMP addresses post-development water quality impacts from new development and redevelopment projects. The WQMP requirements will vary depending on the project's geographic location (Santa Ana, Santa Margarita or Whitewater River watersheds). The WQMP provides detailed guidelines and templates to assist the developer in completing the necessary studies. These documents are available on-line at:
www.floodcontrol.co.riverside.ca.us under Programs and Services, Stormwater Quality.

To comply with the WQMP a developer must submit a "Project Specific" WQMP. This report is intended to a) identify potential post-project pollutants and hydrologic impacts associated with the development; b) identify proposed mitigation measures (BMPs) for identified impacts including site design, source control and treatment control post-development BMPs; and c) identify sustainable funding and maintenance mechanisms for the aforementioned BMPs. A

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10. GENERAL CONDITIONS

10.FLOOD RI. 2 USE SUBMIT FINAL WQMP>PRELIM (cont.)

RECOMMND

template for this report is indicated as 'exhibit A' on the website above. A final Project Specific WQMP must be approved by the District prior to issuance of building or grading permits.

Projects that require a Project Specific WQMPs were required to submit a PRELIMINARY Project Specific WQMP along with the land-use application package in the tentative phase of development in order to obtain recommended conditions of approval. The developer has submitted a report that minimally meets the criteria for a preliminary project specific WQMP of addressing points a, b, and c above. It shall be noted that while the preliminary project specific WQMP was adequate at that stage, the preliminary WQMP report will need significant revisions at the improvement plan check phase of the development in order to meet the requirements of a final project specific WQMP - including detailed drawings for the BMPs along with all supporting calculations. It should also be noted that if 401 certification is necessary for the project, the Water Quality Control Board may require additional water quality measures.

10.FLOOD RI. 3 USE WQMP ESTABL MAINT ENTITY

RECOMMND

This project proposes BMP facilities that will require maintenance by public agency or commercial property owner association. To ensure that the public is not unduly burdened with future costs, prior to grading or building permit issuance (whichever comes first), the District will require an acceptable financial mechanism be implemented to provide for maintenance of treatment control BMPs in perpetuity. This may consist of a mechanism to assess individual benefiting property owners, or other means approved by the District. The site's treatment control BMPs must be shown on the project's improvement plans - either the street plans, grading plans, or landscaping plans. The type of improvement plans that will show the BMPs will depend on the selected maintenance entity.

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10. GENERAL CONDITIONS

PLANNING DEPARTMENT

10. PLANNING. 1 USE - IF HUMAN REMAINS FOUND

RECOMMND

The developer/permit holder or any successor in interest shall comply with the following codes for the life of this project:

If human remains are encountered, State Health and Safety Code Section 7050.5 states that no further disturbance shall occur until the County Coroner has made the necessary findings as to origin. Further, pursuant to Public Resources Code Section 5097.98 (b), remains shall be left in place and free from disturbance until a final decision as to the treatment and their disposition has been made. If the Riverside County Coroner determines the remains to be Native American, the Native American Heritage Commission shall be contacted within the period specified by law. Subsequently, the Native American Heritage Commission shall identify the "Most Likely Descendant." The Most Likely Descendant shall then make recommendations and engage in consultation with the County and the property owner concerning the treatment of the remains as provided in Public Resources Code Section 5097.98. Human remains from other ethnic/cultural groups with recognized historical associations to the project area shall also be subject to consultation between appropriate representatives from that group and the County Planning /Director.

10. PLANNING. 2 USE - INADVERTANT ARCHAEO FIND

RECOMMND

The developer/permit holder or any successor in interest shall comply with the following for the life of this project:

If during ground disturbance activities, cultural resources are discovered that were not assessed by the archaeological reports and/or environmental assessment conducted prior to project approval, the following procedures shall be followed. A cultural resources site is defined, for this condition, as being three or more artifacts in close association with each other, but may include fewer artifacts if the area of the find is determined to be of significance due to its sacred or cultural importance.

1. All ground disturbance activities within 100 feet of the discovered cultural resource shall be halted until a meeting is convened between the developer, the project

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10. GENERAL CONDITIONS

10.PLANNING. 2 USE - INADVERTANT ARCHAEO FIND (cont.) RECOMMND

archaeologist, the Native American tribal representative (or other appropriate ethic/cultural group representative), and the Planning Director to discuss the significance of the find.

2.At the meeting, the significance of the discoveries shall be discussed and after consultation with the Native American tribal (or other appropriate ethnic/cultural group representative) and the archaeologist, a decision is made, with the concurrence of the Planning Director, as to the appropriate mitigation (documentation, recovery, avoidance, etc) for the cultural resource.

3.Further ground disturbance shall not resume within the area of the discovery until an agreement has been reached by all parties as to the appropriate preservation or mitigation measures.

10.PLANNING. 3 USE - LC LANDSCAPE REQUIREMENT RECOMMND

The developer/ permit holder shall:

1)Ensure all landscape and irrigation plans are in conformance with the APPROVED EXHIBITS;

2)Ensure all landscaping is provided with California Friendly landscaping and a weather based irrigation controller(s) as defined by County Ordinance No. 859;

3)Ensure that irrigation plans which may use reclaimed water conform with the requirements of the local water purveyor; and,

4)Be responsible for maintenance, viability and upkeep of all slopes, landscaped areas, and irrigation systems until the successful completion of the twelve (12) month inspection or those operations become the responsibility of the individual property owner(s), a property owner's association, or any other successor-in-interest, whichever occurs later.

To ensure ongoing maintenance, the developer/ permit holder or any successor in interest shall:

1)Connect to a reclaimed water supply for landscape irrigation purposes when reclaimed water is made

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10. GENERAL CONDITIONS

10.PLANNING. 3 USE - LC LANDSCAPE REQUIREMENT (cont.) RECOMMND
available.

2)Ensure that landscaping, irrigation and maintenance systems comply with the Riverside County Guide to California Friendly Landscaping, and Ordinance No. 859.

3)Ensure that all landscaping is healthy, free of weeds, disease and pests.

10.PLANNING. 4 USE - COMPLY WITH ORD./CODES RECOMMND
The development of these premises shall comply with the standards of Ordinance No. 348 and all other applicable Riverside County ordinances and State and Federal codes.

The development of the premises shall conform substantially with that as shown on APPROVED EXHIBIT A, unless otherwise amended by these conditions of approval.

10.PLANNING. 5 USE - FEES FOR REVIEW RECOMMND
Any subsequent submittals required by these conditions of approval, including but not limited to grading plan, building plan or mitigation monitoring review, shall be reviewed on an hourly basis (research fee), or other such review fee as may be in effect at the time of submittal, as required by Ordinance No. 671. Each submittal shall be accompanied with a letter clearly indicating which condition or conditions the submittal is intended to comply with.

10.PLANNING. 6 USE - LIGHTING HOODED/DIRECTED RECOMMND
Any outside lighting shall be hooded and directed so as not to shine directly upon adjoining property or public rights-of-way.

10.PLANNING. 8 USE - LAND DIVISION REQUIRED RECOMMND
Prior to the sale of any individual structure as shown on APPROVED EXHIBIT A, a land division shall be recorded in accordance with Riverside County Ordinance No. 460, and any other pertinent ordinance.

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10. GENERAL CONDITIONS

10.PLANNING. 9 USE- HOURS OF OPERATION RECOMMND

Use of the facilities approved under this plot plan consist of apartments and a rental office. The apartment rental office shall be limited to the hours of 7 a.m. to 9 p.m. in order to reduce conflict with adjacent residential zones and/or land uses.

10.PLANNING. 10 USE- BASIS FOR PARKING RECOMMND

Parking for this project was determined primarily on the basis of County Ordinance No. 348, Section 18.12. a.(2).b), which requires a total of 215 parking spaces.

10.PLANNING. 12 USE - LIMIT ON SIGNAGE RECOMMND

Signage for this project shall be limited to the sign shown on APPROVED EXHIBIT S. Any additional signage shall be approved by the Planning Department pursuant to the requirements of Section 18.30 (Planning Department review only) of Ordinance No. 348:

10.PLANNING. 15 USE - PHASE BY NEW PERMIT RECOMMND

Construction of this project may be done progressively in phases provided a plan is submitted with appropriate fees to the Planning Department and approved prior to issuance of any building permits. Phasing approval shall not apply to the requirements of any agency other than the Planning Department unless so indicated by the affected agency.

10.PLANNING. 18 USE - RECLAIMED WATER RECOMMND

The permit holder shall connect to a reclaimed water supply for landscape watering purposes when secondary or reclaimed water is made available to the site.

10.PLANNING. 23 USE - EXTERIOR NOISE LEVELS RECOMMND

Exterior noise levels produced by any use allowed under this permit, including, but not limited to, any outdoor public address system, shall not exceed 45 db(A), 10-minute LEQ, between the hours of 10:00 p.m. to 7:00 a.m., and 55 db(A), 10-minute LEQ. In the event noise exceeds this standard, the permittee or the permittee's successor-in-interest shall take the necessary steps to remedy the situation, which may include discontinued operation of the facilities. The permit holder shall comply

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10. GENERAL CONDITIONS

10.PLANNING. 23 USE - EXTERIOR NOISE LEVELS (cont.) RECOMMND

with the applicable standards of Ordinance No. 847.

10.PLANNING. 24 USE - NOISE MONITORING REPORTS RECOMMND

The permit holder may be required to submit periodic noise monitoring reports as determined by the Department of Building and Safety as part of a code enforcement action. Upon written notice from the Department of Building and Safety requiring such a report, the permittee or the permittee's successor-in-interest shall prepare and submit an approved report within thirty (30) calendar days to the Department of Building and Safety, unless more time is allowed through written agreement by the Department of Building and Safety. The noise monitoring report shall be approved by the Office of Industrial Hygiene of the Health Service Agency (the permittee or the permittee's successor-in-interest shall be required to place on deposit sufficient funds to cover the costs of this approval prior to commencing the required report).

10.PLANNING. 26 USE - NO EA FOR GRADING RECOMMND

No environmental assessment for grading within the project boundaries shall be required provided such grading substantially conforms to the grading plan submitted as APPROVED EXHIBIT G, and does not significantly exceed 9700 cubic yards of cut and 8400 cubic yards of fill.

10.PLANNING. 27 USE - PREVENT DUST & BLOWSAND RECOMMND

Graded but undeveloped land shall be maintained in a condition so as to prevent a dust and/or blowsand nuisance and shall be either planted with interim landscaping or provided with other wind and water erosion control measures as approved by the Building and Safety Department and the State air quality management authorities.

10.PLANNING. 29 USE - CAUSES FOR REVOCATION RECOMMND

In the event the use hereby permitted under this permit,
a) is found to be in violation of the terms and conditions of this permit,
b) is found to have been obtained by fraud or perjured testimony, or
c) is found to be detrimental to the public health, safety or general welfare, or is a public nuisance, this permit

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10. GENERAL CONDITIONS

10.PLANNING. 29 USE - CAUSES FOR REVOCATION (cont.) RECOMMND

shall be subject to the revocation procedures.

10.PLANNING. 30 USE - CEASED OPERATIONS RECOMMND

In the event the use hereby permitted ceases operation for a period of one (1) year or more, this approval shall become null and void.

10.PLANNING. 31 USE - 90 DAYS TO PROTEST RECOMMND

The project applicant has 90 days from the date of approval of these conditions to protest, in accordance with the procedures set forth in Government Code Section 66020, The imposition of any and all fees, dedications, reservations and/or other exactions imposed on this project as a result of this approval or conditional approval of the project.

10.PLANNING. 35 USE - NO USE PRPSED LIMIT RECOMMND

The balance (undeveloped) portion of the property, APN 255070013, shall be designated as "NO USE PROPOSED", and shall require approval of an appropriate land use application prior to utilization of any additional land uses subject to the requirements of County Ordinance No. 348.

10.PLANNING. 36 USE - ORD 810 O S FEE (1) RECOMMND

In accordance with Riverside County Ordinance No. 810, to assist in providing revenue to acquire and preserve open space and habitat, an Interim Open Space Mitigation Fee shall be paid for each development project or portion of an expanded development project to be constructed in Western Riverside County. The amount of the fee for commercial or industrial development shall be calculated on the basis of "Project Area," which shall mean the net area, measured in acres, from the adjacent road right-of-way to the limits of the project development.

Any area identified as "NO USE PROPOSED" on the APPROVED EXHIBIT shall not be included in the Project Area.

10.PLANNING. 39 USE - BUSINESS LICENSING RECOMMND

Every person conducting a business within the unincorporated area of Riverside County, as defined

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10. GENERAL CONDITIONS

10.PLANNING. 39 USE - BUSINESS LICENSING (cont.) RECOMMND

in Riverside County Ordinance No. 857, shall obtain a business license. For more information regarding business registration, contact the Business Registration and License Program Office of the Building and Safety Department at www.rctlma.org.buslic.

TRANS DEPARTMENT

10.TRANS. 1 USE - STD INTRO 3 (ORD 461) RECOMMND

With respect to the conditions of approval for the referenced tentative exhibit, the landowner shall provide all street improvements, street improvement plans set forth herein in accordance with Riverside County Road Improvement Standards (Ordinance 461). It is understood that the exhibit correctly shows acceptable centerline elevations, all existing easements, traveled ways, and drainage courses with appropriate Q's, and that their omission or unacceptability may require the exhibit to be resubmitted for further consideration. This ordinance and all conditions of approval are essential parts and a requirement occurring in ONE is as binding as though occurring in all. All questions regarding the true meaning of the conditions shall be referred to the Transportation Department.

10.TRANS. 2 USE - COUNTY WEB SITE RECOMMND

Additional information, standards, ordinances, policies, and design guidelines can be obtained from the Transportation Department Web site: <http://rctlma.org/trans/>. If you have questions, please call the Plan Check Section at (951) 955-6527.

10.TRANS. 3 USE - TS/EXEMPT RECOMMND

The Transportation Department has not required a traffic study for the subject project. The Transportation Department has determined that the project is exempt from traffic study requirements.

10.TRANS. 4 USE - NO ADD'L ON-SITE R-O-W RECOMMND

No additional on-site right-of-way shall be required on Center Street since adequate right-of-way exists.

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20. PRIOR TO A CERTAIN DATE

PLANNING DEPARTMENT

20.PLANNING. 1 USE - EXPIRATION DATE-PP

RECOMMND

This approval shall be used within two (2) years of approval date; otherwise, it shall become null and void and of no effect whatsoever. By use is meant the beginning of substantial construction contemplated by this approval within a two (2) year period which is thereafter diligently pursued to completion or of the actual occupancy of existing buildings or land under the terms of the authorized use.

Prior to the expiration of the two year period, the permittee may request a one (1) year extension of time request in which to use this plot plan. A maximum of three one-year extension of time requests shall be permitted. Should the time period established by any of the extension of time requests lapse, or should all three one-year extensions be obtained and no substantial construction or use of this plot plan be initiated within five (5) years of the effective date of the issuance of this plot plan, this plot plan shall become null and void.

60. PRIOR TO GRADING PRMT ISSUANCE

BS GRADE DEPARTMENT

60.BS GRADE. 1 USE - NPDES/SWPPP

RECOMMND

Prior to issuance of any grading or construction permits - whichever comes first - the applicant shall provide the Building and Safety Department evidence of compliance with the following: "Effective March 10, 2003 owner operators of grading or construction projects are required to comply with the N.P.D.E.S. (National Pollutant Discharge Elimination System) requirement to obtain a construction permit from the State Water Resource Control Board (SWRCB). The permit requirement applies to grading and construction sites of "ONE" acre or larger. The owner operator can comply by submitting a "Notice of Intent" (NOI), develop and implement a STORM WATER POLLUTION PREVENTION PLAN (SWPPP) and a monitoring program and reporting plan for the construction site. For additional information and to obtain a copy of the NPDES State Construction Permit contact the SWRCB at (916) 657-1146.

Additionally, at the time the county adopts, as part of any

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60. PRIOR TO GRADING PRMT ISSUANCE

60.BS GRADE. 1 USE - NPDES/SWPPP (cont.) RECOMMND

ordinance, regulations specific to the N.P.D.E.S., this project (or subdivision) shall comply with them.

60.BS GRADE. 2 USE - GRADING SECURITY RECOMMND

Grading in excess of 199 cubic yards will require a performance security to be posted with the Building and Safety Department.

60.BS GRADE. 3 USE - IMPORT / EXPORT RECOMMND

In instances where a grading plan involves import or export, prior to obtaining a grading permit, the applicant shall have obtained approval for the import/export location from the Building and Safety Department.

A separate stockpile permit is required for the import site. It shall be authorized in conjunction with an approved construction project and shall comply with the requirements of Ordinance 457.

If an Environmental Assessment, prior to issuing a grading permit, did not previously approve either location, a Grading Environmental Assessment shall be submitted to the Planning Director and Environmental Programs Director for review and comment and to the Building and Safety Department Director for approval.

Additionally, if the movement of import / export occurs using county roads, review and approval of the haul routes by the Transportation Department may be required.

60.BS GRADE. 4 USE - GEOTECH/SOILS RPTS RECOMMND

Geotechnical soils reports, required in order to obtain a grading permit, shall be submitted to the Building and Safety Department for review and approval prior to issuance of a grading permit. All grading shall be in conformance with the recommendations of the geotechnical/soils reports as approved by Riverside County.* *The geotechnical/soils, compaction and inspection reports will be reviewed in accordance with the RIVERSIDE COUNTY GEOTECHNICAL GUIDELINES FOR REVIEW OF GEOTECHNICAL AND GEOLOGIC REPORTS.

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60. PRIOR TO GRADING PRMT ISSUANCE

60.BS GRADE. 6 USE - DRAINAGE DESIGN Q100 RECOMMND

All drainage facilities shall be designed in accordance with the Riverside County Flood Control & Water District's letter regarding this application, or if not specifically addressed in their letter, to accommodate 100 year storm flows.

60.BS GRADE. 7 USE - OFFSITE GRDG ONUS RECOMMND

Prior to the issuance of a grading permit, it shall be the sole responsibility of the owner/applicant to obtain any and all proposed or required easements and/or permissions necessary to perform the grading herein proposed.

60.BS GRADE. 8 USE - NOTARIZED OFFSITE LTR RECOMMND

A notarized letter of permission, from the affected property owners or easement holders, is required for any proposed off site grading.

60.BS GRADE. 9 USE - RECORDED ESMT REQ'D RECOMMND

A recorded easement is required for off site drainage facilities.

60.BS GRADE. 10 USE - ALTERNATIVE PVMT RECOMMND

In instances where the grading plan involves the use of porous or pervious pavements as an alternative to asphalt and concrete surfaces, prior to the issuance of a grading permit, approval shall be obtained from the Building and Safety Department.

60.BS GRADE. 11 USE - APPROVED WQMP RECOMMND

Prior to the issuance of a grading permit, the owner / applicant shall submit to the Building & Safety Department Engineering Division evidence that the project - specific Water Quality Management Plan (WQMP) has been approved by the Riverside County Flood Control District and that all approved water quality treatment control BMPs have been included on the grading plan.

60.BS GRADE. 12 USE - PRE-CONSTRUCTION MTG RECOMMND

Upon receiving grading plan approval and prior to the issuance of a grading permit, the applicant is required to

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60. PRIOR TO GRADING PRMT ISSUANCE

60.BS GRADE. 12 USE - PRE-CONSTRUCTION MTG (cont.) RECOMMND

schedule a pre-construction meeting with the Building and Safety Department Environmental Compliance Division.

EPD DEPARTMENT

60.EPD. 1 EPD - 30 DAY BURROWING OWL SUR RECOMMND

PER PDB 05714

Pursuant to Objective 6 and Objective 7 of the Species Account for the Burrowing Owl included in the Western Riverside County Multiple Species Habitat Conservation Plan, within 30 days prior to the issuance of a grading permit, a pre-construction presence/absence survey for the burrowing owl shall be conducted by a qualified biologist and the results of this presence/absence survey shall be provided in writing to the Environmental Programs Department. If it is determined that the project site is occupied by the Burrowing Owl, take of "active" nests shall be avoided pursuant to the MSHCP and the Migratory Bird Treaty Act. However, when the Burrowing Owl is present, relocation outside of the nesting season (March 1 through August 31) by a qualified biologist shall be required. The County Biologist shall be consulted to determine appropriate type of relocation (active or passive) and translocation sites. Occupation of this species on the project site may result in the need to revise grading plans so that take of "active" nests is avoided or alternatively, a grading permit may be issued once the species has been actively relocated.

If the grading permit is not obtained within 30 days of the survey a new survey shall be required.

FLOOD RI DEPARTMENT

60.FLOOD RI. 2 USE SUBMIT PLANS MINOR REVIEW RECOMMND

The scope of the District review will be limited to verification that this proposal has met its obligation under the County's municipal stormwater permit. A copy of the BMP improvement plans along with any necessary documentation shall be submitted to the Districts Plan Check Section for review. A copy of the improvement and grading plans shall be included for reference. The plans must receive the District's approval prior to issuance of permits. All submittals shall be date stamped by the

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60. PRIOR TO GRADING PRMT ISSUANCE

60.FLOOD RI. 2 USE SUBMIT PLANS MINOR REVIEW (cont.) RECOMMND

engineer and include a completed Flood Control Deposit Based Fee Worksheet and the appropriate plan check fee deposit.

60.FLOOD RI. 3 USE SUBMIT FINAL WQMP RECOMMND

A copy of the project specific WQMP shall be submitted to the District for review and approval.

60.FLOOD RI. 4 USE EROS CNTRL AFTER RGH GRAD RECOMMND

Temporary erosion control measures shall be implemented immediately following rough grading to prevent deposition of debris onto downstream properties or drainage facilities. Plans showing these measures shall be submitted to the District for review.

PLANNING DEPARTMENT

60.PLANNING. 1 USE - CULTURAL RESOURCES PROFE RECOMMND

As a result of information contained in archaeological report PD-A-4697R3, prepared on June 2011 by L&L Environmental, Inc., the project parcel may contain subsurface deposits or components of the historic Gage Canal constructed between 1885 and 1889 that runs along the eastern edge of the project.

Prior to the issuance of grading permits, the developer/permit holder shall retain and enter into a monitoring and mitigation service contract with a qualified Historic Archaeologist for services. This professional shall be known as the "Project Archaeologist." The Project Archaeologist shall be included in the pre-grade meetings to provide historical sensitivity training including the establishment of set guidelines for ground disturbance in sensitive areas with the grading contractors and any required special interest monitors. The Project Archaeologist shall manage and oversee monitoring for all initial ground disturbing activities and excavation of each portion of the project site including clearing, grubbing, tree removals, grading, trenching, stockpiling of materials, rock crushing, structure demolition and etc. The Project Archaeologist shall have the authority to temporarily divert, redirect or halt the ground disturbance activities to allow identification,

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60. PRIOR TO GRADING PRMT ISSUANCE

60.PLANNING. 1 USE - CULTURAL RESOURCES PROFE (cont.) RECOMMND

evaluation, and potential recovery of cultural/historic resources in coordination with any required special interest monitors.

The developer/permit holder shall submit a fully executed copy of the contract to the Riverside County Planning Department to ensure compliance with this condition of approval. Upon verification, the Planning Department shall clear this condition.

NOTE:

1)The Project Archaeologist is responsible for implementing mitigation using standard professional practices for cultural resources. The Professional shall consult with the County, developer/permit holder and any required special interest group monitor throughout the process.

2)This agreement shall not modify any approved condition of approval or mitigation measure.

60.PLANNING. 4 USE - PALEO PRIMP & MONITOR RECOMMND

This site is mapped in the County's General Plan as having a High potential for paleontological resources (fossils). Proposed project site grading/earthmoving activities could potentially impact this resource. HENCE:

PRIOR TO ISSUANCE OF GRADING PERMITS:

1.The applicant shall retain a qualified paleontologist approved by the County of Riverside to create and implement a project-specific plan for monitoring site grading/earthmoving activities (project paleontologist).

2.The project paleontologist retained shall review the approved development plan and grading plan and shall conduct any pre-construction work necessary to render appropriate monitoring and mitigation requirements as appropriate. These requirements shall be documented by the project paleontologist in a Paleontological Resource Impact Mitigation Program (PRIMP). This PRIMP shall be submitted to the County Geologist for review and approval prior to issuance of a Grading Permit.

Information to be contained in the PRIMP, at a minimum and in addition to other industry standard and Society of

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60. PRIOR TO GRADING PRMT ISSUANCE

60. PLANNING. 4 USE - PALEO PRIMP & MONITOR (cont.)

RECOMMND

Vertebrate Paleontology standards, are as follows:

1. Description of the proposed site and planned grading operations.
2. Description of the level of monitoring required for all earth-moving activities in the project area.
3. Identification and qualifications of the qualified paleontological monitor to be employed for grading operations monitoring.
4. Identification of personnel with authority and responsibility to temporarily halt or divert grading equipment to allow for recovery of large specimens.
5. Direction for any fossil discoveries to be immediately reported to the property owner who in turn will immediately notify the County Geologist of the discovery.
6. Means and methods to be employed by the paleontological monitor to quickly salvage fossils as they are unearthed to avoid construction delays.
7. Sampling of sediments that are likely to contain the remains of small fossil invertebrates and vertebrates.
8. Procedures and protocol for collecting and processing of samples and specimens.
9. Fossil identification and curation procedures to be employed.
10. Identification of the permanent repository to receive any recovered fossil material. * The County of Riverside must be consulted on the repository/museum to receive the fossil material and a written agreement between the property owner/developer and the repository must be in place prior to site grading.
11. All pertinent exhibits, maps and references.
12. Procedures for reporting of findings.
13. Identification and acknowledgement of the developer for the content of the PRIMP as well as acceptance of financial

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60. PRIOR TO GRADING PRMT ISSUANCE

60.PLANNING. 4 USE - PALEO PRIMP & MONITOR (cont.) (cont.) RECOMMND

responsibility for monitoring, reporting and curation fees.

All reports shall be signed by the project paleontologist and all other professionals responsible for the report's content (eg. Professional Geologist), as appropriate. Two wet-signed original copies of the report(s) shall be submitted to the office of the County Geologist along with a copy of this condition and the grading plan for appropriate case processing and tracking. These documents should not be submitted to the project Planner, the Plan Check staff, the Land Use Counter or any other County office. In addition, the applicant shall submit proof of hiring (i.e. copy of executed contract, retainer agreement, etc.) a project paleontologist for the in-grading implementation of the PRIMP.

60.PLANNING. 5 USE - GRADING PLANS RECOMMND

The project must comply with the following:

a. The developer shall submit one print of a comprehensive grading plan to the Department of Building and Safety which complies with the Uniform Building Code, Chapter 70, as amended by Ordinance No. 457 and as may be additionally provided for in these conditions.

b. A grading permit shall be obtained from the Department of Building and Safety prior to commencement of any grading outside of a County maintained road right-of-way.

c. Graded but undeveloped land shall be planted with interim landscaping or provided with other erosion control measures as approved by the Director of Building and Safety.

d. Graded areas shall be revegetated or landscaped with native species which are fire resistant, drought tolerant, low water using and erosion controlling.

60.PLANNING. 6 USE - PLNTLOGST RETAINED (1) RECOMMND

Prior to issuance of grading permits, a qualified paleontologist shall be retained by the developer for consultation and comment on the proposed grading with respect to potential paleontological impacts. Should the

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60. PRIOR TO GRADING PRMT ISSUANCE

60.PLANNING. 6 USE - PLNTLOGST RETAINED (1) (cont.) RECOMMND

paleontologist find the potential is high for impact to significant resources, a pre-grade meeting between the paleontologist and the excavation and grading contractor shall be arranged. When necessary, the paleontologist or representative shall have the authority to temporarily divert, redirect, or halt grading activity to allow recovery of fossils. The developer shall submit the name, telephone number and address of the retained paleontologist to the Planning Department.

The paleontologist shall submit in writing to the Planning Department the results of the initial consultation and the details of the fossil recovery plan if recovery was deemed necessary. The written results shall be submitted prior to issuance of grading permit.

60.PLANNING. 10 USE - MITIGATION MONITORING RECOMMND

The permittee shall prepare and submit a written report to the Riverside County Planning Director demonstrating compliance with those conditions of approval and mitigation measures of this permit and E.A. No. 42406 which must be satisfied prior to the issuance of a grading permit.

The Planning Director may require inspection or other monitoring to ensure such compliance.

60.PLANNING. 12 USE - BLOWSAND & DUST CONTROL RECOMMND

The permittee shall institute blowsand and dust control measures during grading and shall note or show the measures to be used on their grading plans. These measures shall include, but not be limited to:

- a) The use of irrigation during any construction activities;
- b) planting of cover crop or vegetation upon previously graded but undeveloped portions of the site; and
- c) provision of windbreaks or windrows, fencing, and/or landscaping to reduce the effects upon adjacent properties and property owners. The permittee shall comply with the directives of the Director of the Building and Safety Department with regards to the applicable sections of Ordinance No. 484 (Blowsand Control) and Ordinance No. 742

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60. PRIOR TO GRADING PRMT ISSUANCE

60.PLANNING. 12 USE - BLOWSAND & DUST CONTROL (cont.) RECOMMND

(Control of Fugitive Dust/PM10 in Urban Areas).

60.PLANNING. 14 USE - SKR FEE CONDITION RECOMMND

Prior to the issuance of a grading permit, the applicant shall comply with the provisions of Riverside County Ordinance No. 663, which generally requires the payment of the appropriate fee set forth in that ordinance. The amount of the fee required to be paid may vary depending upon a variety of factors, including the type of development application submitted and the applicability of any fee reduction or exemption provisions contained in Riverside County Ordinance No. 663. Said fee shall be calculated on the approved development project which is anticipated to be 6.71 acres (gross) in accordance with APPROVED EXHIBIT NO. A. If the development is subsequently revised, this acreage amount may be modified in order to reflect the revised development project acreage amount. In the event Riverside County Ordinance No. 663 is rescinded, this condition will no longer be applicable. However, should Riverside County Ordinance No. 663 be rescinded and superseded by a subsequent mitigation fee ordinance, payment of the appropriate fee set forth in that ordinance shall be required.

60.PLANNING. 19 USE - REQD APPLICATIONS (1) RECOMMND

No grading permits shall be issued until General Plan Amendment No. 1105, and Change of Zone No. 7752 have been approved and adopted by the Board of Supervisors and have been made effective. This permit shall conform with the development standards of the designation and/or zones ultimately applied to the property.

TRANS DEPARTMENT

60.TRANS. 1 USE-SBMT/APPVD GRADG PLAN/TRAN RECOMMND

When you submit a grading plan to the Department of Building and Safety, a copy of the grading plan shall be submitted and approved by the Transportation Department prior to a grading permit issuance.

Submit required grading plan to the Transportation Department, Plan Check Section, 8th Floor, 4080 Lemon Street, Riverside, CA.

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60. PRIOR TO GRADING PRMT ISSUANCE

60.TRANS. 2 USE - REVISE STREET IMP PLAN

RECOMMND

Prior to the submittal of the required street improvement plan per condition of approval obtain the existing street improvement plan and profile No. 903-C and show the revision of the plan.

Please process a plan revision through the Plan Check Section per Section I, Part "E", page 10 of the "Improvement Plan Check - Policies and Guidelines" manual available on the Internet at:
www.tlma.co.riverside.ca.us/trans/land_dev_plan_check_guide_lines.html
If you have any questions, please call the Plan Check Section at (951) 955-6527.

60.TRANS. 3 USE - OBTAIN L&LMD APPLICATION

RECOMMND

Obtain an application from the Transportation Department, L&LMD Section, 8th Floor, 4080 Lemon Street, Riverside, CA, to submit application for required annexation per condition of approval 80.TRANS.1 and 90.TRANS.5.

If you have any questions or for the processing fee amount, please call the L&LMD Section at (951) 955-6748.

70. PRIOR TO GRADING FINAL INSPECT

PLANNING DEPARTMENT

70.PLANNING. 1 USE - PALEO MONITORING REPORT

RECOMMND

PRIOR TO GRADING FINAL:

The applicant shall submit to the County Geologist one wet-signed copy of the Paleontological Monitoring Report prepared for site grading operations at this site. The report shall be certified by the professionally-qualified Paleontologist responsible for the content of the report. This Paleontologist must be on the County's Paleontology Consultant List. The report shall contain a report of findings made during all site grading activities and an appended itemized list of fossil specimens recovered during grading (if any) and proof of accession of fossil materials into the pre-approved museum repository. In addition, all appropriate fossil location information shall be submitted to the Western Center, the San Bernardino County Museum and Los Angeles County Museum of Natural History, at a minimum,

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70. PRIOR TO GRADING FINAL INSPECT

70.PLANNING. 1 USE - PALEO MONITORING REPORT (cont.) RECOMMND

for incorporation into their Regional Locality Inventories.

70.PLANNING. 2 USE - PLNTLGST CERTIFIED (2) RECOMMND

A qualified paleontologist shall be retained by the developer for consultation and comment on the proposed grading with respect to potential paleontological impacts. Should the paleontologist find the potential is high for impacts to significant resources, a post-grade report by the paleontologist shall be submitted to the Planning Department. When necessary, in the professional opinion of the retained paleontologist (and/or as determined by the Planning Director), the paleontologist or representative shall have the authority to monitor actively all project related grading and construction and shall have the authority to temporarily divert, redirect, or halt grading activity to allow recovery of fossils. The developer shall submit the name, telephone number and address of the retained paleontologist to the Planning Department and the Department of Building and Safety. The paleontologist shall submit in writing to the Planning Department the results of the initial consultation and the final results of the fossil recovery plan if recovery was deemed necessary. The written results shall be submitted prior to final inspection approval of the project grading.

80. PRIOR TO BLDG PRMT ISSUANCE

BS GRADE DEPARTMENT

80.BS GRADE. 1 USE - NO B/PMT W/O G/PMT RECOMMND

Prior to the issuance of any building permit, the property owner shall obtain a grading permit and/or approval to construct from the Building and Safety Department.

80.BS GRADE. 2 USE - ROUGH GRADE APPROVAL RECOMMND

Prior to the issuance of any building permit, the applicant shall obtain rough grade approval and/or approval to construct from the Building and Safety Department. The Building and Safety Department must approve the completed grading of your project before a building permit can be issued. Rough Grade approval can be accomplished by complying with the following:

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80. PRIOR TO BLDG PRMT ISSUANCE

80.BS GRADE. 2 USE - ROUGH GRADE APPROVAL (cont.) RECOMMND

1.Submitting a "Wet Signed" copy of the Soils Compaction Report containing substantiating data from the Soils Engineer (registered geologist or certified geologist, civil engineer or geotechnical engineer as appropriate) for his/her certification of the project.

2.Submitting a "Wet Signed" copy of the Rough Grade certification from a Registered Civil Engineer certifying that the grading was completed in conformance with the approved grading plan.

3.Submitting a Contractors Statement of Conformance form (284-259).

4.Requesting a Rough Grade Inspection and obtaining rough grade approval from a Riverside County inspector.

5.Rough Grade Only Permits: In addition to obtaining all required inspections and approval of all final reports, all sites permitted for rough grade only shall provide 100 percent vegetative coverage to stabilize the site prior to receiving a rough grade permit final.

Prior to release for building permit, the applicant shall have met all rough grade requirements to obtain Building and Safety Department clearance.

FIRE DEPARTMENT

80.FIRE. 1 USE-#17A-BLDG PLAN CHECK \$ RECOMMND

Building Plan check deposit base fee of \$1,056.00, shall be paid in a check or money order to the Riverside County Fire Department after plans have been approved by our office.

80.FIRE. 2 USE-#4-WATER PLANS RECOMMND

The applicant or developer shall separately submit two copies of the water system plans to the Fire Department for review and approval. Calculated velocities shall not exceed 10 feet per second. Plans shall conform to the fire hydrant types, location and spacing, and the system shall meet the fire flow requirements.

Plans shall be signed and approved by a registered civil

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80.FIRE. 2 USE-#4-WATER PLANS (cont.) RECOMMND

engineer and the local water company with the following certification: "I certify that the design of the water system is in accordance with the requirements prescribed by the Riverside County Fire Department."

FLOOD RI DEPARTMENT

80.FLOOD RI. 2 USE SUBMIT PLANS MINOR REVIEW RECOMMND

The scope of the District review will be limited to verification that this proposal has met its obligation under the County's municipal stormwater permit. A copy of the BMP improvement plans along with any necessary documentation shall be submitted to the Districts Plan Check Section for review. A copy of the improvement and grading plans shall be included for reference. The plans must receive the District's approval prior to issuance of permits. All submittals shall be date stamped by the engineer and include a completed Flood Control Deposit Based Fee Worksheet and the appropriate plan check fee deposit.

80.FLOOD RI. 3 USE SUBMIT FINAL WQMP RECOMMND

A copy of the project specific WQMP shall be submitted to the District for review and approval.

PLANNING DEPARTMENT

80.PLANNING. 1 USE - LC LANDSCAPE PLOT PLAN RECOMMND

Prior to issuance of building permits, the developer/permit holder shall file a Landscaping Minor Plot Plan Application to the Riverside County Planning Department for review and approval along with the current fee. The landscaping plans shall be in conformance with the APPROVED EXHIBITS; in compliance with Ordinance No. 348, Section 18.12; Ordinance No. 859; and, be prepared consistent with the County of Riverside Guide to California Friendly Landscaping.

At minimum, plans shall include the following components:

1)Landscape and irrigation working drawings "stamped" by a California certified landscape architect;

2)Weather based controllers and necessary components to

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80. PRIOR TO BLDG PRMT ISSUANCE

80. PLANNING. 1 USE - LC LANDSCAPE PLOT PLAN (cont.)

RECOMMND

eliminate water waste;

3) A copy of the "stamped" approved grading plans; and,

4) Emphasis on native and drought tolerant species.

When applicable, plans shall include the following components:

1) Identification of all common/open space areas;

2) Natural open space areas and those regulated/conserved by the prevailing MSHCP;

3) Shading plans for projects that include parking lots/areas;

4) The use of canopy trees (24" box or greater) within the parking areas;

5) Landscaping plans for slopes exceeding 3 feet in height;

6) Landscaping and irrigation plans associated with entry monuments. All monument locations and dimensions shall be provided on the plan; and/or,

7) If this is a phased development, then a copy of the approved phasing plan shall be submitted for reference.

NOTE:

1) Landscaping plans for areas within the road right-of-way shall be submitted for review and approval by the Transportation Department only. The Planning Department shall not approve landscape plans within the Road Right-of-Way.

2) When the Landscaping Plot Plan is located within a special district such as Valley-Wide Recreation and Park District, Jurupa Community Services District, Coachella Valley Water District, a County Service Area (CSA) or other maintenance district, the developer/permit holder shall submit plans for review to the appropriate special district for simultaneous review. The permit holder shall show evidence to the Planning Department that the subject District has approved said plans.

As part of the plan check review process and request for

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80. PRIOR TO BLDG PRMT ISSUANCE

80.PLANNING. 1 USE - LC LANDSCAPE PLOT PLAN (cont.) (cont.) RECOMMND

condition clearance, the developer/permit holder shall show proof of the approved landscaping plot plan by providing the Plot Plan number. The planning department shall verify the landscape route is approved and the Plot Plan is in TENTAPPR status. Upon verification of compliance with this condition and the APPROVED EXHIBITS, the Planning Department shall clear this condition.

80.PLANNING. 2 USE - LC LANDSCAPE SECURITIES RECOMMND

Prior to the issuance of building permits, the developer/permit holder shall submit an estimate to replace plantings, irrigation systems, ornamental landscape elements, walls and/or fences, in amounts to be approved by the Riverside County Planning Department, Landscape Division. Once the Planning Department has approved the estimate, the developer/permit holder shall submit the estimate to the Riverside County Department of Building and Safety who will then provide the developer/permit holder with the requisite forms. The required forms shall be completed and submitted to Building and Safety for processing and review in conjunction with County Counsel. Upon determination of compliance, the Department of Building and Safety shall clear this condition.

NOTE:

A cash security shall be required when the estimated cost is \$2,500.00 or less. It is highly encouraged to allow adequate time to ensure that securities are in place. The performance security shall be released following a successful completion of the One Year Post-Establishment Inspection, and the inspection report confirms that the planting and irrigation components are thriving and in good working order consistent with the approved landscaping plans.

80.PLANNING. 4 USE - ALLOW UNDERGROUND UTIL. RECOMMND

The permit holder shall submit to the Department of Building and Safety and the Planning Department a written statement from the Southern California Edison Company confirming whether or not the overhead electrical lines within Center Street are capable of being installed underground and that all financial arrangements to do so have been completed, or the permittee shall submit a definitive statement to the above departments from the

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80. PRIOR TO BLDG PRMT ISSUANCE

80.PLANNING. 4 USE - ALLOW UNDERGROUND UTIL. (cont.) RECOMMND

utility refusing to allow underground installation of the overhead electrical lines, in which case any requirement of these conditions to install electrical lines underground is null and void.

80.PLANNING. 6 USE - BLOWSAND & DUST CONTROL RECOMMND

The permit holder shall institute blowsand and dust control measures during grading and shall note or show the measures to be used on their grading plans.

These measures shall include, but not be limited to:

- a) The use of irrigation during any construction activities;
- b) planting of cover crop or vegetation upon previously graded but undeveloped portions of the site; and c) provision of windbreaks or windrows, fencing, and/or landscaping to reduce the effects upon adjacent properties and property owners. The permittee shall comply with the directives of the Director of the Building and Safety Department with regards to the applicable sections of Ordinance No. 484 (Blowsand Control) and Ordinance No. 742 (Control of Fugitive Dust/PM10 in Urban Areas).

80.PLANNING. 7 USE - LIGHTING PLANS RECOMMND

All street lights and other outdoor lighting shall be shown on electrical plans submitted to the Department of Building and Safety for plan check approval and shall comply with the requirements of Riverside County Ordinance No. 655 and the Riverside County Comprehensive General Plan.

80.PLANNING. 8 USE - CONFORM TO ELEVATIONS RECOMMND

Elevations of all buildings and structures submitted for building plan check approval shall be in substantial conformance with the elevations shown on APPROVED EXHIBIT B.

80.PLANNING. 9 USE - CONFORM TO FLOOR PLANS RECOMMND

Floor plans shall be in substantial conformance with that shown on APPROVED EXHIBIT C.

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80. PRIOR TO BLDG PRMT ISSUANCE

80.PLANNING. 10 USE - ROOF EQUIPMENT SHIELDING RECOMMND

Roof mounted equipment shall be shielded from ground view. Screening material shall be subject to Planning Department approval.

80.PLANNING. 12 USE - MINIMUM FLOOR AREA RECOMMND

All dwelling units shall have a minimum floor living area of not less than 750 square feet excluding porches, garages, patios or similar features whether attached or detached. The permittee shall demonstrate to the satisfaction of the Planning Director and the Director of the Department of Building and Safety that construction plans comply with all dwelling unit minimum floor living area regulations.

80.PLANNING. 13 USE - MAXIMUM DWELLING UNITS RECOMMND

A maximum of eighty-nine (89) dwelling units are allowed under this permit.

80.PLANNING. 18 USE - MITIGATION MONITORING RECOMMND

The permittee shall prepare and submit a written report to the Riverside County Planning Director demonstrating compliance with those conditions of approval and mitigation measures of this permit and E.A. No. 42406 which must be satisfied prior to the issuance of a building permit.

The Planning Director may require inspection or other monitoring to ensure such compliance.

80.PLANNING. 19 USE - PLANS SHOWING BIKE RACKS RECOMMND

Bike rack spaces or bike lockers shall be shown on the project's parking and landscaping plan submitted to the Planning Department for approval.

80.PLANNING. 22 USE - REQD APPLICATIONS (2) RECOMMND

No building permits shall be issued until General Plan Amendment No.1105 and Change of Zone No. 7752 have been approved and adopted by the Board of Supervisors and have been made effective. This permit shall conform with the development standards of the designation and/or zone ultimately applied to the property.

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80. PRIOR TO BLDG PRMT ISSUANCE

80.PLANNING. 30 USE - SCHOOL MITIGATION RECOMMND

Impacts to the Riverside Union School District shall be mitigated in accordance with California State law.

80.PLANNING. 40 USE - FEE BALANCE RECOMMND

Prior to issuance of building permits, the Planning Department shall determine if the deposit based fees for project are in a negative balance. If so, any outstanding fees shall be paid by the applicant/developer.

TRANS DEPARTMENT

80.TRANS. 1 USE - ANNEX L&LMD/OTHER DIST RECOMMND

Prior to the issuance of a building permit, the project proponent shall comply with County requirements within public road rights-of-way, in accordance with Ordinance 461. Assurance of maintenance is required by filing an application for annexation to Landscaping and Lighting Maintenance District No. 89-1-Consolidated by contacting the Transportation Department at (951)955-6767, and/or any other maintenance district approved by the Transportation Department or by processing and filing a 'Landscape Maintenance Agreement' through the Transportation Department Plan Check Division. Said annexation should include the following:

- (1) Landscaping along Center Street.
- (2) Streetlights.
- (3) Street sweeping.

For street lighting, the project proponent shall contact the Transportation Department L&LMD 89-1-C Administrator and submit the following:

- (1) Completed Transportation Department application.
- (2) Appropriate fees for annexation.
- (3) (2) sets of street lighting plans approved by Transportation Department.
- (4) "Streetlight Authorization" form from SCE, IID or other electric provider.

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80. PRIOR TO BLDG PRMT ISSUANCE

80.TRANS. 2 USE - LIGHTING PLAN

RECOMMND

A separate street light plan is required for this project. Street lighting shall be designed in accordance with County Streetlight Specification Chart found in Specification Section 22 of Ordinance 461. For projects within SCE boundaries use County of Riverside Ordinance 461, Standard No. 1000 or No. 1001.

80.TRANS. 3 USE - LANDSCAPING

RECOMMND

Landscaping within public road right-of-way shall comply with Transportation Department standards, Ordinance 461, Comprehensive Landscaping Guidelines & Standards, and Ordinance 859 and shall require approval by the Transportation Department.

Landscaping plans shall be designed within Center Street and submitted to the Transportation Department. Landscaping plans shall be submitted on standard County plan sheet format (24" x 36"). Landscaping plans shall be submitted with the street improvement plans.

80.TRANS. 4 USE - UTILITY PLAN

RECOMMND

Electrical power, telephone, communication, street lighting, and cable television lines shall be designed to be placed underground in accordance with Ordinance 461, or as approved by the Transportation Department. The applicant is responsible for coordinating the work with the serving utility company. This also applies to existing overhead lines which are 33.6 kilovolts or below along the project frontage and between the nearest poles offsite in each direction of the project site. A disposition note describing the above shall be reflected on design improvement plans whenever those plans are required. A written proof for initiating the design and/or application of the relocation issued by the utility company shall be submitted to the Transportation Department for verification purposes.

90. PRIOR TO BLDG FINAL INSPECTION

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90. PRIOR TO BLDG FINAL INSPECTION

BS GRADE DEPARTMENT

90.BS GRADE. 1 USE - WQMP BMP INSPECTION RECOMMND

Prior to final building inspection, the applicant shall obtain inspection of all treatment control BMPs and/or clearance from the Building and Safety Department. All structural BMPs described in the project - specific WQMP and indicated on the approved grading plan shall be constructed and installed in conformance with the approved plans and specifications. The Building and Safety Department must inspect and approve the completed WQMP treatment control BMPs for your project before a building final can be obtained.

90.BS GRADE. 2 USE - WQMP BMP CERT REQ'D RECOMMND

Prior to final building inspection, the applicant/owner shall submit a "Wet Signed" copy of the Water Quality Management Plan (WQMP) Certification from a Registered Civil Engineer certifying that the project - specific WQMP treatment control BMPs have been installed in accordance with the approved WQMP.

90.BS GRADE. 3 USE - BMP GPS COORDINATES RECOMMND

Prior to final building inspection, the applicant/owner shall provide the Department of Building Safety with GPS coordinates for the location of the project - specific WQMP treatment control BMPs.

90.BS GRADE. 4 USE - BMP REGISTRATION RECOMMND

Prior to final building inspection, the applicant/owner shall register the project - specific WQMP treatment control BMPs with the Department of Building Safety Business Registration Division. Any person or entity that owns or operates a commercial and/or industrial facility shall register such facility for annual inspections.

90.BS GRADE. 5 USE - REQ'D GRADING INSP'S RECOMMND

The developer / applicant shall be responsible for obtaining the following inspections required by Ordinance 457.

1.Sub-grade inspection prior to base placement.

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90. PRIOR TO BLDG FINAL INSPECTION

90.BS GRADE. 5 USE - REQ'D GRADING INSP'S (cont.) RECOMMND

- 2.Base inspection prior to paving.
- 3.Precise grade inspection of entire permit area.
 - a.Inspection of Final Paving
 - b.Precise Grade Inspection
 - c.Inspection of onsite storm drain facilities
 - d.Inspection of the WQMP treatment control BMPs

90.BS GRADE. 6 USE - PRECISE GRDG APPROVAL RECOMMND

Prior to final building inspection, the applicant shall obtain precise grade approval and/or clearance from the Building and Safety Department. The Building and Safety Department must approve the precise grading of your project before a building final can be obtained. Precise Grade approval can be accomplished by complying with the following:

- 1.Requesting and obtaining approval of all required grading inspections.
- 2.Submitting a "Wet Signed" copy of the Soils Compaction Report from the Soils Engineer (registered geologist or certified geologist, civil engineer or geotechnical engineer as appropriate) for the sub-grade and base of all paved areas.
- 3.Submitting a "Wet Signed" copy of the Sub-grade (rough) Certification from a Registered Civil Engineer certifying that the sub-grade was completed in conformance with the approved grading plan.
- 4.Submitting a "Wet Signed" copy of the Precise (Final) Grade Certification for the entire site from a Registered Civil Engineer certifying that the precise grading was completed in conformance with the approved grading plan.
- 5.Submitting a "Wet Signed" copy of the Certification certifying the installation of any onsite storm drain systems not inspected by Riverside County Flood Control District or the Riverside County Transportation Department.
- 6.Submitting a "Wet Signed" copy of the Water Quality Management Plan (WQMP) Certification from a Registered Civil Engineer certifying that the Water Quality Management

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90. PRIOR TO BLDG FINAL INSPECTION

90.BS GRADE. 6 USE - PRECISE GRDG APPROVAL (cont.)

RECOMMND

Plan treatment control BMPs have been installed in accordance with the approved WQMP.

Prior to release for building final, the applicant shall have met all precise grade requirements to obtain Building and Safety Department clearance.

FIRE DEPARTMENT

90.FIRE. 1 USE-#45-FIRE LANES

RECOMMND

The applicant shall prepare and submit to the Fire Department for approval, a site plan designating required fire lanes with appropriate lane painting and/or signs.

90.FIRE. 2 USE-#66-DISPLAY BOARDS

RECOMMND

Display Boards will be as follows: Each complex shall have an illuminated diagrammatic representation of the actual layout which shows name of complex, all streets, building designators, unit members, and fire hydrant locations within dimension and located next to roadway access. The minimum size shall be no less than 4 feet x 4 feet.

90.FIRE. 3 USE-#12A-SPRINKLER SYSTEM

RECOMMND

Install a complete fire sprinkler system per NFPA 13 2010 edition in all buildings requiring a fire flow of 1500 GPM or greater. Sprinkler system(s) with pipe sizes in excess of 4" in diameter will require the project structural engineer to certify (wet signature) the stability of the building system for seismic and gravity loads to support the sprinkler system. All fire sprinkler risers shall be protected from any physical damage. The post indicator valve and fire department connection shall be located to the front, within 50 feet of a hydrant, and a minimum of 25 feet from the building(s). A statement that the building(s) will be automatically fire sprinkled must be included on the title page of the building plans.

Applicant or developer shall be responsible to install a U.L. Central Station Monitored Fire Alarm System. Monitoring system shall monitor the fire sprinkler system(s) water flow, P.I.V.'s and all control valves. Plans must be submitted to the Fire Department for

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90. PRIOR TO BLDG FINAL INSPECTION

90.FIRE. 3 USE-#12A-SPRINKLER SYSTEM (cont.) RECOMMND

approval prior to installation. Contact fire department for guideline handout

90.FIRE. 4 USE-#83-AUTO/MAN FIRE ALARM RECOMMND

Applicant or developer shall be responsible to install a manual and automatic Fire Alarm System. Plans must be submitted to the Fire Department for approval prior to installation.

90.FIRE. 5 USE-#27-EXTINGUISHERS RECOMMND

Install portable fire extinguishers with a minimum rating of 2A-10BC and signage. Fire Extinguishers located in public areas shall be in recessed cabinets mounted 48" (inches) to center above floor level with maximum 4" projection from the wall. Contact Fire Department for proper placement of equipment prior to installation.

90.FIRE. 6 USE-#36-HOOD DUCTS RECOMMND

(CLUBHOUSE)

A U.L. 300 hood duct fire extinguishing system must be installed over the cooking equipment. Wet chemical extinguishing system must provide automatic shutdown of all electrical componets and outlets under the hood upon activation. System must be installed by a licensed C-16 contractor. Plans must be submitted with current fee to the Fire Department for review and approval prior to installation.

NOTE: A dedicated alarm system is not required to be installed for the exclusive purpose of monitoring this suppression system. However, a new or pre-existing alarm system must be connected to the extinguishing system. (* separate fire alarm plans must be submitted for connection)

FLOOD RI DEPARTMENT

90.FLOOD RI. 3 USE IMPLEMENT WQMP RECOMMND

All structural BMPs described in the project-specific WQMP shall be constructed and installed in conformance with approved plans and specifications. It shall be demonstrated that the applicant is prepared to implement

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90.FLOOD RI. 3 USE IMPLEMENT WQMP (cont.)

RECOMMND

all non-structural BMPs described in the approved project specific WQMP and that copies of the approved project-specific WQMP are available for the future owners/occupants. The District will not release occupancy permits for any portion of the project exceeding 80% of the project area prior to the completion of these tasks.

90.FLOOD RI. 4 USE BMP MAINTENANCE & INSPECT

RECOMMND

The BMP maintenance plan shall contain provisions for all treatment controlled BMPs to be inspected, and if required, cleaned no later than October 15 each year. Required documentation shall identify the entity that will inspect and maintain all structural BMPs within the project boundaries. A copy of all necessary documentation shall be submitted to the District for review and approval prior to the issuance of occupancy permits.

PLANNING DEPARTMENT

90.PLANNING. 1 GEN - CULTURAL RESOURCES RPT

RECOMMND

Prior to final inspection of the first building permit, the developer/permit holder shall prompt the Cultural Resources Professional to submit two (2) copies of a Phase IV Cultural Resources Monitoring Report that complies with the Riverside County Planning Department's requirements for such reports. The report shall include evidence of the required cultural/historical sensitivity training for the construction staff held during the pre-grade meeting. The Planning Department shall review the report to determine adequate mitigation compliance. Provided the report is adequate, the Planning Department shall clear this condition.

90.PLANNING. 2 USE - LC LNDSCP INSPECT DEPOST

RECOMMND

Prior to building permit final inspection, the developer/permit holder shall file an Inspection Request Form and deposit sufficient funds to cover the costs of Installation, Six Month Establishment, and One Year Post-Establishment inspections. In the event that an open landscape case is not available, then the applicant shall open a FEE ONLY case to conduct inspections. The deposit required for landscape inspections shall be determined by the Riverside County Landscape Division. The Planning

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90. PRIOR TO BLDG FINAL INSPECTION

90.PLANNING. 2 USE - LC LNDSCP INSPECT DEPOST (cont.) RECOMMND

Department shall clear this condition upon determination of compliance.

90.PLANNING. 3 USE - LC COMPLY W/ LNDSCP/ IRR RECOMMND

The developer/permit holder shall coordinate with their designated landscape representative and the Riverside County Planning Department's landscape inspector to ensure all landscape planting and irrigation systems have been installed in accordance with APPROVED EXHIBITS, landscaping, irrigation, and shading plans. The Planning Department will ensure that all landscaping is healthy, free of weeds, disease and pests; and, irrigation systems are properly constructed and determined to be in good working order. The developer/permit holder's designated landscape representative and the Riverside County Planning Department's landscape inspector shall determine compliance with this condition and execute a Landscape Certificate of Completion. Upon determination of compliance, the Planning Department shall clear this condition.

90.PLANNING. 4 USE - MITIGATION MONITORING RECOMMND

The permit holder shall prepare and submit a written report to the Riverside County Planning Department demonstrating compliance with all remaining conditions of approval and mitigation measures of this permit and E.A. No. 42406. The Planning Director may require inspection or other monitoring to ensure such compliance.

90.PLANNING. 6 USE - MINIMUM FLOOR AREA RECOMMND

All dwelling units shall have a minimum floor living area of not less than 750 square feet. All buildings and structures shall comply with approved construction plans that are designed in accordance with this condition.

90.PLANNING. 7 USE - COLOR/FINISH COMPLIANCE RECOMMND

The permittee shall properly install approved color and finish products in accordance with these conditions of approval and as shown on approved EXHIBIT B.

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90. PRIOR TO BLDG FINAL INSPECTION

90. PLANNING. 8 USE - COMPLY W/ ACOUSTIC STUDY RECOMMND

The permit holder shall construct and design the project in compliance with the recommendations of an approved acoustical study, as reviewed and, as the case may be, modified by the department of Environmental Health, Office of Industrial Hygiene and approved by the Planning Department.

The permit holder may be required to submit to the Planning Department a written certification from a state licensed professional that the project was constructed in compliance with the recommendations of the approved acoustical study.

The Planning Department may require further inspection by county staff to assure project compliance with this condition of approval.

90. PLANNING. 9 USE - PARKING PAVING MATERIAL RECOMMND

A minimum of two hundred and fifteen (215) parking spaces shall be provided as shown on the APPROVED EXHIBIT A, unless otherwise approved by the Planning Department. The parking area shall be surfaced with asphaltic concrete or concrete to current standards as approved by the Department of Building and Safety.

90. PLANNING. 10 USE - ACCESSIBLE PARKING RECOMMND

A minimum of five (5) accessible parking spaces for persons with disabilities shall be provided as shown on APPROVED EXHIBIT A. Each parking space reserved for persons with disabilities shall be identified by a permanently affixed reflectorized sign constructed of porcelain on steel, beaded text or equal, displaying the International Symbol of Accessibility. The sign shall not be smaller than 70 square inches in area and shall be centered at the interior end of the parking space at a minimum height of 80 inches from the bottom of the sign to the parking space finished grade, or centered at a minimum height of 36 inches from the parking space finished grade, ground, or sidewalk. A sign shall also be posted in a conspicuous place, at each entrance to the off-street parking facility, not less than 17 inches by 22 inches, clearly and conspicuously stating the following:

"Unauthorized vehicles not displaying distinguishing placards or license plates issued for physically handicapped persons may be towed away at owner's expense. Towed vehicles may be reclaimed at ___ or by telephoning

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90.PLANNING. 10 USE - ACCESSIBLE PARKING (cont.) RECOMMND

___."

In addition to the above requirements, the surface of each parking space shall have a surface identification sign duplicating the symbol of accessibility in blue paint of at least 3 square feet in size.

90.PLANNING. 11 USE - COVERED PARKING SPACES RECOMMND

A minimum of thirty six parking spaces (36) shall be covered by a carport or enclosed garage.

90.PLANNING. 14 USE - LIGHTING PLAN COMPLY RECOMMND

All street lights and other outdoor lighting shall be shown on electrical plans submitted to the Department of Building and Safety for plan check approval and shall comply with the requirements of Riverside County Ordinance No. 655 and the Riverside County Comprehensive General Plan.

90.PLANNING. 16 USE - NO ROOF EQUIPMENT RECOMMND

Roof-mounted equipment for residential units shall not be permitted within the project site.

90.PLANNING. 18 USE - UTILITIES UNDERGROUND RECOMMND

All utilities, except electrical lines rated 33 kV or greater, shall be installed underground. If the permittee provides to the Department of Building and Safety and the Planning Department a definitive statement from the utility provider refusing to allow underground installation of the utilities they provide, this condition shall be null and void with respect to that utility.

90.PLANNING. 19 USE - CURBS ALONG PLANTERS RECOMMND

A six inch high curb with a twelve (12) inch wide walkway shall be constructed along planters on end stalls adjacent to automobile parking areas. Public parking areas shall be designed with permanent curb, bumper, or wheel stop or similar device so that a parked vehicle does not overhang required sidewalks, planters, or landscaped areas.

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90.PLANNING. 22 USE - TRASH ENCLOSURES

RECOMMND

Five (5) trash enclosures which are adequate to enclose a minimum of two (2) bins shall be located as shown on the APPROVED EXHIBIT A, and shall be constructed prior to the issuance of occupancy permits. The enclosures shall be a minimum of six (6) feet in height and shall be made with masonry block and a solid gate which screens the bins from external view. Additional enclosed area for collection of recyclable materials shall be located within, near or adjacent to each trash and rubbish disposal area. The recycling collection area shall be a minimum of fifty percent (50%) of the area provided for the trash/rubbish enclosures or as approved by the Riverside County Waste Management Department. All recycling bins shall be labeled with the universal recycling symbol and with signage indicating to the users the type of material to be deposited in each bin.

90.PLANNING. 26 USE - WALL & FENCE LOCATIONS

RECOMMND

Wall and/or fence locations shall be in conformance with APPROVED EXHIBIT W the approved fencing plan.

90.PLANNING. 28 USE - CONDITION COMPLIANCE

RECOMMND

The Department of Building and Safety shall verify that the Development Standards of this approval and all other preceding conditions have been complied with prior to any use allowed by this permit.

90.PLANNING. 30 USE - POOL AND SPA FENCING

RECOMMND

All swimming pools and spas shall be properly enclosed with minimum five (5) foot high fencing and self-latching gates as required by the state building code (Title 24), notwithstanding any other provisions of Ordinance No. 421 to the contrary. Commercial/Public Swimming pools and spas shall provide or access by physically-handicapped persons.]

90.PLANNING. 32 USE - SKR FEE CONDITION

RECOMMND

Prior to the issuance of a certificate of occupancy, or upon building permit final inspection, whichever comes first, the applicant shall comply with the provisions of Riverside County Ordinance No. 663, which generally requires the payment of the appropriate fee set forth in that ordinance.

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90.PLANNING. 32 USE - SKR FEE CONDITION (cont.)

RECOMMND

The amount of the fee required to be paid may vary, depending upon a variety of factors, including the type of development application submitted and the applicability of any fee reduction or exemption provisions contained in Riverside County Ordinance No. 663. Said fee shall be calculated on the approved development project which is anticipated to be 6.71 acres (gross) in accordance with APPROVED EXHIBIT A. If the development is subsequently revised, this acreage amount may be modified in order to reflect the revised development project acreage amount. In the event Riverside County Ordinance No. 663 is rescinded, this condition will no longer be applicable. However, should Riverside County Ordinance No. 663 be rescinded and superseded by a subsequent mitigation fee ordinance, payment of the appropriate fee set forth in that ordinance shall be required.

90.PLANNING. 33 USE - ORD 810 O S FEE (2)

RECOMMND

Prior to the issuance of a certificate of occupancy, whichever comes first, the applicant shall comply with the provisions of Riverside County Ordinance No. 810, which requires the payment of the appropriate fee set forth in the Ordinance. The amount of the fee will be based on the "Project Area" as defined in the Ordinance and the aforementioned Condition of Approval. The Project Area for Plot Plan No. 24778 is calculated to be 6.71 net acres. In the event Riverside County Ordinance No. 810 is rescinded, this condition will no longer be applicable. However, should Riverside County Ordinance No. 810 be rescinded and superseded by a subsequent mitigation fee ordinance, payment of the appropriate fee set forth in that ordinance shall be required.

90.PLANNING. 34 USE - EASEMENT

RECOMMND

Prior to the final building inspection for the first structure proposed for the Plot Plan (not the neighboring library), an joint use access easement between the library and the appartment complex shall be recorded.

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TRANS DEPARTMENT

90.TRANS. 1 USE - WRCOG TUMF

RECOMMND

Prior to the issuance of an occupancy permit, the project proponent shall pay the Transportation Uniform Mitigation Fee (TUMF) in accordance with the fee schedule in effect at the time of issuance, pursuant to Ordinance No. 824.

90.TRANS. 2 USE STREETLIGHT AUTHORIZATION

RECOMMND

Prior to OCCUPANCY, the project proponent shall submit to Transportation Department Permits the following:

1. "Streetlight Authorization" form approved by L&LMD No. 89-1-C Administrator.
2. Letter establishing interim energy account from SCE, IID or other electric provider.

90.TRANS. 3 USE - STREETLIGHTS INSTALL

RECOMMND

Install streetlights along the streets associated with development in accordance with the approved street lighting plan and standards of County Ordinance 461.

Streetlight annexation into L&LMD or similar mechanism as approved by the Transportation Department shall be completed.

It shall be the responsibility of the developer to ensure that streetlights are energized along the streets associated with this development where the developer is seeking Building Final Inspection (Occupancy).

90.TRANS. 4 USE - UTILITY INSTALL

RECOMMND

Electrical power, telephone, communication, street lighting, and cable television lines shall be placed underground in accordance with Ordinance 461, or as approved by the Transportation Department. This also applies to existing overhead lines which are 33.6 kilovolts or below along the project frontage and between the nearest poles offsite in each direction of the project site.

A certificate should be obtained from the pertinent utility company and submitted to the Department of Transportation as proof of completion.

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90.TRANS. 5 USE - ANNEX L&LMD/OTHER DIST

RECOMMND

Prior to issuance of an occupancy permit, the project proponent shall complete annexation to Landscaping and Lighting Maintenance District No. 89-1-Consolidated, and/or any other maintenance district approved by the Transportation Department or by processing and filing a 'Landscape Maintenance Agreement' through the Transportation Department Plan Check Division for continuous maintenance within public road rights-of-way, in accordance with Ordinance 461, Comprehensive Landscaping Guidelines & Standards, and Ordinance 859. Said annexation should include the following:

- (1) Landscaping along Center Street.
- (2) Streetlights.
- (3) Street sweeping.

90.TRANS. 6 USE - LANDSCAPING COMM/IND

RECOMMND

Landscaping within public road right-of-way shall comply with Transportation Department standards and Ordinance 461 and shall require approval by the Transportation Department. Landscaping shall be improved within Center Street.

Assurance of continuous maintenance is required by processing and filing a 'Landscape Maintenance Agreement' through the Transportation Department Plan Check Division; or if desired the developer may file an application for annexation into Landscaping and Lighting Maintenance District No. 89-1-Consolidated by contacting the Transportation Department at (951) 955-6767.

90.TRANS. 7 USE - EXISTING CURB & GUTTER

RECOMMND

On existing curb and gutter, new driveway, closure of existing driveways, and drainage devices within County right-of-way, including sewer and water laterals, on Center Street and Michigan Avenue, shall be constructed within the dedicated right-of-way in accordance with County Standards, Ordinance 461. Such construction shall be shown on existing street improvement plans and profile No. 903-C and approved and permitted by the Transportation Department. Process a plan revision through the Plan Check Section per Section I, Part E, page 10 of the "Policies and Guidelines"

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90.TRANS. 7

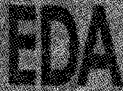
USE - EXISTING CURB & GUTTER (cont.)

RECOMMND

available on the Internet at:

www.tlma.co.riverside.ca.us/trans/land_dev_plan_check_guide_lines.html. If you have questions, please call the Plan Check Section at (951) 955-6527.

- NOTE: 1. The driveway shall be constructed in accordance with County Standard No. 207A.
2. The proposed gate on Michigan Avenue shall be installed behind the road right-of-way.



Fast Track Authorization

Case No. _____

FTA No. 2010-10

SUPERVISOR: Marion Ashley

SUPERVISORIAL DISTRICT: 5

Company/Developer: Workforce Homebuilders, LLC

Contact: Darryl Brown

Address: 3500 Ulaia Avenue, Suite 173, Rancho Cucamonga, CA 91730

Phone: (909) 987-9191

Fax: (909) 987-9181

Email: drown@workforcehomebuilders.com

Architectural Firm: William Hezmalhalah

Contact: Chris Williams

Address: 2850 Redhill Avenue, Suite 200, Santa Ana, CA 92705

Phone: (949) 250-0607

Fax: (949) 250-1579

Email: chrisw@whaine.com

Engineering Firm: Goodman & Associates

Contact: Douglas Goodman

Address: 2907 Sky View Drive, Colton, CA 92724

Phone: (909) 824-2775

Fax: (909) 824-2807

Email: doug@goodman-assoc.com

Land Use Application(s): General Plan Amendment Conditional Use Permit Change of Zone

Plot Plan Parcel Map Other _____

Site Information:

Assessor's Parcel Number(s): 255-070-013

Cross Streets/Address: Michigan and Center

Land Use Designation: MDR

Zoning: R1

Site Acreage: 6.71

Redevelopment Project Area Sub-Area: Highgrove Sub-Area

Unincorporated Community: Highgrove

Project Information (Estimate Amounts):

Eligibility Criteria: Full Time Jobs Capital Investment Annual Taxable Sales Board of Supervisors Child Care

Workforce Housing Other _____

Permanent Full-Time Jobs: 6

Wages per Hour: \$10.20

Construction Jobs: 325

Capital Investment: \$20,000,000

Taxable Sales: \$0

Bldg Size: 91,000

Project Type:

Commercial

Industrial

Office

Residential

Other _____

Industrial Classification: N/A

Commercial Classification: N/A

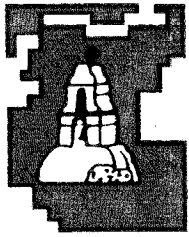
Project Description:

Development shall consist of 89-unit affordable family apartment complex (for those earning less than 60% of AMI). Complex will be 2 and 3-bedroom units with a leasing office/rec building, pool, I-pa garages, BBQs, and other community amenities.

The Economic Development Agency (EDA) hereby acknowledges that the above referenced development warrants special consideration relative to the permit processing as required by the County of Riverside, and encourages the affected County agencies to immediately institute "FAST TRACK" procedures to enable the project to proceed as soon as possible, in accordance with Board Fast Track Policy A-32. This Authorization contains preliminary project information and serves as a basis for determining "FAST TRACK" eligibility. During the county's development review process, the proposed project size and configuration may be altered.

Dan Martinez, Managing Director of EDA

7-12-10
Date



PALA BAND OF MISSION INDIANS

Tribal Historic Preservation Office

35008 Pala Temecula Rd. PMB 445

Pala, CA 92059

Ph: (760) 891-3591
Fax: (760) 742-4543

May 12, 2011

Matt Straite
Riverside County Planning Dept
4080 Lemon St.
Riverside, CA 92502

Re: GPA No 1105 (Fast Track No. 2010-10)

Dear Mr. Straite,

The Pala Band of Mission Indians Tribal Historic Preservation Office has received your notification of the project referenced above. This letter constitutes our response on behalf of Robert Smith, Tribal Chairman.

We have consulted our maps and determined that the project as described is not within the boundaries of the recognized Pala Indian Reservation. The project is also beyond the boundaries of the territory that the tribe considers its Traditional Use Area (TUA). Therefore, we have no objection to the continuation of project activities as currently planned and we defer to the wishes of Tribes in closer proximity to the project area.

We appreciate involvement with your initiative and look forward to working with you on future efforts. If you have questions or need additional information, please do not hesitate to contact me by telephone at 760-891-3515 or by e-mail at sgaughen@palatribe.com.

Sincerely,

Shasta C. Gaughen, MA
Tribal Historic Preservation Officer
Pala Band of Mission Indians

ATTENTION: THE PALA TRIBAL HISTORIC PRESERVATION OFFICE IS RESPONSIBLE FOR ALL REQUESTS FOR CONSULTATION. PLEASE ADDRESS CORRESPONDENCE TO **SHASTA C. GAUGHEN** AT THE ABOVE ADDRESS. IT IS NOT NECESSARY TO ALSO SEND NOTICES TO PALA TRIBAL CHAIRMAN ROBERT SMITH.

May 17, 2011

Attn: Matt Straite, Project Planner
County of Riverside
P.O. Box 1409
4080 Lemon Street, 12th Floor
Riverside, CA 92502-1409



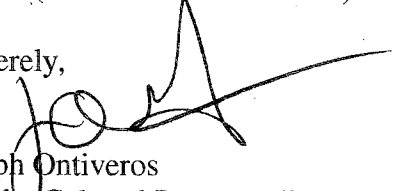
**Re: Native American Consultation for General Plan Amendment No. 1105
(Fast Tract No. 2010-10) and Request for Shortened tribal Response Deadline**

The Soboba Band of Luiseño Indians appreciates your observance of Tribal Cultural Resources and their preservation in your project. The information provided to us on said project has been assessed through our Cultural Resource Department, where it was concluded that although it is outside the existing reservation, the project area does fall within the bounds of our Tribal Traditional Use Areas. This project location is in close proximity to known village sites and is a shared use area that was used in ongoing trade between the Luiseno and Cahuilla tribes. Therefore it is regarded as highly sensitive to the people of Soboba.

Soboba Band of Luiseño Indians is requesting the following:

1. **Government to Government** consultation in accordance to SB18. Including the transfer of information to the Soboba Band of Luiseno Indians regarding the progress of this project should be done as soon as new developments occur.
2. Soboba Band of Luiseño Indians continue to be a lead consulting tribal entity for this project.
3. Working in and around traditional use areas intensifies the possibility of encountering cultural resources during the construction/excavation phase. For this reason the Soboba Band of Luiseño Indians requests that Native American Monitor(s) from the Soboba Band of Luiseño Indians Cultural Resource Department to be present during any ground disturbing proceedings. Including surveys and archaeological testing.
4. Request that proper procedures be taken and requests of the tribe be honored
(Please see the attachment)

Sincerely,


Joseph Ontiveros
Soboba Cultural Resource Department
P.O. Box 487
San Jacinto, CA 92581
Phone (951) 654-5544 ext. 4137
Cell (951) 663-5279
jontiveros@soboba-nsn.gov

Cultural Items (Artifacts). Ceremonial items and items of cultural patrimony reflect traditional religious beliefs and practices of the Soboba Band. The Developer should agree to return all Native American ceremonial items and items of cultural patrimony that may be found on the project site to the Soboba Band for appropriate treatment. In addition, the Soboba Band requests the return of all other cultural items (artifacts) that are recovered during the course of archaeological investigations. Where appropriate and agreed upon in advance, Developer's archeologist may conduct analyses of certain artifact classes if required by CEQA, Section 106 of NHPA, the mitigation measures or conditions of approval for the Project. This may include but is not limited or restricted to include shell, bone, ceramic, stone or other artifacts.

The Developer should waive any and all claims to ownership of Native American ceremonial and cultural artifacts that may be found on the Project site. Upon completion of authorized and mandatory archeological analysis, the Developer should return said artifacts to the Soboba Band within a reasonable time period agreed to by the Parties and not to exceed (30) days from the initial recovery of the items.

Treatment and Disposition of Remains

- A. The Soboba Band shall be allowed, under California Public Resources Code § 5097.98 (a), to (1) inspect the site of the discovery and (2) make determinations as to how the human remains and grave goods shall be treated and disposed of with appropriate dignity.
- B. The Soboba Band, as MLD, shall complete its inspection within twenty-four (24) hours of receiving notification from either the Developer or the NAHC, as required by California Public Resources Code § 5097.98 (a). The Parties agree to discuss in good faith what constitutes "appropriate dignity" as that term is used in the applicable statutes.
- C. Reburial of human remains shall be accomplished in compliance with the California Public Resources Code § 5097.98 (a) and (b). The Soboba Band, as the MLD in consultation with the Developer, shall make the final discretionary determination regarding the appropriate disposition and treatment of human remains.
- D. All parties are aware that the Soboba Band may wish to rebury the human remains and associated ceremonial and cultural items (artifacts) on or near, the site of their discovery, in an area that shall not be subject to future subsurface disturbances. The Developer should accommodate on-site reburial in a location mutually agreed upon by the Parties.

E. The term "human remains" encompasses more than human bones because the Soboba Band's traditions periodically necessitated the ceremonial burning of human remains. Grave goods are those artifacts associated with any human remains. These items, and other funerary remnants and their ashes are to be treated in the same manner as human bone fragments or bones that remain intact

Coordination with County Coroner's Office. The Lead Agencies and the Developer should immediately contact both the Coroner and the Soboba Band in the event that any human remains are discovered during implementation of the Project. If the Coroner recognizes the human remains to be those of a Native American, or has reason to believe that they are those of a Native American, the Coroner shall ensure that notification is provided to the NAHC within twenty-four (24) hours of the determination, as required by California Health and Safety Code § 7050.5 (c).

Non-Disclosure of Location Reburials. It is understood by all parties that unless otherwise required by law, the site of any reburial of Native American human remains or cultural artifacts shall not be disclosed and shall not be governed by public disclosure requirements of the California Public Records Act. The Coroner, parties, and Lead Agencies, will be asked to withhold public disclosure information related to such reburial, pursuant to the specific exemption set forth in California Government Code § 6254 (r).

Ceremonial items and items of cultural patrimony reflect traditional religious beliefs and practices of the Soboba Band. The Developer agrees to return all Native American ceremonial items and items of cultural patrimony that may be found on the project site to the Soboba Band for appropriate treatment. In addition, the Soboba Band requests the return of all other cultural items (artifacts) that are recovered during the course of archaeological investigations. Where appropriate and agreed upon in advance, Developer's archeologist may conduct analyses of certain artifact classes if required by CEQA, Section 106 of NHPA, the mitigation measures or conditions of approval for the Project. This may include but is not limited or restricted to include shell, bone, ceramic, stone or other artifacts.

MEMORANDUM

RIVERSIDE COUNTY ECONOMIC DEVELOPMENT AGENCY

Robert Field
Assistant County Executive Officer/EDA

TO: Matt Straite, Planning Department
CC: Tim Miller, Charles Waltman, Claudia Steiding, Darcy Kuenzi, Andy Frost,
Emilio Ramirez, Brenda Salas Freeman, Juan Garcia

FROM: **Redevelopment Agency**
Nicole Walker, Development Specialist

DATE: April 21, 2011

SUBJECT: **COMPREHENSIVE PLANNING REVIEW**
Comments

Case: Plot Plan 24778 [Affordable Housing Complex – Highgrove]

Site Visit: January 4, 2011

PROJECT DESCRIPTION AND LOCATION:

Plot Plan 24778 requests to construct an 89 unit low income housing complex in the community of Highgrove. Currently vacant, the project site consists of 7.43 acres located on the southwest corner of Center Street and Michigan Avenue. The zoning classification for the project site is One Family Dwellings (R-1) and the land use designation is Community Development: Medium Density Residential (CD: MDR). The existing surrounding land uses include single family residences to the north, south, and east of the project site, with single family residences and Highgrove Elementary School to the west. Concurrent planning case(s) include Change of Zone 7752, and Fast Track 2010-10.

REDEVELOPMENT PROJECT AREA(S)

The project is located in the I-215 Corridor Project Area (I-215; Highgrove sub-area).

REDEVELOPMENT AGENCY COMMENTS

The mission of the Redevelopment Agency (RDA) is to eliminate present blight and prevent the potential for future blight in, and ultimately add value to, all redevelopment project areas by recommending approval of projects that meet the highest standards of quality possible. This is of particular concern in the Highgrove sub-area where blighting conditions are still present. In addition, it is of absolute importance that all new development as well as any existing development proposed for approval in the Sub-area is designed to upgrade area aesthetics, eliminate blight and protect the health, safety and welfare of the residents of the community.

MEMORANDUM

RIVERSIDE COUNTY ECONOMIC DEVELOPMENT AGENCY

Robert Field
Assistant County Executive Officer/EDA

Comprehensive Planning Review Comments
Re: Plot Plan 24778
April 21, 2011
Page 2

Change of Zone 7752 involves changing the current zoning classification from R-1 to General Residential (R-3).

The elevations for the proposed residences are attractive. The designs comply with both the *Highgrove Design Guidelines (May 2010)* and the *Third and Fifth District Design Guidelines (October 2002)*.

The landscaping plan and plant palette comply with the *County of Riverside's Guide to California Friendly Landscaping (December 2009)*.

Per Ordinance 348, Section 18.12, the parking calculation for the proposed project is 2.5 parking spaces per two or more bedroom per dwelling unit (planned residential development) ($89 \times 2.5 = 222.5$ or 223 required spaces). The applicant proposes 239 parking stalls. The applicant also proposes seven (7) Americans with Disabilities Act (ADA) compliant stalls. The proposed project meets the minimum parking requirement.

The Redevelopment Agency has no further comments or concerns for the proposed project at this time.



Riverside County
Waste Management Department

Hans W. Kernkamp, General Manager-Chief Engineer

December 6, 2010

Matt Straite, Project Planner
Riverside County Planning Department
P. O. Box No. 1409
Riverside, CA 92502-1409

RE: Plot Plan (PP) No. 24778
Proposal: The PP proposes an 89-unit low income housing apartment complex
APN: 255-070-013

Dear Mr. Straite:

The Riverside County Waste Management Department (Department) has reviewed the proposed project located north of Spring Street on the southwest corner of Center Street and Michigan Avenue, in the Highgrove Area Plan. In order to mitigate the project's potential solid waste impacts and to help the County's efforts to comply with State law in diverting solid waste from landfill disposal, the Department is recommending that the following conditions be made a part of any Conditions of Approval for the project:

1. **Prior to issuance of a building permit**, the applicant shall submit three (3) copies of a Recyclables Collection and Loading Area plot plan to the Riverside County Waste Management Department for review and approval. The plot plan shall conform to ***Design Guidelines for Recyclables Collection and Loading Areas***, provided by the Waste Management Department, and shall show the location of and access to the collection area for recyclable materials, along with its dimensions and construction detail, including elevation/façade, construction materials and signage. The plot plan shall clearly indicate how the trash and recycling enclosures shall be accessed by the hauler.
2. **Prior to final building inspection**, the applicant shall construct the recyclables collection and loading area in compliance with the Recyclables Collection and Loading Area plot plan, as approved and stamped by the Riverside County Waste Management Department.
3. **Prior to issuance of a building permit**, A Waste Recycling Plan (WRP) shall be submitted to the Riverside County Waste Management Department for approval. At a minimum, the WRP must identify the materials (i.e., concrete, asphalt, wood, etc.) that will be generated by construction and development, the projected amounts, the measures/methods that will be taken to recycle, reuse, and/or reduce the amount of materials, the facilities and/or haulers that will be utilized, and the targeted recycling or reduction rate. During project construction, the project site shall have, at a minimum, two (2) bins: one for waste disposal and the other for the recycling of Construction and Demolition (C&D) materials. Additional bins are encouraged to be used for further source separation of C&D recyclable materials. Accurate record keeping (receipts) for recycling of C&D recyclable materials and solid waste disposal must be kept. Arrangements can be made through the franchise hauler.

4. **Prior to issuance of an occupancy permit**, evidence (i.e., receipts or other type of verification) to demonstrate project compliance with the approved WRP shall be presented by the project proponent to the Planning/Recycling Division of the Riverside County Waste Management Department in order to clear the project for occupancy permits. Receipts must clearly identify the amount of waste disposed and Construction and Demolition (C&D) materials recycled.
5. Hazardous materials are not accepted at Riverside County landfills. In compliance with federal, state, and local regulations and ordinances, any hazardous waste generated in association with the project shall be disposed of at a permitted Hazardous Waste disposal facility. Hazardous waste materials include, but are not limited to, paint, batteries, oil, asbestos, and solvents. For further information regarding the determination, transport, and disposal of hazardous waste, please contact the Riverside County Department of Environmental Health, Environmental Protection and Oversight Division, at 1.888.722.4234.
6. Use mulch and/or compost in the development and maintenance of landscaped areas within the project boundaries. Recycle green waste through either onsite composting of grass, i.e., leaving the grass clippings on the lawn, or sending separated green waste to a composting facility.
7. Consider xeriscaping and using drought tolerant/low maintenance vegetation in all landscaped areas of the project.

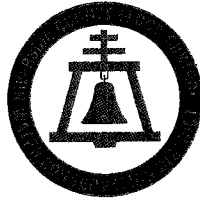
Thank you for the opportunity to review this proposal. If you have any questions, please call me at (951) 486-3200.

Sincerely,



Ryan Ross
Planner IV

WARREN D. WILLIAMS
General Manager-Chief Engineer



1995 MARKET STREET
RIVERSIDE, CA 92501
951.955.1200
FAX 951.788.9965
www.rcflood.org
134547

RIVERSIDE COUNTY FLOOD CONTROL
AND WATER CONSERVATION DISTRICT

December 14, 2010

Riverside County
Planning Department
County Administrative Center
4080 Lemon Street
Riverside, CA 92501

Attention: Matt Straite

Dear Mr. Straite:

Re: Change of Zone 07752
Area: Highgrove Area

We have reviewed this case and have the following comments:

The proposed zoning is consistent with existing flood hazards. Some flood control facilities or floodproofing may be required to fully develop to the implied density.

Questions concerning this matter may be referred to Tina Hanson of this office at 951.955.2511.

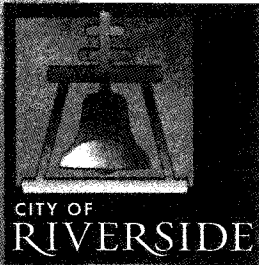
Very truly yours,

A handwritten signature in black ink, appearing to read 'Mekbib Degaga', is written over a horizontal line.

MEKBIB DEGAGA
Engineering Project Manager

c: PP 24778

TH:blj



Community Development
Department
Planning Division

February 14, 2011

Matt Straite, Project Planner
County of Riverside Planning Department
P. O. Box 1409
4080 Lemon Street, 9th Floor
Riverside CA, 92502-1409

SUBJECT: PLOT PLAN NO. 24798 AND EA 42412 – HIGHGROVE TWO-STORY RETAIL AND OFFICE BUILDING WITH LAUNDROMAT

Dear Mr. Straite:

Thank you for the opportunity to comment on the above-mentioned project, a Plot Plan (PP) and Environmental Assessment (EA) for the construction of an 8,766 square-foot, two-story retail and office building, including a 2,961 square-foot laundromat, on an 0.58-acre parcel located at the northwesterly corner of Center Street and Pacific Avenue in the Highgrove Community of the County of Riverside. Although not in an active annexation area, the proposed project lies within the potential Highgrove Annexation Area (Area B), well within the City's northern sphere of influence. City staff has reviewed the proposed plot plan and offers the following comments and concerns for your consideration:

- On October 21, 2008, the County Board of Supervisors approved Item 3.53, adopting the City of Riverside Citywide Design and Sign Guidelines (CDSG) to be applied to projects within the unincorporated area of Highgrove consistent with Item 4.1 of the Cities/County Memorandum of Understanding adopted on March 12, 2002. Per the Board of Supervisor's action, the CDSG takes precedence over the Countywide Design Standards and Guidelines adopted by the County for those unincorporated areas within the City of Riverside's sphere of influence. In evaluating the site design, architecture and signage of the proposed project, please review the project for consistency with the CDSG. Of particular concern is the proposed 27.5-foot high freestanding sign to be located on site, adjacent to the intersection of Center Street and Pacific Avenue. As outlined in the CDSG, freestanding signs should be small in scale and designed to complement the primary building(s). Furthermore, the plans submitted for review indicate minimal landscape setbacks along the street frontage, which is inconsistent with the parking lot landscaping design guidelines of the CDSG. Please refer to the CDSG at:
http://www.riversideca.gov/planning/20080909/DG/Citywide_Design_and_Sign_Guidelines-OK.pdf
- The plans submitted to the City for review indicate that this project will have sewer service. It is vital that that the County condition for and ensure that sewer service be provided for the project

Outside Agency Review
County of Riverside – Highgrove Retail and Office Building
Page 1 of 2

since the project site is located in a very sensitive area, where septic system failure has been found to be a common problem as a result of poor soil quality. Onsite septic systems are one of many known contributors of pathogens, salts, nutrients (nitrogen and phosphorus), and organic compounds to groundwater and, therefore, should not be permitted. In accordance with the Agreement for Wastewater Treatment for Highgrove Community executed between the County and City on June 22, 2004, this project shall make all necessary provisions for connection to the Highgrove area public sewer system and pay the all capacity charges based on the appropriate user category. Installation of any sewer facilities required to complete the connection to the public sewer shall be subject to permitting and inspection by the City of Riverside Public Works Department.

- The plans submitted to the City for review indicate that water service will be provided to this project by the City of Riverside Public Utilities (RPU) Department. The proposed commercial project will need to comply with all RPU Water Division Rules and Regulations.

City staff appreciates your collaboration on this project and looks forward to continue working alongside the property owner and County staff. Please forward copies of any updated plans and environmental documents as they become available to the Planning Division for further review. Should you have any questions regarding this letter, please feel free to contact Gus Gonzalez, Associate Planner, at (951) 826-5277 or ggonzalez@riversideca.gov.

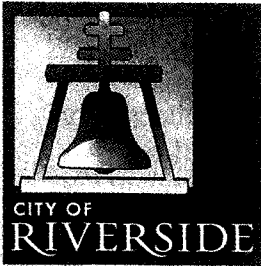
Sincerely,



Ken Gutierrez, AICP
Planning Director

cc: Ronald Loveridge, Mayor
Riverside City Council Members
Brad Hudson, City Manager
Belinda Graham, Assistant City Manager
Kristi Smith, Supervising Deputy City Attorney
Scott Barber, Community Development Director
Siobhan Foster, Public Works Director
Tom Boyd, Deputy Public Works Director/City Engineer
Steve Libring, Traffic Engineer
David H. Wright, Public Utilities General Manager
Kevin Milligan, Utilities Assistant General Manager/Water
Max Rasouli, Water Resources Manager
Oscar Khoury, Principal Water Engineer
Supervisor Marion Ashley, 4080 Lemon St., 5th Floor, Riverside CA, 92502-1527
Carolyn Syms Luna, Planning Director, 4080 Lemon St., 9th Floor, Riverside, CA 92502-1409

DEC 27 2010



Community Development Department
Code Enforcement Division

December 22, 2010

Matt Straite, Project Planner
County of Riverside Planning Department
P. O. Box 1409
4080 Lemon Street, 9th Floor
Riverside CA, 92502-1409

**SUBJECT: CHANGE OF ZONE NO. 7752 AND PLOT PLAN NO. 24778 –
WORKFORCE APARTMENTS**

Dear Mr. Straite:

Thank you for the opportunity to comment on the above-mentioned project, a Change of Zone (CZ) and Plot Plan (PP) for the construction of an 89-unit low income apartment complex with recreational amenities on a 6.71 acre site in the Highgrove Community of the County of Riverside. The proposed project is located northerly of Spring Street, easterly of Garfield Avenue, southerly of Center Street, and westerly of Michigan Avenue, immediately adjacent to the proposed new Highgrove Library. Although not in an active annexation area, the proposed project lies within the potential Highgrove Annexation Area (Area B), well within the City's northern sphere of influence. City staff has reviewed the proposed plot plan and offers the following comments and concerns for your consideration:

- The City's General Plan 2025 land use designation for the site is Very Low Density Residential (VLDR). The VLDR land use designation is intended for the development of single-family homes at a maximum density of 2 dwelling units per acre. The County's current general plan land use designation is Medium Density Residential and its current zoning designation is R-1 (One-Family Dwelling). Both the County's current general plan land use and zoning designations are consistent with the City's general plan land use designation.

A component of this proposal intends to change the County's current zoning designation for the site from the R-1 to the R-3 (General Residential) Zone, allowing for the proposed multiple-family residential apartment project. In terms of land use, City staff has no objections to a multiple-family residential project at the proposed location. However, the higher density zoning necessary for the project to occur is inconsistent with both the City and County General Plan land use designations for the area. This further underscores the

Outside Agency Review
County of Riverside – Workforce Apartments
Page 1 of 3

need to work collaboratively to resolve land use inconsistencies and to comprehensively plan for land use in the Highgrove Area rather than a piecemeal manner. City staff remains concerned about land use changes that increase the land use density above those planned for by both the City and County General Plans, given the potential impacts (i.e., traffic, utilities, sewer, etc.) that may result. On July 28, 2010, City staff, County staff, and the applicants for the both this project and the Spring Street Apartments project met to discuss these proposals. At that time City and County staff reaffirmed their commitment to work with all stakeholders to resolve these inconsistencies and address these concerns.

- On October 21, 2008, the County Board of Supervisors approved Item 3.53, adopting the City of Riverside Citywide Design and Sign Guidelines (CDSG) to be applied to projects within the unincorporated area of Highgrove consistent with Item 4.1 of the Cities/County Memorandum of Understanding adopted on March 12, 2002. Per the Board of Supervisor's action, the CDSG takes precedence over the Countywide Design Standards and Guidelines adopted by the County for those unincorporated areas within the City of Riverside's sphere of influence. In evaluating the site design and architecture of the proposed project, please review the project for consistency with the CDSG. Please refer to the CDSG at: http://www.riversideca.gov/planning/2008-0909/DG/Citywide_Design_and_Sign_Guidelines-OK.pdf
- This project meets the minimum threshold established by the Riverside County Transportation and Land Management Agency's guidelines for requiring the preparation of a traffic impact analysis as part of the forthcoming environmental document. As such, a traffic impact analysis that appropriately evaluates and mitigates traffic impacts is needed. City staff requests that a copy of the completed traffic impact analysis be provided to the City's Public Works Department for review and comment when it becomes available.
- The plans submitted to the City for review indicate that this project will have sewer service. It is vital that the County condition for and ensure that sewer service be provided for the project since the project site is located in a very sensitive area, where septic system failure has been found to be a common problem as a result of poor soil quality. Onsite septic systems are one of many known contributors of pathogens, salts, nutrients (nitrogen and phosphorus), and organic compounds to groundwater. Where sewer service cannot be provided, any project requiring the use of a septic system in this area must provide an environmental analysis that adequately evaluates and mitigates for all potential impacts to groundwater quality.
- The proposed project is adjacent to the Gage Canal and given its importance as a historic resource, the City's Historic Preservation Officer recommends that the forthcoming environmental document adequately evaluates and mitigates for all potential impacts this proposed project would have on this resource.

City staff appreciates your collaboration on this project and looks forward to continue working alongside Workforce Homebuilders, LLC and County staff. Please forward copies of any updated plans and environmental documents as they become available to the Planning Division for further review. Should you have any questions regarding this letter, please feel free to contact Moises A. Lopez, Associate Planner, at (951) 826-5264 or mlopez@riversideca.gov.

Sincerely,



Ken Gutierrez, AICP
Planning Director

cc: Ronald Loveridge, Mayor
Riverside City Council Members
Brad Hudson, City Manager
Belinda Graham, Assistant City Manager
Kristi Smith, Supervising Deputy City Attorney
Scott Barber, Community Development Director
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David H. Wright, Public Utilities General Manager
Kevin Milligan, Utilities Assistant General Manager/Water
Max Rasouli, Water Resources Manager
Supervisor Marion Ashley, 4080 Lemon Street, 5th Floor, Riverside CA, 92502-1527
Carolyn Syms Luna, Planning Director, 4080 Lemon Street, 9th Floor, Riverside, CA
92502-1409
Workforce Homebuilders, LLC, 8300 Utica Avenue, Suite 173, Rancho Cucamonga, CA
91730

COUNTY OF RIVERSIDE
TRANSPORTATION AND LAND MANAGEMENT AGENCY
Planning Department
Ron Goldman - Planning Director

**APPLICATION FOR AMENDMENT TO THE
RIVERSIDE COUNTY GENERAL PLAN**

SECTIONS I, II, AND VI BELOW MUST BE COMPLETED FOR ANY AMENDMENT TO THE AREA PLAN MAPS OF THE GENERAL PLAN.

FOR OTHER TYPES OF AMENDMENTS, PLEASE CONSULT PLANNING DEPARTMENT STAFF FOR ASSISTANCE PRIOR TO COMPLETING THE APPLICATION.

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED.

CASE NUMBER: GPA 0105 DATE SUBMITTED: June 30, 2010

I. GENERAL INFORMATION

APPLICATION INFORMATION

Applicant's Name: Workforce Homebuilders LLC E-Mail: dbrown@workforcehomebuilders.com

Mailing Address: 8300 Utica Ave, Ste. 173
Rancho Cucamonga Street
CA 91730
CityStateZIP

Daytime Phone No: (909) 987-9191 Fax No: (909) 987-9181

Engineer/Representative's Name: Douglas Goodman E-Mail: doug@goodman-assoc.ca

Mailing Address: 2079 Sky View Dr.
Colton Street
CA 92324
CityStateZIP

Daytime Phone No: (909) 824-2775 Fax No: (909) 824-2807

Property Owner's Name: RDA for the Cty. of Riverside E-Mail: emilioramirez@rivcoeda.org

Mailing Address: 3408 Tenth St., Suite 500
Riverside Street
CA 92501
CityStateZIP

Daytime Phone No: (951) 955-3422 Fax No: (951) 955-3426

If the property is owned by more than one person, attach a separate page that reference the application case number and lists the names, mailing addresses, and phone numbers of all persons having an interest in the real property or properties involved in this application.

APPLICATION FOR AMENDMENT TO THE RIVERSIDE COUNTY GENERAL PLAN

The Planning Department will primarily direct communications regarding this application to the person identified above as the Applicant. The Applicant may be the property owner, representative, or other assigned agent.

AUTHORIZATION FOR CONCURRENT FEE TRANSFER

The signature below authorizes the Planning Department and TLMA to expedite the refund and billing process by transferring monies among concurrent applications to cover processing costs as necessary. Fees collected in excess of the actual cost of providing specific services will be refunded. If additional funds are needed to complete the processing of your application, you will be billed, and processing of the application will cease until the outstanding balance is paid and sufficient funds are available to continue the processing of the application. The applicant understands the deposit fee process as described above, and that there will be NO refund of fees which have been expended as part of the application review or other related activities or services, even if the application is withdrawn or the application is ultimately denied.

All signatures must be originals ("wet-signed"). Photocopies of signatures are ~~not~~ acceptable.

D. Anthony Mize, President

PRINTED NAME OF APPLICANT

SIGNATURE OF APPLICANT

AUTHORITY FOR THIS APPLICATION IS HEREBY GIVEN:

I certify that I am/we are the record owner(s) or authorized agent and that the information filed is true and correct to the best of my knowledge. An authorized agent must submit a letter from the owner(s) indicating authority to sign the application on the owner's behalf.

All signatures must be originals ("wet-signed"). Photocopies of signatures are ~~not~~ acceptable.

Redevelopment Agency for the Cty. of Riverside

PRINTED NAME OF PROPERTY OWNER(S)

SIGNATURE OF PROPERTY OWNER(S)

c/o Emilio Ramirez, Assistant Director of EDA

PRINTED NAME OF PROPERTY OWNER(S)

SIGNATURE OF PROPERTY OWNER(S)

If the subject property is owned by persons who have not signed as owners above, attach a separate sheet that references the application case number and lists the printed names and signatures of all persons having an interest in the pro perty.

PROPERTY INFORMATION:

Assessor's Parcel Number(s): 255-070-013-1

Section: 8 Township: 2 S Range: 4 W

Approximate Gross Acreage: 6.71 acres project acreage (7.43 total site acreage)

General location (nearby or cross streets): North of Spring, South of Center, East of Garfield, West of Michigan.

APPLICATION FOR AMENDMENT TO THE RIVERSIDE COUNTY GENERAL PLAN

Thomas Brothers map, edition year, page number, and coordinates: 2008-646 D6

Existing Zoning Classification(s): R-1

Existing Land Use Designation(s): MDR

Proposal (describe the details of the proposed general plan amendment):

To change the existing general plan designation of Parcel from residential (R-1) and medium density residential (MDR) to residential (R-3) high density residential (HDR) to build a two (2)-story eighty-nine unit affordable rental development for families.

Related cases filed in conjunction with this request:

Change of Zone application and Application for Land Use and Development-Plot Plan

Has there been previous development applications (parcel maps, zone changes, plot plans, etc.) filed on the project site? Yes No

Case Nos. _____

E.A. Nos. (if known) _____ E.I.R. Nos. (if applicable): _____

Name of Company or District serving the area the project site is located (if none, write "none.")		Are facilities/services available at the project site?	
		Yes	No
Electric Company	City of Riverside	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Gas Company	Southern California Gas Company	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Telephone Company	AT & T	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Water Company/District	City of Riverside	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Sewer District	City of Riverside	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Is water service available at the project site: Yes No

If "No," how far away are the nearest available water line(s)? (No of feet/miles) _____

Is sewer service available at the site? Yes No

If "No," how far away are the nearest available sewer line(s)? (No. of feet/miles) _____

Is the project site located in a Recreation and Park District or County Service Area authorized to collect fees for park and recreational services? Yes No

Is the project site located within 8.5 miles of March Air Reserve Base? Yes No

COUNTY OF RIVERSIDE
TRANSPORTATION AND LAND MANAGEMENT AGENCY
Planning Department
Ron Goldman · Planning Director

APPLICATION FOR CHANGE OF ZONE

CHECK ONE AS APPROPRIATE:

Standard Change of Zone

There are three different situations where a Planning Review Only Change of Zone will be accepted:

- Type 1:** Used to legally define the boundaries of one or more Planning Areas within a Specific Plan.
 Type 2: Used to establish or change a SP zoning ordinance text within a Specific Plan.
 Type 3: Used when a Change of Zone application was conditioned for in a prior application.

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED.

CASE NUMBER: CZ07752

DATE SUBMITTED: 11/16/10
October 28, 2010

APPLICATION INFORMATION

Applicant's Name: Workforce Homebuilders LLC

E-Mail: dbrown@workforcehomebuilders.com

Mailing Address: 8300 Utica Ave., Ste. 173

Rancho Cucamonga California 91730
City State ZIP

Daytime Phone No: (909) 987-9191 Fax No: (909) 987-9181

Engineer/Representative's Name: Douglas Goodman E-Mail: doug@goodman-assoc.com

Mailing Address: 2019 Sky View Drive

Colton California 92324
City State ZIP

Daytime Phone No: (909) 824-2755 Fax No: (909) 824-2807

Property Owner's Name: RDA for the Cty. of Riverside E-Mail: emilioramirez@rivcoeda.org

Mailing Address: 3403 Tenth St.

Riverside California 92501
City State ZIP

Daytime Phone No: (951) 955-3422 Fax No: (951) 955-3426

If the property is owned by more than one person, attach a separate page that reference the application case number and lists the names, mailing addresses, and phone numbers of all persons having an interest in the real property or properties involved in this application.

Riverside Office · 4080 Lemon Street, 9th Floor
P.O. Box 1409, Riverside, California 92502-1409
(951) 955-3200 · Fax (951) 955-3157

Desert Office · 38686 El Cerrito Road
Palm Desert, California 92211
(760) 863-8277 · Fax (760) 863-7555

APPLICATION FOR CHANGE OF ZONE

The Planning Department will primarily direct communications regarding this application to the person identified above as the Applicant. The Applicant may be the property owner, representative, or other assigned agent.

AUTHORIZATION FOR CONCURRENT FEE TRANSFER

The signature below authorizes the Planning Department and TLMA to expedite the refund and billing process by transferring monies among concurrent applications to cover processing costs as necessary. Fees collected in excess of the actual cost of providing specific services will be refunded. If additional funds are needed to complete the processing of your application, you will be billed, and processing of the application will cease until the outstanding balance is paid and sufficient funds are available to continue the processing of the application. The applicant understands the deposit fee process as described above, and that there will be NO refund of fees which have been expended as part of the application review or other related activities or services, even if the application is withdrawn or the application is ultimately denied.

D. Anthony Mize, President

PRINTED NAME OF APPLICANT

SIGNATURE OF APPLICANT

AUTHORITY FOR THIS APPLICATION IS HEREBY GIVEN:

I certify that I am/we are the record owner(s) or authorized agent and that the information filed is true and correct to the best of my knowledge. An authorized agent must submit a letter from the owner(s) indicating authority to sign the application on the owner's behalf.

All signatures must be originals ("wet-signed"). Photocopies of signatures are **not** acceptable.

Redevelopment Agency for the Cty. of Riverside

PRINTED NAME OF PROPERTY OWNER(S)

c/o Emilio Ramirez, Assistant Director of EDA

PRINTED NAME OF PROPERTY OWNER(S)

SIGNATURE OF PROPERTY OWNER(S)

SIGNATURE OF PROPERTY OWNER(S)

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PROPERTY INFORMATION:

Assessor's Parcel Number(s): 255-070-013-1

Section: 8 Township: 2S Range: 4W

Approximate Gross Acreage: 6.71 Acres Project Acreage (7.43 Total Site Acreage)

General location (nearby or cross streets): North of Spring Street, South of Center Street, East of Iowa Street, West of Michigan Avenue.

Thomas Brothers map, edition year, page number, and coordinates: 2008-646 D6

APPLICATION FOR CHANGE OF ZONE

Proposal (describe the zone change, indicate the existing and proposed zoning classifications. If within a Specific Plan, indicate the affected Planning Areas):

Existing zoning for the parcel is R-1. Proposed zoning is R-3 for 6.71 acres of parcel and PF (Public Facility) for balance of parcel. The parcel is within the Community of Highgrove Design Guidelines.

Related cases filed in conjunction with this request:

General Plan Amendment and Major Plot Plan.

COUNTY OF RIVERSIDE
TRANSPORTATION AND LAND MANAGEMENT AGENCY
Planning Department
Ron Goldman · Planning Director

APPLICATION FOR LAND USE AND DEVELOPMENT

CHECK ONE AS APPROPRIATE:

- PLOT PLAN CONDITIONAL USE PERMIT TEMPORARY USE PERMIT
 REVISED PERMIT PUBLIC USE PERMIT VARIANCE

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED.

CASE NUMBER: PP 24778

DATE SUBMITTED: 11/16/10
~~October 28, 2010~~

APPLICATION INFORMATION

Applicant's Name: Workforce Homebuilders LLC

E-Mail: dbrown@workforcehomebuilders.com

Mailing Address: 8300 Utica Ave., Ste. 173

Rancho Cucamonga

Street
California

91730

City

State

ZIP

Daytime Phone No: (909) 987-9191

Fax No: (909) 987-9181

Engineer/Representative's Name: Douglas Goodman

E-Mail: doug@goodman-assoc.com

Mailing Address: 2019 Sky View Drive

Colton

Street
California

92324

City

State

ZIP

Daytime Phone No: (909) 824-2755

Fax No: (909) 824-2807

Property Owner's Name: RDA for the Cty. of Riverside

E-Mail: emilioramirez@rivcoeda.org

Mailing Address: 3403 Tenth St.

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Daytime Phone No: (951) 955-3422

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Palm Desert, California 92211
(760) 863-8277 · Fax (760) 863-7555

APPLICATION FOR LAND USE AND DEVELOPMENT

AUTHORIZATION FOR CONCURRENT FEE TRANSFER

The signature below authorizes the Planning Department and TLMA to expedite the refund and billing process by transferring monies among concurrent applications to cover processing costs as necessary. Fees collected in excess of the actual cost of providing specific services will be refunded. If additional funds are needed to complete the processing of your application, you will be billed, and processing of the application will cease until the outstanding balance is paid and sufficient funds are available to continue the processing of the application. The applicant understands the deposit fee process as described above, and that there will be NO refund of fees which have been expended as part of the application review or other related activities or services, even if the application is withdrawn or the application is ultimately denied.

All signatures must be originals ("wet-signed"). Photocopies of signatures are **not** acceptable.

D. Anthony Mize, President

PRINTED NAME OF APPLICANT

SIGNATURE OF APPLICANT

AUTHORITY FOR THIS APPLICATION IS HEREBY GIVEN:

I certify that I am/we are the record owner(s) or authorized agent and that the information filed is true and correct to the best of my knowledge. An authorized agent must submit a letter from the owner(s) indicating authority to sign the application on the owner's behalf.

All signatures must be originals ("wet-signed"). Photocopies of signatures are **not** acceptable.

Redevelopment Agency for the Cty. of Riverside

PRINTED NAME OF PROPERTY OWNER(S)

c/o Emilio Ramirez, Assistant Director of EDA

PRINTED NAME OF PROPERTY OWNER(S)

SIGNATURE OF PROPERTY OWNER(S)

SIGNATURE OF PROPERTY OWNER(S)

If the property is owned by more than one person, attach a separate sheet that references the application case number and lists the printed names and signatures of all persons having an interest in the property.

See attached sheet(s) for other property owners signatures.

PROPERTY INFORMATION:

Assessor's Parcel Number(s): 255-070-013-1

Section: 8 Township: 2S Range: 4W

Approximate Gross Acreage: 6.71 Acres Project Acreage (7.43 Total Site Acreage)

General location (nearby or cross streets): North of Spring Street, South of Center Street, East of Iowa Street, West of Michigan Avenue

Thomas Brothers map, edition year, page number, and coordinates: 2008-646 D6

APPLICATION FOR LAND USE AND DEVELOPMENT

Proposal (describe project, indicate the number of proposed lots/parcels, units, and the schedule of the subdivision, Vesting Map, PRD):

Two story apartments, 2 & 3 bedrooms, 89 units at 13.26 du/ac.. The project is comprised of 7 and 10 plexes & one recreation building at 2,411 s.f.. The design incorporates numerous open spaces and amenities to create a walkable family oriented community.

Related cases filed in conjunction with this request:

Change of Zone, General Plan Amendment

Is there a previous development application filed on the same site: Yes No

If yes, provide Case No(s). _____ (Parcel Map, Zone Change, etc.)

E.A. No. (if known) _____ E.I.R. No. (if applicable): _____

Have any special studies or reports, such as a traffic study, biological report, archaeological report, geological or geotechnical reports, been prepared for the subject property? Yes No

If yes, indicate the type of report(s) and provide a copy: **Drainage, Geotechnical, Archeological, Acoustical, Phase 1 & 2, Burrowing Owl**

Is water service available at the project site: Yes No

If "No," how far must the water line(s) be extended to provide service? (No. of feet/miles) _____

Will the proposal eventually require landscaping either on-site or as part of a road improvement or other common area improvements? Yes No

Is sewer service available at the site? Yes No

If "No," how far must the sewer line(s) be extended to provide service? (No. of feet/miles) _____

Will the proposal result in cut or fill slopes steeper than 2:1 or higher than 10 feet? Yes No

How much grading is proposed for the project site?

Estimated amount of cut = cubic yards: **9,630 CY**

Estimated amount of fill = cubic yards **7,950 CY**

Does the project need to import or export dirt? Yes No

Import _____ Export _____ Neither **Balance**

LAND DEVELOPMENT COMMITTEE
INITIAL CASE TRANSMITTAL
RIVERSIDE COUNTY PLANNING DEPARTMENT - RIVERSIDE
P.O. Box 1409
Riverside, CA 92502-1409

DATE: December 1, 2010

TO:

Riv. Co. Transportation Dept.
Riv. Co. Environmental Health Dept.
Riv. Co. Flood Control District
Riv. Co. Fire Department
Riv. Co. Dept. of Bldg. & Safety – Plan Check
Regional Parks & Open Space District.
Riv. Co. Environmental Programs Dept.
P.D.Geology Section-D. Jones
Riv. Co. GIS – Phillip Kang

P.D. Landscaping Section-R. Dyo
P.D. Archaeology Section-L. Mouriquand
Riv. Co. Transit Agency
Riv. Co. Sheriff's Department
Riv. Co. Waste Management Dept.
County Service Area #126 – C/O EDA
Riv. Co. EDA- Redevelopment
Riv. Co. EDA – Fast Track
5th District Supervisor

5th District Planning Commissioner
City of Riverside
Riverside Unified School Dist
City of Riverside – Public Utilities
Southern California Gas
Southern California Edison
Verizon

CHANGE OF ZONE NO. 7752 AND PLOT PLAN NO. 24778 (FTA 2010-10) - EA42406 – Applicant: Workforce Homebuilders LLC – Engineer/Representative: Douglas Goodman - Fifth Supervisorial District - University Zoning District - Highgrove Area Plan: Community Development: Medium Density Residential (CD:MDR) (2-5 DU/AC) – Location: Northerly of Spring Street on the southwest corner of Center Street and Michigan Avenue - 7.43 Gross Acres - Zoning: One Family Dwellings (R-1) - **REQUEST:** The applicant proposes an 89-unit low income housing apartment complex including a tot-lot, parking, trash enclosures, and pedestrian pathways on a 6.71 acre site – APN: 255-070-013

Please review the attached map(s) and/or exhibit(s) for the above-described project. This case is scheduled for a **LDC Meeting Agenda on December 23, 2010**. All LDC Members please have draft conditions in the Land Management System on or before the above date. If it is determined that the attached map(s) and/or exhibit(s) are not acceptable, please have corrections in the system and DENY the routing on or before the above date. Once the route is complete, and the approval screen is approved with or without corrections, the case can be scheduled for a public hearing.

All other transmitted entities, please have your comments, questions and recommendations to the Planning Department on or before the above date. Your comments/recommendations/conditions are requested so that they may be incorporated in the staff report for this particular case.

Should you have any questions regarding this project, please do not hesitate to contact **Matt Straite, Project Planner**, at (951) 955-8631 or email at mstraite@rctlma.org / **MAILSTOP# 1070**.

COMMENTS:

DATE: _____ SIGNATURE: _____

PLEASE PRINT NAME AND TITLE: _____

TELEPHONE: _____

If you do not include this transmittal in your response, please include a reference to the case number and project planner's name. Thank you.

PROPERTY OWNERS CERTIFICATION FORM

I, VINNIE NGUYEN, certify that on 5/31/2011.

The attached property owners list was prepared by Riverside County GIS,

APN (s) or case numbers PP 24778 For

Company or Individual's Name Planning Department,

Distance buffered 600'.

Pursuant to application requirements furnished by the Riverside County Planning Department, Said list is a complete and true compilation of the owners of the subject property and all other property owners within 600 feet of the property involved, or if that area yields less than 25 different owners, all property owners within a notification area expanded to yield a minimum of 25 different owners, to a maximum notification area of 2,400 feet from the project boundaries, based upon the latest equalized assessment rolls. If the project is a subdivision with identified off-site access/improvements, said list includes a complete and true compilation of the names and mailing addresses of the owners of all property that is adjacent to the proposed off-site improvement/alignment.

I further certify that the information filed is true and correct to the best of my knowledge. I understand that incorrect or incomplete information may be grounds for rejection or denial of the application.

NAME: Vinnie Nguyen

TITLE GIS Analyst

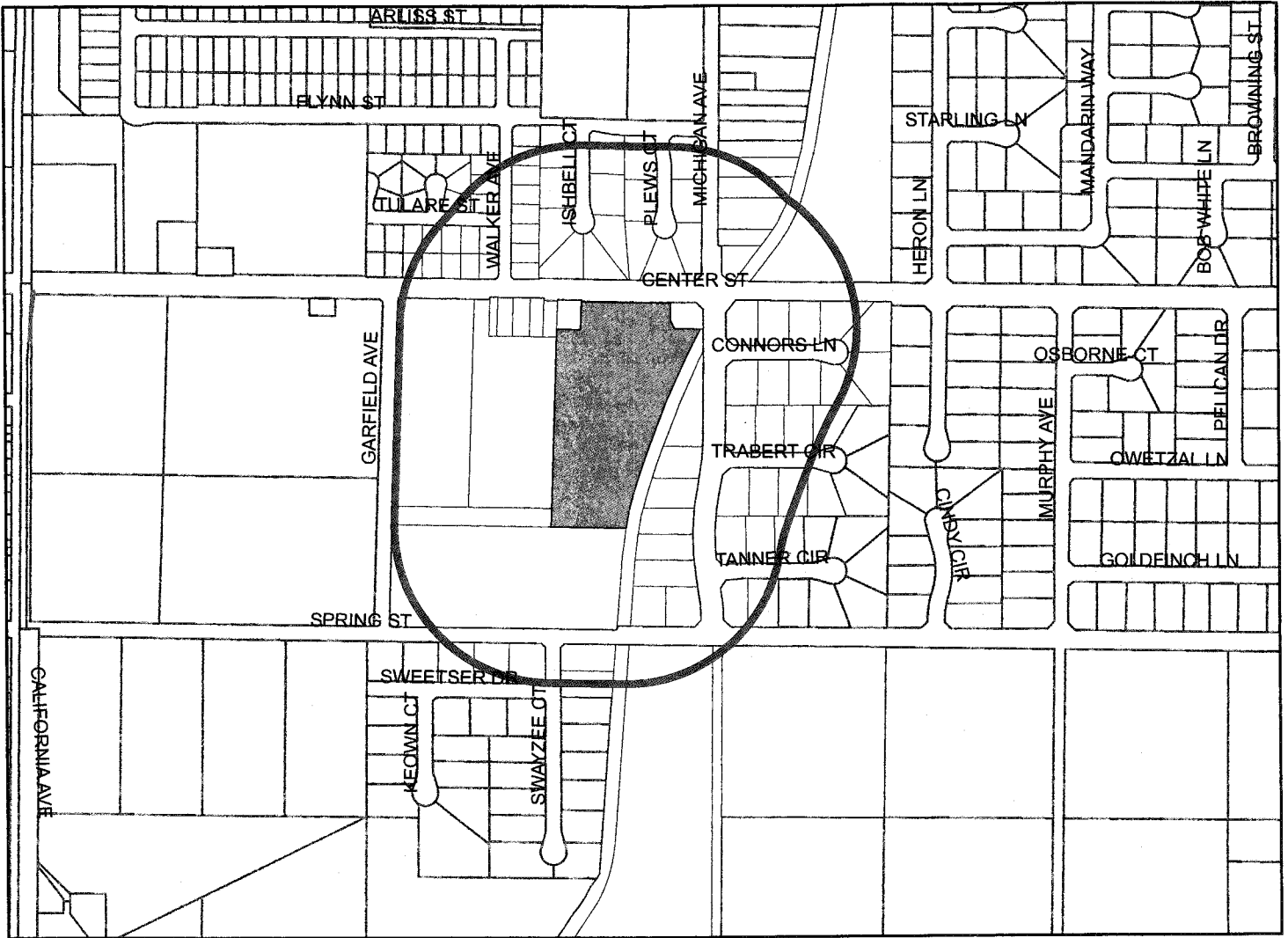
ADDRESS: 4080 Lemon Street 2nd Floor

Riverside, Ca. 92502

TELEPHONE NUMBER (8 a.m. - 5 p.m.): (951) 955-8158

[Handwritten Signature]
EXPIRES: 12/31/2011

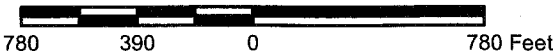
600 feet buffer



Selected Parcels

255-060-008	255-250-008	255-052-022	255-053-003	255-371-002	255-372-024	255-052-019	255-070-004	255-360-021	255-360-014
255-052-016	255-052-002	255-080-046	255-052-006	255-051-009	255-360-019	255-070-015	255-070-016	255-080-043	255-110-010
255-052-020	255-080-041	255-360-020	255-052-025	255-360-008	255-360-003	255-070-005	255-360-018	255-052-004	255-110-011
255-130-001	255-130-011	255-053-011	255-070-009	255-051-008	255-360-013	255-052-003	255-070-010	255-250-006	255-250-007
255-053-005	255-360-006	255-360-010	255-360-001	255-360-022	255-360-031	255-250-009	255-070-014	255-360-002	255-080-045
255-360-012	255-051-011	255-052-024	255-360-005	255-053-008	255-250-013	255-360-009	255-052-015	255-052-026	255-360-024
255-053-010	255-052-007	255-080-015	255-080-042	255-372-023	255-360-032	255-052-027	255-080-018	255-250-011	255-070-013
255-052-017	255-051-010	255-053-009	255-070-006	255-360-004	255-052-008	255-053-006	255-053-004	255-070-011	255-052-023
255-250-012	255-051-012	255-371-003	255-052-013	255-360-011	255-052-005	255-052-014	255-053-012	255-053-007	255-052-018

rst 90 parcels shown



Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

ASMT: 255051008, APN: 255051008
GARY TOWNSON, ETAL
193 WALKER AVE
RIVERSIDE, CA. 92507

ASMT: 255052004, APN: 255052004
DEBORAH GUZMAN
216 WALKER AVE
RIVERSIDE, CA. 92507

ASMT: 255051009, APN: 255051009
CHARLES ROBERSON
205 WALKER AVE
RIVERSIDE, CA. 92507

ASMT: 255052005, APN: 255052005
SAMUEL ALZEN, ETAL
234 WALKER AVE
RIVERSIDE, CA. 92507

ASMT: 255051010, APN: 255051010
RICHARD ZINCHUK, ETAL
12225 OVERCREST DR
YUCAIPA CA 92399

ASMT: 255052006, APN: 255052006
CELESTINO OCHOA, ETAL
250 WALKER AVE
RIVERSIDE, CA. 92507

ASMT: 255051011, APN: 255051011
KATIE WILSHIRE
222 WARING AVE
RIVERSIDE, CA. 92507

ASMT: 255052007, APN: 255052007
MARTIN MENA, ETAL
268 WALKER AVE
RIVERSIDE, CA. 92507

ASMT: 255051012, APN: 255051012
ROSE COOLEY
2849 MOORGATE PL
RIVERSIDE CA 92506

ASMT: 255052008, APN: 255052008
RODERICK SHEWALTER, ETAL
290 WALKER AVE
RIVERSIDE, CA. 92507

ASMT: 255052002, APN: 255052002
CAROL MCKINNEY
184 WALKER AVE
RIVERSIDE, CA. 92507

ASMT: 255052013, APN: 255052013
RUTH STARNES
186 PLEWS CT
RIVERSIDE, CA. 92507

ASMT: 255052003, APN: 255052003
GEORGIA COALSON, ETAL
200 WALKER AVE
RIVERSIDE, CA. 92507

ASMT: 255052014, APN: 255052014
SHAD BOAL, ETAL
216 PLEWS CT
RIVERSIDE, CA. 92507

ASMT: 255052015, APN: 255052015
LUIS CALVILLO, ETAL
246 PLEWS CT
RIVERSIDE, CA. 92507

ASMT: 255052022, APN: 255052022
ALEJANDRO CAPIZ, ETAL
240 ISHBELL CT
RIVERSIDE, CA. 92507

ASMT: 255052016, APN: 255052016
CARLOS MIRANDA, ETAL
273 PLEWS CT
RIVERSIDE, CA. 92507

ASMT: 255052023, APN: 255052023
RONALD PIERCE, ETAL
270 ISHBELL CT
RIVERSIDE, CA. 92507

ASMT: 255052017, APN: 255052017
RENE LARA, ETAL
243 PLEWS CT
RIVERSIDE, CA. 92507

ASMT: 255052024, APN: 255052024
KENNETH BEWICK
275 ISHBELL CT
RIVERSIDE, CA. 92507

ASMT: 255052018, APN: 255052018
TONY MARTIN, ETAL
6805 SHUBIN LN
WHITTIER CA 90606

ASMT: 255052025, APN: 255052025
DANIEL CHUTES, ETAL
245 ISHBELL CT
RIVERSIDE, CA. 92507

ASMT: 255052019, APN: 255052019
ANNETTE FOY
183 PLEWS CT
RIVERSIDE, CA. 92507

ASMT: 255052026, APN: 255052026
LUIS GUTIERREZ, ETAL
215 ISHBELL CT
RIVERSIDE, CA. 92507

ASMT: 255052020, APN: 255052020
COPAC
C/O JOHN DONALDSON
1411 S RIMPAU AV STE 205
CORONA CA 92879

ASMT: 255052027, APN: 255052027
PAUL LOERA, ETAL
185 ISHBELL CT
RIVERSIDE, CA. 92507

ASMT: 255052021, APN: 255052021
VICTOR GOMEZ, ETAL
210 ISHBELL CT
RIVERSIDE, CA. 92507

ASMT: 255053003, APN: 255053003
ALVIN MADEWELL, ETAL
674 TULARE ST
RIVERSIDE, CA. 92507

ASMT: 255053004, APN: 255053004
RONALD BRUINS, ETAL
666 TULARE ST
RIVERSIDE, CA. 92507

ASMT: 255053011, APN: 255053011
ESTELA RODRIGUEZ
665 CENTER ST
RIVERSIDE, CA. 92507

ASMT: 255053005, APN: 255053005
IMOGENE POWELL
654 TULARE ST
RIVERSIDE, CA. 92507

ASMT: 255053012, APN: 255053012
SHIRLEY MACARTHUR
2185 ADAMS ST
RIVERSIDE CA 92507

ASMT: 255053006, APN: 255053006
ROGER LUTHER, ETAL
268 OWETZAL LN
RIVERSIDE CA 92507

ASMT: 255070004, APN: 255070004
ANTHONY MARTINEZ
381 MICHIGAN AVE
RIVERSIDE, CA. 92507

ASMT: 255053007, APN: 255053007
THOMAS RUDD, ETAL
630 TULARE ST
RIVERSIDE, CA. 92507

ASMT: 255070005, APN: 255070005
DAVID ZIMMERMANN, ETAL
411 MICHIGAN AVE
RIVERSIDE, CA. 92507

ASMT: 255053008, APN: 255053008
LIVIER MARISCAL
629 CENTER ST
RIVERSIDE, CA. 92507

ASMT: 255070006, APN: 255070006
ROBERT HOPKINS
423 MICHIGAN AVE
RIVERSIDE, CA. 92507

ASMT: 255053009, APN: 255053009
ROBERT GARCIA, ETAL
9549 51ST ST
RIVERSIDE CA 92509

ASMT: 255070007, APN: 255070007
TRAVIS CIDILA, ETAL
437 MICHIGAN AVE
RIVERSIDE, CA. 92507

ASMT: 255053010, APN: 255053010
MARIO PINEDA, ETAL
1412 BLAIR LN
TUSTIN CA 92780

ASMT: 255070008, APN: 255070008
YVONNE SEPULVEDA
451 MICHIGAN AVE
RIVERSIDE, CA. 92507

Centralized Correspondence,
Southern California Gas Company
P.O. Box 3150
San Dimas, CA 91773

ATTN: Planning Director
Planning Department, City of Riverside
3900 Main St., 3rd floor
Riverside, CA 92522

ATTN: Irene Martinez
Public Utilities Department,
City of Riverside
3435 14th St.
Riverside, CA 92501-2822

ATTN: Michael McCoy
Riverside Transit Agency
1825 3rd St.
P.O. Box 59968
Riverside, CA 92517-1968

Riverside Unified School District
3380 14th St.
P.O. Box 2800
Riverside, CA 92516

Southern California Edison
2244 Walnut Grove Ave., Rm 312
P.O. Box 600
Rosemead, CA 91770

Verizon Engineering
9 South 4th St.,
Redlands, CA 92373

Applicant:
Workforce Homebuilders, LLC
8300 Utica Ave., Ste 173
Rancho Cucamonga, CA 91730

Eng-Rep:
Douglas Goodman
2019 Sky View Dr.
Colton, CA 92324

Owner:
Redevelopment Agency, County of Riv.
c/o Janet M. Parks
P.O. Box 1180
Riverside, Ca 92502

NOTICE OF PUBLIC HEARING BEFORE THE BOARD OF SUPERVISORS OF RIVERSIDE COUNTY ON A FAST TRACK GENERAL PLAN AMENDMENT, CHANGE OF ZONE AND A PLOT PLAN IN THE UNIVERSITY ZONING DISTRICT – HIGHGROVE AREA PLAN, FIFTH SUPERVISORIAL DISTRICT AND NOTICE OF INTENT TO ADOPT A MITIGATED NEGATIVE DECLARATION

NOTICE IS HEREBY GIVEN that a public hearing at which all interested persons will be heard, will be held before the Board of Supervisors of Riverside County, California, on the 1st Floor Board Chambers, County Administrative Center, 4080 Lemon Street, Riverside, on **Tuesday, July 12, 2011 at 1:30 P.M.** to consider the application submitted by Workforce Homebuilders LLC – Douglas Goodman, on **General Plan Amendment No. 1105**, which proposes to change the land use designation from Medium Density Residential (MDR) to High Density Residential (HDR) on 6.71 acres of the site and Public Facilities (PF) on the remaining 0.72 acres; **Change of Zone No. 7752**, which proposes to change the zone from One Family Dwellings (R-1) to General residential (R-3) for a 6.71 acre portion of the existing parcel, or such other zones as the Board may find appropriate; and, **Plot Plan No. 24778 (FTA 2010-10)**, which proposes an 89-unit low income housing apartment complex including a tot-lot, parking, trash enclosures, and pedestrian pathways on a 6.71 acre site ("the project"). *The project is located northerly of Spring Street on the southwest corner of Center Street and Michigan Avenue in the University Zoning District – Highgrove Area Plan, Fifth Supervisorial District.*

The Planning Department has determined that the project will not have a significant effect on the environment and recommends the adoption of a Mitigated Negative Declaration for **Environmental Assessment No. 42406**.

The project case file may be viewed from the date of this notice until the public hearing, Monday through Thursday, from 7:30 a.m. to 5:30 p.m. at the Clerk of the Board of Supervisors at 4080 Lemon Street, 1st Floor, Riverside, California 92501, and at the Riverside County Planning Department at 4080 Lemon Street, 12th Floor, Riverside, California 92501.

FOR FURTHER INFORMATION REGARDING THIS PROJECT, PLEASE CONTACT MATT STRAITE, PROJECT PLANNER, AT (951) 955-8631 OR EMAIL mstraite@rctlma.org.

Any person wishing to testify in support of or in opposition to the project may do so in writing between the date of this notice and the public hearing, or may appear and be heard at the time and place noted above. All written comments received prior to the public hearing will be submitted to the Board of Supervisors and the Board of Supervisors will consider such comments, in addition to any oral testimony, before making a decision on the project.

If you challenge the above item in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence to the Planning Commission or Board of Supervisors at, or prior to, the public hearing. Be advised that as a result of the public hearing and the consideration of all public comment, written and oral, the Board of Supervisors may amend, in whole or in part, the project and/or the related environmental document. Accordingly, the designations, development standards, design or improvements, or any properties or lands within the boundaries of the project, may be changed in a way other than specifically proposed.

Please send all written correspondence to: Clerk of the Board, 4080 Lemon Street, 1st Floor, Post Office Box 1147, Riverside, CA 92502-1147

Dated: June 20, 2011

Kecia Harper-Ihem
Clerk of the Board
By: Cecilia Gil, Board Assistant

16-6 of 07-12-11

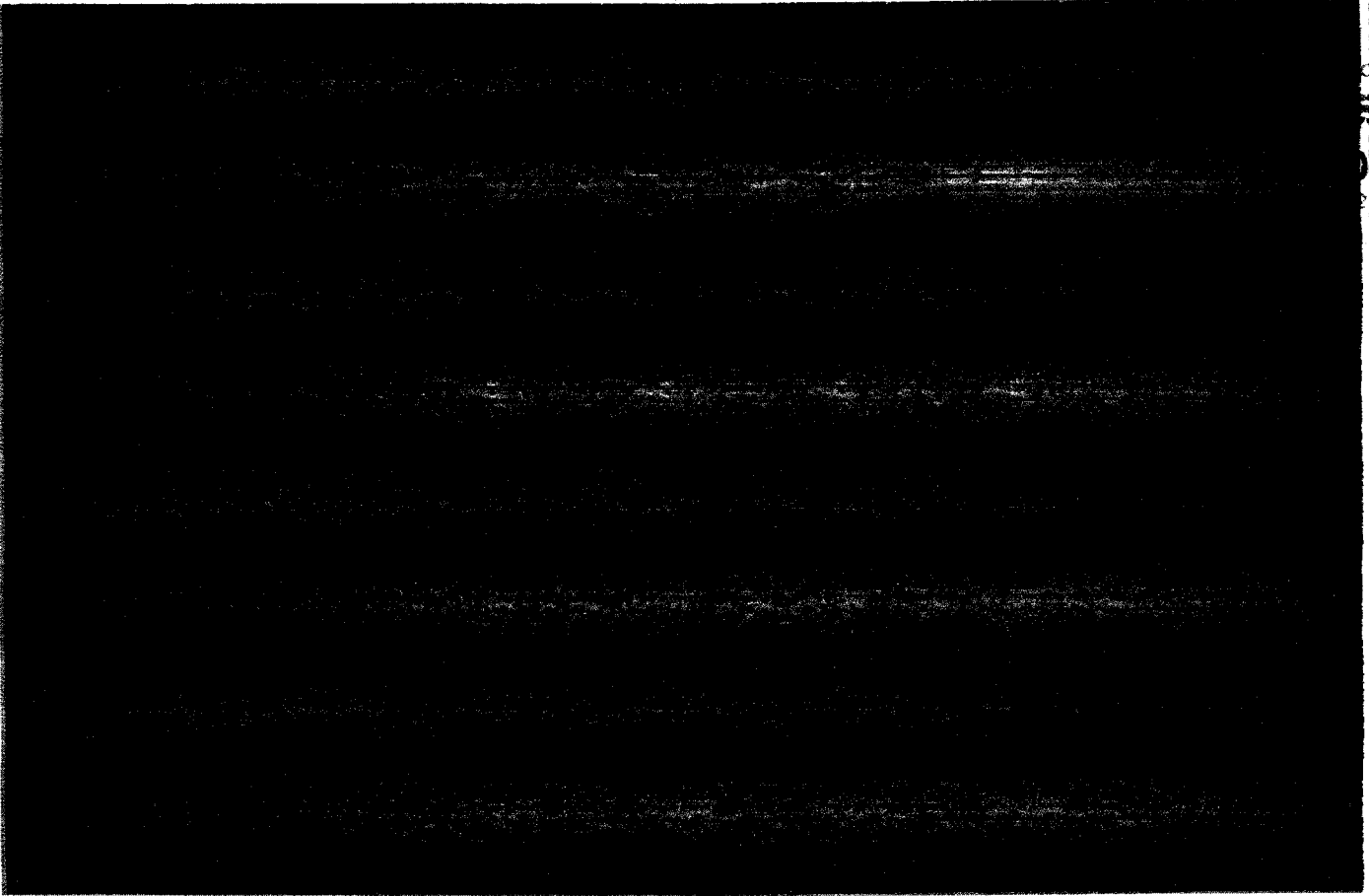
RECEIVED RIVERSIDE COUNTY
CLERK / BOARD OF SUPERVISORS

2011 JUN 23 PM 4:42

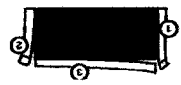
ASMT: 255250007, APN: 255250007
HIGHGROVE ELEMENTARY SCHOOL DIST
UNKNOWN 03-30-94

PUBLIC HEARING NOTICE
This may affect your property

Riverside County Clerk of the Board
County Administrative Center
4080 Lemon Street, 1st Floor Annex
P. O. Box 1147
Riverside, CA 92502-1147



REMOVE SIDE EDGES FIRST
THEN FOLD AND TEAR THIS STUB ALONG PERFORATION



9232434828-0628

BC: 92502114747 *0804-02296-20-42
RETURN TO SENDER
NO SUCH NUMBER
UNABLE TO FORWARD
NIXIE 923 DE 1 00 08/21/11

RECEIVED RIVERSIDE COUNTY
CLERK / BOARD OF SUPERVISORS

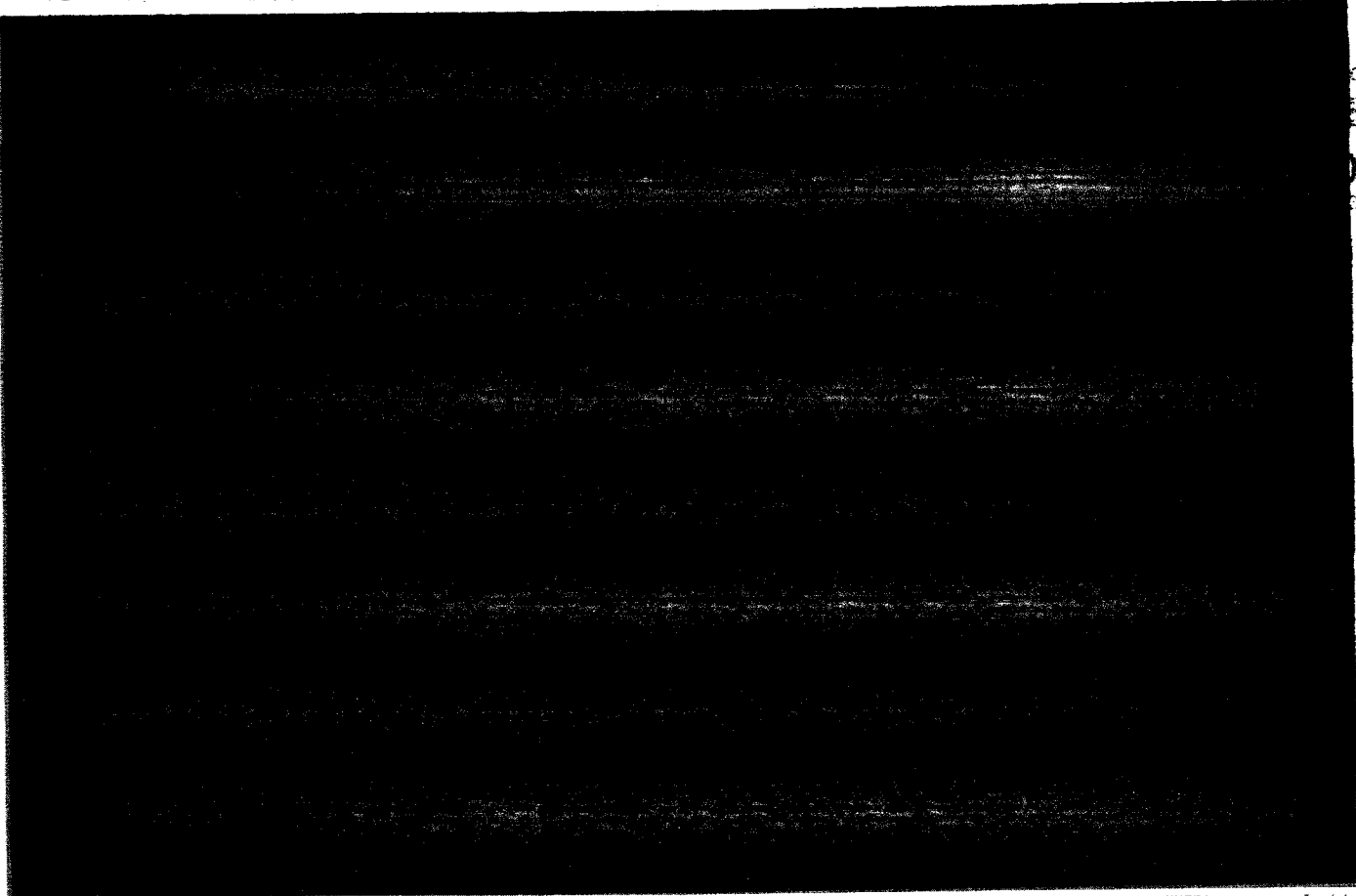
2011 JUN 23 PM 4:42

Eng-Rep:
Douglas Goodman
2019 Sky View Dr.
Colton, CA 92324

Handwritten initials

PUBLIC HEARING NOTICE
This may affect your property

Riverside County Clerk of the Board
County Administrative Center
4080 Lemon Street, 1st Floor Annex
P. O. Box 1147
Riverside, CA 92502-1147



REMOVE SIDE EDGES FIRST
THEN FOLD AND TEAR THIS STUB ALONG PERFORATION



NOTICE OF PUBLIC HEARING BEFORE THE BOARD OF SUPERVISORS OF RIVERSIDE COUNTY ON A FAST TRACK GENERAL PLAN AMENDMENT, CHANGE OF ZONE AND A PLOT PLAN IN THE UNIVERSITY ZONING DISTRICT – HIGHGROVE AREA PLAN, FIFTH SUPERVISORIAL DISTRICT AND NOTICE OF INTENT TO ADOPT A MITIGATED NEGATIVE DECLARATION

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The Planning Department has determined that the project will not have a significant effect on the environment and recommends the adoption of a Mitigated Negative Declaration for **Environmental Assessment No. 42406**.

The project case file may be viewed from the date of this notice until the public hearing, Monday through Thursday, from 7:30 a.m. to 5:30 p.m. at the Clerk of the Board of Supervisors at 4080 Lemon Street, 1st Floor, Riverside, California 92501, and at the Riverside County Planning Department at 4080 Lemon Street, 12th Floor, Riverside, California 92501.

FOR FURTHER INFORMATION REGARDING THIS PROJECT, PLEASE CONTACT MATT STRAITE, PROJECT PLANNER, AT (951) 955-8631 OR EMAIL mstrait@rctlma.org.

Any person wishing to testify in support of or in opposition to the project may do so in writing between the date of this notice and the public hearing, or may appear and be heard at the time and place noted above. All written comments received prior to the public hearing will be submitted to the Board of Supervisors and the Board of Supervisors will consider such comments, in addition to any oral testimony, before making a decision on the project.

If you challenge the above item in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence to the Planning Commission or Board of Supervisors at, or prior to, the public hearing. Be advised that as a result of the public hearing and the consideration of all public comment, written and oral, the Board of Supervisors may amend, in whole or in part, the project and/or the related environmental document. Accordingly, the designations, development standards, design or improvements, or any properties or lands within the boundaries of the project, may be changed in a way other than specifically proposed.

Please send all written correspondence to: Clerk of the Board, 4080 Lemon Street, 1st Floor, Post Office Box 1147, Riverside, CA 92502-1147

Dated: June 20, 2011

Kecia Harper-Ihern
Clerk of the Board
By: Cecilia Gil, Board Assistant

16-6 of 07-12-11

before making a decision on the project.

If you challenge the above item in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence to the Planning Commission or Board of Supervisors at, or prior to, the public hearing. Be advised that as a result of the public hearing and the consideration of all public comment, written and oral, the Board of Supervisors may amend, in whole or in part, the project and/or the related environmental document. Accordingly, the designations, development standards, design or improvements, or any properties or lands within the boundaries of the project, may be changed in a way other than specifically proposed. Please send all written correspondence to: Clerk of the Board, 4080 Lemon Street, 1st Floor, Post Office Box 1147, Riverside, CA 92502-1147

Dated: June 20, 2011

Kecia Harper-Ihem

Clerk of the Board

By: Cecilia Gil, Board
Assistant 6/22

7/12/2011

16.6



ASMT: 255360008, APN: 255360008
DAVID ESTRADA, ETAL
452 CONNORS LN
RIVERSIDE, CA. 92507

ASMT: 255360018, APN: 255360018
DEANNA SWICK
430 TRABERT CIR
RIVERSIDE, CA. 92507

ASMT: 255360009, APN: 255360009
LORN MCCLENDON, ETAL
470 CONNORS LN
RIVERSIDE, CA. 92507

ASMT: 255360019, APN: 255360019
CHRISTINE SCHOELKOPF
1136 VERSAILLES CIR
RIVERSIDE CA 92506

ASMT: 255360010, APN: 255360010
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488 CONNORS LN
RIVERSIDE, CA. 92507

ASMT: 255360020, APN: 255360020
DALE SAMPSON
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RIVERSIDE, CA. 92507

ASMT: 255360011, APN: 255360011
SALVADOR VILLANUEVA
1379 MULBERRY
RIVERSIDE CA 92501

ASMT: 255360021, APN: 255360021
BEATRIZ GUTIERREZ
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RIVERSIDE, CA. 92507

ASMT: 255360012, APN: 255360012
KARI LOPEZ, ETAL
467 TRABERT CIR
RIVERSIDE, CA. 92507

ASMT: 255360022, APN: 255360022
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489 TANNER CIR
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ASMT: 255360013, APN: 255360013
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ASMT: 255360024, APN: 255360024
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RIVERSIDE, CA. 92507

ASMT: 255070009, APN: 255070009
FRED HORCHLER, ETAL
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RIVERSIDE, CA. 92507

ASMT: 255080019, APN: 255080019
VICTORIA PERIZZOLO
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ASMT: 255070010, APN: 255070010
HIEP LAM, ETAL
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RIVERSIDE, CA. 92507

ASMT: 255080041, APN: 255080041
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3133 7TH ST
RIVERSIDE CA 92507

ASMT: 255070011, APN: 255070011
RONALD KAIN
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ASMT: 255080042, APN: 255080042
MARY MOORE, ETAL
828 N 4TH AVE
UPLAND CA 91786

ASMT: 255070013, APN: 255070013
REDEVELOPMENT AGENCY COUNTY OF RIVEI
C/O JANET M PARKS
P O BOX 1180
RIVERSIDE CA 92502

ASMT: 255080045, APN: 255080045
KAREN ORTEGA, ETAL
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RIVERSIDE, CA. 92507

ASMT: 255070014, APN: 255070014
JOSE FIGUEROA, ETAL
588 CENTER ST
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ASMT: 255080046, APN: 255080046
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ASMT: 255080015, APN: 255080015
MARY JAY
160 MICHIGAN AVE
RIVERSIDE CA 92507

ASMT: 255110010, APN: 255110010
CITY OF RIVERSIDE
C/O PROPERTY SERVICES
3900 MAIN ST
RIVERSIDE CA 92522

ASMT: 255080018, APN: 255080018
RAFAEL LEMUS
230 MICHIGAN AVE
RIVERSIDE, CA. 92507

ASMT: 255130011, APN: 255130011
EQUITY CORPORATE HOUSING HOLDING CO
C/O EQUITY RESIDENTIAL
P O BOX 87407
CHICAGO IL 60680

ASMT: 255052015, APN: 255052015
LUIS CALVILLO, ETAL
246 PLEWS CT
RIVERSIDE, CA. 92507

ASMT: 255052022, APN: 255052022
ALEJANDRO CAPIZ, ETAL
240 ISHBELL CT
RIVERSIDE, CA. 92507

ASMT: 255052016, APN: 255052016
CARLOS MIRANDA, ETAL
273 PLEWS CT
RIVERSIDE, CA. 92507

ASMT: 255052023, APN: 255052023
RONALD PIERCE, ETAL
270 ISHBELL CT
RIVERSIDE, CA. 92507

ASMT: 255052017, APN: 255052017
RENE LARA, ETAL
243 PLEWS CT
RIVERSIDE, CA. 92507

ASMT: 255052024, APN: 255052024
KENNETH BEWICK
275 ISHBELL CT
RIVERSIDE, CA. 92507

ASMT: 255052018, APN: 255052018
TONY MARTIN, ETAL
6805 SHUBIN LN
WHITTIER CA 90606

ASMT: 255052025, APN: 255052025
DANIEL CHUTES, ETAL
245 ISHBELL CT
RIVERSIDE, CA. 92507

ASMT: 255052019, APN: 255052019
ANNETTE FOY
183 PLEWS CT
RIVERSIDE, CA. 92507

ASMT: 255052026, APN: 255052026
LUIS GUTIERREZ, ETAL
215 ISHBELL CT
RIVERSIDE, CA. 92507

ASMT: 255052020, APN: 255052020
COPAC
C/O JOHN DONALDSON
1411 S RIMPAU AV STE 205
CORONA CA 92879

ASMT: 255052027, APN: 255052027
PAUL LOERA, ETAL
185 ISHBELL CT
RIVERSIDE, CA. 92507

ASMT: 255052021, APN: 255052021
VICTOR GOMEZ, ETAL
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RIVERSIDE, CA. 92507

ASMT: 255053003, APN: 255053003
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ASMT: 255070009, APN: 255070009
FRED HORCHLER, ETAL
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RIVERSIDE, CA. 92507

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P O BOX 87407
CHICAGO IL 60680



ASMT: 255250007, APN: 255250007
HIGHGROVE ELEMENTARY SCHOOL DIST
UNKNOWN 03-30-94

ASMT: 255360001, APN: 255360001
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RIVERSIDE, CA. 92507

ASMT: 255250008, APN: 255250008
A W PROP WEST
P O BOX 9296
RANCHO SANTA FE CA 92067

ASMT: 255360002, APN: 255360002
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ASMT: 255250009, APN: 255250009
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ASMT: 255360003, APN: 255360003
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ASMT: 255250010, APN: 255250010
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ASMT: 255360004, APN: 255360004
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ASMT: 255250011, APN: 255250011
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ASMT: 255360005, APN: 255360005
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ASMT: 255360006, APN: 255360006
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ASMT: 255250013, APN: 255250013
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RIVERSIDE CA 92507

ASMT: 255360007, APN: 255360007
VANCE HANNAH, ETAL
434 CONNORS LN
RIVERSIDE, CA. 92507



ASMT: 255360008, APN: 255360008
DAVID ESTRADA, ETAL
452 CONNORS LN
RIVERSIDE, CA. 92507

ASMT: 255360018, APN: 255360018
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430 TRABERT CIR
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ASMT: 255360009, APN: 255360009
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ASMT: 255360019, APN: 255360019
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1136 VERSAILLES CIR
RIVERSIDE CA 92506

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ASMT: 255360024, APN: 255360024
MANUEL CONDE, ETAL
455 TANNER CIR
RIVERSIDE, CA. 92507



ASMT: 255360031, APN: 255360031
JOE ORTIZ, ETAL
472 TANNER CIR
RIVERSIDE, CA. 92507

ASMT: 255360032, APN: 255360032
ONEAL PROP MANAGEMENT
161 MCKINLEY NO 120
CORONA CA 92879

ASMT: 255371001, APN: 255371001
WILLIAM KELLY, ETAL
605 SWEETSER DR
RIVERSIDE, CA. 92507

ASMT: 255371002, APN: 255371002
AMERIKA TAGALOA, ETAL
625 SWEETSER DR
RIVERSIDE, CA. 92507

ASMT: 255371003, APN: 255371003
RU YING HSIAO, ETAL
18508 KLUM PL
ROWLAND HEIGHTS CA 91748

ASMT: 255372023, APN: 255372023
MICHELLE LUNA
530 SWAYZEE CT
RIVERSIDE, CA. 92507

ASMT: 255372024, APN: 255372024
ANDREW CASTRO, ETAL
514 SWAYZEE CT
RIVERSIDE, CA. 92507

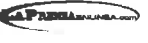


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 ⑤ BILLING DATE 07/22/11 | FOR BILLING INFORMATION CALL (951) 368-9713 | ④ PAGE NO 1
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 RIVERSIDE, CA 92502-2209

⑥ BILLED ACCOUNT NAME AND ADDRESS
 BOARD OF SUPERVISORS
 COUNTY OF RIVERSIDE
 P.O. BOX 1147
 RIVERSIDE CA 92502

⑥ BILLED ACCOUNT NUMBER 045202 | REP NO LE04

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07/22	4316749 C0	ORDINANCE NO. 348.4724 Class : 10 Ctext Ad# 10734960 Placed By : Cecilia Gil	145 L	1.30		188.50

*Planning
16.6 of 07/12/11
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1 hr*

**RECEIVED RIVERSIDE COUNTY
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THE PRESS-ENTERPRISE

3450 Fourteenth Street
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**PROOF OF PUBLICATION
(2010, 2015.5 C.C.P.)**

Press-Enterprise

PROOF OF PUBLICATION OF

Ad Desc.: Ordinance No. 348.4724

I am a citizen of the United States. I am over the age of eighteen years and not a party to or interested in the above entitled matter. I am an authorized representative of THE PRESS-ENTERPRISE, a newspaper of general circulation, printed and published daily in the County of Riverside, and which newspaper has been adjudicated a newspaper of general circulation by the Superior Court of the County of Riverside, State of California, under date of April 25, 1952, Case Number 54446, under date of March 29, 1957, Case Number 65673 and under date of August 25, 1995, Case Number 267864; that the notice, of which the annexed is a printed copy, has been published in said newspaper in accordance with the instructions of the person(s) requesting publication, and not in any supplement thereof on the following dates, to wit:

07-22-11

I Certify (or declare) under penalty of perjury that the foregoing is true and correct.

Date: Jul. 22, 2011
At: Riverside, California



BOARD OF SUPERVISORS
P.O. BOX 1147
COUNTY OF RIVERSIDE
RIVERSIDE CA 92502

Ad #: 10734960

PO #:

Agency #: _____

Ad Copy:

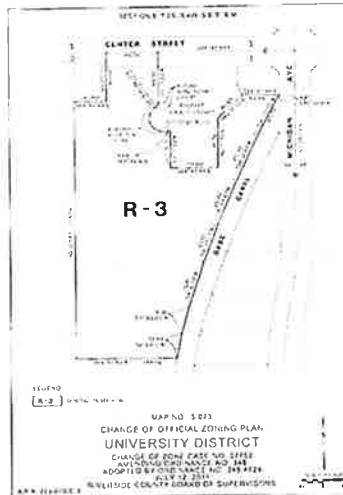
BOARD OF SUPERVISORS OF THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA

ORDINANCE NO. 348.4724
AN ORDINANCE OF THE COUNTY OF RIVERSIDE AMENDING ORDINANCE NO. 348 RELATING TO ZONING

The Board of Supervisors of the County of Riverside ordains as follows:

Section 1. Section 4.1 of Ordinance No. 348, and University District Zoning Plan Map No. 5, as amended, are further amended by placing in effect in the zone or zones as shown on the map entitled "Change of Official Zoning Plan, University District, Map No. 5.023 Change of Zone Case No. 7752," which map is made a part of this ordinance.

Section 2. This ordinance shall take effect 30 days after its adoption.



Bob Buster, Chairman of the Board
I HEREBY CERTIFY that at a regular meeting of the Board of Supervisors of said County, held on July 12, 2011, the foregoing Ordinance consisting of two (2) sections was adopted by said Board by the following vote:

AYES: Buster, Stone, Benoit and Ashley
NAYS: None
ABSENT: Tavaglione
Kecia Harper-Ihem, Clerk of the Board
By: Cecilia Gil, Board Assistant

7/22

*Ron & Cynthia Cruz
c/o 459 Center Street
Highgrove, CA 92507
951-321-9337*

Clerk of the Board
4080 Lemon Street
1st Floor
P.O. Box 1147
County Administrative Center
Riverside, CA 92502-1147

Dear Kecia Harper-Ihem,

This letter is to address our concerns and objections to the proposed Zone changes in our land use designation outlined in General Plan Amendment (No. 1105) to High Density Residential. We are very much AGAINST any such zone changes.

We also STRONGLY OBJECT to the proposed Change of Zone (No. 7752) that would change this zone in Highgrove to R3 (Multi-Family Dwellings) . We also object to the proposition that the Board can make such changes at will – without the consent of the voters.

We are AGAINST Plot Plan No. 24778 (FTA 2010-10) that proposes to build a “project” of Low Income Housing between Highgrove Elementary School, the homes on Michigan, North of Spring Street.

The area of Highgrove that Riverside County is proposing to improve with “the Project” doesn’t need improvement.

Our community of half-acre homes, for the most part, consists of people who carefully tend and enjoy their lots and their homes. The very few exceptions I have seen add up to far less than any area covered by a homeowners association. This is NOT a blighted area!

Studies have shown that low income housing brings crime, gangs and lower property values. Changing zoning and implementing this “project” could destroy our quiet community. Our family and every one of our neighbors that we have spoken to vehemently object to the three proposals cited above. (Thus a Mitigated Negative Declaration for Environmental Assessment No. 42406 should not be adopted nor approved, as it is NOT necessary.)

Riverside County has no business using public funds to build a private enterprise. As an agency whose purpose is to wisely use appropriately generated revenue on benefits to the public such as repaired roads, improved sewer, needed facilities and safety such as for police and fire protection, this agency has way over-stepped its bounds with this “project”.

Every other government agency and family is trying to cut their expenditures... Why is EDA still spending? The truth is ReDevelopment is the only organization that can issue Bonds without voter approval. EDA can get us into more debt and have us pay more property taxes without our approval. This has got to stop. This “zoning adjustment” and “project” are just symptoms of the real issue at hand of Redevelopment having far more jurisdiction over decisions that should be left for the people than is EVER warranted for a government agency.

Sincerely,
*Ron Cruz
Cynthia Cruz*

166

07-12-2011

2011-7-108514

NOTICE OF PUBLIC HEARING BEFORE THE BOARD OF SUPERVISORS OF RIVERSIDE COUNTY ON A FAST TRACK GENERAL PLAN AMENDMENT, CHANGE OF ZONE AND A PLOT SUPERVISORIAL DISTRICT AND NOTICE OF INTENT TO ADOPT A MITIGATED NEGATIVE DECLARATION

NOTICE IS HEREBY GIVEN that a public hearing at which all interested persons will be heard, will be held before the Board of Supervisors of Riverside County, California, on the 1st Floor Board Chambers, County Administrative Center, 4080 Lemon Street, Riverside, on **Tuesday, July 12, 2011 at 1:30 P.M.** to consider the application submitted by Workforce Homebuilders LLC – Douglas Goodman, on **General Plan Amendment No. 1105**, which proposes to change the land use designation from Medium Density Residential (MDR) to High Density Residential (HDR) on 6.71 acres of the site and Public Facilities (PF) on the remaining 0.72 acres; **Change of Zone No. 7752**, which proposes to change the zone from One Family Dwellings (R-1) to General Residential (R-3) for a 6.71 acre portion of the existing parcel, or such other zones as the Board may find appropriate; and, **Plot Plan No. 24778 (FTA 2010-10)**, which proposes an 89-unit low income housing apartment complex including a lot, parking, trash enclosures, and pedestrian pathways on a 6.71 acre site (“the project”). The project is located north of Spring Street on the southwest corner of Center Street and Michigan Avenue in the University Zoning District – Highgrove Area Plan, Fifth Supervisorial District.

The Planning Department has determined that the project will not have a significant effect on the environment and recommends the adoption of a Mitigated Negative Declaration for **Environmental Assessment No. 42406**.

The project case file may be viewed from the date of this notice until the public hearing, Monday through Thursday, from 7:30 a.m. to 5:30 p.m. at the Clerk of the Board of Supervisors at 4080 Lemon Street, 1st Floor, Riverside, California 92501, and at the Riverside County Planning Department at 4080 Lemon Street, 12th Floor, Riverside, California 92501.

FOR FURTHER INFORMATION REGARDING THIS PROJECT, PLEASE CONTACT MATT STRAITE, PROJECT PLANNER, AT (951) 955-8631 OR EMAIL mstrait@rcplma.org.

Any person wishing to testify in support of or in opposition to the project may do so in writing between the date of this notice and the public hearing, or may appear and be heard at the time and place noted above. All written comments received prior to the public hearing will be submitted to the Board of Supervisors and the Board of Supervisors will consider such comments, in addition to any oral testimony, before making a decision on the project.

If you challenge the above item in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence to the Planning Commission or Board of Supervisors at, or prior to, the public hearing. Be advised that as a result of the public hearing and the consideration of all public comment, written and oral, the Board of Supervisors may amend, in whole or in part, the project and/or the related environmental document. Accordingly, the designations, development standards, design or improvements, or any properties or lands within the boundaries of the project, may be changed in a way other than specifically proposed.

Please send all written correspondence to: Clerk of the Board, 4080 Lemon Street, 1st Floor, Post Office Box 1147, Riverside, CA 92502-1147

Dated: June 20, 2011

Kecia Harper-Ihem
Clerk of the Board

By: Cecilia Gil, Board Assistant

16.6 of 09-12-11

NOTICE OF PUBLIC HEARING BEFORE THE BOARD OF SUPERVISORS OF RIVERSIDE COUNTY ON A FAST TRACK GENERAL PLAN AMENDMENT, CHANGE OF ZONE AND A PLOT PLAN IN THE UNIVERSITY ZONING DISTRICT - HIGHGROVE AREA PLAN, FIFTH SUPERVISORIAL DISTRICT AND NOTICE OF INTENT TO ADOPT A MITIGATED NEGATIVE DECLARATION

NOTICE IS HEREBY GIVEN that a public hearing at which all interested persons will be heard, will be held before the Board of Supervisors of Riverside County, California, on the 1st Floor Board Chambers, County Administrative Center, 4080 Lemon Street, Riverside, on **Tuesday, July 12, 2011 at 1:30 P.M.** to consider the application submitted by Workforce Homebuilders LLC - Douglas Goodman, on **General Plan Amendment No. 1105**, which proposes to change the land use designation from Medium Density Residential (MDR) to High Density Residential (HDR) on 6.71 acres of the site and Public Facilities (PF) on the remaining 0.72 acres; **Change of Zone No. 7752**, which proposes to change the zone from One Family Dwellings (R-1) to General Residential (R-3) for a 6.71 acre portion of the existing parcel, or such other zones as the Board may find appropriate; and, **Plot Plan No. 24778 (FTA 2010-10)**, which proposes an 89-unit low income housing apartment complex including a lot, parking, trash enclosures, and pedestrian pathways on a 6.71 acre site ("the project"). The project is located north of Spring Street on the southwest corner of Center Street and Michigan Avenue in the University Zoning District - Highgrove Area Plan, Fifth Supervisorial District.

The Planning Department has determined that the project will not have a significant effect on the environment and recommends the adoption of a Mitigated Negative Declaration for **Environmental Assessment No. 42406**.

The project case file may be viewed from the date of this notice until the public hearing, Monday through Thursday, from 7:30 a.m. to 5:30 p.m. at the Clerk of the Board of Supervisors at 4080 Lemon Street, 1st Floor, Riverside, California 92501, and at the Riverside County Planning Department at 4080 Lemon Street, 12th Floor, Riverside, California 92501.

FOR FURTHER INFORMATION REGARDING THIS PROJECT, PLEASE CONTACT MATT STRAITE, PROJECT PLANNER, AT (951) 955-8631 OR EMAIL mstraitte@rcclima.org.

Any person wishing to testify in support of or in opposition to the project may do so in writing between the date of this notice and the public hearing, or may appear and be heard at the time and place noted above. All written comments received prior to the public hearing will be submitted to the Board of Supervisors and the Board of Supervisors will consider such comments, in addition to any oral testimony, before making a decision on the project.

If you challenge the above item in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence to the Planning Commission or Board of Supervisors at, or prior to, the public hearing. Be advised that as a result of the public hearing and the consideration of all public comment, written and oral, the Board of Supervisors may amend, in whole or in part, the project and/or the related environmental document. Accordingly, the designations, development standards, design or improvements, or any properties or lands within the boundaries of the project, may be changed in a way other than specifically proposed.

Please send all written correspondence to: Clerk of the Board, 4080 Lemon Street, 1st Floor, Post Office Box 1147, Riverside, CA 92502-1147

Dated: June 20, 2011

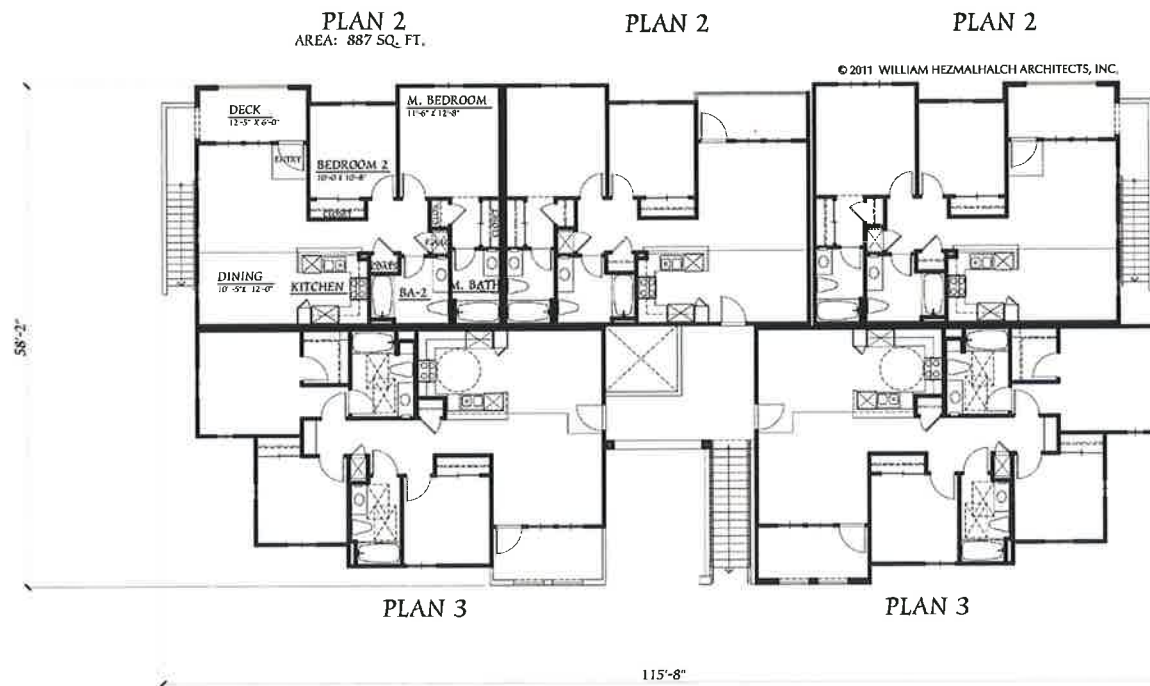
Kecia Harper-Ihem
Clerk of the Board

By: Cecilia Gil, Board Assistant

16-6 y 07-12-11

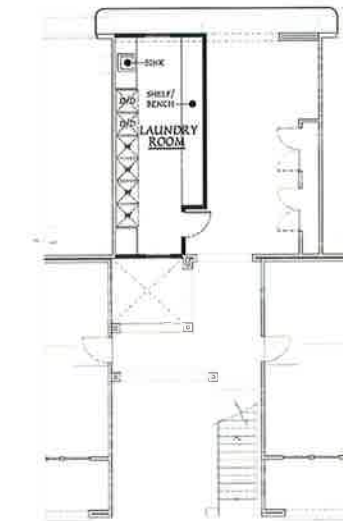
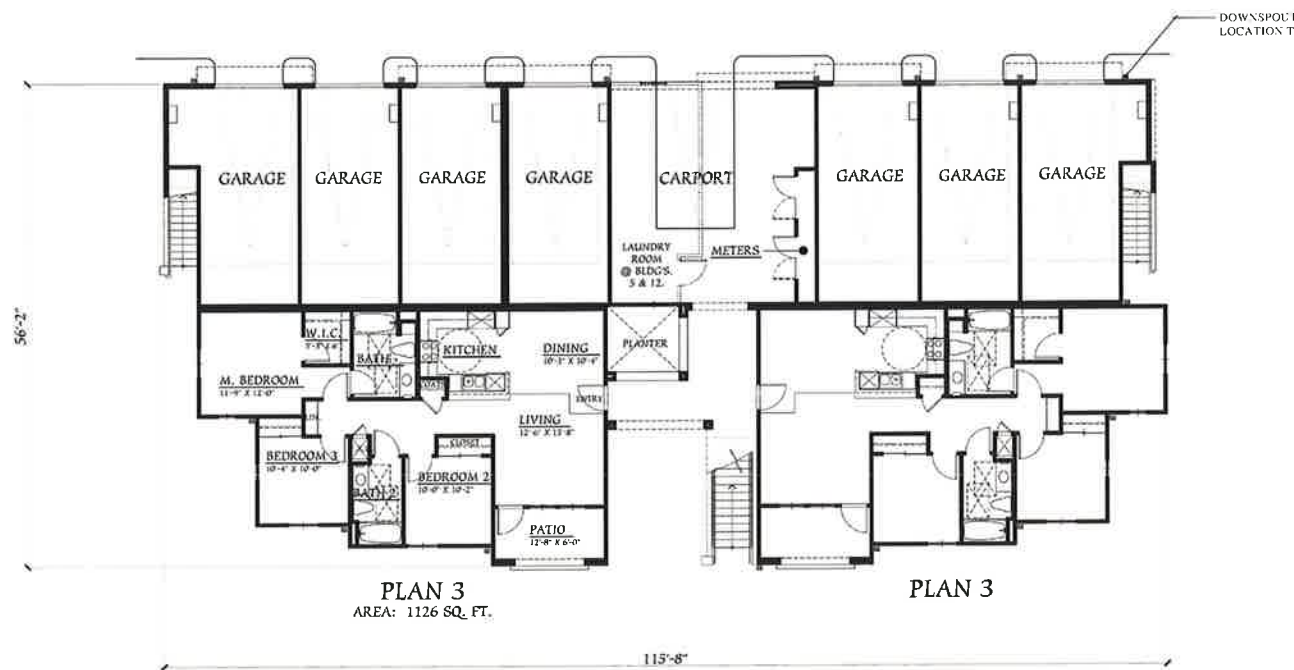
LARGE MAP FILED WITH ITEM

7/12/2011 16.6



Building Type 100	
Garage/ Carport	2846
1st Floor Residence	2252
1st Patios/ Stairs	600
2nd floor Residence	4913
2nd Floor Decks	658
Total Building s.f	11269

SECOND FLOOR COMPOSITE PLAN



LAUNDRY ROOM @ BUILDINGS 5 & 12
AREA: 268 SQ. FT.

FIRST FLOOR COMPOSITE PLAN

CASE: PP24778, AMD. #1
EXHIBIT: C & B
DATED: 3/23/11
PLANNER: M. STRAITE

MARCH 16, 2011

2006189

BUILDING 100: CONCEPTUAL COMPOSITE PLANS
HIGHGROVE WORKFORCE APARTMENTS
 COUNTY OF RIVERSIDE, CALIFORNIA
 WORKFORCE HOMEBUILDERS LLC

WH
 WILLIAM HEZMALHALCH
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 2850 REDHILL AVENUE SUITE 200 SANTA ANA CA 92705-5543
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A1.0

7/12/2011 16.6



LEFT ELEVATION



FRONT ELEVATION

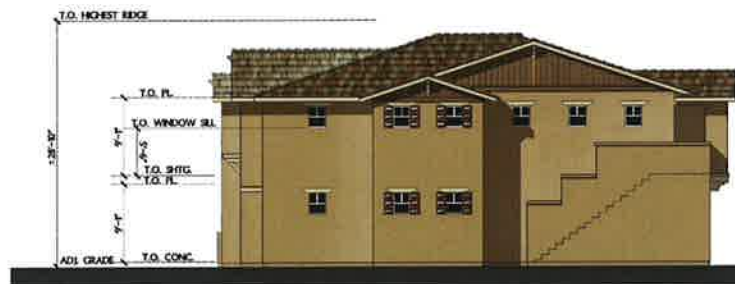
PLANT MATERIAL AT 5 TO 10 YEARS GROWTH STUCCO PATIO WALL: BUILDINGS 2, 3, 4, 9, 10, 11 & 12 (METAL RAILINGS: BUILDINGS 5, 6, 7 & 8) PRE-CAST CONCRETE TREAD/RISER © 2011 WILLIAM HEZMALHALCH ARCHITECTS, INC.



RIGHT ELEVATION



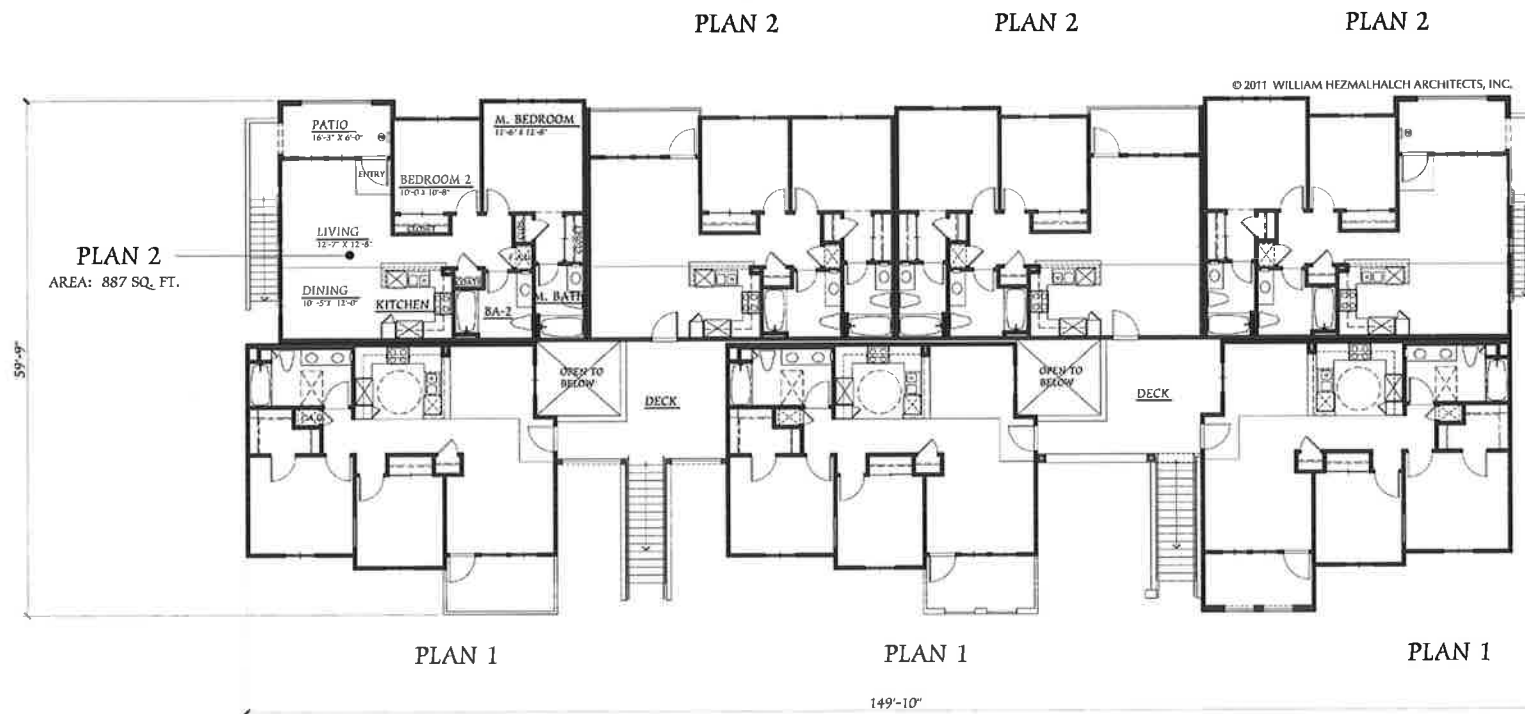
REAR ELEVATION



RIGHT ELEVATION AT BUILDING 12

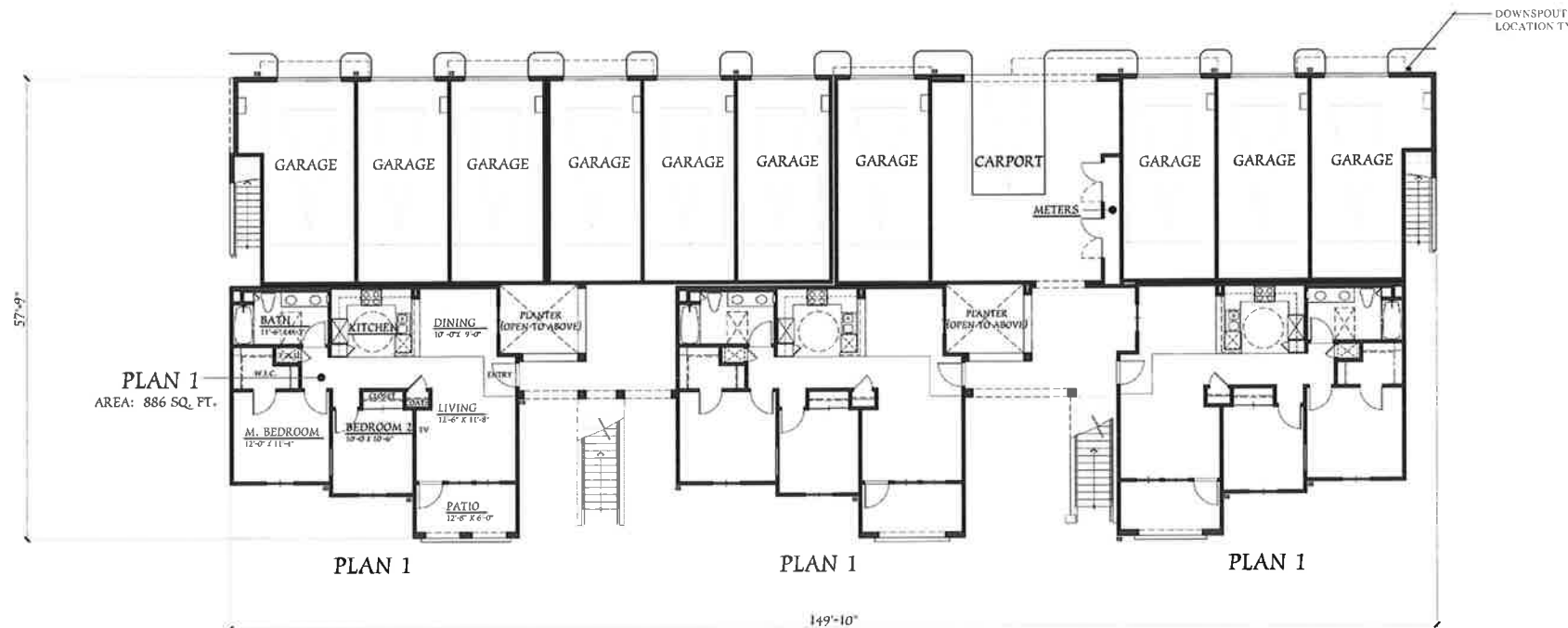


FRONT ELEVATION AT BUILDING 12



SECOND FLOOR COMPOSITE PLAN

Building Type 200	
Garage/ Carport	3767
1st Floor Residence	3378
1st Patios/ Stairs	1135
2nd floor Residence	6926
2nd Floor Decks	1092
Total Building s.f	16298



FIRST FLOOR COMPOSITE PLAN

MARCH 16, 2011

2008189



BUILDING 200: CONCEPTUAL COMPOSITE PLANS
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A2.0



LEFT ELEVATION



FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION AT BUILDING 10

MARCH 16, 2011

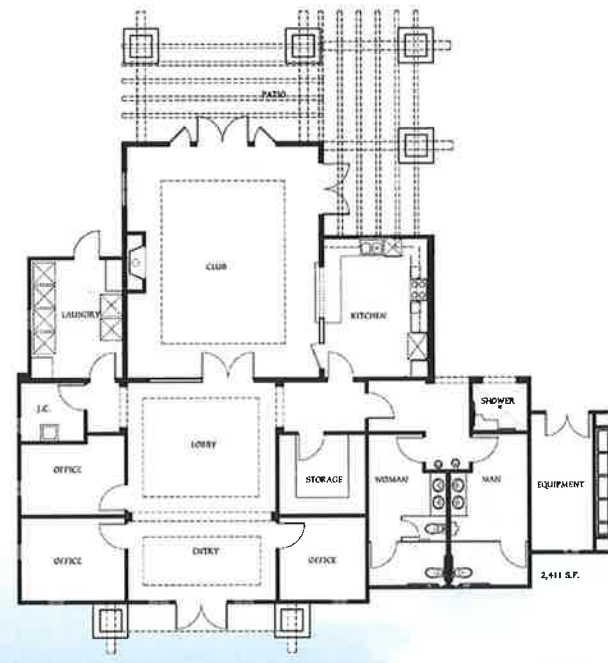
2008189



BUILDING 200: CONCEPTUAL EXTERIOR ELEVATIONS
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A2.1



FLOOR PLAN

FLAT CONCRETE ROOF TILES
VERTICAL SIDING
STUCCO TAPERED COLUMN
TRADITIONAL WALL SCOE

STUCCO OVER FOAM TRIM
WOOD BRACKET
BRICK CAP VENIEER
MAIL BOXES



LEFT ELEVATION



FRONT ELEVATION



RIGHT ELEVATION

* PLANT MATERIAL AT 5 TO 10 YEARS GROWTH

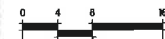
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REAR ELEVATION

Club House	
Total Building s.f	2411

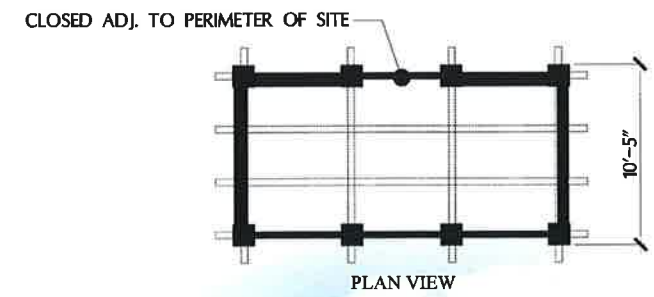
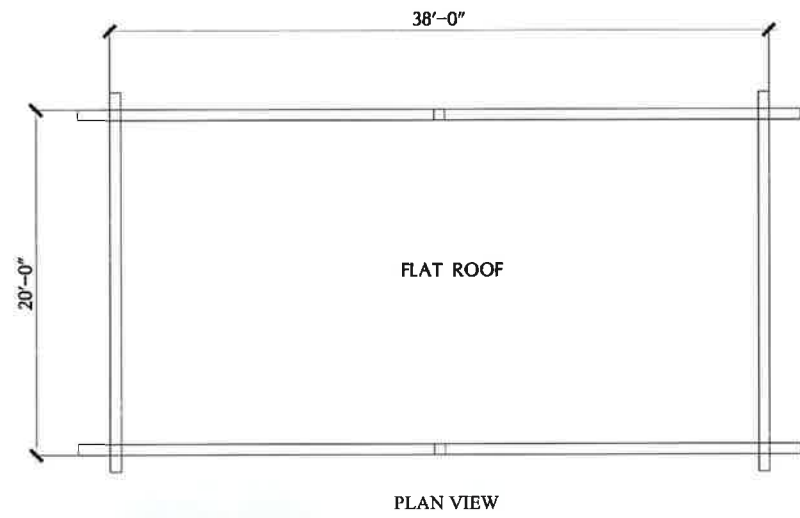
MARCH 16, 2011
2008189



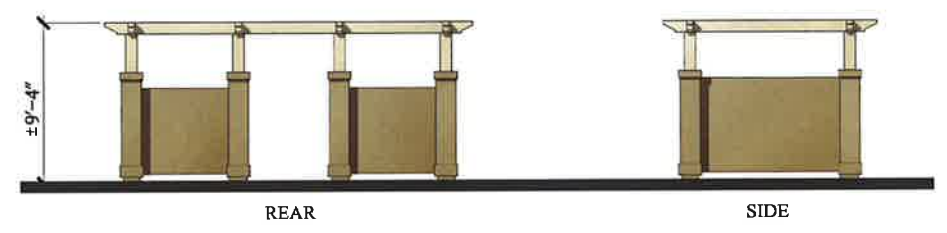
CLUB HOUSE ELEVATIONS AND FLOOR PLAN
HIGHGROVE WORKFORCE APARTMENTS
COUNTY OF RIVERSIDE, CALIFORNIA
WORKFORCE HOMEBUILDERS LLC

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A3.0

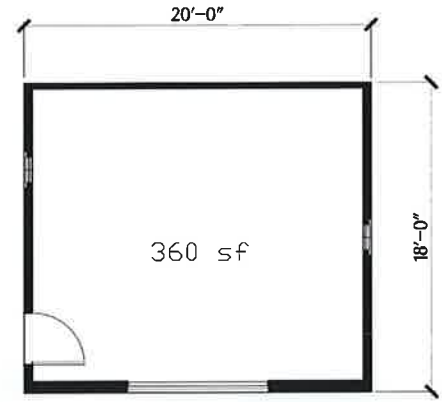


CARPORT



TRASH ENCLOSURE

Maintenance Building	
Total Building s.f	360



MAINTENANCE BUILDING

MARCH 16, 2011

2008109



MAINTENANCE BUILDING, CARPORT & TRASH ENCLOSURE
HIGHGROVE WORKFORCE APARTMENTS
 COUNTY OF RIVERSIDE, CALIFORNIA
 WORKFORCE HOMEBUILDERS LLC

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A4.0