

**SUBMITTAL TO THE BOARD OF SUPERVISORS
COUNTY OF RIVERSIDE, STATE OF CALIFORNIA**



FROM: TLMA - Planning Department

SUBMITTAL DATE:
March 21, 2011

REVIEWED BY EXECUTIVE OFFICE

DATE 3/24/11 TML
Jennifer Sargent

Departmental Concurrence

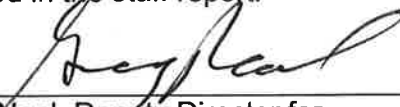
SUBJECT: TENTATIVE PARCEL MAP NO. 35267 / PLOT PLAN NO. 22636 (FAST TRACK NO. 2007-35) – Intent to Adopt a Mitigated Negative Declaration – Applicant: Rigoberto Vazquez Sr. – Engineer/Representative: Jorge A. Castillo, P.E. – Second Supervisorial District – Rubidoux Zoning District – Jurupa Area Plan: Community Development: Light Industrial (CD: LI) (0.25 - 0.60 Floor/Area Ratio) – Location: Southerly of 26th Street and easterly of Rubidoux Boulevard – 6.45 Gross Acres – Zoning: Industrial Park (I-P) and Manufacturing-Service Commercial (M-SC) – **REQUEST:** The Tentative Parcel Map is a Schedule E subdivision of 6.45 acres into eight (8) industrial parcels ranging in size from 0.64 to 0.94 acres. The Plot Plan proposes to develop eight (8) industrial and manufacturing buildings with a total building area of 108,000 square feet with 72,000 square feet of storage space, 12,000 square feet of office space, 24,000 square feet of fabrication space (floor/area ratio of 0.38) and 168 parking spaces.

RECOMMENDED MOTION:

ADOPTION of a **MITIGATED NEGATIVE DECLARATION** for **ENVIRONMENTAL ASSESSMENT NO. 41306**, based on the findings incorporated in the initial study, and the conclusion that the project will not have a significant effect on the environment;

APPROVAL of **TENTATIVE PARCEL MAP NO. 35267**, subject to the attached conditions of approval, and based upon the findings and conclusions incorporated in the staff report; and,

APPROVAL of **PLOT PLAN NO. 22636**, subject to the attached conditions of approval, and based upon the findings and conclusions incorporated in the staff report.



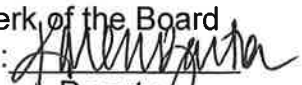
Greg Neal, Deputy Director for
Carolyn Syms Luna
Planning Director

Initials:
CSL:vc/dm

MINUTES OF THE BOARD OF SUPERVISORS

On motion of Supervisor Buster, seconded by Supervisor Benoit and duly carried, IT WAS ORDERED that the above matter is tentatively approved as recommended, and staff is directed to prepare the necessary documents for final action.

Ayes: Buster, Stone, Benoit, and Ashley
Nays: None
Absent: Tavaglione
Date: April 26, 2011
xc: Planning(2), Applicant, Co.Co.

Kecia Harper-Ihem
Clerk of the Board
By: 
Deputy

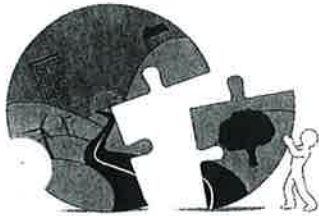
Prev. Agn. Ref.

District: Second

Agenda Number:

16.1

Dep't Recomm.: Consent Policy
Per Exec. Ofc.: Consent Policy



Carolyn Syms Luna
Director

RIVERSIDE COUNTY PLANNING DEPARTMENT

TO: Office of Planning and Research (OPR)
P.O. Box 3044
Sacramento, CA 95812-3044
 County of Riverside County Clerk

FROM: Riverside County Planning Department
 4080 Lemon Street, 12th Floor
P. O. Box 1409
Riverside, CA 92502-1409

38686 El Cerrito Road
Palm Desert, California 92211

SUBJECT: Filing of Notice of Determination in compliance with Section 21152 of the California Public Resources Code.

EA41306, Tentative Parcel Map No. 35267, Plot Plan No. 22636 (Fast Track No. 2007-35)
Project Title/Case Numbers

Christian Hinojosa (951) 955-0972
County Contact Person Phone Number

Original Negative Declaration/Notice of
Determination was routed to County
Clerks for posting on:

5/4/11
Date

klb
Initial

N/A
State Clearinghouse Number (if submitted to the State Clearinghouse)

Rigoberto Vazquez Sr. 615 South Oaks Avenue, Ontario, CA 91762
Project Applicant Address

Southerly of 26th Street and easterly of Rubidoux Boulevard
Project Location

The Tentative Parcel Map is a Schedule E subdivision of 6.45 gross (6.04 net) acres into eight (8) industrial parcels, ranging from 0.64 acres to 0.94 acres. The Plot Plan proposes to develop eight (8) industrial and manufacturing buildings, Rubidoux Development Industrial Park, with a total building area of 108,000 square feet with 72,000 square feet of storage space, 12,000 square feet of office space, 24,000 square feet of fabrication space, 56,371 square feet of landscaping area (20%) and 168 parking spaces on a 6.45 gross (6.04 net) acre site with a floor area ratio of 0.38 (Light Industrial requires a 0.25 - 0.60 floor area ratio). The project also proposes to improve 26th Street with curb and gutter to discharge onsite runoff to an existing catch basin at the intersection off Hall Avenue and 26th Street.

Project Description

This is to advise that the Riverside County Board of Supervisors, as the lead agency, has approved the above-referenced project on APR 26 2011, and has made the following determinations regarding that project:

1. The project WILL NOT have a significant effect on the environment.
2. A Mitigated Negative Declaration was prepared for the project pursuant to the provisions of the California Environmental Quality Act (\$2,044.00 + \$64.00).
3. Mitigation measures WERE made a condition of the approval of the project.
4. A Mitigation Monitoring and Reporting Plan/Program WAS NOT adopted.
5. A statement of Overriding Considerations WAS NOT adopted for the project.

This is to certify that the Mitigated Negative Declaration, with comments, responses, and record of project approval is available to the general public at: Riverside County Planning Department, 4080 Lemon Street, 12th Floor, Riverside, CA 92501.

Signature

Board Assistant
Title

APR 26 2011
Date

Date Received for Filing and Posting at OPR: _____

DM/rj
Revised 8/25/2009 Y:\Planning Master Forms\CEQA Forms\NOD Form.doc

Please charge deposit fee case#: ZEA41306 ZCFG04681
FOR COUNTY CLERK'S USE ONLY

APR 26 2011 11:01



RIVERSIDE COUNTY PLANNING DEPARTMENT

Carolyn Syms Luna
Director

MITIGATED NEGATIVE DECLARATION

Project/Case Number: EA41306, Tentative Parcel Map No. 35267, Plot Plan No. 22636 (Fast Track No. 2007-35)

Based on the Initial Study, it has been determined that the proposed project, subject to the proposed mitigation measures, will not have a significant effect upon the environment.

PROJECT DESCRIPTION, LOCATION, AND MITIGATION MEASURES REQUIRED TO AVOID POTENTIALLY SIGNIFICANT EFFECTS. (see Environmental Assessment and Conditions of Approval)

COMPLETED/REVIEWED BY:

By: Christian Hinojosa Title: Project Planner Date: December 21, 2010

Applicant/Project Sponsor: Rigoberto Vazquez Sr. Date Submitted: March 14, 2007

ADOPTED BY: Board of Supervisors

Person Verifying Adoption: *Karen [Signature]* Date: APR 26 2011

The Mitigated Negative Declaration may be examined, along with documents referenced in the initial study, if any, at:

Riverside County Planning Department 4080 Lemon Street, 12th Floor, Riverside, CA 92501

For additional information, please contact Christian Hinojosa at (951) 955-0972.

Revised: 10/16/07
Y:\Planning Master Forms\CEQA Forms\Mitigated Negative Declaration.doc

Please charge deposit fee case#: ZEA41306 ZCFG04681

FOR COUNTY CLERK'S USE ONLY

APR 26 2011 110.1

Empty rectangular box for County Clerk's use.

COUNTY OF RIVERSIDE
SPECIALIZED DEPARTMENT RECEIPT
Permit Assistance Center

D* REPRINTED * R0704222

4080 Lemon Street
Second Floor
Riverside, CA 92502
(951) 955-3200

39493 Los Alamos Road
Suite A
Murrieta, CA 92563
(951) 694-5242

38686 El Cerrito Rd
Indio, CA 92211
(760) 863-8271

Received from: VAZQUEZ RIGO \$64.00
paid by: CK 1023
CFG FOR EA41306
paid towards: CFG04681 CALIF FISH & GAME: DOC FEE
at parcel:
appl type: CFG3

By _____ Mar 14, 2007 13:10
VDOMINGU posting date Mar 14, 2007

Account Code	Description	Amount
58353120100208100	CF&G TRUST: RECORD FEES	\$64.00

Overpayments of less than \$5.00 will not be refunded!

COUNTY OF RIVERSIDE
SPECIALIZED DEPARTMENT RECEIPT
Permit Assistance Center

D* REPRINTED * R1008380

4080 Lemon Street
Second Floor
Riverside, CA 92502
(951) 955-3200

39493 Los Alamos Road
Suite A
Murrieta, CA 92563
(951) 694-5242

38686 El Cerrito Rd
Indio, CA 92211
(760) 863-8271

Received from: VAZQUEZ RIGO \$2,010.25
paid by: CK 1145
CFG FOR EA41306
paid towards: CFG04681 CALIF FISH & GAME: DOC FEE
at parcel:
appl type: CFG3

By _____ Jul 28, 2010 10:50
MGARDNER posting date Jul 28, 2010

Account Code	Description	Amount
58353120100208100	CF&G TRUST	\$2,010.25

Overpayments of less than \$5.00 will not be refunded!

COUNTY OF RIVERSIDE
SPECIALIZED DEPARTMENT RECEIPT
Permit Assistance Center

D* REPRINTED * I1003471

4080 Lemon Street
Second Floor
Riverside, CA 92502
(951) 955-3200

39493 Los Alamos Road
Suite A
Murrieta, CA 92563
(951) 694-5242

38686 El Cerrito Rd
Indio, CA 92211
(760) 863-8271

Received from: VAZQUEZ RIGO \$33.75
paid by: MC 05164Z
CFG FOR EA41306
paid towards: CFG04681 CALIF FISH & GAME: DOC FEE
at parcel:
appl type: CFG3

By _____ Dec 21, 2010 10:25
JCMITCHE posting date Dec 21, 2010

Account Code	Description	Amount
658353120100208100	CF&G TRUST	\$33.75

Overpayments of less than \$5.00 will not be refunded!



RIVERSIDE COUNTY PLANNING DEPARTMENT

Carolyn Syms Luna
Director

DATE: March 21, 2011

TO: Clerk of the Board of Supervisors

FROM: Planning Department - Riverside Office

SUBJECT: TENTATIVE PARCEL MAP NO. 35267 / PLOT PLAN NO. 22636 (FAST TRACK NO. 2007-35) – Intent to Adopt a Mitigated Negative Declaration

(Charge your time to these case numbers)

The attached item(s) require the following action(s) by the Board of Supervisors:

- | | |
|---|--|
| <input type="checkbox"/> Place on Administrative Action (Receive & File; EOT) | <input checked="" type="checkbox"/> Set for Hearing (Legislative Action Required; CZ, GPA, SP, SPA) |
| <input type="checkbox"/> Labels provided If Set For Hearing | <input checked="" type="checkbox"/> Publish in Newspaper: |
| <input type="checkbox"/> 10 Day <input type="checkbox"/> 20 Day <input type="checkbox"/> 30 day | (2nd Dist) Press Enterprise and County Record |
| <input type="checkbox"/> Place on Consent Calendar | <input checked="" type="checkbox"/> Mitigated Negative Declaration |
| <input type="checkbox"/> Place on Policy Calendar (Resolutions; Ordinances; PNC) | <input type="checkbox"/> 10 Day <input checked="" type="checkbox"/> 20 Day <input type="checkbox"/> 30 day |
| <input type="checkbox"/> Place on Section Initiation Proceeding (GPIP) | <input checked="" type="checkbox"/> Notify Property Owners (app/agencies/property owner labels provided) |
| | Controversial: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO |

Designate Newspaper used by Planning Department for Notice of Hearing:
(2nd Dist) Press Enterprise and County Record

Alii OK

Need Director's signature by March 24, 2011 by 11:00 a.m.
Please schedule on the April 26, 2011 BOS Agenda

Documents to be sent to County Clerk's Office for Posting within five days:

Notice of Determination and Mit Neg Dec Forms
Fish & Game Receipt (CFG4681)

Riverside Office · 4080 Lemon Street, 12th Floor
P.O. Box 1409, Riverside, California 92502-1409
(951) 955-3200 · Fax (951) 955-1811

Desert Office · 38686 El Cerrito Road
Palm Desert, California 92211
(760) 863-8277 · Fax (760) 863-7555

"Planning Our Future... Preserving Our Past"

D.M.

Agenda Item No.:
Area Map: Jurupa
Zoning District: Rubidoux
Supervisorial District: Second
Project Planner: Christian Hinojosa
Board of Supervisors: February 8, 2011

TENTATIVE PARCEL MAP NO. 35267
PLOT PLAN NO. 22636
(FAST TRACK NO. 2007-35)
E.A. NO. 41306
Applicant: Rigoberto Vazquez Sr.
Engineer/Representative: Jorge A. Castillo,
PE

COUNTY OF RIVERSIDE PLANNING DEPARTMENT STAFF REPORT

PROJECT DESCRIPTION AND LOCATION:

Tentative Parcel Map No. 35267 is a Schedule E subdivision of 6.45 gross (6.04 net) acres into eight (8) industrial parcels, ranging from 0.64 acres to 0.94 acres.

Plot Plan No. 22636 proposes to develop eight (8) industrial and manufacturing buildings, Rubidoux Development Industrial Park, with a total building area of 108,000 square feet with 72,000 square feet of storage space, 12,000 square feet of office space, 24,000 square feet of fabrication space, 56,371 square feet of landscaping area (20%) and 168 parking spaces on a 6.45 gross (6.04 net) acre site with a floor area ratio of 0.38 (Light Industrial requires a 0.25 - 0.60 floor area ratio). The project also proposes to improve 26th Street with curb and gutter to discharge onsite runoff to an existing catch basin at the intersection off Hall Avenue and 26th Street.

The project site is located in the Community of Belltown of the Jurupa Area Plan in Western Riverside County; more specifically, southerly of 26th Street and easterly of Rubidoux Boulevard.

SUMMARY OF FINDINGS:

- | | |
|--|---|
| 1. Existing Land Use (Ex. #1): | Vacant land |
| 2. Surrounding Land Use (Ex. #1): | Industrial uses to the north and east, vacant land and single family residences to the south and west. |
| 3. Existing Zoning (Ex. #2): | Industrial Park (I-P) and Manufacturing-Service Commercial (M-SC) |
| 4. Surrounding Zoning (Ex. #2): | Manufacturing-Service Commercial (M-SC) to the north, south, east and west. |
| 5. General Plan Land Use (Ex. #5): | Community Development: Light Industrial (CD: LI) (0.25 - 0.60 Floor Area Ratio) |
| 6. Surrounding General Plan Land Use (Ex. #5): | Community Development: Light Industrial (CD: LI) (0.25 - 0.60 Floor Area Ratio) to the north, south, east and west. |
| 7. Project Data: | Total Acreage: 6.45 Gross / 6.04 Net
Floor Area Ratio: 0.38
Total Number of Buildings: 8
Total Building Area: 108,000 Square Feet
Total Landscape Area: 56,371 Sq. Ft. (20%)
Total Parking Spaces: 168
Total Proposed Industrial Parcels: 8 (ranging from 0.64 acres to 0.94 acres)
Proposed Schedule Subdivision: E |

8. Environmental Concerns:

See attached Environmental Assessment No. 41306

RECOMMENDATIONS:

ADOPTION of a **MITIGATED NEGATIVE DECLARATION** for **ENVIRONMENTAL ASSESSMENT NO. 41306**, based on the findings incorporated in the initial study, and the conclusion that the project will not have a significant effect on the environment;

APPROVAL of **TENTATIVE PARCEL MAP NO. 35267**, subject to the attached conditions of approval, and based upon the findings and conclusions incorporated in the staff report; and,

APPROVAL of **PLOT PLAN NO. 22636**, subject to the attached conditions of approval, and based upon the findings and conclusions incorporated in the staff report.

CONCLUSIONS:

1. The proposed project is in conformance with the Community Development: Light Industrial (CD: LI) (0.25 - 0.60 Floor Area Ratio) land use designation, and with all other elements of the Riverside County General Plan.
2. The proposed project is consistent with the Industrial Park (I-P) and Manufacturing-Service Commercial (M-SC) zoning classifications of Ordinance No. 348, and with all other applicable provisions of Ordinance No. 348.
3. The proposed subdivision is consistent with the Schedule E map requirements of Ordinance No. 460, and with other applicable provisions of Ordinance No. 460.
4. The proposed project is compliant with the adopted policies and objectives of the Jurupa Valley Redevelopment Project Area (JVPA) (Rubidoux sub-area).
5. The public's health, safety and general welfare are protected through project design.
6. The proposed project is compatible with the present and future logical development of the area.
7. The proposed project will not preclude reserve design for the Multi-Species Habitat Conservation Plan (MSCHP).
8. The proposed project will not have a significant effect on the environment.

FINDINGS: The following findings are in addition to those incorporated in the summary of findings, and in the attached environmental assessment, which is incorporated herein by reference.

1. The project site is designated Community Development: Light Industrial (CD: LI) (0.25 - 0.60 Floor Area Ratio) on the Jurupa Area Plan.
2. The proposed use, industrial and manufacturing buildings, is a permitted use in the Community Development: Light Industrial (CD: LI) (0.25 - 0.60 Floor Area Ratio) land use designation.

3. The project site is surrounded by properties which are designated Community Development: Light Industrial (CD: LI) (0.25 – 0.60 Floor Area Ratio) to the north, south, east and west.
4. The zoning for the subject site is Industrial Park (I-P) and Manufacturing-Service Commercial (M-SC).
5. The proposed use, industrial and manufacturing buildings, is permitted subject to approval of a plot plan in the Industrial Park (I-P) and Manufacturing-Service Commercial (M-SC) zones.
6. The proposed use, industrial and manufacturing buildings, is consistent with the development standards set forth in the Industrial Park (I-P) and Manufacturing-Service Commercial (M-SC) zones.
7. The project site is surrounded by properties which are zoned Manufacturing-Service Commercial (M-SC) to the north, south, east and west.
8. Within the vicinity of the proposed project there are industrial uses to the north and east, vacant land and single family residences to the south and west.
9. The improvements proposed for the subdivision are consistent with the Schedule E map requirements of Ordinance No. 460.
10. The Redevelopment Development Agency (RDA) has reviewed the proposed project and has determined that the project is compliant with the adopted policies and objectives of the Jurupa Valley Redevelopment Project Area (JVPA) (Rubidoux sub-area).
11. This project is not located within a Criteria Area of the Multi-Species Habitat Conservation Plan.
12. Environmental Assessment No. 41306 identified the following potentially significant impacts:
 - a. Air Quality
 - b. Cultural Resources
 - c. Greenhouse Gas Emissions
 - d. Hydrology/Water Quality
 - e. Noise

These listed impacts will be fully mitigated by the measures indicated in the environmental assessment, conditions of approval, and attached letters. No other significant impacts were identified.

INFORMATIONAL ITEMS:

1. As of this writing, no letters, in support or opposition have been received.
2. The project site is not located within:
 - a. An Area subject to the Mt. Palomar Lighting Ordinance No. 655;

- b. A City of Sphere of Influence;
 - c. The SKR Fee Area (Ordinance No. 663.10);
 - d. A Airport Influence Area;
 - e. An Agriculture Preserve;
 - f. A WRCMSHCP Criteria Cell;
 - g. A High Fire area;
 - h. A County Fault Zone;
 - i. A Flood Zone;
 - j. An Area Drainage Plan Area; or,
 - k. A Dam Inundation Area.
3. The project site is located within:
- a. The Boundaries of the Jurupa Area Plan;
 - b. An MSHCP Fee Area (Ordinance No. 810);
 - c. A Development Impact Fee Area (Ordinance No. 659);
 - d. The Rubidoux Community Service District;
 - e. A Circulation Element Right-Of-Way (Major 118' ROW);
 - f. The Jurupa Valley Redevelopment Project Area (JVPA) (Rubidoux sub-area);
 - g. A High Paleontological Potential (High A);
 - h. An Area Moderate Liquefaction Potential;
 - i. An Area Susceptible to Subsidence; and,
 - j. The boundaries of the Jurupa Unified School District.
4. The subject site is currently designated as Assessor's Parcel Numbers 178-150-008 and 178-150-009.
5. This project was filed with the Planning Department on March 14, 2007.
6. This project was reviewed by the Land Development Committee 4 times on the following dates May 3, 2007, January 3, 2008, April 24, 2008 and June 19, 2008.
7. Deposit Based Fees charged for this project, as of the time of staff report preparation, total \$59,836.96.

**RIVERSIDE COUNTY PLANNING DEPARTMENT
PM35267 PP22636
VICINITY/POLICY AREAS**

Supervisor Tavaglione
District 2

Date Drawn: 12/21/2009
Vicinity Map



Assessors Bk. Pg. 178-15
Thomas Bros. Pg. 645 E7
Edition 2009

Zoning District: Rubidoux
Township/Range: T2SR5W
Section: 10



DISCLAIMER: On October 7, 2003, the County of Riverside adopted a new General Plan providing new land use designations for unincorporated Riverside County parcels. The new General Plan may contain different types of land use than is provided for under existing zoning. For further information, please contact the Riverside County Planning Department offices in Riverside at (951) 955-3200 (Western County), or in Indio at (760) 863-8277 (Eastern County) or website at <http://www.ltrm.ca.gov/riverside/california/index.html>

RIVERSIDE COUNTY PLANNING DEPARTMENT

PM35267 PP22636

LAND USE

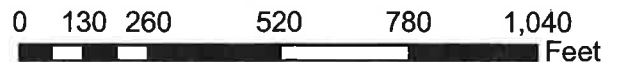
Supervisor Tavaglione
District 2

Date Drawn: 12/21/2009
Exhibit 1



Zoning District: Rubidoux
Township/Range: T2SR5W
Section: 10

Assessors Bk. Pg. 178-15
Thomas Bros. Pg. 645 E7
Edition 2009



DISCLAIMER: On October 7, 2003, the County of Riverside adopted a new General Plan providing new land use designations for unincorporated Riverside County parcels. The new General Plan may contain different types of land use than is provided for under existing zoning. For further information, please contact the Riverside County Planning Department offices in Riverside at (951) 955-3200 (Western County), or in Indio at (760) 863-8277 (Eastern County) or website at <http://www.lima.co.riverside.ca.us/index.html>

RIVERSIDE COUNTY PLANNING DEPARTMENT

PM35267 PP22636

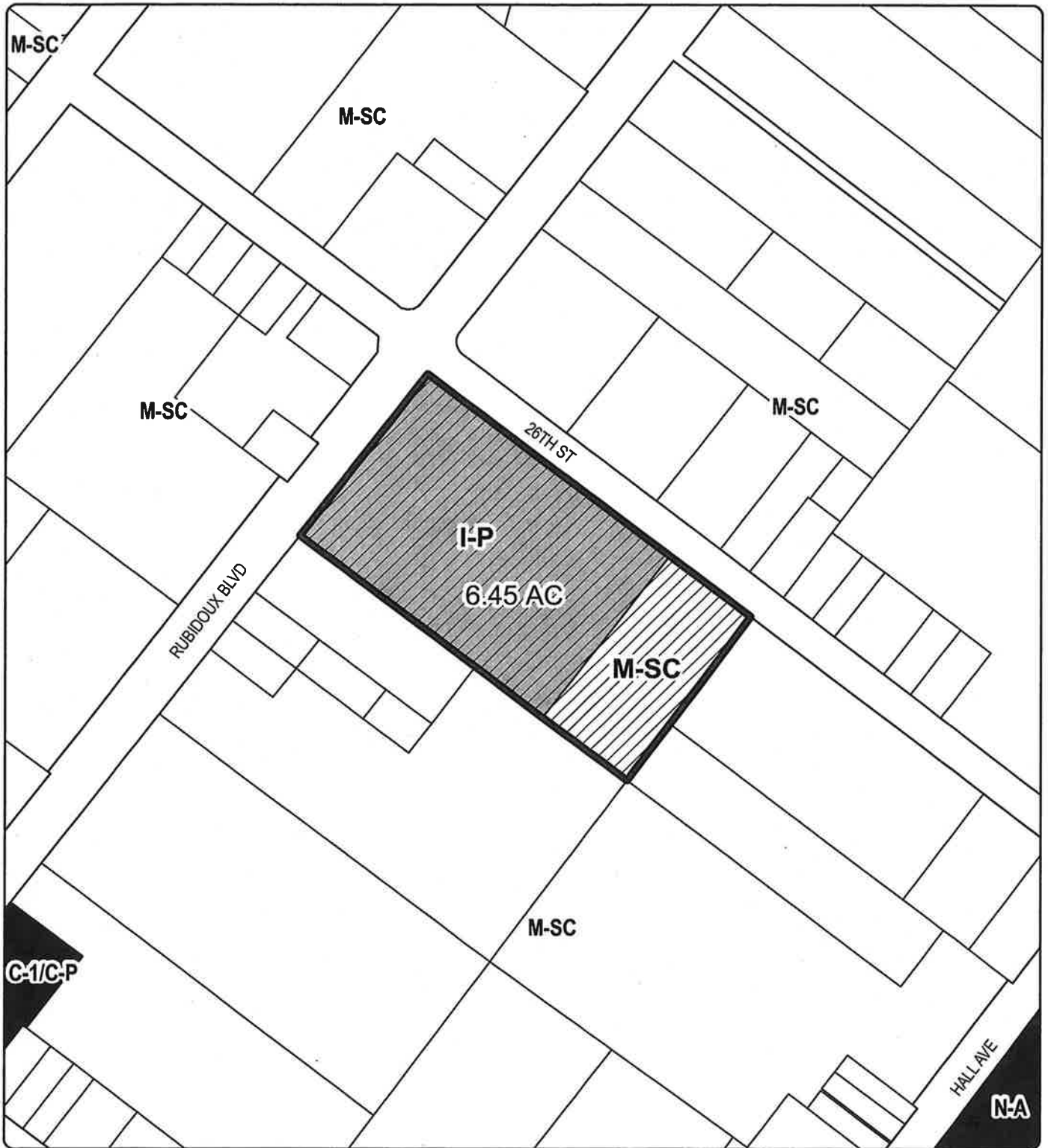
EXISTING ZONING

Supervisor Tavaglione

District 2

Date Drawn: 12/21/2009

Exhibit 2



Zoning District: Rubidoux
Township/Range: T2SR5W
Section: 10

Assessors Bk. Pg. 178-15
Thomas Bros. Pg. 645 E7
Edition 2009



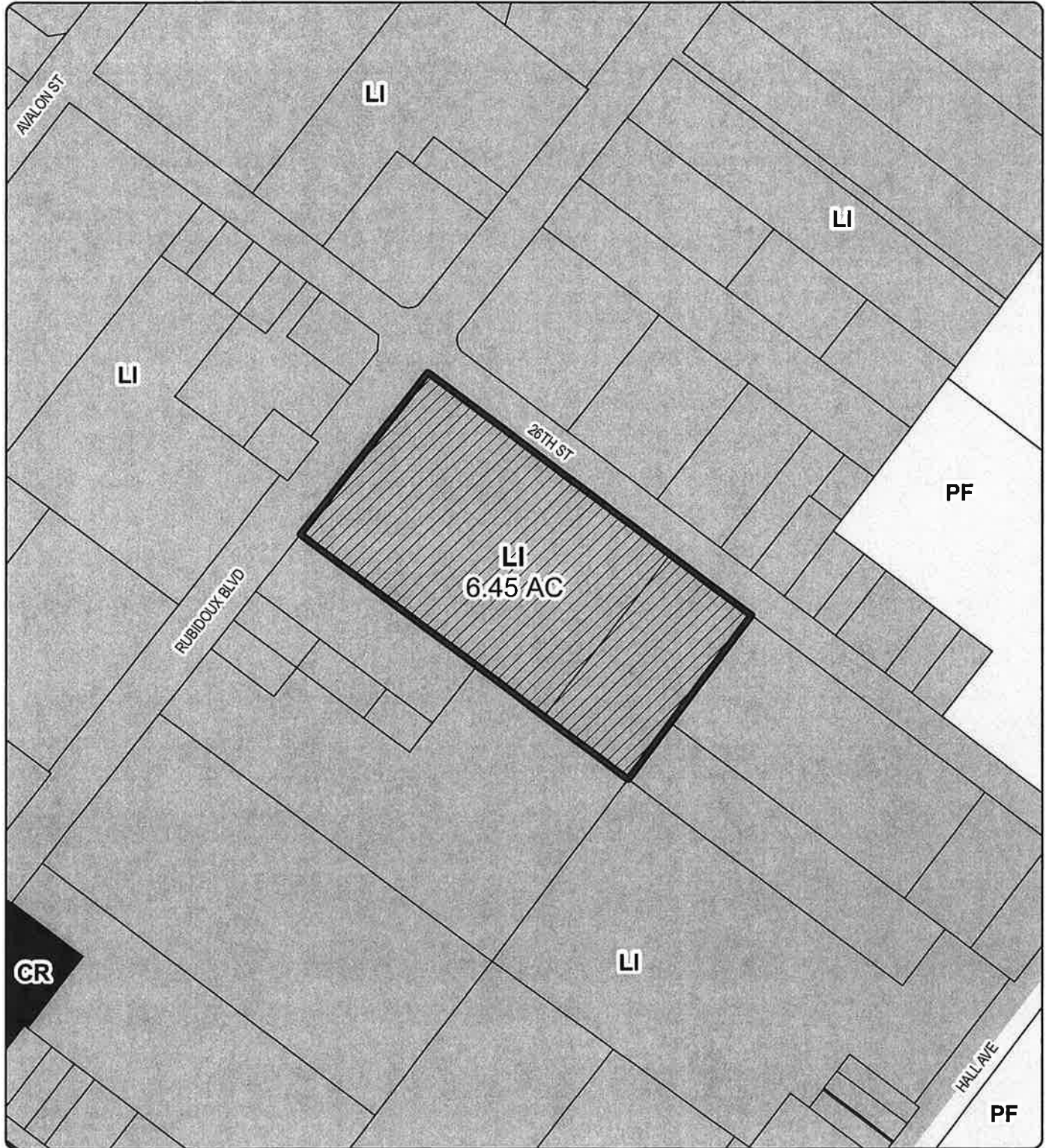
DISCLAIMER: On October 7, 2003, the County of Riverside adopted a new General Plan providing new land use designations for unincorporated Riverside County parcels. The new General Plan may contain different types of land use than is provided for under existing zoning. For further information, please contact the Riverside County Planning Department offices in Riverside at (951) 955-3200 (Western County), or in Indio at (760) 863-8277 (Eastern County) or website at <http://www.lma.co.riverside.ca.us/index.html>

RIVERSIDE COUNTY PLANNING DEPARTMENT

PM35267 PP22636
EXISTING GENERAL PLAN

Supervisor Tavaglione
District: 2

Date Drawn: 12/21/2009
Exhibit 5



Zoning District: Rubidoux
Township/Range: T2SR5W
Section: 10

Assessors Bk. Pg. 178-15
Thomas Bros. Pg. 645 E7
Edition 2009



DISCLAIMER: On October 7, 2003, the County of Riverside adopted a new General Plan providing new land use designations for unincorporated Riverside County parcels. The new General Plan may contain different types of land use than is provided for under existing zoning. For further information, please contact the Riverside County Planning Department offices in Riverside at (951) 955-3200 (Western County), or in Indio at (760) 863-8277 (Eastern County) or website at <http://www.tlma.co.riverside.ca.us/index.html>

RUBIDOUX DEVELOPMENT INDUSTRIAL PARK

OFFICE - STORAGE - FABRICATION

2610 RUBIDOUX BLVD. - RIVERSIDE, CA 92509



RUBIDOUX DEVELOPMENT INDUSTRIAL PARK
OFFICE - STORAGE - FABRICATION
2610 RUBIDOUX BLVD.
RIVERSIDE, CA 92509

PLOT PLAN NO. 22656

Sheet Title
COVER SHEET
PROJECT DATA

No. Revision
1-1
2-1
3-1
4-1
5-1
6-1
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PROJECT DATA:

CODE USED	2007 CAL. PER LOCAL BUILDING CODES
GENERAL PLAN LAND USE	14 (143 ACRES) 14-5 (108 ACRES) TOTAL = 6.65 ACRES
FLOOR AREA RATIO	0.3 TO 0.40
CONSTRUCTION TYPE	TYPICAL CONCRETE
BUILDING HEIGHT	30 FT. MAX.
NUMBER OF BUILDINGS	8 BUILDINGS
TOTAL GROSS BUILDING AREA	8300 SQ. FT.
TOTAL BUILDING FOOTPRINT AREA	12000 SQ. FT.
AREA NOTE:	27338 SQ. FT. = 628 ACRES 36036 SQ. FT. = 824 ACRES
GROSS AREA	
NET AREA	
LANDSCAPE AREA NOTE:	2621 SQ. FT.
LANDSCAPE AREA PROVIDED:	
LANDSCAPE PER PER PERCENT	
ZONING NOTE:	
LOT APN #	EXISTING
178-150-008	14 (NORTHERL)
178-150-009	14-5 (NORTHWEST)
FLOOD NOTE:	
FLOOD DESCRIPTION:	

REFERENCE SYMBOLS:

DETAIL REFERENCE: (Symbol) → DETAIL NUMBER
SECTION REFERENCE: (Symbol) → SHEET NUMBER
ELEVATION REFERENCE: (Symbol) → ELEVATION NUMBER
REVISION REFERENCE: (Symbol) → SHEET NUMBER
DOOR REFERENCE: (Symbol) → DOOR NUMBER
WINDOW REFERENCE: (Symbol) → WINDOW LETTER
NOTE REFERENCE: (Symbol) → NOTE NUMBER

PARKING REQUIREMENT:

INDUSTRIAL USES

USE	PER 1000 SQ. FT.	TOTAL
OFFICE	1 SPACE PER 200 SQ. FT.	4 SPACES
STORAGE	1 SPACE PER 1000 SQ. FT.	8 SPACES
FABRICATION	1 SPACE PER 300 SQ. FT.	28 SPACES
TOTAL PARKING PROVIDED:		40

PROJECT DESCRIPTION:

Relocate Industrial Building from existing address and site from the surrounding residential and commercial areas. The proposed project is the development of a new industrial building with a total floor area of 8,300 square feet. The building will be constructed on a 6.65-acre site. The building will be a single-story structure with a total height of 30 feet. The building will be constructed of concrete and steel. The building will be located on the north side of the site. The building will be surrounded by a parking lot. The building will be surrounded by a landscaped area. The building will be surrounded by a fence. The building will be surrounded by a security system. The building will be surrounded by a fire alarm system. The building will be surrounded by a security camera system. The building will be surrounded by a security guard system. The building will be surrounded by a security dog system. The building will be surrounded by a security alarm system. The building will be surrounded by a security camera system. The building will be surrounded by a security guard system. The building will be surrounded by a security dog system. The building will be surrounded by a security alarm system.

PROJECT DIRECTORY:

OWNER/APPLICANT:
RUBIDOUX DEVELOPMENT INDUSTRIAL PARK
2610 RUBIDOUX BLVD.
RIVERSIDE, CA 92509
TEL: 951-504-7000
FAX: 951-504-7001
E-MAIL: info@rubidoux.com

ENGINEER:
RUBIDOUX DEVELOPMENT INDUSTRIAL PARK
2610 RUBIDOUX BLVD.
RIVERSIDE, CA 92509
TEL: 951-504-7000
FAX: 951-504-7001
E-MAIL: info@rubidoux.com

PROJECT MANAGER:
JL DEVELOPMENT, LLC
2610 RUBIDOUX BLVD.
RIVERSIDE, CA 92509
TEL: 951-504-7000
FAX: 951-504-7001
E-MAIL: info@rubidoux.com

LANDSCAPE ARCHITECT:
ENVIRONMENTAL LANDSCAPE CONCEPTS
2000 REDWOOD LAKE
RIVERSIDE, CA 92509
TEL: 951-504-7000
FAX: 951-504-7001
E-MAIL: info@rubidoux.com

STRUCTURE ENGINEER:
WEST EXCISE STREET CP
RIVERSIDE, CA 92509
TEL: 951-504-7000
FAX: 951-504-7001
E-MAIL: info@rubidoux.com

HAZMAT:
MICHAEL BANGSIAN ASSOCIATES
2000 REDWOOD LAKE
RIVERSIDE, CA 92509
TEL: 951-504-7000
FAX: 951-504-7001
E-MAIL: info@rubidoux.com

GENEAL ENGINEER:
GENEAL ENGINEERING
2000 REDWOOD LAKE
RIVERSIDE, CA 92509
TEL: 951-504-7000
FAX: 951-504-7001
E-MAIL: info@rubidoux.com

TRAFFIC:
TRAFIX CONSULTANTS
2000 REDWOOD LAKE
RIVERSIDE, CA 92509
TEL: 951-504-7000
FAX: 951-504-7001
E-MAIL: info@rubidoux.com

CULTURAL RESOURCES:
MICHAEL BANGSIAN ASSOCIATES
2000 REDWOOD LAKE
RIVERSIDE, CA 92509
TEL: 951-504-7000
FAX: 951-504-7001
E-MAIL: info@rubidoux.com

UTILITIES DIRECTORY:

WATER & SEWER:
RUBIDOUX DEVELOPMENT INDUSTRIAL PARK
2610 RUBIDOUX BLVD.
RIVERSIDE, CA 92509
TEL: 951-504-7000
FAX: 951-504-7001
E-MAIL: info@rubidoux.com

GIS:
SIL CAL GAS CO
4000 BAYVIEW
RIVERSIDE, CA 92509
TEL: 951-504-7000
FAX: 951-504-7001
E-MAIL: info@rubidoux.com

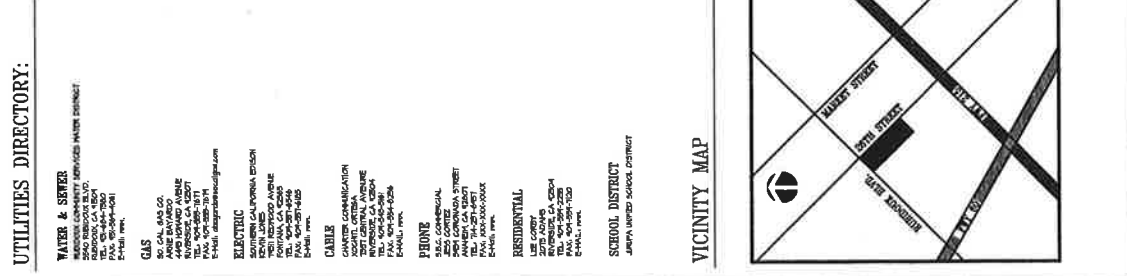
ELECTRIC:
SOUTHERN CALIFORNIA Edison
2000 REDWOOD LAKE
RIVERSIDE, CA 92509
TEL: 951-504-7000
FAX: 951-504-7001
E-MAIL: info@rubidoux.com

CABLE:
CHARTER COMMUNICATION
2000 REDWOOD LAKE
RIVERSIDE, CA 92509
TEL: 951-504-7000
FAX: 951-504-7001
E-MAIL: info@rubidoux.com

PHONE:
SBC COMMUNICATION
2000 REDWOOD LAKE
RIVERSIDE, CA 92509
TEL: 951-504-7000
FAX: 951-504-7001
E-MAIL: info@rubidoux.com

RESIDENTIAL:
RUBIDOUX DEVELOPMENT INDUSTRIAL PARK
2610 RUBIDOUX BLVD.
RIVERSIDE, CA 92509
TEL: 951-504-7000
FAX: 951-504-7001
E-MAIL: info@rubidoux.com

SCHOOL DISTRICT:
JANITA WALTER SCHOOL DISTRICT



PROJECT DATA:

CODE USED	2007 CAL. PER LOCAL BUILDING CODES
GENERAL PLAN LAND USE	14 (143 ACRES) 14-5 (108 ACRES) TOTAL = 6.65 ACRES
FLOOR AREA RATIO	0.3 TO 0.40
CONSTRUCTION TYPE	TYPICAL CONCRETE
BUILDING HEIGHT	30 FT. MAX.
NUMBER OF BUILDINGS	8 BUILDINGS
TOTAL GROSS BUILDING AREA	8300 SQ. FT.
TOTAL BUILDING FOOTPRINT AREA	12000 SQ. FT.
AREA NOTE:	27338 SQ. FT. = 628 ACRES 36036 SQ. FT. = 824 ACRES
GROSS AREA	
NET AREA	
LANDSCAPE AREA NOTE:	2621 SQ. FT.
LANDSCAPE AREA PROVIDED:	
LANDSCAPE PER PER PERCENT	
ZONING NOTE:	
LOT APN #	EXISTING
178-150-008	14 (NORTHERL)
178-150-009	14-5 (NORTHWEST)
FLOOD NOTE:	
FLOOD DESCRIPTION:	

REFERENCE SYMBOLS:

DETAIL REFERENCE: (Symbol) → DETAIL NUMBER
SECTION REFERENCE: (Symbol) → SHEET NUMBER
ELEVATION REFERENCE: (Symbol) → ELEVATION NUMBER
REVISION REFERENCE: (Symbol) → SHEET NUMBER
DOOR REFERENCE: (Symbol) → DOOR NUMBER
WINDOW REFERENCE: (Symbol) → WINDOW LETTER
NOTE REFERENCE: (Symbol) → NOTE NUMBER

PARKING REQUIREMENT:

INDUSTRIAL USES

USE	PER 1000 SQ. FT.	TOTAL
OFFICE	1 SPACE PER 200 SQ. FT.	4 SPACES
STORAGE	1 SPACE PER 1000 SQ. FT.	8 SPACES
FABRICATION	1 SPACE PER 300 SQ. FT.	28 SPACES
TOTAL PARKING PROVIDED:		40

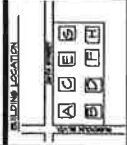
PROJECT DESCRIPTION:

Relocate Industrial Building from existing address and site from the surrounding residential and commercial areas. The proposed project is the development of a new industrial building with a total floor area of 8,300 square feet. The building will be constructed on a 6.65-acre site. The building will be a single-story structure with a total height of 30 feet. The building will be constructed of concrete and steel. The building will be located on the north side of the site. The building will be surrounded by a parking lot. The building will be surrounded by a landscaped area. The building will be surrounded by a fence. The building will be surrounded by a security system. The building will be surrounded by a fire alarm system. The building will be surrounded by a security camera system. The building will be surrounded by a security guard system. The building will be surrounded by a security dog system. The building will be surrounded by a security alarm system.



RUBIDOUX DEVELOPMENT INDUSTRIAL PARK
 OFFICE - STORAGE - FABRICATION
 2610 RUBIDOUX BLVD.
 RIVERSIDE, CA 92509

PLOT PLAN NO. 22656



Sheet Title
NEW SITE PLAN

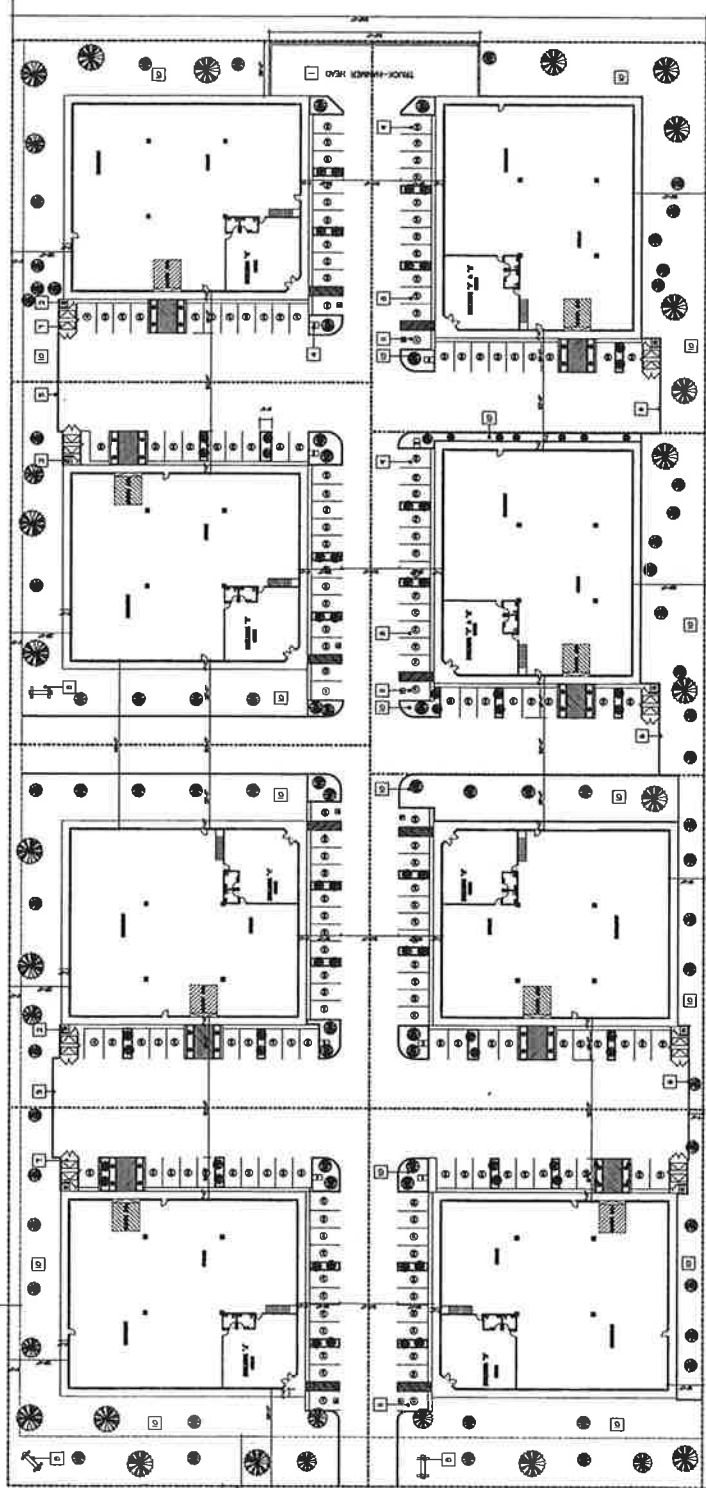
No.	Revisions	Date
1	Final Planning Review	1-26-17
2	Final Planning Review	3-8-17
3	Final Planning Review	5-2-17
4	Final Planning Review	7-1-17

Drawn	4
Checked	2016-0
Scale	1" = 30'-0"
Project #	
Sheet #	T-2

GENERAL KEY NOTES:

- 1 1/2" HIGH ROAD TURN ARROWS
- 2 TRANSFORMER LOCATION
- 3 HOUSEHOLD SEWER
- 4 EYE HOLE LOCATION
- 5 18" HIGH CONCRETE WALL
- 6 8" HIGH CONCRETE WALL
- 7 TRUCK BULLDOZE LOCATION
- 8 STANDARD PARKING SPACE 10'x5', TYP.
- 9 STANDARD 8'x0 PARKING SPACE 10'x5', TYP.
- 10 LANDSCAPE AREA - SEE LANDSCAPE PLAN
- 11 ADA PARKING SPACE, TYP.

26th STREET



RUBIDOUX BLVD.

NEW SITE PLAN



Scale: 1" = 30'-0"



RUBIDOUX DEVELOPMENT INDUSTRIAL PARK
 OFFICE - STORAGE - FABRICATION
 2610 RUBIDOUX BLVD.
 RIVERSIDE, CA 92504

PLOT PLAN NO. 226536

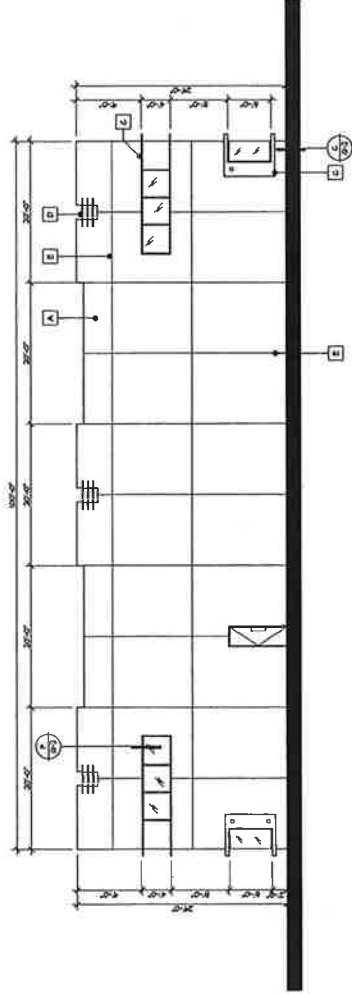
RELIEFING LOCATION



Sheet Title
SOUTH ELEVATION
WEST ELEVATION

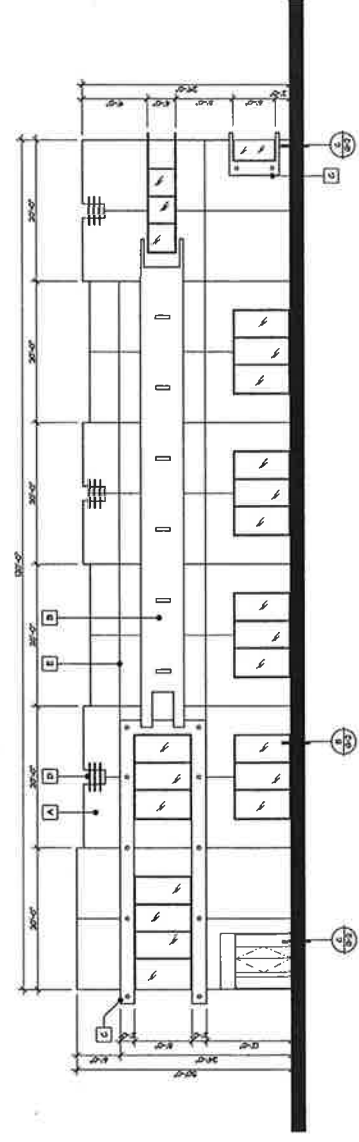
Revisions	Date
1. Initial Review	11-20-10
2. Final Planning Review	12-10-10
3. Final Planning Review	1-10-11
4. Final Review	1-10-11

Drawn:	JL
Checked:	JK
Date P/Pl:	1-10-11
Scale:	1/8" = 1'-0"
Project #:	
Sheet #:	B-3



SOUTH ELEVATION

Scale: 1/8" = 1'-0"



WEST ELEVATION

Scale: 1/8" = 1'-0"

- COLORS & MATERIALS**
- A NATURAL CONCRETE COLOR
 - B CONCRETE COLOR
 - C BRICK
 - D BRICK WITH VENEER
 - E CONCRETE BREAK REPAIR
 - F BLACK COLOR
- REVISIONS**
- 1. Initial Review
 - 2. Final Planning Review
 - 3. Final Planning Review
 - 4. Final Review



RUBIDOUX DEVELOPMENT INDUSTRIAL PARK
 OFFICE - STORAGE - FABRICATION
 2610 RUBIDOUX BLVD.
 RIVERSIDE, CA 92504

PLOT PLAN NO. 226346

REVISION LOCATION

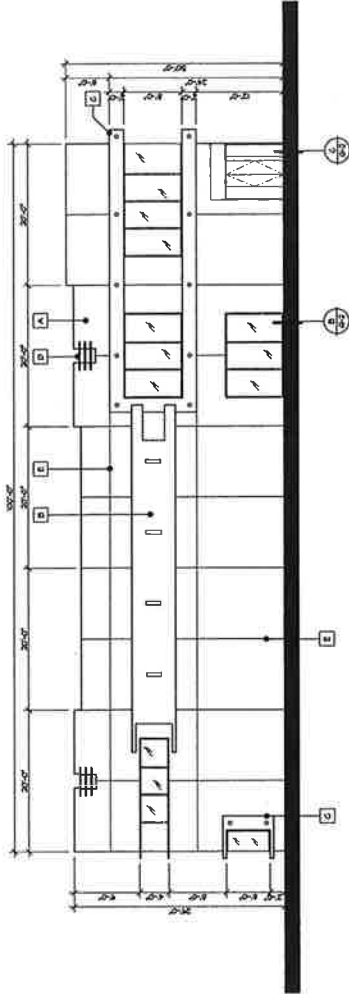
NO.	REVISION	DATE
1	1	
2	2	
3	3	
4	4	
5	5	
6	6	
7	7	
8	8	
9	9	
10	10	

Sheet Title
SOUTH ELEVATION
WEST ELEVATION

NO.	REVISION	DATE
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2	2	
3	3	
4	4	
5	5	
6	6	
7	7	
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9	9	
10	10	

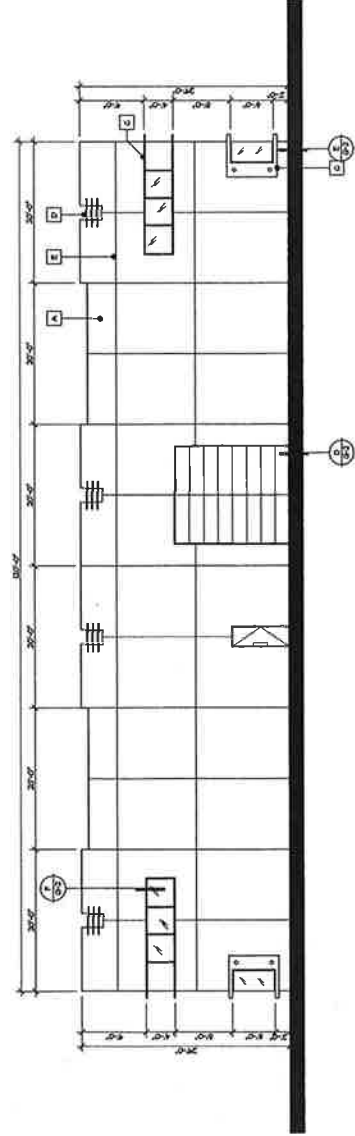
NO.	REVISION	DATE
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2	2	
3	3	
4	4	
5	5	
6	6	
7	7	
8	8	
9	9	
10	10	

C-3



SOUTH ELEVATION

Scale: 1/8" = 1'-0"



WEST ELEVATION

Scale: 1/8" = 1'-0"

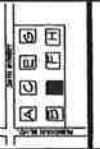
- COLORS & MATERIALS**
- A NATURAL CONCRETE COLOR
 - B COPPER COLOR
 - C BLACK COLOR
 - D BLACK COLOR
 - E CONCRETE BREAK METAL
 - F BLACK COLOR
 - G BRASS FOR INTERIORS
 - H BRASS FOR INTERIORS



RUBIDOUX DEVELOPMENT INDUSTRIAL PARK
 OFFICE - STORAGE - FABRICATION
 2610 RUBIDOUX BLVD.
 RIVERSIDE, CA 92509

PLOT PLAN NO. 220936

BUILDING LEGEND

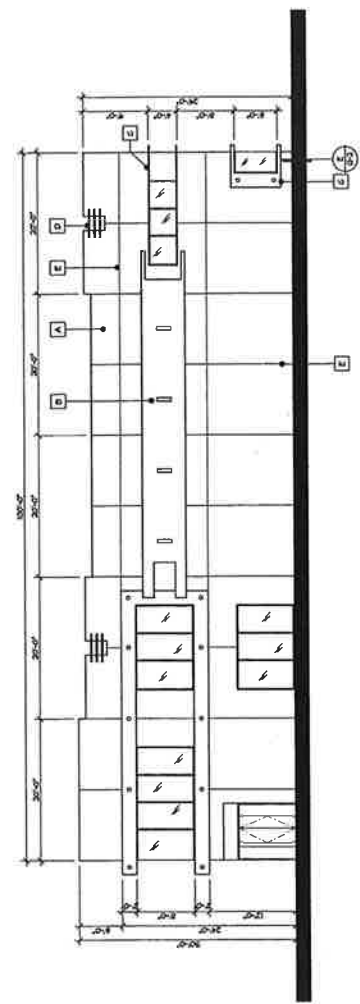


Sheet Title
**NORTH ELEVATION
 EAST ELEVATION**

No.	Description	Date
1	Final Planning Review	11-28-11
2	Final Planning Review	8-4-11
3	Final Planning Review	5-21-11
4	Final Planning Review	1-14-11

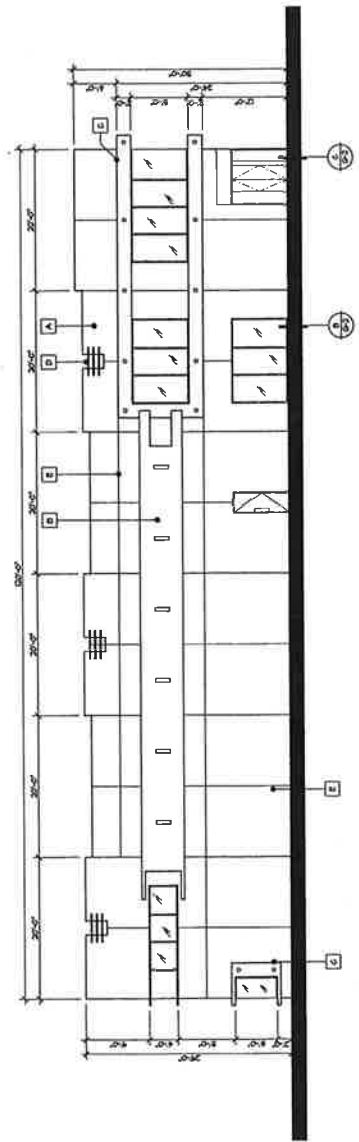
Drawn	JL
Checked	---
Date Pntd.	2-14-12
Scale	---
Project	---
Sheet #	---

D-2



NORTH ELEVATION

Scale: 1/8" = 1'-0"



EAST ELEVATION

Scale: 1/8" = 1'-0"

- COLORS & MATERIALS**
- A NATURAL CONCRETE COLOR
 - B COPPER COLOR
 - C BLACK COLOR
 - D CONCRETE BREAK REVEAL
 - E BLACK COLOR WITH 1/8" REVEAL



RUBIDOUX DEVELOPMENT INDUSTRIAL PARK
 OFFICE - STORAGE - FABRICATION
 2610 RUBIDOUX BLVD.
 RIVERSIDE, CA 92504

PLOT PLAN NO. 226096

BUILDING LOCATION



Sheet Title

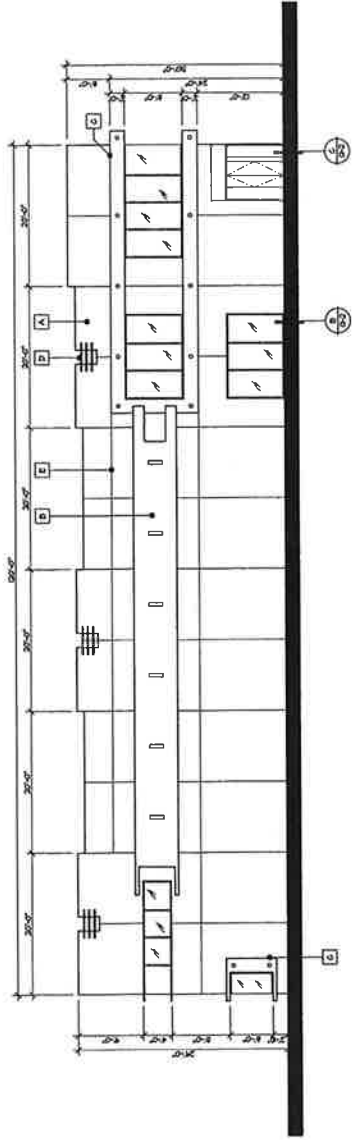
NORTH ELEVATION
 EAST ELEVATION

No.	Description	Date
1	Initial Planning Review	1-28-17
2	Final Planning Review	2-14-17
3	Final Planning Review	2-21-17
4	Final Planning Review	2-28-17
5	Final Planning Review	3-14-17
6	Final Planning Review	3-14-17

Drawn	Checked	Date Pld	Scale	Project	Sheet
		2-14-17			

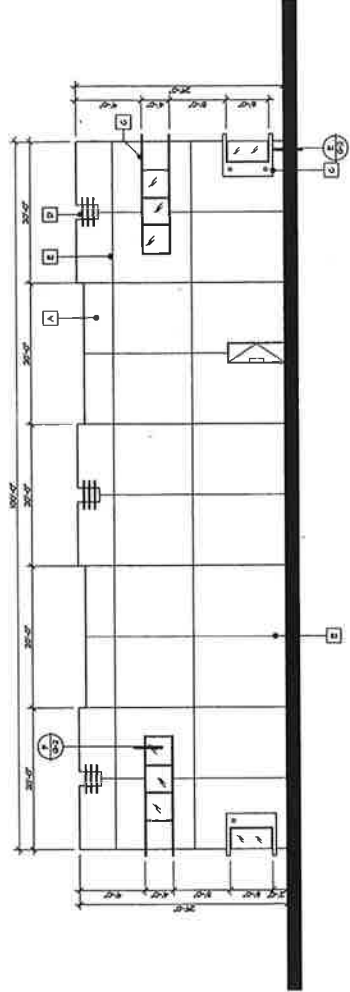
FH-2

- COLORS & MATERIALS**
- A NATURAL CONCRETE COLOR
 - B LIGHT GRAY CONCRETE COLOR
 - C SHIMAZ METAL SHEETS
 - D METAL PANELS
 - E BLACK COLOR
 - F CONCRETE BREAK REPAIR
 - G CONCRETE BREAK REPAIR
 - H CONCRETE BREAK REPAIR
 - I CONCRETE BREAK REPAIR
 - J CONCRETE BREAK REPAIR
 - K CONCRETE BREAK REPAIR
 - L CONCRETE BREAK REPAIR
 - M CONCRETE BREAK REPAIR
 - N CONCRETE BREAK REPAIR
 - O CONCRETE BREAK REPAIR
 - P CONCRETE BREAK REPAIR
 - Q CONCRETE BREAK REPAIR
 - R CONCRETE BREAK REPAIR
 - S CONCRETE BREAK REPAIR
 - T CONCRETE BREAK REPAIR
 - U CONCRETE BREAK REPAIR
 - V CONCRETE BREAK REPAIR
 - W CONCRETE BREAK REPAIR
 - X CONCRETE BREAK REPAIR
 - Y CONCRETE BREAK REPAIR
 - Z CONCRETE BREAK REPAIR



NORTH ELEVATION

Scale: 1/8" = 1'-0"



EAST ELEVATION

Scale: 1/8" = 1'-0"



RUBIDOUX DEVELOPMENT INDUSTRIAL PARK
 OFFICE - STORAGE - FABRICATION
 2610 RUBIDOUX BLVD.
 RIVERSIDE, CA 92504

PLOT PLAN NO. 22636

BUILDING LOCATION

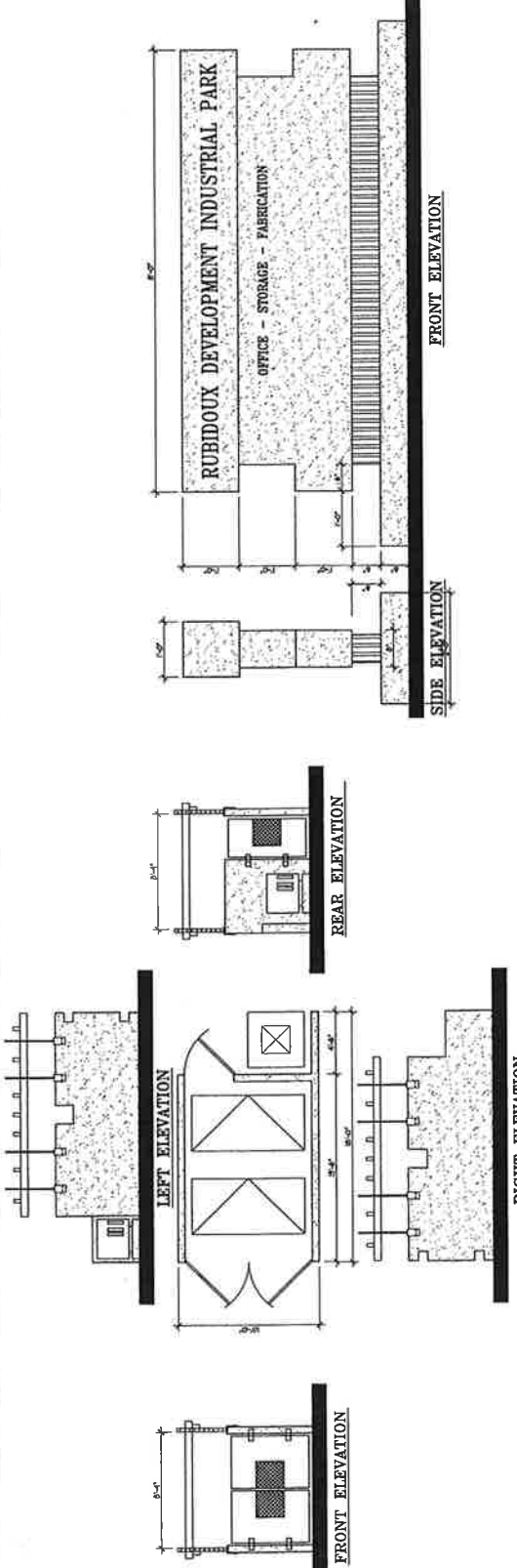


Sheet Title	Date
MONUMENT SIGNAGE SECTIONS TRASH ENCLOSURE	
No. Revision	Date
1	02-28-17
2	03-08-17
3	03-08-17
4	03-08-17
5	03-08-17

Drawn:	
Checked:	
Date Print:	3-16-17
Scale:	
Project #	
Sheet #	Q-1

GENERAL KEY NOTES:

- 1 OFFICE/INTERIOR
- 2 OFFICE AREA
- 3 ME AREA RESTROOM
- 4 ME AREA RESTROOM
- 5 ME AREA RESTROOM
- 6 METAL FABRICATED STAIR
- 7 4" HIGH METAL SPIND BARRIERS
- 8 STORAGE AREA
- 9 STEEL COLUMN
- 10 OTHER PER STEEL TRUSS
- 11 12" x 12" CONCRETE PILLAR
- 12 12" x 12" CONCRETE PILLAR
- 13 METAL BRICK WALL
- 14 1 1/2" FLOOR JOIST
- 15 ROOF
- 16 FINISHES 5'-0" PER ROOF
- 17 AS WITH MECHANICAL TAG FOR BRICKS - FABRICATION ONLY
- 18 4" x 8" PERMUTATION STUDS
- 19 NOT SHOWN

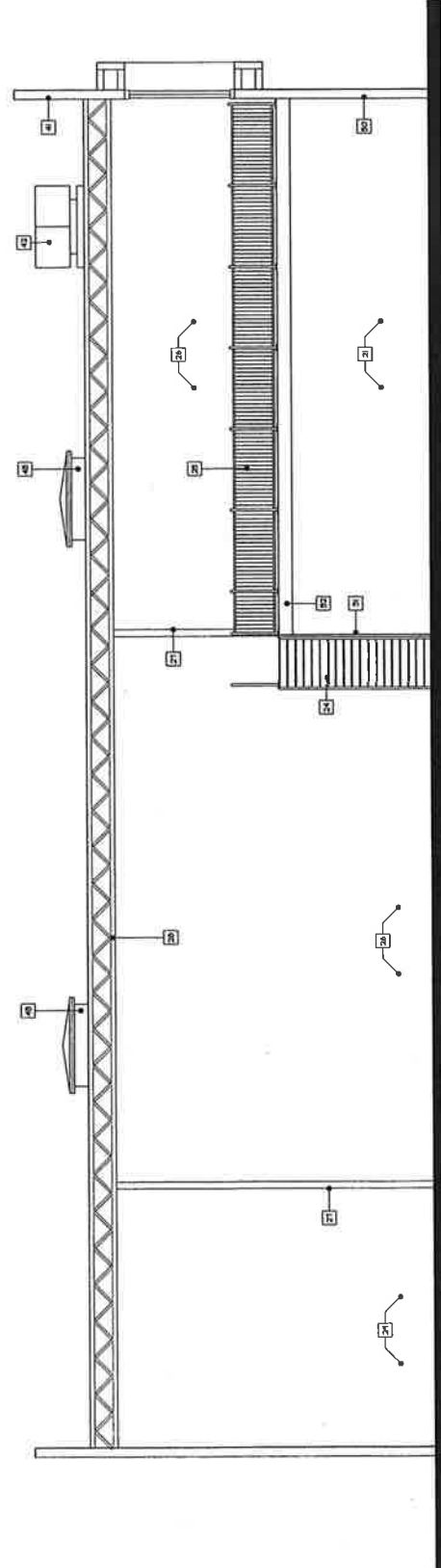


TRASH ENCLOSURE

Scale: 1/4" = 1'-0"

MONUMENT SIGNAGE

Scale: 1" = 1'-0"



SECTION A

Scale: 1/4" = 1'-0"



RUBIDOUX DEVELOPMENT INDUSTRIAL PARK
 OFFICE - STORAGE - FABRICATION
 2610 RUBIDOUX BLVD.
 RIVERSIDE, CA 92504

PLOT PLAN NO. 226936

BUILDING LOCATION



Sheet Title

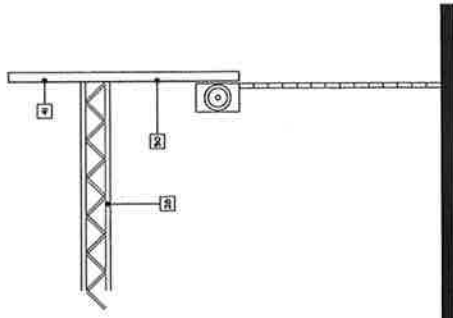
SECTIONS

No.	Revisions	Date
1	Initial Framing Review	12-24-11
2	Final Framing Review	3-4-12
3	Final Framing Review	5-2-12
4	Architectural Revision	7-1-12

Drawn:	J
Checked:	
Date Print:	2-14-12
Scale:	1/4" = 1'-0"
Project #	
Sheet #	Q-2

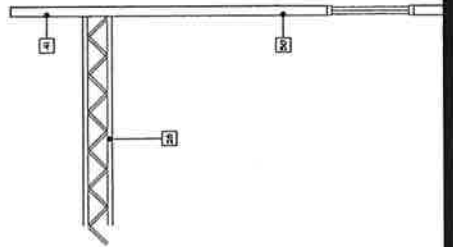
GENERAL KEY NOTES:

- OFFICE/INTERIOR
- 1 OFFICE AREA
 - 2 18" X 18" REVISION
 - 3 POWER AND REVISION
 - 4 METAL FABRICATED STEEL
 - 5 4" HIGH METAL OPEN SAVED WALLS
 - 6 STORAGE AREA
 - 7 STEEL COLUMN
 - 8 OPEN END STEEL TRUSS
 - 9 FABRICATION AREA
 - 10 TILT UP CONCRETE WALL
 - 11 METAL STEEL WALL
 - 12 12' X 12' JOIST JOIST
- SCOPE
- 13 PERMITS 6'-0" MAX HEIGHT
 - 14 PERMITS 10'-0" MAX HEIGHT
 - 15 PERMITS 12'-0" MAX HEIGHT
 - 16 4" X 6" VENTILATION EXHAUSTERS
 - 17 NOT SHOWN

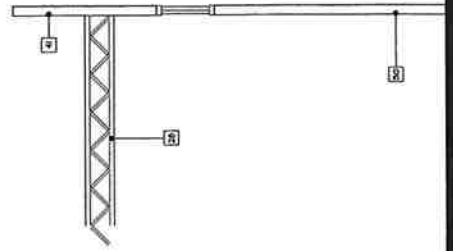


SECTION D

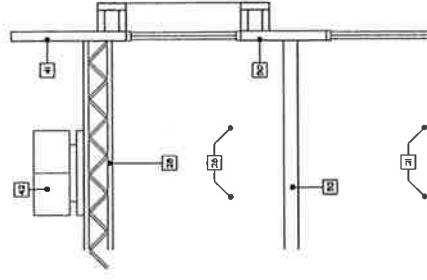
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SECTION E

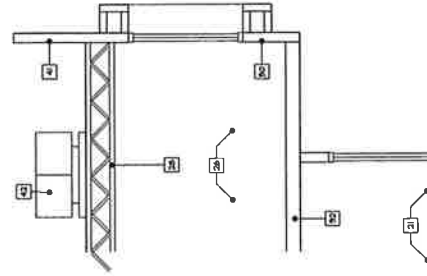


SECTION F



SECTION B

Scale: 1/4" = 1'-0"

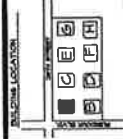


SECTION C



RUBIDOUX DEVELOPMENT INDUSTRIAL PARK
 OFFICE - STORAGE - FABRICATION
 2610 RUBIDOUX BLVD.
 RIVERSIDE, CA 92504

PLAT PLAN NO. 226556



Sheet Title
**BUILDING "A"
 FLOOR PLAN**

No.	Revisions	Date
1	Final Planning Revision	11-20-11
2	Final Planning Revision	2-4-12
3	Final Planning Revision	5-2-12
4	Final Planning Revision	7-7-12

Drawn: _____
 Checked: _____
 Date Print: 2-16-12
 Project: _____
 Sheet: **A-1**

GENERAL KEY NOTES:

- 1 OFFICE INTERIOR
- 2 OFFICE AREA
- 3 1/2" X 1/2" REINFORCING
- 4 POWER AND RESTROOM
- 5 METAL FABRICATED STEEL
- 6 4" HIGH METAL OPEN GRID RAILS
- 7 STORAGE AREA
- 8 STEEL COLUMN
- 9 OPEN WEB STEEL TRUSS
- 10 FABRICATION AREA
- 11 12" X 12" CONCRETE WALL
- 12 METAL STUD WALL
- 13 1" FLOOR JOIST

ROOF:

- 1 PERMET 2" X 1/2" INS BOARD
- 2 1/2" X 1/2" INS BOARD
- 3 1/2" X 1/2" INS BOARD
- 4 1/2" X 1/2" INS BOARD
- 5 1/2" X 1/2" INS BOARD
- 6 1/2" X 1/2" INS BOARD
- 7 1/2" X 1/2" INS BOARD
- 8 1/2" X 1/2" INS BOARD
- 9 1/2" X 1/2" INS BOARD
- 10 1/2" X 1/2" INS BOARD
- 11 1/2" X 1/2" INS BOARD
- 12 1/2" X 1/2" INS BOARD
- 13 1/2" X 1/2" INS BOARD
- 14 1/2" X 1/2" INS BOARD
- 15 1/2" X 1/2" INS BOARD
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- 54 1/2" X 1/2" INS BOARD
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WINDOW SCHEDULE

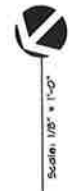
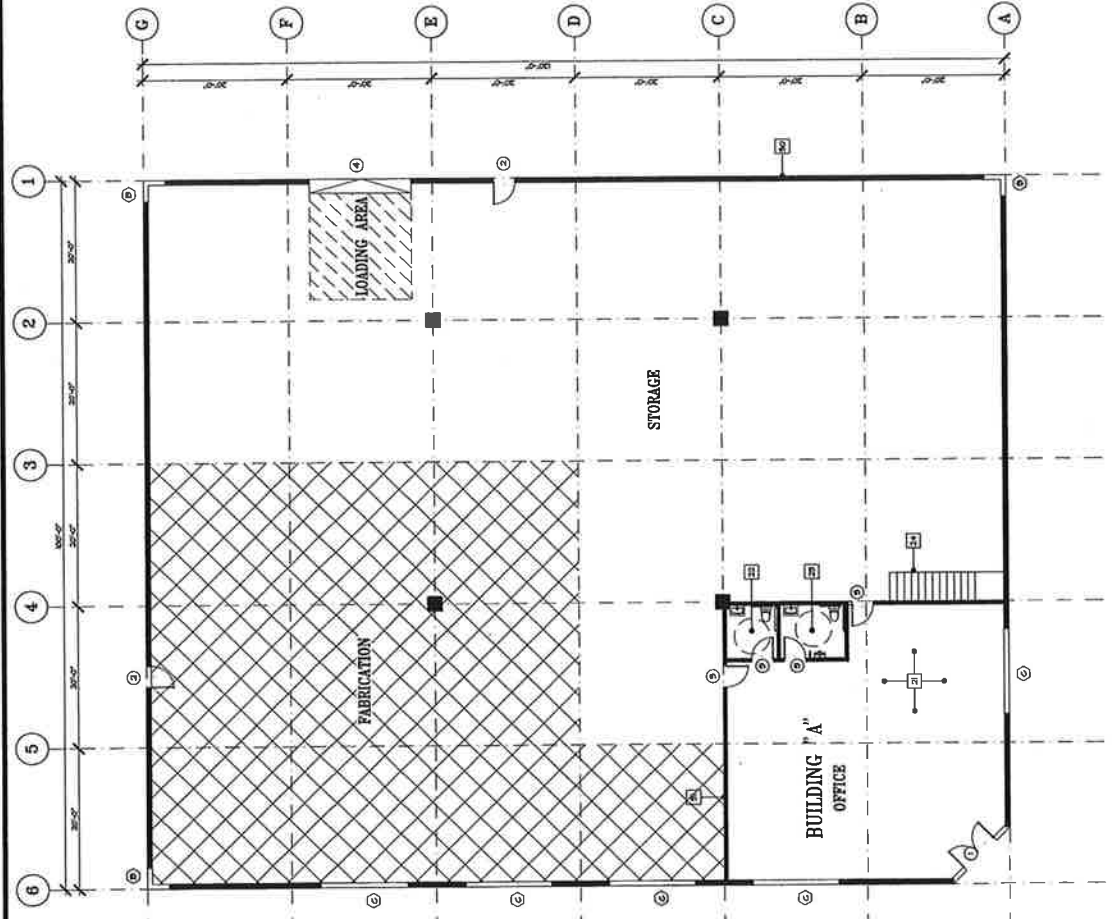
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COLORS & MATERIALS

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BLDG. "A" GROUND FLOOR PLAN
 Scale: 1/8" = 1'-0"

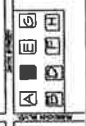
CASE #: PP22636 AMD NO. 3
 EXHIBIT: C (SHEETS 1-9)
 DATE: 7/23/08
 PLANNER: C. HINOJOSA



RUBIDOUX DEVELOPMENT INDUSTRIAL PARK
 OFFICE - STORAGE - FABRICATION
 2610 RUBIDOUX BLVD.
 RIVERSIDE, CA 92504

PLANT PLAN NO. 22656

BUILDING LOCATION



Sheet Title
BUILDING "C"
FLOOR PLAN

No.	Revisions	Date
1	Final Planning Review	11-20-17
2	Final Planning Review	1-4-18
3	Final Planning Review	2-2-18
4	Final Planning Review	7-1-18

Drawn	1
Checked	2
Date Print	2-16-18
Project #	
Sheet #	C-1

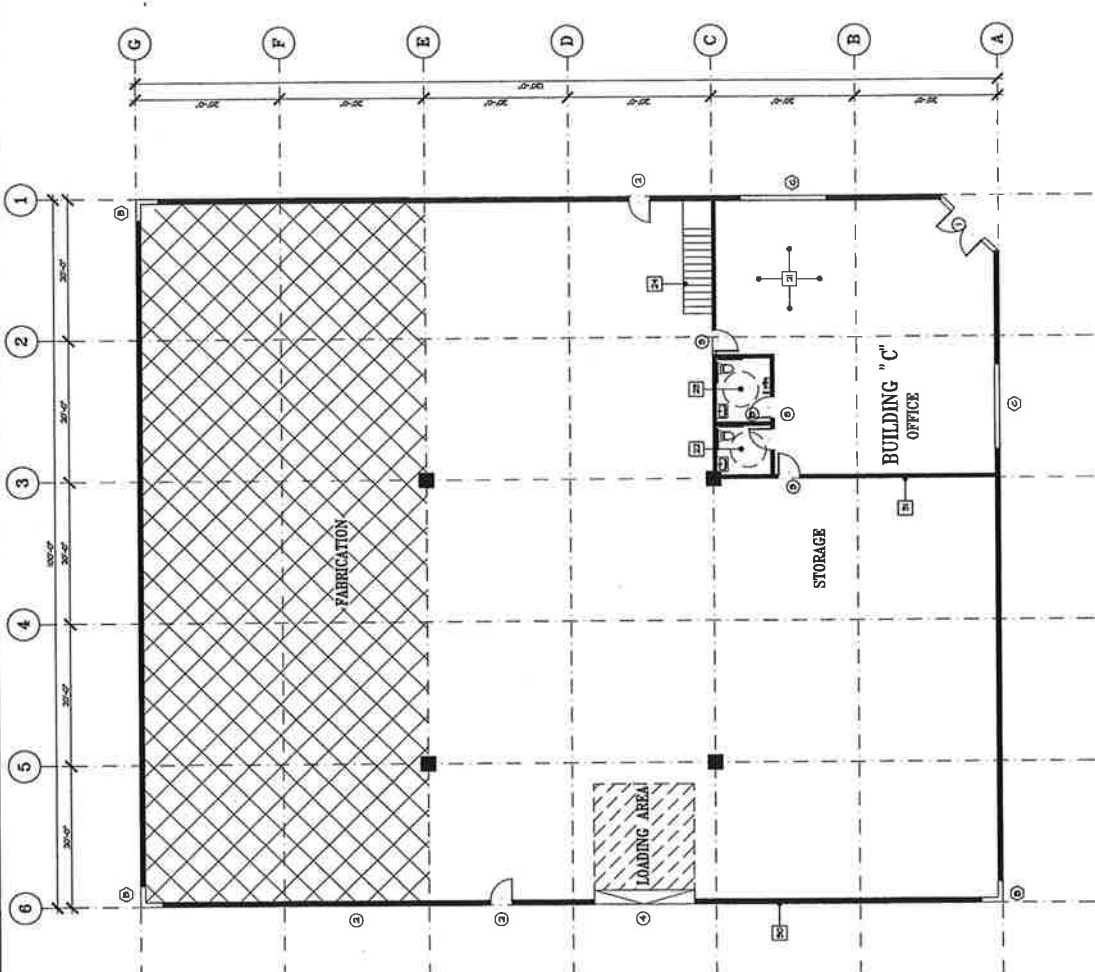
GENERAL KEY NOTES:

- OFF-CENTER**
- 1 OFFICE AREA
 - 2 16" X 16" REVISION
 - 3 POWER ADA RESTROOM
 - 4 METAL FABRICATED SIGN
 - 5 4" HIGH METAL OPEN GRADE WALLS
 - 6 STORAGE AREA
 - 7 STEEL COLLAR
 - 8 OPEN END STEEL TUB
 - 9 FABRICATION AREA
 - 10 TILT UP CONCRETE WALL
 - 11 METAL STUD WALL
 - 12 TILT UP JOIST
- ROOF**
- 13 PERMET 2'-4" HIL REBOT
 - 14 2" POLYSTYRENE INSULATION
 - 15 4" FIBERGLASS INSULATION
 - 16 NOT USED

- WINDOOR SCHEDULE**
- 17 STORAGE ROOM DW/
 - 18 SEE ELEVATION
 - 19 STORAGE ROOM DW/
 - 20 SEE ELEVATION
 - 21 STORAGE ROOM DW/
 - 22 SEE ELEVATION
 - 23 STORAGE ROOM DW/
 - 24 SEE ELEVATION

- DOOR SCHEDULE**
- 25 HALL DOOR ENTRANCE TYPE
 - 26 METAL DOOR DW/
 - 27 SEE ELEVATION
 - 28 3'-0" DOOR DW/
 - 29 3'-0" DOOR DW/
 - 30 LOADING DOOR DW/
 - 31 DOOR 14' 6" X 11'

- COLORS & MATERIALS**
- 32 NATURAL CONCRETE COLOR
 - 33 SMOOTH METAL SHEETS
 - 34 BLACK COLOR
 - 35 METAL SING
 - 36 POLYURETHANE PAINT
 - 37 CONCRETE BRICK RENTAL
 - 38 1/2" X 1/2" X 1/2" BRICK
 - 39 1/2" X 1/2" X 1/2" BRICK
 - 40 1/2" X 1/2" X 1/2" BRICK
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BLDG. "C" GROUND FLOOR PLAN
 Scale: 1/8" = 1'-0"



RUBIDOUX DEVELOPMENT - FABRICATION
 OFFICE - STORAGE - FABRICATION
 2610 RUBIDOUX BLVD.
 RIVERSIDE, CA 92504

PLOT PLAN NO. 226586

BUILDING LEGEND

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Sheet Title
**BUILDING "D"
 FLOOR PLAN**

No.	Revisions	Date
1	Initial Planning Review	12-20-17
2	Final Planning Review	3-14-18
3	Final Planning Review	5-23-18
4	Final Planning Review	1-24-18

Drawn: _____
 Checked: _____
 Date Pinned: 3-14-18
 Scale: _____
 Project # _____
 Sheet #

D-1

GENERAL KEY NOTES:

OFFICE/INTERIOR

- 1 OFFICE AREA
- 2 NEW ADA RESTROOM
- 3 REPAIR ADA RESTROOM
- 4 METAL FABRICATED STAIR
- 5 4" HIGH METAL OPEN GRADE RAILS
- 6 STORAGE AREA
- 7 STEEL COLUMN
- 8 OPEN YARD STEEL TRUSS
- 9 PARKING AREA
- 10 11" W/ CONCRETE PAVILION
- 11 METAL STUDS HALL
- 12 1" FLOOR LOTS

ROOF

- 14 PERIMETER 2" X 4" W/ALUMINUM FLASHING
- 15 4" X 4" FABRICATION BRACKETS
- 16 1" X 1" W/ALUMINUM BRACKETS
- 17 1" X 1" W/ALUMINUM BRACKETS
- 18 1" X 1" W/ALUMINUM BRACKETS

WINDOW SCHEDULE

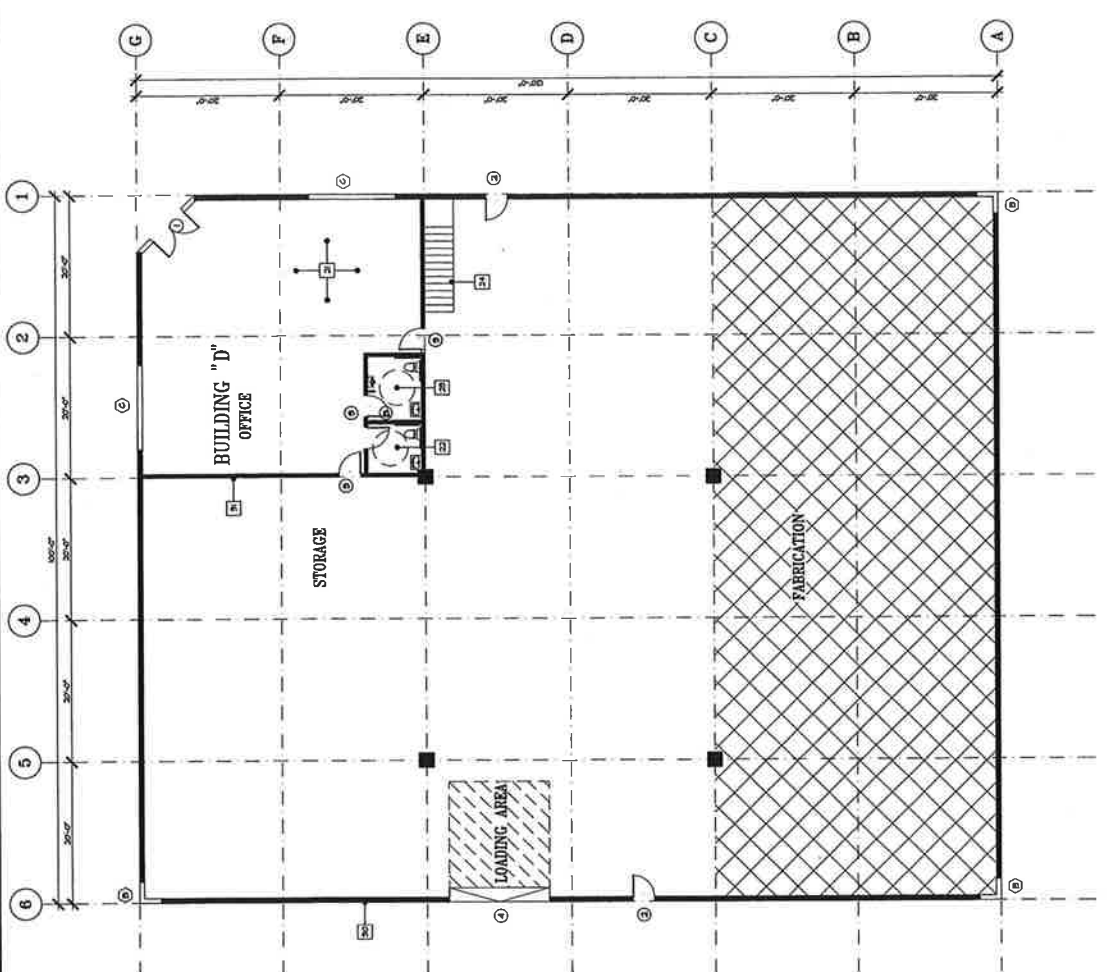
- 19 STORMWIND WINDOW 24" X 36" SEE ELEVATION
- 20 STORMWIND WINDOW 24" X 36" SEE ELEVATION
- 21 STORMWIND WINDOW 24" X 36" SEE ELEVATION
- 22 STORMWIND WINDOW 24" X 36" SEE ELEVATION
- 23 STORMWIND WINDOW 24" X 36" SEE ELEVATION
- 24 STORMWIND WINDOW 24" X 36" SEE ELEVATION

DOOR SCHEDULE

- 1 NEW DOOR (REPRESENT TYPE)
- 2 METAL DOOR 36" X 80" SEE ELEVATION
- 3 METAL DOOR 36" X 80" SEE ELEVATION
- 4 METAL DOOR 36" X 80" SEE ELEVATION
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COLORS & MATERIALS

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- 100 NATURAL CONCRETE COLOR



BLDG. "D" GROUND FLOOR PLAN

Scale: 1/8" = 1'-0"



RUBIDOUX DEVELOPMENT INDUSTRIAL PARK
 OFFICE - STORAGE - FABRICATION
 2610 RUBIDOUX BLVD.
 RIVERSIDE, CA 92504

PROJECT NO. 22836

DATE: 11/11/08

BY: [Signature]

CHECKED BY: [Signature]

DATE: 11/11/08

PROJECT NO. 22836

DATE: 11/11/08

BY: [Signature]

CHECKED BY: [Signature]

DATE: 11/11/08

PROJECT NO. 22836

DATE: 11/11/08

BY: [Signature]

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DATE: 11/11/08

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BY: [Signature]

CHECKED BY: [Signature]

DATE: 11/11/08

PROJECT NO. 22836

DATE: 11/11/08

BY: [Signature]

CHECKED BY: [Signature]

GENERAL KEY NOTES:

OFFICE/INTERIOR

- 1 OFFICE AREA
- 2 NEW ASH RESTROOM
- 3 POPPY ASH RESTROOM
- 4 METAL FABRICATED SHAK
- 5 4" HIGH METAL OPEN SAND RAILS
- 6 STORAGE AREA
- 7 STEEL COLUMN
- 8 OPEN END STEEL TRUSS
- 9 FABRICATION AREA
- 10 TILT UP CONCRETE WALL
- 11 METAL STUD WALL
- 12 12" FLOOR JOIST

ROOF

- 13 FRAMING 2" x 4" VLA HEAVY
- 14 1/2" GYPSUM BOARD
- 15 1/2" GYPSUM BOARD
- 16 4" x 4" VENTILATION JACK ONLY
- 17 4" x 4" VENTILATION JACKS ONLY
- 18 1/2" GYPSUM BOARD

WINDOW SCHEDULE

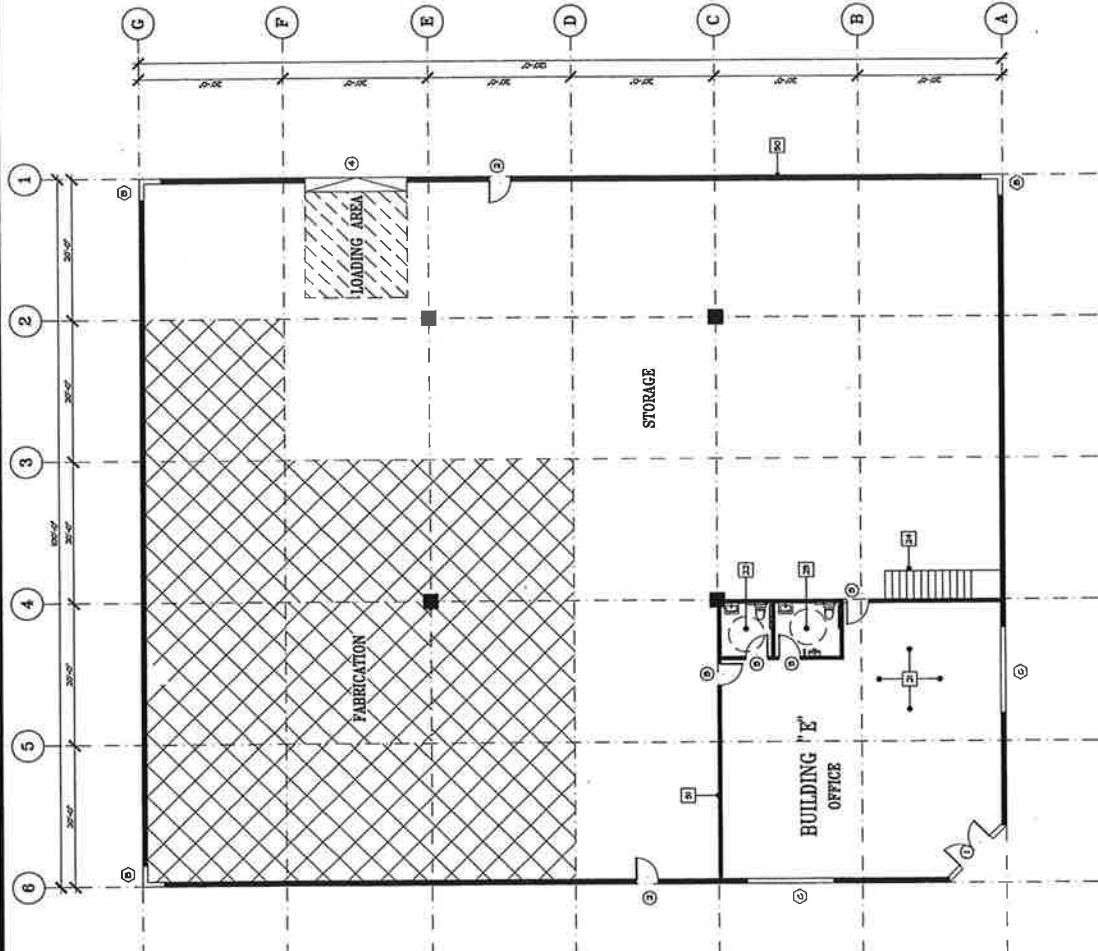
- 19 STATEMENT WINDOW UNIT
- 20 SEE ELEVATION
- 21 STATEMENT WINDOW UNIT
- 22 SEE ELEVATION
- 23 STATEMENT WINDOW UNIT
- 24 SEE ELEVATION
- 25 STATEMENT WINDOW UNIT
- 26 SEE ELEVATION

DOOR SCHEDULE

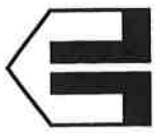
- 27 METAL DOOR FINISH TYPE
- 28 METAL DOOR 30"
- 29 SEE ELEVATION
- 30 METAL DOOR 30"
- 31 SEE ELEVATION
- 32 METAL DOOR 30"
- 33 SEE ELEVATION
- 34 METAL DOOR 30"
- 35 SEE ELEVATION

COLORS & MATERIALS

- 36 METAL CONCRETE COLOR
- 37 METAL CONCRETE COLOR
- 38 METAL CONCRETE COLOR
- 39 METAL CONCRETE COLOR
- 40 METAL CONCRETE COLOR
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- 43 METAL CONCRETE COLOR
- 44 METAL CONCRETE COLOR



BLDG. "E" GROUND FLOOR PLAN
 Scale: 1/8" = 1'-0"



RUBIDOUX DEVELOPMENT INDUSTRIAL PARK
 OFFICE - STORAGE - FABRICATION
 2610 RUBIDOUX BLVD.
 RIVERSIDE, CA 92504

PLANT PLAN NO. 22856

REVISION LOCATION

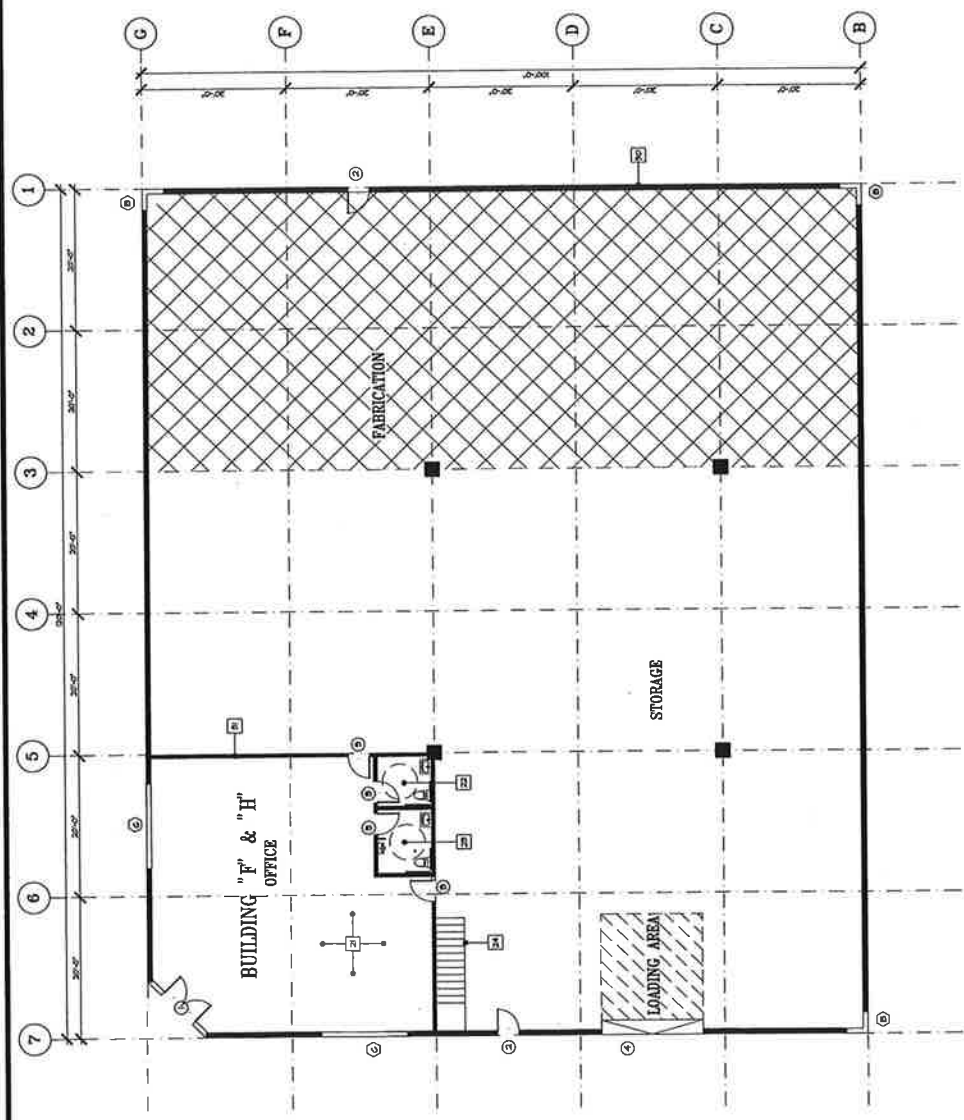
1	2	3	4	5	6	7	8	9	10
A	B	C	D	E	F	G	H	I	J

Sheet Title
**BUILDING "F" & "H"
 FLOOR PLAN**

No.	Revisions	Date
1	Final Planning Review	11-20-11
2	Final Planning Review	1-4-12
3	Final Planning Review	2-20-12
4	Final/As-Built Review	7-17-12

Drawn	↓
Checked	↓
Scale PPH	1/8" = 1'-0"
Scale	1/8" = 1'-0"
Project #	
Sheet #	FH-1

- GENERAL KEY NOTES:**
- OUTSIDE/INTERIOR**
- 1 OFFICE AREA
 - 2 NEW ASH RESTROOM
 - 3 POWER ASH RESTROOM
 - 4 METAL FABRICATED STAIR
 - 5 4" HSS METAL OPEN BEAMS RAILS
 - 6 STORAGE AREA
 - 7 STEEL COLUMN
 - 8 OPEN PER STAIR TREADS
 - 9 FABRICATION AREA
 - 10 12" x 12" CONCRETE PILL
 - 11 METAL STOPS WALL
 - 12 12" FLOOR JOIST
- ROOF**
- 13 PARADEYET 2-4" HLL ROOF
 - 14 1/2" HSS METAL PILING FOR OFFICE & STAIR FLOOR ONLY
 - 15 4" x 8" VENTILATION BOULDER
 - 16 NOT USED
- WINDOW SCHEDULE**
- 17 STORMWIND WINDOW 24" x 48" SEE ELEVATION
 - 18 STORMWIND WINDOW 36" x 48" SEE ELEVATION
 - 19 STORMWIND WINDOW 48" x 48" SEE ELEVATION
 - 20 STORMWIND WINDOW 24" x 36" SEE ELEVATION
- DOOR SCHEDULE**
- 21 1/2" HSS METAL FRAME TYPE
 - 22 METAL DOOR 24" x 48" SEE ELEVATION
 - 23 METAL DOOR 36" x 48" SEE ELEVATION
 - 24 1/2" HSS METAL FRAME TYPE
 - 25 1/2" HSS METAL FRAME TYPE
- COLORS & MATERIALS**
- 26 NATURAL CONCRETE COLOR
 - 27 1/2" HSS METAL FRAME TYPE
 - 28 1/2" HSS METAL FRAME TYPE
 - 29 BLACK COLOR
 - 30 METAL STOPS
 - 31 1/2" HSS METAL FRAME TYPE
 - 32 CONCRETE BREAK REVEAL
 - 33 1/2" HSS METAL FRAME TYPE
 - 34 1/2" HSS METAL FRAME TYPE
 - 35 1/2" HSS METAL FRAME TYPE
 - 36 1/2" HSS METAL FRAME TYPE



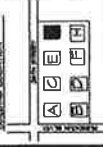
BLDG. "F" & "H" GROUND FLOOR PLAN
 Scale: 1/8" = 1'-0"



RUBIDOUX DEVELOPMENT INDUSTRIAL PARK
 OFFICE - STORAGE - FABRICATION
 2610 RUBIDOUX BLVD.
 RIVERSIDE, CA 92504

PLOT PLAN NO. 226956

PLANNING LOCATION



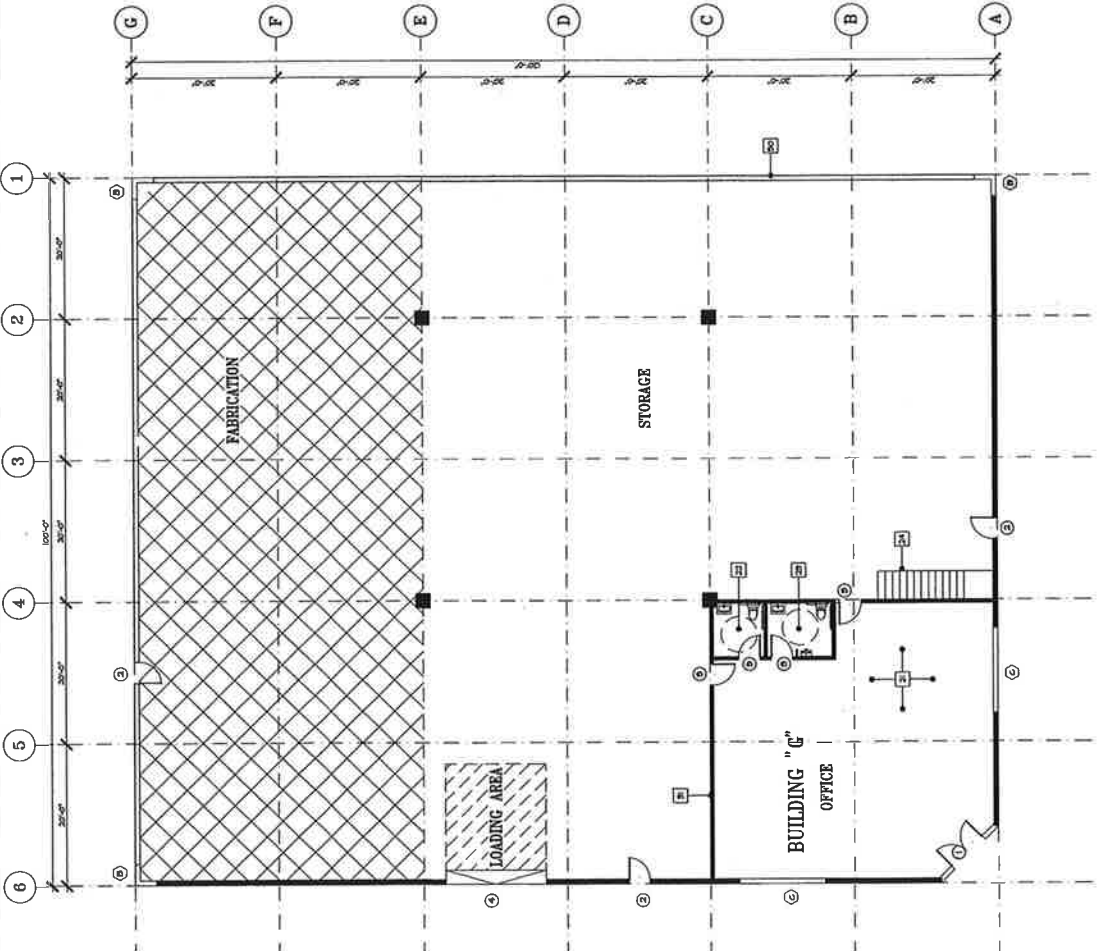
Sheet Title
**BUILDING "G"
 FLOOR PLAN**

No.	Revisions	Date
1	As Planning	10-20-11
2	As Planning	9-28-11
3	As Planning	9-28-11
4	As Planning	9-28-11
5	As Planning	9-28-11

Drawn	1
Checked	-
Date Print	2-10-12
Scale	-
Project #	-
Sheet #	G-1

GENERAL KEY NOTES:

- 1 OFFICE/INTERIOR
- 2 OFFICE AREA
- 3 PER ADA RESTROOM
- 4 PORTER LOUNGE RESTROOM
- 5 METAL FABRICATION SPARK
- 6 1/2" HIGH METAL OPEN GRID WALK BALLS
- 7 STORAGE AREA
- 8 STEEL COLUMN
- 9 OPEN END STEEL TRUSS
- 10 FABRICATION AREA
- 11 TILT-UP CONCRETE FLOOR
- 12 METAL TRUSS HALL
- 13 1/2" FLOOR JOISTS
- 14 ROOF
- 15 MINIMUM 2'-0" MIN. HEIGHT
- 16 AS NOTED MECHANICAL R/O FOR OFFICE & FIRST FLOOR ONLY
- 17 8" x 8" VENTILATION INCLAYS
- 18 NOT USED
- 19 WINDOW SCHEDULE
- 20 WINDOW SCHEDULE TYPE
- 21 SEE ELEVATION
- 22 CORNER STRUCTURE WINDOW SCHEDULE
- 23 SEE ELEVATION
- 24 WINDOW SCHEDULE TYPE
- 25 SEE ELEVATION
- 26 WINDOW SCHEDULE TYPE
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- 198 WINDOW SCHEDULE TYPE
- 199 SEE ELEVATION
- 200 WINDOW SCHEDULE TYPE



Scale: 1/8" = 1'-0"

BLDG. "G" GROUND FLOOR PLAN



RUBIDOUX DEVELOPMENT INDUSTRIAL PARK
 OFFICE - STORAGE - FABRICATION
 2610 RUBIDOUX BLVD.
 RIVERSIDE, CA 92504

PLOT PLAN NO. 22696

PROJECT LOCATION



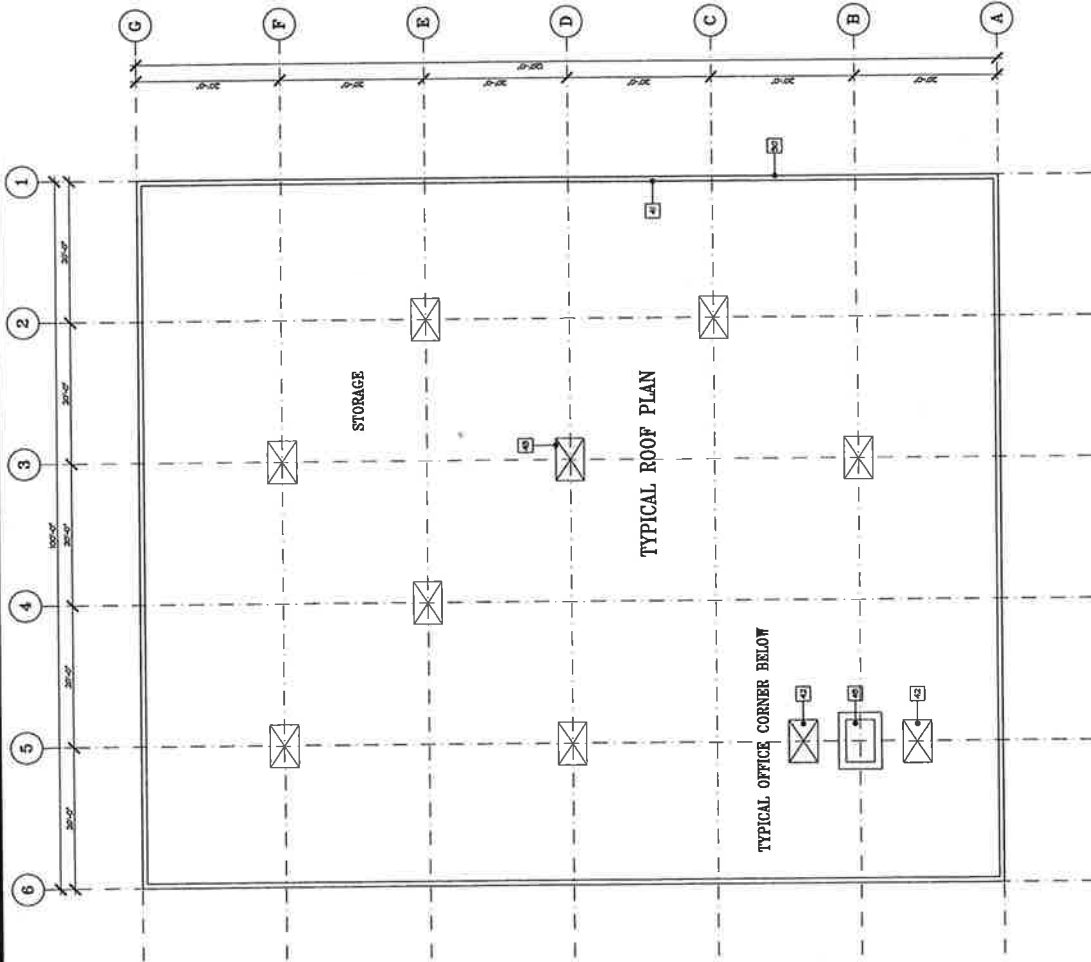
Sheet Title
TYPICAL ROOF PLAN

No.	Revisions	Date
1	Final Planning Review	11-28-17
2	Final Planning Review	1-4-18
3	Final Planning Review	1-15-18
4	Discussions Revision	1-15-18

Drawn	↓
Checked	-
Date Print	3-16-18
Scale	-
Project	-
Sheet #	N-1

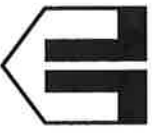
GENERAL KEY NOTES:

- OFFICE/INTERIOR**
- 1 OFFICE AREA
 - 2 NEW ADA RESTROOM
 - 3 RENOVADA RESTROOM
 - 4 METAL FABRICATED STAIR
 - 5 4' HIGH METAL OPEN GIARD RAILS
 - 6 STORAGE AREA
 - 7 STEEL COLLAR
 - 8 OPEN END STEEL TRUSS
 - 9 FABRICATION AREA
 - 10 TILT UP CONCRETE WALL
 - 11 METAL STEEL WALL
 - 12 T-1 FLOOR JOIST
- ROOF**
- 13 FLOORING 5'-0" HIG. REBOR
 - 14 AG/UNT/INSULATION/POB FOR INTERIOR PENETRATION ONLY
 - 15 4" x 8" VENTILATION SETBACKS
 - 16 VENT CAPS



TYPICAL ROOF PLAN

Scale: 1/8" = 1'-0"



RUBIDOUX DEVELOPMENT INDUSTRIAL PARK
 OFFICE - STORAGE - FABRICATION
 2610 RUBIDOUX BLVD.
 RIVERSIDE, CA 92509

PLOT PLAN NO. 226256

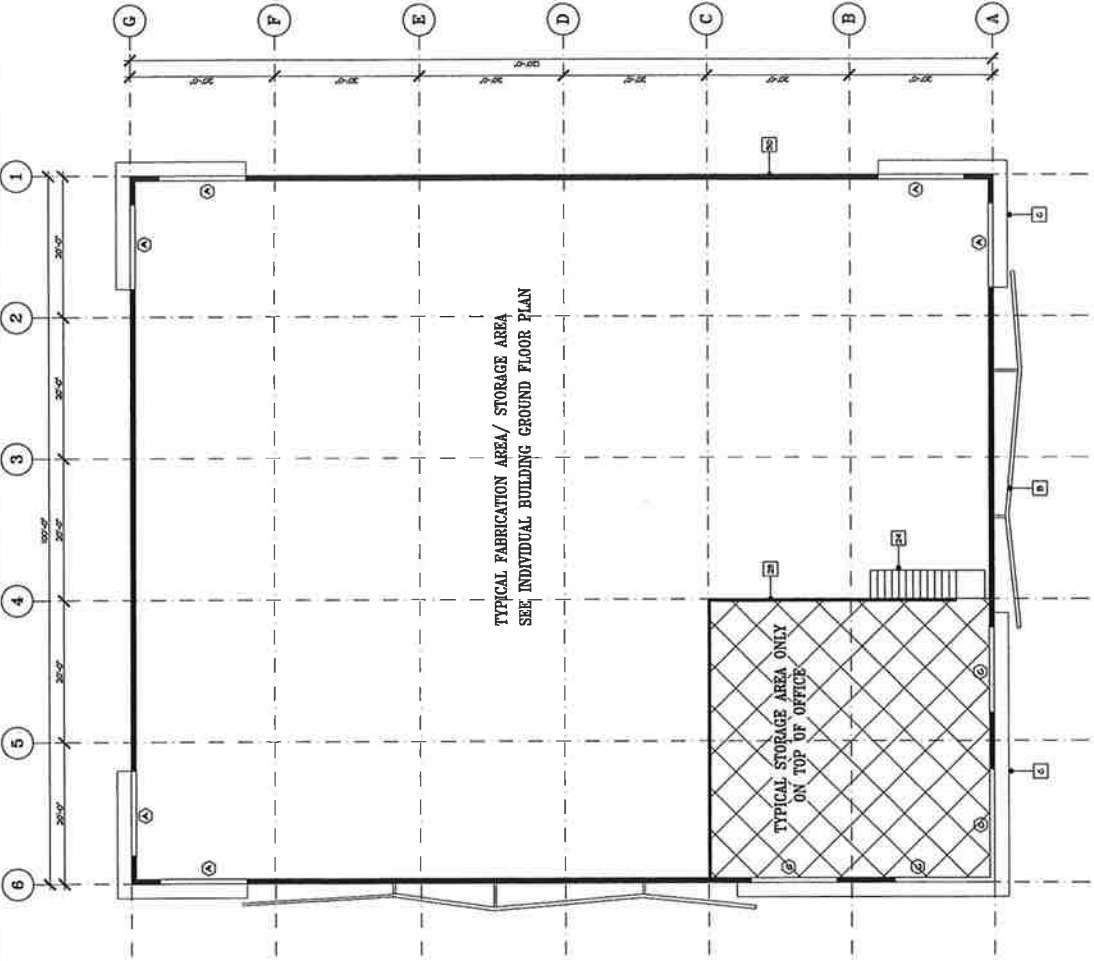


Sheet Title
TYPICAL SECOND FLOOR STORAGE AREA

No.	Revisions	Date
1	Initial Planning Review	10-27-17
2	Final Planning Review	11-1-17
3	Final Planning Review	11-1-17
4	Final Planning Review	11-1-17

Drawn: _____
 Checked: _____
 Date PPL: 2-18-18
 Scale: _____
 Project #: _____
 Sheet #: **M-1**

- GENERAL KEY NOTES:**
- OFFICE/INTERIOR**
- 1 OFFICE AREA
 - 2 METAL FABRICATION
 - 3 METAL FABRICATION STAIR
 - 4 METAL FABRICATION STAIR
 - 5 STORAGE AREA
 - 6 STEEL COLUMN
 - 7 UP/DB STEEL TRUSS
 - 8 FABRICATION AREA
 - 9 TILT UP CONCRETE WALL
 - 10 METAL STEEL WALL
 - 11 T-1 FLOOR LATH
- ROOF**
- 12 PERIMETER 3" x 4" PINE JOIST
 - 13 AG/INT/MECHANICAL FLOOR FOR OFFICE & FIRST FLOOR ONLY
 - 14 4" x 8" VENTILATION EXHAUSTERS
 - 15 NOT USED
- WINDOW SCHEDULE**
- 16 WINDOW SCHEDULE REPORT 214' SEE ELEVATION
 - 17 WINDOW SCHEDULE REPORT 214' SEE ELEVATION
 - 18 WINDOW SCHEDULE REPORT 214' SEE ELEVATION
 - 19 WINDOW SCHEDULE REPORT 214' SEE ELEVATION
 - 20 WINDOW SCHEDULE REPORT 214' SEE ELEVATION



TYPICAL FABRICATION AREA / STORAGE AREA
 SEE INDIVIDUAL BUILDING GROUND FLOOR PLAN

TYPICAL STORAGE AREA ONLY
 ON TOP OF OFFICE

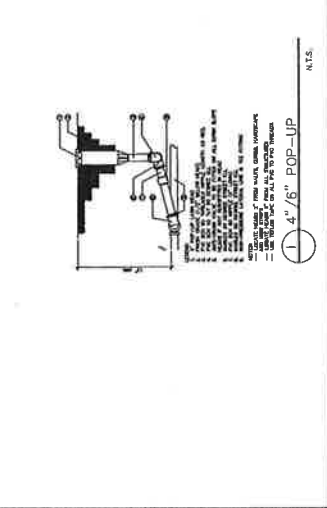
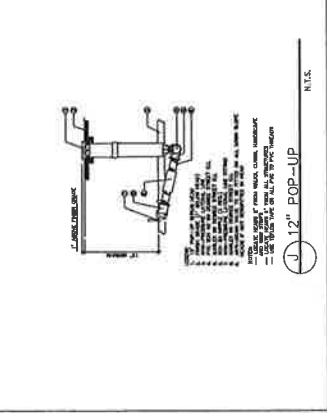
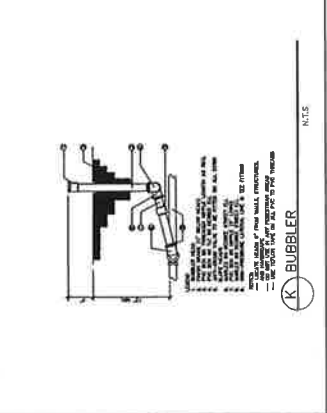
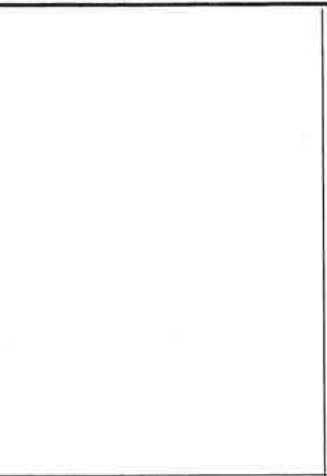
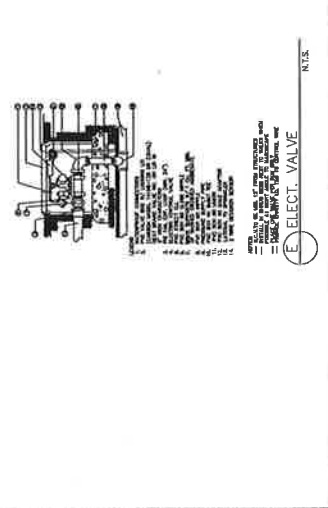
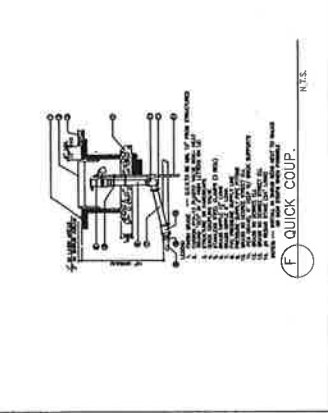
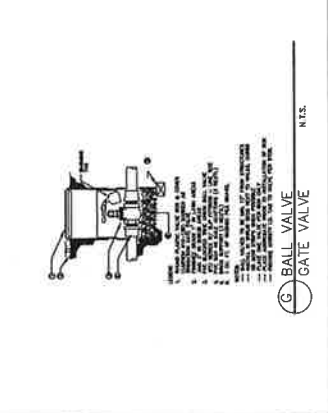
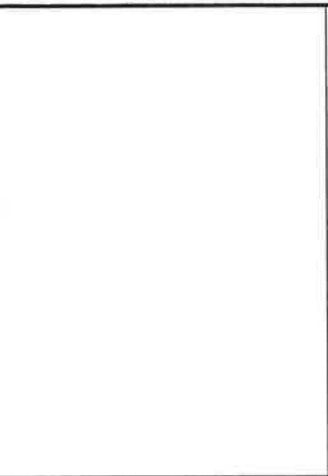
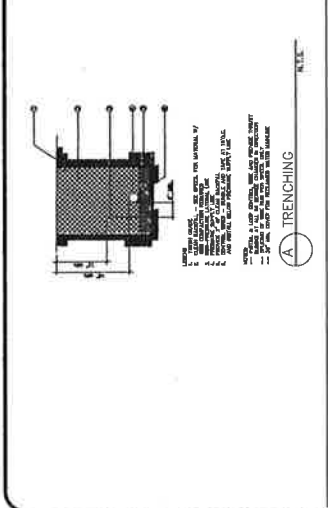
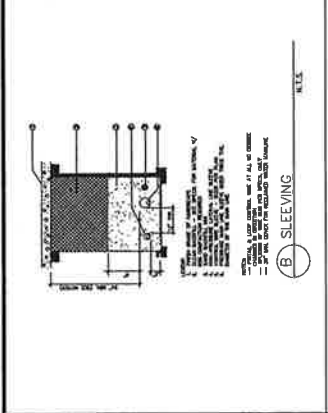
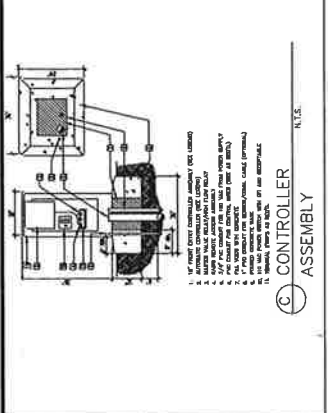
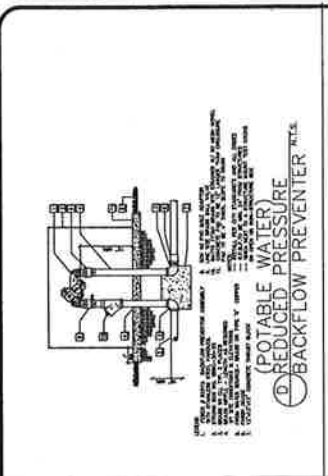


TYPICAL SECOND FLOOR (STORAGE)

Scale: 1/8" = 1'-0"



THIS PLAN CONFORMS TO
 ORDINANCE NO. 854



ELC

ENVIRONMENTAL LANDSCAPE CONCEPTS
LAND PLANNERS
2286 MEADOW LANE, FULLERTON, CALIFORNIA 92831-2123
AZ. Lic. 28142
email: donnell@elcprg.com
VOICE: 714-773-9266

Rubidoux Dev. Industrial Park
890 East Ontario Boulevard
Ontario, CA 91761-1835
909-391-1077

PLANTING SCHEMATIC

date: 7/03/08

drawn by:
Dann

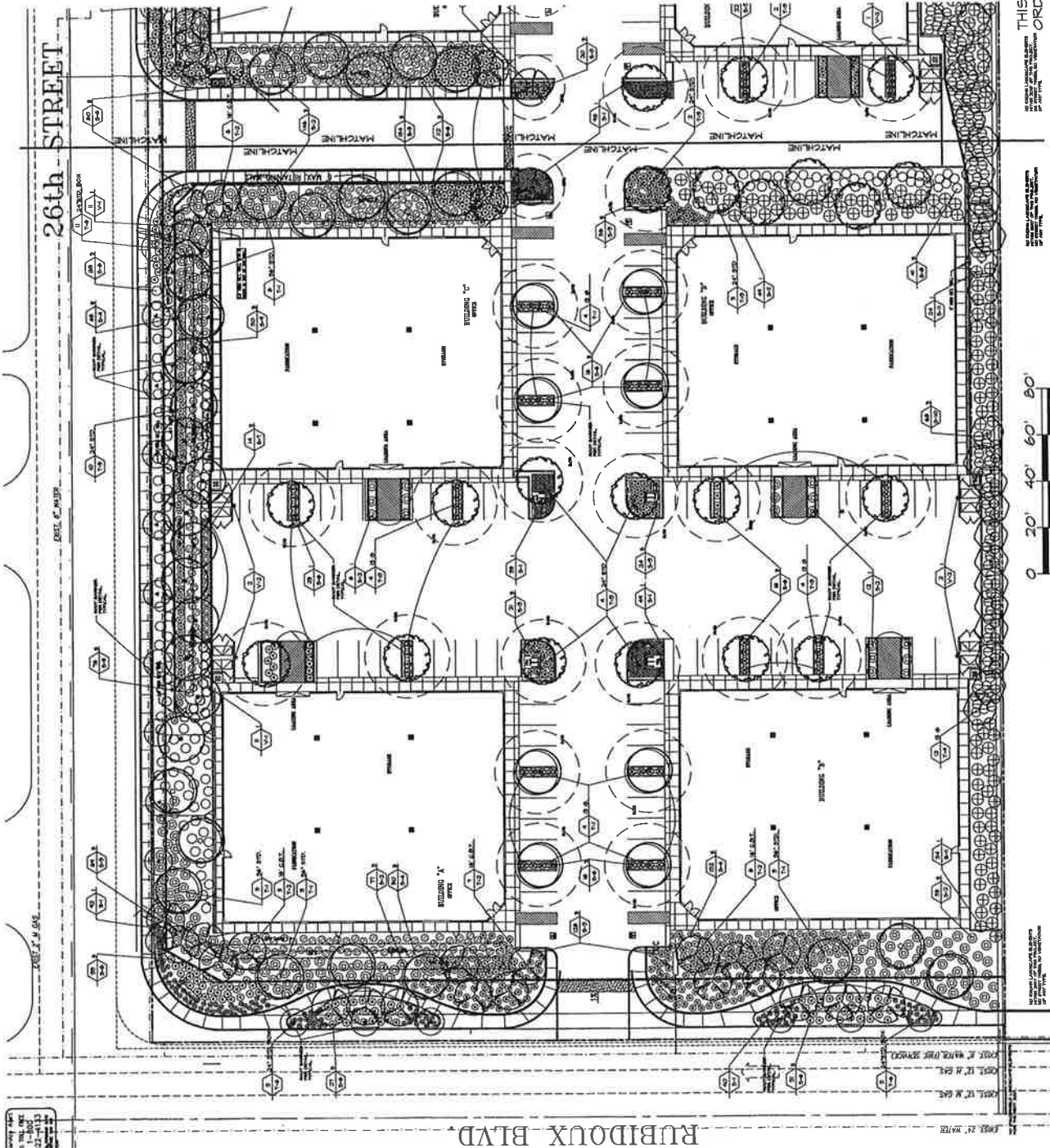
sheet:
L-9

job no. 26019



SCALE 1"=20'-0"

REFER TO SHEET L-9 FOR
PLANTING LEGEND, DETAILS &
NOTES.



THIS PLAN CONFORMS TO
ORDINANCE NO. 854



ELC

ENVIRONMENTAL LANDSCAPE CONCEPTS
LANDSCAPE ARCHITECTS
AZ. L.A. 25192
CA. L.A. 001480
2255 MESAOW LANE, FULLERTON, CALIFORNIA 92831-2123
VOICE 714-773-9266
email: donna@elandscape.com

Rubidoux Dev. Industrial Park
890 East Ontario Boulevard
Ontario, CA 91761-1835
909-391-1077

PLANTING SCHEMATIC
2610 Rubidoux Boulevard, Rubidoux, CA 92316
Rubidoux Dev. Industrial Park

sheet: 7-01-08
drawn by: Dann

sheet: L-7
job no. 26019

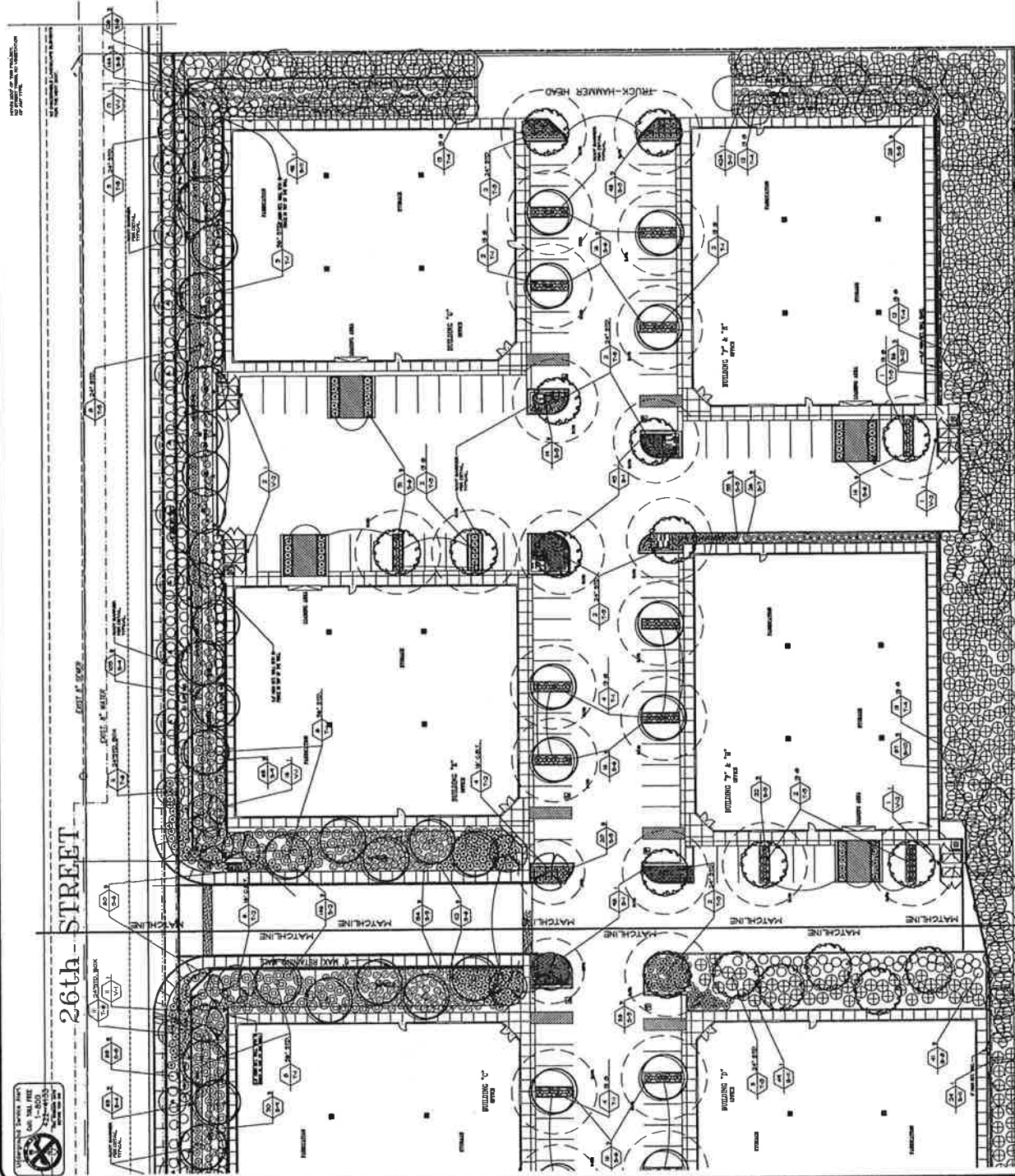


SCALE 1"=20'-0"

REFER TO SHEET L-9 FOR
PLANTING LEGEND, DETAILS &
NOTES.



THIS PLAN CONFORMS TO
ORDINANCE NO. 259



26th STREET

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26



THIS PLAN CONFORMS TO
ORDINANCE NO. 8594

PLANT LEGEND

ALL TREES TO HAVE LINDER ROOT BARRIERS INST TO PREP HARDSCAPE OR BUILDING

TREES:

SYM.	BOTANICAL NAME	COMMON NAME	SIZE	ESTIMATED QUANTITY	PLANTING METHOD	WATERING	PROPAGATION	SPACING
T-1	QUERCUS AGRIFOLIA	COAST LIVE OAK	36" BOX	44	E	LOH	ONE	RANDOM
T-2	WASHINGTONIA ROBUSTA	REDWOOD	16' C.B.T.	50	E	LOH	ONE	RANDOM
T-3	QUERCUS AGRIFOLIA	COAST LIVE OAK	24" BOX	30	E	LOH	ONE	RANDOM
T-4	BICALYPTUS SIDEROXYLON	RED IRONBARK	5 GALLON	64	E	LOH	ONE	RANDOM
T-5	QUERCUS AGRIFOLIA	COAST LIVE OAK	24" BOX	14	E	LOH	ONE	RANDOM
T-6	ARBEUTIS UNEDO	STRANDBERRY TREE	19 GALLON	28	E	LOH	ONE	50' ON CENTER

SYM.	BOTANICAL NAME	COMMON NAME	SIZE	ESTIMATED QUANTITY	PLANTING METHOD	WATERING	PROPAGATION	SPACING
S-1	GEOTHERA CAESPITOSA	WHITE EVENING PRIMROSE	1 GALLON	426	E	LOH	ONE	24"
S-2	BACCHARIS P. THIN PEAKS 52"	SWAMP COYOTE BUSH	5 GALLON	246	E	LOH	ONE	46"
S-3	KNIPHOFIA TRANSVALANS	CORAL POCKER	5 GALLON	278	E	LOH	ONE	52"
S-4	HEPERALOE PARVIFLORA	RED YUCCA	5 GALLON	550	E	LOH	ONE	52"
S-5	FERNETIM 5, 'EATON CANYON'	EATON CANYON FOUNTAIN GRASS	5 GALLON	460	E	LOH	ONE	56"
S-6	LANTANA M. 'NEK GOLD'	GOLDEN LANTANA	5 GALLON	428	E	LOH	ONE	56"
S-7	ELAEAGNUS FUSCENS	SILVERBERRY	5 GALLON	40	E	LOH	ONE	42"
S-8	CELANOTHUS 614, 'YANZEE POINT'	YANZEE POINT CA. LILAC	5 GALLON	250	E	LOH	ONE	48"
S-9	GREVILLEA NOZELI	NOEL'S GREVILLEA	5 GALLON	45	E	LOH	ONE	48"
S-10	SIKHONDISIA CHRISSENSIS 'VISTA'	VISTA JOUBA	5 GALLON	252	E	LOH	ONE	48"
S-11	ACACIA REDDLENS 'DESERT CARPET'	DESERT CARPET ACACIA	1 GALLON	856	E	LOH	ONE	60"

VINES:

SYM.	BOTANICAL NAME	COMMON NAME	SIZE	ESTIMATED QUANTITY	PLANTING METHOD	WATERING	PROPAGATION	SPACING
V-1	BOGAINVILLEA TRIMBERGII 'ICE'	BOGAINVILLEA	1 GALLON	55	E	LOH	ONE	RANDOM
V-2	MACADAMYA UNGUIS-CATI	CAT'S CLAW VINE	1 GALLON	8	E	LOH	ONE	RANDOM

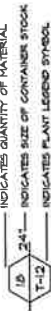
GROUND COVERS:

ALL PLANTED AREAS TO BE PROVIDED WITH A 3" DEEP LAYER OF SHREDED REDWOOD BARK. LANDSCAPE CONTRACTOR TO SUBMIT SAMPLE TO LANDSCAPE ARCHITECT.

INDICATES QUANTITY OF MATERIAL

INDICATES SIZE OF CONTAINER STOCK

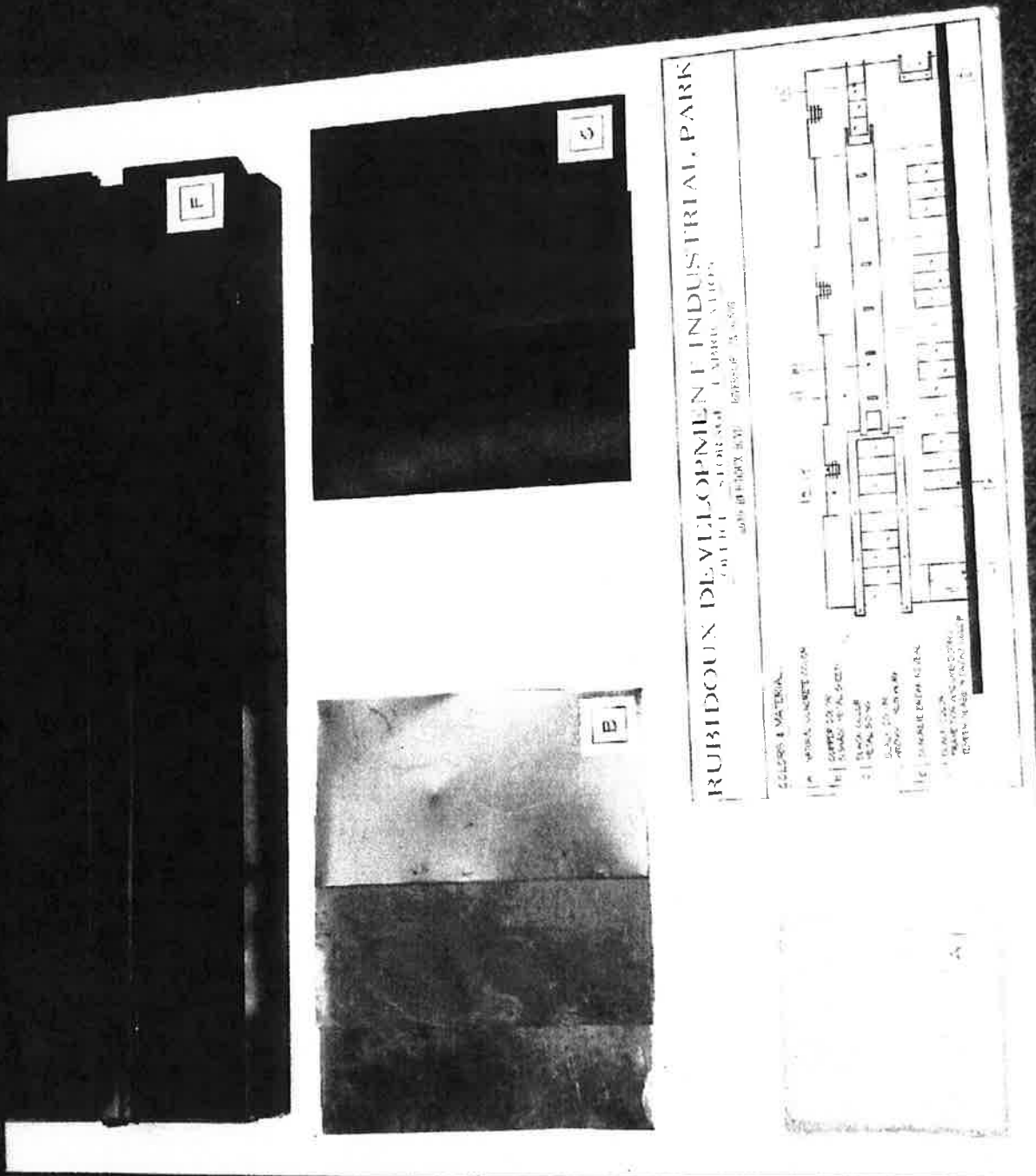
INDICATES PLANT LEGEND SYMBOL



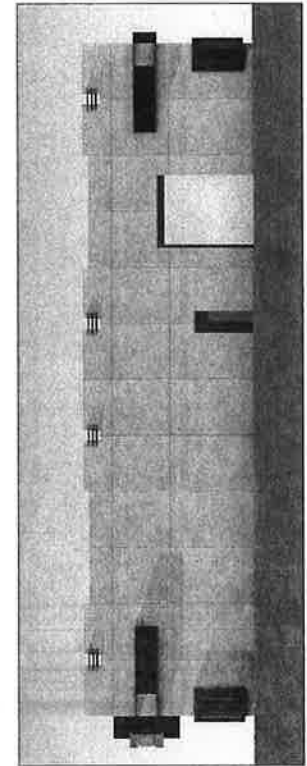
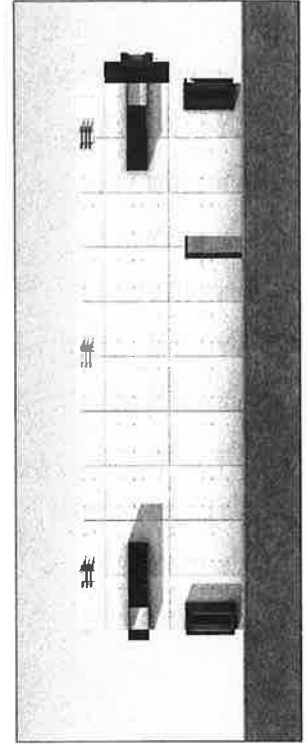
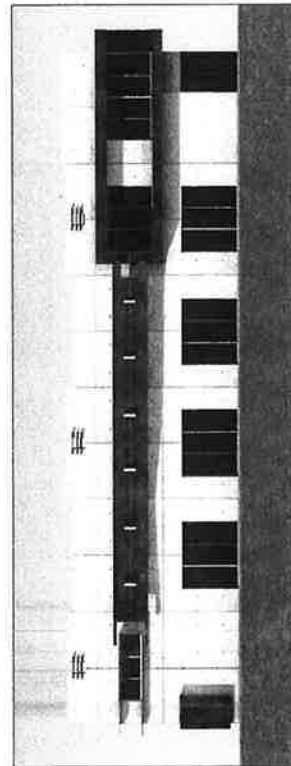
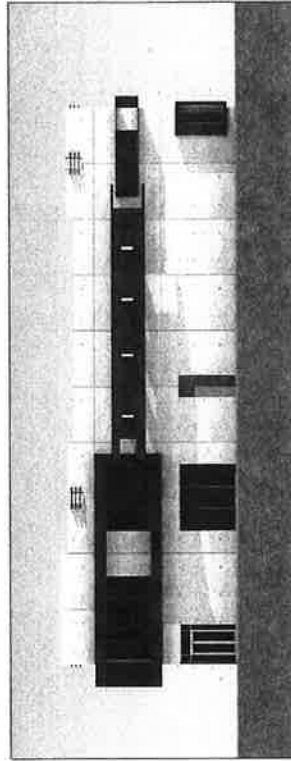
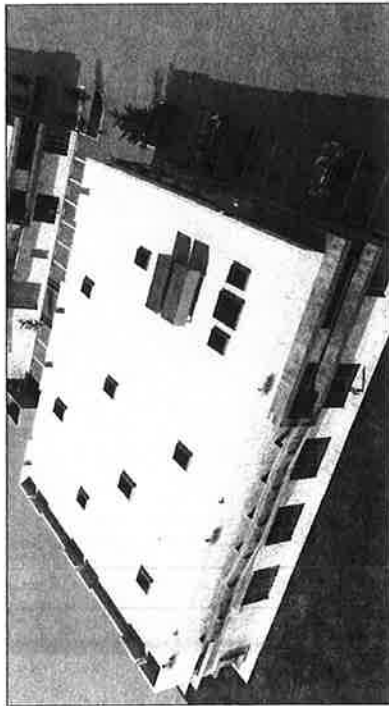
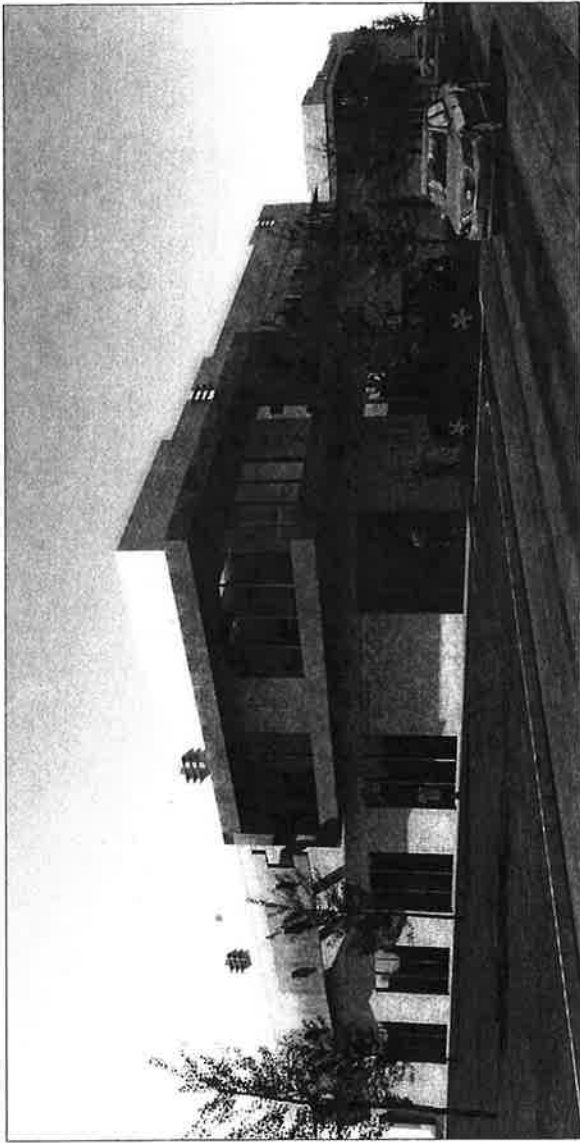
ALL TREES TO BE LOCATED A MINIMUM OF 10'-0" FROM ALL STREET LIGHTS.

PARKING LOT SHADE CALCUS:

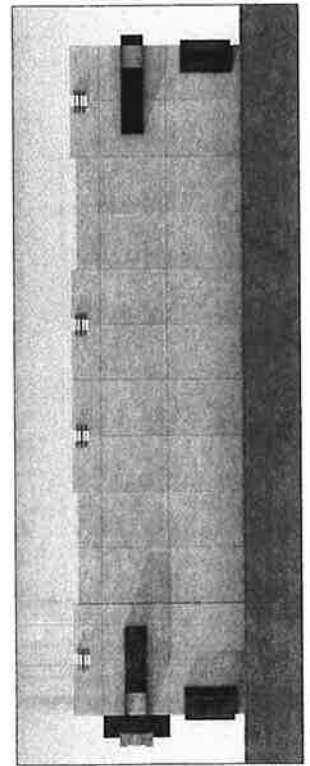
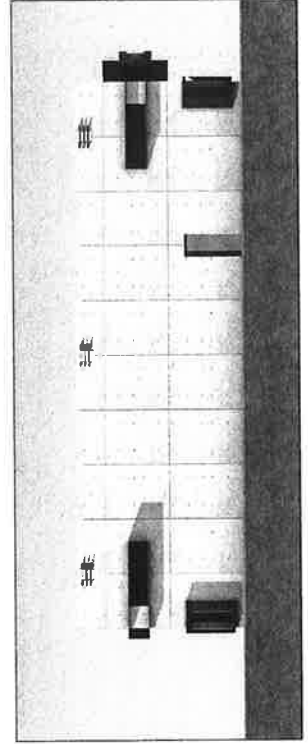
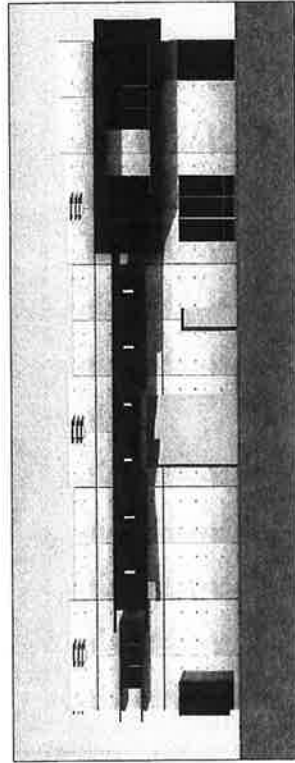
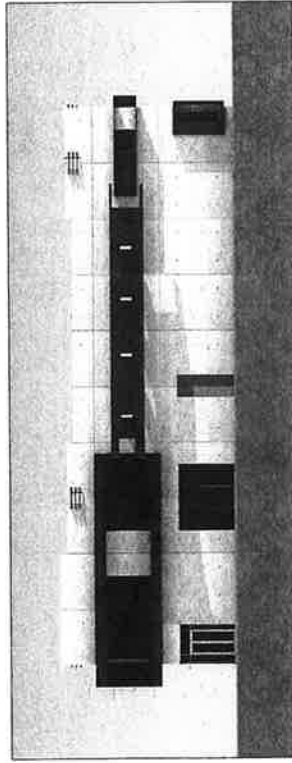
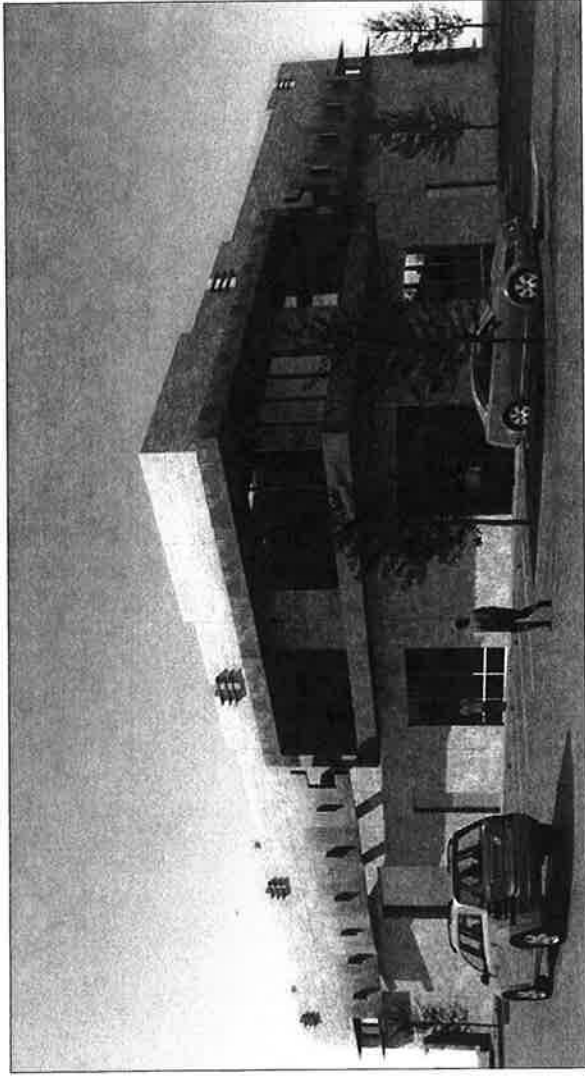
SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY & TREE SIZE (HGT. / DBH. FT.)	QUANTITY & TREE SIZE (HGT. / DBH. FT.)	TOTAL SHADE AREA (SQ. FT.)
T-1	QUERCUS AGRIFOLIA	COAST LIVE OAK	1000 SF.	1000 SF.	8000 SF.
T-2	WASHINGTONIA ROBUSTA	REDWOOD	800 SF.	800 SF.	800 SF.
T-3	QUERCUS AGRIFOLIA	COAST LIVE OAK	1000 SF.	1000 SF.	1000 SF.
T-4	BICALYPTUS SIDEROXYLON	RED IRONBARK	1000 SF.	1000 SF.	1000 SF.
T-5	QUERCUS AGRIFOLIA	COAST LIVE OAK	1000 SF.	1000 SF.	1000 SF.
T-6	ARBEUTIS UNEDO	STRANDBERRY TREE	1000 SF.	1000 SF.	1000 SF.
TOTAL PARKING AREA: 24000 SF.					
SHADE AREA PROVIDED (TOTAL): 10000 SF.					
TOTAL SHADE PROVIDED*: 10000 SF.					
PERCENT SHADE: 41.7%					



CASE #: PP22636 AMD NO. 3
EXHIBIT:M (SHEETS 1-3)
DATE: 7/23/08
PLANNER:C.HINOJOSA



RUBIDOUX DEVELOPMENT INDUSTRIAL PARK
OFFICE - STORAGE - FABRICATION
2810 RUBIDOUX BLVD.
RUBIDOUX, CA 95068



RUBIDOUX DEVELOPMENT INDUSTRIAL PARK
OFFICE - STORAGE - DISTRIBUTION
2617 RUBIDOUX BLVD.
ATWENTON, CA 92828

COUNTY OF RIVERSIDE

ENVIRONMENTAL ASSESSMENT FORM: INITIAL STUDY

Environmental Assessment (E.A.) Number: 41306

Project Case Type (s) and Number(s): Tentative Parcel Map No. 35267 and Plot Plan No. 22636
(Fast Track No. 2007-35)

Lead Agency Name: County of Riverside Planning Department

Address: P.O. Box 1409, Riverside, CA 92502-1409

Contact Person: Christian Hinojosa, Project Planner

Telephone Number: (951) 955-0972

Applicant's Name: Rigoberto Vazquez Sr.

Applicant's Address: 615 South Oaks Avenue; Ontario, CA 91762

Engineer's Name: Jorge A. Castillo, PE

Engineer's Address: 2121 W. Imperial Hwy. #403; La Habra, CA 90631

I. PROJECT INFORMATION

A. Project Description:

Tentative Parcel Map No. 35267 is a Schedule E subdivision of 6.45 gross (6.04 net) acres into eight (8) industrial parcels, ranging from 0.64 acres to 0.94 acres.

Plot Plan No. 22636 proposes to develop eight (8) industrial and manufacturing buildings, Rubidoux Development Industrial Park, with a total building area of 108,000 square feet with 72,000 square feet of storage space, 12,000 square feet of office space, 24,000 square feet of fabrication space, 56,371 square feet of landscaping area (20%) and 168 parking spaces on a 6.45 gross (6.04 net) acre site with a floor area ratio of 0.38 (Light Industrial requires a 0.25 - 0.60 floor area ratio). The project also proposes to improve 26th Street with curb and gutter to discharge onsite runoff to an existing catch basin at the intersection off Hall Avenue and 26th Street.

B. Type of Project: Site Specific ; Countywide ; Community ; Policy .

C. Total Project Area: 6.45 Gross / 6.04 Net

Residential Acres: N/A	Lots: N/A	Units: N/A	Projected No. of Residents: N/A
Commercial Acres: N/A	Lots: N/A	Sq. Ft. of Bldg. Area: N/A	Est. No. of Employees: N/A
Industrial Acres: 6.45 Gross	Lots: 8	Sq. Ft. of Bldg. Area: 108,000	Est. No. of Employees: N/A
Landscape Area: 20%		Sq. Ft. of LS. Area: 56,371	

D. Assessor's Parcel No: 178-150-008 and 178-150-009

E. Street References: southerly of 26th Street and easterly of Rubidoux Boulevard

F. Section, Township & Range Description or reference/attach a Legal Description:
Sections 10, Township 2 South, Range 5 West

G. Brief description of the existing environmental setting of the project site and its surroundings: The project site is located in the Jurupa Area Plan of the Riverside County General Plan. Urban development projects have been approved or are currently being processed through the County of Riverside to the north, south, east and west. Vacant land, single family residences and industrial land uses currently surround the project site. The site is currently vacant with low-growing vegetation. The topography of the project site is generally

level, with a low elevation of approximately 860 feet above mean sea level over the majority of the property.

II. APPLICABLE GENERAL PLAN AND ZONING REGULATIONS

A. General Plan Elements/Policies:

1. **Land Use:** The proposed project meets the requirements of the Community Development: Light Industrial (CD: LI) (0.25 - 0.60 Floor Area Ratio) General Plan Land Use Designation. The proposed project meets all other applicable land use policies.
2. **Circulation:** The proposed project has been reviewed for conformance with County Ordinance 461 by the Riverside County Transportation Department. Adequate circulation facilities exist and are proposed to serve the proposed project. The proposed project meets with all applicable circulation policies of the General Plan.
3. **Multipurpose Open Space:** No natural open space land was required to be preserved within the boundaries of this project. The proposed project meets with all other applicable Multipurpose Open Space Element policies.
4. **Safety:** The proposed project is within an area that has a moderate susceptibility to liquefaction. The proposed project is not located within any other special hazard zone (including fault zone, high fire hazard area, dam inundation zone, etc.). The proposed project has allowed for sufficient provision of emergency response services to the future users of this project through the project design and payment of development impact fees. The proposed project meets with all other applicable Safety Element policies.
5. **Noise:** Sufficient mitigation measures against any foreseeable noise impacts have been incorporated into the design of the project. The proposed project meets all other applicable Noise Element policies.
6. **Housing:** The project proposes eight (8) industrial and manufacturing buildings with a total building area of 108,000 square feet with Industrial Park (I-P) and Manufacturing-Service Commercial (M-SC) zonings. The proposed project could potentially induce population growth in the area either directly (e.g., by proposing new homes and businesses) or indirectly (e.g., through extension of roads or other infrastructure). There are no impacts to housing as a direct result of this project at this time. The proposed project meets all other applicable Housing Element policies.
7. **Air Quality:** The proposed project has been conditioned to control any fugitive dust during grading and construction activities. The proposed project meets all other applicable Air Quality Element policies.

B. General Plan Area Plan(s): Jurupa Area Plan

C. Foundation Component(s): Community Development

D. Land Use Designation(s): Light Industrial (LI) (0.25 - 0.60 Floor Area Ratio)

E. Overlay(s), if any: Jurupa Valley Redevelopment Project Area (JVPA) (Rubidoux sub-area)

F. Policy Area(s), if any: N/A

G. Adjacent and Surrounding:

- 1. **Area Plan(s):** Jurupa Area Plan
- 2. **Foundation Component(s):**
To the North, South, East and West: Community Development
- 3. **Land Use Designation(s):**
To the North, South, East and West: Light Industrial (LI) (0.25 - 0.60 Floor Area Ratio)
- 4. **Overlay(s) and Policy Area(s):**
To the North, South, East & West: Jurupa Valley Redevelopment Project Area (JVPA) (Rubidoux sub-area)

H. Adopted Specific Plan Information

- 1. **Name and Number of Specific Plan, if any:** N/A
- 2. **Specific Plan Planning Area, and Policies, if any:** N/A

I. Existing Zoning: Industrial Park (I-P) and Manufacturing-Service Commercial (M-SC)

J. Proposed Zoning, if any: N/A

K. Adjacent and Surrounding Zoning:

To the North, South, East & West: Manufacturing-Service Commercial (M-SC)

III. ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED

The environmental factors checked below (x) would be potentially affected by this project, involving at least one impact that is a "Potentially Significant Impact" or "Less than Significant with Mitigation Incorporated" as indicated by the checklist on the following pages.

- | | | |
|--|---|---|
| <input type="checkbox"/> Aesthetics | <input type="checkbox"/> Hazards & Hazardous Materials | <input type="checkbox"/> Recreation |
| <input type="checkbox"/> Agriculture & Forest Resources | <input checked="" type="checkbox"/> Hydrology/Water Quality | <input type="checkbox"/> Transportation/Traffic |
| <input checked="" type="checkbox"/> Air Quality | <input type="checkbox"/> Land Use/Planning | <input type="checkbox"/> Utilities/Service Systems |
| <input type="checkbox"/> Biological Resources | <input type="checkbox"/> Mineral Resources | <input type="checkbox"/> Other |
| <input checked="" type="checkbox"/> Cultural Resources | <input checked="" type="checkbox"/> Noise | <input type="checkbox"/> Other |
| <input type="checkbox"/> Geology/Soils | <input type="checkbox"/> Population/Housing | <input type="checkbox"/> Mandatory Findings of Significance |
| <input checked="" type="checkbox"/> Greenhouse Gas Emissions | <input type="checkbox"/> Public Services | |

IV. DETERMINATION

On the basis of this initial evaluation:

A PREVIOUS ENVIRONMENTAL IMPACT REPORT/NEGATIVE DECLARATION WAS NOT PREPARED
<input type="checkbox"/> I find that the proposed project COULD NOT have a significant effect on the environment, and a NEGATIVE DECLARATION will be prepared.
<input checked="" type="checkbox"/> I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because revisions in the project, described in this document, have been made or agreed to by the project proponent. A MITIGATED NEGATIVE DECLARATION will be prepared.

I find that the proposed project MAY have a significant effect on the environment, and an **ENVIRONMENTAL IMPACT REPORT** is required.

A PREVIOUS ENVIRONMENTAL IMPACT REPORT/NEGATIVE DECLARATION WAS PREPARED

I find that although the proposed project could have a significant effect on the environment, **NO NEW ENVIRONMENTAL DOCUMENTATION IS REQUIRED** because (a) all potentially significant effects of the proposed project have been adequately analyzed in an earlier EIR or Negative Declaration pursuant to applicable legal standards, (b) all potentially significant effects of the proposed project have been avoided or mitigated pursuant to that earlier EIR or Negative Declaration, (c) the proposed project will not result in any new significant environmental effects not identified in the earlier EIR or Negative Declaration, (d) the proposed project will not substantially increase the severity of the environmental effects identified in the earlier EIR or Negative Declaration, (e) no considerably different mitigation measures have been identified and (f) no mitigation measures found infeasible have become feasible.

I find that although all potentially significant effects have been adequately analyzed in an earlier EIR or Negative Declaration pursuant to applicable legal standards, some changes or additions are necessary but none of the conditions described in California Code of Regulations, Section 15162 exist. An **ADDENDUM** to a previously-certified EIR or Negative Declaration has been prepared and will be considered by the approving body or bodies.

I find that at least one of the conditions described in California Code of Regulations, Section 15162 exist, but I further find that only minor additions or changes are necessary to make the previous EIR adequately apply to the project in the changed situation; therefore a **SUPPLEMENT TO THE ENVIRONMENTAL IMPACT REPORT** is required that need only contain the information necessary to make the previous EIR adequate for the project as revised.

I find that at least one of the following conditions described in California Code of Regulations, Section 15162, exist and a **SUBSEQUENT ENVIRONMENTAL IMPACT REPORT** is required: (1) Substantial changes are proposed in the project which will require major revisions of the previous EIR or negative declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; (2) Substantial changes have occurred with respect to the circumstances under which the project is undertaken which will require major revisions of the previous EIR or negative declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; or (3) New information of substantial importance, which was not known and could not have been known with the exercise of reasonable diligence at the time the previous EIR was certified as complete or the negative declaration was adopted, shows any the following:(A) The project will have one or more significant effects not discussed in the previous EIR or negative declaration;(B) Significant effects previously examined will be substantially more severe than shown in the previous EIR or negative declaration;(C) Mitigation measures or alternatives previously found not to be feasible would in fact be feasible, and would substantially reduce one or more significant effects of the project, but the project proponents decline to adopt the mitigation measures or alternatives; or,(D) Mitigation measures or alternatives which are considerably different from those analyzed in the previous EIR or negative declaration would substantially reduce one or more significant effects of the project on the environment, but the project proponents decline to adopt the mitigation measures or alternatives.

Signature

Christina Hinojosa, Project Planner

Printed Name

December 21, 2010

Date

For Carolyn Syms Luna, Planning Director

V. ENVIRONMENTAL ISSUES ASSESSMENT

In accordance with the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000-21178.1), this Initial Study has been prepared to analyze the proposed project to determine any potential significant impacts upon the environment that would result from construction and implementation of the project. In accordance with California Code of Regulations, Section 15063, this Initial Study is a preliminary analysis prepared by the Lead Agency, the County of Riverside, in consultation with other jurisdictional agencies, to determine whether a Negative Declaration, Mitigated Negative Declaration, or an Environmental Impact Report is required for the proposed project. The purpose of this Initial Study is to inform the decision-makers, affected agencies, and the public of potential environmental impacts associated with the implementation of the proposed project.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
AESTHETICS Would the project				
1. Scenic Resources	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a) Have a substantial effect upon a scenic highway corridor within which it is located?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings and unique or landmark features; obstruct any prominent scenic vista or view open to the public; or result in the creation of an aesthetically offensive site open to public view?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan Figure C-7 "Scenic Highways"

Findings of Fact:

a) The project site is located in a primarily urban area of Riverside County, which has no designated Scenic Highways. The Riverside County Integrated Plan (RCIP) indicates that the project site is not located within a designated scenic corridor. Development of the project site will not affect any scenic resources, as adjacent lands have been developed with uses compatible with the proposed project.

b) The proposed project will not substantially damage scenic resources, including, but not limited to, trees, rock outcroppings and unique or landmark features, or obstruct a prominent scenic vista or view open to the public, as these features do not exist on the project site. Additionally, the proposed project will not result in the creation of an aesthetically offensive site open to public view.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

2. Mt. Palomar Observatory	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a) Interfere with the nighttime use of the Mt. Palomar Observatory, as protected through Riverside County Ordinance No. 655?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: GIS database, Ord. No. 655 (Regulating Light Pollution)

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Findings of Fact:

a) According to the GIS Database, the project site is located approximately 54.33 miles from the Mt. Palomar Observatory. The project is located outside the 45-mile radius defined by Ordinance No. 655 and the 30-mile radius defined by the RCIP as the Mt. Palomar Special Lighting Areas, and, therefore, is not subject to any special lighting policies that protect the Mt. Palomar Observatory.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

3. Other Lighting Issues

a) Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?

b) Expose residential property to unacceptable light levels?

Source: On-site Inspection, Project Application Materials

Findings of Fact:

a) The proposed project will result in a new source of light and glare from the addition of security lighting, facility lighting, as well as vehicular lighting from cars traveling on adjacent roadways.

Riverside County Ordinance No. 655 is applicable to the project site. Pursuant of this Ordinance, the project's onsite lighting will be directed downward or shielded and hooded to avoid shining onto adjacent properties and streets. Furthermore, the amount of lighting will be similar to other planned industrial areas surrounding the site. PP22636 Conditions of Approval 10.PLANNING.06 and 80.PLANNING.20 are not considered unique mitigation measures pursuant to CEQA. No additional mitigation is identified or required.

b) The proposed project is not expected to create unacceptable light levels as it has been conditioned for conformance with Ordinance No. 655. Therefore, the proposed project would not create a new source of substantial light or glare which would adversely affect day or nighttime views in the area or expose residential property to unacceptable light levels. Impacts would be less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

AGRICULTURE & FOREST RESOURCES Would the project

4. Agriculture

a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland) as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
non-agricultural use?				
b) Conflict with existing agricultural zoning, agricultural use or with land subject to a Williamson Act contract or land within a Riverside County Agricultural Preserve?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Cause development of non-agricultural uses within 300 feet of agriculturally zoned property (Ordinance No. 625 "Right-to-Farm")?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure OS-2 "Agricultural Resources," GIS database, and Project Application Materials.

Findings of Fact:

a) The project site will not convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland) as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use.

b) The project site will not conflict with existing agricultural zoning, agricultural use or with land subject to a Williamson Act contract or land within a Riverside County Agricultural Preserve.

c) The project site is not located within 300 feet of agriculturally zoned property; therefore there is no potential for the project to indirectly impact agricultural lands.

d) The project site will not involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

5. Forest	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a) Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code section 12220(g)), timberland (as defined by Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Govt. Code section 51104(g))?				
b) Result in the loss of forest land or conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure OS-3 "Parks, Forests and Recreation Areas," and Project Application Materials.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Findings of Fact:

a-b) The proposed project will not conflict with or cause rezoning of any forest land or timberland zoned areas. Nor is the proposed project in a forest area.

b) The project will not involve any other changes to the environment which could result in conversion of forest land to non-forest use.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

AIR QUALITY Would the project

6. Air Quality Impacts

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
a) Conflict with or obstruct implementation of the applicable air quality plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Violate any air quality standard or contribute substantially to an existing or projected air quality violation?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
d) Expose sensitive receptors which are located within 1 mile of the project site to project substantial point source emissions?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Involve the construction of a sensitive receptor located within one mile of an existing substantial point source emitter?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Create objectionable odors affecting a substantial number of people?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: SCAQMD CEQA Air Quality Handbook Table 6-2, AQMD Air Quality Management Plan (2007), County General Plan Air Quality Element, Project Application Materials, Climate Change Analysis prepared by Urban Crossroads, dated August 19, 2010

Findings of Fact:

a) The South Coast Air Quality Management District (SCAQMD) is responsible for developing a regional air quality management plan to insure compliance with state and federal air quality standards. The SCAQMD has adopted the 2003 Air Quality Management Plan (AQMP). The 2003 AQMP is based on socioeconomic forecasts (including population estimates) provided by the Southern California Association of Governments (SCAG). The County General Plan is consistent with SCAG's Regional Growth Management Plan and SCAQMD's Air Quality Management Plan. This project is consistent with the General Plan land use designations and population estimates.

b) The SCAQMD permit is evidence that the point source complies with all SCAQMD rules and regulations. Air quality impacts would occur during site preparation, including grading and equipment

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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exhaust. Major sources of fugitive dust are a result of grading and site preparation during construction by vehicles and equipment and generated by construction vehicles and equipment traveling over exposed surfaces, as well as by soil disturbances from grading and filling. These short-term construction related impacts will be reduced below a level of significance by dust control measures implemented during grading. (PP22636 COA: 10.BS GRADE.05) This is a standard condition of approval and is not considered mitigation pursuant to CEQA.

c) During project operation, vehicle emission impacts would not exceed levels of significance, as the project would not generate a substantial amount of mobile source air pollutants. Similarly, due to the limited development intensity of the site, the project would not generate a substantial amount of area source air pollution (PP22636 COA: 10.PLANNING.23). Accordingly, operational air quality impacts are evaluated as less than significant with mitigation.

d) A sensitive receptor is a person in the population who is particularly susceptible to health effects due to exposure to an air contaminant than is the population at large. Sensitive receptors (and the facilities that house them) in proximity to localized CO sources, toxic air contaminants or odors are of particular concern. High levels of CO are associated with major traffic sources, such as freeways and major intersections, and toxic air contaminants are normally associated with manufacturing and commercial operations. Land uses considered to be sensitive receptors include long-term health care facilities, rehabilitation centers, convalescent centers, retirement homes, residences, schools, playgrounds, child care centers, and athletic facilities. Surrounding land uses include single family residences 40 feet to the south of the project site, which is considered a sensitive receptor; however, the project is not expected to generate substantial point source emissions. The long-term project impacts in the daily allowable emissions for the project's operational phase are considered to be not significant.

e) The project will not create sensitive receptors located within one mile of an existing substantial point source emitter.

f) The project will not create objectionable odors affecting a substantial number of people.

Mitigation: Construction of all nonresidential buildings or structures shall exceed the energy standards of the 2008 Building Efficiency Standards as set forth in the 2008 California Energy Code (Title 24, Part 6 of the California Code of Regulations) by a minimum of five percent (5%) in aggregate. Submission of a Title 24 worksheet with building plans for each implementing development project shall be required by the Department of Building and Safety in order to obtain a building permit and set the condition to MET status. The worksheet shall include both the calculations showing the minimum Title 24 compliance requirements and calculations for the implementing development project. Compliance is determined by comparing the energy use of the proposed development to a minimally Title 24 compliant development. The calculations must be from an energy analysis computer program approved by the California Energy Commission in accordance with Title 24, Part 6, Article 1, Section 10-109 (PP22636 COA: 80.PLANNING.30). Sign(s) stating that "EXTENDED IDLING TRUCK ENGINES IS NOT PERMITTED" shall be located at the entrance to the industrial park. The sign(s) at the entrance to facility shall not be less than twenty four inches square and will provide directions to truck parking spaces with electrical hookups. The hookups will provide power for refrigerated trailers that need to be parked on-sight for more than 5 minutes (PP22636 COA: 90.PLANNING.35).

Monitoring: Monitoring shall be conducted by Building and Safety Department and SCAQMD through the permitting process.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
BIOLOGICAL RESOURCES Would the project				
7. Wildlife & Vegetation	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Conservation Community Plan, or other approved local, regional, or state conservation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Have a substantial adverse effect, either directly or through habitat modifications, on any endangered, or threatened species, as listed in Title 14 of the California Code of Regulations (Sections 670.2 or 670.5) or in Title 50, Code of Federal Regulations (Sections 17.11 or 17.12)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U. S. Wildlife Service?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident migratory wildlife corridors, or impede the use of native wildlife nursery sites?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations or by the California Department of Fish and Game or U. S. Fish and Wildlife Service?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g) Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: GIS Database, WRC-MSHCP, On-site Inspection, Habitat Assessment and MSHCP Consistency Analysis (PDB05083) prepared by Michael Brandman Associates, dated November 27, 2006, Focused Survey for Delhi Sands Flower-Loving Fly (PDB05522) prepared by Larry Munsey International, dated November 2008, 2nd Year of a 2 Year Focused Survey for Delhi Sands Flower-Loving Fly (PDB05626) prepared by L&L Environmental, Inc., dated October 21, 2009.

Findings of Fact:

a) Development of the project site will have less than significant impact on an adopted Habitat Conservation Plan, Natural Conservation Community Plan, or other approved local, regional, or state conservation plan.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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b) Development of the project site will have less than significant impact on any endangered, or threatened species, as listed in Title 14 of the California Code of Regulations (Sections 670.2 or 670.5) or in Title 50, Code of Federal Regulations (Sections 17.11 or 17.12) as a result of mitigation.

c) Development of the project site will have less than significant substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U. S. Wildlife Service.

d) The proposed project will not interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident migratory wildlife corridors, or impede the use of native wildlife nursery sites.

e) The proposed project will not have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations or by the California Department of Fish and Game or U. S. Fish and Wildlife Service.

f) The proposed project will not have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means.

g) The proposed project will not conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

CULTURAL RESOURCES Would the project

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
8. Historic Resources	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a) Alter or destroy an historic site?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Cause a substantial adverse change in the significance of a historical resource as defined in California Code of Regulations, Section 15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan Figure OS-7, Project Application Materials

Findings of Fact:

a) A records search conducted at the Eastern Information Center (EIC) indicated that no historical resources existed on the project site. Therefore the proposed project will not alter or destroy an historic site.

b) Development of the proposed project will have a less than significant impact on a historical resource as defined in California Code of Regulations, Section 15064.5.

If during ground disturbance activities, unique cultural resources are discovered that were not assessed by the environmental assessment conducted prior to project approval, the following procedures shall be followed. Unique cultural resources are defined, for this condition, as being

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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multiple artifacts in close association with each other, but may include fewer artifacts if the area of the find is determined to be of significance due to its sacred or cultural importance.

1. All ground disturbance activities within 100 feet of the discovered cultural resources shall be halted until a meeting is convened between the developer, the archaeologist, the Native American tribal representative and the Planning Director to discuss the significance of the find.

2. At the meeting, the significance of the discoveries shall be discussed and after consultation with the Native American tribal representative and the archaeologist, a decision shall be made, with the concurrence of the Planning Director, as to the appropriate mitigation. PP22636 Conditions of Approval 10.PLANNING.01 and 10.PLANNING.02 are not considered unique mitigation measures pursuant to CEQA. No additional mitigation is identified or required.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
9. Archaeological Resources	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a) Alter or destroy an archaeological site.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Cause a substantial adverse change in the significance of an archaeological resource pursuant to California Code of Regulations, Section 15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Disturb any human remains, including those interred outside of formal cemeteries?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Restrict existing religious or sacred uses within the potential impact area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure OS-6 "Relative Archaeological Sensitivity of Diverse Landscapes," Project Application Materials

Findings of Fact:

a) This area has been completely disturbed. It is not identified as an area of Relative Archaeological Sensitivity of Diverse Landscapes map of the RCIP, Multipurpose Open Space Element (Figure OS-06). Therefore, this project will have no impact on archaeological resources.

b) This project will have a less than significant impact change in the significance of an archaeological resource pursuant to California Code of Regulations, Section 15064.5.

c) This project will have less than significant impact on human remains, including those interred outside of formal cemeteries. However, as a precaution, this project has been conditioned to halt construction and immediately contact the State Health and Safety Code Section 7050.5 if human remains are found. If remains are determined to be prehistoric, the coroner shall notify the Native American Heritage Commission, which will determine and notify the appropriate Native American Tribe who is the most likely descendant. The descendant shall inspect the site of discovery and make a recommendation as to the appropriate mitigation. After the recommendation has been made, the property owner, Native American Tribe representative, and a County representative shall meet to determine the appropriate mitigation measures and corrective actions to be implemented. PP22636 Condition of Approval 10.PLANNING.01 is not considered a unique mitigation measure pursuant to CEQA. No additional mitigation is identified or required.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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d) This project will not restrict existing or religious or sacred uses within the potential impact area.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

10. Paleontological Resources

a) Directly or indirectly destroy a unique paleontological resource, or site, or unique geologic feature?

Source: Riverside County General Plan Figure OS-8 "Paleontological Sensitivity," Paleontological Resources Assessment Report (PDA04320) prepared by Michael Brandman Associates, dated August 10, 2007

Findings of Fact:

a) According to the Riverside County General Plan, the project site is located within an area of High Paleontological sensitivity (High A). Therefore, this project will have a less than significant impact with mitigation on potential paleontological resources.

Mitigation: The land divider/permit holder shall retain a qualified paleontologist for monitoring services as recommended in the Paleontological Resources Assessment report prepared by Michael Brandman Associates, dated August 10, 2007, for this project. The developer shall submit a copy of a fully executed contract for these services including the name, telephone number and address of the retained, qualified paleontologist to the Planning Department and the Department of Building and Safety. The paleontologist shall submit to the County Archaeologist a report of the results of the monitoring upon conclusion of monitoring activities. A pregrade meeting between the paleontologist and the excavation and grading contractor shall be required prior to commencing work. When necessary, in the professional opinion of the retained paleontologist (and/or as determined by the Planning Director), the paleontologist or representative shall have the authority to monitor actively all project related grading and construction and shall have the authority to temporarily divert, redirect, or halt grading activity to allow recovery of paleontological resources. (PP22636 COA: 60.PLANNING.04). Prior to Final Inspection, the applicant shall submit to the County Archaeologist one paper copy and two (2) copies on CD of the Paleontology Monitoring report. The report shall be certified by a professionally-qualified paleontologist listed on the County's Paleontology Consultant List. (PP22636 COA: 90.PLANNING.02).

Monitoring: Monitoring shall be conducted by Building and Safety Department through the permitting process.

GEOLOGY AND SOILS Would the project

11. Alquist-Priolo Earthquake Fault Zone or County Fault Hazard Zones

a) Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death?

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
b) Be subject to rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan Figure S-2 "Earthquake Fault Study Zones," GIS database, Geotechnical Engineering Investigation Report (GEO No. 1862) prepared by NorCal Engineering, dated July 25, 2006

Findings of Fact:

a) The project site is not located within an Alquist-Priolo Earthquake Fault Zone. The proposed project will not expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death. California Building Code (CBC) requirements pertaining to commercial development will mitigate the potential impact to less than significant. As CBC requirements are applicable to all commercial development they are not considered mitigation for CEQA implementation purposes.

b) The project site is not located within an Alquist-Priolo Earthquake Fault Zone and no known fault lines are present on or adjacent to the project site. Therefore, there is a low potential for rupture of a known fault.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
12. Liquefaction Potential Zone	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a) Be subject to seismic-related ground failure, including liquefaction?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan Figure S-3 "Generalized Liquefaction", Geotechnical Engineering Investigation Report (GEO No. 1862) prepared by NorCal Engineering, dated July 25, 2006

Findings of Fact:

a) The project site is located within an area of moderate liquefaction potential. The County Geologist has reviewed and approved the project with no conditions of approval.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
13. Ground-shaking Zone	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Be subject to strong seismic ground shaking?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Source: Riverside County General Plan Figure S-4 "Earthquake-Induced Slope Instability Map," and Figures S-13 through S-21 (showing General Ground Shaking Risk), Geotechnical Engineering Investigation Report (GEO No. 1862) prepared by NorCal Engineering, dated July 25, 2006

Findings of Fact:

a) There are no known active or potentially active faults that traverse the site and the site is not located within an Alquist-Priolo Earthquake Fault Zone. The principal seismic hazard that could affect the site is ground shaking resulting from an earthquake occurring along several major active or potentially active faults in southern California. The County Department of Building and Safety requires construction to conform to the California Building Code (CBC). Through the compliance with Riverside County requirements related to geotechnical and soil reports, the potential of the proposed project due to ground shaking will be less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

14. Landslide Risk

a) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, collapse, or rockfall hazards?

Source: Riverside County General Plan Figure S-5 "Regions Underlain by Steep Slope"

Findings of Fact:

a) The project site is generally flat and according to Figure S-5, the project site is not located in an area with slopes greater than 25%; therefore, there is no potential for landslides. The project site and surrounding area does not consist of rocky terrain therefore the project is not subject to rock fall hazards. No impacts will occur as a result of the proposed project.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

15. Ground Subsidence

a) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in ground subsidence?

Source: RCIP Figure S-7 "Documented Subsidence Areas", Geotechnical Engineering Investigation Report (GEO No. 1862) prepared by NorCal Engineering, dated July 25, 2006

Findings of Fact:

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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a) The project site is located in an area susceptible to subsidence, but not located near any documented areas of subsidence. California Building Code (CBC) requirements pertaining to development will mitigate the potential impact to less than significant. As CBC requirements are applicable to all development, they are not considered mitigation for CEQA implementation purposes.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

16. Other Geologic Hazards	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a) Be subject to geologic hazards, such as seiche, mudflow, or volcanic hazard?				

Source: Project Application Materials, Geotechnical Engineering Investigation Report (GEO No. 1862) prepared by NorCal Engineering, dated July 25, 2006

Findings of Fact:

a) The project site is not located in an area susceptible to unstable geologic hazards such as seiche, mudflow, or volcanic hazard on the project site.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

17. Slopes	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a) Change topography or ground surface relief features?				
b) Create cut or fill slopes greater than 2:1 or higher than 10 feet?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Result in grading that affects or negates subsurface sewage disposal systems?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: RCIP figure S-5 "Regions Underlain by Steep Slopes", Building and Safety – Grading Review, Project Application Materials

Findings of Fact:

a) The project will have a less than significant impact change to the existing topography on the subject site. The grading will follow the natural slopes and not alter any significant elevated topographic features located on the site.

b) The project will not cut or fill slopes greater than 2:1, but may create a slope higher than 10 feet. In order to minimize the impact, the project has been conditioned to grade so that the slopes reflect the natural terrain.

c) The project will not result in grading that affects or negates subsurface sewage disposal systems.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

18. Soils	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a) Result in substantial soil erosion or the loss of topsoil?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Be located on expansive soil, as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial risks to life or property?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Have soils incapable of adequately supporting use of septic tanks or alternative waste water disposal systems where sewers are not available for the disposal of waste water?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: RCIP figure S-6 "Engineering Geologic Materials Map", Flood Control review, Building and Safety Grading review, Project Application Materials, Geotechnical Engineering Investigation Report (GEO No. 1862) prepared by NorCal Engineering, dated July 25, 2006

Findings of Fact:

- a) The development of the project site may have the potential to result in soil erosion during grading and construction. Standard Conditions of Approval have been issued regarding soil erosion that will further ensure protection of public health, safety, and welfare upon final engineering of the project and are not considered mitigation for CEQA implementation purposes. (PP22636 COA 10.BS GRADE.04)
- b) The project may be located on expansive soil; however, California Building Code (CBC) requirements pertaining all structures will mitigate the potential impact to less than significant. As IBC requirements are applicable to all structures they are not considered mitigation for CEQA implementation purposes.
- c) The project will be connected to a sewer system; there will be no septic on site.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

19. Erosion	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a) Change deposition, siltation, or erosion that may modify the channel of a river or stream or the bed of a lake?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Result in any increase in water erosion either on or off site?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Flood Control District review, Building and Safety – Grading Review, Project Materials

Findings of Fact:

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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a) The project site is not located near the channel of a river, or stream, or the bed of a lake. Thus the proposed project does not change deposition, siltation or erosion that may modify the channel of a river or stream or the bed of a lake.

b) The project may result in an increase in water erosion either on or off site. Building and Safety Department has provided standard conditions of approval to ensure erosion impacts are mitigated to less than significant levels upon final engineering and are not considered mitigation for CEQA implementation purposes. (PP22636 COA: 10.BS GRADE.06 and 10.BS GRADE.20)

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

20. Wind Erosion and Blowsand from project either on or off site.

a) Be impacted by or result in an increase in wind erosion and blowsand, either on or off site?

Source: Riverside County General Plan Figure S-8 "Wind Erosion Susceptibility Map," Ord. 460, Sec. 14.2 & Ord. 484

Findings of Fact:

a) The project site is located within a HIGH wind erosion area. All projects proposing grading are condition for dust control (PP22636 COA: 10.BS GRADE.05). The RCIP, Safety Element Policy for Wind Erosion requires buildings to be designed to resist wind loads which are covered by the California Building Code (CBC). With such compliance, impacts to wind erosion and blowsand from the project on or off site are considered to be less than significant. As no unique mitigation measures are identified, no additional mitigation is required.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

GREENHOUSE GAS EMISSIONS Would the project

21. Greenhouse Gas Emissions

a) Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?

b) Conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?

Source: Project Application Materials, Climate Change Analysis prepared by Urban Crossroads, dated August 19, 2010

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Findings of Fact:

a) Analysis by Urban Crossroads (August 11, 2010) indicates the project's annual GHG emissions will be 1,873.85 metric tons per year (MTY) of CO₂-equivalents (CO₂e). This total is below the threshold of 10,000 MTY CO₂e for industrial projects established by the South Coast Air Quality Management District. This project total includes both direct (amortized construction, area source and mobile emissions) and indirect (electricity, solid waste and water usage) GHG emissions. Therefore, the project will not result in significant generation of greenhouse gases, either directly or indirectly, and will not have a significant impact on the environment due to greenhouse gas emissions.

b) The project is consistent with the Riverside County General Plan's land use designation Community Development: Light Industrial (CD: LI) (0.25 - 0.60 Floor Area Ratio) for the site. Therefore, the project does not represent development in excess of the State's "Business As Usual" (BAU) scenario. Further, the project will be subject to a variety of measures that will reduce the project's greenhouse gas emissions to below the BAU level. These measures include the following:

- Compliance with all applicable policies, measures and regulations promulgated through, or as a result of, AB 32, California's "Global Warming Solutions Act of 2006," including measures outlined by the California Air Resources Board in their Climate Change Scoping Plan (December 2008) for AB 32 implementation.
- Compliance with County Ordinance No. 859, Water-Efficient Landscaping Standards.
- Conditions of Approval requiring compliance with the following additional GHG-reducing measures:
 1. Preparation and implementation of a Waste Recycling Program approved by the County Waste Management Department for reduction and recycling of both construction and operational wastes.
 2. Use of equipment and fixtures that comply with applicable Title 24 energy conservation requirements for both the new addition and remodeled areas within the existing space.
 3. Project construction activities will conform to all applicable SCAQMD and CARB air quality protection requirements for construction equipment and vehicles.

As a result of implementation of, and compliance with, the above measures, the project will further reduce greenhouse gas emissions below that expected for a business-as-usual project, consistent with the policies and plans of the County and the State, AB 32 in particular. These measures ensure the project will not conflict with the any applicable plans, policies or regulations related to reducing greenhouse gas emissions, and that this project's affect on the attainment of these plans is less than significant with mitigation.

Mitigation: Construction of all nonresidential buildings or structures shall exceed the energy standards of the 2008 Building Efficiency Standards as set forth in the 2008 California Energy Code (Title 24, Part 6 of the California Code of Regulations) by a minimum of five percent (5%) in aggregate. Submission of a Title 24 worksheet with building plans for each implementing development project shall be required by the Department of Building and Safety in order to obtain a building permit and set the condition to MET status. The worksheet shall include both the calculations showing the minimum Title 24 compliance requirements and calculations for the implementing development project. Compliance is determined by comparing the energy use of the proposed development to a minimally Title 24 compliant development. The calculations must be from an energy analysis computer program approved by the California Energy Commission in accordance with Title 24, Part 6, Article 1, Section 10-109 (PP22636 COA: 80.PLANNING.30). Sign(s) stating that "EXTENDED IDLING TRUCK

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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ENGINES IS NOT PERMITTED" shall be located at the entrance to the industrial park. The sign(s) at the entrance to facility shall not be less than twenty four inches square and will provide directions to truck parking spaces with electrical hookups. The hookups will provide power for refrigerated trailers that need to be parked on-sight for more than 5 minutes (PP22636 COA: 90.PLANNING.35).

Monitoring: Monitoring shall be conducted by Building and Safety Department and SCAQMD through the permitting process.

HAZARDS AND HAZARDOUS MATERIALS Would the project

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
22. Hazards and Hazardous Materials	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a) Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Impair implementation of or physically interfere with an adopted emergency response plan or an emergency evacuation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Project Application Materials, Departments of Environmental Health and Fire Review

Findings of Fact:

a-b) During construction of the proposed project, there is a limited potential for accidental release of construction-related products although not in sufficient quantity to pose a significant hazard to people and the environment. The proposed project will not create a hazard to the public or the environment. Impacts would be less than significant.

c) The project has been reviewed by the Riverside County Fire Department for emergency access, and will not impair implementation of or physically interfere with an adopted emergency response plan or an emergency evacuation plan.

d) The project will not emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school.

e) The project is not located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would not create a significant hazard to the public or the environment.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

23. Airports

a) Result in an inconsistency with an Airport Master Plan?

b) Require review by the Airport Land Use Commission?

c) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area?

d) For a project within the vicinity of a private airstrip, or heliport, would the project result in a safety hazard for people residing or working in the project area?

Source: Riverside County General Plan Figure S-19 "Airport Locations," GIS database, Project Application Materials, Riverside County Airport Land Use Commission (ALUC) e-mail, dated January 28, 2009

Findings of Fact:

a) The project site is not located within the vicinity of any public or private airport; therefore, the project will not result in an inconsistency with an Airport Master Plan.

b) The project site is not located within the vicinity of any public or private airport; therefore will not require review by the Airport Land Use Commission (ALUC).

c) The proposed project is not located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, and will not result in a safety hazard for people residing or working in the project area.

d) The project is not within the vicinity of a private airstrip, or heliport and would not result in a safety hazard for people residing or working in the project area.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

24. Hazardous Fire Area

a) Expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands?

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Source: Riverside County General Plan Figure S-11 "Wildfire Susceptibility," GIS database

Findings of Fact:

a) According to GIS, the project site is not located in a hazardous fire area. No impacts will occur as a result of the proposed project.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

HYDROLOGY AND WATER QUALITY Would the project

25. Water Quality Impacts

a) Substantially alter the existing drainage pattern of the site or area, including the alteration of the course of a stream or river, in a manner that would result in substantial erosion or siltation on- or off-site?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Violate any water quality standards or waste discharge requirements?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Create or contribute runoff water that would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Place housing within a 100-year flood hazard area, as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Place within a 100-year flood hazard area structures which would impede or redirect flood flows?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g) Otherwise substantially degrade water quality?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h) Include new or retrofitted stormwater Treatment Control Best Management Practices (BMPs) (e.g. water quality treatment basins, constructed treatment wetlands), the operation of which could result in significant environmental effects (e.g. increased vectors or odors)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County Flood Control District Flood Hazard Report/Condition, Jurupa Area Plan Figure 8 "Flood Hazards"

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Findings of Fact:

- a) The proposed project will not substantially alter the existing drainage pattern of the site or area, including the alteration of the course of a stream or river, in a manner that would result in substantial erosion or siltation on- or off-site.
- b) The project will not violate any water quality standards or waste discharge requirements, and has been conditioned to comply with standard water quality conditions of approval.
- c) The project will not substantially deplete groundwater supplies or interfere substantially with groundwater recharge.
- d) The project will not create or contribute runoff water that would exceed the capacity of existing or planned storm water drainage systems or provide substantial additional sources of polluted runoff.
- e) The project will not place housing within a 100-year flood hazard area, as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map.
- f) The project will not place structures within a 100 flood hazard area which would impede and/or redirect flows. Additionally, the project has been conditioned to contain the 100 year food storm flow within the street right of way. (PP22636 COA: 10.BS GRADE.09). However, this is considered a standard CEQA mitigation measure, no unique mitigation is required.
- g) The proposed project will not violate any water quality standards or waste discharge requirements and it will not substantially deplete or degrade groundwater supplies or interfere substantially with groundwater recharge.
- h) The BMP maintenance plan shall contain provisions for all treatment controlled BMPs to be inspected, and if required, cleaned no later than October 15 each year. Required documentation shall identify the entity that will inspect and maintain all structural BMPs within the project boundaries. A copy of all necessary documentation shall be submitted to the District for review and approval prior to the issuance of occupancy permits (PP22636 COA: 10.FLOODRI.16). Therefore, this project will have a less than significant impact with mitigation.

Mitigation: A copy of the BMP improvement plans along with any necessary documentation shall be submitted to the Districts Plan Check Section for review. A copy of the improvement and grading plans shall be included for reference. The plans must receive the District's approval prior to issuance of permits. All submittals shall be date stamped by the engineer and include a completed Flood Control Deposit Based Fee Worksheet and the appropriate plan check fee deposit. A copy of the project specific WQMP shall be submitted to the District for review and approval. The developer shall distribute environmental awareness education materials on general good housekeeping practices that contribute to protection of stormwater quality to all initial users. All structural BMPs described in the project-specific WQMP shall be constructed and installed in conformance with approved plans and specifications. The BMP maintenance plan shall contain provisions for all treatment controlled BMPs to be inspected, and if required, cleaned no later than October 15 each year. (PP22636 COA: 60.FLOODRI.02, 60.FLOODRI.09, 80.FLOODRI.02, 80.FLOODRI.05, 90.FLOODRI.02, 90.FLOODRI.03, 90.FLOODRI.05).

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Monitoring: Monitoring shall be conducted by the Riverside County Flood Control District and by the Department of Building and Safety plan check process.

26. Floodplains

Degree of Suitability in 100-Year Floodplains. As indicated below, the appropriate Degree of Suitability has been checked.

NA - Not Applicable <input checked="" type="checkbox"/>	U - Generally Unsuitable <input type="checkbox"/>	R - Restricted <input type="checkbox"/>
a) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner that would result in flooding on- or off-site?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Changes in absorption rates or the rate and amount of surface runoff?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam (Dam Inundation Area)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Changes in the amount of surface water in any water body?	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure S-9 "100- and 500-Year Flood Hazard Zones," Figure S-10 "Dam Failure Inundation Zone," Riverside County Flood Control District Flood Hazard Report/Condition, GIS database

Findings of Fact:

- a) The project will not substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner that would result in flooding on- or off-site.
- b) The project will not substantially change absorption rates or the rate and amount of surface runoff.
- c) The project will not place housing within a 100-year flood hazard area, as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map.
- d) The project will not cause changes in the amount of surface water in any water body.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

LAND USE/PLANNING Would the project

27. Land Use	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a) Result in a substantial alteration of the present or planned land use of an area?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Affect land use within a city sphere of influence	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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and/or within adjacent city or county boundaries?

Source: RCIP, GIS database, Project Application Materials

Findings of Fact:

- a) The project would not result in a substantial alteration of the present or planned land of the area.
- b) The project does not affect land use within a city sphere of influence or within adjacent city or county boundaries.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
28. Planning	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a) Be consistent with the site's existing or proposed zoning?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Be compatible with existing surrounding zoning?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Be compatible with existing and planned surrounding land uses?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Be consistent with the land use designations and policies of the Comprehensive General Plan (including those of any applicable Specific Plan)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Disrupt or divide the physical arrangement of an established community (including a low-income or minority community)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Land Use Element, Staff review, GIS database

Findings of Fact:

- a) The project is consistent with the site's existing zoning Industrial Park (I-P) and Manufacturing-Service Commercial (M-SC).
- b) The surrounding zoning is Manufacturing-Service Commercial (M-SC) to the north, south, east and west. The project will be compatible with the surrounding zoning classifications.
- c) The project site is designated Community Development: Light Industrial (CD: LI) (0.25 - 0.60 Floor Area Ratio) in the RCIP. Surrounding properties are also designated Community Development: Light Industrial (CD: LI) (0.25 - 0.60 Floor Area Ratio) to the north, south, east and west.
- d) The project is consistent with current land use designations and the policies of the RCIP.
- e) The project will not disrupt or divide the physical arrangement of an established community.

Mitigation: No mitigation measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Monitoring: No monitoring measures are required.

MINERAL RESOURCES Would the project

29. Mineral Resources

a) Result in the loss of availability of a known mineral resource that would be of value to the region or the residents of the State?

b) Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?

c) Be an incompatible land use located adjacent to a State classified or designated area or existing surface mine?

d) Expose people or property to hazards from proposed, existing or abandoned quarries or mines?

Source: Riverside County General Plan Figure OS-5 "Mineral Resources Area"

Findings of Fact:

a) The project site is within MRZ-3, which is defined as areas where the available geologic information indicates that mineral deposits are likely to exist; however, the significance of the deposit is undetermined.

The RCIP identifies policies that encourage protection for existing mining operations and for appropriate management of mineral extraction. A significant impact that would constitute a loss of availability of a known mineral resource would include unmanaged extraction or encroach on existing extraction. No existing or abandoned quarries or mines exist in the area surrounding the project site. The project does not propose any mineral extraction on the project site. Any mineral resources on the project site will be unavailable for the life of the project; however, the project will not result in the permanent loss of significant mineral resources.

b) The project will not result in the loss of availability of a known mineral resource in an area classified or designated by the State that would be of value to the region or the residents of the State. The project will not result in the loss of availability of a locally important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan.

c) The project will not be an incompatible land use located adjacent to a State classified or designated area or existing surface mine.

d) The project will not expose people or property to hazards from proposed, existing or abandoned quarries or mines.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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NOISE Would the project result in

Definitions for Noise Acceptability Ratings

Where indicated below, the appropriate Noise Acceptability Rating(s) has been checked.

NA - Not Applicable

A - Generally Acceptable

B - Conditionally Acceptable

C - Generally Unacceptable

D - Land Use Discouraged

30. Airport Noise

a) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport would the project expose people residing or working in the project area to excessive noise levels?

NA A B C D

b) For a project within the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels?

NA A B C D

Source: Riverside County General Plan Figure S-19 "Airport Locations," County of Riverside Airport Facilities Map, Project Application Materials

Findings of Fact:

a) The project site is not located within an airport land use plan or within two miles of a public airport or public use airport that would expose people residing on the project site to excessive noise levels.

b) The project is not located within the vicinity of a private airstrip that would expose people residing on the project site to excessive noise levels.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

31. Railroad Noise

NA A B C D

Source: Riverside County General Plan Figure C-1 "Circulation Plan", GIS database

Findings of Fact:

The project site is not located adjacent to a rail line. No impacts will occur as a result of the proposed project.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

32. Highway Noise

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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NA A B C D

Source: Riverside County General Plan Figure C-1 "Circulation Plan", GIS database

Findings of Fact:

The project site is located approximately 2,000 feet north of State Highway 60. The project's land uses would not be sensitive to highway noise; therefore, impacts would be less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

33. Other Noise

NA A B C D

Source: Project Application Materials, GIS database

Findings of Fact:

No other noise sources have been identified near the project site that would contribute a significant amount of noise to the project.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

34. Noise Effects on or by the Project

a) A substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project?

b) A substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project?

c) Exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?

d) Exposure of persons to or generation of excessive ground-borne vibration or ground-borne noise levels?

Source: Project Application Materials, Riverside County General Plan Noise Element; Riverside County Noise Ordinance No. 847, Letter from the Department of Public Health Office of Industrial Hygiene, dated December 16, 2010 from Steven Hinde, CIH, Senior Industrial Hygienist

Findings of Fact:

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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a) The proposed project will not cause a substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project.

b) The project might create a substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project. However, all noise generated during project construction and the operation of the site must comply with the County's noise standards, which restricts construction (short-term) and operational (long-term) noise levels. Therefore, any potential noise impact is considered less than significant with mitigation.

c) The project will not cause exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies.

d) Persons might be exposed to groundborne vibration or groundborne noise levels during construction and operation of the project; however, to minimize ambient noise levels during construction and operation of the proposed project, construction and operation shall be restricted substantially to daylight hours.

Mitigation: The permit holder shall construct and design the project in compliance with the recommendations of an approved acoustical study, as reviewed and, as the case may be, modified by the Department of Public Health, Office of Industrial Hygiene and approved by the Planning Department. The permit holder may be required to submit to the Planning Department a written certification from a state licensed professional that the project was constructed in compliance with the recommendations of the approved acoustical study. The Planning Department may require further inspection by county staff to assure project compliance with this condition of approval. (PP22636 COA: 80.PLANNING.02)

Monitoring: Monitoring shall be conducted by Building and Safety Department through the permitting process.

POPULATION AND HOUSING Would the project

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
35. Housing	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a) Displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Create a demand for additional housing, particularly housing affordable to households earning 80% or less of the County's median income?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Displace substantial numbers of people, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Affect a County Redevelopment Project Area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Cumulatively exceed official regional or local population projections?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Source: Project Application Materials, GIS database, Riverside County General Plan Housing Element

Findings of Fact:

- a) The project will not necessitate the construction or replacement of housing elsewhere.
- b) The project could create a demand for additional housing; however, any demand will be accommodated on the housing market and any development will be required to develop per the General Plan.
- c) The project will not displace any people.
- d) The project site is located within the Jurupa Valley Redevelopment Project Area (JVPA) (Rubidoux sub-area); the Riverside County Economic Development Agency (EDA) reviewed the proposed project and it found it to be compliant with the adopted policies and objectives of the Jurupa Valley Redevelopment Project Area.
- e) The project will not cumulatively exceed official regional or local population projections.
- f) Development of the proposed project site will have a less than significant impact on inducing substantial population growth in an area either directly (e.g., by proposing new homes and businesses) or indirectly (e.g., through extension of roads or other infrastructure).

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

PUBLIC SERVICES Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered government facilities or the need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:

36. Fire Services

Source: Riverside County General Plan Safety Element

Findings of Fact:

The proposed project will have no impact on the demand for Fire services. Prior to the issuance of a certificate of occupancy, the applicant shall comply with the provision of Ordinance No. 659 which requires payment of the appropriate fees set forth in the Ordinance. Ordinance 659 is established to set forth policies, regulations and fees related to the funding and construction of facilities necessary to address the direct a cumulative environmental effect generated by new development projects. With compliance to Ordinance No. 659, impact to Fire services is viewed as less than significant.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Additionally, the project will not result in substantial adverse physical impacts associated with the provision of new or physically altered government facilities or the need for new or physically altered governmental facilities. As such, this project will not cause the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services.

Any project subject to Ordinance No. 659 will be conditioned for compliance. Compliance with Ordinance No. 659 is not considered a unique mitigation measure. No additional mitigation is identified or required. (PP22636 COA: 90.PLANNING.31)

Mitigation: No mitigation measures are required.

Monitoring: No mitigation measures are required.

37. Sheriff Services

Source: RCIP

Findings of Fact:

The proposed project will have no impact on the demand for Sheriff services. Prior to the issuance of a certificate of occupancy, the applicant shall comply with the provision of Ordinance No. 659 which requires payment of the appropriate fees set forth in the Ordinance. Ordinance 659 is established to set forth policies, regulations and fees related to the funding and construction of facilities necessary to address the direct and cumulative environmental effect generated by new development projects. With compliance to Ordinance No. 659, impact to Sheriff services is viewed as less than significant.

Additionally, the project will not result in substantial adverse physical impacts associated with the provision of new or physically altered government facilities or the need for new or physically altered governmental facilities. As such, this project will not cause the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services.

Any project subject to Ordinance No. 659 will be conditioned for compliance. Compliance with Ordinance No. 659 is not considered a unique mitigation measure. No additional mitigation is identified or required. (PP22636 COA: 90.PLANNING.31)

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

38. Schools

Source: Jurupa Unified School District correspondence, GIS database

Findings of Fact:

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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The proposed project is located within the Jurupa Unified School District. The impact of the project is considered less than significant.

Additionally, the project will not result in substantial adverse physical impacts associated with the new provision of new or physically altered government facilities or the need for new or physically alter governmental facilities. As such, this project will not cause the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios and performance objectives for any public services.

These projects have been conditioned to comply with School Mitigation Impact fees in order to mitigate the potential effects to school services. This is a standard condition of approval and pursuant to CEQA is not considered mitigation (PP22636 COA 80.PLANNING.17). Therefore, impacts are considered less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

39. Libraries

Source: RCIP

Findings of Fact:

The proposed project will have no impact on the demand for Library services. Prior to the issuance of a certificate of occupancy, the applicant shall comply with the provision of Ordinance No. 659 which requires payment of the appropriate fees set forth in the Ordinance. Ordinance 659 is established to set forth policies, regulations and fees related to the funding and construction of facilities necessary to address the direct a cumulative environmental effect generated by new development projects. With compliance to Ordinance No. 659, impact to Library services is viewed as less than significant.

Additionally, the project with not result in substantial adverse physical impacts associated with the provision of new or physically altered government facilities or the need for new or physically altered governmental facilities. As such, this project will not cause construction which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services.

Any project subject to Ordinance No. 659 will be conditioned for compliance. This is not a unique mitigation measure. No further mitigation measures have been identified; no additional or unique mitigation is required. (PP22636 COA: 90.PLANNING.31)

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

40. Health Services

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Source: RCIP

Findings of Fact:

The construction of health service buildings in conjunction with the proposed development is not anticipated. Existing health services facilities will serve the site.

Additionally, the project will no result in substantial adverse physical impacts associated with the provision of new or physically altered government facilities or the need for new or physically altered governmental faculties. As such, this project will not cause construction which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services.

Any project subject to Ordinance No. 659 will be conditioned for compliance. This is not a unique mitigation measure. No further mitigation measures have been identified; no additional or unique mitigation is required. (PP22636 COA: 90.PLANNING.31)

Mitigation: No mitigation measures are required.

Monitoring: No mitigation measures are required.

RECREATION

41. Parks and Recreation

a) Would the project include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?

b) Would the project include the use of existing neighborhood or regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?

c) Is the project located within a C.S.A. or recreation and park district with a Community Parks and Recreation Plan (Quimby fees)?

Source: GIS database, Ord. No. 460, Section 10.35 (Regulating the Division of Land – Park and Recreation Fees and Dedications), Ord. No. 659 (Establishing Development Impact Fees), Parks & Open Space Department Review

Findings of Fact:

a-b) The proposed project does not include recreational facilities or require the construction or expansion of recreational facilities as well as it does not include the use of existing neighborhood or regional parks or other recreational facilities.

c) The project is within the Jurupa Area Recreation and Parks District. Ordinance No. 460 does not require payment of Quimby fees for commercial / industrial developments.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

42. Recreational Trails

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Source: Riverside County Parks, RCIP Figure C-7 "Trails and Bikeway System", Ord. No. 460, Ord. No. 461

Findings of Fact:

The Jurupa Area Plan indicates that no trails are proposed to be constructed and dedicated along 26th Street and Rubidoux Boulevard.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

TRANSPORTATION/TRAFFIC Would the project

43. Circulation

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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a) Conflict with an applicable plan, ordinance or policy establishing a measure of effectiveness for the performance of the circulation system, taking into account all modes of transportation, including mass transit and non-motorized travel and relevant components of the circulation system, including but not limited to intersections, streets, highways and freeways, pedestrian and bicycle paths, and mass transit?

b) Conflict with an applicable congestion management program, including, but not limited to level of service standards and travel demand measures, or other standards established by the county congestion management agency for designated roads or highways?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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c) Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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d) Alter waterborne, rail or air traffic?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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e) Substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g. farm equipment)?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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f) Cause an effect upon, or a need for new or altered maintenance of roads?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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g) Cause an effect upon circulation during the project's construction?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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h) Result in inadequate emergency access or access to nearby uses?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
i) Conflict with adopted policies, plans or programs regarding public transit, bikeways or pedestrian facilities, or otherwise substantially decrease the performance or safety of such facilities?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: RCIP, Transportation Department Review, Ord. No. 348, Ord. No 659

Findings of Fact:

- a) The proposed project site will have a less than significant impact on an increase in traffic which is substantial in relation to the existing traffic load and capacity of the street system. The project site would not result in a substantial increase in either the number of vehicle trips, the volume to capacity ratio on roads or congestion at intersections.
- b) The project will have a less than significant impact on the level of service standard established by the county congestion management agency for designated road or highways.
- c) The project will have a less than significant impact on circulation that would result in a change in traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks.
- d) The project site will have no impact on circulation altering waterborne, rail or air traffic.
- e) The proposed project site would have no impact on circulation substantially increasing hazards to a design feature or incompatible uses.
- f) The proposed project site would have less than significant impact on circulation causing an effect upon, or need for new or altered maintenance of roads.
- g) The proposed project site would have a less than significant impact on circulation because there are improvements that are going to be constructed.
- h) The proposed project site would have no impact on circulation resulting in inadequate emergency access or access to nearby uses.
- i) Development of this project will not conflict with adopted policies supporting alternative transportation such as bus turnouts or bicycle racks.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

44. Bike Trails	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Source: Riverside County Parks, RCIP Figure C-7 "Trails and Bikeway System", Ord. No. 460, Ord. No. 461

Findings of Fact:

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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The project site is not located near a bike trail.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

UTILITY AND SERVICE SYSTEMS Would the project

45. Water	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a) Require or result in the construction of new water treatment facilities or expansion of existing facilities, the construction of which would cause significant environmental effects?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Department of Environmental Health Review

Findings of Fact:

a) The Rubidoux Community Services District will service the project with water. The Riverside County Department of Environmental Health has reviewed this project. The project does not require or will not result in the construction of new water treatment facilities or expansion of existing facilities, the construction of which would cause significant environmental effects.

b) There is a sufficient water supply available to serve the project from existing entitlements and resources. This project has been conditioned to comply with the requirements of the Riverside County Department of Environmental Health.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

46. Sewer	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a) Require or result in the construction of new wastewater treatment facilities, including septic systems, or expansion of existing facilities, the construction of which would cause significant environmental effects?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Result in a determination by the wastewater treatment provider that serves or may service the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Department of Environmental Health Review

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Findings of Fact:

a) The Rubidoux Community Services District will service the project with sewer services. The Riverside County Department of Health has reviewed this project. The project will not require or will not result in the construction of new wastewater treatment facilities, including septic systems, or expansion of existing facilities, the construction of which would cause significant environmental effects.

b) This project has been conditioned to comply with the requirements of the Riverside County Department of Environmental Health.

Mitigation: No mitigation measures are necessary.

Monitoring: No monitoring measures are necessary.

47. Solid Waste

a) Is the project served by a landfill with sufficient permitted capacity to accommodate the project's solid waste disposal needs?

b) Comply with federal, state, and local statutes and regulations related to solid wastes (including the CIWMP (County Integrated Waste Management Plan))?

Source: RCIP, Letter from Riverside County Waste Management Division, dated April 17, 2007 from Ryan Ross, Planner

Findings of Fact:

a) The project will not substantially alter existing or future solid waste generation patterns and disposal services. The landfill that will serve the project has sufficient capacity to accommodate the project's anticipated solid waste disposal needs.

b) The development will comply with federal, state, and local statutes and regulations related to solid wastes (including the CIWMP (County Integrated Waste Management Plan)). PP22636 Conditions of Approval 10.PLANNING.45, 80.PLANNING.16 and 90.PLANNING.28 are not considered unique mitigation measures pursuant to CEQA. No additional mitigation is identified or required.

Mitigation: No mitigation measures are necessary.

Monitoring: No monitoring measures are necessary.

48. Utilities

Would the project impact the following facilities requiring or resulting in the construction of new facilities or the expansion of existing facilities; the construction of which could cause significant environmental effects?

a) Electricity?

b) Natural gas?

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
c) Communications systems?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Storm water drainage?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Street lighting?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) Maintenance of public facilities, including roads?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g) Other governmental services?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: RCIP, Ord. No 517, Ord. No. 659

Findings of Fact:

a-c) The project will require utility services in the form of Electricity, Natural gas, and Telecommunications. Utility service infrastructure is available to the project site and the project is not anticipated to create a need for new facilities.

d) Storm water drainage will be handled on-site.

e-f) Street lighting exists for the access to the project site. Overall, the project will have an incremental impact on the maintenance of public facilities, including roads.

g) The project will not require additional government services.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

49. Energy Conservation

a) Would the project conflict with any adopted energy conservation plans?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Source: Project Application Materials

Findings of Fact:

a) The proposed project will not impact any adopted energy conservation plans.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

MANDATORY FINDINGS OF SIGNIFICANCE

50. Does the project have the potential to substantially degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare, or endangered plant or animal to

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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eliminate important examples of the major periods of California history or prehistory?

Source: Staff review, Project Application Materials

Findings of Fact:

Implementation of the proposed project would not substantially degrade the quality of the environment, substantially reduce the habitat of fish or wildlife species, cause a fish or wildlife populations to drop below self sustaining levels, threaten to eliminate a plant or animal community, or reduce the number or restrict the range of a rare or endangered plant or animal, or eliminate important examples of the major periods of California history or prehistory.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

51. Does the project have impacts which are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, other current projects and probable future projects)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Source: Staff review, Project Application Materials

Findings of Fact:

The project does not have impacts which are individually limited, but cumulatively considerable.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

52. Does the project have environmental effects that will cause substantial adverse effects on human beings, either directly or indirectly?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Source: Staff review, Project Application Materials

Findings of Fact:

The proposed project would not result in environmental effects which would cause substantial adverse effects on human beings, either directly or indirectly.

Mitigation: No mitigation measures are required.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Monitoring: No monitoring measures are required.

VI. EARLIER ANALYSES

Earlier analyses may be used where, pursuant to the tiering, program EIR, or other CEQA process, an effect has been adequately analyzed in an earlier EIR or negative declaration as per California Code of Regulations, Section 15063 (c) (3) (D). In this case, a brief discussion should identify the following:

- Earlier Analyses Used, if any: RCIP: Riverside County Integrated Project.
- Jurupa Area Plan.
- SCAQMD CEQA Air Quality Handbook
- Climate Change Analysis prepared by Urban Crossroads, dated August 19, 2010
- Habitat Assessment and MSHCP Consistency Analysis (PDB05083) prepared by Michael Brandman Associates, dated November 27, 2006
- Focused Survey for Delhi Sands Flower-Loving Fly (PDB05522) prepared by Larry Munsey International, dated November 2008
- 2nd Year of a 2 Year Focused Survey for Delhi Sands Flower-Loving Fly (PDB05626) prepared by L&L Environmental, Inc., dated October 21, 2009
- Paleontological Resources Assessment Report (PDA04320) prepared by Michael Brandman Associates, dated August 10, 2007
- Geotechnical Engineering Investigation Report (GEO No. 1862) prepared by NorCal Engineering, dated July 25, 2006
- Letter from the Department of Public Health Office of Industrial Hygiene, dated December 16, 2010 from Steven Hinde, CIH, Senior Industrial Hygienist
- Letter from Riverside County Waste Management Division, dated April 17, 2007 from Ryan Ross, Planner

Location Where Earlier Analyses, if used, are available for review:

Location: County of Riverside Planning Department
4080 Lemon Street, 12th Floor
Riverside, CA 92502-1409

VII. AUTHORITIES CITED

Authorities cited: Public Resources Code Sections 21083 and 21083.05; References: California Government Code Section 65088.4; Public Resources Code Sections 21080(c), 21080.1, 21080.3, 21082.1, 21083, 21083.05, 21083.3, 21093, 21094, 21095 and 21151; *Sundstrom v. County of Mendocino* (1988) 202 Cal.App.3d 296; *Leonoff v. Monterey Board of Supervisors* (1990) 222 Cal.App.3d 1337; *Eureka Citizens for Responsible Govt. v. City of Eureka* (2007) 147 Cal.App.4th 357; *Protect the Historic Amador Waterways v. Amador Water Agency* (2004) 116 Cal.App.4th at 1109; *San Franciscans Upholding the Downtown Plan v. City and County of San Francisco* (2002) 102 Cal.App.4th 656.

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PARCEL MAP Parcel Map #: PM35267

Parcel: 178-150-008

10. GENERAL CONDITIONS

EVERY DEPARTMENT

10. EVERY. 1

MAP - DEFINITIONS

RECOMMND

The words identified in the following list that appear in all capitals in the attached conditions of Tentative Parcel Map No. 35267 shall be henceforth defined as follows:

TENTATIVE MAP = Tentative Parcel Map No. 35267, Amended No. 1, dated July 23, 2008.

FINAL MAP = Final Map or Parcel Map for the TENTATIVE MAP whether recorded in whole or in phases.

10. EVERY. 2

MAP - PROJECT DESCRIPTION

RECOMMND

The land division hereby permitted is a Schedule E subdivision of 6.45 gross (6.04 net) acres into eight (8) industrial parcels, ranging from 0.64 acres to 0.94 acres.

The project site is located in the Community of Belltown of the Jurupa Area Plan in Western Riverside County; more specifically, southerly of 26th Street and easterly of Rubidoux Boulevard.

10. EVERY. 3

MAP - HOLD HARMLESS

RECOMMND

The land divider or any successor-in-interest shall defend, indemnify, and hold harmless the County of Riverside (COUNTY), its agents, officers, or employees from any claim, action, or proceeding against the COUNTY, its agents, officers, or employees to attack, set aside, void, or annul an approval of the COUNTY, its advisory agencies, appeal boards, or legislative body concerning the TENTATIVE MAP, which action is brought within the time period provided for in California Government Code, Section 66499.37. The COUNTY will promptly notify the land divider of any such claim, action, or proceeding against the COUNTY and will cooperate fully in the defense. If the COUNTY fails to promptly notify the land divider of any such claim, action, or proceeding or fails to cooperate fully in the defense, the land divider shall not, thereafter, be responsible to defend, indemnify, or hold harmless the COUNTY.

PARCEL MAP Parcel Map #: PM35267

Parcel: 178-150-008

10. GENERAL CONDITIONS

10. EVERY. 4 MAP - 90 DAYS TO PROTEST RECOMMND

The land divider has 90 days from the date of approval of these conditions to protest, in accordance with the procedures set forth in Government Code Section 66020, the imposition of any and all fees, dedications, reservations and/or other exactions imposed on this project as a result of the approval or conditional approval of this project.

BS GRADE DEPARTMENT

10.BS GRADE. 1 MAP-GIN INTRODUCTION RECOMMND

Improvement such as grading, filling, over excavation and recompaction, and base or paving which require a grading permit are subject to the included Building and Safety Grading Division conditions of approval.

10.BS GRADE. 2 MAP-G1.2 OBEY ALL GDG REGS RECOMMND

All grading shall conform to the California Building Code, Ordinance 457, and all other relevant laws, rules and regulations governing grading in Riverside County and prior to commencing any grading which includes 50 or more cubic yards, the applicant shall obtain a grading permit from the Building & Safety Department.

10.BS GRADE. 3 MAP-G1.3 DISTURBS NEED G/PMT RECOMMND

Ordinance 457 requires a grading permit prior to clearing, grubbing or any top soil disturbances related to construction grading.

10.BS GRADE. 4 MAP-G1.5 EROS CNTRL PROTECT RECOMMND

Graded but undeveloped land shall provide, in addition to erosion control planting, any drainage facility deemed necessary to control or prevent erosion. Additional erosion protection may be required during the rainy season from October 1 to May 31.

10.BS GRADE. 5 MAP-G1.6 DUST CONTROL RECOMMND

All necessary measures to control dust shall be implemented by the developer during grading.

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10. GENERAL CONDITIONS

10.BS GRADE. 6 MAP-G2.1 GRADING BONDS RECOMMND

Grading in excess of 199 cubic yards will require performance security to be posted with the Building & Safety Department. Single family dwelling units graded one lot per permit and proposing to grade less than 5,000 cubic yards are exempt.

10.BS GRADE. 7 MAP-G2.5 2:1 MAX SLOPE RATIO RECOMMND

Grade slopes shall be limited to a maximum steepness ratio of 2:1 (horizontal to vertical) unless otherwise approved.

10.BS GRADE. 8 MAP-G2.6SLOPE STABL'TY ANLY RECOMMND

A slope stability report shall be submitted and approved by the County Geologist for all proposed cut or fill slopes steeper than 2:1 (horizontal to vertical) or over 30 feet in vertical height - unless addressed in a previous report.

10.BS GRADE. 9 MAP-G2.8MINIMUM DRNAGE GRAD RECOMMND

Minimum drainage grade shall be 1% except on portland cement concrete where 0.35% shall be the minimum.

10.BS GRADE. 14 MAP-G2.24LU PMT TO GRD SUB RECOMMND

A GRADING PERMIT WILL NOT BE ISSUED, BY THE BUILDING AND SAFETY DEPARTMENT, FOR ANY PARCEL(S) OF THIS SUBDIVISION UNLESS AN APPROPRIATE LAND USE PERMIT HAS ALSO BEEN ISSUED AND APPROVED, BY THE PLANNING DEPARTMENT, FOR THAT SAME PARCEL(S).

10.BS GRADE. 15 MAP-G1.4 NPDES/SWPPP RECOMMND

Prior to issuance of any grading or construction permits - whichever comes first - the applicant shall provide the Building and Safety Department evidence of compliance with the following: "Effective March 10, 2003 owner operators of grading or construction projects are required to comply with the N.P.D.E.S. (National Pollutant Discharge Elimination System) requirement to obtain a construction permit from the State Water Resource Control Board (SWRCB). The permit requirement applies to grading and construction sites of "ONE" acre or larger. The owner operator can comply by submitting a "Notice of Intent" (NOI), develop and implement a STORM WATER POLLUTION PREVENTION PLAN (SWPPP) and a monitoring program and reporting plan for the

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10. GENERAL CONDITIONS

10.BS GRADE. 15 MAP-G1.4 NPDES/SWPPP (cont.) RECOMMND

construction site. For additional information and to obtain a copy of the NPDES State Construction Permit contact the SWRCB at (916) 657-1146.

Additionally, at the time the county adopts, as part of any ordinance, regulations specific to the N.P.D.E.S., this project (or subdivision) shall comply with them.

FIRE DEPARTMENT

10.FIRE. 1 MAP-#50-BLUE DOT REFLECTORS RECOMMND

Blue retroreflective pavement markers shall be mounted on private streets, public streets and driveways to indicate location of fire hydrants. Prior to installation, placement of markers must be approved by the Riverside County Fire Department.

10.FIRE. 2 MAP-#15-POTENTIAL FIRE FLOW RECOMMND

The water mains shall be capable of providing a potential fire flow 4000 GPM and an actual fire flow available from any one hydrant shall be 2500 GPM for 2-hour duration at 20 PSI residual operating pressure.

10.FIRE. 3 MAP-#14-COM/RES HYD/SPACING RECOMMND

Approved super fire hydrants, (6"x4"x 2-2 1/2") shall be located at each street intersection and spaced not more than 330 feet apart in any direction, with no portion of any lot frontage more than 165 feet from a fire hydrant.

FLOOD RI DEPARTMENT

10.FLOOD RI. 1 MAP FLOOD HAZARD REPORT RECOMMND

PM 35267 is a proposal for an Industrial Park on a 6.5 acre in the Rubidoux area. The property is located east of Rubidoux Blvd and south of 26th St.

The parcel map is related to Plot Plan 22636. Except for nuisance nature local runoff that may traverse portions of the property, the project is considered free from ordinary storm flood hazard. However, a storm of unusual magnitude could cause some damage. New construction should comply

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10.FLOOD RI. 1 MAP FLOOD HAZARD REPORT (cont.)

RECOMMND

with all applicable ordinances.

The site naturally drains northeast to 26TH Street and then to the catch basin at the intersection of 26th Street and Hall Avenue.

The District will not require this project to mitigate for increased runoff as flows leaving the site will be discharged to an existing catch basin at the intersection off Hall Avenue and 26th Street which is considered an adequate outlet but mitigation for the water quality will be required. Since the catch basin is further down the road the District understands that the developer shall improve the 26th Street with curb and gutter on the south side to get credit for an adequate outlet.

The revised Water Quality Plan dated May 2008 was received and reviewed by the District.

The project proposes to mitigate the impacts to water quality with grassy swales along the eastern, western and northern boundary of the site. Onsite runoff is directed to these grassy swale which outlets to 26th Street.

This concept is acceptable to the District; however the grassy swales design and calculations may require modifications during final engineering. It should be noted that to determine the length of grassy swale the District recommends using the worksheet from the water quality manual.

10.FLOOD RI. 5 MAP PERP DRAINAGE PATTERNS

RECOMMND

The property's street and lot grading shall be designed in a manner that perpetuates the existing natural drainage patterns with respect to tributary drainage areas, outlet points and outlet conditions. Otherwise, a drainage easement shall be obtained from the affected property owners for the release of concentrated or diverted storm flows. A copy of the recorded drainage easement shall be submitted to the District for review.

10.FLOOD RI. 16 MAP WQMP ESTABL MAINT ENTITY

RECOMMND

This project proposes BMP facilities that will require maintenance by a public agency or homeowner's association. To ensure that the public is not unduly burdened with future costs, prior to final approval or recordation of this case, the District will require an acceptable financial mechanism be implemented to provide for maintenance of treatment control BMPs in perpetuity. This

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10. GENERAL CONDITIONS

10.FLOOD RI. 16 MAP WQMP ESTABL MAINT ENTITY (cont.) RECOMMND

may consist of a mechanism to assess individual benefiting property owners, or other means approved by the District. The site's treatment control BMPs must be shown on the project's improvement plans - either the street plans, grading plans, or landscaping plans. The type of improvement plans that will show the BMPs will depend on the selected maintenance entity.

10.FLOOD RI. 17 MAP SUBMIT FINAL WQMP>PRELIM RECOMMND

In compliance with Santa Ana Region and San Diego Region Regional Water Quality Control Board Orders, and Beginning January 1, 2005, projects submitted within the western region of the unincorporated area of Riverside County for discretionary approval will be required to comply with the Water Quality Management Plan for Urban Runoff (WQMP). The WQMP addresses post-development water quality impacts from new development and redevelopment projects. The WQMP requirements will vary depending on the project's geographic location (Santa Ana, Santa Margarita or Whitewater River watersheds). The WQMP provides detailed guidelines and templates to assist the developer in completing the necessary studies. These documents are available on-line at:
www.floodcontrol.co.riverside.ca.us under Programs and Services, Stormwater Quality.

To comply with the WQMP a developer must submit a "Project Specific" WQMP. This report is intended to a) identify potential post-project pollutants and hydrologic impacts associated with the development; b) identify proposed mitigation measures (BMPs) for identified impacts including site design, source control and treatment control post-development BMPs; and c) identify sustainable funding and maintenance mechanisms for the aforementioned BMPs. A template for this report is indicated as 'exhibit A' on the website above. A final Project Specific WQMP must be approved by the District prior to issuance of building or grading permits.

rojects that require a Project Specific WQMPs were required to submit a PRELIMINARY Project Specific WQMP along with the land-use application package in the tentative phase of development in order to obtain recommended conditions of approval. The developer has submitted a report that minimally meets the criteria for a preliminary project

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10.FLOOD RI. 17 MAP SUBMIT FINAL WQMP>PRELIM (cont.)

RECOMMND

specific WQMP of addressing points a, b, and c above. It shall be noted that while the preliminary project specific WQMP was adequate at that stage, the preliminary WQMP report will need significant revisions at the improvement plan check phase of the development in order to meet the requirements of a final project specific WQMP - including detailed drawings for the BMPs along with all supporting calculations. It should also be noted that if 401 certification is necessary for the project, the Water Quality Control Board may require additional water quality measures.

10.FLOOD RI. 19 MAP BMP MAINTENANCE & INSPECT

RECOMMND

The CC&R's for the development's Home/Property Owners Association (HOA/POA) shall contain provisions for all privately owned structural best management practices (BMPs) to be inspected, and if required, cleaned no later than October 15 each year. The CC&R's shall identify the entity that will inspect and maintain all structural BMPs within the project boundaries. A copy of the CC&R's shall be submitted to the District for review and approval prior to the recordation of the map.

PLANNING DEPARTMENT

10.PLANNING. 1 MAP - GEO 1862

RECOMMND

County Geologic Report (GEO) No. 1862, submitted for this project (PP22636 & PM35267), was prepared by NorCal Engineering and is entitled: "Geotechnical Engineering Investigation, Proposed Industrial Development - Located at the Southwest Corner of Rubidoux Boulevard and 26th Street, Belltown, in the County of Riverside, California", dated July 25, 2006. Additionally, NorCal Engineering and their consultant prepared the following responses:

1."Response to County Geologic Report Review Sheet - Proposed Industrial Development - Located at Southwest Corner of Rubidoux Boulevard and 26th Street, Belltown, in the County of Riverside, California" dated August 30, 2007.

2."Response to County Geotechnical Report Review Sheet - Proposed Industrial Development - Located at Southwest Corner of Rubidoux Boulevard and 26th Street, Belltown, in the County of Riverside, California" dated August 30, 2007.

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10.PLANNING. 1 MAP - GEO 1862 (cont.)

RECOMMND

3."Geotechnical Evaluation of Potential Faulting, Proposed Industrial Development, Southwest Corner of Rubidoux Boulevard and 26th Street, Belltown, County of Riverside, California" prepared by Andrew Stone, Engineering Geology and dated August 31, 2007.

4."Second Response to County Geologic Report Review Sheet - Proposed Industrial Development - Located at Southwest Corner of Rubidoux Boulevard and 26th Street, Belltown, in the County of Riverside, California" dated September 14, 2007.

These reports are now included as part of GEO No. 1862.

GEO No 1862 concluded:

1.Based on literature research, aerial photo interpretation and site work performed, the consultant determined that no known active faults trend toward or across this site and therefore the potential for this site to be affected by surface fault rupture is considered low.

2.Based on the lack of groundwater in the borings advanced for this project and groundwater data collected from nearby water wells it was determined that the current and historic high groundwater levels in this area exceed 50 feet. Based on the depth to groundwater and the data indicating that the deeper site soils are relatively dense, it was concluded that the potential for this site to be affected by seismically induced liquefaction is low.

3.With the exception of groundshaking, the potential for this site to be affected by other secondary seismic hazards such as dynamic settlement, seismically induced landsliding or flooding and/or seiche/tsunami is considered low. The site should be expected to experience peak horizontal ground accelerations of about 0.42 g from a magnitude 6.6 earthquake along the San Jacinto (San Bernardino segment) fault which is about 6 miles away. This earthquake has a 10% probability of exceedence in 50 years.

GEO No 1862 recommended:

1.All vegetation, organics and other deleterious materials should be removed from the site prior to grading and

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10. GENERAL CONDITIONS

10.PLANNING. 1

MAP - GEO 1862 (cont.) (cont.)

RECOMMND

properly disposed of offsite. All upper fill/disturbed soils, estimated at about 1 to 1 1/2 feet thick, shall be removed to expose native soils exhibiting an in-place relative compaction of at least 85% of the maximum dry density as determined by ASTM D-1557. The exposed approved surface should be scarified to a depth of 12 inches, brought to within 2% of optimum moisture content and compacted to a minimum of 90% of the maximum dry density as determined by ASTM Test Method D-1557 and verified by field density testing.

2.The loose near surface soils should be removed to such a depth as to provide a minimum of two feet of compacted fill beneath all footings and slabs. All fill soils should be cleaned of organics or any other deleterious materials, be placed in layers not exceeding six inches in thickness, moisture conditioned to within 2% of the optimum moisture content and compacted to a minimum of 90% of the maximum dry density as determined by ASTM Test Method D-1557 and verified by field density testing.

3.All structures should be designed in accordance with the latest provisions of the most recent edition of the Uniform Building Code for a site located in UBC Seismic Zone 4, located 10 km from a UBC Type B seismic source and overlying a UBC Type Sd soil.

GEO No. 1862 satisfies the requirement for a Geologic/Seismic Study for Planning /CEQA purposes. GEO No. 1862 is hereby accepted for Planning purposes. This approval is not intended, and should not be misconstrued as approval for grading permit. Engineering and other building code parameters will be reviewed and additional comments and/or conditions may be imposed by the Building and Safety Department upon application for grading and/or building permits.

10.PLANNING. 2

MAP - IF HUMAN REMAINS FOUND

RECOMMND

If human remains are encountered, State Health and Safety Code Section 7050.5 states that no further disturbance shall occur until the Riverside County Coroner has made the necessary findings as to origin. Further, pursuant to Public Resource Code Section 5097.98(b) remains shall be left in place and free from disturbance until a

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10. GENERAL CONDITIONS

10.PLANNING. 2 MAP - IF HUMAN REMAINS FOUND (cont.)

RECOMMND

final decision as to the treatment and disposition has been made. If the Riverside County Coroner determines the remains to be Native American, the Native American Heritage Commission shall be contacted within a resonable timeframe. Subsequently, the Native American Heritage Commission shall identify the "most likely descendant." The most likely descendant shall then make recommendations and engage in consultation concerning thetreatment of the remains as provided in Public Resources Code Section 5097.98.

10.PLANNING. 3 MAP - INADVERTENT ARCHAEO FIND

RECOMMND

If during ground disturbance activities, unique cultural resources are discovered that were not assessed by the archaeological report(s) and/or environemntal assessment conducted prior to project approval, the following procedures shall be followed. Unique cultural resources are defined, for this condition, as being multiple artifacts in close association with each other, but may include fewer artifacts if the area of the find is determined to be of significance due to its sacred or cultural importance.

1. All ground disturbance activities within 100 feet of the discovered cultural resources shall be halted until a meeting is convened between the developer, the archaeologist, the Native American tribal resrepresentative and the Planning Director to discuss the significance of the find.

2. At the meeting, the significance of the discoveries shall be discussed and after consultation with the Native American tribal representative and the archaeologist, a decision shall be made, with the concurrence of the Planning Director, as to the appropriate mitigation (documentation, recovery, avoidance, etc.) for the cultural resources.

3. Grading of further ground disturbance shall not resume within the area of the discovery until an agreement has been reached by all parties as to the appropriate mitigation.

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10.PLANNING. 4 MAP - MAP ACT COMPLIANCE RECOMMND

This land division shall comply with the State of California Subdivision Map Act and to all requirements of County Ordinance No. 460, Schedule E, unless modified by the conditions listed herein.

10.PLANNING. 5 MAP - FEES FOR REVIEW RECOMMND

Any subsequent review/approvals required by the conditions of approval, including but not limited to grading or building plan review or review of any mitigation monitoring requirement, shall be reviewed on an hourly basis, or other appropriate fee, as listed in County Ordinance No. 671. Each submittal shall be accompanied with a letter clearly indicating which condition or conditions the submittal is intended to comply with.

10.PLANNING. 11 MAP - OFFSITE SIGNS ORD 679.4 RECOMMND

No offsite subdivision signs advertising this land division/development are permitted, other than those allowed under Ordinance No. 679.4. Violation of this condition of approval may result in no further permits of any type being issued for this subdivision until the unpermitted signage is removed.

10.PLANNING. 13 MAP - FINAL MAP PREPARER RECOMMND

The FINAL MAP shall be prepared by a licensed land surveyor or registered civil engineer.

10.PLANNING. 16 MAP - ORD 810 OPN SPACE FEE RECOMMND

Prior to the issuance of either a certificate of occupancy or prior to building permit final inspection, the applicant shall comply with the provisions of Riverside County Ordinance No. 810, which requires payment of the appropriate fee set forth in the Ordinance. Riverside County Ordinance No. 810 has been established to set forth policies, regulations and fees related to the funding and acquisition of open space and habitat necessary to address the direct and cumulative environmental effects generated by new development projects described and defined in this Ordinance.

The fee shall be paid for each unit to be constructed within this land division.

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10. GENERAL CONDITIONS

10.PLANNING. 16 MAP - ORD 810 OPN SPACE FEE (cont.)

RECOMMND

In the event Riverside County Ordinance No. 810 is rescinded, this condition will no longer be applicable. However, should Riverside County Ordinance No. 810 be rescinded and superseded by a subsequent mitigation fee ordinance, payment of the appropriate fee set forth in that ordinance shall be required.

10.PLANNING. 18 MAP - ORD NO. 659 (DIF)

RECOMMND

Prior to the issuance of either a certificate of occupancy or prior to building permit final inspection, the applicant shall comply with the provisions of Riverside County Ordinance No. 659, which requires the payment of the appropriate fee set forth in the Ordinance. Riverside County Ordinance No. 659 has been established to set forth policies, regulations and fees related to the funding and construction of facilities necessary to address the direct and cumulative environmental effects generated by new development projects described and defined in this Ordinance, and it establishes the authorized uses of the fees collected.

The fee shall be paid for each unit to be constructed within this land division. In the event Riverside County Ordinance No. 659 is rescinded, this condition will no longer be applicable. However, should Riverside County Ordinance No. 659 be rescinded and superseded by a subsequent mitigation fee ordinance, payment of the appropriate fee set forth in that ordinance shall be required.

10.PLANNING. 19 MAP - LC LANDSCAPE REQUIREMENTS

RECOMMND

Prior to the installation or rehabilitation of 2,500 square feet or more of landscaped area, the developer/ permit holder/landowner shall:

1) Submit landscape and irrigation plans to the County Planning Department for review and approval. Such plans shall be submitted as a Minor Plot Plan subject to the appropriate fees and inspections as determined by the County, comply with Ordinance No. 859 and be prepared in accordance with the County of Riverside Guide to California Friendly Landscaping. Emphasis shall be placed on using plant species that are drought tolerant and low water

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10. GENERAL CONDITIONS

10.PLANNING. 19 MAP - LC LANDSCAPE REQUIREMNTS (cont.) RECOMMND

using.

- 2)Ensure all landscape and irrigation plans are in conformance with the APPROVED LANDSCAPE EXHIBITS for PP22636;
- 3)Ensure all landscaping is provided with a weather based irrigation controller(s) as defined by County Ordinance No. 859;
- 4)Ensure that irrigation plans which may use reclaimed water conform with the requirements of the local water purveyor; and,
- 5)Ensure that all common area landscaping is healthy, free of weeds, disease and pests and all plant materials are maintained in a viable growth condition.

The developer/permit holder is responsible for the maintenance, viability and upkeep of all slopes, landscaped areas, and irrigation systems until the successful completion of the Installation Inspection or those operations become the responsibility of the individual property owner(s), a property owner's association, or any other successor-in-interest, whichever occurs later.

10.PLANNING. 21 MAP - LC LANDSCAPE REQUIREMNTS RECOMMND

Prior to the installation or rehabilitation of 2,500 square feet or more of landscaped area, the developer/ permit holder/landowner shall:

- 1)Submit landscape and irrigation plans to the County Planning Department for review and approval. Such plans shall be submitted as a Minor Plot Plan subject to the appropriate fees and inspections as determined by the County, comply with Ordinance No. 859 and be prepared in accordance with the County of Riverside Guide to California Friendly Landscaping. Emphasis shall be placed on using plant species that are drought tolerant and low water using.
- 2)Ensure all landscape and irrigation plans are in conformance with the APPROVED EXHIBITS and in conformance with the conceptual landscape plan approved for PP22636;
AND
- 3)Ensure all landscaping is provided with a weather based irrigation controller(s) as defined by County Ordinance No. 859;
- 4)Ensure that irrigation plans which may use reclaimed water conform with the requirements of the local water

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10. GENERAL CONDITIONS

10.PLANNING. 21 MAP - LC LANDSCAPE REQUIREMENTS (cont.) RECOMMND

purveyor; and,
5) Ensure that all common area landscaping is healthy, free of weeds, disease and pests and all plant materials are maintained in a viable growth condition.

The developer/permit holder is responsible for the maintenance, viability and upkeep of all slopes, landscaped areas, and irrigation systems until the successful completion of the Installation Inspection or those operations become the responsibility of the individual property owner(s), a property owner's association, or any other successor-in-interest, whichever occurs later.

10.PLANNING. 22 MAP - LC LANDSCAPE SPECIES RECOMMND

The developer/ permit holder/landowner shall use the County of Riverside's California Friendly Plant List when making plant selections. The list can be found at the following web site
<http://www.rctlma.org/planning/content/devproc/landscape/landscape.html> . Use of plant material with a "low" or "very low" water use designation is strongly encouraged.

10.PLANNING. 23 USE - OFF-HIGHWAY VEHICLE USE RECOMMND

No off-highway vehicle use shall be allowed on any parcel or open space area located within the boundaries of this land division.

10.PLANNING. 24 USE - SUBMIT BUILDING PLANS RECOMMND

The developer shall cause building plans to be submitted to the TLMA- Land Use Section for review by the Department of Building and Safety - Plan Check Division. Said plans shall be in conformance with the approved TENTATIVE MAP.

TRANS DEPARTMENT

10.TRANS. 3 MAP - DRAINAGE 1 RECOMMND

The land divider shall protect downstream properties from damages caused by alteration of the drainage patterns, i.e., concentration or diversion of flow. Protection shall be provided by constructing adequate drainage facilities including enlarging existing facilities and/or by securing a drainage easement. All drainage easements shall be shown

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10.TRANS. 3 MAP - DRAINAGE 1 (cont.) RECOMMND

on the final map and noted as follows: "Drainage Easement - no building, obstructions, or encroachments by landfills are allowed". The protection shall be as approved by the Transportation Department.

10.TRANS. 4 MAP - DRAINAGE 2 RECOMMND

The land divider shall accept and properly dispose of all off-site drainage flowing onto or through the site. In the event the Transportation Department permits the use of streets for drainage purposes, the provisions of Article XI of Ordinance No. 460 will apply. Should the quantities exceed the street capacity or the use of streets be prohibited for drainage purposes, the subdivider shall provide adequate drainage facilities and/or appropriate easements as approved by the Transportation Department.

10.TRANS. 8 MAP - STD INTRO 3(ORD 460/461) RECOMMND

With respect to the conditions of approval for the referenced tentative exhibit, the land divider shall provide all street improvements, street improvement plans and/or road dedications set forth herein in accordance with Ordinance 460 and Riverside County Road Improvement Standards (Ordinance 461). It is understood that the tentative map correctly shows acceptable centerline elevations, all existing easements, traveled ways, and drainage courses with appropriate Q's, and that their omission or unacceptability may require the map to be resubmitted for further consideration. These Ordinances and all conditions of approval are essential parts and a requirement occurring in ONE is as binding as though occurring in all. All questions regarding the true meaning of the conditions shall be referred to the Transportation Department.

10.TRANS. 10 MAP - OFF-SITE PHASE RECOMMND

Should the applicant choose to phase any portion of this project, said applicant shall provide off-site access roads to County maintained roads as approved by the Transportation Department.

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10. GENERAL CONDITIONS

10.TRANS. 11 MAP - COUNTY WEB SITE

RECOMMND

Additional information, standards, ordinances, policies, and design guidelines can be obtained from the Transportation Department Web site:
<http://rctlma.org/trans/>. If you have questions, please call the Plan Check Section at (951) 955-6527.

20. PRIOR TO A CERTAIN DATE

PLANNING DEPARTMENT

20.PLANNING. 2 MAP - EXPIRATION DATE

RECOMMND

The conditionally approved TENTATIVE MAP shall expire three (3) years after the County of Riverside Board of Supervisors original approval date, unless extended as provided by County Ordinance No. 460. Action on a minor change and/or revised map request shall not extend the time limits of the originally approved TENTATIVE MAP. A Land Management System (LMS) hold shall be placed on the TENTATIVE MAP, and a LMS hold shall be placed on any subsequent minor change or revised map, which shall be set to take effect on the expiration date. The LMS hold effective date shall be extended in accordance with any permitted extensions of time. The LMS hold shall be downgraded to a LMS notice upon recordation of the the first phase of the TENTATIVE MAP. The LMS hold or notice shall remain in effect until the recordation of the final phase of the TENTATIVE MAP. If the TENTATIVE MAP expires before the recordation of the final phase, the LMS hold or notice shall remain in effect and no further FINAL MAP recordation shall be permitted.

50. PRIOR TO MAP RECORDATION

FIRE DEPARTMENT

50.FIRE. 1 MAP-#46-WATER PLANS

RECOMMND

The applicant or developer shall furnish one copy of the water system plans to the Fire Department for review. Plans shall be signed by a registered civil engineer, containing a Fire Department approval signature block, and shall conform to hydrant type, location, spacing and minimum fire flow. Once plans are signed by the local water company, the originals shall be presented to the Fire Department for signature.

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50. PRIOR TO MAP RECORDATION

50.FIRE. 2 MAP-#53-ECS-WTR PRIOR/COMBUS RECOMMND

Ecs map must be stamped by the Riverside County Surveyor with the following note: The required water system, including fire hydrants, shall be installed and accepted by the appropriate water agency prior to any combustible building material placed on an individual lot.

FLOOD RI DEPARTMENT

50.FLOOD RI. 2 MAP SUBMIT PLANS RECOMMND

A copy of the improvement plans, grading plans, final map, environmental constraint sheet, BMP improvement plans, and any other necessary documentation along with supporting hydrologic and hydraulic calculations shall be submitted to the District for review. All submittals shall be date stamped by the engineer and include a completed Flood Control Deposit Based Fee Worksheet and the appropriate plan check fee deposit.

50.FLOOD RI. 9 MAP SUBMIT FINAL WQMP RECOMMND

A copy of the project specific WQMP shall be submitted to the District for review and approval.

PLANNING DEPARTMENT

50.PLANNING. 1 MAP - PREPARE A FINAL MAP RECOMMND

After the approval of the TENTATIVE MAP and prior to the expiration of said map, the land divider shall cause the real property included within the TENTATIVE MAP, or any part thereof, to be surveyed and a FINAL MAP thereof prepared in accordance with the current County Transportation Department - Survey Division requirements, the conditionally approved TENTATIVE MAP, and in accordance with Article IX of County Ordinance No. 460.

50.PLANNING. 9 MAP - FINAL MAP PREPARER RECOMMND

The FINAL MAP shall be prepared by a licensed land surveyor or registered civil engineer.

50.PLANNING. 17 MAP - SURVEYOR CHECK RECOMMND

The County Transportation Department - Survey Division shall review any FINAL MAP and ensure compliance with the

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50. PRIOR TO MAP RECORDATION

50. PLANNING. 17 MAP - SURVEYOR CHECK (cont.)

RECOMMND

following:

A. All lots on the FINAL MAP shall be in substantial conformance with the approved TENTATIVE MAP relative to size and configuration.

B. All lots on the FINAL MAP shall comply with the length to width ratios, as established by Section 3.8.C. of County Ordinance No. 460.

C. The total number of industrial lots on the final map shall be 8, with 0 open space, recreation/utility lots.

50. PLANNING. 18 MAP - FEE BALANCE

RECOMMND

Prior to recordation, the Planning Department shall determine if the deposit based fees for the TENTATIVE MAP are in a negative balance. If so, any unpaid fees shall be paid by the land divider and/or the land divider's successor-in-interest.

50. PLANNING. 19 MAP - CC&R RECIPROCAL EASEMNT

RECOMMND

The land divider shall (a) notify the Planning Department that the following documents shall be shortly, or have been, submitted to the Office of the County Counsel for review; and (b) the land divider shall submit copies of the following documents to the Planning Department for concurrent review along with any condition review fee; and (c) the documents to be submitted by the land divider to the Office of the County Counsel shall include all of the following:

1. A cover letter identifying the project for which approval is sought referencing the Planning Department case number;

2. A copy AND an original wet signed, notarized grant of reciprocal easement document, which includes, but is not necessarily limited to, both a legal description of the boundaries of the reciprocal easement and a scaled map or diagram of such boundaries, both signed and stamped by a California registered civil engineer or licensed land surveyor;

3. A sample document conveying title to the purchaser

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50. PRIOR TO MAP RECORDATION

50. PLANNING. 19

MAP - CC&R RECIPROCAL EASEMENT (cont.)

RECOMMND

of an individual lot or unit which provides that the grant of reciprocal easement is incorporated therein by reference; and

4. A deposit equaling three (3) hours at the current hourly rate for the Review of Covenants, Conditions and Restrictions as established pursuant to Ordinance No. 671 at the time the above documents are submitted for review by the Office of the County Counsel.

The grant of reciprocal easement document submitted for review shall (a) provide for no limit to the term of years or life of the reciprocal easement, (b) provide reciprocal easements for ingress and egress between parcels 4, 6, 7 and 8 shown on the TENTATIVE MAP, and (c) contain the following provisions verbatim:

"Notwithstanding any provision in this Grant of Reciprocal Easement to the contrary, the following provision shall apply:

This Grant of Reciprocal Easement shall not be terminated, 'substantially' amended, or property deannexed therefrom absent the prior written consent of the Planning Director of the County of Riverside, or the County's successor-in-interest. A proposed amendment shall be considered 'substantial' if it affects the extent, usage or maintenance of the reciprocal easement established pursuant to the Grant of Reciprocal Easement."

Once approved by the Office of the County Counsel, the copy and the original grant of reciprocal easement document shall be forwarded to the Planning Department. The Planning Department shall keep the copy for the case file and forward the original document to the Transportation Department-Survey Division-for safe keeping until the final map is ready to record. The Transportation Department-Survey Division-shall record the original grant of reciprocal easement document in conjunction with the recordation of the final map.

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50. PRIOR TO MAP RECORDATION

TRANS DEPARTMENT

50.TRANS. 1 MAP - GEOMETRICS RECOMMND

The intersection of Rubidoux Boulevard (NS) at Project Driveway Access (EW) shall be improved to provide the following geometrics:

Northbound: one through lane and one shared through/right turn lane

Southbound: one through lane and one shared through/right turn lane

Eastbound: one shared left/through/right turn lane

Westbound: one shared left/through/right turn lane

NOTE: The project proponent shall install appropriate channelization and signage at the project driveway on Rubidoux Blvd. to facilitate right-in/right-out access only. Left turn access is prohibited at this driveway.

50.TRANS. 2 MAP - IMP PLANS RECOMMND

Improvement plans for the required improvements must be prepared and shall be based upon a design profile extending a minimum of 300 feet beyond the limit of construction at a grade and alignment as approved by the Riverside County Transportation Department. Completion of road improvements does not imply acceptance for maintenance by County.

NOTE: Before you prepare the street improvement plan(s), please review the Street Improvement Plan Policies and Guidelines from the Transportation Department Web site: http://www.rctlma.org/trans/land_dev_plan_check_guidelines.html.

50.TRANS. 3 MAP - SOILS 2 RECOMMND

The developer/owner shall submit a preliminary soils and pavement investigation report addressing the construction requirements within the road right-of-way.

50.TRANS. 7 MAP - EASEMENT/SUR RECOMMND

Any easement not owned by a public utility, public entity or subsidiary, not relocated or eliminated prior to final map approval, shall be delineated on the final map in addition to having the name of the easement holder, and the nature of their interests, shown on the map.

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50. PRIOR TO MAP RECORDATION

50.TRANS. 11 MAP - ST DESIGN/IMPRV CONCEPT RECOMMND

The street design and improvement concept of this project shall be coordinated with PP22636 and with EDA Project Coordinator Cathy Wampler at (951) 955-6803.

50.TRANS. 12 MAP - STRIPING PLAN RECOMMND

A signing and striping plan is required for this project. The applicant shall be responsible for any additional paving and/or striping removal caused by the striping plan. Traffic signing and striping shall be performed by County forces with all incurred costs borne by the applicant, unless otherwise approved by the County Traffic Engineer.

50.TRANS. 13 MAP - STREET NAME SIGN RECOMMND

The land divider shall install street name sign(s) in accordance with County Standard No. 816 as directed by the Transportation Department.

50.TRANS. 15 MAP - INTERSECTION/50' TANGENT RECOMMND

All enterline intersections shall be at 90 degrees, plus or minus 5 degrees, with a minimum 50' tangent, measured from flowline/curbface or as approved by the Transportation Planning and Development Review Division Engineer.

50.TRANS. 16 MAP - STREET LIGHT PLAN RECOMMND

A separate street light plan is required for this project. Street lighting shall be designed in accordance with County Ordinance 460 and Street Light Specification Chart found in Specification Section 22 of Ordinance 461. For projects within SCE boundaries use County of Riverside Ordinance 461, Standard No's 1000 or 1001.

50.TRANS. 17 MAP - MAP.CORNER CUT-BACK I RECOMMND

All corner cutbacks shall be applied per Standard 805, Ordinance 461, except for corners at Entry streets intersecting with General Plan roads, they shall be applied per Exhibit 'C' of the Countywide Design Guidelines.

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50. PRIOR TO MAP RECORDATION

50.TRANS. 18 MAP - STREET LIGHTS-L&LMD

RECOMMND

The project proponent shall contact the Transportation Department L&LMD 89-1-C Administrator and submit the following:

1. Completed Transportation Department application
2. Appropriate fees for annexation.
3. (2)Sets of street lighting plans approved by Transportation Department.
4. "Streetlight Authorization" form from SCE, IID or other electric provider.

50.TRANS. 20 MAP - STREET SWEEPING

RECOMMND

The project proponent shall contact the County Service Area (CSA) Project Manager to file an application for annexation or inclusion into CSA for street sweeping; or enter into a similar mechanism as approved by the Transportation Department.

50.TRANS. 23 MAP - UTILITY PLAN

RECOMMND

Electrical power, telephone, communication, street lighting, and cable television lines shall be designed to be placed underground in accordance with ordinance 460 and 461, or as approved by the Transportation Department. The applicant is responsible for coordinating the work with the serving utility company. This also applies to existing overhead lines which are 33.6 kilovolts or below along the project frontage and between the nearest poles offsite in each direction of the project site. A disposition note describing the above shall be reflected on design improvement plans whenever those plans are required. A written proof for initiating the design and/or application of the relocation issued by the utility company shall be submitted to the Transportation Department for verification purposes.

50.TRANS. 24 MAP - EXISTING MAINTAINED

RECOMMND

Rubidoux Boulevard along project boundary is a paved County maintained road and designated as a Major Highway and shall be improved with 38' AC pavement, 8" concrete curb and gutter, located 38 feet from centerline, and match up

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50. PRIOR TO MAP RECORDATION

50.TRANS. 24 MAP - EXISTING MAINTAINED (cont.)

RECOMMND

asphalt concrete paving; reconstruction; or resurfacing of existing paving as determined by the Transportation Department within the 59 foot half-width dedicated right-of-way in accordance with County Standard No. 93. (38'/59')

NOTE 1: A 5' meandering sidewalk shall be constructed within the 21' parkway per Standard 404.

NOTE 2: Driveways shall be constructed per Standard No. 207A.

50.TRANS. 25 MAP - PART-WIDTH

RECOMMND

26th Street along project boundary is a paved County maintained road and designated as Industrial Collector road and shall be improved with 46' part-width AC pavement, (28' on the project side and 18' on opposite side), 6" concrete curb and gutter and 6' sidewalk adjacent to the curb line within a 72' full-width dedicated right-of-way (39' on project side and 33' on opposite side) in accordance with County Standard No. 111.

NOTE: A 6' sidewalk shall be constructed adjacent to the curb line within the 11' parkway.

60. PRIOR TO GRADING PRMT ISSUANCE

BS GRADE DEPARTMENT

60.BS GRADE. 1 MAP-G2.4GEOTECH/SOILS RPTS

RECOMMND

Geotechnical soils reports, required in order to obtain a grading permit, shall be submitted to the Building and Safety Department's Grading Division for review and approval prior to issuance of a grading permit.

All grading shall be in conformance with the recommendations of the geotechnical/soils reports as approved by Riverside County.*

*The geotechnical/soils, compaction and inspection reports will be reviewed in accordance with the RIVERSIDE COUNTY GEOTECHNICAL GUIDELINES FOR REVIEW OF GEOTECHNICAL AND GEOLOGIC REPORTS.

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60. PRIOR TO GRADING PRMT ISSUANCE

60.BS GRADE. 2 MAP-G2.7DRNAGE DESIGN Q100

RECOMMND

All grading and drainage shall be designed in accordance with Riverside County Flood Control & Water Conservation District's conditions of approval regarding this application. If not specifically addressed in their conditions, drainage shall be designed to accommodate 100 year storm flows.

Additionally, the Building and Safety Department's conditional approval of this application includes an expectation that the conceptual grading plan reviewed and approved for it complies or can comply with any WQMP (Water Quality Management Plan) required by Riverside County Flood Control and Water Conservation District.

60.BS GRADE. 3 MAP-G2.14OFFSITE GDG ONUS

RECOMMND

Prior to the issuance of a grading permit, it shall be the sole responsibility of the owner/applicant to obtain any and all proposed or required easements and/or permissions necessary to perform the grading herein proposed.

60.BS GRADE. 4 MAP-G1.4 NPDES/SWPPP

RECOMMND

Prior to issuance of any grading or construction permits - whichever comes first - the applicant shall provide the Building and Safety Department evidence of compliance with the following: "Effective March 10, 2003 owner operators of grading or construction projects are required to comply with the N.P.D.E.S. (National Pollutant Discharge Elimination System) requirement to obtain a construction permit from the State Water Resource Control Board (SWRCB). The permit requirement applies to grading and construction sites of "ONE" acre or larger. The owner operator can comply by submitting a "Notice of Intent" (NOI), develop and implement a STORM WATER POLLUTION PREVENTION PLAN (SWPPP) and a monitoring program and reporting plan for the construction site. For additional information and to obtain a copy of the NPDES State Construction Permit contact the SWRCB at (916) 657-1146.

Additionally, at the time the county adopts, as part of any ordinance, regulations specific to the N.P.D.E.S., this project (or subdivision) shall comply with them.

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60. PRIOR TO GRADING PRMT ISSUANCE

60.BS GRADE. 5 MAP IMPORT/EXPORT

RECOMMND

In instances where a grading plan involves import or export, prior to obtaining a grading permit, the applicant shall have obtained approval for the import/export location from the Building and Safety department. If an Environmental Assessment, prior to issuing a grading permit, did not previously approve either location, a Grading Environmental Assessment shall be submitted to the Planning Director and the Environmental Programs Director for review and comment and to the Building and Safety Department Director for approval. Additionally, if the movement of import/export occurs using county roads, review and approval of the haul routes by the Transportation Department will be required.

FLOOD RI DEPARTMENT

60.FLOOD RI. 2 MAP SUBMIT PLANS

RECOMMND

A copy of the improvement plans, grading plans, BMP improvement plans and any other necessary documentation along with supporting hydrologic and hydraulic calculations shall be submitted to the District for review. The plans must receive District approval prior to the issuance of grading permits. All submittals shall be date stamped by the engineer and include a completed Flood Control Deposit Based Fee Worksheet and the appropriate plan check fee deposit.

60.FLOOD RI. 3 MAP EROS CNTRL AFTER RGH GRAD

RECOMMND

Temporary erosion control measures shall be implemented immediately following rough grading to prevent deposition of debris onto downstream properties or drainage facilities. Plans showing these measures shall be submitted to the District for review.

60.FLOOD RI. 8 MAP SUBMIT FINAL WQMP

RECOMMND

A copy of the project specific WQMP shall be submitted to the District for review and approval.

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60. PRIOR TO GRADING PRMT ISSUANCE

PLANNING DEPARTMENT

60.PLANNING. 1 MAP - PLANNING DEPT REVIEW

RECOMMND

As part of the plan check review of the proposed grading plan for the subject property, the Department of Building and Safety - Grading Division shall submit a copy of the proposed grading plan, along with the applicable Log/Permit Numbers for reference, to the County Planning Department to be reviewed for compliance with the approved tentative map.

60.PLANNING. 2 MAP - GRADING PLAN REVIEW

RECOMMND

The land divider/permit holder shall cause a plan check application for a grading plan to be submitted to the county T.L.M.A - Land Use Division for review by the County Department of Building and Safety - Grading Division. Said grading plan shall be in conformance with the approved tentative map, in compliance with County Ordinance No. 457, and the conditions of approval for the tentative map.

60.PLANNING. 3 MAP - FEE BALANCE

RECOMMND

Prior to issuance of grading permits, the Planning Department shall determine if the deposit based fees are in a negative balance. If so, any outstanding fees shall be paid by the applicant/developer.

60.PLANNING. 4 MAP - COA MET ONCE

RECOMMND

Prior to issuance of any grading or construction permits - whichever comes first - conditions of approval for Parcel Map No. 35267 shall only be met once and not to be met again with Plot Plan No. 22636 and visa versa, if repeated conditions of approval occur.

80. PRIOR TO BLDG PRMT ISSUANCE

BS GRADE DEPARTMENT

80.BS GRADE. 1 MAP-G3.1NO B/PMT W/O G/PMT

RECOMMND

Prior to issuance of any building permit, the property owner shall obtain a grading permit and/or approval to construct from the Grading Divisin of the Building and Safety Department.

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80. PRIOR TO BLDG PRMT ISSUANCE

E HEALTH DEPARTMENT

80.E HEALTH. 1 USE - WATER WILL SERVE RECOMMND

A "Will-Serve" letter is required from the appropriate water agency.

80.E HEALTH. 2 USE - FOOD PLANS REQD RECOMMND

A total of 3 complete set of plans for each food establishment are needed including a fixture schedule, a finish schedule, and a plumbing schedule in order to ensure compliance with current State and Local regulations.

80.E HEALTH. 3 USE - LEA CLEARANCE RECOMMND

Clearance from the Environmental Resources Management Division LEA

FLOOD RI DEPARTMENT

80.FLOOD RI. 1 MAP CONSTRUCT CURB & GUTTER RECOMMND

the developer shall improve the 26th Street with curb and gutter on the south side to get credit for an adequate outlet.

80.FLOOD RI. 2 MAP SUBMIT PLANS RECOMMND

A copy of the improvement plans, grading plans, BMP improvement plans and any other necessary documentation along with supporting hydrologic and hydraulic calculations shall be submitted to the District for review. The plans must receive District approval prior to the issuance of building permits. All submittals shall be date stamped by the engineer and include a completed Flood Control Deposit Based Fee Worksheet and the appropriate plan check fee deposit.

80.FLOOD RI. 4 MAP SUBMIT FINAL WQMP RECOMMND

A copy of the project specific WQMP shall be submitted to the District for review and approval.

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80. PRIOR TO BLDG PRMT ISSUANCE

PLANNING DEPARTMENT

80.PLANNING. 1 MAP - NO BUILDING PERMITS

RECOMMND

No building permits shall be attached to this Parcel Map. All building permits should be attached to Plot Plan No. 22636.

90. PRIOR TO BLDG FINAL INSPECTION

E HEALTH DEPARTMENT

90.E HEALTH. 1 USE - HAZMAT BUS PLAN

RECOMMND

The facility will require a business emergency plan for the storage of hazardous materials greater than 55 gallons, 200 cubic feet or 500 pounds, or any acutely hazardous materials or extremely hazardous substances.

90.E HEALTH. 2 USE - HAZMAT REVIEW

RECOMMND

If further review of the site indicates additional environmental health issues, the Hazardous Materials Management Division reserves the right to regulate the business in accordance with applicable County Ordinances.

90.E HEALTH. 3 USE - HAZMAT CONTACT

RECOMMND

Contact the Hazardous Materials Management Division, at (951) 273-9143 for any additional requirements.

FLOOD RI DEPARTMENT

90.FLOOD RI. 2 MAP BMP - EDUCATION

RECOMMND

The developer shall distribute environmental awareness education materials on general good housekeeping practices that contribute to protection of stormwater quality to all initial residents. The developer may obtain NPDES Public Educational Program materials from the District's NPDES Section by either the District's website www.floodcontrol.co.riverside.ca.us, e-mail fcnpdes@co.riverside.ca.us, or the toll free number 1-800-506-2555. Please provide Project number, number of units and location of development. Note that there is a five-day minimum processing period requested for all orders.

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90. PRIOR TO BLDG FINAL INSPECTION

90.FLOOD RI. 2 MAP BMP - EDUCATION (cont.)

RECOMMND

The developer must provide to the District's PLAN CHECK Department a notarized affidavit stating that the distribution of educational materials to the tenants is assured prior to the issuance of occupancy permits.

90.FLOOD RI. 3 MAP IMPLEMENT WQMP

RECOMMND

All structural BMPs described in the project-specific WQMP shall be constructed and installed in conformance with approved plans and specifications. It shall be demonstrated that the applicant is prepared to implement all non-structural BMPs described in the approved project specific WQMP and that copies of the approved project-specific WQMP are available for the future owners/occupants. The District will not release occupancy permits for any portion of the project exceeding 80% of the total recorded residential lots within the map or phase within the map prior to the completion of these tasks.

90.FLOOD RI. 4 MAP FACILITY COMPLETION

RECOMMND

The District will not release occupancy permits for any residential lot within the map or phase within the map prior to the District's acceptance of the drainage system for operation and maintenance.

TRANS DEPARTMENT

90.TRANS. 1 MAP - WRCOG TUMF

RECOMMND

Prior to the issuance of an occupancy permit, the project proponent shall pay the Transportation Uniform Mitigation Fee (TUMF) in accordance with the fee schedule in effect at the time of issuance, pursuant to Ordinance No. 824.

90.TRANS. 2 MAP - STREET SWEEPING

RECOMMND

Street sweeping annexation or inclusion into CSA or similar mechanism as approved by the Transportation Department shall be completed.

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90. PRIOR TO BLDG FINAL INSPECTION

90.TRANS. 3 MAP STREETLIGHT AUTHORIZATION RECOMMND

Prior to OCCUPANCY, the project proponent shall submit to Transportation Department Permits the following:

1. "Streetlight Authorization" form approved by L&LMD No. 89-1 Administrator
- 2 Letter establishing interim energy account from SCE, IID or other electric provider.

90.TRANS. 4 MAP - E STREET LIGHTS INSTALL RECOMMND

Install streetlights along the streets associated with development in accordance with the approved street lighting plan and standards of County Ordinance 460 and 461. For projects within Imperial Irrigation District (IID) use (IID's) pole standard.

Street light annexation into L&LMD or similar mechanism as approved by the Transportation Department shall be completed.

It shall be the responsibility of the Developer to ensure that streetlights are energized along the streets associated with this development where the Developer is seeking Building Final Inspection (Occupancy).

90.TRANS. 5 MAP - UTILITY INSTALL RECOMMND

Electrical power, telephone, communication, street lighting, and cable television lines shall be placed underground in accordance with ordinance 460 and 461, or as approved by the Transportation Department. This also applies to existing overhead lines which are 33.6 kilovolts or below along the project frontage and between the nearest poles offsite in each direction of the project site.

A certificate should be obtained from the pertinent utility company and submitted to the Department of Transportation as proof of completion.