

MINUTES OF THE BOARD OF SUPERVISORS
COUNTY OF RIVERSIDE, STATE OF CALIFORNIA



16.3

1:30 p.m. being the time set for public hearing on the recommendation from TLMA-Planning Department regarding a Public Hearing on Public Use Permit No. 907 (Fast Track No. 2009-07) – Santa Rosa Academy – Brad Burke Architect – Winchester Zoning District – Sun City/Menifee Valley Area Plan. Recommendation for Adoption of a Mitigated Negative Declaration for Environmental Assessment No. 42398; and Approval of Public Use Permit No. 907, a 109,125 square foot public charter school, Santa Rosa Academy, consisting of multiple buildings for up to 1,500 students for grades K-12 with 237 parking spaces on a 25 gross acre site to be constructed in two (2) phases). Phase I will include the construction of approximately of 67,065 square feet of building area consisting of 55 classrooms, administrative offices, a library / technology center, a student pavilion, a security office and 237 parking spaces. Phase II will include the construction of approximately 42,060 square feet of building area consisting of a theater, a gymnasium, and baseball and soccer fields, 3rd District. The public hearing is closed to the receipt of further oral testimony.

David Mares, Principle Planner, presented the matter.

On motion of Supervisor Stone, seconded by Supervisor Buster and duly carried, IT WAS ORDERED that the above matter is continued off calendar.

Roll Call:

Ayes: Buster, Stone, Benoit and Ashley
Nays: None
Absent: Tavaglione

I hereby certify that the foregoing is a full true, and correct copy of an order made and entered on April 26, 2011 of Supervisors Minutes.

(seal) WITNESS my hand and the seal of the Board of Supervisors
Dated: April 26, 2011
Kecia Harper-Ihem, Clerk of the Board of Supervisors, in
and for the County of Riverside, State of California.

By: [Signature] Deputy

AGENDA NO.
16.3

xc: Planning, COB

SUBMITTAL TO THE BOARD OF SUPERVISORS
COUNTY OF RIVERSIDE, STATE OF CALIFORNIA

1113



FROM: TLMA - Planning Department

SUBMITTAL DATE:
March 16, 2011

REVIEWED BY EXECUTIVE OFFICE

DATE 3/27/11 mm
Tina Grande

Departmental Concurrence

SUBJECT: PUBLIC USE PERMIT NO. 907 (FAST TRACK NO. 2010-07) – EA42398 – Applicant: Santa Rosa Academy – Engineer/Representative: Brad Burke Architect – Third Supervisorial District – Winchester Zoning District – Sun City / Menifee Valley Area Plan: Rural Community: Estate Density Residential (RC: EDR) (2 Acre Minimum) – Location: northerly of Wickerd Road, easterly of El Centro Lane and westerly of La Ventana Lane – 25.0 Gross Acres – Zoning: Residential Agricultural - 5 Acre Minimum (R-A-5) – **REQUEST:** The Public Use Permit proposes a 109,125 square foot public charter school, Santa Rosa Academy, consisting of multiple buildings for up to 1,500 students for grades K-12 with 237 parking spaces on a 25 gross acre site to be constructed in two (2) phases. Phase I will include the construction of approximately 67,065 square feet of building area consisting of 55 classrooms, administrative offices, a library / technology center, a student pavilion, a security office and 237 parking spaces. Phase II will include the construction of approximately 42,060 square feet of building area consisting of a theater, a gymnasium, and baseball and soccer fields. – APN(s): 466-210-031 and 466-210-032.

RECOMMENDED MOTION:

ADOPTION of a **MITIGATED NEGATIVE DECLARATION** for **ENVIRONMENTAL ASSESSMENT NO. 42398**, based on the findings incorporated in the initial study, and the conclusion that the project will not have a significant effect on the environment; and,

APPROVAL of **PUBLIC USE PERMIT NO. 907**, subject to the attached Conditions of Approval, and based upon the findings and conclusions incorporated in the staff report.



Greg Neal, Deputy Director for
Carolyn Syms Luna
Planning Director

Initials:
CSL:vc

Policy
 Policy

Consent
 Consent

Dep't Recomm.:
Per Exec. Ofc.:

Prev. Agn. Ref.

District: Third

Agenda Number:

16.3

MINUTES OF THE BOARD OF SUPERVISORS
COUNTY OF RIVERSIDE, STATE OF CALIFORNIA



16.1

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David Mares, Principle Planner, presented the matter.

The following people spoke on the matter in support:

Laura Badillo
Ray Gayk
Dawn Gayk
Daniel Temple
Carolyn Hyde
Taylor Thomas
Tracy Thomas
Trent Hower
Joe Lashley
Chris Thomas

Cont'd. to 2nd page.

I hereby certify that the foregoing is a full true, and correct copy of an order made and entered on April 12, 2011 of Supervisors Minutes.

WITNESS my hand and the seal of the Board of Supervisors
Dated: April 12, 2011
Kecia Harper-Ihem, Clerk of the Board of Supervisors, in
and for the County of Riverside, State of California.

(seal)

By:  Deputy

AGENDA NO.
16.1

xc: Planning, CQB

MINUTES OF THE BOARD OF SUPERVISORS
COUNTY OF RIVERSIDE, STATE OF CALIFORNIA



The following people spoke on the matter in opposition:

Georgia Denny
Philip Shane
John Edwards
Michelle Edwards
Vicki Romberger
Grant Becklund
Brian E. Baker
Marsha Berklund
Marc Miller
Mona Shane


The chairman closed the public hearing.

On motion of Supervisor Stone, seconded by Supervisor Tavaglione and duly carried by unanimous vote, IT WAS ORDERED that the above matter is continued to Tuesday, April 26, 2011 at 1:30 p.m.

I hereby certify that the foregoing is a full true, and correct copy of an order made and entered on April 12, 2011 of Supervisors Minutes.

(seal)

WITNESS my hand and the seal of the Board of Supervisors
Dated: April 12, 2011
Kecia Harper-Ihem, Clerk of the Board of Supervisors, in
and for the County of Riverside, State of California.

By:  Deputy

AGENDA NO.
16.1

xc: Planning, COB



RIVERSIDE COUNTY PLANNING DEPARTMENT

Carolyn Syms Luna
Director

1113

DATE: March 16, 2011

TO: Clerk of the Board of Supervisors

FROM: Planning Department - Riverside Office

SUBJECT: PUBLIC USE PERMIT NO. 907 (FAST TRACK NO. 2010-07)
(Charge your time to these case numbers)

The attached item(s) require the following action(s) by the Board of Supervisors:

- | | |
|---|--|
| <input type="checkbox"/> Place on Administrative Action (Receive & File; EOT) | <input checked="" type="checkbox"/> Set for Hearing (Legislative Action Required; CZ, GPA, SP, SPA) |
| <input type="checkbox"/> Labels provided If Set For Hearing | <input checked="" type="checkbox"/> Publish in Newspaper: |
| <input type="checkbox"/> 10 Day <input type="checkbox"/> 20 Day <input type="checkbox"/> 30 day | (3rd Dist) Press Enterprise and The Californian |
| <input type="checkbox"/> Place on Consent Calendar | <input checked="" type="checkbox"/> Mitigated Negative Declaration |
| <input type="checkbox"/> Place on Policy Calendar (Resolutions; Ordinances; PNC) | <input type="checkbox"/> 10 Day <input checked="" type="checkbox"/> 20 Day <input type="checkbox"/> 30 day |
| <input type="checkbox"/> Place on Section Initiation Proceeding (GPIP) | <input checked="" type="checkbox"/> Notify Property Owners (app/agencies/property owner labels provided) |
| | Controversial: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO |

Designate Newspaper used by Planning Department for Notice of Hearing:
(3rd Dist) Press Enterprise and The Californian

Need Director's signature by 3/17/11

This item is pre-scheduled for April 12, 2011 BOS Agenda

Documents to be sent to County Clerk's Office for Posting within five days:

Notice of Determination and Mit Neg Dec Forms
Fish & Game Receipt (CFG5761)

Riverside Office · 4080 Lemon Street, 12th Floor
P.O. Box 1409, Riverside, California 92502-1409
(951) 955-3200 · Fax (951) 955-1811

Desert Office · 38686 El Cerrito Road
Palm Desert, California 92211
(760) 863-8277 · Fax (760) 863-7555

"Planning Our Future... Preserving Our Past"

Agenda Item No.:
Area Plan: Sun City / Menifee Valley
Zoning District: Winchester
Supervisory District: Third
Project Planner: Christian Hinojosa
Board of Supervisors: April 12, 2011

PUBLIC USE PERMIT NO. 907
(Fast Track No. 2010-07)
Environmental Assessment No. 42398
Applicant: Santa Rosa Academy
Engineer/Representative: Brad Burke
Architect

COUNTY OF RIVERSIDE PLANNING DEPARTMENT STAFF REPORT

PROJECT DESCRIPTION AND LOCATION:

The Public Use Permit (Fast Track No. 2010-07) proposes a 109,125 square foot public charter school, Santa Rosa Academy, consisting of multiple buildings for up to 1,500 students for grades K-12 with 237 parking spaces on a 25 gross acre site to be constructed in two (2) phases. Phase I will include the construction of approximately 67,065 square feet of building area consisting of 55 classrooms, administrative offices, a library / technology center, a student pavilion, a security office and 237 parking spaces. Phase II will include the construction of approximately 42,060 square feet of building area consisting of a theater, a gymnasium, and baseball and soccer fields.

The project site is located northerly of Wickerd Road, easterly of El Centro Lane and westerly of La Ventana Lane.

SUMMARY OF FINDINGS:

- | | |
|--|--|
| 1. Existing Land Use (Ex. #1): | Vacant land |
| 2. Surrounding Land Use (Ex. #1): | Vacant land to the north, south and east and single family residences to the west. |
| 3. Existing Zoning (Ex. #2): | Residential Agricultural - 5 Acre Minimum (R-A-5) |
| 4. Surrounding Zoning (Ex. #2): | Residential Agricultural - 5 Acre Minimum (R-A-5) to the north and east and Light Agriculture - 5 Acre Minimum (A-1-5) to the south and west. |
| 5. General Plan Land Use (Ex. #5): | Rural Community: Estate Density Residential (RC: EDR) (2 Acre Minimum) |
| 6. Surrounding General Plan Land Use (Ex. #5): | Rural Community: Estate Density Residential (RC: EDR) (2 Acre Minimum) to the north, east and west and Rural: Rural Residential (R: RR) (5 Acre Minimum) to the south. |
| 7. Project Data: | Total Acreage: 25 Gross
Total Proposed Building Area: 109,125 Square Feet
Total Proposed Construction Phases: 2
Total Proposed Parking Spaces: 237
Total Number of Students: 1,500 from K-12 |
| 8. Environmental Concerns: | See attached Environmental Assessment No. 42398 |

D.M.

RECOMMENDATIONS:

ADOPTION of a **MITIGATED NEGATIVE DECLARATION** for **ENVIRONMENTAL ASSESSMENT NO. 42398**, based on the findings incorporated in the initial study, and the conclusion that the project will not have a significant effect on the environment; and,

APPROVAL of **PUBLIC USE PERMIT NO. 907**, subject to the attached conditions of approval, and based upon the findings and conclusions incorporated in the staff report.

CONCLUSIONS:

1. The proposed project is in conformance with the Rural Community: Estate Density Residential (RC: EDR) (2 Acre Minimum) land use designation, and with all other elements of the Riverside County General Plan including the applicable Policy Areas.
2. The proposed project is consistent with the applicable policies of the Estate Density Residential & Rural Residential Policy Area and Highway 79 Policy Area.
3. The proposed project is consistent with the Residential Agricultural - 5 Acre Minimum (R-A-5) zoning classification of Ordinance No. 348, and with all other applicable provisions of Ordinance No. 348.
4. The public's health, safety and general welfare are protected through project design.
5. The proposed project is clearly compatible with the present and future logical development of the area.
6. The proposed project will not preclude reserve design for the Western Riverside County Multiple Species Habitat Conservation Plan (WRCMSHCP).
7. The proposed project will not have a significant effect on the environment.

FINDINGS: The following findings are in addition to those incorporated in the summary of findings, and in the attached environmental assessment, which is incorporated herein by reference.

1. The project site is designated Rural Community: Estate Density Residential (RC: EDR) (2 Acre Minimum), and is located within the Estate Density Residential & Rural Residential Policy Area and Highway 79 Policy Area, on the Sun City / Menifee Valley Area Plan.
2. The proposed use, educational institution, is in conformance with the Rural Community: Estate Density Residential (RC: EDR) (2 Acre Minimum) land use designation, and the applicable policies (SCMVAP 6.1) of the Estate Density Residential & Rural Residential Policy Area and (SCMVAP 5.1 and SCMVAP 5.2) Highway 79 Policy Area on the basis that the General Plan's Land Use Compatibility state: (LU 6.2) "Direct public, educational, religious, and utility uses established to serve the surrounding community toward those areas designated for Community Development and Rural Community uses on the applicable Area Plan land use maps. These uses may be found consistent with any of the Community Development, Rural Community, or Rural foundation designations, including the Rural Village Overlay, as well as the Open Space – Rural and Agriculture designations, under the following conditions: a. The facility is compatible in

scale and design with surrounding land uses, and does not generate excessive noise, traffic, light, fumes, or odors that might have a negative impact on adjacent neighborhoods. b. The location of the proposed use will not jeopardize public health, safety, and welfare, or the facility is necessary to ensure the continual public safety and welfare." The project is consistent with the future and logical development of the area, and the public's health, safety and general welfare are protected through project design. Therefore, the proposed use, educational institution, is consistent with policy LU 6.2.

3. The project site is surrounded by properties which are designated Rural Community: Estate Density Residential (RC: EDR) (2 Acre Minimum) to the north, east and west and Rural: Rural Residential (R: RR) (5 Acre Minimum) to the south.
4. The zoning for the subject site is Residential Agricultural - 5 Acre Minimum (R-A-5).
5. The proposed use, educational institution, is a permitted use in the Residential Agricultural - 5 Acre Minimum (R-A-5) zone according to the provisions in Section 18.29. Public Use Permits, subject to the approval of a public use permit.
6. The proposal, as designed, is consistent with the development standards set forth in the Residential Agricultural - 5 Acre Minimum (R-A-5) zone.
7. The project site is surrounded by properties which are zoned Residential Agricultural - 5 Acre Minimum (R-A-5) to the north and east and Light Agriculture - 5 Acre Minimum (A-1-5) to the south and west.
8. Within the vicinity of the proposed project there is vacant land to the north, south and east and single family residences to the west.
9. This project is not located within a Criteria Area of the Western Riverside County Multiple Species Habitat Conservation Plan (WRCMSHCP).
10. Environmental Assessment No. 42398 identified the following potentially significant impacts:
 - a. Biological Resources
 - b. Cultural Resources
 - c. Greenhouse Gas Emissions
 - d. Hydrology/Water Quality
 - e. Transportation/Traffic

These listed impacts will be fully mitigated by the measures indicated in the environmental assessment, conditions of approval, and attached letters. No other significant impacts were identified.

INFORMATIONAL ITEMS:

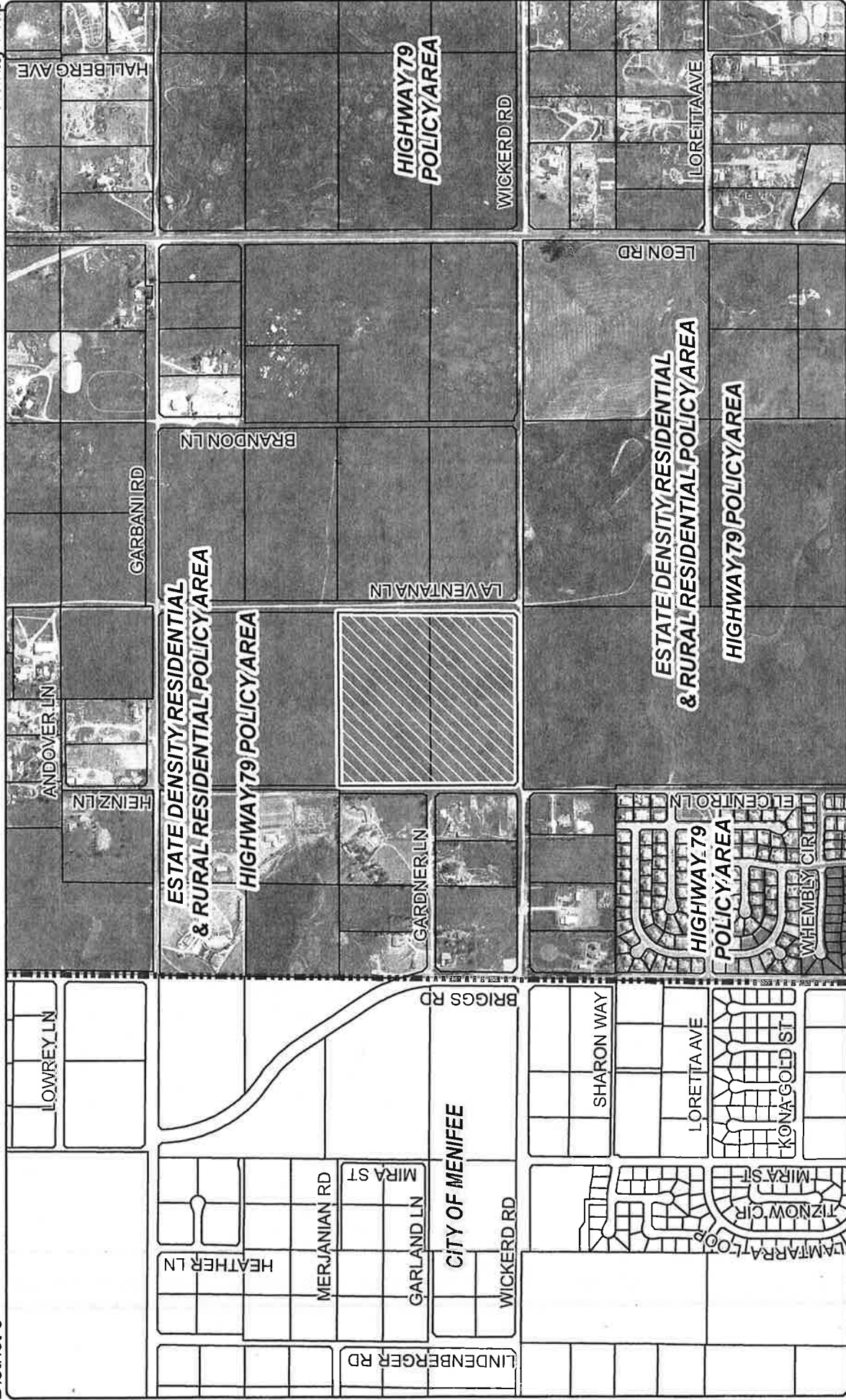
1. As of this writing, no letters, in support or opposition have been received.
2. The project site is not located within:
 - a. A City of Sphere of Influence;
 - b. A Airport Influence Area;

- c. An Agriculture Preserve;
 - d. A Redevelopment Area;
 - e. A WRMSHCP Criteria Cell;
 - f. A High Fire area;
 - g. A County Fault Zone;
 - h. A Flood Zone; or,
 - i. A Dam Inundation Area.
3. The project site is located within:
- a. An WRMSHCP Fee Area (Ordinance No. 810);
 - b. The Stephen's Kangaroo Rat Fee Area (Ordinance No. 663.10);
 - c. A Development Impact Fee Area (Ordinance No. 659);
 - d. The Mt. Palomar Lighting Ordinance No. 655 (Zone B);
 - e. The Eastern Municipal Water District;
 - f. The Lakeview/Nuevo/Romoland/Homeland Number146 County Service Area (Street Lighting Library);
 - g. A Circulation Element Right-Of-Way (Secondary 100' ROW);
 - h. A High Paleontological Potential (High B);
 - i. An Area Low Liquefaction Potential;
 - j. An Area Susceptible to Subsidence; and,
 - k. The boundaries of the Menifee Union & Perris Union High School District.
4. The subject site is currently designated as Assessor's Parcel Numbers 466-210-031 and 466-210-032.
5. This project was filed with the Planning Department on November 4, 2010.
6. This project was reviewed by the Land Development Committee 3 times on the following dates December 9, 2010, January 6, 2011 and February 17, 2011.
7. Deposit Based Fees charged for this project, as of the time of staff report preparation, total \$28,958.37.

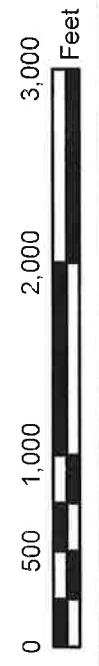
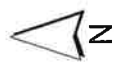
RIVERSIDE COUNTY PLANNING DEPARTMENT
PUP00907 FFA 2010-07
VICINITY/POLICY AREAS

Supervisor Stone
 District 3

Date Drawn: 2/23/11
 Vicinity Map



Assessors Bk. Pg. 466-21
 Thomas Bros. Pg. 869 A
 Edition 2009



Zoning Area: Winchester
 Township/Range: T7SR2W
 Section: 27

DISCLAIMER: On October 7, 2003, the County of Riverside adopted a new General Plan providing new land use designations for unincorporated Riverside County parcels. The new General Plan may contain different types of land use than is provided for under existing zoning. For further information, please contact the Riverside County Planning Department offices in Riverside at (951) 955-5200 (Western County), or in Indio at (760) 863-8277 (Eastern County) or website at <http://www.riverside.ca.gov/index.html>

RIVERSIDE COUNTY PLANNING DEPARTMENT
PUP00907 FTA 2010-07
LAND USE

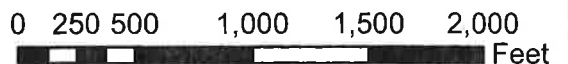
Supervisor Stone
 District 3

Date Drawn: 2/23/11
 Exhibit 1



Zoning Area: Winchester
 township/Range: T7SR2W
 Section: 27

Assessors Bk. Pg. 466-21
 Thomas Bros. Pg. 869 A
 Edition 2009



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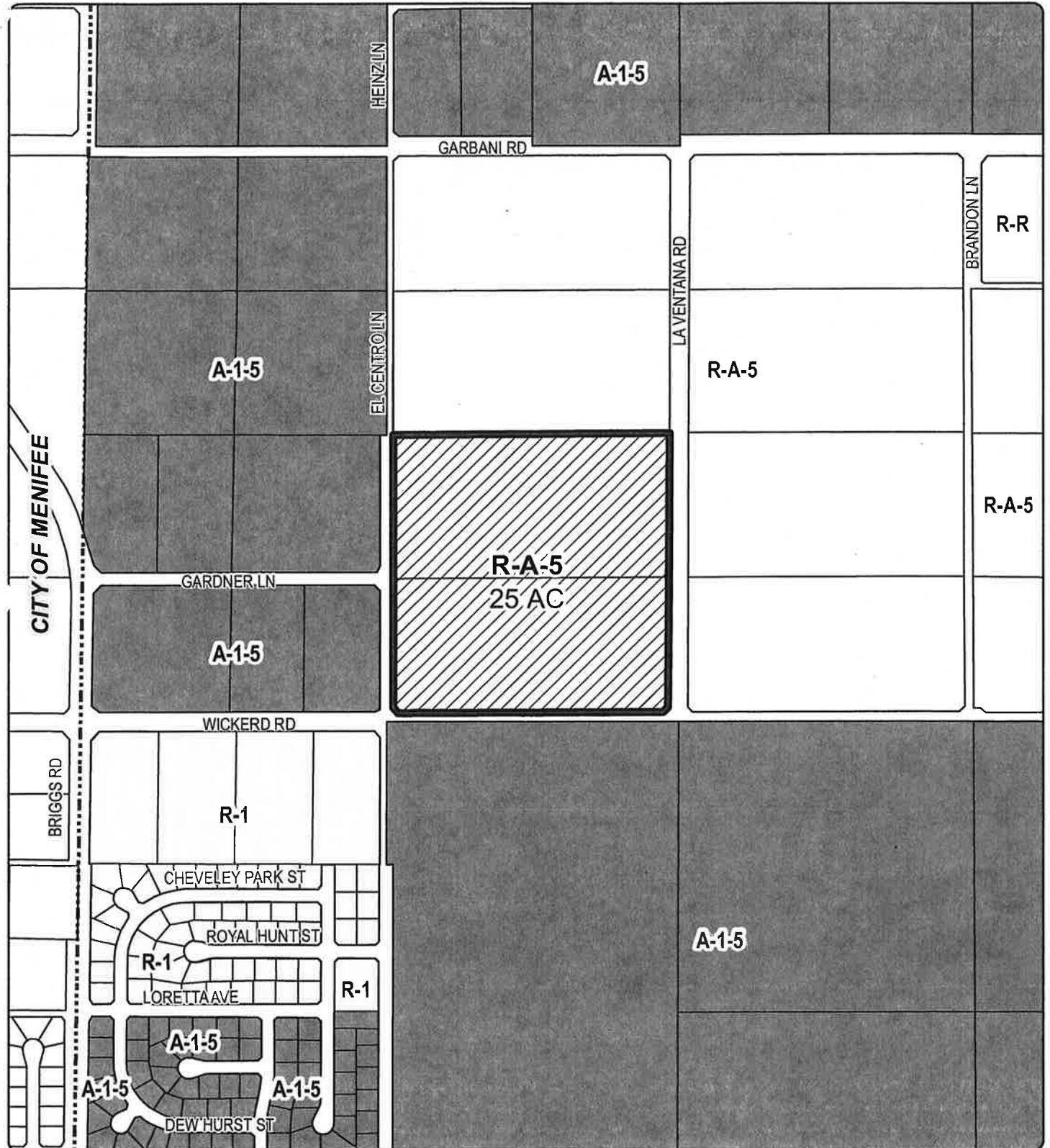
RIVERSIDE COUNTY PLANNING DEPARTMENT

PUP00907 FTA 2010-07

EXISTING ZONING

Supervisor Stone
District 3

Date Drawn: 2/23/11
Exhibit 2



Zoning Area: Winchester
Township/Range: T7SR2W
Section: 27

Assessors Bk. Pg. 466-21
Thomas Bros. Pg. 869 A
Edition 2009

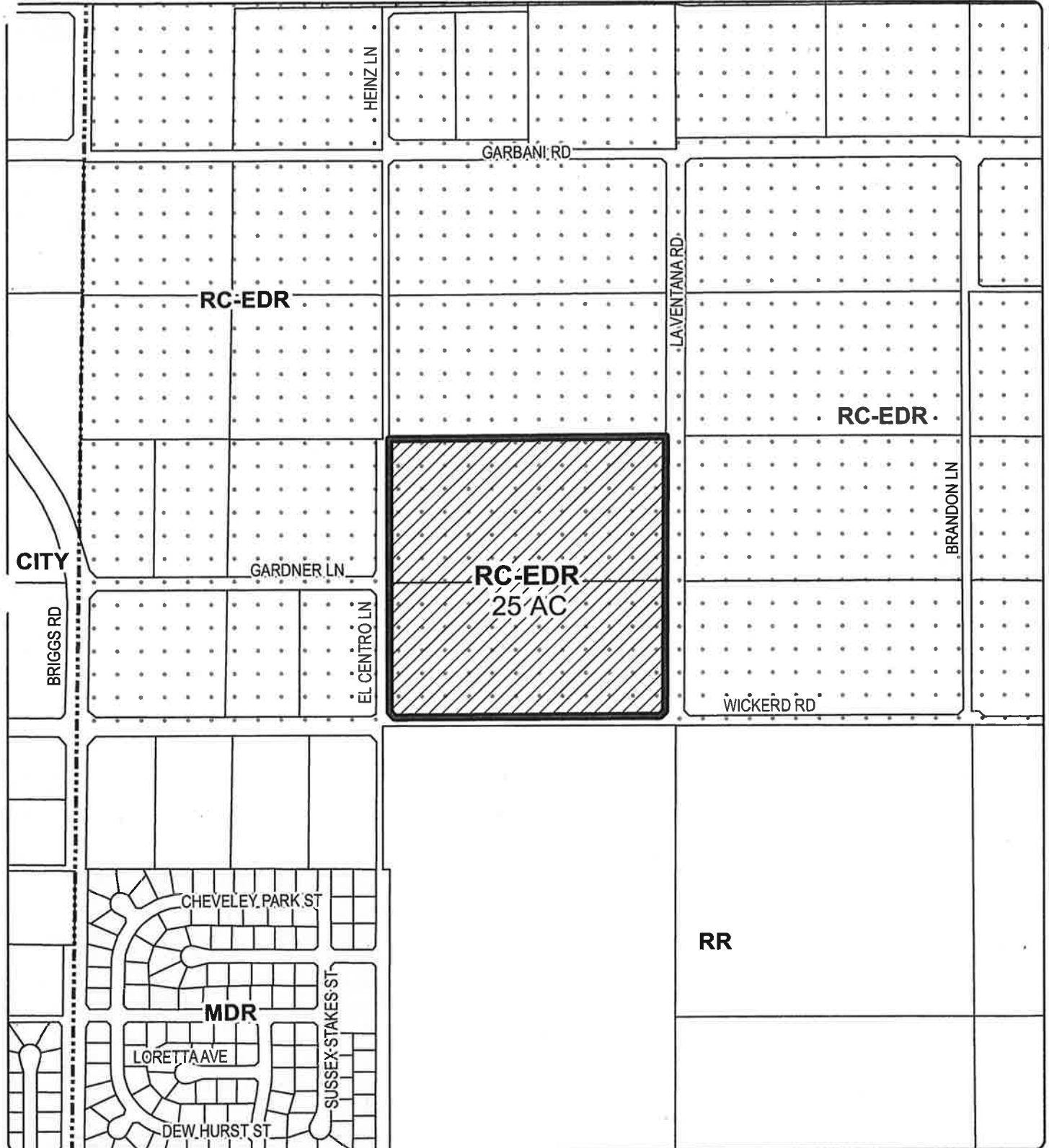


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**RIVERSIDE COUNTY PLANNING DEPARTMENT
PUP00907 FTA 2010-07
EXISTING GENERAL PLAN**

Supervisor Stone
District 3

Date Drawn: 2/23/11
Exhibit 5

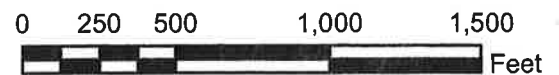


Zoning Area: Winchester
Township/Range: T7SR2W
Section: 27

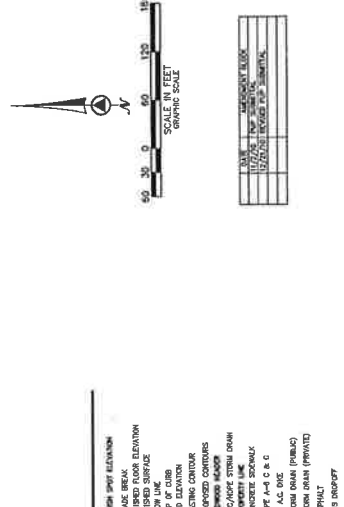
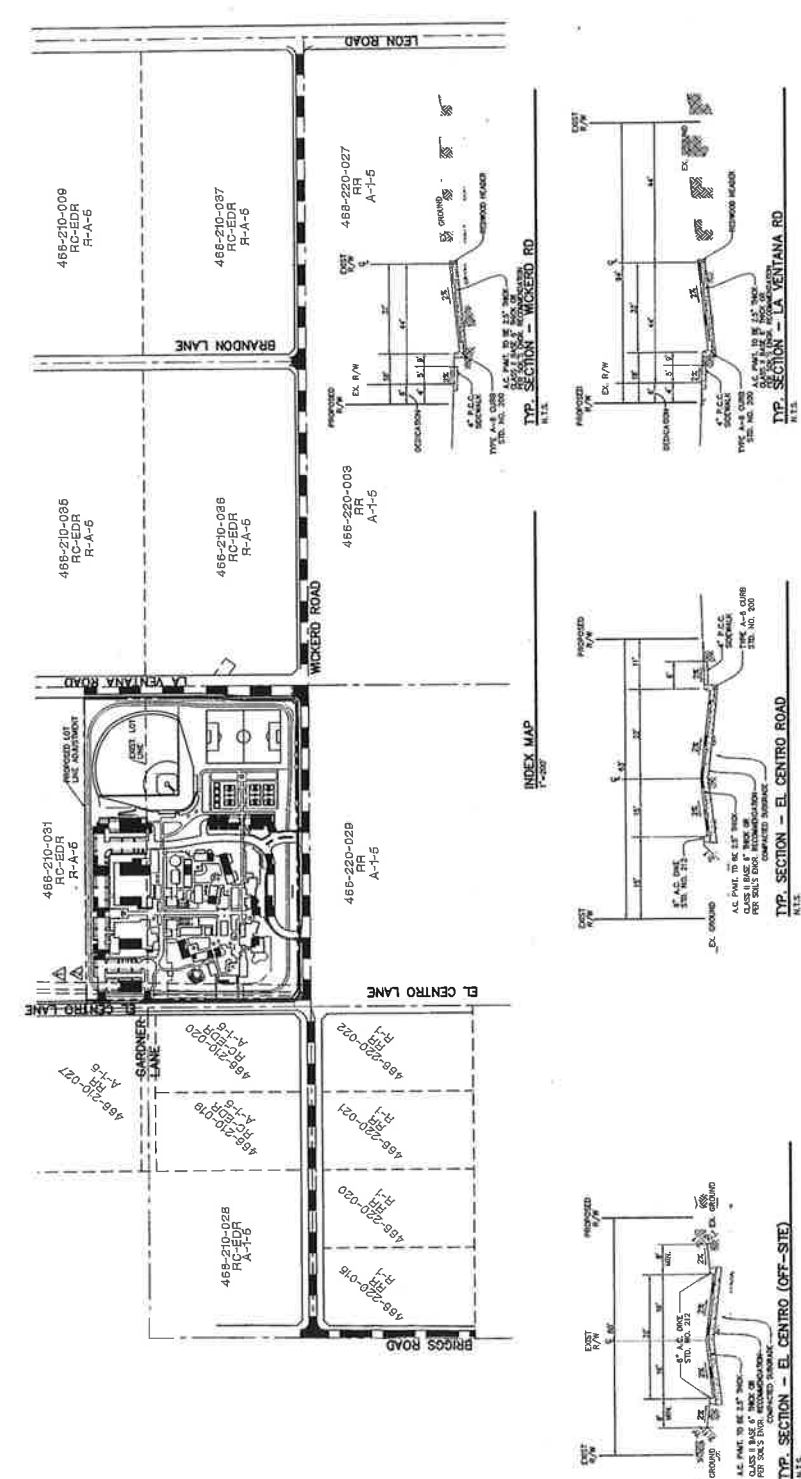
Assessors Bk. Pg. 466-21
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PUBLIC USE PERMIT NO. 907
FTA 2010-07
 COUNTY OF RIVERSIDE, STATE OF CALIFORNIA
 SECTION 18 TOWNSHIP, 6 SOUTH, RANGE 2 WEST



Case: PUP00907, AMD. #2
Exhibit: A (Sheets 1-3)
Dated: 2/03/11
Planner: C. HINOJOSA

The Santa Rosa Academy
 Riverside County, California

GENERAL NOTES

- LEGAL DESCRIPTION: PARCELS 3 AND 4, OF PARCEL MAP NO. 10867, IN THE COUNTY OF RIVERSIDE IN THE CITY OF EL CENTRO, CALIFORNIA, RECORDS BOOK 28, PAGE 31 AND 32 OF PARCEL MAP.
- TOTAL AREA, APPROX. 240 AC. SITES, 24.8 AC. NET.
- EXISTING UTILITIES: SEE ATTACHED UTILITY RECORDS FOR EXISTING GAS COMPANY.
- EXISTING ZONING: R-A-5
- PROPOSED ZONING: R-A-5
- PROPOSED LAND USE: CHURCH SCHOOL.
- PROPOSED LAND USE: CHURCH SCHOOL.
- EXISTING LAND USE: CHURCH SCHOOL.
- EXISTING LAND USE: CHURCH SCHOOL.
- UTILITIES: EXISTING UTILITIES - EASTERN MUNICIPAL WATER DISTRICT ELECTRIC - SOUTHERN CALIFORNIA Edison - SOUTHERN CALIFORNIA GAS - SOUTHERN CALIFORNIA GAS - SOUTHERN CALIFORNIA GAS.
- SCHOOL DISTRICT: RIVERSIDE COUNTY AND RIVERSIDE COUNTY.
- THOMAS BROS. CO. 12000 CENTRAL PARK BLVD., #1-7
- PLAN PREPARATION DATE: JUNE 2009
- THIS PROJECT IS NOT SUBJECT TO ENVIRONMENTAL IMPACT STATEMENT, NOR IS IT SUBJECT TO ENVIRONMENTAL IMPACT REPORT OR PROJECT ON THE SITE.
- THE PROPERTY IS NOT SUBJECT TO ENVIRONMENTAL IMPACT STATEMENT, NOR IS IT SUBJECT TO ENVIRONMENTAL IMPACT REPORT OR PROJECT ON THE SITE.
- THE PROPERTY IS NOT SUBJECT TO ENVIRONMENTAL IMPACT STATEMENT, NOR IS IT SUBJECT TO ENVIRONMENTAL IMPACT REPORT OR PROJECT ON THE SITE.
- ON-SITE RESTRICTIONS TO BE 4' MIN.

AREA DATA

TOTAL PROJECT AREA: 24.8 AC. GROSS
 TOTAL DEVELOPED AREA: 24.8 AC. GROSS
 TOTAL UNDEVELOPED AREA: 0.0 AC. GROSS
 TOTAL BUILDING AREA: 235,000 SF
 TOTAL LOT AREA: 2,400,000 SF

EXHIBIT NOTES

CALL 48-200-017
 OR 48-200-017

EASEMENT NOTES

- AN EASEMENT FOR UTILITIES AND INCIDENTAL PURPOSES, IN FAVOR OF SOUTHERN CALIFORNIA GAS COMPANY, IS INSTRUMENT RECORDED JULY 1, 1994, IN BOOK 10867, PAGE 30A.
- AN EASEMENT FOR UTILITIES AND INCIDENTAL PURPOSES, IN FAVOR OF SOUTHERN CALIFORNIA GAS COMPANY, IS INSTRUMENT RECORDED JULY 1, 1995, IN BOOK 2007, PAGE 100.

OWNER

THE SANTI ROSA ACADEMY
 2400 LA VENTANA ROAD
 EL CENTRO, CALIFORNIA 92526
 PHONE: (760) 874-2000
 FAX: (760) 874-2000

APPLICANT

THE SANTI ROSA ACADEMY
 2400 LA VENTANA ROAD
 EL CENTRO, CALIFORNIA 92526
 PHONE: (760) 874-2000
 FAX: (760) 874-2000

PREPARED BY

THE SANTI ROSA ACADEMY
 2400 LA VENTANA ROAD
 EL CENTRO, CALIFORNIA 92526
 PHONE: (760) 874-2000
 FAX: (760) 874-2000

APPLICANT REPRESENTATIVE

COMPETITIVE EDGE DEVELOPMENT
 1400 SHERMAN AVENUE, SUITE 2000
 ANAHEIM, CALIFORNIA 92805
 PHONE: (714) 660-9975
 FAX: (714) 791-0521

MASSON & ASSOCIATES, INC.
 1000 WEST 10TH AVENUE, SUITE 100
 DENVER, COLORADO 80202
 PHONE: (303) 733-1111
 FAX: (303) 733-1111
 WWW.MASSON-CA.COM

TITLE SHEET
 01-24-11
 Brad Burke Architect
CI.0A



Santa Rosa Academy
Riverside County, California

1/15/15
1/16/15
1/17/15
1/17/15

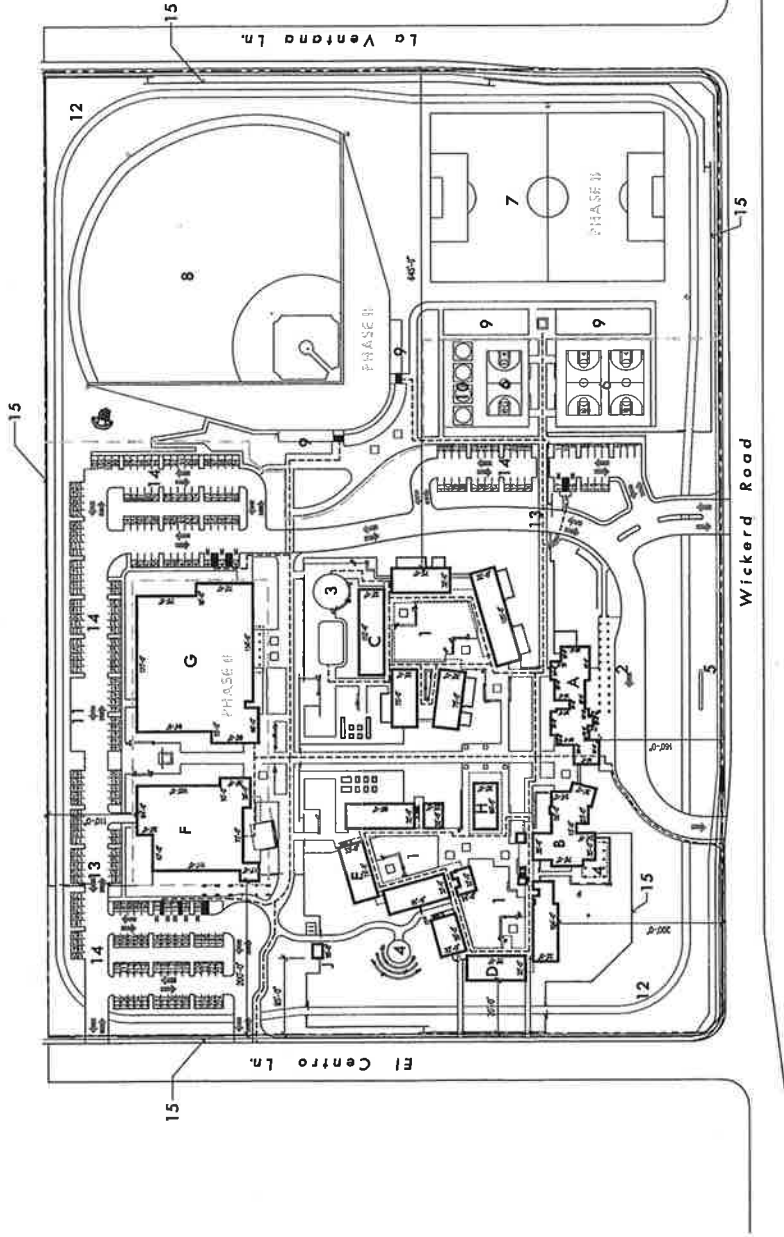
Site Plan
P.U.P. #907
Brad Burke Architect
A1.0

Legend
Buildings

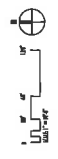
- A Administration**
Type VI (permitted below of 198) Occ.B
1 Story, Mfg. Hb. - 27' H
Level One = 2,000 S.F.
Level Two = 2,000 S.F.
Level Three = 2,000 S.F.
Total Area = 6,000 S.F.
- B Library / Tech. Center**
Type VI (permitted below of 198) Occ.E
1 Story, Mfg. Hb. - 40' H
Level One = 4,100 S.F.
Level Two = 2,500 S.F.
Level Three = 2,500 S.F.
Total Area = 9,100 S.F.
- C Elementary Classrooms**
Type VI (permitted below of 198) Occ.E
1 Story, Mfg. Hb. - 20' H
Total Area = 14,773 S.F.
- D Middle School Classrooms**
Type VI (permitted below of 198) Occ.E
1 Story, Mfg. Hb. - 20' H
Level One = 7,100 S.F.
Level Two = 7,100 S.F.
Level Three = 7,100 S.F.
Total Area = 21,300 S.F.
- E High School Classrooms**
Type VI (permitted below of 198) Occ.E
1 Story, Mfg. Hb. - 20' H
Level One = 9,315 S.F.
Level Two = 9,315 S.F.
Level Three = 9,315 S.F.
Total Area = 27,945 S.F.
- F Theater (Phase II)**
Type II (permitted Occ. A1)
1 Story, Mfg. Hb. - 20' H
Total Area = 14,100 S.F.
- G Gymnasium (Phase II)**
1 Story, Mfg. Hb. - 40' H of 198 Occ. A4
1 Story, Mfg. Hb. - 20' H
Total Area = 26,900 S.F.
- H Student Pavilion**
Type V - Occ. A3
1 Story, Mfg. Hb. - 20' H
1 Story, Mfg. Hb. - 40' H
Total Area = 26,900 S.F.
(Revised and Non-Conditioned space)
- J Security Office**
1 Story, Mfg. Hb. - 16' H
Total Area = 800 S.F.

- Site**
- 1. Courtyard
- 2. Vehicular Drop-Off
- 3. Elementary Playground
- 4. Teaching Terrace
- 5. Site Signs - See sheet A1.1
- 6. Basketball Court
- 7. Softball Field - (Phase II)
- 8. Softball Field - (Phase II)
- 9. Bleachers - (Phase II)
- 10. Tennis Courts
- 11. Trash/Recycle - See sheet A1.2 for trash enclosures (3 Total)
- 12. Running Track
- 13. Gate
- 14. Parking (pavils to be 9'-0" wide and 18'-0" deep)
- 15. Perimeter Fence (see sheet A1.2)

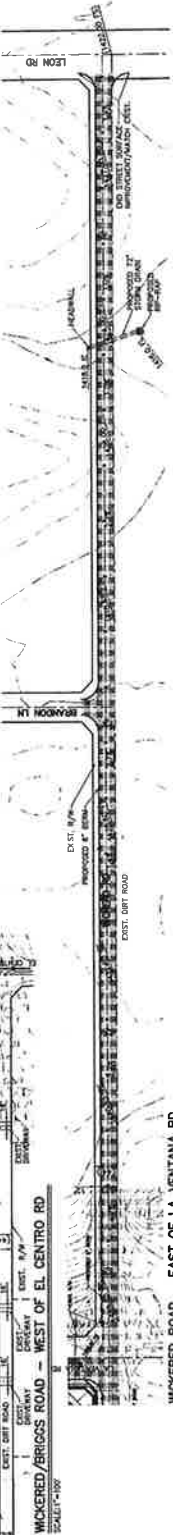
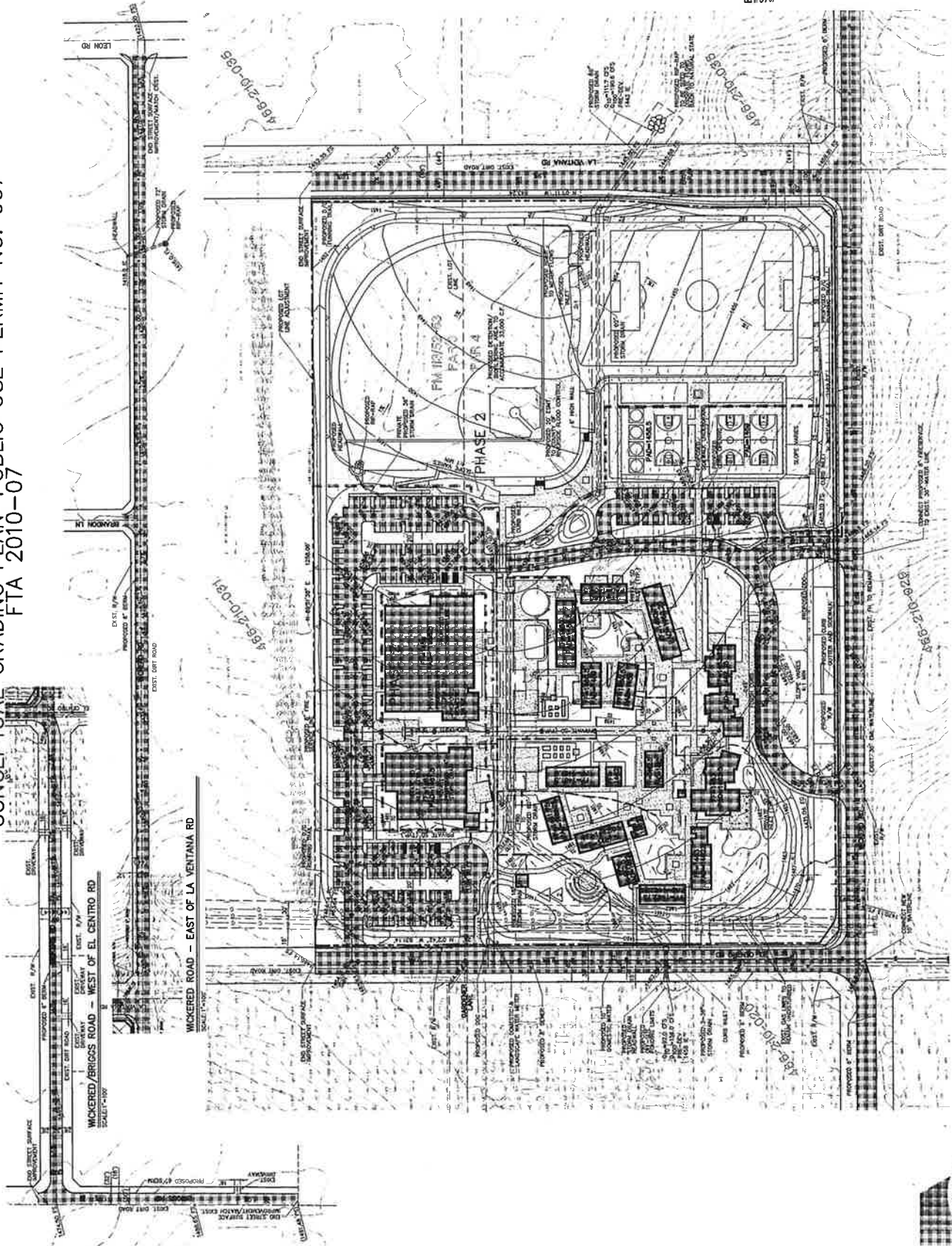
- Handicap Parking**
- Accessible Path of Travel
- All sidewalks and walkways to be a min. of 42" wide



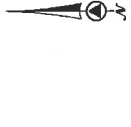
Parking	
Elementary & Intermediate	= 31
1 space/Classroom (1 x 31)	
High School	
Employers/Adm. (1 per)	= 57
Faculty (1 per)	= 18
Students (1 space/8 students)	= 62
480 full-time equivalent / 8	
sub-total	= 137
Total Required Parking	= 168
Parking Provided	= 237



CONCEPTUAL GRADING PLAN—PUBLIC USE PERMIT NO. 907
FTA 2010-07



EL CENTRO ROAD SEWER CONNECTION
SOUTH OF WICKERED
SCALE: 1"=40'



DATE	DESCRIPTION

CONCEPTUAL GRADING PLAN
01-24-11
Brad Burke Architect
C1.1

The Santa Rosa Academy
Riverside County, California

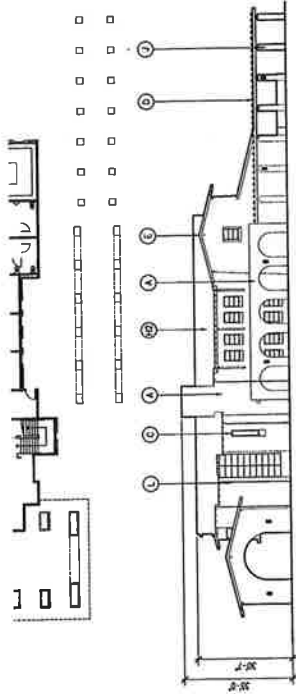
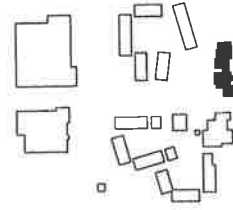


Material

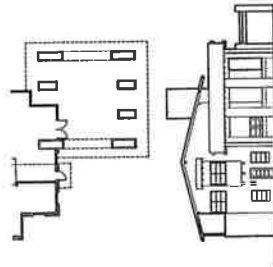
- A. Typical Walls and Columns - Cement Plaster (Light Mission or Santa Barbara Finish - Integral Color: White)
 - B. Concrete Walls - Concrete Tilt-up (Color: White)
 - C. Windows - Metal Shorefront (Finish: Dark Anodized)
 - D. Exposed Framing - Douglas Fir. (Finish: Medium Brown Stain)
 - E. Exposed Trim - Douglas Fir. (Finish: Medium Brown Stain)
 - F. Guardrails/Handrails - Ornamental Ironwork (finish: galvanized)
 - G. Exterior Stairs - Precast Concrete
- Roofing**
- H1. Built-up at flat
 - H2. Clay tile (Mission Red)
 - H3. Standing seam metal (Color: Anodized)
- J. Site Walls and Trellis Columns - Stone Veneer/Plaster (color: plaster to match building)
 - K. Mechanical Unit - Screened by Parapet
 - L. Concealed Downspout - Exposed at Roof for gutter and wall connection. (Galv. Finish)

Exterior Light Fixtures

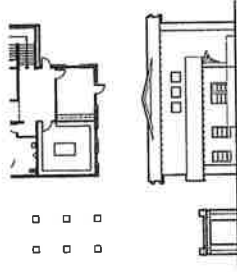
Keyplan



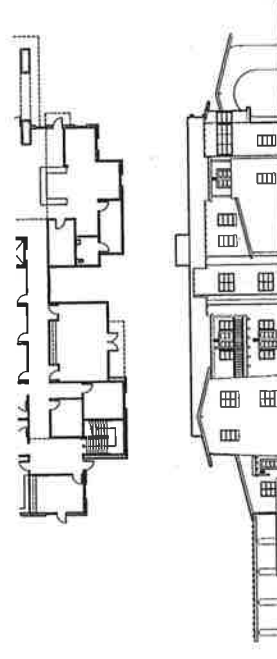
South Elevation
SCALE: 1/16" = 1'-0"



West Elevation
SCALE: 1/16" = 1'-0"



East Elevation
SCALE: 1/16" = 1'-0"



North Elevation
SCALE: 1/16" = 1'-0"

11/12/10
 11/23/10
 11/27/10

Building A - Elevations
 P.O. # 9907
 Brad Burke Architect
A2.2

Santa Rosa Academy
 Riverside County, California

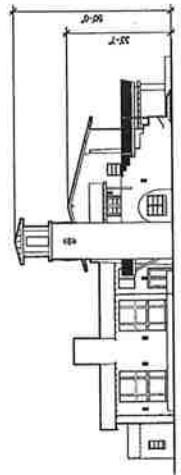
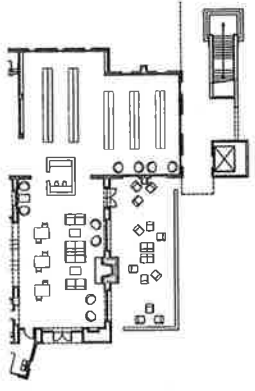


Santa Rosa Academy
Riverside County, California

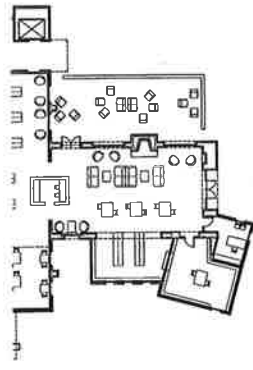
Building B - Elevations
P.L.P. Schmitt - 11/27/10
P.L.P. Schmitt - 12/21/10
P.L.P. Schmitt - 1/27/11
P. U.P. 4697
Brad Burke Architect
A3.2

Material

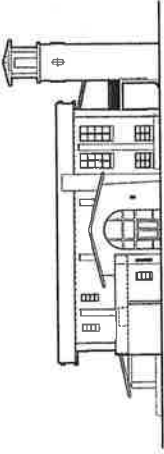
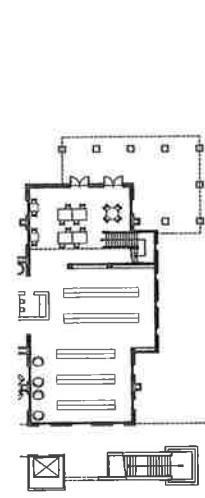
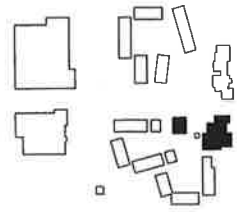
- A. **Typical Walls and Columns - Cement Plaster** (Light Mission to Santa Barbara finish - Integral Color: White)
- B. **Concrete Walls - Concrete Tilt-up** (Color: White)
- C. **Windows - Metal Storefront** (Finish: Dark Anodized)
- D. **Exposed Framing - Douglas Fir** (Finish: Medium Brown Stain)
- E. **Exposed Trim - Douglas Fir** (Finish: Medium Brown Stain)
- F. **Guardrails/Handrails - Ornamental ironwork** (Finish: galvanized)
- G. **Exterior Stairs - Precast Concrete**
- Roofing**
- H1. Built-up or flat
- H2. Clay tile (Mission Red)
- H3. Standing seam metal (Color: Anodized)
- J. **Site Walls and Trellis Columns - Stone Veneer/Plaster** (color: plaster to match building)
- K. **Mechanical Unit - Screened by Peropart**
- L. **Concealed Downspout - Exposed at Roof for gutter and wall connection.** (Galv. Finish)



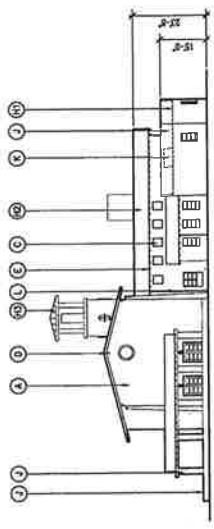
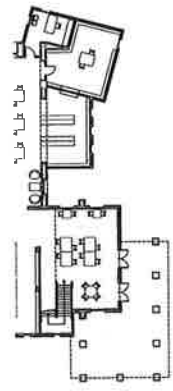
North Elevation
Scale: 1/4" = 1'-0"



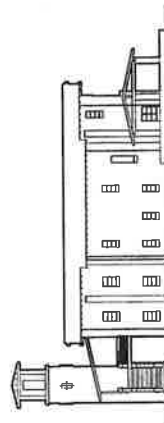
Keyplan



East Elevation
Scale: 1/16" = 1'-0"

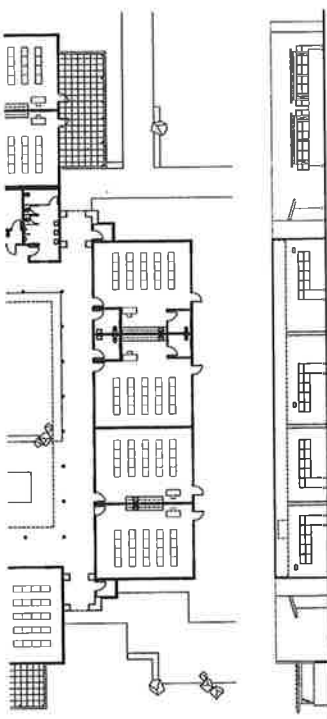


South Elevation
Scale: 1/16" = 1'-0"

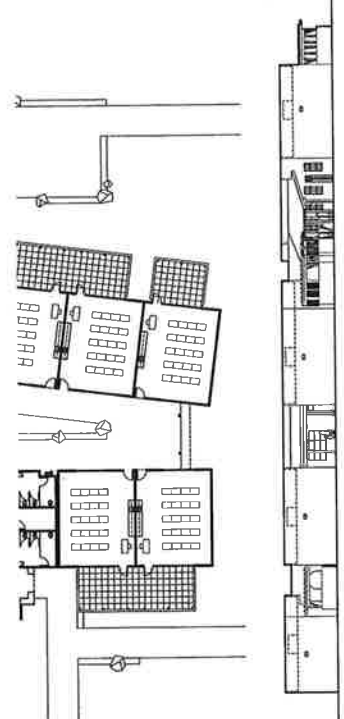


West Elevation
Scale: 1/16" = 1'-0"

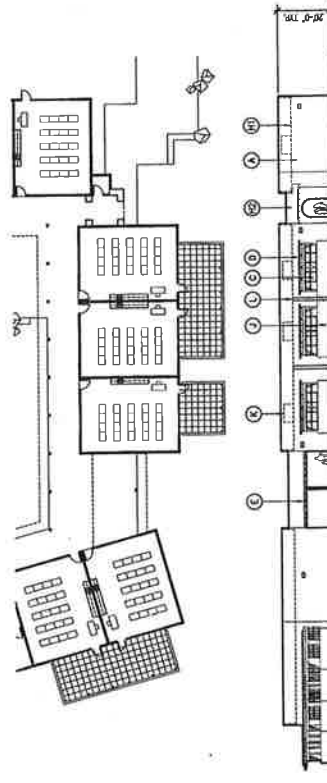
- Exterior Light Fixtures



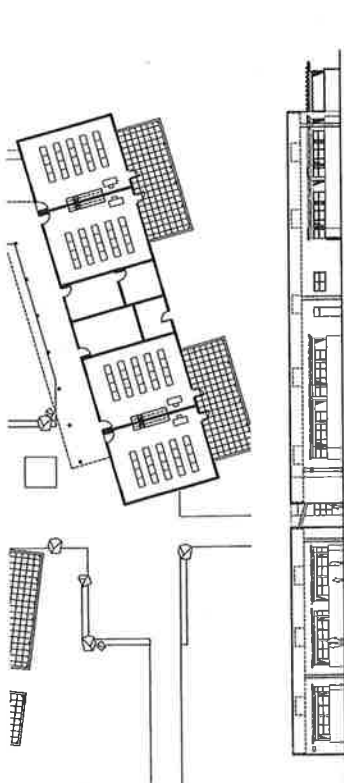
North Elevation
SCALE: 1/8" = 1'-0"



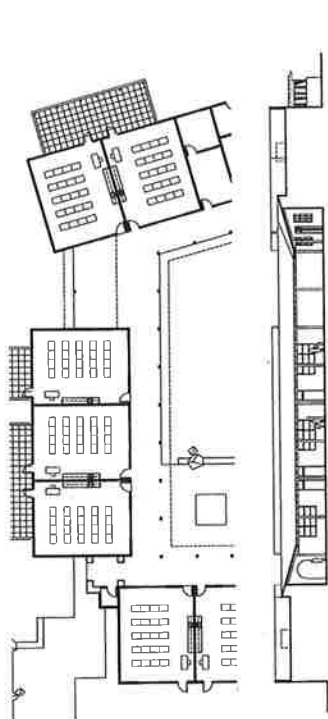
West Elevation
SCALE: 1/8" = 1'-0"



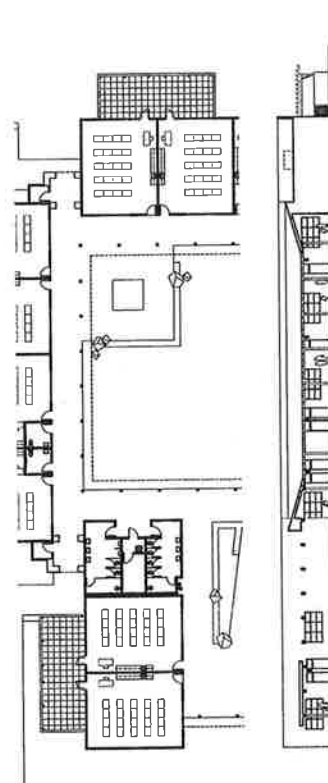
East Elevation
SCALE: 1/8" = 1'-0"



South Elevation
SCALE: 1/8" = 1'-0"



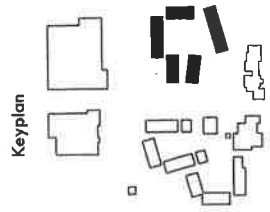
West Court Elevation
SCALE: 1/8" = 1'-0"



South Court Elevation
SCALE: 1/8" = 1'-0"

- Material**
- A. Typical Walls and Columns - Cement Plaster (Light Alabaster to Santa Barbara finish - Integral Color: White)
 - B. Concrete Walls - Concrete Tilt-up (Color: White)
 - C. Windows - Metal Storefront (Finish: Dark Anodized)
 - D. Exposed Framing - Douglas Fir (Finish: Medium Brown Stain)
 - E. Exposed Trim - Douglas Fir (Finish: Medium Brown Stain)
 - F. Guardsills/Handrails - Ornamental Ironwork (Finish: galvanized)
 - G. Exterior Stairs - Precast Concrete
- Roofing**
- H1. Built-up at flat
 - H2. Clay tile (Mission Red)
 - H3. Standing seam metal (Color: Anodized)
- J. Site Walls and Trellis Columns - Stone Veneer/Plaster (color; plaster to match building)
 - K. Mechanical Unit - Screened by Parapet
 - L. Concealed Downspout - Exposed at Roof for gutter and wall connection. (Galv. Finish)

- Exterior Light Fixtures



Building C - Elevations
P.U.P. #907
Brad Burke Architect
A4.1

11/2 Schedule - 11/2/10
11/2 Re-Submittal - 12/23/10
11/2 Re-Submittal - 1/17/11

Santa Rosa Academy
Riverside County, California



Santa Rosa Academy
Riverside County, California

Building D - Elevations
P.U.P. #9907
Brad Burke Architect
A5.2

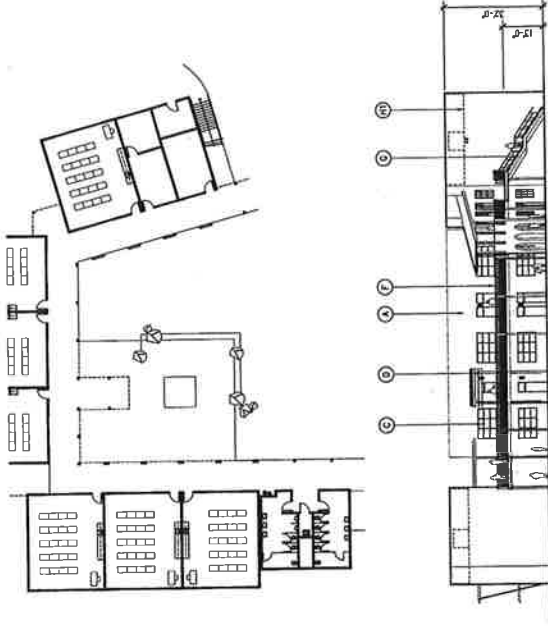
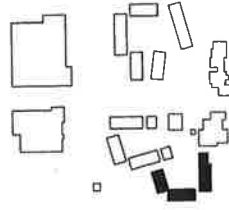
P.U.P. #9907 - 1/12/10
REVISED ELEVATIONS - 1/12/10
REVISED ELEVATIONS - 1/12/10
REVISED ELEVATIONS - 1/12/10
REVISED ELEVATIONS - 1/12/10
REVISED ELEVATIONS - 1/12/10
REVISED ELEVATIONS - 1/12/10
REVISED ELEVATIONS - 1/12/10

Material

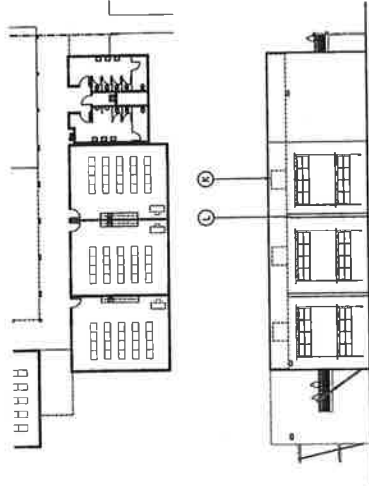
- A. Typical Walls and Columns - Cement Plaster (Light Mission to Santa Barbara finish - Integral Color: White)
- B. Concrete Walls - Concrete Tilt-up (Color: White)
- C. Windows - Metal Storefront (Finish: Dark Anodized)
- D. Exposed Framing - Douglas Fir (Finish: Medium Brown Stain)
- E. Exposed Trim - Douglas Fir (Finish: Medium Brown Stain)
- F. Guardrails/Handrails - Ornamental Ironwork (finish: galvanized)
- G. Exterior Stairs - Precast Concrete
- Roofing
- H1. Built-up at flat
- H2. Clay tile (Mission Red)
- H3. Standing seam metal (Color: Anodized)
- J. Site Walls and Trellis Columns - Stone Veneer/Plaster (color: plaster to match building)
- K. Mechanical Unit - Screened by Parapet
- L. Concealed Downspout - Exposed at Roof for gutter and wall connection. (Galv. Finish)

■ Exterior Light Fixtures

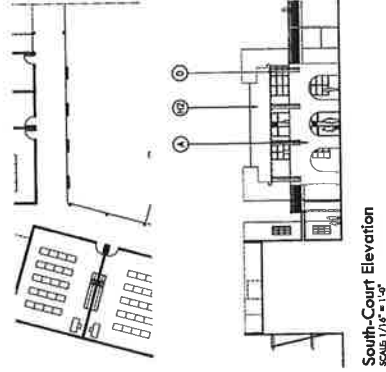
Keyplan



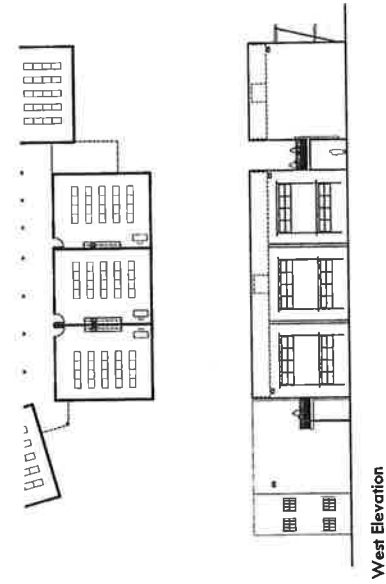
East Elevation
SCALE: 1/16" = 1'-0"



South Elevation
SCALE: 1/16" = 1'-0"



South-Court Elevation
SCALE: 1/16" = 1'-0"



West Elevation
SCALE: 1/16" = 1'-0"



Santa Rosa Academy
Riverside County, California

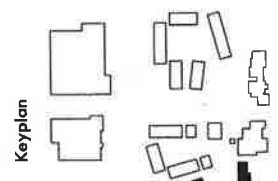
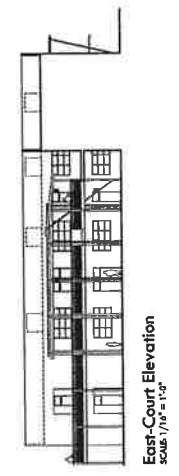
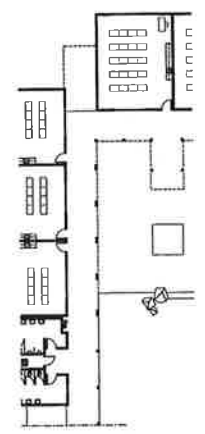
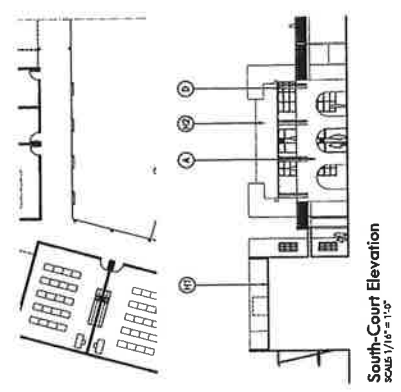
P.J.P. Salomon - 11/2/10
J.P. & S. Salomon - 1/22/10
J.P. & S. Salomon - 1/17/11

Building D - Elevations
P.L.P. #907
Brad Burke Architect
A5.3

Material

- A. Typical Walls and Columns - Cement Plaster (Light Mission to Santa Barbara finish - Integral Color: White)
 - B. Concrete Walls - Concrete Tilt-up (Color: White)
 - C. Windows - Metal Stonefront (Finish: Dark Anodized)
 - D. Exposed Framing - Douglas Fir (Finish: Medium Brown Stain)
 - E. Exposed Trim - Douglas Fir (Finish: Medium Brown Stain)
 - F. Guards/Handrails - Ornamental Ironwork (finish: galvanized)
 - G. Exterior Stairs - Precast Concrete
- Roofing**
- H1. Bulk-up at flat
 - H2. Clay tile (Mission Red)
 - H3. Standing seam metal (Color: Anodized)
- J. Site Walls and Trellis Columns - Stone Veneer/Plaster (color: plaster to match building)
 - K. Mechanical Unit - Screened by Parapet
 - L. Concealed Downspout - Exposed at Roof for gutter and wall connection. (Galv. Finish)

- Exterior Light Fixtures

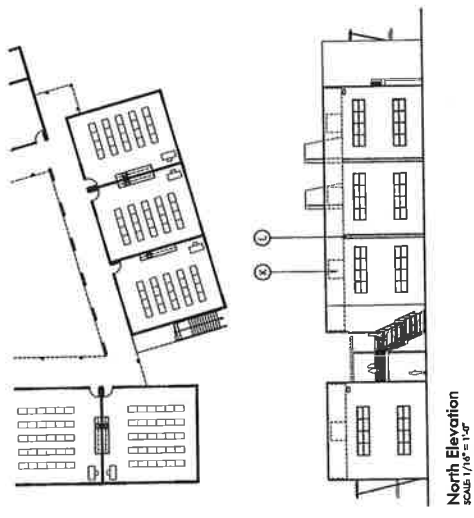


Material

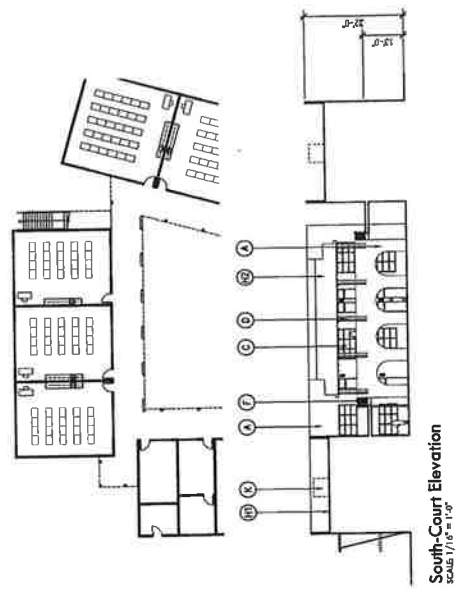
- A. Typical Walls and Columns - Cement Plaster (Light Mission to Santa Barbara finish - Integral Color: White)
 - B. Concrete Walls - Concrete Tilt-up (Color: White)
 - C. Windows - Metal Storefront (Finish: Dark Anodized)
 - D. Exposed Framing - Douglas Fir. (Finish: Medium Brown Stain)
 - E. Exposed Trim - Douglas Fir. (Finish: Medium Brown Stain)
 - F. Guards/Handrails - Ornamental Ironwork (finish: galvanized)
 - G. Exterior Stairs - Precast Concrete
- Roofing**
- H1. Built-up at fir
 - H2. Clay tile (Mission Red)
 - H3. Standing seam metal (Color: Anodized)
- J. Site Walls and Trellis Columns - Stone Veneer/Plaster (color: plaster to match building)
 - K. Mechanical Unit - Screened by Parapet
 - L. Concealed Downspout - Exposed at Roof for gutter and wall connection. (Galv. Finish)

I Exterior Light Fixtures

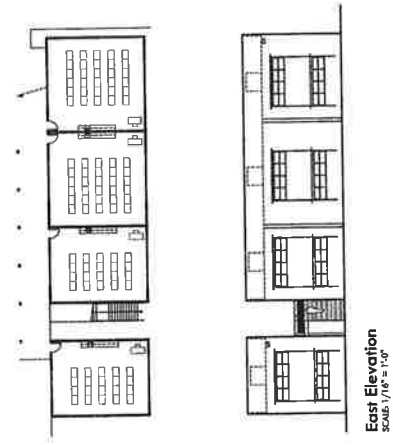
Keyplan



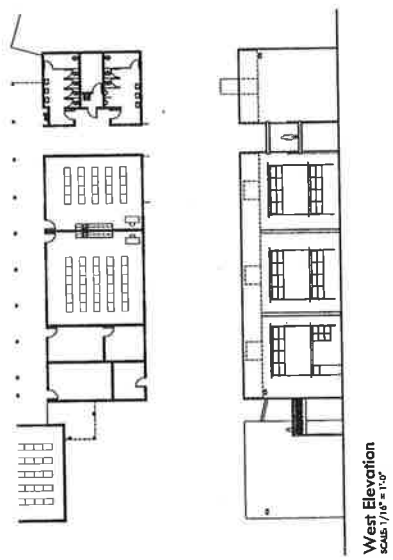
North Elevation
SCALE: 1/16" = 1'-0"



South-Court Elevation
SCALE: 1/16" = 1'-0"



East Elevation
SCALE: 1/16" = 1'-0"



West Elevation
SCALE: 1/16" = 1'-0"



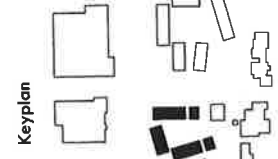
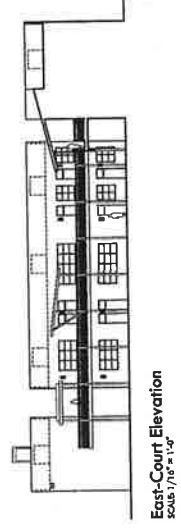
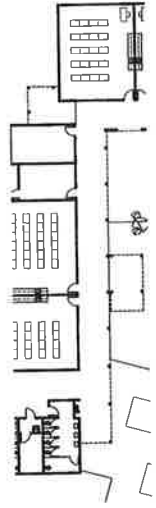
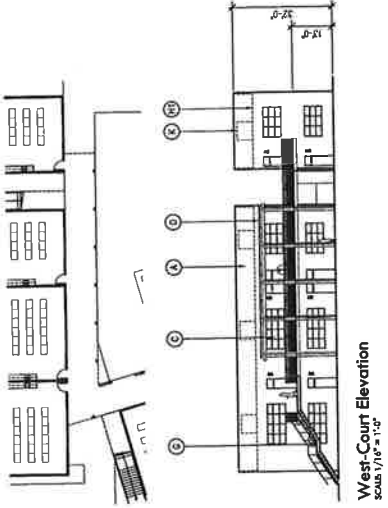
Santa Rosa Academy
Riverside County, California

DATE: 11/27/10
DATE: 12/27/10
DATE: 1/17/11

Building E - Elevations
P.O.P. 8907
Brad Butler Architect
A6.2



DATE: 11/29/19
FILE: 19-00000000-12/23/19
FILE: 19-00000000-1/17/21



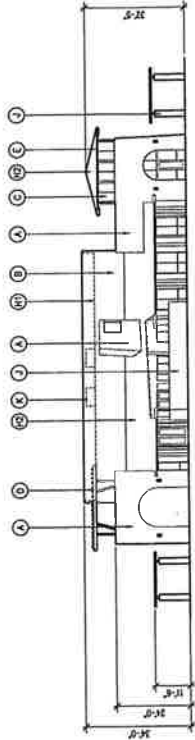
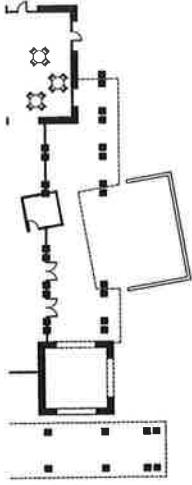
Material

- A. Typical Walls and Columns - Cement Plaster (Light Mission to Santa Barbara finish - Integral Color: White)
- B. Concrete Walls - Concrete Tilt-up (Color: White)
- C. Windows - Metal Storefront (Finish: Dark Anodized)
- D. Exposed Framing - Douglas Fir. (Finish: Medium Brown Stain)
- E. Exposed Trim - Douglas Fir. (Finish: Medium Brown Stain)
- F. Guardrails/Mandrills - Ornamental ironwork (Finish: galvanized)
- G. Exterior Stairs - Precast Concrete
- Roofing
 - H1. Built-up of flat
 - H2. Clay tile (Mission Red)
 - H3. Standing seam metal (Color: Anodized)
- J. Site Walls and Trellis Columns - Stone Veneer/plaster (color: plaster to match building)
- K. Mechanical Unit - Screened by Parapet
- L. Concealed Downspout - Exposed at Roof for gutter and wall connection. (Oak Finish)

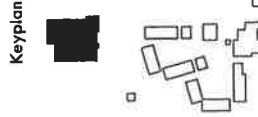
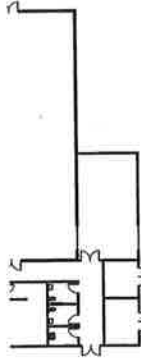
- Exterior Light Fixtures

Material

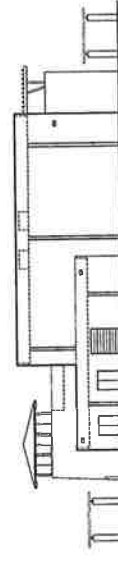
- A. Typical Walls and Columns - Cement Plaster (Light Mission to Santa Barbara finish - Integral Color: White)
- B. Concrete Walls - Concrete Tilt-up (Color: White)
- C. Windows - Metal Storefront (Finish: Dark Anodized)
- D. Exposed Framing - Douglas Fir. (Finish: Medium Brown Stain)
- E. Exposed Trim - Douglas Fir. (Finish: Medium Brown Stain)
- F. Guardrails/Handrails - Ornamental Ironwork (Finish: galvanized)
- G. Exterior Stairs - Precast Concrete
- H. Roofing
H1. Built-up flat
H2. Clay tile (Mission Red)
H3. Standing seam metal (Color: Anodized)
- J. Site Walls and Tallest Columns - Stone Veneer/Plaster (color planer to match building)
- K. Mechanical Unit - Screened by Parapet
- L. Concealed Downspout - Exposed at Roof for gutter and wall connection. (Galv. Finish)



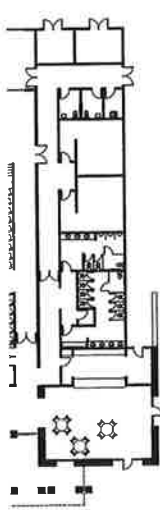
South Elevation
Scale: 1/16" = 1'-0"



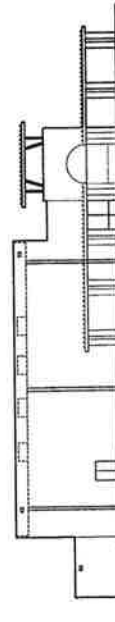
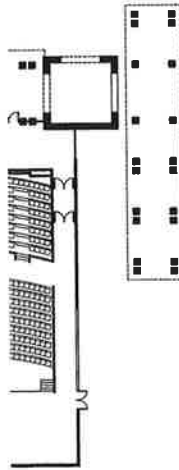
Keyplan



North Elevation
Scale: 1/16" = 1'-0"



East Elevation
Scale: 1/16" = 1'-0"



West Elevation
Scale: 1/16" = 1'-0"



Santa Rosa Academy
Riverside County, California

Building F - Elevations
P.U.P. #9907
Brad Burke Architect
A7.1

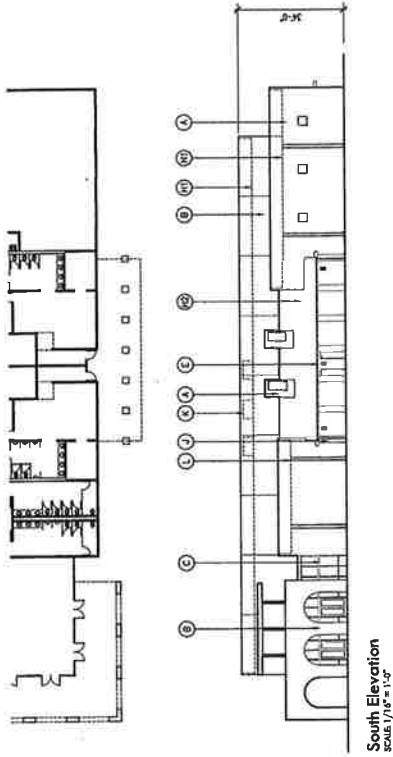
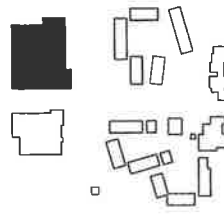
P.U.P. Submitted - 11/2/10
P.U.P. Re-Submitted - 12/21/10
P.U.P. Re-Submitted - 1/27/11

Material

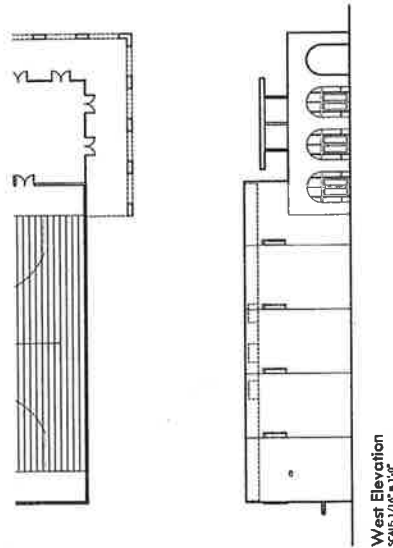
- A. Typical Walls and Columns - Cement Plaster (Light Mission to Santa Barbara finish - Integral Color: White)
- B. Concrete Walls - Concrete Tilt-up (Color: White)
- C. Windows - Metal Storefront (Finish: Dark Anodized)
- D. Exposed Framing - Douglas Fir. (Finish: Medium Brown Stain)
- E. Exposed Trim - Douglas Fir. (Finish: Medium Brown Stain)
- F. Guardrails/Randrails - Ornamental Ironwork (Finish: galvanized)
- G. Exterior Steps - Precast Concrete
- Roofing
 - H1. Built-up on flat
 - H2. Clay tile (Mission Red)
 - H3. Standing seam metal (Color: Anodized)
- J. Site Walls and Trellis Columns - Stone Veneer/Plaster (color: plaster to match building)
- K. Mechanical Unit - Screened by Parapet
- L. Concealed Downspout - Exposed at Roof for gutter and wall connection, (Galv. Finish)

Exterior Light Fixtures

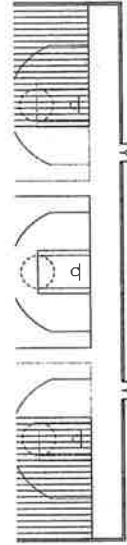
Keyplan



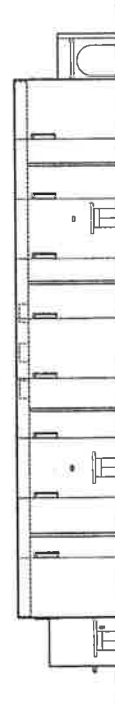
South Elevation
Scale: 1/16" = 1'-0"



West Elevation
Scale: 1/16" = 1'-0"



East Elevation
Scale: 1/16" = 1'-0"



North Elevation
Scale: 1/16" = 1'-0"



Santa Rosa Academy
Riverside County, California

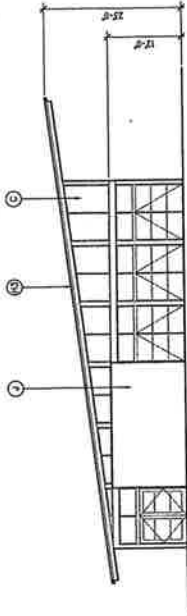
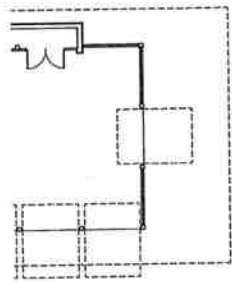
PLP: Submitted - 11/21/10
PLP: Re-Submitted - 12/21/10
PLP: Re-Submitted - 1/17/11

Building G - Elevations
P.U.#: #997
Brad Burke Architect
A8.1

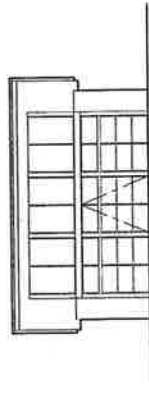
Material

- A. Typical Walls and Columns - Cement Plaster (Light Mission to Santa Barbara finish - Integral Color: White)
- B. Concrete Walls - Concrete Tilt-up (Color: White)
- C. Windows - Metal Sidelight (Finish: Dark Anodized)
- D. Exposed Framing - Douglas Fir. (Finish: Medium Brown Stain)
- E. Exposed Trim - Douglas Fir. (Finish: Medium Brown Stain)
- F. Guardrails/Handrails - Ornamental Ironwork (finish: galvanized)
- G. Exterior Stairs - Precast Concrete
- Roofing**
- H1. Built-up at flat
- H2. Clay tile (Mission Red)
- H3. Standing seam metal (Color: Anodized)
- J. Site Walls and Trellis Columns - Stone Veneer/Plaster (color: plaster to match building)
- K. Mechanical Unit - Screened by Parapet
- L. Concealed Downspout - Exposed at Roof for gutter and wall connection. (Galv. Finish)

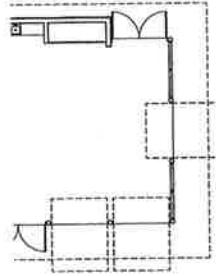
■ Exterior Light Fixtures



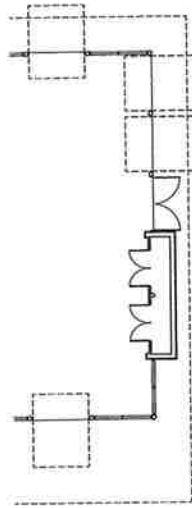
South Elevation
Scale: 1/8" = 1'-0"



East Elevation
Scale: 1/8" = 1'-0"

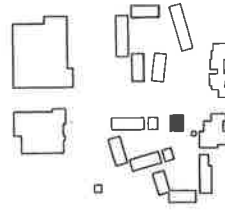


West Elevation
Scale: 1/8" = 1'-0"



North Elevation
Scale: 1/8" = 1'-0"

Keyplan



Santa Rosa Academy
Riverside County, California

DATE: 11/2/10
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT: [Name]

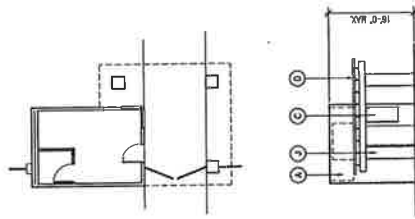
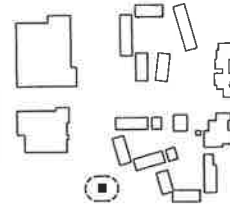
Pavilion - Elevations
 P.L.P. #907
 Brad Burke Architect
A9.1

Material

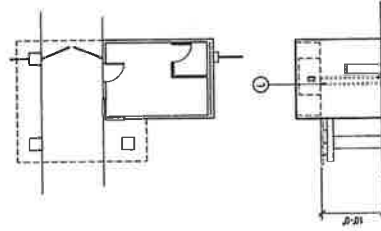
- A. Typical Walls and Columns - Cement Plaster (Light Mission to Santa Barbara finish - Integral Color White)
- B. Concrete Walls - Concrete Tilt-up (Color: White)
- C. Windows - Metal Sashfront (Finish: Dark Anodized)
- D. Exposed Framing - Douglas Fir. (Finish: Medium Brown Stain)
- E. Exposed Trim - Douglas Fir. (Finish: Medium Brown Stain)
- F. Guardsails/Handrails - Ornamental ironwork (Finish: galvanized)
- G. Exterior Stairs - Precast Concrete
- Roofing
 - H1. Built-up or flat
 - H2. Clay tile (Mission Red)
 - H3. Standing seam metal (Color: Anodized)
- J. Stone Walls and Trellis Columns - Stone Veneer/Plaster (color plaster to match building)
- K. Mechanical Unit - Screened by Parapet
- L. Concealed Downspout - Exposed at Roof for gutter and wall connection. (Galv. Finish)

Exterior Light Fixtures

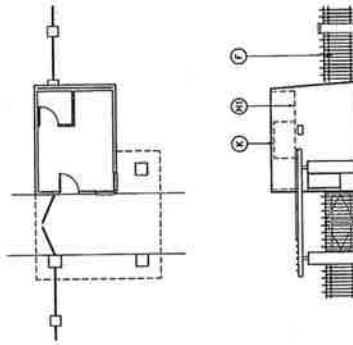
Keyplan



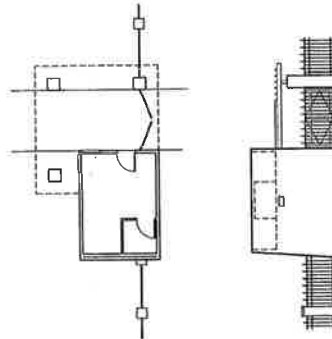
East Elevation
SCALE 1/8" = 1'-0"



West Elevation
SCALE 1/8" = 1'-0"



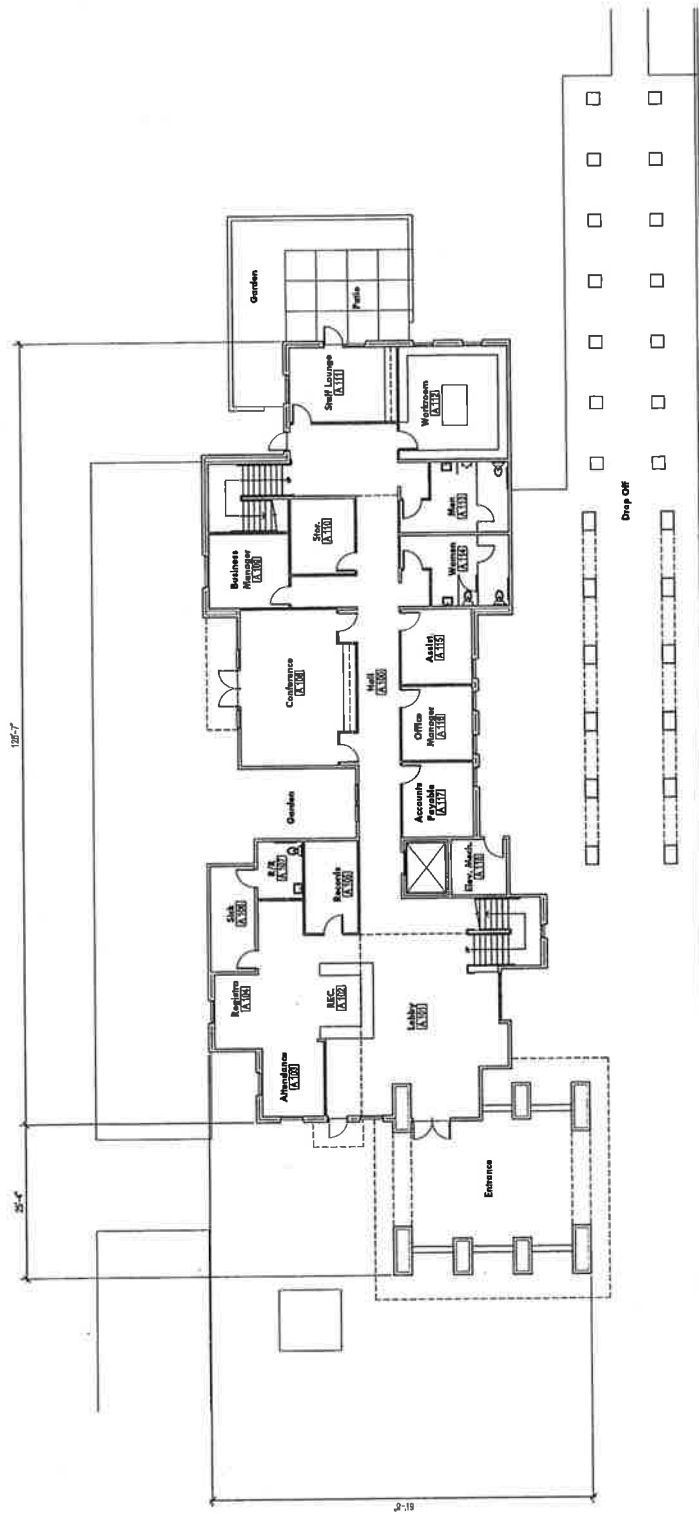
North Elevation
SCALE 1/8" = 1'-0"



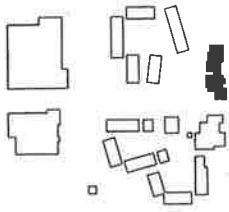
South Elevation
SCALE 1/8" = 1'-0"

P.L.P. - Schmitt - 11/2/10
 P.L.P. - Schmitt - 1/2/11
 P.L.P. - Schmitt - 1/2/11

Security Off - Elev.
 P.L.P. #907
 Brad Burke Architect
A10.1



Keyplan



Building A - 1st Floor
 P.U.P. #907
 Brad Burke Architect
A2.0

P.U.P. Submittal - 1/12/10
AMD Submittal - 1/12/10
AMD Submittal - 1/12/11

Santa Rosa Academy
 Riverside County, California

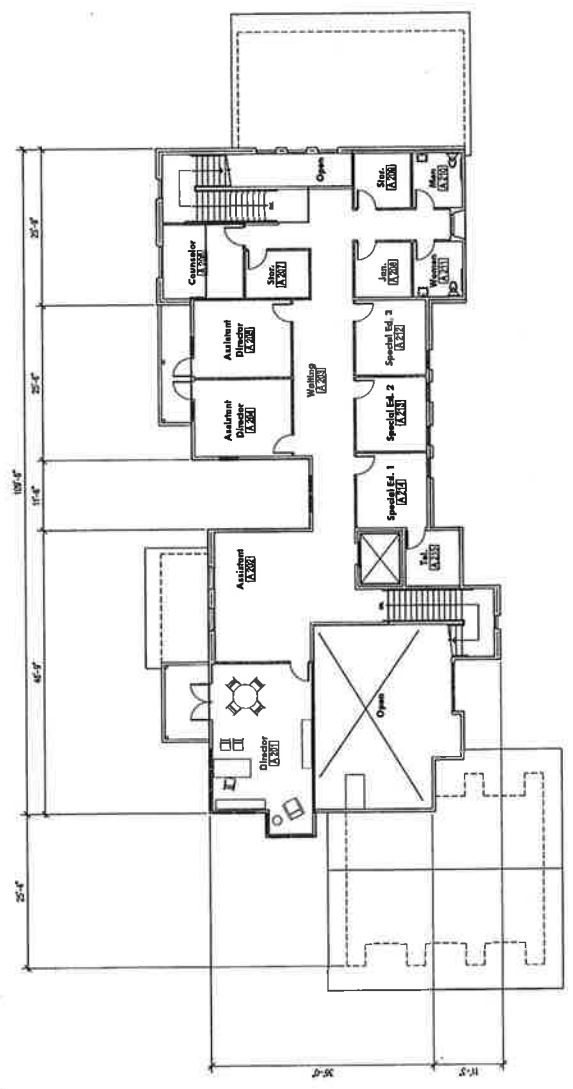
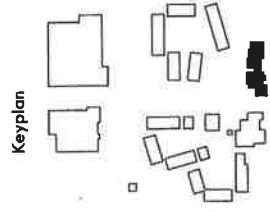
CASE: PUP00907, AMD. #2
EXHIBIT: C (Sheets 1-13)
DATED: 2/03/11
PLANNER: C. HINOJOSA



Santa Rosa Academy
Riverside County, California

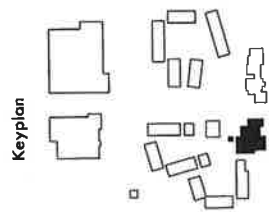
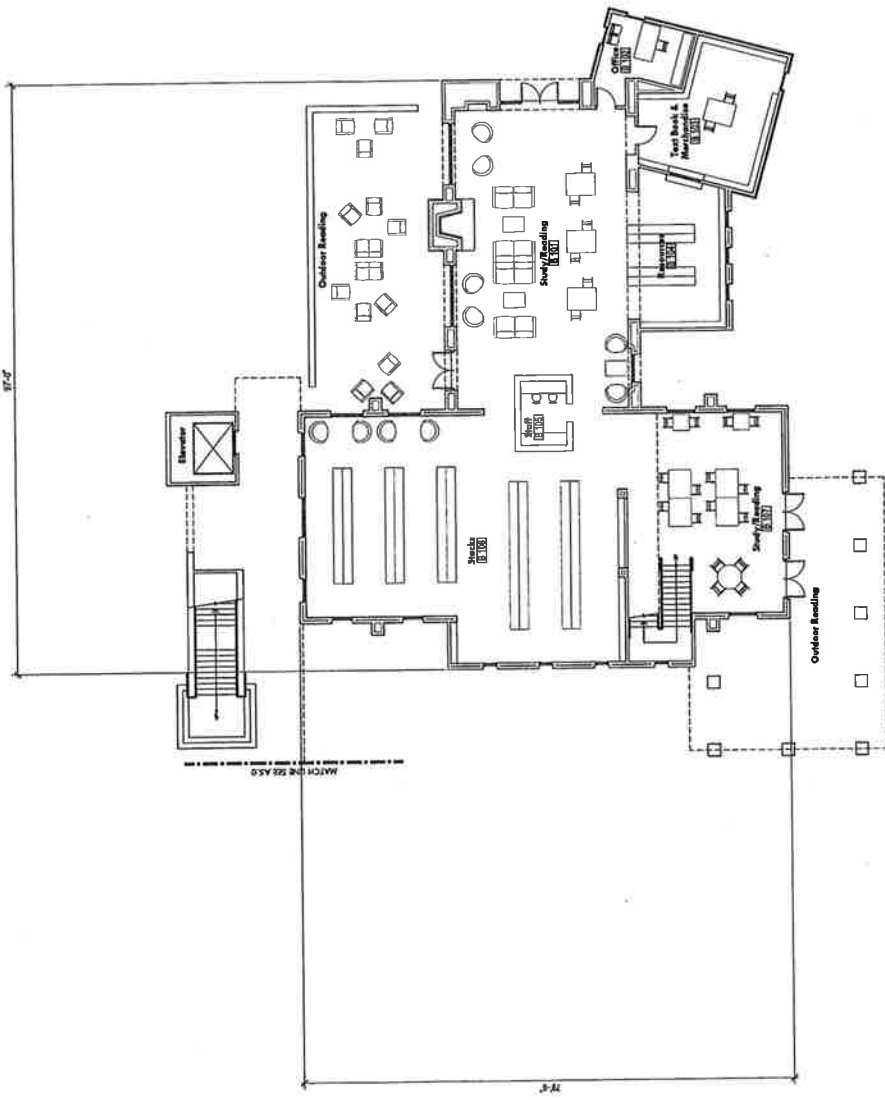
PLS. Submitted - 11/22/10
PLS. Re-Submitted - 12/21/10
PLS. Re-Submitted - 1/17/11

Building A - 2nd Floor
P.L.P. #907
Brad Burke Architect
A2.1



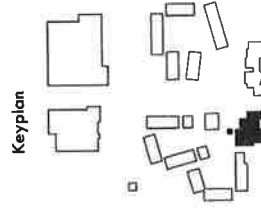
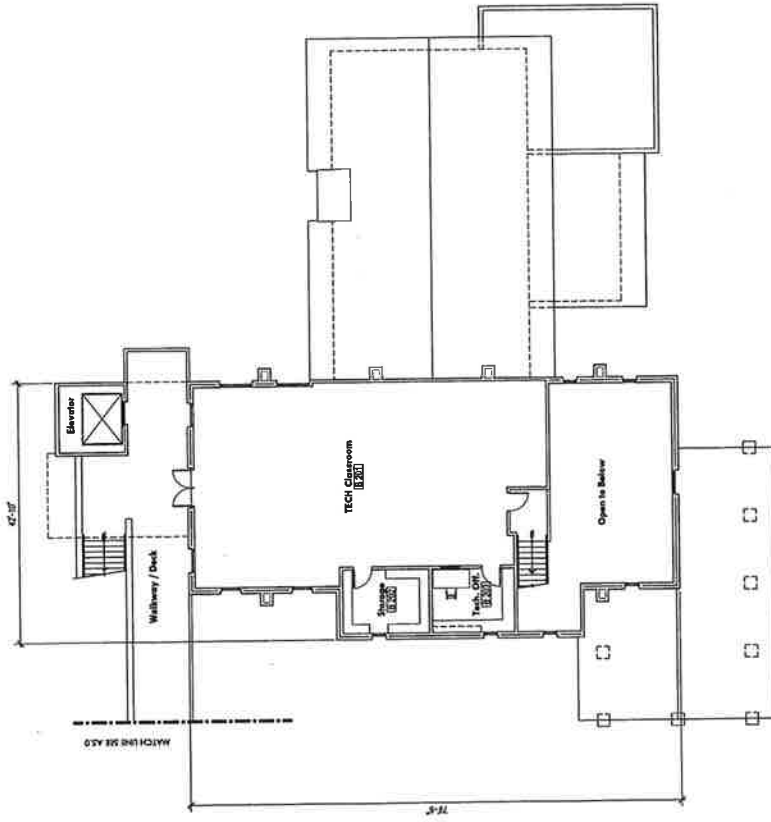


Santa Rosa Academy
Riverside County, California



Building B - 1st Floor
P.U.P. #9907
Brad Burke Architect
A3.0

DATE SUBMITTED - 11/27/10
DATE REVISION - 11/27/10
DATE REVISION - 11/27/10

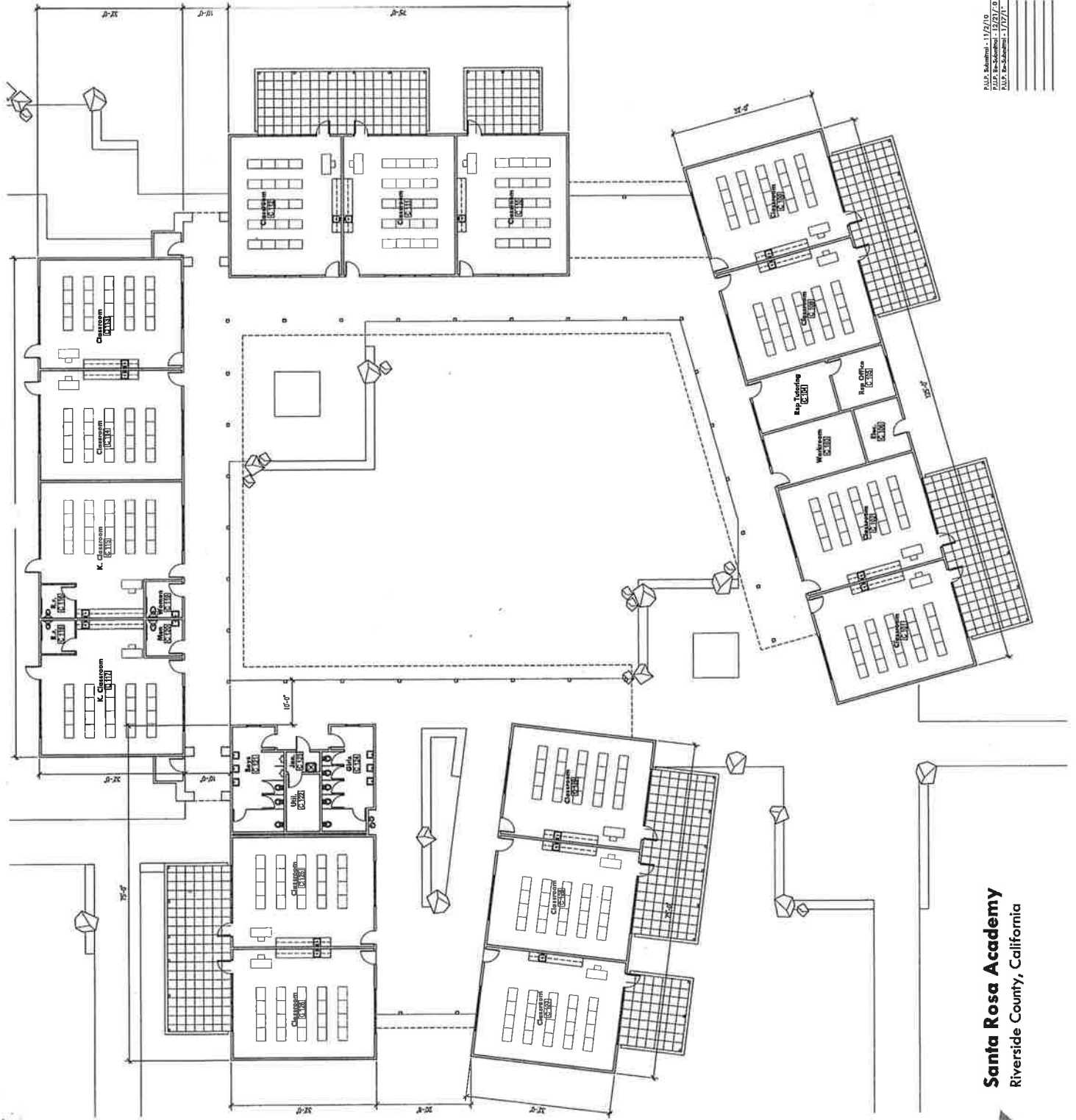


Building B - 2nd Floor
 P.U.P. 89907
 P.L.U. P. 89907
 Brad Burke Architect
A3.1

P.U.P. Submitted - 11/2/10
P.L.U. P. Submitted - 12/23/10
P.L.U. P. Submitted - 1/27/11

Santa Rosa Academy
 Riverside County, California



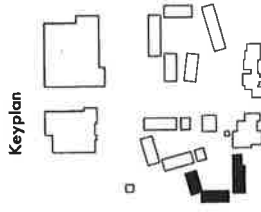
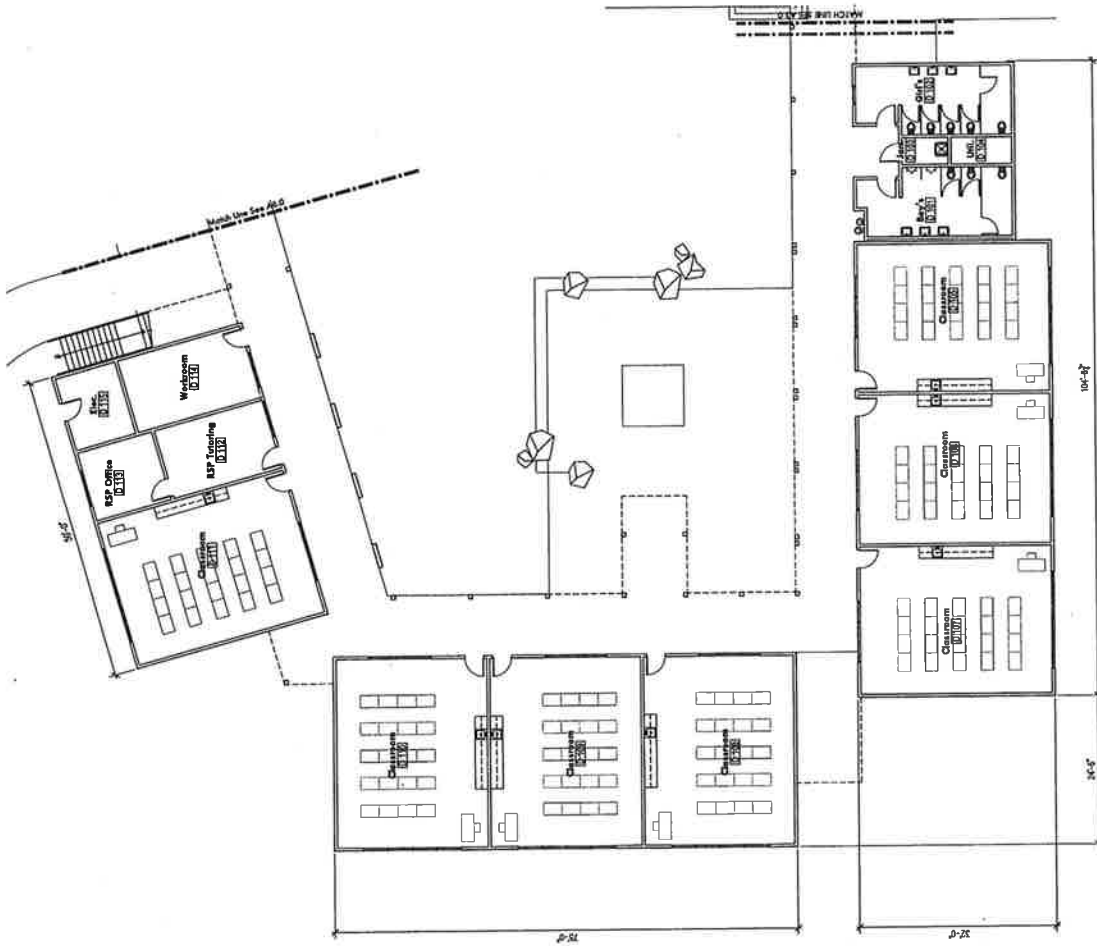


R.U.S. School - 11/2/10
 R.U.S. School - 12/2/10
 R.U.S. School - 1/7/11

Building C - Floor Plan
 P.L.P. #907
 Brad Burke Architect
A4.0

Santa Rosa Academy
 Riverside County, California





Building D - 1st Floor
 P.U.P. #907
 Brad Burke Architect
A5.0

11/15/2010	11/15/2010
11/15/2010	11/15/2010
11/15/2010	11/15/2010
11/15/2010	11/15/2010
11/15/2010	11/15/2010
11/15/2010	11/15/2010
11/15/2010	11/15/2010
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11/15/2010	11/15/2010
11/15/2010	11/15/2010

Santa Rosa Academy
 Riverside County, California

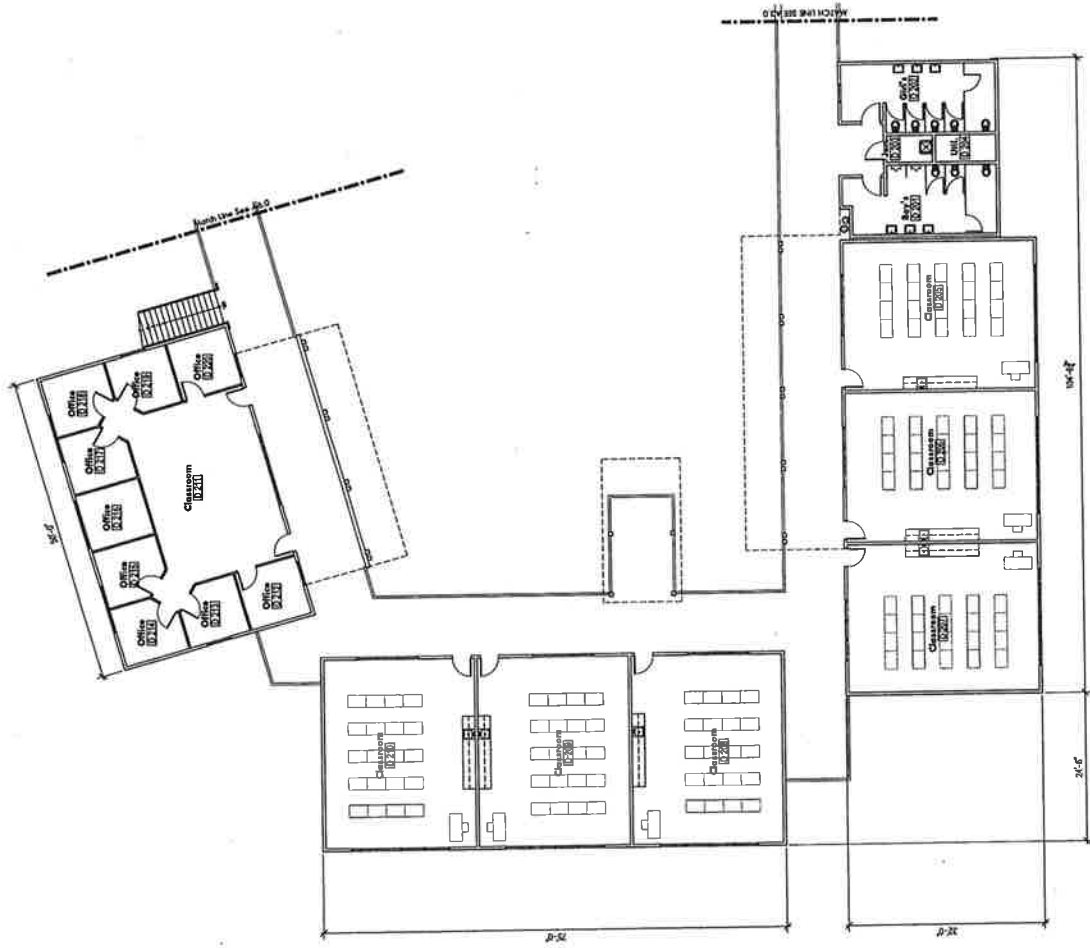
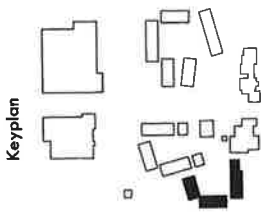
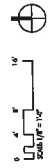


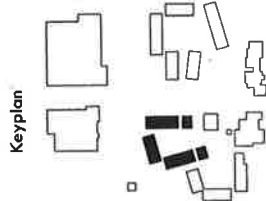
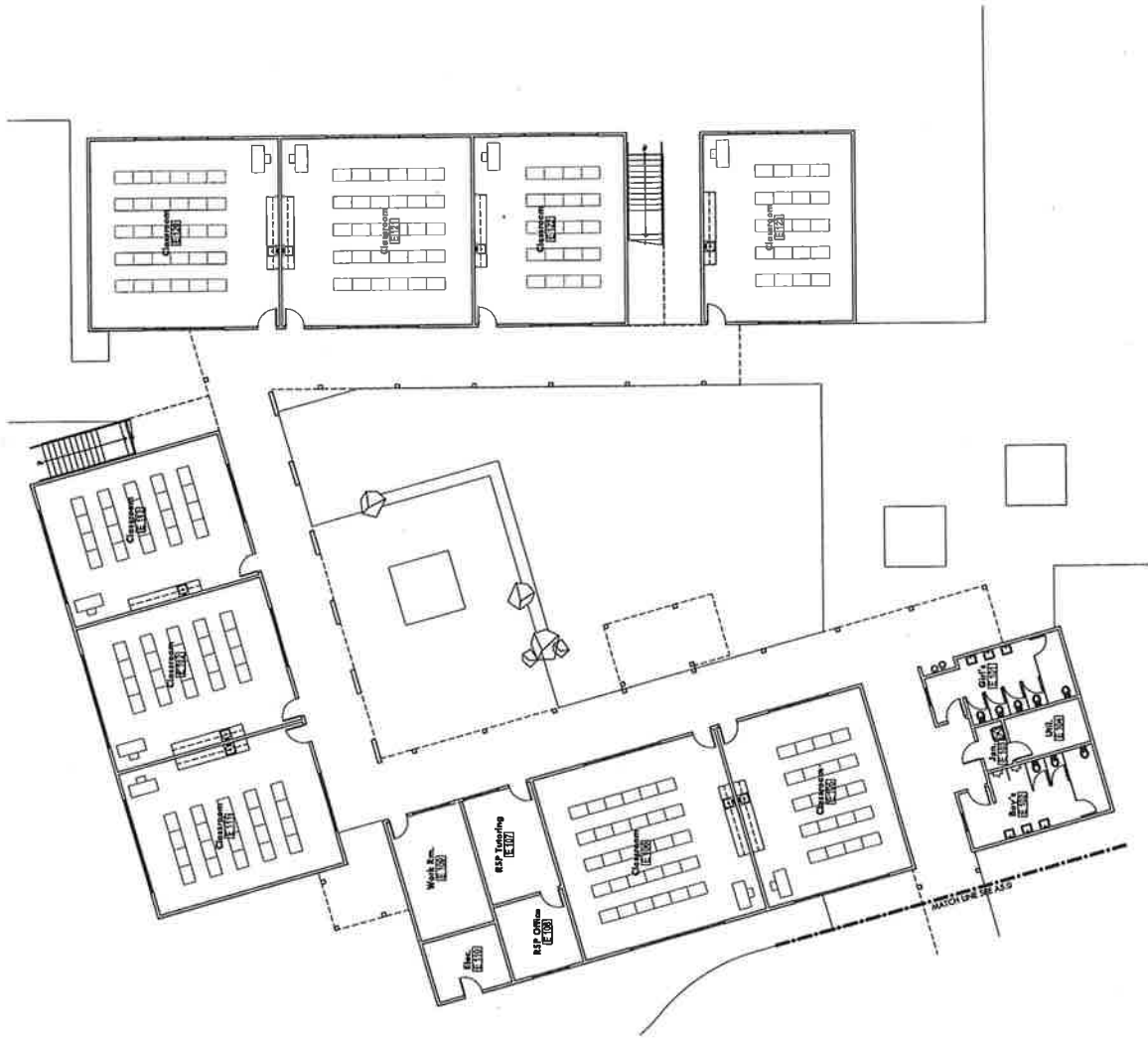


Santa Rosa Academy
Riverside County, California

010, Sub-Item - 11/27/10
 010, Re-Schedule - 12/23/10
 010, Re-Schedule - 1/27/11

Building D - 2nd Floor
 P.O. # 9907
 Brad Burke Architect
A5.1



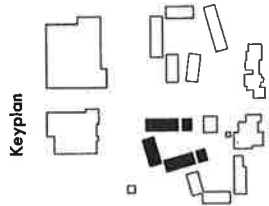
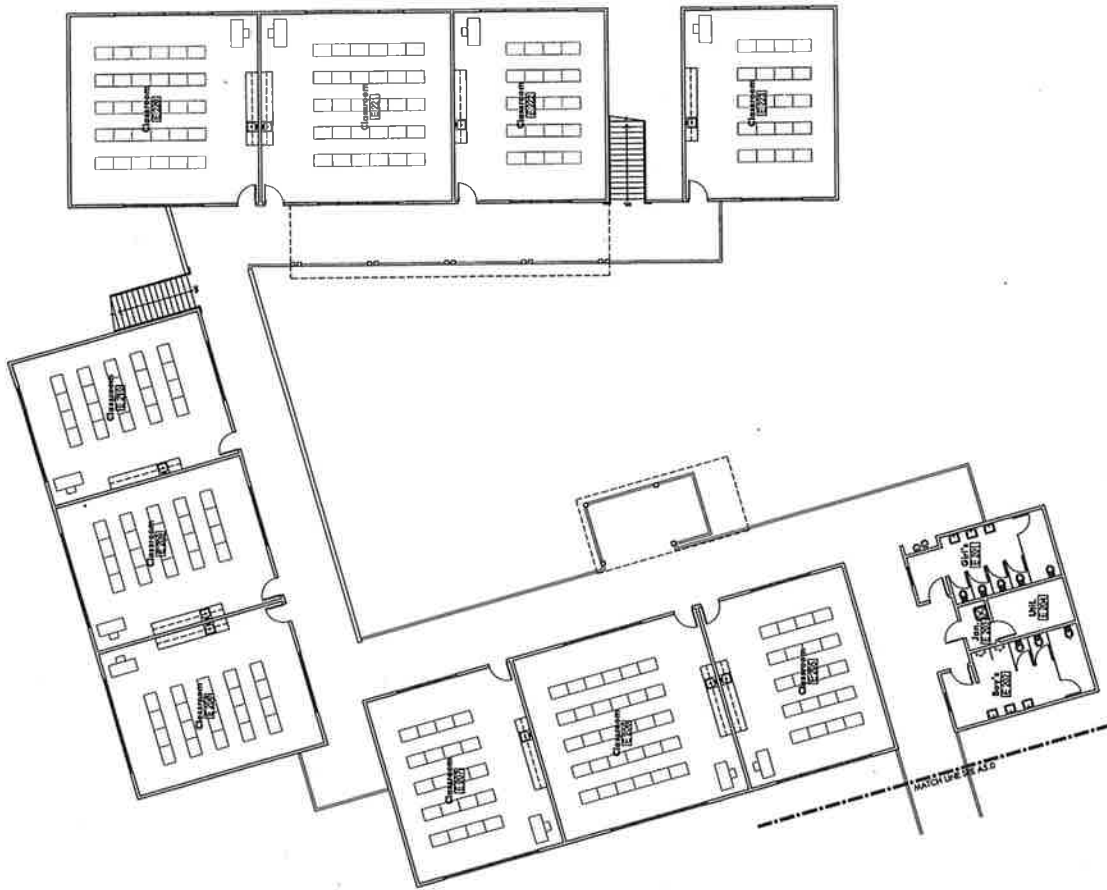


Building E - 1st Floor
 P.L.P. #907
 Brad Burke Architect
A6.0

P.L.P. Schedule - 11/20/06
P.L.P. Re-Submittal - 12/21/06
P.L.P. Re-Submittal - 1/17/07

Santa Rosa Academy
 Riverside County, California



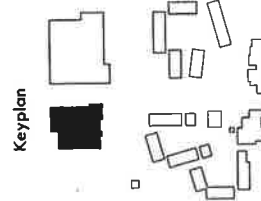
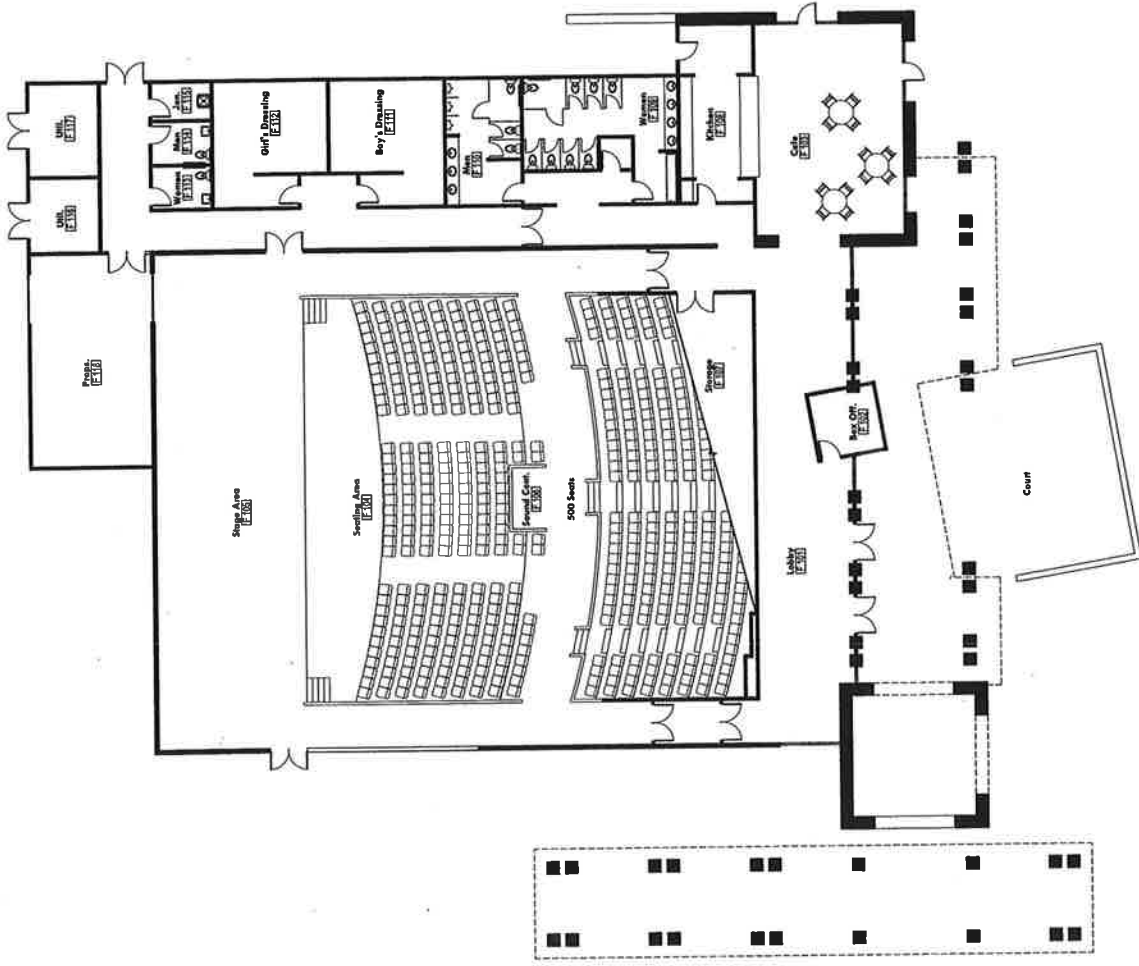


Building E - 2nd Floor
 P.U.P. #907
 Brad Burke Architect
A6.1

2012, Submitted - 11/27/10
2012, Approved - 11/27/10
2012, Re-Submitted - 11/27/10

Santa Rosa Academy
 Riverside County, California



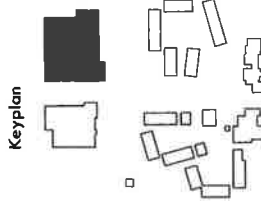
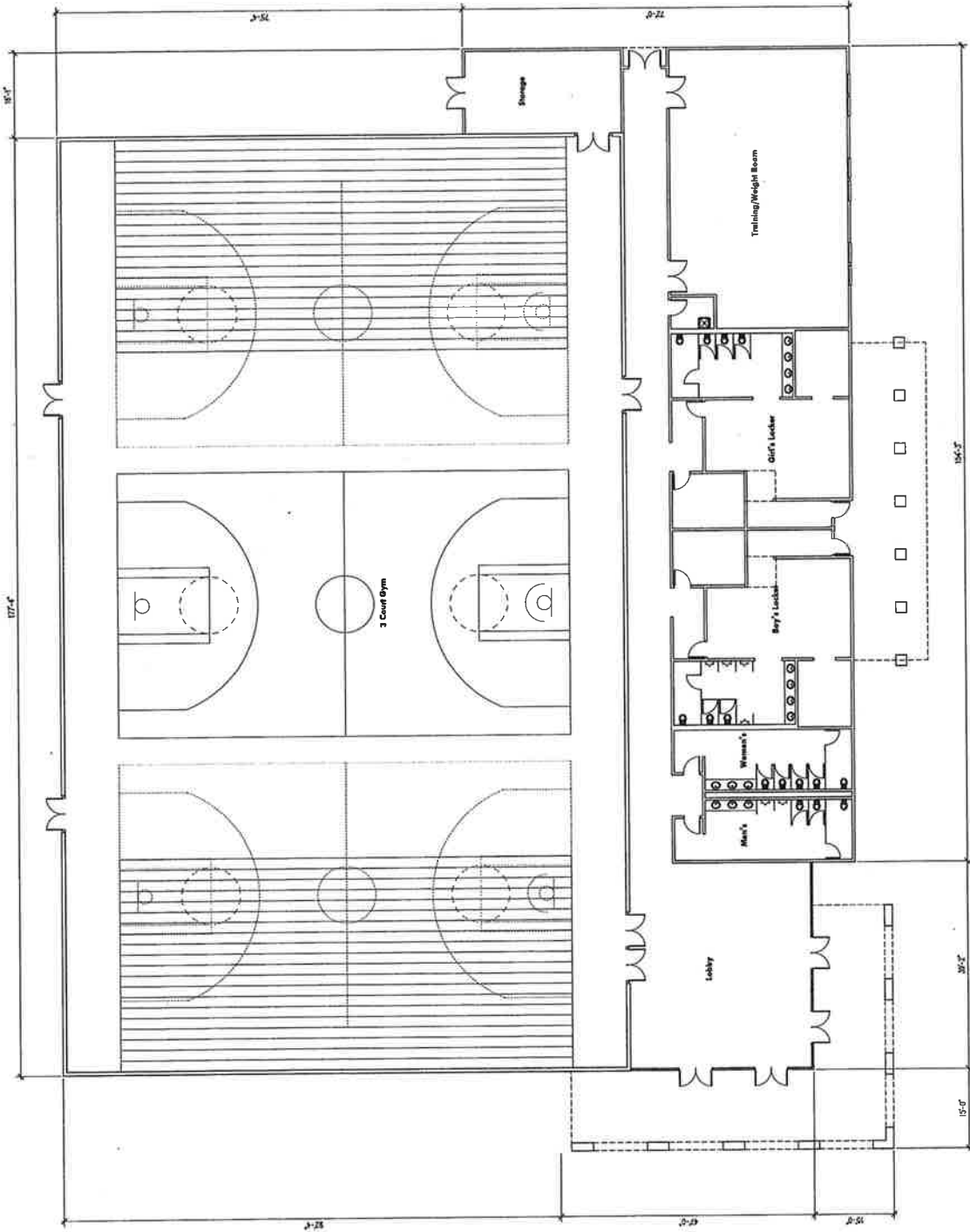


Building F - Floor Plan
 P.L.P. #907
 Brad Burke Architect
A7.0

P.L.P. Schedule - 11/27/10
P.L.P. Schedule - 12/27/10
P.L.P. Schedule - 1/17/11

Santa Rosa Academy
 Riverside County, California





P.L.P. Submittal - 11/27/10
 P.L.P. Re-Submittal - 12/27/10
 P.L.P. Re-Submittal - 1/17/11
Building G - Floor Plan
 P. L. P. 49907
 Brad Burke Architect
A8.0

Santa Rosa Academy
 Riverside County, California

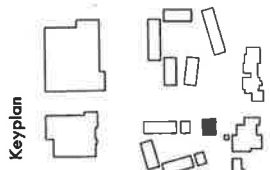




Santa Rosa Academy
Riverside County, California

DATE	11/12/10
BY	12/23/10
REVISION	1/17/11

Pavilion - Floor Plan
P.L.P. #907
Brad Burke Architect
A9.0



■ Exterior Light Fixtures

- K. Mechanical Unit - Screened by Parapet
- L. Concealed Downspout - Exposed at Roof for gutter and wall connection (Galv. Finish)

- J. Site Walls and Trellis Columns - Stone Veneer/Plaster (color plaster to match building)

- I. Roofing
 - H1. Built-up of flat
 - H2. Clay tile (Mission Red)
 - H3. Standing seam metal (Color Anodized)

- G. Exterior Walls - Precast Concrete

- F. Guardrails/Mendrails - Ornamental ironwork (finish: galvanized)

- E. Exposed Trim - Douglas Fir. (Finish: Medium Brown Stain)

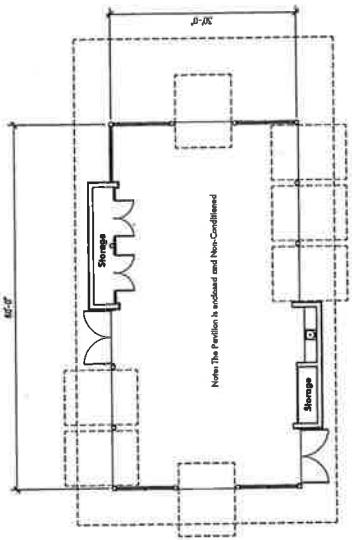
- D. Exposed Framing - Douglas Fir. (Finish: Medium Brown Stain)

- C. Windows - Metal Storefront (Finish: Dark Anodized)

- B. Concrete Walls - Concrete Tilt-up (Color: White)

- A. Typical Walls and Columns - Cement Plaster (Light Mission or Santa Barbara finish - Integral Color: White)

Material



Floor Plan
SCALE: 1/8" = 1'-0"

Material

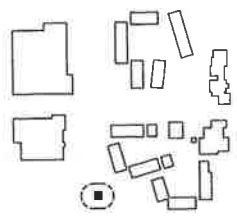
- A. **Typical Walls and Columns - Cement Plaster** (Light Mocha to Santa Barbara Finish - Integral Color: White)
- B. **Concrete Walls - Concrete Tilt-up** (Color: White)
- C. **Windows - Metal Storefront** (Finish: Dark Anodized)
- D. **Exposed Framing - Douglas Fir** (Finish: Medium Brown Stain)
- E. **Exposed Trim - Douglas Fir** (Finish: Medium Brown Stain)
- F. **Guardrails/Handrails - Ornamental ironwork** (finish: galvanized)
- G. **Exterior Stairs - Precast Concrete**
- Roofing**
- M1. **Built-up or flat**
- M2. **Clay tile (Mission Red)**
- M3. **Standing seam metal** (Color: Anodized)
- J. **Site Walls and Trellis Columns - Stone Veneer/Plaster** (color: plaster to match building)
- K. **Mechanical Unit - Screened by Parapet**
- L. **Concealed Downspout - Exposed on Roof for gutter and wall connection.** (Galv. Finish)



Security Office Floor Plan
Scale: 1/4" = 1'-0"

■ Exterior Light Fixtures

Keyplan

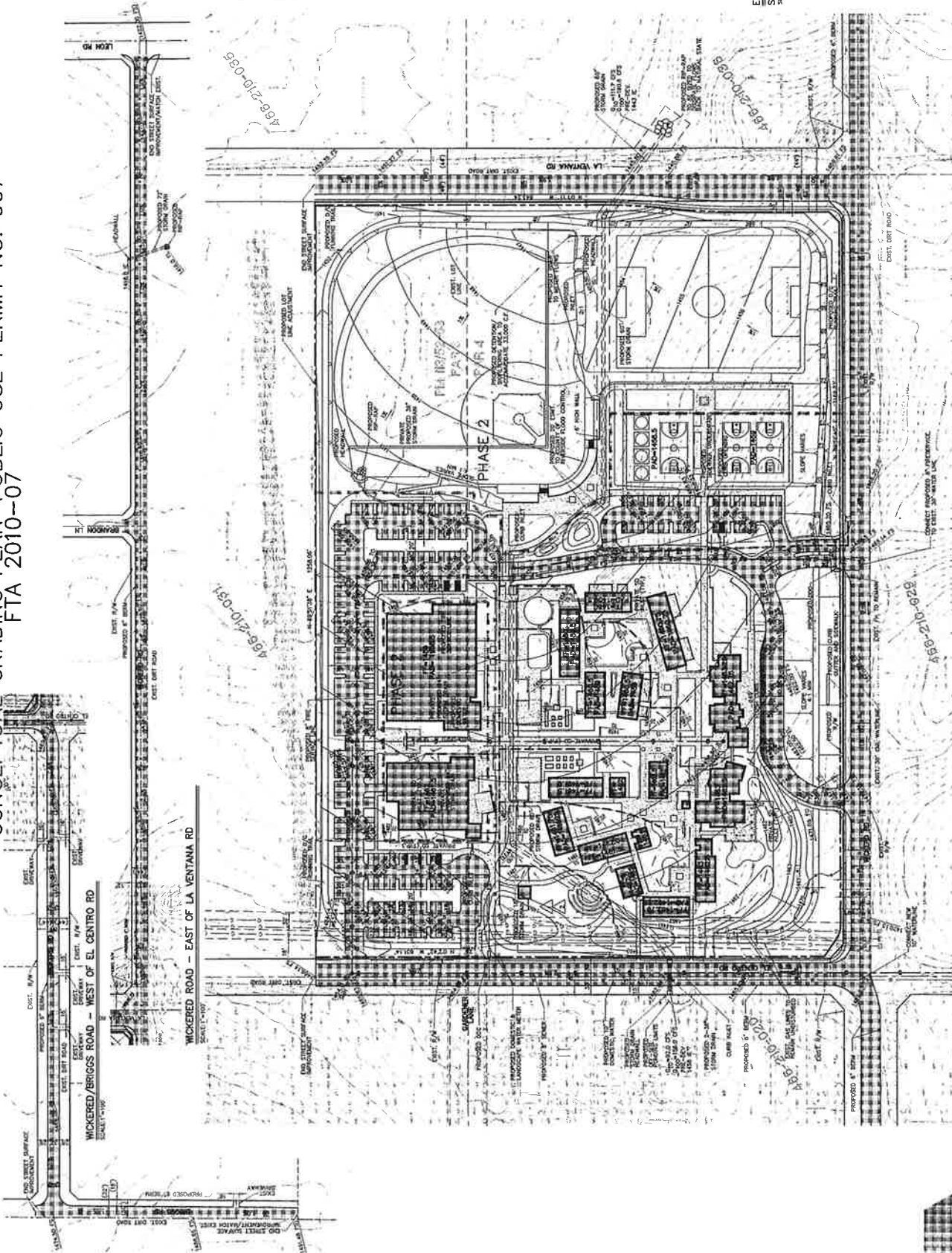


Santa Rosa Academy
Riverside County, California

DATE	11/2/16
BY	ES/MS
DATE	12/28/16
BY	ES/MS
DATE	1/17/17
BY	ES/MS

Security Office
P.U.P. #907
Brad Burke Architects
A10.0

CONCEPTUAL GRADING PLAN—PUBLIC USE PERMIT NO. 907
FTA 2010-07



EL CENTRO ROAD SEWER CONNECTION
SOUTH OF WICKERED
SCALE: 1" = 20'

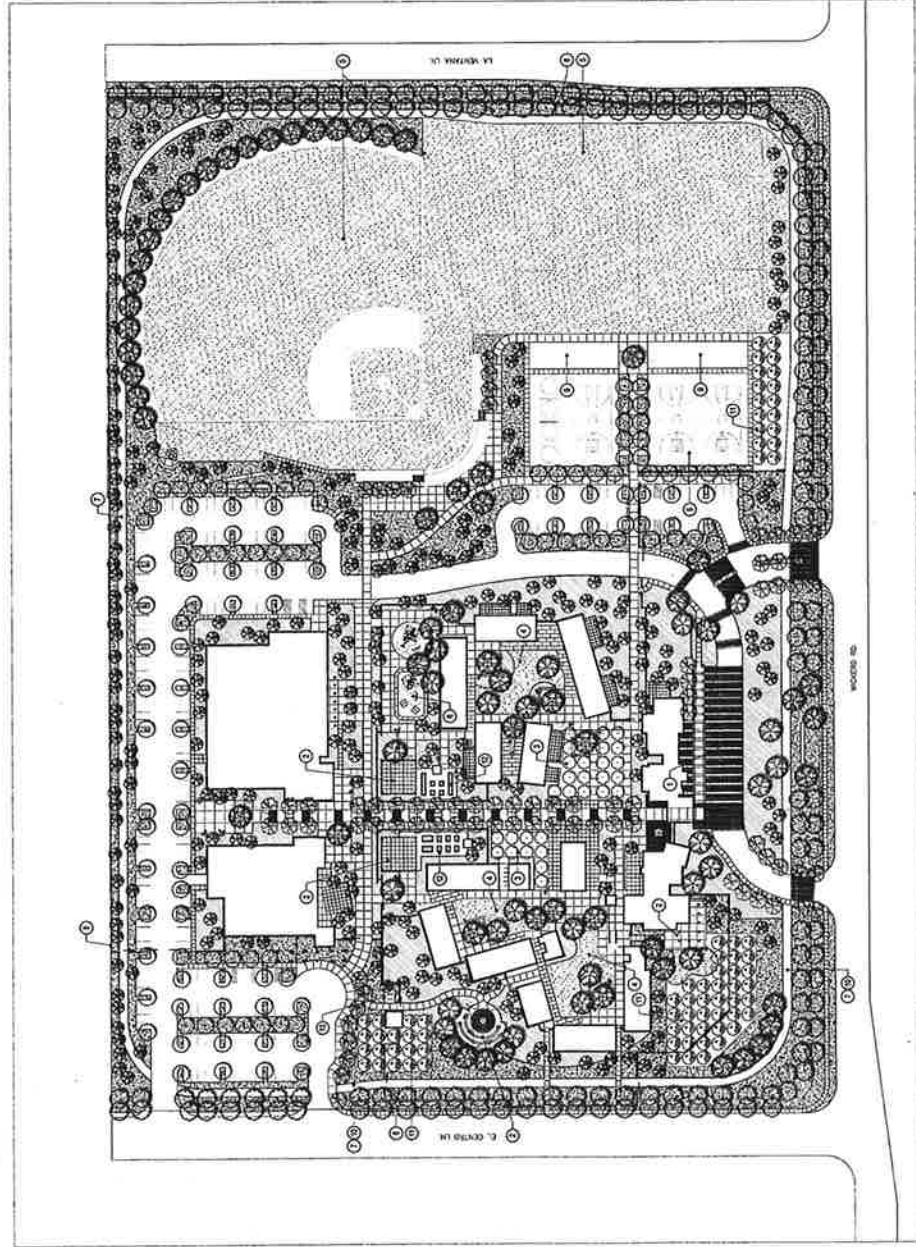


DATE	DESCRIPTION

CONCEPTUAL GRADING PLAN
01-24-11
Brad Burke Architect
C1.1

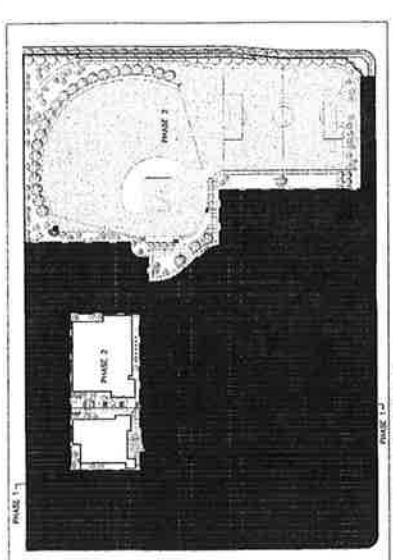
The Santa Rosa Academy
Riverside County, California





1 CONCEPTUAL LANDSCAPE PLAN
SCALE: 1"=40'-0"

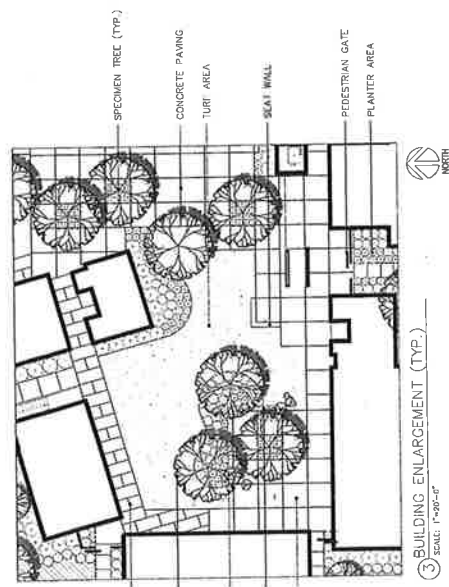
GENERAL LANDSCAPE NOTES:
 A. BARK MULCH SHALL BE INSTALLED TO A DEPTH OF 3" IN ALL SHRUB AREAS AND 1.5" IN ALL FLATTED-GROUNDCOVER AREAS.
 B. LINEAR DEEP ROOT BARRIERS SHALL BE INSTALLED AT ALL TREES THAT ARE WITHIN 6 FT. OF HEDGES, AREAS AS A WHOLE. A "TAXY" GROUND WALL RECALL THE AGRICULTURAL HISTORY OF THE REGION, WHILE SMALL FUNCTIONAL ORCHARDS WITH THE "INVERRED" COUNTY CURIE TO CALIFORNIA FRIENDLY LUNCHING PROGRAM THE PLANTS SELECTED WILL BE CONSISTENT WITH THE "INVERRED" COUNTY CURIE TO CALIFORNIA FRIENDLY GATHERING AREAS. ALL PLANTED AREAS EXCEPT FOR TURT SHALL RECEIVE A LAYER OF BARK MULCH.
 C. 12" CONCRETE WALK-OUTS SHALL BE PROVIDED AT PLANTER AREAS NEXT TO 8" CURBS IN PARKING AREAS.
 D. THE PLANTING & ORIGATION WILL BE OWNER-MAINTAINED (SANTA REBA ACADAMY).
 E. BICYCLE PARKING SHALL BE PROVIDED.
 F. BICYCLE RACKS FOR A MIN. OF 100 SHALL BE PROVIDED.
 G. BICYCLE RACKS SHALL BE PROVIDED.
 H. BICYCLE RACKS SHALL BE PROVIDED.
 I. BICYCLE RACKS SHALL BE PROVIDED.
 J. BICYCLE RACKS SHALL BE PROVIDED.
 K. BICYCLE RACKS SHALL BE PROVIDED.
 L. BICYCLE RACKS SHALL BE PROVIDED.
 M. BICYCLE RACKS SHALL BE PROVIDED.
 N. BICYCLE RACKS SHALL BE PROVIDED.
 O. BICYCLE RACKS SHALL BE PROVIDED.
 P. BICYCLE RACKS SHALL BE PROVIDED.
 Q. BICYCLE RACKS SHALL BE PROVIDED.
 R. BICYCLE RACKS SHALL BE PROVIDED.
 S. BICYCLE RACKS SHALL BE PROVIDED.
 T. BICYCLE RACKS SHALL BE PROVIDED.
 U. BICYCLE RACKS SHALL BE PROVIDED.
 V. BICYCLE RACKS SHALL BE PROVIDED.
 W. BICYCLE RACKS SHALL BE PROVIDED.
 X. BICYCLE RACKS SHALL BE PROVIDED.
 Y. BICYCLE RACKS SHALL BE PROVIDED.
 Z. BICYCLE RACKS SHALL BE PROVIDED.



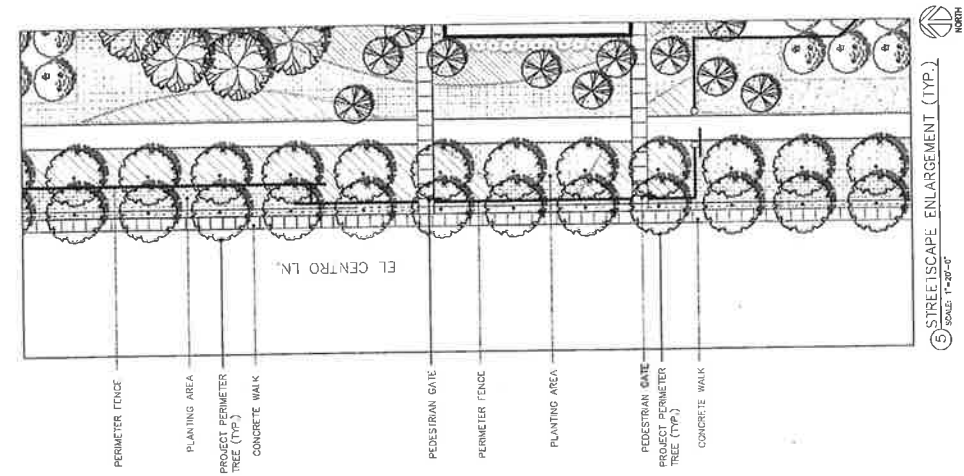
2 LANDSCAPE PHASING PLAN
SCALE: 1"=40'-0"

NOTE: AREA OF PHASE 2 SHALL RECEIVE TEMPORARY HYDRATED (NON-IRRADIATED) OF NATIVE AND/OR MAINTAINED PLANTS UNTIL SUCH TIME THAT THE PHASE 2 MAINTENANCE IS BE WIDE.

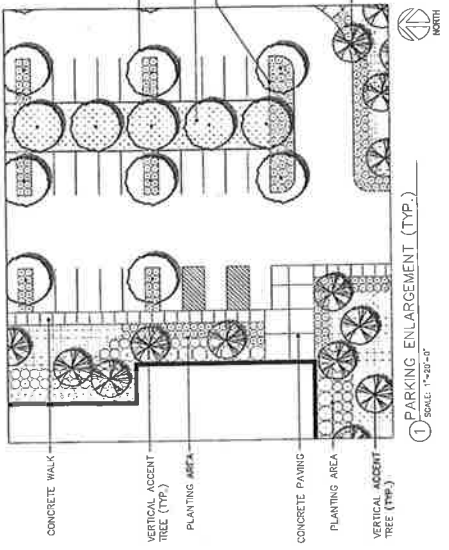
SYMBOL	PLANT / ELEMENT	QUANTITY	INSTALLATION	USE / APPLICATION
1	BRICK PAVING (6" x 6" x 2")	15 GAL	15 GAL	BRICK PAVING
2	BRICK PAVING (6" x 6" x 2")	15 GAL	15 GAL	BRICK PAVING
3	BRICK PAVING (6" x 6" x 2")	15 GAL	15 GAL	BRICK PAVING
4	BRICK PAVING (6" x 6" x 2")	15 GAL	15 GAL	BRICK PAVING
5	BRICK PAVING (6" x 6" x 2")	15 GAL	15 GAL	BRICK PAVING
6	BRICK PAVING (6" x 6" x 2")	15 GAL	15 GAL	BRICK PAVING
7	BRICK PAVING (6" x 6" x 2")	15 GAL	15 GAL	BRICK PAVING
8	BRICK PAVING (6" x 6" x 2")	15 GAL	15 GAL	BRICK PAVING
9	BRICK PAVING (6" x 6" x 2")	15 GAL	15 GAL	BRICK PAVING
10	BRICK PAVING (6" x 6" x 2")	15 GAL	15 GAL	BRICK PAVING
11	BRICK PAVING (6" x 6" x 2")	15 GAL	15 GAL	BRICK PAVING
12	BRICK PAVING (6" x 6" x 2")	15 GAL	15 GAL	BRICK PAVING
13	BRICK PAVING (6" x 6" x 2")	15 GAL	15 GAL	BRICK PAVING
14	BRICK PAVING (6" x 6" x 2")	15 GAL	15 GAL	BRICK PAVING
15	BRICK PAVING (6" x 6" x 2")	15 GAL	15 GAL	BRICK PAVING
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99	BRICK PAVING (6" x 6" x 2")	15 GAL	15 GAL	BRICK PAVING
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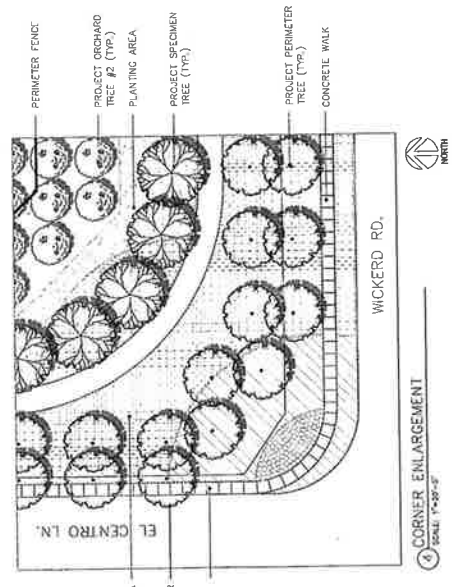
3 BUILDING ENLARGEMENT (TYP.)
SCALE: 1/8"=1'-0"



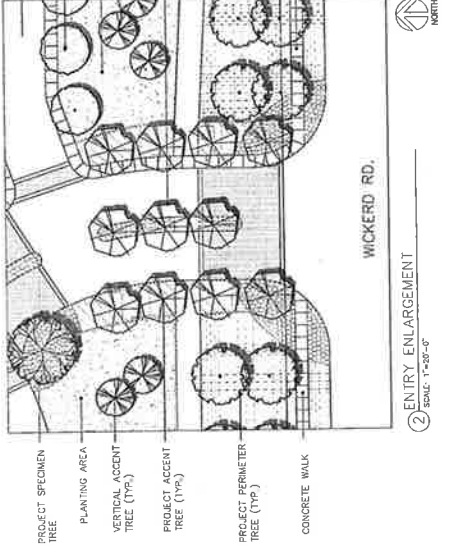
5 STREETSCAPE ENLARGEMENT (TYP.)
SCALE: 1/8"=1'-0"



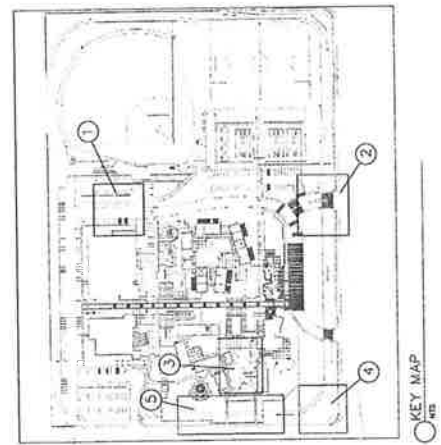
1 PARKING ENLARGEMENT (TYP.)
SCALE: 1/8"=1'-0"



4 CORNER ENLARGEMENT
SCALE: 1/8"=1'-0"



2 ENTRY ENLARGEMENT
SCALE: 1/8"=1'-0"



KEY MAP

NOTE: REFER TO CANDIDATE PLANT LEGEND ON SHEET L1.0 (CONCEPTUAL LANDSCAPE PLAN) FOR ALL PROPOSED TREE, SHRUB AND GROUND COVER SPECIES



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CONCEPTUAL-LANDSCAPE-ENLARGEMENTS-PLAN
JAN-25-2011
Brad Burre Architect
L2.0

The Santa Rosa Academy
Riverside County, California





LAYMANIA MONTICLOSAS - (NO SHOWY FLOWER COLOR)



MALVADENDRA BICOLORIS - (NO SHOWY FLOWER COLOR)



BRACHYRIS PULCHRIS - (NO SHOWY FLOWER COLOR)



NYCTAGINIA SPP. - (NO SHOWY FLOWER COLOR)



NITIDA N. ARIZONA - (NO SHOWY FLOWER COLOR)



FICUS BREVISPINA - (NO SHOWY FLOWER COLOR)



CHALCOPHIS LUNCEAS - (NO SHOWY FLOWER COLOR)



OLEA EUROPAEA - (NO SHOWY FLOWER COLOR)



ELYSIUM BIVICINUM - (NO SHOWY FLOWER COLOR)



LAMARCKIA STRAUSII - (NO SHOWY FLOWER COLOR)



ROSARIOUS SPP. - (NO SHOWY FLOWER COLOR)



SALICARIA SPP. - (NO SHOWY FLOWER COLOR)



FICUS BREVISPINA - (NO SHOWY FLOWER COLOR)



LUCIDARIA STRAUSII - (NO SHOWY FLOWER COLOR)



QUERCUS AGROPHYLLA - (NO SHOWY FLOWER COLOR)



CHAMAELIRIUM CANADENSE - (NO SHOWY FLOWER COLOR)



AGAVE SPP. - (NO SHOWY FLOWER COLOR)



MANGROVE SPP. - (NO SHOWY FLOWER COLOR)



MELISSA NECTARIFERA - (NO SHOWY FLOWER COLOR)



POMPILIDAE - (NO SHOWY FLOWER COLOR)



PASCALIA BREVISPINA - (NO SHOWY FLOWER COLOR)



QUERCUS AGROPHYLLA - (NO SHOWY FLOWER COLOR)



PASTINACA SPP. - (NO SHOWY FLOWER COLOR)



RIBES CALIFORNICUM - (NO SHOWY FLOWER COLOR)



ALOE SPP. - (NO SHOWY FLOWER COLOR)



MANGROVE SPP. - (NO SHOWY FLOWER COLOR)



MELISSA NECTARIFERA - (NO SHOWY FLOWER COLOR)



POMPILIDAE - (NO SHOWY FLOWER COLOR)



PASCALIA BREVISPINA - (NO SHOWY FLOWER COLOR)



QUERCUS AGROPHYLLA - (NO SHOWY FLOWER COLOR)



PASTINACA SPP. - (NO SHOWY FLOWER COLOR)



RIBES CALIFORNICUM - (NO SHOWY FLOWER COLOR)



ALOE SPP. - (NO SHOWY FLOWER COLOR)



MANGROVE SPP. - (NO SHOWY FLOWER COLOR)



MELISSA NECTARIFERA - (NO SHOWY FLOWER COLOR)



POMPILIDAE - (NO SHOWY FLOWER COLOR)



PASCALIA BREVISPINA - (NO SHOWY FLOWER COLOR)



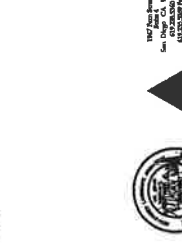
QUERCUS AGROPHYLLA - (NO SHOWY FLOWER COLOR)



PASTINACA SPP. - (NO SHOWY FLOWER COLOR)



RIBES CALIFORNICUM - (NO SHOWY FLOWER COLOR)



ALOE SPP. - (NO SHOWY FLOWER COLOR)



MANGROVE SPP. - (NO SHOWY FLOWER COLOR)



MELISSA NECTARIFERA - (NO SHOWY FLOWER COLOR)



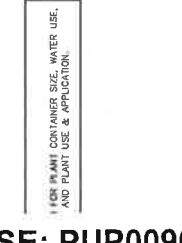
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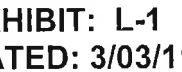
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QUERCUS AGROPHYLLA - (NO SHOWY FLOWER COLOR)



PASTINACA SPP. - (NO SHOWY FLOWER COLOR)



RIBES CALIFORNICUM - (NO SHOWY FLOWER COLOR)



IVY Landscape Architecture
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CONCEPTUAL-LANDSCAPE-IMAGERY
JAN-25-2011
Brad Burke Architect
L3.0

LANDSCAPE CONCEPT THEORY
THE PLANT PALETTE HAS BEEN SELECTED IN ORDER TO STRESS AND REINFORCE A QUALITY LEARNING ENVIRONMENT FOR THE STUDENT AND STAFF POPULATION WHILE CAPTURING THE ESSENCE OF THE WHOLE AGRICULTURAL HISTORY OF THE REGION. THE PLANTS SELECTED WILL BE CONSISTENT WITH THE HISTORIC COUNTY GUIDE TO CALIFORNIA FRIENDLY PLANTING AREAS. ALL PLANTED AREAS EXCEPT FOR TURF SHALL RECEIVE A LAYER OF BARK MULCH.

PLANT PALETTE
FOR PLANT COMPANION SIZE, WATER USE, AND PLANT USE & APPLICATION.

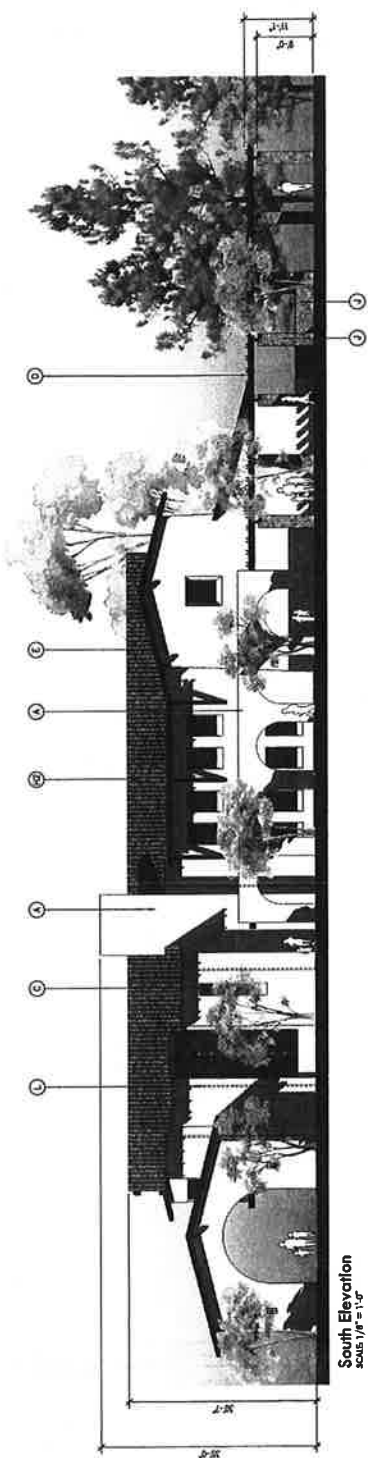
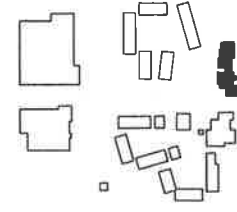
The Santa Rosa Academy
Riverside County, California

Material

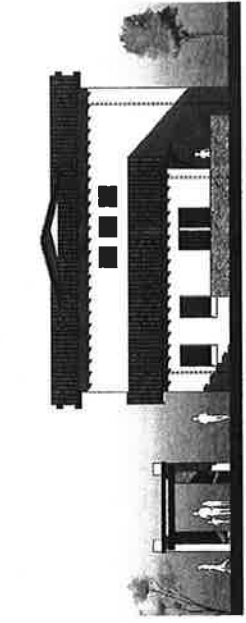
- A. Typical Walls and Columns - Cement Plaster (Light Mission to Santa Barbara finish - Integral Color: White)
- B. Concrete Walls - Concrete Tilt-up (Color: White)
- C. Windows - Metal Storefront (Finish: Dark Anodized)
- D. Exposed Framing - Douglas Fir (Finish: Medium Brown Stain)
- E. Exposed Trim - Douglas Fir (Finish: Medium Brown Stain)
- F. Guardrails/Handrails - Ornamental ironwork (finish: galvanized)
- G. Exterior Stairs - Precast Concrete
- Roofing**
- H1. Built-up on flat
- H2. Clay tile (Mission Red)
- H3. Standing seam metal (Color: Anodized)
- J. Site Walls and Trellis Columns - Stone Veneer/Plaster (color: plaster to match building)
- K. Mechanical Unit - Screened by Parapet
- L. Concealed Downpour - Exposed at Roof for gutter and wall connection. (Galv. Finish)

■ Exterior Light Fixtures

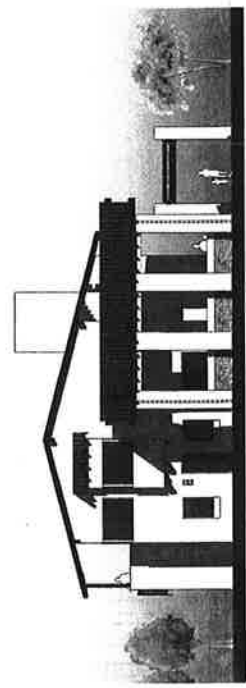
Keyplan



South Elevation
SCALE: 1/8" = 1'-0"



East Elevation
SCALE: 1/8" = 1'-0"

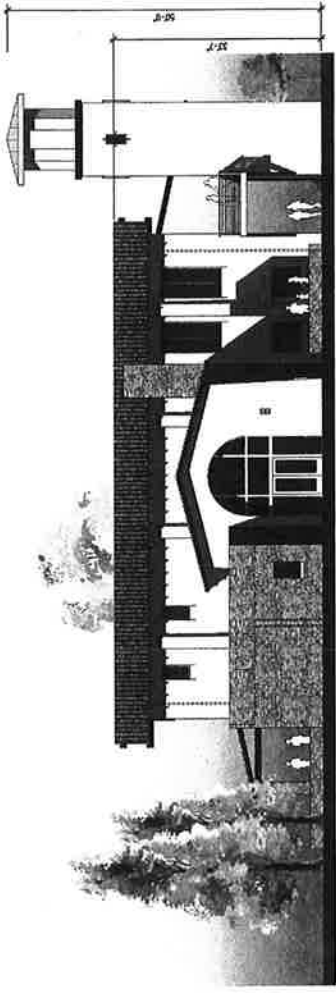


West Elevation
SCALE: 1/8" = 1'-0"

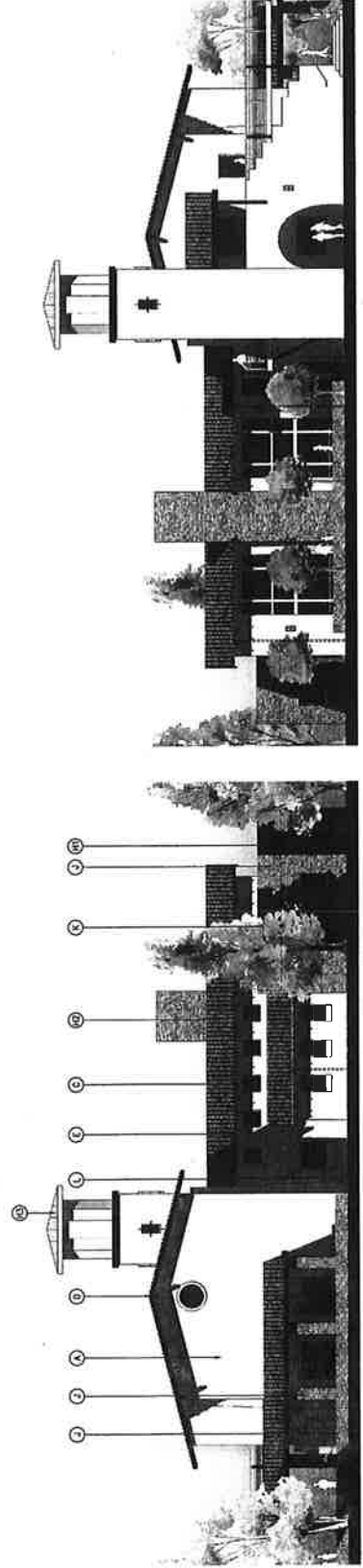


North Elevation
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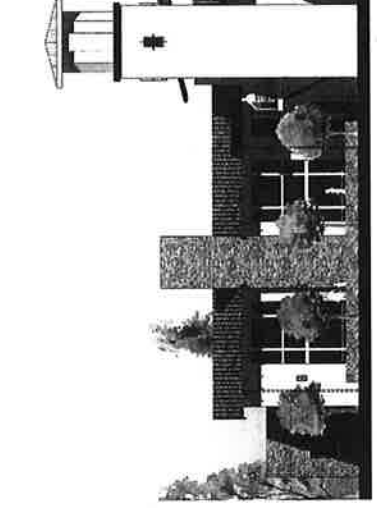
P.U.P. Submittal - 11/2/10
P.U.P. Revision - 12/2/10
P.U.P. Revision - 1/27/11
P.U.P. Revision - 1/27/11



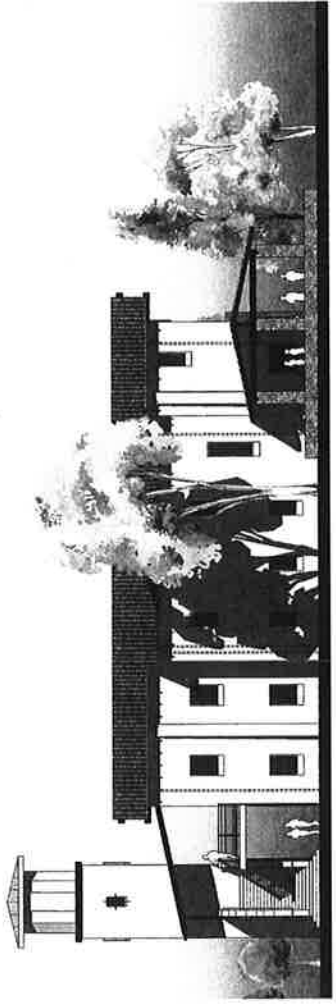
East Elevation
SCALE 1/8" = 1'-0"



South Elevation
SCALE 1/8" = 1'-0"



North Elevation
SCALE 1/8" = 1'-0"



West Elevation
SCALE 1/8" = 1'-0"

Material

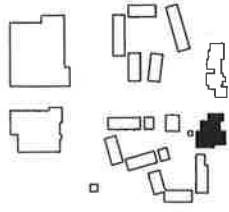
- A. Typical Walls and Columns - Cement Plaster (Light Mission to Santa Barbara finish - Integral Color: White)
- B. Concrete Walls - Concrete Tilt-up (Color: White)
- C. Windows - Metal Stonefront (Finish: Dark Anodized)
- D. Exposed Framing - Douglas Fir (Finish: Medium Brown Stain)
- E. Exposed Trim - Douglas Fir (Finish: Medium Brown Stain)
- F. Guardrails/Handrails - Ornamental ironwork (finish: galvanized)
- G. Exterior Stairs - Precast Concrete

Roofing

- H1. Built-up on flat
- H2. Clay tile (Mission Red)
- H3. Standing seam metal (Color: Anodized)
- J. Site Walls and Trellis Columns - Stone Veneer/Plaster (color: plaster to match building)
- K. Mechanical Unit - Screened by Parapet
- L. Concealed Downspout - Exposed at Roof for gutter and wall connection. (Galv. Finish)

■ Exterior Light Fixtures

Keyplan

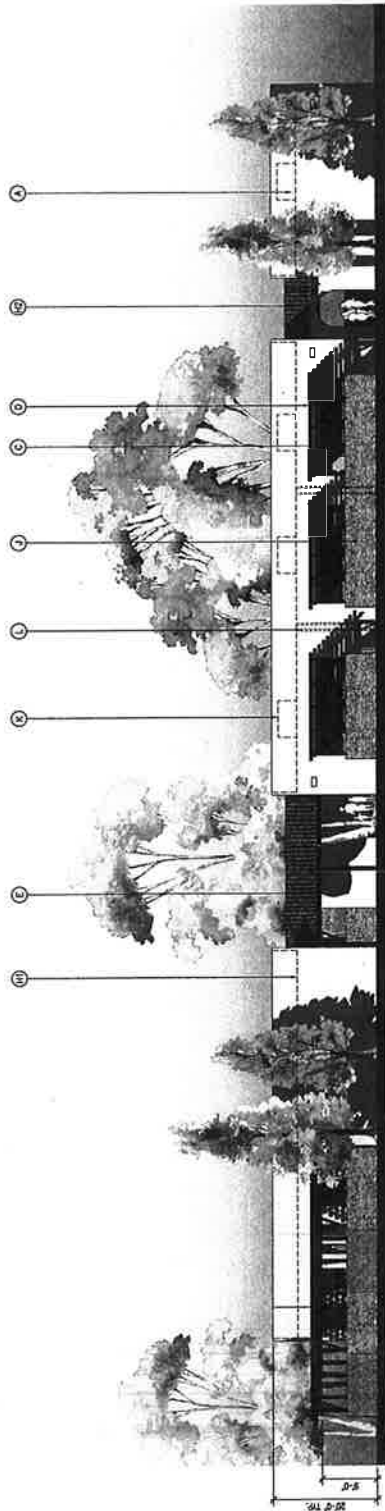


Building B - Elevations
P.U.P. #9907
Brad Burke Architect
A3.2c

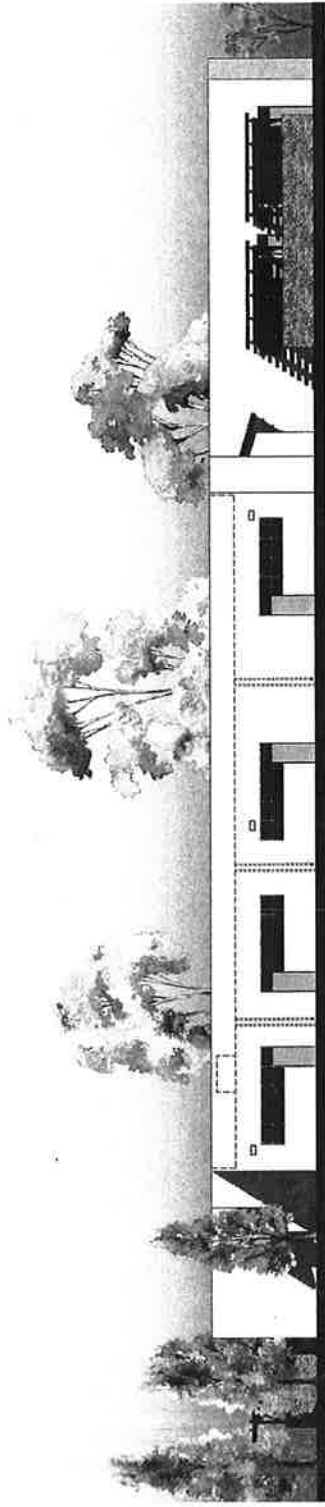
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Rev. Schedule	1/23/10
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Rev. Schedule	1/23/10

Santa Rosa Academy
Riverside County, California

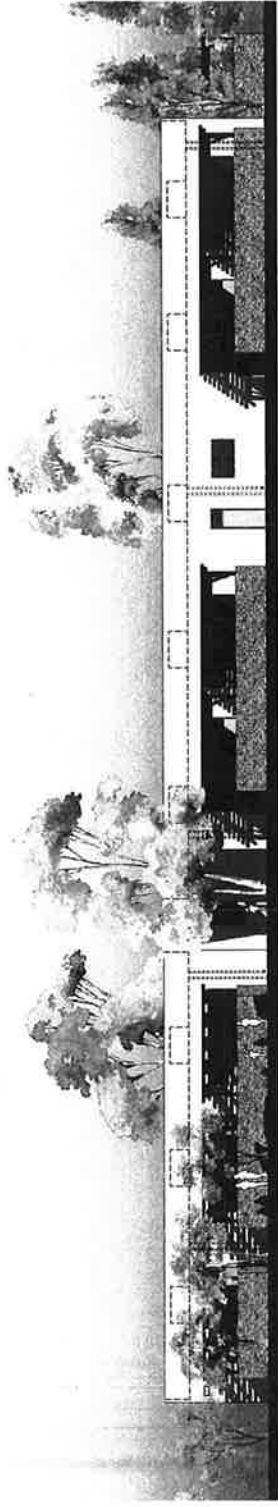




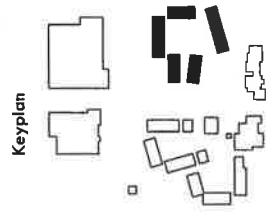
East Elevation
 Scale: 1/8" = 1'-0"



North Elevation
 Scale: 1/8" = 1'-0"



South Elevation
 Scale: 1/8" = 1'-0"



Material

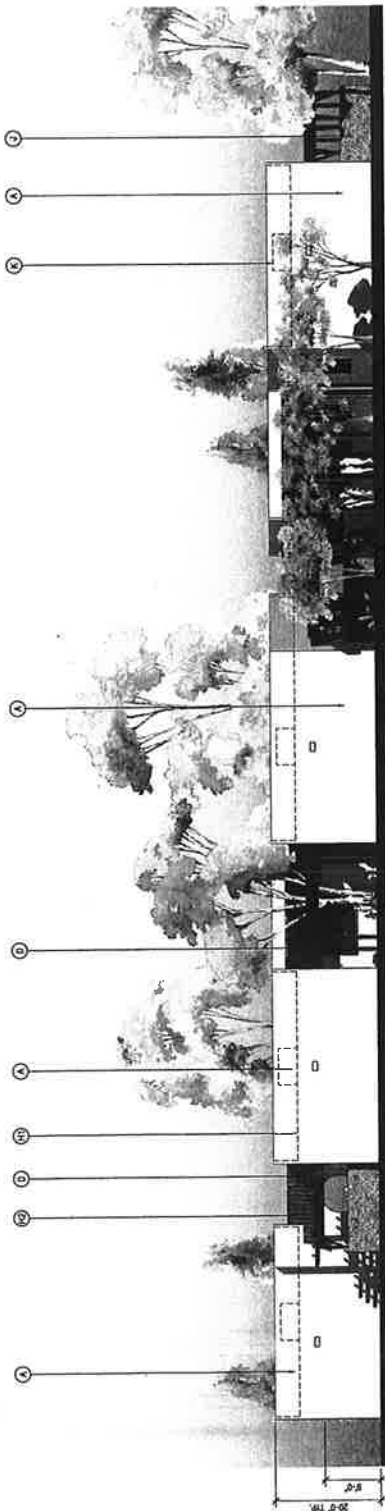
- A. Typical Walls and Columns - Cement Plaster (Light Mission to Santa Barbara finish - Integral Color: White)
- B. Concrete Walls - Concrete Tilt-up (Color: White)
- C. Windows - Metal Storefront (Finish: Dark Anodized)
- D. Exposed Framing - Douglas Fir (Finish: Medium Brown Stain)
- E. Exposed Trim - Douglas Fir (Finish: Medium Brown Stain)
- F. Guardrails/Handrails - Ornamental ironwork (finish: galvanized)
- G. Exterior Stairs - Precast Concrete
- H. Roofing
 - H1. Built-up at flat
 - H2. Clay tile (Mission Red)
 - H3. Standing seam metal (Color: Anodized)
- J. Site Walls and Trellis Columns - Stone Veneer/Plaster (color: plaster to match building)
- K. Mechanical Unit - Screened by Parapet
- L. Concealed Downpour - Exposed at Roof for gutter and wall connection. (Galv. Finish)

■ Exterior Light Fixtures

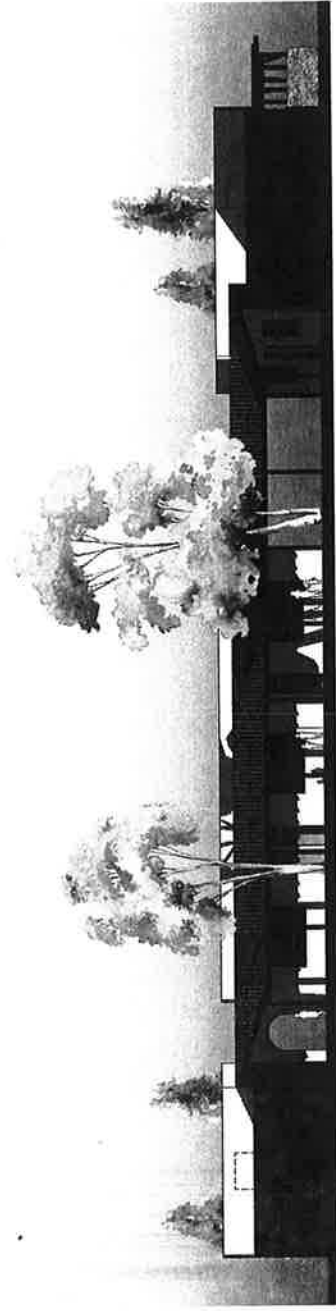
Building C - Elevations
 P.O. # 9907
 Brad Burke Architect
A4.1c

DATE	11/27/10
BY	BR
FOR	BR
PROJECT	BR
REVISION	BR

Santa Rosa Academy
 Riverside County, California



West Elevation
SCALE 1/8" = 1'-0"



West Court Elevation
SCALE 1/8" = 1'-0"



South Court Elevation
SCALE 1/8" = 1'-0"

Material

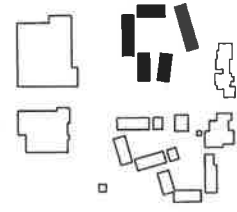
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- B. Concrete Walls - Concrete Tilt-up (Color: White)
- C. Windows - Metal Storefront (Finish: Dark Anodized)
- D. Exposed Framing - Douglas Fir. (Finish: Medium Brown Stain)
- E. Exposed Trim - Douglas Fir. (Finish: Medium Brown Stain)
- F. Guardrails/Handrails - Ornamental ironwork (finish: galvanized)
- G. Exterior Stairs - Precast Concrete

Roofing

- H1. Built-up on flat
- H2. Clay tile (Mission Red)
- H3. Standing seam metal (Color: Anodized)
- J. Site Walls and Trellis Columns - Stone Veneer/Plaster (color: plaster to match building)
- K. Mechanical Unit - Screened by Parapet
- L. Ceaseless Downspout - Exposed at Roof for gutter and wall connection. (Galv. Finish)

Exterior Light Fixtures

Keyplan

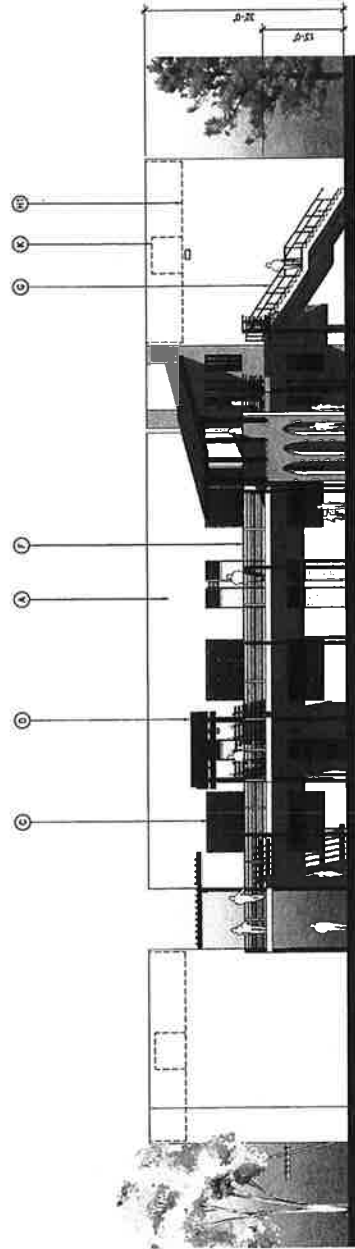


Building C - Elevations
P.U.P. #900
Brad Burke Architects
A4.2c

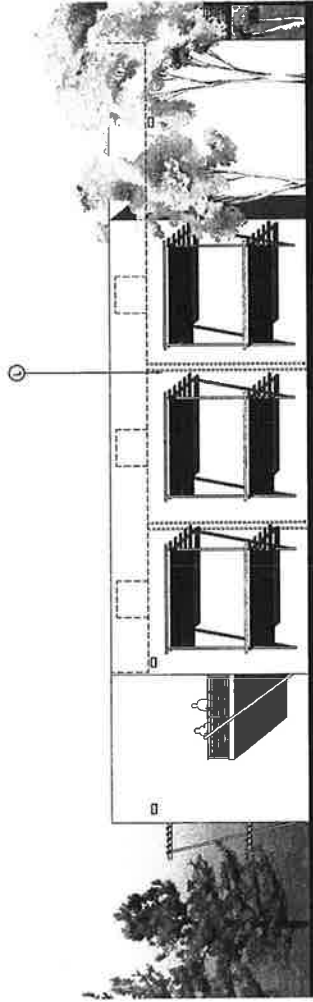
P.U.P. Submitted - 11/2/10
P.U.P. No-Submitted - 12/3/10
P.U.P. No-Submitted - 1/27/11

Santa Rosa Academy
Riverside County, California

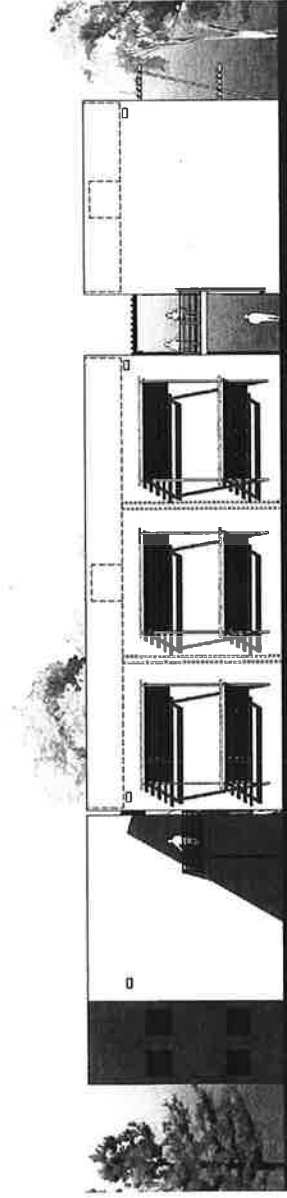




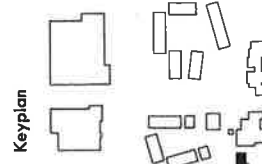
East Elevation
SCALE: 1/8" = 1'-0"



South Elevation
SCALE: 1/8" = 1'-0"



West Elevation
SCALE: 1/8" = 1'-0"



Keyplan

Material

- A. Typical Walls and Columns - Cement Plaster (Light Mission to Santa Barbara finish - Integral Color: White)
- B. Concrete Walls - Concrete Tilt-up (Color: White)
- C. Windows - Metal Scaffolding (Finish: Dark Anodized)
- D. Exposed Framing - Douglas Fir (Finish: Medium Brown Stain)
- E. Exposed Trim - Douglas Fir (Finish: Medium Brown Stain)
- F. Guardrails/Randrails - Ornamental Ironwork (finish: galvanized)
- G. Exterior Stairs - Precast Concrete

Roofing

- H1. Built-up or flat
- H2. Clay tile (Mission Red)
- H3. Standing seam metal (Color: Anodized)

- J. Site Walls and Trellis Columns - Stone Veneer/Plaster (color: plaster to match building)

- K. Mechanical Unit - Screened by Parapet

- L. Concealed Downspout - Exposed at roof for gutter and wall connection. (Galv. finish)

- M. Exterior Light Fixtures

PLS Schedule - 11/27/10
PLS Rev Schedule - 12/27/10
PLS Rev Schedule - 1/17/11

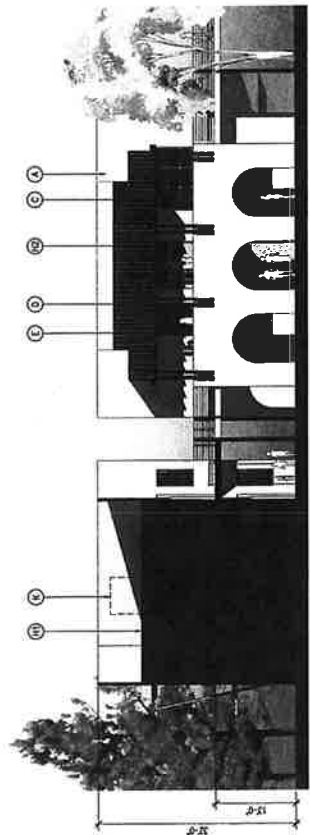




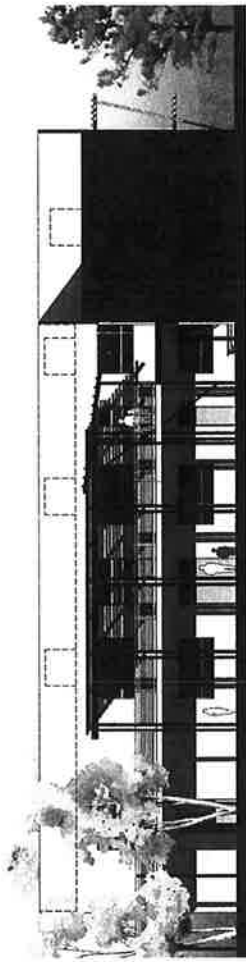
Santa Rosa Academy
Riverside County, California

010 - Schedule - 11/27/10
 010 - Re-Schedule - 12/23/10
 010 - Re-Schedule - 1/17/11

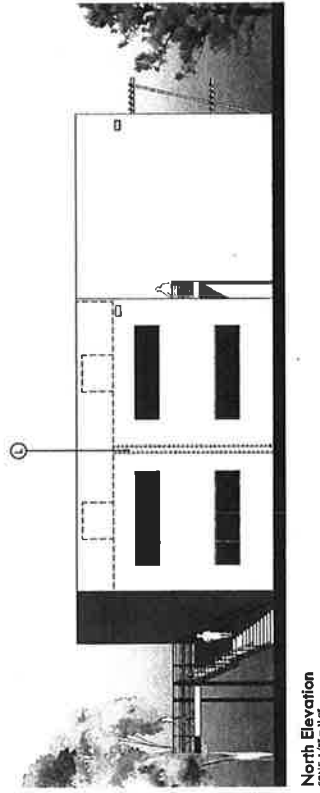
Building D - Elevations
 P.O.P. #907
 Brad Burke Architect
A5.3c



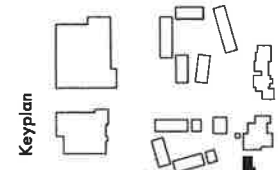
South-Court Elevation
Scale: 1/8" = 1'-0"



East-Court Elevation
Scale: 1/8" = 1'-0"



North Elevation
Scale: 1/8" = 1'-0"



Keyplan

Material

- A. Typical Walls and Columns - Cement Plaster (Light Mission to Santa Barbara finish - Integral Color: White)
 - B. Concrete Walls - Concrete Tilt-up (Color: White)
 - C. Windows - Metal Scaffolding (Finish: Dark Anodized)
 - D. Exposed Framing - Douglas Fir (Finish: Medium Brown Stain)
 - E. Exposed Trim - Douglas Fir (Finish: Medium Brown Stain)
 - F. Guardsills/Handrails - Ornamental ironwork (finish: galvanized)
 - G. Exterior Stairs - Precast Concrete
- Roofing**
- H1. Built-up at flat
 - H2. Clay tile (Mission Red)
 - H3. Standing seam metal (Color: Anodized)
- J. Site Walls and Trellis Columns - Stone Veneer/Plaster (color: plaster to match building)
 - K. Mechanical Unit - Screened by Parapet
 - L. Concealed Downpour - Exposed at Roof for gutter and wall connection. (Galv. Finish)

■ Exterior Light Fixtures

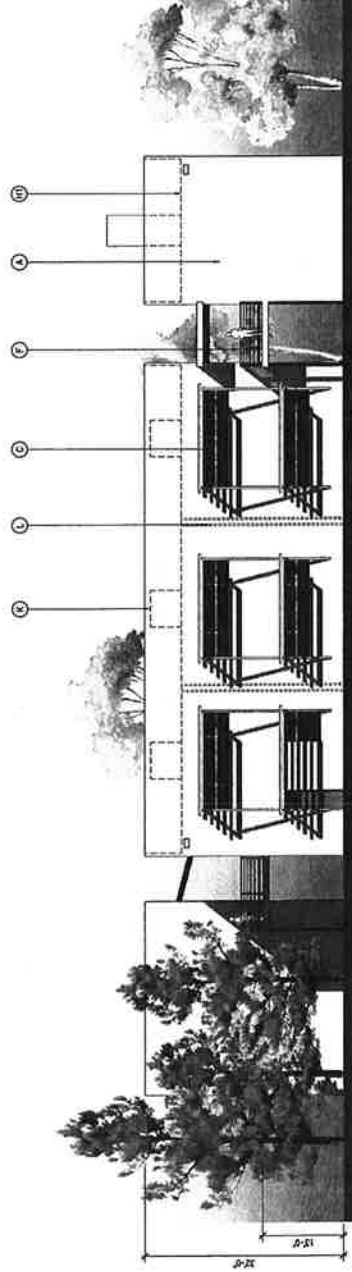
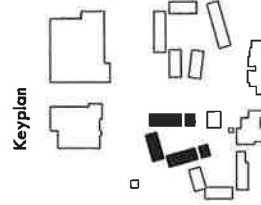
Material

- A. Typical Walls and Columns - Cement Plaster (Light Mission to Santa Barbara finish - Integral Color: White)
- B. Concrete Walls - Concrete Tilt-up (Color: White)
- C. Windows - Metal Storefront (Finish: Dark Anodized)
- D. Exposed Framing - Douglas Fir. (Finish: Medium Brown Stain)
- E. Exposed Trim - Douglas Fir. (Finish: Medium Brown Stain)
- F. Guardsills/Handrails - Ornamental Ironwork (finish: galvanized)
- G. Exterior Stairs - Precast Concrete

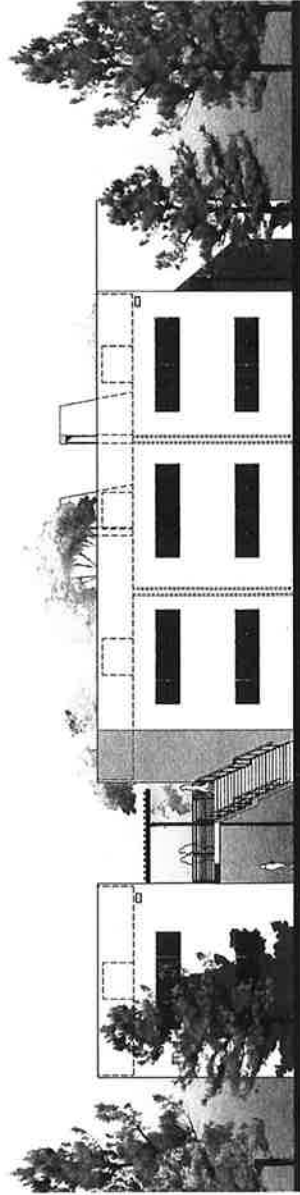
Roofing

- H1. Built-up at flat
- H2. Clay tile (Mission Red)
- H3. Standing seam metal (Color: Anodized)
- J. Site Walls and Trellis Columns - Stone Veneer/Plaster (color plaster to match building)
- K. Mechanical Unit - Screened by Parapet
- L. Concealed Downspout - Exposed at Roof for gutter and wall connection. (Oak Finish)

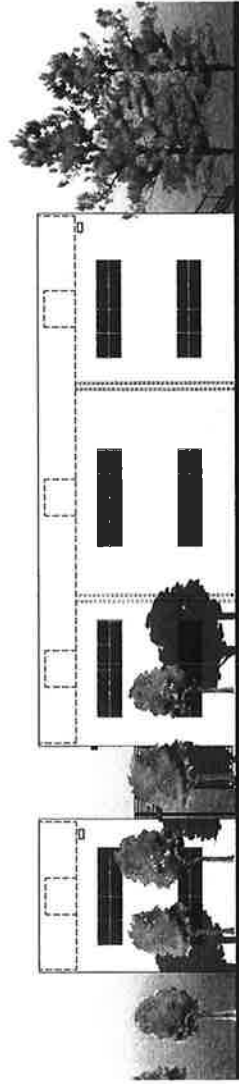
Exterior Light Fixtures



West Elevation
SCALE: 1/8" = 1'-0"



North Elevation
SCALE: 1/8" = 1'-0"



East Elevation
SCALE: 1/8" = 1'-0"



Santa Rosa Academy
Riverside County, California

P.L.P. Submitted - 11/22/10
P.L.P. Re-Submitted - 12/23/10
P.L.P. Re-Submitted - 1/17/11

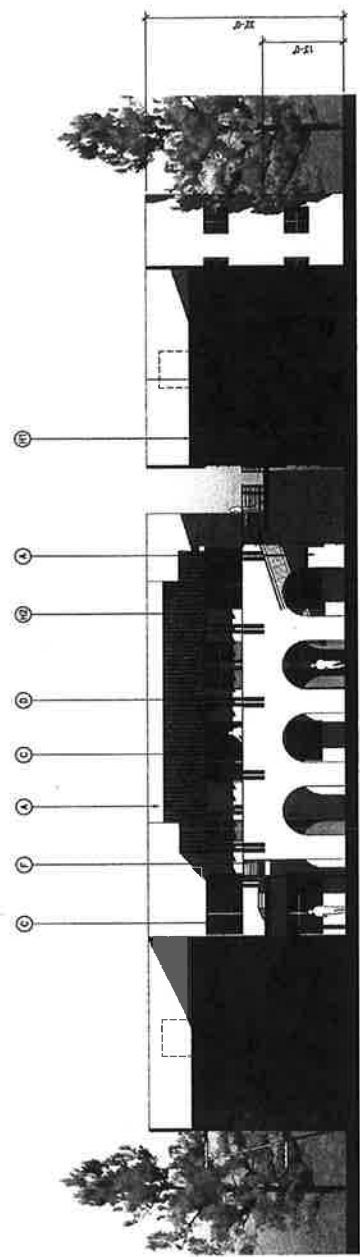
Building E - Elevations
P.L.P. #907
Brad Burke, Architect
A6.2c



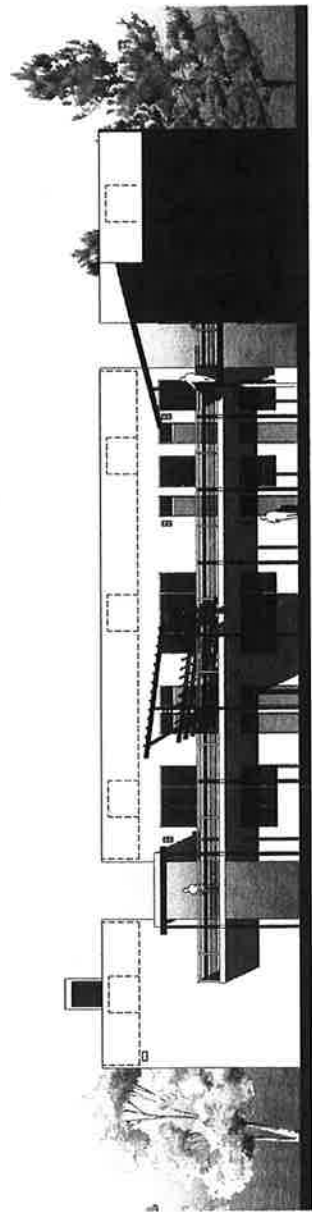
Santa Rosa Academy
Riverside County, California

DATE: 11/27/15
 P.L.P. No: 1527/15
 P.L.P. No: 1527/15
 P.L.P. No: 1527/15

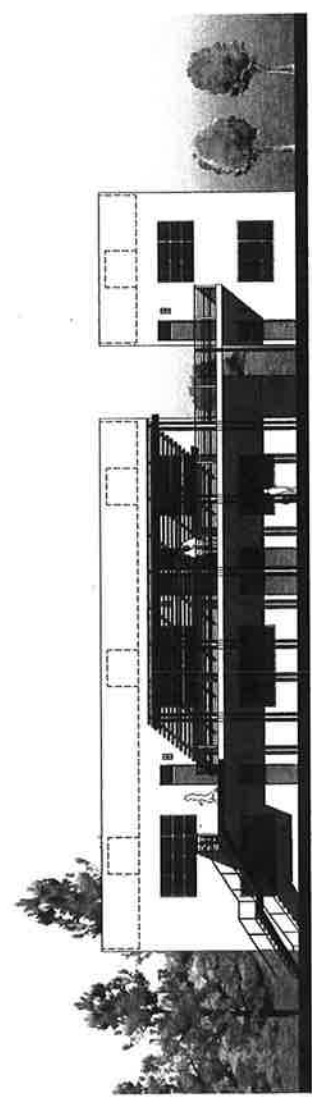
Building E - Elevations
 P.U.P. #907
 Brad Burke Architect
A6.3c



South-Court Elevation
 SCALE: 1/8" = 1'-0"



East-Court Elevation
 SCALE: 1/8" = 1'-0"

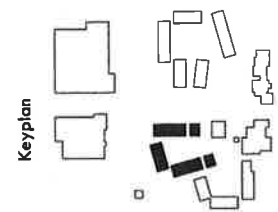


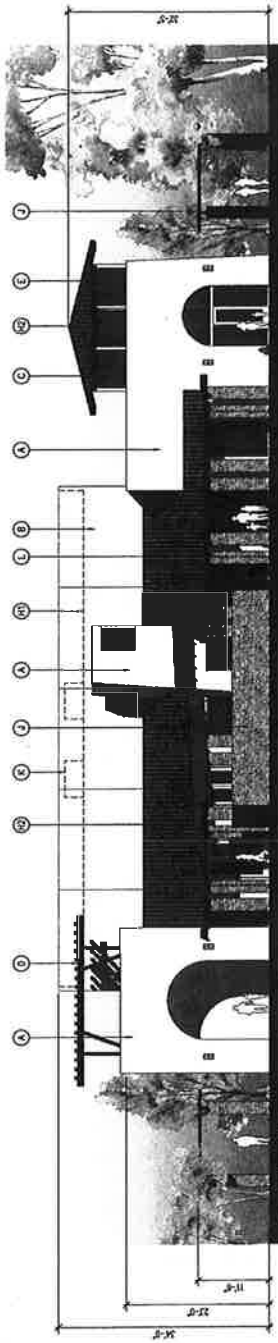
West-Court Elevation
 SCALE: 1/8" = 1'-0"

- Material**
- A. Typical Walls and Columns - Cement Plaster (Light Mission to Santa Barbara finish - Integral Color: White)
 - B. Concrete Walls - Concrete Tilt-up (Color: White)
 - C. Windows - Metal Sidelight (Finish: Dark Anodized)
 - D. Exposed Framing - Douglas Fir (Finish: Medium Brown Stain)
 - E. Exposed Trim - Douglas Fir (Finish: Medium Brown Stain)
 - F. Guards/Handrails - Ornamental Ironwork (finish: galvanized)
 - G. Exterior Stairs - Precast Concrete

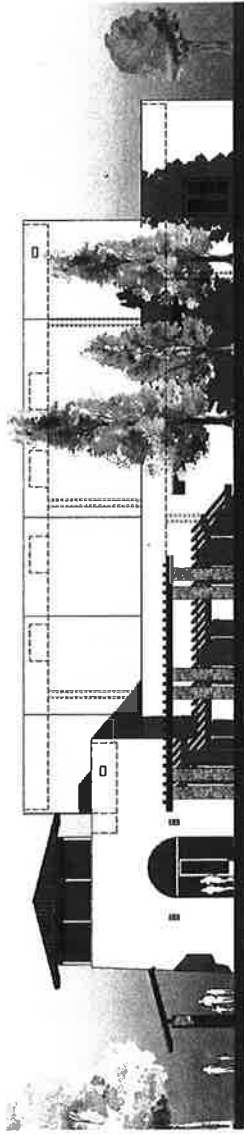
- Roofing**
- H1. Built-up at flat
 - H2. Clay tile (Mission Red)
 - H3. Standing seam metal (Color: Anodized)
 - J. Site Walls and Trellis Columns - Stone Veneer/Plaster (color: plaster to match building)
 - K. Mechanical Unit - Screened by Parapet
 - L. Concealed Downspout - Exposed at Roof for gutter and wall connection. (Galv. Finish)

■ Exterior Light Fixtures

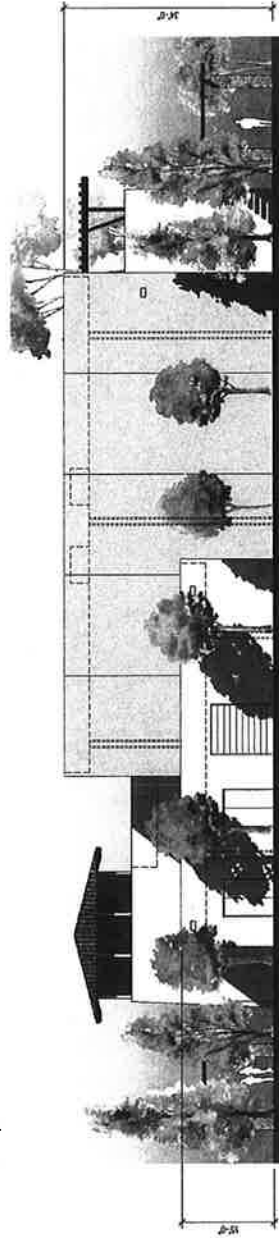




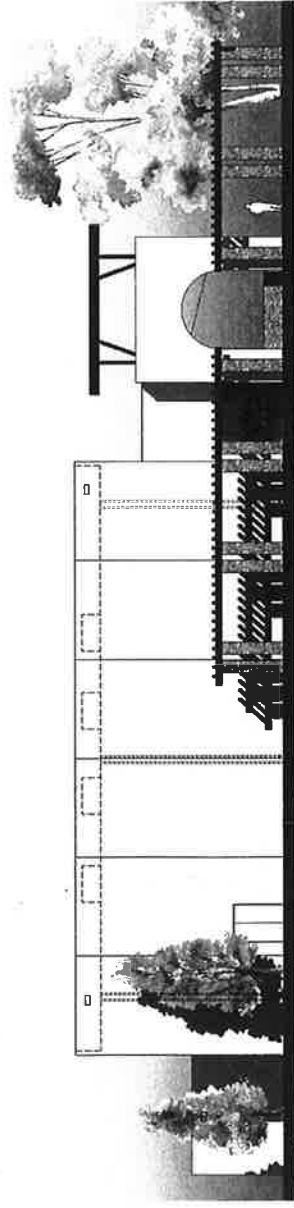
South Elevation
SCALE: 1/8" = 1'-0"



East Elevation
SCALE: 1/8" = 1'-0"



North Elevation
SCALE: 1/8" = 1'-0"



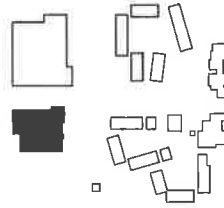
West Elevation
SCALE: 1/8" = 1'-0"

Material

- A. Typical Walls and Columns - Cement Plaster (Light Mission to Santa Barbara finish - Integral Color: White)
- B. Concrete Walls - Concrete Tilt-up (Color: White)
- C. Windows - Metal Storefront (Finish: Dark Anodized)
- D. Exposed Framing - Douglas Fir (Finish: Medium Brown Stain)
- E. Exposed Trim - Douglas Fir (Finish: Medium Brown Stain)
- F. Guardsills/Handrails - Ornamental ironwork (finish: galvanized)
- G. Exterior Stairs - Precast Concrete
- Roofing**
- H1. Built-up at flat
- H2. Clay tile (Mission Red)
- H3. Standing seam metal (Color: Anodized)
- J. Site Walls and Trellis Columns - Stone Veneer/Plaster (color: plaster to match building)
- K. Mechanical Unit - Screened by Parapet
- L. Canopied Downspout - Exposed at Roof for gutter and wall connection. (Galv. Finish)

■ Exterior Light Fixtures

Keyplan



Building F - Elevations
P.U.P. #9907
Brad Burke Architect
A7.1c

U.S. Sched. - 11/6/10
U.S. Sched. - 1/27/10
U.S. Sched. - 1/27/11

Santa Rosa Academy
Riverside County, California

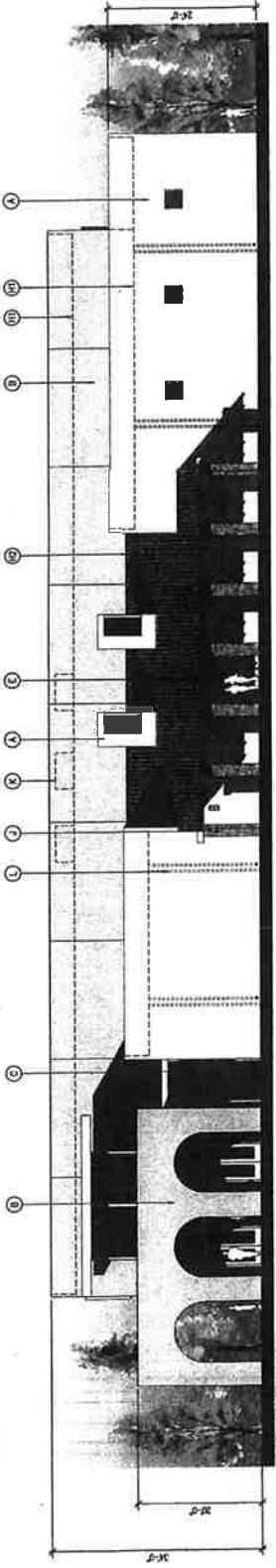




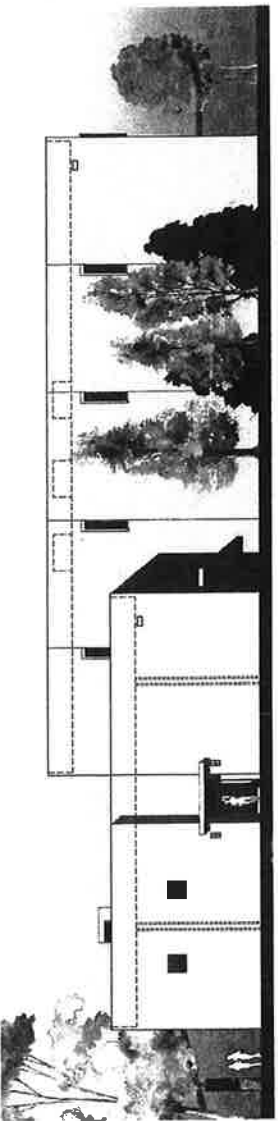
Santa Rosa Academy
Riverside County, California

P.U.F. Submitted - 11/22/10
P.U.F. No-Submitted - 12/23/10
P.U.F. No-Submitted - 1/27/11

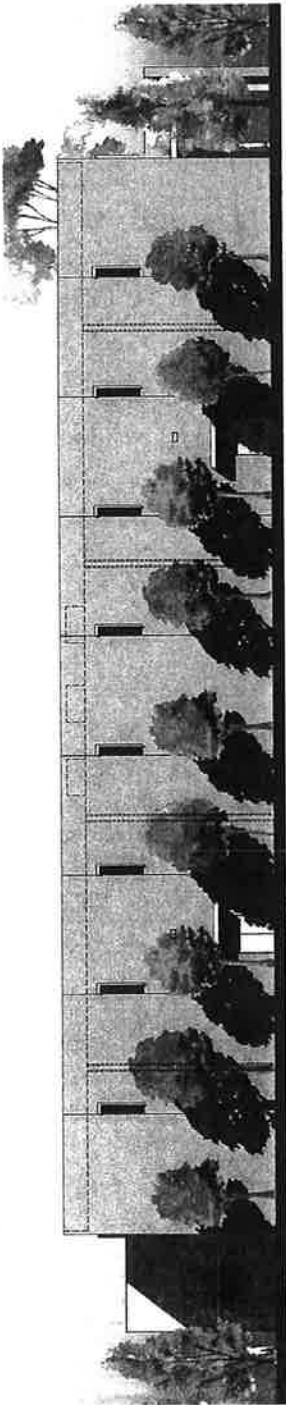
Building G - Elevations
P.U.F. #907
Brad Burke Architect
A8.1c



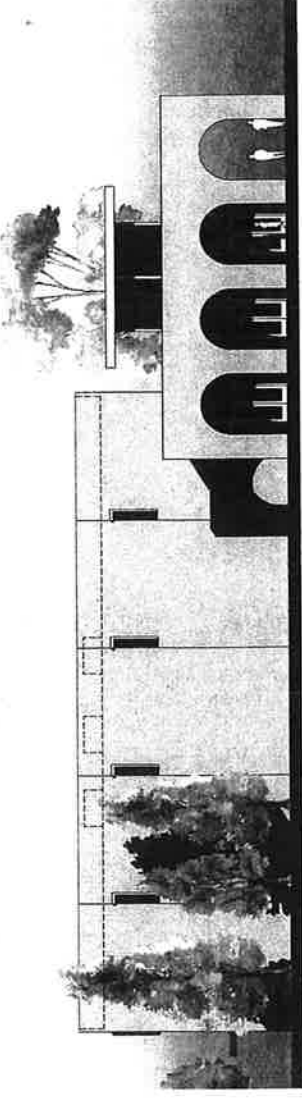
South Elevation
SCALE 1/8" = 1'-0"



East Elevation
SCALE 1/8" = 1'-0"



North Elevation
SCALE 1/8" = 1'-0"

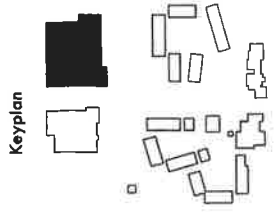


West Elevation
SCALE 1/8" = 1'-0"

Material

- A. Typical Walls and Columns - Cement Plaster (Light Addition to Sierra Barbara finish - Integral Color, White)
- B. Concrete Walls - Concrete Tilt-up (Color: White)
- C. Windows - Metal Sidelight (Finish: Dark Anodized)
- D. Exposed Framing - Douglas Fir (Finish: Medium Brown Stain)
- E. Exposed Trim - Douglas Fir (Finish: Medium Brown Stain)
- F. Guards/Handrails - Ornamental Ironwork (finish galvanized)
- G. Exterior Stairs - Precast Concrete
- Roofing
 - H1. Built-up at flat
 - H2. Clay tile (Mission Red)
 - H3. Standing seam metal (Color: Anodized)
- J. Site Walls and Trellis Columns - Stone Veneer/Plaster (color plaster to match building)
- K. Mechanical Unit - Screened by Parapet
- L. Concealed Downspout - Exposed at Roof for gutter and wall connection. (Galv. Finish)

- I. Exterior Light Fixtures





Santa Rosa Academy
Riverside County, California

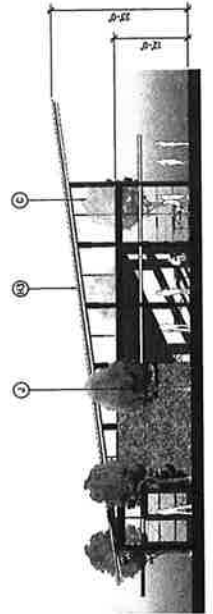
PLP, Submitted - 11/2/10
PLP, Re-Submitted - 12/27/10
PLP, Re-Submitted - 1/12/11

Pavilion - Elevations
P. U.S. 59907
Brad Burke Architect
A9.1c

Material

- A. **Typical Walls and Columns - Cement Plaster** (Light Mixtion to Santa Barbara Finish - Integral Color: White)
- B. **Concrete Walls - Concrete Tilt-up** (Color: White)
- C. **Windows - Metal Storefront** (Finish: Dark Anodized)
- D. **Exposed Framing - Douglas Fir** (Finish: Medium Brown Stain)
- E. **Exposed Trim - Douglas Fir** (Finish: Medium Brown Stain)
- F. **Guardrails/Handrails - Ornamental ironwork** (Finish: galvanized)
- G. **Exterior Stairs - Precast Concrete**
- Roofing**
 - H1. **Bolt-up at flat**
 - H2. **Clay tile (Mission Red)**
 - H3. **Standing seam metal (Color: Anodized)**
- J. **Site Walls and Trellis Columns - Stone Veneer/Plaster** (color: plaster to match building)
- K. **Mechanical Unit - Screened by Parapet**
- L. **Concealed Downspout - Exposed at Roof for gutter and wall connection, (Galv. Finish)**

■ Exterior Light Fixtures



South Elevation
SCALE 1/8" = 1'-0"



East Elevation
SCALE 1/8" = 1'-0"

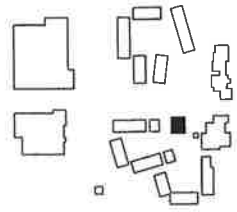


West Elevation
SCALE 1/8" = 1'-0"



North Elevation
SCALE 1/8" = 1'-0"

Keyplan





Santa Rosa Academy
Riverside County, California

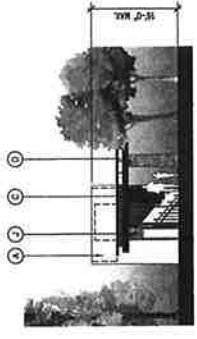
PLP Submittal - 11/2/10
PLP Re-Submittal - 12/21/10
PLP Re-Submittal - 1/27/11

Security Off. - Elev.
P.U.P. #907
Brad Burke Architect
A10.1c

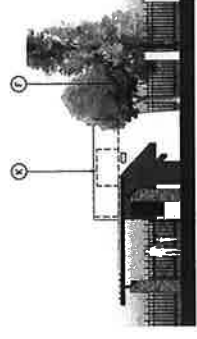
Material

- A. Typical Walls and Columns - Cement Plaster (Light Mission to Santa Barbara finish - Integral Color: White)
 - B. Concrete Walls - Concrete Till-up (Color: White)
 - C. Windows - Metal Storefront (Finish: Dark Anodized)
 - D. Exposed Framing - Douglas Fir. (Finish: Medium Brown Stain)
 - E. Exposed Trim - Douglas Fir. (Finish: Medium Brown Stain)
 - F. Guardsrails/Handrails - Ornamental ironwork (finish galvanized)
 - G. Exterior Stairs - Precast Concrete
- Roofing**
- H1. Built-up or flat
 - H2. Clay tile (Mission Red)
 - H3. Standing seam metal (Colon Anodized)
- J. Site Walls and Trellis Columns - Stone Veneer/Plaster (color: plaster to match Building)
 - K. Mechanical Unit - Screened by Parapet
 - L. Concealed Downspout - Exposed at Roof for gutter and wall connection. (Galv. Finish)

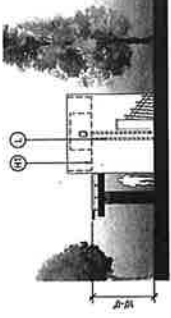
Exterior Light Features



East Elevation
scale: 1/8" = 1'-0"



North Elevation
scale: 1/8" = 1'-0"

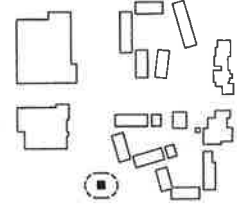


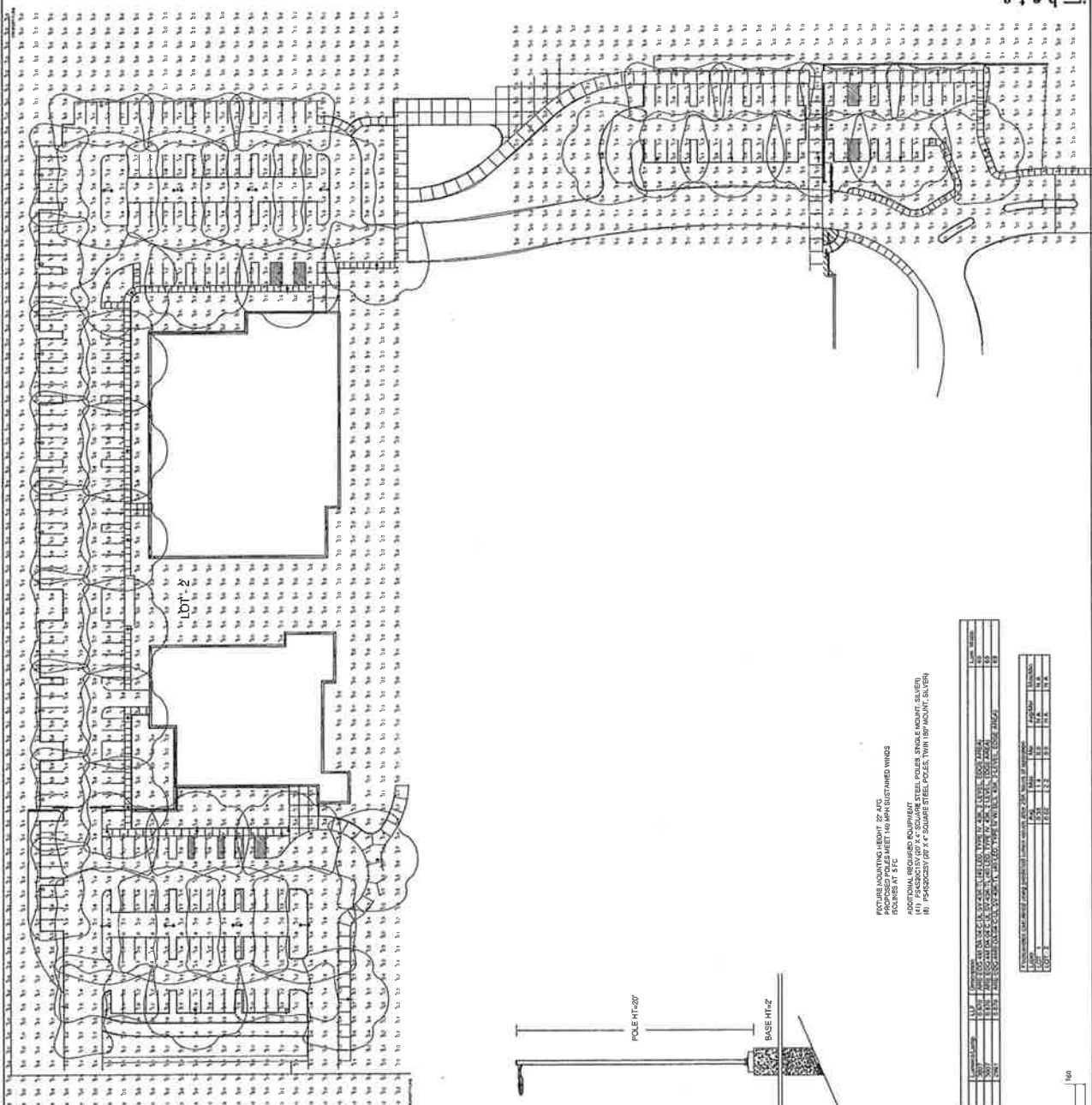
West Elevation
scale: 1/8" = 1'-0"



South Elevation
scale: 1/8" = 1'-0"

Keyplan





LOT - 1

PICTURE MOUNTING HEIGHT 22' AFS
 PROPOSED POLES MEET 10 MPH SUSTAINED WINDS
 ALL POLES TO BE 10' CLEARANCE FROM DRIVEWAYS
 ALL POLES TO BE 10' CLEARANCE FROM BUILDINGS
 (A) 7' SQUARE STEEL POLES, SINGLE MOUNT, SILVER
 (B) 7' SQUARE STEEL POLES, TWIN 180° MOUNT, SILVER

NO.	DESCRIPTION	QTY	UNIT	AMOUNT	TOTAL
1	7' SQUARE STEEL POLES, SINGLE MOUNT, SILVER	1	EA	1	1
2	7' SQUARE STEEL POLES, TWIN 180° MOUNT, SILVER	1	EA	1	1
3	10' CLEARANCE FROM DRIVEWAYS	1	EA	1	1
4	10' CLEARANCE FROM BUILDINGS	1	EA	1	1
5	10' CLEARANCE FROM DRIVEWAYS	1	EA	1	1
6	10' CLEARANCE FROM BUILDINGS	1	EA	1	1
7	10' CLEARANCE FROM DRIVEWAYS	1	EA	1	1
8	10' CLEARANCE FROM BUILDINGS	1	EA	1	1
9	10' CLEARANCE FROM DRIVEWAYS	1	EA	1	1
10	10' CLEARANCE FROM BUILDINGS	1	EA	1	1
11	10' CLEARANCE FROM DRIVEWAYS	1	EA	1	1
12	10' CLEARANCE FROM BUILDINGS	1	EA	1	1
13	10' CLEARANCE FROM DRIVEWAYS	1	EA	1	1
14	10' CLEARANCE FROM BUILDINGS	1	EA	1	1
15	10' CLEARANCE FROM DRIVEWAYS	1	EA	1	1
16	10' CLEARANCE FROM BUILDINGS	1	EA	1	1
17	10' CLEARANCE FROM DRIVEWAYS	1	EA	1	1
18	10' CLEARANCE FROM BUILDINGS	1	EA	1	1
19	10' CLEARANCE FROM DRIVEWAYS	1	EA	1	1
20	10' CLEARANCE FROM BUILDINGS	1	EA	1	1
21	10' CLEARANCE FROM DRIVEWAYS	1	EA	1	1
22	10' CLEARANCE FROM BUILDINGS	1	EA	1	1
23	10' CLEARANCE FROM DRIVEWAYS	1	EA	1	1
24	10' CLEARANCE FROM BUILDINGS	1	EA	1	1
25	10' CLEARANCE FROM DRIVEWAYS	1	EA	1	1
26	10' CLEARANCE FROM BUILDINGS	1	EA	1	1
27	10' CLEARANCE FROM DRIVEWAYS	1	EA	1	1
28	10' CLEARANCE FROM BUILDINGS	1	EA	1	1
29	10' CLEARANCE FROM DRIVEWAYS	1	EA	1	1
30	10' CLEARANCE FROM BUILDINGS	1	EA	1	1
31	10' CLEARANCE FROM DRIVEWAYS	1	EA	1	1
32	10' CLEARANCE FROM BUILDINGS	1	EA	1	1
33	10' CLEARANCE FROM DRIVEWAYS	1	EA	1	1
34	10' CLEARANCE FROM BUILDINGS	1	EA	1	1
35	10' CLEARANCE FROM DRIVEWAYS	1	EA	1	1
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38	10' CLEARANCE FROM BUILDINGS	1	EA	1	1
39	10' CLEARANCE FROM DRIVEWAYS	1	EA	1	1
40	10' CLEARANCE FROM BUILDINGS	1	EA	1	1
41	10' CLEARANCE FROM DRIVEWAYS	1	EA	1	1
42	10' CLEARANCE FROM BUILDINGS	1	EA	1	1
43	10' CLEARANCE FROM DRIVEWAYS	1	EA	1	1
44	10' CLEARANCE FROM BUILDINGS	1	EA	1	1
45	10' CLEARANCE FROM DRIVEWAYS	1	EA	1	1
46	10' CLEARANCE FROM BUILDINGS	1	EA	1	1
47	10' CLEARANCE FROM DRIVEWAYS	1	EA	1	1
48	10' CLEARANCE FROM BUILDINGS	1	EA	1	1
49	10' CLEARANCE FROM DRIVEWAYS	1	EA	1	1
50	10' CLEARANCE FROM BUILDINGS	1	EA	1	1

DATE: 11/20/11
 SHEET: 1 OF 2
 PROJECT NAME: SANTA ROSA FACILITY #2
 ADDRESS: 1000 BROAD STREET
 CITY: SANTA ROSA, CA 95401
 CLIENT: LAMARCA MARK JANNEY
 CONTRACT NO: 00018
 DESIGNER: BETA LED LIGHTING DESIGN
 1000 Broad Street
 Santa Rosa, CA 95401
 www.betaled.com
 (530) 238-6800



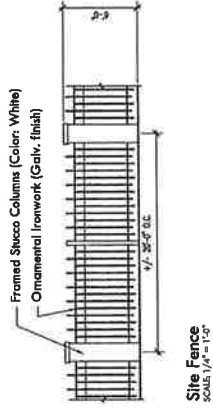
Note: Sign Program shall adhere to Ordinance 348 Sec. 19.4

Stucco Wall - (color: white)
Mounted Letters - 50 sq. ft. max.
"Santa Rosa Academy" & site address
(color: Black)

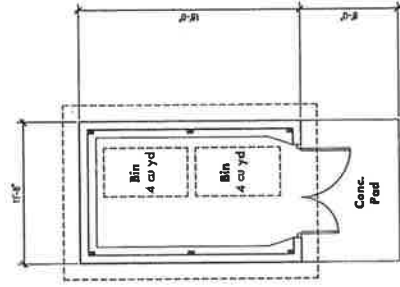


Sign 1 - Wickerd Rd.
Scale: 1/4" = 1'-0"

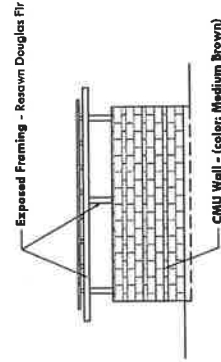
P.U.P. Submitted - 11/2/10
P.U.P. Re-Submitted - 12/21/10
P.U.P. Re-Submitted - 1/12/11



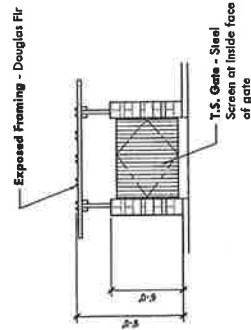
Site Fence
Scale: 1/4" = 1'-0"



Typ. Trash Enclosure - Plan
Scale: 1/4" = 1'-0"



Trash Enclosure - Side Elev.
Scale: 1/4" = 1'-0"



Trash Enclosure - Front Elev.
Scale: 1/4" = 1'-0"

P.U.P. Submitted - 11/2/10
P.U.P. No. Submitted - 12/21/10
P.U.P. No. Submitted - 1/27/11

COUNTY OF RIVERSIDE

ENVIRONMENTAL ASSESSMENT FORM: INITIAL STUDY

Environmental Assessment (E.A.) Number: 42398
Project Case Type (s) and Number(s): Public Use Permit No. 907 (Fast Track No. 2010-07)
Lead Agency Name: County of Riverside Planning Department
Address: P.O. Box 1409, Riverside, CA 92502-1409
Contact Person: Christian Hinojosa, Project Planner
Telephone Number: (951) 955- 0972
Applicant's Name: Santa Rosa Academy
Applicant's Address: 28237 La Piedra Road; Menifee, CA 92584
Engineer's Name: Brad Burke Architect
Engineer's Address: 1120 Simpson Way; Escondido, CA 92029

I. PROJECT INFORMATION

A. Project Description:

The Public Use Permit (Fast Track No. 2010-07) proposes a 109,125 square foot public charter school, Santa Rosa Academy, consisting of multiple buildings for up to 1,500 students for grades K-12 with 237 parking spaces on a 25 gross acre site to be constructed in two (2) phases. Phase I will include the construction of approximately 67,065 square feet of building area consisting of 55 classrooms, administrative offices, a library / technology center, a student pavilion, a security office and 237 parking spaces. Phase II will include the construction of approximately 42,060 square feet of building area consisting of a theater, a gymnasium, and baseball and soccer fields.

B. Type of Project: Site Specific ; Countywide ; Community ; Policy .

C. Total Project Area: 25 Gross

Residential Acres: 25 Gross	Lots: 2	Units: N/A	Projected No. of Residents: N/A
Commercial Acres: N/A	Lots: N/A	Sq. Ft. of Bldg. Area: N/A	Est. No. of Employees: N/A
Industrial Acres: N/A	Lots: N/A	Sq. Ft. of Bldg. Area: N/A	Est. No. of Employees: N/A
Landscape Area: 56%		Sq. Ft. of LS. Area: 604,613	

D. Assessor's Parcel Nos: 466-210-031 and 466-210-032

E. Street References: northerly of Wickerd Road, easterly of El Centro Lane and westerly of La Ventana Lane

F. Section, Township & Range Description or reference/attach a Legal Description:
Sections 18, Township 6 South, Range 2 West

G. Brief description of the existing environmental setting of the project site and its surroundings: The project site is located in the Sun City / Menifee Valley Area Plan of the Riverside County General Plan. Urban development projects have been approved or are currently being processed through the County of Riverside to the south and west. Within the vicinity of the proposed project there is vacant land to the north, south and east and single family residences to the west. The project site is currently vacant. The topography of the project site is generally level with an elevation of approximately 1460 feet above mean sea level over the majority of the property.

II. APPLICABLE GENERAL PLAN AND ZONING REGULATIONS

A. General Plan Elements/Policies:

1. **Land Use:** The proposed project meets the requirements of the Rural Community: Estate Density Residential (RC: EDR) (2 Acre Minimum) General Plan Land Use Designation. The proposed project meets all other applicable land use policies.
2. **Circulation:** The proposed project has been reviewed for conformance with County Ordinance 461 by the Riverside County Transportation Department. Adequate circulation facilities exist and are proposed to serve the proposed project. The proposed project meets with all applicable circulation policies of the General Plan.
3. **Multipurpose Open Space:** No natural open space land was required to be preserved within the boundaries of this project. The proposed project meets with all other applicable Multipurpose Open Space Element policies.
4. **Safety:** The proposed project is within an area that has a low susceptibility to liquefaction. The proposed project is not located within any other special hazard zone (including fault zone, high fire hazard area, dam inundation zone, etc.). The proposed project has allowed for sufficient provision of emergency response services to the future users of this project through the project design and payment of development impact fees. The proposed project meets with all other applicable Safety Element policies.
5. **Noise:** The proposed project will need to comply with the recommendations by the Department of Public Health, Office of Industrial Hygiene based upon the submitted diagrams, surrounding zoning and proposed road between sensitive receivers on the west of the proposed school site. The proposed project meets all other applicable Noise Element policies.
6. **Housing:** The Public Use Permit (Fast Track No. 2010-07) proposes a 109,125 square foot public charter school with Residential Agricultural - 5 Acre Minimum (R-A-5) zoning. The proposed project could potentially induce population growth in the area either directly (e.g., by proposing new homes and businesses) or indirectly (e.g., through extension of roads or other infrastructure). The proposed project meets all other applicable Housing Element policies.
7. **Air Quality:** The proposed project has been conditioned to control any fugitive dust during grading and construction activities. The proposed project meets all other applicable Air Quality Element policies.

B. General Plan Area Plan(s): Sun City / Menifee Valley

C. Foundation Component(s): Rural Community

D. Land Use Designation(s): Estate Density Residential (EDR) (2 Acre Minimum)

E. Overlay(s), if any: N/A

F. Policy Area(s), if any: Estate Density Residential & Rural Residential and Highway 79

G. Adjacent and Surrounding:

1. **Area Plan(s):** Sun City / Menifee Valley
2. **Foundation Component(s):**
To the North, East and West: Rural Community
To the South: Rural
3. **Land Use Designation(s):**
To the North, East and West: Estate Density Residential (EDR) (2 Acre Minimum)
To the South: Rural Residential (RR) (5 Acre Minimum)
4. **Overlay(s) and Policy Area(s):**
To the North, South, East and West: Estate Density Residential & Rural Residential Policy Area and Highway 79 Policy Area

H. Adopted Specific Plan Information

1. **Name and Number of Specific Plan, if any:** N/A
2. **Specific Plan Planning Area, and Policies, if any:** N/A

I. Existing Zoning: Residential Agricultural - 5 Acre Minimum (R-A-5)

J. Proposed Zoning, if any: N/A

K. Adjacent and Surrounding Zoning:
To the North and East: Residential Agricultural - 5 Acre Minimum (R-A-5)
To the South and West: Light Agriculture - 5 Acre Minimum (A-1-5)

III. ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED

The environmental factors checked below (x) would be potentially affected by this project, involving at least one impact that is a "Potentially Significant Impact" or "Less than Significant with Mitigation Incorporated" as indicated by the checklist on the following pages.

- | | | |
|--|---|---|
| <input type="checkbox"/> Aesthetics | <input type="checkbox"/> Hazards & Hazardous Materials | <input type="checkbox"/> Recreation |
| <input type="checkbox"/> Agriculture & Forest Resources | <input checked="" type="checkbox"/> Hydrology/Water Quality | <input checked="" type="checkbox"/> Transportation/Traffic |
| <input type="checkbox"/> Air Quality | <input type="checkbox"/> Land Use/Planning | <input type="checkbox"/> Utilities/Service Systems |
| <input checked="" type="checkbox"/> Biological Resources | <input type="checkbox"/> Mineral Resources | <input type="checkbox"/> Other |
| <input checked="" type="checkbox"/> Cultural Resources | <input type="checkbox"/> Noise | <input type="checkbox"/> Other |
| <input type="checkbox"/> Geology/Soils | <input type="checkbox"/> Population/Housing | <input type="checkbox"/> Mandatory Findings of Significance |
| <input checked="" type="checkbox"/> Greenhouse Gas Emissions | <input type="checkbox"/> Public Services | |

IV. DETERMINATION

On the basis of this initial evaluation:

A PREVIOUS ENVIRONMENTAL IMPACT REPORT/NEGATIVE DECLARATION WAS NOT PREPARED

I find that the proposed project **COULD NOT** have a significant effect on the environment, and a **NEGATIVE DECLARATION** will be prepared.

I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because revisions in the project, described in this document, have been made or agreed to by the project proponent. **A MITIGATED NEGATIVE DECLARATION**

will be prepared.

I find that the proposed project MAY have a significant effect on the environment, and an **ENVIRONMENTAL IMPACT REPORT** is required.

A PREVIOUS ENVIRONMENTAL IMPACT REPORT/NEGATIVE DECLARATION WAS PREPARED

I find that although the proposed project could have a significant effect on the environment, **NO NEW ENVIRONMENTAL DOCUMENTATION IS REQUIRED** because (a) all potentially significant effects of the proposed project have been adequately analyzed in an earlier EIR or Negative Declaration pursuant to applicable legal standards, (b) all potentially significant effects of the proposed project have been avoided or mitigated pursuant to that earlier EIR or Negative Declaration, (c) the proposed project will not result in any new significant environmental effects not identified in the earlier EIR or Negative Declaration, (d) the proposed project will not substantially increase the severity of the environmental effects identified in the earlier EIR or Negative Declaration, (e) no considerably different mitigation measures have been identified and (f) no mitigation measures found infeasible have become feasible.

I find that although all potentially significant effects have been adequately analyzed in an earlier EIR or Negative Declaration pursuant to applicable legal standards, some changes or additions are necessary but none of the conditions described in California Code of Regulations, Section 15162 exist. An **ADDENDUM** to a previously-certified EIR or Negative Declaration has been prepared and will be considered by the approving body or bodies.

I find that at least one of the conditions described in California Code of Regulations, Section 15162 exist, but I further find that only minor additions or changes are necessary to make the previous EIR adequately apply to the project in the changed situation; therefore a **SUPPLEMENT TO THE ENVIRONMENTAL IMPACT REPORT** is required that need only contain the information necessary to make the previous EIR adequate for the project as revised.

I find that at least one of the following conditions described in California Code of Regulations, Section 15162, exist and a **SUBSEQUENT ENVIRONMENTAL IMPACT REPORT** is required: (1) Substantial changes are proposed in the project which will require major revisions of the previous EIR or negative declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; (2) Substantial changes have occurred with respect to the circumstances under which the project is undertaken which will require major revisions of the previous EIR or negative declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; or (3) New information of substantial importance, which was not known and could not have been known with the exercise of reasonable diligence at the time the previous EIR was certified as complete or the negative declaration was adopted, shows any the following:(A) The project will have one or more significant effects not discussed in the previous EIR or negative declaration;(B) Significant effects previously examined will be substantially more severe than shown in the previous EIR or negative declaration;(C) Mitigation measures or alternatives previously found not to be feasible would in fact be feasible, and would substantially reduce one or more significant effects of the project, but the project proponents decline to adopt the mitigation measures or alternatives; or,(D) Mitigation measures or alternatives which are considerably different from those analyzed in the previous EIR or negative declaration would substantially reduce one or more significant effects of the project on the environment, but the project proponents decline to adopt the mitigation measures or alternatives.

Signature



March 14, 2011

Date

Christina Hinojosa, Project Planner

Printed Name

For Carolyn Syms Luna, Planning Director

V. ENVIRONMENTAL ISSUES ASSESSMENT

In accordance with the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000-21178.1), this Initial Study has been prepared to analyze the proposed project to determine any potential significant impacts upon the environment that would result from construction and implementation of the project. In accordance with California Code of Regulations, Section 15063, this Initial Study is a preliminary analysis prepared by the Lead Agency, the County of Riverside, in consultation with other jurisdictional agencies, to determine whether a Negative Declaration, Mitigated Negative Declaration, or an Environmental Impact Report is required for the proposed project. The purpose of this Initial Study is to inform the decision-makers, affected agencies, and the public of potential environmental impacts associated with the implementation of the proposed project.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
AESTHETICS Would the project				
1. Scenic Resources	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a) Have a substantial effect upon a scenic highway corridor within which it is located?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings and unique or landmark features; obstruct any prominent scenic vista or view open to the public; or result in the creation of an aesthetically offensive site open to public view?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure C-7 "Scenic Highways"

Findings of Fact:

a) The Riverside County General Plan indicates that the project site is not located within a designated scenic corridor. Development of the project site will not affect any scenic resources, as adjacent lands have been developed with uses compatible with the proposed project.

b) The proposed project will not substantially damage scenic resources, including, but not limited to, trees, rock outcroppings and unique or landmark features, or obstruct a prominent scenic vista or view open to the public, as these features do not exist on the project site. Additionally, the proposed project will not result in the creation of an aesthetically offensive site open to public view.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

2. Mt. Palomar Observatory	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a) Interfere with the nighttime use of the Mt. Palomar Observatory, as protected through Riverside County Ordinance No. 655?				

Source: GIS database, Ord. No. 655 (Regulating Light Pollution)

Findings of Fact:

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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a) According to the GIS Database, the project site is located approximately 25.25 miles from the Mt. Palomar Observatory which is within the designated Zone B Special Lighting Area that surrounds the Mt. Palomar Observatory. Ordinance No. 655 contains approved materials and methods of installation, definition, general requirements, requirements for lamp source and shielding, prohibition and exceptions. With incorporation of project lighting requirements of the Riverside County Ordinance No. 655 into the proposed project, this impact will be reduced to a less than significant impact. (COA: 10.PLANNING.32). This is a standard condition of approval and therefore is not considered mitigation pursuant to CEQA.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

3. Other Lighting Issues	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a) Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Expose residential property to unacceptable light levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: On-site Inspection, Project Application Materials

Findings of Fact:

a) The proposed project will result in a new source of light and glare from the addition of security lighting, facility lighting, as well as vehicular lighting from cars traveling on adjacent roadways.

Riverside County Ordinance No. 655 is applicable to the project site. Pursuant of this Ordinance, the project's onsite lighting will be directed downward or shielded and hooded to avoid shining onto adjacent properties and streets. Furthermore, the amount of lighting will be similar to residential areas surrounding the site. Conditions of Approval 10.PLANNING.07 and 80.PLANNING.20 are not considered unique mitigation measures pursuant to CEQA. No additional mitigation is identified or required.

b) The proposed project is not expected to create unacceptable light levels as it has been conditioned for conformance with Ordinance No. 655. Therefore, the proposed project would not create a new source of substantial light or glare which would adversely affect day or nighttime views in the area or expose residential property to unacceptable light levels. Impacts would be less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

4. Agriculture	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a) Convert Prime Farmland, Unique Farmland, or	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
Farmland of Statewide Importance (Farmland) as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?				
b) Conflict with existing agricultural zoning, agricultural use or with land subject to a Williamson Act contract or land within a Riverside County Agricultural Preserve?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Cause development of non-agricultural uses within 300 feet of agriculturally zoned property (Ordinance No. 625 "Right-to-Farm")?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure OS-2 "Agricultural Resources," GIS database, and Project Application Materials.

Findings of Fact:

- a) The project site will not convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland) as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use.
- b) The project site will not conflict with existing agricultural zoning, agricultural use or with land subject to a Williamson Act contract or land within a Riverside County Agricultural Preserve.
- c) The project site is and all properties in its vicinity are agriculturally zoned. The proposed project will therefore cause development of a non-agricultural use within 300' of an agricultural zoned property (Ordinance No. 625 "Right-to-Farm"). However, the proposed project is consistent with the Residential Agricultural - 5 Acre Minimum (R-A-5) zone. Therefore, any potential agricultural impact is considered less than significant.
- d) The project site will not involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

5. Forest

a) Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code section 12220(g)), timberland (as defined by Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Govt. Code section 51104(g))?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Result in the loss of forest land or conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
c) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure OS-3 "Parks, Forests and Recreation Areas," and Project Application Materials.

Findings of Fact:

a) & b) The proposed project will not conflict with or cause rezoning of any forest land or timberland zoned areas. Nor is the proposed project in a forest area.

c) The project will not involve any other changes to the environment which could result in conversion of forest land to non-forest use.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

AIR QUALITY Would the project				
6. Air Quality Impacts	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a) Conflict with or obstruct implementation of the applicable air quality plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Violate any air quality standard or contribute substantially to an existing or projected air quality violation?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Expose sensitive receptors which are located within 1 mile of the project site to project substantial point source emissions?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Involve the construction of a sensitive receptor located within one mile of an existing substantial point source emitter?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Create objectionable odors affecting a substantial number of people?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: SCAQMD CEQA Air Quality Handbook Table 6-2; AQMD Air Quality Management Plan (2007); County General Plan Air Quality Element; Project Application Materials, Global Climate Change Evaluation prepared by Scientific Resources Associated, dated January 14, 2011

Findings of Fact:

a) The South Coast Air Quality Management District (SCAQMD) is responsible for developing a regional air quality management plan to insure compliance with state and federal air quality standards. The SCAQMD has adopted the 2003 Air Quality Management Plan (AQMP). The 2003 AQMP is

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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based on socioeconomic forecasts (including population estimates) provided by the Southern California Association of Governments (SCAG). The County General Plan is consistent with SCAG's Regional Growth Management Plan and SCAQMD's Air Quality Management Plan. This project is consistent with the General Plan land use designations and population estimates.

b) The SCAQMD permit is evidence that the point source complies with all SCAQMD rules and regulations. Air quality impacts would occur during site preparation, including grading and equipment exhaust. Major sources of fugitive dust are a result of grading and site preparation during construction by vehicles and equipment and generated by construction vehicles and equipment traveling over exposed surfaces, as well as by soil disturbances from grading and filling. These short-term construction related impacts will be reduced below a level of significance by dust control measures implemented during grading. (COA: 10.BS GRADE.08) This is a standard condition of approval and is not considered mitigation pursuant to CEQA.

c) The project will not result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard.

d) A sensitive receptor is a person in the population who is particularly susceptible to health effects due to exposure to an air contaminant than is the population at large. Sensitive receptors (and the facilities that house them) in proximity to localized CO sources, toxic air contaminants or odors are of particular concern. High levels of CO are associated with major traffic sources, such as freeways and major intersections, and toxic air contaminants are normally associated with manufacturing and commercial operations. Land uses considered to be sensitive receptors include long-term health care facilities, rehabilitation centers, convalescent centers, retirement homes, residences, schools, playgrounds, child care centers, and athletic facilities. Surrounding land uses include vacant land and single family residences, which are considered a sensitive receptor; however, the project is not expected to generate substantial point source emissions. The long-term project impacts in the daily allowable emissions for the project's operational phase are considered to be less than significant.

e) The project will not create sensitive receptors located within one mile of an existing substantial point source emitter.

f) The project will not create objectionable odors affecting a substantial number of people.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

BIOLOGICAL RESOURCES Would the project

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
7. Wildlife & Vegetation	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Conservation Community Plan, or other approved local, regional, or state conservation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Have a substantial adverse effect, either directly or through habitat modifications, on any endangered, or threatened species, as listed in Title 14 of the California	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
Code of Regulations (Sections 670.2 or 670.5) or in Title 50, Code of Federal Regulations (Sections 17.11 or 17.12)?				
c) Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U. S. Wildlife Service?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident migratory wildlife corridors, or impede the use of native wildlife nursery sites?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations or by the California Department of Fish and Game or U. S. Fish and Wildlife Service?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g) Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: GIS Database, WRCMSHCP, On-site Inspection, PDB05689 Biological Assessment(s) for the Burrowing Owl, Munz's Onion San Diego Ambrosia, Many-Stemmed Dudleya, Spreading Navarretia, California Orcutt Grass and Wright's Trichocoronis and Focused Surveys for the Burrowing Owl prepared by Kidd Biological Inc., dated August 15 2010

Findings of Fact:

- a) The proposed project will not conflict with the provisions of an adopted Habitat Conservation Plan, Natural Conservation Community Plan, or other approved local, regional, or state conservation plan.
- b) The proposed project will not conflict with any endangered, or threatened species, as listed in Title 14 of the California Code of Regulations (Sections 670.2 or 670.5) or in Title 50, Code of Federal Regulations (Sections 17.11 or 17.12) as a result of mitigation.
- c) Burrowing Owl Mitigation and Monitoring Plan PDB05689 and observations by County biologist Jared Bond confirm that burrowing owls are located within the El Centro Lane right-of-way and thus a Burrowing Owl Mitigation and Monitoring Plan is required prior to issuance of a grading permit. (COA: 60.EPD.02)
- d) The proposed project will not interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident migratory wildlife corridors, or impede the use of native wildlife nursery sites.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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e) The proposed project will not have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations or by the California Department of Fish and Game or U. S. Fish and Wildlife Service.

f) The proposed project will not have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means.

g) The proposed project will not conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance.

Mitigation: Pursuant to Objective 6 and Objective 7 of the Species Account for the Burrowing Owl included in the Western Riverside County Multiple Species Habitat Conservation Plan, within 30 days prior to the issuance of a grading permit, a pre-construction presence/absence survey for the burrowing owl shall be conducted by a qualified biologist and the results of this presence/absence survey shall be provided in writing to the Environmental Programs Division. If the grading permit is not obtained within 30 days of the survey a new survey shall be required. (COA: 60.EPD.01) Burrowing Owl Mitigation Plan PDB05689 must be prepared by a qualified biologist currently holding a MOU with the County and submitted to the Environmental Programs Division of the Planning Department for review and approval. The mitigation plan shall include discussion of how the project construction will avoid the areas occupied by burrowing owls and measures to insure their protection during all phases of construction. The mitigation plan shall also include the following: Banding of owls observed utilizing the project site (including owls located within the 150m buffer zone) Fencing/Screening shall be place in an appropriate manner such that it provides visual and noise buffers between areas occupied by burrowing owls and the grading/construction area. Burrows located within the project site that are suitable for burrowing owl occupation but are not currently occupied must be collapsed by a qualified biologist once the biologist has confirmed that the burrows are not currently utilizing the burrow. Burrows that are collapsed shall be mitigated at a 1:1 ratio using an accepted artificial burrowing owl box design. A qualified biological monitor shall be on the project site during all project related construction activates during the breeding season (March 1- August 31). A qualified biological monitor shall be on the project site during all project related activities that have the potential to encroach into the avoidance buffers as outlined in the Burrowing Owl Mitigation Guidelines (75 meter buffer for Feb 1- Aug 31) and (50 meter buffer for Sept 1- Jan 31). The mitigation and monitoring plan may include additional measures as deemed acceptable between the project biologist and the Environmental Programs Division. The intent of the Mitigation and Monitoring Plan is to insure that burrowing owls are not directly impacted during construction activities, this includes any potential impacts to owls potential nesting in proximity (150 meters) to the project site. (COA: 60.EPD.02) Documentation indicating that the Burrowing Owl Mitigation and Monitoring Plan approved by the Environmental Programs Division were followed during all phases of grading and that a qualified biological monitor was on site as directed through the mitigation plan. Documentation must be to the satisfaction of the Environmental Programs Division. (COA: 70.EPD.01, 80.EPD.01)

Monitoring: Monitoring shall be conducted by the Building and Safety and Environmental Programs Departments through the permitting process.

CULTURAL RESOURCES Would the project

8. Historic Resources	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a) Alter or destroy an historic site?				

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
b) Cause a substantial adverse change in the significance of a historical resource as defined in California Code of Regulations, Section 15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan Figure OS-7, Project Application Materials, PDA04686 Archaeological Report prepared by Brian F. Smith and Associates, dated March 1, 2011

Findings of Fact:

a) A records search conducted at the Eastern Information Center (EIC) indicated that no historical resources existed on the project site. Therefore, the proposed project will not alter or destroy an historic site.

b) Development of the proposed project will have a less than significant impact on a historical resource as defined in California Code of Regulations, Section 15064.5.

If during ground disturbance activities, unique cultural resources are discovered that were not assessed by the environmental assessment conducted prior to project approval, the following procedures shall be followed. Unique cultural resources are defined, for this condition, as being multiple artifacts in close association with each other, but may include fewer artifacts if the area of the find is determined to be of significance due to its sacred or cultural importance.

1. All ground disturbance activities within 100 feet of the discovered cultural resources shall be halted until a meeting is convened between the developer, the archaeologist, the Native American tribal representative and the Planning Director to discuss the significance of the find.

2. At the meeting, the significance of the discoveries shall be discussed and after consultation with the Native American tribal representative and the archaeologist, a decision shall be made, with the concurrence of the Planning Director, as to the appropriate mitigation. Conditions of Approval 10.PLANNING.01 and 10.PLANNING.02 are not considered unique mitigation measures pursuant to CEQA. No additional mitigation is identified or required.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

9. Archaeological Resources	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
a) Alter or destroy an archaeological site.				
b) Cause a substantial adverse change in the significance of an archaeological resource pursuant to California Code of Regulations, Section 15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Disturb any human remains, including those interred outside of formal cemeteries?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Restrict existing religious or sacred uses within the potential impact area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure OS-6 "Relative Archaeological Sensitivity of Diverse Landscapes," Project Application Materials, PDA04686 Archaeological Report prepared by Brian F. Smith and Associates, dated March 1, 2011

Findings of Fact:

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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a) As a result of information contained within PDA04686 Archaeological Report prepared by Brian F. Smith and Associates, dated March 1, 2011, it has been determined that archaeological monitoring of earth-disturbing activities is required and that tribal monitoring is appropriate due to the numerous documented Native American archaeological sites in close proximity to the project site. Therefore, impacts are considered less than significant with mitigation.

b) This project will have a less than significant impact change in the significance of an archaeological resource pursuant to California Code of Regulations, Section 15064.5.

c) This project will have less than significant impact on human remains, including those interred outside of formal cemeteries. However, as a precaution, this project has been conditioned to halt construction and immediately contact the State Health and Safety Code Section 7050.5 if human remains are found. If remains are determined to be prehistoric, the coroner shall notify the Native American Heritage Commission, which will determine and notify the appropriate Native American Tribe who is the most likely descendant. The descendant shall inspect the site of discovery and make a recommendation as to the appropriate mitigation. After the recommendation has been made, the property owner, Native American Tribe representative, and a County representative shall meet to determine the appropriate mitigation measures and corrective actions to be implemented. Condition of Approval 10.PLANNING.01 is not considered a unique mitigation measure pursuant to CEQA. No additional mitigation is identified or required.

d) This project will not restrict existing or religious or sacred uses within the potential impact area.

Mitigation: Prior to the issuance of grading permits, the developer/permit holder shall retain and enter into a monitoring and mitigation service contract with a qualified Archaeologist for services. This professional shall be known as the "Project Archaeologist." The Project Archeologist shall be included in the pre-grade meetings to provide cultural/historical sensitivity training including the establishment of set guidelines for ground disturbance in sensitive areas with the grading contractors and any required tribal or special interest monitors. The Project Archaeologist shall manage and oversee monitoring for all initial ground disturbing activities and excavation of each portion of the project site including clearing, grubbing, tree removals, grading, trenching, stockpiling of materials, rock crushing, structure demolition and etc. The Project Monitor shall have the authority to temporarily divert, redirect or halt the ground disturbance activities to allow identification, evaluation, and potential recovery of cultural resources in coordination with any tribal or special interest monitors. The developer/permit holder shall submit a fully executed copy of the contract to the Riverside County Planning Department to ensure compliance with this condition of approval. Upon verification, the Planning Department shall clear this condition. (COA: 60.PLANNING.02) Prior to the issuance of grading permits, the developer/permit holder shall enter into an agreement and retain a monitor designated by the Pechanga Band of Luiseno Mission Indians. This group shall be known as the Tribal Monitor for this project. The agreement shall address the treatment and ultimate disposition of cultural resources which may include repatriation and/or curation in a Riverside County approved curation facility.

The Tribal Monitor shall be allowed on-site during all initial ground disturbing activities and excavation of each portion of the project site including clearing, grubbing, tree removals, grading, trenching, stockpiling of materials, rock crushing, structure demolition and etc. Tribal monitoring is not required for precise grading or other construction phases not related to mass or rough grading. The Tribal Monitor shall have the limited authority to temporarily divert, redirect or halt the ground disturbance activities to allow identification, evaluation, and potential recovery of cultural resources in coordination

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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with the Project Archaeologist. The developer/permit holder shall submit a fully executed copy of the agreement to the Riverside County Planning Department to ensure compliance with this condition of approval. Upon verification, the Planning Department shall clear this condition. (COA: 60.PLANNING.04) Prior to final inspection of the first building permit, the developer/permit holder shall prompt the Cultural Resources Professional to submit two (2) copies of a Phase IV Cultural Resources Monitoring Report that complies with the Riverside County Planning Department's requirements for such reports. The report shall include evidence of the required cultural/historical sensitivity training for the construction staff held during the pre-grade meeting. The Planning Department shall review the report to determine adequate mitigation compliance. Provided the report is adequate, the Planning Department shall clear this condition. (COA: 90.PLANNING.03)

Monitoring: Monitoring shall be conducted by Building and Safety Department through the permitting process.

10. Paleontological Resources

a) Directly or indirectly destroy a unique paleontological resource, or site, or unique geologic feature?

Source: Riverside County General Plan Figure OS-8 "Paleontological Sensitivity"

Findings of Fact:

a) According to the Riverside County General Plan, the project site is located within an area of High Paleontological sensitivity (High B). Therefore, this project will have a less than significant impact with mitigation on potential paleontological resources.

Mitigation: PRIOR TO ISSUANCE OF GRADING PERMITS: 1.The applicant shall retain a qualified paleontologist approved by the County of Riverside to create and implement a project-specific plan for monitoring site grading/earthmoving activities (project paleontologist). 2. The project paleontologist retained shall review the approved development plan and grading plan and shall conduct any pre-construction work necessary to render appropriate monitoring and mitigation requirements as appropriate. These requirements shall be documented by the project paleontologist in a Paleontological Resource Impact Mitigation Program (PRIMP). This PRIMP shall be submitted to the County Geologist for review and approval prior to issuance of a Grading Permit. All reports shall be signed by the project paleontologist and all other professionals responsible for the report's content (eg. Professional Geologist), as appropriate. Two wet-signed original copies of the report(s) shall be submitted to the office of the County Geologist along with a copy of this condition and the grading plan for appropriate case processing and tracking. These documents should not be submitted to the project Planner, the Plan Check staff, the Land Use Counter or any other County office. In addition, the applicant shall submit proof of hiring (i.e. copy of executed contract, retainer agreement, etc.) a project paleontologist for the in-grading implementation of the PRIMP. (COA: 60.PLANNING.01).

Monitoring: Monitoring shall be conducted by Building and Safety Department through the permitting process.

GEOLOGY AND SOILS Would the project

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
11. Alquist-Priolo Earthquake Fault Zone or County Fault Hazard Zones	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a) Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Be subject to rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan Figure S-2 "Earthquake Fault Study Zones," GIS database, Geotechnical Due-Diligence Interpretive Report (GEO No. 2231) prepared by Earth Strata, Inc., dated June 3, 2010

Findings of Fact:

a) The project site is not located within an Alquist-Priolo Earthquake Fault Zone. The proposed project will not expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death. California Building Code (CBC) requirements pertaining to industrial development will mitigate the potential impact to less than significant. As CBC requirements are applicable to all industrial development they are not considered mitigation for CEQA implementation purposes.

b) The project site is not located within an Alquist-Priolo Earthquake Fault Zone and no known fault lines are present on or adjacent to the project site. Therefore, there is a low potential for rupture of a known fault.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

12. Liquefaction Potential Zone	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a) Be subject to seismic-related ground failure, including liquefaction?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan Figure S-3 "Generalized Liquefaction", Geotechnical Due-Diligence Interpretive Report (GEO No. 2231) prepared by Earth Strata, Inc., dated June 3, 2010

Findings of Fact:

a) The project site is located within an area of low liquefaction potential. The County Geologist has reviewed and has recommended approval of the project with no conditions of approval regarding liquefaction potential.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

13. Ground-shaking Zone	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Be subject to strong seismic ground shaking?

Source: Riverside County General Plan Figure S-4 "Earthquake-Induced Slope Instability Map," and Figures S-13 through S-21 (showing General Ground Shaking Risk), Geotechnical Due-Diligence Interpretive Report (GEO No. 2231) prepared by Earth Strata, Inc., dated June 3, 2010

Findings of Fact:

a) There are no known active or potentially active faults that traverse the site and the site is not located within an Alquist-Priolo Earthquake Fault Zone. The principal seismic hazard that could affect the site is ground shaking resulting from an earthquake occurring along several major active or potentially active faults in southern California. The County Department of Building and Safety requires construction to conform to the California Building Code (CBC). Through the compliance with Riverside County requirements related to geotechnical and soil reports, the potential of the proposed project due to ground shaking will be less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

14. Landslide Risk

a) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, collapse, or rockfall hazards?

Source: Riverside County General Plan Figure S-5 "Regions Underlain by Steep Slope"

Findings of Fact:

a) The project site is generally flat and according to Figure S-5, the project site is not located in an area with slopes greater than 25%; therefore, there is no potential for landslides. The project site and surrounding area does not consist of rocky terrain therefore the project is not subject to rock fall hazards. No impacts will occur as a result of the proposed project.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

15. Ground Subsidence

a) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in ground subsidence?

Source: Riverside County General Plan Figure S-7 "Documented Subsidence Areas", Geotechnical Due-Diligence Interpretive Report (GEO No. 2231) prepared by Earth Strata, Inc., dated June 3, 2010

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Findings of Fact:

a) The project site is located in an area susceptible to subsidence, but not located near any documented areas of subsidence. California Building Code (CBC) requirements pertaining to development will mitigate the potential impact to less than significant. As CBC requirements are applicable to all development, they are not considered mitigation for CEQA implementation purposes.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

16. Other Geologic Hazards

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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a) Be subject to geologic hazards, such as seiche, mudflow, or volcanic hazard?

Source: Project Application Materials, Geotechnical Due-Diligence Interpretive Report (GEO No. 2231) prepared by Earth Strata, Inc., dated June 3, 2010

Findings of Fact:

a) The project site is not located in an area susceptible to unstable geologic hazards such as seiche, mudflow, or volcanic hazard on the project site.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

17. Slopes

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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a) Change topography or ground surface relief features?

b) Create cut or fill slopes greater than 2:1 or higher than 10 feet?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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c) Result in grading that affects or negates subsurface sewage disposal systems?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Source: Riverside County General Plan figure S-5 "Regions Underlain by Steep Slopes", Building and Safety – Grading Review, Project Application Materials

Findings of Fact:

a) The project will have a less than significant impact change to the existing topography on the subject site. The grading will follow the natural slopes and not alter any significant elevated topographic features located on the site.

b) The project will not cut or fill slopes greater than 2:1, but may create a slope higher than 10 feet. In order to minimize the impact, the project has been conditioned to grade so that the slopes reflect the natural terrain.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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c) The project will not result in grading that affects or negates subsurface sewage disposal systems.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

18. Soils

a) Result in substantial soil erosion or the loss of topsoil?

b) Be located on expansive soil, as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial risks to life or property?

c) Have soils incapable of adequately supporting use of septic tanks or alternative waste water disposal systems where sewers are not available for the disposal of waste water?

Source: Riverside County General Plan figure S-6 "Engineering Geologic Materials Map", Flood Control review, Building and Safety Grading review, Project Application Materials, Geotechnical Due-Diligence Interpretive Report (GEO No. 2231) prepared by Earth Strata, Inc., dated June 3, 2010

Findings of Fact:

a) The development of the project site may have the potential to result in soil erosion during grading and construction. Standard Conditions of Approval have been issued regarding soil erosion that will further ensure protection of public health, safety, and welfare upon final engineering of the project and are not considered mitigation for CEQA implementation purposes. (COA 10.BS GRADE.04)

b) The project may be located on expansive soil; however, California Building Code (CBC) requirements pertaining all structures will mitigate the potential impact to less than significant. As IBC requirements are applicable to all structures they are not considered mitigation for CEQA implementation purposes.

c) The project will be connected to a sewer system; there will be no septic on site.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

19. Erosion

a) Change deposition, siltation, or erosion that may modify the channel of a river or stream or the bed of a lake?

b) Result in any increase in water erosion either on or off site?

Source: Flood Control District review, Building and Safety – Grading Review, Project Materials

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Findings of Fact:

a) The project site is not located near the channel of a river, or stream, or the bed of a lake. Thus the proposed project does not change deposition, siltation or erosion that may modify the channel of a river or stream or the bed of a lake.

b) The project may result in an increase in water erosion either on or off site. Building and Safety Department has provided standard conditions of approval to ensure erosion impacts are mitigated to less than significant levels upon final engineering and are not considered mitigation for CEQA implementation purposes. (COA: 10.BS GRADE.06, 10.BS GRADE.07)

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

20. Wind Erosion and Blowsand from project either on or off site.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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a) Be impacted by or result in an increase in wind erosion and blowsand, either on or off site?

Source: Riverside County General Plan Figure S-8 "Wind Erosion Susceptibility Map," Ord. 484

Findings of Fact:

a) The project site is located within a moderate wind erosion area. All projects proposing grading are condition for dust control (COA: 10.BS GRADE.08). The Riverside County General Plan, Safety Element Policy for Wind Erosion requires buildings to be designed to resist wind loads which are covered by the California Building Code (CBC). With such compliance, impacts to wind erosion and blowsand from the project on or off site are considered to be less than significant. As no unique mitigation measures are identified, no additional mitigation is required.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

GREENHOUSE GAS EMISSIONS Would the project

21. Greenhouse Gas Emissions	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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a) Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?

b) Conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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Source: Project Application Materials, Global Climate Change Evaluation prepared by Scientific Resources Associated, dated January 14, 2011

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Findings of Fact:

a) Analysis by Scientific Resources Associated (January 14, 2011) indicates the project's annual GHG emissions will be 2,594 metric tons per year (MTY) of CO₂-equivalents (CO₂e). This total is below the threshold of 3,000 MTY CO₂e for residential and commercial project currently proposed by the South Coast Air Quality Management District. This project total includes both direct (amortized construction, area source and mobile emissions) and indirect (electricity, solid waste and water usage) GHG emissions. Therefore, the project will not result in significant generation of greenhouse gases, either directly or indirectly, and will not have a significant impact on the environment due to greenhouse gas emissions.

b) To ensure reductions below the expected "Business As Usual" (BAU) scenario, the project will be subject to a variety of measures that will reduce the project's greenhouse gas emissions. These measures include the following:

a. Compliance with all applicable policies, measures and regulations promulgated through, or as a result of, AB 32, California's "Global Warming Solutions Act of 2006," including measures outlined by the California Air Resources Board in their Climate Change Scoping Plan (December 2008) for AB 32 implementation.

b. The following additional GHG-reducing measures:

(1) Lighting: Low-pressure sodium vapor (LPSV) lighting or overhead high pressure sodium vapor lighting with shields or curoff luminaires shall be used on the project site. While used principally to reduce light pollution, these types of luminaires, particularly LPSV, are also extremely energy efficient. Where sodium lighting is not necessary or not advisable due to color, LED or other energy-efficient lighting shall be used, as appropriate.

(2) Bicycle Racks: To facilitate and encourage non-motorized transportation, bicycle racks shall be provided in convenient locations to facilitate bicycle access to the project area. The bicycle racks shall be shown on project landscaping and improvement plans submitted for Planning Department approval, and shall be installed in accordance with those plans.

(3) Recycling: To facilitate and encourage recycling to reduce landfill-associated emissions among others, the project shall provide trash enclosures that include additional enclosed area(s) for collection of recyclable materials. The recycling collection area(s) shall be located within, near or adjacent to each trash and rubbish disposal area. The recycling collection area shall be a minimum of 50% of the area provided for the trash/rubbish enclosure(s) or as approved by the Riverside County Waste Management Department.

(4) Water-Efficient Landscaping: All required landscape planting and irrigation shall be installed according to approved Landscaping, Irrigation and Shading Plans and be in a condition acceptable to the County. Landscaping and irrigation shall comply with County Ordinance No. 859, Water-Efficient Landscaping Standards. Reducing landscaping water use will conserve electricity, reducing GHG emissions associated with electricity production.

(5) Title 24: Use of equipment and fixtures that comply with applicable Title 24 energy conservation requirements.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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As a result of implementation of, and compliance with, the above measures, the project will further reduce greenhouse gas emissions below that expected for a business-as-usual project, consistent with the policies and plans of the County and the State, AB 32 in particular. These measures ensure the project will not conflict with the any applicable plans, policies or regulations related to reducing greenhouse gas emissions, and that this project's affect on the attainment of these plans is less than significant with mitigation.

Mitigation: Within the Mt. Palomar Special Lighting Area, as defined in Ordinance No. 655, low pressure sodium vapor lighting or overhead high pressure sodium vapor lighting with shields or cutoff luminaires, shall be utilized. (COA: 10.PLANNING.32). Bike rack spaces or bike lockers shall be shown on the project's parking and landscaping plan submitted to the Planning Department for approval. A bicycle rack with a minimum of eighteen (18) spaces shall be provided in convenient locations to facilitate bicycle access to the project area as shown on APPROVED EXHIBIT L. The bicycle racks shall be shown on project landscaping and improvement plans submitted for Planning Department approval, and shall be installed in accordance with those plans. (COA: 80.PLANNING.13, 90.PLANNING.13). Three (3) trash enclosures which are adequate to enclose a minimum of two (2) bins shall be located as shown on the APPROVED EXHIBIT A, and shall be constructed prior to the issuance of occupancy permits. The enclosure(s) shall be a minimum of six (6) feet in height and shall be made with masonry block with landscaping screening, above trellis and a solid gate which screens the bins from external view. Additional enclosed area for collection of recyclable materials shall be located within, near or adjacent to each trash and rubbish disposal area. The recycling collection area shall be a minimum of fifty percent (50%) of the area provided for the trash/rubbish enclosure(s) or as approved by the Riverside County Waste Management Department. All recycling bins shall be labeled with the universal recycling symbol and with signage indicating to the users the type of material to be deposited in each bin. (COA: 90.PLANNING.18) Prior to issuance of building permits, the developer/permit holder shall file a Landscaping Minor Plot Plan Application to the Riverside County Planning Department for review and approval along with the current fee. The landscaping plans shall be in conformance with the APPROVED EXHIBITS; in compliance with Ordinance No. 348, Section 18.12; Ordinance No. 859; and, be prepared consistent with the County of Riverside Guide to California Friendly Landscaping. (COA: 80.PLANNING.01, 90.PLANNING.02) Construction of all nonresidential buildings or structures shall exceed the energy standards of the 2008 Building Efficiency Standards as set forth in the 2008 California Energy Code (Title 24, Part 6 of the California Code of Regulations) by a minimum of five percent (5%) in aggregate. Submission of a Title 24 worksheet with building plans for each implementing development project shall be required by the Department of Building and Safety in order to obtain a building permit and set the condition to MET status. The worksheet shall include both the calculations showing the minimum Title 24 compliance requirements and calculations for the implementing development project. Compliance is determined by comparing the energy use of the proposed development to a minimally Title 24 compliant development. The calculations must be from an energy analysis computer program approved by the California Energy Commission in accordance with Title 24, Part 6, Article 1, Section 10-109. (COA: 80.PLANNING.22)

Monitoring: Monitoring shall be conducted by Building and Safety Department and SCAQMD through the permitting process.

HAZARDS AND HAZARDOUS MATERIALS	Would the project
22. Hazards and Hazardous Materials	<input type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/> <input type="checkbox"/>

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
a) Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?			<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Impair implementation of or physically interfere with an adopted emergency response plan or an emergency evacuation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Project Application Materials, Departments of Environmental Health and Fire Review

Findings of Fact:

a) & b) During construction of the proposed project, there is a limited potential for accidental release of construction-related products although not in sufficient quantity to pose a significant hazard to people and the environment. The proposed project will not create a hazard to the public or the environment. Impacts would be less than significant.

c) The project has been reviewed by the Riverside County Fire Department for emergency access, and will not impair implementation of or physically interfere with an adopted emergency response plan or an emergency evacuation plan.

d) The project will not emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school.

e) The project is not located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would not create a significant hazard to the public or the environment.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

23. Airports	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a) Result in an inconsistency with an Airport Master Plan?				
b) Require review by the Airport Land Use Commission?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
c) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) For a project within the vicinity of a private airstrip, or heliport, would the project result in a safety hazard for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure S-19 "Airport Locations," GIS database, Project Application Materials

Findings of Fact:

- a) The project site is not located within the vicinity of any public or private airport; therefore, the project will not result in an inconsistency with an Airport Master Plan.
- b) The project site is not located within the vicinity of any public or private airport; therefore will not require review by the Airport Land Use Commission (ALUC).
- c) The proposed project is not located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, and will not result in a safety hazard for people residing or working in the project area.
- d) The project is not within the vicinity of a private airstrip, or heliport and would not result in a safety hazard for people residing or working in the project area.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

24. Hazardous Fire Area

- | | Potentially Significant Impact | Less than Significant with Mitigation Incorporated | Less Than Significant Impact | No Impact |
|--|--------------------------------|--|------------------------------|-------------------------------------|
| a) Expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Source: Riverside County General Plan Figure S-11 "Wildfire Susceptibility," GIS database

Findings of Fact:

- a) According to GIS, the project site is not located in a hazardous fire area. No impacts will occur as a result of the proposed project.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
HYDROLOGY AND WATER QUALITY Would the project				
25. Water Quality Impacts	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
a) Substantially alter the existing drainage pattern of the site or area, including the alteration of the course of a stream or river, in a manner that would result in substantial erosion or siltation on- or off-site?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) Violate any water quality standards or waste discharge requirements?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Create or contribute runoff water that would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
e) Place housing within a 100-year flood hazard area, as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Place within a 100-year flood hazard area structures which would impede or redirect flood flows?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
g) Otherwise substantially degrade water quality?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
h) Include new or retrofitted stormwater Treatment Control Best Management Practices (BMPs) (e.g. water quality treatment basins, constructed treatment wetlands), the operation of which could result in significant environmental effects (e.g. increased vectors or odors)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County Flood Control District Flood Hazard Report/Condition, Sun City / Menifee Valley Area Plan Figure 9 "Flood Hazards"

Findings of Fact:

a) A drainage area of approximately 110-acres is tributary to El Centro Lane along the southwesterly boundary of the site. Runoff from this watershed flows easterly through a wide, broad low which traverses the site. The drainage plan proposes that runoff from this watershed would be collected into two 36-inch pipes under El Centro Lane which will then connect to a 60-inch storm drain which will convey the storm runoff through the site. Flows are discharged downstream of La Ventana Road along the easterly boundary. It is anticipated that the District will accept this facility for operation and maintenance once it is constructed. Therefore, it shall be designed and built to District standards. As shown on the exhibit, the storm drain has angle points. All angle points shown on the exhibit shall be 'smoothed out' with curves that have a minimum radius of 35-feet. Sufficient right of way or easements at the inlet and outlet structures for maintenance access will be required. Additional easement(s) may be necessary at the inlet for the necessary ponding required for the storm runoff.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Letters of permission have been obtained from both the upstream and downstream property owners who are affected by the drainage improvements associated with this project. While a 20-foot wide storm drain easement is shown on the exhibit, the actual width of the easement will be determined during final engineering and will depend on the size and depth of the pipe. Therefore, impacts are considered less than significant with mitigation. (COA: 10.FLOOD RI.02)

b) The project will not violate any water quality standards or waste discharge requirements, and has been conditioned to comply with standard water quality conditions of approval.

c) The project will not substantially deplete groundwater supplies or interfere substantially with groundwater recharge.

d), g) & h) For water quality and increased runoff mitigation, the onsite runoff is collected and conveyed through a series of onsite storm drains which outlet at the northwest corner of the ball field located in the northeast portion of the project. The southeasterly quadrant of the project conveys flows overland to the ball field. The ball field serves as a mitigation basin (labeled Detention/Biofiltering Area on the exhibit) for both increased runoff and water quality. The BMP design shall be refined at improvement plan check stage. Flows travel to the outlet structure located in the southeast corner of the ball field where they pond up, enter the outlet structure and are then conveyed to the 60-inch storm drain. This project is located in the Warm Springs Valley sub-watershed of the Murrieta Creek Area Drainage Plan (ADP) for which drainage fees have been established by the Board of Supervisors. A Zone 7 maintenance charge for the drainage facilities the District will assume for maintenance will also be required. Therefore, impacts are considered less than significant with mitigation. (COA: 10.FLOOD RI.02)

e) The project will not place housing within a 100-year flood hazard area, as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map.

f) The 10 year storm flow shall be contained within the curb and the 100 year storm flow shall be contained within the street right of way. When either of these criteria is exceeded, additional drainage facilities shall be installed. The property shall be graded to drain to the adjacent street or an adequate outlet. Drainage facilities outletting sump conditions shall be designed to convey the tributary 100 year storm flows. Additional emergency escape shall also be provided. Therefore, impacts are considered less than significant with mitigation. (COA: 10.FLOOD RI.04, 10.FLOOD RI.05)

Mitigation: A copy of the improvement plans, grading plans, BMP improvement plans and any other necessary documentation along with supporting hydrologic and hydraulic calculations shall be submitted to the District for review. (COA: 60.FLOODRI.02, 80.FLOODRI.02) Temporary erosion control measures shall be implemented immediately following rough grading to prevent deposition of debris onto downstream properties or drainage facilities. Plans showing these measures shall be submitted to the District for review. (COA: 60.FLOODRI.03) Offsite drainage facilities shall be located within dedicated drainage easements obtained from the affected property owner(s). (COA: 60.FLOODRI.04) Written permission shall be obtained from the affected property owner(s) allowing the proposed grading and/or facilities to be installed outside of the project boundaries. A copy of the written authorization shall be submitted to the District for review and approval. (COA: 60.FLOODRI.05) Inspection and maintenance of the flood control facility/ies to be constructed with this development must be performed by either the County Transportation Department or the Flood Control District. (COA: 60.FLOODRI.07, 80.FLOODRI.03) The County Board of Supervisors has adopted the Murrieta Creek Area Drainage Plan (ADP) for the purpose of collecting drainage fees.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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This project may require earlier construction of downstream ADP facilities. To mitigate this effect, the District recommends that this project be required to pay a flood mitigation fee. Public Use Permit 907 is located within the limits of the Warm Springs Valley sub-watershed of the Murrieta Creek Area Drainage Plan for which drainage fees have been adopted to help mitigate the impacts of this development. The mitigation charge for this proposal shall equal the prevailing Area Drainage Plan fee rate multiplied by the area of the new development. This new development has a total of 17.1-acres subject to the fee. The charge is payable to the Flood Control District by cashier's check or money order only, and shall be paid after final approval of the staff report/conditions of approval by the Board of Supervisors and prior to issuance of permits. (COA: 60.FLOODRI.08, 80.FLOODRI.04) A copy of the project specific WQMP shall be submitted to the District for review and approval. (COA: 60.FLOODRI.09, 80.FLOODRI.05) All flood control facilities should be constructed to District standards. All facilities that the District will assume for maintenance will require the payment of a one time maintenance charge equal to the "present worth" value of 10 years of maintenance costs at the time of improvement plan approval. (COA: 60.FLOODRI.10, 80.FLOODRI.06) The developer shall distribute environmental awareness education materials on general good housekeeping practices that contribute to protection of stormwater quality to all initial users. All structural BMPs described in the project-specific WQMP shall be constructed and installed in conformance with approved plans and specifications. The BMP maintenance plan shall contain provisions for all treatment controlled BMPs to be inspected, and if required, cleaned no later than October 15 each year. (COA: 90.FLOODRI.02, 90.FLOODRI.03, 90.FLOODRI.05).

Monitoring: Monitoring shall be conducted by the Riverside County Flood Control District and by the Department of Building and Safety plan check process.

26. Floodplains

Degree of Suitability in 100-Year Floodplains. As indicated below, the appropriate Degree of Suitability has been checked.

NA - Not Applicable <input type="checkbox"/>	U - Generally Unsuitable <input checked="" type="checkbox"/>	R - Restricted <input type="checkbox"/>
a) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner that would result in flooding on- or off-site?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Changes in absorption rates or the rate and amount of surface runoff?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam (Dam Inundation Area)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Changes in the amount of surface water in any water body?	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure S-9 "100- and 500-Year Flood Hazard Zones," Figure S-10 "Dam Failure Inundation Zone," Riverside County Flood Control District Flood Hazard Report/Condition, GIS database

Findings of Fact:

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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a) & b) A drainage area of approximately 110-acres is tributary to El Centro Lane along the southwesterly boundary of the site. Runoff from this watershed flows easterly through a wide, broad low which traverses the site. The drainage plan proposes that runoff from this watershed would be collected into two 36-inch pipes under El Centro Lane which will then connect to a 60-inch storm drain which will convey the storm runoff through the site. Flows are discharged downstream of La Ventana Road along the easterly boundary. It is anticipated that the District will accept this facility for operation and maintenance once it is constructed. Therefore, it shall be designed and built to District standards. As shown on the exhibit, the storm drain has angle points. All angle points shown on the exhibit shall be 'smoothed out' with curves that have a minimum radius of 35-feet. Sufficient right of way or easements at the inlet and outlet structures for maintenance access will be required. Additional easement(s) may be necessary at the inlet for the necessary ponding required for the storm runoff. Letters of permission have been obtained from both the upstream and downstream property owners who are affected by the drainage improvements associated with this project. While a 20-foot wide storm drain easement is shown on the exhibit, the actual width of the easement will be determined during final engineering and will depend on the size and depth of the pipe. Therefore; impacts are considered less than significant with mitigation. (COA: 10.FLOOD RI.02).

c) The 10 year storm flow shall be contained within the curb and the 100 year storm flow shall be contained within the street right of way. When either of these criteria is exceeded, additional drainage facilities shall be installed. The property shall be graded to drain to the adjacent street or an adequate outlet. Drainage facilities outletting sump conditions shall be designed to convey the tributary 100 year storm flows. Additional emergency escape shall also be provided. Therefore, impacts are considered less than significant with mitigation. (COA: 10.FLOOD RI.04, 10.FLOOD RI.05)

d) The project will not cause changes in the amount of surface water in any water body.

Mitigation: Temporary erosion control measures shall be implemented immediately following rough grading to prevent deposition of debris onto downstream properties or drainage facilities. Plans showing these measures shall be submitted to the District for review. (COA: 60.FLOODRI.03) Offsite drainage facilities shall be located within dedicated drainage easements obtained from the affected property owner(s). (COA: 60.FLOODRI.04) Written permission shall be obtained from the affected property owner(s) allowing the proposed grading and/or facilities to be installed outside of the project boundaries. A copy of the written authorization shall be submitted to the District for review and approval. (COA: 60.FLOODRI.05) Inspection and maintenance of the flood control facility/ies to be constructed with this development must be performed by either the County Transportation Department or the Flood Control District. (COA: 60.FLOODRI.07, 80.FLOODRI.03) All flood control facilities should be constructed to District standards. All facilities that the District will assume for maintenance will require the payment of a one time maintenance charge equal to the "present worth" value of 10 years of maintenance costs at the time of improvement plan approval. (COA: 60.FLOODRI.10, 80.FLOODRI.06)

Monitoring: Monitoring shall be conducted by the Riverside County Flood Control District and by the Department of Building and Safety plan check process.

LAND USE/PLANNING Would the project

27. Land Use

a) Result in a substantial alteration of the present or planned land use of an area?

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
b) Affect land use within a city sphere of influence and/or within adjacent city or county boundaries?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan, GIS database, Project Application Materials

Findings of Fact:

a) Within the vicinity of the proposed project there is vacant land to the north, south and east and single family residences to the west. The project site is currently vacant and proposes a 109,125 square foot public charter school. Therefore, impacts are considered less than significant.

b) The project does not affect land use within a city sphere of influence or within adjacent city or county boundaries.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

28. Planning	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a) Be consistent with the site's existing or proposed zoning?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Be compatible with existing surrounding zoning?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Be compatible with existing and planned surrounding land uses?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Be consistent with the land use designations and policies of the Comprehensive General Plan (including those of any applicable Specific Plan)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Disrupt or divide the physical arrangement of an established community (including a low-income or minority community)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Land Use Element, Staff review, GIS database

Findings of Fact:

a) The project is consistent with the site's existing zoning Residential Agricultural - 5 Acre Minimum (R-A-5).

b) The surrounding zoning is Residential Agricultural - 5 Acre Minimum (R-A-5) to the north and east and Light Agriculture - 5 Acre Minimum (A-1-5) to the south and west. The project will be compatible with the surrounding zoning classifications.

c) The project site is designated Rural Community: Estate Density Residential (RC: EDR) (2 Acre Minimum) in the Riverside County General Plan. Surrounding properties are also designated Rural Community: Estate Density Residential (RC: EDR) (2 Acre Minimum) to the north, east and west and Rural: Rural Residential (R: RR) (5 Acre Minimum) to the south.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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d) The project is consistent with current land use designations and the policies of the Riverside County General Plan.

e) The project will not disrupt or divide the physical arrangement of an established community.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

MINERAL RESOURCES Would the project

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
29. Mineral Resources	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a) Result in the loss of availability of a known mineral resource that would be of value to the region or the residents of the State?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Be an incompatible land use located adjacent to a State classified or designated area or existing surface mine?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Expose people or property to hazards from proposed, existing or abandoned quarries or mines?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure OS-5 "Mineral Resources Area"

Findings of Fact:

a) The project site is within MRZ-3, which is defined as areas where the available geologic information indicates that mineral deposits are likely to exist; however, the significance of the deposit is undetermined.

The Riverside County General Plan identifies policies that encourage protection for existing mining operations and for appropriate management of mineral extraction. A significant impact that would constitute a loss of availability of a known mineral resource would include unmanaged extraction or encroach on existing extraction. No existing or abandoned quarries or mines exist in the area surrounding the project site. The project does not propose any mineral extraction on the project site. Any mineral resources on the project site will be unavailable for the life of the project; however, the project will not result in the permanent loss of significant mineral resources.

b) The project will not result in the loss of availability of a known mineral resource in an area classified or designated by the State that would be of value to the region or the residents of the State. The project will not result in the loss of availability of a locally important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan.

c) The project will not be an incompatible land use located adjacent to a State classified or designated area or existing surface mine.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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d) The project will not expose people or property to hazards from proposed, existing or abandoned quarries or mines.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

NOISE Would the project result in

Definitions for Noise Acceptability Ratings

Where indicated below, the appropriate Noise Acceptability Rating(s) has been checked.

NA - Not Applicable

A - Generally Acceptable

B - Conditionally Acceptable

C - Generally Unacceptable

D - Land Use Discouraged

30. Airport Noise

a) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport would the project expose people residing or working in the project area to excessive noise levels?

NA A B C D

b) For a project within the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels?

NA A B C D

Source: Riverside County General Plan Figure S-19 "Airport Locations," County of Riverside Airport Facilities Map, Project Application Materials

Findings of Fact:

a) The project site is not located within an airport land use plan or within two miles of a public airport or public use airport that would expose people residing on the project site to excessive noise levels.

b) The project is not located within the vicinity of a private airstrip that would expose people residing on the project site to excessive noise levels.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

31. Railroad Noise

NA A B C D

Source: Riverside County General Plan Figure C-1 "Circulation Plan", GIS database

Findings of Fact:

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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The project site is not located adjacent to a rail line. No impacts will occur as a result of the proposed project.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

32. Highway Noise

NA A B C D

Source: Riverside County General Plan Figure C-1 "Circulation Plan", GIS database

Findings of Fact:

The project site is located approximately 2.25 miles east of Interstate 215. Therefore, due to distance, impacts would be less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

33. Other Noise

NA A B C D

Source: Project Application Materials, GIS database

Findings of Fact:

No other noise sources have been identified near the project site that would contribute a significant amount of noise to the project.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

34. Noise Effects on or by the Project

a) A substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project?

b) A substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project?

c) Exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
d) Exposure of persons to or generation of excessive ground-borne vibration or ground-borne noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Project Application Materials, Riverside County General Plan Noise Element; Riverside County Noise Ordinance No. 847, Letter from the Department of Public Health Office of Industrial Hygiene, dated February 15, 2011 from Steven Hinde, CIH, Senior Industrial Hygienist

Findings of Fact:

a) The proposed project will not cause a substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project.

b) The project might create a substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project. However, all noise generated during project construction and the operation of the site must comply with the County's noise standards, which restricts construction (short-term) and operational (long-term) noise levels. Therefore, any potential noise impact is considered less than significant.

c) The project will not cause exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies.

d) Persons might be exposed to groundborne vibration or groundborne noise levels during construction and operation of the project; however, to minimize ambient noise levels during construction and operation of the proposed project, construction and operation shall be restricted substantially to daylight hours.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

POPULATION AND HOUSING Would the project

35. Housing	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a) Displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Create a demand for additional housing, particularly housing affordable to households earning 80% or less of the County's median income?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Displace substantial numbers of people, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Affect a County Redevelopment Project Area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Cumulatively exceed official regional or local population projections?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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roads or other infrastructure)?

Source: Project Application Materials, GIS database, Riverside County General Plan Housing Element

Findings of Fact:

- a) The project will not necessitate the construction or replacement of housing elsewhere.
- b) The project could create a demand for additional housing; however, any demand will be accommodated on the housing market and any development will be required to develop per the General Plan.
- c) The project will not displace any people.
- d) The project site is not located within a County Redevelopment Project Area.
- e) The project will not cumulatively exceed official regional or local population projections.
- f) Development of the proposed project site will have a less than significant impact on inducing substantial population growth in an area either directly (e.g., by proposing new homes and businesses) or indirectly (e.g., through extension of roads or other infrastructure).

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

PUBLIC SERVICES Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered government facilities or the need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:

36. Fire Services

Source: Riverside County General Plan Safety Element

Findings of Fact:

The proposed project will have no impact on the demand for Fire services. Prior to the issuance of a certificate of occupancy, the applicant shall comply with the provision of Ordinance No. 659 which requires payment of the appropriate fees set forth in the Ordinance. Ordinance No. 659 is established to set forth policies, regulations and fees related to the funding and construction of facilities necessary to address the direct a cumulative environmental effect generated by new development projects. With compliance to Ordinance No. 659, impact to Fire services is viewed as less than significant.

Additionally, the project will not result in substantial adverse physical impacts associate with the provision of new or physically altered government facilities or the need for new or physically altered governmental facilities. As such, this project will not cause the construction of which could cause

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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significant environmental impacts, in order to maintain acceptable service ratios, response ties or other performance objectives for any of the public services.

Any project subject to Ordinance No. 659 will be conditioned for compliance. Compliance with Ordinance No. 659 is not considered a unique mitigation measure. No additional mitigation is identified or required. (COA: 90.PLANNING.31)

Mitigation: No mitigation measures are required.

Monitoring: No mitigation measures are required.

37. Sheriff Services	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Source: Riverside County General Plan

Findings of Fact:

The proposed project will have no impact on the demand for Sheriff services. Prior to the issuance of a certificate of occupancy, the applicant shall comply with the provision of Ordinance No. 659 which requires payment of the appropriate fees set forth in the Ordinance. Ordinance No. 659 is established to set forth policies, regulations and fees related to the funding and construction of facilities necessary to address the direct a cumulative environmental effect generated by new development projects. With compliance to Ordinance No. 659, impact to Sheriff services is viewed as less than significant.

Additionally, the project with not result in substantial adverse physical impacts associate with the provision of new or physically altered government facilities or the need for new or physically altered governmental facilities. As such, this project will not cause the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response ties or other performance objectives for any of the public services.

Any project subject to Ordinance No. 659 will be conditioned for compliance. Compliance with Ordinance No. 659 is not considered a unique mitigation measure. No additional mitigation is identified or required. (COA: 90.PLANNING.31)

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

38. Schools	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Source: GIS database

Findings of Fact:

The proposed project is located within the Menifee Union & Perris Union High School District. The impact of the project is considered less than significant.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Additionally, the project will not result in substantial adverse physical impacts associated with the new provision of new or physically altered government facilities or the need for new or physically alter governmental facilities. As such, this project will not cause the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios and performance objectives for any public services.

These projects have been conditioned to comply with School Mitigation Impact fees in order to mitigate the potential effects to school services. This is a standard condition of approval and pursuant to CEQA is not considered mitigation (COA: 80.PLANNING.19). Therefore, impacts are considered less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

39. Libraries	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Source: Riverside County General Plan

Findings of Fact:

The proposed project will have no impact on the demand for Library services. Prior to the issuance of a certificate of occupancy, the applicant shall comply with the provision of Ordinance No. 659 which requires payment of the appropriate fees set forth in the Ordinance. Ordinance No. 659 is established to set forth policies, regulations and fees related to the funding and construction of facilities necessary to address the direct a cumulative environmental effect generated by new development projects. With compliance to Ordinance No. 659, impact to Library services is viewed as less than significant.

Additionally, the project with not result in substantial adverse physical impacts associated with the provision of new or physically altered government facilities or the need for new or physically altered governmental facilities. As such, this project will not cause construction which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services.

Any project subject to Ordinance No. 659 will be conditioned for compliance. This is not a unique mitigation measure. No further mitigation measures have been identified; no additional or unique mitigation is required. (COA: 90.PLANNING.31)

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

40. Health Services	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Source: Riverside County General Plan

Findings of Fact:

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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The construction of health service buildings in conjunction with the proposed development is not anticipated. Existing health services facilities will serve the site.

Additionally, the project will no result in substantial adverse physical impacts associated with the provision of new or physically altered government facilities or the need for new or physically altered governmental faculties. As such, this project will not cause construction which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services.

Any project subject to Ordinance No. 659 will be conditioned for compliance. This is not a unique mitigation measure. No further mitigation measures have been identified; no additional or unique mitigation is required. (COA: 90.PLANNING.31)

Mitigation: No mitigation measures are required.

Monitoring: No mitigation measures are required.

RECREATION

41. Parks and Recreation

a) Would the project include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Would the project include the use of existing neighborhood or regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Is the project located within a C.S.A. or recreation and park district with a Community Parks and Recreation Plan (Quimby fees)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: GIS database, Ord. No. 460, Section 10.35 (Regulating the Division of Land – Park and Recreation Fees and Dedications), Ord. No. 659 (Establishing Development Impact Fees), Parks & Open Space Department Review

Findings of Fact:

a) & b) The proposed project does not include public recreational facilities or require the construction or expansion of recreational facilities as well as it does not include the use of existing neighborhood or regional parks or other recreational facilities.

c) The project is within the Lakeview/Nuevo/Romoland/Homeland County Service Area No. 146. Ordinance No. 460 does not require payment of Quimby fees for commercial / industrial developments.

Mitigation: No mitigation measures are required.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Monitoring: No monitoring measures are required.

42. Recreational Trails

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Source: Riverside County Parks, Riverside County General Plan Figure C-7 "Trails and Bikeway System", Ord. No. 460, Ord. No. 461

Findings of Fact:

The Sun City / Menifee Valley Area Plan indicates that no trails are proposed to be constructed and dedicated along the north of Wickerd Road, east of El Centro Lane and west of La Ventana Lane.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

TRANSPORTATION/TRAFFIC Would the project

43. Circulation

<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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a) Conflict with an applicable plan, ordinance or policy establishing a measure of effectiveness for the performance of the circulation system, taking into account all modes of transportation, including mass transit and non-motorized travel and relevant components of the circulation system, including but not limited to intersections, streets, highways and freeways, pedestrian and bicycle paths, and mass transit?

<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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b) Conflict with an applicable congestion management program, including, but not limited to level of service standards and travel demand measures, or other standards established by the county congestion management agency for designated roads or highways?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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c) Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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d) Alter waterborne, rail or air traffic?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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e) Substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g. farm equipment)?

<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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f) Cause an effect upon, or a need for new or altered maintenance of roads?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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g) Cause an effect upon circulation during the project's construction?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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h) Result in inadequate emergency access or access to nearby uses?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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i) Conflict with adopted policies, plans or programs regarding public transit, bikeways or pedestrian facilities, or

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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otherwise substantially decrease the performance or safety of such facilities?

Source: Riverside County General Plan, Transportation Department Review, Ord. No. 348, Ord. No. 659

Findings of Fact:

a), b) & f) The Transportation Department has reviewed the traffic study submitted for the referenced project. The study has been prepared in accordance with County-approved guidelines. The General Plan circulation policies require a minimum of Level of Service 'C', except that Level of Service 'D' may be allowed in community development areas at intersections of any combination of secondary highways, major highways, arterials, urban arterials, expressways or state highways and ramp intersections. The study indicates that it is possible to achieve adequate levels of service for the following intersections based on the traffic study assumptions. I-215 Southbound Ramps (NS) at: Scott Road (EW), I-215 Northbound Ramps (NS) at: Scott Road (EW), Antelope Road (NS) at: Scott Road (EW), Menifee Road (NS) at: Scott Road (EW), Briggs Road (NS) at: Scott Road (EW), El Centro Road (NS) at: Project Driveway North (EW), El Centro Road (NS) at: Project Driveway South (EW), El Centro Road (NS) at: Wickerd Road (EW), Project Driveway West (NS) at: Wickerd Road (EW), Project Driveway East (NS) at: Wickerd Road (EW), Leon Road (NS) at: Wickerd Road (EW), Leon road (NS) at: Scott Road (EW). The associated conditions of approval incorporate mitigation measures identified in the traffic study, which are necessary to achieve or maintain the required level of service. (COA: 10.TRANS.03)

c) The project will have no impact on circulation that would result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks.

d) The project site will have no impact on circulation altering waterborne, rail or air traffic.

e) The proposed project site would have no impact on circulation substantially increasing hazards to a design feature or incompatible uses.

g) The proposed project site would have a less than significant impact on circulation because there are improvements that are going to be constructed.

h) The proposed project site would have no impact on circulation resulting in inadequate emergency access or access to nearby uses.

i) Development of this project will not conflict with adopted policies supporting alternative transportation such as bus turnouts or bicycle racks.

Mitigation: The start time for the elementary school, junior high, and high school shall be spaced at intervals of no less than 30 minutes apart. The end time for the elementary school, junior high, and high school shall be spaced no less than 30 minutes apart. (COA: 80.TRANS.06) The project proponent shall be responsible for the design of traffic signal(s) at the intersections of: Signal(s) not eligible for fee credit: Briggs Road (NS) at Scott Road (EW) (signal modification, see geometrics) or as approved by the Transportation Department. For improvements eligible for fee credit, the project proponent shall contact the Transportation Department and enter into an agreement for signal

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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mitigation fee credit or reimbursement prior to start of construction of the signal. All work shall be pre-approved by and shall comply with the requirements of the Transportation Department and the public contract code in order to be eligible for fee credit or reimbursement. (COA: 80.TRANS.07, 80.TRANS.08, 90.TRANS.16) Prior to the time of issuance of a Certificate of Occupancy or upon final inspection, whichever occurs first, the project proponent shall pay fees in accordance with Zone "A" of the Scott Road and Bridge Benefit District. (COA: 90.TRANS.08)

Monitoring: Monitoring shall be conducted by the Riverside County Transportation Department and by the Department of Building and Safety plan check process.

44. Bike Trails

Source: Riverside County Parks, Riverside County General Plan Figure C-7 "Trails and Bikeway System", Ord. No. 460, Ord. No. 461

Findings of Fact:

The project site is not located near a bike trail.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

UTILITY AND SERVICE SYSTEMS Would the project

45. Water

a) Require or result in the construction of new water treatment facilities or expansion of existing facilities, the construction of which would cause significant environmental effects?

b) Have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed?

Source: Department of Environmental Health Review

Findings of Fact:

a) The Eastern Municipal Water District (EMWD) will service the project with water. The Riverside County Department of Environmental Health has reviewed this project. The project does not require or will not result in the construction of new water treatment facilities or expansion of existing facilities, the construction of which would cause significant environmental effects.

b) There is a sufficient water supply available to serve the project from existing entitlements and resources. This project has been conditioned to comply with the requirements of the Riverside County Department of Environmental Health.

Mitigation: No mitigation measures are required.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Monitoring: No monitoring measures are required.

46. Sewer	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a) Require or result in the construction of new wastewater treatment facilities, including septic systems, or expansion of existing facilities, the construction of which would cause significant environmental effects?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Result in a determination by the wastewater treatment provider that serves or may service the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Department of Environmental Health Review

Findings of Fact:

- a) The Eastern Municipal Water District (EMWD) will service the project with sewer services. The Riverside County Department of Health has reviewed this project. The project will not require or will not result in the construction of new wastewater treatment facilities, including septic systems, or expansion of existing facilities, the construction of which would cause significant environmental effects.
- b) This project has been conditioned to comply with the requirements of the Riverside County Department of Environmental Health.

Mitigation: No mitigation measures are necessary.

Monitoring: No monitoring measures are necessary.

47. Solid Waste	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a) Is the project served by a landfill with sufficient permitted capacity to accommodate the project's solid waste disposal needs?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Comply with federal, state, and local statutes and regulations related to solid wastes (including the CIWMP (County Integrated Waste Management Plan)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan, Letter from Riverside County Waste Management Department, dated November 22, 2010 from Sung Key Ma, Planner

Findings of Fact:

- a) The project will not substantially alter existing or future solid waste generation patterns and disposal services. The landfill that will serve the project has sufficient capacity to accommodate the project's anticipated solid waste disposal needs.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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b) The development will comply with federal, state, and local statutes and regulations related to solid wastes (including the CIWMP (County Integrated Waste Management Plan). Conditions of Approval 60.PLANNING.17, 80.PLANNING.18 and 90.PLANNING.25 are not considered unique mitigation measures pursuant to CEQA. No additional mitigation is identified or required.

Mitigation: No mitigation measures are necessary.

Monitoring: No monitoring measures are necessary.

48. Utilities

Would the project impact the following facilities requiring or resulting in the construction of new facilities or the expansion of existing facilities; the construction of which could cause significant environmental effects?

a) Electricity?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Natural gas?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Communications systems?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Storm water drainage?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Street lighting?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) Maintenance of public facilities, including roads?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g) Other governmental services?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan, Ord. No 517, Ord. No. 659

Findings of Fact:

a), b) & c) The project will require utility services in the form of Electricity, Natural gas, and Telecommunications. Utility service infrastructure is available to the project site and the project is not anticipated to create a need for new facilities.

d) Storm water drainage will be handled on-site.

e) & f) Street lighting exists for the access to the project site. Overall, the project will have an incremental impact on the maintenance of public facilities, including roads.

g) The project will not require additional government services.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

49. Energy Conservation

a) Would the project conflict with any adopted energy conservation plans?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Source: Project Application Materials

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Findings of Fact:

a) The proposed project will not impact any adopted energy conservation plans.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

MANDATORY FINDINGS OF SIGNIFICANCE

<p>50. Does the project have the potential to substantially degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare, or endangered plant or animal to eliminate important examples of the major periods of California history or prehistory?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Source: Staff review, Project Application Materials

Findings of Fact:

Implementation of the proposed project would not substantially degrade the quality of the environment, substantially reduce the habitat of fish or wildlife species, cause a fish or wildlife populations to drop below self sustaining levels, threaten to eliminate a plant or animal community, or reduce the number or restrict the range of a rare or endangered plant or animal, or eliminate important examples of the major periods of California history or prehistory.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

<p>51. Does the project have impacts which are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, other current projects and probable future projects)?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Source: Staff review, Project Application Materials

Findings of Fact:

The project does not have impacts which are individually limited, but cumulatively considerable.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

52. Does the project have environmental effects that will cause substantial adverse effects on human beings, either directly or indirectly?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Source: Staff review, Project Application Materials

Findings of Fact:

The proposed project would not result in environmental effects which would cause substantial adverse effects on human beings, either directly or indirectly.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

VI. EARLIER ANALYSES

Earlier analyses may be used where, pursuant to the tiering, program EIR, or other CEQA process, an effect has been adequately analyzed in an earlier EIR or negative declaration as per California Code of Regulations, Section 15063 (c) (3) (D). In this case, a brief discussion should identify the following:

- Earlier Analyses Used, if any: Riverside County General Plan.
- Sun City / Menifee Valley Area Plan.
- SCAQMD CEQA Air Quality Handbook
- Global Climate Change Evaluation prepared by Scientific Resources Associated, dated January 14, 2011
- PDB05689 Biological Assessment(s) for the Burrowing Owl, Munz's Onion San Diego Ambrosia, Many-Stemmed Dudleya, Spreading Navarretia, California Orcutt Grass and Wright's Trichocoronis and Focused Surveys for the Burrowing Owl prepared by Kidd Biological Inc., dated August 15 2010
- PDA04686 Archaeological Report prepared by Brian F. Smith and Associates, dated March 1, 2011
- Geotechnical Due-Diligence Interpretive Report (GEO No. 2231) prepared by Earth Strata, Inc., dated June 3, 2010
- Letter from the Department of Public Health Office of Industrial Hygiene, dated February 15, 2011 from Steven Hinde, CIH, Senior Industrial Hygienist
- Letter from Riverside County Waste Management Department, dated November 22, 2010 from Sung Key Ma, Planner

Location Where Earlier Analyses, if used, are available for review:

Location: County of Riverside Planning Department

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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4080 Lemon Street, 12th Floor
Riverside, CA 92502-1409

VII. AUTHORITIES CITED

Authorities cited: Public Resources Code Sections 21083 and 21083.05; References: California Government Code Section 65088.4; Public Resources Code Sections 21080(c), 21080.1, 21080.3, 21082.1, 21083, 21083.05, 21083.3, 21093, 21094, 21095 and 21151; *Sundstrom v. County of Mendocino* (1988) 202 Cal.App.3d 296; *Leonoff v. Monterey Board of Supervisors* (1990) 222 Cal.App.3d 1337; *Eureka Citizens for Responsible Govt. v. City of Eureka* (2007) 147 Cal.App.4th 357; *Protect the Historic Amador Waterways v. Amador Water Agency* (2004) 116 Cal.App.4th at 1109; *San Franciscans Upholding the Downtown Plan v. City and County of San Francisco* (2002) 102 Cal.App.4th 656.