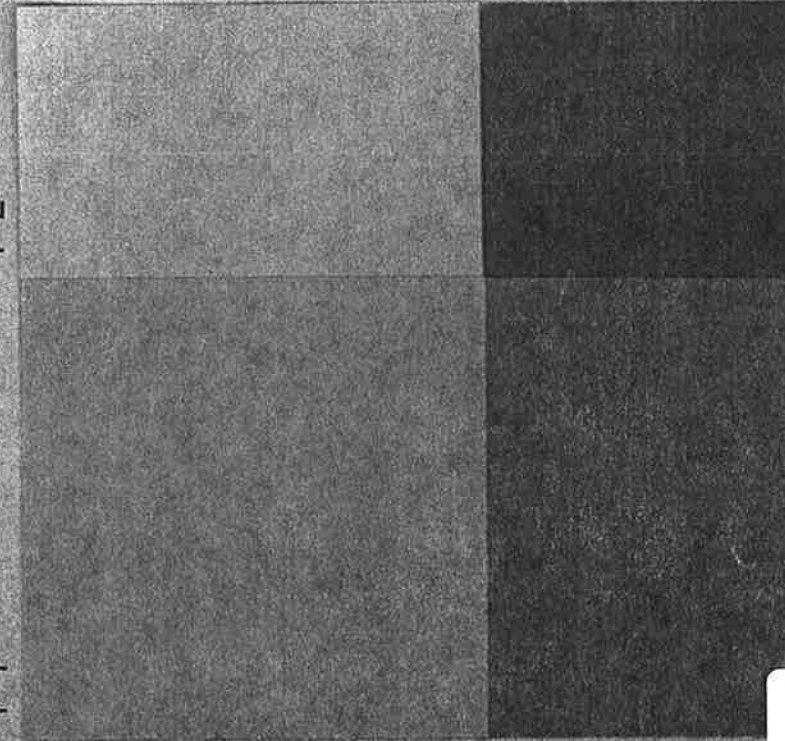


P-1

P-2



3

P-4

M-1

GL-1

FINISH SCHEDULE

MATERIAL	DESCRIPTION
FIELD COLOR	COLOR: IC # 2011 - SOFT OFF-WHITE
ACCENT COLOR	COLOR: IC # 2012 - SWISS COFFEE
ACCENT COLOR	COLOR: IC # 629 - DESERT VALLEY
ACCENT COLOR	COLOR: IC # 607 - SAVARA
GLAZING	BLUE REFLECTIVE GLAZING
MULLIONS	CLEAR ANODIZED ALUMINUM MULLIONS BY U.S. ALUMINUM OR EQUAL

DULLES DRIVE WAREHOUSE & OFFICE FACILITY

RGAA

Office of Architectural Design

15231 Alton Parkway, Suite 200
Irvine, CA 92618

T 949-341-0929
F 949-341-0922

CASE: PP17788, AMD. #2
EXHIBIT: M (Sheets 1-2)
DATED: 7/12/10
PLANNER: C. HINOJOSA

5/17/11

16.2

6

**DULLES DRIVE
WAREHOUSE & OFFICE
FACILITY**
PLOT PLAN 17788
AMENDMENT NO. 1

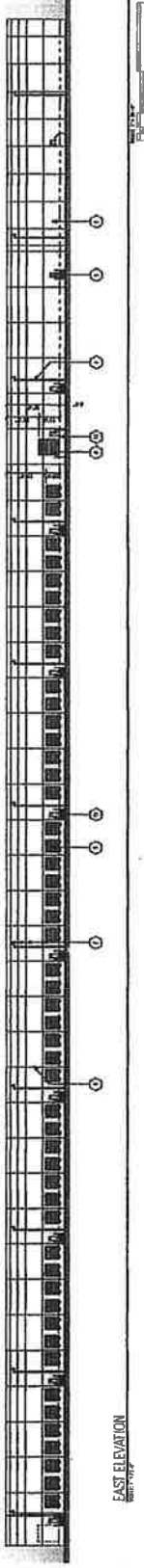
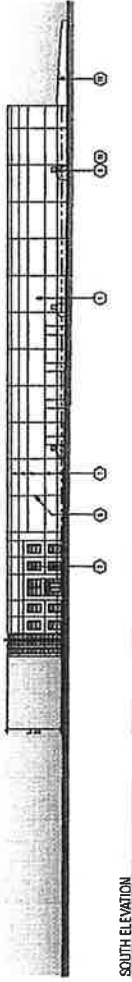
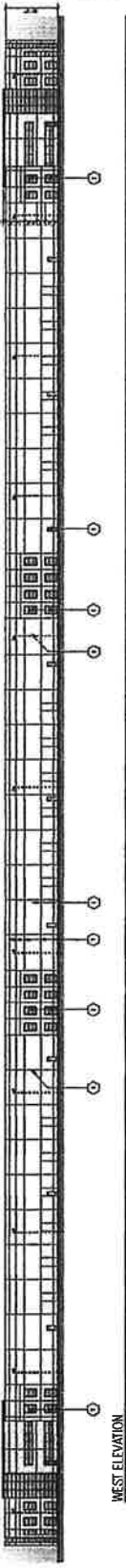
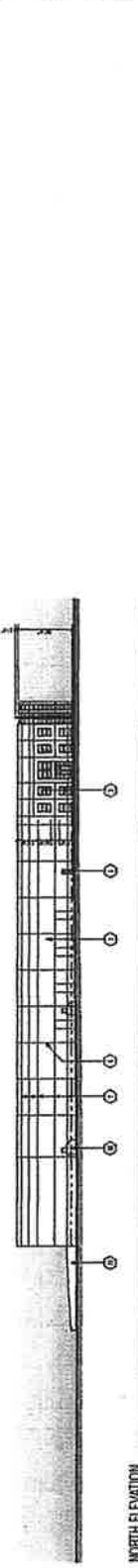
LAND OWNER
ALLIANCE INVESTMENT SERVICES
4700 BOWLING GREEN BLVD
DOWNSIDE, VA 22030
CONTACT: DEVEN LOFFNER
484-884-4297 FAX
484-884-4297

ARCHITECT
RG&A, OFFICE OF ARCHITECTURAL DESIGN
13781 ALDEN PARKWAY, SUITE 200
DUMMERSVILLE, VA 22024
CONTACT: JOHN HARTY
804-441-5114 FAX
804-441-5114

NO.	REVISION	DATE
1	ISSUE FOR PERMITTING	08/11/17
2	REVISION TO PERMITTING	08/11/17
3	REVISION TO PERMITTING	08/11/17
4	REVISION TO PERMITTING	08/11/17
5	REVISION TO PERMITTING	08/11/17
6	REVISION TO PERMITTING	08/11/17
7	REVISION TO PERMITTING	08/11/17
8	REVISION TO PERMITTING	08/11/17
9	REVISION TO PERMITTING	08/11/17
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12	REVISION TO PERMITTING	08/11/17
13	REVISION TO PERMITTING	08/11/17
14	REVISION TO PERMITTING	08/11/17
15	REVISION TO PERMITTING	08/11/17
16	REVISION TO PERMITTING	08/11/17
17	REVISION TO PERMITTING	08/11/17
18	REVISION TO PERMITTING	08/11/17
19	REVISION TO PERMITTING	08/11/17
20	REVISION TO PERMITTING	08/11/17

NOTES:

1. REFER TO ALL APPLICABLE REGULATIONS AND SPECIFICATIONS FOR THE PROJECT.
2. REFER TO ALL APPLICABLE REGULATIONS AND SPECIFICATIONS FOR THE PROJECT.
3. REFER TO ALL APPLICABLE REGULATIONS AND SPECIFICATIONS FOR THE PROJECT.
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20. REFER TO ALL APPLICABLE REGULATIONS AND SPECIFICATIONS FOR THE PROJECT.



site plan keynotes

1. ALL CONCRETE SHALL BE CAST IN PLACE.
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site plan general notes

1. THE SLOPE INDICATED BY THE DOTTED LINE IS TO BE MAINTAINED.
2. ALL CONCRETE SHALL BE CAST IN PLACE.
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site legend

- 0-1 LAND EXISTING
- 0-2 LAND EXISTING
- 0-3 LAND EXISTING
- 0-4 LAND EXISTING
- 0-5 LAND EXISTING
- 0-6 LAND EXISTING
- 0-7 LAND EXISTING
- 0-8 LAND EXISTING
- 0-9 LAND EXISTING
- 1-0 LAND EXISTING
- 1-1 LAND EXISTING
- 1-2 LAND EXISTING
- 1-3 LAND EXISTING
- 1-4 LAND EXISTING
- 1-5 LAND EXISTING
- 1-6 LAND EXISTING
- 1-7 LAND EXISTING
- 1-8 LAND EXISTING
- 1-9 LAND EXISTING
- 2-0 LAND EXISTING

vicinity map



project information

Owner / Applicant
 OC REAL ESTATE MANAGEMENT, LLC
 10000 WILSON AVENUE, SUITE 1000
 LOS ANGELES, CA 90024

Applicant's Representative
 CONTRACTORS HILLMAN & CLANNAMAN, JR.
 444 PLYMOUTH AVENUE
 NEWPORT BEACH, CA 92660
 TEL: 949.433.0000
 FAX: 949.433.0000
 CONTRACTORS HILLMAN & CLANNAMAN, JR.

Legal Description

CITY OF MIRA LOMA

Assessors Parcel Number

44-000-00

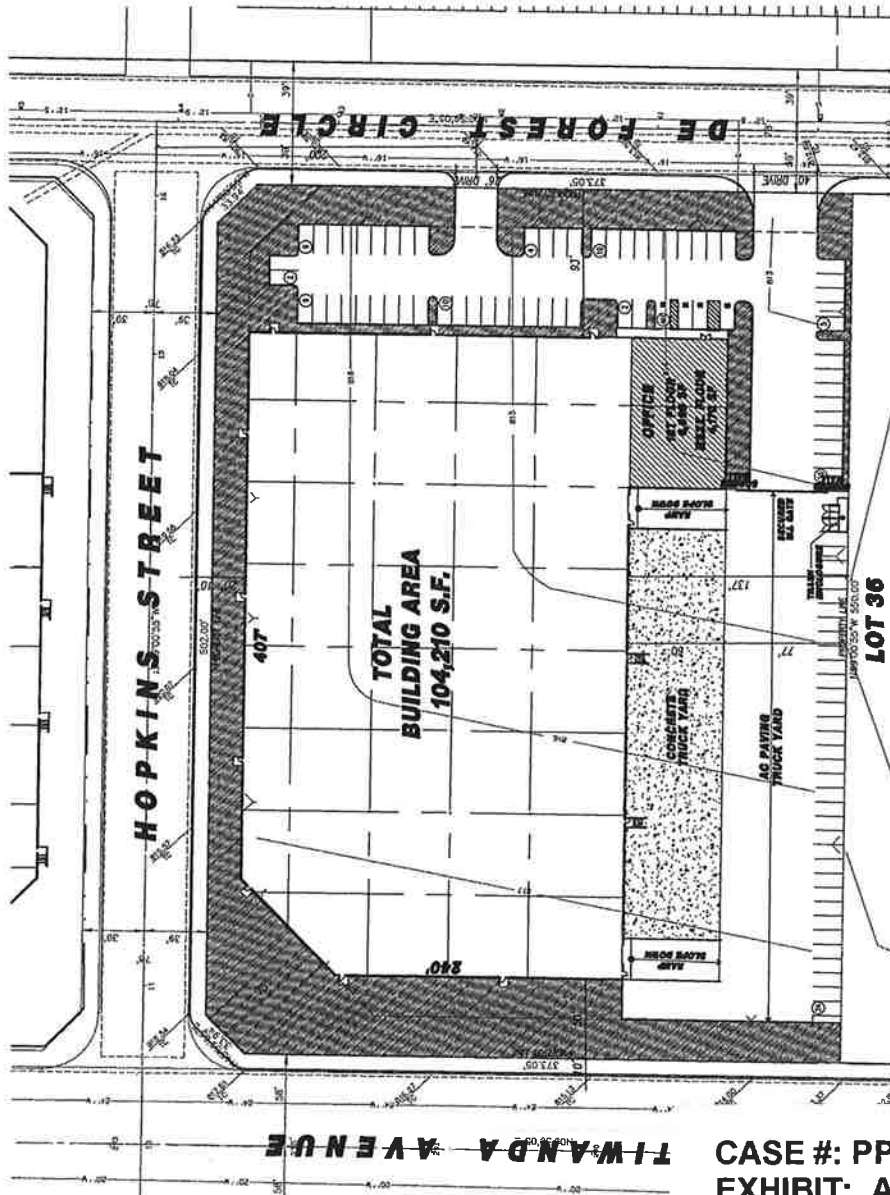
Project zoning

IND-1

Tables

Category	Value
Building Area	5,000
Land Area	217,800
Source Feet	6,990
Office - 1st Floor	83,350
Warehouse	109,049
Total Footprint Area	1,170
Office - Mezzanine Floor	104,210
Total Building Area	0.48
Coverage	32,070
Building Coverage	0.15
Landscape Area Required	40,269
Landscape Coverage	0.19
Landscape Area Provided	43
Landscape Coverage	47
Parking Required	90
Parking Provided	95
Handicap stalls	4
Total	89

conceptual site plan



LOT 35
INDUSTRIAL FACILITY
OC Real Estate Management, LLC.
 CITY OF MIRA LOMA

PLOT PLAN # 18875

CASE #: PP18875, AMD. #2
EXHIBIT: A
DATED: 7/12/10
PLANNER: C. HINOJOSA

KEYNOTES - ELEVATIONS

1. CONCRETE SET-UP PANEL (PAINTED)
2. PANEL PAINT
3. PANEL PAINT
4. OVERFLOW SCOURING PAINTED TO MATCH
5. CONCRETE PAINT PAINTED TO MATCH
6. CONCRETE SET-UP SCREEN WALL, 4" H.
7. METAL DOOR DOOR
8. DOOR TRIM
9. CONCRETE STEEL LAMINATE AND CONCRETE CURBING
10. CONCRETE PAINT AND CONCRETE CURBING
11. ALUMINUM STAINLESS STEEL FINISHING W/ TRIMMED BLADING AT ALL CORNERS ABOVE FINISH ELEVATION
12. ALUMINUM STAINLESS STEEL FINISHING W/ TRIMMED BLADING AT ALL CORNERS ABOVE FINISH ELEVATION
13. VISION GLASS
14. SPANGEL GLASS
15. PVC TRIM DOORS
16. FOLLOW METAL DOORS

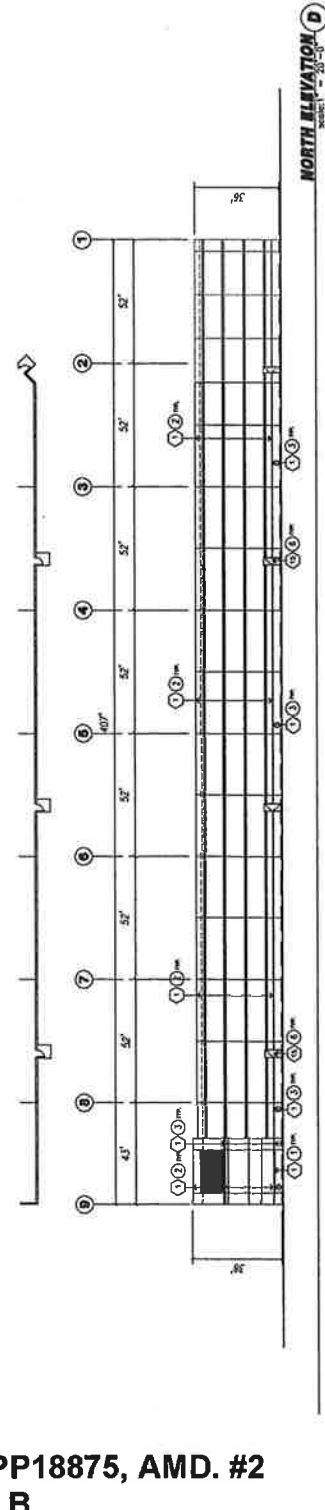
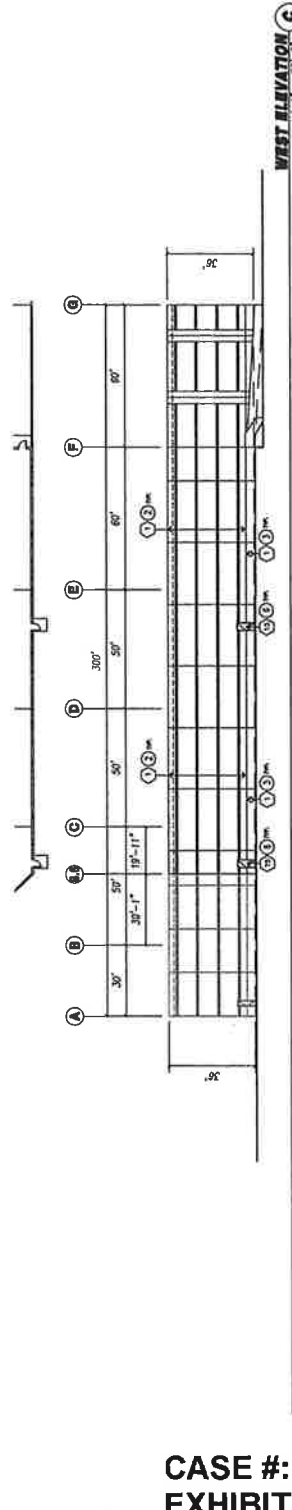
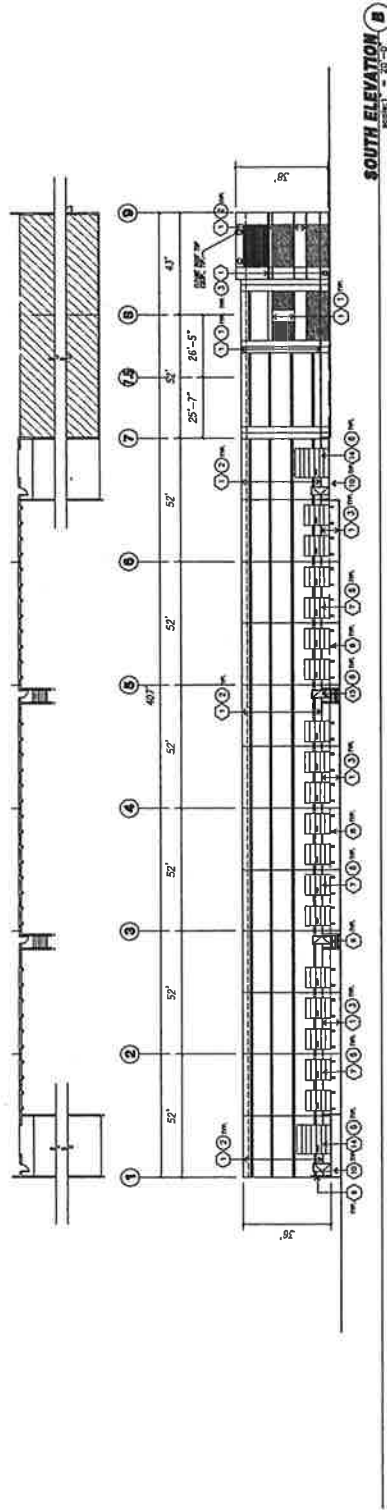
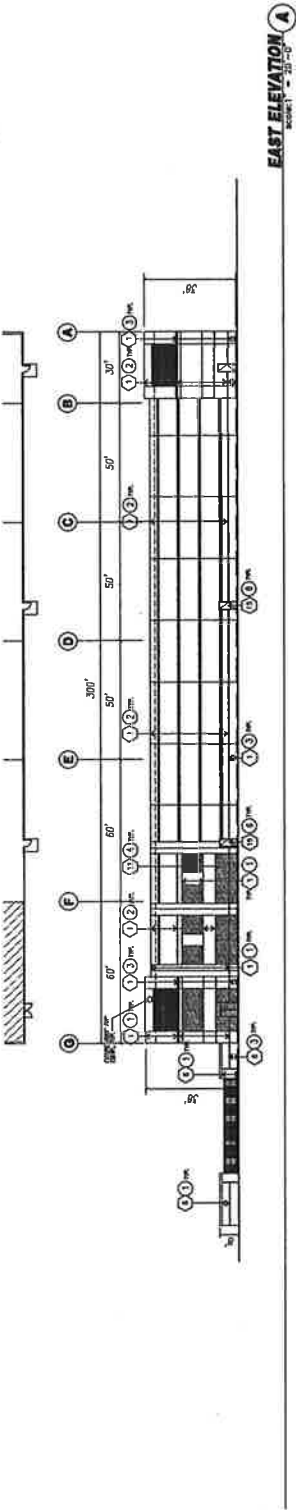
GENERAL NOTES - ELEVATIONS

- A. ALL FINISH ELEVATIONS TO CORNER AT INSIDE CORNER UNLESS NOTED
- B. ALL FINISH FINISHES ARE TO BE FINISH UNLESS NOTED OTHERWISE
- C. ELEV. = TOP OF FINISH CONCRETE CURBING UNLESS NOTED TO BE APPROX
- D. F.F. = FINISH FLOOR ELEVATION
- E. CONCRETE CURBING SHALL BE CONCRETE CURBING AND SHALL BE FINISHED TO MATCH CONCRETE CURBING
- F. CONTRACTOR SHALL VERIFY ALL CONCRETE CURBING IS PLACED AND FINISHED TO MATCH CONCRETE CURBING

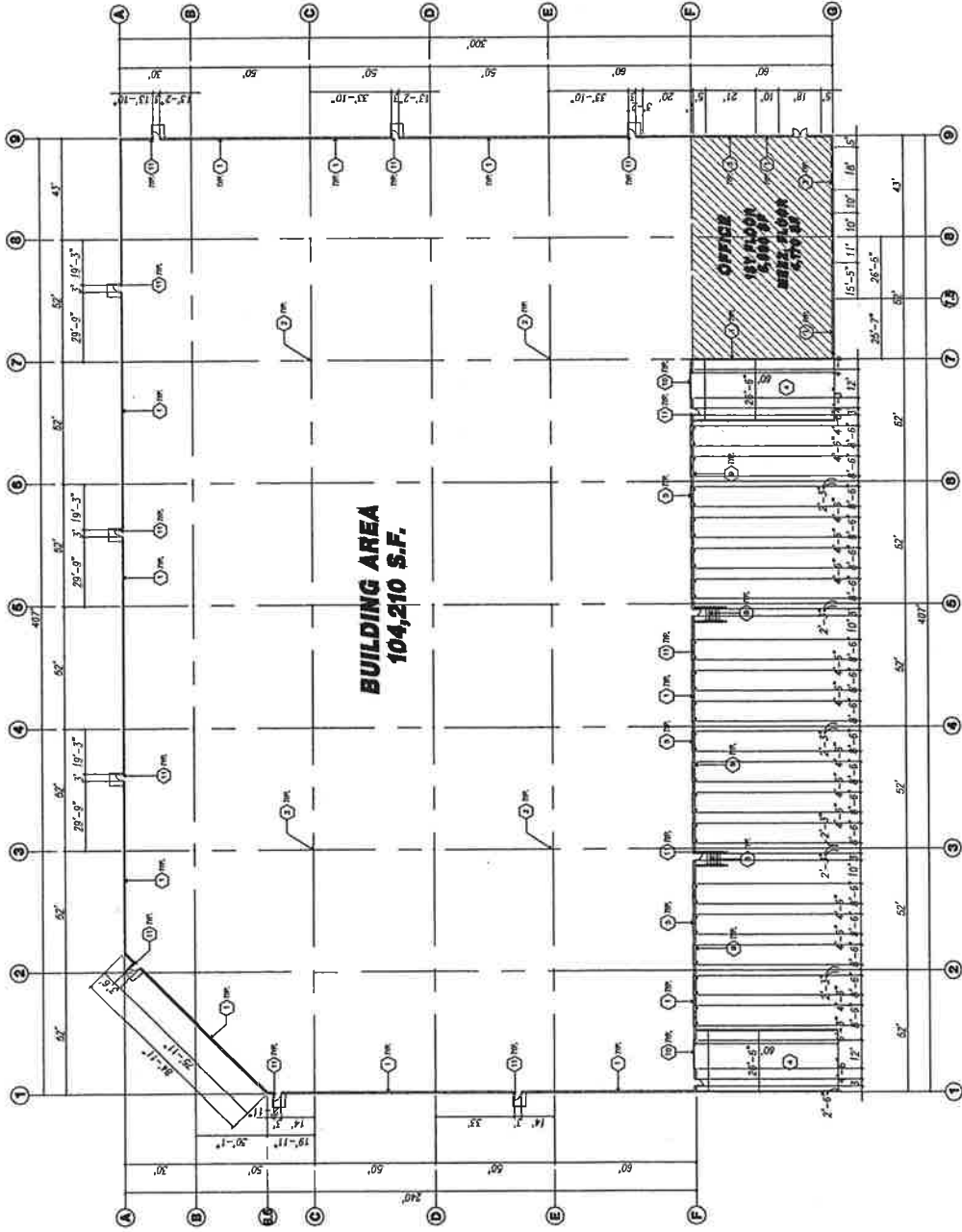
COLOR SCHEDULE - ELEVATIONS

- | | |
|-------------------------------------------------------------------------------------------------|---------------------------|
| 1. CONCRETE SET-UP PANEL | PAINT FINISH SET-UP PANEL |
| 2. PANEL PAINT | PAINT FINISH SET-UP PANEL |
| 3. PANEL PAINT | PAINT FINISH SET-UP PANEL |
| 4. OVERFLOW SCOURING PAINTED TO MATCH | PAINT FINISH SET-UP PANEL |
| 5. CONCRETE PAINT PAINTED TO MATCH | PAINT FINISH SET-UP PANEL |
| 6. CONCRETE SET-UP SCREEN WALL, 4" H. | PAINT FINISH SET-UP PANEL |
| 7. METAL DOOR DOOR | PAINT FINISH SET-UP PANEL |
| 8. DOOR TRIM | PAINT FINISH SET-UP PANEL |
| 9. CONCRETE STEEL LAMINATE AND CONCRETE CURBING | PAINT FINISH SET-UP PANEL |
| 10. CONCRETE PAINT AND CONCRETE CURBING | PAINT FINISH SET-UP PANEL |
| 11. ALUMINUM STAINLESS STEEL FINISHING W/ TRIMMED BLADING AT ALL CORNERS ABOVE FINISH ELEVATION | PAINT FINISH SET-UP PANEL |
| 12. ALUMINUM STAINLESS STEEL FINISHING W/ TRIMMED BLADING AT ALL CORNERS ABOVE FINISH ELEVATION | PAINT FINISH SET-UP PANEL |
| 13. VISION GLASS | PAINT FINISH SET-UP PANEL |
| 14. SPANGEL GLASS | PAINT FINISH SET-UP PANEL |
| 15. PVC TRIM DOORS | PAINT FINISH SET-UP PANEL |
| 16. FOLLOW METAL DOORS | PAINT FINISH SET-UP PANEL |

LOT 35
INDUSTRIAL FACILITY
OC Real Estate Management, LLC.
 CITY OF IOWA



CASE #: PP18875, AMD. #2
EXHIBIT: B
DATED: 7/12/10
PLANNER: C. HINOJOSA



conceptual floor plan
 SCALE: 1/8" = 1'-0"

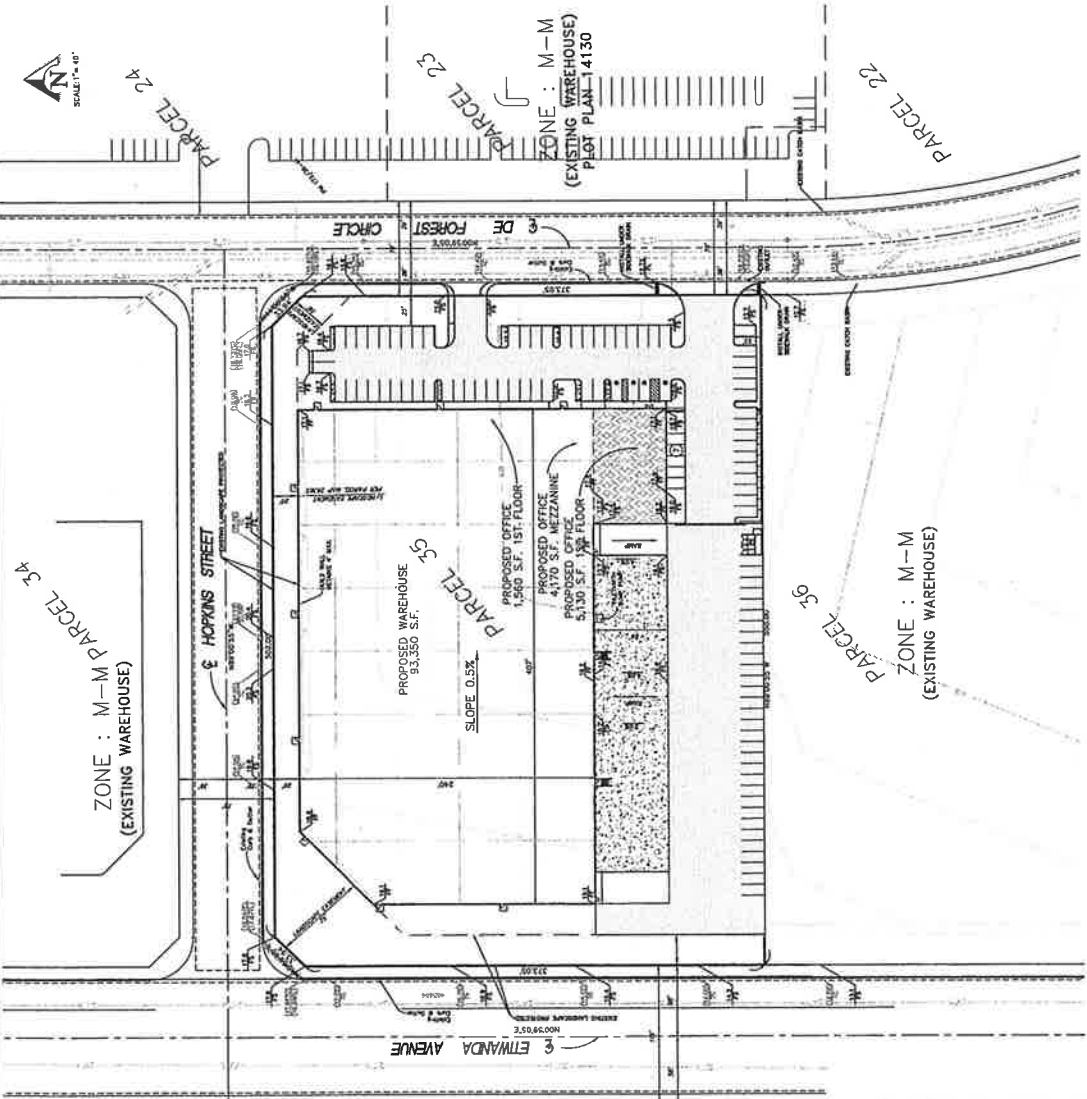


GENERAL NOTES - FLOOR PLAN

1. THE BUILDING SHALL BE DESIGNED FOR THE DESIGN WIND SPEED AS SHOWN ON THE APPLICABLE MAP.
2. ALL STRUCTURAL MEMBERS SHALL BE DESIGNED FOR THE APPLICABLE WIND SPEED.
3. ALL STRUCTURAL MEMBERS SHALL BE DESIGNED FOR THE APPLICABLE WIND SPEED.
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NOTES - FLOOR PLAN

1. CONCRETE SHALL BE CAST IN PLACE.
2. ALL CONCRETE SHALL BE CAST IN PLACE.
3. ALL CONCRETE SHALL BE CAST IN PLACE.
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10. ALL CONCRETE SHALL BE CAST IN PLACE.



PARCEL "F"
 LLA NO. 3936
 REF. NO. 2008L (9-18-1973) O.A.
 ZONE : M-M (EXISTING WAREHOUSE)

CASE #: PP18875, AMD. #2
EXHIBIT: G
DATED: 7/12/10
PLANNER: C. HINOJOSA

REVISIONS:

NO.	DATE	DESCRIPTION
1	09/11/10	ISSUED FOR PERMITTING

KCT CONSULTANTS, INC.
 10000 W. CENTRAL EXPRESSWAY
 SUITE 200
 DALLAS, TEXAS 75243
 TEL: (972) 412-1234
 FAX: (972) 412-1234
 WWW: KCTCONSULTANTS.COM

O.C. Real Estate Management, Inc.
 Mrs. Lorna Commerce Center
CONCEPTUAL GRADING PLAN
 SCALE: 1" = 40' FEET



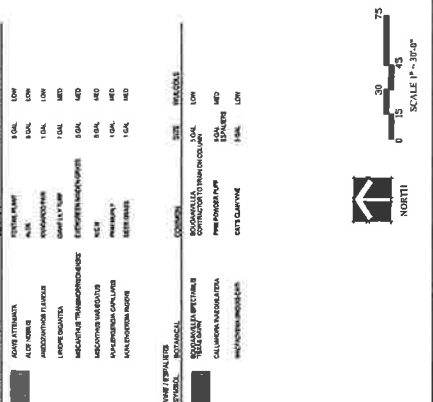
PLANT LEGEND

TREES	SYMBOL	BOTANICAL	COMMON	SIZE	QUANTITY	WINDSPEED
		18 INCH CALIPER TREE (8.0' C.T.)	BOTTLE TREE	24' DBC	4	LOW
		24 INCH CALIPER TREE (12.0' C.T.)	BOTTLE TREE	24' DBC	18	LOW
		30 INCH CALIPER TREE (15.0' C.T.)	WHITE OAK (BLACK PINE)	24' DBC	18	LOW
		36 INCH CALIPER TREE (18.0' C.T.)	AMERICAN BIRCH	24' DBC	18	LOW
		42 INCH CALIPER TREE (21.0' C.T.)	PLUM TREE	15' DBC	18	LOW
		48 INCH CALIPER TREE (24.0' C.T.)	BRADFORD PEAR	36' DBC	18	MED
		54 INCH CALIPER TREE (27.0' C.T.)	BRADFORD PEAR	15' DBC	12	LOW
		60 INCH CALIPER TREE (30.0' C.T.)	BRADFORD PEAR	36' DBC	18	MED
		72 INCH CALIPER TREE (36.0' C.T.)	NON-INVASIVE DATE	36' DBC	4	LOW

NOTE: BRADFORD PEARS HAVE BEEN VERIFIED AS THE STREET TREE ALONG HOPKINS STREET ALONG ETIWANDA AVENUE. BOTTLE TREES HAVE BEEN IDENTIFIED AS THE STREET TREE ALONG ETIWANDA AVENUE.

PARKING LOT SHADE REQUIREMENT
 ALL TREES PLANTED IN PAVED AREAS SHALL BE A BRADFORD PEAR OR ANOTHER SPECIES THAT PROVIDES FULL CANOPY AT 15 FT. ABOVE GROUND. ALL TREES SHALL BE PLANTED BY THE END OF CONSTRUCTION.

SYMBOL	BOTANICAL	COMMON	SIZE	WINDSPEED
	18 INCH CALIPER TREE (8.0' C.T.)	BOTTLE TREE	24' DBC	LOW
	24 INCH CALIPER TREE (12.0' C.T.)	BOTTLE TREE	24' DBC	LOW
	30 INCH CALIPER TREE (15.0' C.T.)	WHITE OAK (BLACK PINE)	24' DBC	LOW
	36 INCH CALIPER TREE (18.0' C.T.)	AMERICAN BIRCH	24' DBC	LOW
	42 INCH CALIPER TREE (21.0' C.T.)	PLUM TREE	15' DBC	LOW
	48 INCH CALIPER TREE (24.0' C.T.)	BRADFORD PEAR	36' DBC	MED
	54 INCH CALIPER TREE (27.0' C.T.)	BRADFORD PEAR	15' DBC	LOW
	60 INCH CALIPER TREE (30.0' C.T.)	BRADFORD PEAR	36' DBC	MED
	72 INCH CALIPER TREE (36.0' C.T.)	NON-INVASIVE DATE	36' DBC	LOW



EXISTING 18" CALIPER TREE (8.0' C.T.)
 EXISTING 24" CALIPER TREE (12.0' C.T.)
 EXISTING 30" CALIPER TREE (15.0' C.T.)
 EXISTING 36" CALIPER TREE (18.0' C.T.)
 EXISTING 42" CALIPER TREE (21.0' C.T.)
 EXISTING 48" CALIPER TREE (24.0' C.T.)
 EXISTING 54" CALIPER TREE (27.0' C.T.)
 EXISTING 60" CALIPER TREE (30.0' C.T.)
 EXISTING 72" CALIPER TREE (36.0' C.T.)

PROPOSED BUILDING

OFFICE

CONCRETE TRUCK YARD

AS PAVING TRUCK YARD

SECURED W/ GATE

EXISTING 18" CALIPER TREE (8.0' C.T.)

EXISTING 24" CALIPER TREE (12.0' C.T.)

EXISTING 30" CALIPER TREE (15.0' C.T.)

EXISTING 36" CALIPER TREE (18.0' C.T.)

EXISTING 42" CALIPER TREE (21.0' C.T.)

EXISTING 48" CALIPER TREE (24.0' C.T.)

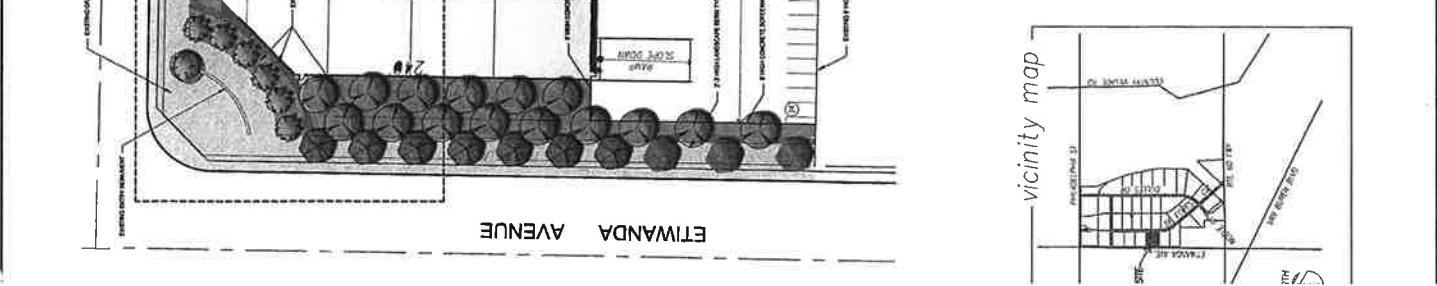
EXISTING 54" CALIPER TREE (27.0' C.T.)

EXISTING 60" CALIPER TREE (30.0' C.T.)

EXISTING 72" CALIPER TREE (36.0' C.T.)

SYMBOL	BOTANICAL	COMMON	SIZE	WINDSPEED
	18 INCH CALIPER TREE (8.0' C.T.)	TRANSVAL BRACE 2.0' C.C.	LOW	
	24 INCH CALIPER TREE (12.0' C.T.)	TRANSVAL BRACE 2.0' C.C.	LOW	
	30 INCH CALIPER TREE (15.0' C.T.)	TRANSVAL BRACE 2.0' C.C.	LOW	
	36 INCH CALIPER TREE (18.0' C.T.)	TRANSVAL BRACE 2.0' C.C.	LOW	
	42 INCH CALIPER TREE (21.0' C.T.)	TRANSVAL BRACE 2.0' C.C.	LOW	
	48 INCH CALIPER TREE (24.0' C.T.)	TRANSVAL BRACE 2.0' C.C.	LOW	
	54 INCH CALIPER TREE (27.0' C.T.)	TRANSVAL BRACE 2.0' C.C.	LOW	
	60 INCH CALIPER TREE (30.0' C.T.)	TRANSVAL BRACE 2.0' C.C.	LOW	
	72 INCH CALIPER TREE (36.0' C.T.)	TRANSVAL BRACE 2.0' C.C.	LOW	

EXISTING 18" CALIPER TREE (8.0' C.T.)
 EXISTING 24" CALIPER TREE (12.0' C.T.)
 EXISTING 30" CALIPER TREE (15.0' C.T.)
 EXISTING 36" CALIPER TREE (18.0' C.T.)
 EXISTING 42" CALIPER TREE (21.0' C.T.)
 EXISTING 48" CALIPER TREE (24.0' C.T.)
 EXISTING 54" CALIPER TREE (27.0' C.T.)
 EXISTING 60" CALIPER TREE (30.0' C.T.)
 EXISTING 72" CALIPER TREE (36.0' C.T.)



IRRIGATION STATEMENT

This landscape design plan includes hydrozones using the consideration of soil type, sun exposure, and water needs. A combination of drip irrigation and the Rotolock system will be used to water each hydrozone with a pressure regulated emitter. The amount of water applied will be determined by the soil type and the amount of water available. The amount of water applied will be determined by the soil type and the amount of water available. The amount of water applied will be determined by the soil type and the amount of water available.

CASE #: PP18875, AMD. #2
EXHIBIT: L (Sheets 1-3)
DATED: 7/12/10
PLANNER: C. HINOJOSA

WATER USE CALCULATIONS BY HYDROZONES

Riverside County Ordinance 899.2 Landscape Water Use Calculations
LOT 35

(For projects with more than 1 hydrozone)

1. Maximum Annual Water Allowance (MAWA)
 INPUT: The total square footage of landscape = 20,834 S.F.
 INPUT: The H₂O for the area = 66.3
 MAWA = 598,893 gal / yr
 661 cu. ft. / yr

2. Estimated Annual Water Use (EAWU)

Hydrozone # 1
 INPUT: square footage of hydrozone = 12,310 (low)
 INPUT: hydrozone evaporation efficiency = 0.3
 EAWU = 1,132,521 gal / yr

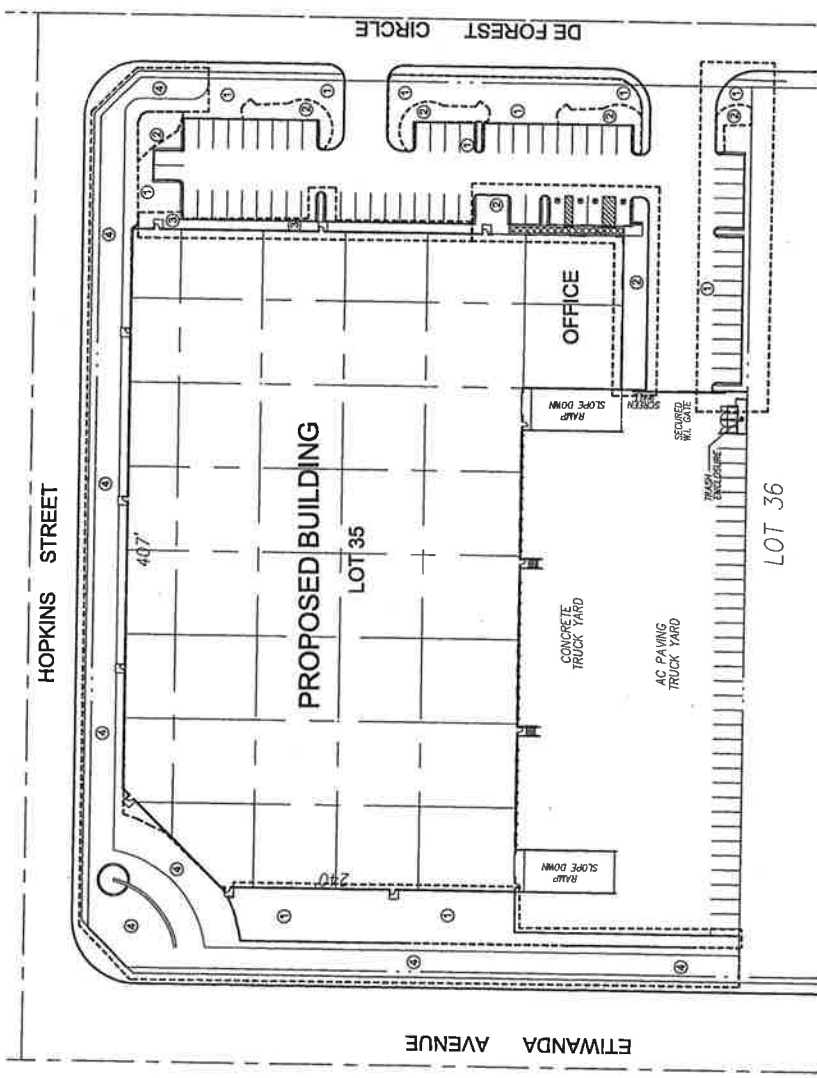
Hydrozone # 2
 INPUT: square footage of hydrozone = 2,765 (med)
 INPUT: hydrozone evaporation efficiency = 0.3
 EAWU = 332,577 gal / yr

Hydrozone # 3
 INPUT: square footage of hydrozone = 3,128 (low)
 INPUT: hydrozone evaporation efficiency = 0.3
 EAWU = 286,500 gal / yr

Hydrozone # 4
 INPUT: square footage of hydrozone = 0 (low)
 INPUT: hydrozone evaporation efficiency = 0
 EAWU = 0 gal / yr

Hydrozone # 5
 INPUT: square footage of hydrozone = 0 (low)
 INPUT: hydrozone evaporation efficiency = 0
 EAWU = 0 gal / yr

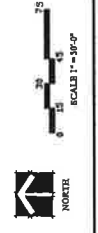
Subtotal EAWU = 208,218 gal / yr
 Input Irrigation System Operation Factor = 0.85
 Total EAWU = 226,985 gal / yr
 MAWA = 598,893 gal / yr
 (This number must be positive)



- HYDROZONE ① - DRIP IRRIGATION - LOW WATER USE TREES, SHRUBS & GROUND COVER
- HYDROZONE ② - DRIP IRRIGATION - MEDIUM WATER USE TREES, SHRUBS & GROUND COVER
- HYDROZONE ③ - DRIP IRRIGATION - MED TO LOW WATER USE TREES, SHRUBS & GROUND COVER @ EAST EXPOSURE
- HYDROZONE ④ - NOT A PART INCLUDED WITH LANDSCAPE MAINTENANCE DISTRICT / ASSOCIATION

IRRIGATION STATEMENT

This landscape design shows plants into distinct hydrozones taking into consideration drainage, soil, exposure, and water needs. A combination of drip irrigation and the Rotations will be used to water each hydrozone with above grade sprinklers held a minimum of 24" above the plants. The irrigation system will be installed with a pressure regulator and a backflow preventer and an ET based controller with five sensors will be used for water efficiency in accordance with County of Riverside Landscape Water Ordinance 899.2. NOTE: LANDSCAPE IRRIGATION TO CONFORM TO ORDINANCE NO. 899.2 AND COUNTY OF RIVERSIDE GUIDE TO CA HYBRID IRRIGATION.



OC Real Estate Management, LLC
 420 BARK TRAIL, SUITE 600
 RIVERSIDE, CA 92506
 (951) 647-9700
 CONTACT: WILLIAM H. COMPTON, P.E.



REV	DATE	DESCRIPTION

PLANT PHOTO BOOK

INDUSTRIAL FACILITY - BLDG. 35

MIRA LOMA, CALIFORNIA

OC Real Estate Management, LLC.

420 East Third Street, Suite 600

Los Angeles, CA 90013

(213) 687-9700

PREPARED BY:



Environs^{Inc}
LANDSCAPE ARCHITECTURE

Creating Sustainable & Water Conserving Solutions

1746 N. Bridgeport Avenue * Claremont, CA 91711

Ph. (909) 626-4663 * Fax (909) 626-0446

CASE #: PP18875, AMD. #2

EXHIBIT: L-1 (Sheets 1-16)

DATED: 7/12/10

PLANNER: C. HINOJOSA

TREE PALETTE



BOTANICAL NAME (COMMON)

CERCIDIUM FLORIDUM
(BLUE PALO VERDE)

FLOWER COLOR

YELLOW

GROWING PATTERN / SIZE

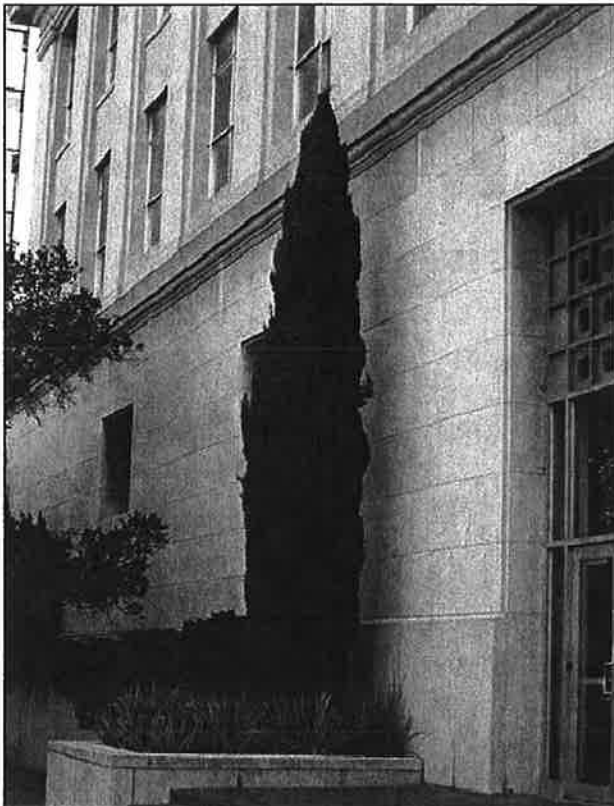
DECIDUOUS
BROAD CANOPY
H- 35' - S-30'

APPLICATION

PARKING LOT SHADE / ACCENT

WATER USAGE

LOW



BOTANICAL NAME (COMMON)

CUPRESSUS SEMPERVIRENS
(ITALIAN CYPRESS)

FLOWER COLOR

NONE

GROWING PATTERN / SIZE

EVERGREEN
NARROW COLUMNAR
H- 60' - S-5'

APPLICATION

ARTICULATE BUILDING FACADE

WATER USAGE

LOW

TREE PALETTE



BOTANICAL NAME (COMMON)

BRACHYCHITON POPULNEUS
(BOTTLE TREE)

FLOWER COLOR

NONE

GROWING PATTERN / SIZE

EVERGREEN
VERTICAL DENSE SCREEN
H- 30'-50' - S-30'

APPLICATION

SOFTEN BUILDING

WATER USAGE

LOW



BOTANICAL NAME (COMMON)

CERCIS CANADENSIS 'FOREST PANSY'
(FOREST PANSY)

FOLIAGE / FLOWER COLOR

PURPLE & GREEN / LAVENDER FLOWER

GROWING PATTERN / SIZE

DECIDUOUS
SMALL SCALE CANOPY TREE
H 20' S 25'

APPLICATION

ACCENT AT ENTRIES

WATER USAGE

MODERATE

TREE PALETTE



BOTANICAL NAME (COMMON)

PINUS ELДАРICA
(ELДАРICA PINE)

FLOWER COLOR

NONE

GROWING PATTERN / SIZE

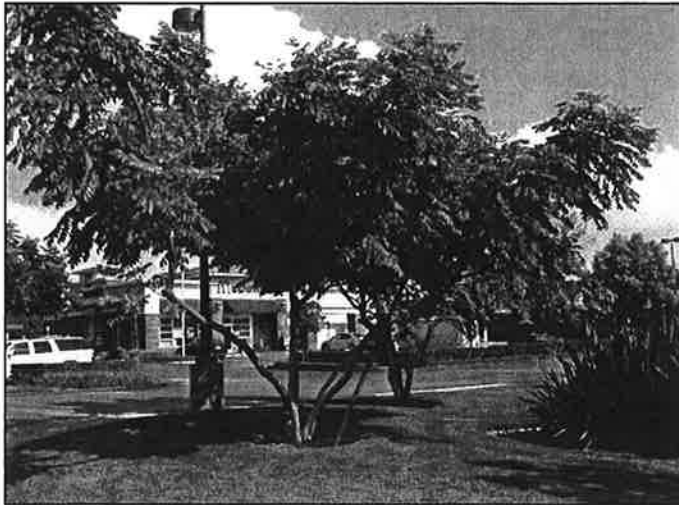
EVERGREEN
VERTICAL DENSE SCREEN
H- 30'-60' - S-15'-25'

APPLICATION

SCREEN

WATER USAGE

LOW



BOTANICAL NAME (COMMON)

KOELREUTERIA BIPINNATA
(CHINESE FLAME TREE)

FLOWER COLOR

SALMON AND YELLOW

GROWING PATTERN / SIZE

DECIDUOUS
BROAD CANOPY/
H 20'-40' S 20'-40'

APPLICATION

ACCENT AND SHADE

WATER USAGE

LOW TO MODERATE

TREE PALETTE



BOTANICAL NAME (COMMON)
OLEA EUROPEA 'MAJESTIC BEAUTY'
(NON - FRUITING OLIVE)

FOLIAGE COLOR
GRAY

GROWING PATTERN / SIZE
EVERGREEN
OPEN SPREADING WEeping
H- 25'-30' - S-25'-30'

APPLICATION
ACCENT AT BUILDING

WATER USAGE
LOW



BOTANICAL NAME (COMMON)

PYRUS CALLERYANA
(BRADFORD PEAR)

FOLIAGE / FLOWER COLOR
GREEN & RED / WHITE FLOWER

GROWING PATTERN / SIZE

DECIDUOUS
FORMAL PYRAMIDAL
H- 40'-50' - S-30'

APPLICATION
ACCENT STREET TREE

WATER USAGE
MODERATE

TREE PALETTE



BOTANICAL NAME (COMMON)

PINUS ELДАРICA
(ELДАРICA PINE)

FLOWER COLOR

NONE

GROWING PATTERN / SIZE

EVERGREEN
VERTICAL DENSE SCREEN
H- 30'-60' - S-15'-25'

APPLICATION

SCREEN

WATER USAGE

LOW



BOTANICAL NAME (COMMON)

PLATANUS ACERIFOLIA
(LONDON PLANE SYCAMORE)

FLOWER COLOR

NONE

GROWING PATTERN / SIZE

DECIDUOUS
VERTICAL BROAD CANOPY
H- 30'-80' - S-20'-50'

APPLICATION

SHADE

WATER USAGE

LOW TO MODERATE

TREE PALETTE



BOTANICAL NAME (COMMON)

RHUS LANCEA
(AFRICAN SUMAC)

FLOWER COLOR
INCONSPICUOUS / WHITE

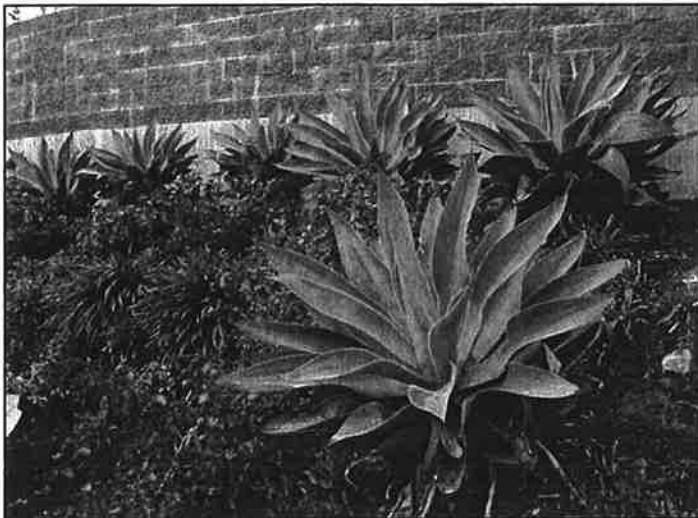
GROWING PATTERN / SIZE

EVERGREEN
OPEN SPREADING WEeping
H- 20'-30' - S-20'-35'

APPLICATION
SHADE IN PARKING LOT

WATER USAGE
LOW

SHRUB PALETTE



BOTANICAL NAME (COMMON)

AGAVE ATTENUATA
(FOXTAIL AGAVE)

GROWING PATTERN / SIZE

EVERGREEN
SWORD LIKE SHAPE
H- 4' - S-5'

APPLICATION

ACCENT
WATER USAGE
LOW

SHRUB PALETTE



BOTANICAL NAME (COMMON)
ARBUTUS UNEDO 'COMPACTUM'
(DWARF STRAWBERRY TREE)

FRUIT / FLOWER COLOR

RED / WHITE

GROWING PATTERN / SIZE

EVERGREEN

MOUNDING

H- 8' - S-8'

APPLICATION

FOUNDATION/ SCREEN

WATER USAGE

LOW



BOTANICAL NAME (COMMON)
CALLISTEMON CITRINUS
(LEMON BOTTLEBRUSH)

FLOWER COLOR

RED

GROWING PATTERN / SIZE

EVERGREEN

MOUNDING

H- 15' - S-15'

APPLICATION

FOUNDATION/ SCREEN

WATER USAGE

LOW

SHRUB PALETTE



BOTANICAL NAME (COMMON)

CASSIA ARTEMISIOIDES
(FEATHERY CASSIA)

FLOWER COLOR

YELLOW

GROWING PATTERN / SIZE

EVERGREEN
MOUNDING SHAPE
H- 4'-5' - S-4'-5'

APPLICATION

ACCENT / SCREEN

WATER USAGE

LOW



BOTANICAL NAME (COMMON)

CISTUS PURPUREUS
(ROCKROSE)

FLOWER COLOR

PINK

GROWING PATTERN / SIZE

EVERGREEN
MOUNDING
H- 3' - S-5'-6'

APPLICATION

ACCENT / SHRUB MASSING

WATER USAGE

LOW

SHRUB PALETTE



BOTANICAL NAME (COMMON)

COTONEASTER LACTEUS
(COTONEASTER PARNEYI)

FLOWER COLOR

RED BERRIES WITH WHITE FLOWER

GROWING PATTERN / SIZE

EVERGREEN
MOUNDING
H- 8' - S-10'

APPLICATION

ACCENT/ FOUNDATION

WATER USAGE

LOW



BOTANICAL NAME (COMMON)

ECHIUM FASTUOSUM
(PRIDE OF MADEIRA)

FLOWER COLOR

BLUE

GROWING PATTERN / SIZE

EVERGREEN
MOUNDING WITH SPIKE LIKE FLOWERS
H- 5' - S-10'

APPLICATION

ACCENT

WATER USAGE

MEDIUM

SHRUB PALETTE



BOTANICAL NAME (COMMON)

GREVILLEA NOELLII
(GREVILLEA)

FLOWER COLOR

RED

GROWING PATTERN / SIZE

EVERGREEN
MOUNDING SHAPE
H- 4'-5' - S-4'-5'

APPLICATION

SCREEN / FOUNDATION

WATER USAGE

LOW



BOTANICAL NAME (COMMON)

LEPTOSPERMUM SCOPARIUM 'RUBY GLOW'
(NEW ZEALAND TEA TREE)

FLOWER COLOR

RED

GROWING PATTERN / SIZE

EVERGREEN
MOUNDING SHAPE
H- 5'-6' - S-4'-8'

APPLICATION

ACCENT / SCREEN

WATER USAGE

MED

SHRUB PALETTE



BOTANICAL NAME (COMMON)

LAVANDULA STOECHAS
(SPANISH LAVENDER)

FLOWER COLOR

PURPLE

GROWING PATTERN / SIZE

EVERGREEN
MOUNDING SHAPE
H- 2'-3' - S-3'-4'

APPLICATION

ACCENT

WATER USAGE

LOW



BOTANICAL NAME (COMMON)

ROSA FLORIBUNDA 'ICEBERG'
(ICEBERG ROSE)

FLOWER COLOR

WHITE

GROWING PATTERN / SIZE

EVERGREEN
MOUNDING SHAPE
H- 4' - S-4'

APPLICATION

ACCENT

WATER USAGE

MED

SHRUB PALETTE



BOTANICAL NAME (COMMON)

SALVIA GREGII
(AUTUMN SAGE)

FLOWER COLOR

RED

GROWING PATTERN / SIZE

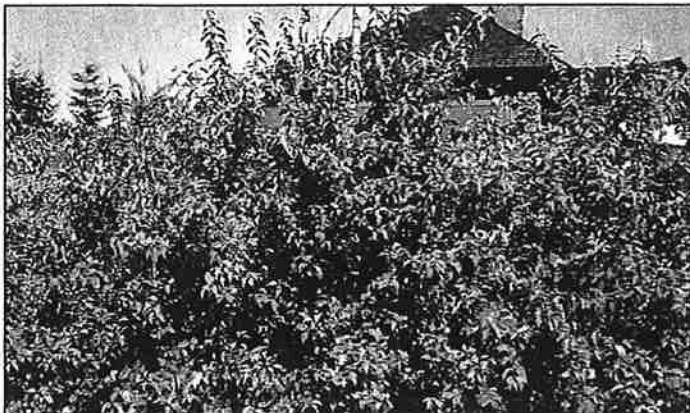
EVERGREEN
MOUNDING SHAPE
H- 3' - S-3'-4'

APPLICATION

ACCENT

WATER USAGE

LOW



BOTANICAL NAME (COMMON)

XYLOSMA CONGESTUM
(SHINY XYLOSMA)

GROWING PATTERN / SIZE

EVERGREEN
MOUNDING SHAPE
H- 8' - S-8'

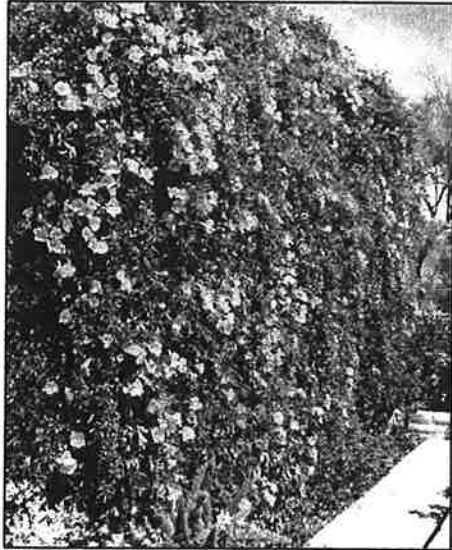
APPLICATION

SCREEN / FOUNDATION

WATER USAGE

LOW - NORTH/ EAST EXPOSURE

VINE PALETTE



BOTANICAL NAME (COMMON)

MACFADYENA UNGUIS-CATI
(CAT'S CLAW VINE)

FLOWER COLOR

YELLOW

GROWING PATTERN / SIZE

EVERGREEN
MOUNDING SHAPE
H- 8' - S-12'

APPLICATION

ACCENT- SOFTEN WALLS

WATER USAGE

LOW

GROUND COVER PALETTE



BOTANICAL NAME (COMMON)

ACACIA REDOLENS
(DESERT CARPET ACACIA)

FLOWER COLOR

YELLOW

GROWING PATTERN / SIZE

EVERGREEN
MOUNDING SHAPE
H- 2'-3' - S-12'

APPLICATION

GROUND COVER / ACCENT

WATER USAGE

LOW

GROUND COVER PALETTE



BOTANICAL NAME (COMMON)

BACCHARIS PILULARIS 'TWIN PEAKS'
(COYOTE BRUSH)

FLOWER COLOR

WHITE

GROWING PATTERN / SIZE

EVERGREEN
MOUNDING SHAPE

H- 2' - S-6'

APPLICATION

GROUND COVER

WATER USAGE

LOW



BOTANICAL NAME (COMMON)

MYOPORUM PACIFICUM
(N.C.N.)

FLOWER COLOR

WHITE

GROWING PATTERN / SIZE

EVERGREEN
MOUNDING SHAPE

H- 2' - S-12'

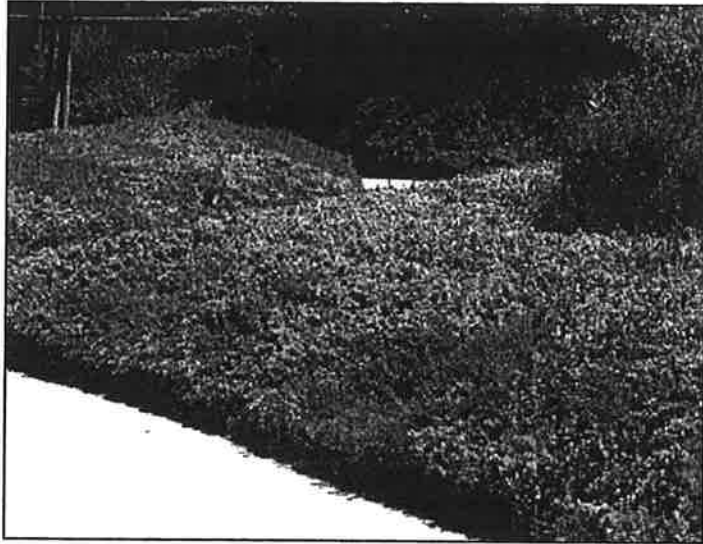
APPLICATION

GROUND COVER

WATER USAGE

LOW - NORTH / EAST EXPOSURE

GROUND COVER PALETTE



BOTANICAL NAME (COMMON)

ROSMARINUS OFFICINALLIS
(ROSEMARY)

FLOWER COLOR

BLUE

GROWING PATTERN / SIZE

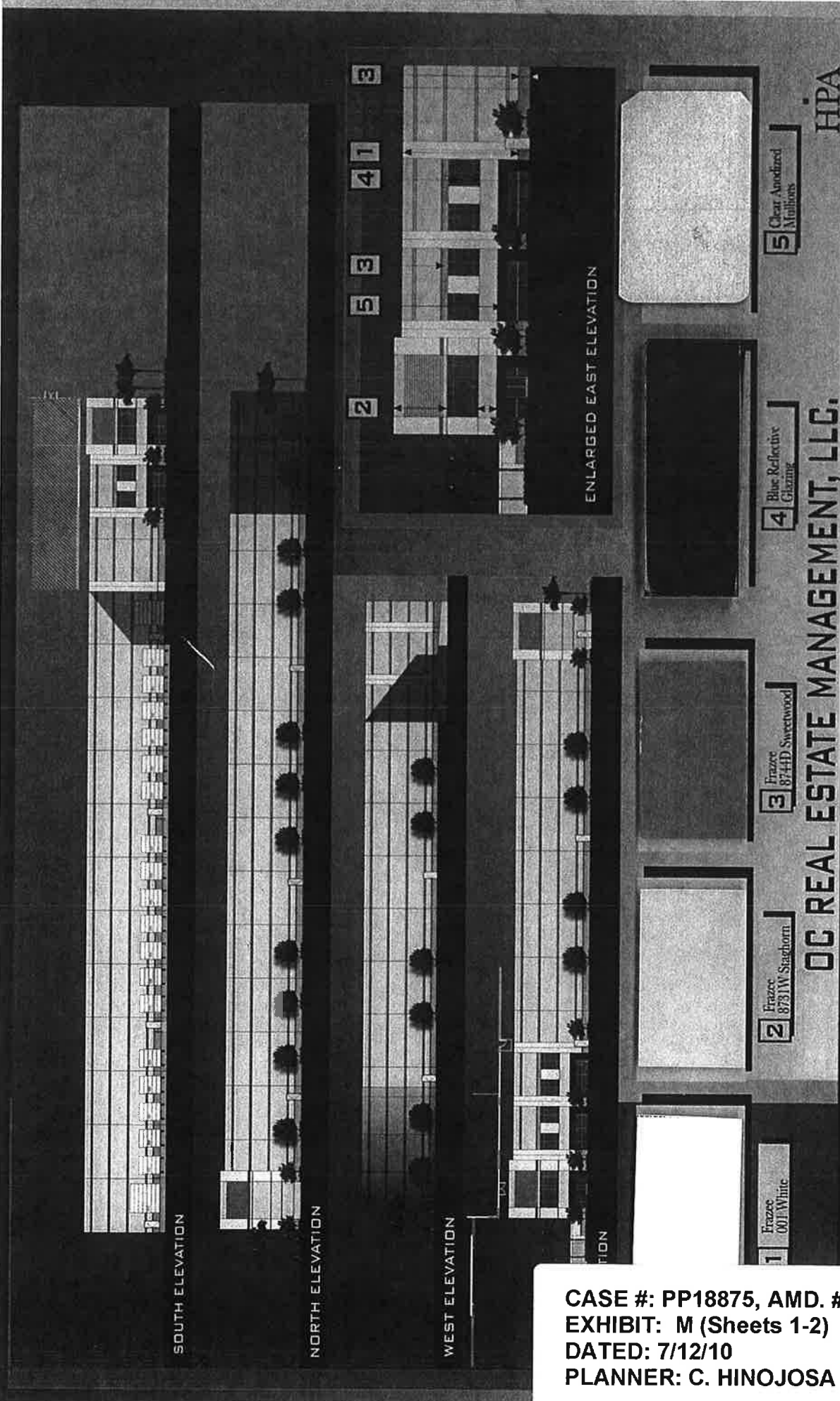
EVERGREEN
MOUNDING SHAPE
H- 18"-2' - S-3'-4'

APPLICATION

GROUND COVER

WATER USAGE

LOW



SOUTH ELEVATION

NORTH ELEVATION

WEST ELEVATION

ENLARGED EAST ELEVATION

1 Frazee 001 White

2 Frazee 8731W Siachorn

3 Frazee 8744D Sweetwood

4 Blue Reflective Glazing

5 Clear Anodized Mullions

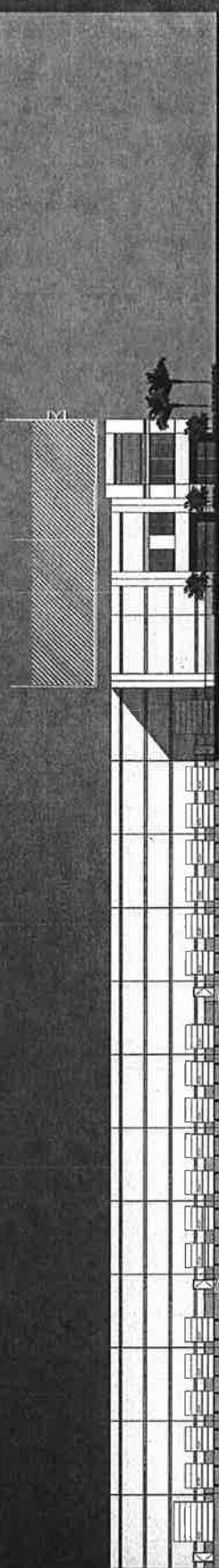
OG REAL ESTATE MANAGEMENT, LLC.

LOT 35 INDUSTRIAL FACILITY
CITY OF MIRA LOMA

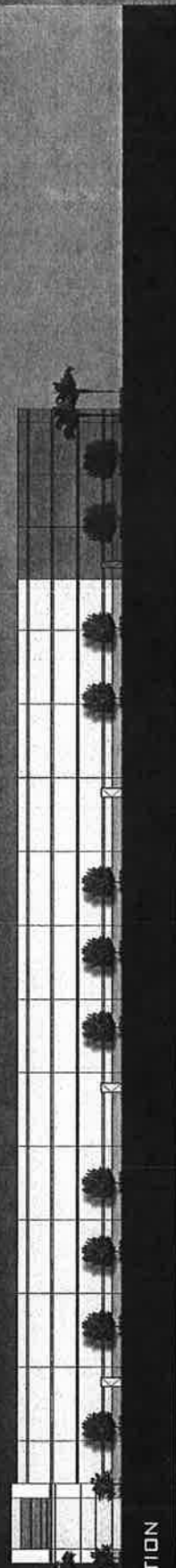
HPA

1933 South Street
Westport, CA 94090
Tel: 415-948-1111
Fax: 415-948-1111

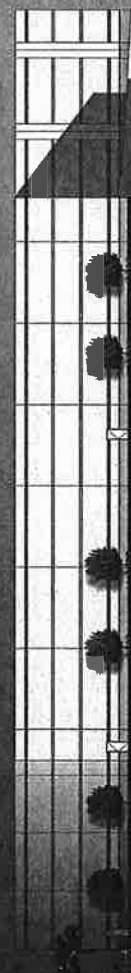
CASE #: PP18875, AMD. #2
EXHIBIT: M (Sheets 1-2)
DATED: 7/12/10
PLANNER: C. HINOJOSA



SOUTH ELEVATION



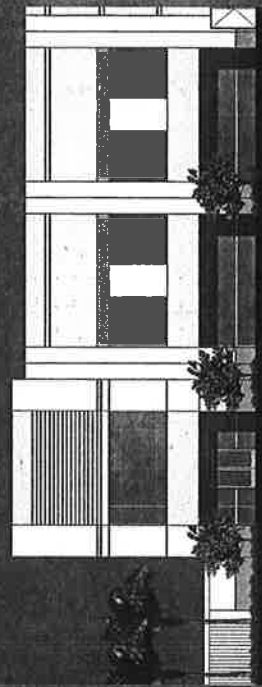
NORTH ELEVATION



WEST ELEVATION



EAST ELEVATION



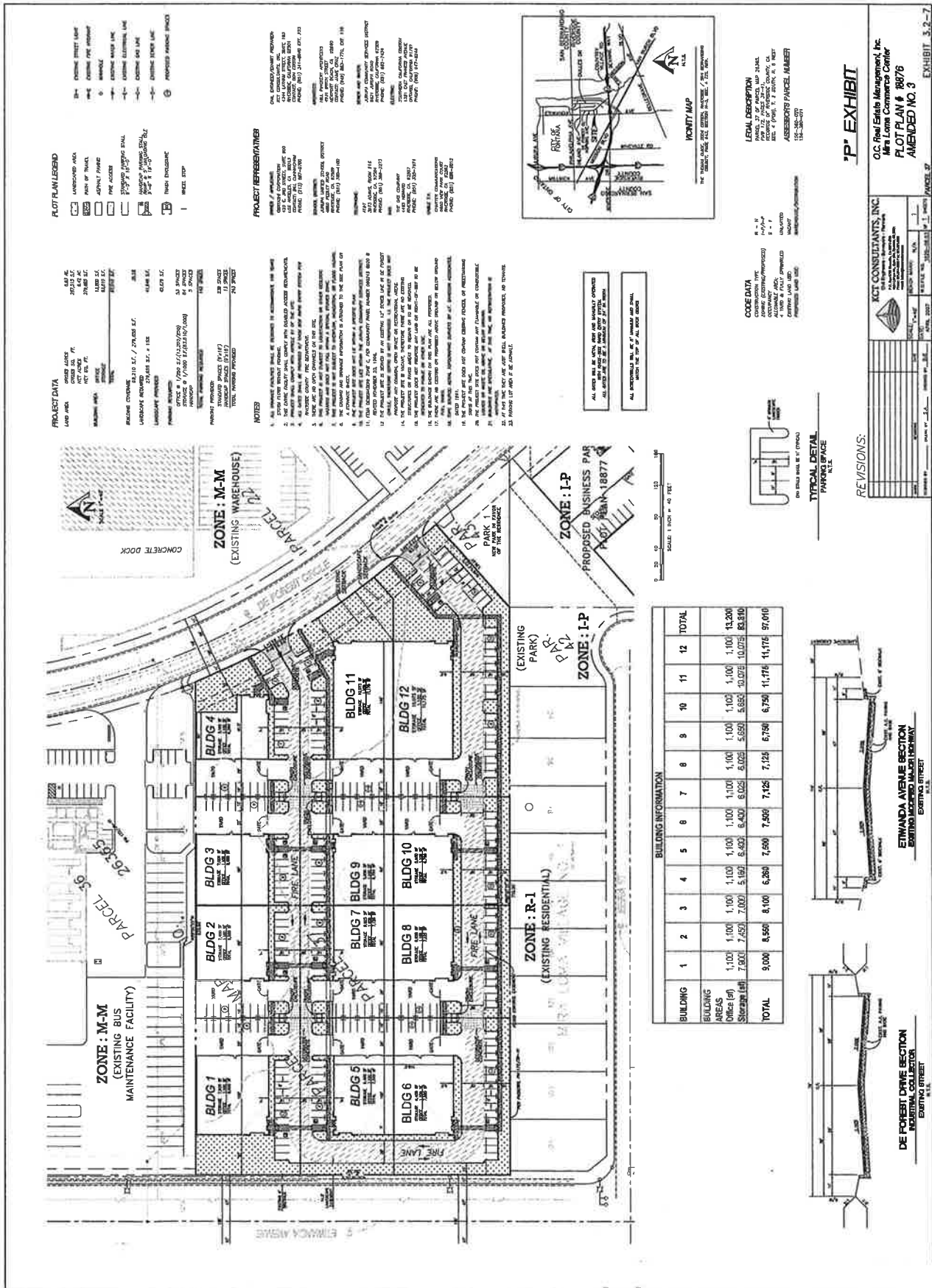
ENLARGED EAST ELEVATION

OC REAL ESTATE MANAGEMENT, LLC.

LOT 35 INDUSTRIAL FACILITY
CITY OF MIRA LOMA

HPA

4591 Birch Street
Newport Beach, CA 92660
Tel: 949.483.1770
Fax: 949.483.0051



PROJECT DATA
 LOT AREA: 282,315 SQ. FT.
 ZONE: M-M
 TOTAL NUMBER OF PARCELS: 1

NOTES
 1. THE EXISTING BUILDING SHALL BE DEMOLISHED IN ACCORDANCE WITH THE CITY OF MEMPHIS ORDINANCE 14-1-001.
 2. THE EXISTING BUILDING SHALL BE DEMOLISHED AND ACCESS RESTORED TO ORIGINAL CONDITION.
 3. ALL UTILITIES SHALL BE MAINTAINED AND NOT BE MOVED OR DELETED UNLESS OTHERWISE SHOWN.
 4. THE EXISTING BUILDING SHALL BE DEMOLISHED AND ACCESS RESTORED TO ORIGINAL CONDITION.
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 22. THE EXISTING BUILDING SHALL BE DEMOLISHED AND ACCESS RESTORED TO ORIGINAL CONDITION.
 23. THE EXISTING BUILDING SHALL BE DEMOLISHED AND ACCESS RESTORED TO ORIGINAL CONDITION.

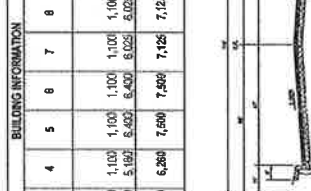
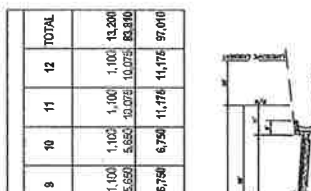
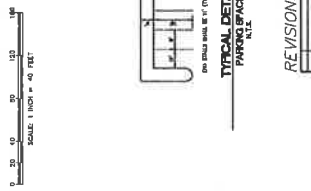
- PROJECT REPRESENTATIVES**
- OWNER / DEVELOPER**
 QIC Real Estate Management, Inc.
 1100 SOUTH MAIN STREET, SUITE 100
 MEMPHIS, TN 38103
 PHONE: (901) 521-2828 EXT. 300
- ARCHITECT**
 GRIFFIN ARCHITECTS, INC.
 1000 SOUTH MAIN STREET, SUITE 100
 MEMPHIS, TN 38103
 PHONE: (901) 521-2828 EXT. 300
- ENGINEER**
 GRIFFIN ENGINEERS, INC.
 1000 SOUTH MAIN STREET, SUITE 100
 MEMPHIS, TN 38103
 PHONE: (901) 521-2828 EXT. 300
- PLANNER**
 C. HINOJOSA
 1000 SOUTH MAIN STREET, SUITE 100
 MEMPHIS, TN 38103
 PHONE: (901) 521-2828 EXT. 300

LEGAL DESCRIPTION
 PARCELS 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12
 OF LOT 1, BLOCK 1, SUBDIVISION 1
 OF THE CITY OF MEMPHIS, TENNESSEE

ASSESSOR'S PARCEL NUMBER
 100-18877-001

CODE DATA
 CONSTRUCTION TYPE: COMMERCIAL
 OCCUPANCY: OFFICE
 CONTROLLED LAND USE: COMMERCIAL
 PROPERTY MAP NO.: 100-18877-001

MCNTY MAP
 100-18877-001



REVISIONS:

NO.	DATE	DESCRIPTION
1	7/12/10	ISSUED
2	7/12/10	ISSUED
3	7/12/10	ISSUED
4	7/12/10	ISSUED
5	7/12/10	ISSUED
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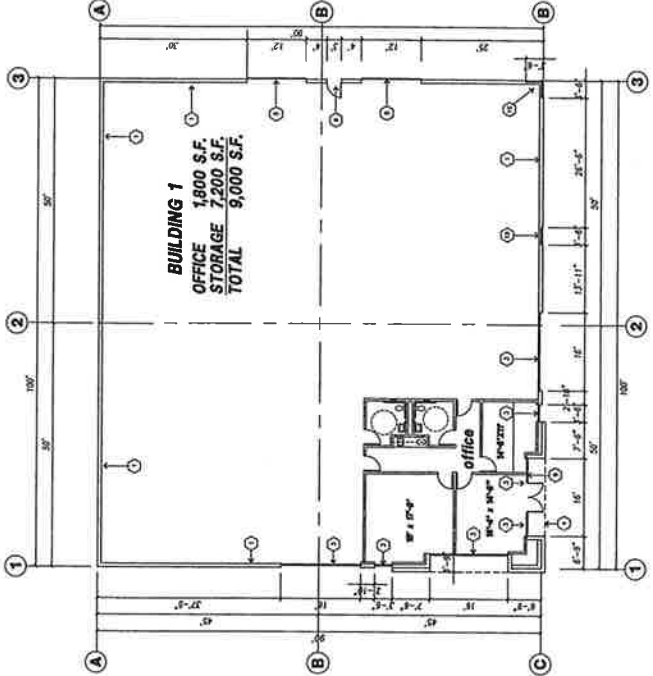
KCT CONSULTANTS, INC.
 1000 SOUTH MAIN STREET, SUITE 100
 MEMPHIS, TN 38103
 PHONE: (901) 521-2828 EXT. 300

DE FORREST DRIVE SECTION
 INDUSTRIAL COLLECTOR
 EXISTING STREET

ETWANDA AVENUE SECTION
 EXISTING MAJOR STREET
 EXISTING STREET

EXHIBIT 3.2-7

CASE #: PP18876, AMD. #4
EXHIBIT: A
DATED: 7/12/10
PLANNER: C. HINOJOSA



FLOOR PLAN & BUILDING FOOTPRINT



KEYNOTES - FLOOR PLAN

- 1 CONCRETE TILT-UP PANEL, SET "3" DIMENSIONS FOR THICKNESS AND STEEL REINFORCEMENTS.
- 2 STRUCTURAL STEEL COLUMN, SET "3" DIMENSIONS FOR SIZE.
- 3 FLOOR JOIST AND CEILING WITH GLAZING, SEE ELEVATIONS FOR SIZE AND LOCATION.
- 4 MORTAR FINISH.
- 5 1/2" x 1/4" THICK DOOR, VERTICAL LIFT, STANDING GRADE.
- 6 3" x 3" HOLLOW METAL, EXTENSIVE HAMB DOOR.
- 7 1/4" x 1/4" x 1/4" THICK CONCRETE EXTERIOR LANDING AND TYPICAL AT EXTERIOR WALLS. PROVIDE WALK TO WALK SURFACE FOR ACCESS.
- 8 FILL REPORT WALL.
- 9 HANDICAPPED ENTRY SLOPE.
- 10 SPANNED GLASS.

GENERAL NOTES - FLOOR PLAN

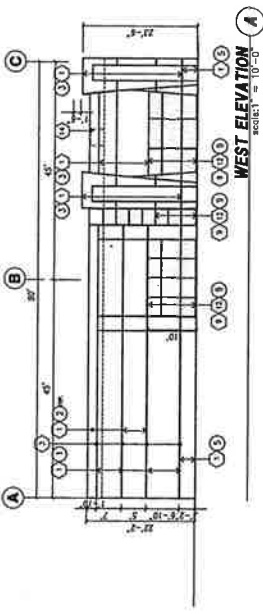
- 1 FINE HOSE CONNECTIONS SHALL BE APPROVED PER FIRE DEPARTMENT.
- 2 FLOOR SLAB SHALL BE SEALED WITH SEALANT WHERE APPROVED EQUAL.
- 3 WARDROBE INTERIOR CONCRETE WALLS ARE PAINTED WHITE. COLUMNS ARE 1 COAT OF WHITE TO COVER.
- 4 SCALE DIMENSIONS 1/2" TO EXTERIOR AT ALL PERMANENT ENITS. SET "3" DIMENSIONS TO EXTERIOR AT ALL PERMANENT ENITS.
- 5 ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL, WALL, GROUND, OR FACE OF STUD WALL.
- 6 FINISH FLOOR SHALL BE TO MATCH ACTUAL UTILITY CONDITIONS.
- 7 FOR DOOR TYPES AND SIZES, SEE DETAIL SHEET. NOTES: ALL DOORS PER DOOR SCHEDULE ARE FINISH OPENINGS.
- 8 ALL DOORS AND WINDOWS TO BE SET TO THE FLOOR SLAB CLEAN. ALL COMPONENTS TO BE SET TO THE FINISH FLOOR.
- 9 HVAC ROOF COMPONENT WILL BE SCHEDULED BY WALL PARAGRAPH IN ALL CASES.
- 10 NO MECHANICALS IN THIS FINISHER.

SHEET, DAB37-2-11
PARCEL 37
PP 18876

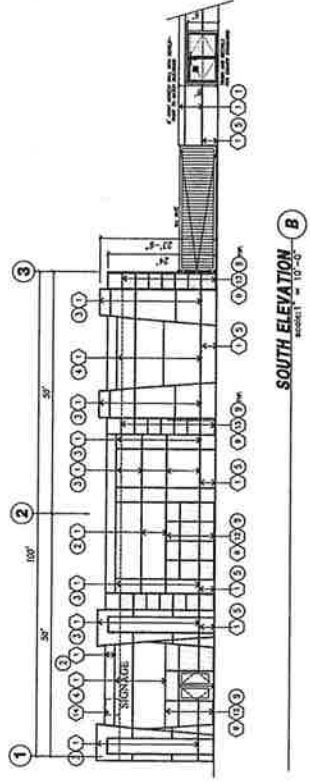
BUILDING 1

DEFORST CIRCLE BUSINESS PARK
RIVERSIDE
PARCEL 37
RIVERSIDE COMMERCIAL INVESTORS, INC.
3825 WEST STREET, SUITE 207, RIVERSIDE, CALIFORNIA 92501
FORMER 2, 200
PPG 1228

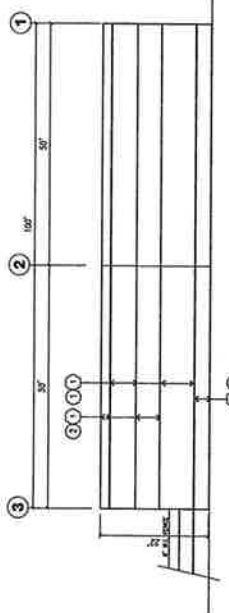
HPA Inc.
(949) 882-1778



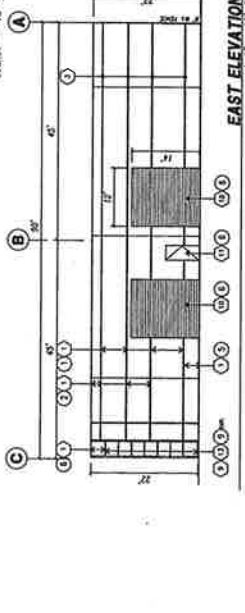
WEST ELEVATION
SCALE 1" = 10'-0"



SOUTH ELEVATION
SCALE 1" = 10'-0"



NORTH ELEVATION
SCALE 1" = 10'-0"



EAST ELEVATION
SCALE 1" = 10'-0"

KEYNOTES - ELEVATIONS

- 1 CONCRETE TILT-UP PANEL, PAINTED.
- 2 PANEL, METAL.
- 3 CONCRETE TILT-UP SCREEN WALL.
- 4 NOT USED.
- 5 CONCRETE STEEL LANDING AND DOOR, EXTERIOR.
- 6 CONCRETE RAMP AND DOOR, EXTERIOR.
- 7 GLAZING, SEE ELEVATIONS FOR SIZE AND LOCATION.
- 8 GLAZING, SEE ELEVATIONS FOR SIZE AND LOCATION.
- 9 HOLLOW METAL DOORS.
- 10 VERTICAL GLAZING.
- 11 DOOR TOP EQUIPMENT, SCHEDULED BY PARAGRAPH.

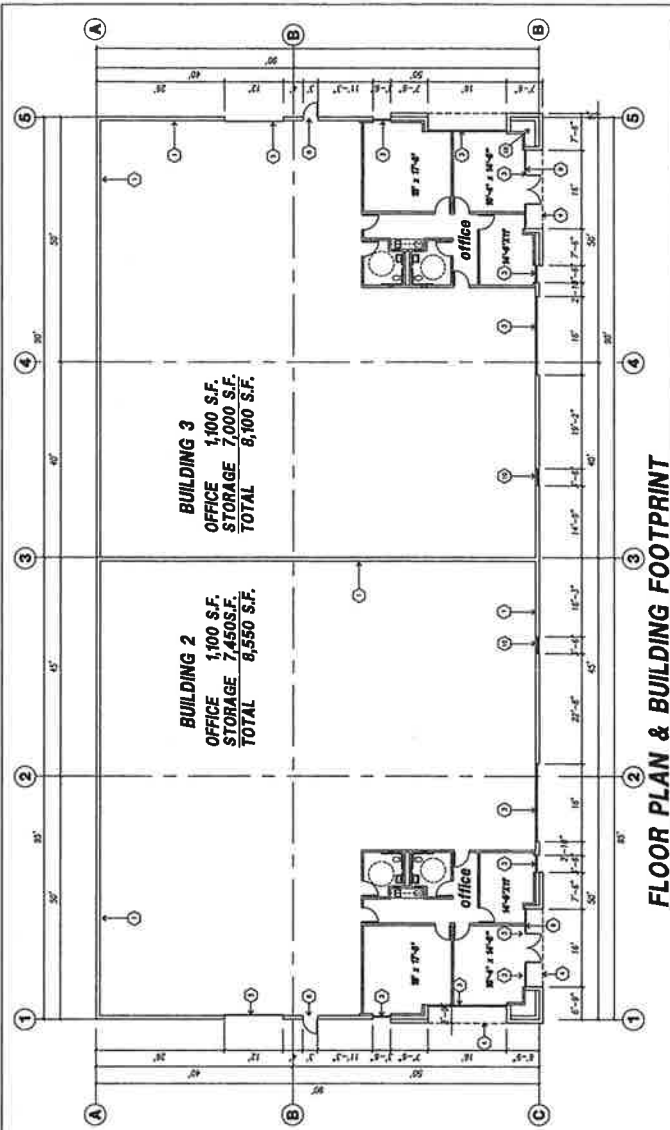
GENERAL NOTES - ELEVATIONS

- 1 ALL SURFACE COLOR CHANGES TO OCCUR AT FACE CORNERS UNLESS NOTED OTHERWISE.
- 2 ALL PAINT FINISHES ARE TO BE PAINT UNLESS NOTED OTHERWISE.
- 3 EOA - TOP OF FINISHER - ELEVATION.
- 4 FF - FINISH FLOOR ELEVATION.
- 5 TYPICAL CONSTRUCTION GLASS, METAL ATTACHMENTS AND LATH SHALL BE APPROVED TO MEET PER LOCAL SPECIFICATIONS. WALLS SHALL BE APPROVED TO MEET PER LOCAL SPECIFICATIONS. WALLS SHALL BE APPROVED TO MEET PER LOCAL SPECIFICATIONS. WALLS SHALL BE APPROVED TO MEET PER LOCAL SPECIFICATIONS.
- 6 CONCRETE AND METAL SHALL BE PAINTED ONE COAT OF PRIMER AND ONE COAT OF FINISH PAINT. ALL CONCRETE SHALL BE PAINTED WITH A MINIMUM BEST PRACTICE OF 100 FT. FROM THE GROUND ELEVATION VIEW TO A MINIMUM BEST PRACTICE OF 100 FT.

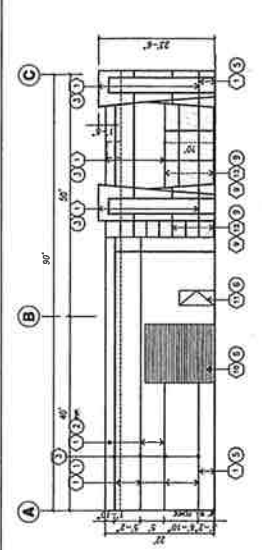
COLOR SCHEDULE - ELEVATIONS

KEYNOTE	DESCRIPTION	COLOR
1	CONCRETE TILT-UP PANEL	PAINT FINISH, FINISH LINE, AND JOINT
2	CONCRETE TILT-UP PANEL	PAINT FINISH, FINISH LINE, AND JOINT
3	CONCRETE TILT-UP PANEL	PAINT FINISH, FINISH LINE, AND JOINT
4	CONCRETE TILT-UP PANEL	PAINT FINISH, FINISH LINE, AND JOINT
5	GLAZING	PAINT FINISH, FINISH LINE, AND JOINT
6	GLAZING	PAINT FINISH, FINISH LINE, AND JOINT
7	GLAZING	PAINT FINISH, FINISH LINE, AND JOINT
8	GLAZING	PAINT FINISH, FINISH LINE, AND JOINT
9	GLAZING	PAINT FINISH, FINISH LINE, AND JOINT
10	GLAZING	PAINT FINISH, FINISH LINE, AND JOINT

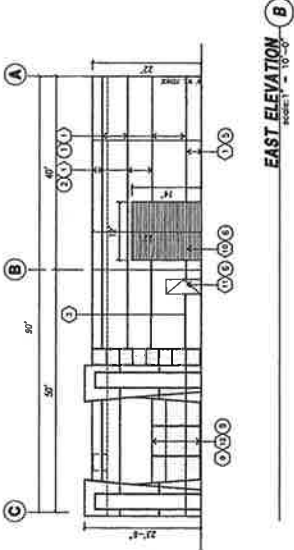
CASE #: PP18876, AMD. #4
EXHIBIT: B & C (Sheets 1-6)
DATED: 7/12/10
PLANNER: C. HINOJOSA



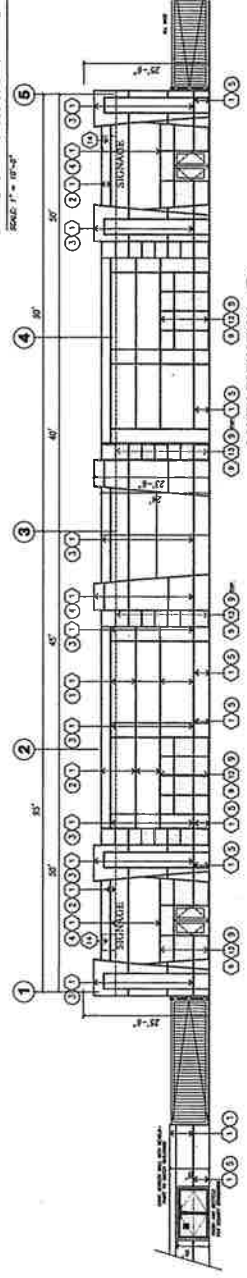
FLOOR PLAN & BUILDING FOOTPRINT
SCALE: 1" = 10'-0"



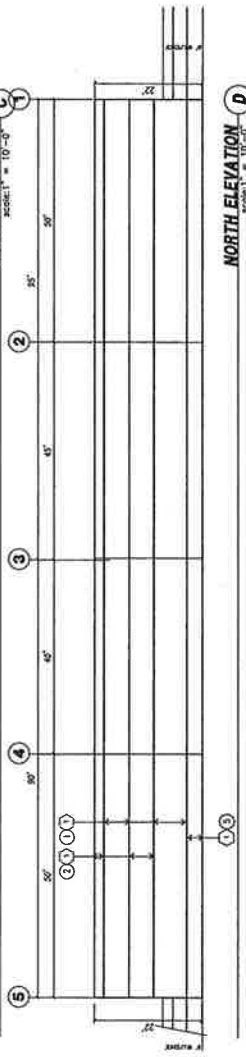
WEST ELEVATION
SCALE: 1" = 10'-0"



EAST ELEVATION
SCALE: 1" = 10'-0"



SOUTH ELEVATION
SCALE: 1" = 10'-0"



NORTH ELEVATION
SCALE: 1" = 10'-0"

GENERAL NOTES - FLOOR PLAN

1. FIVE HOSE LOCATIONS SHALL BE APPROVED FOR FIRE DEPARTMENT.
2. FLOOR SLAB SHALL BE SEALED WITH "SEAL-HANDY" OR APPROVED EQUAL.
3. REINFORCE EXTERIOR CONCRETE WALLS WITH JACOBS WHITE COLUMNS ARE 1" DIA. OF WIRE TO COVER.
4. DIMENSIONS FOR FLOOR FINISH LOCATIONS AT ALL PERSONAL SIZE SEE "3".
5. ALL IMPEDIMENTS ARE TO THE FACE OF CONCRETE PANEL, WALL, CEILING, OR FACE OF STUD JAIL.
6. ALL IMPEDIMENTS FOR DOOR OR WINDOW TO BE CONSIDERED TO OFF-SITE UNITS.
7. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS.
8. FOR DOOR TYPES AND SIZES, SEE DETAIL SHEET. NOTE: ALL DOORS FOR DOOR SCHEDULE ARE FINISH OPERATIONS.
9. ALL DOORS TO BE OPENED TO THE OUTSIDE SHALL BE OPENED TO THE OUTSIDE TO BE OPENED INCLUDING GARDEN AND TRUCK.
10. ALL ROOF EQUIPMENT SHALL BE SCHEDULED BY WALL PERMITS IN ALL CASES.
11. NO MEZZANINES IN THIS PROJECT.

KEYNOTES - FLOOR PLAN

1. CONCRETE SLIP-UP PANEL, SEE "3" DIMENSIONS FOR THICKNESS AND STEEL REINFORCEMENT.
2. FINISH FLOOR, SEE "3" DIMENSIONS FOR FINISH.
3. FINISH FLOOR, SEE "3" DIMENSIONS FOR FINISH.
4. FINISH FLOOR, SEE "3" DIMENSIONS FOR FINISH.
5. FINISH FLOOR, SEE "3" DIMENSIONS FOR FINISH.
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18. FINISH FLOOR, SEE "3" DIMENSIONS FOR FINISH.
19. FINISH FLOOR, SEE "3" DIMENSIONS FOR FINISH.
20. FINISH FLOOR, SEE "3" DIMENSIONS FOR FINISH.

SHEET, DAB37-2-1-2,3
PARCEL 37
PP 18876

BUILDING 2/3

DEFORST CIRCLE BUSINESS PARK
RIVERSIDE
RIVERSIDE COMMERCIAL INVESTORS, INC.

PARCEL 37

3000 S.W. TRUCK, SUITE 220 RIVERSIDE, CALIFORNIA 92501
PREPARED BY: HPA INC. (949) 791-1024

HPA Inc.

18031 Redwood Ave. Tustin, California 92680

GENERAL NOTES - ELEVATIONS

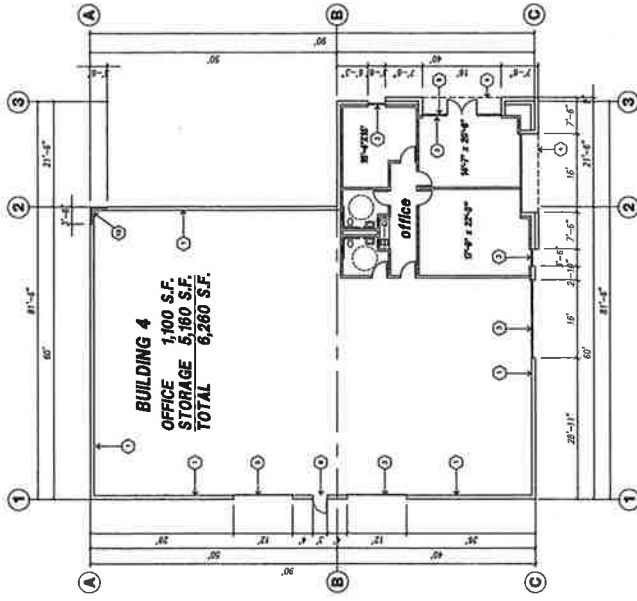
1. PAINT COLOR CHANGES TO OCCUR AT THESE CORNERS UNLESS NOTED OTHERWISE.
2. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
3. TOP OF FINISH FLOOR - FINISH FLOOR.
4. FINISH FLOOR - FINISH FLOOR.
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18. FINISH FLOOR - FINISH FLOOR.
19. FINISH FLOOR - FINISH FLOOR.
20. FINISH FLOOR - FINISH FLOOR.

KEYNOTES - ELEVATIONS

1. CONCRETE SLIP-UP PANEL, FINISH FLOOR, SEE "3" DIMENSIONS FOR THICKNESS AND STEEL REINFORCEMENT.
2. FINISH FLOOR, SEE "3" DIMENSIONS FOR FINISH.
3. FINISH FLOOR, SEE "3" DIMENSIONS FOR FINISH.
4. FINISH FLOOR, SEE "3" DIMENSIONS FOR FINISH.
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16. FINISH FLOOR, SEE "3" DIMENSIONS FOR FINISH.
17. FINISH FLOOR, SEE "3" DIMENSIONS FOR FINISH.
18. FINISH FLOOR, SEE "3" DIMENSIONS FOR FINISH.
19. FINISH FLOOR, SEE "3" DIMENSIONS FOR FINISH.
20. FINISH FLOOR, SEE "3" DIMENSIONS FOR FINISH.

COLOR SCHEDULE - ELEVATIONS

KEYNOTE	DESCRIPTION	COLOR
1	CONCRETE SLIP-UP PANEL	PAINT FINISH, FINISH FLOOR, SEE "3"
2	CONCRETE SLIP-UP PANEL	PAINT FINISH, FINISH FLOOR, SEE "3"
3	CONCRETE SLIP-UP PANEL	PAINT FINISH, FINISH FLOOR, SEE "3"
4	CONCRETE SLIP-UP PANEL	PAINT FINISH, FINISH FLOOR, SEE "3"
5	CONCRETE SLIP-UP PANEL	PAINT FINISH, FINISH FLOOR, SEE "3"
6	CONCRETE SLIP-UP PANEL	PAINT FINISH, FINISH FLOOR, SEE "3"
7	CONCRETE SLIP-UP PANEL	PAINT FINISH, FINISH FLOOR, SEE "3"
8	CONCRETE SLIP-UP PANEL	PAINT FINISH, FINISH FLOOR, SEE "3"
9	CONCRETE SLIP-UP PANEL	PAINT FINISH, FINISH FLOOR, SEE "3"
10	CONCRETE SLIP-UP PANEL	PAINT FINISH, FINISH FLOOR, SEE "3"
11	CONCRETE SLIP-UP PANEL	PAINT FINISH, FINISH FLOOR, SEE "3"
12	CONCRETE SLIP-UP PANEL	PAINT FINISH, FINISH FLOOR, SEE "3"
13	CONCRETE SLIP-UP PANEL	PAINT FINISH, FINISH FLOOR, SEE "3"
14	CONCRETE SLIP-UP PANEL	PAINT FINISH, FINISH FLOOR, SEE "3"
15	CONCRETE SLIP-UP PANEL	PAINT FINISH, FINISH FLOOR, SEE "3"
16	CONCRETE SLIP-UP PANEL	PAINT FINISH, FINISH FLOOR, SEE "3"
17	CONCRETE SLIP-UP PANEL	PAINT FINISH, FINISH FLOOR, SEE "3"
18	CONCRETE SLIP-UP PANEL	PAINT FINISH, FINISH FLOOR, SEE "3"
19	CONCRETE SLIP-UP PANEL	PAINT FINISH, FINISH FLOOR, SEE "3"
20	CONCRETE SLIP-UP PANEL	PAINT FINISH, FINISH FLOOR, SEE "3"



FLOOR PLAN & BUILDING FOOTPRINT



KEYNOTES - FLOOR PLAN

- CONCRETE TILT-UP PANEL, SEE "C" DRAWINGS FOR THICKNESS AND STEEL REINFORCEMENT.
- EMERALD METAL CLADDING, SEE "C" DRAWINGS FOR SIZE, FINISH, AND COLOR AND INSTALLATION. PROVIDE 1/2" AIR SPACE BETWEEN PANELS FOR WEATHER DRIFT AND DRAINAGE.
- SOFTI-LITE ABOVE.
- 12 X 12" TRUCK DOOR, VERTICAL LIFT, STANDARD CRANE.
- 3" X 7" FOLLOEY METAL EXTERIOR HANG DOOR.
- 3" X 3/4" X 24" TRUCK CONCRETE EXTERIOR LANDING, AS TYPICAL AT TRUCK DOOR, PROVIDE WALKWAY TO HARD SURFACE FOR TRUCK WHEELS.
- FULL HEIGHT WALL.
- HANGERS/ENTRY SIGN.
- SPANDREL GLASS.

GENERAL NOTES - FLOOR PLAN

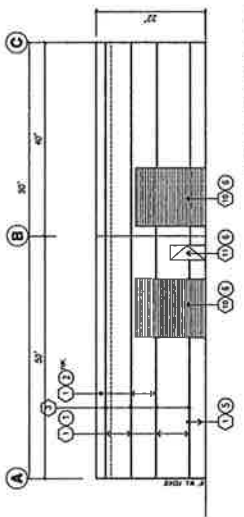
- THE ABOVE LOCATIONS SHALL BE APPROVED PER THE DEVELOPER.
- FLOOR SLAB SHALL BE SEALED WITH "SEAL HURD" OR APPROVED EQUAL.
- WATERPROOF INTERIOR CONCRETE WALLS AND PARTIAL WALLS. COULDS ARE TO BE 1" CONT. OF WHITE TO COVER. PROVIDE 1/2" AIR SPACE BETWEEN PANELS FOR WEATHER DRIFT AND DRAINAGE.
- DOORWAYS FOR PAINT/STAIN LOCATIONS AT ALL PERSONAL EXITS, SEE "C".
- ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL, WALL, CURBLINE, OR FACE OF STUD LABEL UNLESS OTHERWISE NOTED.
- CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS.
- FOR DOOR TYPES AND SIZES, SEE DETAIL SHEET. NOTE: ALL DOORS FOR DOOR SCHEDULE ARE FINISH OPERATING.
- FOR DOOR TYPES AND SIZES, SEE DETAIL SHEET. NOTE: ALL DOORS TO BE SUPPLIED INCLUDING CURB AND TRACK. TRUCK SLIP CLANK ALL COMPONENTS TO BE SUPPLIED INCLUDING CURB AND TRACK.
- FINISH JOINT EQUIPMENT WILL BE SCHEDULED BY WALL FINISH IN ALL CASES.
- NO MEZZANINES IN THIS PROJECT.

**SHEET: DAB37-2-1-4
PARCEL 37
PP 18876
BUILDING 4**

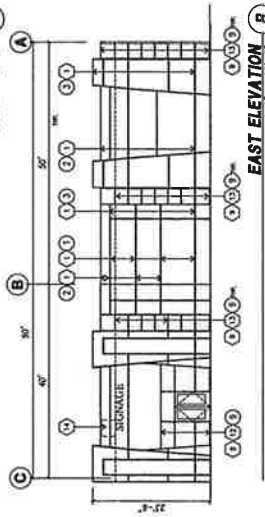
**DEFORST CIRCLE BUSINESS PARK
RIVERSIDE
PARCEL 37
RIVERSIDE COMMERCIAL INVESTORS, INC.**

3800 MAIN STREET, SUITE 200, FRODOCE, CALIFORNIA 95021

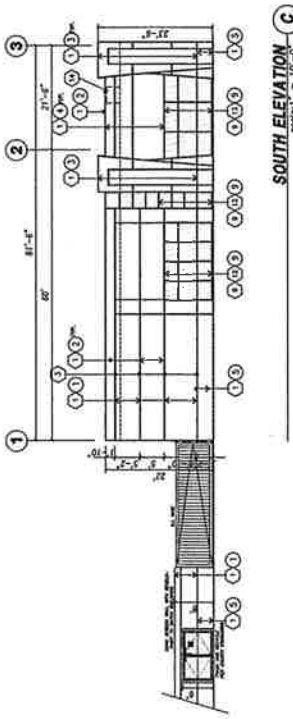
HPA Inc.
(916) 841-7770



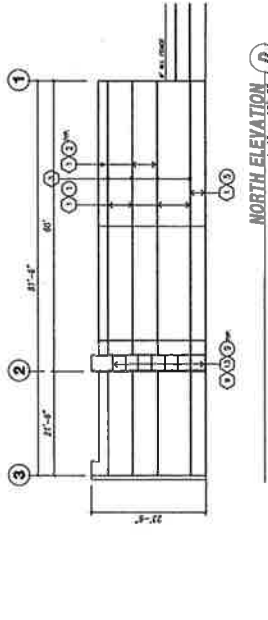
WEST ELEVATION
SUBJECT = 10-20



EAST ELEVATION
SUBJECT = 10-20



SOUTH ELEVATION
SUBJECT = 10-20



NORTH ELEVATION
SUBJECT = 10-20

KEYNOTES - ELEVATIONS

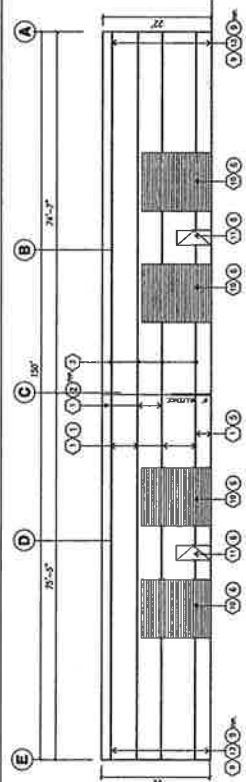
- CONCRETE TILT-UP PANEL, FINISH.
- PANEL, ORIGINAL.
- CONCRETE TILT-UP PANEL, FINISH.
- NOT USED.
- CONCRETE STAIR LANDING AND CORNER QUADRANT.
- ALUMINUM STORMDOOR FRAME W/ THERMOCLIMATE GLAZING AT ALL DOORS ABOVE FIN ELEVATION. PROVIDE WALKWAY TO HARD SURFACE FOR TRUCK WHEELS.
- HOLLOW METAL DOORS.
- VIEW GLAZING.
- SPANDREL GLAZING.
- SOFT-FOUR-EQUIPMENT, SCHEDULED BY FINISHER.

GENERAL NOTES - ELEVATIONS

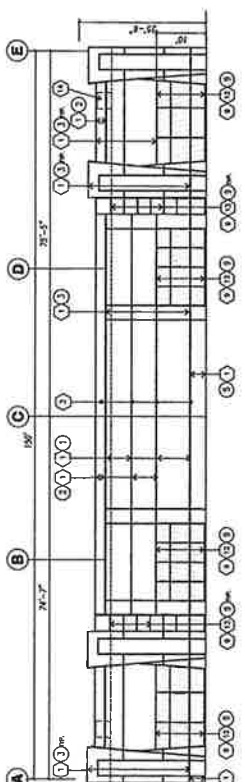
- ALL PAINT COLOR CHANGES TO COORD. AT FINE CORNERS UNLESS NOTED.
- ALL PAINT FINISHES ARE TO BE PAINT FINISHES UNLESS OTHERWISE NOTED.
- TOP OF FINISH - FINISH.
- FINISH - FINISH.
- STORMDOOR CONSTRUCTION GLASS, METAL ATTACHMENTS, ALL LEVELS SHALL BE COORDINATED TO BEST FINISH FINISHES UNLESS OTHERWISE NOTED.
- CONSTRUCTION SHALL PROVIDE FINISHES TO FINISHES UNLESS OTHERWISE NOTED.
- ALL ROOF MOUNTED EQUIPMENT SHALL BE SCHEDULED FROM THE SECOND ELEVATION VIEW TO A MINIMUM SOFT DISTANCE OF 150 FEET.

COLOR SCHEDULE - ELEVATIONS

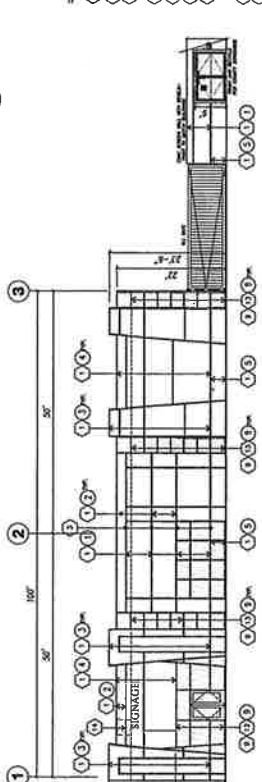
KEYNOTE	FINISH	COLOR	REMARKS
1	CONCRETE TILT-UP PANEL	PAINT FINISHES UNLESS NOTED	
2	CONCRETE TILT-UP PANEL	PAINT FINISHES UNLESS NOTED	
3	CONCRETE TILT-UP PANEL	PAINT FINISHES UNLESS NOTED	
4	CONCRETE TILT-UP PANEL	PAINT FINISHES UNLESS NOTED	
5	CONCRETE TILT-UP PANEL	PAINT FINISHES UNLESS NOTED	
6	CONCRETE TILT-UP PANEL	PAINT FINISHES UNLESS NOTED	
7	STORMDOOR GLAZING	COLOR, BLUE, BLENDED, BLUE	
8	STORMDOOR GLAZING	COLOR, BLUE, BLENDED, BLUE	



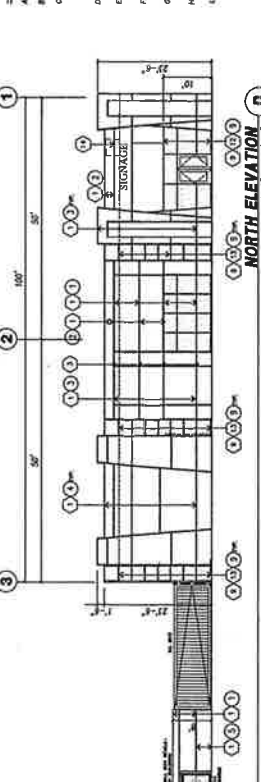
EAST ELEVATION
SCALE: 1/8" = 1'-0"



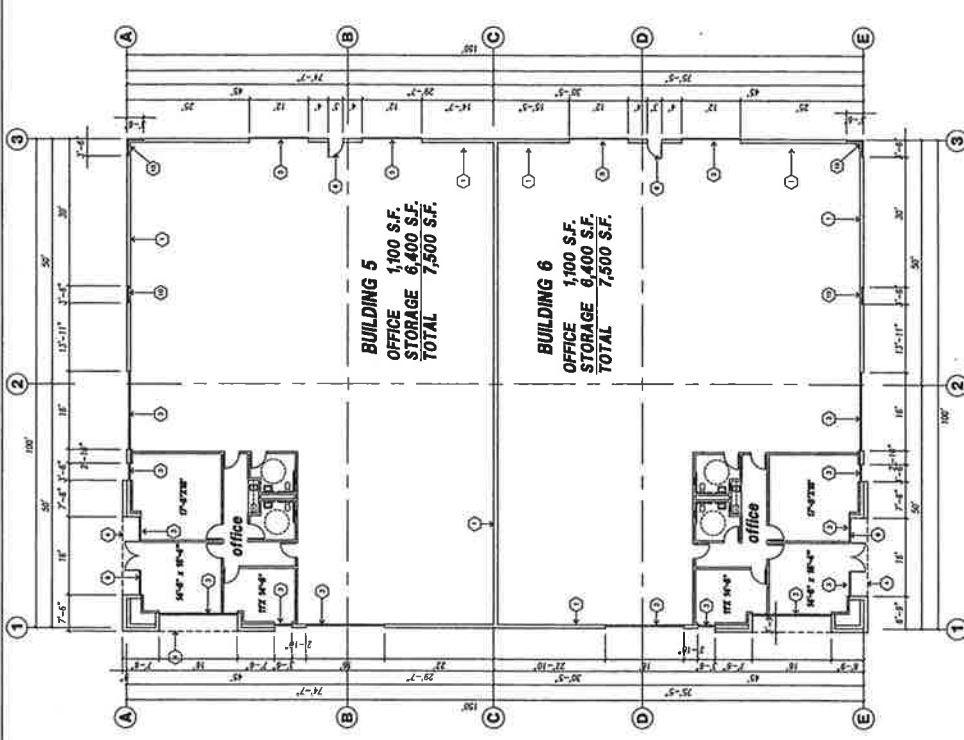
WEST ELEVATION
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



NORTH ELEVATION
SCALE: 1/8" = 1'-0"



FLOOR PLAN & BUILDING FOOTPRINT
SCALE: 1/8" = 1'-0"



SHEET: DAB37-2-1-5-6
PARCEL 37
PP 18876

BUILDING 5/6

DEFORST CIRCLE BUSINESS PARK
RIVERSIDE
PARCEL 37
RIVERSIDE COMMERCIAL INVESTORS, INC.
3800 BAY STREET, SUITE 220 RIVERSIDE, CALIFORNIA 92501
OFFICE: 714.940.1100
FAX: 714.940.1104

HPA Inc.
(949) 483-1770

KEYNOTES - FLOOR PLAN

1. CONCRETE TILT-UP PANELS, SIZE 5" DIMENSIONS FOR THICKNESS AND SIZE, 100 PSI STRENGTH, 5" DIMENSIONS FOR SIZE.
2. STRUCTURAL STEEL COLUMN, SIZE 5" DIMENSIONS FOR SIZE.
3. TYPICAL STRENGTH SYSTEM WITH GLAZING, SIZE DIMENSIONS FOR SIZE, COLOR AND LOCATION.
4. SPOUT LINE AREA.
5. 12" X 14" THICK DOOR, VERTICAL LIFT, STANDARD GRADE.
6. 3" X 7" HOLLOW METAL EXTERIOR MAIN DOOR.
7. 2'-4" X 5'-4" THICK CONCRETE EXTERIOR LANDING AND TYPICAL AT ALL EXTERIOR MAIN DOORS TO LANDING AND MAIN DOOR TO BE CITY REQUIREMENTS. FINISH SHALL BE TO BE DETERMINED FOR CITY REQUIREMENTS.
8. HOLLOW METAL DOOR.
9. HOLLOW METAL DOOR.
10. SPANDED GLASS.
11. 10' X 14' THICK DOOR, VERTICAL LIFT, STANDARD GRADE.

GENERAL NOTES - FLOOR PLAN

1. FIRE RISK LOCATIONS SHALL BE APPROVED PER THE DEPARTMENT.
2. FLOOR SLAB SHALL BE GRADED WITH "SAL MARY" OR APPROVED EQUAL.
3. WAREHOUSE EXTERIOR CONCRETE WALLS ARE PAINTED WHITE. COLUMNS ARE TO RECEIVE PAINT ONLY. ALL CIP. SO. WALLS IN WAREHOUSE TO RECEIVE 1 COAT OF WHITE TO COLOR.
4. SLAB AND STAIRS TO EXIST AT ALL EXTERIOR LIFT. SIZE 5" DIMENSIONS FOR SIZE.
5. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALL, OR FRAME, OR FACE OF STUD WALL.
6. FINISH OF CONCRETE TO BE DETERMINED BY OFF-SITE UTILITIES. CONSULT WITH UTILITY LOCATIONS TO VERIFY ACTUAL UTILITY LOCATIONS.
7. FOR DOOR TYPES AND SIZES, SEE DETAIL SHEET. NOTE: ALL DOORS PER DOOR SCHEDULE ARE FINISH OPENING.
8. ALL DOORS TO BE SUPPLIED INCLUDING CASE AND TRIM.
9. FINISH ROOF EQUIPMENT SHALL BE SCHEDULED BY MEANS DRAWING IN ALL CASES.

COLOR SCHEDULE - ELEVATIONS

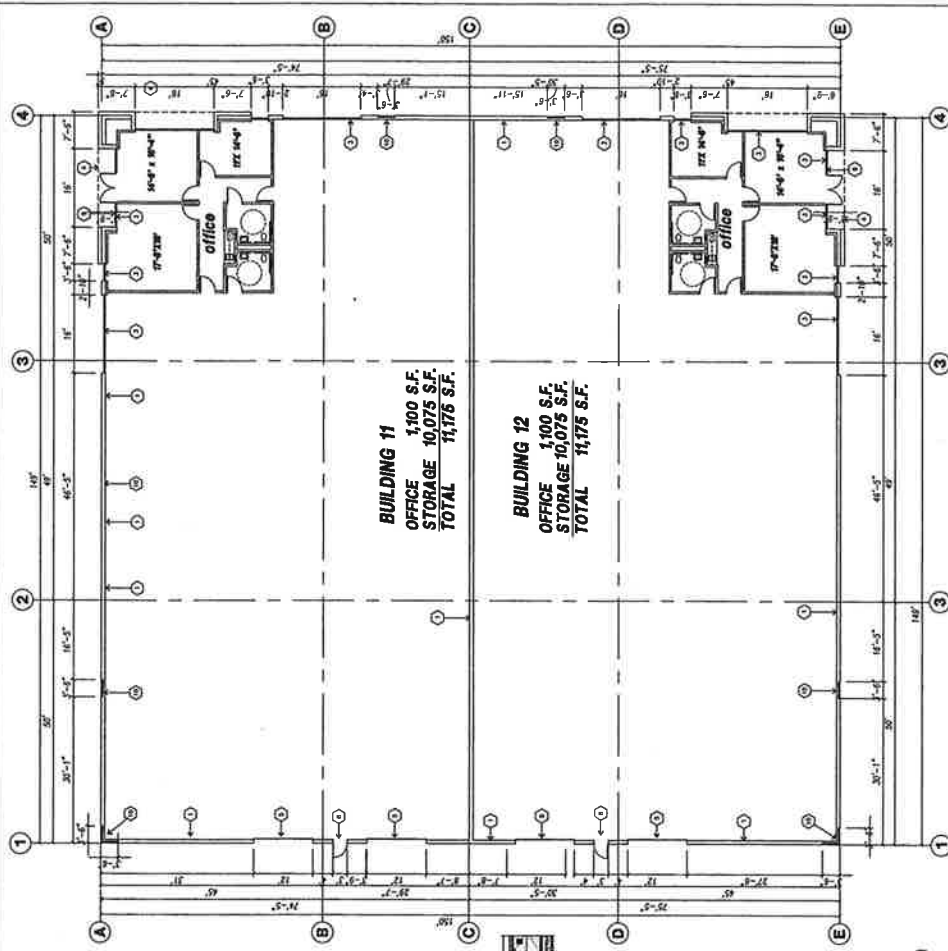
1	CONCRETE TILT-UP PANEL	PANT PRIMAL, ENKLE (ENK. JAN. USE)
2	CONCRETE TILT-UP PANEL	PANT PRIMAL, ENKLE (ENK. JAN. USE)
3	CONCRETE TILT-UP PANEL	PANT PRIMAL, ENKLE (ENK. JAN. USE)
4	CONCRETE TILT-UP PANEL	PANT PRIMAL, ENKLE (ENK. JAN. USE)
5	CONCRETE TILT-UP PANEL	PANT PRIMAL, ENKLE (ENK. JAN. USE)
6	WALLING	DUKE, AMOVED
7	STAIRWELL GLAZING	COLOR, BLUE, ENKLE (ENK. JAN. USE)
8	STAIRWELL SPANDER	COLOR, BLUE, ENKLE (ENK. JAN. USE)

GENERAL NOTES - ELEVATIONS

1. CONCRETE TILT-UP PANELS TO OCCUPY AT FLOOR CORNERS UNLESS NOTED OTHERWISE.
2. ALL PAINT PROJECTS ARE TO BE PAINT UNLESS NOTED OTHERWISE.
3. 1/2" - 1/2" TOP OF FINISH - FINISH.
4. 1/2" - 1/2" TOP OF FINISH - FINISH.
5. 1/2" - 1/2" TOP OF FINISH - FINISH.
6. 1/2" - 1/2" TOP OF FINISH - FINISH.
7. 1/2" - 1/2" TOP OF FINISH - FINISH.
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30. 1/2" - 1/2" TOP OF FINISH - FINISH.
31. 1/2" - 1/2" TOP OF FINISH - FINISH.
32. 1/2" - 1/2" TOP OF FINISH - FINISH.
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KEYNOTES - ELEVATIONS

1. CONCRETE TILT-UP PANEL, FINISH.
2. PAINT, ENKLE.
3. CONCRETE TILT-UP PANEL, FINISH.
4. NOT USED.
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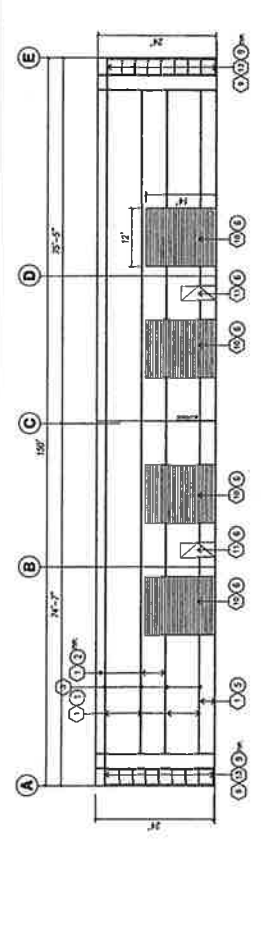
FLOOR PLAN & BUILDING FOOTPRINT
SCALE: 1" = 10'-0"

KEYNOTES - FLOOR PLAN

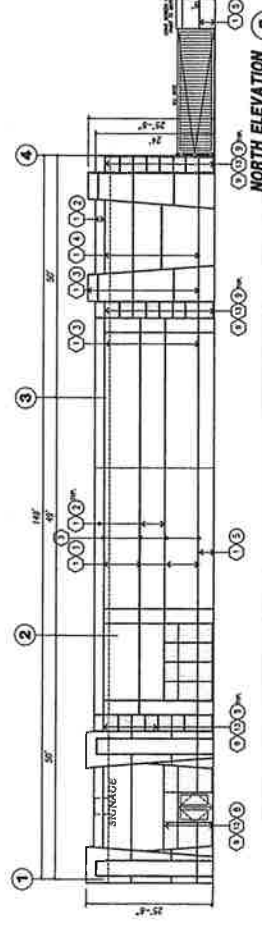
1. ALL DIMENSIONS UNLESS OTHERWISE NOTED ARE IN FEET AND INCHES.
2. FINISH FLOOR SHALL BE 4" THICK CONCRETE ON 4" COMPACTED GRAVEL.
3. FINISH FLOOR SHALL BE 4" THICK CONCRETE ON 4" COMPACTED GRAVEL.
4. FINISH FLOOR SHALL BE 4" THICK CONCRETE ON 4" COMPACTED GRAVEL.
5. FINISH FLOOR SHALL BE 4" THICK CONCRETE ON 4" COMPACTED GRAVEL.
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9. FINISH FLOOR SHALL BE 4" THICK CONCRETE ON 4" COMPACTED GRAVEL.
10. FINISH FLOOR SHALL BE 4" THICK CONCRETE ON 4" COMPACTED GRAVEL.

GENERAL NOTES - FLOOR PLAN

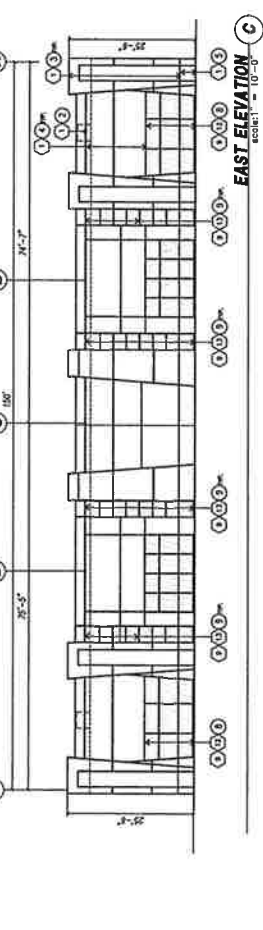
1. ALL DIMENSIONS UNLESS OTHERWISE NOTED ARE IN FEET AND INCHES.
2. FINISH FLOOR SHALL BE 4" THICK CONCRETE ON 4" COMPACTED GRAVEL.
3. FINISH FLOOR SHALL BE 4" THICK CONCRETE ON 4" COMPACTED GRAVEL.
4. FINISH FLOOR SHALL BE 4" THICK CONCRETE ON 4" COMPACTED GRAVEL.
5. FINISH FLOOR SHALL BE 4" THICK CONCRETE ON 4" COMPACTED GRAVEL.
6. FINISH FLOOR SHALL BE 4" THICK CONCRETE ON 4" COMPACTED GRAVEL.
7. FINISH FLOOR SHALL BE 4" THICK CONCRETE ON 4" COMPACTED GRAVEL.
8. FINISH FLOOR SHALL BE 4" THICK CONCRETE ON 4" COMPACTED GRAVEL.
9. FINISH FLOOR SHALL BE 4" THICK CONCRETE ON 4" COMPACTED GRAVEL.
10. FINISH FLOOR SHALL BE 4" THICK CONCRETE ON 4" COMPACTED GRAVEL.



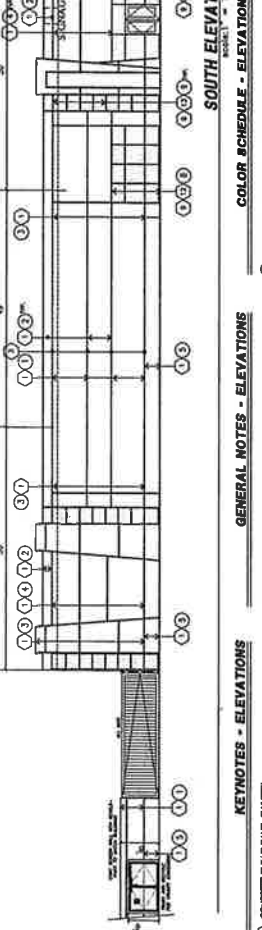
WEST ELEVATION
SCALE: 1" = 10'-0"



NORTH ELEVATION
SCALE: 1" = 10'-0"



EAST ELEVATION
SCALE: 1" = 10'-0"



SOUTH ELEVATION
SCALE: 1" = 10'-0"

KEYNOTES - ELEVATIONS

1. CONCRETE TO FINISH PAINTED.
2. PAINT, DARK.
3. PAINT, LIGHT.
4. PAINT, MEDIUM.
5. PAINT, BROWN.
6. PAINT, GREEN.
7. PAINT, RED.
8. PAINT, BLUE.
9. PAINT, PURPLE.
10. PAINT, PINK.

GENERAL NOTES - ELEVATIONS

1. ALL BASE COLOR CHANGES TO COLOR AT BASE COLORS UNLESS NOTED OTHERWISE.
2. ALL PAINT FINISHES ARE TO BE PAINT FINISHES NOTED OTHERWISE.
3. USE 1" TOP OF FINISH FLOOR ELEVATION.
4. FINISH FLOOR ELEVATION.
5. EXTERIOR CONSTRUCTION SHALL BE METAL ATTACHMENTS AND LANTHS.
6. CONTRACTOR SHALL FULLY PAINT ONE CONCRETE PANEL IN SELECTED COLOR TO MATCH OTHER CONCRETE PANELS TO BE PAINTED.
7. CONTRACTOR SHALL FULLY PAINT ONE CONCRETE PANEL IN SELECTED COLOR TO MATCH OTHER CONCRETE PANELS TO BE PAINTED.
8. CONTRACTOR SHALL FULLY PAINT ONE CONCRETE PANEL IN SELECTED COLOR TO MATCH OTHER CONCRETE PANELS TO BE PAINTED.

COLOR SCHEDULE - ELEVATIONS

NO.	DESCRIPTION	COLOR
1	CONCRETE TO FINISH PAINTED	PAINT, DARK
2	CONCRETE TO FINISH PAINTED	PAINT, LIGHT
3	CONCRETE TO FINISH PAINTED	PAINT, MEDIUM
4	CONCRETE TO FINISH PAINTED	PAINT, BROWN
5	CONCRETE TO FINISH PAINTED	PAINT, GREEN
6	CONCRETE TO FINISH PAINTED	PAINT, RED
7	CONCRETE TO FINISH PAINTED	PAINT, BLUE
8	CONCRETE TO FINISH PAINTED	PAINT, PURPLE
9	CONCRETE TO FINISH PAINTED	PAINT, PINK
10	CONCRETE TO FINISH PAINTED	PAINT, GREY

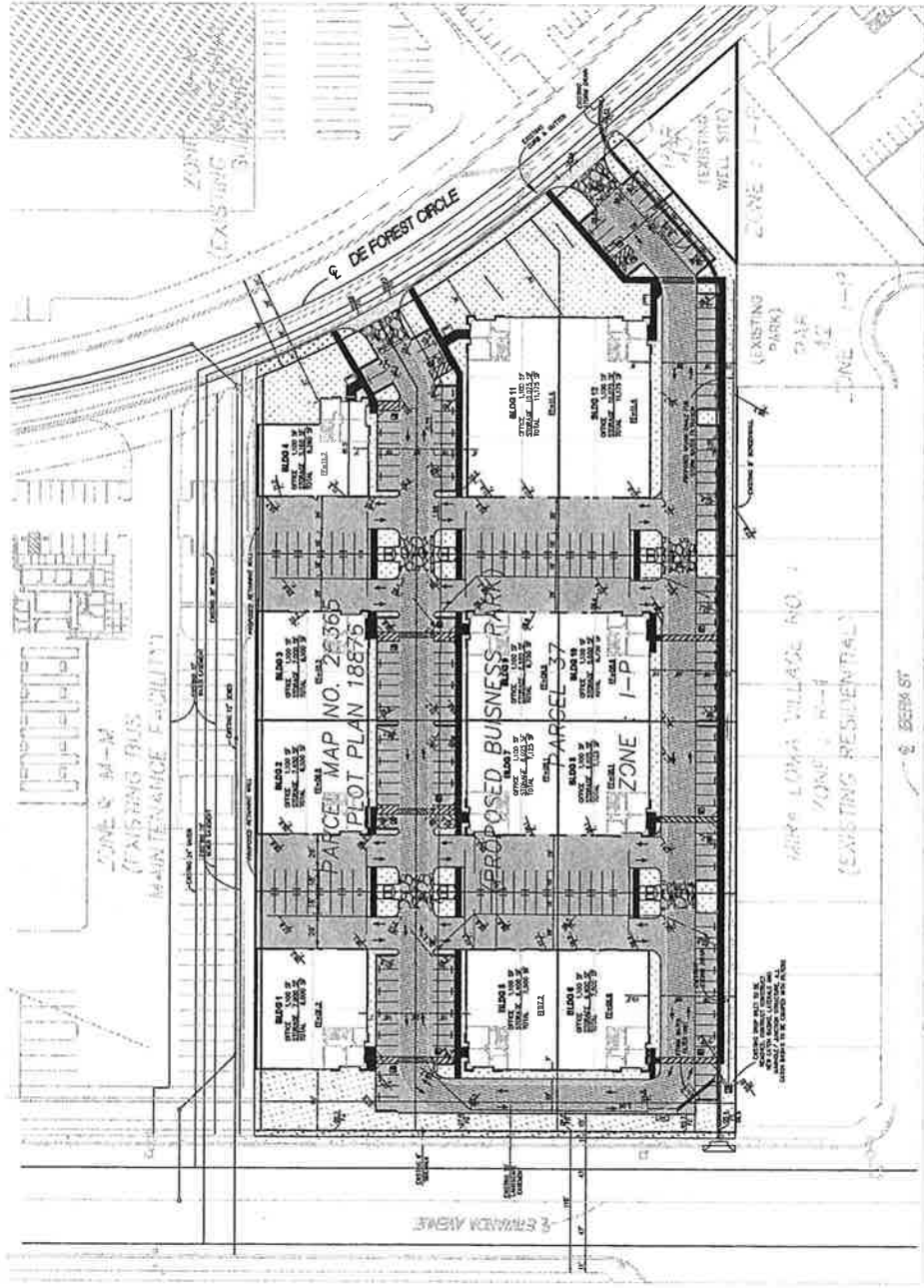


PROJECT REPRESENTATION
OWNER / ARCHITECT:
JAMES W. HARRIS, INC.
3800 JAMAR STREET, SUITE 200
RIVERSIDE, CALIFORNIA 92501
PHONE: (951) 794-1111
FAX: (951) 794-1112

BUILDING 11/12
DEFORST CIRCLE BUSINESS PARK
RIVERSIDE
PARCEL 37
RIVERSIDE COMMERCIAL INVESTORS, INC.
3800 JAMAR STREET, SUITE 200 RIVERSIDE, CALIFORNIA 92501
SHEET: 11-11, 12
PP 18876

HPA Inc.
(951) 833-1770
18871 Bowers Ave. Irvine, California 92612

CONCEPTUAL GRADING PLAN



REVISIONS:

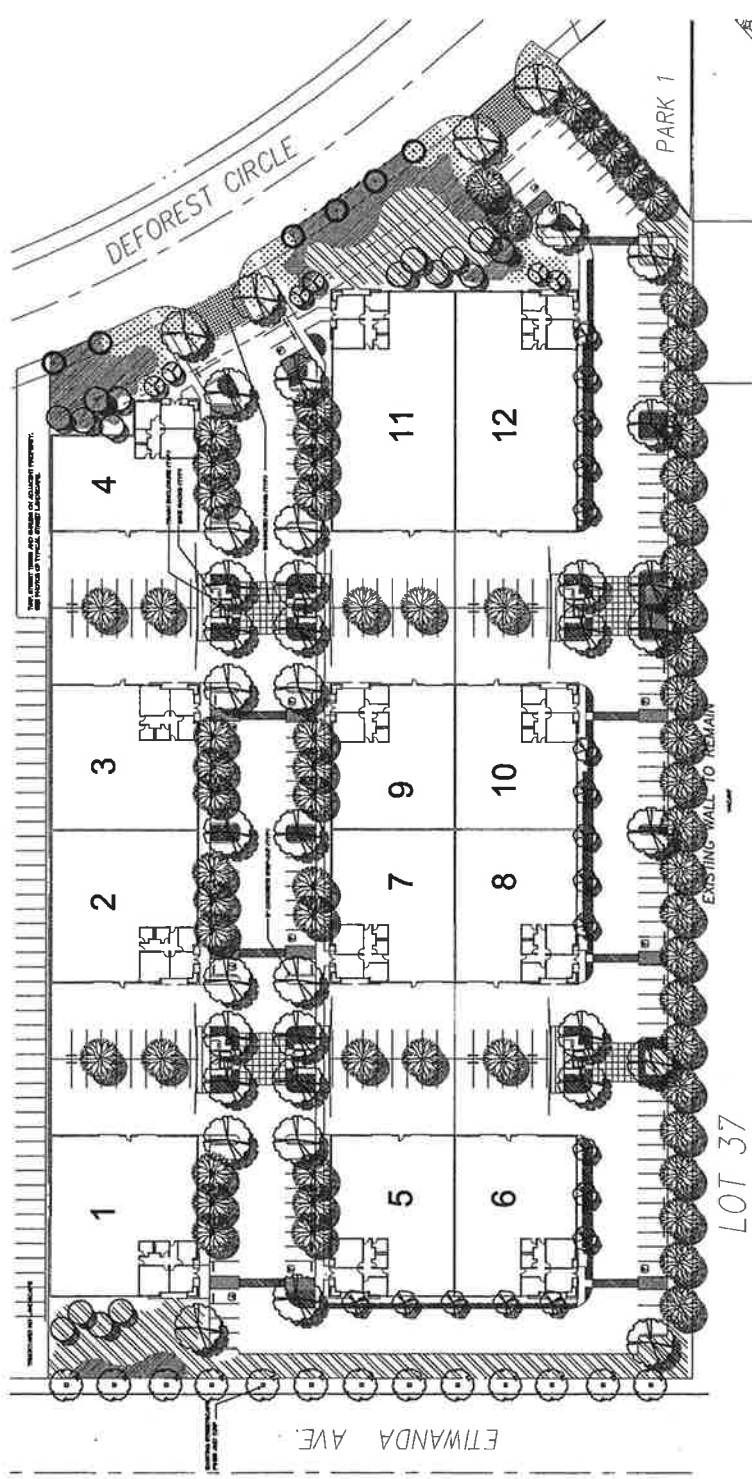
NO.	DATE	DESCRIPTION

KCT CONSULTANTS, INC.
 Civil Engineers - Surveyors - Planners
 1000 N. GARDEN AVENUE, SUITE 100
 SAN BERNARDINO, CALIF. 92410
 PHONE: (909) 381-1111
 FAX: (909) 381-1112
 WWW: WWW.KCTCONSULTANTS.COM

PROJECT NO. 0335-0303
 SHEET NO. 2
 OF 3 SHEETS

OC Real Estate Management, Inc.
 Mira Loma Commerce Center
CONCEPTUAL GRADING PLAN
 EXHIBIT 3.2-7

CASE #: PP18876, AMD. #4
 EXHIBIT: G
 DATED: 7/12/10
 PLANNER: C. HINOJOSA

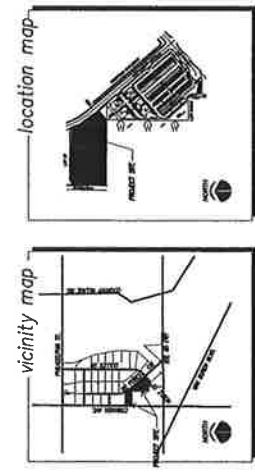


PLANTING LEGEND

SYMBOL	DESCRIPTION	SIZE	SPACING	NOTES
Circle with dot	1" Caliper Tree	1" Caliper	10' x 10'	1" Caliper Tree
Circle with cross	2" Caliper Tree	2" Caliper	10' x 10'	2" Caliper Tree
Circle with diagonal lines	4" Caliper Tree	4" Caliper	10' x 10'	4" Caliper Tree
Circle with horizontal lines	6" Caliper Tree	6" Caliper	10' x 10'	6" Caliper Tree
Circle with vertical lines	8" Caliper Tree	8" Caliper	10' x 10'	8" Caliper Tree
Circle with wavy lines	10" Caliper Tree	10" Caliper	10' x 10'	10" Caliper Tree
Circle with solid black	12" Caliper Tree	12" Caliper	10' x 10'	12" Caliper Tree
Circle with horizontal lines	14" Caliper Tree	14" Caliper	10' x 10'	14" Caliper Tree
Circle with vertical lines	16" Caliper Tree	16" Caliper	10' x 10'	16" Caliper Tree
Circle with diagonal lines	18" Caliper Tree	18" Caliper	10' x 10'	18" Caliper Tree
Circle with wavy lines	20" Caliper Tree	20" Caliper	10' x 10'	20" Caliper Tree
Circle with solid black	24" Caliper Tree	24" Caliper	10' x 10'	24" Caliper Tree
Circle with horizontal lines	28" Caliper Tree	28" Caliper	10' x 10'	28" Caliper Tree
Circle with vertical lines	32" Caliper Tree	32" Caliper	10' x 10'	32" Caliper Tree
Circle with diagonal lines	36" Caliper Tree	36" Caliper	10' x 10'	36" Caliper Tree
Circle with wavy lines	40" Caliper Tree	40" Caliper	10' x 10'	40" Caliper Tree
Circle with solid black	44" Caliper Tree	44" Caliper	10' x 10'	44" Caliper Tree
Circle with horizontal lines	48" Caliper Tree	48" Caliper	10' x 10'	48" Caliper Tree
Circle with vertical lines	52" Caliper Tree	52" Caliper	10' x 10'	52" Caliper Tree
Circle with diagonal lines	56" Caliper Tree	56" Caliper	10' x 10'	56" Caliper Tree
Circle with wavy lines	60" Caliper Tree	60" Caliper	10' x 10'	60" Caliper Tree
Circle with solid black	64" Caliper Tree	64" Caliper	10' x 10'	64" Caliper Tree
Circle with horizontal lines	68" Caliper Tree	68" Caliper	10' x 10'	68" Caliper Tree
Circle with vertical lines	72" Caliper Tree	72" Caliper	10' x 10'	72" Caliper Tree
Circle with diagonal lines	76" Caliper Tree	76" Caliper	10' x 10'	76" Caliper Tree
Circle with wavy lines	80" Caliper Tree	80" Caliper	10' x 10'	80" Caliper Tree
Circle with solid black	84" Caliper Tree	84" Caliper	10' x 10'	84" Caliper Tree
Circle with horizontal lines	88" Caliper Tree	88" Caliper	10' x 10'	88" Caliper Tree
Circle with vertical lines	92" Caliper Tree	92" Caliper	10' x 10'	92" Caliper Tree
Circle with diagonal lines	96" Caliper Tree	96" Caliper	10' x 10'	96" Caliper Tree
Circle with wavy lines	100" Caliper Tree	100" Caliper	10' x 10'	100" Caliper Tree
Circle with solid black	104" Caliper Tree	104" Caliper	10' x 10'	104" Caliper Tree
Circle with horizontal lines	108" Caliper Tree	108" Caliper	10' x 10'	108" Caliper Tree
Circle with vertical lines	112" Caliper Tree	112" Caliper	10' x 10'	112" Caliper Tree
Circle with diagonal lines	116" Caliper Tree	116" Caliper	10' x 10'	116" Caliper Tree
Circle with wavy lines	120" Caliper Tree	120" Caliper	10' x 10'	120" Caliper Tree

1. ALL TREE SPECIES OR SPECIFICATIONS SHALL BE IN A SPECIFICATION ON SHEET 38.
2. THE PLANTING SCHEDULE SHALL BE IN A SPECIFICATION ON SHEET 38.
3. ALL PLANTING SHALL BE IN ACCORDANCE WITH THE CITY OF MIRA LOMA, CALIFORNIA.
4. ALL PLANTING SHALL BE IN ACCORDANCE WITH THE CITY OF MIRA LOMA, CALIFORNIA.
5. ALL PLANTING SHALL BE IN ACCORDANCE WITH THE CITY OF MIRA LOMA, CALIFORNIA.
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20. ALL PLANTING SHALL BE IN ACCORDANCE WITH THE CITY OF MIRA LOMA, CALIFORNIA.

project information
 Owner / Applicant
 Applicant's Representative
 Sheet Index
 Plot Plan # 18876
 Assessor's Parcel Number
 Parcel Map No. 28365
 Project Zoning



HUNTER LANDSCAPE
 11165
 10/15/2007

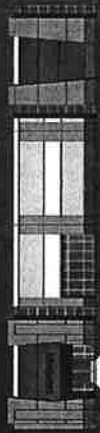
t 37 Business Park Mira Loma, California
 Estate Management, LLC.

DEFOREST BUSINESS PARK
 DAB LOT 37

CASE #: PP18876, AMD. #4
 EXHIBIT: L
 DATED: 7/12/10
 PLANNER: C. HINOJOSA

LOT 37

CONCEPTUAL ELEVATIONS MATERIAL BOARD



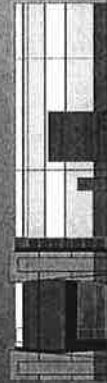
BUILDING (TYPICAL) - SOUTH ELEVATION



BUILDING (TYPICAL) - EAST ELEVATION

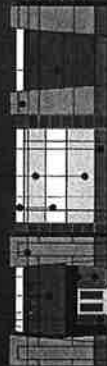


BUILDING 2-3 (TYPICAL) - SOUTH ELEVATION



BUILDING 2-3 (TYPICAL) - EAST ELEVATION

7 4 6 3 2 1 5 3 4



BUILDING 5-6 (TYPICAL) - EAST ELEVATION



BUILDING 5-6 (TYPICAL) - WEST ELEVATION



Frozee 8680 W
ARIA IVORY



Frozee 001
WHITE



Frozee 8762W
TOUCHSTONE



Frozee 8684M
OAK FLATS



Frozee 8794M
FIRED STEEL



Anodized
Mullions



Blue Reflective
Glazing

DEFOREST CIRCLE BUSINESS PARK

HPA

BUILDING 1 ~ 12

CITY OF MIRA LOMA, CALIFORNIA

18831 Bonaston Ave
Suite 100
Irvine, CA 92612
P: 949 263 1776
F: 949 263 0855

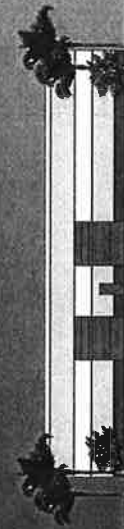
CASE #: PP18876, AMD. #4
EXHIBIT: M (Sheets 1-2)
DATED: 7/12/10
PLANNER: C. HINOJOSA

LOT 37

CONCEPTUAL ELEVATIONS



BUILDING (TYPICAL) - SOUTH ELEVATION



BUILDING (TYPICAL) - EAST ELEVATION



BUILDING 2-3 (TYPICAL) - SOUTH ELEVATION



BUILDING 2-3 (TYPICAL) - EAST ELEVATION



BUILDING 4 (TYPICAL) - EAST ELEVATION



BUILDING 5-6 (TYPICAL) - WEST ELEVATION

DEFOREST CIRCLE BUSINESS PARK

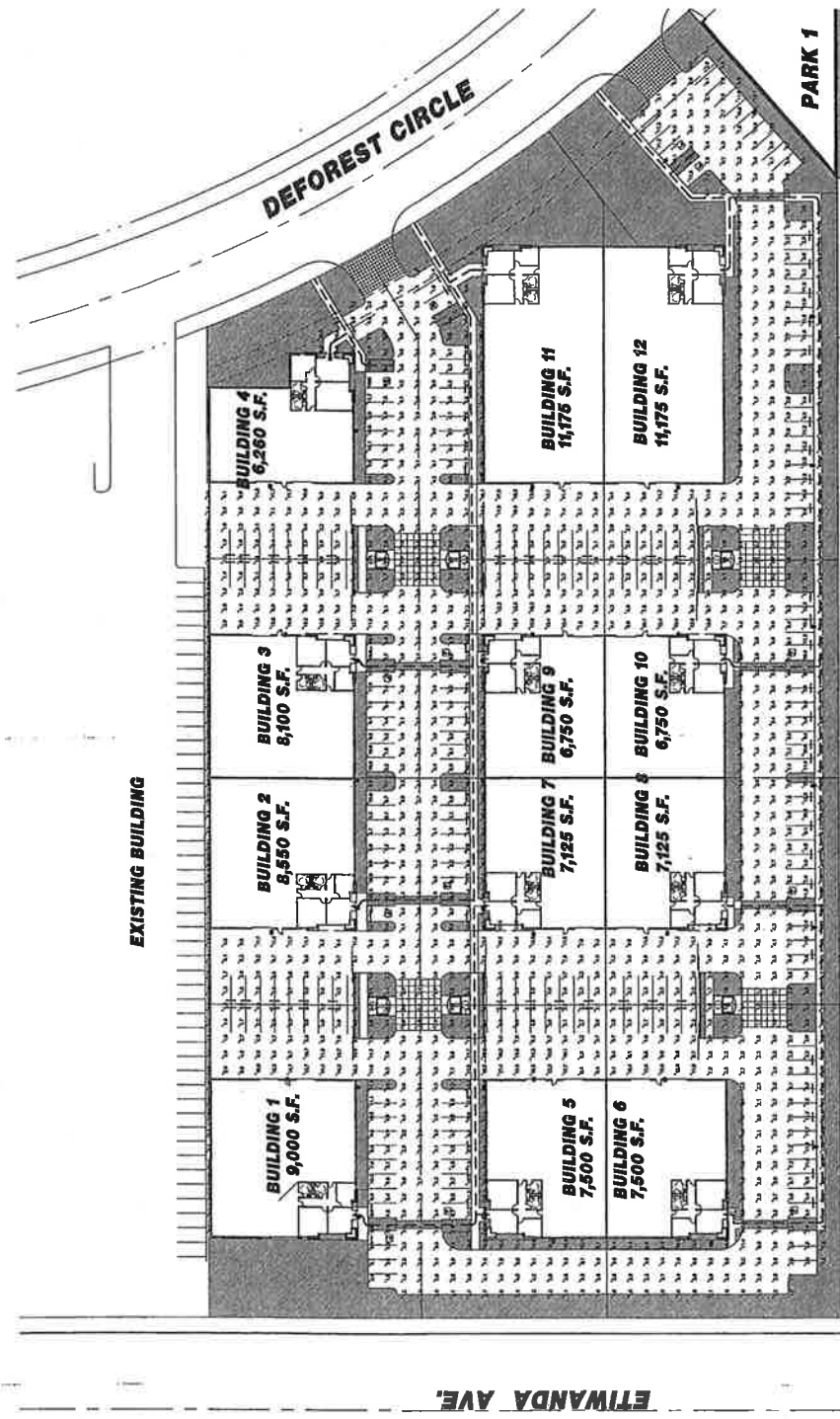


BUILDING 1 ~ 12

CITY OF MIRA LOMA, CALIFORNIA

HPA

18831 Eadsdon Ave.
Suite 100
Irvine, CA 92612
P: 949.861.1770
FAX: 949.863.0991



LOT 37

OVERALL SITE

STATISTICS

Item	Value	Unit
Area	0.26	Acres
Permit Fee	1,100	Dollars
Other Fees	1,100	Dollars
Total	2,200	Dollars

LUMINAIR SCHEDULE

Item	Description	Qty	Unit	Value
1	100-WATT PAR 38	100	Each	100.00
2	100-WATT PAR 38	100	Each	100.00
3	100-WATT PAR 38	100	Each	100.00
4	100-WATT PAR 38	100	Each	100.00
5	100-WATT PAR 38	100	Each	100.00
6	100-WATT PAR 38	100	Each	100.00
7	100-WATT PAR 38	100	Each	100.00
8	100-WATT PAR 38	100	Each	100.00
9	100-WATT PAR 38	100	Each	100.00
10	100-WATT PAR 38	100	Each	100.00
11	100-WATT PAR 38	100	Each	100.00
12	100-WATT PAR 38	100	Each	100.00
13	100-WATT PAR 38	100	Each	100.00
14	100-WATT PAR 38	100	Each	100.00
15	100-WATT PAR 38	100	Each	100.00
16	100-WATT PAR 38	100	Each	100.00
17	100-WATT PAR 38	100	Each	100.00
18	100-WATT PAR 38	100	Each	100.00
19	100-WATT PAR 38	100	Each	100.00
20	100-WATT PAR 38	100	Each	100.00
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23	100-WATT PAR 38	100	Each	100.00
24	100-WATT PAR 38	100	Each	100.00
25	100-WATT PAR 38	100	Each	100.00
26	100-WATT PAR 38	100	Each	100.00
27	100-WATT PAR 38	100	Each	100.00
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37	100-WATT PAR 38	100	Each	100.00
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45	100-WATT PAR 38	100	Each	100.00
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95	100-WATT PAR 38	100	Each	100.00
96	100-WATT PAR 38	100	Each	100.00
97	100-WATT PAR 38	100	Each	100.00
98	100-WATT PAR 38	100	Each	100.00
99	100-WATT PAR 38	100	Each	100.00
100	100-WATT PAR 38	100	Each	100.00

NOTE: ALL FEATURES BY PROPERTY LINE TO HAVE HOUSE SIZED TO ELIMINATE ILLUMINATION ON ADJACENT PROPERTY.

HPA

18511 Chapman Ave.
Suite 100
Riverside, CA 92504
Tel: 951-514-1770
Fax: 951-514-1751

Deforest Business Park
County of Riverside, California

0

Deforest Business Park

Project Signage Guidelines

April 09, 2007

Deforest Business Park - Lot 37

County of Riverside, California

336
2007

CASE: PP18876, AMD. #4
EXHIBIT: S (Sheets 1-5)
DATED: 7/12/10
PLANNER: C. HINOJOSA

Contents

- 0 Cover
- 1 Table of Contents
- 2 Project Typestyles & General Provisions
- 3 Site Plan - Signage Location
- 4 Typ. Tenant Bldg. Signage - Bldg. 11

NOTE : ALL SIGNS SHALL COMPLY WITH RIVERSIDE ZONING ORDINANCE 348 SECTION 19.4 AND TO SUBMITTED & PERMITTED UNDER A SEPARATE PERMIT PER COUNTY SUBMITTAL AND APPROVAL PROCESS.

Table of Contents

Job#3336
April 09, 2007

HPA

18631 022586024P
1/18/10
1075 6371917
1075 6371770
1075 6371771

DeForest Business Park

County of Riverside, California

1

Project Typesyles - Americana B&T

A B C D E F G H I J K L M N

O P Q R S T U V W X Y Z

1 2 3 4 5 6 7 8 9 0

GENERAL PROVISIONS for ON-SITE ADVERTISING STRUCTURES AND SIGNS.

1. **FREE-STANDING SIGNS.**
No free standing signs are allowed except for the two monument signs described in the Deforest Business Park Sign Program.
2. **SIGN AFFIXED TO BUILDING - ALL AREAS.**
See individual Building types with signage design guidelines within.
(1) No on-site advertising sign shall be affixed on, above or over the roof of any building, and no on-site advertising sign shall be affixed to the wall of a building so that it projects above the parapet of the building. For the purposes of this section, a mansard style roof shall be considered a parapet.
(2) The maximum surface area of signs affixed to a building shall be as follows:
 - a. Front wall of building - The surface area of the sign shall not exceed 10% of the surface area of the front face of the building.
 - b. Side walls of a building - The surface area of the sign shall not exceed 10% of the surface area of the side face of the building.
 - c. Rear wall of a building - The surface area of the sign shall not exceed 5% of the surface area of the rear of the building.
3. **ON-SITE SUBDIVISION SIGNS ARE NOT ALLOWED.**
4. **ON-SITE IDENTIFICATION SIGNS.**
On-site identification signs affixed to the surface of walls, windows, and doors of permanent structures, which do not exceed four inches in letter height and do not exceed four square feet in area are permitted in addition to any other sign permitted in this ordinance.
5. **DEFOREST BUSINESS PARK IS NOT IN A SCENIC CORRIDORS.**

NOTE : ALL SIGNS SHALL COMPLY WITH RIVERSIDE ZONING ORDINANCE 348 SECTION 19.4 AND TO SUBMITTED & PERMITTED UNDER A SEPARATE PERMIT PER COUNTY SUBMITTAL AND APPROVAL PROCESS.

Project typesyles & General Provisions

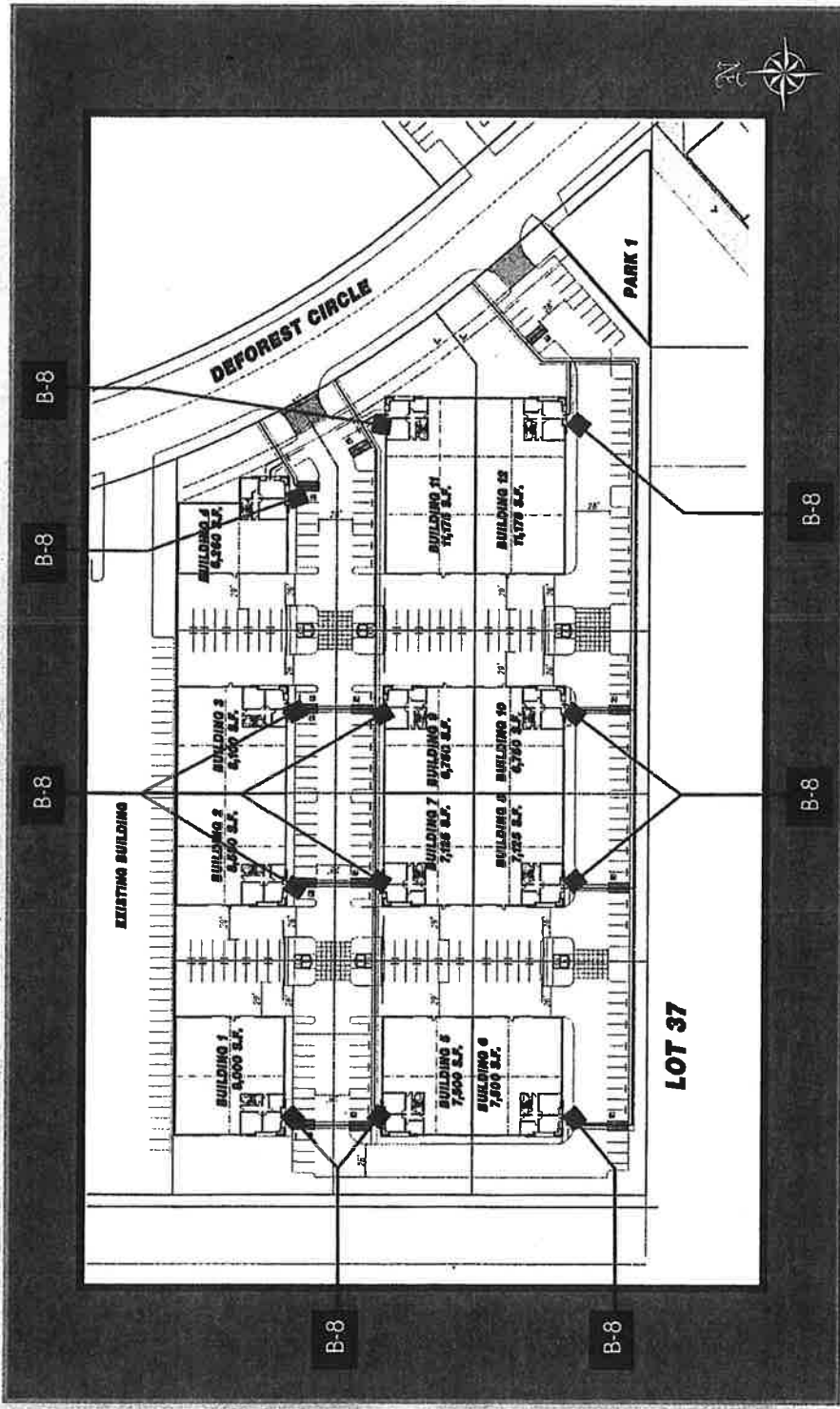
Job #3336
April 09, 2007

2

HPA

18631 Los Arroyos Ave.
Suite 103
Riverside, CA 92512
Tel: 951-506-1170
Fax: 951-506-1861

Deforest Business Park
County of Riverside, California



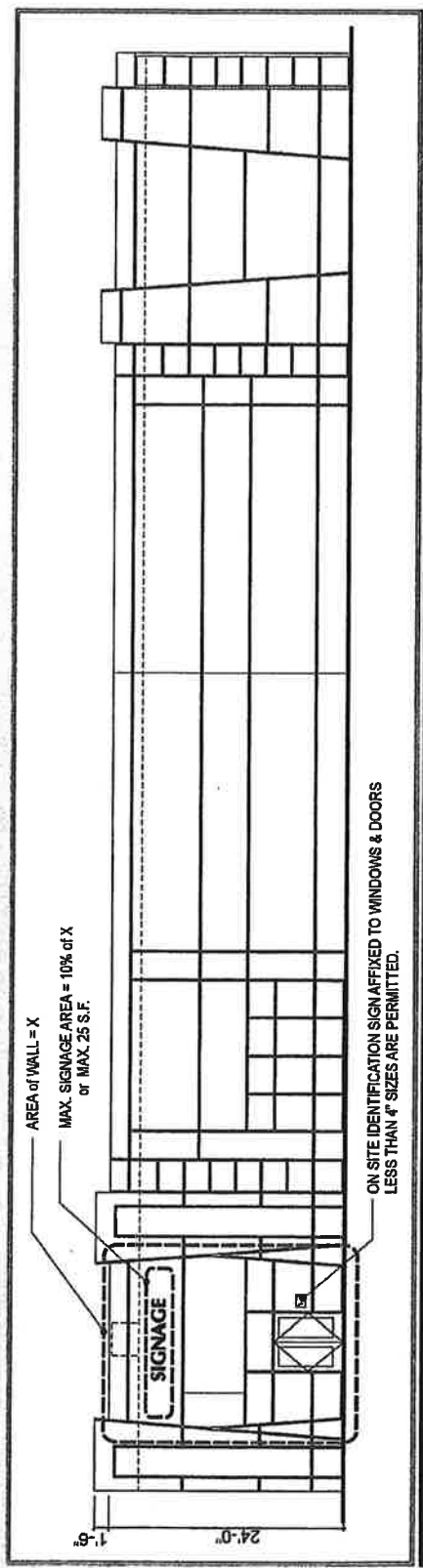
PM-5	Page No. for detail Signage Type : PM : Primary Monument Sign	B-8	Page No. for detail Signage Type : SM : Secondary Monument Sign	M-7	Page No. for detail Signage Type : M : Mailbox Kiosk Sign
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NOTE : ALL SIGNS SHALL COMPLY WITH RIVERSIDE ZONING ORDINANCE 348 SECTION 19.4 AND TO SUBMITTED & PERMITTED UNDER A SEPARATE PERMIT PER COUNTY SUBMITTAL AND APPROVAL PROCESS.

SITE PLAN - SIGNAGE LOCATIONS - LOT 37

BUILDING SIGNS

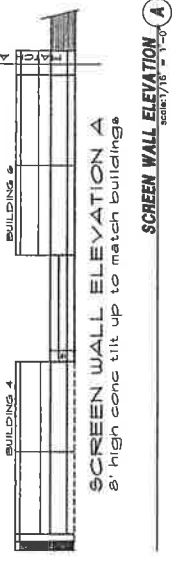
- Building signs must be uniform in nature throughout the park.
- All building signage must conform to the county of Riverside sign ordinance and the covenants codes/ restrictions of the Deforest Business park.
- Side & Front Wall : The surface area of the sign affixed to buildings shall not exceed 10 % of the surface area of the front of the building.
- Rear Wall : The surface area of the sign affixed to buildings shall not exceed 5 % of the surface area of the front of the building.
- The maximum surface area of a single sign shall not exceed 50 S.F.
- Location - Parallel with and attached to exterior wall of the tenant space of the business and be visible from a publicly dedicated street.
No sign shall be located less than eight feet above the finished grade of a sidewalk or ground level or extend above the roof of any building.
- The signage graphics to be 2 Inch thick Foam with Black vinyl faced front.



North Elevation

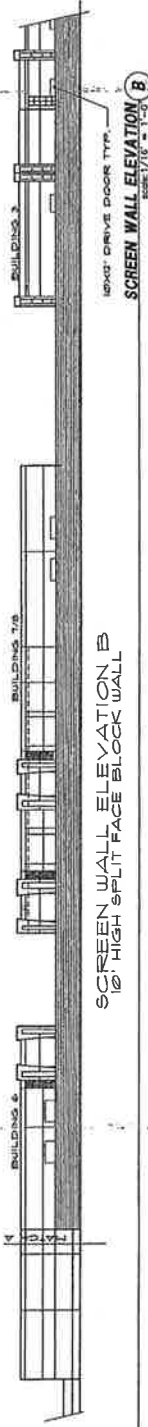
NOTE : ALL SIGNS SHALL COMPLY WITH RIVERSIDE ZONING ORDINANCE 348 SECTION 19.4 AND TO SUBMITTED & PERMITTED UNDER A SEPARATE PERMIT PER COUNTY SUBMITTAL AND APPROVAL PROCESS.

*Typ. Tenant Building Signage
Building 11 (Typical of bldg. 1 to 12) - Lot 37*



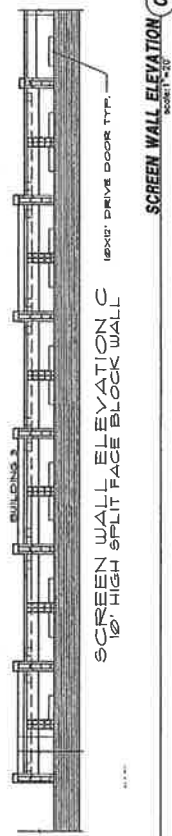
SCREEN WALL ELEVATION A
2' high cone tilt up to match buildings 4 & 6

SCREEN WALL ELEVATION A
SCALE: 1/16" = 1'-0"



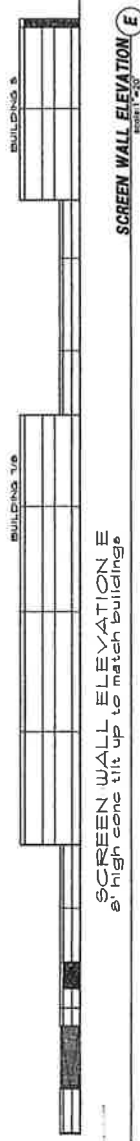
SCREEN WALL ELEVATION B
10' HIGH SPLIT FACE BLOCK WALL
16x24' DRIVE DOOR TYP.

SCREEN WALL ELEVATION B
SCALE: 1/16" = 1'-0"



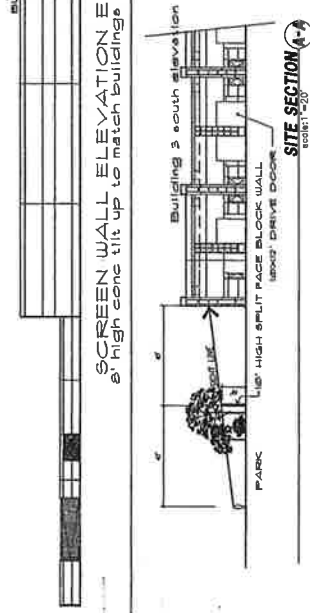
SCREEN WALL ELEVATION C
10' HIGH SPLIT FACE BLOCK WALL
16x24' DRIVE DOOR TYP.

SCREEN WALL ELEVATION C
SCALE: 1/16" = 1'-0"



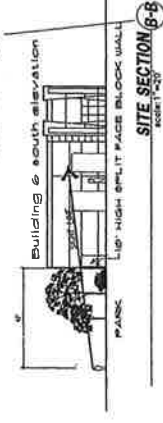
SCREEN WALL ELEVATION D
EXISTING
10' HIGH SPLIT FACE BLOCK WALL

SCREEN WALL ELEVATION D
SCALE: 1/16" = 1'-0"

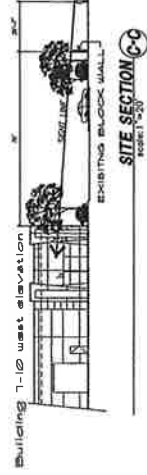


SCREEN WALL ELEVATION E
2' high cone tilt up to match buildings 3 & 6

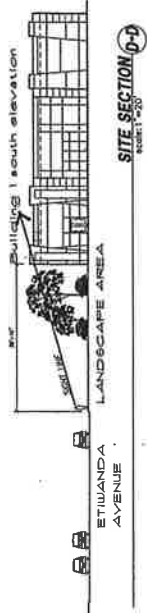
SCREEN WALL ELEVATION E
SCALE: 1/16" = 1'-0"



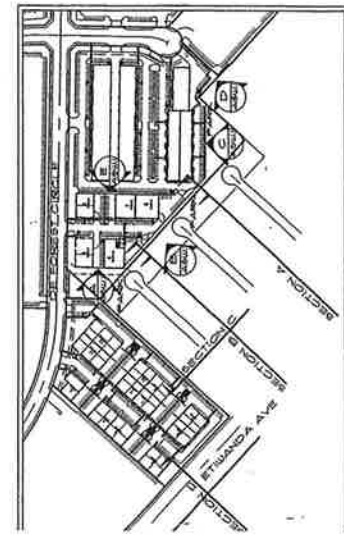
SITE SECTION B-B
SCALE: 1/16" = 1'-0"



SITE SECTION C-C
SCALE: 1/16" = 1'-0"



SITE SECTION D-D
SCALE: 1/16" = 1'-0"



OVERALL SITE LOTS 37 & 38/39

SCREEN WALL ELEVATIONS AND
SITE SECTIONS

SHEET, DAB SW-1
PARCEL 37, 38&39
PP 18876 - 18877
DEFOREST BUSINESS PARK
DAB LOT 37 38&39

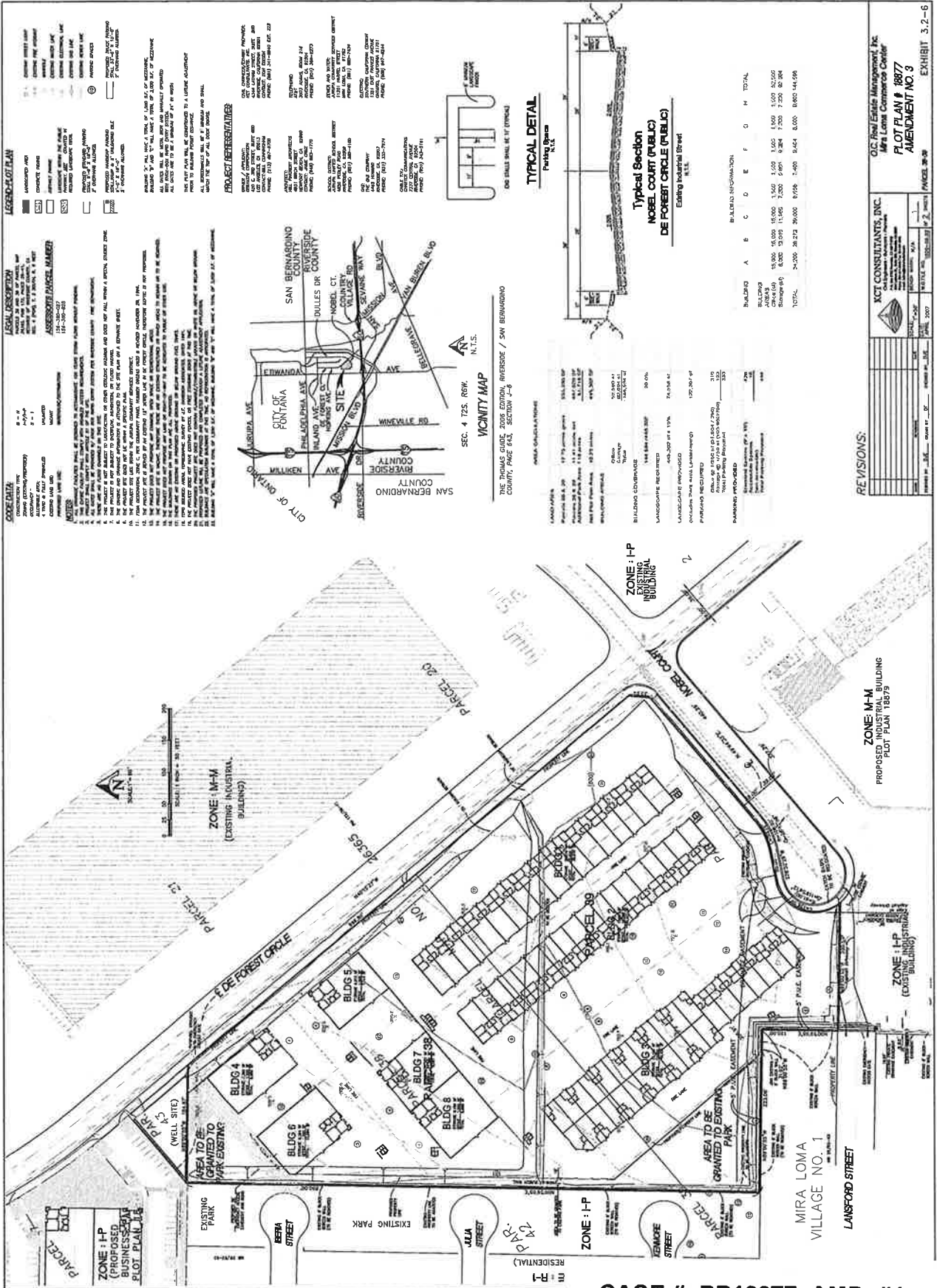


6055 MIKE STREET, SUITE 200, RIVERSIDE, CALIFORNIA 92504
CITY OF ANNA LINDA

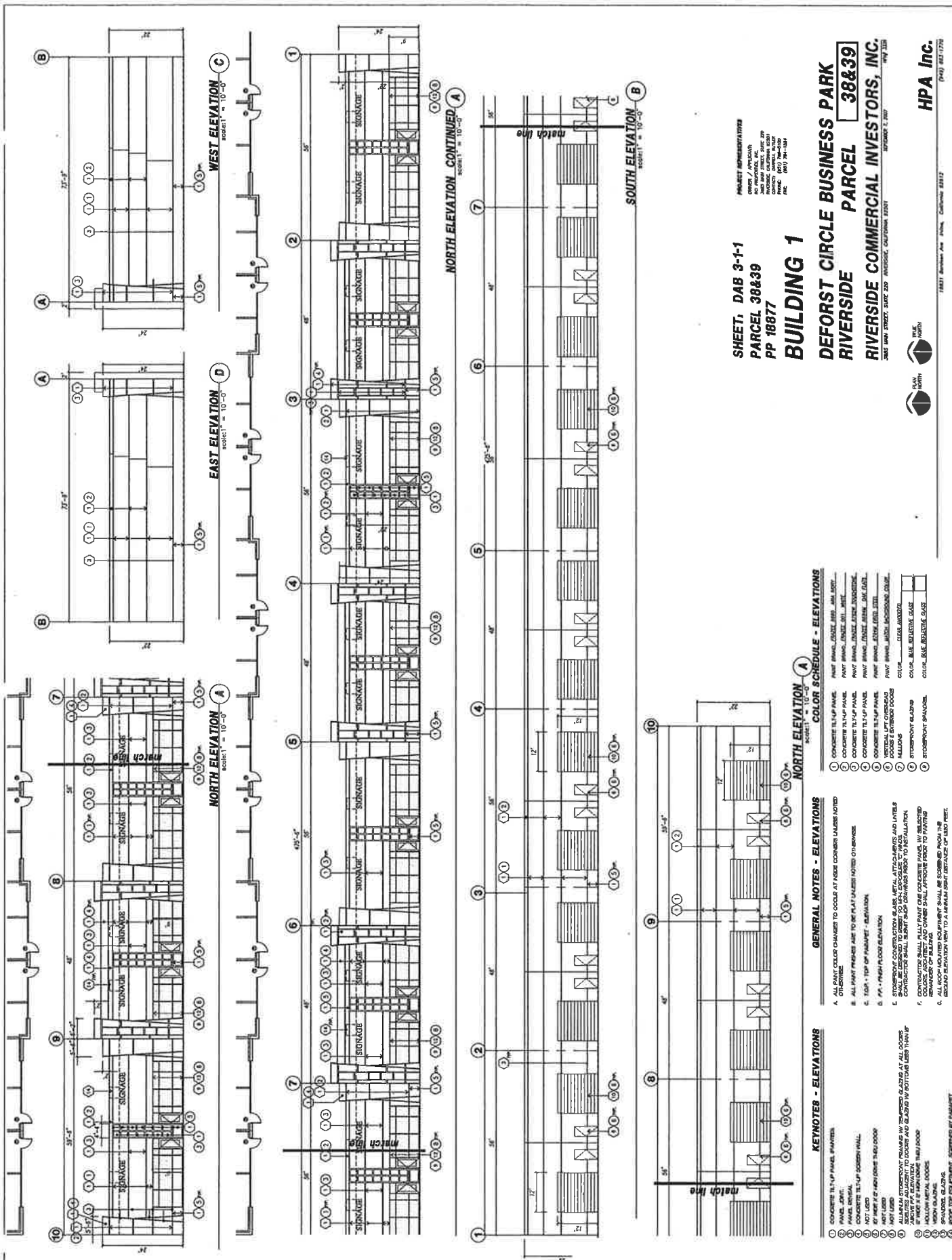


18877 BARBER AVE. SUITE 100, IRVING, CA 92612 (949) 882-1176

CASE #: PP18876, AMD. #4
EXHIBIT: W
DATED: 7/12/10
PLANNER: C. HINOJOSA



CASE #: PP18877, AMD. #4
 EXHIBIT: A
 DATED: 7/12/10
 PLANNER: C. HINOJOSA



SHEET, DAB 3-1-1
PARCEL 38&39
PP 18877
BUILDING 1

PROJECT REPRESENTATIVES
 HPA INC. (PH) 862-1770
 1883 BENTON AVE. #100, CAROLINA BEACH, NC 28511
 CONTRACTOR
 RIVERSIDE COMMERCIAL INVESTORS, INC.
 3802 MAIN STREET, SUITE 200, RIVERSIDE, CALIFORNIA 92507
 951-781-1844

DEFORST CIRCLE BUSINESS PARK
RIVERSIDE PARCEL 38&39
RIVERSIDE COMMERCIAL INVESTORS, INC.

HPA Inc.
 (PH) 862-1770

COLOR SCHEDULE - ELEVATIONS

NO.	DESCRIPTION	COLOR
1	CONCRETE TILT-UP PANEL	CONCRETE
2	CONCRETE TILT-UP PANEL	CONCRETE
3	CONCRETE TILT-UP PANEL	CONCRETE
4	CONCRETE TILT-UP PANEL	CONCRETE
5	CONCRETE TILT-UP PANEL	CONCRETE
6	CONCRETE TILT-UP PANEL	CONCRETE
7	CONCRETE TILT-UP PANEL	CONCRETE
8	CONCRETE TILT-UP PANEL	CONCRETE
9	CONCRETE TILT-UP PANEL	CONCRETE
10	CONCRETE TILT-UP PANEL	CONCRETE

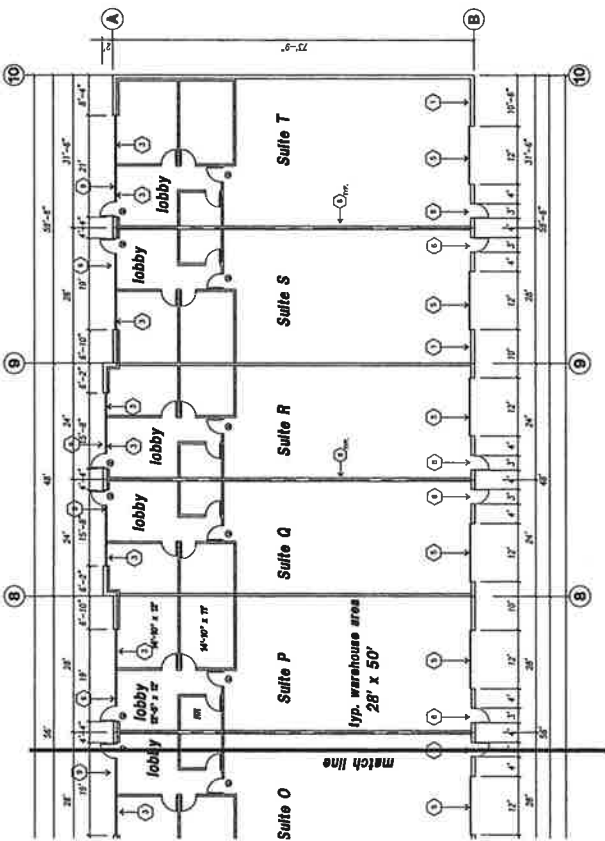
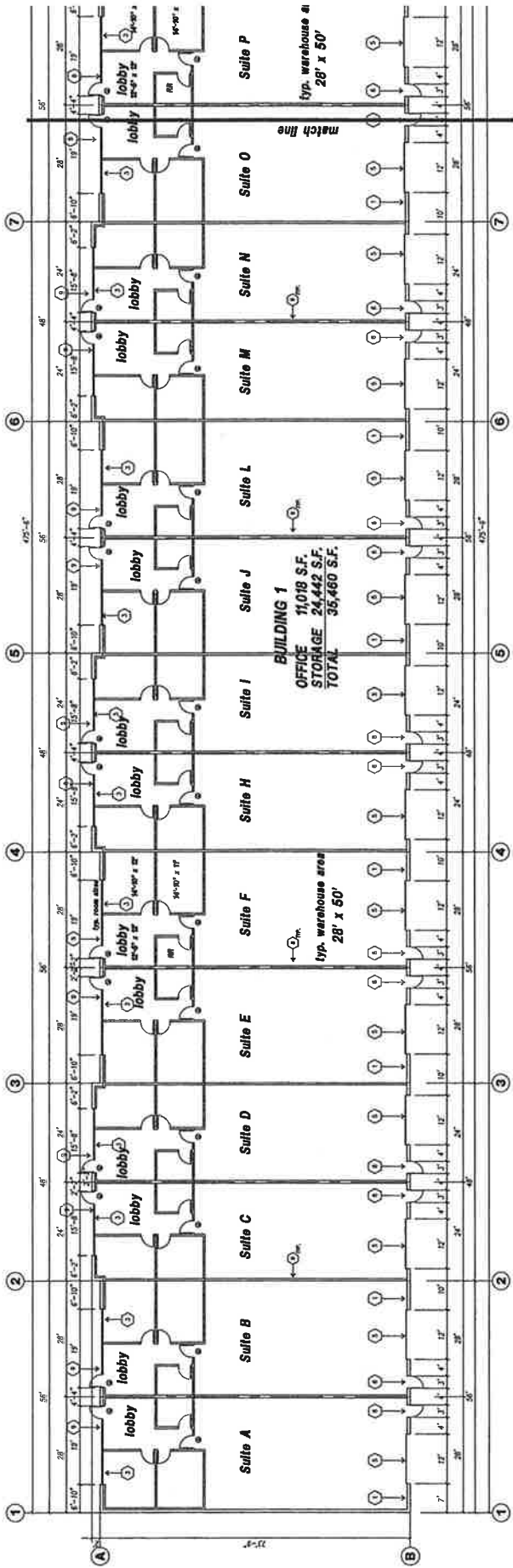
GENERAL NOTES - ELEVATIONS

- ALL PAINT COLORS CHANGED TO COLOR AT THESE CORNERS UNLESS NOTED OTHERWISE.
- ALL PAINT PHASES ARE TO BE PAINT UNLESS NOTED OTHERWISE.
- TOP OF PAINTER - REVISION.
- PP-1 - FIRST FLOOR ELEVATION.
- STOOPMOUNT CONSTRUCTION BLANK METAL ATTACHMENTS AND LATHES SHALL BE INSTALLED TO RECEIVE THE STAIRS AND HANDRAILS TO BE INSTALLED BY THE CONTRACTOR. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
- CONTRACTOR SHALL PAINT ALL CONCRETE PANELS WITH SELECTED COLOR AND FINISH AND OWNER SHALL APPROVE PRIOR TO PAINTING.
- ALL ROOF MOUNTED EQUIPMENT SHALL BE SCOREBOARD FROM THE EXTERIOR.
- GROUND ELEVATION VIEW TO A MINIMUM DISTANCE OF 150 FEET.

KEYNOTES - ELEVATIONS

- CONCRETE TILT-UP PANEL FINISHES
- PANEL Joints
- CONCRETE TILT-UP JOINTS WALL
- CONCRETE TILT-UP JOINTS THROUGH ROOF
- NOT USED
- CONCRETE TILT-UP PANELS WITH REINFORCING BARS AT ALL JOINTS SHALL BE INSTALLED TO RECEIVE AND BEAD TO RECEIVE THE STAIRS AND HANDRAILS TO BE INSTALLED BY THE CONTRACTOR.
- HOLLOW METAL JOISTS
- WOOD CLADDING
- WOOD CLADDING
- ROOF TOP EQUIPMENT - SCOREBOARD BY MANUFACTURER

CASE #: PP18877, AMD. #4
EXHIBIT: B & C (Sheets 1-10)
DATED: 7/12/10
PLANNER: C. HINOJOSA



FLOOR PLAN

SCALE: 1" = 8'-0"

- KEYNOTES - FLOOR PLAN**
1. CONCRETE TIE-UP PANEL, SEE "S" DRAWINGS FOR THICKNESS.
 2. FINISH FLOOR SHALL BE SMOOTH POLISHED CONCRETE.
 3. FINISH WALLS SHALL BE SMOOTH POLISHED CONCRETE.
 4. FINISH CEILING SHALL BE 15' HIGHER THAN FINISH FLOOR.
 5. FINISH PARTITION WALLS SHALL BE 5/8" THICK CONCRETE.
 6. FINISH PARTITION WALLS SHALL BE 5/8" THICK CONCRETE.
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- GENERAL NOTES - FLOOR PLAN**
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SHEET: DAB 2-1-1
PARCEL 38&39
PP 18877
BUILDING 1

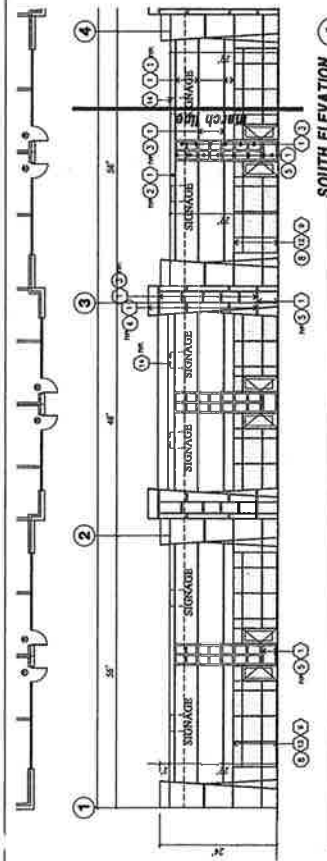
DEFORST CIRCLE BUSINESS PARK
RIVERSIDE
PARCEL 38&39
RIVERSIDE COMMERCIAL INVESTORS, INC.
 3800 MAIN STREET, SUITE 200, RIVERSIDE, CALIFORNIA 92501
 OFFSHORE 1.300.764.3333
 FAX 951.791.1514

HPA Inc.
 16831 DeSoto Ave., Van Nuys, California 91411
 (818) 708.1335

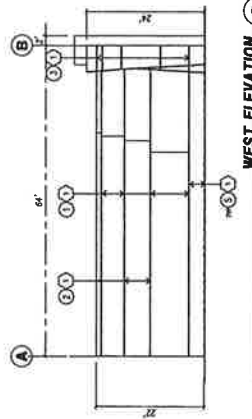


FLOOR PLAN

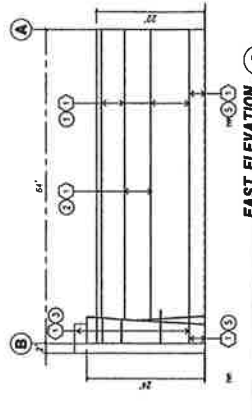
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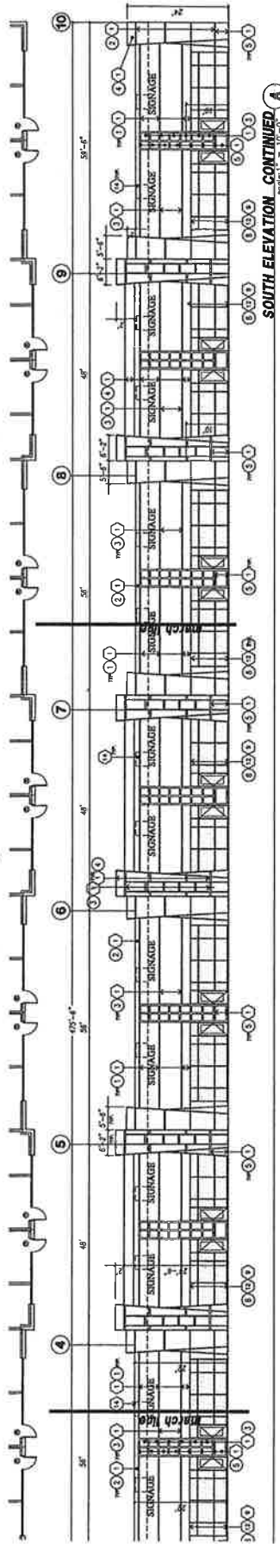
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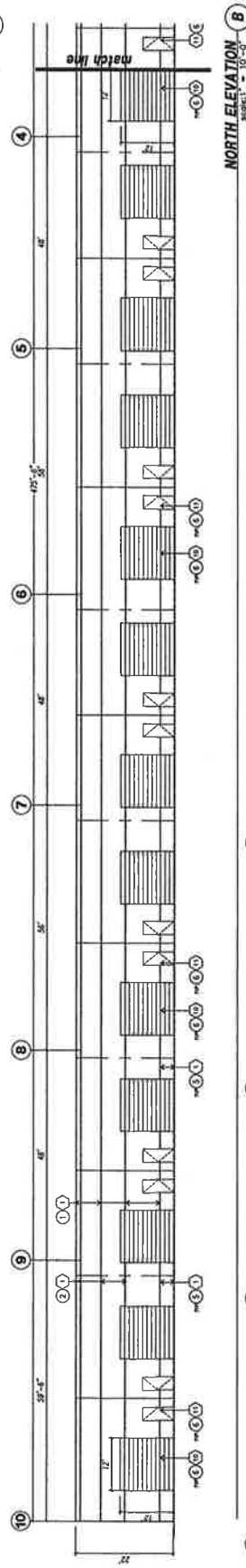
WEST ELEVATION
SCALE: 1" = 10'-0"



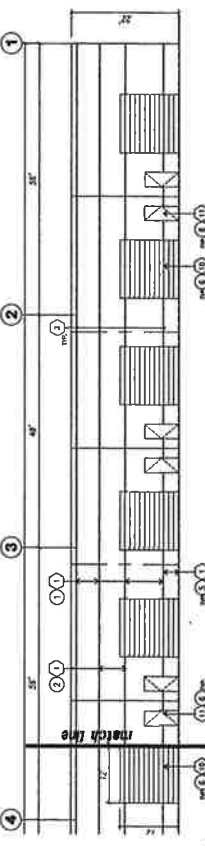
EAST ELEVATION
SCALE: 1" = 10'-0"



SOUTH ELEVATION CONTINUED
SCALE: 1" = 10'-0"



NORTH ELEVATION
SCALE: 1" = 10'-0"



NORTH ELEVATION
SCALE: 1" = 10'-0"

SHEET: DAB 3-1-2
PARCEL 38&39
PP 18877

BUILDING 2

DEFORST CIRCLE BUSINESS PARK
RIVERSIDE
RIVERSIDE COMMERCIAL INVESTORS, INC.
3405 BWA STREET, SUITE 200, PLEASANTON, CALIFORNIA 94566
PHONE: (925) 964-1524
FAX: (925) 964-1524

PROJECT MEMBERS LIST
BY: HPA INC.
PROJECT: DEFORST CIRCLE BUSINESS PARK
RIVERSIDE COMMERCIAL INVESTORS, INC.
DATE: 01/11/11

HPA Inc.

(925) 964-1524

KEYNOTES - ELEVATIONS

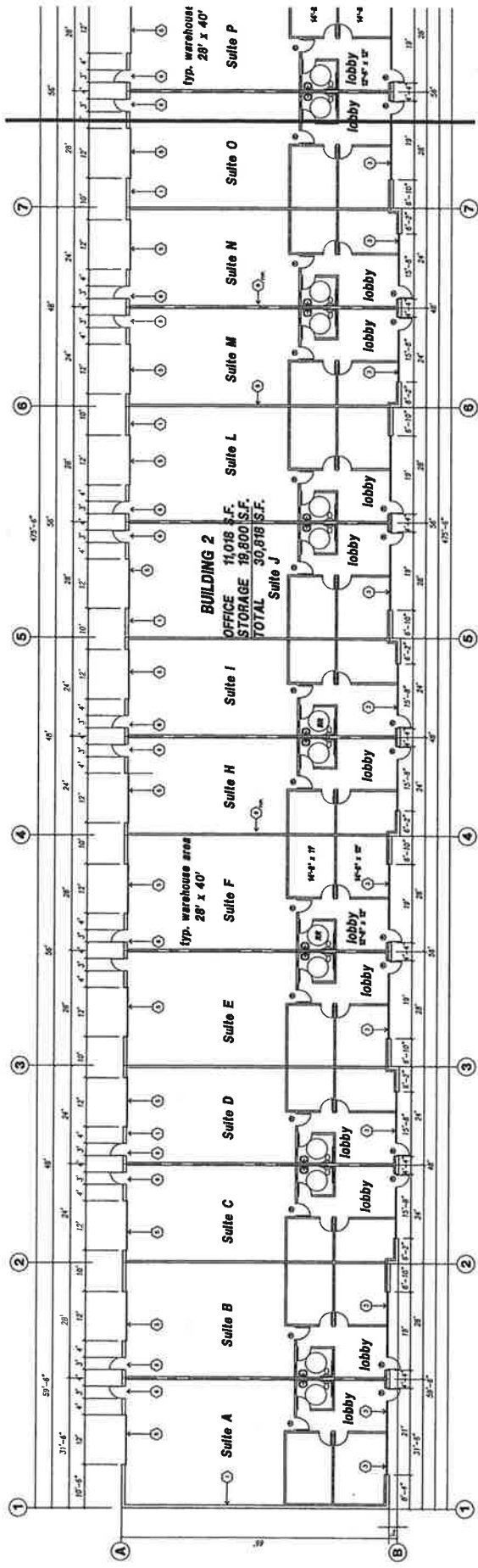
- 1 CONCRETE SLIP PANEL, FINISH: BRUSHED
- 2 PAINT, WHITE
- 3 CONCRETE SLIP PANEL, FINISH: BRUSHED
- 4 CONCRETE SLIP PANEL, FINISH: BRUSHED
- 5 CONCRETE SLIP PANEL, FINISH: BRUSHED
- 6 CONCRETE SLIP PANEL, FINISH: BRUSHED
- 7 CONCRETE SLIP PANEL, FINISH: BRUSHED
- 8 CONCRETE SLIP PANEL, FINISH: BRUSHED
- 9 CONCRETE SLIP PANEL, FINISH: BRUSHED
- 10 CONCRETE SLIP PANEL, FINISH: BRUSHED

GENERAL NOTES - ELEVATIONS

- A. ALL PAINT COLORS TO OCCUR AT THESE COORDINATE VALUES NOTED ON DRAWING.
- B. ALL PAINT FINISHES ARE TO BE PLAT FINISH UNLESS OTHERWISE NOTED.
- C. TOP OF FINISH FLOOR FINISH.
- D. FINISH FLOOR FINISH.
- E. FINISH FLOOR FINISH.
- F. FINISH FLOOR FINISH.
- G. FINISH FLOOR FINISH.
- H. FINISH FLOOR FINISH.
- I. FINISH FLOOR FINISH.
- J. FINISH FLOOR FINISH.
- K. FINISH FLOOR FINISH.
- L. FINISH FLOOR FINISH.
- M. FINISH FLOOR FINISH.
- N. FINISH FLOOR FINISH.
- O. FINISH FLOOR FINISH.
- P. FINISH FLOOR FINISH.
- Q. FINISH FLOOR FINISH.
- R. FINISH FLOOR FINISH.
- S. FINISH FLOOR FINISH.
- T. FINISH FLOOR FINISH.
- U. FINISH FLOOR FINISH.
- V. FINISH FLOOR FINISH.
- W. FINISH FLOOR FINISH.
- X. FINISH FLOOR FINISH.
- Y. FINISH FLOOR FINISH.
- Z. FINISH FLOOR FINISH.

COLOR SCHEDULE - ELEVATIONS

KEYNOTE	COLOR	FINISH
1	CONCRETE SLIP PANEL	BRUSHED
2	PAINT	WHITE
3	CONCRETE SLIP PANEL	BRUSHED
4	CONCRETE SLIP PANEL	BRUSHED
5	CONCRETE SLIP PANEL	BRUSHED
6	CONCRETE SLIP PANEL	BRUSHED
7	CONCRETE SLIP PANEL	BRUSHED
8	CONCRETE SLIP PANEL	BRUSHED
9	CONCRETE SLIP PANEL	BRUSHED
10	CONCRETE SLIP PANEL	BRUSHED



GENERAL NOTES - FLOOR PLAN

1. FINE LINE LOCATIONS SHALL BE APPROVED PER THE ARCHITECT.
2. FLOOR SLAB SHALL BE CAST WITH TYPICAL HATCH OR APPROVED EQUAL.
3. WOODGRAIN INTERIOR CONCRETE WALLS ARE PAINTED WHITE. CEILING ARE PAINTED WHITE. DOOR CASES ARE PAINTED WHITE. DOOR TRIM IS TO BE PAINTED TO MATCH DOOR CASES.
4. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALL, GROUNDLINE OR FACE OF FINISH WALL.
5. DOOR SCHEDULES ARE TO BE DETERMINED BY THE ARCHITECT. NOTE: ALL DOORS ARE TO BE SWUNG INCLUDING CASE AND TRUCKS.
6. FINISH FLOOR FINISH SHALL BE DETERMINED BY THE ARCHITECT IN ALL CASES.
7. NO MECHANICALS IN THIS PROJECT.

KEYNOTES - FLOOR PLAN

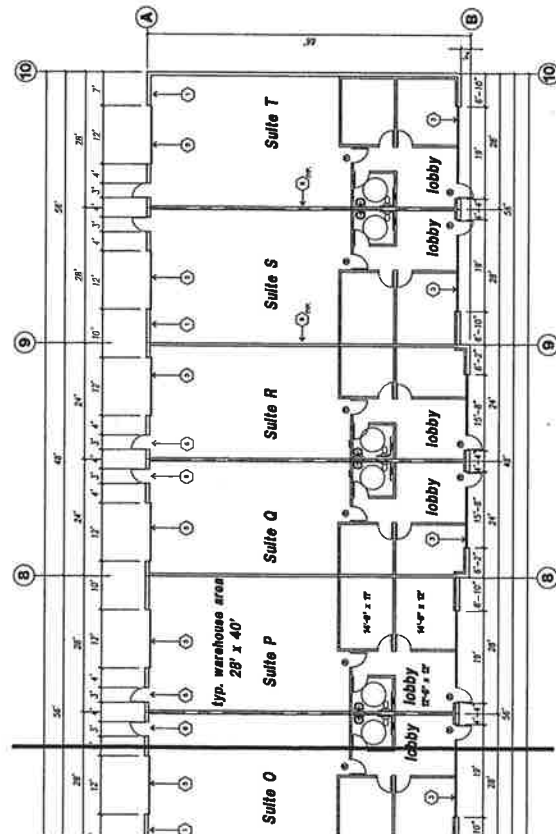
1. CONCRETE TIE-UP PANEL, SIZE "3" DRAWINGS FOR REVISIONS
2. AND STEEL REINFORCEMENTS
3. STRUCTURAL STEEL, CEILING, SEE "3" DRAWINGS FOR SIZE
4. FINISH FLOOR FINISH, SEE ELEVATIONS
5. FINISH FLOOR FINISH, SEE ELEVATIONS
6. FINISH FLOOR FINISH, SEE ELEVATIONS
7. FINISH FLOOR FINISH, SEE ELEVATIONS
8. FINISH FLOOR FINISH, SEE ELEVATIONS
9. FINISH FLOOR FINISH, SEE ELEVATIONS
10. FINISH FLOOR FINISH, SEE ELEVATIONS

**SHEET, DAB 2-1-2
PARCEL 38&39
PP 19877**

**BUILDING 2
DEFORST CIRCLE BUSINESS PARK
RIVERSIDE**

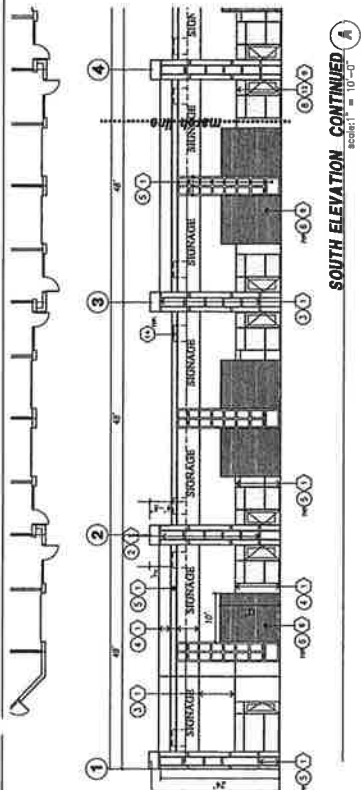
**PARCEL 38&39
RIVERSIDE COMMERCIAL INVESTORS, INC.
3665 HWY STREET, SUITE 250 RIVERSIDE, CALIFORNIA 92501
PHONE: (951) 794-1100
FAX: (951) 794-1100**

HPA Inc.
(949) 441-1770

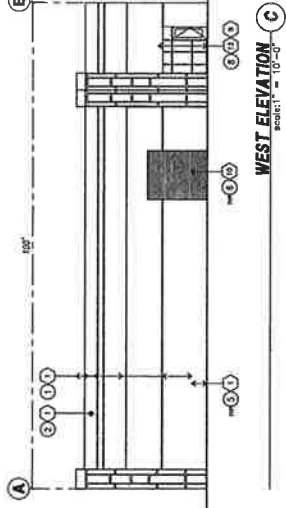


FLOOR PLAN
SCALE: 1/8" = 1'-0"

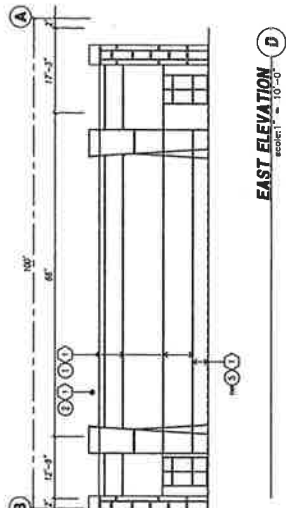




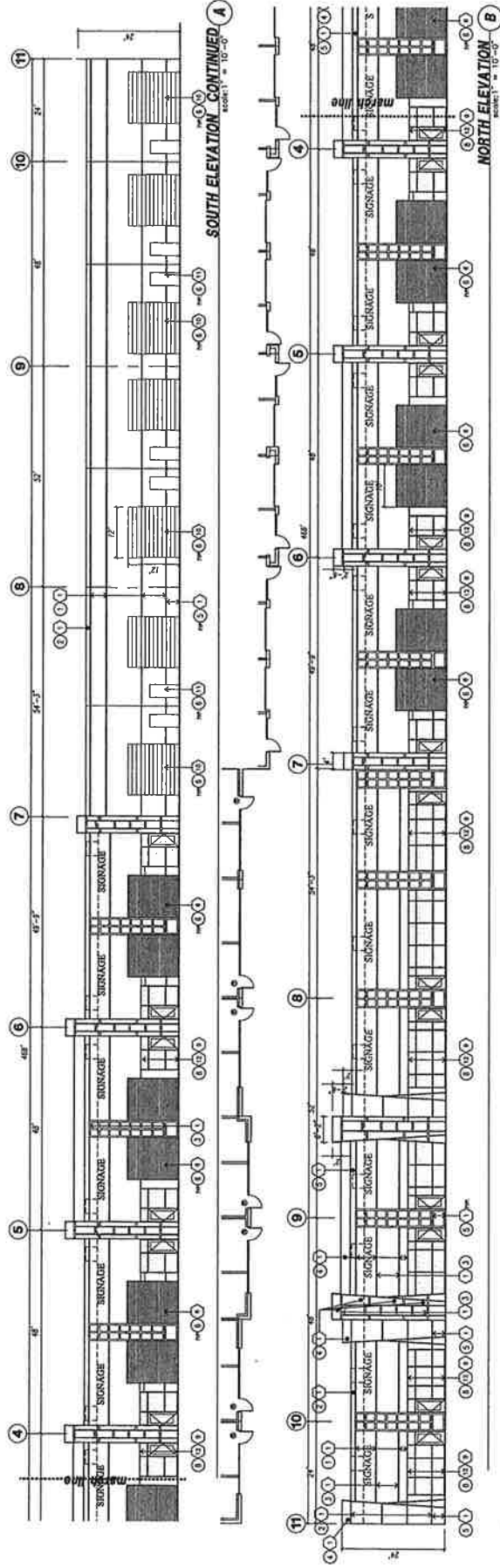
SOUTH ELEVATION CONTINUED
sheet 1 of 10-00 (A)



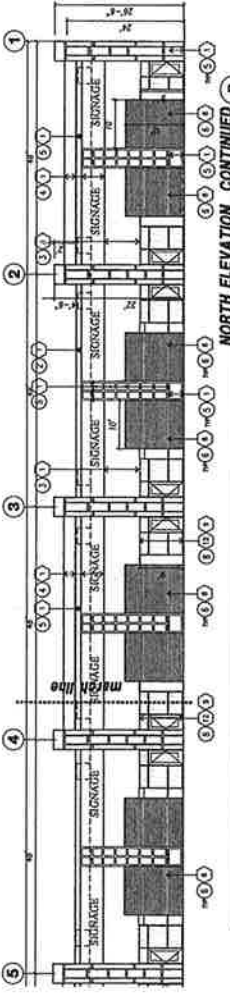
WEST ELEVATION
sheet 1 of 10-00 (C)



EAST ELEVATION
sheet 1 of 10-00 (D)



SOUTH ELEVATION CONTINUED
sheet 1 of 10-00 (A)



NORTH ELEVATION CONTINUED
sheet 1 of 10-00 (B)



NORTH ELEVATION
sheet 1 of 10-00 (B)

SHEET: DAB 3-1-3
PARCEL 38&39
PP 18877

BUILDING 3

DEFORST CIRCLE BUSINESS PARK
RIVERSIDE
PARCEL 38&39
RIVERSIDE COMMERCIAL INVESTORS, INC.
1405 MAIN STREET, SUITE 200, RIVERSIDE, CALIFORNIA 92507
REVISED 7, 2007
PP 18877

PROJECT REPRESENTATIVES
HPA INC.
1405 MAIN STREET, SUITE 200
RIVERSIDE, CALIFORNIA 92507
PHONE (951) 791-1212
FAX (951) 791-1214



TRUE NORTH
PLAN NORTH

HPA Inc.
(951) 791-1212

GENERAL NOTES - ELEVATIONS

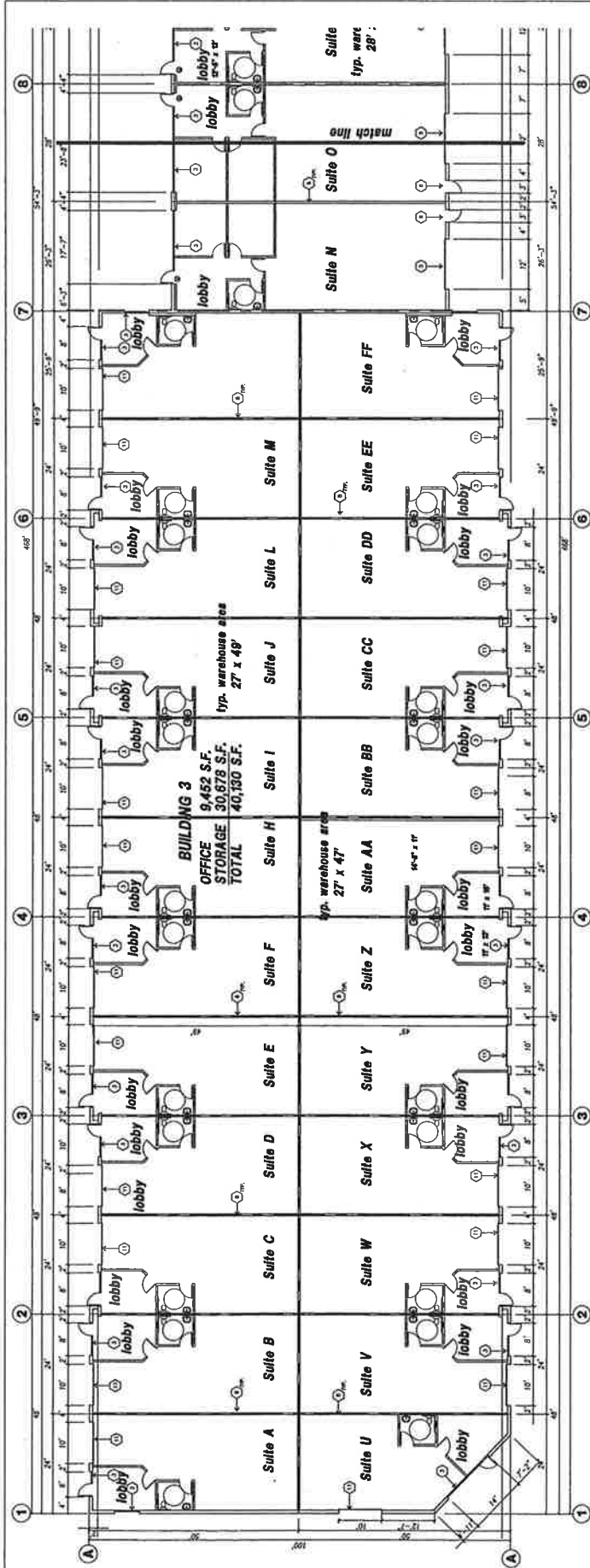
- A. ALL PAINT COLOR CHANGES TO OCCUR AT THESE CORNERS UNLESS NOTED OTHERWISE.
- B. ALL PAINT FINISHES ARE TO BE PLAIN UNLESS NOTED OTHERWISE.
- C. TEAK - TOP OF FAHMBERT - REVISION.
- D. STORMDOOR CONTROL GLASS METAL ATTACHMENTS AND LABLES SHALL BE DESIGNED TO PERMIT TO BE REMOVED FROM THE WALLS.
- E. CONSTRUCTORS SHALL VERIFY S/D DRAWINGS PRIOR TO INSTALLATION.
- F. COLOR AND FINISH SHALL BE AS SHOWN ON THE DRAWINGS UNLESS OTHERWISE NOTED.
- G. FINISHES SHALL BE AS SHOWN ON THE DRAWINGS UNLESS OTHERWISE NOTED.
- H. EXTERIOR GLAZING SHALL BE 1/2" MINIMUM UNLESS OTHERWISE NOTED.

KEYNOTES - ELEVATIONS

1. CONCRETE TILT-UP PANEL CHANGES
2. PAINT FINISH
3. CONCRETE TILT-UP PANEL
4. METAL
5. METAL
6. METAL
7. METAL
8. METAL
9. METAL
10. METAL
11. METAL

COLOR SCHEDULE - ELEVATIONS

1. CONCRETE TILT-UP PANEL
2. CONCRETE TILT-UP PANEL
3. CONCRETE TILT-UP PANEL
4. CONCRETE TILT-UP PANEL
5. CONCRETE TILT-UP PANEL
6. CONCRETE TILT-UP PANEL
7. CONCRETE TILT-UP PANEL
8. CONCRETE TILT-UP PANEL
9. CONCRETE TILT-UP PANEL
10. CONCRETE TILT-UP PANEL
11. CONCRETE TILT-UP PANEL



FLOOR PLAN

1/8" = 1'-0"



GENERAL NOTES - FLOOR PLAN

- 1. FLOOR FINISHES SHALL BE APPROVED AND SHOWN ON THE FLOOR PLAN.
- 2. FLOOR SLAB SHALL BE SIZED WITH "REAL FINISH" OR APPROVED EQUAL.
- 3. WAREHOUSE INTERIOR CONCRETE WALLS ARE PAINTED WHITE. COLUMNS ARE PAINTED WHITE. ALL WALLS IN WAREHOUSE TO BE PAINTED WHITE TO MATCH.
- 4. SLOPE FLOOR ABOVE / BELOW TO EXTERIOR AT ALL PERIMETER EXITS. SEE "S" FOR SLOPE INDICATIONS.
- 5. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL, WALL, CURB, OR FACE OF STUD WALL.
- 6. FOR DOOR TYPES AND SIZES, SEE DETAIL SHEET. NOTE ALL DOORS TO BE GLAZED UNLESS OTHERWISE NOTED.
- 7. HANG ROOF EQUIPMENT SHALL BE SCHEDULED BY WALL HANGING IN ALL CASES.
- 8. NO MEZZANINE IN THIS PROJECT.

KEYNOTES - FLOOR PLAN

- 1. CONCRETE 12" x 18" SLAB, SEE "S" DRAWINGS FOR THICKNESS AND STEEL REINFORCEMENTS.
- 2. STRUCTURAL STEEL COLUMN, SEE "S" DRAWINGS FOR SIZE AND CONNECTIONS.
- 3. TYPICAL STORMWATER SYSTEM WITH GULLY, SEE ELEVATIONS FOR SIZE, LOCATION AND CONNECTIONS.
- 4. SEE "S" DRAWINGS FOR DETAILS.
- 5. 12" x 18" TRUCK DOOR, VERTICAL LEFT, STANDARD GRADE.
- 6. 8" x 8" W/OLDFIELD METAL EXTERIOR WIND BARRIER.
- 7. 5'-0" x 5'-0" TRUCK CONCRETE EXTERIOR LANDING AND TYPICAL AT EXITS TO WAREHOUSE AREAS. PROVIDE "WALK TO HARD SURFACE" FOR FULL HEIGHT WALL.
- 8. HANG ROOF EQUIPMENT SHALL BE SCHEDULED BY WALL HANGING IN ALL CASES.
- 9. SPANDREL GLASS.
- 10. 10' x 12' TRUCK DOOR, VERTICAL LEFT, STANDARD GRADE.

**SHEET: DAB 2-1-3
PARCEL 38&39
PP 18877**

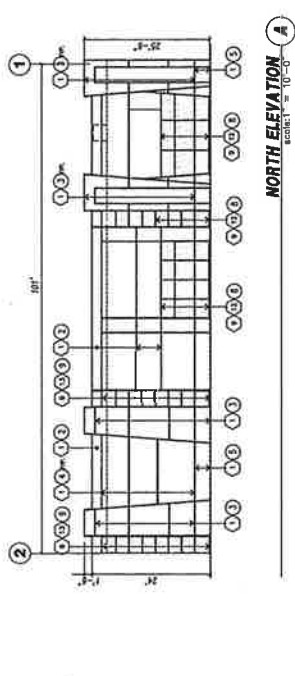
BUILDING 3

**DEFORST CIRCLE BUSINESS PARK
RIVERSIDE
RIVERSIDE COMMERCIAL INVESTORS, INC.**

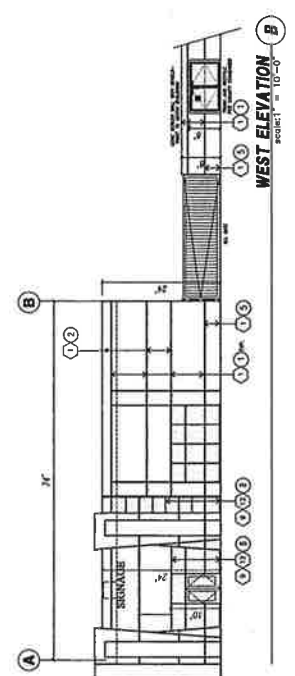
3885 84TH STREET, SUITE 200 RIVERSIDE, CALIFORNIA 92507
DRAWING NO. 200
REV. 03/20

HPA Inc.

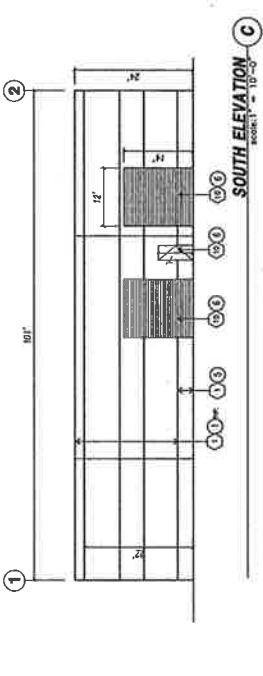
18833 Riverside Ave. Irvine, California 92612
(949) 451-1770



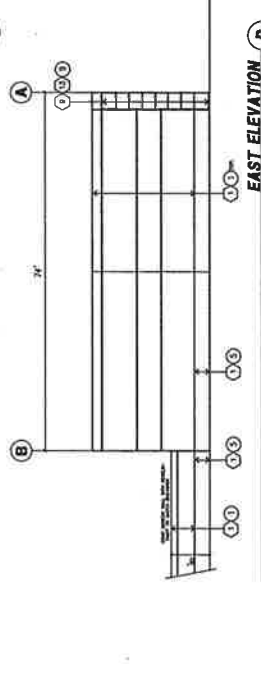
NORTH ELEVATION
SECTION 10-10



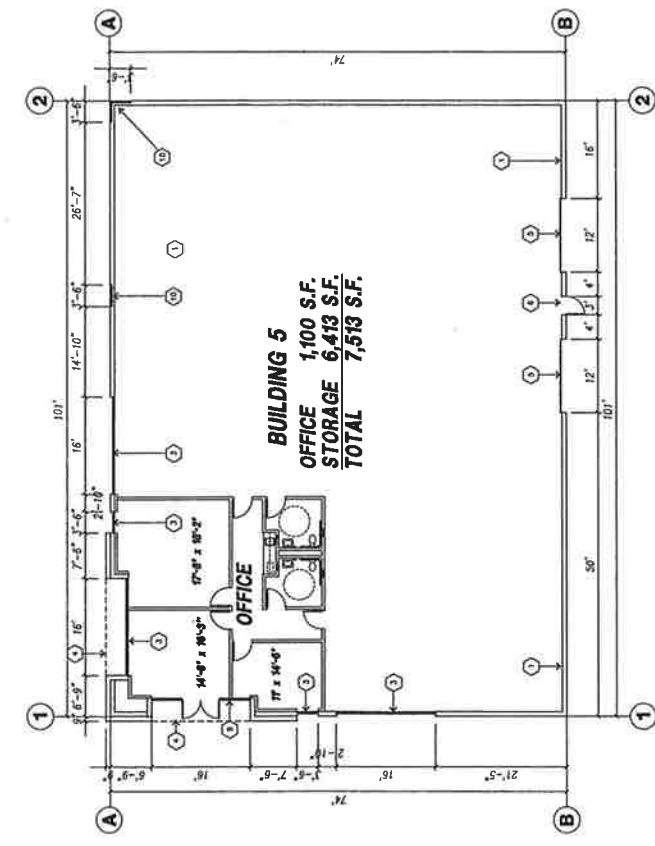
WEST ELEVATION
SECTION 10-10



SOUTH ELEVATION
SECTION 10-10



EAST ELEVATION
SECTION 10-10



FLOOR PLAN & BUILDING FOOTPRINT
SCALE: 1/8" = 1'-0"



KEYNOTES - FLOOR PLAN

- 1 CONCRETE TILT-UP PANEL, SEE '3' DRAWINGS FOR THICKNESS AND STEEL REINFORCEMENTS
- 2 PAINT, INTERIOR WALLS
- 3 STRUCTURAL STEEL COLUMN, SEE '3' DRAWINGS FOR SIZE AND TYPE
- 4 CONCRETE TILT-UP PANEL, EXTERIOR WALL, SEE ELEVATIONS FOR COLOR AND FINISH
- 5 3/4" x 3/4" x 1/2" HOLLOW METAL, EXTERIOR WALL, SEE ELEVATIONS FOR COLOR AND FINISH
- 6 1/2" x 1/2" HOLLOW METAL, EXTERIOR WALL, SEE ELEVATIONS FOR COLOR AND FINISH
- 7 1/2" x 1/2" HOLLOW METAL, EXTERIOR WALL, SEE ELEVATIONS FOR COLOR AND FINISH
- 8 1/2" x 1/2" HOLLOW METAL, EXTERIOR WALL, SEE ELEVATIONS FOR COLOR AND FINISH
- 9 HOLLOW METAL DOOR, SEE ELEVATIONS FOR FINISH AND SIZES
- 10 HOLLOW METAL DOOR, SEE ELEVATIONS FOR FINISH AND SIZES
- 11 HOLLOW METAL DOOR, SEE ELEVATIONS FOR FINISH AND SIZES
- 12 HOLLOW METAL DOOR, SEE ELEVATIONS FOR FINISH AND SIZES
- 13 HOLLOW METAL DOOR, SEE ELEVATIONS FOR FINISH AND SIZES
- 14 HOLLOW METAL DOOR, SEE ELEVATIONS FOR FINISH AND SIZES
- 15 HOLLOW METAL DOOR, SEE ELEVATIONS FOR FINISH AND SIZES
- 16 HOLLOW METAL DOOR, SEE ELEVATIONS FOR FINISH AND SIZES
- 17 HOLLOW METAL DOOR, SEE ELEVATIONS FOR FINISH AND SIZES
- 18 HOLLOW METAL DOOR, SEE ELEVATIONS FOR FINISH AND SIZES
- 19 HOLLOW METAL DOOR, SEE ELEVATIONS FOR FINISH AND SIZES
- 20 HOLLOW METAL DOOR, SEE ELEVATIONS FOR FINISH AND SIZES

GENERAL NOTES - FLOOR PLAN

- A. FINE LINE LOCATIONS SHALL BE APPROVED FOR THE CONTRACTOR.
- B. FLOOR SLAB SHALL BE SEALED WITH 'SEAL HANBY' OR APPROVED EQUAL.
- C. INTERIOR CONCRETE WALLS ARE TO BE PAINTED WHITE. EXTERIOR WALLS ARE TO BE PAINTED WITH 'EMULSION' OR APPROVED EQUAL. TO BE PAINTED WITH 'EMULSION' OR APPROVED EQUAL.
- D. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL, WALL, COLUMN, OR FACE OF STUD WALL.
- E. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL, WALL, COLUMN, OR FACE OF STUD WALL.
- F. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS.
- G. FOR DOOR TYPES AND SIZES, SEE DETAIL SHEET. NOTE: ALL DOORS FOR DOOR SCHEDULE ARE FINISH SCHEDULE.
- H. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS.
- I. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS.
- J. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS.
- K. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS.
- L. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS.
- M. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS.
- N. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS.
- O. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS.
- P. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS.
- Q. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS.
- R. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS.
- S. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS.
- T. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS.
- U. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS.
- V. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS.
- W. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS.
- X. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS.
- Y. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS.
- Z. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS.

KEYNOTES - ELEVATIONS

- 1 CONCRETE TILT-UP PANEL, PAINTED
- 2 PAINT, EXTERIOR WALLS
- 3 PAINT, EXTERIOR WALLS
- 4 PAINT, EXTERIOR WALLS
- 5 PAINT, EXTERIOR WALLS
- 6 PAINT, EXTERIOR WALLS
- 7 PAINT, EXTERIOR WALLS
- 8 PAINT, EXTERIOR WALLS
- 9 PAINT, EXTERIOR WALLS
- 10 PAINT, EXTERIOR WALLS
- 11 PAINT, EXTERIOR WALLS
- 12 PAINT, EXTERIOR WALLS
- 13 PAINT, EXTERIOR WALLS
- 14 PAINT, EXTERIOR WALLS
- 15 PAINT, EXTERIOR WALLS
- 16 PAINT, EXTERIOR WALLS
- 17 PAINT, EXTERIOR WALLS
- 18 PAINT, EXTERIOR WALLS
- 19 PAINT, EXTERIOR WALLS
- 20 PAINT, EXTERIOR WALLS

GENERAL NOTES - ELEVATIONS

- A. ALL PAINT FINISHES ARE TO BE PAINTED UNLESS NOTED OTHERWISE.
- B. ALL PAINT FINISHES ARE TO BE PAINTED UNLESS NOTED OTHERWISE.
- C. TOP OF FINISH FLOOR FINISH.
- D. FINISH FLOOR FINISH.
- E. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS AND LABELS.
- F. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS AND LABELS.
- G. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS AND LABELS.
- H. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS AND LABELS.
- I. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS AND LABELS.
- J. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS AND LABELS.
- K. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS AND LABELS.
- L. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS AND LABELS.
- M. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS AND LABELS.
- N. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS AND LABELS.
- O. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS AND LABELS.
- P. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS AND LABELS.
- Q. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS AND LABELS.
- R. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS AND LABELS.
- S. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS AND LABELS.
- T. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS AND LABELS.
- U. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS AND LABELS.
- V. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS AND LABELS.
- W. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS AND LABELS.
- X. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS AND LABELS.
- Y. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS AND LABELS.
- Z. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS AND LABELS.

COLOR SCHEDULE - ELEVATIONS

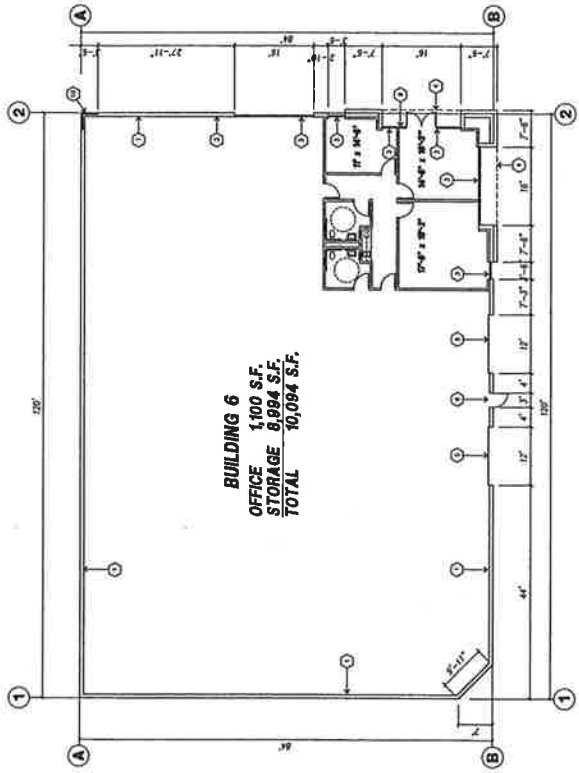
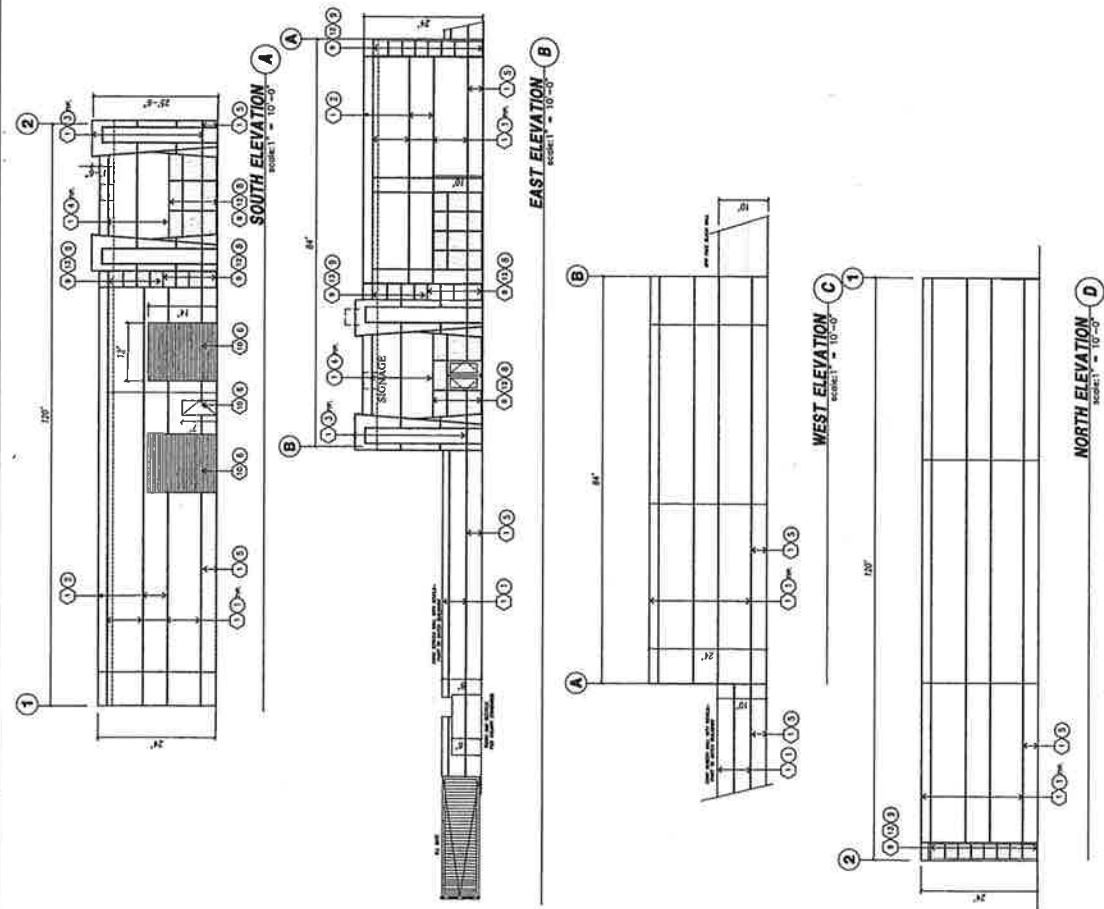
1	CONCRETE TILT-UP PANEL	PAINT FINISH, INTERIOR WALL, SEE '3'
2	CONCRETE TILT-UP PANEL	PAINT FINISH, INTERIOR WALL, SEE '3'
3	CONCRETE TILT-UP PANEL	PAINT FINISH, INTERIOR WALL, SEE '3'
4	CONCRETE TILT-UP PANEL	PAINT FINISH, INTERIOR WALL, SEE '3'
5	CONCRETE TILT-UP PANEL	PAINT FINISH, INTERIOR WALL, SEE '3'
6	CONCRETE TILT-UP PANEL	PAINT FINISH, INTERIOR WALL, SEE '3'
7	CONCRETE TILT-UP PANEL	PAINT FINISH, INTERIOR WALL, SEE '3'
8	CONCRETE TILT-UP PANEL	PAINT FINISH, INTERIOR WALL, SEE '3'
9	CONCRETE TILT-UP PANEL	PAINT FINISH, INTERIOR WALL, SEE '3'
10	CONCRETE TILT-UP PANEL	PAINT FINISH, INTERIOR WALL, SEE '3'
11	CONCRETE TILT-UP PANEL	PAINT FINISH, INTERIOR WALL, SEE '3'
12	CONCRETE TILT-UP PANEL	PAINT FINISH, INTERIOR WALL, SEE '3'
13	CONCRETE TILT-UP PANEL	PAINT FINISH, INTERIOR WALL, SEE '3'
14	CONCRETE TILT-UP PANEL	PAINT FINISH, INTERIOR WALL, SEE '3'
15	CONCRETE TILT-UP PANEL	PAINT FINISH, INTERIOR WALL, SEE '3'
16	CONCRETE TILT-UP PANEL	PAINT FINISH, INTERIOR WALL, SEE '3'
17	CONCRETE TILT-UP PANEL	PAINT FINISH, INTERIOR WALL, SEE '3'
18	CONCRETE TILT-UP PANEL	PAINT FINISH, INTERIOR WALL, SEE '3'
19	CONCRETE TILT-UP PANEL	PAINT FINISH, INTERIOR WALL, SEE '3'
20	CONCRETE TILT-UP PANEL	PAINT FINISH, INTERIOR WALL, SEE '3'

SHEET: DAB 2-1-5
PARCEL 38&39
PP 18877

BUILDING 5

DEFORST CIRCLE BUSINESS PARK
RIVERSIDE
PARCEL 38&39
RIVERSIDE COMMERCIAL INVESTORS, INC.
300 BAY STREET, SUITE 210, ANNEBORO, CONNECTICUT 06821
SEPTEMBER 1, 2017

HPA Inc.
(860) 383-1770



BUILDING 6
 OFFICE STORAGE 1,100 S.F.
 OFFICE STORAGE 8,994 S.F.
 TOTAL 10,094 S.F.

FLOOR PLAN & BUILDING FOOTPRINT

SCALE: 1" = 8'-0"



KEYNOTES - FLOOR PLAN

1. CONCRETE SLAB PANELS, SET "3" DIMENSIONS FOR THICKNESS AND STEEL REINFORCEMENT.
2. CONCRETE SLAB SHALL BE CAST WITH "20" MIN. OR EQUIVALENT EQUAL.
3. MASONRY ABOVE CONCRETE WALLS AND PAINTED MASONRY WALLS SHALL BE CONFORM TO ALL CITY, STATE AND FEDERAL REQUIREMENTS TO RECEIVE PERMITS.
4. SLOPE FLOOR STEPS 1/2" TO EXTERIOR AT ALL PERSONAL ENITS, SET "3" DIMENSIONS FOR FLOOR STEPS LOCAL.
5. FLOOR FINISH SHALL BE IN THE FACE OF CONCRETE PANEL WALL, CONCRETE OR PAVE OF STAB SLAB.
6. SEE THE DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES.
7. 3" x 7" HOLLOW METAL EXTERIOR MAN DOOR.
8. 5'-0" x 7'-0" HOLLOW METAL EXTERIOR LANDING AND TYPICAL AT EXTERIOR DOOR AND LANDING SHALL BE TYPICAL AT EXTERIOR DOOR AND LANDING.
9. ALL DOOR SCHEDULES AND FINISH FINISHES SHALL BE AS SHOWN ON THE ARCHITECTURAL SCHEDULES AND FINISH SCHEDULES.
10. ALL DOOR SCHEDULES AND FINISH FINISHES SHALL BE AS SHOWN ON THE ARCHITECTURAL SCHEDULES AND FINISH SCHEDULES.
11. UNDESIGNATED ENTRY SIGN.
12. SPANDED GLASS.

GENERAL NOTES - FLOOR PLAN

1. PER ALL APPLICABLE CODES AND REGULATIONS.
2. FLOOR SLAB SHALL BE CAST WITH "20" MIN. OR EQUIVALENT EQUAL.
3. MASONRY ABOVE CONCRETE WALLS AND PAINTED MASONRY WALLS SHALL BE CONFORM TO ALL CITY, STATE AND FEDERAL REQUIREMENTS TO RECEIVE PERMITS.
4. SLOPE FLOOR STEPS 1/2" TO EXTERIOR AT ALL PERSONAL ENITS, SET "3" DIMENSIONS FOR FLOOR STEPS LOCAL.
5. FLOOR FINISH SHALL BE IN THE FACE OF CONCRETE PANEL WALL, CONCRETE OR PAVE OF STAB SLAB.
6. SEE THE DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES.
7. 3" x 7" HOLLOW METAL EXTERIOR MAN DOOR.
8. 5'-0" x 7'-0" HOLLOW METAL EXTERIOR LANDING AND TYPICAL AT EXTERIOR DOOR AND LANDING SHALL BE TYPICAL AT EXTERIOR DOOR AND LANDING.
9. ALL DOOR SCHEDULES AND FINISH FINISHES SHALL BE AS SHOWN ON THE ARCHITECTURAL SCHEDULES AND FINISH SCHEDULES.
10. ALL DOOR SCHEDULES AND FINISH FINISHES SHALL BE AS SHOWN ON THE ARCHITECTURAL SCHEDULES AND FINISH SCHEDULES.
11. UNDESIGNATED ENTRY SIGN.
12. SPANDED GLASS.

KEYNOTES - ELEVATIONS

1. CONCRETE SLAB PANELS, SET "3" DIMENSIONS FOR THICKNESS AND STEEL REINFORCEMENT.
2. CONCRETE SLAB SHALL BE CAST WITH "20" MIN. OR EQUIVALENT EQUAL.
3. MASONRY ABOVE CONCRETE WALLS AND PAINTED MASONRY WALLS SHALL BE CONFORM TO ALL CITY, STATE AND FEDERAL REQUIREMENTS TO RECEIVE PERMITS.
4. SLOPE FLOOR STEPS 1/2" TO EXTERIOR AT ALL PERSONAL ENITS, SET "3" DIMENSIONS FOR FLOOR STEPS LOCAL.
5. FLOOR FINISH SHALL BE IN THE FACE OF CONCRETE PANEL WALL, CONCRETE OR PAVE OF STAB SLAB.
6. SEE THE DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES.
7. 3" x 7" HOLLOW METAL EXTERIOR MAN DOOR.
8. 5'-0" x 7'-0" HOLLOW METAL EXTERIOR LANDING AND TYPICAL AT EXTERIOR DOOR AND LANDING SHALL BE TYPICAL AT EXTERIOR DOOR AND LANDING.
9. ALL DOOR SCHEDULES AND FINISH FINISHES SHALL BE AS SHOWN ON THE ARCHITECTURAL SCHEDULES AND FINISH SCHEDULES.
10. ALL DOOR SCHEDULES AND FINISH FINISHES SHALL BE AS SHOWN ON THE ARCHITECTURAL SCHEDULES AND FINISH SCHEDULES.
11. UNDESIGNATED ENTRY SIGN.
12. SPANDED GLASS.

GENERAL NOTES - ELEVATIONS

- A. ALL PAINT COLOR CHANGES TO OCCUR AT THESE CORNERS UNLESS NOTED OTHERWISE.
- B. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
- C. TOP OF PAINT - ELEVATION.
- D. FF - FINISH FLOOR ELEVATION.
- E. STORMDOOR CONSTRUCTION SHALL BE METAL ATTACHMENTS AND LATCHES SHALL BE AS SHOWN ON THE ARCHITECTURAL SCHEDULES AND FINISH SCHEDULES.
- F. CONTRACTOR SHALL VERIFY THAT ONE CONCRETE PANEL, BY THE NOTED CORNER JOINTMENT AND CHASE SHALL APPEAR FROM THE EXTERIOR. ALL DOOR SCHEDULES AND FINISH FINISHES SHALL BE AS SHOWN ON THE ARCHITECTURAL SCHEDULES AND FINISH SCHEDULES.
- G. ALL DOOR SCHEDULES AND FINISH FINISHES SHALL BE AS SHOWN ON THE ARCHITECTURAL SCHEDULES AND FINISH SCHEDULES.
- H. UNDESIGNATED ENTRY SIGN.
- I. SPANDED GLASS.

COLOR SCHEDULE - ELEVATIONS

ITEM	DESCRIPTION	COLOR
1	CONCRETE SLAB PANELS	GRAY
2	CONCRETE SLAB PANELS	GRAY
3	CONCRETE SLAB PANELS	GRAY
4	CONCRETE SLAB PANELS	GRAY
5	CONCRETE SLAB PANELS	GRAY
6	CONCRETE SLAB PANELS	GRAY
7	CONCRETE SLAB PANELS	GRAY
8	CONCRETE SLAB PANELS	GRAY
9	CONCRETE SLAB PANELS	GRAY
10	CONCRETE SLAB PANELS	GRAY
11	CONCRETE SLAB PANELS	GRAY
12	CONCRETE SLAB PANELS	GRAY

SHEET: DAB 2-1-6
PARCEL 38&39
PP 18877
BUILDING 6

DEFORST CIRCLE BUSINESS PARK
RIVERSIDE
PARCEL 38&39
RIVERSIDE COMMERCIAL INVESTORS, INC.
 385 94th STREET, SUITE 250, RIVERSIDE, CALIFORNIA 92501
 SHEET 7 OF 30

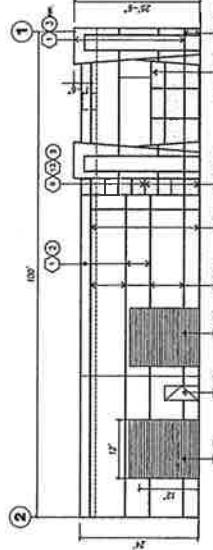
HPA Inc.
 19037 Sherman Ave, Irvine, California 92612
 (949) 852-1775

KEYNOTES - FLOOR PLAN

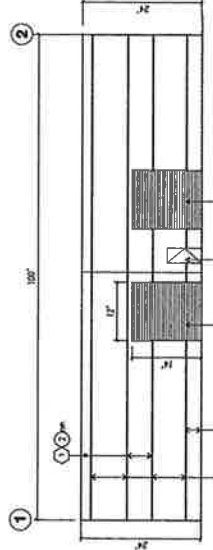
- 1. ALL DIMENSIONS UNLESS NOTED OTHERWISE.
- 2. ALL DIMENSIONS UNLESS NOTED OTHERWISE.
- 3. ALL DIMENSIONS UNLESS NOTED OTHERWISE.
- 4. ALL DIMENSIONS UNLESS NOTED OTHERWISE.
- 5. ALL DIMENSIONS UNLESS NOTED OTHERWISE.
- 6. ALL DIMENSIONS UNLESS NOTED OTHERWISE.
- 7. ALL DIMENSIONS UNLESS NOTED OTHERWISE.
- 8. ALL DIMENSIONS UNLESS NOTED OTHERWISE.
- 9. ALL DIMENSIONS UNLESS NOTED OTHERWISE.
- 10. ALL DIMENSIONS UNLESS NOTED OTHERWISE.
- 11. ALL DIMENSIONS UNLESS NOTED OTHERWISE.
- 12. ALL DIMENSIONS UNLESS NOTED OTHERWISE.
- 13. ALL DIMENSIONS UNLESS NOTED OTHERWISE.
- 14. ALL DIMENSIONS UNLESS NOTED OTHERWISE.
- 15. ALL DIMENSIONS UNLESS NOTED OTHERWISE.

GENERAL NOTES - FLOOR PLAN

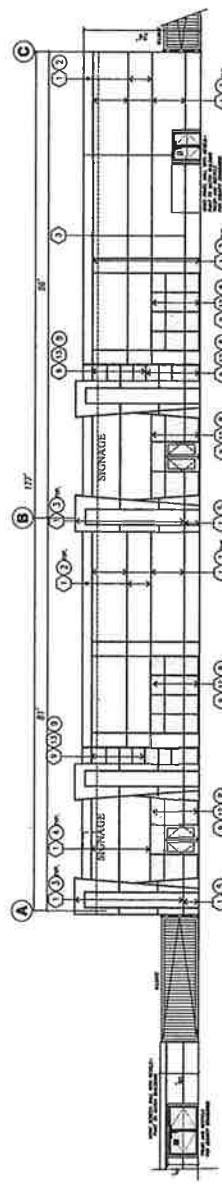
- A. FINE HOLE LOCATIONS SHALL BE APPROVED FOR THE DEPARTMENT.
- B. FLOOR SLAB SHALL BE CAST WITH 2" MAX. HOLE OR APPROVED CORAL.
- C. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALL, COLUMN OR FACE OF STD. WALL.
- D. SLOPE DOWN 1/8" TO 1" TO EXTERIOR AT ALL PERSONAL EXITS. SEE "S".
- E. SEE CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES.
- F. SEE CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES.
- G. PER DOOR THRESHOLD AND SET SET AS SPEC. NOTE: ALL DOORS.
- H. CONTRACTOR TO PROTECT AND MAINTAIN FLOOR SLAB CLEAN. ALL COMPONENTS TO BE INSTALLED AND FINISHED WITHIN THE SAME PERIOD OF TIME.
- I. HANG DOOR EQUIPMENT SHALL BE SUPPORTED BY WALL FINISHES AT ALL CASES.



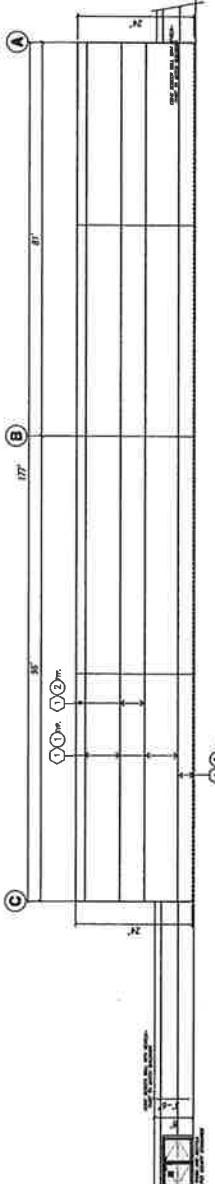
NORTH ELEVATION
SCALE 1/8" = 1'-0"



SOUTH ELEVATION
SCALE 1/8" = 1'-0"



WEST ELEVATION
SCALE 1/8" = 1'-0"



EAST ELEVATION
SCALE 1/8" = 1'-0"

KEYNOTES - ELEVATIONS

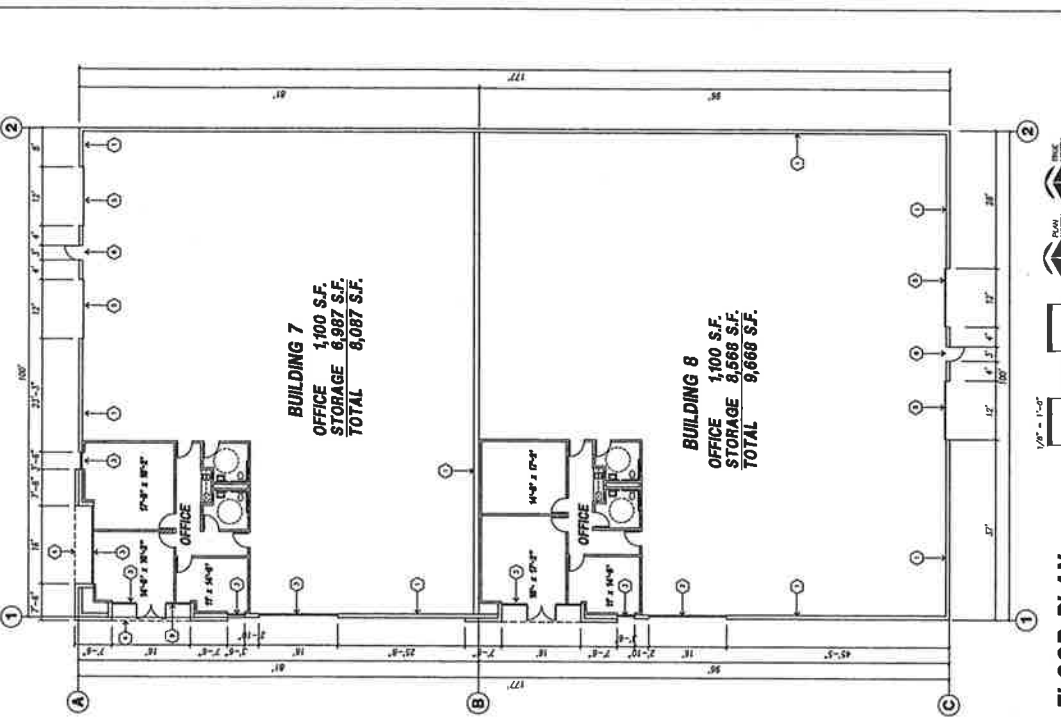
- 1. CONCRETE TILT-UP PANELS
- 2. PAINT FINISH
- 3. PAINT FINISH
- 4. PAINT FINISH
- 5. PAINT FINISH
- 6. CONCRETE TILT-UP PANELS
- 7. CONCRETE TILT-UP PANELS
- 8. CONCRETE TILT-UP PANELS
- 9. CONCRETE TILT-UP PANELS
- 10. CONCRETE TILT-UP PANELS
- 11. CONCRETE TILT-UP PANELS
- 12. CONCRETE TILT-UP PANELS
- 13. CONCRETE TILT-UP PANELS
- 14. CONCRETE TILT-UP PANELS
- 15. CONCRETE TILT-UP PANELS
- 16. CONCRETE TILT-UP PANELS
- 17. CONCRETE TILT-UP PANELS
- 18. CONCRETE TILT-UP PANELS
- 19. CONCRETE TILT-UP PANELS
- 20. CONCRETE TILT-UP PANELS

GENERAL NOTES - ELEVATIONS

- A. ALL PAINT FINISHES TO BE PAINT FINISH UNLESS NOTED OTHERWISE.
- B. ALL PAINT FINISHES ARE TO BE PAINT UNLESS NOTED OTHERWISE.
- C. PAINT FINISH TO BE PAINT FINISH UNLESS NOTED OTHERWISE.
- D. PAINT FINISH TO BE PAINT FINISH UNLESS NOTED OTHERWISE.
- E. STAIRWELL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CODES AND LOCAL ORDINANCES. ALL STAIRS SHALL BE CONCRETE TILT-UP PANELS UNLESS OTHERWISE NOTED.
- F. CONCRETE TILT-UP PANELS SHALL BE CONCRETE TILT-UP PANELS UNLESS OTHERWISE NOTED.
- G. ALL DOOR THRESHOLDS SHALL BE CONCRETE TILT-UP PANELS UNLESS OTHERWISE NOTED.
- H. ALL DOOR THRESHOLDS SHALL BE CONCRETE TILT-UP PANELS UNLESS OTHERWISE NOTED.
- I. ALL DOOR THRESHOLDS SHALL BE CONCRETE TILT-UP PANELS UNLESS OTHERWISE NOTED.
- J. ALL DOOR THRESHOLDS SHALL BE CONCRETE TILT-UP PANELS UNLESS OTHERWISE NOTED.
- K. ALL DOOR THRESHOLDS SHALL BE CONCRETE TILT-UP PANELS UNLESS OTHERWISE NOTED.
- L. ALL DOOR THRESHOLDS SHALL BE CONCRETE TILT-UP PANELS UNLESS OTHERWISE NOTED.
- M. ALL DOOR THRESHOLDS SHALL BE CONCRETE TILT-UP PANELS UNLESS OTHERWISE NOTED.
- N. ALL DOOR THRESHOLDS SHALL BE CONCRETE TILT-UP PANELS UNLESS OTHERWISE NOTED.
- O. ALL DOOR THRESHOLDS SHALL BE CONCRETE TILT-UP PANELS UNLESS OTHERWISE NOTED.
- P. ALL DOOR THRESHOLDS SHALL BE CONCRETE TILT-UP PANELS UNLESS OTHERWISE NOTED.
- Q. ALL DOOR THRESHOLDS SHALL BE CONCRETE TILT-UP PANELS UNLESS OTHERWISE NOTED.
- R. ALL DOOR THRESHOLDS SHALL BE CONCRETE TILT-UP PANELS UNLESS OTHERWISE NOTED.
- S. ALL DOOR THRESHOLDS SHALL BE CONCRETE TILT-UP PANELS UNLESS OTHERWISE NOTED.
- T. ALL DOOR THRESHOLDS SHALL BE CONCRETE TILT-UP PANELS UNLESS OTHERWISE NOTED.
- U. ALL DOOR THRESHOLDS SHALL BE CONCRETE TILT-UP PANELS UNLESS OTHERWISE NOTED.
- V. ALL DOOR THRESHOLDS SHALL BE CONCRETE TILT-UP PANELS UNLESS OTHERWISE NOTED.
- W. ALL DOOR THRESHOLDS SHALL BE CONCRETE TILT-UP PANELS UNLESS OTHERWISE NOTED.
- X. ALL DOOR THRESHOLDS SHALL BE CONCRETE TILT-UP PANELS UNLESS OTHERWISE NOTED.
- Y. ALL DOOR THRESHOLDS SHALL BE CONCRETE TILT-UP PANELS UNLESS OTHERWISE NOTED.
- Z. ALL DOOR THRESHOLDS SHALL BE CONCRETE TILT-UP PANELS UNLESS OTHERWISE NOTED.

COLOR SCHEDULE - ELEVATIONS

1	CONCRETE TILT-UP PANEL	PAINT FINISH UNLESS NOTED OTHERWISE
2	CONCRETE TILT-UP PANEL	PAINT FINISH UNLESS NOTED OTHERWISE
3	CONCRETE TILT-UP PANEL	PAINT FINISH UNLESS NOTED OTHERWISE
4	CONCRETE TILT-UP PANEL	PAINT FINISH UNLESS NOTED OTHERWISE
5	CONCRETE TILT-UP PANEL	PAINT FINISH UNLESS NOTED OTHERWISE
6	CONCRETE TILT-UP PANEL	PAINT FINISH UNLESS NOTED OTHERWISE
7	CONCRETE TILT-UP PANEL	PAINT FINISH UNLESS NOTED OTHERWISE
8	CONCRETE TILT-UP PANEL	PAINT FINISH UNLESS NOTED OTHERWISE
9	CONCRETE TILT-UP PANEL	PAINT FINISH UNLESS NOTED OTHERWISE
10	CONCRETE TILT-UP PANEL	PAINT FINISH UNLESS NOTED OTHERWISE
11	CONCRETE TILT-UP PANEL	PAINT FINISH UNLESS NOTED OTHERWISE
12	CONCRETE TILT-UP PANEL	PAINT FINISH UNLESS NOTED OTHERWISE
13	CONCRETE TILT-UP PANEL	PAINT FINISH UNLESS NOTED OTHERWISE
14	CONCRETE TILT-UP PANEL	PAINT FINISH UNLESS NOTED OTHERWISE
15	CONCRETE TILT-UP PANEL	PAINT FINISH UNLESS NOTED OTHERWISE
16	CONCRETE TILT-UP PANEL	PAINT FINISH UNLESS NOTED OTHERWISE
17	CONCRETE TILT-UP PANEL	PAINT FINISH UNLESS NOTED OTHERWISE
18	CONCRETE TILT-UP PANEL	PAINT FINISH UNLESS NOTED OTHERWISE
19	CONCRETE TILT-UP PANEL	PAINT FINISH UNLESS NOTED OTHERWISE
20	CONCRETE TILT-UP PANEL	PAINT FINISH UNLESS NOTED OTHERWISE



FLOOR PLAN
SCALE 1/8" = 1'-0"

BUILDING 7
OFFICE 1,100 S.F.
STORAGE 6,987 S.F.
TOTAL 8,087 S.F.

BUILDING 8
OFFICE 1,100 S.F.
STORAGE 8,588 S.F.
TOTAL 9,688 S.F.

SHEET: DAB 2-1-748
PARCEL: 38&39
PP 18877

BUILDING 7&8

DEFORST CIRCLE BUSINESS PARK
RIVERSIDE PARCEL 38&39

RIVERSIDE COMMERCIAL INVESTORS, INC.

HPA Inc.

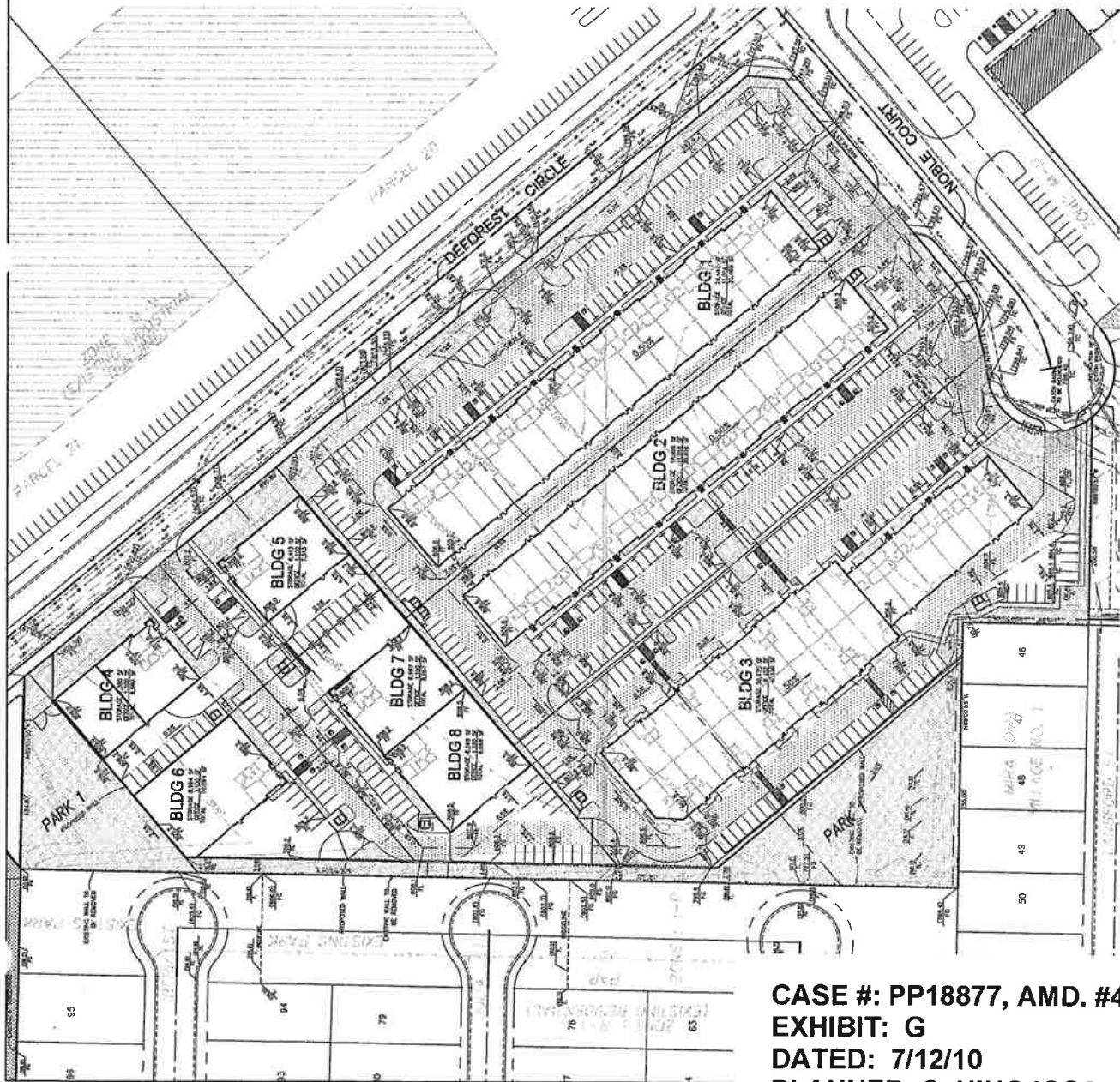
3850 VAN TRINITY, SUITE 220 RIVERSIDE, CALIFORNIA 92501

OWNER / ARCHITECT:
2840 VAN TRINITY, SUITE 220
RIVERSIDE, CALIFORNIA 92501
PHONE: (951) 794-1139
FAX: (951) 794-1139

DATE: OCTOBER 7, 2007

9430 BCI 1770

CONCEPTUAL GRADING PLAN



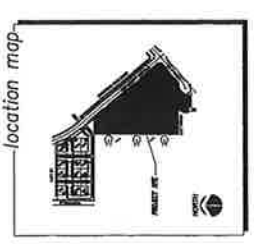
COUNTY OF RIVERSIDE MIRA LOMA COMMERCE CENTER PARCEL 36-39 CONCEPTUAL GRADING PLAN		1 of 1 sheets
PROJECT NO.: 2277-2000 SHEET NO.: 36-39	DATE: N/A REVISION: N/A	PROJECT MANAGER: N/A DATE: SEPTEMBER 2007
UNDERGROUND SERVICE ALERT CALL TOLL FREE 1-800-227-2000 FOR SERVICE AREA MAPS, SEE 36-39		
APPROVED BY: _____ DATE: _____ P.L.C. NO. _____		
FOR S.E. REAL ESTATE MANAGEMENT INC. 1818 W. 18th ST. JERICHO, CA 92515		

CASE #: PP18877, AMD. #4
EXHIBIT: G
DATED: 7/12/10
PLANNER: C. HINOJOSA

project information

Owner / Applicant
 Applicant's Representative
 PLOT PLAN # 18877
 Assessor's Parcel Number
 PARCEL MAP NO. 22385
 PARCELS 38-39
 Project Zoning

DEFOREST BUSINESS PARK
 DAB LOT 38&39



1 Existing Bldg.



2 DEFOREST CT.

PLANTING LEGEND	
SYMBOL	DESCRIPTION
(Symbol)	1/4" Tree
(Symbol)	1/2" Tree
(Symbol)	3/4" Tree
(Symbol)	1" Tree
(Symbol)	2" Tree
(Symbol)	4" Tree
(Symbol)	6" Tree
(Symbol)	8" Tree
(Symbol)	10" Tree
(Symbol)	12" Tree
(Symbol)	14" Tree
(Symbol)	16" Tree
(Symbol)	18" Tree
(Symbol)	20" Tree
(Symbol)	24" Tree
(Symbol)	30" Tree
(Symbol)	36" Tree
(Symbol)	42" Tree
(Symbol)	48" Tree
(Symbol)	54" Tree
(Symbol)	60" Tree
(Symbol)	66" Tree
(Symbol)	72" Tree
(Symbol)	78" Tree
(Symbol)	84" Tree
(Symbol)	90" Tree
(Symbol)	96" Tree
(Symbol)	102" Tree
(Symbol)	108" Tree
(Symbol)	114" Tree
(Symbol)	120" Tree
(Symbol)	126" Tree
(Symbol)	132" Tree
(Symbol)	138" Tree
(Symbol)	144" Tree
(Symbol)	150" Tree
(Symbol)	156" Tree
(Symbol)	162" Tree
(Symbol)	168" Tree
(Symbol)	174" Tree
(Symbol)	180" Tree
(Symbol)	186" Tree
(Symbol)	192" Tree
(Symbol)	198" Tree
(Symbol)	204" Tree
(Symbol)	210" Tree
(Symbol)	216" Tree
(Symbol)	222" Tree
(Symbol)	228" Tree
(Symbol)	234" Tree
(Symbol)	240" Tree
(Symbol)	246" Tree
(Symbol)	252" Tree
(Symbol)	258" Tree
(Symbol)	264" Tree
(Symbol)	270" Tree
(Symbol)	276" Tree
(Symbol)	282" Tree
(Symbol)	288" Tree
(Symbol)	294" Tree
(Symbol)	300" Tree
(Symbol)	306" Tree
(Symbol)	312" Tree
(Symbol)	318" Tree
(Symbol)	324" Tree
(Symbol)	330" Tree
(Symbol)	336" Tree
(Symbol)	342" Tree
(Symbol)	348" Tree
(Symbol)	354" Tree
(Symbol)	360" Tree
(Symbol)	366" Tree
(Symbol)	372" Tree
(Symbol)	378" Tree
(Symbol)	384" Tree
(Symbol)	390" Tree
(Symbol)	396" Tree
(Symbol)	402" Tree
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(Symbol)	474" Tree
(Symbol)	480" Tree
(Symbol)	486" Tree
(Symbol)	492" Tree
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(Symbol)	510" Tree
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(Symbol)	522" Tree
(Symbol)	528" Tree
(Symbol)	534" Tree
(Symbol)	540" Tree
(Symbol)	546" Tree
(Symbol)	552" Tree
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(Symbol)	564" Tree
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(Symbol)	576" Tree
(Symbol)	582" Tree
(Symbol)	588" Tree
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(Symbol)	600" Tree
(Symbol)	606" Tree
(Symbol)	612" Tree
(Symbol)	618" Tree
(Symbol)	624" Tree
(Symbol)	630" Tree
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(Symbol)	642" Tree
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(Symbol)	654" Tree
(Symbol)	660" Tree
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(Symbol)	678" Tree
(Symbol)	684" Tree
(Symbol)	690" Tree
(Symbol)	696" Tree
(Symbol)	702" Tree
(Symbol)	708" Tree
(Symbol)	714" Tree
(Symbol)	720" Tree
(Symbol)	726" Tree
(Symbol)	732" Tree
(Symbol)	738" Tree
(Symbol)	744" Tree
(Symbol)	750" Tree
(Symbol)	756" Tree
(Symbol)	762" Tree
(Symbol)	768" Tree
(Symbol)	774" Tree
(Symbol)	780" Tree
(Symbol)	786" Tree
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(Symbol)	804" Tree
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(Symbol)	924" Tree
(Symbol)	930" Tree
(Symbol)	936" Tree
(Symbol)	942" Tree
(Symbol)	948" Tree
(Symbol)	954" Tree
(Symbol)	960" Tree
(Symbol)	966" Tree
(Symbol)	972" Tree
(Symbol)	978" Tree
(Symbol)	984" Tree
(Symbol)	990" Tree
(Symbol)	996" Tree
(Symbol)	1002" Tree

1. ALL PLANTING SHALL BE ACCORDING TO THE PLANTING LEGEND AND THE NOTES HEREON.
 2. ALL PLANTING SHALL BE ACCORDING TO THE PLANTING LEGEND AND THE NOTES HEREON.
 3. ALL PLANTING SHALL BE ACCORDING TO THE PLANTING LEGEND AND THE NOTES HEREON.
 4. ALL PLANTING SHALL BE ACCORDING TO THE PLANTING LEGEND AND THE NOTES HEREON.
 5. ALL PLANTING SHALL BE ACCORDING TO THE PLANTING LEGEND AND THE NOTES HEREON.
 6. ALL PLANTING SHALL BE ACCORDING TO THE PLANTING LEGEND AND THE NOTES HEREON.
 7. ALL PLANTING SHALL BE ACCORDING TO THE PLANTING LEGEND AND THE NOTES HEREON.
 8. ALL PLANTING SHALL BE ACCORDING TO THE PLANTING LEGEND AND THE NOTES HEREON.
 9. ALL PLANTING SHALL BE ACCORDING TO THE PLANTING LEGEND AND THE NOTES HEREON.
 10. ALL PLANTING SHALL BE ACCORDING TO THE PLANTING LEGEND AND THE NOTES HEREON.



Sheet 1

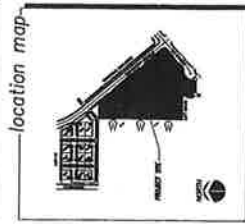
lots 38-39 Business Park
 Mira Loma, California
 Estate Management, LLC.

CASE #: PP18877, AMD. #4
 EXHIBIT: L (Sheets 1-2)
 DATED: 7/12/10
 PLANNER: C. HINOJOSA

Project information

Owner / Applicant
 Applicant's Representative
 Legal Description
 PLOT PLAN # 18877
 Assessors Parcel Number
 PARCEL MAP NO. 29365
 Project Zoning

DEFOREST BUSINESS PARK
 DAB LOT 38&39



Existing Landscape @ DeForest, Ct.

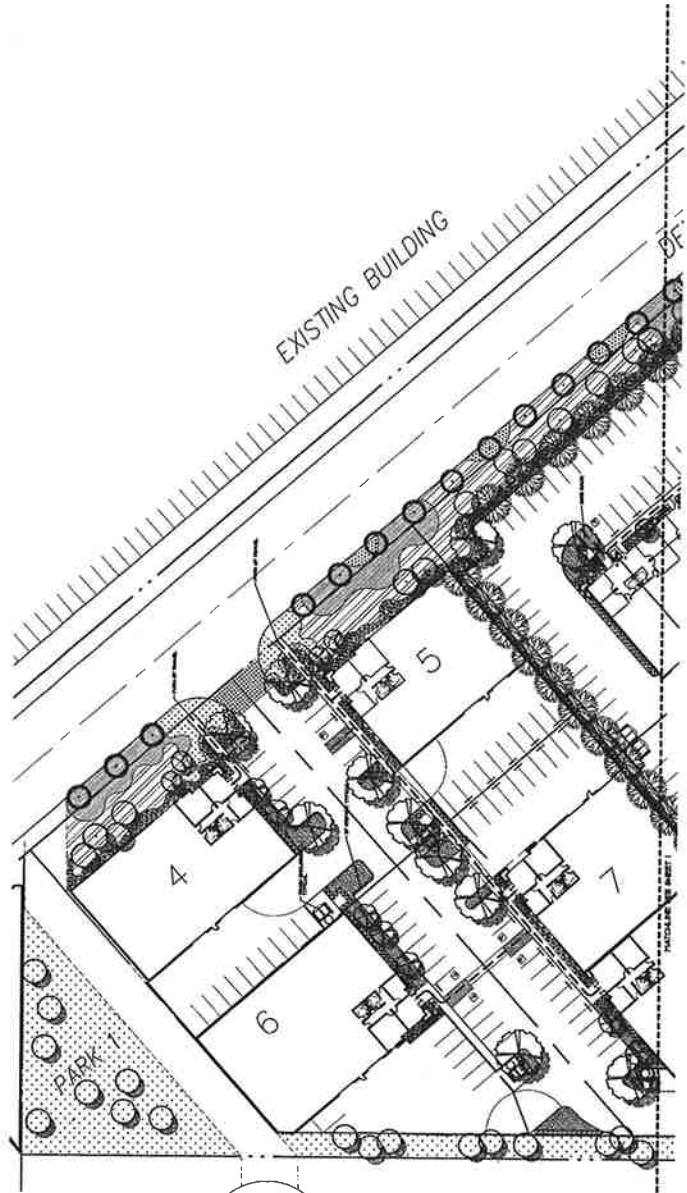


Existing Landscape @ DeForest, Ct.

PLANTING LEGEND

SYMBOL	PLANTING SPECIFICATION	QUANTITY
○	1" Calceolaria	100
○	2" Calceolaria	100
○	3" Calceolaria	100
○	4" Calceolaria	100
○	5" Calceolaria	100
○	6" Calceolaria	100
○	7" Calceolaria	100
○	8" Calceolaria	100
○	9" Calceolaria	100
○	10" Calceolaria	100
○	11" Calceolaria	100
○	12" Calceolaria	100
○	13" Calceolaria	100
○	14" Calceolaria	100
○	15" Calceolaria	100
○	16" Calceolaria	100
○	17" Calceolaria	100
○	18" Calceolaria	100
○	19" Calceolaria	100
○	20" Calceolaria	100
○	21" Calceolaria	100
○	22" Calceolaria	100
○	23" Calceolaria	100
○	24" Calceolaria	100
○	25" Calceolaria	100
○	26" Calceolaria	100
○	27" Calceolaria	100
○	28" Calceolaria	100
○	29" Calceolaria	100
○	30" Calceolaria	100
○	31" Calceolaria	100
○	32" Calceolaria	100
○	33" Calceolaria	100
○	34" Calceolaria	100
○	35" Calceolaria	100
○	36" Calceolaria	100
○	37" Calceolaria	100
○	38" Calceolaria	100
○	39" Calceolaria	100
○	40" Calceolaria	100
○	41" Calceolaria	100
○	42" Calceolaria	100
○	43" Calceolaria	100
○	44" Calceolaria	100
○	45" Calceolaria	100
○	46" Calceolaria	100
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○	48" Calceolaria	100
○	49" Calceolaria	100
○	50" Calceolaria	100

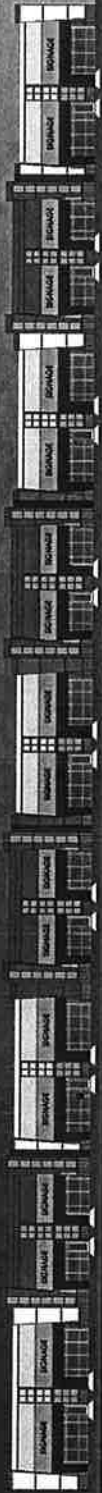
- ALL PLANTING SHALL BE IN ACCORDANCE WITH THE CITY OF MIRA LOMA SPECIFICATIONS FOR PLANTING AND MAINTENANCE.
- ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF MIRA LOMA SPECIFICATIONS FOR PLANTING AND MAINTENANCE.
- ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF MIRA LOMA SPECIFICATIONS FOR PLANTING AND MAINTENANCE.
- ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF MIRA LOMA SPECIFICATIONS FOR PLANTING AND MAINTENANCE.
- ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF MIRA LOMA SPECIFICATIONS FOR PLANTING AND MAINTENANCE.
- ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF MIRA LOMA SPECIFICATIONS FOR PLANTING AND MAINTENANCE.
- ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF MIRA LOMA SPECIFICATIONS FOR PLANTING AND MAINTENANCE.
- ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF MIRA LOMA SPECIFICATIONS FOR PLANTING AND MAINTENANCE.
- ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF MIRA LOMA SPECIFICATIONS FOR PLANTING AND MAINTENANCE.
- ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF MIRA LOMA SPECIFICATIONS FOR PLANTING AND MAINTENANCE.



Sheet 2

Lots 38-39 Business Park Mira Loma, California
 OC Real Estate Management, LLC.

LOT 38-39

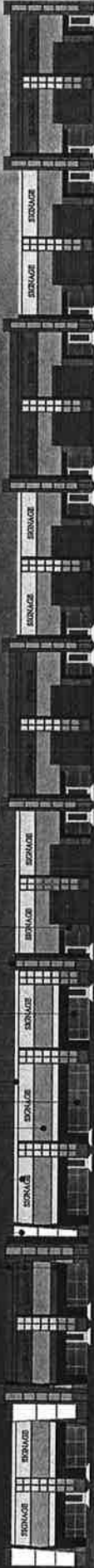


BUILDING 1 (TYPICAL) - NORTH ELEVATION



BUILDING 1 (TYPICAL) - SOUTH ELEVATION

4 2 1 3 6 2 7 4 5



BUILDING 3 (TYPICAL) - NORTH ELEVATION



BUILDING 3 (TYPICAL) - SOUTH ELEVATION

1		Frazee 8680 W ARIA IVORY
2		Frazee 001 WHITE
3		Frazee 8762W TOUCHSTONE
4		Frazee 8684M OAK FLATS
5		Frazee 8794M FIRED STEEL
6		Anodized Mullions
7		Blue Reflective Glazing

DEFOREST CIRCLE BUSINESS PARK

BUILDING 1 ~ 8
CITY OF MIRA LOMA, CALIFORNIA

HPA

19421 Eisenhower Ave
Suite 103
Mira, CA 92651
Tel: 952-661-1777
Fax: 952-663-1895

CASE #: PP18877, AMD. #4
EXHIBIT: M (Sheets 1-2)
DATED: 7/12/10
PLANNER: C. HINOJOSA

LOT 38-39



BUILDING 1 (TYPICAL) - NORTH ELEVATION



BUILDING 1 (TYPICAL) - SOUTH ELEVATION



BUILDING 3 (TYPICAL) - NORTH ELEVATION



BUILDING 3 (TYPICAL) - SOUTH ELEVATION

DEFOREST CIRCLE BUSINESS PARK

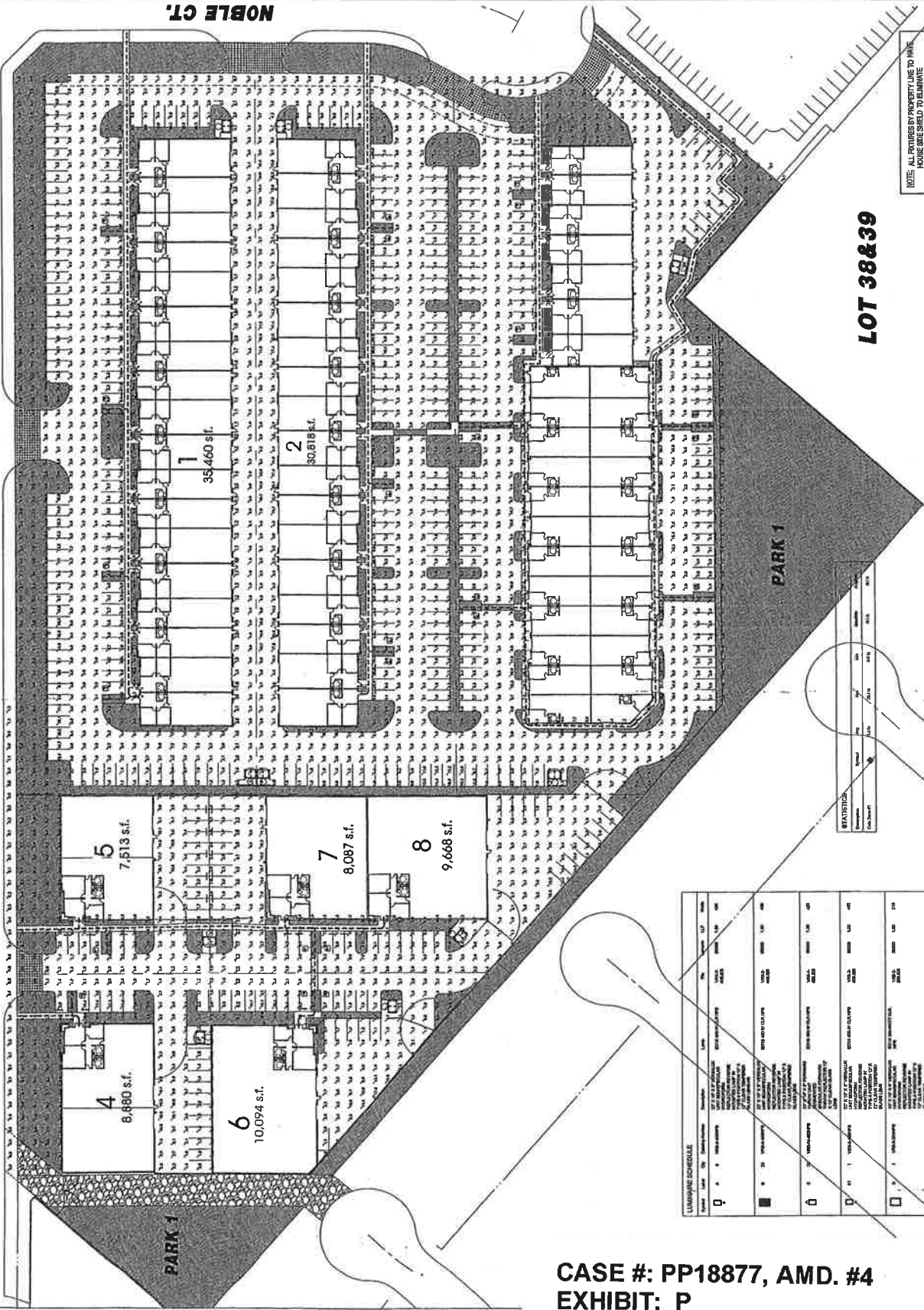


BUILDING 1 ~ 8
CITY OF MIRA LOMA, CALIFORNIA

HPA
14831 Fenwick Ave
Suite 100
Mira Loma, CA 92312
P: 951 263 1770
F: 951 563 0951

NOBLE CT.

DEFOREST CIRCLE



LOT 38&39

NOTE: ALL FINISHES BY PROPERTY OWNER TO MEET ILLUMINATION ON OUTSIDE PROPERTY.

STATISTICS

Category	Count	%	Count	%
Area	100,000	100%	100,000	100%
Volume	100,000	100%	100,000	100%
Count	100,000	100%	100,000	100%

UNAPPROVED SCHEDULE

Item	Description	Area	Volume	Count	Notes
1
2
3
4
5
6
7
8

Projects
MIRA LOMA

JVAL ELECTRIC INC.
 11111 S. MESA BLVD., SUITE 100
 MESA, AZ 85204
 TEL: 480-941-1111
 FAX: 480-941-1112
 WWW: JVAL.ELECTRIC.COM

PROJECT SET
 PLAN CHECK SET
 SOI SET
 CONSTRUCTION SET
 AS BUILT SET
 DATE: _____

THE LOT 38 & 39
OVERALL SITE
PHOTOMETRICS

Project Number:
Drawn By:
Date:
Revised:

Scale:
E-1.0

CASE #: PP18877, AMD. #4
EXHIBIT: P
DATED: 7/12/10
PLANNER: C. HINOJOSA

HPA

18831 Bardsley Way
Suite 100
Irvine, CA 92618
Tel: 949 853 1770
Fax: 949 853 1851

DeForest Business Park
County of Riverside, California

DeForest Business Park

Project Signage Guidelines

April 09, 2007

DeForest Business Park - Lot 38 & 39

County of Riverside, California

07

CASE: PP18877, AMD. #4
EXHIBIT: S (Sheets 1-8)
DATED: 7/12/10
PLANNER: C. HINOJOSA

Contents

0	Cover
1	Table of Contents
2	Project Typestyles & General Provisions
3	Site Plan - Signage Location
4	Typ. Multi Tenant Building Signage - Bldg. 1
5	Typ. Multi Tenant Building Signage - Bldg. 2
6	Typ. Multi Tenant Building Signage - Bldg. 3
7	Typ. Tenant Bldg. Signage - Bldg. 5

NOTE : ALL SIGNS SHALL COMPLY WITH RIVERSIDE ZONING ORDINANCE 348 SECTION 19.4 AND TO SUBMITTED & PERMITTED UNDER A SEPARATE PERMIT PER COUNTY SUBMITTAL AND APPROVAL PROCESS.

Table of Contents

Job#3336
April 09, 2007

Project Typesyles - Americana Bit

A B C D E F G H I J K L M N
O P Q R S T U V W X Y Z
1 2 3 4 5 6 7 8 9 0

GENERAL PROVISIONS for ON-SITE ADVERTISING STRUCTURES AND SIGNS.

1. **FREE STANDING SIGNS.**
No free standing signs are allowed except for the two monument signs described in the Deforest Business Park Sign Program.
2. **SIGN AFFIXED TO BUILDING - ALL AREAS.**
See individual Building types with signage design guidelines within.
 - (1) No on-site advertising sign shall be affixed on, above or over the roof of any building, and no on-site advertising sign shall be affixed to the wall of a building so that it projects above the parapet of the building. For the purposes of this section, a mansard style roof shall be considered a parapet.
 - (2) The maximum surface area of signs affixed to a building shall be as follows:
 - a. Front wall of building - The surface area of the sign shall not exceed 10% of the surface area of the front face of the building.
 - b. Side walls of a building - The surface area of the sign shall not exceed 10% of the surface area of the side face of the building.
 - c. Rear wall of a building - The surface area of the sign shall not exceed 5% of the surface area of the rear of the building.
3. **ON-SITE SUBDIVISION SIGNS ARE NOT ALLOWED.**
4. **ON-SITE IDENTIFICATION SIGNS.**
On-site identification signs affixed to the surface of walls, windows, and doors of permanent structures, which do not exceed four inches in letter height and do not exceed four square feet in area are permitted in addition to any other sign permitted in this ordinance.
5. **DEFOREST BUSINESS PARK IS NOT IN A SCENIC CORRIDORS.**

NOTE : ALL SIGNS SHALL COMPLY WITH RIVERSIDE ZONING ORDINANCE 348 SECTION 19.4 AND TO SUBMITTED & PERMITTED UNDER A SEPARATE PERMIT PER COUNTY SUBMITTAL AND APPROVAL PROCESS.

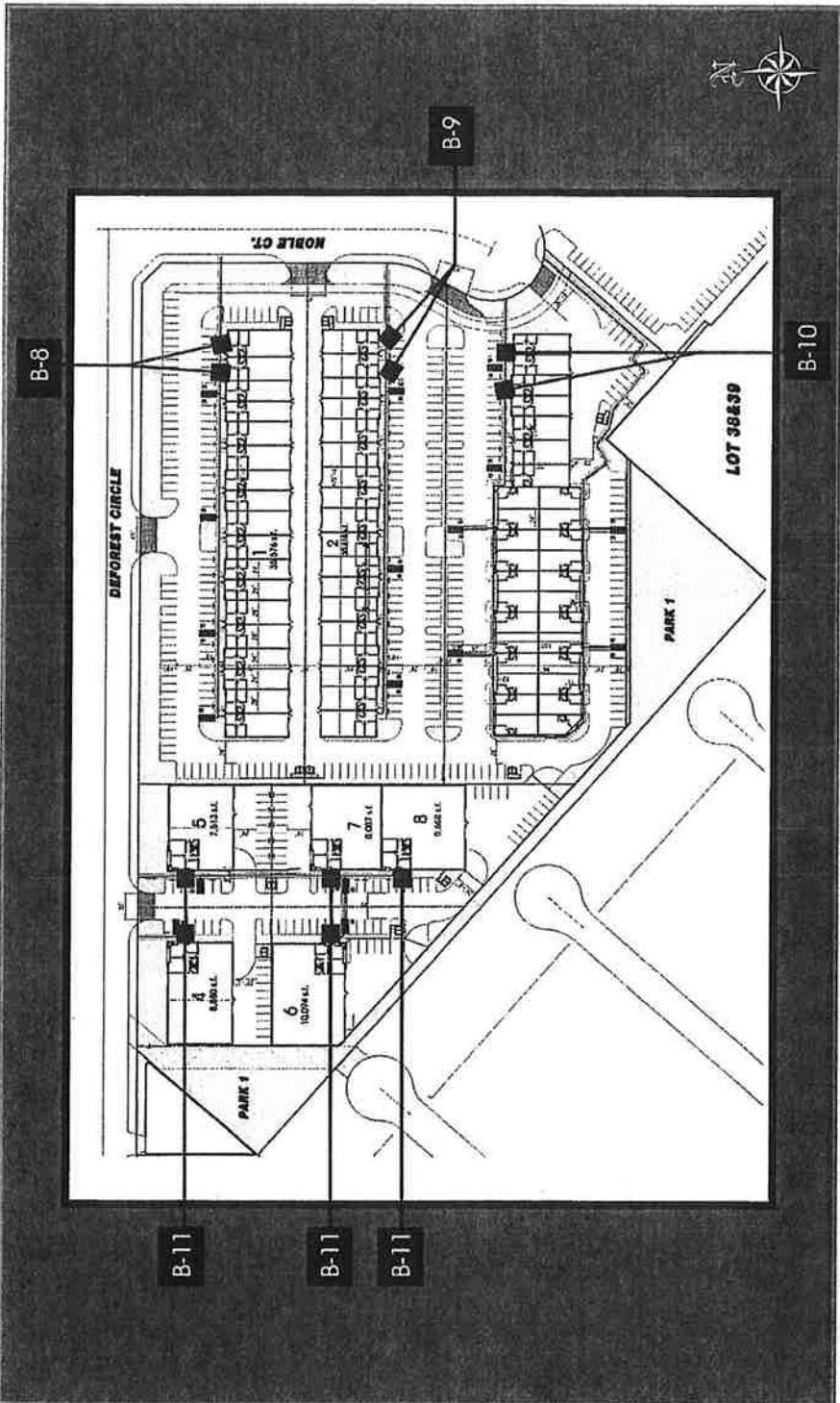
Project typesyles & General Provisions

Job#3336
April 09, 2007

HPA
18331 BOWMAN AVE.
SANTA ANA, CA 92705
Tel: 949.863.1770
Fax: 949.863.1851

Deforest Business Park
County of Riverside, California

2



PM-5	Page No. for detail Signage Type : PM : Primary Monument Sign	B-8	Page No. for detail Signage Type : B : Building Sign(Typ.)	M-7	Page No. for detail Signage Type : m : Mailbox Kiosk Sign
SM-6	Page No. for detail Signage Type : SM : Secondary Monument Sign				

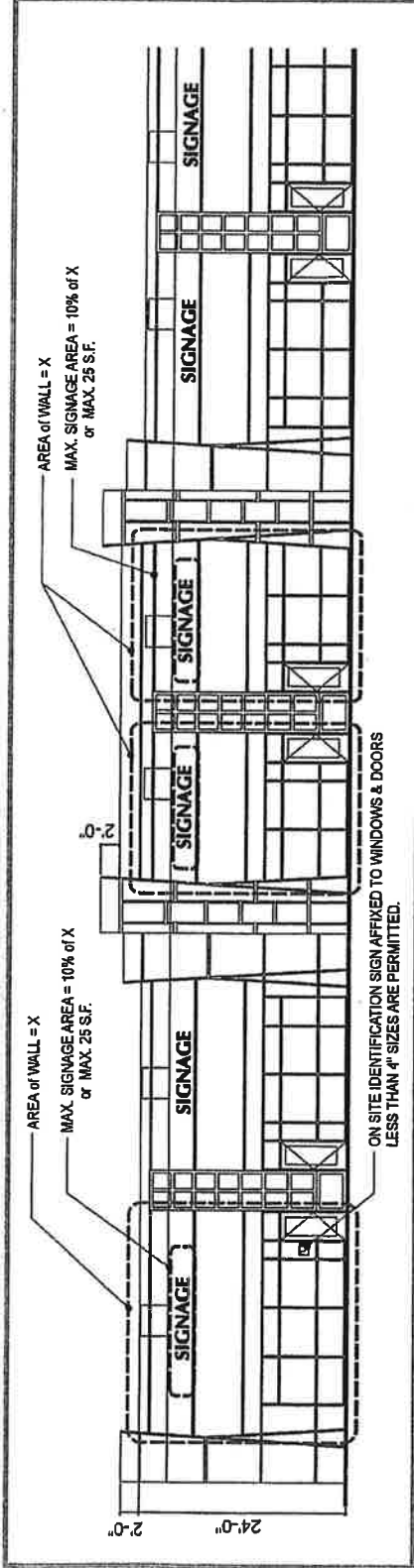
NOTE : ALL SIGNS SHALL COMPLY WITH RIVERSIDE ZONING ORDINANCE 348 SECTION 12.4 AND TO SUBMITTED & PERMITTED UNDER A SEPARATE PERMIT PER COUNTY SUBMITTAL AND APPROVAL PROCESS.

SITE PLAN - SIGNAGE LOCATIONS - LOT 38 & 39

Job# 3336
 April 09, 2007

BUILDING SIGNS

- Building signs must be uniform in nature throughout the park.
- All building signage must conform to the county of Riverside sign ordinance and the covenant codes/ restrictions of the DeForest Business park.
- Side & Front Wall : The surface area of the sign affixed to buildings shall not exceed 10 % of the surface area of the front of the building.
- Rear Wall : The surface area of the sign affixed to buildings shall not exceed 5 % of the surface area of the front of the building.
- The maximum surface area of a single sign shall not exceed 50 S.F.
- Location - Parallel with and attached to exterior wall of the tenant space of the business and be visible from a publicly dedicated street.
- No sign shall be located less than eight feet above the finished grade of a sidewalk or ground level or extend above the roof of any building.
- The signage graphics to be 2 inch thick Foam with Black vinyl faced front.

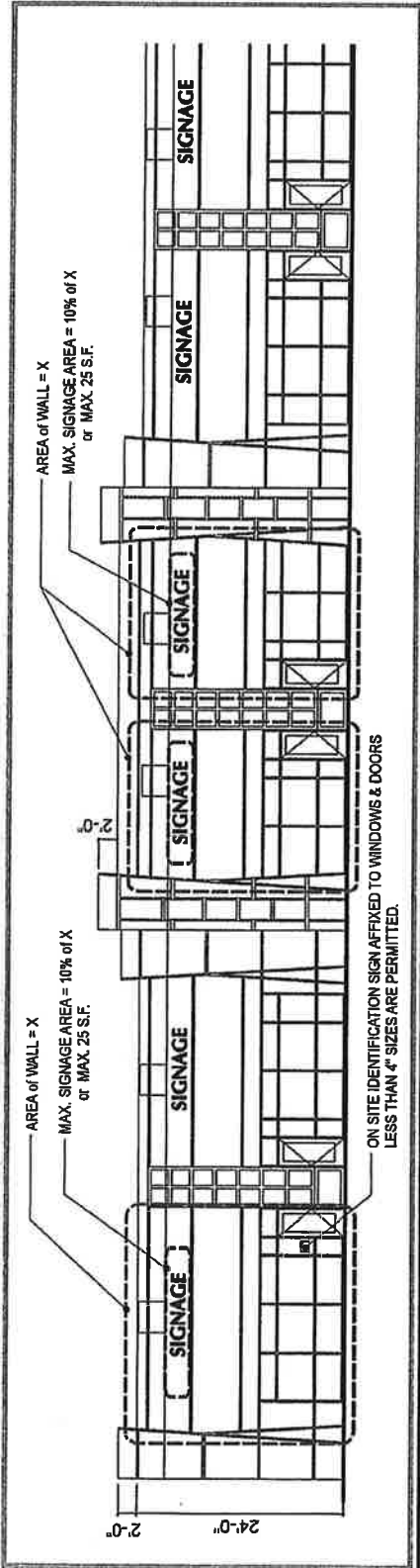


North Elevation

NOTE : ALL SIGNS SHALL COMPLY WITH RIVERSIDE ZONING ORDINANCE 348 SECTION 19.4 AND TO SUBMITTED & PERMITTED UNDER A SEPARATE PERMIT PER COUNTY SUBMITTAL AND APPROVAL PROCESS.

Typ. Multi-Tenant Building Signage
 Building 1 - Lot 38&39

- BUILDING SIGNS**
- Building signs must be uniform in nature throughout the park.
 - All building signage must conform to the county of Riverside sign ordinance and the covenants codes/ restrictions of the DeForest Business park.
 - Side & Front Wall : The surface area of the sign affixed to buildings shall not exceed 10 % of the surface area of the front of the building.
 - Rear Wall : The surface area of the sign affixed to buildings shall not exceed 5 % of the surface area of the front of the building.
 - The maximum surface area of a single sign shall not exceed 50 S.F.
 - Location - Parallel with and attached to exterior wall of the tenant space of the business and be visible from a publicly dedicated street.
 - No sign shall be located less than eight feet above the finished grade of a sidewalk or ground level or extend above the roof of any building.
 - The signage graphics to be 2 inch thick foam with Black vinyl faced front.

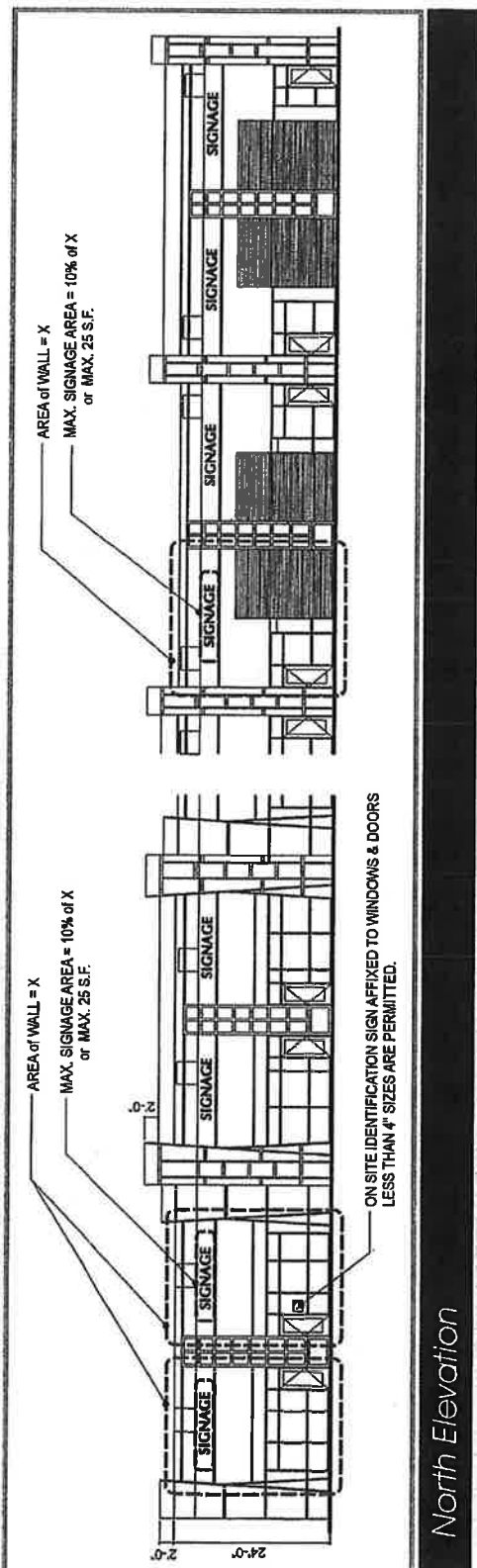


South Elevation

NOTE : ALL SIGNS SHALL COMPLY WITH RIVERSIDE ZONING ORDINANCE 348 SECTION 19.4 AND TO SUBMITTED & PERMITTED UNDER A SEPARATE PERMIT PER COUNTY SUBMITTAL AND APPROVAL PROCESS.

Typ. Multi-Tenant Building Signage
 Building 2 - Lot 38&39

- BUILDING SIGNS**
- Building signs must be uniform in nature throughout the park.
 - All building signage must conform to the county of Riverside sign ordinance and the covenants codes/ restrictions of the DeForest Business park.
 - Side & Front Wall : The surface area of the sign affixed to buildings shall not exceed 10 % of the surface area of the front of the building.
 - Rear Wall : The surface area of the sign affixed to buildings shall not exceed 5 % of the surface area of the front of the building.
 - The maximum surface area of a single sign shall not exceed 50 S.F.
 - Location - Parallel with and attached to exterior wall of the tenant space of the business and be visible from a publicly dedicated street.
 - No sign shall be located less than eight feet above the finished grade of a sidewalk or ground level or extend above the roof of any building.
 - The signage graphics to be 2 inch thick Foam with Black vinyl faced front.



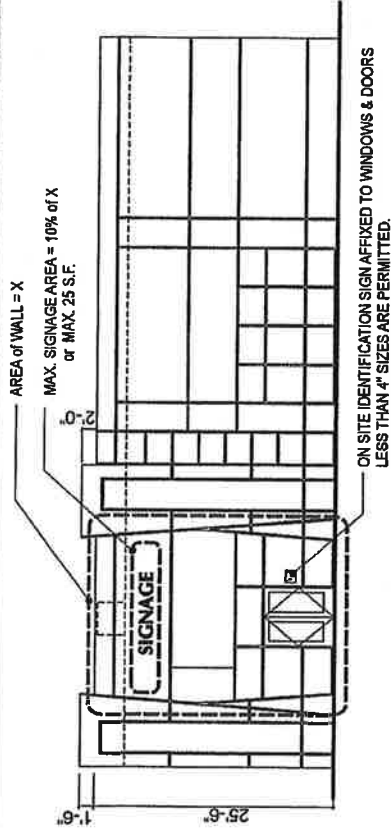
NOTE : ALL SIGNS SHALL COMPLY WITH RIVERSIDE ZONING ORDINANCE 348 SECTION 19.4 AND TO SUBMITTED & PERMITTED UNDER A SEPARATE PERMIT PER COUNTY SUBMITTAL AND APPROVAL PROCESS.

Typ. Multi-Tenant Building Signage
 Building 3 - Lot 38&39

Job #3336
 April 09, 2007

BUILDING SIGNS

- Building signs must be uniform in nature throughout the park.
- All building signage must conform to the county of Riverside sign ordinance and the covenants codes/ restrictions of the Deforest Business park.
- Side & Front Wall : The surface area of the sign affixed to buildings shall not exceed 10 % of the surface area of the front of the building.
- Rear Wall : The surface area of the sign affixed to buildings shall not exceed 5 % of the surface area of the front of the building.
- The maximum surface area of a single sign shall not exceed 50 S.F.
- Location - Parallel with and attached to exterior wall of the tenant space of the business and be visible from a publicly dedicated street.
- No sign shall be located less than eight feet above the finished grade of a sidewalk or ground level or extend above the roof of any building.
- The signage graphics to be 2 inch thick Foam with Black vinyl faced front.



West Elevation

NOTE : ALL SIGNS SHALL COMPLY WITH RIVERSIDE ZONING ORDINANCE 348 SECTION 19.4 AND TO SUBMITTED & PERMITTED UNDER A SEPARATE PERMIT PER COUNTY SUBMITTAL AND APPROVAL PROCESS.

Typ. Tenant Building Signage
Building 5 (Typical of bldg. 4 to 8) - Lot 38&39

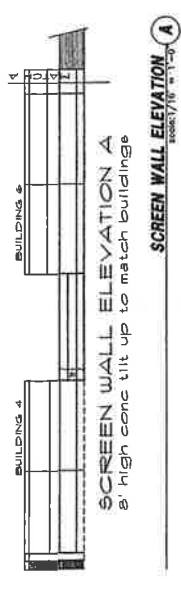
HPA

18831 PARKSON ROAD
SUITE 100
RIVERSIDE, CA 92503
TEL: 951-945-1770
FAX: 951-945-1551

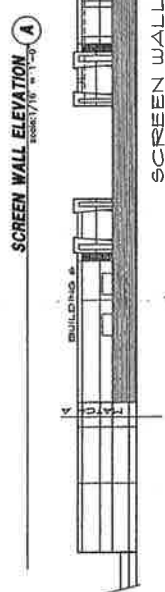
Deforest Business Park
County of Riverside, California

Job#3336
April 09, 2007

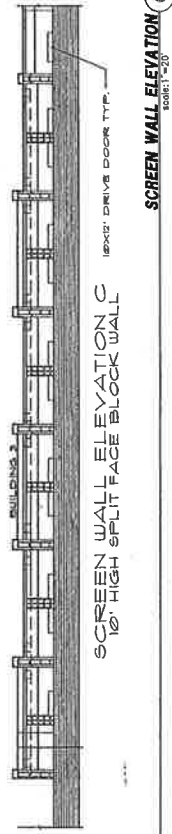
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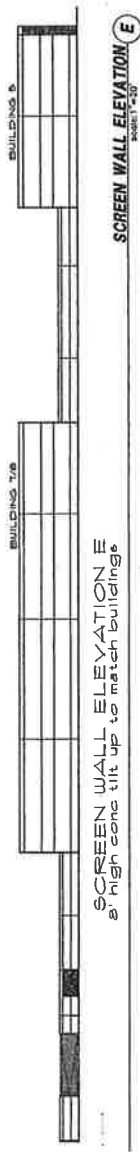
SCREEN WALL ELEVATION A
8' high conc tilt up to match buildings



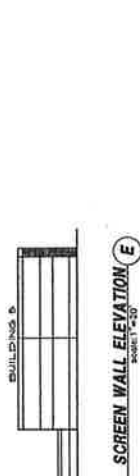
SCREEN WALL ELEVATION B
10' HIGH SPLIT FACE BLOCK WALL



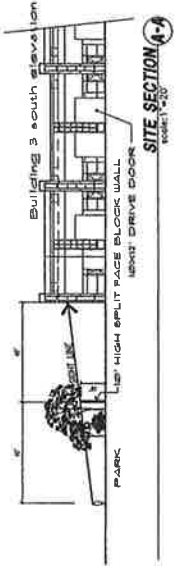
SCREEN WALL ELEVATION C
10' HIGH SPLIT FACE BLOCK WALL
10x20' DRIVE DOOR



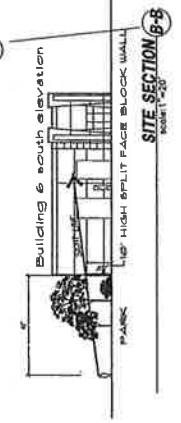
SCREEN WALL ELEVATION D
10' HIGH SPLIT FACE BLOCK WALL
EXISTING



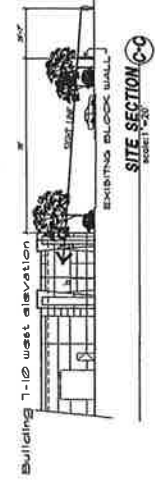
SCREEN WALL ELEVATION E
8' high conc tilt up to match buildings



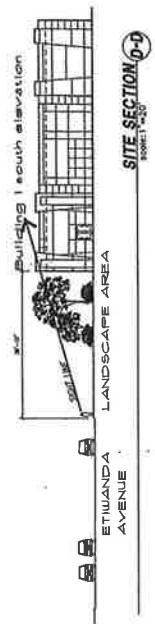
SITE SECTION A-A
SHEET 14-20



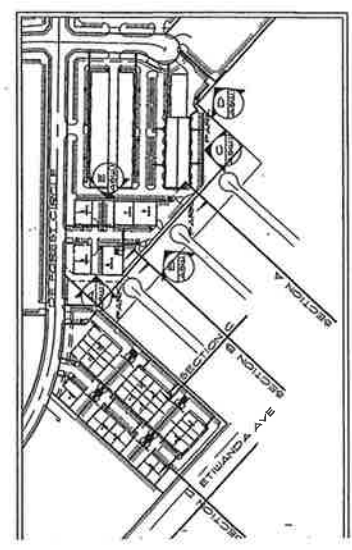
SITE SECTION B-B
SHEET 14-20



SITE SECTION C-C
SHEET 14-20



SITE SECTION D-D
SHEET 14-20



OVERALL SITE LOTS 37 & 38/39

SCREEN WALL ELEVATIONS AND SITE SECTIONS

SHEET, DAB SW-1
PARCEL 37, 38&39
PP 18876 - 18877
DEFOREST BUSINESS PARK
DAB LOT 37 38&39



3085 MAIN STREET, SUITE 230, REDDING, CALIFORNIA 96001
CITY OF ARKA, CALIFORNIA
AMOR A. 307



**CASE #: PP18877, AMD. #4
EXHIBIT: W
DATED: 7/12/10
PLANNER: C. HINOJOSA**

- EXISTING STREET EDGE
- PROPOSED STREET EDGE
- PROPOSED CONCRETE PAVING
- PROPOSED ASPHALT PAVING
- PROPOSED FIRE LANE
- EXISTING FIRE LANE
- EXISTING ELECTRICAL LINE
- PROPOSED ELECTRICAL LINE
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- PROPOSED SEWER
- PROPOSED GAS
- PROPOSED WATER

PROJECT INFORMATION

PROJECT: COMMERCIAL DEVELOPMENT
 12100 W. HIGHLAND AVENUE
 LOS ANGELES, CA 90025
 PHONE (310) 517-5788 EXT. 223

OWNER: J.P. HINOJOSA
 12100 W. HIGHLAND AVENUE
 LOS ANGELES, CA 90025
 PHONE (310) 517-5788 EXT. 223

DESIGNER: KCT CONSULTANTS, INC.
 11311 W. BOULEVARD
 LOS ANGELES, CA 90025
 PHONE (310) 614-7600

PREPARED BY: J. HINOJOSA

CODE DATA

CONTRACTOR TYPE: GENERAL CONTRACTOR
 OCCUPANCY: INDUSTRIAL
 CONSTRUCTION METHOD: CONCRETE AND MASONRY
 PROPOSED LAND USE: INDUSTRIAL/COMMERCIAL

LEGAL DESCRIPTION

LEGAL DESCRIPTION:
 PART OF TRACT 100, AS SHOWN ON MAP 28653 OF THE PUBLIC RECORDS OF LOS ANGELES COUNTY, CALIFORNIA.
 PART OF TRACT 100, AS SHOWN ON MAP 172/36-41 OF THE PUBLIC RECORDS OF LOS ANGELES COUNTY, CALIFORNIA.
 PART OF TRACT 100, AS SHOWN ON MAP 28653 OF THE PUBLIC RECORDS OF LOS ANGELES COUNTY, CALIFORNIA.

PROJECT DATA

AREA	33.28 AC
CONTRACT NO.	7
REVISIONS	
REVISION	
DATE	
BY	
CHECKED	
DATE	
BY	
CHECKED	
DATE	
BY	
CHECKED	
DATE	
BY	
CHECKED	
DATE	
BY	
CHECKED	
DATE	
BY	
CHECKED	
DATE	
BY	
CHECKED	
DATE	
BY	

REVISIONS:

NO.	DATE	DESCRIPTION
1	7/12/10	ISSUED FOR PERMITS
2		
3		
4		
5		
6		
7		
8		
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10		
11		
12		

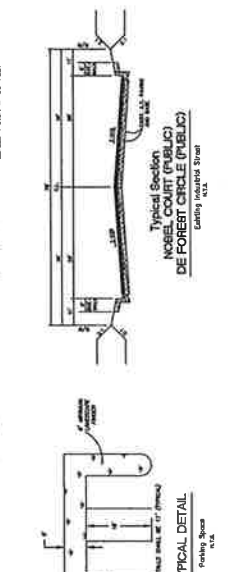
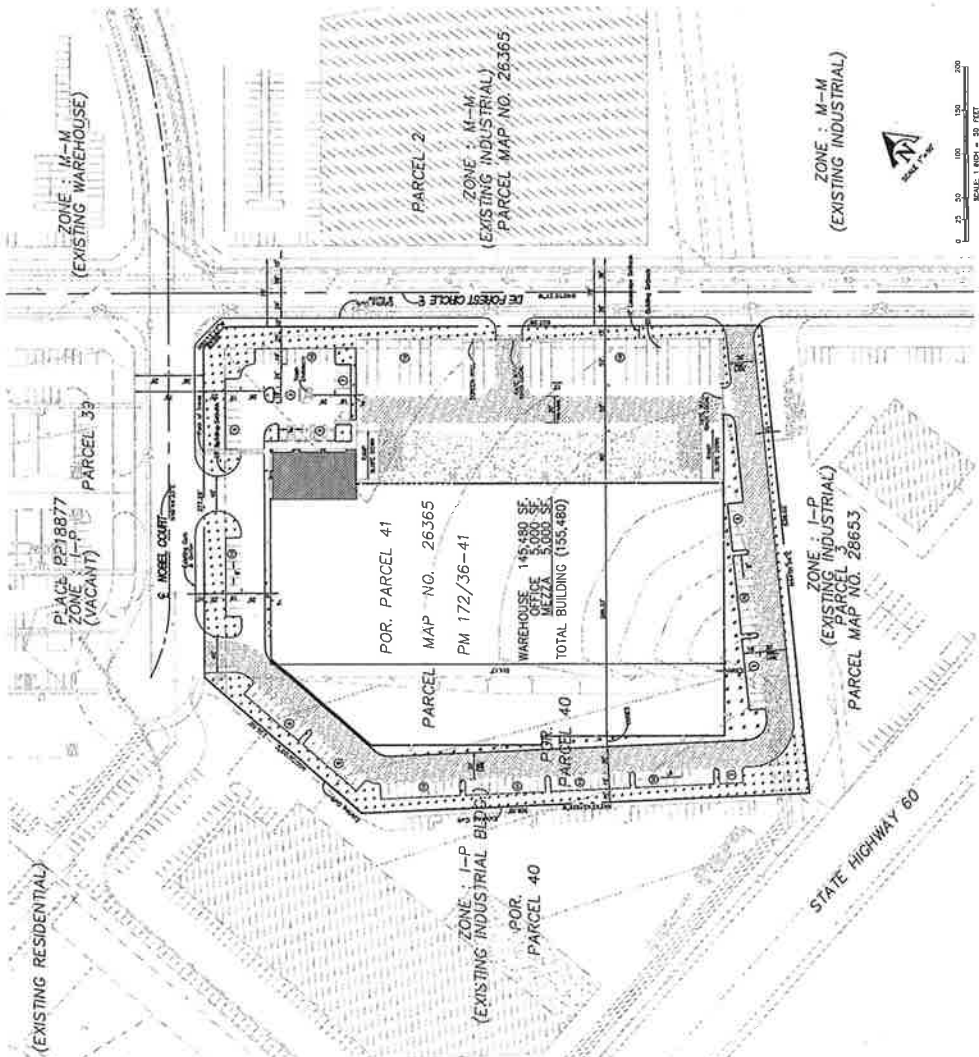
GENERAL NOTES:

ALL SCREEN WALLS SHALL BE CONSTRUCTED TO ACCOMMODATE THE PILING SPACING INDICATED HEREON.
 ALL SCREEN WALLS SHALL BE CONSTRUCTED TO ACCOMMODATE THE PILING SPACING INDICATED HEREON.
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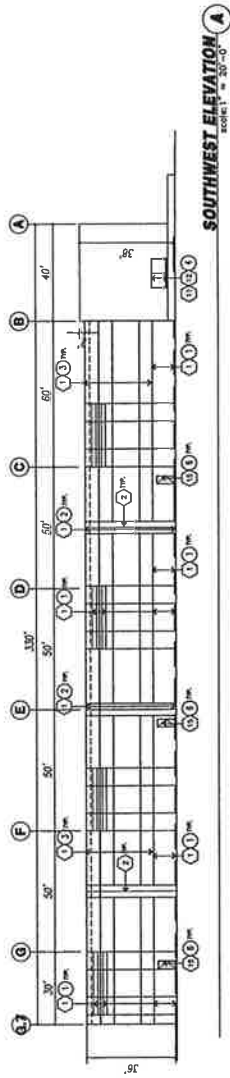
CONTRACTOR: THE AG COMPANY
 13200 W. BOULEVARD
 LOS ANGELES, CA 90025
 PHONE (310) 517-5788 EXT. 223

OWNER: J.P. HINOJOSA
 12100 W. HIGHLAND AVENUE
 LOS ANGELES, CA 90025
 PHONE (310) 517-5788 EXT. 223

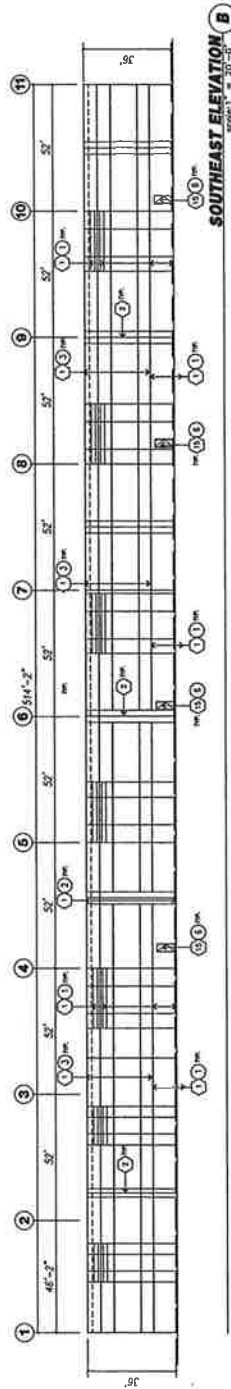
DESIGNER: KCT CONSULTANTS, INC.
 11311 W. BOULEVARD
 LOS ANGELES, CA 90025
 PHONE (310) 614-7600



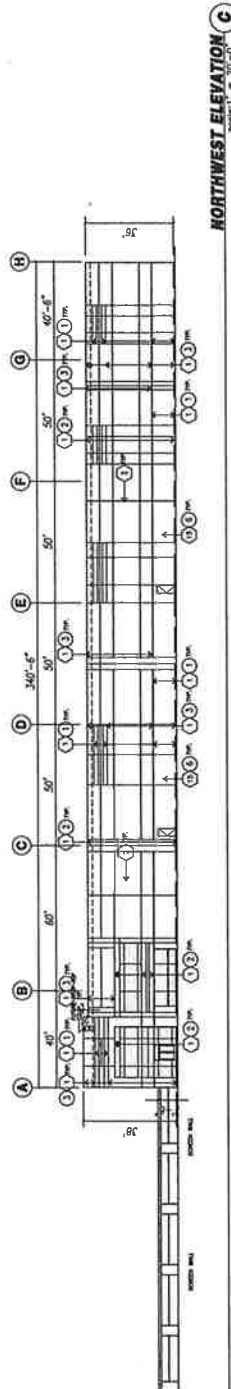
CASE #: PP18879, AMD. #4
EXHIBIT: A
DATED: 7/12/10
PLANNER: C. HINOJOSA



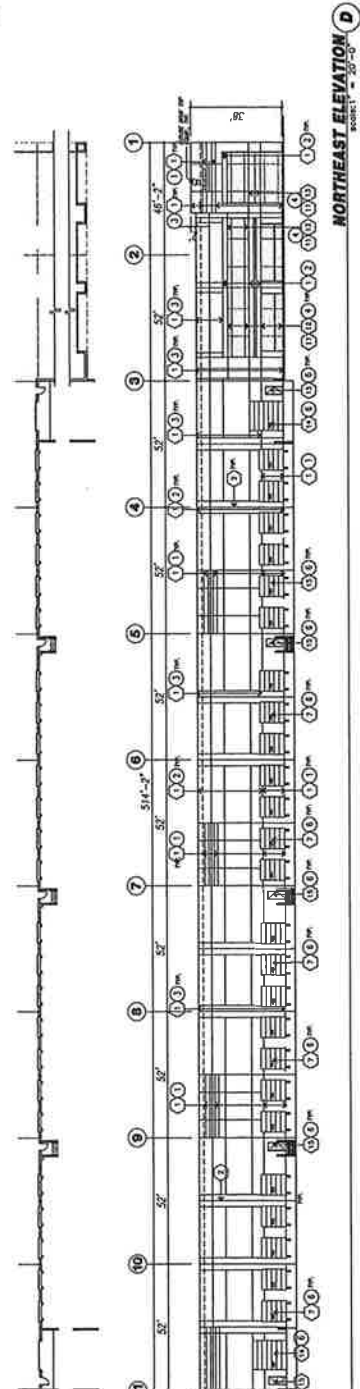
SOUTHWEST ELEVATION
SCALE: 1/8" = 1'-0"



SOUTHEAST ELEVATION
SCALE: 1/8" = 1'-0"



NORTHWEST ELEVATION
SCALE: 1/8" = 1'-0"



NORTHEAST ELEVATION
SCALE: 1/8" = 1'-0"

KEYNOTES - ELEVATIONS

1. CONCRETE TILT-UP PANELS (PAINTED).
2. PANEL JOINT.
3. PANEL BEVEL.
4. OVERCURE SCRAPPER PAINTED TO MATCH.
5. DOWNSPUT GUTTER PAINTED TO MATCH.
6. CONCRETE TILT-UP SCREEN WALL, 8" H.
7. METAL DOOR DOOR.
8. DOOR BUMPER.
9. CONCRETE CURB, LANDSCAPE AND CONC. OVERLAP.
10. CONCRETE TRAP AND CONC. OVERLAP.
11. ALL ROOF FLASHINGS SHALL BE SCREENED FROM THE BROWND ABOVE FF. ELEVATION.
12. WINDOW GLAZING.
13. SPANDREL GLAZING.
14. BRICK TRIM DOORS.
15. FOLLOW METAL DOOR.

GENERAL NOTES - ELEVATIONS

- A. ALL PAINT COLOR CHANGES TO OCCUR AT BASIC CORNERS UNLESS NOTED.
- B. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTES OTHERWISE.
- C. E.O.P. - TOP OF RAUQUET - ELEVATION. FINISH TO BE APPROX. 1' BELOW TO SCREEN EXTERIOR.
- D. F.F. - FINISH FLOOR ELEVATION. METAL ATTACHMENTS AND LABELS SHALL BE DESCRIBED TO ASSIST IN MATERIAL SELECTION. CONTRACTOR SHALL FULLY PAINT ONE CONCRETE PANEL BY SELECTED COLOR. APPROVED AND OWNER SHALL APPROVE PRIOR TO PAINTING.
- E. ALL ROOF MOUNTED EQUIPMENT SHALL BE SCREENED FROM THE BROWND ELEVATION VIEW TO THE WINDOW SILL ELEVATION OF 1,380 FEET.

COLOR SCHEDULE - ELEVATIONS

- | | |
|----------------------------|--------------------------------|
| 1. CONCRETE TILT-UP PANEL | PAINT FINISH/FINISH: OFF WHITE |
| 2. CONCRETE TILT-UP PANEL | PAINT FINISH/FINISH: OFF WHITE |
| 3. CONCRETE TILT-UP PANEL | PAINT FINISH/FINISH: OFF WHITE |
| 4. CONCRETE TILT-UP PANEL | PAINT FINISH/FINISH: OFF WHITE |
| 5. STAINLESS STEEL GLAZING | GLAZING: CLEAR GLAZING |
| 6. WALLS | PAINT FINISH/FINISH: OFF WHITE |
| 7. ROOF & EXTERIOR ROOF | PAINT FINISH/FINISH: OFF WHITE |

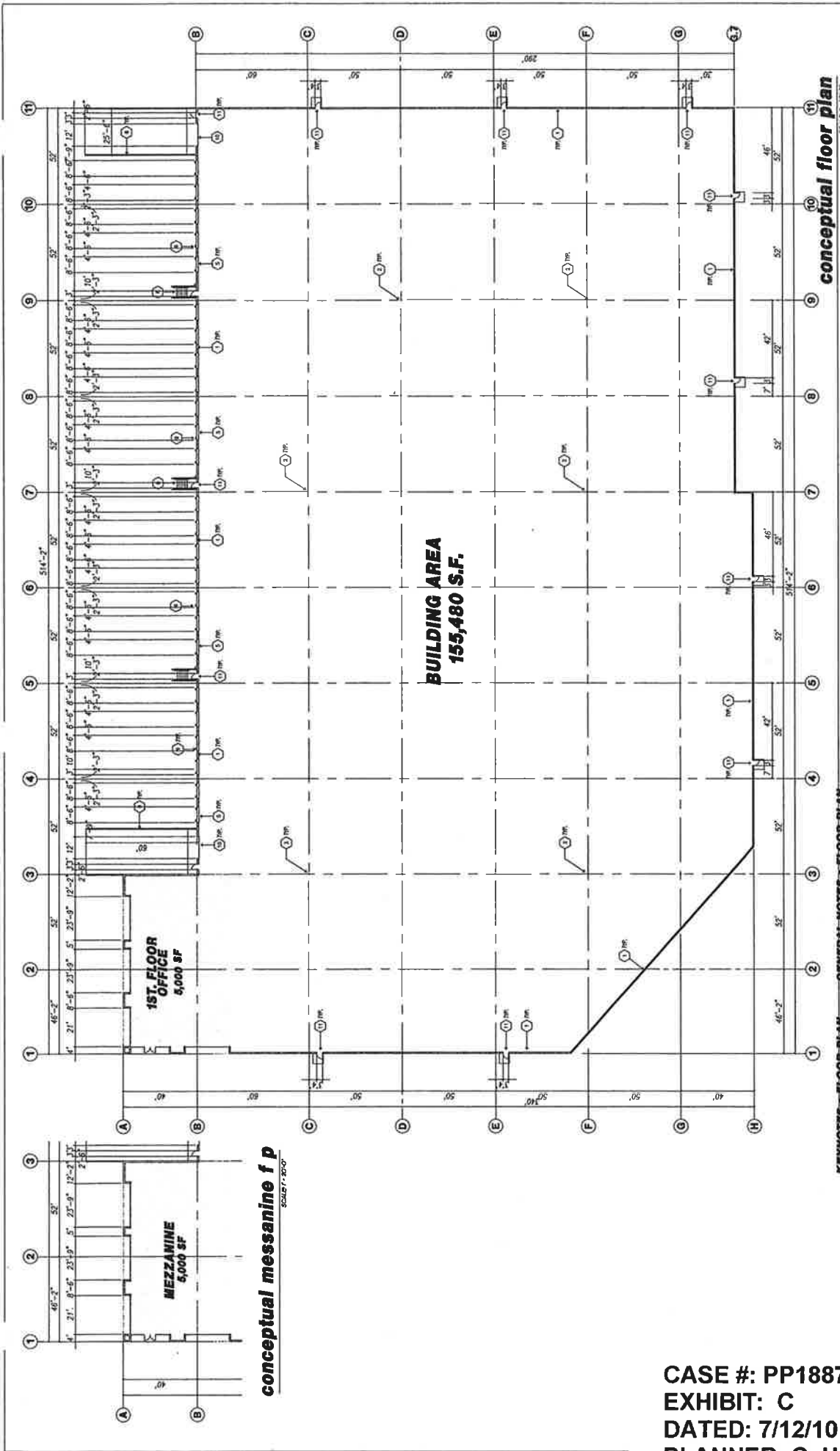
PLOT PLAN # 18879

PARCEL 41
INDUSTRIAL FACILITY
OC Real Estate Management, LLC.

CITY OF HBA LOMA
REVISED: 08/05/2007

HPA, INC.

655 SANDOZ AVENUE, SUITE 1000, PLYMOUTH, CA 94963
949-463-0700



- KEYNOTES - FLOOR PLAN**
- CONCRETE SLAB-ON-GRADE, SEE "Y" DIMENSIONS FOR THICKNESS AND STEEL REINFORCEMENT.
 - STRUCTURAL STEEL COLUMN, SEE "Y" DIMENSIONS FOR DIAMETER.
 - CONCRETE WALL, SEE "Y" DIMENSIONS FOR THICKNESS AND REINFORCEMENT.
 - CONCRETE WALL.
 - 8'-0" x 12'0" BRICK BOND, 1/2" SANDWICH INSULATION, 1/2" SANDWICH INSULATION, 1/2" SANDWICH INSULATION.
 - CONCRETE BLOCK-UP BRICK WALL, FINISH TO MATCH EXISTING.
 - 5'-0" x 12'-0" BLOCK CONCRETE CORNER LASKING AND TYPICAL AT CORNER, FINISH TO MATCH EXISTING.
 - CONCRETE CURB WALL, FINISH TO MATCH EXISTING.
 - CONCRETE CURB WALL.
 - 3/4" x 12'0" BLOCK VERTICAL CURB, FINISH TO MATCH EXISTING.
 - 3/4" x 12'0" BLOCK VERTICAL CURB, FINISH TO MATCH EXISTING.
 - 3/4" x 12'0" BLOCK VERTICAL CURB, FINISH TO MATCH EXISTING.
 - 3/4" x 12'0" BLOCK VERTICAL CURB, FINISH TO MATCH EXISTING.
 - 3/4" x 12'0" BLOCK VERTICAL CURB, FINISH TO MATCH EXISTING.
 - 3/4" x 12'0" BLOCK VERTICAL CURB, FINISH TO MATCH EXISTING.

- GENERAL NOTES - FLOOR PLAN**
- THIS PLAN IS ISSUED FOR INFORMATION PURPOSES ONLY. THE USER SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS ON THE GROUND.
 - THE USER SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS ON THE GROUND.
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41

PARCEL

INDUSTRIAL FACILITY

OC Real Estate Management, LLC

CITY OF MARIETTA

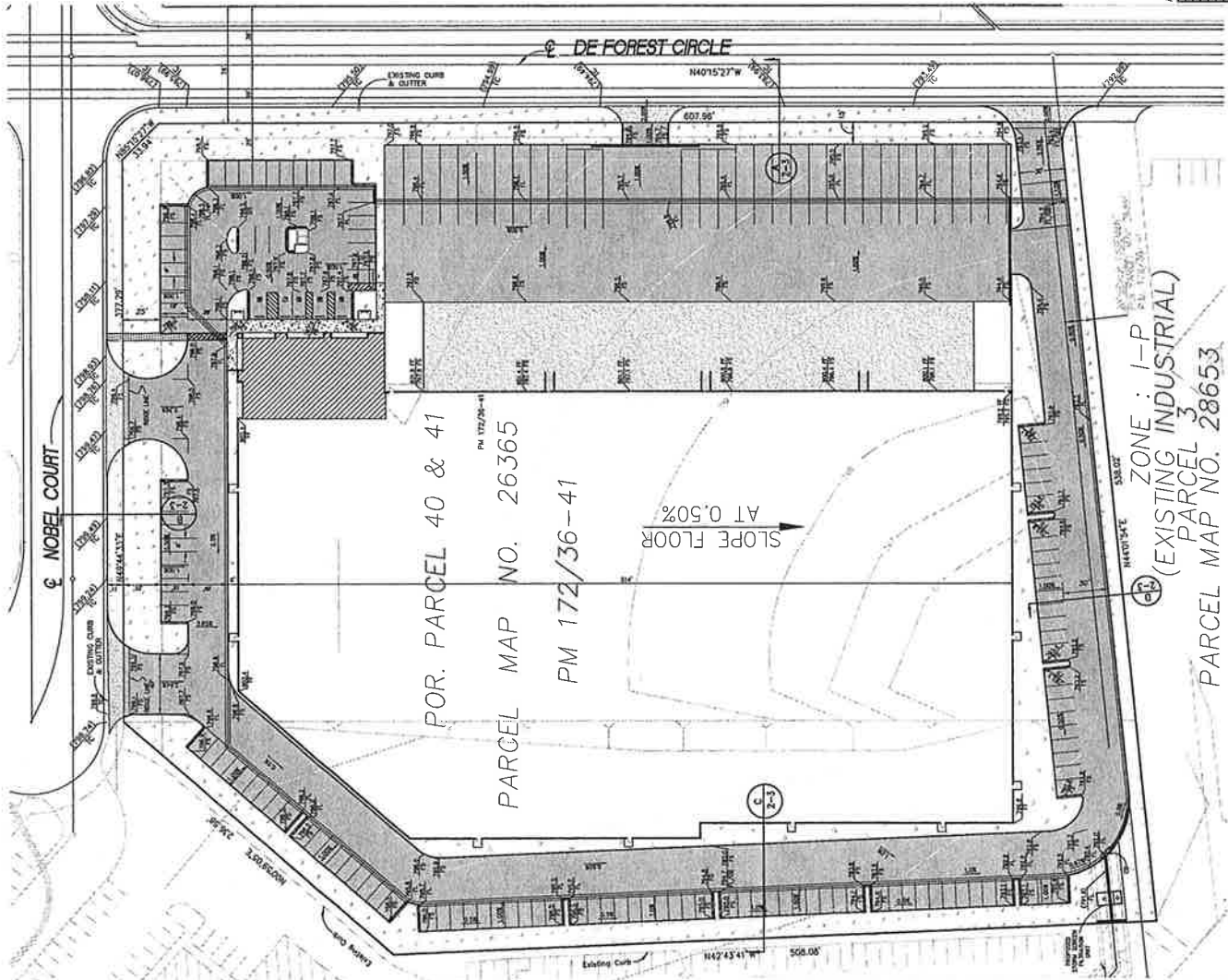
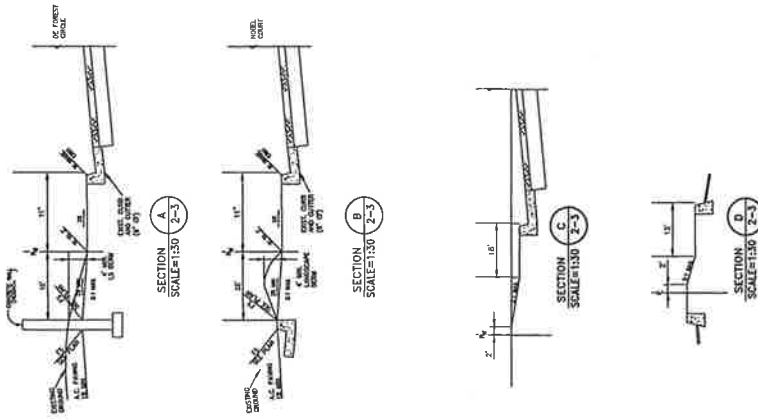
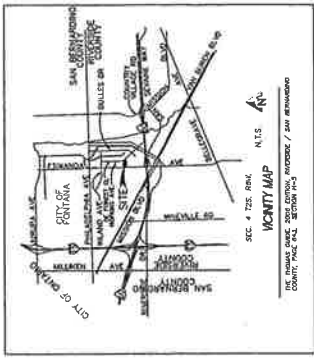
HPA, INC.

8300 SANDOZ AVENUE, SUITE 400, RYAN, GA 30087

9340 842-0700

CASE #: PP18879, AMD. #4
EXHIBIT: C
DATED: 7/12/10
PLANNER: C. HINOJOSA

CONCEPTUAL GRADING PLAN



ZONE: I-P
(EXISTING INDUSTRIAL)
PARCEL 3
PARCEL MAP NO. 28653

REVISIONS:

NO.	DATE	DESCRIPTION

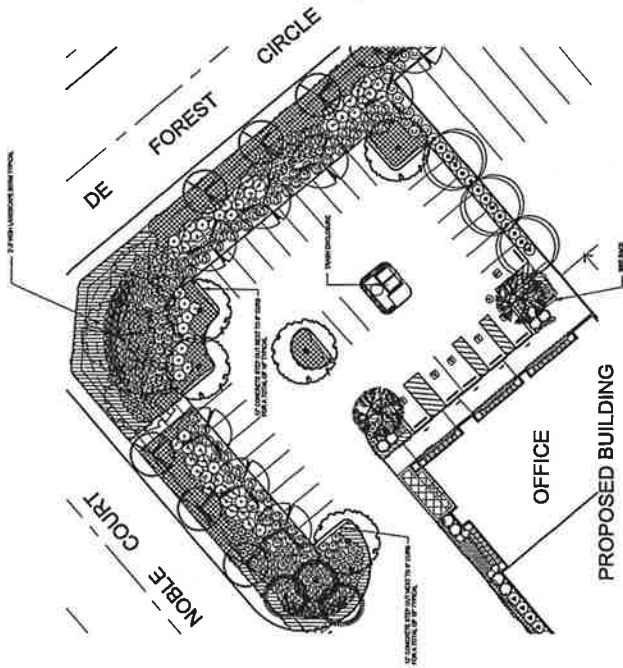
FLAT PLAN 18879
O.C. Real Estate Management, Inc.
Mrs. Loma Commercial Center
PARCEL 40-41
KCT CONSULTANTS, INC.
1000 W. 11th Street, Suite 100
Fontana, CA 92335
TEL: (951) 833-1111
FAX: (951) 833-1112
WWW.KCTCONSULTANTS.COM

CASE #: PP18879, AMD. #4
EXHIBIT: G
DATED: 7/12/10
PLANNER: C. HINOJOSA

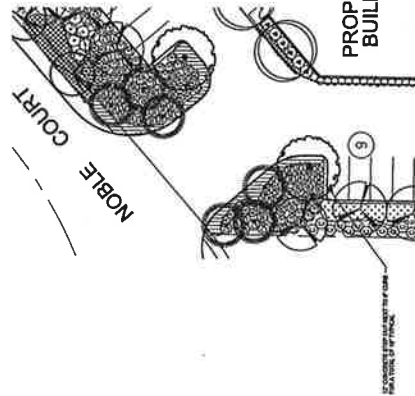
PLANT LEGEND

SYMBOL	RECOMMENDATION	QUANTITY	SIZE	HEIGHT
	CALIFORNIA FAN PALM	10	18"	LOW
	BLUE PALM	10	18"	LOW
	PHOENIX PALM	10	18"	LOW
	FICUS	10	18"	LOW
	CORDOBA PALM	10	18"	LOW
	CALIFORNIA FAN PALM	10	18"	LOW
	BLUE PALM	10	18"	LOW
	PHOENIX PALM	10	18"	LOW
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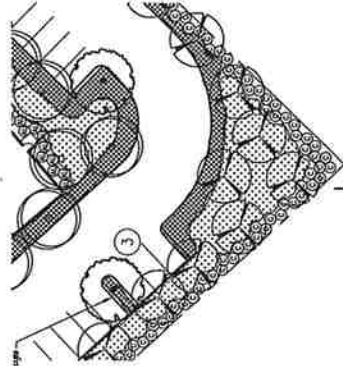
NOTE: PROPOSED TREES HAVE BEEN IDENTIFIED AS THE STREET TREE ALONG DE FOREST CIRCLE AND NOBLE COURT.



ENLARGEMENT "A"



ENLARGEMENT "B"



ENLARGEMENT "C"

SYMBOL	RECOMMENDATION	QUANTITY	SIZE	HEIGHT
	PALM	10	18"	LOW
	TREE	10	18"	LOW
	SHRUB	10	18"	LOW
	FLOWERING SHRUB	10	18"	LOW
	GROUND COVER	10	18"	LOW
	MULCH	10	18"	LOW
	ROCK	10	18"	LOW
	WATER FEATURE	10	18"	LOW
	LIGHT FIXTURE	10	18"	LOW
	SIGN	10	18"	LOW
	BENCH	10	18"	LOW
	FIRE PIT	10	18"	LOW
	FOUNTAIN	10	18"	LOW
	WATER FEATURE	10	18"	LOW
	LIGHT FIXTURE	10	18"	LOW
	SIGN	10	18"	LOW
	BENCH	10	18"	LOW
	FIRE PIT	10	18"	LOW
	FOUNTAIN	10	18"	LOW



SHRUBS & GROUND COVER AREA: 67,000 S.F. (100%)
 TREE AREA: 0 S.F. (0%)
 TOTAL LANDSCAPE AREA: 67,000 S.F. (100%)

WATER USE CALCULATIONS BY HYDROZONES

Riverside County Ordinance 899 Landscaping Water Use Calculations
 LOT 41
 (For projects with more than 1 hydrozone)

1 Maximum Annual Water Allowance (MAWA)
 INPUT the total square footage of landscape: 67,000 S.F.
 INPUT the MAWA ETC for the area: 35.37
 MAWA = 1,053,165 gal / yr
 (35.37 x 29,790 gal / yr)

2 Estimated Annual Water Use (EAWU)

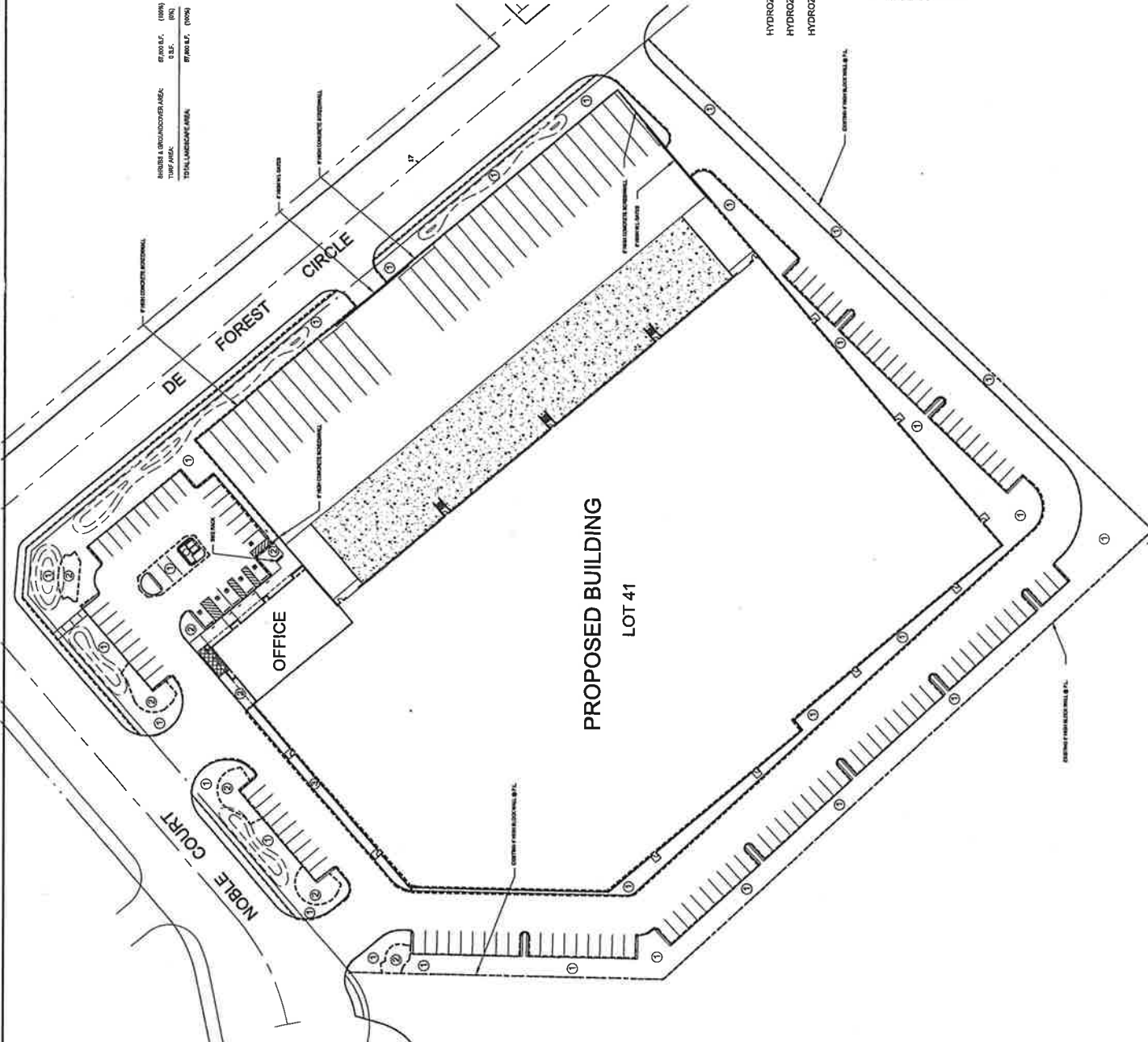
Hydrozone #	INPUT Plant Factor	INPUT Square Footage of Hydrozone	INPUT Irrigation Efficiency	INPUT EAWU
Hydrozone #1	0.25	32,217	0.33	1,321
Hydrozone #2	0.33	3,253	0.33	1,321
Hydrozone #3	0.33	3,253	0.33	1,321
Hydrozone #4	0.33	3,253	0.33	1,321
Hydrozone #5	0.33	3,253	0.33	1,321

Sub Total EAWU = 499,105 gal / yr
 Input Irrigation System Operation Factor = 0.85
 Total EAWU = 424,229 gal / yr
 (499,105 gal / yr x 0.85)

HYDROZONE ① - DRIP IRRIGATION - LOW WATER USE (2 PK) TREES, SHRUBS & GROUND COVER
 HYDROZONE ② - DRIP IRRIGATION - MEDIUM WATER USE (5 PK) TREES, SHRUBS & GROUND COVER
 HYDROZONE ③ - DRIP IRRIGATION - MED TO LOW WATER USE (3 PK) TREES, SHRUBS & GROUND COVER
 @ NORTH/EAST EXPOSURE

IRRIGATION STATEMENT

The hydrozones shown on this plan are based on the hydrozones shown on the site plan. The hydrozones shown on this plan are based on the hydrozones shown on the site plan. The hydrozones shown on this plan are based on the hydrozones shown on the site plan.



NO.	DESCRIPTION	DATE