

**SUBMITTAL TO THE BOARD OF SUPERVISORS
COUNTY OF RIVERSIDE, STATE OF CALIFORNIA**

636B



FROM: TLMA - Planning Department

SUBMITTAL DATE:
August 4, 2011

REVIEWED BY EXECUTIVE OFFICE
 DATE 8/9/11 *TM*
 Tina Grande
 Departmental Concurrence

SUBJECT: PLOT PLAN NO. 20699, REVISED PERMIT NO. 1 (Fast Track Authorization No. 2011-05) – Intent to Certify Addendum No. 1 to Environmental Impact Report No. 485 – Applicant: David Drake, Trammel Crow Company – Engineer/Representative: Albert A. Webb Associates – First Supervisorial District – March Zoning Area – Mead Valley Area Plan: Community Development: Light Industrial (CD: LI) (0.25 – 0.60 Floor Area Ratio) – Location: Northerly of Old Oleander Avenue, southerly of Nandina Avenue, easterly of Blanding Way and westerly of Interstate Highway 215 – 68.85 Gross Acres – Zoning: Industrial Park (IP) – **REQUEST:** This, the first Revised Permit to the approved Plot Plan, proposes to develop 3 warehousing and distribution industrial buildings with a total building area of 1,205,660 square feet with 40,000 square feet of office space, 1,165,660 square feet of warehouse space, 831 parking spaces, 196 trailer parking spaces and 168 loading docks. Addendum No. 1 to Environmental Impact Report No. 485 has been prepared to inform decision-makers and the public that potential significant environmental effects have been analyzed in an earlier EIR with changes and additions for the proposed project, and would not result in significant effects on the environment with additional mitigation measures. **BACKGROUND:** Environmental Impact Report No. 485 analyzed the potential environmental impacts of Tentative Parcel Map No. 33942 and Plot Plan No. 20699 certified by the Riverside County Planning Commission on June 25, 2008. The Tentative Parcel Map was a Schedule 'E' subdivision of 68.85 gross acres into 7 industrial parcels ranging in size from 1.32 acres to 30.39 acres. The Plot Plan proposed to develop five (5) warehousing and distribution industrial buildings with a total building area of 1,206,710 square feet with 34,000 square feet of office space, 1,172,710 square feet of warehouse space, 927 auto and trailer parking spaces and 176 loading docks on a 68.85 gross acre site.

Carolyn Syms Luma
 Planning Director

Initials:
CSL:vc

(continued on next page)

Dept't Recomm.: Consent Policy
 Per Exec. Ofc.: Consent Policy

MINUTES OF THE BOARD OF SUPERVISORS

On motion of Supervisor Buster, seconded by Supervisor Ashley and duly carried by unanimous vote, IT WAS ORDERED that the above matter is approved as recommended.

Ayes: Buster, Tavaglione, Stone, Benoit, and Ashley
Nays: None
Absent: None
Date: August 16, 2011
xc: Planning(2), Applicant, Co.Co.

Kecia Harper-Ihem
 Clerk of the Board
 By:
 Deputy

Prev. Agn. Ref.

District: First

Agenda Number:

16.2

The Honorable Board of Supervisors

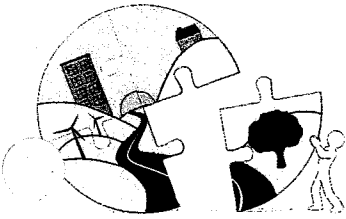
Re: PLOT PLAN NO. 20699, REVISED PERMIT NO. 1 (Fast Track Authorization No. 2011-05)

Page 2 of 2

RECOMMENDED MOTION:

CONSIDER THE ADDENDUM WITH ENVIRONMENTAL IMPACT REPORT NO. 485, which has been completed in compliance with the EIR Guidelines and Riverside County CEQA implementation procedures prior to making a decision on the project; and,

APPROVAL of PLOT PLAN NO. 20699, REVISED PERMIT NO. 1, subject to the attached conditions of approval, and based upon the findings and conclusions incorporated in the staff report.



Carolyn Syms Luna
Director

RIVERSIDE COUNTY PLANNING DEPARTMENT

Original Negative Declaration/Notice of Determination was routed to County Clerks for posting on.

8/16/11 KL
Date Initial

TO: Office of Planning and Research (OPR)
P.O. Box 3044
Sacramento, CA 95812-3044
 County of Riverside County Clerk

FROM: Riverside County Planning Department
 4080 Lemon Street, 12th Floor
P. O. Box 1409
Riverside, CA 92502-1409
 38686 El Cerrito Road
Palm Desert, California 92211

SUBJECT: Filing of Notice of Determination in compliance with Section 21152 of the California Public Resources Code.

Addendum No. 1 to Environmental Impact Report No. 485, Plot Plan No. 20699, Revised Permit No. 1
Project Title/Case Numbers

Christian Hinojosa (951) 955-0972
County Contact Person Phone Number

N/A
State Clearinghouse Number (if submitted to the State Clearinghouse)

David Drake, Trammell Crow Company 4 Park Plaza, Suite 700; Irvine, CA 92614
Project Applicant Address

Northerly of Old Oleander Avenue, southerly of Nandina Avenue, easterly of Blanding Way and westerly of Interstate Highway 215
Project Location

This, the first Revised Permit to the approved Plot Plan, proposes to develop three (3) warehousing and distribution industrial buildings (Trammell Crow Business Center) with a total building area of 1,205,660 square feet with 40,000 square feet of office space, 1,165,660 square feet of warehouse space, 831 parking spaces, 196 trailer parking spaces and 168 loading docks on a 68.85 gross acre site. Addendum No. 1 to Environmental Impact Report No. 485 has been prepared to inform decision-makers and the public that potential significant environmental effects have been analyzed in an earlier EIR with changes and additions for the proposed project, and would not result in significant effects on the environment with additional and/or revised mitigation measures.
Project Description

s to advise that the Riverside County Board of Supervisors, as the lead agency, has approved the above-referenced project on August 16, 2011, and has made the following determinations regarding that project:

1. The project WILL have a significant effect on the environment.
2. An Addendum to an earlier EIR was prepared for the project pursuant to the provisions of the California Environmental Quality Act (\$64.00).
3. Mitigation measures WERE made a condition of the approval of the project.
4. A Mitigation Monitoring and Reporting Plan/Program WAS adopted.
5. A statement of Overriding Considerations WAS adopted for the project.

This is to certify that the earlier EIR, with comments, responses, and record of project approval is available to the general public at: Riverside County Planning Department, 4080 Lemon Street, 12th Floor, Riverside, CA 92501.

[Signature] Board Assistant AUG 16 2011
Signature Title Date

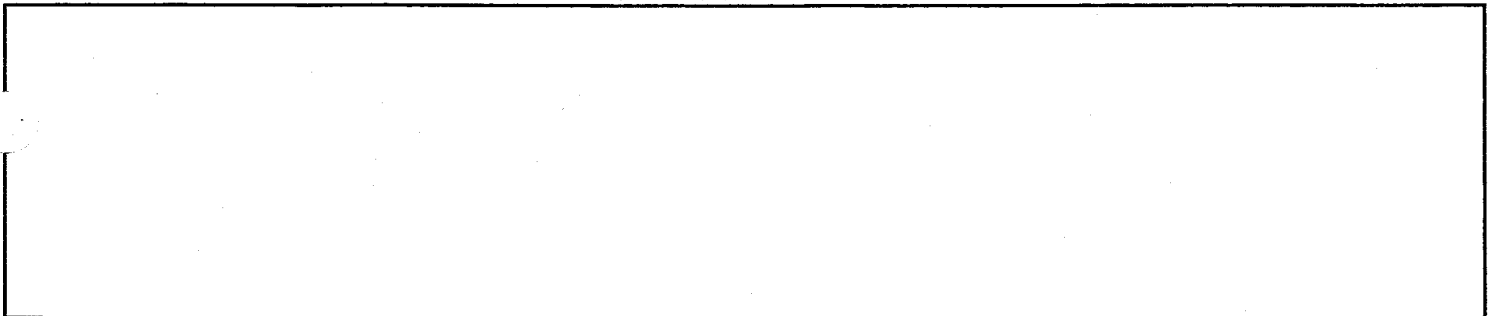
Date Received for Filing and Posting at OPR: _____

DM/rj
Revised 8/25/2009
Y:\Planning Case Files-Riverside office\PP20699R1\DH-PC-BOS Hearings\BOS\NOD Form.docx

Please charge deposit fee case#: ZEA42455 ZCFG05827 .

AUG 16 2011 16.2

FOR COUNTY CLERK'S USE ONLY



COUNTY OF RIVERSIDE
SPECIALIZED DEPARTMENT RECEIPT
Permit Assistance Center

J* REPRINTED * R1106016

4080 Lemon Street
Second Floor
Riverside, CA 92502
(951) 955-3200

39493 Los Alamos Road
Suite A
Murrieta, CA 92563
(951) 694-5242

38686 El Cerrito Rd
Indio, CA 92211
(760) 863-8271

Received from: TRAMMELL CROW COMPANY \$64.00
paid by: CK 1167
CA FISH AND GAME FOR EA42455
paid towards: CFG05827 CALIF FISH & GAME: DOC FEE
at parcel:
appl type: CFG3

By _____ Jun 16, 2011 15:50
GLKING posting date Jun 16, 2011

Account Code	Description	Amount
658353120100208100	CF&G TRUST: RECORD FEES	\$64.00

Overpayments of less than \$5.00 will not be refunded!

EA 485

STATE OF CALIFORNIA - THE RESOURCES AGENCY
DEPARTMENT OF FISH AND GAME
ENVIRONMENTAL FILING FEE CASH RECEIPT

Receipt # 200800951

Lead Agency: COUNTY PLANNING Date: 09/19/2008

County Agency of Filing: Riverside Document No: 200800951

Project Title: EA 485; TPM 33942; PP 20699

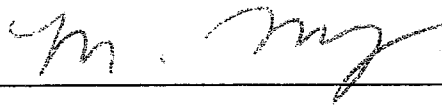
Project Applicant Name: CATELLUS OPERATING LTD, PARTNERSHIP Phone Number:

Project Applicant Address: 4041 MACARTHUR BLVD #400 NEWPORT BEACH CA 92660

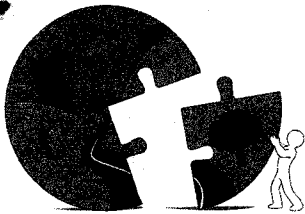
Project Applicant: Private Entity

CHECK APPLICABLE FEES:

- Environmental Impact Report 2606.75
 - Negative Declaration _____
 - Application Fee Water Diversion (State Water Resources Control Board Only) _____
 - Project Subject to Certified Regulatory Programs _____
 - County Administration Fee \$64.00
 - Project that is exempt from fees (DeMinimis Exemption)
 - Project that is exempt from fees (Notice of Exemption)
- Total Received** 2670.75

Signature and title of person receiving payment: 

Notes:



Carolyn Syms Luna
Director

RIVERSIDE COUNTY
PLANNING DEPARTMENT

Memorandum

DATE: August 16, 2011
TO: The Honorable Board of Supervisors
FROM: The Planning Department
RE: **August 16, 2011 Board of Supervisors for Agenda Item No.: 16.2 on Plot Plan No. 20699, Revised Permit No. 1**

1. Attached is a modified letter from the Airport Land Use Commission (ALUC) Development Review, dated August 10, 2011 incorporating the provisions of the FAA's Determinations of No Hazard to Air Navigation issued on August 9, 2011.
2. Attached Condition Of Approval No. 10.PLANNING.42 was modified to add FAA conditions 8 thru 12 to PP20699R1 based on the modified ALUC staff letter, dated August 10, 2011.

Riverside Office · 4080 Lemon Street, 12th Floor
P.O. Box 1409, Riverside, California 92502-1409
(951) 955-3200 · Fax (951) 955-3157

Desert Office · 38686 El Cerrito Road
Palm Desert, California 92211
(760) 863-8277 · Fax (760) 863-7555

Memo Item #1

**Letter from the Airport Land Use Commission (ALUC)
Development Review, dated August 10, 2011**

AIRPORT LAND USE COMMISSION RIVERSIDE COUNTY



August 10, 2011

CHAIR
Simon Housman
Rancho Mirage

VICE CHAIRMAN
Rod Ballance
Riverside

COMMISSIONERS

Arthur Butler
Riverside

John Lyon
Riverside

Glen Holmes
Hemet

Greg Pettis
Cathedral City

Richard Stewart
Moreno Valley

STAFF

Director
Ed Cooper

John Guerin
Russell Brady
Barbara Santos

County Administrative Center
4080 Lemon St., 14th Floor.
Riverside, CA 92501
(951) 955-5132

www.rcaluc.org

Mr. Christian Hinojosa, Urban Regional Planner III
Riverside County Planning Department
4080 Lemon Street, 12th Floor
Riverside CA 92501
HAND DELIVERY

RE: AIRPORT LAND USE COMMISSION (ALUC) DEVELOPMENT REVIEW

File No.: ZAP1073MA11
Related File No.: PP20699R1 (Revised Plot Plan)
APN: 295-310-011; 295-310-048; 295-310-052

Dear Mr. Hinojosa:

On July 14, 2011, the Riverside County Airport Land Use Commission (ALUC) found the above-referenced proposal for the development of three industrial buildings with a total gross floor area of 1,206,710 square feet on a 69.41-acre site **CONDITIONALLY CONSISTENT** with the 1984 Riverside County Airport Land Use Plan, as applied to the Airport Influence Area of March Air Force Base (now March Air Reserve Base/March Inland Port), pending Federal Aviation Administration (FAA) review, which has now been completed, subject to the following conditions (as modified to incorporate the provisions of the FAA's Determinations of No Hazard to Air Navigation issued on August 9, 2011):

CONDITIONS:

1. Prior to the issuance of building permits, the landowner shall convey an aviation easement to the March Inland Port Airport Authority. (Contact March Joint Powers Authority at (951) 656-7000 for additional information.)
2. Any outdoor lighting installed shall be hooded or shielded to prevent either the spillage of lumens or reflection into the sky, and shall comply with Ordinance No. 655, as applicable. Outdoor lighting shall be downward facing.
3. The following uses shall be prohibited:
 - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
 - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.

8/16/2011 16.2

- (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, artificial marshes, wastewater management facilities, composting operations, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)
 - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
 - (e) Children's schools, day care centers, libraries, hospitals, nursing homes, places of assembly, aboveground bulk storage of hazardous materials (and/or more than 6,000 gallons of flammable materials), and highly noise-sensitive outdoor nonresidential uses.
4. This finding of consistency pertains to the use of the proposed buildings for office, manufacturing, and warehousing activities. Any proposal for use of any portion of these buildings for uses that would be considered to have an occupancy level greater than one person per 100 square feet (minimum square feet per occupant less than 100) shall be subject to further review by the Airport Land Use Commission. (See attached table.)
 5. The attached notice shall be provided to all potential purchasers and tenants.
 6. Any ground-level or aboveground water retention or detention basin or facilities shall be designed so as to provide for a detention period for the design storm that does not exceed 48 hours and to remain totally dry between rainfalls. Vegetation in and around such facilities that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping. Landscaping shall utilize plant species that do not produce seeds, fruits, or berries. Trees shall be spaced so as to prevent large expanses of contiguous canopy, when mature.
 7. Prior to issuance of building permits, the project developer shall submit to Riverside County Planning Department and Airport Land Use Commission staff evidence that the Federal Aviation Administration has issued a determination of "Not a Hazard to Air Navigation" for the proposed facility. **[This condition shall be considered "MET." See attached letters.]**

The following conditions have been added pursuant to the terms of the FAA Obstruction Evaluation Service letters issued on August 9, 2011 for Aeronautical Study Nos. 2011-AWP-3981-OE, 2011-AWP-3982-OE, and 2011-AWP-3983-OE:

8. **The Federal Aviation Administration has conducted aeronautical studies of each proposed building location (Aeronautical Study Nos. 2011-AWP-3981-OE, 2011-AWP-3982-OE, and 2011-AWP-3983-OE) and has determined that neither marking nor lighting of the proposed structures is necessary for aviation safety. However, if marking and/or lighting for aviation safety are accomplished on a voluntary basis, such marking and/or lighting (if any) shall be installed in accordance with FAA Advisory Circular 70/7460-1 K Change 2 and shall be maintained in accordance therewith for the life of the project.**
9. **The maximum height of each building, including all roof-mounted appurtenances**

(if any), shall not exceed 40 feet above ground level. The maximum elevation at the top of Building A shall not exceed 1,575 feet above mean sea level. The maximum elevation at the top of Building B shall not exceed 1,567 feet above mean sea level. The maximum elevation at the top of Building C shall not exceed 1,590 feet above mean sea level.

10. Within five (5) days after construction reaches its greatest height, FAA Form 7460-2, Notice of Actual Construction or Operation, shall be completed by the project proponent or his/her designee and submitted to the Federal Aviation Administration Southwest Regional Office Obstruction Evaluation Group, 2601 Meacham Boulevard, Fort Worth TX 76137. The requirement for submittal is also applicable in the event the project is abandoned.
11. The specific coordinates, height, and top point elevations of the proposed buildings shall not be amended without further review by the Airport Land Use Commission and the Federal Aviation Administration; provided, however, that reduction in building height or elevation shall not require further review by the Airport Land Use Commission.
12. Temporary construction equipment used during actual construction of the buildings shall not exceed the height of the proposed buildings (40 feet above ground level), unless separate notice is provided to the Federal Aviation Administration through the Form 7460-1 process.

If you have any questions, please contact John Guerin, ALUC Principal Planner, at (951) 955-0982.

Sincerely,
RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION



Edward C. Cooper, Director

JG:bks

Attachments: Notice of Airport in Vicinity
FAA Aeronautical Study No. 2011-AWP-3981-OE through 2011-AWP-3983-OE

cc: David Drake, Trammell Crow Company/Knox Logistics LLC
Sandra Chandler, Albert A. Webb Associates
Gary Gosliga, March Inland Port Airport Authority/March JPA
Dan Fairbanks, March Joint Powers Authority
ALUC Staff

Y:\ALUC\Airport Case Files\March\ZAP1073MA11.LTR.doc

<u>Use</u>	<u>Minimum Square Feet per Occupant</u>
1. Aircraft Hangars (no repair)	500
2. Auction Rooms	7
3. Assembly Areas, Concentrated Use (without fixed seats)	7
Auditoriums	
Churches and Chapels	
Dance Floors	
Lobby Accessory to Assembly Occupancy	
Lodge Rooms	
Reviewing Stands	
Stadiums	
Waiting Areas	3
4. Assembly Areas, Less Concentrated Use	15
Conference Rooms	
Dining Rooms	
Drinking Establishments	
Exhibit Rooms	
Gymnasiums	
Lounges	
Stages	
Gaming	11
5. Bowling Alley (assume no occupant load for bowling lanes)	4
6. Children's Homes and Homes for the Aged	80
7. Classrooms	20
8. Congregate Residences	200
9. Courtrooms	40
10. Dormitories	50
11. Dwellings	300
12. Exercising Rooms	50
13. Garage, Parking	200
14. Health-Care Facilities	80
Sleeping Rooms	120
Treatment Rooms	240
15. Hotels and Apartments	200
16. Kitchen – Commercial	200
17. Library Reading Room	50
Stack Areas	100
18. Locker Rooms	50
19. Malls	Varies
20. Manufacturing Areas	200
21. Mechanical Equipment Room	300
22. Nurseries for Children (Daycare)	35
23. Offices	100
24. School Shops and Vocational Rooms	50
25. Skating Rinks	50 on the skating area; 15 on the deck
26. Storage and Stock Rooms	300
27. Stores — Retail Sales Rooms	
Basements and Ground Floors	30
Upper Floors	60
28. Swimming Pools	50 for the pool area; 15 on the deck
29. Warehouses	500
30. All Others	100

Source: California Building Code (1998), Table 10-A

Table C1

Occupancy Levels—California Building Code

NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influent area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances can vary from person to person. You may wish to consider what airport annoyances, if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)



Mail Processing Center
 Federal Aviation Administration
 Southwest Regional Office
 Obstruction Evaluation Group
 2601 Meacham Boulevard
 Fort Worth, TX 76137

Aeronautical Study No.
 2011-AWP-3981-OE

Issued Date: 08/09/2011

Dave Drake
 Trammell Crow Company
 4 Park Plaza, Suite 700
 Irvine, CA 92614

**** DETERMINATION OF NO HAZARD TO AIR NAVIGATION ****

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure:	Building Building A
Location:	Moreno Valley, CA
Latitude:	33-51-50.25N NAD 83
Longitude:	117-15-51.55W
Heights:	40 feet above ground level (AGL) 1575 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be completed and returned to this office any time the project is abandoned or:

- At least 10 days prior to start of construction (7460-2, Part I)
- Within 5 days after the construction reaches its greatest height (7460-2, Part II)

Based on this evaluation, marking and lighting are not necessary for aviation safety. However, if marking/lighting are accomplished on a voluntary basis, we recommend it be installed and maintained in accordance with FAA Advisory circular 70/7460-1 K Change 2.

The structure considered under this study lies in proximity to an airport and occupants may be subjected to noise from aircraft operating to and from the airport.

This determination expires on 02/09/2013 unless:

- (a) extended, revised or terminated by the issuing office.
- (b) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within 6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE E-FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.

This determination is based, in part, on the foregoing description which includes specific coordinates , heights, frequency(ies) and power . Any changes in coordinates , heights, and frequencies or use of greater power will void this determination. Any future construction or alteration , including increase to heights, power, or the addition of other transmitters, requires separate notice to the FAA.

This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

Any failure or malfunction that lasts more than thirty (30) minutes and affects a top light or flashing obstruction light, regardless of its position, should be reported immediately to (877) 487-6867 so a Notice to Airmen (NOTAM) can be issued. As soon as the normal operation is restored, notify the same number.

If we can be of further assistance, please contact our office at (310) 725-6557. On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2011-AWP-3981-OE.

Signature Control No: 145144647-147434045

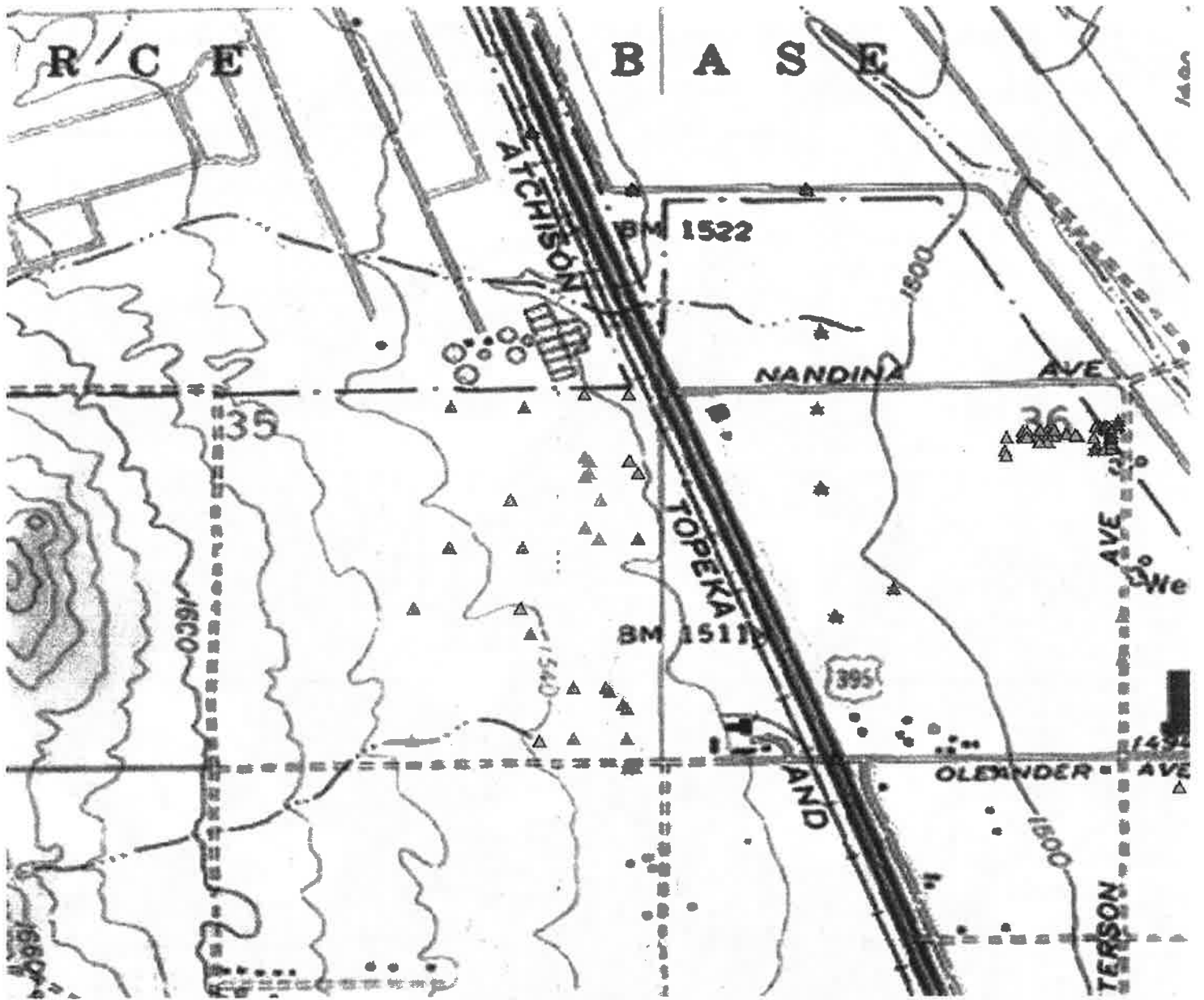
(DNE)

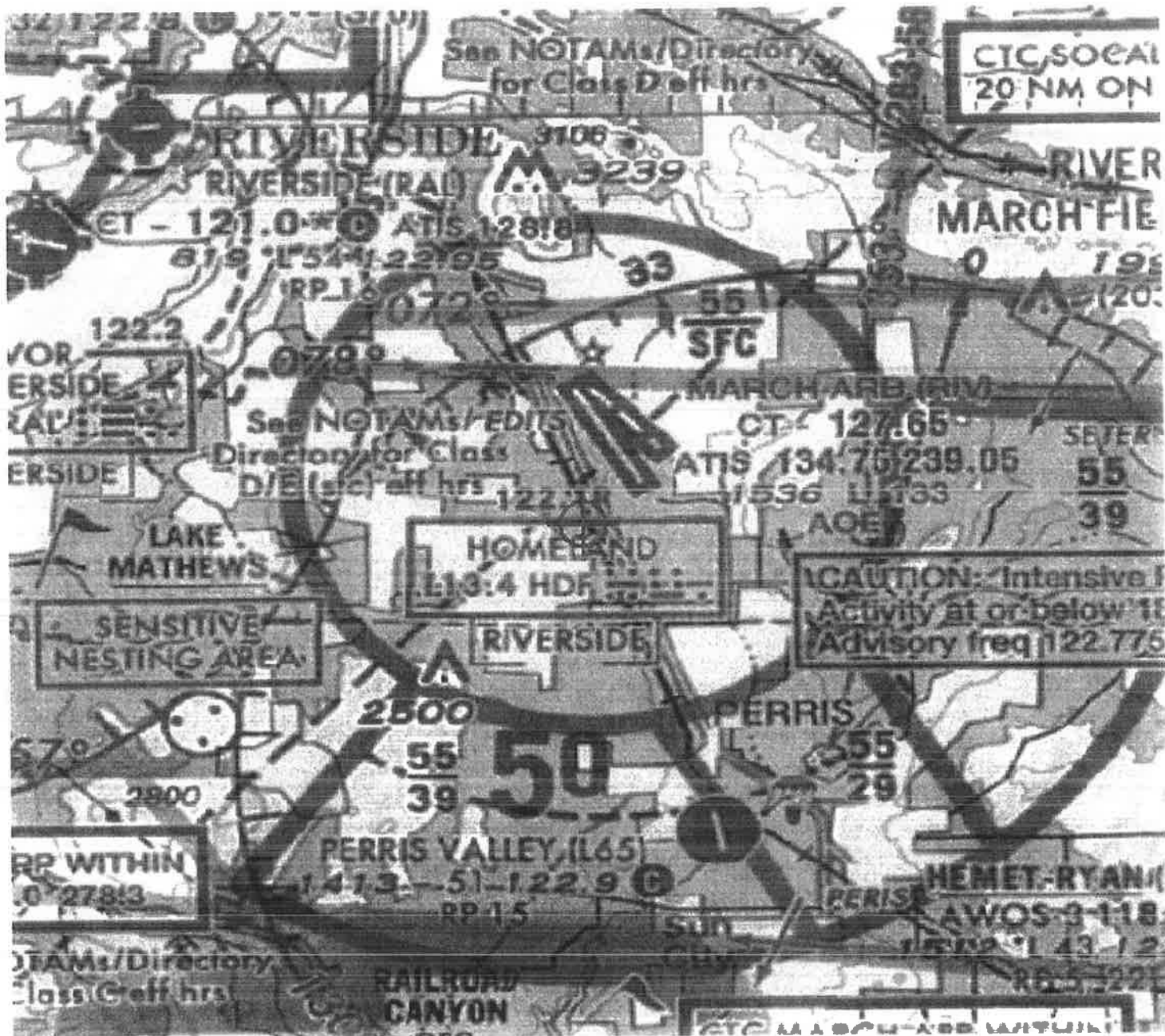
Karen McDonald
Specialist

Attachment(s)
Case Description
Map(s)

Case Description for ASN 2011-AWP-3981-OE

Project proposes the construction of a 391,010+/- s.f. warehouse building on vacant land







Mail Processing Center
 Federal Aviation Administration
 Southwest Regional Office
 Obstruction Evaluation Group
 2601 Meacham Boulevard
 Fort Worth, TX 76137

Aeronautical Study No.
 2011-AWP-3982-OE

Issued Date: 08/09/2011

Dave Drake
 Trammell Crow Company
 4 Park Plaza, Suite 700
 Irvine, CA 92614

**** DETERMINATION OF NO HAZARD TO AIR NAVIGATION ****

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure:	Building Building B
Location:	Moreno Valley, CA
Latitude:	33-51-50.19N NAD 83
Longitude:	117-15-45.31W
Heights:	40 feet above ground level (AGL.)
	1567 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be completed and returned to this office any time the project is abandoned or:

- At least 10 days prior to start of construction (7460-2, Part I)
- Within 5 days after the construction reaches its greatest height (7460-2, Part II)

Based on this evaluation, marking and lighting are not necessary for aviation safety. However, if marking/lighting are accomplished on a voluntary basis, we recommend it be installed and maintained in accordance with FAA Advisory circular 70/7460-1 K Change 2.

The structure considered under this study lies in proximity to an airport and occupants may be subjected to noise from aircraft operating to and from the airport.

This determination expires on 02/09/2013 unless:

- (a) extended, revised or terminated by the issuing office.
- (b) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within 6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE E-FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.

This determination is based, in part, on the foregoing description which includes specific coordinates , heights, frequency(ies) and power . Any changes in coordinates , heights, and frequencies or use of greater power will void this determination. Any future construction or alteration , including increase to heights, power, or the addition of other transmitters, requires separate notice to the FAA.

This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

Any failure or malfunction that lasts more than thirty (30) minutes and affects a top light or flashing obstruction light, regardless of its position, should be reported immediately to (877) 487-6867 so a Notice to Airmen (NOTAM) can be issued. As soon as the normal operation is restored, notify the same number.

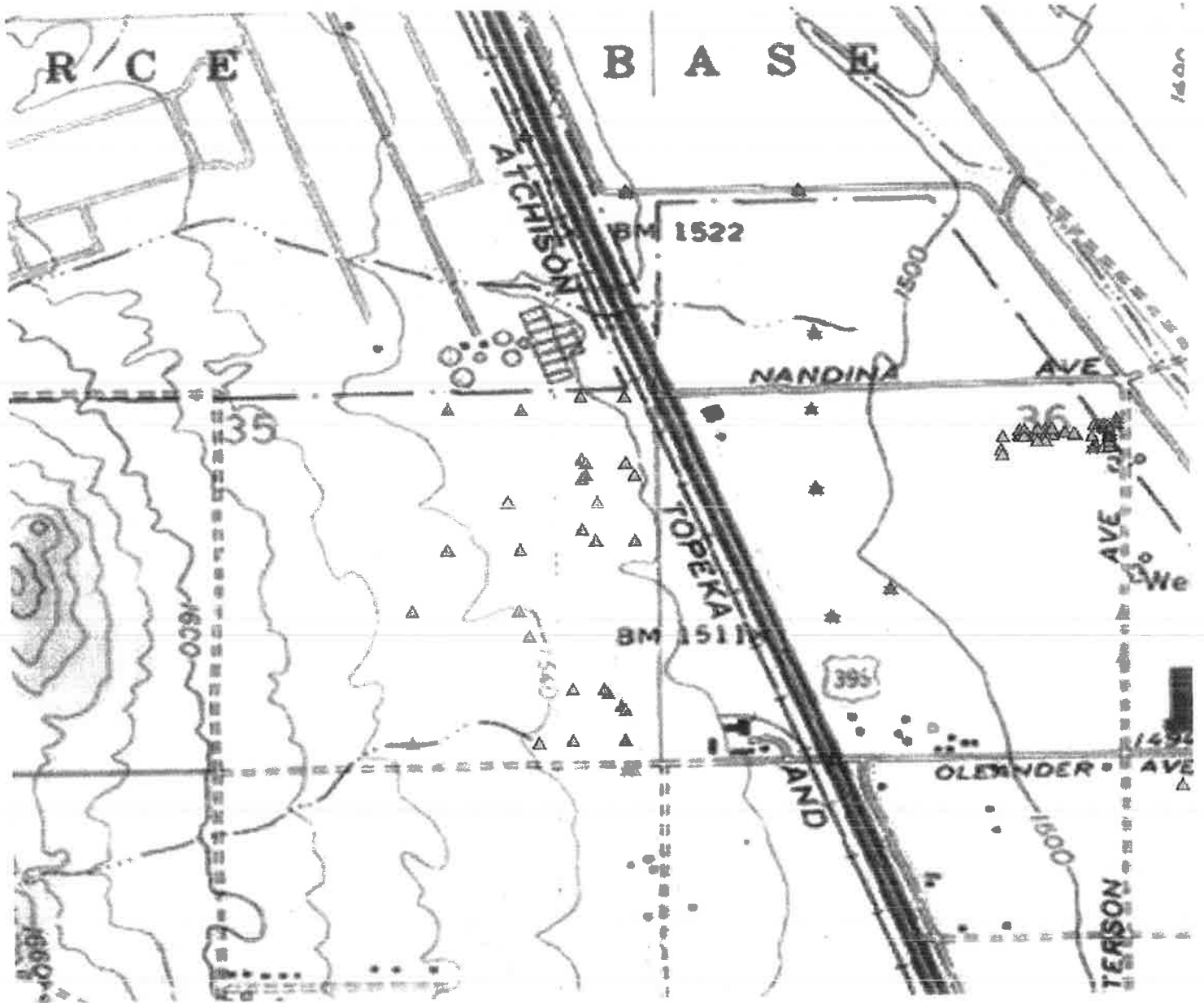
If we can be of further assistance, please contact our office at (310) 725-6557. On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2011-AWP-3982-OE.

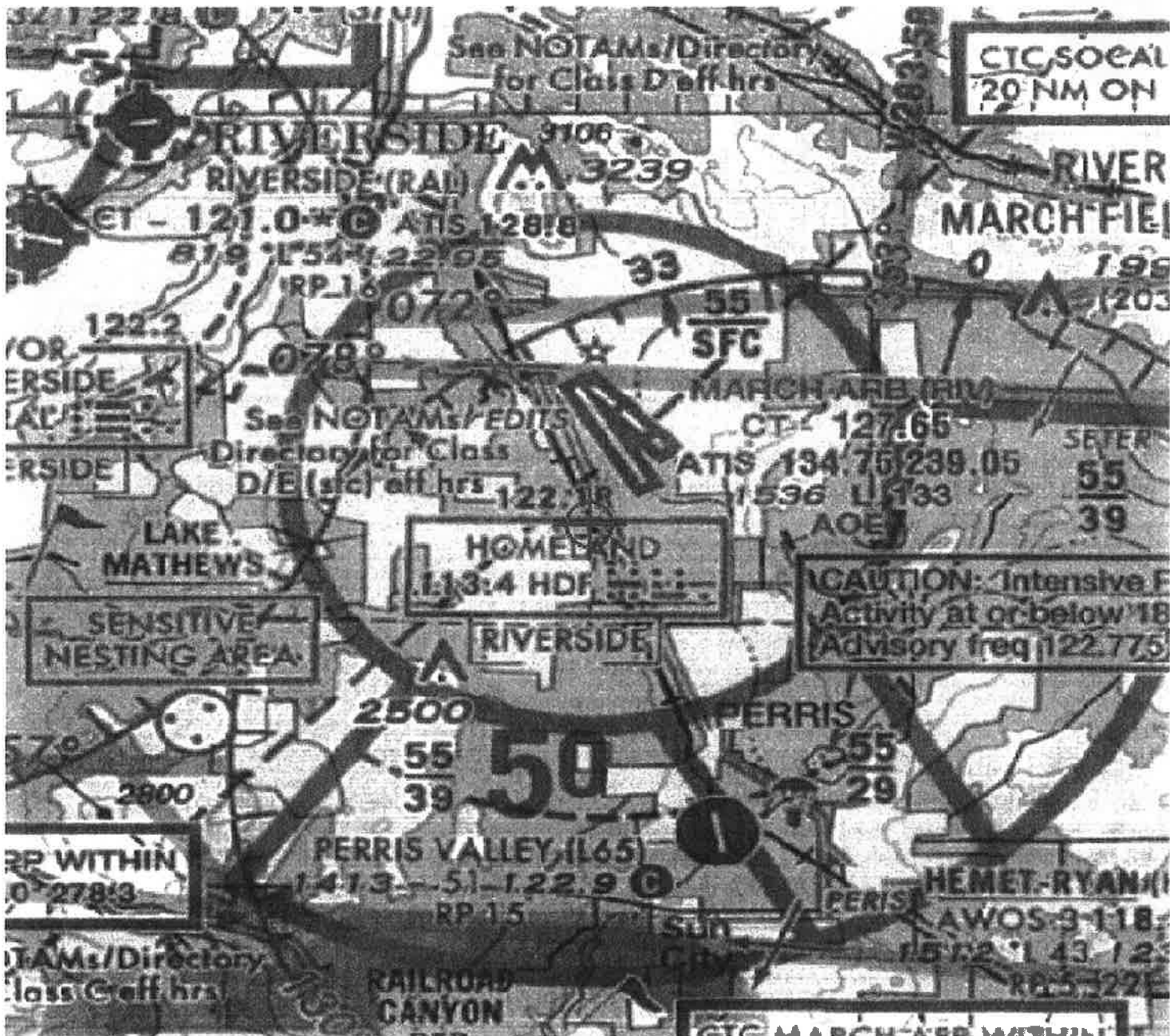
Signature Control No: 145144649-147434043
Karen McDonald
Specialist

(DNE)

Attachment(s)
Case Description
Map(s)

Project proposes construction of a 137,960 +/- s.f. warehouse building on vacant land







Mail Processing Center
 Federal Aviation Administration
 Southwest Regional Office
 Obstruction Evaluation Group
 2601 Meacham Boulevard
 Fort Worth, TX 76137

Aeronautical Study No.
 2011-AWP-3983-OE

Issued Date: 08/09/2011

Dave Drake
 Trammell Crow Company
 4 Park Plaza, Suite 700
 Irvine, CA 92614

**** DETERMINATION OF NO HAZARD TO AIR NAVIGATION ****

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure:	Building Building C
Location:	Moreno Valley, CA
Latitude:	33-51-36.35N NAD 83
Longitude:	117-15-50.20W
Heights:	40 feet above ground level (AGL) 1590 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be completed and returned to this office any time the project is abandoned or:

- At least 10 days prior to start of construction (7460-2, Part I)
- Within 5 days after the construction reaches its greatest height (7460-2, Part II)

Based on this evaluation, marking and lighting are not necessary for aviation safety. However, if marking/lighting are accomplished on a voluntary basis, we recommend it be installed and maintained in accordance with FAA Advisory circular 70/7460-1 K Change 2.

The structure considered under this study lies in proximity to an airport and occupants may be subjected to noise from aircraft operating to and from the airport.

This determination expires on 02/09/2013 unless:

- (a) extended, revised or terminated by the issuing office.
- (b) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within 6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE E-FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.

This determination is based, in part, on the foregoing description which includes specific coordinates , heights, frequency(ies) and power . Any changes in coordinates , heights, and frequencies or use of greater power will void this determination. Any future construction or alteration , including increase to heights, power, or the addition of other transmitters, requires separate notice to the FAA.

This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

Any failure or malfunction that lasts more than thirty (30) minutes and affects a top light or flashing obstruction light, regardless of its position, should be reported immediately to (877) 487-6867 so a Notice to Airmen (NOTAM) can be issued. As soon as the normal operation is restored, notify the same number.

If we can be of further assistance, please contact our office at (310) 725-6557. On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2011-AWP-3983-OE.

Signature Control No: 145144651-147434044

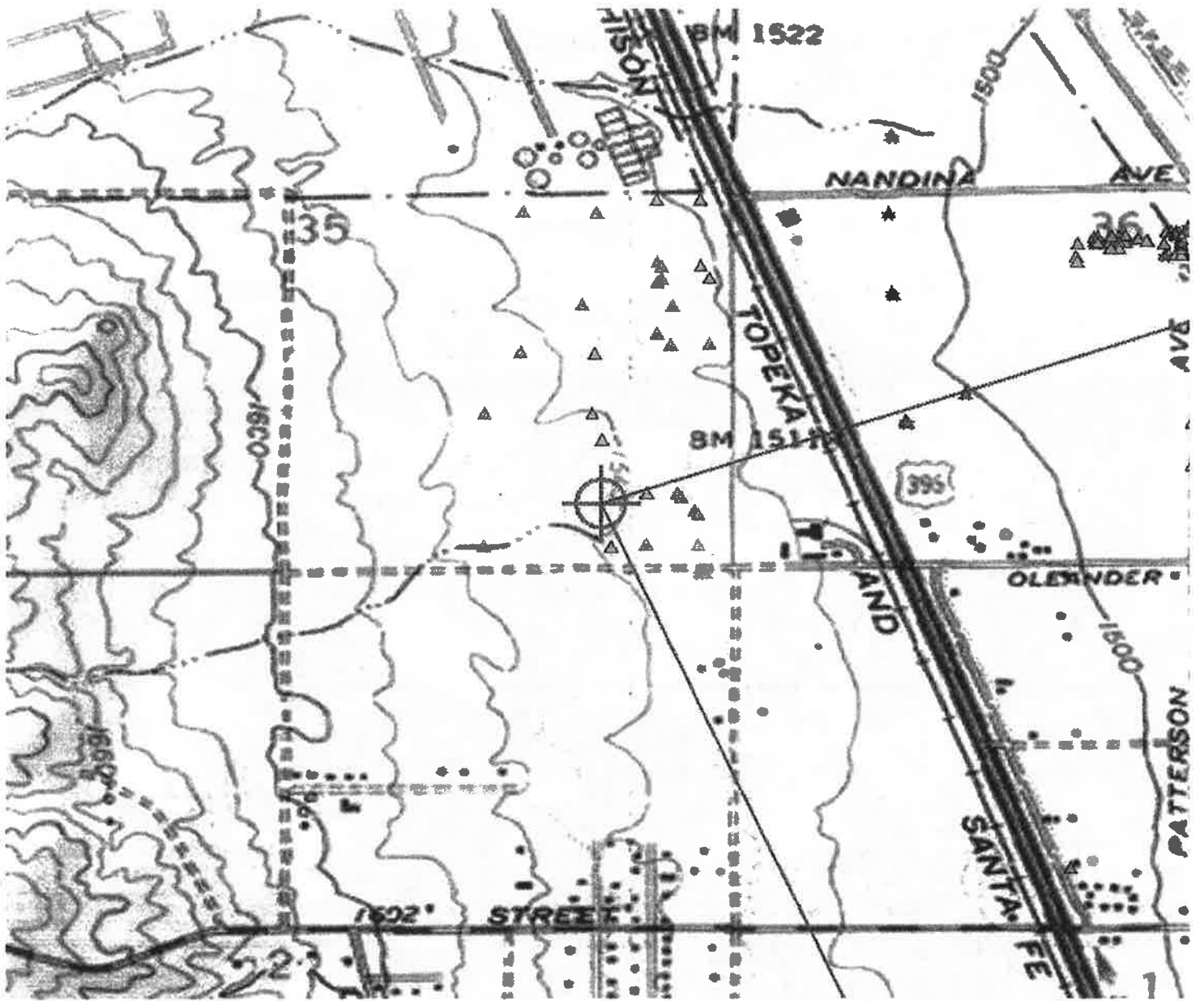
(DNE)

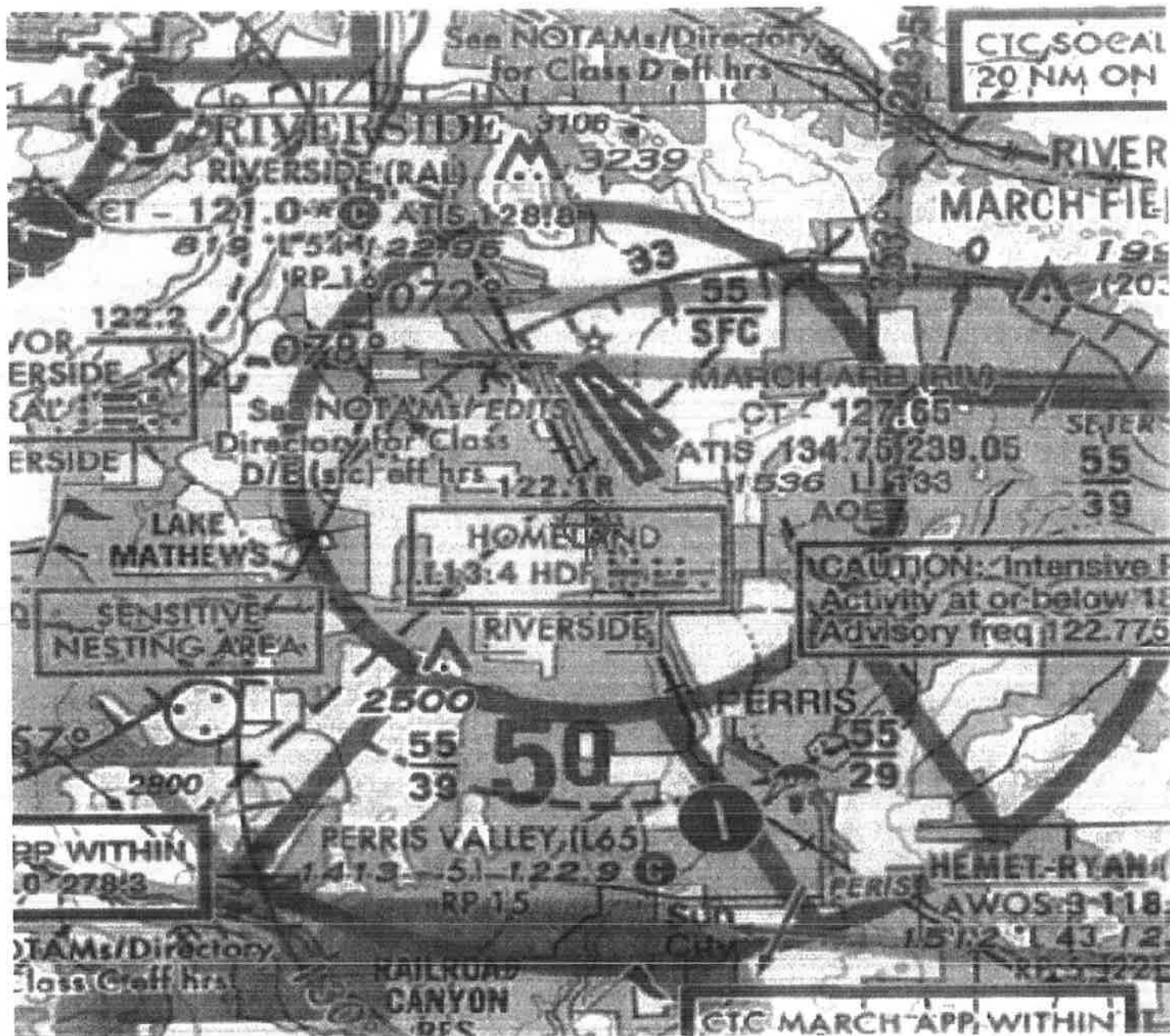
Karen McDonald
Specialist

Attachment(s)
Case Description
Map(s)

Case Description for ASN 2011-AWP-3983-OE

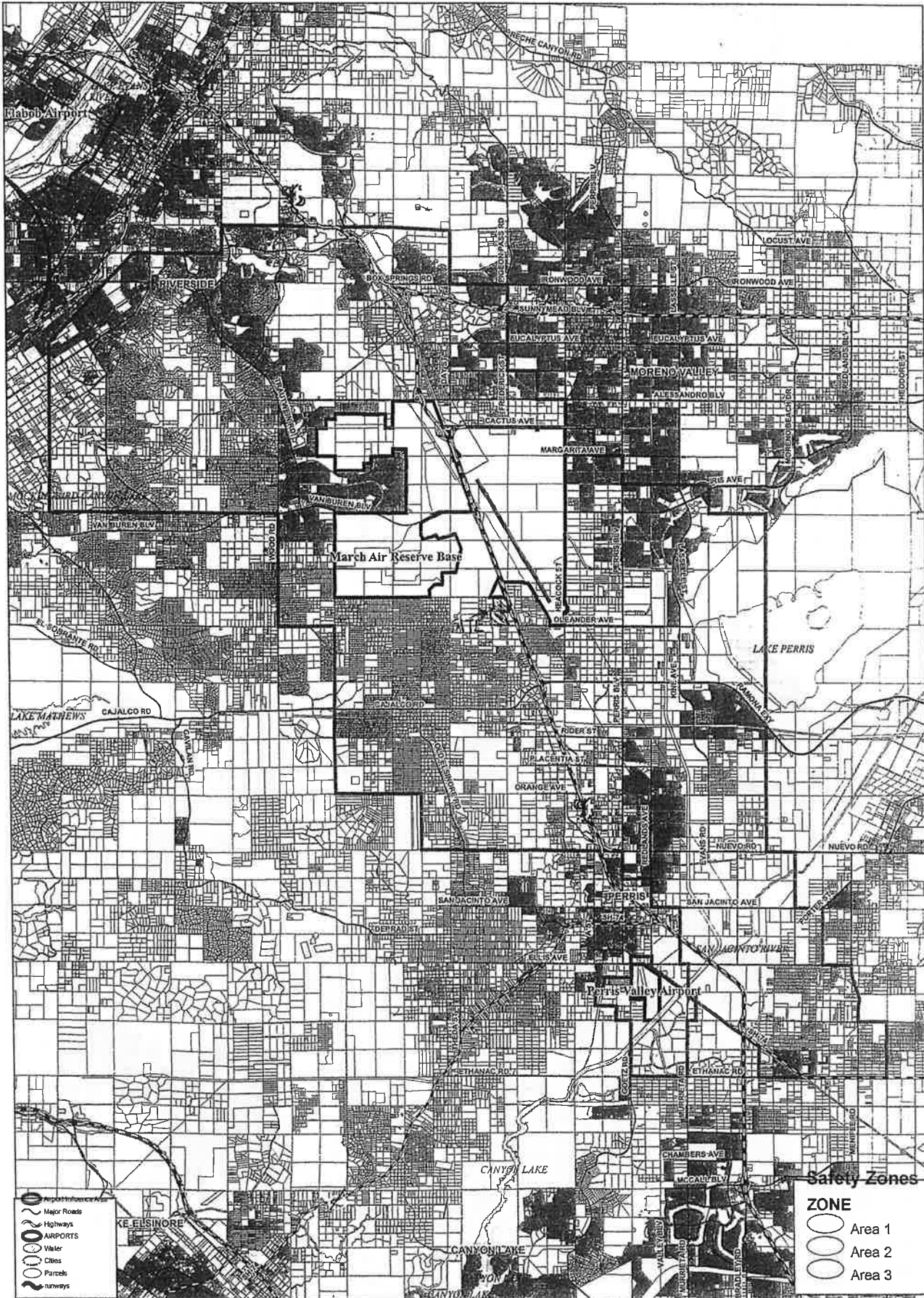
Project proposes construction of a 676,690 +/- s.f. warehouse building on vacant land





Riverside County Airports

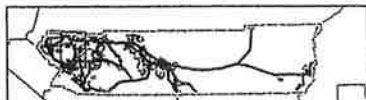
March Air Reserve Base



Safety Zones

ZONE

- Area 1
- Area 2
- Area 3



E The County of Riverside assumes no warranty, or legal responsibility for the information contained on this map. Data and information presented on this map is subject to updates, modifications and may not be complete or accurate for all purposes. County GIS and other services provided by contract for the most current information. Do not rely on this map.



**March Air Reserve Base / Inland Port Airport
Joint Land Use Study**
(December 2010)

Exhibit 3-3

Compatibility Map

March Air Reserve Base / Inland Port Airport



Date: May 12, 2011

Re: Project Narrative for Knox Logistics Center
Fast Track for Revised Plot Plan #20699R1

Project Description

This Fast Track project located at the northeast, northwest and southwest center of Harley Knox Boulevard and Harvill Avenue in the Mead Valley Area of the County of Riverside, California. A Plot Plan and Tentative Parcel Map are currently approved on the site (PP #20699 and TPM#33942) along with a Certified EIR #485. The new owner and applicant, Trammel Crow Company, is submitting an application to revised the plot plan (Revised Plot Plan #20699R1) to reduce the number of buildings from the five buildings totaling 1,206,710 s.f. originally approved under PP#20699 (copy attached) to three buildings totaling 1,206,710 s.f. (Building A: 391,360 s.f.; Building B: 138,660 s.f.; Building C: 676,690 s.f.). Since this project is only proposing 3 buildings each on three existing parcels, a Revised Tentative Parcel Map will not be part of this application.

At this time, these are spec buildings. No users have been identified at this time. Changes to the project are driven by current market condition, and projections for demand in future:

Minor changes to the driveway locations have been made to accommodate following:

- Relocation of Building A truck court to the west rather than along Harvill eliminating access onto Harvill Avenue and adding one access point on Harley Knox;
- As a result of combining the two smaller buildings along the freeway into one 138,660 s.f. building (Building B), the number of access points on Harvill Avenue on now 2 rather than 3;
- Former Building C and D have been combined into one 676,690 s.f. building (Building C), but access points are relatively the unchanged.

In addition, the revised plot plan has incorporated the County's expanded intersection design. As well as provided for a community trail along the west side of Harvill Ave. continuing west along the south side of Harley Knox Blvd.

Corporate Headquarters
3788 McCray Street | Riverside, CA 92506
T: 951.686.1070 | F: 951.788.1256

Desert Region
36951 Cook Street #103 | Palm Desert, CA 92211
T: 760.568.5005 | F: 760.568.3443

A large detention basin at the northwest corner of Harvill Ave and Old Oleander Ave. will facilitate the treatment of runoff from the largest Building C. The project also proposes the use of detention basins for water quality and drainage purposes, including multiple detention basins to the south and north of Building B. A drainage easement exists along the northerly portion of Building A, parallel to Nandina Avenue, and along the northerly and easterly portions of Building B extending under the I-215 freeway. An earthen channel is proposed within this easement to protect the project from off-site flows. Please refer to the Preliminary Water Quality Plan, which includes a Preliminary Drainage Study, for specific information.

The developer wishes to enhance the aesthetics of this project, particularly along the I-215 freeway. Enhanced treatment has been given to the architecture, landscaping and screen wall treatment to areas visible from the freeway. Landscaped frontages and detention basins will also soften the appearance of these structures from the freeway and surrounding streets.

Hours of Operation

These are spec buildings. Therefore the hours of operation are unknown at this time, but typical hours for warehouse operation of this type is 6 a.m. through 5 p.m, Monday through Friday.

Number of Daily Vehicle Trips

The Average Daily Vehicle Trips are estimated to be 7,481. Please see attached letter prepared by Webb Associates' Traffic Engineer.

Types of Equipment and Commodities to be Stored on the Property

Spec building. Unknown at this time.

Vehicle and Equipment Maintenance to be Performed on the Property

No vehicle or equipment maintenance is anticipated as part of this project.

Occupancy Classification of the Proposed Structures

Occupancy Classification is Office and Warehouse : B & S-1

Water Purveyor

Eastern Municipal Water District

2270 Trumble Road

Perris, CA 92570

(951) 928-3777

Planning Department
County of Riverside
4080 Lemon Street
Riverside, California 92502

May 17th, 2011

Re: Knox Logistics Center Development

Gentlemen,

Trammell Crow Company in cooperation with the County of Riverside and our Design Team has taken on the challenge of transforming Knox Logistics Center (a site formerly owned by ProLogis and approved by the County as PP#20699) into a state of the art industrial facility specifically designed to attract high quality tenants and employers. In determining the ideal mix of building sizes and project attributes, our Design Team spent substantial time and effort discussing the project with potential users, tenant representatives, architects, engineers, industrial brokers and most importantly - County Staff, to determine the criterion that would result in a "best in class" industrial facility. Cheap merchant builder solutions are not acceptable to Trammell Crow instead, we are focused on high quality projects designed to be held long term by our institutional investors. To be successful in today's challenging market, project design must reflect current trends in the Southern California industrial market and not the formulas that were utilized in the last decade. We have migrated away from a focus on smaller buildings that frequently failed to lease during the last cycle due to the inefficient operation of these facilities as well as the excess inventory in the Western Valley. Current demand through the foreseeable future is for consolidation in larger state of the art facilities such as what we are presenting. We are proud to introduce a project guided not by what worked in the past, but in anticipation of the quality and functionality that will be demanded in 2012 and beyond. With these goals in mind, the following features were integrated into our development:

Project Appearance

Site plan layout is very important to our Design Team: presenting a strong corporate look that still integrates the natural attributes of the property to the greatest advantage. Building A was rotated 180 degrees making this facility a "rear loader" with the trucking activity oriented away from Harvell Ave and the I-215 Freeway view. Building B was moved to the south and a large attractive landscaping and natural water quality detention basin feature was situated adjacent to the northeast freeway frontage. Upgraded screening and hardscape features are proposed to additionally buffer the truck court areas based on extensive studies performed on how to best integrate landscaping with the screen wall elements. Building C was slightly expanded due to the elimination of a building proposed on the corner of Harvill Ave and Old Oleander Ave (formerly Building D). This building shall be replaced with another significant landscape and water quality detention basin feature similar to that being proposed at the northeast corner of the project (north of Building B). We are also integrating extensive perimeter landscaping with the screen walls to complement the overall project appearance.

We are proposing, what we believe are, significant upgrades to the building elevations from the previous proposal by incorporating additional materials, wall panel complexity (reveals and changes in elevation), overhangs/covered entries, lighting features and enhanced color schemes to distinguish this development from other projects in the area. We absolutely want this project to be the standout design and a benchmark for great industrial projects in the County of Riverside and Southern California.

Industrial Users

With the assistance of our project advisors and consultants and extensive dialogue with industrial users, we agreed that to attract top quality tenants, this project needed to include up-sized electrical, data and utility capacity to support potential manufactures and provide the maximum flexibility to bring these high value users to the County of Riverside. Buildings A is designed with a base electrical service capacity of 8,000 Amps of connected load, Building B is sized for 4,000 Amps and Building C is sized for 12,000 Amps. In addition to higher power capacities the project shall include fiber optic capability, as well as above standard water and sewer services. This updated project will also utilize a top of the line ESFR fire protection system on all buildings that the old design did not include due to the increased cost. While the features listed above are significantly above standard, an even larger capacity for electrical power could be accommodated if a prospective user should so require.

Another significant improvement to the previous site plan includes the incorporation of substantial auto parking, without counting truck trailer stalls, to meet the County mandated car stall requirements. Building C was specifically modified to incorporate a significant amount of "secured" auto parking - which is in high demand by manufacturers and electronic related firms.

Interior building features shall also include a number of items not found in older projects including extended office areas to accommodate significant tenant improvements, rooftop photovoltaic capability, mechanical ventilation, 3% minimum skylights in industrial/manufacturing areas. LEED design guidelines are being incorporated to reduce energy and utility cost (reduced energy & resource consumption is very important to industrial users in the current market and is a critical component in the building selection).

Trammell Crow does not permit exterior storage in areas visible to the public and will not allow this from the I-215 freeway or along Harvill Ave. Chemical plants and facilities that manufacture products dangerous to the environment are also not permitted under the terms of our leases (Trammell Crow Company is a leader in property management on environmental issues and consults numerous other firms on these issues).

Project Data

To further define the proposed project, the following is a brief comparison of the previously approved design and the currently proposed design:

- Project Area: 65 acres gross (equivalent to previous design)
- Building Area: 1,206,710 Square Feet (equivalent to previous design)
- Designated Office Area: 40,000 SF vs. the original 34,000 SF
- Auto Parking: 890 passenger cars vs. original 720 car stalls (truck trailer stalls were counted in the original design)
- Truck doors: 168 truck doors vs. the original design of 176 truck doors
- Landscaping: 19% vs. the original 15%
- Expanded intersection design at Harvill Ave & Harley Knox Ave as designed by the Riverside County Transportation Department (not in original design)

Trammell Crow Company views this project as a unique opportunity to establish a benchmark in industrial building design and the response from our discussions with the County of Riverside has been instrumental in our decision to invest in the property. While we are still incorporating additional design solutions into the project we truly look forward to working with those departments in the County that wish to participate in the specifications that will be used on this and other development projects our firm is contemplating in the area. Please feel free to contact me to discuss this exciting new project and our mandate to create the "best in class" facilities in Riverside County.

Sincerely,

A handwritten signature in black ink, appearing to read "David Drake", with a long horizontal flourish extending to the right.

David Drake
Senior Vice President
Trammell Crow Company

Memo Item #2

Condition Of Approval 10.PLANNING.42

PLOT PLAN:TRANSMITTED Case #: PP20699R1

Parcel: 295-310-052

10. GENERAL CONDITIONS

PLANNING DEPARTMENT

10.PLANNING. 42

USE - ALUC MITIGATION

RECOMMND

The project shall comply with the following mitigation measures, pursuant to the August 10, 2011 review of the Airport Land Use Commission:

1. Prior to the issuance of building permits, the landowner shall convey an avigation easement to the March Inland Port Airport Authority. (Contact March Joint Powers Authority at (951) 656-7000 for additional information.)

2. Any outdoor lighting installed shall be hooded or shielded to prevent either the spillage of lumens or reflection into the sky, and shall comply with Ordinance No. 655, as applicable. Outdoor lighting shall be downward facing.

3. The following uses shall be prohibited:

(a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.

(b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.

(c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, artificial marshes, wastewater management facilities, composting operations, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)

(d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.

PLOT PLAN:TRANSMITTED Case #: PP20699R1

Parcel: 295-310-052

10. GENERAL CONDITIONS

10.PLANNING. 42 USE - ALUC MITIGATION (cont.)

RECOMMND

(e) Children's schools, day care centers, libraries, hospitals, nursing homes, places of assembly, aboveground bulk storage of hazardous materials (and/or more than 6,000 gallons of flammable materials), and highly noise-sensitive outdoor nonresidential uses.

4. This finding of consistency pertains to the use of the proposed buildings for office, manufacturing, and warehousing activities. Any proposal for use of any portion of these buildings for uses that would be considered to have an occupancy level greater than one person per 100 square feet (minimum square feet per occupant less than 100) shall be subject to further review by the Airport Land Use Commission. (See attached table.)

5. The attached notice shall be provided to all potential purchasers and tenants.

6. Any ground-level or aboveground water retention or detention basin or facilities shall be designed so as to provide for a detention period for the design storm that does not exceed 48 hours and to remain totally dry between rainfalls. Vegetation in and around such facilities that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping. Landscaping shall utilize plant species that do not produce seeds, fruits, or berries. Trees shall be spaced so as to prevent large expanses of contiguous canopy, when mature.

7. Prior to issuance of building permits, the project developer shall submit to Riverside County Planning Department and Airport Land Use Commission staff evidence that the Federal Aviation Administration has issued a determination of "Not a Hazard to Air Navigation" for the proposed facility. [This condition shall be considered "MET." See attached letters.]

The following conditions have been added pursuant to the terms of the FAA Obstruction Evaluation Service letters issued on August 9, 2011 for Aeronautical Study Nos. 2011-AWP-3981-OE, 2011-AWP-3982-OE, and 2011-AWP-3983-OE:

8. The Federal Aviation Administration has conducted aeronautical studies of each proposed building location

08/16/11
09:21

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 3

PLOT PLAN:TRANSMITTED Case #: PP20699R1

Parcel: 295-310-052

10. GENERAL CONDITIONS

10.PLANNING. 42

USE - ALUC MITIGATION (cont.) (cont.)

RECOMMND

(Aeronautical Study Nos. 2011-AWP-3981-OE, 2011-AWP-3982-OE, and 2011-AWP-3983-OE) and has determined that neither marking nor lighting of the proposed structures is necessary for aviation safety. However, if marking and/or lighting for aviation safety are accomplished on a voluntary basis, such marking and/or lighting (if any) shall be installed in accordance with FAA Advisory Circular 70/7460-1 K Change 2 and shall be maintained in accordance therewith for the life of the project.

9.The maximum height of each building, including all roof-mounted appurtenances (if any), shall not exceed 40 feet above ground level. The maximum elevation at the top of Building A shall not exceed 1,575 feet above mean sea level. The maximum elevation at the top of Building B shall not exceed 1,567 feet above mean sea level. The maximum elevation at the top of Building C shall not exceed 1,590 feet above mean sea level.

10.Within five (5) days after construction reaches its greatest height, FAA Form 7460-2, Notice of Actual Construction or Operation, shall be completed by the project proponent or his/her designee and submitted to the Federal Aviation Administration Southwest Regional Office Obstruction Evaluation Group, 2601 Meacham Boulevard, Fort Worth TX 76137. The requirement for submittal is also applicable in the event the project is abandoned.

11.The specific coordinates, height, and top point elevations of the proposed buildings shall not be amended without further review by the Airport Land Use Commission and the Federal Aviation Administration; provided, however, that reduction in building height or elevation shall not require further review by the Airport Land Use Commission.

12.Temporary construction equipment used during actual construction of the buildings shall not exceed the height of the proposed buildings (40 feet above ground level), unless separate notice is provided to the Federal Aviation Administration through the Form 7460-1 process.

**Riverside County Board of Supervisors
Request to Speak**



Submit request to Clerk of Board (right of podium),
Speakers are entitled to three (3) minutes, subject
Board Rules listed on the reverse side of this form.

SPEAKER'S NAME: Matt Webb

Address: 3708 McCray St.
(only if follow-up mail response requested)

City: Riv **Zip:** 92506

Phone #: 951-830-5741

Date: 8/16/11 **Agenda #** 16.2

PLEASE STATE YOUR POSITION BELOW:

Position on "Regular" (non-appealed) Agenda Item:

Support **Oppose** **Neutral**

Note: If you are here for an agenda item that is filed
for "Appeal", please state separately your position on
the appeal below:

Support **Oppose** **Neutral**

I give my 3 minutes to: _____

NOTICE OF PUBLIC HEARING BEFORE THE BOARD OF SUPERVISORS OF RIVERSIDE COUNTY ON A FAST TRACK PLOT PLAN REVISED PERMIT IN THE MARCH ZONING AREA – MEAD VALLEY AREA PLAN, FIRST SUPERVISORIAL DISTRICT AND NOTICE OF INTENT TO CERTIFY AN ENVIRONMENTAL IMPACT REPORT

NOTICE IS HEREBY GIVEN that a public hearing at which all interested persons will be heard, will be held before the Board of Supervisors of Riverside County, California, on the 1st Floor Board Chambers, County Administrative Center, 4080 Lemon Street, Riverside, on **Tuesday, August 16, 2011 at 1:30 P.M.** to consider the application submitted by David Drake, Trammel Crow Company – Albert A. Webb Associates, on **Plot Plan No. 20699, Revised Permit No. 1 (Fast Track 2011-05)**, which proposes to develop 3 warehousing and distribution industrial buildings with a total building area of 1,205,660 square feet with 40,000 square feet of office space, 1,165,660 square feet of warehouse space, 831 parking spaces, 196 trailer parking spaces and 168 loading docks (“the project”). The project is located northerly of Old Oleander Avenue, southerly of Nandina Avenue, easterly of Blanding Way and westerly of Interstate Highway 215 in the March Zoning Area – Mead Valley Area Plan, First Supervisorial District.

The Planning Department approved the project, found that the environmental effects have been addressed and recommended the certification of **Environmental Impact Report No. 485**.

The project case file may be viewed from the date of this notice until the public hearing, Monday through Thursday, from 7:30 a.m. to 5:30 p.m. at the Clerk of the Board of Supervisors, 1ST Floor, and at the Riverside County Planning Department, 12th Floor, at 4080 Lemon Street, Riverside, California 92501.

FOR FURTHER INFORMATION REGARDING THIS PROJECT, PLEASE CONTACT CHRISTIAN HINOJOS, PROJECT PLANNER, AT (951) 955-0972 OR EMAIL chinojos@rctlma.org.

Any person wishing to testify in support of or in opposition to the project may do so in writing between the date of this notice and the public hearing, or may appear and be heard at the time and place noted above. All written comments received prior to the public hearing will be submitted to the Board of Supervisors and the Board of Supervisors will consider such comments, in addition to any oral testimony, before making a decision on the project.

If you challenge the above item in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence to the Planning Commission or Board of Supervisors at, or prior to, the public hearing. Be advised that as a result of the public hearing and the consideration of all public comment, written and oral, the Board of Supervisors may amend, in whole or in part, the project and/or the related environmental document. Accordingly, the designations, development standards, design or improvements, or any properties or lands within the boundaries of the project, may be changed in a way other than specifically proposed.

Please send all written correspondence to Riverside County Clerk of the Board at 4080 Lemon Street, 1st Floor, P.O. Box 1147, Riverside, CA 92502-1147.

Dated: August 4, 2011

Kecia Harper-Ihem, Clerk of the Board
By: Cecilia Gil, Board Assistant

16-2 of 08-16-11

NOTICE OF PUBLIC HEARING BEFORE THE BOARD OF SUPERVISORS OF RIVERSIDE COUNTY ON A FAST TRACK PLOT PLAN REVISED PERMIT IN THE MARCH ZONING AREA – MEAD VALLEY AREA PLAN, FIRST SUPERVISORIAL DISTRICT AND NOTICE OF INTENT TO CERTIFY AN ENVIRONMENTAL IMPACT REPORT

NOTICE IS HEREBY GIVEN that a public hearing at which all interested persons will be heard, will be held before the Board of Supervisors of Riverside County, California, on the 1st Floor Board Chambers, County Administrative Center, 4080 Lemon Street, Riverside, on **Tuesday, August 16, 2011 at 1:30 P.M.** to consider the application submitted by David Drake, Trammel Crow Company – Albert A. Webb Associates, on **Plot Plan No. 20699, Revised Permit No. 1 (Fast Track 2011-05)**, which proposes to develop 3 warehousing and distribution industrial buildings with a total building area of 1,205,660 square feet with 40,000 square feet of office space, 1,165,660 square feet of warehouse space, 831 parking spaces, 196 trailer parking spaces and 168 loading docks (“the project”). The project is located northerly of Old Oleander Avenue, southerly of Nandina Avenue, easterly of Blanding Way and westerly of Interstate Highway 215 in the March Zoning Area – Mead Valley Area Plan, First Supervisorial District.

The Planning Department approved the project, found that the environmental effects have been addressed and recommended the certification of **Environmental Impact Report No. 485**.

The project case file may be viewed from the date of this notice until the public hearing, Monday through Thursday, from 7:30 a.m. to 5:30 p.m. at the Clerk of the Board of Supervisors, 1ST Floor, and at the Riverside County Planning Department, 12th Floor, at 4080 Lemon Street, Riverside, California 92501.

FOR FURTHER INFORMATION REGARDING THIS PROJECT, PLEASE CONTACT CHRISTIAN HINOJOS, PROJECT PLANNER, AT (951) 955-0972 OR EMAIL chinojos@rctlma.org.

Any person wishing to testify in support of or in opposition to the project may do so in writing between the date of this notice and the public hearing, or may appear and be heard at the time and place noted above. All written comments received prior to the public hearing will be submitted to the Board of Supervisors and the Board of Supervisors will consider such comments, in addition to any oral testimony, before making a decision on the project.

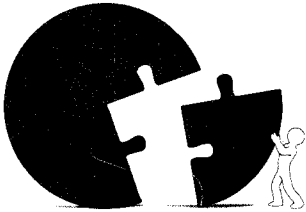
If you challenge the above item in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence to the Planning Commission or Board of Supervisors at, or prior to, the public hearing. Be advised that as a result of the public hearing and the consideration of all public comment, written and oral, the Board of Supervisors may amend, in whole or in part, the project and/or the related environmental document. Accordingly, the designations, development standards, design or improvements, or any properties or lands within the boundaries of the project, may be changed in a way other than specifically proposed.

Please send all written correspondence to Riverside County Clerk of the Board at 4080 Lemon Street, 1st Floor, P.O. Box 1147, Riverside, CA 92502-1147.

Dated: August 4, 2011

Kecia Harper-Ihem, Clerk of the Board
By: Cecilia Gil, Board Assistant

16-2 of 08-16-11



RIVERSIDE COUNTY
PLANNING DEPARTMENT

Carolyn Syms Luna
Director

DATE: August 3, 2011

TO: Clerk of the Board of Supervisors

FROM: Planning Department - Riverside Office

SUBJECT: PLOT PLAN NO. 20699, REVISED PERMIT NO. 1 (Fast Track Authorization No. 2011-05) – Intent to Certify Addendum No. 1 to Environmental Impact Report No. 485
(Charge your time to these case numbers)

The attached item(s) require the following action(s) by the Board of Supervisors:

- Place on Administrative Action (Receive & File; EOT)
 - Labels provided If Set For Hearing
 - 10 Day 20 Day 30 day
 - Place on Consent Calendar
 - Place on Policy Calendar (Resolutions; Ordinances; PNC)
 - Place on Section Initiation Proceeding (GPIP)
 - Set for Hearing (Legislative Action Required: CZ, GPA, SP, SPA)
 - Publish in Newspaper: (1st Dist) Press Enterprise
 - **SELECT CEQA Determination**
 - 10 Day 20 Day 30 day
 - Notify Property Owners (app/agencies/property owner labels provided)
- Controversial: YES NO

Designate Newspaper used by Planning Department for Notice of Hearing:
(1st Dist) Press Enterprise

Need Director's signature by 8/4/11
This item is pre scheduled for the August 16, 2011 BOS Agenda

Documents to be sent to County Clerk's Office for Posting within five days:
Notice of Determination
Fish & Game Receipt (CFG3707)

backup
16.2
8/16/11

RUSH

Riverside Office · 4080 Lemon Street, 12th Floor
P.O. Box 1409, Riverside, California 92502-1409
(951) 955-3200 · Fax (951) 955-1811

Desert Office · 38686 El Cerrito Road
Palm Desert, California 92211
(760) 863-8277 · Fax (760) 863-7555

"Planning Our Future... Preserving Our Past"

Agenda Item No.:
Area Plan: Mead Valley
Zoning District: March Area
Supervisory District: First
Project Planner: Christian Hinojosa
Board of Supervisors: August 16, 2011

PLOT PLAN NO. 20699, REVISED PERMIT NO. 1
(Fast Track No. 2011-05)
Addendum No. 1 to Environmental Impact
Report No. 485
Applicant: David Drake, Trammell Crow
Company
Engineer/Representative: Albert A. Webb
Associates

COUNTY OF RIVERSIDE PLANNING DEPARTMENT STAFF REPORT

PROJECT DESCRIPTION AND LOCATION:

This, the first Revised Permit to the approved Plot Plan, proposes to develop three (3) warehousing and distribution industrial buildings (Trammell Crow Business Center) with a total building area of 1,205,660 square feet with 40,000 square feet of office space, 1,165,660 square feet of warehouse space, 831 parking spaces, 196 trailer parking spaces and 168 loading docks on a 68.85 gross acre site.

Addendum No. 1 to Environmental Impact Report No. 485 has been prepared to inform decision-makers and the public that potential significant environmental effects have been analyzed in an earlier EIR with changes and additions for the proposed project, and would not result in significant effects on the environment with additional and/or revised mitigation measures.

The project site is located northerly of Old Oleander Avenue, southerly of Nandina Avenue, easterly of Blanding Way and westerly of Interstate Highway 215.

BACKGROUND:

Environmental Impact Report No. 485 analyzed the potential environmental impacts of Tentative Parcel Map No. 33942 and Plot Plan No. 20699 certified by the Riverside County Planning Commission on June 25, 2008.

Tentative Parcel Map No. 33942 was a Schedule 'E' subdivision of 68.85 gross acres into 7 industrial parcels ranging in size from 1.32 acres to 30.39 acres approved by the Riverside County Planning Commission on June 11, 2008.

Plot Plan No. 20699 proposed to develop five (5) warehousing and distribution industrial buildings (Oleander Business Park) with a total building area of 1,206,710 square feet with 34,000 square feet of office space, 1,172,710 square feet of warehouse space, 927 auto and trailer parking spaces and 176 loading docks on a 68.85 gross acre site approved by the Riverside County Planning Commission on June 11, 2008.

SUMMARY OF FINDINGS:

- | | |
|--------------------------|---|
| 1. Existing Land Use: | Vacant land |
| 2. Surrounding Land Use: | Water treatment plant to the north, vacant land to the south and west and industrial uses and Interstate Highway 215 to the east. |
| 3. Existing Zoning: | Industrial Park (I-P) |
| 4. Surrounding Zoning: | Rural Residential (R-R) to the north,
Manufacturing - Medium (M-M) and |

D.M.

5. General Plan Land Use: Manufacturing - Service Commercial (M-SC) to the south, Manufacturing - Medium (M-M) to the east and Manufacturing - Medium (M-M) and Industrial Park (I-P) to the west.
Community Development: Light Industrial (CD: LI) (0.25 - 0.60 Floor Area Ratio)
6. Surrounding General Plan Land Use: Community Development: Public Facilities (CD: PF) (< 0.60 Floor Area Ratio) to the north and Community Development: Light Industrial (CD: LI) (0.25 - 0.60 Floor Area Ratio) to the south, east and west.
7. Project Data: Total Gross Acreage: 68.85
Total Proposed Number of Buildings: 3
Total Proposed Building Area: 1,205,660 Square Feet
Total Proposed Parking Spaces: 831
Total Proposed Trailer Parking Spaces: 196
Total Proposed Loading Docks: 168
8. Environmental Concerns: See attached Addendum No. 1 to Environmental Impact Report No. 485

RECOMMENDATIONS:

CONSIDER THE ADDENDUM WITH ENVIRONMENTAL IMPACT REPORT NO. 485, which has been completed in compliance with the EIR Guidelines and Riverside County CEQA implementation procedures prior to making a decision on the project; and,

APPROVAL of **PLOT PLAN NO. 20699, REVISED PERMIT NO. 1**, subject to the attached conditions of approval, and based upon the findings and conclusions incorporated in the staff report.

CONCLUSIONS:

1. The proposed project is in conformance with the Community Development: Light Industrial (CD: LI) (0.25 - 0.60 Floor Area Ratio) land use designation, and with all other elements of the Riverside County General Plan.
2. The proposed project is consistent with the Industrial Park (I-P) zoning classification of Ordinance No. 348, and with all other applicable provisions of Ordinance No. 348.
3. The proposed project is compliant with the adopted policies and objectives of the I-215 Project Corridor Redevelopment Project Area (I-215; Mead Valley sub-area).
4. The proposed project is consistent with the provisions of the 1984 Riverside County Airport Land Use Plan, as applied to March Air Reserve Base.
5. The public's health, safety and general welfare are protected through project design.

6. The proposed project is clearly compatible with the present and future logical development of the area.
7. The proposed project will not preclude reserve design for the Western Riverside County Multiple Species Habitat Conservation Plan (WRCMSHCP).
8. The proposed project will not have a significant effect on the environment.

FINDINGS: The following findings are in addition to those incorporated in the summary of findings, and in attached Addendum No. 1 to Environmental Impact Report No. 485, which is incorporated herein by reference.

1. The project site is designated Community Development: Light Industrial (CD: LI) (0.25 - 0.60 Floor Area Ratio) on the Mead Valley Area Plan.
2. The Community Development: Light Industrial land use designation allows for a wide variety of industrial and related uses, including assembly and light manufacturing, repair and other service facilities, warehousing, distribution centers and supporting retail uses. The warehousing and distribution facility is an industrial land use.
3. The project site is surrounded by properties which are designated Community Development: Public Facilities (CD: PF) (< 0.60 Floor Area Ratio) to the north and Community Development: Light Industrial (CD: LI) (0.25 - 0.60 Floor Area Ratio) to the south, east and west.
4. The zoning for the subject site is Industrial Park (I-P).
5. The proposed use, warehousing and distribution facility, is permitted subject to approval of a plot plan in the Industrial Park (I-P) zone. Per Section 18.43 of Ordinance No. 348, Revised Permit means a modification of an approved permit which does not change the basic concept or use allowed by the original approval. The warehousing and distribution facility does not change the basic concept or use originally approved, warehousing and distribution facility.
6. The proposal, as designed, is consistent with the development standards set forth in the Industrial Park (I-P) zone.
7. The project site is surrounded by properties which are zoned Rural Residential (R-R) to the north, Manufacturing - Medium (M-M) and Manufacturing - Service Commercial (M-SC) to the south, Manufacturing - Medium (M-M) to the east and Manufacturing - Medium (M-M) and Industrial Park (I-P) to the west.
8. Within the vicinity of the proposed project there is a water treatment plant to the north, vacant land to the south and west and industrial uses and Interstate Highway 215 to the east.
9. The Redevelopment Agency (RDA) has reviewed the proposed project and has determined that the project is compliant with the adopted policies and objectives of the I-215 Project Corridor Redevelopment Project Area (I-215; Mead Valley sub-area).
10. The project site is located within Airport Area II of the March Air Reserve Base Airport Influence Area. On July 14, 2011, the project was reviewed by the Riverside County Airport Land Use

Commission (ALUC) and was found to be conditionally consistent with the 1984 Riverside County Airport Land Use Plan.

11. This project is not located within a Criteria Area of the Western Riverside County Multiple Species Habitat Conservation Plan (WRCMSHCP).
16. Pursuant to CEQA Guidelines section 15164 (Addendum to an EIR or Negative Declaration), the Riverside County Planning Department has determined that all potentially significant effects have been adequately analyzed in an earlier EIR (EIR00485 certified 2008). Potentially significant effects have been adequately analyzed in Environmental Impact Report No. 485 pursuant to applicable legal standards; and have been avoided or mitigated, including mitigation measures that are imposed upon the proposed project. An addendum has been prepared because some changes or additions are necessary to the previously certified EIR but none of the conditions described in CEQA Guidelines section 15162 (Subsequent EIRs and Negative Declarations) have occurred. Impacts to Aesthetics, Air Quality, Geology / Soils, Hazards & Hazardous Materials, Land Use / Planning and Transportation / Traffic were further analyzed in the addendum with additional and/or revised mitigation measures to below a level of significance after the implementation of relevant standard conditions of approval, regulations and mitigation measures as identified in attached Addendum No. 1 to Environmental Impact Report No. 485.

INFORMATIONAL ITEMS:

1. As of this writing, no letters, in support or opposition have been received.
2. The project site is not located within:
 - a. An Agriculture Preserve;
 - b. A WRCMSHCP Criteria Cell;
 - c. A High Fire area;
 - d. A County Fault Zone;
 - e. A Flood Zone; or,
 - f. A Dam Inundation Area.
3. The project site is located within:
 - a. The Mt. Palomar Lighting Ordinance No. 655 (Zone B);
 - b. The Stephen's Kangaroo Rat Fee Area (Ordinance No. 663.10);
 - c. An WRCMSHCP Fee Area (Ordinance No. 810);
 - d. A Development Impact Fee Area (Ordinance No. 659);
 - e. The City of Perris Sphere of Influence;
 - f. The Eastern Municipal Water District;
 - g. A Circulation Element Right-Of-Way (Urban Arterial 152' ROW and Major 118' ROW);
 - h. A High Paleontological Potential (High B);
 - i. An Area Moderate Liquefaction Potential;
 - j. An Area Susceptible to Subsidence; and,
 - k. The boundaries of the Val Verde Unified School District.
4. The subject site is currently designated as Assessor's Parcel Numbers 295-310-011, 295-310-048 and 295-310-052.

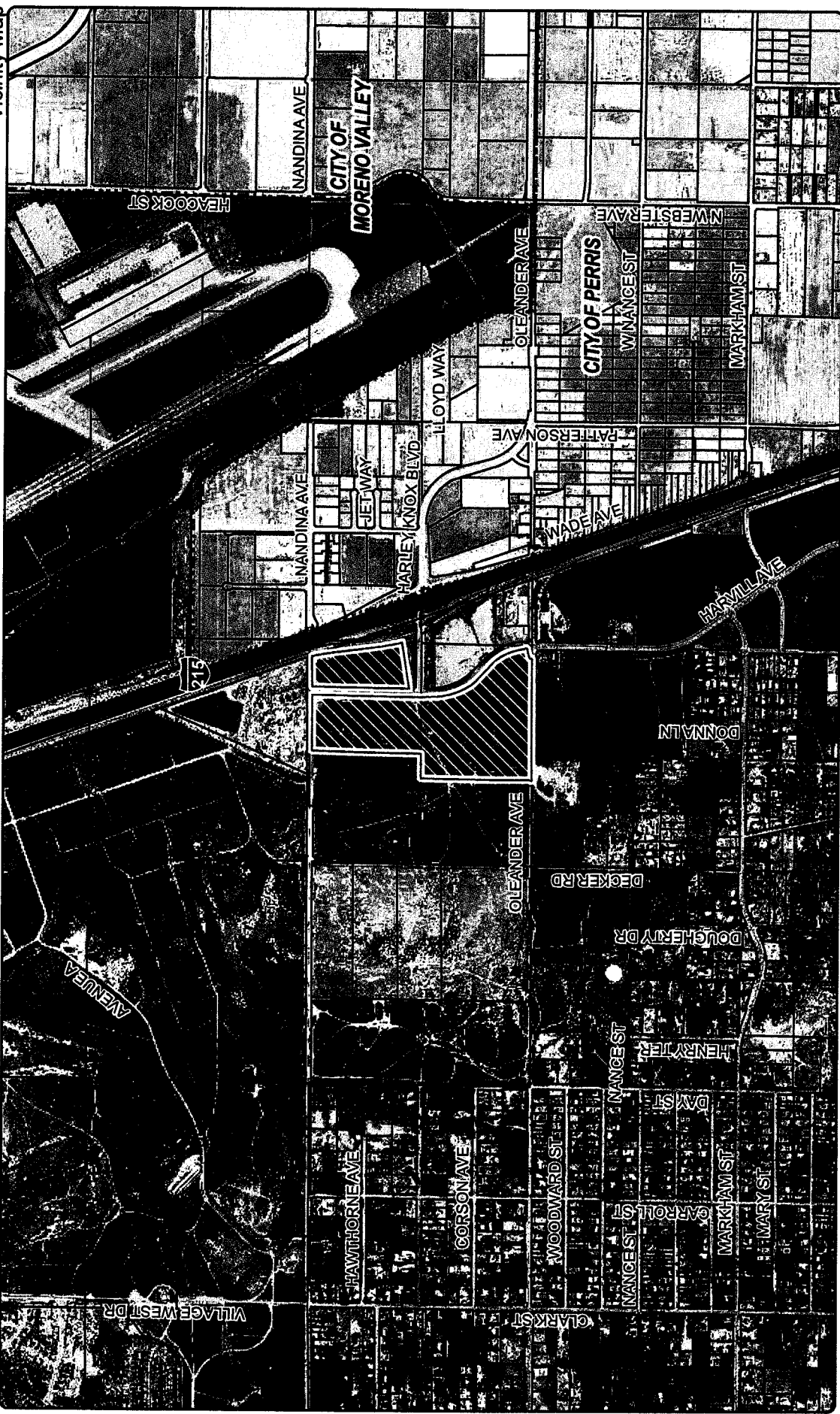
PLOT PLAN NO. 20699, REVISED PERMIT NO. 1
(Fast Track No. 2011-05)
BOS Staff Report: August 16, 2011
Page 5 of 5

Y:\Planning Case Files-Riverside office\PP20699R1\DH-PC-BOS Hearings\BOS\PP20699R1- Staff Report for BOS on 8-16-11.docx

**RIVERSIDE COUNTY PLANNING DEPARTMENT
PP20699R1 FTA2011-05
VICINITY/POLICY AREAS**

Supervisor Buster
District 1

Date Drawn: 7/09/11
Vicinity Map



**Zoning Area: March
Township/Range: T3SR4W
Section: 35**

Assessors Bk. Pg. 295-31
Thomas Bros. Pg. 747 C6
Edition 2009

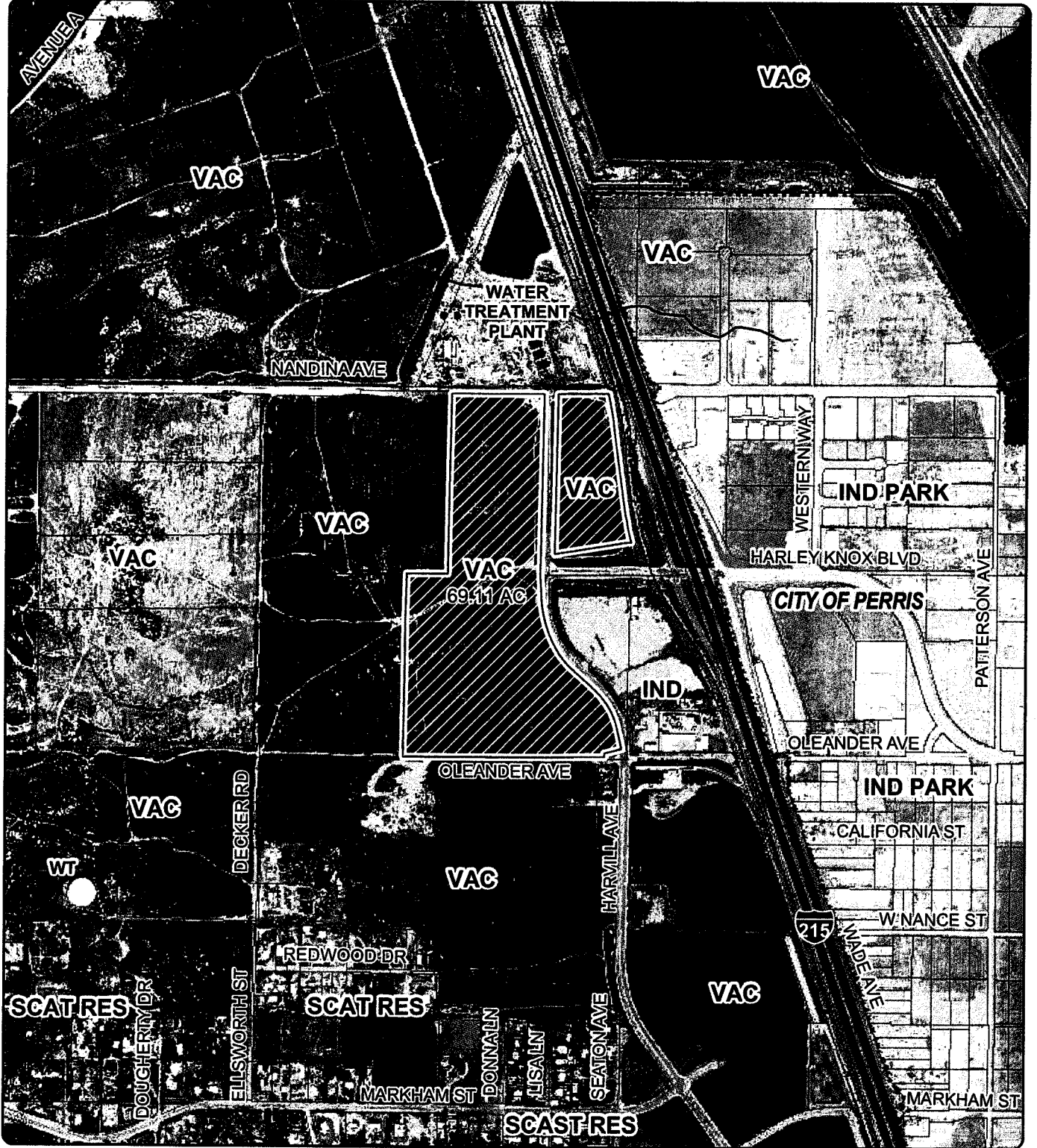


DISCLAIMER: On October 7, 2003, the County of Riverside adopted a new General Plan providing new land use designations for unincorporated Riverside County parcels. The new General Plan may contain different types of land use than is provided for under existing zoning. For further information, please contact the Riverside County Planning Department offices in Riverside at (951) 955-3200 (Western County), or in Indio at (760) 863-8277 (Eastern County) or website at <http://www.lima.co.riverside.ca.us/index.html>.

RIVERSIDE COUNTY PLANNING DEPARTMENT
PP20699R1 FTA2011-05
LAND USE

Supervisor Buster
 District 1

Date Drawn: 7/09/11
 Exhibit 1

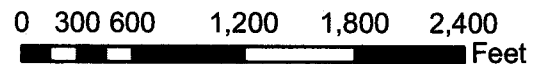


Zoning Area: March
 Township/Range: T3SR4W
 Section: 35

Assessors Bk. Pg. 295-31
 Thomas Bros. Pg. 747 C6
 Edition 2009



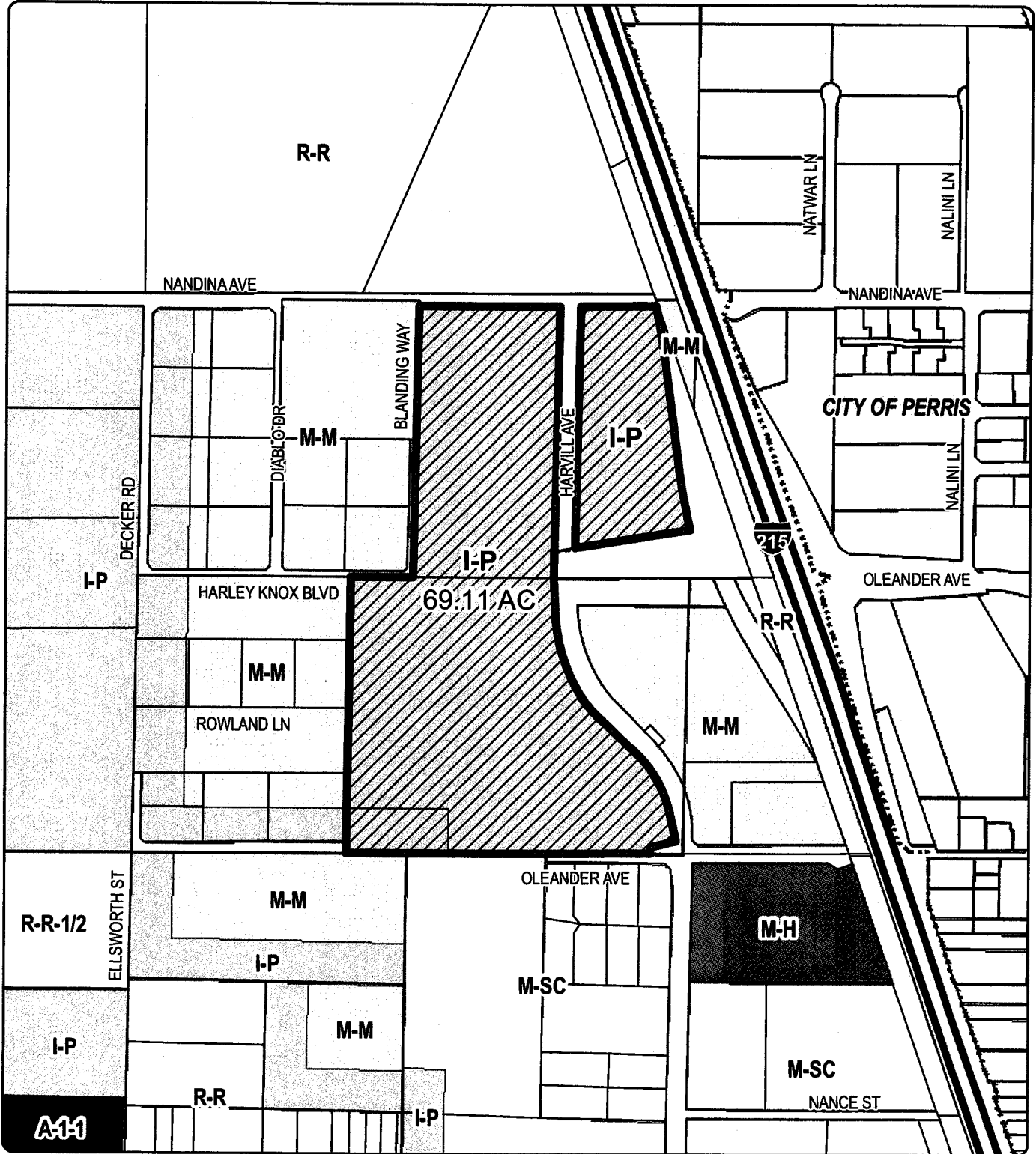
DISCLAIMER: On October 7, 2003, the County of Riverside adopted a new General Plan providing new land use designations for unincorporated Riverside County parcels. The new General Plan may contain different types of land use than is provided for under existing zoning. For further information, please contact the Riverside County Planning Department offices in Riverside at (951) 955-3200 (Western County), or in Indio at (760) 863-8277 (Eastern County) or website at <http://www.tlma.co.riverside.ca.us/index.html>



RIVERSIDE COUNTY PLANNING DEPARTMENT
PP20699R1 FTA2011-05
EXISTING ZONING

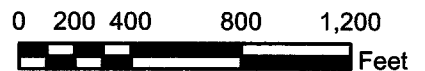
Supervisor Buster
 District 1

Date Drawn: 7/09/11
 Exhibit 2



Zoning Area: March
 Township/Range: T3SR4W
 Section: 35

Assessors Bk. Pg. 295-31
 Thomas Bros. Pg. 747 C6
 Edition 2009

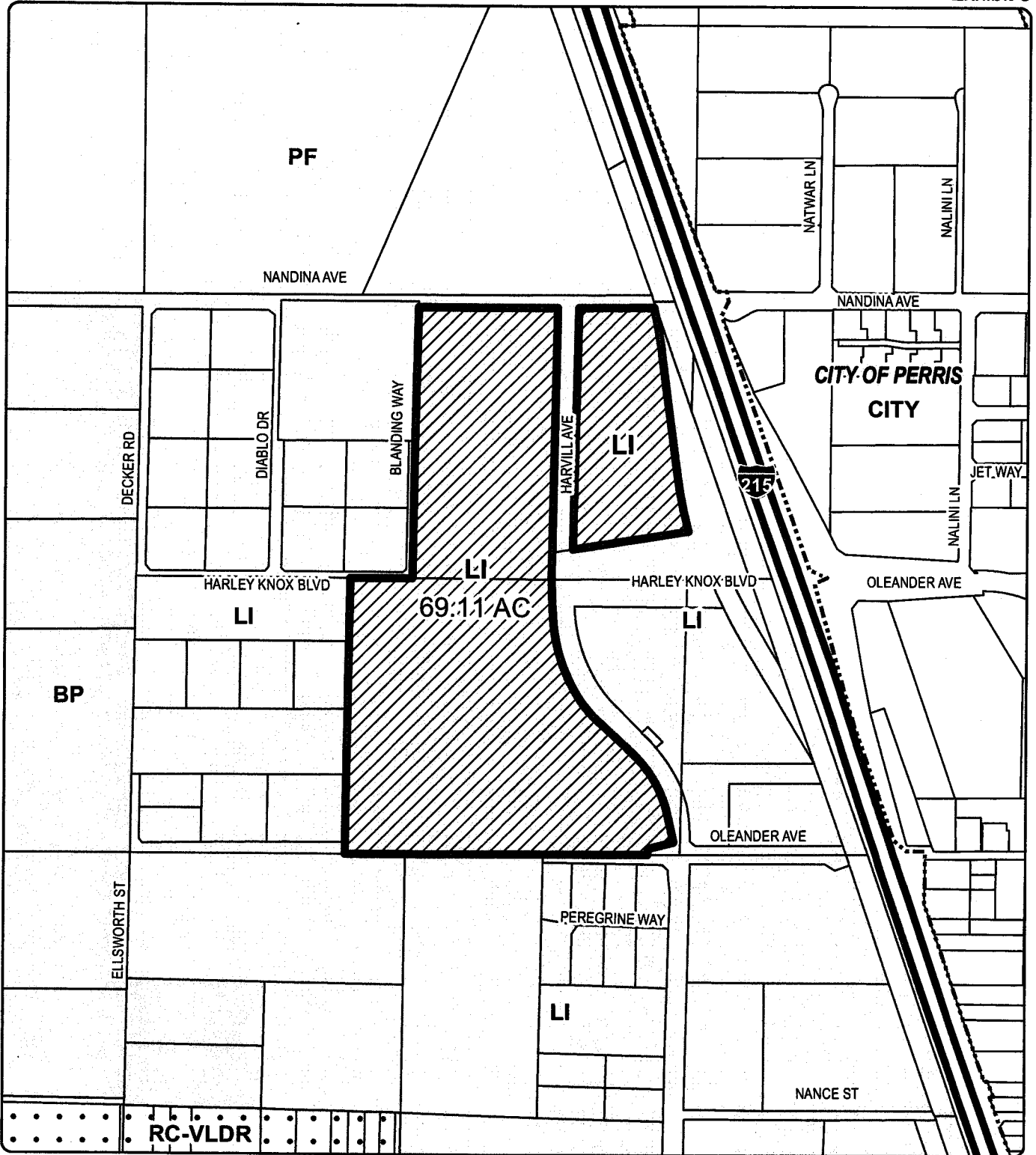


DISCLAIMER: On October 7, 2003, the County of Riverside adopted a new General Plan providing new land use designations for unincorporated Riverside County parcels. The new General Plan may contain different types of land use than is provided for under existing zoning. For further information, please contact the Riverside County Planning Department offices in Riverside at (951) 955-3200 (Western County), or in Indio at (760) 863-8277 (Eastern County) or website at <http://www.tlma.co.riverside.ca.us/index.html>

RIVERSIDE COUNTY PLANNING DEPARTMENT
PP20699R1 FTA2011-05
EXISTING GENERAL PLAN

Supervisor Buster
 District 1

Date Drawn: 7/14/11
 Exhibit 5

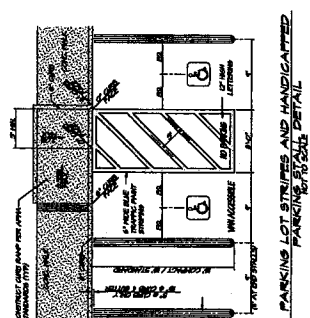
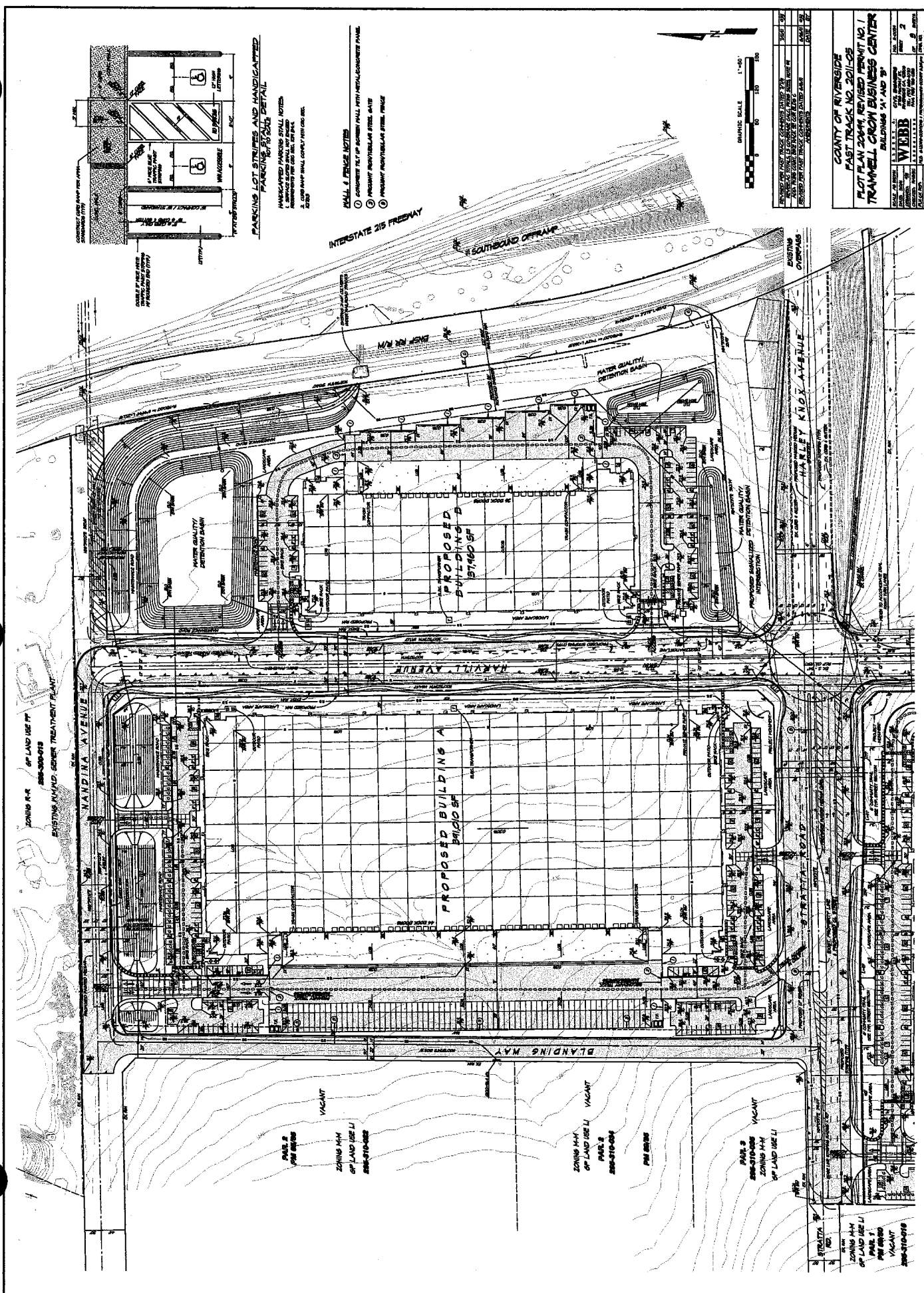


Zoning Area: March
 Township/Range: T3SR4W
 Section: 35

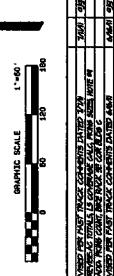
Assessors Bk. Pg. 295-31
 Thomas Bros. Pg. 747 C6
 Edition 2009

DISCLAIMER: On October 7, 2003, the County of Riverside adopted a new General Plan providing new land use designations for unincorporated Riverside County parcels. The new General Plan may contain different types of land use than is provided for under existing zoning. For further information, please contact the Riverside County Planning Department offices in Riverside at (951) 955-3200 (Western County), or in Indio at (760) 863-8277 (Eastern County) or website at <http://www.tra.ca.us/index.html>



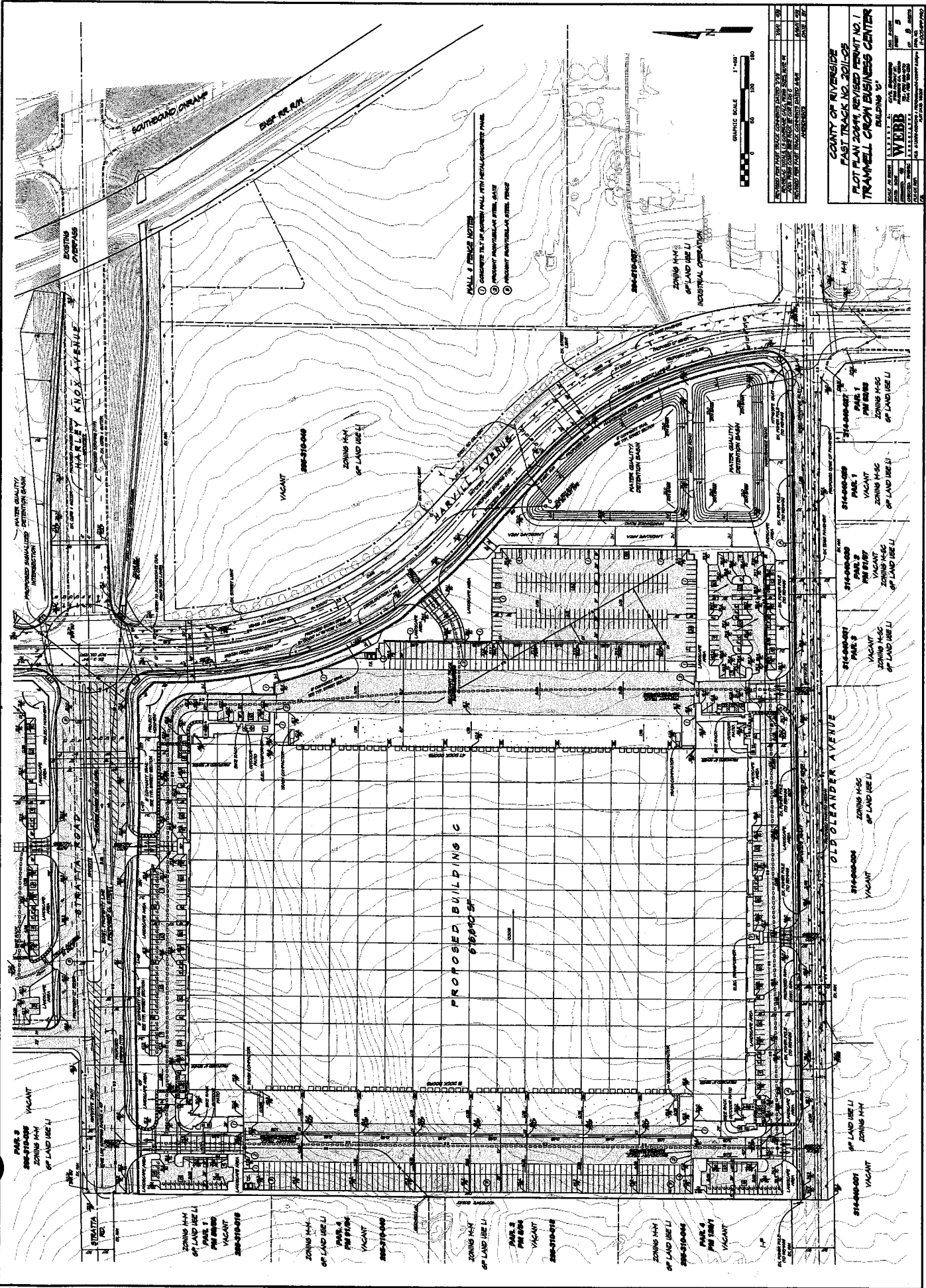


- SMALL 8' FENCE NOTES**
- 1. CONCRETE FILL UP EXISTING WALL WITH METAL CONCRETE PANEL
 - 2. PRECAST INTERLOCKING STEEL WALL
 - 3. PRECAST INTERLOCKING STEEL PANEL



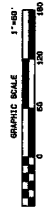
COUNTY OF RIVERSIDE
FAST TRACK NO. 2011-05
PLAT PLAN 2011 REVISED PERMIT NO. 1
TRAMMELL CROW BUSINESS CENTER

APPLICANT	TRAMMELL CROW
PROJECT NO.	2011-05
DATE	08/14/11
SCALE	AS SHOWN
DESIGNED BY	WEBB
CHECKED BY	WEBB
DATE	08/14/11
PROJECT NO.	2011-05
DATE	08/14/11
SCALE	AS SHOWN
DESIGNED BY	WEBB
CHECKED BY	WEBB
DATE	08/14/11

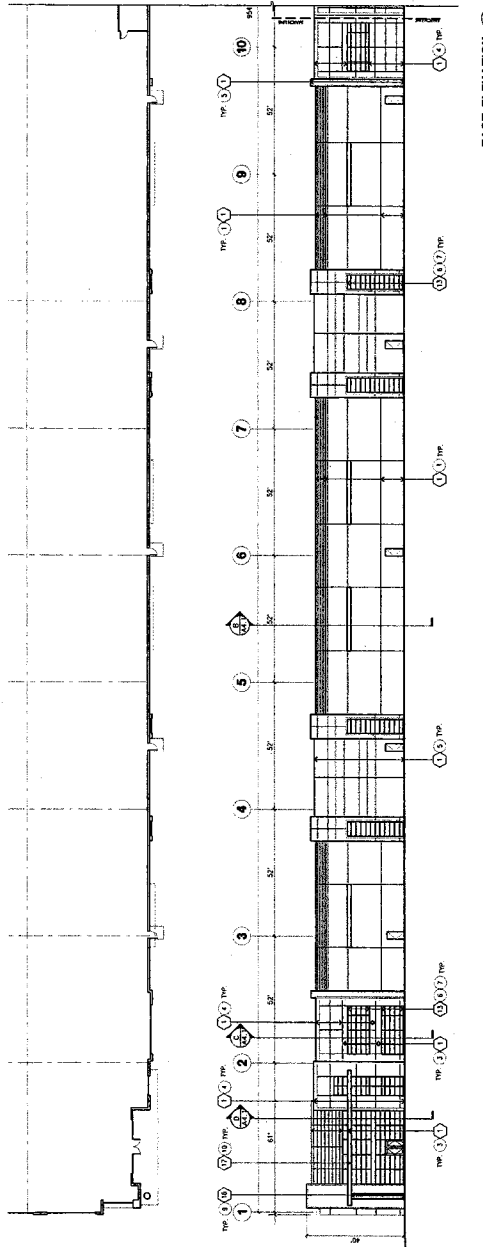


PLAN & FINISH NOTES

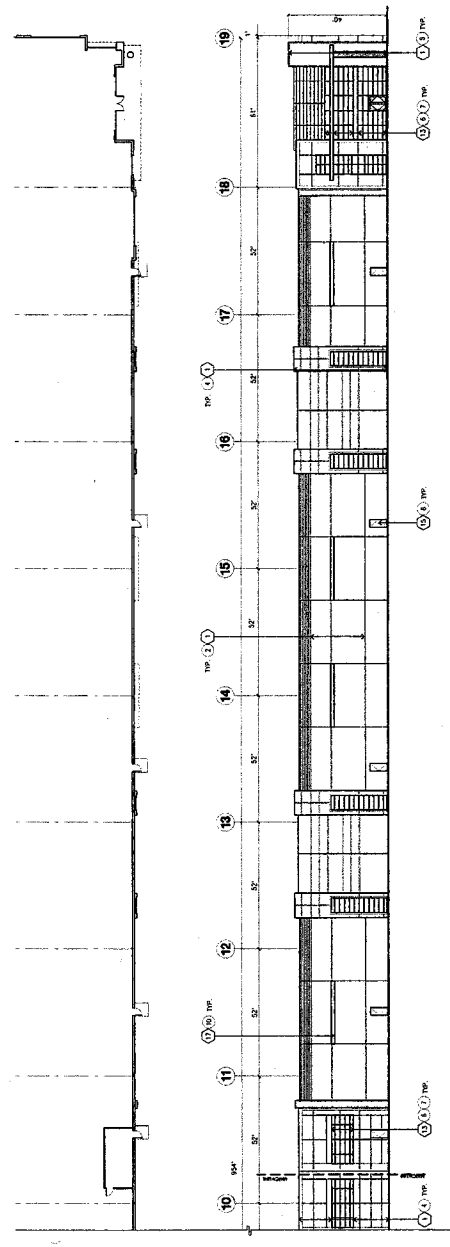
1. CONFORM TO THE COUNTY PLAN WITH METAL CONCRETE PAVEMENT
2. PROVIDE PROTECTIVE STRIP ALONG
3. PROVIDE METALLIC STRIP FINISH



COUNTY OF RIVERSIDE	
EAST TRACK NO. 2011-C	
PLOT PLAN 2004, REVISED PERMIT NO. 1	
TRAMMELL GROW BUSINESS CENTER	
DATE OF ISSUE	NOV 11 2004
SCALE	AS SHOWN
DESIGNED BY	WEBB
CHECKED BY	WEBB
APPROVED BY	WEBB
DATE OF APPROVAL	NOV 11 2004
PROJECT NO.	2011-C
PLAT NO.	2011-C
RECORDING NO.	2011-C
RECORDING DATE	NOV 11 2004
RECORDING OFFICE	CLERK OF SUPERIOR COURT, RIVERSIDE, CALIF.



EAST ELEVATION A
 Scale: 1/8" = 1'-0"



EAST ELEVATION B
 Scale: 1/8" = 1'-0"

GENERAL NOTES - ELEVATIONS

1. ALL PANEL COLOR CHANGES TO OCCUR AT CORNER UNLESS NOTED OTHERWISE.
2. 1/4" PANEL COLOR CHANGES TO OCCUR AT CORNER UNLESS NOTED OTHERWISE.
3. 1/4" PANEL COLOR CHANGES TO OCCUR AT CORNER UNLESS NOTED OTHERWISE.
4. 1/4" PANEL COLOR CHANGES TO OCCUR AT CORNER UNLESS NOTED OTHERWISE.
5. 1/4" PANEL COLOR CHANGES TO OCCUR AT CORNER UNLESS NOTED OTHERWISE.
6. 1/4" PANEL COLOR CHANGES TO OCCUR AT CORNER UNLESS NOTED OTHERWISE.
7. 1/4" PANEL COLOR CHANGES TO OCCUR AT CORNER UNLESS NOTED OTHERWISE.
8. 1/4" PANEL COLOR CHANGES TO OCCUR AT CORNER UNLESS NOTED OTHERWISE.
9. 1/4" PANEL COLOR CHANGES TO OCCUR AT CORNER UNLESS NOTED OTHERWISE.
10. 1/4" PANEL COLOR CHANGES TO OCCUR AT CORNER UNLESS NOTED OTHERWISE.
11. 1/4" PANEL COLOR CHANGES TO OCCUR AT CORNER UNLESS NOTED OTHERWISE.
12. 1/4" PANEL COLOR CHANGES TO OCCUR AT CORNER UNLESS NOTED OTHERWISE.
13. 1/4" PANEL COLOR CHANGES TO OCCUR AT CORNER UNLESS NOTED OTHERWISE.
14. 1/4" PANEL COLOR CHANGES TO OCCUR AT CORNER UNLESS NOTED OTHERWISE.
15. 1/4" PANEL COLOR CHANGES TO OCCUR AT CORNER UNLESS NOTED OTHERWISE.
16. 1/4" PANEL COLOR CHANGES TO OCCUR AT CORNER UNLESS NOTED OTHERWISE.
17. 1/4" PANEL COLOR CHANGES TO OCCUR AT CORNER UNLESS NOTED OTHERWISE.
18. 1/4" PANEL COLOR CHANGES TO OCCUR AT CORNER UNLESS NOTED OTHERWISE.
19. 1/4" PANEL COLOR CHANGES TO OCCUR AT CORNER UNLESS NOTED OTHERWISE.

KEYNOTES - ELEVATIONS

1. CONCRETE 1/4" UP PANEL. SEE "GENERAL NOTES" FOR MORE INFORMATION.
2. CONCRETE 1/4" UP PANEL. SEE "GENERAL NOTES" FOR MORE INFORMATION.
3. CONCRETE 1/4" UP PANEL. SEE "GENERAL NOTES" FOR MORE INFORMATION.
4. CONCRETE 1/4" UP PANEL. SEE "GENERAL NOTES" FOR MORE INFORMATION.
5. CONCRETE 1/4" UP PANEL. SEE "GENERAL NOTES" FOR MORE INFORMATION.
6. CONCRETE 1/4" UP PANEL. SEE "GENERAL NOTES" FOR MORE INFORMATION.
7. CONCRETE 1/4" UP PANEL. SEE "GENERAL NOTES" FOR MORE INFORMATION.
8. CONCRETE 1/4" UP PANEL. SEE "GENERAL NOTES" FOR MORE INFORMATION.
9. CONCRETE 1/4" UP PANEL. SEE "GENERAL NOTES" FOR MORE INFORMATION.
10. CONCRETE 1/4" UP PANEL. SEE "GENERAL NOTES" FOR MORE INFORMATION.
11. CONCRETE 1/4" UP PANEL. SEE "GENERAL NOTES" FOR MORE INFORMATION.
12. CONCRETE 1/4" UP PANEL. SEE "GENERAL NOTES" FOR MORE INFORMATION.
13. CONCRETE 1/4" UP PANEL. SEE "GENERAL NOTES" FOR MORE INFORMATION.
14. CONCRETE 1/4" UP PANEL. SEE "GENERAL NOTES" FOR MORE INFORMATION.
15. CONCRETE 1/4" UP PANEL. SEE "GENERAL NOTES" FOR MORE INFORMATION.
16. CONCRETE 1/4" UP PANEL. SEE "GENERAL NOTES" FOR MORE INFORMATION.
17. CONCRETE 1/4" UP PANEL. SEE "GENERAL NOTES" FOR MORE INFORMATION.
18. CONCRETE 1/4" UP PANEL. SEE "GENERAL NOTES" FOR MORE INFORMATION.
19. CONCRETE 1/4" UP PANEL. SEE "GENERAL NOTES" FOR MORE INFORMATION.

COLOR SCHEDULE - ELEVATIONS

1. CONCRETE 1/4" UP PANEL. PAINT FINISH: TRAMMELL C. 31718 SILVER LAMING
2. CONCRETE 1/4" UP PANEL. PAINT FINISH: TRAMMELL C. 31728 CHEVRETON
3. CONCRETE 1/4" UP PANEL. PAINT FINISH: TRAMMELL C. 31738 EXOCHORD
4. CONCRETE 1/4" UP PANEL. PAINT FINISH: TRAMMELL C. 31748 EXOCHORD
5. CONCRETE 1/4" UP PANEL. PAINT FINISH: TRAMMELL C. 31758 EXOCHORD
6. CONCRETE 1/4" UP PANEL. PAINT FINISH: TRAMMELL C. 31768 EXOCHORD
7. CONCRETE 1/4" UP PANEL. PAINT FINISH: TRAMMELL C. 31778 EXOCHORD
8. CONCRETE 1/4" UP PANEL. PAINT FINISH: TRAMMELL C. 31788 EXOCHORD
9. CONCRETE 1/4" UP PANEL. PAINT FINISH: TRAMMELL C. 31798 EXOCHORD
10. CONCRETE 1/4" UP PANEL. PAINT FINISH: TRAMMELL C. 31808 EXOCHORD
11. CONCRETE 1/4" UP PANEL. PAINT FINISH: TRAMMELL C. 31818 EXOCHORD
12. CONCRETE 1/4" UP PANEL. PAINT FINISH: TRAMMELL C. 31828 EXOCHORD
13. CONCRETE 1/4" UP PANEL. PAINT FINISH: TRAMMELL C. 31838 EXOCHORD
14. CONCRETE 1/4" UP PANEL. PAINT FINISH: TRAMMELL C. 31848 EXOCHORD
15. CONCRETE 1/4" UP PANEL. PAINT FINISH: TRAMMELL C. 31858 EXOCHORD
16. CONCRETE 1/4" UP PANEL. PAINT FINISH: TRAMMELL C. 31868 EXOCHORD
17. CONCRETE 1/4" UP PANEL. PAINT FINISH: TRAMMELL C. 31878 EXOCHORD
18. CONCRETE 1/4" UP PANEL. PAINT FINISH: TRAMMELL C. 31888 EXOCHORD
19. CONCRETE 1/4" UP PANEL. PAINT FINISH: TRAMMELL C. 31898 EXOCHORD

GLAZING LEGEND

1. SHOWER GLASS
2. VISION GLASS
3. SHOWER GLASS
4. VISION GLASS
5. SHOWER GLASS
6. VISION GLASS
7. SHOWER GLASS
8. VISION GLASS
9. SHOWER GLASS
10. VISION GLASS
11. SHOWER GLASS
12. VISION GLASS
13. SHOWER GLASS
14. VISION GLASS
15. SHOWER GLASS
16. VISION GLASS
17. SHOWER GLASS
18. VISION GLASS
19. SHOWER GLASS
20. VISION GLASS

HPA

HPA, Inc.
16621 Burbank Avenue, Ste. F110
Burbank, CA 91508
Tel: 818-885-1770
Fax: 818-885-1772
Email: info@hpa.com

Client:
**TRAMMELL CROW
COMPANY**

Project:
**TRAMMELL
CROW
BUSINESS
CENTER**
County of Riverside, CA

Building B

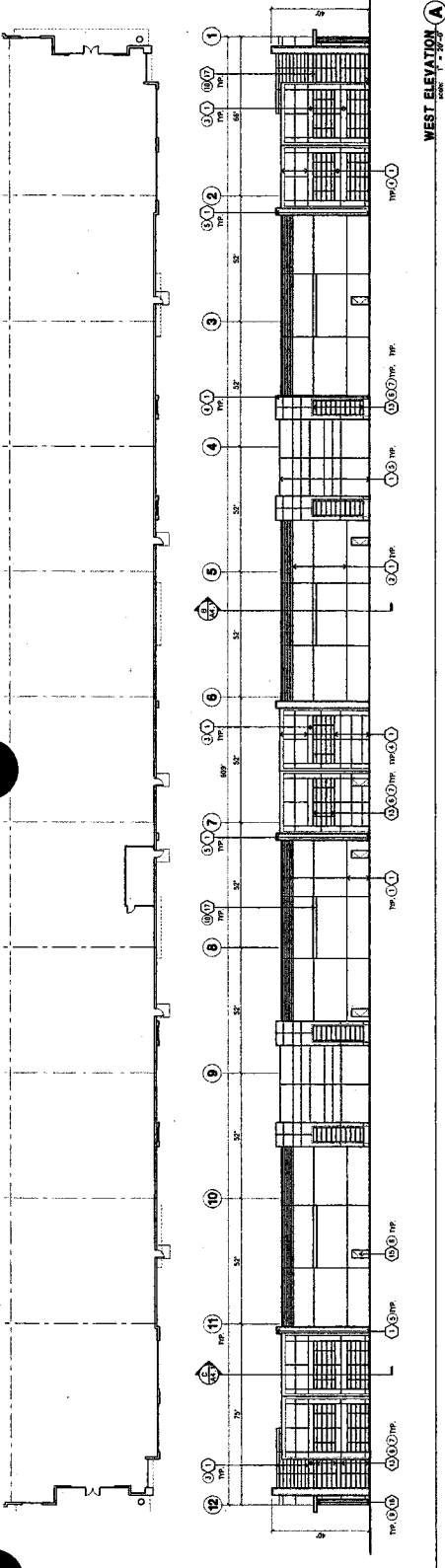
Consultants:

Title: ELEVATIONS

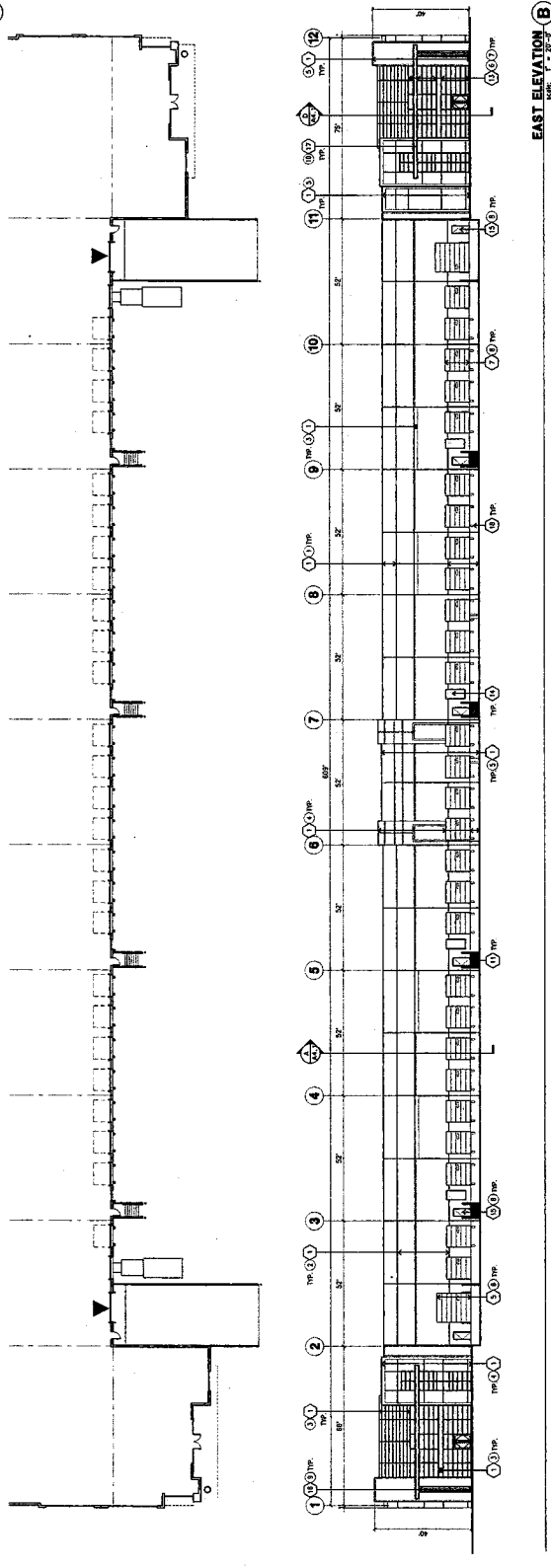
Project Number: 11697
Drawn by: M.L.
Date: 06/20/11
Revised:

Sheet:

A3.1B



WEST ELEVATION
DATE: 11/20/10



EAST ELEVATION
DATE: 11/20/10

COLOR SCHED - ELEVATIONS

- 1 CONCRETE TILT-UP PANEL, PAINT BRAND, FINISH C. 31716 SILVER LINING
- 2 CONCRETE TILT-UP PANEL, PAINT BRAND, FINISH C. 21722 CHARCOAL
- 3 CONCRETE TILT-UP PANEL, PAINT BRAND, FINISH C. 21722 CHARCOAL
- 4 CONCRETE TILT-UP PANEL, PAINT BRAND, FINISH C. 21722 CHARCOAL
- 5 CONCRETE TILT-UP PANEL, PAINT BRAND, FINISH C. 21722 CHARCOAL
- 6 CONCRETE TILT-UP PANEL, PAINT BRAND, FINISH C. 21722 CHARCOAL
- 7 CONCRETE TILT-UP PANEL, PAINT BRAND, FINISH C. 21722 CHARCOAL
- 8 CONCRETE TILT-UP PANEL, PAINT BRAND, FINISH C. 21722 CHARCOAL
- 9 CONCRETE TILT-UP PANEL, PAINT BRAND, FINISH C. 21722 CHARCOAL
- 10 CONCRETE TILT-UP PANEL, PAINT BRAND, FINISH C. 21722 CHARCOAL
- 11 CONCRETE TILT-UP PANEL, PAINT BRAND, FINISH C. 21722 CHARCOAL
- 12 CONCRETE TILT-UP PANEL, PAINT BRAND, FINISH C. 21722 CHARCOAL

GENERAL NOTES - ELEVATIONS

- 1. ALL PAINT COATS SHOULD BE DONE AT MOISTURE CONTENTS INDICATED.
- 2. ALL PAINT COATS SHOULD BE DONE AT MOISTURE CONTENTS INDICATED.
- 3. ALL PAINT COATS SHOULD BE DONE AT MOISTURE CONTENTS INDICATED.
- 4. ALL PAINT COATS SHOULD BE DONE AT MOISTURE CONTENTS INDICATED.
- 5. ALL PAINT COATS SHOULD BE DONE AT MOISTURE CONTENTS INDICATED.
- 6. ALL PAINT COATS SHOULD BE DONE AT MOISTURE CONTENTS INDICATED.
- 7. ALL PAINT COATS SHOULD BE DONE AT MOISTURE CONTENTS INDICATED.
- 8. ALL PAINT COATS SHOULD BE DONE AT MOISTURE CONTENTS INDICATED.
- 9. ALL PAINT COATS SHOULD BE DONE AT MOISTURE CONTENTS INDICATED.
- 10. ALL PAINT COATS SHOULD BE DONE AT MOISTURE CONTENTS INDICATED.
- 11. ALL PAINT COATS SHOULD BE DONE AT MOISTURE CONTENTS INDICATED.
- 12. ALL PAINT COATS SHOULD BE DONE AT MOISTURE CONTENTS INDICATED.

KEYNOTES - ELEVATIONS

- 1. CONCRETE TILT-UP PANEL, SEE "C" MEMORANDUM FOR FINISH SCHEDULE, FINISH BY 11/17
- 2. CONCRETE TILT-UP PANEL, SEE "C" MEMORANDUM FOR FINISH SCHEDULE, FINISH BY 11/17
- 3. CONCRETE TILT-UP PANEL, SEE "C" MEMORANDUM FOR FINISH SCHEDULE, FINISH BY 11/17
- 4. CONCRETE TILT-UP PANEL, SEE "C" MEMORANDUM FOR FINISH SCHEDULE, FINISH BY 11/17
- 5. CONCRETE TILT-UP PANEL, SEE "C" MEMORANDUM FOR FINISH SCHEDULE, FINISH BY 11/17
- 6. CONCRETE TILT-UP PANEL, SEE "C" MEMORANDUM FOR FINISH SCHEDULE, FINISH BY 11/17
- 7. CONCRETE TILT-UP PANEL, SEE "C" MEMORANDUM FOR FINISH SCHEDULE, FINISH BY 11/17
- 8. CONCRETE TILT-UP PANEL, SEE "C" MEMORANDUM FOR FINISH SCHEDULE, FINISH BY 11/17
- 9. CONCRETE TILT-UP PANEL, SEE "C" MEMORANDUM FOR FINISH SCHEDULE, FINISH BY 11/17
- 10. CONCRETE TILT-UP PANEL, SEE "C" MEMORANDUM FOR FINISH SCHEDULE, FINISH BY 11/17
- 11. CONCRETE TILT-UP PANEL, SEE "C" MEMORANDUM FOR FINISH SCHEDULE, FINISH BY 11/17
- 12. CONCRETE TILT-UP PANEL, SEE "C" MEMORANDUM FOR FINISH SCHEDULE, FINISH BY 11/17

GLAZING LEGEND

- 1 SPUNGLASS GLASS
- 2 CLEAR GLASS
- 3 THERMO GLASS
- 4 THERMO GLASS
- 5 THERMO GLASS
- 6 THERMO GLASS
- 7 THERMO GLASS
- 8 THERMO GLASS
- 9 THERMO GLASS
- 10 THERMO GLASS
- 11 THERMO GLASS
- 12 THERMO GLASS

HPA

1601 Sandpoint Avenue - Ste. F100
San Francisco, CA 94133
Tel: 415-398-1770
Fax: 415-398-1771
Email: info@hpa.com

Owner:
TRAMMELL CROW
COMPANY

Project:
TRAMMELL CROW
BUSINESS
CENTER
County of Riverside, CA
Building B

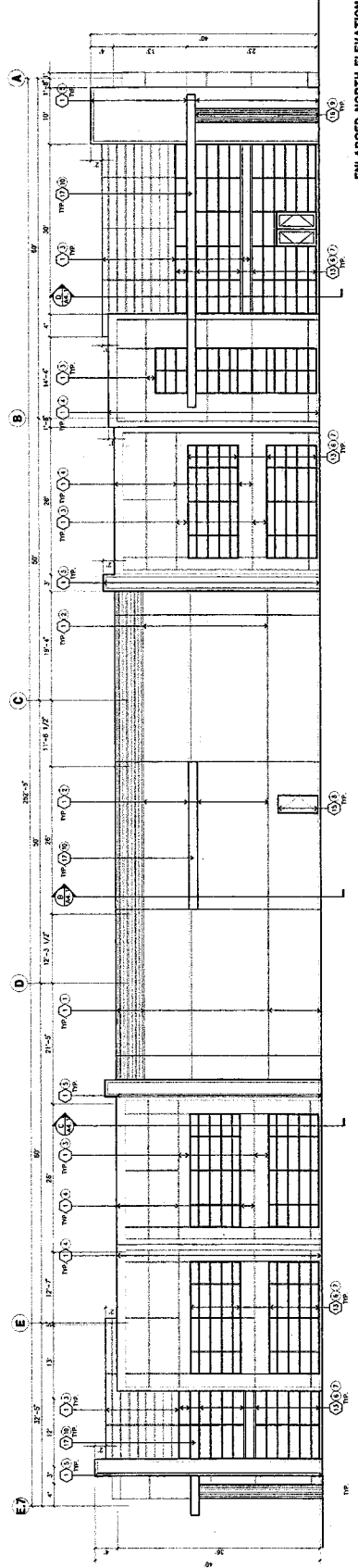
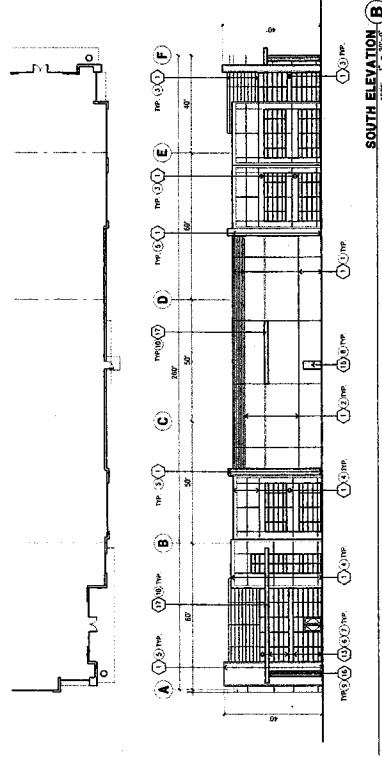
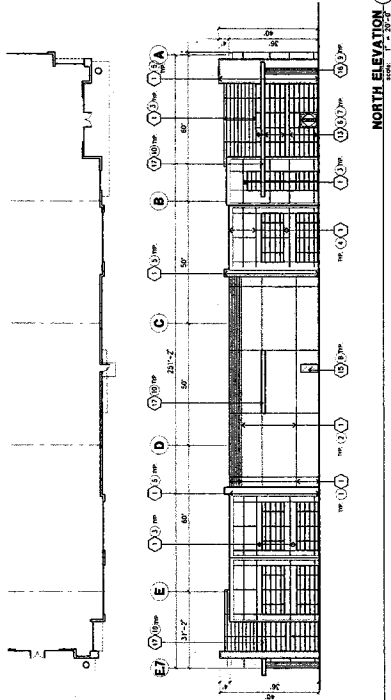
Consultants:

ELEVATIONS

Project Number: 1100
Drawn by: M.L.
Date: 05/01/11
Revised:

Sheet:

A3.2B



KEYNOTES - ELEVATIONS

- 1. CONCRETE SHALL BE FINISHED WITH "C" FINISH.
- 2. ALL EXTERIOR WALLS SHALL BE FINISHED WITH "C" FINISH.
- 3. ALL EXTERIOR WALLS SHALL BE FINISHED WITH "C" FINISH.
- 4. ALL EXTERIOR WALLS SHALL BE FINISHED WITH "C" FINISH.
- 5. ALL EXTERIOR WALLS SHALL BE FINISHED WITH "C" FINISH.
- 6. ALL EXTERIOR WALLS SHALL BE FINISHED WITH "C" FINISH.
- 7. ALL EXTERIOR WALLS SHALL BE FINISHED WITH "C" FINISH.
- 8. ALL EXTERIOR WALLS SHALL BE FINISHED WITH "C" FINISH.
- 9. ALL EXTERIOR WALLS SHALL BE FINISHED WITH "C" FINISH.
- 10. ALL EXTERIOR WALLS SHALL BE FINISHED WITH "C" FINISH.
- 11. ALL EXTERIOR WALLS SHALL BE FINISHED WITH "C" FINISH.
- 12. ALL EXTERIOR WALLS SHALL BE FINISHED WITH "C" FINISH.
- 13. ALL EXTERIOR WALLS SHALL BE FINISHED WITH "C" FINISH.
- 14. ALL EXTERIOR WALLS SHALL BE FINISHED WITH "C" FINISH.
- 15. ALL EXTERIOR WALLS SHALL BE FINISHED WITH "C" FINISH.
- 16. ALL EXTERIOR WALLS SHALL BE FINISHED WITH "C" FINISH.
- 17. ALL EXTERIOR WALLS SHALL BE FINISHED WITH "C" FINISH.
- 18. ALL EXTERIOR WALLS SHALL BE FINISHED WITH "C" FINISH.
- 19. ALL EXTERIOR WALLS SHALL BE FINISHED WITH "C" FINISH.
- 20. ALL EXTERIOR WALLS SHALL BE FINISHED WITH "C" FINISH.

GENERAL NOTES - ELEVATIONS

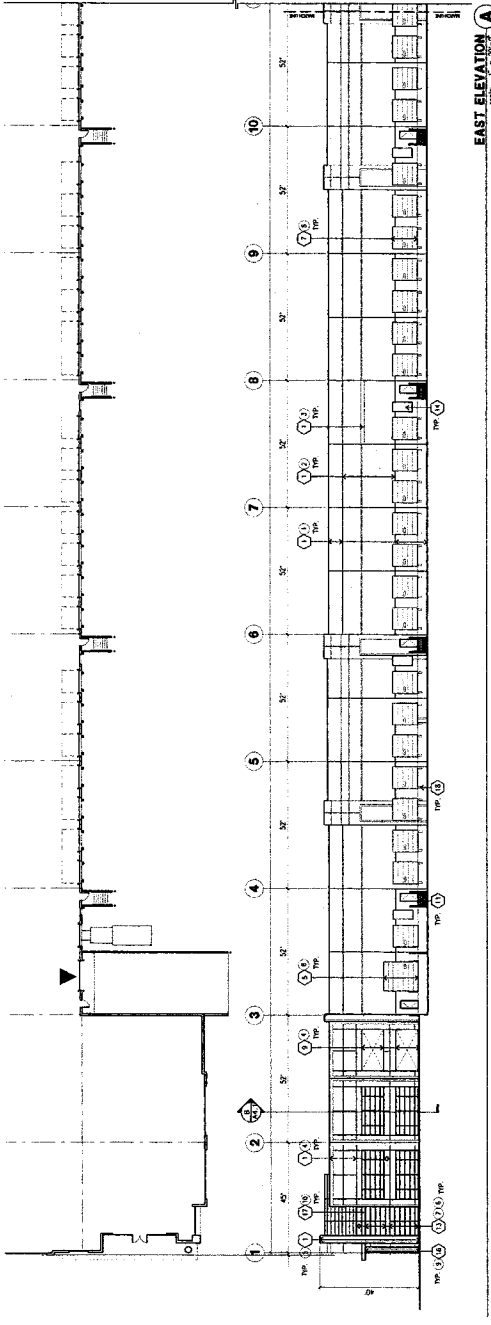
- A. FINISH COLOR CHANGES TO COLOR AS NOTED ON ELEVATIONS, UNLESS NOTED OTHERWISE.
- B. FINISH COLOR CHANGES TO COLOR AS NOTED ON ELEVATIONS, UNLESS NOTED OTHERWISE.
- C. FINISH COLOR CHANGES TO COLOR AS NOTED ON ELEVATIONS, UNLESS NOTED OTHERWISE.
- D. FINISH COLOR CHANGES TO COLOR AS NOTED ON ELEVATIONS, UNLESS NOTED OTHERWISE.
- E. FINISH COLOR CHANGES TO COLOR AS NOTED ON ELEVATIONS, UNLESS NOTED OTHERWISE.
- F. FINISH COLOR CHANGES TO COLOR AS NOTED ON ELEVATIONS, UNLESS NOTED OTHERWISE.
- G. FINISH COLOR CHANGES TO COLOR AS NOTED ON ELEVATIONS, UNLESS NOTED OTHERWISE.
- H. FINISH COLOR CHANGES TO COLOR AS NOTED ON ELEVATIONS, UNLESS NOTED OTHERWISE.
- I. FINISH COLOR CHANGES TO COLOR AS NOTED ON ELEVATIONS, UNLESS NOTED OTHERWISE.
- J. FINISH COLOR CHANGES TO COLOR AS NOTED ON ELEVATIONS, UNLESS NOTED OTHERWISE.
- K. FINISH COLOR CHANGES TO COLOR AS NOTED ON ELEVATIONS, UNLESS NOTED OTHERWISE.
- L. FINISH COLOR CHANGES TO COLOR AS NOTED ON ELEVATIONS, UNLESS NOTED OTHERWISE.
- M. FINISH COLOR CHANGES TO COLOR AS NOTED ON ELEVATIONS, UNLESS NOTED OTHERWISE.
- N. FINISH COLOR CHANGES TO COLOR AS NOTED ON ELEVATIONS, UNLESS NOTED OTHERWISE.
- O. FINISH COLOR CHANGES TO COLOR AS NOTED ON ELEVATIONS, UNLESS NOTED OTHERWISE.
- P. FINISH COLOR CHANGES TO COLOR AS NOTED ON ELEVATIONS, UNLESS NOTED OTHERWISE.
- Q. FINISH COLOR CHANGES TO COLOR AS NOTED ON ELEVATIONS, UNLESS NOTED OTHERWISE.
- R. FINISH COLOR CHANGES TO COLOR AS NOTED ON ELEVATIONS, UNLESS NOTED OTHERWISE.
- S. FINISH COLOR CHANGES TO COLOR AS NOTED ON ELEVATIONS, UNLESS NOTED OTHERWISE.
- T. FINISH COLOR CHANGES TO COLOR AS NOTED ON ELEVATIONS, UNLESS NOTED OTHERWISE.
- U. FINISH COLOR CHANGES TO COLOR AS NOTED ON ELEVATIONS, UNLESS NOTED OTHERWISE.
- V. FINISH COLOR CHANGES TO COLOR AS NOTED ON ELEVATIONS, UNLESS NOTED OTHERWISE.
- W. FINISH COLOR CHANGES TO COLOR AS NOTED ON ELEVATIONS, UNLESS NOTED OTHERWISE.
- X. FINISH COLOR CHANGES TO COLOR AS NOTED ON ELEVATIONS, UNLESS NOTED OTHERWISE.
- Y. FINISH COLOR CHANGES TO COLOR AS NOTED ON ELEVATIONS, UNLESS NOTED OTHERWISE.
- Z. FINISH COLOR CHANGES TO COLOR AS NOTED ON ELEVATIONS, UNLESS NOTED OTHERWISE.

COLOR SCHED. - ELEVATIONS

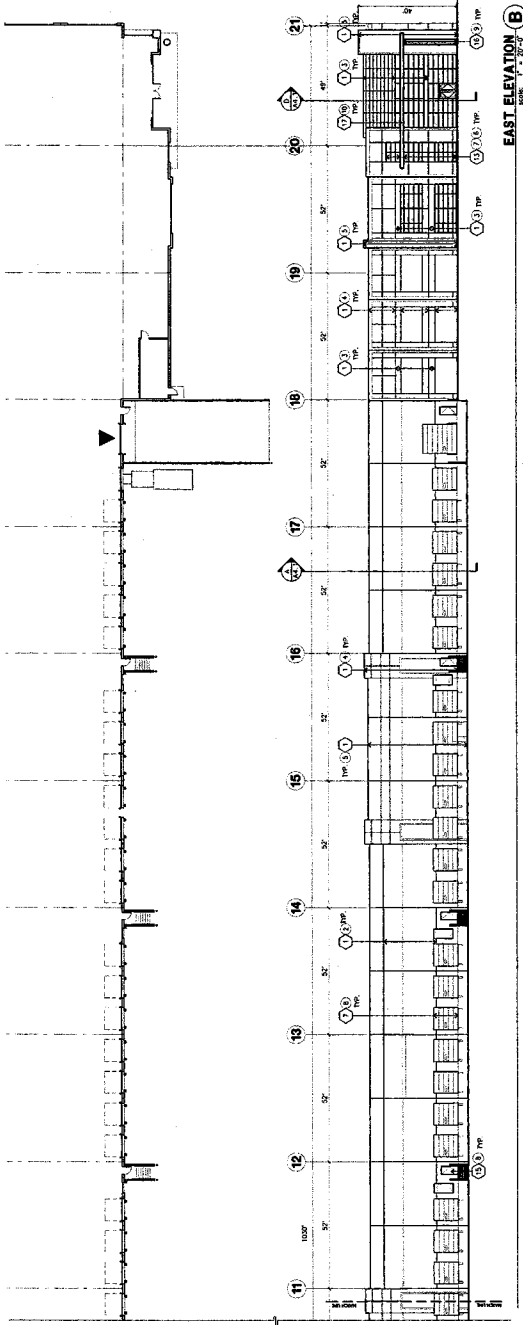
- 1. CONCRETE TILT-UP PANEL, FINISH CL. 3118, SILVER SHINE
- 2. CONCRETE TILT-UP PANEL, FINISH CL. 3118, SILVER SHINE
- 3. CONCRETE TILT-UP PANEL, FINISH CL. 3118, SILVER SHINE
- 4. CONCRETE TILT-UP PANEL, FINISH CL. 3118, SILVER SHINE
- 5. CONCRETE TILT-UP PANEL, FINISH CL. 3118, SILVER SHINE
- 6. CONCRETE TILT-UP PANEL, FINISH CL. 3118, SILVER SHINE
- 7. CONCRETE TILT-UP PANEL, FINISH CL. 3118, SILVER SHINE
- 8. CONCRETE TILT-UP PANEL, FINISH CL. 3118, SILVER SHINE
- 9. CONCRETE TILT-UP PANEL, FINISH CL. 3118, SILVER SHINE
- 10. CONCRETE TILT-UP PANEL, FINISH CL. 3118, SILVER SHINE
- 11. CONCRETE TILT-UP PANEL, FINISH CL. 3118, SILVER SHINE
- 12. CONCRETE TILT-UP PANEL, FINISH CL. 3118, SILVER SHINE
- 13. CONCRETE TILT-UP PANEL, FINISH CL. 3118, SILVER SHINE
- 14. CONCRETE TILT-UP PANEL, FINISH CL. 3118, SILVER SHINE
- 15. CONCRETE TILT-UP PANEL, FINISH CL. 3118, SILVER SHINE
- 16. CONCRETE TILT-UP PANEL, FINISH CL. 3118, SILVER SHINE
- 17. CONCRETE TILT-UP PANEL, FINISH CL. 3118, SILVER SHINE
- 18. CONCRETE TILT-UP PANEL, FINISH CL. 3118, SILVER SHINE
- 19. CONCRETE TILT-UP PANEL, FINISH CL. 3118, SILVER SHINE
- 20. CONCRETE TILT-UP PANEL, FINISH CL. 3118, SILVER SHINE

GLAZING LEGEND

- 1. SPANISH GLASS
- 2. SPANISH GLASS
- 3. SPANISH GLASS
- 4. SPANISH GLASS
- 5. SPANISH GLASS
- 6. SPANISH GLASS
- 7. SPANISH GLASS
- 8. SPANISH GLASS
- 9. SPANISH GLASS
- 10. SPANISH GLASS
- 11. SPANISH GLASS
- 12. SPANISH GLASS
- 13. SPANISH GLASS
- 14. SPANISH GLASS
- 15. SPANISH GLASS
- 16. SPANISH GLASS
- 17. SPANISH GLASS
- 18. SPANISH GLASS
- 19. SPANISH GLASS
- 20. SPANISH GLASS



EAST ELEVATION (A)
SCALE: 1/8" = 1'-0"



EAST ELEVATION (B)
SCALE: 1/8" = 1'-0"

GENERAL NOTES - ELEVATIONS

- 1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS AND NOTES.
- 2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS AND NOTES.
- 3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS AND NOTES.
- 4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS AND NOTES.
- 5. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS AND NOTES.
- 6. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS AND NOTES.
- 7. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS AND NOTES.
- 8. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS AND NOTES.
- 9. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS AND NOTES.
- 10. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS AND NOTES.
- 11. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS AND NOTES.
- 12. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS AND NOTES.
- 13. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS AND NOTES.
- 14. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS AND NOTES.
- 15. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS AND NOTES.
- 16. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS AND NOTES.
- 17. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS AND NOTES.
- 18. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS AND NOTES.
- 19. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS AND NOTES.
- 20. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS AND NOTES.
- 21. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS AND NOTES.

KEYNOTES - ELEVATIONS

- 1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS AND NOTES.
- 2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS AND NOTES.
- 3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS AND NOTES.
- 4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS AND NOTES.
- 5. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS AND NOTES.
- 6. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS AND NOTES.
- 7. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS AND NOTES.
- 8. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS AND NOTES.
- 9. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS AND NOTES.
- 10. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS AND NOTES.
- 11. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS AND NOTES.
- 12. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS AND NOTES.
- 13. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS AND NOTES.
- 14. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS AND NOTES.
- 15. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS AND NOTES.
- 16. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS AND NOTES.
- 17. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS AND NOTES.
- 18. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS AND NOTES.
- 19. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS AND NOTES.
- 20. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS AND NOTES.
- 21. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS AND NOTES.

COLOR SCHED. - ELEVATIONS

- 1. CONCRETE TILT-UP PANEL
- 2. CONCRETE TILT-UP PANEL
- 3. CONCRETE TILT-UP PANEL
- 4. CONCRETE TILT-UP PANEL
- 5. CONCRETE TILT-UP PANEL
- 6. CONCRETE TILT-UP PANEL
- 7. CONCRETE TILT-UP PANEL
- 8. CONCRETE TILT-UP PANEL
- 9. CONCRETE TILT-UP PANEL
- 10. CONCRETE TILT-UP PANEL
- 11. CONCRETE TILT-UP PANEL
- 12. CONCRETE TILT-UP PANEL
- 13. CONCRETE TILT-UP PANEL
- 14. CONCRETE TILT-UP PANEL
- 15. CONCRETE TILT-UP PANEL
- 16. CONCRETE TILT-UP PANEL
- 17. CONCRETE TILT-UP PANEL
- 18. CONCRETE TILT-UP PANEL
- 19. CONCRETE TILT-UP PANEL
- 20. CONCRETE TILT-UP PANEL
- 21. CONCRETE TILT-UP PANEL

GLAZING LEGEND

- 1. SHIMMED GLASS
- 2. WOOD GLASS
- 3. SHIMMED PANEL GLASS
- 4. WOOD GLASS

HPA

hpa, inc.
1823 Sandpoint Avenue, Ste. #100
San Francisco, CA 94133
Tel: 415-863-1770
Fax: 415-863-1770
Email: info@hpa.com

Owner:
**TRAMMELL CROW
COMPANY**

Project:
**TRAMMELL
CROW
BUSINESS
CENTER**
County of Riverside, CA
Building C

Consultant:

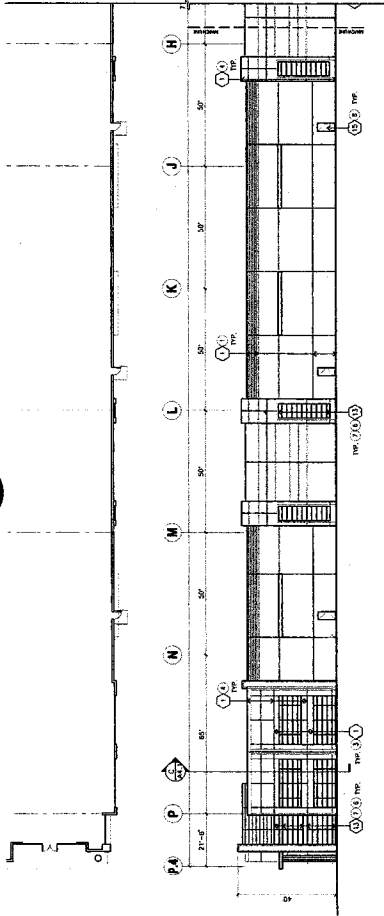
Title:

ELEVATIONS

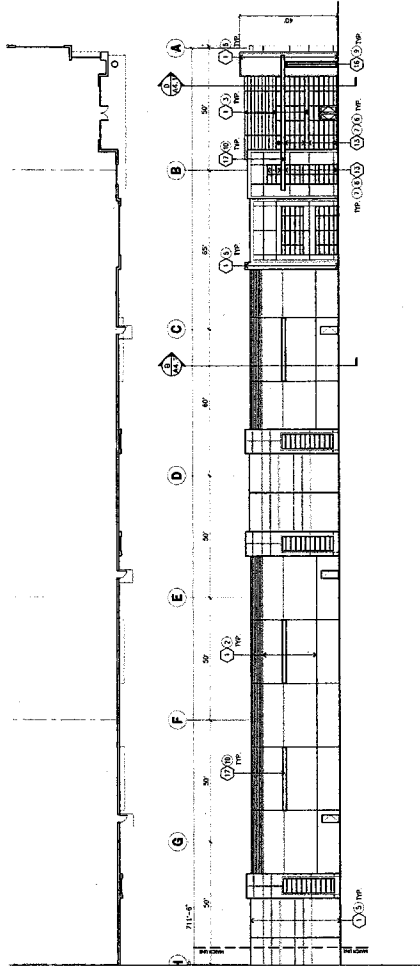
Project Number: 11097
Client: MK
Date: 02/20/11
Revision:

Sheet:

A3.3C



NORTH ELEVATION
Scale: 1/8" = 1'-0"



NORTH ELEVATION
Scale: 1/8" = 1'-0"

GENERAL NOTES - ELEVATIONS

1. MATCH COLOR FINISH TO MATCH EXISTING CONCRETE WALLS. USE 1/2" MINIMUM THICKNESS. MATCH EXISTING FINISHES AND MATERIALS. ALL FINISHES TO BE MATCHED TO EXISTING FINISHES AND MATERIALS. ALL FINISHES TO BE MATCHED TO EXISTING FINISHES AND MATERIALS.
2. TOP OF FINISH ELEVATION TO BE MATCHED TO EXISTING FINISHES AND MATERIALS.
3. FINISHES TO BE MATCHED TO EXISTING FINISHES AND MATERIALS.
4. FINISHES TO BE MATCHED TO EXISTING FINISHES AND MATERIALS.
5. FINISHES TO BE MATCHED TO EXISTING FINISHES AND MATERIALS.
6. FINISHES TO BE MATCHED TO EXISTING FINISHES AND MATERIALS.
7. FINISHES TO BE MATCHED TO EXISTING FINISHES AND MATERIALS.
8. FINISHES TO BE MATCHED TO EXISTING FINISHES AND MATERIALS.
9. FINISHES TO BE MATCHED TO EXISTING FINISHES AND MATERIALS.
10. FINISHES TO BE MATCHED TO EXISTING FINISHES AND MATERIALS.

KEYNOTES - ELEVATIONS

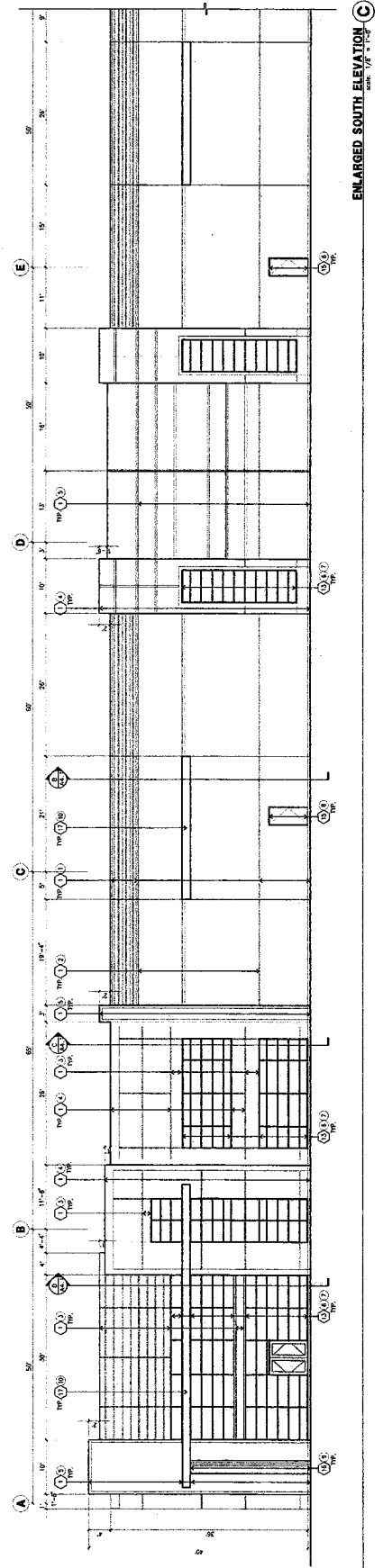
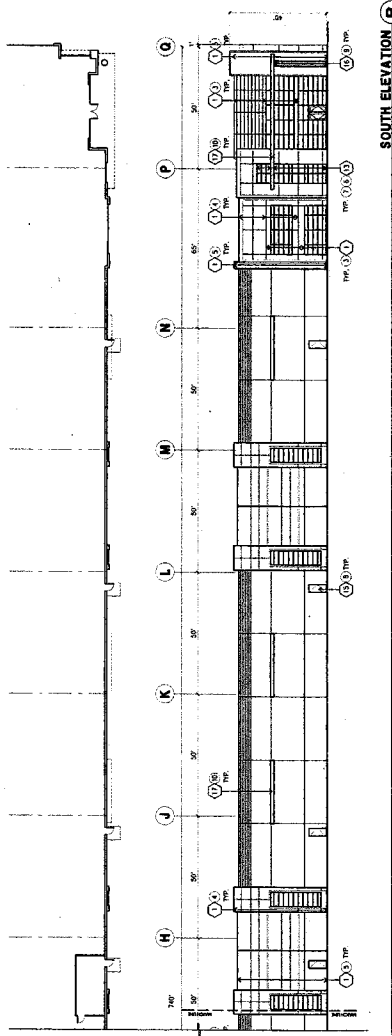
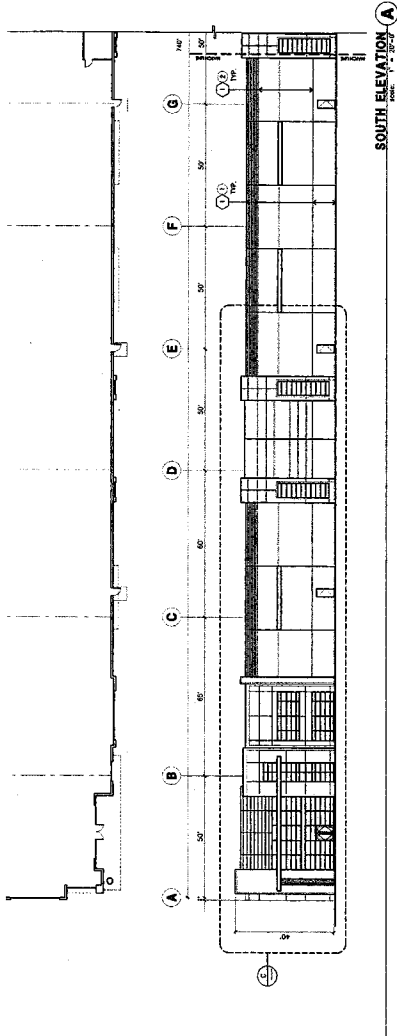
1. MATCH COLOR FINISH TO MATCH EXISTING CONCRETE WALLS. USE 1/2" MINIMUM THICKNESS. MATCH EXISTING FINISHES AND MATERIALS. ALL FINISHES TO BE MATCHED TO EXISTING FINISHES AND MATERIALS.
2. TOP OF FINISH ELEVATION TO BE MATCHED TO EXISTING FINISHES AND MATERIALS.
3. FINISHES TO BE MATCHED TO EXISTING FINISHES AND MATERIALS.
4. FINISHES TO BE MATCHED TO EXISTING FINISHES AND MATERIALS.
5. FINISHES TO BE MATCHED TO EXISTING FINISHES AND MATERIALS.
6. FINISHES TO BE MATCHED TO EXISTING FINISHES AND MATERIALS.
7. FINISHES TO BE MATCHED TO EXISTING FINISHES AND MATERIALS.
8. FINISHES TO BE MATCHED TO EXISTING FINISHES AND MATERIALS.
9. FINISHES TO BE MATCHED TO EXISTING FINISHES AND MATERIALS.
10. FINISHES TO BE MATCHED TO EXISTING FINISHES AND MATERIALS.

COLOR SCHED. - ELEVATIONS

1. CONCRETE FL-TUP PANEL. PAINT FINISH. FINISH C. 2171R. MATCH EXISTING.
2. CONCRETE FL-TUP PANEL. PAINT FINISH. FINISH C. 2171R. MATCH EXISTING.
3. CONCRETE FL-TUP PANEL. PAINT FINISH. FINISH C. 2171R. MATCH EXISTING.
4. CONCRETE FL-TUP PANEL. PAINT FINISH. FINISH C. 2171R. MATCH EXISTING.
5. CONCRETE FL-TUP PANEL. PAINT FINISH. FINISH C. 2171R. MATCH EXISTING.
6. CONCRETE FL-TUP PANEL. PAINT FINISH. FINISH C. 2171R. MATCH EXISTING.
7. CONCRETE FL-TUP PANEL. PAINT FINISH. FINISH C. 2171R. MATCH EXISTING.
8. CONCRETE FL-TUP PANEL. PAINT FINISH. FINISH C. 2171R. MATCH EXISTING.
9. CONCRETE FL-TUP PANEL. PAINT FINISH. FINISH C. 2171R. MATCH EXISTING.
10. CONCRETE FL-TUP PANEL. PAINT FINISH. FINISH C. 2171R. MATCH EXISTING.

GLAZING LEGEND

1. SPANGLER GLASS
2. TINTED SPANGLER GLASS
3. TINTED SPANGLER GLASS
4. TINTED SPANGLER GLASS



KEYNOTES - ELEVATIONS

1. FINISH FLOOR TO BE 1" ABOVE FINISH GRADE. ALL WALLS TO BE FINISHED TO FINISH GRADE. ALL WALLS TO BE FINISHED TO FINISH GRADE. ALL WALLS TO BE FINISHED TO FINISH GRADE.
2. FINISH FLOOR TO BE 1" ABOVE FINISH GRADE. ALL WALLS TO BE FINISHED TO FINISH GRADE. ALL WALLS TO BE FINISHED TO FINISH GRADE.
3. FINISH FLOOR TO BE 1" ABOVE FINISH GRADE. ALL WALLS TO BE FINISHED TO FINISH GRADE. ALL WALLS TO BE FINISHED TO FINISH GRADE.
4. FINISH FLOOR TO BE 1" ABOVE FINISH GRADE. ALL WALLS TO BE FINISHED TO FINISH GRADE. ALL WALLS TO BE FINISHED TO FINISH GRADE.
5. FINISH FLOOR TO BE 1" ABOVE FINISH GRADE. ALL WALLS TO BE FINISHED TO FINISH GRADE. ALL WALLS TO BE FINISHED TO FINISH GRADE.
6. FINISH FLOOR TO BE 1" ABOVE FINISH GRADE. ALL WALLS TO BE FINISHED TO FINISH GRADE. ALL WALLS TO BE FINISHED TO FINISH GRADE.
7. FINISH FLOOR TO BE 1" ABOVE FINISH GRADE. ALL WALLS TO BE FINISHED TO FINISH GRADE. ALL WALLS TO BE FINISHED TO FINISH GRADE.
8. FINISH FLOOR TO BE 1" ABOVE FINISH GRADE. ALL WALLS TO BE FINISHED TO FINISH GRADE. ALL WALLS TO BE FINISHED TO FINISH GRADE.
9. FINISH FLOOR TO BE 1" ABOVE FINISH GRADE. ALL WALLS TO BE FINISHED TO FINISH GRADE. ALL WALLS TO BE FINISHED TO FINISH GRADE.
10. FINISH FLOOR TO BE 1" ABOVE FINISH GRADE. ALL WALLS TO BE FINISHED TO FINISH GRADE. ALL WALLS TO BE FINISHED TO FINISH GRADE.

GENERAL NOTES - ELEVATIONS

1. ALL FINISH COLOR CHANGES TO OCCUR AT RISK OWNER'S FINISHES NOTED.
2. ALL FINISH COLOR CHANGES TO OCCUR AT RISK OWNER'S FINISHES NOTED.
3. ALL FINISH COLOR CHANGES TO OCCUR AT RISK OWNER'S FINISHES NOTED.
4. ALL FINISH COLOR CHANGES TO OCCUR AT RISK OWNER'S FINISHES NOTED.
5. ALL FINISH COLOR CHANGES TO OCCUR AT RISK OWNER'S FINISHES NOTED.
6. ALL FINISH COLOR CHANGES TO OCCUR AT RISK OWNER'S FINISHES NOTED.
7. ALL FINISH COLOR CHANGES TO OCCUR AT RISK OWNER'S FINISHES NOTED.
8. ALL FINISH COLOR CHANGES TO OCCUR AT RISK OWNER'S FINISHES NOTED.
9. ALL FINISH COLOR CHANGES TO OCCUR AT RISK OWNER'S FINISHES NOTED.
10. ALL FINISH COLOR CHANGES TO OCCUR AT RISK OWNER'S FINISHES NOTED.

COLOR SCHED. - ELEVATIONS

1. CONCRETE TILT-UP PANEL, PAINT BRN... FRNCE CL. 3/16" SILVER BRN
2. CONCRETE TILT-UP PANEL, PAINT BRN... FRNCE CL. 3/16" SILVER BRN
3. CONCRETE TILT-UP PANEL, PAINT BRN... FRNCE CL. 3/16" SILVER BRN
4. CONCRETE TILT-UP PANEL, PAINT BRN... FRNCE CL. 3/16" SILVER BRN
5. CONCRETE TILT-UP PANEL, PAINT BRN... FRNCE CL. 3/16" SILVER BRN
6. CONCRETE TILT-UP PANEL, PAINT BRN... FRNCE CL. 3/16" SILVER BRN
7. GLAZING
8. GLAZING
9. GLAZING
10. GLAZING

GLAZING LEGEND

- 1. SPUN GLASS
- 2. TINTED SPUN GLASS
- 3. TINTED SPUN GLASS
- 4. TINTED SPUN GLASS
- 5. TINTED SPUN GLASS
- 6. TINTED SPUN GLASS
- 7. TINTED SPUN GLASS
- 8. TINTED SPUN GLASS
- 9. TINTED SPUN GLASS
- 10. TINTED SPUN GLASS

HPA

HPA, Inc.
1601 Lakeside Blvd., Ste. #100
San Francisco, CA 94116
Tel: 415-774-1771
Fax: 415-774-1888
email: hpa@hpa.com



Client:
TRAMMELL CROW
COMPANY

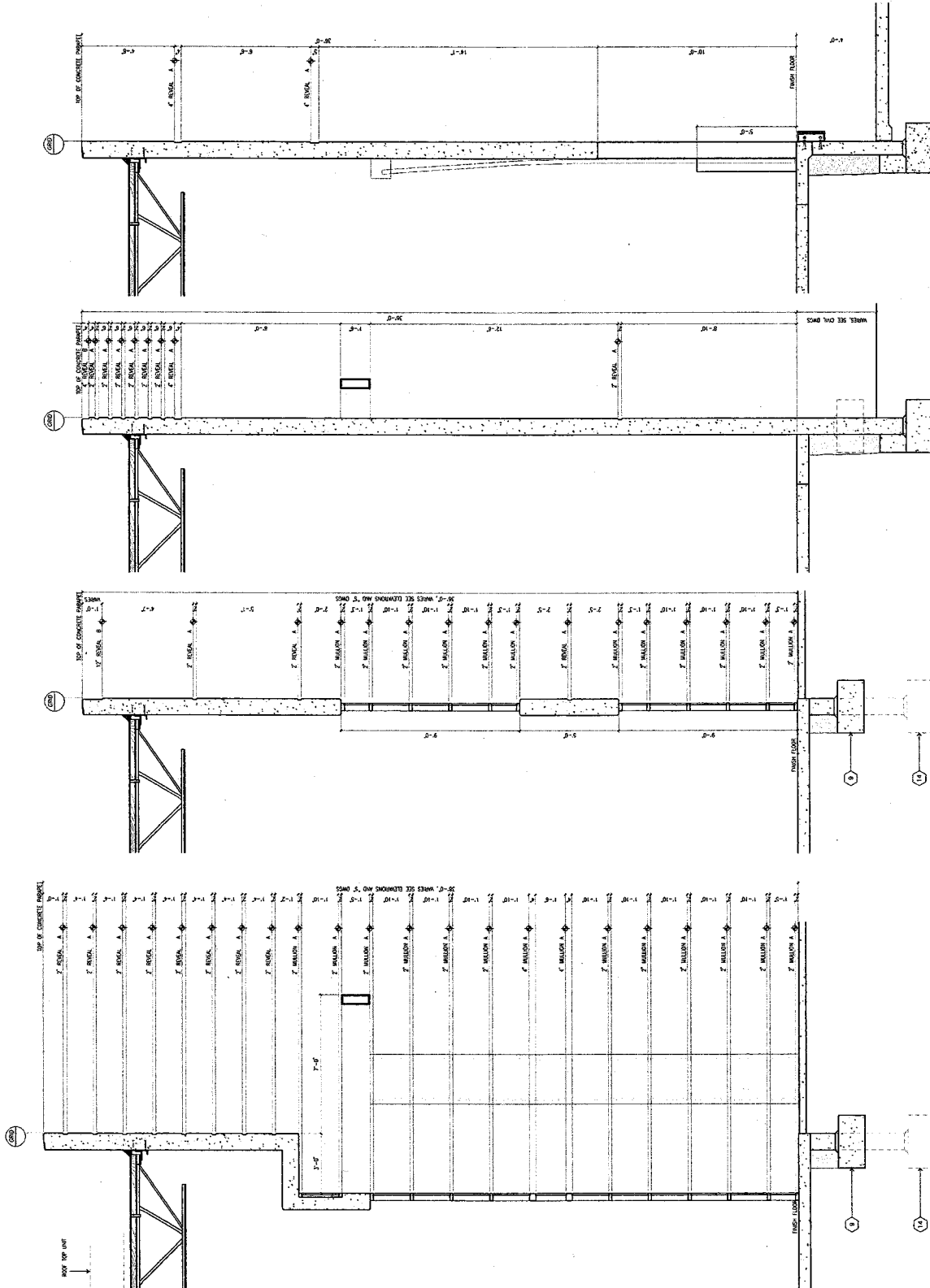
Project:
TRAMMELL
CROW
BUSINESS
CENTER
County of Riverside, CA

Consultants:

Title: _____
Section: _____
Project Number: 11007
Client Ref: M.H.
Date: 02/20/11
Revision: _____

Sheet:

A4.1

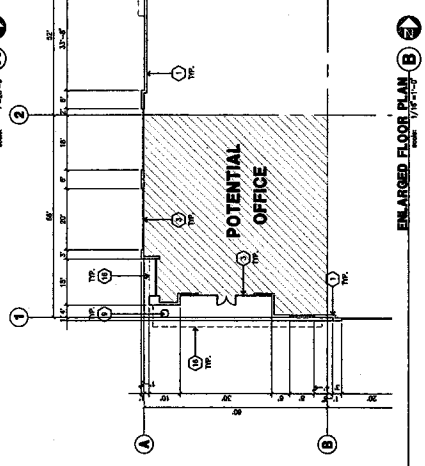
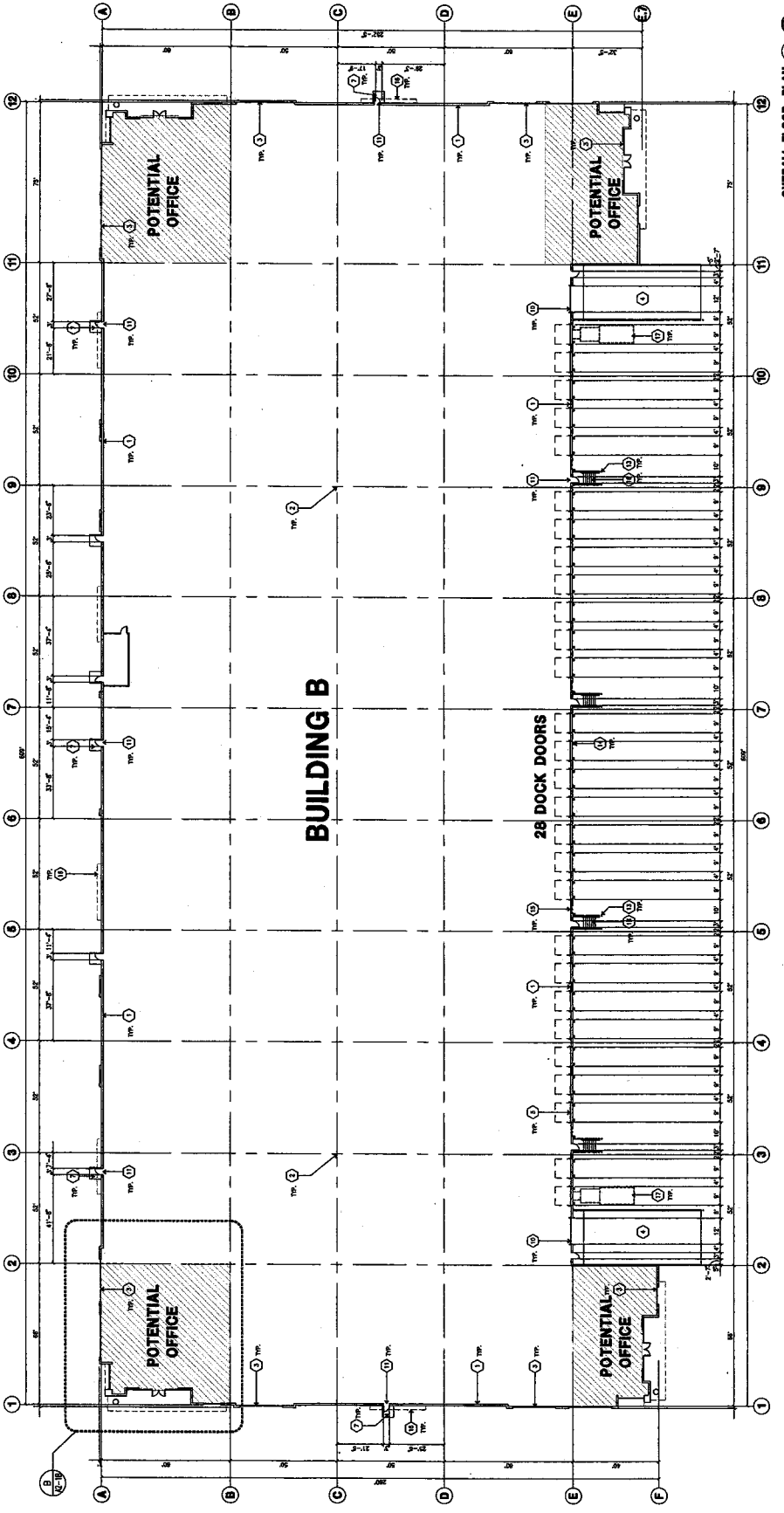


LOADING DOCK HIGH
SECTION A

EXTERIOR WALL W/ REVEAL
SECTION B

WALL SECTION AT WINDOWS
SECTION C

WALL SECTION AT WINDOWS
SECTION D



FLOOR SLAB AND POOR STRIPS REE

1. FLOOR COMPARISON - SEE 11097 FOR ADDITIONAL REQUIREMENTS
2. FLOOR COMPARISON - SEE 11097 FOR ADDITIONAL REQUIREMENTS
3. ALLOWING FLOOR SLAB SEE 11097
4. CONCRETE TO BE POURED FOR SLAB & FLOOR FOR A.C.I. 308-8R-9
5. CONCRETE TO BE POURED FOR SLAB & FLOOR FOR A.C.I. 308-8R-9
6. CONCRETE TO BE POURED FOR SLAB & FLOOR FOR A.C.I. 308-8R-9
7. CONCRETE TO BE POURED FOR SLAB & FLOOR FOR A.C.I. 308-8R-9
8. CONCRETE TO BE POURED FOR SLAB & FLOOR FOR A.C.I. 308-8R-9
9. CONCRETE TO BE POURED FOR SLAB & FLOOR FOR A.C.I. 308-8R-9
10. CONCRETE TO BE POURED FOR SLAB & FLOOR FOR A.C.I. 308-8R-9
11. CONCRETE TO BE POURED FOR SLAB & FLOOR FOR A.C.I. 308-8R-9
12. CONCRETE TO BE POURED FOR SLAB & FLOOR FOR A.C.I. 308-8R-9

GENERAL NOTES - FLOOR PLAN

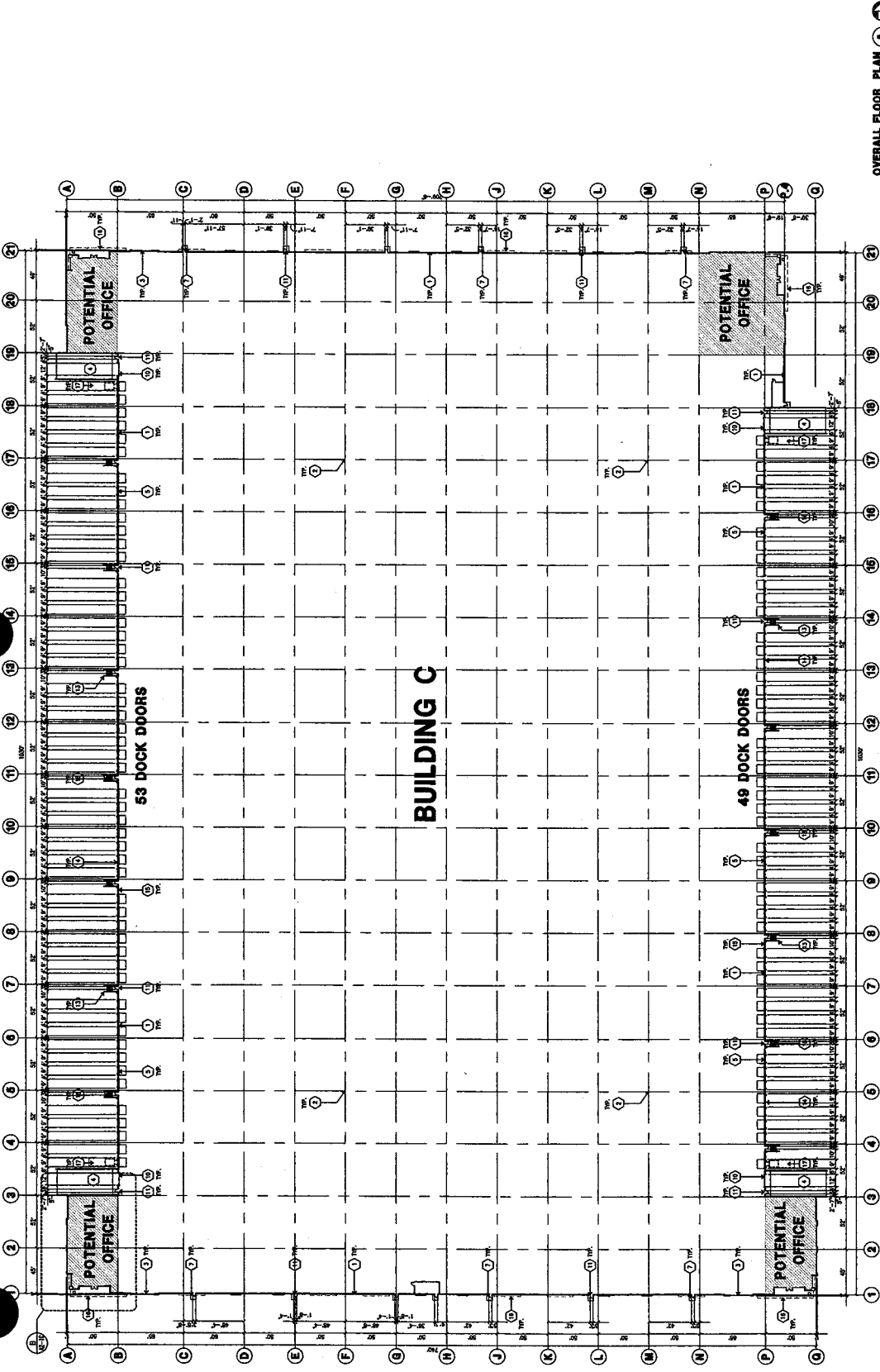
1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED
2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED
3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED
4. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED
5. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED
6. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED
7. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED
8. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED
9. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED
10. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED
11. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED
12. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED

KEYNOTES - FLOOR PLAN

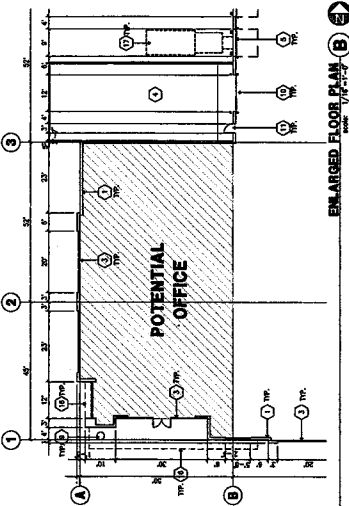
1. CONCRETE TO BE POURED FOR SLAB & FLOOR FOR A.C.I. 308-8R-9
2. CONCRETE TO BE POURED FOR SLAB & FLOOR FOR A.C.I. 308-8R-9
3. CONCRETE TO BE POURED FOR SLAB & FLOOR FOR A.C.I. 308-8R-9
4. CONCRETE TO BE POURED FOR SLAB & FLOOR FOR A.C.I. 308-8R-9
5. CONCRETE TO BE POURED FOR SLAB & FLOOR FOR A.C.I. 308-8R-9
6. CONCRETE TO BE POURED FOR SLAB & FLOOR FOR A.C.I. 308-8R-9
7. CONCRETE TO BE POURED FOR SLAB & FLOOR FOR A.C.I. 308-8R-9
8. CONCRETE TO BE POURED FOR SLAB & FLOOR FOR A.C.I. 308-8R-9
9. CONCRETE TO BE POURED FOR SLAB & FLOOR FOR A.C.I. 308-8R-9
10. CONCRETE TO BE POURED FOR SLAB & FLOOR FOR A.C.I. 308-8R-9
11. CONCRETE TO BE POURED FOR SLAB & FLOOR FOR A.C.I. 308-8R-9
12. CONCRETE TO BE POURED FOR SLAB & FLOOR FOR A.C.I. 308-8R-9

GENERAL NOTES - FLOOR PLAN

1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED
2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED
3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED
4. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED
5. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED
6. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED
7. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED
8. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED
9. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED
10. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED
11. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED
12. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED



OVERALL FLOOR PLAN



ENLARGED FLOOR PLAN

FLOOR SLAB AND FOUR STRIPS REQ.

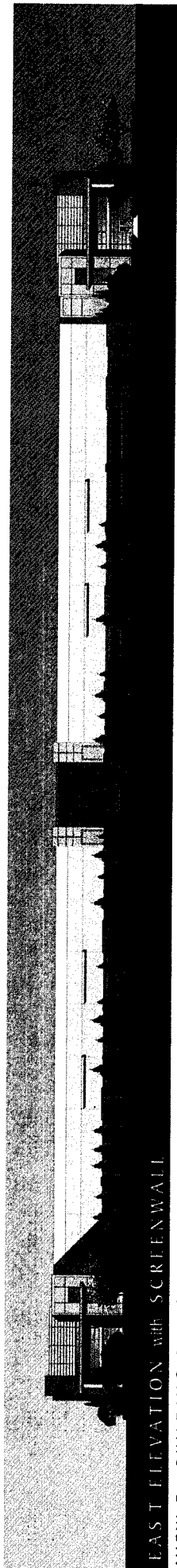
1. THICKNESS SHALL BE 4" MIN. UNLESS OTHERWISE NOTED.
2. CONCRETE SHALL BE 3000 PSI.
3. CONCRETE SHALL BE PLACED ON A 1" MIN. SAND BED.
4. CONCRETE SHALL BE PLACED ON A 1" MIN. SAND BED.
5. CONCRETE SHALL BE PLACED ON A 1" MIN. SAND BED.
6. CONCRETE SHALL BE PLACED ON A 1" MIN. SAND BED.
7. CONCRETE SHALL BE PLACED ON A 1" MIN. SAND BED.
8. CONCRETE SHALL BE PLACED ON A 1" MIN. SAND BED.
9. CONCRETE SHALL BE PLACED ON A 1" MIN. SAND BED.
10. CONCRETE SHALL BE PLACED ON A 1" MIN. SAND BED.
11. CONCRETE SHALL BE PLACED ON A 1" MIN. SAND BED.
12. CONCRETE SHALL BE PLACED ON A 1" MIN. SAND BED.
13. CONCRETE SHALL BE PLACED ON A 1" MIN. SAND BED.
14. CONCRETE SHALL BE PLACED ON A 1" MIN. SAND BED.
15. CONCRETE SHALL BE PLACED ON A 1" MIN. SAND BED.
16. CONCRETE SHALL BE PLACED ON A 1" MIN. SAND BED.
17. CONCRETE SHALL BE PLACED ON A 1" MIN. SAND BED.
18. CONCRETE SHALL BE PLACED ON A 1" MIN. SAND BED.
19. CONCRETE SHALL BE PLACED ON A 1" MIN. SAND BED.
20. CONCRETE SHALL BE PLACED ON A 1" MIN. SAND BED.
21. CONCRETE SHALL BE PLACED ON A 1" MIN. SAND BED.
22. CONCRETE SHALL BE PLACED ON A 1" MIN. SAND BED.
23. CONCRETE SHALL BE PLACED ON A 1" MIN. SAND BED.
24. CONCRETE SHALL BE PLACED ON A 1" MIN. SAND BED.

GENERAL NOTES - FLOOR PLAN

1. THIS DRAWING IS FOR THE FLOOR PLAN ONLY. ALL STRUCTURAL REQUIREMENTS SHALL BE SHOWN ON THE STRUCTURAL DRAWINGS.
2. ALL DIMENSIONS SHALL BE IN FEET AND INCHES UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS SHALL BE TO THE FACE UNLESS OTHERWISE NOTED.
4. ALL DIMENSIONS SHALL BE TO THE FACE UNLESS OTHERWISE NOTED.
5. ALL DIMENSIONS SHALL BE TO THE FACE UNLESS OTHERWISE NOTED.
6. ALL DIMENSIONS SHALL BE TO THE FACE UNLESS OTHERWISE NOTED.
7. ALL DIMENSIONS SHALL BE TO THE FACE UNLESS OTHERWISE NOTED.
8. ALL DIMENSIONS SHALL BE TO THE FACE UNLESS OTHERWISE NOTED.
9. ALL DIMENSIONS SHALL BE TO THE FACE UNLESS OTHERWISE NOTED.
10. ALL DIMENSIONS SHALL BE TO THE FACE UNLESS OTHERWISE NOTED.
11. ALL DIMENSIONS SHALL BE TO THE FACE UNLESS OTHERWISE NOTED.
12. ALL DIMENSIONS SHALL BE TO THE FACE UNLESS OTHERWISE NOTED.
13. ALL DIMENSIONS SHALL BE TO THE FACE UNLESS OTHERWISE NOTED.
14. ALL DIMENSIONS SHALL BE TO THE FACE UNLESS OTHERWISE NOTED.
15. ALL DIMENSIONS SHALL BE TO THE FACE UNLESS OTHERWISE NOTED.
16. ALL DIMENSIONS SHALL BE TO THE FACE UNLESS OTHERWISE NOTED.
17. ALL DIMENSIONS SHALL BE TO THE FACE UNLESS OTHERWISE NOTED.
18. ALL DIMENSIONS SHALL BE TO THE FACE UNLESS OTHERWISE NOTED.
19. ALL DIMENSIONS SHALL BE TO THE FACE UNLESS OTHERWISE NOTED.
20. ALL DIMENSIONS SHALL BE TO THE FACE UNLESS OTHERWISE NOTED.
21. ALL DIMENSIONS SHALL BE TO THE FACE UNLESS OTHERWISE NOTED.
22. ALL DIMENSIONS SHALL BE TO THE FACE UNLESS OTHERWISE NOTED.
23. ALL DIMENSIONS SHALL BE TO THE FACE UNLESS OTHERWISE NOTED.
24. ALL DIMENSIONS SHALL BE TO THE FACE UNLESS OTHERWISE NOTED.

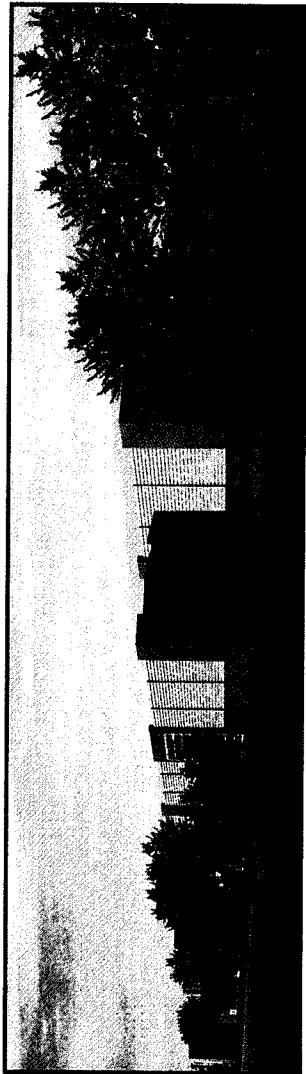
KEYNOTES - FLOOR PLAN

1. CONCRETE SLAB ON GROUND.
2. CONCRETE SLAB ON GROUND.
3. CONCRETE SLAB ON GROUND.
4. CONCRETE SLAB ON GROUND.
5. CONCRETE SLAB ON GROUND.
6. CONCRETE SLAB ON GROUND.
7. CONCRETE SLAB ON GROUND.
8. CONCRETE SLAB ON GROUND.
9. CONCRETE SLAB ON GROUND.
10. CONCRETE SLAB ON GROUND.
11. CONCRETE SLAB ON GROUND.
12. CONCRETE SLAB ON GROUND.
13. CONCRETE SLAB ON GROUND.
14. CONCRETE SLAB ON GROUND.
15. CONCRETE SLAB ON GROUND.
16. CONCRETE SLAB ON GROUND.
17. CONCRETE SLAB ON GROUND.
18. CONCRETE SLAB ON GROUND.
19. CONCRETE SLAB ON GROUND.
20. CONCRETE SLAB ON GROUND.
21. CONCRETE SLAB ON GROUND.
22. CONCRETE SLAB ON GROUND.
23. CONCRETE SLAB ON GROUND.
24. CONCRETE SLAB ON GROUND.

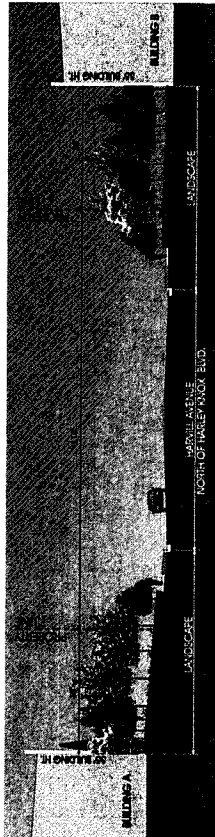


EAST ELEVATION WITH SCREENWALL

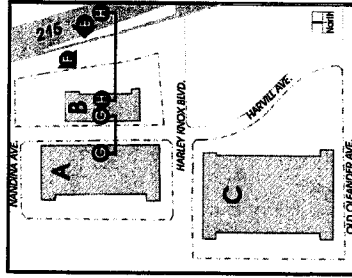
VIEW E - BUILDING B EAST ELEVATION FROM 215 HWY WITH SCREEN WALL



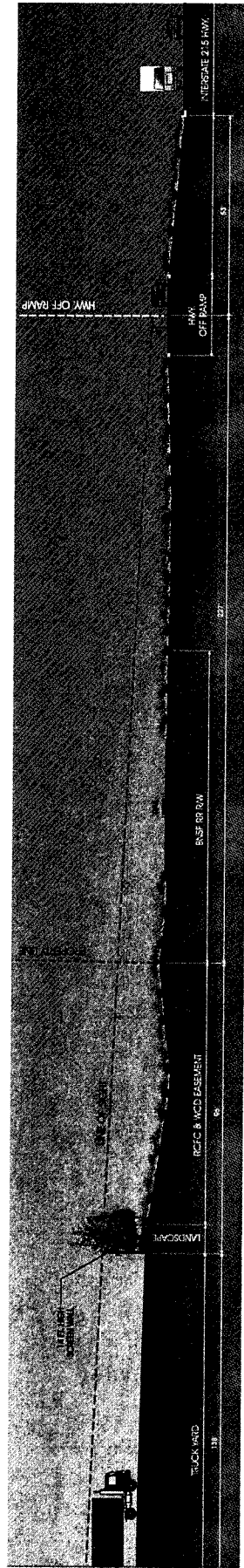
VIEW F - CONCEPT RENDERING OF SCREENWALL



SECTION G-G

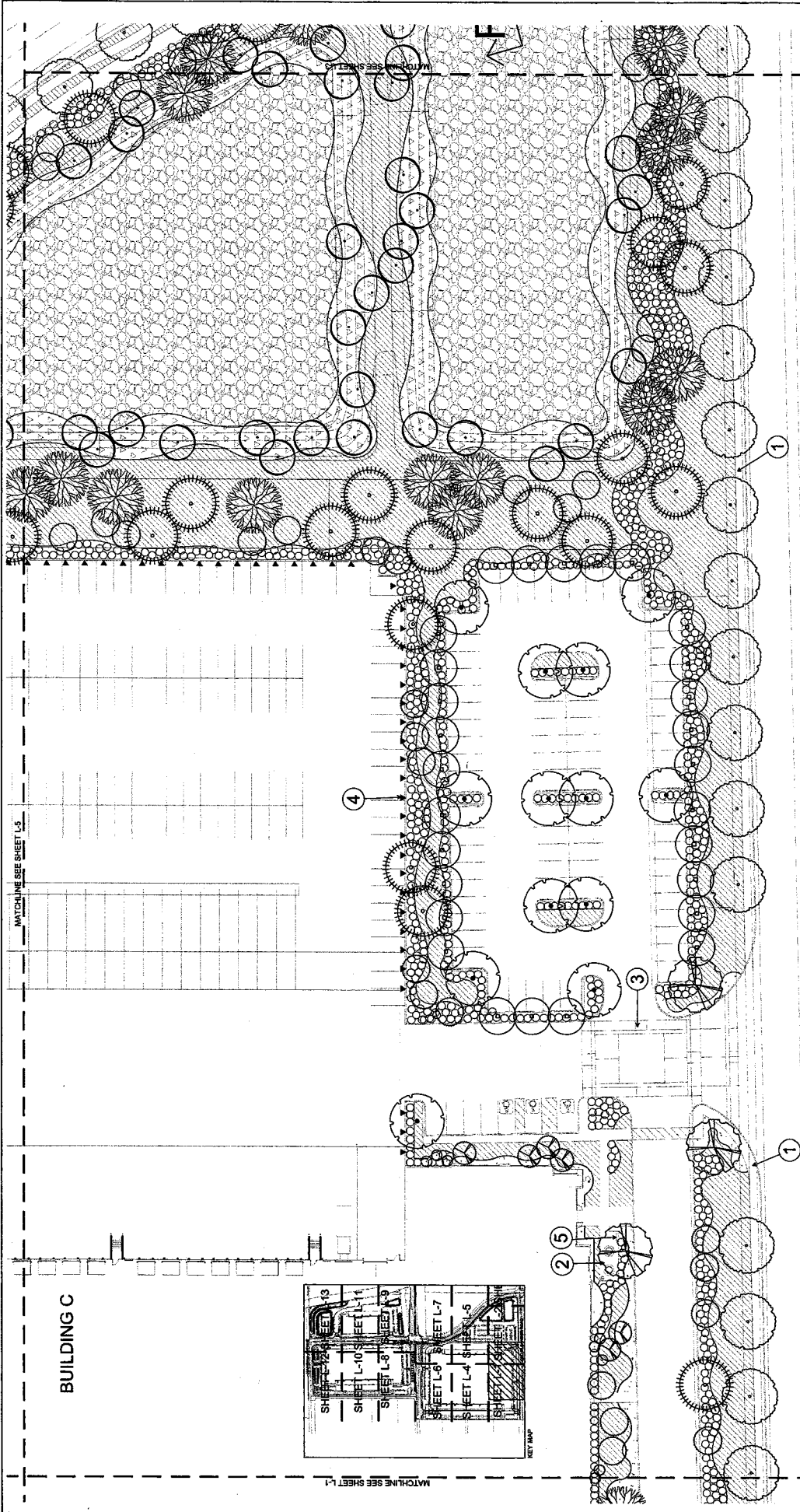


Key Map



CASE: PP20699R1
 EXHIBIT: H
 DATED: 7/12/11
 PLANNER: C. HINOJOSA

TRAMMELL CROW BUSINESS CENTER- Street Sections



OLDF

VA

VACANT/NATIVE

OLD OLEANDER ROAD



0" = 10' - 0"
1" = 20'
PLOT PLAN 2096481, FAST TRACK 2011-05

HUNTER LANDSCAPE
711 FEEAAS STREET PLACENTIA, CA 92660
714.986.1400 FAX 714.986.2408



SHEET L-2
Trammell Crow

Riverside County, California

Trammell Crow Business Center

05/11

HARVILLE AVENUE

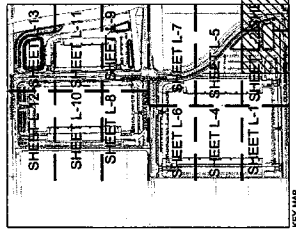
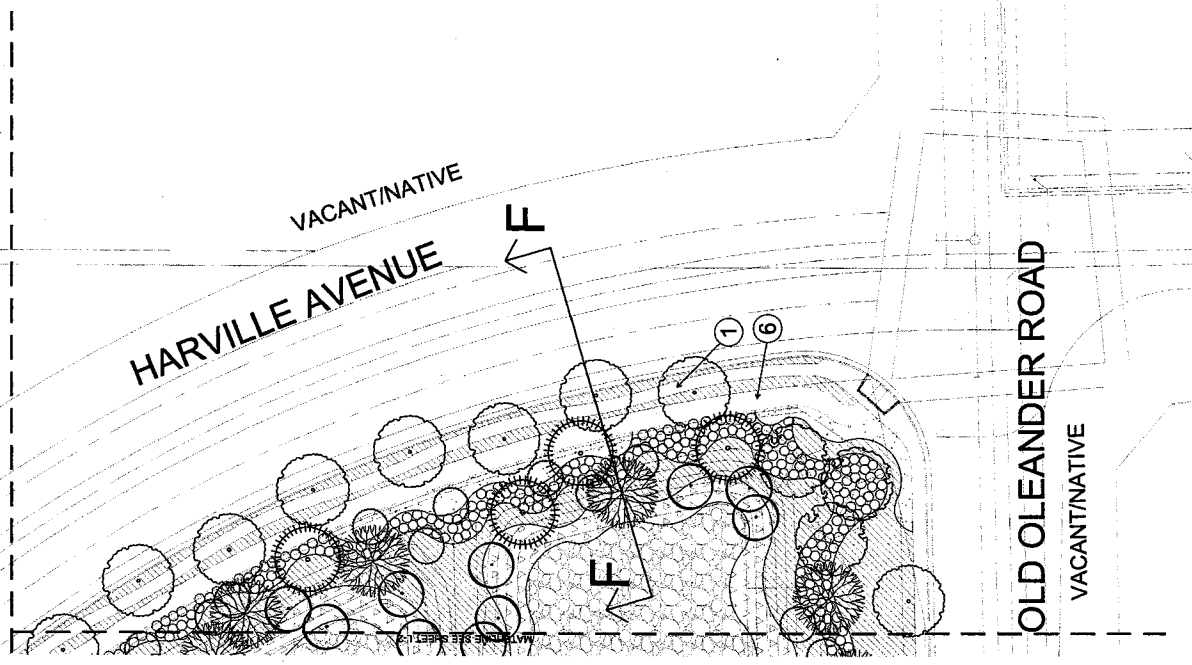
VACANT/NATIVE

F

F

OLD OLEANDER ROAD

VACANT/NATIVE



0 10' 20' 40'
1" = 20'
PLOT PLAN 209-68R1, FAST TRACK 2011-05

HUNTER LANDSCAPE
711 FEE AVE STREET PLACENTIA, CA 92679
714.986.2400 FAX 714.986.2408

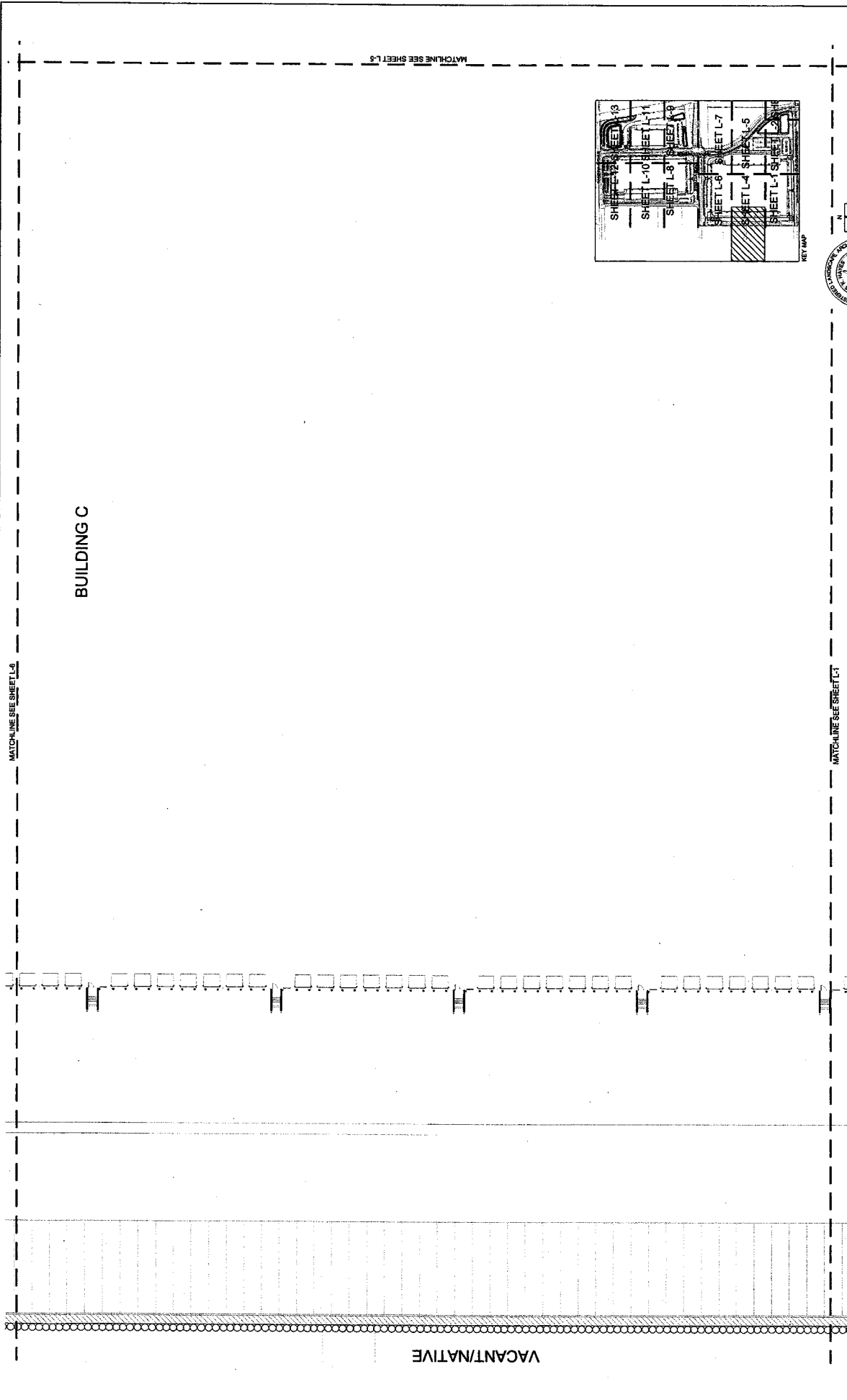


SHEET L-3
Trammell Crow

Riverside County, California

Trammell Crow Business Center

DATE: 11/11/11



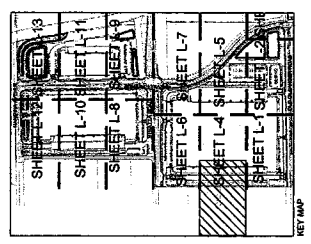
MATCHLINE SEE SHEET L-6


BUILDING C

VACANT/NATIVE


MATCHLINE SEE SHEET L-7

MATCHLINE SEE SHEET L-5





 N



 1" = 20'

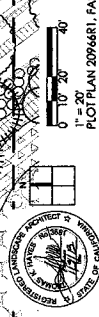
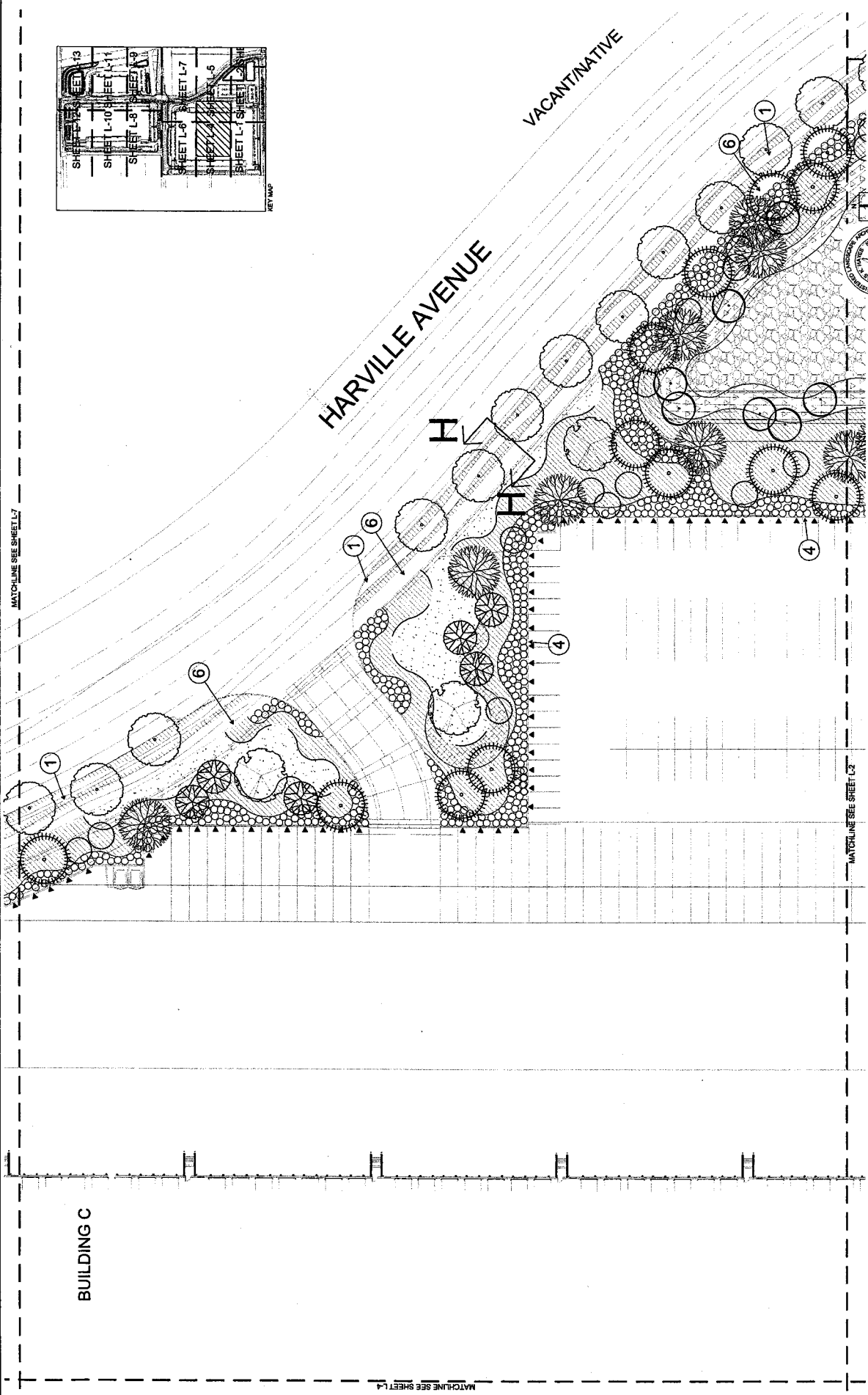
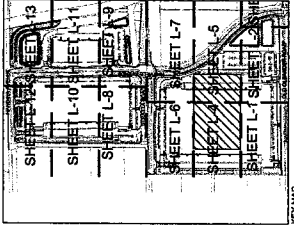
 PLOT PLAN 2094681, FAST TRACK 2011-05

SHEET L-4
Trammell Crow
 Riverside County, California

HUNTER LANDSCAPE
 711 FEE AWA STREET PLACENTIA, CA 91770
 714-986-2400 FAX 714-986-2408



Trammell Crow Business Center



HUNTER LANDSCAPE
 711 FEE AKA STREET PLACENTIA, CA 92670
 714.986.3400 FAX 714.986.2408



SHEET L-5
Trammell Crow
 Riverside County, California

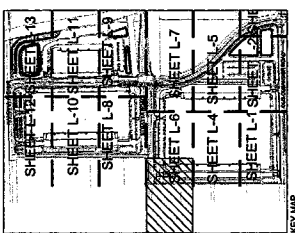
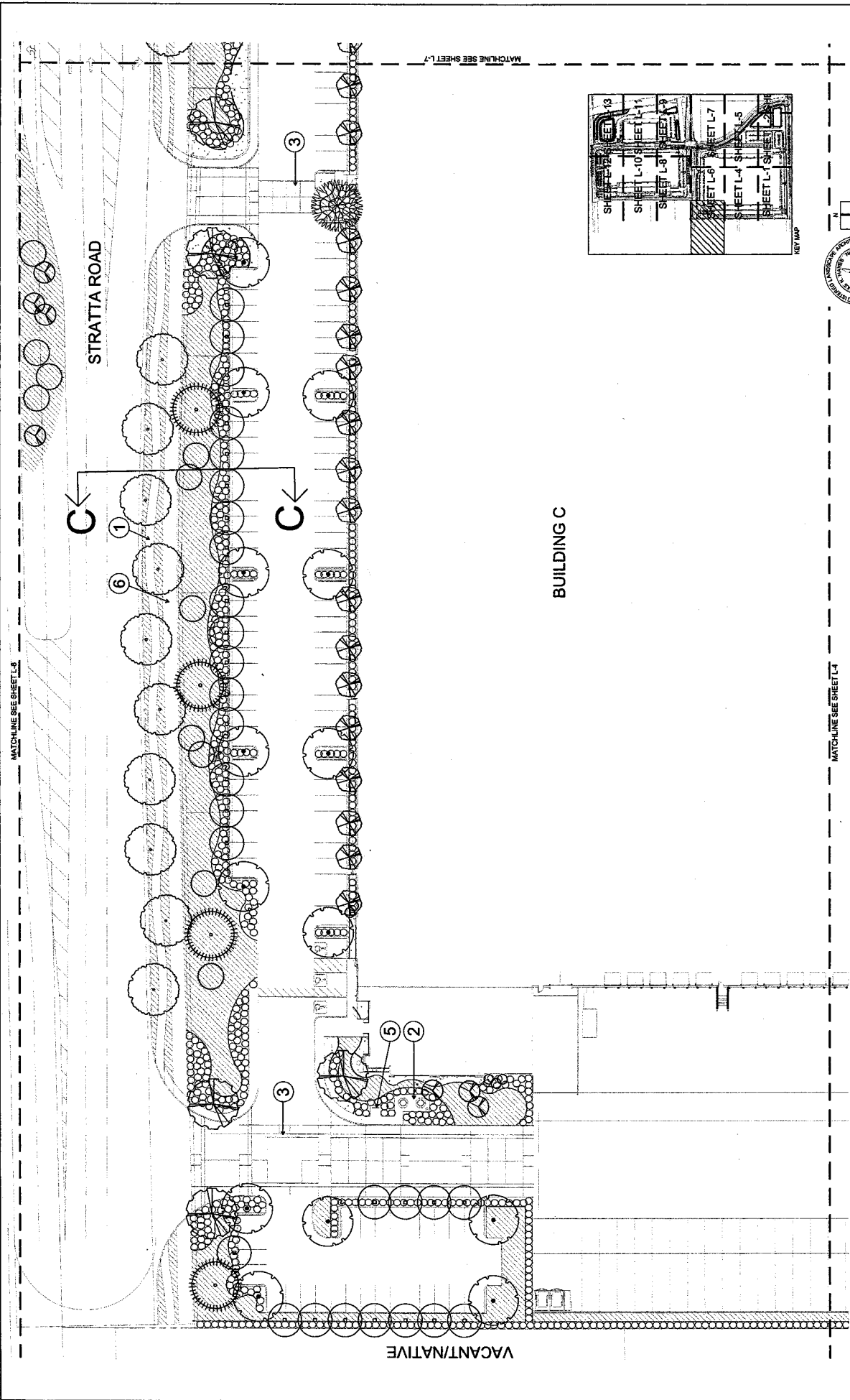
Trammell Crow Business Center
 01/20/2011

PLOT PLAN 2094681, FAST TRACK 2011-05

MATCHLINE SEE SHEET L-7

MATCHLINE SEE SHEET L-2

MATCHLINE SEE SHEET L-4



0" 10' 20' 40'
 1" = 20'
 PLOT PLAN 2096481, FAST TRACK 2011-05

HUNTER LANDSCAPE
 711 FEE AKA STREET
 PLACENTIA, CA 92670
 714.986.2400 FAX 714.986.2408

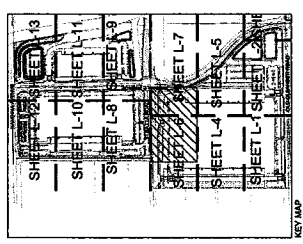
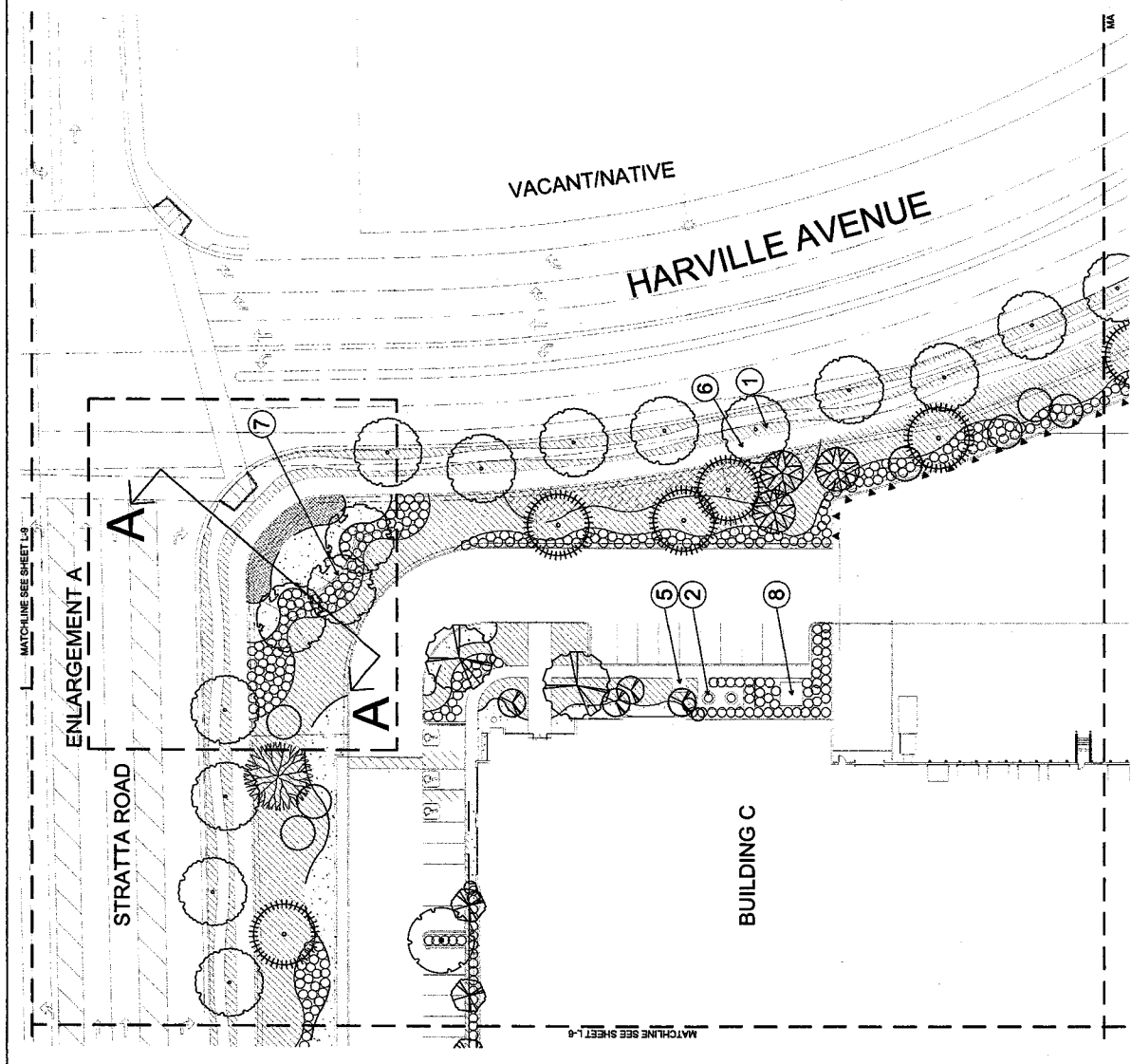


SHEET L-6
Trammell Crow

Riverside County, California

Trammell Crow Business Center

10/21



1" = 20'
0 10' 20' 40'

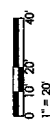
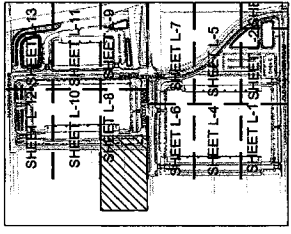
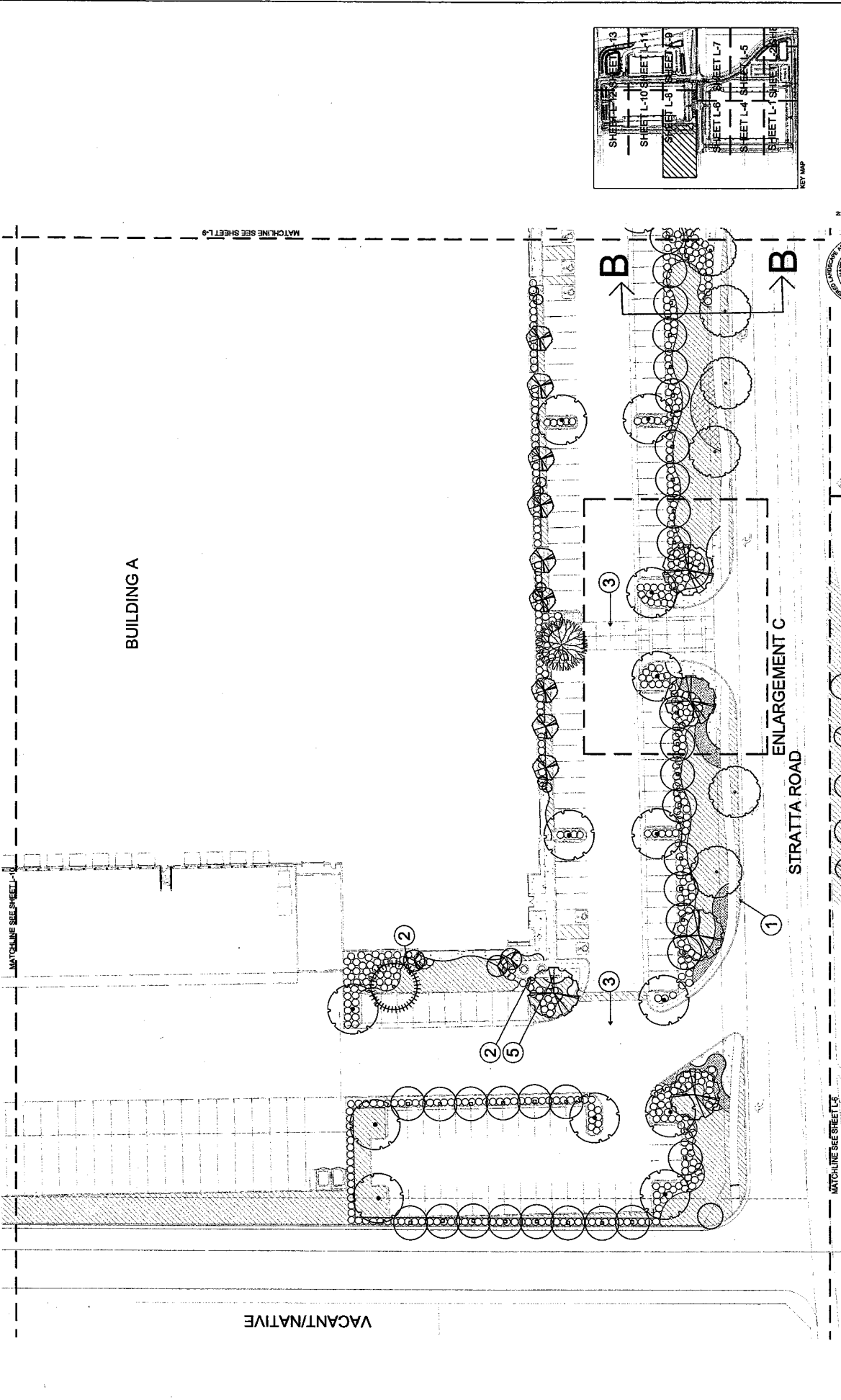
PLOT PLAN 2016&R1, EAST TRACK 2011-05

HUNTER LANDSCAPE
741 FEE AVE STREET PLACENTIA, CA 92669
714.986.4400



SHEET L-7
Trammell Crow
Riverside County, California

Trammell Crow Business Center



PLOT PLAN 2094681, FAST TRACK 2011-05



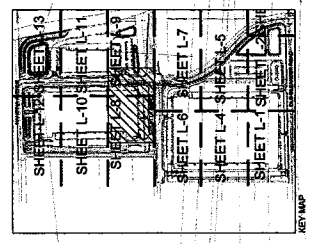
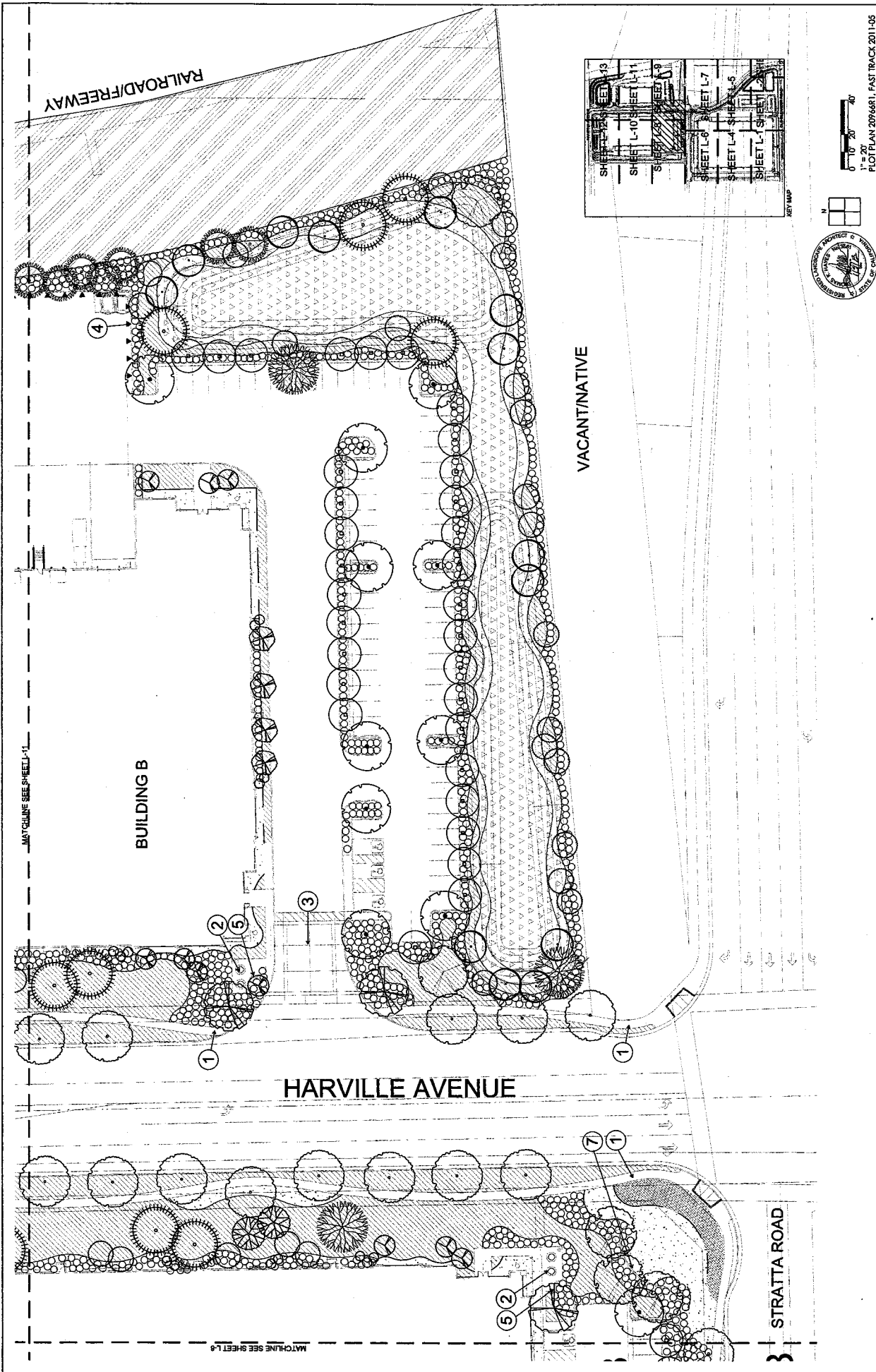
HUNTER LANDSCAPE
 711 FEE AVE STREET PLACENTIA, CA 92670
 714-986-2400 FAX 714-986-2408



SHEET L-8
Trammell Crow

Riverside County, California

Trammell Crow Business Center



1" = 20'
0' 20' 40'

PLOT PLAN 2096481, EAST TRACK 2011-05

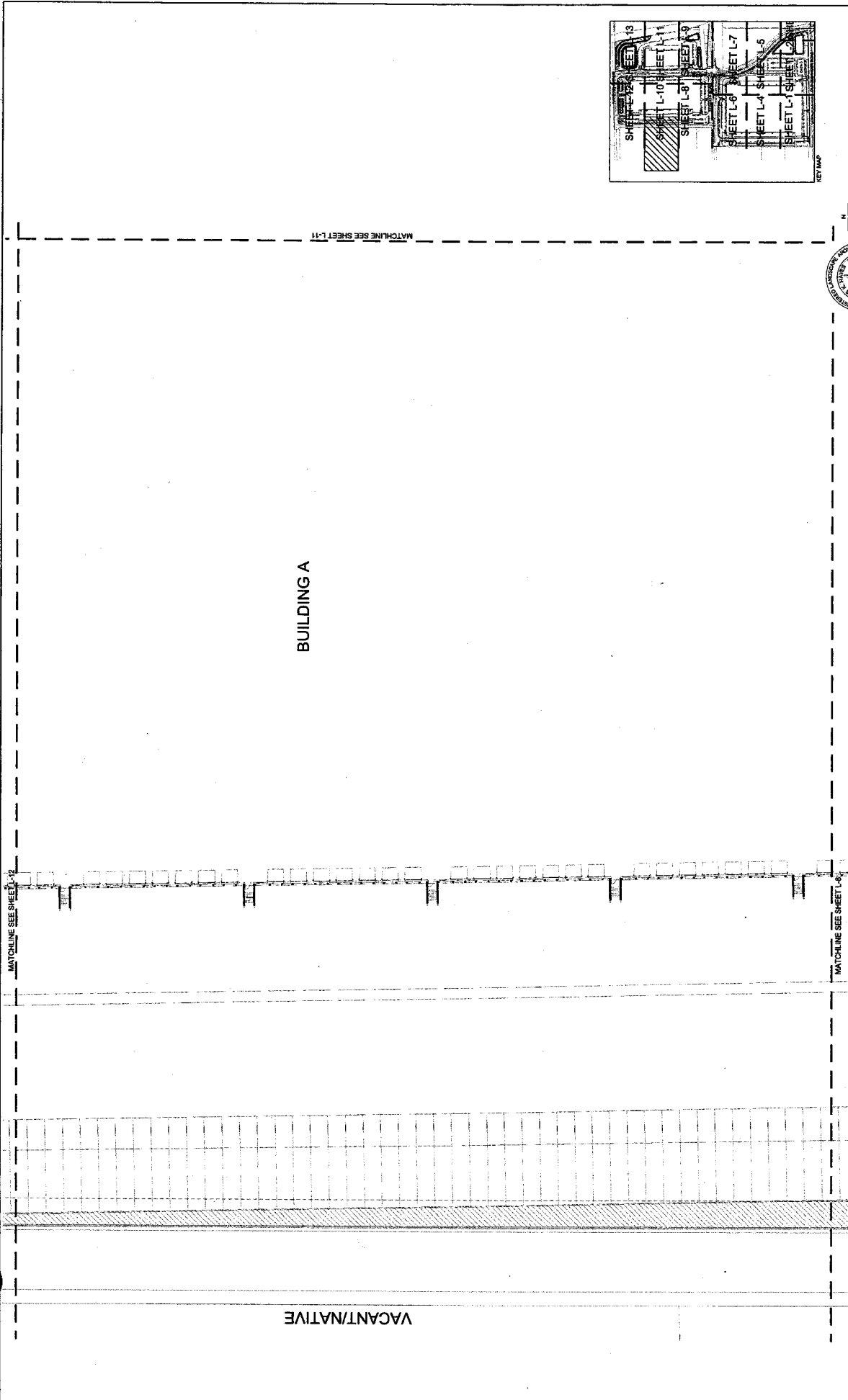
HUNTER LANDSCAPE
711 FEE AVE STREET PLACENTIA, CA 92679
714.986.2400 FAX 714.986.2408



SHEET L-9
Trammell Crow
Riverside County, California

Trammell Crow Business Center

10/11



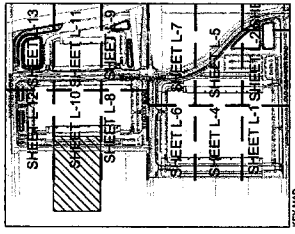
BUILDING A

VACANT/NATIVE

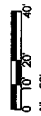
MATCHLINE SEE SHEET L-11

MATCHLINE SEE SHEET L-12

MATCHLINE SEE SHEET L-8



KEY MAP



1" = 20'
PLOT PLAN 2096481, FAST TRACK 2011-05



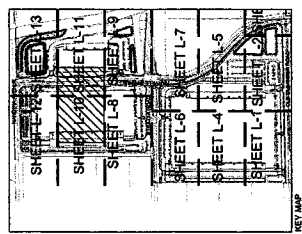
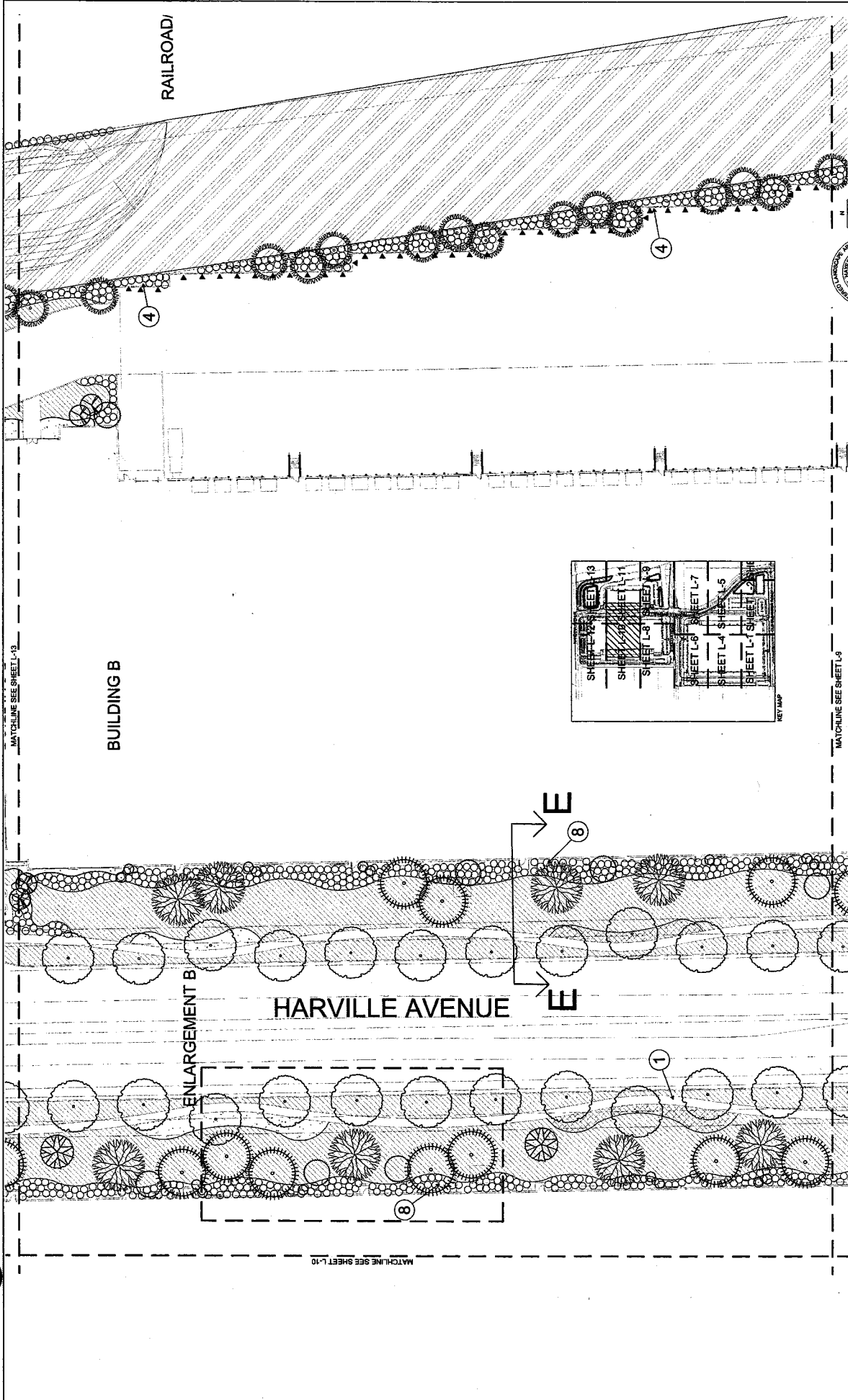
SHEET L-10
Trammell Crow

Trammell Crow Business Center

HUNTER LANDSCAPE
711 FEE AKA STREET PLACENTIA, CA 92670
714.986.5400 FAX 714.986.2408



Riverside County, California



0 10 20 40
1" = 20'
PLOT PLAN 2016A81, FAST TRACK 2011-05



HUNTER LANDSCAPE
711 FEE AVE STREET PLACENTIA, CA 92670
714.986.5400 FAX 714.986.2688



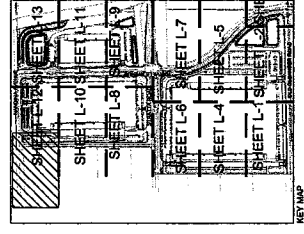
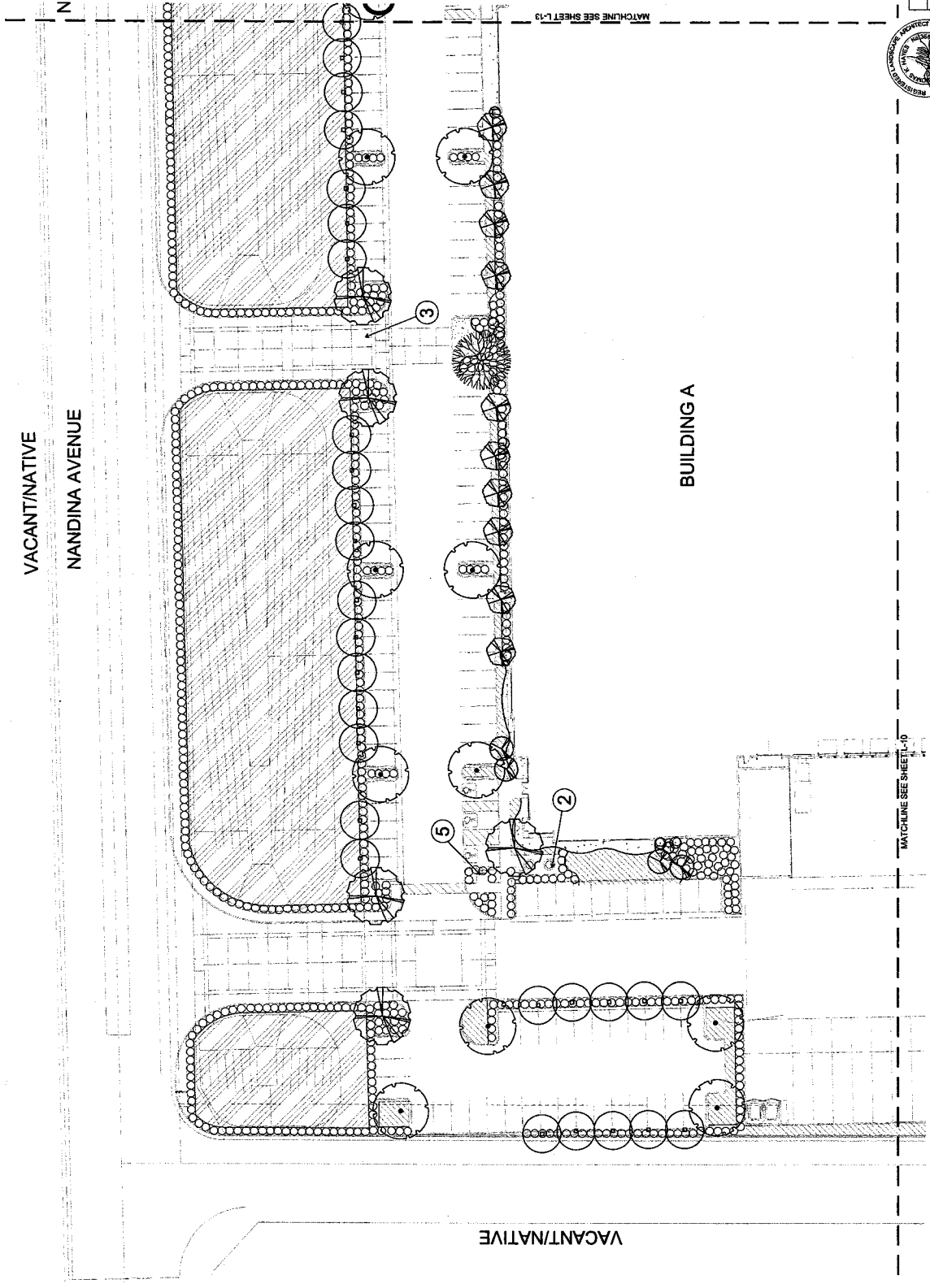
SHEET L-11
Trammell Crow

Riverside County, California

Trammell Crow Business Center

DATE: 08/17/11

VACANT/NATIVE
NANDINA AVENUE



1" = 20'
PLOT PLAN 20966R1, FAST TRACK 2011-05

HUNTER LANDSCAPE
711 FEE ANA STREET PLACENTIA, CA 92670
714.986.4800 FAX 714.986.2688

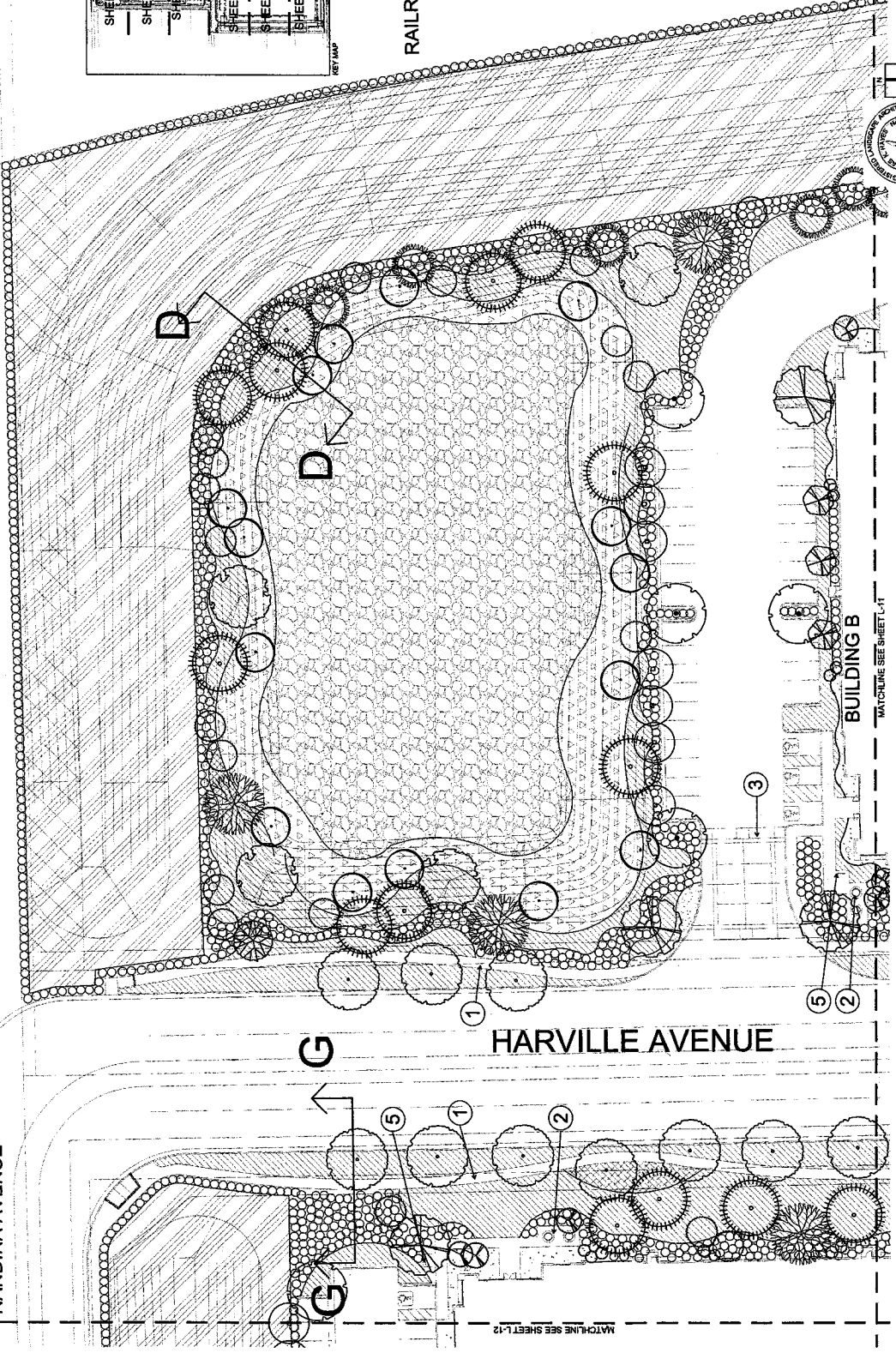
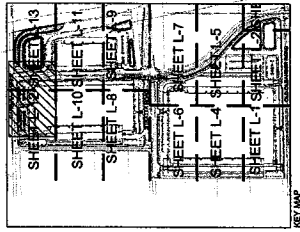
SHEET L-12
Tammell Crow
Riverside County, California

Tammell Crow Business Center

VACANT/NATIVE

NANDINA AVENUE

RAILROAD/FREEWAY



HARVILLE AVENUE

BUILDING B
MATCHLINE SEE SHEET L-11

1" = 20'
0 10 20 40

PLOT PLAN 20968R1, EAST TRACK 2011-05

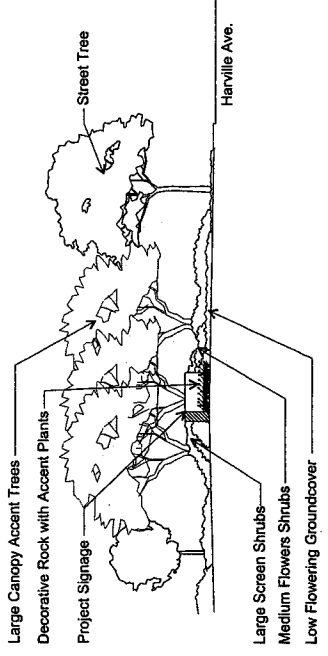


SHEET L-13
Trammell Crow

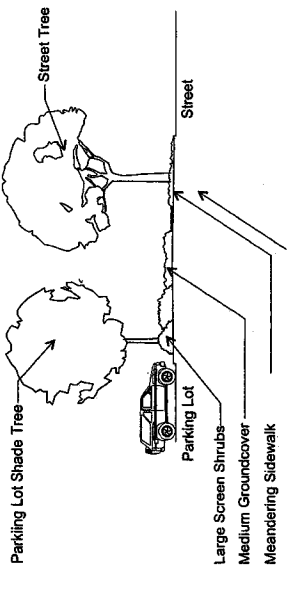
Trammell Crow Business Center

HUNTER LANDSCAPE
711 FEE AVE. STREET PLACENTIA, CA 92669
714.986.2400 FAX 714.986.2408

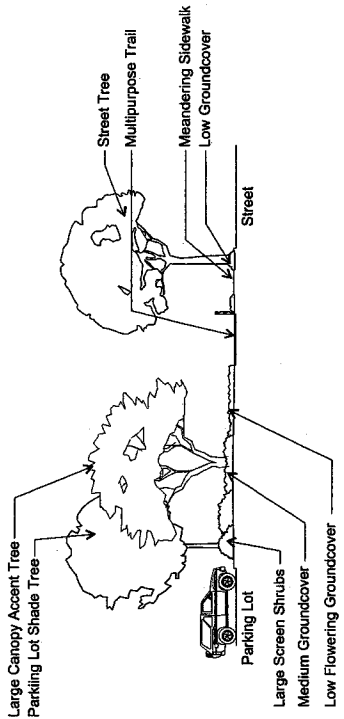
Riverside County, California



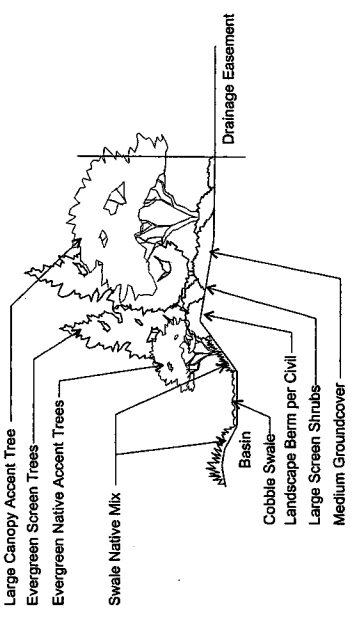
Section A-A - Typical Monument Corner



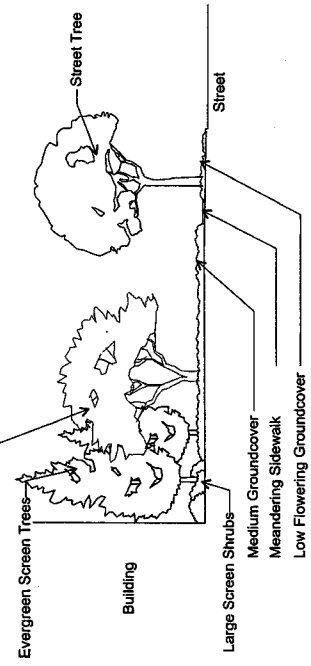
Section B-B - Typical Screen Planning at Parking Lot



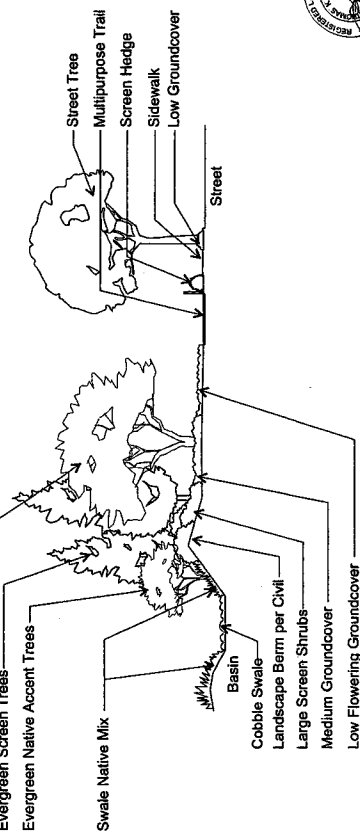
Section C-C - Multipurpose Trail



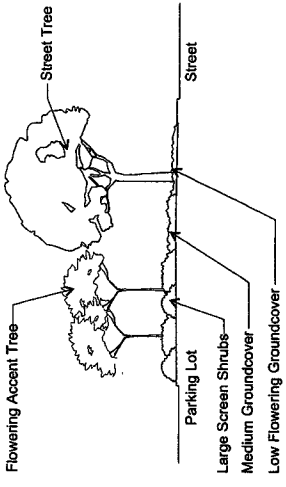
Section D-D - Basin Screening



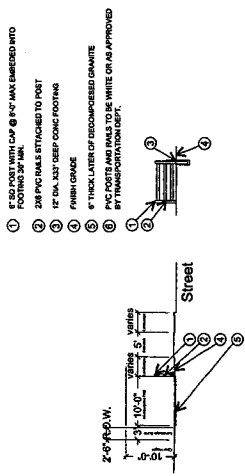
Section E-E - Typical Building Frontage



Section F-F - Typical Detention Basin

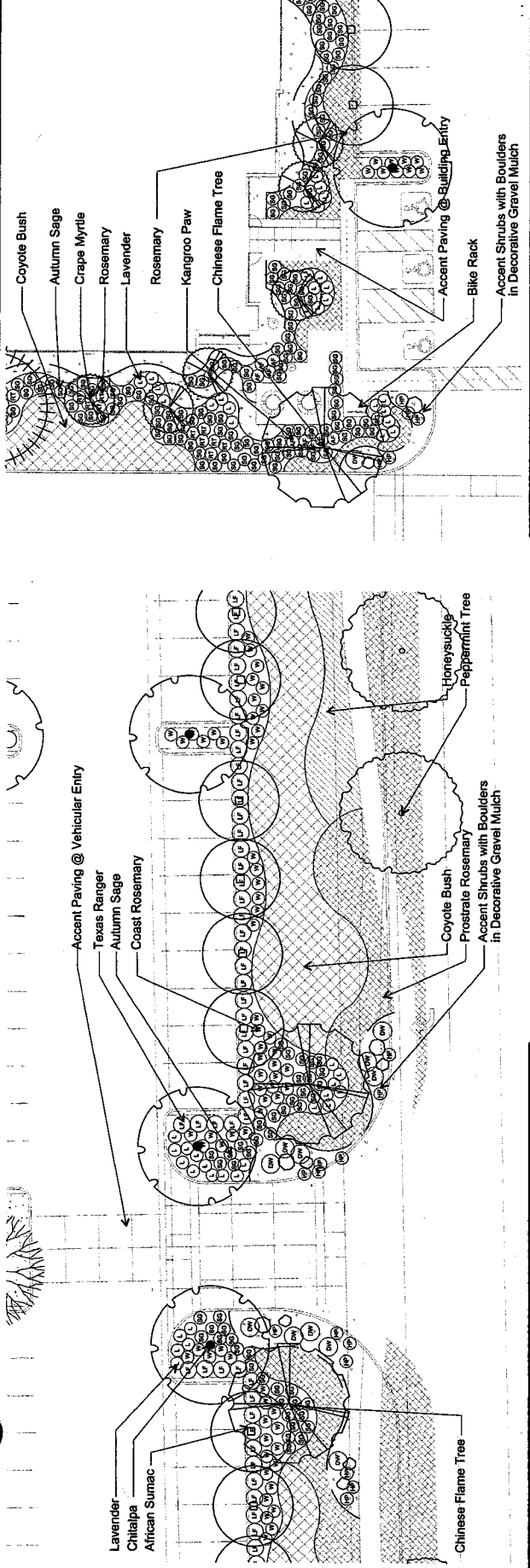


Section G-G - Screening @ Building A

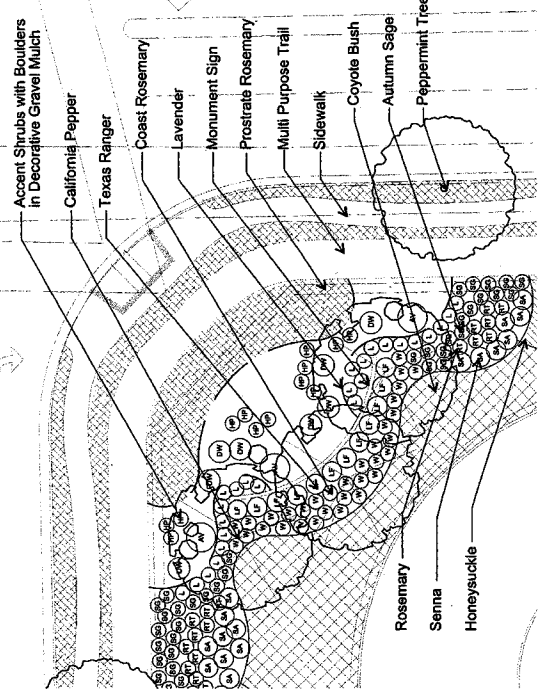


Section H-H - Multipurpose Trail

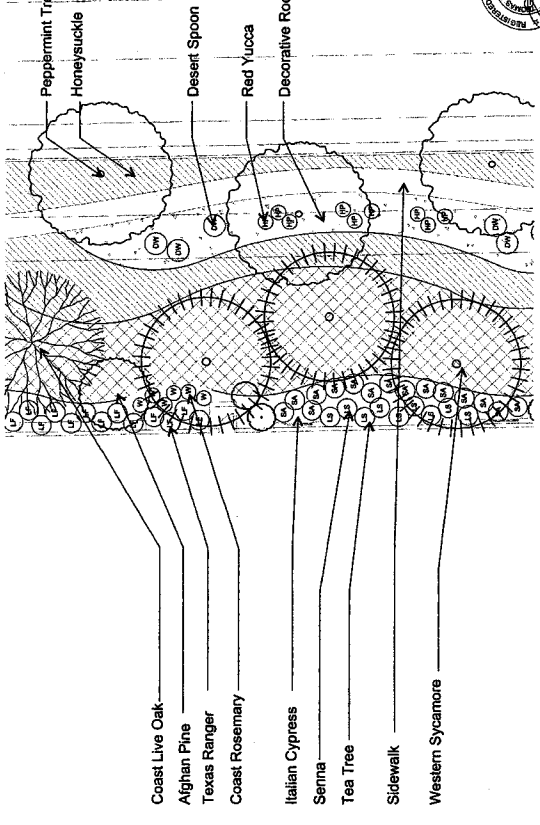




Enlargement C - Typical Vehicular Entry and Parking Lot Screening

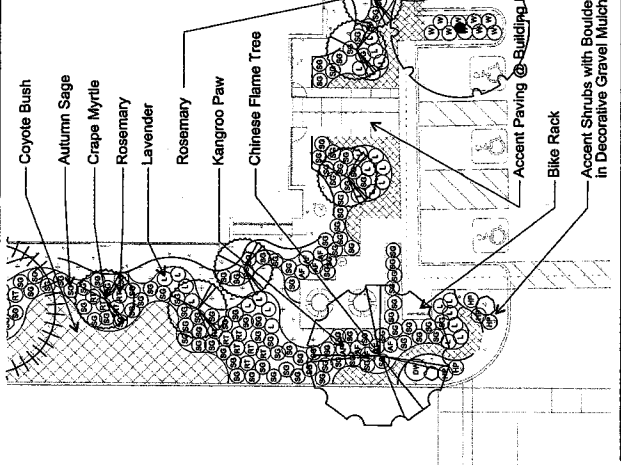


Enlargement A - Typical Monument Corner



Enlargement B - Typical Street Frontage

Enlargement D - Typical Building Entry and Patio



1" = 10'
 PLOT PLAN 2096481, FAST TRACK 2011-05

HUNTER LANDSCAPE
 711 FEE AKA STREET PLACENTIA, CA 92670
 714.986.7400 FAX 714.986.7408



SHEET L-15
Trammell Crow

Riverside County, California

Trammell Crow Business Center



Trammell Crow Business Center

PLANT PROFILES

- Trees
- Shrubs
- Groundcover
- Accent Plants

CASE: PP20699R1
EXHIBIT: L-1 (Sheets 1-44)
DATED: 7/12/11
PLANNER: C. HINOJOSA



TREES



Acacia stenophylla

Common Name: Shoestring Acacia

Evergreen tree

Color: Pale green willow-like foliage

Growth Rate: fast

Height: 30 feet Spread: 20 feet

Water Use: Low





Agonis flexuosa

Common Name: Australian Willow
Evergreen tree
Color: bright green willow-like foliage
Growth Rate: Moderately fast
Height: 30 feet Spread: 20 feet
Water Use: Medium





Cercidium 'Desert Museum'

Common Name: Palo Verde

Deciduous tree

Color: Light green stems and leaves with clusters of bright yellow flowers

Growth Pattern: Rapid

Height: 20 feet Spread: 20' feet

Water Use: Low





Chitalpa tashkentensis

Common Name: Chitalp

Deciduous tree

Color: Medium green leaves with lacey pink flowers

Growth Pattern: Rapid

Height: 20'-30 feet Spread: 20'-30' feet

Water Use: Low





CUPRESSUS SEMPERVIRENS

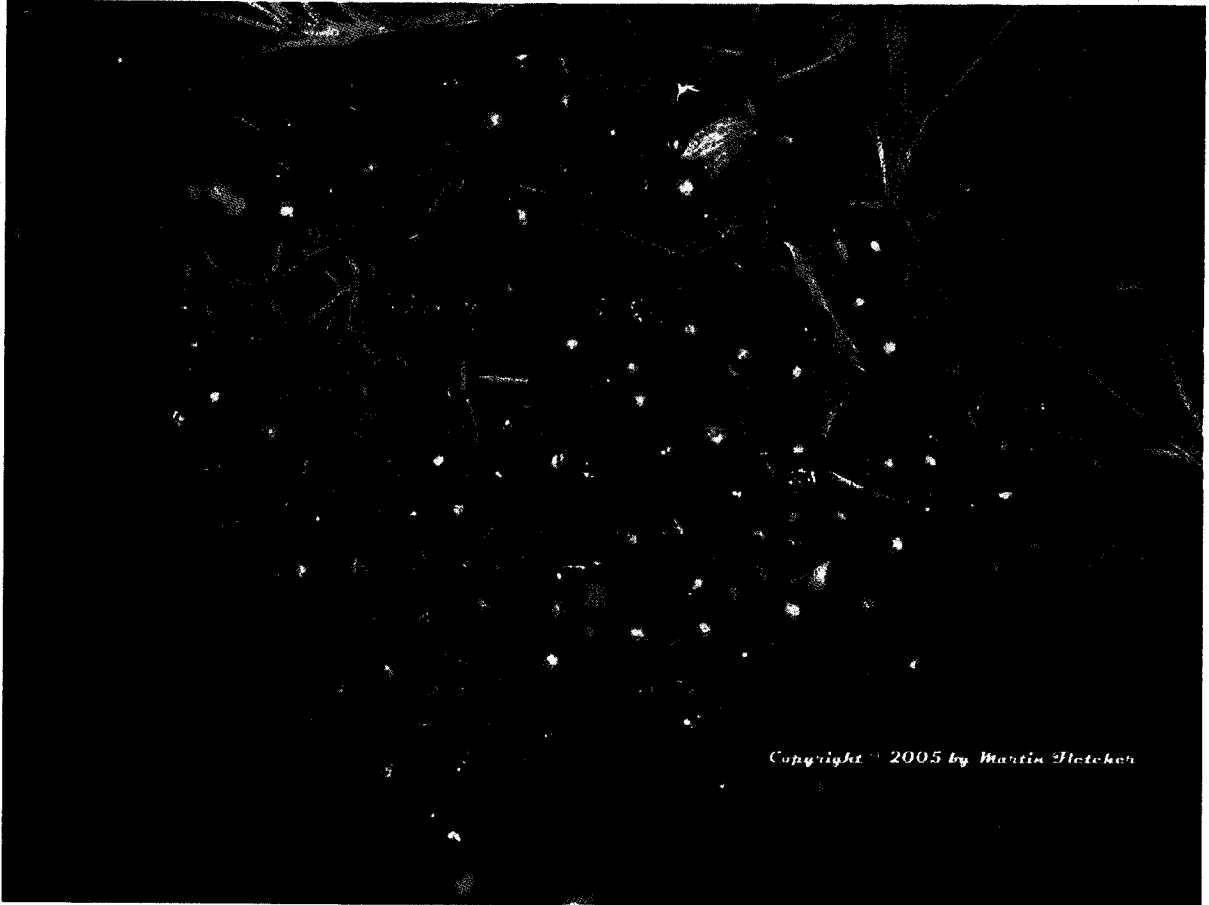
Plant Name: Italian Cypress

Colors: Dark green foliage

Growing Patterns: Evergreen columnar

Typical Applications: Vertical accent tree

Height: to 60 feet, spreading 4 feet



Copyright © 2005 by Maria Fletcher

Heteromeles arbutifolia

Common Name: Toyon

Evergreen tree

Color: Thick, leathery, glossy dark green foliage, red berries in the winter

Growth Rate: fast

Height: 15 feet Spread: 15 feet

Water Use: Low





Koeruetaria bipinnata

Common Name: Chinese Flame Tree

Deciduous tree

Color: Small yellow flowers in large clusters among long leaves

Growth Pattern: Slow to moderate

Height: 20 feet Spread: 40 feet

Water Use: Moderate





Lagerstroemia i. 'Muskogee'

Common Name: Crape Myrtle

Deciduous tree

Color: Bright green leaves with lavender flowers in summer

Growth Rate: Moderate

Height: 25 feet Spread: 12 feet

Water Use: Moderate





Pinus eldarica

Common Name: Afghan Pine

Evergreen tree

Color: Blue-green, long dark green needles

Growth Pattern: Rapid in youth

Height: 30-80 feet, spreading 15-25 feet

Water Use: Low





Platanus racemosa

Common Name: California Sycamore

Deciduous tree

Color: Large bright green leaves

Growth Rate: Fast

Height: 50 feet Spread: 30 feet

Water Use: Moderate





eeee

Quercus agrifolia

Common Name: Coast Live Oak

Evergreen tree

Color: Leathery dark green leaf – holly-like and acorns

Growth Pattern: Slow

Height: 20-40 feet, spreading 40 feet

Water Use: Low





Schinus molle

Common Name: California Pepper

Evergreen tree

Color: Narrow greenish-yellow leaves and many red pepper corns

Growth Rate: Fast

Height: 30 feet Spread: 30 feet

Water Use: Low





Tristania conferta

Common Name: Brisbane Box

Evergreen tree

Color: Dark green foliage, shedding bark, in summer white to creamy white $\frac{3}{4}$ inch clusters of 3 – 7 flowers

Growth Pattern: Fast, upright, eventually a broad rounded crown

Height: 30-40 feet, spreading 15-20 feet

Water Use: Low





SHRUBS
