

**SUBMITTAL TO THE BOARD OF SUPERVISORS
COUNTY OF RIVERSIDE, STATE OF CALIFORNIA**

435B



FROM: TLMA - Planning Department

SUBMITTAL DATE:
June 15, 2011

SUBJECT: FAST TRACK CONDITIONAL USE PERMIT NO. 3170, REVISED PERMIT NO. 1 (FTA No. 2011-04) - Intent to Adopt Mitigated Negative Declaration – Applicant: Sunline Transit Agency – Engineer/Representative: IBI Group – Fourth Supervisorial District – Thousand Palms Zoning District – Western Coachella Valley Area Plan: Community Development: Light Industrial (CD:LI) (0.25-0.60 FAR) - Location: Northerly of Interstate 10 and Varner Road, southerly of Haskell Road at 32505 Harry Oliver Trail in Thousand Palms – 23 Gross Acres - Zoning: Manufacturing - Service Commercial (M-SC) and Industrial park (I-P) - **REQUEST:** An existing public transit facility with compressed natural gas fueling station, hydrogen solar fuel generation plant and fueling station proposes to consolidate its multi-building campus into a new two-story administration building of approximately 25,000 square feet at a building height of 30 feet along with a “Transit Hub” to include a 1,600 square foot bus waiting shelter at a building height of 14 feet and 42,000 square feet of parking for a “park and ride” lot, and add a 650 square foot electrical yard.

RECOMMENDED MOTION:

ADOPT a **MITIGATED NEGATIVE DECLARATION** for **ENVIRONMENTAL ASSESSMENT NO. 42407**, based on the findings incorporated in the initial study and the conclusion that the project will not have a significant effect on the environment; and,

APPROVE **CONDITIONAL USE PERMIT NO. 3170, REVISED PERMIT NO. 1**, subject to the attached Conditions of Approval, and based upon the findings and conclusions incorporated in the staff report.

Carolyn Syms Luna

Carolyn Syms Luna
Planning Director

Initials:
CSL:jo

MINUTES OF THE BOARD OF SUPERVISORS

On motion of Supervisor Benoit, seconded by Supervisor Buster and duly carried by unanimous vote, IT WAS ORDERED that the above matter is approved as recommended.

Ayes: Buster, Tavaglione, Stone, Benoit, and Ashley
Nays: None
Absent: None
Date: August 16, 2011
xc: Planning(2), Applicant, Co.Co.

Kecia Harper-Ihem
Clerk of the Board
By: *[Signature]*
Deputy

ATTACHMENTS FILED
Prev. Agn. Ref. | **District: 4th** | **Agenda Number:**

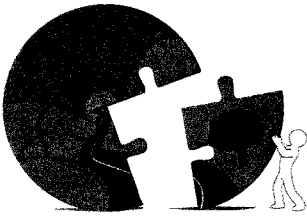
16.5

REVIEWED BY EXECUTIVE OFFICE

DATE 7/14/11 mg
Tina Grande
Departmental Concurrence

Dep't Recomm.: Policy
Per Exec. Ofc.: Policy

Consent
 Consent



Carolyn Syms Luna
Director

RIVERSIDE COUNTY PLANNING DEPARTMENT

Original Negative Declaration/Notice of Determination was routed to County Clerks for posting on.

8/16/11
Date

KS
Initial

TO: Office of Planning and Research (OPR)
P.O. Box 3044
Sacramento, CA 95812-3044
 County of Riverside County Clerk

FROM: Riverside County Planning Department
 4080 Lemon Street, 12th Floor
P. O. Box 1409
Riverside, CA 92502-1409

38686 El Cerrito Road
Palm Desert, California 92211

SUBJECT: Filing of Notice of Determination in compliance with Section 21152 of the California Public Resources Code.

EA42407 Conditional Use Permit No. 3170, Revised Permit No. 1

Project Title/Case Numbers

Jay Olivas
County Contact Person

951-955-1195
Phone Number

N/A

State Clearinghouse Number (if submitted to the State Clearinghouse)

Sunline Transit Agency
Project Applicant

18401 Von Karman Avenue, Ste. 110, Irvine, CA 92612
Address

Northerly of Vaner Road, westerly of Harry Oliver Trail, southerly of Haskell Road in Thousand Palms.

Project Location

An existing public transit facility proposes to consolidate its multi-building campus into a new two-story administration building of approximately 25,000 square feet up to 30 feet in height with addition of a transit hub to include a 1,400 square foot bus waiting shelter and 42,000 square foot park-n-ride lot.

Project Description

This is to advise that the Riverside County Board of Supervisors, as the lead agency, has approved the above-referenced project on August 16, 2011, and has made the following determinations regarding that project:

1. The project WILL NOT have a significant effect on the environment.
2. A Mitigated Negative Declaration was prepared for the project pursuant to the provisions of the California Environmental Quality Act (\$2,044.00 + \$64.00).
3. Mitigation measures WERE made a condition of the approval of the project.
4. A Mitigation Monitoring and Reporting Plan/Program WAS adopted.
5. A statement of Overriding Considerations WAS NOT adopted for the project.

This is to certify that the Mitigated Negative Declaration, with comments, responses, and record of project approval is available to the general public at: Riverside County Planning Department, 4080 Lemon Street, 12th Floor, Riverside, CA 92501.

[Signature]
Signature

Board Assistant
Title

8/16/11
Date

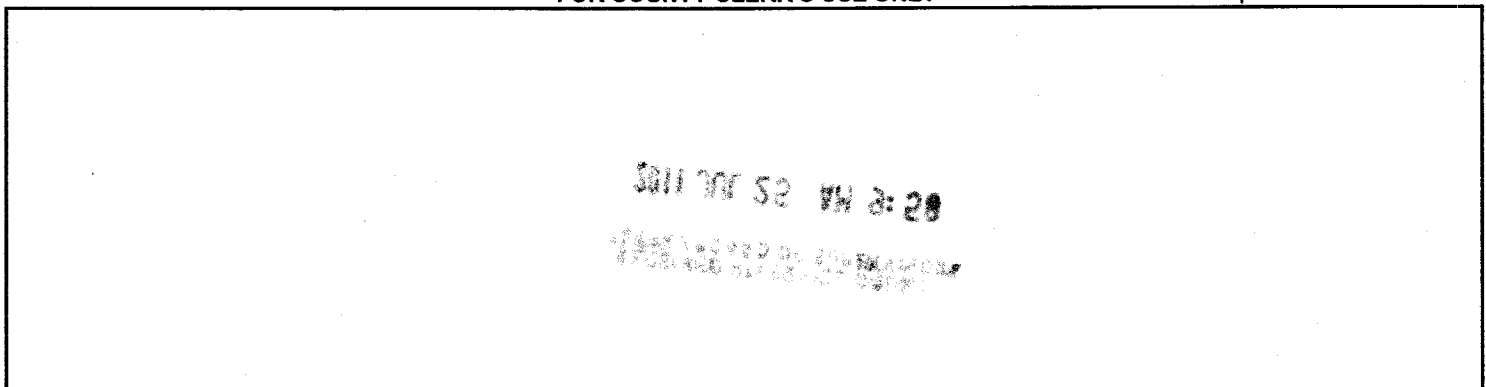
Date Received for Filing and Posting at OPR: _____

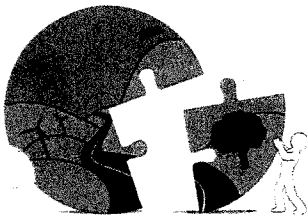
DM/rj
Revised 8/25/2009
Y:\Planning Master Forms\CEQA Forms\NOD Form.doc

Please charge deposit fee case#: ZEA42407 ZCFG05773

FOR COUNTY CLERK'S USE ONLY

AUG 16 2011 16.5





RIVERSIDE COUNTY
PLANNING DEPARTMENT

Carolyn Syms Luna
Director

MITIGATED NEGATIVE DECLARATION

Project/Case Number: Conditional Use Permit No. 3170, Revised Permit No. 1

Based on the Initial Study, it has been determined that the proposed project, subject to the proposed mitigation measures, will not have a significant effect upon the environment.

PROJECT DESCRIPTION, LOCATION, AND MITIGATION MEASURES REQUIRED TO AVOID POTENTIALLY SIGNIFICANT EFFECTS. (see Environmental Assessment and Conditions of Approval)

COMPLETED/REVIEWED BY:

By: Jay Olivas Title: Project Planner Date: June 6, 2011

Applicant/Project Sponsor: Sunline Transit Agency Date Submitted: December 22, 2010

ADOPTED BY: Board of Supervisors

Person Verifying Adoption: [Signature] Date: 8/16/11

The Mitigated Negative Declaration may be examined, along with documents referenced in the initial study, if any, at:

Riverside County Planning Department 4080 Lemon Street, 12th Floor, Riverside, CA 92501

For additional information, please contact Jay Olivas, Project Planner at (951) 955-1195.

Revised: 10/16/07
Y:\Planning Master Forms\CEQA Forms\Mitigated Negative Declaration.doc

Please charge deposit fee case#: ZEA42407 ZCFG05773

FOR COUNTY CLERK'S USE ONLY

[Empty rectangular box for County Clerk's use]

COUNTY OF RIVERSIDE
SPECIALIZED DEPARTMENT RECEIPT
Permit Assistance Center

J* REPRINTED * I1101491

4080 Lemon Street
Second Floor
Riverside, CA 92502
(951) 955-3200

39493 Los Alamos Road
Suite A
Murrieta, CA 92563
(951) 694-5242

38686 El Cerrito Rd
Indio, CA 92211
(760) 863-8271

Received from: FLEMING KEVIN \$2,044.00
paid by: CK 651114
CA FISH AND GAME FOR EA42407
paid towards: CFG05773 CALIF FISH & GAME: DOC FEE
at parcel:
appl type: CFG3

By JCMITCHE Jun 14, 2011 12:11
posting date Jun 14, 2011

Account Code	Description	Amount
658353120100208100	CF&G TRUST	\$2,044.00

Overpayments of less than \$5.00 will not be refunded!

COUNTY OF RIVERSIDE
SPECIALIZED DEPARTMENT RECEIPT
Permit Assistance Center

J* REPRINTED * R1012452

4080 Lemon Street
Second Floor
Riverside, CA 92502
(951) 955-3200

39493 Los Alamos Road
Suite A
Murrieta, CA 92563
(951) 694-5242

38686 El Cerrito Rd
Indio, CA 92211
(760) 863-8271

Received from: FLEMING KEVIN \$64.00
paid by: VI 01726C
CA FISH AND GAME FOR EA42407
paid towards: CFG05773 CALIF FISH & GAME: DOC FEE
at parcel:
appl type: CFG3

By _____ Nov 17, 2010 09:21
MGARDNER posting date Nov 17, 2010

Account Code	Description	Amount
658353120100208100	CF&G TRUST: RECORD FEES	\$64.00

Overpayments of less than \$5.00 will not be refunded!



OFFICE OF
CLERK OF THE BOARD OF SUPERVISORS
1st FLOOR, COUNTY ADMINISTRATIVE CENTER
P.O. BOX 1147, 4080 LEMON STREET
RIVERSIDE, CA 92502-1147
PHONE: (951) 955-1060
FAX: (951) 955-1071

KECIA HARPER-IHEM
Clerk of the Board of Supervisors

KIMBERLY A. RECTOR
Assistant Clerk of the Board

July 25, 2011

THE DESERT SUN
ATTN: LEGALS
P.O. BOX 2734
PALM SPRINGS, CA 92263

E-MAIL: legals@thedesertsun.com
FAX: (760) 778-4731

RE: NOTICE OF PUBLIC HEARING: CUP 3170 REVISED PERMIT NO. 1 (FTA 2011-04)

To Whom It May Concern:

Attached is a copy for publication in your newspaper for **One (1) Time on Wednesday, July 27, 2011.**

We require your affidavit of publication immediately upon completion of the last publication.

Your invoice must be submitted to this office in duplicate, **WITH TWO CLIPPINGS OF THE PUBLICATION.**

NOTE: PLEASE COMPOSE THIS PUBLICATION INTO A SINGLE COLUMN FORMAT.

Thank you in advance for your assistance and expertise.

Sincerely,

McGil

Cecilia Gil, Board Assistant to
KECIA HARPER-IHEM, CLERK OF THE BOARD

Gil, Cecilia

From: Moeller, Charlene <CMOELLER@palmspri.gannett.com>
Sent: Monday, July 25, 2011 8:40 AM
To: Gil, Cecilia
Subject: RE: FOR PUBLICATION: CUP 3170 R1 FTA 2011-04

Ad received and will publish on 7/27.

Charlene Moeller | Media Sales Legal Notice Coordinator
The Desert Sun Media Group
750 N. Gene Autry Trail, Palm Springs, CA 92262
t 760.778.4578 | f 760.778.4731

legals@thedesertsun.com | dpwlegals@thedesertsun.com

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From: Gil, Cecilia [<mailto:CCGIL@rcbos.org>]
Sent: Monday, July 25, 2011 8:12 AM
To: tds-legals
Subject: FOR PUBLICATION: CUP 3170 R1 FTA 2011-04

Notice of Public Hearing, for publication on Wednesday, July 25, 2011. Please confirm. THANK YOU!

Cecilia Gil

Board Assistant to the
Clerk of the Board of Supervisors
951-955-8464

THE COUNTY ADMINISTRATIVE CENTER IS CLOSED EVERY FRIDAY UNTIL FURTHER NOTICE.

PLEASE CONSIDER THE ENVIRONMENT BEFORE PRINTING.

NOTICE OF PUBLIC HEARING BEFORE THE BOARD OF SUPERVISORS OF RIVERSIDE COUNTY ON A FAST TRACK CONDITIONAL USE PERMIT REVISED PERMIT NO. 1 IN THE THOUSAND PALMS ZONING DISTRICT – WESTERN COACHELLA VALLEY AREA PLAN, FOURTH SUPERVISORIAL DISTRICT AND NOTICE OF INTENT TO ADOPT A MITIGATED NEGATIVE DECLARATION

NOTICE IS HEREBY GIVEN that a public hearing at which all interested persons will be heard, will be held before the Board of Supervisors of Riverside County, California, on the 1st Floor Board Chambers, County Administrative Center, 4080 Lemon Street, Riverside, on **Tuesday, August 16, 2011 at 1:30 P.M.** to consider the application submitted by Sunline Transit Agency – IBI Group, on **Fast Track Conditional Use Permit No. 3170 Revised Permit No. 1 (FTA No. 2011-04)**, in which an existing public transit facility with compressed natural gas fueling station, hydrogen solar fuel generation plant and fueling station proposes to consolidate its multi-building campus into a new two-story administration building of approximately 25,000 square feet at a building height of 30 feet along with a “Transit Hub” to include a 1,600 square foot bus waiting shelter at a building height of 14 feet and 42,000 square feet of parking for a “park and ride” lot, and add a 650 square foot electrical yard (“the project”). The project is located northerly of Interstate 10 and Varner Road, southerly of Haskell Road at 32505 Harry Oliver Trail in Thousand Palms Zoning District – Western Coachella Valley Area Plan, Fourth Supervisorial District.

The Planning Department has determined that the project will not have a significant effect on the environment and recommends the adoption of a Mitigated Negative Declaration for **Environmental Assessment No. 42407**.

The project case file may be viewed from the date of this notice until the public hearing, Monday through Thursday, from 7:30 a.m. to 5:30 p.m., at the Clerk of the Board of Supervisors at 4080 Lemon Street, 1st Floor, Riverside, California 92501, and at the Riverside County Planning Department at 4080 Lemon Street, 12th Floor, Riverside, California 92501.

FOR FURTHER INFORMATION REGARDING THIS PROJECT, PLEASE CONTACT JAY OLIVAS, PROJECT PLANNER, AT (951) 955-1195 OR EMAIL jolivas@rctlma.org.

Any person wishing to testify in support of or in opposition to the project may do so in writing between the date of this notice and the public hearing, or may appear and be heard at the time and place noted above. All written comments received prior to the public hearing will be submitted to the Board of Supervisors and the Board of Supervisors will consider such comments, in addition to any oral testimony, before making a decision on the project.

If you challenge the above item in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence to the Planning Commission or Board of Supervisors at, or prior to, the public hearing. Be advised that as a result of the public hearing and the consideration of all public comment, written and oral, the Board of Supervisors may amend, in whole or in part, the project and/or the related environmental document. Accordingly, the designations, development standards, design or improvements, or any properties or lands within the boundaries of the project, may be changed in a way other than specifically proposed.

Please send all written correspondence to: Clerk of the Board, 4080 Lemon Street, 1st Floor, Post Office Box 1147, Riverside, CA 92502-1147

Dated: July 25, 2011

Kecia Harper-Ihem
Clerk of the Board
By: Cecilia Gil, Board Assistant

CERTIFICATE OF POSTING

(Original copy, duly executed, must be attached to the original document at the time of filing)

I, Cecilia Gil, Board Assistant to Kecia Harper-Ihem, Clerk of the Board of Supervisors, for the County of Riverside, do hereby certify that I am not a party to the within action or proceeding; that on July 25, 2011, I forwarded to Riverside County Clerk & Recorder's Office a copy of the following document:

NOTICE OF PUBLIC HEARING

CUP 3170 REVISED PERMIT NO. 1 (FTA 2011-04)

to be posted, pursuant to Government Code Section 21092 et seq, in the office of the County Clerk at 2724 Gateway Drive, Riverside, California 92507. Upon completion of posting, the County Clerk will provide the required certification of posting.

Board Agenda Date: August 16, 2011 @ 1:30 PM

SIGNATURE: *Mcgil* DATE: July 25, 2011
Cecilia Gil

Gil, Cecilia

From: Meyer, Mary Ann <MaMeyer@asrclkrec.com>
Sent: Monday, July 25, 2011 8:59 AM
To: Gil, Cecilia
Subject: RE: FOR POSTING: CUP 3170 R1

posted

From: Gil, Cecilia
Sent: Monday, July 25, 2011 8:12 AM
To: Meyer, Mary Ann
Subject: FOR POSTING: CUP 3170 R1

One more Notice for Posting...Please confirm. THANK YOU!

Cecilia Gil

Board Assistant to the
Clerk of the Board of Supervisors
951-955-8464

THE COUNTY ADMINISTRATIVE CENTER IS CLOSED EVERY FRIDAY UNTIL FURTHER NOTICE.
PLEASE CONSIDER THE ENVIRONMENT BEFORE PRINTING.

CERTIFICATE OF MAILING

(Original copy, duly executed, must be attached to
the original document at the time of filing)

I, Cecilia Gil, Board Assistant, for the
(NAME and TITLE)

County of Riverside, do hereby certify that I am not a party to the within action or proceeding; that on July 25, 2011, I mailed a copy of the following document:

NOTICE OF PUBLIC HEARING

CUP 3170 REVISED PERMIT NO. 1 (FTA 2011-04)

to the parties listed in the attached labels, by depositing said copy with postage thereon fully prepaid, in the United States Post Office, 3890 Orange St., Riverside, California, 92501.

Board Agenda Date: August 16, 2011 @ 1:30 PM

SIGNATURE: Mcgil DATE: July 25, 2011
Cecilia Gil

PROPERTY OWNERS CERTIFICATION FORM

I, VINNIE NGUYEN, certify that on 6/7/2011,

The attached property owners list was prepared by Riverside County GIS,

APN (s) or case numbers CUPO3170R1 For

Company or Individual's Name Planning Department,

Distance buffered 300'.

Pursuant to application requirements furnished by the Riverside County Planning Department, Said list is a complete and true compilation of the owners of the subject property and all other property owners within 600 feet of the property involved, or if that area yields less than 25 different owners, all property owners within a notification area expanded to yield a minimum of 25 different owners, to a maximum notification area of 2,400 feet from the project boundaries, based upon the latest equalized assessment rolls. If the project is a subdivision with identified off-site access/improvements, said list includes a complete and true compilation of the names and mailing addresses of the owners of all property that is adjacent to the proposed off-site improvement/alignment.

I further certify that the information filed is true and correct to the best of my knowledge. I understand that incorrect or incomplete information may be grounds for rejection or denial of the application.

NAME: Vinnie Nguyen

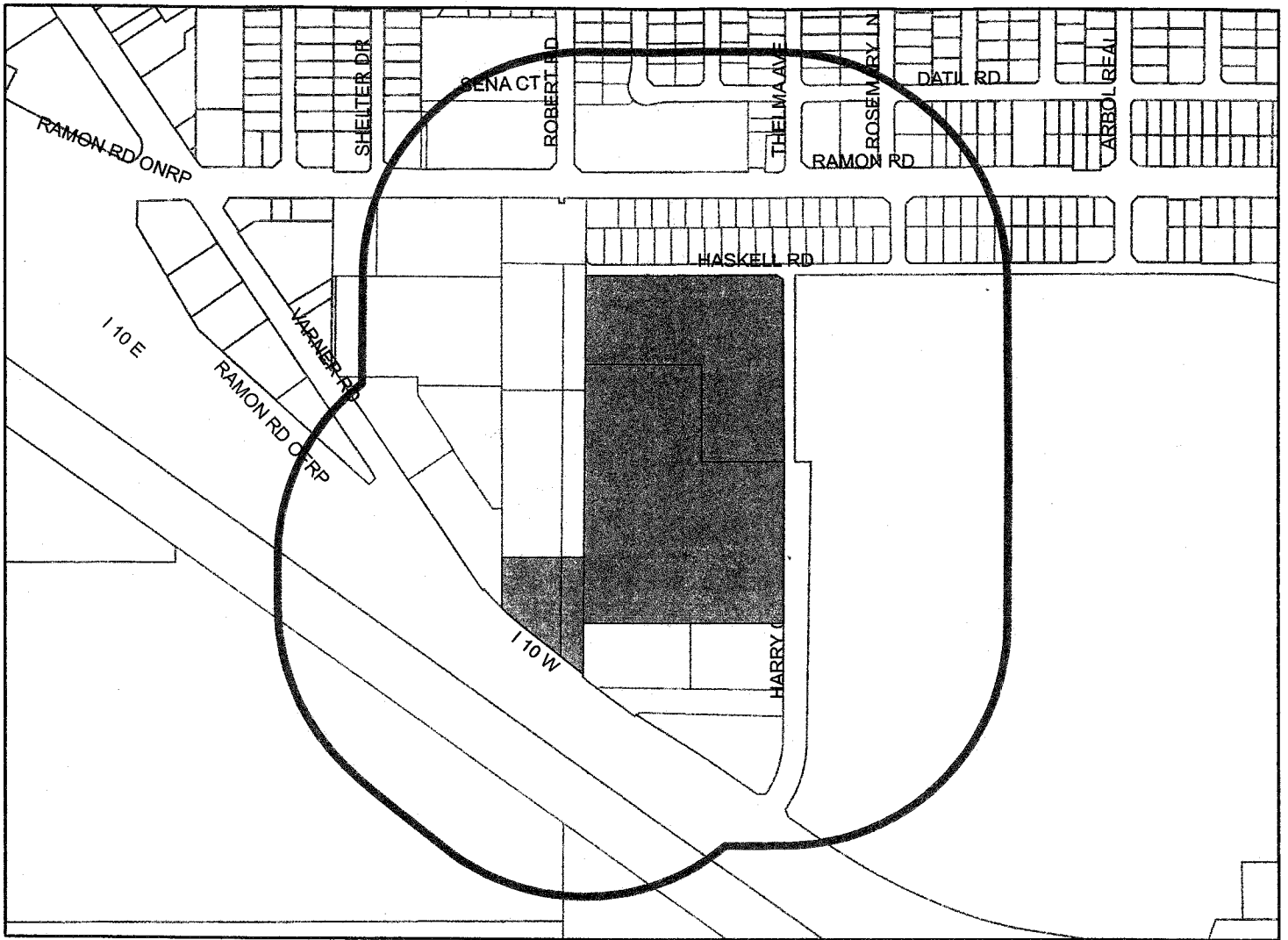
TITLE GIS Analyst

ADDRESS: 4080 Lemon Street 2nd Floor

Riverside, Ca. 92502

TELEPHONE NUMBER (8 a.m. - 5 p.m.): (951) 955-8158

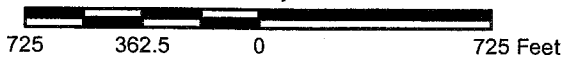
800 feet buffer



Selected Parcels

693-010-016	693-010-019	650-134-010	693-020-019	650-331-016	650-136-008	650-111-024	650-331-014	650-331-015	693-010-001
650-333-013	693-010-008	650-134-009	650-164-032	650-164-033	650-331-017	685-010-005	693-040-003	693-040-004	650-164-001
650-137-003	650-137-004	685-010-009	650-332-013	650-134-007	650-134-008	650-333-012	693-040-009	650-164-031	650-132-007
650-132-005	650-133-011	650-133-012	650-137-001	650-137-002	693-020-001	693-020-002	693-020-003	693-020-004	693-020-005
693-020-006	693-020-007	693-020-008	693-020-009	693-020-010	693-020-011	693-020-012	693-020-013	693-020-014	693-020-015
693-020-016	693-020-017	693-020-018	693-020-021	693-020-022	693-020-023	693-020-024	693-020-025	693-020-026	693-020-027
693-020-028	693-020-029	693-020-030	693-020-031	693-020-032	693-020-033	693-020-034	693-020-035	693-031-001	693-031-002
693-031-003	693-031-004	693-031-005	693-031-006	693-031-011	693-031-012	693-031-013	693-031-014	693-031-015	693-031-016
650-332-012	650-136-007	650-164-002	650-111-038	650-331-029	650-111-037	650-111-039	650-332-014	693-010-017	693-010-002

rst 90 parcels shown



Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.



ASMT: 650111024, APN: 650111024
COUNTY OF RIVERSIDE SERVICE AREA NO 12
3133 MISSION INN AVE
RIVERSIDE CA 92507

ASMT: 650136007, APN: 650136007
NORMAN MIKKELSON
45 COPPERCREST
ALISO VIEJO CA 92656

ASMT: 650111038, APN: 650111038
RAMON DEV
C/O HLDG LLC
77900 AVENUE OF THE STATES
PALM DESERT CA 92211

ASMT: 650136008, APN: 650136008
CHARLES RANGEL, ETAL
31847 THELMA AVE
THOUSAND PLMS, CA. 92276

ASMT: 650111039, APN: 650111039
ROBERT DELGAGNON, ETAL
73612 HIGHWAY 111
PALM DESERT CA 92260

ASMT: 650137004, APN: 650137004
HIGGINS ROBERT & ETAL
14 HEADLAND DR
RCH PALOS VERDES CA 90275

ASMT: 650132007, APN: 650132007
LABORERS INTL UNION OF NO AMERICA LO 1
1128 E LA CADENA DR
RIVERSIDE CA 92507

ASMT: 650164001, APN: 650164001
HATTER BARBARA J ESTATE OF, ETAL
C/O TERRY J HATTER JR
312 N SPRINGS ST
LOS ANGELES CA 90012

ASMT: 650134008, APN: 650134008
JAMES MICHAUD, ETAL
220 MIRA VERDE DR
LA HABRA CA 90631

ASMT: 650164002, APN: 650164002
OSCAR TAGLE, ETAL
72765 DATIL RD
THOUSAND PLMS, CA. 92276

ASMT: 650134009, APN: 650134009
FEDERAL NATL MORTGAGE ASSN
C/O RECONTRUST CO
1800 TAPO CANYON SV2202
SIMI VALLEY CA 93063

ASMT: 650164031, APN: 650164031
KRM VICTORIA
P O BOX 215
THOUSAND PLMS CA 92276

ASMT: 650134010, APN: 650134010
ANGELINA GARCIA
33080 WISHING WELL TR
CATHEDRAL CY CA 92234

ASMT: 650164033, APN: 650164033
FEDERICO BARAJAS, ETAL
45390 MICHELL
INDIO CA 92201

CUP 3170 R1

48

ASMT: 650331012, APN: 650331012
 WILLARD PALM, ETAL
 4850 W 95TH ST
 INGLEWOOD CA 90301

ASMT: 650332013, APN: 650332013
 IRFAN QAZI, ETAL
 31840 VIA PARED
 THOUSAND PLMS, CA. 92276

ASMT: 650331013, APN: 650331013
 THOMAS OBRIEN, ETAL
 31842 ROBERT RD
 THOUSAND PLMS, CA. 92276

ASMT: 650332014, APN: 650332014
 ROSEMARIE MORALES
 31841 VIA VENTANA
 THOUSAND PLMS, CA. 92276

ASMT: 650331015, APN: 650331015
 CVWD
 P O BOX 1058
 COACHELLA CA 92236

ASMT: 650332015, APN: 650332015
 VERONICA BARAJAS
 31815 VIA VENTANA
 THOUSAND PLMS, CA. 92276

ASMT: 650331016, APN: 650331016
 BRYAN DOWNER
 31837 VIA PARED
 THOUSAND PLMS, CA. 92276

ASMT: 650333012, APN: 650333012
 KATHLEEN DEROSA
 35200 CATHEDRAL CYN 174
 CATHEDRAL CY CA 92234

ASMT: 650331017, APN: 650331017
 FEDERICO GALLEGO, ETAL
 31811 VIA PARED
 THOUSAND PLMS, CA. 92276

ASMT: 650333013, APN: 650333013
 DEBRA MOFFATT, ETAL
 31838 VIA VENTANA
 THOUSAND PLMS, CA. 92276

ASMT: 650331029, APN: 650331029
 REDEVELOPMENT AGENCY COUNTY OF RIVEI
 C/O REAL ESTATE DIVISION
 P O BOX 1180
 RIVERSIDE CA 92502

ASMT: 685010003, APN: 685010003
 SOUTHERN PACIFIC TRANSPORTATION CO
 1700 FARNAM ST 10TH FL S
 OMAHA NE 68102

ASMT: 650332012, APN: 650332012
 MICHAEL BIZIER
 P O BOX 2882
 PALM DESERT CA 92261

ASMT: 685010005, APN: 685010005
 FIRST ST FINANCIAL CENTER, ETAL
 C/O CATANZARITE LAW
 2331 W LINCOLN AVE
 ANAHEIM CA 92801



ASMT: 685010009, APN: 685010009
 HOPE PARK 85
 40004 COOK ST NO 3
 PALM DESERT CA 92211

ASMT: 693020021, APN: 693020021
 MARIO SANPAOLO
 250 SAN BERNANCIO RD
 SALINAS CA 93908

ASMT: 693010001, APN: 693010001
 DAVID SANCHEZ
 65959 HWY 86
 THERMAL CA 92274

ASMT: 693031016, APN: 693031016
 MARIO SANPAOLO
 250 SAN BENANCIO RD
 SALINAS CA 93908

ASMT: 693010002, APN: 693010002
 RRM PROP LTD
 C/O JOSEPH P OCCHIUTO
 P O BOX 3600
 CORONA CA 92878

ASMT: 693040002, APN: 693040002
 SUPERIOR READY MIX CONCRETE
 C/O ARNOLD VELDKAMP
 1508 W MISSION RD
 ESCONDIDO CA 92029

ASMT: 693010008, APN: 693010008
 DEWEY REAL PROP MGMT
 72395 VARNER RD
 THOUSAND PLMS, CA. 92276

ASMT: 693040004, APN: 693040004
 GRANITE CONST CO
 P O BOX 50085
 WATSONVILLE CA 95077

ASMT: 693010017, APN: 693010017
 RPM PROP
 NO 421
 28241 CROWN VALLEY PKWY
 LAGUNA NIGUEL CA 92677

ASMT: 693040009, APN: 693040009
 KCM PARTNERS
 26833 WESTVALE RD
 PALOS VERDES PENINSULA CA 90274

ASMT: 693010019, APN: 693010019
 ABSOLUTE STORAGE THOUSAND PALMS VAR
 C/O WATERMARKE PROP
 410 N MAIN ST
 CORONA CA 92880

ASMT: 693040019, APN: 693040019
 SUNLINE TRANSIT AGENCY
 3205 HARRY OLIVER TR
 THOUSAND PLMS CA 92276

ASMT: 693020019, APN: 693020019
 ATEF JABER
 72711 RAMON RD
 THOUSAND PLMS, CA. 92276

ASMT: 693040020, APN: 693040020
 SEYMOUR LAZAR, ETAL
 334 HERMOSA PL
 PALM SPRINGS CA 92262

ASMT: 693040022, APN: 693040022
SEYMOUR LAZAR, ETAL
334 W HERMOSA PL
PALM SPRINGS CA 92262

ASMT: 693040025, APN: 693040025
U STORE IT
C/O PTA USI 291
P O BOX 320099
ALEXANDRIA VA 22320

ASMT: 693040026, APN: 693040026
SUNLINE TRANSIT AGENCY
32505 HARRY OLIVER TRL
THOUSAND PLMS CA 92276

ASMT: 693040028, APN: 693040028
SUNLINE TRANSIT AGENCY
P O BOX 2185
PALM SPRINGS CA 92263

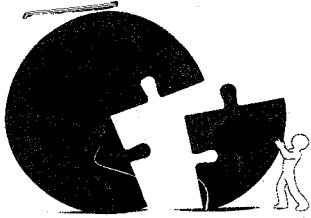
CUP03170R1 6/9/2011 ▼

Owner/Applicant:
Sunline Transit Agency
32-505 Harry Oliver Trail
Thousand Palms, CA 92276

Eng-Rep:
IBI Group
18401 Von Karman Avenue, Ste. 110
Irvine, CA 92612

Extra Labels





Carolyn Syms Luna
Director

RIVERSIDE COUNTY PLANNING DEPARTMENT

Memorandum

DATE: August 16, 2011
TO: Board of Supervisors
FROM: Jay Olivas
RE: **Item 16.5 -- CUP03170R1 Sunline Transit Agency**

Board of Supervisors:

The attached condition changes proposed are as follows:

- 1) Amend condition "10 Every 3 - Definitions" by adding reference to Signage Program.
- 2) Delete condition "10 Planning 9 - Permit Signs Separately".
- 3) Add condition "10 Planning 29 - Limit on Signage".

Y:\Planning Case Files-Riverside office\CUP03170R1\BOS Memo

Riverside Office · 4080 Lemon Street, 12th Floor
P.O. Box 1409, Riverside, California 92502-1409
(951) 955-3200 · Fax (951) 955-1811

Desert Office · 38686 El Cerrito Road
Palm Desert, California 92211
(760) 863-8277 · Fax (760) 863-7555

16.5

08/15/11
15:55

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 1

CONDITIONAL USE PERMIT Case #: CUP03170R1

Parcel: 693-040-019

10. GENERAL CONDITIONS

EVERY DEPARTMENT

10. EVERY. 3 USE - DEFINITIONS

RECOMMND

The words identified in the following list that appear in all capitals in the attached conditions of Conditional Use Permit No. 3170, Revised Permit No. 1 shall be henceforth defined as follows:

APPROVED EXHIBIT A = Exhibit A, Sheets 1-4, Amended No. 1, Exhibit B, Sheets 1-2, Exhibit C, Amended No. 1, Sheets 1-5, and Exhibit G, Amended No. 1, Sheets 1-3, Exhibit M (isometric views) dated April 26, 2011 by IBI Group, and Signage Program (Pages 1-4) dated March 25, 2011 by IBI Group.

PLANNING DEPARTMENT

10.PLANNING. 9 USE - PERMIT SIGNS SEPARATELY

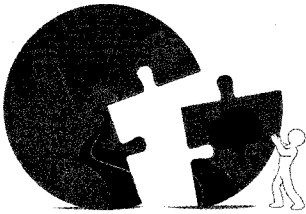
DELETED

No signs are approved pursuant to this project approval. Prior to the installation of any on-site advertising or directional signs, a signing plan shall be submitted to and approved by the Planning Department pursuant to the requirements of Section 18.30 (Planning Department review only) of Ordinance No. 348.

10.PLANNING. 29 USE - LIMIT ON SIGNAGE

RECOMMND

Signage for this project shall be limited to the sign plans as shown on APPROVED EXHIBIT A. Any additional signage shall be approved by the Planning Department pursuant to the requirements of Section 18.30 (Planning Department review only) of Ordinance No. 348.



RIVERSIDE COUNTY PLANNING DEPARTMENT

Carolyn Syms Luna
Director

435B
08-16-2011

DATE: June 15, 2011

TO: Clerk of the Board of Supervisors 16.5

8/16/11

FROM: Planning Department - Rivers

(7)

SUBJECT: Fast Track CUP03170R1 -- intent to Adopt Mitigated Negative Declaration
(Charge your time to these case numbers)

The attached item(s) require the following action(s) by the Board of Supervisors:

- | | |
|--|--|
| <input type="checkbox"/> Place on Administrative Action (Receive & File; EOT) | <input checked="" type="checkbox"/> Set for Hearing (Legislative Action Required; CZ, GPA, SP, SPA) |
| <input checked="" type="checkbox"/> Labels provided If Set For Hearing | <input checked="" type="checkbox"/> Publish in Newspaper: |
| <input type="checkbox"/> 10 Day <input checked="" type="checkbox"/> 20 Day <input type="checkbox"/> 30 day | (4th Dist) Desert Sun and Press Enterprise |
| <input type="checkbox"/> Place on Consent Calendar | <input checked="" type="checkbox"/> Mitigated Negative Declaration |
| <input type="checkbox"/> Place on Policy Calendar (Resolutions; Ordinances; PNC) | <input type="checkbox"/> 10 Day <input checked="" type="checkbox"/> 20 Day <input type="checkbox"/> 30 day |
| <input type="checkbox"/> Place on Section Initiation Proceeding (GPIP) | <input checked="" type="checkbox"/> Notify Property Owners (app/agencies/property owner labels provided) |
| | Controversial: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO |

Designate Newspaper used by Planning Department for Notice of Hearing:
(4th Dist) Desert Sun and Press Enterprise

OK
KHI

Need Director's signature by ASAP
Please schedule on the August 16, 2011 BOS Agenda

Documents to be sent to County Clerk's Office for Posting within five days:
Notice of Determination and Mit Neg Dec Forms
Fish & Game Receipt (CFG05773)

Do not send these documents to the County Clerk for posting until the Board has taken final action on the subject cases.

Riverside Office • 4080 Lemon Street, 12th Floor
P.O. Box 1409, Riverside, California 92502-1409
(951) 955-3200 • Fax (951) 955-1811

Desert Office • 38686 El Cerrito Road
Palm Desert, California 92211
(760) 863-8277 • Fax (760) 863-7555

"Planning Our Future... Preserving Our Past"

1663

Agenda Item No.:
Area Plan: Western Coachella Valley
Zoning District: Thousand Palms
Supervisorial District: Fourth
Project Planner: Jay Olivas
Board of Supervisors:

FAST TRACK CONDITIONAL USE PERMIT NO.
3170, REVISED PERMIT NO. 1 (FTA 2011-04)
E.A. No. 42407
Applicant: Sunline Transit Agency
Engineer/Representative: IBI Group

COUNTY OF RIVERSIDE PLANNING DEPARTMENT STAFF REPORT

PROJECT DESCRIPTION AND LOCATION:

An existing public transit facility with compressed natural gas fueling station, hydrogen solar fuel generation plant, and fueling station proposes to consolidate its multi-building campus into a new two-story administration building of approximately 25,000 square feet at a building height of 30 feet, add a "Transit Hub" to include a 1,600 square foot bus waiting shelter up to 14 feet in height and add 42,000 square feet of parking for a "park and ride" lot, and add 650 sq. ft. electrical yard.

The overall project site is located on approximately 23 gross acres, north of Interstate 10 and Varner Road, west of Harry Oliver Trail, and south of Haskell Road in Thousand Palms.

BACKGROUND:

A plot plan for the Sunline Transit Agency facility was approved by the County in 1985 which included bus vehicle maintenance, administrative and operations offices. CUP03170 was approved in 1993 for a compressed natural gas fuel station. Subsequent Substantial Conformance applications to CUP03170 were approved for minor additions beginning from the mid 1990s with the most recent Substantial Conformance (CUP03170S6) approved in 2009 for additional bus parking.

ISSUES OF POTENTIAL CONCERN:

Flood issues, right-of-way dedications, and future sewer connection are key issues that were addressed with the revised conditional use permit. Flood issues are being addressed subject to compliance with flood plain management review prior to grading permit issuance. Right of way issues are addressed based on public road dedications required along Harry Oliver Trail for a 44 foot half width right of way and along Haskell Road for a 37 foot half width right of way. In addition, sufficient public street right of way along the westerly boundary of APN 693-040-018 shall be conveyed for public use to provide for a 40 foot wide access road. The site contains existing septic systems which shall transition into sewer connection. These issues have been resolved based on recommended conditions.

SUMMARY OF FINDINGS:

- | | |
|--|---|
| 1. Existing General Plan Land Use (Ex. #5): | Light Industrial (CD: LI) (.25 - .60 FAR) |
| 2. Surrounding General Plan Land Use (Ex. #5): | Light Industrial (CD: LI) (.25 - .60 FAR),
Commercial Retail (CR) (.20 - .35 FAR) |
| 3. Existing Zoning (Ex. #2): | Industrial Park (I-P) and M-SC (Manufacturing –
Service Commercial) |
| 4. Surrounding Zoning (Ex. #2): | Industrial Park (I-P), M-SC (Manufacturing –
Service Commercial), Scenic Highway Commercial
(C-P-S) |
| 5. Existing Land Use (Ex. #1): | Public Transit Facility |

FAST TRACK CONDITIONAL USE PERMIT NO. 3170, REVISED PERMIT NO. 1

BOS Staff Report:

Page 2 of 4

- | | |
|-----------------------------------|--|
| 6. Surrounding Land Use (Ex. #1): | South: Self Storage, Bldg Materials Yard
West: Concrete Batch Plant
North: Vacant Land and Commercial
East: Vacant Land |
| 7. Project Data: | Total Acreage: 23
Total Sq. Ft. Exist Bldgs: Approx. 55,000 SF
Total Sq. Ft. New Bldgs: Approx. 27,000 |
| 8. Environmental Concerns: | See Attached Environmental Assessment |

RECOMMENDATIONS:

ADOPTION of a **MITIGATED NEGATIVE DECLARATION** for **ENVIRONMENTAL ASSESSMENT NO. 42407**, based on the findings incorporated in the initial study and the conclusion that the project will not have a significant effect on the environment; and,

APPROVAL of **CONDITIONAL USE PERMIT NO. 3170, REVISED PERMIT NO. 1**, subject to the attached conditions of approval, and based upon the findings and conclusions incorporated in the staff report.

CONCLUSIONS:

1. The proposed project is in conformance with the Western Coachella Valley Area Plan: Light Industrial (LI) (.25 - .60 FAR) Land Use Designation, and with all other elements of the Riverside County General Plan.
2. The proposed project is consistent with the Industrial Park (I-P) and Manufacturing - Service Commercial (M-SC) zoning classifications of Ordinance No. 348, and with all other applicable provisions of Ordinance No. 348.
3. The public's health, safety, and general welfare are protected through project design.
4. The proposed project is conditionally compatible with the present and future logical development of the area.
5. The project will not have a significant effect on the environment and there is no evidence that the project will have significant effects on wildlife resources.
6. The proposed project will not preclude reserve design for the Coachella Valley Multiple Species Habitat Conservation Plan.

FINDINGS: The following findings are in addition to those incorporated in the summary of findings, which are incorporated herein by reference.

1. The project site is designated Light Industrial (.25 - .60 FAR) on the Western Coachella Valley Area Plan.

2. The existing use, a public transit facility, which proposes to consolidate its multi-building campus into a new two-story administration building of approximately 25,000 square feet, add a "Transit Hub" to include a 1,600 square foot bus waiting shelter with 42,000 square feet of parking for a "park and ride" lot, and 650 sq. ft. electrical yard, is a permitted use in the Light Industrial land use designation.
3. The project site is surrounded by properties which are designated Light Industrial (LI) to the south and west; Commercial Retail (CR) to the north and east.
4. The zoning for the subject site is Industrial Park (I-P) and Manufacturing - Service Commercial (M-SC).
5. The existing use as a public transit facility with proposed expansion is a permitted use subject to approval of a conditional use permit in the Industrial Park (I-P) and Manufacturing - Service Commercial (M-SC) zones.
6. The existing public transit facility with proposed expansion including administration building, bus shelter, park and ride lot, and electrical yard is consistent with the development standards set forth in the Industrial Park (I-P) and Manufacturing Service Commercial (M-SC) zones in that the project exceeds minimum building setbacks of 25 feet from existing adjoining streets.
7. The current public transit facility has been operational since 1985 and currently meets the requirements of County Zoning Ordinance No. 348.
8. The project site is surrounded by properties which are zoned Scenic Highway Commercial (C-P-S) to the north and east; Industrial Park (I-P) and Manufacturing - Service Commercial (M-SC) to the south and west.
9. The project will reduce visual impacts based on building design for the new administration building which is at a building height of 30 feet which includes precision concrete masonry units and aluminum windows.
10. Visual impacts will be reduced for the new bus shelter since the bus shelter is a low profile building at a height of 14 feet, is setback approximately 260 feet from Interstate 10, and due to a project requirement for a 3 foot high buffer along Varner Road adjacent to the park and ride lot.
11. Domestic water and sanitation is proposed to be provided by the Coachella Valley Water District. Portions of the project contain existing septic systems to be abandoned and transitioned into sewer service. Domestic water and sanitation shall be provided in conformance with the water and sewer land use standards of the General Plan.
12. The project is adjacent to Varner Road (128' ROW), Harry Oliver Trail (88' ROW), and Haskell Road (74' ROW). The project will provide appropriate mitigation, such as, road dedications and street improvements, including, but not limited to, Harry Oliver Trail which is to be improved to 32 foot half width AC pavement and 8 inch concrete curb and gutter within the 44 foot half width dedicated right of way to meet existing pavement section, in compliance with the requirements of the circulation element of the General Plan.

13. The project is approximately one half mile from a fire station. The project will provide appropriate fire protection improvements, such as fire hydrants and a water system, in conformance with the fire services policies of the General Plan.
14. The project is not located within the sphere of influence of any city. However, it is located within the boundaries of the Thousand Palms Community Council which recommend project approval.
15. This project is not located within a Conservation Area of the Coachella Valley Multiple Species Habitat Conservation Plan.
16. The initial study performed pursuant to Environmental Assessment No. 42407 identified the following potentially significant impacts:
 - a) Hydrology / Water Quality
 - b) Transportation / Traffic

These listed impacts will be fully mitigated by the measures indicated in the initial study, conditions of approval, and attached government agency letters. No other significant impacts were identified.
17. This project is a "Fast Track" (FTA-2011-04) project designated by the Economic Development Agency (EDA) and is intended to provide for beneficial jobs and economic growth.

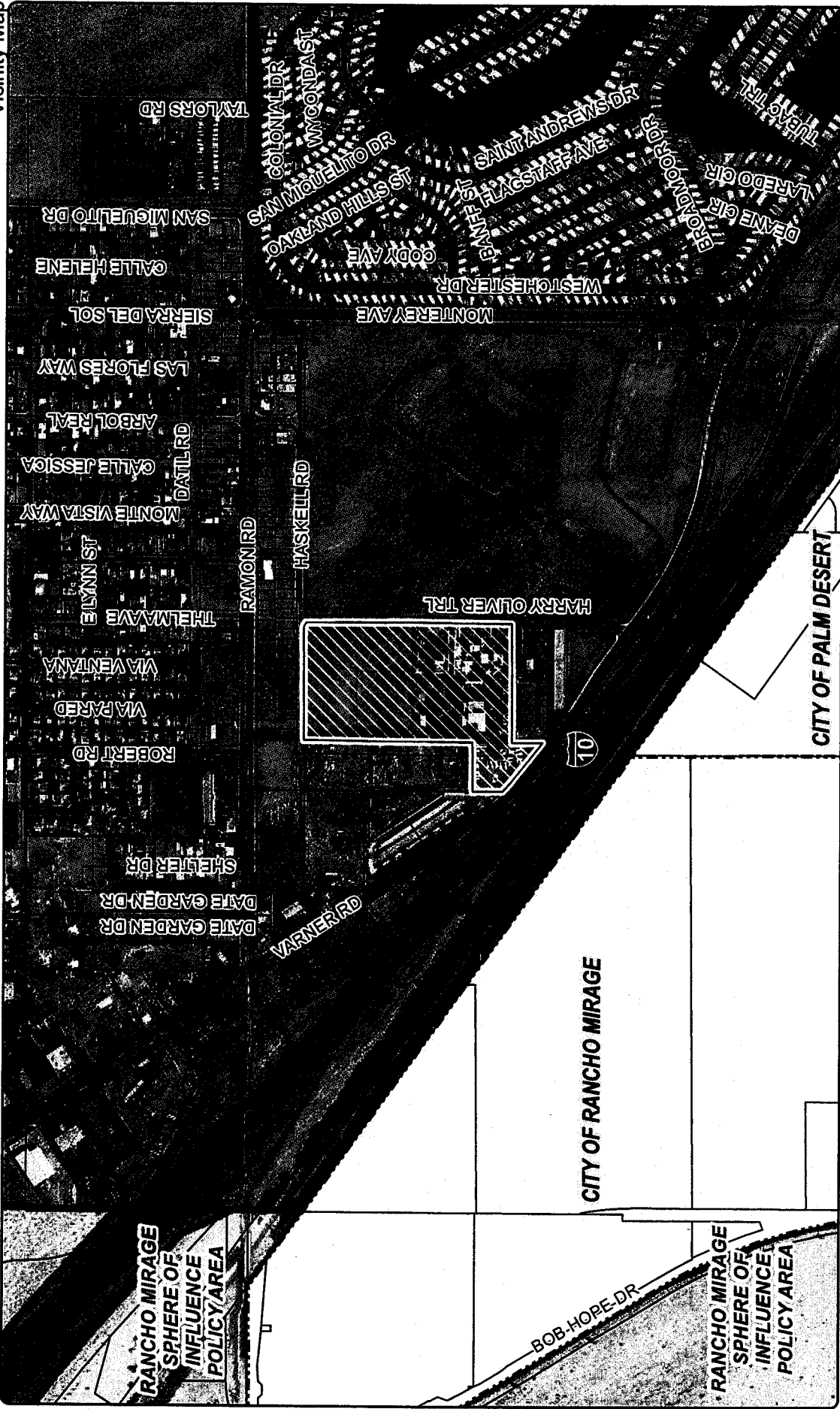
INFORMATIONAL ITEMS:

1. As of this writing (6/9/11), no letters, in support or opposition have been received.
2. The project site is not located within:
 - a. A City sphere of influence;
 - b. A mapped fault zone;
 - c. General Plan Policy Area;
 - d. Zoning Overlay;
 - e. Airport Influence Area.
3. The project site is located within:
 - a. The boundaries of the Palm Springs Unified School District;
 - b. A 100 year flood plain (Zone A);
 - c. A moderate liquefaction area;
 - d. Zone B, 41.36 Miles from Mt. Palomar (Low pressure sodium lighting).
4. The subject site is currently designated as Assessor's Parcel Numbers 693-040-018, 693-040-019, 693-040-26, 693-040-028.

**RIVERSIDE COUNTY PLANNING DEPARTMENT
CUP03170R1
VICINITY/POLICY AREAS**

Supervisor Benoit
District 4

Date Drawn: 6/2/11
Vicinity Map



Assessors Bk. Pg. 693-04
Thomas Bros. Pg. 788 D2
Edition 2009



Zoning District: Thousand Palms
Township/Range: T4SR6E
Section: 19

DISCLAIMER: On October 7, 2003, the County of Riverside adopted a new General Plan providing new land use designations for unincorporated Riverside County parcels. The new General Plan may contain different types of land use than is provided for under existing zoning. For further information, please contact the Riverside County Planning Department offices in Riverside at (951) 955-3200 (Western County), or in Indio at (760) 863-8277 (Eastern County) or website at <http://www.plma.co.riverside.ca.us/index.html>

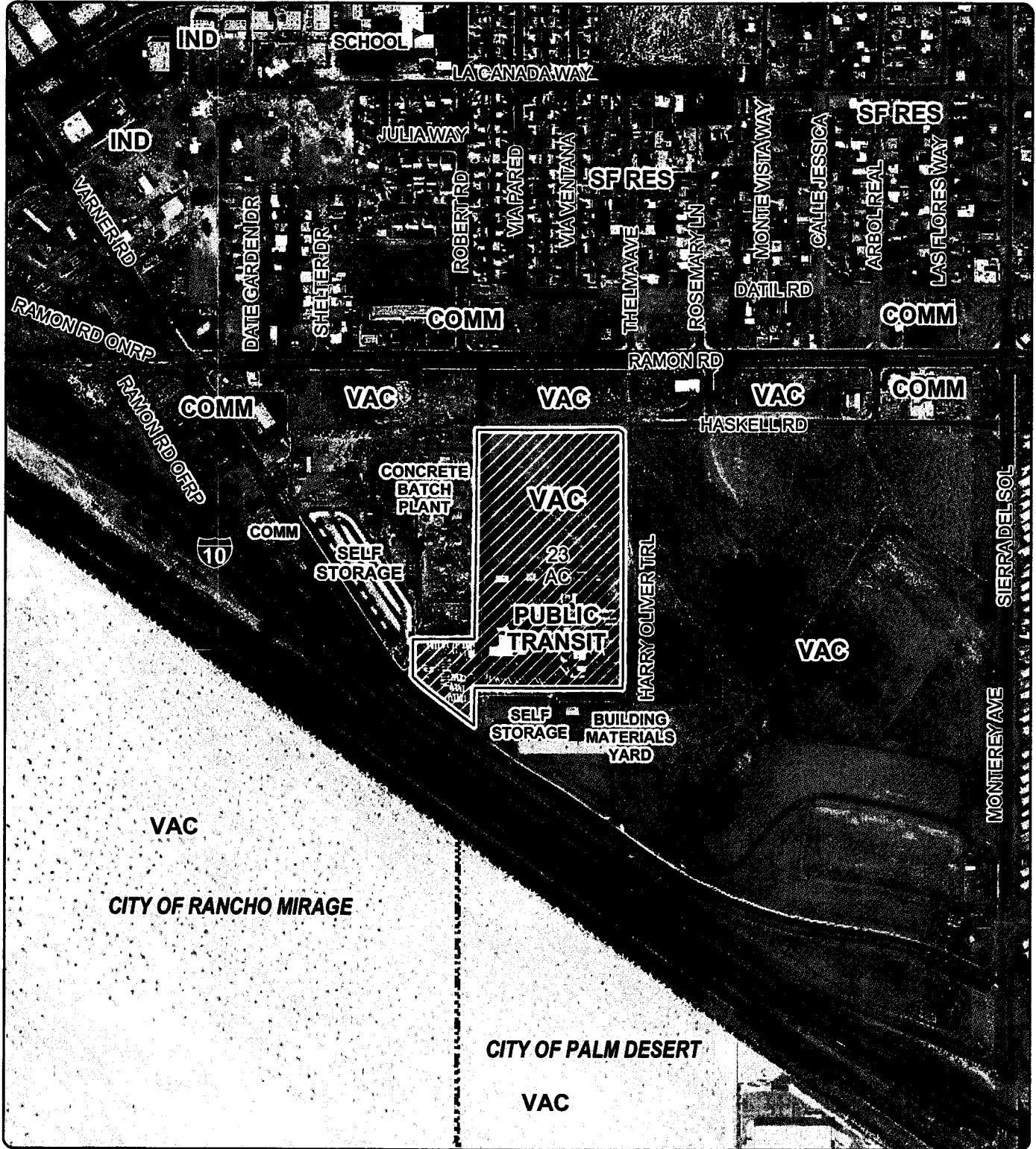
RIVERSIDE COUNTY PLANNING DEPARTMENT

CUP03170R1

LAND USE

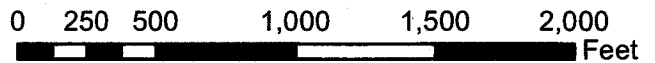
Supervisor Benoit
District 4

Date Drawn: 6/2/11
Exhibit 1



Zoning District: Thousand Palms
Township/Range: T4SR6E
Section: 19

Assessors Bk. Pg. 693-04
Thomas Bros. Pg. 788 D2
Edition 2009



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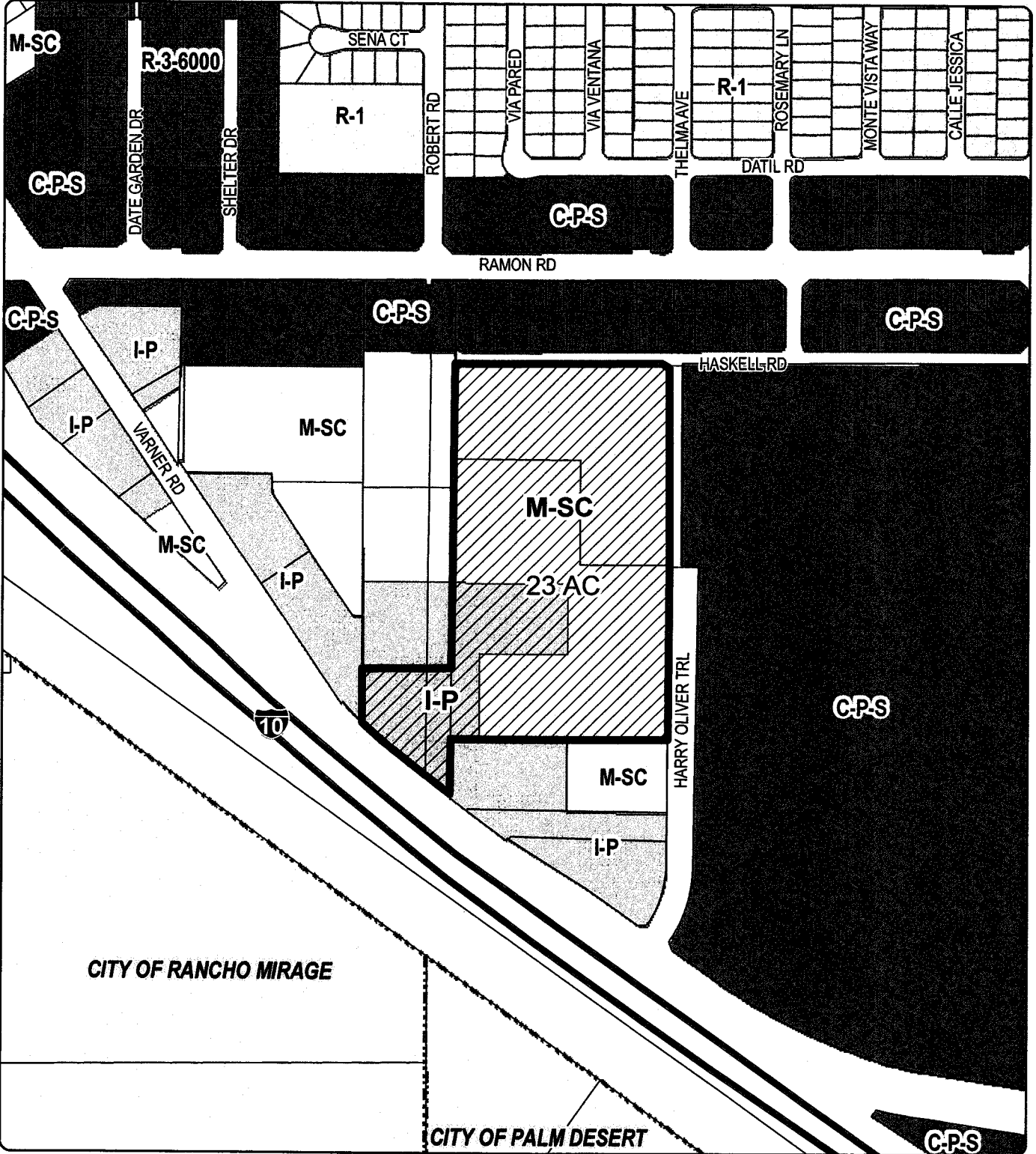
RIVERSIDE COUNTY PLANNING DEPARTMENT

CUP03170R1
EXISTING ZONING

Date Drawn: 6/2/11

Exhibit 2

Supervisor Benoit
District 4



Zoning District: Thousand Palms
Township/Range: T4SR6E
Section: 19

Assessors Bk. Pg. 693-04
Thomas Bros. Pg. 788 D2
Edition 2009



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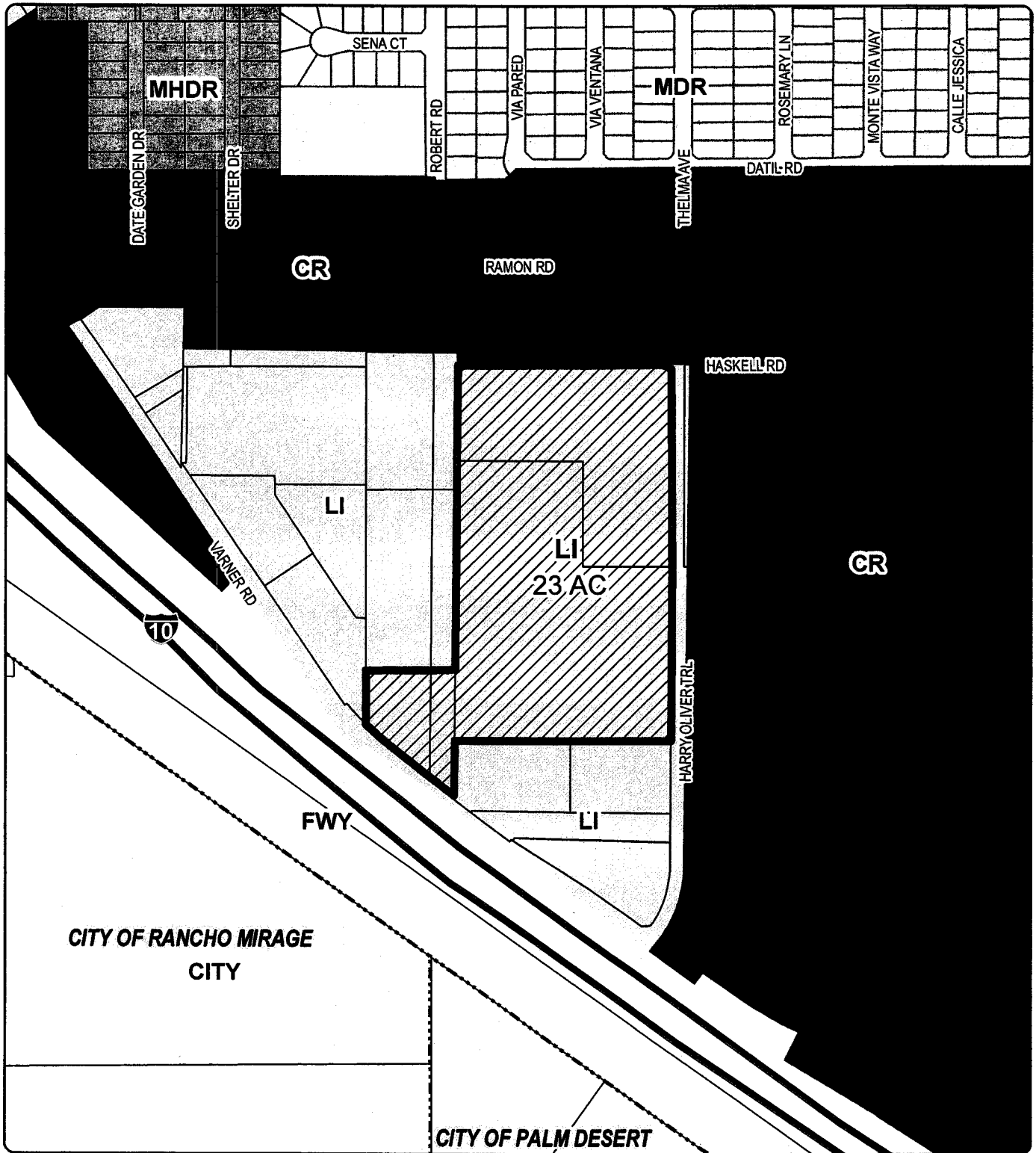
RIVERSIDE COUNTY PLANNING DEPARTMENT

CUP03170R1

EXISTING GENERAL PLAN

Supervisor Benoit
District 4

Date Drawn: 6/2/11
Exhibit 5



Zoning District: Thousand Palms
Township/Range: T4SR6E
Section: 19

Assessors Bk. Pg. 693-04
Thomas Bros. Pg. 788 D2
Edition 2009



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SUNLINE ADMINISTRATION PROJECT

Sunline
HARRY AGENCY

IBI GROUP

ARCHITECTS ENGINEERS PLANNERS

ARCHITECT OF RECORD:
IBI Group
18401 Von Karmann Ave, Suite 110
Irvine, California 92612
Phone 949-353-5566
Fax 949-353-5568

STRUCTURAL ENGINEER:
Thomas, Tomasetti
10000 Wilshire Blvd, Suite 400
Beverly Hills, California 90210
Phone 949-271-5300
Fax 949-271-5300

Mechanical, Electrical, & Plumbing
Engineering & Associates
10000 Wilshire Blvd, Suite 400
Beverly Hills, California 90210
Phone 949-271-5300
Fax 949-271-5300

ELECTRICAL ENGINEER:
EBA Engineering
3425 Wilshire Blvd, Suite 200
Beverly Hills, California 90210
Phone 949-271-5300
Fax 949-271-5300

CIVIL ENGINEER:
18401 Von Karmann Avenue, Suite 110
Irvine, California 92612
Phone 949-353-5566
Fax 949-353-5568

CIVIL ENGINEER:
VA Consulting, Inc.
10000 Wilshire Blvd, Suite 400
Beverly Hills, California 90210
Phone 949-271-5300
Fax 949-271-5300

LANDSCAPE:
18 Exchange Place, Suite 112
Thousand Palms, CA 92276
Phone 949-353-5566
Fax 949-353-5568



DATE	DESCRIPTION

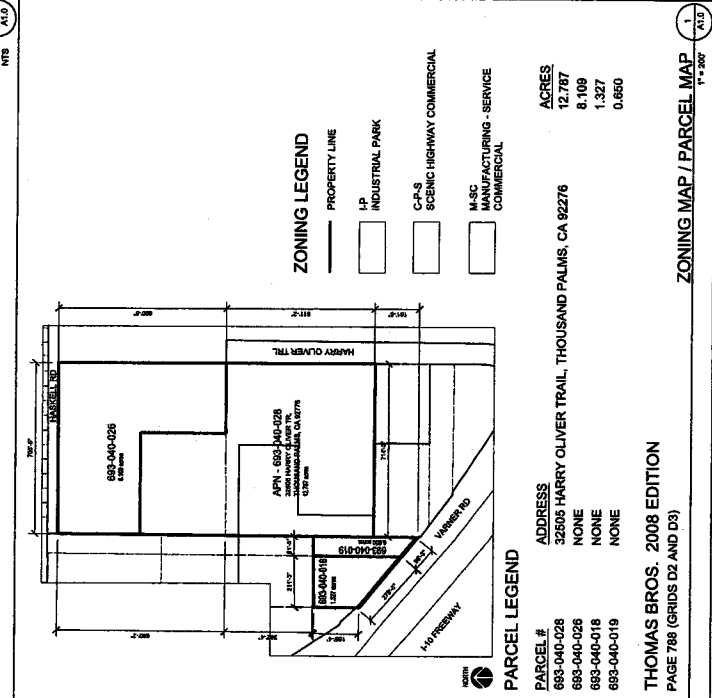
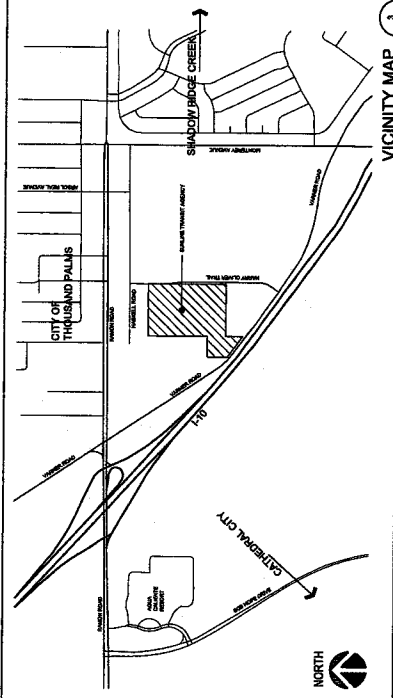
Sunline
Administration Building
32505 Harry Oliver Trail
Thousand Palms, CA 92276

PARCEL NUMBERS
893-040-028, 893-040-028, 893-040-018, 893-040-018

TITLE SHEET

Project Number: 27298
Date: APRIL 4, 2011
Drawn By: LJ
Checked By: LLATV

A1.0



PROJECT DESCRIPTION
The Sunline Transit Agency (STA) is the regional transportation agency that provides safe and efficient transit services to the communities of the Coachella Valley. The STA is currently in the process of expanding its facilities to accommodate the growth of the Coachella Valley. The STA is currently in the process of expanding its facilities to accommodate the growth of the Coachella Valley. The STA is currently in the process of expanding its facilities to accommodate the growth of the Coachella Valley.

PROJECT CHARACTERISTICS
The STA proposes to construct and operate a new consolidated transit administration facility that would include approximately 20,000 square feet of building space, 45,000 square feet of auto parking, a 1,000 square foot transit shelter, and a 1,000 square foot transit shelter. The STA is currently in the process of expanding its facilities to accommodate the growth of the Coachella Valley. The STA is currently in the process of expanding its facilities to accommodate the growth of the Coachella Valley.

PROJECT DESCRIPTION
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APPLICANT:
KEVIN FLEMING
18401 Von Karmann Ave, Suite 110
Irvine, CA 92612
ph: 949-353-5568 ext. 164

MAP/EXHIBIT PREPARER:
IBI GROUP
Leaura Jew
18401 Von Karmann Ave, Suite 110
Irvine, CA 92612
ph: 949-353-5568

LAND OWNER:
SUNLINE TRANSIT AGENCY
32505 Harry Oliver Trail
Thousand Palms, CA 92276
ph: 780-343-3458

UTILITIES

WATER/SEWER
COACHELLA VALLEY WATER DISTRICT

GAS
SOUTHERN CALIFORNIA GAS CO.

ELECTRICITY
SOUTHERN CALIFORNIA Edison

TELEPHONE
COACHELLA VALLEY WATER DISTRICT

TELEPHONE
VERIZON (PREVIOUSLY VZ)D

CABLE TELEVISION
THE WIRELESS

SCHOOL DISTRICT
PALM SPRINGS UNIFIED

TITLE	DESCRIPTION
A1.0	TITLE SHEET
A1.1	SITE PLAN - PHASE 2 (EXHIBIT A)
A1.2	ENLARGED SITE PLAN (EXHIBIT A)
A1.3	ENLARGED SITE PLAN (EXHIBIT A)
A1.4	FIRST FLOOR PLAN (EXHIBIT C)
A1.5	SECOND FLOOR PLAN (EXHIBIT C)
A1.6	BUS SHELTER FLOOR PLAN (EXHIBIT C)
A1.7	BUS SHELTER ROOF PLAN (EXHIBIT C)
A1.8	ADMINISTRATION BLDG. EXT. ELEVATIONS (EXHIBIT D)
A1.9	BUS SHELTER ELECTRICAL, VAND. EXT. ELEV. (EXHIBIT D)



ARCHITECTS ENGINEERS PLANNERS

ARCHITECT OF RECORD:
 IBI Group
 1400 Van Ness Avenue, Suite 110
 San Francisco, CA 94109
 Phone 415-774-2300
 Fax 415-774-2311

STRUCTURAL ENGINEER:
 IBI Group
 1400 Van Ness Avenue, Suite 110
 San Francisco, CA 94109
 Phone 415-774-2300
 Fax 415-774-2311

**MECHANICAL & PLUMBING
 ENGINEER & ASSOCIATE:**
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 1400 Van Ness Avenue, Suite 110
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 Phone 415-774-2300
 Fax 415-774-2311

ELECTRICAL ENGINEER:
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 San Francisco, CA 94109
 Phone 415-774-2300
 Fax 415-774-2311

CIVIL ENGINEER:
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 1400 Van Ness Avenue, Suite 110
 San Francisco, CA 94109
 Phone 415-774-2300
 Fax 415-774-2311

LANDSCAPE ARCHITECT:
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 San Francisco, CA 94109
 Phone 415-774-2300
 Fax 415-774-2311

CIVIL ENGINEER:
 IBI Group
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 Fax 415-774-2311

LANDSCAPE ARCHITECT:
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 San Francisco, CA 94109
 Phone 415-774-2300
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**Sunline
 Administration Building**
 32-595 Harry Oliver Trail,
 Thousand Palms, CA 92276

PARCEL NUMBER: 800-000-000
 000-000-000

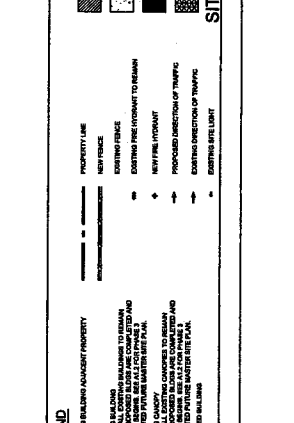
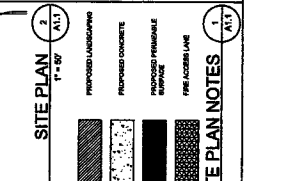
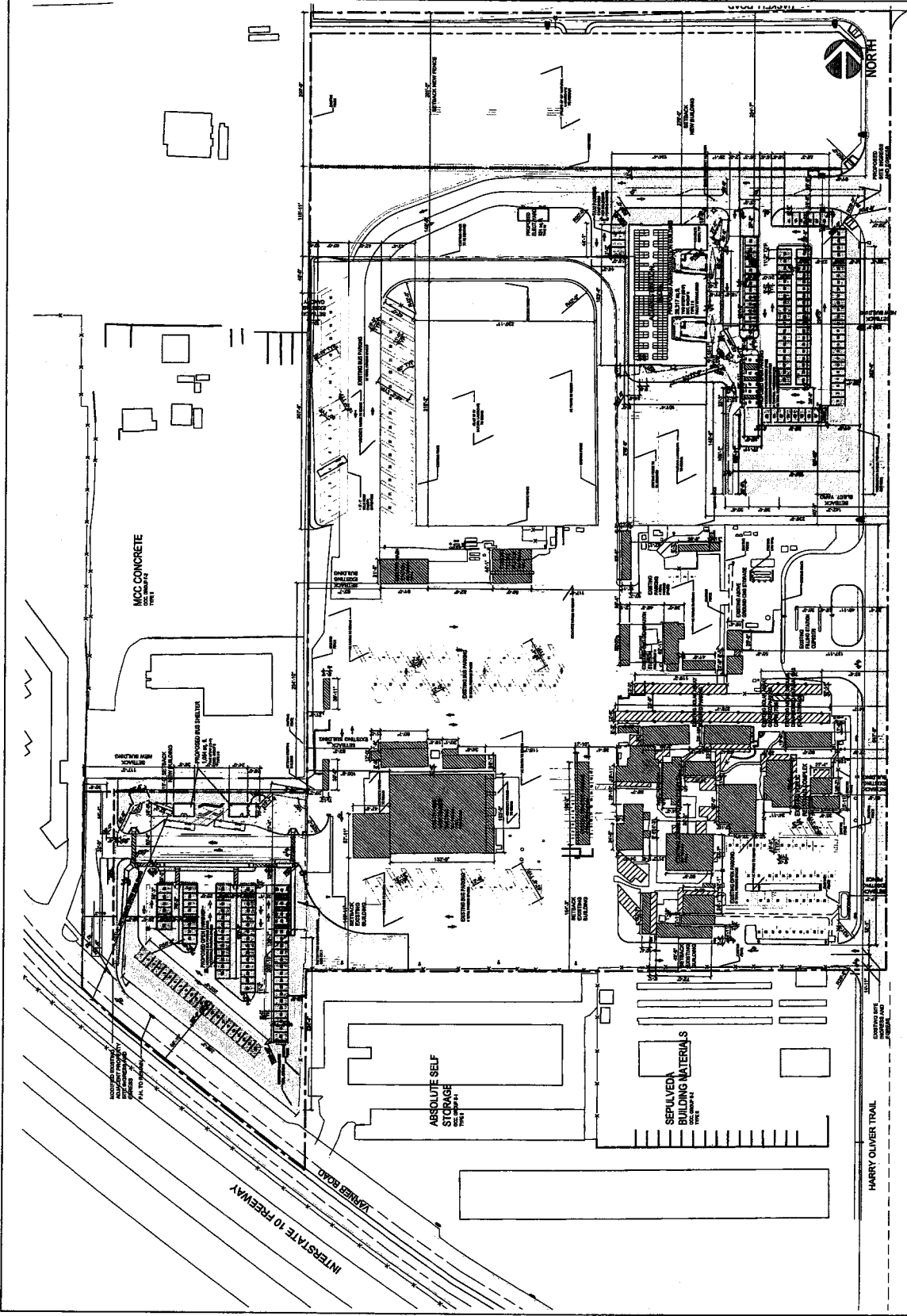
**SITE PLAN
 (PHASE 2)
 EXHIBIT A**

Project Number: 27288
 Date: APRIL 4, 2011
 Drawn By: LJ
 Checked By: LJ
A1.1



PROJECT NUMBER	LAND USE PPLICATION
04150171	REVISDED CUP BAY AREA ENGINEER

This plan is to be used in conjunction with the approved plans for the Sunline Administration Building, Phase 2, at the Harry Oliver Trail, Thousand Palms, CA 92276. It is intended for use only for the project and site indicated on the plans. It is not to be used for any other project or site without the written consent of the Engineer. The Engineer assumes no liability for the accuracy or completeness of the information or data furnished by the applicant. The Engineer is not responsible for any errors or omissions in the plans or for any consequences that may result from the use of the plans. The Engineer is not responsible for any construction methods or materials used in the project. The Engineer is not responsible for any environmental impacts or for any compliance with applicable laws and regulations.



NO.	DESCRIPTION	AREA (SQ. FT.)	% OF TOTAL
1	ADMINISTRATIVE BLDG.	1,500 SF	1.5%
2	ABSOLUTE SELF STORAGE	15,000 SF	15%
3	SERU VERA BUILDING MATERIALS	20,000 SF	20%
4	PARKING	50,000 SF	50%
5	LANDSCAPE AREA	15,000 SF	15%
6	ROADWAY	5,000 SF	5%
7	UTILITIES	5,000 SF	5%
8	CONCRETE	5,000 SF	5%
9	ASPHALT	5,000 SF	5%
10	GRASS	5,000 SF	5%
11	TOTAL	100,000 SF	100%

NO.	DESCRIPTION	BLDG. SQ. FT.	BLDG. TO SQ. FT. RATIO
1	ADMINISTRATIVE BLDG.	1,500	0.015
2	ABSOLUTE SELF STORAGE	15,000	0.15
3	SERU VERA BUILDING MATERIALS	20,000	0.20
4	PARKING	50,000	0.50
5	LANDSCAPE AREA	15,000	0.15
6	ROADWAY	5,000	0.05
7	UTILITIES	5,000	0.05
8	CONCRETE	5,000	0.05
9	ASPHALT	5,000	0.05
10	GRASS	5,000	0.05
11	TOTAL	100,000	1.00

NOTES:

- PROPOSED LANDSCAPING IS BASED ON THE ASSUMPTIONS OF THE LANDSCAPE ARCHITECT. THE LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR ANY CONSTRUCTION METHODS OR MATERIALS USED IN THE PROJECT.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA BUILDING CODE AND ALL APPLICABLE ORDINANCES.
- THE ENGINEER ASSUMES NO LIABILITY FOR THE ACCURACY OR COMPLETENESS OF THE INFORMATION OR DATA FURNISHED BY THE APPLICANT.
- THE ENGINEER IS NOT RESPONSIBLE FOR ANY CONSEQUENCES THAT MAY RESULT FROM THE USE OF THE PLANS.
- THE ENGINEER IS NOT RESPONSIBLE FOR ANY ENVIRONMENTAL IMPACTS OR FOR ANY COMPLIANCE WITH APPLICABLE LAWS AND REGULATIONS.

SunLine
HARRY OLIVER TRAIL

IBI GROUP

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LANDSCAPE:
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Irvine, California 92612
Phone 949-453-5200
Fax 949-453-5211



NO.	DATE	DESCRIPTION
1	10/20/10	PRELIMINARY
2	11/15/10	REVISED PER PERMIT REVIEW

This drawing is an unperfected contract. It is the property of IBI Group and the user agrees to indemnify and hold IBI Group harmless from all claims, damages, and expenses, including reasonable attorney's fees, arising out of or from the use of this drawing, whether or not such claims, damages, and expenses are caused in whole or in part by the negligence of IBI Group. IBI Group shall not be liable for any consequential or special damages, including lost profits, arising out of or from the use of this drawing, whether or not such claims, damages, and expenses are caused in whole or in part by the negligence of IBI Group. IBI Group shall not be liable for any consequential or special damages, including lost profits, arising out of or from the use of this drawing, whether or not such claims, damages, and expenses are caused in whole or in part by the negligence of IBI Group.

Sunline
Administration Building
32-595 Harry Oliver Trail,
Thousand Palms, CA 92276
PARCEL NUMBER
895-040-028, 895-040-029, 895-040-018, 895-040-019

ENLARGED SITE PLAN

Project Number: 27288
Date: APRIL 4, 2011
Drawn by: LJ
Checked by: LLATV

A1.2

SITE PLAN NOTES

1. A1.2

ENLARGED SITE PLAN - ADMIN. BUILDING
1/8" = 1'-0"

2. A1.2

NORTH

HARRY OLIVER TRAIL

ADMINISTRATION BLDG.

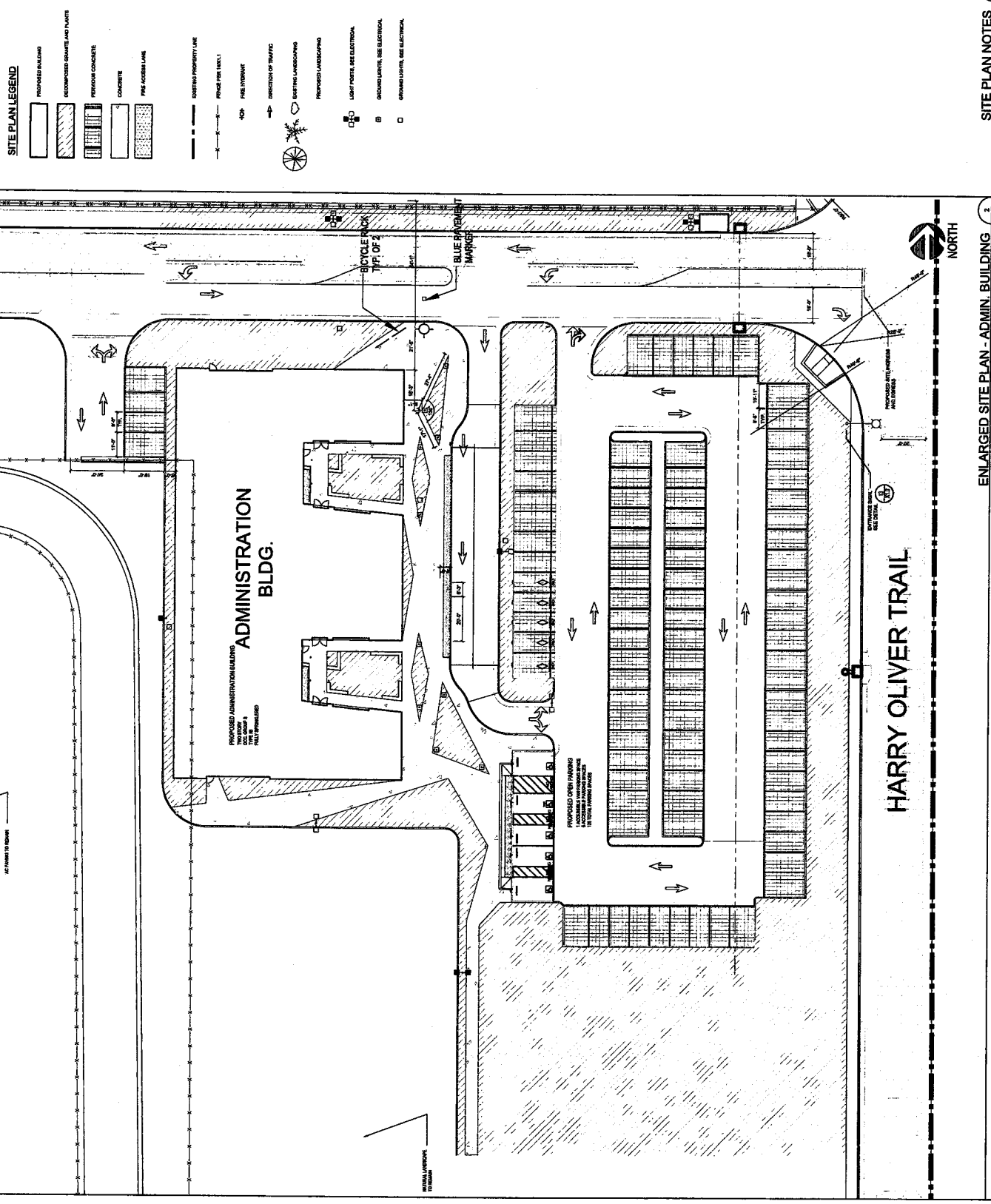
PROPOSED ADMINISTRATION BUILDING

PROPOSED OPEN PARKING

PROPOSED BIKEWAY

PROPOSED BIKEWAY

PROPOSED BIKEWAY



SITE PLAN LEGEND

- PROPOSED BUILDING
- ACCOMMODATED GRANITE AND FLAUTE
- PERFORM CONCRETE
- CONCRETE
- PAVE ACCESS LANE
- EXISTING PROPERTY LINE
- EXISTING FIRE WALL
- EXISTING FIRE FRONT
- DIRECTION OF TRAFFIC
- EXISTING LANDSCAPING
- PROPOSED LANDSCAPING
- LIGHT POLES, SEE ELECTRICAL
- GROUND LIGHTS, SEE ELECTRICAL
- GROUND LIGHTS, SEE ELECTRICAL

AS SHOWN TO OWNER

METAL LANDSCAPING

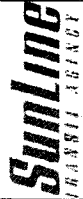
ENTRANCE MARK

SEE SITE PLAN

PROPOSED BIKEWAY

AND TRAIL

NORTH



ARCHITECTS ENGINEERS PLANNERS

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 IBI Group, 16421 Von Karman Avenue, Suite 110
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LANDSCAPE ARCHITECT:
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 Phone 949-853-8288
 Fax 949-853-8811



PROJECT INFORMATION

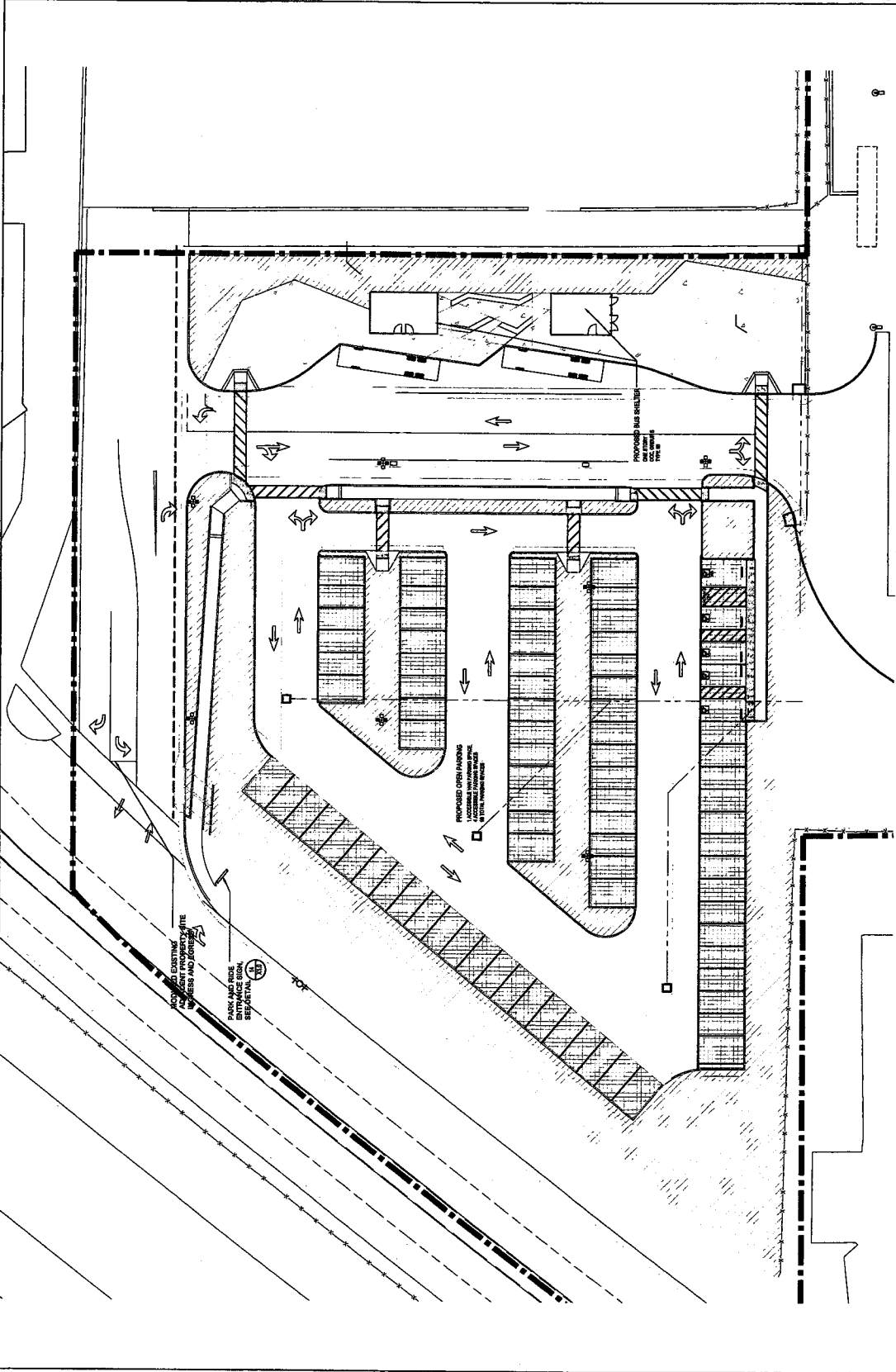
PROJECT NUMBER	27298
DATE	APRIL 4, 2011
DRAWN BY	LJ
CHECKED BY	LLATIV

PARCEL NUMBER
 88-040-002, 88-040-003, 88-040-011, 88-040-016

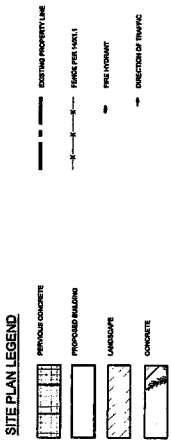
ENLARGED SITE PLAN

SunLine
Administration Building
 32-95 Harry Oliver Trail,
 Thousand Palms, CA 92276

A1.3



ENLARGED SITE PLAN - ADDITIONAL PARKING
 1/8" = 1'-0"



SITE PLAN NOTES

1
 A1.3

SunLine
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LANDSCAPE:
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Redland, CA, 92371
Phone 714-791-1111
Fax 907-332-4231



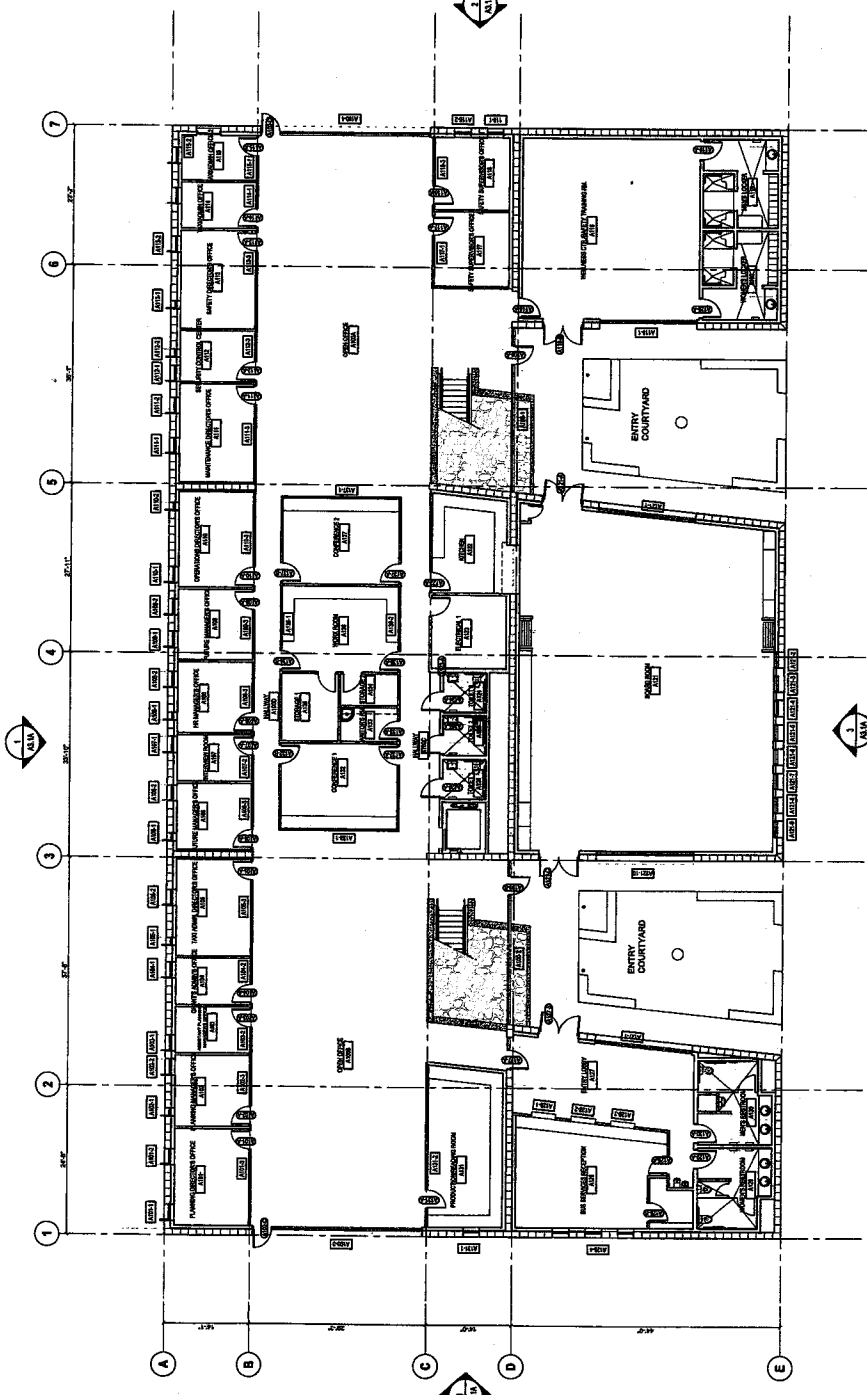
11/18/2018 LAND USE APPLICATION
04/20/21 REVISOR CUP EXHIBIT EXHIBIT

This drawing, with information contained therein, is the property of the Architect and the Engineer. It is to be used only for the project and site specifically identified on the title block. It is not to be used for any other project, in whole or in part, without the written consent of the Architect and the Engineer. The Architect and the Engineer assume no responsibility for the construction of the project or for the performance of the project. The Architect and the Engineer assume no responsibility for the construction of the project or for the performance of the project.

SunLine
Administration Building
32-505 Harry Oliver Trail
Thousand Palms, CA 92276
PARCEL NUMBER:
893-00-028, 893-00-029, 893-00-016, 893-00-019
FIRST FLOOR PLAN
EXHIBIT C

Project Number: 27288
Date: APRIL 4, 2011
Drawn By: LLATV
Checked By: LLATV

A2.1A



FIRST FLOOR PLAN
1/8" = 1' - 0"

- LEGEND
- 1" CMU WALL
 - 8" CMU WALL
 - WINDOW
 - 1 HOUR FIRE-RATED WALL
 - CORNER
 - PAVING
 - FRONT ENTRANCE CABINET

FLOOR PLAN NOTES

APPLICANT:
KEVIN FLEMING
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PH: 949-353-5288 ext. 164

LAND OWNER:
SUNLINE TRANSIT AGENCY
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Thousand Palms, CA 92276
PH: 760-343-3458

MAP/ EXHIBIT PREPARER:
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SunLine
TRANSIT AGENCY

IBI GROUP

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Fax 310-200-8323



DATE	REVISION	DESCRIPTION
11/14/2010	1	LAND USE APPLICATION
03/04/2011	2	REVISED CUP DRAWING EXHIBIT

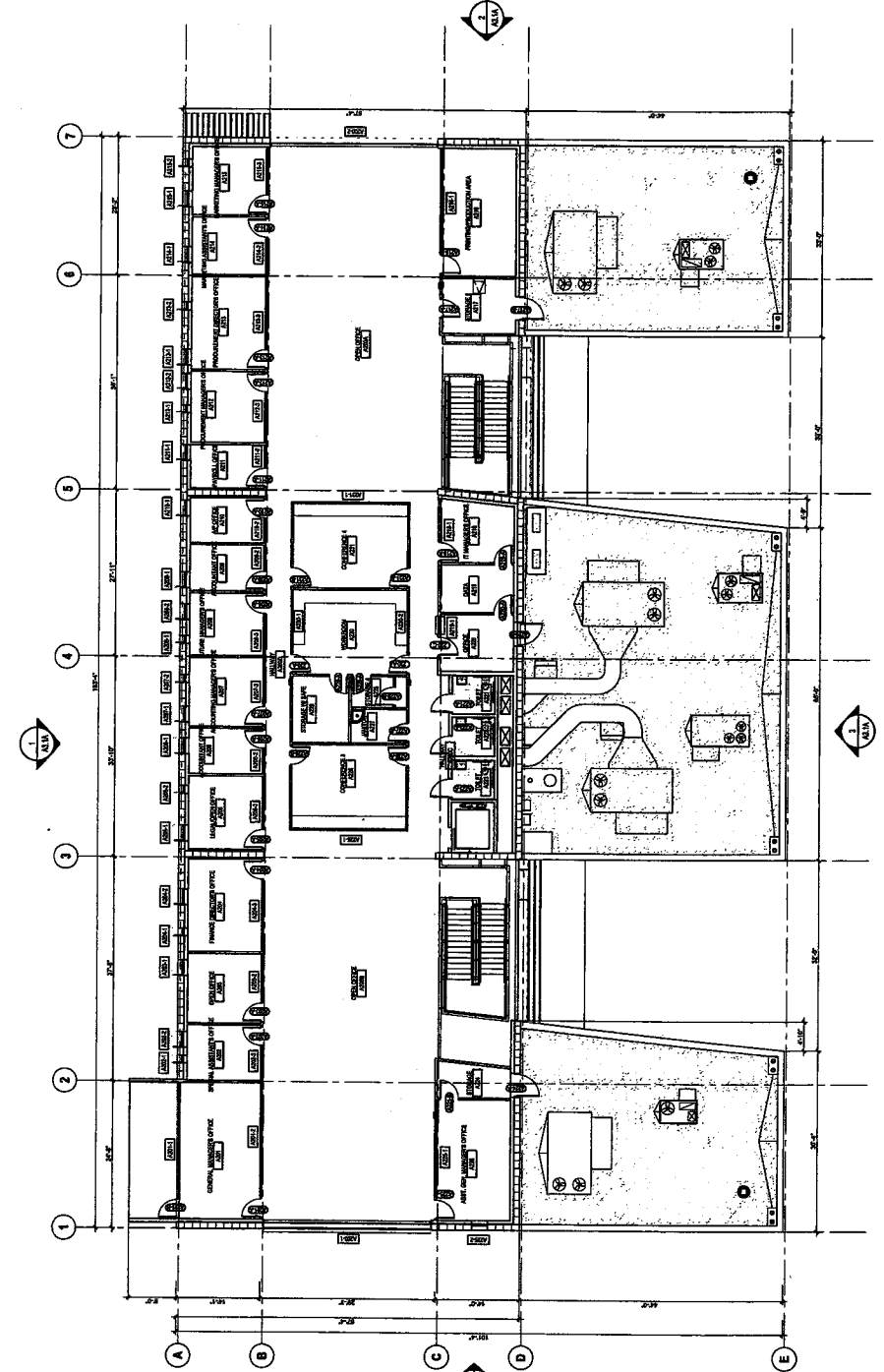
This plan is submitted in accordance with the provisions of the California Building Code, Title 24, Part 9.01, and the California Fire Code, Title 24, Part 9.02. It is intended for use as a permit drawing only and shall not be used for any other purpose without the written consent of the architect. The architect does not warrant the accuracy of the information provided in this plan. The user of this plan shall be responsible for its use and any liability therefor shall be borne by the user.

SunLine
Administration Building
32-505 Harry Oliver Trail,
Thousand Palms, CA 92276

PROJECT NUMBER: 695-004-002, 695-004-003, 695-004-011, 695-004-019
SECOND FLOOR PLAN
EXHIBIT C

Project Number: 27298
Date: APRIL 4, 2011
Drawn By: L.J.
Checked By: L.LATV

A2.3A



SECOND FLOOR PLAN
10' = 1'-0"

- LEGEND
- 12" GYM WALL
 - 8" GYM WALL
 - 8" GYM WALL
 - 8" GYM WALL
 - 1' GYM INSULATED WALL
 - GL CENTRAL CASE
 - PH FLOOR NUMBER
 - REC PRE-EXISTING ROOM

FLOOR PLAN NOTES

APPLICANT:
KEVIN FLEMING
18401 Von Karman Ave, Suite 110
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ph: 949-833-5588 ext. 164

LAND OWNER:
SUNLINE TRANSIT AGENCY
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17106593	LAND USE APPLICATION
04/20/11	DESIGNED BY: SUJAY BOHRE

This drawing is an unrecorded document. In the absence of this document and the original drawings, the information contained herein is not to be used for any purpose other than that for which it was prepared. The information contained herein is not to be used for any purpose other than that for which it was prepared. The information contained herein is not to be used for any purpose other than that for which it was prepared.

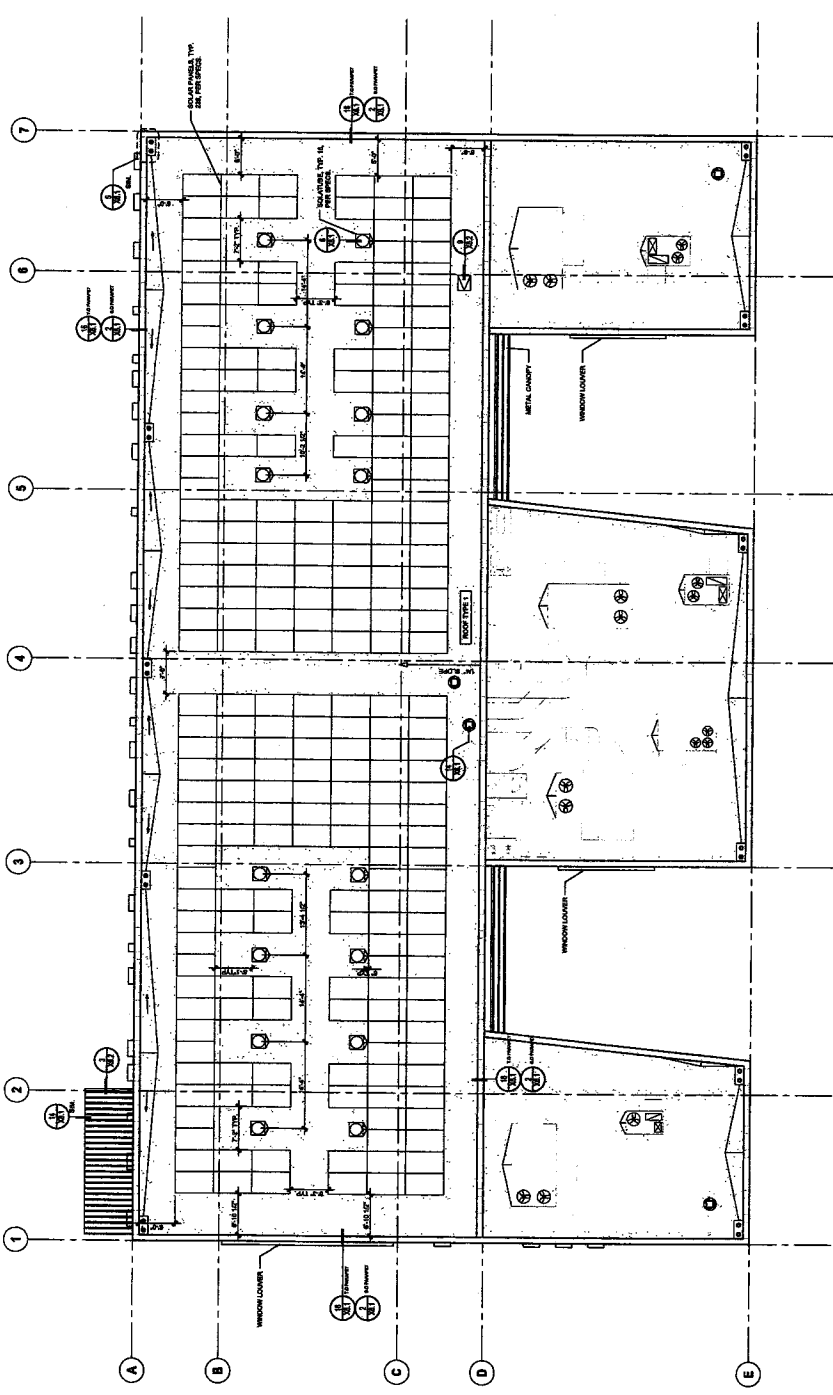
Sunline
Administration Building
32-505 Harry Oliver Trail
Thousand Palms, CA 92276
952-002-028, 952-002-028, 952-002-015, 952-002-019

PROJECT NUMBER: 27288
DATE: APRIL 4, 2011
DRAWN BY: L.J.
CHECKED BY: LATIY

ROOF PLAN
EXHIBIT C

Project Number: 27288
Date: APRIL 4, 2011
Drawn By: L.J.
Checked By: LATIY

A2.5A



ROOF PLAN
1/2" = 1'-0"

- REVISIONS:**
1. ROOF TO BE CLASS A, MINIMAL.
 2. SEE MECHANICAL DRAWINGS FOR ALL MECHANICAL EQUIPMENT SCHEDULE, LAYOUT AND ATTACHMENT.
 3. SEE PLUMBING DRAWINGS FOR PIPE PENETRATION DETAILS.
 4. SEE STRUCTURAL DRAWINGS FOR ROOF SUPPORTS.
 5. PROVIDE ROOF PANEL LAYOUTS AS NECESSARY TO ACHIEVE PROPER DRAINAGE AND ATTACHMENT.
 6. SEE ALL FOR TYPICAL ROOF DETAILS AT ALL SLOPE.
 7. CHECKED TO BE TYPED ROOF INSULATION, 4" PER FOOT SLOPE.
- ASSEMBLY NOTES:**
1. TYPE I - CLASH RESISTANT MEMBRANE BUILT UP TO MECHANICAL EQUIPMENT TO PROVIDE METAL DECK, SEE MECHANICAL DRAWINGS.
 2. TYPE II - METAL CANOPY ROOFING OVER CONCRETE DECK.

- REVISIONS:**
1. SEE MECHANICAL DRAWINGS FOR ALL MECHANICAL EQUIPMENT SCHEDULE, LAYOUT AND ATTACHMENT.
 2. SEE PLUMBING DRAWINGS FOR PIPE PENETRATION DETAILS.
 3. SEE STRUCTURAL DRAWINGS FOR ROOF SUPPORTS.
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 6. CHECKED TO BE TYPED ROOF INSULATION, 4" PER FOOT SLOPE.
- ASSEMBLY NOTES:**
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 2. TYPE II - METAL CANOPY ROOFING OVER CONCRETE DECK.

ROOF PLAN NOTES
1
A2.5A



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DATE	REVISION	DESCRIPTION
04/02/11	1	LAND USE APPLICATION REMOVED CAP EXHIBIT

THIS PROJECT HAS BEEN REVIEWED BY THE CALIFORNIA BOARD OF ARCHITECTURE AND THE CALIFORNIA BOARD OF ENGINEERS AND SURVEYORS. THE REVIEW IS LIMITED TO THE TECHNICAL ASPECTS OF THE SUBMITTALS AND DOES NOT CONSTITUTE A GUARANTEE OF THE ACCURACY OR COMPLETENESS OF THE INFORMATION PROVIDED. THE REVIEWER'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED AND DOES NOT EXTEND TO ANY OTHER MATTER.

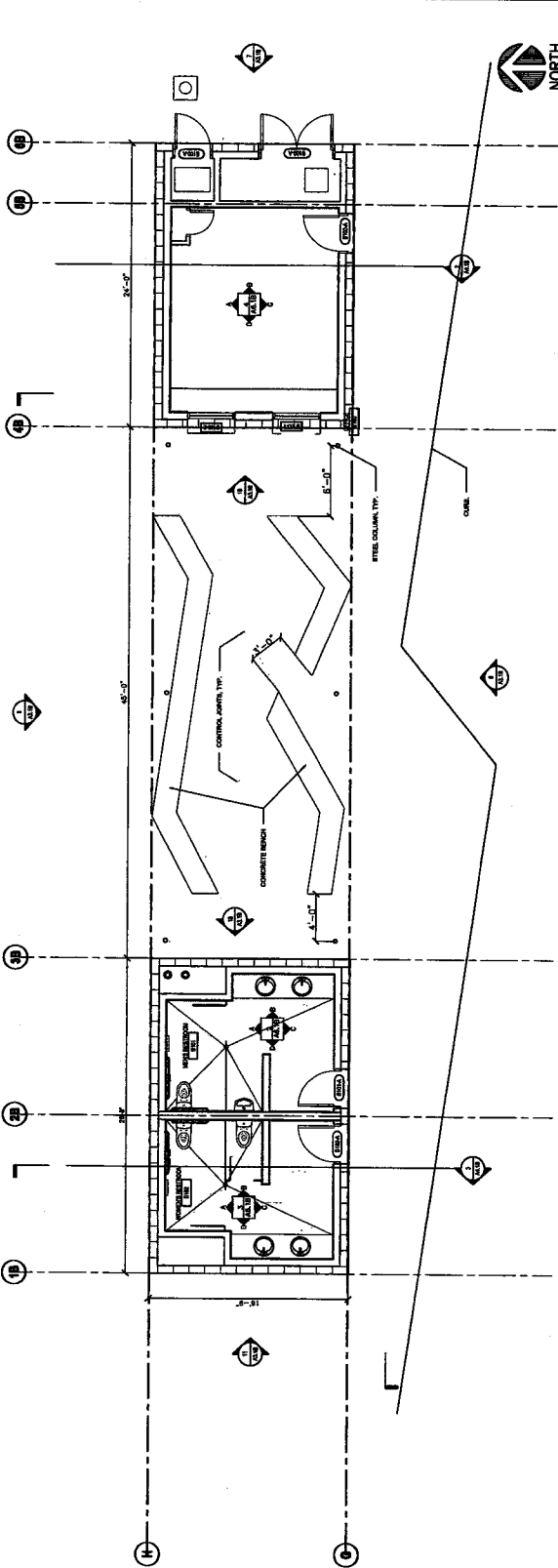
Sunline
Administration Building
32-505 Harry Oliver Trail,
Thousand Palms, CA 92276
PROJECT NUMBER:
890-445-026, 890-445-028, 890-445-029, 890-445-030, 890-445-031

**BUS SHELTER AND
ELECTRICAL YARD
FLOOR PLAN
EXHIBIT C**

Project Number: 27298
Date: APRIL 4, 2011
Created By: LJ
Checked By: LLATV

A2.1B

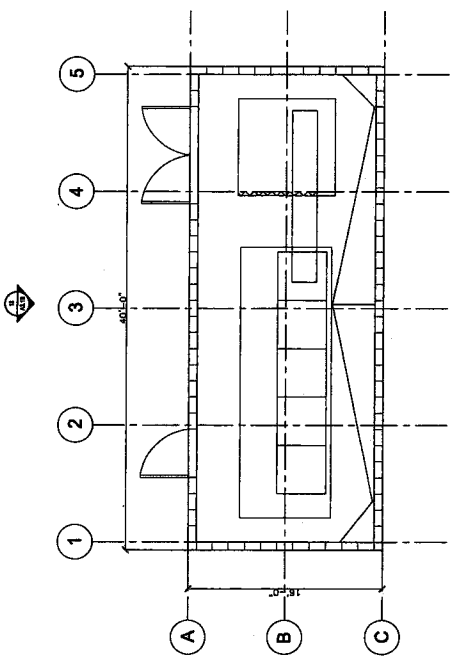
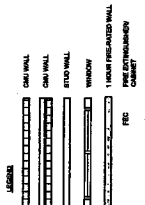
Scale



APPLICANT:
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LAND OWNER:
SUNLINE TRANSIT AGENCY
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MAP/EXHIBIT PREPARER:
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FLOOR PLAN NOTES

1
2
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A
B
C

PROJECT OF RECORD:
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DATE	LAND USE APPLICATION	REVISIONS
04/02/11	REVISED CIP EXHIBIT	

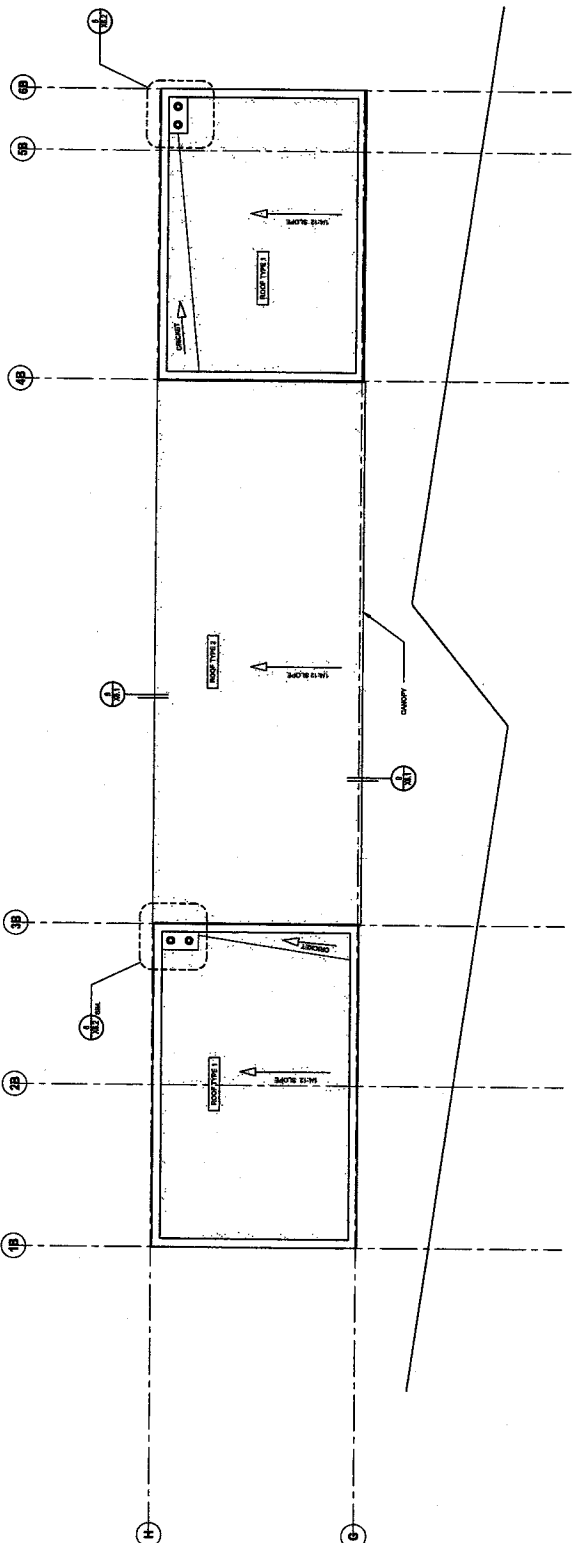
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Thousand Palms, CA 92276
663-640-028, 663-640-018, 663-640-019

BUS SHELTER ROOF PLAN
(EXHIBIT C)

Project Number: 27298
Date: APRIL 4, 2011
Drawn By: LJ
Checked By: LLATV

A2.3B

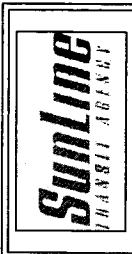


ROOF PLAN
1/4" = 1' - 0"

- ROOF PLAN NOTES**
1. ROOF TO BE CLASS A RATED.
 2. SEE MECHANICAL DRAWINGS FOR ALL MECHANICAL EQUIPMENT.
 3. SEE PLUMBING DRAWINGS FOR ALL PLUMBING EQUIPMENT.
 4. SEE STRUCTURAL DRAWINGS FOR ROOF CONDITIONS.
 5. PROVIDE ROOF FLASHING WITH AN NECESSARY TO WATER PROOF ROOF FLASHING AND ATTACHMENT.
 6. SEE ALL FOR TYPICAL ROOF DETAILS AT WALL.
 7. ROOF TO BE TYPICAL ROOF INFORMATION: 1/4" PER FOOT SLOPE.
- ROOF PLAN NOTES**
1. TYPE 1 - CLASS A RATED 1/4" SLOPE WITH 1/2" MINIMUM OVERHANG OVER METAL DECK. SEE OVERHANG DETAIL.
 2. TYPE 2 - METAL CANOPY ROOF OVER OVERHANG OVER METAL DECK.

- ROOF PLAN NOTES**
1. ROOF TO BE CLASS A RATED.
 2. SEE MECHANICAL DRAWINGS FOR ALL MECHANICAL EQUIPMENT.
 3. SEE PLUMBING DRAWINGS FOR ALL PLUMBING EQUIPMENT.
 4. SEE STRUCTURAL DRAWINGS FOR ROOF CONDITIONS.
 5. PROVIDE ROOF FLASHING WITH AN NECESSARY TO WATER PROOF ROOF FLASHING AND ATTACHMENT.
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 7. ROOF TO BE TYPICAL ROOF INFORMATION: 1/4" PER FOOT SLOPE.
- ROOF PLAN NOTES**
1. TYPE 1 - CLASS A RATED 1/4" SLOPE WITH 1/2" MINIMUM OVERHANG OVER METAL DECK. SEE OVERHANG DETAIL.
 2. TYPE 2 - METAL CANOPY ROOF OVER OVERHANG OVER METAL DECK.

ROOF PLAN NOTES



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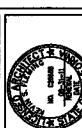
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11/16/2011	LAND USE APPLICATION
04/04/11	REVISED CLIP EDITIONS EXHIBIT

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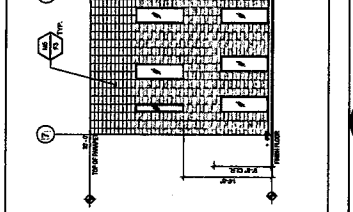
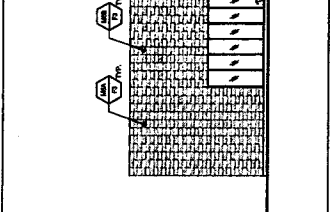
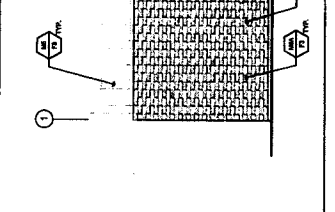
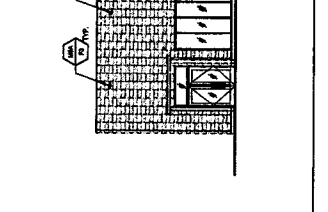
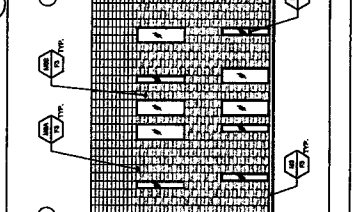
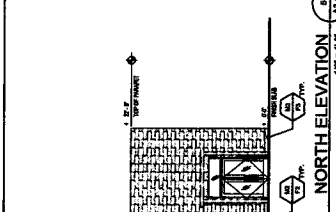
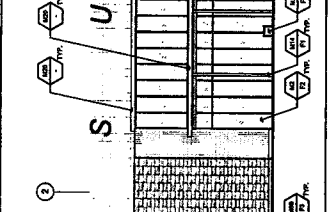
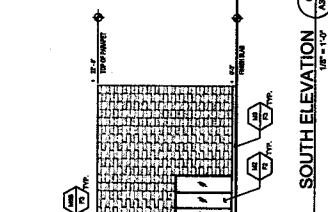
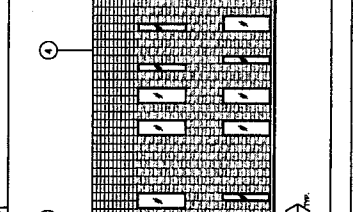
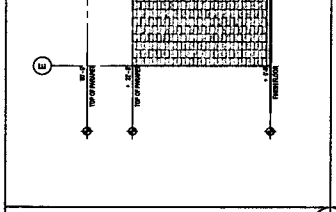
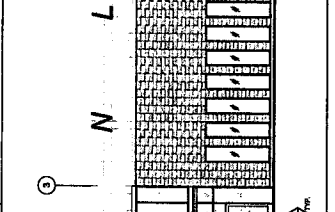
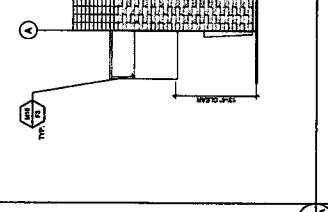
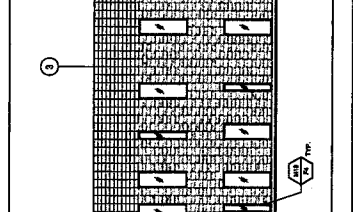
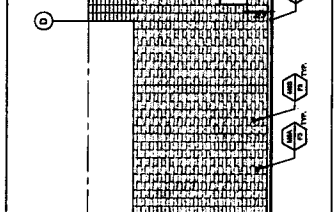
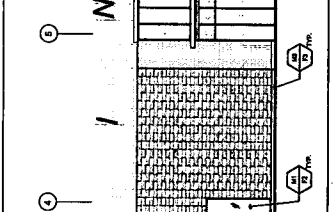
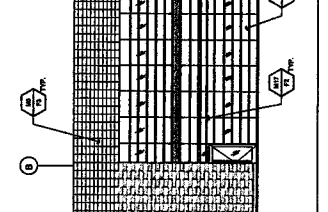
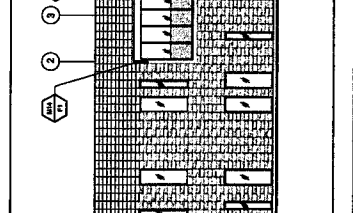
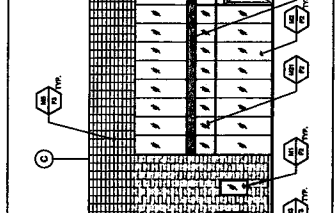
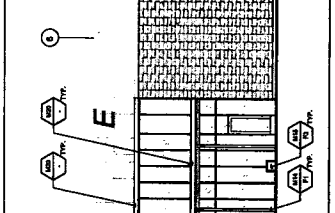
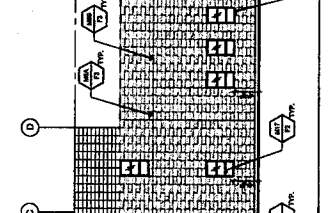
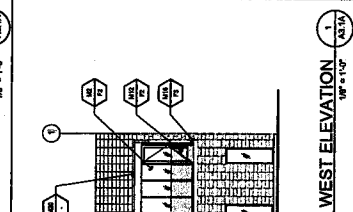
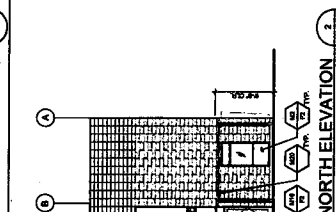
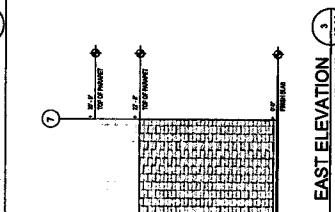
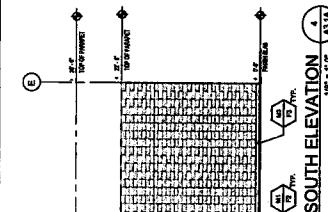
PROJECT NUMBER: 27288
DATE: APRIL 4, 2011
DRAWN BY: L.J.
CHECKED BY: LATVY

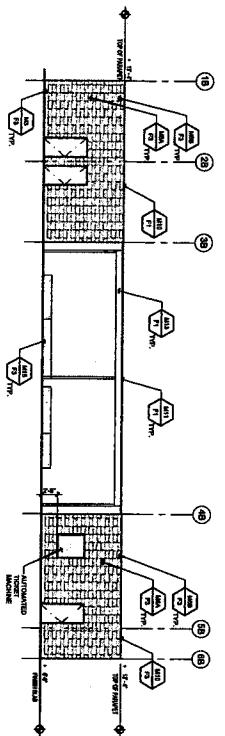
88-040-02, 88-040-03, 88-040-04, 88-040-05
EXTERIOR ELEVATIONS
EXHIBIT B

A3.1A

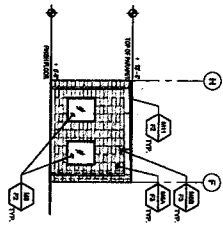
- MATERIALS**
- 101 ALUMINUM WINDOW, UNPAINTED WHITE FINISH
 - 102 ALUMINUM FRAMEWORK, BRUSHED-ANODIZED WHITE FINISH
 - 103 CONCRETE CURB
 - 104 PRECAST CONCRETE MANDATORY CAPS
 - 105 60# GRC FACE MOUNTED (1.5 X 7 ACROSS) PATTERNS CONCRETE
 - 106 60# GRC FACE MOUNTED (1.5 X 7 ACROSS) PATTERNS CONCRETE
 - 107 YELLOW METAL CORNER AND FRAMES
 - 108 GLASS PER SCHEDULE
 - 109 METAL PANELS
 - 110 FLASING
 - 111 METAL CAVITY
 - 112 SLAB PAINTING
 - 113 STEEL BEAMS
 - 114 STEEL COLUMN
 - 115 CONCRETE BENCH
 - 116 CONCRETE WALL
 - 117 METAL CLAMPER
 - 118 METAL FIN
 - 119 CAVITY
 - 120 BRICKWORK PANEL

- FINISHES**
- 121 CONCRETE
 - 122 PAINTED FINISH
 - 123 FACTORY FINISH
 - 124 MEDIUM SAND BLAST AND CLEAN SEALER
 - 125 UNPAINTED FINISH
- REMARKS:**
1. REFER TO ARCHITECT'S SPECIFICATIONS AND NOTES FOR MATERIALS AND FINISHES. CHECK ALL EXTERIOR WALL PENETRATIONS.
 2. REFER TO ARCHITECT'S SPECIFICATIONS AND NOTES FOR MATERIALS AND FINISHES. CHECK ALL EXTERIOR WALL PENETRATIONS.
 3. REFER TO ARCHITECT'S SPECIFICATIONS AND NOTES FOR MATERIALS AND FINISHES. CHECK ALL EXTERIOR WALL PENETRATIONS.

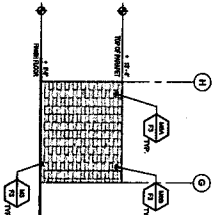




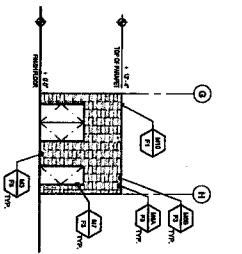
BUS SHELTER - SOUTH ELEVATION
1/8" = 1'-0"
A3.1B



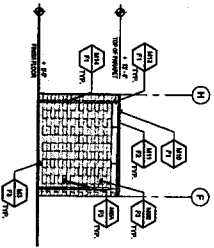
BUS SHELTER - OFFICE - WEST ELEVATION
1/8" = 1'-0"
A3.1B



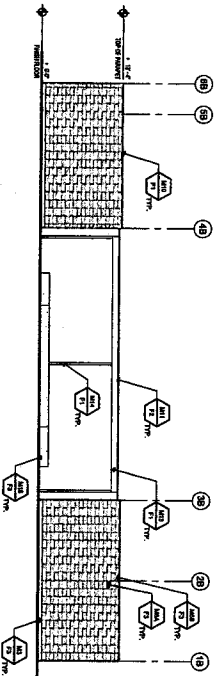
BUS SHELTER - RESTROOM - WEST ELEVATION
1/8" = 1'-0"
A3.1B



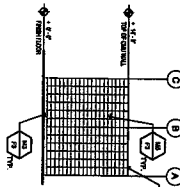
BUS SHELTER - OFFICE - EAST ELEVATION
1/8" = 1'-0"
A3.1B



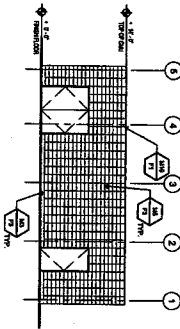
BUS SHELTER - RESTROOM - EAST ELEVATION
1/8" = 1'-0"
A3.1B



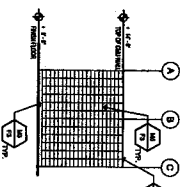
BUS SHELTER - NORTH ELEVATION
1/8" = 1'-0"
A3.1B



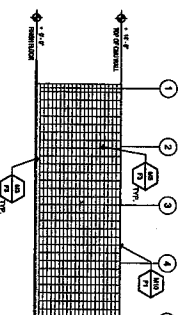
ELECTRICAL - EAST ELEVATION
1/8" = 1'-0"
A3.1B



ELECTRICAL - SOUTH ELEVATION
1/8" = 1'-0"
A3.1B



ELECTRICAL - WEST ELEVATION
1/8" = 1'-0"
A3.1B



ELECTRICAL - NORTH ELEVATION
1/8" = 1'-0"
A3.1B

- REVISIONS**
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- REVISIONS**
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ph: 949-433-5686 ext. 164

LAND OWNER:
SUNLINE TRANSIT AGENCY
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MAP/EXHIBIT PREPARER:
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ph: 760-343-5458

BUS SHELTER AND ELECTRICAL EXHIBIT B

Project Number: 27298
Date: APRIL 4, 2011
Drawn By: LLATVY
Checked By: LLATVY

A3.1B



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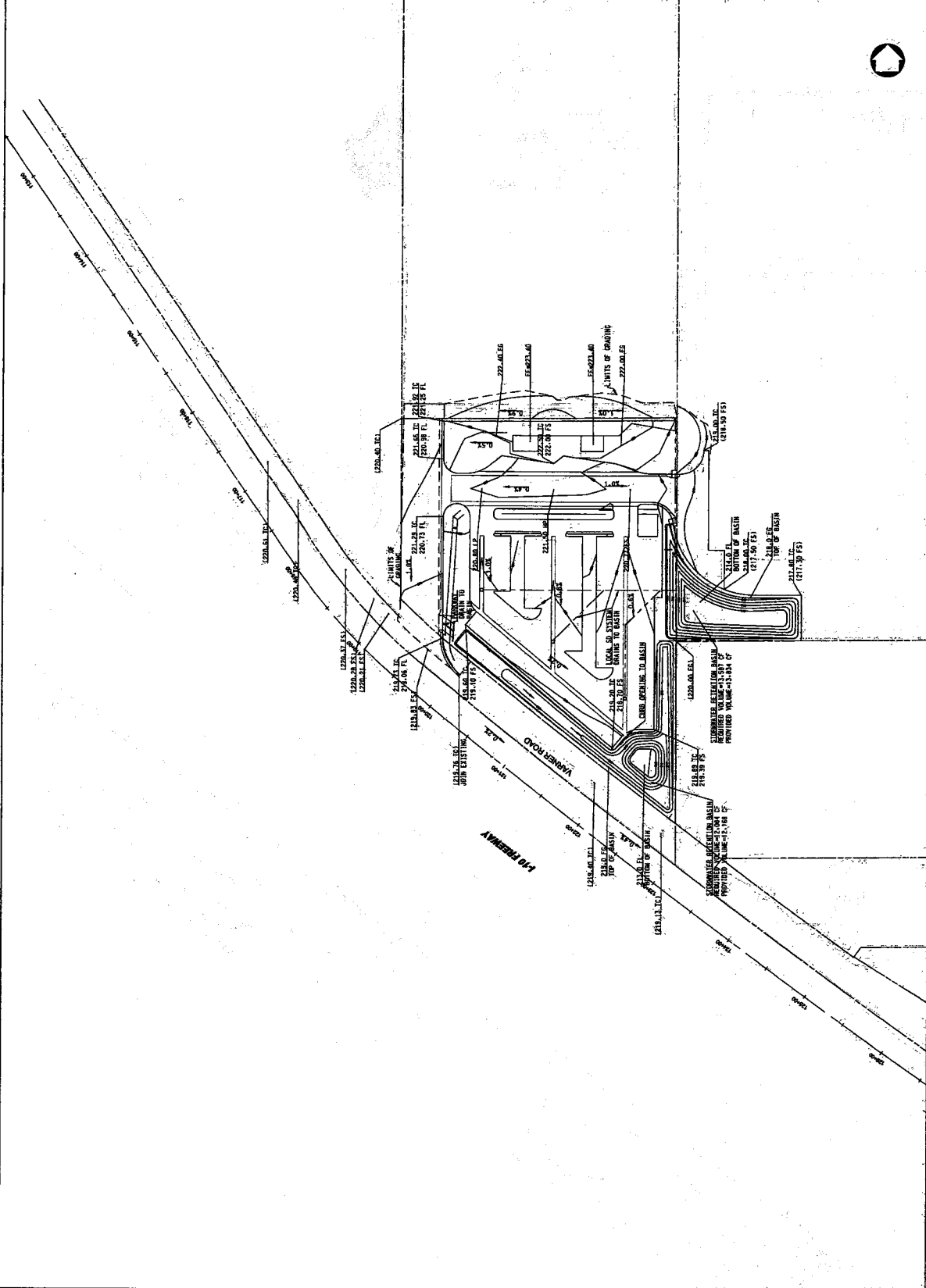


SIGNATURE	DATE
1/10/2010	LAND USE APPLICATION
04/04/2011	REVISED CUP DRAWING EXHIBITS

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Sunline
Administration Building
 32-505 Harry Oliver Trail,
 Thousand Oaks, CA 92276
 PARCEL NUMBER
 885-004-002, 885-004-016, 885-004-018
CONTOUR GRADING & DRAINAGE
PLAN

Project Number	APRIL 4, 2011
Drawn By	CC
Checked By	
Scale	CX:1
Sheet	1" = 40'



LEGEND AND ABBREVIATIONS

- EXISTING ELEVATION
- PROPOSED GRADE CENTER
- PROPOSED GRADE
- PROPOSED ELEVATION
- STORMWATER RETENTION BASIN
- UNITS OF DRAINAGE
- WATERWAYS

NOTES

1. GEOTECHNICAL INVESTIGATION, PROPOSED ADMINISTRATION BUILDING AND PAVEMENTS, WAS PREPARED BY LIDBTON CONSULTING, INC. DATED JUNE 7, 2010. DUE TO THE ABSENCE OF SHALLOW GROUNDWATER (40 FEET) AND CONSIDERED VERY LOW.
2. THE PROJECT IS LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA, ZONE AO AS INDICATED IN FEMA MAP PANELS 1985C-0282 AND 1985C-0283. THE SPECIAL FLOOD HAZARD AREA IS A SPECIAL FLOOD HAZARD AREA WITH A FLOOD DEPTH OF 1 (ONE) FOOT AND VELOCITIES RANGING BETWEEN 4 AND 8 FT/S.



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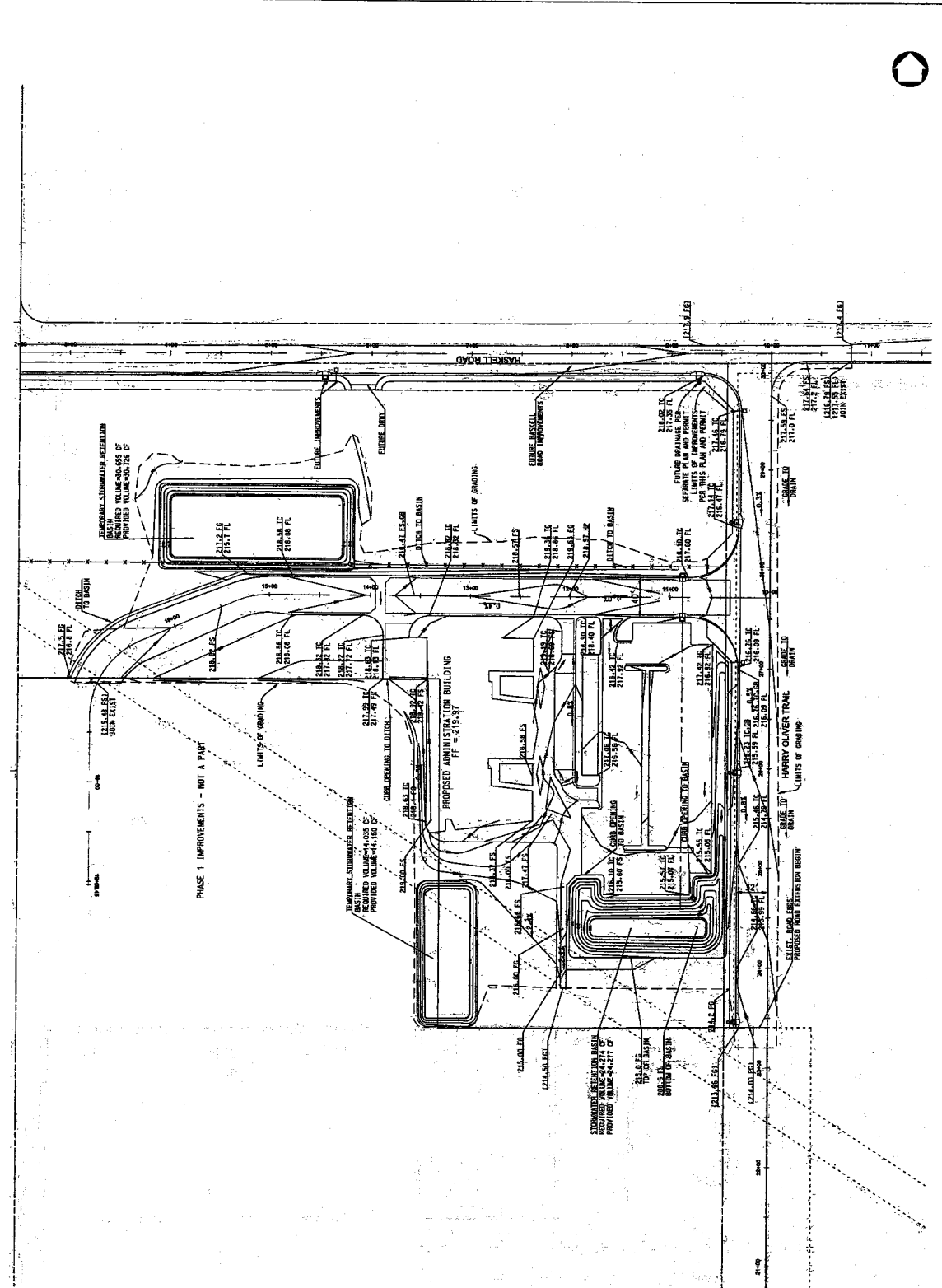


SIGNATURE	DATE	LAND USE APPLICATION

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Sunline
Administration Building
32-505 Harry Oliver Trail
Thousand Oaks, CA 92276
PROJECT NUMBER: 053-000-001, 053-000-018, 053-000-019
CONTOUR GRADING & DRAINAGE PLAN

Project Number	053-000-001, 053-000-018, 053-000-019
Date	APRIL 4, 2011
Drawn By	CC
Checked By	CC
Scale	1" = 40'



LEGEND AND ABBREVIATIONS

EXISTING ELEVATION	214.00
PROPOSED GRADING	214.00
PROPOSED GRADING CENTER	214.00
PROPOSED GRADE	214.00
PROPOSED ELEVATION	214.00

- NOTES:
1. GEOTECHNICAL EXPLORATION - PROPOSED ADMINISTRATION BUILDING SUNLINE ENGINEERING CONSULTING INC. DATED JUNE 7, 2010. RELATIVELY BENE ANNUAL SAND, LIQUEFACTION POTENTIAL AT THE SITE IS CONSIDERED VERY LOW.
 2. THE PROJECT IS LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA, ZONE AO AS SHOWN ON THE FLOOD HAZARD MAP. THE PROJECT AREA IS AN ALLUVIAL FAN FLOODING AREA WITH A BASE FLOOD DEPTH OF 1 (ONE) FOOT AND VELOCITIES RANGING BETWEEN 6 AND 8 FPS.

SunLine
ANALYST AGENCY

IBI
GROUP

ARCHITECTS ENGINEERS PLANNERS

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SIGNATURE	DATE	LAND USE APPLICATION
		REVISIONS

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Sunline
Administration Building
32-698 Harry Oliver Trail,
Thousand Palms, CA 92276

PANEL NUMBER:
693-040-028, 693-040-018, 693-040-019

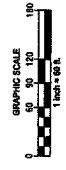
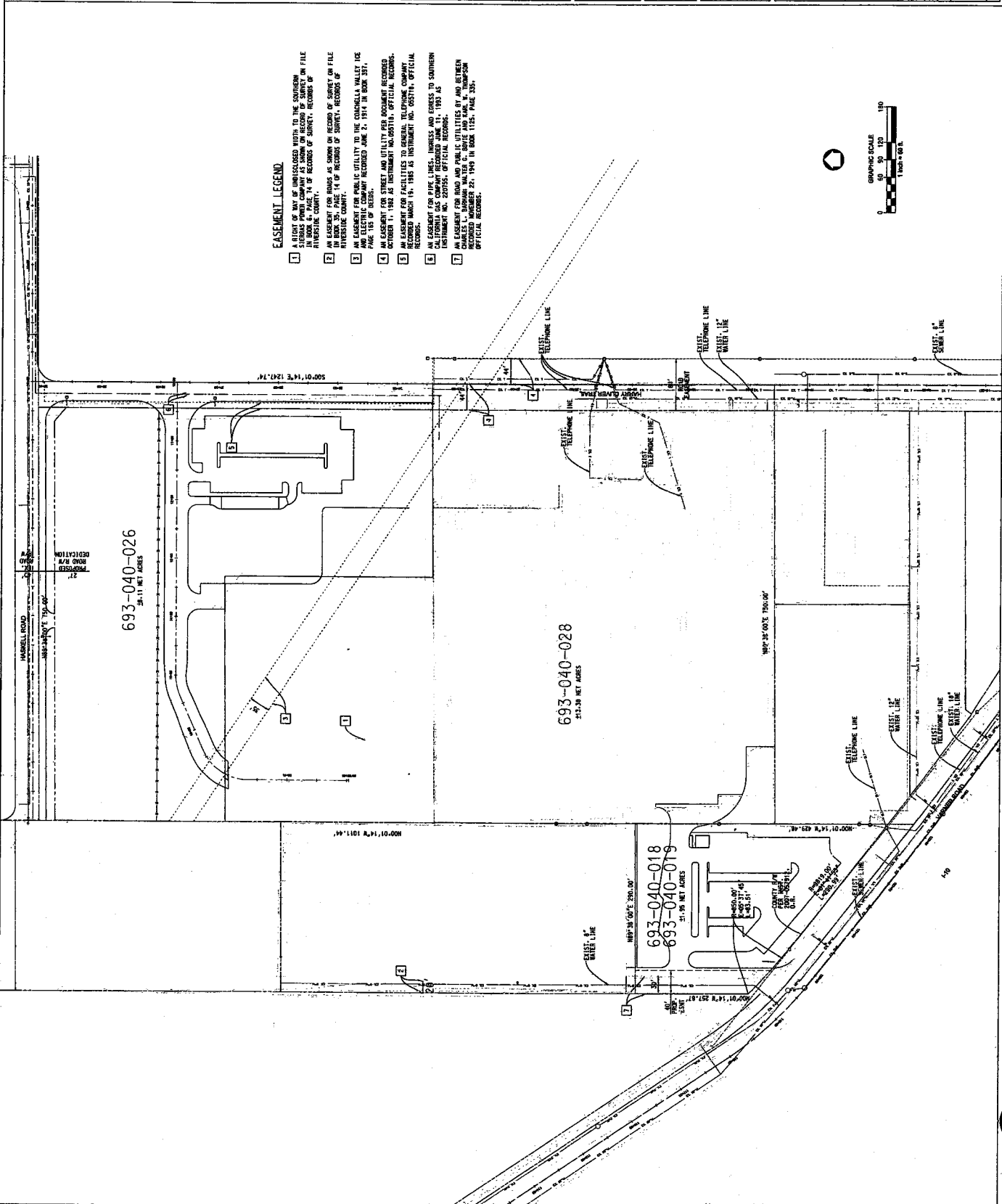
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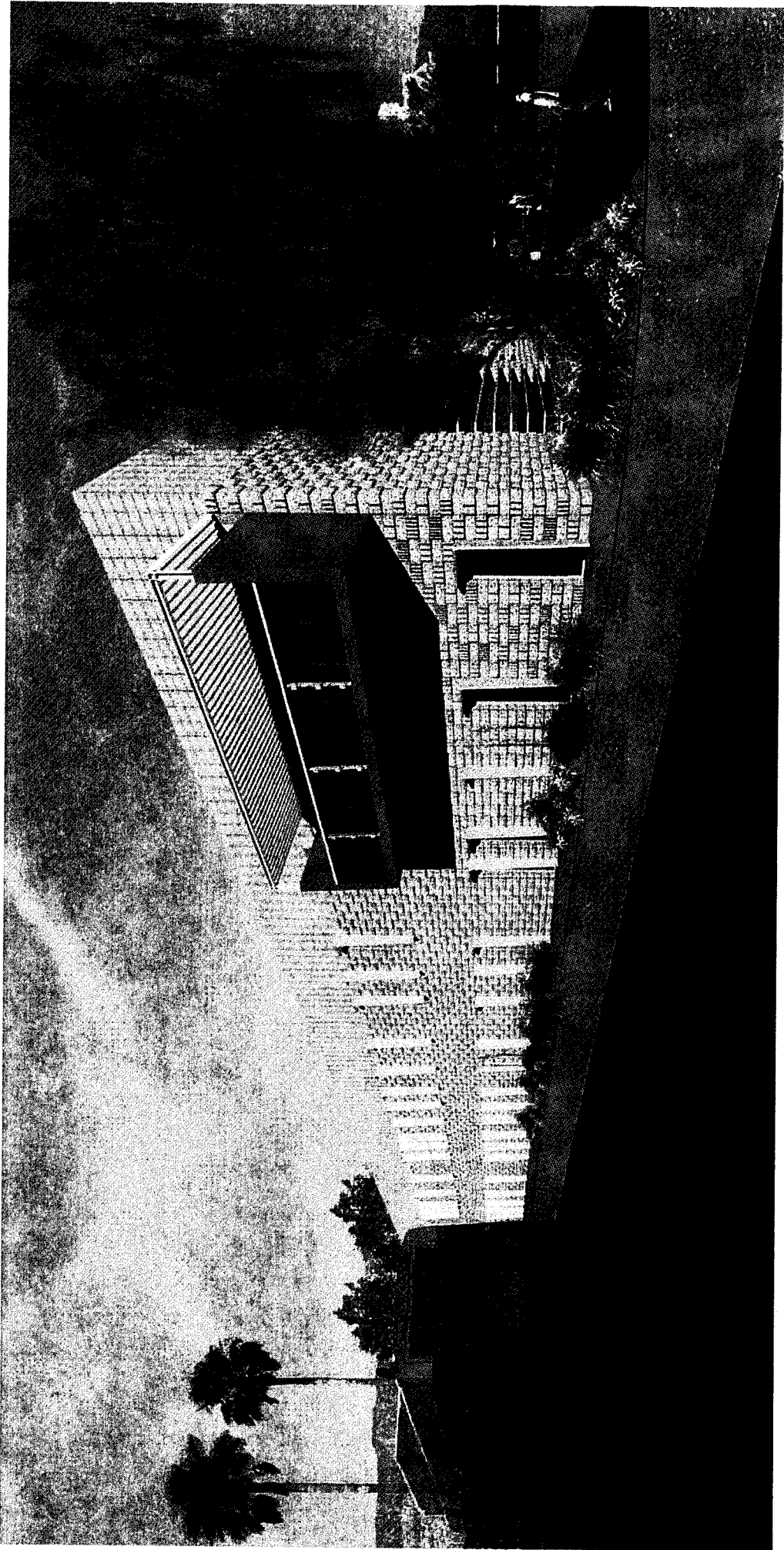
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Drawn By
Checked By

APRIL 4, 2011
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EASEMENT LEGEND

1. A RIGHT OF WAY OF UNRECORDED WIDTH TO THE SOUTHWEST CORNER OF THE SERRAS POWER COMPANY AS SHOWN ON RECORD OF SURVEY ON FILE IN INDUSTRIAL COUNTY.
2. AN EASEMENT FOR ROADS AS SHOWN ON RECORD OF SURVEY ON FILE IN BOOK 35, PAGE 14 OF RECORDS OF SURVEY, RECORDS OF INDUSTRIAL COUNTY.
3. AN EASEMENT FOR PUBLIC UTILITY TO THE DONNELLA VALLEY ICE PLANT AS SHOWN ON RECORD OF SURVEY ON FILE IN BOOK 35, PAGE 15 OF RECORDS.
4. AN EASEMENT FOR STREET AND UTILITY PER AGREEMENT RECORDED OCTOBER 1, 1982 AS INSTRUMENT NO. 052714, OFFICIAL RECORDS.
5. AN EASEMENT FOR FACILITIES TO GENERAL TELEPHONE COMPANY AS SHOWN ON RECORD OF SURVEY ON FILE IN BOOK 11, PAGE 11 OF RECORDS, RECORDS OF INDUSTRIAL COUNTY.
6. AN EASEMENT FOR PIPE LINES, INGRESS AND EGRESS TO SOUTHERN CALIFORNIA GAS COMPANY RECORDED JUNE 11, 1993 AS INSTRUMENT NO. 052714, OFFICIAL RECORDS.
7. AN EASEMENT FOR ROAD AND PUBLIC UTILITIES OF AND BETWEEN CHARLES L. JORDAN, WALTER G. DRYE AND MARK W. THOMPSON AS SHOWN ON RECORD OF SURVEY ON FILE IN BOOK 1125, PAGE 335, OFFICIAL RECORDS.





SOUTHWEST PERSPECTIVE



SOUTHEAST PERSPECTIVE



COUNTY OF RIVERSIDE

ENVIRONMENTAL ASSESSMENT FORM: INITIAL STUDY

Environmental Assessment (E.A.) Number: 42407
Project Case Type (s) and Number(s): Conditional Use Permit No. 3170, Revised Permit No. 1
Lead Agency Name: County of Riverside Planning Department
Address: P.O. Box 1409, Riverside, CA 92502-1409
Contact Person: Jay Olivas
Telephone Number: (951) 955-1195
Applicant's Name: Sunline Transit Agency
Applicant's Address: 32505 Harry Oliver Trail, Thousand Palms, CA 92276
Engineer's Name: IBI Group
Engineer's Address: 18401 Von Karman Avenue, Ste. 110, Irvine, CA 92612

I. PROJECT INFORMATION

A. Project Description: An existing public transit facility with compressed natural gas fueling station, hydrogen solar fuel generation plant and fueling station proposes to consolidate its multi-building campus into a new two-story administration building of approximately 25,000 square feet a building height of 30 feet, add a "Transit Hub" to include a 1,600 square foot bus waiting shelter up to 14 feet in height and add 42,000 square foot of parking for a "park and ride" lot, and add 650 sq. ft. electrical yard. Approximately 16,000 square feet of cut and fill is proposed for project grading.

B. Type of Project: Site Specific ; Countywide ; Community ; Policy .

C. Total Project Area: 23 Gross Acres

Residential Acres:	Lots:	Units:	Projected No. of Residents:
Commercial Acres:	Lots:	Sq. Ft. of Bldg. Area:	Est. No. of Employees:
Industrial Acres: 23	Lots: 4	Sq. Ft. of Bldg. Area: 81,600	Est. No. of Employees: Up to 352
Other: Not applicable			

D. Assessor's Parcel No(s): 693-040-018, 693-040-019, 693-040-026, 693-040-028

E. Street References: The site is located northerly of Interstate 10 and Varner Road, westerly of Harry Oliver Trail, southerly of Haskell Road in Thousand Palms.

F. Section, Township & Range Description or reference/attach a Legal Description:
Township 4 South, Range 6 East, Section 19

G. Brief description of the existing environmental setting of the project site and its surroundings: The project site contains an existing transit facility with associated buildings and vacant land. Surrounding land contains an existing self storage facility and building materials yard to the south, vacant land to the north, existing self storage and batch plants to the west, and vacant land to the east. The project is not within a conservation area of the Coachella Valley Multiple Species Habitat Conservation Plan (CVMSHCP).

II. APPLICABLE GENERAL PLAN AND ZONING REGULATIONS

A. General Plan Elements/Policies:

1. **Land Use:** The proposed project is consistent with the current land use designation of Light Industrial (CD: LI).
2. **Circulation:** The project has adequate circulation to the site and is therefore consistent with the Circulation Element of the General Plan. The proposed project meets all other applicable circulation policies of the General Plan.
3. **Multipurpose Open Space:** The proposed project meets with all other applicable Multipurpose Open Space element policies.
4. **Safety:** Commercial/industrial buildings as part of a mass transit facility are allowed within the 100 year flood plain subject to compliance with flood management review.
5. **Noise:** Sufficient mitigation against any foreseeable noise sources in the area have been provided for in the design of the project. The project will not generate noise levels in excess of standards established in the General Plan or noise ordinance. The project meets all other applicable Noise Element Policies.
6. **Housing:** The proposed project does not impact Housing Element Policies.
7. **Air Quality:** The proposed project has been conditioned to control any fugitive dust during grading and construction activities and shall adhere to SCQAMD standards. The proposed project meets all other applicable Air Quality element policies.

B. **General Plan Area Plan(s):** The Western Coachella Valley Area Plan

C. **Foundation Component(s):** Community Development (CD)

D. **Land Use Designation(s):** Light Industrial (LI)

E. **Overlay(s), if any:** Not Applicable

F. **Policy Area(s), if any:** Not Applicable

G. **Adjacent and Surrounding Area Plan(s), Foundation Component(s), Land Use Designation(s), and Overlay(s) and Policy Area(s), if any:** The project site is surrounded by properties which are designated Commercial Retail (CD: CR) to the north and east, and is surrounded by Light Industrial (CD: LI) to the south and west.

H. Adopted Specific Plan Information

1. **Name and Number of Specific Plan, if any:** Not Applicable

2. **Specific Plan Planning Area, and Policies, if any:** Not Applicable

I. **Existing Zoning:** Manufacturing - Service Commercial (M-SC) and Industrial Park (I-P)

J. **Proposed Zoning, if any:** Not Applicable

K. Adjacent and Surrounding Zoning: M-SC (Manufacturing-Service Commercial) and I-P (Industrial Park) to the south and west, C-P-S (Scenic Highway Commercial) to the north and east.

III. ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED

The environmental factors checked below (x) would be potentially affected by this project, involving at least one impact that is a "Potentially Significant Impact" or "Less than Significant with Mitigation Incorporated" as indicated by the checklist on the following pages.

- | | | |
|---|---|--|
| <input type="checkbox"/> Aesthetics | <input type="checkbox"/> Hazards & Hazardous Materials | <input type="checkbox"/> Recreation |
| <input type="checkbox"/> Agriculture & Forest Resources | <input checked="" type="checkbox"/> Hydrology / Water Quality | <input checked="" type="checkbox"/> Transportation / Traffic |
| <input type="checkbox"/> Air Quality | <input type="checkbox"/> Land Use / Planning | <input type="checkbox"/> Utilities / Service Systems |
| <input type="checkbox"/> Biological Resources | <input type="checkbox"/> Mineral Resources | <input type="checkbox"/> Other: |
| <input type="checkbox"/> Cultural Resources | <input type="checkbox"/> Noise | <input type="checkbox"/> Other: |
| <input type="checkbox"/> Geology / Soils | <input type="checkbox"/> Population / Housing | <input type="checkbox"/> Mandatory Findings of Significance |
| <input type="checkbox"/> Greenhouse Gas Emissions | <input type="checkbox"/> Public Services | |

IV. DETERMINATION

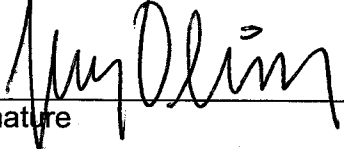
On the basis of this initial evaluation:

A PREVIOUS ENVIRONMENTAL IMPACT REPORT/NEGATIVE DECLARATION WAS NOT PREPARED
<input type="checkbox"/> I find that the proposed project COULD NOT have a significant effect on the environment, and a NEGATIVE DECLARATION will be prepared.
<input checked="" type="checkbox"/> I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because revisions in the project, described in this document, have been made or agreed to by the project proponent. A MITIGATED NEGATIVE DECLARATION will be prepared.
<input type="checkbox"/> I find that the proposed project MAY have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT is required.

A PREVIOUS ENVIRONMENTAL IMPACT REPORT/NEGATIVE DECLARATION WAS PREPARED
<input type="checkbox"/> I find that although the proposed project could have a significant effect on the environment, NO NEW ENVIRONMENTAL DOCUMENTATION IS REQUIRED because (a) all potentially significant effects of the proposed project have been adequately analyzed in an earlier EIR or Negative Declaration pursuant to applicable legal standards, (b) all potentially significant effects of the proposed project have been avoided or mitigated pursuant to that earlier EIR or Negative Declaration, (c) the proposed project will not result in any new significant environmental effects not identified in the earlier EIR or Negative Declaration, (d) the proposed project will not substantially increase the severity of the environmental effects identified in the earlier EIR or Negative Declaration, (e) no considerably different mitigation measures have been identified and (f) no mitigation measures found infeasible have become feasible.
<input type="checkbox"/> I find that although all potentially significant effects have been adequately analyzed in an earlier EIR or Negative Declaration pursuant to applicable legal standards, some changes or additions are necessary but none of the conditions described in California Code of Regulations, Section 15162 exist. An ADDENDUM to a previously-certified EIR or Negative Declaration has been prepared and will be considered by the approving body or bodies.

I find that at least one of the conditions described in California Code of Regulations, Section 15162 exist, but I further find that only minor additions or changes are necessary to make the previous EIR adequately apply to the project in the changed situation; therefore a **SUPPLEMENT TO THE ENVIRONMENTAL IMPACT REPORT** is required that need only contain the information necessary to make the previous EIR adequate for the project as revised.

I find that at least one of the following conditions described in California Code of Regulations, Section 15162, exist and a **SUBSEQUENT ENVIRONMENTAL IMPACT REPORT** is required: (1) Substantial changes are proposed in the project which will require major revisions of the previous EIR or negative declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; (2) Substantial changes have occurred with respect to the circumstances under which the project is undertaken which will require major revisions of the previous EIR or negative declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; or (3) New information of substantial importance, which was not known and could not have been known with the exercise of reasonable diligence at the time the previous EIR was certified as complete or the negative declaration was adopted, shows any the following:(A) The project will have one or more significant effects not discussed in the previous EIR or negative declaration;(B) Significant effects previously examined will be substantially more severe than shown in the previous EIR or negative declaration;(C) Mitigation measures or alternatives previously found not to be feasible would in fact be feasible, and would substantially reduce one or more significant effects of the project, but the project proponents decline to adopt the mitigation measures or alternatives; or,(D) Mitigation measures or alternatives which are considerably different from those analyzed in the previous EIR or negative declaration would substantially reduce one or more significant effects of the project on the environment, but the project proponents decline to adopt the mitigation measures or alternatives.



Signature

June 9, 2011

Date

Jay Olivas
Printed Name

For Carolyn Syms Luna, Planning Director

V. ENVIRONMENTAL ISSUES ASSESSMENT

In accordance with the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000-21178.1), this Initial Study has been prepared to analyze the proposed project to determine any potential significant impacts upon the environment that would result from construction and implementation of the project. In accordance with California Code of Regulations, Section 15063, this Initial Study is a preliminary analysis prepared by the Lead Agency, the County of Riverside, in consultation with other jurisdictional agencies, to determine whether a Negative Declaration, Mitigated Negative Declaration, or an Environmental Impact Report is required for the proposed project. The purpose of this Initial Study is to inform the decision-makers, affected agencies, and the public of potential environmental impacts associated with the implementation of the proposed project.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
AESTHETICS Would the project				
1. Scenic Resources				
a) Have a substantial effect upon a scenic highway corridor within which it is located?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings and unique or landmark features; obstruct any prominent scenic vista or view open to the public; or result in the creation of an aesthetically offensive site open to public view?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan Figure C-9 "Scenic Highways"

Findings of Fact:

- a) Interstate 10 is a State Eligible scenic highway. The existing transit facility operation has been in the area since 1985 and is visible from Interstate 10. The existing transit facility shall be maintained in a consistent color scheme of earth tone colors and is required to provide building setbacks and landscaping which will reduce visual impacts along Interstate 10 (Condition of Approval (COA) 10.PLANNING.24).
- b) The proposed project will not substantially damage scenic resources, including, but not limited to, trees, rock outcroppings and unique or landmark features; obstruct any prominent scenic vista or view open to the public; or result in the creation of an aesthetically offensive site open to public view.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

2. Mt. Palomar Observatory				
a) Interfere with the nighttime use of the Mt. Palomar Observatory, as protected through Riverside County Ordinance No. 655?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

Source: GIS database, Ord. No. 655 (Regulating Light Pollution)

Findings of Fact:

a) According to GIS database, the project site is located 41.36 miles away from Mt. Palomar Observatory. The project shall comply with low pressure sodium requirements for lighting (COA 10.PLANING.22)

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

3. Other Lighting Issues

a) Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?

b) Expose residential property to unacceptable light levels?

Source: Site Visit, Project Description

Findings of Fact:

a) The operation of the proposed project is required to maintain lighting that is hooded and directed no further than property boundaries as indicated by (COA 10.PLANNING.5).

b) The proposed project will not expose residential property to unacceptable light levels.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

AGRICULTURE & FOREST RESOURCES Would the project

4. Agriculture

a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland) as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?

b) Conflict with existing agricultural zoning, agricultural use or with land subject to a Williamson Act contract or land within a Riverside County Agricultural Preserve?

c) Cause development of non-agricultural uses within 300 feet of agriculturally zoned property (Ordinance No. 625 "Right-to-Farm")?

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
d) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: GIS database, and Project Application Materials.

Findings of Fact:

a) The project is not located within the boundaries of designated farmland – as designated by the most recent version of the Important Farmland Map (as prepared by the California Department of Conservation, Farmland Mapping and Monitoring Program). Therefore the proposed project will not impact land designated as Prime, Unique, or Farmland of Statewide Importance to a non-agricultural use.

b) According to GIS database, the project is not located within an Agriculture Preserve or under a Williamson Act contract; therefore, no impact will occur as a result of the proposed project.

c) The project site is not surrounded by agriculturally zoned land. Therefore, the project will not cause development of a non-agricultural use within 300 feet of agriculturally zoned property.

d) The project will not involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

5. Forest	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a) Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code section 12220(g)), timberland (as defined by Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Govt. Code section 51104(g))?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Result in the loss of forest land or conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure OS-3 “Parks, Forests and Recreation Areas,” and Project Application Materials.

Findings of Fact:

a) The project is not located within the boundaries of a forest land (as defined in Public Resources Code section 12220(g)), timberland (as defined by Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Govt. Code section 51104(g)). Therefore, the proposed project will not impact land designated as forest land, timberland, or timberland zoned Timberland Production.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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b) According to General Plan, the project is not located within forest land and will not result in the loss of forest land or conversion of forest land to non-forest use; therefore, no impact will occur as a result of the proposed project.

c) The project will not involve other changes in the existing environment which, due to their location or nature, could result in conversion of forest land to non-forest use.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

AIR QUALITY Would the project

6. Air Quality Impacts

a) Conflict with or obstruct implementation of the applicable air quality plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Violate any air quality standard or contribute substantially to an existing or projected air quality violation?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Expose sensitive receptors which are located within 1 mile of the project site to project substantial point source emissions?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Involve the construction of a sensitive receptor located within one mile of an existing substantial point source emitter?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Create objectionable odors affecting a substantial number of people?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: SCAQMD CEQA Air Quality Handbook Table 6-2

Findings of Fact:

- a) The proposed project will not conflict with or obstruct implementation of the applicable air quality plan and will include a PM10 dust control plan.
- b) The proposed project will not violate any air quality standard or contribute substantially to an existing or projected air quality violation and will include a PM10 dust control plan.
- c) The proposed project will not result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors; however, measurements have shown that dust lofting of silts and clay occurs at wind speeds

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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of approximately 15 miles per hour and that that sand grains begin to creep and bounce at approximately 25 miles per hour.

- d) The project will not expose sensitive receptors which are located within 1 mile of the project site to project substantial point source emissions.
- e) The project will not involve the construction of a sensitive receptor located within one mile of an existing substantial point source emitter.
- f) The project will not create objectionable odors affecting a substantial number of people.

Mitigation: The project is conditioned to comply with PM10 dust control requirements (COA 60.PLANNING.7).

Monitoring: Monitoring will be conducted by the Department of Building and Safety.

BIOLOGICAL RESOURCES Would the project

7. Wildlife & Vegetation

a) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Conservation Community Plan, or other approved local, regional, or state conservation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Have a substantial adverse effect, either directly or through habitat modifications, on any endangered, or threatened species, as listed in Title 14 of the California Code of Regulations (Sections 670.2 or 670.5) or in Title 50, Code of Federal Regulations (Sections 17.11 or 17.12)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U. S. Wildlife Service?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations or by the California Department of Fish and Game or U. S. Fish and Wildlife Service?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g) Conflict with any local policies or ordinances	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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protecting biological resources, such as a tree preservation policy or ordinance?

Source: GIS database, WRC-MSHCP and/or CV-MSHCP, Environmental Programs Department (EPD) review

Findings of Fact: The site is not within a Conservation Area of the Coachella Valley Multiple Species Habitat Conservation Plan (CVMSHCP). In addition, no listed threatened or endangered plants or animals were found on the site. Based upon habitat and geographic ranges, no listed species or special status species meeting CEQA guidelines for a mandatory finding of significance is likely to occur; therefore, the project will not:

- a) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Conservation Community Plan, or other approved local, regional, or state conservation plan.
- b) Have a substantial adverse effect, either directly or through habitat modifications, on any endangered, or threatened species, as listed in Title 14 of the California Code of Regulations (Sections 670.2 or 670.5) or in Title 50, Code of Federal Regulations (Sections 17.11 or 17.12)
- c) Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U. S. Wildlife Service
- d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident migratory wildlife corridors, or impede the use of native wildlife nursery sites.
- e) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations or by the California Department of Fish and Game or U. S. Fish and Wildlife Service.
- f) Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means.
- g) Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance.

Mitigation: Prior to issuance of a grading permit, a nesting bird clearance survey shall be completed by a qualified biologist (COA 60.EPD.1).

Monitoring: Monitoring will be conducted by the Environmental Programs Division staff.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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CULTURAL RESOURCES Would the project

8. Historic Resources

a) Alter or destroy an historic site?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Cause a substantial adverse change in the significance of a historical resource as defined in California Code of Regulations, Section 15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Project Application Materials; Archaeological Report PD-A-4689 by Michael Brandman Associates dated February 13, 2009.

Findings of Fact: There was no evidence of historic resources within the project area. However, a number of historic resources have been documented in the vicinity of this project. Therefore, archaeological monitoring shall be required to mitigate for any subsurface historic deposits that are exposed during grading. It has been determined that archaeological monitoring of construction mass/rough grading is required once a depth below the current ground surface of two feet is reached by construction related earth moving (COA 60.PLANNING.1).

Mitigation: Archaeological mitigation is required as described above.

Monitoring: Monitoring measures are required to mitigate for any subsurface cultural deposits uncovered.

9. Archaeological Resources

a) Alter or destroy an archaeological site.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Cause a substantial adverse change in the significance of an archaeological resource pursuant to California Code of Regulations, Section 15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Disturb any human remains, including those interred outside of formal cemeteries?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Restrict existing religious or sacred uses within the potential impact area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Project Application Materials; Archaeological Report PD-A-4689 by Michael Brandman Associates dated February 13, 2009.

Findings of Fact: There was no surface evidence of historic or prehistoric archaeological resources within the project area. It has been determined that archaeological monitoring of construction mass/rough grading is required once a depth below the current ground surface of two feet is reached by construction related earth moving (COA 60.PLANNING.1). Documented prehistoric and historic cultural sites within the project vicinity indicate potential for cultural resources to be present including the potential for human remains. Therefore, archaeological monitoring shall be required to mitigate for any subsurface cultural deposits exposed during grading.

Mitigation: Archaeological mitigation is required as described above.

Monitoring: Monitoring measures are required to mitigate for any subsurface cultural deposits that are uncovered.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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10. Paleontological Resources

a) Directly or indirectly destroy a unique paleontological resource, or site, or unique geologic feature?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Source: GIS database, County Geologist review

Findings of Fact:

a) According to GIS database, this site has been mapped as having a low potential for paleontological resources. This category encompasses lands for which previous field surveys and documentation demonstrates a low potential for containing significant paleontological resources subject to adverse impacts. As such, this project is not anticipated to require any direct mitigation for paleontological resources. This is a standard condition and not considered mitigation for CEQA purposes. Therefore, the impact is considered less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required

GEOLOGY AND SOILS Would the project

11. Alquist-Priolo Earthquake Fault Zone or County Fault Hazard Zones

a) Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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b) Be subject to rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Source: Geologist Comments, County Geologic Report (GEO) No. 2252

Findings of Fact: County Geologic Report (GEO) No. 2252 concluded:

There are no known active or potentially active faults that traverse the site. The potential for ground rupture to occur within the subject site is considered very low. The site is likely to be subjected to moderate ground shaking during the expected life span of the project. The nearest active fault is the local segment of the San Andreas Fault Zone, referred to as the San Bernardino strand. Therefore the proposed project will not:

- a) Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death.
- b) Be subject to rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

12. Liquefaction Potential Zone

a) Be subject to seismic-related ground failure, including liquefaction?

Source: Riverside County General Plan Figure S-3 "Generalized Liquefaction", County Geologic Report (GEO) No. 2252

Findings of Fact:

a) Liquefaction potential resulting from the effects of strong ground shaking is considered to be very low.

Mitigation: No mitigation measures required.

Monitoring: No monitoring measures are required.

13. Ground-shaking Zone

Be subject to strong seismic ground shaking?

Source: Riverside County General Plan Figure S-4 "Earthquake-Induced Slope Instability Map," and Figures S-13 through S-21 (showing General Ground Shaking Risk), County Geologist review (GEO02252)

Findings of Fact:

There are no known active or potentially active faults that traverse the site and the site is not located within an Alquist-Priolo Earthquake Fault Zone. The principal seismic hazard that could affect the site is ground shaking resulting from an earthquake occurring along several major active or potentially active faults in southern California. California Building Code (CBC) requirements pertaining to new development will mitigate the potential impact to less than significant. As CBC requirements are applicable to all new development, they are not considered mitigation for CEQA implementation purposes.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation measures are required.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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14. Landslide Risk

a) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, collapse, or rockfall hazards?

Source: Riverside County General Plan Figure S-5 "Regions Underlain by Steep Slope", Geologist review (GEO02252)

Findings of Fact:

a) According to the County Geologist, landslides are not a potential hazard to the site. The project will have no impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

15. Ground Subsidence

a) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in ground subsidence?

Source: GIS database, County Geologist review

Findings of Fact:

a) According to GIS database and County Geologist review, the potential for ground subsidence and ground fissuring is low to moderate. Subsidence in the area will not cause any differential settlement or cracking of the foundation and will therefore have a minimal impact on the existing and proposed development.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

16. Other Geologic Hazards

a) Be subject to geologic hazards, such as seiche, mudflow, or volcanic hazard?

Source: Project Application Materials, County Geologist review

a) According to the County Geologist, tsunamis and seiching are not potential hazards to the site. The project will have no impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
17. Slopes				
a) Change topography or ground surface relief features?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Create cut or fill slopes greater than 2:1 or higher than 10 feet?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Result in grading that affects or negates subsurface sewage disposal systems?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riv. Co. 800 Scale Slope Maps, County Geologic Report (GEO) No. 2252

Findings of Fact: County Geologic Report (GEO) No. 2252 was prepared for the project. The proposed project will not:

- a) Change topography or ground surface relief features.
- b) Create cut or fill slopes greater than 2:1 or higher than 10 feet.
- c) Result in grading that affects or negates subsurface sewage disposal systems.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

18. Soils				
a) Result in substantial soil erosion or the loss of topsoil?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Be located on expansive soil, as defined in Section 1802.3.2 of the California Building Code (2007), creating substantial risks to life or property?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Have soils incapable of adequately supporting use of septic tanks or alternative waste water disposal systems where sewers are not available for the disposal of waste water?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: General Plan figure S-6 "Engineering Geologic Materials Map", Project Application Materials, Building and Safety Grading review

Findings of Fact:

- a) The project site is located partially on a partially developed site and will not result in substantial soil erosion or the loss of topsoil.
- b) The project site will not be located on expansive soil, as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial risks to life or property

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
19. Erosion				
a) Change deposition, siltation, or erosion that may modify the channel of a river or stream or the bed of a lake?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Result in any increase in water erosion either on or off site?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Flood Control District review, Project Application Materials

Findings of Fact:

- a) This project will not change deposition, siltation, or erosion that may modify the channel of a river or stream or the bed of a lake.
- b) The proposed project will result in an increase in water erosion either on or off site which is addressed by approved conceptual Water Quality Management Plan.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

20. Wind Erosion and Blowsand from project either on or off site.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a) Be impacted by or result in an increase in wind erosion and blowsand, either on or off site?				

Source: Riverside County General Plan Figure S-8 "Wind Erosion Susceptibility Map," Ord. 460, Sec. 14.2 & Ord. 484

Findings of Fact:

- a) Measurements have shown that dust lofting of fine sands occurs at wind speeds of approximately 15 miles per hour and that sand grains begin to creep and bounce at approximately 25 miles per hour. This project will not be impacted by or result in a substantial increase in wind erosion and blowsand, either on- or off-site.

Mitigation: The project is conditioned to comply with all PM10 dust control requirements (COA 10.PLANNING 16).

Monitoring: Monitoring will be conducted by the Department of Building and Safety.

GREENHOUSE GAS EMISSIONS Would the project

21. Greenhouse Gas Emissions				
a) Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Source: Project application materials

Findings of Fact:

a) The project will comply with South Coast Air Quality Management District guidelines. Due to the nature of the project as a public transit facility, the site contains solar and natural gas facilities reducing greenhouse gas emissions. Therefore, the project will not generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment.

b) The project will not conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases. The project will have less than significant impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

HAZARDS AND HAZARDOUS MATERIALS Would the project

22. Hazards and Hazardous Materials

a) Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Impair implementation of or physically interfere with an adopted emergency response plan or an emergency evacuation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Project Application Materials

Findings of Fact: The project will not:

- a) Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials, and due to required HAZMAT Business Plan (COA 90.E HEALTH.1)
- b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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- c) Impair implementation of or physically interfere with an adopted emergency response plan or an emergency evacuation plan.
- d) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school.
- e) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

23. Airports

a) Result in an inconsistency with an Airport Master Plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Require review by the Airport Land Use Commission?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) For a project within the vicinity of a private airstrip, or heliport, would the project result in a safety hazard for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure S-19 "Airport Locations," GIS database

- a) The project site is not located within an Airport Influence Area, the project will not result in an inconsistency with the Airport Master Plan.
- b) The project site is located within the vicinity of a private airport; but will not require review by the Airport Land Use Commission.
- c) The project is located within an airport land use plan but would not result in a safety hazard for people residing or working in the project area.
- d) The project is not within the vicinity of a private airstrip, or heliport and would not result in a safety hazard for people residing or working in the project area.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

24. Hazardous Fire Area

a) Expose people or structures to a significant risk of	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands?

Source: Riverside County General Plan Figure S-11 "Wildfire Susceptibility," GIS database

Findings of Fact:

a) The project site is not located in a high fire area. The project will have no impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

HYDROLOGY AND WATER QUALITY Would the project

25. Water Quality Impacts

a) Substantially alter the existing drainage pattern of the site or area, including the alteration of the course of a stream or river, in a manner that would result in substantial erosion or siltation on- or off-site?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Violate any water quality standards or waste discharge requirements?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Create or contribute runoff water that would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Place housing within a 100-year flood hazard area, as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Place within a 100-year flood hazard area structures which would impede or redirect flood flows?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
g) Otherwise substantially degrade water quality?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
h) Include new or retrofitted stormwater Treatment Control Best Management Practices (BMPs) (e.g. water quality treatment basins, constructed treatment wetlands), the operation of which could result in significant environmental effects (e.g. increased vectors or odors)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Coachella Valley Water District and Riverside County Flood Control District Water Quality Management Plan (WQMP) Report/Conditions.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Findings of Fact:

- a) The site is within the Whitewater River Basin Thousand Palms Flood Control Project. The area shown is shown to be subject to shallow flooding and is designated Zone AO, depth 1 foot on Federal Flood Insurance rate maps.
- b) The proposed project will not violate any water quality standards or waste discharge requirements based on implementation of a Water Quality Management Plan (WQMP).
- c) The proposed project will not substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted).
- d) The proposed project will not create or contribute runoff water that would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff in accordance with project WQMP Plan
- e) The proposed project does not include housing; therefore, will not place housing within a 100-year flood hazard area, as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map.
- f) The proposed project will be located on a site within the 100-year Zone A floodplain limits for the Whitewater River Basin; however, the project will not place within a 100-year flood hazard area structures which would impede or redirect flood flows.
- g) The proposed project will not substantially degrade water quality.
- h) The proposed project will not include new or retrofitted Stormwater Treatment Control Best Management Practices (BMPs) (e.g. water quality treatment basins, constructed treatment wetlands), the operation of which could result in significant environmental effects (e.g. increased vectors and odors).

Mitigation: Submit final Water Quality Management Plan (COA 10.FLOOD RI.4). Prior to issuance of grading or new building permits, the developer shall comply with Riverside County Ordinance No. 458 as amended in preparation of on-site flood protection facilities for this project (COA 60.PLANNING.6).

Monitoring: Monitoring shall be through the Riverside County Flood Control District (WQMP), Riverside County Building and Safety Department, and Coachella Valley Water District (regional flood agency).

26. Floodplains

Degree of Suitability in 100-Year Floodplains. As indicated below, the appropriate Degree of Suitability has been checked.

NA - Not Applicable <input type="checkbox"/>	U - Generally Unsuitable <input type="checkbox"/>	R - Restricted <input checked="" type="checkbox"/>
a) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the	<input type="checkbox"/>	<input checked="" type="checkbox"/>

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner that would result in flooding on- or off-site?				
b) Changes in absorption rates or the rate and amount of surface runoff?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam (Dam Inundation Area)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Changes in the amount of surface water in any water body?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure S-9 "100- and 500-Year Flood Hazard Zones," Figure S-10 "Dam Failure Inundation Zone," Riverside County Flood Control District Flood Hazard Report/Condition, GIS database

Findings of Fact:

- a) The project will alter the existing drainage pattern of the area due to proposed new buildings and parking improvements.
- b) The project will cause a change in absorption rates and the rate and amount of surface runoff.
- c) The project will not expose people or structures to a significant risk, loss, injury or death involving flooding due to required site improvements and flood control measures.
- d) The proposed project will not change in the amount of surface water in any water body.

Mitigation: Prior to issuance of grading or new building permits, the developer shall comply with Riverside County Ordinance No. 458 as amended in preparation of on-site flood protection facilities for this project (COA 60.PLANNING.6).

Monitoring: Monitoring shall be through the Riverside County Flood Control District and Coachella Valley Water District.

LAND USE/PLANNING Would the project

27. Land Use

a) Result in a substantial alteration of the present or planned land use of an area?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Affect land use within a city sphere of influence and/or within adjacent city or county boundaries?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan, GIS database, Project Application Materials

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Findings of Fact:

- a) An existing public transit facility proposes to consolidate its multi-building campus into a new two-story administration building of approximately 25,000 square feet up to 30 feet in height and add a "Transit Hub" to include a 1,600 square foot bus waiting shelter up to 14 feet in height and 42,000 square foot "park and ride" lot, and add 625 sq. ft. electrical yard. The proposed project will not result in a substantial alteration of the present or planned land use of the area.
- b) The project is not located within a city sphere of influence or within adjacent city or county boundaries; therefore, the project will not affect the land use of either.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

28. Planning

a) Be consistent with the site's existing or proposed zoning?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Be compatible with existing surrounding zoning?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Be compatible with existing and planned surrounding land uses?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Be consistent with the land use designations and policies of the Comprehensive General Plan (including those of any applicable Specific Plan)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Disrupt or divide the physical arrangement of an established community (including a low-income or minority community)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Land Use Element, Staff review, GIS database

Findings of Fact:

- a) The proposed project is consistent with the existing Manufacturing Service Commercial (M-SC) and Industrial Park (I-P) zoning since public transit facilities that serve the public are an allowed conditional use within those zones.
- b) The proposed project is compatible with existing and surrounding land uses due to proposed building setbacks and site improvements such as parking and landscaping.
- c) The proposed project is conditionally consistent with the land use designation policies of the General Plan (including those of any applicable Specific Plan).
- d) The project does not Disrupt or divide the physical arrangement of an established community (including a low-income or minority community).

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required

MINERAL RESOURCES Would the project

29. Mineral Resources

a) Result in the loss of availability of a known mineral resource that would be of value to the region or the residents of the State?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Be an incompatible land use located adjacent to a State classified or designated area or existing surface mine?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Expose people or property to hazards from proposed, existing or abandoned quarries or mines?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure OS-5 "Mineral Resources Area"

Findings of Fact: The proposed project will not:

- a) Result in the loss of availability of a known mineral resource in an area classified or designated by the State that would be of value to the region or the residents of the State.
- b) Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan.
- c) Be an incompatible land use located adjacent to a State classified or designated area or existing surface mine.
- d) Expose people or property to hazards from proposed, existing or abandoned quarries or mines.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

NOISE Would the project result in

Definitions for Noise Acceptability Ratings

Where indicated below, the appropriate Noise Acceptability Rating(s) has been checked.

NA - Not Applicable A - Generally Acceptable B - Conditionally Acceptable
 C - Generally Unacceptable D - Land Use Discouraged

30. Airport Noise

a) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport would the	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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project expose people residing or working in the project area to excessive noise levels?

NA A B C D

b) For a project within the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels?

NA A B C D

Source: Riverside County General Plan Figure S-19 "Airport Locations," County of Riverside Airport Facilities Map

Findings of Fact:

- a) The proposed project is not located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport; therefore will not expose people residing or working in the project area to excessive noise levels.
- b) The proposed project is not within the vicinity of a private airstrip; therefore, will not expose people residing or working in the project area to excessive noise levels.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

31. Railroad Noise

NA A B C D

Source: Riverside County General Plan Figure C-1 "Circulation Plan", GIS database, On-site Inspection

Findings of Fact: The proposed project is located adjacent to Interstate 10 / Varner Road which the Southern Pacific Railroad tracks are on the south side of Interstate 10. The proposed project will not be impacted by railroad noise due to the commercial/industrial nature of the project.

Mitigation: No further mitigation required.

Monitoring: No further monitoring is required.

32. Highway Noise

NA A B C D

Source: On-site Inspection, Project Application Materials

Findings of Fact: The project is directly adjacent to Interstate 10 / Varner Road. There will be limited impact due to the commercial/industrial nature of the project. A noise study was not required by the Department of Public Health Office of Industrial Hygiene based on transmittal letter dated 5/4/11.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

33. Other Noise

NA <input checked="" type="checkbox"/>	A <input type="checkbox"/>	B <input type="checkbox"/>	C <input type="checkbox"/>	D <input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Source: Project Application Materials, GIS database

Findings of Fact: No other noise impacts are anticipated by the expansion of the existing transit facility. According to the transmittal letter of 5/4/11 from the Department of Public Health, Office of Industrial Hygiene, a noise study shall not be required. The Industrial Hygiene transmittal stated that compliance with facility related noise standard is required by the applicant in that any noise projected to any portion of any surrounding property containing a sensitive receptor such as a dwelling, school or hospital must not exceed worst case noise levels of 45 dB (A) 10 minute noise equivalent level between the hours of 10 p.m. to 7:00 a.m. (nighttime standard) and 65 dB (A) 10 minute noise equivalent level between the hours of 7:00 a.m. to 10:00 pm (daytime standard).

Mitigation: No additional mitigation is required.

Monitoring: No additional monitoring is required

34. Noise Effects on or by the Project

a) A substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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b) A substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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c) Exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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d) Exposure of persons to or generation of excessive ground-borne vibration or ground-borne noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Source: Riverside County General Plan, Table N-1 ("Land Use Compatibility for Community Noise Exposure"); Project Application Materials

Findings of Fact:

a) The proposed project will not cause a substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project.

b) The proposed project will not cause a substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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- c) The proposed project will not cause exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies.
- d) The proposed project will not cause exposure of persons to or generation of excessive ground-borne vibration or ground-borne noise levels.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation measures are required.

POPULATION AND HOUSING Would the project

35. Housing

a) Displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere?

b) Create a demand for additional housing, particularly housing affordable to households earning 80% or less of the County's median income?

c) Displace substantial numbers of people, necessitating the construction of replacement housing elsewhere?

d) Affect a County Redevelopment Project Area?

e) Cumulatively exceed official regional or local population projections?

f) Induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?

Source: Project Application Materials, GIS database, Riverside County General Plan Housing Element

Findings of Fact:

- a) The scope of the development is not substantial enough to displace a number of housing, necessitating the construction of replacement housing elsewhere. The project will have no impact.
- b) The project will not create a demand for additional housing, particularly housing affordable to households earning 80% or less of the County's median income. The project will have no impact.
- c) The project will not displace substantial numbers of people, necessitating the construction of replacement housing elsewhere. The project will have no impact.
- d) The project is located within a Redevelopment Area. The project will have no impact.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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e) The project will not cumulatively exceed official regional or local population projections. The project will have no impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

PUBLIC SERVICES Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered government facilities or the need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:

36. Fire Services

Source: Riverside County General Plan Safety Element

Findings of Fact:

The project area is serviced by the Riverside County Fire Department. Any construction of new facilities required by the cumulative effects of surrounding projects would have to meet all applicable environmental standards. The project shall comply with required standards and inspections by the County Fire Department (COA's 90.FIRE.1, 90.FIRE.2, 90.FIRE.3, 90.FIRE.4, and 90.FIRE.5).

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

37. Sheriff Services

Source: Riverside County General Plan

Findings of Fact:

The proposed area is serviced by the Riverside County Sheriff's Department. The proposed project would not have an incremental effect on the level of sheriff services provided in the vicinity of the project area. Any construction of new facilities required by the cumulative effects of this project and surrounding projects would have to meet all applicable environmental standards. Based on the County Sheriff's transmittal letter of January 25, 2011, there is no Crime Prevention Through Environmental Design (CPTED) issues for the proposed project.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

38. Schools

Source: Palm Springs Unified School District correspondence, GIS database

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Findings of Fact: The proposed project is located within the Palm Springs Unified School District. Any construction of new facilities required by the cumulative effects of this project and surrounding projects would have to meet all applicable environmental standards.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

39. Libraries

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Source: Riverside County General Plan

Findings of Fact: The proposed project will not create a significant incremental demand for library services due to the commercial/industrial nature of the project. Any construction of new facilities required by the cumulative effects of surrounding projects would have to meet all applicable environmental standards.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

40. Health Services

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Source: Riverside County General Plan

Findings of Fact: The use of the proposed area would not cause an impact on health services. The site is located within the service parameters of County health centers. The project will have no impact. Any construction of new facilities required by the cumulative effects of this project and surrounding projects would have to meet all applicable environmental standards.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

RECREATION

41. Parks and Recreation

a) Would the project include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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b) Would the project include the use of existing neighborhood or regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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c) Is the project located within a Community Service Area (CSA) or recreation and park district with a Community Parks and Recreation Plan (Quimby fees)?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Source: GIS database, Ord. No. 460, Section 10.35 (Regulating the Division of Land – Park and Recreation Fees and Dedications), Ord. No. 659 (Establishing Development Impact Fees), Parks & Open Space Department Review

Findings of Fact:

- a) The project would not include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment. The project will have no impact.
- b) The project would not include the use of existing neighborhood or regional parks or other recreation facilities such that substantial physical deterioration of the facility would occur or be accelerated. The project will have no impact.
- c) The project is not located within a county service area. The project will have a less than significant impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

42. Recreational Trails

Source: Riv. Co. 800 Scale Equestrian Trail Maps, Open Space and Conservation Map

Findings of Fact: No requirements were stated by the County Open Space and Recreation District.

Mitigation: No Mitigation measures are required.

Monitoring: No Monitoring measures are required.

TRANSPORTATION/TRAFFIC Would the project

43. Circulation

a) Conflict with an applicable plan, ordinance or policy establishing a measure of effectiveness for the performance of the circulation system, taking into account all modes of transportation, including mass transit and non-motorized travel and relevant components of the circulation system, including but not limited to intersections, streets, highways and freeways, pedestrian and bicycle paths, and mass transit?

b) Conflict with an applicable congestion management program, including, but not limited to level of service standards and travel demand measures, or other standards established by the county congestion management agency for designated roads or highways?

c) Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
that results in substantial safety risks?				
d) Alter waterborne, rail or air traffic?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g. farm equipment)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Cause an effect upon, or a need for new or altered maintenance of roads?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g) Cause an effect upon circulation during the project's construction?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h) Result in inadequate emergency access or access to nearby uses?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
i) Conflict with adopted policies, plans or programs regarding public transit, bikeways or pedestrian facilities, or otherwise substantially decrease the performance or safety of such facilities?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan

Findings of Fact:

- a) The proposed project will not exceed, either individually or cumulatively, a level of service standard established by the county congestion management agency for designated road or highways. Public road dedications are required including along Harry Oliver Trail for a 44 foot half width right of way and along Haskell Road for a 37 foot half width right of way. Sufficient public street right of way along the westerly boundary of APN 693-040-018 shall be conveyed for public use to provide for a 40 foot wide access road.
- b) The proposed project will not result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks.
- c) The proposed project will not alter waterborne, rail or air traffic.
- d) The proposed project will not substantially increase hazards to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g. farm equipment).
- e) The proposed project will not Result in inadequate emergency access or access to nearby uses.
- f) The proposed project will not conflict with adopted policies supporting alternative transportation (e.g. bus turnouts, bicycle racks).

Mitigation: Compliance with the conditions of approval on file in the LMS, including but not limited to COA 80.TRANS.3, COA 80.TRANS.4, COA 80.TRANS.6, COA 80.TRANS.10, COA 80.TRANS.12, COA 80.TRANS.13, COA 80.TRANS.16, and COA 80.TRANS.17.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Monitoring: The Department of Transportation will monitor this condition.

44. Bike Trails

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Source: Riverside County General Plan

Findings of Fact: No connection is available for a Class I Bikeway/Regional Trail.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

UTILITY AND SERVICE SYSTEMS Would the project

45. Water

a) Require or result in the construction of new water treatment facilities or expansion of existing facilities, the construction of which would cause significant environmental effects?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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b) Have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Source: Department of Environmental Health Review

Findings of Fact:

- a) The proposed project will require or result in the construction of new water treatment facilities or expansion of existing facilities, the construction of which would not cause significant environmental effects. This project is proposing Coachella Valley Water District potable water and sanitary sewer service (COA. 10 E HEALTH 2).
- b) The proposed project will have sufficient water supplies available to serve the project from existing entitlements and expanded entitlements needed.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

46. Sewer

a) Require or result in the construction of new wastewater treatment facilities, including septic systems, or expansion of existing facilities, the construction of which would cause significant environmental effects?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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b) Result in a determination by the wastewater treatment provider that serves or may service the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Source: Department of Environmental Health Review

Findings of Fact:

- a) The project will require the construction of new wastewater treatment facilities, and expansion of existing facilities, the construction would not cause significant environmental effects. According to the Coachella valley Water District (CVWD), an active sewer line exists and abuts this property along Harry Oliver Trail. A will serve letter for water and sewer will be required from CVWD. All existing septic systems must be properly removed or abandoned under permit with the Department of Environmental Health (DEH) upon sewer connection (COA 10 E HEALTH 1).
- b) The project will not result in a determination by the wastewater treatment provider that serves or may service the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

47. Solid Waste

a) Is the project served by a landfill with sufficient permitted capacity to accommodate the project's solid waste disposal needs?

b) Does the project comply with federal, state, and local statutes and regulations related to solid wastes including the CIWMP (County Integrated Waste Management Plan)?

Source: General Plan, Riverside County Waste Management District correspondence

Findings of Fact:

- a) The project will be served by a landfill with sufficient permitted capacity to accommodate the project's solid waste disposal needs. Compliance with transmittal letter dated 1/26/11 from the Riverside County Waste Management Department is required.
- b) The project will comply with federal, state, and local statutes and regulations related to solid wastes (including the CIWMP (County Integrated Waste Management Plan)).

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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48. Utilities

Would the project impact the following facilities requiring or resulting in the construction of new facilities or the expansion of existing facilities; the construction of which could cause significant environmental effects?

a) Electricity?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Natural gas?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Communications systems?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Storm water drainage?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Street lighting?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) Maintenance of public facilities, including roads?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g) Other governmental services?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: General Plan

Findings of Fact:

a-g) No letters have been received eliciting responses that the proposed project would require substantial new facilities or expand facilities.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

49. Energy Conservation

a) Would the project conflict with any adopted energy conservation plans?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Source: General Plan

a-b) The proposed project will not conflict with any adopted energy conservation plans. The project will have no impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

MANDATORY FINDINGS OF SIGNIFICANCE

50. Does the project have the potential to substantially degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal, or eliminate important examples of the major periods of California history or prehistory?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Source: Staff review, Project Application Materials

Findings of Fact: Implementation of the proposed project would not substantially degrade the quality of the environment, substantially reduce the habitat of fish or wildlife species, cause a fish or wildlife populations to drop below self-sustaining levels, threaten to eliminate a plant or animal community, or reduce the number or restrict the range of a rare or endangered plant or animal, or eliminate important examples of the major periods of California history or prehistory.

51. Does the project have impacts which are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, other current projects and probable future projects)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Source: Staff review, Project Application Materials

Findings of Fact: The project does not have impacts which are individually limited, but cumulatively considerable.

52. Does the project have environmental effects that will cause substantial adverse effects on human beings, either directly or indirectly?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Source: Staff review, project application

Findings of Fact: The proposed project would not result in environmental effects which would cause substantial adverse effects on human beings, either directly or indirectly.

VI. EARLIER ANALYSES

Earlier analyses may be used where, pursuant to the tiering, program EIR, or other CEQA process, an effect has been adequately analyzed in an earlier EIR or negative declaration as per California Code of Regulations, Section 15063 (c) (3) (D). In this case, a brief discussion should identify the following:

Earlier Analyses Used, if any:

- SCAQMD CEQA Air Quality Handbook
- RCGP: Riverside County General Plan.
- Geology: Geology Report No. 2252
- Environmental Assessment No. 36420 for Conditional Use Permit No. 3170

Location Where Earlier Analyses, if used, are available for review:

Location: County of Riverside Planning Department
 4080 Lemmon Street, 12th Floor
 Riverside, CA 92505

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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VII. AUTHORITIES CITED

Authorities cited: Public Resources Code Sections 21083 and 21083.05; References: California Government Code Section 65088.4; Public Resources Code Sections 21080(c), 21080.1, 21080.3, 21082.1, 21083, 21083.05, 21083.3, 21093, 21094, 21095 and 21151; *Sundstrom v. County of Mendocino* (1988) 202 Cal.App.3d 296; *Leonoff v. Monterey Board of Supervisors* (1990) 222 Cal.App.3d 1337; *Eureka Citizens for Responsible Govt. v. City of Eureka* (2007) 147 Cal.App.4th 357; *Protect the Historic Amador Waterways v. Amador Water Agency* (2004) 116 Cal.App.4th at 1109; *San Franciscans Upholding the Downtown Plan v. City and County of San Francisco* (2002) 102 Cal.App.4th 656.

Revised: 6/9/2011 12:23 PM

CONDITIONAL USE PERMIT Case #: CUP03170R1

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10. GENERAL CONDITIONS

EVERY DEPARTMENT

10. EVERY. 1 USE - PROJECT DESCRIPTION

RECOMMND

The use hereby permitted is for an existing public transit facility with compressed natural gas fueling station, hydrogen solar fuel generation plant and fueling station and this revised permit is to consolidate its multi-building campus into a new two-story administration building of approximately 25,000 square feet at a building height of 30 feet, add a "Transit Hub" to include a 1,600 square foot bus waiting shelter up to 14 feet in height, add 42,000 square feet of parking for a park and ride lot, and add 650 square foot electrical yard located within Assessors Parcel Numbers 693-040-018, 693-040-019, 693-040-026, and 693-040-028.

10. EVERY. 2 USE - HOLD HARMLESS

RECOMMND

The applicant/permittee or any successor-in-interest shall defend, indemnify, and hold harmless the County of Riverside or its agents, officers, and employees (COUNTY) from the following:

(a) any claim, action, or proceeding against the COUNTY to attack, set aside, void, or annul an approval of the COUNTY, its advisory agencies, appeal boards, or legislative body concerning the CONDITIONAL USE PERMIT; and,

(b) any claim, action or proceeding against the COUNTY to attack, set aside, void or annul any other decision made by the COUNTY concerning the CONDITIONAL USE PERMIT, including, but not limited to, decisions made in response to California Public Records Act requests.

The COUNTY shall promptly notify the applicant/permittee of any such claim, action, or proceeding and shall cooperate fully in the defense. If the COUNTY fails to promptly notify the applicant/permittee of any such claim, action, or proceeding or fails to cooperate fully in the defense, the applicant/permittee shall not, thereafter, be responsible to defend, indemnify or hold harmless the COUNTY.

The obligations imposed by this condition include, but are not limited to, the following: the applicant/permittee shall pay all legal services expenses the COUNTY incurs in

CONDITIONAL USE PERMIT Case #: CUP03170R1

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10. GENERAL CONDITIONS

10. EVERY. 2 USE - HOLD HARMLESS (cont.) RECOMMND

connection with any such claim, action or proceeding, whether it incurs such expenses directly, whether it is ordered by a court to pay such expenses, or whether it incurs such expenses by providing legal services through its Office of County Counsel.

10. EVERY. 3 USE - DEFINITIONS RECOMMND

The words identified in the following list that appear in all capitals in the attached conditions of Conditional Use Permit No. 3170, Revised Permit No. 1 shall be henceforth defined as follows:

APPROVED EXHIBIT A = Exhibit A, Sheets 1-4, Amended No. 1, Exhibit B, Sheets 1-2, Exhibit C, Amended No. 1, Sheets 1-5, and Exhibit G, Amended No. 1, Sheets 1-3, and Exhibit M (isometric views) dated April 26, 2011 by IBI Group.

BS GRADE DEPARTMENT

10.BS GRADE. 1 USE - GENERAL INTRODUCTION RECOMMND

Improvements such as grading, filling, over excavation and recompaction, and base or paving which require a grading permit are subject to the included Building and Safety Department Grading Division conditions of approval.

10.BS GRADE. 3 USE - OBEY ALL GDG REGS RECOMMND

All grading shall conform to the California Building Code, Ordinance 457, and all other relevant laws, rules, and regulations governing grading in Riverside County and prior to commencing any grading which includes 50 or more cubic yards, the applicant shall obtain a grading permit from the Building and Safety Department.

10.BS GRADE. 4 USE - DISTURBS NEED G/PMT RECOMMND

Ordinance 457 requires a grading permit prior to clearing, grubbing, or any top soil disturbances related to construction grading.

10.BS GRADE. 5 USE - PRE-CONSTRUCTION MTG RECOMMND

Prior to conducting any clearing, stockpiling, grading or excavation, the applicant is required to schedule a

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10. GENERAL CONDITIONS

10.BS GRADE. 5 USE - PRE-CONSTRUCTION MTG (cont.) RECOMMND

pre-construction meeting with the Building and Safety
Department Environmental Compliance Division.

10.BS GRADE. 6 USE - NPDES INSPECTIONS RECOMMND

Construction activities including clearing, stockpiling, grading or excavation of land which disturbs less than 1 acre and requires a grading permit or construction Building permit shall provide for effective control of erosion, sediment and all other pollutants year-round. The permit holder shall be responsible for the installation and monitoring of effective erosion and sediment controls. Such controls will be evaluated by the Department of Building and Safety periodically and prior to permit Final to verify compliance with industry recognized erosion control measures.

Construction activities including but not limited to clearing, stockpiling, grading or excavation of land, which disturbs 1 acre or more or on-sites which are part of a larger common plan of development which disturbs less than 1 acre are required to obtain coverage under the construction general permit with the State Water Resources Control Board. You are required to provide proof of WDID# and keep a current copy of the storm water pollution prevention plan (SWPPP) on the construction site and shall be made available to the Department of Building and Safety upon request.

Year-round, Best Management Practices (BMP's) shall be maintained and be in place for all areas that have been graded or disturbed and for all material, equipment and/or operations that need protection. Stabilized Construction Entrances and project perimeter linear barriers are required year round. Removal BMP's (those BMP's which must be temporarily removed during construction activities) shall be in place at the end of each working day.

Monitoring for erosion and sediment control is required and shall be performed by the QSD or QSP as required by the Construction General Permit. Stormwater samples are required for all discharge locations and projects may not exceed limits set forth by the Construction General Permit Numeric Action Levels and/or Numeric Effluent Levels. A Rain Event Action Plan is required when there is a 50% or greater forecast of rain within the 48 hours, by the

CONDITIONAL USE PERMIT Case #: CUP03170R1

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10. GENERAL CONDITIONS

10.BS GRADE. 6 USE - NPDES INSPECTIONS (cont.) RECOMMND

National Weather Service or whenever rain is imminent. The QSD or QSP must print and save records of the precipitation forecast for the project location area from (<http://www.srh.noaa.gov/forecast>) and must accompany monitoring reports and sampling test data. A Rain gauge is required on site. The Department of Building and Safety will conduct periodic NPDES inspections of the site throughout the recognized storm season to verify compliance with the Construction General Permit and Stormwater ordinances and regulations.

10.BS GRADE. 7 USE - EROSION CNTRL PROTECT RECOMMND

Graded but undeveloped land shall provide, in addition to erosion control planting, any drainage facility deemed necessary to control or prevent erosion. Additional erosion protection may be required during the rainy season from October 1, to May 31.

10.BS GRADE. 8 USE - DUST CONTROL RECOMMND

All necessary measures to control dust shall be implemented by the developer during grading. A PM10 plan may be required at the time a grading permit is issued.

10.BS GRADE. 9 USE - 2:1 MAX SLOPE RATIO RECOMMND

Graded slopes shall be limited to a maximum steepness ratio of 2:1 (horizontal to vertical) unless otherwise approved.

10.BS GRADE. 10 USE - SLOPE STABL'TY ANLYS RECOMMND

A slope stability report shall be submitted and approved by the County Geologist for all proposed cut and fill slopes over 30 feet in vertical height, or cut slopes steeper than 2:1 (horizontal to vertical) - unless addressed in a previous report. Fill slopes shall not be steeper than 2:1 (horizontal to vertical).

10.BS GRADE. 11 USE - MINIMUM DRNAGE GRADE RECOMMND

Minimum drainage grade shall be 1% except on portland cement concrete where .35% shall be the minimum.

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10. GENERAL CONDITIONS

10.BS GRADE. 12 USE - DRAINAGE & TERRACING RECOMMND

Provide drainage facilities and terracing in conformance with the California Building Code's chapter on "EXCAVATION & GRADING".

10.BS GRADE. 13 USE - SLOPE SETBACKS RECOMMND

Observe slope setbacks from buildings & property lines per the California Building Code as amended by Ordinance 457.

10.BS GRADE. 14 USE - SLOPES IN FLOODWAY RECOMMND

Graded slopes which infringe into the 100 year storm flood way boundaries, shall be protected from erosion, or other flood hazards, by a method acceptable to the Building & Safety Department's Engineer - which may include Riverside County Flood Control & Water Conservation District's review and approval. However, no graded slope will be allowed which in the professional judgment of the Building & Safety Department Engineer blocks, concentrates or diverts drainage flows.

10.BS GRADE. 17 USE - PVT RD GRADG PMT RECOMMND

Constructing a private road requires a grading permit. All private roads which are conditioned to be paved shall conform to Ordinance 457 base and paving and inspection requirements.

10.BS GRADE. 18 USE - OFFST. PAVED PKG RECOMMND

All offstreet parking areas which are conditioned to be paved shall conform to Ordinance 457 base and paving design and inspection requirements.

10.BS GRADE. 19 USE - FAULT LOCATIONS RECOMMND

Prior to issuance of any building permit on any lot located within the "Fault Hazard Zone" and its included setback area, the applicant shall have a licensed professional, qualified to do so, clearly delineate in the field the portions of that lot which are located within the "Fault Hazard Zone." No structures or portions thereof shall be located in those areas.

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10. GENERAL CONDITIONS

10.BS GRADE. 20 USE - RETAINING WALLS RECOMMND

Lots which propose retaining walls will require separate permits. They shall be obtained prior to the issuance of any other building permits - unless otherwise approved by the Building and Safety Director. The walls shall be designed by a Registered Civil Engineer - unless they conform to the County Standard Retaining Wall designs shown on the Building and Safety Department form 284-197.

10.BS GRADE. 23 USE - MANUFACTURED SLOPES RECOMMND

Plant and irrigate all manufactured slopes equal to or greater than 3 feet in vertical height with drought tolerant grass or ground cover; slopes 15 feet or greater in vertical height shall also be planted with drought tolerant shrubs or trees in accordance with the requirements of Ordinance 457.

10.BS GRADE. 24 USE - FINISH GRADE RECOMMND

Finish grade shall be sloped to provide proper drainage away from all exterior foundation walls in accordance with the California Building Code and Ordinance 457.

E HEALTH DEPARTMENT

10.E HEALTH. 1 CVWD GENERAL COMMENTS RECOMMND

According to Coachella Valley Municipal Water District (CVWD), an active sewer line exists and abuts this property on Harry Oliver Trail. A "will-serve" letter for water and sewer will be required from CVWD. In addition, all existing septic systems must be properly removed or abandoned under permit with the Department of Environmental Health (DEH) upon sewer connection.

10.E HEALTH. 2 CVWD WATER AND SEWER SERVICE RECOMMND

This project is proposing Coachella Valley Water District potable water and sanitary sewer service. It is the responsibility of the developer to ensure that all requirements to obtain water and sewer service are met with CVWD as well as all other applicable agencies.

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10. GENERAL CONDITIONS

EPD DEPARTMENT

10.EPD. 1 EPD- BIO REPORT REVIEW RECOMMND

EPD HAS RECIEVED AND REVIEWED HABITAT ASSESSMENT
(PDB05741) PREPAIRED BY MBA, DATED 02/10/09. NO SENSITIVE
SPECIES WERE OBSERVED AND PROJECT IS CONSIDERED CONSISTANT
WITH CVMSHCP.

FIRE DEPARTMENT

10.FIRE. 1 USE-#50-BLUE DOT REFLECTOR RECOMMND

Blue retroreflective pavement markers shall be mounted on
private street, public streets and driveways to indicate
location of fire hydrants. Prior to installation, placement
of markers must be approved by the Riverside County Fire
Department.

10.FIRE. 2 USE*--#23-MIN REQ FIRE FLOW RECOMMND

Minimum required fire flow shall be 1750 GPM for a 3 hour
duration at 20 PSI residual operating pressure, which must
be available before any combustibile material is placed on
the job site. Fire flow is based on type VB construction
per the 2007 CBC and Building(s) having a fire sprinkler
system.

10.FIRE. 3 USE-#89-RAPID HAZMAT BOX RECOMMND

Rapid entry Hazardous Material data and key storage cabinet
shall be installed on the outside of the building. Plans
shall be submitted to the Riverside County Fire Department
for approval prior to installation.

10.FIRE. 4 USE-#25-GATE ENTRANCES RECOMMND

ny gate providing access from a road to a driveway shall be
located at least 35 feet from the roadway and shall open to
allow a vehicle to stop without obstructing traffic on the
road. Where a one-way road with a single traffic lane
provides access to a gate entrance, a 38 foot turning
radius shall be used.

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10. GENERAL CONDITIONS

10.FIRE. 5 USE-#88A-AUTO/MAN GATES RECOMMND

Gate(s) shall be automatic operated, minimum 20 feet in width, with a setback of 35 feet from face of curb/flow line. Gate access shall be equipped with a rapid entry system. Plans shall be submitted to the Fire Department for approval prior to installation. Automatic/manual gate pins shall be rated with shear pin force, not to exceed 30 foot pounds. Automatic gates shall be equipped with emergency backup power. Gates activated by the rapid entry system shall remain open until closed by the rapid entry system.

10.FIRE. 6 USE-#84-TANK PERMITS RECOMMND

Applicant or Developer shall be responsible for obtaining under/aboveground fuel, chemical and mixed liquid storage tank permits, from the Riverside County Fire Department and Environmental Health Departments. Plans must be submitted for approval prior to installation. Aboveground fuel/mixed liquid tanks(s) shall meet the following standard: Tank must be tested and labeled to UL2085 Protected Tank Standard or SwRI 93-01. The test must include the Projectile Penetration Test and the Heavy Vehicle Impact Test. A sample copy of the tank's label from an independent test laboratory must be included with your plans.

10.FIRE. 7 USE-#04-HIGH PILE/RACK STORAGE RECOMMND

A separate permit may be required for high-pile storage and/or racks. Sprinkler plans and/or sprinkler review must be submitted by a licensed sprinkler contractor with storage and/or rack plans to Riverside County Fire Department for review and approval of the 2001 cfc Article 81 compliance. Complete Article 81 information re: all commodities stored, rack dimensions, placement in building, sprinkler densities, etc. must be provided with suppression system for racks and/or high-pile storage review. A complete listing of commodities, classified using CFC Article 81, 2001 Edition and NFPA 13, 1999 Edition guidelines by a licensed Fire Protection Engineer (or other consultant approved by this jurisdiction).

10.FIRE. 8 USE- SECONDARY ACCESS RECOMMND

A dedicated right of way for future secondary access shall be provided.

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10. GENERAL CONDITIONS

FLOOD RI DEPARTMENT

10.FLOOD RI. 1 USE FLOOD HAZARD REPORT

RECOMMND

Conditional Use Permit 3170, Revised Permit No. 1, is a proposal to develop 2 areas of an approximately 22.9-acre site of a public transit facility. The 2 areas include a 'Park and Ride' and a new Administration building. The site is located north of Interstate 10 in the Thousand Palms area of the Coachella Valley on the west side of Harry Oliver Trail north of Varner Road.

This project is outside of the boundaries of the Riverside County Flood Control and Water Conservation District (RCFC&WCD). Issuing conditions of approval to the County Planning Department as related to the review of drainage and storm water runoff, both the offsite flows impacting the site and the onsite runoff, is under the jurisdiction of the Coachella Valley Water District (CVWD) and/or the Transportation Department.

Our review of this project is limited to ensuring the project's compliance with the county's MS4 permit. This compliance includes the submittal of a project specific Water Quality Management Plan (WQMP) for projects within the watershed of the Whitewater River Region for discretionary new developments and redevelopment projects. A preliminary project specific WQMP was submitted to RCFC&WCD for this proposal.

Five basins are proposed for water quality mitigation. Two basins are located by the Park and Ride area at the southwesterly portion of the site while the other three basins are in the vicinity of the Administration building near the northeasterly side of the site. The basins have all been designed to contain the 100-year storm event. Additionally, pervious pavement is proposed for the parking stalls located in both areas. This is acceptable to the District. A final WQMP shall be submitted for review and approval by the District prior to the issuance of grading or building permits.

10.FLOOD RI. 4 USE SUBMIT FINAL WQMP =PRELIM

RECOMMND

In compliance with Colorado River Regional Water Quality Control Board Orders, and beginning June 15, 2009, projects submitted within the Whitewater River watershed of the unincorporated area of Riverside County for discretionary

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10. GENERAL CONDITIONS

10.FLOOD RI. 4 USE SUBMIT FINAL WQMP =PRELIM (cont.)

RECOMMND

approval will be required to comply with the Water Quality Management Plan (WQMP) for Urban Runoff. The WQMP addresses post-development water quality impacts from new development and redevelopment projects. The WQMP provides detailed guidelines and templates to assist the developer in completing the necessary studies. These documents are available on-line at: www.rcflood.org/npdes.

To comply with the WQMP a developer must submit a "Project Specific" WQMP. This report is intended to: a) identify potential post-project pollutants and hydrologic impacts associated with the development; b) propose Best Management Practices (BMPs) as mitigation measures for the identified impacts including site design, source control and treatment control post-development BMPs; and c) identify sustainable funding and maintenance mechanisms for the aforementioned BMPs. A template for this report is included as 'Exhibit 1' in the WQMP.

The developer has submitted a report that meets the criteria for a Preliminary Project Specific WQMP (see FLOOD HAZARD REPORT). However, the report will need to be revised to meet the requirements of a Final Project Specific WQMP. Also, it should be noted that if 401 certification is necessary for the project, the Regional Water Quality Control Board may require additional water quality measures.

10.FLOOD RI. 6 USE WQMP ESTABL MAINT ENTITY

RECOMMND

This project proposes BMP facilities that will require maintenance. To ensure that the public is not unduly burdened with future costs, prior to final approval or recordation of this case, the District will require an acceptable financial mechanism be implemented to provide for maintenance of treatment control BMPs in perpetuity. The site's treatment control BMPs must be shown on the project's improvement plans - either the street plans, grading plans, or landscaping plans.

10.FLOOD RI. 7 USE BMP MAINTENANCE & INSPECT

RECOMMND

The BMP maintenance plan shall contain provisions for all treatment controlled BMPs to be inspected, and if required, cleaned no later than October 15 each year. Required documentation shall identify the entity that will inspect

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10. GENERAL CONDITIONS

10.FLOOD RI. 7 USE BMP MAINTENANCE & INSPECT (cont.) RECOMMND

and maintain all structural BMPs within the project boundaries. A copy of all necessary documentation shall be submitted to the District for review and approval prior to the issuance of occupancy permits.

PLANNING DEPARTMENT

10.PLANNING. 1 GEN - IF HUMAN REMAINS FOUND RECOMMND

The developer/permit holder or any successor in interest shall comply with the following codes for the life of this project:

If human remains are encountered, State Health and Safety Code Section 7050.5 states that no further disturbance shall occur until the County Coroner has made the necessary findings as to origin. Further, pursuant to Public Resources Code Section 5097.98 (b), remains shall be left in place and free from disturbance until a final decision as to the treatment and their disposition has been made. If the Riverside County Coroner determines the remains to be Native American, the Native American Heritage Commission shall be contacted within the period specified by law. Subsequently, the Native American Heritage Commission shall identify the "Most Likely Descendant." The Most Likely Descendant shall then make recommendations and engage in consultation with the County and the property owner concerning the treatment of the remains as provided in Public Resources Code Section 5097.98. Human remains from other ethnic/cultural groups with recognized historical associations to the project area shall also be subject to consultation between appropriate representatives from that group and the County Planning /Director.

10.PLANNING. 2 GEN - INADVERTANT ARCHAEO FIND RECOMMND

The developer/permit holder or any successor in interest shall comply with the following for the life of this project:

If during ground disturbance activities, cultural resources are discovered that were not assessed by the archaeological reports and/or environmental assessment conducted prior to project approval, the following procedures shall be followed. A cultural resources site is defined, for this condition, as being three or more artifacts in close

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10. GENERAL CONDITIONS

10.PLANNING. 2 GEN - INADVERTANT ARCHAEO FIND (cont.) RECOMMND

association with each other, but may include fewer artifacts if the area of the find is determined to be of significance due to its sacred or cultural importance.

1.All ground disturbance activities within 100 feet of the discovered cultural resource shall be halted until a meeting is convened between the developer, the project archaeologist, the Native American tribal representative (or other appropriate ethnic/cultural group representative), and the Planning Director to discuss the significance of the find.

2.At the meeting, the significance of the discoveries shall be discussed and after consultation with the Native American tribal (or other appropriate ethnic/cultural group representative) and the archaeologist, a decision is made, with the concurrence of the Planning Director, as to the appropriate mitigation (documentation, recovery, avoidance, etc) for the cultural resource.

3.Further ground disturbance shall not resume within the area of the discovery until an agreement has been reached by all parties as to the appropriate preservation or mitigation measures.

10.PLANNING. 3 USE - COMPLY WITH ORD./CODES RECOMMND

The development of these premises shall comply with the standards of Ordinance No. 348 and all other applicable Riverside County ordinances and State and Federal codes.

The development of the premises shall conform substantially with that as shown on APPROVED EXHIBIT A, unless otherwise amended by these conditions of approval.

10.PLANNING. 4 USE - FEES FOR REVIEW RECOMMND

Any subsequent submittals required by these conditions of approval, including but not limited to grading plan, building plan or mitigation monitoring review, shall be reviewed on an hourly basis (research fee), or other such review fee as may be in effect at the time of submittal, as required by Ordinance No. 671. Each submittal shall be accompanied with a letter clearly indicating which condition or conditions the submittal is intended to comply with.

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10. GENERAL CONDITIONS

10.PLANNING. 5 USE - LIGHTING HOODED/DIRECTED RECOMMND

Any outside lighting shall be hooded and directed so as not to shine directly upon adjoining property or public rights-of-way.

10.PLANNING. 7 USE - LAND DIVISION REQUIRED RECOMMND

Prior to the sale of any individual structure as shown on APPROVED EXHIBIT A, a land division shall be recorded in accordance with Riverside County Ordinance No. 460, and any other pertinent ordinance.

10.PLANNING. 9 USE - PERMIT SIGNS SEPARATELY RECOMMND

No signs are approved pursuant to this project approval. Prior to the installation of any on-site advertising or directional signs, a signing plan shall be submitted to and approved by the Planning Department pursuant to the requirements of Section 18.30 (Planning Department review only) of Ordinance No. 348.

10.PLANNING. 10 USE - NO OUTDOOR ADVERTISING RECOMMND

No outdoor advertising display, sign or billboard (not including on-site advertising or directional signs) shall be constructed or maintained within the property subject to this approval.

10.PLANNING. 11 USE - PHASES ALLOWED RECOMMND

Construction of this project may be done in phases as shown on APPROVED EXHIBIT A. Any additional phases, or modifications to the approved phasing, may be permitted provided a plan for each phase of development is submitted to and approved by the Planning Department. Phasing approval shall not apply to the requirements of any agency other than the Planning Department unless otherwise indicated by the affected agency.

10.PLANNING. 13 USE - EXTERIOR NOISE LEVELS RECOMMND

Exterior noise levels produced by any use allowed under this permit, including, but not limited to, any outdoor public address system, shall not exceed 45 db(A), 10-minute LEQ, between the hours of 10:00 p.m. to 7:00 a.m., and 65 db(A), 10-minute LEQ, at all other times as measured at any residential, hospital, school, library,

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10. GENERAL CONDITIONS

10.PLANNING. 13 USE - EXTERIOR NOISE LEVELS (cont.) RECOMMND

nursing home or other similar noise sensitive land use. In the event noise exceeds this standard, the permittee or the permittee's successor-in-interest shall take the necessary steps to remedy the situation, which may include discontinued operation of the facilities. he permit holder shall comply with the applicable standards of Ordinance No. 847.

10.PLANNING. 14 USE - NOISE MONITORING REPORTS RECOMMND

The permit holder may be required to submit periodic noise monitoring reports as determined by the Department of Building and Safety as part of a code enforcement action. Upon written notice from the Department of Building and Safety requiring such a report, the permittee or the permittee's successor-in-interest shall prepare and submit an approved report within thirty (30) calendar days to the Department of Building and Safety, unless more time is allowed through written agreement by the Department of Building and Safety. The noise monitoring report shall be approved by the Office of Industrial Hygiene of the Health Service Agency (the permittee or the permittee's successor-in-interest shall be required to place on deposit sufficient funds to cover the costs of this approval prior to commencing the required report).

10.PLANNING. 16 USE - PREVENT DUST & BLOWSAND RECOMMND

Graded but undeveloped land shall be maintained in a condition so as to prevent a dust and/or blowsand nuisance and shall be either planted with interim landscaping or provided with other wind and water erosion control measures as approved by the Building and Safety Department and the State air quality management authorities.

10.PLANNING. 17 USE - VOID RELATED PROJECT RECOMMND

Any approval for use of or development on this property that was made pursuant to CUP03170 shall become null and void upon final approval of CUP03170R1 by the County of Riverside.

10.PLANNING. 18 USE - CAUSES FOR REVOCATION RECOMMND

In the event the use hereby permitted under this permit,
a) is found to be in violation of the terms and conditions

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10. GENERAL CONDITIONS

10.PLANNING. 18 USE - CAUSES FOR REVOCATION (cont.) RECOMMND

of this permit,
b) is found to have been obtained by fraud or perjured testimony, or
c) is found to be detrimental to the public health, safety or general welfare, or is a public nuisance, this permit shall be subject to the revocation procedures.

10.PLANNING. 19 USE - CEASED OPERATIONS RECOMMND

In the event the use hereby permitted ceases operation for a period of one (1) year or more, this approval shall become null and void.

10.PLANNING. 20 USE - 90 DAYS TO PROTEST RECOMMND

The project applicant has 90 days from the date of approval of these conditions to protest, in accordance with the procedures set forth in Government Code Section 66020, The imposition of any and all fees, dedications, reservations and/or other exactions imposed on this project as a result of this approval or conditional approval of the project.

10.PLANNING. 21 USE - SITE MAINTENANCE RECOMMND

The project site shall be kept in good repair. Graffiti shall be removed from any structures within one week of observation and/or notification.

10.PLANNING. 22 USE - MT PALOMAR LIGHTING AREA RECOMMND

Within the Mt. Palomar Special Lighting Area, as defined in Ordinance No. 655, low pressure sodium vapor lighting or overhead high pressure sodium vapor lighting with shields or cutoff luminaires, shall be utilized.

10.PLANNING. 23 USE - LOW PALEO RECOMMND

According to the County's General Plan, this site has been mapped as having a "Low Potential" for paleontological resources. This category encompasses lands for which previous field surveys and documentation demonstrates a low potential for containing significant paleontological resources subject to adverse impacts. As such, this project is not anticipated to require any direct mitigation for paleontological resources. However, should fossil remains be encountered during site development:

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10. GENERAL CONDITIONS

10.PLANNING. 23

USE - LOW PALEO (cont.)

RECOMMND

1.All site earthmoving shall be ceased in the area of where the fossil remains are encountered. Earthmoving activities may be diverted to other areas of the site.

2.The owner of the property shall be immediately notified of the fossil discovery who will in turn immediately notify the County Geologist of the discovery.

3.The applicant shall retain a qualified paleontologist approved by the County of Riverside.

4.The paleontologist shall determine the significance of the encountered fossil remains.

5.Paleontological monitoring of earthmoving activities will continue thereafter on an as-needed basis by the paleontologist during all earthmoving activities that may expose sensitive strata. Earthmoving activities in areas of the project area where previously undisturbed strata will be buried but not otherwise disturbed will not be monitored. The supervising paleontologist will have the authority to reduce monitoring once he/she determines the probability of encountering any additional fossils has dropped below an acceptable level.

6.If fossil remains are encountered by earthmoving activities when the paleontologist is not onsite, these activities will be diverted around the fossil site and the paleontologist called to the site immediately to recover the remains.

7.Any recovered fossil remains will be prepared to the point of identification and identified to the lowest taxonomic level possible by knowledgeable paleontologists. The remains then will be curated (assigned and labeled with museum* repository fossil specimen numbers and corresponding fossil site numbers, as appropriate; places in specimen trays and, if necessary, vials with completed specimen data cards) and catalogued, an associated specimen data and corresponding geologic and geographic site data will be archived (specimen and site numbers and corresponding data entered into appropriate museum repository catalogs and computerized data bases) at the museum repository by a laboratory technician. The remains will then be accessioned into the museum* repository fossil

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10. GENERAL CONDITIONS

10.PLANNING. 23 USE - LOW PALEO (cont.) (cont.) RECOMMND

collection, where they will be permanently stored, maintained, and, along with associated specimen and site data, made available for future study by qualified scientific investigators. * The County of Riverside must be consulted on the repository/museum to receive the fossil material prior to being curated.

10.PLANNING. 24 USE - LC LANDSCAPE REQUIREMENT RECOMMND

The developer/ permit holder shall:

- 1)Ensure all landscape and irrigation plans are in conformance with the APPROVED EXHIBITS;
- 2)Ensure all landscaping is provided with California Friendly landscaping and a weather based irrigation controller(s) as defined by County Ordinance No. 859;
- 3)Ensure that irrigation plans which may use reclaimed water conform with the requirements of the local water purveyor; and,
- 4)Be responsible for maintenance, viability and upkeep of all slopes, landscaped areas, and irrigation systems until the successful completion of the twelve (12) month inspection or those operations become the responsibility of the individual property owner(s), a property owner's association, or any other successor-in-interest, whichever occurs later.

To ensure ongoing maintenance, the developer/ permit holder or any successor in interest shall:

- 1)Connect to a reclaimed water supply for landscape irrigation purposes when reclaimed water is made available.
- 2)Ensure that landscaping, irrigation and maintenance systems comply with the Riverside County Guide to California Friendly Landscaping, and Ordinance No. 859.
- 3)Ensure that all landscaping is healthy, free of weeds, disease and pests.

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10. GENERAL CONDITIONS

10.PLANNING. 25

USE - GEO02252

RECOMMND

County Geologic Report (GEO) No. 2252 submitted for this project (CUP03170R1) was prepared by Leighton Consulting, Inc. and is entitled "Geotechnical Exploration, Proposed Administration Building, Sunline Transit Agency, 32-505 Harry Oliver Trail, Thousand Palms, California:, dated June 7, 2010. In addition, Leighton submitted "Addendum Geotechnical Report - Response to County Comments, Sunline Transit Agency/Proposed Administration Building, 32-505 Harry Oliver Trail, Thousand Palms, California", dated May 6, 2011. This document is herein incorporated as a part of GEO02252.

GEO02252 concluded:

1. There are no known active or potentially active faults that traverse the site.
2. The potential for ground rupture to occur within the subject site should be considered very low.
3. Liquefaction potential at the site is considered very low.
4. The dynamic-induced dry settlement at this site is estimated to be less than 0.5 inch.
5. The site is not considered susceptible to seismically induced landslides.
6. Debris flow is not a significant hazard to this site.
7. The possibility of seismically induced seiches or tsunamis occurring at the subject site is considered very low.
8. The potential for differential subsidence and ground fissuring is low to moderate.

GEO002252 recommended:

1. Onsite native soils should be over-excavated and recompact to a minimum depth of 5 feet below existing grades or 3 feet below the bottom of the proposed footings, whichever is deeper.
2. Geotechnical observations and testing should be conducted

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10. GENERAL CONDITIONS

10.PLANNING. 25 USE - GEO02252 (cont.)

RECOMMND

during excavation and all phases of grading.

GEO02250 satisfies the requirement for a Geologic Study for Planning / CEQA purposes. GEO02250 is hereby accepted for Planning purposes. This approval is not intended, and should not be misconstrued as approval for grading permit. Engineering and other building code parameters will be reviewed and additional comments and/or conditions may be imposed by the Building and Safety Department upon application for grading and/or building permits.

10.PLANNING. 27 USE - PERMIT "USED"

RECOMMND

The effective date of the issuance of this permit is the Planning Department's approval date. This permit shall be considered "used" as of the day of the effective date. The permit holder shall apply to the Building and Safety Department for all necessary permits, including the submission of all required documents and fees, for any plan check as determined by the Building and Safety Department, in order to ensure compliance with all applicable requirements of Ordinance Nos. 348 (Land Use & Zoning) and 457 (Building Code) and the conditions of approval of this permit. The permit holder shall pursue diligently to completion all necessary permits and obtain final inspection approval thereof.

10.PLANNING. 28 USE - NATURAL GAS STATION

RECOMMND

This permit shall become null and void if any non-governmental agency shall operate the compressed natural gas station.

TRANS DEPARTMENT

10.TRANS. 1 USE - STD INTRO 3 (ORD 460/461)

RECOMMND

With respect to the conditions of approval for the referenced tentative exhibit, the landowner shall provide all street improvements, street improvement plans and/or road dedications set forth herein in accordance with Ordinance 460 and Riverside County Road Improvement Standards (Ordinance 461). It is understood that the exhibit correctly shows acceptable centerline elevations, all existing easements, traveled ways, and drainage courses with appropriate Q's, and that their omission or

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10. GENERAL CONDITIONS

10.TRANS. 1 USE - STD INTRO 3(ORD 460/461) (cont.) RECOMMND

unacceptability may require the exhibit to be resubmitted for further consideration. These ordinances and all conditions of approval are essential parts and a requirement occurring in ONE is as binding as though occurring in all. All questions regarding the true meaning of the conditions shall be referred to the Transportation Department.

10.TRANS. 2 USE - COUNTY WEB SITE RECOMMND

Additional information, standards, ordinances, policies, and design guidelines can be obtained from the Transportation Department Web site: <http://rctlma.org/trans/>. If you have questions, please call the Plan Check Section at (951) 955-6527.

10.TRANS. 3 USE - ASSESS/BENEFIT DIST RECOMMND

Should this project lie within any assessment/benefit district, the project proponent shall, prior to issuance of a building permit, make application for and pay for their reapportionment of the assessments or pay the unit fees in the benefit district.

10.TRANS. 4 USE - ENCROACHMENT PERMIT RECOMMND

An encroachment permit must be obtained from the Transportation Department prior to the commencement of any work within the County road right-of-way.

10.TRANS. 5 USE - FLOOD HAZARD REPORT 1 RECOMMND

This is a proposal to expand the existing Sunline Transit Agency facility to include a park-&-ride lot on 2.41 acres (APN 693-040-018&019) and an administration building on 3.33 acres (APN 693-040-028). This project lies within the limits of the Thousand Palms area south of Ramon Road, north of Varner and west of Harry Oliver. The Thousand Palms area has a requirement for new developments to retain 100 percent of the incremental increase of runoff for a 100-year event. The owner shall provide mitigation measures to be incorporated into the development to prevent flooding of the site or downstream properties. The 100 percent retention of the post-development runoff from the 100 year storm shall be required as part of the drainage improvements for this project.

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10. GENERAL CONDITIONS

10.TRANS. 6 USE - FLOOD HAZARD REPORT 2

RECOMMND

This project is located in an area designated Zone AO, depth 1 foot on Federal Flood Insurance Rate Maps which are in effect at this time.

10.TRANS. 7 USE - FLOOD HAZARD REPORT 3

RECOMMND

This project lies within the area of the Whitewater River Basin Thousand Palms Flood Control Project, which will provide regional flood protection to the Thousand Palms area. The Coachella Valley Water District is currently in the design phase of this project. Upon completion of the design phase, developers and property owners within the area may be required to dedicate right-of-way for regional flood control facilities and/or participate in the financing of a portion of these facilities. Until construction of this project is complete, the developer shall comply with Riverside County Ordinance No. 458.

10.TRANS. 8 USE - RETENTION BASIN

RECOMMND

For retention basin sizing and calculation refer to letter dated May 24, 2011 from Alan French to Majeed Farshad.

10.TRANS. 9 USE - DRAINAGE PROTECTION

RECOMMND

The proponent shall protect downstream properties from damages caused by alteration of drainage patterns, i.e., concentration or diversion of flow. Protection shall be provided by constructing adequate drainage facilities including enlarging existing facilities and/or by securing a drainage easement. All drainage easements shall be recorded by separate instrument and noted as follows, "Drainage Easement - no building, obstructions, or encroachments are allowed.

60. PRIOR TO GRADING PRMT ISSUANCE

BS GRADE DEPARTMENT

60.BS GRADE. 1 USE - NPDES/SWPPP

RECOMMND

Prior to issuance of any grading or construction permits - whichever comes first - the applicant shall provide the Building and Safety Department evidence of compliance with the following: "Effective March 10, 2003 owner operators of grading or construction projects are required to comply

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60. PRIOR TO GRADING PRMT ISSUANCE

60.BS GRADE. 1 USE - NPDES/SWPPP (cont.)

RECOMMND

with the N.P.D.E.S. (National Pollutant Discharge Elimination System) requirement to obtain a construction permit from the State Water Resource Control Board (SWRCB). The permit requirement applies to grading and construction sites of "ONE" acre or larger. The owner operator can comply by submitting a "Notice of Intent" (NOI), develop and implement a STORM WATER POLLUTION PREVENTION PLAN (SWPPP) and a monitoring program and reporting plan for the construction site. For additional information and to obtain a copy of the NPDES State Construction Permit contact the SWRCB at (916) 657-1146.

Additionally, at the time the county adopts, as part of any ordinance, regulations specific to the N.P.D.E.S., this project (or subdivision) shall comply with them.

60.BS GRADE. 2 USE - GRADING SECURITY

RECOMMND

Grading in excess of 199 cubic yards will require a performance security to be posted with the Building and Safety Department.

60.BS GRADE. 3 USE - IMPORT / EXPORT

RECOMMND

In instances where a grading plan involves import or export, prior to obtaining a grading permit, the applicant shall have obtained approval for the import/export location from the Building and Safety Department.

A separate stockpile permit is required for the import site. It shall be authorized in conjunction with an approved construction project and shall comply with the requirements of Ordinance 457.

If an Environmental Assessment, prior to issuing a grading permit, did not previously approve either location, a Grading Environmental Assessment shall be submitted to the Planning Director and Environmental Programs Director for review and comment and to the Building and Safety Department Director for approval.

Additionally, if the movement of import / export occurs using county roads, review and approval of the haul routes by the Transportation Department may be required.

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60. PRIOR TO GRADING PRMT ISSUANCE

60.BS GRADE. 4 USE - GEOTECH/SOILS RPTS RECOMMND

Geotechnical soils reports, required in order to obtain a grading permit, shall be submitted to the Building and Safety Department for review and approval prior to issuance of a grading permit. All grading shall be in conformance with the recommendations of the geotechnical/soils reports as approved by Riverside County.* *The geotechnical/soils, compaction and inspection reports will be reviewed in accordance with the RIVERSIDE COUNTY GEOTECHNICAL GUIDELINES FOR REVIEW OF GEOTECHNICAL AND GEOLOGIC REPORTS.

60.BS GRADE. 6 USE - DRAINAGE DESIGN Q100 RECOMMND

All drainage facilities shall be designed in accordance with the Riverside County Flood Control & Water District's letter regarding this application, or if not specifically addressed in their letter, to accommodate 100 year storm flows.

60.BS GRADE. 7 USE - OFFSITE GRDG ONUS RECOMMND

Prior to the issuance of a grading permit, it shall be the sole responsibility of the owner/applicant to obtain any and all proposed or required easements and/or permissions necessary to perform the grading herein proposed.

60.BS GRADE. 8 USE - NOTARIZED OFFSITE LTR RECOMMND

A notarized letter of permission, from the affected property owners or easement holders, is required for any proposed off site grading.

60.BS GRADE. 11 USE - APPROVED WQMP RECOMMND

Prior to the issuance of a grading permit, the owner / applicant shall submit to the Building & Safety Department Engineering Division evidence that the project - specific Water Quality Management Plan (WQMP) has been approved by the Riverside County Flood Control District and that all approved water quality treatment control BMPs have been included on the grading plan.

60.BS GRADE. 12 USE - PRE-CONSTRUCTION MTG RECOMMND

Upon receiving grading plan approval and prior to the issuance of a grading permit, the applicant is required to schedule a pre-construction meeting with the Building and

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60. PRIOR TO GRADING PRMT ISSUANCE

60.BS GRADE. 12 USE - PRE-CONSTRUCTION MTG (cont.) RECOMMND

Safety Department Environmental Compliance Division.

60.BS GRADE. 13 USE -PM10 PLAN REQUIRED RECOMMND

A PM10 Fugitive Dust Mitigation Plan, prepared in accordance with AQMD Rule 403.1, shall be submitted to the Building and Safety Department for review and approval prior to the issuance of a grading permit.

1.NOTE: The PM 10 plan shall require the posting of signs in accordance with Building and Safety form "Signage Recommendations".

2.NOTE: All PM 10 measures must be in place prior to commencing any grading activity on site.

60.BS GRADE. 14 USE-TRANS& CVWD REVIEW REQ'D RECOMMND

The applicant or developer shall submit copies of the grading plan and hydrologic calculations to the Riverside County Transportation Department (RCTD) and the Coachella Valley Water District (CVWD) for their review and approval. Additional flood plain management fees may be required by CVWD. Prior to the issuance of a grading permit, the applicant or developer shall provide, to the Department of Building and Safety Grading Division, a letter from RCTD and CVWD indicating their approval of the plans or a waiver of the review.

60.BS GRADE. 15 USE- PM 10 CLASS REQUIRED RECOMMND

Prior to the issuance of a grading permit, as a requirement of the CIP, the owner, developer, contractor, and their assignees must attend the PM10 class conducted by SCAQMD. Currently, classes are scheduled monthly by SCAQMD.

EPD DEPARTMENT

60.EPD. 1 EPD- NESTING BIRD SURVEY INEFFECT

PRIOR TO ISSUANCE OF A GRADING PERMIT, A NESTING BIRD CLEARANCE SURVEY SHALL BE COMPLETED BY A QUALIFIED BIOLOGIST CURRENTLY HOLDING AN MOU WITH THE COUNTY. THE NESTING BIRD CLEARANCE SURVEY WILL BE REQUIRED IF A GRADING PERMIT IS SOUGHT DURING THE NESTING SEASON (FEB 15- AUGUST 31ST). THE RESULTS OF THE NESTING BIRD CLEARANCE SURVEY SHALL BE SUBMITTED DIRECTLY TO EPD FOR REVIEW AND APPROVAL.

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60. PRIOR TO GRADING PRMT ISSUANCE

FLOOD RI DEPARTMENT

60.FLOOD RI. 2 USE SUBMIT PLANS MINOR REVIEW

RECOMMND

The scope of the District review will be limited to verification that this proposal has met its obligation under the County's municipal stormwater permit. A copy of the BMP improvement plans along with any necessary documentation shall be submitted to the Districts Plan Check Section for review. A copy of the improvement and grading plans shall be included for reference. The plans must receive the District's approval prior to issuance of permits. All submittals shall be date stamped by the engineer and include a completed Flood Control Deposit Based Fee Worksheet and the appropriate plan check fee deposit.

60.FLOOD RI. 3 USE SUBMIT FINAL WQMP

RECOMMND

A copy of the project specific WQMP shall be submitted to the District for review and approval.

PLANNING DEPARTMENT

60.PLANNING. 1 GEN - CULTURAL RESOURCES PROFE

RECOMMND

As a result of information contained in archaeological report PD-A-4689, prepared by Michael Brandman Associates on February 13, 2009, it has been determined that archaeological monitoring of construction mass/rough grading is required once a depth below the current ground surface of two (2) feet is reached by construction-related earth moving to mitigate for potential subsurface cultural deposits. Documented prehistoric and historic cultural sites within the project vicinity indicate a potential for cultural resources to be present, including the potential for human remains.

Prior to the issuance of grading permits, the developer/permit holder shall retain and enter into a monitoring and mitigation service contract with a qualified Archaeologist for services. This professional shall be known as the "Project Archaeologist." The Project Archaeologist shall be included in the pre-grade meetings to provide cultural/historical sensitivity training including the establishment of set guidelines for ground disturbance in sensitive areas with the grading contractors and any required tribal monitors. The Project

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60. PRIOR TO GRADING PRMT ISSUANCE

60.PLANNING. 1 GEN - CULTURAL RESOURCES PROFE (cont.) RECOMMND

Archaeologist shall implement monitoring for all mass or ough grading and trenching ground disturbing activities and excavation of each portion of the project site beginning at two feet below current ground surface depth. The Project Archaeologist shall have the authority to temporarily divert, redirect or halt the ground disturbance activities to allow identification, evaluation, and potential recovery of cultural resources in coordination with any required tribal monitors.

The developer/permit holder shall submit a fully executed copy of the contract to the Riverside County Planning Department to ensure compliance with this condition of approval. Upon verification, the Planning Department shall clear this condition.

NOTE:

1)The Project Archeologist is responsible for implementing mitigation using standard professional practices for cultural resources. The Project Archaeologist shall consult with the County, developer/permit holder and any required tribal monitor throughout the process.

2)This agreement shall not modify any approved condition of approval or mitigation measure.

60.PLANNING. 3 GEN - TRIBAL MONITORING RECOMMND

As a result of information contained in archaeological report PD-A-4689 prepared by Michael Brandman Associates, Inc, and in communications from the Agua Caliente Band of Cahuilla Indians, dated February 26, 2009, and the Gabrielino Tongva Nation, dated February 15, 2009, it has been determined that tribal monitoring shall be required during the construction earthmoving that is to be monitored by the Project Archaeologist. Precise grading does not require tribal monitoring.

Prior to the issuance of grading permits, the developer/permit holder shall enter into an agreement and retain a monitor designated by the Agua Caliente Band of Cahuilla Indians. This group shall be known as the Tribal Monitor for this project. The agreement shall address the treatment and ultimate repatriation of cultural resources which may include repatriation and/or curation in a Riverside County

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60. PRIOR TO GRADING PRMT ISSUANCE

60.PLANNING. 3 GEN - TRIBAL MONITORING (cont.)

RECOMMND

approved curation facility.

The Tribal Monitor(s) shall be allowed on-site during ground disturbing activities that are subject to archaeological monitoring. The Tribal Monitor shall have limited the authority to temporarily divert, redirect or halt the ground disturbance activities to allow identification, evaluation, and potential recovery of cultural resources in coordination with the Project Archaeologist.

The developer/permit holder shall submit a fully executed copy of the agreement to the Riverside County Planning Department to ensure compliance with this condition of approval. Upon verification, the Planning Department shall clear this condition.

NOTE:

1) The Project Archaeologist is responsible for implementing mitigation and standard professional practices for cultural resources, and shall consult with the County and developer/permit holder throughout the process. The tribal monitor is responsible for consultation on behalf of the Agua Caliente Band of Cahuilla Indians in the event that Native American cultural resources are uncovered.

2) Tribal monitoring does not replace any required Cultural Resources monitoring, but rather serves as a supplement for consultation and advisory purposes for the Tribal interests only. Should human remains be found, the Native American Heritage Commission shall appoint the Most Likely Descendant (MLD) for legal consultation purposes. The tribal monitor may not necessarily be the appointed MLD.

3) This agreement shall not modify any approved condition of approval or mitigation measure.

4) The developer/permit holder shall contact the Planning Director for consideration of this condition after forty-five (45) days, if an agreement with the tribe has not been met.

5) Should repatriation be preferred, it shall not occur until after the Phase IV monitoring report has been submitted to the Riverside County Planning Department. Should curation be preferred, the developer/permit holder

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60. PRIOR TO GRADING PRMT ISSUANCE

60.PLANNING. 3 GEN - TRIBAL MONITORING (cont.) (cont.) RECOMMND

is responsible for all costs.

60.PLANNING. 6 USE - CVWD CLEARANCE RECOMMND

A clearance letter from the Coachella Valley Water District shall be provided to the Riverside County Planning Department verifying compliance with the conditions stated in their letter dated January 21, 2011, summarized as follows: Prior to issuance of grading or new building permits, the developer shall comply with Riverside County Ordinance 458 as amended in the preparation of on-site flood protection facilities.

60.PLANNING. 7 USE - PM10 MITIGATION PLAN RECOMMND

Notwithstanding any provision of Riverside County Ordinance No. 742 (Control of Fugitive Dust & PM10) to the contrary, this project shall comply with the requirements of Ordinance No. 742, including, but not necessarily limited to, the submission of a PM10 Mitigation Plan containing all reasonably available fugitive dust control measures, and, thereafter, the permit holder shall comply with all provisions of the approved PM10 Mitigation Plan during grading, earth movement operations and construction of the project as determined by the Director of the Department of Building and Safety.

The permit holder shall submit a copy of the approved PM10 Mitigation Plan to the Planning Department and the submitted copy shall include a cover letter containing a written certification from a state licensed professional that the control measures of the plan are included in the grading and building plans submitted to the Department of Building and Safety pursuant to obtaining a grading permit.

TRANS DEPARTMENT

60.TRANS. 2 USE-SBMT/APPVD GRADG PLAN/TRAN RECOMMND

When you submit a grading plan to the Department of Building and Safety, a copy of the grading plan shall be submitted and approved by the Transportation Department prior to a grading permit issuance.

Submit required grading plan to the Transportation Department, Plan Check Section, 8th Floor, 4080 Lemon

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60. PRIOR TO GRADING PRMT ISSUANCE

60.TRANS. 2 USE-SBMT/APPVD GRADG PLAN/TRAN (cont.) RECOMMND
Street, Riverside, CA.

60.TRANS. 4 USE - OBTAIN L&LMD APPLICATION RECOMMND
Obtain an application from the Transportation Department, L&LMD Section, 8th Floor, 4080 Lemon Street, Riverside, CA, to submit application for required annexation per condition of approval 80.TRANS.10 and 90.TRANS.8.

If you have any questions or for the processing fee amount, please call the L&LMD Section at (951) 955-6748.

60.TRANS. 5 USE - RETENTION BASIN RECOMMND
For retention basin sizing and calculation refer to letter dated May 24, 2011 from Alan French to Majeed Farshad.

60.TRANS. 6 USE - SUBMIT PLANS 1 RECOMMND
The project proponent shall comply with Riverside County Ordinance 458.12 as amended in the preparation of on-site flood protection. The project proponent shall submit plans for grading, landscaping, and irrigation systems, any other necessary documentation along with supporting hydrologic and hydraulic calculations to Riverside County Transportation Department and CVWD as part of the flood management review for review and approval. The project proponent shall pay all fees as required by Riverside County Transportation Department.

60.TRANS. 7 USE - SUBMIT PLANS 2 RECOMMND
Per letter dated February 19, 2010, the project proponent shall submit plans for grading, landscaping, and irrigation systems to Coachella Valley Water District for review and approval. This review is for ensuring efficient water management.

60.TRANS. 8 USE - EASEMENT FOR DRAINAGE RECOMMND
The developer will prepare and record easements for drainage purposed by separate instrument to the benefit of public, for areas where drainage facilities and other drainage appurtenances are required and/or where drainage flow patterns must be maintained to convey flood plain water. All drainage easements shall be recorded by

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60. PRIOR TO GRADING PRMT ISSUANCE

60.TRANS. 8 USE - EASEMENT FOR DRAINAGE (cont.) RECOMMND

separate instrument and noted as follows, "Drainage Easement - no building, obstructions, or encroachments are allowed."

60.TRANS. 9 USE - TYPICAL SITE GRADING RECOMMND

All on-site grading shall be graded to drain to on site drainage facilities. Offsite drainage shall be conveyed through the project site in a manner that will not adversely impact either on-site improvements or worsen the existing drainage conditions to adjacent offsite properties.

70. PRIOR TO GRADING FINAL INSPECT

TRANS DEPARTMENT

70.TRANS. 1 USE - EROSION CONTROL RECOMMND

Temporary erosion control measures shall be implemented immediately following site grading to prevent depositions of debris onto downstream properties, public right-of-way, or drainage facilities. Plans showing these measures shall be submitted to Riverside County Transportation Department for review prior to the start of any site grading.

80. PRIOR TO BLDG PRMT ISSUANCE

BS GRADE DEPARTMENT

80.BS GRADE. 1 USE - NO B/PMT W/O G/PMT RECOMMND

Prior to the issuance of any building permit, the property owner shall obtain a grading permit and/or approval to construct from the Building and Safety Department.

80.BS GRADE. 2 USE - ROUGH GRADE APPROVAL RECOMMND

Prior to the issuance of any building permit, the applicant shall obtain rough grade approval and/or approval to construct from the Building and Safety Department. The Building and Safety Department must approve the completed grading of your project before a building permit can be issued. Rough Grade approval can be accomplished by complying with the following:

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80. PRIOR TO BLDG PRMT ISSUANCE

80.BS GRADE. 2 USE - ROUGH GRADE APPROVAL (cont.) RECOMMND

1.Submitting a "Wet Signed" copy of the Soils Compaction Report containing substantiating data from the Soils Engineer (registered geologist or certified geologist, civil engineer or geotechnical engineer as appropriate) for his/her certification of the project.

2.Submitting a "Wet Signed" copy of the Rough Grade certification from a Registered Civil Engineer certifying that the grading was completed in conformance with the approved grading plan.

3.Submitting a Contractors Statement of Conformance form (284-259).

4.Requesting a Rough Grade Inspection and obtaining rough grade approval from a Riverside County inspector.

5.Rough Grade Only Permits: In addition to obtaining all required inspections and approval of all final reports, all sites permitted for rough grade only shall provide 100 percent vegetative coverage to stabilize the site prior to receiving a rough grade permit final.

Prior to release for building permit, the applicant shall have met all rough grade requirements to obtain Building and Safety Department clearance.

E HEALTH DEPARTMENT

80.E HEALTH. 1 USE - WATR/SEWR WILL SERVE RECOMMND

A "will serve" letter is required from the agency/agencies serving potable water and sanitary sewers.

FIRE DEPARTMENT

80.FIRE. 1 USE-#17A-BLDG PLAN CHECK \$ RECOMMND

Building Plan check deposit base fee of \$1,056.00, shall be paid in a check or money order to the Riverside County Fire Department after plans have been approved by our office.

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80. PRIOR TO BLDG PRMT ISSUANCE

80.FIRE. 2 USE* - #51-WATER CERTIFICATION RECOMMND

The applicant or developer shall be responsible to submit written certification from the water company noting the location of the existing fire hydrant and that the existing water system is capable of delivering 1750 GPM fire flow for a 3 hour duration at 20 PSI residual operating pressure. If a water system currently does not exist, the applicant or developer shall be responsible to provide written certification that financial arrangements have been made to provide them.

FLOOD RI DEPARTMENT

80.FLOOD RI. 2 USE SUBMIT PLANS MINOR REVIEW RECOMMND

The scope of the District review will be limited to verification that this proposal has met its obligation under the County's municipal stormwater permit. A copy of the BMP improvement plans along with any necessary documentation shall be submitted to the Districts Plan Check Section for review. A copy of the improvement and grading plans shall be included for reference. The plans must receive the District's approval prior to issuance of permits. All submittals shall be date stamped by the engineer and include a completed Flood Control Deposit Based Fee Worksheet and the appropriate plan check fee deposit.

80.FLOOD RI. 3 USE SUBMIT FINAL WQMP RECOMMND

A copy of the project specific WQMP shall be submitted to the District for review and approval.

PLANNING DEPARTMENT

80.PLANNING. 1 USE - CONFORM TO ELEVATIONS RECOMMND

Elevations of all buildings and structures submitted for building plan check approval shall be in substantial conformance with the elevations shown on APPROVED EXHIBIT A.

80.PLANNING. 2 USE - CONFORM TO FLOOR PLANS RECOMMND

Floor plans shall be in substantial conformance with that shown on APPROVED EXHIBIT A.

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80.PLANNING. 5 USE - COLOR/FINISH SAMPLES RECOMMND

The permittee shall submit three 4" x 4" color and finish samples of for Planning Department approval. Coloration shall be compatible with the colors contained in Exhibit A.

80.PLANNING. 8 USE - WASTE MGMT. CLEARANCE RECOMMND

A clearance letter from Riverside County Waste Management District shall be provided to the Riverside County Planning Department verifying compliance with the conditions contained in their letter dated January 26, 2011, summarized as follows: The developer shall provide adequate areas for collecting and loading recyclable materials such as paper products, glass and green waste in commercial, industrial, public facilities and residential development projects.

80.PLANNING. 9 USE - SCHOOL MITIGATION RECOMMND

Impacts to the Palm Springs Unified School District shall be mitigated in accordance with California State law.

80.PLANNING. 11 USE - CVWD CLEARANCE RECOMMND

A clearance letter from the Coachella Valley Water District shall be provided to the Riverside County Planning Department verifying compliance with the conditions contained in their letter dated January 21, 2011, summarized as follows: prior to issuance of grading or new building permits, the developer shall comply with Riverside County Ordinance No. 458 as amended in preparation of on-site flood protection facilities.

80.PLANNING. 13 USE - LC LANDSCAPE PLOT PLAN RECOMMND

Prior to issuance of building permits, the developer/permit holder shall file a Landscaping Minor Plot Plan Application to the Riverside County Planning Department for review and approval along with the current fee. The landscaping plans shall be in conformance with the APPROVED EXHIBITS; in compliance with Ordinance No. 348, Section 18.12; Ordinance No. 859; and, be prepared consistent with the County of Riverside Guide to California Friendly Landscaping.

At minimum, plans shall include the following components:
1) Landscape and irrigation working drawings "stamped" by a

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80.PLANNING. 13 USE - LC LANDSCAPE PLOT PLAN (cont.)

RECOMMND

California certified landscape architect;

2)Weather based controllers and necessary components to eliminate water waste;

3)A copy of the "stamped" approved grading plans; and,

4)Emphasis on native and drought tolerant species.

When applicable, plans shall include the following components:

1)Identification of all common/open space areas;

2)Natural open space areas and those regulated/conserved by the prevailing MSHCP;

3)Shading plans for projects that include parking lots/areas;

4)The use of canopy trees (24" box or greater) within the parking areas;

5)Landscaping plans for slopes exceeding 3 feet in height;

6)Landscaping and irrigation plans associated with entry monuments. All monument locations and dimensions shall be provided on the plan; and/or,

7)If this is a phased development, then a copy of the approved phasing plan shall be submitted for reference.

NOTE:

1)Landscaping plans for areas within the road right-of-way shall be submitted for review and approval by the Transportation Department only. The Planning Department shall not approve landscape plans within the Road Right-of-Way.

)When the Landscaping Plot Plan is located within a special district such as Valley-Wide Recreation and Park District, Jurupa Community Services District, Coachella Valley Water District, a County Service Area (CSA) or other maintenance district, the developer/permit holder shall submit plans for review to the appropriate special district for simultaneous review. The permit holder shall show evidence to the Planning Department that the subject District has

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80.PLANNING. 13 USE - LC LANDSCAPE PLOT PLAN (cont.) (cont.) RECOMMND

approved said plans.

As part of the plan check review process and request for condition clearance, the developer/permit holder shall show proof of the approved landscaping plot plan by providing the Plot Plan number. The planning department shall verify the landscape route is approved and the Plot Plan is in TENTAPPR status. Upon verification of compliance with this condition and the APPROVED EXHIBITS, the Planning Department shall clear this condition.

80.PLANNING. 14 USE - LC LANDSCAPE SECURITIES RECOMMND

Prior to the issuance of building permits, the developer/permit holder shall submit an estimate to replace plantings, irrigation systems, ornamental landscape elements, walls and/or fences, in amounts to be approved by the Riverside County Planning Department, Landscape Division. Once the Planning Department has approved the estimate, the developer/permit holder shall submit the estimate to the Riverside County Department of Building and Safety who will then provide the developer/permit holder with the requisite forms. The required forms shall be completed and submitted to Building and Safety for processing and review in conjunction with County Counsel. Upon determination of compliance, the Department of Building and Safety shall clear this condition.

NOTE:

A cash security shall be required when the estimated cost is \$2,500.00 or less. It is highly encouraged to allow adequate time to ensure that securities are in place. The performance security shall be released following a successful completion of the One Year Post-Establishment Inspection, and the inspection report confirms that the planting and irrigation components are thriving and in good working order consistent with the approved landscaping plans.

80.PLANNING. 15 USE - HEIGHT LIMITATIONS RECOMMND

All buildings and structures within this permit shall not exceed 30 feet in overall height, except as provided by Section No. 18.20 of Ordinance No. 348. The permittee

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80.PLANNING. 15 USE - HEIGHT LIMITATIONS (cont.) RECOMMND

shall demonstrate to the satisfaction of the Planning Director and the Director of the Department of Building and Safety that construction plans comply with all height regulations; verification of compliance with the height regulations of this permit may include submission of a written certification by a state licensed professional that plans submitted to the Department of Building and Safety are in compliance and/or inspection of such plans by county staff.

80.PLANNING. 17 USE - FEE BALANCE RECOMMND

Prior to issuance of building permits, the Planning Department shall determine if the deposit based fees for project are in a negative balance. If so, any outstanding fees shall be paid by the applicant/developer.

TRANS DEPARTMENT

80.TRANS. 3 USE - TUMF RECOMMND

Prior to the issuance of a building permit, the project proponent shall pay the Transportation Uniform Mitigation Fee (TUMF) in accordance with the fee schedule in effect at the time of issuance, pursuant to Ordinance No. 673.

80.TRANS. 4 USE - R-O-W DEDICATION RECOMMND

Sufficient public street right-of-way along Harry Oliver Trail shall be conveyed for public use to provide for a 44-foot half-width right-of-way including standard cornerback.

Sufficient public street right-of-way along Haskell Road shall be conveyed for public use to provide for a 37-foot half-width right-of-way including standard corner cutback.

Sufficient public street right-of-way along westerly boundary of Assessors parcel No. 693-040-018 shall be conveyed for public use to provide for a 40-foot wide access road for road and utility purposes including standard corner cutback.

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80. PRIOR TO BLDG PRMT ISSUANCE

80.TRANS. 6 USE - MAP CORNER CUT-BACK I

RECOMMND

All corner cutbacks shall be applied per Standard 805, Ordinance 461, except for corners at Entry streets intersecting with General Plan roads, they shall be applied per Exhibit ' C ' of the Countywide Design Guidelines.

80.TRANS. 10 USE -ANNEX L&LMD/OTHER DIST

RECOMMND

Prior to the issuance of a building permit, the project proponent shall comply with County requirements within public road rights-of-way, in accordance with Ordinance 461. Assurance of maintenance is required by filing an application for annexation to Landscaping and Lighting Maintenance District No. 89-1-Consolidated by contacting the Transportation Department at (951)955-6767, and/or any other maintenance district approved by the Transportation Department or by processing and filing a 'Landscape Maintenance Agreement' through the Transportation Department Plan Check Division. Said annexation should include the following:

- (1) Landscaping along Varner Road, Harry Oliver Trail and Haskell Road.
- (2) Streetlights on Harry Oliver Trail and Haskell Road.

For street lighting, the project proponent shall contact the Transportation Department L&LMD 89-1-C Administrator and submit the following:

- (1) Completed Transportation Department application.
- (2) Appropriate fees for annexation.
- (3) (2) sets of street lighting plans approved by Transportation Department.
- (4) "Streetlight Authorization" form from SCE, IID or other electric provider.

80.TRANS. 12 USE - LIGHTING PLAN

RECOMMND

A separate street light plan and/or a separate bridge light plan is required for this project. Street (and/or bridge) lighting shall be designed in accordance with County Ordinance 460 and Streetlight Specification Chart found in

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80. PRIOR TO BLDG PRMT ISSUANCE

80.TRANS. 12 USE - LIGHTING PLAN (cont.)

RECOMMND

Specification Section 22 of Ordinance 461. For projects within SCE boundaries use County of Riverside Ordinance 461, Standard No. 1000 or No. 1001. For projects within Imperial Irrigation District (IID) use IID's pole standard.

80.TRANS. 13 USE -LANDSCAPING/TRAIL COM/IND

RECOMMND

Landscaping within public road right-of-way shall comply with Transportation Department standards, Ordinance 461, Comprehensive Landscaping Guidelines & Standards, and Ordinance 859 and shall require approval by the Transportation Department.

Landscaping plans shall be designed within Harry Oliver Trail and submitted to the Transportation Department. The landscape design shall incorporate a desert theme, including the extensive use of native desert and drought tolerant plant species. Irrigation systems shall incorporate the use of drip irrigation to the maximum extent feasible. The use of non-organic landscape elements such as rocks, decorative paving, sand and gravel is encouraged. The use of grass, sod or other water intense ground cover plant materials will not be permitted.

Landscaping plans shall be submitted on standard County plan sheet format (24" x 36"). Landscaping plans shall be submitted with the street improvement plans.

80.TRANS. 16 USE - UTILITY PLAN

RECOMMND

Electrical power, telephone, communication, street lighting, and cable television lines shall be designed to be placed underground in accordance with Ordinance 460 and 461, or as approved by the Transportation Department. The applicant is responsible for coordinating the work with the serving utility company. This also applies to existing overhead lines which are 33.6 kilovolts or below along the project frontage and between the nearest poles offsite in each direction of the project site. A disposition note describing the above shall be reflected on design improvement plans whenever those plans are required. A written proof for initiating the design and/or application of the relocation issued by the utility company shall be submitted to the Transportation Department for verification purposes.

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80. PRIOR TO BLDG PRMT ISSUANCE

80.TRANS. 17 USE - DRAINAGE EASEMENT

RECOMMND

The developer will prepare and record easements for drainage purposed by separate instrument to the benefit of public, for areas where drainage facilities and other drainage appurtenances are required and/or where drainage flow patterns must be maintained to convey flood plain water. All drainage easements shall be recorded by separate instrument and noted as follows, "Drainage Easement - no building, obstructions, or encroachments are allowed."

90. PRIOR TO BLDG FINAL INSPECTION

B&S DEPARTMENT

90.B&S. 1 BP*FEMA FORM APPRVL REQUIRED

RECOMMND

Prior to building permit final, a development in FEMA mapped flood zones "A" or "AO" shall provide a FEMA form, filled out, wet stamped and signed by a registered civil engineer or licensed land surveyor, to the Building and Safety Department Grading Division.

The Grading division will transmit the form to the proper flood control district for their review and approval.

Upon receipt of their approval, this condition will be classified as "MET" and the building permit will be eligible for final approval.

BS GRADE DEPARTMENT

90.BS GRADE. 1 USE - WQMP BMP INSPECTION

RECOMMND

Prior to final building inspection, the applicant shall obtain inspection of all treatment control BMPs and/or clearance from the Building and Safety Department. All structural BMPs described in the project - specific WQMP and indicated on the approved grading plan shall be constructed and installed in conformance with the approved plans and specifications. The Building and Safety Department must inspect and approve the completed WQMP treatment control BMPs for your project before a building final can be obtained.

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90. PRIOR TO BLDG FINAL INSPECTION

90.BS GRADE. 2 USE - WQMP BMP CERT REQ'D RECOMMND

Prior to final building inspection, the applicant/owner shall submit a "Wet Signed" copy of the Water Quality Management Plan (WQMP) Certification from a Registered Civil Engineer certifying that the project - specific WQMP treatment control BMPs have been installed in accordance with the approved WQMP.

90.BS GRADE. 3 USE - BMP GPS COORDINATES RECOMMND

Prior to final building inspection, the applicant/owner shall provide the Department of Building Safety with GPS coordinates for the location of the project - specific WQMP treatment control BMPs.

90.BS GRADE. 4 USE - BMP REGISTRATION RECOMMND

Prior to final building inspection, the applicant/owner shall register the project - specific WQMP treatment control BMPs with the Department of Building Safety Business Registration Division. Any person or entity that owns or operates a commercial and/or industrial facility shall register such facility for annual inspections.

90.BS GRADE. 5 USE - REQ'D GRADING INSP'S RECOMMND

The developer / applicant shall be responsible for obtaining the following inspections required by Ordinance 457.

- 1.Sub-grade inspection prior to base placement.
- 2.Base inspection prior to paving.
- 3.Precise grade inspection of entire permit area.
 - a.Inspection of Final Paving
 - b.Precise Grade Inspection
 - c.Inspection of onsite storm drain facilities
 - d.Inspection of the WQMP treatment control BMPs

90.BS GRADE. 6 USE - PRECISE GRDG APPROVAL RECOMMND

Prior to final building inspection, the applicant shall obtain precise grade approval and/or clearance from the Building and Safety Department. The Building and Safety Department must approve the precise grading of your project

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90. PRIOR TO BLDG FINAL INSPECTION

90.BS GRADE. 6 USE - PRECISE GRDG APPROVAL (cont.)

RECOMMND

before a building final can be obtained. Precise Grade approval can be accomplished by complying with the following:

1. Requesting and obtaining approval of all required grading inspections.

2. Submitting a "Wet Signed" copy of the Soils Compaction Report from the Soils Engineer (registered geologist or certified geologist, civil engineer or geotechnical engineer as appropriate) for the sub-grade and base of all paved areas.

3. Submitting a "Wet Signed" copy of the Sub-grade (rough) Certification from a Registered Civil Engineer certifying that the sub-grade was completed in conformance with the approved grading plan.

4. Submitting a "Wet Signed" copy of the Precise (Final) Grade Certification for the entire site from a Registered Civil Engineer certifying that the precise grading was completed in conformance with the approved grading plan.

5. Submitting a "Wet Signed" copy of the Certification certifying the installation of any onsite storm drain systems not inspected by Riverside County Flood Control District or the Riverside County Transportation Department.

6. Submitting a "Wet Signed" copy of the Water Quality Management Plan (WQMP) Certification from a Registered Civil Engineer certifying that the Water Quality Management Plan treatment control BMPs have been installed in accordance with the approved WQMP.

Prior to release for building final, the applicant shall have met all precise grade requirements to obtain Building and Safety Department clearance.

E HEALTH DEPARTMENT

90.E HEALTH. 1 REMOVAL/ABANDONMENT OF OWTS

RECOMMND

Prior to the final of a building permit, all existing onsite wastewater treatment systems(s) must be properly removed or abandoned under permit with the Department of Environmental Health (DEH). Please contact DEH at (760)

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90. PRIOR TO BLDG FINAL INSPECTION

90.E HEALTH. 1 REMOVAL/ABANDONMENT OF OWTS (cont.) RECOMMND
393-3390 for further information.

90.E HEALTH. 2 USE - HAZMAT BUS PLAN RECOMMND
The facility will require a business emergency plan for the storage of hazardous materials greater than 55 gallons, 200 cubic feet or 500 pounds, or any acutely hazardous materials or extremely hazardous substances.

90.E HEALTH. 3 USE - HAZMAT REVIEW RECOMMND
If further review of the site indicates additional environmental health issues, the Hazardous Materials Management Division reserves the right to regulate the business in accordance with applicable County Ordinances.

90.E HEALTH. 4 USE - HAZMAT CONTACT RECOMMND
Contact a Hazardous Materials Specialist, Hazardous Materials Management Division, at (951) 358-5055 for any additional requirements.

FIRE DEPARTMENT

90.FIRE. 1 USE-#45-FIRE LANES RECOMMND
The applicant shall prepare and submit to the Fire Department for approval, a site plan designating required fire lanes with appropriate lane painting and/or signs.

90.FIRE. 2 USE-#12A-SPRINKLER SYSTEM RECOMMND
Install a complete fire sprinkler system per NFPA 13 1999 edition in all buildings requiring a fire flow of 1500 GPM or greater. Sprinkler system(s) with pipe sizes in excess of 4" in diameter will require the project structural engineer to certify (wet signature) the stability of the building system for seismic and gravity loads to support the sprinkler system. All fire sprinkler risers shall be protected from any physical damage. The post indicator valve and fire department connection shall be located to the front, within 50 feet of a hydrant, and a minimum of 25 feet from the building(s). A statement that the building(s) will be automatically fire sprinkled must be included on the title page of the building plans.

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90.FIRE. 2 USE-#12A-SPRINKLER SYSTEM (cont.) RECOMMND

Applicant or developer shall be responsible to install a U.L. Central Station Monitored Fire Alarm System. Monitoring system shall monitor the fire sprinkler system(s) water flow, P.I.V.'s and all control valves. Plans must be submitted to the Fire Department for approval prior to installation. Contact fire department for guideline handout

90.FIRE. 3 USE-#83-AUTO/MAN FIRE ALARM RECOMMND

Applicant or developer shall be responsible to install a manual and automatic Fire Alarm System. Plans must be submitted to the Fire Department for approval prior to installation.

90.FIRE. 4 USE-#27-EXTINGUISHERS RECOMMND

Install portable fire extinguishers with a minimum rating of 2A-10BC and signage. Fire Extinguishers located in public areas shall be in recessed cabinets mounted 48" (inches) to center above floor level with maximum 4" projection from the wall. Contact Fire Department for proper placement of equipment prior to installation.

90.FIRE. 5 FINAL INSPECTION RECOMMND

Prior to occupancy a Fire Department inspection is required to verify all conditions stated at plan check are met.

Riverside office (951)955-4777
Murrieta office (951)600-6160
Indio Office (760)863-8886

FLOOD RI DEPARTMENT

90.FLOOD RI. 2 USE BMP - EDUCATION RECOMMND

The developer shall distribute environmental awareness education materials on general good housekeeping practices that contribute to protection of stormwater quality to all initial users. The developer may obtain NPDES Public Educational Program materials from the District's NPDES Section by either the District's website www.rcflood.org, e-mail fcnpdes@rcflood.org, or the toll free number 1-800-506-2555. Please provide Project number,

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90. PRIOR TO BLDG FINAL INSPECTION

90.FLOOD RI. 2 USE BMP - EDUCATION (cont.) RECOMMND

number of units and location of development. Note that there is a five-day minimum processing period requested for all orders.

The developer must provide to the District's PLAN CHECK Department a notarized affidavit stating that the distribution of educational materials to the tenants is assured prior to the issuance of occupancy permits.

90.FLOOD RI. 3 USE IMPLEMENT WQMP RECOMMND

All structural BMPs described in the project-specific WQMP shall be constructed and installed in conformance with approved plans and specifications. It shall be demonstrated that the applicant is prepared to implement all non-structural BMPs described in the approved project specific WQMP and that copies of the approved project-specific WQMP are available for the future owners/occupants. The District will not release occupancy permits for any portion of the project exceeding 80% of the project area prior to the completion of these tasks.

PLANNING DEPARTMENT

90.PLANNING. 1 GEN - CULTURAL RESOURCES RPT RECOMMND

Prior to final inspection of the first building permit, the developer/permit holder shall prompt the Cultural Resources Professional to submit two (2) copies of a Phase IV Cultural Resources Monitoring Report that complies with the Riverside County Planning Department's requirements for such reports. The report shall include evidence of the required cultural/historical sensitivity training for the construction staff held during the pre-grade meeting. The Planning Department shall review the report to determine adequate mitigation compliance. Provided the report is adequate, the Planning Department shall clear this condition.

90.PLANNING. 2 USE - PARKING PAVING MATERIAL RECOMMND

A minimum of 180 new parking spaces for the new administration building and park and ride lot with 4 taxi spaces shall be provided as shown on the APPROVED EXHIBIT A, unless otherwise approved by the Planning Department. The parking area shall be surfaced with asphaltic concrete

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90. PRIOR TO BLDG FINAL INSPECTION

90.PLANNING. 2 USE - PARKING PAVING MATERIAL (cont.) RECOMMND

or concrete to current standards as approved by the Department of Building and Safety.

90.PLANNING. 3 USE - ACCESSIBLE PARKING RECOMMND

A minimum of eight (8) new accessible parking spaces for persons with disabilities shall be provided as shown on APPROVED EXHIBIT A. Each parking space reserved for persons with disabilities shall be identified by a permanently affixed reflectorized sign constructed of porcelain on steel, beaded text or equal, displaying the International Symbol of Accessibility. The sign shall not be smaller than 70 square inches in area and shall be centered at the interior end of the parking space at a minimum height of 80 inches from the bottom of the sign to the parking space finished grade, or centered at a minimum height of 36 inches from the parking space finished grade, ground, or sidewalk. A sign shall also be posted in a conspicuous place, at each entrance to the off-street parking facility, not less than 17 inches by 22 inches, clearly and conspicuously stating the following:

"Unauthorized vehicles not displaying distinguishing placards or license plates issued for physically handicapped persons may be towed away at owner's expense. Towed vehicles may be reclaimed at ___ or by telephoning ___."

In addition to the above requirements, the surface of each parking space shall have a surface identification sign duplicating the symbol of accessibility in blue paint of at least 3 square feet in size.

90.PLANNING. 5 USE - LOADING SPACES RECOMMND

A minimum of one (1) loading space for the new administration building shall be provided in accordance with Section 18.12.a.(2)f(3).b. of Ordinance 348, and as shown on APPROVED EXHIBIT A. The loading spaces shall be surfaced with six (6) inches of concrete over a suitable base and shall not be less than 10 feet wide by 35 feet long, with 14 feet vertical clearance.

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90. PRIOR TO BLDG FINAL INSPECTION

90.PLANNING. 6 USE - INSTALL BIKE RACKS RECOMMND

A bicycle rack(s) with a minimum of seven (7) spaces shall be provided in convenient locations to facilitate bicycle access to the project area. The bicycle racks shall be shown on project landscaping and improvement plans submitted for Planning Department approval, and shall be installed in accordance with those plans.

90.PLANNING. 7 USE - ROOF EQUIPMENT SHIELDING RECOMMND

Roof-mounted equipment shall be shielded from ground view. Screening material shall be subject to Planning Department approval.

90.PLANNING. 8 USE - LIGHTING PLAN COMPLY RECOMMND

All street lights and other outdoor lighting shall be shown on electrical plans submitted to the Department of Building and Safety for plan check approval and shall comply with the requirements of Riverside County Ordinance No. 655 and the Riverside County Comprehensive General Plan.

90.PLANNING. 10 USE - TRASH ENCLOSURES RECOMMND

Trash enclosures which are adequate to enclose a minimum of two (2) bins shall be located on the project site, and shall be constructed prior to the issuance of occupancy permits. The enclosure(s) shall be a minimum of six (6) feet in height and shall be made with masonry block and a solid gate which screens the bins from external view. Additional enclosed area for collection of recyclable materials shall be located within, near or adjacent to each trash and rubbish disposal area. The recycling collection area shall be a minimum of fifty percent (50%) of the area provided for the trash/rubbish enclosure(s) or as approved by the Riverside County Waste Management Department. All recycling bins shall be labeled with the universal recycling symbol and with signage indicating to the users the type of material to be deposited in each bin.

90.PLANNING. 13 USE - LC LNDSCP INSPCT DEPOSIT RECOMMND

Prior to building permit final inspection, the developer/permit holder shall file an Inspection Request Form and deposit sufficient funds to cover the costs of Installation, Six Month Establishment, and One Year Post-Establishment inspections. In the event that an open

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90. PRIOR TO BLDG FINAL INSPECTION

90.PLANNING. 13 USE - LC LNDSCP INSPCT DEPOSIT (cont.) RECOMMND

landscape case is not available, then the applicant shall open a FEE ONLY case to conduct inspections. The deposit required for landscape inspections shall be determined by the Riverside County Landscape Division. The Planning Department shall clear this condition upon determination of compliance.

90.PLANNING. 14 USE - LC LNDSCP INSPCTN RQMNTS RECOMMND

The permit holder's landscape architect responsible for preparing the Landscaping and Irrigation Plans (or on-site representative) shall arrange for a PRE-INSTALLATION INSPECTION with the Planning Department at least five (5) working days prior to the installation of any landscape or irrigation components.

Upon successful completion of the PRE-INSTALLATION INSPECTION, the applicant will proceed with the installation of the approved landscape and irrigation system and arrange for an INSTALLATION INSPECTION at least five 5 working days prior to the building final inspection or issuance of occupancy permit, whichever occurs first and comply with the Planning Department's Milestone 80 conditions entitled "USE-LANDSCAPING SECURITY" and the Milestone 90 condition entitled "LANDSCAPE INSPECTION DEPOSIT." Upon successful completion of the INSTALLATION INSPECTION, the County Planning Department's Landscape Inspector and the permit holder's landscape architect (or on-site representative) shall execute a Landscape Certificate of Completion that shall be submitted to the Planning Department and the Department of Building and Safety. The Planning Department shall clear this condition upon determination of compliance.

90.PLANNING. 15 USE - LC COMPLY W/ LNDSCP/ IRR RECOMMND

The developer/permit holder shall coordinate with their designated landscape representative and the Riverside County Planning Department's landscape inspector to ensure all landscape planting and irrigation systems have been installed in accordance with APPROVED EXHIBITS, landscaping, irrigation, and shading plans. The Planning Department will ensure that all landscaping is healthy, free of weeds, disease and pests; and, irrigation systems are properly constructed and determined to be in good working order. The developer/permit holder's designated

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90. PRIOR TO BLDG FINAL INSPECTION

90.PLANNING. 15 USE - LC COMPLY W/ LNDSCP/ IRR (cont.) RECOMMND

landscape representative and the Riverside County Planning Department's landscape inspector shall determine compliance with this condition and execute a Landscape Certificate of Completion. Upon determination of compliance, the Planning Department shall clear this condition.

90.PLANNING. 16 USE - CURBS ALONG PLANTERS RECOMMND

A six inch high curb with a twelve (12) inch wide walkway shall be constructed along planters on end stalls adjacent to automobile parking areas. Public parking areas shall be designed with permanent curb, bumper, or wheel stop or similar device so that a parked vehicle does not overhang required sidewalks, planters, or landscaped areas.

90.PLANNING. 17 USE - WALL/BERM REQUIRED RECOMMND

A minimum three (3') foot high decorative block wall or combination landscaped earthen berm and decorative block wall shall be constructed along Varner Road to partially screen/buffer the new "park and ride" lot (front portion of spaces 1 thru 22 in compliance with any flood and/or WQMP requirements). The exterior side of all masonry walls shall be surfaced with a protective coating that will facilitate the removal of graffiti. The required wall and/or berm shall be subject to the approval of the Director of the Department of Building and Safety and the Planning Director and the appropriate flood control agency, and shall be shown on all grading and landscaping plans.

TRANS DEPARTMENT

90.TRANS. 4 USE - SIGNING & STRIPING RECOMMND

A signing and striping plan is required for this project. The project proponent shall be responsible for any additional paving and/or striping removal caused by the striping plan. Traffic signing and striping shall be performed by County forces with all incurred costs borne by the applicant, unless otherwise approved by the County Traffic Engineer.

90.TRANS. 7 USE STREETLIGHT AUTHORIZATION RECOMMND

Prior to OCCUPANCY, the project proponent shall submit to Transportation Department Permits the following:

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90. PRIOR TO BLDG FINAL INSPECTION

90.TRANS. 7 USE STREETLIGHT AUTHORIZATION (cont.) RECOMMND

1. "Streetlight Authorization" form approved by L&LMD No. 89-1-C Administrator.
2. Letter establishing interim energy account from SCE, IID or other electric provider.

90.TRANS. 8 USE - STREETLIGHTS INSTALL RECOMMND

Install streetlights along the streets associated with development in accordance with the approved street lighting plan and standards of County Ordinances 460 and 461. For projects within IID use IID's pole standard.

Streetlight annexation into L&LMD or similar mechanism as approved by the Transportation Department shall be completed.

It shall be the responsibility of the developer to ensure that streetlights are energized along the streets associated with this development where the developer is seeking Building Final Inspection (Occupancy).

90.TRANS. 10 USE - IMPROVEMENTS RECOMMND

Harry Oliver Trail along project boundary shall be improved with 32-foot half-width AC pavement and 8-inch concrete curb and gutter within the 44-foot half-width dedicated right-of-way to meet existing pavement section on Harry Oliver Trail, as determined by the Transportation Department.

NOTE: A 6-foot wide concrete sidewalk shall be constructed curb adjacent within the 12-foot parkway.

90.TRANS. 11 USE - EXISTING MAINTAINED RECOMMND

Varner Road along projects boundary is a paved County maintained road designated as a Secondary Highway and shall be improved with landscaping within the 64-foot half-width dedicated right-of-way.

Haskell Road along project boundary is a paved County maintained road designated as a Collector Street and shall be improved with 6-inch concrete curb and gutter, and match up asphalt concrete paving; reconstruction; or resurfacing

CONDITIONAL USE PERMIT Case #: CUP03170R1

Parcel: 693-040-019

90. PRIOR TO BLDG FINAL INSPECTION

90.TRANS. 11 USE - EXISTING MAINTAINED (cont.) RECOMMND

of existing paving; from Harry Oliver Trail easterly to existing improvements on Haskell Road approximately 100-feet east of Harry Oliver Trail, as determined by the Transportation Department within the 37-foot half-width dedicated right-of-way in accordance with County Standard No. 103, Section "A". (44'/74')

NOTE: A 6-foot wide concrete sidewalk shall be constructed within the 15' parkway.

Prior to any future development and/or substantial conformance, Haskell Road from Harry Oliver Trail westerly of projects boundary shall be improved with curb and gutter, sidewalk, asphalt concrete paving, in accordance with County Standard No. 103, Section "A". (44'/74')

90.TRANS. 14 USE - UTILITY INSTALL RECOMMND

Electrical power, telephone, communication, street lighting, and cable television lines shall be placed underground in accordance with Ordinance 460 and 461, or as approved by the Transportation Department. This also applies to existing overhead lines which are 33.6 kilovolts or below along the project frontage and between the nearest poles offsite in each direction of the project site.

A certificate should be obtained from the pertinent utility company and submitted to the Department of Transportation as proof of completion.

90.TRANS. 18 USE -ANNEX L&LMD/OTHER DIST RECOMMND

Prior to issuance of an occupancy permit, the project proponent shall complete annexation to Landscaping and Lighting Maintenance District No. 89-1-Consolidated, and/or any other maintenance district approved by the Transportation Department or by processing and filing a 'Landscape Maintenance Agreement' through the Transportation Department Plan Check Division for continuous maintenance within public road rights-of-way, in accordance with Ordinance 461, Comprehensive Landscaping Guidelines & Standards, and Ordinance 859. Said annexation should include the following:

- (1) Landscaping along Varner Road, Harry Oliver Trail and Haskell Road.

CONDITIONAL USE PERMIT Case #: CUP03170R1

Parcel: 693-040-019

90. PRIOR TO BLDG FINAL INSPECTION

90.TRANS. 18 USE -ANNEX L&LMD/OTHER DIST (cont.) RECOMMND

(2) Streetlights on Harry Oliver Trail and Haskell Road.

90.TRANS. 20 USE - IMP PLANS RECOMMND

Improvement plans for the required improvements must be prepared and shall be based upon a design profile extending a minimum of 300 feet beyond the limit of construction at a grade and alignment as approved by the Riverside County Transportation Department. Completion of road improvements does not imply acceptance for maintenance by County.

NOTE: Before you prepare the street improvement plan(s), please review the Street Improvement Plan Policies and Guidelines from the Transportation Department Web site: www.rctlma.org/trans/land_dev_plan_check_guidelines.html.

90.TRANS. 21 USE - LANDSCAPING COMM/IND RECOMMND

Landscaping within public road right-of-way shall comply with Transportation Department standards and Ordinance 461 and shall require approval by the Transportation Department. Landscaping shall be improved within Varner Road, Harry Oliver Trail and Haskell Road.

Assurance of continuous maintenance is required by processing and filing a 'Landscape Maintenance Agreement' through the Transportation Department Plan Check Division; or if desired the developer may file an application for annexation into Landscaping and Lighting Maintenance District No. 89-1-Consolidated by contacting the Transportation Department at (951) 955-6767.

90.TRANS. 23 USE - R-O-W DEDICATION RECOMMND

Sufficient public street right-of-way along Harry Oliver Trail shall be conveyed for public use to provide for a 44-foot half-width right-of-way including standard corner cutback.

Sufficient public street right-of-way along Haskell Road shall be conveyed for public use to provide for a 37-foot half-width right-of-way.



May 4, 2011

TO: Jay Olivas, Project Planner

FROM: Steven Hinde, CIH, Senior Industrial Hygienist

RE: Conditional Use Permit No. 3170 Revised Permit No. 1, Amd. No. 1

A noise study is not required looking at the diagram, zoning, existing buildings they have on the site, and proposed two story administrative building, "Transit Hub" and "park and ride" lot. However, they still need to follow:

1. Facility-related noise, as projected to any portion of any surrounding property containing a "sensitive receiver, habitable dwelling, hospital, school, library or nursing home", must not exceed the following worst-case noise levels 45 dB(A) – 10 minute noise equivalent level ("leq"), between the hours of 10:00 p.m. to 7:00 a.m. (nighttime standard) and 65 dB (A) – 10 minute leq, between 7:00 a.m. and 10:00 p. m. (daytime standard).

Please contact Steve Hinde if you have any questions.



Established in 1918 as a public agency

Coachella Valley Water District

Directors:

Patricia A. Larson, President
Peter Nelson, Vice President
Tellis Codekas
Franz W. De Klotz
Russell Kitahara

Officers:

Steven B. Robbins, General Manager-Chief Engineer
Julia Fernandez, Board Secretary

Redwine and Sherrill, Attorneys

January 21, 2011

File: 0163.1
0421.1
0721.1
040619-1

Jay Olivas
Riverside County Planning Department
4080 Lemon Street, 9th Floor
Riverside, CA 92501

Dear Mr. Olivas:

Subject: Conditional Use Permit No. 3170, Revised Permit No. 1

This project lies within the area of the Whitewater River Basin Thousand Palms Flood Control Project, which will provide regional flood protection to a portion of the Thousand Palms area. The District is currently in the design phase of this project. Upon completion of the design phase, developers and property owners within the area may be required to dedicate right-of-way for regional flood control facilities and/or participate in the financing of a portion of these facilities. Until construction of this project is complete, the developer shall comply with Riverside County Ordinance 458.

Prior to issuance of grading or new building permits for Conditional Use Permit No. 3170, Revised Permit No. 1, the developer shall comply with Riverside County Ordinance 458 as amended in the preparation of on-site flood protection facilities for this project. The developer will be required to pay fees and submit plans to the District as part of the flood management review. Flood protection measures shall include establishing a finished floor elevation at or above the flood depth, constructing erosion protection for the foundation of the buildings and allowing reasonable conveyance of off-site flow through the property.

Construction of block walls may be in violation of Ordinance 458. When the District reviews a project for compliance with Ordinance 458, block walls are reviewed carefully and seldom found to be compatible with the goals of Ordinance 458. Block walls can cause diversion and concentration of storm flows onto adjacent properties and thus be in violation of Ordinance 458 and California drainage law.

Walls must be constructed in a manner that will not increase the risk of off-site stormwater flows on the adjacent properties. This can be accomplished by constructing open sections in the wall to accommodate flow-through. To achieve this, the District requires that if walls are constructed in a special flood hazard area, at least 50 percent of the total lineal footage of the wall be constructed of wrought iron fencing or similar material that will provide for flow-through of off-site stormwater flows. Construction materials used within the open sections must extend the entire vertical wall height so not to obstruct flow at the finish grade/surface.

This area is shown to be subject to shallow flooding and is designated Zone AO, depth 1 foot on Federal Flood Insurance rate maps, which are in effect at this time.

The county shall require mitigation measures to be incorporated into the development to prevent flooding of the site or downstream properties. These measures shall require on-site retention of the incremental increase of runoff from the 100-year storm.

This project lies within the Study Area Boundary of the Coachella Valley Water Management Plan (September 2002).

The District will provide domestic water and sanitation service to this area and such service will be subject to the satisfaction of terms and conditions established by the District and exercised from time to time, including but not limited to fees and charges, water conservation measures, etc.

This notice of domestic water and sanitation service availability can only be used and relied upon for the specific property for which it was issued and shall expire three (3) years from date of issuance.

Domestic water and sanitation service remains at all times subject to changes in regulations adopted by the District's Board of Directors including reductions in or suspensions of service.

The District requires detail, repair and lube auto shops and car washes to install an oil and sand separator, including a sample box, sanitary tee and running trap with cleanout, prior to any discharge to its sanitation facilities. The size of the oil and sand separator will be determined and approved by the District. Installation of the oil and sand separator will be inspected by the District.

Plans for grading, landscaping and irrigation systems shall be submitted to the District for review. This review is for ensuring efficient water management.

Jay Olivas
Riverside County
Planning Department

3

January 21, 2011

The project lies within the Upper Whitewater River Subbasin/Mission Creek Subbasin Area of Benefit. Groundwater production within the area of benefit is subject to a replenishment assessment in accordance with the State Water Code.

All water wells owned or operated by an entity producing more than 25 acre-feet of water during any year must be equipped with a water-measuring device. A District Water Production Metering Agreement is required to ensure District staff regularly read and maintain this water-measuring device.

If you have any questions, please call Tesfaye Demissie, Stormwater Engineer, extension 2605.

Yours very truly,

Mark L. Johnson
Director of Engineering

cc: Kevin Fleming
18401 Von Karman Avenue
Suite 110
Irvine, CA 92612

Sunline Transit Agency
32505 Harry Oliver Trail
Thousand Palms, CA 92276

Alan French
Riverside County Transportation Dept
4080 Lemon Street, 8th Floor
Riverside, CA 92501

Majeed Farshad
Riverside County Dept of Transportation
38-686 El Cerrito Road
Palm Desert, CA 92211

Michael Mistica
Dept of Environmental Health
Post Office Box 1280
Riverside, CA 92502

bc: Tommy Fowlkes

TD:chleng\sw2011IVAN\CUP 3170

Geo 040619-1



ORIGINATOR

DEPARTMENT OF TRANSPORTATION
DISTRICT 8
PLANNING

164 WEST 4th STREET, 6th FLOOR, MS 725
SAN BERNARDINO, CA 92401-1400
PHONE (909) 383-4557
FAX (909) 383-5936
TTY (909) 383-6300



*Flex your power!
Be energy efficient!*

May 2, 2011

Mr. Jay Olivas
Riverside County Planning Department
P. O. Box 1409
Riverside, CA 92502-1409

Dear Mr. Olivas:

Fast Track Conditional Use Permit No. 3170, Revised Permit No. 1
Assessor Parcel Numbers: 693-010-018, 693-040-019, 693-040-026, 693-040-028

The California Department of Transportation reviewed the site plans for the renovation of the Sunline Transit Agency facility. This will consist of a new two-story administration building, a Transit Hub, park and ride lot, and electrical yard on the existing transit facility property, which is located north of Varner Road and west of Harry Oliver Trail.

The project does not appear to impact the interchange improvements to Ramon Road/Bob Hope Driver and Monterey Avenue or will result in any substantial direct impact to State transportation facilities.

We appreciate the opportunity to offer comments concerning this project. If you have any questions regarding this letter, please contact me at (909) 383-4557 for assistance.

Sincerely,

A handwritten signature in black ink, appearing to read "Daniel Kopulsky".

DANIEL KOPULSKY
Office Chief
Community Planning/Local Development Review



Riverside County
Waste Management Department

Hans W. Kernkamp, General Manager-Chief Engineer

January 26, 2011

Jay Olivas, Project Planner
Riverside County Planning Department
P.O. Box 1409
Riverside, CA 92502-1409

RE: Conditional Use Permit No. 3170, Revised Permit No. 1 — Sunline Transit Proposes to Consolidate a Multi-Building Administration Complex of an Existing Transit Facility (Phase 1) into a New Administration Center and Add a Bus Shelter (Phase 2), and Construct a Storage Building and Rearrange Existing Land Uses (Phase 3)

Dear Mr. Olivas:

The Riverside County Waste Management Department (Department) has reviewed the proposed project, located southerly of Haskell Road, westerly of Harry Oliver Trail, and northerly of Varner Road in Thousand Palms. This project will involve substantial construction and demolition activities and thus generation of substantial construction and demolition waste. In order to mitigate the project's potential solid waste impacts and to help the County's efforts to comply with State law in diverting solid waste from landfill disposal, the Department is recommending that the following conditions be made a part of any Conditions of Approval for the project:

1. **Prior to issuance of a building permit for EACH PHASE**, the applicant shall submit three (3) copies of a Recyclables Collection and Loading Area plot plan to the Riverside County Waste Management Department for review and approval. The plot plan shall conform to ***Design Guidelines for Recyclables Collection and Loading Areas***, provided by the Waste Management Department, and shall show the location of and access to the collection area for recyclable materials, along with its dimensions and construction detail, including elevation/façade, construction materials and signage. The plot plan shall clearly indicate how the trash and recycling enclosures shall be accessed by the hauler.
2. **Prior to final building inspection**, the applicant shall construct the recyclables collection and loading area in compliance with the Recyclables Collection and Loading Area plot plan, as approved and stamped by the Riverside County Waste Management Department and as verified by the Riverside County Building and Safety Department through site inspection.
3. a) **Prior to issuance of a building and/or demolition permit for EACH PHASE**, a ***Waste Recycling Plan (WRP)*** shall be submitted to the Waste Management Department for approval. At a minimum, the WRP must identify the materials (i.e., concrete, asphalt, wood, etc.) that will be generated by construction and development, the projected amounts, the measures/methods that will be taken to recycle, reuse, and/or reduce the amount of materials, the facilities and/or haulers that will be utilized, and the targeted recycling or reduction rate. Materials can be

taken directly to recycling facilities (Riverside County Waste Management Department, Recycling Section, can be contacted directly at 951.486.3200 for a list of facilities), or arrangements can be made through the franchise hauler and/or a construction clean-up business.

- b) **Prior to issuance of an occupancy permit**, evidence (i.e., receipts or other type verification) to demonstrate project compliance with the approved WRP shall be presented by the project proponent to the Planning/Recycling Division of the Riverside County Waste Management Department in order to clear the project for occupancy permits.
4. Since hazardous materials are not accepted at Riverside County landfills, the project proponent shall take any hazardous wastes, including paint used during construction, to facilities that are permitted to receive them, in accordance with local, state, and federal regulations. For further information, please contact the Household Hazardous Waste Collection Program at 1-800-304-2226.
 5. Use mulch and/or compost in the development and maintenance of landscaped areas within the project boundaries. Recycle green waste through either onsite composting of grass, i.e., leaving the grass clippings on the lawn, or sending separated green waste to a composting facility.
 6. Consider xeriscaping and using drought tolerant/low maintenance vegetation in all landscaped areas of the project.

Thank you for the opportunity to review this proposal. If you have any questions, please call me at (951) 486-3283.

Sincerely,



Sung Key Ma
Urban/Regional Planner IV

RIVERSIDE COUNTY

STANLEY SNIFF, SHERIFF
CORONER-PUBLIC ADMINISTRATOR



Sheriff

CORONER-PUBLIC ADMINISTRATOR

73-705 Gerald Ford Dr., Palm Desert, CA 92211 760-836-1600

January 25, 2011

County of Riverside
Planning Department
38686 El Cerrito Rd
Palm Desert, CA 92211

ATTN: Jay Olivas, Project Manager
RE: Conditional Use Permit No: 3170

Thank you for the providing me with the attached conditional use permit map for the Sunline Transit Agency located northerly of Varner Rd., westerly of Harry Oliver Trail, southerly of Haskel Road.

Request: An existing public transit facility with compressed natural gas fueling station, solar generation plant and fueling station proposes to consolidate its multi-building into a two story administration building of approximately 30,000 square feet up to 30 feet in height and add a "transit hub" to include a 1,600 square foot bus waiting shelter and 42,000 square foot "park and ride" lot.

Based on the tentative parcel map, I have concluded there is no Crime Prevention Through Environmental Design (CPTED) issues presented to the Riverside County Sheriff's Department.

I respectfully request copies of the completed site, floor, elevation, lighting and landscaping plans for this project when they become available so I can provide you with meaningful CPTED recommendations.

Respectfully,

A handwritten signature in black ink, appearing to read "W. Sullivan".

Lt. William Sullivan
Riverside County Sheriff's Department

Attachment

CC: Lieutenant William Sullivan

We Shape Our Buildings, Therefore; They Shape Us...Sir Winston Churchill



Fast Track Authorization

Case No.: _____

FTA No. 2011-04

SUPERVISOR Benoit

SUPERVISORIAL DISTRICT: 4

Company/Developer: SunLine Transit Agency

Contact: Mikel Ogleseby

Address: 32-505 Harry Oliver Trail, Thousand Palms, CA 92276

Phone: (760) 343-3456

Fax: (760) 343-3097

Email: moglesby@sunline.org

Architectural Firm: IBI Group

Contact: Laura Jew

Address: 18401 Von Karman, Ste 110, Irvine, CA 92612

Phone: (949) 833-5588

Fax: (949) 833-5511

Email: laura.jew@ibigroup.com

Engineering Firm: _____

Contact: _____

Address: _____

Phone: _____

Fax: _____

Email: _____

Land Use Application(s): General Plan Amendment Conditional Use Permit Change of Zone

Plot Plan Parcel Map Other _____

Site Information:

Assessor's Parcel Number(s) 693040028, 693040026, 693040018, 693040019

Cross Streets/Address 32505 Harry Oliver Trail, Thousand Palms, CA 92276

Site Acreage 12.87

Land Use Designation LI

Zoning M-SC

Redevelopment Project Area/Sub-Area: Thousand Palms Sub-Area

Unincorporated Community Thousand Palms

Project Information (Estimate Amounts):

Eligibility Criteria Full Time Jobs Capital Investment Annual Taxable Sales Board of Supervisors Child Care

Workforce Housing Other _____

Permanent Full-Time Jobs _____

Wages per Hour _____

Construction Jobs _____

Capital Investment \$5,000,000.00

Taxable Sales _____

Bldg Size: _____

Project Type

Commercial

Industrial

Office

Residential

Other Transit

Industrial Classification Flex

Other _____

Commercial Classification N/A

Other _____

Project Description:

Phased project for Sunline Transit Authority. When all phases are completed, the project will have 2 new buildings, fueling station, bus terminals and public parking.

The Economic Development Agency (EDA) hereby acknowledges that the above referenced development warrants special consideration relative to the permit processing as required by the County of Riverside, and encourages the affected County agencies to immediately institute "FAST TRACK" procedures to enable the project to proceed as soon as possible, in accordance with Board Fast Track Policy A-32. *This Authorization contains preliminary project information and serves as a basis for determining "FAST TRACK" eligibility. During the county's development review process, the proposed project size and configuration may be altered.

Lisa Brandl 4/1/11
Lisa Brandl, Managing Director of EDA Date

COUNTY OF RIVERSIDE

TRANSPORTATION AND LAND MANAGEMENT AGENCY

Planning Department

Ron Goldman · Planning Director

Set ID# CC006088

APPLICATION FOR LAND USE AND DEVELOPMENT

CHECK ONE AS APPROPRIATE:

PLOT PLAN
 REVISED PERMIT

CONDITIONAL USE PERMIT
 PUBLIC USE PERMIT

TEMPORARY USE PERMIT
 VARIANCE

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED.

CASE NUMBER:

CUPO3170R

DATE SUBMITTED:

12/22/10
November 17, 2010

APPLICATION INFORMATION

Applicant's Name: Kevin Fleming

E-Mail: kfleming@IBIGroup.com

Mailing Address: 18401 Von Karman Ave Suite 110

Irvine City CA State 92612 ZIP

Daytime Phone No: (949) 833-5588 Fax No: (949) 833-5511

Engineer/Representative's Name: Same as above E-Mail: _____

Mailing Address: _____

_____ Street

_____ City _____ State _____ ZIP

Daytime Phone No: (____) _____ Fax No: (____) _____

Property Owner's Name: Sunline Transit Agency E-Mail: _____

Mailing Address: 32505 Harry Oliver Trail

Thousand Palms City CA State 92276 ZIP

_____ City _____ State _____ ZIP

Daytime Phone No: (760) 343-3456 Fax No: (____) _____

If the property is owned by more than one person, attach a separate page that reference the application case number and lists the names, mailing addresses, and phone numbers of all persons having an interest in the real property or properties involved in this application.

The Planning Department will primarily direct communications regarding this application to the person identified above as the Applicant. The Applicant may be the property owner, representative, or other assigned agent.

EA 42407 / CFG-05773

Riverside Office · 4080 Lemon Street, 9th Floor
P.O. Box 1409, Riverside, California 92502-1409
(951) 955-3200 · Fax (951) 955-3157

Desert Office · 38686 El Cerrito Road
Palm Desert, California 92211
(760) 863-8277 · Fax (760) 863-7555

APPLICATION FOR LAND USE AND DEVELOPMENT

AUTHORIZATION FOR CONCURRENT FEE TRANSFER

The signature below authorizes the Planning Department and TLMA to expedite the refund and billing process by transferring monies among concurrent applications to cover processing costs as necessary. Fees collected in excess of the actual cost of providing specific services will be refunded. If additional funds are needed to complete the processing of your application, you will be billed, and processing of the application will cease until the outstanding balance is paid and sufficient funds are available to continue the processing of the application. The applicant understands the deposit fee process as described above, and that there will be NO refund of fees which have been expended as part of the application review or other related activities or services, even if the application is withdrawn or the application is ultimately denied.

All signatures must be originals ("wet-signed"). Photocopies of signatures are **not** acceptable.

Kevin S. Fleming

PRINTED NAME OF APPLICANT

[Handwritten Signature]

SIGNATURE OF APPLICANT

AUTHORITY FOR THIS APPLICATION IS HEREBY GIVEN:

I certify that I am/we are the record owner(s) or authorized agent and that the information filed is true and correct to the best of my knowledge. An authorized agent must submit a letter from the owner(s) indicating authority to sign the application on the owner's behalf.

All signatures must be originals ("wet-signed"). Photocopies of signatures are **not** acceptable.

C. Mikel Oglesby

PRINTED NAME OF PROPERTY OWNER(S)

[Handwritten Signature]

SIGNATURE OF PROPERTY OWNER(S)

PRINTED NAME OF PROPERTY OWNER(S)

SIGNATURE OF PROPERTY OWNER(S)

If the property is owned by more than one person, attach a separate sheet that references the application case number and lists the printed names and signatures of all persons having an interest in the property.

See attached sheet(s) for other property owners signatures.

PROPERTY INFORMATION:

Assessor's Parcel Number(s): 693-040-028, 693-040-026, 693-040-018, 693-040-019

Section: 25 Township: 2S Range: 3E

Approximate Gross Acreage: 23.553 Acres

General location (nearby or cross streets): North of Redlands Fwy 10, South of Haskell Rd., East of Varner Rd., West of Harry Oliver Trail.

Thomas Brothers map, edition year, page number, and coordinates: 2008, pg. 788 - D3, D2

APPLICATION FOR LAND USE AND DEVELOPMENT

Proposal (describe project, indicate the number of proposed lots/parcels, units, and the schedule of the subdivision, Vesting Map, PRD):

Sunline Transit Agency plans to consolidate its multi-building campus into a two story building of approx. 30,000 sf. In addition, a "kiss and ride" transit hub that includes a 1,600 sf bus waiting shelter and 42,000 sf of parking will be located at the southwest property corner. The three proposed parcels for this project are 693-040-026, 693-040-028 693-040-019, and 693-040-018.

Related cases filed in conjunction with this request:

CuP03170 / S1 / S2 / S3 / S4

Is there a previous development application filed on the same site: Yes No

If yes, provide Case No(s). _____ (Parcel Map, Zone Change, etc.)

E.A. No. (if known) _____ E.I.R. No. (if applicable): _____

Have any special studies or reports, such as a traffic study, biological report, archaeological report, geological or geotechnical reports, been prepared for the subject property? Yes No

If yes, indicate the type of report(s) and provide a copy: GEOTECHNICAL REPORT

Is water service available at the project site: Yes No

If "No," how far must the water line(s) be extended to provide service? (No. of feet/miles) _____

Will the proposal eventually require landscaping either on-site or as part of a road improvement or other common area improvements? Yes No

Is sewer service available at the site? Yes No

If "No," how far must the sewer line(s) be extended to provide service? (No. of feet/miles) _____

Will the proposal result in cut or fill slopes steeper than 2:1 or higher than 10 feet? Yes No

How much grading is proposed for the project site?

Estimated amount of cut = cubic yards: 16,000 CY

Estimated amount of fill = cubic yards 16,000 CY

Does the project need to import or export dirt? Yes No

Import _____ Export _____ Neither _____

APPLICATION FOR LAND USE AND DEVELOPMENT

What is the anticipated source/destination of the import/export?

What is the anticipated route of travel for transport of the soil material?

How many anticipated truckloads? _____ truck loads.

What is the square footage of usable pad area? (area excluding all slopes) ADMIN. BLDG = 131,463.3
PARK & RIDE = 87,279.3 sq. ft.

Is the development proposal located within 8½ miles of March Air Reserve Base? Yes No

If yes, will any structure exceed fifty-feet (50') in height (above ground level)? Yes No

Does the development project area exceed more than one acre in area? Yes No

Is the development project located within any of the following watersheds (refer to Riverside County Land Information System (RCLIS) (<http://www3.tlma.co.riverside.ca.us/pa/rclis/index.html>) for watershed location)?

Santa Ana River Santa Margarita River San Jacinto River Whitewater River

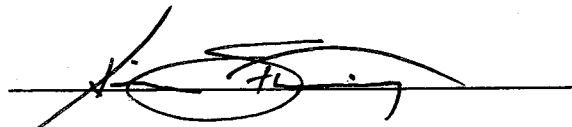
HAZARDOUS WASTE SITE DISCLOSURE STATEMENT

Government Code Section 65962.5 requires the applicant for any development project to consult specified state-prepared lists of hazardous waste sites and submit a signed statement to the local agency indicating whether the project is located on or near an identified site. Under the statute, no application shall be accepted as complete without this signed statement.

I (we) certify that I (we) have investigated our project with respect to its location on or near an identified hazardous waste site and that my (our) answers are true and correct to the best of my (our) knowledge. My (Our) investigation has shown that:

The project is not located on or near an identified hazardous waste site.

The project is located on or near an identified hazardous waste site. Please list the location of the hazardous waste site(s) on an attached sheet.

Owner/Representative (1)  Date 11/16/10
Owner/Representative (2) _____ Date _____

RIVERSIDE COUNTY GIS



Selected parcel(s):

693-040-018 693-040-019 693-040-026 693-040-028

IMPORTANT

Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

STANDARD WITH PERMITS REPORT

APNs

693-040-018-5
693-040-019-6
693-040-026-2
693-040-028-4

OWNER NAME / ADDRESS

693-040-018
SUNLINE TRANSIT AGENCY
ADDRESS NOT AVAILABLE

693-040-019
SUNLINE TRANSIT AGENCY

ADDRESS NOT AVAILABLE

693-040-026
SUNLINE TRANSIT AGENCY
ADDRESS NOT AVAILABLE

693-040-028
SUNLINE TRANSIT AGENCY
ADDRESS NOT AVAILABLE

MAILING ADDRESS

693-040-018
(SEE OWNER)
3205 HARRY OLIVER TR
THOUSAND PLMS CA. 92276

693-040-019
(SEE OWNER)
3205 HARRY OLIVER TR
THOUSAND PLMS CA. 92276

693-040-026
(SEE OWNER)
32505 HARRY OLIVER TRL
THOUSAND PLMS CA. 92276

693-040-028
(SEE OWNER)
P O BOX 2185
PALM SPRINGS CA. 92263

LEGAL DESCRIPTION

APN: 693040018
RECORDED BOOK/PAGE: RS 35/14
SUBDIVISION NAME: NOT AVAILABLE
LOT/PARCEL: 4, BLOCK: NOT AVAILABLE
, Por.TRACT NUMBER: NOT AVAILABLE

APN: 693040019
RECORDED BOOK/PAGE: RS 35/14
SUBDIVISION NAME: NOT AVAILABLE
LOT/PARCEL: 4, BLOCK: NOT AVAILABLE
, Por.TRACT NUMBER: NOT AVAILABLE

APN: 693040026
LEGAL DESCRIPTION IS NOT AVAILABLE
APN: 693040028
LEGAL DESCRIPTION IS NOT AVAILABLE

LOT SIZE

693-040-018
RECORDED LOT SIZE IS 1.32 ACRES

693-040-019
RECORDED LOT SIZE IS 0.65 ACRES

693-040-026
RECORDED LOT SIZE IS 8.11 ACRES

693-040-028
RECORDED LOT SIZE IS 12.78 ACRES

PROPERTY CHARACTERISTICS

693-040-018
NO PROPERTY DESCRIPTION AVAILABLE

693-040-019
NO PROPERTY DESCRIPTION AVAILABLE

693-040-026
NO PROPERTY DESCRIPTION AVAILABLE

693-040-028
NO PROPERTY DESCRIPTION AVAILABLE

PAGE: 788 GRID: D2, D3

CITY BOUNDARY/SPHERE

NOT WITHIN A CITY
NOT WITHIN A CITY SPHERE
ANNEXATION DATE: NOT APPLICABLE
NO LAFCO CASE # AVAILABLE
NO PROPOSALS

MARCH JOINT POWERS AUTHORITY

NOT IN THE JURISDICTION OF THE MARCH JOINT POWERS AUTHORITY

INDIAN TRIBAL LAND

NOT IN A TRIBAL LAND

SUPERVISORIAL DISTRICT (ORD. 813)

JOHN BENOIT, DISTRICT 4

TOWNSHIP/RANGE

T4SR6E SEC 19

ELEVATION RANGE

216/220 FEET

PREVIOUS APN

693-040-018
693-040-005

693-040-019
693-040-006

693-040-026
693-040-015

693-040-028
693-040-007

PLANNING

LAND USE DESIGNATIONS

Zoning not consistent with the General Plan.
LI

AREA PLAN (RCIP)

WESTERN COACHELLA VALLEY

GENERAL PLAN POLICY OVERLAYS

NOT IN A GENERAL PLAN POLICY OVERLAY AREA

GENERAL PLAN POLICY AREAS

NONE

ZONING CLASSIFICATIONS (ORD. 348)

I-P
M-SC

ZONING DISTRICTS AND ZONING AREAS

THOUSAND PALMS DISTRICT

ZONING OVERLAYS

NOT IN A ZONING OVERLAY

SPECIFIC PLANS

NOT WITHIN A SPECIFIC PLAN

AGRICULTURAL PRESERVE

NOT IN AN AGRICULTURAL PRESERVE

REDEVELOPMENT AREAS

PROJECT AREA NAME: DCPA
SUBAREA NAME: THOUSAND PALMS
AMENDMENT NUMBER: 0
ADOPTION DATE: DEC. 23, 1986
ACREAGE: 302 ACRES

AIRPORT INFLUENCE AREAS

NOT IN AN AIRPORT INFLUENCE AREA

AIRPORT COMPATIBILITY ZONES
NOT IN AN AIRPORT COMPATIBILITY ZONE

ENVIRONMENTAL

CVMSHCP (COACHELLA VALLEY MULTI-SPECIES HABITAT CONSERVATION PLAN) CONSERVATION AREA
NOT IN A CONSERVATION AREA

CVMSHCP FLUVIAL SAND TRANSPORT SPECIAL PROVISION AREAS
NOT IN A FLUVIAL SAND TRANSPORT SPECIAL PROVISION AREA

WRMSHCP (WESTERN RIVERSIDE COUNTY MULTI-SPECIES HABITAT CONSERVATION PLAN) CELL GROUP
NOT IN A CELL GROUP

WRMSHCP CELL NUMBER
NOT IN A CELL

HANS/ERP (HABITAT ACQUISITION AND NEGOTIATION STRATEGY/EXPEDITED REVIEW PROCESS)
NONE

VEGETATION (2005)
NO DATA AVAILABLE

FIRE

HIGH FIRE AREA (ORD. 787)
NOT IN A HIGH FIRE AREA

FIRE RESPONSIBILITY AREA
NOT IN A FIRE RESPONSIBILITY AREA

DEVELOPMENT FEES

CVMSHCP FEE AREA (ORD. 875)
WITHIN THE COACHELLA VALLEY MSHCP FEE AREA

WRMSHCP FEE AREA (ORD. 810)
NOT WITHIN THE WESTERN RIVERSIDE COUNTY MSHCP FEE AREA

ROAD & BRIDGE DISTRICT
NOT IN A DISTRICT

EASTERN TUMF (TRANSPORTATION UNIFORM MITIGATION FEE ORD. 673)
IN OR PARTIALLY WITHIN A TUMF FEE AREA. SEE MAP FOR MORE INFORMATION.
In EAST

WESTERN TUMF (TRANSPORTATION UNIFORM MITIGATION FEE ORD. 824)
NOT WITHIN THE WESTERN TUMF FEE AREA

DIF (DEVELOPMENT IMPACT FEE AREA ORD. 659)
WESTERN COACHELLA VALLEY

SKR FEE AREA (STEPHEN'S KANGAROO RAT ORD. 663.10)
NOT WITHIN AN SKR FEE AREA.

DEVELOPMENT AGREEMENTS
NOT IN A DEVELOPMENT AGREEMENT AREA

TRANSPORTATION

CIRCULATION ELEMENT ULTIMATE RIGHT-OF-WAY
NOT IN A CIRCULATION ELEMENT RIGHT-OF-WAY

ROAD BOOK PAGE
187A

TRANSPORTATION AGREEMENTS

NOT IN A TRANSPORTATION AGREEMENT

CETAP (COMMUNITY AND ENVIRONMENTAL TRANSPORTATION ACCEPTABILITY PROCESS) CORRIDORS
NOT IN A CETAP CORRIDOR.

HYDROLOGY

FLOOD PLAIN REVIEW

FLOOD PLAIN MANAGEMENT REVIEW IS REQUIRED. CONTACT THE FLOOD PLAIN MANAGEMENT SECTION AT (760) 398-2651 EXT 2288 FOR INFORMATION.

WATER DISTRICT

CVWD

FLOOD CONTROL DISTRICT

COACHELLA VALLEY WATER DISTRICT

WATERSHED

WHITEWATER

GEOLOGIC

FAULT ZONE

NOT IN A FAULT ZONE

FAULTS

NOT WITHIN A 1/2 MILE OF A FAULT

LIQUEFACTION POTENTIAL

MODERATE

SUBSIDENCE

SUSCEPTIBLE

PALEONTOLOGICAL SENSITIVITY

LOW POTENTIAL.

FOLLOWING A LITERATURE SEARCH, RECORDS CHECK AND A FIELD SURVEY, AREAS MAY BE DETERMINED BY A QUALIFIED VERTEBRATE PALEONTOLOGIST AS HAVING LOW POTENTIAL FOR CONTAINING SIGNIFICANT PALEONTOLOGICAL RESOURCES SUBJECT TO ADVERSE IMPACTS.

MISCELLANEOUS

SCHOOL DISTRICT

PALM SPRINGS UNIFIED

COMMUNITIES

THOUSAND PALMS

COUNTY SERVICE AREA

NOT IN A COUNTY SERVICE AREA.

LIGHTING (ORD. 655)

ZONE B, 41.36 MILES FROM MT. PALOMAR OBSERVATORY

2000 CENSUS TRACT

044505

FARMLAND

OTHER LANDS

URBAN-BUILT UP LAND

TAX RATE AREAS

061087

- CITRUS PEST CONTROL 2
- COACH VAL CO WTR STORM WTR UNIT
- COACHELLA VALLEY COUNTY WATER
- COACHELLA VALLEY REC AND PARK
- COACHELLA VALLEY RESOURCE CONSER
- COUNTY FREE LIBRARY
- COUNTY STRUCTURE FIRE PROTECTION
- COUNTY WASTE RESOURCE MGMT DIST
- CSA 152

- CV MOSQ & VECTOR CONTROL
- CVC WTR IMP DST 1 DEBT SV
- DESERT COMMUNITY COLLEGE
- DESERT HOSPITAL
- GENERAL
- GENERAL PURPOSE
- PALM SPRINGS PUBLIC CEMETERY
- PALM SPRINGS UNIF B & I 1992-A
- PALM SPRINGS UNIFIED SCHOOL
- PROJECT 4-1000 PALMS
- RIV CO REG PARK & OPEN SPACE
- RIV. CO. OFFICE OF EDUCATION
- SUPERVISORIAL ROAD DISTRICT 4

SPECIAL NOTES
NO SPECIAL NOTES

CODE COMPLAINTS

Case #	Description	Start Date
NO CODE COMPLAINTS	NOT APPLICABLE	NOT APPLICABLE

BUILDING PERMITS

Case #	Description	Status
356701	COMMERCIAL MOBILEHOME INSTALLATION #2 *EXPIRED*	CONTACT THE BUILDING AND SAFETY RECORDS DEPARTMENT AT 951-955-2017
356705	COMMERCIAL MOBILEHOME INSTALLATION #3 *EXPIRED*	CONTACT THE BUILDING AND SAFETY RECORDS DEPARTMENT AT 951-955-2017
356706	MOBILEHOME INSTALLATION-LOCKER *EXPIRED*	CONTACT THE BUILDING AND SAFETY RECORDS DEPARTMENT AT 951-955-2017
356708	SITE PREP - LOCKER ROOM	CONTACT THE BUILDING AND SAFETY RECORDS DEPARTMENT AT 951-955-2017
356709	SITE PREP TO MH - #3	CONTACT THE BUILDING AND SAFETY RECORDS DEPARTMENT AT 951-955-2017
356710	SITE-PREP TO MOBILE HOME #2	CONTACT THE BUILDING AND SAFETY RECORDS DEPARTMENT AT 951-955-2017
356785	EARTHQUAKE BRACING TO MH #1	CONTACT THE BUILDING AND SAFETY RECORDS DEPARTMENT AT 951-955-2017
356786	EARTHQUAKE BRACING TO MH #6	CONTACT THE BUILDING AND SAFETY RECORDS DEPARTMENT AT 951-955-2017
356787	EARTHQUAKE BRACING TO MH #2	CONTACT THE BUILDING AND SAFETY RECORDS DEPARTMENT AT 951-955-2017
356789	EARTHQUAKE BRACING TO MH 7	CONTACT THE BUILDING AND SAFETY RECORDS DEPARTMENT AT 951-955-2017
356790	EARTHQUAKE BRACING TO MH #3	CONTACT THE BUILDING AND SAFETY RECORDS DEPARTMENT AT 951-955-2017
356791	EARTHQUAKE BRACING TO MH #8	CONTACT THE BUILDING AND SAFETY RECORDS DEPARTMENT AT 951-955-2017
356792	EARTHQUAKE BRACING TO MH #4	CONTACT THE BUILDING AND SAFETY RECORDS DEPARTMENT AT 951-955-2017
356793	EARTHQUAKE BRACING TO MH #9	CONTACT THE BUILDING AND SAFETY RECORDS DEPARTMENT AT 951-955-2017
356794	EARTHQUAKE BRACING TO MH #5	CONTACT THE BUILDING AND SAFETY RECORDS DEPARTMENT AT 951-955-2017
356795	EARTHQUAKE BRACING TO MH #10	CONTACT THE BUILDING AND SAFETY RECORDS DEPARTMENT AT 951-955-2017
357713	NGV FUELING STATION	CONTACT THE BUILDING AND SAFETY RECORDS DEPARTMENT AT 951-955-2017
358732	COMMERCIAL GRADING	CONTACT THE BUILDING AND SAFETY RECORDS DEPARTMENT AT 951-955-2017
360280	SEPTIC TANK	CONTACT THE BUILDING AND SAFETY RECORDS DEPARTMENT AT 951-955-2017
364503	SUPPLEMENTAL - GRADING PLAN AS GRADED	CONTACT THE BUILDING AND SAFETY RECORDS DEPARTMENT AT 951-955-2017
364841	TEMPORARY USE OF PERMANENT SERVICE	CONTACT THE BUILDING AND SAFETY RECORDS DEPARTMENT AT 951-955-2017
366582	ADD TO EXISTING SEPTIC	CONTACT THE BUILDING AND SAFETY RECORDS DEPARTMENT AT 951-955-2017
370812	TOWER	CONTACT THE BUILDING AND SAFETY RECORDS DEPARTMENT AT 951-955-2017
372760	CHANGE OF OCCUPANCY (DAYCARE CENTER)	CONTACT THE BUILDING AND SAFETY RECORDS DEPARTMENT AT 951-955-2017
372762	REPLACE SEPTIC SYSTEM	CONTACT THE BUILDING AND SAFETY

		RECORDS DEPARTMENT AT 951-955-2017
375900	COMMERICAL COACH-STORAGE/OFFICE #4	CONTACT THE BUILDING AND SAFETY RECORDS DEPARTMENT AT 951-955-2017
375975	SITE PREP-COMMERCIAL COACH #4	CONTACT THE BUILDING AND SAFETY RECORDS DEPARTMENT AT 951-955-2017
376832	EARTHQUAKE BRACING TO MH	CONTACT THE BUILDING AND SAFETY RECORDS DEPARTMENT AT 951-955-2017
383129	EARTHQUAKE BRACING TO MH	CONTACT THE BUILDING AND SAFETY RECORDS DEPARTMENT AT 951-955-2017
404841	EXPIRED - ADD BOILER ROOM AND HVAC TO MAINTENACE B	CONTACT THE BUILDING AND SAFETY RECORDS DEPARTMENT AT 951-955-2017
406746	SIGN - FLAG MOUNTED	CONTACT THE BUILDING AND SAFETY RECORDS DEPARTMENT AT 951-955-2017
414922	INSTALL VENTILATION SYSTEM FOR GARAGE	CONTACT THE BUILDING AND SAFETY RECORDS DEPARTMENT AT 951-955-2017
418643	REPLACE GENERATOR	CONTACT THE BUILDING AND SAFETY RECORDS DEPARTMENT AT 951-955-2017
BEL980498	ADD (11) LIGHT STANDARDS JACK-IN-THE-BOX	FINAL
BEL980513	TEMP CONST SERVICE (JACK-IN-THE-BOX)	FINAL
BEL980926	TEMP USE OF POWER AND GAS	FINAL
BGR100069	COMM GRADE FOR SUNLINE TRANSIT 1056 CUT 3943 FILL	ISSUED
BGR100069	COMM GRADE FOR SUNLINE TRANSIT 1056 CUT 3943 FILL	ISSUED
BGR972005	GRADING COMMERCIAL ROUGH FOR FAST FOOD RESTAURANT	FINAL
BGR990437	ROUGH & PRECISE GRADING FP99021	CANCELED
BME070289	A/C CHANGE OUT FOR ADMINISTRATION BLDG #2	FINAL
BMN020045	RE-INSTALLATION OF SAME M/H IN A DIFFERNT LOCATION	EXPIRED
BMN020046	SITE PREP FOR COMM. M/H 1056 SQFT	EXPIRED
BMN990049	MODULAR OFFICE BLDG. 520 SQ FT	EXPIRED
BMN990066	MODULAR OFFICE BLDG. 300 SQ FT	EXPIRED
BNR000107	CARPORT AND SOLAR PANEL FACILITY	EXPIRED
BNR020074	1.4MG ELEC. GENERATOR NATURAL GAS FOR PLANT	FINAL
BNR100074	ADDTN TO MAINT BLDG-3110SF	ISSUED
BNR100149	BUS SHELTER WITH RESTROOMS/TICKET OFFICE	PLANCK
BNR100149	BUS SHELTER WITH RESTROOMS/TICKET OFFICE	PLANCK
BNR100150	2-STORY ADMINISTRATION BUILDING	PLANCK
BNR970160	FAST FOOD RESTAURANT AND TRASH ENCLOSURE 2775 SQ F	FINAL
BNR980143	SOLAR HYDROGEN GENERATION FACILITY	FINAL
BNR990051	PUBLIC GARAGE ONLY 300 SQ FT	FINAL
BNR990170	ADD BATH ADDITION TO MODULAR	FINAL
BNR990175	MULTI-PURPOSE BLDG 1860 SQ FT (PREV BNR990051)	FINAL
BPL990126	NEW SEPTIC SYSTEM 3000GAL	EXPIRED
BPL990139	ABANDON 3 SEPTIC TANKS ADD CESSPOOL	EXPIRED
BPL990491	ADD (2) 6X20 SEEPAGE PITS	EXPIRED
BSN090067	NOT AVAILABLE	VOID
BSN090068	MONUMENT SIGN ON SE CORNER FOR SUNLINE TRANSIT	EXPIRED
BSN970052	1 POLE SIGN/3 WALL SIGNS/4 DIRECTIONAL/2 MENU/SPKR	FINAL
BXX004038	LNG FUELING STATION/CONTAINMENT AREA	FINAL
BXX100227	NEW BUS CANOPY-APPRX 12350SF	FINAL
BXX100228	SPRAY PAINT BOOTH-896SF	ISSUED
BXX980936	TRASH ENCLOSURE JACK-IN-THE-BOX	FINAL
BXX980972	PERIMETER GARDEN WALL 1272 SQ FT	FINAL
BXX992483	ADD RAMP TO TAXI OPERATIONS	FINAL
FP11007	FLD PLAIN REVW-CUP03170R1	APPLIED
FP11007	FLD PLAIN REVW-CUP03170R1	APPLIED
FP99021	FLOOD MANAGEMENT REVIEW CVWD	APPROVED

ENVIRONMENTAL HEALTH PERMITS

Case #	Description	Status
EHS081194	SEWER VERIFICATION	APPLIED
EHS100744	SEWER VERIFICATION	APPLIED
EHS100745	SEWER VERIFICATION	APPLIED
EHS101094	SEPTIC VERIFICATION	APPLIED

PLANNING PERMITS

Case #	Description	Status
CFG05773	CA FISH AND GAME FOR EA42407	PAID
CFG05773	CA FISH AND GAME FOR EA42407	PAID
CFG05773	CA FISH AND GAME FOR EA42407	PAID
CFG05773	CA FISH AND GAME FOR EA42407	PAID
COC04692	CONDITIONAL COC TO CERTIFY PARCEL A 111 AC	ABANDON
CUP03170R1	AN EXISTING PUBLIC TRANSIT FACILITY WITH	DRT
CUP03170R1	AN EXISTING PUBLIC TRANSIT FACILITY WITH	DRT
CUP03170R1	AN EXISTING PUBLIC TRANSIT FACILITY WITH	DRT
CUP03170R1	AN EXISTING PUBLIC TRANSIT FACILITY WITH	DRT
CUP03170R1	AN EXISTING PUBLIC TRANSIT FACILITY WITH	DRT
CUP03170S2	SUB CONF TO ADD HYDROGEN/SOLAR FUEL PLANT	APPROVED
CUP03170S3	SUB CONF TO CONSTRUCT MULTI-PURPOSE BUILDING	APPROVED
CUP03170S4	SC TO ADD 2 MODULAR OFFICES	APPROVED
CUP03170S5	INSTALL SOLAR STRUCTURES AND NATURAL GAS CONVERTOR	APPROVED
CUP03170S6	CONSTRUCTION OF A 1-BAY EXPANSION TO A EXISTING 3-	APPROVED
CUP03170S6	CONSTRUCTION OF A 1-BAY EXPANSION TO A EXISTING 3-	APPROVED
CUP03170	COMPRESSED NATURAL GAS REFUELING STATION-***FAST T	APPROVED
EA36420	EA FOR CUP 3170 COMPRESSED NATURAL GAS FUELING STA	APPROVED
EA42407	EA FOR CUP03170R1	DRT
EA42407	EA FOR CUP03170R1	DRT
EA42407	EA FOR CUP03170R1	DRT
EA42407	EA FOR CUP03170R1	DRT
GEO02252	GEOLOGIC REPORT FOR CUP3170R1	APPLIED
HR00045	2 HR CO GEOLOGIST FEE FOR PP 14893	PAID
LLA05361	ADJUST TWO CONTIGUOUS LOT LINES / SUNLINE TRANSIT	APPROVED
LLA05361	ADJUST TWO CONTIGUOUS LOT LINES / SUNLINE TRANSIT	APPROVED
MT100537	CUP03170S6	VOID
MT100537	CUP03170S6	VOID
MT100538	NOT AVAILABLE	APPLIED
PAR01289	PROPOSES TO CONSOLIDATE IT'S MULTI-BUILDING CAMPUS	APPLIED
PAR01289	PROPOSES TO CONSOLIDATE IT'S MULTI-BUILDING CAMPUS	APPLIED
PAR01289	PROPOSES TO CONSOLIDATE IT'S MULTI-BUILDING CAMPUS	APPLIED
PAR01289	PROPOSES TO CONSOLIDATE IT'S MULTI-BUILDING CAMPUS	APPLIED
PP13605	LANDSCAPE PLAN FOR CUP 3170	APPROVED
PP13627	DAY CARE CENTER (FAMILY CARE HOME) FOR 12 CHILDREN	APPROVED
PP13929	TEMPORARY OUTDOOR EVENT: RODEO	VOID
PP14587	SIGN	APPROVED
PP14893	DRIVE THRU/86 SEAT RESTAURANT/JACK-IN-THE-BOX	APPROVED
PP15204	SIGNS FOR FAST FOOD RESTAURANT PER PP14893	APPROVED
PP15278	LANDSCAPING PLAN FOR JACK IN THE BOX	APPROVED
PP24041	2 ADVERTISING MONUMENTS SIGNS FOR SUNLINE TRANSIT	APPROVED
PP24782	TRANSIT HUB/1,600 SF BUS WAITING/42,000 SF PARKING	APPLIED
PP24782	TRANSIT HUB/1,600 SF BUS WAITING/42,000 SF PARKING	APPLIED
PP24782	TRANSIT HUB/1,600 SF BUS WAITING/42,000 SF PARKING	APPLIED
PP24782	TRANSIT HUB/1,600 SF BUS WAITING/42,000 SF PARKING	APPLIED
SC00561	SC TO CUP 3170 - BOILER ROOM ADDITION TO CUP 3170	WITHDRWN

REPORT PRINTED ON...Thu May 26 14:59:40 2011
Version 110502

PROPERTY OWNERS CERTIFICATION FORM

I, VINNIE NGUYEN, certify that on 6/7/2011,

The attached property owners list was prepared by Riverside County GIS,

APN (s) or case numbers CUPO3170R1 For

Company or Individual's Name Planning Department,

Distance buffered 800'.

Pursuant to application requirements furnished by the Riverside County Planning Department, Said list is a complete and true compilation of the owners of the subject property and all other property owners within 600 feet of the property involved, or if that area yields less than 25 different owners, all property owners within a notification area expanded to yield a minimum of 25 different owners, to a maximum notification area of 2,400 feet from the project boundaries, based upon the latest equalized assessment rolls. If the project is a subdivision with identified off-site access/improvements, said list includes a complete and true compilation of the names and mailing addresses of the owners of all property that is adjacent to the proposed off-site improvement/alignment.

I further certify that the information filed is true and correct to the best of my knowledge. I understand that incorrect or incomplete information may be grounds for rejection or denial of the application.

NAME: Vinnie Nguyen

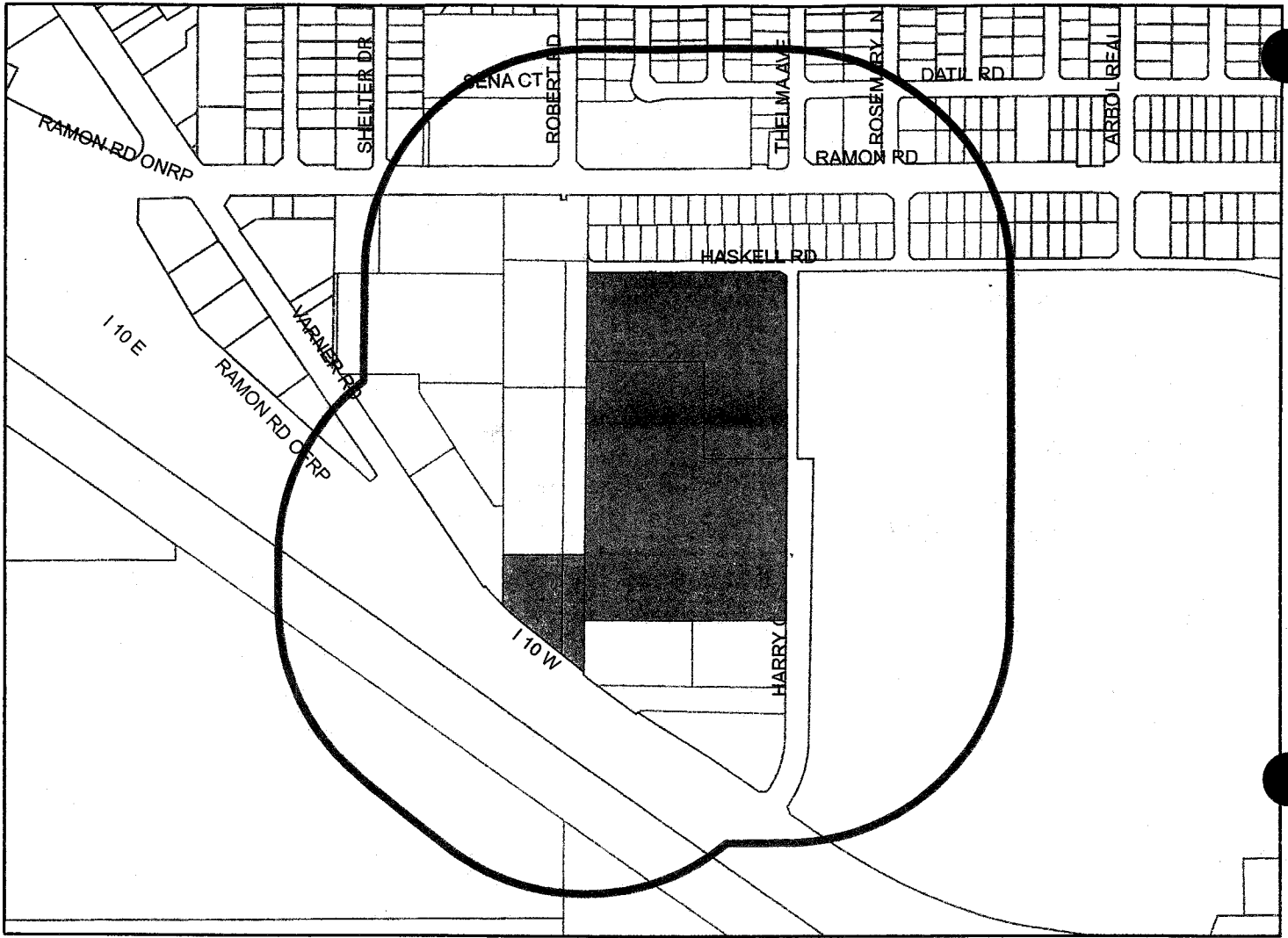
TITLE GIS Analyst

ADDRESS: 4080 Lemon Street 2nd Floor

Riverside, Ca. 92502

TELEPHONE NUMBER (8 a.m. - 5 p.m.): (951) 955-8158

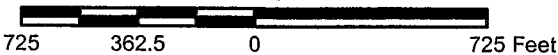
800 feet buffer



Selected Parcels

693-010-016	693-010-019	650-134-010	693-020-019	650-331-016	650-136-008	650-111-024	650-331-014	650-331-015	693-010-001
650-333-013	693-010-008	650-134-009	650-164-032	650-164-033	650-331-017	685-010-005	693-040-003	693-040-004	650-164-001
650-137-003	650-137-004	685-010-009	650-332-013	650-134-007	650-134-008	650-333-012	693-040-009	650-164-031	650-132-007
650-132-005	650-133-011	650-133-012	650-137-001	650-137-002	693-020-001	693-020-002	693-020-003	693-020-004	693-020-005
693-020-006	693-020-007	693-020-008	693-020-009	693-020-010	693-020-011	693-020-012	693-020-013	693-020-014	693-020-015
693-020-016	693-020-017	693-020-018	693-020-021	693-020-022	693-020-023	693-020-024	693-020-025	693-020-026	693-020-027
693-020-028	693-020-029	693-020-030	693-020-031	693-020-032	693-020-033	693-020-034	693-020-035	693-031-001	693-031-002
693-031-003	693-031-004	693-031-005	693-031-006	693-031-011	693-031-012	693-031-013	693-031-014	693-031-015	693-031-016
650-332-012	650-136-007	650-164-002	650-111-038	650-331-029	650-111-037	650-111-039	650-332-014	693-010-017	693-010-002

rst 90 parcels shown



Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

ASMT: 650111024, APN: 650111024
COUNTY OF RIVERSIDE SERVICE AREA NO 12
3133 MISSION INN AVE
RIVERSIDE CA 92507

ASMT: 650136007, APN: 650136007
NORMAN MIKKELSON
45 COPPERCREST
ALISO VIEJO CA 92656

ASMT: 650111038, APN: 650111038
RAMON DEV
C/O HLDG LLC
77900 AVENUE OF THE STATES
PALM DESERT CA 92211

ASMT: 650136008, APN: 650136008
CHARLES RANGEL, ETAL
31847 THELMA AVE
THOUSAND PLMS, CA. 92276

ASMT: 650111039, APN: 650111039
ROBERT DELGAGNON, ETAL
73612 HIGHWAY 111
PALM DESERT CA 92260

ASMT: 650137004, APN: 650137004
HIGGINS ROBERT & amp, ETAL
14 HEADLAND DR
RCH PALOS VERDES CA 90275

ASMT: 650132007, APN: 650132007
LABORERS INTL UNION OF NO AMERICA LO 1
1128 E LA CADENA DR
RIVERSIDE CA 92507

ASMT: 650164001, APN: 650164001
HATTER BARBARA J ESTATE OF, ETAL
C/O TERRY J HATTER JR
312 N SPRINGS ST
LOS ANGELES CA 90012

ASMT: 650134008, APN: 650134008
JAMES MICHAUD, ETAL
220 MIRA VERDE DR
LA HABRA CA 90631

ASMT: 650164002, APN: 650164002
OSCAR TAGLE, ETAL
72765 DATIL RD
THOUSAND PLMS, CA. 92276

ASMT: 650134009, APN: 650134009
FEDERAL NATL MORTGAGE ASSN
C/O RECONTRUST CO
1800 TAPO CANYON SV2202
SIMI VALLEY CA 93063

ASMT: 650164031, APN: 650164031
KRM VICTORIA
P O BOX 215
THOUSAND PLMS CA 92276

ASMT: 650134010, APN: 650134010
ANGELINA GARCIA
33080 WISHING WELL TR
CATHEDRAL CY CA 92234

ASMT: 650164033, APN: 650164033
FEDERICO BARAJAS, ETAL
45390 MICHELL
INDIO CA 92201

ASMT: 650331012, APN: 650331012
WILLARD PALM, ETAL
4850 W 95TH ST
INGLEWOOD CA 90301

ASMT: 650332013, APN: 650332013
IRFAN QAZI, ETAL
31840 VIA PARED
THOUSAND PLMS, CA. 92276

ASMT: 650331013, APN: 650331013
THOMAS OBRIEN, ETAL
31842 ROBERT RD
THOUSAND PLMS, CA. 92276

ASMT: 650332014, APN: 650332014
ROSEMARIE MORALES
31841 VIA VENTANA
THOUSAND PLMS, CA. 92276

ASMT: 650331015, APN: 650331015
CVWD
P O BOX 1058
COACHELLA CA 92236

ASMT: 650332015, APN: 650332015
VERONICA BARAJAS
31815 VIA VENTANA
THOUSAND PLMS, CA. 92276

ASMT: 650331016, APN: 650331016
BRYAN DOWNER
31837 VIA PARED
THOUSAND PLMS, CA. 92276

ASMT: 650333012, APN: 650333012
KATHLEEN DEROSA
35200 CATHEDRAL CYN 174
CATHEDRAL CY CA 92234

ASMT: 650331017, APN: 650331017
FEDERICO GALLEGRO, ETAL
31811 VIA PARED
THOUSAND PLMS, CA. 92276

ASMT: 650333013, APN: 650333013
DEBRA MOFFATT, ETAL
31838 VIA VENTANA
THOUSAND PLMS, CA. 92276

ASMT: 650331029, APN: 650331029
REDEVELOPMENT AGENCY COUNTY OF RIVEI
C/O REAL ESTATE DIVISION
P O BOX 1180
RIVERSIDE CA 92502

ASMT: 685010003, APN: 685010003
SOUTHERN PACIFIC TRANSPORTATION CO
1700 FARNAM ST 10TH FL S
OMAHA NE 68102

ASMT: 650332012, APN: 650332012
MICHAEL BIZIER
P O BOX 2882
PALM DESERT CA 92261

ASMT: 685010005, APN: 685010005
FIRST ST FINANCIAL CENTER, ETAL
C/O CATANZARITE LAW
2331 W LINCOLN AVE
ANAHEIM CA 92801

ASMT: 685010009, APN: 685010009
 HOPE PARK 85
 40004 COOK ST NO 3
 PALM DESERT CA 92211

ASMT: 693020021, APN: 693020021
 MARIO SANPAOLO
 250 SAN BERNANCIO RD
 SALINAS CA 93908

ASMT: 693010001, APN: 693010001
 DAVID SANCHEZ
 65959 HWY 86
 THERMAL CA 92274

ASMT: 693031016, APN: 693031016
 MARIO SANPAOLO
 250 SAN BENANCIO RD
 SALINAS CA 93908

ASMT: 693010002, APN: 693010002
 RRM PROP LTD
 C/O JOSEPH P OCCHIUTO
 P O BOX 3600
 CORONA CA 92878

ASMT: 693040002, APN: 693040002
 SUPERIOR READY MIX CONCRETE
 C/O ARNOLD VELDKAMP
 1508 W MISSION RD
 ESCONDIDO CA 92029

ASMT: 693010008, APN: 693010008
 DEWEY REAL PROP MGMT
 72395 VARNER RD
 THOUSAND PLMS, CA. 92276

ASMT: 693040004, APN: 693040004
 GRANITE CONST CO
 P O BOX 50085
 WATSONVILLE CA 95077

ASMT: 693010017, APN: 693010017
 RPM PROP
 NO 421
 28241 CROWN VALLEY PKWY
 LAGUNA NIGUEL CA 92677

ASMT: 693040009, APN: 693040009
 KCM PARTNERS
 26833 WESTVALE RD
 PALOS VERDES PENINSULA CA 90274

ASMT: 693010019, APN: 693010019
 ABSOLUTE STORAGE THOUSAND PALMS VAR
 C/O WATERMARKE PROP
 410 N MAIN ST
 CORONA CA 92880

ASMT: 693040019, APN: 693040019
 SUNLINE TRANSIT AGENCY
 3205 HARRY OLIVER TR
 THOUSAND PLMS CA 92276

ASMT: 693020019, APN: 693020019
 ATEF JABER
 72711 RAMON RD
 THOUSAND PLMS, CA. 92276

ASMT: 693040020, APN: 693040020
 SEYMOUR LAZAR, ETAL
 334 HERMOSA PL
 PALM SPRINGS CA 92262

ASMT: 693040022, APN: 693040022
SEYMOUR LAZAR, ETAL
334 W HERMOSA PL
PALM SPRINGS CA 92262

ASMT: 693040025, APN: 693040025
U STORE IT
C/O PTA USI 291
P O BOX 320099
ALEXANDRIA VA 22320

ASMT: 693040026, APN: 693040026
SUNLINE TRANSIT AGENCY
32505 HARRY OLIVER TRL
THOUSAND PLMS CA 92276

ASMT: 693040028, APN: 693040028
SUNLINE TRANSIT AGENCY
P O BOX 2185
PALM SPRINGS CA 92263

Owner/Applicant:
Sunline Transit Agency
35 Harry Oliver Trail
Thousand Palms, CA 92276

Eng-Rep:
IBI Group
18401 Von Karman Avenue, Ste. 110
Irvine, CA 92612

Extra Labels

NOTICE OF PUBLIC HEARING BEFORE THE BOARD OF SUPERVISORS OF RIVERSIDE COUNTY ON A FAST TRACK CONDITIONAL USE PERMIT REVISED PERMIT NO. 1 IN THE THOUSAND PALMS ZONING DISTRICT – WESTERN COACHELLA VALLEY AREA PLAN, FOURTH SUPERVISORIAL DISTRICT AND NOTICE OF INTENT TO ADOPT A MITIGATED NEGATIVE DECLARATION

NOTICE IS HEREBY GIVEN that a public hearing at which all interested persons will be heard, will be held before the Board of Supervisors of Riverside County, California, on the 1st Floor Board Chambers, County Administrative Center, 4080 Lemon Street, Riverside, on **Tuesday, August 16, 2011 at 1:30 P.M.** to consider the application submitted by Sunline Transit Agency – IBI Group, on **Fast Track Conditional Use Permit No. 3170 Revised Permit No. 1 (FTA No. 2011-04)**, in which an existing public transit facility with compressed natural gas fueling station, hydrogen solar fuel generation plant and fueling station proposes to consolidate its multi-building campus into a new two-story administration building of approximately 25,000 square feet at a building height of 30 feet along with a “Transit Hub” to include a 1,600 square foot bus waiting shelter at a building height of 14 feet and 42,000 square feet of parking for a “park and ride” lot, and add a 650 square foot electrical yard (“the project”). The project is located northerly of Interstate 10 and Varner Road, southerly of Haskell Road at 32505 Harry Oliver Trail in Thousand Palms Zoning District – Western Coachella Valley Area Plan, Fourth Supervisorial District.

The Planning Department has determined that the project will not have a significant effect on the environment and recommends the adoption of a Mitigated Negative Declaration for **Environmental Assessment No. 42407**.

The project case file may be viewed from the date of this notice until the public hearing, Monday through Thursday, from 7:30 a.m. to 5:30 p.m. at the Clerk of the Board of Supervisors at 4080 Lemon Street, 1st Floor, Riverside, California 92501, and at the Riverside County Planning Department at 4080 Lemon Street, 12th Floor, Riverside, California 92501.

FOR FURTHER INFORMATION REGARDING THIS PROJECT, PLEASE CONTACT JAY OLIVAS, PROJECT PLANNER, AT (951) 955-1195 OR EMAIL jolivas@rctlma.org.

Any person wishing to testify in support of or in opposition to the project may do so in writing between the date of this notice and the public hearing, or may appear and be heard at the time and place noted above. All written comments received prior to the public hearing will be submitted to the Board of Supervisors and the Board of Supervisors will consider such comments, in addition to any oral testimony, before making a decision on the project.

If you challenge the above item in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence to the Planning Commission or Board of Supervisors at, or prior to, the public hearing. Be advised that as a result of the public hearing and the consideration of all public comment, written and oral, the Board of Supervisors may amend, in whole or in part, the project and/or the related environmental document. Accordingly, the designations, development standards, design or improvements, or any properties or lands within the boundaries of the project, may be changed in a way other than specifically proposed.

Please send all written correspondence to: Clerk of the Board, 4080 Lemon Street, 1st Floor, Post Office Box 1147, Riverside, CA 92502-1147

Dated: July 25, 2011

Kecia Harper-Ihem
Clerk of the Board
By: Cecilia Gil, Board Assistant

16-5 of 08-16-11

EL*MSIS95028347

BC: 92502114747

UNABLE TO FORWARD
VACANT
RETURN TO SENDER

929 DE 1 NIXIE 00 07/27/11

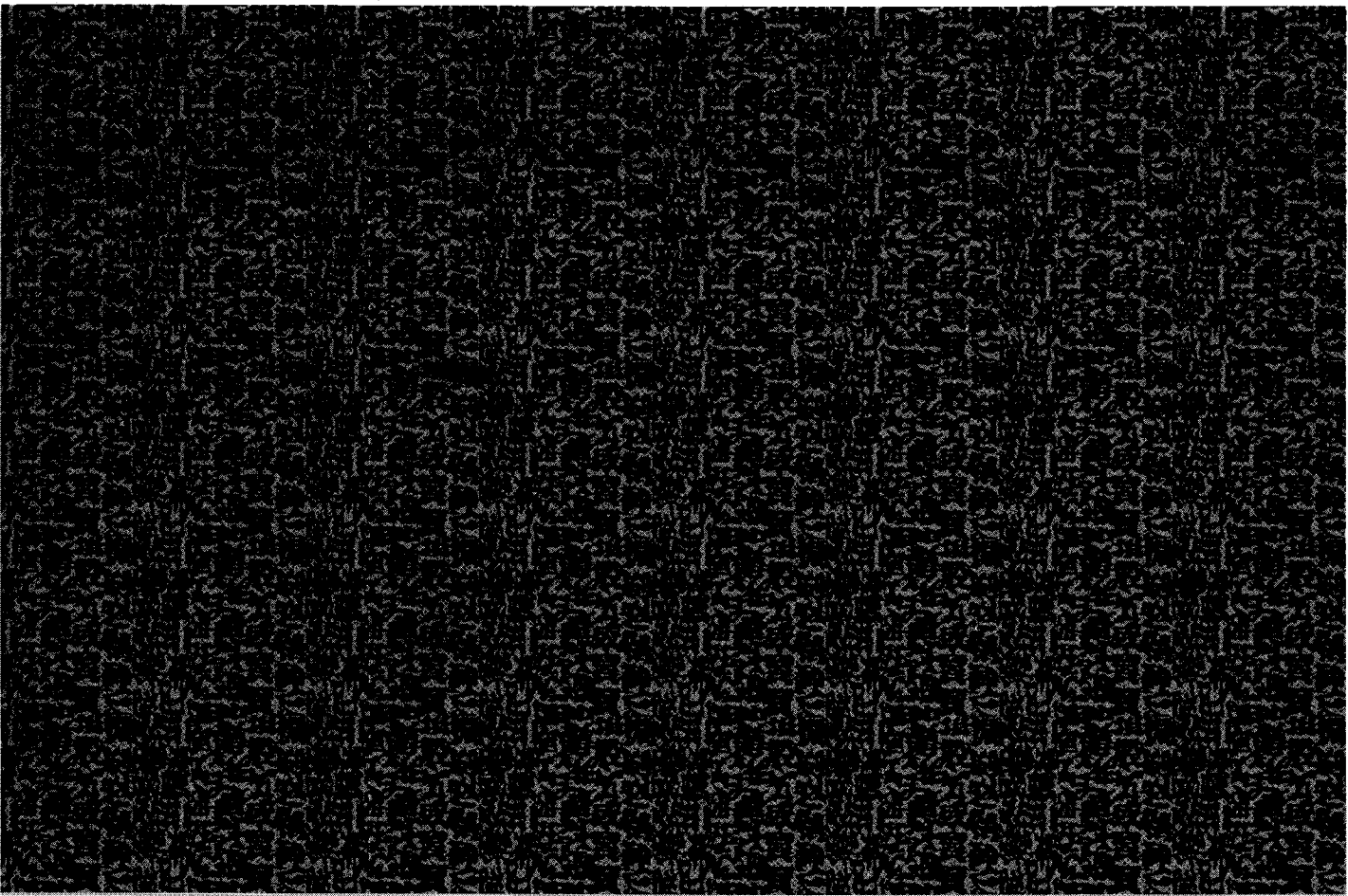
RECEIVED RIVERSIDE COUNTY
CLERK / BOARD OF SUPERVISORS

2011 AUG - 1 PM 48

ASMT: 650333012, APN: 650333012
KATHLEEN DEROSA
35200 CATHEDRAL CYN 174
CATHEDRAL CY CA 92234

PUBLIC HEARING NOTICE
This may affect your property

Riverside County Clerk of the Board
County Administrative Center
4080 Lemon Street, 1st Floor Annex
P. O. Box 1147
Riverside, CA 92502-1147



REMOVE SIDE EDGES FIRST
THEN FOLD AND TEAR THIS STUB ALONG PERFORATION

NOTICE OF PUBLIC HEARING BEFORE THE BOARD OF SUPERVISORS OF RIVERSIDE COUNTY ON A FAST TRACK CONDITIONAL USE PERMIT REVISED PERMIT NO. 1 IN THE THOUSAND PALMS ZONING DISTRICT – WESTERN COACHELLA VALLEY AREA PLAN, FOURTH SUPERVISORIAL DISTRICT AND NOTICE OF INTENT TO ADOPT A MITIGATED NEGATIVE DECLARATION

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Dated: July 25, 2011

Kecia Harper-Ihem
Clerk of the Board
By: Cecilia Gil, Board Assistant

16.5 of 08-16-11

|||||

EL*ML9250214747

BC: 92502114747 *1977-08195-29-3

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UNDELIVERABLE TO ADDRESSEE
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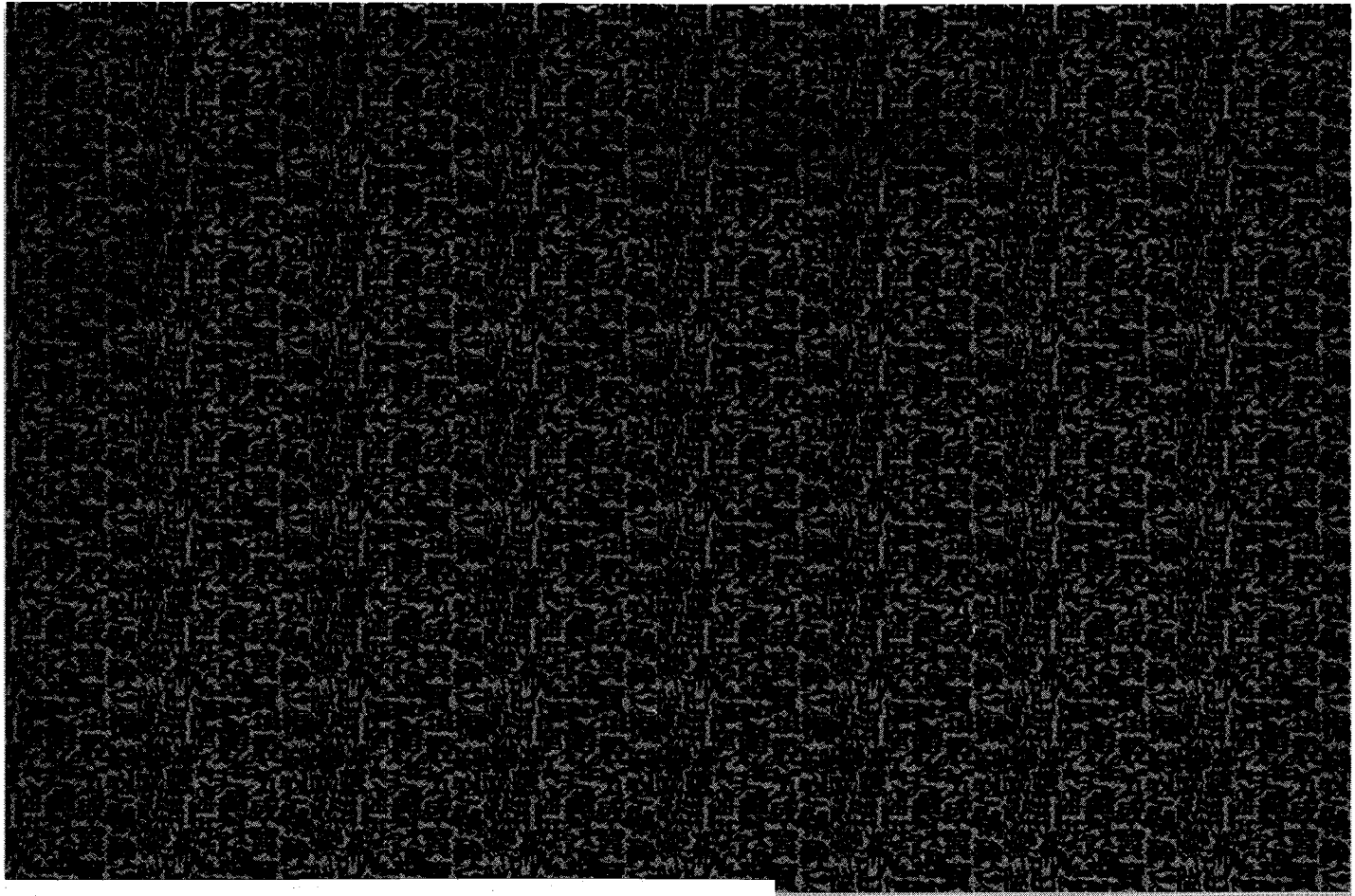
2011 AUG -2 PM 1:17

NIXIE 923 DE 1 06 07/29/11

ASMT: 693040028, APN: 693040028
SUNLINE TRANSIT AGENCY
P O BOX 2185
PALM SPRINGS CA 92263

PUBLIC HEARING NOTICE
This may affect your property

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County Administrative Center
4080 Lemon Street, 1st Floor Annex
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Riverside, CA 92502-1147



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The Desert Sun

mydesert.com

750 N. Gene Autry Trail
 Palm Springs, CA 92262
 Billing Inquiries: (866) 875-0854
 Main Office: (760) 322-8889

ADVERTISING INVOICE/STATEMENT

Make Checks payable to DESERT SUN PUBLISHING CO.
 P.O. Box 677368 Dallas, TX 75267-7368
 A finance charge of 1.5% per month(18% Annually) will be
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89

RIVERSIDE COUNTY-BOARD OF SUP.
 PO BOX 1147
 RIVERSIDE CA 92502-1147

Customer No.	Invoice No.
RIV069	0004099364
For the Period	Thru
06/27/11	07/31/11
Due Date	Amount Due
08/15/11	6,339.88
AMOUNT PAID	

PLEASE RETURN THIS TOP SECTION WITH PAYMENT IN THE
 ENCLOSED ENVELOPE AND INCLUDE YOUR CUSTOMER NUMBER
 ON REMITTANCE.

Date	EDT	Class	Description	Times Run	Col	Depth	Total Size	Rate	Amount
0627			BALANCE FORWARD						7,014.48
0705			PAYMENT - THANK YOU						3,915.00-
0623	CLS	0001	CECILIA NO 2138 NOTICE T	2	2	59.00	236.00		205.88
0701	CLS	0001	CECILIA NO 2243 NOTICE O	2	2	694.00	2776.00		1,168.04
0706	CLS	0001	CECILIA NO 2284 NOTICE O	4	2	77.00	616.00		271.64
0715	CLS	0001	CECILIA NO 2409 NOTICE O	2	2	129.00	516.00		230.14
0716	CLS	0001	CECILIA NO 2430 NOTICE O	2	2	62.00	248.00		118.92
0720	CLS	0001	CECILIA NO 2462 BOARD OF	2	2	83.00	332.00		153.78
0724	CLS	0001	CECILIA NO 2522 NOTICE O	2	2	104.00	416.00		188.64
0724	CLS	0001	CECILIA NO 2523 BOARD OF	2	2	124.00	496.00		221.84
0727	CLS	0001	CECILIA NO 2532 NOTICE O	2	2	102.00	408.00		185.32
0727	CLS	0001	CECILIA NO 2533 NOTICE O	2	2	95.00	380.00		173.70
0731	CLS	0001	CECILIA NO 2603 NOTICE O	2	2	60.00	240.00		115.60
0731	CLS	0001	CECILIA NO 2604 NOTICE O	2	2	115.00	460.00		206.00
									RECEIVED RIVERSIDE COUNTY CLERK / BOARD OF SUPERVISORS 2011 AUG - 8 PM 3:00
Current		Over 30 Days	Over 60 Days	Over 90 Days	Over 120 Days	Total Due			
3,240.40		3,099.48	.00	.00	.00	6,339.88			
Contract Type	Contract Qnty.	Expiration Date	Current Usage	Total Used	Quantity Remaining	Salesperson			
						MOELLER			

*Planning
 16.5 of 08/16/11*

The Advertiser shall make payment within 15 days of the billing date indicated on Company's statement, and, in the event that it fails to make payment within such time, Company may reject advertising copy and / or immediately cancel this contract and Advertiser agrees to indemnify Company for all expenses incurred in connection with the collection of amounts payable under this contract, including but not limited to collection fees, attorney's fees and court costs. If this agreement is cancelled due to Advertiser's failure to make timely payment, Company may rebill the Advertiser for the outstanding balance due at the open or earned contract rate, whichever is applicable.

TO ENSURE PROPER CREDIT, PLEASE RETURN THE TOP SECTION AND INCLUDE YOUR CUSTOMER NUMBER ON REMITTANCE.

Customer Number	Name	Invoice Number	Amount Paid
RIV069	RIVERSIDE COUNTY-BOARD OF SUP.		

The Desert Sun
750 N Gene Autry Trail
Palm Springs, CA 92262
760-778-4578 / Fax 760-778-4731

Certificate of Publication

State Of California ss:
County of Riverside

Advertiser:

RIVERSIDE COUNTY-BOARD OF SUP.
4080 LEMON ST
RIVERSIDE CA 925013

2000272217

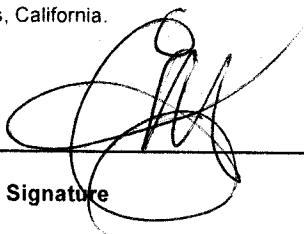
I am over the age of 18 years old, a citizen of the United States and not a party to, or have interest in this matter. I hereby certify that the attached advertisement appeared in said newspaper (set in type not smaller than non pariel) in each and entire issue of said newspaper and not in any supplement thereof on the following dates, to wit:

Newspaper: .The Desert Sun

7/27/2011

I acknowledge that I am a principal clerk of the printer of The Desert Sun, printed and published weekly in the City of Palm Springs, County of Riverside, State of California. The Desert Sun was adjudicated a newspaper of general circulation on March 24, 1988 by the Superior Court of the County of Riverside, State of California Case No. 191236.

I declare under penalty of perjury that the foregoing is true and correct. Executed on this 27th day of July, 2011 in Palm Springs, California.



Declarant's Signature

No 2533
NOTICE OF PUBLIC HEARING BEFORE THE BOARD OF SUPERVISORS OF RIVERSIDE COUNTY ON A FAST TRACK CONDITIONAL USE PERMIT REVISED PERMIT NO. 1 IN THE THOUSAND PALMS ZONING DISTRICT - WESTERN COACHELLA VALLEY AREA PLAN, FOURTH SUPERVISORIAL DISTRICT AND NOTICE OF INTENT TO ADOPT A MITIGATED NEGATIVE DECLARATION

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Dated: July 25, 2011
Kecia Harper-Ihem
Clerk of the Board
By: Cecilia Gil, Board Assistant

Published: 7/27/11

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