

SUBMITTAL TO THE BOARD OF SUPERVISORS  
COUNTY OF RIVERSIDE, STATE OF CALIFORNIA

803 B



FROM: TLMA - Planning Department

SUBMITTAL DATE:  
February 2, 2012

SUBJECT: PLOT PLAN NO. 23635 (Fast Track Authorization No. 2007-29) – Applicant: Chelsea Property Group, Inc. – Fifth/Fifth Supervisorial District – Location: Northerly of Seminole Drive, southerly of Martin Road, easterly of Johnson Lane, westerly of Millard Pass – 39.46 Acres – Zoning: Scenic Highway Commercial (C-P-S) – REQUEST: The applicant proposes to add 158,492 square feet of retail space and 1,124 parking spaces to an existing outlet center.

RECOMMENDED MOTION:

**ADOPT** a MITIGATED NEGATIVE DECLARATION for ENVIRONMENTAL ASSESSMENT NO. 42199, based on the findings incorporated in the initial study and the conclusion that the project will not have a significant effect on the environment; and,

**APPROVE** PLOT PLAN NO. 23635, subject to the attached conditions of approval, and based upon the findings and conclusions incorporated in the staff report.

*Carolyn Syms Luna*  
Carolyn Syms Luna  
Planning Director

Initials:  
CSL:wb

MINUTES OF THE BOARD OF SUPERVISORS

On motion of Supervisor Ashley, seconded by Supervisor Stone and duly carried, IT WAS ORDERED that the above matter is approved as recommended.

Ayes: Buster, Stone, Benoit and Ashley  
Nays: None  
Absent: Tavaglione  
Date: March 20, 2012  
xc: Planning, Co.Co., Applicant

Kecia Harper-Ihem  
Clerk of the Board  
By *[Signature]*  
Deputy

Prev. Agn. Ref.

District: 5/5

Agenda Number:

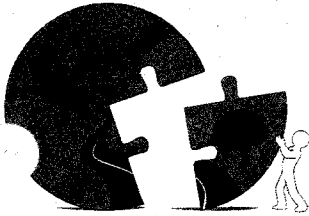
16.4

REVIEWED BY EXECUTIVE OFFICE

DATE: 2/9/12  
Tina Grande

Departmental Concurrence

Dep't Recomm.:  Consent  Policy  
Per Exec. Ofc.:  Consent  Policy



# RIVERSIDE COUNTY PLANNING DEPARTMENT

Determination Date: 3/21/12  
Checked by: [Signature]

**Carolyn Syms Luna**  
Director

TO:  Office of Planning and Research (OPR)  
P.O. Box 3044  
Sacramento, CA 95812-3044  
 County of Riverside County Clerk

FROM: Riverside County Planning Department  
 4080 Lemon Street, 12th Floor  
P. O. Box 1409  
Riverside, CA 92502-1409  
 38686 El Cerrito Road  
Palm Desert, California 92211

**SUBJECT: Filing of Notice of Determination in compliance with Section 21152 of the California Public Resources Code.**

PP23635 / EA42013 / CFG 5362  
Project Title/Case Numbers

Wendell Bugtai County Contact Person  
951-955-2419 Phone Number

N/A  
State Clearinghouse Number (if submitted to the State Clearinghouse)

Simon Property Group Project Applicant  
105 Eisenhower Parkway, Roseland, New Jersey 07068 Address

PLOT PLAN NO. 23635 proposes to add 158,492 square feet of retail space and 872 parking spaces to an existing outlet center located in Cabazon.  
Project Location

Project is located northerly of Seminole Drive, southerly of Martin Road, easterly of Johnson Lane, westerly of Millard Pass.  
Project Description

This is to advise that the Riverside County Board of Supervisors, as the lead agency, has approved the above-referenced project on February 28, 2012, and has made the following determinations regarding that project:

1. The project WILL NOT have a significant effect on the environment.
2. Mitigated Negative Declaration was prepared for the project pursuant to the provisions of the California Environmental Quality Act (\$2,101.50 + \$64.00).
3. Mitigation measures WERE made a condition of the approval of the project.
4. A Mitigation Monitoring and Reporting Plan/Program WAS adopted.
5. A statement of Overriding Considerations WAS NOT adopted for the project.

This is to certify that the Mitigated Negative Declaration, with comments, responses, and record of project approval is available to the general public at: Riverside County Planning Department, 4080 Lemon Street, 12th Floor, Riverside, CA 92501.

[Signature] Signature  
Board Assistant Title  
3/20/12 Date

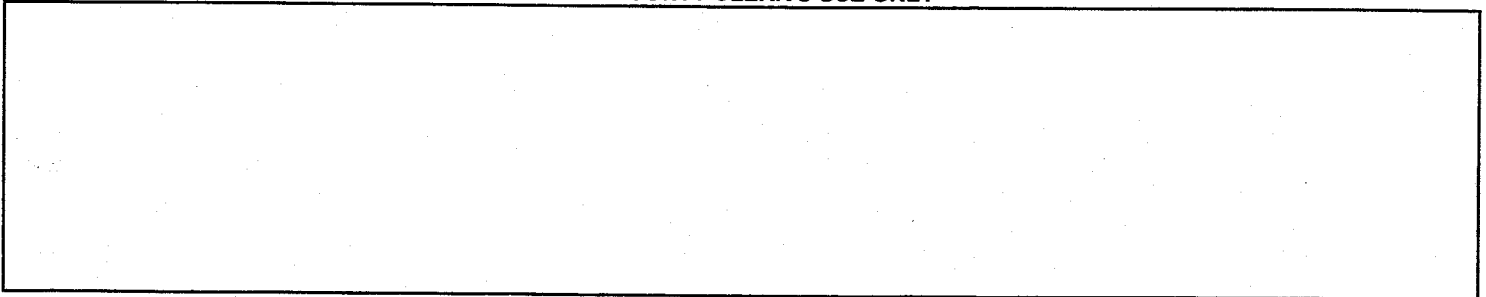
Date Received for Filing and Posting at OPR: \_\_\_\_\_

DM/rj  
Revised 8/25/2009  
Y:\Planning Master Forms\CEQA Forms\NOD Form.doc

Please charge deposit fee case#: ZEA42013 ZCFG 5362

MAR 20 2012/6.4

FOR COUNTY CLERK'S USE ONLY



COUNTY OF RIVERSIDE  
SPECIALIZED DEPARTMENT RECEIPT  
Permit Assistance Center

J\* REPRINTED \* R0808000

4080 Lemon Street  
Second Floor  
Riverside, CA 92502  
(951) 955-3200

39493 Los Alamos Road  
Suite A  
Murrieta, CA 92563  
(951) 694-5242

38686 El Cerrito Rd  
Indio, CA 92211  
(760) 863-8271

\*\*\*\*\*  
\*\*\*\*\*

Received from: CHELSEA PROPERTY GROUP, INC \$64.00  
paid by: CK 84157  
CALIFORNIA FISH & GAME FOR EA42013 (PP23635)  
paid towards: CFG05362 CALIF FISH & GAME: DOC FEE  
at parcel: 48650 SEMINOLE DR CABA  
appl type: CFG3

By \_\_\_\_\_ Aug 01, 2008 11:40  
MBRASWEL posting date Aug 01, 2008

\*\*\*\*\*  
\*\*\*\*\*

Account Code	Description	Amount
658353120100208100	CF&G TRUST: RECORD FEES	\$64.00

Overpayments of less than \$5.00 will not be refunded!

COUNTY OF RIVERSIDE  
SPECIALIZED DEPARTMENT RECEIPT  
Permit Assistance Center

J\* REPRINTED \* R0810860

4080 Lemon Street  
Second Floor  
Riverside, CA 92502  
(951) 955-3200

39493 Los Alamos Road  
Suite A  
Murrieta, CA 92563  
(951) 694-5242

38686 El Cerrito Rd  
Indio, CA 92211  
(760) 863-8271

\*\*\*\*\*  
\*\*\*\*\*

Received from: CHELSEA PROPERTY GROUP, INC \$1,876.75  
paid by: CK 78535000  
CALIFORNIA FISH & GAME FOR EA42013 (PP23635)  
paid towards: CFG05362 CALIF FISH & GAME: DOC FEE  
at parcel: 48650 SEMINOLE DR CABA  
appl type: CFG3

By \_\_\_\_\_ Oct 07, 2008 10:17  
DOKEITH posting date Oct 07, 2008

\*\*\*\*\*  
\*\*\*\*\*

Account Code	Description	Amount
658353120100208100	CF&G TRUST	\$1,876.75

Overpayments of less than \$5.00 will not be refunded!

COUNTY OF RIVERSIDE  
SPECIALIZED DEPARTMENT RECEIPT  
Permit Assistance Center

J\* REPRINTED \* R1200421

4080 Lemon Street  
Second Floor  
Riverside, CA 92502  
(951) 955-3200

39493 Los Alamos Road  
Suite A  
Murrieta, CA 92563  
(951) 694-5242

38686 El Cerrito Rd  
Indio, CA 92211  
(760) 863-8271

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\*\*\*\*\*

Received from: CHELSEA PROPERTY GROUP, INC \$57.50  
paid by: CK 15098  
CALIFORNIA FISH & GAME FOR EA42013 (PP23635)  
paid towards: CFG05362 CALIF FISH & GAME: DOC FEE  
at parcel: 48650 SEMINOLE DR CABA  
appl type: CFG3

By \_\_\_\_\_ Jan 23, 2012 10:26  
GLKING posting date Jan 23, 2012

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Account Code	Description	Amount
658353120100208100	CF&G TRUST	\$57.50

Overpayments of less than \$5.00 will not be refunded!

\* VOID \* COUNTY OF RIVERSIDE  
SPECIALIZED DEPARTMENT RECEIPT  
Permit Assistance Center

J\* REPRINTED \* R1107035

4080 Lemon Street  
Second Floor  
Riverside, CA 92502  
(951) 955-3200

39493 Los Alamos Road  
Suite A  
Murrieta, CA 92563  
(951) 694-5242

38686 El Cerrito Rd  
Indio, CA 92211  
(760) 863-8271

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\*\*\*\*\*

Received from: CHELSEA PROPERTY GROUP, INC \$51.00  
paid by: CK 78536223  
CALIFORNIA FISH & GAME FOR EA42013 (PP23635)  
paid towards: CFG05362 CALIF FISH & GAME: DOC FEE  
at parcel: 48650 SEMINOLE DR CABA  
appl type: CFG3

By \_\_\_\_\_ Jul 18, 2011 11:22  
MGARDNER posting date Jul 18, 2011

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Account Code	Description	Amount
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Overpayments of less than \$5.00 will not be refunded!

COUNTY OF RIVERSIDE  
SPECIALIZED DEPARTMENT RECEIPT  
Permit Assistance Center

J\* REPRINTED \* R0900819

4080 Lemon Street  
Second Floor  
Riverside, CA 92502  
(951) 955-3200

39493 Los Alamos Road  
Suite A  
Murrieta, CA 92563  
(951) 694-5242

38686 El Cerrito Rd  
Indio, CA 92211  
(760) 863-8271

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\*\*\*\*\*

Received from: CHELSEA PROPERTY GROUP, INC \$116.25  
paid by: CK 78535022  
CALIFORNIA FISH & GAME FOR EA42013 (PP23635)  
paid towards: CFG05362 CALIF FISH & GAME: DOC FEE  
at parcel: 48650 SEMINOLE DR CABA  
appl type: CFG3

By \_\_\_\_\_ Jan 20, 2009 13:44  
MGARDNER posting date Jan 20, 2009

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\*\*\*\*\*

Account Code	Description	Amount
658353120100208100	CF&G TRUST	\$116.25

Overpayments of less than \$5.00 will not be refunded!

**Riverside County Board of Supervisors  
Request to Speak**

Submit request to Clerk of Board (right of podium),  
Speakers are entitled to three (3) minutes, subject  
Board Rules listed on the reverse side of this form.

**SPEAKER'S NAME:** Richard Whitman

**Address:** 67632 S NATOMA  
(only if follow-up mail response requested)

**City:** Cathedral City **Zip:** 92234

**Phone #:** 760-399-7022

**Date:** MAR 20-12 **Agenda #** 16.4

**PLEASE STATE YOUR POSITION BELOW:**

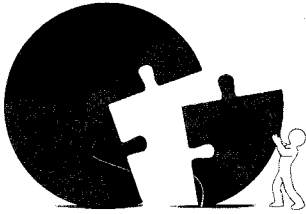
Position on "Regular" (non-appealed) Agenda Item:  
 Support  ~~Oppose~~  Neutral

**Note:** If you are here for an agenda item that is filed  
for "Appeal", please state separately your position on  
the appeal below:

24  
NO PROTEST  
 Support  ~~Oppose~~  Neutral

**I give my 3 minutes to:** \_\_\_\_\_





**RIVERSIDE COUNTY  
PLANNING DEPARTMENT**

*Carolyn Syms Luna  
Director*

803B

03-20-2012

**DATE:** February 2, 2012

**TO:** Clerk of the Board of Supervisors

**FROM:** Planning Department - Riverside Office

**SUBJECT:** (Fast Track Authorization No. 2007-29) PLOT PLAN NO. 23635 - Mitigated Negative

**Riverside County Board of Supervisors  
Request to Speak**

Submit request to Clerk of Board (right of podium),  
Speakers are entitled to three (3) minutes, subject  
Board Rules listed on the reverse side of this form.

**Supervisors:**

Declarative Action Required; CZ, GPA, SP, SPA)

per:

Response

Declaration

20 Day

30 day

Labels (app/agencies/property owner labels provided)

NO

**SPEAKER'S NAME:** Jack C. Payton

**Address:** 49965 Fuller Ave  
(only if follow-up mail response requested)

Meeting:

DA

**City:** CABAZON **Zip:** 92230

**Response within five days:**

MS

**Phone #:** 310 858 5305

**Date:** 2/20 **Agenda #:** 16.4

**Clerk for**

**on subject cases.**

**PLEASE STATE YOUR POSITION BELOW:**

**Position on "Regular" (non-appealed) Agenda Item:**

       **Support**             **Oppose**             **Neutral**

**Note:** If you are here for an agenda item that is filed  
for "Appeal", please state separately your position on  
the appeal below:

  X   **Support**             **Oppose**             **Neutral**

Office • 38686 El Cerrito Road  
Desert, California 92211  
• 8277 • Fax (760) 863-7555

1st

16.4

MAR 20 2012

Agenda Item No.:  
Area Plan: The Pass  
Zoning District: Pass & Desert  
Supervisorial District: Fifth  
Project Planner: Wendell Bugtai  
Board of Supervisors: February 28, 2012

FAST TRACK NO. 2007-29  
PLOT PLAN NO. 23635  
Environmental Assessment No. 42013  
Applicant: Chelsea Property Group  
Engineer/Rep: KCT Consultants, Inc.

## COUNTY OF RIVERSIDE PLANNING DEPARTMENT STAFF REPORT

### PROJECT DESCRIPTION AND LOCATION:

PLOT PLAN NO. 23635 proposes to add 158,492 square feet of retail space and 1,124 parking spaces to an existing outlet center located in Cabazon.

Project is located northerly of Seminole Drive, southerly of Martin Road, easterly of Johnson Lane, westerly of Millard Pass.

### SUMMARY OF FINDINGS:

1. Existing General Plan Land Use (Ex. #5): Community Development: Commercial Retail (CD: CR)
2. Surrounding General Plan Land Use (Ex. #5): Community Development: Commercial Retail (CD: CR) to the west, Rural: Rural Residential (R: RR) to the north, Community Development: Medium Density Residential (CD: MDR) and Commercial Retail (CD: CR) to the east and Interstate-10 Freeway (I-10) to the south.
3. Existing Zoning (Ex. #2): Scenic Highway Commercial (C-P-S)
4. Surrounding Zoning (Ex. #2): Scenic Highway Commercial (C-P-S) to the west, Rural Residential – 5 Acre Minimum (R-R-5) to the north, Controlled Development Areas (W-2) and Scenic Highway Commercial (C-P-S) to the east and Interstate-10 Freeway (I-10) to the south.
5. Existing Land Use (Ex. #1): Outlet Center
6. Surrounding Land Use (Ex. #1): Existing Retail uses to the west, Vacant to the north, existing retail and residential uses to the east and Interstate-10 Freeway (I-10) to the south.
7. Project Data: Total Acreage: 39.46 Gross Acres
8. Environmental Concerns: See attached environmental assessment

### RECOMMENDATIONS:

**ADOPTION** of a **MITIGATED NEGATIVE DECLARATION** for **ENVIRONMENTAL ASSESSMENT NO. 42013**, based on the findings incorporated in the initial study and the conclusion that the project will not have a significant effect on the environment; and,

**APPROVAL** of **PLOT PLAN NO. 23635**, subject to the attached conditions of approval, and based upon the findings and conclusions incorporated in the staff report.

**CONCLUSIONS:**

1. The proposed project is in conformance with the Community Development: Commercial Retail (CD: CR) Land Use Designation, and with all other elements of the Riverside County General Plan.
2. The proposed project is consistent with the Scenic Highway Commercial (C-P-S) zoning classification of Ordinance No. 348, and with all other applicable provisions of Ordinance No. 348.
3. The public's health, safety, and general welfare are protected through project design.
4. The proposed project is clearly compatible with the present and future logical development of the area.
5. The proposed project will not have a significant effect on the environment.
6. The proposed project will not preclude reserve design for the Western Riverside County Multiple Species Habitat Conservation Plan (WRCMSHCP).

**FINDINGS:** The following findings are in addition to those incorporated in the summary of findings and in the attached environmental assessment, which is incorporated herein by reference.

1. The project site is designated Community Development: Commercial Retail (CD: CR) in the Pass Area Plan.
2. The project site is surrounded by properties which are designated Community Development: Commercial Retail (CD: CR) to the west, Rural: Rural Residential (R: RR) to the north, Community Development: Medium Density Residential (CD: MDR) and Commercial Retail (CD: CR) to the east and Interstate-10 Freeway (I-10) to the south.
3. The zoning for the subject site is Scenic Highway Commercial (C-P-S).
4. The proposed use, addition of 158,492 square feet of retail space and 1,124 parking spaces to an existing outlet center, is consistent with the development standards set forth in the Scenic Highway Commercial (C-P-S) zone.
5. The project site is surrounded by properties which are zoned Scenic Highway Commercial (C-P-S) to the west, Rural Residential – 5 Acre Minimum (R-R-5) to the north, Controlled Development Areas (W-2) and Scenic Highway Commercial (C-P-S) to the east and Interstate-10 Freeway (I-10) to the south.
6. Commercial Retail and Residential uses have been constructed and are operating in the project vicinity.
7. This project is not located within a Criteria Area of the Western Riverside County Multiple Species Habitat Conservation Plan.
8. Environmental Assessment No. 42013 identified the following potentially significant impacts:

a. Geology/Soils

These listed impacts will be fully mitigated by the measures indicated in the environmental assessment, conditions of approval, and attached letters. No other significant impacts were identified.

**INFORMATIONAL ITEMS:**

1. As of this writing, no letters, in support or opposition have been received.
2. The project site is not located within:
  - a. Tribal Land;
  - b. Specific Plan;
  - c. Historic Preservation District;
  - d. Airport Compatibility Zone.
3. The project site is located within:
  - a. Riverside County Flood Control District;
  - b. Banning Unified School District;
  - c. County Service Area - Cabazon # 85 – Street Lighting Park & Recreation;
  - d. Zone B, 39.35 Miles from Mt. Palomar Observatory.
4. The subject site is currently designated as Assessor's Parcel Number 519-110-037

**RIVERSIDE COUNTY PLANNING DEPARTMENT**  
**PP23635**  
**VICINITY/POLICY AREAS**

Supervisor Ashley  
 District: 5

Date Drawn: 1/24/12  
 Vicinity Map



Zoning District: Pass & Desert  
 Township/Range: T3SR2E  
 Section: 7

Assessors Bk. Pg. 519-11  
 Thomas Bros. Pg. 722 J3  
 Edition 2009



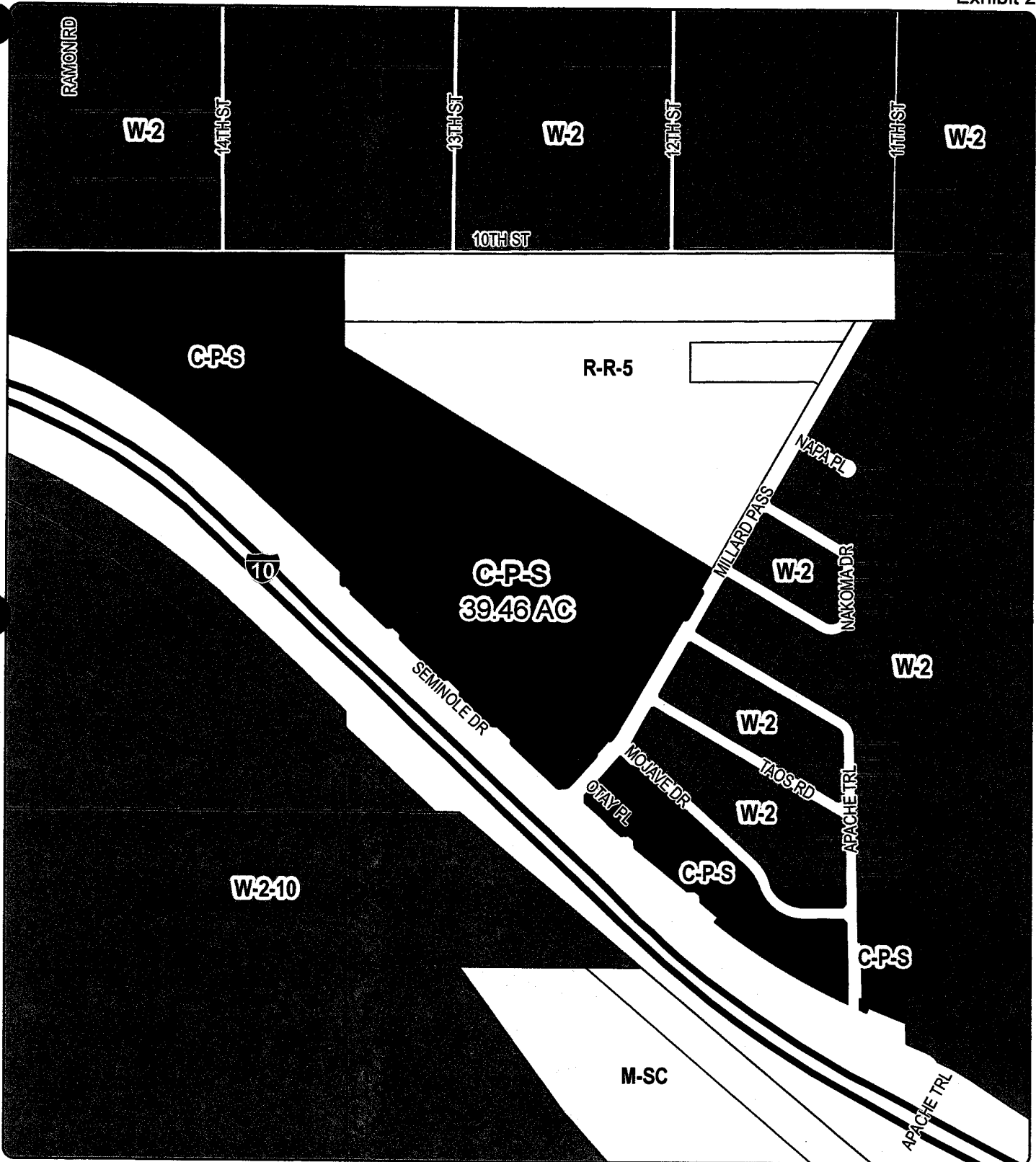
DISCLAIMER: On October 7, 2003, the County of Riverside adopted a new General Plan providing new land use designations for unincorporated Riverside County parcels. The new General Plan may contain different types of land use than is provided for under existing zoning. For further information, please contact the Riverside County Planning Department offices in Riverside at (951) 955-3200 (Western County), or in Indio at (760) 863-8277 (Eastern County) or website at <http://www.ltrna.co.riverside.ca.us/index.html>

RIVERSIDE COUNTY PLANNING DEPARTMENT

PP23635  
EXISTING ZONING

Supervisor Ashley  
District 5

Date Drawn: 1/24/12  
Exhibit 2

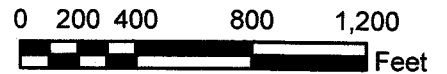


Zoning District: Pass & Desert  
Township/Range: T3SR2E  
Section: 7



Assessors Bk. Pg. 519-11  
Thomas Bros. Pg. 722 J3  
Edition 2009

DISCLAIMER: On October 7, 2003, the County of Riverside adopted a new General Plan providing new land use designations for unincorporated Riverside County parcels. The new General Plan may contain different types of land use than is provided for under existing zoning. For further information, please contact the Riverside County Planning Department offices in Riverside at (951) 955-3200 (Western County), or in Indio at (760) 863-8277 (Eastern County) or website at <http://www.tlma.co.riverside.ca.us/index.html>



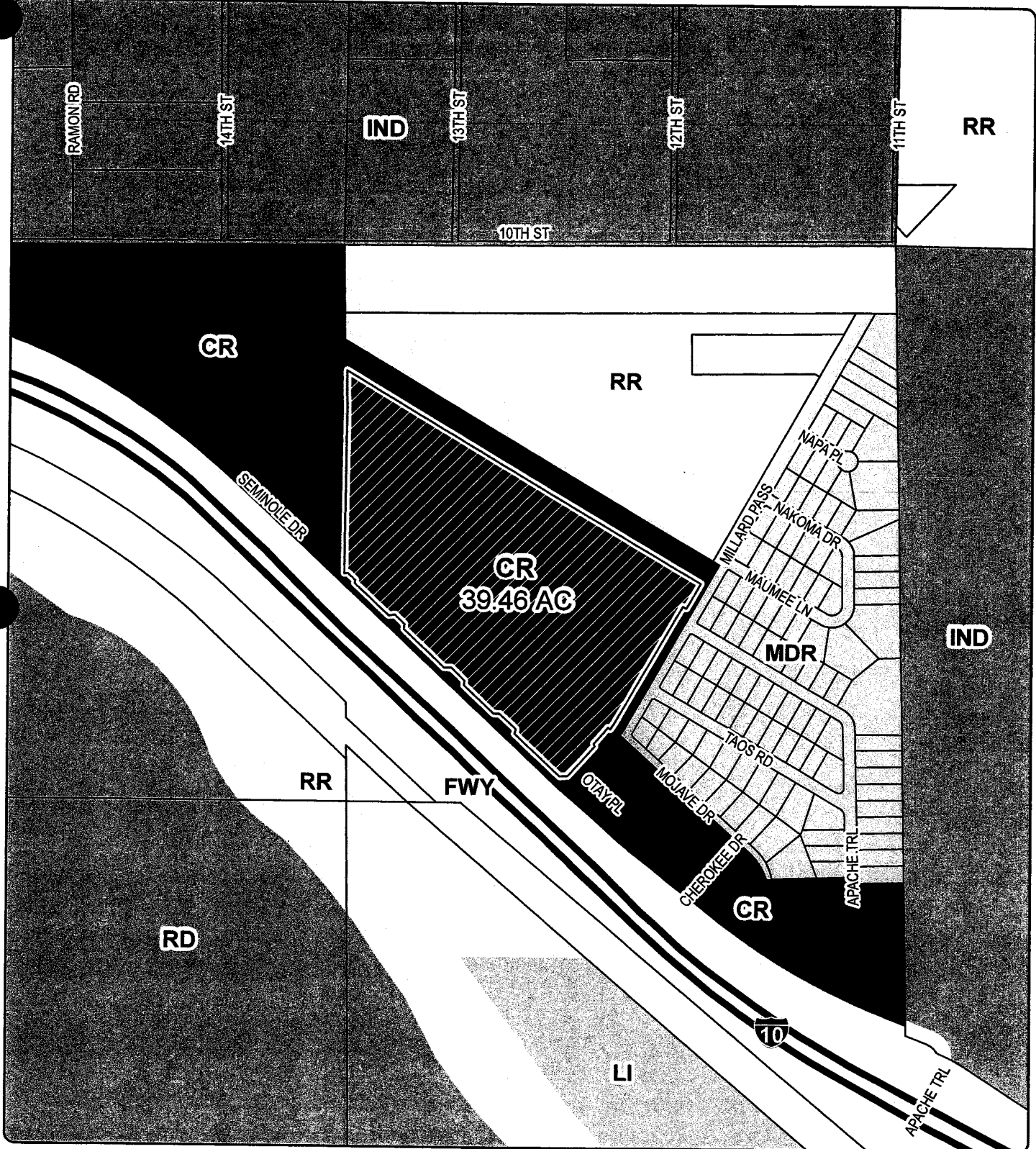
# RIVERSIDE COUNTY PLANNING DEPARTMENT

## PP23635

### EXISTING GENERAL PLAN

Supervisor Ashley  
District: 5

Date Drawn: 1/24/12  
Exhibit 5

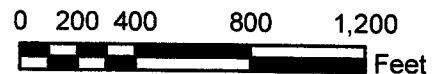


Zoning District: Pass & Desert  
Township/Range: T3SR2E  
Section: 7

Assessors Bk. Pg. 519-11  
Thomas Bros. Pg. 722 J3  
Edition 2009



DISCLAIMER: On October 7, 2003, the County of Riverside adopted a new General Plan providing new land use designations for unincorporated Riverside County parcels. The new General Plan may contain different types of land use than is provided for under existing zoning. For further information, please contact the Riverside County Planning Department offices in Riverside at (951) 955-3200 (Western County), or in Indio at (760) 863-8277 (Eastern County) or website at <http://www.tlma.co.riverside.ca.us/index.html>



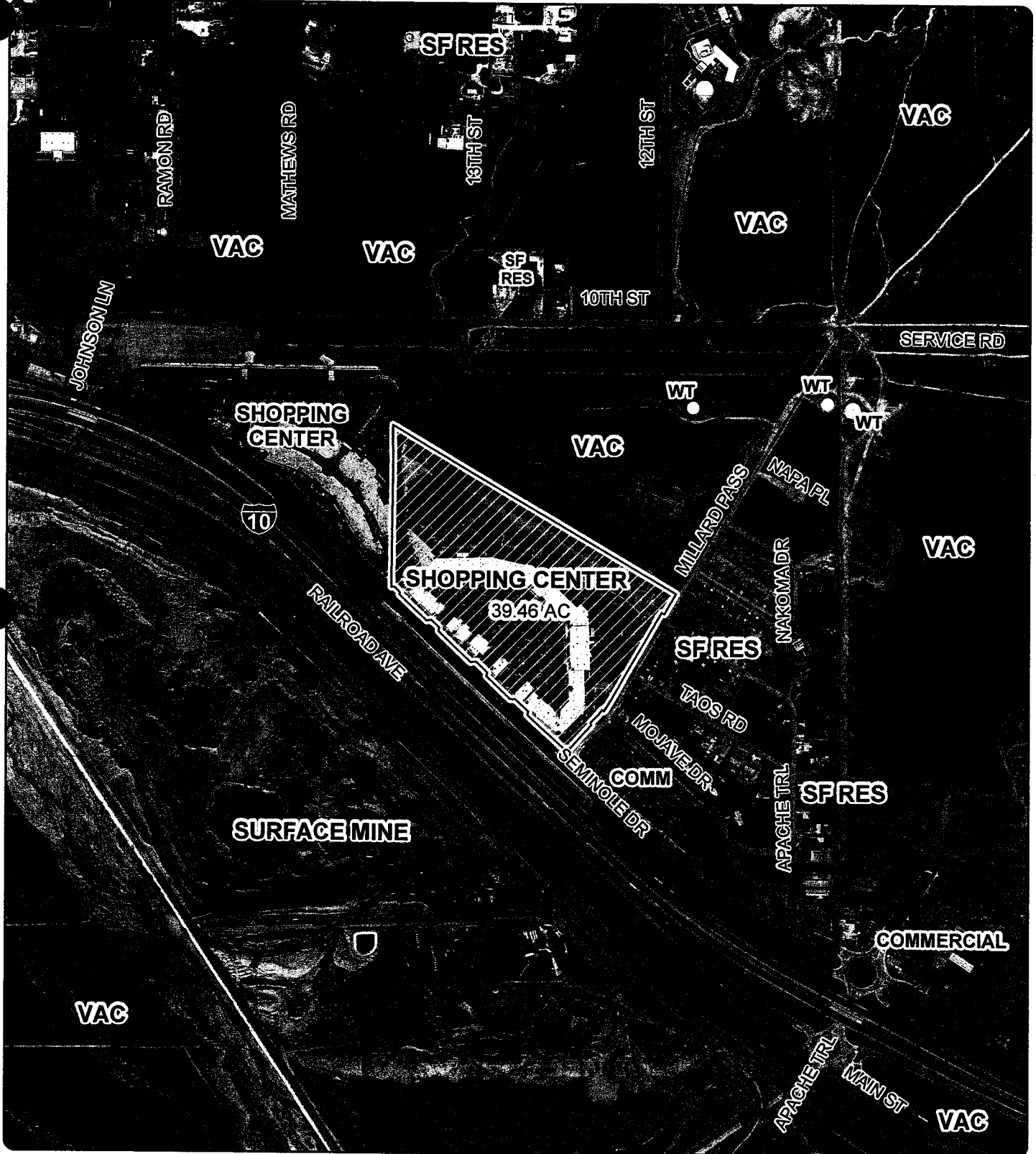
# RIVERSIDE COUNTY PLANNING DEPARTMENT

## PP23635

### LAND USE

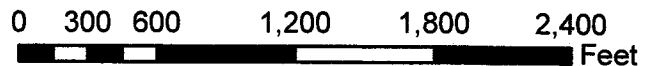
Supervisor Ashley  
District: 5

Date Drawn: 1/24/12  
Exhibit 1



Zoning District: Pass & Desert  
Township/Range: T3SR2E  
Section: 7

Assessors Bk. Pg. 519-11  
Thomas Bros. Pg. 722 J3  
Edition 2009



DISCLAIMER: On October 7, 2003, the County of Riverside adopted a new General Plan providing new land use designations for unincorporated Riverside County parcels. The new General Plan may contain different types of land use than is provided for under existing zoning. For further information, please contact the Riverside County Planning Department offices in Riverside at (951) 955-3200 (Western County), or in Indio at (760) 863-8277 (Eastern County) or website at <http://www.time.co.riverside.ca.us/index.html>





ZONING: W-2, W-2-10  
LAND USE: M.D.R. (EXISTING RESIDENTIAL)

ZONING: W-2, W-2-10  
LAND USE: M.D.R. (EXISTING RESIDENTIAL)

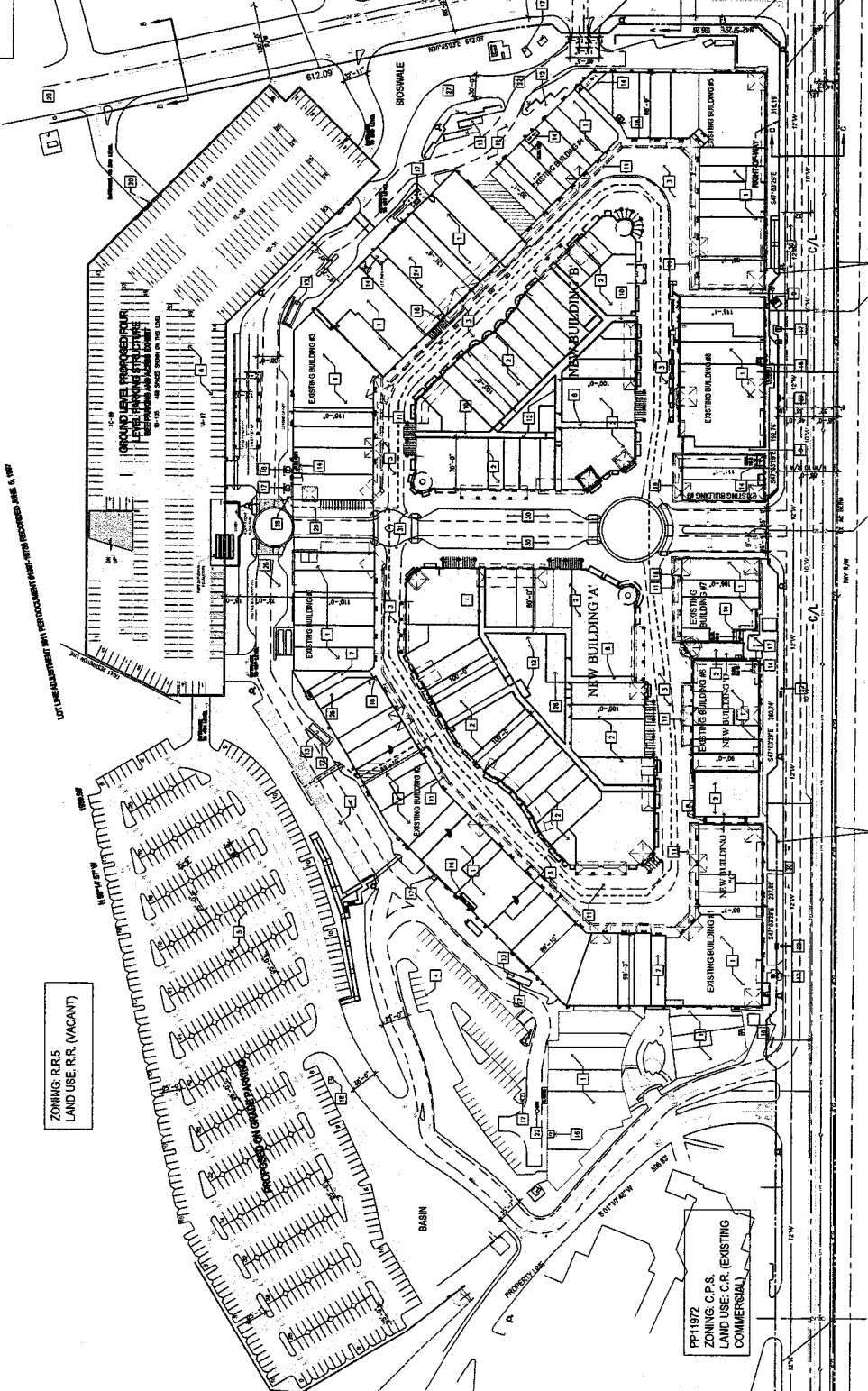
ZONING: W-2, W-2-10  
LAND USE: M.D.R. (EXISTING RESIDENTIAL)

PP16715  
ZONING: C.P.S.  
LAND USE: C.R. (EXISTING COMMERCIAL)

ZONING: R-R5  
LAND USE: R.R. (VACANT)

PP11972  
ZONING: C.P.S.  
LAND USE: C.R. (EXISTING COMMERCIAL)

LOT LINE ADJUSTMENT WITH RECONSTRUCTION WITH RECORDED USE & MAP



NORTH  
SCALE: 1"=60'-0"

GENERAL NOTES:  
1. ALL EXISTING UTILITIES TO REMAIN UNLESS OTHERWISE NOTED.  
2. ALL EXISTING UTILITIES TO BE RELOCATED TO NEW LOCATIONS AS SHOWN.  
3. ALL EXISTING UTILITIES TO BE DELETED AS SHOWN.  
4. ALL EXISTING UTILITIES TO BE RELOCATED TO NEW LOCATIONS AS SHOWN.  
5. ALL EXISTING UTILITIES TO BE DELETED AS SHOWN.

- KEYNOTES
- 1. SHOW BUILDING
  - 2. NEW BUILDING
  - 3. EXISTING BUILDING
  - 4. EXISTING BUILDING TO REMAIN
  - 5. EXISTING BUILDING TO BE DEMOLISHED
  - 6. EXISTING BUILDING TO BE RELOCATED
  - 7. EXISTING BUILDING TO BE RECONSTRUCTED
  - 8. EXISTING BUILDING TO BE RELOCATED AND RECONSTRUCTED
  - 9. EXISTING BUILDING TO BE RELOCATED AND DEMOLISHED
  - 10. EXISTING BUILDING TO BE RELOCATED AND RECONSTRUCTED AND DEMOLISHED
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BUILDING AREA & PARKING CALCULATIONS

TYPE	AREA (SQ. FT.)	AREA (SQ. YD.)	AREA (ACRES)
NEW BLDG. AREA	10,000	113.4	2.31
EXISTING BLDG. AREA	10,000	113.4	2.31
TOTAL BLDG. AREA	20,000	226.8	4.62
PARKING AREA	10,000	113.4	2.31
TOTAL PARKING AREA	10,000	113.4	2.31
TOTAL AREA	30,000	340.2	7.23

DESERT HILLS PREMIUM OUTLETS  
FAST TRACK 2007-29

DESERT HILLS PREMIUM OUTLETS  
FAST TRACK 2007-29

DESERT HILLS PREMIUM OUTLETS  
FAST TRACK 2007-29

DESERT HILLS PREMIUM OUTLETS  
FAST TRACK 2007-29

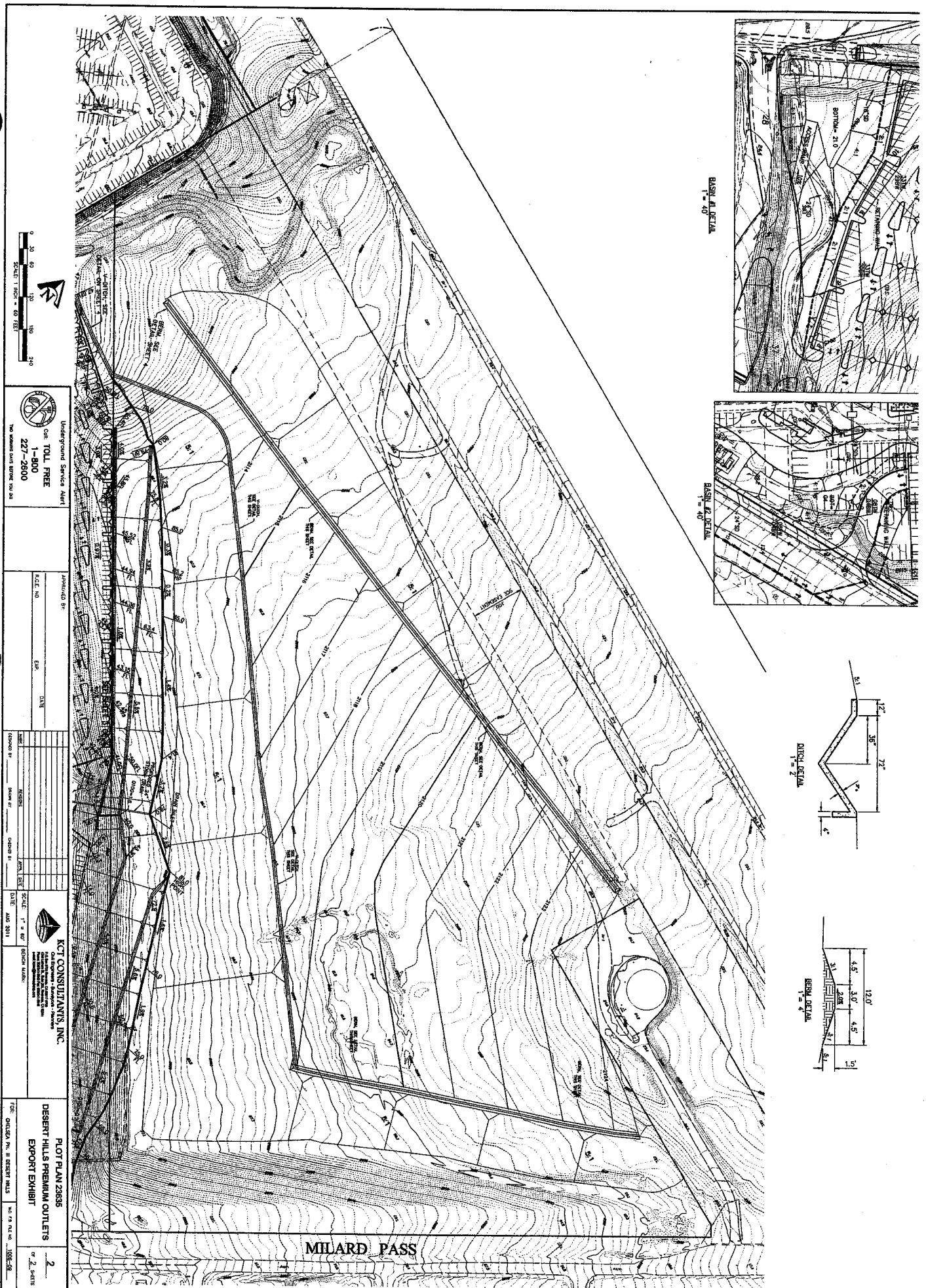
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FAST TRACK 2007-29

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FAST TRACK 2007-29

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FAST TRACK 2007-29

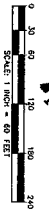
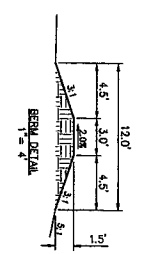
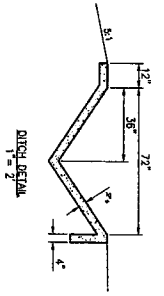
DESERT HILLS PREMIUM OUTLETS  
FAST TRACK 2007-29





BASIN AT DETAIL 1  
1" = 40'

BASIN AT DETAIL 2  
1" = 40'



Underground Service Alert  
Call TOLL FREE  
1-800-227-2800  
Two minutes. Save lives. Call before you dig.

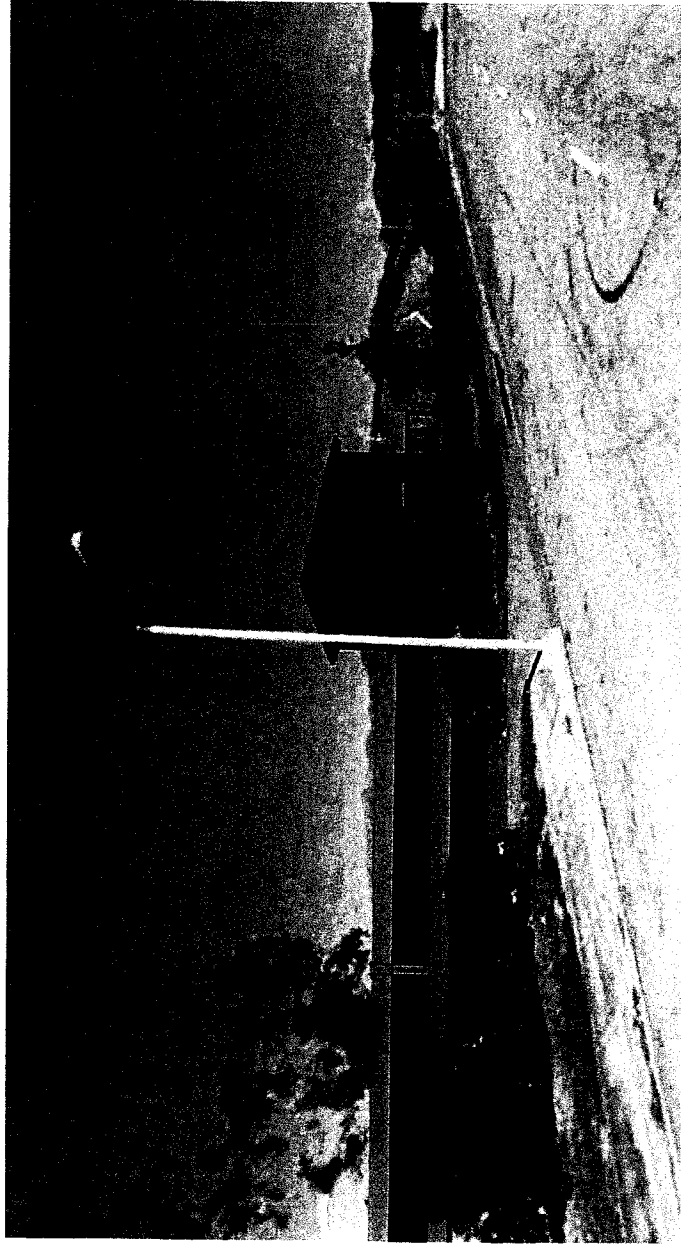
Approved By: \_\_\_\_\_  
DATE: \_\_\_\_\_

NO.	REVISION	DATE

**KCT CONSULTANTS, INC.**  
Civil/Structural/Surveying/Environmental  
1000 West 10th Street, Suite 100  
Tulsa, Oklahoma 74103  
Tel: 918-438-1111  
Fax: 918-438-1112  
www.kctinc.com

DESERT HILLS PREMIUM OUTLETS EXPORT EXHIBIT  
PLOT PLAN 28385  
2  
OF 2 SHEETS  
DATE: APR 2011  
SCALE: 1" = 40'

MILARD PASS



**VIEW FROM MILLARD PASS  
TOWARDS PARKING STRUCTURE**

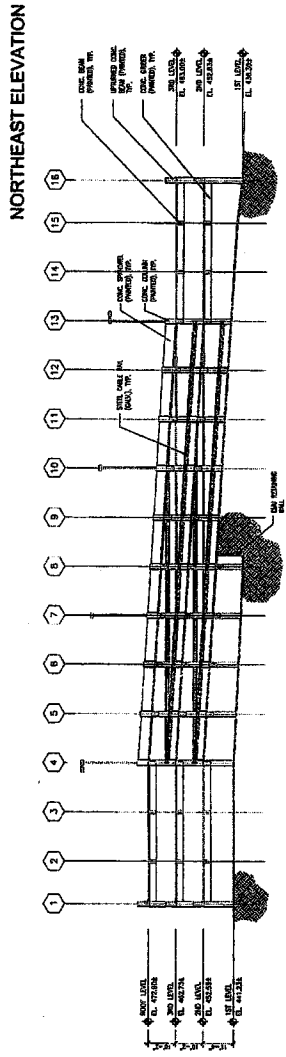
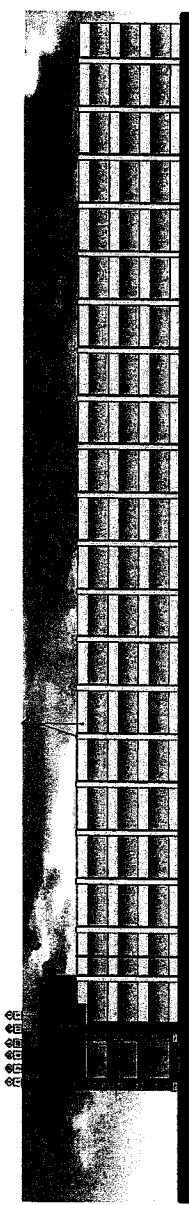
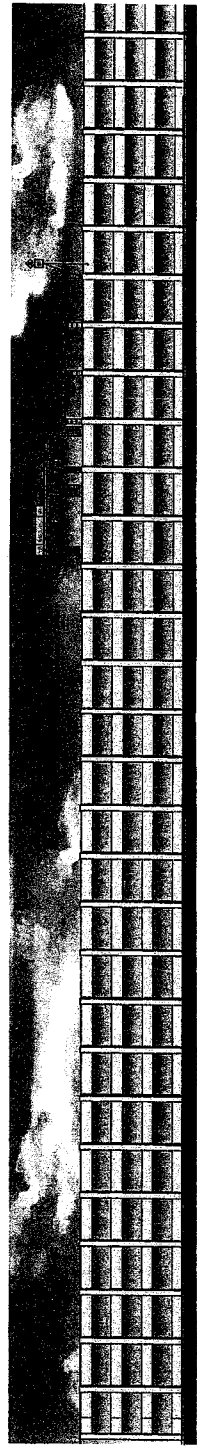
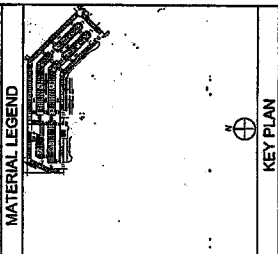


**MATERIALS**

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**COLORS**

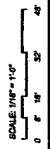
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- X. PRINCE OF GEORGIA - MOUNTAIN
- Y. PRINCE OF GEORGIA - MOUNTAIN
- Z. PRINCE OF GEORGIA - MOUNTAIN



PARKING STRUCTURE ELEVATIONS

A5.25

30061308 8-B-11



DESERT HILLS PREMIUM OUTLETS  
ARCHITECTS ORANGE

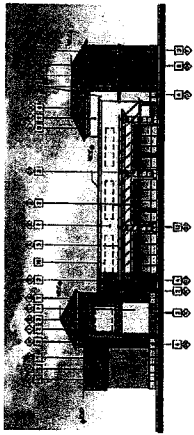
DESERT HILLS PREMIUM OUTLETS CABAZON, CA

PREMIUM OUTLETS  
SIMON

ARCHITECTS ORANGE  
1000 WEST 11TH AVENUE  
ORANGE, CA 92668  
TEL: 714/962-8888  
WWW.AOARCHITECTS.COM



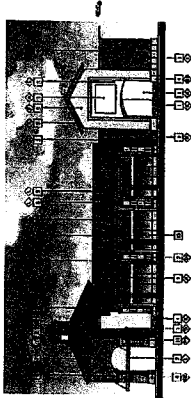




WEST ELEVATION

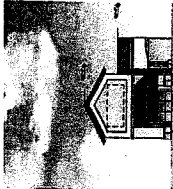
BUILDING 3B

PARTIAL FLOOR PLAN - BUILDING 3B



EAST ELEVATION

PARTIAL FLOOR PLAN - BUILDING 3A



SOUTHWEST ELEVATION

BUILDING 3B

PARTIAL FLOOR PLANS - BUILDING 3B



SOUTHEAST ELEVATION

BUILDING 3A

PARTIAL FLOOR PLANS - BUILDING 3A

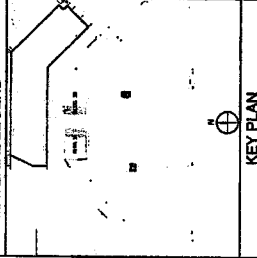
**MATERIALS**

1. NEW PAINTED MEDIUM SAND FLINT FINISH PLASTER WALLS
2. CONCRETE, FINISHED, TRIPLE AND DOUBLE CURTAINS
3. NEW PAINTED MEDIUM SAND FLINT FINISH PLASTER WALLS
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21. NEW PAINTED MEDIUM SAND FLINT FINISH PLASTER WALLS
22. NEW PAINTED MEDIUM SAND FLINT FINISH PLASTER WALLS

**COLORS**

- A. PRINCE OF LIEFER - NEAR MARCH
- B. PRINCE OF LIEFER - NEAR MARCH
- C. PRINCE OF LIEFER - NEAR MARCH
- D. PRINCE OF LIEFER - NEAR MARCH
- E. PRINCE OF LIEFER - NEAR MARCH
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- V. PRINCE OF LIEFER - NEAR MARCH
- W. PRINCE OF LIEFER - NEAR MARCH
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- Z. PRINCE OF LIEFER - NEAR MARCH

**MATERIAL LEGEND**



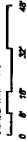
KEY PLAN

**REMODEL PARTIAL FLOOR PLANS & ELEVATIONS BLDGS 3A & 3B**

A4.26



SCALE: 1/8" = 1'-0"

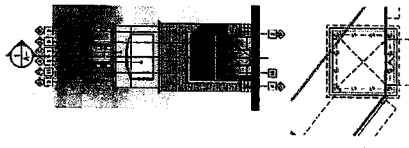


**DESERT HILLS PREMIUM OUTLETS EXPANSION**

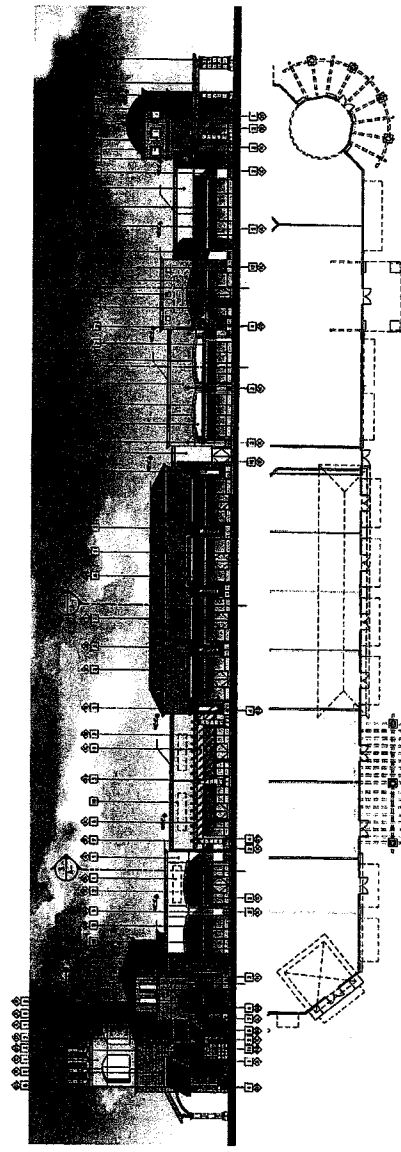
**PREMIUM OUTLETS**  
SIMON

**ARCHITECTS ORANGE**

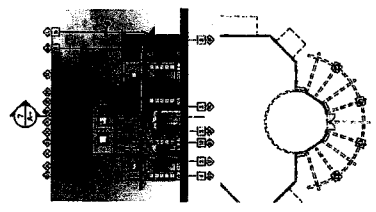
ARCHITECTS ORANGE  
1000 N. GARDEN AVENUE, SUITE 100  
ORANGE, CA 92668  
TEL: 714.944.1111  
WWW.AOARCHITECTS.COM



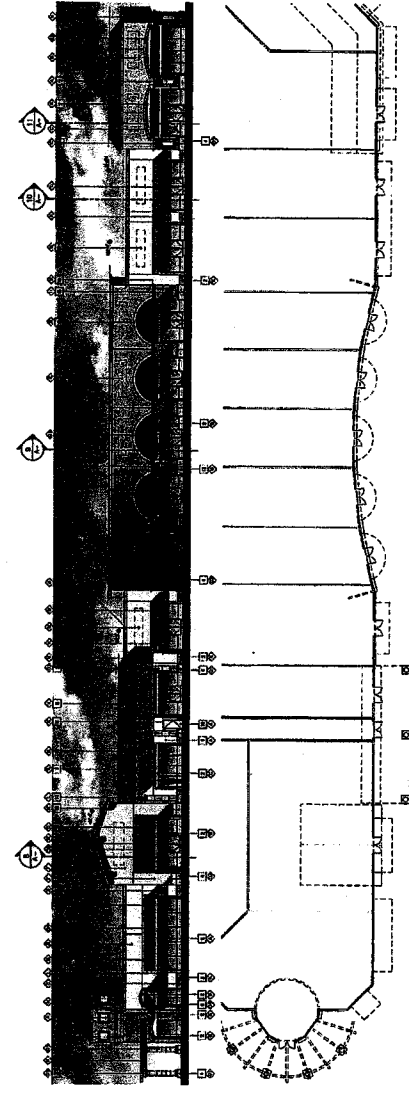
BUILDING B  
SOUTHWEST ELEVATION  
& PARTIAL FLOOR PLAN



BUILDING B SOUTH ELEVATION & PARTIAL FLOOR PLAN



BUILDING B  
SOUTHEAST ELEVATION  
& PARTIAL FLOOR PLAN



BUILDING B NORTHEAST ELEVATION & PARTIAL FLOOR PLAN

**MATERIALS**

1. NEW PAINTED MEDIUM GRADE FLAT FINISH PLASTER WALLS
2. CONCRETE COMBINATION FLAT FINISH PLASTER EXTERIOR
3. UNPAINTED CONCRETE EXTERIOR AND FLOOR COLLARS
4. NEW EXPOSED TYPIC AND TYPICAL W/ FIBERGLASS INSULATION
5. NEW EXPOSED TYPIC AND TYPICAL W/ FIBERGLASS INSULATION
6. NEW EXPOSED TYPIC AND TYPICAL W/ FIBERGLASS INSULATION
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20. NEW EXPOSED TYPIC AND TYPICAL W/ FIBERGLASS INSULATION
21. NEW EXPOSED TYPIC AND TYPICAL W/ FIBERGLASS INSULATION
22. PRECAST CONCRETE CURBAGE PANELS

**COLORS**

- A. PRINCE OF WALES - HAZEL GREEN
- B. PRINCE OF WALES - ANTIPODES
- C. PRINCE OF WALES - CHERRY
- D. PRINCE OF WALES - CHERRY
- E. PRINCE OF WALES - CHERRY
- F. PRINCE OF WALES - CHERRY
- G. PRINCE OF WALES - CHERRY
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- X. PRINCE OF WALES - CHERRY
- Y. PRINCE OF WALES - CHERRY
- Z. PRINCE OF WALES - CHERRY

**MATERIAL LEGEND**

**KEY PLAN**

BUILDING B ELEVATIONS & FLOOR PLAN

A3.21

2008.03

8-4-17



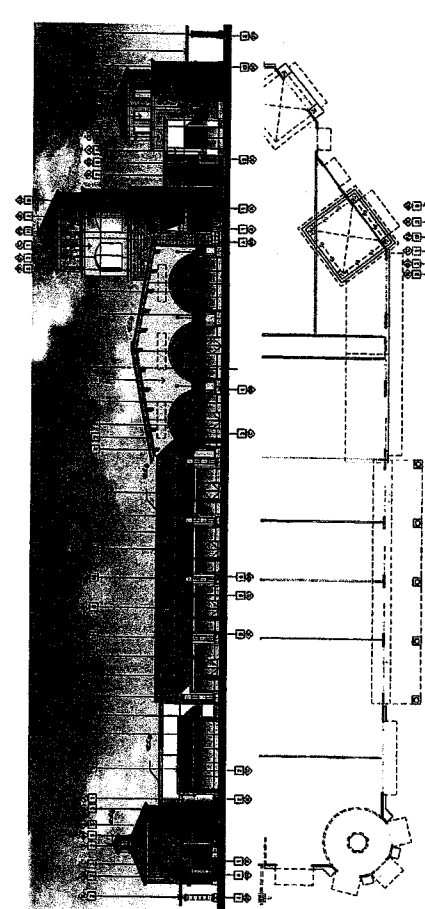
SCALE: 1/8" = 1'-0"

ARCHITECTS ORANGE

DESERT HILLS PREMIUM OUTLETS CABAZON, CA

PREMIUM OUTLETS  
SIMON

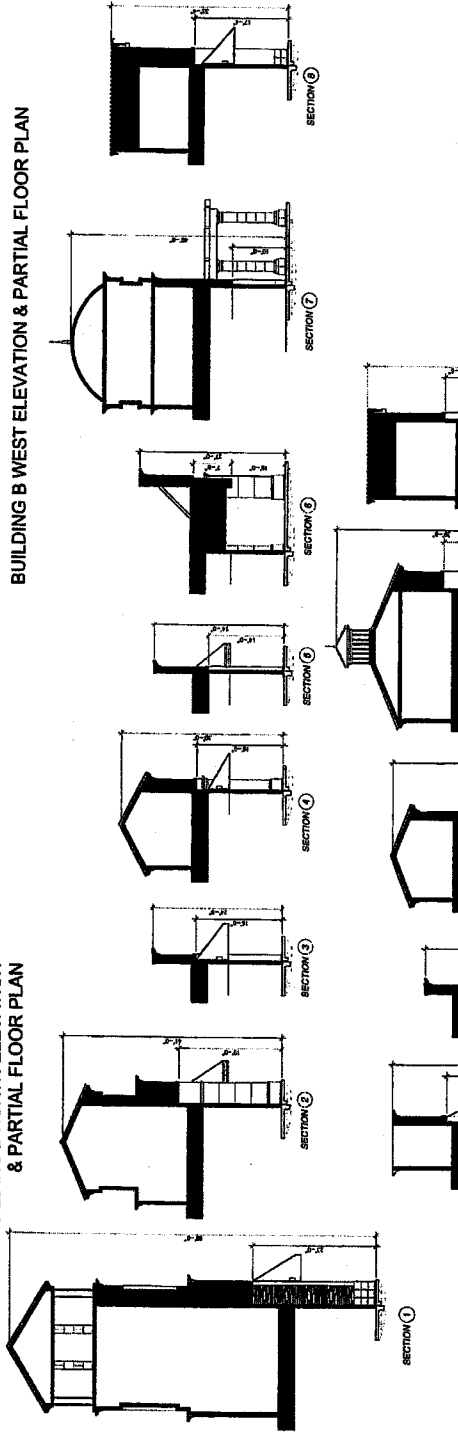
MATERIALS	COLORS
1. NEW PAINTED MEDIUM SAND FLAT FINISH PLASTER WALLS	A. PRIMER: WHITE ACRYLIC
2. NEW PAINTED MEDIUM SAND FLAT FINISH PLASTER WALLS	B. PRIMER: POLYURETHANE
3. NEW PAINTED MEDIUM SAND FLAT FINISH PLASTER WALLS	C. PRIMER: POLYURETHANE
4. NEW PAINTED MEDIUM SAND FLAT FINISH PLASTER WALLS	D. PRIMER: POLYURETHANE
5. NEW PAINTED MEDIUM SAND FLAT FINISH PLASTER WALLS	E. PRIMER: POLYURETHANE
6. NEW PAINTED MEDIUM SAND FLAT FINISH PLASTER WALLS	F. PRIMER: POLYURETHANE
7. NEW PAINTED MEDIUM SAND FLAT FINISH PLASTER WALLS	G. PRIMER: POLYURETHANE
8. NEW PAINTED MEDIUM SAND FLAT FINISH PLASTER WALLS	H. PRIMER: POLYURETHANE
9. NEW PAINTED MEDIUM SAND FLAT FINISH PLASTER WALLS	I. PRIMER: POLYURETHANE
10. NEW PAINTED MEDIUM SAND FLAT FINISH PLASTER WALLS	J. PRIMER: POLYURETHANE
11. NEW PAINTED MEDIUM SAND FLAT FINISH PLASTER WALLS	K. PRIMER: POLYURETHANE
12. NEW PAINTED MEDIUM SAND FLAT FINISH PLASTER WALLS	L. PRIMER: POLYURETHANE
13. NEW PAINTED MEDIUM SAND FLAT FINISH PLASTER WALLS	M. PRIMER: POLYURETHANE
14. NEW PAINTED MEDIUM SAND FLAT FINISH PLASTER WALLS	N. PRIMER: POLYURETHANE
15. NEW PAINTED MEDIUM SAND FLAT FINISH PLASTER WALLS	O. PRIMER: POLYURETHANE
16. NEW PAINTED MEDIUM SAND FLAT FINISH PLASTER WALLS	P. PRIMER: POLYURETHANE
17. NEW PAINTED MEDIUM SAND FLAT FINISH PLASTER WALLS	Q. PRIMER: POLYURETHANE
18. NEW PAINTED MEDIUM SAND FLAT FINISH PLASTER WALLS	R. PRIMER: POLYURETHANE
19. NEW PAINTED MEDIUM SAND FLAT FINISH PLASTER WALLS	S. PRIMER: POLYURETHANE
20. NEW PAINTED MEDIUM SAND FLAT FINISH PLASTER WALLS	T. PRIMER: POLYURETHANE
21. NEW PAINTED MEDIUM SAND FLAT FINISH PLASTER WALLS	U. PRIMER: POLYURETHANE
22. NEW PAINTED MEDIUM SAND FLAT FINISH PLASTER WALLS	V. PRIMER: POLYURETHANE
23. NEW PAINTED MEDIUM SAND FLAT FINISH PLASTER WALLS	W. PRIMER: POLYURETHANE
24. NEW PAINTED MEDIUM SAND FLAT FINISH PLASTER WALLS	X. PRIMER: POLYURETHANE
25. NEW PAINTED MEDIUM SAND FLAT FINISH PLASTER WALLS	Y. PRIMER: POLYURETHANE
26. NEW PAINTED MEDIUM SAND FLAT FINISH PLASTER WALLS	Z. PRIMER: POLYURETHANE



BUILDING B NORTH ELEVATION & PARTIAL FLOOR PLAN

BUILDING B WEST ELEVATION & PARTIAL FLOOR PLAN

MATERIAL LEGEND	KEY PLAN
1. CONCRETE	
2. BRICK	
3. STUCCO	
4. PLASTER	
5. GLASS	
6. METAL	
7. WOOD	
8. ROOFING	
9. INSULATION	
10. FLOORING	
11. PAINT	
12. FINISH	
13. TRIM	
14. DOORS	
15. WINDOWS	
16. ROOF STRUCTURE	
17. MECHANICAL	
18. ELECTRICAL	
19. PLUMBING	
20. LANDSCAPE	



A3.22

BUILDING B ELEVATIONS,  
SECTIONS, & FLOOR PLAN

SECTION SCALE: 1/8" = 1'-0"  
ELEVATION SCALE: 1/8" = 1'-0"  
0 5' 10' 20' 40'



DESERT HILLS PREMIUM OUTLETS CABAZON, CA

PREMIUM  
OUTLETS  
SIMON

ARCHITECTS ORANGE

- MATERIALS**
1. NEW PAINTED METAL BANG FLAT TRUSS/PIECE WALLS
  2. NEW PAINTED METAL BANG FLAT TRUSS/PIECE WALLS
  3. NEW PAINTED METAL BANG FLAT TRUSS/PIECE WALLS
  4. NEW PAINTED METAL BANG FLAT TRUSS/PIECE WALLS
  5. NEW PAINTED METAL BANG FLAT TRUSS/PIECE WALLS
  6. NEW PAINTED METAL BANG FLAT TRUSS/PIECE WALLS
  7. NEW PAINTED METAL BANG FLAT TRUSS/PIECE WALLS
  8. NEW PAINTED METAL BANG FLAT TRUSS/PIECE WALLS
  9. NEW PAINTED METAL BANG FLAT TRUSS/PIECE WALLS
  10. NEW PAINTED METAL BANG FLAT TRUSS/PIECE WALLS
  11. NEW PAINTED METAL BANG FLAT TRUSS/PIECE WALLS
  12. NEW PAINTED METAL BANG FLAT TRUSS/PIECE WALLS
  13. NEW PAINTED METAL BANG FLAT TRUSS/PIECE WALLS
  14. NEW PAINTED METAL BANG FLAT TRUSS/PIECE WALLS
  15. NEW PAINTED METAL BANG FLAT TRUSS/PIECE WALLS
  16. NEW PAINTED METAL BANG FLAT TRUSS/PIECE WALLS
  17. NEW PAINTED METAL BANG FLAT TRUSS/PIECE WALLS
  18. NEW PAINTED METAL BANG FLAT TRUSS/PIECE WALLS
  19. NEW PAINTED METAL BANG FLAT TRUSS/PIECE WALLS
  20. NEW PAINTED METAL BANG FLAT TRUSS/PIECE WALLS
  21. NEW PAINTED METAL BANG FLAT TRUSS/PIECE WALLS
  22. NEW PAINTED METAL BANG FLAT TRUSS/PIECE WALLS

- COLORS**
- A. PRINCE POLYURETHANE PAINT
  - B. PRINCE POLYURETHANE PAINT
  - C. PRINCE POLYURETHANE PAINT
  - D. PRINCE POLYURETHANE PAINT
  - E. PRINCE POLYURETHANE PAINT
  - F. PRINCE POLYURETHANE PAINT
  - G. PRINCE POLYURETHANE PAINT
  - H. PRINCE POLYURETHANE PAINT
  - I. PRINCE POLYURETHANE PAINT
  - J. PRINCE POLYURETHANE PAINT
  - K. PRINCE POLYURETHANE PAINT
  - L. PRINCE POLYURETHANE PAINT
  - M. PRINCE POLYURETHANE PAINT
  - N. PRINCE POLYURETHANE PAINT
  - O. PRINCE POLYURETHANE PAINT
  - P. PRINCE POLYURETHANE PAINT
  - Q. PRINCE POLYURETHANE PAINT
  - R. PRINCE POLYURETHANE PAINT
  - S. PRINCE POLYURETHANE PAINT
  - T. PRINCE POLYURETHANE PAINT
  - U. PRINCE POLYURETHANE PAINT
  - V. PRINCE POLYURETHANE PAINT
  - W. PRINCE POLYURETHANE PAINT
  - X. PRINCE POLYURETHANE PAINT
  - Y. PRINCE POLYURETHANE PAINT
  - Z. PRINCE POLYURETHANE PAINT

- KEY PLAN**
- 

**MATERIAL LEGEND**

1. NEW PAINTED METAL BANG FLAT TRUSS/PIECE WALLS
2. NEW PAINTED METAL BANG FLAT TRUSS/PIECE WALLS
3. NEW PAINTED METAL BANG FLAT TRUSS/PIECE WALLS
4. NEW PAINTED METAL BANG FLAT TRUSS/PIECE WALLS
5. NEW PAINTED METAL BANG FLAT TRUSS/PIECE WALLS
6. NEW PAINTED METAL BANG FLAT TRUSS/PIECE WALLS
7. NEW PAINTED METAL BANG FLAT TRUSS/PIECE WALLS
8. NEW PAINTED METAL BANG FLAT TRUSS/PIECE WALLS
9. NEW PAINTED METAL BANG FLAT TRUSS/PIECE WALLS
10. NEW PAINTED METAL BANG FLAT TRUSS/PIECE WALLS
11. NEW PAINTED METAL BANG FLAT TRUSS/PIECE WALLS
12. NEW PAINTED METAL BANG FLAT TRUSS/PIECE WALLS
13. NEW PAINTED METAL BANG FLAT TRUSS/PIECE WALLS
14. NEW PAINTED METAL BANG FLAT TRUSS/PIECE WALLS
15. NEW PAINTED METAL BANG FLAT TRUSS/PIECE WALLS
16. NEW PAINTED METAL BANG FLAT TRUSS/PIECE WALLS
17. NEW PAINTED METAL BANG FLAT TRUSS/PIECE WALLS
18. NEW PAINTED METAL BANG FLAT TRUSS/PIECE WALLS
19. NEW PAINTED METAL BANG FLAT TRUSS/PIECE WALLS
20. NEW PAINTED METAL BANG FLAT TRUSS/PIECE WALLS
21. NEW PAINTED METAL BANG FLAT TRUSS/PIECE WALLS
22. NEW PAINTED METAL BANG FLAT TRUSS/PIECE WALLS

**REMODEL PARTIAL FLOOR PLANS & ELEVATIONS**  
**BLDG 1, 5, 6, 7 & EXPANSION D, E, & F**

**A4.20**

SCALE: 1/4" = 1'-0"

DATE: 08-11-11

DESIGN: [Logo]

ARCHITECTS ORANGE

DESERT HILLS PREMIUM OUTLETS

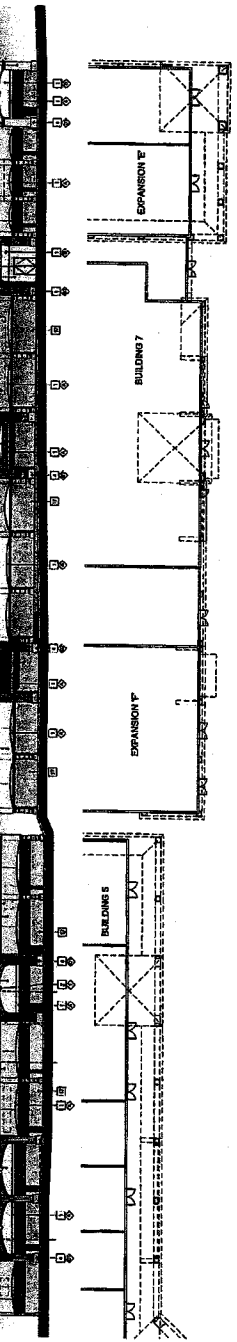
CABAZON, CA

ARCHITECTS ORANGE

PREMIUM OUTLETS

SIMON

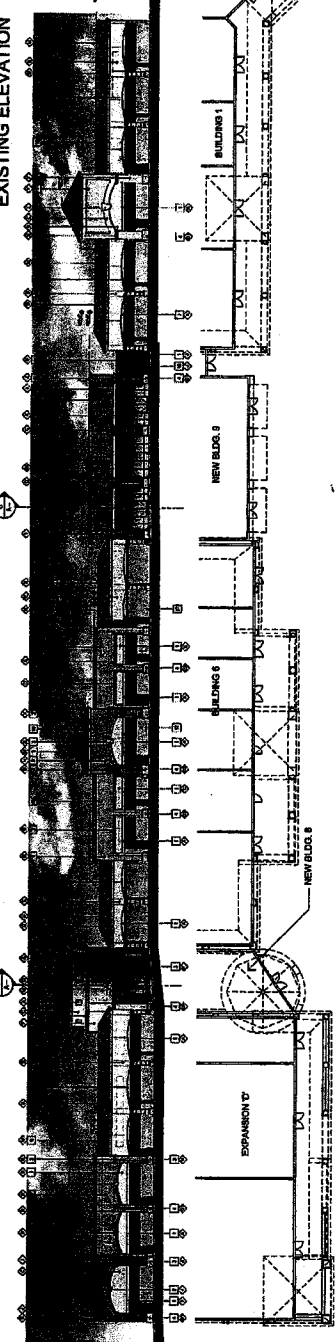
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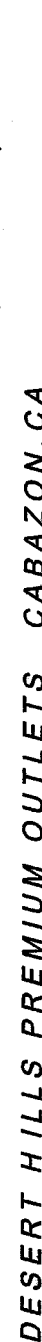
**PROPOSED NORTH ELEVATION & PARTIAL FLOOR PLAN - BLDG 5, EXPANSION F, EXPANSION E, & BUILDING 7**



**EXISTING ELEVATION**



**PROPOSED NORTH ELEVATION & PARTIAL FLOOR PLAN - EXPANSION D, BUILDING 6, NEW BUILDING D, & BUILDING 1**



**DESERT HILLS PREMIUM OUTLETS CABAZON, CA**

ARCHITECTS ORANGE

PREMIUM OUTLETS

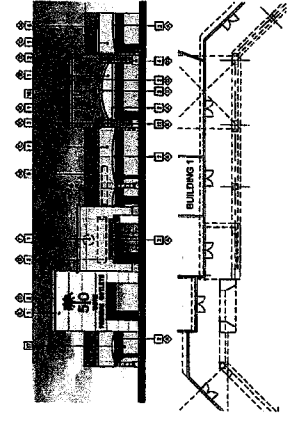
SIMON



EXISTING ELEVATION



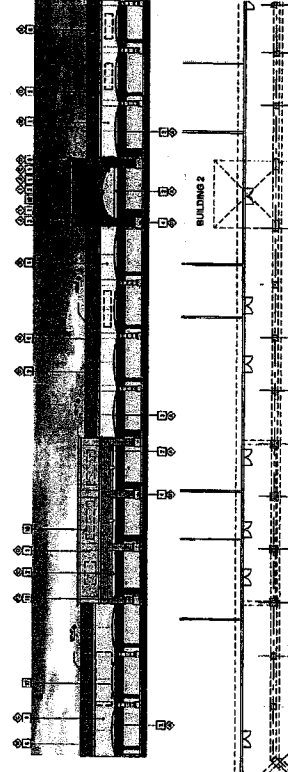
EXISTING ELEVATION



PROPOSED NORTHEAST ELEV. & PARTIAL FLOOR PLAN - BUILDING 1



EXISTING ELEVATION



PROPOSED SOUTHEAST ELEVATION & PARTIAL FLOOR PLAN - BUILDING 2



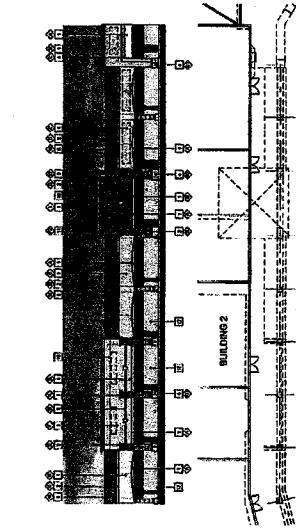
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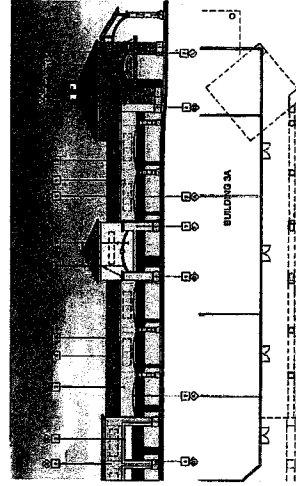
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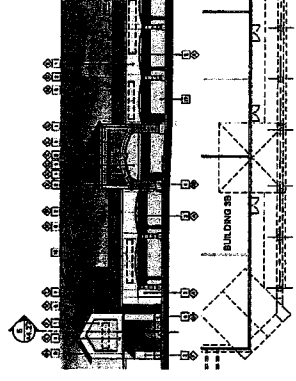
EXISTING ELEVATION



PROPOSED SOUTHEAST ELEVATION & PARTIAL FLOOR PLAN - BUILDING 2



PROPOSED SOUTH ELEVATION & PARTIAL FLOOR PLAN - BUILDING 3A

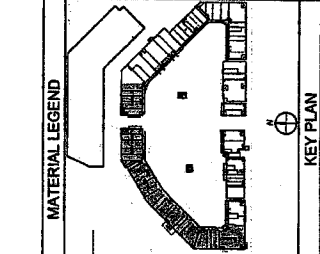


PROPOSED SOUTH ELEVATION & PARTIAL FLOOR PLAN - BUILDING 3B

- MATERIALS**
1. NEW PAINTED INTERIOR PLANT FINISHES AFTER WALLS
  2. NEW PAINTED INTERIOR PLANT FINISHES AFTER WALLS
  3. NEW PAINTED INTERIOR PLANT FINISHES AFTER WALLS
  4. NEW PAINTED INTERIOR PLANT FINISHES AFTER WALLS
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  20. NEW PAINTED INTERIOR PLANT FINISHES AFTER WALLS
  21. NEW PAINTED INTERIOR PLANT FINISHES AFTER WALLS
  22. NEW PAINTED INTERIOR PLANT FINISHES AFTER WALLS

- COLORS**
- A. PAINTED EXTERIOR - LIGHT GRAY
  - B. PAINTED EXTERIOR - LIGHT GRAY
  - C. PAINTED EXTERIOR - LIGHT GRAY
  - D. PAINTED EXTERIOR - LIGHT GRAY
  - E. PAINTED EXTERIOR - LIGHT GRAY
  - F. PAINTED EXTERIOR - LIGHT GRAY
  - G. PAINTED EXTERIOR - LIGHT GRAY
  - H. PAINTED EXTERIOR - LIGHT GRAY
  - I. PAINTED EXTERIOR - LIGHT GRAY
  - J. PAINTED EXTERIOR - LIGHT GRAY
  - K. PAINTED EXTERIOR - LIGHT GRAY
  - L. PAINTED EXTERIOR - LIGHT GRAY
  - M. PAINTED EXTERIOR - LIGHT GRAY
  - N. PAINTED EXTERIOR - LIGHT GRAY
  - O. PAINTED EXTERIOR - LIGHT GRAY
  - P. PAINTED EXTERIOR - LIGHT GRAY
  - Q. PAINTED EXTERIOR - LIGHT GRAY
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  - T. PAINTED EXTERIOR - LIGHT GRAY
  - U. PAINTED EXTERIOR - LIGHT GRAY
  - V. PAINTED EXTERIOR - LIGHT GRAY
  - W. PAINTED EXTERIOR - LIGHT GRAY
  - X. PAINTED EXTERIOR - LIGHT GRAY
  - Y. PAINTED EXTERIOR - LIGHT GRAY
  - Z. PAINTED EXTERIOR - LIGHT GRAY

- MATERIAL LEGEND**
1. BRICK - COMMON BRICK
  2. BRICK - COMMON BRICK
  3. BRICK - COMMON BRICK
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  5. BRICK - COMMON BRICK
  6. BRICK - COMMON BRICK
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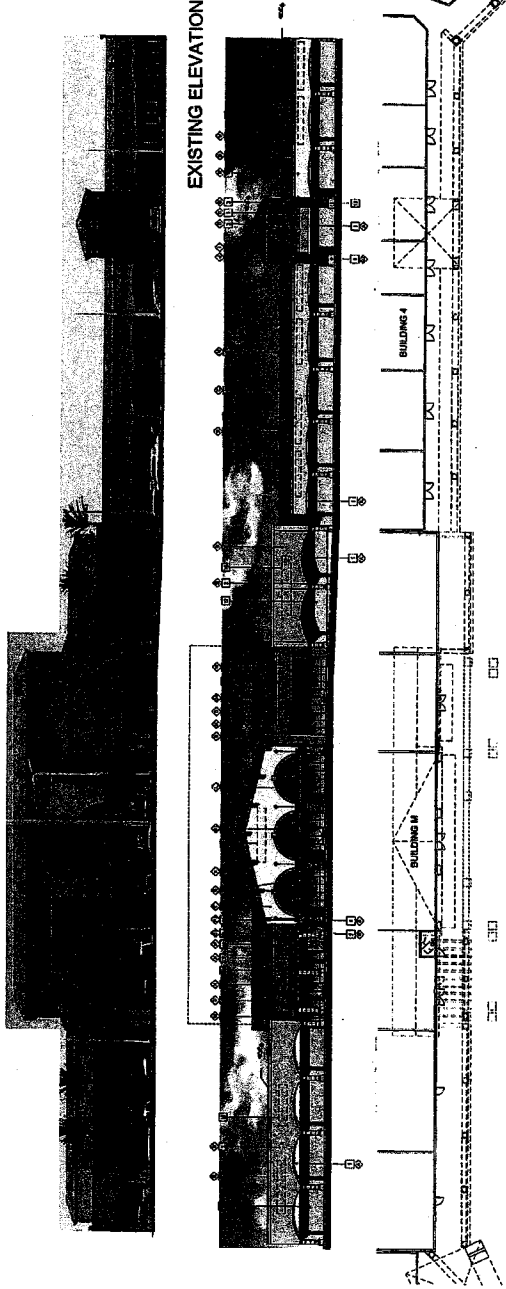
REMODEL  
PARTIAL FLOOR PLANS  
& ELEVATIONS  
BLDG 1, 2, & 3

A4.21



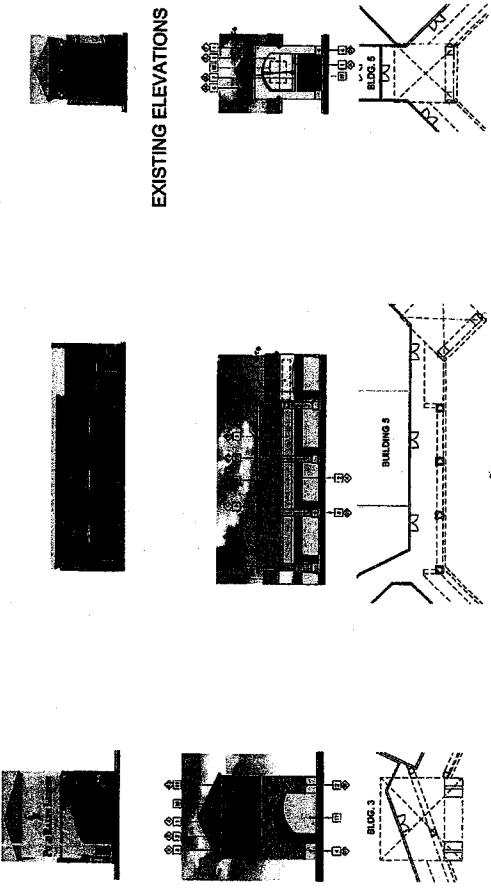
ARCHITECTS ORANGE

DESERT HILLS PREMIUM OUTLETS  
SIMON



EXISTING ELEVATION

PROPOSED SOUTHWEST ELEVATION & PARTIAL FLOOR PLAN - BUILDING M & 4



EXISTING ELEVATIONS

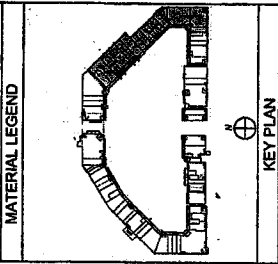
PROPOSED WEST ELEVATION & PARTIAL FLOOR PLAN - BUILDING 5

PROPOSED NORTHWEST ELEV. & PARTIAL FLOOR PLAN - BLDG. 5

PROPOSED SOUTHWEST ELEV. & PARTIAL FLOOR PLAN - BLDG. 3

PROPOSED WEST ELEVATION & PARTIAL FLOOR PLAN - BUILDING 5

- MATERIALS**
1. NEW PAINTED INTERIOR AND EXTERIOR FINISH PLASTER WALLS
  2. CONCRETE BLOCK WALLS WITH INTERIOR FINISH PLASTER
  3. NEW PRECAST CONCRETE EXTERIOR AND INTERIOR WALLS
  4. NEW PRECAST CONCRETE EXTERIOR AND INTERIOR WALLS
  5. NEW PRECAST CONCRETE EXTERIOR AND INTERIOR WALLS
  6. NEW PRECAST CONCRETE EXTERIOR AND INTERIOR WALLS
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  15. NEW PRECAST CONCRETE EXTERIOR AND INTERIOR WALLS
  16. NEW PRECAST CONCRETE EXTERIOR AND INTERIOR WALLS
  17. NEW PRECAST CONCRETE EXTERIOR AND INTERIOR WALLS
  18. NEW PRECAST CONCRETE EXTERIOR AND INTERIOR WALLS
  19. NEW PRECAST CONCRETE EXTERIOR AND INTERIOR WALLS
  20. NEW PRECAST CONCRETE EXTERIOR AND INTERIOR WALLS
  21. PRECAST CONCRETE CHANGE PANELS
- COLORS**
- A. FINISH EXTERIOR - NEAR SAND
  - B. FINISH EXTERIOR - LIGHT TAUPE
  - C. FINISH EXTERIOR - LIGHT TAUPE
  - D. FINISH EXTERIOR - LIGHT TAUPE
  - E. FINISH EXTERIOR - LIGHT TAUPE
  - F. FINISH EXTERIOR - LIGHT TAUPE
  - G. FINISH EXTERIOR - LIGHT TAUPE
  - H. FINISH EXTERIOR - LIGHT TAUPE
  - I. FINISH EXTERIOR - LIGHT TAUPE
  - J. FINISH EXTERIOR - LIGHT TAUPE
  - K. FINISH EXTERIOR - LIGHT TAUPE
  - L. FINISH EXTERIOR - LIGHT TAUPE
  - M. FINISH EXTERIOR - LIGHT TAUPE
  - N. FINISH EXTERIOR - LIGHT TAUPE
  - O. FINISH EXTERIOR - LIGHT TAUPE
  - P. FINISH EXTERIOR - LIGHT TAUPE
  - Q. FINISH EXTERIOR - LIGHT TAUPE
  - R. FINISH EXTERIOR - LIGHT TAUPE
  - S. FINISH EXTERIOR - LIGHT TAUPE
  - T. FINISH EXTERIOR - LIGHT TAUPE
  - U. FINISH EXTERIOR - LIGHT TAUPE
  - V. FINISH EXTERIOR - LIGHT TAUPE
  - W. FINISH EXTERIOR - LIGHT TAUPE
  - X. FINISH EXTERIOR - LIGHT TAUPE
  - Y. FINISH EXTERIOR - LIGHT TAUPE
  - Z. FINISH EXTERIOR - LIGHT TAUPE



REMODEL  
PARTIAL FLOOR PLANS &  
ELEVATIONS  
BLDG 3, 5, & M

A4.22



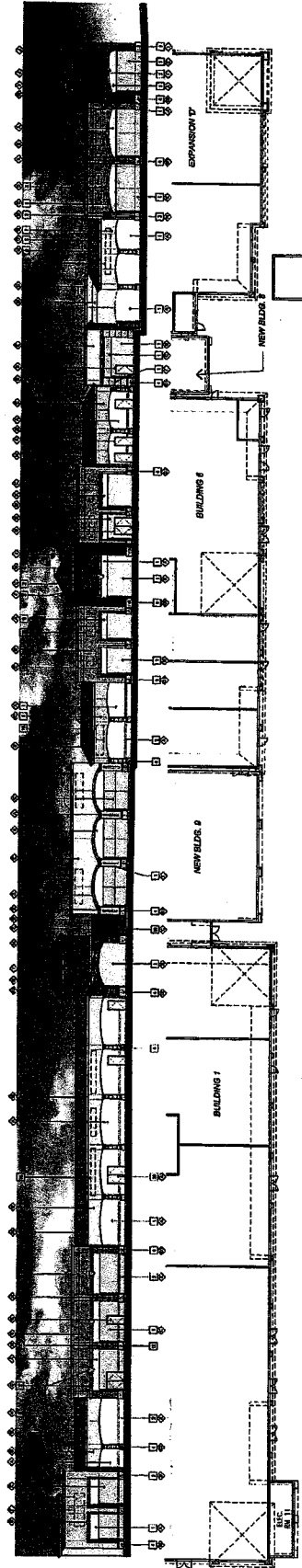
ARCHITECTS ORANGE

DESERT HILLS PREMIUM OUTLETS CABAZON, CA

PREMIUM  
OUTLETS  
SIMON



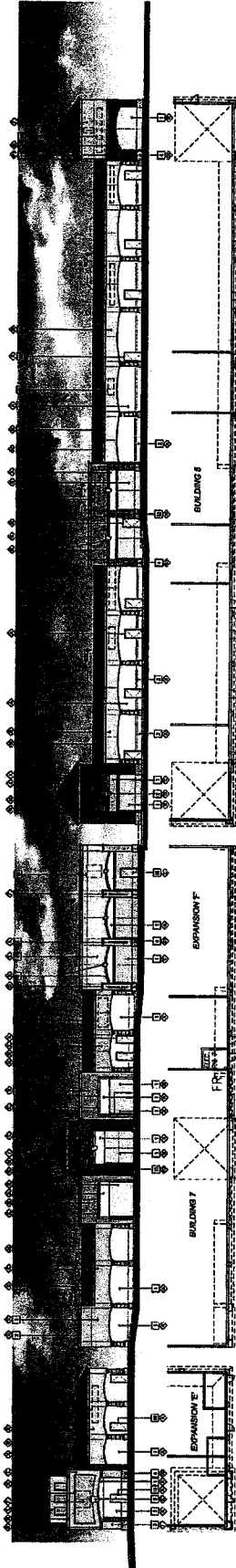
EXISTING ELEVATION



PROPOSED NORTH ELEVATION & PARTIAL FLOOR PLAN - BLDG 5, EXPANSION F, EXPANSION E, & BUILDING 7



EXISTING ELEVATION



PROPOSED NORTH ELEVATION & PARTIAL FLOOR PLAN - EXPANSION D, BUILDING 6, NEW BUILDING D, & BUILDING 1



KEY PLAN

REFER TO SHEET A4.22 FOR MATERIAL NOTES

SCALE: 1/8" = 1'-0"

A4.23

2006-03

04-11

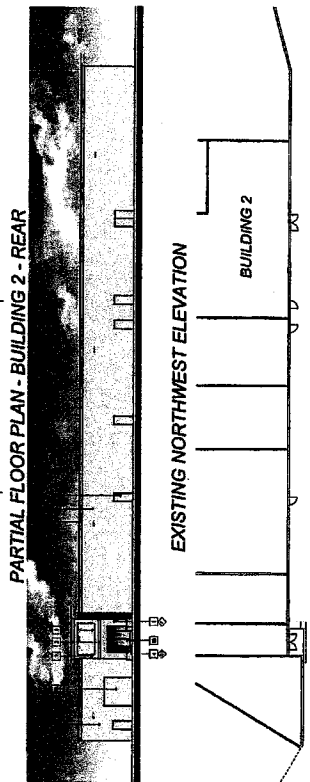
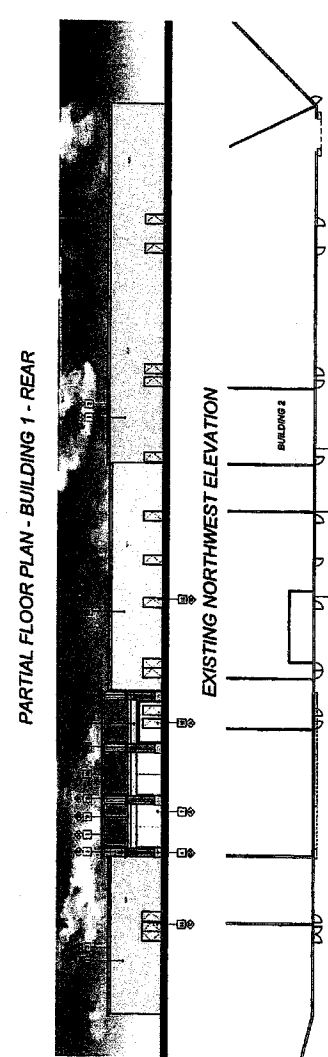
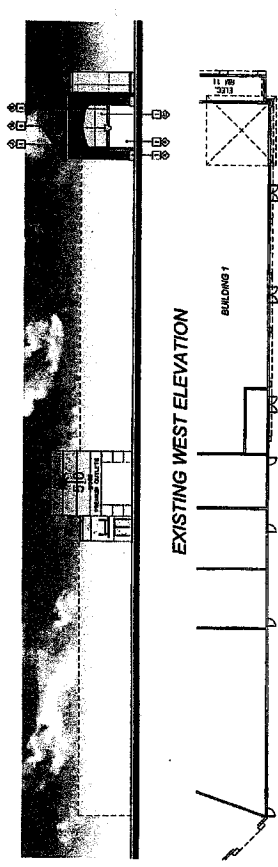


ARCHITECTS ORANGE

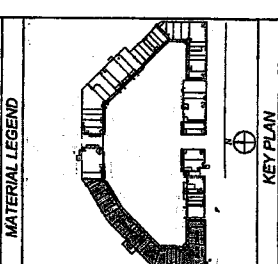
DESERT HILLS PREMIUM OUTLETS CABAZON, CA

PREMIUM  
OUTLETS  
SIMON

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OR BY ANY INFORMATION  
SYSTEMS WITHOUT PERMISSION  
IN WRITING FROM SIMON  
ARCHITECTS



- MATERIALS**
1. NEW PAINTED METAL AND PLANT FINISH PASTER WALLS
  2. NEW PAINTED METAL AND PLANT FINISH PASTER WALLS
  3. NEW PAINTED METAL AND PLANT FINISH PASTER WALLS
  4. NEW PAINTED METAL AND PLANT FINISH PASTER WALLS
  5. NEW PAINTED METAL AND PLANT FINISH PASTER WALLS
  6. NEW PAINTED METAL AND PLANT FINISH PASTER WALLS
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  20. NEW PAINTED METAL AND PLANT FINISH PASTER WALLS
  21. NEW PAINTED METAL AND PLANT FINISH PASTER WALLS
  22. NEW PAINTED METAL AND PLANT FINISH PASTER WALLS
- COLORS**
- A. PRIMER & SEALER - UNPAINTED
  - B. PRIMER & SEALER - UNPAINTED
  - C. PRIMER & SEALER - UNPAINTED
  - D. PRIMER & SEALER - UNPAINTED
  - E. PRIMER & SEALER - UNPAINTED
  - F. PRIMER & SEALER - UNPAINTED
  - G. PRIMER & SEALER - UNPAINTED
  - H. PRIMER & SEALER - UNPAINTED
  - I. PRIMER & SEALER - UNPAINTED
  - J. PRIMER & SEALER - UNPAINTED
  - K. PRIMER & SEALER - UNPAINTED
  - L. PRIMER & SEALER - UNPAINTED
  - M. PRIMER & SEALER - UNPAINTED
  - N. PRIMER & SEALER - UNPAINTED
  - O. PRIMER & SEALER - UNPAINTED
  - P. PRIMER & SEALER - UNPAINTED
  - Q. PRIMER & SEALER - UNPAINTED
  - R. PRIMER & SEALER - UNPAINTED
  - S. PRIMER & SEALER - UNPAINTED
  - T. PRIMER & SEALER - UNPAINTED
  - U. PRIMER & SEALER - UNPAINTED
  - V. PRIMER & SEALER - UNPAINTED
  - W. PRIMER & SEALER - UNPAINTED
  - X. PRIMER & SEALER - UNPAINTED
  - Y. PRIMER & SEALER - UNPAINTED
  - Z. PRIMER & SEALER - UNPAINTED



REMODEL PARTIAL FLOOR PLANS & ELEVATIONS BLDGS 1, & 2 REARS

**A4.24**

SCALE: 1/8" = 1'-0"

0 6 12 18 24 30

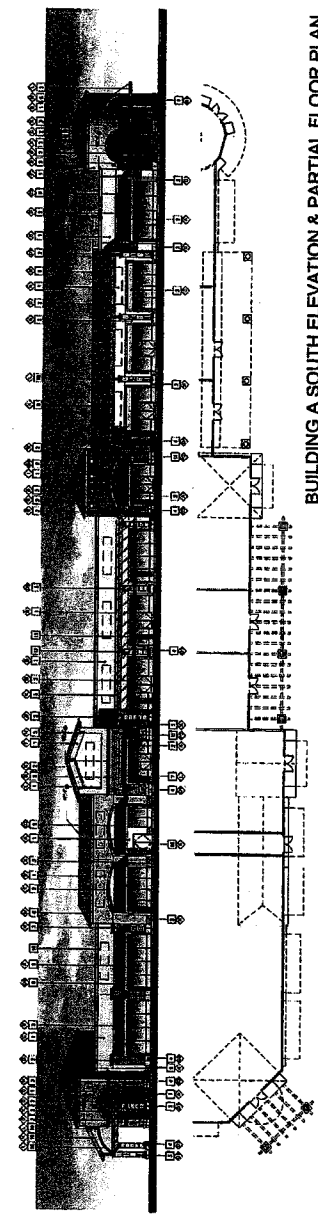


DESERT HILLS PREMIUM OUTLETS CABAZON, CA

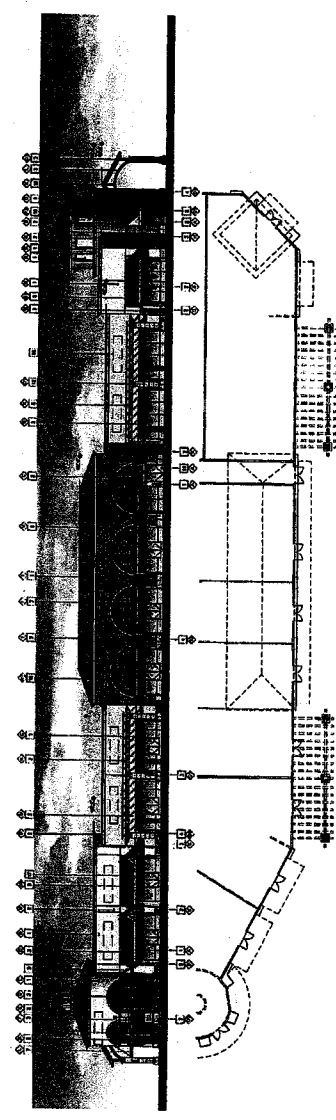
ARCHITECTS ORANGE

PREMIUM OUTLETS SIMON

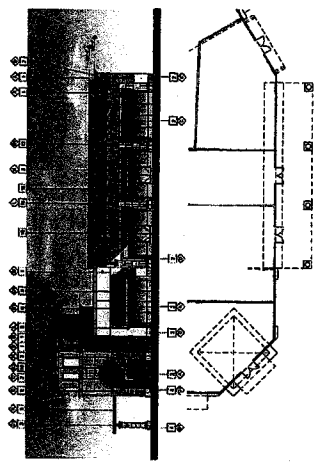




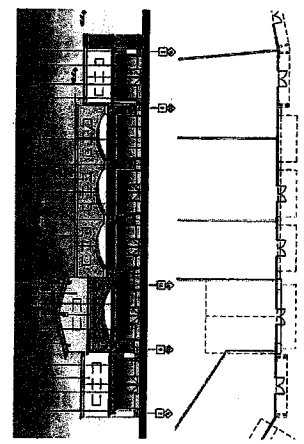
BUILDING A SOUTH ELEVATION & PARTIAL FLOOR PLAN



BUILDING A EAST ELEVATION & PARTIAL FLOOR PLAN



BUILDING A NORTH ELEVATION & PARTIAL FLOOR PLAN



BUILDING A NORTHWEST ELEVATION & PARTIAL FLOOR PLAN

**MATERIALS**

1. NEW PINKISH BEIGE SAND FLINT FINISH PLASTER WALLS
2. NEW PINKISH BEIGE SAND FLINT FINISH PLASTER CEILING
3. NEW PINKISH BEIGE SAND FLINT FINISH PLASTER FLOOR
4. NEW PINKISH BEIGE SAND FLINT FINISH PLASTER CORNICES
5. NEW PINKISH BEIGE SAND FLINT FINISH PLASTER TRIM
6. NEW PINKISH BEIGE SAND FLINT FINISH PLASTER ROOF
7. NEW PINKISH BEIGE SAND FLINT FINISH PLASTER ROOF
8. NEW PINKISH BEIGE SAND FLINT FINISH PLASTER ROOF
9. NEW PINKISH BEIGE SAND FLINT FINISH PLASTER ROOF
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22. NEW PINKISH BEIGE SAND FLINT FINISH PLASTER ROOF
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24. NEW PINKISH BEIGE SAND FLINT FINISH PLASTER ROOF
25. NEW PINKISH BEIGE SAND FLINT FINISH PLASTER ROOF
26. NEW PINKISH BEIGE SAND FLINT FINISH PLASTER ROOF
27. NEW PINKISH BEIGE SAND FLINT FINISH PLASTER ROOF

**COLORS**

- A. PINKISH BEIGE SAND FLINT FINISH PLASTER
- B. PINKISH BEIGE SAND FLINT FINISH PLASTER
- C. PINKISH BEIGE SAND FLINT FINISH PLASTER
- D. PINKISH BEIGE SAND FLINT FINISH PLASTER
- E. PINKISH BEIGE SAND FLINT FINISH PLASTER
- F. PINKISH BEIGE SAND FLINT FINISH PLASTER
- G. PINKISH BEIGE SAND FLINT FINISH PLASTER
- H. PINKISH BEIGE SAND FLINT FINISH PLASTER
- I. PINKISH BEIGE SAND FLINT FINISH PLASTER
- J. PINKISH BEIGE SAND FLINT FINISH PLASTER
- K. PINKISH BEIGE SAND FLINT FINISH PLASTER
- L. PINKISH BEIGE SAND FLINT FINISH PLASTER
- M. PINKISH BEIGE SAND FLINT FINISH PLASTER
- N. PINKISH BEIGE SAND FLINT FINISH PLASTER
- O. PINKISH BEIGE SAND FLINT FINISH PLASTER
- P. PINKISH BEIGE SAND FLINT FINISH PLASTER
- Q. PINKISH BEIGE SAND FLINT FINISH PLASTER
- R. PINKISH BEIGE SAND FLINT FINISH PLASTER
- S. PINKISH BEIGE SAND FLINT FINISH PLASTER
- T. PINKISH BEIGE SAND FLINT FINISH PLASTER
- U. PINKISH BEIGE SAND FLINT FINISH PLASTER
- V. PINKISH BEIGE SAND FLINT FINISH PLASTER
- W. PINKISH BEIGE SAND FLINT FINISH PLASTER
- X. PINKISH BEIGE SAND FLINT FINISH PLASTER
- Y. PINKISH BEIGE SAND FLINT FINISH PLASTER
- Z. PINKISH BEIGE SAND FLINT FINISH PLASTER

**MATERIAL LEGEND**

**KEY PLAN**

BUILDING A ELEVATIONS/  
FLOOR PLAN

A2.21

8-8-11



SCALE: 1/8" = 1'-0"

ARCHITECTS ORANGE

DESERT HILLS PREMIUM OUTLETS CABAZON, CA

PREMIUM  
OUTLETS  
SIMON

**MATERIALS**

1. NEW PAINTS AND FINISHES TO MATCH EXISTING
2. NEW PAINTS AND FINISHES TO MATCH EXISTING
3. NEW PAINTS AND FINISHES TO MATCH EXISTING
4. NEW PAINTS AND FINISHES TO MATCH EXISTING
5. NEW PAINTS AND FINISHES TO MATCH EXISTING
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20. NEW PAINTS AND FINISHES TO MATCH EXISTING
21. NEW PAINTS AND FINISHES TO MATCH EXISTING

**COLORS**

1. EXISTING
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5. EXISTING
6. EXISTING
7. EXISTING
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**MATERIAL LEGEND**

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15. EXISTING
16. EXISTING
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19. EXISTING
20. EXISTING
21. EXISTING

**KEY PLAN**

**BUILDING A ELEVATIONS,  
SECTIONS, &  
FLOOR PLAN**

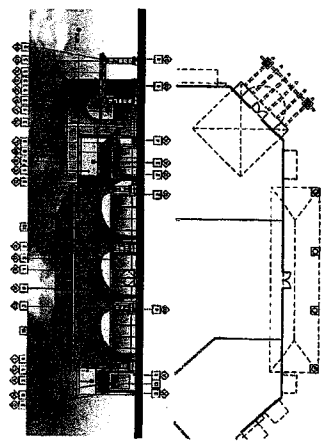
**A2.22**

8-8-11

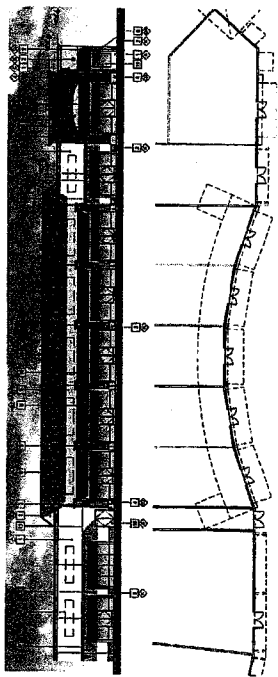
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ELEVATION SCALE: 1/8" = 1'-0"  
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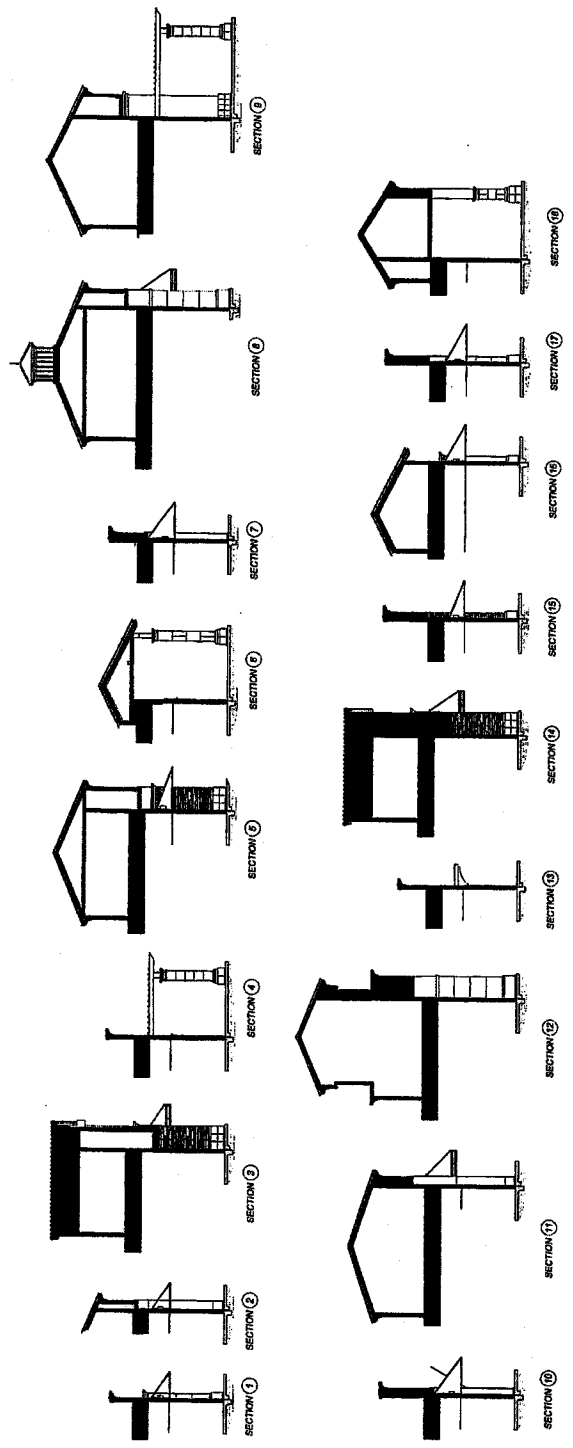
**ARCHITECTS ORANGE**



**BUILDING A WEST ELEVATION & PARTIAL FLOOR PLAN**



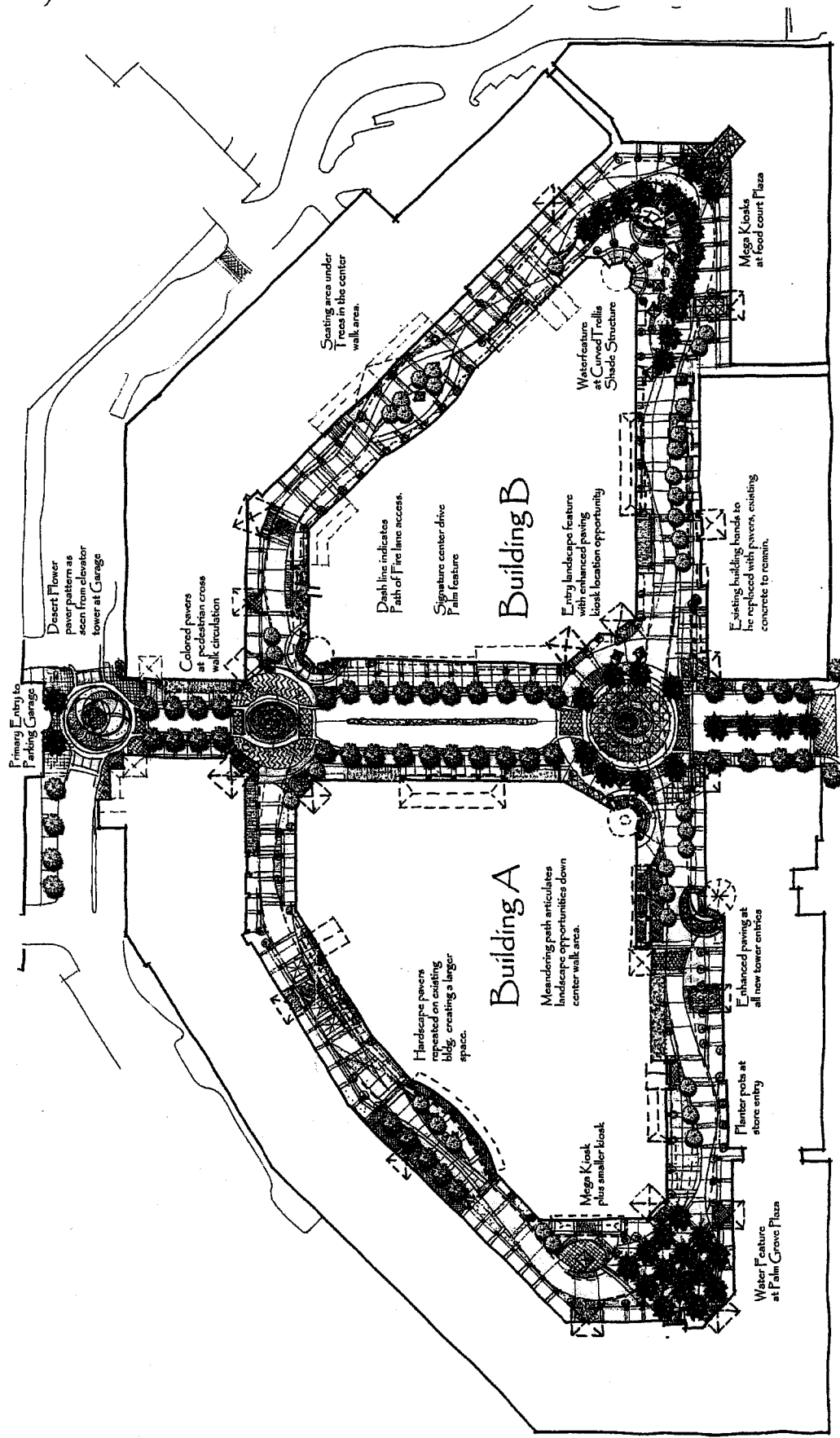
**BUILDING A NORTHWEST ELEVATION & PARTIAL FLOOR PLAN**



**BUILDING A CANOPY SECTIONS**

**DESERT HILLS PREMIUM OUTLETS CABAZON, CA**

**PREMIUM  
OUTLETS  
SIMON**



Primary Entry to Parking Garage

Desert Flower paver patterns as seen from clover tower at Garage

Colored pavers at pedestrian cross walk circulation

Seating area under trees in the center walk area.

Dash line indicates Path of Fire lane access.

Signature center drive Palm feature

Building A

Mandering path articulates landscape opportunities down center walk area.

Hardscape pavers repeated on existing bldg, creating a larger space.

Mega Kiosk plus smaller kiosk

Water Feature at Palm Grove Plaza

Enhanced paving at all new tower entries

Planter pots at store entry

Building B

Entry landscape feature with enhanced paving kiosk location opportunity

Waterfeature at Curved Trellis Shade Structure

Existing building facade to be replaced with pavers, existing concrete to remain.

Mega Kiosks at food court Plaza

HARDSCAPE PLAN

A1.12

2008.008 04-11

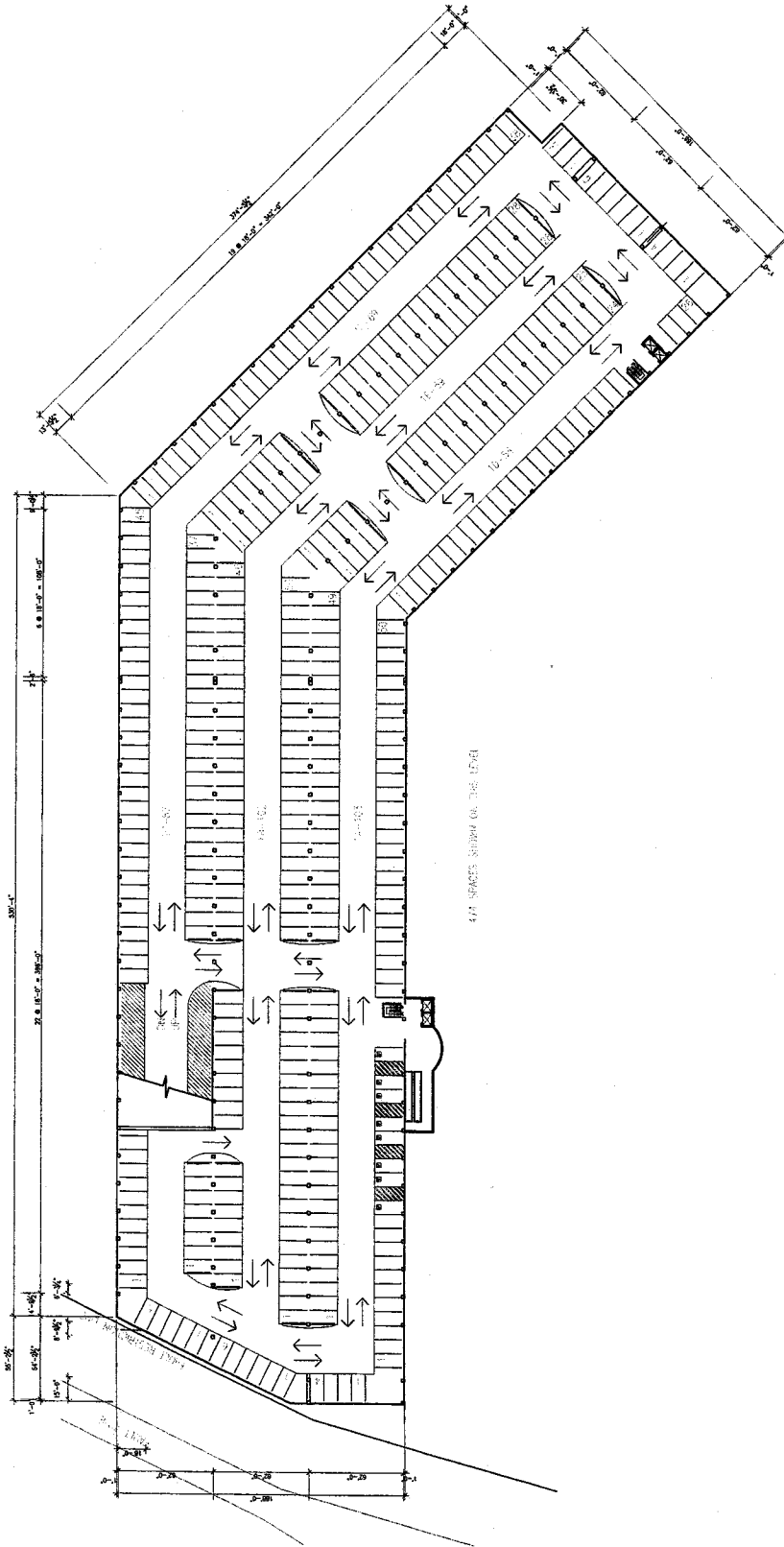


SCALE: 1/8" = 1'-0"

DESERT HILLS PREMIUM OUTLETS CABAZON, CA  
 PREMIUM OUTLETS  
 SIMON

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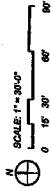
A5.23

2002-039 08-06-11



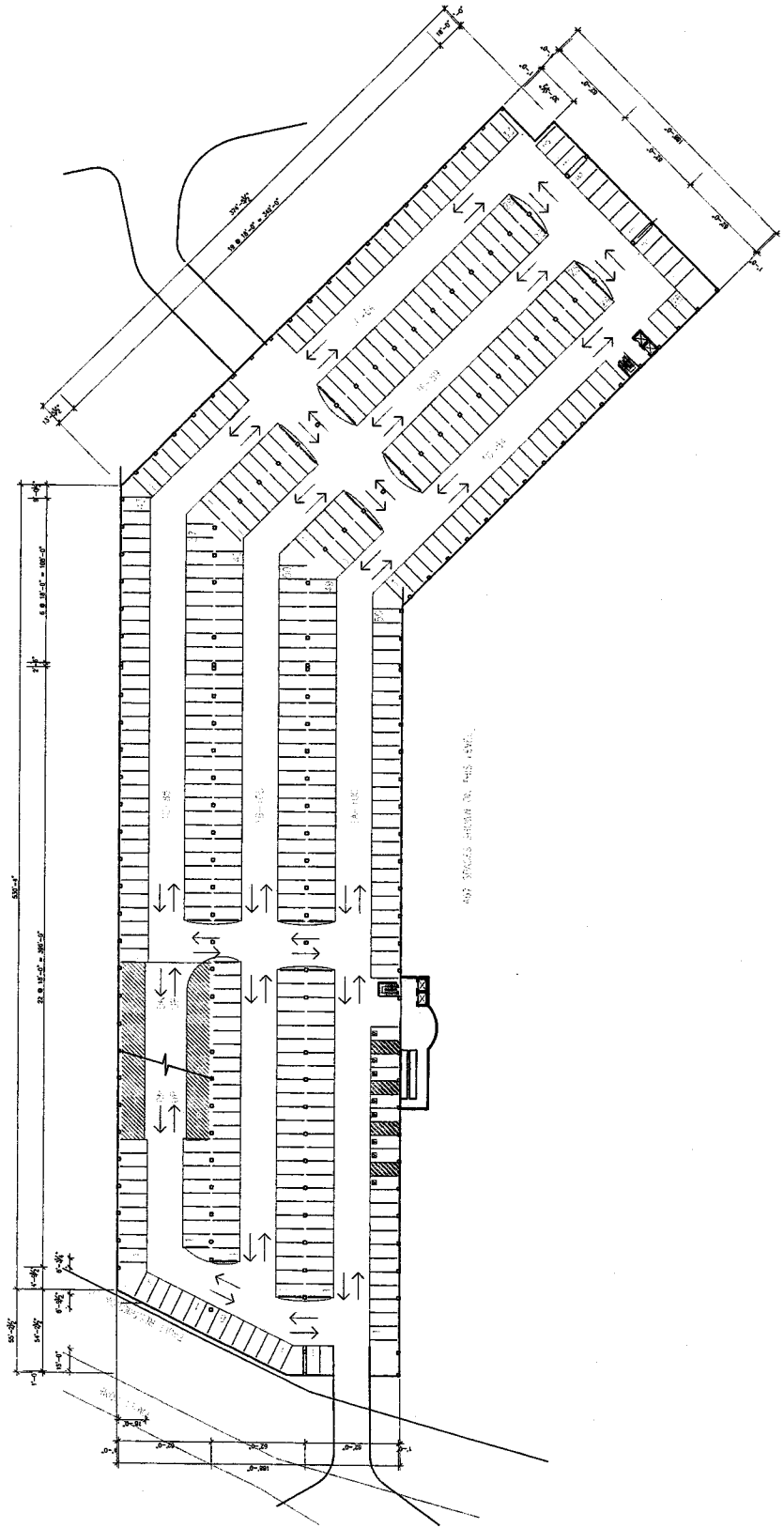
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PARKING STRUCTURE - FOURTH FLOOR PLAN



DESERT HILLS PREMIUM OUTLETS EXPANSION





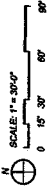
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2002-038 CR-03-11



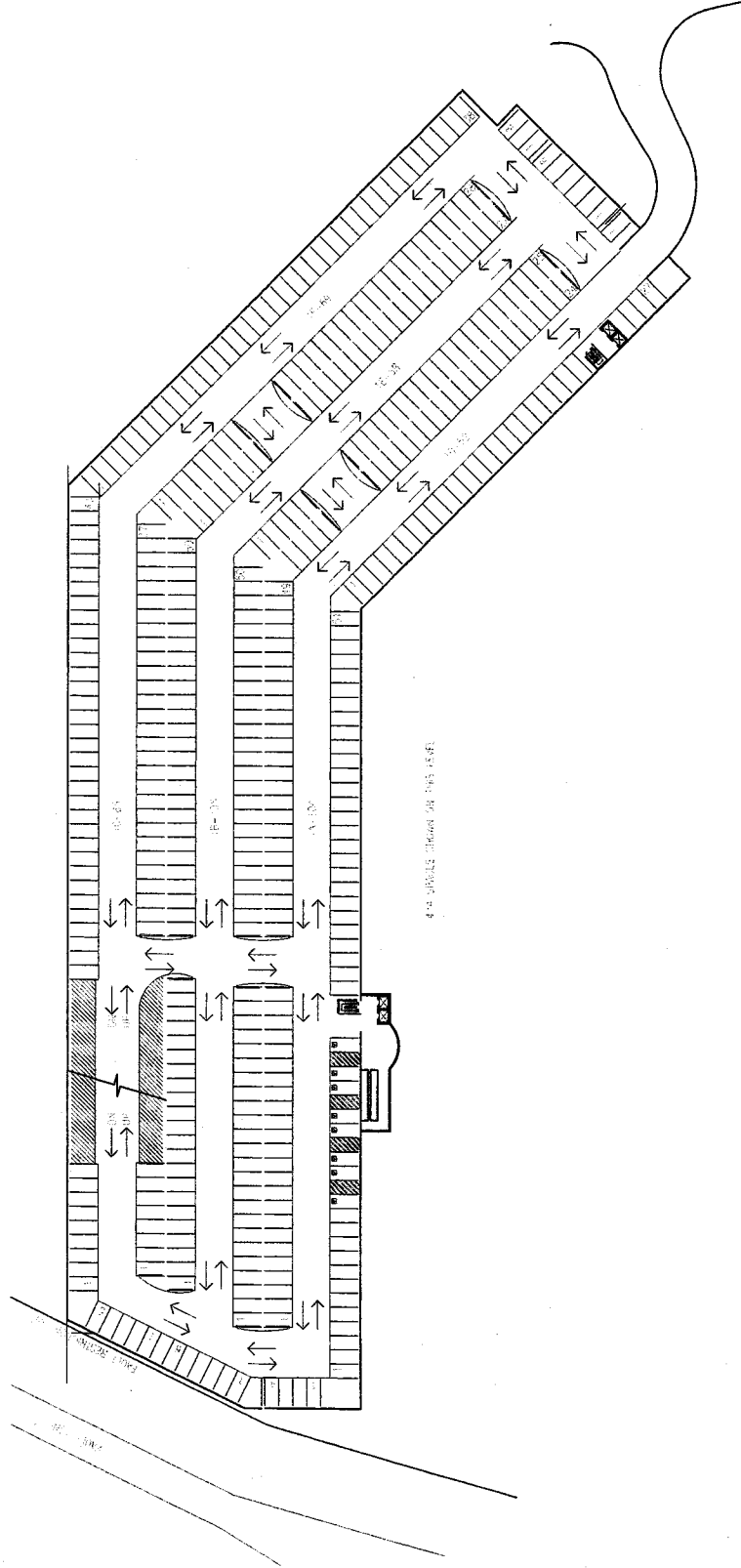
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PARKING STRUCTURE - THIRD FLOOR PLAN



DESERT HILLS PREMIUM OUTLETS EXPANSION

PREMIUM  
 OUTLETS  
 SIMON



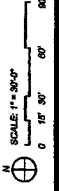
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2004-030 00-05-11



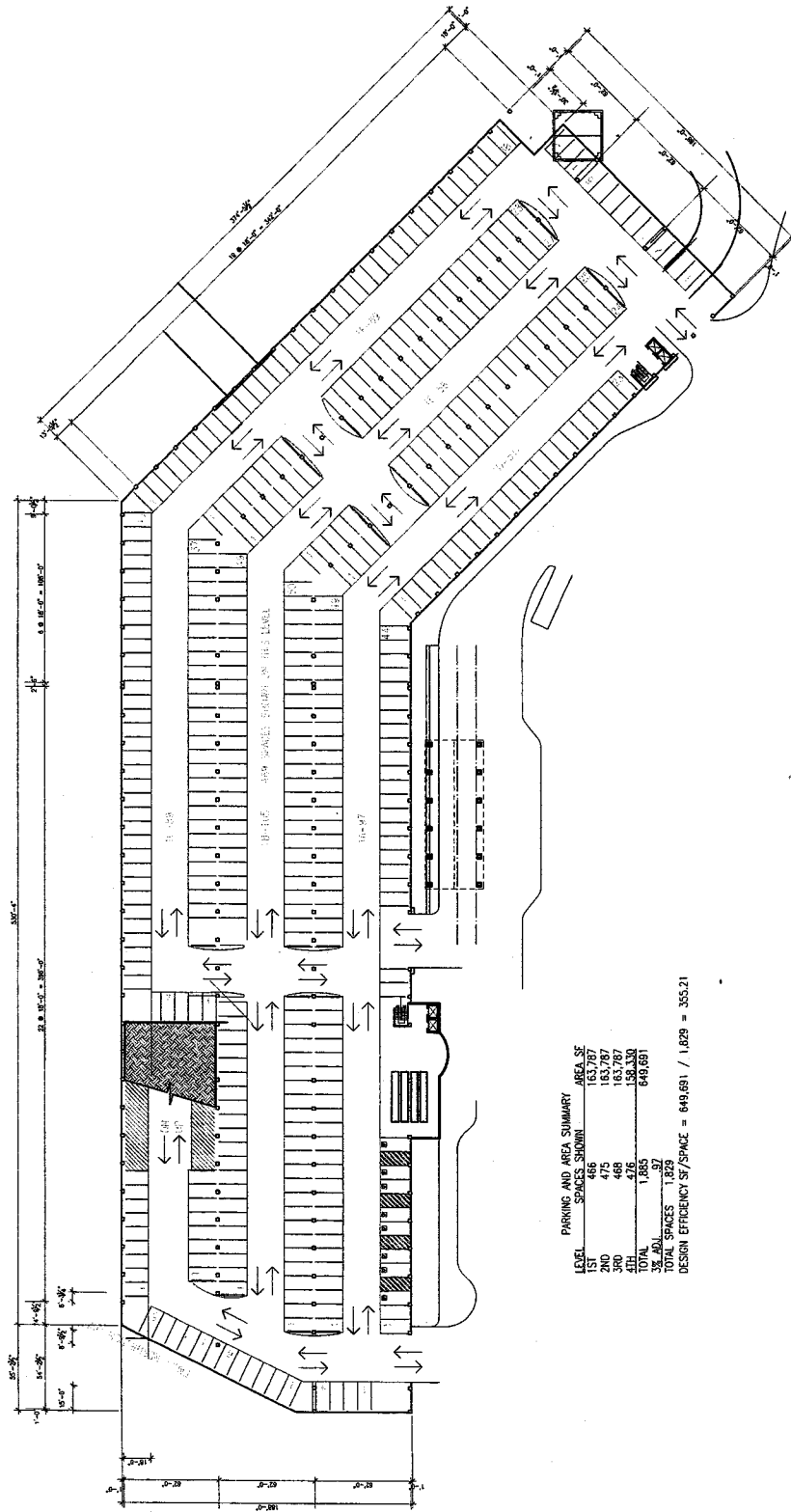
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PARKING STRUCTURE - SECOND FLOOR PLAN



DESERT HILLS PREMIUM OUTLETS EXPANSION





PARKING AND AREA SUMMARY

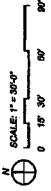
LEVEL	SPACES SHOWN	AREA SF
1ST	466	163,787
2ND	475	163,787
3RD	488	163,787
TOTAL	1,429	491,361
3% ADJ.	137	640,681
TOTAL SPACES	1,829	
DESIGN EFFICIENCY SF/SPACE		= 649,691 / 1,829 = 355.21

A5.20

2004-039 08-25-11



PARKING STRUCTURE - FIRST FLOOR PLAN



DESERT HILLS PREMIUM OUTLETS EXPANSION

PREMIUM  
OUTLETS  
SIMON

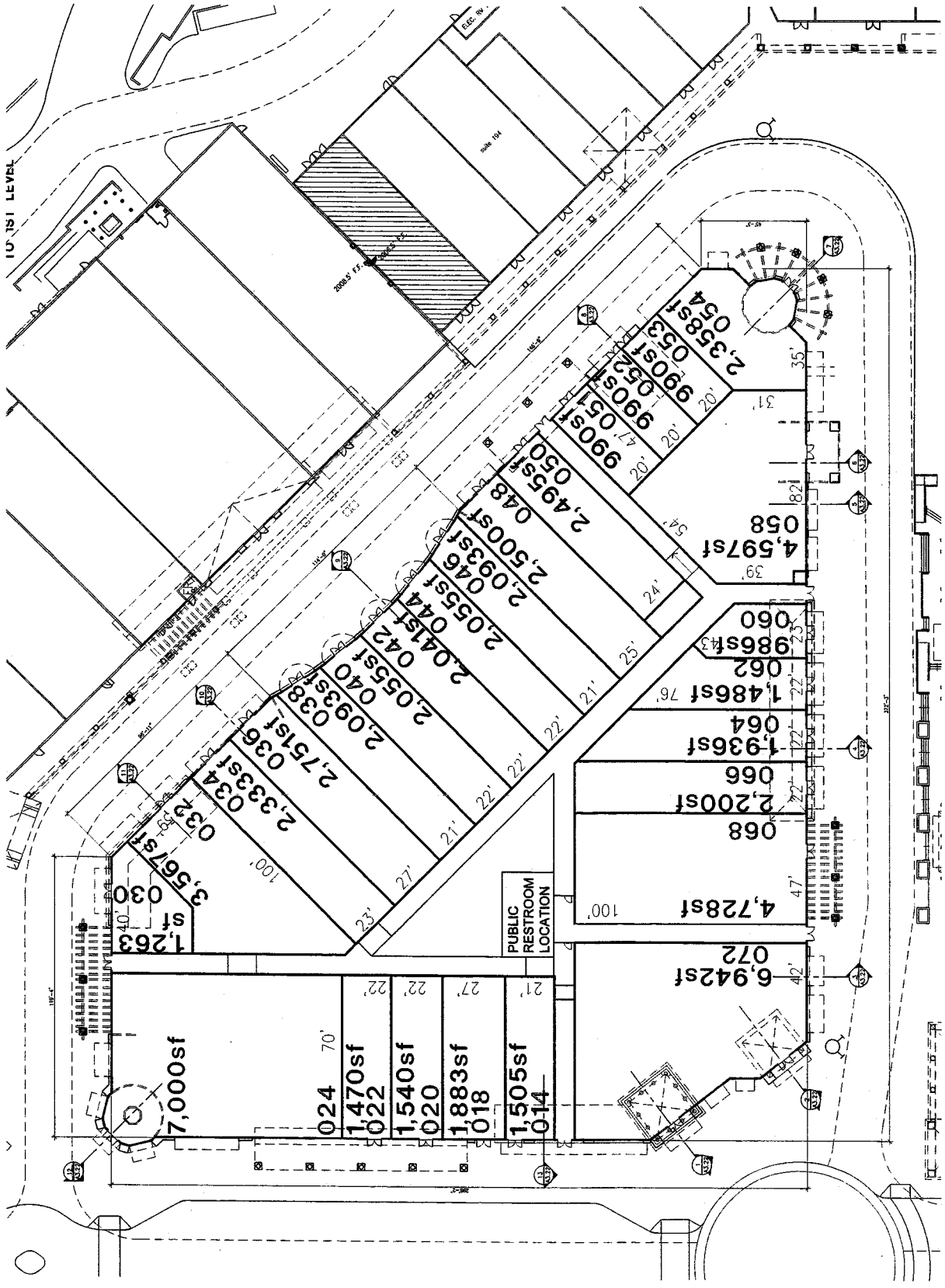
**BUILDING B  
FLOOR PLAN  
A3.20**

2006-039 10-31-11



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SCALE: 1/8" = 1'-0"  
0 5 10 15 20 25 30 35 40'



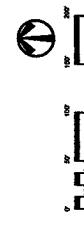
**DESERT HILLS PREMIUM OUTLETS EXPANSION**

**PREMIUM  
OUTLETS**  
SIMONT





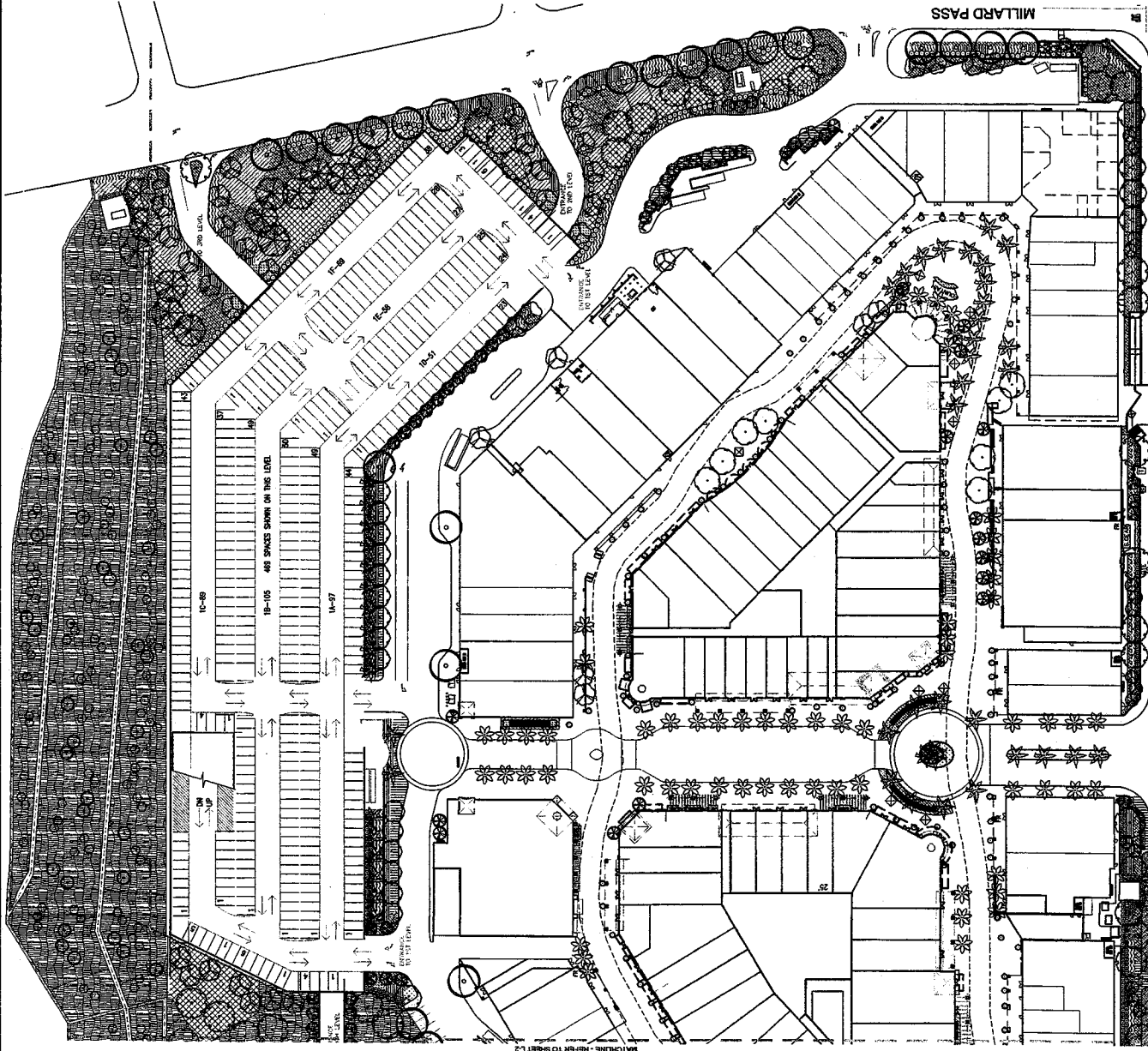
**DESIGNATION STATEMENT:**  
 THIS PROJECT, ORANGE HILLS DESERT HILLS PREMIUM OUTLETS EXPANSION, WILL COMPLY WITH ORDINANCE 808 (THE CALIFORNIA FIRE CODE) AND ALL APPLICABLE CALIFORNIA AND FEDERAL REGULATIONS. THIS PROJECT WILL BE DESIGNED AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CALIFORNIA AND FEDERAL REGULATIONS. THE DESIGNER HAS CONDUCTED VISUAL VERIFICATION OF THE PROJECT SITE AND HAS DETERMINED THAT THE PROJECT SITE IS SUITABLE FOR THE PROPOSED DEVELOPMENT. THE DESIGNER HAS CONDUCTED VISUAL VERIFICATION OF THE PROJECT SITE AND HAS DETERMINED THAT THE PROJECT SITE IS SUITABLE FOR THE PROPOSED DEVELOPMENT.



**CONCEPTUAL PLANT SCHEDULE**

QUANTITY	SIZE	DESCRIPTION
30	2 1/2"	California Ironwood
15	3 1/2"	Orange Blossom
10	4"	California Ironwood
5	5"	California Ironwood
5	6"	California Ironwood
5	8"	California Ironwood
5	10"	California Ironwood
5	12"	California Ironwood
5	14"	California Ironwood
5	16"	California Ironwood
5	18"	California Ironwood
5	20"	California Ironwood
5	24"	California Ironwood
5	28"	California Ironwood
5	32"	California Ironwood
5	36"	California Ironwood
5	40"	California Ironwood
5	44"	California Ironwood
5	48"	California Ironwood
5	52"	California Ironwood
5	56"	California Ironwood
5	60"	California Ironwood
5	64"	California Ironwood
5	68"	California Ironwood
5	72"	California Ironwood
5	76"	California Ironwood
5	80"	California Ironwood
5	84"	California Ironwood
5	88"	California Ironwood
5	92"	California Ironwood
5	96"	California Ironwood
5	100"	California Ironwood
5	104"	California Ironwood
5	108"	California Ironwood
5	112"	California Ironwood
5	116"	California Ironwood
5	120"	California Ironwood
5	124"	California Ironwood
5	128"	California Ironwood
5	132"	California Ironwood
5	136"	California Ironwood
5	140"	California Ironwood
5	144"	California Ironwood
5	148"	California Ironwood
5	152"	California Ironwood
5	156"	California Ironwood
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5	344"	California Ironwood
5	348"	California Ironwood
5	352"	California Ironwood
5	356"	California Ironwood
5	360"	California Ironwood
5	364"	California Ironwood
5	368"	California Ironwood
5	372"	California Ironwood
5	376"	California Ironwood
5	380"	California Ironwood
5	384"	California Ironwood
5	388"	California Ironwood
5	392"	California Ironwood
5	396"	California Ironwood
5	400"	California Ironwood

**PERMITS AND REGULATIONS:**  
 ALL PLANTING SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CALIFORNIA AND FEDERAL REGULATIONS. THE DESIGNER HAS CONDUCTED VISUAL VERIFICATION OF THE PROJECT SITE AND HAS DETERMINED THAT THE PROJECT SITE IS SUITABLE FOR THE PROPOSED DEVELOPMENT. THE DESIGNER HAS CONDUCTED VISUAL VERIFICATION OF THE PROJECT SITE AND HAS DETERMINED THAT THE PROJECT SITE IS SUITABLE FOR THE PROPOSED DEVELOPMENT.



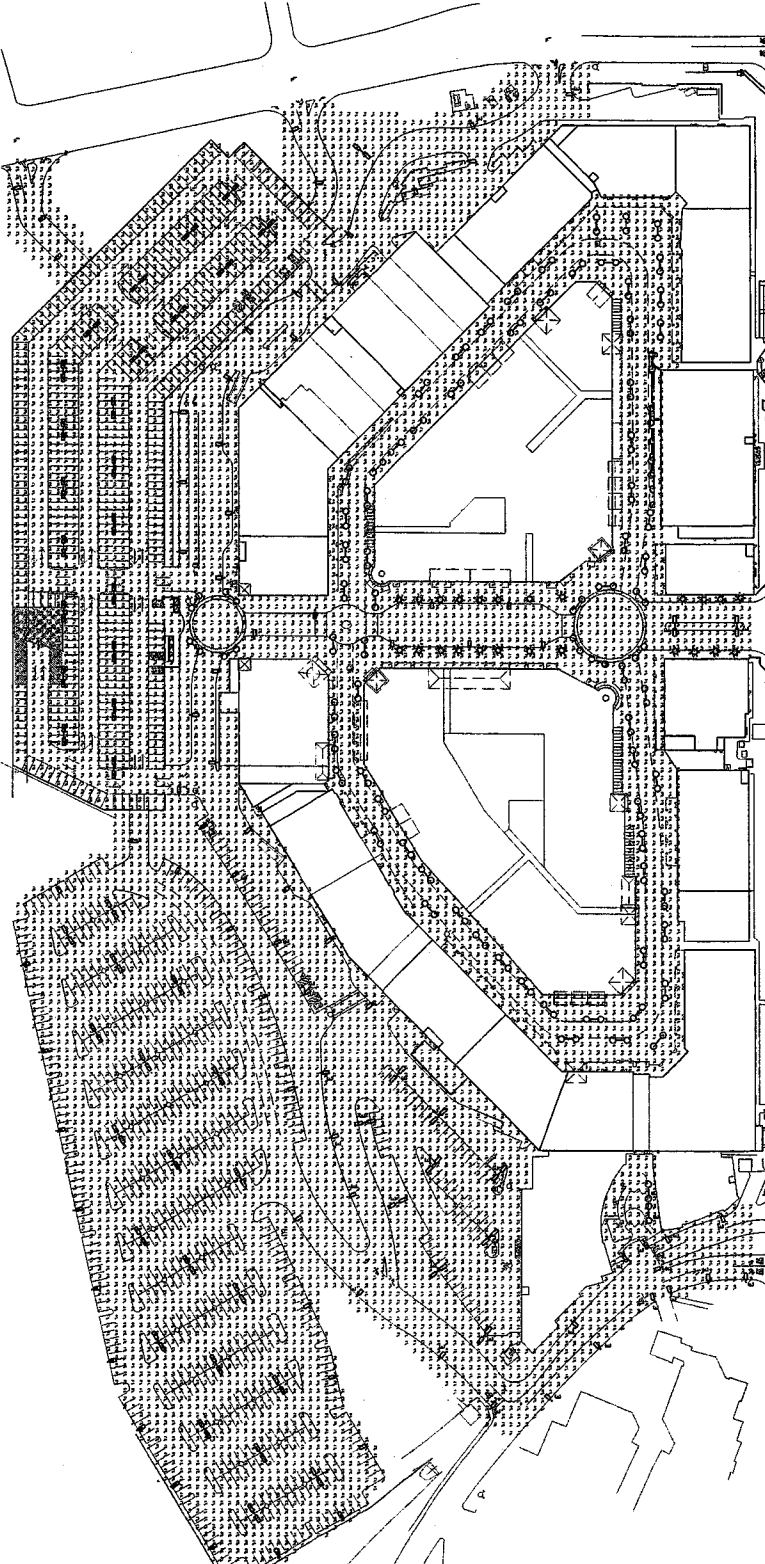
MATCHLINE - REFER TO SHEET L-2



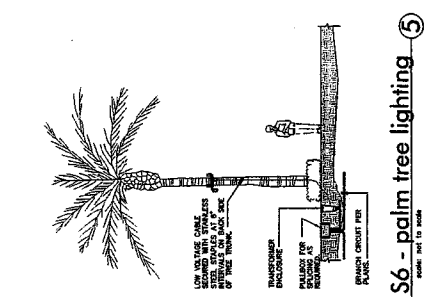
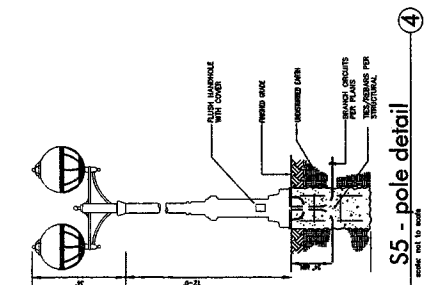
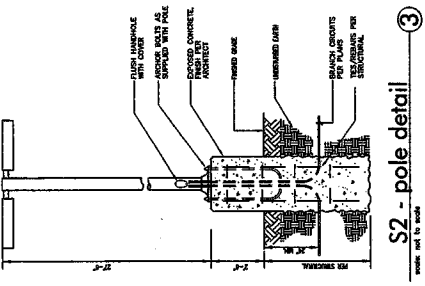
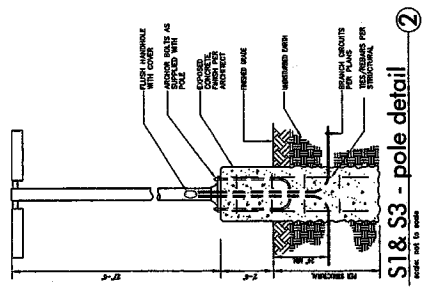
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TYPE	LEVISED	LEVISED FIXTURE DESCRIPTION
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(2)	100	100 WATT PARABOLIC REFLECTOR WITH 100 WATT PARABOLIC REFLECTOR
(3)	100	100 WATT PARABOLIC REFLECTOR WITH 100 WATT PARABOLIC REFLECTOR
(4)	100	100 WATT PARABOLIC REFLECTOR WITH 100 WATT PARABOLIC REFLECTOR
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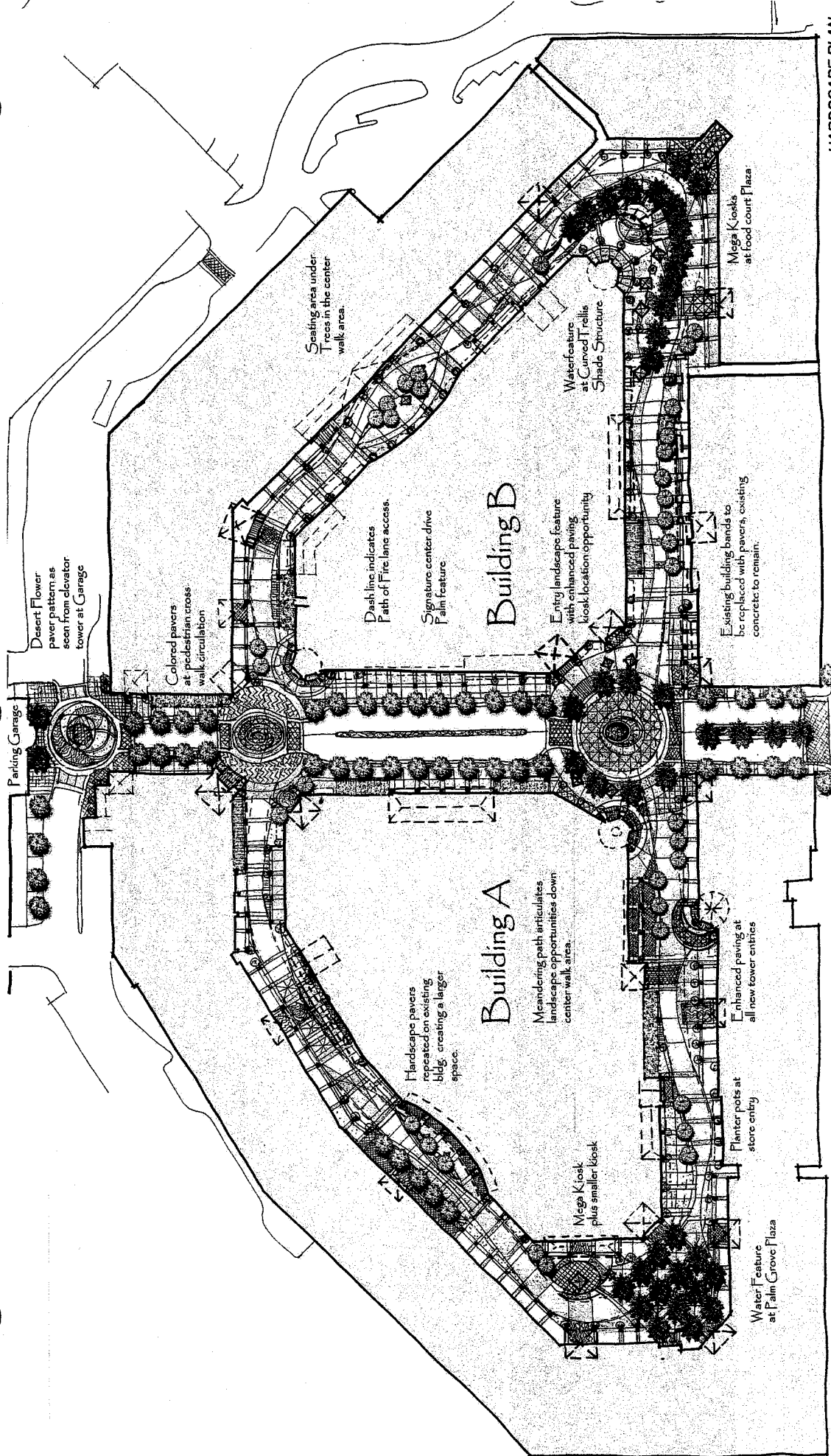
**photometric notes:**

1. THE WORKING CALCULATION REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LUMINOUS FLUX DATA UNDER CONTROLLED SOURCE SPREAD METHOD. SEE ILLUMINATION CALCULATION SHEET FOR DETAILS.
2. PHOTOGRAPHIC DATA USED IS BASED ON ESTABLISHED IESNA DATA. ALL DATA VALUES FIELD PERFORMANCE WILL VARY ON BASIS OF FIELD CONDITIONS. ALL DATA VALUES ARE TO BE USED AS A GUIDE ONLY. THE DESIGNER SHALL BE RESPONSIBLE FOR VERIFYING THE DATA THROUGH VISUAL INSPECTION AND/OR PHOTOGRAPHIC MEASUREMENTS. THE DESIGNER SHALL BE RESPONSIBLE FOR VERIFYING THE DATA THROUGH VISUAL INSPECTION AND/OR PHOTOGRAPHIC MEASUREMENTS.



site lighting plan  
sheet 1 of 2





Parking Garage  
Desert Flower  
paver pattern as  
seen from elevator  
tower at Garage

Colored pavers  
at pedestrian cross  
walk circulation

Seating area under  
Trees in the center  
walk area.

Dash line indicates  
Path of Fire lane access.

Signature center drive  
Palm feature

Building B

Entry landscape feature  
with enhanced paving  
kiosk location opportunity

Existing building bands to  
be replaced with pavers, existing  
concrete to remain.

Mega Kiosks  
at food court Plaza

Hardscape pavers  
repeated on existing  
bldg. creating a larger  
space.

Building A

Meandering path articulates  
landscape opportunities down  
center walk area.

Mega Kiosk  
plus smaller kiosk

Enhanced paving at  
all new tower entries

Planter pots at  
store entry

Water Feature  
at Palm Grove Plaza

HARDSCAPE PLAN

A1.12

2005.030 8-111



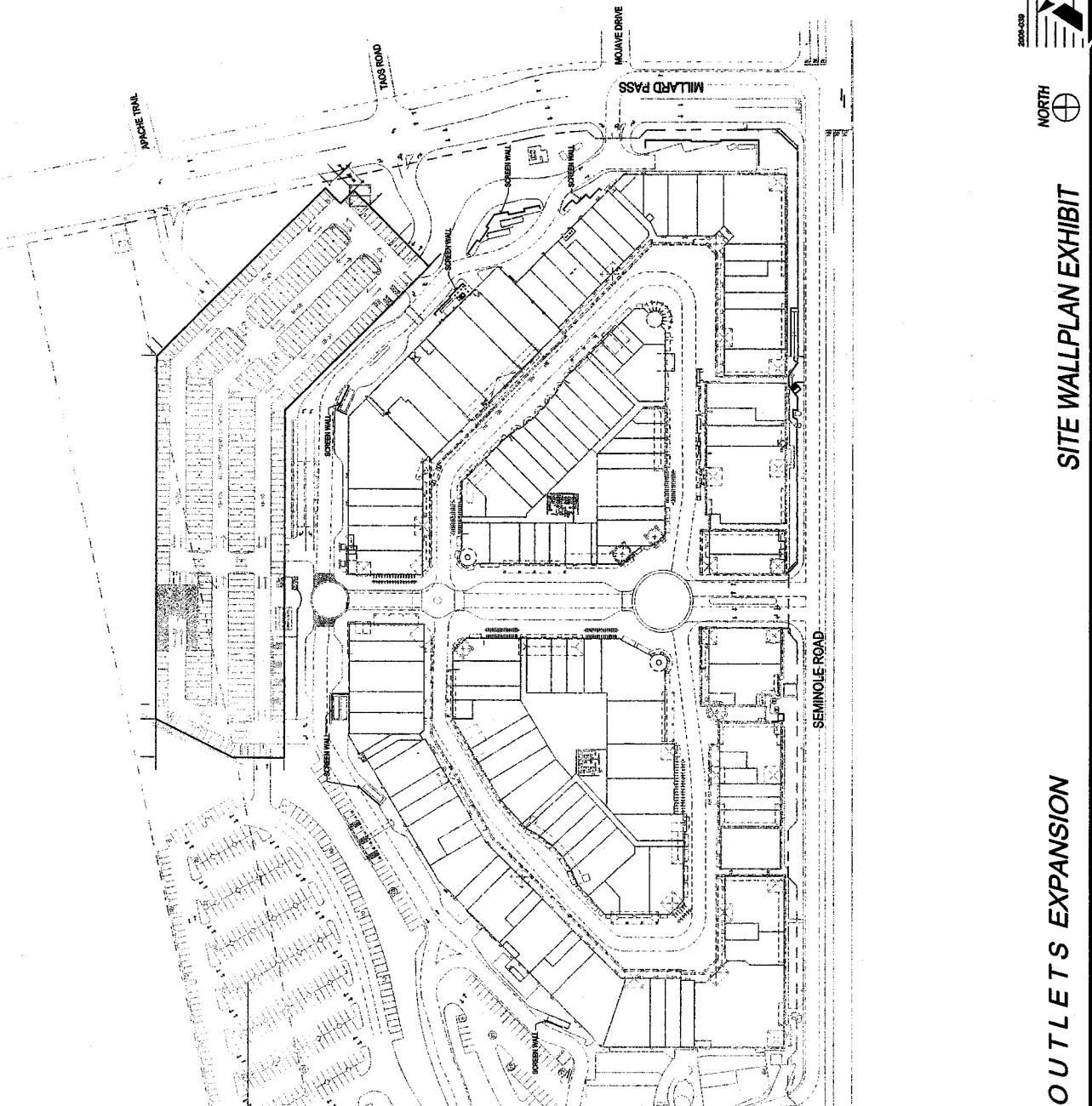
SCALE: 1/8" = 1'-0"  
0 5' 10' 15' 20' 25' 30' 35' 40'

ARCHITECTS ORANGE

DESERT HILLS PREMIUM OUTLETS CABAZON, CA

PREMIUM  
OUTLETS  
SIMON

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A1.11

2004-039 06-05-11

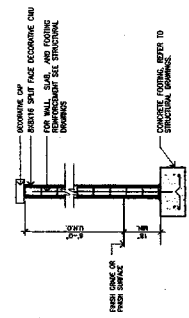


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**SITE WALL PLAN EXHIBIT**

**DESERT HILLS PREMIUM OUTLETS EXPANSION**



TYPICAL SITE WALL DETAIL

**PREMIUM OUTLETS**  
 SIMON

- 1 EXISTING BUILDING
- 2 NEW BUILDING
- 3 IMPROVED/REDEVELOP AREA
- 4 EXISTING ON-STREET PARKING
- 5 NEW ON-STREET PARKING
- 6 NEW 4-LEVEL PARKING STRUCTURE
- 7 EXISTING PUBLIC COMMON
- 8 NEW PUBLIC COMMON
- 9 EXISTING DRIVE/STAIRWAY
- 10 NEW DRIVE/STAIRWAY
- 11 NEW SERVICE COMMON
- 12 EXISTING PUBLIC RESTROOM
- 13 NEW PUBLIC RESTROOM
- 14 SERVICE WALL
- 15 NEW TRASH COMPACTOR
- 16 LOCATION OF EXISTING ELECTRICAL ROOM
- 17 NEW RAMP LOCATION
- 18 LOCATION OF EXISTING GAS METERS
- 19 NEW GAS METER
- 20 LOCATION OF EXISTING FIRE HOSE
- 21 LOCATION OF EXISTING TRANSFORMERS
- 22 LOCATION OF NEW TRANSFORMERS
- 23 ACCESS TO 2ND LEVEL PARKING
- 24 ACCESS TO 3RD LEVEL PARKING
- 25 ACCESS TO 4TH LEVEL PARKING
- 26 EXISTING CUE WAY PAZE
- 27 NEW CUE WAY PAZE
- 28 NEW PUBLIC FACILITIES
- 29 EXISTING PUBLIC FACILITIES
- 30 NEW PUBLIC FACILITIES
- 31 SERVICE WALL
- 32 LOCATION OF EXISTING ELECTRICAL ROOM
- 33 NEW RAMP LOCATION

**KEYNOTES**

519-110-038  
PP21839  
ZONING: R P S  
LAND USE: R.R. (VACANT)

ZONING: W-2, W-2-10  
LAND USE: M.D.R. (EXISTING  
RESIDENTIAL)

ZONING: W-2, W-2-10  
LAND USE: M.D.R. (EXISTING  
RESIDENTIAL)

519-141-034  
PP18715  
ZONING: C.P.S.  
LAND USE: C.R. (EXISTING)

519-110-040  
PP1839  
ZONING: C.P.S.  
LAND USE: C.R. (EXISTING)

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LEGAL DESCRIPTION  
ADDRESS: 519-110-040  
CITY: PALM SPRINGS, CA 92262

UTILITIES AND SCHOOL DISTRICT  
CALIFORNIA CALIFORNIA WATER  
SCHOOL DISTRICT

CONCRETE  
STEEL  
WOOD  
GLASS  
MASONRY

CONCRETE  
STEEL  
WOOD  
GLASS  
MASONRY

CONCRETE  
STEEL  
WOOD  
GLASS  
MASONRY

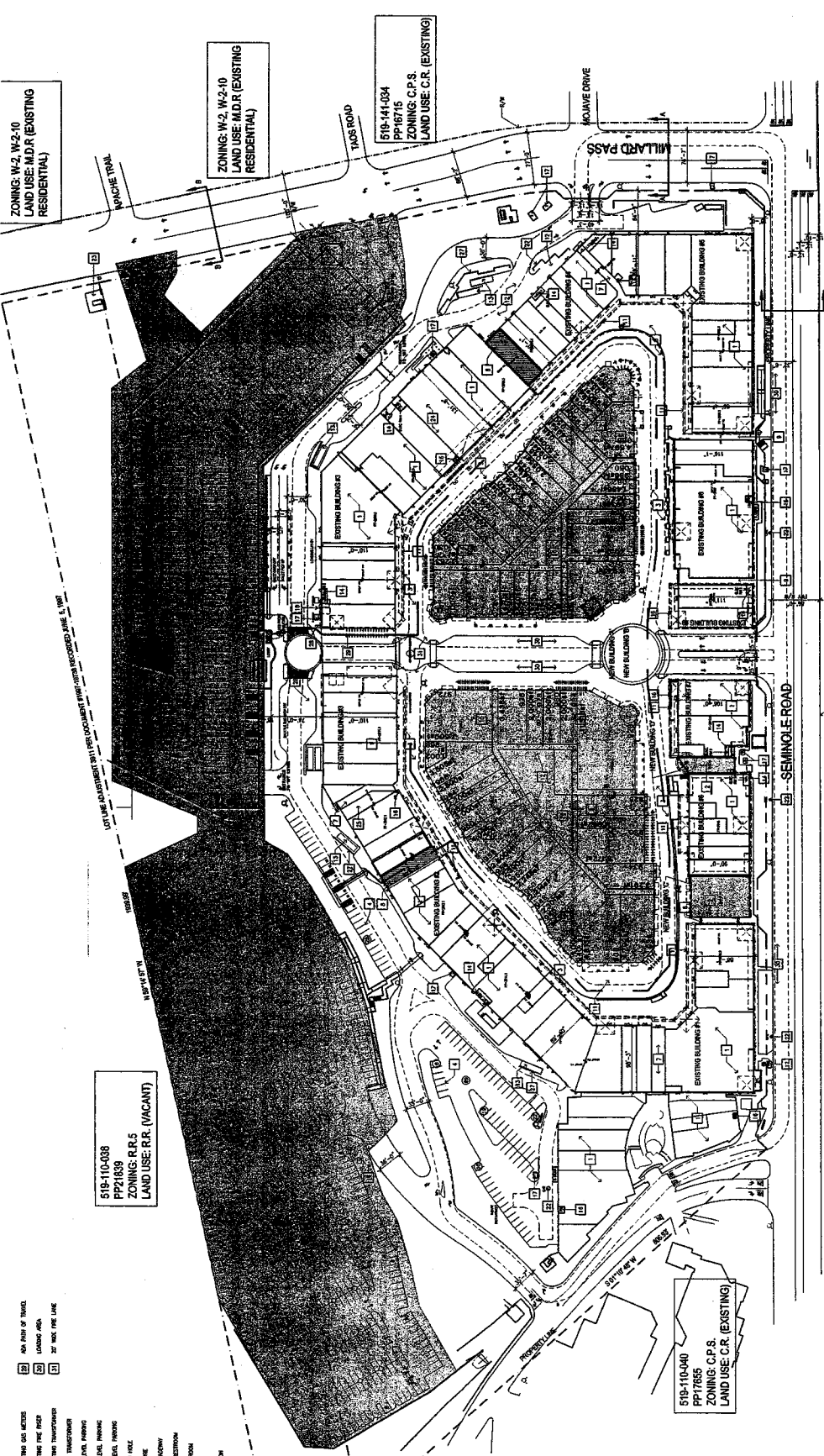
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WOOD  
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MASONRY

CONCRETE  
STEEL  
WOOD  
GLASS  
MASONRY



TYPE	AREA	PERCENTAGE
TOTAL BUILDING AREA	282,371	100%
TOTAL PARKING AREA	18,779	6.7%
TOTAL LANDSCAPING AREA	18,779	6.7%
TOTAL IMPROVED AREA	313,929	111%

\*HANDICAPPED STALLS ARE LOCATED ON EACH LEVEL OF PARKING STRUCTURE\*

**BUILDING AREA & PARKING CALCULATIONS**



SCALE: 1"=80'-0"

**SITE PLAN**

**PROJECT INFORMATION**

**VICINITY MAP**

**LEGEND**

**SITE STATISTICS**

**ZONING AND LAND USE**

**PREMIUM OUTLETS**

**SIMON**

A1.10  
02-23-11



ARCHITECTS  
1111 AVENUE OF THE STARS  
SUITE 1000  
PALM SPRINGS, CA 92262  
PHONE: 760.325.1111  
FAX: 760.325.1112

**DESERT HILLS PREMIUM OUTLETS EXPANSION**

**DESERT HILLS PREMIUM OUTLETS EXPANSION**

**PREMIUM OUTLETS**  
**SIMON**

**PROJECT TEAM:**

**OWNERS:**  
**PREMIUM OUTLETS/SIMON**  
 152 Eisenhower Parkway  
 Irvine, CA 92614  
 (949) 222-4111

**CONTACT:**  
 Miles Krueger

**ARCHITECTS:**  
**DAVID HENNINGSON**  
 141 N. Orange St.  
 Orange, CA 92668  
 (714) 938-0200 Fax  
 (714) 938-0200

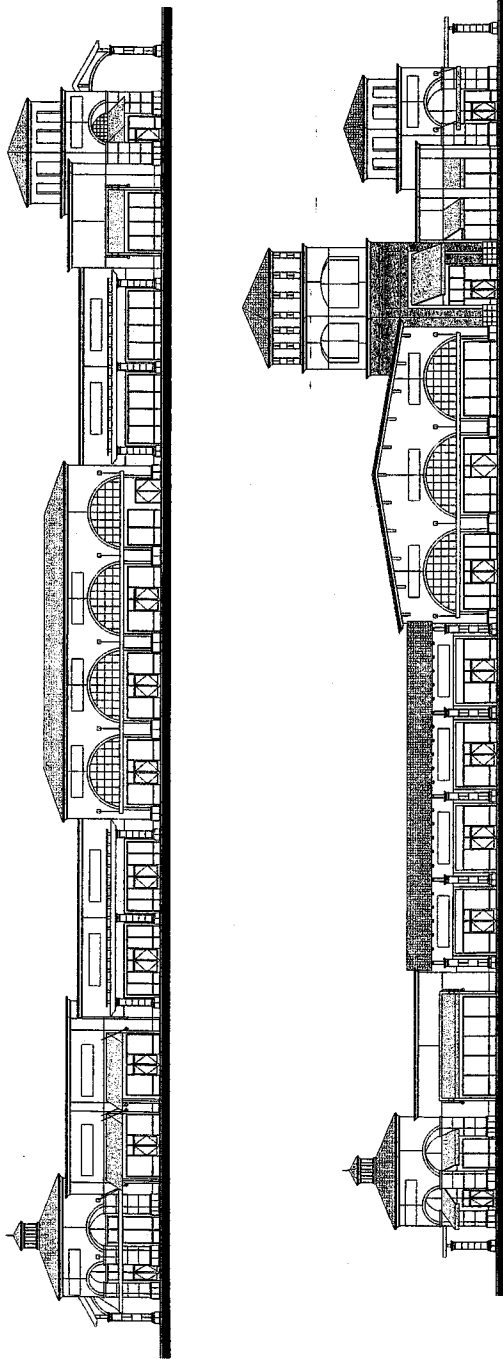
**CONTACT:**  
 David Henningson  
 Linda Lawford

**CIVIL ENGINEER:**  
**ACZ CONSULTANTS**  
 10000 Wilshire Blvd., Suite 200  
 Beverly Hills, CA 90210  
 (818) 341-8840  
 (818) 341-8840 Fax

**CONTACT:**  
 Don Effron

**LANDSCAPE ARCHITECTS:**  
**PROFFERS+HARRIS, INC.**  
 2714 Broadway Avenue, Suite 212  
 Riverside, CA 92506  
 (951) 511-1116  
 (951) 502-5081 Fax

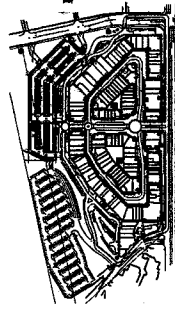
**CONTACT:**  
 Doug Stone



**SHEET INDEX:**

- A0 COVER SHEET
- A1.10 SITE PLAN
- A1.11 HARDSCAPE PLAN
- E1.2 SITE PHOTOMETRIC
- L-1 CONCEPTUAL LANDSCAPE PLAN
- L-2 CONCEPTUAL TREE PLAN
- A2.20 BUILDING A FLOOR PLAN
- A2.21 BUILDING A ELEVATIONS
- A2.22 BUILDING A ELEVATIONS/ SECTIONS
- A3.20 BUILDING B FLOOR PLAN
- A3.21 BUILDING B ELEVATIONS
- A3.22 BUILDING B ELEVATIONS/ SECTIONS
- A4.20 REMODEL ELEVATIONS/PARTIAL FLOOR PLANS
- A4.21 REMODEL ELEVATIONS/PARTIAL FLOOR PLANS
- A4.22 REMODEL ELEVATIONS/PARTIAL FLOOR PLANS
- A4.23 REMODEL ELEVATIONS/PARTIAL FLOOR PLANS
- A4.24 REMODEL ELEVATIONS/PARTIAL FLOOR PLANS
- A4.25 REMODEL ELEVATIONS/PARTIAL FLOOR PLANS
- A4.26 REMODEL ELEVATIONS/PARTIAL FLOOR PLANS
- A4.27 REMODEL SECTIONS
- A5.20 GARAGE FLOOR PLAN - FIRST FLOOR
- A5.21 GARAGE FLOOR PLAN - SECOND FLOOR
- A5.22 GARAGE FLOOR PLAN - THIRD FLOOR
- A5.23 GARAGE FLOOR PLAN - FOURTH FLOOR
- A5.24 GARAGE ELEVATIONS
- A5.25 GARAGE ELEVATIONS/SECTION

**REFERENCE SITE PLAN:**



**FLOOR PLANS AND ELEVATIONS**  
**A0**  
**ENTITLEMENT PACKAGE**  
**AUG. 8, 2011**

2009-039 08-08-11



**COVER SHEET**

**UTILITY SURVEYORS:**

**SOUTHERN CALIFORNIA Edison** 1-800-453-4653  
**VERICON** 1-800-463-2000  
**THE GAS COMPANY** 1-800-467-2000  
**THE WATER CO. OF CALIFORNIA** 1-707-440-2275

**PLUMBING, SEWER, GAS, WATER**  
 SIMON UNITED SCHOOL DISTRICT

**BUILDING TABULATIONS:**

TYPE	NO.	AREA (SQ. FT.)	NO. OF UNITS
BUILDING A	1	10,000	100
BUILDING B	1	10,000	100
REMODEL	1	10,000	100
GARAGE	1	10,000	100
TOTAL			

**LEGAL DESCRIPTION**

ALL OF THE UNIMPROVED LAND OF SECTION 7, TOWNSHIP 3 NORTH, RANGE 12 EAST, COUNTY OF CALIFORNIA, STATE OF CALIFORNIA, BEING THE UNIMPROVED LAND OF THE SEVERAL PARCELS AS SHOWN ON PARCELS MAP NO. 100000, FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK OF CALIFORNIA, COUNTY OF CALIFORNIA, AND BEING THE UNIMPROVED LAND OF THE SEVERAL PARCELS AS SHOWN ON PARCELS MAP NO. 100000, FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK OF CALIFORNIA, COUNTY OF CALIFORNIA, AND BEING THE UNIMPROVED LAND OF THE SEVERAL PARCELS AS SHOWN ON PARCELS MAP NO. 100000, FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK OF CALIFORNIA, COUNTY OF CALIFORNIA.

**ZONING & GENERAL PLAN**

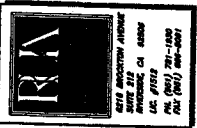
COMMERCIAL PLANNED DEVELOPMENT

**DESERT HILLS PREMIUM OUTLETS EXPANSION**









**RA ARCHITECTS ORANGE**  
 144 N. Orange Street  
 Orange, CA 92666  
 (714) 639-8800  
 Contact: Linda Laurenzi

**Desert Hills Premium  
 Outlets Expansion**  
 Semihole Road  
 Capetown, CA

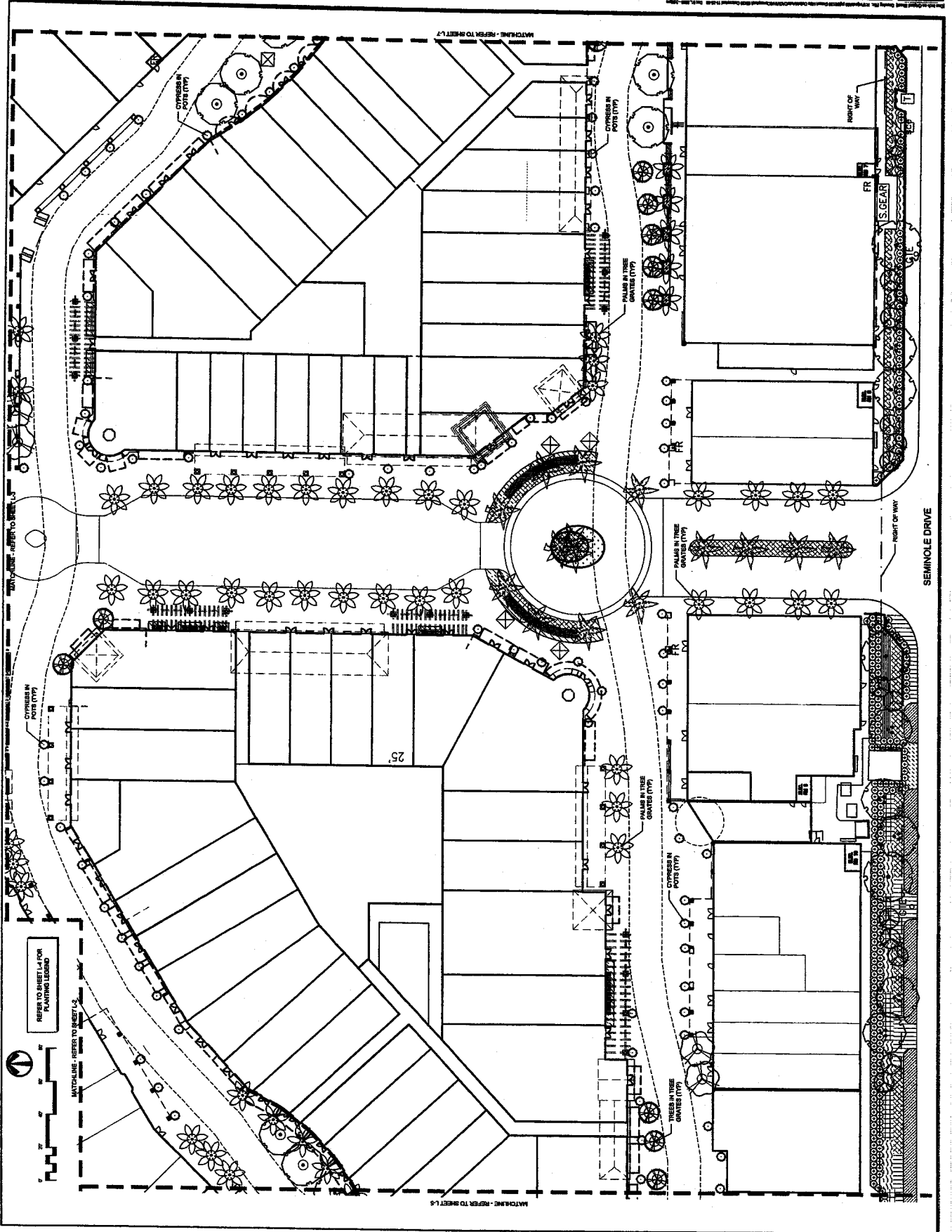
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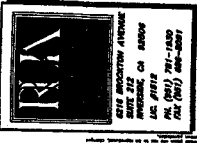
**DESIGN TITLE**  
 CONCEPTUAL  
 LANDSCAPE  
 PLAN

DESIGNED BY	DATE	SCALE	PROJECT NO.
CHECKED BY	DATE	SCALE	PROJECT NO.

**L-6**  
 SHEET NO. 01130  
 1 OF 7 SHEETS



SEMINOLE DRIVE



**ARCHITECTS ORANGE**  
 144 N. Orange Street  
 Orange, CA 92666  
 (714) 839-9860  
 Contact: Linda Laurentz

**Desert Hills Premium Outlets Expansion**  
 Cabazon, CA  
 Seminoe Road

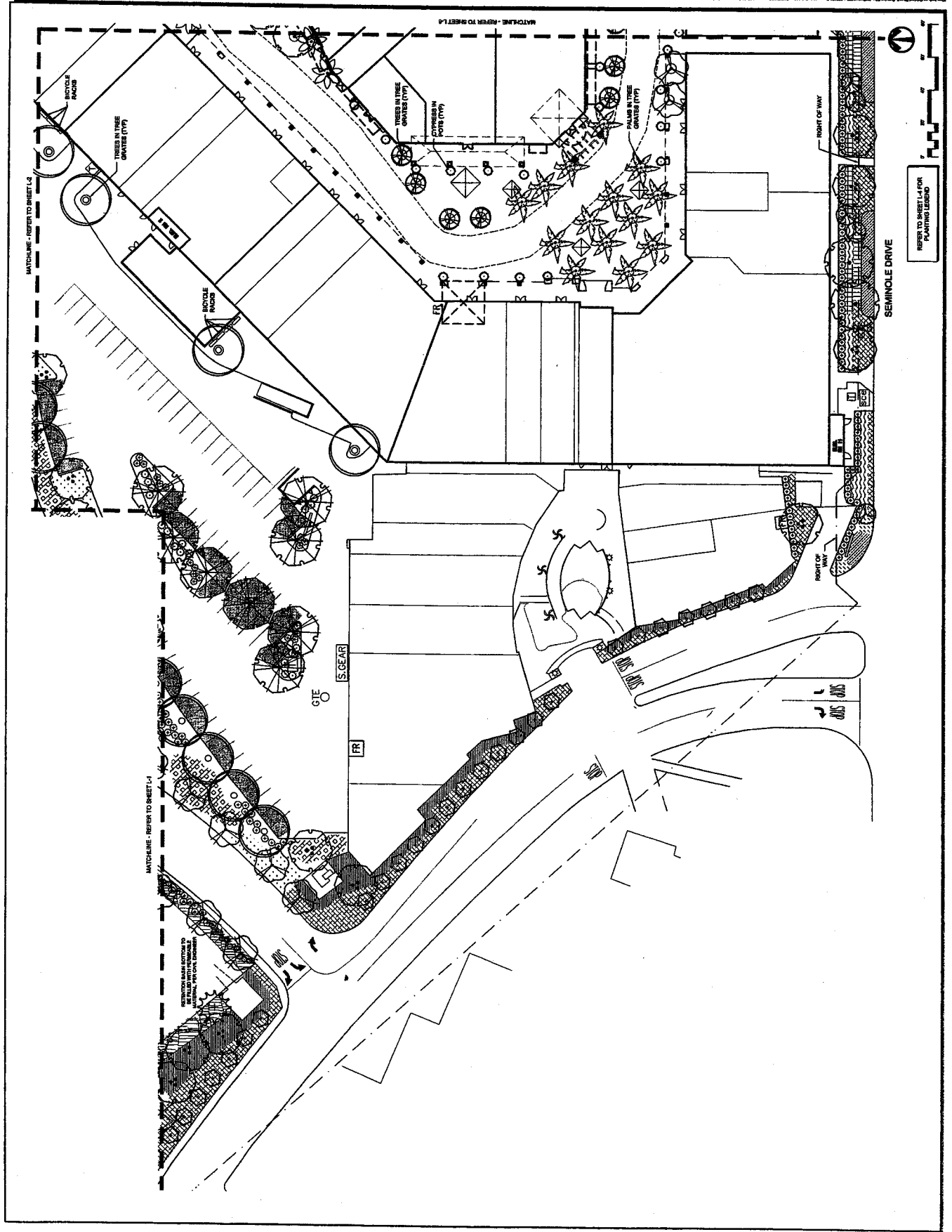
DATE	DESCRIPTION



**CONCEPTUAL LANDSCAPE PLAN**

DATE	DESCRIPTION

**L-5**  
 SHEET 5 OF 7 SHEETS



REFER TO SHEET L-4 FOR PLANTING LEGEND



**ARCHITECTS ORANGE**  
 144 N. Orange Street  
 Orange, CA 92666  
 (714) 639-9860  
 Contact: Linda Laurentz

**Desert Hills Premium Outlets Expansion**  
 56201  
 Serrano Road  
 San Jose, CA



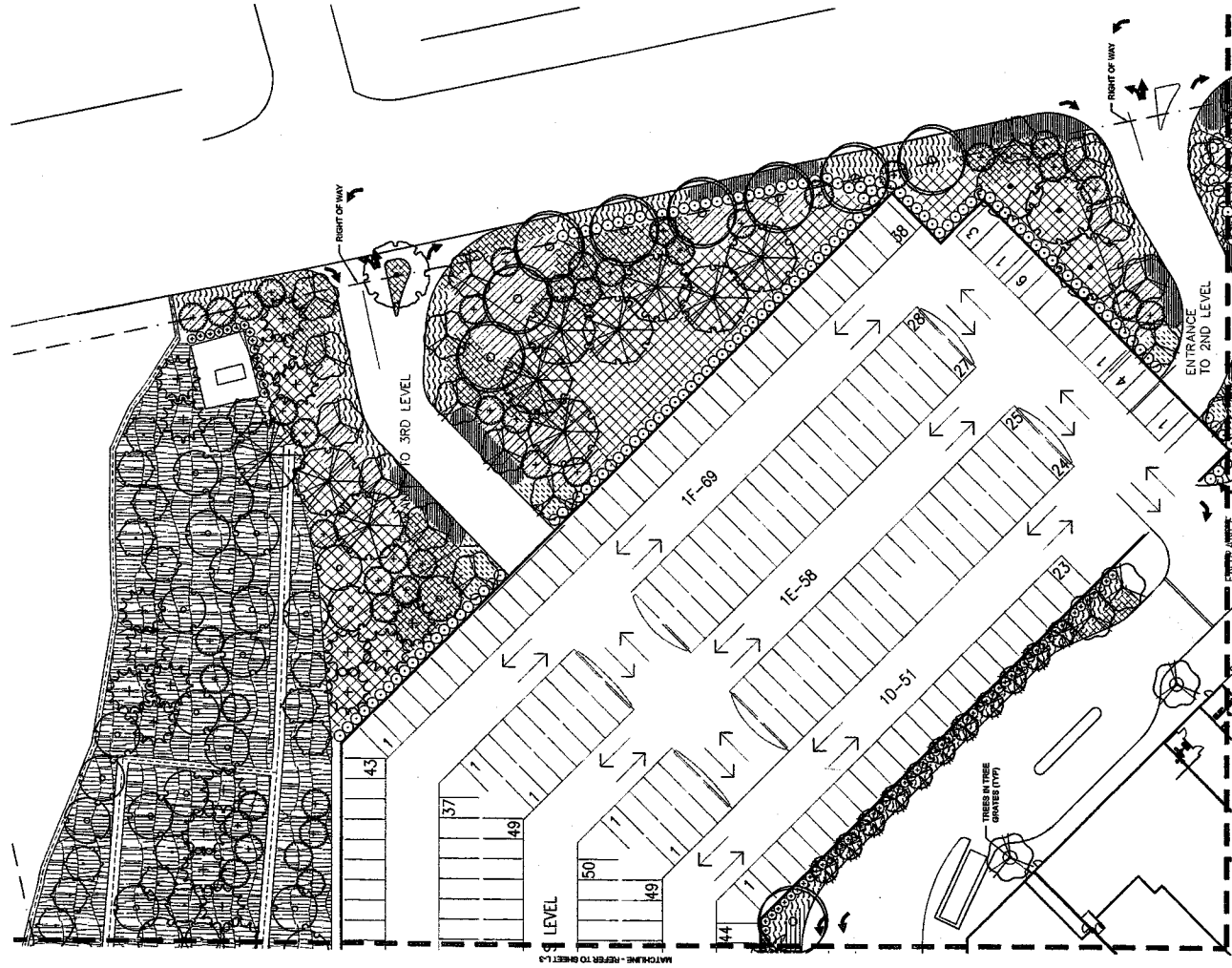
**CONCEPTUAL LANDSCAPE PLAN**

DATE	
REVISION	
NO.	
DATE	
BY	
CHECKED	
DATE	
BY	
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DATE	
BY	
CHECKED	

SHEET **L-4**  
 4 OF 7 SHEETS

**CONCEPTUAL PLANT SCHEDULE**

QUANTITY	SYMBOL	COMMON NAME	SCIENTIFIC NAME	HEIGHT	SPACING	NOTES
31	1	Orange	Citrus aurantium	15 ft	15' x 15'	...
20	2	...	...	...	...	...
15	3	...	...	...	...	...
11	4	...	...	...	...	...
10	5	...	...	...	...	...
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10	57	...	...	...	...	...
10	58	...	...	...	...	...
10	59	...	...	...	...	...
10	60	...	...	...	...	...



ALL PLANTING (UNLESS SPECIFIED) TO BE PLANTED AT 2' x 2' GRID. CHECK WITH LANDSCAPE ARCHITECT FOR SPECIFIC PLANTING REQUIREMENTS. PLANTING TO BE PLANTED AT 2' x 2' GRID. CHECK WITH LANDSCAPE ARCHITECT FOR SPECIFIC PLANTING REQUIREMENTS. PLANTING TO BE PLANTED AT 2' x 2' GRID. CHECK WITH LANDSCAPE ARCHITECT FOR SPECIFIC PLANTING REQUIREMENTS.



144 N. Orange Street  
 Orange, CA 92666  
 (714) 829-9960  
 Contact: Linda Laurenti

Desert Hills Premium  
 Outlets Expansion  
 Semholc Road  
 Cabezon, CA

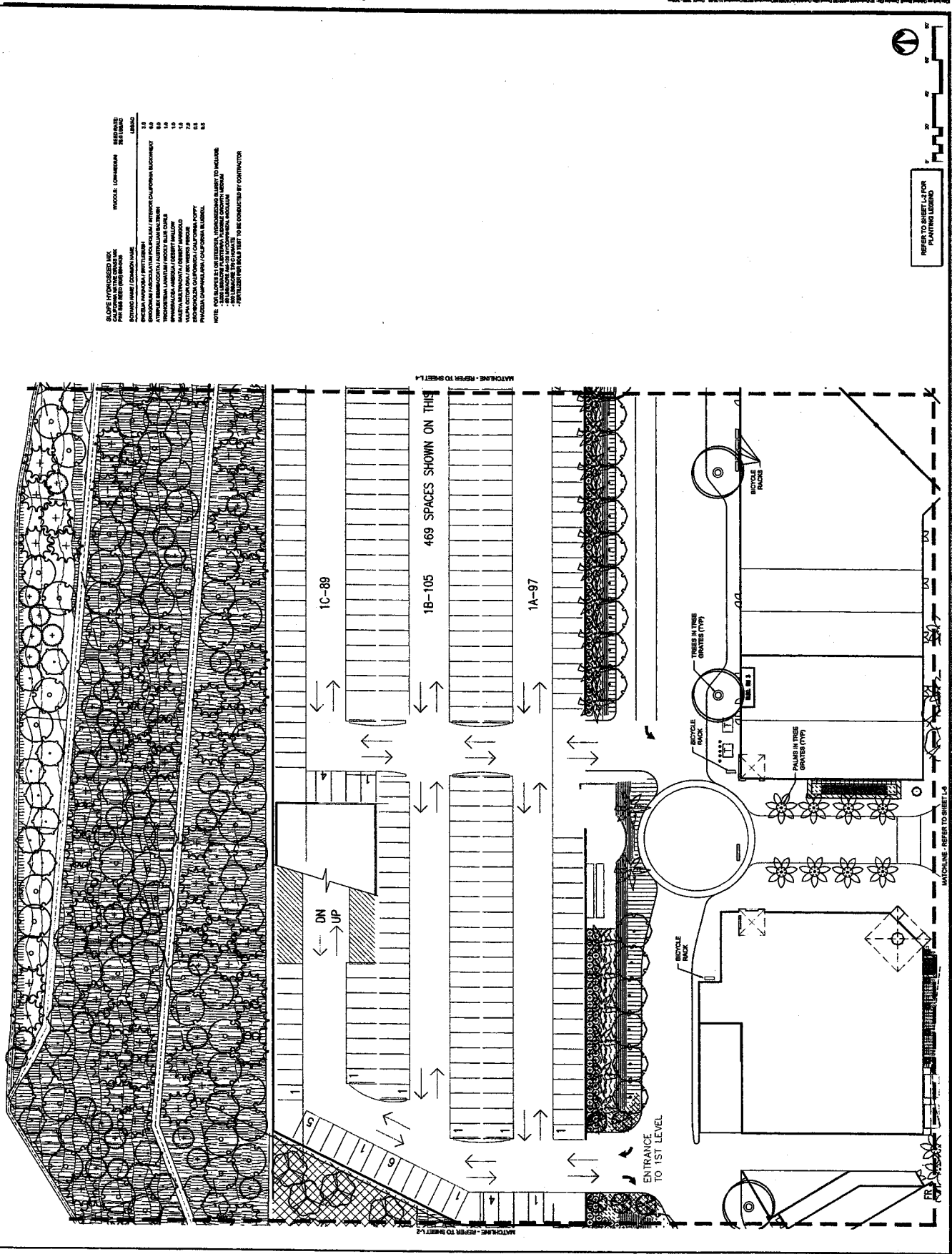
NO.	DATE



CONCEPTUAL  
 LANDSCAPE  
 PLAN

DESIGNED BY	DATE
CHECKED BY	DATE
SCALE	DATE
JOB NO.	DATE

SHEET  
 L-3  
 1 OF 7 SHEETS



**LEGEND**

SYMBOLS FOR: SLOPE HYDROLOGICAL ANALYSIS, TREE PLANTING, FURNITURE, etc.

**SYMBOLS FOR: SLOPE HYDROLOGICAL ANALYSIS**

SYMBOLS FOR: SLOPE HYDROLOGICAL ANALYSIS, TREE PLANTING, FURNITURE, etc.

**SYMBOLS FOR: TREE PLANTING**

SYMBOLS FOR: TREE PLANTING, FURNITURE, etc.

**SYMBOLS FOR: FURNITURE**

SYMBOLS FOR: FURNITURE, etc.

**SYMBOLS FOR: OTHER**

SYMBOLS FOR: OTHER, etc.

REFER TO SHEET L-2 FOR  
 PLANTING LEGEND



# DESERT HILL PREMIUM OUTLETS 48800 SEMINOLE DRIVE CABAZON, CA 92230

## UTILITY PURVEYORS:

SOUTHERN CALIFORNIA Edison 1-800-455-4555  
 WATER AND SEWER Orange 1-800-455-4555  
 THE GAS COMPANY 1-800-455-4555  
 THE WATER WORKS 1-800-455-4555

## LEGAL DESCRIPTION

A PORTION OF THE SURFACE & OF UNDERLYING STRATA,  
 TOGETHER WITH THE RIGHT OF EASE, OF CERTAIN  
 LOTS, BLOCKS, TRACTS, AND PARCELS OF LAND,  
 MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
 THE 1/4 SECTION 16, TOWNSHIP 35 NORTH,  
 RANGE 22 EAST, COUNTY OF ORANGE, CALIFORNIA,  
 AS SHOWN ON THE PLAT OF THE PROJECT SITE,  
 MAP NO. 92230, FILED FOR RECORD IN THE  
 OFFICE OF THE COUNTY CLERK OF ORANGE COUNTY,  
 CALIFORNIA, ON 08/14/2008 AT 10:00 AM.

## ZONING & GENERAL PLAN

GENERAL PLANNED ENCOURAGED

## PROJECT TEAM:

**OWNER:**  
 CHELSEA PROPERTY GROUP, INC.  
 14000 Wilshire Blvd., Suite 1000  
 Beverly Hills, CA 90210  
 (310) 491-7100  
 (310) 491-6000 fax

**ARCHITECTS:**  
 RUMBERG & ASSOCIATES  
 14411 Orange St.  
 Orange, CA 92668  
 (714) 963-3400  
 (714) 963-3200 fax

**CIVIL ENGINEERS:**  
 RUMBERG & ASSOCIATES  
 14411 Orange St.  
 Orange, CA 92668  
 (714) 963-3400  
 (714) 963-3200 fax

**LANDSCAPE ARCHITECTS:**  
 RHA LANDSCAPE ARCHITECTS  
 14 AMBERSON, INC.  
 14000 Wilshire Blvd., Suite 1000  
 Beverly Hills, CA 90210  
 (310) 491-7100 ext. 110  
 (310) 491-6000 fax

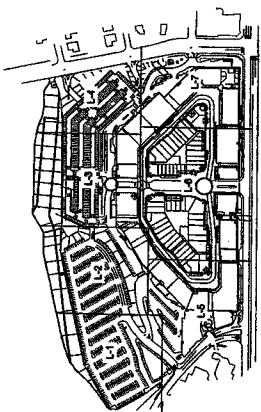
**CONTACT:**  
 Brad Rippe  
 (310) 491-7100

**CONTACT:**  
 David Houshagian  
 Luke Lawless  
 (310) 491-7100

**CONTACT:**  
 Bob Wilton  
 (310) 491-7100

**CONTACT:**  
 Sam Townsend  
 (310) 491-7100

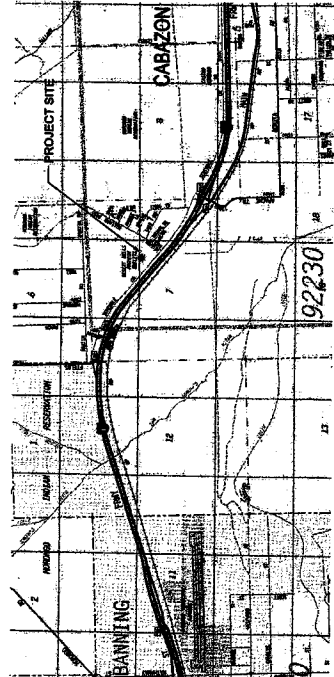
## REFERENCE SITE PLAN:



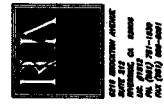
## SHEET INDEX:

CV	LANDSCAPE COVER SHEET
L-1	CONCEPTUAL PLANTING PLAN
L-2	CONCEPTUAL PLANTING PLAN
L-3	CONCEPTUAL PLANTING PLAN
L-4	CONCEPTUAL PLANTING PLAN
L-5	CONCEPTUAL PLANTING PLAN
L-6	CONCEPTUAL PLANTING PLAN
L-7	CONCEPTUAL PLANTING PLAN

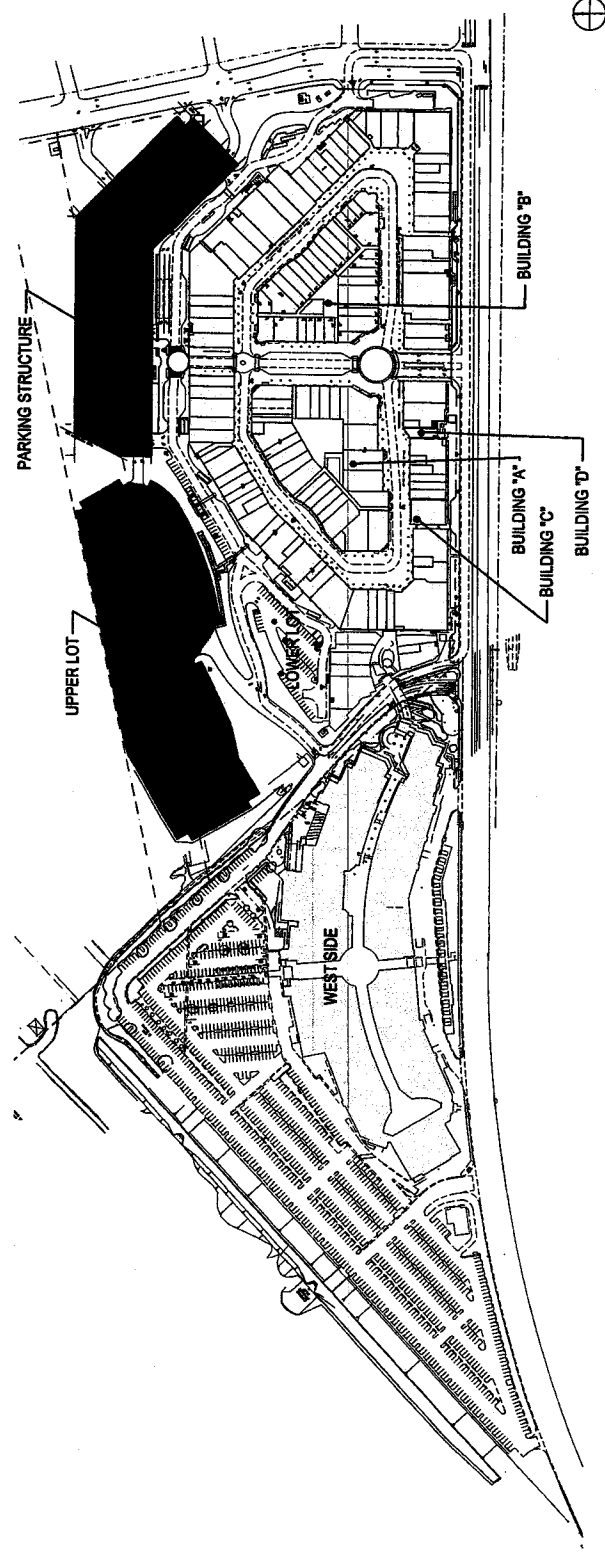
## VICINITY MAP:



CV  
 DECEMBER 1, 2008



DESERT HILLS PREMIUM OUTLETS CABAZON, CA  
 LANDSCAPE COVER SHEET  
 RHA LANDSCAPE ARCHITECTS-PLANNERS



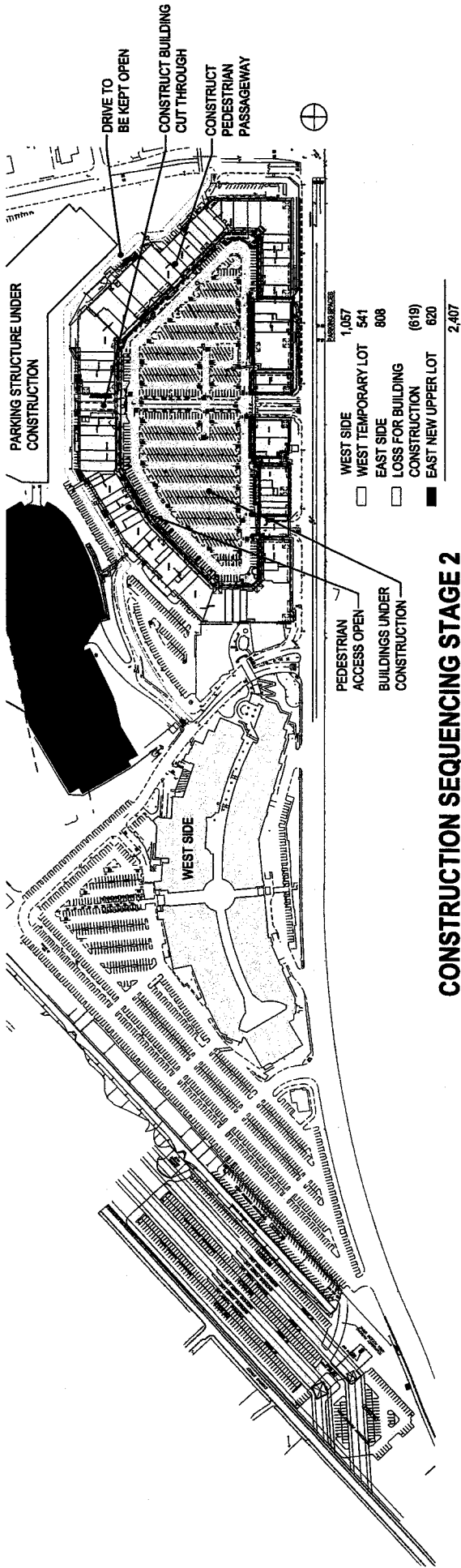
**FINISHED PROJECT**

UPPER LOT	620
LOWER LOT	89
4 STORY PARKING STRUCTURE PROVIDED	1,829
	3,538

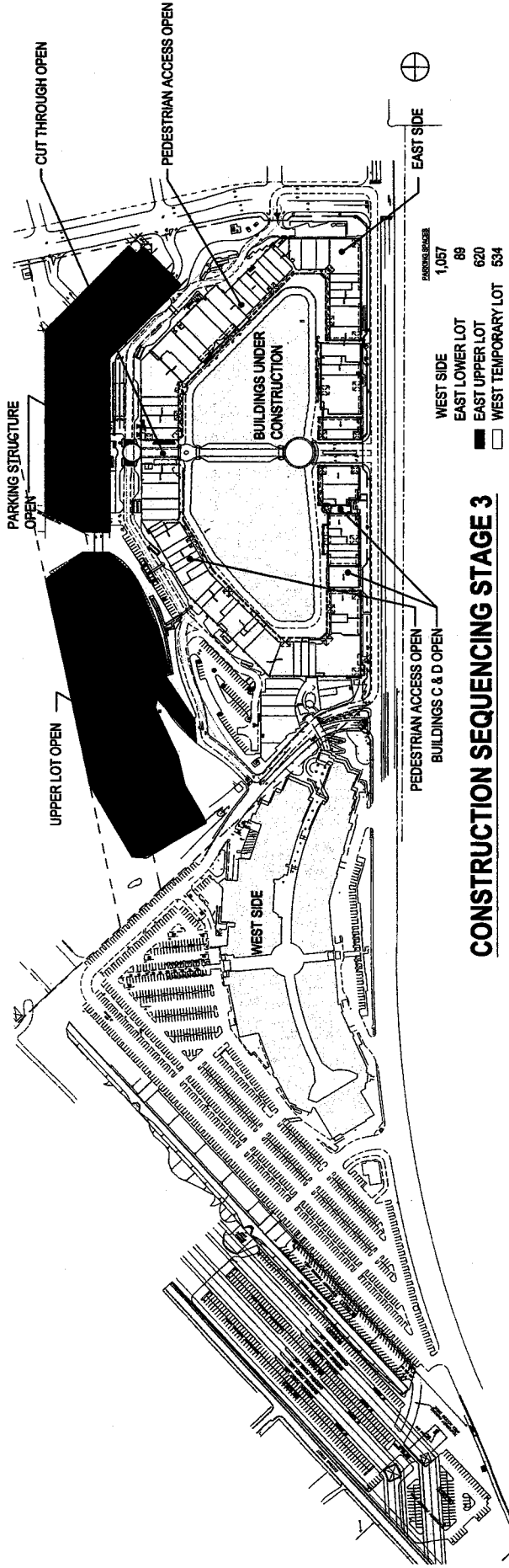
PARKING	Stalls Required
Existing G.A.	208,380
New G.A.	199,492
Total Parking Stalls Required	2442
Handicapped Stalls Required	35
Total Parking Stalls Provided	2538
Total Handicapped Stalls Provided	35

**CONSTRUCTION SEQUENCING (3 of 3)**

**DESERT HILLS PREMIUM OUTLETS EXPANSION**



**CONSTRUCTION SEQUENCING STAGE 2**



**CONSTRUCTION SEQUENCING STAGE 3**

**DESERT HILLS PREMIUM OUTLETS EXPANSION**

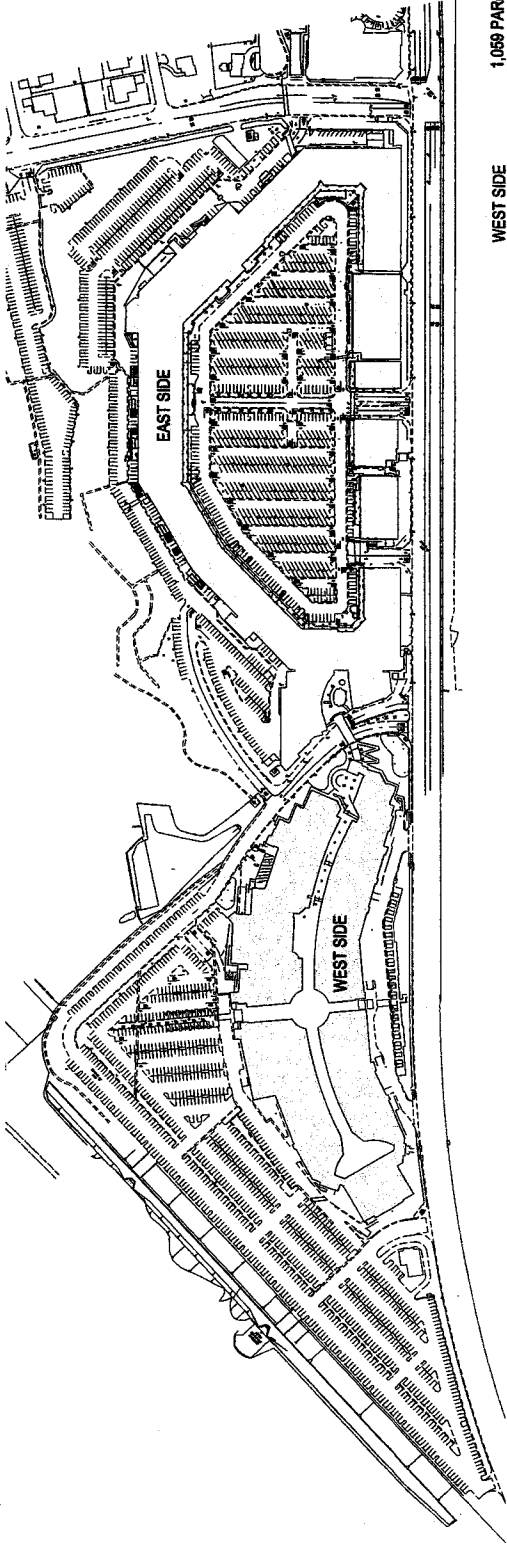
**CONSTRUCTION SEQUENCING (2 of 3)**

2006-039 10-31-11



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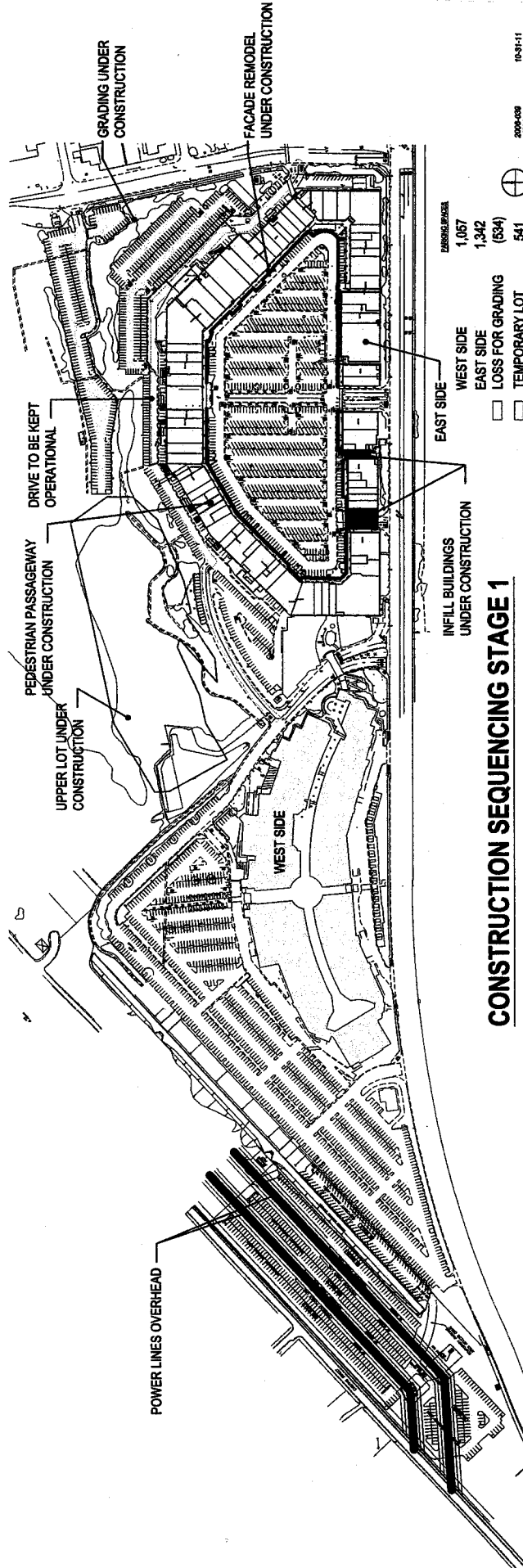




WEST SIDE  
EAST SIDE

1,059 PARKING SPACES  
1,342 PARKING SPACES  
2,401 PARKING SPACES

**CURRENT CONDITION**



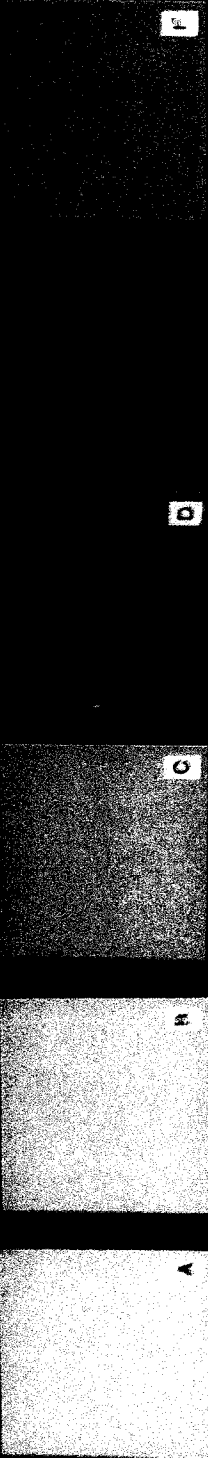
WEST SIDE  
EAST SIDE

1,057  
1,342  
LOSS FOR GRADING (584)  
TEMPORARY LOT 541  
2,406

**CONSTRUCTION SEQUENCING STAGE 1**

**CONSTRUCTION SEQUENCING (1 of 3)**

**DESERT HILLS PREMIUM OUTLETS EXPANSION**



**COLORS**

- A. FRAZEE #CL 3781W - NEAR NAKED
- B. FRAZEE #CL2782W - ORTHODOX
- C. FRAZEE #2783M - QUARRY
- D. FRAZEE #6604D
- E. FRAZEE #CL1833M - COMRADE
- F. FRAZEE #4804D
- G. FRAZEE #CL1598D - BIG MARBLE
- H. FRAZEE # 5835Y
- I. FRAZEE # CL2885A
- J. FRAZEE # CL3275D
- K. US TILE - EL CAMINO BLEND
- L. AEP SPAN - WEATHERING COPPER
- O. PRECAST CONCRETE - CDI
  - 1. #G04D - OLD PEWTER
  - 2. #GF30 - PEBBLE
- P. EL DORADO FALSE STONE VENEER
  - 1. VENETO - FIELD LEDGE
  - 2. SEQUOIA - RUSTIC LEDGE
  - 3. SANTA BARBARA - COARSED STONE
- Q. CANVAS AWNINGS
  - 1. SUNBRELLA FIRESIST - #82003 - FOREST GREEN
  - 2. SUNBRELLA FIRESIST - #82016 - BURGUNDY
  - 3. SUNBRELLA FIRESIST - #82017 - CRIMSON RED
  - 4. SUNBRELLA FIRESIST - #82012 - TOASTY BEIGE
  - 5. SUNBRELLA FIRESIST - #82008 - BLACK
- R. WALL TILE PANELS
  - 1. DAL TILE - #S700 - CALIFORNIA GOLD
  - 2. DAL TILE - #S776 - COPPER
  - 3. DAL TILE - #S782 - CHINA APRICOT

F

D

C

H

A

L

K

J

I

H

G

R3

R2

R1

Q2

Q1

N

M

P2

P1

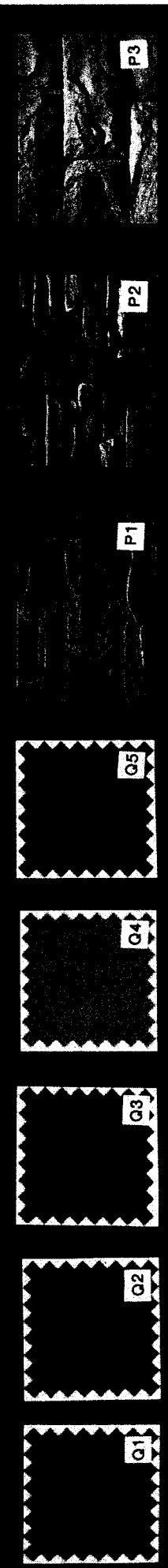
Q5

Q4

Q3

Q2

Q1



CASE#: PP23635  
 EXHIBIT: M  
 DATED: 9/07/11  
 PLANNER: W. BUGTAL

**DESERT HILLS PREMIUM OUTLETS EXPANSION**

PREMIUM  
 OUTLETS  
 VENEER



# COUNTY OF RIVERSIDE

## ENVIRONMENTAL ASSESSMENT FORM: INITIAL STUDY

**Environmental Assessment (E.A.) Number:** 42013  
**Project Case Type (s) and Number(s):** PLOT PLAN NO. 23635  
**Lead Agency Name:** County of Riverside Planning Department  
**Address:** P.O. Box 1409, Riverside, CA 92502-1409  
**Contact Person:** Wendell Bugtai, Project Planner  
**Telephone Number:** 951-955-2419  
**Applicant's Name:** Simon Property Group  
**Applicant's Address:** 105 Eisenhower Parkway, Roseland, New Jersey 07068

### I. PROJECT INFORMATION

#### Project Description:

**PLOT PLAN NO. 23635** proposes to add 158,492 square feet of retail space and 1,124 parking spaces to an existing outlet center located in Cabazon.

**A. Type of Project:** Site Specific ; Countywide ; Community ; Policy .

**B. Total Project Area:** 39.46 Gross Acres

**C.**

<b>Residential Acres:</b>	<b>Lots:</b>	<b>Units:</b>	<b>Projected No. of Residents:</b>
<b>Commercial Acres:</b> 39.46	<b>Lots:</b>	<b>Sq. Ft. of Bldg. Area:</b> 158,492	<b>Est. No. of Employees:</b> 900
<b>Industrial Acres:</b>	<b>Lots:</b>	<b>Sq. Ft. of Bldg. Area:</b>	<b>Est. No. of Employees:</b>
<b>Other:</b>			

1. **Assessor's Parcel No(s):** 519-110-037

**Street References:** The project is located northerly of Seminole Drive, southerly of Martin Road, easterly of Johnson Lane, westerly of Millard Pass.

**D. Section, Township & Range Description or reference/attach a Legal Description:**

Township 3 South Range 2 East Section 7

**E. Brief description of the existing environmental setting of the project site and its surroundings:** The project is fully developed with commercial retail uses within the property. Surrounding uses consist of commercial and residential uses with Interstate 10 to the south.

### II. APPLICABLE GENERAL PLAN AND ZONING REGULATIONS

#### A. General Plan Elements/Policies:

1. **Land Use:** The proposed project meets the requirements for the Community Development: Commercial Retail (CD: CR) Land Use Designation land use designation and all applicable land use policies.

2. **Circulation:** Adequate circulation facilities exist and are proposed to serve the proposed project. The proposed project meets all other applicable circulation policies of the General Plan.
3. **Multipurpose Open Space:** No natural open space land was required to be preserved within the boundaries of this project. The proposed project meets with all other applicable Multipurpose Open Space element policies.
4. **Safety:** The proposed project has allowed for the sufficient provision of emergency response services to the future use of this project. The proposed project meets all other applicable Safety element policies.
5. **Noise:** The proposed project meets with all applicable Noise element policies.
6. **Housing:** The proposed project meets with all applicable Housing element policies.
7. **Air Quality:** The proposed project has been conditioned to control any fugitive dust during grading and construction activities. The proposed project meets all other applicable Air Quality Element policies.

B. **General Plan Area Plan(s):** Pass

C. **Foundation Component(s):** Community Development (CD)

D. **Land Use Designation(s):** Commercial Retail (CR)

E. **Overlay(s), if any:** N/A

F. **Policy Area(s), if any:** N/A

G. **Adjacent and Surrounding Area Plan(s), Foundation Component(s), Land Use Designation(s), and Overlay(s) and Policy Area(s), if any:** N/A

H. **Adopted Specific Plan Information**

1. **Name and Number of Specific Plan, if any:** N/A

2. **Specific Plan Planning Area, and Policies, if any:** N/A

I. **Existing Zoning:** Scenic Highway Commercial (C-P-S)

J. **Proposed Zoning, if any:** N/A

K. **Adjacent and Surrounding Zoning:** Scenic Highway Commercial (C-P-S) to the west, Rural Residential – 5 Acre Minimum (R-R-5) to the north, Controlled Development Areas (W-2) and Scenic Highway Commercial (C-P-S) to the east and Interstate-10 Freeway (I-10) to the south.

### III. ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED

The environmental factors checked below ( x ) would be potentially affected by this project, involving at least one impact that is a "Potentially Significant Impact" or "Less than Significant with Mitigation Incorporated" as indicated by the checklist on the following pages.

- |                                                         |                                                        |                                                             |
|---------------------------------------------------------|--------------------------------------------------------|-------------------------------------------------------------|
| <input type="checkbox"/> Aesthetics                     | <input type="checkbox"/> Hazards & Hazardous Materials | <input type="checkbox"/> Recreation                         |
| <input type="checkbox"/> Agriculture & Forest Resources | <input type="checkbox"/> Hydrology / Water Quality     | <input type="checkbox"/> Transportation / Traffic           |
| <input type="checkbox"/> Air Quality                    | <input type="checkbox"/> Land Use / Planning           | <input type="checkbox"/> Utilities / Service Systems        |
| <input type="checkbox"/> Biological Resources           | <input type="checkbox"/> Mineral Resources             | <input type="checkbox"/> Other:                             |
| <input type="checkbox"/> Cultural Resources             | <input type="checkbox"/> Noise                         | <input type="checkbox"/> Other:                             |
| <input checked="" type="checkbox"/> Geology / Soils     | <input type="checkbox"/> Population / Housing          | <input type="checkbox"/> Mandatory Findings of Significance |
| <input type="checkbox"/> Greenhouse Gas Emissions       | <input type="checkbox"/> Public Services               |                                                             |

#### IV. DETERMINATION

On the basis of this initial evaluation:

#### A PREVIOUS ENVIRONMENTAL IMPACT REPORT/NEGATIVE DECLARATION WAS NOT PREPARED

- I find that the proposed project **COULD NOT** have a significant effect on the environment, and a **NEGATIVE DECLARATION** will be prepared.
- I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because revisions in the project, described in this document, have been made or agreed to by the project proponent. A **MITIGATED NEGATIVE DECLARATION** will be prepared.
- I find that the proposed project **MAY** have a significant effect on the environment, and an **ENVIRONMENTAL IMPACT REPORT** is required.

#### A PREVIOUS ENVIRONMENTAL IMPACT REPORT/NEGATIVE DECLARATION WAS PREPARED

- I find that although the proposed project could have a significant effect on the environment, **NO NEW ENVIRONMENTAL DOCUMENTATION IS REQUIRED** because (a) all potentially significant effects of the proposed project have been adequately analyzed in an earlier EIR or Negative Declaration pursuant to applicable legal standards, (b) all potentially significant effects of the proposed project have been avoided or mitigated pursuant to that earlier EIR or Negative Declaration, (c) the proposed project will not result in any new significant environmental effects not identified in the earlier EIR or Negative Declaration, (d) the proposed project will not substantially increase the severity of the environmental effects identified in the earlier EIR or Negative Declaration, (e) no considerably different mitigation measures have been identified and (f) no mitigation measures found infeasible have become feasible.
- I find that although all potentially significant effects have been adequately analyzed in an earlier EIR or Negative Declaration pursuant to applicable legal standards, some changes or additions are necessary but none of the conditions described in California Code of Regulations, Section 15162 exist. An **ADDENDUM** to a previously-certified EIR or Negative Declaration has been prepared and will be considered by the approving body or bodies.
- I find that at least one of the conditions described in California Code of Regulations, Section 15162 exist, but I further find that only minor additions or changes are necessary to make the previous EIR adequately apply to the project in the changed situation; therefore a **SUPPLEMENT TO THE ENVIRONMENTAL IMPACT REPORT** is required that need only contain the information necessary to make the previous EIR adequate for the project as revised.
- I find that at least one of the following conditions described in California Code of Regulations, Section 15162, exist and a **SUBSEQUENT ENVIRONMENTAL IMPACT REPORT** is required: (1) Substantial changes are proposed in the project which will require major revisions of the previous EIR or negative declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; (2) Substantial changes have occurred with respect to the circumstances under which the project is undertaken which will require major revisions of the previous EIR or negative declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; or (3) New information of substantial importance, which was not known and could not have

been known with the exercise of reasonable diligence at the time the previous EIR was certified as complete or the negative declaration was adopted, shows any the following:(A) The project will have one or more significant effects not discussed in the previous EIR or negative declaration;(B) Significant effects previously examined will be substantially more severe than shown in the previous EIR or negative declaration;(C) Mitigation measures or alternatives previously found not to be feasible would in fact be feasible, and would substantially reduce one or more significant effects of the project, but the project proponents decline to adopt the mitigation measures or alternatives; or,(D) Mitigation measures or alternatives which are considerably different from those analyzed in the previous EIR or negative declaration would substantially reduce one or more significant effects of the project on the environment, but the project proponents decline to adopt the mitigation measures or alternatives.

\_\_\_\_\_  
Signature

Wendell Bugtai, Project Planner  
\_\_\_\_\_  
Printed Name

February 21, 2012

\_\_\_\_\_  
Date

For Carolyn Syms Luna, Director  
\_\_\_\_\_

**V. ENVIRONMENTAL ISSUES ASSESSMENT**

In accordance with the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000-21178.1), this Initial Study has been prepared to analyze the proposed project to determine any potential significant impacts upon the environment that would result from construction and implementation of the project. In accordance with California Code of Regulations, Section 15063, this Initial Study is a preliminary analysis prepared by the Lead Agency, the County of Riverside, in consultation with other jurisdictional agencies, to determine whether a Negative Declaration, Mitigated Negative Declaration, or an Environmental Impact Report is required for the proposed project. The purpose of this Initial Study is to inform the decision-makers, affected agencies, and the public of potential environmental impacts associated with the implementation of the proposed project.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>AESTHETICS</b> Would the project				
<b>1. Scenic Resources</b>				
a) Have a substantial effect upon a scenic highway corridor within which it is located?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings and unique or landmark features; obstruct any prominent scenic vista or view open to the public; or result in the creation of an aesthetically offensive site open to public view?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure C-9 "Scenic Highways"

Findings of Fact:

- a) The project is not located within, or proximate to a scenic highway corridor, therefore the project would not have a substantial effect upon a scenic highway corridor.
- b) The project will not substantially damage scenic resources, including, but not limited to, trees, rock outcroppings and unique or landmark features; obstruct any prominent scenic vista or view open to the public; or result in the creation of an aesthetically offensive site open to public view.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

<b>2. Mt. Palomar Observatory</b>				
a) Interfere with the nighttime use of the Mt. Palomar Observatory, as protected through Riverside County Ordinance No. 655?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: GIS database, Ord. No. 655 (Regulating Light Pollution)

Findings of Fact:

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	----------------------------------------------------	------------------------------	-----------

a) According to the General Plan, the project is located within Zone B (39.35 miles) of the Mount Palomar Observatory. Zone "B" proscribes preferred types of lighting fixtures (i.e. low-pressure sodium lamps), shielding requirements, hours of operation, and regulates outdoor advertising displays. The proposed project has been conditioned to utilize low pressure sodium vapor lighting or overhead high pressure sodium vapor lighting with shields, or cutoff luminaries (10.PLANNING.18). The project has a less than significant impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**3. Other Lighting Issues**

a) Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Expose residential property to unacceptable light levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: On-site Inspection, Project Application Description

Findings of Fact:

- a) The project will not create a new source of substantial light or glare which would adversely affect day or nighttime views in the area.
- b) The project will not expose residential property to unacceptable light levels.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**AGRICULTURE & FOREST RESOURCES** Would the project

**4. Agriculture**

a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland) as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Conflict with existing agricultural zoning, agricultural use or with land subject to a Williamson Act contract or land within a Riverside County Agricultural Preserve?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Cause development of non-agricultural uses within 300 feet of agriculturally zoned property (Ordinance No. 625 "Right-to-Farm")?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>



Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	----------------------------------------------------	------------------------------	-----------

**Source:** Riverside County General Plan Figure OS-2 "Agricultural Resources," GIS database, and Project Application Materials.

**Findings of Fact:**

- a) The project will not convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland) as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use.
- b) The project will not conflict with existing agricultural zoning, agricultural use or with land subject to a Williamson Act contract or land within a Riverside County Agricultural Preserve.
- c) The project will not cause development of non-agricultural uses within 300 feet of agriculturally zoned property (Ordinance No. 625 "Right-to-Farm").
- d) The project will not involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use.

**Mitigation:** No mitigation measures are required.

**Monitoring:** No monitoring measures are required.

**5. Forest**

a) Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code section 12220(g)), timberland (as defined by Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Govt. Code section 51104(g))?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Result in the loss of forest land or conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Source:** Riverside County General Plan Figure OS-3 "Parks, Forests and Recreation Areas," and Project Application Materials.

**Findings of Fact:**

- a) The project will not Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code section 12220(g)), timberland (as defined by Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Govt. Code section 51104(g)).
- b) The project will not result in the loss of forest land or conversion of forest land to non-forest use.
- c) The project will not involve other changes in the existing environment which, due to their location or nature, could result in conversion of forest land to non-forest use.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	----------------------------------------------------	------------------------------	-----------

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**AIR QUALITY** Would the project

**6. Air Quality Impacts**

a) Conflict with or obstruct implementation of the applicable air quality plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Violate any air quality standard or contribute substantially to an existing or projected air quality violation?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Expose sensitive receptors which are located within 1 mile of the project site to project substantial point source emissions?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Involve the construction of a sensitive receptor located within one mile of an existing substantial point source emitter?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) Create objectionable odors affecting a substantial number of people?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: SCAQMD CEQA Air Quality Handbook Table 6-2

Findings of Fact:

a) The South Coast Air Quality Management District (SCAQMD) is responsible for developing a regional air quality management plan to insure compliance with state and federal air quality standards. The SCAQMD has adopted the 2003 Air Quality Management Plan (AQMP). The 2003 AQMP is based on socioeconomic forecasts (including population estimates) provided by the Southern California Association of Governments (SCAG). The County General Plan is consistent with SCAG's Regional Growth Management Plan and SCAQMD's Air Quality Management Plan. This project is consistent with the General Plan land use designations, and population estimates. The population proposed by this project will not obstruct the implementation of the 2003 AQMP.

b) Air quality impacts would occur during site preparation, including grading and equipment exhaust. Major sources of fugitive dust are a result of grading and site preparation during construction by vehicles and equipment and generated by construction vehicles and equipment traveling over exposed surfaces, as well as by soil disturbances from grading and filling. Blowing dust is also of concern in the dry desert areas where PM10 standards are exceeded by soil disturbance during grading, and vehicular travel over unpaved roads. These short-term construction related impacts will be reduced below a level of significance by dust control measures implemented during grading. (COA 10.BS GRADE.4) This is a standard condition of approval and is not considered mitigation pursuant to CEQA.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	----------------------------------------------------	------------------------------	-----------

c) The project will not result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard.

d) A sensitive receptor is a person in the population who is particularly susceptible to health effects due to exposure to an air contaminant than is the population at large. Sensitive receptors (and the facilities that house them) in proximity to localized CO sources, toxic air contaminants or odors are of particular concern. High levels of CO are associated with major traffic sources, such as freeways and major intersections, and toxic air contaminants are normally associated with manufacturing and commercial operations. Land uses considered to be sensitive receptors include long-term health care facilities, rehabilitation centers, convalescent centers, retirement homes, residences, schools, playgrounds, child care centers, and athletic facilities. Surrounding land uses include residential, which is considered a sensitive receptor, however, the project is not expected to generate substantial point source emissions.

e) The project will not create sensitive receptors located within one mile of an existing substantial point source emitter.

f) The project will not create objectionable odors affecting a substantial number of people.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**BIOLOGICAL RESOURCES** Would the project

**7. Wildlife & Vegetation**

a) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Conservation Community Plan, or other approved local, regional, or state conservation plan?

b) Have a substantial adverse effect, either directly or through habitat modifications, on any endangered, or threatened species, as listed in Title 14 of the California Code of Regulations (Sections 670.2 or 670.5) or in Title 50, Code of Federal Regulations (Sections 17.11 or 17.12)?

c) Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U. S. Wildlife Service?

d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?

e) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations or by the California Department of Fish and Game or U. S. Fish and

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>Wildlife Service?</b>				
f) Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g) Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: GIS database, WRCMSHCP and/or CVMSHCP, On-site Inspection

Findings of Fact:

- a) The project will not conflict with the provisions of an adopted Habitat Conservation Plan, Natural Conservation Community Plan, or other approved local, regional, or state conservation plan.
- b) The project will not have a substantial adverse effect, either directly or through habitat modifications, on any endangered, or threatened species, as listed in Title 14 of the California Code of Regulations (Sections 670.2 or 670.5) or in Title 50, Code of Federal Regulations (Sections 17.11 or 17.12).
- c) The project will not have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U. S. Wildlife Service.
- d) The project will not interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident migratory wildlife corridors, or impede the use of native wildlife nursery sites.
- e) The project will not have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations or by the California Department of Fish and Game or U. S. Fish and Wildlife Service.
- f) The project will not have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means.
- g) The proposed project will not conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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**CULTURAL RESOURCES** Would the project

**8. Historic Resources**

a) Alter or destroy an historic site?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Cause a substantial adverse change in the significance of a historical resource as defined in California Code of Regulations, Section 15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: On-site Inspection, Project Application Materials

Findings of Fact:

- a) The project will not alter or destroy an historic site.
- b) The project will not cause a substantial adverse change in the significance of a historical resource as defined in California Code of Regulations, Section 15064.5.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**9. Archaeological Resources**

a) Alter or destroy an archaeological site.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Cause a substantial adverse change in the significance of an archaeological resource pursuant to California Code of Regulations, Section 15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Disturb any human remains, including those interred outside of formal cemeteries?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Restrict existing religious or sacred uses within the potential impact area?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Project Application Materials

Findings of Fact:

- a) The project will not alter or destroy an archaeological site
- b) The project will not cause a substantial adverse change in the significance of an archaeological resource pursuant to California Code of Regulations, Section 15064.5.
- c) The project will not alter disturb any human remains, including those interred outside of formal cemeteries.
- d) The project will not restrict existing religious or sacred uses within the potential impact area.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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**10. Paleontological Resources**

a) Directly or indirectly destroy a unique paleontological resource, or site, or unique geologic feature?

Source: Riverside County General Plan Figure OS-8 "Paleontological Sensitivity"

Findings of Fact:

a) The project will not directly or indirectly destroy a unique paleontological resource, or site, or unique geologic feature.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**GEOLOGY AND SOILS** Would the project

**11. Alquist-Priolo Earthquake Fault Zone or County Fault Hazard Zones**

a) Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death?

b) Be subject to rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault?

Source: Riverside County General Plan Figure S-2 "Earthquake Fault Study Zones," GIS database, County Geologic Report (GEO) No. 2108, Gary S. Rasmussen & Associates, Inc. entitled, "Engineering Geology Investigation, Phase 5 Expansion, Desert Hills Factory Outlets, Cabazon Area, Riverside County, California, Project No. 3188.13" Dated October 22, 2008.

Findings of Fact:

a) The project may expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death.

b) The project may be subject to rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault.

The County Geologist has recommended two conditions (below) to mitigate the existing fault zone.

Mitigation: (10.PLANNING.35) GEO 2108

1) Remedial Grading (overexcavation and recompaction) of the natural soil.

2) Conventional shallow spread and wall footings may be safely used for support of the retail buildings and parking structure.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Monitoring: Building and Safety Department process

**12. Liquefaction Potential Zone**

a) Be subject to seismic-related ground failure, including liquefaction?

Source: Riverside County General Plan Figure S-3 "Generalized Liquefaction"

Findings of Fact:

a) The project has a "MODERATE" potential for seismic-related ground failure, including liquefaction.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**13. Ground-shaking Zone**

Be subject to strong seismic ground shaking?

Source: Riverside County General Plan Figure S-4 "Earthquake-Induced Slope Instability Map," and Figures S-13 through S-21 (showing General Ground Shaking Risk), County Geologic Report (GEO) No. 2108, Gary S. Rasmussen & Associates, Inc. entitled, "Engineering Geology Investigation, Phase 5 Expansion, Desert Hills Factory Outlets, Cabazon Area, Riverside County, California, Project No. 3188.13" Dated October 22, 2008.

Findings of Fact:

a) The project is subject to strong seismic ground shaking.

The County Geologist has recommended two conditions (below) to mitigate the existing fault zone.

Mitigation: (10.PLANNING.35) GEO 2108

1) Remedial Grading (overexcavation and recompaction) of the natural soil.

2) Conventional shallow spread and wall footings may be safely used for support of the retail buildings and parking structure.

Monitoring: Building and Safety Department process

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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**14. Landslide Risk**

a) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, collapse, or rockfall hazards?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Source: On-site Inspection, Riverside County General Plan Figure S-5 "Regions Underlain by Steep Slope"

Findings of Fact:

a) The project will not be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, collapse, or rockfall hazards.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**15. Ground Subsidence**

a) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in ground subsidence?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Source: Riverside County General Plan Figure S-7 "Documented Subsidence Areas Map"

Findings of Fact:

a) The project will not be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in ground subsidence.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**16. Other Geologic Hazards**

a) Be subject to geologic hazards, such as seiche, mudflow, or volcanic hazard?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Source: On-site Inspection, Project Application Materials

Findings of Fact:

a) The project will not be subject to geologic hazards, such as seiche, mudflow, or volcanic hazard.

Mitigation: No mitigation measures are required.



Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Monitoring: No monitoring measures are required.

**17. Slopes**

a) Change topography or ground surface relief features?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Create cut or fill slopes greater than 2:1 or higher than 10 feet?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Result in grading that affects or negates subsurface sewage disposal systems?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riv. Co. 800-Scale Slope Maps, Project Application Materials

Findings of Fact:

- a) The project will not change topography or ground surface relief features.
- b) The project will not create cut or fill slopes greater than 2:1 or higher than 10 feet.
- c) The project will not result in grading that affects or negates subsurface sewage disposal systems.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**18. Soils**

a) Result in substantial soil erosion or the loss of topsoil?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Be located on expansive soil, as defined in Section 1802.3.2 of the California Building Code (2007), creating substantial risks to life or property?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Have soils incapable of adequately supporting use of septic tanks or alternative waste water disposal systems where sewers are not available for the disposal of waste water?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: U.S.D.A. Soil Conservation Service Soil Surveys, Project Application Materials, On-site Inspection

Findings of Fact:

- a) The project will not result in substantial soil erosion or the loss of topsoil.
- b) The project will not be located on expansive soil, as defined in Section 1802.3.2 of the California Building Code (2007), creating substantial risks to life or property.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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c) The project will not have soils incapable of adequately supporting use of septic tanks or alternative waste water disposal systems where sewers are not available for the disposal of waste water.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**19. Erosion**

a) Change deposition, siltation, or erosion that may modify the channel of a river or stream or the bed of a lake?

b) Result in any increase in water erosion either on or off site?

Source: U.S.D.A. Soil Conservation Service Soil Surveys

Findings of Fact:

a) The project will not change deposition, siltation, or erosion that may modify the channel of a river or stream or the bed of a lake.

b) The project will not result in any increase in water erosion either on or off site.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**20. Wind Erosion and Blowsand from project either on or off site.**

a) Be impacted by or result in an increase in wind erosion and blowsand, either on or off site?

Source: Riverside County General Plan Figure S-8 "Wind Erosion Susceptibility Map," Ord. No. 460, Article XV & Ord. No. 484

Findings of Fact:

a) The project will not be impacted by or result in an increase in wind erosion and blowsand, either on or off site.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**GREENHOUSE GAS EMISSIONS** Would the project

**21. Greenhouse Gas Emissions**

a) Generate greenhouse gas emissions, either directly

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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or indirectly, that may have a significant impact on the environment?

b) Conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Source: Project Materials, Senate Bill 97, State CEQA Guidelines Revisions (State Adopted Jan. 1, 2010), Giroux & Associates Environmental Consultants, "Air Quality Analysis, Desert Hills Premium Outlet Expansion, Riverside, CA" dated November 8, 2011.

**Findings of Fact:**

- a) The project will not generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment.
- b) The project will not conflict with an applicable plan, policy, or regulation adopted for the purpose of reducing the emissions of greenhouse gases.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**HAZARDS AND HAZARDOUS MATERIALS** Would the project

22. Hazards and Hazardous Materials	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
a) Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Impair implementation of or physically interfere with an adopted emergency response plan or an emergency evacuation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Project Application Materials

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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- a) The project will not create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials.
- b) The project will not create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment.
- c) The proposed project will not impair implementation of or physically interfere with an adopted emergency response plan or an emergency evacuation plan.
- d) The proposed project will not emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school.
- e) The proposed project is not located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5.

**Mitigation:** No mitigation measures are required.

**Monitoring:** No monitoring measures are required.

**23. Airports**

a) Result in an inconsistency with an Airport Master Plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Require review by the Airport Land Use Commission?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) For a project within the vicinity of a private airstrip, or heliport, would the project result in a safety hazard for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Source:** Riverside County General Plan Figure S-19 "Airport Locations," GIS database

**Findings of Fact:**

- a) The project site is not located within the vicinity of any public or private airport; therefore, the project will not result in an inconsistency with an Airport Master Plan.
- b) The project site is not located within the vicinity of any public or private airport; therefore will not require review by the Airport Land Use Commission.
- c) The project is not located within an airport land use plan and would not result in a safety hazard for people residing or working in the project area.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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d) The project is not within the vicinity of a private airstrip, or heliport and would not result in a safety hazard for people residing or working in the project area.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**24. Hazardous Fire Area**

a) Expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Source: Riverside County General Plan Figure S-11 "Wildfire Susceptibility," GIS database

Findings of Fact:

a) The project will not expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**HYDROLOGY AND WATER QUALITY** Would the project

**25. Water Quality Impacts**

a) Substantially alter the existing drainage pattern of the site or area, including the alteration of the course of a stream or river, in a manner that would result in substantial erosion or siltation on- or off-site?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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b) Violate any water quality standards or waste discharge requirements?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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c) Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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d) Create or contribute runoff water that would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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e) Place housing within a 100-year flood hazard area, as mapped on a federal Flood Hazard Boundary or Flood

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>Insurance Rate Map or other flood hazard delineation map?</b>				
f) Place within a 100-year flood hazard area structures which would impede or redirect flood flows?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g) Otherwise substantially degrade water quality?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h) Include new or retrofitted stormwater Treatment Control Best Management Practices (BMPs) (e.g. water quality treatment basins, constructed treatment wetlands), the operation of which could result in significant environmental effects (e.g. increased vectors or odors)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County Flood Control District Flood Hazard Report/Condition.

Findings of Fact:

- a) The project will not substantially alter the existing drainage pattern of the site or area, including the alteration of the course of a stream or river, in a manner that would result in substantial erosion or siltation on- or off-site. Development of this property shall be coordinated with the development of adjacent properties to ensure that watercourses remain unobstructed and stormwaters are not diverted from one watershed to another.
- b) The project will not violate any water quality standards or waste discharge requirements.
- c) The project will not substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted). The project is expected to be served by the Cabazon Water District and there will not require the drawdown of ground water supplies.
- d) The project will not create or contribute runoff water that would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff.
- e) The project will not place housing within a 100-year flood hazard area, as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map.
- f) The project will not place within a 100-year flood hazard area structures which would impede or redirect flood flows.
- g) The project will not otherwise substantially degrade water quality
- h) The project will not include new or retrofitted stormwater Treatment Control Best Management Practices (BMPs) (e.g. water quality treatment basins, constructed treatment wetlands), the operation of which could result in significant environmental effects (e.g. increased vectors or odors).

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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**26. Floodplains**

Degree of Suitability in 100-Year Floodplains. As indicated below, the appropriate Degree of Suitability has been checked.

NA - Not Applicable  U - Generally Unsuitable  R - Restricted

a) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner that would result in flooding on- or off-site?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Changes in absorption rates or the rate and amount of surface runoff?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam (Dam Inundation Area)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Changes in the amount of surface water in any water body?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan Figure S-9 "100- and 500-Year Flood Hazard Zones," Figure S-10 "Dam Failure Inundation Zone," Riverside County Flood Control District Flood Hazard Report/Condition, GIS database

Findings of Fact:

- a) The project will not substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner that would result in flooding on- or off-site.
- b) The project will not provide changes in absorption rates or the rate and amount of surface runoff.
- c) The project will not expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam (Dam Inundation Area).
- d) The project will not make changes in the amount of surface water in any water body.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**LAND USE/PLANNING** Would the project

<b>27. Land Use</b>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a) Result in a substantial alteration of the present or planned land use of an area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Affect land use within a city sphere of influence and/or within adjacent city or county boundaries?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan, GIS database, Project Application Materials

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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**Findings of Fact:**

- a) The project will not result in a substantial alteration of the present or planned land use of an area.
- b) The project will not affect land use within a city sphere of influence and/or within adjacent city or county boundaries.

**Mitigation:** No mitigation measures are required.

**Monitoring:** No monitoring measures are required.

**28. Planning**

a) Be consistent with the site's existing or proposed zoning?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Be compatible with existing surrounding zoning?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Be compatible with existing and planned surrounding land uses?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Be consistent with the land use designations and policies of the General Plan (including those of any applicable Specific Plan)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Disrupt or divide the physical arrangement of an established community (including a low-income or minority community)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Source:** Riverside County General Plan Land Use Element, Staff review, GIS database

**Findings of Fact:**

- a) The project is consistent with the site's existing or proposed zoning.
- b) The project is compatible with existing surrounding zoning.
- c) The project is compatible with existing and planned surrounding land uses.
- d) The project is consistent with the land use designations and policies of the General Plan (including those of any applicable Specific Plan).
- e) The project will not disrupt or divide the physical arrangement of an established community (including a low-income or minority community).

**Mitigation:** No mitigation measures are required.

**Monitoring:** No monitoring measures are required.

**MINERAL RESOURCES** Would the project



	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>29. Mineral Resources</b>				
a) Result in the loss of availability of a known mineral resource that would be of value to the region or the residents of the State?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Be an incompatible land use located adjacent to a State classified or designated area or existing surface mine?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Expose people or property to hazards from proposed, existing or abandoned quarries or mines?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure OS-5 "Mineral Resources Area"

Findings of Fact:

- a) The project will not result in the loss of availability of a known mineral resource that would be of value to the region or the residents of the State.
- b) The project will not result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan.
- c) The project will not be an incompatible land use located adjacent to a State classified or designated area or existing surface mine.
- d) The project will not expose people or property to hazards from proposed, existing or abandoned quarries or mines.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**NOISE** Would the project result in

**Definitions for Noise Acceptability Ratings**

Where indicated below, the appropriate Noise Acceptability Rating(s) has been checked.

NA - Not Applicable

A - Generally Acceptable

B - Conditionally Acceptable

C - Generally Unacceptable

D - Land Use Discouraged

**30. Airport Noise**

a) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport would the project expose people residing or working in the project area to excessive noise levels?

NA  A  B  C  D

b) For a project within the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels?

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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NA  A  B  C  D

**Source:** Riverside County General Plan Figure S-19 "Airport Locations," County of Riverside Airport Facilities Map

**Findings of Fact:**

a) The project site is not located within an airport land use plan or within two miles of a public airport or public use airport that would expose people residing on the project site to excessive noise levels.

**Mitigation:** No mitigation measures are required.

**Monitoring:** No monitoring measures are required.

**31. Railroad Noise**

NA  A  B  C  D

**Source:** Riverside County General Plan Figure C-1 "Circulation Plan", GIS database, On-site Inspection

**Findings of Fact:**

a) The project site is not located adjacent to a rail line. No impacts will occur as a result of the proposed project.

**Mitigation:** No mitigation measures are required.

**Monitoring:** No monitoring measures are required.

**32. Highway Noise**

NA  A  B  C  D

**Source:** On-site Inspection, Project Application Materials

**Findings of Fact:**

a) The project site is located adjacent to or near any highways. No impacts will occur as a result of the proposed project.

**Mitigation:** No mitigation measures are required.

**Monitoring:** No monitoring measures are required.

**33. Other Noise**

NA  A  B  C  D

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Source: Project Application Materials, GIS database

Findings of Fact:

a) No other noise sources have been identified near the project site that would contribute a significant amount of noise to the project.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**34. Noise Effects on or by the Project**

a) A substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) A substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Exposure of persons to or generation of excessive ground-borne vibration or ground-borne noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan, Table N-1 ("Land Use Compatibility for Community Noise Exposure"); Project Application Materials

Findings of Fact:

a) The proposed project in itself will not create additional noise, but future commercial construction will create unavoidable incremental noise.

b) Through adherence to county regulations, grading and construction shall be restricted to daylight hours. Construction equipment shall be required to be maintained in good working order and cannot be serviced or repair at the site. The construction will result in an increase of noise levels, but these increased noise levels will be less than significant.

c) Long-term noise generation from the site will not exceed standards established in the RCIP, noise ordinance, or other applicable standards.

d) The project will not exposure of persons to or generation of excessive ground-borne vibration or ground-borne noise levels.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>POPULATION AND HOUSING</b> Would the project				
<b>35. Housing</b>				
a) Displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Create a demand for additional housing, particularly housing affordable to households earning 80% or less of the County's median income?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Displace substantial numbers of people, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Affect a County Redevelopment Project Area?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Cumulatively exceed official regional or local population projections?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Source:** Project Application Materials, GIS database, Riverside County General Plan Housing Element

**Findings of Fact:**

The project proposes the creation of commercial retail uses. This land division is consistent with the Riverside County General Plan, which is used to generate local and regional population projections.

- a) The project will not displace substantial numbers of existing housing, necessitating the construction of replacement housing.
- b) The project will not create a demand for additional housing.
- c) The project will not displace any people.
- d) The project is in County Redevelopment Project Area and the Riverside County Redevelopment Department support for the project.
- e) The project will not exceed official regional or local population projections.
- f) The project will not induce substantial population growth in an area.

**Mitigation:** No mitigation measures are required.

**Monitoring:** No monitoring measures are required.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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**PUBLIC SERVICES** Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered government facilities or the need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:

**36. Fire Services**

Source: Riverside County General Plan Safety Element

Findings of Fact:

The project area is serviced by the Riverside County Fire Department. Any potential significant effects will be mitigated by the payment of standard fees to the County of Riverside. The project will not directly physically alter existing facilities or result in the construction of new facilities. Any construction of new facilities required by the cumulative effects of surrounding projects would have to meet all applicable environmental standards. The project shall comply with County Ordinance No. 659 to mitigate the potential effects to fire services.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**37. Sheriff Services**

Source: Riverside County General Plan

Findings of Fact:

The project area is serviced by the Riverside County Fire Department. Any potential significant effects will be mitigated by the payment of standard fees to the County of Riverside. The project will not directly physically alter existing facilities or result in the construction of new facilities. Any construction of new facilities required by the cumulative effects of surrounding projects would have to meet all applicable environmental standards. The project shall comply with County Ordinance No. 659 to mitigate the potential effects to fire services.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**38. Schools**

Source: Banning Unified School District correspondence, GIS database

Findings of Fact:

The project will not physically alter existing facilities or result in the construction of new or physically altered facilities. The proposed project is located within the Temecula Valley Unified School District.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Any construction of new facilities required by the cumulative effects of this project and surrounding projects would have to meet all applicable environmental standards. This project has been conditioned to comply with School Mitigation Impact fees in order to mitigate the potential effects to school services.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

<b>39. Libraries</b>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Source: Riverside County General Plan

Findings of Fact:

The proposed project will not create a significant incremental demand for library services. The project will not require the provision of new or altered government facilities at this time. Any construction of new facilities required by the cumulative effects of surrounding projects would have to meet all applicable environmental standards. This project shall comply with County Ordinance No. 659 to mitigate the potential effects to library services.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

<b>40. Health Services</b>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Source: Riverside County General Plan

Findings of Fact:

The use of the proposed 39.46-acre parcel would not cause an impact on health services. The site is located within the service parameters of County health centers. The project will not physically alter existing facilities or result in the construction of new or physically altered facilities. Any construction of new facilities required by the cumulative effects of this project and surrounding projects would have to meet all applicable environmental standards.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**RECREATION**

<b>41. Parks and Recreation</b>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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a) Would the project include recreational facilities or require the construction or expansion of recreational

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
facilities which might have an adverse physical effect on the environment?				
b) Would the project include the use of existing neighborhood or regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Is the project located within a Community Service Area (CSA) or recreation and park district with a Community Parks and Recreation Plan (Quimby fees)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: GIS database, Ord. No. 460, Section 10.35 (Regulating the Division of Land – Park and Recreation Fees and Dedications), Ord. No. 659 (Establishing Development Impact Fees), Parks & Open Space Department Review

Findings of Fact:

a-b) The proposed project does not create a substantial increase in demand for recreational facilities.

c) The project is not located within a Community Service Area (CSA) #85 – Street Lighting Park & Recreation.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

<b>42. Recreational Trails</b>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Source: Riv. Co. 800-Scale Equestrian Trail Maps, Open Space and Conservation Map for Western County trail alignments

Findings of Fact:

The proposed project will not impact any regional or local trails.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**TRANSPORTATION/TRAFFIC** Would the project

<b>43. Circulation</b>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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a) Conflict with an applicable plan, ordinance or policy establishing a measure of effectiveness for the performance of the circulation system, taking into account all modes of transportation, including mass transit and non-motorized travel and relevant components of the circulation system, including but not limited to intersections, streets, highways and freeways, pedestrian and bicycle paths, and mass transit?

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
b) Conflict with an applicable congestion management program, including, but not limited to level of service standards and travel demand measures, or other standards established by the county congestion management agency for designated roads or highways?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Alter waterborne, rail or air traffic?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g. farm equipment)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) Cause an effect upon, or a need for new or altered maintenance of roads?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g) Cause an effect upon circulation during the project's construction?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h) Result in inadequate emergency access or access to nearby uses?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
i) Conflict with adopted policies, plans or programs regarding public transit, bikeways or pedestrian facilities, or otherwise substantially decrease the performance or safety of such facilities?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan

Findings of Fact:

- a) The project will not cause an increase in traffic which is substantial in relation to the existing traffic load and capacity of the street system.
- b) The proposed project will not result in inadequate parking capacity.
- c) The project will not exceed, either individually or cumulatively, a level of service standard established by the county congestion management agency for designated road or highways.
- d) The project will not result in a change in air traffic patterns.
- e) The project will not alter waterborne, rail or air traffic.
- f) The project will not substantially increase hazards to a design feature.
- g) The project will not cause an effect upon circulation during the project's construction.
- h) The project will not result in inadequate emergency access or access to nearby uses.
- i) The project will not conflict with adopted policies, plans or programs regarding public transit, bikeways or pedestrian facilities, or otherwise substantially decrease the performance or safety of such facilities.



Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**44. Bike Trails**

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Source: Riverside County General Plan

The project will not impede any significant bike trails.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**UTILITY AND SERVICE SYSTEMS** Would the project

**45. Water**

a) Require or result in the construction of new water treatment facilities or expansion of existing facilities, the construction of which would cause significant environmental effects?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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b) Have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Source: Department of Environmental Health Review

Findings of Fact:

a) The proposed project will not require or result in the construction of new water treatment facilities or expansion of existing facilities.

b) The proposed project will not require or result in the construction of new water treatment facilities or expansion of existing facilities.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**46. Sewer**

a) Require or result in the construction of new wastewater treatment facilities, including septic systems, or expansion of existing facilities, the construction of which would cause significant environmental effects?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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b) Result in a determination by the wastewater treatment provider that serves or may service the project that it has adequate capacity to serve the project's projected

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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demand in addition to the provider's existing commitments?

Source: Department of Environmental Health Review

Findings of Fact:

- a) The project will not require or result in the construction of new wastewater treatment facilities, including septic systems, or expansion of existing facilities, the construction of which would cause significant environmental effects. The project is proposing Western Municipal Water District (WMWD) potable water service.
- b) The project will not result in a determination by the wastewater treatment provider that serves or may service the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**47. Solid Waste**

a) Is the project served by a landfill with sufficient permitted capacity to accommodate the project's solid waste disposal needs?

b) Does the project comply with federal, state, and local statutes and regulations related to solid wastes including the CIWMP (County Integrated Waste Management Plan)?

Source: Riverside County General Plan, Riverside County Waste Management District correspondence

Findings of Fact:

a-b) The project is relatively small and will not generate significant amounts of construction or demolition waste. The project will be served by Riverside County Waste Management Department. The proposed project will not require nor result in the construction of new landfill facilities, including the expansion of existing facilities.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**48. Utilities**

Would the project impact the following facilities requiring or resulting in the construction of new facilities or the expansion of existing facilities; the construction of which could cause significant environmental effects?

a) Electricity?

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
b) Natural gas?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Communications systems?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Storm water drainage?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Street lighting?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) Maintenance of public facilities, including roads?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g) Other governmental services?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source:

Findings of Fact:

a-g) The project is expected to create incremental impacts on the demand for the above checked facilities. However, utility services are adequate and available to serve this project. Therefore, impacts on utility services are less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**49. Energy Conservation**

a) Would the project conflict with any adopted energy conservation plans?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Source:

Findings of Fact:

a) The project design does not conflict with adopted energy conservation plans.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**OTHER**

50. Other:	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Source: Staff review

Findings of Fact:

There are not other impacts that staff identified as part of this analysis.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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**MANDATORY FINDINGS OF SIGNIFICANCE**

51. Does the project have the potential to substantially degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal, or eliminate important examples of the major periods of California history or prehistory?

Source: Staff review, Project Application Materials

Findings of Fact: Implementation of the proposed project would not substantially degrade the quality of the environment, substantially reduce the habitat of fish or wildlife species, cause a fish or wildlife populations to drop below self-sustaining levels, threaten to eliminate a plant or animal community, or reduce the number or restrict the range of a rare or endangered plant or animal, or eliminate important examples of the major periods of California history or prehistory.

52. Does the project have impacts which are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, other current projects and probable future projects)?

Source: Staff review, Project Application Materials

Findings of Fact: The project does not have impacts which are individually limited, but cumulatively considerable.

53. Does the project have environmental effects that will cause substantial adverse effects on human beings, either directly or indirectly?

Source: Staff review, project application

Findings of Fact: The proposed project would not result in environmental effects which would cause substantial adverse effects on human beings, either directly or indirectly.

**VI. EARLIER ANALYSES**

Earlier analyses may be used where, pursuant to the tiering, program EIR, or other CEQA process, an effect has been adequately analyzed in an earlier EIR or negative declaration as per California Code of Regulations, Section 15063 (c) (3) (D). In this case, a brief discussion should identify the following:

Earlier Analyses Used, if any:

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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A) Giroux & Associates Environmental Consultants, "Air Quality Analysis, Desert Hills Premium Outlet Expansion, Riverside, CA" dated November 8, 2011.

B) County Geologic Report (GEO) No. 2108, Gary S. Rasmussen & Associates, Inc. entitled, "Engineering Geology Investigation, Phase 5 Expansion, Desert Hills Factory Outlets, Cabazon Area, Riverside County, California, Project No. 3188.13" Dated October 22, 2008.

Location Where Earlier Analyses, if used, are available for review:

Location: County of Riverside Planning Department  
 4080 Lemon Street, 12th Floor  
 Riverside, CA 92505

**VII. AUTHORITIES CITED**

Authorities cited: Public Resources Code Sections 21083 and 21083.05; References: California Government Code Section 65088.4; Public Resources Code Sections 21080(c), 21080.1, 21080.3, 21082.1, 21083, 21083.05, 21083.3, 21093, 21094, 21095 and 21151; *Sundstrom v. County of Mendocino* (1988) 202 Cal.App.3d 296; *Leonoff v. Monterey Board of Supervisors* (1990) 222 Cal.App.3d 1337; *Eureka Citizens for Responsible Govt. v. City of Eureka* (2007) 147 Cal.App.4th 357; *Protect the Historic Amador Waterways v. Amador Water Agency* (2004) 116 Cal.App.4th at 1109; *San Franciscans Upholding the Downtown Plan v. City and County of San Francisco* (2002) 102 Cal.App.4th 656.

Revised: 2/6/2012 4:54 PM  
 PP23635 - Environmental Assessment - 1-17-12

PLAN:TRANSMITTED Case #: PP23635

Parcel: 519-110-037

10. GENERAL CONDITIONS

EVERY DEPARTMENT

10. EVERY. 1 USE - PROJECT DESCRIPTION

RECOMMND

The use hereby permitted is for PLOT PLAN NO. 23635 which proposes to add 158,492 square feet of retail space and 1,124 parking spaces to an existing outlet center.

10. EVERY. 2 USE - HOLD HARMLESS

RECOMMND

The applicant/permittee or any successor-in-interest shall defend, indemnify, and hold harmless the County of Riverside or its agents, officers, and employees (COUNTY) from the following:

(a) any claim, action, or proceeding against the COUNTY to attack, set aside, void, or annul an approval of the COUNTY, its advisory agencies, appeal boards, or legislative body concerning the PLOT PLAN; and,

(b) any claim, action or proceeding against the COUNTY to attack, set aside, void or annul any other decision made by the COUNTY concerning the PLOT PLAN, including, but not limited to, decisions made in response to California Public Records Act requests.

The COUNTY shall promptly notify the applicant/permittee of any such claim, action, or proceeding and shall cooperate fully in the defense. If the COUNTY fails to promptly notify the applicant/permittee of any such claim, action, or proceeding or fails to cooperate fully in the defense, the applicant/permittee shall not, thereafter, be responsible to defend, indemnify or hold harmless the COUNTY.

The obligations imposed by this condition include, but are not limited to, the following: the applicant/permittee shall pay all legal services expenses the COUNTY incurs in connection with any such claim, action or proceeding, whether it incurs such expenses directly, whether it is ordered by a court to pay such expenses, or whether it incurs such expenses by providing legal services through its Office of County Counsel.

10. EVERY. 3 USE - DEFINITIONS

RECOMMND

The words identified in the following list that appear in all capitals in the attached conditions of Plot Plan

PLAN:TRANSMITTED Case #: PP23635

Parcel: 519-110-037

10. GENERAL CONDITIONS

10. EVERY. 3 USE - DEFINITIONS (cont.)

RECOMMND

No. 23635 shall be henceforth defined as follows:

APPROVED EXHIBIT A = Plot Plan No. 23635, Exhibit A, Amended No. 3, dated 12/13/11.

APPROVED EXHIBIT B&C = Plot Plan No. 23635, Exhibit B & C, Amended No. 3, Floor Plans & Elevations (sheets 1-6), dated 12/13/11.

APPROVED EXHIBIT G = Plot Plan No. 23635, Exhibit G, Amended No. 3, Grading Plan, (sheets 1-2), dated 12/13/11.

APPROVED EXHIBIT L = Plot Plan No. 23635, Exhibit L, Amended No. 3, Landscape Plans, (sheets 1-2), dated 12/13/11.

APPROVED EXHIBIT M = Plot Plan No. 23635, Exhibit M, Materials Color Board, dated 9/7/11.

APPROVED EXHIBIT W = Plot Plan No. 23635, Exhibit W, Amended No. 3, Wall Plans, dated 12/13/11.

10. EVERY. 4 USE - 90 DAYS TO PROTEST

RECOMMND

The project developer has 90 days from the date of approval of these conditions to protest, in accordance with the procedures set forth in Government Code Section 66020, the imposition of any and all fees, dedications, reservations and/or other exactions imposed on this project as a result of this approval or conditional approval of this project.

BS GRADE DEPARTMENT

10.BS GRADE. 1 USE - GENERAL INTRODUCTION

RECOMMND

Improvements such as grading, filling, over excavation and recompaction, and base or paving which require a grading permit are subject to the included Building and Safety Department Grading Division conditions of approval.

10.BS GRADE. 3 USE - OBEY ALL GDG REGS

RECOMMND

All grading shall conform to the California Building Code, Ordinance 457, and all other relevant laws, rules, and regulations governing grading in Riverside County and prior to commencing any grading which includes 50 or more cubic

PLAN:TRANSMITTED Case #: PP23635

Parcel: 519-110-037

10. GENERAL CONDITIONS

10.BS GRADE. 3 USE - OBEY ALL GDG REGS (cont.) RECOMMND

yards, the applicant shall obtain a grading permit from the Building and Safety Department.

10.BS GRADE. 4 USE - DISTURBS NEED G/PMT RECOMMND

Ordinance 457 requires a grading permit prior to clearing, grubbing, or any top soil disturbances related to construction grading.

10.BS GRADE. 6 USE - NPDES INSPECTIONS RECOMMND

Construction activities including clearing, stockpiling, grading or excavation of land which disturbs less than 1 acre and requires a grading permit or construction Building permit shall provide for effective control of erosion, sediment and all other pollutants year-round. The permit holder shall be responsible for the installation and monitoring of effective erosion and sediment controls. Such controls will be evaluated by the Department of Building and Safety periodically and prior to permit Final to verify compliance with industry recognized erosion control measures.

Construction activities including but not limited to clearing, stockpiling, grading or excavation of land, which disturbs 1 acre or more or on-sites which are part of a larger common plan of development which disturbs less than 1 acre are required to obtain coverage under the construction general permit with the State Water Resources Control Board. You are required to provide proof of WDID# and keep a current copy of the storm water pollution prevention plan (SWPPP) on the construction site and shall be made available to the Department of Building and Safety upon request.

Year-round, Best Management Practices (BMP's) shall be maintained and be in place for all areas that have been graded or disturbed and for all material, equipment and/or operations that need protection. Stabilized Construction Entrances and project perimeter linear barriers are required year round. Removal BMP's (those BMP's which must be temporarily removed during construction activities) shall be in place at the end of each working day.

Monitoring for erosion and sediment control is required and shall be performed by the QSD or QSP as required by the



PLAN: TRANSMITTED Case #: PP23635

Parcel: 519-110-037

10. GENERAL CONDITIONS

10.BS GRADE. 6 USE - NPDES INSPECTIONS (cont.) RECOMMND

Construction General Permit. Stormwater samples are required for all discharge locations and projects may not exceed limits set forth by the Construction General Permit Numeric Action Levels and/or Numeric Effluent Levels. A Rain Event Action Plan is required when there is a 50% or greater forecast of rain within the 48 hours, by the National Weather Service or whenever rain is imminent. The QSD or QSP must print and save records of the precipitation forecast for the project location area from (<http://www.srh.noaa.gov/forecast>) and must accompany monitoring reports and sampling test data. A Rain gauge is required on site. The Department of Building and Safety will conduct periodic NPDES inspections of the site throughout the recognized storm season to verify compliance with the Construction General Permit and Stormwater ordinances and regulations.

10.BS GRADE. 7 USE - EROSION CNTRL PROTECT RECOMMND

Graded but undeveloped land shall provide, in addition to erosion control planting, any drainage facility deemed necessary to control or prevent erosion. Additional erosion protection may be required during the rainy season from October 1, to May 31.

10.BS GRADE. 8 USE - DUST CONTROL RECOMMND

All necessary measures to control dust shall be implemented by the developer during grading. A PM10 plan may be required at the time a grading permit is issued.

10.BS GRADE. 9 USE - 2:1 MAX SLOPE RATIO RECOMMND

Graded slopes shall be limited to a maximum steepness ratio of 2:1 (horizontal to vertical) unless otherwise approved.

10.BS GRADE. 10 USE - SLOPE STABL'TY ANLYS RECOMMND

A slope stability report shall be submitted and approved by the County Geologist and/or Building and Safety Engineer for all proposed cut and fill slopes over 30 feet in vertical height, or cut slopes steeper than 2:1 (horizontal to vertical) - unless addressed in a previous report. Fill slopes shall not be steeper than 2:1 (horizontal to vertical).

PLAN:TRANSMITTED Case #: PP23635

Parcel: 519-110-037

10. GENERAL CONDITIONS

10.BS GRADE. 11 USE - MINIMUM DRNAGE GRADE RECOMMND

Minimum drainage grade shall be 1% except on portland cement concrete where .35% shall be the minimum.

10.BS GRADE. 12 USE - DRAINAGE & TERRACING RECOMMND

Provide drainage facilities and terracing in conformance with the California Building Code's chapter on "EXCAVATION & GRADING".

10.BS GRADE. 13 USE - SLOPE SETBACKS RECOMMND

Observe slope setbacks from buildings & property lines per the California Building Code as amended by Ordinance 457.

10.BS GRADE. 18 USE - OFFST. PAVED PKG RECOMMND

All offstreet parking areas which are conditioned to be paved shall conform to Ordinance 457 base and paving design and inspection requirements.

10.BS GRADE. 19 USE - FAULT LOCATIONS RECOMMND

Prior to issuance of any building permit on any lot located within the "Fault Hazard Zone" and its included setback area, the applicant shall have a licensed professional, qualified to do so, clearly delineate in the field the portions of that lot which are located within the "Fault Hazard Zone." No structures or portions thereof shall be located in those areas.

10.BS GRADE. 20 USE - RETAINING WALLS RECOMMND

Lots which propose retaining walls will require separate permits. They shall be obtained prior to the issuance of any other building permits - unless otherwise approved by the Building and Safety Director. The walls shall be designed by a Registered Civil Engineer - unless they conform to the County Standard Retaining Wall designs shown on the Building and Safety Department form 284-197.

10.BS GRADE. 23 USE - MANUFACTURED SLOPES RECOMMND

Plant and irrigate all manufactured slopes equal to or greater than 3 feet in vertical height with drought tolerant grass or ground cover; slopes 15 feet or greater in vertical height shall also be planted with drought

PLAN: TRANSMITTED Case #: PP23635

Parcel: 519-110-037

10. GENERAL CONDITIONS

10.BS GRADE. 23 USE - MANUFACTURED SLOPES (cont.) RECOMMND

tolerant shrubs or trees in accordance with the requirements of Ordinance 457.

10.BS GRADE. 24 USE - FINISH GRADE RECOMMND

Finish grade shall be sloped to provide proper drainage away from all exterior foundation walls in accordance with the California Building Code and Ordinance 457.

BS PLNCK DEPARTMENT

10.BS PLNCK. 1 USE - BUILD & SAFETY PLNCK RECOMMND

The applicant shall acquire building permits for all buildings, structures, and equipment prior to the construction or placement on the property of any of the above.

All building plans shall be submitted to the building department for review, approval and permit issuance. All building department building plan submiyyal and fee requirements shall apply.

All building plans shall comply with current adopted California Building Codes, Riverside County Ordinances, and all accessibility requirements including but not limited to site, entry and building requirements.

All building department

E HEALTH DEPARTMENT

10.E HEALTH. 1 CABAZON WATER DISTRICT RECOMMND

Plot Plan#23635 is proposing to receive potable water service from Cabazon Water Distrist (CWD) per CWD "will-serve" letter dated 1/12/12. It is the responsibility of the developer to ensure that all requirements to obtain potable water service are met with CWD as well as all other applicable agencies.

Please note that the existing water system at the Premium Outlets shall be dedicated pursuant to the terms of the Water Service and System Dedication Agreement executed by the District and the owner of the Premium Outlets. Subject

PLAN:TRANSMITTED Case #: PP23635

Parcel: 519-110-037

10. GENERAL CONDITIONS

10.E HEALTH. 1 CABAZON WATER DISTRICT (cont.) RECOMMND

to the terms of the Agreement, the water service will be undertaken in conformance with all District rules, regulations, ordinances, resolutions, policies and prodecures for such service.

10.E HEALTH. 2 GENERAL COMMENTS - US EPA RECOMMND

Per US EPA letter dated August 10, 2009, the Morongo Band of Mission Indians Wastewater Treatment Plant (WWTP) located in Cabazon, California was designed to treat an average dry weather wastewater flow of 750,000 gallons per day with an organic waste strength of 900 parts per million of biochemical oxygen demand (BOD). Currently flows average 275,000 gallons per day with peak flow at approximately 450,000 gallons per day. Current BOD concentration are well below 400 parts per million.

The additional new wastewater flow from new commercial operations is approximately 55,900 to 85,000 gallons per day with an the initial increase of flow that could potentially be up to 100,000 gallons per day. These planned flow increases to the Morongo WWTP is well within its designed treatment capacity. For further information regarding this information, please contact US Environmental Protection Agency, Region IX at (415) 972-3457.

10.E HEALTH. 3 USE-GREASE INTERCEPTORS RECOMMND

Submit two sets of scaled grease interceptor plans to the Deparment of Environmental Health (DEH), Environmental Resource Management Division in the Indio Office for review and approval. All existing grease interceptors shall be demolished under permit issued from this Department due to new construction.

10.E HEALTH. 3 MORONGO WWTP - SEWER SERVICE RECOMMND

Plot Plan#23635 is proposing to connect to Morongo Band of Mission Indians Wastewater Treatment Plant (Morongo WWTP) to receive sewer service. It is the responsibility of the developer to ensure that all requirements to obtain sewer service are met with the Morongo WWTP, which includes but is not limited to the "Sewer Facilities Development Agreement" dated April 12, 2011 between the Morongo Band of Mission Indians and CPG Partners, L.P. (project proponent), as well as, meet the sewerage requirements of all other applicable agencies.

PLAN: TRANSMITTED Case #: PP23635

Parcel: 519-110-037

10. GENERAL CONDITIONS

10.E HEALTH. 4 USE - FOOD PLANS REQD RECOMMND

A total of 3 complete set of plans for each food establishment are needed including a fixture schedule, a finish schedule, and a plumbing schedule in order to ensure compliance with current State and Local regulations.

FIRE DEPARTMENT

10.FIRE. 1 USE-#23-MIN REQ FIRE FLOW RECOMMND

Minimum required fire flow shall be 3750 GPM for a 4 hour duration at 20 PSI residual operating pressure, which must be available before any combustible material is placed on the job site. Fire flow is based on type V-B construction per the 2007 CFC and Building(s) having a fire sprinkler system.

10.FIRE. 2 USE-#19-ON/OFF LOOPED HYD RECOMMND

A combination of on-site and off-site super fire hydrants, on a looped system (6"x4"x 2-2 1/2"), will be located not less than 25 feet or more than 165 feet from any portion of the building as measured along approved vehicular travel ways. The required fire flow shall be available from any adjacent hydrants(s) in the system.

10.FIRE. 3 USE-#89-RAPID ENTRY KEY BOX RECOMMND

Rapid entry key storage cabinet shall be installed on the outside of the building. Plans shall be submitted to the Riverside County Fire Department for approval prior to installation.

10.FIRE. 4 USE-#25-GATE ENTRANCES RECOMMND

ny gate providing access from a road to a driveway shall be located at least 35 feet from the roadway and shall open to allow a vehicle to stop without obstructing traffic on the road. Where a one-way road with a single traffic lane provides access to a gate entrance, a 38 foot turning radius shall be used.

PLAN:TRANSMITTED Case #: PP23635

Parcel: 519-110-037

10. GENERAL CONDITIONS

FLOOD RI DEPARTMENT

10.FLOOD RI. 1 USE FLOOD HAZARD REPORT

RECOMMND

Plot Plan 23635 is a proposal to add additional retail building space and parking areas to the existing retail center (Desert Hills Premium Outlet Mall) on an approximately 40-acre site. The site is located in the Cabazon area, north of the Interstate 10, on the northwest corner of Seminole Drive and Millard Pass. The District previously reviewed this site as Fast Track 2007 - 29.

Our review indicates that the improvements constructed under earlier phases of the outlet store development provide protection to this site from ordinary flood hazard. The developer proposes to replace an existing parking area with new retail buildings. Two new parking areas, including a parking structure, are proposed along the northern side. The additional impervious area created by this proposal will increase storm runoff and have an adverse impact on downstream properties. The engineer has proposed two basins to mitigate the increased storm runoff and the water quality impacts caused by this additional development. Since a portion of the existing impervious parking area is being replaced with impervious buildings area, increased runoff mitigation is not required for this portion of the site. Increased runoff mitigation is required for any portion of the site which is being changed from pervious to impervious. A Water Quality Management Plan (WQMP), which included calculations for the increased runoff, was submitted to the District for review. The proposed basins appear to meet the required volumes necessary to mitigate for water quality and increased runoff. The basins should be designed so any emergency escape from the basins is directed to the adjacent streets or parking aisles. The property owners association (POA) will be responsible for the operation and maintenance of the basins.

10.FLOOD RI. 3 USE 10 YR CURB - 100 YR ROW

RECOMMND

The 10 year storm flow shall be contained within the curb and the 100 year storm flow shall be contained within the street right of way. When either of these criteria is exceeded, additional drainage facilities shall be installed. The property shall be graded to drain to the adjacent street or an adequate outlet.

PLAN: TRANSMITTED Case #: PP23635

Parcel: 519-110-037

10. GENERAL CONDITIONS

10.FLOOD RI. 4 USE 100 YR SUMP OUTLET RECOMMND

Drainage facilities outletting sump conditions shall be designed to convey the tributary 100 year storm flows. Additional emergency escape shall also be provided.

10.FLOOD RI. 5 USE PERP DRAINAGE PATTERNS RECOMMND

The property's grading shall be designed in a manner that perpetuates the existing natural drainage patterns with respect to tributary drainage area, outlet points and outlet conditions; otherwise, a drainage easement shall be obtained from the affected property owners for the release of concentrated or diverted storm flows. A copy of the recorded drainage easement shall be submitted to the District for review.

10.FLOOD RI. 6 USE COORDINATE DRAINAGE DESIGN RECOMMND

Development of this property shall be coordinated with development of adjacent properties to ensure that watercourses remain unobstructed and stormwaters are not diverted from one watershed to another. This may require the construction of temporary drainage facilities or offsite construction and grading. A drainage easement shall be obtained from the affected property owners for the release of concentrated or diverted storm flows. A copy of the recorded drainage easement shall be submitted to the District for review.

10.FLOOD RI. 10 USE INCREASED RUNOFF RECOMMND

The development of this site will adversely impact downstream property owners by increasing the rate and volume of flood flows. To mitigate this impact, the developer has proposed a detention basin. Although final design of the basin will not be required until the improvement plan stage of this development, the applicant's engineer has submitted a preliminary hydrology and hydraulics study that indicates that the general size, shape, and location of the proposed basin is sufficient to mitigate the impacts of the development.

10.FLOOD RI. 11 USE INCREASED RUNOFF CRITERIA RECOMMND

The development of this site would increase peak flow rates on downstream properties. Mitigation shall be required to offset such impacts. An increased runoff basin shall be

PLAN: TRANSMITTED Case #: PP23635

Parcel: 519-110-037

10. GENERAL CONDITIONS

10.FLOOD RI. 11

USE INCREASED RUNOFF CRITERIA (cont.)

RECOMMND

shown on the exhibit and calculations supporting the size of the basin shall be submitted to the District for review.

The entire area of proposed development will be routed through a detention facility(s) to mitigate increased runoff. All basins must have positive drainage; dead storage basins shall not be acceptable.

A complete drainage study including, but not limited to, hydrologic and hydraulic calculations for the proposed detention basin shall be submitted to the District for review and approval.

Storms to be studied will include the 1-hour, 3-hour, 6-hour and 24-hour duration events for the 2-year, 5-year and 10-year return frequencies. Detention basin(s) and outlet(s) sizing will ensure that none of these storm events has a higher peak discharge in the post-development condition than in the pre-development condition. For the 2-year and 5-year events the loss rate will be determined using an AMC I condition. For the 10-year event AMC II will be used. Constant loss rates shall be used for the 1-hour, 3-hour and 6-hour events. A variable loss rate shall be used for the 24-hour events.

Low Loss rates will be determined using the following:

1. Undeveloped Condition --> LOW LOSS = 90%
2. Developed Condition --> LOW LOSS = .9 - (.8x%IMPERVIOUS)
3. Basin Site --> LOW LOSS = 10%

Where possible and feasible the on-site flows should be mitigated before combining with off-site flows to minimize the size of the detention facility required. If it is necessary to combine off-site and on-site flows into a detention facility two separate conditions should be evaluated for each duration/return period/before-after development combination studied; the first for the total tributary area (off-site plus on-site), and the second for the area to be developed alone (on-site). It must be clearly demonstrated that there is no increase in peak flow rates under either condition (total tributary area or on-site alone), for each of the return period/duration combinations required to be evaluated. A single plot showing the pre-developed, post-developed and routed hydrographs for each storm considered, shall be included with the submittal of the hydrology study.



PLAN: TRANSMITTED Case #: PP23635

Parcel: 519-110-037

10. GENERAL CONDITIONS

10.FLOOD RI. 11 USE INCREASED RUNOFF CRITERIA (cont.) (cont.) RECOMMND

No outlet pipe(s) will be less than 18" in diameter. Where necessary an orifice plate may be used to restrict outflow rates. Appropriate trash racks shall be provided for all outlets less than 48" in diameter.

The basin(s) and outlet structure(s) must be capable of passing the 100-year storm without damage to the facility. Embankment shall be avoided in all cases unless site constraints or topography make embankment unavoidable in the judgment of the General Manager-Chief Engineer.

Mitigation basins should be designed for joint use and be incorporated into open space or park areas. Sideslopes should be no steeper than 4:1 and depths should be minimized where public access is uncontrolled.

A viable maintenance mechanism, acceptable to both the County and the District, should be provided for detention facilities. Generally, this would mean a CSA, landscape district, parks agency or commercial property owners association.

10.FLOOD RI. 13 USE WQMP ESTABL MAINT ENTITY RECOMMND

This project proposes BMP facilities that will require maintenance by public agency or commercial property owner association. To ensure that the public is not unduly burdened with future costs, prior to final approval or recordation of this case, the District will require an acceptable financial mechanism be implemented to provide for maintenance of treatment control BMPs in perpetuity. This may consist of a mechanism to assess individual benefiting property owners, or other means approved by the District. The site's treatment control BMPs must be shown on the project's improvement plans - either the street plans, grading plans, or landscaping plans. The type of improvement plans that will show the BMPs will depend on the selected maintenance entity.

10.FLOOD RI. 15 USE SBMT FINAL WQMP=PRELIM(WW) RECOMMND

In compliance with Colorado River Regional Water Quality Control Board Orders, and beginning June 15, 2009, projects submitted within the Whitewater River watershed of the unincorporated area of Riverside County for discretionary approval will be required to comply with the Water Quality

PLAN:TRANSMITTED Case #: PP23635

Parcel: 519-110-037

10. GENERAL CONDITIONS

10.FLOOD RI. 15 USE SBMT FINAL WQMP=PRELIM(WW) (cont.) RECOMMND

Management Plan (WQMP) for Urban Runoff. The WQMP addresses post-development water quality impacts from new development and redevelopment projects. The WQMP provides detailed guidelines and templates to assist the developer in completing the necessary studies. These documents are available on-line at: [www.rcflood.org/npdes](http://www.rcflood.org/npdes). To comply with the WQMP, a developer must submit a "Project Specific" WQMP. This report is intended to: a) identify potential post-project pollutants and hydrologic impacts associated with the development; b) propose Best Management Practices (BMPs) as mitigation measures for the identified impacts including site design, source control and treatment control post-development BMPs; and c) identify sustainable funding and maintenance mechanisms for the aforementioned BMPs. A template for this report is included as 'Exhibit 1' in the WQMP. The developer has submitted a report that meets the criteria for a Preliminary Project Specific WQMP (see Flood Hazard Report). However, the report will need to be revised to meet the requirements of a Final Project Specific WQMP. Also, it should be noted that if 401 certification is necessary for the project, the Regional Water Quality Control Board may require additional water quality measures.

10.FLOOD RI. 16 USE BMP MAINTENANCE & INSPECT RECOMMND

The BMP maintenance plan shall contain provisions for all treatment controlled BMPs to be inspected, and if required, cleaned no later than October 15 each year. Required documentation shall identify the entity that will inspect and maintain all structural BMPs within the project boundaries. A copy of all necessary documentation shall be submitted to the District for review and approval prior to the issuance of occupancy permits.

PLANNING DEPARTMENT

10.PLANNING. 1 USE - COMPLY WITH ORD./CODES RECOMMND

The development of these premises shall comply with the standards of Ordinance No. 348 and all other applicable Riverside County ordinances and State and Federal codes.

The development of the premises shall conform substantially with that as shown on APPROVED EXHIBIT A, unless otherwise amended by these conditions of approval.

PLAN:TRANSMITTED Case #: PP23635

Parcel: 519-110-037

10. GENERAL CONDITIONS

10.PLANNING. 2 USE - FEES FOR REVIEW RECOMMND

Any subsequent submittals required by these conditions of approval, including but not limited to grading plan, building plan or mitigation monitoring review, shall be reviewed on an hourly basis (research fee), or other such review fee as may be in effect at the time of submittal, as required by Ordinance No. 671. Each submittal shall be accompanied with a letter clearly indicating which condition or conditions the submittal is intended to comply with.

10.PLANNING. 3 USE - LIGHTING HOODED/DIRECTED RECOMMND

Any outside lighting shall be hooded and directed so as not to shine directly upon adjoining property or public rights-of-way.

10.PLANNING. 4 USE - COLORS & MATERIALS RECOMMND

Building colors and materials shall be in substantial conformance with those shown on APPROVED EXHIBIT M.

10.PLANNING. 6 USE - PERMIT SIGNS SEPARATELY RECOMMND

No signs are approved pursuant to this project approval. Prior to the installation of any on-site advertising or directional signs, a signing plan shall be submitted to and approved by the Planning Department pursuant to the requirements of Section 18.30 (Planning Department review only) of Ordinance No. 348.

10.PLANNING. 7 USE - NO OUTDOOR ADVERTISING RECOMMND

No outdoor advertising display, sign or billboard (not including on-site advertising or directional signs) shall be constructed or maintained within the property subject to this approval.

10.PLANNING. 8 USE - PHASE BY NEW PERMIT RECOMMND

Construction of this project may be done progressively in phases provided a plan is submitted with appropriate fees to the Planning Department and approved prior to issuance of any building permits. Phasing approval shall not apply to the requirements of any agency other than the Planning Department unless so indicated by the affected agency.

PLAN:TRANSMITTED Case #: PP23635

Parcel: 519-110-037

10. GENERAL CONDITIONS

10.PLANNING. 10 USE - SITE MAINTENANCE RECOMMND

The project site shall be kept in good repair. Graffiti shall be removed from any structures within one week of observation and/or notification.

10.PLANNING. 11 USE - EXTERIOR NOISE LEVELS RECOMMND

Exterior noise levels produced by any use allowed under this permit, including, but not limited to, any outdoor public address system, shall not exceed 55 db(A), 10-minute LEQ, between the hours of 10:00 p.m. to 7:00 a.m., and 65 db(A), 10-minute LEQ, at all other times as measured at any residential, hospital, school, library, nursing home or other similar noise sensitive land use. In the event noise exceeds this standard, the permittee or the permittee's successor-in-interest shall take the necessary steps to remedy the situation, which may include discontinued operation of the facilities. The permit holder shall comply with the applicable standards of Ordinance No. 847.

10.PLANNING. 15 USE - CAUSES FOR REVOCATION RECOMMND

In the event the use hereby permitted under this permit,  
a) is found to be in violation of the terms and conditions of this permit,  
b) is found to have been obtained by fraud or perjured testimony, or  
c) is found to be detrimental to the public health, safety or general welfare, or is a public nuisance, this permit shall be subject to the revocation procedures.

10.PLANNING. 16 USE - CEASED OPERATIONS RECOMMND

In the event the use hereby permitted ceases operation for a period of one (1) year or more, this approval shall become null and void.

10.PLANNING. 17 USE - PARKING DETERMINATIONS RECOMMND

Parking for this permit was determined primarily on the basis of COMMERCIAL uses within the approved buildings.

The overall buildout of the project will require 2,286 total parking spaces.

The applicant will be providing 2,538 parking spaces and will provide adequate parking.

PLAN:TRANSMITTED Case #: PP23635

Parcel: 519-110-037

10. GENERAL CONDITIONS

10.PLANNING. 18 USE - MT PALOMAR LIGHTING AREA RECOMMND

Within the Mt. Palomar Special Lighting Area, as defined in Ordinance No. 655, low pressure sodium vapor lighting or overhead high pressure sodium vapor lighting with shields or cutoff luminaires, shall be utilized.

10.PLANNING. 19 USE - COMPLY WITH NPDES RECOMMND

Since this project is one (1) acre or more, the permit holder shall comply with all of the applicable requirements of the National Pollution Discharge Elimination System (NPDES) and shall conform to NPDES Best Management Practices for Stormwater Pollution Prevention Plans during the life of this permit.

10.PLANNING. 21 USE - CONFORM TO ELEVATIONS RECOMMND

Elevations of all buildings and structures submitted for building plan check approval shall be in substantial conformance with the elevations shown on APPROVED EXHIBIT B.

10.PLANNING. 22 USE - CONFORM TO FLOOR PLANS RECOMMND

Floor plans shall be in substantial conformance with that shown on APPROVED EXHIBIT C.

10.PLANNING. 23 USE - BUSINESS LICENSING RECOMMND

Every person conducting a business within the unincorporated area of Riverside County, as defined in Riverside County Ordinance No. 857, shall obtain a business license. For more information regarding business registration, contact the Business Registration and License Program Office of the Building and Safety Department at [www.rctlma.org.buslic](http://www.rctlma.org.buslic).

10.PLANNING. 31 USE - LC LANDSCAPE REQUIREMENT RECOMMND

The developer/ permit holder shall:

1) Ensure all landscape and irrigation plans are in conformance with the APPROVED EXHIBITS;

2) Ensure all landscaping is provided with California Friendly landscaping and a weather based irrigation controller(s) as defined by County Ordinance No. 859;

PLAN:TRANSMITTED Case #: PP23635

Parcel: 519-110-037

10. GENERAL CONDITIONS

10.PLANNING. 31

USE - LC LANDSCAPE REQUIREMENT (cont.)

RECOMMND

3)Ensure that irrigation plans which may use reclaimed water conform with the requirements of the local water purveyor; and,

4)Be responsible for maintenance, viability and upkeep of all slopes, landscaped areas, and irrigation systems until the successful completion of the twelve (12) month inspection or those operations become the responsibility of the individual property owner(s), a property owner's association, or any other successor-in-interest, whichever occurs later.

To ensure ongoing maintenance, the developer/ permit holder or any successor in interest shall:

1)Connect to a reclaimed water supply for landscape irrigation purposes when reclaimed water is made available.

2)Ensure that landscaping, irrigation and maintenance systems comply with the Riverside County Guide to California Friendly Landscaping, and Ordinance No. 859.

3)Ensure that all landscaping is healthy, free of weeds, disease and pests.

10.PLANNING. 32

GEN - IF HUMAN REMAINS FOUND

RECOMMND

The developer/permit holder or any successor in interest shall comply with the following codes for the life of this project:

If human remains are encountered, State Health and Safety Code Section 7050.5 states that no further disturbance shall occur until the County Coroner has made the necessary findings as to origin. Further, pursuant to Public Resources Code Section 5097.98 (b), remains shall be left in place and free from disturbance until a final decision as to the treatment and their disposition has been made. If the Riverside County Coroner determines the remains to be Native American, the Native American Heritage Commission shall be contacted within the period specified by law. Subsequently, the Native American Heritage Commission shall identify the "Most Likely Descendant." The Most Likely Descendant shall then make recommendations and engage in

PLAN:TRANSMITTED Case #: PP23635

Parcel: 519-110-037

10. GENERAL CONDITIONS

10.PLANNING. 32 GEN - IF HUMAN REMAINS FOUND (cont.)

RECOMMND

consultation with the County and the property owner concerning the treatment of the remains as provided in Public Resources Code Section 5097.98. Human remains from other ethnic/cultural groups with recognized historical associations to the project area shall also be subject to consultation between appropriate representatives from that group and the County Planning /Director.

10.PLANNING. 33 GEN - INADVERTANT ARCHAEO FIND

RECOMMND

The developer/permit holder or any successor in interest shall comply with the following for the life of this project:

If during ground disturbance activities, cultural resources are discovered that were not assessed by the archaeological reports and/or environmental assessment conducted prior to project approval, the following procedures shall be followed. A cultural resources site is defined, for this condition, as being three or more artifacts in close association with each other, but may include fewer artifacts if the area of the find is determined to be of significance due to its sacred or cultural importance.

1.All ground disturbance activities within 100 feet of the discovered cultural resource shall be halted until a meeting is convened between the developer, the project archaeologist, the Native American tribal representative (or other appropriate ethnic/cultural group representative), and the Planning Director to discuss the significance of the find.

2.At the meeting, the significance of the discoveries shall be discussed and after consultation with the Native American tribal (or other appropriate ethnic/cultural group representative) and the archaeologist, a decision is made, with the concurrence of the Planning Director, as to the appropriate mitigation (documentation, recovery, avoidance, etc) for the cultural resource.

3.Further ground disturbance shall not resume within the area of the discovery until an agreement has been reached by all parties as to the appropriate preservation or mitigation measures.

PLAN:TRANSMITTED Case #: PP23635

Parcel: 519-110-037

10. GENERAL CONDITIONS

10.PLANNING. 34

USE - LOW PALEO

RECOMMND

According to the County's General Plan, this site has been mapped as having a "Low Potential" for paleontological resources. This category encompasses lands for which previous field surveys and documentation demonstrates a low potential for containing significant paleontological resources subject to adverse impacts. As such, this project is not anticipated to require any direct mitigation for paleontological resources. However, should fossil remains be encountered during site development:

1.All site earthmoving shall be ceased in the area of where the fossil remains are encountered. Earthmoving activities may be diverted to other areas of the site.

2.The owner of the property shall be immediately notified of the fossil discovery who will in turn immediately notify the County Geologist of the discovery.

3.The applicant shall retain a qualified paleontologist approved by the County of Riverside.

4.The paleontologist shall determine the significance of the encountered fossil remains.

5.Paleontological monitoring of earthmoving activities will continue thereafter on an as-needed basis by the paleontologist during all earthmoving activities that may expose sensitive strata. Earthmoving activities in areas of the project area where previously undisturbed strata will be buried but not otherwise disturbed will not be monitored. The supervising paleontologist will have the authority to reduce monitoring once he/she determines the probability of encountering any additional fossils has dropped below an acceptable level.

6.If fossil remains are encountered by earthmoving activities when the paleontologist is not onsite, these activities will be diverted around the fossil site and the paleontologist called to the site immediately to recover the remains.

7.Any recovered fossil remains will be prepared to the point of identification and identified to the lowest taxonomic level possible by knowledgeable paleontologists. The remains then will be curated (assigned and labeled with museum\* repository fossil specimen numbers and



PLAN: TRANSMITTED Case #: PP23635

Parcel: 519-110-037

10. GENERAL CONDITIONS

10.PLANNING. 34 USE - LOW PALEO (cont.)

RECOMMND

corresponding fossil site numbers, as appropriate; places in specimen trays and, if necessary, vials with completed specimen data cards) and catalogued, an associated specimen data and corresponding geologic and geographic site data will be archived (specimen and site numbers and corresponding data entered into appropriate museum repository catalogs and computerized data bases) at the museum repository by a laboratory technician. The remains will then be accessioned into the museum\* repository fossil collection, where they will be permanently stored, maintained, and, along with associated specimen and site data, made available for future study by qualified scientific investigators. \* The County of Riverside must be consulted on the repository/museum to receive the fossil material prior to being curated.

10.PLANNING: 35 USE - GEO02108

RECOMMND

County Geologic Report (GEO) No. 2108, submitted for this project (PP23635), was prepared by Gary S. Rasmussen & Associates, Inc. and is entitled: "Engineering Geology Investigation, Phase 5 Expansion, Desert Hills Factory Outlets, Cabazon Area, Riverside County, California, Project No. 3188.13", dated October 22, 2008. In addition, the following documents were submitted for this project:

John R. Byerly, Incorporated, November 11, 2011, "Proposed Desert Hills Premium Outlets Expansion, North Corner of Millard Pass and Seminole Road, Cabazon, California; Response to County of Riverside Review Letter".

John R. Byerly, Incorporated, July 13, 2011, "Geotechnical Update, Proposed Desert Hills Premium Outlets Expansion, North Corner of Millard Pass and Seminole Road, Cabazon Area of Riverside County, California".

John R. Byerly, Incorporated, April 30, 2008, "Soil Investigation, Proposed Desert Hills Premium Outlets, Phase III, North Corner of Millard Pass and Seminole Road, Cabazon Area of Riverside County, California".

Gary S. Rasmussen & Associates, Inc., August 2, 2001, "Menology of previous Geologic Reports, Proposed Buildings 12A and 12B, Desert Hill Factory Stores, Phase I, Cabazon Area, Riverside County, California".

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Riverside County LMS  
CONDITIONS OF APPROVAL

Page: 21

PLAN:TRANSMITTED Case #: PP23635

Parcel: 519-110-037

10. GENERAL CONDITIONS

10.PLANNING. 35 USE - GEO02108 (cont.)

RECOMMND

Gary S. Rasmussen & Associates, Inc., April 2, 1997,  
"Subsurface Engineering Investigation, Desert Hill Premium  
Outlets Expansion, Northwest of Seminole Drive and Millard  
Pass, Cabazon Area, Riverside County, California".

Gary S. Rasmussen & Associates, Inc., August 9, 1995,  
"Engineering Geology Evaluation of Faulting During Grading,  
Desert Hill Factory Stores, Phase II, Cabazon Area,  
Riverside County, California".

Gary S. Rasmussen & Associates, Inc., March 14, 1994,  
"Subsurface Engineering Geology Investigation, Approx. 50  
Acres, East of Fields Road, Between Seminole Dr. and Martin  
Road, Cabazon Area, California".

Gary S. Rasmussen & Associates, Inc., March 5, 1980,  
"Subsurface Engineering Geology Investigation of a 76' X  
210' Building, North of 48510 Seminole, Drive in the NW1/4  
of SEC. 7, T3S, R2E, SBB&M, Riverside County, California".

Clopine Geological Services, Inc., August 10, 1990,  
"Addendum to Geologic/Seismic Report for 20 Acre (+/-)  
Parcel in the Northeast Quarter of the Northwest Quarter,  
Section 7, Township 3 South, Range 2 East, S.B.B. & M.,  
Cabazon Area, Riverside County, California".

Clopine Geological Services, June 14, 1989,  
"Geologic/Seismic Report for 20 Acre (+/-) Parcel in the  
Northeast Quarter of the Northwest Quarter, Section 7,  
Township 3 South, Range 2 East, S.B.B. & M., Cabazon Area,  
Riverside County, California".

Clopine Geological Services, June 14, 1988, "Geologic  
Trenching Report, 30 Acre Site, Northwest of Millard Pass  
Road and Seminole Drive, Vicinity of Cabazon, Riverside  
County, California".

These documents are herein incorporated as a part of  
GEO02108.

GEO02108 concluded:

1)The Rasmussen, April 2, 1997 Trench 1 has complete  
coverage of the area within the APEFZ relevant to the new  
proposed Buildings A, B, C and the parking Structure  
associated with Phase 5 of the Desert Hills Outlet Center.

PLAN: TRANSMITTED Case #: PP23635

Parcel: 519-110-037

10. GENERAL CONDITIONS

10. PLANNING. 35

USE - GEO02108 (cont.) (cont.)

RECOMMND

2) Trench 1 is free of faulting except for the extreme western portion of the trench and the excavations for building 12A and 12B were found to be free of faulting.

3) The San Gorgonio Pass Fault is well north and northwest of the currently proposed Phase 5 expansion.

4) The parking structure, building A, B, and C, are in conformance with Rasmussen's recommended restricted use zone for human occupancy structures.

5) The potential for liquefaction is low.

6) Seismically induced settlement evaluation revealed a potential for approximately 0.31 inch and 0.90 inch of total dynamic settlement. Dynamic settlement need not be a consideration in the design of the structures.

7) Static and pseudo-static slope stability analysis resulted in acceptable safety factors.

GEO02108 recommended:

1) Remedial grading (overexcavation and recompaction) of the natural soil.

2) Conventional shallow spread and wall footings may be safely used for support of the retail buildings and parking structure.

GEO02108 satisfies the requirement for a geotechnical/geologic study for Planning/CEQA purposes. GEO02108 is hereby accepted for planning purposes. Engineering and other Uniform Building Code parameters were not included as a part of this review or approval and this approval is not intended, and should not be misconstrued as approval for grading permit. Engineering and other building code parameters will be reviewed and additional comments and/or conditions may be imposed by the Building and Safety Department upon application for grading and/or building permits.

PLAN:TRANSMITTED Case #: PP23635

Parcel: 519-110-037

10. GENERAL CONDITIONS

TRANS DEPARTMENT

10.TRANS. 5

USE - STD INTRO 3(ORD 460/461)

RECOMMND

With respect to the conditions of approval for the referenced tentative exhibit, the landowner shall provide all street improvements, street improvement plans and/or road dedications set forth herein in accordance with Ordinance 460 and Riverside County Road Improvement standards (Ordinance 461). It is understood that the exhibit correctly shows acceptable centerline elevations, all existing easements, traveled ways, and drainage courses with appropriate Q's, and that their omission or unacceptability may require the exhibit to be resubmitted for further consideration. These Ordinances and all conditions of approval are essential parts and a requirement occurring in ONE is as binding as though occurring in all. All questions regarding the true meaning of the conditions shall be referred to the Transportation Department.

10.TRANS. 6

USE - ENCROACHMENT PERMIT

RECOMMND

An encroachment permit must be obtained from the Transportation Department prior to the commencement of any work within the county road right-of-way.

10.TRANS. 7

USE - TS/CONDITIONS

RECOMMND

The Transportation Department has reviewed the traffic study submitted for the referenced project. The study has been prepared in accordance with County-approved guidelines. We generally concur with the findings relative to traffic impacts.

The General Plan circulation policies require a minimum of Level of Service 'C', except that Level of Service 'D' may be allowed in community development areas at intersections of any combination of secondary highways, major highways, arterials, urban arterials, expressways or state highways and ramp intersections.

The study indicates that it is possible to achieve adequate levels of service for the following intersections based on the traffic study assumptions.

Fields Road/I-10 Westbound Ramps (NS) at:  
Seminole Drive (EW)

02/06/12  
11:03

Riverside County LMS  
CONDITIONS OF APPROVAL

Page: 24

PLAN: TRANSMITTED Case #: PP23635

Parcel: 519-110-037

10. GENERAL CONDITIONS

10.TRANS. 7

USE - TS/CONDITIONS (cont.)

RECOMMND

Johnson Lane (NS) at:  
Seminole Drive (EW)  
I-10 Eastbound Ramps (EW)

Entry Drive (NS) at:  
Project Access (EW)  
Seminole Drive (EW)

Project Main Access (NS) at:  
Seminole Drive (EW)

Millard Pass (NS) at:  
Project Northern Access (EW)  
Project Central Access (EW)  
Project Southern Access (EW)  
Seminole Drive (EW)

Apache Trail (NS) at:  
Seminole Drive/I-10 Westbound Ramps (EW)  
Seminole Drive/I-10 Eastbound Ramps (EW)

As such, the proposed project is consistent with this General Plan policy.

The associated conditions of approval incorporate mitigation measures identified in the traffic study, which are necessary to achieve or maintain the required level of service.

60. PRIOR TO GRADING PRMT ISSUANCE

BS GRADE DEPARTMENT

60.BS GRADE. 1

USE - NPDES/SWPPP

RECOMMND

Prior to issuance of any grading or construction permits - whichever comes first - the applicant shall provide the Building and Safety Department evidence of compliance with the following: "Effective March 10, 2003 owner operators of grading or construction projects are required to comply with the N.P.D.E.S. (National Pollutant Discharge Elimination System) requirement to obtain a construction permit from the State Water Resource Control Board (SWRCB). The permit requirement applies to grading and construction sites of "ONE" acre or larger. The owner operator can

PLAN:TRANSMITTED Case #: PP23635

Parcel: 519-110-037

60. PRIOR TO GRADING PRMT ISSUANCE

60.BS GRADE. 1 USE - NPDES/SWPPP (cont.)

RECOMMND

comply by submitting a "Notice of Intent" (NOI), develop and implement a STORM WATER POLLUTION PREVENTION PLAN (SWPPP) and a monitoring program and reporting plan for the construction site. For additional information and to obtain a copy of the NPDES State Construction Permit contact the SWRCB at (916) 657-1146.

Additionally, at the time the county adopts, as part of any ordinance, regulations specific to the N.P.D.E.S., this project (or subdivision) shall comply with them.

60.BS GRADE. 2 USE - GRADING SECURITY

RECOMMND

Grading in excess of 199 cubic yards will require a performance security to be posted with the Building and Safety Department.

60.BS GRADE. 3 USE - IMPORT / EXPORT

RECOMMND

In instances where a grading plan involves import or export, prior to obtaining a grading permit, the applicant shall have obtained approval for the import/export location from the Building and Safety Department.

A separate stockpile permit is required for the import site. It shall be authorized in conjunction with an approved construction project and shall comply with the requirements of Ordinance 457.

If an Environmental Assessment, prior to issuing a grading permit, did not previously approve either location, a Grading Environmental Assessment shall be submitted to the Planning Director for review and comment and to the Building and Safety Department Director for approval.

Additionally, if the movement of import / export occurs using county roads, review and approval of the haul routes by the Transportation Department may be required.

60.BS GRADE. 4 USE - GEOTECH/SOILS RPTS

RECOMMND

Geotechnical soils reports, required in order to obtain a grading permit, shall be submitted to the Building and Safety Department for review and approval prior to issuance of a grading permit. All grading shall be in conformance with the recommendations of the geotechnical/soils reports

PLAN: TRANSMITTED Case #: PP23635

Parcel: 519-110-037

60. PRIOR TO GRADING PRMT ISSUANCE

60.BS GRADE. 4 USE - GEOTECH/SOILS RPTS (cont.) RECOMMND

as approved by Riverside County.\* \*The geotechnical/soils, compaction and inspection reports will be reviewed in accordance with the RIVERSIDE COUNTY GEOTECHNICAL GUIDELINES FOR REVIEW OF GEOTECHNICAL AND GEOLOGIC REPORTS.

60.BS GRADE. 5 USE - SLOPE STABILITY ANLY RECOMMND

A slope stability report shall be submitted and approved by the County Geologist and/or Building and Safety Engineer for all proposed cut or fill slopes over 30 feet in vertical height or cut slopes steeper than 2:1 (horizontal to vertical) - unless addressed in a previous report. Fill slopes shall not be steeper than 2:1 (horizontal to vertical).

60.BS GRADE. 6 USE - DRAINAGE DESIGN Q100 RECOMMND

All drainage facilities shall be designed in accordance with the Riverside County Flood Control & Water District's letter regarding this application, or if not specifically addressed in their letter, to accommodate 100 year storm flows.

60.BS GRADE. 7 USE - OFFSITE GRDG ONUS RECOMMND

Prior to the issuance of a grading permit, it shall be the sole responsibility of the owner/applicant to obtain any and all proposed or required easements and/or permissions necessary to perform the grading herein proposed.

60.BS GRADE. 8 USE - NOTARIZED OFFSITE LTR RECOMMND

A notarized letter of permission, from the affected property owners or easement holders, is required for any proposed off site grading.

60.BS GRADE. 9 USE - RECORDED ESMT REQ'D RECOMMND

A recorded easement is required for off site drainage facilities.

60.BS GRADE. 11 USE - APPROVED WQMP RECOMMND

Prior to the issuance of a grading permit, the owner / applicant shall submit to the Building & Safety Department Engineering Division evidence that the project - specific

02/06/12  
11:03

Riverside County LMS  
CONDITIONS OF APPROVAL

Page: 27

PLAN: TRANSMITTED Case #: PP23635

Parcel: 519-110-037

60. PRIOR TO GRADING PRMT ISSUANCE

60.BS GRADE. 11 USE - APPROVED WQMP (cont.)

RECOMMND

Water Quality Management Plan (WQMP) has been approved by the Riverside County Flood Control District and that all approved water quality treatment control BMPs have been included on the grading plan.

60.BS GRADE. 12 USE - PRE-CONSTRUCTION MTG

RECOMMND

Upon receiving grading plan approval and prior to the issuance of a grading permit, the applicant is required to schedule a pre-construction meeting with the Building and Safety Department Environmental Compliance Division.

FLOOD RI DEPARTMENT

60.FLOOD RI. 2 USE SUBMIT PLANS

RECOMMND

A copy of the improvement plans, grading plans, BMP improvement plans and any other necessary documentation along with supporting hydrologic and hydraulic calculations shall be submitted to the District for review. The plans must receive District approval prior to the issuance of grading permits. All submittals shall be date stamped by the engineer and include a completed Flood Control Deposit Based Fee Worksheet and the appropriate plan check fee deposit.

60.FLOOD RI. 3 USE EROS CNTRL AFTER RGH GRAD

RECOMMND

Temporary erosion control measures shall be implemented immediately following rough grading to prevent deposition of debris onto downstream properties or drainage facilities. Plans showing these measures shall be submitted to the District for review.

60.FLOOD RI. 4 USE OFFSITE EASE OR REDESIGN

RECOMMND

Offsite drainage facilities shall be located within dedicated drainage easements obtained from the affected property owner(s). Document(s) shall be recorded and a copy submitted to the District prior to issuance of permits. If the developer cannot obtain such rights, the project shall be redesigned to eliminate the need for the easement.



PLAN:TRANSMITTED Case #: PP23635

Parcel: 519-110-037

60. PRIOR TO GRADING PRMT ISSUANCE

60.FLOOD RI. 5 USE WRITTEN PERM FOR GRADING RECOMMND

Written permission shall be obtained from the affected property owner(s) allowing the proposed grading and/or facilities to be installed outside of the project boundaries. A copy of the written authorization shall be submitted to the District for review and approval.

60.FLOOD RI. 9 USE SUBMIT FINAL WQMP RECOMMND

A copy of the project specific WQMP shall be submitted to the District for review and approval.

PLANNING DEPARTMENT

60.PLANNING. 1 USE - FEE STATUS RECOMMND

Prior to the issuance of grading permits for Plot Plan No. 23635, the Planning Department shall determine the status of the deposit based fees. If the fees are in a negative status, the permit holder shall pay the outstanding balance.

TRANS DEPARTMENT

60.TRANS. 1 USE - TRANSPORTATION CLEARANCE RECOMMND

A clearance from the Transportation Department is required prior to the issuance of a grading permit.

60.TRANS. 2 USE - WATER QUALITY MGMT PLANS RECOMMND

The developer shall submit Water Quality Management Plans (WQMP) to Riverside County Flood Control & Water Conservation District and Transportation Department for review and approval.

60.TRANS. 3 USE - CREDIT/REIMBURSEMENT RECOMMND

In order to receive any fee credit or reimbursement for improvements, the project proponent shall contact the Transportation Department and enter into an agreement for fee credit or reimbursement prior to advertising. All work shall be preapproved by and shall comply with the requirements of the Transportation Department and the public contracts code in order to be eligible for fee credit or reimbursement.

PLAN:TRANSMITTED Case #: PP23635

Parcel: 519-110-037

60. PRIOR TO GRADING PRMT ISSUANCE

60.TRANS. 3 USE - CREDIT/REIMBURSEMENT (cont.)

RECOMMND

To enter into an agreement, please contact our Funding Programs group at (951) 955-1667.

For more information regarding the public work bidding requirements please visit the following link:  
[http://www.rctlma.org/trans/rbbd\\_contractbidding.html](http://www.rctlma.org/trans/rbbd_contractbidding.html).

80. PRIOR TO BLDG PRMT ISSUANCE

BS GRADE DEPARTMENT

80.BS GRADE. 1 USE - NO B/PMT W/O G/PMT

RECOMMND

Prior to the issuance of any building permit, the property owner shall obtain a grading permit and/or approval to construct from the Building and Safety Department.

80.BS GRADE. 2 USE - ROUGH GRADE APPROVAL

RECOMMND

Prior to the issuance of any building permit, the applicant shall obtain rough grade approval and/or approval to construct from the Building and Safety Department. The Building and Safety Department must approve the completed grading of your project before a building permit can be issued. Rough Grade approval can be accomplished by complying with the following:

- 1.Submitting a "Wet Signed" copy of the Soils Compaction Report containing substantiating data from the Soils Engineer (registered geologist or certified geologist, civil engineer or geotechnical engineer as appropriate) for his/her certification of the project.
- 2.Submitting a "Wet Signed" copy of the Rough Grade certification from a Registered Civil Engineer certifying that the grading was completed in conformance with the approved grading plan.
- 3.Requesting a Rough Grade Inspection and obtaining rough grade approval from a Riverside County inspector.
- 4.Rough Grade Only Permits: In addition to obtaining all required inspections and approval of all final reports, all sites permitted for rough grade only shall provide 100 percent vegetative coverage to stabilize the site prior to receiving a rough grade permit final.

PLAN:TRANSMITTED Case #: PP23635

Parcel: 519-110-037

80. PRIOR TO BLDG PRMT ISSUANCE

80.BS GRADE. 2 USE - ROUGH GRADE APPROVAL (cont.) RECOMMND

Prior to release for building permit, the applicant shall have met all rough grade requirements to obtain Building and Safety Department clearance.

E HEALTH DEPARTMENT

80.E HEALTH. 1 USE - E.HEALTH CLEARANCE REQ. RECOMMND

ENVIRONMENTAL HEALTH CLEARANCE IS REQUIRED PRIOR TO THE ISSUANCE OF THIS BUILDING PERMIT.

FIRE DEPARTMENT

80.FIRE. 1 USE-#17A-BLDG PLAN CHECK \$ RECOMMND

Building Plan check deposit base fee of \$1,056.00, shall be paid in a check or money order to the Riverside County Fire Department after plans have been approved by our office.

80.FIRE. 2 USE-#51-WATER CERTIFICATION RECOMMND

The applicant or developer shall be responsible to submit written certification from the water company noting the location of the existing fire hydrant and that the existing water system is capable of delivering 3750 GPM fire flow for a 4 hour duration at 20 PSI residual operating pressure. If a water system currently does not exist, the applicant or developer shall be responsible to provide written certification that financial arrangements have been made to provide them.

80.FIRE. 3 USE-#4-WATER PLANS RECOMMND

The applicant or developer shall separately submit two copies of the water system plans to the Fire Department for review and approval. Calculated velocities shall not exceed 10 feet per second. Plans shall conform to the fire hydrant types, location and spacing, and the system shall meet the fire flow requirements.

Plans shall be signed and approved by a registered civil engineer and the local water company with the following certification: "I certify that the design of the water system is in accordance with the requirements prescribed by the Riverside County Fire Department."

02/06/12  
11:03

Riverside County LMS  
CONDITIONS OF APPROVAL

Page: 31

PLAN:TRANSMITTED Case #: PP23635

Parcel: 519-110-037

80. PRIOR TO BLDG PRMT ISSUANCE

80.FIRE. 4 USE- MISC CORRECTIONS INEFFECT

Prior to issuance of building permit, the applicant must provide a plan showing fire protection measures for the parking lot and interior areas of the shopping center. (Additional fire hydrants will be necessary.)

FLOOD RI DEPARTMENT

80.FLOOD RI. 2 USE SUBMIT PLANS RECOMMND

A copy of the improvement plans, grading plans, BMP improvement plans and any other necessary documentation along with supporting hydrologic and hydraulic calculations shall be submitted to the District for review. The plans must receive District approval prior to the issuance of building permits. All submittals shall be date stamped by the engineer and include a completed Flood Control Deposit Based Fee Worksheet and the appropriate plan check fee deposit.

80.FLOOD RI. 5 USE SUBMIT FINAL WQMP RECOMMND

A copy of the project specific WQMP shall be submitted to the District for review and approval.

PLANNING DEPARTMENT

80.PLANNING. 1 USE - LC LNDSKP PLOT PLAN RECOMMND

Prior to issuance of building permits, the developer/permit holder shall file a Landscaping Minor Plot Plan Application to the Riverside County Planning Department for review and approval along with the current fee. The landscaping plans shall be in conformance with the APPROVED EXHIBITS; in compliance with Ordinance No. 348, Section 18.12; Ordinance No. 859; and, be prepared consistent with the County of Riverside Guide to California Friendly Landscaping.

At minimum, plans shall include the following components:

1)Landscape and irrigation working drawings "stamped" by a California certified landscape architect;

2)Weather based controllers and necessary components to eliminate water waste;

3)A copy of the "stamped" approved grading plans; and,

PLAN: TRANSMITTED Case #: PP23635

Parcel: 519-110-037

80. PRIOR TO BLDG PRMT ISSUANCE

80.PLANNING. 1 USE - LC LNDSCP PLOT PLAN (cont.)

RECOMMND

4) Emphasis on native and drought tolerant species.

When applicable, plans shall include the following components:

- 1) Identification of all common/open space areas;
- 2) Natural open space areas and those regulated/conserved by the prevailing MSHCP;
- 3) Shading plans for projects that include parking lots/areas;
- 4) The use of canopy trees (24" box or greater) within the parking areas;
- 5) Landscaping plans for slopes exceeding 3 feet in height;
- 6) Landscaping and irrigation plans associated with entry monuments. All monument locations and dimensions shall be provided on the plan; and/or,
- 7) If this is a phased development, then a copy of the approved phasing plan shall be submitted for reference.
- 8) Irrigation to conform to Ordinance No.859.2
- 9) Landscape Architect Stamp and signature to be on drawings with updated seal.
- 10) MAWA calculations using the Ordinance No. 859.2 calculations.

NOTE:

1) Landscaping plans for areas within the road right-of-way shall be submitted for review and approval by the Transportation Department only. The Planning Department shall not approve landscape plans within the Road Right-of-Way.

) When the Landscaping Plot Plan is located within a special district such as Valley-Wide Recreation and Park District, Jurupa Community Services District, Coachella Valley Water District, a County Service Area (CSA) or other maintenance district, the developer/permit holder shall submit plans for review to the appropriate special district for simultaneous review. The permit holder shall show evidence to the Planning Department that the subject District has

PLAN: TRANSMITTED Case #: PP23635

Parcel: 519-110-037

80. PRIOR TO BLDG PRMT ISSUANCE

80.PLANNING. 1 USE - LC LNDSCP PLOT PLAN (cont.) (cont.) RECOMMND

approved said plans.

As part of the plan check review process and request for condition clearance, the developer/permit holder shall show proof of the approved landscaping plot plan by providing the Plot Plan number. The planning department shall verify the landscape route is approved and the Plot Plan is in TENTAPPR status. Upon verification of compliance with this condition and the APPROVED EXHIBITS, the Planning Department shall clear this condition.

80.PLANNING. 3 USE - LC LNDSCP SECURITIES RECOMMND

Prior to the issuance of building permits, the developer/permit holder shall submit an estimate to replace plantings, irrigation systems, ornamental landscape elements, walls and/or fences, in amounts to be approved by the Riverside County Planning Department, Landscape Division. Once the Planning Department has approved the estimate, the developer/permit holder shall submit the estimate to the Riverside County Department of Building and Safety who will then provide the developer/permit holder with the requisite forms. The required forms shall be completed and submitted to Building and Safety for processing and review in conjunction with County Counsel. Upon determination of compliance, the Department of Building and Safety shall clear this condition.

NOTE:

A cash security shall be required when the estimated cost is \$2,500.00 or less. It is highly encouraged to allow adequate time to ensure that securities are in place. The performance security shall be released following a successful completion of the One Year Post-Establishment Inspection, and the inspection report confirms that the planting and irrigation components are thriving and in good working order consistent with the approved landscaping plans.

TRANS DEPARTMENT

80.TRANS. 4 USE - R-O-W DEDICATION 1 RECOMMND

Sufficient public street right-of-way along Millard Pass Road up to the northerly project boundary shall be conveyed for public use to provide for a 60-foot half-width

PLAN:TRANSMITTED Case #: PP23635

Parcel: 519-110-037

80. PRIOR TO BLDG PRMT ISSUANCE

80.TRANS. 4 USE - R-O-W DEDICATION 1 (cont.) RECOMMND  
right-of-way.

80.TRANS. 6 USE - STREETLIGHTS - L&LMD RECOMMND

The project proponent shall submit to the Transportation Department L&LMD No. 89-1-C Administrator the following:

1. Completed Transportation Department application
2. (2) Sets of street lighting plans approved by Transportation Department.
3. Appropriate fees for annexation.
4. "Streetlight Authorization" form from SCE, IID or other electric provider.

80.TRANS. 15 USE - STREETLIGHT PLAN 1 RECOMMND

A separate street light plan is required for this project.

Street lighting shall be designed in accordance with County Ordinance 460 and Streetlight Specification Chart found in Specification Section 22 of Ordinance 461. For projects within SCE boundaries use County of Riverside Ordinance 461, Standard No's 1000 or 1001. For projects within Imperial Irrigation District (IID) use IID's pole standard.

80.TRANS. 16 USE - LANDSCAPING COMM/IND RECOMMND

Landscaping within public road right-of-way shall comply with Transportation Department standards and Ordinance 461 and shall require approval by the Transportation Department.

Landscaping plans shall be designed within Millard Pass Road and Seminole Drive and submitted to the Transportation Department. Landscaping plans shall be submitted on standard County Plan sheet format (24" X 36"). Landscaping plans shall be submitted with the street improvement plans.

Assurance of continuous maintenance is required by processing and filing a 'Landscape Maintenance Agreement' through the Transportation Department Plan Check Division; or if desired the developer may file an application for annexation into Landscaping and Lighting Maintenance

PLAN: TRANSMITTED Case #: PP23635

Parcel: 519-110-037

80. PRIOR TO BLDG PRMT ISSUANCE

80.TRANS. 16 USE - LANDSCAPING COMM/IND (cont.) RECOMMND

District No. 89-1-Consolidated by contacting Judy Watterlond, Transportation Department at (951) 955-6829.

80.TRANS. 20 USE - TRAFFIC SIGNALS 2 RECOMMND

The project proponent shall comply in accordance with traffic signal requirements within public road rights-of-way, s directed by the Transportation Department. Assurance of traffic signal maintenance is required by filing an application for annexation to Landscaping and Lighting Maintenance District No. 89-1-Consolidated for the required traffic signal(s).

80.TRANS. 21 USE - ANNEX L&LMD/OTHER DIST RECOMMND

Prior to the issuance of a building permit, the project proponent shall comply with County requirements within public road rights-of-way, in accordance with Ordinance 461. Assurance of maintenance is required by filing an application for annexation to Landscaping and Lighting Maintenance District No. 89-1-Consolidated by contacting the Transportation Department at (951)955-6767, and/or any other maintenance district approved by the Transportation Department or by processing and filing a 'Landscape Maintenance Agreement' through the Transportation Department Plan Check Division. Said annexation should include the following:

- (1) Landscaping along Seminole Drive and Millard Pass.
- (2) Streetlights on Seminole Drive and Millard Pass.
- (3) Traffic signals located at Seminole Drive and project east access, Entry Drive and Millard Pass.
- (4) Graffiti abatement of walls and other permanent structure along Seminole Drive and Millard Pass.

For street lighting, the project proponent shall contact the Transportation Department L&LMD 89-1-C Administrator and submit the following:

- (1) Completed Transportation Department application.
- (2) Appropriate fees for annexation.



PLAN: TRANSMITTED Case #: PP23635

Parcel: 519-110-037

80. PRIOR TO BLDG PRMT ISSUANCE

80.TRANS. 21 USE - ANNEX L&LMD/OTHER DIST (cont.) RECOMMND

(3) (2) sets of street lighting plans approved by  
Transportation Department.

(4) "Streetlight Authorization" form from SCE, IID or  
other electric provider.

80.TRANS. 22 USE - TS/DESIGN RECOMMND

The project proponent shall be responsible for the design  
of traffic signal(s) at the intersections of:

Signals not eligible for fee credit:

Entry Drive (NS) at Seminole Drive (EW)

Millard Pass (NS) at Seminole Drive (EW)

or as approved by the Transportation Department.

For improvements eligible for fee credit, the project  
proponent shall contact the Transportation Department and  
enter into an agreement for signal mitigation fee credit or  
reimbursement prior to start of construction of the signal.

All work shall be pre-approved by and shall comply with  
the requirements of the Transportation Department and the  
public contract code in order to be eligible for fee credit  
or reimbursement.

80.TRANS. 23 USE - TS/GEOMETRICS RECOMMND

The intersection of Fields Road/I-10 Westbound Ramps (NS)  
at Seminole Drive (EW) shall be improved to provide the  
following geometrics:

Northbound: one shared left-turn/through lane, one free  
right-turn lane

Southbound: one shared left-turn/through/right-turn lane

Eastbound: one shared left-turn/through/right-turn lane

Westbound: one shared left-turn/through lane, one  
right-turn lane

NOTE: The project proponent shall provide an effective  
channelization to enforce the northbound free  
right-turn movement.

The intersection of Johnson Lane (NS) at I-10 Eastbound  
Ramps (EW) shall be improved to provide the following  
geometrics:

PLAN: TRANSMITTED Case #: PP23635

Parcel: 519-110-037

80. PRIOR TO BLDG PRMT ISSUANCE

80.TRANS. 23 USE - TS/GEOMETRICS (cont.)

RECOMMND

Northbound: one shared left-turn/through/right-turn lane  
Southbound: one left-turn, one through lane  
Eastbound: one left-turn lane, one shared  
left-turn/through lane  
Westbound: N/A

The intersection of Entry Drive (NS) at Seminole Drive (EW) shall be signalized and improved to provide the following geometrics:

Northbound: N/A  
Southbound: one left-turn lane, one right-turn lane  
Eastbound: one left-turn lane, two through lanes  
Westbound: two through lanes

The intersection of Project Main Access (NS) at Seminole Drive (EW) shall be signalized and improved to provide the following geometrics:

Northbound: N/A  
Southbound: one left-turn lane, one right-turn lane  
Eastbound: one left-turn lane, two through lanes  
Westbound: two through lanes  
NOTE: Access is provided to delivery and emergency vehicles only. Public vehicular access shall be restricted. The project proponent shall install an appropriate access gate to enforce this condition.

The intersection of Millard Pass (NS) at Project Northern Access (EW) shall be signalized and improved to provide the following geometrics:

Northbound: one shared left-turn/through lane, one right-turn lane  
Southbound: one shared left-turn/through lane, one right-turn lane  
Eastbound: one shared left-turn/through/right-turn lane  
Westbound: one shared left-turn/through/right-turn lane

The intersection of Millard Pass (NS) at Project Central Access (EW) shall be signalized and improved to provide the following geometrics:

Northbound: one through lane, one right-turn lane  
Southbound: one shared left-turn/through lane, one

PLAN: TRANSMITTED Case #: PP23635

Parcel: 519-110-037

80. PRIOR TO BLDG PRMT ISSUANCE

80.TRANS. 23 USE - TS/GEOMETRICS (cont.) (cont.)

RECOMMND

through lane  
Eastbound: one shared left-turn/through/right-turn lane  
Westbound: one shared left-turn/through/right-turn lane

The intersection of Millard Pass (NS) at Project Southern Access (EW) shall be signalized and improved to provide the following geometrics:

Northbound: one left-turn lane, two through lanes  
Southbound: two through lanes  
Eastbound: one shared left-turn/through/right-turn lane  
Westbound: one shared left-turn/through/right-turn lane

The intersection of Millard Pass (NS) at Seminole Drive (EW) shall be signalized and improved to provide the following geometrics:

Northbound: N/A  
Southbound: one left-turn lane, one right-turn lane  
Eastbound: one left-turn lane, two through lanes  
Westbound: two through lanes, one right-turn lane

or as approved by the Transportation Department.

All improvements listed are requirements for interim conditions only. Full right-of-way and roadway half sections adjacent to the property for the ultimate roadway cross-section per the County's Road Improvement Standards and Specifications must be provided.

Any off-site widening required to provide these geometrics shall be the responsibility of the landowner/developer.

80.TRANS. 24 USE-ENCROACHMNT PERMIT/SEWER L

RECOMMND

Prior to the issuance of a building permit, the project proponent shall comply with County requirements for proposed sewer line within public road rights-of-way, in accordance with Ordinance No. 499. Assurance of lifetime membership with underground service alert shall be submitted to Transportation Department for review and approval.

PLAN:TRANSMITTED Case #: PP23635

Parcel: 519-110-037

80. PRIOR TO BLDG PRMT ISSUANCE

80.TRANS. 25 USE - TS/PEDESTRIAN CROSSING RECOMMND

The vehicular traffic on Millard Pass will increase due the access locations of the project parking structure. This additional traffic on Millard Pass will increase the pedestrian-vehicular conflicts rate at the existing pedestrian crosswalk. To improve safety, the project proponent shall improve the pedestrian crosswalk with pedestrian signal heads and coordinate these with the signal located at Millard Pass (NS) and Seminole Drive (EW)

or as approved by the Transportation Department.

80.TRANS. 26 USE - ON-STREET DELIVERY PARK RECOMMND

On-street parking for delivery vehicles will allowed on the north side of Seminole Drive during weekdays only.

90. PRIOR TO BLDG FINAL INSPECTION

BS GRADE DEPARTMENT

90.BS GRADE. 1 USE - WQMP BMP INSPECTION RECOMMND

Prior to final building inspection, the applicant shall obtain inspection of all treatment control BMPs and/or clearance from the Building and Safety Department. All structural BMPs described in the project - specific WQMP and indicated on the approved grading plan shall be constructed and installed in conformance with the approved plans and specifications. The Building and Safety Department must inspect and approve the completed WQMP treatment control BMPs for your project before a building final can be obtained.

90.BS GRADE. 2 USE - WQMP BMP CERT REQ'D RECOMMND

Prior to final building inspection, the applicant/owner shall submit a "Wet Signed" copy of the Water Quality Management Plan (WQMP) Certification from a Registered Civil Engineer certifying that the project - specific WQMP treatment control BMPs have been installed in accordance with the approved WQMP.

90.BS GRADE. 3 USE - BMP GPS COORDINATES RECOMMND

Prior to final building inspection, the applicant/owner shall provide the Department of Building Safety with GPS

PLAN: TRANSMITTED Case #: PP23635

Parcel: 519-110-037

90. PRIOR TO BLDG FINAL INSPECTION

90.BS GRADE. 3 USE - BMP GPS COORDINATES (cont.) RECOMMND

coordinates for the location of the project - specific WQMP treatment control BMPs.

90.BS GRADE. 4 USE - BMP REGISTRATION RECOMMND

Prior to final building inspection, the applicant/owner shall register the project - specific WQMP treatment control BMPs with the Department of Building Safety Business Registration Division. Any person or entity that owns or operates a commercial and/or industrial facility shall register such facility for annual inspections.

90.BS GRADE. 5 USE - REQ'D GRADING INSP'S RECOMMND

The developer / applicant shall be responsible for obtaining the following inspections required by Ordinance 457.

1. Sub-grade inspection prior to base placement.

2. Base inspection prior to paving.

3. Precise grade inspection of entire permit area.

a. Inspection of Final Paving

b. Precise Grade Inspection

c. Inspection of completed onsite storm drain facilities

d. Inspection of the WQMP treatment control BMPs

90.BS GRADE. 6 USE - PRECISE GRDG APPROVAL RECOMMND

Prior to final building inspection, the applicant shall obtain precise grade approval and/or clearance from the Building and Safety Department. The Building and Safety Department must approve the precise grading of your project before a building final can be obtained. Precise Grade approval can be accomplished by complying with the following:

1. Requesting and obtaining approval of all required grading inspections.

2. Submitting a "Wet Signed" copy of the Soils Compaction Report from the Soils Engineer (registered geologist or certified geologist, civil engineer or geotechnical engineer as appropriate) for the sub-grade and base of all

PERMIT PLAN: TRANSMITTED Case #: PP23635

Parcel: 519-110-037

90. PRIOR TO BLDG FINAL INSPECTION

90.BS GRADE. 6 USE - PRECISE GRDG APPROVAL (cont.)

RECOMMND

paved areas.

3. Submitting a "Wet Signed" copy of the Sub-grade (rough) Certification from a Registered Civil Engineer certifying that the sub-grade was completed in conformance with the approved grading plan.

4. Submitting a "Wet Signed" copy of the Precise (Final) Grade Certification for the entire site from a Registered Civil Engineer certifying that the precise grading was completed in conformance with the approved grading plan.

5. Submitting a "Wet Signed" copy of the Certification certifying the installation of any onsite storm drain systems not inspected by Riverside County Flood Control District or the Riverside County Transportation Department.

6. Submitting a "Wet Signed" copy of the Water Quality Management Plan (WQMP) Certification from a Registered Civil Engineer certifying that the Water Quality Management Plan treatment control BMPs have been installed in accordance with the approved WQMP.

Prior to release for building final, the applicant shall have met all precise grade requirements to obtain Building and Safety Department clearance.

E HEALTH DEPARTMENT

90.E HEALTH. 1 REMOVE/ABANDON EXISTING SEPTIC

RECOMMND

All existing septic systems and grease interceptors shall be properly removed/abandoned under permit from the Department of Environmental Health prior to building final.

90.E HEALTH. 2 USE-INACTIVATE WATER SYSTEM

RECOMMND

Contact the Department of Environmental Health, Water Resources staff in the Indio office to inactivate the existing transient non-community water system after connection to Cabazon Water has been completed. For further information, please contact (760) 863-7570.

PLAN: TRANSMITTED Case #: PP23635

Parcel: 519-110-037

90. PRIOR TO BLDG FINAL INSPECTION

FIRE DEPARTMENT

90.FIRE. 1 USE-#45-FIRE LANES RECOMMND

The applicant shall prepare and submit to the Fire Department for approval, a site plan designating required fire lanes with appropriate lane painting and/or signs.

90.FIRE. 2 USE-#83-AUTO/MAN FIRE ALARM RECOMMND

Applicant or developer shall be responsible to install a manual and automatic Fire Alarm System. Plans must be submitted to the Fire Department for approval prior to installation.

90.FIRE. 3 USE-#27-EXTINGUISHERS RECOMMND

Install portable fire extinguishers with a minimum rating of 2A-10BC and signage. Fire Extinguishers located in public areas shall be in recessed cabinets mounted 48" (inches) to center above floor level with maximum 4" projection from the wall. Contact Fire Department for proper placement of equipment prior to installation.

90.FIRE. 4 USE-#36-HOOD DUCTS RECOMMND

A U.L. 300 hood duct fire extinguishing system must be installed over the cooking equipment. Wet chemical extinguishing system must provide automatic shutdown of all electrical componets and outlets under the hood upon activation. System must be installed by a licensed C-16 contractor. Plans must be submitted with current fee to the Fire Department for review and approval prior to installation.

NOTE: A dedicated alarm system is not required to be installed for the exclusive purpose of monitoring this suppression system. However, a new or pre-existing alarm system must be connected to the extinguishing system. (\* separate fire alarm plans must be submitted for connection)

90.FIRE. 5 USE-#12A-SPRINKLER SYSTEM RECOMMND

Install a complete fire sprinkler system per NFPA 13 1999 edition in all buildings requiring a fire flow of 1500 GPM or greater. Sprinkler system(s) with pipe sizes in excess of 4" in diamter will require the project structural engineer to certify (wet signature) the stability of the

PLAN: TRANSMITTED Case #: PP23635

Parcel: 519-110-037

90. PRIOR TO BLDG FINAL INSPECTION

90.FIRE. 5 USE-#12A-SPRINKLER SYSTEM (cont.)

RECOMMND

building system for seismic and gravity loads to support the sprinkler system. All fire sprinkler risers shall be protected from any physical damage. The post indicator valve and fire department connection shall be located to the front, within 50 feet of a hydrant, and a minimum of 25 feet from the building(s). A statement that the building(s) will be automatically fire sprinkled must be included on the title page of the building plans.

Applicant or developer shall be responsible to install a U.L. Central Station Monitored Fire Alarm System. Monitoring system shall monitor the fire sprinkler system(s) water flow, P.I.V.'s and all control valves. Plans must be submitted to the Fire Department for approval prior to installation. Contact fire department for guideline handout.

90.FIRE. 6 FINAL INSPECTION

RECOMMND

Prior to occupancy a Fire Department inspection is required to verify all conditions stated at plan check are met.

Riverside office (951)955-4777  
Murrieta office (951)600-6160  
Indio Office (760)863-8886

FLOOD RI DEPARTMENT

90.FLOOD RI. 2 USE BMP - EDUCATION

RECOMMND

The developer shall distribute environmental awareness education materials on general good housekeeping practices that contribute to protection of stormwater quality to all initial users. The developer may obtain NPDES Public Educational Program materials from the District's NPDES Section by either the District's website [www.rcflood.org](http://www.rcflood.org), e-mail [fcnpdes@rcflood.org](mailto:fcnpdes@rcflood.org), or the toll free number 1-800-506-2555. Please provide Project number, number of units and location of development. Note that there is a five-day minimum processing period requested for all orders.

The developer must provide to the District's PLAN CHECK Department a notarized affidavit stating that the distribution of educational materials to the tenants is assured prior to the issuance of occupancy permits.



PLAN: TRANSMITTED Case #: PP23635

Parcel: 519-110-037

90. PRIOR TO BLDG FINAL INSPECTION

90.FLOOD RI. 3 USE IMPLEMENT WQMP

RECOMMND

All structural BMPs described in the project-specific WQMP shall be constructed and installed in conformance with approved plans and specifications. It shall be demonstrated that the applicant is prepared to implement all non-structural BMPs described in the approved project specific WQMP and that copies of the approved project-specific WQMP are available for the future owners/occupants. The District will not release occupancy permits for any portion of the project exceeding 80% of the project area prior to the completion of these tasks.

90.FLOOD RI. 5 USE BMP MAINTENANCE & INSPECT

RECOMMND

The BMP maintenance plan shall contain provisions for all treatment controlled BMPs to be inspected, and if required, cleaned no later than October 15 each year. Required documentation shall identify the entity that will inspect and maintain all structural BMPs within the project boundaries. A copy of all necessary documentation shall be submitted to the District for review and approval prior to the issuance of occupancy permits.

90.FLOOD RI. 6 USE AS-BUILT BMP CERT

RECOMMND

All structural BMPs described in the project-specific WQMP shall be constructed and installed in conformance with approved plans and specifications. As-built plans certified by a registered Civil Engineer shall be submitted.

PLANNING DEPARTMENT

90.PLANNING. 1 USE - LC LNDS CP INSPCT DEPOSIT

RECOMMND

Prior to building permit final inspection, the developer/permit holder shall file an Inspection Request Form and deposit sufficient funds to cover the costs of Installation, Six Month Establishment, and One Year Post-Establishment inspections. In the event that an open landscape case is not available, then the applicant shall open a FEE ONLY case to conduct inspections. The deposit required for landscape inspections shall be determined by the Riverside County Landscape Division. The Planning Department shall clear this condition upon determination of compliance.

PERMIT PLAN: TRANSMITTED Case #: PP23635

Parcel: 519-110-037

90. PRIOR TO BLDG FINAL INSPECTION

90.PLANNING. 2 USE - LC LANDSCP INSPCTN RQMNTS

RECOMMND

The permit holder's landscape architect responsible for preparing the Landscaping and Irrigation Plans (or on-site representative) shall arrange for a PRE-INSTALLATION INSPECTION with the Planning Department at least five (5) working days prior to the installation of any landscape or irrigation components.

Upon successful completion of the PRE-INSTALLATION INSPECTION, the applicant will proceed with the installation of the approved landscape and irrigation system and arrange for an INSTALLATION INSPECTION at least five 5 working days prior to the building final inspection or issuance of occupancy permit, whichever occurs first and comply with the Planning Department's Milestone 80 conditions entitled "USE-LANDSCAPING SECURITY" and the Milestone 90 condition entitled "LANDSCAPE INSPECTION DEPOSIT." Upon successful completion of the INSTALLATION INSPECTION, the County Planning Department's Landscape Inspector and the permit holder's landscape architect (or on-site representative) shall execute a Landscape Certificate of Completion that shall be submitted to the Planning Department and the Department of Building and Safety. The Planning Department shall clear this condition upon determination of compliance.

90.PLANNING. 3 USE - LC COMPLY W/ LANDSCP/ IRR

RECOMMND

The developer/permit holder shall coordinate with their designated landscape representative and the Riverside County Planning Department's landscape inspector to ensure all landscape planting and irrigation systems have been installed in accordance with APPROVED EXHIBITS, landscaping, irrigation, and shading plans. The Planning Department will ensure that all landscaping is healthy, free of weeds, disease and pests; and, irrigation systems are properly constructed and determined to be in good working order. The developer/permit holder's designated landscape representative and the Riverside County Planning Department's landscape inspector shall determine compliance with this condition and execute a Landscape Certificate of Completion. Upon determination of compliance, the Planning Department shall clear this condition.

02/06/12  
11:03

Riverside County LMS  
CONDITIONS OF APPROVAL

Page: 46

PLAN:TRANSMITTED Case #: PP23635

Parcel: 519-110-037

90. PRIOR TO BLDG FINAL INSPECTION

90.PLANNING. 4 USE - AGENCY CLEARANCE

RECOMMND

A clearance letter from Industrial Hygiene shall be provided to the Riverside County Planning Department verifying compliance with the conditions of their letter dated September 28, 2011.

TRANS DEPARTMENT

90.TRANS. 1 USE - IMP PLANS

RECOMMND

Improvement plans for the required improvements must be prepared and shall be based upon a design profile extending a minimum of 300 feet beyond the project boundaries at a grade and alignment as approved by the Riverside County Transportation Department. Completion of road improvements does not imply acceptance for maintenance by County.

90.TRANS. 5 USE - SIGNING & STRIPING

RECOMMND

A signing and striping plan is required for this project. The project proponent shall be responsible for any additional paving and/or striping removal caused by the striping plan. Traffic signing and striping shall be performed by County forces with all incurred costs borne by the applicant, unless otherwise approved by the County Traffic Engineer.

90.TRANS. 7 USE - WRCOG TUMF

RECOMMND

Prior to the issuance of an occupancy permit, the project proponent shall pay the Transportation Uniform Mitigation Fee (TUMF) in accordance with the fee schedule in effect at the time of issuance, pursuant to Ordinance No. 824.

90.TRANS. 8 USE STREETLIGHT AUTHORIZATION

RECOMMND

Prior to OCCUPANCY, the project proponent shall submit to Transportation Department Permits the following:

1. "Streetlight Authorization" form approved by L&LMD No. 89-1-C Administrator.
2. Letter establishing interim energy account from SCE, IID or other electric provider.

PLAN: TRANSMITTED Case #: PP23635

Parcel: 519-110-037

90. PRIOR TO BLDG FINAL INSPECTION

90.TRANS. 9 USE - STREETLIGHTS INSTALL

RECOMMND

Install streetlights along the streets associated with development in accordance with the approved street lighting plan and standards of County Ordinances 460 and 461. For projects within IID use IID's pole standard.

Streetlight annexation into L&LMD or similar mechanism as approved by the Transportation Department shall be completed.

It shall be the responsibility of the developer to ensure that streetlights are energized along the streets associated with this development where the developer is seeking Building Final Inspection (Occupancy).

90.TRANS. 10 USE - EXISTING CURB & GUTTER

RECOMMND

On existing curb and gutter, new driveways, closure of existing driveways, sidewalks and/or drainage devices within County right-of-way, including sewer and water laterals on Millard Pass Road and Seminole Drive shall be constructed within the dedicated right-of-way in accordance with County Standards, Ordinance 461, or as approved by the Transportation Department. Such construction shall be shown on existing street improvement plans and approved and permitted by the Transportation Department.

90.TRANS. 11 USE - UTILITY PLAN

RECOMMND

Electrical power, telephone, communication, street lighting, and cable television lines shall be designed to be placed underground in accordance with ordinance 460 and 461, or as approved by the Transportation Department. The applicant is responsible for coordinating the work with the serving utility company. This also applies to existing overhead lines which are 33.6 kilovolts or below along the project frontage and between the nearest poles offsite in each direction of the project site. A disposition note describing the above shall be reflected on design improvement plans whenever those plans are required. A written proof for initiating the design and/or application of the relocation issued by the utility company shall be submitted to the Transportation Department for verification purposes.

PLAN: TRANSMITTED Case #: PP23635

Parcel: 519-110-037

90. PRIOR TO BLDG FINAL INSPECTION

90.TRANS. 12                      USE - UTILITY INSTALL                      RECOMMND

lectrical power, telephone, communication, street lighting, and cable television lines shall be placed underground in accordance with ordinance 460 and 461, or as approved by the Transportation Department. This also applies to existing overhead lines which are 33.6 kilovolts or below along the project frontage and between the nearest poles offsite in each direction of the project site.

A certificate should be obtained from the pertinent utility company and submitted to the Department of Transportation as proof of completion.

90.TRANS. 13                      USE - LANDSCAPING COMM/IND                      RECOMMND

Landscaping within public road right-of-way shall comply with Transportation Department standards and Ordinance 461 and shall require approval by the Transportation Department. Landscaping shall be improved within Millard Pass Road and Seminole Drive.

Assurance of continuous maintenance is required by processing and filing a 'Landscape Maintenance Agreement' through the Transportation Department Plan Check Division; or if desired the developer may file an application for annexation into Landscaping and Lighting Maintenance District No. 89-1-Consolidated by contacting Judy Watterlund, Transportation Department at (951) 955-6829.

90.TRANS. 19                      USE - TRAFFIC SIGNAL 2                      RECOMMND

Prior to issuance of an occupancy permit the project proponent shall complete annexation to Landscaping and Lighting Maintenance District No. 89-1-Consolidated for maintenance of traffic signals within public road rights-of-way for the required traffic signal(s).

90.TRANS. 20                      USE - CALTRANS 1                      RECOMMND

The project proponent shall comply with the Caltrans recommendations as outlined in their letter dated

90.TRANS. 22                      USE - IMPROVEMENTS                      RECOMMND

Millard Pass Road along project boundary is a paved County maintained road and shall be improved with 8-inch concrete

PLAN: TRANSMITTED Case #: PP23635

Parcel: 519-110-037

90. PRIOR TO BLDG FINAL INSPECTION

90.TRANS. 22 USE - IMPROVEMENTS (cont.) RECOMMND

curb and gutter located 38-feet from centerline (construction centerline) to flowline, and match up asphalt concrete paving including AC paving for the taper on the northerly project boundary as determined by the Transportation Department within the 60-foot half-width dedicated right-of-way in accordance with County Standard No. 93, pages 1 & 2. Modified (76'/100') Improvements shall meet the cross section "B-B" of exhibit shown on Plot Plan No. 23635 as approved by the Transportation Department.

A 6-foot wide concrete sidewalk shall be constructed curb adjacent within the 12-foot wide parkway.

90.TRANS. 23 USE - DRIVEWAYS RECOMMND

The driveway(s) shall be designed and constructed in accordance with County Standard No. 207A pages 1 & 2, and shall be located in accordance with Exhibit No. "A" for Plot Plan No. 23635.

90.TRANS. 24 USE - ANNEX L&LMD/OTHER DIST RECOMMND

Prior to issuance of an occupancy permit, the project proponent shall complete annexation to Landscaping and Lighting Maintenance District No. 89-1-Consolidated, and/or any other maintenance district approved by the Transportation Department for continuous maintenance within public road rights-of-way, in accordance with Ordinance 461. Said annexation should include the following:

- (1) Landscaping along Seminole Drive and Millard Pass.
- (2) Street lights on Seminole Drive and Millard Pass.
- (3) Traffic signals located at Seminole Drive and project east access, Entry Drive and Millard Pass.
- (4) Graffiti abatement of walls and other permanent structures along Seminole Drive and Millard Pass.

90.TRANS. 25 USE - TS/INSTALLATION RECOMMND

The project proponent shall be responsible for the design and construction of traffic signal(s) at the intersections of:

PLAN: TRANSMITTED Case #: PP23635

Parcel: 519-110-037

90. PRIOR TO BLDG FINAL INSPECTION

90.TRANS. 25 USE - TS/INSTALLATION (cont.)

RECOMMND

Signals not eligible for fee credit:

Entry Drive (NS) at Seminole Drive (EW)

Millard Pass (NS) at Seminole Drive (EW)

or as approved by the Transportation Department.

For improvements eligible for fee credit, the project proponent shall contact the Transportation Department and enter into an agreement for signal mitigation fee credit or reimbursement prior to start of construction of the signal.

All work shall be pre-approved by and shall comply with the requirements of the Transportation Department and the public contract code in order to be eligible for fee credit or reimbursement.

90.TRANS. 26 USE - TS/INTERCONNECT

RECOMMND

The project proponent shall be required to provide traffic signal interconnect between the traffic signal at Entry Drive (NS) at Seminole Drive (EW) to the signal at Project Main Access (NS) and Seminole Drive (EW) to the signal at Millard Pass (NS) and Seminole Drive (EW). The traffic signals at the three intersections shall be interconnected by the project proponent.

The project proponent shall be required to provide traffic signal interconnect between the traffic signal at Millard Pass (NS) and Seminole Drive (EW) and the pedestrian signal heads at the existing pedestrian crosswalk to the north on Millard Pass. The signal devices at the shall be interconnected and coordinated by the project proponent.

or as approved by the Transportation Department.

90.TRANS. 27 USE - VIDEO MONITORING

RECOMMND

Prior to the issuance of occupancy permits for 75% of the project building square footage, the project shall begin video monitoring of the northbound approach to the roundabout located at the I-10 eastbound off ramp and Apache Trail. Video monitoring will be conducted on weekends for a period of one year. Data shall be provided to the Traffic Engineering and Design section of the Transportation Department.

or as approved by the Transportation Department.

# Fast Track Authorization



RIVERSIDE COUNTY  
Economic Development Agency

Case No.: \_\_\_\_\_

FTA No. 2007-29

SUPERVISOR: Marion Ashley

SUPERVISORIAL DISTRICT: 5

Company/Developer: Chelsea Property Group, Inc Contact: Brad Stipe

Address: 27762 Vista Del Lago, Suite A-11, Mission Viejo, CA 92692

Phone: (949) 461-7195 Fax: (949) 461-5808 Email: bstipe@cpgi.com

Architectural Firm: Architects Orange Contact: Darrel Hebenstreit

Address: 144 North Orange Street, CA 92866

Phone: (714) 639-9860 Fax: (714) 639-5286 Email: darrelh@architectsorange.com

Engineering Firm: KCT Consultants Contact: Don J. Edison

Address: 4344 Latham Street, Riverside, CA 92501

Phone: (951) 341-8940 Fax: (951) 341-8945 Email: don@kctconsultants.com

Land Use Application(s):  General Plan Amendment  Conditional Use Permit  Change of Zone

Plot Plan  Parcel Map  Other \_\_\_\_\_

### Site Information:

Assessor's Parcel Number(s) 519-110-037

Cross Streets/Address 48800 Seminole Drive, Cabazon, CA 92230 Land Use Designation CR

Zoning C-P-S Site Acreage 39.46

Redevelopment Project Area/Sub-Area: Cabazon Sub-Area

### Project Information (Estimate Amounts):

Eligibility Criteria  Full Time Jobs  Capital Investment  Annual Taxable Sales  Board of Supervisors  Child Care  
 Workforce Housing  Other \_\_\_\_\_

Permanent Full-Time Jobs 400 Wages per Hour \$10-20 Construction Jobs 180

Capital Investment \$30,000,000 Taxable Sales \$33,500,000 Bldg Size 175,000

Project Type  Commercial  Industrial  Office  Residential  Other \_\_\_\_\_

Industrial Classification N/A Commercial Classification Outlet Center

### Project Description:

The expansion will add an additional 175,000 SF of retail space to the existing Desert Hills Premium Outlets.

The Economic Development Agency (EDA) hereby acknowledges that the above referenced development warrants special consideration relative to the permit processing as required by the County of Riverside, and encourages the affected County agencies to immediately institute "FAST TRACK" procedures to enable the project to proceed as soon as possible, in accordance with Board Fast Track Policy A-32. \*This Authorization contains preliminary project information and serves as a basis for determining "FAST TRACK" eligibility. During the county's development review process, the proposed project size and configuration may be

Robin Zimper  
Robin Zimper, Assistant County Executive Director/EDA

10/2/07  
Date



PP23635 (FTA NO. 2007-29)		8/13/08	8/13/08
<b>TRANSMITTAL DISTRIBUTION:</b>			
<b>COUNTY AGENCIES</b>			
Building & Safety : Code Enforcement	✓		
Building & Safety : Grading	✓		
Building & Safety : Plan Check	✓		
Fire Protection	✓		
Flood Control : (CVWD) or <b>(RIVCO)</b>	✓		
Environmental Health (2)	✓		
Surveyor	✓		
Transportation (2)	✓		
Regional Park & Open-Space District	✓		
<b>ADDITIONAL AGENCIES:</b>			
Water Company : Cabazon Water District		✓	
Power Company : So. Calif. Edison		✓	
Gas Company : <b>(Local Chatsworth)</b> Both	—	✓	
Telephone Company : Verizon		✓	
CALTRANS #8 Yes		✓	
<del>Transportation - Flood Review (2)</del> @ G. Sheriff		✓	
City Sphere : Banning		✓	
School District : Banning Unified		✓	
GIS - DRAFTING (HEARING CASES): LINDA PHERIGO 1) GIS Cover Page 2) Transmittal 3) Copy of Application 4) Exhibit A <b>(YES or NO)</b>		✓	
Commissioner : (Porras - <b>Zuppardo</b> - Petty)		✓	
Board of Supervisors : (Wilson - Stone - <b>Ashley</b> )		✓	
<del>Supervisor - Wilson - Cover Page</del> City of Palm Springs		✓	
<del>Property Owners Association</del> CA Highway Patrol		✓	
<b>OTHERS:</b> RIV.CO. Geologist ✓			
RIV.CO. Archaeologist ✓			
RIV.CO. E.D.A. Liza Larraga ✓			
Co. Trails Coordinator - J. Jolliffe ✓			
Morongo Indian Tribe ✓			
Co. Office of Industrial Hygiene ✓			
Co. Waste Management + Dept. ✓			
Co. Landscape Review Program ✓			
Co. EDA - Redevelopment Agency ✓			

LMS  
Route

Bj:JU Bj:JU



Dedicated to delivering state-of-the-art occupational and environmental consultation to businesses, governmental agencies and communities of Riverside County

**Date:** September 28, 2011  
**To:** Wendell Bugtai  
Riverside County Planning Department  
4080 Lemon Street, 12<sup>th</sup> Floor  
Riverside, California 92502  
Fax: (951) 955-3157

**From:** Steven D. Hinde, REHS, CIH<sup>SA</sup>  
Senior Industrial Hygienist  
Department of Public Health  
Office of Industrial Hygiene  
P.O. BOX 7600  
Riverside, California 92513-7600  
Phone: (951) 358-5096



**Report Written by:** Steven D. Hinde, REHS, CIH  
Senior Industrial Hygienist

**Project Reviewed:** Plot Plan No. 23635, Amended No. 2 (Fast Tract No. 2007-29)

**Reference Number:** 96879

**Applicant:** Brad Stripe  
CHELSEAS PROPERTY GROUP, INC  
27762 Vista Del Lago, Ste. A-11  
Mission Viejo, CA 92692

**Noise Consultant:** Hans D. Giroux, Senior Analyst  
GIROUX & ASSOCIATES  
1820 E. Garry Street  
Santa Ana, CA 92705

**Review Stage:** First Review

**Information Provided:**

“Noise Impact Analysis Desert, Hills Premium Outlet Expansion, Riverside County, California” Project No.: P11-030 N dated August 17, 2011.”

## **Noise Standards:**

### **For Stationary Noise Sources:**

#### **A. Standards:**

Facility-related noise, as projected to any portion of any surrounding property containing a "habitable dwelling, hospital, school, library or nursing home", must not exceed the following worst-case noise levels:

- a) 45 dB (A) – 10 minute noise equivalent level ("leq"), between the hours of 10:00 p.m. to 7:00 a.m. (nighttime standard).
- b) 65 dB (A) – 10 minute leq, between 7:00 a.m. and 10:00 p.m. (daytime standard).

#### **B. Requirement for Determination of Community Noise Impact:**

- a) Noise originating from operations within the facility grounds shall be treated as "stationary" noise sources for which this standard will apply.
- b) Noise Modeling Methodology: Noise predictions are to be made by an engineer, acoustical consultant or other similar professional with experience in predicting community noise exposure using standard methods and practices of the noise consulting industry.
- c) Required Modeling Parameters for Stationary Sources:
  - i. Stationary sources are to be modeled as "point" sources.
  - ii. Mobile point sources are to be modeled as emanating from the acoustical centroid of the activity, or at its closest approach to potentially impacted residential property lines, which ever yields the worst-case results.
  - iii. Noise modeling for each piece of acoustical equipment, process or activity must be based on Reference Noise Levels (RNL). RNL may be obtained directly from the manufacturer (in case of equipment) or generated from field studies. Regardless, the data must be representative of worst-case conditions. Directionality of the noise source must be taken into consideration if applicable.
  - iv. Predicted noise levels are to be expressed in terms of worst-case "equivalent continuous sound levels" [or, Leq] averaged over a ten minute period.

- v. For modeling purposes, receivers are assumed to be positioned at the property line boundary at an elevation of five feet off the ground.
- vi. Terrain conditions for modeling noise propagation: Assumptions regarding ground effects, atmospheric absorption and other forms of noise attenuation must be fully justified.

### **Findings:**

The consultant's report is adequate. Based on our calculations the recommendations listed below should provide sufficient attenuation to reduce the exterior noise levels to below 65 dB (A) during the day and 45 dB (A) at night. Project-related off-site traffic noise changes on existing streets are less than significant.

### **Recommendations:**

The following conditions shall be applied to the project based on the information provided by the acoustical consultant:

1. Facility-related noise, as projected to any portion of any surrounding property containing a "sensitive receiver, habitable dwelling, hospital, school, library or nursing home", must not exceed the following worst-case noise levels 45 dB(A) – 10 minute noise equivalent level ("leq"), between the hours of 10:00 p.m. to 7:00 a.m. (nighttime standard) and 65 dB (A) – 10 minute leq, between 7:00 a.m. and 10:00 p. m. (daytime standard).
2. Whenever a construction site is within one-quarter (1/4) of a mile of an occupied residence or residences, no construction activities shall be undertaken between the hours of 6:00 p.m. and 6:00 a.m. during the months of June through September and between the hours of 6:00 p.m. and 7:00 a.m. during the months of October through May. Exceptions to these standards shall be allowed only with the written consent of the building official.
3. All construction vehicles, equipment fixed or mobile shall be equipped with properly operating and maintained mufflers.
4. During construction, best efforts should be made to locate stockpiling and/or vehicle staging area as far as practicable from existing residential dwellings to the east of the site.

RECEIVED

SEP 18 2008



**Cabazon Station**

50290 Main Street, Cabazon, Ca 92230 (951) 922-7100

Riverside County  
Planning Department  
Desert Office

To: Ron Goldman, Planning Director Date: 9/15/08  
From: Captain Edward Harvey  
Ref: Staffing Projection for Desert Hills Premium Outlets Expansion

**SYNOPSIS OF STAFFING RECOMMENDATION**

Chelsea Property Group, Incorporated, has requested "fast track authorization" from the County of Riverside to add additional retail outlets and a four-level parking structure to the Desert Hills Premium Outlets located at 48650 Seminole, Cabazon. The request is to add approximately 202,000 square feet of retail businesses and an additional 1000 parking stalls to the existing mall. Although it is uncertain at this point as to what actual retail businesses will become part of this complex, initial plan review reflects the new businesses will be small to medium size retail specialty shops similar to those already in existence. Additional businesses may include food court type restaurants, however, there will be no theaters, large scale box buildings, or businesses with on-site alcohol consumption.

Desert Hills Premium Outlets has maintained continued growth since it was first opened in 1990. It continues to be a popular shopping destination and tourist attraction because of its shopping uniqueness and the malls proximity to Casino Morongo and the city of Palm Springs. Holiday weekends easily increase the Desert Hills Premium Outlets' population to 25,000+ shoppers per day. The proposed addition of 202,000 square feet of retail shops requires that the Riverside County Sheriff's Department review the proposal to insure that the Desert Hills Premium Outlets remains a safe retail environment. The additional retail services requires an increase in the presence of Sheriff's deputies.

**SUPPORTING DATA**

Cabazon Station Sergeant Baeckel met with Kathy Frederiksen, general manager of the Desert Hills Premium Outlets. Ms. Frederiksen said when the outlets opened in 1990, their one complex located at 48650 Seminole Road had approximately 200,000 square feet of small to medium retail businesses. In 1995, the outlets expanded by adding a second complex located next door at 48400 Seminole Road. This added an additional 175,000 square feet of small to medium retail businesses, for a total complex size of approximately 375,000 square feet of retail businesses.

As a result of the 1995 expansion of the Desert Hills Premium Outlets, a determination was made that the tax revenue generated by the mall supported additional Sheriff's Department infrastructure. The Sheriff's Cabazon Station received two additional deputy sheriff positions. This increase of sheriff's personnel and equipment assisted in off setting increased calls for service.

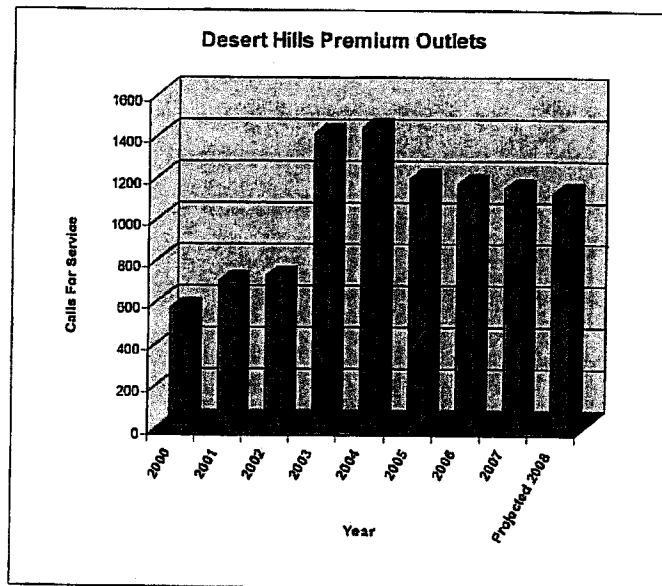
In 1997, 1998, and 2002, Desert Hills Premium Outlets again continued its expansion by adding additional retail shops. Today, there is approximately 500,000 square feet of retail businesses at the Desert Hills Premium Outlets. No additional law enforcement infrastructure was provided as a result of the expansion of the retail complex in these years.

Chelsea Property Group, Incorporated, intends to build an additional 188,853 square feet of gross leasable retail space with an approximate 202,083 square feet gross overall building area. This will increase the Desert Hills Premium Outlets' overall total gross building area to approximately 717,000 square feet. The Sheriff's Department anticipates additional demands upon existing resources.

The Sheriff's Criminal Analysis Unit researched available statistical call for service data for the Desert Hills Premium Outlets. Statistical data indicates a continuing trend of increased calls for service at the Desert Hills Premium Outlets. This data is reflected in the graph to the right.

Historical statistics are not available prior to 1999, making response comparisons difficult from the mall's inception in 1990.

In 2000, five years after Sheriff's Department staffing was supplemented with two additional deputies, calls for service data at the Desert Hills Premium Outlets reflected 573 file numbers generated. Subsequent years also reflect increased service demands cumulating with a total of 1151 file numbers generated during 2007.



Statistically the increase is significant as it related to providing baseline law enforcement services. Based on data to date, it is projected that the Desert Hills Premium Outlets will generate approximately 1126 calls for service in 2008, and this is prior to any retail building additions by the Chelsea Property Group.

## **RECOMMENDATIONS**

The addition of the 202,000 square feet of proposed additional retail businesses at the Desert Hills Premium Outlets combined with the addition of a four-level parking structure, the Riverside Sheriff's Department makes the following recommendation. In order to maintain the current level of service based on retail expansion and resulting site population growth, it will be necessary to increase the Sheriff's staffing levels.

It is the our recommendation that the "Fast Track" process for expansion of the Desert Hills Premium Outlet Mall to a total of 717,000 square feet be contingent on agreement of increased law enforcement staffing.

### **Minimum Projected Staffing Increase – 2.03 deputies**

The Sheriff's Department recommends providing on-site law enforcement services. This proposal is for additional deputies covering 10 hours per day, 362 days per year. At the 1780 productive hour ratio, the result is an addition of 2.03 deputies. The complex is closed on Thanksgiving, Christmas, and New Years holidays. Negotiations for store front offices and associated items should be included in the proposed staffing increase.



## FORMAL COMMENT LETTER

**TO:** Wendell Bugtai, Planning Department  
CC: Tim Miller, Charles Waltman, Rebecca Tsagris, Andy Frost, Jaime Hurtado, Steven Hernandez

**FROM:** **Office of Land Development Review**  
Brenda Freeman, Senior Development Specialist  
Nicole Walker, Development Specialist

**DATE:** January 11, 2012

**SUBJECT:** **COMPREHENSIVE PLANNING REVIEW**  
Comments

**Case:** PP23635 [Addition of 175,000 sq. ft. additional retail space – Simon Property Group Cabazon]

**Site Visit:** September 10, 2008/September 13, 2011

---

### PROJECT DESCRIPTION AND LOCATION:

Plot Plan 23635 proposes to construct an additional 175,000 sq. ft. of retail space to an existing commercial center in the community of Cabazon. The project site consists of 38.48 acres located at the northwestern corner of Millard Pass and Seminole Drive. Currently, there are multiple structures and a parking lot on the project site. The zoning classification for the project site is Scenic Highway Commercial (C-P-S) and the land use designation is Commercial Retail (CD: CR). Surrounding land uses include vacant land to the north, a commercial center to the west, and a commercial center and single-family residences to the east. Concurrent planning case(s) include Fast Track No. 2007-29.

### REDEVELOPMENT PROJECT AREA(S):

The proposed project is located in the Mid-County Project Area (MCPA: Cabazon sub-area).

### REDEVELOPMENT AGENCY COMMENTS:

The mission of the Redevelopment Agency is to eliminate present blight and prevent the potential for future blight in and ultimately add value to, all redevelopment project areas by recommending approval of projects that meet the highest standards of quality possible. This is of particular concern in the Cabazon sub-area where blighting conditions are still present. In addition, it is of absolute importance that all new development in the sub-area be designed to upgrade the aesthetics of the surrounding area and minimize the potential for environmental degradation and issues relating to the health, safety and welfare of the public.

P.O. Box 1180 • Riverside, California • 92502 • T: 951.955.8916 • F: 951.955.6686

[www.riverside.org](http://www.riverside.org)

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Graffiti Abatement

Parking  
Project Management  
Purchasing Group  
Real Property  
Redevelopment Agency  
Workforce Development



Comprehensive Planning Review Comments

Re: Plot Plan 23635

January 11, 2012

Page 2

The proposed project is attractive and the applicant has put a lot of effort into the aesthetics of the proposed structures and landscaping.

The applicant has addressed the concerns raised by the Cabazon Municipal Advisory Council regarding the placement of passenger loading zones along the proposed structures and these will be included in the new design as stated by the applicant.

The Economic Development Agency (EDA) encourages other county departments to move this project forward in a timely manner as the jobs are much needed in the community of Cabazon.

The RDA has no further comments or concerns regarding the proposed project at this time.



# City of Banning

99 E. Ramsey Street · P.O. Box 998 · Banning, CA 92220-0998 · (951) 922-3125 · Fax (951) 922-3128

## COMMUNITY DEVELOPMENT DEPARTMENT

September 18, 2008

Ron Goldman, Planning Director  
Planning Department  
Transportation and Land Management Agency  
County of Riverside  
38686 El Cerrito Road  
Palm Desert, CA 92211

Attn.: Maurice Borrows, Project Planner

**Subject: Fast Track Plot Plan No. 23635 – (FTA No. 2007-29) EA No. 42013  
Expansion Desert Hills Premium Outlets**

Dear Mr. Goldman:

We are in receipt of the plot plan dated July 31, 2008, for the project referenced above and are pleased to have the opportunity to provide comments.

First, we certainly appreciate, and are supportive of, a project that provides for economic development adjacent to the City of Banning. However, it is noted that the 31 acre site is located within 2.5 miles of the Hargrave Street/I-10 interchange and east Ramsey Street. Recent traffic analysis revealed that this interchange and adjacent intersection of Ramsey Street/Hargrave Street are operating at capacity for the level of service standards established by the City's adopted General Plan (see enclosed copy p. 26 KOA TIA). Since we were not able to review the traffic impact analysis for the project, we are concerned that development could potentially cause an adverse impact at these intersections. If you would like to discuss this project, please do not hesitate to contact me.

Regards,

  
George Hansen  
Community Development Director

encl.

## Existing Conditions (Year 2008)

## 3.2 Peak Hour Intersection Level of Service

Figure 4 illustrates the existing peak hour traffic volumes during the AM peak hour. Figure 5 illustrates the PM peak hour volumes. Table 2 summarizes the results of the level-of-service analysis for the existing conditions.

Table 3 - Peak Hour Intersection Performance for Existing (Year 2008) Conditions

Intersection	AM Peak Hour				PM Peak Hour			
	Delay (sec)		Level of Service		Delay (sec)		Level of Service	
	Average	Poorest Movement	Average	Poorest Movement	Average	Poorest Movement	Average	Poorest Movement
<b>Unsignalized Intersection</b>								
Morongo Rd. at Hathaway St.	7.7	N/A	A	N/A	7.8	N/A	A	N/A
George St. at Hathaway St.	0.9	10.2	A	B	1.1	10.3	A	B
Nicolet St. at Hathaway St.	0.8	9.5	A	A	0.7	9.3	A	A
Williams St. at Hathaway St.	0.9	9.3	A	A	0.4	9.5	A	A
Ramsey St. at Hathaway St.	5.2	10.1	A	B	4.3	9.8	A	A
Nicolet St. at Hargrave St.	11.2	N/A	B	N/A	9.8	N/A	A	N/A
Williams St. at Hargrave St.	2.1	16.1	A	C	2.5	12.9	A	B
Hargrave St. at I-10 WB Ramps	1.7	13.8	A	B	2.7	14.4	A	B
Hargrave St. at I-10 EB Ramps	12.2	23.8	B	C	6.7	15.4	A	C
<b>Signalized Intersections</b>								
	Average		Level of Service		Average		Level of Service	
Ramsey St. at Hargrave St.	29.2		C		32.8		C	
Ramsey St. at 8 <sup>th</sup> St.	32.4		C		35.2		D	

Note: Delay based on seconds per vehicle average.

As shown in Table 3, all of the intersections currently operate within the level of service standards of the City and Caltrans, Level of Service D for City intersections and Level of Service E or better for freeway ramp terminals during AM and PM peak hours.

Appendix C contains the analysis worksheets for existing (Year 2008) conditions.

February 24, 2012

Mr. Majeed Farshad  
County of Riverside  
Transportation Department  
Development Review  
38686 El Cerrito Rd.  
Palm Desert, CA 92211

Re: Plot Plan Case PP23635  
Desert Hills Premium Outlets

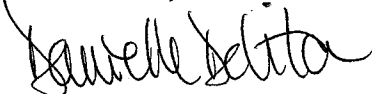
Dear Mr. Farshad:

Per your request, CPG Partners, L.P. ("Owner") is providing this letter as the Applicant and Owner of Desert Hills Premium Outlets, APN 519-110-032, 037, 038 and 040, in the Cabazon area of Riverside County. The project case is Plot Plan PP23635 and is currently being processed for Board of Supervisors' Hearing approval to be held on February 28, 2012. Owner agrees to maintain the proposed sewer laterals from the existing sewer trunk main (Trunk Line) in Seminole Road, owned by the Morongo Band of Mission Indians (Tribe) to the Riverside County Road Right of Way of Seminole Road and Millard Pass Road as shown on the Sewer Improvement Plans prepared by KCT Consultants, Inc, file no. 1006-09, subject to the following:

1. Any maintenance of the above mentioned laterals will be done subject to approval and inspection by the Tribe and under an approved encroachment Permit issued by the Riverside County Department of Transportation.
2. The laterals mentioned above are owned by and for the exclusive use of the Owner, its tenants and other occupants, their successors and assigns and cannot be used by any other property or entity.

We trust this letter will satisfy your concerns. Please let us know if you have any questions or require additional information.

Very truly yours,  
CPG Partners, L.P.



Danielle De Vita  
Vice President - Development

cc: Wendell Bugtai  
Don Edison

**COUNTY OF RIVERSIDE**  
**TRANSPORTATION AND LAND MANAGEMENT AGENCY**  
**Planning Department**  
*Ron Goldman · Planning Director*

**APPLICATION FOR LAND USE AND DEVELOPMENT**

CHECK ONE AS APPROPRIATE:

- PLOT PLAN                       CONDITIONAL USE PERMIT     TEMPORARY USE PERMIT  
 REVISED PERMIT                 PUBLIC USE PERMIT             VARIANCE

*INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED.*

CASE NUMBER: PP 23635                      DATE SUBMITTED: 8/1/08

**APPLICATION INFORMATION**

Applicant's Name: Chelsea Property Group, Inc                      E-Mail: bstipe@cpgi.com

Mailing Address: 27762 Vista Del Lago, Suite A-11  
Mission Viejo                      CA                      92692  
*City*                                      *State*                                      *ZIP*

Daytime Phone No: ( 949 ) 461-7195                      Fax No: ( 949 ) 461-5808

Engineer/Representative's Name: KCT Consultants, Inc.                      E-Mail: deborah@kctconsultants.

Mailing Address: 4344 Latham Street, Suite 200  
Riverside                      CA                      92501  
*City*                                      *State*                                      *ZIP*

Daytime Phone No: ( 951 ) 341-8940                      Fax No: ( 951 ) 341-8945

Property Owner's Name: Chelsea Property Group, Inc                      E-Mail: bstipe@cpgi.com

Mailing Address: 27762 Vista Del Lago, Suite A-11  
Mission Viejo                      CA                      92692  
*City*                                      *State*                                      *ZIP*

Daytime Phone No: ( 949 ) 461-7195                      Fax No: ( 949 ) 461-5808

If the property is owned by more than one person, attach a separate page that reference the application case number and lists the names, mailing addresses, and phone numbers of all persons having an interest in the real property or properties involved in this application.

The Planning Department will primarily direct communications regarding this application to the person identified above as the Applicant. The Applicant may be the property owner, representative, or other assigned agent.

**APPLICATION FOR LAND USE AND DEVELOPMENT**

**AUTHORIZATION FOR CONCURRENT FEE TRANSFER**

The signature below authorizes the Planning Department and TLMA to expedite the refund and billing process by transferring monies among concurrent applications to cover processing costs as necessary. Fees collected in excess of the actual cost of providing specific services will be refunded. If additional funds are needed to complete the processing of your application, you will be billed, and processing of the application will cease until the outstanding balance is paid and sufficient funds are available to continue the processing of the application. The applicant understands the deposit fee process as described above, and that there will be NO refund of fees which have been expended as part of the application review or other related activities or services, even if the application is withdrawn or the application is ultimately denied.

All signatures must be originals ("wet-signed"). Photocopies of signatures are not acceptable.

Kim Becker Director Development Operations      [Signature]  
PRINTED NAME OF APPLICANT      SIGNATURE OF APPLICANT

**AUTHORITY FOR THIS APPLICATION IS HEREBY GIVEN:**

I certify that I am/we are the record owner(s) or authorized agent and that the information filed is true and correct to the best of my knowledge. An authorized agent must submit a letter from the owner(s) indicating authority to sign the application on the owner's behalf.

All signatures must be originals ("wet-signed"). Photocopies of signatures are not acceptable.

Kim Becker Director Development Operations      [Signature]  
PRINTED NAME OF PROPERTY OWNER(S)      SIGNATURE OF PROPERTY OWNER(S)

\_\_\_\_\_  
PRINTED NAME OF PROPERTY OWNER(S)      SIGNATURE OF PROPERTY OWNER(S)

If the property is owned by more than one person, attach a separate sheet that references the application case number and lists the printed names and signatures of all persons having an interest in the property.

See attached sheet(s) for other property owners signatures.

**PROPERTY INFORMATION:**

Assessor's Parcel Number(s): 519-110-037

Section: 7      Township: 3 south      Range: 2 east

Approximate Gross Acreage: 39.46

General location (nearby or cross streets): North of Seminole Drive, South of Martin Road, East of Johnson Lane, West of Millard Pass

Thomas Brothers map, edition year, page number, and coordinates: 722 J - 2 & 3

**PROPERTY OWNERS CERTIFICATION FORM**

I, VINNIE NGUYEN, certify that on 1/19/2012.

The attached property owners list was prepared by Riverside County GIS,

APN (s) or case numbers PP 23635 For

Company or Individual's Name Planning Department,

Distance buffered 600'.

Pursuant to application requirements furnished by the Riverside County Planning Department, Said list is a complete and true compilation of the owners of the subject property and all other property owners within 600 feet of the property involved, or if that area yields less than 25 different owners, all property owners within a notification area expanded to yield a minimum of 25 different owners, to a maximum notification area of 2,400 feet from the project boundaries, based upon the latest equalized assessment rolls. If the project is a subdivision with identified off-site access/improvements, said list includes a complete and true compilation of the names and mailing addresses of the owners of all property that is adjacent to the proposed off-site improvement/alignment.

I further certify that the information filed is true and correct to the best of my knowledge. I understand that incorrect or incomplete information may be grounds for rejection or denial of the application.

NAME: Vinnie Nguyen

TITLE GIS Analyst

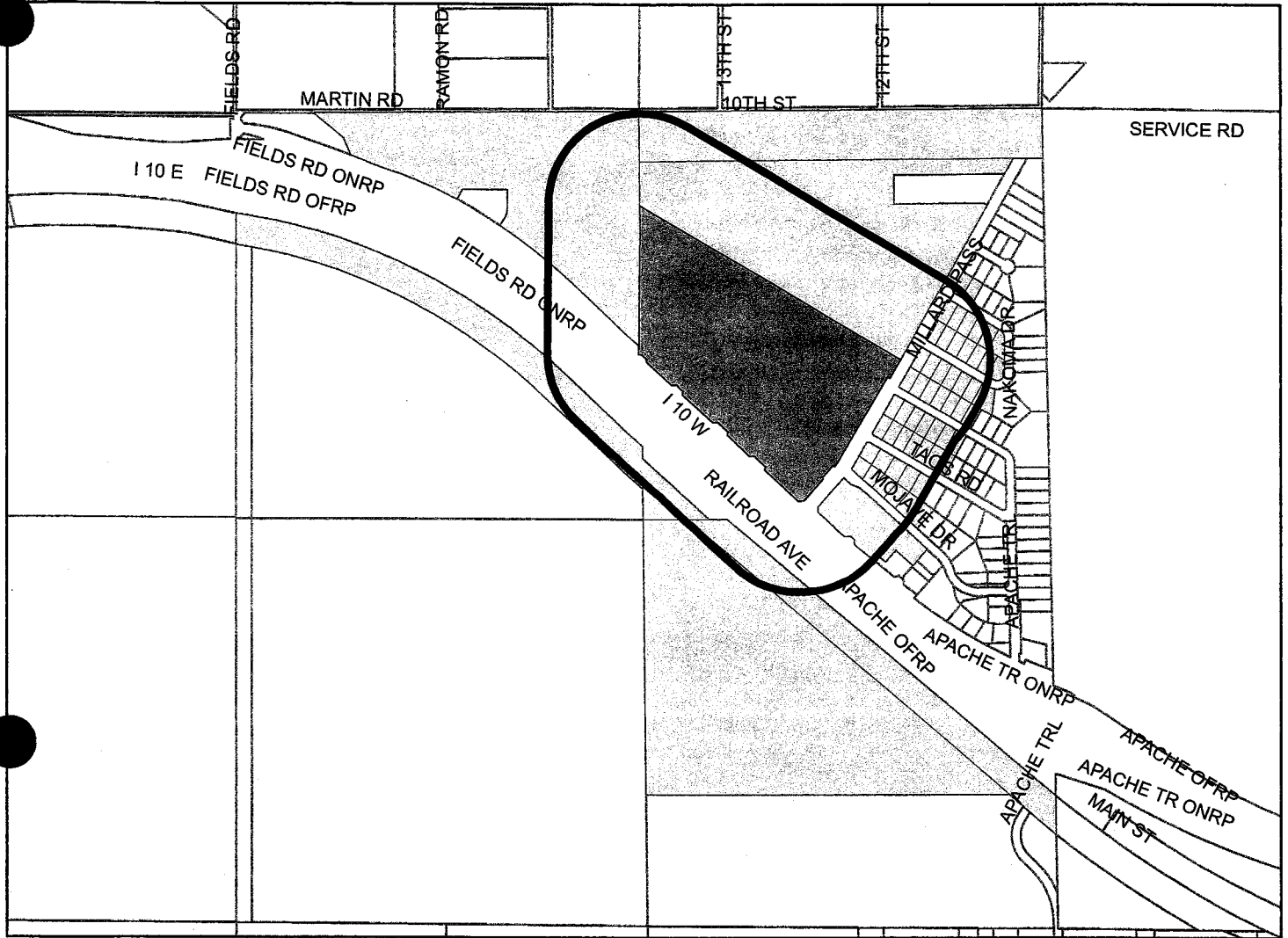
ADDRESS: 4080 Lemon Street 2<sup>nd</sup> Floor

Riverside, Ca. 92502

TELEPHONE NUMBER (8 a.m. – 5 p.m.): (951) 955-8158

✓ *Vinnie C*  
*exp 7.19.12*

**600 feet buffer**



**Selected Parcels**

519-132-010	519-132-006	519-131-016	519-132-008	519-131-011	519-141-034	519-131-015	519-142-011	519-122-001	519-122-002
519-122-003	519-122-004	519-122-005	519-122-006	519-131-003	519-110-037	519-110-038	519-110-040	519-122-007	519-132-016
519-142-013	519-142-009	519-132-015	519-142-005	519-142-010	519-142-003	519-132-019	519-132-012	519-132-018	519-132-017
519-131-013	519-142-007	519-142-008	519-132-013	519-110-011	519-170-007	519-132-007	519-132-009	519-132-011	519-122-008
519-122-009	519-122-010	519-122-011	519-122-013	519-131-004	519-131-005	519-131-006	519-131-007	519-131-009	519-132-014
519-131-010	519-122-012	519-131-012	519-142-004	519-131-014	519-110-016	519-110-017	519-170-008	519-142-012	519-142-006
519-121-014	519-121-015	519-131-008							



1,000 500 0 1,000 Feet

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ASMT: 519110016, APN: 519110016  
SOUTHERN CALIFORNIA GAS CO  
C/O TAX DEPT  
101 ASH ST NO HW07  
SAN DIEGO CA 92101

ASMT: 519131003, APN: 519131003  
CHARTER MANAGEMENT SYSTEMS INC  
P O BOX 697  
BANNING CA 92220

ASMT: 519110038, APN: 519110038  
CHELSEA GCA REALTY PARTNERSHIP  
C/O SIMON PROP GROUP  
P O BOX 6120  
INDIANAPOLIS IN 46206

ASMT: 519131008, APN: 519131008  
ZAIDA DIAZ  
P O BOX 799  
CABAZON CA 92230

ASMT: 519110040, APN: 519110040  
CHELSEA GCA REALTY PARTNERSHIP  
3001 S CRODDY WAY  
SANTA ANA CA 92704

ASMT: 519131009, APN: 519131009  
RES CAL ONE  
C/O DORIS GALCZAK  
700 NW 107TH AVE STE 200  
MIAMI FL 33172

ASMT: 519121015, APN: 519121015  
ERIKA HEYWOOD, ETAL  
67632 S NATOMA  
CATHEDRAL CY CA 92234

ASMT: 519131010, APN: 519131010  
ROBERT STMARIE  
P O BOX 559  
CABAZON CA 92230

ASMT: 519122007, APN: 519122007  
CYNTHIA ROMBERG, ETAL  
P O BOX 2038  
SOLDOTNA AK 99669

ASMT: 519131011, APN: 519131011  
BO KWON  
553 SOUTH ST NO 209  
GLENDALE CA 91202

ASMT: 519122010, APN: 519122010  
RES CAL ONE  
C/O DORIS GALCZAK  
26231 FIR AVE  
MORENO VALLEY CA 92555

ASMT: 519131012, APN: 519131012  
SILVIA RODRIGUEZ, ETAL  
13361 APACHE TR  
CABAZON, CA. 92230

ASMT: 519122012, APN: 519122012  
ROBERTO HERNANDEZ  
11 W REDLANDS BLV STE C  
REDLANDS CA 92373

ASMT: 519131013, APN: 519131013  
MARK MRAZ  
P O BOX 1514  
RANCHO MIRAGE CA 92270



ASMT: 519131014, APN: 519131014  
SOON YANG  
601 PALM DR NO 215  
GLENDALE CA 91202

ASMT: 519132012, APN: 519132012  
LILY WATAK DAVIS  
48796 TAOS RD  
CABAZON, CA. 92230

ASMT: 519131015, APN: 519131015  
ROSA FONSECA, ETAL  
13385 APACHE TR  
CABAZON, CA. 92230

ASMT: 519132013, APN: 519132013  
DIANE NORMAN, ETAL  
13344 APACHE TR  
CABAZON CA 92230

ASMT: 519131016, APN: 519131016  
ROSARIO FONSECA, ETAL  
13393 APACHE TR  
CABAZON, CA. 92230

ASMT: 519132014, APN: 519132014  
RICHARD ESPINOZA  
13350 APACHE TR  
CABAZON, CA. 92230

ASMT: 519132006, APN: 519132006  
ANITA BEARBOWER  
P O BOX 224  
CABAZON CA 92230

ASMT: 519132015, APN: 519132015  
JESSE SLUDER  
351 SOUTH K ST  
OXNARD CA 93030

ASMT: 519132008, APN: 519132008  
TIAN HE, ETAL  
48852 TAOS RD  
CABAZON, CA. 92230

ASMT: 519132016, APN: 519132016  
DONNA THOMAS  
22530 COUNTRY CREST DR  
MORENO VALLEY CA 92557

ASMT: 519132010, APN: 519132010  
LASHUNDA SMITH, ETAL  
48828 TAOS RD  
CABAZON, CA. 92230

ASMT: 519132017, APN: 519132017  
LUIS QUIROZ  
13374 APACHE TR  
CABAZON CA 92230

ASMT: 519132011, APN: 519132011  
BETTY LOVE, ETAL  
951 S 12TH ST  
BANNING CA 92220

ASMT: 519132018, APN: 519132018  
LUCY SANCHEZ  
P O BOX 237  
CABAZON CA 92230

ASMT: 519132019, APN: 519132019  
MARLENE POWELL, ETAL  
11737 MCCONNELL CT  
YUCAIPA CA 92399

ASMT: 519142008, APN: 519142008  
MICHAEL SHIRLEY  
P O BOX 890626  
TEMECULA CA 92589

ASMT: 519141034, APN: 519141034  
CABAZON CO STORES  
1500 QUAIL ST STE 100  
NEWPORT BEACH CA 92660

ASMT: 519142009, APN: 519142009  
MARIA ALVAREZ, ETAL  
14944 BROADWAY  
CABAZON CA 92230

ASMT: 519142003, APN: 519142003  
JOYCE COSENTINO  
48885 TAOS RD  
CABAZON CA 92230

ASMT: 519142010, APN: 519142010  
JEWEL SMITH  
10891 MARIAN DR  
GARDEN GROVE CA 92840

ASMT: 519142004, APN: 519142004  
SMITH CHOI  
1805 S 2ND ST # A  
ALHAMBRA CA 91801

ASMT: 519142011, APN: 519142011  
CHARLES FLOOD  
48812 MOJAVE DR  
BANNING, CA. 92220

ASMT: 519142005, APN: 519142005  
JEWEL SMITH  
10891 MARIAN  
GARDEN GROVE CA 92640

ASMT: 519142012, APN: 519142012  
STEVEN CRAIG  
1 OCEAN CREST  
NEWPORT COAST CA 92657

ASMT: 519142006, APN: 519142006  
THOMAS RITCHIE  
32876 MARIE DR  
LAKE ELSINORE CA 92590

ASMT: 519142013, APN: 519142013  
FEDERAL NATL MORTGAGE ASSN  
C/O IBM LENDER BUSINESS PROCESS SERVIC  
14523 SW MILLIKAN STE 200  
BEAVERTON OR 97005

ASMT: 519142007, APN: 519142007  
MARY BEEDON  
C/O AMALIA CALDERONE  
16646 MONTEGO WAY  
TUSTIN CA 92780

ASMT: 519170007, APN: 519170007  
R R M PROP LTD  
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CORONA CA 92878

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ATTN: Elias Jouen  
Banning Unified School District  
161 W. Williams St.  
Banning, CA 92220-4796

ATTN: Rick Hall  
Cabazon County Water District  
50-256 Main St.  
P.O. Box 297  
Cabazon, CA 92230-3200

ATTN: Dan Kopulsky  
CALTRANS District #8  
464 W. 4th St., 6th Floor  
Mail Stop 725  
San Bernardino, CA 92401-1400

ATTN: Community Development Director  
Community Development,  
City of Banning  
P.O. Box 998  
Banning, CA 92220-0090

ATTN: Planning Director  
Planning Division, City of Palm Springs  
P.O. Box 2743  
Palm Springs, CA 92263

Southern California Edison  
2244 Walnut Grove Ave., Rm 312  
P.O. Box 600  
Rosemead, CA 91770

Verizon Engineering  
9 South 4th St.,  
Redlands, CA 92373

Applicant  
Simon Prop Grp  
105 Eisenhower Pkwy  
Roseland, New Jersey 07068

Owner  
Chelsea CGA Realty Partner.  
48650 Seminole Dr.  
Cabazon, CA 92230

Engineer  
KCT Consultants  
4344 Latham St. Ste 200  
Riverside, CA 92501



OFFICE OF  
CLERK OF THE BOARD OF SUPERVISORS

1st FLOOR, COUNTY ADMINISTRATIVE CENTER  
P.O. BOX 1147, 4080 LEMON STREET  
RIVERSIDE, CA 92502-1147

PHONE: (951) 955-1060

FAX: (951) 955-1071

KECIA HARPER-IHEM  
Clerk of the Board of Supervisors

KIMBERLY A. RECTOR  
Assistant Clerk of the Board

February 23, 2012

THE PRESS ENTERPRISE  
ATTN: LEGALS  
P.O. BOX 792  
RIVERSIDE, CA 92501

E-MAIL: [legals@pe.com](mailto:legals@pe.com)  
VIA FAX: (951) 368-9018

RE: NOTICE OF PUBLIC HEARING: PP 23635 (FTA 2007-29)

To Whom It May Concern:

Attached is a copy for publication in your newspaper for **One (1) Time on Tuesday, February 28, 2012.**

We require your affidavit of publication immediately upon completion of the last publication.

Your invoice must be submitted to this office in duplicate, **WITH TWO CLIPPINGS OF THE PUBLICATION.**

**NOTE: PLEASE COMPOSE THIS PUBLICATION INTO A SINGLE COLUMN FORMAT.**

Thank you in advance for your assistance and expertise.

Sincerely,

*McGil*

Cecilia Gil, Board Assistant to  
KECIA HARPER-IHEM, CLERK OF THE BOARD

**Gil, Cecilia**

---

**From:** PE Legals <legals@pe.com>  
**Sent:** Thursday, February 23, 2012 8:40 AM  
**To:** Gil, Cecilia  
**Subject:** RE: FOR PUBLICATION: PP 23635 (FTA 2007-29)

Received for publication on Feb. 28.

Thank You!

**enterprise**media

Publisher of the Press-Enterprise

Maria G. Tinajero · Legal Advertising Department

1-800-880-0345 · Fax: 951-368-9018 · email: [legals@pe.com](mailto:legals@pe.com)

Please Note: Deadline is 10:30 AM two (2) business days prior to the date you would like to publish.

\*\*Additional days required for larger ad sizes\*\*

---

**From:** Gil, Cecilia [<mailto:CCGIL@rcbos.org>]  
**Sent:** Thursday, February 23, 2012 7:52 AM  
**To:** PE Legals  
**Subject:** FOR PUBLICATION: PP 23635 (FTA 2007-29)

Good Morning! Attached is a Notice of Public Hearing, for publication on Tuesday, Feb. 28, 2012. Please confirm.  
THANK YOU!

*Cecilia Gil*

Board Assistant to the  
Clerk of the Board of Supervisors  
951-955-8464

**THE COUNTY ADMINISTRATIVE CENTER IS CLOSED EVERY FRIDAY UNTIL FURTHER NOTICE.  
PLEASE CONSIDER THE ENVIRONMENT BEFORE PRINTING.**

**NOTICE OF PUBLIC HEARING BEFORE THE BOARD OF SUPERVISORS OF RIVERSIDE COUNTY ON A FAST TRACK PLOT PLAN IN THE PASS – DESERT AREA PLAN, FIFTH SUPERVISORIAL DISTRICT AND NOTICE OF INTENT TO ADOPT A MITIGATED NEGATIVE DECLARATION**

NOTICE IS HEREBY GIVEN that a public hearing at which all interested persons will be heard, will be held before the Board of Supervisors of Riverside County, California, on the 1<sup>st</sup> Floor Board Chambers, County Administrative Center, 4080 Lemon Street, Riverside, on **Tuesday, March 20, 2012 at 1:30 P.M.** to consider the application submitted by Chelsea Property Group, Inc., on **Plot Plan No. 23635 (Fast Track 2007-29)**, which proposes to add 158,492 square feet of retail space and 1,124 parking spaces to an existing outlet center ("the project"). The project is located northerly of Seminole Drive, southerly of Martin Road, easterly of Johnson Lane, westerly of Millard Pass in the Pass – Desert Area, Fifth Supervisorial District.

The Planning Department approved the project, found that the project will not have a significant effect on the environment and recommended the adoption of a Mitigated Negative Declaration for **Environmental Assessment No. 42199**.

The project case file may be viewed from the date of this notice until the public hearing, Monday through Thursday, from 7:30 a.m. to 5:30 p.m. at the Clerk of the Board of Supervisors, 1<sup>ST</sup> Floor, and at the Riverside County Planning Department, 12<sup>th</sup> Floor, at 4080 Lemon Street, Riverside, California 92501.

FOR FURTHER INFORMATION REGARDING THIS PROJECT, PLEASE CONTACT WENDELL BUGTAI, PROJECT PLANNER, AT (951) 955-2419 OR EMAIL [wbugtai@rctlma.org](mailto:wbugtai@rctlma.org).

Any person wishing to testify in support of or in opposition to the project may do so in writing between the date of this notice and the public hearing, or may appear and be heard at the time and place noted above. All written comments received prior to the public hearing will be submitted to the Board of Supervisors and the Board of Supervisors will consider such comments, in addition to any oral testimony, before making a decision on the project.

If you challenge the above item in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence to the Planning Commission or Board of Supervisors at, or prior to, the public hearing. Be advised that as a result of the public hearing and the consideration of all public comment, written and oral, the Board of Supervisors may amend, in whole or in part, the project and/or the related environmental document. Accordingly, the designations, development standards, design or improvements, or any properties or lands within the boundaries of the project, may be changed in a way other than specifically proposed.

Please send all written correspondence to Riverside County Clerk of the Board at 4080 Lemon Street, 1st Floor, P.O. Box 1147, Riverside, CA 92502-1147.

Dated: February 23, 2012

Kecia Harper-Ihem, Clerk of the Board  
By: Cecilia Gil, Board Assistant





## Gil, Cecilia

---

**From:** Meyer, Mary Ann <MaMeyer@asrclkrec.com>  
**Sent:** Thursday, February 23, 2012 8:48 AM  
**To:** Gil, Cecilia; Anderson, Rosemarie; Kennemer, Bonnie; Reese, Brenda  
**Subject:** RE: FOR POSTING: PP 23635 (FTA 2007-29)

Received and posted

---

**From:** Gil, Cecilia  
**Sent:** Thursday, February 23, 2012 7:56 AM  
**To:** Anderson, Rosemarie; Kennemer, Bonnie; Meyer, Mary Ann; Reese, Brenda  
**Subject:** FOR POSTING: PP 23635 (FTA 2007-29)

Good Morning! Attached is a Notice of Public Hearing, for POSTING. Please confirm. THANK YOU!

*Cecilia Gil*

Board Assistant to the  
Clerk of the Board of Supervisors  
951-955-8464

**THE COUNTY ADMINISTRATIVE CENTER IS CLOSED EVERY FRIDAY UNTIL FURTHER NOTICE.  
PLEASE CONSIDER THE ENVIRONMENT BEFORE PRINTING.**

## CERTIFICATE OF MAILING

(Original copy, duly executed, must be attached to  
the original document at the time of filing)

I, Cecilia Gil, Board Assistant, for the  
(NAME and TITLE)

County of Riverside, do hereby certify that I am not a party to the within action or proceeding; that on February 23, 2012, I mailed a copy of the following document:

### NOTICE OF PUBLIC HEARING

### PLOT PLAN NO. 23635 (FTA 2007-29)

to the parties listed in the attached labels, by depositing said copy with postage thereon fully prepaid, in the United States Post Office, 3890 Orange St., Riverside, California, 92501.

**Board Agenda Date:** March 20, 2012 @ 1:30 PM

SIGNATURE: Mcgil  
Cecilia Gil

DATE: February 23, 2012

**PROPERTY OWNERS CERTIFICATION FORM**

I, VINNIE NGUYEN, certify that on 1/19/2012,

The attached property owners list was prepared by Riverside County GIS,

APN (s) or case numbers PP 23635 For

Company or Individual's Name Planning Department,

Distance buffered 600'

Pursuant to application requirements furnished by the Riverside County Planning Department, Said list is a complete and true compilation of the owners of the subject property and all other property owners within 600 feet of the property involved, or if that area yields less than 25 different owners, all property owners within a notification area expanded to yield a minimum of 25 different owners, to a maximum notification area of 2,400 feet from the project boundaries, based upon the latest equalized assessment rolls. If the project is a subdivision with identified off-site access/improvements, said list includes a complete and true compilation of the names and mailing addresses of the owners of all property that is adjacent to the proposed off-site improvement/alignment.

I further certify that the information filed is true and correct to the best of my knowledge. I understand that incorrect or incomplete information may be grounds for rejection or denial of the application.

NAME: Vinnie Nguyen

TITLE GIS Analyst

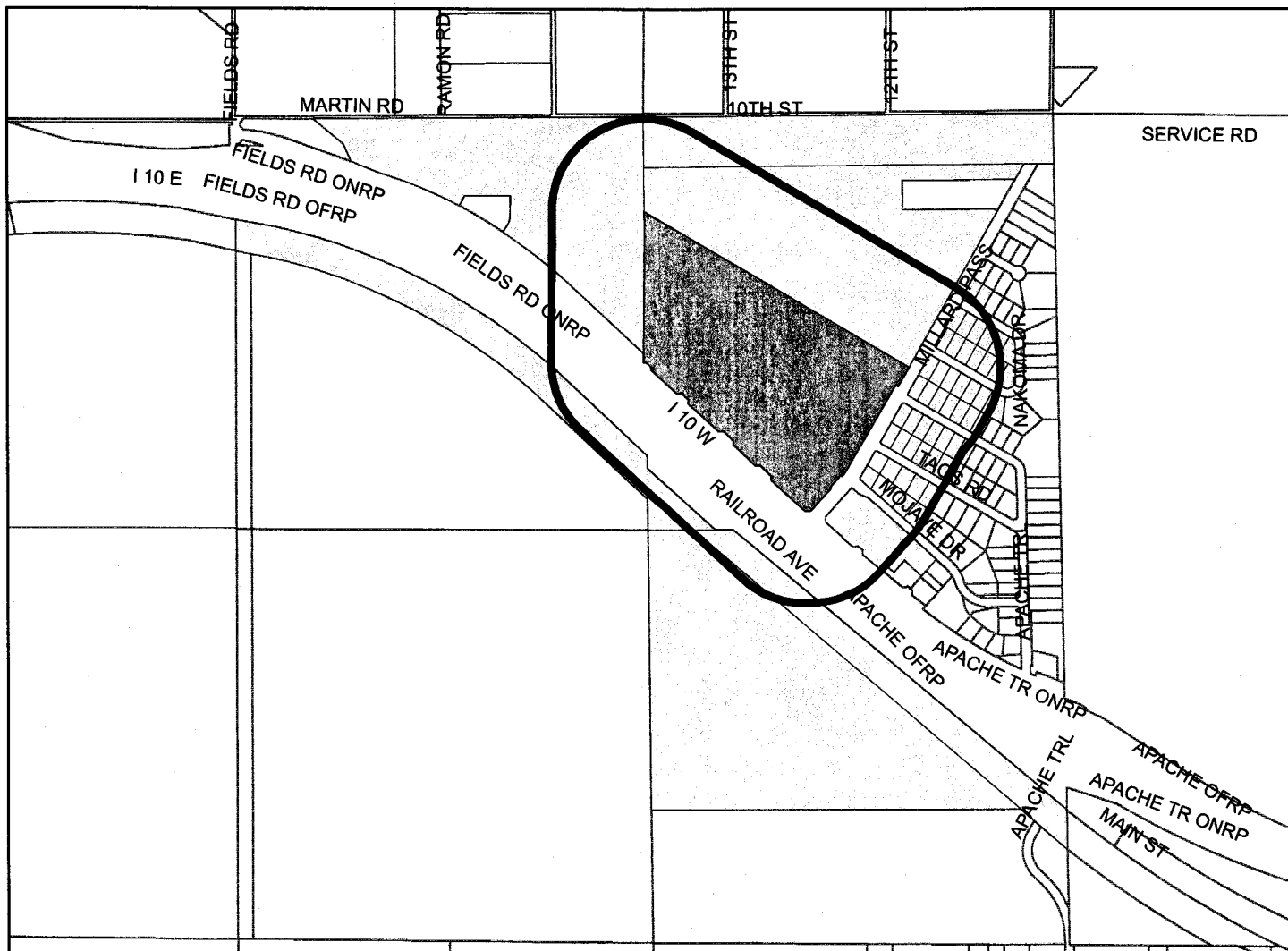
ADDRESS: 4080 Lemon Street 2<sup>nd</sup> Floor

Riverside, Ca. 92502

TELEPHONE NUMBER (8 a.m. - 5 p.m.): (951) 955-8158

✓ *Vinnie C*  
*exp 7.19.12*

## 600 feet buffer



### Selected Parcels

519-132-010	519-132-006	519-131-016	519-132-008	519-131-011	519-141-034	519-131-015	519-142-011	519-122-001	519-122-002
519-122-003	519-122-004	519-122-005	519-122-006	519-131-003	519-110-037	519-110-038	519-110-040	519-122-007	519-132-016
519-142-013	519-142-009	519-132-015	519-142-005	519-142-010	519-142-003	519-132-019	519-132-012	519-132-018	519-132-017
519-131-013	519-142-007	519-142-008	519-132-013	519-110-011	519-170-007	519-132-007	519-132-009	519-132-011	519-122-008
519-122-009	519-122-010	519-122-011	519-122-013	519-131-004	519-131-005	519-131-006	519-131-007	519-131-009	519-132-014
519-131-010	519-122-012	519-131-012	519-142-004	519-131-014	519-110-016	519-110-017	519-170-008	519-142-012	519-142-006
519-121-014	519-121-015	519-131-008							



1,000 500 0 1,000 Feet

Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

ASMT: 519110016, APN: 519110016  
SOUTHERN CALIFORNIA GAS CO  
C/O TAX DEPT  
101 ASH ST NO HW07  
SAN DIEGO CA 92101

ASMT: 519131003, APN: 519131003  
CHARTER MANAGEMENT SYSTEMS INC  
P O BOX 697  
BANNING CA 92220

ASMT: 519110038, APN: 519110038  
CHELSEA GCA REALTY PARTNERSHIP  
C/O SIMON PROP GROUP  
P O BOX 6120  
INDIANAPOLIS IN 46206

ASMT: 519131008, APN: 519131008  
ZAIDA DIAZ  
P O BOX 799  
CABAZON CA 92230

ASMT: 519110040, APN: 519110040  
CHELSEA GCA REALTY PARTNERSHIP  
3001 S CRODDY WAY  
SANTA ANA CA 92704

ASMT: 519131009, APN: 519131009  
RES CAL ONE  
C/O DORIS GALCZAK  
700 NW 107TH AVE STE 200  
MIAMI FL 33172

ASMT: 519121015, APN: 519121015  
ERIKA HEYWOOD, ETAL  
67632 S NATOMA  
CATHEDRAL CY CA 92234

ASMT: 519131010, APN: 519131010  
ROBERT STMARIE  
P O BOX 559  
CABAZON CA 92230

ASMT: 519122007, APN: 519122007  
CYNTHIA ROMBERG, ETAL  
P O BOX 2038  
SOLDOTNA AK 99669

ASMT: 519131011, APN: 519131011  
BO KWON  
553 SOUTH ST NO 209  
GLENDALE CA 91202

ASMT: 519122010, APN: 519122010  
RES CAL ONE  
C/O DORIS GALCZAK  
26231 FIR AVE  
MORENO VALLEY CA 92555

ASMT: 519131012, APN: 519131012  
SILVIA RODRIGUEZ, ETAL  
13361 APACHE TR  
CABAZON, CA. 92230

ASMT: 519122012, APN: 519122012  
ROBERTO HERNANDEZ  
11 W REDLANDS BLV STE C  
REDLANDS CA 92373

ASMT: 519131013, APN: 519131013  
MARK MRAZ  
P O BOX 1514  
RANCHO MIRAGE CA 92270

PP 23635 FTA 2007-29 (53)



ASMT: 519132019, APN: 519132019  
MARLENE POWELL, ETAL  
11737 MCCONNELL CT  
YUCAIPA CA 92399

ASMT: 519142008, APN: 519142008  
MICHAEL SHIRLEY  
P O BOX 890626  
TEMECULA CA 92589

ASMT: 519141034, APN: 519141034  
CABAZON CO STORES  
1500 QUAIL ST STE 100  
NEWPORT BEACH CA 92660

ASMT: 519142009, APN: 519142009  
MARIA ALVAREZ, ETAL  
14944 BROADWAY  
CABAZON CA 92230

ASMT: 519142003, APN: 519142003  
JOYCE COSENTINO  
48885 TAOS RD  
CABAZON CA 92230

ASMT: 519142010, APN: 519142010  
JEWEL SMITH  
10891 MARIAN DR  
GARDEN GROVE CA 92840

ASMT: 519142004, APN: 519142004  
SMITH CHOI  
1805 S 2ND ST # A  
ALHAMBRA CA 91801

ASMT: 519142011, APN: 519142011  
CHARLES FLOOD  
48812 MOJAVE DR  
BANNING, CA. 92220

ASMT: 519142005, APN: 519142005  
JEWEL SMITH  
10891 MARIAN  
GARDEN GROVE CA 92640

ASMT: 519142012, APN: 519142012  
STEVEN CRAIG  
1 OCEAN CREST  
NEWPORT COAST CA 92657

ASMT: 519142006, APN: 519142006  
THOMAS RITCHIE  
32876 MARIE DR  
LAKE ELSINORE CA 92590

ASMT: 519142013, APN: 519142013  
FEDERAL NATL MORTGAGE ASSN  
C/O IBM LENDER BUSINESS PROCESS SERVIC  
14523 SW MILLIKAN STE 200  
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ASMT: 519142007, APN: 519142007  
MARY BEEDON  
C/O AMALIA CALDERONE  
16646 MONTEGO WAY  
TUSTIN CA 92780

ASMT: 519170007, APN: 519170007  
R R M PROP LTD  
P O BOX 3600  
CORONA CA 92878



ATTN: Elias Jouen  
Banning Unified School District  
161 W. Williams St.  
Banning, CA 92220-4796

ATTN: Rick Hall  
Cabazon County Water District  
50-256 Main St.  
P.O. Box 297  
Cabazon, CA 92230-3200

ATTN: Dan Kopulsky  
CALTRANS District #8  
464 W. 4th St., 6th Floor  
Mail Stop 725  
San Bernardino, CA 92401-1400

ATTN: Community Development Director  
Community Development,  
City of Banning  
P.O. Box 998  
Banning, CA 92220-0090

ATTN: Planning Director  
Planning Division, City of Palm Springs  
P.O. Box 2743  
Palm Springs, CA 92263

Southern California Edison  
2244 Walnut Grove Ave., Rm 312  
P.O. Box 600  
Rosemead, CA 91770

Verizon Engineering  
9 South 4th St.,  
Redlands, CA 92373

Applicant  
Simon Prop Grp  
105 Eisenhower Pkwy  
Roseland, New Jersey 07068

Owner  
Chelsea CGA Realty Partner.  
48650 Seminole Dr.  
Cabazon, CA 92230

Engineer  
KCT Consultants  
4344 Latham St. Ste 200  
Riverside, CA 92501



Agenda Item No.:  
Area Plan: The Pass  
Zoning District: Pass & Desert  
Supervisory District: Fifth  
Project Planner: Wendell Bugtai  
Board of Supervisors: February 28, 2012

FAST TRACK NO. 2007-29  
PLOT PLAN NO. 23635  
Environmental Assessment No. 42013  
Applicant: Chelsea Property Group  
Engineer/Rep: KCT Consultants, Inc.

## COUNTY OF RIVERSIDE PLANNING DEPARTMENT STAFF REPORT

### PROJECT DESCRIPTION AND LOCATION:

PLOT PLAN NO. 23635 proposes to add 158,492 square feet of retail space and 1,124 parking spaces to an existing outlet center located in Cabazon.

Project is located northerly of Seminole Drive, southerly of Martin Road, easterly of Johnson Lane, westerly of Millard Pass.

### SUMMARY OF FINDINGS:

1. Existing General Plan Land Use (Ex. #5): Community Development: Commercial Retail (CD: CR)
2. Surrounding General Plan Land Use (Ex. #5): Community Development: Commercial Retail (CD: CR) to the west, Rural: Rural Residential (R: RR) to the north, Community Development: Medium Density Residential (CD: MDR) and Commercial Retail (CD: CR) to the east and Interstate-10 Freeway (I-10) to the south.
3. Existing Zoning (Ex. #2): Scenic Highway Commercial (C-P-S)
4. Surrounding Zoning (Ex. #2): Scenic Highway Commercial (C-P-S) to the west, Rural Residential – 5 Acre Minimum (R-R-5) to the north, Controlled Development Areas (W-2) and Scenic Highway Commercial (C-P-S) to the east and Interstate-10 Freeway (I-10) to the south.
5. Existing Land Use (Ex. #1): Outlet Center
6. Surrounding Land Use (Ex. #1): Existing Retail uses to the west, Vacant to the north, existing retail and residential uses to the east and Interstate-10 Freeway (I-10) to the south.
7. Project Data: Total Acreage: 39.46 Gross Acres
8. Environmental Concerns: See attached environmental assessment

### RECOMMENDATIONS:

**ADOPTION** of a **MITIGATED NEGATIVE DECLARATION** for **ENVIRONMENTAL ASSESSMENT NO. 42013**, based on the findings incorporated in the initial study and the conclusion that the project will not have a significant effect on the environment; and,

**APPROVAL** of **PLOT PLAN NO. 23635**, subject to the attached conditions of approval, and based upon the findings and conclusions incorporated in the staff report.

**CONCLUSIONS:**

1. The proposed project is in conformance with the Community Development: Commercial Retail (CD: CR) Land Use Designation, and with all other elements of the Riverside County General Plan.
2. The proposed project is consistent with the Scenic Highway Commercial (C-P-S) zoning classification of Ordinance No. 348, and with all other applicable provisions of Ordinance No. 348.
3. The public's health, safety, and general welfare are protected through project design.
4. The proposed project is clearly compatible with the present and future logical development of the area.
5. The proposed project will not have a significant effect on the environment.
6. The proposed project will not preclude reserve design for the Western Riverside County Multiple Species Habitat Conservation Plan (WRCMSHCP).

**FINDINGS:** The following findings are in addition to those incorporated in the summary of findings and in the attached environmental assessment, which is incorporated herein by reference.

1. The project site is designated Community Development: Commercial Retail (CD: CR) in the Pass Area Plan.
2. The project site is surrounded by properties which are designated Community Development: Commercial Retail (CD: CR) to the west, Rural: Rural Residential (R: RR) to the north, Community Development: Medium Density Residential (CD: MDR) and Commercial Retail (CD: CR) to the east and Interstate-10 Freeway (I-10) to the south.
3. The zoning for the subject site is Scenic Highway Commercial (C-P-S).
4. The proposed use, addition of 158,492 square feet of retail space and 1,124 parking spaces to an existing outlet center, is consistent with the development standards set forth in the Scenic Highway Commercial (C-P-S) zone.
5. The project site is surrounded by properties which are zoned Scenic Highway Commercial (C-P-S) to the west, Rural Residential – 5 Acre Minimum (R-R-5) to the north, Controlled Development Areas (W-2) and Scenic Highway Commercial (C-P-S) to the east and Interstate-10 Freeway (I-10) to the south.
6. Commercial Retail and Residential uses have been constructed and are operating in the project vicinity.
7. This project is not located within a Criteria Area of the Western Riverside County Multiple Species Habitat Conservation Plan.
8. Environmental Assessment No. 42013 identified the following potentially significant impacts:

a. Geology/Soils

These listed impacts will be fully mitigated by the measures indicated in the environmental assessment, conditions of approval, and attached letters. No other significant impacts were identified.

**INFORMATIONAL ITEMS:**

1. As of this writing, no letters, in support or opposition have been received.
2. The project site is not located within:
  - a. Tribal Land;
  - b. Specific Plan;
  - c. Historic Preservation District;
  - d. Airport Compatibility Zone.
3. The project site is located within:
  - a. Riverside County Flood Control District;
  - b. Banning Unified School District;
  - c. County Service Area - Cabazon # 85 – Street Lighting Park & Recreation;
  - d. Zone B, 39.35 Miles from Mt. Palomar Observatory.
4. The subject site is currently designated as Assessor's Parcel Number 519-110-037

**RIVERSIDE COUNTY PLANNING DEPARTMENT**  
**PP 23635**  
**VICINITY/POLICY AREAS**

Supervisor Ashley  
 District: 5

Date Drawn: 1/24/12  
 Vicinity Map



Zoning District: Pass & Desert  
 Township/Range: T3SR2E  
 Section: 7

Assessors Bk. Pg. 519-11  
 Thomas Bros. Pg. 722 J3  
 Edition 2009



DISCLAIMER: On October 7, 2003, the County of Riverside adopted a new General Plan providing new land use designations for unincorporated Riverside County parcels. The new General Plan may contain different types of land use than is provided for under existing zoning. For further information, please contact the Riverside County Planning Department offices in Riverside at (951) 955-3200 (Western County), or in Indio at (760) 863-8277 (Eastern County) or website at <http://www.tlms.co.riverside.ca.us/index.html>

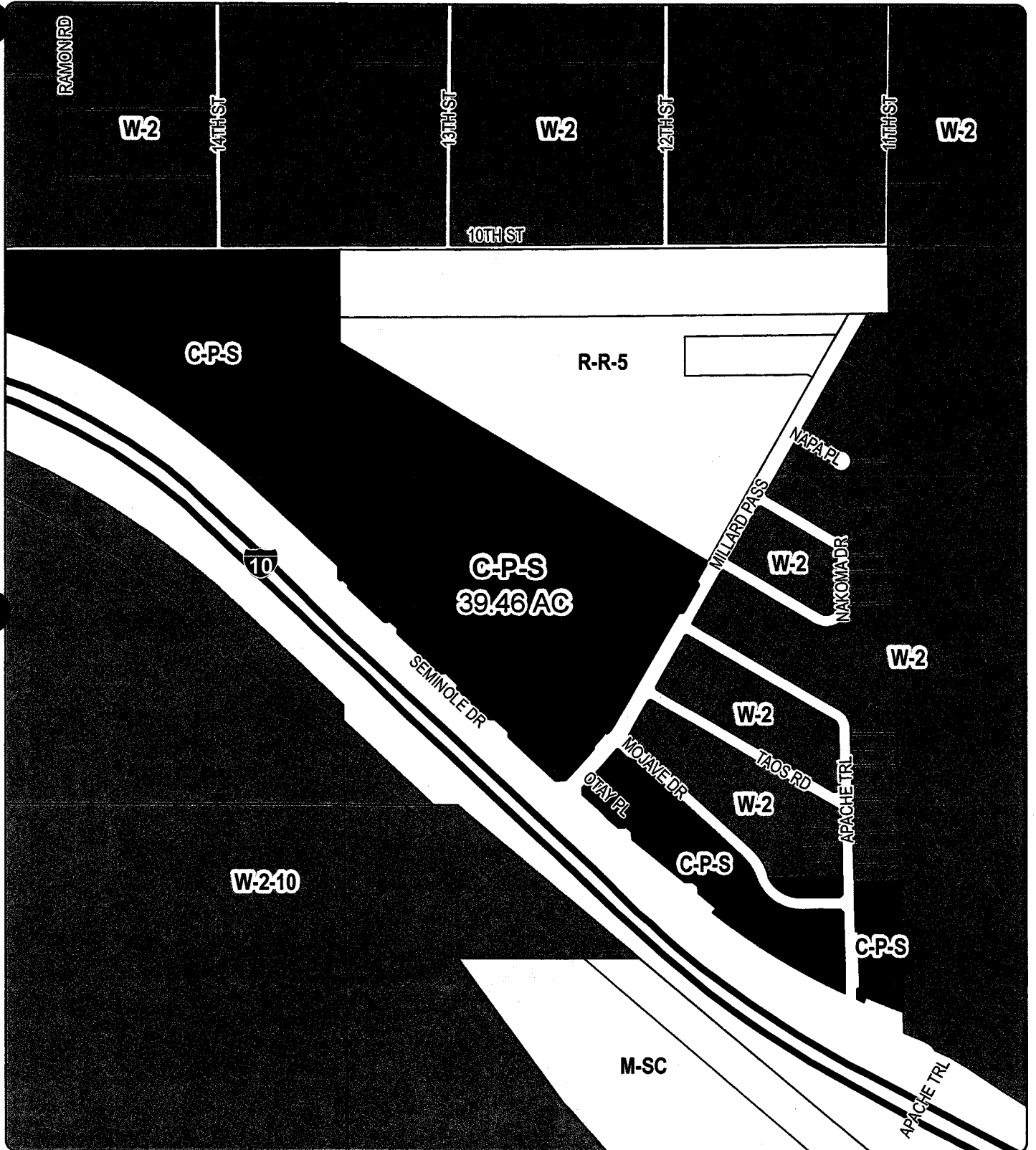
RIVERSIDE COUNTY PLANNING DEPARTMENT

PP23635

EXISTING ZONING

Supervisor Ashley  
District 5

Date Drawn: 1/24/12  
Exhibit 2

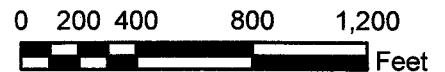


Zoning District: Pass & Desert  
Township/Range: T3SR2E  
Section: 7



Assessors Bk. Pg. 519-11  
Thomas Bros. Pg. 722 J3  
Edition 2009

DISCLAIMER: On October 7, 2003, the County of Riverside adopted a new General Plan providing new land use designations for unincorporated Riverside County parcels. The new General Plan may contain different types of land use than is provided for under existing zoning. For further information, please contact the Riverside County Planning Department offices in Riverside at (951) 955-3200 (Western County), or in Indio at (760) 863-8277 (Eastern County) or website at <http://www.tlma.co.riverside.ca.us/index.htm>



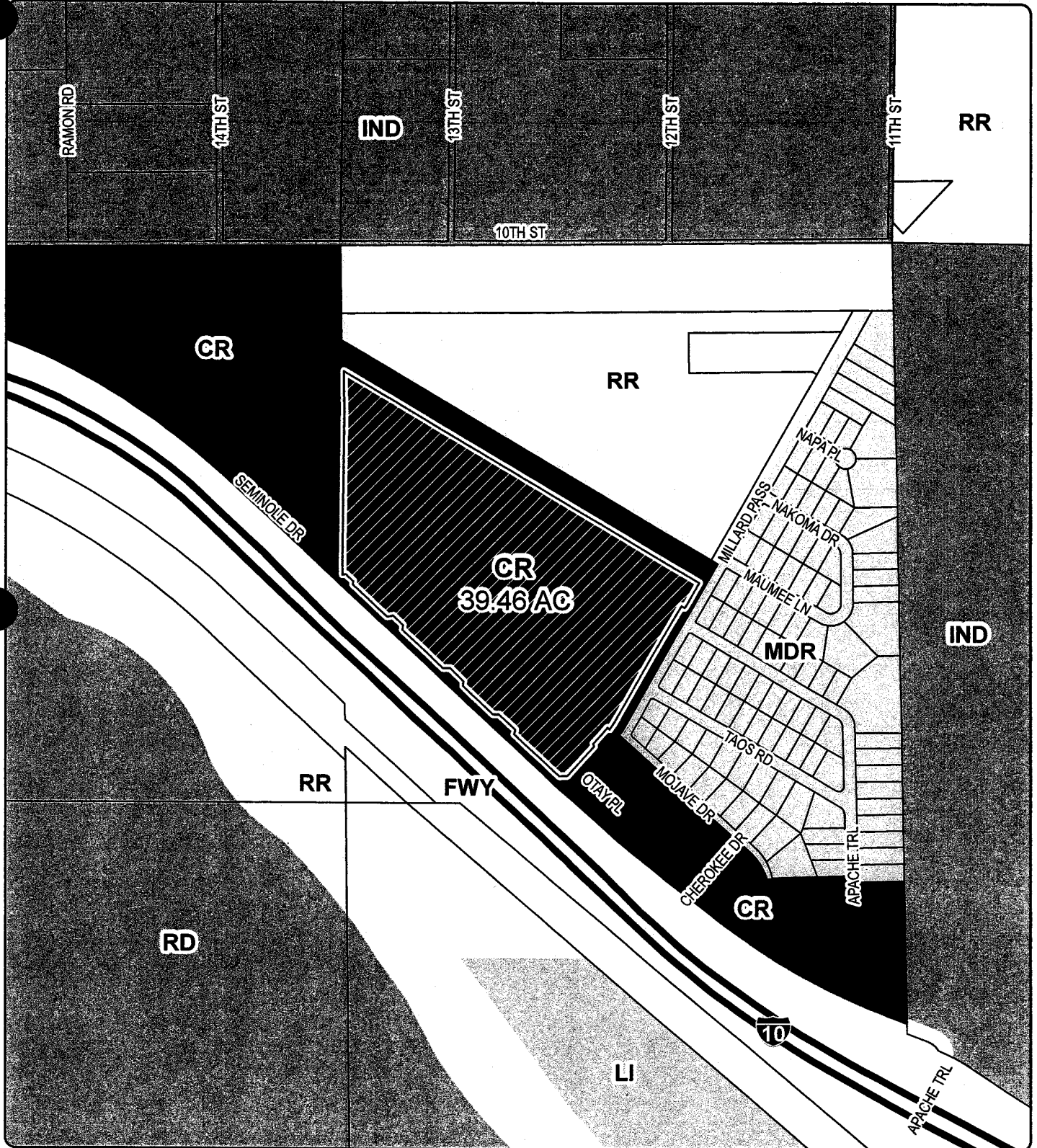
RIVERSIDE COUNTY PLANNING DEPARTMENT

PP23635

EXISTING GENERAL PLAN

Supervisor Ashley  
District: 5

Date Drawn: 1/24/12  
Exhibit 5

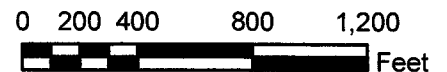


Zoning District: Pass & Desert  
Township/Range: T3SR2E  
Section: 7

Assessors Bk. Pg. 519-11  
Thomas Bros. Pg. 722 J3  
Edition 2009



DISCLAIMER: On October 7, 2003, the County of Riverside adopted a new General Plan providing new land use designations for unincorporated Riverside County parcels. The new General Plan may contain different types of land use than is provided for under existing zoning. For further information, please contact the Riverside County Planning Department offices in Riverside at (951) 955-3200 (Western County), or in Indio at (760) 863-8277 (Eastern County) or website at <http://www.tlma.co.riverside.ca.us/index.html>



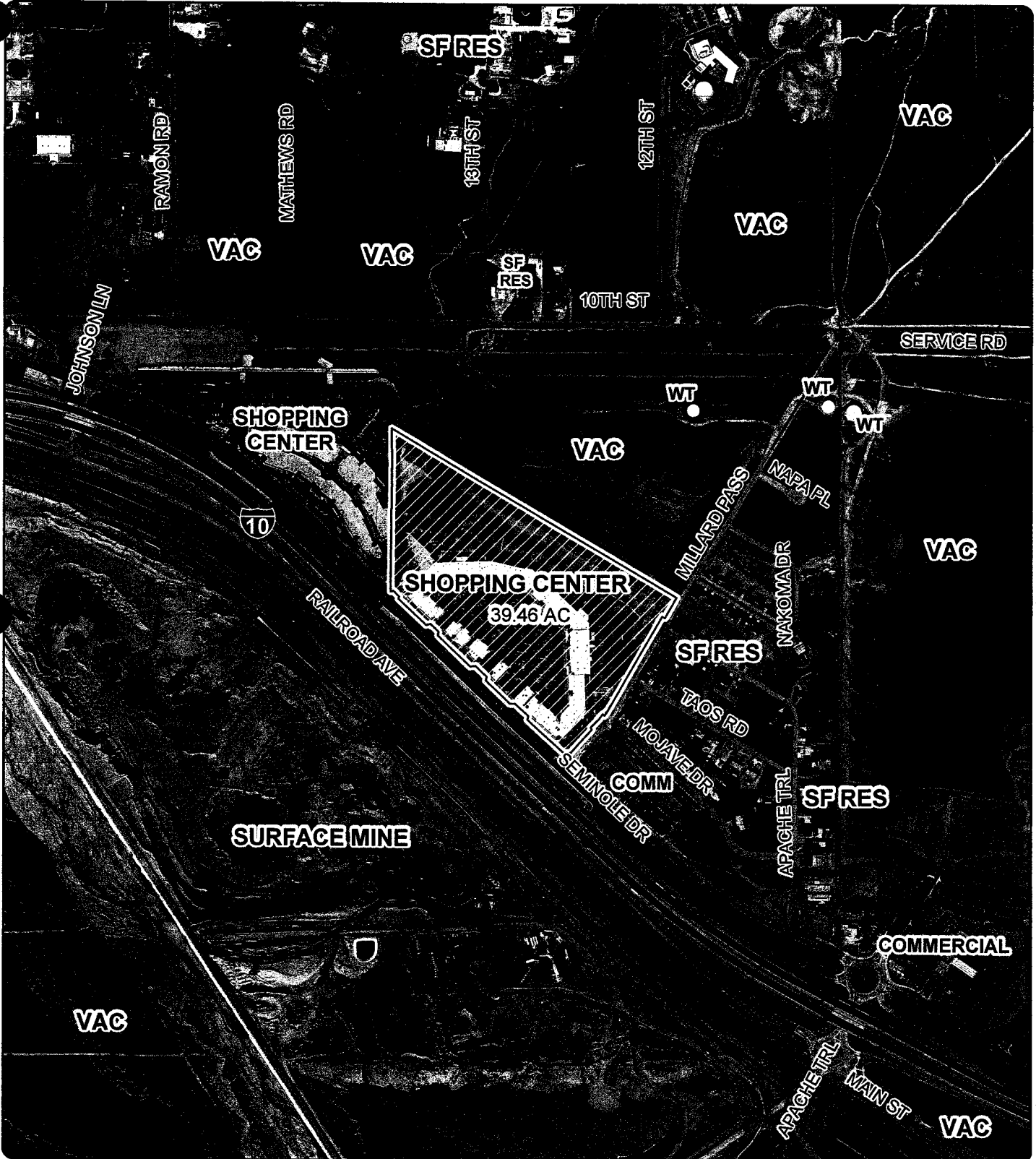
RIVERSIDE COUNTY PLANNING DEPARTMENT

PP23635

LAND USE

Supervisor Ashley  
District: 5

Date Drawn: 1/24/12  
Exhibit 1

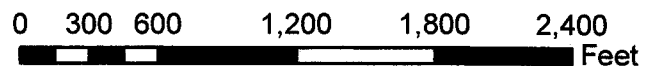


Zoning District: Pass & Desert  
Township/Range: T3SR2E  
Section: 7

Assessors Bk. Pg. 519-11  
Thomas Bros. Pg. 722 J3  
Edition 2009



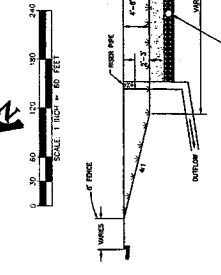
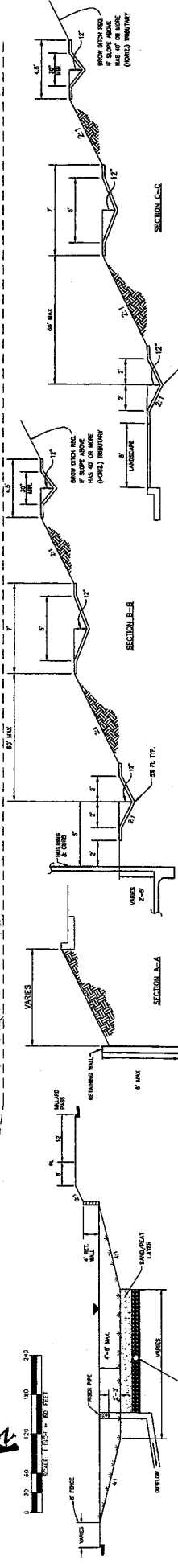
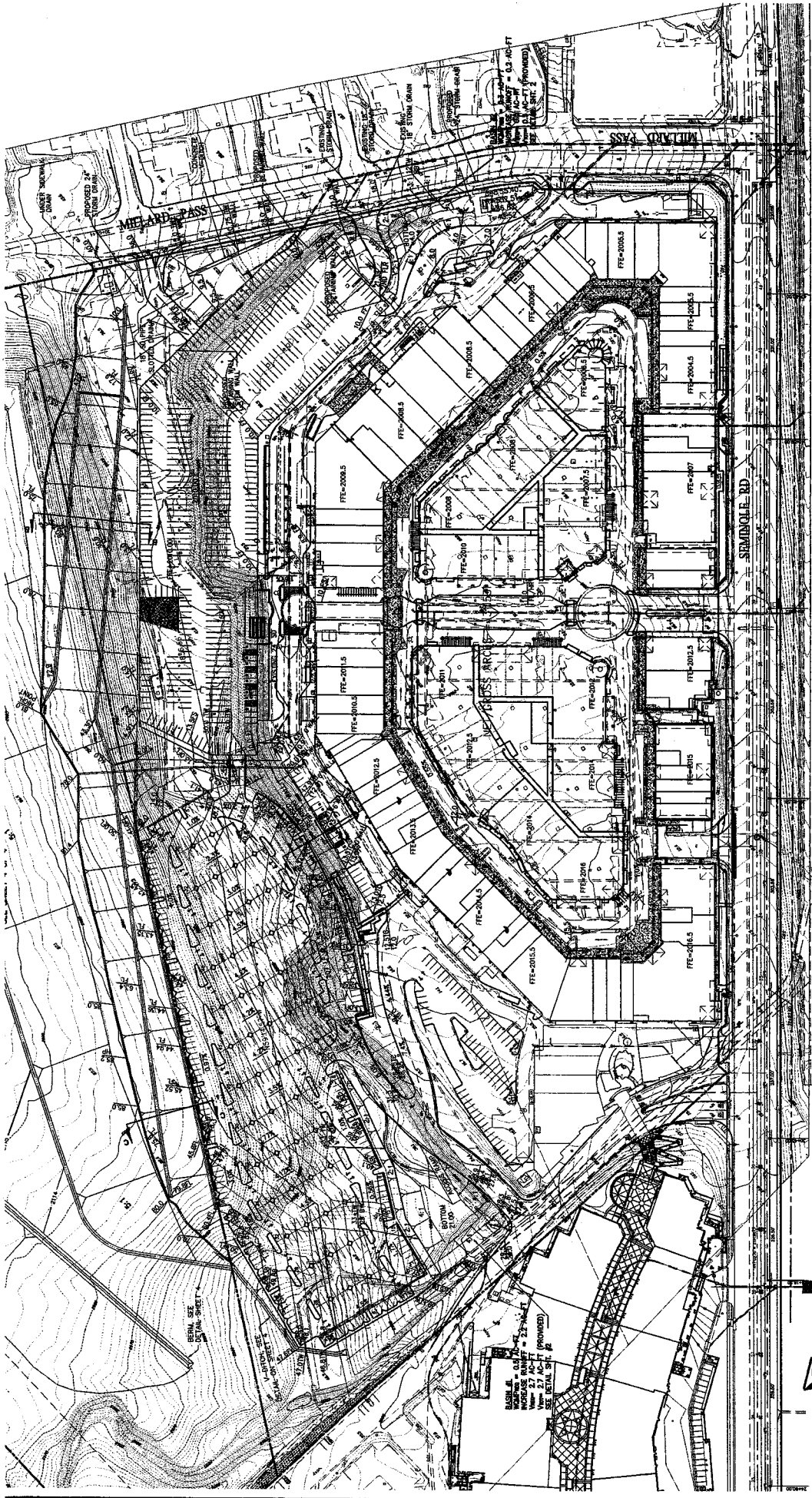
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**KOT CONSULTANTS, INC.**  
 Civil Engineers - Surveyors - Planners  
 2000 West 10th Street, Suite 100  
 Los Angeles, CA 90015  
 (310) 441-1111  
 www.kotconsultants.com

**CONCEPTUAL GRADING  
 DESERT HILLS PREMIUM OUTLETS  
 PHASE 5 EXPANSION**

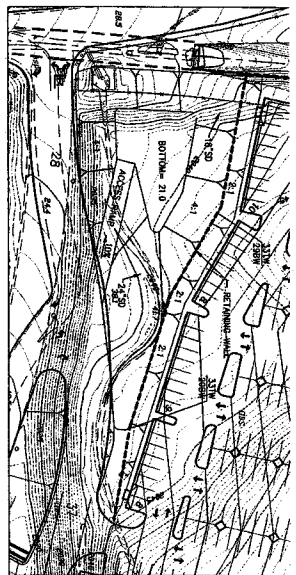
FOR: CHELSEA PK. W. DESERT HILLS  
 NO. 18 THE RD. 1000-02

DATE: AUG 2011  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]  
 APPROVED BY: [Name]

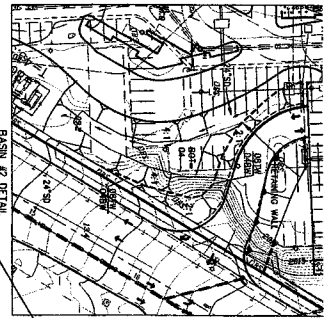
SCALE: 1" = 40'  
 SECTION: [Section Name]  
 SHEET NO.: [Sheet No.]

Underground Service Alert  
 Call TOLL FREE  
 1-800-227-2600  
 TWO MINUTE DAVIS BEFORE YOU DIG

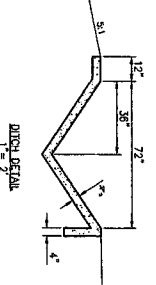
4" to 6" DIA. PROPOSED PIPE LINES  
 SHOWN WITH 2'-0" DIA. SPACING  
 EXCEEDS 8 FT. CLEAR-TO-TOP HEIGHT. AT  
 EXCEEDS 8 FT. CLEAR-TO-TOP HEIGHT. AT  
 EXCEEDS 8 FT. CLEAR-TO-TOP HEIGHT. AT  
 EXCEEDS 8 FT. CLEAR-TO-TOP HEIGHT. AT  
 EXCEEDS 8 FT. CLEAR-TO-TOP HEIGHT. AT



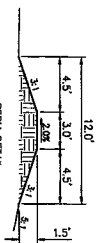
BASIN A1 DETAIL  
1" = 40'



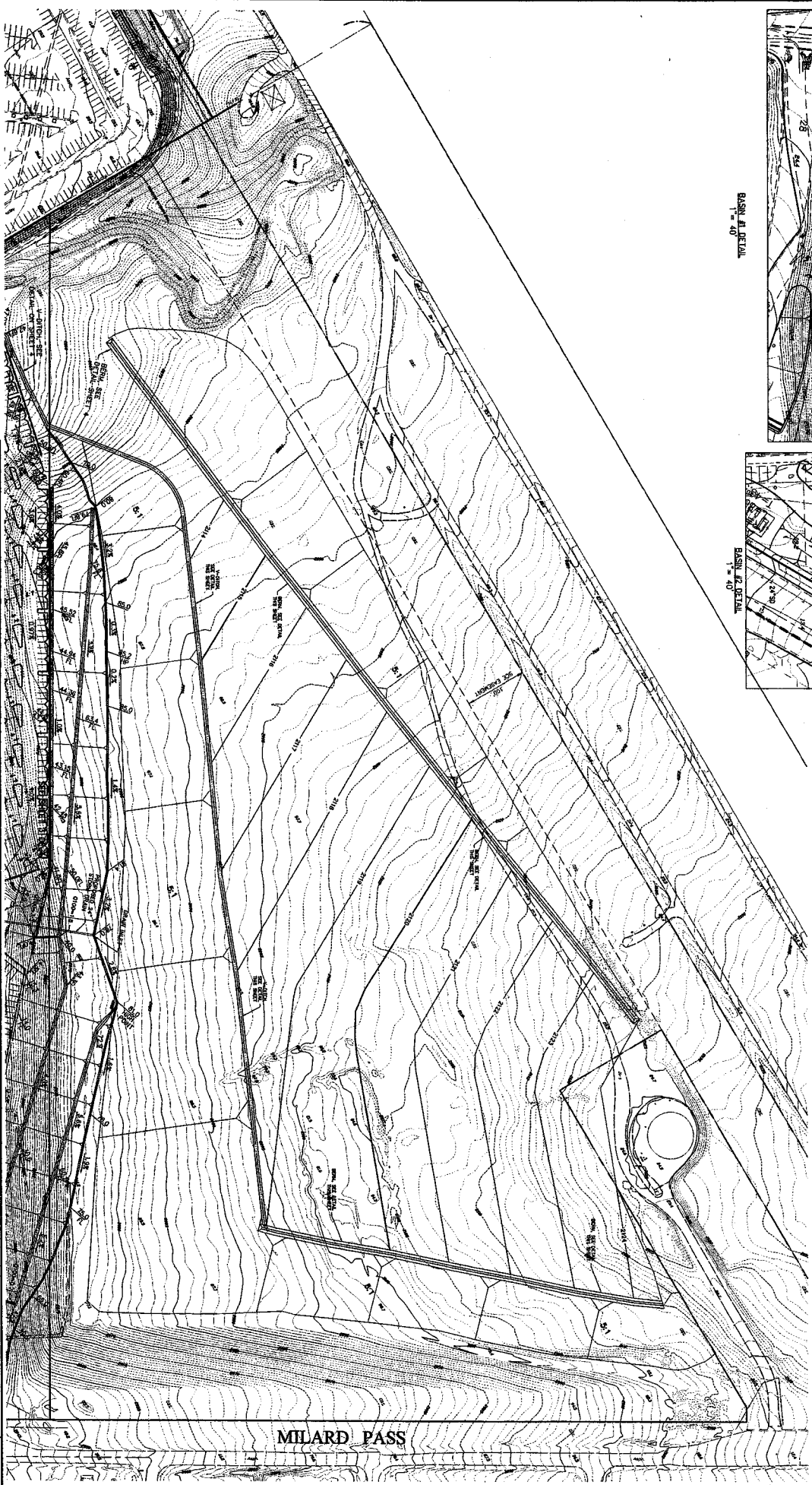
BASIN A2 DETAIL  
1" = 40'



DITCH DETAIL  
1" = 4'



SEWER DETAIL  
1" = 4'



MILARD PASS



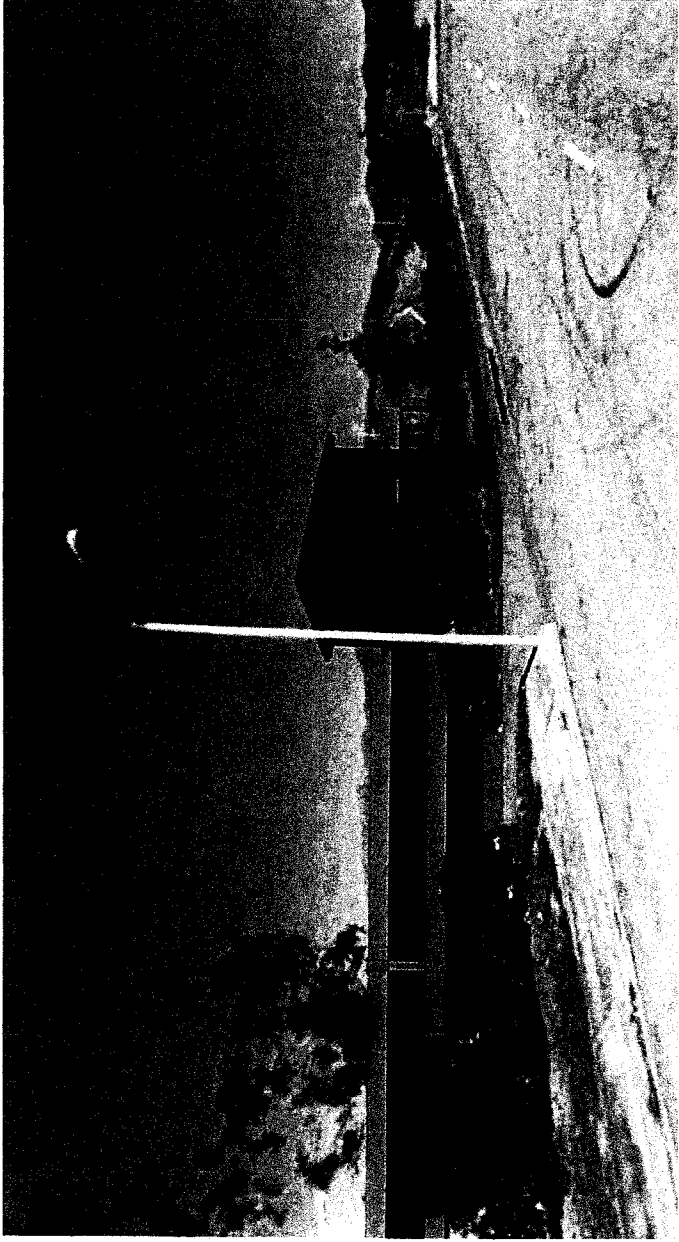
Underground Service Alert  
Call TOLL FREE  
1-800  
227-2800  
Two minutes saves lives. Call us.

APPROVED BY:	DATE:
SCALE:	DATE:

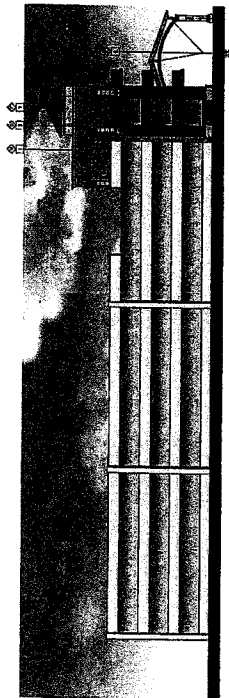
NO.	DATE	BY	REVISION

KT CONSULTANTS, INC.  
3100 N. CENTRAL EXPRESSWAY  
SUITE 200  
DALLAS, TEXAS 75205  
TEL: (214) 343-1111  
FAX: (214) 343-1111

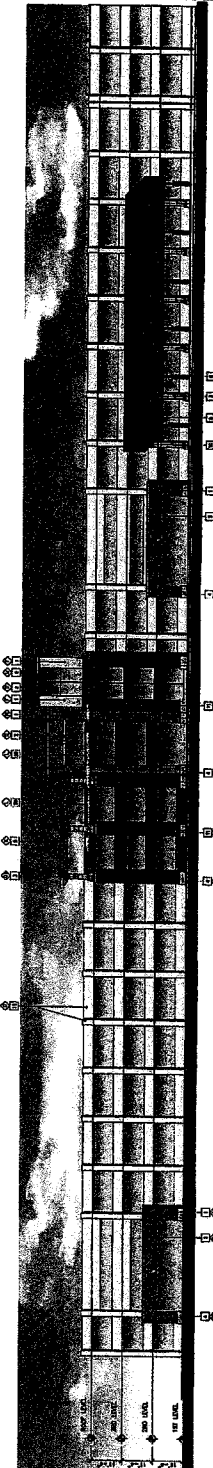
PLOT PLAN 23835  
DESERT HILLS PREMIUM OUTLETS  
EXPORT EXHIBIT  
2  
OF 2 SHEETS



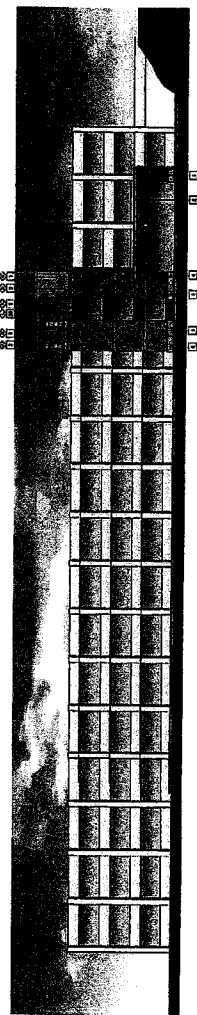
**VIEW FROM MILLARD PASS  
TOWARDS PARKING STRUCTURE**



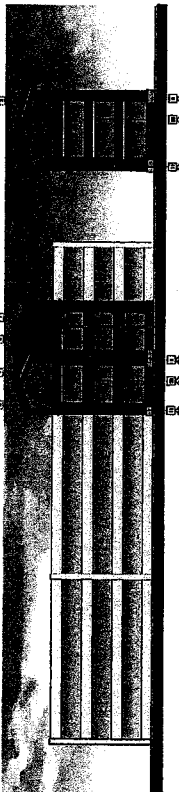
WEST ELEVATION



SOUTH ELEVATION



SOUTHWEST ELEVATION



SOUTHEAST ELEVATION

**MATERIALS**

1. NEW PAINTED MEDIUM SAND FLAT FINISH FACED BRICKS
2. NEW PAINTED MEDIUM SAND FLAT FINISH FACED BRICKS
3. NEW PAINTED MEDIUM SAND FLAT FINISH FACED BRICKS
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19. NEW PAINTED MEDIUM SAND FLAT FINISH FACED BRICKS
20. NEW PAINTED MEDIUM SAND FLAT FINISH FACED BRICKS
21. NEW PAINTED MEDIUM SAND FLAT FINISH FACED BRICKS
22. PRECAST CONCRETE FINISH PANELS

**COLORS**

- A. PRIMER AS EXISTING - LIGHT BEIGE
- B. PRIMER AS EXISTING - LIGHT BEIGE
- C. PRIMER AS EXISTING - LIGHT BEIGE
- D. PRIMER AS EXISTING - LIGHT BEIGE
- E. PRIMER AS EXISTING - LIGHT BEIGE
- F. PRIMER AS EXISTING - LIGHT BEIGE
- G. PRIMER AS EXISTING - LIGHT BEIGE
- H. PRIMER AS EXISTING - LIGHT BEIGE
- I. PRIMER AS EXISTING - LIGHT BEIGE
- J. PRIMER AS EXISTING - LIGHT BEIGE
- K. PRIMER AS EXISTING - LIGHT BEIGE
- L. PRIMER AS EXISTING - LIGHT BEIGE
- M. PRIMER AS EXISTING - LIGHT BEIGE
- N. PRIMER AS EXISTING - LIGHT BEIGE
- O. PRIMER AS EXISTING - LIGHT BEIGE
- P. PRIMER AS EXISTING - LIGHT BEIGE
- Q. PRIMER AS EXISTING - LIGHT BEIGE
- R. PRIMER AS EXISTING - LIGHT BEIGE
- S. PRIMER AS EXISTING - LIGHT BEIGE
- T. PRIMER AS EXISTING - LIGHT BEIGE
- U. PRIMER AS EXISTING - LIGHT BEIGE
- V. PRIMER AS EXISTING - LIGHT BEIGE
- W. PRIMER AS EXISTING - LIGHT BEIGE
- X. PRIMER AS EXISTING - LIGHT BEIGE
- Y. PRIMER AS EXISTING - LIGHT BEIGE
- Z. PRIMER AS EXISTING - LIGHT BEIGE

**MATERIAL LEGEND**

**KEY PLAN**

PARKING STRUCTURE ELEVATIONS

A5.24



DESERT HILLS PREMIUM OUTLETS CABAZON, CA

ARCHITECTS ORANGE

PREMIUM OUTLETS  
SIMON

© 2007 Architects Orange  
1000 N. Tustin Ave., Suite 100  
Orange, CA 92667-1000  
Tel: 714.962.1000  
Fax: 714.962.1001

**MATERIALS**

1. NEW PAINTED METAL SAND BLAST FINISH PAPER WALLS
2. NEW PAINTED METAL SAND BLAST FINISH PAPER WALLS
3. NEW PRECAST CONCRETE COLUMN AND BEAM COLLARS
4. NEW PRECAST CONCRETE COLUMN AND BEAM COLLARS
5. NEW EXPOSED ROOF AND TERRACE REINFORCING
6. NEW ONE PLY GUT DRAINAGE, 30/35 TYP. AT NEW ROOFS AND TO EXISTING ROOFS
7. NEW HANGING METAL CANOPY WITH METAL DOOR
8. NEW PAINTED METAL SAND BLAST FINISH PAPER WALLS
9. NEW CONCRETE METAL SAND BLAST FINISH PAPER WALLS
10. NEW CONCRETE METAL SAND BLAST FINISH PAPER WALLS
11. NEW PAINTED METAL SAND BLAST FINISH PAPER WALLS
12. NEW PAINTED METAL SAND BLAST FINISH PAPER WALLS
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21. NEW PAINTED METAL SAND BLAST FINISH PAPER WALLS
22. NEW PAINTED METAL SAND BLAST FINISH PAPER WALLS

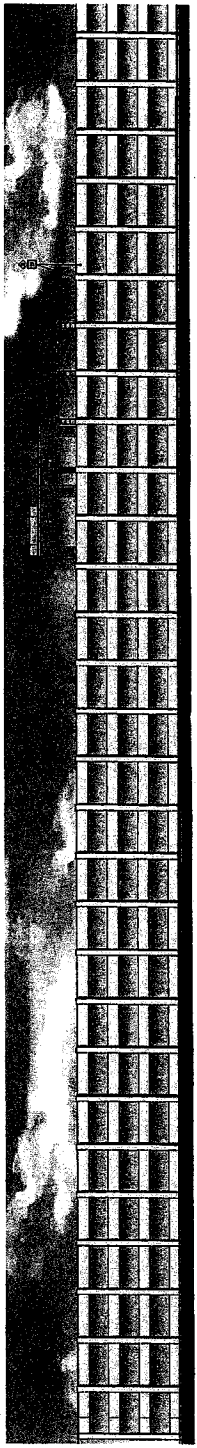
**COLORS**

- A. PRINCE OF GEORGES - HIGH GLOSS
- B. PRINCE OF GEORGES - SATIN
- C. PRINCE OF GEORGES - MATTE
- D. PRINCE OF GEORGES - SEMI-MATTE
- E. PRINCE OF GEORGES - LOW GLOSS
- F. PRINCE OF GEORGES - VERY LOW GLOSS
- G. PRINCE OF GEORGES - FLAT
- H. PRINCE OF GEORGES - UNFINISHED
- I. PRINCE OF GEORGES - UNFINISHED
- J. PRINCE OF GEORGES - UNFINISHED
- K. PRINCE OF GEORGES - UNFINISHED
- L. PRINCE OF GEORGES - UNFINISHED
- M. PRINCE OF GEORGES - UNFINISHED
- N. PRINCE OF GEORGES - UNFINISHED
- O. PRINCE OF GEORGES - UNFINISHED
- P. PRINCE OF GEORGES - UNFINISHED
- Q. PRINCE OF GEORGES - UNFINISHED
- R. PRINCE OF GEORGES - UNFINISHED
- S. PRINCE OF GEORGES - UNFINISHED
- T. PRINCE OF GEORGES - UNFINISHED
- U. PRINCE OF GEORGES - UNFINISHED
- V. PRINCE OF GEORGES - UNFINISHED
- W. PRINCE OF GEORGES - UNFINISHED
- X. PRINCE OF GEORGES - UNFINISHED
- Y. PRINCE OF GEORGES - UNFINISHED
- Z. PRINCE OF GEORGES - UNFINISHED

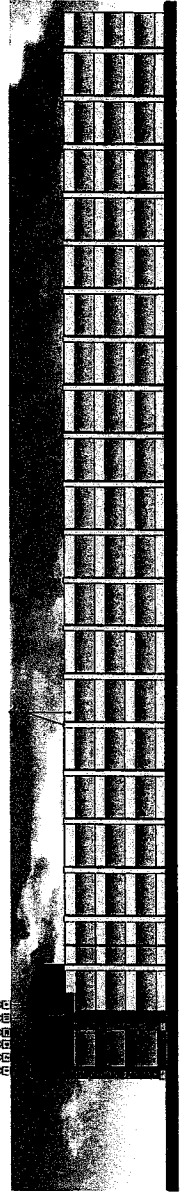
**KEY PLAN**



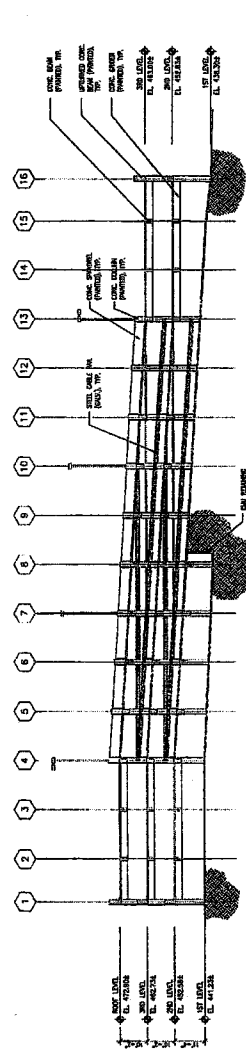
**MATERIAL LEGEND**



**NORTH ELEVATION**



**NORTHEAST ELEVATION**



**SECTION**

**PARKING STRUCTURE ELEVATIONS**

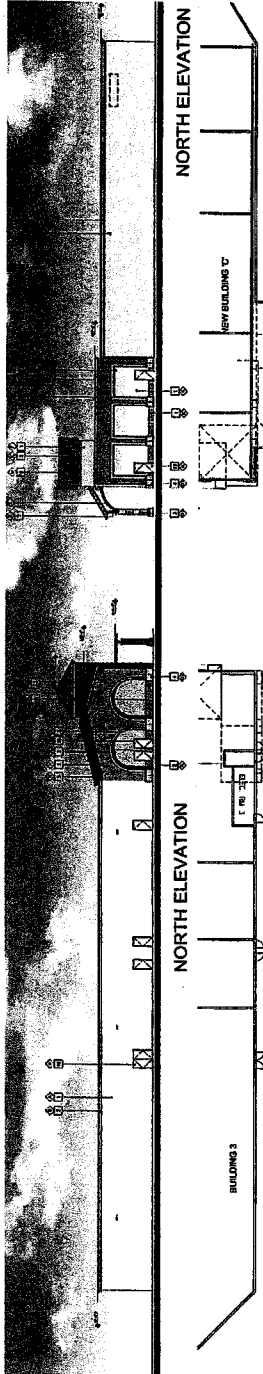
**A5.25**



**ARCHITECTS ORANGE**

**DESERT HILLS PREMIUM OUTLETS CABAZON, CA**

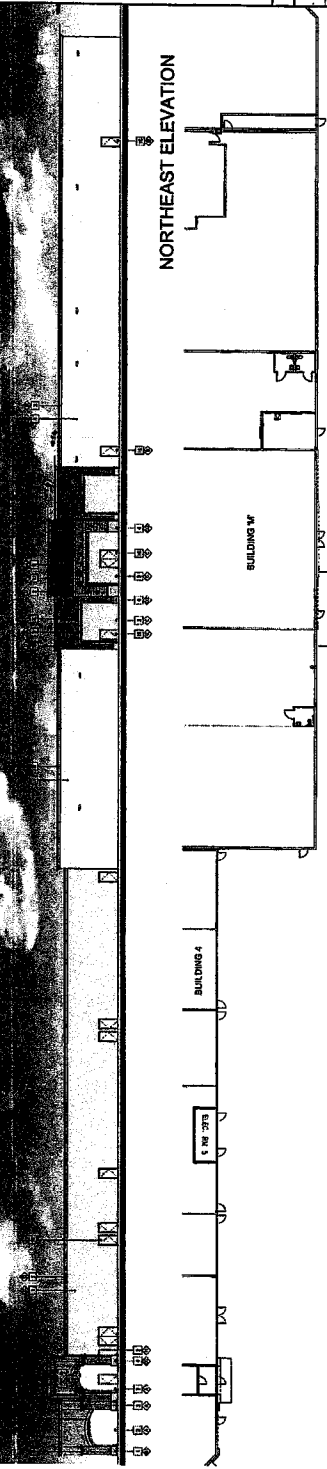
**PREMIUM OUTLETS SIMON**



NORTH ELEVATION

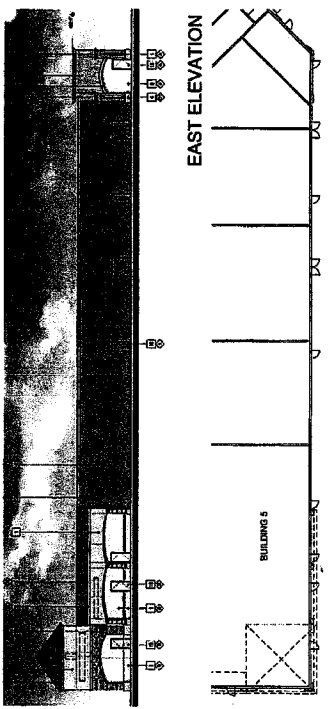
PARTIAL FLOOR PLAN - BUILDING 3B REAR

PARTIAL FLOOR PLAN - BUILDING 3A REAR



NORTHEAST ELEVATION

PARTIAL FLOOR PLAN - BUILDING 4 & 1M - REAR



EAST ELEVATION

PARTIAL FLOOR PLAN - BUILDING 5 - REAR

**MATERIALS**

1. NEW PARTIAL REAR END PLANT FRAMES PLASTER WALLS
2. NEW PARTIAL REAR END PLANT FRAMES PLASTER WALLS
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48. NEW PARTIAL REAR END PLANT FRAMES PLASTER WALLS
49. NEW PARTIAL REAR END PLANT FRAMES PLASTER WALLS
50. NEW PARTIAL REAR END PLANT FRAMES PLASTER WALLS

**COLORS**

1. PRINCE POLYURETHANE - NEAR TOWER
2. PRINCE POLYURETHANE - NEAR TOWER
3. PRINCE POLYURETHANE - NEAR TOWER
4. PRINCE POLYURETHANE - NEAR TOWER
5. PRINCE POLYURETHANE - NEAR TOWER
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49. PRINCE POLYURETHANE - NEAR TOWER
50. PRINCE POLYURETHANE - NEAR TOWER

**MATERIAL LEGEND**

1. CONCRETE
2. BRICK
3. BLOCK
4. STONE
5. TILE
6. GLASS
7. METAL
8. WOOD
9. PLASTER
10. GYPSUM
11. INSULATION
12. ROOFING
13. PAINT
14. FINISH
15. FLOORING
16. CEILING
17. PARTITION
18. CURTAIN WALL
19. GLAZING
20. WINDOW
21. DOOR
22. RAMP
23. STAIR
24. ELEVATOR
25. MECHANICAL
26. ELECTRICAL
27. PLUMBING
28. HVAC
29. LIGHTING
30. SIGNAGE
31. FURNITURE
32. FIXTURES
33. EQUIPMENT
34. STORAGE
35. SECURITY
36. ACCESSIBILITY
37. SUSTAINABILITY
38. GREEN BUILDING
39. SMART BUILDING
40. WELLNESS
41. BIOPHILIC
42. RESILIENT
43. ADAPTIVE
44. FLEXIBLE
45. INCLUSIVE
46. TRANSPARENT
47. COLLABORATIVE
48. COMMUNITY-ORIENTED
49. CULTURALLY SENSITIVE
50. HISTORICALLY SENSITIVE

**KEY PLAN**

REMODEL PARTIAL FLOOR PLANS & ELEVATIONS BLDGS NEW 'C', 3, 'M', 4 & 5 REARS

A4.25

SCALE: 1/8" = 1'-0"

DATE: 08/20/2024

DESIGNER: ARCHITECTS ORANGE

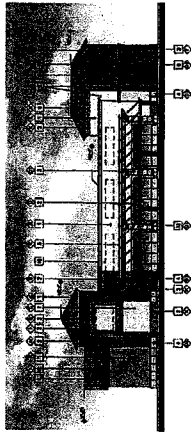
PROJECT: DESERT HILLS PREMIUM OUTLETS EXPANSION

SIMON

DESERT HILLS PREMIUM OUTLETS EXPANSION

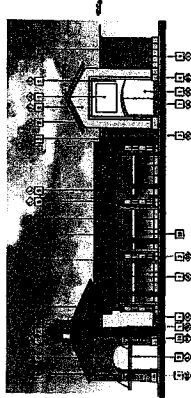
ARCHITECTS ORANGE

ARCHITECTS ORANGE



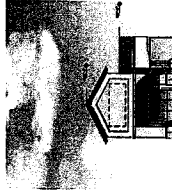
WEST ELEVATION

BUILDING 3



EAST ELEVATION

PARTIAL FLOOR PLAN - BUILDING 3B



SOUTHWEST ELEVATION

BUILDING 3B

PARTIAL FLOOR PLAN - BUILDING 3A



SOUTHEAST ELEVATION

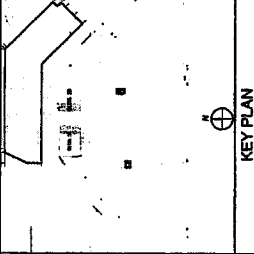
BUILDING 3A

PARTIAL FLOOR PLANS - BUILDING 3B

PARTIAL FLOOR PLANS - BUILDING 3A

MATERIALS	
1.	CONCRETE
2.	PAINTED METAL PANELS
3.	PAINTED METAL PANELS
4.	PAINTED METAL PANELS
5.	PAINTED METAL PANELS
6.	PAINTED METAL PANELS
7.	PAINTED METAL PANELS
8.	PAINTED METAL PANELS
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97.	PAINTED METAL PANELS
98.	PAINTED METAL PANELS
99.	PAINTED METAL PANELS
100.	PAINTED METAL PANELS

MATERIAL LEGEND



KEY PLAN

REMODEL PARTIAL FLOOR PLANS & ELEVATIONS BLDGS 3A & 3B A4.26

SCALE: 1/8" = 1'-0"

0' 10' 20'

DATE: 04-11-11

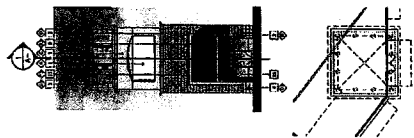
PROJECT: DESERT HILLS PREMIUM OUTLETS EXPANSION

ARCHITECTS ORANGE

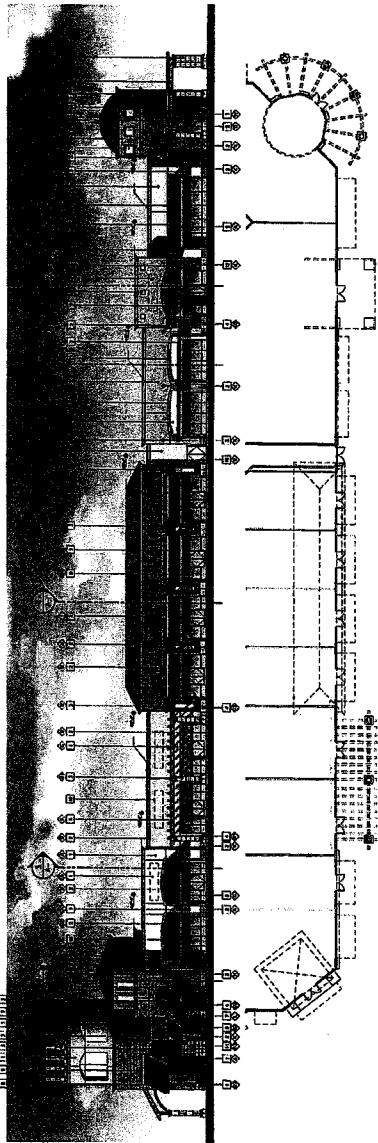
DESERT HILLS PREMIUM OUTLETS EXPANSION

PREMIUM OUTLETS SIMON

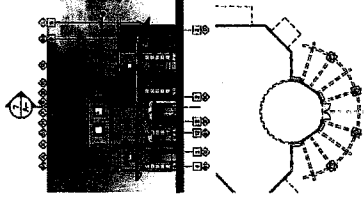




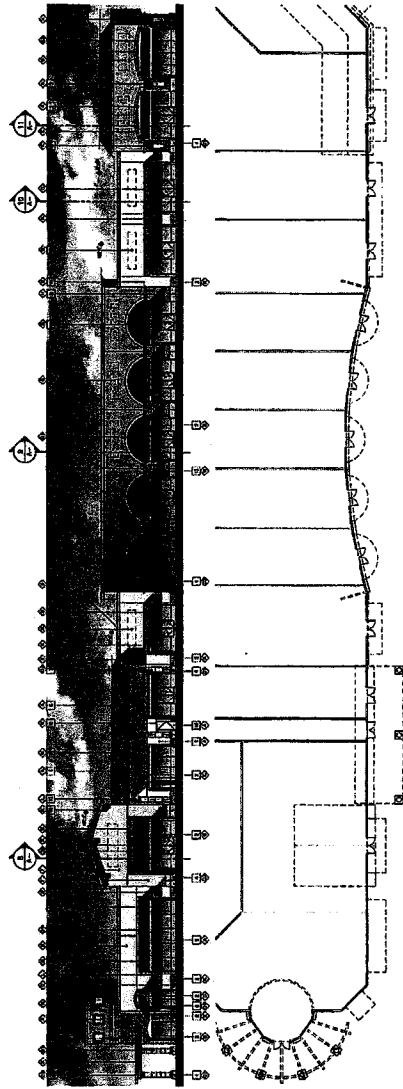
BUILDING B  
SOUTHWEST ELEVATION  
& PARTIAL FLOOR PLAN



BUILDING B SOUTH ELEVATION & PARTIAL FLOOR PLAN



BUILDING B  
SOUTHEAST ELEVATION  
& PARTIAL FLOOR PLAN



BUILDING B NORTHEAST ELEVATION & PARTIAL FLOOR PLAN

MATERIALS	
1.	PRECAST CONCRETE
2.	PRECAST CONCRETE
3.	PRECAST CONCRETE
4.	PRECAST CONCRETE
5.	PRECAST CONCRETE
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18.	PRECAST CONCRETE
19.	PRECAST CONCRETE
20.	PRECAST CONCRETE
21.	PRECAST CONCRETE
22.	PRECAST CONCRETE

COLORS	
A.	PRECAST CONCRETE - UNFINISHED
B.	PRECAST CONCRETE - FINISHED
C.	PRECAST CONCRETE - FINISHED
D.	PRECAST CONCRETE - FINISHED
E.	PRECAST CONCRETE - FINISHED
F.	PRECAST CONCRETE - FINISHED
G.	PRECAST CONCRETE - FINISHED
H.	PRECAST CONCRETE - FINISHED
I.	PRECAST CONCRETE - FINISHED
J.	PRECAST CONCRETE - FINISHED
K.	PRECAST CONCRETE - FINISHED
L.	PRECAST CONCRETE - FINISHED
M.	PRECAST CONCRETE - FINISHED
N.	PRECAST CONCRETE - FINISHED
O.	PRECAST CONCRETE - FINISHED
P.	PRECAST CONCRETE - FINISHED
Q.	PRECAST CONCRETE - FINISHED
R.	PRECAST CONCRETE - FINISHED
S.	PRECAST CONCRETE - FINISHED
T.	PRECAST CONCRETE - FINISHED
U.	PRECAST CONCRETE - FINISHED
V.	PRECAST CONCRETE - FINISHED
W.	PRECAST CONCRETE - FINISHED
X.	PRECAST CONCRETE - FINISHED
Y.	PRECAST CONCRETE - FINISHED
Z.	PRECAST CONCRETE - FINISHED



BUILDING B ELEVATIONS & FLOOR PLAN  
A3.21

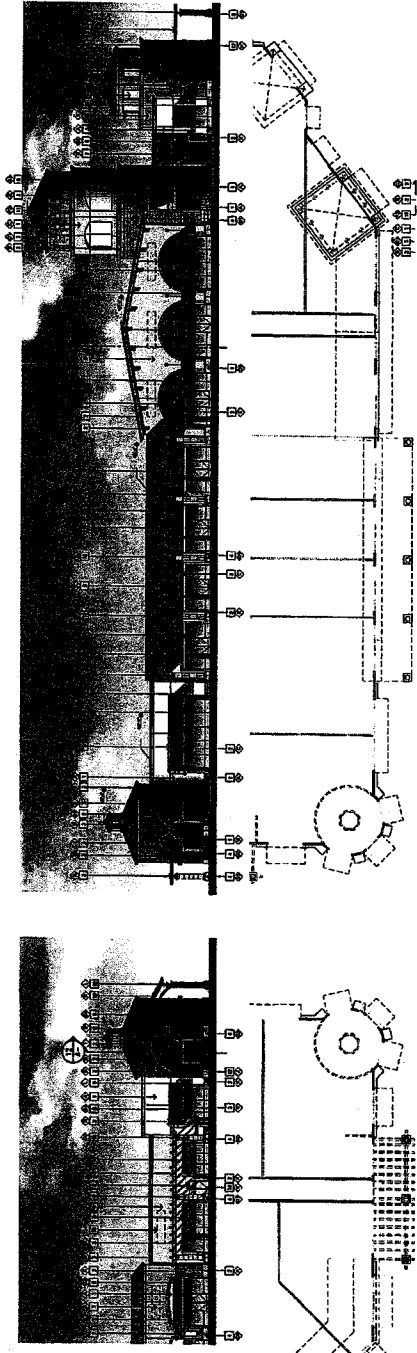
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2006-030 8-5-11



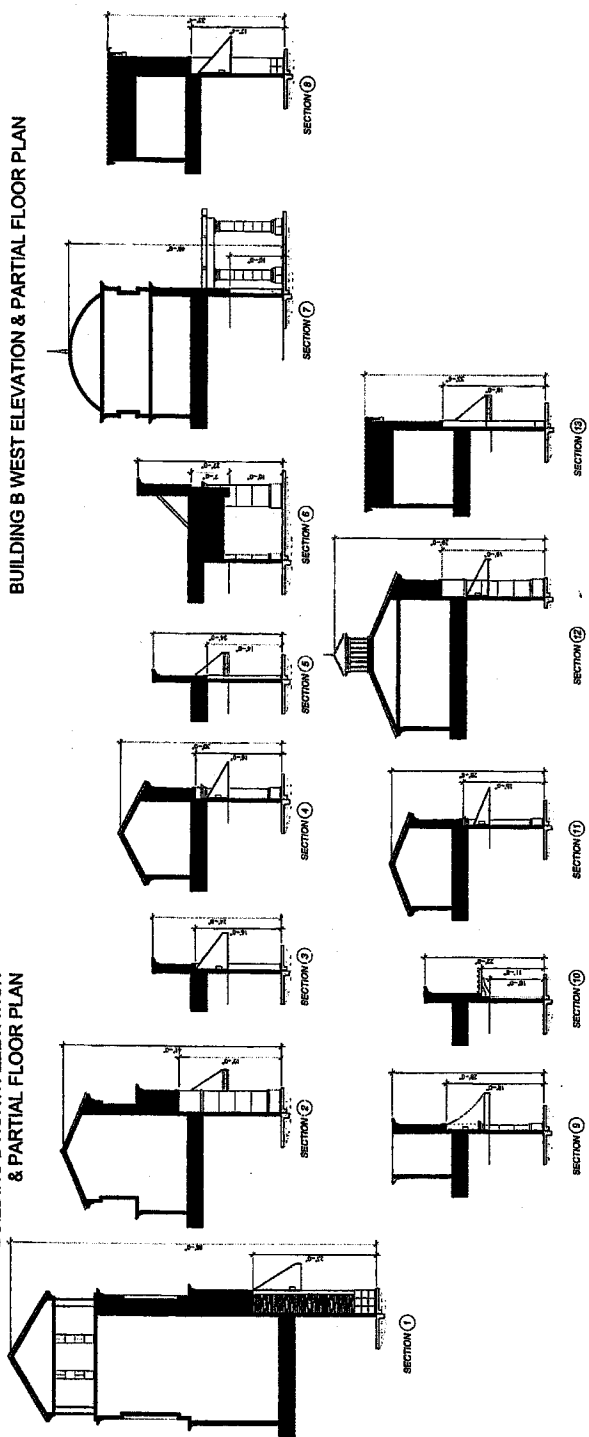
DESERT HILLS PREMIUM OUTLETS CABAZON, CA

PREMIUM OUTLETS  
SIMON



BUILDING B NORTH ELEVATION & PARTIAL FLOOR PLAN

BUILDING B WEST ELEVATION & PARTIAL FLOOR PLAN



BUILDING B CANOPY SECTIONS

**MATERIALS**

1. NEW PAINTED METAL AND LIGHT FINISH PLASTER WALLS
2. NEW PAINTED METAL AND LIGHT FINISH PLASTER WALLS
3. NEW PAINTED METAL AND LIGHT FINISH PLASTER WALLS
4. NEW PAINTED METAL AND LIGHT FINISH PLASTER WALLS
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17. NEW PAINTED METAL AND LIGHT FINISH PLASTER WALLS
18. NEW PAINTED METAL AND LIGHT FINISH PLASTER WALLS
19. NEW PAINTED METAL AND LIGHT FINISH PLASTER WALLS
20. NEW PAINTED METAL AND LIGHT FINISH PLASTER WALLS
21. NEW PAINTED METAL AND LIGHT FINISH PLASTER WALLS
22. NEW PAINTED METAL AND LIGHT FINISH PLASTER WALLS

**COLORS**

- A. PRIMER EXTERIOR - LIGHT MEDIUM
- B. PRIMER EXTERIOR - LIGHT MEDIUM
- C. PRIMER EXTERIOR - LIGHT MEDIUM
- D. PRIMER EXTERIOR - LIGHT MEDIUM
- E. PRIMER EXTERIOR - LIGHT MEDIUM
- F. PRIMER EXTERIOR - LIGHT MEDIUM
- G. PRIMER EXTERIOR - LIGHT MEDIUM
- H. PRIMER EXTERIOR - LIGHT MEDIUM
- I. PRIMER EXTERIOR - LIGHT MEDIUM
- J. PRIMER EXTERIOR - LIGHT MEDIUM
- K. PRIMER EXTERIOR - LIGHT MEDIUM
- L. PRIMER EXTERIOR - LIGHT MEDIUM
- M. PRIMER EXTERIOR - LIGHT MEDIUM
- N. PRIMER EXTERIOR - LIGHT MEDIUM
- O. PRIMER EXTERIOR - LIGHT MEDIUM
- P. PRIMER EXTERIOR - LIGHT MEDIUM
- Q. PRIMER EXTERIOR - LIGHT MEDIUM
- R. PRIMER EXTERIOR - LIGHT MEDIUM
- S. PRIMER EXTERIOR - LIGHT MEDIUM
- T. PRIMER EXTERIOR - LIGHT MEDIUM
- U. PRIMER EXTERIOR - LIGHT MEDIUM
- V. PRIMER EXTERIOR - LIGHT MEDIUM
- W. PRIMER EXTERIOR - LIGHT MEDIUM
- X. PRIMER EXTERIOR - LIGHT MEDIUM
- Y. PRIMER EXTERIOR - LIGHT MEDIUM
- Z. PRIMER EXTERIOR - LIGHT MEDIUM

**MATERIAL LEGEND**

**KEY PLAN**

BUILDING B ELEVATIONS, SECTIONS, & FLOOR PLAN

A3.22

SECTION SCALE: 1/8" = 1'-0"  
 ELEVATION SCALE: 1/8" = 1'-0"  
 0 5 10 15 20 25 30 35 40

DESERT HILLS PREMIUM OUTLETS CABAZON, CA

ARCHITECTS ORANGE

PREMIUM OUTLETS  
SIMON

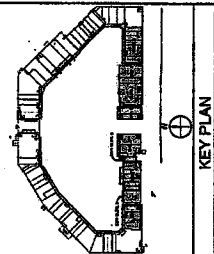
**MATERIALS**

1. NEW PAINTED METAL SHINGLES (FLAT) - FRESH PLASTER OVER
2. COMPACTED GRAVEL, TRUCK AND COLUMN FOOTINGS
3. 4" CONCRETE SLAB ON GRAVEL
4. 4" CONCRETE SLAB ON GRAVEL
5. 4" CONCRETE SLAB ON GRAVEL
6. 4" CONCRETE SLAB ON GRAVEL
7. 4" CONCRETE SLAB ON GRAVEL
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19. 4" CONCRETE SLAB ON GRAVEL
20. 4" CONCRETE SLAB ON GRAVEL
21. 4" CONCRETE SLAB ON GRAVEL
22. 4" CONCRETE SLAB ON GRAVEL

**COLORS**

- A. PRINCE OF WALES - NEW WOOD
- B. PRINCE OF WALES - NEW WOOD
- C. PRINCE OF WALES - NEW WOOD
- D. PRINCE OF WALES - NEW WOOD
- E. PRINCE OF WALES - NEW WOOD
- F. PRINCE OF WALES - NEW WOOD
- G. PRINCE OF WALES - NEW WOOD
- H. PRINCE OF WALES - NEW WOOD
- I. PRINCE OF WALES - NEW WOOD
- J. PRINCE OF WALES - NEW WOOD
- K. PRINCE OF WALES - NEW WOOD
- L. PRINCE OF WALES - NEW WOOD
- M. PRINCE OF WALES - NEW WOOD
- N. PRINCE OF WALES - NEW WOOD
- O. PRINCE OF WALES - NEW WOOD
- P. PRINCE OF WALES - NEW WOOD
- Q. PRINCE OF WALES - NEW WOOD
- R. PRINCE OF WALES - NEW WOOD
- S. PRINCE OF WALES - NEW WOOD
- T. PRINCE OF WALES - NEW WOOD
- U. PRINCE OF WALES - NEW WOOD
- V. PRINCE OF WALES - NEW WOOD
- W. PRINCE OF WALES - NEW WOOD
- X. PRINCE OF WALES - NEW WOOD
- Y. PRINCE OF WALES - NEW WOOD
- Z. PRINCE OF WALES - NEW WOOD

**MATERIAL LEGEND**

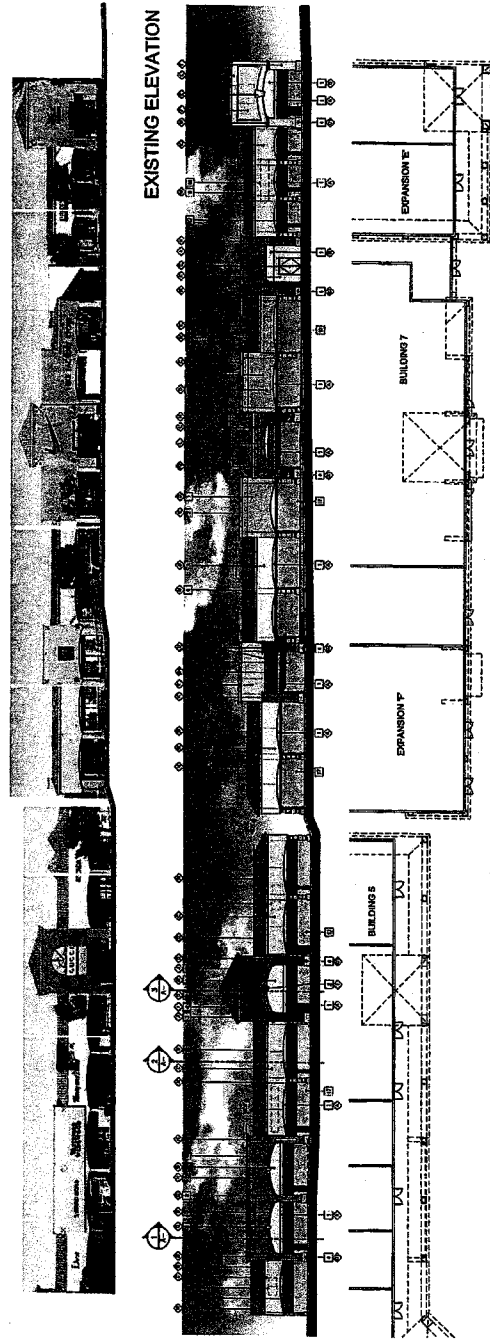


REMODEL PARTIAL FLOOR PLANS & ELEVATIONS BLDGS 1, 5, 6, 7 & EXPANSION D, E, & F

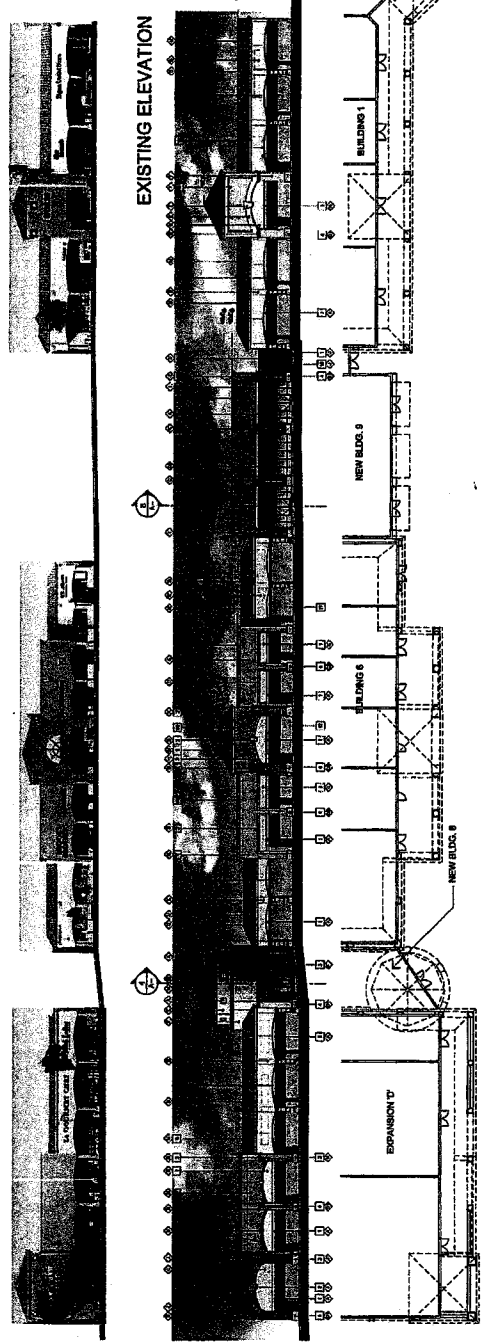
A4-20



SCALE: 1/8" = 1'-0"  
0 5' 10' 20'



PROPOSED NORTH ELEVATION & PARTIAL FLOOR PLAN - BLDG 5, EXPANSION F, EXPANSION E, & BUILDING 7



PROPOSED NORTH ELEVATION & PARTIAL FLOOR PLAN - EXPANSION D, BUILDING 6, NEW BUILDING D, & BUILDING 1

DESERT HILLS PREMIUM OUTLETS CABAZON, CA

PREMIUM OUTLETS SIMON

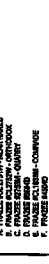
ARCHITECTS ORANGE

ARCHITECTS ORANGE logo

- MATERIALS**
1. 1/2" PORTLAND CEMENT PLASTER OVER LATH
  2. 1/2" PORTLAND CEMENT PLASTER OVER LATH
  3. 1/2" PORTLAND CEMENT PLASTER OVER LATH
  4. 1/2" PORTLAND CEMENT PLASTER OVER LATH
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  48. 1/2" PORTLAND CEMENT PLASTER OVER LATH
  49. 1/2" PORTLAND CEMENT PLASTER OVER LATH
  50. 1/2" PORTLAND CEMENT PLASTER OVER LATH

- COLORS**
1. PRIMER COLOR - BEIGE SAND
  2. PRIMER COLOR - BEIGE SAND
  3. PRIMER COLOR - BEIGE SAND
  4. PRIMER COLOR - BEIGE SAND
  5. PRIMER COLOR - BEIGE SAND
  6. PRIMER COLOR - BEIGE SAND
  7. PRIMER COLOR - BEIGE SAND
  8. PRIMER COLOR - BEIGE SAND
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  47. PRIMER COLOR - BEIGE SAND
  48. PRIMER COLOR - BEIGE SAND
  49. PRIMER COLOR - BEIGE SAND
  50. PRIMER COLOR - BEIGE SAND

**MATERIAL LEGEND**



**REMODEL PARTIAL FLOOR PLANS & ELEVATIONS BLDGS 1, 2, & 3**

**A4.21**

2008.0308 04.21



PREMIUM OUTLETS  
SIMON

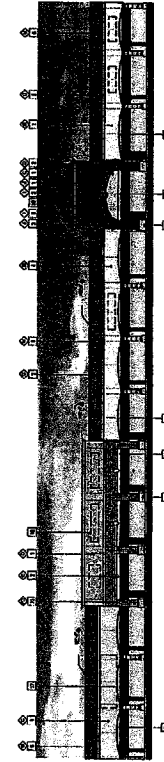
DESERT HILLS PREMIUM OUTLETS EXPANSION

ARCHITECTS ORANGE

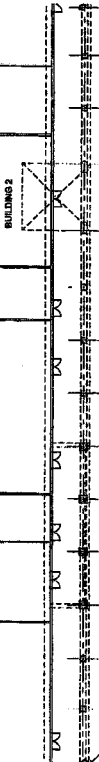
SCALE 1/4" = 1'-0"



EXISTING ELEVATION



PROPOSED EAST ELEVATION & PARTIAL FLOOR PLAN - BUILDING 1



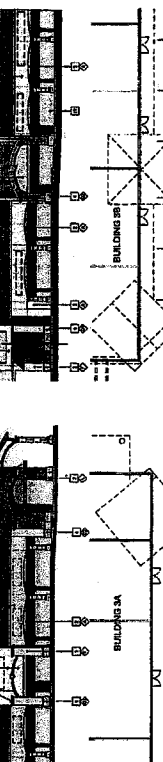
EXISTING ELEVATION



PROPOSED SOUTH EAST ELEVATION & PARTIAL FLOOR PLAN - BUILDING 2



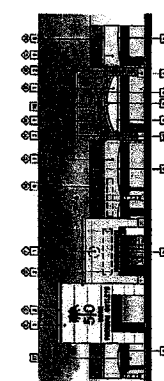
EXISTING ELEVATION



PROPOSED SOUTH ELEVATION & PARTIAL FLOOR PLAN - BUILDING 3B



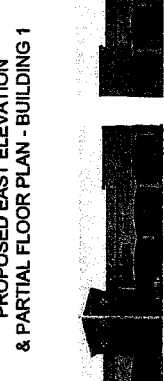
EXISTING ELEVATION



PROPOSED NORTH EAST ELEV. & PARTIAL FLOOR PLAN - BUILDING 1



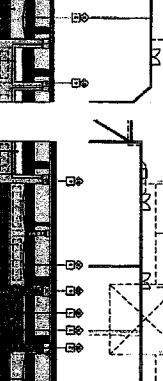
EXISTING ELEVATION



PROPOSED SOUTH EAST ELEVATION & PARTIAL FLOOR PLAN - BUILDING 2



EXISTING ELEVATION



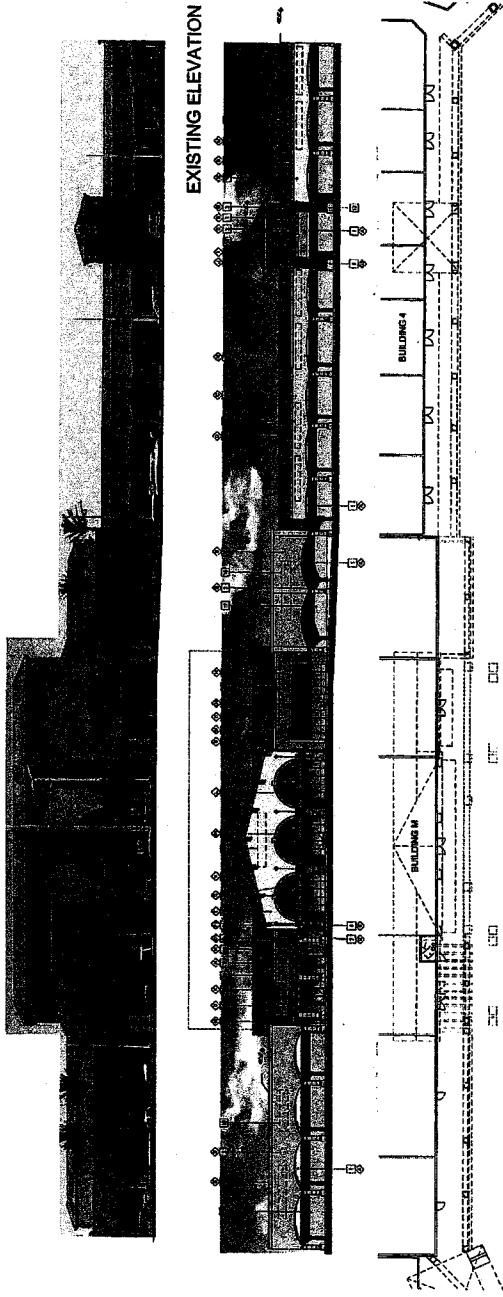
PROPOSED SOUTH ELEVATION & PARTIAL FLOOR PLAN - BUILDING 3A

DESERT HILLS PREMIUM OUTLETS EXPANSION

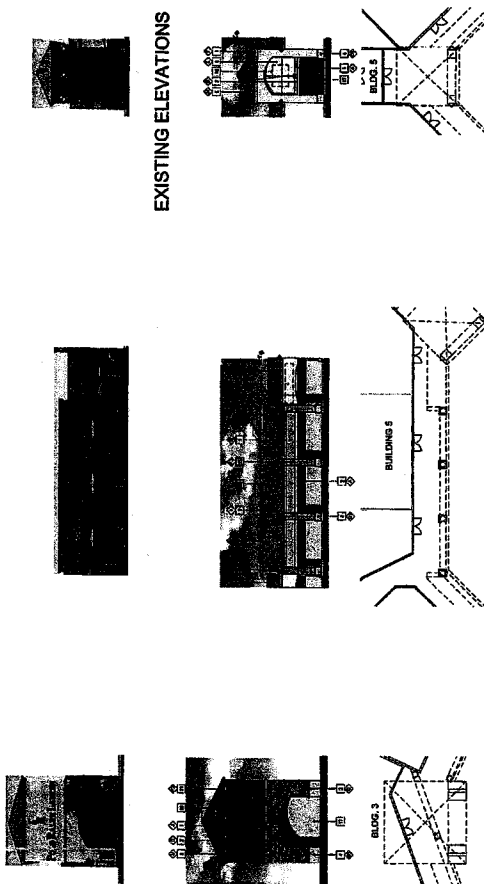
ARCHITECTS ORANGE

PREMIUM OUTLETS  
SIMON

SCALE 1/4" = 1'-0"



PROPOSED SOUTHWEST ELEVATION & PARTIAL FLOOR PLAN - BUILDING M & 4

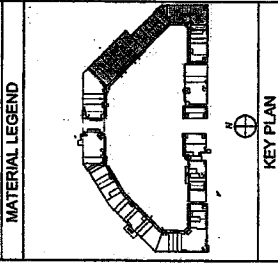


PROPOSED SOUTHWEST ELEV. & PARTIAL FLOOR PLAN - BLDG. 3 & PARTIAL FLOOR PLAN - BUILDING 5

DESERT HILLS PREMIUM OUTLETS CABAZON, CA

PREMIUM OUTLETS  
SIMON

- MATERIALS**
1. NEW PAINTED MERRIM SAND BLAST FINISH PLASTER WALLS
  2. NEW PAINTED MERRIM SAND BLAST FINISH PLASTER WALLS
  3. NEW PRECAST CONCRETE COLUMNS AND BEAMS COLUMNS
  4. NEW PRECAST CONCRETE COLUMNS AND BEAMS COLUMNS
  5. NEW PRECAST CONCRETE COLUMNS AND BEAMS COLUMNS
  6. NEW PRECAST CONCRETE COLUMNS AND BEAMS COLUMNS
  7. NEW PRECAST CONCRETE COLUMNS AND BEAMS COLUMNS
  8. NEW PRECAST CONCRETE COLUMNS AND BEAMS COLUMNS
  9. NEW PRECAST CONCRETE COLUMNS AND BEAMS COLUMNS
  10. NEW PRECAST CONCRETE COLUMNS AND BEAMS COLUMNS
  11. NEW PRECAST CONCRETE COLUMNS AND BEAMS COLUMNS
  12. NEW PRECAST CONCRETE COLUMNS AND BEAMS COLUMNS
  13. NEW PRECAST CONCRETE COLUMNS AND BEAMS COLUMNS
  14. NEW PRECAST CONCRETE COLUMNS AND BEAMS COLUMNS
  15. NEW PRECAST CONCRETE COLUMNS AND BEAMS COLUMNS
  16. NEW PRECAST CONCRETE COLUMNS AND BEAMS COLUMNS
  17. NEW PRECAST CONCRETE COLUMNS AND BEAMS COLUMNS
  18. NEW PRECAST CONCRETE COLUMNS AND BEAMS COLUMNS
  19. NEW PRECAST CONCRETE COLUMNS AND BEAMS COLUMNS
  20. NEW PRECAST CONCRETE COLUMNS AND BEAMS COLUMNS
  21. PRECAST CONCRETE GAMBREL PANELS
- COLORS**
- A. PRINCE OF WALES - BROWN SAND
  - B. PRINCE OF WALES - BROWN SAND
  - C. PRINCE OF WALES - BROWN SAND
  - D. PRINCE OF WALES - BROWN SAND
  - E. PRINCE OF WALES - BROWN SAND
  - F. PRINCE OF WALES - BROWN SAND
  - G. PRINCE OF WALES - BROWN SAND
  - H. PRINCE OF WALES - BROWN SAND
  - I. PRINCE OF WALES - BROWN SAND
  - J. PRINCE OF WALES - BROWN SAND
  - K. PRINCE OF WALES - BROWN SAND
  - L. PRINCE OF WALES - BROWN SAND
  - M. PRINCE OF WALES - BROWN SAND
  - N. PRINCE OF WALES - BROWN SAND
  - O. PRINCE OF WALES - BROWN SAND
  - P. PRINCE OF WALES - BROWN SAND
  - Q. PRINCE OF WALES - BROWN SAND
  - R. PRINCE OF WALES - BROWN SAND
  - S. PRINCE OF WALES - BROWN SAND
  - T. PRINCE OF WALES - BROWN SAND
  - U. PRINCE OF WALES - BROWN SAND
  - V. PRINCE OF WALES - BROWN SAND
  - W. PRINCE OF WALES - BROWN SAND
  - X. PRINCE OF WALES - BROWN SAND
  - Y. PRINCE OF WALES - BROWN SAND
  - Z. PRINCE OF WALES - BROWN SAND

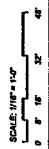


REMODEL  
PARTIAL FLOOR PLANS &  
ELEVATIONS  
BLDG 3, 5, & M

A4.22

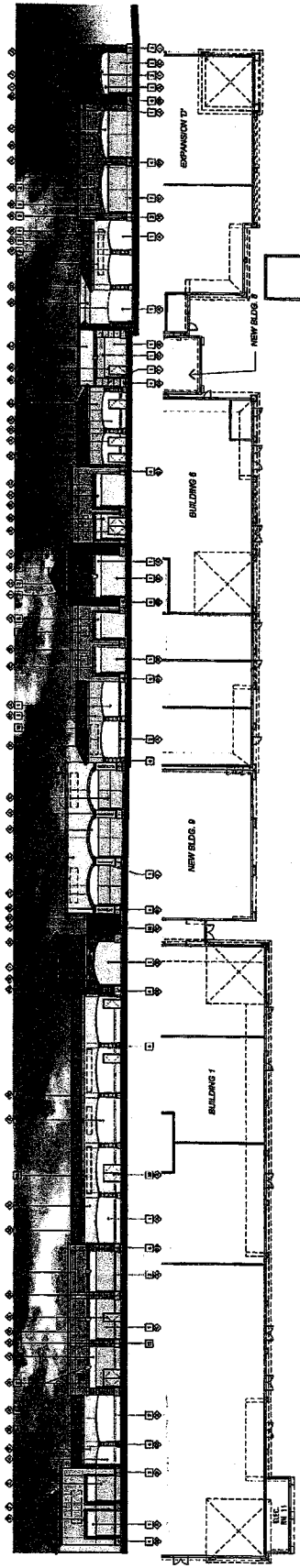


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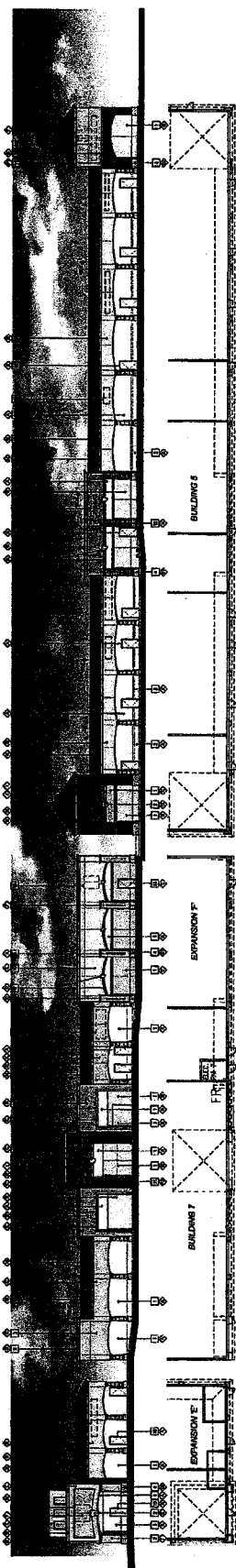
EXISTING ELEVATION



PROPOSED NORTH ELEVATION & PARTIAL FLOOR PLAN - BLDG 5, EXPANSION F, EXPANSION G, & BUILDING 7



EXISTING ELEVATION



PROPOSED NORTH ELEVATION & PARTIAL FLOOR PLAN - EXPANSION D, BUILDING 6, NEW BUILDING D, & BUILDING 1



KEY PLAN

A4.23

2006.028  
A4.11

REFER TO SHEET A4.22 FOR MATERIAL NOTES

SCALE: 1/8" = 1'-0"  
0 5 10 20 40'

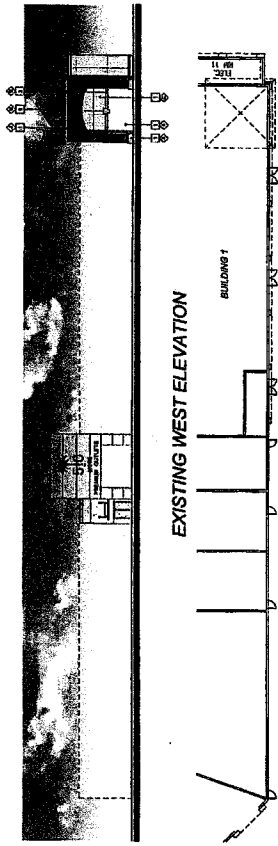


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DESERT HILLS PREMIUM OUTLETS CABAZON, CA

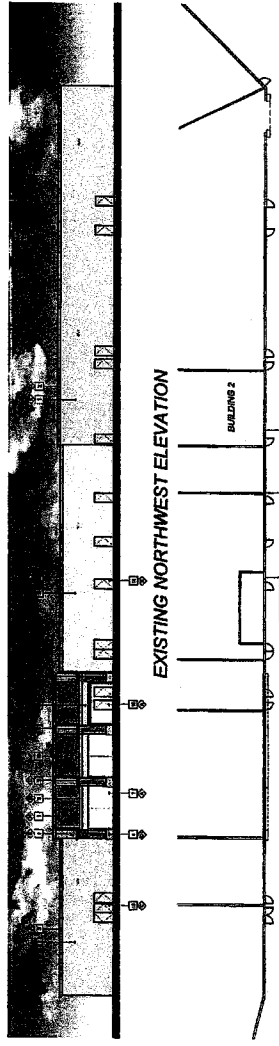
PREMIUM  
OUTLETS  
SIMON



EXISTING WEST ELEVATION

BUILDING 1

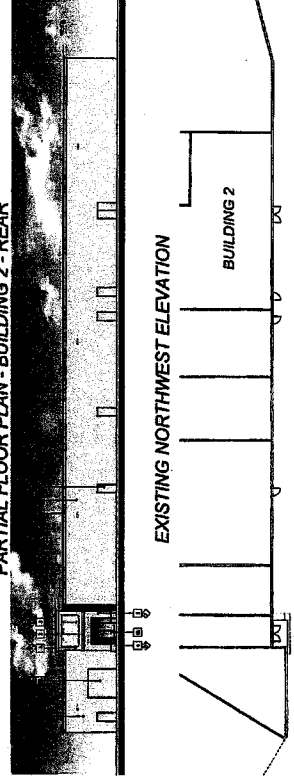
PARTIAL FLOOR PLAN - BUILDING 1 - REAR



EXISTING NORTHWEST ELEVATION

BUILDING 2

PARTIAL FLOOR PLAN - BUILDING 2 - REAR

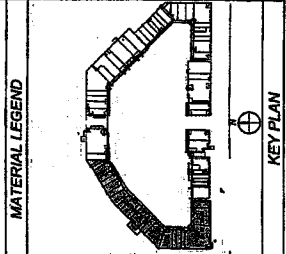


EXISTING NORTHWEST ELEVATION

BUILDING 2

PARTIAL FLOOR PLAN - BUILDING 2 - REAR

- MATERIALS**
1. INTERIORS - UNPAINTED CONCRETE BLOCK
  2. INTERIORS - UNPAINTED CONCRETE BLOCK
  3. INTERIORS - UNPAINTED CONCRETE BLOCK
  4. INTERIORS - UNPAINTED CONCRETE BLOCK
  5. INTERIORS - UNPAINTED CONCRETE BLOCK
  6. INTERIORS - UNPAINTED CONCRETE BLOCK
  7. INTERIORS - UNPAINTED CONCRETE BLOCK
  8. INTERIORS - UNPAINTED CONCRETE BLOCK
  9. INTERIORS - UNPAINTED CONCRETE BLOCK
  10. INTERIORS - UNPAINTED CONCRETE BLOCK
  11. INTERIORS - UNPAINTED CONCRETE BLOCK
  12. INTERIORS - UNPAINTED CONCRETE BLOCK
  13. INTERIORS - UNPAINTED CONCRETE BLOCK
  14. INTERIORS - UNPAINTED CONCRETE BLOCK
  15. INTERIORS - UNPAINTED CONCRETE BLOCK
  16. INTERIORS - UNPAINTED CONCRETE BLOCK
  17. INTERIORS - UNPAINTED CONCRETE BLOCK
  18. INTERIORS - UNPAINTED CONCRETE BLOCK
  19. INTERIORS - UNPAINTED CONCRETE BLOCK
  20. INTERIORS - UNPAINTED CONCRETE BLOCK
  21. INTERIORS - UNPAINTED CONCRETE BLOCK
- COLORS**
1. INTERIORS - UNPAINTED CONCRETE BLOCK
  2. INTERIORS - UNPAINTED CONCRETE BLOCK
  3. INTERIORS - UNPAINTED CONCRETE BLOCK
  4. INTERIORS - UNPAINTED CONCRETE BLOCK
  5. INTERIORS - UNPAINTED CONCRETE BLOCK
  6. INTERIORS - UNPAINTED CONCRETE BLOCK
  7. INTERIORS - UNPAINTED CONCRETE BLOCK
  8. INTERIORS - UNPAINTED CONCRETE BLOCK
  9. INTERIORS - UNPAINTED CONCRETE BLOCK
  10. INTERIORS - UNPAINTED CONCRETE BLOCK
  11. INTERIORS - UNPAINTED CONCRETE BLOCK
  12. INTERIORS - UNPAINTED CONCRETE BLOCK
  13. INTERIORS - UNPAINTED CONCRETE BLOCK
  14. INTERIORS - UNPAINTED CONCRETE BLOCK
  15. INTERIORS - UNPAINTED CONCRETE BLOCK
  16. INTERIORS - UNPAINTED CONCRETE BLOCK
  17. INTERIORS - UNPAINTED CONCRETE BLOCK
  18. INTERIORS - UNPAINTED CONCRETE BLOCK
  19. INTERIORS - UNPAINTED CONCRETE BLOCK
  20. INTERIORS - UNPAINTED CONCRETE BLOCK
  21. INTERIORS - UNPAINTED CONCRETE BLOCK



REMODEL PARTIAL FLOOR PLANS & ELEVATIONS BLDGS 1, & 2 REARS

A4.24

2006-030 4.4.11  
 SCALE: 1/8" = 1'-0"  
 0 6 12 24 48'

DESERT HILLS PREMIUM OUTLETS CABAZON, CA

PREMIUM OUTLETS  
 SIMON

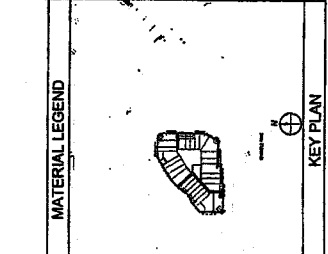
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- MATERIALS**
1. NEW PAINTED METAL HAND RAIL FINISH LASTER WALLS
  2. NEW PAINTED ALUMINUM HAND RAIL FINISH LASTER WALLS
  3. NEW PRECAST CONCRETE BEAMS AND FORM COLLARS
  4. NEW EXPOSED ROOF AND TRUSS METAL BRINK
  5. NEW EXPOSED ROOF AND TRUSS METAL BRINK
  6. NEW EXPOSED ROOF AND TRUSS METAL BRINK
  7. NEW EXPOSED ROOF AND TRUSS METAL BRINK
  8. NEW EXPOSED ROOF AND TRUSS METAL BRINK
  9. NEW EXPOSED ROOF AND TRUSS METAL BRINK
  10. NEW EXPOSED ROOF AND TRUSS METAL BRINK
  11. NEW EXPOSED ROOF AND TRUSS METAL BRINK
  12. NEW EXPOSED ROOF AND TRUSS METAL BRINK
  13. NEW EXPOSED ROOF AND TRUSS METAL BRINK
  14. NEW EXPOSED ROOF AND TRUSS METAL BRINK
  15. NEW EXPOSED ROOF AND TRUSS METAL BRINK
  16. NEW EXPOSED ROOF AND TRUSS METAL BRINK
  17. NEW EXPOSED ROOF AND TRUSS METAL BRINK
  18. NEW EXPOSED ROOF AND TRUSS METAL BRINK
  19. NEW EXPOSED ROOF AND TRUSS METAL BRINK
  20. NEW EXPOSED ROOF AND TRUSS METAL BRINK
  21. NEW EXPOSED ROOF AND TRUSS METAL BRINK
  22. PRECAST CONCRETE SWANSE PANELS

- COLORS**
1. BRICK - BROWN
  2. BRICK - BROWN
  3. BRICK - BROWN
  4. BRICK - BROWN
  5. BRICK - BROWN
  6. BRICK - BROWN
  7. BRICK - BROWN
  8. BRICK - BROWN
  9. BRICK - BROWN
  10. BRICK - BROWN
  11. BRICK - BROWN
  12. BRICK - BROWN
  13. BRICK - BROWN
  14. BRICK - BROWN
  15. BRICK - BROWN
  16. BRICK - BROWN
  17. BRICK - BROWN
  18. BRICK - BROWN
  19. BRICK - BROWN
  20. BRICK - BROWN
  21. BRICK - BROWN
  22. BRICK - BROWN

- MATERIAL LEGEND**
1. BRICK - BROWN
  2. BRICK - BROWN
  3. BRICK - BROWN
  4. BRICK - BROWN
  5. BRICK - BROWN
  6. BRICK - BROWN
  7. BRICK - BROWN
  8. BRICK - BROWN
  9. BRICK - BROWN
  10. BRICK - BROWN
  11. BRICK - BROWN
  12. BRICK - BROWN
  13. BRICK - BROWN
  14. BRICK - BROWN
  15. BRICK - BROWN
  16. BRICK - BROWN
  17. BRICK - BROWN
  18. BRICK - BROWN
  19. BRICK - BROWN
  20. BRICK - BROWN
  21. BRICK - BROWN
  22. BRICK - BROWN



BUILDING A ELEVATIONS/  
FLOOR PLAN

A2.21

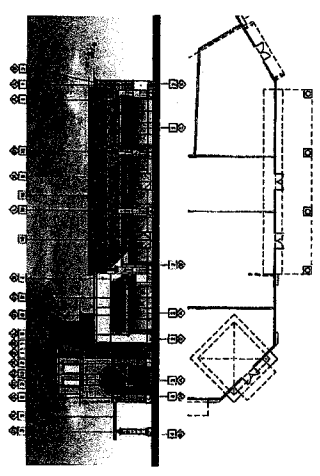
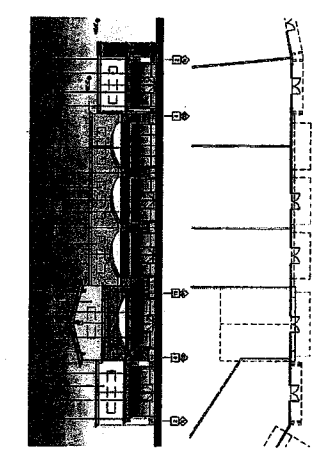
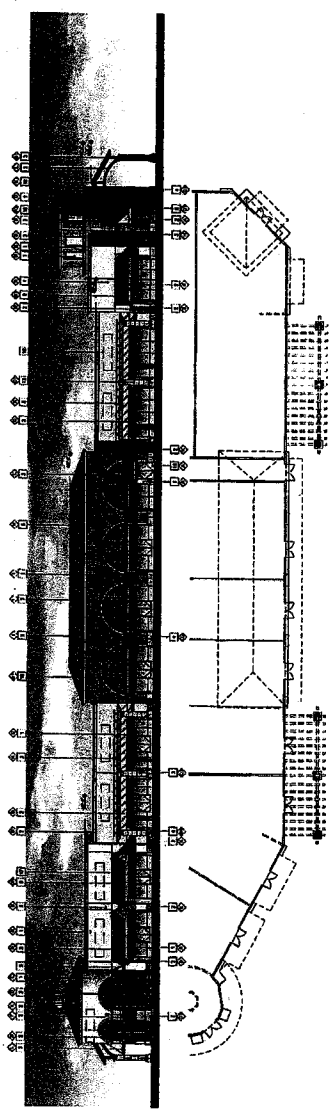
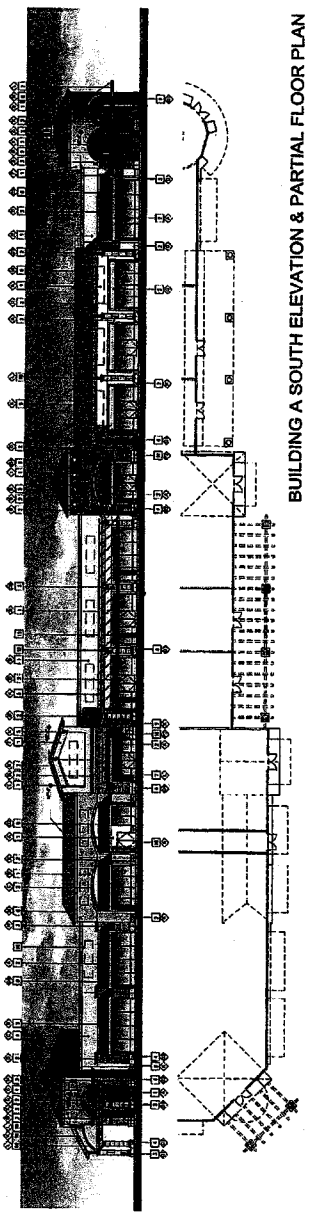
8-8-71



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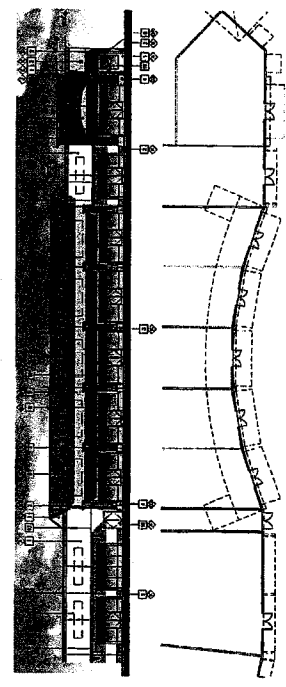


BUILDING A NORTH ELEVATION & PARTIAL FLOOR PLAN

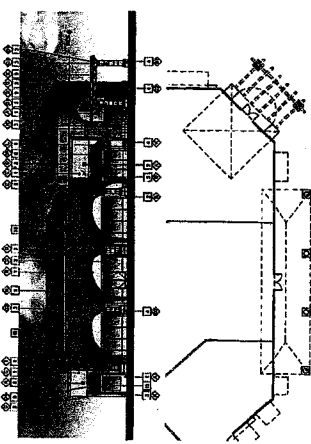
DESERT HILLS PREMIUM OUTLETS CABAZON, CA

PREMIUM  
OUTLETS  
SIMON





BUILDING A NORTHWEST ELEVATION & PARTIAL FLOOR PLAN



BUILDING A WEST ELEVATION & PARTIAL FLOOR PLAN

**MATERIALS**

1. NEW PAINTED METAL SAND FLAT FINISH FLAKES WHITE
2. CONCRETE, BALCONY, TRAIL, AND COLONNAD CANTILEVER
3. NEW PRECAST CONCRETE COLONNAD AND BALCONY
4. NEW PRECAST CONCRETE COLONNAD AND BALCONY
5. NEW PRECAST CONCRETE COLONNAD AND BALCONY
6. NEW PRECAST CONCRETE COLONNAD AND BALCONY
7. NEW PRECAST CONCRETE COLONNAD AND BALCONY
8. NEW PRECAST CONCRETE COLONNAD AND BALCONY
9. NEW PRECAST CONCRETE COLONNAD AND BALCONY
10. NEW PRECAST CONCRETE COLONNAD AND BALCONY
11. NEW PRECAST CONCRETE COLONNAD AND BALCONY
12. NEW PRECAST CONCRETE COLONNAD AND BALCONY
13. NEW PRECAST CONCRETE COLONNAD AND BALCONY
14. NEW PRECAST CONCRETE COLONNAD AND BALCONY
15. NEW PRECAST CONCRETE COLONNAD AND BALCONY
16. NEW PRECAST CONCRETE COLONNAD AND BALCONY
17. NEW PRECAST CONCRETE COLONNAD AND BALCONY
18. NEW PRECAST CONCRETE COLONNAD AND BALCONY
19. NEW PRECAST CONCRETE COLONNAD AND BALCONY
20. NEW PRECAST CONCRETE COLONNAD AND BALCONY
21. NEW PRECAST CONCRETE COLONNAD AND BALCONY
22. NEW PRECAST CONCRETE COLONNAD AND BALCONY

**COLORS**

- A. FINISH: CAL. TRIM - HEAVY WASH
- B. FINISH: CAL. TRIM - HEAVY WASH
- C. FINISH: CAL. TRIM - HEAVY WASH
- D. FINISH: CAL. TRIM - HEAVY WASH
- E. FINISH: CAL. TRIM - HEAVY WASH
- F. FINISH: CAL. TRIM - HEAVY WASH
- G. FINISH: CAL. TRIM - HEAVY WASH
- H. FINISH: CAL. TRIM - HEAVY WASH
- I. FINISH: CAL. TRIM - HEAVY WASH
- J. FINISH: CAL. TRIM - HEAVY WASH
- K. FINISH: CAL. TRIM - HEAVY WASH
- L. FINISH: CAL. TRIM - HEAVY WASH
- M. FINISH: CAL. TRIM - HEAVY WASH
- N. FINISH: CAL. TRIM - HEAVY WASH
- O. FINISH: CAL. TRIM - HEAVY WASH
- P. FINISH: CAL. TRIM - HEAVY WASH
- Q. FINISH: CAL. TRIM - HEAVY WASH
- R. FINISH: CAL. TRIM - HEAVY WASH
- S. FINISH: CAL. TRIM - HEAVY WASH
- T. FINISH: CAL. TRIM - HEAVY WASH
- U. FINISH: CAL. TRIM - HEAVY WASH
- V. FINISH: CAL. TRIM - HEAVY WASH
- W. FINISH: CAL. TRIM - HEAVY WASH
- X. FINISH: CAL. TRIM - HEAVY WASH
- Y. FINISH: CAL. TRIM - HEAVY WASH
- Z. FINISH: CAL. TRIM - HEAVY WASH

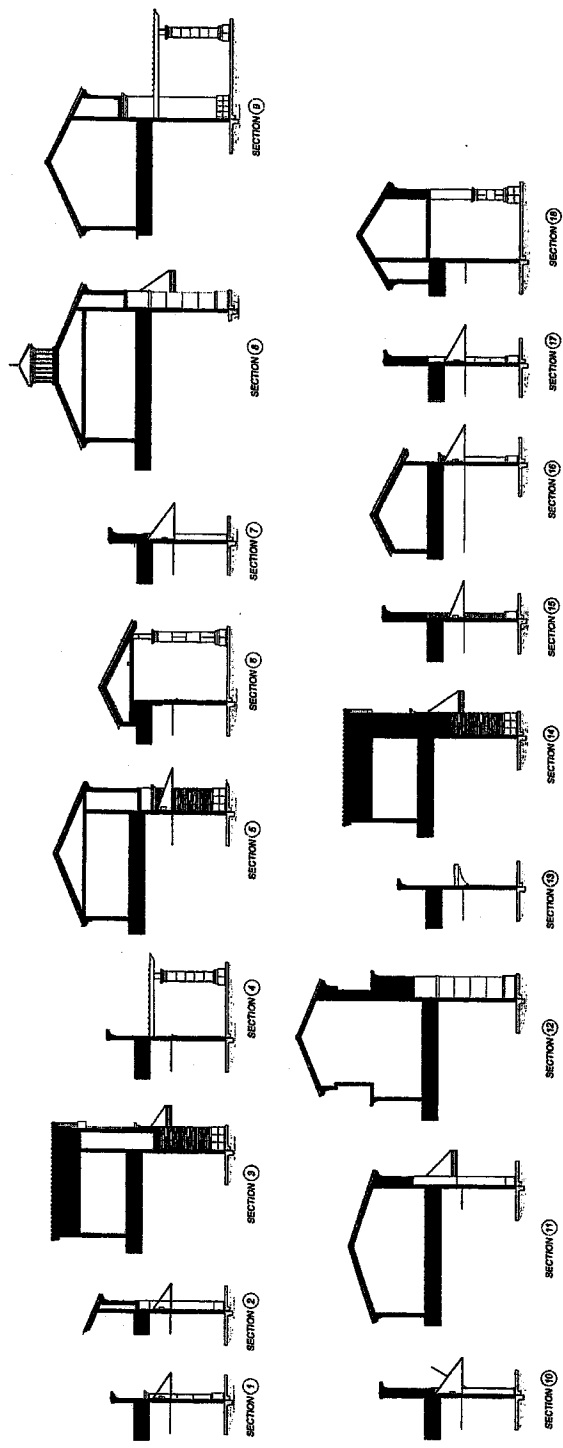
**MATERIAL LEGEND**

**KEY PLAN**

BUILDING A ELEVATIONS,  
SECTIONS, &  
FLOOR PLAN  
A2.22



SECTION SCALE: 1/8" = 1'-0"  
ELEVATION SCALE: 1/8" = 1'-0"  
0 6 12 24

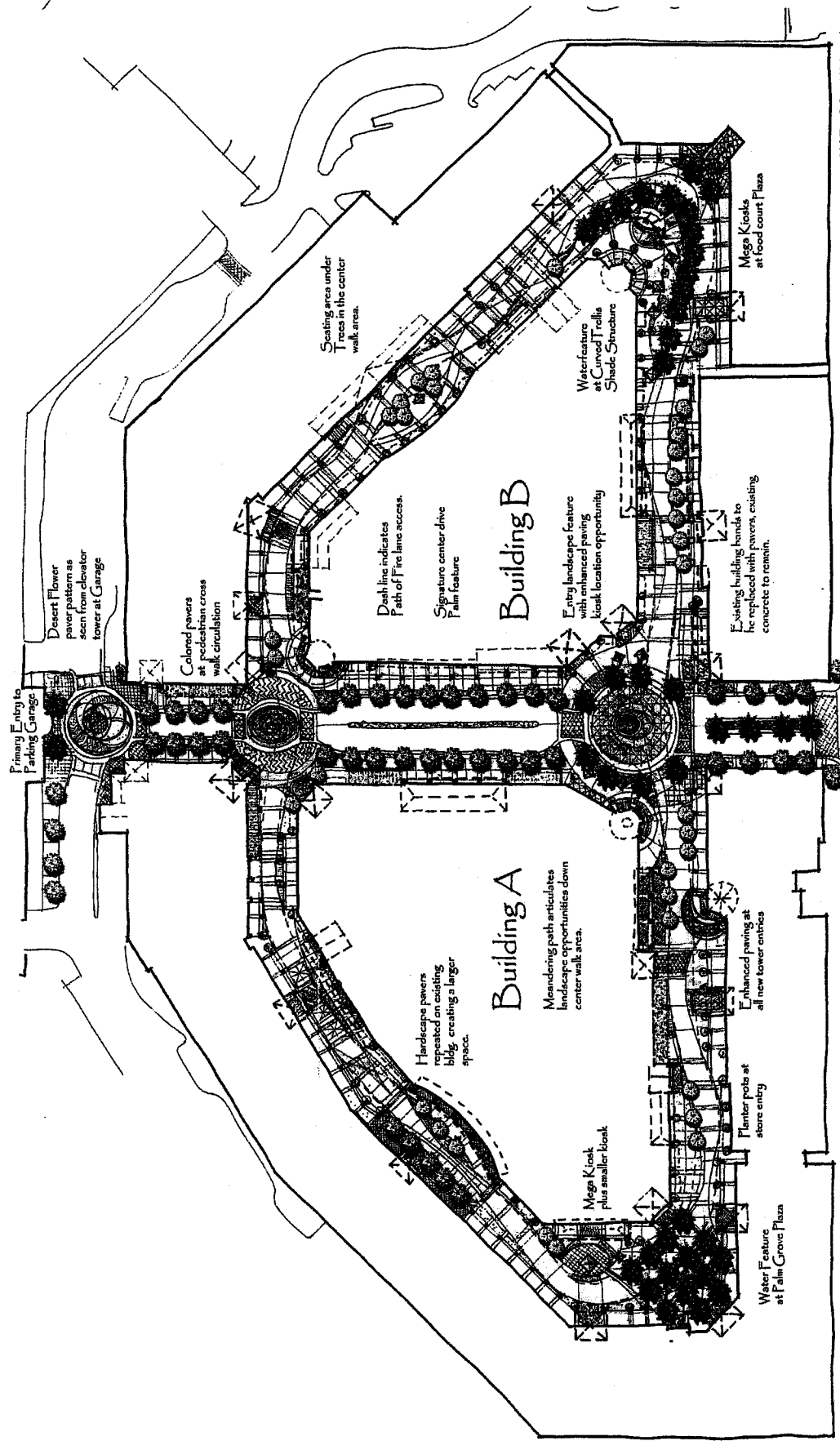


BUILDING A CANOPY SECTIONS

DESERT HILLS PREMIUM OUTLETS CABAZON, CA

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PREMIUM  
OUTLETS  
SIMON



Primary Entry to Parking Garage

Desert Flower paver pattern as seen from elevator tower at Garage

Colored pavers at pedestrian cross walk circulation

Seating area under Trees in the center walk area.

Dash line indicates Path of Fire access.

Signature center drive Palm feature

Building B

Entry landscape feature with enhanced paving, kiosk location opportunity

Waterfeature at Curved Trills Shade Structure

Existing building bonds to be replaced with pavers, existing concrete to remain.

Enhanced paving at all new tower entries

Flamber pots at store entry

Mega Kiosk plus smaller kiosk

Water Feature at Palm Grove Plaza

Hardscape pavers repeated on existing bldg, creating a larger space.

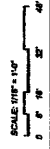
Building A

Meandering path articulates landscape opportunities down center walk area.

HARDSCAPE PLAN

A1.12

2008.030 04.21.11

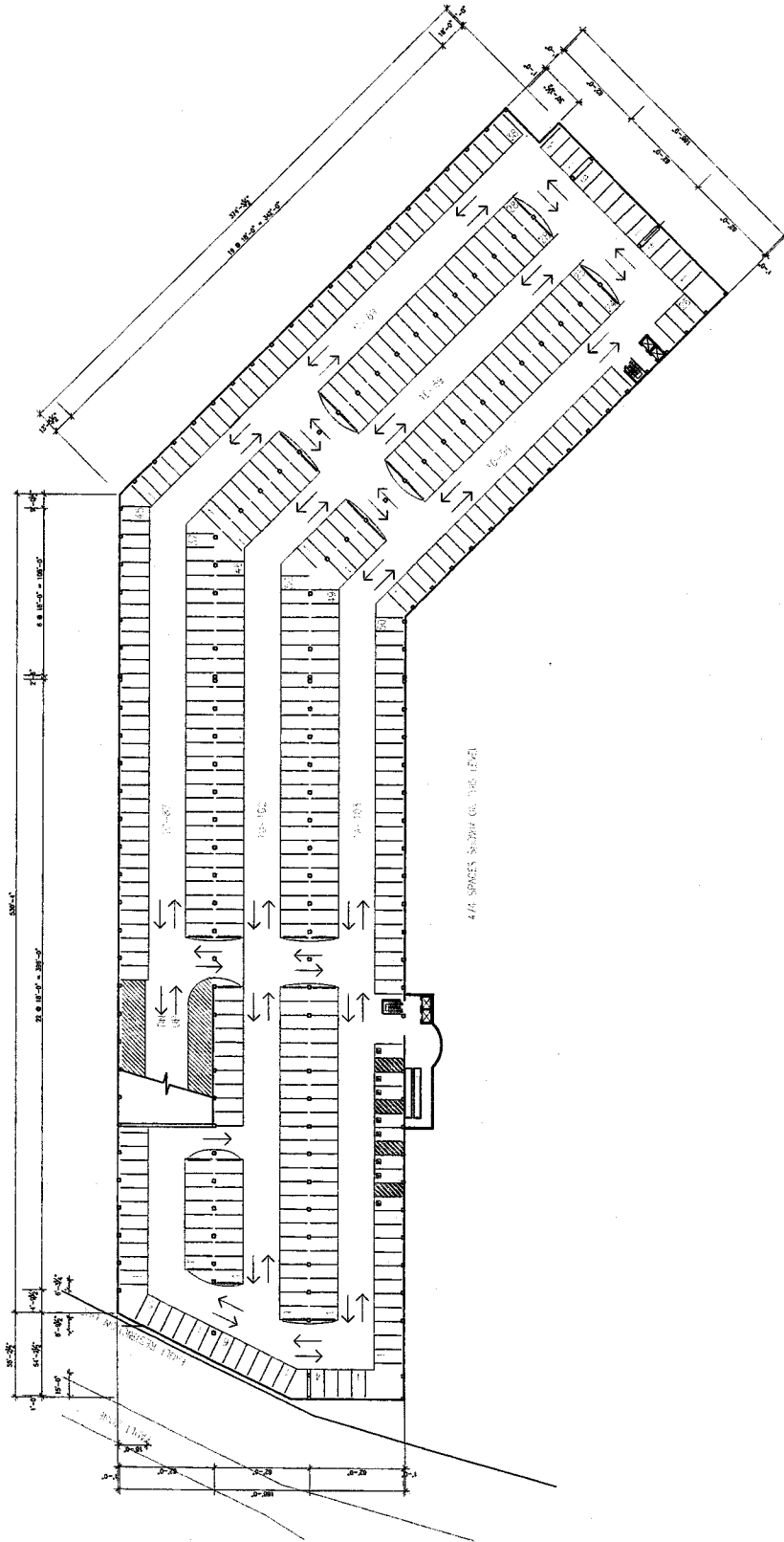


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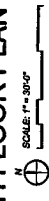
DESERT HILLS PREMIUM OUTLETS CABAZON, CA

PREMIUM OUTLETS SIMON

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4/A SPACES 3'-2 1/2\"/>



**PARKING STRUCTURE - FOURTH FLOOR PLAN**

**DESERT HILLS PREMIUM OUTLETS EXPANSION**

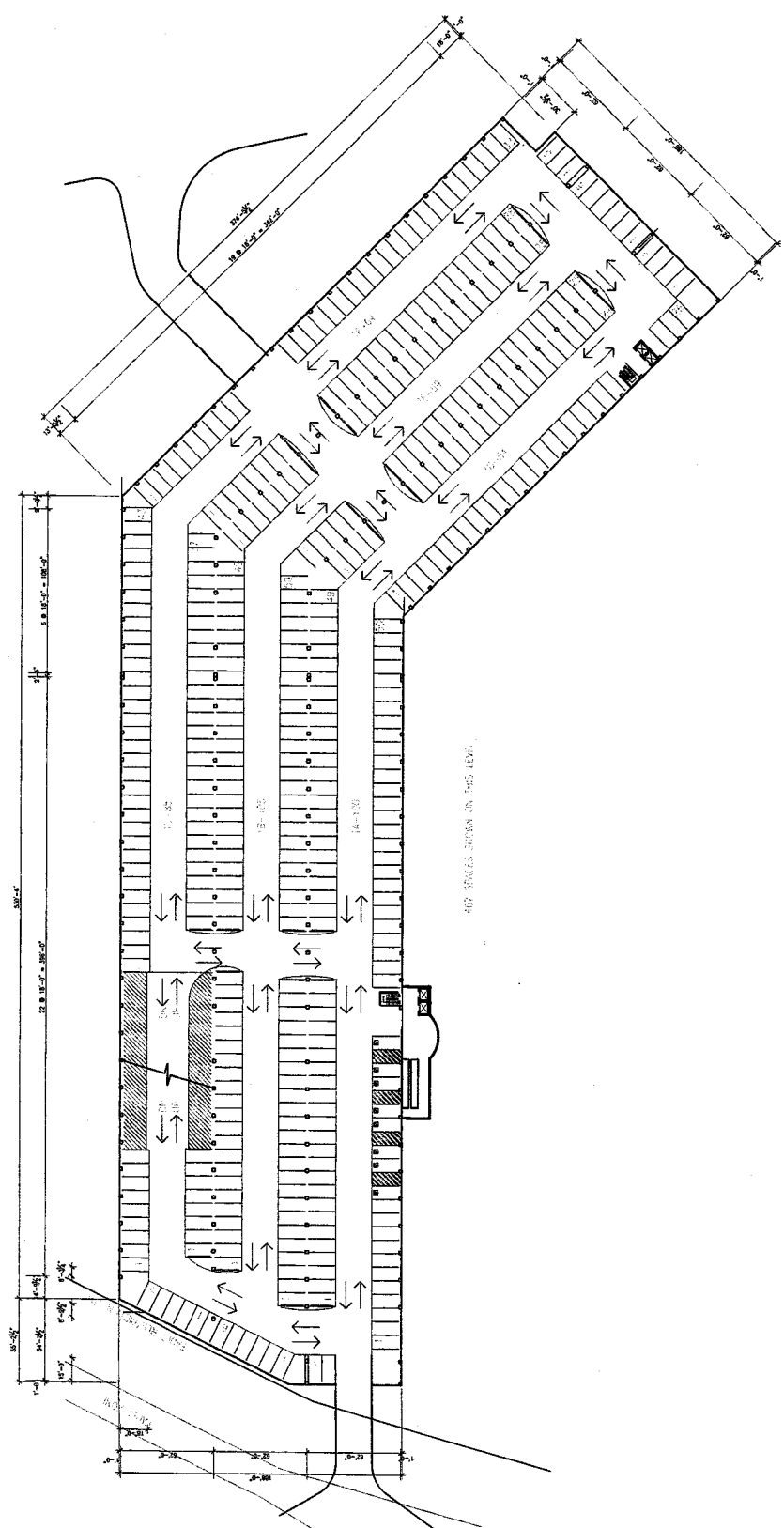
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2006-039 08-04-11



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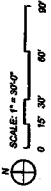
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2008-038 09-05-11



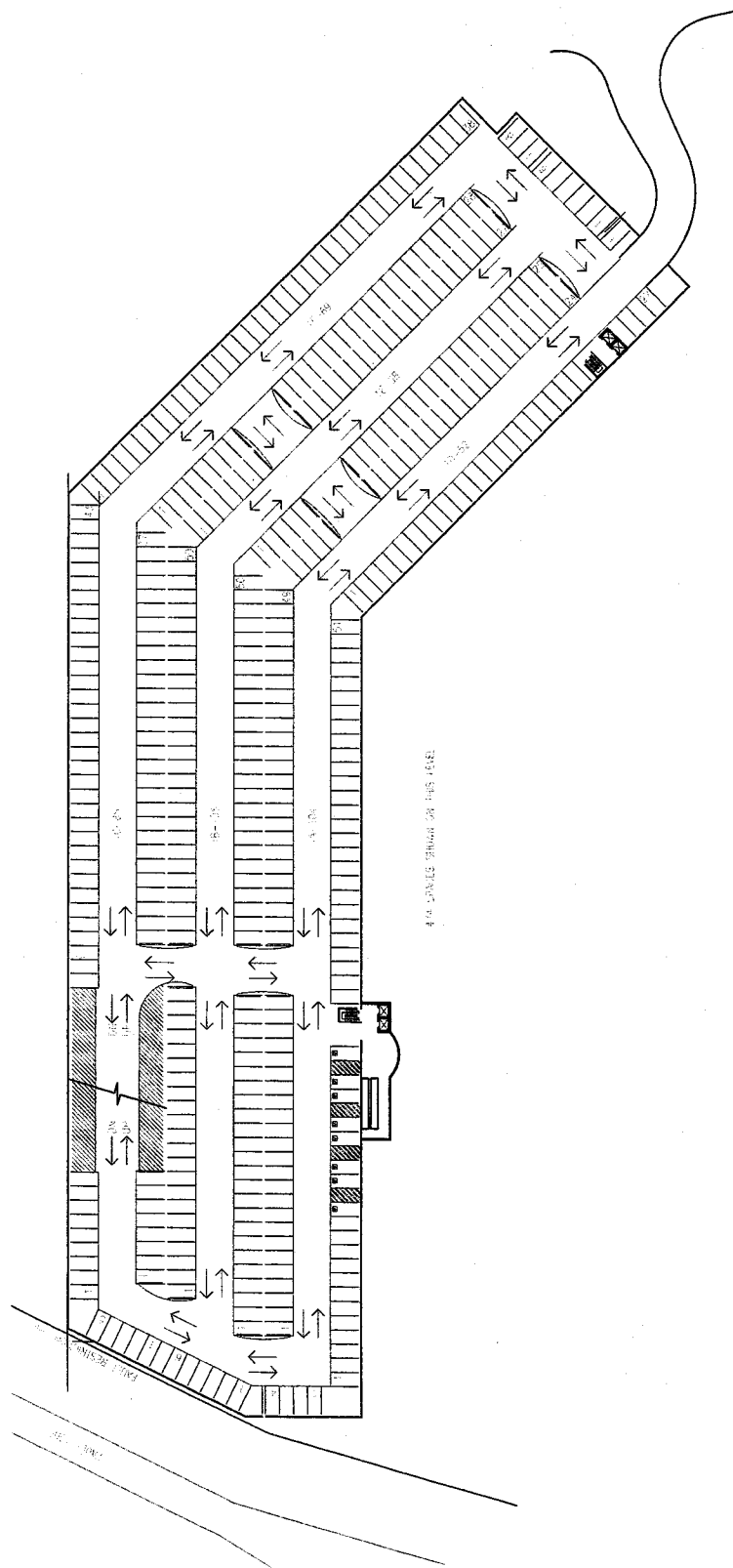
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PARKING STRUCTURE - THIRD FLOOR PLAN



DESERT HILLS PREMIUM OUTLETS EXPANSION

PREMIUM  
 OUTLETS  
 SIMON



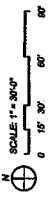
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2009-030 06-08-11



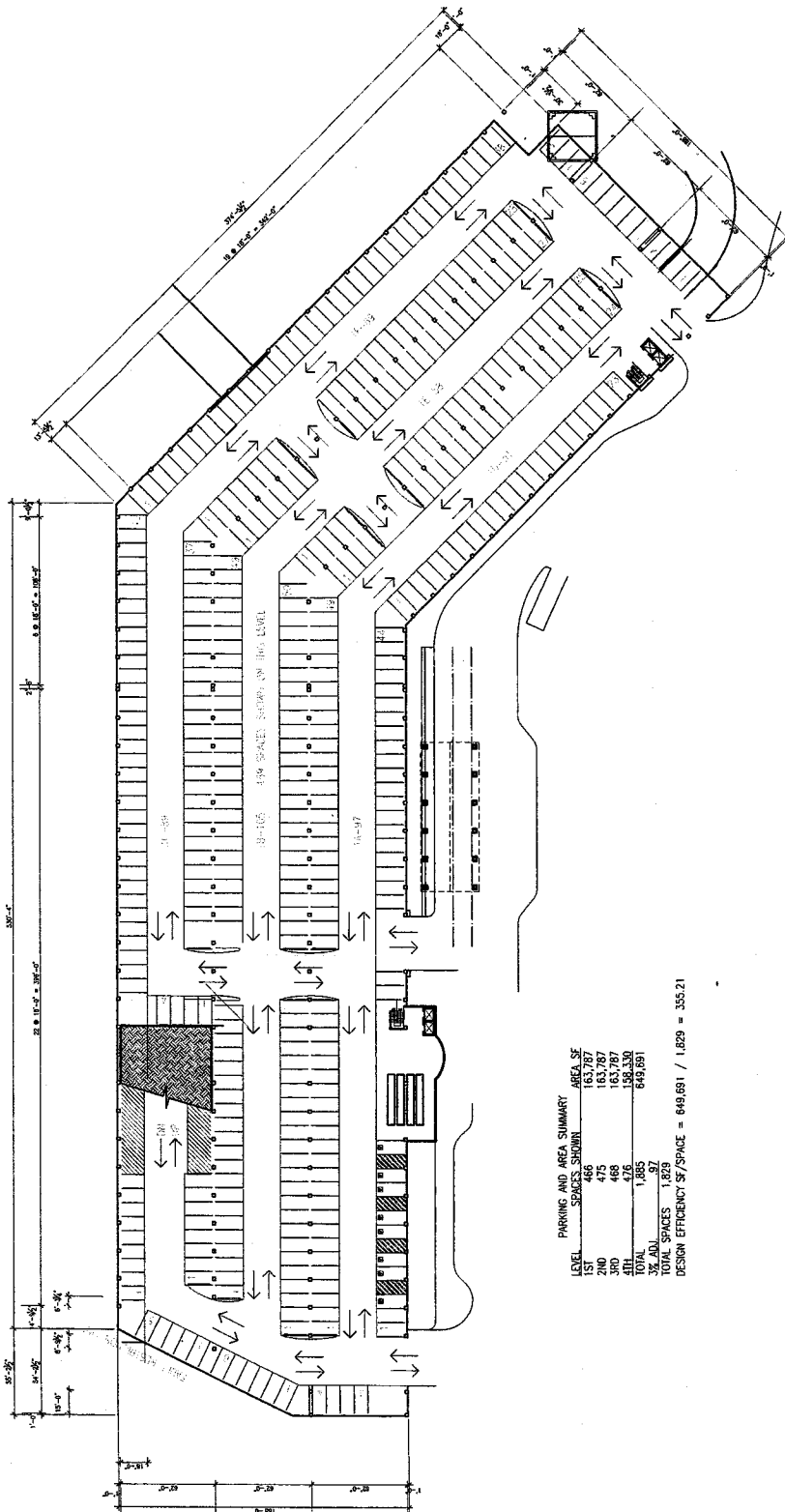
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PARKING STRUCTURE - SECOND FLOOR PLAN



DESERT HILLS PREMIUM OUTLETS EXPANSION

PREMIUM  
 OUTLETS  
 SIMON

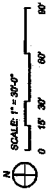


**PARKING AND AREA SUMMARY**

LEVEL	SPACES SHOWN	AREA SF
1ST	466	163,787
2ND	466	163,787
3RD	466	163,787
4TH	476	158,330
<b>TOTAL</b>	<b>1,876</b>	<b>649,691</b>
% ADJ.	97	
<b>TOTAL SPACES</b>	<b>1,829</b>	
DESIGN EFFICIENCY SF/SPACE = 649,691 / 1,829 = 355.21		

A5.20  
200-039  
06-09-11

PARKING STRUCTURE - FIRST FLOOR PLAN

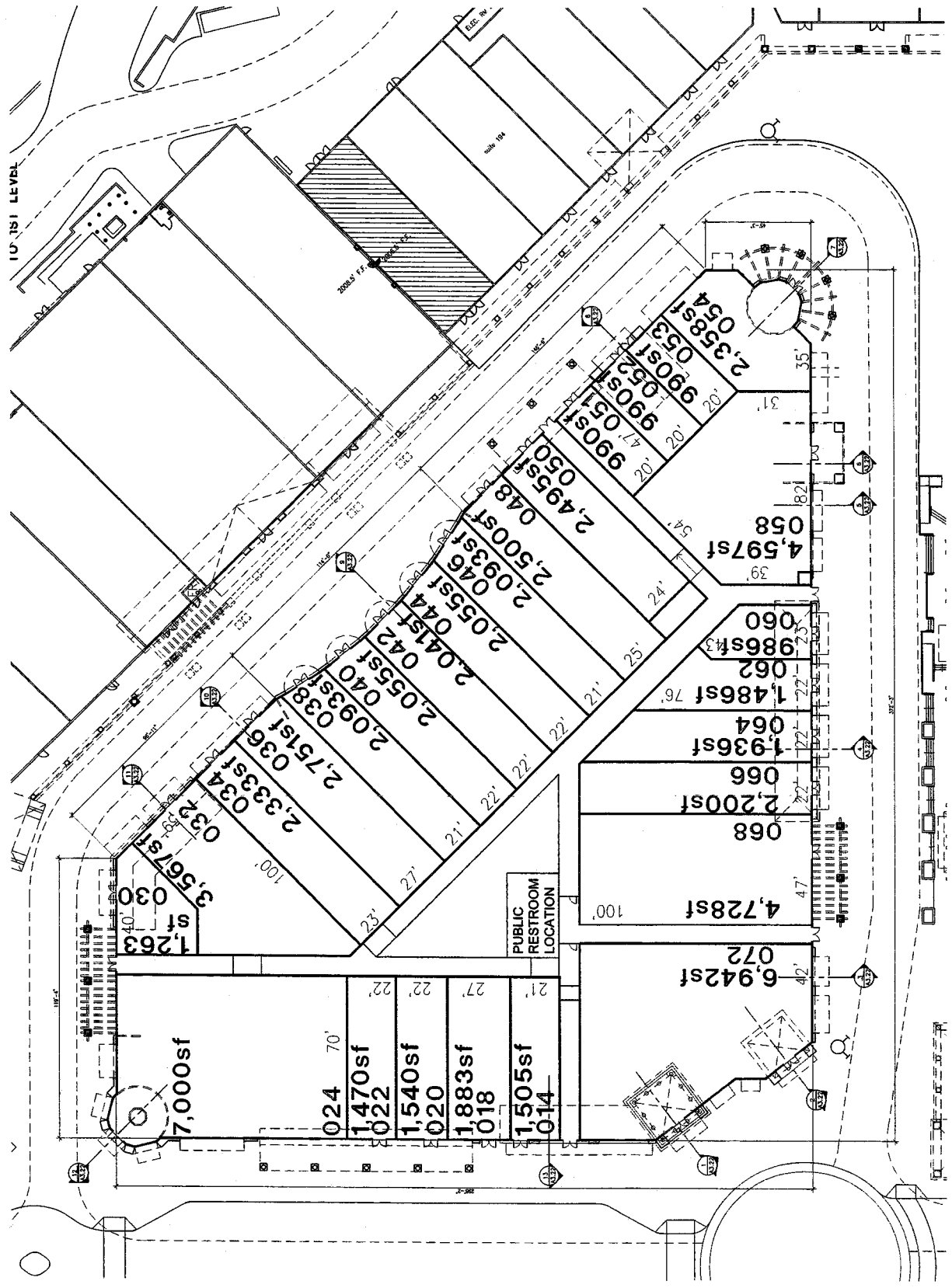
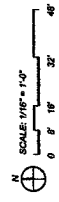


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DESERT HILLS PREMIUM OUTLETS EXPANSION

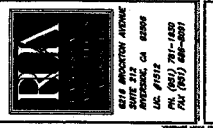


BUILDING B  
FLOOR PLAN  
A3.20



DESERT HILLS PREMIUM OUTLETS EXPANSION

PREMIUM  
OUTLETS  
SIMON



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 144 N. Orange Street  
 Orange, CA 92666  
 (714) 639-9860  
 Contact: Linda Laurentz

**Desert Hills Premium**  
 Outlets Expansion  
 Semarole Road  
 Cebazon, CA

NO.	DATE	BY



**CONCEPTUAL**  
**CONCRETE**  
**LAYOUT**

DRAWN BY	SR
CHECKED BY	SR
DATE	07/17/08
SCALE	1"=50'
JOB NO.	08130

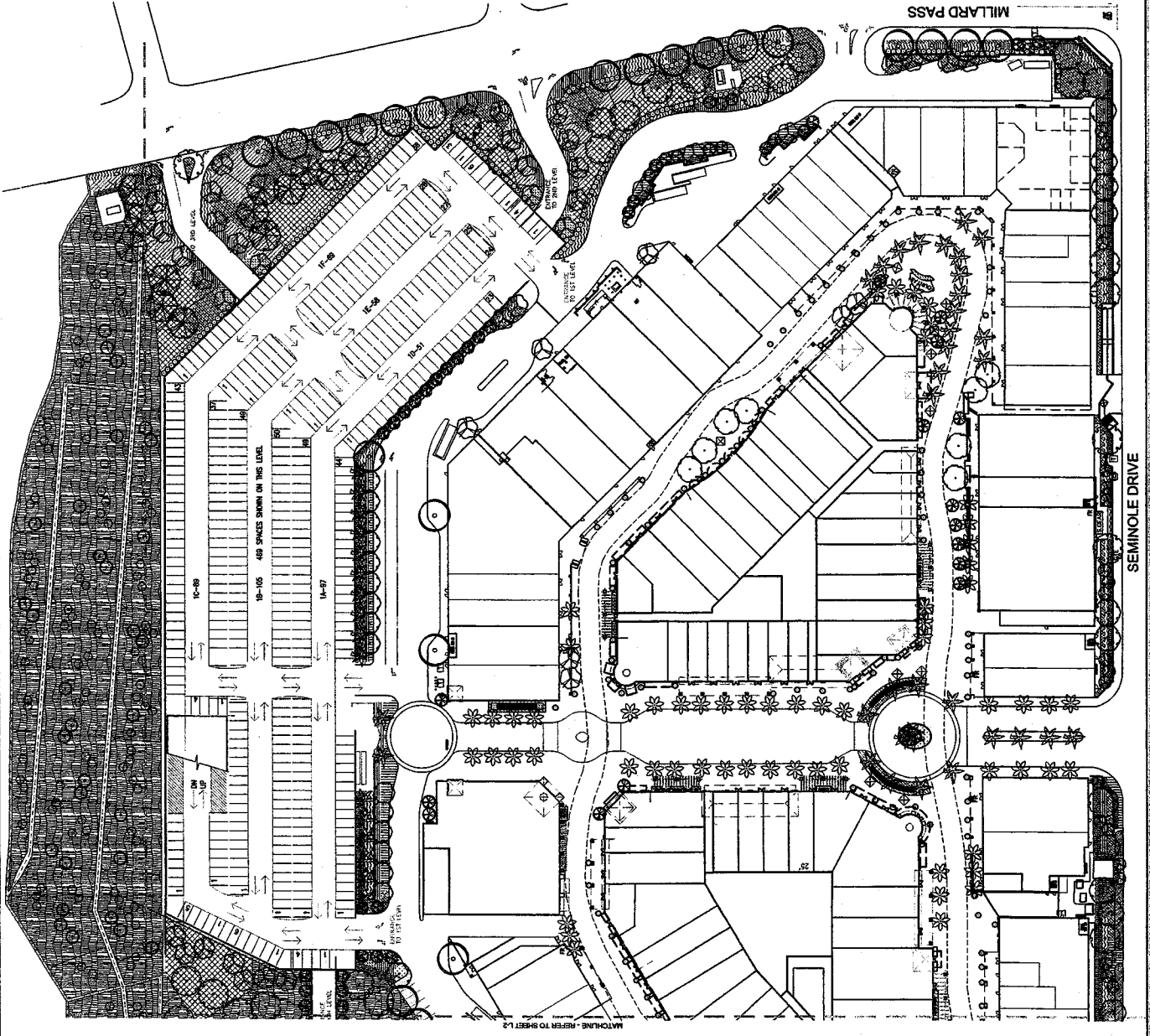
SHEET  
**L-2**  
 1 OF 2 SHEETS

**CONCEPTUAL PLANT SCHEDULE**

SYMBOL	DESCRIPTION	QUANTITY	UNITS
○	1" CONCRETE	21	Line
○	2" CONCRETE	57	Line
○	3" CONCRETE	115	Medium
○	4" CONCRETE	24	Medium
○	5" CONCRETE	45	Medium
○	6" CONCRETE	28	Medium
○	7" CONCRETE	21	Medium
○	8" CONCRETE	11	Medium
○	9" CONCRETE	51	Medium
○	10" CONCRETE	54	Medium
○	11" CONCRETE	72	Low
○	12" CONCRETE	38	Medium
○	13" CONCRETE	106	Low
○	14" CONCRETE	74	Medium
○	15" CONCRETE	24	Medium
○	16" CONCRETE	75	Medium
○	17" CONCRETE	127	Medium
○	18" CONCRETE	201	Medium
○	19" CONCRETE	320	Medium
○	20" CONCRETE	31	Medium
○	21" CONCRETE	128	Low
○	22" CONCRETE	198	Medium
○	23" CONCRETE	340	Low
○	24" CONCRETE	495	Medium
○	25" CONCRETE	500	Medium
○	26" CONCRETE	1794	Medium
○	27" CONCRETE	201	Medium
○	28" CONCRETE	408	Low
○	29" CONCRETE	442	Medium
○	30" CONCRETE	408	Medium
○	31" CONCRETE	1120	Medium
○	32" CONCRETE	408	Medium
○	33" CONCRETE	177	Medium
○	34" CONCRETE	330	Low
○	35" CONCRETE	708	Low
○	36" CONCRETE	330	Medium
○	37" CONCRETE	1020	Medium
○	38" CONCRETE	1510	Medium
○	39" CONCRETE	1510	Medium

**IRIGATION STATEMENT:** THIS PROJECT, AS SHOWN ON THESE PLANS, IS A CONCEPTUAL DESIGN. THE IRRIGATION SYSTEM IS SUBJECT TO CHANGE WITHOUT NOTICE. THE IRRIGATION SYSTEM IS SUBJECT TO CHANGE WITHOUT NOTICE. THE IRRIGATION SYSTEM IS SUBJECT TO CHANGE WITHOUT NOTICE.

**MAXIMUM ALLOWABLE WATER APPLICATION:** THIS PROJECT IS SUBJECT TO THE MAXIMUM ALLOWABLE WATER APPLICATION. THE MAXIMUM ALLOWABLE WATER APPLICATION IS SUBJECT TO CHANGE WITHOUT NOTICE. THE MAXIMUM ALLOWABLE WATER APPLICATION IS SUBJECT TO CHANGE WITHOUT NOTICE.



SEMINOLE DRIVE

MILLARD PASS

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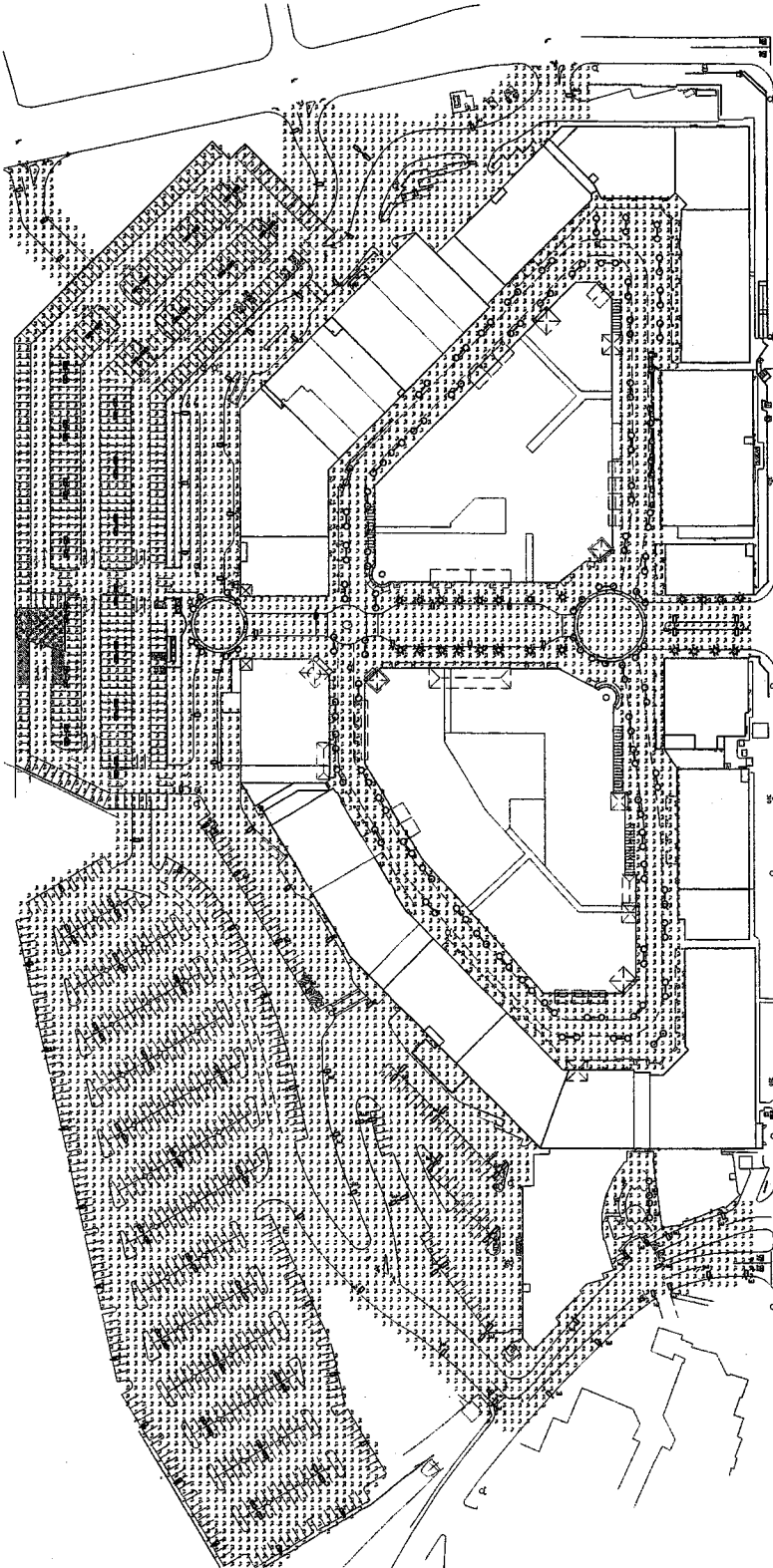




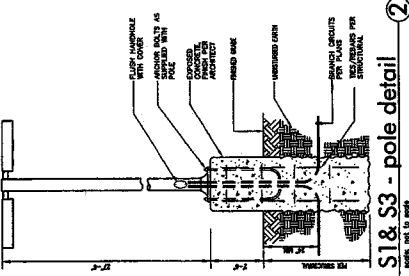
LIGHTING FIXTURE SCHEDULE		
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(1)	RECESSED DOWNLIGHT	100
(2)	RECESSED DOWNLIGHT WITH DIMMER	100
(3)	RECESSED DOWNLIGHT WITH DIMMER AND DIMMER SWITCH	100
(4)	RECESSED DOWNLIGHT WITH DIMMER AND DIMMER SWITCH AND DIMMER SWITCH	100
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**photometric notes:**

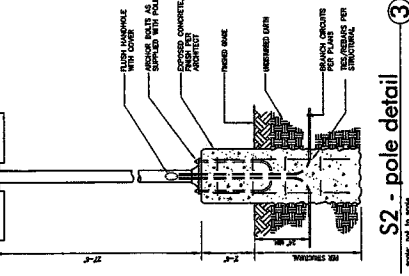
- THIS LIGHTING CALCULATION REPRESENTS ILLUMINATION LEVELS BASED ON THE ASSUMPTIONS AND CONDITIONS LISTED ABOVE AND DOES NOT GUARANTEE THE ACCURACY OF THE RESULTS. THE DESIGNER ASSUMES RESPONSIBILITY FOR THE ACCURACY OF THE RESULTS.
- THIS LIGHTING CALCULATION REPRESENTS ILLUMINATION LEVELS BASED ON THE ASSUMPTIONS AND CONDITIONS LISTED ABOVE AND DOES NOT GUARANTEE THE ACCURACY OF THE RESULTS. THE DESIGNER ASSUMES RESPONSIBILITY FOR THE ACCURACY OF THE RESULTS.
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- THIS LIGHTING CALCULATION REPRESENTS ILLUMINATION LEVELS BASED ON THE ASSUMPTIONS AND CONDITIONS LISTED ABOVE AND DOES NOT GUARANTEE THE ACCURACY OF THE RESULTS. THE DESIGNER ASSUMES RESPONSIBILITY FOR THE ACCURACY OF THE RESULTS.



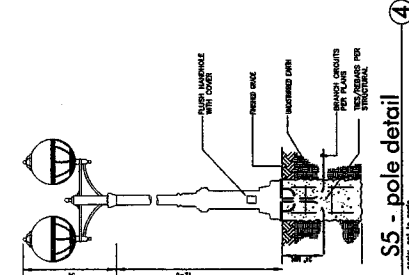
site lighting plan  
SCALE: 1" = 50'



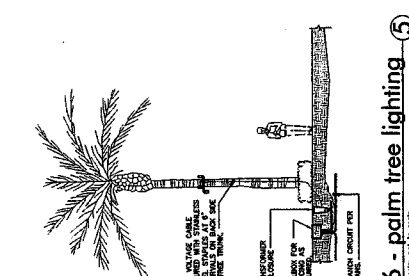
S1 & S3 - pole detail  
SCALE: NOT TO SCALE



S2 - pole detail  
SCALE: NOT TO SCALE



S5 - pole detail  
SCALE: NOT TO SCALE



S6 - palm tree lighting  
SCALE: NOT TO SCALE

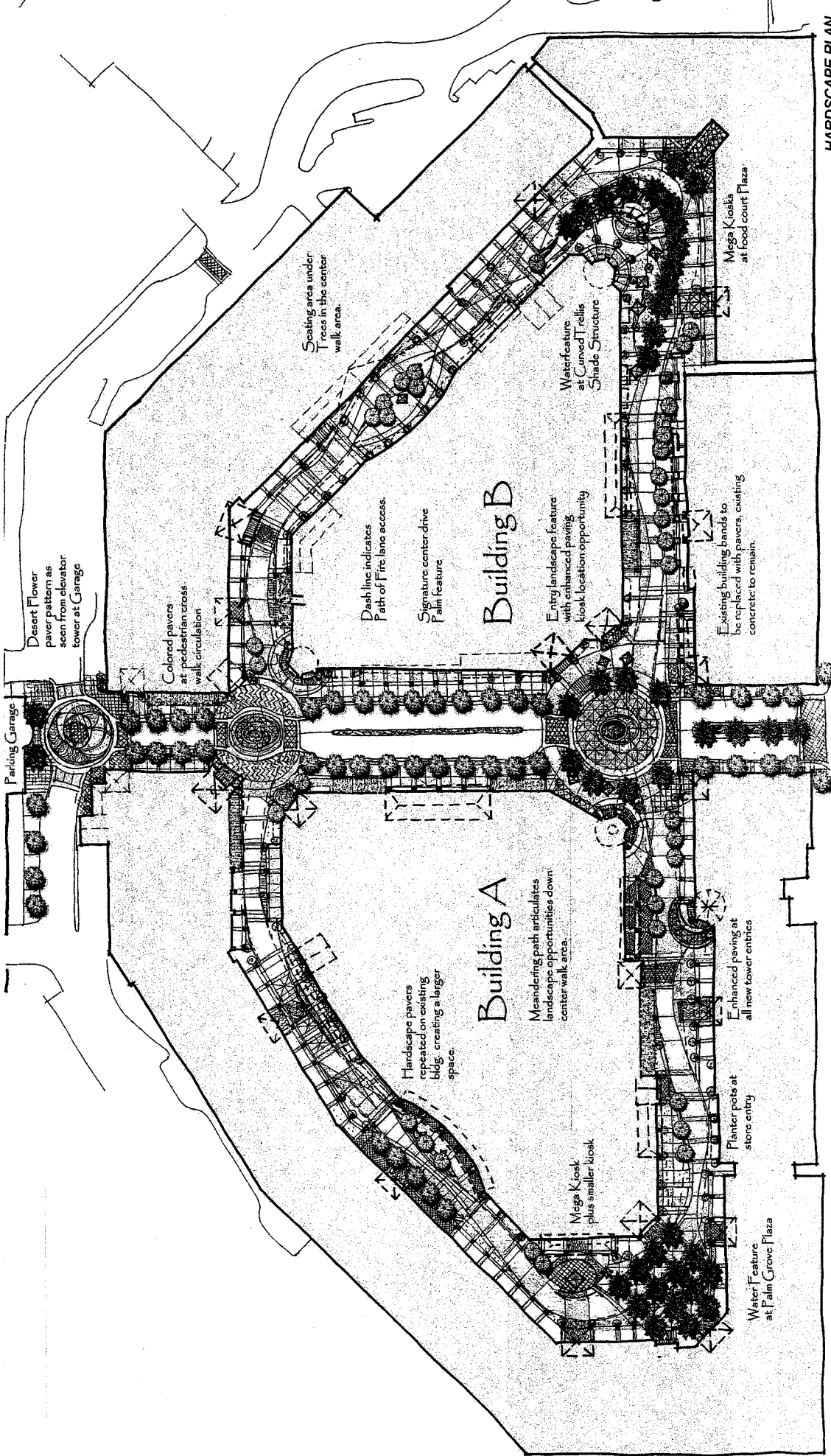


E1.2  
ARCHITECTS ORANGE

DESERT HILLS PREMIUM OUTLETS EXPANSION

PREMIUM OUTLETS  
SIMON

00-000-000 00-00-11



HARDSCAPE PLAN

A1.12

2006.030 8-2-11



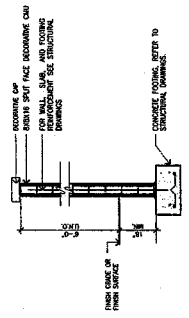
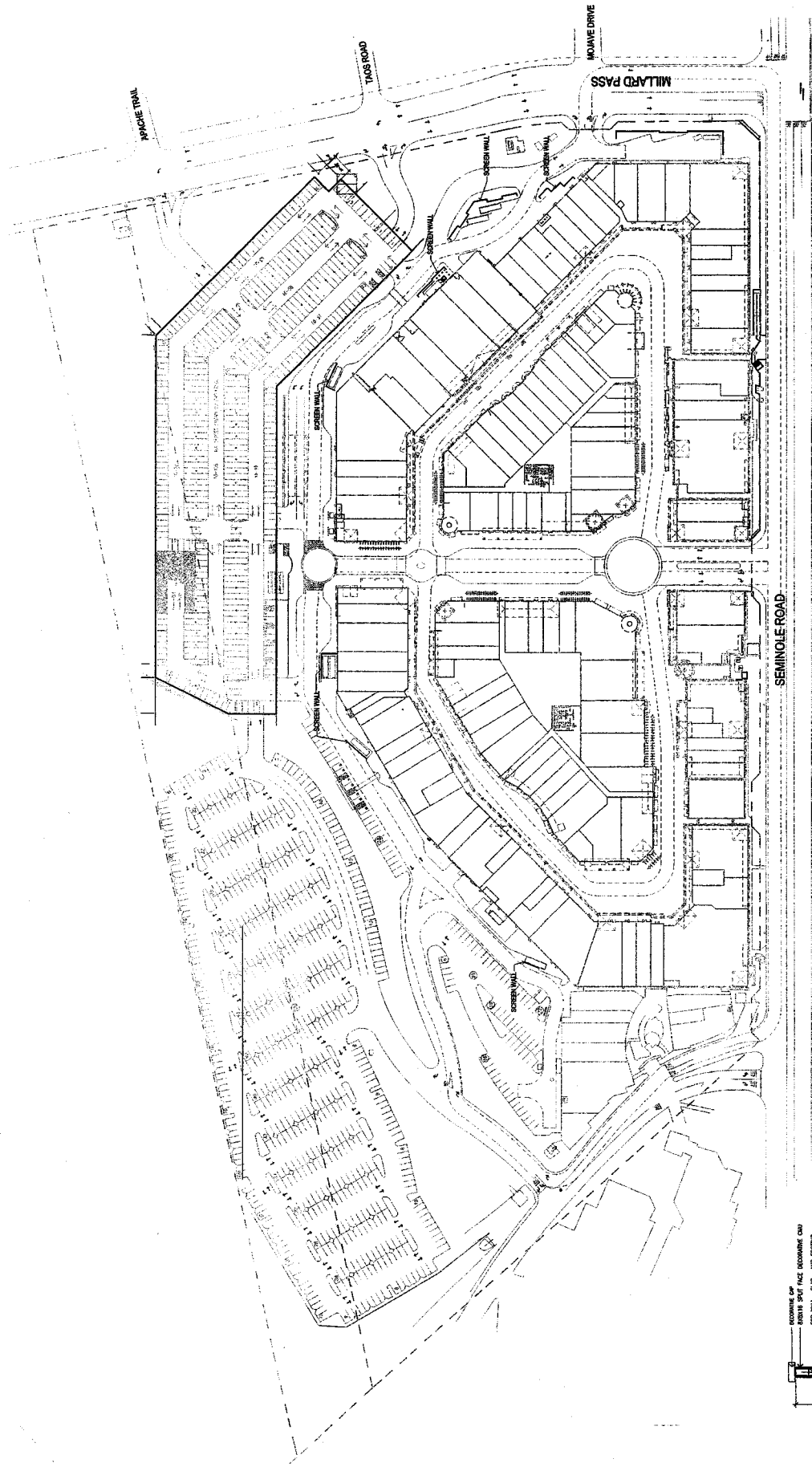
SCALE: 1/16" = 1'-0"  
0 6' 12' 24'

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DESERT HILLS PREMIUM OUTLETS CABAZON, CA

ARCHITECTS ORANGE

PREMIUM OUTLETS  
SIMON



TYPICAL SITE WALL DETAIL

**DESERT HILLS PREMIUM OUTLETS EXPANSION**

**SITE WALL PLAN EXHIBIT**



A1.11

2004-008 04-08-11



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- 1 EXISTING BUILDING
- 2 NEW BUILDING
- 3 IMPROVEMENT/ALTERATION AREA
- 4 EXISTING ON-SITE PARKING
- 5 NEW ON-SITE PARKING
- 6 NEW 4-LEVEL PARKING STRUCTURE
- 7 EXISTING PUBLIC CORRIDOR
- 8 NEW PUBLIC CORRIDOR
- 9 EXISTING SERVICE PASSAGEWAY
- 10 NEW SERVICE PASSAGEWAY
- 11 USE OF EXISTING ACCESS
- 12 SERVICE
- 13 NEW TRASH COLLECTION
- 14 LOCATION OF EXISTING ELECTRICAL ROOM
- 15 LOCATION OF EXISTING GAS METERS
- 16 NEW PATH OF TRAVEL
- 17 LOCATION OF EXISTING FIRE RISER
- 18 LOCATION OF EXISTING STAIRWELL
- 19 LOCATION OF EXISTING TRANSFORMER
- 20 LOCATION OF NEW TRANSFORMER
- 21 ACCESS TO 3RD LEVEL PARKING
- 22 ACCESS TO 4TH LEVEL PARKING
- 23 ACCESS TO 5TH LEVEL PARKING
- 24 EXISTING SITE SIGN PLACE
- 25 NEW PUBLIC FACILITY
- 26 EXISTING PUBLIC FACILITY
- 27 SCREEN WALL
- 28 NEW PUBLIC FACILITY
- 29 NEW PUBLIC FACILITY
- 30 NEW PUBLIC FACILITY
- 31 NEW PUBLIC FACILITY
- 32 NEW PUBLIC FACILITY
- 33 NEW PUBLIC FACILITY
- 34 NEW PUBLIC FACILITY

**KEYNOTES**

519-110-038  
 PP21839  
 ZONING: R.R.5  
 LAND USE: R.R. (VACANT)

ZONING: W-2, W-2-10  
 LAND USE: M.D.R. (EXISTING RESIDENTIAL)

ZONING: W-2, W-2-10  
 LAND USE: M.D.R. (EXISTING RESIDENTIAL)

519-144-084  
 PP16715  
 ZONING: C.P.S.  
 LAND USE: C.R. (EXISTING)

519-110-040  
 PP17655  
 ZONING: C.P.S.  
 LAND USE: C.R. (EXISTING)

**LEGAL DESCRIPTION**

SECTION 14 OF THE SURVEY OF 1/4 SECTION 14, TOWNSHIP 3 NORTH, RANGE 17 EAST, AND RANGE 18 NORTH, SECTION 14, TOWNSHIP 3 NORTH, RANGE 17 EAST, AND RANGE 18 NORTH, COUNTY OF MARICOPA, ARIZONA.

APR. ADDRESS: 519-110-040-3  
 519-110-040-4  
 519-110-040-5

**LEGAL DESCRIPTION**

SECTION 14 OF THE SURVEY OF 1/4 SECTION 14, TOWNSHIP 3 NORTH, RANGE 17 EAST, AND RANGE 18 NORTH, SECTION 14, TOWNSHIP 3 NORTH, RANGE 17 EAST, AND RANGE 18 NORTH, COUNTY OF MARICOPA, ARIZONA.

**UTILITIES AND SCHOOL DISTRICT**

EXISTING GAS C.P.S.  
 EXISTING WATER C.P.S.  
 EXISTING SANITARY C.P.S.  
 EXISTING LAND USE COMPARISON WITH  
 EXISTING LAND USE COMPARISON WITH

**ZONING AND LAND USE**

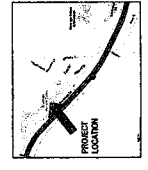
**SITE STATISTICS**

PROPOSED UNDEVELOPED  
 31.12 ACRES  
 280,771 SF, 17.5 ACRES  
 201,207 SF, 14.6 ACRES  
 181,207 SF, 13.1 ACRES  
 USE SHOWN AREA TO BE SHOWN  
 USE SHOWN AREA TO BE SHOWN  
 USE SHOWN AREA TO BE SHOWN

**LEGEND**

NEW PATH OF TRAVEL  
 EXISTING BUILDINGS TO REMAIN  
 PROPOSED NEW BUILDING CONSTRUCTION  
 EXISTING BUILDINGS TO DEMOLISH  
 PROPOSED NEW BUILDING CONSTRUCTION

**VICINITY MAP**



**PROJECT INFORMATION**

ARCHITECT: THE HILL GROUP  
 1000 N. GILBERT AVENUE, SUITE 100  
 GILBERT, ARIZONA 85234  
 (480) 835-1111  
 ENGINEER: THE HILL GROUP  
 1000 N. GILBERT AVENUE, SUITE 100  
 GILBERT, ARIZONA 85234  
 (480) 835-1111

EXISTING AREA	PROPOSED AREA	TOTAL AREA
EXISTING BUILDING AREA	PROPOSED BUILDING AREA	TOTAL BUILDING AREA
EXISTING PARKING AREA	PROPOSED PARKING AREA	TOTAL PARKING AREA
EXISTING DRIVEWAY AREA	PROPOSED DRIVEWAY AREA	TOTAL DRIVEWAY AREA
EXISTING SERVICE PASSAGEWAY AREA	PROPOSED SERVICE PASSAGEWAY AREA	TOTAL SERVICE PASSAGEWAY AREA
EXISTING PUBLIC FACILITY AREA	PROPOSED PUBLIC FACILITY AREA	TOTAL PUBLIC FACILITY AREA
EXISTING LANDSCAPE AREA	PROPOSED LANDSCAPE AREA	TOTAL LANDSCAPE AREA
EXISTING OPEN SPACE AREA	PROPOSED OPEN SPACE AREA	TOTAL OPEN SPACE AREA
EXISTING TOTAL AREA	PROPOSED TOTAL AREA	TOTAL TOTAL AREA

**BUILDING AREA & PARKING CALCULATIONS**



NORTH

SCALE: 1"=80'-0"

A1.10



2006-039  
 10-31-11  
 15-07-12  
 0-2-12

**SITE PLAN**

**DESERT HILLS PREMIUM OUTLETS EXPANSION**

PREMIUM OUTLETS  
 SIMON

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**PROJECT TEAM:**

**OWNER:**  
 PREMIUM OUTLETS/EXPANSION  
 105 Eisenhower Parkway  
 Rosemead, New Jersey 07068  
 (973) 228-9111

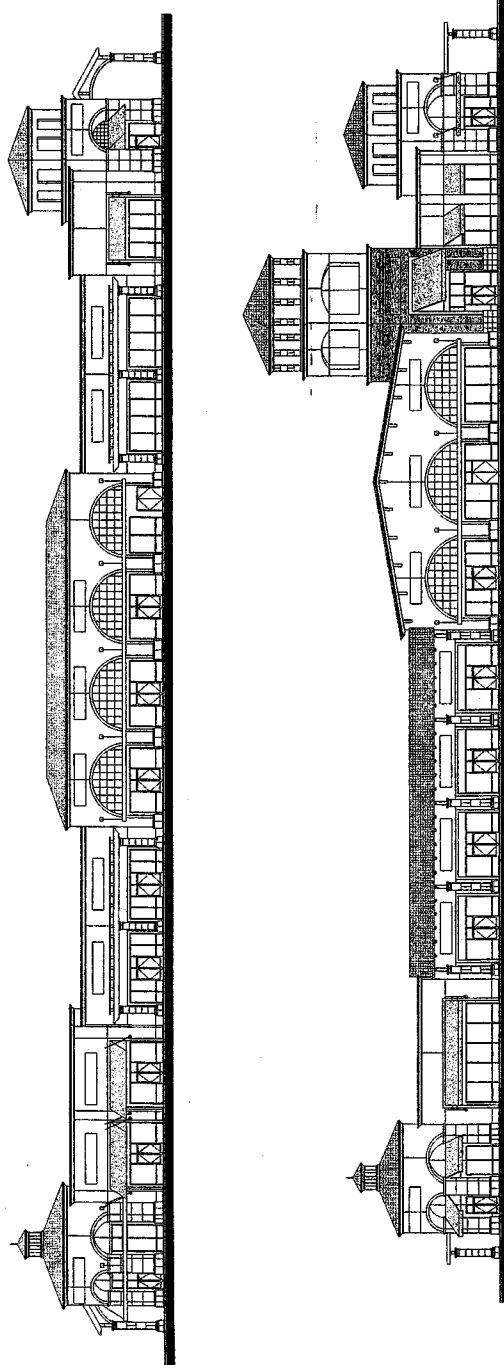
**CONTACT:**  
 Mike Krueger

**ARCHITECT:**  
 HOK  
 44 Alameda St.  
 Orange, CA 92665  
 (714) 952-2600  
 (714) 952-2288 fax

**CIVIL ENGINEER:**  
 MCT CONSULTANTS  
 2544 Lakeside Blvd., Suite 200  
 Poway, CA 92064  
 (619) 341-8840  
 (619) 341-8845 fax

**LANDSCAPE ARCHITECTS/PLANNERS, INC.:**  
 2518 Broadway Avenue, Suite 211  
 Poway, CA 92069  
 (619) 441-1191  
 (619) 444-9000 fax

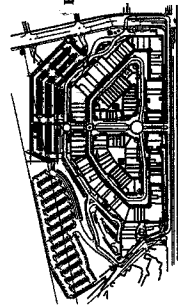
**CONTACT:**  
 Doug Green



**SHEET INDEX:**

- A0 COVER SHEET
- A1.10 SITE WALL PLAN
- A1.11 HARDSCAPE PLAN
- A1.12 SITE PHOTOMETRIC
- E1.1 CONCEPTUAL LANDSCAPE PLAN
- E1.2 CONCEPTUAL TREE PLAN
- A2.20 BUILDING A FLOOR PLAN
- A2.21 BUILDING A ELEVATIONS
- A2.22 BUILDING A ELEVATIONS/ SECTIONS
- A3.20 BUILDING B FLOOR PLAN
- A3.21 BUILDING B ELEVATIONS
- A3.22 BUILDING B ELEVATIONS/ SECTIONS
- A4.20 REMODEL ELEVATIONS PARTIAL FLOOR PLANS
- A4.21 REMODEL ELEVATIONS PARTIAL FLOOR PLANS
- A4.22 REMODEL ELEVATIONS PARTIAL FLOOR PLANS
- A4.23 REMODEL ELEVATIONS PARTIAL FLOOR PLANS
- A4.24 REMODEL ELEVATIONS PARTIAL FLOOR PLANS
- A4.25 REMODEL ELEVATIONS PARTIAL FLOOR PLANS
- A4.26 REMODEL ELEVATIONS PARTIAL FLOOR PLANS
- A4.27 REMODEL SECTIONS
- A5.20 GARAGE FLOOR PLAN - FIRST FLOOR
- A5.21 GARAGE FLOOR PLAN - SECOND FLOOR
- A5.22 GARAGE FLOOR PLAN - THIRD FLOOR
- A5.23 GARAGE FLOOR PLAN - FOURTH FLOOR
- A5.24 GARAGE ELEVATIONS
- A5.25 GARAGE ELEVATIONS/SECTION

**REFERENCE SITE PLAN:**



**FLOOR PLANS AND ELEVATIONS**  
**A0**  
**ENTITLEMENT PACKAGE**  
**AUG. 8, 2011**  
 2009-038  
 08-08-11

**COVER SHEET**

**DESERT HILLS PREMIUM OUTLETS EXPANSION**

**PREMIUM  
 OUTLETS  
 SIMON**

**LEGAL DESCRIPTION**

A portion of the Southwest 1/4 of Section 1, Township 3 North, Range 10 East, T3N, R10E, S12E, Meridian 12, located in Riverside County, State of California, and known as the Desert Hills Premium Outlets, as shown on the attached map is, to wit, the legal description of the premises is as follows:

APN: 010-010-010-010  
 COUNTY: RIVERSIDE, CALIFORNIA

**ZONING & GENERAL PLAN**

COMMERCIAL PLANNED DEVELOPMENT

**BUILDING TABULATIONS:**

Building Name	Area (sq. ft.)	Volume (cu. ft.)
Building A	100,000	1,000,000
Building B	100,000	1,000,000
Building C	100,000	1,000,000
Building D	100,000	1,000,000
Building E	100,000	1,000,000
Building F	100,000	1,000,000
Building G	100,000	1,000,000
Building H	100,000	1,000,000
Building I	100,000	1,000,000
Building J	100,000	1,000,000
Building K	100,000	1,000,000
Building L	100,000	1,000,000
Building M	100,000	1,000,000
Building N	100,000	1,000,000
Building O	100,000	1,000,000
Building P	100,000	1,000,000
Building Q	100,000	1,000,000
Building R	100,000	1,000,000
Building S	100,000	1,000,000
Building T	100,000	1,000,000
Building U	100,000	1,000,000
Building V	100,000	1,000,000
Building W	100,000	1,000,000
Building X	100,000	1,000,000
Building Y	100,000	1,000,000
Building Z	100,000	1,000,000

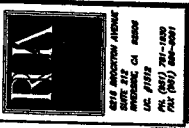
**UTILITY SURVEYS:**

SOUTHERN CALIFORNIA GAS  
 WATER  
 THE GAS COMPANY  
 THE WATER CO.  
 ELECTRICITY  
 SAN DIEGO ELECTRIC



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**ARCHITECTS ORANGE**  
 144 N. Orange Street  
 Orange, CA 92666  
 (714) 839-9860  
 Contact: Linda Laurentz

**Desert Hills Premium**  
 Outlets Expansion  
 Sembole Road  
 Capetown, CA

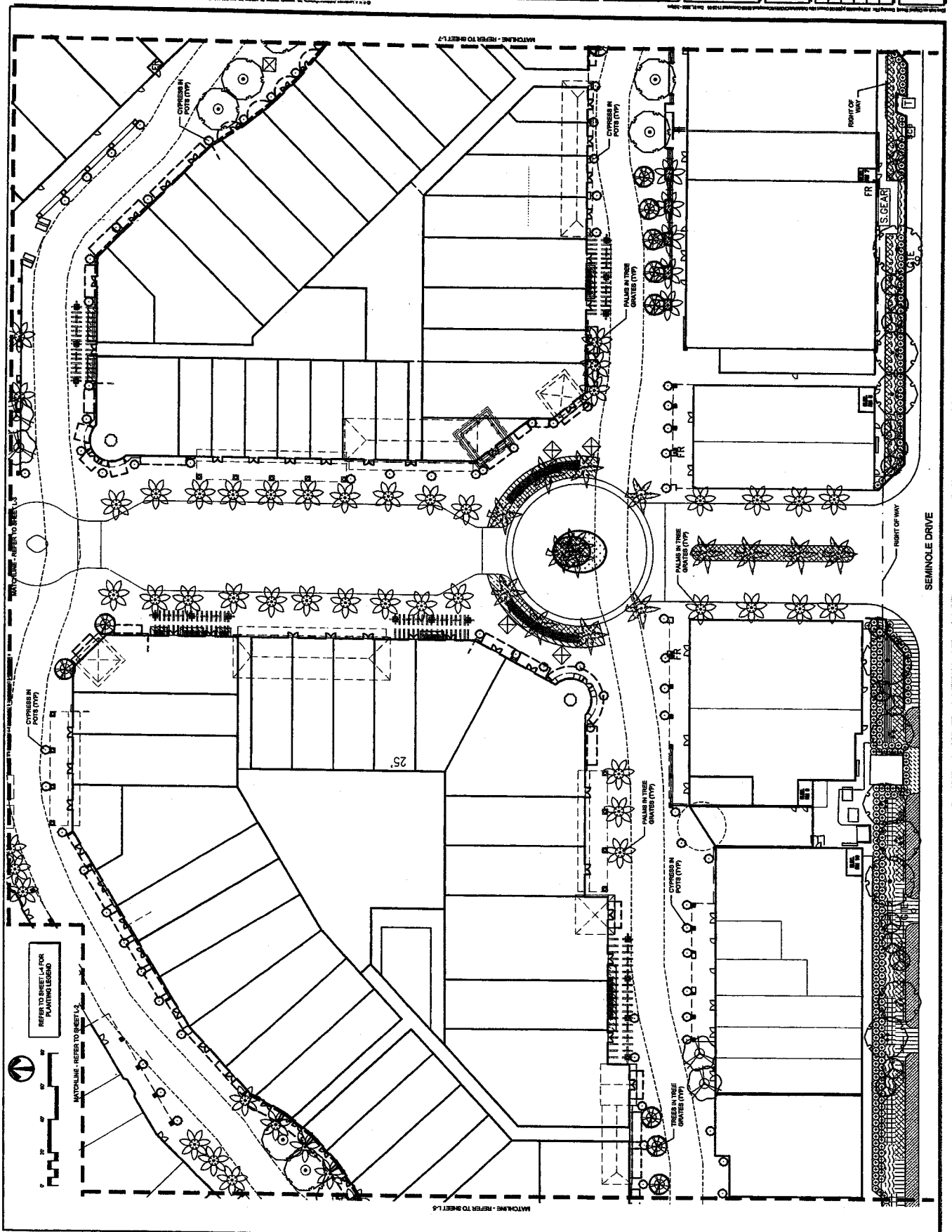
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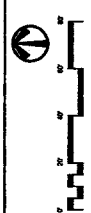
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 CHECKED BY: [blank]  
 SCALE: 1"=200'  
 JOB NO.: 08103

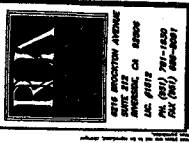
**L-6**  
 6 OF 7 SHEETS



REFER TO SHEET L-4 FOR  
 PLANTING LEGEND







**ARCHITECTS ORANGE**  
 144 N. Orange Street  
 Orange, CA 92666  
 (714) 839-9860  
 Contact: Linda Laurent

**Desert Hills Premium  
 Outlets Expansion**  
 Semnole Road  
 Cebazon, CA

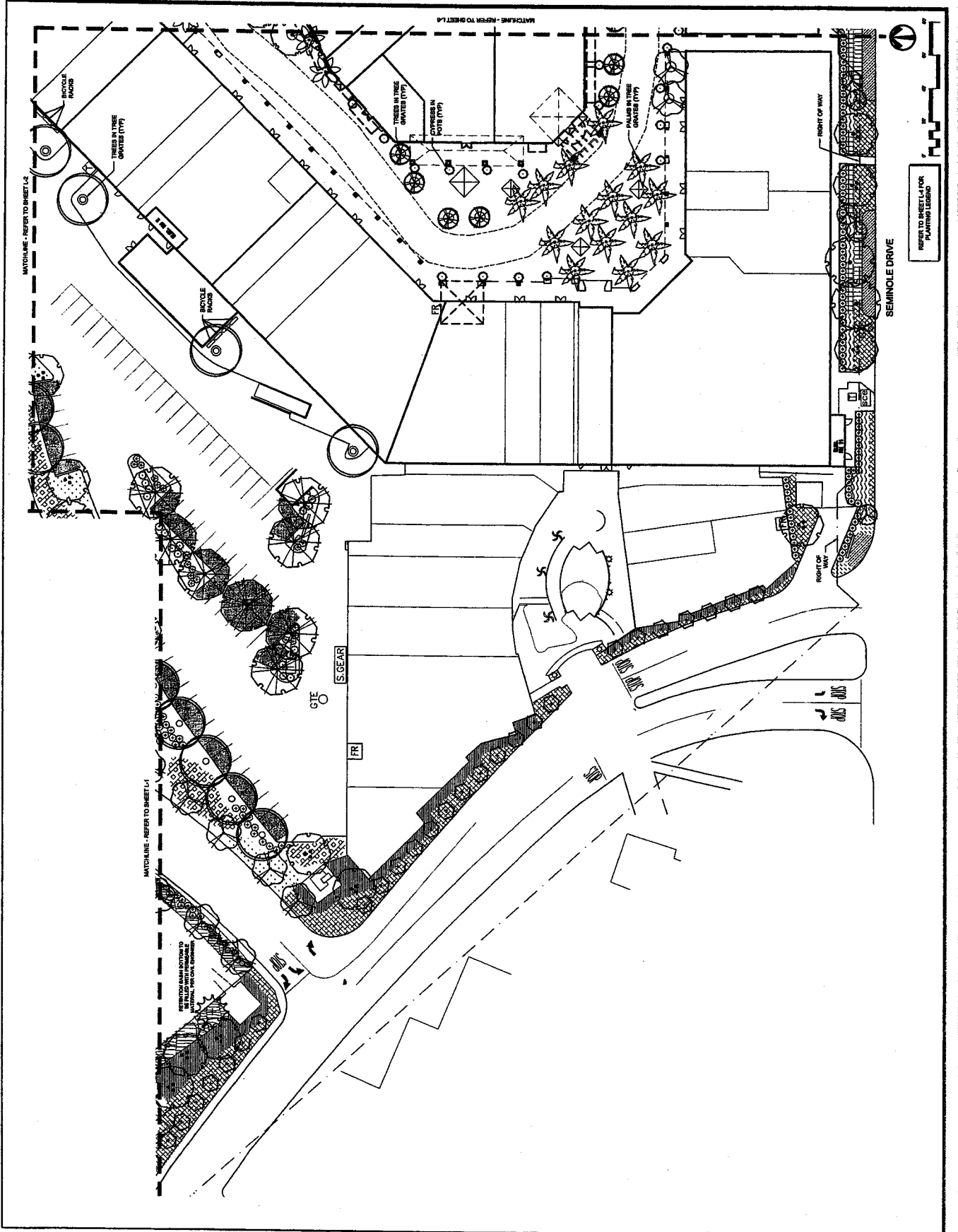
NO.	DATE	DESCRIPTION



**CONCEPTUAL  
 LANDSCAPE  
 PLAN**

DESIGNED BY	
DRAWN BY	
CHECKED BY	
DATE	11/20/18
SCALE	1"=20'
JOB NO.	18010
DATE PLOTTED	11/20/18

**L-5**  
 SHEET  
 1 OF 7 SHEETS









# DESERT HILL PREMIUM OUTLETS 48800 SEMINOLE DRIVE CABAZON, CA 92230

## UTILITY PURVEYORS:

WESTERN CUPRUM CORP.  
1-800-884-8800  
1-800-884-8800  
1-800-884-8800  
1-714-244-0228

DESERT HILL PREMIUM OUTLETS  
48800 SEMINOLE DRIVE  
CABAZON, CA 92230

## LEGAL DESCRIPTION

A PORTION OF THE IMPROVED 6.67 ACRES, TRACT 2, COMMUNITAS TRACT, PARCEL 1, AS SHOWN ON THE PLANS, BEING THE PROPERTY OF RHA LANDSCAPE ARCHITECTS, P.C., 4211 BANNING STREET, SUITE 212, RIVERSIDE, CALIFORNIA 92506, AS SHOWN ON THE PLANS, BEING THE PROPERTY OF RHA LANDSCAPE ARCHITECTS, P.C., 4211 BANNING STREET, SUITE 212, RIVERSIDE, CALIFORNIA 92506.

DATE: 12/01/08  
DRAWN BY: [Name]  
CHECKED BY: [Name]

## ZONING & GENERAL PLAN

COMMERCIAL, GENERAL DISTRICT

## PROJECT TEAM:

**OWNER:**  
DESERT HILL PROPERTY GROUP, INC.  
14141 S. SEMINOLE DRIVE, SUITE 200  
MIRAMONTE, CA 91301  
(818) 487-2100  
WWW.DHPI.COM

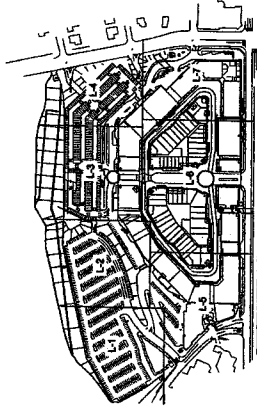
**ARCHITECTS:**  
ARCHITECTS ORANGE  
14141 Orange St.  
Orange, CA 92668  
(714) 636-2000  
(714) 636-2000

**CIVIL ENGINEER:**  
RHA LANDSCAPE ARCHITECTS  
1801 BANNING STREET, SUITE 212  
RIVERSIDE, CA 92506  
(951) 854-8000

**LANDSCAPE:**  
RHA LANDSCAPE ARCHITECTS  
4211 BANNING STREET, SUITE 212  
RIVERSIDE, CA 92506  
(951) 854-8000

**CONTACT:**  
Brent Rippe  
Daniel Hahnwaldt  
Linda Laurent  
Cody Wrenn  
Sara Rowland

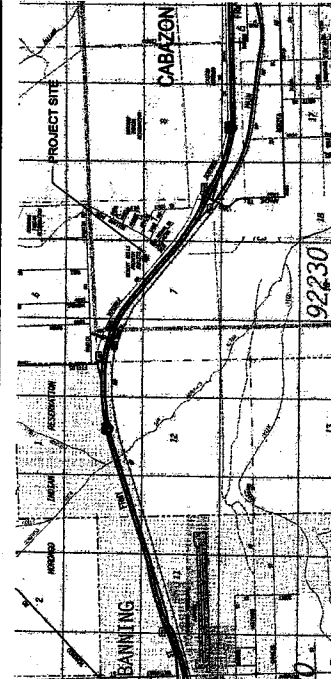
## REFERENCE SITE PLAN:



## SHEET INDEX:

CV	LANDSCAPE COVER SHEET
L-1	CONCEPTUAL PLANTING PLAN
L-2	CONCEPTUAL PLANTING PLAN
L-3	CONCEPTUAL PLANTING PLAN
L-4	CONCEPTUAL PLANTING PLAN
L-5	CONCEPTUAL PLANTING PLAN
L-6	CONCEPTUAL PLANTING PLAN
L-7	CONCEPTUAL PLANTING PLAN

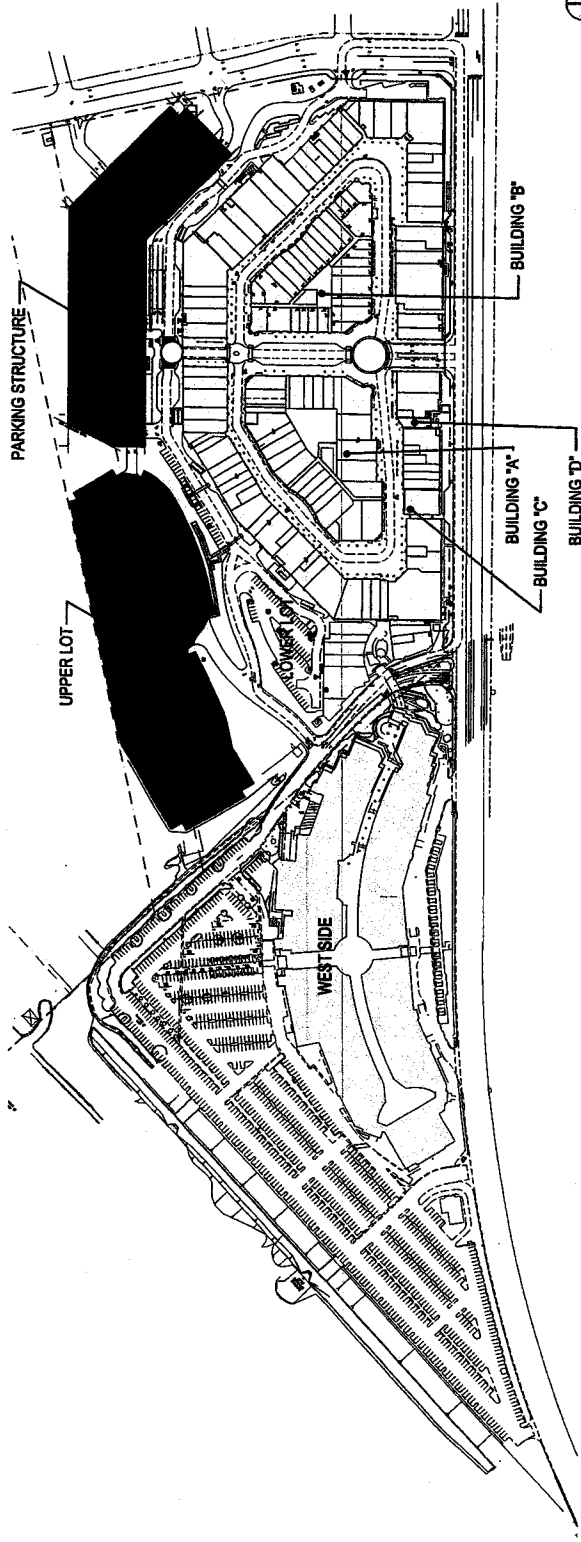
## VICINITY MAP:



CV  
DECEMBER 1, 2008



DESERT HILLS PREMIUM OUTLETS CABAZON, CA  
LANDSCAPE COVER SHEET  
RHA LANDSCAPE ARCHITECTS-PLANNERS  
CPGI



REFERENCE  
 UPPER LOT 620  
 LOWER LOT 88  
 4 STORY PARKING STRUCTURE PROVIDED 1,829  
 3,695

**FINISHED PROJECT**

PARKING	Units Provided	Units Required
Existing G.A.	265,350	1670
New G.A.	159,462	872
Total Parking Units Provided		2442
Handicapped Units Provided		35
Total Parking Units Provided		2477
Total Handicapped Units Provided		35

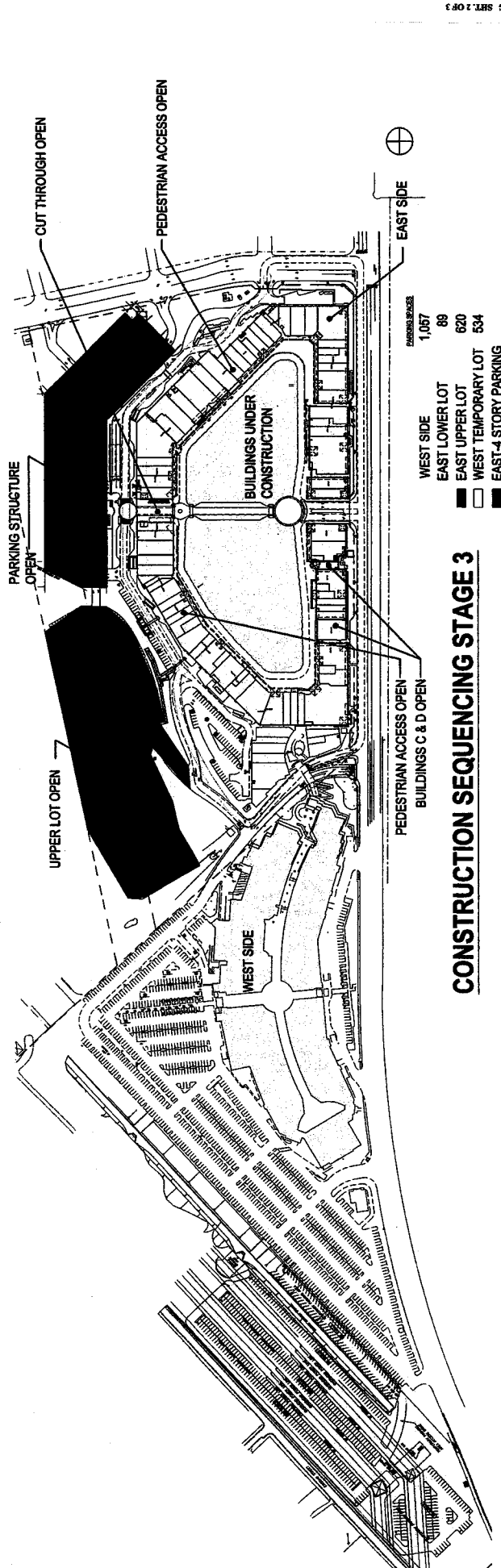
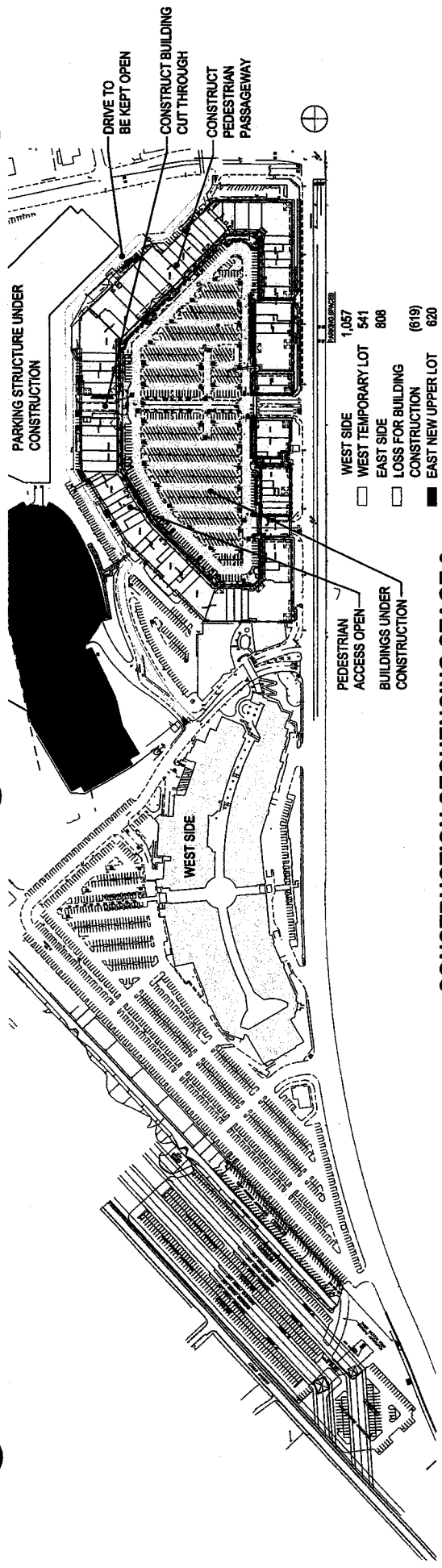
**DESERT HILLS PREMIUM OUTLETS EXPANSION**

PREMIUM  
 OUTLETS  
 SIMON

**CONSTRUCTION SEQUENCING (3 of 3)**

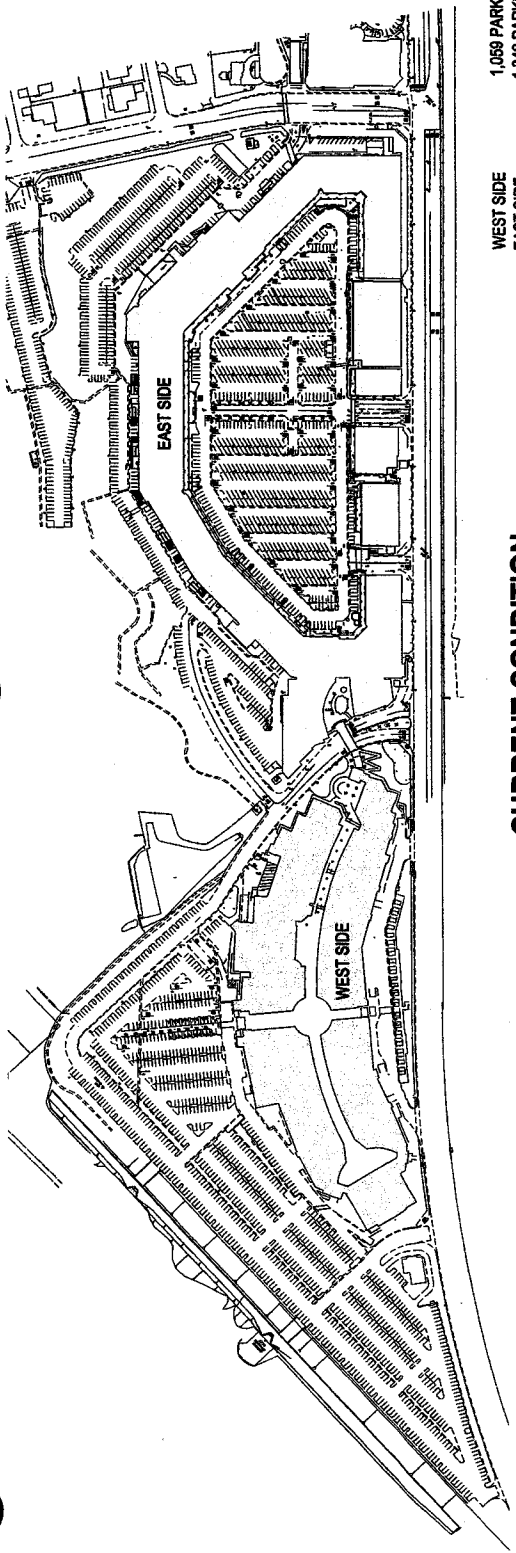
2008-030 10-11-11  
  
 ARCHITECTS  
 1000 W. CENTRAL EXPRESSWAY  
 SUITE 1000  
 WEST VALLEY CITY, UT 84115  
 TEL: 801-438-1111  
 FAX: 801-438-1112

05-11-11  
2008-030



**CONSTRUCTION SEQUENCING (2 of 3)**

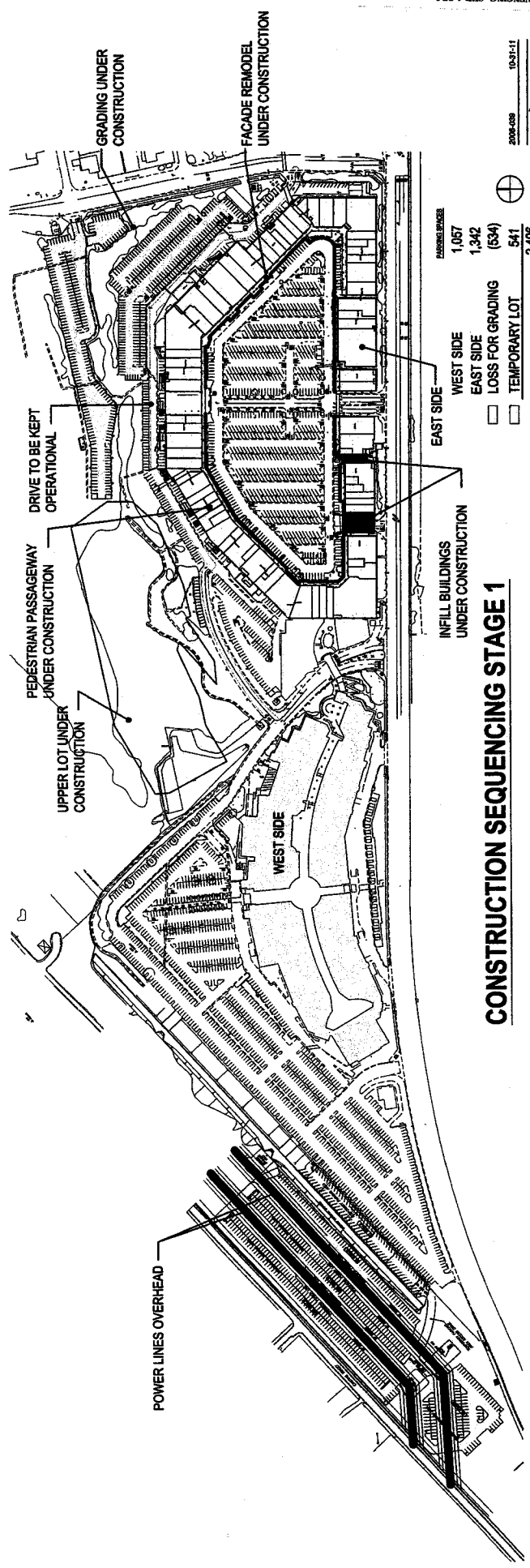
**DESERT HILLS PREMIUM OUTLETS EXPANSION**



WEST SIDE  
EAST SIDE

1,059 PARKING SPACES  
1,342 PARKING SPACES  
2,401 PARKING SPACES

**CURRENT CONDITION**



WEST SIDE  
EAST SIDE  
LOSS FOR GRADING (534)  
TEMPORARY LOT (541)

1,057  
1,342  
541  
2,406

**CONSTRUCTION SEQUENCING STAGE 1**

**CONSTRUCTION SEQUENCING (1 of 3)**

**DESERT HILLS PREMIUM OUTLETS EXPANSION**

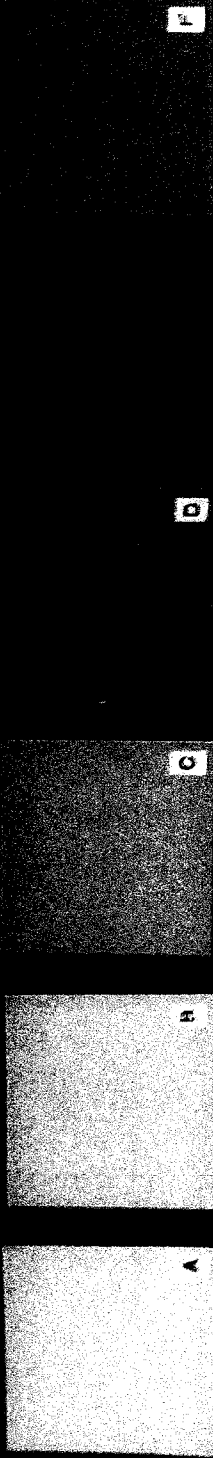


05/15/11  
05/15/11



**COLORS**

- A. FRAZEE #CL2751W - NEAR NAKED
- B. FRAZEE #CL2752W - ORTHODOX
- C. FRAZEE #2753M - QUARRY
- D. FRAZEE #6984D
- E. FRAZEE #CL1833M - COMRADE
- F. FRAZEE #4604D
- G. FRAZEE #4484D
- H. FRAZEE #CL1595D - BIG MARBLE
- I. FRAZEE #5935Y
- J. FRAZEE #5825N
- K. FRAZEE #CL2885A
- L. FRAZEE #CL3275D
- M. US TILE - EL CAMINO BLEND
- N. AEP SPAN - WEATHERING COPPER
- O. PRECAST CONCRETE - CDI
  - 1. #G040 - OLD PEWTER
  - 2. #GP30 - PEBBLE
- P. EL DORADO FALSE STONE VENEER
  - 1. VENETO - FIELD LEDGE
  - 2. SEQUOIA - RUSTIC LEDGE
  - 3. SANTA BARBARA - COARSED STONE
- Q. CANVAS AWNINGS
  - 1. SUNBRELLA FIRESIST - #82003 - FOREST GREEN
  - 2. SUNBRELLA FIRESIST - #82016 - BURGUNDY
  - 3. SUNBRELLA FIRESIST - #82017 - CRIMSON RED
  - 4. SUNBRELLA FIRESIST - #82012 - TOASTY BEIGE
  - 5. SUNBRELLA FIRESIST - #82008 - BLACK
- R. WALL TILE PANELS
  - 1. DAL TILE - #S700 - CALIFORNIA GOLD
  - 2. DAL TILE - #S776 - COPPER
  - 3. DAL TILE - #S782 - CHINA APRICOT



F

D

C

B

A

L

K

J

I

H

G

R3

R2

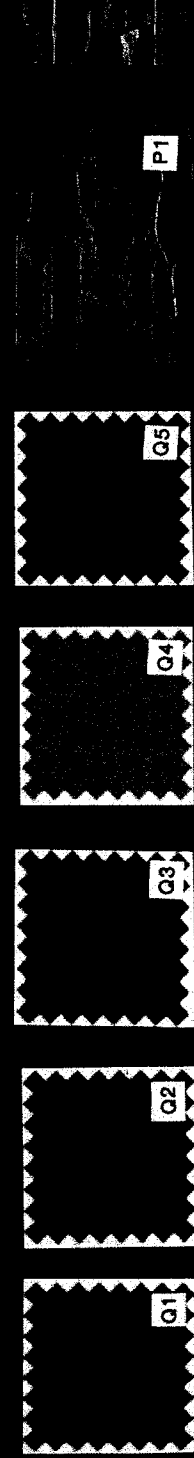
R1

O2

O1

N

M



P3

P2

P1

Q5

Q4

Q3

Q2

Q1

CASE#: PP23635  
 EXHIBIT: M  
 DATED: 9/07/11  
 PLANNER: W. BUGTAI

DESERT HILLS PREMIUM OUTLETS EXPANSION

PREMIUM  
 OUTLETS  
 MARKS



# COUNTY OF RIVERSIDE

## ENVIRONMENTAL ASSESSMENT FORM: INITIAL STUDY

**Environmental Assessment (E.A.) Number:** 42013  
**Project Case Type (s) and Number(s):** PLOT PLAN NO. 23635  
**Lead Agency Name:** County of Riverside Planning Department  
**Address:** P.O. Box 1409, Riverside, CA 92502-1409  
**Contact Person:** Wendell Bugtai, Project Planner  
**Telephone Number:** 951-955-2419  
**Applicant's Name:** Simon Property Group  
**Applicant's Address:** 105 Eisenhower Parkway, Roseland, New Jersey 07068

### I. PROJECT INFORMATION

#### Project Description:

**PLOT PLAN NO. 23635 proposes** to add 158,492 square feet of retail space and 1,124 parking spaces to an existing outlet center located in Cabazon.

**A. Type of Project:** Site Specific ; Countywide ; Community ; Policy .

**B. Total Project Area:** 39.46 Gross Acres

**C.**

<b>Residential Acres:</b>	<b>Lots:</b>	<b>Units:</b>	<b>Projected No. of Residents:</b>
<b>Commercial Acres:</b> 39.46	<b>Lots:</b>	<b>Sq. Ft. of Bldg. Area:</b> 158,492	<b>Est. No. of Employees:</b> 900
<b>Industrial Acres:</b>	<b>Lots:</b>	<b>Sq. Ft. of Bldg. Area:</b>	<b>Est. No. of Employees:</b>
<b>Other:</b>			

1. **Assessor's Parcel No(s):** 519-110-037

**Street References:** The project is located northerly of Seminole Drive, southerly of Martin Road, easterly of Johnson Lane, westerly of Millard Pass.

**D. Section, Township & Range Description or reference/attach a Legal Description:**

Township 3 South Range 2 East Section 7

**E. Brief description of the existing environmental setting of the project site and its surroundings:** The project is fully developed with commercial retail uses within the property. Surrounding uses consist of commercial and residential uses with Interstate 10 to the south.

### II. APPLICABLE GENERAL PLAN AND ZONING REGULATIONS

#### A. General Plan Elements/Policies:

1. **Land Use:** The proposed project meets the requirements for the Community Development: Commercial Retail (CD: CR) Land Use Designation land use designation and all applicable land use policies.

2. **Circulation:** Adequate circulation facilities exist and are proposed to serve the proposed project. The proposed project meets all other applicable circulation policies of the General Plan.
3. **Multipurpose Open Space:** No natural open space land was required to be preserved within the boundaries of this project. The proposed project meets with all other applicable Multipurpose Open Space element policies.
4. **Safety:** The proposed project has allowed for the sufficient provision of emergency response services to the future use of this project. The proposed project meets all other applicable Safety element policies.
5. **Noise:** The proposed project meets with all applicable Noise element policies.
6. **Housing:** The proposed project meets with all applicable Housing element policies.
7. **Air Quality:** The proposed project has been conditioned to control any fugitive dust during grading and construction activities. The proposed project meets all other applicable Air Quality Element policies.

**B. General Plan Area Plan(s):** Pass

**C. Foundation Component(s):** Community Development (CD)

**D. Land Use Designation(s):** Commercial Retail (CR)

**E. Overlay(s), if any:** N/A

**F. Policy Area(s), if any:** N/A

**G. Adjacent and Surrounding Area Plan(s), Foundation Component(s), Land Use Designation(s), and Overlay(s) and Policy Area(s), if any:** N/A

**H. Adopted Specific Plan Information**

1. **Name and Number of Specific Plan, if any:** N/A

2. **Specific Plan Planning Area, and Policies, if any:** N/A

**I. Existing Zoning:** Scenic Highway Commercial (C-P-S)

**J. Proposed Zoning, if any:** N/A

**K. Adjacent and Surrounding Zoning:** Scenic Highway Commercial (C-P-S) to the west, Rural Residential – 5 Acre Minimum (R-R-5) to the north, Controlled Development Areas (W-2) and Scenic Highway Commercial (C-P-S) to the east and Interstate-10 Freeway (I-10) to the south.

### III. ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED

The environmental factors checked below ( x ) would be potentially affected by this project, involving at least one impact that is a "Potentially Significant Impact" or "Less than Significant with Mitigation Incorporated" as indicated by the checklist on the following pages.

- |                                                         |                                                        |                                                             |
|---------------------------------------------------------|--------------------------------------------------------|-------------------------------------------------------------|
| <input type="checkbox"/> Aesthetics                     | <input type="checkbox"/> Hazards & Hazardous Materials | <input type="checkbox"/> Recreation                         |
| <input type="checkbox"/> Agriculture & Forest Resources | <input type="checkbox"/> Hydrology / Water Quality     | <input type="checkbox"/> Transportation / Traffic           |
| <input type="checkbox"/> Air Quality                    | <input type="checkbox"/> Land Use / Planning           | <input type="checkbox"/> Utilities / Service Systems        |
| <input type="checkbox"/> Biological Resources           | <input type="checkbox"/> Mineral Resources             | <input type="checkbox"/> Other:                             |
| <input type="checkbox"/> Cultural Resources             | <input type="checkbox"/> Noise                         | <input type="checkbox"/> Other:                             |
| <input checked="" type="checkbox"/> Geology / Soils     | <input type="checkbox"/> Population / Housing          | <input type="checkbox"/> Mandatory Findings of Significance |
| <input type="checkbox"/> Greenhouse Gas Emissions       | <input type="checkbox"/> Public Services               |                                                             |

#### IV. DETERMINATION

On the basis of this initial evaluation:

#### A PREVIOUS ENVIRONMENTAL IMPACT REPORT/NEGATIVE DECLARATION WAS NOT PREPARED

- I find that the proposed project **COULD NOT** have a significant effect on the environment, and a **NEGATIVE DECLARATION** will be prepared.
- I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because revisions in the project, described in this document, have been made or agreed to by the project proponent. A **MITIGATED NEGATIVE DECLARATION** will be prepared.
- I find that the proposed project **MAY** have a significant effect on the environment, and an **ENVIRONMENTAL IMPACT REPORT** is required.

#### A PREVIOUS ENVIRONMENTAL IMPACT REPORT/NEGATIVE DECLARATION WAS PREPARED

- I find that although the proposed project could have a significant effect on the environment, **NO NEW ENVIRONMENTAL DOCUMENTATION IS REQUIRED** because (a) all potentially significant effects of the proposed project have been adequately analyzed in an earlier EIR or Negative Declaration pursuant to applicable legal standards, (b) all potentially significant effects of the proposed project have been avoided or mitigated pursuant to that earlier EIR or Negative Declaration, (c) the proposed project will not result in any new significant environmental effects not identified in the earlier EIR or Negative Declaration, (d) the proposed project will not substantially increase the severity of the environmental effects identified in the earlier EIR or Negative Declaration, (e) no considerably different mitigation measures have been identified and (f) no mitigation measures found infeasible have become feasible.
- I find that although all potentially significant effects have been adequately analyzed in an earlier EIR or Negative Declaration pursuant to applicable legal standards, some changes or additions are necessary but none of the conditions described in California Code of Regulations, Section 15162 exist. An **ADDENDUM** to a previously-certified EIR or Negative Declaration has been prepared and will be considered by the approving body or bodies.
- I find that at least one of the conditions described in California Code of Regulations, Section 15162 exist, but I further find that only minor additions or changes are necessary to make the previous EIR adequately apply to the project in the changed situation; therefore a **SUPPLEMENT TO THE ENVIRONMENTAL IMPACT REPORT** is required that need only contain the information necessary to make the previous EIR adequate for the project as revised.
- I find that at least one of the following conditions described in California Code of Regulations, Section 15162, exist and a **SUBSEQUENT ENVIRONMENTAL IMPACT REPORT** is required: (1) Substantial changes are proposed in the project which will require major revisions of the previous EIR or negative declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; (2) Substantial changes have occurred with respect to the circumstances under which the project is undertaken which will require major revisions of the previous EIR or negative declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; or (3) New information of substantial importance, which was not known and could not have

been known with the exercise of reasonable diligence at the time the previous EIR was certified as complete or the negative declaration was adopted, shows any the following:(A) The project will have one or more significant effects not discussed in the previous EIR or negative declaration;(B) Significant effects previously examined will be substantially more severe than shown in the previous EIR or negative declaration;(C) Mitigation measures or alternatives previously found not to be feasible would in fact be feasible, and would substantially reduce one or more significant effects of the project, but the project proponents decline to adopt the mitigation measures or alternatives; or,(D) Mitigation measures or alternatives which are considerably different from those analyzed in the previous EIR or negative declaration would substantially reduce one or more significant effects of the project on the environment, but the project proponents decline to adopt the mitigation measures or alternatives.

\_\_\_\_\_  
Signature

Wendell Bugtai, Project Planner  
\_\_\_\_\_  
Printed Name

February 21, 2012

\_\_\_\_\_  
Date

For Carolyn Syms Luna, Director  
\_\_\_\_\_

**V. ENVIRONMENTAL ISSUES ASSESSMENT**

In accordance with the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000-21178.1), this Initial Study has been prepared to analyze the proposed project to determine any potential significant impacts upon the environment that would result from construction and implementation of the project. In accordance with California Code of Regulations, Section 15063, this Initial Study is a preliminary analysis prepared by the Lead Agency, the County of Riverside, in consultation with other jurisdictional agencies, to determine whether a Negative Declaration, Mitigated Negative Declaration, or an Environmental Impact Report is required for the proposed project. The purpose of this Initial Study is to inform the decision-makers, affected agencies, and the public of potential environmental impacts associated with the implementation of the proposed project.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>AESTHETICS</b> Would the project				
<b>1. Scenic Resources</b>				
a) Have a substantial effect upon a scenic highway corridor within which it is located?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings and unique or landmark features; obstruct any prominent scenic vista or view open to the public; or result in the creation of an aesthetically offensive site open to public view?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure C-9 "Scenic Highways"

Findings of Fact:

- a) The project is not located within, or proximate to a scenic highway corridor, therefore the project would not have a substantial effect upon a scenic highway corridor.
- b) The project will not substantially damage scenic resources, including, but not limited to, trees, rock outcroppings and unique or landmark features; obstruct any prominent scenic vista or view open to the public; or result in the creation of an aesthetically offensive site open to public view.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

<b>2. Mt. Palomar Observatory</b>				
a) Interfere with the nighttime use of the Mt. Palomar Observatory, as protected through Riverside County Ordinance No. 655?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: GIS database, Ord. No. 655 (Regulating Light Pollution)

Findings of Fact:

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	----------------------------------------------------	------------------------------	-----------

a) According to the General Plan, the project is located within Zone B (39.35 miles) of the Mount Palomar Observatory. Zone "B" proscribes preferred types of lighting fixtures (i.e. low-pressure sodium lamps), shielding requirements, hours of operation, and regulates outdoor advertising displays. The proposed project has been conditioned to utilize low pressure sodium vapor lighting or overhead high pressure sodium vapor lighting with shields, or cutoff luminaries (10.PLANNING.18). The project has a less than significant impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**3. Other Lighting Issues**

a) Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Expose residential property to unacceptable light levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: On-site Inspection, Project Application Description

Findings of Fact:

a) The project will not create a new source of substantial light or glare which would adversely affect day or nighttime views in the area.

b) The project will not expose residential property to unacceptable light levels.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**AGRICULTURE & FOREST RESOURCES** Would the project

**4. Agriculture**

a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland) as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Conflict with existing agricultural zoning, agricultural use or with land subject to a Williamson Act contract or land within a Riverside County Agricultural Preserve?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Cause development of non-agricultural uses within 300 feet of agriculturally zoned property (Ordinance No. 625 "Right-to-Farm")?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	----------------------------------------------------	------------------------------	-----------

Source: Riverside County General Plan Figure OS-2 "Agricultural Resources," GIS database, and Project Application Materials.

Findings of Fact:

- a) The project will not convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland) as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use.
- b) The project will not conflict with existing agricultural zoning, agricultural use or with land subject to a Williamson Act contract or land within a Riverside County Agricultural Preserve.
- c) The project will not cause development of non-agricultural uses within 300 feet of agriculturally zoned property (Ordinance No. 625 "Right-to-Farm").
- d) The project will not involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**5. Forest**

a) Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code section 12220(g)), timberland (as defined by Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Govt. Code section 51104(g))?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Result in the loss of forest land or conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure OS-3 "Parks, Forests and Recreation Areas," and Project Application Materials.

Findings of Fact:

- a) The project will not Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code section 12220(g)), timberland (as defined by Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Govt. Code section 51104(g)).
- b) The project will not result in the loss of forest land or conversion of forest land to non-forest use.
- c) The project will not involve other changes in the existing environment which, due to their location or nature, could result in conversion of forest land to non-forest use.



Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	----------------------------------------------------	------------------------------	-----------

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**AIR QUALITY** Would the project

**6. Air Quality Impacts**

a) Conflict with or obstruct implementation of the applicable air quality plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Violate any air quality standard or contribute substantially to an existing or projected air quality violation?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Expose sensitive receptors which are located within 1 mile of the project site to project substantial point source emissions?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Involve the construction of a sensitive receptor located within one mile of an existing substantial point source emitter?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) Create objectionable odors affecting a substantial number of people?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: SCAQMD CEQA Air Quality Handbook Table 6-2

Findings of Fact:

a) The South Coast Air Quality Management District (SCAQMD) is responsible for developing a regional air quality management plan to insure compliance with state and federal air quality standards. The SCAQMD has adopted the 2003 Air Quality Management Plan (AQMP). The 2003 AQMP is based on socioeconomic forecasts (including population estimates) provided by the Southern California Association of Governments (SCAG). The County General Plan is consistent with SCAG's Regional Growth Management Plan and SCAQMD's Air Quality Management Plan. This project is consistent with the General Plan land use designations, and population estimates. The population proposed by this project will not obstruct the implementation of the 2003 AQMP.

b) Air quality impacts would occur during site preparation, including grading and equipment exhaust. Major sources of fugitive dust are a result of grading and site preparation during construction by vehicles and equipment and generated by construction vehicles and equipment traveling over exposed surfaces, as well as by soil disturbances from grading and filling. Blowing dust is also of concern in the dry desert areas where PM10 standards are exceeded by soil disturbance during grading, and vehicular travel over unpaved roads. These short-term construction related impacts will be reduced below a level of significance by dust control measures implemented during grading. (COA 10.BS GRADE.4) This is a standard condition of approval and is not considered mitigation pursuant to CEQA.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	----------------------------------------------------	------------------------------	-----------

c) The project will not result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard.

d) A sensitive receptor is a person in the population who is particularly susceptible to health effects due to exposure to an air contaminant than is the population at large. Sensitive receptors (and the facilities that house them) in proximity to localized CO sources, toxic air contaminants or odors are of particular concern. High levels of CO are associated with major traffic sources, such as freeways and major intersections, and toxic air contaminants are normally associated with manufacturing and commercial operations. Land uses considered to be sensitive receptors include long-term health care facilities, rehabilitation centers, convalescent centers, retirement homes, residences, schools, playgrounds, child care centers, and athletic facilities. Surrounding land uses include residential, which is considered a sensitive receptor, however, the project is not expected to generate substantial point source emissions.

e) The project will not create sensitive receptors located within one mile of an existing substantial point source emitter.

f) The project will not create objectionable odors affecting a substantial number of people.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**BIOLOGICAL RESOURCES** Would the project

**7. Wildlife & Vegetation**

a) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Conservation Community Plan, or other approved local, regional, or state conservation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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b) Have a substantial adverse effect, either directly or through habitat modifications, on any endangered, or threatened species, as listed in Title 14 of the California Code of Regulations (Sections 670.2 or 670.5) or in Title 50, Code of Federal Regulations (Sections 17.11 or 17.12)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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c) Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U. S. Wildlife Service?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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e) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations or by the California Department of Fish and Game or U. S. Fish and	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>Wildlife Service?</b>				
f) Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g) Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: GIS database, WRCMSHCP and/or CVMSHCP, On-site Inspection

Findings of Fact:

- a) The project will not conflict with the provisions of an adopted Habitat Conservation Plan, Natural Conservation Community Plan, or other approved local, regional, or state conservation plan.
- b) The project will not have a substantial adverse effect, either directly or through habitat modifications, on any endangered, or threatened species, as listed in Title 14 of the California Code of Regulations (Sections 670.2 or 670.5) or in Title 50, Code of Federal Regulations (Sections 17.11 or 17.12).
- c) The project will not have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U. S. Wildlife Service.
- d) The project will not interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident migratory wildlife corridors, or impede the use of native wildlife nursery sites.
- e) The project will not have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations or by the California Department of Fish and Game or U. S. Fish and Wildlife Service.
- f) The project will not have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means.
- g) The proposed project will not conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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**CULTURAL RESOURCES** Would the project

**8. Historic Resources**

a) Alter or destroy an historic site?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Cause a substantial adverse change in the significance of a historical resource as defined in California Code of Regulations, Section 15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: On-site Inspection, Project Application Materials

Findings of Fact:

- a) The project will not alter or destroy an historic site.
- b) The project will not cause a substantial adverse change in the significance of a historical resource as defined in California Code of Regulations, Section 15064.5.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**9. Archaeological Resources**

a) Alter or destroy an archaeological site.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Cause a substantial adverse change in the significance of an archaeological resource pursuant to California Code of Regulations, Section 15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Disturb any human remains, including those interred outside of formal cemeteries?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Restrict existing religious or sacred uses within the potential impact area?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Project Application Materials

Findings of Fact:

- a) The project will not alter or destroy an archaeological site
- b) The project will not cause a substantial adverse change in the significance of an archaeological resource pursuant to California Code of Regulations, Section 15064.5.
- c) The project will not alter disturb any human remains, including those interred outside of formal cemeteries.
- d) The project will not restrict existing religious or sacred uses within the potential impact area.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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**10. Paleontological Resources**

a) Directly or indirectly destroy a unique paleontological resource, or site, or unique geologic feature?

Source: Riverside County General Plan Figure OS-8 "Paleontological Sensitivity"

Findings of Fact:

a) The project will not directly or indirectly destroy a unique paleontological resource, or site, or unique geologic feature.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**GEOLOGY AND SOILS** Would the project

**11. Alquist-Priolo Earthquake Fault Zone or County Fault Hazard Zones**

a) Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death?

b) Be subject to rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault?

Source: Riverside County General Plan Figure S-2 "Earthquake Fault Study Zones," GIS database, County Geologic Report (GEO) No. 2108, Gary S. Rasmussen & Associates, Inc. entitled, "Engineering Geology Investigation, Phase 5 Expansion, Desert Hills Factory Outlets, Cabazon Area, Riverside County, California, Project No. 3188.13" Dated October 22, 2008.

Findings of Fact:

a) The project may expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death.

b) The project may be subject to rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault.

The County Geologist has recommended two conditions (below) to mitigate the existing fault zone.

Mitigation: (10.PLANNING.35) GEO 2108

- 1) Remedial Grading (overexcavation and recompaction) of the natural soil.
- 2) Conventional shallow spread and wall footings may be safely used for support of the retail buildings and parking structure.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Monitoring: Building and Safety Department process

**12. Liquefaction Potential Zone**

a) Be subject to seismic-related ground failure, including liquefaction?

Source: Riverside County General Plan Figure S-3 "Generalized Liquefaction"

Findings of Fact:

a) The project has a "MODERATE" potential for seismic-related ground failure, including liquefaction.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**13. Ground-shaking Zone**

Be subject to strong seismic ground shaking?

Source: Riverside County General Plan Figure S-4 "Earthquake-Induced Slope Instability Map," and Figures S-13 through S-21 (showing General Ground Shaking Risk), County Geologic Report (GEO) No. 2108, Gary S. Rasmussen & Associates, Inc. entitled, "Engineering Geology Investigation, Phase 5 Expansion, Desert Hills Factory Outlets, Cabazon Area, Riverside County, California, Project No. 3188.13" Dated October 22, 2008.

Findings of Fact:

a) The project is subject to strong seismic ground shaking.

The County Geologist has recommended two conditions (below) to mitigate the existing fault zone.

Mitigation: (10.PLANNING.35) GEO 2108

1) Remedial Grading (overexcavation and recompaction) of the natural soil.

2) Conventional shallow spread and wall footings may be safely used for support of the retail buildings and parking structure.

Monitoring: Building and Safety Department process

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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**14. Landslide Risk**

a) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, collapse, or rockfall hazards?

Source: On-site Inspection, Riverside County General Plan Figure S-5 "Regions Underlain by Steep Slope"

Findings of Fact:

a) The project will not be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, collapse, or rockfall hazards.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**15. Ground Subsidence**

a) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in ground subsidence?

Source: Riverside County General Plan Figure S-7 "Documented Subsidence Areas Map"

Findings of Fact:

a) The project will not be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in ground subsidence.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**16. Other Geologic Hazards**

a) Be subject to geologic hazards, such as seiche, mudflow, or volcanic hazard?

Source: On-site Inspection, Project Application Materials

Findings of Fact:

a) The project will not be subject to geologic hazards, such as seiche, mudflow, or volcanic hazard.

Mitigation: No mitigation measures are required.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Monitoring: No monitoring measures are required.

**17. Slopes**

a) Change topography or ground surface relief features?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Create cut or fill slopes greater than 2:1 or higher than 10 feet?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Result in grading that affects or negates subsurface sewage disposal systems?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riv. Co. 800-Scale Slope Maps, Project Application Materials

Findings of Fact:

- a) The project will not change topography or ground surface relief features.
- b) The project will not create cut or fill slopes greater than 2:1 or higher than 10 feet.
- c) The project will not result in grading that affects or negates subsurface sewage disposal systems.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**18. Soils**

a) Result in substantial soil erosion or the loss of topsoil?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Be located on expansive soil, as defined in Section 1802.3.2 of the California Building Code (2007), creating substantial risks to life or property?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Have soils incapable of adequately supporting use of septic tanks or alternative waste water disposal systems where sewers are not available for the disposal of waste water?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: U.S.D.A. Soil Conservation Service Soil Surveys, Project Application Materials, On-site Inspection

Findings of Fact:

- a) The project will not result in substantial soil erosion or the loss of topsoil.
- b) The project will not be located on expansive soil, as defined in Section 1802.3.2 of the California Building Code (2007), creating substantial risks to life or property.



Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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c) The project will not have soils incapable of adequately supporting use of septic tanks or alternative waste water disposal systems where sewers are not available for the disposal of waste water.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**19. Erosion**

a) Change deposition, siltation, or erosion that may modify the channel of a river or stream or the bed of a lake?

b) Result in any increase in water erosion either on or off site?

Source: U.S.D.A. Soil Conservation Service Soil Surveys

Findings of Fact:

a) The project will not change deposition, siltation, or erosion that may modify the channel of a river or stream or the bed of a lake.

b) The project will not result in any increase in water erosion either on or off site.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**20. Wind Erosion and Blowsand from project either on or off site.**

a) Be impacted by or result in an increase in wind erosion and blowsand, either on or off site?

Source: Riverside County General Plan Figure S-8 "Wind Erosion Susceptibility Map," Ord. No. 460, Article XV & Ord. No. 484

Findings of Fact:

a) The project will not be impacted by or result in an increase in wind erosion and blowsand, either on or off site.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**GREENHOUSE GAS EMISSIONS** Would the project

**21. Greenhouse Gas Emissions**  
a) Generate greenhouse gas emissions, either directly

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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or indirectly, that may have a significant impact on the environment?

b) Conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Source: Project Materials, Senate Bill 97, State CEQA Guidelines Revisions (State Adopted Jan. 1, 2010), Giroux & Associates Environmental Consultants, "Air Quality Analysis, Desert Hills Premium Outlet Expansion, Riverside, CA" dated November 8, 2011.

**Findings of Fact:**

- a) The project will not generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment.
- b) The project will not conflict with an applicable plan, policy, or regulation adopted for the purpose of reducing the emissions of greenhouse gases.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**HAZARDS AND HAZARDOUS MATERIALS** Would the project

**22. Hazards and Hazardous Materials**

a) Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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c) Impair implementation of or physically interfere with an adopted emergency response plan or an emergency evacuation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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d) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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e) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Source: Project Application Materials

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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- a) The project will not create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials.
- b) The project will not create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment.
- c) The proposed project will not impair implementation of or physically interfere with an adopted emergency response plan or an emergency evacuation plan.
- d) The proposed project will not emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school.
- e) The proposed project is not located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**23. Airports**

a) Result in an inconsistency with an Airport Master Plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Require review by the Airport Land Use Commission?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) For a project within the vicinity of a private airstrip, or heliport, would the project result in a safety hazard for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure S-19 "Airport Locations," GIS database

Findings of Fact:

- a) The project site is not located within the vicinity of any public or private airport; therefore, the project will not result in an inconsistency with an Airport Master Plan.
- b) The project site is not located within the vicinity of any public or private airport; therefore will not require review by the Airport Land Use Commission.
- c) The project is not located within an airport land use plan and would not result in a safety hazard for people residing or working in the project area.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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d) The project is not within the vicinity of a private airstrip, or heliport and would not result in a safety hazard for people residing or working in the project area.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**24. Hazardous Fire Area**

a) Expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands?

Source: Riverside County General Plan Figure S-11 "Wildfire Susceptibility," GIS database

Findings of Fact:

a) The project will not expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**HYDROLOGY AND WATER QUALITY** Would the project

**25. Water Quality Impacts**

a) Substantially alter the existing drainage pattern of the site or area, including the alteration of the course of a stream or river, in a manner that would result in substantial erosion or siltation on- or off-site?

b) Violate any water quality standards or waste discharge requirements?

c) Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)?

d) Create or contribute runoff water that would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff?

e) Place housing within a 100-year flood hazard area, as mapped on a federal Flood Hazard Boundary or Flood

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>Insurance Rate Map or other flood hazard delineation map?</b>				
f) Place within a 100-year flood hazard area structures which would impede or redirect flood flows?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g) Otherwise substantially degrade water quality?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h) Include new or retrofitted stormwater Treatment Control Best Management Practices (BMPs) (e.g. water quality treatment basins, constructed treatment wetlands), the operation of which could result in significant environmental effects (e.g. increased vectors or odors)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County Flood Control District Flood Hazard Report/Condition.

Findings of Fact:

- a) The project will not substantially alter the existing drainage pattern of the site or area, including the alteration of the course of a stream or river, in a manner that would result in substantial erosion or siltation on- or off-site. Development of this property shall be coordinated with the development of adjacent properties to ensure that watercourses remain unobstructed and stormwaters are not diverted from one watershed to another.
- b) The project will not violate any water quality standards or waste discharge requirements.
- c) The project will not substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted). The project is expected to be served by the Cabazon Water District and there will not require the drawdown of ground water supplies.
- d) The project will not create or contribute runoff water that would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff.
- e) The project will not place housing within a 100-year flood hazard area, as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map.
- f) The project will not place within a 100-year flood hazard area structures which would impede or redirect flood flows.
- g) The project will not otherwise substantially degrade water quality
- h) The project will not include new or retrofitted stormwater Treatment Control Best Management Practices (BMPs) (e.g. water quality treatment basins, constructed treatment wetlands), the operation of which could result in significant environmental effects (e.g. increased vectors or odors).

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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**26. Floodplains**

Degree of Suitability in 100-Year Floodplains. As indicated below, the appropriate Degree of Suitability has been checked.

NA - Not Applicable  U - Generally Unsuitable  R - Restricted

a) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner that would result in flooding on- or off-site?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Changes in absorption rates or the rate and amount of surface runoff?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam (Dam Inundation Area)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Changes in the amount of surface water in any water body?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan Figure S-9 "100- and 500-Year Flood Hazard Zones," Figure S-10 "Dam Failure Inundation Zone," Riverside County Flood Control District Flood Hazard Report/Condition, GIS database

Findings of Fact:

- a) The project will not substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner that would result in flooding on- or off-site.
- b) The project will not provide changes in absorption rates or the rate and amount of surface runoff.
- c) The project will not expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam (Dam Inundation Area).
- d) The project will not make changes in the amount of surface water in any water body.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**LAND USE/PLANNING** Would the project

<b>27. Land Use</b>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a) Result in a substantial alteration of the present or planned land use of an area?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Affect land use within a city sphere of influence and/or within adjacent city or county boundaries?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan, GIS database, Project Application Materials

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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**Findings of Fact:**

- a) The project will not result in a substantial alteration of the present or planned land use of an area.
- b) The project will not affect land use within a city sphere of influence and/or within adjacent city or county boundaries.

**Mitigation:** No mitigation measures are required.

**Monitoring:** No monitoring measures are required.

**28. Planning**

a) Be consistent with the site's existing or proposed zoning?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Be compatible with existing surrounding zoning?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Be compatible with existing and planned surrounding land uses?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Be consistent with the land use designations and policies of the General Plan (including those of any applicable Specific Plan)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Disrupt or divide the physical arrangement of an established community (including a low-income or minority community)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Source:** Riverside County General Plan Land Use Element, Staff review, GIS database

**Findings of Fact:**

- a) The project is consistent with the site's existing or proposed zoning.
- b) The project is compatible with existing surrounding zoning.
- c) The project is compatible with existing and planned surrounding land uses.
- d) The project is consistent with the land use designations and policies of the General Plan (including those of any applicable Specific Plan).
- e) The project will not disrupt or divide the physical arrangement of an established community (including a low-income or minority community).

**Mitigation:** No mitigation measures are required.

**Monitoring:** No monitoring measures are required.

**MINERAL RESOURCES** Would the project

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>29. Mineral Resources</b>				
a) Result in the loss of availability of a known mineral resource that would be of value to the region or the residents of the State?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Be an incompatible land use located adjacent to a State classified or designated area or existing surface mine?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Expose people or property to hazards from proposed, existing or abandoned quarries or mines?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure OS-5 "Mineral Resources Area"

Findings of Fact:

- a) The project will not result in the loss of availability of a known mineral resource that would be of value to the region or the residents of the State.
- b) The project will not result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan.
- c) The project will not be an incompatible land use located adjacent to a State classified or designated area or existing surface mine.
- d) The project will not expose people or property to hazards from proposed, existing or abandoned quarries or mines.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**NOISE** Would the project result in

**Definitions for Noise Acceptability Ratings**

Where indicated below, the appropriate Noise Acceptability Rating(s) has been checked.

NA - Not Applicable

A - Generally Acceptable

B - Conditionally Acceptable

C - Generally Unacceptable

D - Land Use Discouraged

**30. Airport Noise**

a) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport would the project expose people residing or working in the project area to excessive noise levels?

NA  A  B  C  D

b) For a project within the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels?



Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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NA     A     B     C     D

Source: Riverside County General Plan Figure S-19 "Airport Locations," County of Riverside Airport Facilities Map

Findings of Fact:

a) The project site is not located within an airport land use plan or within two miles of a public airport or public use airport that would expose people residing on the project site to excessive noise levels.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**31. Railroad Noise**

NA     A     B     C     D                

Source: Riverside County General Plan Figure C-1 "Circulation Plan", GIS database, On-site Inspection

Findings of Fact:

a) The project site is not located adjacent to a rail line. No impacts will occur as a result of the proposed project.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**32. Highway Noise**

NA     A     B     C     D                

Source: On-site Inspection, Project Application Materials

Findings of Fact:

a) The project site is located adjacent to or near any highways. No impacts will occur as a result of the proposed project.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**33. Other Noise**

NA     A     B     C     D

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Source: Project Application Materials, GIS database

Findings of Fact:

a) No other noise sources have been identified near the project site that would contribute a significant amount of noise to the project.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**34. Noise Effects on or by the Project**

a) A substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) A substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Exposure of persons to or generation of excessive ground-borne vibration or ground-borne noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan, Table N-1 ("Land Use Compatibility for Community Noise Exposure"); Project Application Materials

Findings of Fact:

a) The proposed project in itself will not create additional noise, but future commercial construction will create unavoidable incremental noise.

b) Through adherence to county regulations, grading and construction shall be restricted to daylight hours. Construction equipment shall be required to be maintained in good working order and cannot be serviced or repair at the site. The construction will result in an increase of noise levels, but these increased noise levels will be less than significant.

c) Long-term noise generation from the site will not exceed standards established in the RCIP, noise ordinance, or other applicable standards.

d) The project will not exposure of persons to or generation of excessive ground-borne vibration or ground-borne noise levels.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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**POPULATION AND HOUSING** Would the project

**35. Housing**

a) Displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Create a demand for additional housing, particularly housing affordable to households earning 80% or less of the County's median income?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Displace substantial numbers of people, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Affect a County Redevelopment Project Area?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Cumulatively exceed official regional or local population projections?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Project Application Materials, GIS database, Riverside County General Plan Housing Element

Findings of Fact:

The project proposes the creation of commercial retail uses. This land division is consistent with the Riverside County General Plan, which is used to generate local and regional population projections.

- a) The project will not displace substantial numbers of existing housing, necessitating the construction of replacement housing.
- b) The project will not create a demand for additional housing.
- c) The project will not displace any people.
- d) The project is in County Redevelopment Project Area and the Riverside County Redevelopment Department support for the project.
- e) The project will not exceed official regional or local population projections.
- f) The project will not induce substantial population growth in an area.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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**PUBLIC SERVICES** Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered government facilities or the need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:

**36. Fire Services**

Source: Riverside County General Plan Safety Element

Findings of Fact:

The project area is serviced by the Riverside County Fire Department. Any potential significant effects will be mitigated by the payment of standard fees to the County of Riverside. The project will not directly physically alter existing facilities or result in the construction of new facilities. Any construction of new facilities required by the cumulative effects of surrounding projects would have to meet all applicable environmental standards. The project shall comply with County Ordinance No. 659 to mitigate the potential effects to fire services.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**37. Sheriff Services**

Source: Riverside County General Plan

Findings of Fact:

The project area is serviced by the Riverside County Fire Department. Any potential significant effects will be mitigated by the payment of standard fees to the County of Riverside. The project will not directly physically alter existing facilities or result in the construction of new facilities. Any construction of new facilities required by the cumulative effects of surrounding projects would have to meet all applicable environmental standards. The project shall comply with County Ordinance No. 659 to mitigate the potential effects to fire services.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**38. Schools**

Source: Banning Unified School District correspondence, GIS database

Findings of Fact:

The project will not physically alter existing facilities or result in the construction of new or physically altered facilities. The proposed project is located within the Temecula Valley Unified School District.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Any construction of new facilities required by the cumulative effects of this project and surrounding projects would have to meet all applicable environmental standards. This project has been conditioned to comply with School Mitigation Impact fees in order to mitigate the potential effects to school services.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

<b>39. Libraries</b>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Source: Riverside County General Plan

Findings of Fact:

The proposed project will not create a significant incremental demand for library services. The project will not require the provision of new or altered government facilities at this time. Any construction of new facilities required by the cumulative effects of surrounding projects would have to meet all applicable environmental standards. This project shall comply with County Ordinance No. 659 to mitigate the potential effects to library services.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

<b>40. Health Services</b>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Source: Riverside County General Plan

Findings of Fact:

The use of the proposed 39.46-acre parcel would not cause an impact on health services. The site is located within the service parameters of County health centers. The project will not physically alter existing facilities or result in the construction of new or physically altered facilities. Any construction of new facilities required by the cumulative effects of this project and surrounding projects would have to meet all applicable environmental standards.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**RECREATION**

<b>41. Parks and Recreation</b>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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a) Would the project include recreational facilities or require the construction or expansion of recreational

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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facilities which might have an adverse physical effect on the environment?

b) Would the project include the use of existing neighborhood or regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?

c) Is the project located within a Community Service Area (CSA) or recreation and park district with a Community Parks and Recreation Plan (Quimby fees)?

Source: GIS database, Ord. No. 460, Section 10.35 (Regulating the Division of Land – Park and Recreation Fees and Dedications), Ord. No. 659 (Establishing Development Impact Fees), Parks & Open Space Department Review

Findings of Fact:

a-b) The proposed project does not create a substantial increase in demand for recreational facilities.

c) The project is not located within a Community Service Area (CSA) #85 – Street Lighting Park & Recreation.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**42. Recreational Trails**

Source: Riv. Co. 800-Scale Equestrian Trail Maps, Open Space and Conservation Map for Western County trail alignments

Findings of Fact:

The proposed project will not impact any regional or local trails.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**TRANSPORTATION/TRAFFIC** Would the project

**43. Circulation**

a) Conflict with an applicable plan, ordinance or policy establishing a measure of effectiveness for the performance of the circulation system, taking into account all modes of transportation, including mass transit and non-motorized travel and relevant components of the circulation system, including but not limited to intersections, streets, highways and freeways, pedestrian and bicycle paths, and mass transit?

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
b) Conflict with an applicable congestion management program, including, but not limited to level of service standards and travel demand measures, or other standards established by the county congestion management agency for designated roads or highways?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Alter waterborne, rail or air traffic?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g. farm equipment)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) Cause an effect upon, or a need for new or altered maintenance of roads?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g) Cause an effect upon circulation during the project's construction?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h) Result in inadequate emergency access or access to nearby uses?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
i) Conflict with adopted policies, plans or programs regarding public transit, bikeways or pedestrian facilities, or otherwise substantially decrease the performance or safety of such facilities?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan

Findings of Fact:

- a) The project will not cause an increase in traffic which is substantial in relation to the existing traffic load and capacity of the street system.
- b) The proposed project will not result in inadequate parking capacity.
- c) The project will not exceed, either individually or cumulatively, a level of service standard established by the county congestion management agency for designated road or highways.
- d) The project will not result in a change in air traffic patterns.
- e) The project will not alter waterborne, rail or air traffic.
- f) The project will not substantially increase hazards to a design feature.
- g) The project will not cause an effect upon circulation during the project's construction.
- h) The project will not result in inadequate emergency access or access to nearby uses.
- i) The project will not conflict with adopted policies, plans or programs regarding public transit, bikeways or pedestrian facilities, or otherwise substantially decrease the performance or safety of such facilities.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**44. Bike Trails**

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Source: Riverside County General Plan

The project will not impede any significant bike trails.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**UTILITY AND SERVICE SYSTEMS** Would the project

**45. Water**

a) Require or result in the construction of new water treatment facilities or expansion of existing facilities, the construction of which would cause significant environmental effects?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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b) Have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Source: Department of Environmental Health Review

Findings of Fact:

a) The proposed project will not require or result in the construction of new water treatment facilities or expansion of existing facilities.

b) The proposed project will not require or result in the construction of new water treatment facilities or expansion of existing facilities.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**46. Sewer**

a) Require or result in the construction of new wastewater treatment facilities, including septic systems, or expansion of existing facilities, the construction of which would cause significant environmental effects?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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b) Result in a determination by the wastewater treatment provider that serves or may service the project that it has adequate capacity to serve the project's projected

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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demand in addition to the provider's existing commitments?

Source: Department of Environmental Health Review

Findings of Fact:

a) The project will not require or result in the construction of new wastewater treatment facilities, including septic systems, or expansion of existing facilities, the construction of which would cause significant environmental effects. The project is proposing Western Municipal Water District (WMWD) potable water service.

b) The project will not result in a determination by the wastewater treatment provider that serves or may service the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**47. Solid Waste**

a) Is the project served by a landfill with sufficient permitted capacity to accommodate the project's solid waste disposal needs?

b) Does the project comply with federal, state, and local statutes and regulations related to solid wastes including the CIWMP (County Integrated Waste Management Plan)?

Source: Riverside County General Plan, Riverside County Waste Management District correspondence

Findings of Fact:

a-b) The project is relatively small and will not generate significant amounts of construction or demolition waste. The project will be served by Riverside County Waste Management Department. The proposed project will not require nor result in the construction of new landfill facilities, including the expansion of existing facilities.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**48. Utilities**

Would the project impact the following facilities requiring or resulting in the construction of new facilities or the expansion of existing facilities; the construction of which could cause significant environmental effects?

a) Electricity?

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
b) Natural gas?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Communications systems?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Storm water drainage?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Street lighting?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) Maintenance of public facilities, including roads?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g) Other governmental services?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source:

Findings of Fact:

a-g) The project is expected to create incremental impacts on the demand for the above checked facilities. However, utility services are adequate and available to serve this project. Therefore, impacts on utility services are less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**49. Energy Conservation**

a) Would the project conflict with any adopted energy conservation plans?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Source:

Findings of Fact:

a) The project design does not conflict with adopted energy conservation plans.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**OTHER**

50. Other:	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Source: Staff review

Findings of Fact:

There are not other impacts that staff identified as part of this analysis.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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**MANDATORY FINDINGS OF SIGNIFICANCE**

51. Does the project have the potential to substantially degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal, or eliminate important examples of the major periods of California history or prehistory?

Source: Staff review, Project Application Materials

Findings of Fact: Implementation of the proposed project would not substantially degrade the quality of the environment, substantially reduce the habitat of fish or wildlife species, cause a fish or wildlife populations to drop below self-sustaining levels, threaten to eliminate a plant or animal community, or reduce the number or restrict the range of a rare or endangered plant or animal, or eliminate important examples of the major periods of California history or prehistory.

52. Does the project have impacts which are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, other current projects and probable future projects)?

Source: Staff review, Project Application Materials

Findings of Fact: The project does not have impacts which are individually limited, but cumulatively considerable.

53. Does the project have environmental effects that will cause substantial adverse effects on human beings, either directly or indirectly?

Source: Staff review, project application

Findings of Fact: The proposed project would not result in environmental effects which would cause substantial adverse effects on human beings, either directly or indirectly.

**VI. EARLIER ANALYSES**

Earlier analyses may be used where, pursuant to the tiering, program EIR, or other CEQA process, an effect has been adequately analyzed in an earlier EIR or negative declaration as per California Code of Regulations, Section 15063 (c) (3) (D). In this case, a brief discussion should identify the following:

Earlier Analyses Used, if any:

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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A) Giroux & Associates Environmental Consultants, "Air Quality Analysis, Desert Hills Premium Outlet Expansion, Riverside, CA" dated November 8, 2011.

B) County Geologic Report (GEO) No. 2108, Gary S. Rasmussen & Associates, Inc. entitled, "Engineering Geology Investigation, Phase 5 Expansion, Desert Hills Factory Outlets, Cabazon Area, Riverside County, California, Project No. 3188.13" Dated October 22, 2008.

Location Where Earlier Analyses, if used, are available for review:

Location: County of Riverside Planning Department  
 4080 Lemon Street, 12th Floor  
 Riverside, CA 92505

**VII. AUTHORITIES CITED**

Authorities cited: Public Resources Code Sections 21083 and 21083.05; References: California Government Code Section 65088.4; Public Resources Code Sections 21080(c), 21080.1, 21080.3, 21082.1, 21083, 21083.05, 21083.3, 21093, 21094, 21095 and 21151; *Sundstrom v. County of Mendocino* (1988) 202 Cal.App.3d 296; *Leonoff v. Monterey Board of Supervisors* (1990) 222 Cal.App.3d 1337; *Eureka Citizens for Responsible Govt. v. City of Eureka* (2007) 147 Cal.App.4th 357; *Protect the Historic Amador Waterways v. Amador Water Agency* (2004) 116 Cal.App.4th at 1109; *San Franciscans Upholding the Downtown Plan v. City and County of San Francisco* (2002) 102 Cal.App.4th 656.

Revised: 2/6/2012 4:54 PM  
 PP23635 - Environmental Assessment - 1-17-12

PLOT PLAN: TRANSMITTED Case #: PP23635

Parcel: 519-110-037

10. GENERAL CONDITIONS

EVERY DEPARTMENT

10. EVERY. 1 USE - PROJECT DESCRIPTION

RECOMMND

The use hereby permitted is for PLOT PLAN NO. 23635 which proposes to add 158,492 square feet of retail space and 1,124 parking spaces to an existing outlet center.

10. EVERY. 2 USE - HOLD HARMLESS

RECOMMND

The applicant/permittee or any successor-in-interest shall defend, indemnify, and hold harmless the County of Riverside or its agents, officers, and employees (COUNTY) from the following:

(a) any claim, action, or proceeding against the COUNTY to attack, set aside, void, or annul an approval of the COUNTY, its advisory agencies, appeal boards, or legislative body concerning the PLOT PLAN; and,

(b) any claim, action or proceeding against the COUNTY to attack, set aside, void or annul any other decision made by the COUNTY concerning the PLOT PLAN, including, but not limited to, decisions made in response to California Public Records Act requests.

The COUNTY shall promptly notify the applicant/permittee of any such claim, action, or proceeding and shall cooperate fully in the defense. If the COUNTY fails to promptly notify the applicant/permittee of any such claim, action, or proceeding or fails to cooperate fully in the defense, the applicant/permittee shall not, thereafter, be responsible to defend, indemnify or hold harmless the COUNTY.

The obligations imposed by this condition include, but are not limited to, the following: the applicant/permittee shall pay all legal services expenses the COUNTY incurs in connection with any such claim, action or proceeding, whether it incurs such expenses directly, whether it is ordered by a court to pay such expenses, or whether it incurs such expenses by providing legal services through its Office of County Counsel.

10. EVERY. 3 USE - DEFINITIONS

RECOMMND

The words identified in the following list that appear in all capitals in the attached conditions of Plot Plan

Plot PLAN: TRANSMITTED Case #: PP23635

Parcel: 519-110-037

10. GENERAL CONDITIONS

10. EVERY. 3 USE - DEFINITIONS (cont.)

RECOMMND

No. 23635 shall be henceforth defined as follows:

APPROVED EXHIBIT A = Plot Plan No. 23635, Exhibit A, Amended No. 3, dated 12/13/11.

APPROVED EXHIBIT B&C = Plot Plan No. 23635, Exhibit B & C, Amended No. 3, Floor Plans & Elevations (sheets 1-6), dated 12/13/11.

APPROVED EXHIBIT G = Plot Plan No. 23635, Exhibit G, Amended No. 3, Grading Plan, (sheets 1-2), dated 12/13/11.

APPROVED EXHIBIT L = Plot Plan No. 23635, Exhibit L, Amended No. 3, Landscape Plans, (sheets 1-2), dated 12/13/11.

APPROVED EXHIBIT M = Plot Plan No. 23635, Exhibit M, Materials Color Board, dated 9/7/11.

APPROVED EXHIBIT W = Plot Plan No. 23635, Exhibit W, Amended No. 3, Wall Plans, dated 12/13/11.

10. EVERY. 4 USE - 90 DAYS TO PROTEST

RECOMMND

The project developer has 90 days from the date of approval of these conditions to protest, in accordance with the procedures set forth in Government Code Section 66020, the imposition of any and all fees, dedications, reservations and/or other exactions imposed on this project as a result of this approval or conditional approval of this project.

BS GRADE DEPARTMENT

10.BS GRADE. 1 USE - GENERAL INTRODUCTION

RECOMMND

Improvements such as grading, filling, over excavation and recompaction, and base or paving which require a grading permit are subject to the included Building and Safety Department Grading Division conditions of approval.

10.BS GRADE. 3 USE - OBEY ALL GDG REGS

RECOMMND

All grading shall conform to the California Building Code, Ordinance 457, and all other relevant laws, rules, and regulations governing grading in Riverside County and prior to commencing any grading which includes 50 or more cubic

PLAN: TRANSMITTED Case #: PP23635

Parcel: 519-110-037

10. GENERAL CONDITIONS

10.BS GRADE. 3 USE - OBEY ALL GDG REGS (cont.) RECOMMND

yards, the applicant shall obtain a grading permit from the Building and Safety Department.

10.BS GRADE. 4 USE - DISTURBS NEED G/PMT RECOMMND

Ordinance 457 requires a grading permit prior to clearing, grubbing, or any top soil disturbances related to construction grading.

10.BS GRADE. 6 USE - NPDES INSPECTIONS RECOMMND

Construction activities including clearing, stockpiling, grading or excavation of land which disturbs less than 1 acre and requires a grading permit or construction Building permit shall provide for effective control of erosion, sediment and all other pollutants year-round. The permit holder shall be responsible for the installation and monitoring of effective erosion and sediment controls. Such controls will be evaluated by the Department of Building and Safety periodically and prior to permit Final to verify compliance with industry recognized erosion control measures.

Construction activities including but not limited to clearing, stockpiling, grading or excavation of land, which disturbs 1 acre or more or on-sites which are part of a larger common plan of development which disturbs less than 1 acre are required to obtain coverage under the construction general permit with the State Water Resources Control Board. You are required to provide proof of WDID# and keep a current copy of the storm water pollution prevention plan (SWPPP) on the construction site and shall be made available to the Department of Building and Safety upon request.

Year-round, Best Management Practices (BMP's) shall be maintained and be in place for all areas that have been graded or disturbed and for all material, equipment and/or operations that need protection. Stabilized Construction Entrances and project perimeter linear barriers are required year round. Removal BMP's (those BMP's which must be temporarily removed during construction activities) shall be in place at the end of each working day.

Monitoring for erosion and sediment control is required and shall be performed by the QSD or QSP as required by the

PLAN: TRANSMITTED Case #: PP23635

Parcel: 519-110-037

10. GENERAL CONDITIONS

10.BS GRADE. 6 USE - NPDES INSPECTIONS (cont.) RECOMMND

Construction General Permit. Stormwater samples are required for all discharge locations and projects may not exceed limits set forth by the Construction General Permit Numeric Action Levels and/or Numeric Effluent Levels. A Rain Event Action Plan is required when there is a 50% or greater forecast of rain within the 48 hours, by the National Weather Service or whenever rain is imminent. The QSD or QSP must print and save records of the precipitation forecast for the project location area from (<http://www.srh.noaa.gov/forecast>) and must accompany monitoring reports and sampling test data. A Rain gauge is required on site. The Department of Building and Safety will conduct periodic NPDES inspections of the site throughout the recognized storm season to verify compliance with the Construction General Permit and Stormwater ordinances and regulations.

10.BS GRADE. 7 USE - EROSION CNTRL PROTECT RECOMMND

Graded but undeveloped land shall provide, in addition to erosion control planting, any drainage facility deemed necessary to control or prevent erosion. Additional erosion protection may be required during the rainy season from October 1, to May 31.

10.BS GRADE. 8 USE - DUST CONTROL RECOMMND

All necessary measures to control dust shall be implemented by the developer during grading. A PM10 plan may be required at the time a grading permit is issued.

10.BS GRADE. 9 USE - 2:1 MAX SLOPE RATIO RECOMMND

Graded slopes shall be limited to a maximum steepness ratio of 2:1 (horizontal to vertical) unless otherwise approved.

10.BS GRADE. 10 USE - SLOPE STABL'TY ANLYS RECOMMND

A slope stability report shall be submitted and approved by the County Geologist and/or Building and Safety Engineer for all proposed cut and fill slopes over 30 feet in vertical height, or cut slopes steeper than 2:1 (horizontal to vertical) - unless addressed in a previous report. Fill slopes shall not be steeper than 2:1 (horizontal to vertical).



PLAN: TRANSMITTED Case #: PP23635

Parcel: 519-110-037

10. GENERAL CONDITIONS

10.BS GRADE. 11 USE - MINIMUM DRAINAGE GRADE RECOMMND

Minimum drainage grade shall be 1% except on portland cement concrete where .35% shall be the minimum.

10.BS GRADE. 12 USE - DRAINAGE & TERRACING RECOMMND

Provide drainage facilities and terracing in conformance with the California Building Code's chapter on "EXCAVATION & GRADING".

10.BS GRADE. 13 USE - SLOPE SETBACKS RECOMMND

Observe slope setbacks from buildings & property lines per the California Building Code as amended by Ordinance 457.

10.BS GRADE. 18 USE - OFFST. PAVED PKG RECOMMND

All offstreet parking areas which are conditioned to be paved shall conform to Ordinance 457 base and paving design and inspection requirements.

10.BS GRADE. 19 USE - FAULT LOCATIONS RECOMMND

Prior to issuance of any building permit on any lot located within the "Fault Hazard Zone" and its included setback area, the applicant shall have a licensed professional, qualified to do so, clearly delineate in the field the portions of that lot which are located within the "Fault Hazard Zone." No structures or portions thereof shall be located in those areas.

10.BS GRADE. 20 USE - RETAINING WALLS RECOMMND

Lots which propose retaining walls will require separate permits. They shall be obtained prior to the issuance of any other building permits - unless otherwise approved by the Building and Safety Director. The walls shall be designed by a Registered Civil Engineer - unless they conform to the County Standard Retaining Wall designs shown on the Building and Safety Department form 284-197.

10.BS GRADE. 23 USE - MANUFACTURED SLOPES RECOMMND

Plant and irrigate all manufactured slopes equal to or greater than 3 feet in vertical height with drought tolerant grass or ground cover; slopes 15 feet or greater in vertical height shall also be planted with drought

PLAN: TRANSMITTED Case #: PP23635

Parcel: 519-110-037

10. GENERAL CONDITIONS

10.BS GRADE. 23 USE - MANUFACTURED SLOPES (cont.) RECOMMND

tolerant shrubs or trees in accordance with the requirements of Ordinance 457.

10.BS GRADE. 24 USE - FINISH GRADE RECOMMND

Finish grade shall be sloped to provide proper drainage away from all exterior foundation walls in accordance with the California Building Code and Ordinance 457.

BS PLNCK DEPARTMENT

10.BS PLNCK. 1 USE - BUILD & SAFETY PLNCK RECOMMND

The applicant shall acquire building permits for all buildings, structures, and equipment prior to the construction or placement on the property of any of the above.

All building plans shall be submitted to the building department for review, approval and permit issuance. All building department building plan submiyyal and fee requirements shall apply.

All building plans shall comply with current adopted California Building Codes, Riverside County Ordinances, and all accessibility requirements including but not limited to site, entry and building requirements.

All building department

E HEALTH DEPARTMENT

10.E HEALTH. 1 CABAZON WATER DISTRICT RECOMMND

Plot Plan#23635 is proposing to receive potable water service from Cabazon Water Distrist (CWD) per CWD "will-serve" letter dated 1/12/12. It is the responsibility of the developer to ensure that all requirements to obtain potable water service are met with CWD as well as all other applicable agencies.

Please note that the existing water system at the Premium Outlets shall be dedicated pursuant to the terms of the Water Service and System Dedication Agreement executed by the District and the owner of the Premium Outlets. Subject

Plot PLAN: TRANSMITTED Case #: PP23635

Parcel: 519-110-037

10. GENERAL CONDITIONS

10.E HEALTH. 1 CABAZON WATER DISTRICT (cont.) RECOMMND

to the terms of the Agreement, the water service will be undertaken in conformance with all District rules, regulations, ordinances, resolutions, policies and procedures for such service.

10.E HEALTH. 2 GENERAL COMMENTS - US EPA RECOMMND

Per US EPA letter dated August 10, 2009, the Morongo Band of Mission Indians Wastewater Treatment Plant (WWTP) located in Cabazon, California was designed to treat an average dry weather wastewater flow of 750,000 gallons per day with an organic waste strength of 900 parts per million of biochemical oxygen demand (BOD). Currently flows average 275,000 gallons per day with peak flow at approximately 450,000 gallons per day. Current BOD concentration are well below 400 parts per million.

The additional new wastewater flow from new commercial operations is approximately 55,900 to 85,000 gallons per day with an the initial increase of flow that could potentially be up to 100,000 gallons per day. These planned flow increases to the Morongo WWTP is well within its designed treatment capacity. For further information regarding this information, please contact US Environmental Protection Agency, Region IX at (415) 972-3457.

10.E HEALTH. 3 USE-GREASE INTERCEPTORS RECOMMND

Submit two sets of scaled grease interceptor plans to the Department of Environmental Health (DEH), Environmental Resource Management Division in the Indio Office for review and approval. All existing grease interceptors shall be demolished under permit issued from this Department due to new construction.

10.E HEALTH. 3 MORONGO WWTP - SEWER SERVICE RECOMMND

Plot Plan#23635 is proposing to connect to Morongo Band of Mission Indians Wastewater Treatment Plant (Morongo WWTP) to receive sewer service. It is the responsibility of the developer to ensure that all requirements to obtain sewer service are met with the Morongo WWTP, which includes but is not limited to the "Sewer Facilities Development Agreement" dated April 12, 2011 between the Morongo Band of Mission Indians and CPG Partners, L.P. (project proponent), as well as, meet the sewerage requirements of all other applicable agencies.

PLAN: TRANSMITTED Case #: PP23635

Parcel: 519-110-037

10. GENERAL CONDITIONS

10.E HEALTH. 4 USE - FOOD PLANS REQD RECOMMND

A total of 3 complete set of plans for each food establishment are needed including a fixture schedule, a finish schedule, and a plumbing schedule in order to ensure compliance with current State and Local regulations.

FIRE DEPARTMENT

10.FIRE. 1 USE-#23-MIN REQ FIRE FLOW RECOMMND

Minimum required fire flow shall be 3750 GPM for a 4 hour duration at 20 PSI residual operating pressure, which must be available before any combustible material is placed on the job site. Fire flow is based on type V-B construction per the 2007 CFC and Building(s) having a fire sprinkler system.

10.FIRE. 2 USE-#19-ON/OFF LOOPED HYD RECOMMND

A combination of on-site and off-site super fire hydrants, on a looped system (6"x4"x 2-2 1/2"), will be located not less than 25 feet or more than 165 feet from any portion of the building as measured along approved vehicular travel ways. The required fire flow shall be available from any adjacent hydrants(s) in the system.

10.FIRE. 3 USE-#89-RAPID ENTRY KEY BOX RECOMMND

Rapid entry key storage cabinet shall be installed on the outside of the building. Plans shall be submitted to the Riverside County Fire Department for approval prior to installation.

10.FIRE. 4 USE-#25-GATE ENTRANCES RECOMMND

ny gate providing access from a road to a driveway shall be located at least 35 feet from the roadway and shall open to allow a vehicle to stop without obstructing traffic on the road. Where a one-way road with a single traffic lane provides access to a gate entrance, a 38 foot turning radius shall be used.

PLAN: TRANSMITTED Case #: PP23635

Parcel: 519-110-037

10. GENERAL CONDITIONS

FLOOD RI DEPARTMENT

10.FLOOD RI. 1

USE FLOOD HAZARD REPORT

RECOMMND

Plot Plan 23635 is a proposal to add additional retail building space and parking areas to the existing retail center (Desert Hills Premium Outlet Mall) on an approximately 40-acre site. The site is located in the Cabazon area, north of the Interstate 10, on the northwest corner of Seminole Drive and Millard Pass. The District previously reviewed this site as Fast Track 2007 - 29.

Our review indicates that the improvements constructed under earlier phases of the outlet store development provide protection to this site from ordinary flood hazard.

The developer proposes to replace an existing parking area with new retail buildings. Two new parking areas, including a parking structure, are proposed along the northern side. The additional impervious area created by this proposal will increase storm runoff and have an adverse impact on downstream properties. The engineer has proposed two basins to mitigate the increased storm runoff and the water quality impacts caused by this additional development. Since a portion of the existing impervious parking area is being replaced with impervious buildings area, increased runoff mitigation is not required for this portion of the site. Increased runoff mitigation is required for any portion of the site which is being changed from pervious to impervious. A Water Quality Management Plan (WQMP), which included calculations for the increased runoff, was submitted to the District for review. The proposed basins appear to meet the required volumes necessary to mitigate for water quality and increased runoff. The basins should be designed so any emergency escape from the basins is directed to the adjacent streets or parking aisles. The property owners association (POA) will be responsible for the operation and maintenance of the basins.

10.FLOOD RI. 3

USE 10 YR CURB - 100 YR ROW

RECOMMND

The 10 year storm flow shall be contained within the curb and the 100 year storm flow shall be contained within the street right of way. When either of these criteria is exceeded, additional drainage facilities shall be installed. The property shall be graded to drain to the adjacent street or an adequate outlet.

PLAN: TRANSMITTED Case #: PP23635

Parcel: 519-110-037

10. GENERAL CONDITIONS

10.FLOOD RI. 4 USE 100 YR SUMP OUTLET RECOMMND

Drainage facilities outletting sump conditions shall be designed to convey the tributary 100 year storm flows. Additional emergency escape shall also be provided.

10.FLOOD RI. 5 USE PERP DRAINAGE PATTERNS RECOMMND

The property's grading shall be designed in a manner that perpetuates the existing natural drainage patterns with respect to tributary drainage area, outlet points and outlet conditions; otherwise, a drainage easement shall be obtained from the affected property owners for the release of concentrated or diverted storm flows. A copy of the recorded drainage easement shall be submitted to the District for review.

10.FLOOD RI. 6 USE COORDINATE DRAINAGE DESIGN RECOMMND

Development of this property shall be coordinated with development of adjacent properties to ensure that watercourses remain unobstructed and stormwaters are not diverted from one watershed to another. This may require the construction of temporary drainage facilities or offsite construction and grading. A drainage easement shall be obtained from the affected property owners for the release of concentrated or diverted storm flows. A copy of the recorded drainage easement shall be submitted to the District for review.

10.FLOOD RI. 10 USE INCREASED RUNOFF RECOMMND

The development of this site will adversely impact downstream property owners by increasing the rate and volume of flood flows. To mitigate this impact, the developer has proposed a detention basin. Although final design of the basin will not be required until the improvement plan stage of this development, the applicant's engineer has submitted a preliminary hydrology and hydraulics study that indicates that the general size, shape, and location of the proposed basin is sufficient to mitigate the impacts of the development.

10.FLOOD RI. 11 USE INCREASED RUNOFF CRITERIA RECOMMND

The development of this site would increase peak flow rates on downstream properties. Mitigation shall be required to offset such impacts. An increased runoff basin shall be

PLAN: TRANSMITTED Case #: PP23635

Parcel: 519-110-037

## 10. GENERAL CONDITIONS

10.FLOOD RI. 11

USE INCREASED RUNOFF CRITERIA (cont.)

RECOMMND

shown on the exhibit and calculations supporting the size of the basin shall be submitted to the District for review.

The entire area of proposed development will be routed through a detention facility(s) to mitigate increased runoff. All basins must have positive drainage; dead storage basins shall not be acceptable.

A complete drainage study including, but not limited to, hydrologic and hydraulic calculations for the proposed detention basin shall be submitted to the District for review and approval.

Storms to be studied will include the 1-hour, 3-hour, 6-hour and 24-hour duration events for the 2-year, 5-year and 10-year return frequencies. Detention basin(s) and outlet(s) sizing will ensure that none of these storm events has a higher peak discharge in the post-development condition than in the pre-development condition. For the 2-year and 5-year events the loss rate will be determined using an AMC I condition. For the 10-year event AMC II will be used. Constant loss rates shall be used for the 1-hour, 3-hour and 6-hour events. A variable loss rate shall be used for the 24-hour events.

Low Loss rates will be determined using the following:

1. Undeveloped Condition --> LOW LOSS = 90%
2. Developed Condition --> LOW LOSS = .9 - (.8x%IMPERVIOUS)
3. Basin Site --> LOW LOSS = 10%

Where possible and feasible the on-site flows should be mitigated before combining with off-site flows to minimize the size of the detention facility required. If it is necessary to combine off-site and on-site flows into a detention facility two separate conditions should be evaluated for each duration/return period/before-after development combination studied; the first for the total tributary area (off-site plus on-site), and the second for the area to be developed alone (on-site). It must be clearly demonstrated that there is no increase in peak flow rates under either condition (total tributary area or on-site alone), for each of the return period/duration combinations required to be evaluated. A single plot showing the pre-developed, post-developed and routed hydrographs for each storm considered, shall be included with the submittal of the hydrology study.

PLAN:TRANSMITTED Case #: PP23635

Parcel: 519-110-037

10. GENERAL CONDITIONS

10.FLOOD RI. 11 USE INCREASED RUNOFF CRITERIA (cont.) (cont.)RECOMMND

No outlet pipe(s) will be less than 18" in diameter. Where necessary an orifice plate may be used to restrict outflow rates. Appropriate trash racks shall be provided for all outlets less than 48" in diameter.

The basin(s) and outlet structure(s) must be capable of passing the 100-year storm without damage to the facility. Embankment shall be avoided in all cases unless site constraints or topography make embankment unavoidable in the judgment of the General Manager-Chief Engineer.

Mitigation basins should be designed for joint use and be incorporated into open space or park areas. Sideslopes should be no steeper than 4:1 and depths should be minimized where public access is uncontrolled.

A viable maintenance mechanism, acceptable to both the County and the District, should be provided for detention facilities. Generally, this would mean a CSA, landscape district, parks agency or commercial property owners association.

10.FLOOD RI. 13 USE WQMP ESTABL MAINT ENTITY RECOMMND

This project proposes BMP facilities that will require maintenance by public agency or commercial property owner association. To ensure that the public is not unduly burdened with future costs, prior to final approval or recordation of this case, the District will require an acceptable financial mechanism be implemented to provide for maintenance of treatment control BMPs in perpetuity. This may consist of a mechanism to assess individual benefiting property owners, or other means approved by the District. The site's treatment control BMPs must be shown on the project's improvement plans - either the street plans, grading plans, or landscaping plans. The type of improvement plans that will show the BMPs will depend on the selected maintenance entity.

10.FLOOD RI. 15 USE SBMT FINAL WQMP=PRELIM(WW) RECOMMND

In compliance with Colorado River Regional Water Quality Control Board Orders, and beginning June 15, 2009, projects submitted within the Whitewater River watershed of the unincorporated area of Riverside County for discretionary approval will be required to comply with the Water Quality



PLAN:TRANSMITTED Case #: PP23635

Parcel: 519-110-037

10. GENERAL CONDITIONS

10.FLOOD RI. 15

USE SBMT FINAL WQMP=PRELIM(WW) (cont.)

RECOMMND

Management Plan (WQMP) for Urban Runoff. The WQMP addresses post-development water quality impacts from new development and redevelopment projects. The WQMP provides detailed guidelines and templates to assist the developer in completing the necessary studies. These documents are available on-line at: [www.rcflood.org/npdes](http://www.rcflood.org/npdes). To comply with the WQMP, a developer must submit a "Project Specific" WQMP. This report is intended to: a) identify potential post-project pollutants and hydrologic impacts associated with the development; b) propose Best Management Practices (BMPs) as mitigation measures for the identified impacts including site design, source control and treatment control post-development BMPs; and c) identify sustainable funding and maintenance mechanisms for the aforementioned BMPs. A template for this report is included as 'Exhibit 1' in the WQMP. The developer has submitted a report that meets the criteria for a Preliminary Project Specific WQMP (see Flood Hazard Report). However, the report will need to be revised to meet the requirements of a Final Project Specific WQMP. Also, it should be noted that if 401 certification is necessary for the project, the Regional Water Quality Control Board may require additional water quality measures.

10.FLOOD RI. 16

USE BMP MAINTENANCE & INSPECT

RECOMMND

The BMP maintenance plan shall contain provisions for all treatment controlled BMPs to be inspected, and if required, cleaned no later than October 15 each year. Required documentation shall identify the entity that will inspect and maintain all structural BMPs within the project boundaries. A copy of all necessary documentation shall be submitted to the District for review and approval prior to the issuance of occupancy permits.

PLANNING DEPARTMENT

10.PLANNING. 1

USE - COMPLY WITH ORD./CODES

RECOMMND

The development of these premises shall comply with the standards of Ordinance No. 348 and all other applicable Riverside County ordinances and State and Federal codes.

The development of the premises shall conform substantially with that as shown on APPROVED EXHIBIT A, unless otherwise amended by these conditions of approval.

PLAN:TRANSMITTED Case #: PP23635

Parcel: 519-110-037

10. GENERAL CONDITIONS

10.PLANNING. 2 USE - FEES FOR REVIEW RECOMMND

Any subsequent submittals required by these conditions of approval, including but not limited to grading plan, building plan or mitigation monitoring review, shall be reviewed on an hourly basis (research fee), or other such review fee as may be in effect at the time of submittal, as required by Ordinance No. 671. Each submittal shall be accompanied with a letter clearly indicating which condition or conditions the submittal is intended to comply with.

10.PLANNING. 3 USE - LIGHTING HOODED/DIRECTED RECOMMND

Any outside lighting shall be hooded and directed so as not to shine directly upon adjoining property or public rights-of-way.

10.PLANNING. 4 USE - COLORS & MATERIALS RECOMMND

Building colors and materials shall be in substantial conformance with those shown on APPROVED EXHIBIT M.

10.PLANNING. 6 USE - PERMIT SIGNS SEPARATELY RECOMMND

No signs are approved pursuant to this project approval. Prior to the installation of any on-site advertising or directional signs, a signing plan shall be submitted to and approved by the Planning Department pursuant to the requirements of Section 18.30 (Planning Department review only) of Ordinance No. 348.

10.PLANNING. 7 USE - NO OUTDOOR ADVERTISING RECOMMND

No outdoor advertising display, sign or billboard (not including on-site advertising or directional signs) shall be constructed or maintained within the property subject to this approval.

10.PLANNING. 8 USE - PHASE BY NEW PERMIT RECOMMND

Construction of this project may be done progressively in phases provided a plan is submitted with appropriate fees to the Planning Department and approved prior to issuance of any building permits. Phasing approval shall not apply to the requirements of any agency other than the Planning Department unless so indicated by the affected agency.

PERMIT PLAN: TRANSMITTED Case #: PP23635

Parcel: 519-110-037

10. GENERAL CONDITIONS

10. PLANNING. 10 USE - SITE MAINTENANCE RECOMMND

The project site shall be kept in good repair. Graffiti shall be removed from any structures within one week of observation and/or notification.

10. PLANNING. 11 USE - EXTERIOR NOISE LEVELS RECOMMND

Exterior noise levels produced by any use allowed under this permit, including, but not limited to, any outdoor public address system, shall not exceed 55 db(A), 10-minute LEQ, between the hours of 10:00 p.m. to 7:00 a.m., and 65 db(A), 10-minute LEQ, at all other times as measured at any residential, hospital, school, library, nursing home or other similar noise sensitive land use. In the event noise exceeds this standard, the permittee or the permittee's successor-in-interest shall take the necessary steps to remedy the situation, which may include discontinued operation of the facilities. The permit holder shall comply with the applicable standards of Ordinance No. 847.

10. PLANNING. 15 USE - CAUSES FOR REVOCATION RECOMMND

In the event the use hereby permitted under this permit,  
a) is found to be in violation of the terms and conditions of this permit,  
b) is found to have been obtained by fraud or perjured testimony, or  
c) is found to be detrimental to the public health, safety or general welfare, or is a public nuisance, this permit shall be subject to the revocation procedures.

10. PLANNING. 16 USE - CEASED OPERATIONS RECOMMND

In the event the use hereby permitted ceases operation for a period of one (1) year or more, this approval shall become null and void.

10. PLANNING. 17 USE - PARKING DETERMINATIONS RECOMMND

Parking for this permit was determined primarily on the basis of COMMERCIAL uses within the approved buildings.

The overall buildout of the project will require 2,286 total parking spaces.

The applicant will be providing 2,538 parking spaces and will provide adequate parking.

PERMIT PLAN: TRANSMITTED Case #: PP23635

Parcel: 519-110-037

10. GENERAL CONDITIONS

10.PLANNING. 18 USE - MT PALOMAR LIGHTING AREA RECOMMND

Within the Mt. Palomar Special Lighting Area, as defined in Ordinance No. 655, low pressure sodium vapor lighting or overhead high pressure sodium vapor lighting with shields or cutoff luminaires, shall be utilized.

10.PLANNING. 19 USE - COMPLY WITH NPDES RECOMMND

Since this project is one (1) acre or more, the permit holder shall comply with all of the applicable requirements of the National Pollution Discharge Elimination System (NPDES) and shall conform to NPDES Best Management Practices for Stormwater Pollution Prevention Plans during the life of this permit.

10.PLANNING. 21 USE - CONFORM TO ELEVATIONS RECOMMND

Elevations of all buildings and structures submitted for building plan check approval shall be in substantial conformance with the elevations shown on APPROVED EXHIBIT B.

10.PLANNING. 22 USE - CONFORM TO FLOOR PLANS RECOMMND

Floor plans shall be in substantial conformance with that shown on APPROVED EXHIBIT C.

10.PLANNING. 23 USE - BUSINESS LICENSING RECOMMND

Every person conducting a business within the unincorporated area of Riverside County, as defined in Riverside County Ordinance No. 857, shall obtain a business license. For more information regarding business registration, contact the Business Registration and License Program Office of the Building and Safety Department at [www.rctlma.org.buslic](http://www.rctlma.org.buslic).

10.PLANNING. 31 USE - LC LANDSCAPE REQUIREMENT RECOMMND

The developer/ permit holder shall:

1) Ensure all landscape and irrigation plans are in conformance with the APPROVED EXHIBITS;

2) Ensure all landscaping is provided with California Friendly landscaping and a weather based irrigation controller(s) as defined by County Ordinance No. 859;

PLAN: TRANSMITTED Case #: PP23635

Parcel: 519-110-037

10. GENERAL CONDITIONS

10.PLANNING. 31

USE - LC LANDSCAPE REQUIREMENT (cont.)

RECOMMND

3) Ensure that irrigation plans which may use reclaimed water conform with the requirements of the local water purveyor; and,

4) Be responsible for maintenance, viability and upkeep of all slopes, landscaped areas, and irrigation systems until the successful completion of the twelve (12) month inspection or those operations become the responsibility of the individual property owner(s), a property owner's association, or any other successor-in-interest, whichever occurs later.

To ensure ongoing maintenance, the developer/ permit holder or any successor in interest shall:

1) Connect to a reclaimed water supply for landscape irrigation purposes when reclaimed water is made available.

2) Ensure that landscaping, irrigation and maintenance systems comply with the Riverside County Guide to California Friendly Landscaping, and Ordinance No. 859.

3) Ensure that all landscaping is healthy, free of weeds, disease and pests.

10.PLANNING. 32

GEN - IF HUMAN REMAINS FOUND

RECOMMND

The developer/permit holder or any successor in interest shall comply with the following codes for the life of this project:

If human remains are encountered, State Health and Safety Code Section 7050.5 states that no further disturbance shall occur until the County Coroner has made the necessary findings as to origin. Further, pursuant to Public Resources Code Section 5097.98 (b), remains shall be left in place and free from disturbance until a final decision as to the treatment and their disposition has been made. If the Riverside County Coroner determines the remains to be Native American, the Native American Heritage Commission shall be contacted within the period specified by law. Subsequently, the Native American Heritage Commission shall identify the "Most Likely Descendant." The Most Likely Descendant shall then make recommendations and engage in

PLAN: TRANSMITTED Case #: PP23635

Parcel: 519-110-037

10. GENERAL CONDITIONS

10. PLANNING. 32

GEN - IF HUMAN REMAINS FOUND (cont.)

RECOMMND

consultation with the County and the property owner concerning the treatment of the remains as provided in Public Resources Code Section 5097.98. Human remains from other ethnic/cultural groups with recognized historical associations to the project area shall also be subject to consultation between appropriate representatives from that group and the County Planning /Director.

10. PLANNING. 33

GEN - INADVERTANT ARCHAEO FIND

RECOMMND

The developer/permit holder or any successor in interest shall comply with the following for the life of this project:

If during ground disturbance activities, cultural resources are discovered that were not assessed by the archaeological reports and/or environmental assessment conducted prior to project approval, the following procedures shall be followed. A cultural resources site is defined, for this condition, as being three or more artifacts in close association with each other, but may include fewer artifacts if the area of the find is determined to be of significance due to its sacred or cultural importance.

1. All ground disturbance activities within 100 feet of the discovered cultural resource shall be halted until a meeting is convened between the developer, the project archaeologist, the Native American tribal representative (or other appropriate ethnic/cultural group representative), and the Planning Director to discuss the significance of the find.

2. At the meeting, the significance of the discoveries shall be discussed and after consultation with the Native American tribal (or other appropriate ethnic/cultural group representative) and the archaeologist, a decision is made, with the concurrence of the Planning Director, as to the appropriate mitigation (documentation, recovery, avoidance, etc) for the cultural resource.

3. Further ground disturbance shall not resume within the area of the discovery until an agreement has been reached by all parties as to the appropriate preservation or mitigation measures.

PLAN:TRANSMITTED Case #: PP23635

Parcel: 519-110-037

10. GENERAL CONDITIONS

10.PLANNING. 34

USE - LOW PALEO

RECOMMND

According to the County's General Plan, this site has been mapped as having a "Low Potential" for paleontological resources. This category encompasses lands for which previous field surveys and documentation demonstrates a low potential for containing significant paleontological resources subject to adverse impacts. As such, this project is not anticipated to require any direct mitigation for paleontological resources. However, should fossil remains be encountered during site development:

1.All site earthmoving shall be ceased in the area of where the fossil remains are encountered. Earthmoving activities may be diverted to other areas of the site.

2.The owner of the property shall be immediately notified of the fossil discovery who will in turn immediately notify the County Geologist of the discovery.

3.The applicant shall retain a qualified paleontologist approved by the County of Riverside.

4.The paleontologist shall determine the significance of the encountered fossil remains.

5.Paleontological monitoring of earthmoving activities will continue thereafter on an as-needed basis by the paleontologist during all earthmoving activities that may expose sensitive strata. Earthmoving activities in areas of the project area where previously undisturbed strata will be buried but not otherwise disturbed will not be monitored. The supervising paleontologist will have the authority to reduce monitoring once he/she determines the probability of encountering any additional fossils has dropped below an acceptable level.

6.If fossil remains are encountered by earthmoving activities when the paleontologist is not onsite, these activities will be diverted around the fossil site and the paleontologist called to the site immediately to recover the remains.

7.Any recovered fossil remains will be prepared to the point of identification and identified to the lowest taxonomic level possible by knowledgeable paleontologists. The remains then will be curated (assigned and labeled with museum\* repository fossil specimen numbers and

PLAN: TRANSMITTED Case #: PP23635

Parcel: 519-110-037

10. GENERAL CONDITIONS

10. PLANNING. 34 USE - LOW PALEO (cont.)

RECOMMND

corresponding fossil site numbers, as appropriate; places in specimen trays and, if necessary, vials with completed specimen data cards) and catalogued, an associated specimen data and corresponding geologic and geographic site data will be archived (specimen and site numbers and corresponding data entered into appropriate museum repository catalogs and computerized data bases) at the museum repository by a laboratory technician. The remains will then be accessioned into the museum\* repository fossil collection, where they will be permanently stored, maintained, and, along with associated specimen and site data, made available for future study by qualified scientific investigators. \* The County of Riverside must be consulted on the repository/museum to receive the fossil material prior to being curated.

10. PLANNING: 35 USE - GEO02108

RECOMMND

County Geologic Report (GEO) No. 2108, submitted for this project (PP23635), was prepared by Gary S. Rasmussen & Associates, Inc. and is entitled: "Engineering Geology Investigation, Phase 5 Expansion, Desert Hills Factory Outlets, Cabazon Area, Riverside County, California, Project No. 3188.13", dated October 22, 2008. In addition, the following documents were submitted for this project:

John R. Byerly, Incorporated, November 11, 2011, "Proposed Desert Hills Premium Outlets Expansion, North Corner of Millard Pass and Seminole Road, Cabazon, California; Response to County of Riverside Review Letter".

John R. Byerly, Incorporated, July 13, 2011, "Geotechnical Update, Proposed Desert Hills Premium Outlets Expansion, North Corner of Millard Pass and Seminole Road, Cabazon Area of Riverside County, California".

John R. Byerly, Incorporated, April 30, 2008, "Soil Investigation, Proposed Desert Hills Premium Outlets, Phase III, North Corner of Millard Pass and Seminole Road, Cabazon Area of Riverside County, California".

Gary S. Rasmussen & Associates, Inc., August 2, 2001, "Menology of previous Geologic Reports, Proposed Buildings 12A and 12B, Desert Hill Factory Stores, Phase I, Cabazon Area, Riverside County, California".



PLAN: TRANSMITTED Case #: PP23635

Parcel: 519-110-037

10. GENERAL CONDITIONS

10. PLANNING. 35 USE - GEO02108 (cont.)

RECOMMND

Gary S. Rasmussen & Associates, Inc., April 2, 1997,  
"Subsurface Engineering Investigation, Desert Hill Premium  
Outlets Expansion, Northwest of Seminole Drive and Millard  
Pass, Cabazon Area, Riverside County, California".

Gary S. Rasmussen & Associates, Inc., August 9, 1995,  
"Engineering Geology Evaluation of Faulting During Grading,  
Desert Hill Factory Stores, Phase II, Cabazon Area,  
Riverside County, California".

Gary S. Rasmussen & Associates, Inc., March 14, 1994,  
"Subsurface Engineering Geology Investigation, Approx. 50  
Acres, East of Fields Road, Between Seminole Dr. and Martin  
Road, Cabazon Area, California".

Gary S. Rasmussen & Associates, Inc., March 5, 1980,  
"Subsurface Engineering Geology Investigation of a 76' X  
210' Building, North of 48510 Seminole, Drive in the NW1/4  
of SEC. 7, T3S, R2E, SBB&M, Riverside County, California".

Clopine Geological Services, Inc., August 10, 1990,  
"Addendum to Geologic/Seismic Report for 20 Acre (+/-)  
Parcel in the Northeast Quarter of the Northwest Quarter,  
Section 7, Township 3 South, Range 2 East, S.B.B. & M.,  
Cabazon Area, Riverside County, California".

Clopine Geological Services, June 14, 1989,  
"Geologic/Seismic Report for 20 Acre (+/-) Parcel in the  
Northeast Quarter of the Northwest Quarter, Section 7,  
Township 3 South, Range 2 East, S.B.B. & M., Cabazon Area,  
Riverside County, California".

Clopine Geological Services, June 14, 1988, "Geologic  
Trenching Report, 30 Acre Site, Northwest of Millard Pass  
Road and Seminole Drive, Vicinity of Cabazon, Riverside  
County, California".

These documents are herein incorporated as a part of  
GEO02108.

GEO02108 concluded:

1) The Rasmussen, April 2, 1997 Trench 1 has complete  
coverage of the area within the APEFZ relevant to the new  
proposed Buildings A, B, C and the parking Structure  
associated with Phase 5 of the Desert Hills Outlet Center.

PLAN: TRANSMITTED Case #: PP23635

Parcel: 519-110-037

10. GENERAL CONDITIONS

10. PLANNING. 35

USE - GEO02108 (cont.) (cont.)

RECOMMND

2) Trench 1 is free of faulting except for the extreme western portion of the trench and the excavations for building 12A and 12B were found to be free of faulting.

3) The San Gorgonio Pass Fault is well north and northwest of the currently proposed Phase 5 expansion.

4) The parking structure, building A, B, and C, are in conformance with Rasmussen's recommended restricted use zone for human occupancy structures.

5) The potential for liquefaction is low.

6) Seismically induced settlement evaluation revealed a potential for approximately 0.31 inch and 0.90 inch of total dynamic settlement. Dynamic settlement need not be a consideration in the design of the structures.

7) Static and pseudo-static slope stability analysis resulted in acceptable safety factors.

GEO02108 recommended:

1) Remedial grading (overexcavation and recompaction) of the natural soil.

2) Conventional shallow spread and wall footings may be safely used for support of the retail buildings and parking structure.

GEO02108 satisfies the requirement for a geotechnical/geologic study for Planning/CEQA purposes. GEO02108 is hereby accepted for planning purposes. Engineering and other Uniform Building Code parameters were not included as a part of this review or approval and this approval is not intended, and should not be misconstrued as approval for grading permit. Engineering and other building code parameters will be reviewed and additional comments and/or conditions may be imposed by the Building and Safety Department upon application for grading and/or building permits.

PLAN:TRANSMITTED Case #: PP23635

Parcel: 519-110-037

10. GENERAL CONDITIONS

TRANS DEPARTMENT

10.TRANS. 5 USE - STD INTRO 3(ORD 460/461)

RECOMMND

With respect to the conditions of approval for the referenced tentative exhibit, the landowner shall provide all street improvements, street improvement plans and/or road dedications set forth herein in accordance with Ordinance 460 and Riverside County Road Improvement standards (Ordinance 461). It is understood that the exhibit correctly shows acceptable centerline elevations, all existing easements, traveled ways, and drainage courses with appropriate Q's, and that their omission or unacceptability may require the exhibit to be resubmitted for further consideration. These Ordinances and all conditions of approval are essential parts and a requirement occurring in ONE is as binding as though occurring in all. All questions regarding the true meaning of the conditions shall be referred to the Transportation Department.

10.TRANS. 6 USE - ENCROACHMENT PERMIT

RECOMMND

An encroachment permit must be obtained from the Transportation Department prior to the commencement of any work within the county road right-of-way.

10.TRANS. 7 USE - TS/CONDITIONS

RECOMMND

The Transportation Department has reviewed the traffic study submitted for the referenced project. The study has been prepared in accordance with County-approved guidelines. We generally concur with the findings relative to traffic impacts.

The General Plan circulation policies require a minimum of Level of Service 'C', except that Level of Service 'D' may be allowed in community development areas at intersections of any combination of secondary highways, major highways, arterials, urban arterials, expressways or state highways and ramp intersections.

The study indicates that it is possible to achieve adequate levels of service for the following intersections based on the traffic study assumptions.

Fields Road/I-10 Westbound Ramps (NS) at:  
Seminole Drive (EW)

PLAN: TRANSMITTED Case #: PP23635

Parcel: 519-110-037

10. GENERAL CONDITIONS

10.TRANS. 7 USE - TS/CONDITIONS (cont.)

RECOMMND

Johnson Lane (NS) at:  
Seminole Drive (EW)  
I-10 Eastbound Ramps (EW)

Entry Drive (NS) at:  
Project Access (EW)  
Seminole Drive (EW)

Project Main Access (NS) at:  
Seminole Drive (EW)

Millard Pass (NS) at:  
Project Northern Access (EW)  
Project Central Access (EW)  
Project Southern Access (EW)  
Seminole Drive (EW)

Apache Trail (NS) at:  
Seminole Drive/I-10 Westbound Ramps (EW)  
Seminole Drive/I-10 Eastbound Ramps (EW)

As such, the proposed project is consistent with this General Plan policy.

The associated conditions of approval incorporate mitigation measures identified in the traffic study, which are necessary to achieve or maintain the required level of service.

60. PRIOR TO GRADING PRMT ISSUANCE

BS GRADE DEPARTMENT

60.BS GRADE. 1 USE - NPDES/SWPPP

RECOMMND

Prior to issuance of any grading or construction permits - whichever comes first - the applicant shall provide the Building and Safety Department evidence of compliance with the following: "Effective March 10, 2003 owner operators of grading or construction projects are required to comply with the N.P.D.E.S. (National Pollutant Discharge Elimination System) requirement to obtain a construction permit from the State Water Resource Control Board (SWRCB). The permit requirement applies to grading and construction sites of "ONE" acre or larger. The owner operator can

PROJECT PLAN: TRANSMITTED Case #: PP23635

Parcel: 519-110-037

60. PRIOR TO GRADING PRMT ISSUANCE

60.BS GRADE. 1 USE - NPDES/SWPPP (cont.)

RECOMMND

comply by submitting a "Notice of Intent" (NOI), develop and implement a STORM WATER POLLUTION PREVENTION PLAN (SWPPP) and a monitoring program and reporting plan for the construction site. For additional information and to obtain a copy of the NPDES State Construction Permit contact the SWRCB at (916) 657-1146.

Additionally, at the time the county adopts, as part of any ordinance, regulations specific to the N.P.D.E.S., this project (or subdivision) shall comply with them.

60.BS GRADE. 2 USE - GRADING SECURITY

RECOMMND

Grading in excess of 199 cubic yards will require a performance security to be posted with the Building and Safety Department.

60.BS GRADE. 3 USE - IMPORT / EXPORT

RECOMMND

In instances where a grading plan involves import or export, prior to obtaining a grading permit, the applicant shall have obtained approval for the import/export location from the Building and Safety Department.

A separate stockpile permit is required for the import site. It shall be authorized in conjunction with an approved construction project and shall comply with the requirements of Ordinance 457.

If an Environmental Assessment, prior to issuing a grading permit, did not previously approve either location, a Grading Environmental Assessment shall be submitted to the Planning Director for review and comment and to the Building and Safety Department Director for approval.

Additionally, if the movement of import / export occurs using county roads, review and approval of the haul routes by the Transportation Department may be required.

60.BS GRADE. 4 USE - GEOTECH/SOILS RPTS

RECOMMND

Geotechnical soils reports, required in order to obtain a grading permit, shall be submitted to the Building and Safety Department for review and approval prior to issuance of a grading permit. All grading shall be in conformance with the recommendations of the geotechnical/soils reports

PLAN: TRANSMITTED Case #: PP23635

Parcel: 519-110-037

60. PRIOR TO GRADING PRMT ISSUANCE

60.BS GRADE. 4 USE - GEOTECH/SOILS RPTS (cont.) RECOMMND

as approved by Riverside County.\* \*The geotechnical/soils, compaction and inspection reports will be reviewed in accordance with the RIVERSIDE COUNTY GEOTECHNICAL GUIDELINES FOR REVIEW OF GEOTECHNICAL AND GEOLOGIC REPORTS.

60.BS GRADE. 5 USE - SLOPE STABILITY ONLY RECOMMND

A slope stability report shall be submitted and approved by the County Geologist and/or Building and Safety Engineer for all proposed cut or fill slopes over 30 feet in vertical height or cut slopes steeper than 2:1 (horizontal to vertical) - unless addressed in a previous report. Fill slopes shall not be steeper than 2:1 (horizontal to vertical).

60.BS GRADE. 6 USE - DRAINAGE DESIGN Q100 RECOMMND

All drainage facilities shall be designed in accordance with the Riverside County Flood Control & Water District's letter regarding this application, or if not specifically addressed in their letter, to accommodate 100 year storm flows.

60.BS GRADE. 7 USE - OFFSITE GRDG ONUS RECOMMND

Prior to the issuance of a grading permit, it shall be the sole responsibility of the owner/applicant to obtain any and all proposed or required easements and/or permissions necessary to perform the grading herein proposed.

60.BS GRADE. 8 USE - NOTARIZED OFFSITE LTR RECOMMND

A notarized letter of permission, from the affected property owners or easement holders, is required for any proposed off site grading.

60.BS GRADE. 9 USE - RECORDED ESMT REQ'D RECOMMND

A recorded easement is required for off site drainage facilities.

60.BS GRADE. 11 USE - APPROVED WQMP RECOMMND

Prior to the issuance of a grading permit, the owner / applicant shall submit to the Building & Safety Department Engineering Division evidence that the project - specific

02/06/12  
11:03

Riverside County LMS  
CONDITIONS OF APPROVAL

Page: 27

PLAN: TRANSMITTED Case #: PP23635

Parcel: 519-110-037

60. PRIOR TO GRADING PRMT ISSUANCE

60.BS GRADE. 11 USE - APPROVED WQMP (cont.)

RECOMMND

Water Quality Management Plan (WQMP) has been approved by the Riverside County Flood Control District and that all approved water quality treatment control BMPs have been included on the grading plan.

60.BS GRADE. 12 USE - PRE-CONSTRUCTION MTG

RECOMMND

Upon receiving grading plan approval and prior to the issuance of a grading permit, the applicant is required to schedule a pre-construction meeting with the Building and Safety Department Environmental Compliance Division.

FLOOD RI DEPARTMENT

60.FLOOD RI. 2 USE SUBMIT PLANS

RECOMMND

A copy of the improvement plans, grading plans, BMP improvement plans and any other necessary documentation along with supporting hydrologic and hydraulic calculations shall be submitted to the District for review. The plans must receive District approval prior to the issuance of grading permits. All submittals shall be date stamped by the engineer and include a completed Flood Control Deposit Based Fee Worksheet and the appropriate plan check fee deposit.

60.FLOOD RI. 3 USE EROS CNTRL AFTER RGH GRAD

RECOMMND

Temporary erosion control measures shall be implemented immediately following rough grading to prevent deposition of debris onto downstream properties or drainage facilities. Plans showing these measures shall be submitted to the District for review.

60.FLOOD RI. 4 USE OFFSITE EASE OR REDESIGN

RECOMMND

Offsite drainage facilities shall be located within dedicated drainage easements obtained from the affected property owner(s). Document(s) shall be recorded and a copy submitted to the District prior to issuance of permits. If the developer cannot obtain such rights, the project shall be redesigned to eliminate the need for the easement.

PLAN:TRANSMITTED Case #: PP23635

Parcel: 519-110-037

60. PRIOR TO GRADING PRMT ISSUANCE

60.FLOOD RI. 5 USE WRITTEN PERM FOR GRADING RECOMMND

Written permission shall be obtained from the affected property owner(s) allowing the proposed grading and/or facilities to be installed outside of the project boundaries. A copy of the written authorization shall be submitted to the District for review and approval.

60.FLOOD RI. 9 USE SUBMIT FINAL WQMP RECOMMND

A copy of the project specific WQMP shall be submitted to the District for review and approval.

PLANNING DEPARTMENT

60.PLANNING. 1 USE - FEE STATUS RECOMMND

Prior to the issuance of grading permits for Plot Plan No. 23635, the Planning Department shall determine the status of the deposit based fees. If the fees are in a negative status, the permit holder shall pay the outstanding balance.

TRANS DEPARTMENT

60.TRANS. 1 USE - TRANSPORTATION CLEARANCE RECOMMND

A clearance from the Transportation Department is required prior to the issuance of a grading permit.

60.TRANS. 2 USE - WATER QUALITY MGMT PLANS RECOMMND

The developer shall submit Water Quality Management Plans (WQMP) to Riverside County Flood Control & Water Conservation District and Transportation Department for review and approval.

60.TRANS. 3 USE - CREDIT/REIMBURSEMENT RECOMMND

In order to receive any fee credit or reimbursement for improvements, the project proponent shall contact the Transportation Department and enter into an agreement for fee credit or reimbursement prior to advertising. All work shall be preapproved by and shall comply with the requirements of the Transportation Department and the public contracts code in order to be eligible for fee credit or reimbursement.



PLAN:TRANSMITTED Case #: PP23635

Parcel: 519-110-037

60. PRIOR TO GRADING PRMT ISSUANCE

60.TRANS. 3 USE - CREDIT/REIMBURSEMENT (cont.)

RECOMMND

To enter into an agreement, please contact our Funding Programs group at (951) 955-1667.

For more information regarding the public work bidding requirements please visit the following link:  
[http://www.rctlma.org/trans/rbbd\\_contractbidding.html](http://www.rctlma.org/trans/rbbd_contractbidding.html).

80. PRIOR TO BLDG PRMT ISSUANCE

BS GRADE DEPARTMENT

80.BS GRADE. 1 USE - NO B/PMT W/O G/PMT

RECOMMND

Prior to the issuance of any building permit, the property owner shall obtain a grading permit and/or approval to construct from the Building and Safety Department.

80.BS GRADE. 2 USE - ROUGH GRADE APPROVAL

RECOMMND

Prior to the issuance of any building permit, the applicant shall obtain rough grade approval and/or approval to construct from the Building and Safety Department. The Building and Safety Department must approve the completed grading of your project before a building permit can be issued. Rough Grade approval can be accomplished by complying with the following:

1.Submitting a "Wet Signed" copy of the Soils Compaction Report containing substantiating data from the Soils Engineer (registered geologist or certified geologist, civil engineer or geotechnical engineer as appropriate) for his/her certification of the project.

2.Submitting a "Wet Signed" copy of the Rough Grade certification from a Registered Civil Engineer certifying that the grading was completed in conformance with the approved grading plan.

3.Requesting a Rough Grade Inspection and obtaining rough grade approval from a Riverside County inspector.

4.Rough Grade Only Permits: In addition to obtaining all required inspections and approval of all final reports, all sites permitted for rough grade only shall provide 100 percent vegetative coverage to stabilize the site prior to receiving a rough grade permit final.

PLAN:TRANSMITTED Case #: PP23635

Parcel: 519-110-037

80. PRIOR TO BLDG PRMT ISSUANCE

80.BS GRADE. 2                   USE - ROUGH GRADE APPROVAL (cont.)                   RECOMMND

Prior to release for building permit, the applicant shall have met all rough grade requirements to obtain Building and Safety Department clearance.

E HEALTH DEPARTMENT

80.E HEALTH. 1                   USE - E.HEALTH CLEARANCE REQ.                   RECOMMND

ENVIRONMENTAL HEALTH CLEARANCE IS REQUIRED PRIOR TO THE ISSUANCE OF THIS BUILDING PERMIT.

FIRE DEPARTMENT

80.FIRE. 1                   USE-#17A-BLDG PLAN CHECK \$                   RECOMMND

Building Plan check deposit base fee of \$1,056.00, shall be paid in a check or money order to the Riverside County Fire Department after plans have been approved by our office.

80.FIRE. 2                   USE-#51-WATER CERTIFICATION                   RECOMMND

The applicant or developer shall be responsible to submit written certification from the water company noting the location of the existing fire hydrant and that the existing water system is capable of delivering 3750 GPM fire flow for a 4 hour duration at 20 PSI residual operating pressure. If a water system currently does not exist, the applicant or developer shall be responsible to provide written certification that financial arrangements have been made to provide them.

80.FIRE. 3                   USE-#4-WATER PLANS                   RECOMMND

The applicant or developer shall separately submit two copies of the water system plans to the Fire Department for review and approval. Calculated velocities shall not exceed 10 feet per second. Plans shall conform to the fire hydrant types, location and spacing, and the system shall meet the fire flow requirements.

Plans shall be signed and approved by a registered civil engineer and the local water company with the following certification: "I certify that the design of the water system is in accordance with the requirements prescribed by the Riverside County Fire Department."

02/06/12  
11:03

Riverside County LMS  
CONDITIONS OF APPROVAL

Page: 31

PLAN:TRANSMITTED Case #: PP23635

Parcel: 519-110-037

80. PRIOR TO BLDG PRMT ISSUANCE

80.FIRE. 4 USE- MISC CORRECTIONS INEFFECT

Prior to issuance of building permit, the applicant must provide a plan showing fire protection measures for the parking lot and interior areas of the shopping center. (Additional fire hydrants will be necessary.)

FLOOD RI DEPARTMENT

80.FLOOD RI. 2 USE SUBMIT PLANS RECOMMND

A copy of the improvement plans, grading plans, BMP improvement plans and any other necessary documentation along with supporting hydrologic and hydraulic calculations shall be submitted to the District for review. The plans must receive District approval prior to the issuance of building permits. All submittals shall be date stamped by the engineer and include a completed Flood Control Deposit Based Fee Worksheet and the appropriate plan check fee deposit.

80.FLOOD RI. 5 USE SUBMIT FINAL WQMP RECOMMND

A copy of the project specific WQMP shall be submitted to the District for review and approval.

PLANNING DEPARTMENT

80.PLANNING. 1 USE - LC LNDSKP PLOT PLAN RECOMMND

Prior to issuance of building permits, the developer/permit holder shall file a Landscaping Minor Plot Plan Application to the Riverside County Planning Department for review and approval along with the current fee. The landscaping plans shall be in conformance with the APPROVED EXHIBITS; in compliance with Ordinance No. 348, Section 18.12; Ordinance No. 859; and, be prepared consistent with the County of Riverside Guide to California Friendly Landscaping.

At minimum, plans shall include the following components:  
1) Landscape and irrigation working drawings "stamped" by a California certified landscape architect;

2) Weather based controllers and necessary components to eliminate water waste;

3) A copy of the "stamped" approved grading plans; and,

PLAN:TRANSMITTED Case #: PP23635

Parcel: 519-110-037

80. PRIOR TO BLDG PRMT ISSUANCE

80.PLANNING. 1 USE - LC LNDSCP PLOT PLAN (cont.)

RECOMMND

4)Emphasis on native and drought tolerant species.

When applicable, plans shall include the following components:

1)Identification of all common/open space areas;

2)Natural open space areas and those regulated/conserved by the prevailing MSHCP;

3)Shading plans for projects that include parking lots/areas;

4)The use of canopy trees (24" box or greater) within the parking areas;

5)Landscaping plans for slopes exceeding 3 feet in height;

6)Landscaping and irrigation plans associated with entry monuments. All monument locations and dimensions shall be provided on the plan; and/or,

7)If this is a phased development, then a copy of the approved phasing plan shall be submitted for reference.

8)Irrigation to conform to Ordinance No.859.2

9)Landscape Architect Stamp and signature to be on drawings with updated seal.

10) MAWA calculations using the Ordinance No. 859.2 calculations.

NOTE:

1)Landscaping plans for areas within the road right-of-way shall be submitted for review and approval by the Transportation Department only. The Planning Department shall not approve landscape plans within the Road Right-of-Way.

)When the Landscaping Plot Plan is located within a special district such as Valley-Wide Recreation and Park District, Jurupa Community Services District, Coachella Valley Water District, a County Service Area (CSA) or other maintenance district, the developer/permit holder shall submit plans for review to the appropriate special district for simultaneous review. The permit holder shall show evidence to the Planning Department that the subject District has

PERMIT PLAN: TRANSMITTED Case #: PP23635

Parcel: 519-110-037

80. PRIOR TO BLDG PRMT ISSUANCE

80.PLANNING. 1 USE - LC LNDSCP PLOT PLAN (cont.) (cont.) RECOMMND

approved said plans.

As part of the plan check review process and request for condition clearance, the developer/permit holder shall show proof of the approved landscaping plot plan by providing the Plot Plan number. The planning department shall verify the landscape route is approved and the Plot Plan is in TENTAPPR status. Upon verification of compliance with this condition and the APPROVED EXHIBITS, the Planning Department shall clear this condition.

80.PLANNING. 3 USE - LC LNDSCP SECURITIES RECOMMND

Prior to the issuance of building permits, the developer/permit holder shall submit an estimate to replace plantings, irrigation systems, ornamental landscape elements, walls and/or fences, in amounts to be approved by the Riverside County Planning Department, Landscape Division. Once the Planning Department has approved the estimate, the developer/permit holder shall submit the estimate to the Riverside County Department of Building and Safety who will then provide the developer/permit holder with the requisite forms. The required forms shall be completed and submitted to Building and Safety for processing and review in conjunction with County Counsel. Upon determination of compliance, the Department of Building and Safety shall clear this condition.

NOTE:

A cash security shall be required when the estimated cost is \$2,500.00 or less. It is highly encouraged to allow adequate time to ensure that securities are in place. The performance security shall be released following a successful completion of the One Year Post-Establishment Inspection, and the inspection report confirms that the planting and irrigation components are thriving and in good working order consistent with the approved landscaping plans.

TRANS DEPARTMENT

80.TRANS. 4 USE - R-O-W DEDICATION 1 RECOMMND

Sufficient public street right-of-way along Millard Pass Road up to the northerly project boundary shall be conveyed for public use to provide for a 60-foot half-width

PLAN:TRANSMITTED Case #: PP23635

Parcel: 519-110-037

80. PRIOR TO BLDG PRMT ISSUANCE

80.TRANS. 4 USE - R-O-W DEDICATION 1 (cont.) RECOMMND  
right-of-way.

80.TRANS. 6 USE - STREETLIGHTS - L&LMD RECOMMND

The project proponent shall submit to the Transportation Department L&LMD No. 89-1-C Administrator the following:

1. Completed Transportation Department application
2. (2) Sets of street lighting plans approved by Transportation Department.
3. Appropriate fees for annexation.
4. "Streetlight Authorization" form from SCE, IID or other electric provider.

80.TRANS. 15 USE - STREETLIGHT PLAN 1 RECOMMND

A separate street light plan is required for this project.

Street lighting shall be designed in accordance with County Ordinance 460 and Streetlight Specification Chart found in Specification Section 22 of Ordinance 461. For projects within SCE boundaries use County of Riverside Ordinance 461, Standard No's 1000 or 1001. For projects within Imperial Irrigation District (IID) use IID's pole standard.

80.TRANS. 16 USE - LANDSCAPING COMM/IND RECOMMND

Landscaping within public road right-of-way shall comply with Transportation Department standards and Ordinance 461 and shall require approval by the Transportation Department.

Landscaping plans shall be designed within Millard Pass Road and Seminole Drive and submitted to the Transportation Department. Landscaping plans shall be submitted on standard County Plan sheet format (24" X 36"). Landscaping plans shall be submitted with the street improvement plans.

Assurance of continuous maintenance is required by processing and filing a 'Landscape Maintenance Agreement' through the Transportation Department Plan Check Division; or if desired the developer may file an application for annexation into Landscaping and Lighting Maintenance

PLAN:TRANSMITTED Case #: PP23635

Parcel: 519-110-037

80. PRIOR TO BLDG PRMT ISSUANCE

80.TRANS. 16 USE - LANDSCAPING COMM/IND (cont.) RECOMMND

District No. 89-1-Consolidated by contacting Judy Watterlond, Transportation Department at (951) 955-6829.

80.TRANS. 20 USE - TRAFFIC SIGNALS 2 RECOMMND

The project proponent shall comply in accordance with traffic signal requirements within public road rights-of-way, s directed by the Transportation Department. Assurance of traffic signal maintenance is required by filing an application for annexation to Landscaping and Lighting Maintenance District No. 89-1-Consolidated for the required traffic signal(s).

80.TRANS. 21 USE - ANNEX L&LMD/OTHER DIST RECOMMND

Prior to the issuance of a building permit, the project proponent shall comply with County requirements within public road rights-of-way, in accordance with Ordinance 461. Assurance of maintenance is required by filing an application for annexation to Landscaping and Lighting Maintenance District No. 89-1-Consolidated by contacting the Transportation Department at (951)955-6767, and/or any other maintenance district approved by the Transportation Department or by processing and filing a 'Landscape Maintenance Agreement' through the Transportation Department Plan Check Division. Said annexation should include the following:

- (1) Landscaping along Seminole Drive and Millard Pass.
- (2) Streetlights on Seminole Drive and Millard Pass.
- (3) Traffic signals located at Seminole Drive and project east access, Entry Drive and Millard Pass.
- (4) Graffiti abatement of walls and other permanent structure along Seminole Drive and Millard Pass.

For street lighting, the project proponent shall contact the Transportation Department L&LMD 89-1-C Administrator and submit the following:

- (1) Completed Transportation Department application.
- (2) Appropriate fees for annexation.

PLAN: TRANSMITTED Case #: PP23635

Parcel: 519-110-037

80. PRIOR TO BLDG PRMT ISSUANCE

80.TRANS. 21 USE - ANNEX L&LMD/OTHER DIST (cont.) RECOMMND

(3) (2) sets of street lighting plans approved by  
Transportation Department.

(4) "Streetlight Authorization" form from SCE, IID or  
other electric provider.

80.TRANS. 22 USE - TS/DESIGN RECOMMND

The project proponent shall be responsible for the design  
of traffic signal(s) at the intersections of:

Signals not eligible for fee credit:

Entry Drive (NS) at Seminole Drive (EW)

Millard Pass (NS) at Seminole Drive (EW)

or as approved by the Transportation Department.

For improvements eligible for fee credit, the project  
proponent shall contact the Transportation Department and  
enter into an agreement for signal mitigation fee credit or  
reimbursement prior to start of construction of the signal.

All work shall be pre-approved by and shall comply with  
the requirements of the Transportation Department and the  
public contract code in order to be eligible for fee credit  
or reimbursement.

80.TRANS. 23 USE - TS/GEOMETRICS RECOMMND

The intersection of Fields Road/I-10 Westbound Ramps (NS)  
at Seminole Drive (EW) shall be improved to provide the  
following geometrics:

Northbound: one shared left-turn/through lane, one free  
right-turn lane

Southbound: one shared left-turn/through/right-turn lane

Eastbound: one shared left-turn/through/right-turn lane

Westbound: one shared left-turn/through lane, one  
right-turn lane

NOTE: The project proponent shall provide an effective  
channelization to enforce the northbound free  
right-turn movement.

The intersection of Johnson Lane (NS) at I-10 Eastbound  
Ramps (EW) shall be improved to provide the following  
geometrics:



PLAN: TRANSMITTED Case #: PP23635

Parcel: 519-110-037

80. PRIOR TO BLDG PRMT ISSUANCE

80.TRANS. 23

USE - TS/GEOMETRICS (cont.)

RECOMMND

Northbound: one shared left-turn/through/right-turn lane  
Southbound: one left-turn, one through lane  
Eastbound: one left-turn lane, one shared  
                  left-turn/through lane  
Westbound: N/A

The intersection of Entry Drive (NS) at Seminole Drive (EW) shall be signalized and improved to provide the following geometrics:

Northbound: N/A  
Southbound: one left-turn lane, one right-turn lane  
Eastbound: one left-turn lane, two through lanes  
Westbound: two through lanes

The intersection of Project Main Access (NS) at Seminole Drive (EW) shall be signalized and improved to provide the following geometrics:

Northbound: N/A  
Southbound: one left-turn lane, one right-turn lane  
Eastbound: one left-turn lane, two through lanes  
Westbound: two through lanes  
NOTE: Access is provided to delivery and emergency vehicles only. Public vehicular access shall be restricted. The project proponent shall install an appropriate access gate to enforce this condition.

The intersection of Millard Pass (NS) at Project Northern Access (EW) shall be signalized and improved to provide the following geometrics:

Northbound: one shared left-turn/through lane, one  
                  right-turn lane  
Southbound: one shared left-turn/through lane, one  
                  right-turn lane  
Eastbound: one shared left-turn/through/right-turn lane  
Westbound: one shared left-turn/through/right-turn lane

The intersection of Millard Pass (NS) at Project Central Access (EW) shall be signalized and improved to provide the following geometrics:

Northbound: one through lane, one right-turn lane  
Southbound: one shared left-turn/through lane, one

02/06/12  
11:03

Riverside County LMS  
CONDITIONS OF APPROVAL

Page: 38

PLAN: TRANSMITTED Case #: PP23635

Parcel: 519-110-037

80. PRIOR TO BLDG PRMT ISSUANCE

80.TRANS. 23

USE - TS/GEOMETRICS (cont.) (cont.)

RECOMMND

through lane  
Eastbound: one shared left-turn/through/right-turn lane  
Westbound: one shared left-turn/through/right-turn lane

The intersection of Millard Pass (NS) at Project Southern Access (EW) shall be signalized and improved to provide the following geometrics:

Northbound: one left-turn lane, two through lanes  
Southbound: two through lanes  
Eastbound: one shared left-turn/through/right-turn lane  
Westbound: one shared left-turn/through/right-turn lane

The intersection of Millard Pass (NS) at Seminole Drive (EW) shall be signalized and improved to provide the following geometrics:

Northbound: N/A  
Southbound: one left-turn lane, one right-turn lane  
Eastbound: one left-turn lane, two through lanes  
Westbound: two through lanes, one right-turn lane

or as approved by the Transportation Department.

All improvements listed are requirements for interim conditions only. Full right-of-way and roadway half sections adjacent to the property for the ultimate roadway cross-section per the County's Road Improvement Standards and Specifications must be provided.

Any off-site widening required to provide these geometrics shall be the responsibility of the landowner/developer.

80.TRANS. 24

USE-ENCROACHMNT PERMIT/SEWER L

RECOMMND

Prior to the issuance of a building permit, the project proponent shall comply with County requirements for proposed sewer line within public road rights-of-way, in accordance with Ordinance No. 499. Assurance of lifetime membership with underground service alert shall be submitted to Transportation Department for review and approval.

PLAN:TRANSMITTED Case #: PP23635

Parcel: 519-110-037

80. PRIOR TO BLDG PRMT ISSUANCE

80.TRANS. 25 USE - TS/PEDESTRIAN CROSSING

RECOMMND

The vehicular traffic on Millard Pass will increase due the access locations of the project parking structure. This additional traffic on Millard Pass will increase the pedestrian-vehicular conflicts rate at the existing pedestrian crosswalk. To improve safety, the project proponent shall improve the pedestrian crosswalk with pedestrian signal heads and coordinate these with the signal located at Millard Pass (NS) and Seminole Drive (EW)

or as approved by the Transportation Department.

80.TRANS. 26 USE - ON-STREET DELIVERY PARK

RECOMMND

On-street parking for delivery vehicles will allowed on the north side of Seminole Drive during weekdays only.

90. PRIOR TO BLDG FINAL INSPECTION

BS GRADE DEPARTMENT

90.BS GRADE. 1 USE - WQMP BMP INSPECTION

RECOMMND

Prior to final building inspection, the applicant shall obtain inspection of all treatment control BMPs and/or clearance from the Building and Safety Department. All structural BMPs described in the project - specific WQMP and indicated on the approved grading plan shall be constructed and installed in conformance with the approved plans and specifications. The Building and Safety Department must inspect and approve the completed WQMP treatment control BMPs for your project before a building final can be obtained.

90.BS GRADE. 2 USE - WQMP BMP CERT REQ'D

RECOMMND

Prior to final building inspection, the applicant/owner shall submit a "Wet Signed" copy of the Water Quality Management Plan (WQMP) Certification from a Registered Civil Engineer certifying that the project - specific WQMP treatment control BMPs have been installed in accordance with the approved WQMP.

90.BS GRADE. 3 USE - BMP GPS COORDINATES

RECOMMND

Prior to final building inspection, the applicant/owner shall provide the Department of Building Safety with GPS

PLAN:TRANSMITTED Case #: PP23635

Parcel: 519-110-037

90. PRIOR TO BLDG FINAL INSPECTION

90.BS GRADE. 3 USE - BMP GPS COORDINATES (cont.) RECOMMND

coordinates for the location of the project - specific WQMP treatment control BMPs.

90.BS GRADE. 4 USE - BMP REGISTRATION RECOMMND

Prior to final building inspection, the applicant/owner shall register the project - specific WQMP treatment control BMPs with the Department of Building Safety Business Registration Division. Any person or entity that owns or operates a commercial and/or industrial facility shall register such facility for annual inspections.

90.BS GRADE. 5 USE - REQ'D GRADING INSP'S RECOMMND

The developer / applicant shall be responsible for obtaining the following inspections required by Ordinance 457.

- 1.Sub-grade inspection prior to base placement.
- 2.Base inspection prior to paving.
- 3.Precise grade inspection of entire permit area.
  - a.Inspection of Final Paving
  - b.Precise Grade Inspection
  - c.Inspection of completed onsite storm drain facilities
  - d.Inspection of the WQMP treatment control BMPs

90.BS GRADE. 6 USE - PRECISE GRDG APPROVAL RECOMMND

Prior to final building inspection, the applicant shall obtain precise grade approval and/or clearance from the Building and Safety Department. The Building and Safety Department must approve the precise grading of your project before a building final can be obtained. Precise Grade approval can be accomplished by complying with the following:

- 1.Requesting and obtaining approval of all required grading inspections.
- 2.Submitting a "Wet Signed" copy of the Soils Compaction Report from the Soils Engineer (registered geologist or certified geologist, civil engineer or geotechnical engineer as appropriate) for the sub-grade and base of all

PLAN: TRANSMITTED Case #: PP23635

Parcel: 519-110-037

90. PRIOR TO BLDG FINAL INSPECTION

90.BS GRADE. 6 USE - PRECISE GRDG APPROVAL (cont.)

RECOMMND

paved areas.

3. Submitting a "Wet Signed" copy of the Sub-grade (rough) Certification from a Registered Civil Engineer certifying that the sub-grade was completed in conformance with the approved grading plan.

4. Submitting a "Wet Signed" copy of the Precise (Final) Grade Certification for the entire site from a Registered Civil Engineer certifying that the precise grading was completed in conformance with the approved grading plan.

5. Submitting a "Wet Signed" copy of the Certification certifying the installation of any onsite storm drain systems not inspected by Riverside County Flood Control District or the Riverside County Transportation Department.

6. Submitting a "Wet Signed" copy of the Water Quality Management Plan (WQMP) Certification from a Registered Civil Engineer certifying that the Water Quality Management Plan treatment control BMPs have been installed in accordance with the approved WQMP.

Prior to release for building final, the applicant shall have met all precise grade requirements to obtain Building and Safety Department clearance.

E HEALTH DEPARTMENT

90.E HEALTH. 1 REMOVE/ABANDON EXISTING SEPTIC

RECOMMND

All existing septic systems and grease interceptors shall be properly removed/abandoned under permit from the Department of Environmental Health prior to building final.

90.E HEALTH. 2 USE-INACTIVATE WATER SYSTEM

RECOMMND

Contact the Department of Environmental Health, Water Resources staff in the Indio office to inactivate the existing transient non-community water system after connection to Cabazon Water has been completed. For further information, please contact (760) 863-7570.

PLAN: TRANSMITTED Case #: PP23635

Parcel: 519-110-037

90. PRIOR TO BLDG FINAL INSPECTION

FIRE DEPARTMENT

90.FIRE. 1 USE-#45-FIRE LANES RECOMMND

The applicant shall prepare and submit to the Fire Department for approval, a site plan designating required fire lanes with appropriate lane painting and/or signs.

90.FIRE. 2 USE-#83-AUTO/MAN FIRE ALARM RECOMMND

Applicant or developer shall be responsible to install a manual and automatic Fire Alarm System. Plans must be submitted to the Fire Department for approval prior to installation.

90.FIRE. 3 USE-#27-EXTINGUISHERS RECOMMND

Install portable fire extinguishers with a minimum rating of 2A-10BC and signage. Fire Extinguishers located in public areas shall be in recessed cabinets mounted 48" (inches) to center above floor level with maximum 4" projection from the wall. Contact Fire Department for proper placement of equipment prior to installation.

90.FIRE. 4 USE-#36-HOOD DUCTS RECOMMND

A U.L. 300 hood duct fire extinguishing system must be installed over the cooking equipment. Wet chemical extinguishing system must provide automatic shutdown of all electrical componets and outlets under the hood upon activation. System must be installed by a licensed C-16 contractor. Plans must be submitted with current fee to the Fire Department for review and approval prior to installation.

NOTE: A dedicated alarm system is not required to be installed for the exclusive purpose of monitoring this suppression system. However, a new or pre-existing alarm system must be connected to the extinguishing system. (\* separate fire alarm plans must be submitted for connection)

90.FIRE. 5 USE-#12A-SPRINKLER SYSTEM RECOMMND

Install a complete fire sprinkler system per NFPA 13 1999 edition in all buildings requiring a fire flow of 1500 GPM or greater. Sprinkler system(s) with pipe sizes in excess of 4" in diamter will require the project structural engineer to certify (wet signature) the stability of the

02/06/12  
11:03

Riverside County LMS  
CONDITIONS OF APPROVAL

Page: 43

PLAN: TRANSMITTED Case #: PP23635

Parcel: 519-110-037

90. PRIOR TO BLDG FINAL INSPECTION

90.FIRE. 5 USE-#12A-SPRINKLER SYSTEM (cont.)

RECOMMND

building system for seismic and gravity loads to support the sprinkler system. All fire sprinkler risers shall be protected from any physical damage. The post indicator valve and fire department connection shall be located to the front, within 50 feet of a hydrant, and a minimum of 25 feet from the building(s). A statement that the building(s) will be automatically fire sprinkled must be included on the title page of the building plans.

Applicant or developer shall be responsible to install a U.L. Central Station Monitored Fire Alarm System. Monitoring system shall monitor the fire sprinkler system(s) water flow, P.I.V.'s and all control valves. Plans must be submitted to the Fire Department for approval prior to installation. Contact fire department for guideline handout

90.FIRE. 6 FINAL INSPECTION

RECOMMND

Prior to occupancy a Fire Department inspection is required to verify all conditions stated at plan check are met.

Riverside office (951)955-4777  
Murrieta office (951)600-6160  
Indio Office (760)863-8886

FLOOD RI DEPARTMENT

90.FLOOD RI. 2 USE BMP - EDUCATION

RECOMMND

The developer shall distribute environmental awareness education materials on general good housekeeping practices that contribute to protection of stormwater quality to all initial users. The developer may obtain NPDES Public Educational Program materials from the District's NPDES Section by either the District's website [www.rcflood.org](http://www.rcflood.org), e-mail [fcnpdes@rcflood.org](mailto:fcnpdes@rcflood.org), or the toll free number 1-800-506-2555. Please provide Project number, number of units and location of development. Note that there is a five-day minimum processing period requested for all orders.

The developer must provide to the District's PLAN CHECK Department a notarized affidavit stating that the distribution of educational materials to the tenants is assured prior to the issuance of occupancy permits.

PLAN: TRANSMITTED Case #: PP23635

Parcel: 519-110-037

90. PRIOR TO BLDG FINAL INSPECTION

90.FLOOD RI. 3 USE IMPLEMENT WQMP

RECOMMND

All structural BMPs described in the project-specific WQMP shall be constructed and installed in conformance with approved plans and specifications. It shall be demonstrated that the applicant is prepared to implement all non-structural BMPs described in the approved project specific WQMP and that copies of the approved project-specific WQMP are available for the future owners/occupants. The District will not release occupancy permits for any portion of the project exceeding 80% of the project area prior to the completion of these tasks.

90.FLOOD RI. 5 USE BMP MAINTENANCE & INSPECT

RECOMMND

The BMP maintenance plan shall contain provisions for all treatment controlled BMPs to be inspected, and if required, cleaned no later than October 15 each year. Required documentation shall identify the entity that will inspect and maintain all structural BMPs within the project boundaries. A copy of all necessary documentation shall be submitted to the District for review and approval prior to the issuance of occupancy permits.

90.FLOOD RI. 6 USE AS-BUILT BMP CERT

RECOMMND

All structural BMPs described in the project-specific WQMP shall be constructed and installed in conformance with approved plans and specifications. As-built plans certified by a registered Civil Engineer shall be submitted.

PLANNING DEPARTMENT

90.PLANNING. 1 USE - LC LNDS CP INSPCT DEPOSIT

RECOMMND

Prior to building permit final inspection, the developer/permit holder shall file an Inspection Request Form and deposit sufficient funds to cover the costs of Installation, Six Month Establishment, and One Year Post-Establishment inspections. In the event that an open landscape case is not available, then the applicant shall open a FEE ONLY case to conduct inspections. The deposit required for landscape inspections shall be determined by the Riverside County Landscape Division. The Planning Department shall clear this condition upon determination of compliance.



PLOT PLAN: TRANSMITTED Case #: PP23635

Parcel: 519-110-037

90. PRIOR TO BLDG FINAL INSPECTION

90.PLANNING. 2 USE - LC LNDSACP INSPCTN RQMNTS

RECOMMND

The permit holder's landscape architect responsible for preparing the Landscaping and Irrigation Plans (or on-site representative) shall arrange for a PRE-INSTALLATION INSPECTION with the Planning Department at least five (5) working days prior to the installation of any landscape or irrigation components.

Upon successful completion of the PRE-INSTALLATION INSPECTION, the applicant will proceed with the installation of the approved landscape and irrigation system and arrange for an INSTALLATION INSPECTION at least five 5 working days prior to the building final inspection or issuance of occupancy permit, whichever occurs first and comply with the Planning Department's Milestone 80 conditions entitled "USE-LANDSCAPING SECURITY" and the Milestone 90 condition entitled "LANDSCAPE INSPECTION DEPOSIT." Upon successful completion of the INSTALLATION INSPECTION, the County Planning Department's Landscape Inspector and the permit holder's landscape architect (or on-site representative) shall execute a Landscape Certificate of Completion that shall be submitted to the Planning Department and the Department of Building and Safety. The Planning Department shall clear this condition upon determination of compliance.

90.PLANNING. 3 USE - LC COMPLY W/ LNDSACP/ IRR

RECOMMND

The developer/permit holder shall coordinate with their designated landscape representative and the Riverside County Planning Department's landscape inspector to ensure all landscape planting and irrigation systems have been installed in accordance with APPROVED EXHIBITS, landscaping, irrigation, and shading plans. The Planning Department will ensure that all landscaping is healthy, free of weeds, disease and pests; and, irrigation systems are properly constructed and determined to be in good working order. The developer/permit holder's designated landscape representative and the Riverside County Planning Department's landscape inspector shall determine compliance with this condition and execute a Landscape Certificate of Completion. Upon determination of compliance, the Planning Department shall clear this condition.

PLAN:TRANSMITTED Case #: PP23635

Parcel: 519-110-037

90. PRIOR TO BLDG FINAL INSPECTION

90.PLANNING. 4                   USE - AGENCY CLEARANCE                   RECOMMND

A clearance letter from Industrial Hygiene shall be provided to the Riverside County Planning Department verifying compliance with the conditions of their letter dated September 28, 2011.

TRANS DEPARTMENT

90.TRANS. 1                   USE - IMP PLANS                   RECOMMND

Improvement plans for the required improvements must be prepared and shall be based upon a design profile extending a minimum of 300 feet beyond the project boundaries at a grade and alignment as approved by the Riverside County Transportation Department. Completion of road improvements does not imply acceptance for maintenance by County.

90.TRANS. 5                   USE - SIGNING & STRIPING                   RECOMMND

A signing and striping plan is required for this project. The project proponent shall be responsible for any additional paving and/or striping removal caused by the striping plan. Traffic signing and striping shall be performed by County forces with all incurred costs borne by the applicant, unless otherwise approved by the County Traffic Engineer.

90.TRANS. 7                   USE - WRCOG TUMF                   RECOMMND

Prior to the issuance of an occupancy permit, the project proponent shall pay the Transportation Uniform Mitigation Fee (TUMF) in accordance with the fee schedule in effect at the time of issuance, pursuant to Ordinance No. 824.

90.TRANS. 8                   USE STREETLIGHT AUTHORIZATION                   RECOMMND

Prior to OCCUPANCY, the project proponent shall submit to Transportation Department Permits the following:

1. "Streetlight Authorization" form approved by L&LMD No. 89-1-C Administrator.
2. Letter establishing interim energy account from SCE, IID or other electric provider.

PLAN: TRANSMITTED Case #: PP23635

Parcel: 519-110-037

90. PRIOR TO BLDG FINAL INSPECTION

90.TRANS. 9 USE - STREETLIGHTS INSTALL

RECOMMND

Install streetlights along the streets associated with development in accordance with the approved street lighting plan and standards of County Ordinances 460 and 461. For projects within IID use IID's pole standard.

Streetlight annexation into L&LMD or similar mechanism as approved by the Transportation Department shall be completed.

It shall be the responsibility of the developer to ensure that streetlights are energized along the streets associated with this development where the developer is seeking Building Final Inspection (Occupancy).

90.TRANS. 10 USE - EXISTING CURB & GUTTER

RECOMMND

On existing curb and gutter, new driveways, closure of existing driveways, sidewalks and/or drainage devices within County right-of-way, including sewer and water laterals on Millard Pass Road and Seminole Drive shall be constructed within the dedicated right-of-way in accordance with County Standards, Ordinance 461, or as approved by the Transportation Department. Such construction shall be shown on existing street improvement plans and approved and permitted by the Transportation Department.

90.TRANS. 11 USE - UTILITY PLAN

RECOMMND

Electrical power, telephone, communication, street lighting, and cable television lines shall be designed to be placed underground in accordance with ordinance 460 and 461, or as approved by the Transportation Department. The applicant is responsible for coordinating the work with the serving utility company. This also applies to existing overhead lines which are 33.6 kilovolts or below along the project frontage and between the nearest poles offsite in each direction of the project site. A disposition note describing the above shall be reflected on design improvement plans whenever those plans are required. A written proof for initiating the design and/or application of the relocation issued by the utility company shall be submitted to the Transportation Department for verification purposes.

PLAN: TRANSMITTED Case #: PP23635

Parcel: 519-110-037

90. PRIOR TO BLDG FINAL INSPECTION

90.TRANS. 12 USE - UTILITY INSTALL RECOMMND

lectrical power, telephone, communication, street lighting, and cable television lines shall be placed underground in accordance with ordinance 460 and 461, or as approved by the Transportation Department. This also applies to existing overhead lines which are 33.6 kilovolts or below along the project frontage and between the nearest poles offsite in each direction of the project site.

A certificate should be obtained from the pertinent utility company and submitted to the Department of Transportation as proof of completion.

90.TRANS. 13 USE - LANDSCAPING COMM/IND RECOMMND

Landscaping within public road right-of-way shall comply with Transportation Department standards and Ordinance 461 and shall require approval by the Transportation Department. Landscaping shall be improved within Millard Pass Road and Seminole Drive.

Assurance of continuous maintenance is required by processing and filing a 'Landscape Maintenance Agreement' through the Transportation Department Plan Check Division; or if desired the developer may file an application for annexation into Landscaping and Lighting Maintenance District No. 89-1-Consolidated by contacting Judy Watterlund, Transportation Department at (951) 955-6829.

90.TRANS. 19 USE - TRAFFIC SIGNAL 2 RECOMMND

Prior to issuance of an occupancy permit the project proponent shall complete annexation to Landscaping and Lighting Maintenance District No. 89-1-Consolidated for maintenance of traffic signals within public road rights-of-way for the required traffic signal(s).

90.TRANS. 20 USE - CALTRANS 1 RECOMMND

The project proponent shall comply with the Caltrans recommendations as outlined in their letter dated \_\_\_\_\_.

90.TRANS. 22 USE - IMPROVEMENTS RECOMMND

Millard Pass Road along project boundary is a paved County maintained road and shall be improved with 8-inch concrete

Plot PLAN: TRANSMITTED Case #: PP23635

Parcel: 519-110-037

90. PRIOR TO BLDG FINAL INSPECTION

90.TRANS. 22 USE - IMPROVEMENTS (cont.) RECOMMND

curb and gutter located 38-feet from centerline (construction centerline) to flowline, and match up asphalt concrete paving including AC paving for the taper on the northerly project boundary as determined by the Transportation Department within the 60-foot half-width dedicated right-of-way in accordance with County Standard No. 93, pages 1 & 2. Modified (76'/100') Improvements shall meet the cross section "B-B" of exhibit shown on Plot Plan No. 23635 as approved by the Transportation Department.

A 6-foot wide concrete sidewalk shall be constructed curb adjacent within the 12-foot wide parkway.

90.TRANS. 23 USE - DRIVEWAYS RECOMMND

The driveway(s) shall be designed and constructed in accordance with County Standard No. 207A pages 1 & 2, and shall be located in accordance with Exhibit No. "A" for Plot Plan No. 23635.

90.TRANS. 24 USE - ANNEX L&LMD/OTHER DIST RECOMMND

Prior to issuance of an occupancy permit, the project proponent shall complete annexation to Landscaping and Lighting Maintenance District No. 89-1-Consolidated, and/or any other maintenance district approved by the Transportation Department for continuous maintenance within public road rights-of-way, in accordance with Ordinance 461. Said annexation should include the following:

- (1) Landscaping along Seminole Drive and Millard Pass.
- (2) Street lights on Seminole Drive and Millard Pass.
- (3) Traffic signals located at Seminole Drive and project east access, Entry Drive and Millard Pass.
- (4) Graffiti abatement of walls and other permanent structures along Seminole Drive and Millard Pass.

90.TRANS. 25 USE - TS/INSTALLATION RECOMMND

The project proponent shall be responsible for the design and construction of traffic signal(s) at the intersections of:

PLAN: TRANSMITTED Case #: PP23635

Parcel: 519-110-037

90. PRIOR TO BLDG FINAL INSPECTION

90.TRANS. 25 USE - TS/INSTALLATION (cont.)

RECOMMND

Signals not eligible for fee credit:

Entry Drive (NS) at Seminole Drive (EW)

Millard Pass (NS) at Seminole Drive (EW)

or as approved by the Transportation Department.

For improvements eligible for fee credit, the project proponent shall contact the Transportation Department and enter into an agreement for signal mitigation fee credit or reimbursement prior to start of construction of the signal.

All work shall be pre-approved by and shall comply with the requirements of the Transportation Department and the public contract code in order to be eligible for fee credit or reimbursement.

90.TRANS. 26 USE - TS/INTERCONNECT

RECOMMND

The project proponent shall be required to provide traffic signal interconnect between the traffic signal at Entry Drive (NS) at Seminole Drive (EW) to the signal at Project Main Access (NS) and Seminole Drive (EW) to the signal at Millard Pass (NS) and Seminole Drive (EW). The traffic signals at the three intersections shall be interconnected by the project proponent.

The project proponent shall be required to provide traffic signal interconnect between the traffic signal at Millard Pass (NS) and Seminole Drive (EW) and the pedestrian signal heads at the existing pedestrian crosswalk to the north on Millard Pass. The signal devices at the shall be interconnected and coordinated by the project proponent.

or as approved by the Transportation Department.

90.TRANS. 27 USE - VIDEO MONITORING

RECOMMND

Prior to the issuance of occupancy permits for 75% of the project building square footage, the project shall begin video monitoring of the northbound approach to the roundabout located at the I-10 eastbound off ramp and Apache Trail. Video monitoring will be conducted on weekends for a period of one year. Data shall be provided to the Traffic Engineering and Design section of the Transportation Department.

or as approved by the Transportation Department.

# Fast Track Authorization



RIVERSIDE COUNTY  
Economic Development Agency

Case No.: \_\_\_\_\_

FTA No. 2007-29

SUPERVISOR: Marion Ashley

SUPERVISORIAL DISTRICT: 5

Company/Developer: Chelsea Property Group, Inc Contact: Brad Stipe

Address: 27762 Vista Del Lago, Suite A-11, Mission Viejo, CA 92692

Phone: (949) 461-7195 Fax: (949) 461-5808 Email: bstipe@cpgi.com

Architectural Firm: Architects Orange Contact: Darrel Hebenstreit

Address: 144 North Orange Street, CA 92866

Phone: (714) 639-9860 Fax: (714) 639-5286 Email: darrelh@architectsorange.com

Engineering Firm: KCT Consultants Contact: Don J. Edison

Address: 4344 Latham Street, Riverside, CA 92501

Phone: (951) 341-8940 Fax: (951) 341-8945 Email: don@kctconsultants.com

Land Use Application(s):  General Plan Amendment  Conditional Use Permit  Change of Zone

Plot Plan  Parcel Map  Other \_\_\_\_\_

### Site Information:

Assessor's Parcel Number(s) 519-110-037

Cross Streets/Address 48800 Seminole Drive, Cabazon, CA 92230 Land Use Designation CR

Zoning C-P-S Site Acreage 39.46

Redevelopment Project Area/Sub-Area: Cabazon Sub-Area

### Project Information (Estimate Amounts):

Eligibility Criteria  Full Time Jobs  Capital Investment  Annual Taxable Sales  Board of Supervisors  Child Care  
 Workforce Housing  Other \_\_\_\_\_

Permanent Full-Time Jobs 400 Wages per Hour \$10-20 Construction Jobs 180

Capital Investment \$30,000,000 Taxable Sales \$33,500,000 Bldg Size 175,000

Project Type  Commercial  Industrial  Office  Residential  Other \_\_\_\_\_

Industrial Classification N/A Commercial Classification Outlet Center

### Project Description:

The expansion will add an additional 175,000 SF of retail space to the existing Desert Hills Premium Outlets.

The Economic Development Agency (EDA) hereby acknowledges that the above referenced development warrants special consideration relative to the permit processing as required by the County of Riverside, and encourages the affected County agencies to immediately institute "FAST TRACK" procedures to enable the project to proceed as soon as possible, in accordance with Board Fast Track Policy A-32. \*This Authorization contains preliminary project information and serves as a basis for determining "FAST TRACK" eligibility. During the county's development review process, the proposed project size and configuration may be altered.

Robin Zimpfer  
Robin Zimpfer, Assistant County Executive Director/EDA

10/2/07  
Date

PP23635 (FTA NO. 2007-29)		8/17/08	8/13/08
TRANSMITTAL DISTRIBUTION:			
COUNTY AGENCIES			
Building & Safety : Code Enforcement		✓	
Building & Safety : Grading		✓	
Building & Safety : Plan Check		✓	
Fire Protection		✓	
Flood Control : (CVWD) or <b>RIVCO</b>		✓	
Environmental Health (2)		✓	
Surveyor		✓	
Transportation (2)		✓	
Regional Park & Open-Space District		✓	
ADDITIONAL AGENCIES:			
Water Company: Cabazon Water District		✓	
Power Company: So. Calif. Edison		✓	
Gas Company: <del>Local</del> Chatsworth Both		✓	
Telephone Company: Verizon		✓	
CALTRANS #8 Yes		✓	
<del>Transportation - Flood Review</del> (3) C. Sheriff		✓	
City Sphere: Banning		✓	
School District: Banning Unified		✓	
GIS - DRAFTING (HEARING CASES): LINDA PHERIGO 1) GIS Cover Page 2) Transmittal 3) Copy of Application 4) Exhibit A (YES or NO)		✓	
Commissioner: (Porras - <del>Zuppardo</del> - Petty)		✓	
Board of Supervisors: (Wilson - Stone - <del>Ashley</del> )		✓	
<del>Supervisor - Wilson - Cover Page</del> City of Palm Springs		✓	
<del>Property Owner's Association</del> CA Highway Patrol		✓	
OTHERS: RIV. CO. Geology ✓			
RIV. CO. Archaeology ✓			
RIV. CO. E.D.A. Liza Larraga ✓			
Co. Trails Coordinator - J. Tolliffe ✓			
Morongo Indian Tribe ✓			
Co. Office of Industrial Hygiene ✓			
Co. Waste Management + Dept. ✓			
Co. Landscape Review Program ✓			
Co. EDA - Redevelopment Agency ✓			

was route

Bj:JU Bj:JU





Dedicated to delivering state-of-the-art occupational and environmental consultation to businesses, governmental agencies and communities of Riverside County

**Date:** September 28, 2011  
**To:** Wendell Bugtai  
Riverside County Planning Department  
4080 Lemon Street, 12<sup>th</sup> Floor  
Riverside, California 92502  
Fax: (951) 955-3157

**From:** Steven D. Hinde, REHS, CIH<sup>SA</sup>  
Senior Industrial Hygienist  
Department of Public Health  
Office of Industrial Hygiene  
P.O. BOX 7600  
Riverside, California 92513-7600  
Phone: (951) 358-5096



**Report Written by:** Steven D. Hinde, REHS, CIH  
Senior Industrial Hygienist

**Project Reviewed:** Plot Plan No. 23635, Amended No. 2 (Fast Tract No. 2007-29)

**Reference Number:** 96879

**Applicant:** Brad Stripe  
CHELSEAS PROPERTY GROUP, INC  
27762 Vista Del Lago, Ste. A-11  
Mission Viejo, CA 92692

**Noise Consultant:** Hans D. Giroux, Senior Analyst  
GIROUX & ASSOCIATES  
1820 E. Garry Street  
Santa Ana, CA 92705

**Review Stage:** First Review

**Information Provided:**

"Noise Impact Analysis Desert, Hills Premium Outlet Expansion, Riverside County, California" Project No.: P11-030 N dated August 17, 2011."

## **Noise Standards:**

### **For Stationary Noise Sources:**

#### **A. Standards:**

Facility-related noise, as projected to any portion of any surrounding property containing a "habitable dwelling, hospital, school, library or nursing home", must not exceed the following worst-case noise levels:

- a) 45 dB (A) – 10 minute noise equivalent level ("leq"), between the hours of 10:00 p.m. to 7:00 a.m. (nighttime standard).
- b) 65 dB (A) – 10 minute leq, between 7:00 a.m. and 10:00 p.m. (daytime standard).

#### **B. Requirement for Determination of Community Noise Impact:**

- a) Noise originating from operations within the facility grounds shall be treated as "stationary" noise sources for which this standard will apply.
- b) Noise Modeling Methodology: Noise predictions are to be made by an engineer, acoustical consultant or other similar professional with experience in predicting community noise exposure using standard methods and practices of the noise consulting industry.
- c) Required Modeling Parameters for Stationary Sources:
  - i. Stationary sources are to be modeled as "point" sources.
  - ii. Mobile point sources are to be modeled as emanating from the acoustical centroid of the activity, or at its closest approach to potentially impacted residential property lines, which ever yields the worst-case results.
  - iii. Noise modeling for each piece of acoustical equipment, process or activity must be based on Reference Noise Levels (RNL). RNL may be obtained directly from the manufacturer (in case of equipment) or generated from field studies. Regardless, the data must be representative of worst-case conditions. Directionality of the noise source must be taken into consideration if applicable.
  - iv. Predicted noise levels are to be expressed in terms of worst-case "equivalent continuous sound levels" [or, Leq] averaged over a ten minute period.

- v. For modeling purposes, receivers are assumed to be positioned at the property line boundary at an elevation of five feet off the ground.
- vi. Terrain conditions for modeling noise propagation: Assumptions regarding ground effects, atmospheric absorption and other forms of noise attenuation must be fully justified.

### **Findings:**

The consultant's report is adequate. Based on our calculations the recommendations listed below should provide sufficient attenuation to reduce the exterior noise levels to below 65 dB (A) during the day and 45 dB (A) at night. Project-related off-site traffic noise changes on existing streets are less than significant.

### **Recommendations:**

The following conditions shall be applied to the project based on the information provided by the acoustical consultant:

1. Facility-related noise, as projected to any portion of any surrounding property containing a "sensitive receiver, habitable dwelling, hospital, school, library or nursing home", must not exceed the following worst-case noise levels 45 dB(A) – 10 minute noise equivalent level ("leq"), between the hours of 10:00 p.m. to 7:00 a.m. (nighttime standard) and 65 dB (A) – 10 minute leq, between 7:00 a.m. and 10:00 p. m. (daytime standard).
2. Whenever a construction site is within one-quarter (1/4) of a mile of an occupied residence or residences, no construction activities shall be undertaken between the hours of 6:00 p.m. and 6:00 a.m. during the months of June through September and between the hours of 6:00 p.m. and 7:00 a.m. during the months of October through May. Exceptions to these standards shall be allowed only with the written consent of the building official.
3. All construction vehicles, equipment fixed or mobile shall be equipped with properly operating and maintained mufflers.
4. During construction, best efforts should be made to locate stockpiling and/or vehicle staging area as far as practicable from existing residential dwellings to the east of the site.

**RECEIVED**

SEP 18 2008



**Cabazon Station**

50290 Main Street, Cabazon, Ca 92230 (951) 922-7100

Riverside County  
Planning Department  
Desert Office

**To:** Ron Goldman, Planning Director **Date:** 9/15/08  
**From:** Captain Edward Harvey  
**Ref:** Staffing Projection for Desert Hills Premium Outlets Expansion

**SYNOPSIS OF STAFFING RECOMMENDATION**

Chelsea Property Group, Incorporated, has requested "fast track authorization" from the County of Riverside to add additional retail outlets and a four-level parking structure to the Desert Hills Premium Outlets located at 48650 Seminole, Cabazon. The request is to add approximately 202,000 square feet of retail businesses and an additional 1000 parking stalls to the existing mall. Although it is uncertain at this point as to what actual retail businesses will become part of this complex, initial plan review reflects the new businesses will be small to medium size retail specialty shops similar to those already in existence. Additional businesses may include food court type restaurants, however, there will be no theaters, large scale box buildings, or businesses with on-site alcohol consumption.

Desert Hills Premium Outlets has maintained continued growth since it was first opened in 1990. It continues to be a popular shopping destination and tourist attraction because of its shopping uniqueness and the malls proximity to Casino Morongo and the city of Palm Springs. Holiday weekends easily increase the Desert Hills Premium Outlets' population to 25,000+ shoppers per day. The proposed addition of 202,000 square feet of retail shops requires that the Riverside County Sheriff's Department review the proposal to insure that the Desert Hills Premium Outlets remains a safe retail environment. The additional retail services requires an increase in the presence of Sheriff's deputies.

**SUPPORTING DATA**

Cabazon Station Sergeant Baeckel met with Kathy Frederiksen, general manager of the Desert Hills Premium Outlets. Ms. Frederiksen said when the outlets opened in 1990, their one complex located at 48650 Seminole Road had approximately 200,000 square feet of small to medium retail businesses. In 1995, the outlets expanded by adding a second complex located next door at 48400 Seminole Road. This added an additional 175,000 square feet of small to medium retail businesses, for a total complex size of approximately 375,000 square feet of retail businesses.

As a result of the 1995 expansion of the Desert Hills Premium Outlets, a determination was made that the tax revenue generated by the mall supported additional Sheriff's Department infrastructure. The Sheriff's Cabazon Station received two additional deputy sheriff positions. This increase of sheriff's personnel and equipment assisted in offsetting increased calls for service.

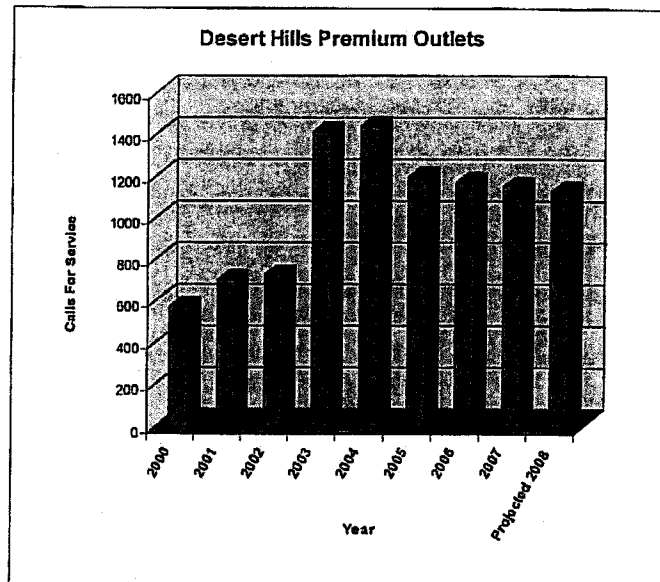
In 1997, 1998, and 2002, Desert Hills Premium Outlets again continued its expansion by adding additional retail shops. Today, there is approximately 500,000 square feet of retail businesses at the Desert Hills Premium Outlets. No additional law enforcement infrastructure was provided as a result of the expansion of the retail complex in these years.

Chelsea Property Group, Incorporated, intends to build an additional 188,853 square feet of gross leasable retail space with an approximate 202,083 square feet gross overall building area. This will increase the Desert Hills Premium Outlets' overall total gross building area to approximately 717,000 square feet. The Sheriff's Department anticipates additional demands upon existing resources.

The Sheriff's Criminal Analysis Unit researched available statistical call for service data for the Desert Hills Premium Outlets. Statistical data indicates a continuing trend of increased calls for service at the Desert Hills Premium Outlets. This data is reflected in the graph to the right.

Historical statistics are not available prior to 1999, making response comparisons difficult from the mall's inception in 1990.

In 2000, five years after Sheriff's Department staffing was supplemented with two additional deputies, calls for service data at the Desert Hills Premium Outlets reflected 573 file numbers generated. Subsequent years also reflect increased service demands cumulating with a total of 1151 file numbers generated during 2007.



Statistically the increase is significant as it related to providing baseline law enforcement services. Based on data to date, it is projected that the Desert Hills Premium Outlets will generate approximately 1126 calls for service in 2008, and this is prior to any retail building additions by the Chelsea Property Group.

## **RECOMMENDATIONS**

The addition of the 202,000 square feet of proposed additional retail businesses at the Desert Hills Premium Outlets combined with the addition of a four-level parking structure, the Riverside Sheriff's Department makes the following recommendation. In order to maintain the current level of service based on retail expansion and resulting site population growth, it will be necessary to increase the Sheriff's staffing levels.

It is the our recommendation that the "Fast Track" process for expansion of the Desert Hills Premium Outlet Mall to a total of 717,000 square feet be contingent on agreement of increased law enforcement staffing.

### **Minimum Projected Staffing Increase – 2.03 deputies**

The Sheriff's Department recommends providing on-site law enforcement services. This proposal is for additional deputies covering 10 hours per day, 362 days per year. At the 1780 productive hour ratio, the result is an addition of 2.03 deputies. The complex is closed on Thanksgiving, Christmas, and New Years holidays. Negotiations for store front offices and associated items should be included in the proposed staffing increase.



## FORMAL COMMENT LETTER

**TO:** Wendell Bugtai, Planning Department  
CC: Tim Miller, Charles Waltman, Rebecca Tsagris, Andy Frost, Jaime Hurtado, Steven Hernandez

**FROM:** **Office of Land Development Review**  
Brenda Freeman, Senior Development Specialist  
Nicole Walker, Development Specialist

**DATE:** January 11, 2012

**SUBJECT:** **COMPREHENSIVE PLANNING REVIEW**  
Comments

**Case:** PP23635 [Addition of 175,000 sq. ft. additional retail space – Simon Property Group Cabazon]

**Site Visit:** September 10, 2008/September 13, 2011

---

### PROJECT DESCRIPTION AND LOCATION:

Plot Plan 23635 proposes to construct an additional 175,000 sq. ft. of retail space to an existing commercial center in the community of Cabazon. The project site consists of 38.48 acres located at the northwestern corner of Millard Pass and Seminole Drive. Currently, there are multiple structures and a parking lot on the project site. The zoning classification for the project site is Scenic Highway Commercial (C-P-S) and the land use designation is Commercial Retail (CD: CR). Surrounding land uses include vacant land to the north, a commercial center to the west, and a commercial center and single-family residences to the east. Concurrent planning case(s) include Fast Track No. 2007-29.

### REDEVELOPMENT PROJECT AREA(S):

The proposed project is located in the Mid-County Project Area (MCPA: Cabazon sub-area).

### REDEVELOPMENT AGENCY COMMENTS:

The mission of the Redevelopment Agency is to eliminate present blight and prevent the potential for future blight in and ultimately add value to, all redevelopment project areas by recommending approval of projects that meet the highest standards of quality possible. This is of particular concern in the Cabazon sub-area where blighting conditions are still present. In addition, it is of absolute importance that all new development in the sub-area be designed to upgrade the aesthetics of the surrounding area and minimize the potential for environmental degradation and issues relating to the health, safety and welfare of the public.

P.O. Box 1180 • Riverside, California • 92502 • T: 951.955.8916 • F: 951.955.6686

[www.riversideeda.org](http://www.riversideeda.org)

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Economic Development  
Edward-Dean Museum  
Environmental Planning  
Fair & National Date Festival  
Foreign Trade  
Graffiti Abatement

Parking  
Project Management  
Purchasing Group  
Real Property  
Redevelopment Agency  
Workforce Development

Comprehensive Planning Review Comments

Re: Plot Plan 23635

January 11, 2012

Page 2

The proposed project is attractive and the applicant has put a lot of effort into the aesthetics of the proposed structures and landscaping.

The applicant has addressed the concerns raised by the Cabazon Municipal Advisory Council regarding the placement of passenger loading zones along the proposed structures and these will be included in the new design as stated by the applicant.

The Economic Development Agency (EDA) encourages other county departments to move this project forward in a timely manner as the jobs are much needed in the community of Cabazon.

The RDA has no further comments or concerns regarding the proposed project at this time.





# City of Banning

99 E. Ramsey Street · P.O. Box 998 · Banning, CA 92220-0998 · (951) 922-3125 · Fax (951) 922-3128

## COMMUNITY DEVELOPMENT DEPARTMENT

September 18, 2008

Ron Goldman, Planning Director  
Planning Department  
Transportation and Land Management Agency  
County of Riverside  
38686 El Cerrito Road  
Palm Desert, CA 92211

Attn.: Maurice Borrows, Project Planner

**Subject: Fast Track Plot Plan No. 23635 – (FTA No. 2007-29) EA No. 42013  
Expansion Desert Hills Premium Outlets**

Dear Mr. Goldman:

We are in receipt of the plot plan dated July 31, 2008, for the project referenced above and are pleased to have the opportunity to provide comments.

First, we certainly appreciate, and are supportive of, a project that provides for economic development adjacent to the City of Banning. However, it is noted that the 31 acre site is located within 2.5 miles of the Hargrave Street/I-10 interchange and east Ramsey Street. Recent traffic analysis revealed that this interchange and adjacent intersection of Ramsey Street/Hargrave Street are operating at capacity for the level of service standards established by the City's adopted General Plan (see enclosed copy p. 26 KOA TIA). Since we were not able to review the traffic impact analysis for the project, we are concerned that development could potentially cause an adverse impact at these intersections. If you would like to discuss this project, please do not hesitate to contact me.

Regards,

  
George Hansen  
Community Development Director

encl.

## Existing Conditions (Year 2008)

## 3.2 Peak Hour Intersection Level of Service

Figure 4 illustrates the existing peak hour traffic volumes during the AM peak hour. Figure 5 illustrates the PM peak hour volumes. Table 2 summarizes the results of the level-of-service analysis for the existing conditions.

Table 3 - Peak Hour Intersection Performance for Existing (Year 2008) Conditions

Intersection	AM Peak Hour				PM Peak Hour			
	Delay (sec)		Level of Service		Delay (sec)		Level of Service	
	Average	Poorest Movement	Average	Poorest Movement	Average	Poorest Movement	Average	Poorest Movement
<b>Unsignalized Intersection</b>								
Morongo Rd. at Hathaway St.	7.7	N/A	A	N/A	7.8	N/A	A	N/A
George St. at Hathaway St.	0.9	10.2	A	B	1.1	10.3	A	B
Nicolet St. at Hathaway St.	0.8	9.5	A	A	0.7	9.3	A	A
Williams St. at Hathaway St.	0.9	9.3	A	A	0.4	9.5	A	A
Ramsey St. at Hathaway St.	5.2	10.1	A	B	4.3	9.8	A	A
Nicolet St. at Hargrave St.	11.2	N/A	B	N/A	9.8	N/A	A	N/A
Williams St. at Hargrave St.	2.1	16.1	A	C	2.5	12.9	A	B
Hargrave St. at I-10 WB Ramps	1.7	13.8	A	B	2.7	14.4	A	B
Hargrave St. at I-10 EB Ramps	12.2	23.8	B	C	6.7	15.4	A	C
<b>Signalized Intersections</b>								
	Average		Level of Service		Average		Level of Service	
Ramsey St. at Hargrave St.	29.2		C		32.8		C	
Ramsey St. at 8 <sup>th</sup> St.	32.4		C		35.2		D	

Note: Delay based on seconds per vehicle average.

As shown in Table 3, all of the intersections currently operate within the level of service standards of the City and Caltrans. Level of Service D for City intersections and Level of Service E or better for freeway ramp terminals during AM and PM peak hours.

Appendix C contains the analysis worksheets for existing (Year 2008) conditions.

February 24, 2012

Mr. Majeed Farshad  
County of Riverside  
Transportation Department  
Development Review  
38686 El Cerrito Rd.  
Palm Desert, CA 92211

Re: Plot Plan Case PP23635  
Desert Hills Premium Outlets

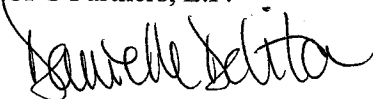
Dear Mr. Farshad:

Per your request, CPG Partners, L.P. ("Owner") is providing this letter as the Applicant and Owner of Desert Hills Premium Outlets, APN 519-110-032, 037, 038 and 040, in the Cabazon area of Riverside County. The project case is Plot Plan PP23635 and is currently being processed for Board of Supervisors' Hearing approval to be held on February 28, 2012. Owner agrees to maintain the proposed sewer laterals from the existing sewer trunk main (Trunk Line) in Seminole Road, owned by the Morongo Band of Mission Indians (Tribe) to the Riverside County Road Right of Way of Seminole Road and Millard Pass Road as shown on the Sewer Improvement Plans prepared by KCT Consultants, Inc, file no. 1006-09, subject to the following:

1. Any maintenance of the above mentioned laterals will be done subject to approval and inspection by the Tribe and under an approved encroachment Permit issued by the Riverside County Department of Transportation.
2. The laterals mentioned above are owned by and for the exclusive use of the Owner, its tenants and other occupants, their successors and assigns and cannot be used by any other property or entity.

We trust this letter will satisfy your concerns. Please let us know if you have any questions or require additional information.

Very truly yours,  
CPG Partners, L.P.



Danielle De Vita  
Vice President - Development

cc: Wendell Bugtai  
Don Edison

**COUNTY OF RIVERSIDE**  
**TRANSPORTATION AND LAND MANAGEMENT AGENCY**  
**Planning Department**  
*Ron Goldman · Planning Director*

**APPLICATION FOR LAND USE AND DEVELOPMENT**

CHECK ONE AS APPROPRIATE:

- PLOT PLAN                       CONDITIONAL USE PERMIT     TEMPORARY USE PERMIT  
 REVISED PERMIT                 PUBLIC USE PERMIT             VARIANCE

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED.

CASE NUMBER: PP 23635                      DATE SUBMITTED: 8/1/08

**APPLICATION INFORMATION**

Applicant's Name: Chelsea Property Group, Inc                      E-Mail: bstipe@cpgi.com

Mailing Address: 27762 Vista Del Lago, Suite A-11  
Mission Viejo                      CA                      92692  
City                                      State                                      ZIP

Daytime Phone No: ( 949 ) 461-7195                      Fax No: ( 949 ) 461-5808

Engineer/Representative's Name: KCT Consultants, Inc.                      E-Mail: deborah@kctconsultants.

Mailing Address: 4344 Latham Street, Suite 200  
Riverside                      CA                      92501  
City                                      State                                      ZIP

Daytime Phone No: ( 951 ) 341-8940                      Fax No: ( 951 ) 341-8945

Property Owner's Name: Chelsea Property Group, Inc                      E-Mail: bstipe@cpgi.com

Mailing Address: 27762 Vista Del Lago, Suite A-11  
Mission Viejo                      CA                      92692  
City                                      State                                      ZIP

Daytime Phone No: ( 949 ) 461-7195                      Fax No: ( 949 ) 461-5808

If the property is owned by more than one person, attach a separate page that reference the application case number and lists the names, mailing addresses, and phone numbers of all persons having an interest in the real property or properties involved in this application.

The Planning Department will primarily direct communications regarding this application to the person identified above as the Applicant. The Applicant may be the property owner, representative, or other assigned agent.

**APPLICATION FOR LAND USE AND DEVELOPMENT**

**AUTHORIZATION FOR CONCURRENT FEE TRANSFER**

The signature below authorizes the Planning Department and TLMA to expedite the refund and billing process by transferring monies among concurrent applications to cover processing costs as necessary. Fees collected in excess of the actual cost of providing specific services will be refunded. If additional funds are needed to complete the processing of your application, you will be billed, and processing of the application will cease until the outstanding balance is paid and sufficient funds are available to continue the processing of the application. The applicant understands the deposit fee process as described above, and that there will be NO refund of fees which have been expended as part of the application review or other related activities or services, even if the application is withdrawn or the application is ultimately denied.

All signatures must be originals ("wet-signed"). Photocopies of signatures are **not** acceptable.

Kim Becker Director Development Services  
PRINTED NAME OF APPLICANT

[Signature]  
SIGNATURE OF APPLICANT

**AUTHORITY FOR THIS APPLICATION IS HEREBY GIVEN:**

I certify that I am/we are the record owner(s) or authorized agent and that the information filed is true and correct to the best of my knowledge. An authorized agent must submit a letter from the owner(s) indicating authority to sign the application on the owner's behalf.

All signatures must be originals ("wet-signed"). Photocopies of signatures are **not** acceptable.

Kim Becker Director Development Services  
PRINTED NAME OF PROPERTY OWNER(S)

[Signature]  
SIGNATURE OF PROPERTY OWNER(S)

\_\_\_\_\_  
PRINTED NAME OF PROPERTY OWNER(S)

\_\_\_\_\_  
SIGNATURE OF PROPERTY OWNER(S)

If the property is owned by more than one person, attach a separate sheet that references the application case number and lists the printed names and signatures of all persons having an interest in the property.

See attached sheet(s) for other property owners signatures.

**PROPERTY INFORMATION:**

Assessor's Parcel Number(s): 519-110-037

Section: 7 Township: 3 south Range: 2 east

Approximate Gross Acreage: 39.46

General location (nearby or cross streets): North of Seminole Drive, South of Martin Road, East of Johnson Lane, West of Millard Pass

Thomas Brothers map, edition year, page number, and coordinates: 722 J - 2 & 3

**PROPERTY OWNERS CERTIFICATION FORM**

I, VINNIE NGUYEN, certify that on 1/19/2012,

The attached property owners list was prepared by Riverside County GIS,

APN (s) or case numbers PP 23635 For

Company or Individual's Name Planning Department,

Distance buffered 600'.

Pursuant to application requirements furnished by the Riverside County Planning Department, Said list is a complete and true compilation of the owners of the subject property and all other property owners within 600 feet of the property involved, or if that area yields less than 25 different owners, all property owners within a notification area expanded to yield a minimum of 25 different owners, to a maximum notification area of 2,400 feet from the project boundaries, based upon the latest equalized assessment rolls. If the project is a subdivision with identified off-site access/improvements, said list includes a complete and true compilation of the names and mailing addresses of the owners of all property that is adjacent to the proposed off-site improvement/alignment.

I further certify that the information filed is true and correct to the best of my knowledge. I understand that incorrect or incomplete information may be grounds for rejection or denial of the application.

NAME: Vinnie Nguyen

TITLE GIS Analyst

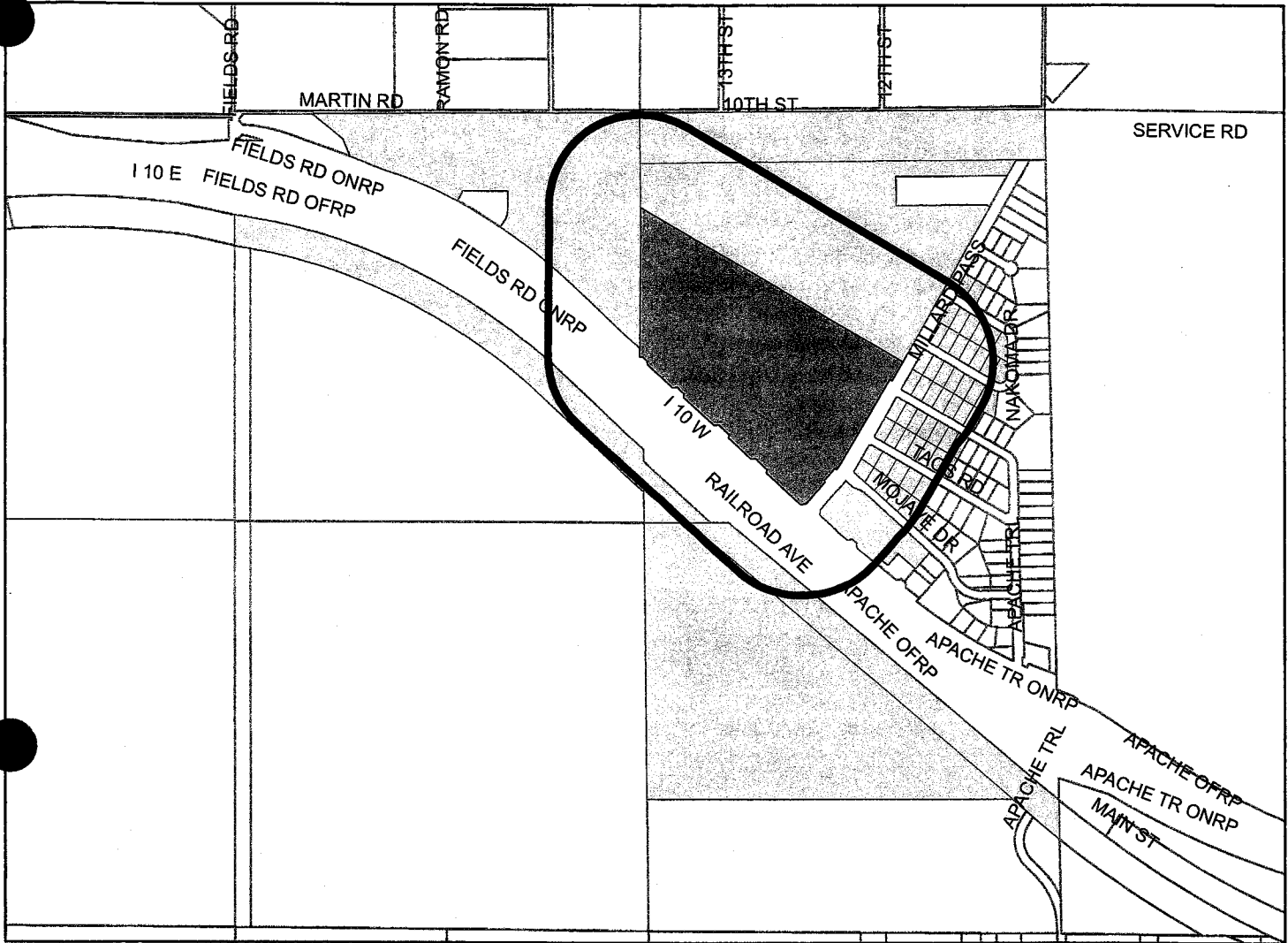
ADDRESS: 4080 Lemon Street 2<sup>nd</sup> Floor

Riverside, Ca. 92502

TELEPHONE NUMBER (8 a.m. - 5 p.m.): (951) 955-8158

✓ *Vinnie C*  
*exp 7.19.12*

## 600 feet buffer



### Selected Parcels

519-132-010	519-132-006	519-131-016	519-132-008	519-131-011	519-141-034	519-131-015	519-142-011	519-122-001	519-122-002
519-122-003	519-122-004	519-122-005	519-122-006	519-131-003	519-110-037	519-110-038	519-110-040	519-122-007	519-132-016
519-142-013	519-142-009	519-132-015	519-142-005	519-142-010	519-142-003	519-132-019	519-132-012	519-132-018	519-132-017
519-131-013	519-142-007	519-142-008	519-132-013	519-110-011	519-170-007	519-132-007	519-132-009	519-132-011	519-122-008
519-122-009	519-122-010	519-122-011	519-122-013	519-131-004	519-131-005	519-131-006	519-131-007	519-131-009	519-132-014
519-131-010	519-122-012	519-131-012	519-142-004	519-131-014	519-110-016	519-110-017	519-170-008	519-142-012	519-142-006
519-121-014	519-121-015	519-131-008							



1,000 500 0 1,000 Feet

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ASMT: 519110016, APN: 519110016  
SOUTHERN CALIFORNIA GAS CO  
C/O TAX DEPT  
101 ASH ST NO HW07  
SAN DIEGO CA 92101

ASMT: 519131003, APN: 519131003  
CHARTER MANAGEMENT SYSTEMS INC  
P O BOX 697  
BANNING CA 92220

ASMT: 519110038, APN: 519110038  
CHELSEA GCA REALTY PARTNERSHIP  
C/O SIMON PROP GROUP  
P O BOX 6120  
INDIANAPOLIS IN 46206

ASMT: 519131008, APN: 519131008  
ZAIDA DIAZ  
P O BOX 799  
CABAZON CA 92230

ASMT: 519110040, APN: 519110040  
CHELSEA GCA REALTY PARTNERSHIP  
3001 S CRODDY WAY  
SANTA ANA CA 92704

ASMT: 519131009, APN: 519131009  
RES CAL ONE  
C/O DORIS GALCZAK  
700 NW 107TH AVE STE 200  
MIAMI FL 33172

ASMT: 519121015, APN: 519121015  
ERIKA HEYWOOD, ETAL  
67632 S NATOMA  
CATHEDRAL CY CA 92234

ASMT: 519131010, APN: 519131010  
ROBERT STMARIE  
P O BOX 559  
CABAZON CA 92230

ASMT: 519122007, APN: 519122007  
CYNTHIA ROMBERG, ETAL  
P O BOX 2038  
SOLDOTNA AK 99669

ASMT: 519131011, APN: 519131011  
BO KWON  
553 SOUTH ST NO 209  
GLENDALE CA 91202

ASMT: 519122010, APN: 519122010  
RES CAL ONE  
C/O DORIS GALCZAK  
26231 FIR AVE  
MORENO VALLEY CA 92555

ASMT: 519131012, APN: 519131012  
SILVIA RODRIGUEZ, ETAL  
13361 APACHE TR  
CABAZON, CA. 92230

ASMT: 519122012, APN: 519122012  
ROBERTO HERNANDEZ  
11 W REDLANDS BLV STE C  
REDLANDS CA 92373

ASMT: 519131013, APN: 519131013  
MARK MRAZ  
P O BOX 1514  
RANCHO MIRAGE CA 92270





ASMT: 519131014, APN: 519131014  
SOON YANG  
601 PALM DR NO 215  
GLENDALE CA 91202

ASMT: 519132012, APN: 519132012  
LILY WATAK DAVIS  
48796 TAOS RD  
CABAZON, CA. 92230

ASMT: 519131015, APN: 519131015  
ROSA FONSECA, ETAL  
13385 APACHE TR  
CABAZON, CA. 92230

ASMT: 519132013, APN: 519132013  
DIANE NORMAN, ETAL  
13344 APACHE TR  
CABAZON CA 92230

ASMT: 519131016, APN: 519131016  
ROSARIO FONSECA, ETAL  
13393 APACHE TR  
CABAZON, CA. 92230

ASMT: 519132014, APN: 519132014  
RICHARD ESPINOZA  
13350 APACHE TR  
CABAZON, CA. 92230

ASMT: 519132006, APN: 519132006  
ANITA BEARBOWER  
P O BOX 224  
CABAZON CA 92230

ASMT: 519132015, APN: 519132015  
JESSE SLUDER  
351 SOUTH K ST  
OXNARD CA 93030

ASMT: 519132008, APN: 519132008  
TIAN HE, ETAL  
48852 TAOS RD  
CABAZON, CA. 92230

ASMT: 519132016, APN: 519132016  
DONNA THOMAS  
22530 COUNTRY CREST DR  
MORENO VALLEY CA 92557

ASMT: 519132010, APN: 519132010  
LASHUNDA SMITH, ETAL  
48828 TAOS RD  
CABAZON, CA. 92230

ASMT: 519132017, APN: 519132017  
LUIS QUIROZ  
13374 APACHE TR  
CABAZON CA 92230

ASMT: 519132011, APN: 519132011  
BETTY LOVE, ETAL  
951 S 12TH ST  
BANNING CA 92220

ASMT: 519132018, APN: 519132018  
LUCY SANCHEZ  
P O BOX 237  
CABAZON CA 92230

ASMT: 519132019, APN: 519132019  
MARLENE POWELL, ETAL  
11737 MCCONNEL CT  
YUCAIPA CA 92399

ASMT: 519142008, APN: 519142008  
MICHAEL SHIRLEY  
P O BOX 890626  
TEMECULA CA 92589

ASMT: 519141034, APN: 519141034  
CABAZON CO STORES  
1500 QUAIL ST STE 100  
NEWPORT BEACH CA 92660

ASMT: 519142009, APN: 519142009  
MARIA ALVAREZ, ETAL  
14944 BROADWAY  
CABAZON CA 92230

ASMT: 519142003, APN: 519142003  
JOYCE COSENTINO  
48885 TAOS RD  
CABAZON CA 92230

ASMT: 519142010, APN: 519142010  
JEWEL SMITH  
10891 MARIAN DR  
GARDEN GROVE CA 92840

ASMT: 519142004, APN: 519142004  
SMITH CHOI  
1805 S 2ND ST # A  
ALHAMBRA CA 91801

ASMT: 519142011, APN: 519142011  
CHARLES FLOOD  
48812 MOJAVE DR  
BANNING, CA. 92220

ASMT: 519142005, APN: 519142005  
JEWEL SMITH  
10891 MARIAN  
GARDEN GROVE CA 92640

ASMT: 519142012, APN: 519142012  
STEVEN CRAIG  
1 OCEAN CREST  
NEWPORT COAST CA 92657

ASMT: 519142006, APN: 519142006  
THOMAS RITCHIE  
32876 MARIE DR  
LAKE ELSINORE CA 92590

ASMT: 519142013, APN: 519142013  
FEDERAL NATL MORTGAGE ASSN  
C/O IBM LENDER BUSINESS PROCESS SERVIC  
14523 SW MILLIKAN STE 200  
BEAVERTON OR 97005

ASMT: 519142007, APN: 519142007  
MARY BEEDON  
C/O AMALIA CALDERONE  
16646 MONTEGO WAY  
TUSTIN CA 92780

ASMT: 519170007, APN: 519170007  
R R M PROP LTD  
P O BOX 3600  
CORONA CA 92878



ASMT: 519170008, APN: 519170008  
SOUTHERN PACIFIC TRANSPORTATION CO  
SOUTHERN PACIFIC TRANSPORTATION CO  
1700 FARNAM ST 10TH FL S  
OMAHA NE 68102

ATTN: Elias Jouen  
Banning Unified School District  
161 W. Williams St.  
Banning, CA 92220-4796

ATTN: Rick Hall  
Cabazon County Water District  
50-256 Main St.  
P.O. Box 297  
Cabazon, CA 92230-3200

ATTN: Dan Kopulsky  
CALTRANS District #8  
464 W. 4th St., 6th Floor  
Mail Stop 725  
San Bernardino, CA 92401-1400

ATTN: Community Development Director  
Community Development,  
City of Banning  
P.O. Box 998  
Banning, CA 92220-0090

ATTN: Planning Director  
Planning Division, City of Palm Springs  
P.O. Box 2743  
Palm Springs, CA 92263

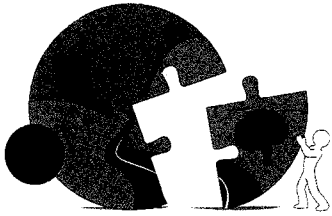
Southern California Edison  
2244 Walnut Grove Ave., Rm 312  
P.O. Box 600  
Rosemead, CA 91770

Verizon Engineering  
9 South 4th St.,  
Redlands, CA 92373

Applicant  
Simon Prop Grp  
105 Eisenhower Pkwy  
Roseland, New Jersey 07068

Owner  
Chelsea CGA Realty Partner.  
48650 Seminole Dr.  
Cabazon, CA 92230

Engineer  
KCT Consultants  
4344 Latham St. Ste 200  
Riverside, CA 92501



# RIVERSIDE COUNTY PLANNING DEPARTMENT

**Carolyn Syms Luna**  
*Director*

**TO:**  Office of Planning and Research (OPR)  
P.O. Box 3044  
Sacramento, CA 95812-3044  
 County of Riverside County Clerk

**FROM:** Riverside County Planning Department  
 4080 Lemon Street, 12th Floor  
P. O. Box 1409  
Riverside, CA 92502-1409

38686 El Cerrito Road  
Palm Desert, California 92211

**SUBJECT: Filing of Notice of Determination in compliance with Section 21152 of the California Public Resources Code.**

**PP23635 / EA42013 / CFG 5362**

*Project Title/Case Numbers*

**Wendell Bugtai**  
*County Contact Person*

**951-955-2419**  
*Phone Number*

**N/A**  
*State Clearinghouse Number (if submitted to the State Clearinghouse)*

**Simon Property Group**  
*Project Applicant*

**105 Eisenhower Parkway, Roseland, New Jersey 07068**  
*Address*

**PLOT PLAN NO. 23635 proposes to add 158,492 square feet of retail space and 872 parking spaces to an existing outlet center located in Cabazon.**  
*Project Location*

**Project is located northerly of Seminole Drive, southerly of Martin Road, easterly of Johnson Lane, westerly of Millard Pass.**  
*Project Description*

This is to advise that the Riverside County Board of Supervisors, as the lead agency, has approved the above-referenced project on February 28, 2012, and has made the following determinations regarding that project:

1. The project WILL NOT have a significant effect on the environment.
2. A Mitigated Negative Declaration was prepared for the project pursuant to the provisions of the California Environmental Quality Act (\$2,101.50 + \$64.00).
3. Mitigation measures WERE made a condition of the approval of the project.
4. A Mitigation Monitoring and Reporting Plan/Program WAS adopted.
5. A statement of Overriding Considerations WAS NOT adopted for the project.

This is to certify that the Mitigated Negative Declaration, with comments, responses, and record of project approval is available to the general public at: Riverside County Planning Department, 4080 Lemon Street, 12th Floor, Riverside, CA 92501.

\_\_\_\_\_  
*Signature*

\_\_\_\_\_  
*Title*

\_\_\_\_\_  
*Date*

Date Received for Filing and Posting at OPR: \_\_\_\_\_

DM/rj  
Revised 8/25/2009  
Y:\Planning Master Forms\CEQA Forms\NOD Form.doc

Please charge deposit fee case#: ZEA42013 ZCFG 5362

**FOR COUNTY CLERK'S USE ONLY**

COUNTY OF RIVERSIDE  
SPECIALIZED DEPARTMENT RECEIPT  
Permit Assistance Center

J\* REPRINTED \* R0808000

4080 Lemon Street  
Second Floor  
Riverside, CA 92502  
(951) 955-3200

39493 Los Alamos Road  
Suite A  
Murrieta, CA 92563  
(951) 694-5242

38686 El Cerrito Rd  
Indio, CA 92211  
(760) 863-8271

\*\*\*\*\*  
\*\*\*\*\*

Received from: CHELSEA PROPERTY GROUP, INC \$64.00  
paid by: CK 84157  
CALIFORNIA FISH & GAME FOR EA42013 (PP23635)  
paid towards: CFG05362 CALIF FISH & GAME: DOC FEE  
at parcel: 48650 SEMINOLE DR CABA  
appl type: CFG3

By \_\_\_\_\_ Aug 01, 2008 11:40  
MBRASWEL posting date Aug 01, 2008

\*\*\*\*\*  
\*\*\*\*\*

Account Code	Description	Amount
658353120100208100	CF&G TRUST: RECORD FEES	\$64.00

Overpayments of less than \$5.00 will not be refunded!

COUNTY OF RIVERSIDE  
SPECIALIZED DEPARTMENT RECEIPT  
Permit Assistance Center

J\* REPRINTED \* R0810860

4080 Lemon Street  
Second Floor  
Riverside, CA 92502  
(951) 955-3200

39493 Los Alamos Road  
Suite A  
Murrieta, CA 92563  
(951) 694-5242

38686 El Cerrito Rd  
Indio, CA 92211  
(760) 863-8271

\*\*\*\*\*  
\*\*\*\*\*

Received from: CHELSEA PROPERTY GROUP, INC \$1,876.75  
paid by: CK 78535000  
CALIFORNIA FISH & GAME FOR EA42013 (PP23635)  
paid towards: CFG05362 CALIF FISH & GAME: DOC FEE  
at parcel: 48650 SEMINOLE DR CABA  
appl type: CFG3

By \_\_\_\_\_ Oct 07, 2008 10:17  
DOKEITH posting date Oct 07, 2008

\*\*\*\*\*  
\*\*\*\*\*

Account Code	Description	Amount
658353120100208100	CF&G TRUST	\$1,876.75

Overpayments of less than \$5.00 will not be refunded!

COUNTY OF RIVERSIDE  
SPECIALIZED DEPARTMENT RECEIPT  
Permit Assistance Center

J\* REPRINTED \* R1200421

4080 Lemon Street  
Second Floor  
Riverside, CA 92502  
(951) 955-3200

39493 Los Alamos Road  
Suite A  
Murrieta, CA 92563  
(951) 694-5242

38686 El Cerrito Rd  
Indio, CA 92211  
(760) 863-8271

\*\*\*\*\*  
\*\*\*\*\*

Received from: CHELSEA PROPERTY GROUP, INC \$57.50  
paid by: CK 15098  
CALIFORNIA FISH & GAME FOR EA42013 (PP23635)  
paid towards: CFG05362 CALIF FISH & GAME: DOC FEE  
at parcel: 48650 SEMINOLE DR CABA  
appl type: CFG3

By \_\_\_\_\_ Jan 23, 2012 10:26  
GLKING posting date Jan 23, 2012

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\*\*\*\*\*

Account Code	Description	Amount
110658353120100208100	CF&G TRUST	\$57.50

Overpayments of less than \$5.00 will not be refunded!



\* VOID \* COUNTY OF RIVERSIDE  
SPECIALIZED DEPARTMENT RECEIPT  
Permit Assistance Center

J\* REPRINTED \* R1107035

4080 Lemon Street  
Second Floor  
Riverside, CA 92502  
(951) 955-3200

39493 Los Alamos Road  
Suite A  
Murrieta, CA 92563  
(951) 694-5242

38686 El Cerrito Rd  
Indio, CA 92211  
(760) 863-8271

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Received from: CHELSEA PROPERTY GROUP, INC \$51.00  
paid by: CK 78536223  
CALIFORNIA FISH & GAME FOR EA42013 (PP23635)  
paid towards: CFG05362 CALIF FISH & GAME: DOC FEE  
at parcel: 48650 SEMINOLE DR CABA  
appl type: CFG3

By \_\_\_\_\_ Jul 18, 2011 11:22  
MGARDNER posting date Jul 18, 2011

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Account Code	Description	Amount
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Overpayments of less than \$5.00 will not be refunded!

COUNTY OF RIVERSIDE  
SPECIALIZED DEPARTMENT RECEIPT  
Permit Assistance Center

J\* REPRINTED \* R0900819

4080 Lemon Street  
Second Floor  
Riverside, CA 92502  
(951) 955-3200

39493 Los Alamos Road  
Suite A  
Murrieta, CA 92563  
(951) 694-5242

38686 El Cerrito Rd  
Indio, CA 92211  
(760) 863-8271

\*\*\*\*\*  
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Received from: CHELSEA PROPERTY GROUP, INC \$116.25  
paid by: CK 78535022  
CALIFORNIA FISH & GAME FOR EA42013 (PP23635)  
paid towards: CFG05362 CALIF FISH & GAME: DOC FEE  
at parcel: 48650 SEMINOLE DR CABA  
appl type: CFG3

By \_\_\_\_\_ Jan 20, 2009 13:44  
MGARDNER posting date Jan 20, 2009

\*\*\*\*\*  
\*\*\*\*\*

Account Code	Description	Amount
658353120100208100	CF&G TRUST	\$116.25

Overpayments of less than \$5.00 will not be refunded!

FOR BILLING INQUIRIES:  
CALL (951) 368-9710  
EMAIL [billinginquiry@pe.com](mailto:billinginquiry@pe.com)



THE PRESS-ENTERPRISE PE.com



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10	11	12	13	14	15	16	17	18	19	20
DATE	REFERENCE NUMBER	DESCRIPTION - OTHER COMMENTS/CHARGES	PRODUCT/ZONE	SIZE	BILLED UNITS	TIMES RUN	RATE	GROSS AMOUNT	NET AMOUNT	
02/28/2012	I00744051-02282012	NOTICE OF PUBLIC HEARING BEFORE Order Placed by: Cecilia Gil	Press-Enterprise	1 x 153 LI	153	1	1.30	198.90	198.90	

RECEIVED RIVERSIDE COUNTY  
 CLERK / BOARD OF SUPERVISORS  
 2012 MAR -5 PM 2:41

*Planning  
16.4 of 03/20/12  
1 hr  
PP 23635*

**Legal Advertising Invoice**

<b>BALANCE</b>
\$198.90

SALES CONTACT INFORMATION		ADVERTISER INFORMATION			
25	1	6	7	2	
Maria Tinajero 951-368-9225	BILLING PERIOD 02/28/2012 - 02/28/2012	BILLED ACCOUNT NUMBER 100141323	ADVERTISER/CLIENT NUMBER 100141323	ADVERTISER/CLIENT NAME BOARD OF SUPERVISORS	

PLEASE DETACH AND RETURN THIS PORTION WITH YOUR REMITTANCE

2	ADVERTISER/CLIENT NAME BOARD OF SUPERVISORS		
1	6	7	
BILLING PERIOD 02/28/2012 - 02/28/2012	BILLED ACCOUNT NUMBER 100141323	ADVERTISER/CLIENT NUMBER 100141323	
23	24	3	
<b>BALANCE</b> \$198.90	INVOICE NUMBER I00744051-02282012	TERMS OF PAYMENT DUE UPON RECEIPT	



**Legal Advertising Invoice**

8 BILLING ACCOUNT NAME AND ADDRESS

9 REMITTANCE ADDRESS

BOARD OF SUPERVISORS  
P.O. BOX 1147  
COUNTY OF RIVERSIDE  
RIVERSIDE, CA 92502

Enterprise Media  
POST OFFICE BOX 12009  
RIVERSIDE, CA 92502-2209

# THE PRESS-ENTERPRISE

3450 Fourteenth Street  
Riverside, CA 92501-3878  
951-684-1200  
951-368-9018 FAX

**PROOF OF PUBLICATION  
(2010, 2015.5 C.C.P)**

Publication(s): Press-Enterprise

PROOF OF PUBLICATION OF

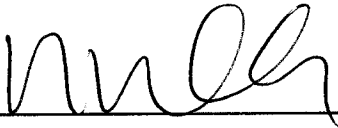
Ad Desc.: /

I am a citizen of the United States. I am over the age of eighteen years and not a party to or interested in the above entitled matter. I am an authorized representative of THE PRESS-ENTERPRISE, a newspaper in general circulation, printed and published daily in the County of Riverside, and which newspaper has been adjudicated a newspaper of general circulation by the Superior Court of the County of Riverside, State of California, under date of April 25, 1952, Case Number 54446, under date of March 29, 1957, Case Number 65673, and under date of August 25, 1995, Case Number 267864; that the notice, of which the annexed is a printed copy, has been published in said newspaper in accordance with the instructions of the person(s) requesting publication, and not in any supplement thereof on the following dates, to wit:

02/28/2012

I certify (or declare) under penalty of perjury that the foregoing is true and correct.

Date: February 28, 2012  
At: Riverside, California



BOARD OF SUPERVISORS  
P.O. BOX 1147  
COUNTY OF RIVERSIDE  
RIVERSIDE, CA 92502

Ad Number: 0000744051-01

P.O. Number:

## Ad Copy:

**NOTICE OF PUBLIC HEARING BEFORE THE BOARD OF SUPERVISORS OF RIVERSIDE COUNTY ON A FAST TRACK PLOT PLAN IN THE PASS - DESERT AREA PLAN, FIFTH SUPERVISORIAL DISTRICT AND NOTICE OF INTENT TO ADOPT A MITIGATED NEGATIVE DECLARATION**

NOTICE IS HEREBY GIVEN that a public hearing of which all interested persons will be heard, will be held before the Board of Supervisors of Riverside County, California, on the 1st Floor Board Chambers, County Administrative Center, 4080 Lemon Street, Riverside, on **Tuesday, March 20, 2012 at 1:30 P.M.** to consider the application submitted by Chelsea Property Group, Inc., on **Plot Plan No. 23635 (Fast Track 2007-29)**, which proposes to add 158,492 square feet of retail space and 1,124 parking spaces to an existing outlet center ("the project"). The project is located northerly of Seminole Drive, southerly of Martin Road, easterly of Johnson Lane, westerly of Millard Pass in the Pass - Desert Area, Fifth Supervisorial District.

The Planning Department approved the project, found that the project will not have a significant effect on the environment and recommended the adoption of a Mitigated Negative Declaration for **Environmental Assessment No. 42199**.

The project case file may be viewed from the date of this notice until the public hearing, Monday through Thursday, from 7:30 a.m. to 5:30 p.m. at the Clerk of the Board of Supervisors, 1ST Floor, and at the Riverside County Planning Department, 12th Floor, at 4080 Lemon Street, Riverside, California 92501. **FOR FURTHER INFORMATION REGARDING THIS PROJECT, PLEASE CONTACT WENDELL BUGTAL, PROJECT PLANNER, AT (951) 955-2419 OR EMAIL wbugtai@rctima.org.**

Any person wishing to testify in support of or in opposition to the project may do so in writing between the date of this notice and the public hearing, or may appear and be heard at the time and place noted above. All written comments received prior to the public hearing will be submitted to the Board of Supervisors and the Board of Supervisors will consider such comments, in addition to any oral testimony, before making a decision on the project.

If you challenge the above item in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence to the Planning Commission or Board of Supervisors at, or prior to, the public hearing. Be advised that as a result of the public hearing and the consideration of all public comment, written and oral, the Board of Supervisors may amend, in whole or in part, the project and/or the related environmental document. Accordingly, the designations, development standards, design or improvements, or any properties or lands within the boundaries of the project, may be changed in a way other than specifically proposed. Please send all written correspondence to Riverside County Clerk of the Board at 4080 Lemon Street, 1st Floor, P.O. Box 1147, Riverside, CA 92502-1147.

Dated: February 23, 2012  
Kecia Harper-Ithem, Clerk of the Board  
By: Cecilia Gil, Board Assistant 2/28

**NOTICE OF PUBLIC HEARING BEFORE THE BOARD OF SUPERVISORS OF RIVERSIDE COUNTY ON A FAST TRACK PLOT PLAN IN THE PASS – DESERT AREA PLAN, FIFTH SUPERVISORIAL DISTRICT AND NOTICE OF INTENT TO ADOPT A MITIGATED NEGATIVE DECLARATION**

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By: Cecilia Gil, Board Assistant

16.4 of 03-20-12

**NOTICE OF PUBLIC HEARING BEFORE THE BOARD OF SUPERVISORS OF RIVERSIDE COUNTY ON A FAST TRACK PLOT PLAN IN THE PASS – DESERT AREA PLAN, FIFTH SUPERVISORIAL DISTRICT AND NOTICE OF INTENT TO ADOPT A MITIGATED NEGATIVE DECLARATION**

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Dated: February 23, 2012

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By: Cecilia Gil, Board Assistant

16.4 of 03-20-12

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Dated: February 23, 2012

Kecia Harper-Ihem, Clerk of the Board  
By: Cecilia Gil, Board Assistant

16.4 of 03-20-12

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The project case file may be viewed from the date of this notice until the public hearing, Monday through Thursday, from 7:30 a.m. to 5:30 p.m. at the Clerk of the Board of Supervisors, 1<sup>st</sup> Floor, and at the Riverside County Planning Department, 12<sup>th</sup> Floor, at 4080 Lemon Street, Riverside, California 92501.

FOR FURTHER INFORMATION REGARDING THIS PROJECT, PLEASE CONTACT WENDELL BUGTAI, PROJECT PLANNER, AT (951) 955-2419 OR EMAIL [wbugtai@rctlma.org](mailto:wbugtai@rctlma.org).

Any person wishing to testify in support of or in opposition to the project may do so in writing between the date of this notice and the public hearing, or may appear and be heard at the time and place noted above. All written comments received prior to the public hearing will be submitted to the Board of Supervisors and the Board of Supervisors will consider such comments, in addition to any oral testimony, before making a decision on the project.

If you challenge the above item in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence to the Planning Commission or Board of Supervisors at, or prior to, the public hearing. Be advised that as a result of the public hearing and the consideration of all public comment, written and oral, the Board of Supervisors may amend, in whole or in part, the project and/or the related environmental document. Accordingly, the designations, development standards, design or improvements, or any properties or lands within the boundaries of the project, may be changed in a way other than specifically proposed.

Please send all written correspondence to Riverside County Clerk of the Board at 4080 Lemon Street, 1st Floor, P.O. Box 1147, Riverside, CA 92502-1147.

Dated: February 23, 2012

Kecia Harper-Ihem, Clerk of the Board  
By: Cecilia Gil, Board Assistant

16.4 of 03-20-12



**NOTICE OF PUBLIC HEARING BEFORE THE BOARD OF SUPERVISORS OF RIVERSIDE COUNTY ON A FAST TRACK PLOT PLAN IN THE PASS – DESERT AREA PLAN, FIFTH SUPERVISORIAL DISTRICT AND NOTICE OF INTENT TO ADOPT A MITIGATED NEGATIVE DECLARATION**

NOTICE IS HEREBY GIVEN that a public hearing at which all interested persons will be heard, will be held before the Board of Supervisors of Riverside County, California, on the 1<sup>st</sup> Floor Board Chambers, County Administrative Center, 4080 Lemon Street, Riverside, on **Tuesday, March 20, 2012 at 1:30 P.M.** to consider the application submitted by Chelsea Property Group, Inc., on **Plot Plan No. 23635 (Fast Track 2007-29)**, which proposes to add 158,492 square feet of retail space and 1,124 parking spaces to an existing outlet center (“the project”). The project is located northerly of Seminole Drive, southerly of Martin Road, easterly of Johnson Lane, westerly of Millard Pass in the Pass – Desert Area, Fifth Supervisorial District.

The Planning Department approved the project, found that the project will not have a significant effect on the environment and recommended the adoption of a Mitigated Negative Declaration for **Environmental Assessment No. 42199**.

The project case file may be viewed from the date of this notice until the public hearing, Monday through Thursday, from 7:30 a.m. to 5:30 p.m. at the Clerk of the Board of Supervisors, 1<sup>st</sup> Floor, and at the Riverside County Planning Department, 12<sup>th</sup> Floor, at 4080 Lemon Street, Riverside, California 92501.

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Please send all written correspondence to Riverside County Clerk of the Board at 4080 Lemon Street, 1st Floor, P.O. Box 1147, Riverside, CA 92502-1147.

Dated: February 23, 2012

Kecia Harper-Ihem, Clerk of the Board  
By: Cecilia Gil, Board Assistant