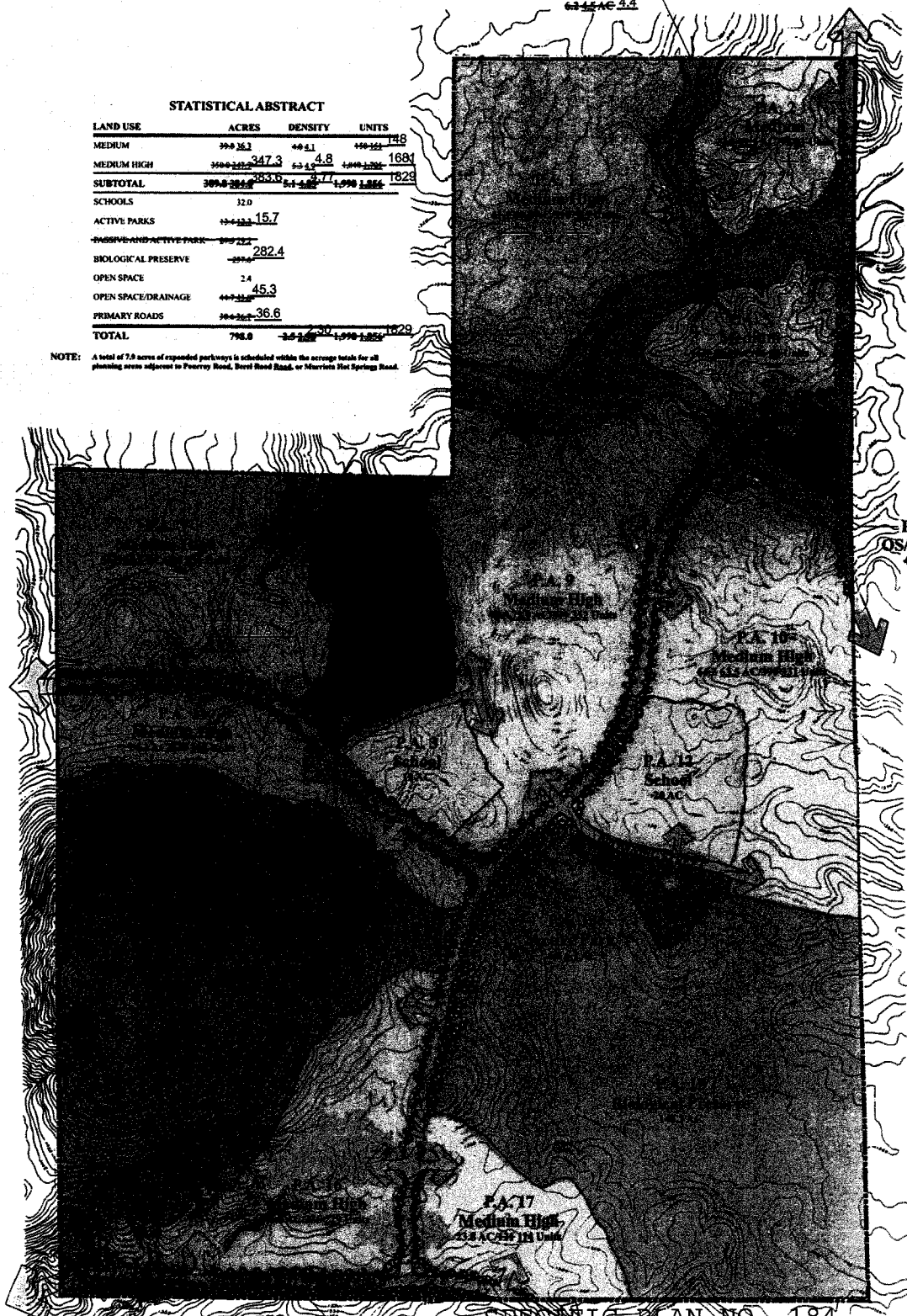


P.A. 6A
OS/Drainage
63.44 AC

STATISTICAL ABSTRACT

LAND USE	ACRES	DENSITY	UNITS
MEDIUM	399.26.1	49.2.1	168
MEDIUM HIGH	347.3	4.8	1684
SUBTOTAL	309.6	283.0	1829
SCHOOLS	32.0		
ACTIVE PARKS	15.7		
PASSIVE AND ACTIVE PARKS	282.4		
BIOLOGICAL PRESERVE	2.4		
OPEN SPACE	45.3		
OPEN SPACE/DRAINAGE	36.6		
PRIMARY ROADS	798.0	2.00	1629
TOTAL	798.0	2.00	1629

NOTE: A total of 7.9 acres of expanded parkways is scheduled within the acreage totals for all planning areas adjacent to Peaverry Road, Bevel Road Road, or Marvins Hot Springs Road.



P.A. 6C
OS/Drainage
44.45 AC

~~SPECIFIC PLAN NO. 184~~
~~AMENDMENT NO. 2~~

P.A. 18
Open Space
2.4 AC
SUBSTANTIAL CONFORMANCE NO. 4
LAND USE PLAN

Figure III-1

~~SPECIFIC PLAN~~
~~AMENDMENT NO. 2~~
~~LAND USE PLAN~~

Rancho Bella Vista

Rancho Bella Vista, LLC
43529 Ridge Park Drive, Temecula, CA 92590

STATISTICAL ABSTRACT

LAND USE	ACRES	DENSITY	UNITS
MEDIUM	36.3	14.1	148
MEDIUM HIGH	347.3	4.8	1681
SUBTOTAL	383.6	5.1	1829
SCHOOLS	32.0		
ACTIVE PARKS	15.7		
PASSIVE AND ACTIVE PARK	29.7		
BIOLOGICAL PRESERVE	282.4		
OPEN SPACE	2.4		
OPEN SPACE/DRAINAGE	45.3		
PRIMARY ROADS	36.6		
TOTAL	798.0	2.32	1856
		2.30	1829

NOTE: A total of 7.9 acres of expanded parkways is scheduled within the acreage totals for all planning areas adjacent to Pourroy Road, Berel Road, or Murrieta Hot Spring Road.

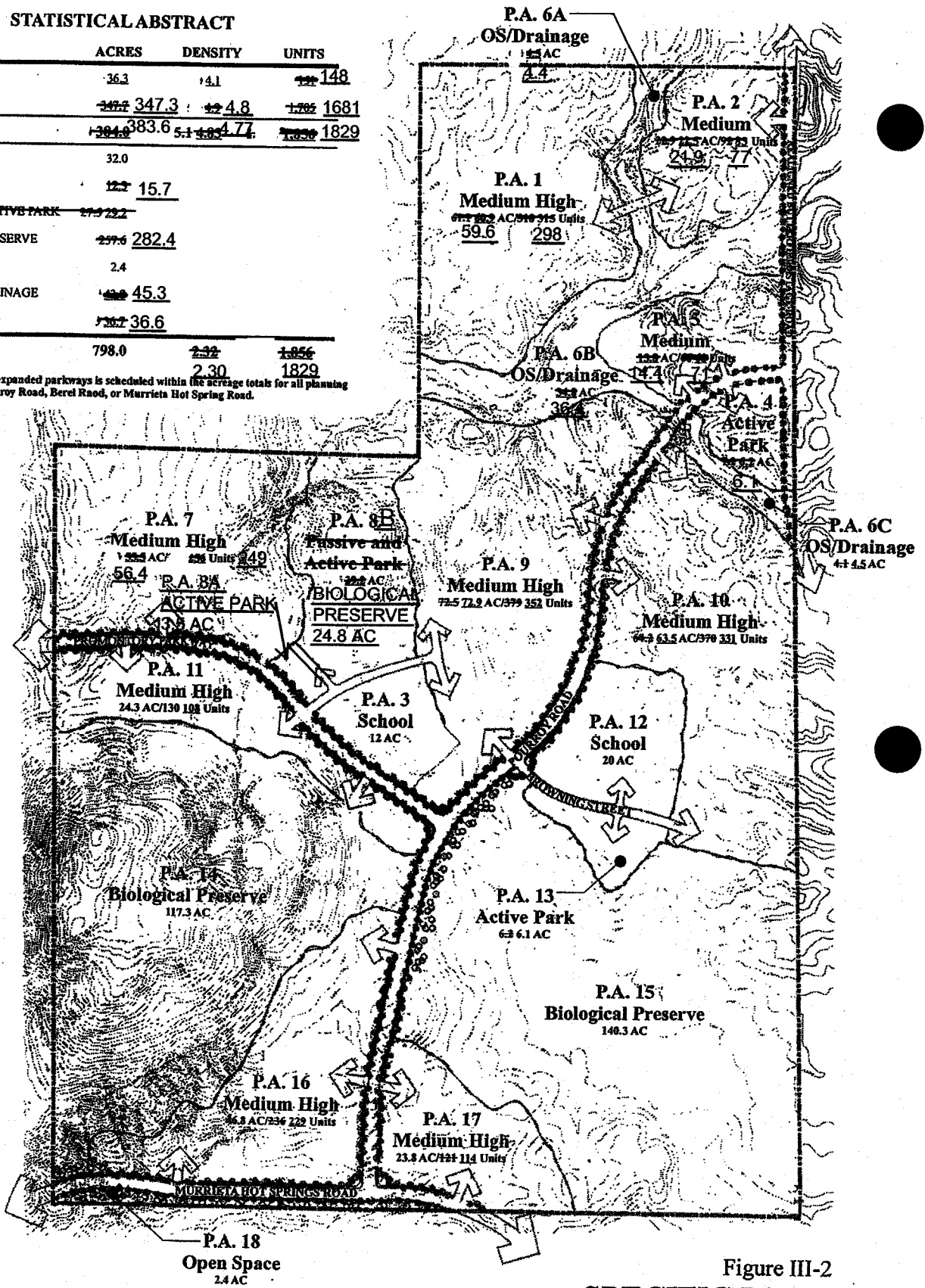


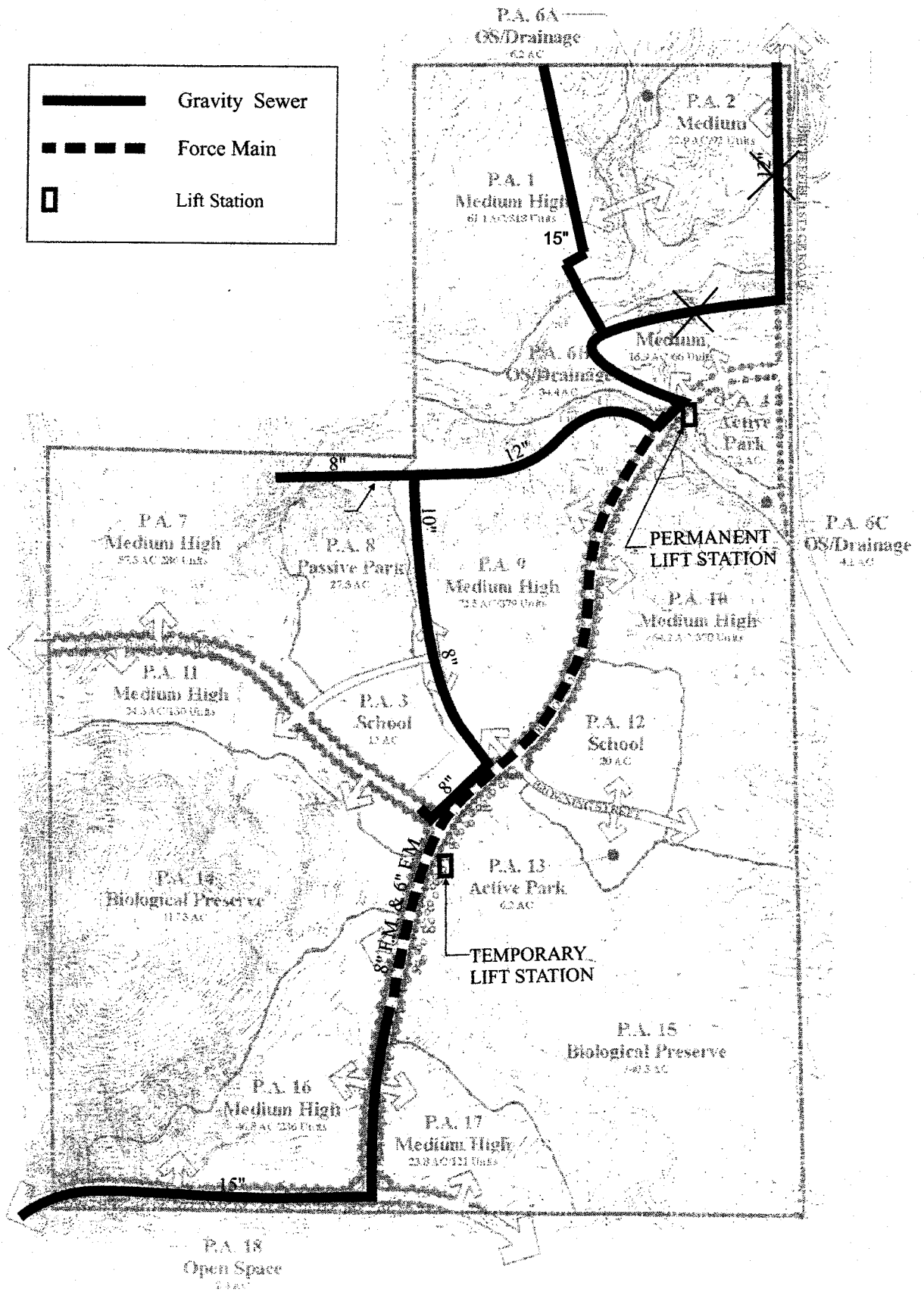
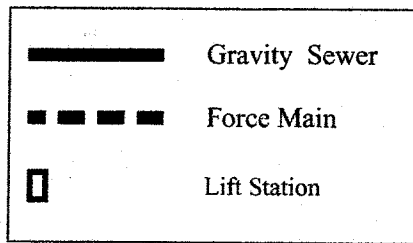
Figure III-2
~~SPECIFIC PLAN~~
~~AMENDMENT NO. 2~~
~~LAND USE PLAN~~

Rancho Bella Vista

Rancho Bella Vista, LLC
 43529 Ridge Park Drive, Temecula, CA 92590

SPECIFIC PLAN NO. 184
AMENDMENT NO. 2
SUBSTANTIAL CONFORMANCE NO. 4

III.A-4



Rancho Bella Vista

Rancho Bella Vista, LLC
 43529 Ridge Park Drive, Temecula, CA 92590

Figure III-9
MASTER SEWER PLAN

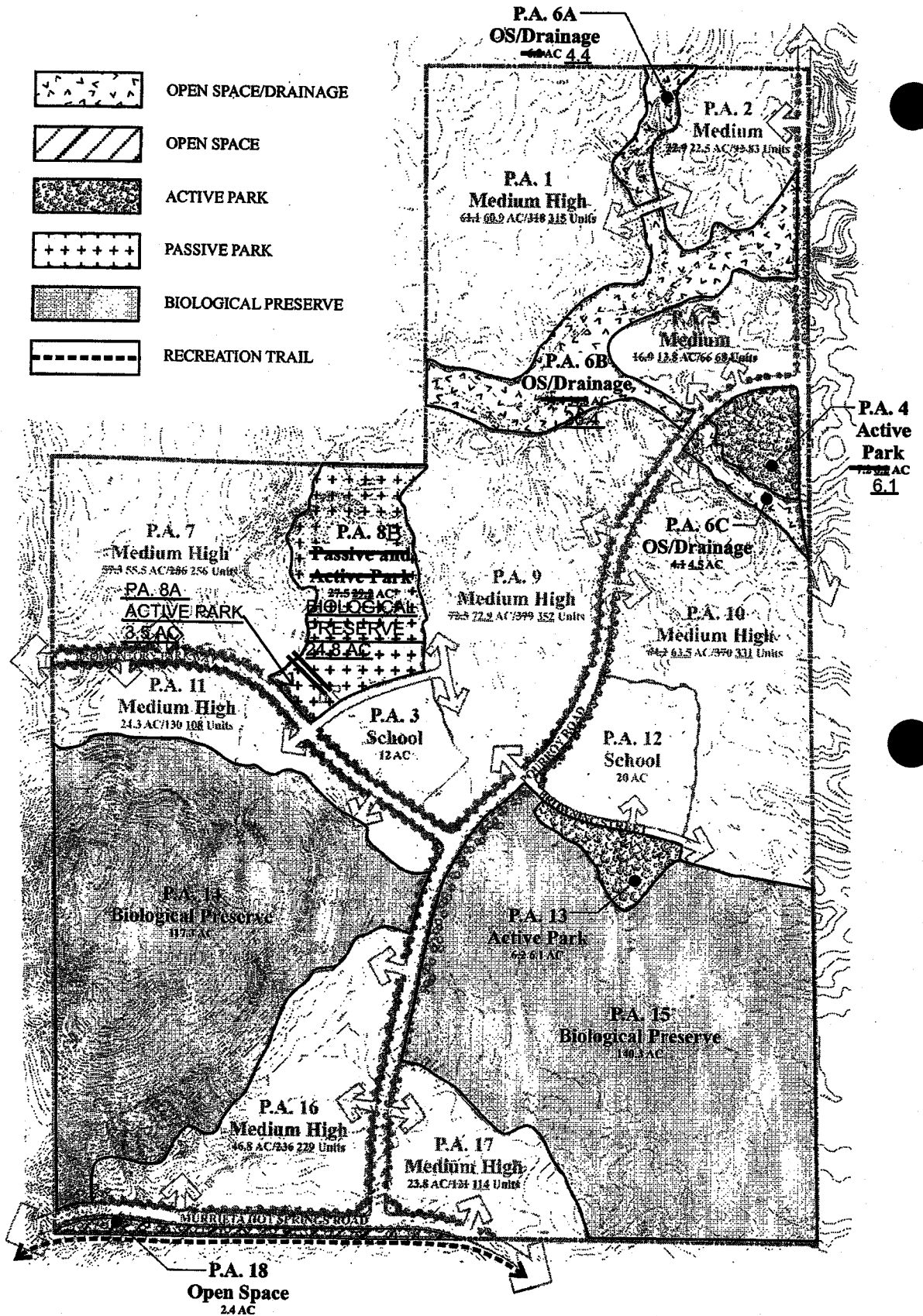


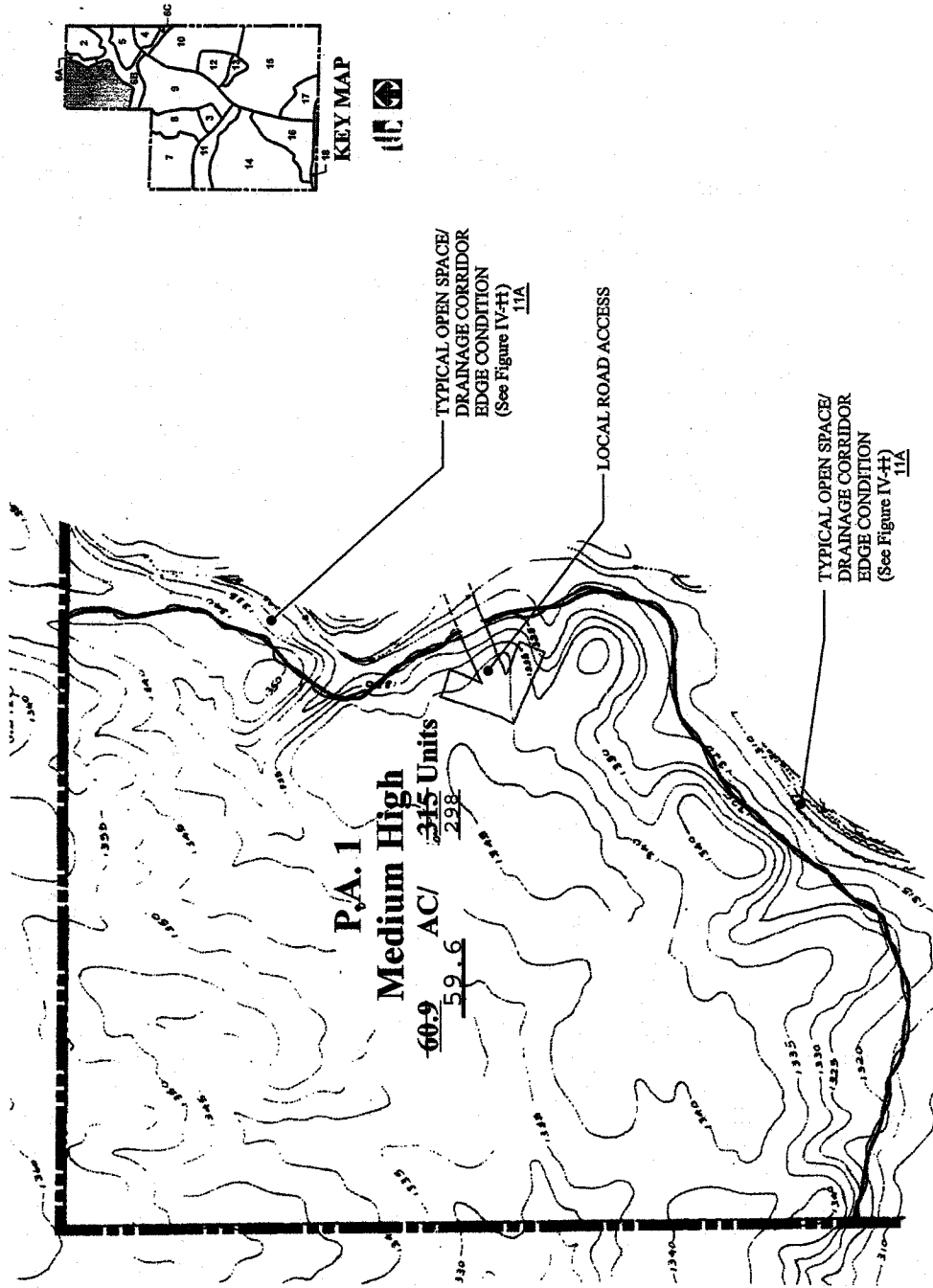
Figure III-10
 OPEN SPACE AND
 RECREATION PLAN

Rancho Bella Vista

Rancho Bella Vista, LLC
 43529 Ridge Park Drive, Temecula, CA 92590

Figure III-13

PLANNING AREA 1

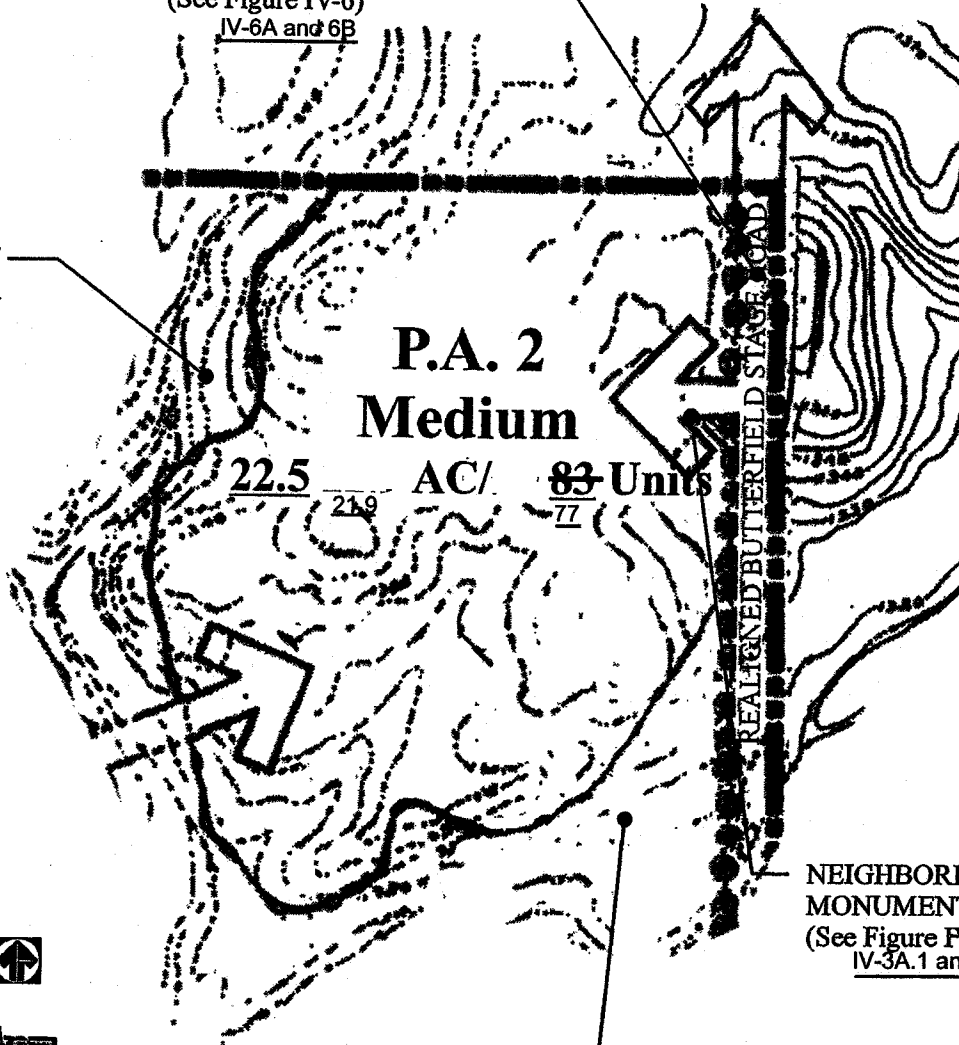


Rancho Bella Vista

Rancho Bella Vista, LLC
43529 Ridge Park Drive, Temecula, CA 92590

ROADWAY LANDSCAPE
TREATMENT
(See Figure IV-6)
IV-6A and 6B

TYPICAL OPEN SPACE/
DRAINAGE CORRIDOR
EDGE CONDITION
(See Figure IV-11)
11A

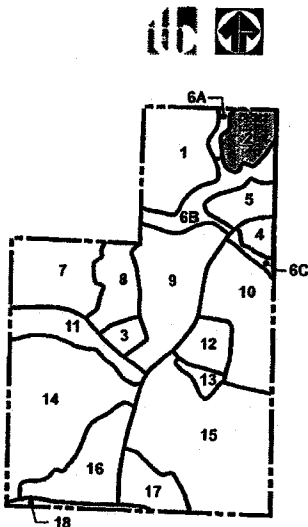


P.A. 2
Medium
22.5 AC / 83 Units

REALIGNED BUTTERFIELD STAGE ROAD

NEIGHBORHOOD ENTRY
MONUMENTATION
(See Figure IV-4)
IV-3A.1 and IV-3B.1

TYPICAL OPEN SPACE/
DRAINAGE CORRIDOR
EDGE CONDITION
(See Figure IV-11)
11A



KEY MAP

Rancho Bella Vista

Figure III-14
PLANNING AREA 2

Rancho Bella Vista, LLC
43529 Ridge Park Drive, Temecula, CA 92590

III.B-5

PRIMARY ENTRY
MONUMENTATION
(See Figures IV-2A and IV-2B)
IV-2C IV-2D

ROADWAY
LANDSCAPE
TREATMENT
(See Figure IV-7)
IV-7A AND 7B

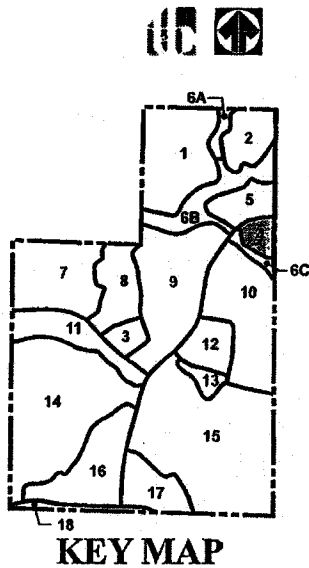
ROADWAY LANDSCAPE
TREATMENT
(See Figure IV-6)

POURROY ROAD
STREETSCENE AT
DRAINAGE CORRIDOR
CROSSING
(See Figure IV-9)

P.A. 4
Active Park
6.2 AC
6.1

PARK PLAN
(See Figure IV-15)
IV-15A

TYPICAL OPEN SPACE/
DRAINAGE CORRIDOR
EDGE CONDITION
(See Figure IV-11)
IV-11A

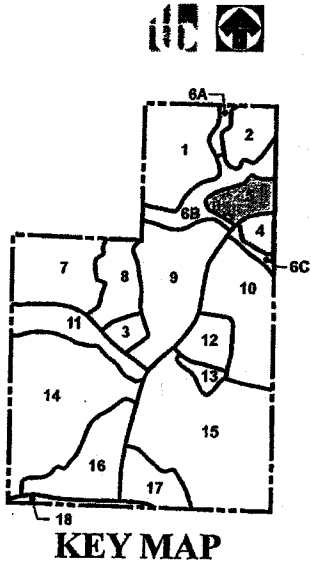
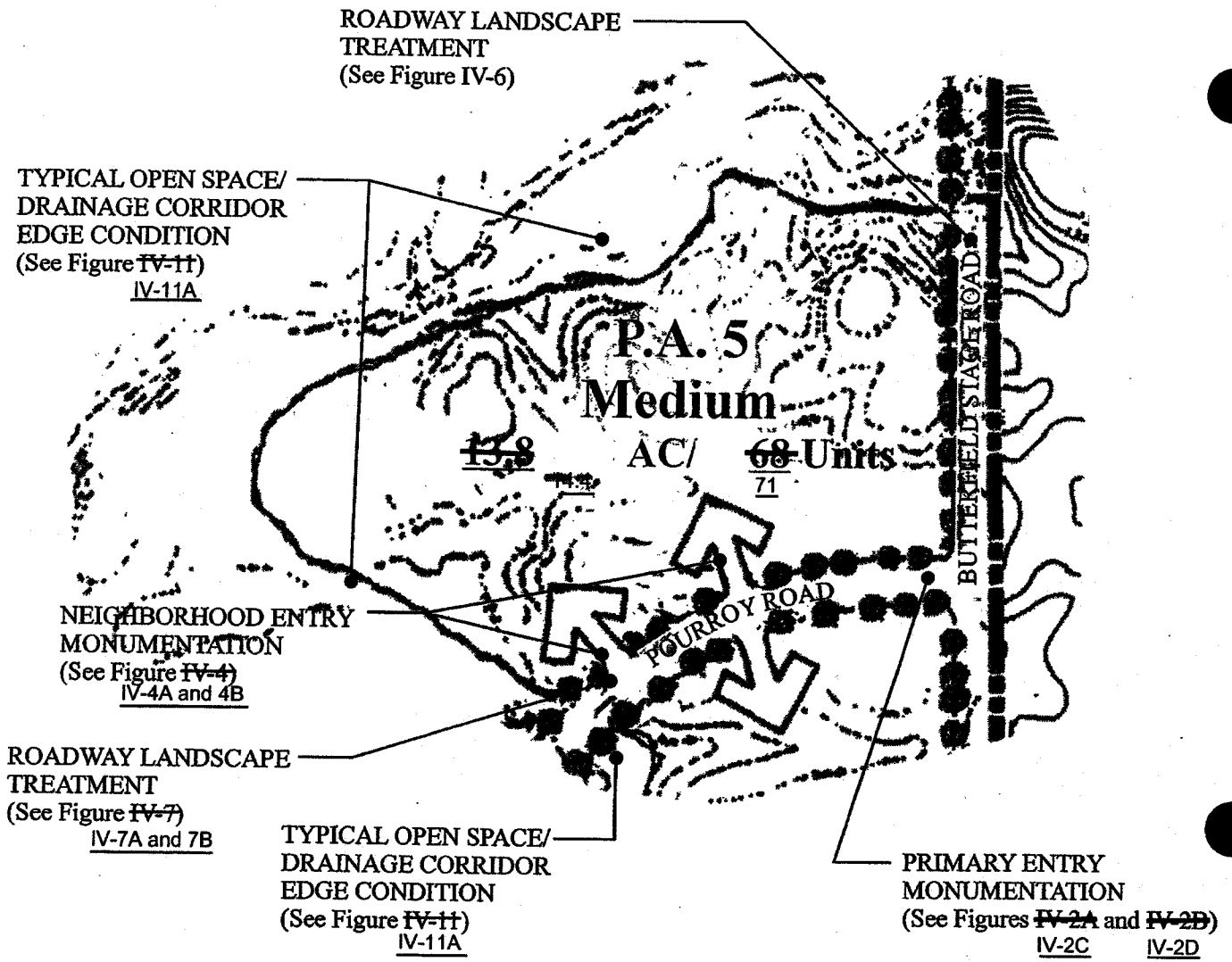


Rancho Bella Vista

Figure III-15
PLANNING AREA 4

Rancho Bella Vista, LLC
43529 Ridge Park Drive, Temecula, CA 92590

III.B-8



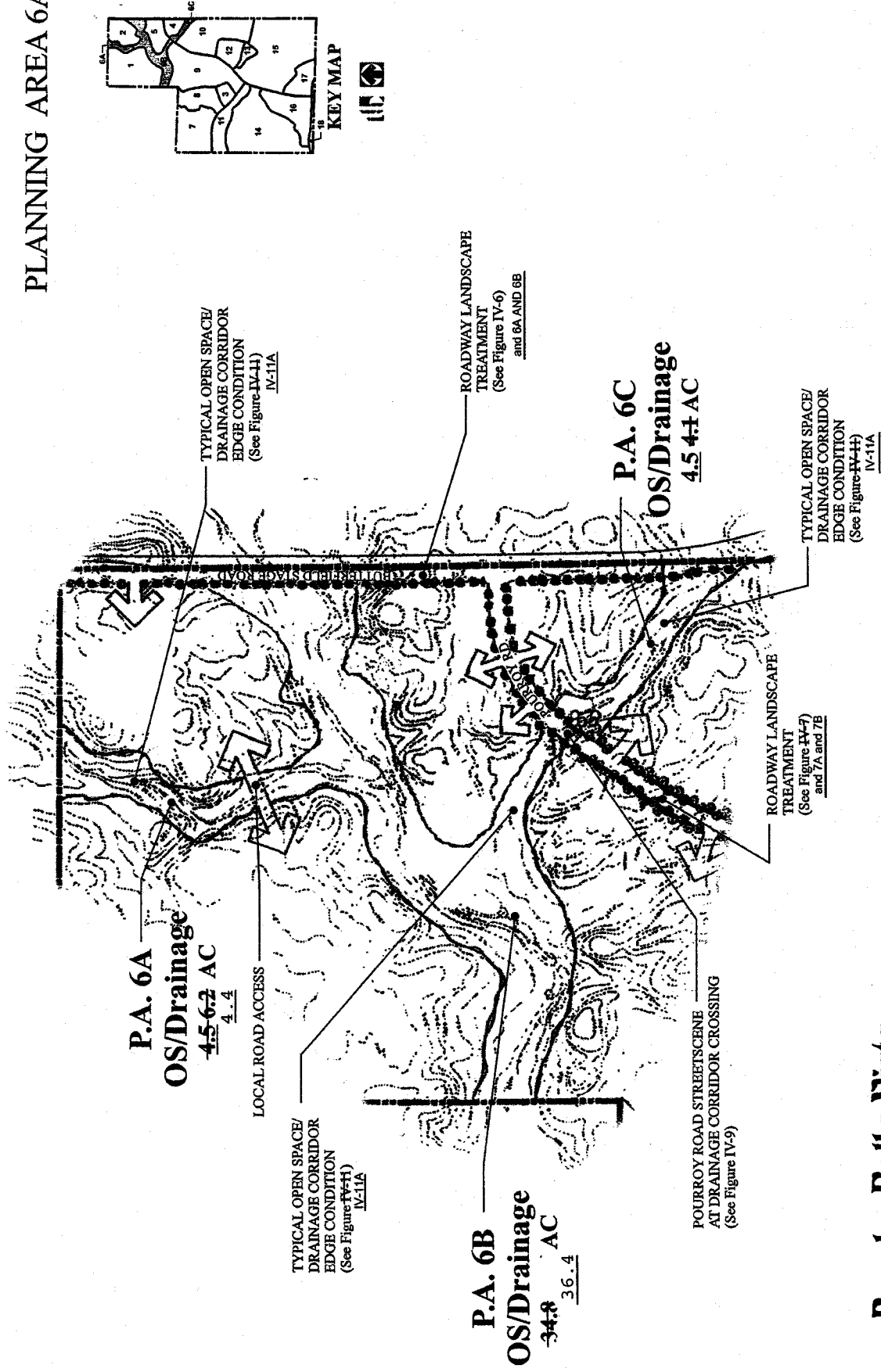
Rancho Bella Vista

Rancho Bella Vista, LLC
43529 Ridge Park Drive, Temecula, CA 92590

Figure III-16
PLANNING AREA 5

III.B-10

Figure III-17
PLANNING AREA 6A, 6B & 6C

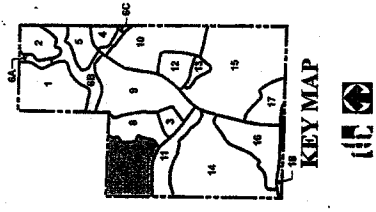
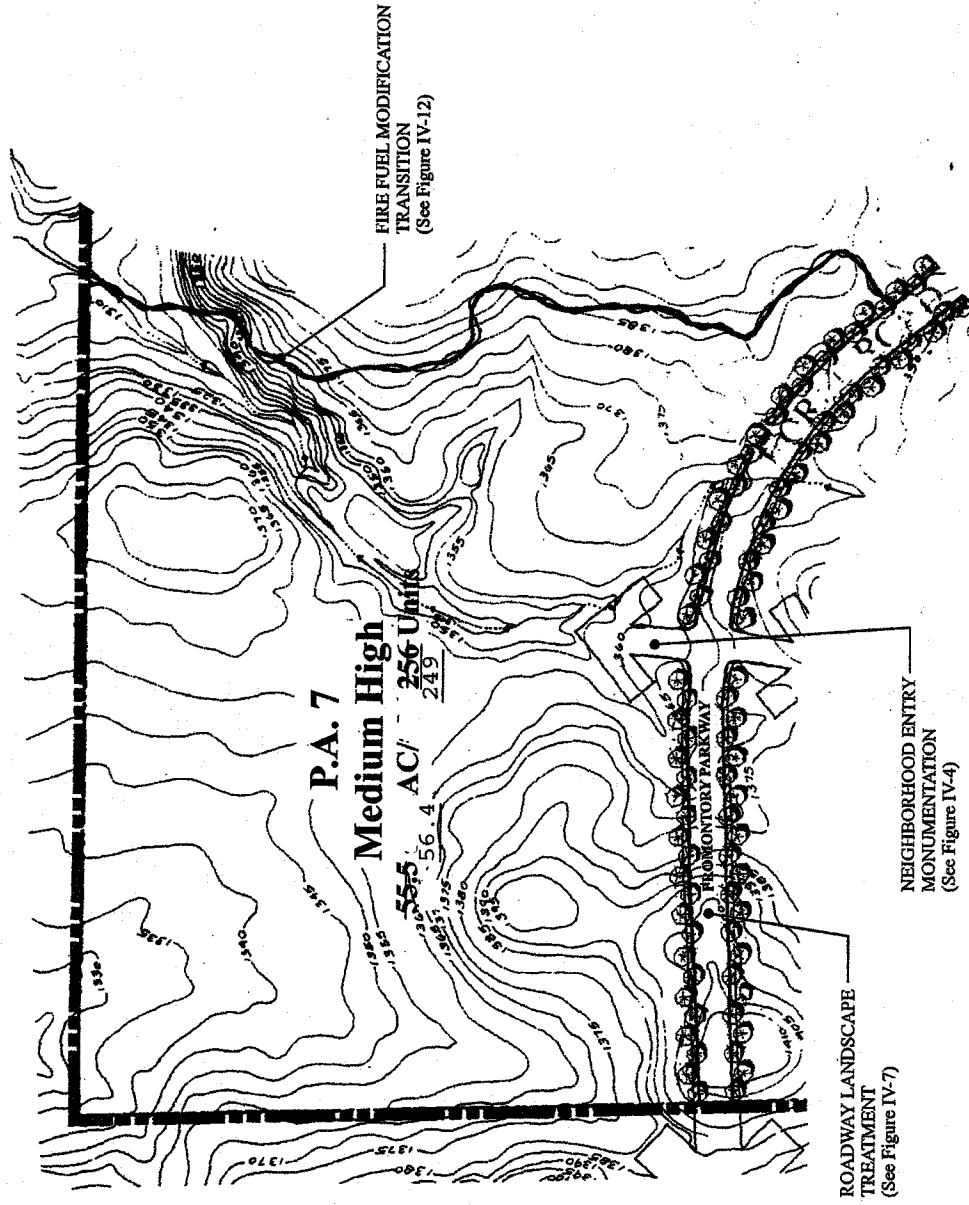


Rancho Bella Vista

Rancho Bella Vista, LLC
 43529 Ridge Park Drive, Temecula, CA 92590

Figure III-18

PLANNING AREA 7



Rancho Bella Vista

Rancho Bella Vista, LLC
43529 Ridge Park Drive, Temecula, CA 92590

FIRE FUEL
MODIFICATION
TRANSITION
(See Figure IV-12)

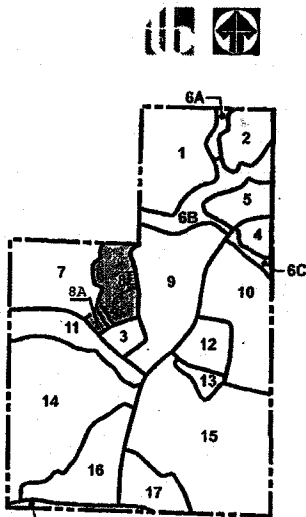
FIRE FUEL
MODIFICATION
TRANSITION
(See Figure IV-12)

P.A. 8B
Passive and
Active Park
29.2 AC

P.A. 8A
ACTIVE PARK
3.5 AC

P.A. 8B
BIOLOGICAL
PRESERVE
24.8 AC

PARK PLAN
(See Figure IV-16)
IV-16A



KEY MAP

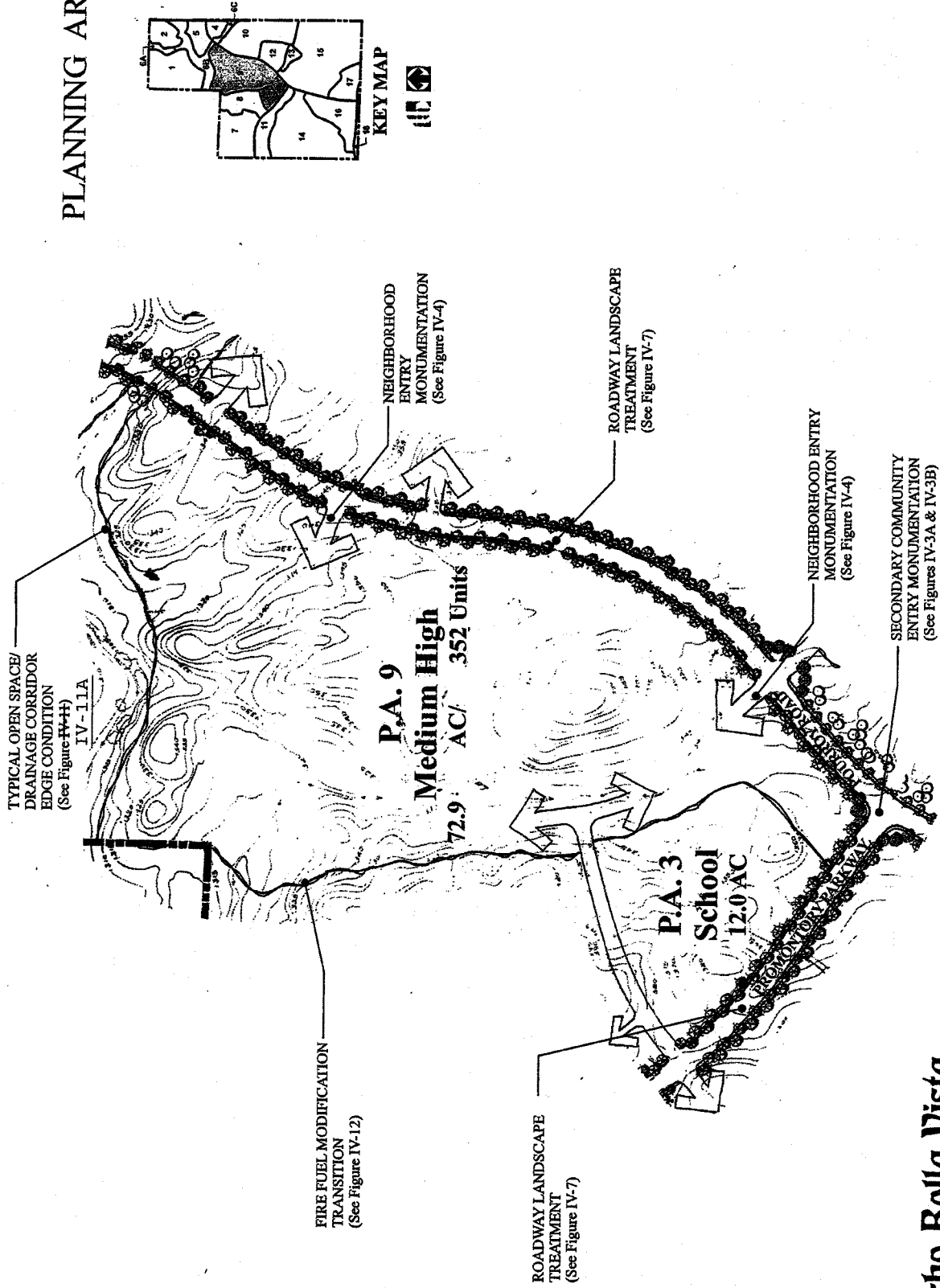
Rancho Bella Vista

Rancho Bella Vista, LLC
43529 Ridge Park Drive, Temecula, CA 92590

Figure III-19
PLANNING AREA 8A & 8

III.B-18

PLANNING AREAS 3 & 9

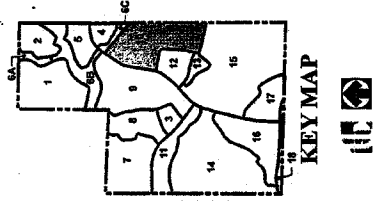


Rancho Bella Vista

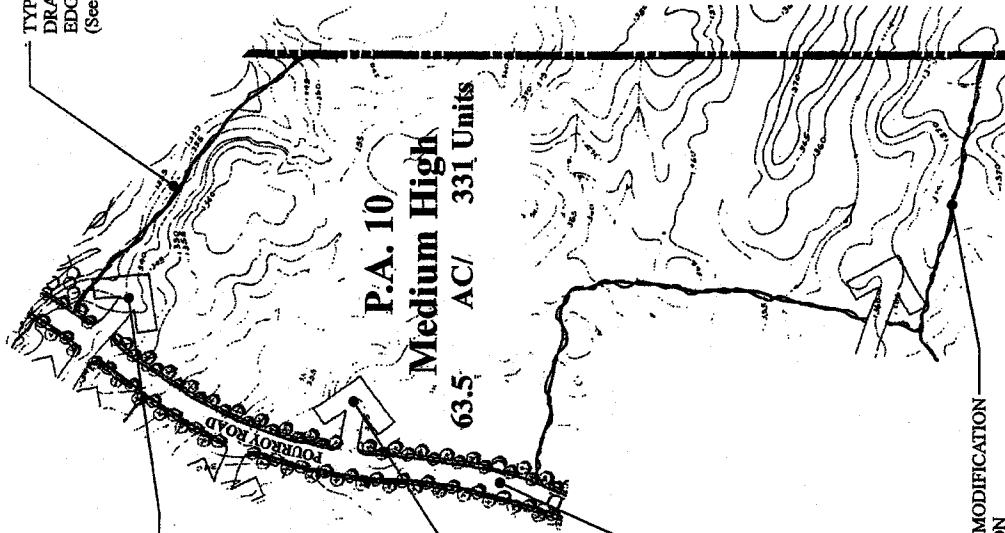
Rancho Bella Vista, LLC
43529 Ridge Park Drive, Temecula, CA 92590

Figure III-21

PLANNING AREA 10



TYPICAL OPEN SPACE/
DRAINAGE CORRIDOR
EDGE CONDITION
(See Figure IV-11)
IV-11A



NEIGHBORHOOD ENTRY
MONUMENTATION
(See Figure IV-4)

NEIGHBORHOOD ENTRY
MONUMENTATION
(See Figure IV-4)

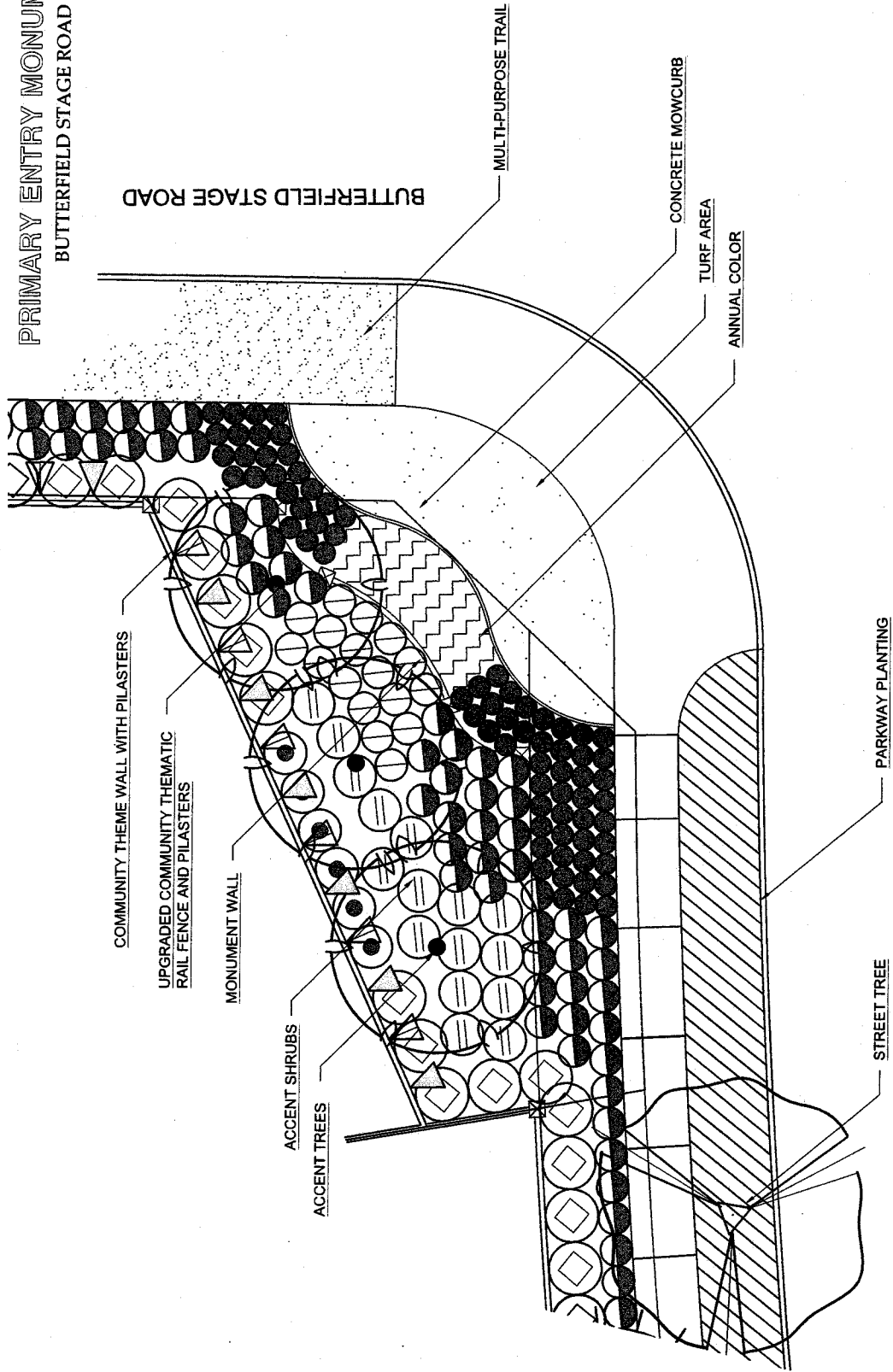
ROADWAY LANDSCAPE
TREATMENT
(See Figure IV-7)

FIRE FUEL MODIFICATION
TRANSITION
(See Figure IV-12)

Rancho Bella Vista

Rancho Bella Vista, LLC
43529 Ridge Park Drive, Temecula, CA 92590

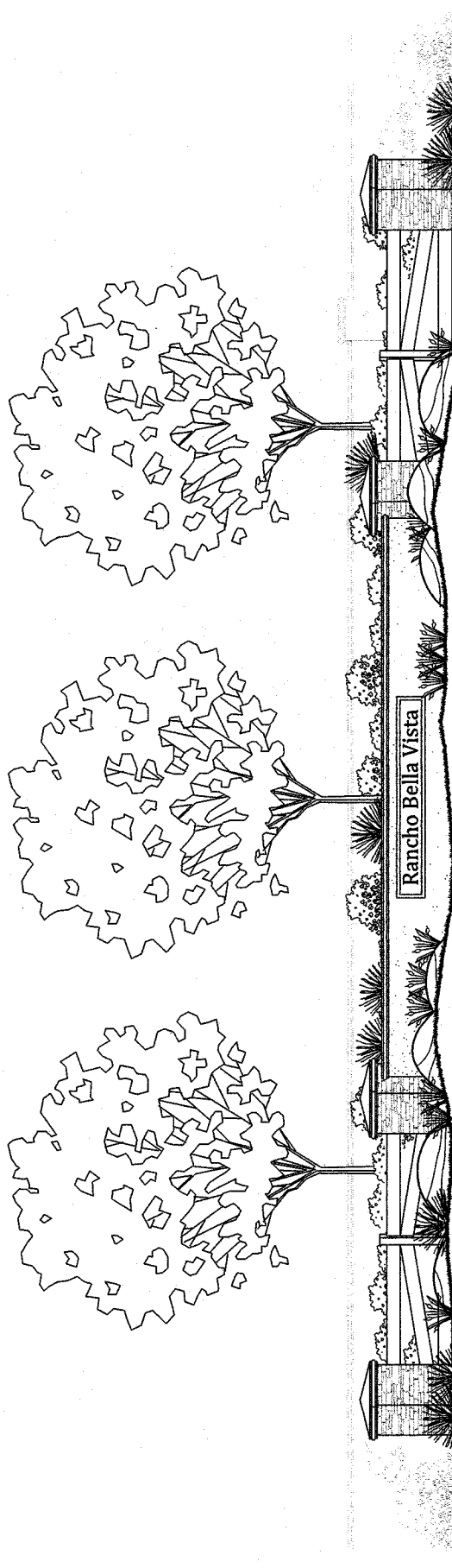
Figure IV-2C
PRIMARY ENTRY MONUMENT (PLAN)
 BUTTERFIELD STAGE ROAD AT POURROY ROAD



RANCHO BELLA VISTA

LENNAR HOMES
 391 NORTH MAIN STREET, SUITE 301 CORONA, CA 92880

Figure IV-2D
PRIMARY ENTRY MONUMENT (ELEVATION)
BUTTERFIELD STAGE ROAD AT POURROY ROAD



RANCHO BELLA VISTA

LENNAR HOMES
391 NORTH MAIN STREET, SUITE 301 CORONA, CA 92880

RICK
ENGINEERING COMPANY

IV-5B

Figure IV-3A.1
 SECONDARY ENTRY MONUMENT (PLAN)

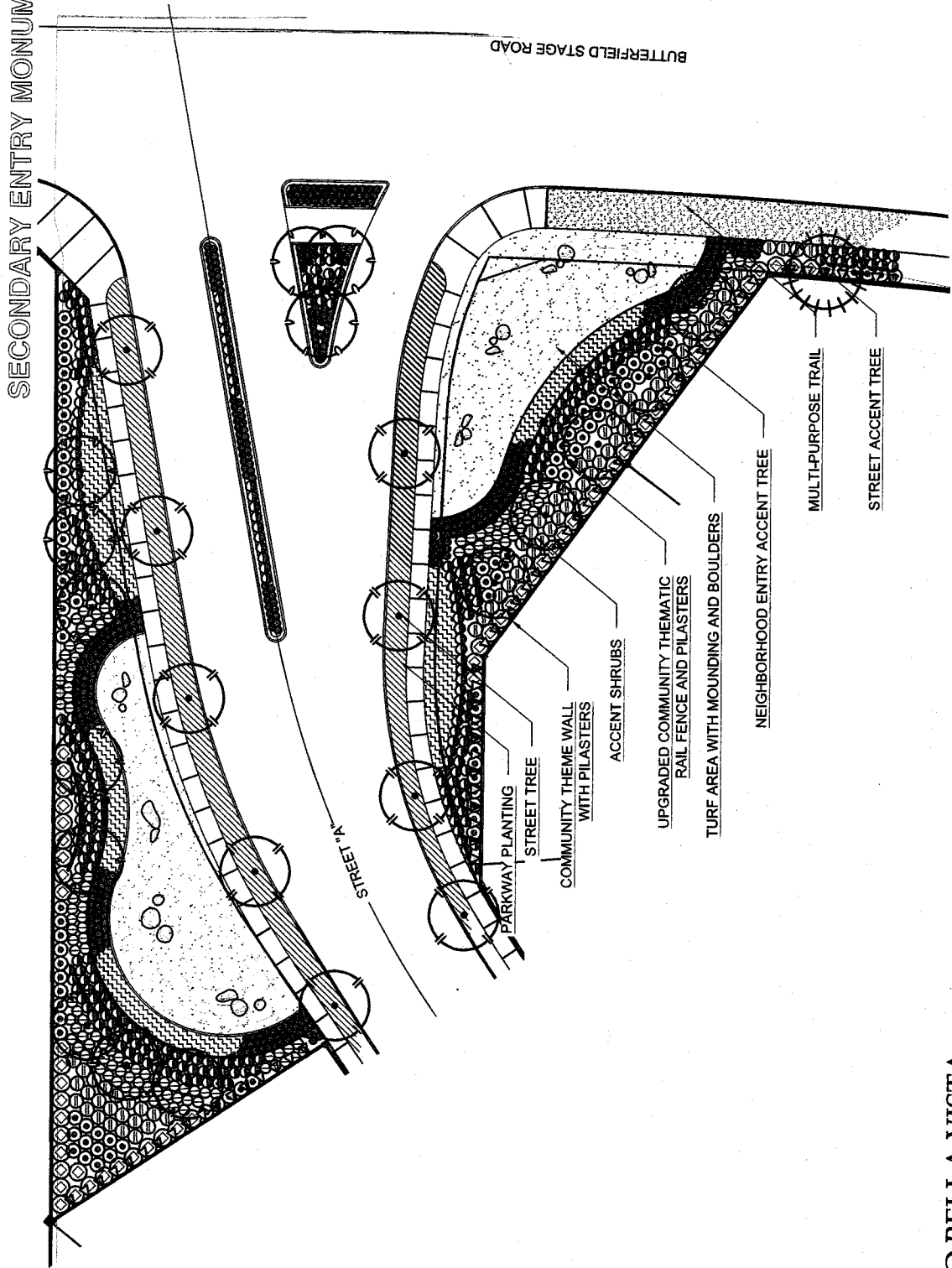


Figure IV-3B.1

SECONDARY ENTRY MONUMENT (ELEVATION)

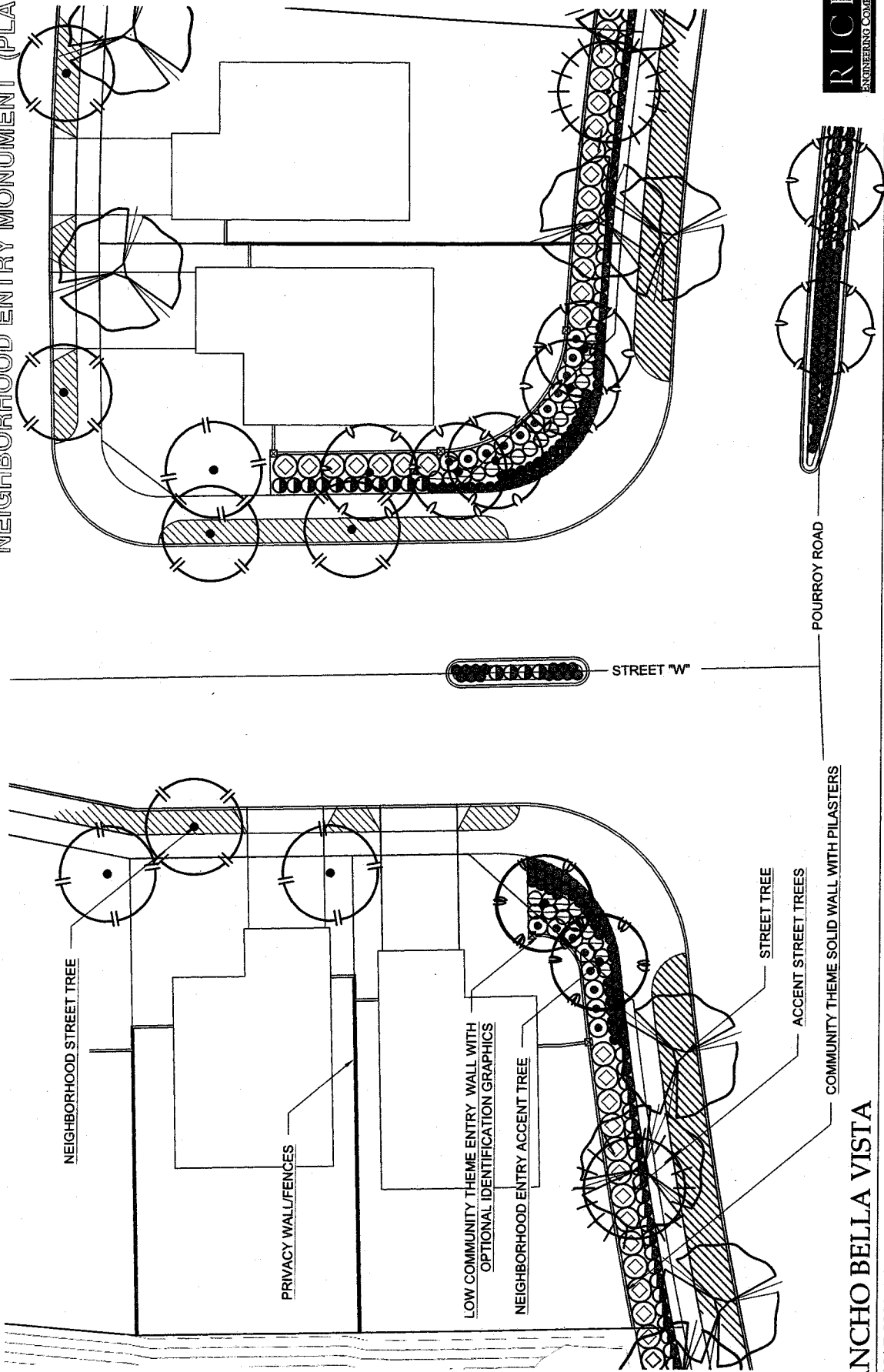


RANCHO BELLA VISTA

LENNAR HOMES
391 NORTH MAIN STREET, SUITE 301 CORONA, CA 92880

RICK
ENGINEERING COMPANY

Figure IV-4A
 NEIGHBORHOOD ENTRY MONUMENT (PLAN)



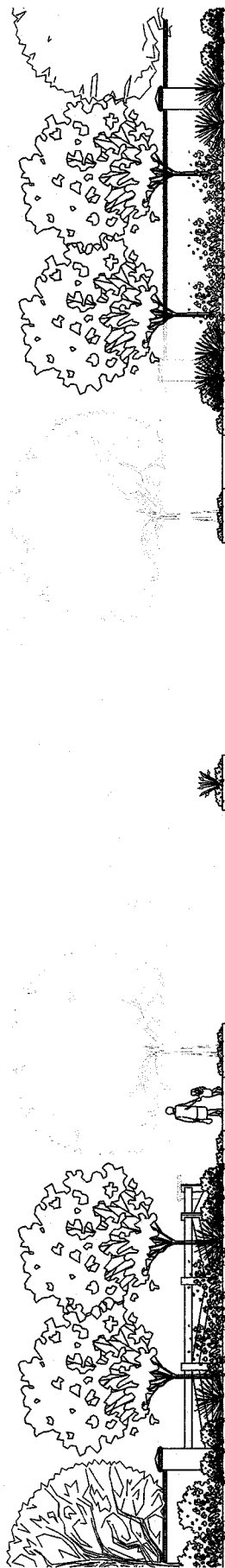
IV-10A

RANCHO BELLA VISTA

LENNAR HOMES
 391 NORTH MAIN STREET, SUITE 301 CORONA, CA 92880

Figure IV-4B

NEIGHBORHOOD ENTRY MONUMENT (ELEVATION)



RANCHO BELLA VISTA

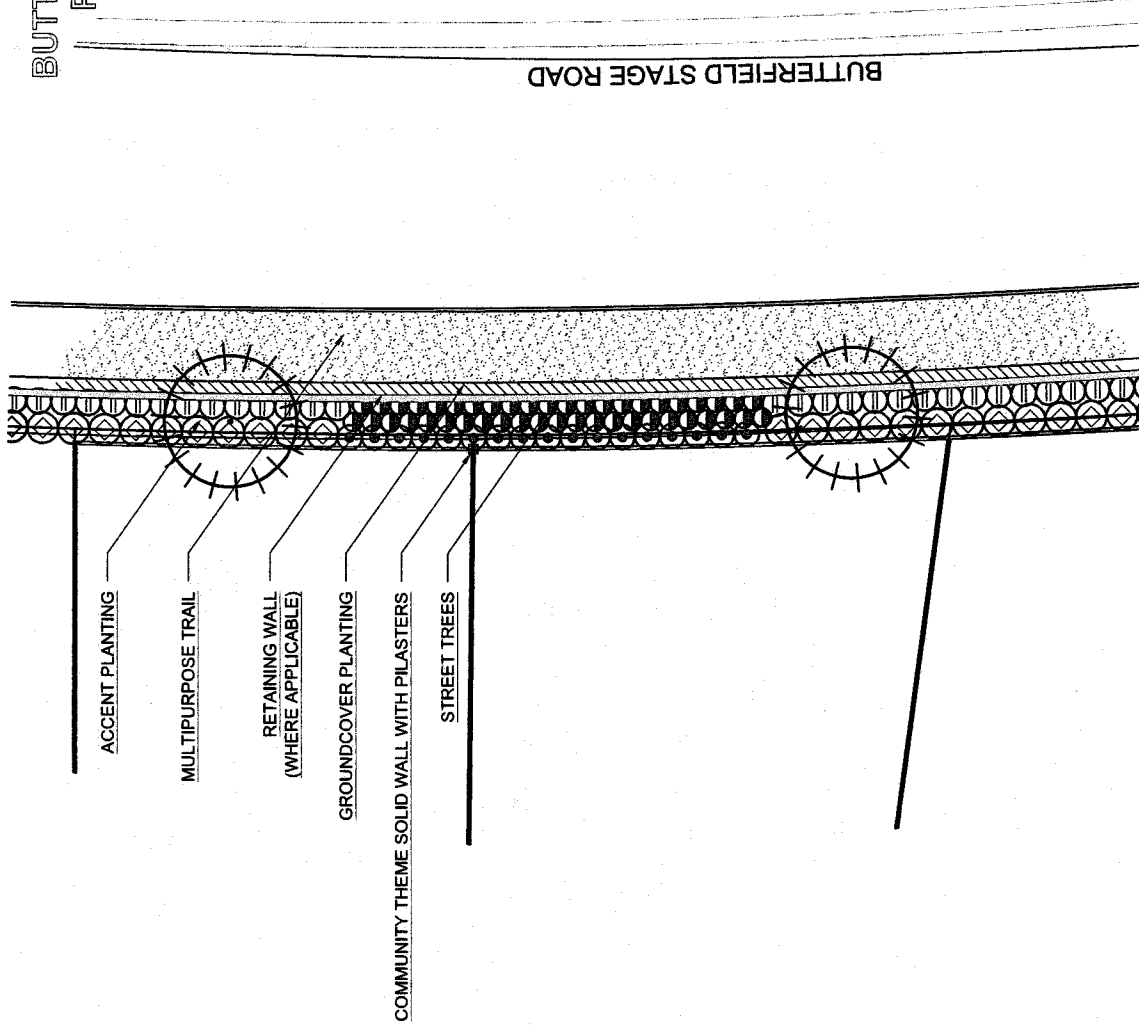
LENNAR HOMES

391 NORTH MAIN STREET, SUITE 301 CORONA, CA 92880

RICK
ENGINEERING COMPANY

IV-10B

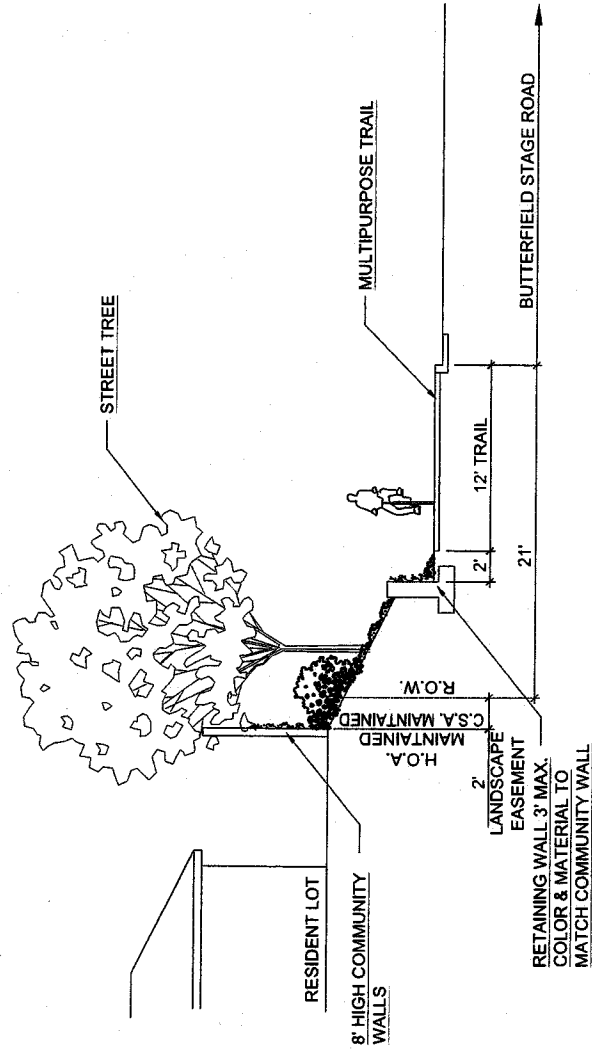
Figure IV-6A
**BUTTERFIELD STAGE ROAD STREET SCENE AT
 RESIDENTIAL LAND USE-LEVEL CONDITION
 ADJACENT TO P.A. 2**



RANCHO BELLA VISTA

LENNAR HOMES
 391 NORTH MAIN STREET, SUITE 301 CORONA, CA 92880

Figure IV-6B
BUTTERFIELD STAGE ROAD STREETSCAPE
 ADJACENT TO P.A. 2

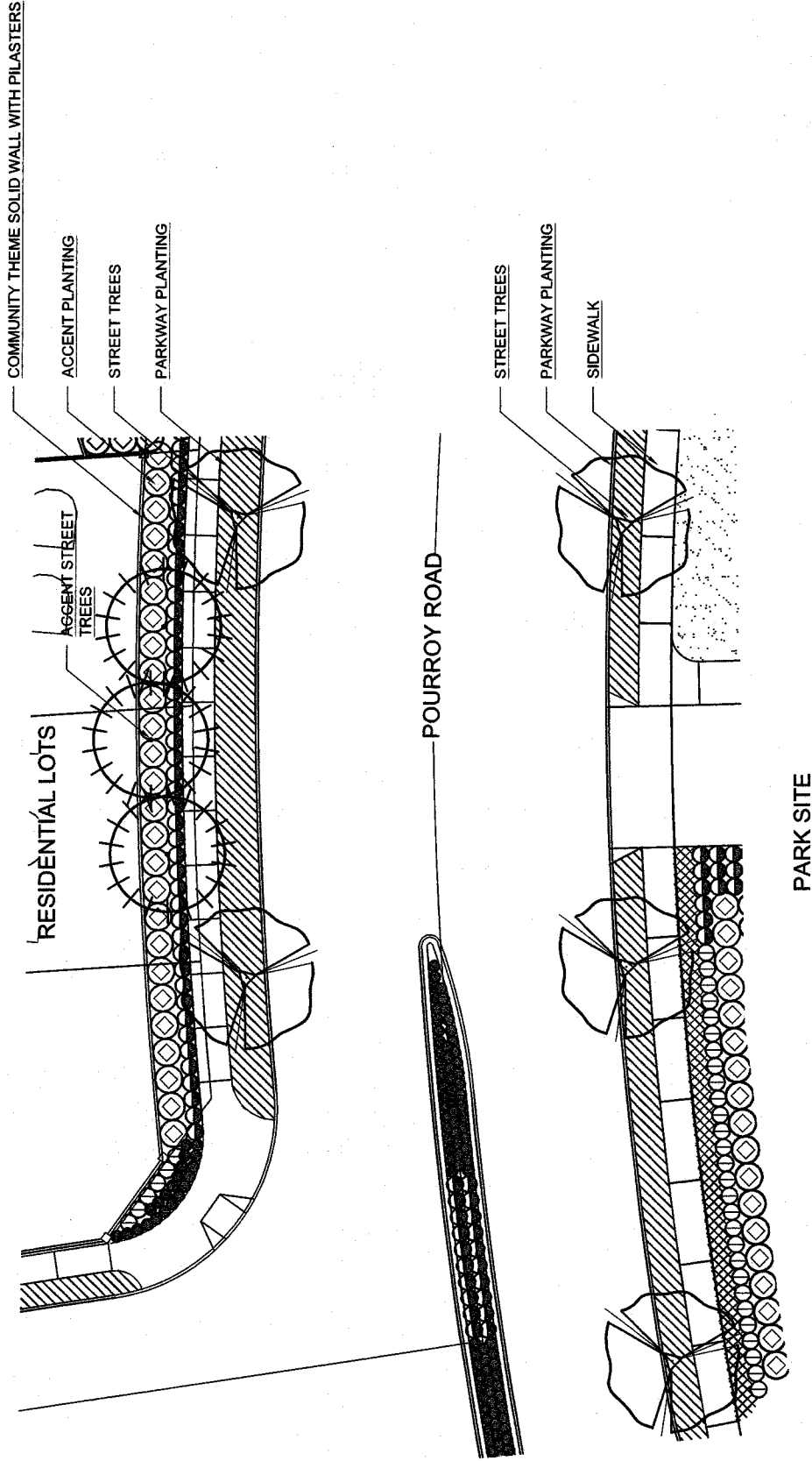


IV-15A

RANCHO BELLA VISTA

LENNAR HOMES
 391 NORTH MAIN STREET, SUITE 301 CORONA, CA 92880

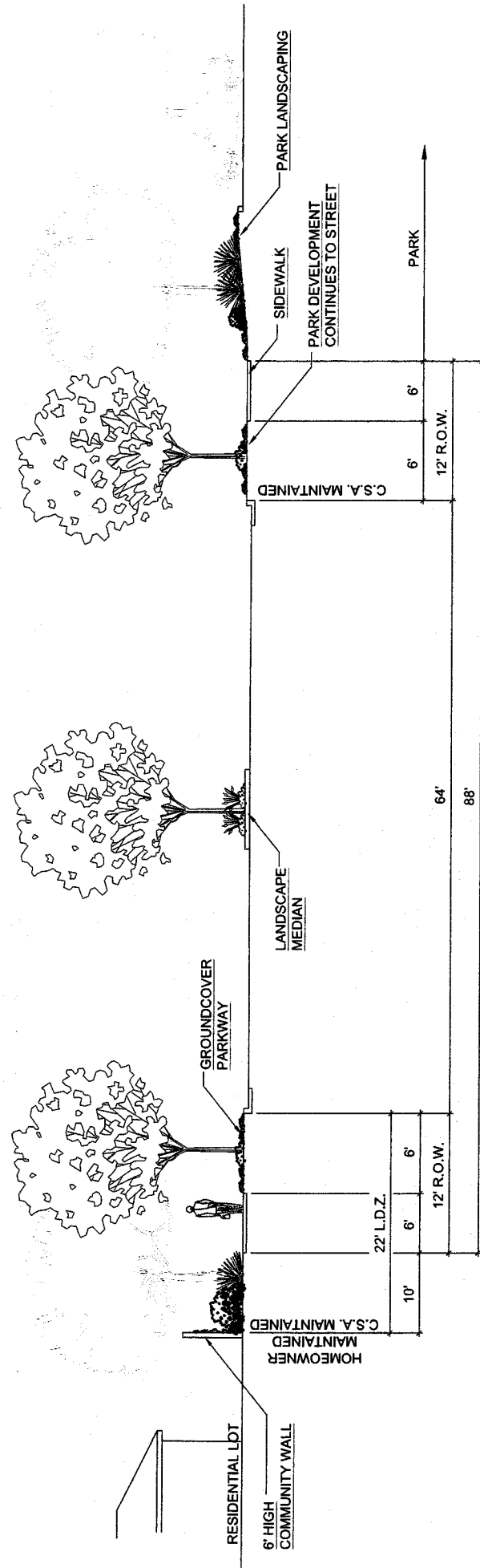
Figure IV-7A
**POURROY ROAD STREET SCENE AT RESIDENTIAL
 LAND USE-LEVEL CONDITION**



RANCHO BELLA VISTA

LENNAR HOMES
 391 NORTH MAIN STREET, SUITE 301 CORONA, CA 92880

Figure IV-7B
**POURROY ROAD STREETSCAPE AT RESIDENTIAL
 LAND USE-LEVEL CONDITION**

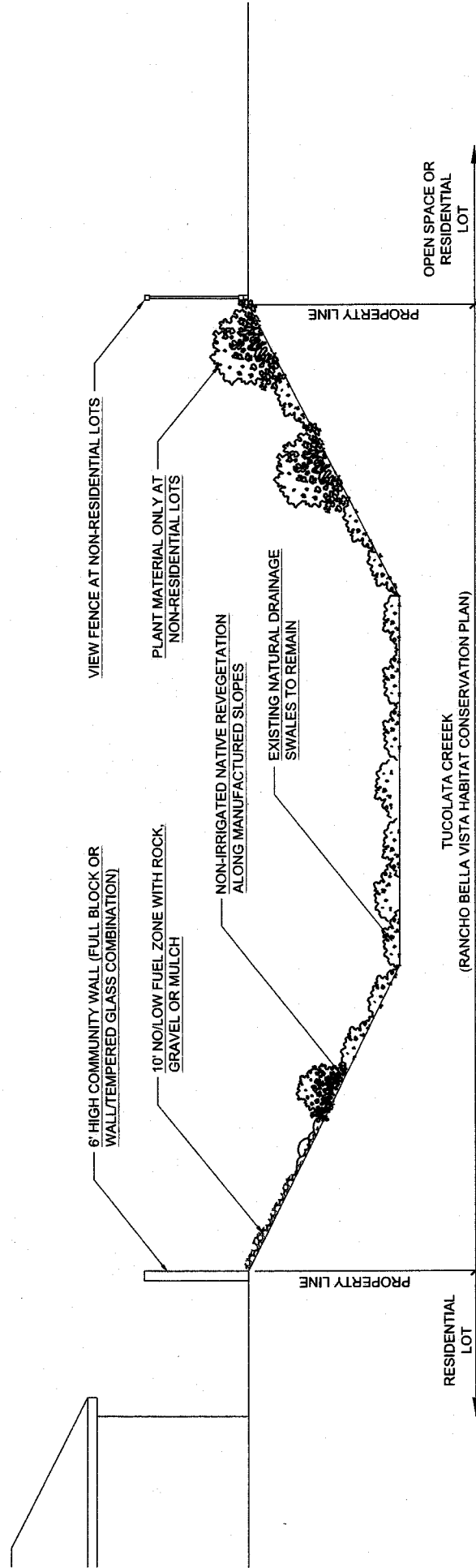


IV-16B

RANCHO BELLA VISTA

LENNAR HOMES
 391 NORTH MAIN STREET, SUITE 301 CORONA, CA 92880

Figure IV-11A
TYPICAL OPEN SPACE / DRAINAGE CORRIDOR
 EDGE CONDITION

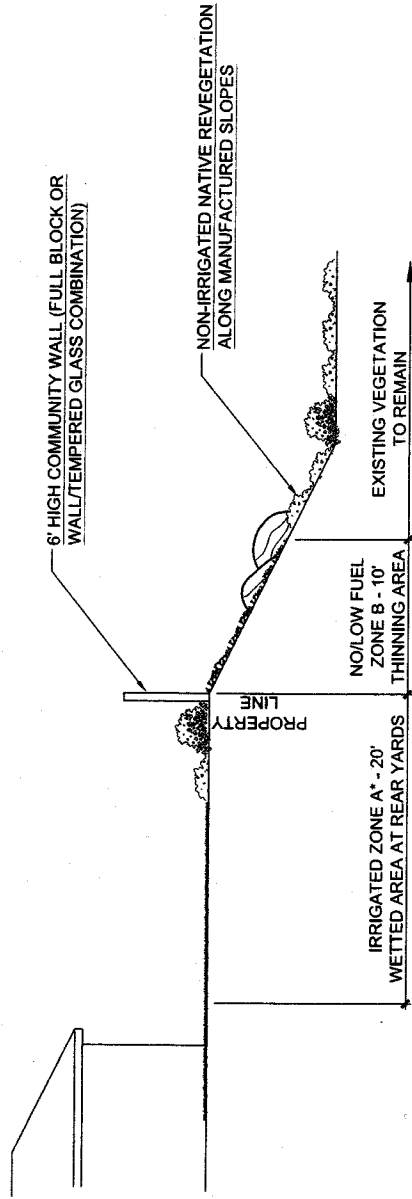


RANCHO BELLA VISTA

LENNAR HOMES
 391 NORTH MAIN STREET, SUITE 301 CORONA, CA 92880



Figure IV-12A
FIRE DEFENSIBLE SPACE



*SPECIES IN ZONE A MUST CONFORM TO THE APPROVED PLANT PALETTE, FOUND IN THE FIRE PROTECTION PLAN

RANCHO BELLA VISTA

LENNAR HOMES
 391 NORTH MAIN STREET, SUITE 301 CORONA, CA 92880

Figure IV-14

PLANNING AREA 13 - 6.2 6.1 ACRE PUBLIC ACTIVE PARK

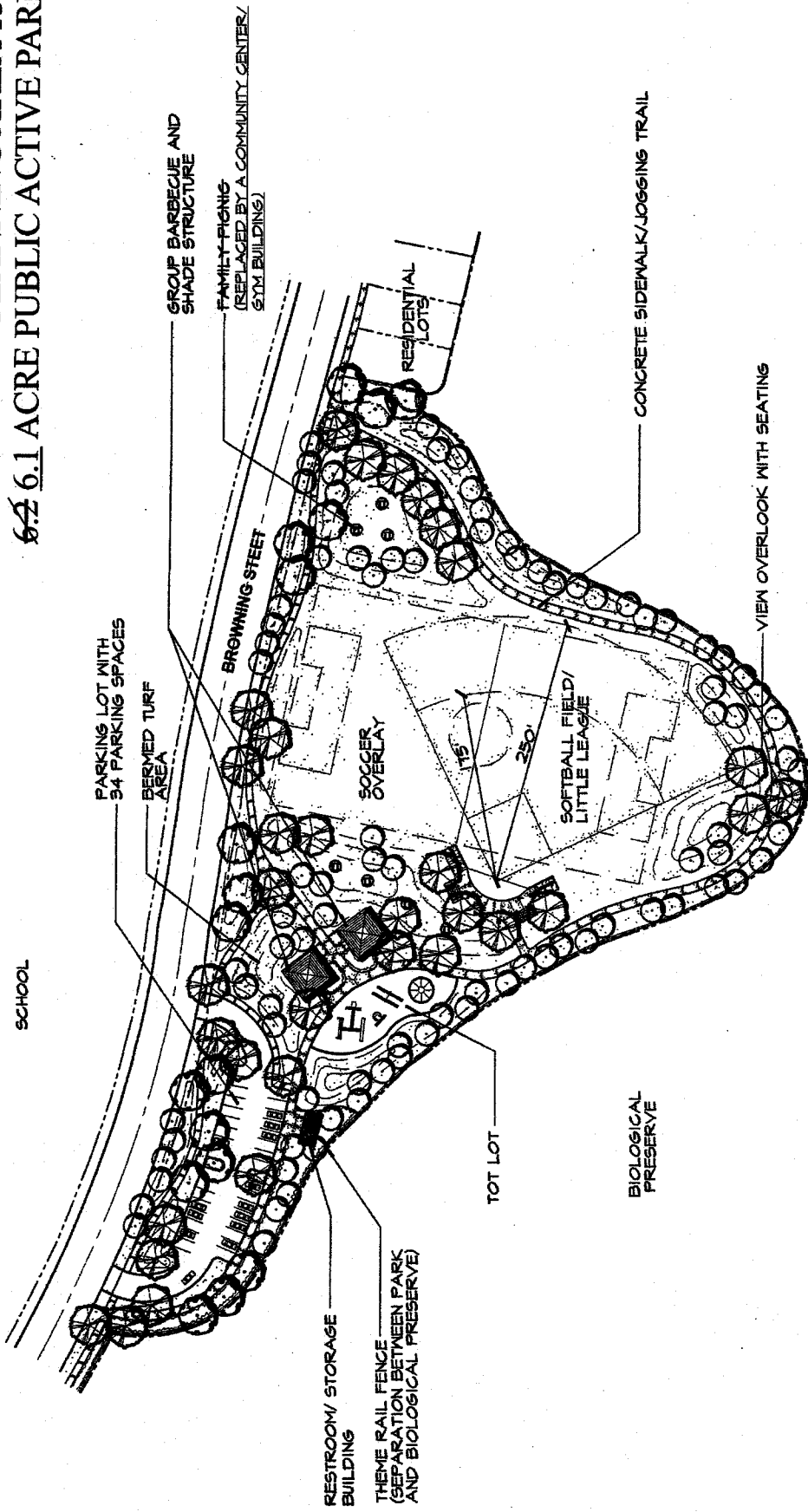
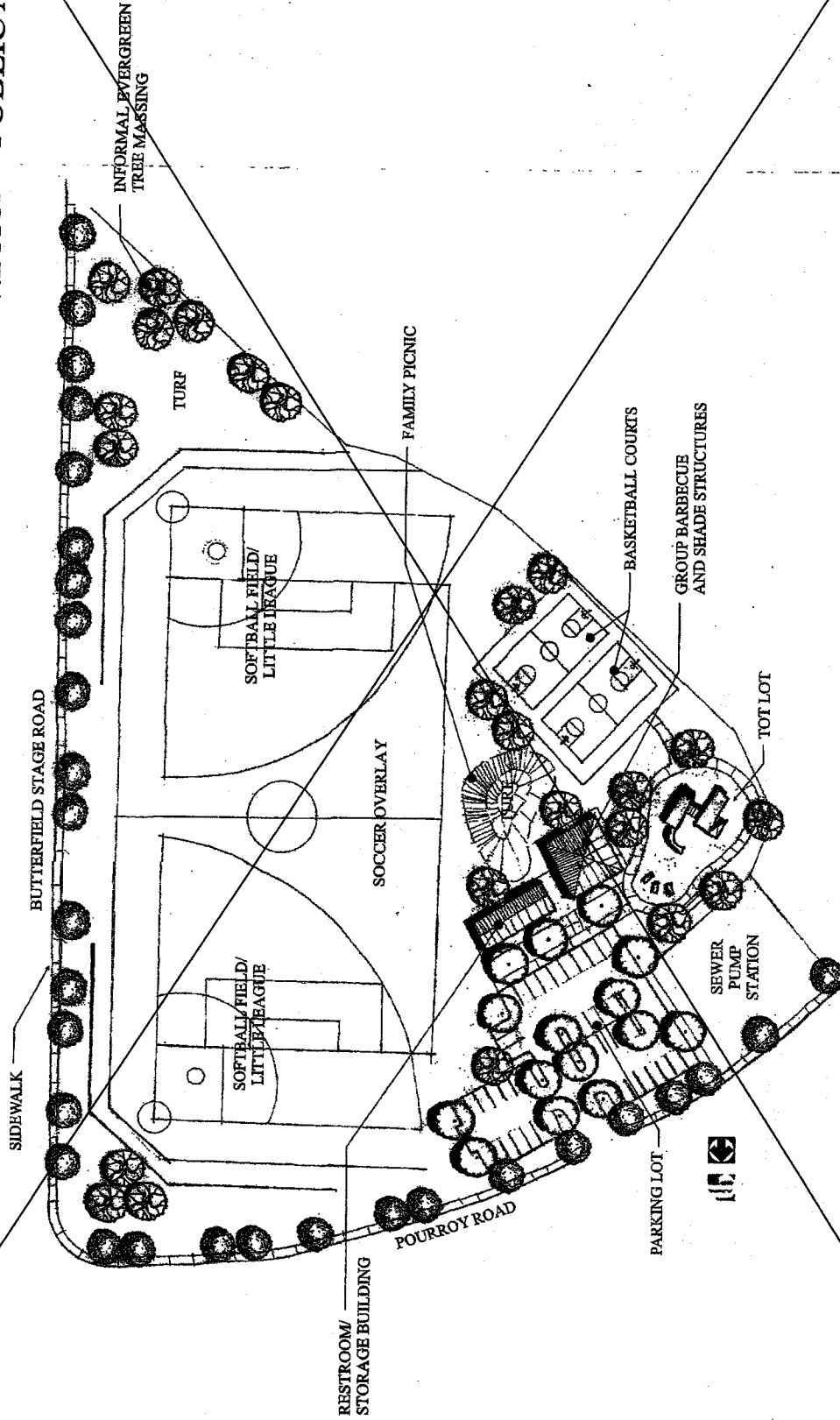


Figure IV-15

PLANNING AREA 4 - 7.2 ACRE PUBLIC ACTIVE PARK



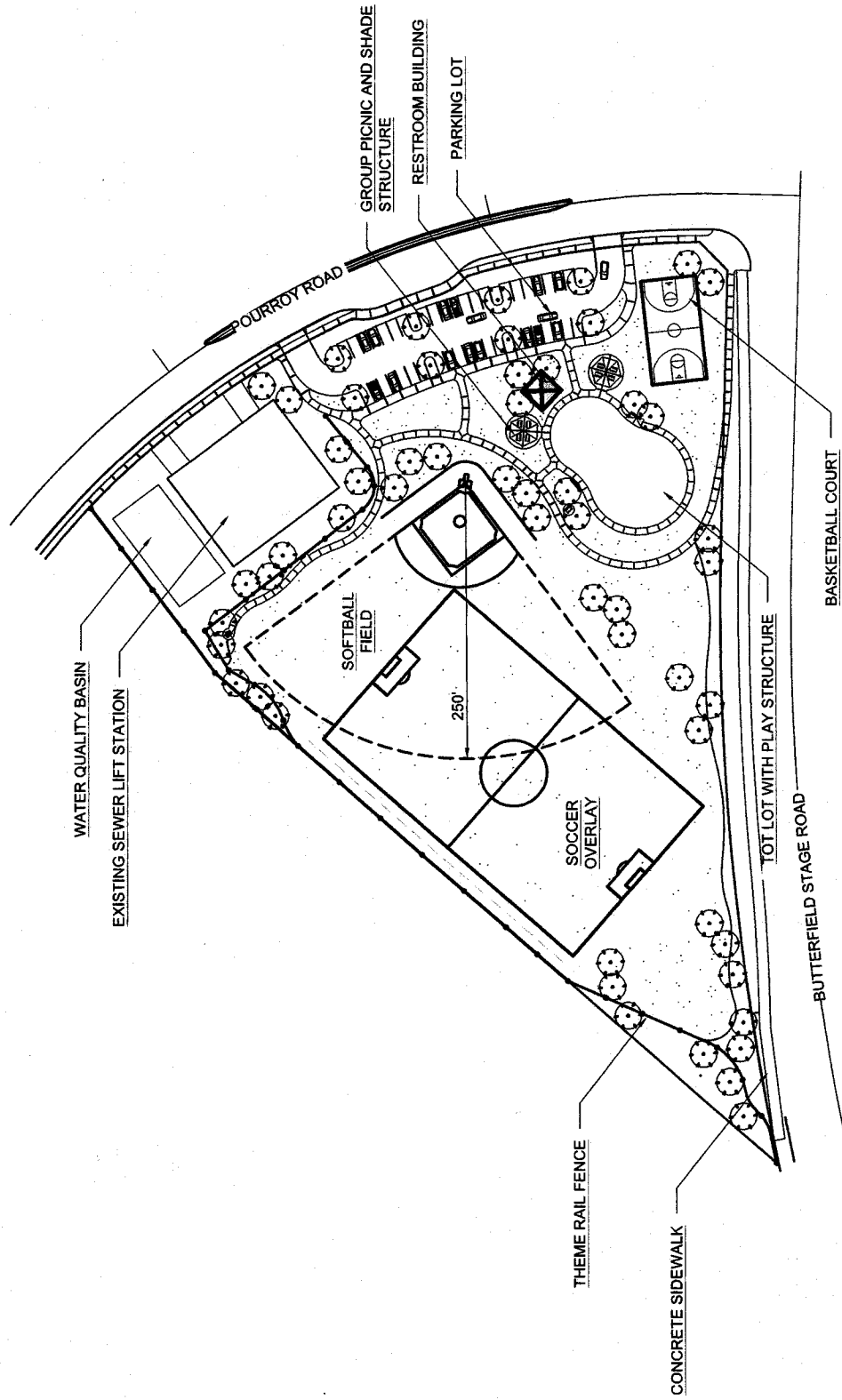
NA-30

Rancho Bella Vista

Rancho Bella Vista, LLC
43529 Ridge Park Drive, Temecula, CA 92590

Figure IV-15A

PLANNING AREA 4 6.1 ACRE ACTIVE PARK

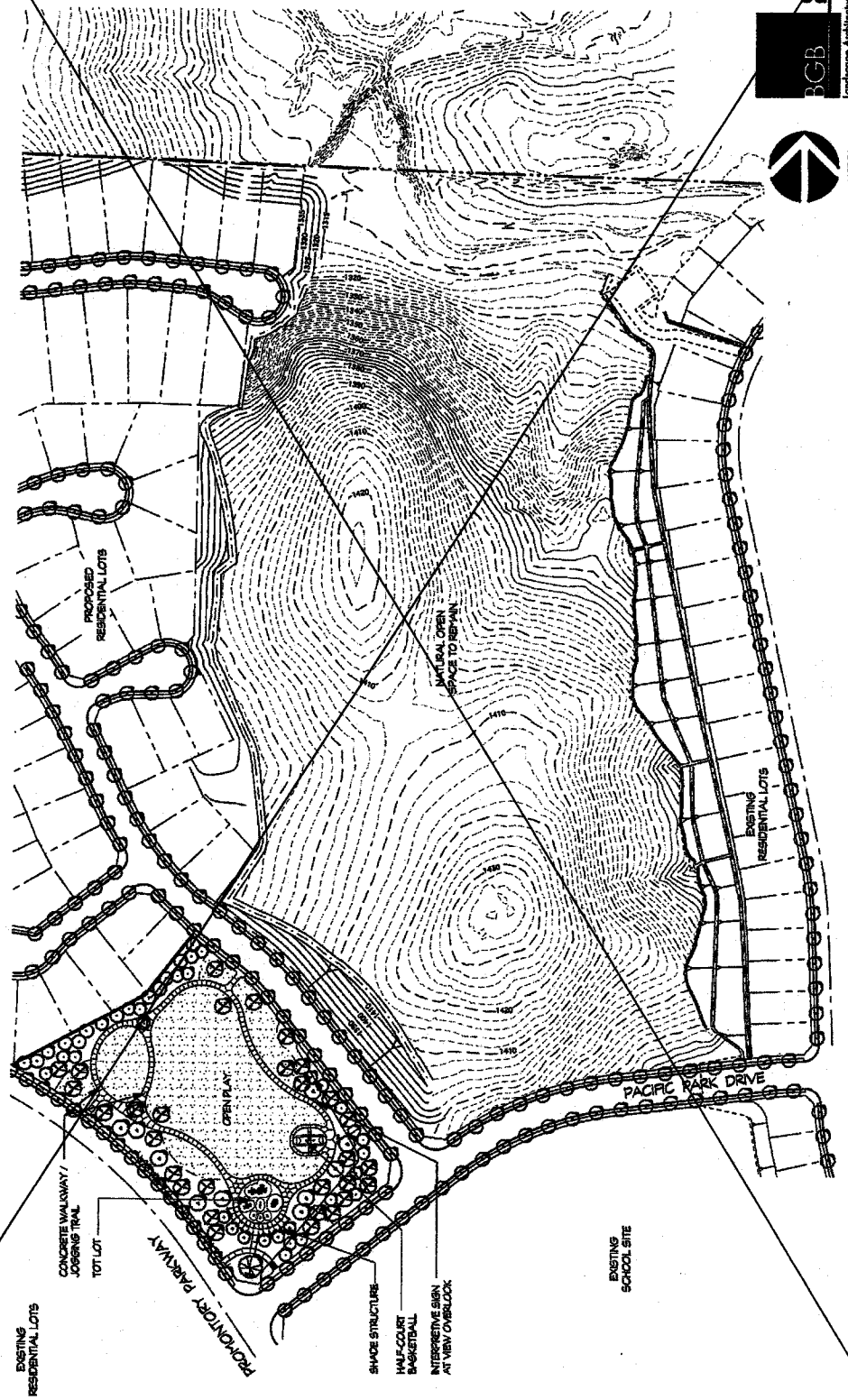


RANCHO BELLA VISTA

LENNAR HOMES
391 NORTH MAIN STREET, SUITE 301 CORONA, CA 92880

Figure IV-16

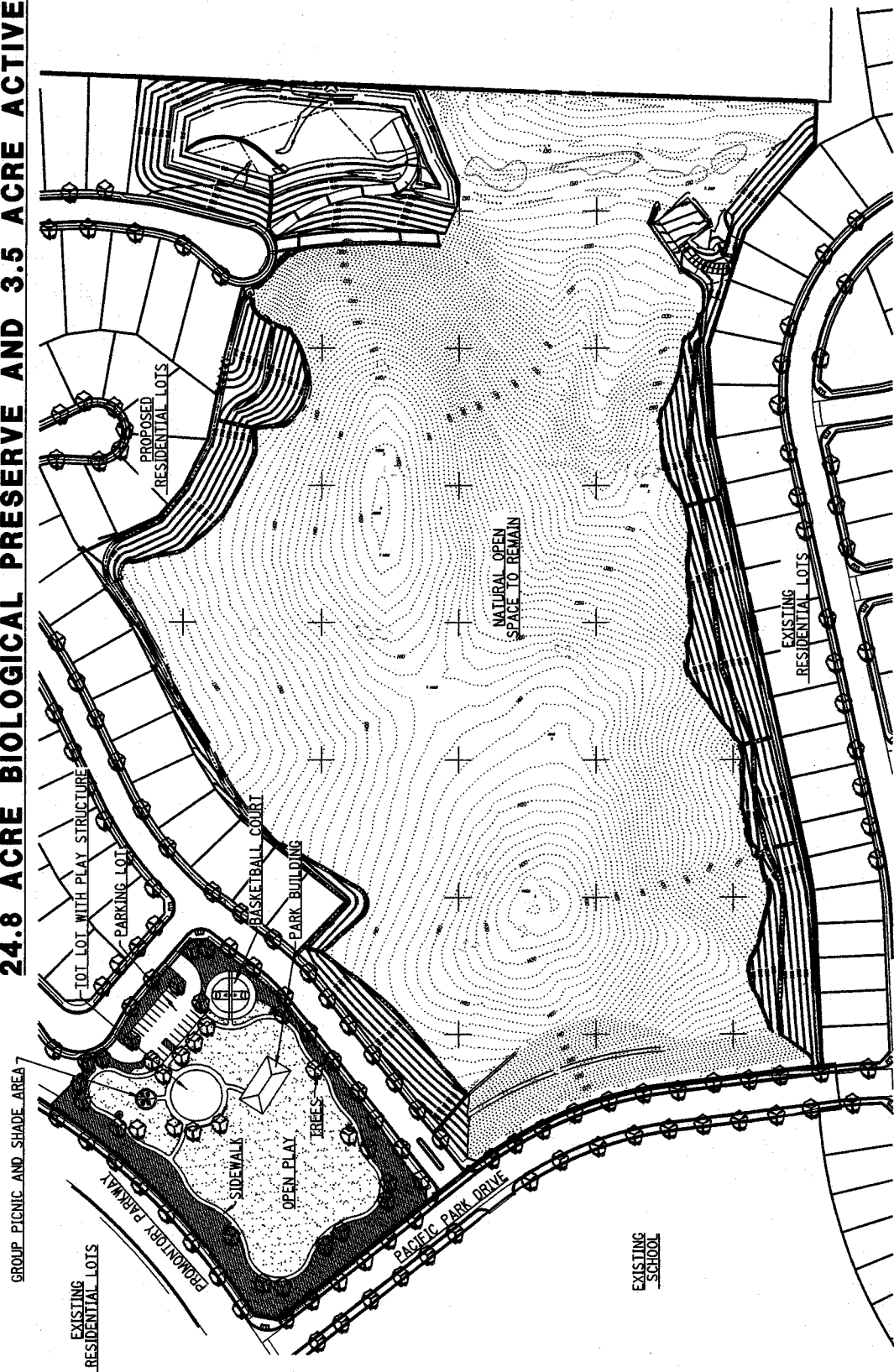
PLANNING AREA 8 - 27.5 29.2 ACRE PUBLIC PASSIVE AND ACTIVE PARK



Rancho Bella Vista




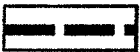
Rancho Bella Vista, LLC
43529 Ridge Park Drive, Temecula, CA 92590

PLANNING AREAS 8A AND 8B - 24.8 ACRE BIOLOGICAL PRESERVE AND 3.5 ACRE ACTIVE PARK



1223 UNIVERSITY AVENUE - SUITE 240
RIVERSIDE, CA 92507
PHONE: 951.762.0723
FAX: 951.762.0723
San Diego Orange Sacramento Phoenix Tucson

Rancho Bella Vista

-  COMMUNITY THEME SOLID WALL (FENCE TYPE A)
-  COMMUNITY THEME SOLID WALL & OPEN TUBULAR STEEL FENCE OR OPEN TUBULAR STEEL FENCE (FENCE TYPE B & C)
TYPE F OPTION AVAILABLE
ADJACENT TO PA 6A, 6B, 6C
-  BUILDER OPTIONAL COMMUNITY THEME SOLID WALL, SOLID WALL & OPEN TUBULAR STEEL FENCE, OR OPEN TUBULAR STEEL FENCE (FENCE TYPE A, B, & C)
VINYL OPTION AVAILABLE
-  COMMUNITY THEMATIC RAIL FENCE (FENCE TYPE E) VINYL OPTION AVAILABLE

NOTE: REFER TO COMMUNITY THEME WALLS AND FENCING ELEVATIONS (FIGURE 18) FOR GRAPHIC DEPICTION OF FENCING TYPES A, B, C, D, E & F
18 & 18A

WOOD FENCE (FENCE TYPE D) OCCURS ONLY BETWEEN RESIDENTIAL LOTS.
WOOD FENCES ARE NOT SHOWN ON THIS EXHIBIT. VINYL OPTION AVAILABLE.
SEE FIGURE IV-18A FOR VINYL OPTIONS

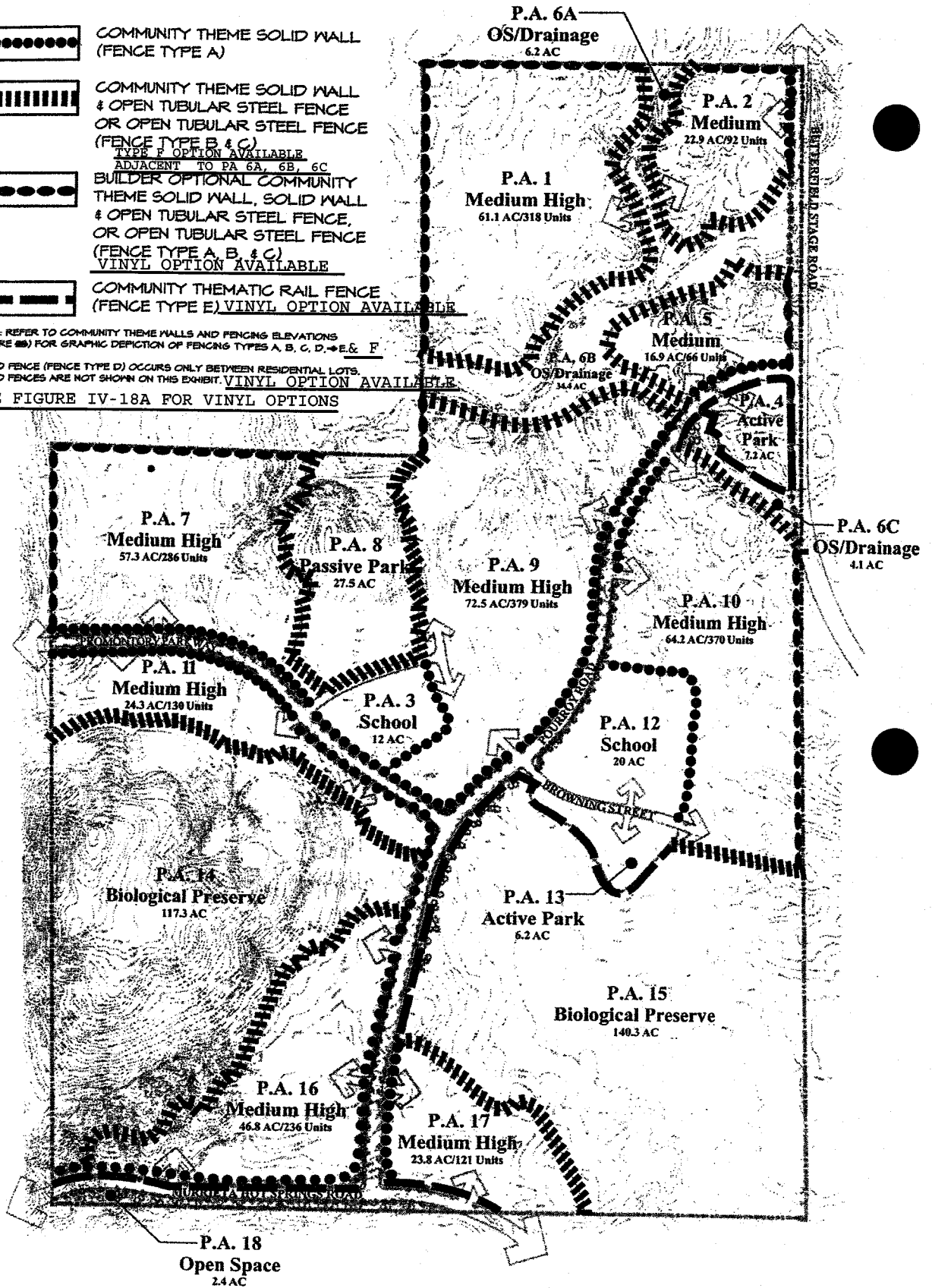


Figure IV-17

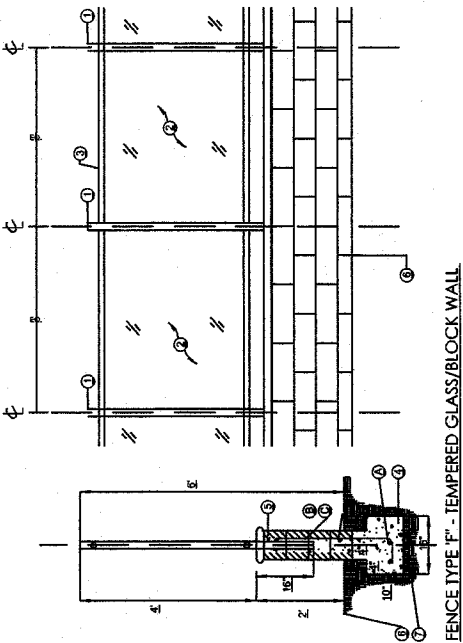
Rancho Bella Vista

CONCEPTUAL COMMUNITY FENCING PLAN

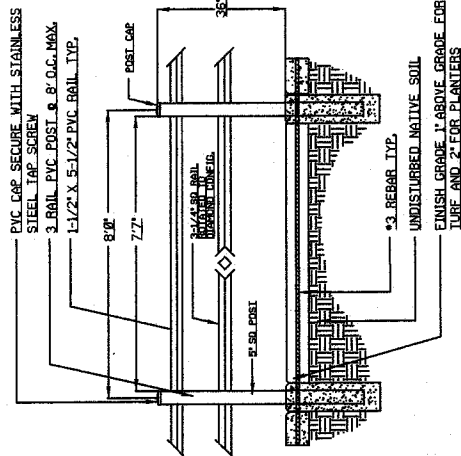
Rancho Bella Vista, LLC
43529 Ridge Park Drive, Temecula, CA 92590

CONCEPTUAL THEME WALLS AND FENCING ELEVATIONS SHEET 2

- 1 2" SQUARE TUBULAR STEEL POST
- 2 1/4" X 3/8" TEMPERED GLASS PANEL
- 3 1.88" SQUARE TUBULAR STEEL RAILS
(TOP & BOTTOM)
- 4 CONC. FOOTING PER FIN. SCHED.
REBAR
- 5 #4 CONT. (2 TOTAL)
- 6 #4 W. @ 24" O.C.
- 7 #4 (H) @ 18" O.C.
- 8 8" X 8" X 16" SLUMP BLOCK CMU
PACKED GROUT JOINTS. COLOR PER
FIN. SCHED.
- 9 FINISH GRADE
- 10 COMPACT SUBGRADE @ 95%



FENCE TYPE F' - TEMPERED GLASS/BLOCK WALL

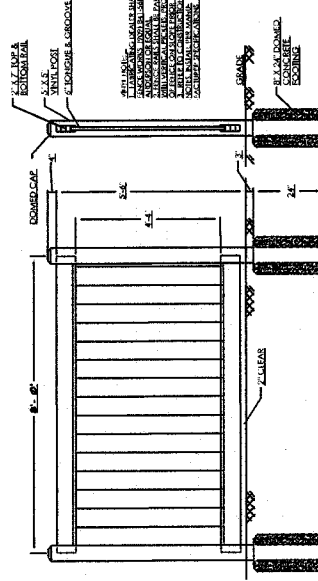
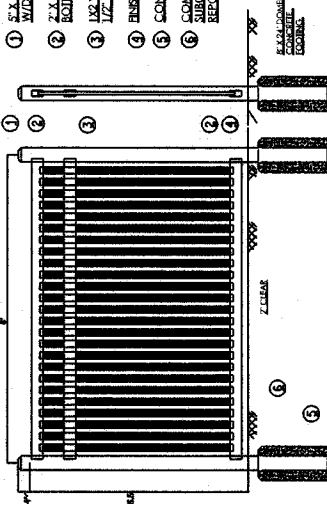


FENCE TYPE E' - VINYL OPTION

NOTE:
WHERE PVC FENCING IS ADJACENT TO CONCRETE OR TURE, PROVIDE A
CONCRETE MONICURB ALONG FENCE LINE.

- 1 VINYL NOTE:
VINYL FENCING DEALER SHALL BE ULTRA GUARD BY FENCE HOLES. (909) 841-5827 CONTACT.
2 FENCE RAILS SHALL BE PARALLEL TO FINISH GRADE WITH VERTICAL PICKETS. PROVIDE SHOP
DRAWINGS OF FENCE ON SLOPE PRIOR TO MANUFACTURING.
- 3 REFER TO CONSTRUCTION SPECS FOR VINYL FENCE NOTES. INSTALL PER MANUFACTURER
SPECIFICATIONS.

- 1 5/8" S. VINYL POST
W/DOMED CAP
- 2 2" X 4" TOP MIDDLE &
BOTTOM RAIL
- 3 1/2" VINYL PICKETS @ 3"
O.C.
- 4 FINISH GRADE
- 5 CONCRETE FOOTING
COMPACTED
SUBGRADE PER SOILS
REPORT



FENCE TYPE E' - VINYL OPTION



1223 UNIVERSITY AVENUE - SUITE 240
RYERSIDE, CA 92507
(909) 951-1766, 0723

San Diego San Jose Sacramento Phoenix Tucson
San Francisco

FIGURE IV-24
 TYPICAL RESIDENTIAL / WALK / STREET / PARK INTERFACE

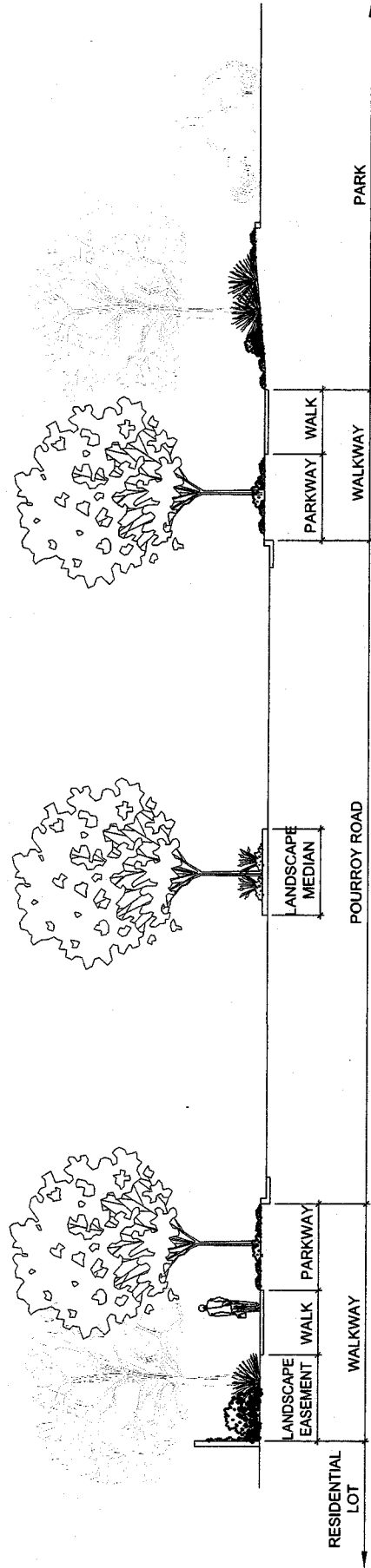
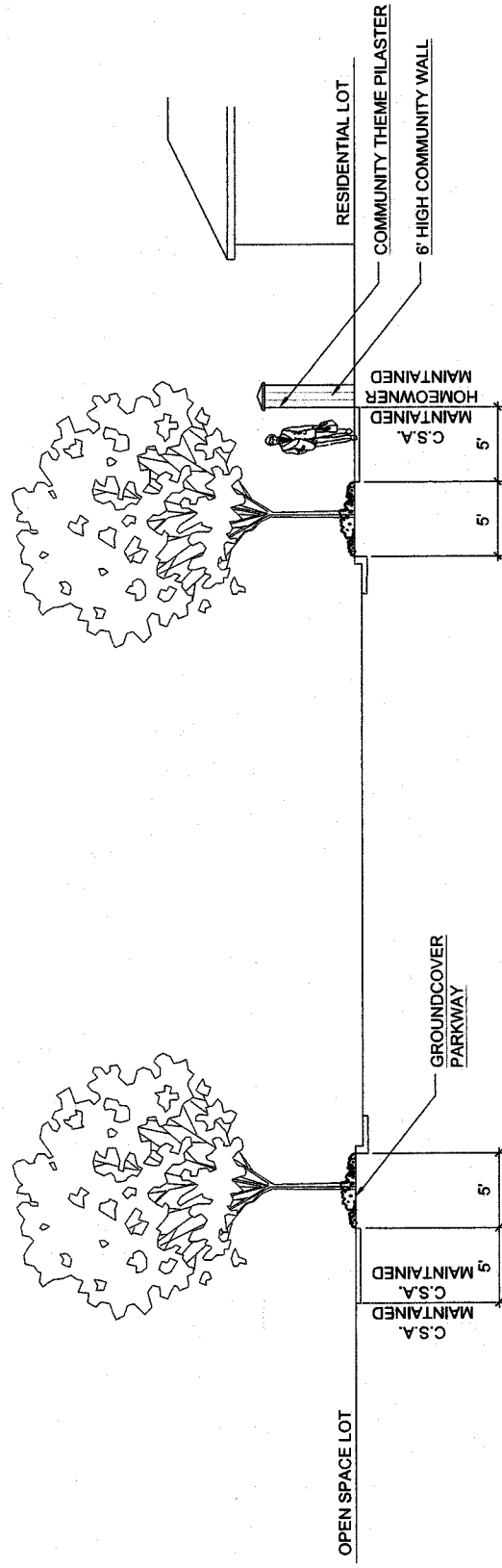


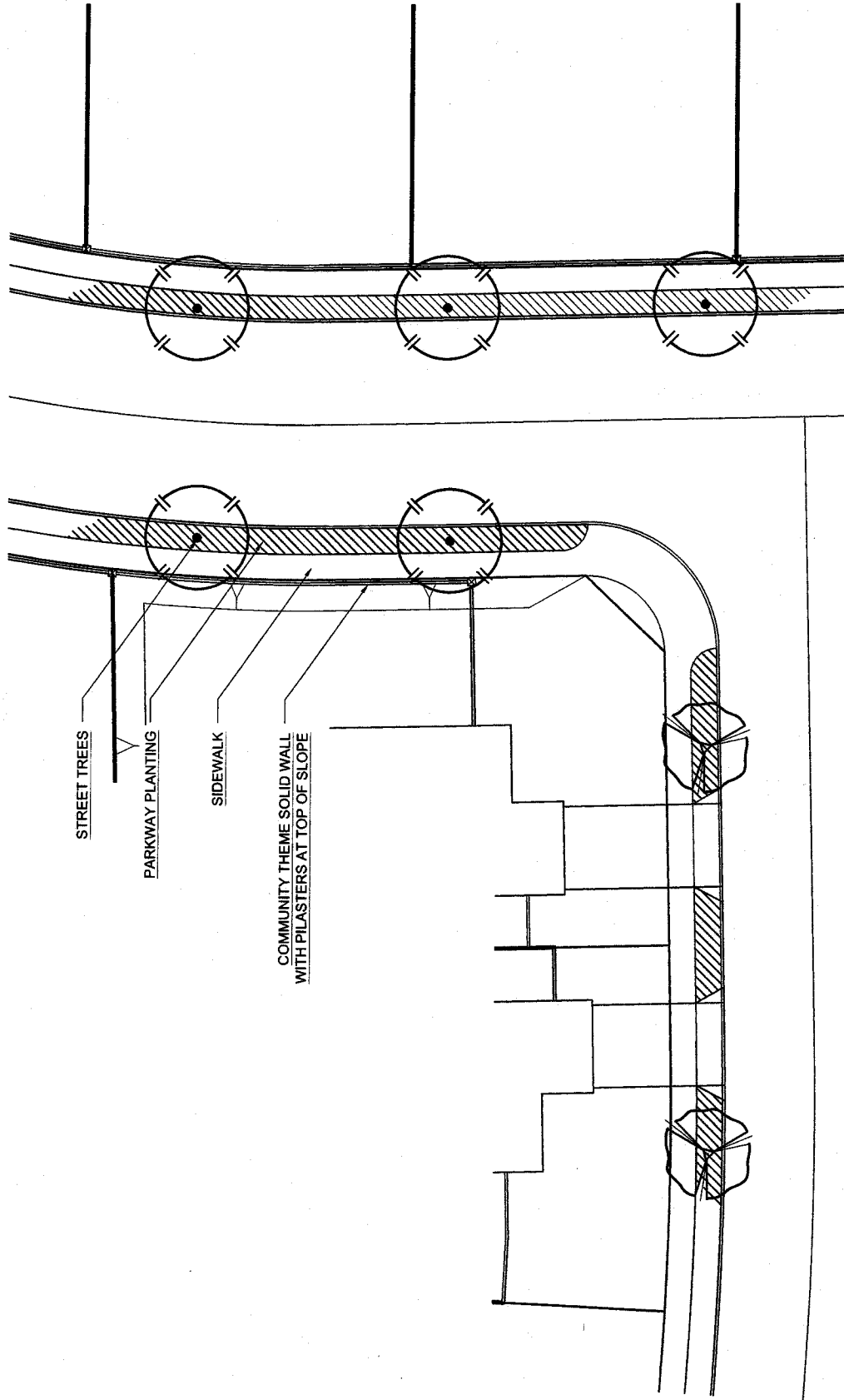
FIGURE IV-25
 LOCAL STREET SCENE AT RESIDENTIAL LAND
 USE-LEVEL CONDITION



RANCHO BELLA VISTA

LENNAR HOMES
 391 NORTH MAIN STREET, SUITE 301 CORONA, CA 92880

FIGURE IV-26
LOCAL ROAD STREET SCENE AT RESIDENTIAL
LAND USE-LEVEL CONDITION



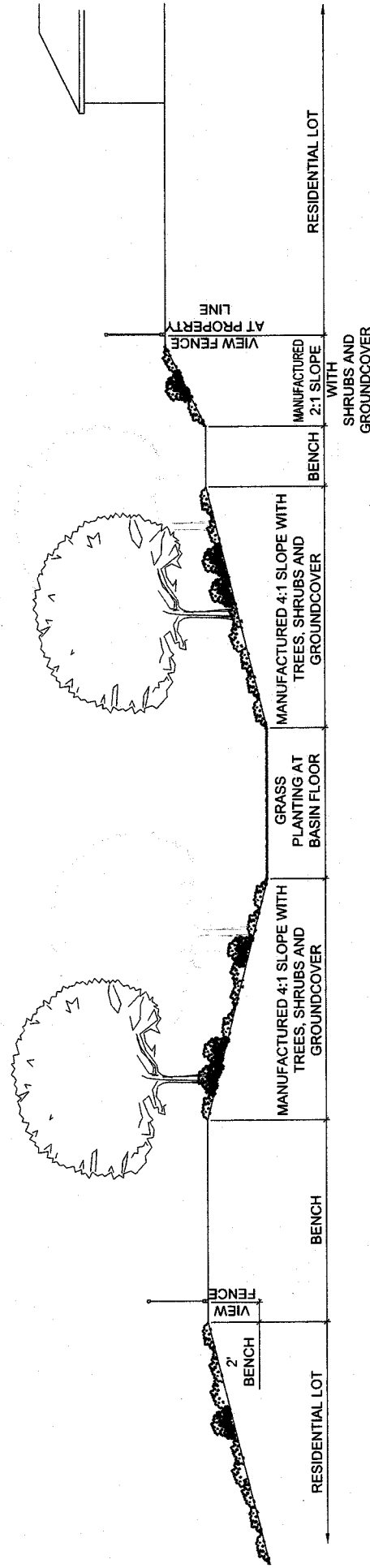
RANCHO BELLA VISTA

LENNAR HOMES
391 NORTH MAIN STREET, SUITE 301 CORONA, CA 92880

RICK
ENGINEERING COMPANY

IV-56C

FIGURE IV-27
 TYPICAL RESIDENTIAL / BASIN INTERFACE



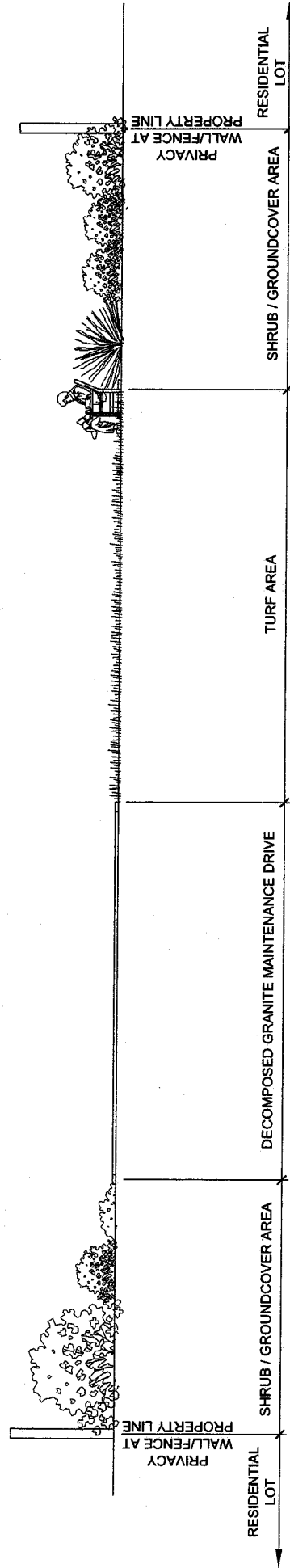
RANCHO BELLA VISTA

LENAR HOMES
 391 NORTH MAIN STREET, SUITE 301 CORONA, CA 92880



IV-55D

FIGURE IV-28
 TYPICAL RESIDENTIAL / SEWER LOT INTERFACE

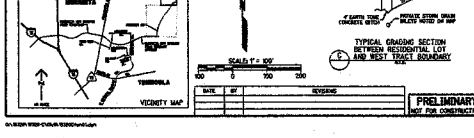
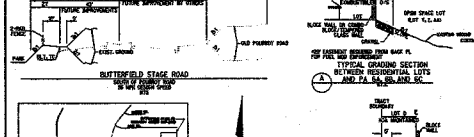
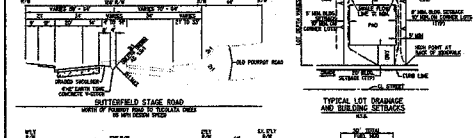
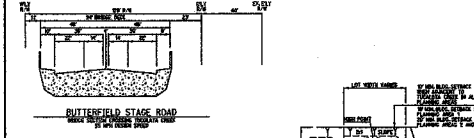
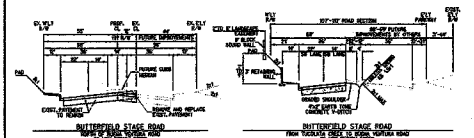
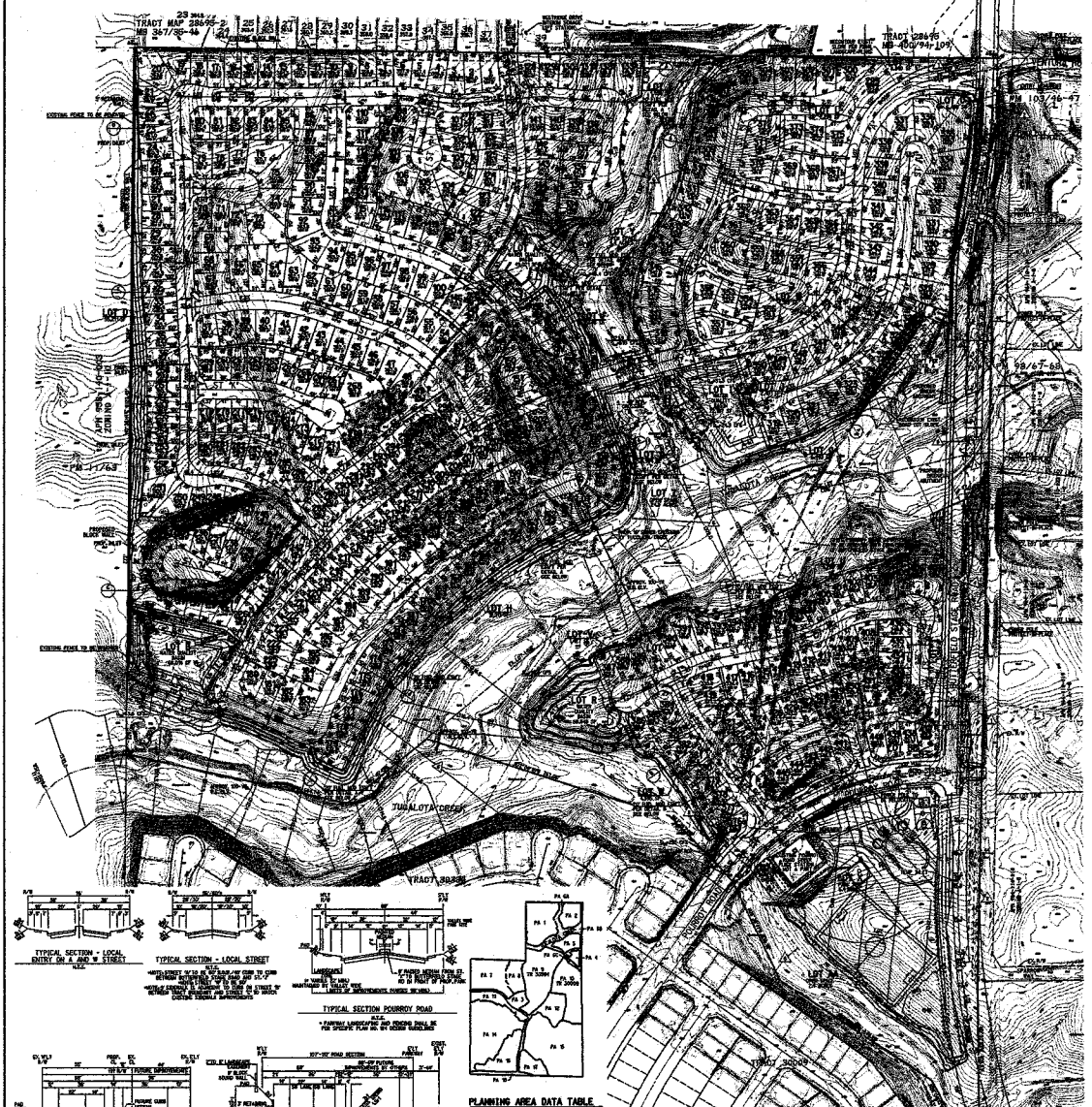


RANCHO BELLA VISTA

LENNAR HOMES
 391 NORTH MAIN STREET, SUITE 301 CORONA, CA 92880



IV-55E



PLANNING AREA DATA TABLE

Category	Value
Area	10.00
Population	1000
Density	100

UITY 79 POLICY CALCULATIONS

Policy	Value
Policy 1	100
Policy 2	200
Policy 3	300

LOT TABULATION

Lot No.	Area	Volume
1	100	1000
2	200	2000
3	300	3000

GENERAL NOTES

1. EXISTING CONDITIONS, INCLUDING EXISTING UTILITIES, SHALL BE MAINTAINED.
2. EXISTING LAND USE, ZONING, AND REGULATIONS SHALL BE MAINTAINED.
3. EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
4. PROPOSED UTILITIES SHALL BE MAINTAINED AND PROTECTED.
5. PROPOSED UTILITIES SHALL BE MAINTAINED AND PROTECTED.
6. PROPOSED UTILITIES SHALL BE MAINTAINED AND PROTECTED.
7. PROPOSED UTILITIES SHALL BE MAINTAINED AND PROTECTED.
8. PROPOSED UTILITIES SHALL BE MAINTAINED AND PROTECTED.
9. PROPOSED UTILITIES SHALL BE MAINTAINED AND PROTECTED.
10. PROPOSED UTILITIES SHALL BE MAINTAINED AND PROTECTED.
11. PROPOSED UTILITIES SHALL BE MAINTAINED AND PROTECTED.

RESIDENTIAL LOT

Lot No.	Area	Volume
1	100	1000
2	200	2000
3	300	3000

LEGEND

Symbol	Description
—	Proposed Road
—	Proposed Sidewalk
—	Proposed Utility Line
—	Proposed Easement
—	Proposed Right-of-Way
—	Proposed Boundary
—	Proposed Lot Size
—	Proposed Vertical Curve
—	Proposed Stationing
—	Proposed Elevation
—	Proposed Slope
—	Proposed Grade
—	Proposed Elevation
—	Proposed Slope
—	Proposed Grade

ENGINEER/CONTACT PERSON

DATE PREPARED: APRIL 12, 2011
 AMENDED: NO. 21 JANUARY 22, 2012
TENTATIVE TRACT MAP NO. 36376
 FORMERLY TRACT MAP 33004
 IN THE COUNTY OF RIVERSIDE, CALIFORNIA

ASSIGNOR'S PARCEL NUMBER

DATE PREPARED: APRIL 12, 2011
 AMENDED: NO. 21 JANUARY 22, 2012
TENTATIVE TRACT MAP NO. 36376
 FORMERLY TRACT MAP 33004
 IN THE COUNTY OF RIVERSIDE, CALIFORNIA

DATE PREPARED: APRIL 12, 2011
AMENDED: NO. 21 JANUARY 22, 2012
TENTATIVE TRACT MAP NO. 36376
 FORMERLY TRACT MAP 33004
 IN THE COUNTY OF RIVERSIDE, CALIFORNIA

DATE PREPARED: APRIL 12, 2011
AMENDED: NO. 21 JANUARY 22, 2012
TENTATIVE TRACT MAP NO. 36376
 FORMERLY TRACT MAP 33004
 IN THE COUNTY OF RIVERSIDE, CALIFORNIA

DATE PREPARED: APRIL 12, 2011
AMENDED: NO. 21 JANUARY 22, 2012
TENTATIVE TRACT MAP NO. 36376
 FORMERLY TRACT MAP 33004
 IN THE COUNTY OF RIVERSIDE, CALIFORNIA

DATE PREPARED: APRIL 12, 2011
AMENDED: NO. 21 JANUARY 22, 2012
TENTATIVE TRACT MAP NO. 36376
 FORMERLY TRACT MAP 33004
 IN THE COUNTY OF RIVERSIDE, CALIFORNIA

DATE PREPARED: APRIL 12, 2011
AMENDED: NO. 21 JANUARY 22, 2012
TENTATIVE TRACT MAP NO. 36376
 FORMERLY TRACT MAP 33004
 IN THE COUNTY OF RIVERSIDE, CALIFORNIA

Residence 1



Preliminary

LENNAR.COM

Alicante at Rancho Bella Vista • 38190 Fairbrook Dr., Murrieta, CA

CASE #: TR36376, AMD. #2
EXHIBIT: B (Sheets 1-11)
DATED: 3/26/12
PLANNER: C. HINOJOSA

PA 1, 4500 SF
PA 5, 4500 SF

Residence 2



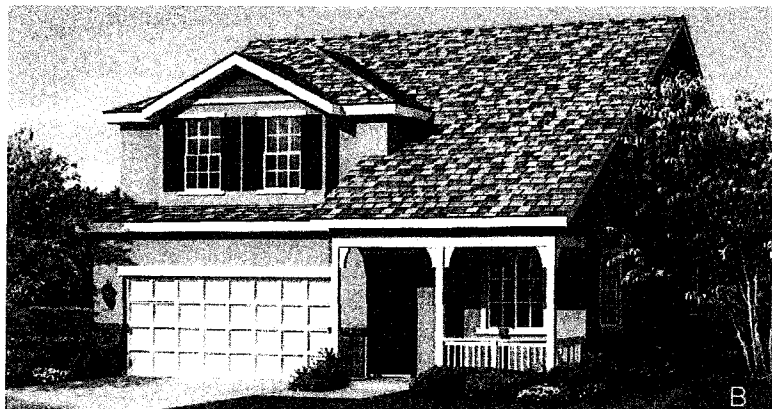
Preliminary

LENNAR.COM

Alicante at Rancho Bella Vista • 38190 Fairbrook Dr., Murrieta, CA 92563

PA 1, 4500 SF
PA 5, 4500 SF

Residence 3

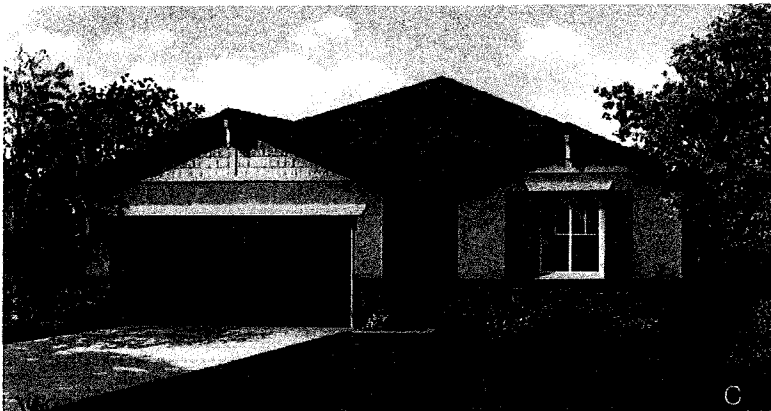
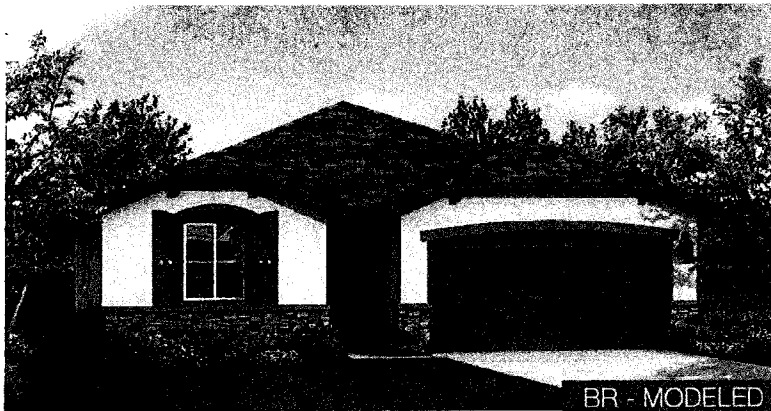


Preliminary

LENNAR.COM

Alicante at Rancho Bella Vista • 38190 Fairbrook Dr., Murrieta, CA 92563

Residence 1

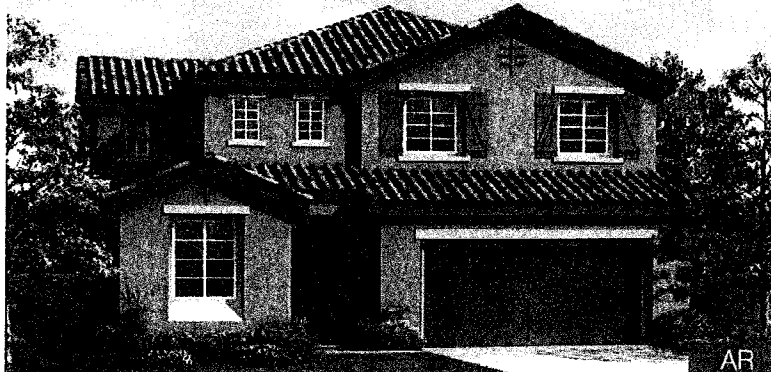


Preliminary

LENNAR.COM

Paloma at Rancho Bella Vista • 38190 Fairbrook Dr., Murrieta, CA 92563

Residence 2



Preliminary

LENNAR.COM

Paloma at Rancho Bella Vista • 38190 Fairbrook Dr., Murrieta, CA 92563

Residence 3



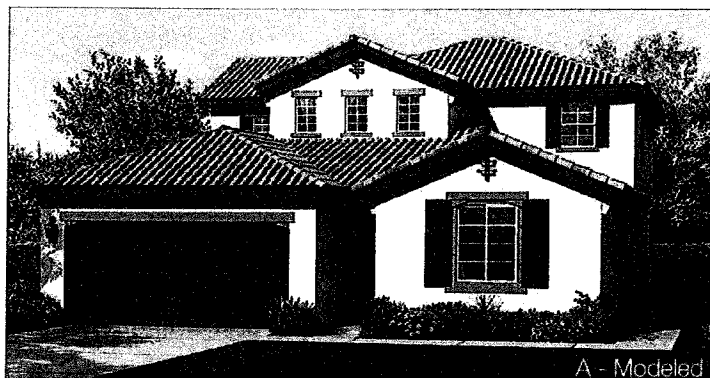
Preliminary

LENNAR.COM

Paloma at Rancho Bella Vista • 38190 Fairbrook Dr., Murrieta, CA 92563

NEXT GENSM

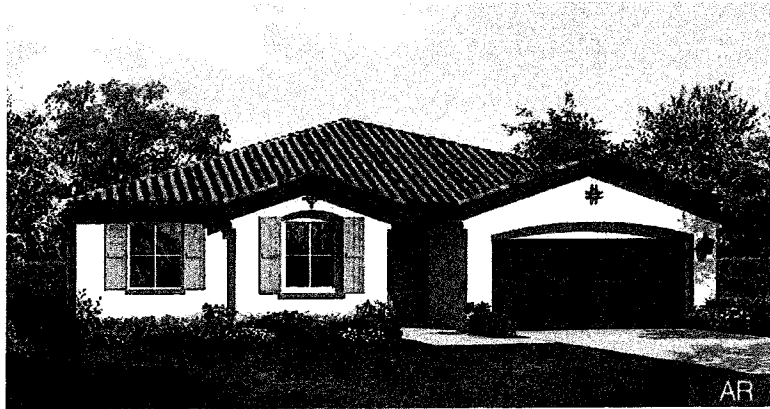
THE HOME WITHIN A HOMESM



LENNAR.COM

Paloma at Ranch Bella Vista • 38190 Fairbrook Dr., Murrieta, CA 92563

Residence 1

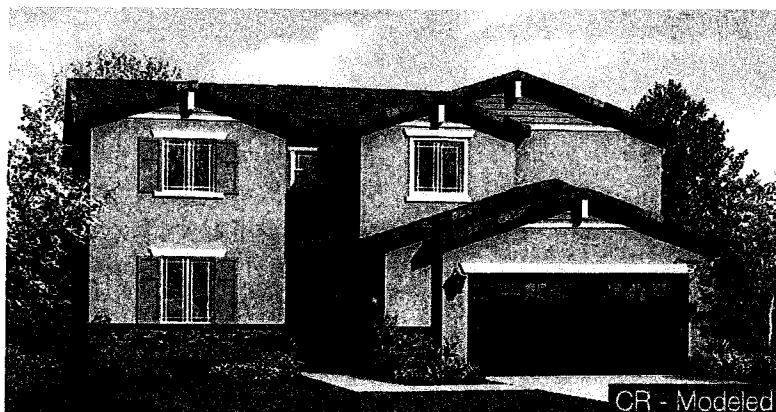


Preliminary

LENNAR.COM

Montelena at Rancho Bella Vista • 38180 Spring Canyon Drive, Murrieta, CA 92563

Residence 2

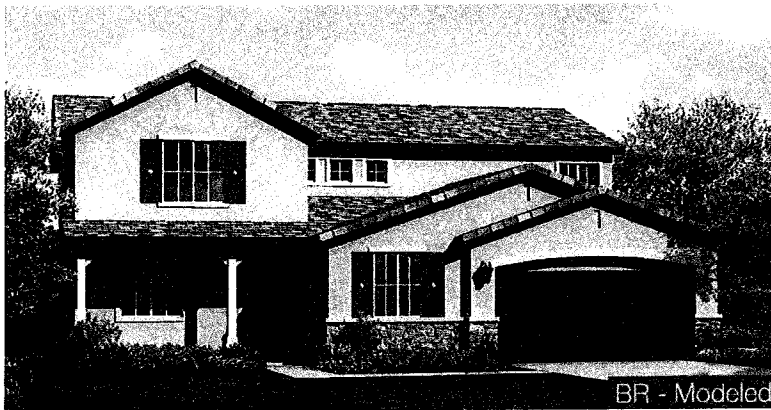
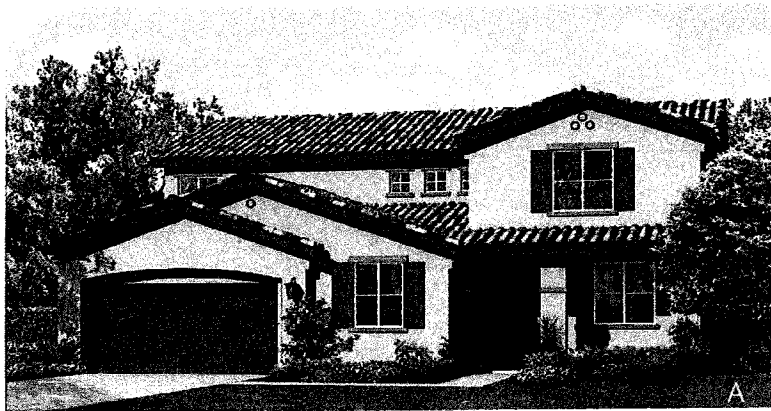


Preliminary

LENNAR.COM

Montelena at Rancho Bella Vista • 38180 Spring Canyon Drive, Murrieta, CA 92563

Residence 3

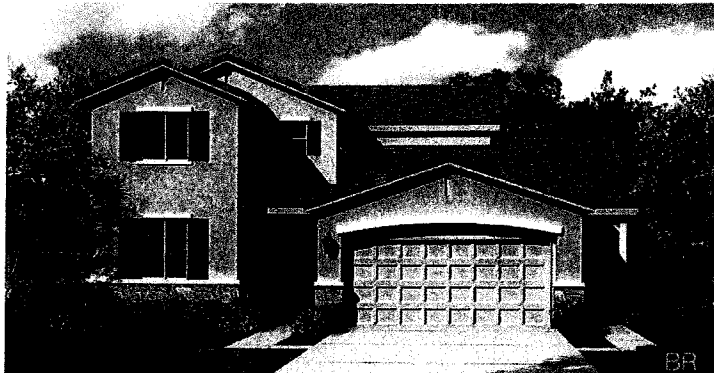


Preliminary

LENNAR.COM

Montelena at Rancho Bella Vista • 38180 Spring Canyon Drive, Murrieta, CA 92563

NEXT GENSM Residence 1



Preliminary



LENNAR.COM

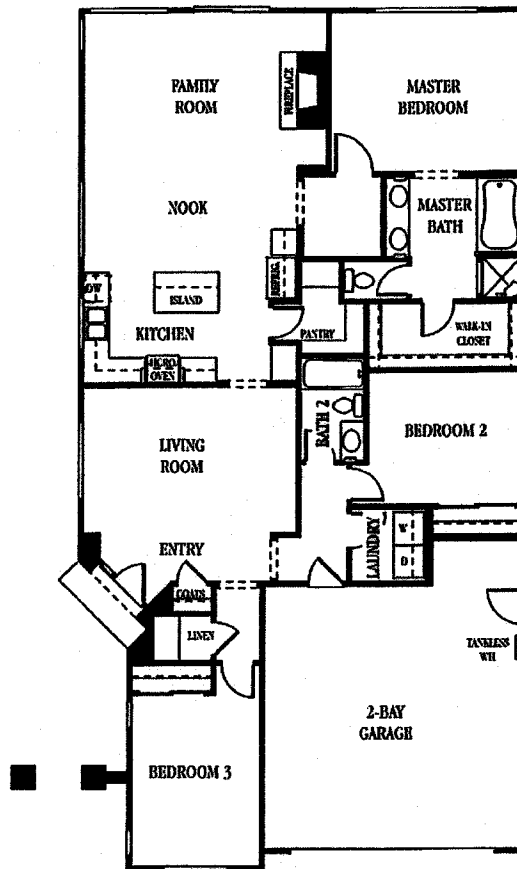
Montelena at Rancho Bella Vista • 38180 Spring Canyon Drive, Murrieta, CA 92563

Residence 1

(Modeled)

1 Story | 3 Bedrooms | 2 Baths | Family Room with Fireplace | Separate Living Room
Oversized Linen | Walk-in Pantry | 2-Bay Garage Plus Storage

Approx. 1,782 Sq. Ft.



Preliminary

LENNAR.COM

Alicante at Rancho Bella Vista • 38190 Fairbrook Dr., Murrieta, CA 92563



Floorplans and elevations are artist's renderings and may contain options, which are not standard on all models. Lennar reserves the right to make changes to these floorplans, specifications, dimensions and elevations without prior notice. Stated dimensions and square footage are approximate and should not be used as representation of the home's precise or actual size. Any statement, verbal or written, regarding "under air" or "finished area" or any other description or modifier of the square footage size of any home is a shorthand description of the manner in which the square footage was estimated and should not be construed to indicate certainty. Bay sizes may vary from home to home and may not accommodate all vehicles. Copyright © 2011 Lennar Corporation. All rights reserved. Lennar and its subsidiaries are registered trademarks or service marks of Lennar Corporation and/or its subsidiaries. Lennar Homes of California, Inc.—License #728102. Lennar S

LENNAR

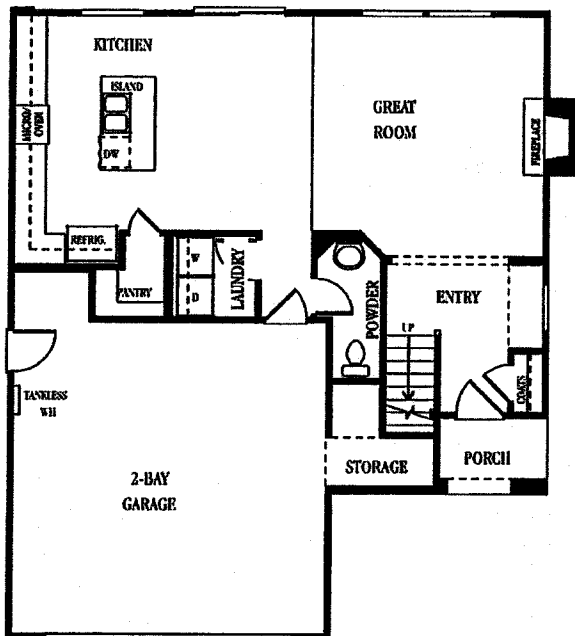
CASE #: TR36376, AMD. #2
EXHIBIT: C (Sheets 1-11)
DATED: 3/26/12
PLANNER: C. HINOJOSA

PA 1, 4500 SF
PA 5, 4500 SF

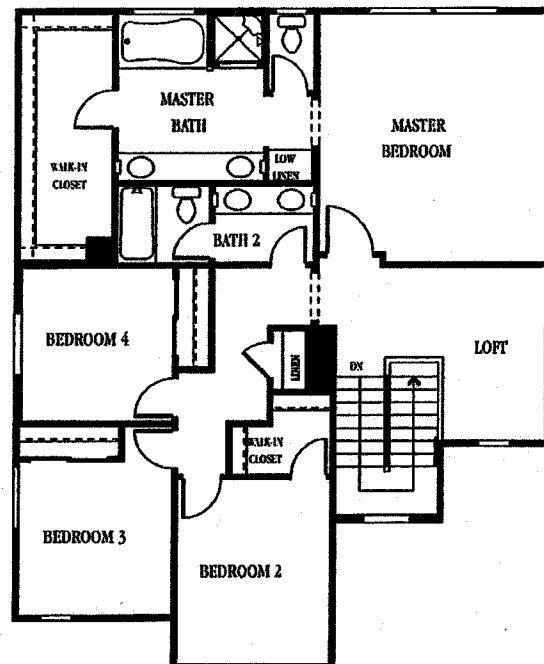
Residence 2

2 Story | 4 Bedrooms Plus Loft | 2.5 Baths | Great Room with Fireplace
Oversized Linen | Walk-in Pantry | 2-Bay Garage Plus Storage

Approx. 2,017 Sq. Ft.



FIRST FLOOR



SECOND FLOOR

Preliminary

LENNAR.COM

Alicante at Rancho Bella Vista • 38190 Fairbrook Dr., Murrieta, CA 92563



Floorplans and elevations are artist's renderings and may contain options, which are not standard on all models. Lennar reserves the right to make changes to these floorplans, specifications, dimensions and elevations without prior notice. Stated dimensions and square footage are approximate and should not be used as representation of the home's precise or actual size. Any statement, verbal or written, regarding "under air" or "finished area" or any other description or modifier of the square footage size of any home is a shorthand description of the manner in which the square footage was estimated and should not be construed to indicate certainty. Bay sizes may vary from home to home and may not accommodate all vehicles. Copyright © 2011 Lennar Corporation. All rights reserved. Lennar and the Lennar logo are registered service marks or service marks of Lennar Corporation and/or its subsidiaries. Lennar Homes of California, Inc. - License #728102. Lennar Sales Corp. - DRE License #01252753. 09/11

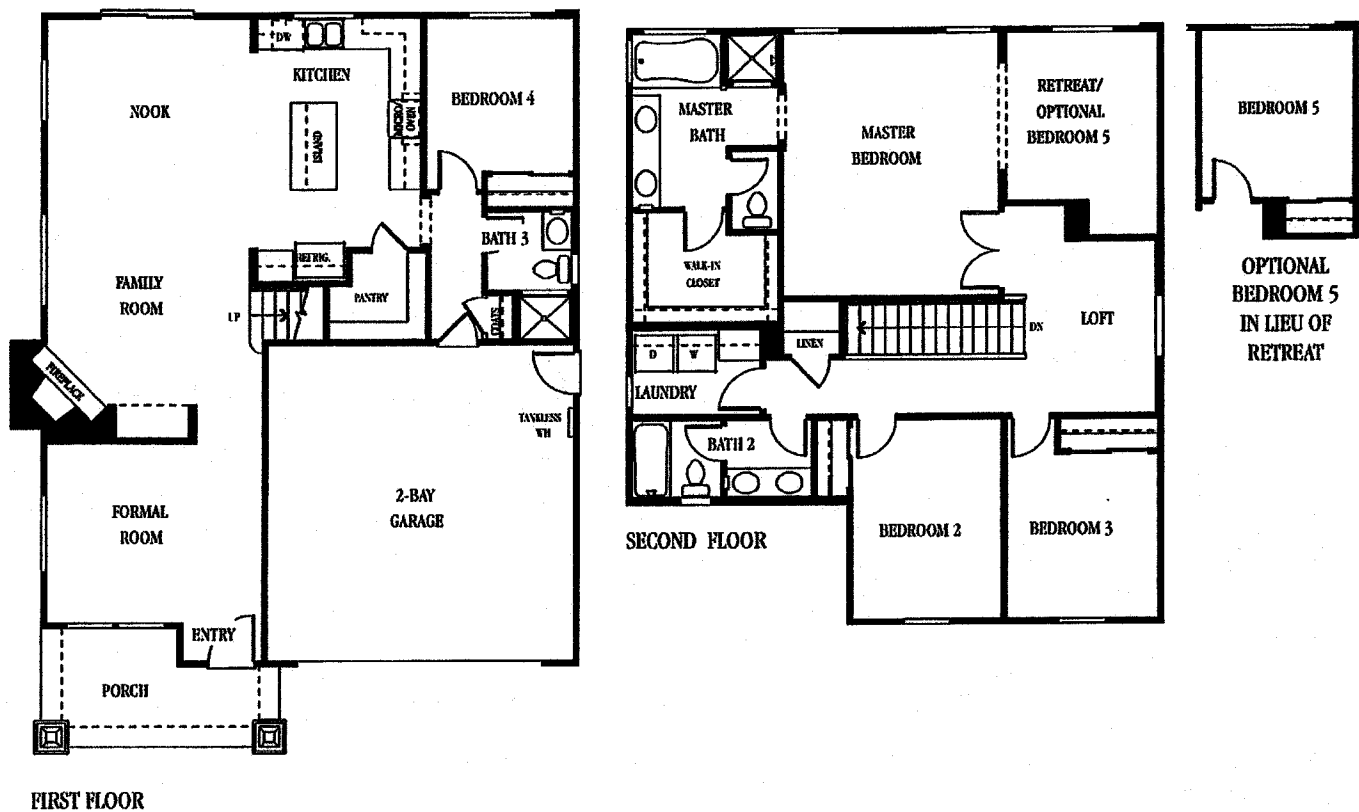
LENNAR

Residence 3

(Modeled)

2 Story | 4 Bedrooms Plus Loft | 3 Baths | Family Room with Fireplace | Living Room
Oversized Linen | Master Bedroom with Retreat | 2-Bay Garage

Approx. 2,277 Sq. Ft.



Preliminary

LENNAR.COM

Alicante at Rancho Bella Vista • 38190 Fairbrook Dr., Murrieta, CA 92563



Floorplans and elevations are artist's renderings and may contain options, which are not standard on all models. Lennar reserves the right to make changes to these floorplans, specifications, dimensions and elevations without prior notice. Stated dimensions and square footage are approximate and should not be used as representation of the home's precise or actual size. Any statement, verbal or written, regarding "under air" or "finished area" or any other description or modifier of the square footage size of any home is a shorthand description of the manner in which the square footage was estimated and should not be construed to indicate certainty. Bay sizes may vary from home to home and may not accommodate all vehicles. Copyright © 2011 Lennar Corporation. All rights reserved. Lennar and the Lennar logo are registered service marks or service marks of Lennar Corporation and/or its subsidiaries. Lennar Homes of California, Inc.—License #728102. Lennar Sales Corp.— DRE License #01252753. 09/11

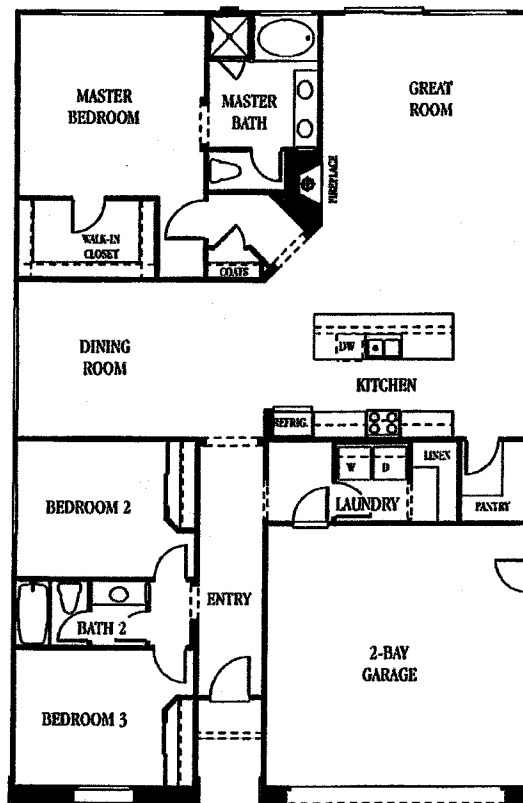
LENNAR

Residence 1

(Modeled)

1 Story | 3 Bedrooms | 2 Baths | Great Room with Fireplace | Dining Room
Walk-in Linen | Walk-in Pantry | 2-Bay Garage

Approx. 1,940 Sq. Ft.



Preliminary

LENNAR.COM

Paloma at Rancho Bella Vista • 38190 Fairbrook Dr., Murrieta, CA 92563



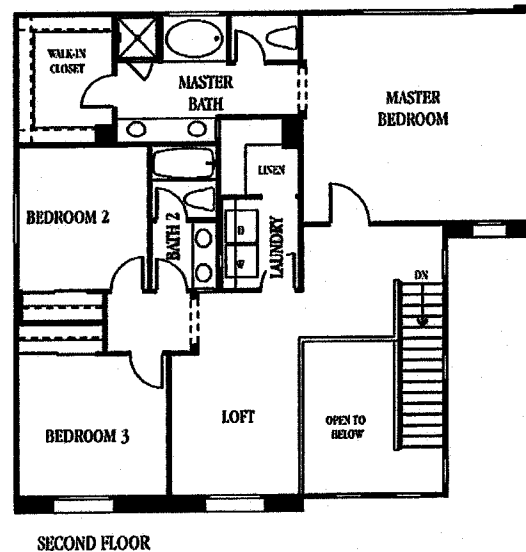
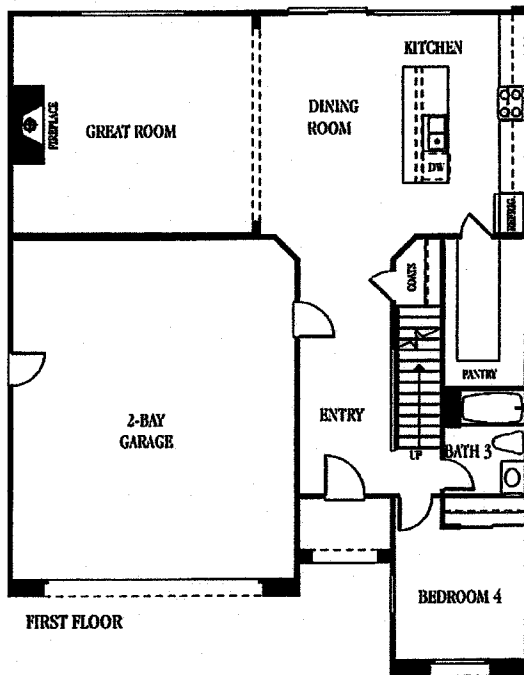
Floorplans and elevations are artist's renderings and may contain options, which are not standard on all models. Lennar reserves the right to make changes to these floorplans, specifications, dimensions and elevations without prior notice. Stated dimensions and square footage are approximate and should not be used as representation of the home's precise or actual size. Any statement, verbal or written, regarding "under air" or "finished area" or any other description or modifier of the square footage size of any home is a shorthand description of the manner in which the square footage was estimated and should not be construed to indicate certainty. Bay sizes may vary from home to home and may not accommodate all vehicles. Copyright © 2011 Lennar Corporation. All rights reserved. Lennar and the Lennar logo are registered service marks or service marks of Lennar Corporation and/or its subsidiaries. Lennar Homes of California, Inc.—License #728102. Lennar Sales Corp.— DRE License #01252753. 09/11

LENNAR

Residence 2

2 Story | 4 Bedrooms Plus Loft | 3 Baths | Great Room with Fireplace
Walk-in Linen | Walk-in Pantry | 2-Bay Garage with Storage

Approx. 2,409 Sq. Ft.



Preliminary

LENNAR.COM

Paloma at Rancho Bella Vista • 38190 Fairbrook Dr., Murrieta, CA 92563



Floorplans and elevations are artist's renderings and may contain options, which are not standard on all models. Lennar reserves the right to make changes to these floorplans, specifications, dimensions and elevations without prior notice. Stated dimensions and square footage are approximate and should not be used as representation of the home's precise or actual size. Any statement, verbal or written, regarding "under air" or "finished area" or any other description or modifier of the square footage size of any home is a shorthand description of the manner in which the square footage was estimated and should not be construed to indicate certainty. Bay sizes may vary from home to home and may not accommodate all vehicles. Copyright © 2011 Lennar Corporation. All rights reserved. Lennar and the Lennar logo are registered service marks or service marks of Lennar Corporation and/or its subsidiaries. Lennar Homes of California, Inc. - License #728102. Lennar Sales Corp. - DRE License #01252753. 09/11

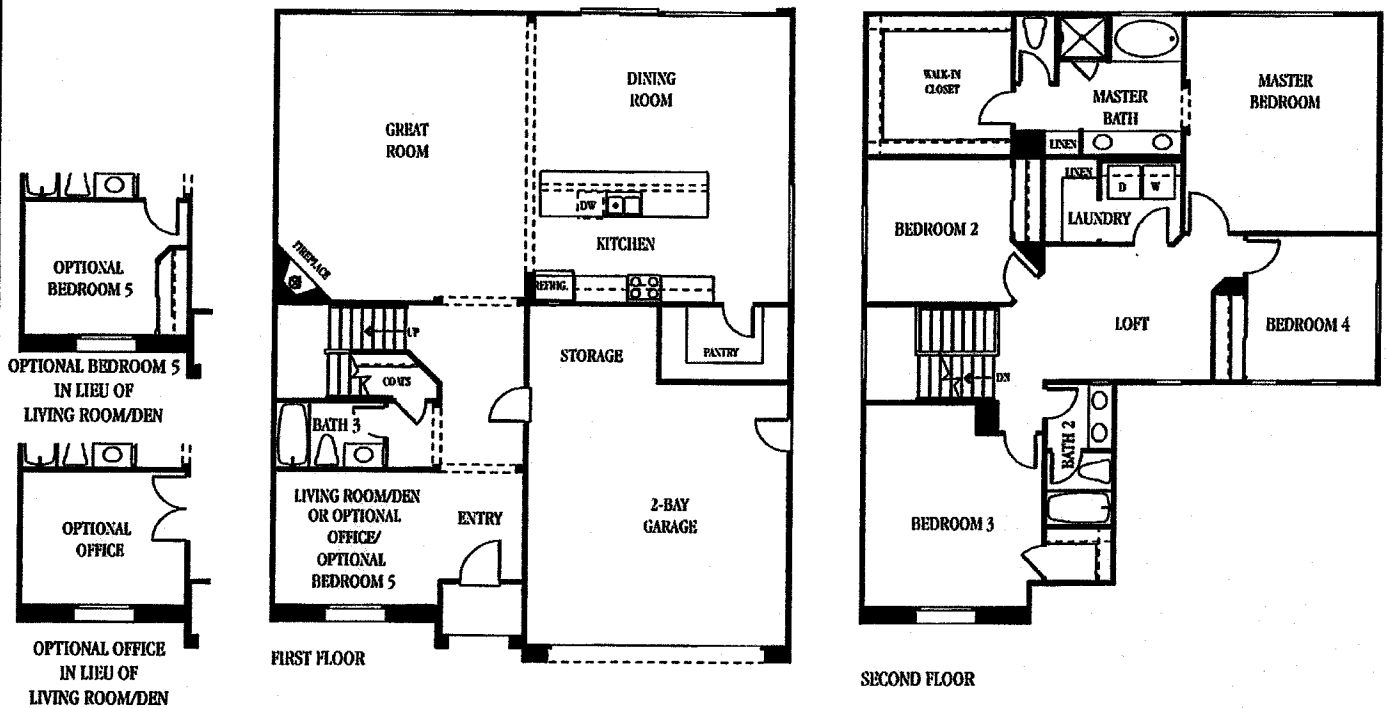
LENNAR

Residence 3

(Modeled)

2 Story | 4 Bedrooms Plus Loft | 3 Baths | Great Room with Fireplace | Living Room/Den
Walk-in Linen | Walk-in Pantry | Master Bedroom | 2-Bay Garage Plus Storage

Approx. 2,809 Sq. Ft.



Preliminary

LENNAR.COM

Paloma at Rancho Bella Vista • 38190 Fairbrook Dr., Murrieta, CA 92563



Floorplans and elevations are artist's renderings and may contain options, which are not standard on all models. Lennar reserves the right to make changes to these floorplans, specifications, dimensions and elevations without prior notice. Stated dimensions and square footage are approximate and should not be used as representation of the home's precise or actual size. Any statement, verbal or written, regarding "under air" or "finished area" or any other description or modifier of the square footage size of any home is a shorthand description of the manner in which the square footage was estimated and should not be construed to indicate certainty. Bay sizes may vary from home to home and may not accommodate all vehicles. Copyright © 2011 Lennar Corporation. All rights reserved. Lennar and the Lennar logo are registered service marks or service marks of Lennar Corporation and/or its subsidiaries. Lennar Homes of California, Inc. — License #728102. Lennar Sales Corp. — DRE License #01252753. 09/11

LENNAR

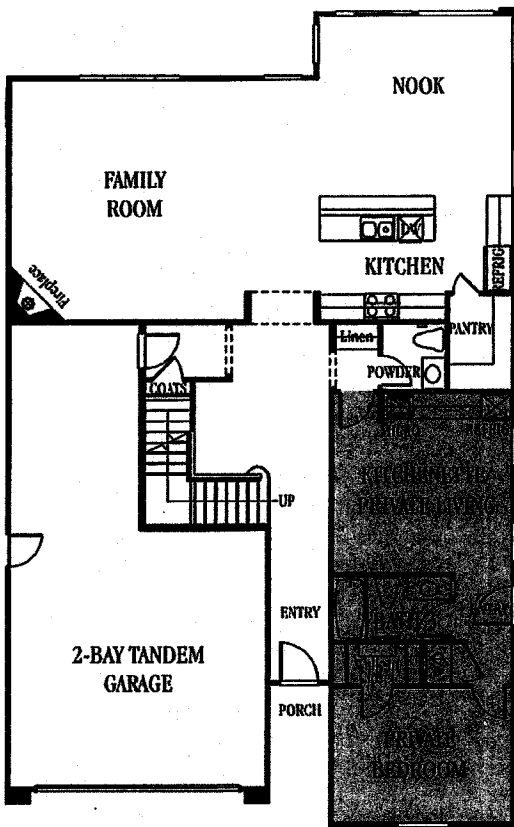


NEXT GENSM

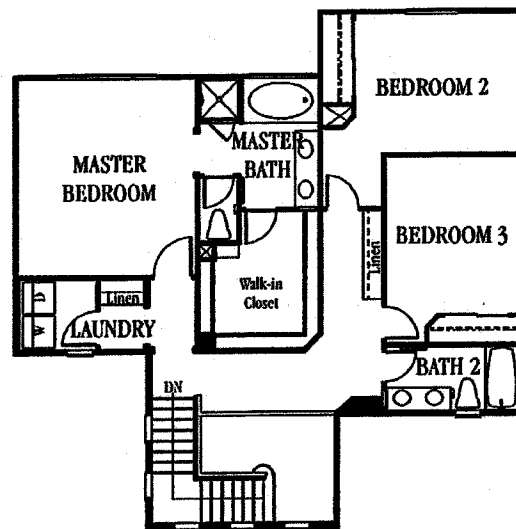
THE HOME WITHIN A HOMESM

Main Home - 2 Stories | 3 Bedrooms | 2½ Baths | Family Room With Fireplace
Nook | 2-Bay Tandem Garage

Next Gen Suite - 1 Bedroom | Private Living and Kitchenette | Laundry | 1 Bath | Separate Entrance



FIRST FLOOR



SECOND FLOOR

2,831 Square Feet



LENNAR.COM

Paloma at Ranch Bella Vista • 38190 Fairbrook Dr., Murrieta, CA 92563



Floorplans and elevations are artist's renderings and may contain options, which are not standard on all models. Lennar reserves the right to make changes to these floorplans, specifications, dimensions and elevations without prior notice. Stated dimensions and square footage are approximate and should not be used as representation of the home's precise or actual size. Any statement, verbal or written, regarding "under air" or "finished area" or any other description or modifier of the square footage size of any home is a shorthand description of the manner in which the square footage was estimated and should not be construed to indicate certainty. Bay sizes may vary from home to home and may not accommodate all vehicles. Copyright © 2012 Lennar Corporation. All rights reserved. Lennar and the Lennar logo are registered service marks or service marks of Lennar Corporation and/or its subsidiaries. Lennar Homes of California, Inc. — License #728102. Lennar Sales Corp. — DRE License #01252753. 3/12

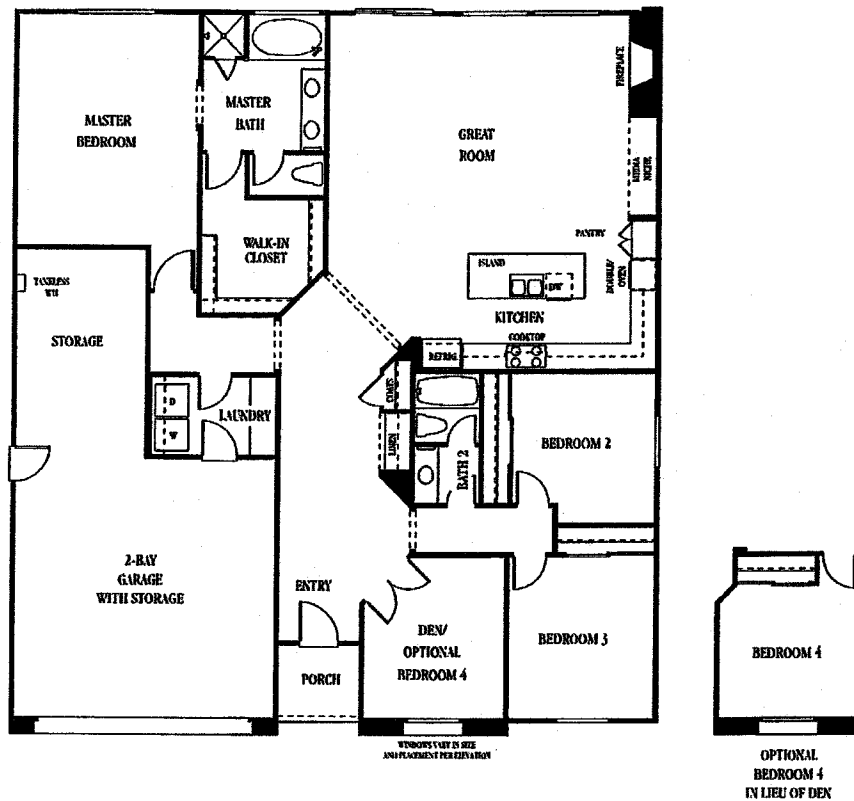
LENNAR

Residence 1

NOT MODELED

1 Story | 3 Bedrooms plus Den or Optional Bedroom 4 | 2 Baths
Great Room with Fireplace | 2-Bay Garage with Storage

Approx. 2,129 Sq. Ft.



Preliminary

LENNAR.COM

Montelena at Rancho Bella Vista • 38180 Spring Canyon Drive, Murrieta, CA 92563



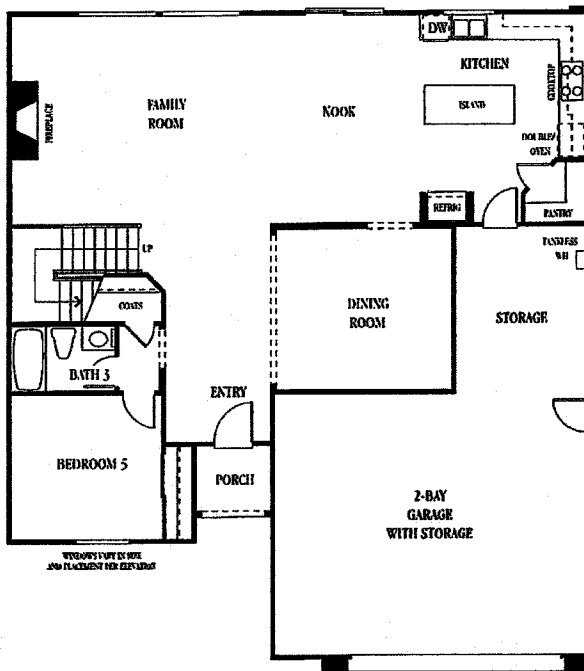
Floorplans and elevations are artist's renderings and may contain options, which are not standard on all models. Lennar reserves the right to make changes to these floorplans, specifications, dimensions and elevations without prior notice. Stated dimensions and square footage are approximate and should not be used as representation of the home's precise or actual size. Any statement, verbal or written, regarding "under air" or "finished area" or any other description or modifier of the square footage size of any home is a shorthand description of the manner in which the square footage was estimated and should not be construed to indicate certainty. Bay sizes may vary from home to home and may not accommodate all vehicles. Copyright © 2011 Lennar Corporation. All rights reserved. Lennar and the Lennar logo are registered service marks or service marks of Lennar Corporation and/or its subsidiaries. Lennar Homes of California, Inc. - License #728102. Lennar Sales Corp. - DRE License #01252763. 09/11

LENNAR

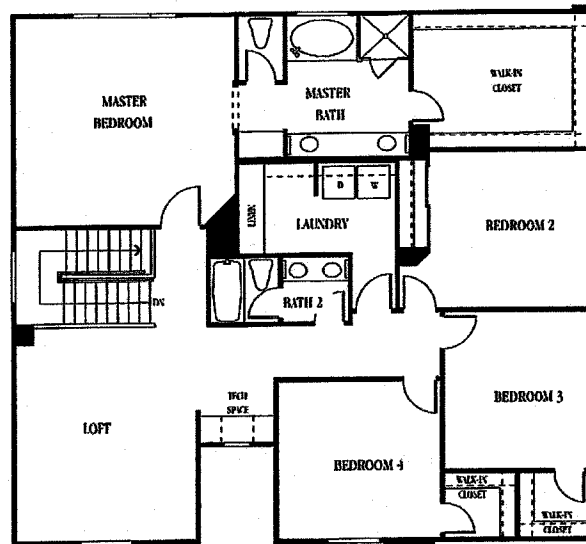
Residence 2

2 Story | 5 Bedrooms Plus Loft | 3 Baths | Formal Dining Room | Family Room with Fireplace
Oversized Laundry | Tech Center | 2-Bay Garage with Storage

Approx. 3,105 Sq. Ft.



FIRST FLOOR



SECOND FLOOR

Preliminary

LENNAR.COM

Montelena at Rancho Bella Vista • 38180 Spring Canyon Drive, Murrieta, CA 92563



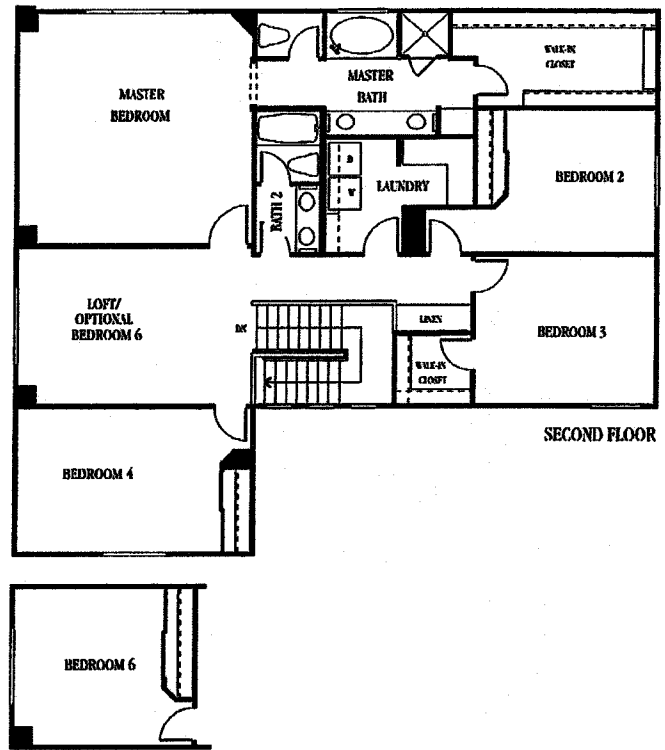
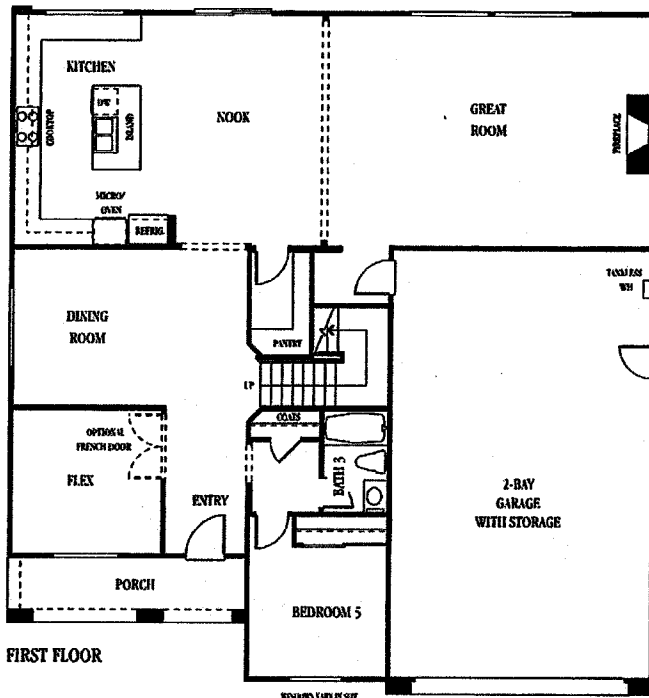
Floorplans and elevations are artist's renderings and may contain options, which are not standard on all models. Lennar reserves the right to make changes to these floorplans, specifications, dimensions and elevations without prior notice. Stated dimensions and square footage are approximate and should not be used as representation of the home's precise or actual size. Any statement, verbal or written, regarding "under air" or "finished area" or any other description or modifier of the square footage size of any home is a shorthand description of the manner in which the square footage was estimated and should not be construed to indicate certainty. Bay sizes may vary from home to home and may not accommodate all vehicles. Copyright © 2011 Lennar Corporation. All rights reserved. Lennar and the Lennar logo are registered service marks or service marks of Lennar Corporation and/or its subsidiaries. Lennar Homes of California, Inc. — License #728102. Lennar Sales Corp. — DRE License #01252753. 09/11

LENNAR

Residence 3

2 Story | 5 Bedrooms with Loft or Optional Bedroom 6 | 3 Baths | Great Room with Fireplace
 Flex space with Optional French Doors | Formal Dining Room | Oversized Pantry
 Oversized Laundry | 2-Bay Garage with Storage

Approx. 3,404 Sq. Ft.



OPTIONAL
 BEDROOM 6
 IN LIEU OF LOFT

Preliminary

LENNAR.COM

Montelena at Rancho Bella Vista • 38180 Spring Canyon Drive, Murrieta, CA 92563



Floorplans and elevations are artist's renderings and may contain options, which are not standard on all models. Lennar reserves the right to make changes to these floorplans, specifications, dimensions and elevations without prior notice. Stated dimensions and square footage are approximate and should not be used as representation of the home's precise or actual size. Any statement, verbal or written, regarding "under air" or "finished area" or any other description or modifier of the square footage size of any home is a shorthand description of the manner in which the square footage was estimated and should not be construed to indicate certainty. Bay sizes may vary from home to home and may not accommodate all vehicles. Copyright © 2011 Lennar Corporation. All rights reserved. Lennar and the Lennar logo are registered service marks or service marks of Lennar Corporation and/or its subsidiaries. Lennar Homes of California, Inc.—License #728102, Lennar Sales Corp.— DRE License #01252753, 09/11

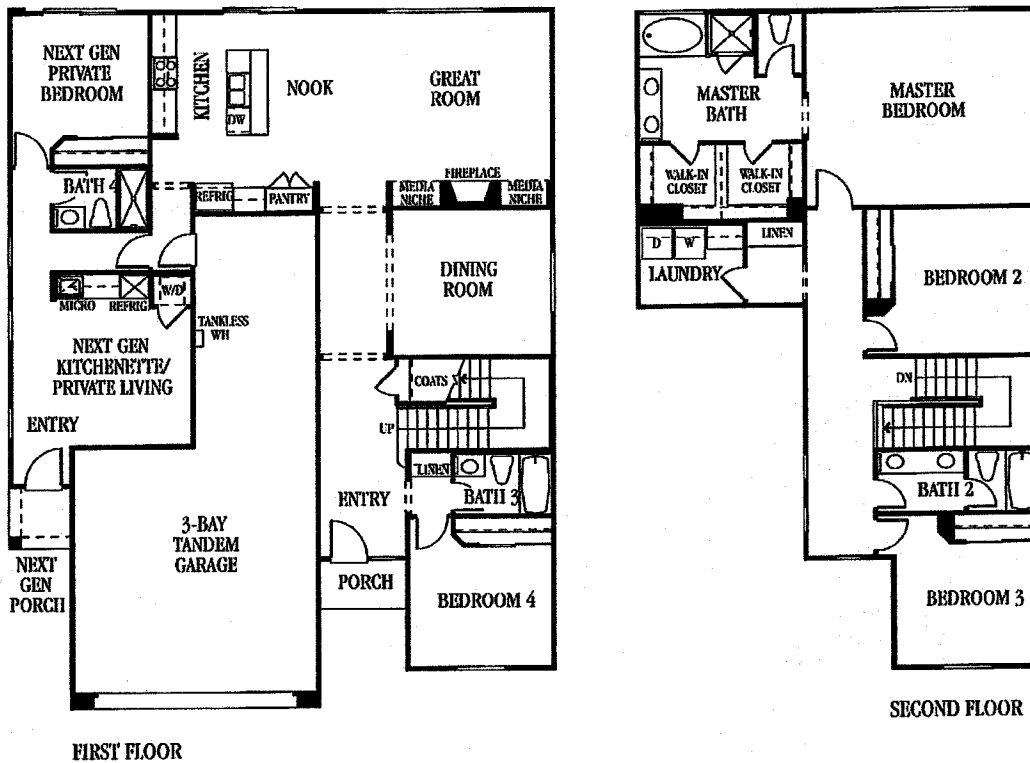
LENNAR

NEXT GENSM Residence 1

2,994 Square Feet

Main Home - 2 Stories | 4 Bedrooms | 3 Baths | Great Room With Fireplace
Separate Dining Room | 3-Bay Tandem Garage

Next Gen Suite - 1 Bedroom | Private Living And Kitchenette | Laundry | 1 Bath | Separate Entrance



Preliminary



LENNAR.COM

Montelena at Rancho Bella Vista • 38180 Spring Canyon Drive, Murrieta, CA 92563



Floorplans and elevations are artist's renderings and may contain options, which are not standard on all models. Lennar reserves the right to make changes to these floorplans, specifications, dimensions and elevations without prior notice. Stated dimensions and square footage are approximate and should not be used as representation of the home's precise or actual size. Any statement, verbal or written, regarding "under air" or "finished area" or any other description or modifier of the square footage size of any home is a shorthand description of the manner in which the square footage was estimated and should not be construed to indicate certainty. Bay sizes may vary from home to home and may not accommodate all vehicles. Copyright © 2011 Lennar Corporation. All rights reserved. Lennar and the Lennar logo are registered service marks or service marks of Lennar Corporation and/or its subsidiaries. Lennar Homes of California, Inc. - License #728102, Lennar Sales Corp. - DRE License #01252753. 09/11

LENNAR