

**SUBMITTAL TO THE BOARD OF SUPERVISORS  
COUNTY OF RIVERSIDE, STATE OF CALIFORNIA**

306 B



REVIEWED BY EXECUTIVE OFFICE

DATE 12/29/13

Tina Grande

Departmental Concurrence

**FROM:** TLMA - Planning Department

**SUBMITTAL DATE:**  
September 26, 2013

**SUBJECT: VARIANCE NO. 1888 and VARIANCE NO. 1889** – Applicant: Chelsea Property Group – Fifth/Fifth Supervisorial District – Location: Northerly of Seminole Drive, easterly of Main Road, southerly of Martin Road, and westerly of Millar Pass – REQUEST: The variance is to exceed the maximum sign face surface area from 5% to 10% for wall tenant signs affixed to the rear of buildings. [\$0]

**RECOMMENDED MOTION:**

**RECEIVE AND FILE** the Notice of Decision for the above referenced case acted on at the Planning Director's Hearing on October 21, 2013.

The Planning Department recommended Approval; and,  
**THE PLANNING DIRECTOR RECOMMENDED:**

**APPROVAL** of **VARIANCE NO. 1888 and VARIANCE NO. 1889**, subject to the attached conditions of approval, and based on the findings and conclusions incorporated in the staff report.

**BACKGROUND:**

Plot Plan No. 25356, Plot Plan No. 25357, Variance No. 1888 and Variance No. 1889 were heard and approved at the October 21, 2013, Director's Hearing meeting. An update memo was

*Carolyn Syms Luna*

Carolyn Syms Luna  
Planning Director

(Continued Page 2)

Initials:  
CSL:pr

**MINUTES OF THE BOARD OF SUPERVISORS**

On motion of Supervisor Ashley, seconded by Supervisor Tavaglione and duly carried, IT WAS ORDERED that the above matter of approval is received and filed as recommended.

Ayes: Jeffries, Tavaglione, Stone and Ashley  
Nays: None  
Absent: Benoit  
Date: November 5, 2013  
xc: Planning, Applicant

Kecia Harper-Ihem  
Clerk of the Board  
By: *Kecia Harper-Ihem*  
Deputy

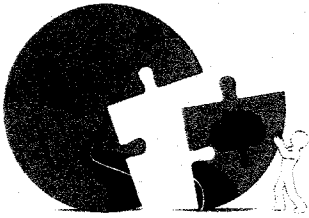
Prev. Agn. Ref. District: 5/5 Agenda Number:

1-3

The Honorable Board of Supervisors  
Re: Variance No. 1888 and Variance No. 1889  
Page 2 of 2

introduced at the meeting by staff which contained a new sight line exhibit showing distances from the proposed signs to edge of curb per the request of the Transportation Department. No public testimony or concerns arose at the hearing.

In accordance with the requirements in Ord. No. 348, the decision at the Director's Hearing for the Plot Plans stands, unless an appeal is filed within the appropriate timeframe; but a notice of the decision of the Director's Hearing for the Variance is being brought to the Board of Supervisors with a recommendation to receive and file that decision.



Carolyn Syms Luna  
Director

# RIVERSIDE COUNTY PLANNING DEPARTMENT

Original Negative Declaration/Notice of  
Determination was routed to County  
Clerks for posting on.

11/14/13  
Date

KV  
Initial

## NOTICE OF EXEMPTION

TO:  Office of Planning and Research (OPR) P.O. Box 3044  
Sacramento, CA 95812-3044  
 County of Riverside County Clerk

FROM: Riverside County Planning Department  
 4080 Lemon Street, 12th Floor  
P. O. Box 1409  
Riverside, CA 92502-1409

38686 El Cerrito Road  
Palm Desert, CA 92201

Project Title/Case No.: Plot Plan No. 25356, Plot Plan No. 25357, Variance No. 1888 and Variance No. 1889

Project Location: In the unincorporated area of Riverside County, more specifically located northerly of Seminole Drive, easterly of Main Road, southerly of Martin Road, westerly of Millard Pass

Project Description: To permit a uniform master signage program for an existing outdoor outlet shopping center located on 75 gross acres (Desert Hills Premium Outlets) and a variance to exceed the maximum sign surface area from 5% to 10% for wall tenant signs affixed to the rear face of buildings.

Name of Public Agency Approving Project: Riverside County Planning Department

Project Sponsor: \_\_\_\_\_

Exempt Status: (Check one)

- Ministerial (Sec. 21080(b)(1); 15268)  Categorical Exemption (15301.e, 15302.b, 15303.e, 15311.a.)  
 Declared Emergency (Sec. 21080(b)(3); 15269(a))  Statutory Exemption (\_\_\_\_\_)  
 Emergency Project (Sec. 21080(b)(4); 15269 (b)(c))  Other: \_\_\_\_\_

Reasons why project is exempt: The proposed site is fully developed with an existing commercial shopping center with existing signs. The proposed project footprint is not expanding beyond what is currently existing. The proposed increase in sign area is not significant to create any potential impacts and is consistent with zoning ordinances through the use of variance.

Paul Rull 951-955-0972

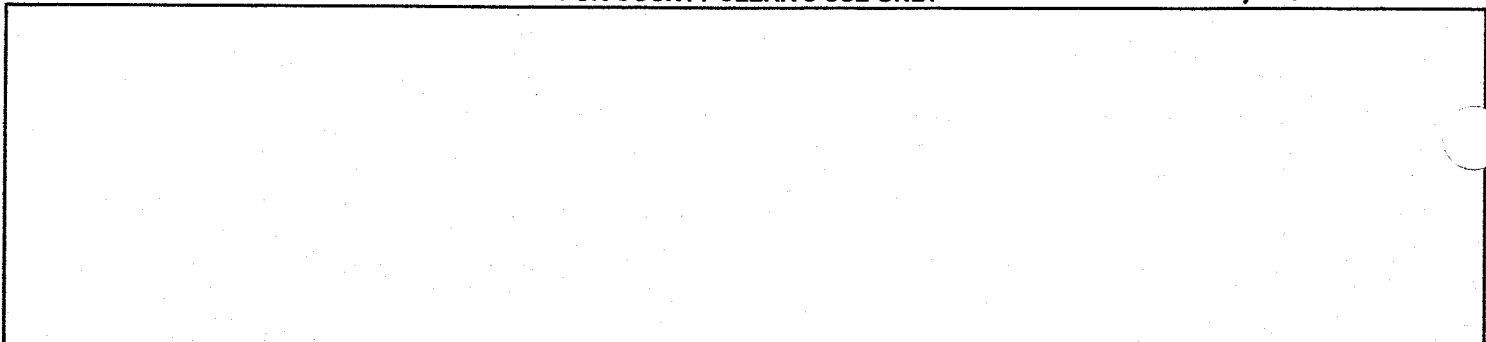
[Signature] County Contact Person Board Assistant Phone Number  
Signature Title Date

Date Received for Filing and Posting at OPR: \_\_\_\_\_

Revised: 3/15/10: Y:\Planning Case Files-Riverside office\PP25356\DH-PC-BOS Hearings\DH-PC\PP25356 PP25357 NOE Form.docx

Please charge deposit fee case#: Z ZCFG No.5996 - County Clerk Posting Fee \$50.00  
FOR COUNTY CLERK'S USE ONLY

NOV 05 2013 13



COUNTY OF RIVERSIDE  
SPECIALIZED DEPARTMENT RECEIPT  
Permit Assistance Center

S\* REPRINTED \* R1308709

4080 Lemon Street  
Second Floor  
Riverside, CA 92502  
(951) 955-3200

39493 Los Alamos Road  
Suite A  
Murrieta, CA 92563  
(951) 694-5242

38686 El Cerrito Rd  
Indio, CA 92211  
(760) 863-8271

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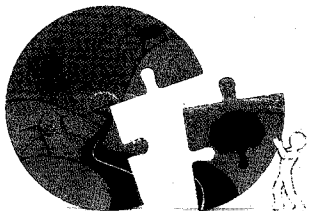
Received from: CHELSEA PROPERTY GROUP LLC \$50.00  
paid by: CK 1059  
CFG FOR PP25356 AND PP25357  
paid towards: CFG05996 CALIF FISH & GAME: DOC FEE  
at parcel: 48650 SEMINOLE DR CABA  
appl type: CFG3

By \_\_\_\_\_ Sep 12, 2013 14:23  
MGARDNER posting date Sep 12, 2013

\*\*\*\*\*  
\*\*\*\*\*

Account Code	Description	Amount
658353120100208100	CF&G TRUST: RECORD FEES	\$50.00

Overpayments of less than \$5.00 will not be refunded!



# RIVERSIDE COUNTY PLANNING DEPARTMENT

Carolyn Syms Luna  
Director

306 B

DATE: September 26, 2013

TO: Clerk of the Board of Supervisors

FROM: Planning Department - Riverside Office

SUBJECT: VAR1888, VAR1889

(Charge your time to these case numbers)

**The attached item(s) require the following action(s) by the Board of Supervisors:**

- |  |   |
|--|---|
| <input checked="" type="checkbox"/> Place on Administrative Action (Receive & File; EOT)                   | <input type="checkbox"/> Set for Hearing (Legislative Action Required; CZ, GPA, SP, SPA)        |
| <input checked="" type="checkbox"/> Labels provided If Set For Hearing                                     | <input type="checkbox"/> Publish in Newspaper:  |
| <input checked="" type="checkbox"/> 10 Day <input type="checkbox"/> 20 Day <input type="checkbox"/> 30 day | <b>**SELECT Advertisement**</b>   |
| <input type="checkbox"/> Place on Consent Calendar   | <input type="checkbox"/> <b>**SELECT CEQA Determination**</b>                                   |
| <input type="checkbox"/> Place on Policy Calendar (Resolutions; Ordinances; PNC)                           | <input type="checkbox"/> 10 Day <input type="checkbox"/> 20 Day <input type="checkbox"/> 30 day |
| <input type="checkbox"/> Place on Section Initiation Proceeding (GPIP)                                     | <input type="checkbox"/> Notify Property Owners (app/agencies/property owner labels provided)   |
|  | Controversial: <input type="checkbox"/> YES <input type="checkbox"/> NO                         |

**Designate Newspaper used by Planning Department for Notice of Hearing:**  
(5th Dist) Press Enterprise

**Documents to be sent to County Clerk's Office for Posting within five days:**

Notice of Exemption  
California Department of Fish and Wildlife Receipt (CFG5996)

**Do not send these documents to the County Clerk for posting until the Board has taken final action on the subject cases**

**3 Extra Sets were taken to:  
Clerk of the Board**

Riverside Office • 4080 Lemon Street, 12th Floor  
P.O. Box 1409, Riverside, California 92502-1409  
(951) 955-3200 • Fax (951) 955-1811

Desert Office • 38686 El Cerrito Road  
Palm Desert, California 92211  
(760) 863-8277 • Fax (760) 863-7555

"Planning Our Future... Preserving Our Past"

Agenda Item No.: 2.1  
Area Plan: The Pass  
Zoning District: Pass and Desert  
Supervisory District: Fifth/Fifth  
Project Planner: Paul Rull  
Directors Hearing: October 21, 2013

PLOT PLAN NO. 25356, 25357  
VARIANCE NO. 1888, 1889  
CEQA Exempt  
Applicant: Chelsea Property Group  
Engineer/Rep: Architects Orange

## COUNTY OF RIVERSIDE PLANNING DEPARTMENT STAFF REPORT

### PROJECT DESCRIPTION AND LOCATION:

**PLOT PLAN NO. 25356** and **PLOT PLAN NO. 25357** proposes a uniform master signage program for the existing Desert Hills Premium Outlets outdoor shopping center including wall signs, pylon signs, monument signs, garage parking signs, identification signs, hanging signs, directory and direction signs located on 75 gross acres.

**VARIANCE NO. 1888** and **VARIANCE NO. 1889** proposes to exceed the maximum sign face surface area from 5% to 10% for wall tenant signs affixed to the rear of buildings.

The proposed project is located within the existing Desert Hills Premium Outlets shopping center. The proposed master signage program intends on consolidating all signs for both east and west wings of the shopping center and providing a uniformed sign design theme. The program includes pylon signs, monument signs, garage parking signs, directory and directional signs, wall tenant signs, and identification signs that will be required to follow consistent design, color, and coverage scheme.

The applicant is also seeking an increase in the signage area for tenant wall signs for the rear of the building from 5% to 10% of the surface area of the rear face building through the use of a variance.

Project is located northerly of Seminole Drive, easterly of Main Road, southerly of Martin Road, and westerly of Millard Pass.

### POTENTIAL ISSUES

Desert Hills Premium Outlets was originally approved by Riverside County through PP11972 on May 3, 1998, for an outdoor outlet shopping center. The County has processed approximately 80 on-site signs over the years for the east and west wings of the shopping center, including tenant wall signs located on the rear of the commercial buildings. These signs were permitted under Ordinance No. 348 Section 19.4.b.1.c which states that the surface area of the sign shall not exceed 5% of the surface area of the rear face of the building. The proposed variances are to modify property development standards pertaining to the size of the rear wall building sign in accordance with Section 19.4.e.

The applicant has expressed concerns with the lack of advertising exposure from the 5% restriction for rear wall signs:

- Deficiency in sign exposure along Seminole Road and Millard Pass,
- Stores reverse frontage orientation with backs of stores facing Seminole Road resulting in minimal sign exposure towards the I-10 freeway,
- Building design and orientation driven by close proximity of fault lines and fault setback lines which required buildings to be located as close as possible to Seminole Road and Millard Pass. The orientation and design of the building layout was also necessary to provide a safe protected area for shopping from the high winds of the Coachella Valley. The buildings act as a natural windbreak, and by having the store fronts facing inwards, it reduces the impacts to the stores and shoppers,

- The requested 10% wall sign area is consistent with several wall signs permitted by the County in the adjacent shopping center to the east. The Cabazon Outlets shopping center have store fronts facing Seminole Road, and as such, are permitted 10% in tenant wall sign area.
- The requested 10% wall sign area is consistent with Section 19.4.e through the use of a variance. Section 19.4.e allows for front and rear wall building signs to be 10% of the surface area of the building face for projects located along scenic corridors designated within the Eastern and Western Coachella Valley Community Plans. Although the project is not located within the Eastern or Western Coachella Valley Community Plans (approximately 4 miles east from the Western Coachella Plan boundary), it is located next to the I-10 freeway, which is a State eligible scenic highway, and it is still located in the greater Coachella Valley vicinity. Approval of the variance would mean that the project would share the same privileges of other similarly zoned Scenic Highway Commercial (C-P-S) properties within Eastern and Western Coachella Valley Community Plan in having a maximum of 10% wall sign area. Furthermore, the basis for the variance is predicated upon the special circumstances that exist for the property such that its location and surrounding area restrict the advertising privileges enjoy by other properties in the vicinity i.e. in the nearby Western and Eastern Coachella Community Plan Areas. The nearest commercial designated property within the Western Coachella Valley Community Plan is located at the intersection of I-10 freeway and Haugen-Lehmann Way approximately 8 miles from the project. The physical makeup of this property does not exhibit any unique characteristics or special considerations that would be deemed suitable to allow for an increase in surface signage area on the rear of buildings, yet it is permitted by right to have signage to up to 10% surface area of the rear of the building because of its location within the community plan. The proposed project, with all of its physical site constraints, is seeking the same privileges offered to properties in the vicinity through approval of a variance.

Due to these special circumstances, the signs at Desert Hills Premium Outlets are deprived of privileges enjoyed by other properties i.e. Cabazon Outlets which is similarly zoned Scenic Highway Commercial (C-P-S) and properties within the Eastern and Western Coachella Valley Community Plans. Desert Hills Premium Outlets and Cabazon Outlets shopping centers are located on Seminole Road, however due to topographical and seismic engineering restrictions, Desert Hills Premium Outlets had to design their buildings to face inwards, thus losing advertising exposure towards Seminole Road and the I-10 freeway, compared to Cabazon Outlets whose storefronts face towards Seminole Road and are allowed 10% wall sign area. Desert Hills Premium Outlets is located approximately 4 miles away from the Western Coachella Valley Community Plan boundary, which would have permitted the request of 10% wall sign area without the use of a variance. Based on the fact that the project's location 4 miles away from the Western Coachella Valley Community Plan boundary deprives the project of privileges enjoyed by those properties also zoned C-P-S located within the community's plan boundary.

**SUMMARY OF FINDINGS:**

1. Existing General Plan Land Use (EX.#5): Community Development: Commercial Retail (CD: CR)
2. Surrounding General Plan Land Use (EX.#5): Rural: Rural Desert (R: RD), Rural: Rural Residential (R: RR), Community Development: Commercial Retail (CD: CR), Community Development: Medium Density Residential (CD: MDR), Community Development: Light Industrial (CD: LI) City of Banning, Areas subject to Indian Jurisdiction

- |                                  |  |
|----------------------------------|--|
| 3. Existing Zoning (EX.#2):      | Scenic Highway Commercial (C-P-S)  |
| 4. Surrounding Zoning (EX.#2)::  | Controlled Development Areas (W-2), Controlled Development Areas-10 acre minimum (W-2-10), Rural Residential-5 acre minimum (R-R-5), Scenic Highway Commercial (C-P-S), Manufacturing-Service Commercial (M-SC), City of Banning |
| 5. Existing Land Use (EX.#1):    | Outdoor commercial shopping center   |
| 6. Surrounding Land Use (EX.#1): | Commercial shopping center, single family residences on large lots, single family residences on small lots, vacant   |
| 7. Project Data:                 | Total Acreage: 75 gross acres  |
| 8. Environmental Concerns:       | CEQA Exempt (Section 15301.e, 15302.b, 15303.e, 15311.a)   |

**RECOMMENDATIONS:**

**APPROVAL** of **VARIANCE NO. 1888** and **VARIANCE NO. 1889**, subject to the attached conditions of approval, and based upon the findings and conclusions incorporated in the staff report; and,

**APPROVAL** of **PLOT PLAN NO. 25356** and **PLOT PLAN NO. 25357**, subject to the attached conditions of approval, and based upon the findings and conclusions incorporated in the staff report.

**FINDINGS:** The following findings are in addition to those incorporated in the summary of findings which is incorporated herein by reference.

1. The project site is designated Community Development: Commercial Retail (CD: CR) (0.25 – 0.35 FAR) in the Pass Area Plan.
2. The project site is surrounded by properties which are designated Rural: Rural Desert (R: RD), Rural: Rural Residential (R: RR), Community Development: Commercial Retail (CD: CR), Community Development: Medium Density Residential (CD: MDR), Community Development: Light Industrial (CD: LI) City of Banning, Areas subject to Indian Jurisdiction
3. The project site is located within the Cabazon Policy Area, however these policies do not apply to the project as the proposed signs are considered a minor development and an accessory to the existing shopping center.
4. The zoning for the subject site is Scenic Highway Commercial (C-P-S).
5. On-site advertising signs and sign programs are permitted, provided that a plot plan application is submitted and approved pursuant to the provisions of Section 18.30 (Plot Plans) of Ordinance No. 348.
6. The proposed sign program is consistent with the development standards set forth in the Scenic Highway Commercial (C-P-S) zone and Section 19.4 (On-Site Advertising Structures and Signs). The proposed wall sign area of 10% of the surface area of the rear face of the building is consistent with the basis of findings outlined in Section 18.27 Variances. Special circumstances exist on the subject property which deprives the project of privileges enjoyed by other properties



in the vicinity such as the Cabazon Outlets shopping center directly east of the project. Due to topographical and seismic engineering restrictions, and high winds, Desert Hills Premium Outlets had to design their shops and buildings facing inwards to protect their customers, thus losing advertising exposure towards Seminole Road and the I-10 freeway, compared to Cabazon Outlets whose storefronts face towards Seminole Road and are allowed 10% wall sign area. Approval of the project will create a more uniformed sign design theme for the shopping center, as well as increasing business advertising exposure by expanding sign area maximums to a level consistent with existing adjacent uses.

7. The proposed project is consistent with Section 19.4.e through the use of a variance. Section 19.4.e allows for front and rear wall building signs to be 10% of the surface area of the building face for projects located along scenic corridors designated within the Eastern and Western Coachella Valley Community Plans. Although the project is not located within the Eastern or Western Coachella Valley Community Plans (approximately 4 miles from the boundary), it is located next to the I-10 freeway, which is a State eligible scenic highway, and it is still located in the greater Coachella Valley vicinity. Approval of the variance would mean that the project would share the same privileges of other similarly zoned Scenic Highway Commercial (C-P-S) properties within Eastern and Western Coachella Valley Community Plan in having a maximum of 10% wall sign area.
8. The project site is surrounded by properties which are zoned Controlled Development Areas (W-2), Controlled Development Areas-10 acre minimum (W-2-10), Rural Residential-5 acre minimum (R-R-5), Scenic Highway Commercial (C-P-S), Manufacturing-Service Commercial (M-SC), and the City of Banning.
9. Commercial uses have been constructed on site and are operating in the project vicinity. There is also a mixture of large and small lot residences as well as vacant land surrounding the project site.
10. This project is not located within a Criteria Area of the Coachella Valley Multiple Species Habitat Conservation Plan.
11. The project is exempt from CEQA under Section 15301.e Existing Facilities, 15302.b Replacement or Reconstruction, 15303.e New Construction or Conversion of Small Structures, and 15311.a Accessory Structures.

**CONCLUSIONS:**

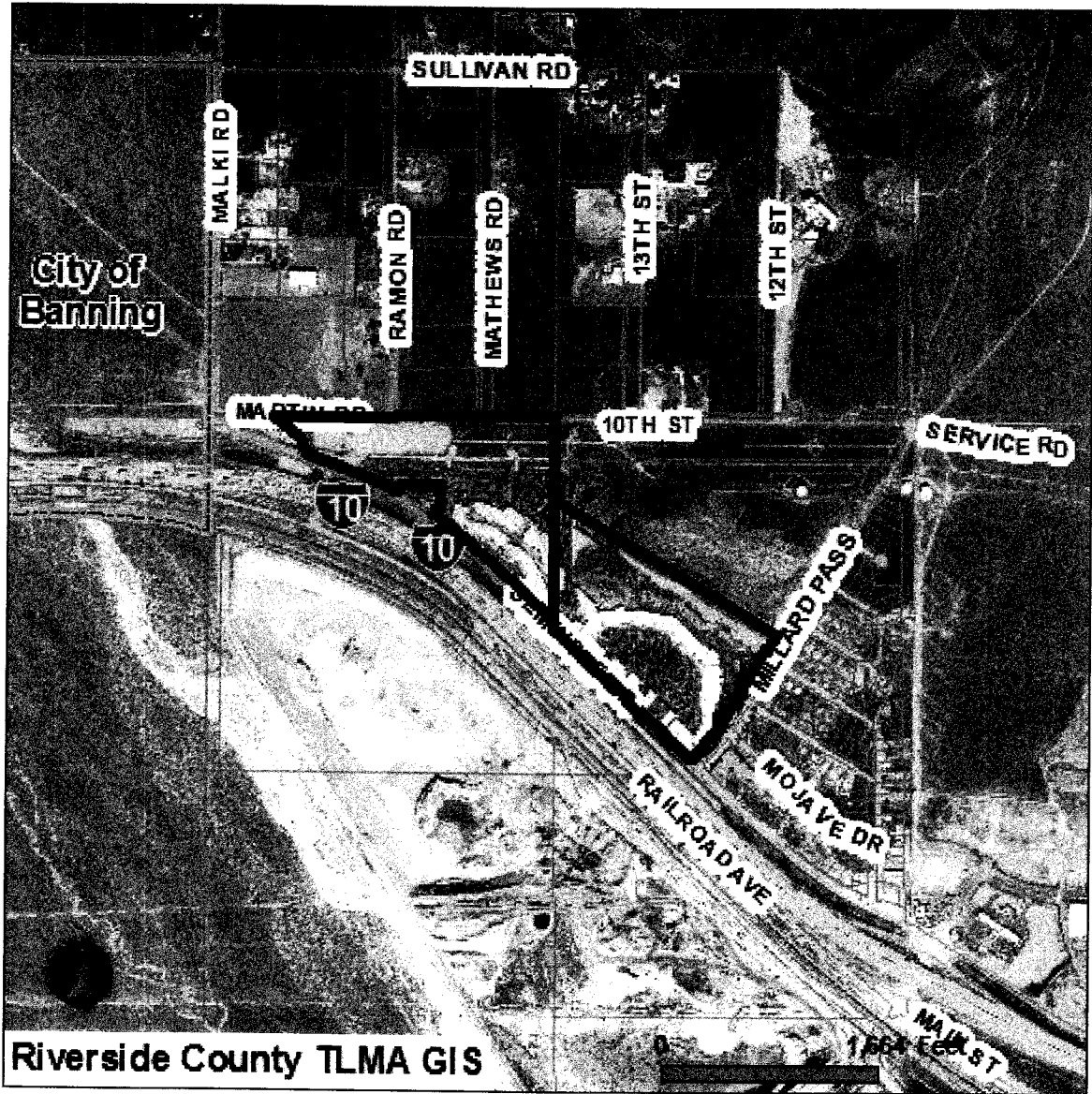
1. The proposed project is in conformance with the Community Development: Commercial Retail (CD: CR) (0.25 – 0.35 FAR) Land Use Designation, and with all other elements of the Riverside County General Plan.
2. The proposed project is consistent with the Scenic Highway Commercial (C-P-S) zoning classification of Ordinance No. 348, and with all other applicable provisions of Ordinance No. 348.
3. The proposed project is consistent with the On-Site Advertising Structures and Signs section of Ordinance No. 348.
4. The proposed project is consistent with the Section 18.27 (Variances) of Ordinance No. 348.

5. The public's health, safety, and general welfare are protected through project design.
6. The proposed project is clearly compatible with the present and future logical development of the area.
7. The proposed project will not have a significant effect on the environment.
8. The proposed project will not preclude reserve design for the Coachella Valley Multiple Species Habitat Conservation Plan (CVMSHCP).

**INFORMATIONAL ITEMS:**

1. As of this writing, no letters, in support or opposition have been received.
2. The project site is not located within:
  - a. Tribal Land;
  - b. A Specific Plan;
  - c. A Historic Preservation District;
  - d. An Airport Influence Area;
  - e. An MSHCP Criteria Cell;
  - f. A Flood Area; or
3. The project site is located within:
  - a. The boundaries of the Pass Area Plan;
  - b. West Desert Municipal Advisory Committees;
  - c. The boundaries of the Cabazon Policy Area;
  - d. A High Fire Area;
  - e. Banning Unified School District;
  - f. An area of moderate liquefaction;
  - g. An area of low potential for paleontological sensitivity;
  - h. An area of moderate liquefaction potential;
  - i. San Andrea fault zone;
4. The subject site is currently designated as Assessor's Parcel Numbers: 519-110-040 and 519-110-041

PP25356, PP25357, VAR1888, VAR1889 LAND USE MAP



Selected parcel(s):  
519-110-040 519-110-041

**\*IMPORTANT\***

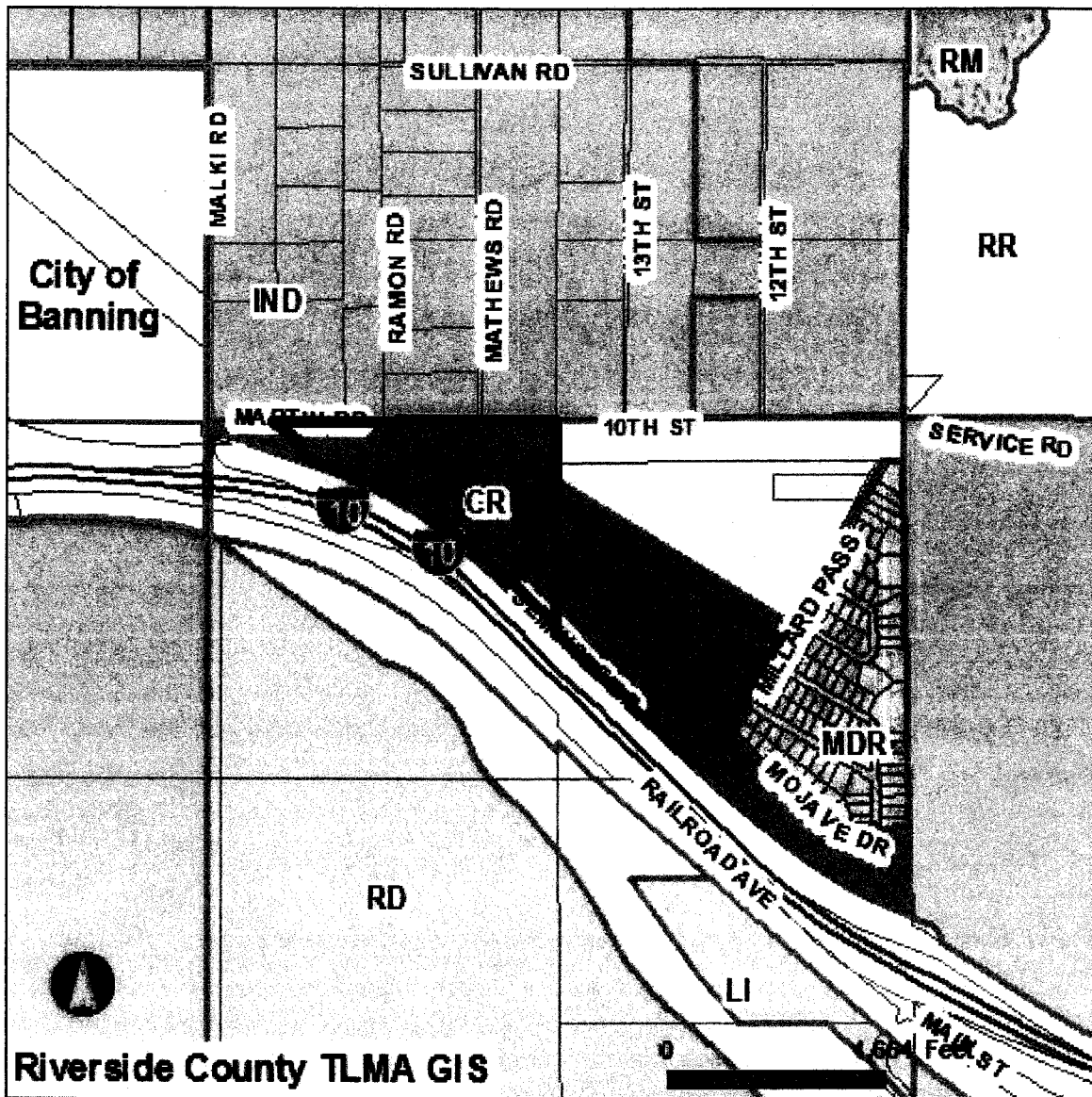
Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

REPORT PRINTED ON...Tue Sep 10 07:16:03 2013

Version 130826

Exhibit #1

PP25356, PP25357, VAR1888, VAR1889 GENERAL PLAN LAND USE MAP



Selected parcel(s):  
519-110-040 519-110-041

**\*IMPORTANT\***

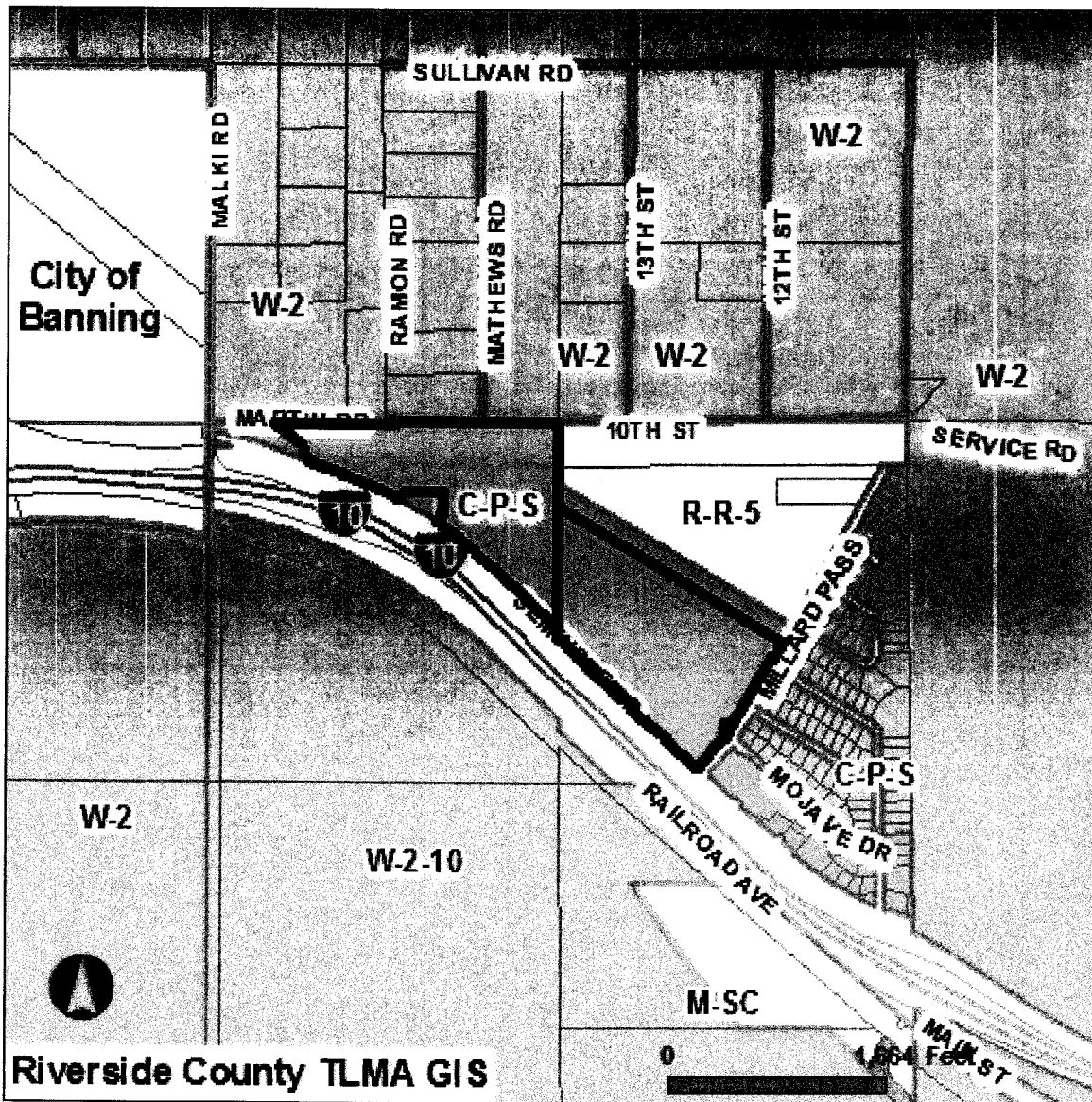
Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

REPORT PRINTED ON...Tue Sep 10 07:14:54 2013

Version 130826

Exhibit #5

PP25356, PP25357, VAR1888, VAR1889 ZONING MAP



Selected parcel(s):  
519-110-040 519-110-041

**\*IMPORTANT\***

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REPORT PRINTED ON...Tue Sep 10 07:14:06 2013

Version 130826

Exhibit #2



A R C H I T E C T S O R A N G E

September 12, 2013

**Mr. Paul Rull, Contract Planner**  
**Riverside County Planning Department**  
4080 Lemon Street, 12<sup>th</sup> Floor  
Riverside, CA 92501

Re: Desert Hills Premium Outlets – Application Numbers PP25356 & PP25357 - Variance Justification

Dear Mr. Rull,

I am writing in response to your request regarding the justification for the variance to the allowable area of tenant and center identification and advertising wall signs for Desert Hills Premium Outlets, Cabazon, CA.. A Signage Masterplan Application is currently in process that incorporates this variance request for these parcels. The basis of the variance request is to modify County of Riverside Ordinance No. 348, Article XIX Advertising Regulations, Section 19.4b, Item 2.C which is as follows;

*"Rear Wall of a Building – The surface area of the sign shall not exceed 5% of the surface area of the rear face of the building".*

This variance request is to allow an increase to 10% of the wall surface area for signs on the rear wall of the buildings. This variance request is for plot plan numbers PP25356 and PP25357. Justifications for this request are as follows:

1. The building placement on both parcels was driven by the close proximity of fault lines and fault setbacks that occur on both sites. This unique site constraint required buildings to be located as close as possible to Seminole and Millard.

The unique site planning used at Desert Hills Premium Outlets creates a pedestrian oriented "promenade" with outlet stores "fronting" both sides of the promenade. This arrangement of buildings creates the best shopping environment for guests, while allowing the greatest number of retail suites to occur along the shortest walking path. This planning layout results in buildings with, what is defined by County of Riverside Ordinance as, their "backs" being exposed to the major street Seminole and minor street Millard Pass.

2. The additional sign area requested in this variance submission is not greater than the signage allowed on other adjacent projects fronting onto Seminole. Therefore, granting this variance will allow the project the same level of signage fronting onto public streets as adjacent projects.

To conclude, these variances should be granted because of special circumstances applicable to Desert Hills Premium Outlets, including but not limited to, its configuration, topography, location and surroundings – all of which are criteria on which variances are to be granted under the express terms of the ordinance.

Sincerely,  
**Architects Orange**

Darrel Hebenstreit, Partner  
September 12, 2013

## **Architects Orange**

144 North Orange Street  
Orange, California 92866  
Ph 714.639-9860  
Fax 714.639-5286  
E-mail: architectsorange.com



### **SIGN TABULATIONS**

#### **EAST SIDE**

<b><u>Sign Type</u></b>	<b><u>Number</u></b>
Food Court Identity –Tower Mounted	1
Food court Tenant Identity/ ATM	1
Pylon Identity	1
Pedestrian Directional –ATM/Restrooms	2
Pedestrian Directory	6
Pedestrian Directional- Village sign	5
Pedestrian Wayfinding	1
Center Identity	3
Pedestrian Wayfinding Gateway-Overhead	1
Auto-Directional – Ground Mounted	2
Auto-Directional Monument	2
Pedestrian Directional Village Entry	1
Auto Directional Sign – Wall Mounted	1
Pedestrian Wayfinding –Wall Mounted	6
Vehicular Gateway Overhead Archway	3
Information Sign Blade	1



## PARKING GARAGE

<u>Sign Type</u>	<u>Number</u>
Center Identity –Wall Mounted	2
Vehicular Entry Directional- Wall Mounted	7
Car Counter Display	5
Vehicular Gateway-Ground Mounted overhead arch	1
Vehicular Entry Directional wall mounted blade	4
Pedestrian Directional-wall mounted	1
Valet Sign	1
Valet Sign- column mounted blade	1





## WEST SIDE

<u>Sign Type</u>	<u>Number</u>
Pedestrian Crossing/wayfinding ground mounted	2
Monument Identity	1
Food Court Identity-tower mounted	1
Food Court Identity-wall mounted	1
Food Court Tenant Wall Sign	4
Pedestrian Directional- village sign	5
Center Identity –wall sign	2
Pedestrian Directory	3
Pedestrian Wayfinding	2
Pedestrian Wayfinding-wall mounted	3
Monument Identity	1
Pylon Identity (if no monument is installed)	1
Customer Information Sign	4
Vehicular Directional Sign	1



DESERT HILLS PREMIUM  
OUTLETS  
SANTA ANA, CALIFORNIA  
92705

WEST  
MASTER  
SIGN  
PROGRAM

PREMIUM  
OUTLETS  
SIMON

TITLE  
AND  
SHEET INDEX

PLANNING & ARCHITECTURE  
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DATE

Date	By	For
2012-10-26	ASB	Issue for Review
2012-10-26	ASB	Issue for Review
2012-10-26	ASB	Issue for Review
2012-10-26	ASB	Issue for Review

SHEET  
**WA0.00**

# Desert Hills Premium Outlet WEST MASTER SIGN PROGRAM

48650 Seminole Dr.  
Cabazon, CA  
AO PROJECT #2006-039

**SHEET INDEX:**

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**WEST - MASTER SIGN PROGRAM TABULATIONS - LANDLORD SITE AND WALL SIGNS**

- LANDLORD DIRECTIONAL SIGN  
 LANDLORD ADVERTISING SIGN

Sign / Item Number	Sign Type	Sign Description	Sign Dimensions (w x h)	Sign Area (sf)
<b>Retail Buildings and Site</b>				
WL35A	<input type="radio"/>	Pedestrian Crossing/Wayfinding Sign - Ground Mounted	N/A	N/A
WL35B	<input type="radio"/>	Pedestrian Crossing/Wayfinding Sign - Ground Mounted	N/A	N/A
WL36	<input type="checkbox"/>	Monument Identity Sign	7'-2" x 11'-2" x 12'-0" high	80 sf / face. 2 faces total
WL37		Not Used		
WL38		Not Used		
WL39A	<input type="radio"/>	Food Court Identity - Tower Mounted	10'-0" x 12'-0"	120 sf
WL39B	<input type="radio"/>	Food Court Identity - Wall Mounted	10'-0" x 12'-0"	120 sf
WL40	<input type="checkbox"/>	Food Court Tenant Wall Signs	6'-0" x 10'-0"	60 sf
WL41A	<input type="radio"/>	Pedestrian Directional - Villa Sign	4'-3" x 21'-10"	93 sf
WL41B	<input type="checkbox"/>	Center Identity - Tower Mounted	6'-5" x 18'-5"	118 sf
WL42A	<input type="checkbox"/>	Pedestrian Directory	3'-7" x 4'-5"	16 sf / face. 2 Faces Total
WL42B	<input type="checkbox"/>	Pedestrian Directory	3'-7" x 4'-5"	16 sf / face. 2 Faces Total
WL42C	<input type="checkbox"/>	Pedestrian Directory	3'-7" x 4'-5"	16 sf / face. 2 Faces Total
WL43	<input type="radio"/>	Pedestrian Wayfinding	N/A	N/A
WL44		Not Used		
WL45	<input type="radio"/>	Pedestrian Wayfinding - Wall Mounted	N/A	N/A
WL46	<input type="checkbox"/>	Monument Identity Sign	7'-2" x 11'-2" x 12'-0" high	80 sf / face. 2 faces total
WL47	<input type="radio"/>	Pedestrian Directional - Villa Sign	4'-3" x 21'-10"	93 sf
WL48	<input type="radio"/>	Pedestrian Wayfinding - Wall Mounted	N/A	N/A
WL49	<input type="radio"/>	Pedestrian Directional - Villa Sign	4'-3" x 21'-10"	93 sf
WL50		Not Used		
WL51	<input type="radio"/>	Pedestrian Wayfinding	N/A	N/A
WL52	<input type="radio"/>	Pedestrian Wayfinding - Wall Mounted	4'-3" x 21'-10"	93 sf
WL53	<input type="checkbox"/>	Center Identity - Tower Mounted	6'-5" x 18'-5"	118 sf
WL54	<input type="radio"/>	Pedestrian Directional - Villa Sign	4'-3" x 21'-10"	93 sf
WL55	<input type="radio"/>	Pedestrian Directional - Villa Sign	4'-3" x 21'-10"	93 sf
WL56		Not Used		
WL57	<input type="checkbox"/>	Pylon / Identity Sign	8'-9" x 17'-0" x 40'-0" high	149 sf/face. 2 Faces Total
WL58	<input type="radio"/>	Customer Information Sign	1'-6" x 10'-0"	15 sf
WL59	<input type="radio"/>	Customer Information Sign	1'-6" x 10'-0"	15 sf
WL60	<input type="radio"/>	Customer Information Sign	1'-6" x 10'-0"	15 sf
WL61	<input type="radio"/>	Customer Information Sign	1'-6" x 10'-0"	15 sf
WL62	<input type="radio"/>	Vehicular Directional Sign	8'-0" x 8'-0"	64 sf

**WEST - MASTER SIGN PROGRAM TABULATIONS - WALL SIGNS**

SIGN #	BLDG #	SHEET #	ALLOWABLE AREA	SUITE #	TENANT SIGN NAME	SIGN AREA
WL41A	4	WA1.01	68FT <sup>2</sup>	ENTRY	PEDESTRIAN DIRECTIONAL	93.0FT <sup>2</sup>
W2	4	WA1.01	52FT <sup>2</sup>	ENTRY	-	-
W3	4	WA1.01		ENTRY	-	-
WL39B	4	WA1.01	150FT <sup>2</sup>	PUBLIC	FOOD COURT IDENTITY	120.0FT <sup>2</sup>
WL40	4	WA1.01		PUBLIC	FOOD COURT TENANTS	60.0FT <sup>2</sup>
WL39A	4	WA1.01	76FT <sup>2</sup>	PUBLIC	FOOD COURT IDENTITY	120.0FT <sup>2</sup>
W8	4	WA1.01	282FT <sup>2</sup>	432	JONES NEW YORK	28.9FT <sup>2</sup>
W9	4	WA1.01		430	ED HARDY	28.9FT <sup>2</sup>
W10	4	WA1.01		428	KASPER	14.5FT <sup>2</sup>
W11	4	WA1.01		426	DKNY	20.6FT <sup>2</sup>
W12	4	WA1.01	172FT <sup>2</sup>	424	NINE WEST	21.9FT <sup>2</sup>
W13	4	WA1.01		420	BOSE OUTLET STORE	24.8FT <sup>2</sup>
W14	4	WA1.01		419	FRAGRANCE OUTLET	26.7FT <sup>2</sup>
W15	4	WA1.01	340FT <sup>2</sup>	418	ECCO	23.8FT <sup>2</sup>
W16	4	WA1.01		414	-	-
W17	4	WA1.01		414	TOMMY HILFIGER	43.5FT <sup>2</sup>
W18	4	WA1.01		414	-	-
W19	4	WA1.01		411	SUNGLASS HUT	32.7FT <sup>2</sup>
W20	4	WA1.01		410	CLAIRE'S	11.8FT <sup>2</sup>
W21	4	WA1.01		408	THE LUGGAGE FACTORY	21.3FT <sup>2</sup>
W22	4	WA1.01	88FT <sup>2</sup>	400	-	-
W23	4	WA1.01		400	GAP OUTLET	25.5FT <sup>2</sup>
W24	4	WA1.01	76FT <sup>2</sup>	400	GAP OUTLET	18.8FT <sup>2</sup>
W25	4-5	WA1.01	132FT <sup>2</sup>	800	POLO RALPH LAUREN CHILDREN	45.0FT <sup>2</sup>
W26	5	WA1.02	76FT <sup>2</sup>	500	ANN TAYLOR FACTORY STORE	52.5FT <sup>2</sup>
W27	5	WA1.02	156FT <sup>2</sup>	500	ANN TAYLOR FACTORY STORE	28.9FT <sup>2</sup>
W28	5	WA1.02		500	-	-
W29	5	WA1.02		502	TRUE REIGION BRAND JEANS	16.0FT <sup>2</sup>

**WEST - MASTER SIGN PROGRAM TABULATIONS - WALL SIGNS**

SIGN #	BLDG #	SHEET #	ALLOWABLE AREA	SUITE #	TENANT SIGN NAME	SIGN AREA
W30	5	WA1.02	288FT <sup>2</sup>	504	NAUTICA	22.0FT <sup>2</sup>
W31	5	WA1.02		508	-	-
W32	5	WA1.02		508	SPLENDID-ELLA MOSS	15.4FT <sup>2</sup>
W33	5	WA1.02		510	VOLCOM	37.5FT <sup>2</sup>
W34	5	WA1.02		512	JOCKEY	29.0FT <sup>2</sup>
W35	5	WA1.02	158FT <sup>2</sup>	514	7 FOR ALL MANKIND	17.1FT <sup>2</sup>
W36	5	WA1.02		518	US POLO ASSN.	40.9FT <sup>2</sup>
W37	5	WA1.02		518	-	-
W38	5	WA1.02	120FT <sup>2</sup>	520	COLDWATER CREEK OUTLET	46.8FT <sup>2</sup>
W39	5	WA1.02		520	-	-
W40	5	WA1.02	26FT <sup>2</sup>	520	-	-
W41	7	WA1.02	46FT <sup>2</sup>	720	-	-
W42	7	WA1.02	78FT <sup>2</sup>	720	LAST CALL BY NEIMAN MARCUS	35.0FT <sup>2</sup>
W43	7	WA1.02	114FT <sup>2</sup>	720	-	-
W44	7	WA1.02		720	-	-
WL55	7-6	WA1.02	74FT <sup>2</sup>	ENTRY	PEDESTRIAN DIRECTIONAL	93.0FT <sup>2</sup>
WL45	7-6	WA1.02	26FT <sup>2</sup>	B.O.H.	PEDESTRIAN WAYFINDING	N/A
W45	6	WA1.03	72FT <sup>2</sup>	626	-	-
W46	6	WA1.03	172FT <sup>2</sup>	626	VANS OUTLET	21.0FT <sup>2</sup>
W47	6	WA1.03		626	-	-
W48	6	WA1.03		624	CHICO'S	29.0FT <sup>2</sup>
W49	6	WA1.03	294FT <sup>2</sup>	622	GYMBOREE	18.2FT <sup>2</sup>
W50	6	WA1.03		620	BOSTONIAN CLARKS	30.7FT <sup>2</sup>
W51	6	WA1.03		618	PERFUMANIA	18.7FT <sup>2</sup>
W52	6	WA1.03		616	DIESEL	16.5FT <sup>2</sup>
W53	6	WA1.03		614	UGG	10.8FT <sup>2</sup>
W54	6	WA1.03		612	WILLIAM RAST	19.0FT <sup>2</sup>
W55	6	WA1.03	172FT <sup>2</sup>	610	VAN HEUSEN	23.6FT <sup>2</sup>
W56	6	WA1.03		600	-	-
W57	6	WA1.03		600	BASS	26.0FT <sup>2</sup>

\*REFER TO SHEETS WA0.01-WA1.10 FOR ADDITIONAL INFORMATION

**WEST - MASTER SIGN PROGRAM TABULATIONS - WALL SIGNS**

SIGN #	BLDG #	SHEET #	ALLOWABLE AREA	SUITE #	TENANT SIGN NAME	SIGN AREA
W58	6	WA1.03	72FT <sup>2</sup>	600	BASS	20.6FT <sup>2</sup>
W59	6	WA1.03	222FT <sup>2</sup>	600	-	-
W60	6	WA1.03		600	-	-
W61	6	WA1.03		600	-	-
WL52	6	WA1.03		B.O.H.	<b>PEDESTRIAN WAYFINDING</b>	N/A
W63	6	WA1.03	30FT <sup>2</sup>	B.O.H.	-	-
WL54	6-3	WA1.04	198FT <sup>2</sup>	ENTRY	<b>PEDESTRIAN DIRECTIONAL</b>	93.0FT <sup>2</sup>
W65	3	WA1.04	30FT <sup>2</sup>	B.O.H.	-	-
W66	3	WA1.04	220FT <sup>2</sup>	300	-	-
W67	3	WA1.04		300	-	-
W68	3	WA1.04		300	-	-
W69	3	WA1.04		300	-	-
W70	3	WA1.04	72FT <sup>2</sup>	300	LEVI'S OUTLET STORE	47.1FT <sup>2</sup>
W71	3	WA1.04	82FT <sup>2</sup>	300	LEVI'S OUTLET STORE	27.5FT <sup>2</sup>
W72	3	WA1.04		300	-	-
W73	3	WA1.04	58FT <sup>2</sup>	304	-	-
W74	3	WA1.04	48FT <sup>2</sup>	304	CRABTREE & EVELYN	30.0FT <sup>2</sup>
W75	3	WA1.04	76FT <sup>2</sup>	306	-	-
W76	3	WA1.04		306	-	-
W77	3	WA1.04	76FT <sup>2</sup>	306	OFF 5TH-SAKS FIFTH AVENUE	73.3FT <sup>2</sup>
W78	3	WA1.04	72FT <sup>2</sup>	306	-	-
W79	3	WA1.04		306	-	-
W80	3	WA1.04	48FT <sup>2</sup>	320	SOLSTICE SUNGLASS OUTLET	34.5FT <sup>2</sup>
W81	3	WA1.04	48FT <sup>2</sup>	320	SOLSTICE SUNGLASS OUTLET	20.3FT <sup>2</sup>
W82	3	WA1.04	172FT <sup>2</sup>	322	ALDO	16.6FT <sup>2</sup>
W83	3	WA1.04		324	SAMSONITE	24.3FT <sup>2</sup>
W84	3	WA1.04		325	LUCKY BRAND	33.5FT <sup>2</sup>
W85	3	WA1.04		326	L'OCCITANE	32.0FT <sup>2</sup>

\*REFER TO SHEETS WA0.01-WA1.10  
FOR ADDITIONAL INFORMATION

**WEST - MASTER SIGN PROGRAM TABULATIONS - WALL SIGNS**

SIGN #	BLDG #	SHEET #	ALLOWABLE AREA	SUITE #	TENANT SIGN NAME	SIGN AREA
W86	3	WA1.05	236FT <sup>2</sup>	330	-	-
W87	3	WA1.05		330	J-CREW	34.8FT <sup>2</sup>
W88	3	WA1.05		336	SKETCHERS	39.3FT <sup>2</sup>
W89	3	WA1.05		338	-	-
W90	3	WA1.05	144FT <sup>2</sup>	338	KENNITH COLE NEW YORK	21.0FT <sup>2</sup>
W91	3	WA1.05		338	KENNITH COLE NEW YORK	34.7FT <sup>2</sup>
W92	3	WA1.05		338	-	-
W93	3	WA1.06	98FT <sup>2</sup>	338	-	-
W94	3	WA1.06		338	-	-
W95	3	WA1.06	100FT <sup>2</sup>	338	-	-
W96	3	WA1.06		338	-	-
W97	3	WA1.06	96FT <sup>2</sup>	338	-	-
W100	3	WA1.06		330	-	-
W98	3	WA1.06	168FT <sup>2</sup>	336	-	-
W99	3	WA1.06		336	-	-
W101	3	WA1.06		330	-	-
W102	3	WA1.06	46FT <sup>2</sup>	330	-	-
W103	3	WA1.06	58FT <sup>2</sup>	B.O.H.	-	-
W104	3	WA1.06		B.O.H.	-	-
W105	3	WA1.06	58FT <sup>2</sup>	B.O.H.	-	-
W106	3	WA1.06		B.O.H.	-	-
W107	3	WA1.06	200FT <sup>2</sup>	326	-	-
W108	3	WA1.06		325	-	-
W109	3	WA1.06		324	-	-
W110	3	WA1.06		323	-	-
W111	3	WA1.06		323	-	-
W112	3	WA1.06	154FT <sup>2</sup>	306	-	-
W113	3	WA1.06		B.O.H.	-	-
W114	3	WA1.06	144FT <sup>2</sup>	306	-	-
W115	3	WA1.06		306	-	-
W116	3	WA1.06		306	-	-

**WEST - MASTER SIGN PROGRAM TABULATIONS - WALL SIGNS**

SIGN #	BLDG #	SHEET #	ALLOWABLE AREA	SUITE #	TENANT SIGN NAME	SIGN AREA
W117	3	WA1.06	102FT <sup>2</sup>	306(BEYOND)	-	-
W118	3	WA1.06		306(BEYOND)	-	-
W119	3	WA1.06	220FT <sup>2</sup>	306(BEYOND)	-	-
W120	3	WA1.06		306(BEYOND)	-	-
W121	3	WA1.06		306(BEYOND)	OFF 5TH-SAKS FIFTH AVENUE	41.3FT <sup>2</sup>
W122	3	WA1.06	96FT <sup>2</sup>	B.O.H.	-	-
W123	3	WA1.07	160FT <sup>2</sup>	300	-	-
W124	3	WA1.07		300	-	-
W125	3	WA1.07		300	-	-
W126	3	WA1.07	48FT <sup>2</sup>	B.O.H.	-	-
WL49	3-6	WA1.07	304FT <sup>2</sup>	ENTRY	<u>PEDESTRIAN DIRECTIONAL</u>	93.0FT <sup>2</sup>
WL58	3-6	WA1.07	304FT <sup>2</sup>	ENTRY	<u>CUSTOMER INFO. SIGN</u>	15.0FT <sup>2</sup>
WL59	3-6	WA1.07	304FT <sup>2</sup>	ENTRY	<u>CUSTOMER INFO. SIGN</u>	15.0FT <sup>2</sup>
WL60	3-6	WA1.04	198FT <sup>2</sup>	ENTRY	<u>CUSTOMER INFO. SIGN</u>	15.0FT <sup>2</sup>
WL60	3-6	WA1.04	198FT <sup>2</sup>	ENTRY	<u>CUSTOMER INFO. SIGN</u>	15.0FT <sup>2</sup>
WL48	6	WA1.07	32FT <sup>2</sup>	B.O.H.	<u>PEDESTRIAN WAYFINDING</u>	N/A
W128	6	WA1.07	134FT <sup>2</sup>	B.O.H.	-	-
W129	6	WA1.07		B.O.H.	VAN HEUSEN	38.1FT <sup>2</sup>
W130	6	WA1.07		B.O.H.	-	-
W131	6	WA1.07		B.O.H.	-	-
W132	6	WA1.07	28FT <sup>2</sup>	607	DOONEY & BOURKE	?
W133	6	WA1.07	100FT <sup>2</sup>	607	-	-
W134	6	WA1.07		607	DOONEY & BOURKE	18.8FT <sup>2</sup>
W135	6	WA1.07	50FT <sup>2</sup>	607	-	-
W136	6	WA1.07	50FT <sup>2</sup>	B.O.H.	DOONEY & BOURKE	18.8FT <sup>2</sup>
W137	6	WA1.07	78FT <sup>2</sup>	607	-	-
W138	6	WA1.07		607	-	-

\*REFER TO SHEETS WA0.01-WA1.10  
FOR ADDITIONAL INFORMATION



**WEST - MASTER SIGN PROGRAM TABULATIONS - WALL SIGNS**

SIGN #	BLDG #	SHEET #	ALLOWABLE AREA	SUITE #	TENANT SIGN NAME	SIGN AREA
W139	6	WA1.07	351FT <sup>2</sup>	616	-	-
W140	6	WA1.07		616	-	-
W141	6	WA1.07		618	-	-
W142	6	WA1.07		620	UGG	28.1FT <sup>2</sup>
W143	6	WA1.07		620	-	-
W144	6	WA1.07		622	-	-
W145	6	WA1.07	244FT <sup>2</sup>	624	-	-
W146	6	WA1.07		626	-	-
W147	6	WA1.07		626	VANS OUTLET	23.3FT <sup>2</sup>
W148	6	WA1.07		626	-	-
W149	6	WA1.07		B.O.H.	-	-
WL47	6-7	WA1.07	74FT <sup>2</sup>	ENTRY	PEDESTRIAN DIRECTIONAL	93.0FT <sup>2</sup>
W150	7	WA1.08	269FT <sup>2</sup>	720	-	-
W151	7	WA1.08		720	LAST CALL BY NEIMAN MARCUS	43.0FT <sup>2</sup>
W152	7	WA1.08		720	-	-
W153	7	WA1.08		720	-	-
W154	7	WA1.08		720	-	-
W155	7	WA1.08		720	-	-
W156	7	WA1.08	74FT <sup>2</sup>	720	VANS OUTLET	16.3FT <sup>2</sup>
W157	7	WA1.08	74FT <sup>2</sup>	720	LAST CALL BY NEIMAN MARCUS	34.8FT <sup>2</sup>
W158	7	WA1.08	50FT <sup>2</sup>	720	-	-
W159	7	WA1.08	42FT <sup>2</sup>	720	-	-
W160	7	WA1.08	86FT <sup>2</sup>	720	-	-
W162	7	WA1.08		720	LAST CALL BY NEIMAN MARCUS	34.8FT <sup>2</sup>
W163	5	WA1.08	76FT <sup>2</sup>	B.O.H.	-	-
W164	5	WA1.08		B.O.H.	-	-
W165	5	WA1.08	72FT <sup>2</sup>	520	EDDIE BAUER	44.2FT <sup>2</sup>
W166	5	WA1.08	242FT <sup>2</sup>	520	-	-
W167	5	WA1.08		518	TAG HEUER	35.5FT <sup>2</sup>
W168	5	WA1.08		518	-	-
W169	5	WA1.08		518	JOCKEY	28.1FT <sup>2</sup>
W170	5	WA1.08		514	UGG	28.1FT <sup>2</sup>

\*REFER TO SHEETS WA0.01-WA1.10 FOR ADDITIONAL INFORMATION

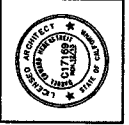
**WEST - MASTER SIGN PROGRAM TABULATIONS - WALL SIGNS**

SIGN #	BLDG #	SHEET #	ALLOWABLE AREA	SUITE #	TENANT SIGN NAME	SIGN AREA
W171	5	WA1.08	141FT <sup>2</sup>	512	-	-
W172	5	WA1.08		510	VOLCOM	34.6FT <sup>2</sup>
W173	5	WA1.08		506	-	-
W174	5	WA1.08	56FT <sup>2</sup>	506	NAUTICA	18.3FT <sup>2</sup>
W175	5	WA1.08	44FT <sup>2</sup>	504	TOD'S	9.6FT <sup>2</sup>
W176	5	WA1.08	172FT <sup>2</sup>	504	-	-
W177	5	WA1.08		502	POLO RALPH LAUREN CHILDREN	45.0FT <sup>2</sup>
W178	5	WA1.08		500	-	-
W179	5	WA1.08		500	ANN TAYLOR FACTORY STORE	28.9FT <sup>2</sup>
W180	5	WA1.08		500	-	-
WL53	5-4	WA1.09	116FT <sup>2</sup>	800	<u>CENTER IDENTITY</u>	118.0FT <sup>2</sup>
W182	4	WA1.09	164FT <sup>2</sup>	400	VANS OUTLET	36.0FT <sup>2</sup>
W183	4	WA1.09		400	GAP OUTLET	26.7FT <sup>2</sup>
W184	4	WA1.09		400	LEVI'S OUTLET STORE	47.1FT <sup>2</sup>
W185	4	WA1.09		408	TOMMY HILFIGER	36.8FT <sup>2</sup>
W186	4	WA1.09	56FT <sup>2</sup>	414	-	-
W187	4	WA1.09	154FT <sup>2</sup>	414	-	-
W188	4	WA1.09		414	-	-
W189	4	WA1.09		418	-	-
W190	4	WA1.09	126FT <sup>2</sup>	420	BOSE OUTLET STORE	20.8FT <sup>2</sup>
W191	4	WA1.09		420	NINE WEST	35.0FT <sup>2</sup>
W192	4	WA1.09		424	ECCO	15.8FT <sup>2</sup>
W193	4	WA1.09	130FT <sup>2</sup>	426	-	-
W194	4	WA1.09		426	TRUE RELIGION BRAND JEANS	45.3FT <sup>2</sup>
W195	4	WA1.09		428	J-CREW	42.0FT <sup>2</sup>
W196	4	WA1.09	50FT <sup>2</sup>	430	-	-
W197	4	WA1.09	82FT <sup>2</sup>	430	-	-
W198	4	WA1.09		432	ED HARDY	39.9FT <sup>2</sup>
W199	4	WA1.09	160FT <sup>2</sup>	B.O.H.	JONES NEW YORK	29.5FT <sup>2</sup>
W200	4	WA1.09		436	-	-
W201	4	WA1.09		438	KENNITH COLE NEW YORK	54.0FT <sup>2</sup>

\*REFER TO SHEETS WA0.01-WA1.10  
FOR ADDITIONAL INFORMATION

**WEST - MASTER SIGN PROGRAM TABULATIONS - WALL SIGNS**

SIGN #	BLDG #	SHEET #	ALLOWABLE AREA	SUITE #	TENANT SIGN NAME	SIGN AREA
W202	4	WA1.09	50FT <sup>2</sup>	440	-	-
W203	4	WA1.10	50FT <sup>2</sup>	440	-	-
W204	4	WA1.10	126FT <sup>2</sup>	442	-	-
W205	4	WA1.10		444	-	-
W206	4	WA1.10	52FT <sup>2</sup>	ENTRY	-	-
W207	4	WA1.10		ENTRY	-	-
WL41B	4	WA1.10	68FT <sup>2</sup>	ENTRY	<b><u>CENTER IDENTITY</u></b>	80.0FT <sup>2</sup>
W209	4	WA1.10	68FT <sup>2</sup>	ENTRY	-	-



DESERT HILLS PREMIUM  
OUTLETS  
WEST MASTER SIGN PROGRAM

PREMIUM OUTLETS  
SIMON

OVERALL SITE  
WEST LANDLORD SIGNAGE

PLANNING & ENGINEERING  
3111 Hudson Valley  
Mesa, AZ 85205  
Tel: 480-942-3000  
Fax: 480-942-3001  
www.planningandengineering.com

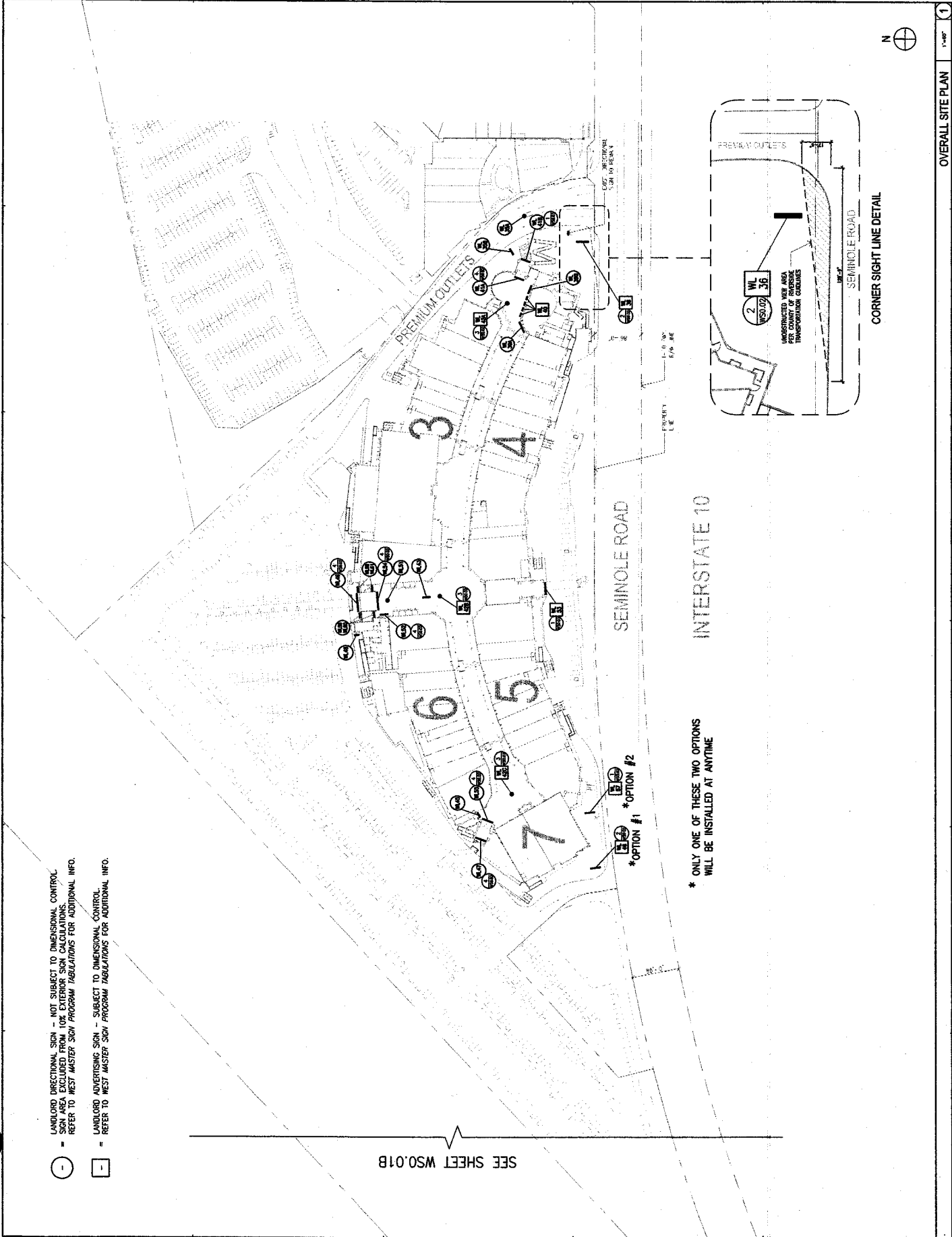
DATE	BY
2013-10-20/2014-03-20	MM
PROJECT	NO.
DESIGN NO.	01-10-2013

SHEET  
**WS0.01**  
SP

- - LANDLORD DIRECTIONAL SIGN - NOT SUBJECT TO DIMENSIONAL CONTROL. SIGN AREA EXCLUDED FROM LOS EXTERIOR SIGN CALCULATIONS. REFER TO WEST MASTER SIGN PROGRAM TABULATIONS FOR ADDITIONAL INFO.
- - LANDLORD ADVERTISING SIGN - SUBJECT TO DIMENSIONAL CONTROL. REFER TO WEST MASTER SIGN PROGRAM TABULATIONS FOR ADDITIONAL INFO.

SEE SHEET WS0.01B

\* ONLY ONE OF THESE TWO OPTIONS WILL BE INSTALLED AT ANYTIME



OVERALL SITE PLAN 1/8"=1'









DESERT HILLS PREMIUM  
OUTLETS  
15000 N. MOHAVE AVE.  
DANA POINT, CA 92629

WEST  
PROJECT  
SIGNAGE

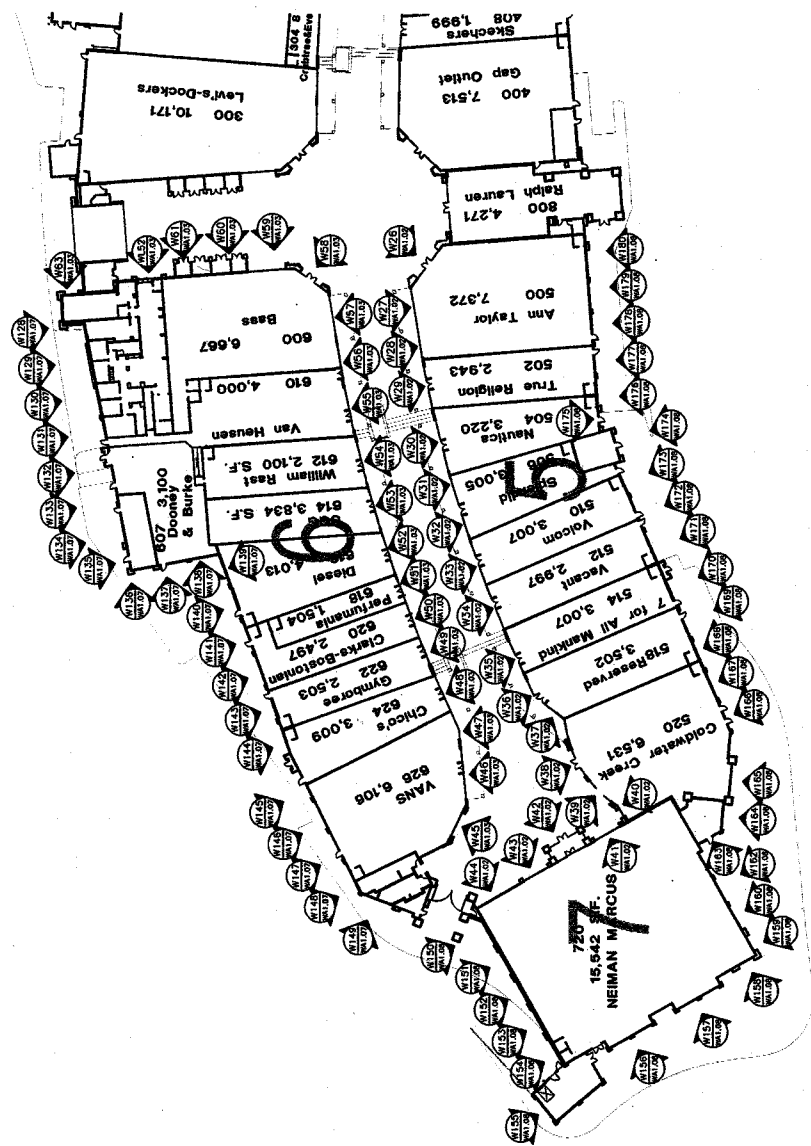
PREMIUM  
OUTLETS  
SIMON

WEST  
SITE PLAN  
BUILDINGS  
5, 6 & 7

PLAN CHECK & APPROVAL  
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DATE	BY	DATE	BY

SHEET  
**WA0.01**  
SP











DESERT HILLS PREMIUM  
OUTLETS  
COMMERCIAL CENTER

WEST  
PROJECT  
SIGNAGE

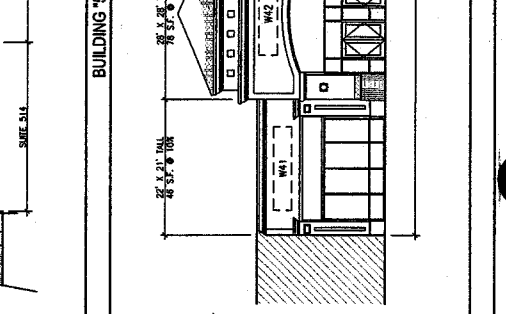
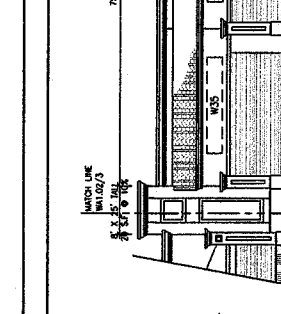
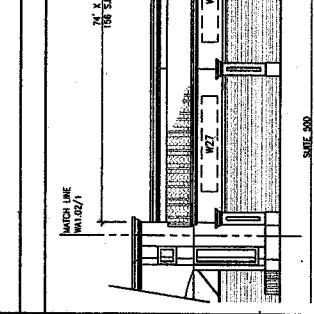
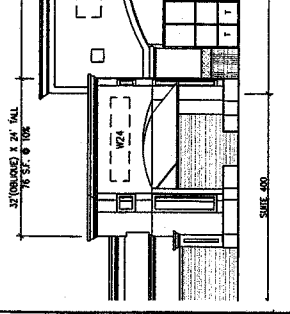
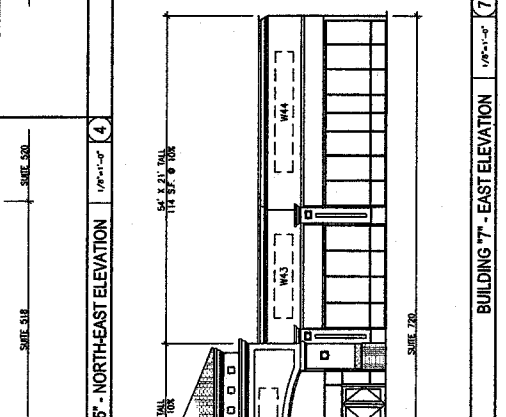
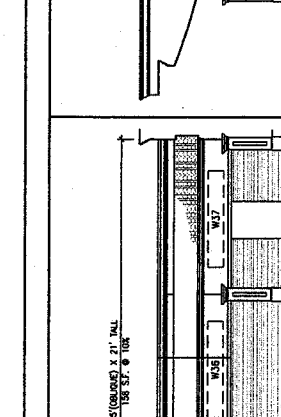
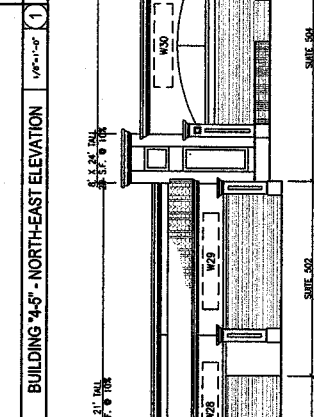
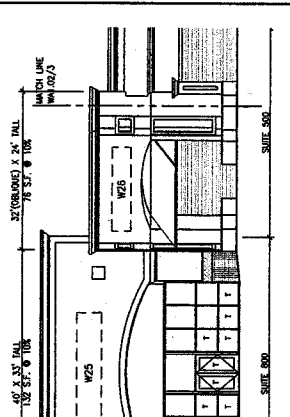
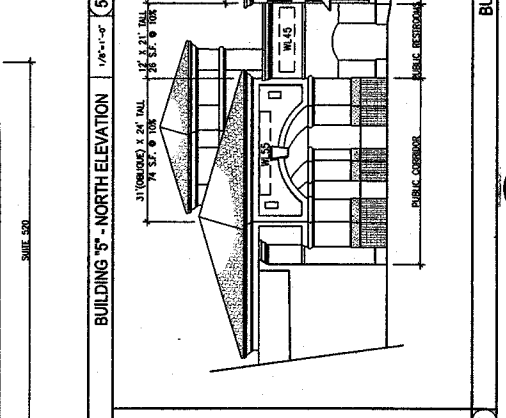
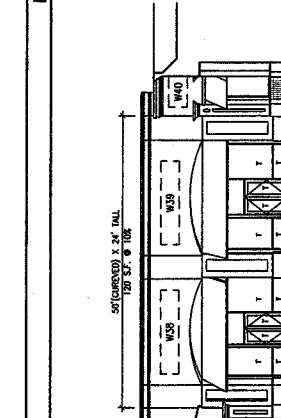
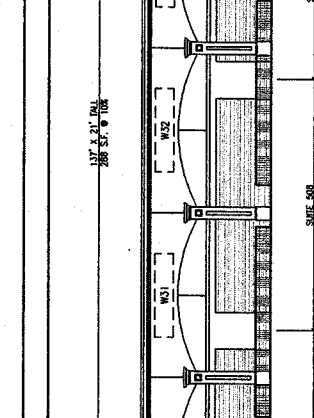
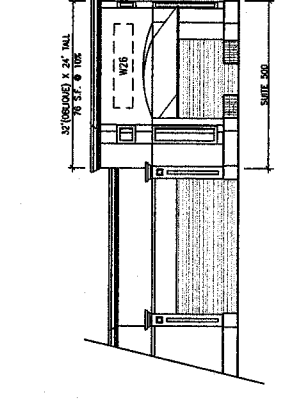
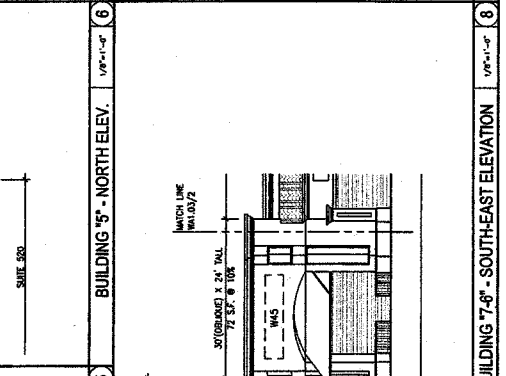
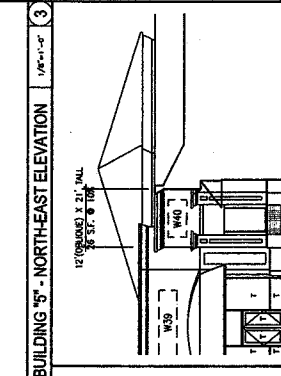
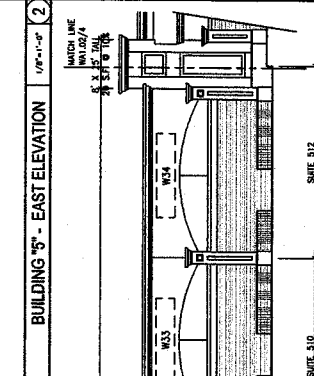
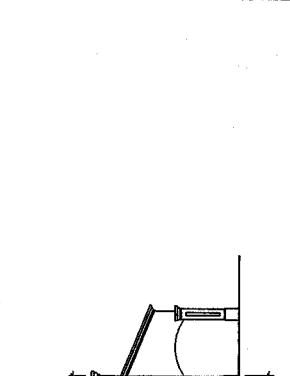
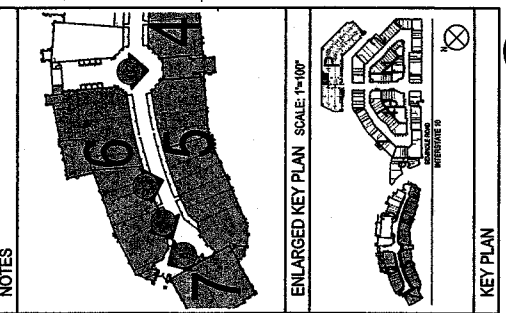
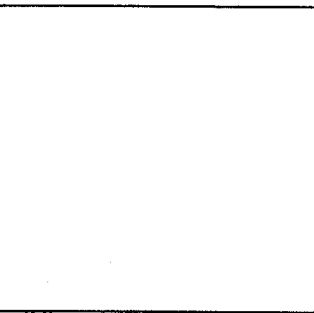
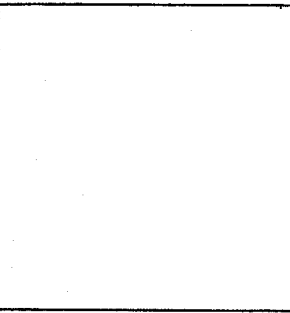
PREMIUM  
OUTLETS  
SIMON

SIGNAGE  
ELEVATIONS  
BUILDING  
4, 5, 6 & 7

DATE: \_\_\_\_\_  
DRAWN BY: \_\_\_\_\_  
CHECKED BY: \_\_\_\_\_  
PROJECT NO.: \_\_\_\_\_  
SHEET NO.: \_\_\_\_\_

WA1.02  
SHEET

BLDG. 4, 5, 6 & 7







DESERT HILLS PREMIUM  
OUTLETS  
COMMERCIAL CENTER

WEST  
MASTER  
SIGN  
PROGRAM

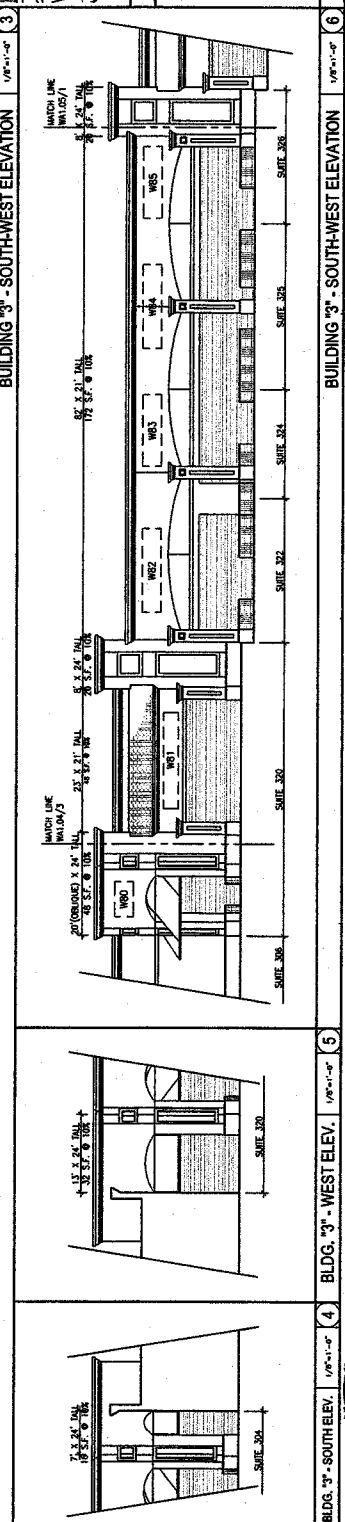
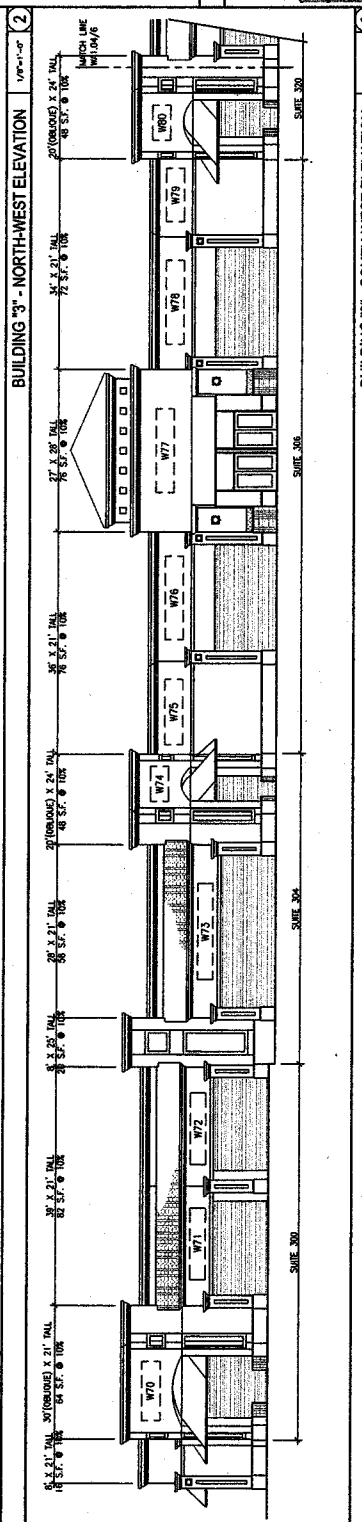
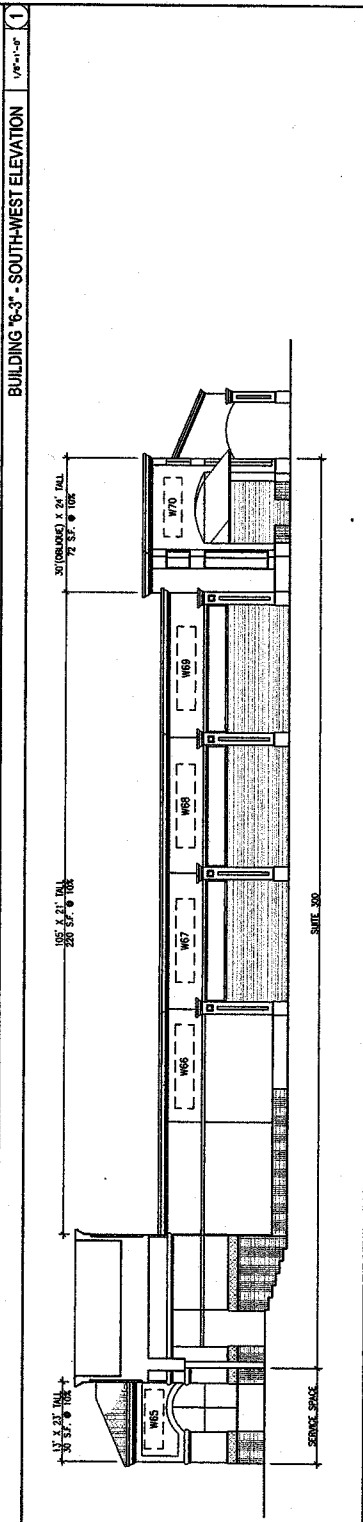
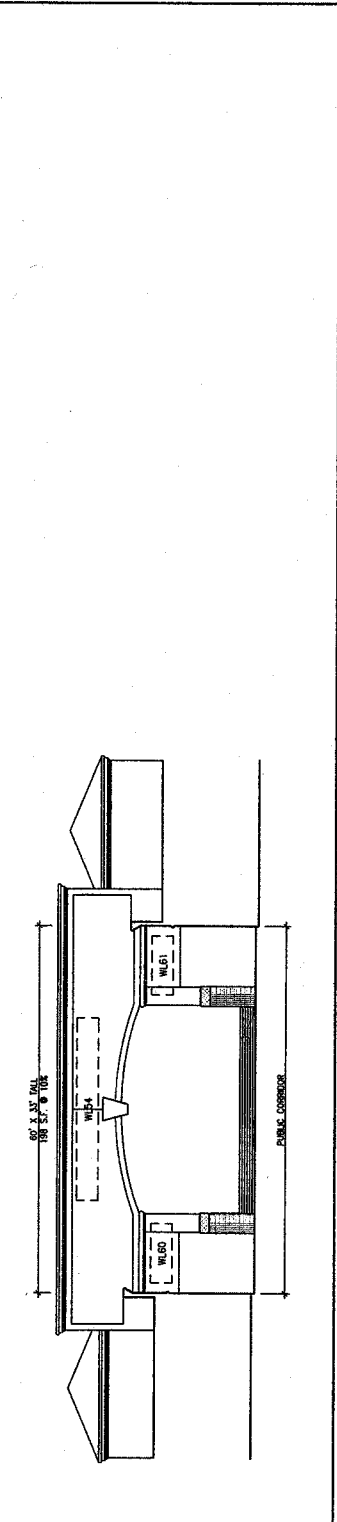
PREMIUM  
OUTLETS  
SIMON

SIGNAGE  
ELEVATIONS  
BUILDING  
3 & 6

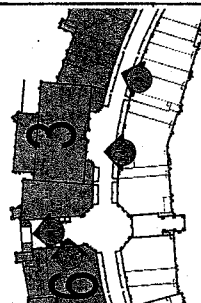
PLANNING & ARCHITECTURE  
10000 W. CENTRAL EXPRESSWAY  
SUITE 1000  
DALLAS, TEXAS 75243  
TEL: 972.382.1000  
WWW.PA&A.COM

DATE: \_\_\_\_\_  
BY: \_\_\_\_\_  
CHECKED BY: \_\_\_\_\_  
SCALE: 1/8" = 1'-0"

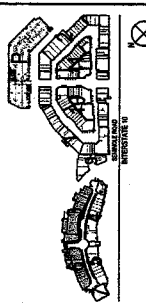
SHEET  
**WA1.04**  
BLDG. 3 & 6



NOTES



ENLARGED KEY PLAN SCALE: 1/8" = 1'-0"



KEY PLAN

PROJECT: WEST MASTER SIGN PROGRAM - BLDG. 3 & 6. DATE: 10/11/11. DRAWN BY: J. SIMON. CHECKED BY: J. SIMON. SCALE: 1/8" = 1'-0".



DESERT HILLS PREMIUM  
 OFFICE BUILDING  
 WEST PROJECT SIGNAGE  
 CONTRACT NO. 1000

WEST  
 PROJECT  
 SIGNAGE

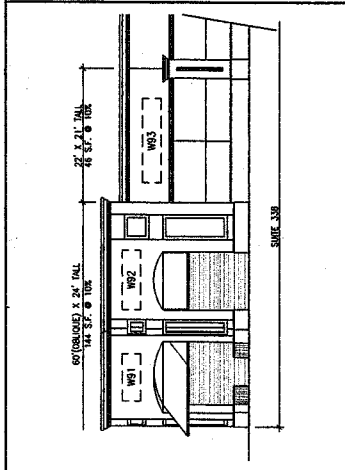
PREMIUM  
 OUTLETS  
 SIMON

SIGNAGE  
 ELEVATIONS  
 BUILDING  
 3

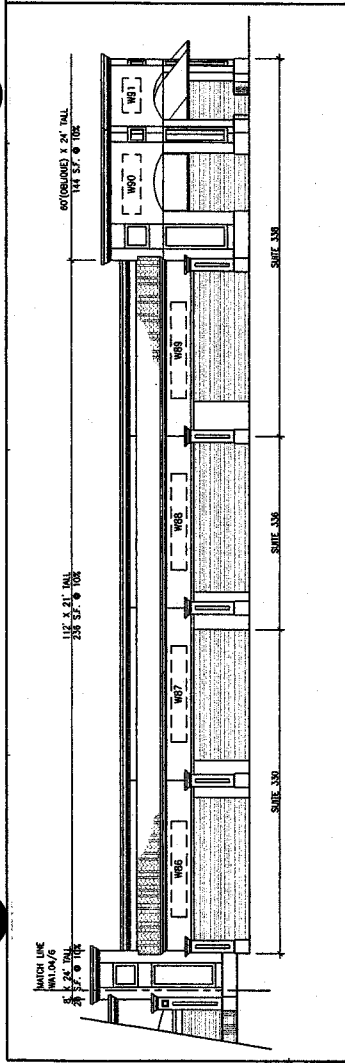
PLANNING & ARCHITECTURE  
 © 2011 Architects Group  
 10000 S. RAYBURN DRIVE, SUITE 100  
 LAS VEGAS, NV 89148  
 PHONE: 702.735.1000  
 FAX: 702.735.1001  
 WWW: WWW.P&A.COM

DATE  
 PER DATE  
 BY DATE  
 2012-10-20/2008-2009 PER DATE  
 2012-10-20/2008-2009 PER DATE

SHEET  
**WA1.05**  
 BLDG. 3

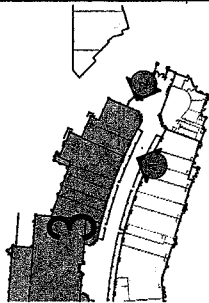


BUILDING 3 - WEST ELEVATION 1/8"=1'-0"

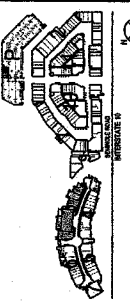


BLDG. 3 - SOUTH ELEVATION 1/8"=1'-0"

NOTES



ENLARGED KEY PLAN SCALE: 1/4"=1'-0"



KEY PLAN



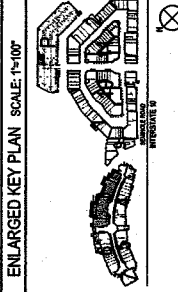
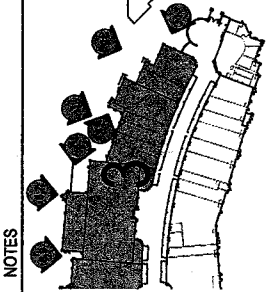
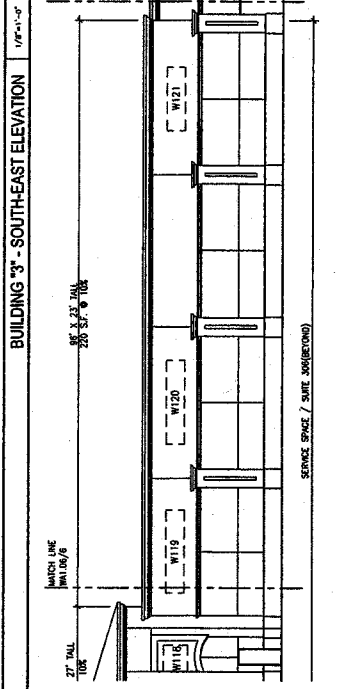
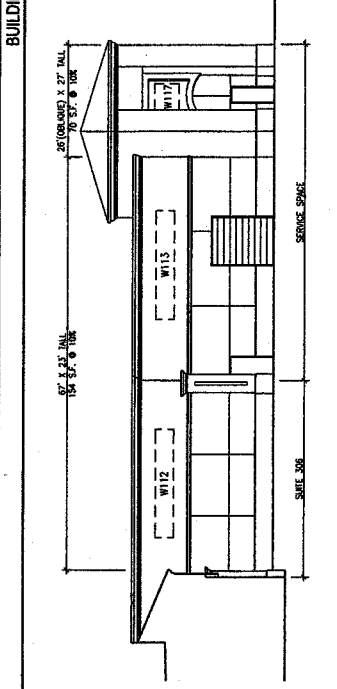
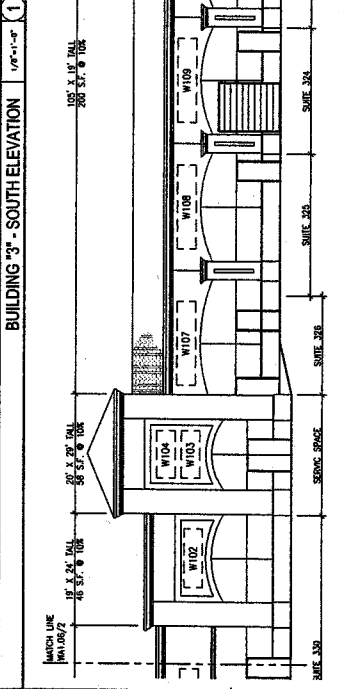
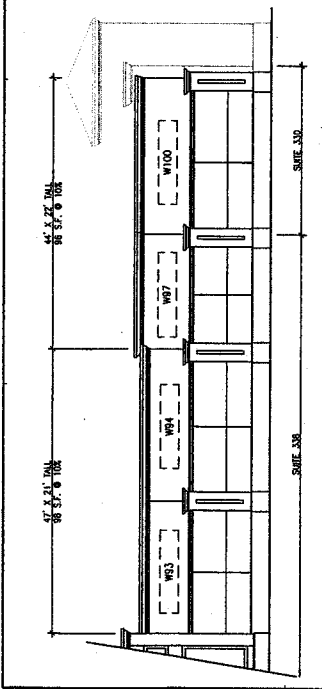
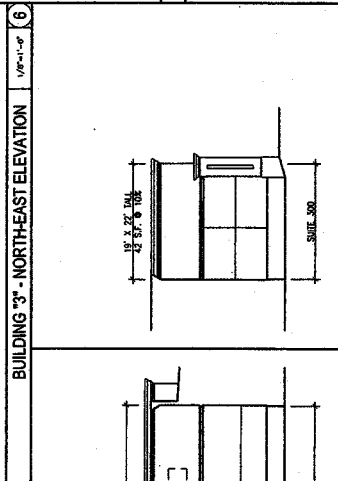
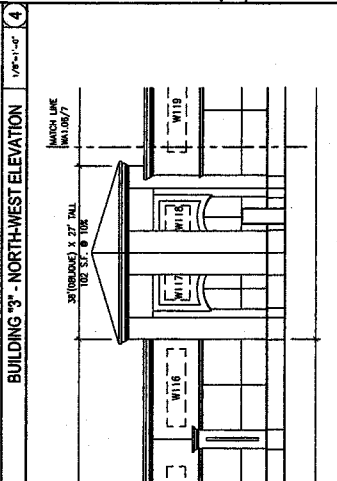
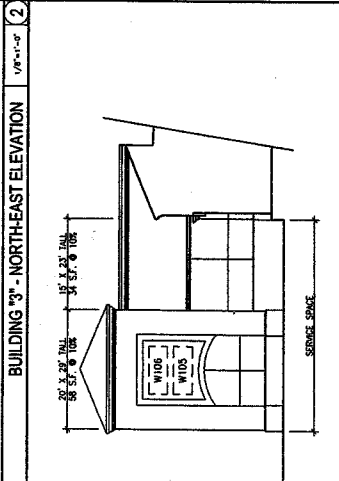
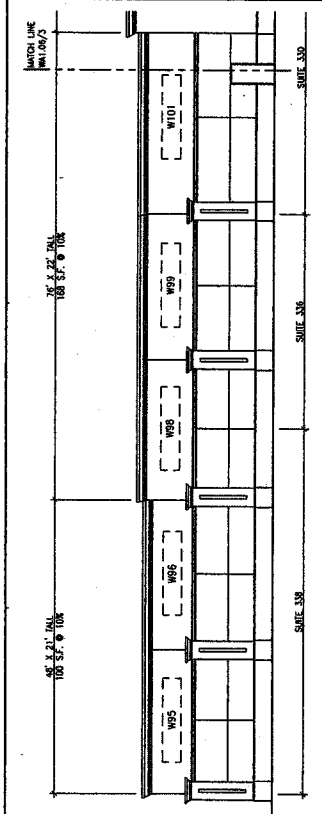
DESERT HILLS PREMIUM  
OUTLETS  
WEST MASTER  
SIGN PROGRAM

PREMIUM  
OUTLETS  
SIMON

SIGNAGE  
ELEVATIONS  
BUILDING  
3

PLANNING & ARCHITECTURE  
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DATE: 02-28-2011

PROJECT: WEST MASTER SIGN PROGRAM  
SHEET: WA1.06  
BLDG. 3



NOTES

ENLARGED KEY PLAN SCALE: 1/8"=1'-0"

KEY PLAN

BUILDING 338 - NORTH-EAST ELEVATION 1/8"=1'-0"

BUILDING 338 - NORTH-WEST ELEVATION 1/8"=1'-0"

BUILDING 338 - SOUTH-EAST ELEVATION 1/8"=1'-0"

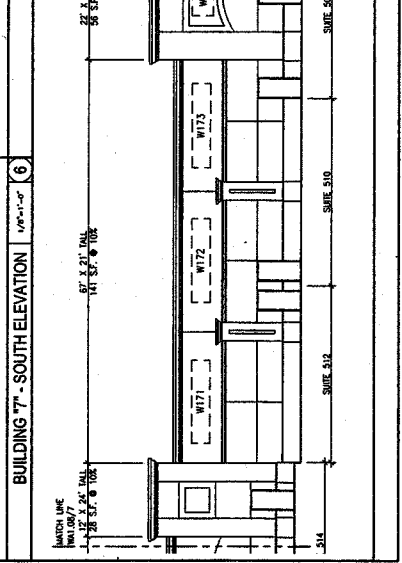
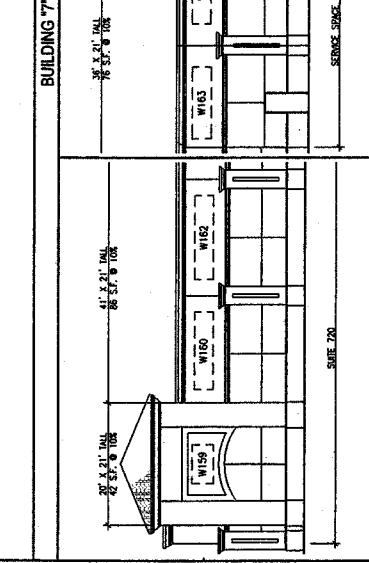
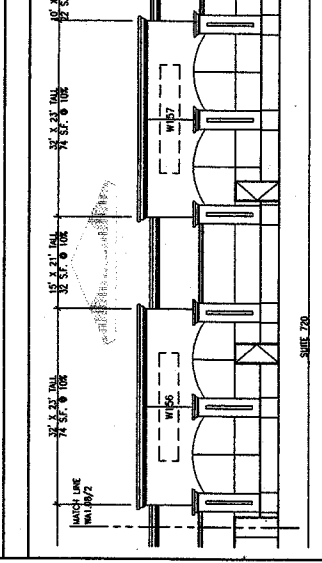
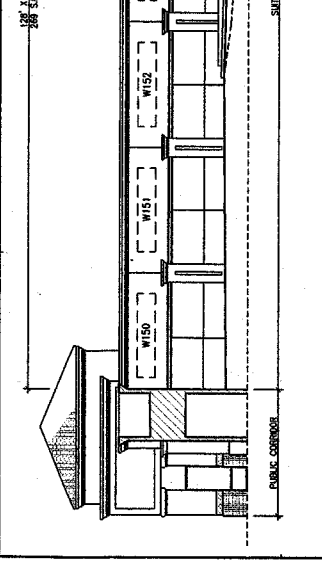
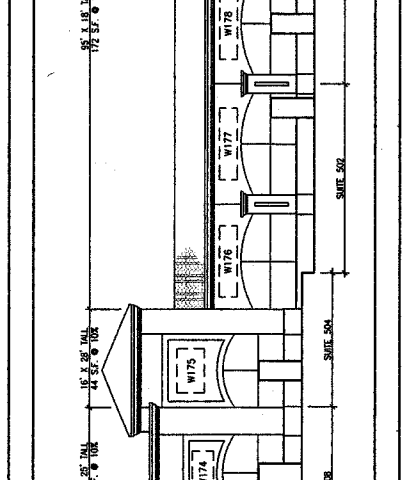
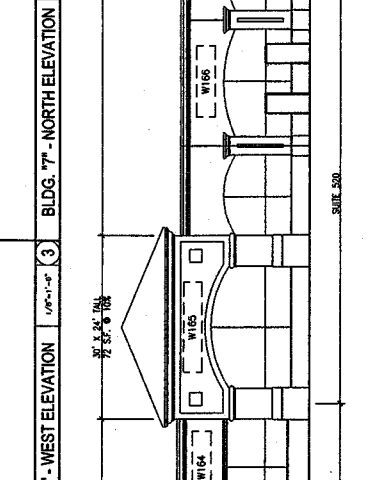
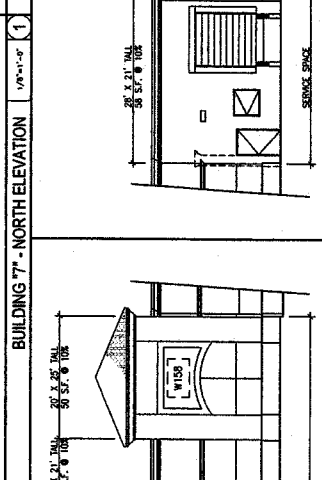
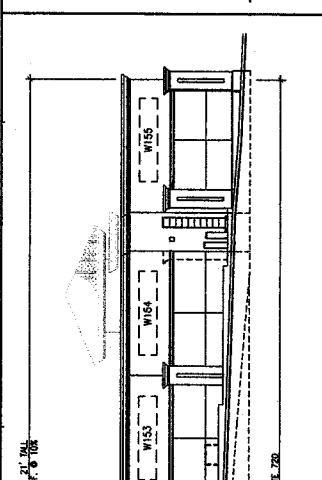
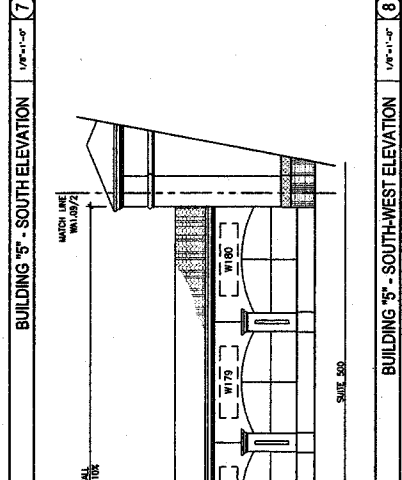
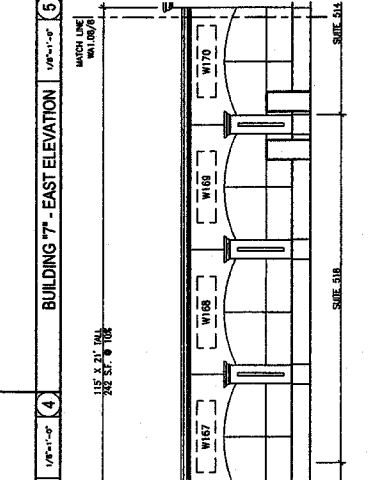
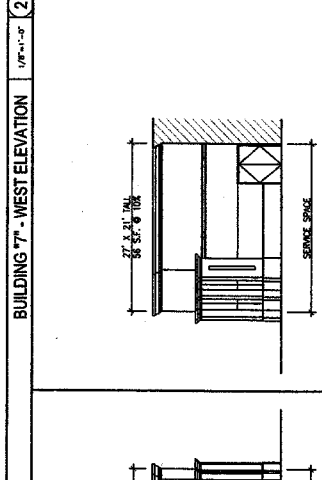
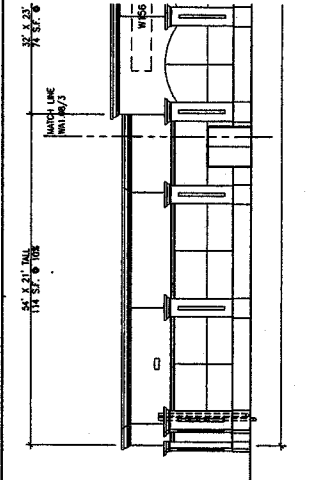
BUILDING 338 - NORTH-EAST ELEVATION 1/8"=1'-0"

BUILDING 338 - SOUTH-EAST ELEVATION 1/8"=1'-0"

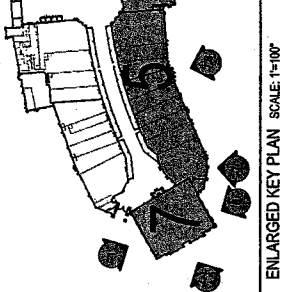
BLDG. 338 - SOUTH-EAST ELEV. 1/8"=1'-0"



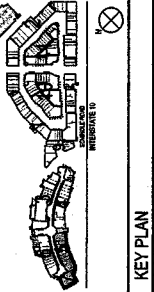




NOTES



ENLARGED KEY PLAN SCALE: 1/8\"/>



KEY PLAN



DESIGNED BY JEFFERMAN  
 ARCHITECTS  
 1000 S. RAYBURN  
 SUITE 100  
 LAS VEGAS, NV 89102

**WEST**  
 PROJECT  
 SIGNAGE

**PREMIUM  
 OUTLETS  
 SIMON**

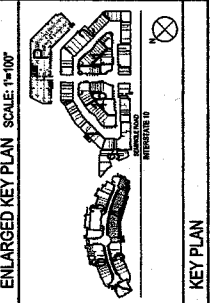
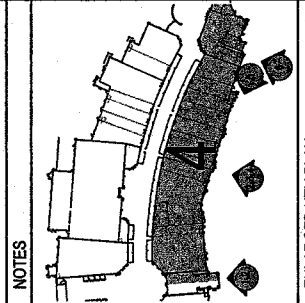
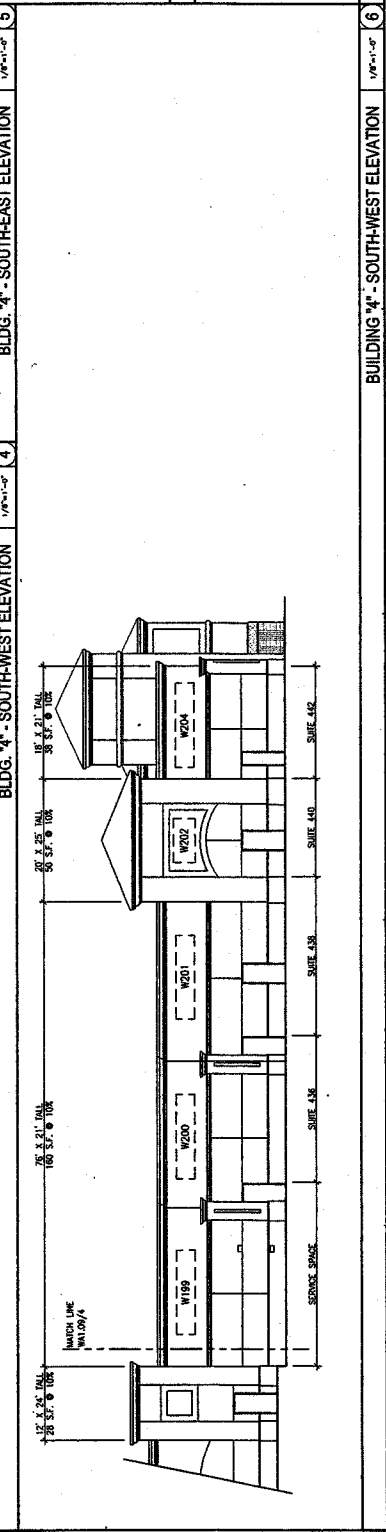
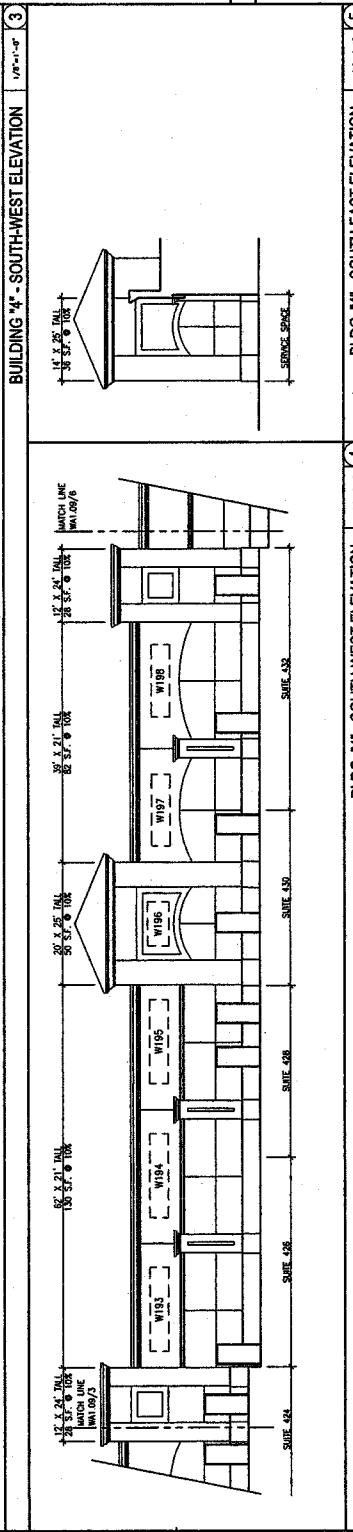
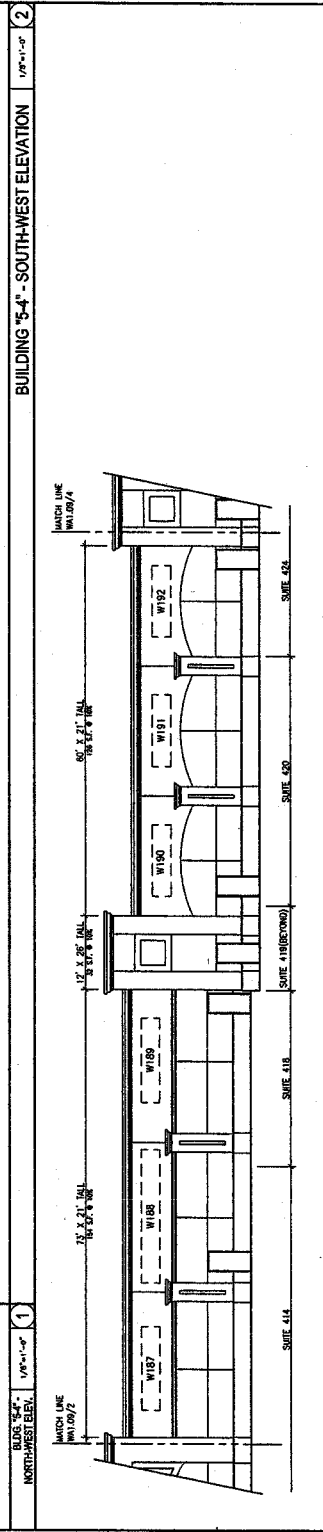
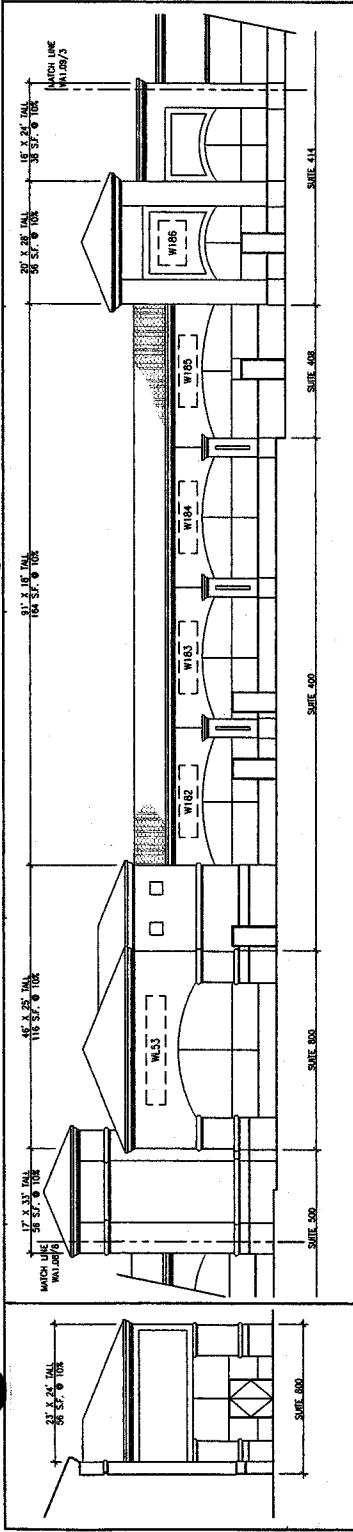
**SIGNAGE  
 ELEVATIONS  
 BUILDING**  
 4

PLAN CHECK & REVISIONS  
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 BY: \_\_\_\_\_  
 CHECKED BY: \_\_\_\_\_  
 DATE: \_\_\_\_\_

DATE: \_\_\_\_\_  
 BY: \_\_\_\_\_  
 CHECKED BY: \_\_\_\_\_  
 DATE: \_\_\_\_\_

DATE: \_\_\_\_\_  
 BY: \_\_\_\_\_  
 CHECKED BY: \_\_\_\_\_  
 DATE: \_\_\_\_\_

SHEET  
**WA1.09**  
 BLDG. 4



NOTES

ENLARGED KEY PLAN SCALE: 1/8"=1'-0"

KEY PLAN

BLDG. 5-4 - SOUTH-WEST ELEVATION 1/8"=1'-0"

BLDG. 4 - SOUTH-WEST ELEVATION 1/8"=1'-0"

BLDG. 4 - SOUTH-WEST ELEVATION 1/8"=1'-0"

BLDG. 4 - SOUTH-WEST ELEVATION 1/8"=1'-0"



DESERT HILLS PREMIUM  
OUTLETS  
COMMERCIAL CENTER  
CHANDLER, AZ 85226

**WEST  
PROJECT  
SIGNAGE**

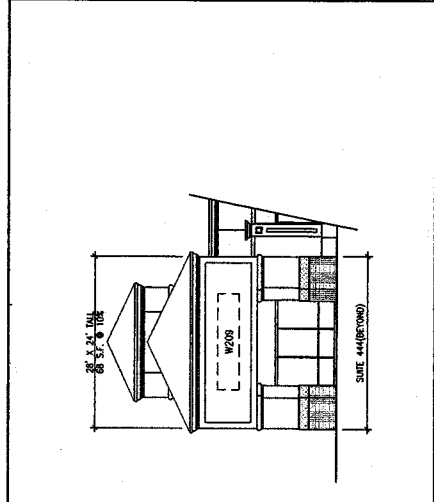
**PREMIUM  
OUTLETS  
SIMON**

**SIGNAGE  
ELEVATIONS  
BUILDING  
4**

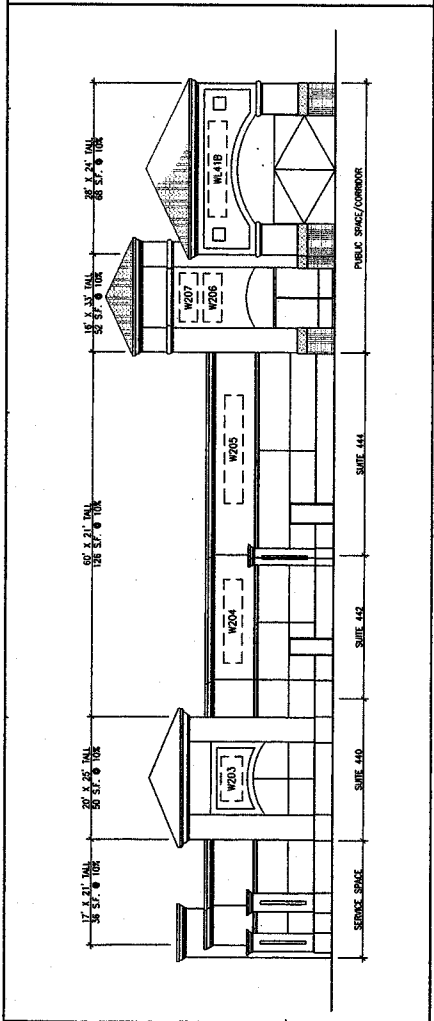
RAIN ORACLE ARCHITECTURE  
© 2011 Jordan County  
1000 S. GARDEN AVENUE, SUITE 100  
MESA, AZ 85204  
TEL: 480-944-1111 FAX: 480-944-1112

DATE: \_\_\_\_\_  
BY: \_\_\_\_\_  
CHECKED BY: \_\_\_\_\_  
DATE: \_\_\_\_\_

SHEET  
**WA1.10**  
BLDG. 4

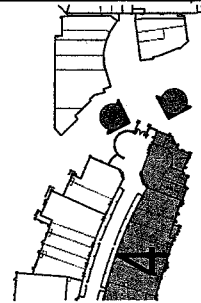


**BUILDING 4" - NORTH-EAST ELEVATION** 1/8"=1'-0" (2)

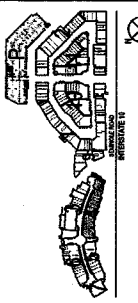


**BUILDING 4" - SOUTH-EAST ELEVATION** 1/8"=1'-0" (1)

NOTES



ENLARGED KEY PLAN SCALE: 1"=100'



KEY PLAN







DESERT HILLS PREMIUM  
OUTLETS  
CANTON, CALIFORNIA

WEST  
MASTER  
SIGN  
PROGRAM

PREMIUM  
OUTLETS  
SIMON

TENANT  
BLADE SIGN  
EXAMPLES

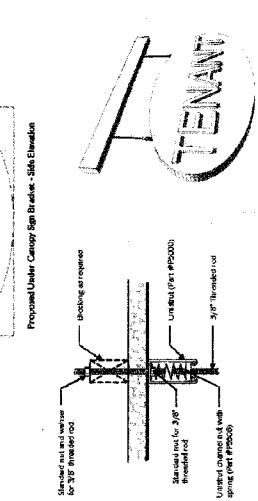
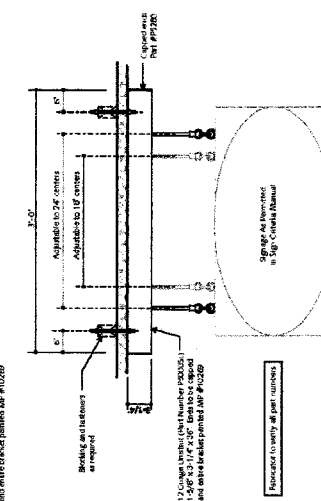
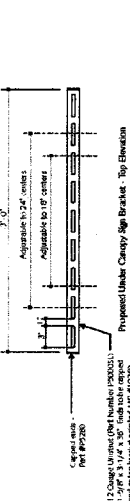
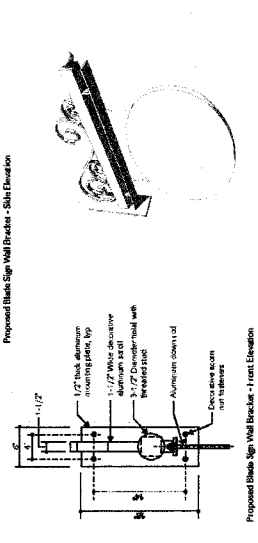
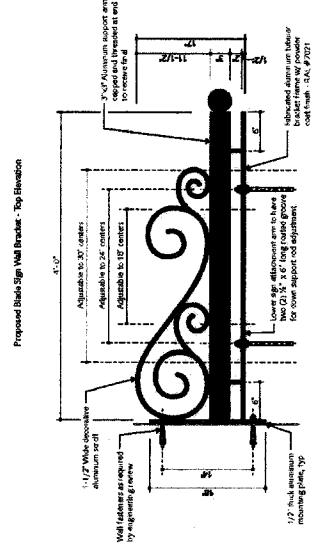
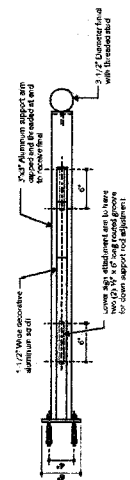
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DATE: 11/11/2013  
BY: [Signature]  
PROJECT NUMBER: 13-0000000000  
SHEET NUMBER: 1

SHEET  
WS2.03

### SECONDARY STOREFRONT SIGNAGE - BLADE SIGN MOUNTED ABOVE STOREFRONT ENTRY DOORS

The Tenant is required to submit shop drawings detailing materials, dimensions, sizes, spacing, sections, letter height, width, and depth. PMS colors and typographies for a double-faced Blade Sign.

- (1) The purpose of the blade signs is to identify the store entrance to shoppers along pedestrian paths.
- (2) The size of the sign shall be limited to 6 square feet per sign face. Maximum height of the sign panel is 2'-0". Maximum width is 3'-0". The thickness of the sign background must be at least 1/2" and the sign face must be at least 1/4" thick. The sign face must be printed on both sides with two coats of primer. No vinyl letters permitted.
- (3) The shape of the blade sign will differ from Tenant to Tenant but the support brackets (staff) will complement their individual style, emphasizing their corporate identity and/or product. If Tenant has a store in another Premium Outlet center, Tenant is encouraged to utilize same blade sign design.
- (4) Painted dimensional letters mounted to blade panel are required, to give interest and variety.



West Master Tenant Bracket To Blade Solution



DESERT HILLS PREMIUM OUTLETS  
 4800 CAMARILLO CENTER DRIVE  
 WEST MASTER SIGN PROGRAM

PREMIUM OUTLETS  
 SIMON

TENANT DOOR / STOREFRONT SIGNAGE

PLAN CHECK # 1805000001  
 © 2017 LUCIANO COMPANY  
 2017-11-15 10:00:00 AM  
 2017-11-15 10:00:00 AM  
 2017-11-15 10:00:00 AM

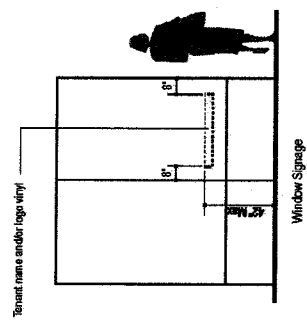
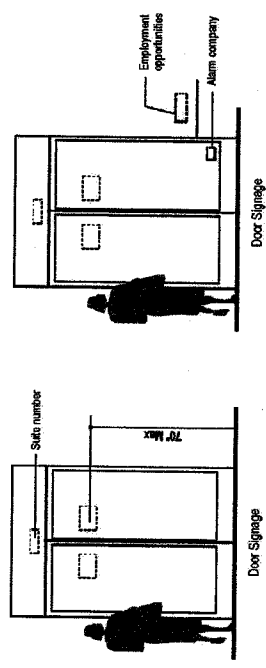
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 PROJECT NO. \_\_\_\_\_  
 SHEET NO. \_\_\_\_\_  
 TOTAL SHEETS \_\_\_\_\_  
 DATE \_\_\_\_\_

SHEET  
 WS2.04

Tenant Name and/or Logo Vinyl

ENTRY DOOR/STOREFRONT WINDOW SIGNAGE

- For the purpose of store identification, the Tenant may propose to the Landlord a design layout of tenant name and/or logo in white or black Vinyl Die-Cut Graphics or another color as per Landlord's approval for placement on the inside of entry doors. Each door is permitted one (1) square foot of Vinyl Die-Cut Sign area. The area must be centered 70" from grade or as otherwise decided due to door configurations.
- For the purpose of additional store identification, the Tenant may also propose to the Landlord a design layout of store name in black or white Vinyl Die-Cut Graphics or another color, as per Landlord's approval, for placement on the inside of every other (alternating) display window. The maximum permitted area on each window may not exceed one (1) square foot and placement must occur in the centered area measured a minimum of 8" inward toward the window's center from the vertical edges of the window and may not exceed 42" above grade.
- Permanent store signage as part of window background display is limited to one (1) square foot of sign area per one (1) lineal foot of store frontage.
- Tenant supplied "Help Wanted" signs are prohibited.
- "Help Wanted" and other standard information signs as deemed necessary by Landlord, are provided by Landlord and shall be affixed to the inside left edge of the window immediately adjacent to the right of entry doors and no higher than 48" above grade. Such signage shall only be permitted to be affixed with clear suction cups.
- Standard information signage icons such as no food, drink, smoking, store hours, etc. shall be provided by Landlord only. Facebook, Twitter, Foursquare shall be provided by Landlord at tenant request and tenant expense.
- Credit Card or check acceptance signs or logos placed on storefront display windows or doors are strictly prohibited.
- Alarm company stickers shall be limited to one per entry door and be located only at the extreme lower right corner of the glass area on the door.
- Handicap access is permitted and shall be placed according to ADA or local jurisdiction under the supervision and approval of the Landlord.
- The Landlord reserves the right to require a Tenant, at its expense, to remove any storefront signage it considers to be non-complying or unprofessional.



TENANT ENTRY DOOR / STOREFRONT WINDOW SIGNAGE



DESERT HILLS PREMIUM  
OUTLETS  
15000 S. HAWAIIAN AVE.  
LAS VEGAS, NV 89119

WEST  
MASTER  
SIGN PROGRAM

PREMIUM  
OUTLETS  
SIMON

TEMPORARY  
PROMENADE  
SIGNS/  
BANNERS

PLEASE CHECK & APPROVE  
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DESERT HILLS PREMIUM OUTLETS  
ALL RIGHTS RESERVED

DATE \_\_\_\_\_

Per: \_\_\_\_\_

By: \_\_\_\_\_

Project Number: \_\_\_\_\_

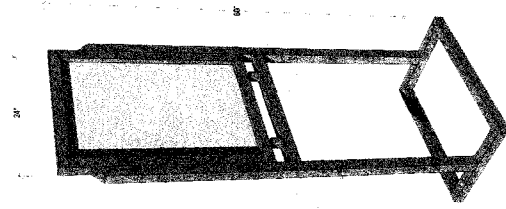
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Per: \_\_\_\_\_

By: \_\_\_\_\_

SHEET

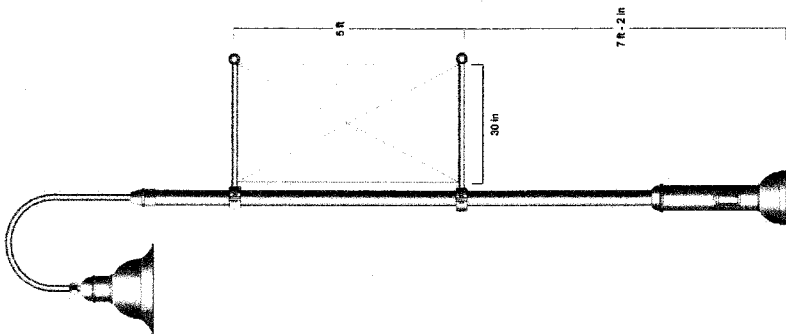
**WS2.05**



1" ALUMINUM  
TUBE FRAME



NOTE:  
ALL TEMPORARY PROMENADE SIGNS ARE PROVIDED AND INSTALLED BY THE  
DESERTS HILLS P.O. ADMINISTRATION TEAM. SIGNS MAY CONTAIN SEASONAL  
OR SPECIAL EVENT INFORMATION.



NOTE:  
ALL TEMPORARY PROMENADE BANNERS ARE PROVIDED AND INSTALLED BY  
THE DESERTS HILLS P.O. ADMINISTRATION TEAM. BANNERS MAY CONTAIN  
SEASONAL OR SPECIAL EVENT INFORMATION.











DESERT HILLS PREMIUM  
OUTLETS  
4800 SANDCREEK  
COURSE CENTER

EAST  
LAND  
SIGNAGE  
PROGRAM

PREMIUM  
OUTLETS  
SIMON

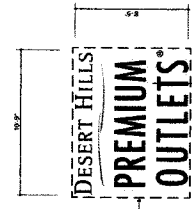
EAST  
LANDLORD  
SIGNAGE  
DETAILS

RAIN CREST SIGNAGE  
© 2014 American Energy  
Signage, Inc. All rights reserved.  
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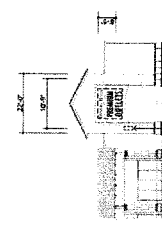
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BY	
CHK	

SHEET  
**ES0.04**

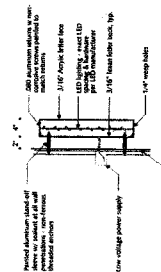
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Front Elevation  
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Center Identity - Wall Mounted  
Scale: 1/8" = 1'-0"



Letter Section Detail  
Scale: 1/2" = 1'-0"

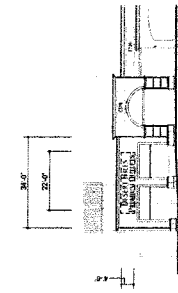
EL57  
EL16

CENTER IDENTITY-WALL MOUNTED

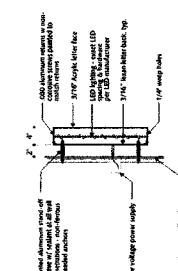
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"The design contained within this document is advisory in nature and is subject to further design development and final design approval."



Center Identity - Wall Mounted  
Scale: 1/8" = 1'-0"



Letter Section Detail  
Scale: 1/2" = 1'-0"



Front Elevation  
Scale: 1/8" = 1'-0"

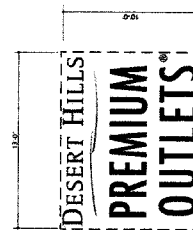
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CENTER IDENTITY-WALL MOUNTED

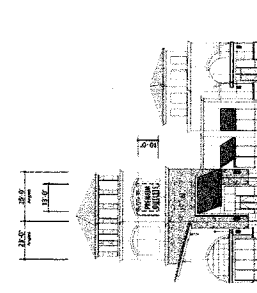
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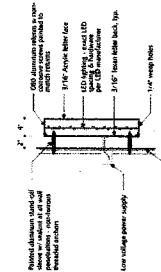
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Front Elevation  
Scale: 1/8" = 1'-0"



Center Identity - Wall Mounted  
Scale: 1/8" = 1'-0"



Letter Section Detail  
Scale: 1/2" = 1'-0"

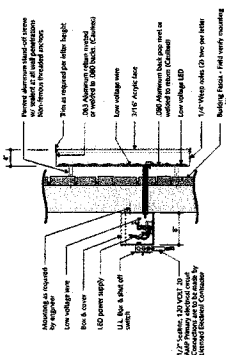
EL24

CENTER IDENTITY-WALL MOUNTED

N/A

3

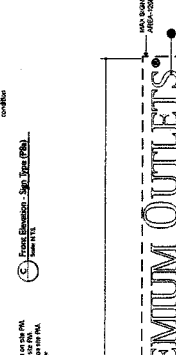
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Letter Section Detail  
Scale: 1/2" = 1'-0"



Letter Section Detail  
Scale: 1/2" = 1'-0"



Front Elevation  
Scale: 1/8" = 1'-0"

ELG3

CENTER IDENTITY-WALL MOUNTED

N/A

4

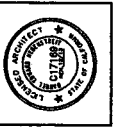












DEBERT HILLS PREMIUM  
OUTLETS  
CENTRAL CITY

EAST  
PROJECT  
SIGNAGE

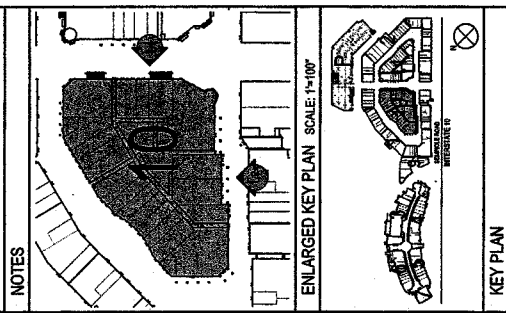
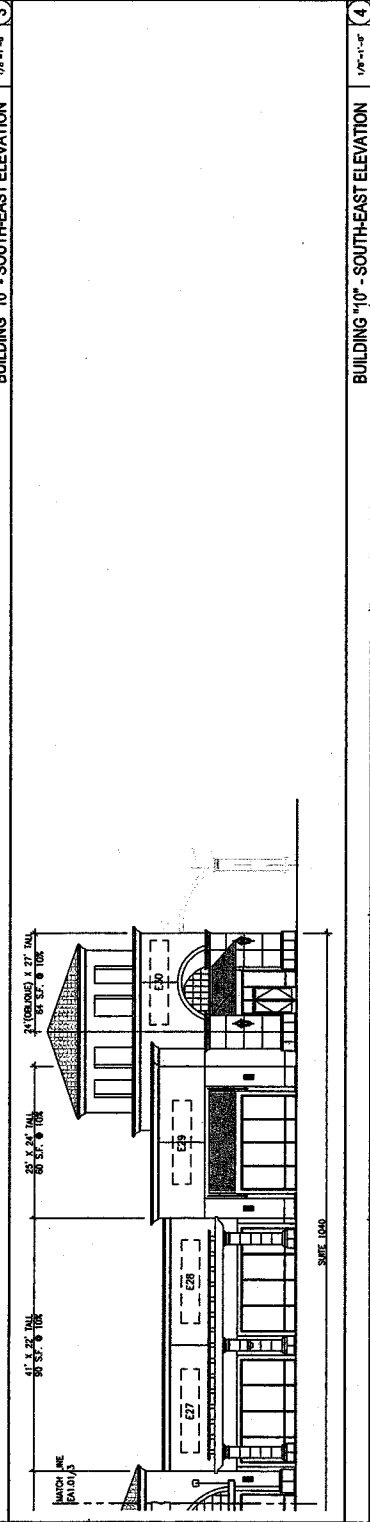
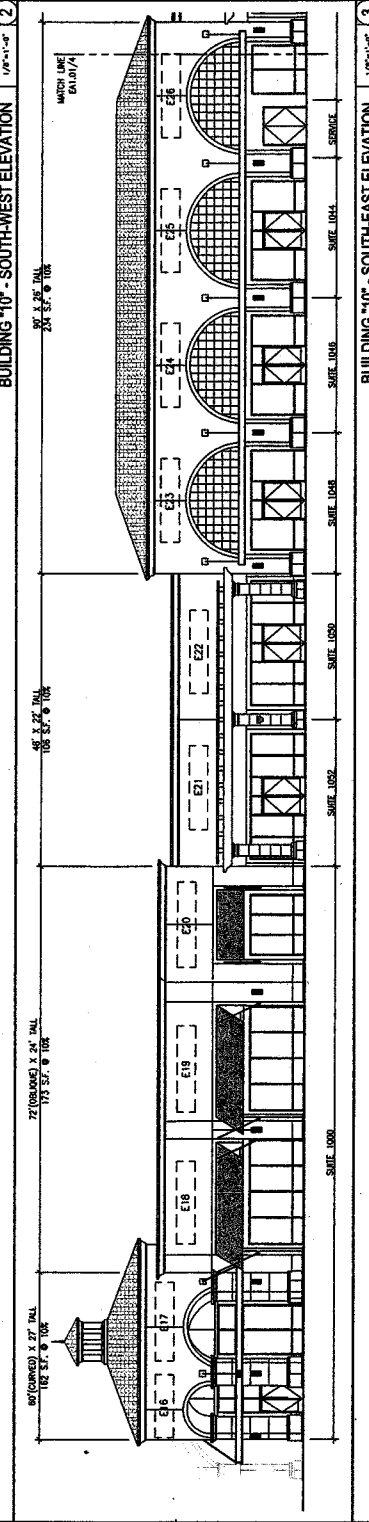
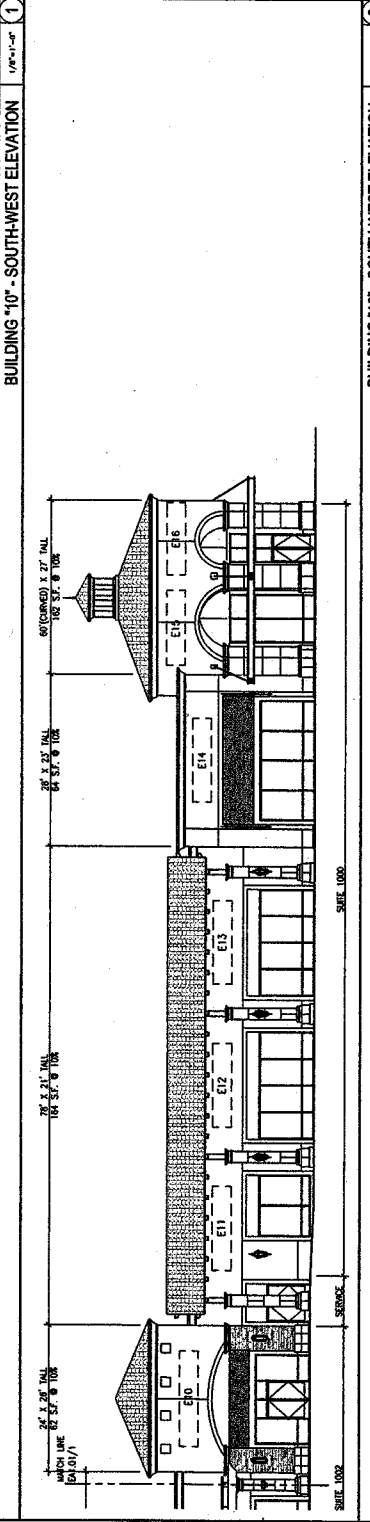
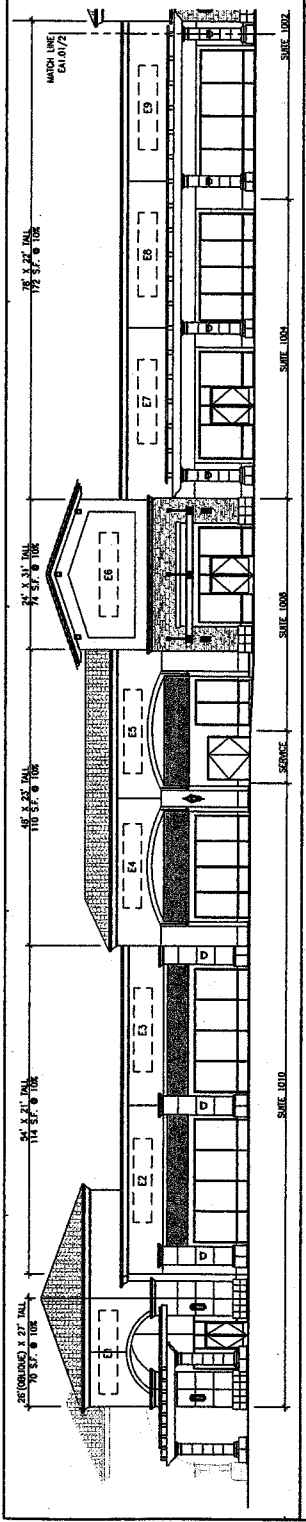
PREMIUM  
OUTLETS  
SIMON

SIGNAGE  
ELEVATIONS  
BUILDING  
10

RAWCHRYA ARCHITECTURE  
© 2011 Archway Group  
Project: EAST PROJECT SIGNAGE  
Drawing No.: 10-01  
Date: 12-21-2011

DATE	12-21-2011
BY	RAWCHRYA
CHECKED BY	RAWCHRYA
SCALE	1/8" = 1'-0"

SHEET  
**E A 1.01**  
BLDG. 10



KEY PLAN  
BUILDING 10 - SOUTH-EAST ELEVATION  
1/8"=1'-0"





DESERT HILLS PREMIUM  
OUTLETS  
COMMERCIAL CENTER  
CONCEPTS & DESIGN

EAST  
PROJECT  
SIGNAGE

PREMIUM  
OUTLETS  
SIMON

SIGNAGE  
ELEVATIONS  
BUILDING  
11

PLANNING & ARCHITECTURE  
1000 WEST WASHINGTON AVENUE  
SUITE 1000  
DENVER, CO 80202  
TEL: 303.733.1111  
FAX: 303.733.1112  
WWW.ACA-ARCHITECTS.COM

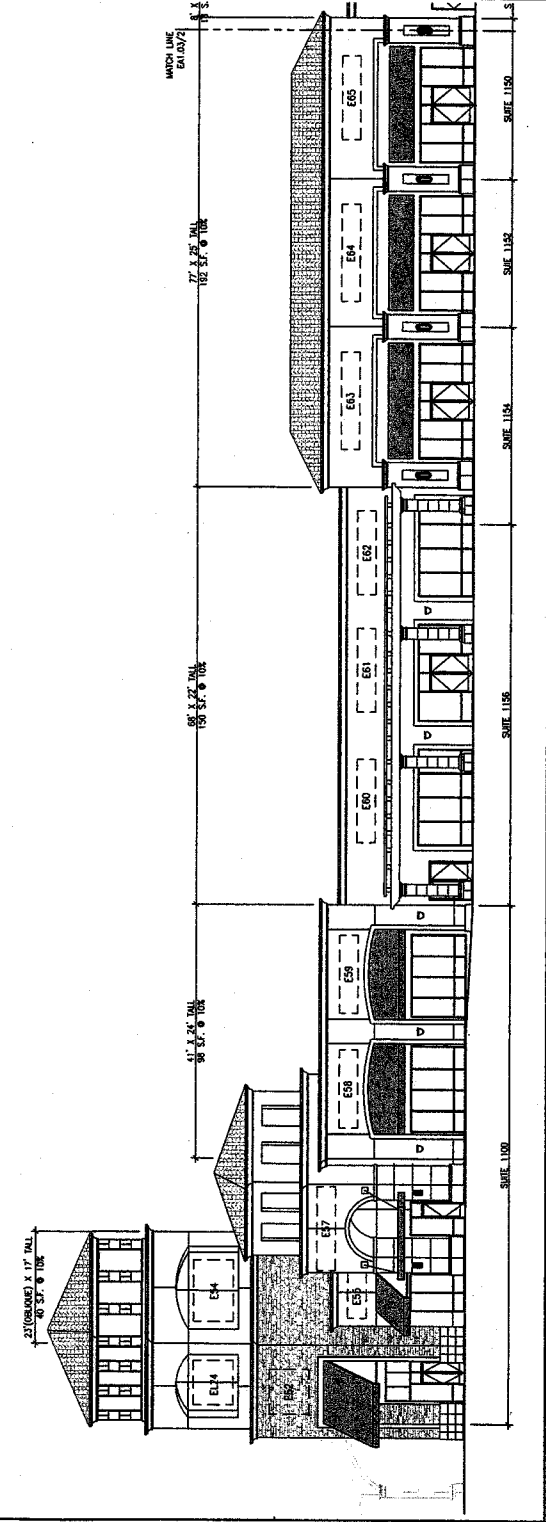
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SHEET  
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BLDG. 11

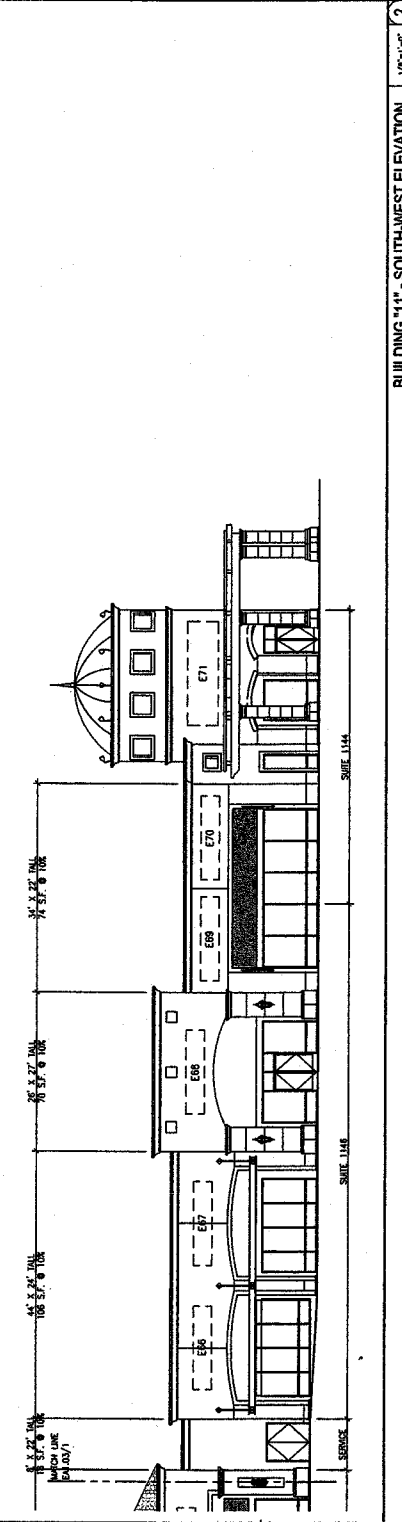


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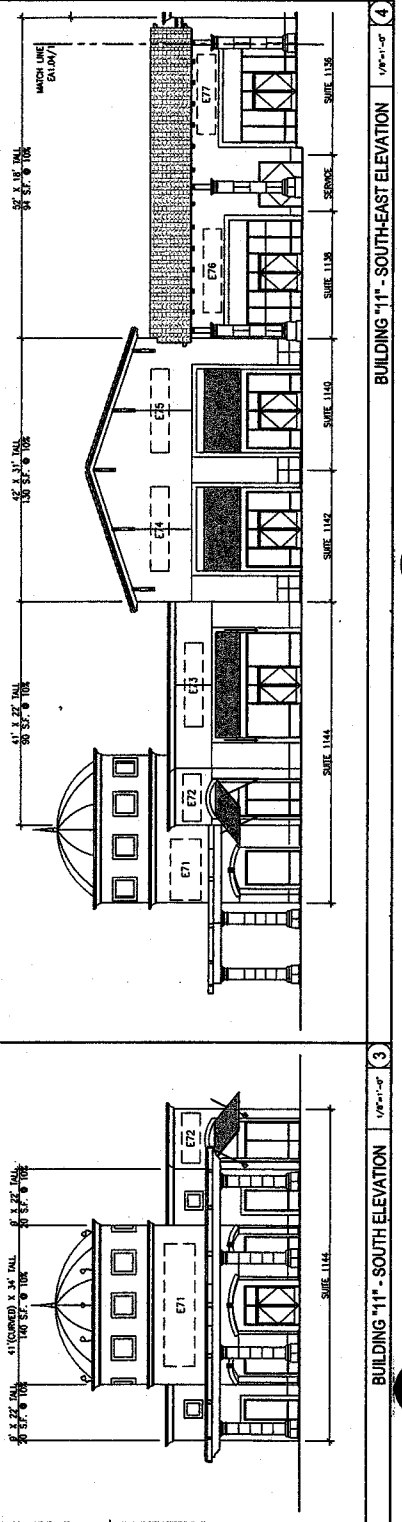
KEY PLAN



BUILDING "11" - SOUTH-WEST ELEVATION 1/8"=1'-0"



BUILDING "11" - SOUTH-EAST ELEVATION 1/8"=1'-0"



BUILDING "11" - SOUTH ELEVATION 1/8"=1'-0"





DESERT HILLS PREMIUM  
OUTLETS  
PROJECT  
SIGNAGE

DESERT HILLS PREMIUM  
OUTLETS  
PROJECT  
SIGNAGE

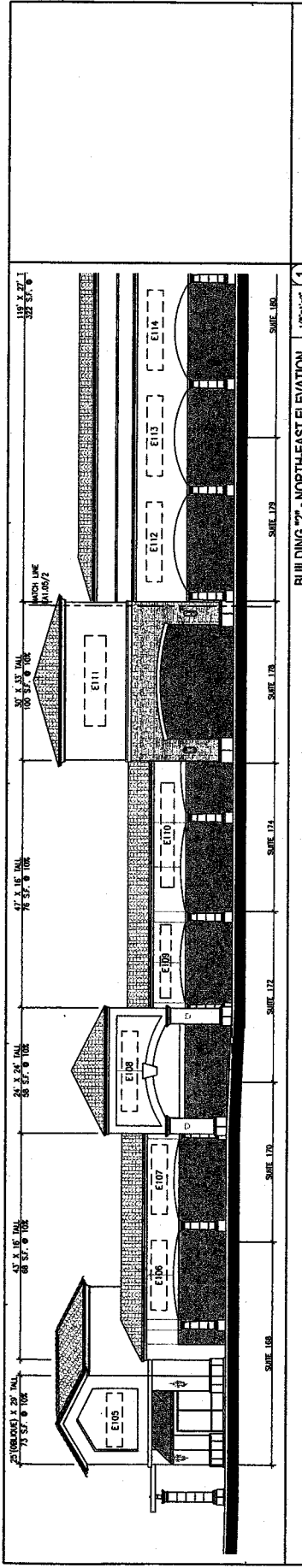
PREMIUM  
OUTLETS  
SIMON

SIGNAGE  
ELEVATIONS  
BUILDING  
2

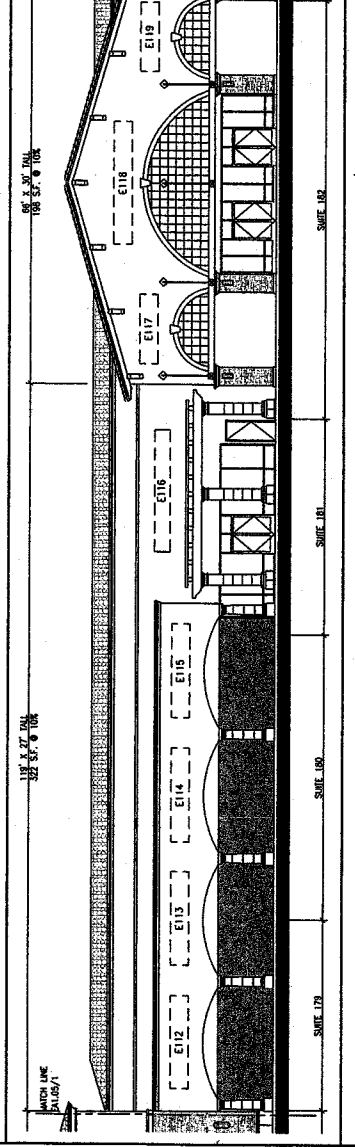
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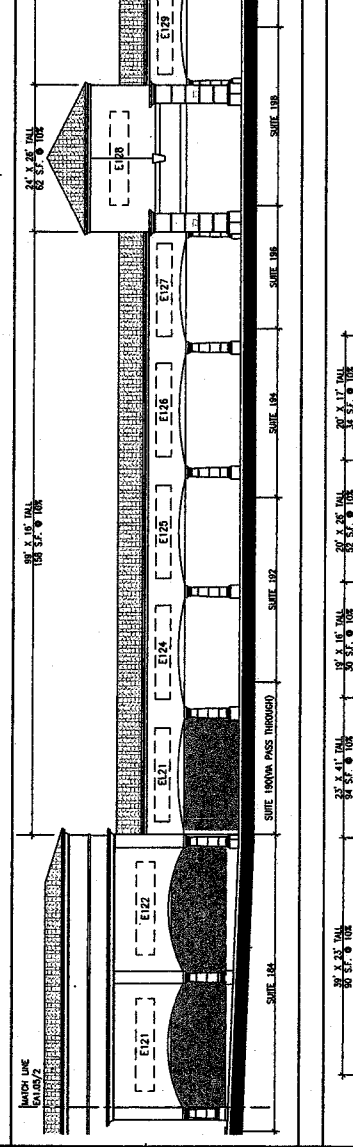
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EA1.05  
BLDG. 2



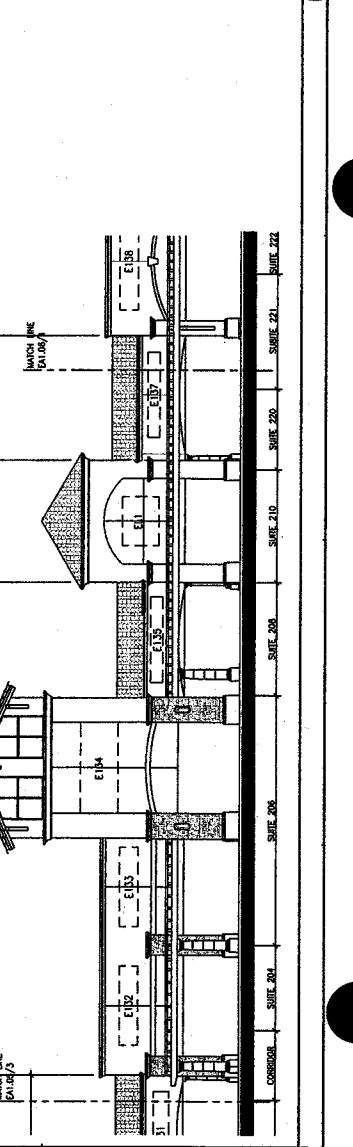
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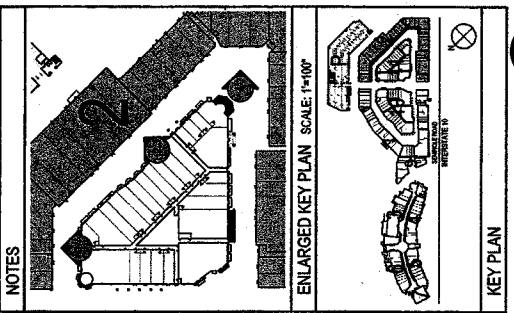
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BUILDING 2" - EAST ELEVATION 1/8"=1'-0"



BUILDING 2" - SOUTH-EAST ELEVATION 1/8"=1'-0"



KEY PLAN

FROM: REVISION 12, 2012  
12/12/12-03-070-DESIGN 12/12/12-14 BLDG 2 SIGNAGE-02/2012

**EAST - MASTER SIGN PROGRAM TABULATIONS - LANDLORD SITE AND WALL SIGNS**

- LANDLORD DIRECTIONAL SIGN
- LANDLORD ADVERTISING SIGN

Sign / Item Number	Sign Type	Sign Description	Sign Dimensions (w x h)	Sign Area (sf)
<b>Retail Buildings and Site</b>				
EL1	<input type="radio"/>	Food Court Identity - Tower Mounted	10'-0" x 12'-0"	120 sf
EL2	Not Used			
EL3	<input type="checkbox"/>	Food Court Tenant Identity / ATM Sign	3'-0" x 6'-0"	18 sf
EL4	Not Used			
EL5	Not Used			
EL6	Not Used			
EL7	Not Used			
EL8	<input type="checkbox"/>	Pylon / Identity Sign	8'-9" x 17'-0" x 40'-0" high	149 sf/face. 2 Faces Total
EL9	<input type="radio"/>	Pedestrian Directional - ATM / Restrooms	N/A	N/A
EL10	<input type="radio"/>	Pedestrian Directional - ATM / Restrooms	N/A	N/A
EL11A	<input type="checkbox"/>	Pedestrian Directory	3'-7" x 4'-5"	16 sf/face. 2 Faces Total
EL11B	<input type="checkbox"/>	Pedestrian Directory	3'-7" x 4'-5"	16 sf/face. 2 Faces Total
EL11C	<input type="checkbox"/>	Pedestrian Directory	3'-7" x 4'-5"	16 sf/face. 2 Faces Total
EL11D	<input type="checkbox"/>	Pedestrian Directory	3'-7" x 4'-5"	16 sf/face. 2 Faces Total
EL11E	<input type="checkbox"/>	Pedestrian Directory	3'-7" x 4'-5"	16 sf/face. 2 Faces Total
EL11F	<input type="checkbox"/>	Pedestrian Directory	3'-7" x 4'-5"	16 sf/face. 2 Faces Total
EL12	<input type="radio"/>	Pedestrian Directional - Villa Sign	8'-0" x 12'-0"	96 sf
EL13	<input type="radio"/>	Pedestrian Directional - Villa Sign	8'-0" x 12'-0"	96 sf
EL14	<input type="radio"/>	Pedestrian Wayfinding	N/A	N/A
EL15	<input type="radio"/>	Center Identity	8'-5" x 10'-9"	90 sf
EL16	<input type="radio"/>	Center Identity	4'-6" x 22'-0"	99 sf
EL17	<input type="radio"/>	Pedestrian Wayfinding Gateway - Overhead Arch	5'-0" x 5'-0" x 20'-0" high	75 sf
EL18A	<input type="radio"/>	Auto directional - ground mounted	4'-0" x 6'-0" x 8'-0" high	24 sf/face. 2 Faces total
EL18B	<input type="radio"/>	Auto directional - ground mounted	4'-0" x 6'-0" x 8'-0" high	24 sf/face. 2 Faces total
EL19	<input type="radio"/>	Auto directional monument	4'-0" x 6'-0" x 8'-0" high	24 sf/face. 2 Faces total
EL20	<input type="radio"/>	Auto directional monument	4'-0" x 6'-0" x 8'-0" high	24 sf/face. 2 Faces total
EL21	<input type="radio"/>	Pedestrian Directional Villa Entry	4'-3" x 21'-10"	93 sf
EL22	<input type="radio"/>	Auto Directional Sign - Wall Mounted	9'-0" x 42'-0"	376 sf
EL23	Not Used			
EL24	<input type="checkbox"/>	Center Identity	10'-0" x 13'-0"	130 sf
EL25	<input type="radio"/>	Pedestrian Directional - Villa Sign	8'-0" x 12'-0"	96 sf
EL26	<input type="radio"/>	Pedestrian Wayfinding - Wall Mounted	N/A	N/A
EL27	<input type="radio"/>	Pedestrian Wayfinding - Wall Mounted	N/A	N/A
EL28	Not Used			
EL29	<input type="radio"/>	Pedestrian Wayfinding - Wall Mounted	N/A	N/A
EL30	<input type="radio"/>	Pedestrian Directional - Villa Sign	8'-0" x 12'-0"	96 sf
EL31	<input type="radio"/>	Pedestrian Directional - Villa Sign	8'-0" x 12'-0"	96 sf

**EAST - MASTER SIGN PROGRAM TABULATIONS - LANDLORD SITE AND WALL SIGNS**

<b>Sign / Item Number</b>		<b>Sign Description</b>	<b>Sign Dimensions (w x h)</b>	<b>Sign Area (sf)</b>
<b>Retail Buildings and Site Cont.</b>				
EL32	<input type="radio"/>	Pedestrian Wayfinding - Wall Mounted	N/A	N/A
EL33	<input type="radio"/>	Pedestrian Wayfinding - Wall Mounted	N/A	N/A
EL34	<input type="radio"/>	Pedestrian Wayfinding - Wall Mounted	N/A	N/A
EL35-53	Not Used			
EL54	<input type="radio"/>	Vehicular Gateway Overhead Archway	2'-6" x 40'-8" x 20'-0" high	100 sf
EL55	<input type="radio"/>	Vehicular Gateway Overhead Archway	2'-6" x 30'-0" x 20'-0" high	75 sf
EL56	<input type="radio"/>	Vehicular Gateway Overhead Archway	2'-6" x 30'-0" x 20'-0" high	75 sf
EL57	<input type="radio"/>	Information Sign Blade	3'-0" x 3'-0"	9 sf

<b>Parking Garage</b>				
ELG1	<input type="checkbox"/>	Center Identity - Wall Mounted	8'-11" x 25'-8"	229 sf
ELG2	<input type="radio"/>	Vehicular Entry Directional - Wall Mounted	1'-10" x 13'-10"	25 sf
ELG3	<input type="checkbox"/>	Center Identity - Wall Mounted	2'-6" x 48'-0"	120 sf
ELG4	<input type="radio"/>	Vehicular Entry Directional - Wall Mounted	1'-10" x 13'-10"	25 sf
ELG5	<input type="radio"/>	Car Counter Display Panel	2'-0" x 4'-0"	8 sf
ELG6	<input type="radio"/>	Vehicular Entry Directional - Wall Mounted	1'-10" x 13'-10"	25 sf
ELG7	<input type="radio"/>	Vehicular Gateway - Ground Mounter Overhead Arch	2'-6" x 30'-0" x 20'-0" high	75 sf
ELG8	<input type="radio"/>	Car Counter Display Panel	2'-0" x 4'-0"	8 sf
ELG9	<input type="radio"/>	Vehicular Entry Directional - Wall Mounted	1'-10" x 13'-10"	25 sf
ELG10	<input type="radio"/>	Vehicular Entry Directional - Wall Mounted Blade	3'-0" x 3'-0"	9 sf
ELG11	<input type="radio"/>	Pedestrian Directional - Wall Mounted	2'-0" x 20'-0"	40 sf
ELG12	<input type="radio"/>	Vehicular Entry Directional - Wall Mounted	1'-10" x 13'-10"	25 sf
ELG13	<input type="radio"/>	Vehicular Entry Directional - Wall Mounted Blade	3'-0" x 3'-0"	9 sf
ELG14	<input type="radio"/>	Vehicular Entry Directional - Wall Mounted	1'-10" x 13'-10"	25 sf
ELG15	<input type="radio"/>	Vehicular Entry Directional - Wall Mounted Blade	3'-0" x 3'-0"	9 sf
ELG16	<input type="radio"/>	Vehicular Entry Directional - Wall Mounted	1'-10" x 13'-10"	25 sf
ELG17	<input type="radio"/>	Vehicular Entry Directional - Wall Mounted Blade	3'-0" x 3'-0"	9 sf
ELG18	<input type="radio"/>	Car Counter Display Panel	2'-0" x 4'-0"	8 sf
ELG19	<input type="radio"/>	Car Counter Display Panel	2'-0" x 4'-0"	8 sf
ELG20	<input type="radio"/>	Car Counter Display Panel	2'-0" x 4'-0"	8 sf
ELG21	<input type="radio"/>	Valet Sign	2'-6" x 20'-0"	50 sf
ELG22	<input type="radio"/>	Valet Sign - Column Mounted Blade	3'-0" x 3'-0"	9 sf

**EAST - MASTER SIGN PROGRAM TABULATIONS - WALL SIGNS**

SIGN #	BLDG #	SHEET #	ALLOWABLE AREA	SUITE #	TENANT SIGN NAME	SIGN AREA
E1	10	EA1.01	70FT <sup>2</sup>	1010	-	-
E2	10	EA1.01	114FT <sup>2</sup>	1010	-	-
E3	10	EA1.01		1010	-	-
E4	10	EA1.01	110FT <sup>2</sup>	1010	-	-
E5	10	EA1.01		1008	-	-
E6	10	EA1.01	74FT <sup>2</sup>	1008	-	-
E7	10	EA1.01	172FT <sup>2</sup>	1004	-	-
E8	10	EA1.01		1004	-	-
E9	10	EA1.01		1002	-	-
E10	10	EA1.01	62FT <sup>2</sup>	1002	-	-
E11	10	EA1.01	164FT <sup>2</sup>	1000	-	-
E12	10	EA1.01		1000	COACH	32.5FT <sup>2</sup>
E13	10	EA1.01		1000	-	-
E14	10	EA1.01	64FT <sup>2</sup>	1000	-	-
E15	10	EA1.01	162FT <sup>2</sup>	1000	-	-
E16	10	EA1.01		1000	COACH	32.5FT <sup>2</sup>
E17	10	EA1.01		1000	-	-
E18	10	EA1.01	173FT <sup>2</sup>	1000	-	-
E19	10	EA1.01		1000	-	-
E20	10	EA1.01		1000	-	-
E21	10	EA1.01	106FT <sup>2</sup>	1052	-	-
E22	10	EA1.01		1050	-	-
E23	10	EA1.01	234FT <sup>2</sup>	1048	-	-
E24	10	EA1.01		1046	DOLCE & GABBANA	27.1FT <sup>2</sup>
E25	10	EA1.01		1044	-	-
E26	10	EA1.01		1040	-	-
E27	10	EA1.01	90FT <sup>2</sup>	1040	-	-
E28	10	EA1.01		1040	-	-
E29	10	EA1.01	60FT <sup>2</sup>	1040	-	-



**EAST - MASTER SIGN PROGRAM TABULATIONS - WALL SIGNS**

SIGN #	BLDG #	SHEET #	ALLOWABLE AREA	SUITE #	TENANT SIGN NAME	SIGN AREA
E30	10	EA1.02	64FT <sup>2</sup>	1040	-	-
E31	10	EA1.02	50FT <sup>2</sup>	1040	-	-
E32	10	EA1.02	150FT <sup>2</sup>	1040	-	-
E33	10	EA1.02		1038	-	-
E34	10	EA1.02		1038	-	-
E35	10	EA1.02	59FT <sup>2</sup>	1036	-	-
E36	10	EA1.02	84FT <sup>2</sup>	1034	-	-
E37	10	EA1.02	130FT <sup>2</sup>	1032	-	-
E38	10	EA1.02		1030	-	-
E39	10	EA1.02	64FT <sup>2</sup>	1028	-	-
E40	10	EA1.02	76FT <sup>2</sup>	1028	-	-
E41	10	EA1.02	56FT <sup>2</sup>	1026	-	-
E42	10	EA1.02	224FT <sup>2</sup>	1024	-	-
E43	10	EA1.02		1022	-	-
E44	10	EA1.02		1020	-	-
E45	10	EA1.02		1018	-	-
E46	10	EA1.02	78FT <sup>2</sup>	1016	-	-
E47	10	EA1.02	66FT <sup>2</sup>	1014	-	-
E48	10	EA1.02	164FT <sup>2</sup>	1010	-	-
E49	10	EA1.02		1010	-	-
E50	10	EA1.02		1010	-	-
E51	10	EA1.02	40FT <sup>2</sup>	1010	-	-
E52	11	EA1.04	130FT <sup>2</sup>	1100	BURBERRY	15.4FT <sup>2</sup>
EL24	11	EA1.04		1100	CENTER IDENTITY	130.0FT <sup>2</sup>
E54	11	EA1.03	40FT <sup>2</sup>	1100	-	-
E55	11	EA1.04	66FT <sup>2</sup>	1100	-	-
E56	11	EA1.04		1100	-	-

\*REFER TO SHEETS EA0.01-EA1.18  
FOR ADDITIONAL INFORMATION

**EAST - MASTER SIGN PROGRAM TABULATIONS - WALL SIGNS**

SIGN #	BLDG #	SHEET #	ALLOWABLE AREA	SUITE #	TENANT SIGN NAME	SIGN AREA
E57	11	EA1.04	50FT <sup>2</sup>	1100	-	-
E58	11	EA1.03	98FT <sup>2</sup>	1100	-	-
E59	11	EA1.03		1100	-	-
E60	11	EA1.03	150FT <sup>2</sup>	1156	-	-
E61	11	EA1.03		1156	-	-
E62	11	EA1.03		1156	HURLEY	11.3FT <sup>2</sup>
E63	11	EA1.03	192FT <sup>2</sup>	1154	-	-
E64	11	EA1.03		1152	-	-
E65	11	EA1.03		1150	-	-
E66	11	EA1.03	106FT <sup>2</sup>	1146	-	-
E67	11	EA1.03		1146	-	-
E68	11	EA1.03	70FT <sup>2</sup>	1146	-	-
E69	11	EA1.03	74FT <sup>2</sup>	1146	-	-
E70	11	EA1.03		1144	-	-
E71	11	EA1.03	140FT <sup>2</sup>	1144	-	-
E72	11	EA1.03	90FT <sup>2</sup>	1144	-	-
E73	11	EA1.03		1144	-	-
E74	11	EA1.03	130FT <sup>2</sup>	1142	-	-
E75	11	EA1.03		1140	-	-
E76	11	EA1.03	94FT <sup>2</sup>	1138	-	-
E77	11	EA1.03		1136	-	-
E78	11	EA1.04	52FT <sup>2</sup>	1134	-	-
E79	11	EA1.04	316FT <sup>2</sup>	1132	-	-
E80	11	EA1.04		1130	-	-
E81	11	EA1.04		1128	-	-
E82	11	EA1.04		1126	-	-
E83	11	EA1.04		1124	-	-
E84	11	EA1.04	112FT <sup>2</sup>	1122	-	-
E85	11	EA1.04		1120	-	-

**EAST - MASTER SIGN PROGRAM TABULATIONS - WALL SIGNS**

SIGN #	BLDG #	SHEET #	ALLOWABLE AREA	SUITE #	TENANT SIGN NAME	SIGN AREA
E86	11	EA1.04	188FT <sup>2</sup>	1118	-	-
E87	11	EA1.04		1118	-	-
E88	11	EA1.04		1116	-	-
E89	11	EA1.04	106FT <sup>2</sup>	1116	-	-
E90	11	EA1.04		1112	-	-
E91	11	EA1.04	58FT <sup>2</sup>	1112	-	-
E92	11	EA1.04	111FT <sup>2</sup>	1112	-	-
E93	11	EA1.04		1112	-	-
E94	11	EA1.04		1112	-	-
E95	11	EA1.04	104FT <sup>2</sup>	1112	-	-
E96	11	EA1.04		1112	-	-
E97	11	EA1.04	164FT <sup>2</sup>	1112	-	-
E98	11	EA1.04		1110	-	-
E99	11	EA1.04		1108	-	-
E100	11	EA1.04		1106	-	-
E101	11	EA1.04	198FT <sup>2</sup>	1104	-	-
E102	11	EA1.04		1100	-	-
E103	11	EA1.04		1100	-	-
E104	11	EA1.04	40FT <sup>2</sup>	1100	-	-
E105	2	EA1.05	73FT <sup>2</sup>	168	LACOSTE	46.3FT <sup>2</sup>
E106	2	EA1.05	68FT <sup>2</sup>	168	-	-
E107	2	EA1.05		170	THEORY	33.8FT <sup>2</sup>
E108	2	EA1.05	58FT <sup>2</sup>	172	-	-
E109	2	EA1.05	76FT <sup>2</sup>	172	IZOD	19.6FT <sup>2</sup>
E110	2	EA1.05		174	COLE HAAN	19.3FT <sup>2</sup>
E111	2	EA1.05	100FT <sup>2</sup>	178	POLO RALPH LAUREN	94.9FT <sup>2</sup>

**EAST - MASTER SIGN PROGRAM TABULATIONS - WALL SIGNS**

SIGN #	BLDG #	SHEET #	ALLOWABLE AREA	SUITE #	TENANT SIGN NAME	SIGN AREA
E112	2	EA1.05	322FT <sup>2</sup>	179	-	-
E113	2	EA1.05		179	-	-
E114	2	EA1.05		180	CHARLOTTE RUSSE	34.6FT <sup>2</sup>
E115	2	EA1.05		180	-	-
E116	2	EA1.05		181	GIORGIO ARMANI	33.0FT <sup>2</sup>
E117	2	EA1.05	198FT <sup>2</sup>	182	-	-
E118	2	EA1.05		182	CALVIN KLEIN	60.9FT <sup>2</sup>
E119	2	EA1.05		182	-	-
E120	2	EA1.05	224FT <sup>2</sup>	183	PAPAYA	37.7FT <sup>2</sup>
E121	2	EA1.05		184	-	-
E122	2	EA1.05		184	OSHKOSH B'GOSH	63.3FT <sup>2</sup>
EL21	2	EA1.05	158FT <sup>2</sup>	VIA	<b>PEDESTRIAN DIRECTIONAL</b>	93.0FT <sup>2</sup>
E124	2	EA1.05		192	-	-
E125	2	EA1.05		192	MAIDENFORM	49.0FT <sup>2</sup>
E126	2	EA1.05		194	BRUNELLO CUCINELLI	56.9FT <sup>2</sup>
E127	2	EA1.05		196	DESIGNER FRAGRANCES	32.9FT <sup>2</sup>
E128	2	EA1.05	62FT <sup>2</sup>	198	EASY SPIRIT	33.5FT <sup>2</sup>
E129	2	EA1.05	96FT <sup>2</sup>	198	-	-
E130	2	EA1.05		200	JOHNSTON & MURPHY	30.3FT <sup>2</sup>
E131	2	EA1.05		202	MICHAEL KORS	25.2FT <sup>2</sup>
E132	2	EA1.05	90FT <sup>2</sup>	204	FOSSILE	28.3FT <sup>2</sup>
E133	2	EA1.05		206	CONVERSE	52.3FT <sup>2</sup>
E134	2	EA1.05	94FT <sup>2</sup>	206	-	-
E135	2	EA1.05	30FT <sup>2</sup>	208	ZUMIES	31.2FT <sup>2</sup>
EL1	2	EA1.05	52FT <sup>2</sup>	210	<b>FOOD COURT IDENTITY</b>	37.5FT <sup>2</sup>
E137	2	EA1.05	34FT <sup>2</sup>	220	-	-
E138	2	EA1.06	106FT <sup>2</sup>	221	ZALES	36.8FT <sup>2</sup>
E139	2	EA1.06		222	YVES SAINT LAURENT	37.0FT <sup>2</sup>
E140	2	EA1.06	74FT <sup>2</sup>	224	HARRY & DAVID	52.8FT <sup>2</sup>
E141	2	EA1.06		228	-	-

**EAST - MASTER SIGN PROGRAM TABULATIONS - WALL SIGNS**

SIGN #	BLDG #	SHEET #	ALLOWABLE AREA	SUITE #	TENANT SIGN NAME	SIGN AREA
E142	2	EA1.06	64FT <sup>2</sup>	228	GUCCI	39.4FT <sup>2</sup>
E143	2	EA1.06	76FT <sup>2</sup>	229	DIANE VON FURSTENBERG	24.0FT <sup>2</sup>
E144	2	EA1.06		229	-	-
E145	2	EA1.06	72FT <sup>2</sup>	230	-	-
E146	2	EA1.06		230	-	-
E147	2	EA1.06	56FT <sup>2</sup>	231	VINCE	14.0FT <sup>2</sup>
E148	2	EA1.06	68FT <sup>2</sup>	232	-	-
E149	2	EA1.06		232	-	-
E150	2	EA1.06	50FT <sup>2</sup>	232	-	-
E151	2	EA1.06	64FT <sup>2</sup>	232	NIKE(SWOOSH)	77.5FT <sup>2</sup>
E152	2	EA1.06	52FT <sup>2</sup>	232	NIKE	77.5FT <sup>2</sup>
E153	2	EA1.06	36FT <sup>2</sup>	232	-	-
E154	2	EA1.06	74FT <sup>2</sup>	239	-	-
E155	2	EA1.06		238	-	-
E156	2	EA1.06	64FT <sup>2</sup>	238	-	-
E157	1	EA1.06	68FT <sup>2</sup>	240	-	-
E158	1	EA1.06	100FT <sup>2</sup>	240	-	-
E159	1	EA1.06		240	-	-
E160	1	EA1.06	88FT <sup>2</sup>	241	2B BEBE	61.9FT <sup>2</sup>
E161	1	EA1.06		241	-	-
E162	1	EA1.06		242	JUDITH LEIBER	20.3FT <sup>2</sup>
E163	1	EA1.06	75FT <sup>2</sup>	244	-	-
E164	1	EA1.06	50FT <sup>2</sup>	100	-	-
E165	1	EA1.06		100	-	-
E166	1	EA1.06	64FT <sup>2</sup>	100	BROOKS BROTHERS	28.4FT <sup>2</sup>
E167	1	EA1.06		102	SUNGLASS HUT	22.5FT <sup>2</sup>

**EAST - MASTER SIGN PROGRAM TABULATIONS - WALL SIGNS**

SIGN #	BLDG #	SHEET #	ALLOWABLE AREA	SUITE #	TENANT SIGN NAME	SIGN AREA
E168	1	EA1.06	56FT <sup>2</sup>	104	MOVADO	33.8FT <sup>2</sup>
E169	1	EA1.06	64FT <sup>2</sup>	105	KATE SPADE NEW YORK	33.3FT <sup>2</sup>
E170	1	EA1.06		106	TSE	7.5FT <sup>2</sup>
E171	1	EA1.06	54FT <sup>2</sup>	106	-	-
E172	1	EA1.06		107A	ST. JOHN	22.2FT <sup>2</sup>
E173	1	EA1.06	140FT <sup>2</sup>	107B	-	-
E174	1	EA1.06		107B	CARTERS	26.2FT <sup>2</sup>
E175	1	EA1.06		107C	-	-
E176	1	EA1.07	64FT <sup>2</sup>	108	-	-
E177	1	EA1.07		108	-	-
E178	1	EA1.07	62FT <sup>2</sup>	108	GUESS	30.9FT <sup>2</sup>
E179	1	EA1.07	92FT <sup>2</sup>	112	JIMMY CHOO	30.9FT <sup>2</sup>
E180	1	EA1.07		112	-	-
E181	1	EA1.07		114	ZEGNA	31.0FT <sup>2</sup>
E182	1	EA1.07	72FT <sup>2</sup>	116	BANANA REPUBLIC	89.5FT <sup>2</sup>
EL12	1	EA1.07	74FT <sup>2</sup>	VIA	PEDESTRIAN DIRECTIONAL VIA	96.0FT <sup>2</sup>
E184	1	EA1.07	50FT <sup>2</sup>	122	TOURNEAU	30.0FT <sup>2</sup>
E185	1	EA1.07		122	TOURNEAU(CLOCK)	18.8FT <sup>2</sup>
E186	1	EA1.07	54FT <sup>2</sup>	124	LORO PIANA	29.8FT <sup>2</sup>
E187	1	EA1.07		126	-	-
E188	1	EA1.07	70FT <sup>2</sup>	126	PRADA	11.4FT <sup>2</sup>
E189	1	EA1.07	94FT <sup>2</sup>	128	-	-
E190	1	EA1.07		128	BARNEYS NEW YORK	93.8FT <sup>2</sup>
E191	1	EA1.07		128	-	-
E192	1	EA1.07	130FT <sup>2</sup>	132	ARMANI	20.8FT <sup>2</sup>
E193	1	EA1.07		134	ULTRA DIAMONDS	40.0FT <sup>2</sup>
E194	1	EA1.07		138	-	-

\*REFER TO SHEETS EA0.01-EA1.18  
FOR ADDITIONAL INFORMATION

**EAST - MASTER SIGN PROGRAM TABULATIONS - WALL SIGNS**

SIGN #	BLDG #	SHEET #	ALLOWABLE AREA	SUITE #	TENANT SIGN NAME	SIGN AREA
E195	1	EA1.07	122FT <sup>2</sup>	138	-	-
E196	1	EA1.07		138	-	-
E197	1	EA1.07		140	FURLA	31.7FT <sup>2</sup>
E198	1	EA1.07		142	-	-
E199	1	EA1.07	62FT <sup>2</sup>	142	FAMOUS FOOTWARE	39.0FT <sup>2</sup>
E200	1	EA1.07	120FT <sup>2</sup>	142	-	-
E201	1	EA1.07		144	TUMI	22.5FT <sup>2</sup>
E202	1	EA1.07		146	-	-
E203	1	EA1.07		146	-	-
E204	1	EA1.07	88FT <sup>2</sup>	147	TAG HEUER	18.2FT <sup>2</sup>
E205	1	EA1.07		148	-	-
EL31	1	EA1.07	62FT <sup>2</sup>	VIA	PEDESTRIAN DIRECTIONAL VIA	96.0FT <sup>2</sup>
E207	1	EA1.07		150	-	-
E208	1	EA1.07	56FT <sup>2</sup>	150	TORI BURCH	48.0FT <sup>2</sup>
E209	1	EA1.07	62FT <sup>2</sup>	151	THE COSMETIC COMPANY STORE	41.6FT <sup>2</sup>
E210	1	EA1.07		152	BCBGMAXAZRIA	18.9FT <sup>2</sup>
E211	1	EA1.07	82FT <sup>2</sup>	152	-	-
E212	1	EA1.07		156	JUICY COUTURE	24.0FT <sup>2</sup>
E213	1	EA1.07	84FT <sup>2</sup>	156	-	-
E214	1	EA1.07		158	-	-
E215	1	EA1.08		160	JOE'S JEANS	24.3FT <sup>2</sup>
E216	1	EA1.08	52FT <sup>2</sup>	160	PAC SUN	24.3FT <sup>2</sup>
E217	1	EA1.08	70FT <sup>2</sup>	162	-	-
E218	1	EA1.08		162	WILSONS LEATHER	39.1FT <sup>2</sup>
E219	1	EA1.08	68FT <sup>2</sup>	164	-	-
E220	2	EA1.09	64FT <sup>2</sup>	238	-	-

**EAST - MASTER SIGN PROGRAM TABULATIONS - WALL SIGNS**

SIGN #	BLDG #	SHEET #	ALLOWABLE AREA	SUITE #	TENANT SIGN NAME	SIGN AREA
E221	2	EA1.09	140FT <sup>2</sup>	238	-	-
E222	2	EA1.09		238	-	-
E223	2	EA1.09		238	-	-
E224	2	EA1.09		238	-	-
E225	2	EA1.09		238	-	-
E226	2	EA1.09	60FT <sup>2</sup>	238	-	-
E227	2	EA1.09	60FT <sup>2</sup>	238	-	-
E228	2	EA1.09	70FT <sup>2</sup>	238	-	-
E229	2	EA1.09		238	-	-
E230	2	EA1.09	36FT <sup>2</sup>	232	-	-
E231	2	EA1.09	58FT <sup>2</sup>	232	-	-
E232	2	EA1.09		232	-	-
E233	2	EA1.09	44FT <sup>2</sup>	232	-	-
E234	2	EA1.09	62FT <sup>2</sup>	232	NIKE(SWOOSH)	77.5FT <sup>2</sup>
E235	2	EA1.09	44FT <sup>2</sup>	232	-	-
E236	2	EA1.09	58FT <sup>2</sup>	232	-	-
E237	2	EA1.09		232	-	-
E238	2	EA1.09	138FT <sup>2</sup>	231	BURBERRY	15.4FT <sup>2</sup>
E239	2	EA1.09		230	-	-
E240	2	EA1.09		230	-	-
E241	2	EA1.09	62FT <sup>2</sup>	229	GUCCI	39.4FT <sup>2</sup>
E242	2	EA1.09	130FT <sup>2</sup>	229	-	-
E243	2	A1.09		228	-	-
E244	2	EA1.09		228	DIANE VON FURSTENBERG	18.4FT <sup>2</sup>
E245	2	EA1.09		228	HARRY & DAVID	52.8FT <sup>2</sup>
E246	2	EA1.09	88FT <sup>2</sup>	224	-	-
E247	2	EA1.09		222	-	-



**EAST - MASTER SIGN PROGRAM TABULATIONS - WALL SIGNS**

SIGN #	BLDG #	SHEET #	ALLOWABLE AREA	SUITE #	TENANT SIGN NAME	SIGN AREA
E248	2	EA1.09	200FT <sup>2</sup>	221	-	-
E249	2	EA1.09		220	-	-
E250	2	EA1.09		210	-	-
E251	2	EA1.09		210	MAIDENFORM	33.7FT <sup>2</sup>
E252	2	EA1.09		210	-	-
E253	2	EA1.09		210	-	-
E254	2	EA1.09	62FT <sup>2</sup>	210	-	-
E255	2	EA1.09		210	POLO RALPH LAUREN	15.5FT <sup>2</sup>
E256	2	EA1.10	62FT <sup>2</sup>	210	-	-
E257	2	EA1.10		210	POLO RALPH LAUREN	15.5FT <sup>2</sup>
E258	2	EA1.10	70FT <sup>2</sup>	210	-	-
E259	2	EA1.10		210	-	-
E260	2	EA1.10	342FT <sup>2</sup>	210	-	-
E261	2	EA1.10		208	-	-
E262	2	EA1.10		208	-	-
E263	2	EA1.10		206	-	-
E264	2	EA1.10		206	-	-
E265	2	EA1.10		204	-	-
E266	2	EA1.10		204	-	-
E267	2	EA1.10		B.O.H.	-	-
E268	2	EA1.10	32FT <sup>2</sup>	B.O.H.	-	-
E269	2	EA1.10	34FT <sup>2</sup>	B.O.H.	-	-
E270	2	EA1.10	142FT <sup>2</sup>	202	-	-
E271	2	EA1.10		202	-	-
E272	2	EA1.10		200	-	-
E273	2	EA1.10	55FT <sup>2</sup>	198	-	-
EL27	2	EA1.10	138FT <sup>2</sup>	196	PEDESTRIAN WAYFINDING	N/A
E275	2	EA1.10		194	-	-
E276	2	EA1.10		192	-	-
EL25	2	EA1.10	34FT <sup>2</sup>	VIA	PEDESTRIAN DIRECTIONAL VIA	96.0FT <sup>2</sup>

\*REFER TO SHEETS EA0.01-EA1.18  
FOR ADDITIONAL INFORMATION

**EAST - MASTER SIGN PROGRAM TABULATIONS - WALL SIGNS**

SIGN #	BLDG #	SHEET #	ALLOWABLE AREA	SUITE #	TENANT SIGN NAME	SIGN AREA
EL26	2	EA1.10	130FT <sup>2</sup>	184	<b>PEDESTRIAN WAYFINDING</b>	N/A
E279	2	EA1.10		184	-	-
E280	2	EA1.10		184	-	-
E290	2	EA1.10		183	-	-
E291	2	EA1.10	66FT <sup>2</sup>	182	-	-
E292	2	EA1.10	248FT <sup>2</sup>	182	-	-
E293	2	EA1.10		181	-	-
E294	2	EA1.10		181	-	-
E295	2	EA1.10		180	-	-
E296	2	EA1.10	58FT <sup>2</sup>	180	-	-
E297	2	EA1.10	80FT <sup>2</sup>	179	-	-
E298	2	EA1.10	84FT <sup>2</sup>	178	-	-
E299	2	EA1.10		178	-	-
E300	2	EA1.11	270FT <sup>2</sup>	178	-	-
E301	2	EA1.11		178	-	-
E302	2	EA1.11		178	-	-
E303	2	EA1.11		178	-	-
E304	2	EA1.11		174	-	-
E305	2	EA1.11	122FT <sup>2</sup>	172	-	-
E306	2	EA1.11		172	-	-
E307	2	EA1.11		170	-	-
E308	2	EA1.11	89FT <sup>2</sup>	188	-	-
E309	2	EA1.11		188	<b>LACOSTE</b>	46.3FT <sup>2</sup>
E310	2	EA1.11	64FT <sup>2</sup>	188	<b>LACOSTE</b>	46.3FT <sup>2</sup>
E311	2	EA1.11	156FT <sup>2</sup>	188	-	-
E312	2	EA1.11		188	-	-
E312.5	2	EA1.11		188	-	-
E313	1	EA1.11	136FT <sup>2</sup>	164	-	-
E314	1	EA1.11		164	-	-
E315	1	EA1.11		164	-	-

**EAST - MASTER SIGN PROGRAM TABULATIONS - WALL SIGNS**

SIGN #	BLDG #	SHEET #	ALLOWABLE AREA	SUITE #	TENANT SIGN NAME	SIGN AREA
EL15	1	EA1.11	68FT <sup>2</sup>	B.O.H.	<b>CENTER IDENTITY</b>	90.1FT <sup>2</sup>
EL57(BLADE)	1	EA1.11		B.O.H.	<b>INFORMATION IDENTITY</b>	9.0FT <sup>2</sup>
EL16	1	EA1.11	75FT <sup>2</sup>	B.O.H.	<b>CENTER IDENTITY</b>	99.0FT <sup>2</sup>
E319	1	EA1.11	51FT <sup>2</sup>	164	-	-
E320	1	EA1.11	214FT <sup>2</sup>	160	-	-
E321	1	EA1.11		160	-	-
E323	1	EA1.11		158	-	-
E324	1	EA1.11		156	-	-
E325	1	EA1.12	34FT <sup>2</sup>	ACCESS	-	-
E326	1	EA1.12	226FT <sup>2</sup>	B.O.H.	-	-
EL29	1	EA1.12		152	<b>PEDESTRIAN WAYFINDING</b>	N/A
E328	1	EA1.12		152	-	-
E329	1	EA1.12		151	-	-
E330	1	EA1.12		150	-	-
EL30	1	EA1.12	65FT <sup>2</sup>	VIA	<b>PEDESTRIAN DIRECTIONAL VIA</b>	96.0FT <sup>2</sup>
E332	1	EA1.12	136FT <sup>2</sup>	148	-	-
E333	1	EA1.12		147	-	-
EL32	1	EA1.12		146	<b>PEDESTRIAN WAYFINDING</b>	N/A
E335	1	EA1.12	94FT <sup>2</sup>	146	-	-
E336	1	EA1.12		144	-	-
E337	1	EA1.12	53FT <sup>2</sup>	144	-	-
E338	1	EA1.12	280FT <sup>2</sup>	142	-	-
E339	1	EA1.12		142	-	-
E340	1	EA1.12		140	-	-
E341	1	EA1.12		138	-	-
E342	1	EA1.12		138	-	-
E343	1	EA1.12		134	-	-
E344	1	EA1.12	218FT <sup>2</sup>	132	-	-
E345	1	EA1.12		128	-	-
E346	1	EA1.12		128	-	-
E347	1	EA1.12		128	-	-
E348	1	EA1.12		128	-	-

**EAST - MASTER SIGN PROGRAM TABULATIONS - WALL SIGNS**

SIGN #	BLDG #	SHEET #	ALLOWABLE AREA	SUITE #	TENANT SIGN NAME	SIGN AREA
EL33	1	EA1.12	35FT <sup>2</sup>	128	<b>PEDESTRIAN WAYFINDING</b>	N/A
EL34	9	EA1.12	102FT <sup>2</sup>	912	<b>PEDESTRIAN WAYFINDING</b>	N/A
E351	9	EA1.12		910	-	-
E352	9	EA1.12	394FT <sup>2</sup>	908	-	-
E353	9	EA1.12		908	-	-
E354	9	EA1.12		904	-	-
E355	9	EA1.12		900	-	-
E356	9	EA1.12		900	-	-
E357	9	EA1.12		900	-	-
E358	9	EA1.12		B.O.H.	-	-
E359	9	EA1.13	32FT <sup>2</sup>	B.O.H.	-	-
E360	9	EA1.13	112FT <sup>2</sup>	900	-	-
E361	9	EA1.13		900	-	-
E362	9	EA1.13		900	-	-
E363	9	EA1.13	26FT <sup>2</sup>	900	-	-
E364	9	EA1.13	64FT <sup>2</sup>	900	-	-
E365	9	EA1.13		900	-	-
E366	9	EA1.13		900	<b>HUGO BOSS</b>	16.9FT <sup>2</sup>
E367	9	EA1.13	40FT <sup>2</sup>	900	-	-
E368	9	EA1.13	38FT <sup>2</sup>	900	-	-
E369	9	EA1.13	95FT <sup>2</sup>	900	<b>HUGO BOSS</b>	49.3FT <sup>2</sup>
E370	9	EA1.13	74FT <sup>2</sup>	900	-	-
E371	9	EA1.13		904	<b>MARNI</b>	10.4FT <sup>2</sup>
E372	9	EA1.13	154FT <sup>2</sup>	908	<b>ETRO</b>	9.7FT <sup>2</sup>
E373	9	EA1.13		910	<b>ELIE TAHARI</b>	19.3FT <sup>2</sup>
E374	9	EA1.13		912	<b>JAMES PERSE</b>	13.6FT <sup>2</sup>
EL14	9	EA1.13	30FT <sup>2</sup>	B.O.H.	<b>PEDESTRIAN WAYFINDING</b>	N/A
E376	1	EA1.13	18FT <sup>2</sup>	122	<b>TOURNEAU(CLOCK)</b>	9.0FT <sup>2</sup>

**EAST - MASTER SIGN PROGRAM TABULATIONS - WALL SIGNS**

SIGN #	BLDG #	SHEET #	ALLOWABLE AREA	SUITE #	TENANT SIGN NAME	SIGN AREA
EL13	1	EA1.13	74FT <sup>2</sup>	VIA	PEDESTRIAN DIRECTIONAL VIA	96.0FT <sup>2</sup>
E378	9	EA1.13	32FT <sup>2</sup>	B.O.H.	BOTTEGA VENETA	19.6FT <sup>2</sup>
E379	9	EA1.13	92FT <sup>2</sup>	916	-	-
E380	9	EA1.13		918	KIPLING	13.5FT <sup>2</sup>
E381	9	EA1.13		920	-	-
E382	9	EA1.13	60FT <sup>2</sup>	920	SALVADOR FERRAGAMO	67.3FT <sup>2</sup>
E383	9	EA1.13	50FT <sup>2</sup>	920	SALVADOR FERRAGAMO	67.3FT <sup>2</sup>
E384	9	EA1.13	100FT <sup>2</sup>	920	-	-
E385	9	EA1.13		920	ELIE TAHARI	47.9FT <sup>2</sup>
E386	9	EA1.13	60FT <sup>2</sup>	920	BOTTEGA VENETA	19.6FT <sup>2</sup>
E387	9	EA1.13	118FT <sup>2</sup>	920	SALVADOR FERRAGAMO	72.6FT <sup>2</sup>
E388	9	EA1.13		916	JAMES PERSE	13.8FT <sup>2</sup>
E389	1	EA1.13	60FT <sup>2</sup>	116	BANANA REPUBLIC	45.0FT <sup>2</sup>
E390	1	EA1.14	74FT <sup>2</sup>	116	YVES SAINT LAURENT	43.1FT <sup>2</sup>
E391	1	EA1.14	48FT <sup>2</sup>	116	BANANA REPUBLIC	50.5FT <sup>2</sup>
E392	1	EA1.14	128FT <sup>2</sup>	116	TOURNEAU	32.3FT <sup>2</sup>
E393	1	EA1.14		116	-	-
E394	1	EA1.14		116	COACH	32.5FT <sup>2</sup>
E395	1	EA1.14	164FT <sup>2</sup>	114	-	-
E396	1	EA1.14		112	ZENGA	42.6FT <sup>2</sup>
E397	1	EA1.14		112	JUICY COUTURE	16.5FT <sup>2</sup>
E398	1	EA1.14		108	DKNY	34.0FT <sup>2</sup>
E399	1	EA1.14		108	-	-
E400	1	EA1.14	62FT <sup>2</sup>	108	-	-
E401	1	EA1.14		108	GUESS	30.9FT <sup>2</sup>
E402	1	EA1.14	128FT <sup>2</sup>	107C	-	-
E403	1	EA1.14		107B	-	-
E404	1	EA1.14		107B	-	-

\*REFER TO SHEETS EA0.01-EA1.18  
FOR ADDITIONAL INFORMATION

**EAST - MASTER SIGN PROGRAM TABULATIONS - WALL SIGNS**

SIGN #	BLDG #	SHEET #	ALLOWABLE AREA	SUITE #	TENANT SIGN NAME	SIGN AREA
E405	1	EA1.14	52FT <sup>2</sup>	107A	ST. JOHN	29.0FT <sup>2</sup>
E406	1	EA1.14		107A	-	-
E407	1	EA1.14	68FT <sup>2</sup>	106	TSE	7.5FT <sup>2</sup>
E408	1	EA1.14		105	KATE SPADE NEW YORK	38.3FT <sup>2</sup>
E409	1	EA1.14	58FT <sup>2</sup>	104	-	-
E410	1	EA1.14	72FT <sup>2</sup>	102	MOVADO	19.3FT <sup>2</sup>
E411	1	EA1.14		100	-	-
E412	1	EA1.14	52FT <sup>2</sup>	100	BROOKS BROTHERS	66.1FT <sup>2</sup>
E414	1	EA1.14	92FT <sup>2</sup>	244	-	-
E415	1	EA1.14	50FT <sup>2</sup>	241	DOLCE & GABBANA	32.1FT <sup>2</sup>
E416	1	EA1.14	104FT <sup>2</sup>	241	CALVIN KLEIN	25.0FT <sup>2</sup>
E417	1	EA1.14		240	GIORGIO ARMANI	33.0FT <sup>2</sup>
E418	1	EA1.14	60FT <sup>2</sup>	240	-	-
E419	1	EA1.14	60FT <sup>2</sup>	240	-	-
E420	1	EA1.14	132FT <sup>2</sup>	240	-	-
E421	1	EA1.14		240	-	-
E422	1	EA1.14		240	-	-
E423	1	EA1.14		240	-	-
E424	1	EA1.14		240	-	-
E425	1	EA1.14	68FT <sup>2</sup>	240	-	-
ELG9	P	EA1.15	510FT <sup>2</sup>	-	<b>VEHICULAR ENTRY DIRECTIONAL</b>	20.0FT <sup>2</sup>
E427	P	EA1.15		-	-	-
E428	P	EA1.15		-	-	-
ELG10(BLADE)	P	EA1.15		-	<b>VEHICULAR ENTRY DIRECTIONAL</b>	9.0FT <sup>2</sup>
ELG18	P	-		-	<b>CAR COUNTER DISPLAY</b>	8.0FT <sup>2</sup>
ELG11	P	EA1.15	608FT <sup>2</sup>	-	<b>PEDESTRIAN DIRECTIONAL</b>	40.0FT <sup>2</sup>
ELG3	P	EA1.15		-	<b>CENTER IDENTITY</b>	120.0FT <sup>2</sup>
ELG12	P	EA1.15		-	<b>VEHICULAR ENTRY DIRECTIONAL</b>	20.0FT <sup>2</sup>
ELG13(BLADE)	P	EA1.15		-	<b>VEHICULAR ENTRY DIRECTIONAL</b>	9.0FT <sup>2</sup>
ELG19	P	-		-	<b>CAR COUNTER DISPLAY</b>	8.0FT <sup>2</sup>

**EAST - MASTER SIGN PROGRAM TABULATIONS - WALL SIGNS**

SIGN #	BLDG #	SHEET #	ALLOWABLE AREA	SUITE #	TENANT SIGN NAME	SIGN AREA
ELG14	P	EA1.15	896FT <sup>2</sup>	-	<u>VEHICULAR ENTRY DIRECTIONAL</u>	20.0FT <sup>2</sup>
E435	P	EA1.15		-	-	-
E436	P	EA1.15		-	-	-
ELG15 <sub>(BLADE)</sub>	P	EA1.15		-	<u>VEHICULAR ENTRY DIRECTIONAL</u>	9.0FT <sup>2</sup>
ELG21	P	EA1.15	896FT <sup>2</sup>	-	<u>VALET SIGN</u>	50.0FT <sup>2</sup>
ELG22 <sub>(BLADE)</sub>	P	EA1.15		-	<u>VALET BLADE SIGN</u>	9.0FT <sup>2</sup>
ELG16	P	EA1.16	1048FT <sup>2</sup>	-	<u>VEHICULAR ENTRY DIRECTIONAL</u>	20.0FT <sup>2</sup>
E439	P	EA1.16		-	-	-
E440	P	EA1.16		-	-	-
ELG17 <sub>(BLADE)</sub>	P	EA1.16		-	<u>VEHICULAR ENTRY DIRECTIONAL</u>	9.0FT <sup>2</sup>
ELG20	P	-		-	<u>CAR COUNTER DISPLAY</u>	8.0FT <sup>2</sup>
E442	P	EA1.16	388FT <sup>2</sup>	-	-	-
E443	P	EA1.16		-	-	-
ELG2	P	EA1.16		-	<u>VEHICULAR ENTRY DIRECTIONAL</u>	20.0FT <sup>2</sup>
E445	P	EA1.16		-	-	-
E446	P	EA1.16		-	-	-
E447	P	EA1.16		-	-	-
E448	P	EA1.16		-	-	-
E449	P	EA1.16		-	-	-
ELG1	P	EA1.16	160FT <sup>2</sup>	-	<u>CENTER IDENTITY</u>	229.0FT <sup>2</sup>
ELG4	P	EA1.17	148FT <sup>2</sup>	-	<u>VEHICULAR ENTRY DIRECTIONAL</u>	20.0FT <sup>2</sup>
E452	P	EA1.17		-	-	-
E453	P	EA1.17		-	-	-
ELG5	P	-		-	<u>CAR COUNTER DISPLAY</u>	8.0FT <sup>2</sup>
ELG6	P	EA1.18	330FT <sup>2</sup>	-	<u>VEHICULAR ENTRY DIRECTIONAL</u>	20.0FT <sup>2</sup>
E455	P	EA1.18		-	-	-
E456	P	EA1.18		-	-	-
ELG8	P	-		-	<u>CAR COUNTER DISPLAY</u>	8.0FT <sup>2</sup>



DESERT HILLS PREMIUM  
OUTLETS  
A COMMUNITY CENTER  
OF WEST

**EAST  
MASTER  
SIGN  
PROGRAM**

**PREMIUM  
OUTLETS  
SIMON**

**OVERALL SITE  
EAST  
LANDLORD  
SIGNAGE**

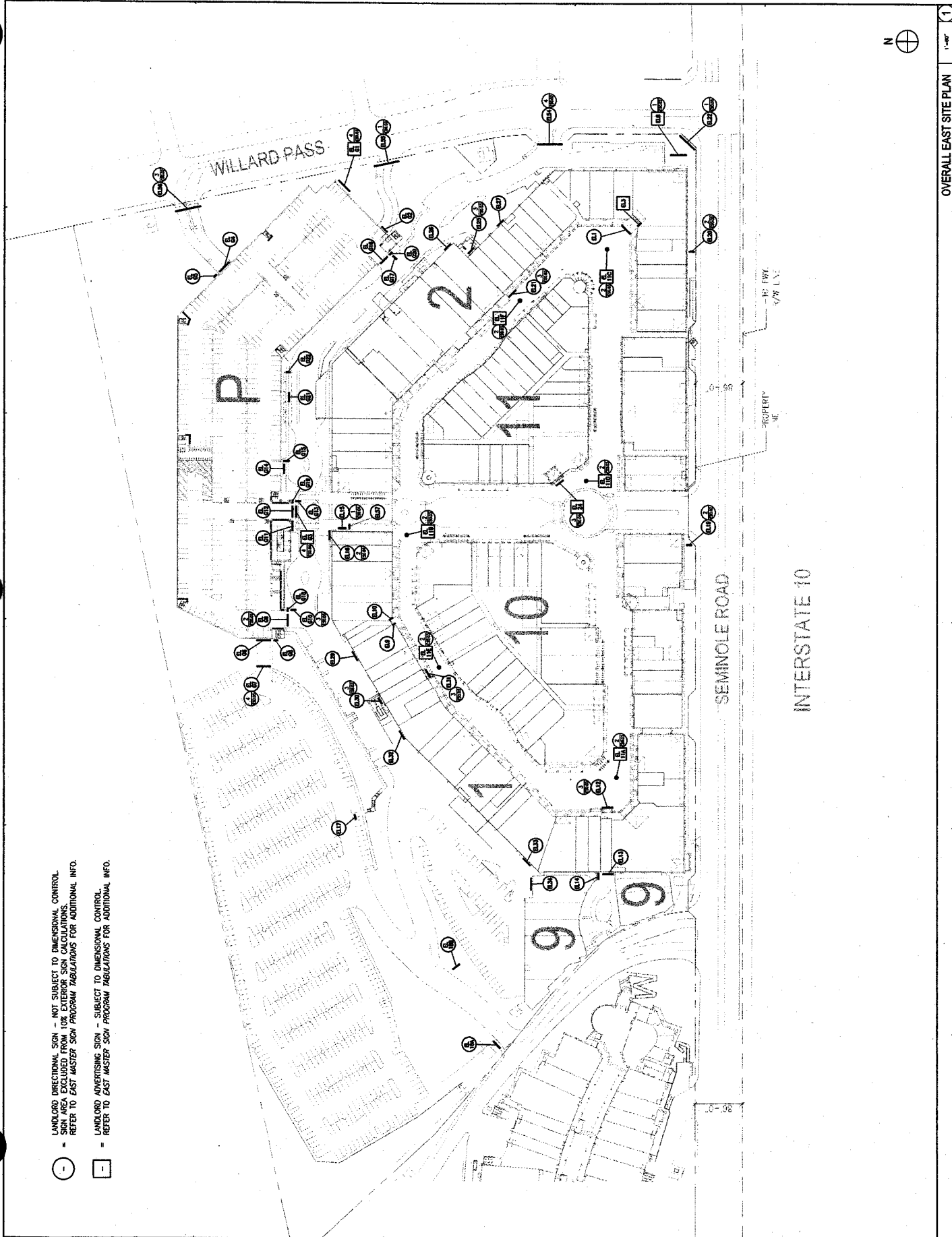
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- - LANDLORD DIRECTIONAL SIGN - NOT SUBJECT TO DIMENSIONAL CONTROL. SIGN AREA EXCLUDED FROM 10% EXTERIOR SIGN CALCULATIONS. REFER TO EAST MASTER SIGN PROGRAM TABULATIONS FOR ADDITIONAL INFO.
- - LANDLORD ADVERTISING SIGN - SUBJECT TO DIMENSIONAL CONTROL. REFER TO EAST MASTER SIGN PROGRAM TABULATIONS FOR ADDITIONAL INFO.



OVERALL EAST SITE PLAN 1/16/07 1





DESERT HILLS PREMIER  
 10000 N. CENTRAL AVENUE  
 SUITE 100  
 CHANDLER, AZ 85226

EAST  
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 SIGNAGE

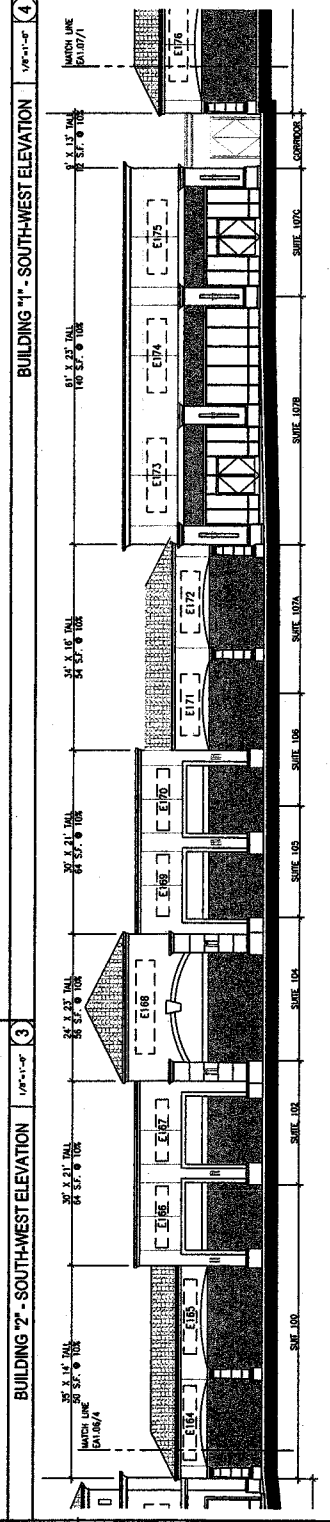
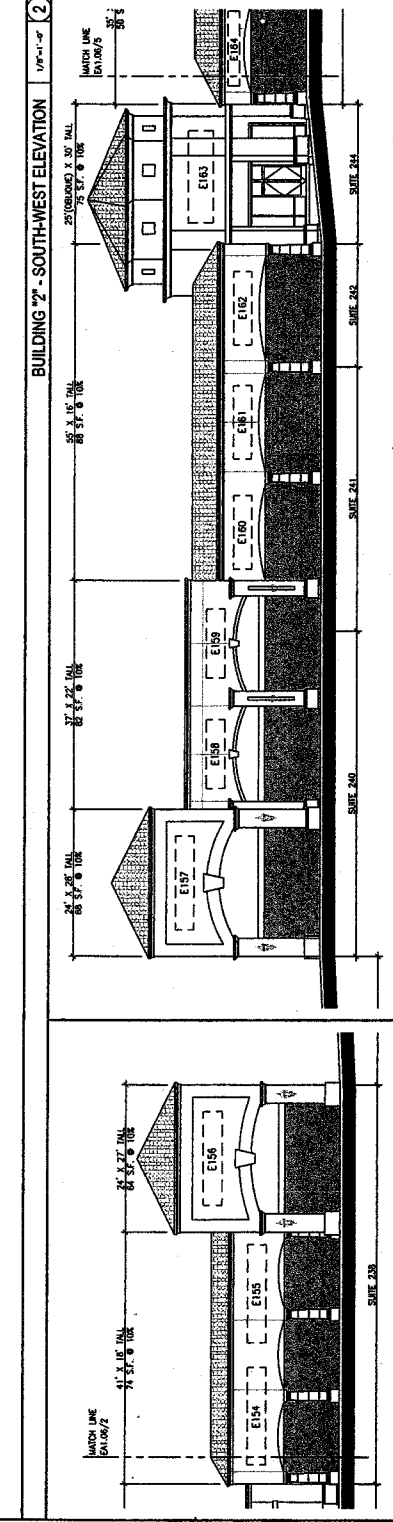
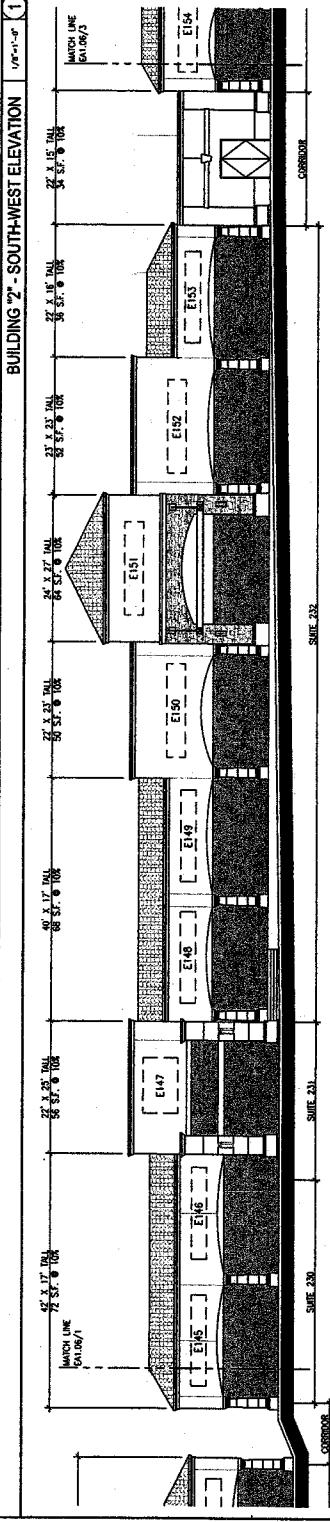
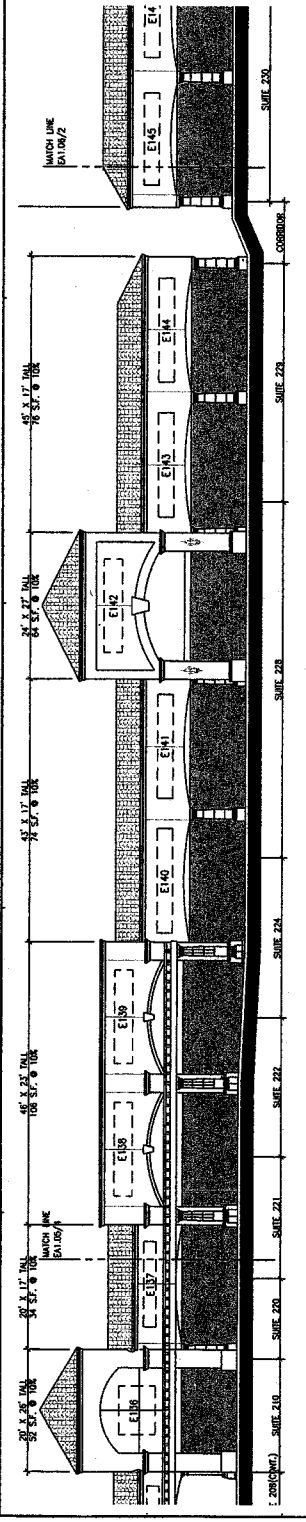
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 ELEVATIONS  
 BUILDING  
 1 & 2

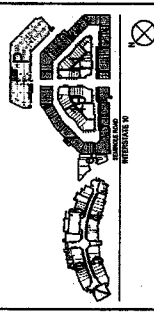
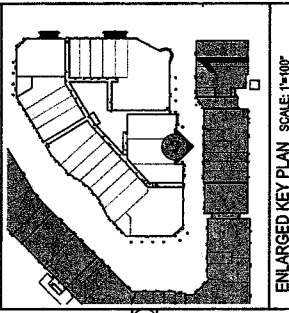
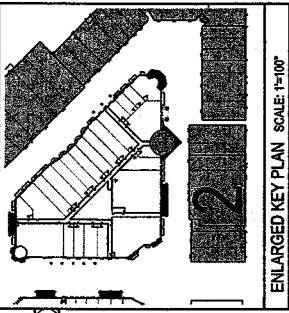
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NOTES



KEY PLAN

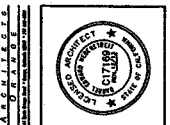
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BUILDING "2" - SOUTH-WEST ELEVATION 1/8"=1'-0"

BUILDING "2" - SOUTH-WEST ELEVATION 1/8"=1'-0"

BUILDING "1" - SOUTH-WEST ELEVATION 1/8"=1'-0"

KEY PLAN



DESERT HILLS PREMIUM  
OUTLETS  
SIGNAGE PROGRAM

**WEST MASTER SIGN PROGRAM**

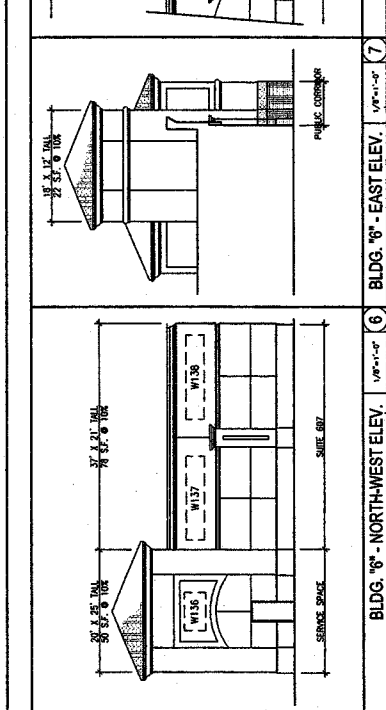
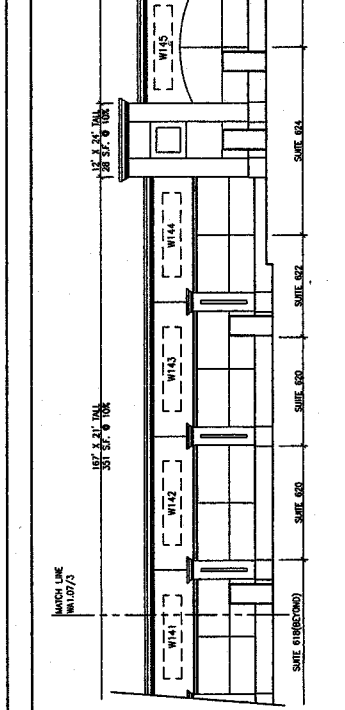
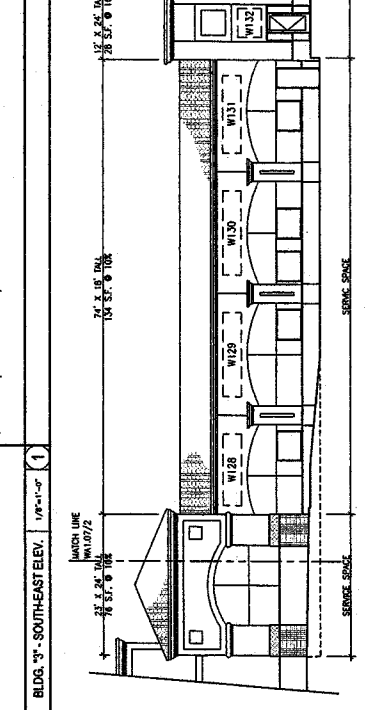
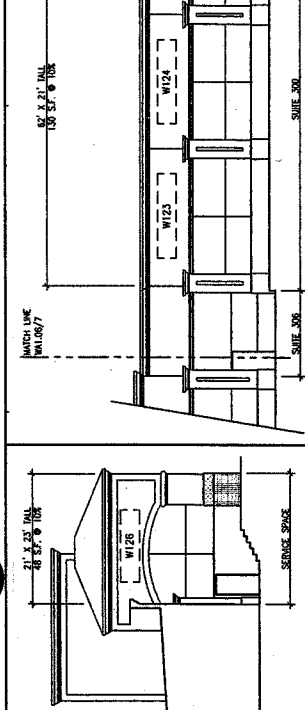
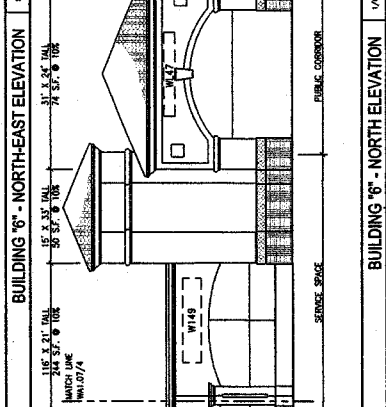
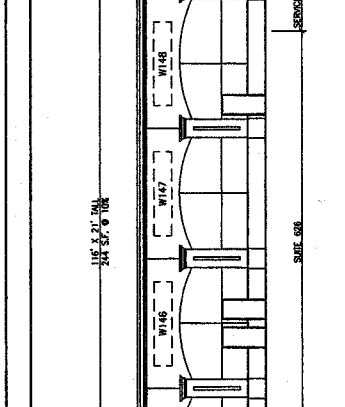
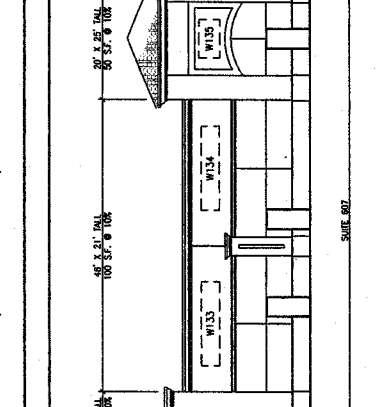
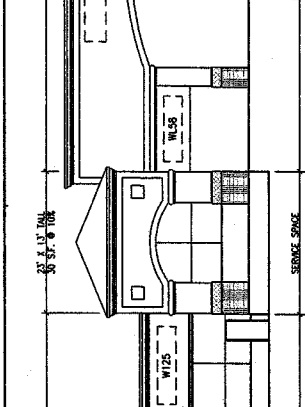
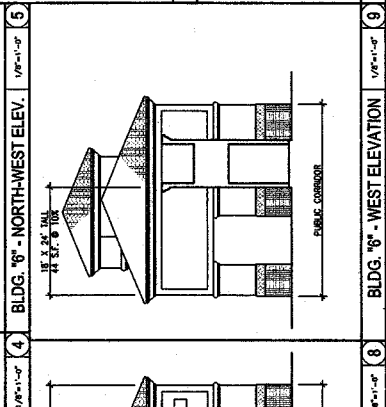
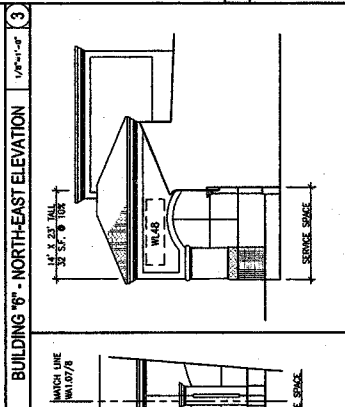
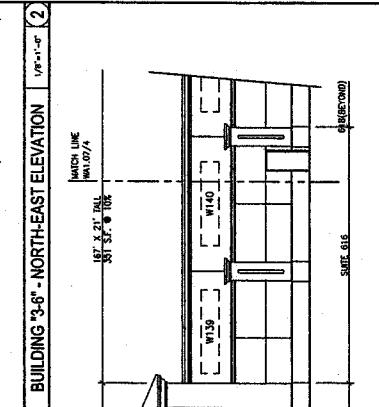
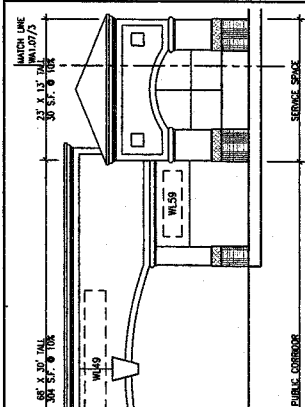
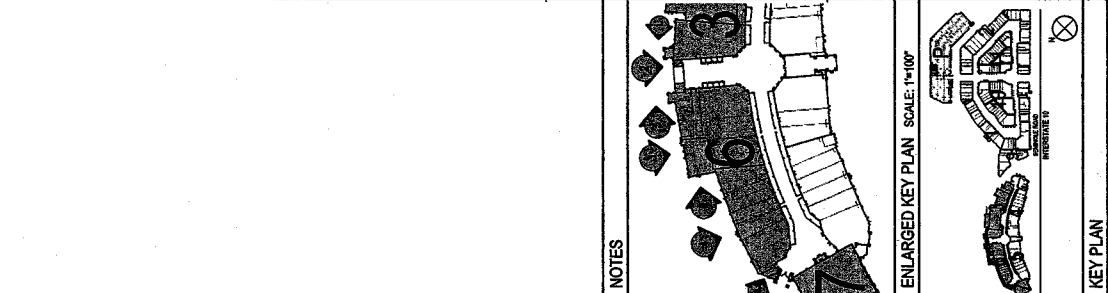
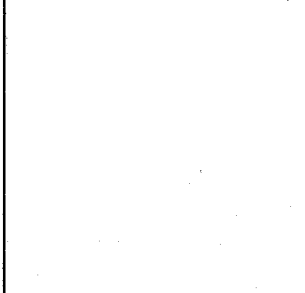
**PREMIUM OUTLETS SIMON**

**SIGNAGE ELEVATIONS BUILDING 3, 6 & 7**

**PANHANDLE REGIONAL CENTER**

DATE: \_\_\_\_\_  
 TITLE: \_\_\_\_\_  
 PROJECT NUMBER: \_\_\_\_\_  
 SHEET NUMBER: \_\_\_\_\_

**WA1.07**  
 SHEET  
 BLDG. 3, 6 & 7



DATE: 10/15/13  
 DWG. NO.: 22-0316-01-01  
 PROJECT: WEST MASTER SIGN PROGRAM



DEBERT HILLS PREMIUM  
OUTLETS  
AND  
SHOPPING CENTER

WEST  
MASTER  
SIGN  
PROGRAM

PREMIUM  
OUTLETS  
SIMON

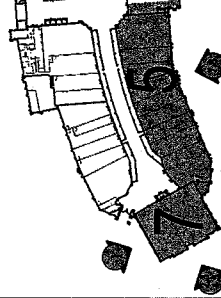
SIGNAGE  
ELEVATIONS  
BUILDING  
5 & 7

PLAN CHECK & APPROVAL  
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11000 W. 11th Ave., Suite 100  
Westminster, CO 80040  
Tel: 303.440.1100  
Fax: 303.440.1101  
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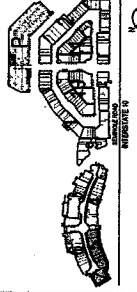
DATE  
Per Day  
Per Hour  
Per Week  
Per Month  
Per Year

SHEET  
**WA1.08**  
BLDG. 1 & 5

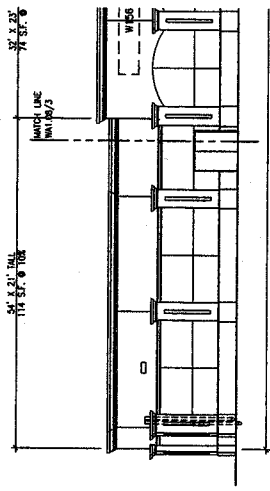
NOTES



ENLARGED KEY PLAN SCALE: 1"=100'

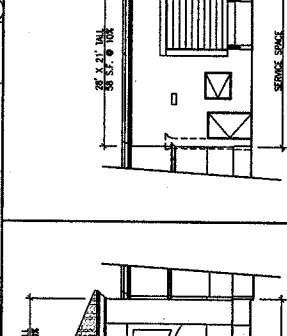


KEY PLAN



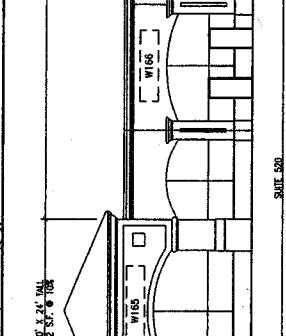
BUILDING 7 - WEST ELEVATION

BUILDING 7 - NORTH ELEVATION



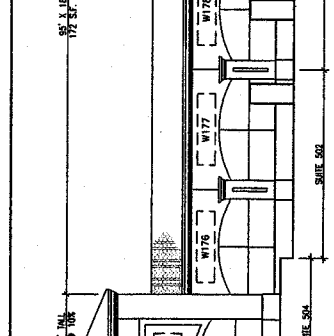
BUILDING 7 - EAST ELEVATION

BLDG. 7 - NORTH ELEVATION



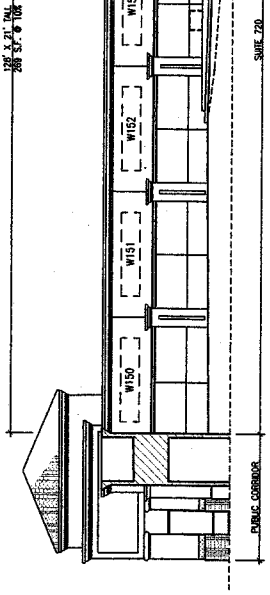
BUILDING 5 - SOUTH ELEVATION

BUILDING 7 - SOUTH ELEVATION

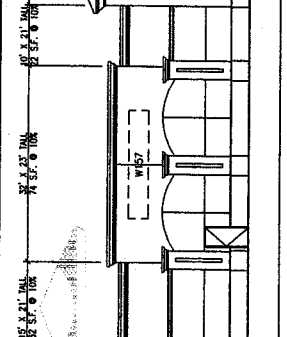


BUILDING 5 - SOUTH-WEST ELEVATION

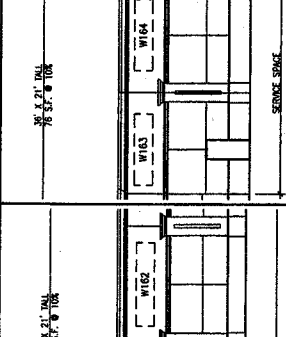
BUILDING 7 - SOUTH ELEVATION



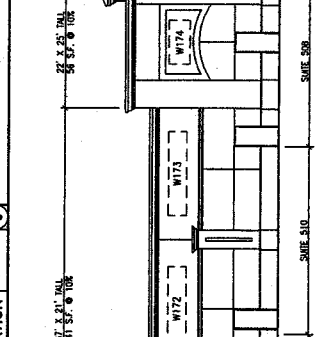
BUILDING 7 - NORTH ELEVATION



BLDG. 7 - NORTH ELEVATION



BUILDING 7 - SOUTH ELEVATION



BUILDING 7 - SOUTH ELEVATION





DESERT HILLS PREMIUM  
OUTLETS  
PROJECT SIGNAGE

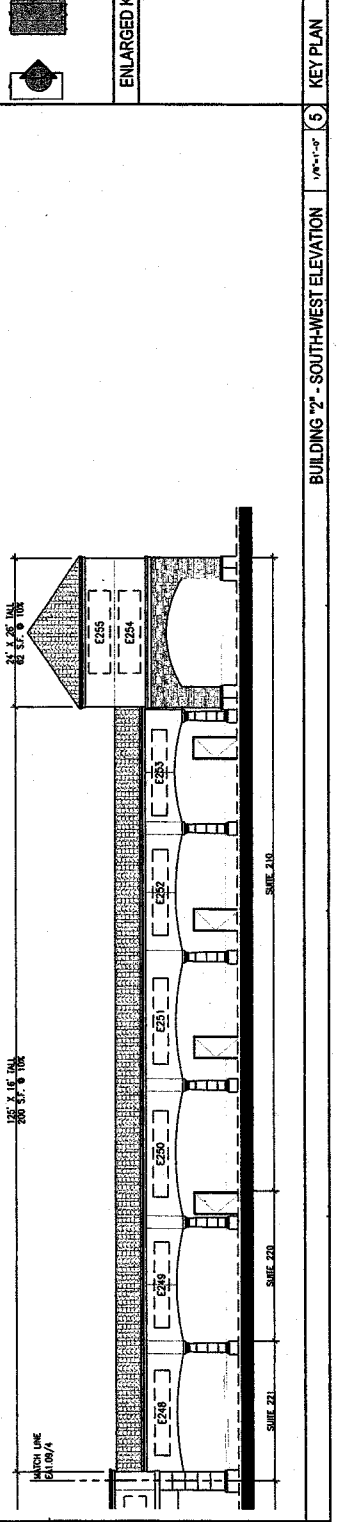
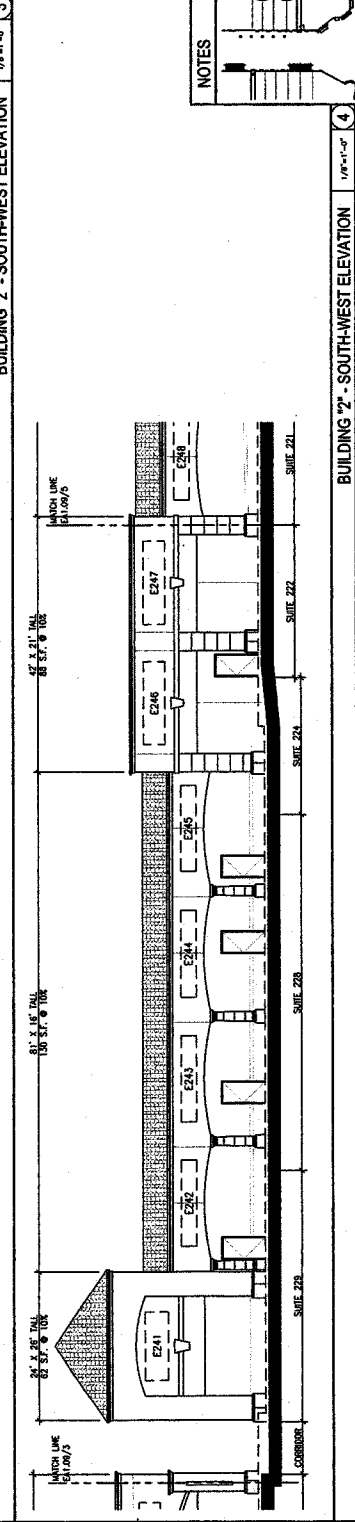
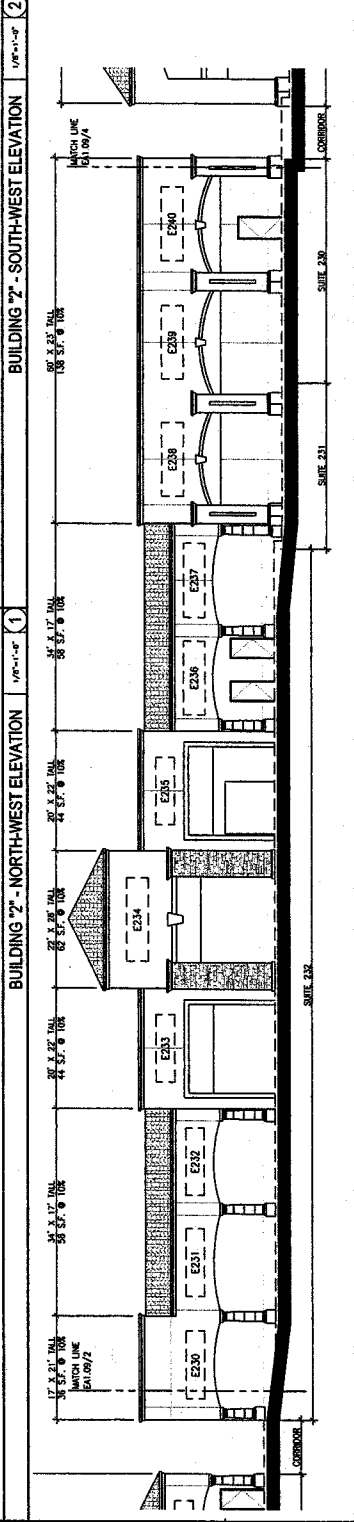
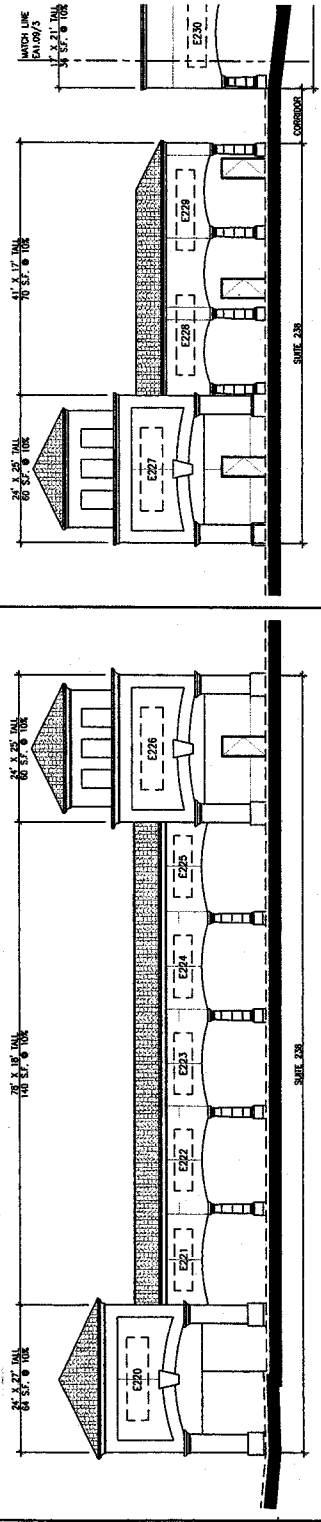
EAST  
PROJECT  
SIGNAGE

PREMIUM  
OUTLETS  
SIMON

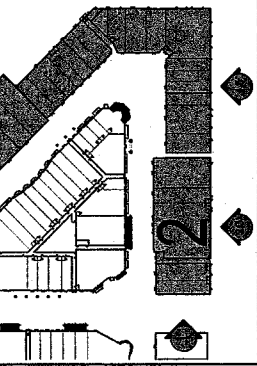
SIGNAGE  
ELEVATIONS  
BUILDING  
2

DATE  
BY  
CHECKED BY  
DATE

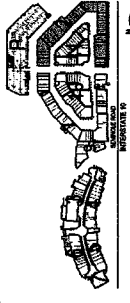
SHEET  
**E1.09**  
BLDG. 2



NOTES



ENLARGED KEY PLAN SCALE: 1/8"=1'-0"



BUILDING 2 - SOUTH-WEST ELEVATION

BUILDING 2 - NORTH-WEST ELEVATION

BUILDING 2 - SOUTH-WEST ELEVATION

BUILDING 2 - SOUTH-WEST ELEVATION

KEY PLAN



DESERT HILLS PREMIUM  
OUTLETS  
COMMERCIAL CENTER  
PHASE 2

EAST  
MASTER  
SIGN  
PROGRAM

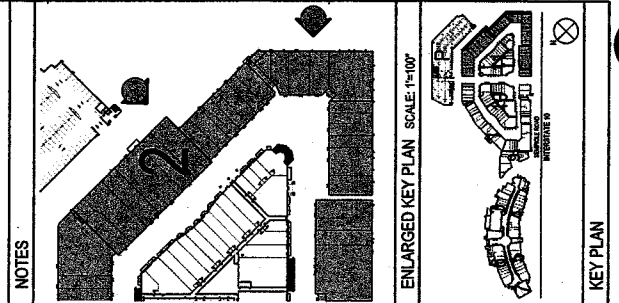
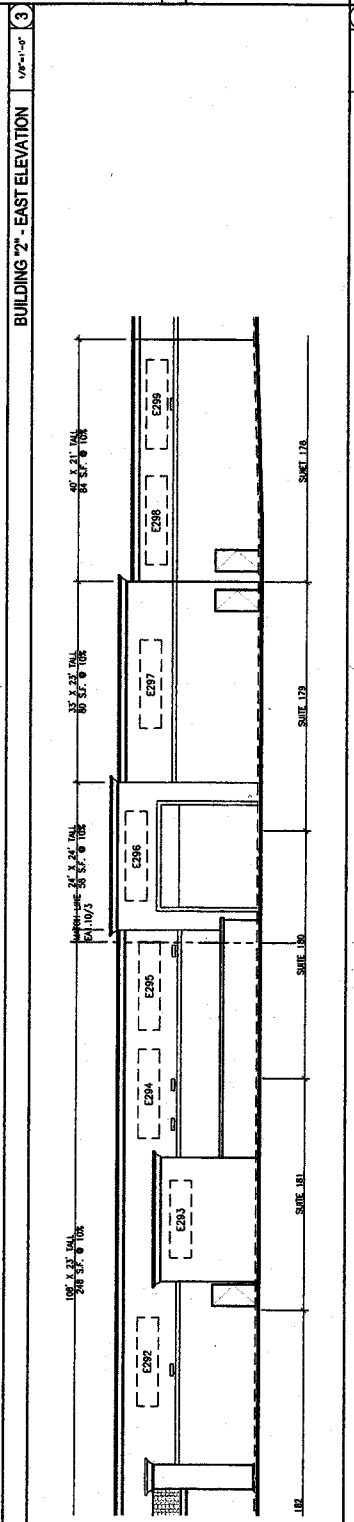
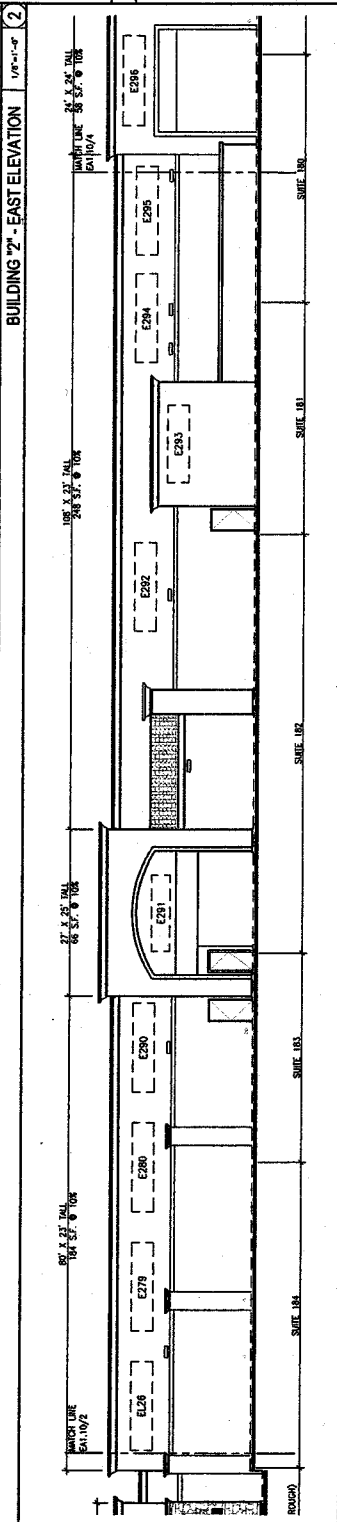
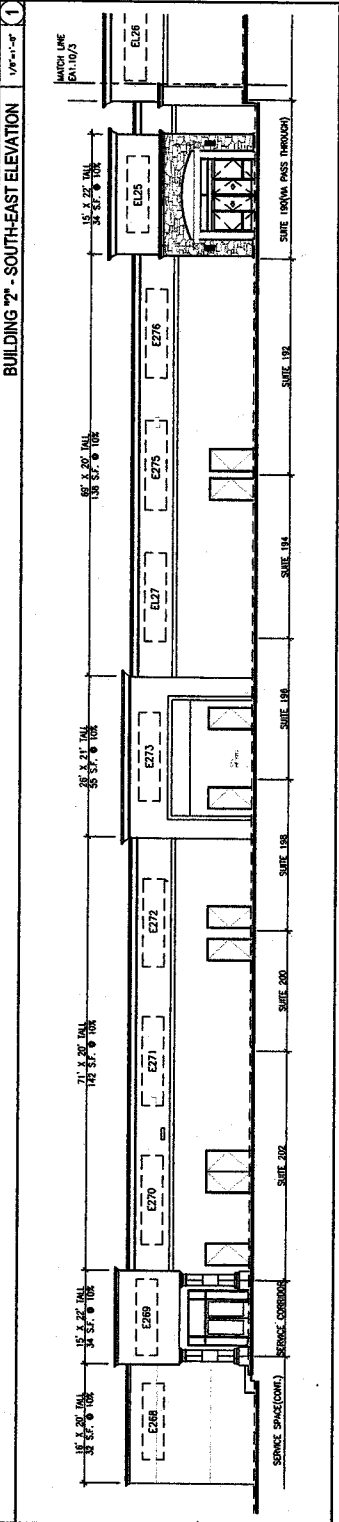
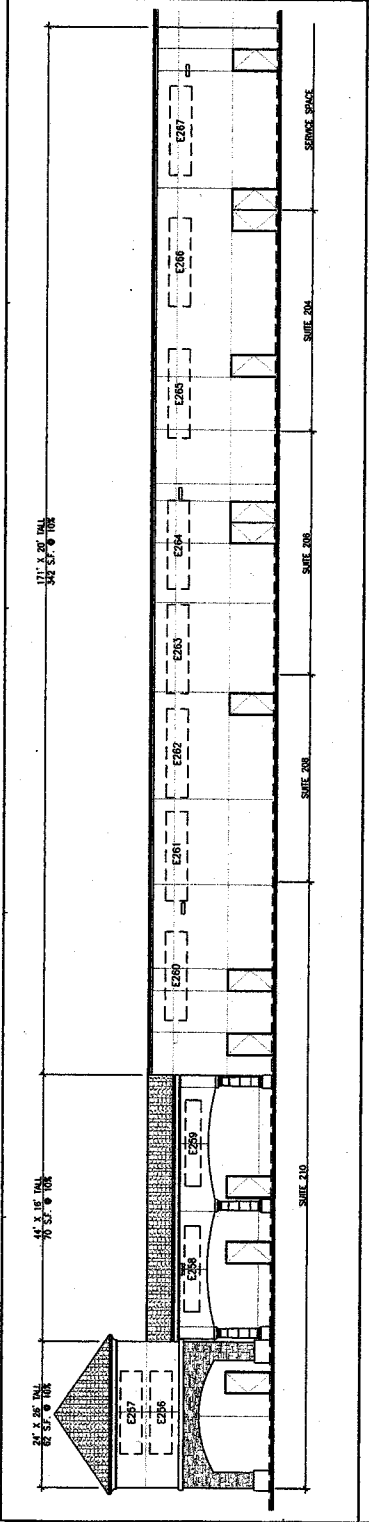
PREMIUM  
OUTLETS  
SIMON

SIGNAGE  
ELEVATIONS  
BUILDING  
2

PLANNING & ENGINEERING  
1000 N. GARDEN AVENUE  
SUITE 100  
DANA POINT, CA 92629  
TEL: 949.441.1111  
WWW.P&E.COM

DATE: \_\_\_\_\_  
BY: \_\_\_\_\_  
CHECKED BY: \_\_\_\_\_  
DATE: \_\_\_\_\_

SHEET  
**EA1.10**  
BLDG. 2



NOTES

1. BUILDING 2 - SOUTH-EAST ELEVATION 1/8"=1'-0"

2. BUILDING 2 - EAST ELEVATION 1/8"=1'-0"

3. BUILDING 2 - EAST ELEVATION 1/8"=1'-0"

4. BUILDING 2 - EAST ELEVATION 1/8"=1'-0"



DESERT HILLS PREMIUM  
OUTLETS  
CENTRE  
COMMERCIAL CENTER  
COSTA MESA, CA 92626

EAST  
MASTER  
SIGN  
PROGRAM

PREMIUM  
OUTLETS  
SIMON

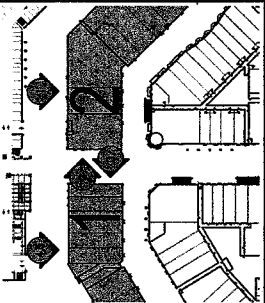
SIGNAGE  
ELEVATIONS  
BUILDING  
1 & 2

DATE  
BY  
CHECKED  
DATE

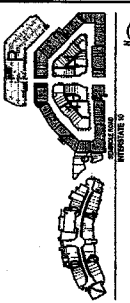
PROJECT NO.  
SHEET NO.

SHEET  
**E1.11**  
BLDG. 1 & 2

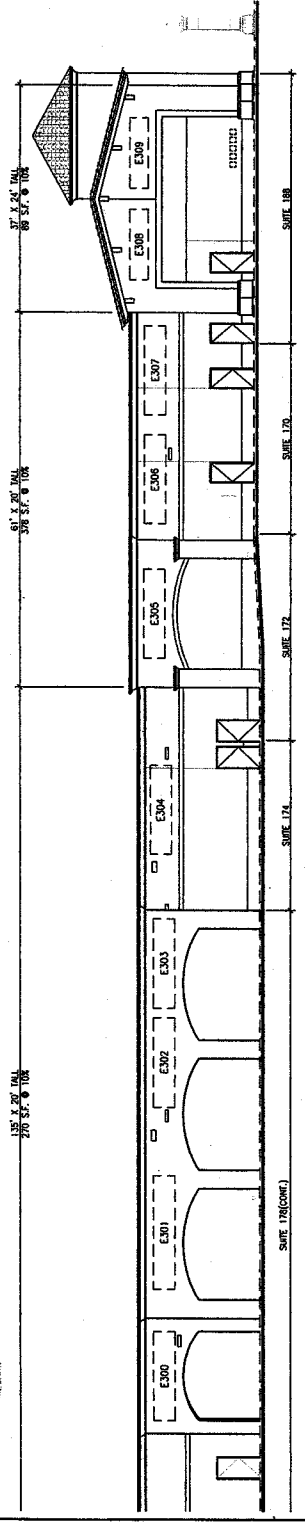
NOTES



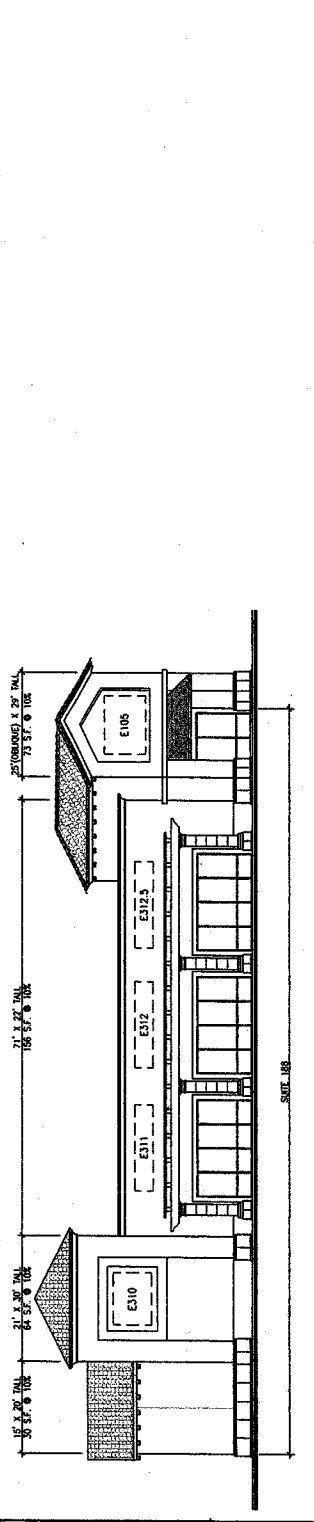
ENLARGED KEY PLAN SCALE: 1"=100'



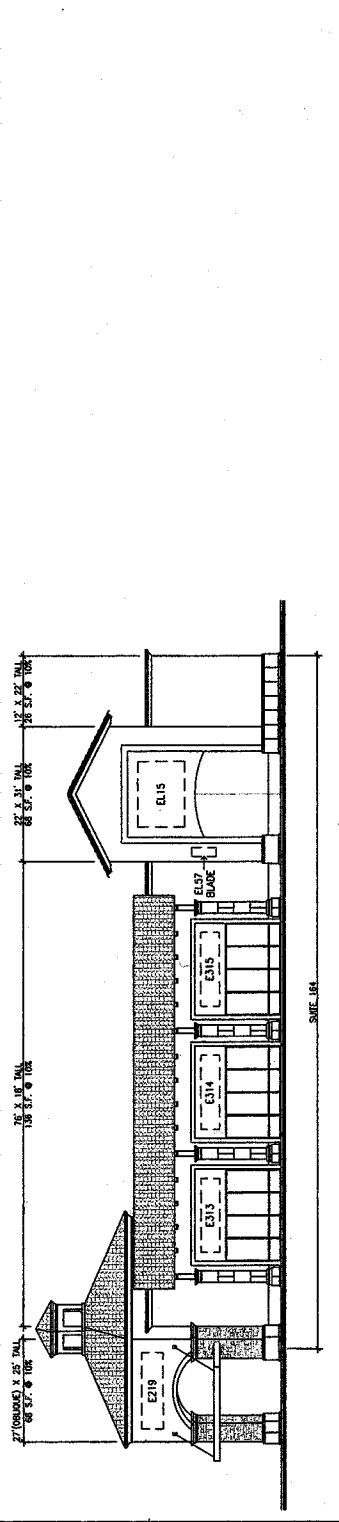
KEY PLAN



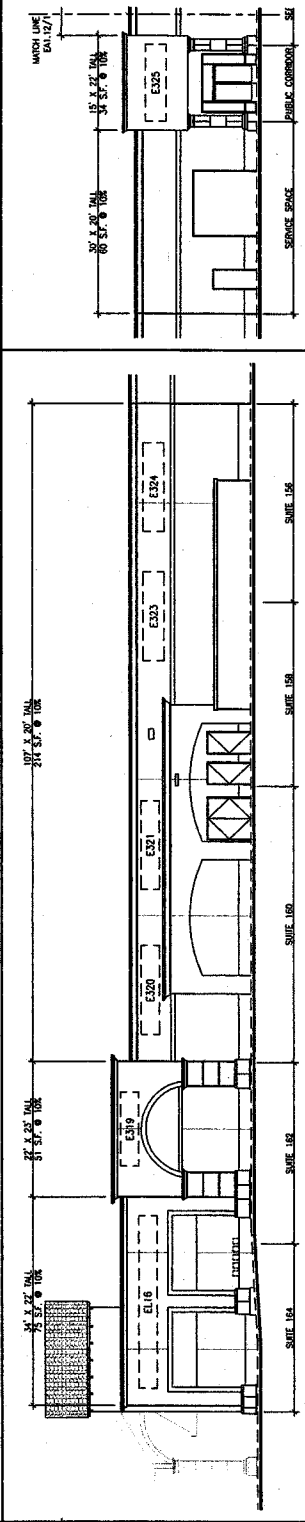
BUILDING 2 - NORTH-EAST ELEVATION 1/8"=1'-0"



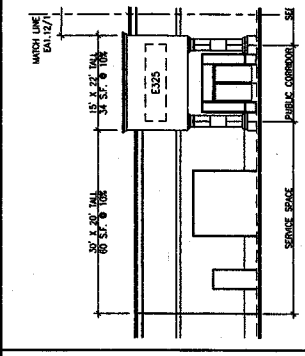
BUILDING 2 - NORTH-WEST ELEVATION 1/8"=1'-0"



BUILDING 1 - SOUTH-EAST ELEVATION 1/8"=1'-0"



BUILDING 1 - NORTH-EAST ELEVATION 1/8"=1'-0"



BLDG. 1 - NORTH ELEVATION 1/8"=1'-0"

1/10/03 - 02/04/03 - DESERT HILLS PREMIUM OUTLETS DEVELOPMENT SHEETS 001-01-11-15 BLDG. 1&2 SIGNAGE ELEVATIONS



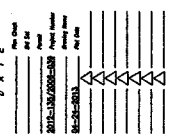
DESERT HILLS PREMIUM  
OUTLETS  
COMMERCIAL CENTER  
DESIGN CENTER

EAST  
MASTER  
SIGN  
PROGRAM

PREMIUM  
OUTLETS  
SIMON

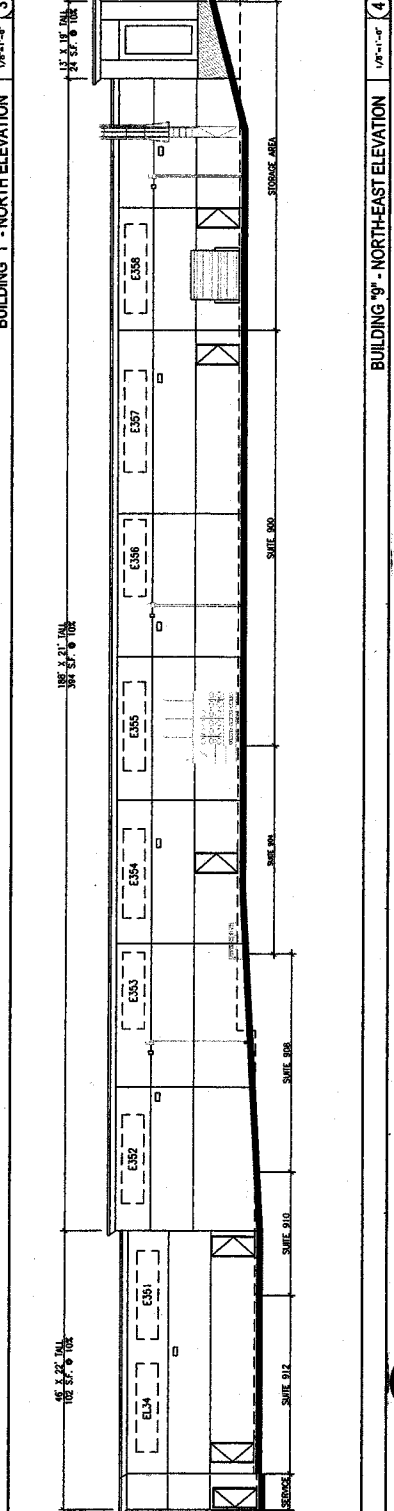
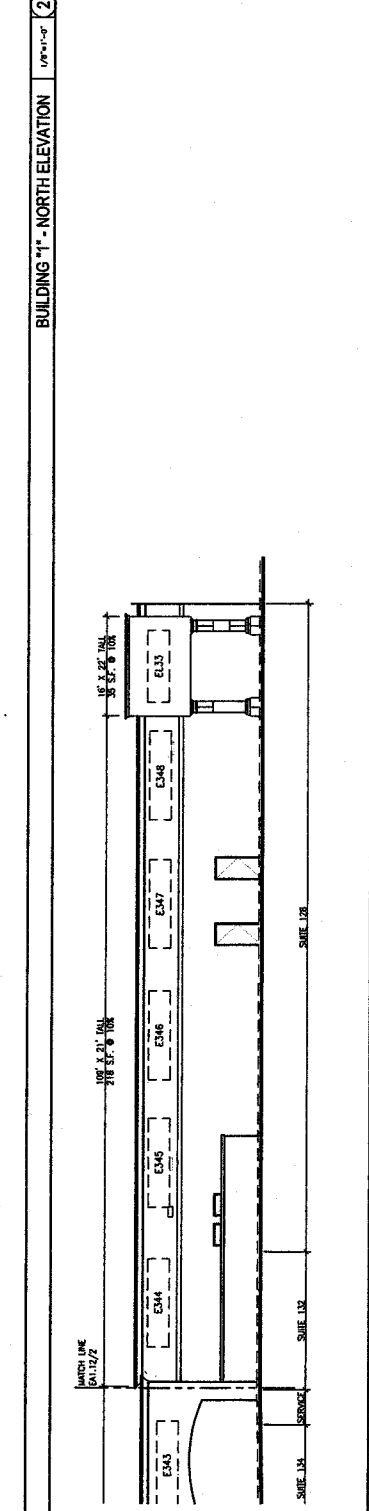
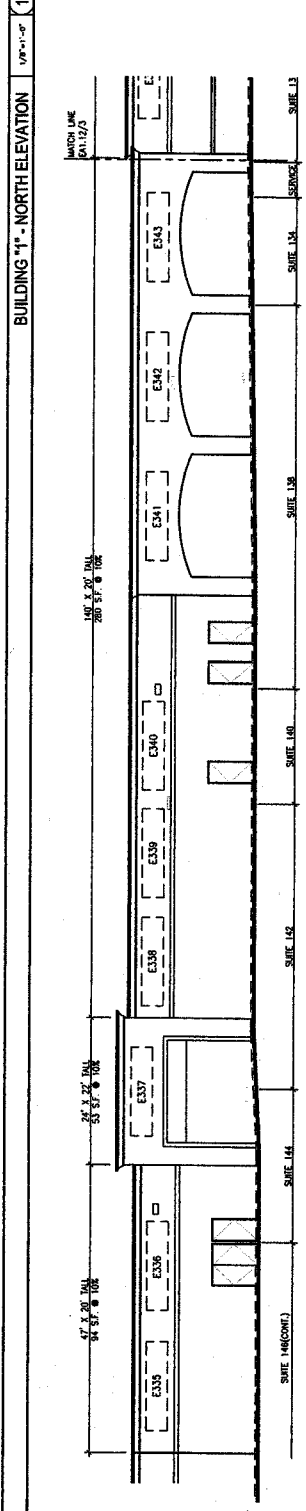
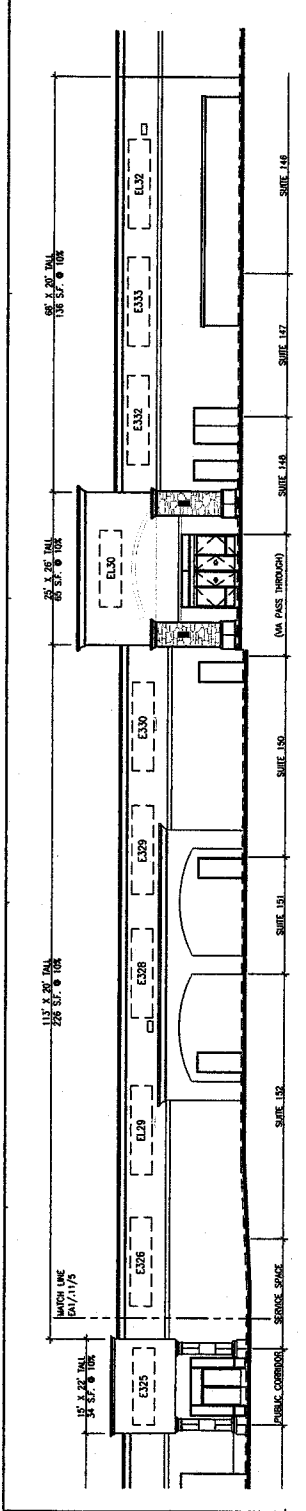
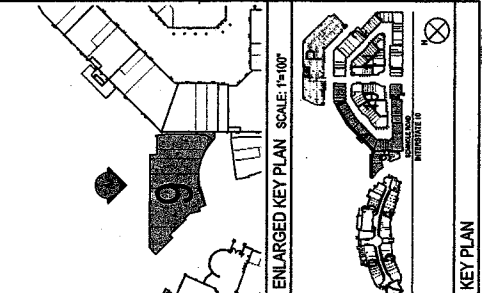
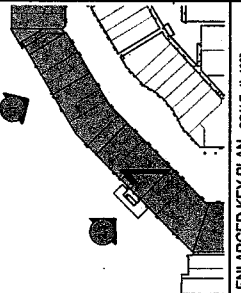
SIGNAGE  
ELEVATIONS  
BUILDING  
1 & 9

RAYMOND E. GREENBERG  
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15151 WOODBURN DRIVE  
SHERMAN OAKS, CA 91509  
Tel: 818.358.3838 Fax: 818.358.3833  
DATE: \_\_\_\_\_  
BY: \_\_\_\_\_  
CHECKED BY: \_\_\_\_\_  
PROJECT NUMBER: 15151 WOODBURN DRIVE  
SHEET NUMBER: EA1.12



SHEET  
**EA1.12**  
BLDG. 1 & 9

NOTES





DESERT HILLS PREMIUM  
OUTLETS  
PROJECT  
OFFICE: 17116 MOORE, LAS VEGAS, NV 89131  
PHONE: 702-799-7447  
FAX: 702-799-7448  
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EAST  
PROJECT  
SIGNAGE

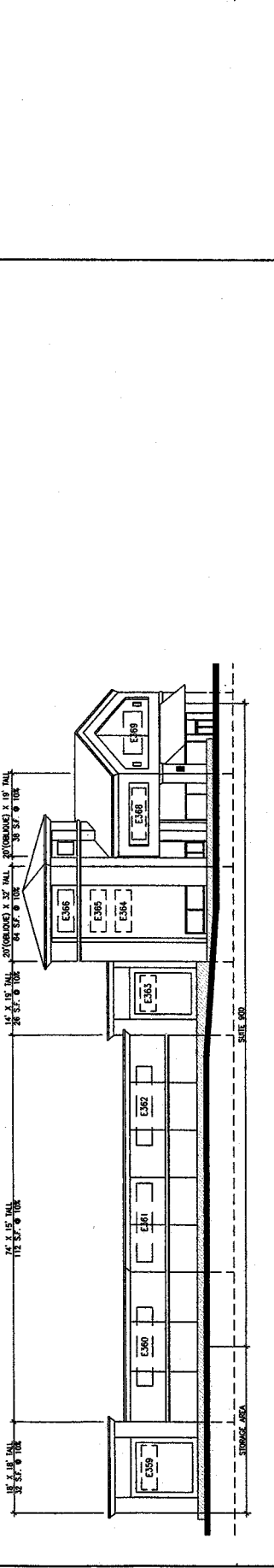
PREMIUM  
OUTLETS  
SIMON

SIGNAGE  
ELEVATIONS  
BUILDING  
1 & 9

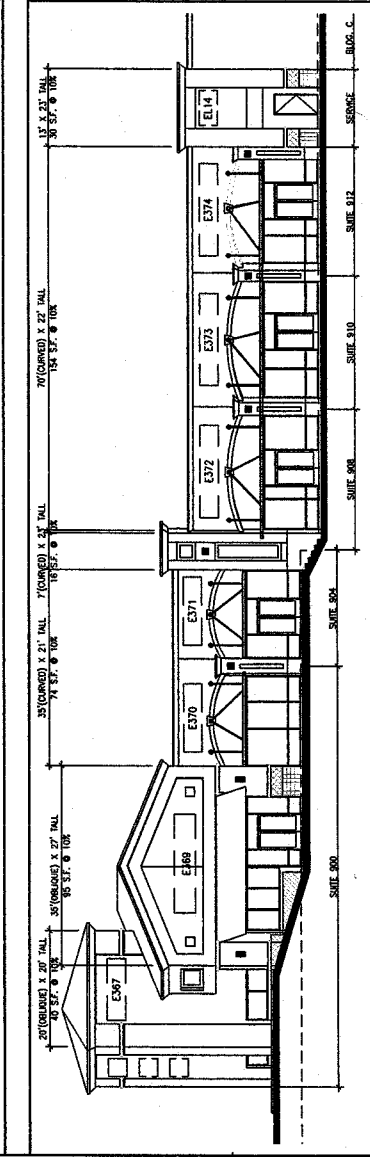
PLANNING & REDESIGN  
© 2011 Andrew Cheng  
DESIGN: 01/2008-03/2009  
CONSTRUCTION: 04/2009-05/2009  
REVISIONS: 06/2009-07/2009

DATE  
BY: JCM  
CHECKED: JCM  
SCALE: AS SHOWN  
SHEET NO: 01/01

SHEET  
EA1.13  
BLDG. 1 & 9

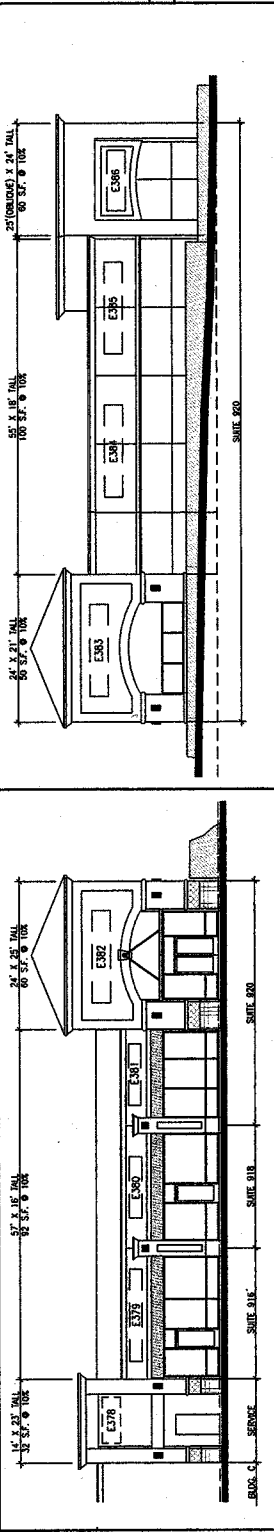


BUILDING 9<sup>W</sup> - WEST ELEVATION 1/8"=1'-0"



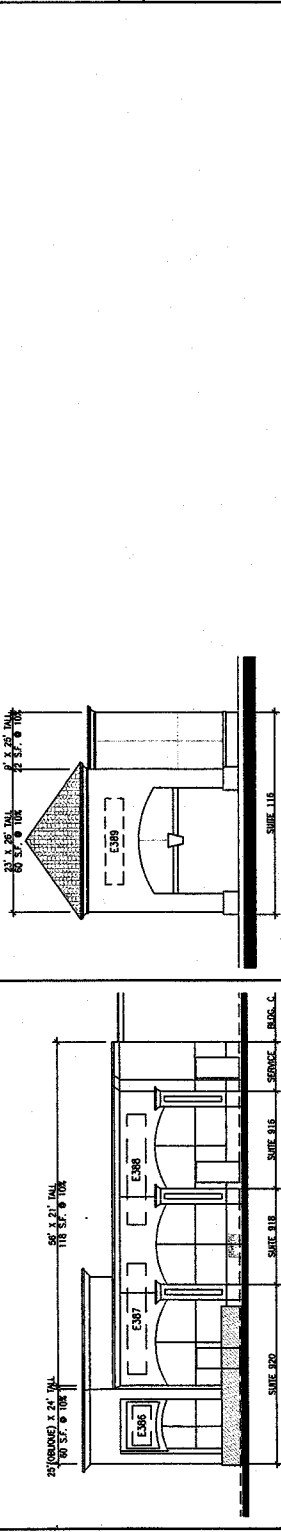
BUILDING 9<sup>S</sup> - SOUTH-WEST ELEVATION 1/8"=1'-0"

BLDG. 1<sup>N</sup> - NORTH-WEST ELEV. 1/8"=1'-0"



BUILDING 1<sup>S</sup> - SOUTH-WEST ELEVATION 1/8"=1'-0"

BUILDING 9<sup>W</sup> - WEST ELEVATION 1/8"=1'-0"



BUILDING 1<sup>N</sup> - NORTH-WEST ELEVATION 1/8"=1'-0"

BUILDING 9<sup>S</sup> - SOUTH-WEST ELEVATION 1/8"=1'-0"

NOTES

ENLARGED KEY PLAN SCALE: 1"=100'

KEY PLAN





DESERT HILLS PREMIUM  
OUTLETS  
CENTRAL CENTER

EAST  
MASTER  
SIGN  
PROGRAM

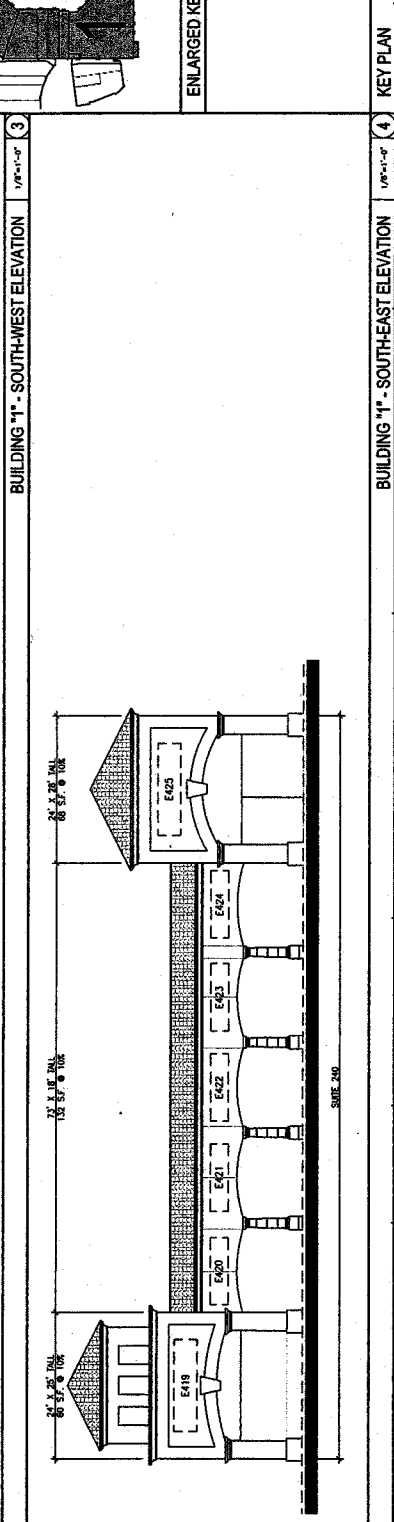
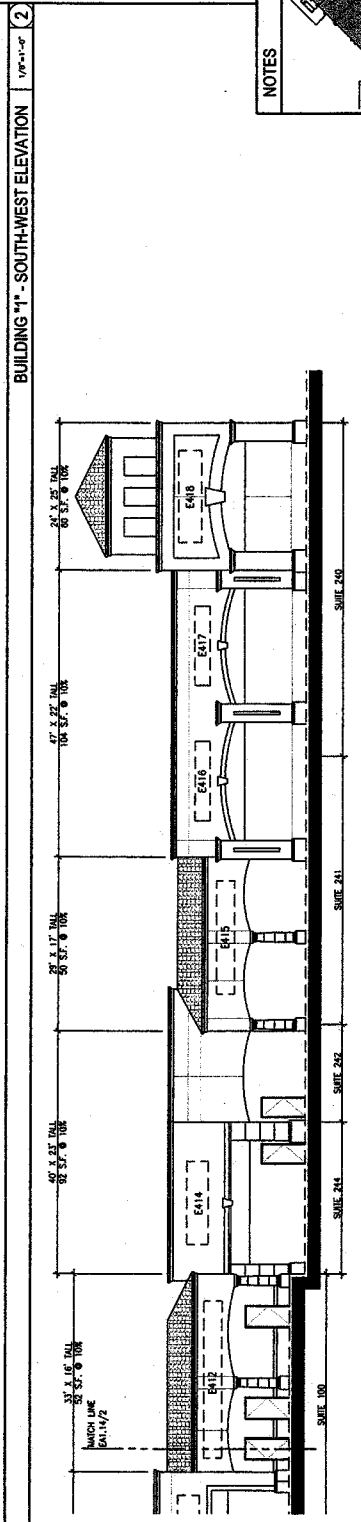
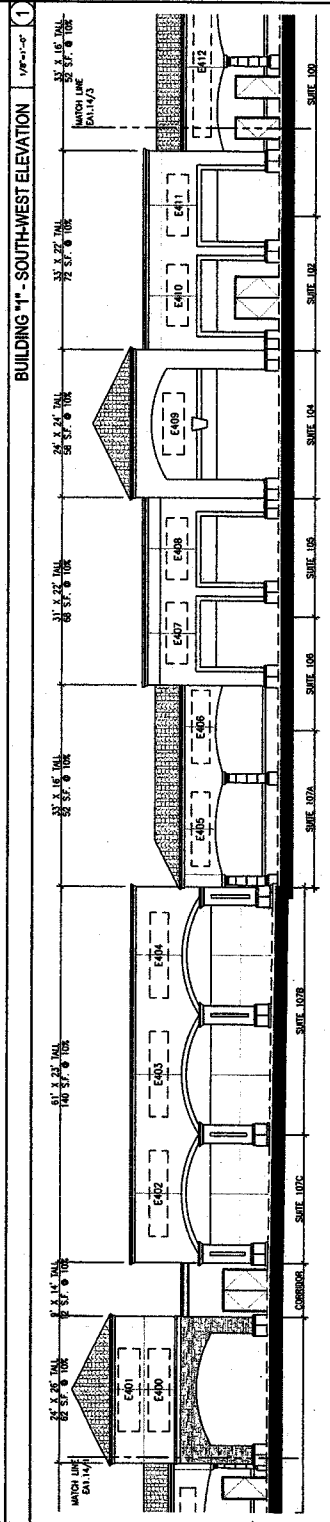
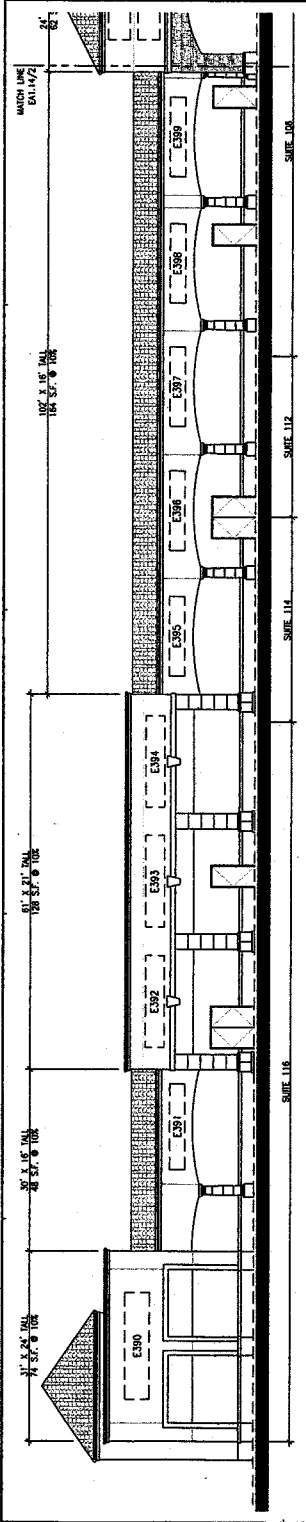
PREMIUM  
OUTLETS  
SIMON

SIGNAGE  
ELEVATIONS  
BUILDING  
1

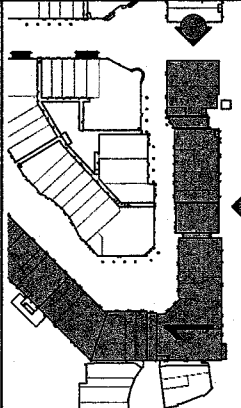
PLAN CHECK & APPROVAL  
© 2011 Jackson Group  
Project: Desert Hills Premium Outlets  
Drawing No: 2011-0000-030  
Date: 02-26-2013

DATE	Per Day
	Per Hour
	Per Minute
	Per Second
	Per Foot
	Per Inch
	Per Cent

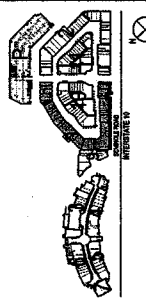
SHEET  
**EA1.14**  
BLDG. 1



NOTES



ENLARGED KEY PLAN SCALE: 1"=100'



KEY PLAN



DESERT HILLS PREMIUM  
OUTLETS  
AND SHOPPING  
CENTER CENTER

EAST  
MASTER  
SIGN  
PROGRAM

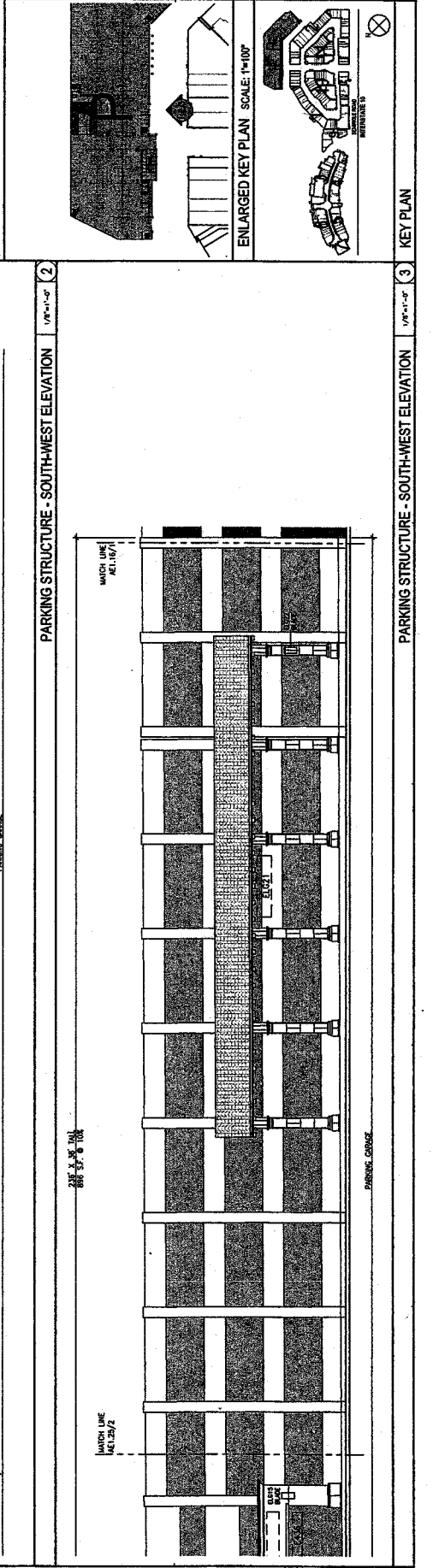
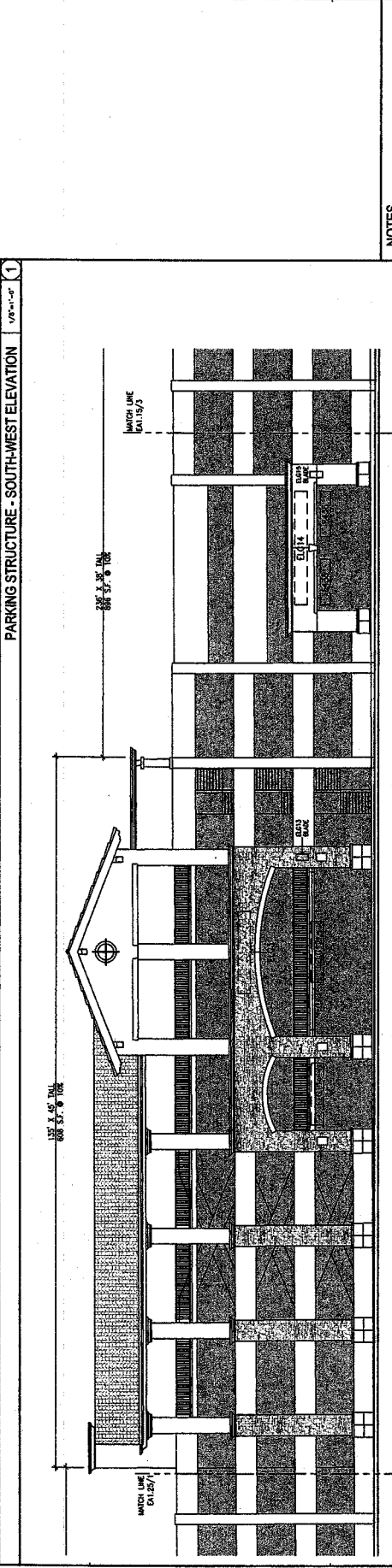
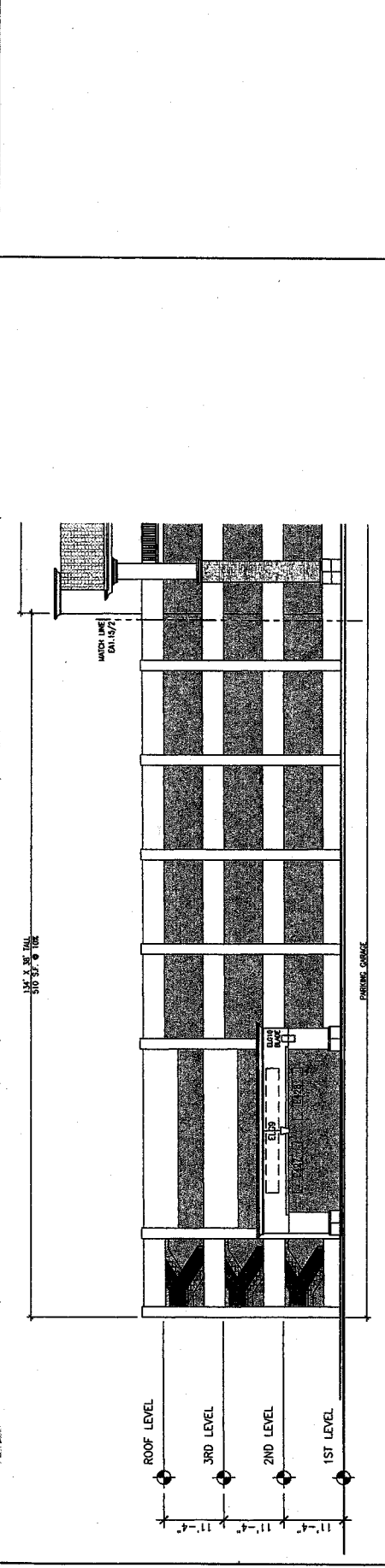
PREMIUM  
OUTLETS  
SIMON

SIGNAGE  
ELEVATIONS  
PARKING  
STRUCTURE

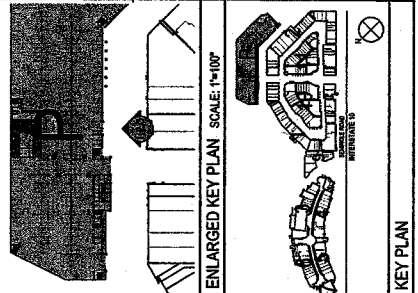
PLANNING & ARCHITECTURE  
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Beverly Hills, CA 90210  
Tel: 310.277.1111  
Fax: 310.277.1112  
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DATE: \_\_\_\_\_  
BY: \_\_\_\_\_  
CHECKED BY: \_\_\_\_\_  
DATE: \_\_\_\_\_

SHEET  
**E1.15**  
PS



NOTES





DESERT HILLS PREMIUM  
OUTLETS  
COMMERCIAL CENTER  
CANTON, UT 84015

**EAST  
WATER  
METER  
SEAL  
PROGRAM**

**PREMIUM  
OUTLETS**  
SIMON

**SIGNAGE  
ELEVATIONS  
PARKING  
STRUCTURE**

PLAN CHECK & REVISIONS

NO.	DATE	BY	REVISION

DATE: \_\_\_\_\_

SCALE: 1/8"=1'-0"

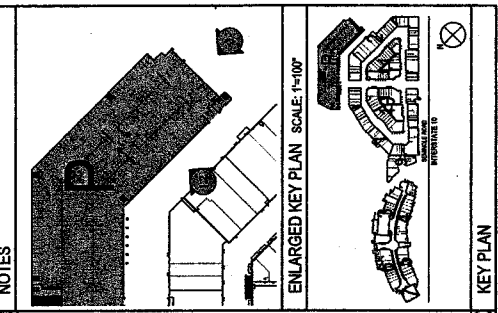
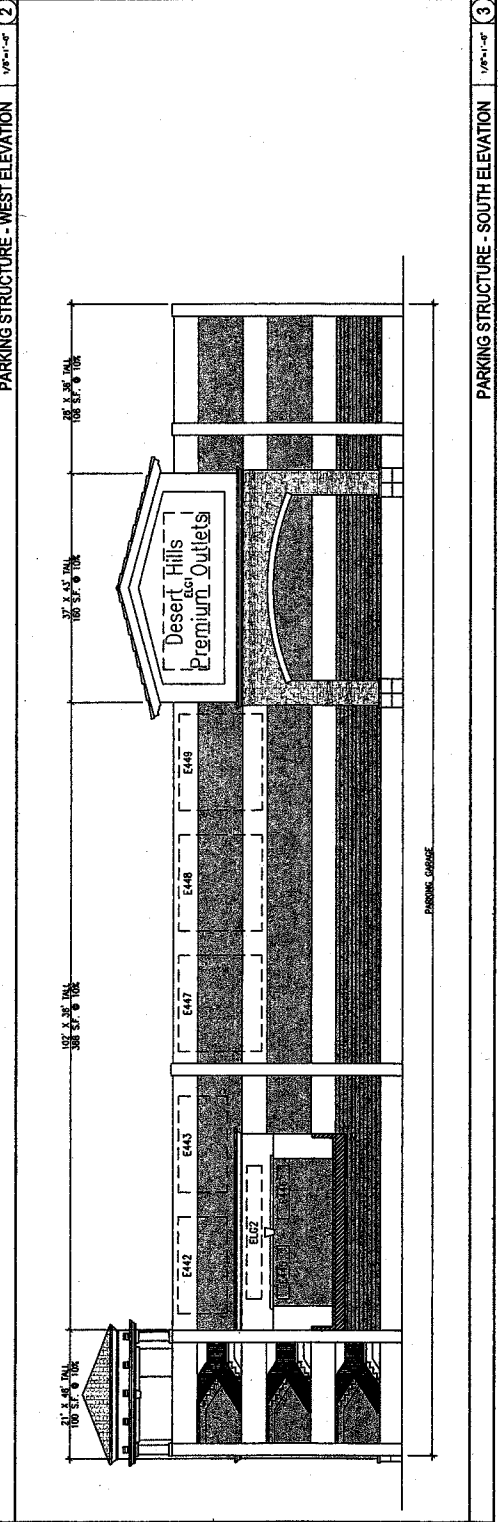
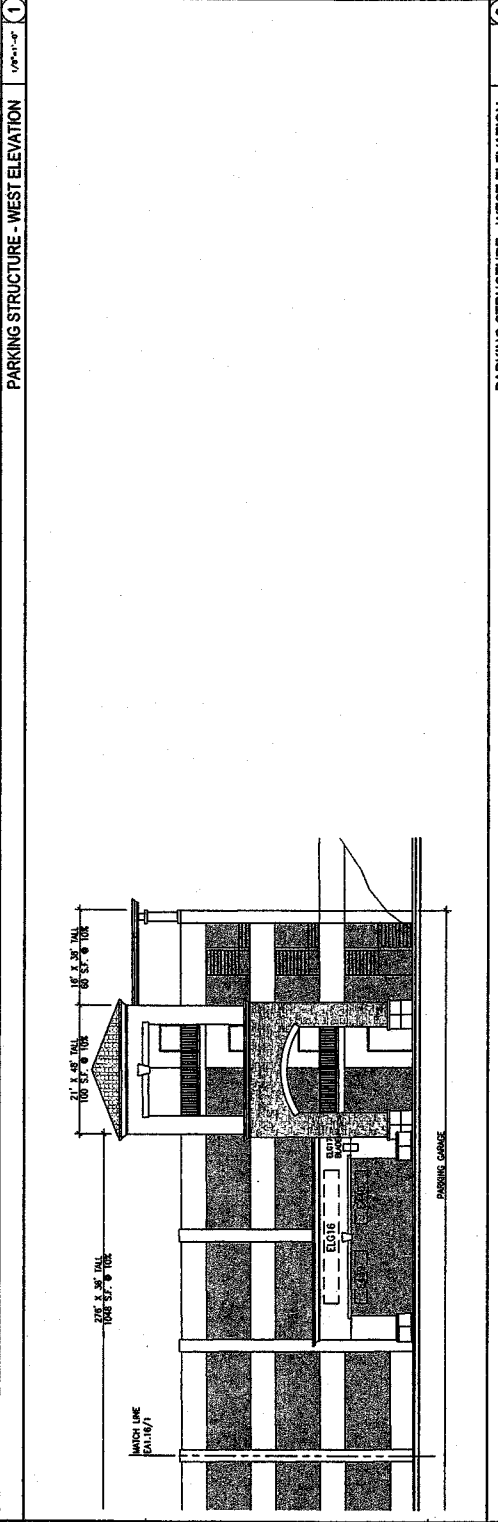
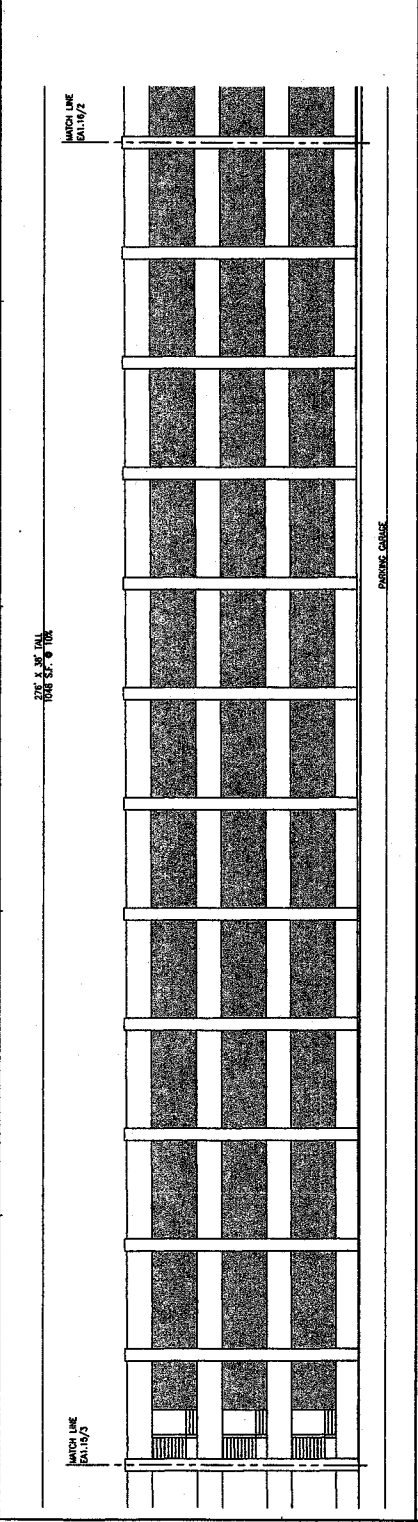
PROJECT: \_\_\_\_\_

DATE: \_\_\_\_\_

SCALE: 1/8"=1'-0"

**EA1.16**

PS







DESERT HILLS PREMIUM  
SIGN PROGRAM

EAST  
MASTER  
SIGN  
PROGRAM

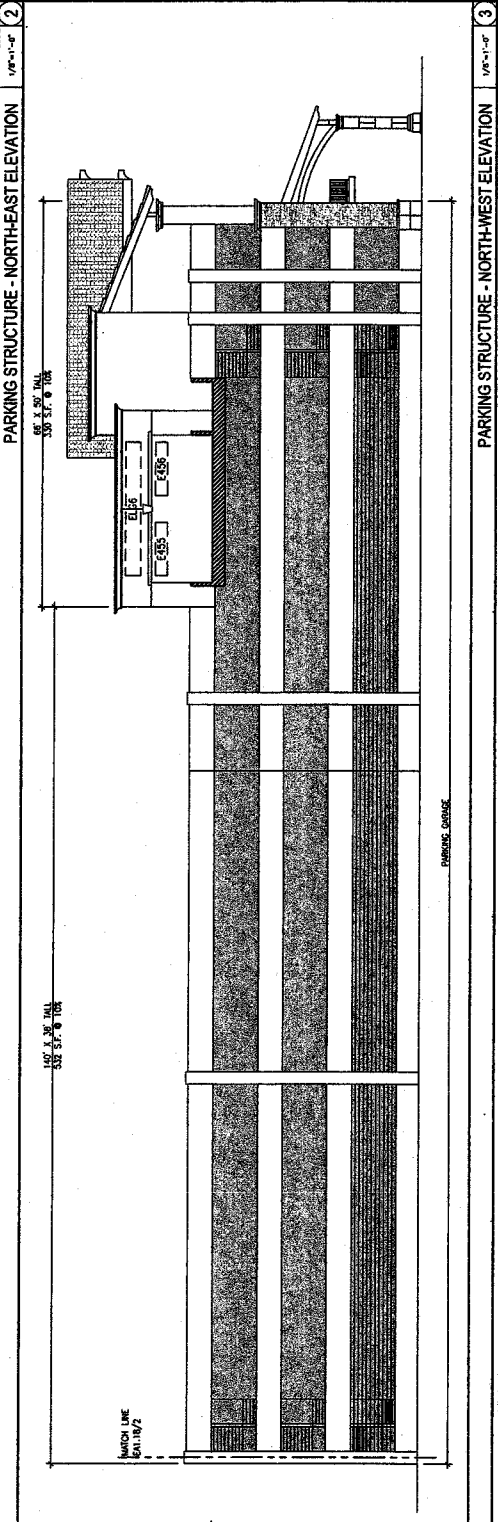
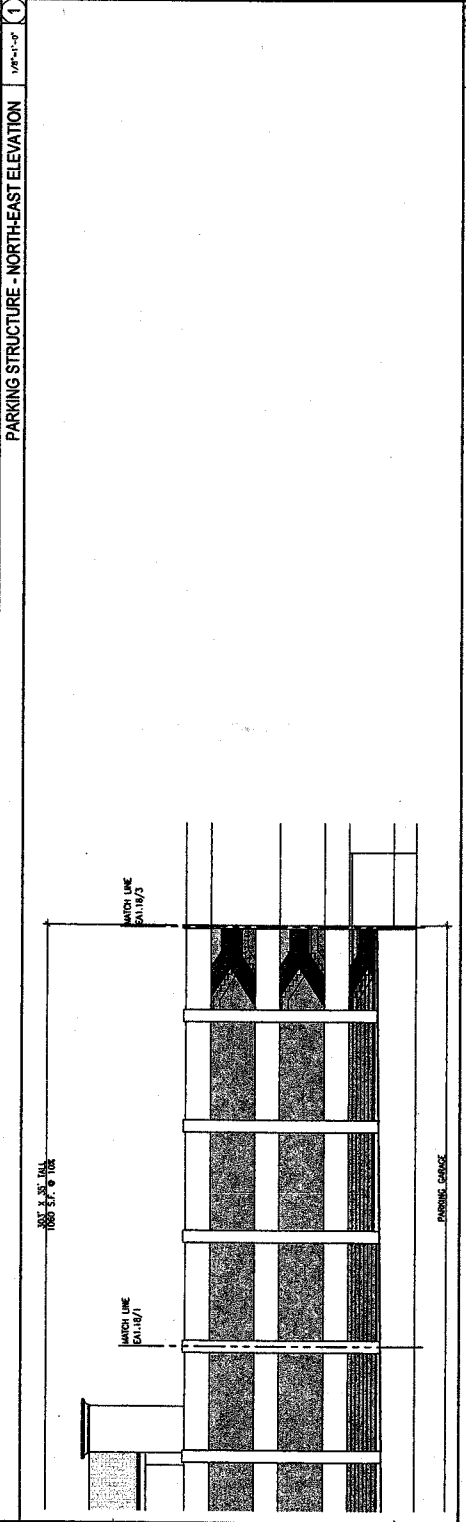
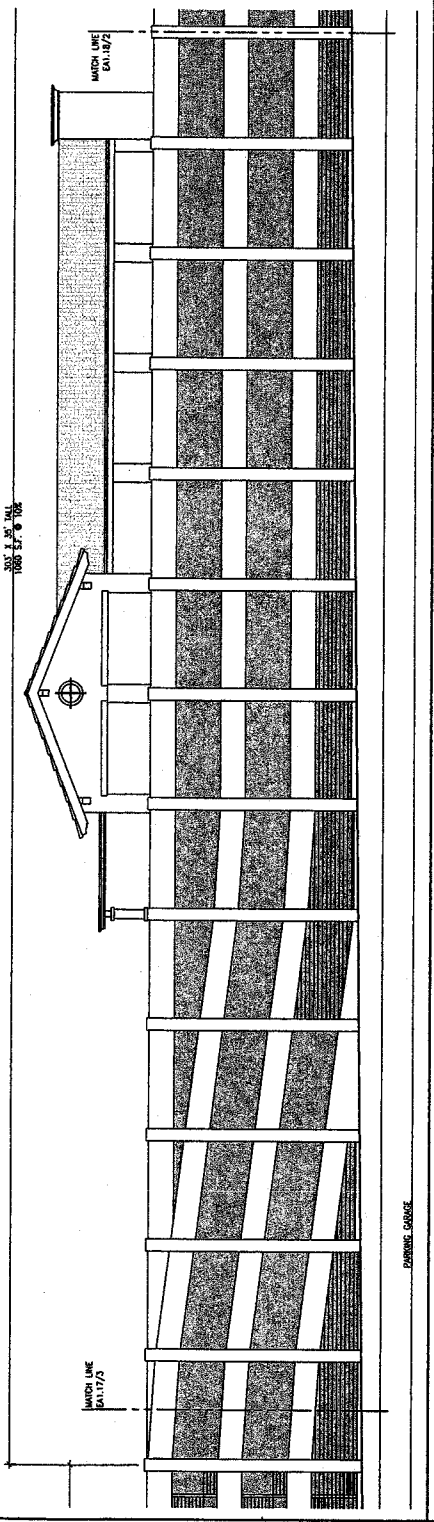
PREMIUM  
OUTLETS  
SIMON

SIGNAGE  
ELEVATIONS  
PARKING  
STRUCTURE

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DATE  
PROJECT NO.  
SHEET NO.

SHEET  
EA1.18  
PS



NOTES



KEY PLAN

PARKING STRUCTURE - NORTH-EAST ELEVATION 1/8\"/>

PARKING STRUCTURE - NORTH-EAST ELEVATION 1/8\"/>

PARKING STRUCTURE - NORTH-EAST ELEVATION 1/8\"/>



DESERT HILLS PREMIUM  
OUTLETS  
EAST  
MASTER  
SIGN  
PROGRAM  
PREMIUM  
OUTLETS  
SIMON

TENANT  
WALL SIGN  
EXAMPLES  
TYPE 'A'

DATE \_\_\_\_\_

REV. DATE \_\_\_\_\_

REV. NO. \_\_\_\_\_

REV. BY \_\_\_\_\_

REV. DATE \_\_\_\_\_

REV. NO. \_\_\_\_\_

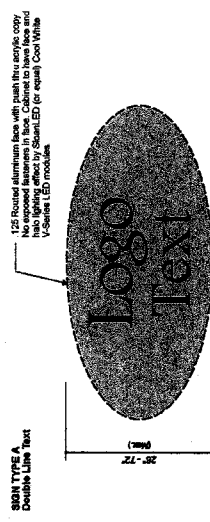
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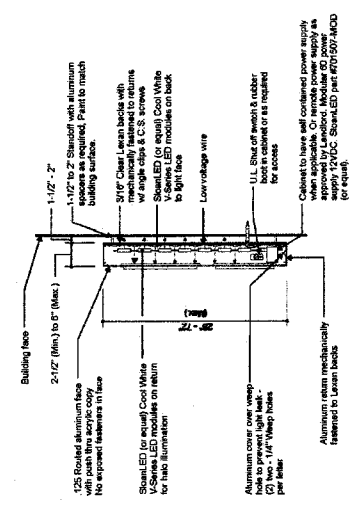
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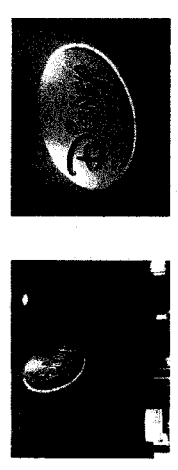
SHEET  
ES2.01



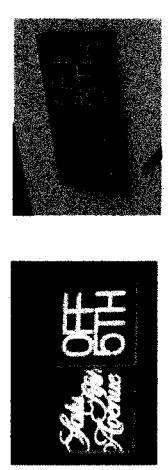
Logo with Face / Halo Illumination  
(Group View)



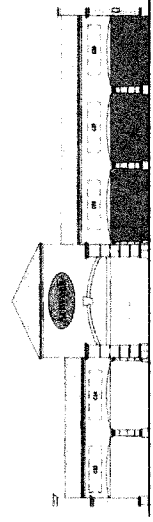
Note: All bolts, Conduits, Straps, Electrical Conduits, etc. to be Non-Ferrous. All penetrations that require gaskets will need to be  
weatherlight. LEDs are not to be visible on sign. All illumination to be even lighting without any "hot spots" on surfaces.



Sign Type A



Sign Type A



Signage Type A - Examples  
Signage mounting height will be determined at the time of installation by Landlord.



DESERT HILLS DESIGN  
OUTLETS  
4401-4500 E. MAIN ST.  
DANA POINT, CA 92629

EAST  
ASTER  
SIGN  
PROGRAM

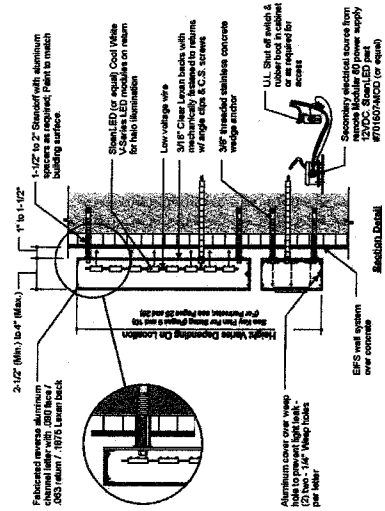
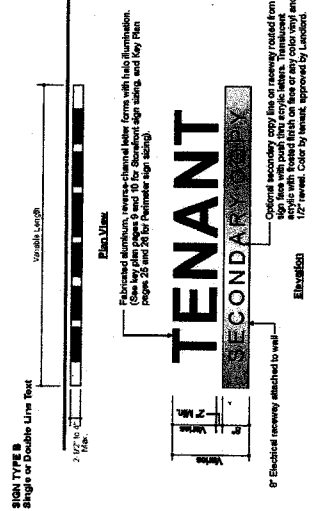
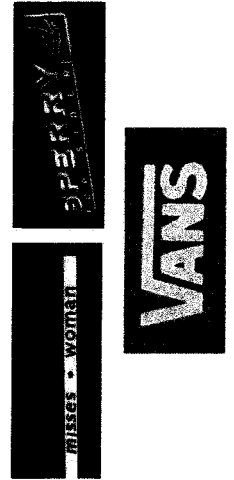
PREMIUM  
OUTLETS  
SIGN

TENANT  
WALL SIGN  
EXAMPLES  
TYPE "B"

PLAN CHECK # 2317  
 DATE  
 PER DATE  
 APPROVAL  
 SIGNATURE  
 PROJECT NO.  
 SHEET NO.  
 TOTAL SHEETS

SHEET  
ES2.02

- Sign Type B: Individual Reverse Channel Halo Lit Letters with LED Illumination.**
- a. Individual letters shall be U.L. Rated, have a minimum depth of 2-1/2" (4" max.) and shall be painted off wall 1-1/2" with blind anchor attachments. Letters shall be fabricated from 1000 lb/inch aluminum. All seams shall have continuous welds and be filed.
  - b. Letters & Logos shall be clear coated natural metal (ec. Bronze, Brushed Alum. Etc) or Tenant's corporate color with Landlord approval.
  - c. Tenant signs to be centered architecturally on facade especially between prominent architectural elements such as columns, in front of Tenant's sign. Exact location to be determined by Landlord at time of install.
  - d. Lighting: Individual pin-point reverse channel letters shall be back lit with SuperLED (or equal) cool white V-Series LED modules for halo lighting with 2-1/2" with 2-4" max. returns. The sign's interior side of the wall.
  - e. Length & Height: The length and height of individual tenant signs on internal storefronts shall not exceed what is dictated in other sections of the Ordinance.
  - f. Area: notwithstanding the above criteria, no sign shall exceed County of Riverside criteria.
  - g. Bulk, connections, sleeves, etc. shall be non-ferrous materials.
  - h. All penetrations thru walls to be weathertight.
  - i. Power to tenant sign circuits is 120 volt at existing center locations / 277 volt at expansion locations.

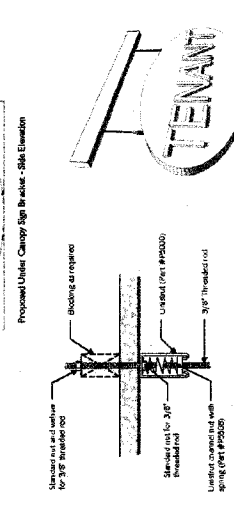
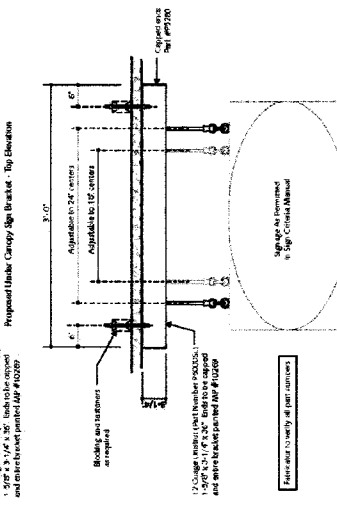
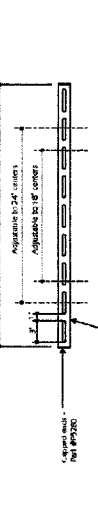
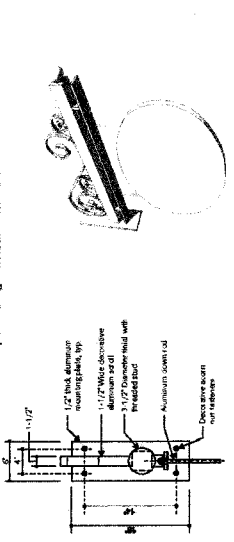
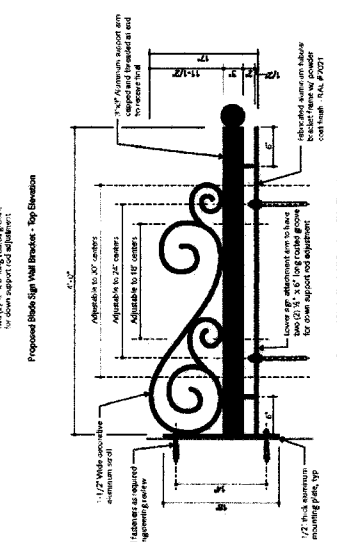
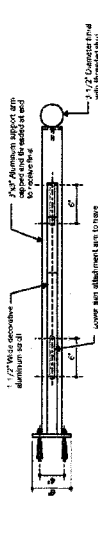


Note: All EAs, Connection, Sleeves, Electrical Conduits, Etc. to be Non-Ferrous. All penetrations thru Masonry shall be sealed to be weathertight. LEDs are info to be visible on sign. All illumination to be even lighting without any "hotspots" or shadows.

**SECONDARY STOREFRONT SIGNAGE - BLADE SIGN MOUNTED ABOVE STOREFRONT ENTRY DOORS**

This Tenant is required to submit clear dimensions detailing materials, dimensions, styles, spacing sections, letter height, width, and depth, CMX colors and typographic for a double-faced Blade Sign.

- (1) The purpose of the blade signs is to identify the store entrance to shoppers along pedestrian paths.
- (2) The size of the sign shall be limited to 6 square feet per sign face. Maximum height of the sign panel is 2'-0". Maximum width is 2'-0". The thickness of the sign background must be at least 1". All letters on blade sign to be dimensional (minimum 1/2"). Aluminum and plastic surfaces to be primed and shall be primed with two coats of primer. No vinyl letters permitted.
- (3) The shape of the blade signs will differ from Tenant to Tenant but the support bracket (staff) will be uniform in method of construction. Each Tenant's sign should be specifically designed to fit the blade sign. The sign should be designed to be easily removed from the blade sign. If Tenant has a store in another Premium Outlet center, Tenant is encouraged to utilize same blade sign design.
- (4) Pranted dimensional letters, mounted to blade panel are required, to give interest and variety.



View When Tenant Bracket To Match Building





DESERT HILLS PREMIUM  
OUTLETS  
MAGAZINE CENTER  
CHANDLER, AZ 85226

EAST  
MASTER  
SIGN  
PROGRAM

PREMIUM  
OUTLETS  
SIMON

TENANT  
DOOR /  
STOREFRONT  
SIGNAGE

PLANNING / APPROVAL  
DESIGN / CONSTRUCTION  
PERMITS / INSPECTIONS  
DATE

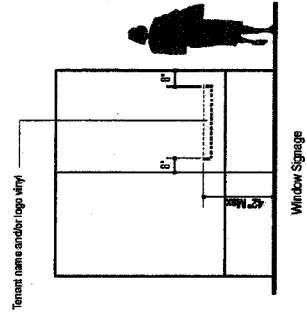
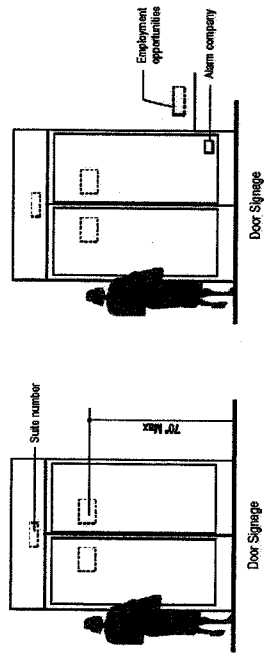
Project Name	2023-10-20/2023-10-20
Project Number	2023-10-20/2023-10-20
Project Date	10-20-2023
Project Status	APPROVED
Project Type	APPROVED
Project Area	APPROVED
Project Code	APPROVED
Project ID	APPROVED

SHEET  
ES2.04

Tenant Name and/or Logo Vinyl

ENTRY DOOR/STOREFRONT WINDOW SIGNAGE

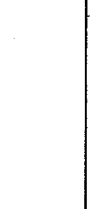
- For the purpose of store identification, the Tenant may propose to the Landlord a design layout of tenant name and/or logo in white or black Vinyl Die-Cut Graphics or another color as per Landlord's approval for placement on the inside of entry doors. Each door is permitted one (1) square foot of Vinyl Die-Cut Sign area. The area must be centered 70" from grade or as otherwise directed due to door configurations.
- For the purpose of additional store identification, the Tenant may also propose to the Landlord a design layout of store name in black or white Vinyl Die-Cut Graphics or another color, as per Landlord's approval, for placement on the inside of every other (alternating) display window. The maximum permitted area on each window may not exceed one (1) square foot and placement must occur in the centered area measured a minimum of 8" inward toward the window's center from the vertical edges of the window and may not exceed 42" above grade.
- Permanent store signage as part of window background display is limited to one (1) square foot of sign area per one (1) lineal foot of store frontage.
- Tenant supplied "Help Wanted" signs are prohibited.
- "Help Wanted" and other standard information signs as deemed necessary by Landlord, are provided by Landlord and shall be affixed to the inside left edge of the window immediately adjacent to the right of entry doors and no higher than 48" above grade. Such signage shall only be permitted to be affixed with clear suction cups.
- Standard information signage icons such as no food, drink, smoking, store hours, etc. shall be provided by Landlord only. Facebook, Twitter, Foursquare shall be provided by Landlord at tenant request and tenant expense.
- Credit Card or check acceptance signs or logos placed on storefront display windows or doors are strictly prohibited.
- Alarm company stickers shall be limited to one per entry door and be located only at the extreme lower right corner of the glass area on the door.
- Handicap access is permitted and shall be placed according to ADA or local jurisdiction under the supervision and approval of the Landlord.
- The Landlord reserves the right to require a Tenant, at its expense, to remove any storefront signage it considers to be non-complying or unprofessional.



TENANT ENTRY DOOR / STOREFRONT WINDOW SIGNAGE



ASPECT  
CONSULTANTS, INC.  
2200 EAST RIVER AVENUE, SUITE 200  
DENVER, COLORADO 80202  
TEL: 303.756.7000  
WWW.ASPECTCONSULTANTS.COM



DESERT HILLS PREMIUM  
OUTLETS  
DESERTS HILLS PREMIUM  
OUTLET CENTER  
1867008-539

EAST  
MASTER  
SIGN  
PROGRAM

PREMIUM  
OUTLETS  
SIMON

TEMPORARY  
PROMENADE  
SIGNS /  
BANNERS

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DATE	REV.	DESCRIPTION

**TEMPORARY PROMENADE SIGNS**

NOTE:  
ALL TEMPORARY PROMENADE SIGNS ARE PROVIDED AND INSTALLED BY THE  
DESERTS HILLS P.O. ADMINISTRATION TEAM. SIGNS MAY CONTAIN SEASONAL  
OR SPECIAL EVENT INFORMATION.



1" ALUMINUM TUBE FRAME

**TEMPORARY PROMENADE BANNERS**

NOTE:  
ALL TEMPORARY PROMENADE BANNERS ARE PROVIDED AND INSTALLED BY  
THE DESERTS HILLS P.O. ADMINISTRATION TEAM. BANNERS MAY CONTAIN  
SEASONAL OR SPECIAL EVENT INFORMATION.



PARKING DECK IDENTITY & FUNCTIONAL GRAPHICS PROGRAM

# DESERT HILLS

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# PREMIUM OUTLETS®

PREMIUM  
OUTLETS | SIMON®

3D



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- Sign Type: P1a
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# General Notes: Graphic Fabrication Notes & Specifications

## General fabrication Notes & Specifications

- GN.01 General Fabrication Notes & Specifications
- GN.02 General Fabrication Notes & Specifications
- GN.03 General Fabrication Notes & Specifications

#### ALUMINUM:

1. All aluminum shall conform to aluminum association specifications of hardness and dimensional tolerances.
2. Aluminum sheet and plate shall conform to ASTM B 209 Alloy 5000 series for anodized finish, Alloy 5000 series for painted finish. Provide with mill finish for work which will receive a painted finish.
3. Extruded aluminum shall be Alloy 6063-T5. Provide with mill finish for work which will receive a painted finish.
4. Unless otherwise specifically approved in writing by the client representative, furnish exact sections, weights and kinds of material specified, using details and dimensions shown. Not all connections are detailed; similar details apply to similar conditions, unless otherwise indicated. Contact the PO/S members or connections in any situation where design requirements are unclear.
5. Establish that joint welding procedures are pre-qualified or tested in accordance with American Welding Society (AWS) qualification procedures.
6. Welders must be currently certified under American Welding Society (AWS) qualification procedures.
7. Materials provided shall be free of surface blemishes such as pitting, roller marks, rolled trade names and surface roughness.

#### GRAPHICS:

1. Contractor shall be responsible for coordination of the graphics and signage with the General Contractor, Premium Outlets / Simon and other subcontractors and trades people relative to this work. These coordination efforts will include, but not be limited to, deliveries, work schedules and installation. Storage space at the jobsite is limited and will also require coordination and/or approval material or finished work stored at the jobsite without prior permission may be relocated at contractor's expense.

#### PAINT & FINISHES:

1. All metal surfaces to be painted with acrylic linear polyurethane enamel as manufactured by Matthews Paint Company or equal, to match colors as specified. Two components, acrylic aliphatic isocyanate/acrylic polyurethane are formulated with ultraviolet (UV) inhibitors and are engineered for exterior graphics and signage components.
2. All steel and aluminum surfaces shall be properly treated and primed as required, using Matthews or equal pretreatment, primer and finish paint system must be approved by the PO/S Representative prior to application. All paint finishes shall be guaranteed free from chalking, cracking, discoloration, fading or any other defect for a period of five (5) years. Contractor shall be responsible for protecting the finish during and after installation, prior to opening of project.

#### INSPECTIONS:

1. Special inspections shall be performed in accordance with the applicable local building codes by a registered building inspector approved by the PO/S Representative and the Building Department. Inspection or per "permit" requirements shall be required for the following types of work:
  - A. Placement of compact fill.
  - B. Foundation work.
  - C. Rebar placement and all concrete construction and full penetration welds.
  - D. Structural steel field welding including partial and full penetration welds.
  - E. High strength bolting.
  - F. Steel deck welding.
  - G. Installation of expansion type bolts.
  - H. Metal stud wall construction.
  - I. Reinforced masonry construction.
  - J. Replacement of required fireproofing to the structural elements of the building.
  - K. All electrical work.

9. Letterforms, logos, patterns and other graphics shall be cut/applied true to artwork/typeface and have clean edges and corners. Letterforms having rounded positive or negative corners, nicked, cut or ragged edges will not be acceptable. Letterforms shall be aligned to maintain a baseline parallel to the sign format and margins shall be maintained as per the design documents.
10. Internally illuminated signs shall be illuminated using fixtures and lamps as specified in design documents. There shall be no "Hot Spots" or shadows, and light distribution shall be uniform and even. All illuminated signs shall be free of light leaks and all venting shall be light baffled as required. Exterior illumination must be outdoor, weatherproof fixtures, lamps and ballasts/transformers.
11. All illuminated signs shall have access to their interiors for relamping and maintenance. Such service panels shall be concealed, tight fitting, lightproof, waterproof, flush with adjacent surfaces and secured against vandalism.
12. All illuminated signs shall use only UL approved and listed, labeled components and the completed sign must bare the UL label.
13. Provide disconnect switches for all illuminated signs in accord with electrical code requirements. Locate disconnect(s) on or in signs so they are not visible to the public.
14. All union fabricator or other labels on all signs shall be concealed from view, with the exception of U.L. Labels.
15. Installation of the elements shall be the responsibility of the Contractor. Contractor will be responsible for any damage caused to building, site, or adjacent objects or elements during installation. Contractor shall be responsible for cleaning up all work areas upon the completion of their work, on a daily basis.

Project Name:

**DESERT HILLS  
 PREMIUM OUTLETS**

Project Owner:

**PREMIUM  
 OUTLETS  
 SIMON**

Project Architect:



No.	Description	Date
01	PCS Revisions	02/22/13
02	PCS Revisions	04/04/13
03	PCS Revisions	07/18/13

General  
 Fabrication  
 Notes &  
 Specifications

Project:	120601
Date:	02/22/13
Scale:	Noted
Drawn By:	SPH
Checked By:	DWG

GN.02

**INSPECTIONS: (Continued)**

- K. All critical attachment points requiring anchors or fasteners.
- L. Prior to and during the placement of concrete around all anchor bolts.
- M. Placement of all concrete as specified.

**PERMITS & ENGINEERING:**

- 1. The Contractor shall in no way contact any city, county or state official, in regards to the project, until notified, in writing, to do so by the PO/S Representative. Upon notification by the PO/S Representative to proceed with the permitting process, the Contractor shall then proceed to obtain all required permits pertaining to the contract.
- 2. Engineering for all the elements shall be submitted to the 3d Studio by the Contractor at the time of the shop drawing submittal. All engineering submittals must be sealed and stamped by a licensed engineer in the state of which the project is located.
- 3. Contractor is responsible for all applicable fees associated with permitting.

**WORKING HOURS:**

- 1. When the project is a renovation the working hours for the installation portion of the project will be limited to the hours the mall is closed to the public or as otherwise outlined by the PO/S Representative.
- 2. When the project is new construction the working hours for the installation portion of the work will be 8AM. to 8PM. or as otherwise outlined by the PO/S Representative.
- 3. All on site working schedules must be submitted to the PO/S Representative in writing for approval prior to beginning the installation work. Failure to do so may result in denied access.

**GENERAL NOTES:**

All materials and workmanship shall conform to the most recent edition of the building code in the city and state where the work is to be constructed and/or installed. All work shall be performed to the highest professional standards and shall be free of imperfections in material and workmanship and be suitable for its intended use and location. The contractor shall have in-house, broad knowledge, diverse shop and field experience, flexibility, coordination ability, skilled craftsmen and physical plant necessary to produce quality products equivalent to or superior to similar type products produced by other contractors in the same area of expertise. It is intended that all finished work be of the highest quality to pass eye-level examination and scrutiny by the PO/S Representative. Contractor shall be responsible for all foundations, structural and electrical engineering, compliance with all applicable local, state and national codes and inspections.

- 1. Contractor shall provide five (5) sets of shop drawings to the 3d Studio for approval, including required engineering, which shall be sealed by an engineer licensed in the state where the work will be installed. All sign engineering shall be reviewed and approved by the project engineer. Contractor shall incorporate all modifications or corrections to the shop drawings, and resubmit for approval. Once the shop drawings have been approved, Contractor may proceed with required submittals, however work shall not commence until submittals have been approved, and Contractor receives written authorization to proceed from the PO/S Representative.
- 2. The Contractor shall field verify/measure all dimensions and review all site conditions prior to commencing work. Contractor shall review, and coordinate work with, project architectural, structural, location plans and drawings. Contractor shall notify the PO/S Representative in writing of any discrepancies, deviations or inconsistencies in the drawings, specifications, descriptions, locations or conditions. Where no dimension is indicated, do not attempt to scale dimensions. Contact the PO/S Representative in writing for clarification before proceeding with the work.

**FOUNDATIONS:**

- 1. Contractor shall excavate for foundation concrete to neat, clean lines in undisturbed soil. Contractor shall provide forms where required due to unstable soil conditions, and remove any wood, loose soil, rubbish or other foreign matter from excavation and moisten earth and wood forms immediately before placing concrete. Contractor shall be responsible for insuring that foundations do not damage, interfere with or obstruct public utilities, including but not limited to telephone, gas, electrical, sanitary and storm sewer lines.
- 2. Use Portland Cement Type I to conform to ASTM C 150. Water shall be clean and potable. Aggregates shall conform to ASTM C 33. Concrete shall be mixed in proportions to attain 28-day compressive strength of not less than 3000 PSI. Perform chuting to avoid segregation of mix. Concrete shall be placed continuously, immediately after mixing, to prevent formation of cold joints. Compact concrete in place by use of vibrators to consolidate. Moisture cure exposed concrete for not less than seven days, or use a non-staining curing compound in freezing weather. Finish trowel exposed concrete surfaces to smooth, dense surface. Provide positive slope for water runoff to base perimeter. Contractor is responsible for required engineering of foundations.
- 3. Reinforcing steel shall be deformed bars per ASTM A 615, Grade 60. Welded wire shall be per ASTM A 185, cold drawn steel, plain. The wire shall be Black Annealed, 6 1/2 gauge or heavier. Bar supports shall conform to specifications of CSI "Manual of Standard Practice."
- 4. Foundations shall be extended to a minimum of 48" below finished grade to accommodate for frost protection.

- 3. Specific notes and details on drawings shall take precedence over general notes and typical details.
- 4. Design Loads: Live Loads A) Roof, 50 PSF Non-reducible B) Stairways, Corridors, Elevator Lobbies On Floor 100 PSF Non-reducible C) Floor, 150 PSF Non-reducible except for columns.
- 5. All elements shall be engineered to withstand wind and snow load requirements as specified by local, Federal and/or state building codes.
- 6. The contract structural drawings and specifications represent the finished structure, unless otherwise shown. They do not indicate the method of construction, nor all details of fabrication required for the complete structural integrity of the elements, including consideration for static, dynamic and erection loads during handling, erecting and service at the installed locations, nor do they take into consideration the preferred shop practices of the individual contractors, therefore, it shall be the responsibility of the Contractor to perform the complete structural design of the elements and to incorporate all reasonable safety factors necessary to protect the Owner, PO/S Representative, and Contractor against public liability.
- 6. All work must be performed in accordance with all federal, state and local safety laws.

**TIME & SCHEDULE:**

- 1. Contractor shall submit a detailed working schedule. This detailed schedule shall show all time lines indicating the start and completion dates of shop drawing, submittals, permits, fabrication, shipping and installation. Contract time schedule must be submitted with the signed contract documents to the PO/S Representative.

#### STRUCTURAL STEEL:

1. Fabrication and erection of structural steel framing members shall be in accordance with the latest edition of the AISC "Code of Standard Practice for Steel Buildings and Bridges."
2. Unless otherwise specifically approved in writing by PO'S Representative, furnish exact sections, weights and kinds of material specified, using details and dimensions shown. Not all connections are detailed; similar details apply to similar conditions, unless otherwise indicated. Contact PO/S Representative promptly to verify design of members or connections in any situation where design requirements are unclear.
3. Establish that joint welding procedures are pre-qualified or tested in accordance with American Welding Society (AWS) qualification procedures.
4. Welders must be currently certified under American Welding Society (AWS) qualification procedures.
5. Steel shall be delivered in timely fashion, to permit most efficient and economical flow of work. Deliver steel members properly marked for field assembly and erection. Deliver anchor bolts, washers and other anchorage devices to be built into other work in time to avoid delays and permit their proper installation.

6. Protect steel and other materials from damage and corrosion. If temporary storage at project site is required, keep steel members off ground, using platforms or pallets, in location easily accessible for inspection.
7. Materials provided shall be free of surface blemishes such as pitting, roller marks, rolled trade names and surface roughness.
8. Structural steel members shall conform to ASTM A 36.
9. W-Beams and columns shall conform to ASTM A 572.
10. Structural tubing, cold-formed shall conform to ASTM A 500.
11. Steel pipe columns shall conform to ASTM A 53.
12. Galvanized anchor bolts shall conform to ASTM A 307. Carbon steel Grade C. Galvanized steel plate washers and nuts shall conform to ASTM A 36.
13. High-strength structural bolts shall conform to ASTM A 325, with matching ASTM A 563 nuts and ASTM F 436 washers.
14. Carbon steel nuts and bolts shall conform to ASTM A 307. Provide hexagonal bolt heads and nuts at all exposed locations.
15. Welding electrodes and fluxes shall conform to ASTM Standards for the application.

16. Shop fabricate and assemble to maximum degree possible in compliance with requirements of AISC specifications. Cut, fit and assemble units with exposed surfaces smooth, square and free from cutting marks, shear distortion, burrs and nicks. Tolerances shall be as specified in AISC code unless more stringent requirements are indicated on the drawings. Perform thermal cutting by machine, to greatest extent possible. Plain thermally cut edges which are to be welded.

17. Comply with requirements of AWS code for welding procedures and quality of welds, including appearance. For built-up sections, assemble components and weld using procedures which will maintain proper alignment of finished section. Verify that weld sizes, fabrication sequence and equipment to be employed will limit distortions to allowable tolerances. Surface bleed of backside welding on exposed surfaces will not be acceptable. Grind smooth exposed fillet welds 1/2 inch and larger. Grind flush all butt welds. Dress all exposed welds.

18. Accurately mill ends of columns and other members which must transmit loads in bearing. Make all holes in steel members by means of cutting, drilling or punching at right angles to surface of metal. Do not make or enlarge holes by burning. Provide holes in steel members as required to permit connection of work by others.

19. Examine areas and conditions for erection of structural steel and verify that work may properly proceed. Provide temporary support as required including guys, braces, falsework, cribbing or other elements required to secure steel framing against loads equal in intensity to design loads. Remove such temporary support only when permanent connections have been made and steel framing is fully capable of supporting design loads, including any temporary construction loads.

20. Erect structural steel in compliance with AISC code and specifications dealing with architecturally exposed structural steel. Set structural members accurately to locations and elevations indicated, within tolerances established in AISC code, before making final connections. Do not use thermal cutting to correct fabrication errors on any major structural member.

21. Clean bearing and contact surfaces before assembly. Slightly roughen concrete and masonry surfaces to improve bond. Set base and bearing plates accurately, using metal wedges, shims or setting nuts as required. After tightening anchor bolts and ensuring that structure is plumb, Grout solidly between plates and bearing surfaces. Comply with manufacturer's instructions for non-shrink grout.

22. Use high-strength bolts which comply with requirements of AISC "Specification for Structural Joints Using ASTM A 325 or A 490 Bolts."

23. Do not perform welding when ambient temperature is at 0 degrees F or below, or when surfaces are wet, exposed to rain, snow or high wind. Perform field welding in accordance with AWS "Structural Welding-Steel." Tighten and leave in place erection bolts used in field-welded construction. Verify that weld sizes, erection sequence and equipment to be employed will limit distortions to allowable tolerances.

24. Do not pour concrete if temperatures are below 32 deg. Fahrenheit and forecasted to be so for an extended period of time.

No.	Description	Date
01	P/S Review	06/22/13
02	P/S Review	06/24/13
03	P/S Review	07/01/13

General  
Fabrication  
Notes &  
Specifications

Project	12680
Date:	06/22/13
Scale:	Noted
Drawn By:	SPH
Checked By:	DNK



# Section I

## Logo Artwork, Typography, Pictograms & Color Palettes

Section I - Logo Artwork, Typography, Pictograms & Color Palettes

01.01

Project Logo Artwork / Project Color Palettes  
Typography & Pictogram Artwork



Primary Project Color Palette:



Frazees: CL2755D  
"Oiled Cedar"



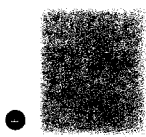
Frazees: CL1496N  
"Marindi"



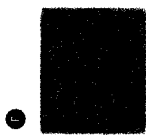
Frazees: CL3227N  
"Panther"



Frazees: 001  
"White"



Frazees: CL2765C  
"Chablis"  
3M 3630-149  
"Light Beige"



Frazees: CL1735A  
"Shine"

Level Identity Color Palette:



Level P1



Level P2



Level P3



Level P4

PMS 347C  
Frazees: 7155D  
"Green Glory"

PMS 1805C  
Frazees: AC11R  
"Arresting Red"

PMS 2925C  
Frazees: 7075D  
"Electron Blue"

PMS 153C  
Frazees: 7316N  
"Iron Orange"

Masonry Veneer  
Dorado Stone  
Fieldstone, Veneto

Project Pictogram Artwork:



Handicap



Escalator



Elevator



Stair Up



Stair Down



Information



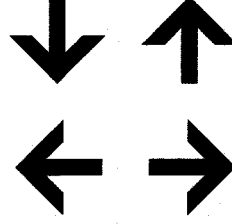
Telephone



No.	Description	Date:
01	POC Review	05/22/13
02	POC Review	06/24/13
03	POC Review	07/09/13

Project:	120601
Date:	05/22/13
Scale:	Noted
Drawn By:	SHH
Checked By:	DHG

Primary Arrow Artwork:



**ABCDEFGHIJKLMNOPQRSTUVWXYZ  
0123456789 abcdefghijklmnopqrstuvwxyz**

Primary Typography I: Baskerville Medium

Secondary Typography I: HelveticaNeue LT 65 Medium

**ABCDEFGHIJKLMNOPQRSTUVWXYZ  
0123456789 abcdefghijklmnopqrstuvwxyz**

# Section II

## Interior & Exterior Signage Placement Plans

### Section II - Exterior & Interior Signage Placement Plans

SP1.00	Parking Entry Portal(s) Site Placement Plans
SP1.01	Parking Garage Placement Plans - Level 1
SP1.02	Parking Garage Placement Plans - Level 2
SP1.03	Parking Garage Placement Plans - Level 3
SP1.04	Parking Garage Placement Plans - Level 4
SP1.05	Stairwell #1 Placement Plans - Level 1 thru Level 4
SP1.06	Elev/Escalator#1 Placement Plans - Level 1 thru Level 4
SP1.07	Stairwell #2 Placement Plans - Level 1 thru Level 4
SP1.08	Stairwell #3 Placement Plans - Level 1 thru Level 4
SP1.09	Elevator #2 Stairwell #4 Placement Plans - Level 1 thru Level 2
SP1.10	Elevator #2 Stairwell #4 Placement Plans - Level 3 thru Level 4
SP1.11	Stairwell #5 Placement Plans - Level 1 thru Level 4

Site Signage Placement Legend:

City: 4 | Parking Entry Portal

**3D STUDIO**  
 graphic design services  
 1111 South Main Street, Suite 101, Tempe, AZ 85281  
 P: 480-948-2222 F: 480-948-2222

Project Name:

**DESERT HILLS  
 PREMIUM OUTLETS**

Project Owner:

**PREMIUM OUTLETS  
 SIMON**

Project Architect:

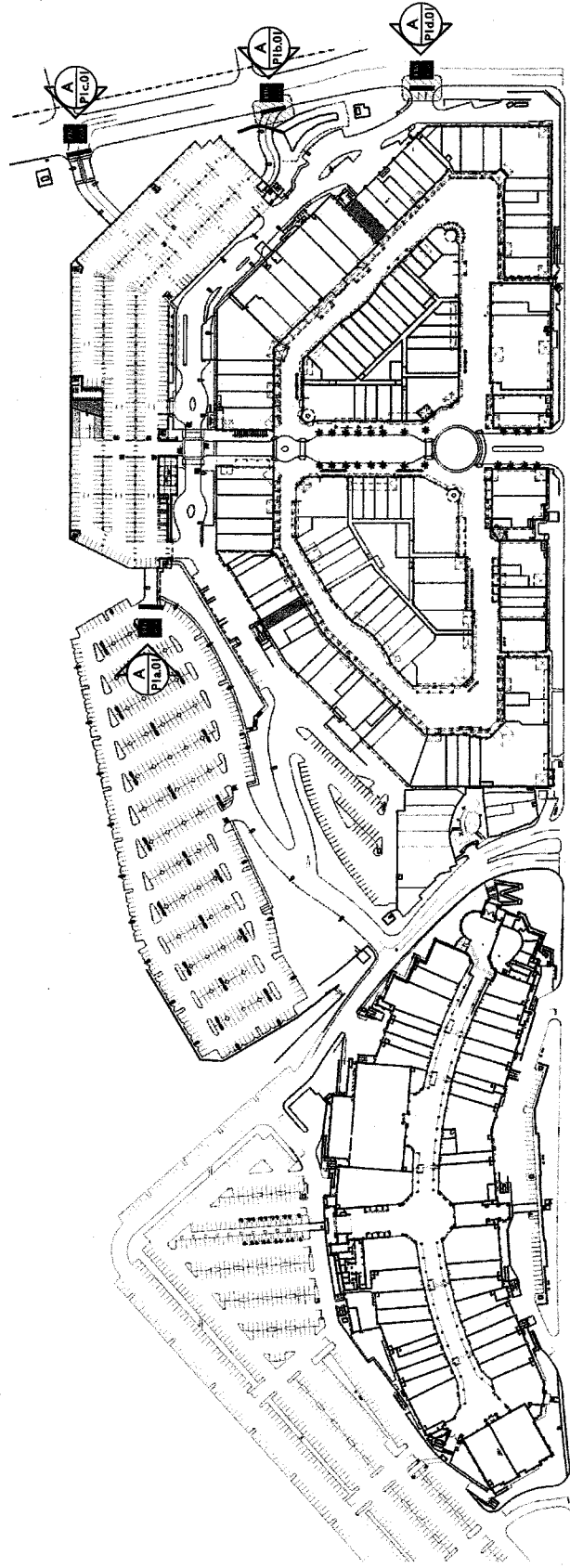


No.	Description	Date
01	PCS Review	05/22/13
02	PCS Review	06/04/13
03	PCS Review	07/09/13
04	PCS Review	07/18/13

Site Placement Plans

Parking Portal

**A** Overall Site Plan  
 Scale: N.T.S.



SEMINOLE ROAD  
 INTERSTATE 10

Project:	120601
Date:	05/22/13
Scale:	Noted
Drawn By:	SPH
Checked By:	DVG

**SPI.00**

Locations noted are for general placement and quantities only. Actual placement to be field verified by Owner and Project Design Team.

**Site Signage Placement Legend:**

- Qty: 03 | Parking Identity Pendant
- Qty: 03 | Parking Entry Identity Signage
- Qty: 05 | Parking Entry Clearance Signage
- Qty: 02 | Parking Entry Clearance Signage
- Qty: 14 | Suspended Vehicular Directional Signage
- Qty: 32 | Column Mounted Level Identity
- Qty: 03 | Pedestrian Stair Access Pendant
- Qty: 01 | Overhead Pedestrian Sign (Elev/Esc)
- Qty: 03 | Electronic Vehicular Counter (By Citrus)
- Qty: 01 | Emergency Phone



**DESERT HILLS  
PREMIUM OUTLETS**

**PREMIUM OUTLETS  
SIMON**

Project Architect:



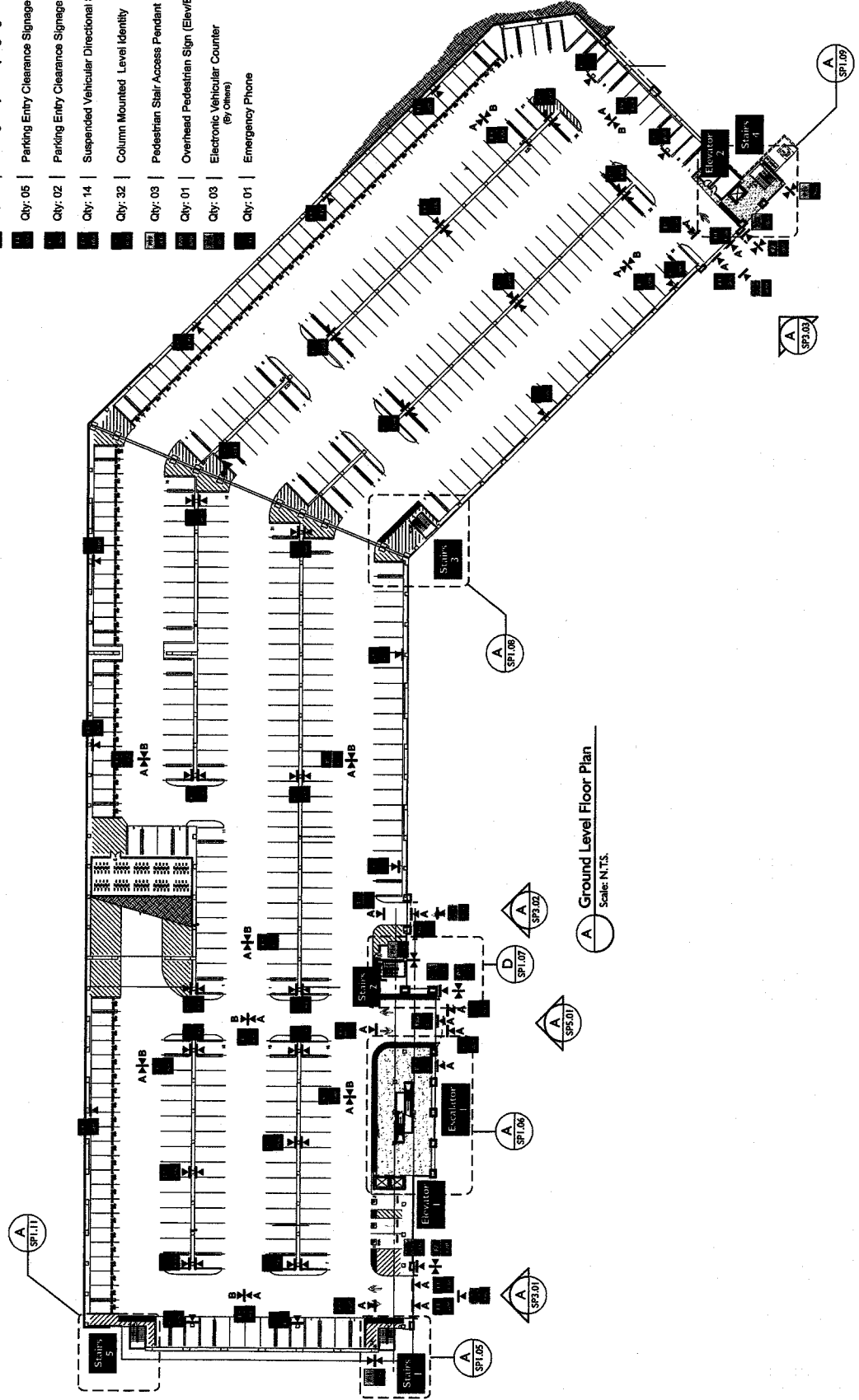
No.	Description	Date
01	PCS Revisor	05/27/13
02	PCS Revisor	06/24/13
03	PCS Revisor	07/09/13
04	PCS Revisor	07/18/13

**Site Signage Placement**

**Ground Level Floor Plan**





Project: 120901  
 Date: 05/27/13  
 Scale: Noted  
 Drawn By: SHH  
 Checked By: DMG

**SPI.01**

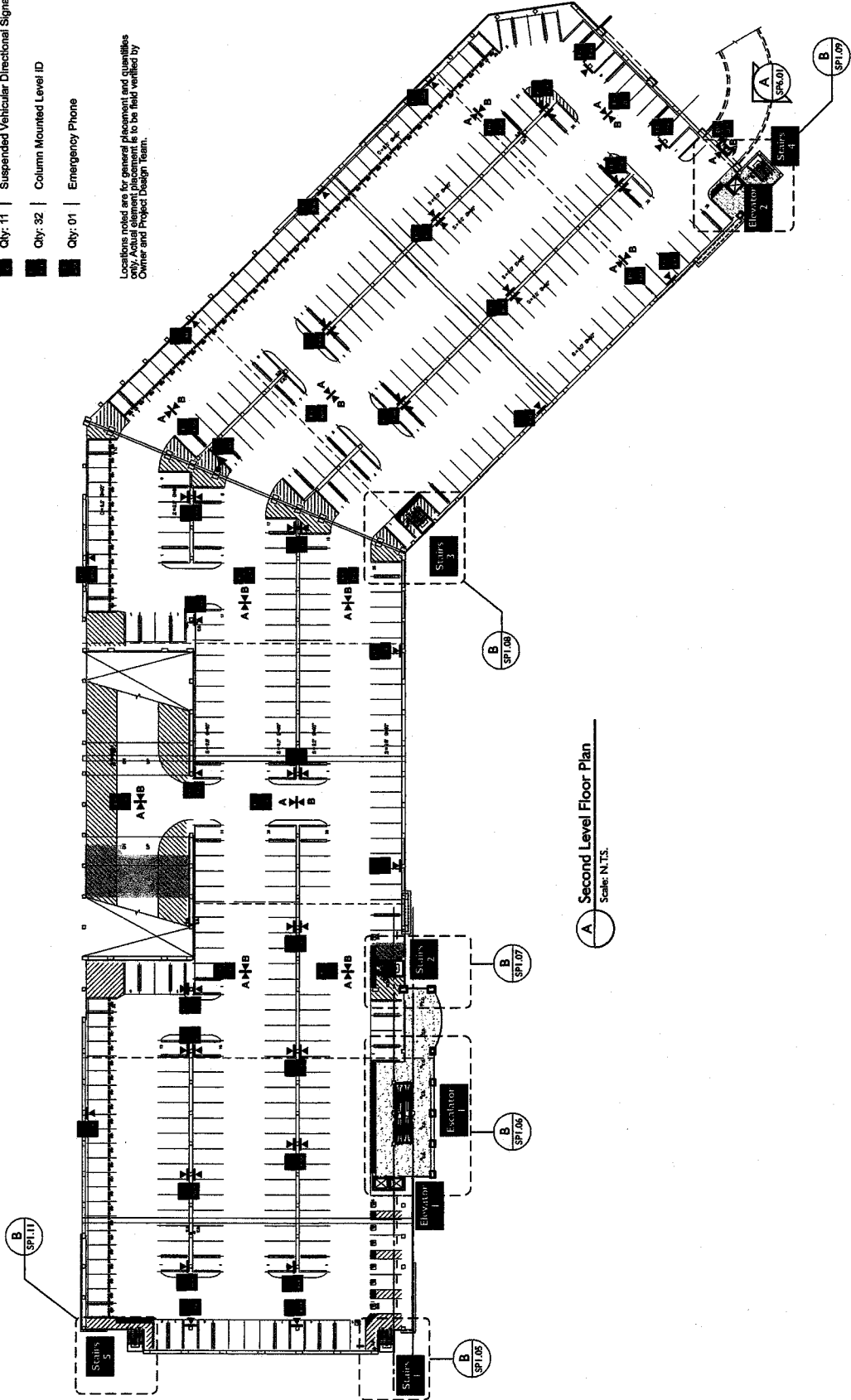


**A Ground Level Floor Plan**  
Scale: N.T.S.

**Site Signage Placement Legend:**

-  Qty: 01 | Suspended Vehicular Directional Signage
-  Qty: 11 | Suspended Vehicular Directional Signage
-  Qty: 32 | Column Mounted Level ID
-  Qty: 01 | Emergency Phone

Locations noted are for general placement and quantities only. Actual element placement is to be field verified by Owner and Project Design Team.



**A Second Level Floor Plan**  
Scale: N.T.S.

**3D STUDIO**  
graphic design services  
190 South Logan - Suite 13, 2011  
P.O. Box 4000 - P.O. Box 4000

Project Name:  
**DESERT HILLS  
PREMIUM OUTLETS**

Project Owner:  
**PREMIUM OUTLETS  
SIMON**

Project Architect:  
**AD  
ARCHITECTS**

No.	Description	Date:
01	PCS Review	05/22/13
02	PCS Review	06/24/13
03	PCS Review	07/09/13
04	PCS Review	07/18/13

Site Signage Placement  
Second Floor Plan

Project:	128901
Date:	05/22/13
Scale:	Noted
Drawn By:	SPI
Checked By:	DWG

Locations noted are for general placement and quantities only. Actual element placement is to be field verified by Owner and Project Design Team.

**Site Signage Placement Legend:**

- Qty: 01 | Parking Entry Identity Signage
- Qty: 02 | Wall Mounted Vehicular Directional Signage
- Qty: 14 | Suspended Vehicular Directional Signage
- Qty: 32 | Column Mounted Level ID
- Qty: 01 | Electronic Vehicular Counter (by Others)
- Qty: 01 | Emergency Phone

**3D STUDIO**  
 graphic design services  
 1815 South Olive Ave., Suite 10, 92111  
 Philadelphia, PA 19104

Project Name:  
**DESERT HILLS PREMIUM OUTLETS**

Project Owner:  
**PREMIUM OUTLETS SIMON**

Project Architect:  

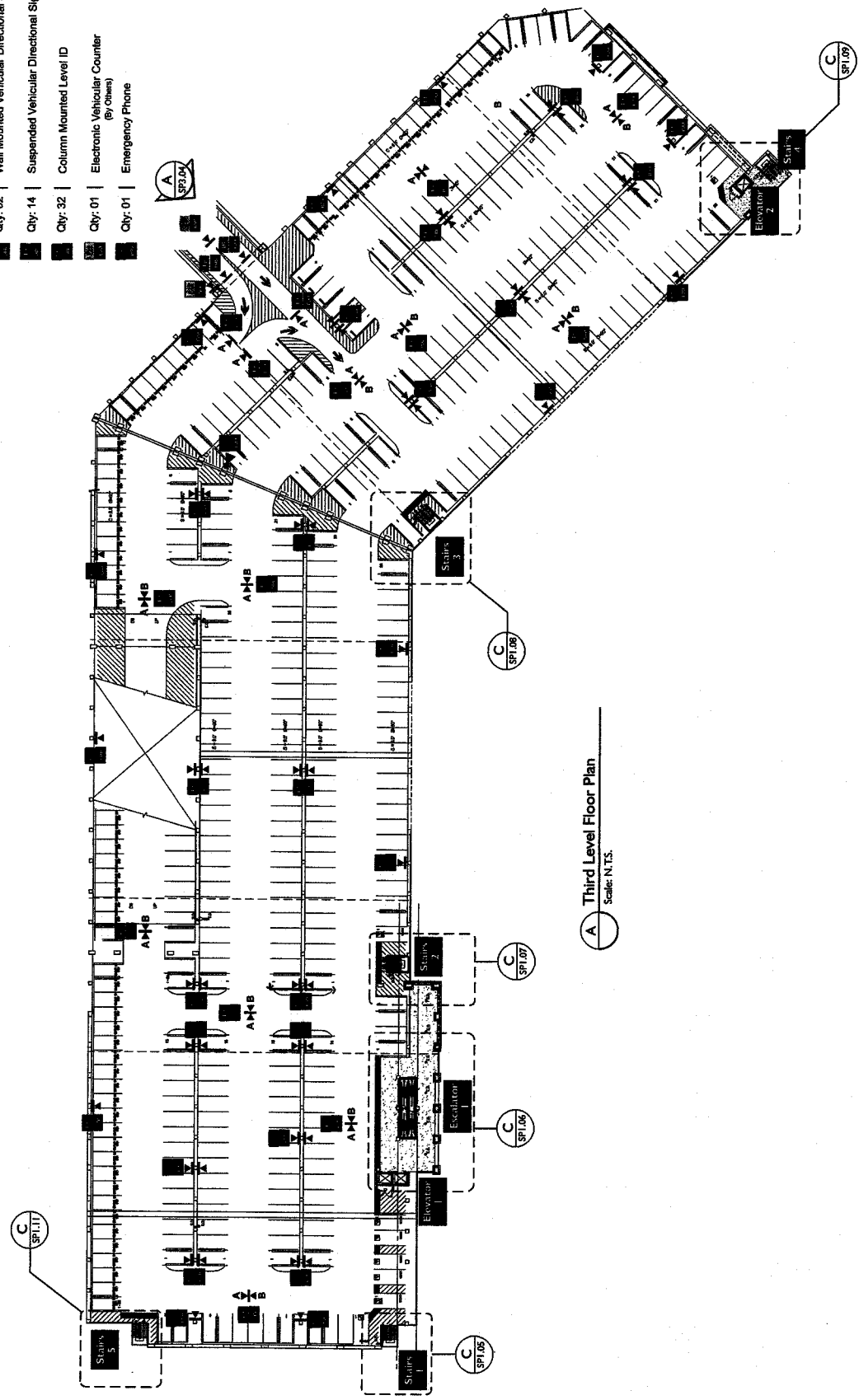

No.	Description	Date
01	PCS Review	10/22/13
02	PCS Review	10/24/13
03	PCS Review	07/29/13
04	PCS Review	07/18/13

**Site Signage Placement**

**Third Level Floor Plan**

Project:	12660
Date:	05/22/13
Scale:	Noted
Drawn By:	SPH
Checked By:	DPK

**SPI.03**



**A** Third Level Floor Plan  
 Scale: N.T.S.

Locations noted are for general placement and quantities only. Actual element placement is to be field verified by Owner and Project Design Team.

**Site Signage Placement Legend:**

- Qty: 01 | Garage Entry Identity Signage
- Qty: 02 | Garage Entry Signage
- Qty: 01 | Project Identity Signage
- Qty: 10 | Pole Mounted Level ID
- Qty: 08 | Pole Mounted Exit Signage
- Qty: 01 | Pedestrian Stair Access Pendant
- Qty: 01 | Electronic Vehicular Counter (By Camera)
- Qty: 01 | Emergency Phone



Project Name:  
**DESERT HILLS  
PREMIUM OUTLETS**

Project Owner:  
**PREMIUM OUTLETS  
SIMON**

Project Architect:  
**AE**

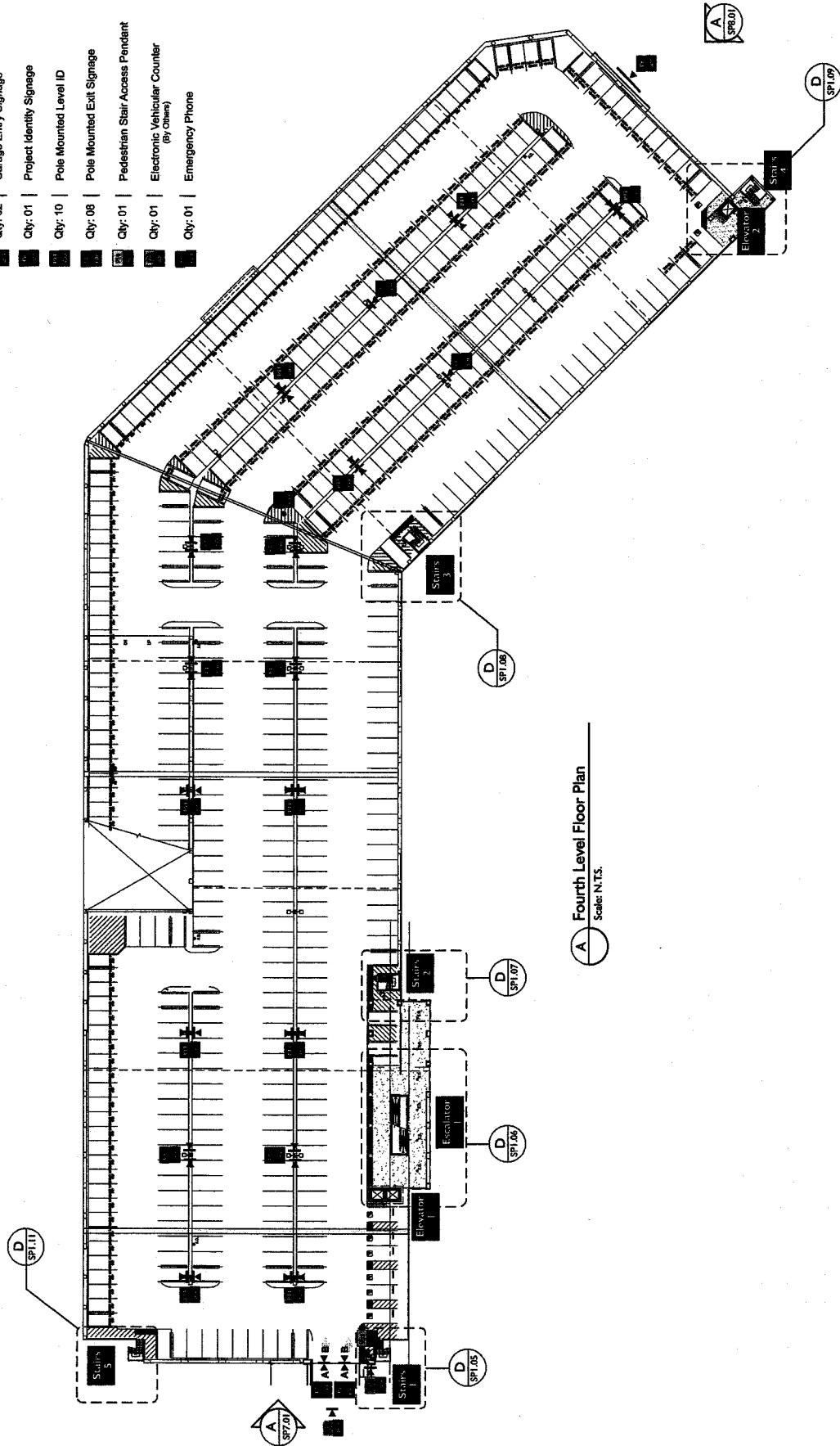
No.	Description	Date
01	PCS Review	05/22/13
02	PCS Review	06/24/13
03	PCS Review	07/09/13
04	PCS Review	07/18/13

Site Signage Placement

Fourth Level Floor Plan

Project:	120601
Date:	05/22/13
Scale:	Noted
Drawn By:	SPH
Checked By:	DYG

**SPI.04**



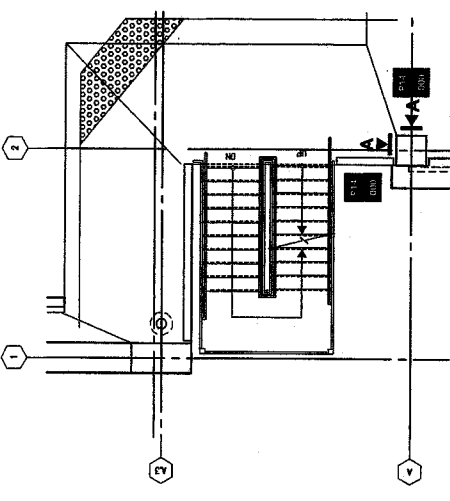
**A** Fourth Level Floor Plan  
Scale: N.T.S.



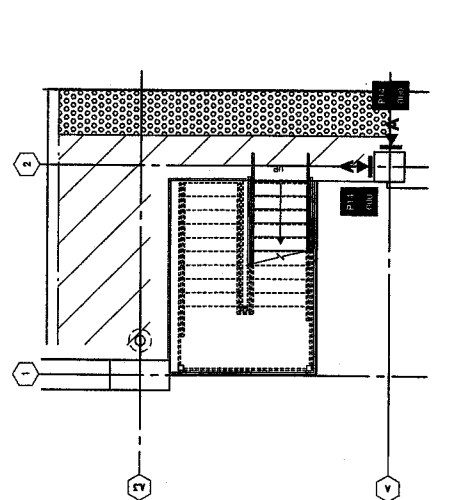
**Site Signage Placement Legend:**

Qty: 08 | Stair Level Identity

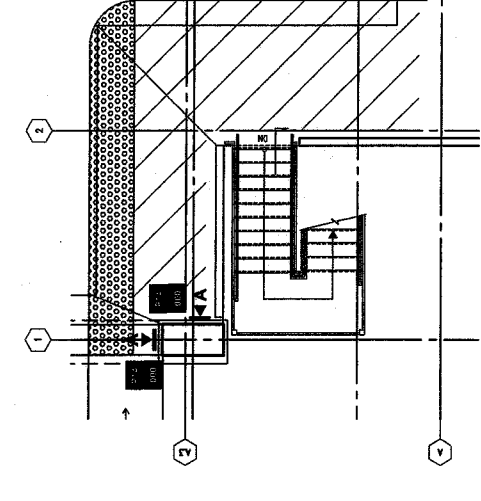
Locations noted are for general placement and quantities only. Actual element placement is to be field verified by Owner and Project Design Team.



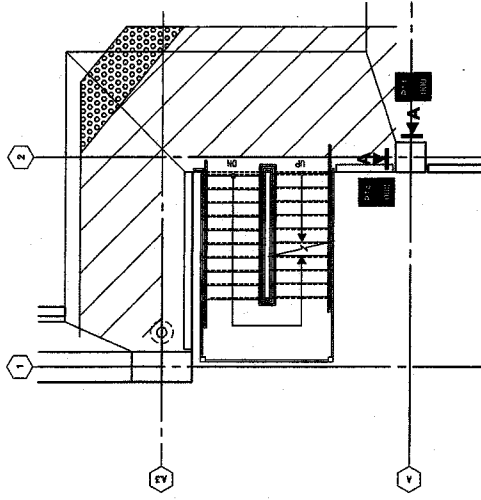
**A** Stair #1 - Level One  
Scale: 1/8" = 1'-0"



**B** Stair #1 - Level Two  
Scale: 1/8" = 1'-0"



**C** Stair #1 - Level Three  
Scale: 1/8" = 1'-0"



**D** Stair #1 - Level Four  
Scale: 1/8" = 1'-0"



Project Name:  
**DESERT HILLS  
PREMIUM OUTLETS**

Project Owner:  
**PREMIUM  
OUTLETS  
SIMON**



No.	Description	Date
01	PCS Review	06/27/13
02	PCS Review	06/24/13
03	PCS Review	07/09/13
04	PCS Review	07/18/13

Site Signage Placement  
Stairwell #1

Project:	120601
Date:	06/27/13
Scale:	Noted
Drawn By:	SPH
Checked By:	DMS

**SPI-05**

Project Name:

**DESERT HILLS  
 PREMIUM OUTLETS**

Project Owner:

**PREMIUM  
 OUTLETS  
 SIMON**

Project Architect:



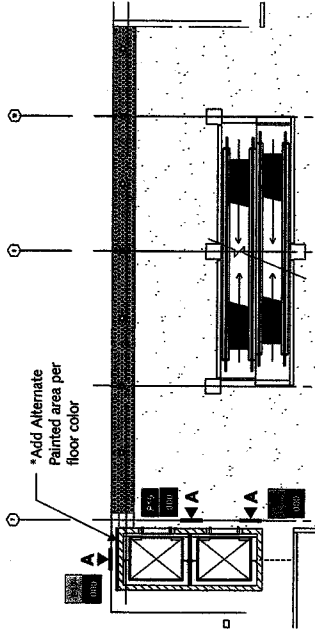
No.	Description	Date
01	PCS Review	05/22/13
02	PCS Review	06/24/13
03	PCS Review	07/09/13
04	PCS Review	07/18/13

Site Signage Placement

Elev. / Escalator #1

Project:	120601
Date:	05/22/13
Scale:	Noted
Drawn By:	SPH
Checked By:	DYG

**SPI.06**

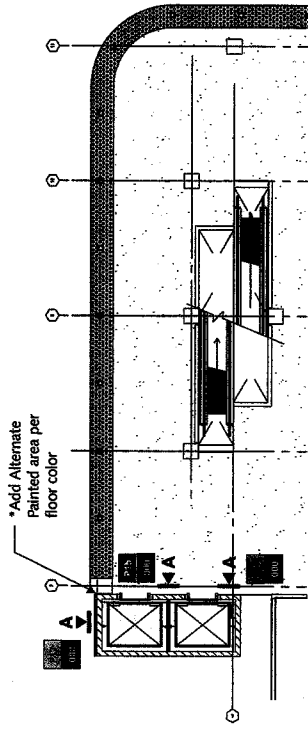


**B** Elev. / Escalator #1 - Level Two  
 Scale: 1/16"=1'-0"

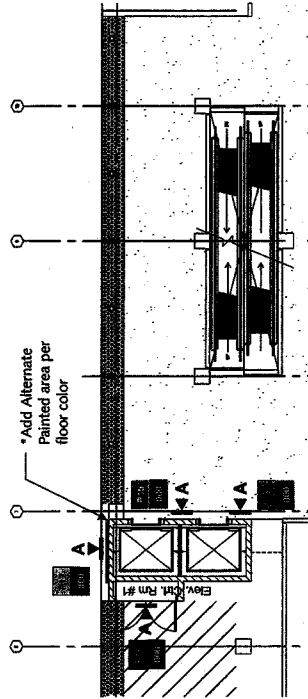
**Site Signage Placement Legend:**

- Qty: 04 | ADA Elevator Fire Signage
- Qty: 01 | ADA Room Identity
- Qty: 04 | Painted Elevator Level Identity
- Qty: 04 | Elevator Level Identity

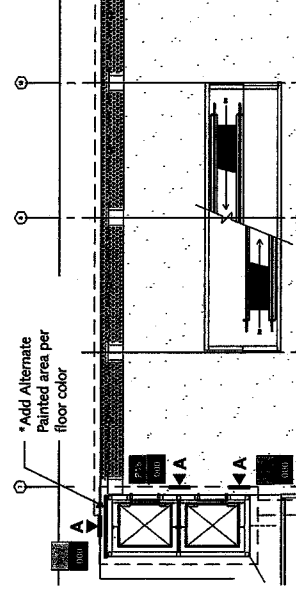
Locations noted are for general placement and quantities only. Actual element placement is to be field verified by Owner and Project Design Team.



**A** Elev. / Escalator #1 - Level One  
 Scale: 1/16"=1'-0"



**C** Elev. / Escalator #1 - Level Three  
 Scale: 1/16"=1'-0"



**D** Elev. / Escalator #1 - Level Four  
 Scale: 1/16"=1'-0"

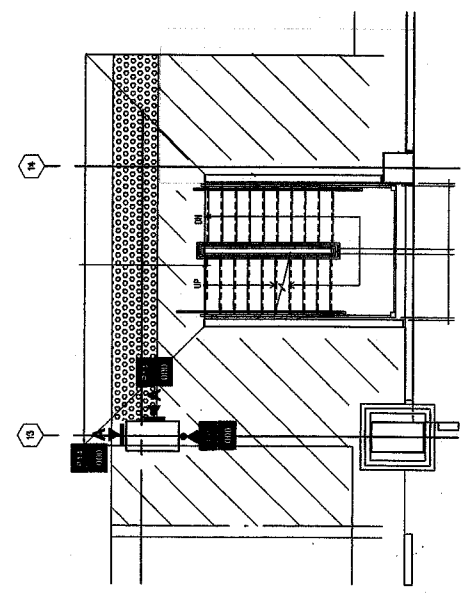
No.	Description	Date
01	PCS Review	05/27/13
02	PCS Review	06/24/13
03	PCS Review	07/09/13
04	PCS Review	07/16/13

Site Signage Placement  
 Stairwell #2

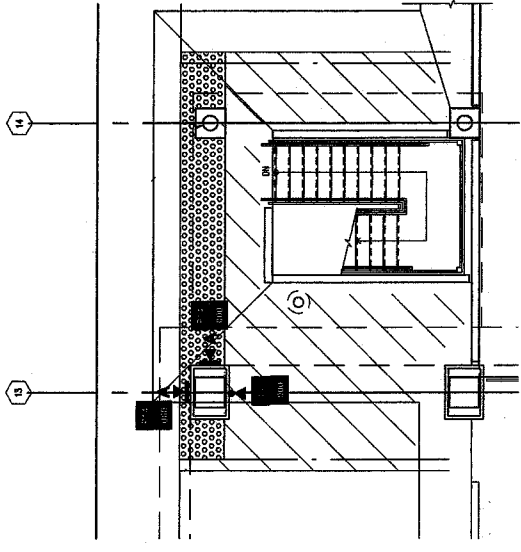
Project:	120201
Date:	05/27/13
Scale:	Noted
Drawn By:	SPH
Checked By:	DWG

- Site Signage Placement Legend:**
- Qty: 08 | Stair Level Identity
  - Qty: 01 | ADA Room Identity
  - Qty: 04 | Emergency Phone

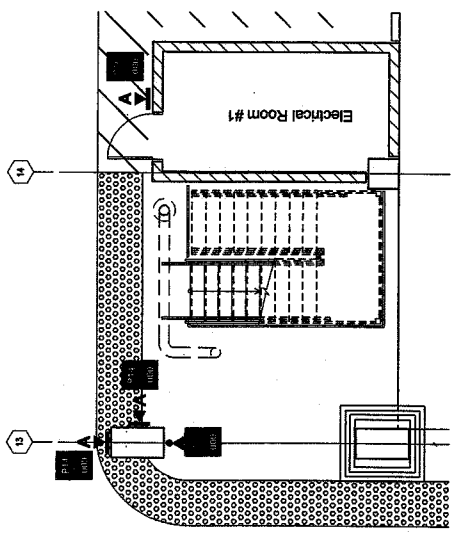
Locations noted are for general placement and quantities only. Actual element placement is to be field verified by Owner and Project Design team.



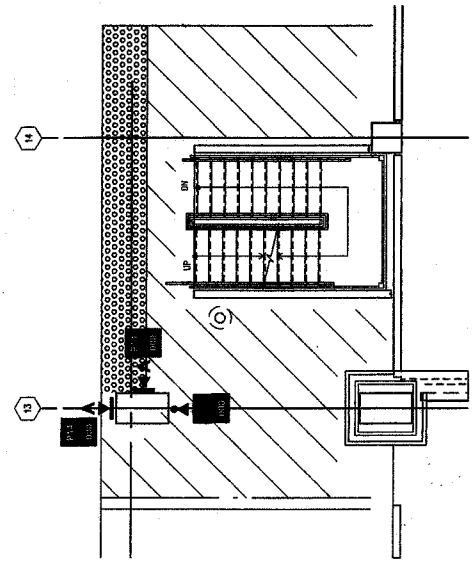
**B Stair #2 - Level Two**  
 Scale: 1/8" = 1'-0"



**D Stair #2 - Level Four**  
 Scale: 1/8" = 1'-0"



**A Stair #2 - Level One**  
 Scale: 1/8" = 1'-0"



**C Stair #2 - Level Three**  
 Scale: 1/8" = 1'-0"

**Site Signage Placement Legend:**

04 Qty: 04 | Stair Level Identity

Locations noted are for general placement and quantities only. Actual element placement is to be field verified by Owner and Project Design Team.



**STUDIO**  
graphic design services  
195 South Olive Ave., Suite 601, 92101  
P.O. Box 1000 | P.O. Box 1000

Project Name:

**DESERT HILLS  
PREMIUM OUTLETS™**

Project Owner:

**PREMIUM  
OUTLETS™  
SIMON**

Project Architect:



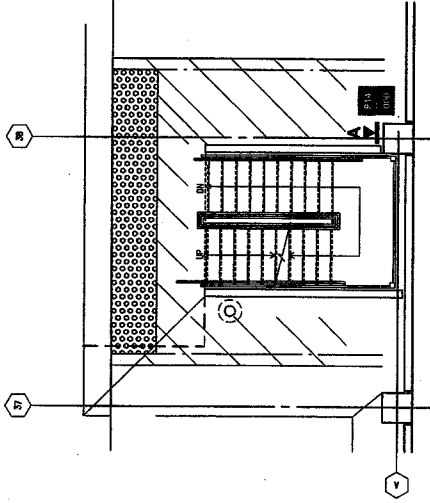
No.	Description	Date:
01	PCS Review	05/22/13
02	PCS Review	06/24/13
03	PCS Review	07/09/13
04	PCS Review	07/18/13

Site Signage Placement

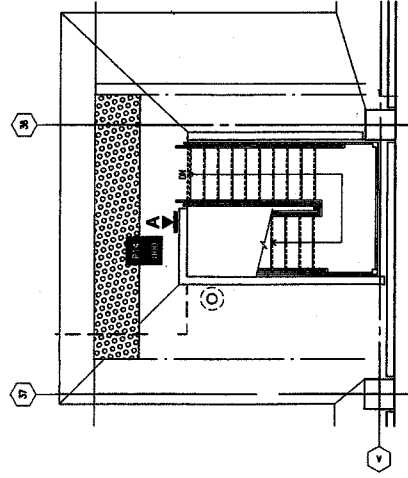
Stairwell #3

Project:	126001
Date:	05/22/13
Scale:	As Noted
Drawn By:	SPH
Checked By:	DPCS

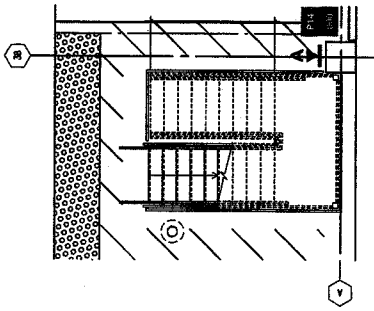
SPI\_08



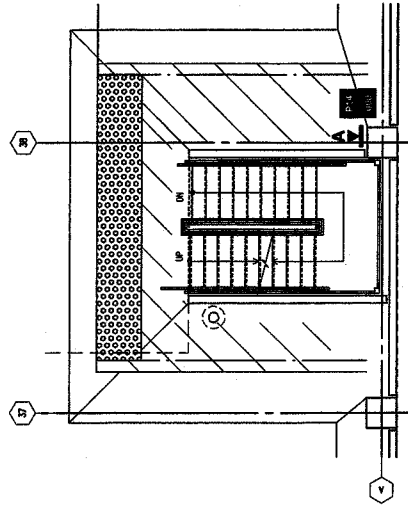
**A Stair #3 - Level Two**  
Scale: 1/8" = 1'-0"



**A Stair #3 - Level Four**  
Scale: 1/8" = 1'-0"



**A Stair #3 - Level One**  
Scale: 1/8" = 1'-0"



**A Stair #3 - Level Three**  
Scale: 1/8" = 1'-0"

**Site Signage Placement Legend:**

- City: 02 | Stairwell Level Identity
- City: 02 | Elevator Fire Signage
- City: 03 | ADA Room Identity
- City: 02 | Painted Elevator Level Identity
- City: 02 | Elevator Level Identity
- City: 02 | Emergency Phone

Locations noted are for general placement and quantities only. Actual element placement is to be field verified by Owner and Project Design Team.

**3D STUDIO**  
 graphic design services  
 19754 South 4th, Suite 10, Scottsdale, AZ 85261  
 P: 480-344-8277 F: 480-344-8246

Project Name:  
**DESERT HILLS PREMIUM OUTLETS**

Project Owner:  
**PREMIUM OUTLETS SIMON**

Project Architect:

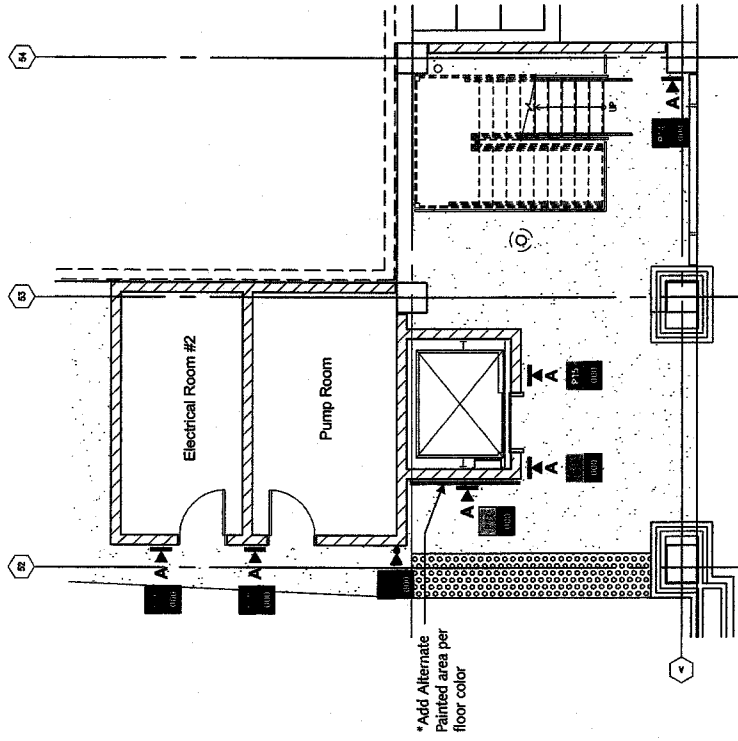


No.	Description	Date
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02	PCS Review	06/24/13
03	PCS Review	07/09/13
04	PCS Review	07/16/13

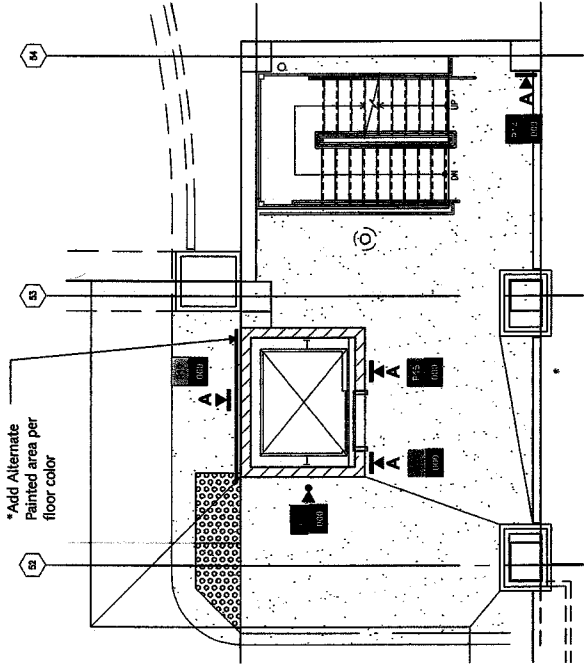
Site Signage Placement  
 Elevator Core #2  
 Stairwell #4

Project:	120801
Date:	05/22/13
Scale:	Noted
Drawn By:	SPH
Checked By:	DMG

**SPI.09**



**B Elevator Core #2 - Stair No. 4 Section - Level One**  
 Scale: 1/16"=1'-0"



**B Elevator Core #2 - Stair No. 4 - Level Two**  
 Scale: 1/16"=1'-0"