

Site Signage Placement Legend:

- Qty: 04 | Stairwell Level Identity
- Qty: 02 | Elevator Fire Signage
- Qty: 02 | Painted Elevator Level Identity
- Qty: 02 | Elevator Level Identity
- Qty: 02 | Emergency Phone

Locations noted are for general placement and quantities only. Final placement is to be field verified by Owner and Project Design Team.



Project Name:



Project Owner:



Project Architect:



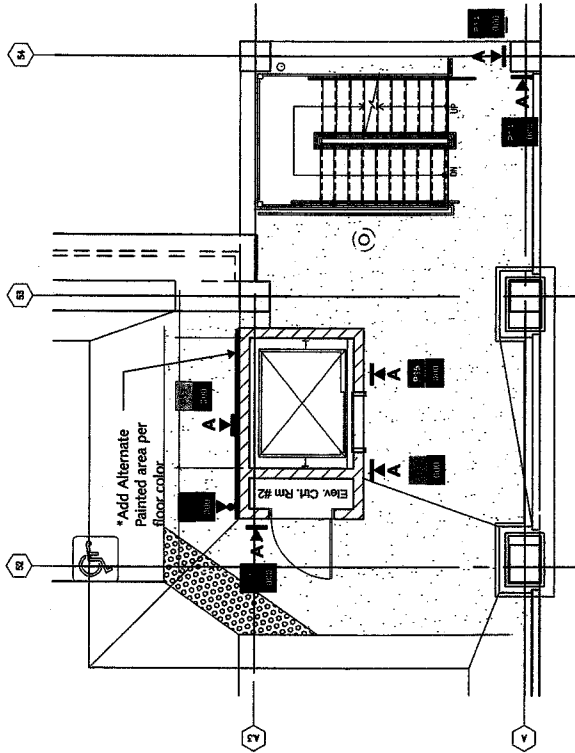
No.	Description	Date
01	PCS Review	05/27/13
02	PCS Review	06/24/13
03	PCS Review	07/09/13
04	PCS Review	07/18/13

Site Signage Placement

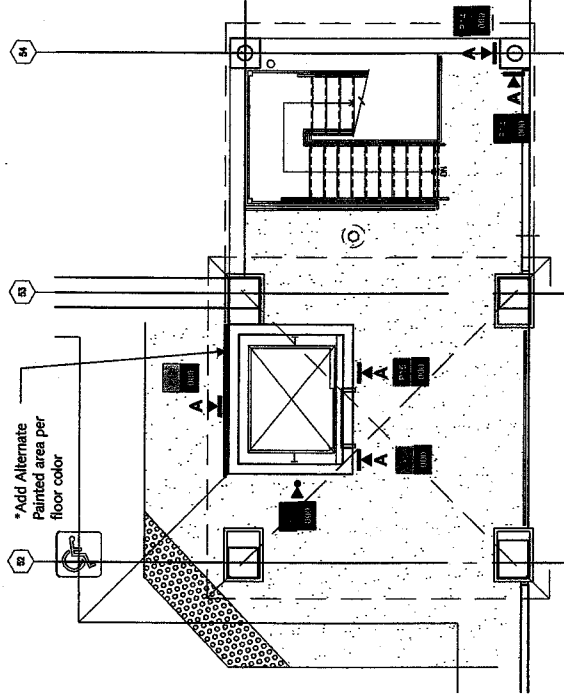
Elevator Core #2
Stairwell #4

Project:	130201
Date:	05/27/13
Scale:	Noted
Drawn By:	SPH
Checked By:	DVC

SPI_10





B Elevator Core #2 - Stair No. 4 - Level Three
Scale: 1/16"=1'-0"



B Elevator Core #2 - Stair No. 4 - Level Four
Scale: 1/16"=1'-0"

Site Signage Placement Legend:

-  Qty: 04 | Stair Level Identity
-  Qty: 04 | Emergency Phone

Locations noted are for general placement and quantities only. Actual sign placement to be field verified by Owner and Project Design Team.

3D STUDIO
 graphic design services
 1715 W. Baseline, Suite 10, 201
 Phoenix, AZ 85009-1001
 P: 602.441.8888 F: 602.441.8888

Project Name:
**DESERT HILLS
 PREMIUM OUTLETS**

Project Owner:
**PREMIUM
 OUTLETS
 SIMON**

Project Architect:

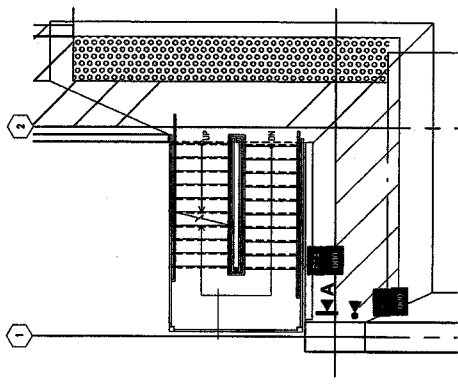


No.	Description	Date
01	PCS Review	05/22/13
02	PCS Review	06/24/13
03	PCS Review	07/09/13
04	PCS Review	07/18/13

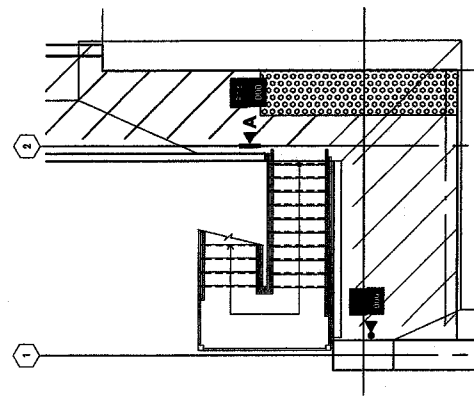
Site Signage Placement
 Stairwell #5

Project:	120001
Date:	05/22/13
Scale:	As Noted
Drawn By:	BPH
Checked By:	DMC

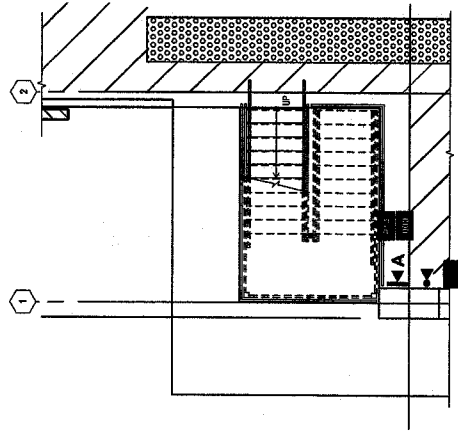
SPI.11



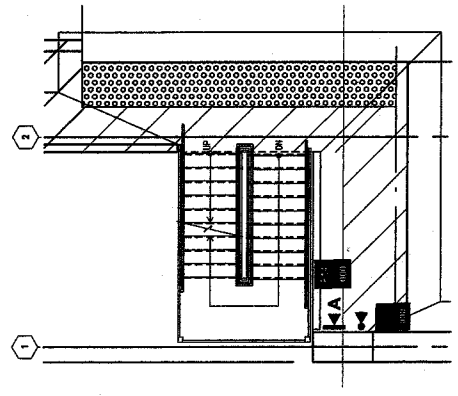
B Stair #5 - Level Two
 Scale: 1/16"=1'-0"



B Stair #5 - Level Four
 Scale: 1/16"=1'-0"



B Stair #5 - Level One
 Scale: 1/16"=1'-0"



B Stair #5 - Level Three
 Scale: 1/16"=1'-0"

Section III

Exterior Identity & Way-finding Signage

Section III - Exterior Identity & Way-finding Signage

P1a.01	Parking Entrance Portal	Sign Type: P1a
P1a.02	Parking Entrance Portal - Details	Sign Type: P1a
P1a.03	Parking Entrance Portal - Details	Sign Type: P1a
P1b.01	Parking Entrance Portal	Sign Type: P1b
P1c.01	Parking Entrance Portal	Sign Type: P1c
P1d.01	Parking Entrance Portal	Sign Type: P1d
P2.01	Parking Identity Pendant	Sign Type: P2
P2.02	Parking Identity Pendant - Details	Sign Type: P2
P3.01	Parking Entry Identity Signage - Southwest Elevation	Sign Type: P3
P3.02	Parking Entry Identity Signage - Southwest Elevation	Sign Type: P3
P3.03	Parking Entry Identity Signage - West Elevation	Sign Type: P3
P3.04	Parking Entry Identity Signage - Details	Sign Type: P3
P3.05	Parking Entry Identity Signage - Details	Sign Type: P3
P3.06	Parking Entry Identity Signage - East Elevation	Sign Type: P3
P3.07	Parking Entry Identity Signage - Details	Sign Type: P3
P3.08	Parking Entry Identity Signage - Northwest Elevation	Sign Type: P3
P3.09	Parking Entry Identity Signage - Details	Sign Type: P3
P4.01	Parking Garage Entry Signage	Sign Type: P4
P4.02	Parking Garage Entry Signage - Details	Sign Type: P4
P4.03	Parking Garage Entry Signage - Details	Sign Type: P4
P5.01	Parking Garage Entry Signage	Sign Type: P5
P5.02	Parking Garage Entry Signage - Details	Sign Type: P5
P6.01	Parking Garage Entry Signage	Sign Type: P6
P6.02	Parking Garage Entry Signage - Details	Sign Type: P6
P7.01	Parking Garage Entry Signage	Sign Type: P7
P8.01	Parking Garage Main Identity	Sign Type: P8
P8.02	Parking Garage Main Identity - Details	Sign Type: P8
P8a.01	Parking Garage Secondary Identity	Sign Type: P8a

Project Name:

DESERT HILLS
PREMIUM OUTLETS

Project Owner:

PREMIUM OUTLETS
SIMON

Project Architect:



No.	Description	Date:
01	FCS Review	05/22/13
02	FCS Review	06/24/13
03	FCS Review	07/18/13

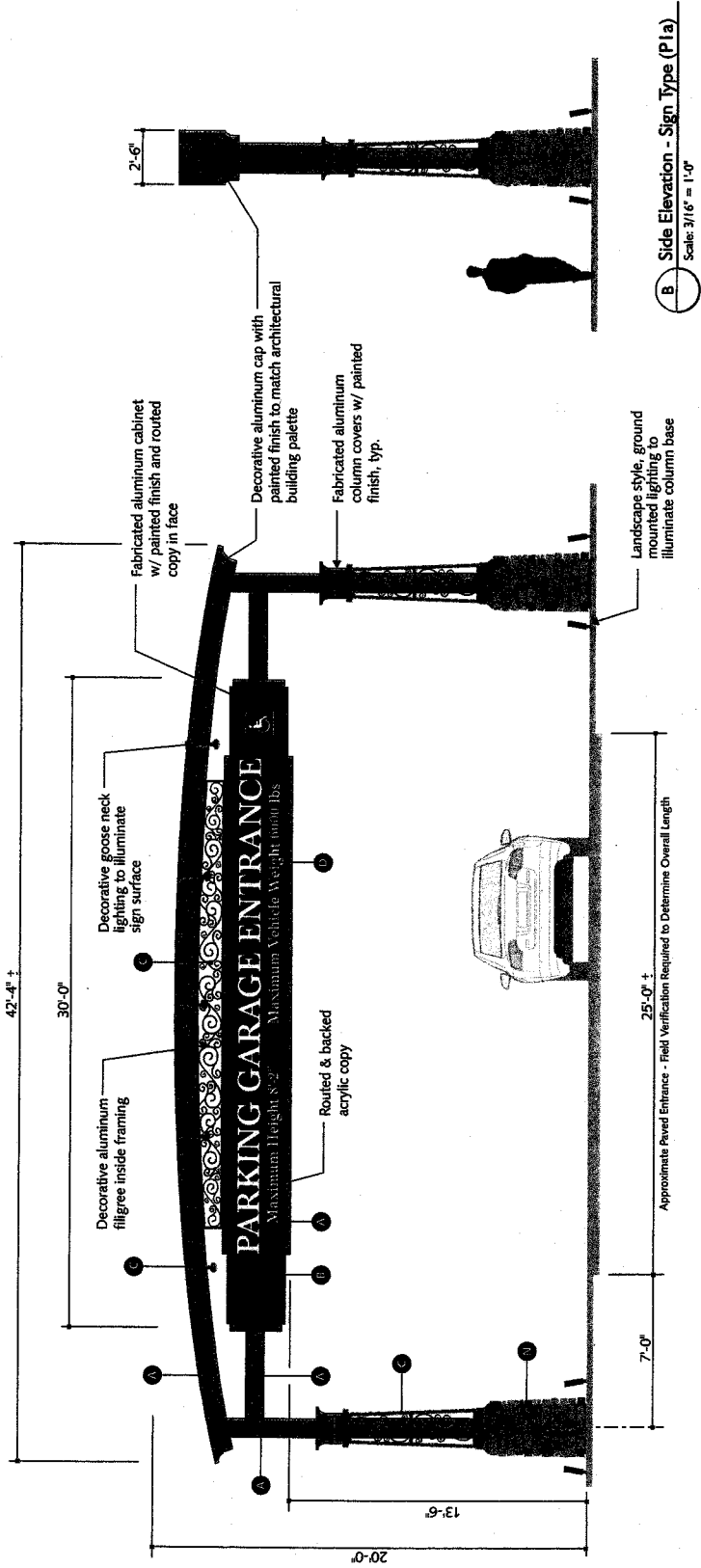
Parking Entrance Portal

Signtype:
 (P1a)

Elevations & Details

Project:	120801
Date:	05/22/13
Scale:	Noted
Drawn By:	SPH
Checked By:	DPK

P1a.01



B Side Elevation - Sign Type (P1a)
 Scale: 3/16" = 1'-0"

A Front Elevation - Sign Type (P1a)
 Scale: 3/16" = 1'-0"

Approximate Paved Entrance - Field Verification Required to Determine Overall Length

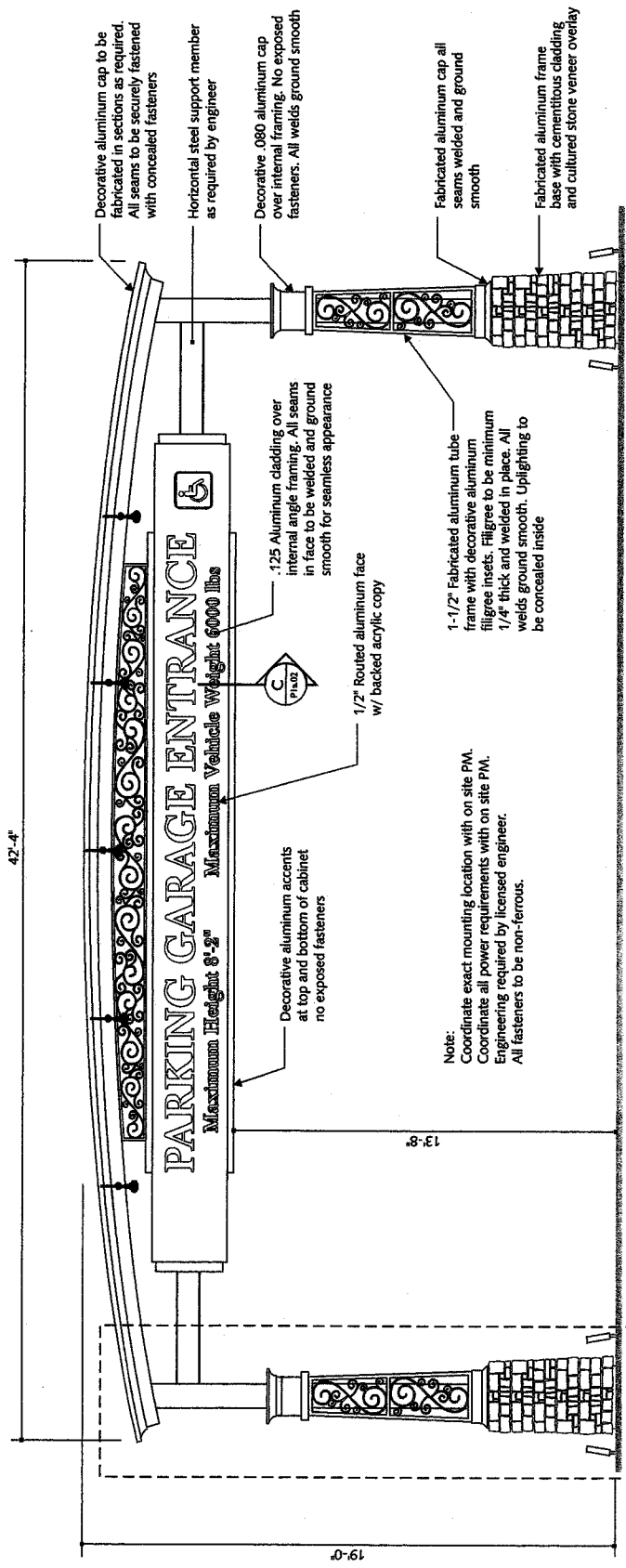
No.	Description	Date
01	PCS Review	05/22/13
02	PCS Review	06/24/13
03	PCS Review	07/18/13

Parking Entrance Portal

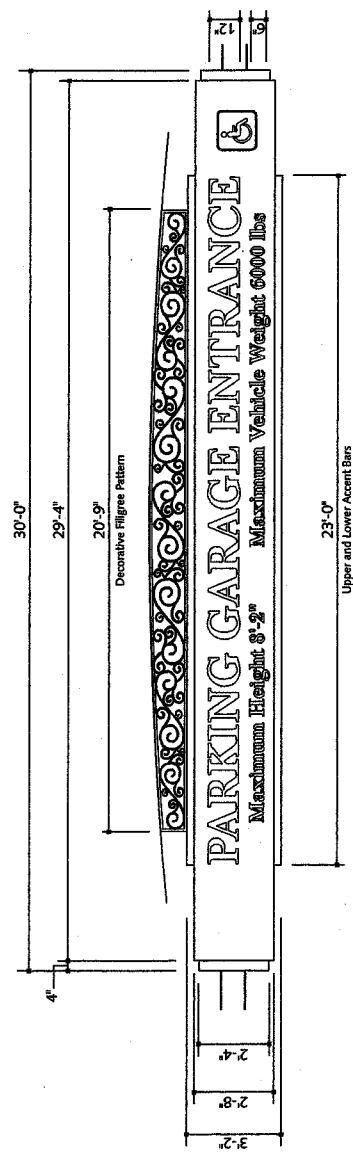
Signtype: (P1a)

Elevations & Details

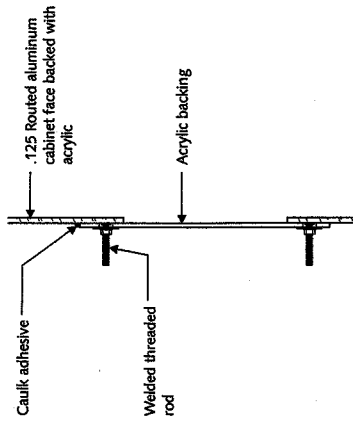
Project:	130801
Date:	05/22/13
Scale:	As Shown
Drawn By:	SKP
Checked By:	DNC



A Front Elevation - Sign Type (P1a)
 Scale: 1/4" = 1'-0"



B Front Elevation - Sign Type (P1a)
 Scale: 1/4" = 1'-0"



C Partial Section At Copy
 Scale: N.T.S.

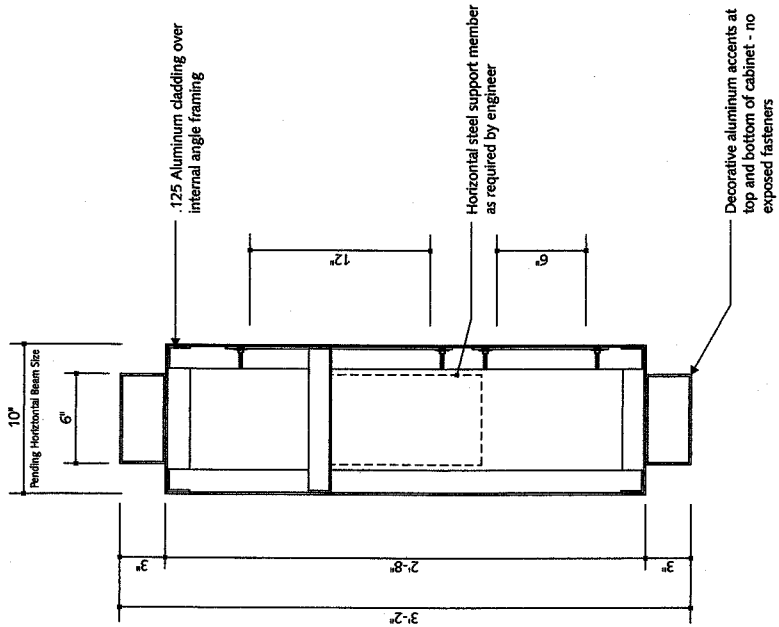
No.	Description	Date
01	PCS Review	05/22/13
02	PCS Review	06/24/13
03	PCS Review	07/18/13

Parking Entrance
 Portal
 Sign type:
 (P1a)

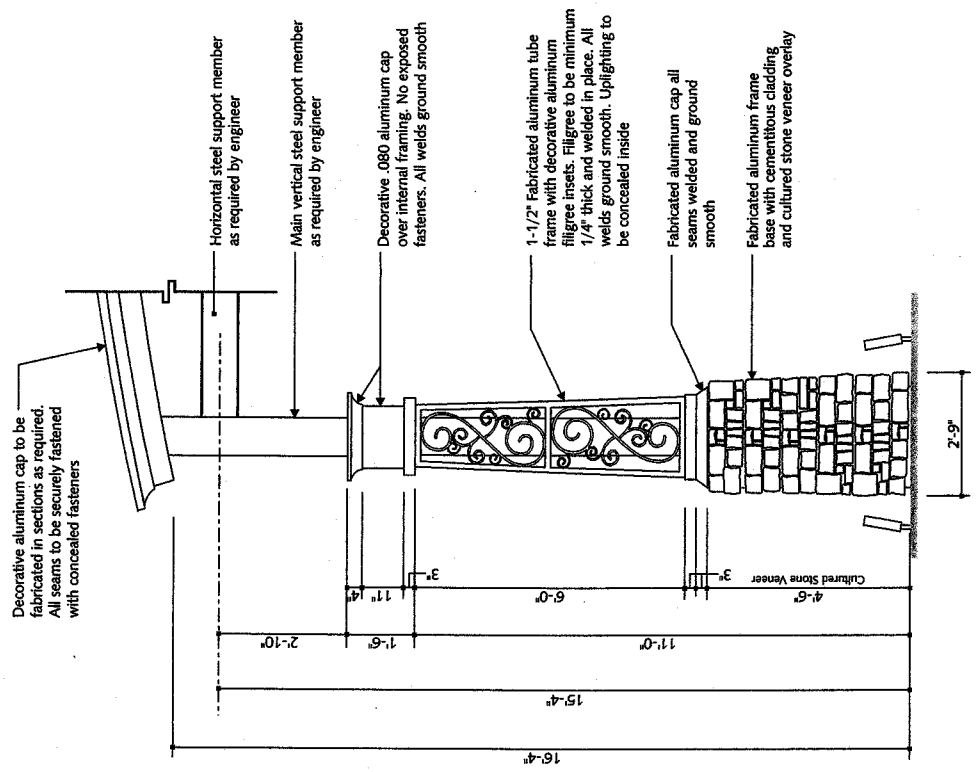
Elevations & Details

Project:	130601
Date:	05/22/13
Scale:	Noted
Drawn By:	SHH
Checked By:	DFG

Note:
 Coordinate exact mounting location with on site PM.
 Coordinate all power requirements with on site PM.
 Engineering required by licensed engineer.
 All fasteners to be non-ferrous.



B Front Elevation - Sign Type (P1a)
 Scale: 1-1/2" = 1'-0"



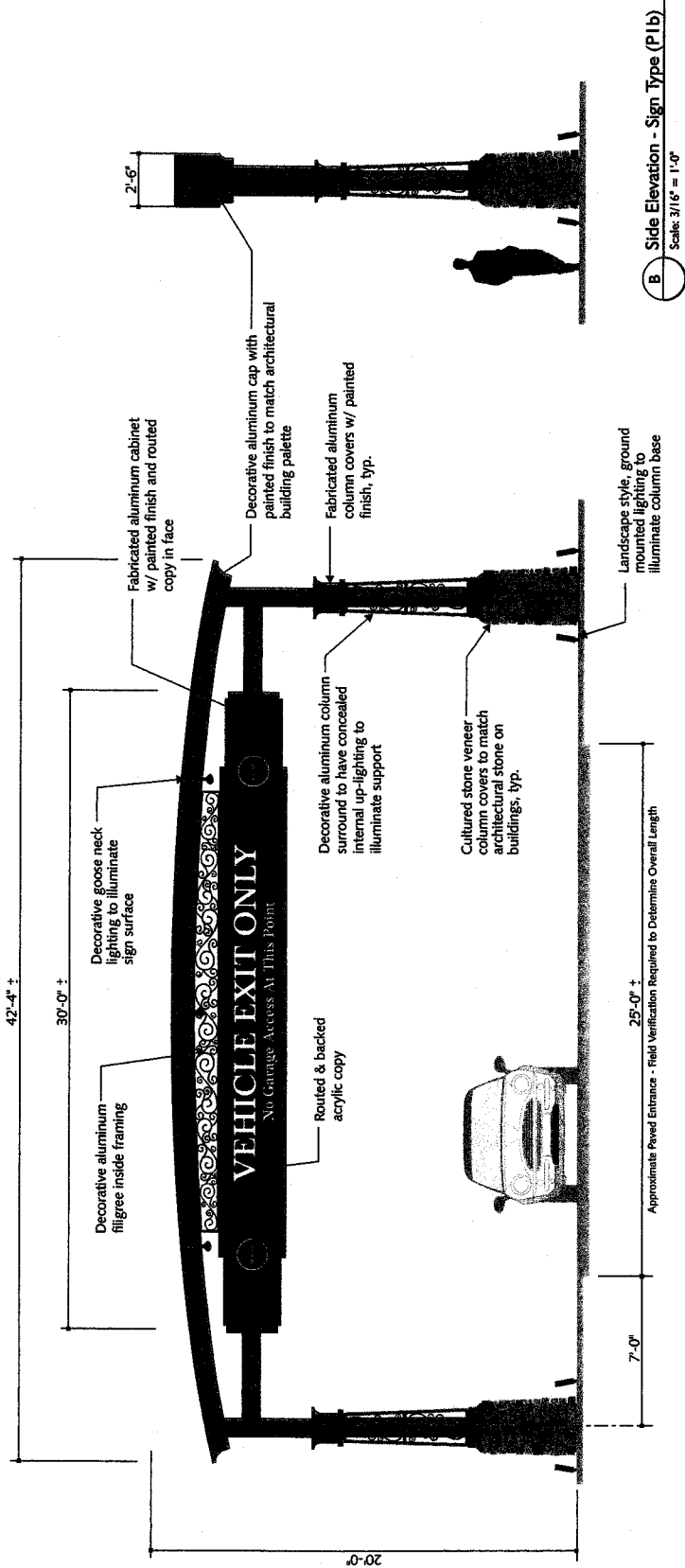
A Front Elevation - Sign Type (P1a)
 Scale: 3/8" = 1'-0"

No.	Description	Date
01	POS Review	05/27/13
02	POS Review	06/24/13
03	POS Review	07/18/13

Parking Entrance Portal
 Signtype: (P1b)
 (P1b)

Elevations & Details

Project:	128901
Date:	06/27/13
Scale:	Noted
Drawn By:	SPH
Checked By:	DPK



B Side Elevation - Sign Type (P1b)
 Scale: 3/16" = 1'-0"

A Front Elevation - Sign Type (P1b)
 Scale: 3/16" = 1'-0"

Project Name:

**DESERT HILLS
 PREMIUM OUTLETS**

Project Owner:

**PREMIUM
 OUTLETS
 SIMON**

Project Architect:



No.	Description	Date
01	PCS Review	05/22/13
02	PCS Review	06/24/13
03	PCS Review	07/18/13

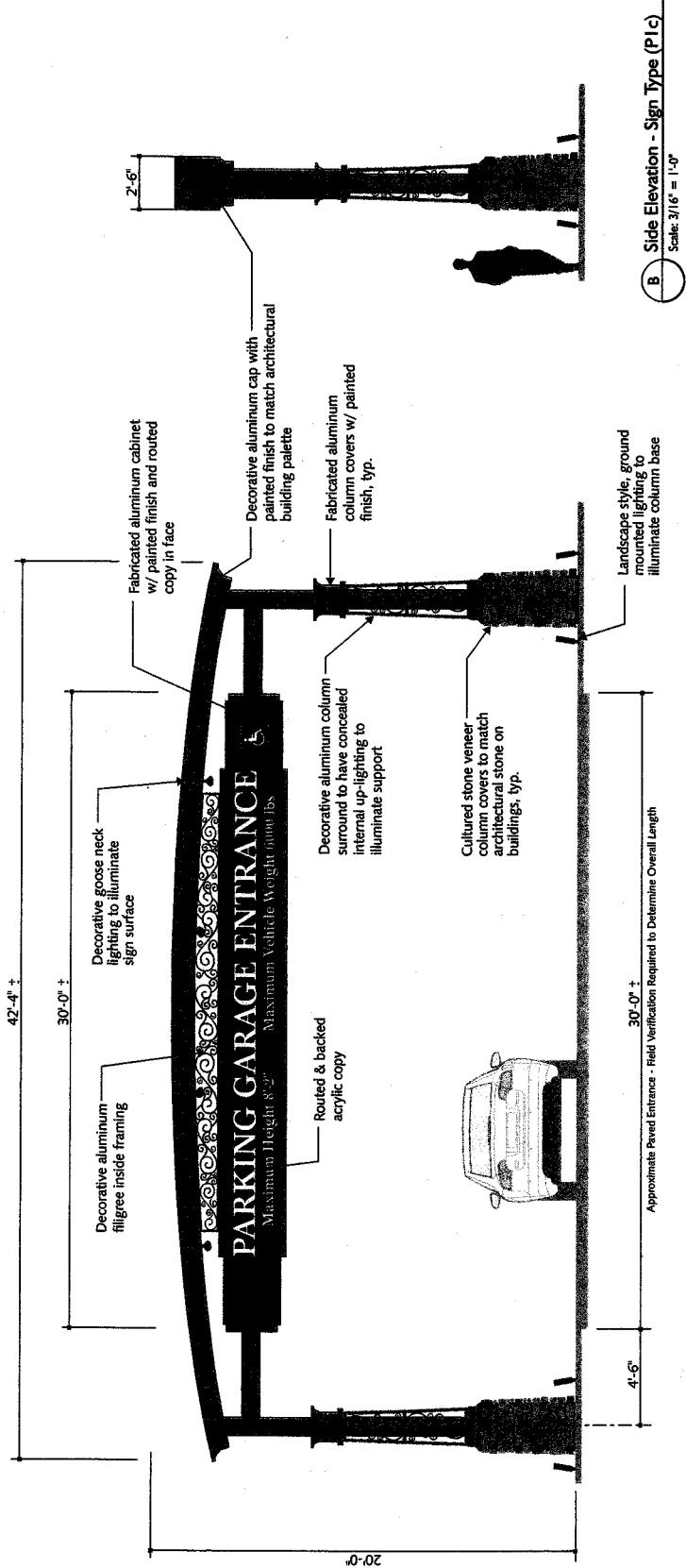
Parking Entrance Portal

Signtype: (P1c)

Elevations & Details

Project:	130601
Date:	05/22/13
Scale:	Noted
Drawn By:	SFH
Checked By:	DPK

P1c.01





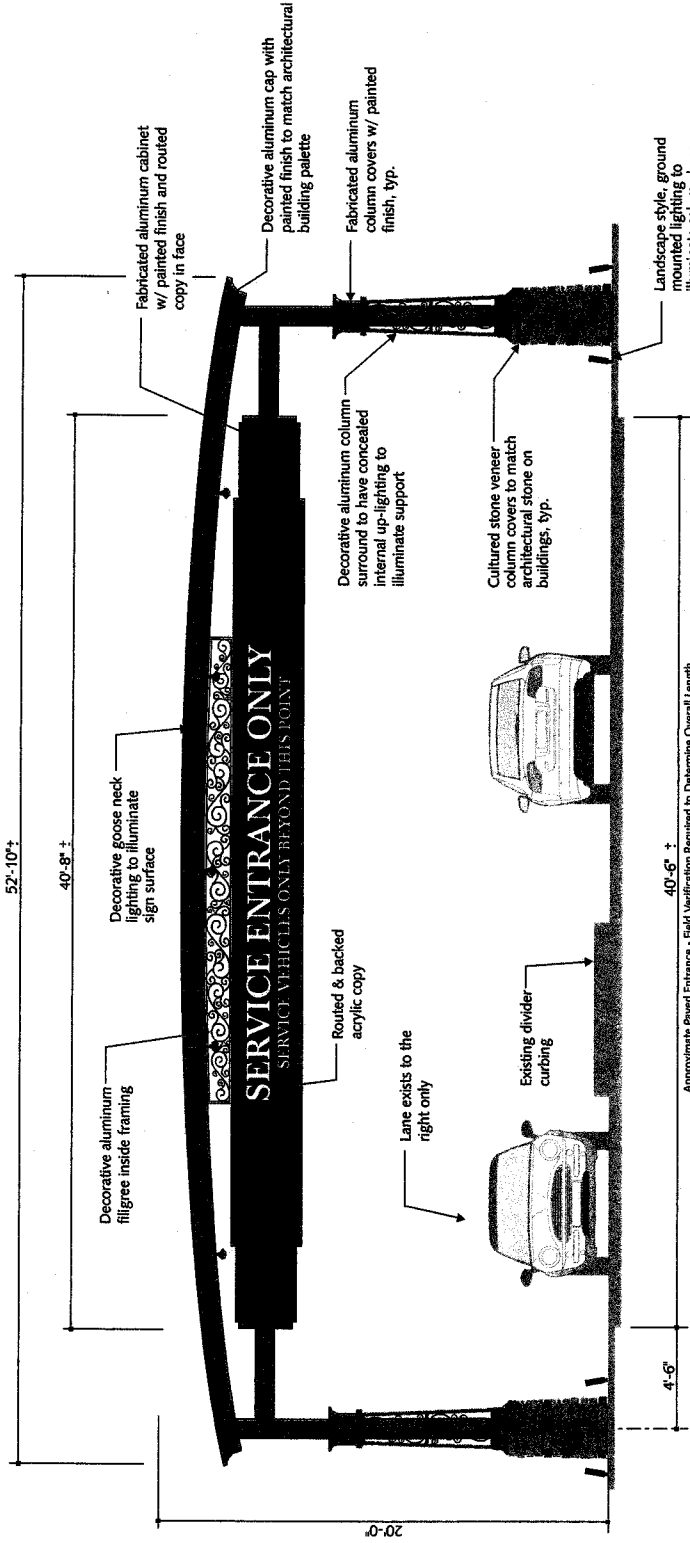
No.	Description	Date
01	PCS Review	05/22/13
02	PCS Review	06/04/13
03	PCS Review	07/16/13

Parking Entrance Portal

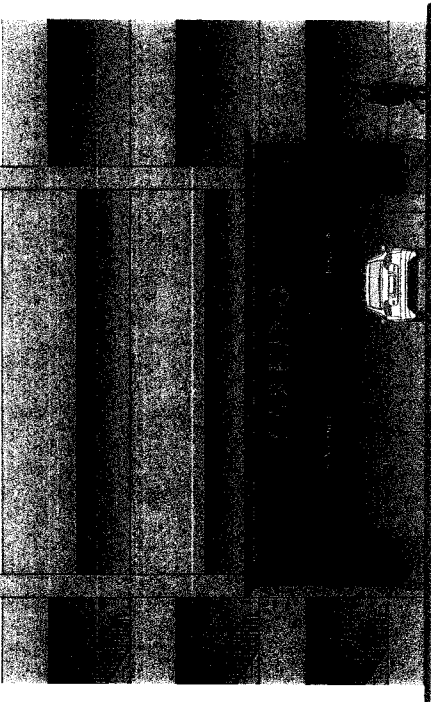
Signtype: (P Id)

Elevations & Details

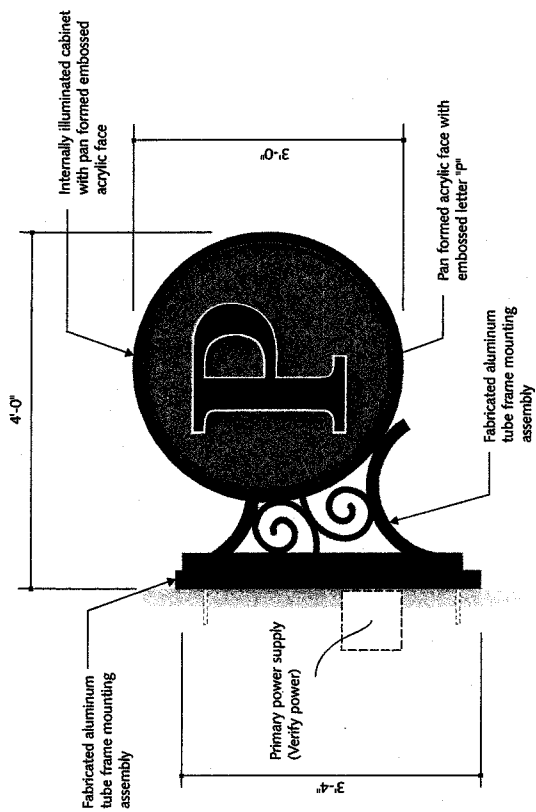
Project:	128801
Date:	05/22/13
Scale:	Noted
Drawn By:	SPT
Checked By:	DVC



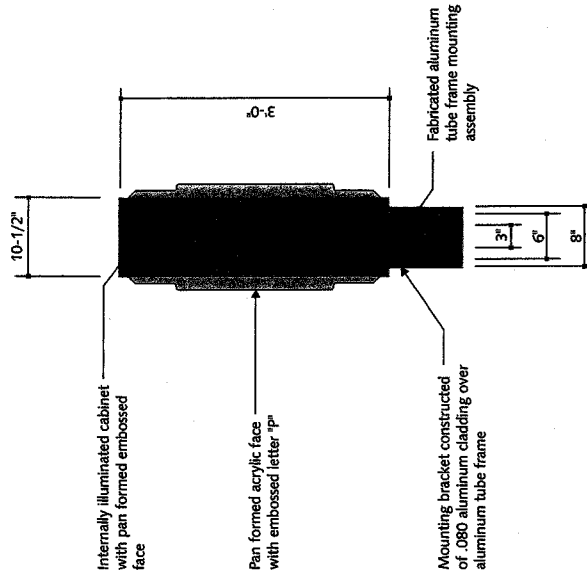
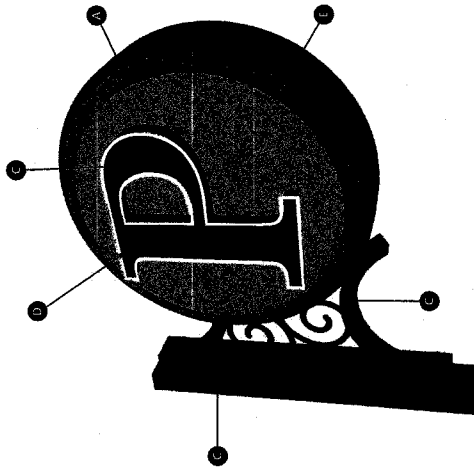
A Front Elevation - Sign Type (P Id)
 Scale: 3/16" = 1'-0"



A Parking Entrance ID Pendant - Sign Type (P2)
Scale: 3/32" = 1'-0"



B Typical Elevation - Sign Type (P2)
Scale: 3/4" = 1'-0"



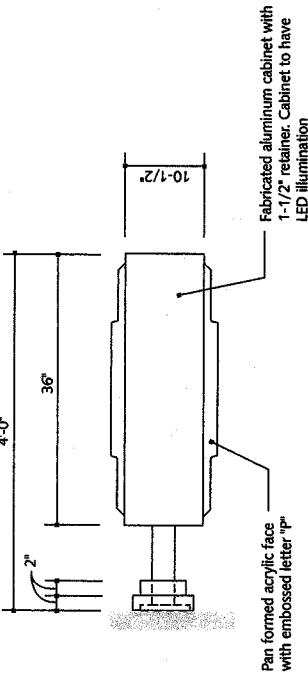
B Side Elevation - Sign Type (P2)
Scale: 3/4" = 1'-0"

No.	Description	Date
01	PCS Review	05/22/13
02	PCS Review	06/24/13
03	PCS Review	07/18/13

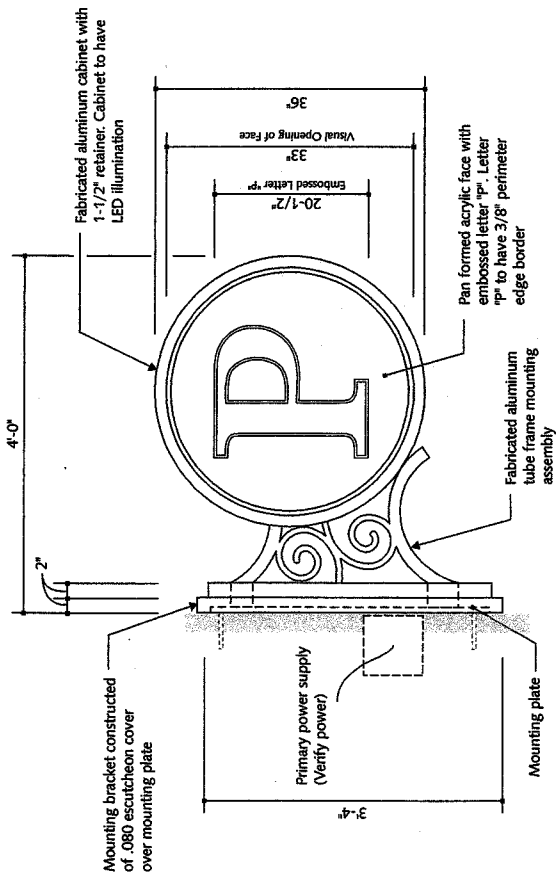
Parking Entrance
Identity Pendant
**Sign type:
(P2)**

Elevations
& Details
Project: 12801
Date: 05/22/13
Scale: Noted
Drawn By: SPH
Checked By: DHC

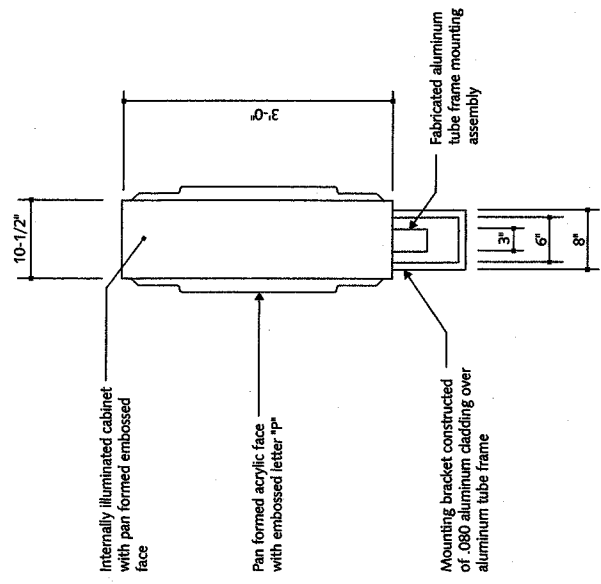
Note:
 Coordinate exact mounting location with on site PM.
 Coordinate blocking as required with on site PM.
 Coordinate all power requirements with on site PM.
 Engineering required by licensed engineer.
 Field verify access at mounting location.
 All fasteners to be non-ferrous.



C Plan View - Sign Type (P2)
 Scale: 3/4" = 1'-0"



A Front Elevation - Sign Type (P2)
 Scale: 3/4" = 1'-0"



B Side Elevation - Sign Type (P2)
 Scale: 3/4" = 1'-0"



Project Name:
DESERT HILLS
PREMIUM OUTLETS

Project Owner:
PREMIUM OUTLETS
SIMON

Project Architect:
AD
ARCHITECTS
LLP
 1900 South Orange Avenue, Suite 1000
 Ft. Lauderdale, Florida 33309
 Phone: 954.471.1111
 Fax: 954.471.1112

No.	Description	Date
01	PCS Review	05/22/13
02	PCS Review	06/04/13
03	PCS Review	07/18/13

Parking Entrance
 Identity Pendant

Sign Type:
 (P2)

Elevations
 & Details

Project:	130801
Date:	05/22/13
Scale:	Noted
Drawn By:	SFH
Checked By:	DHG

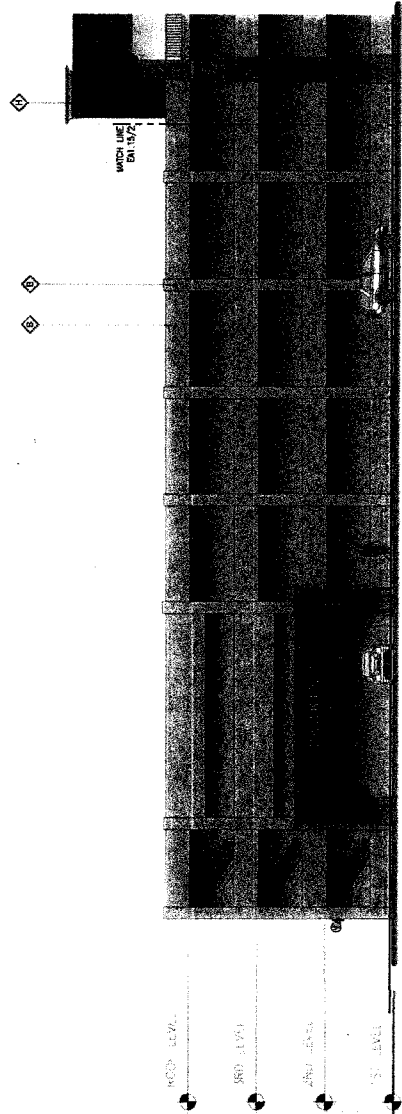


No.	Description	Date
01	PCS Review	05/22/13
02	PCS Review	06/24/13
03	PCS Review	07/18/13

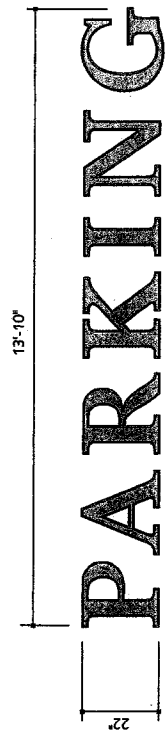
Exterior Signage
 Signtype: (P3)

Parking Garage Elevations

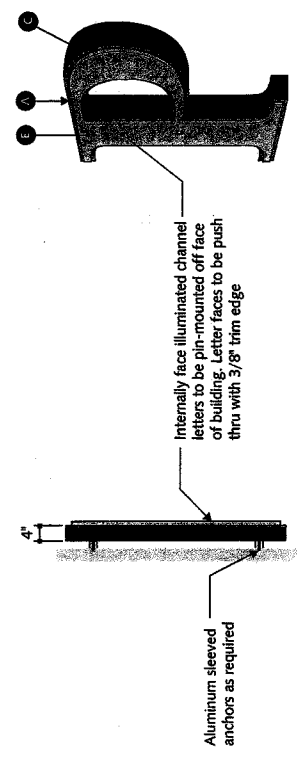
Project:	128601
Date:	05/22/13
Scale:	Noted
Drawn By:	BHH
Checked By:	DPG



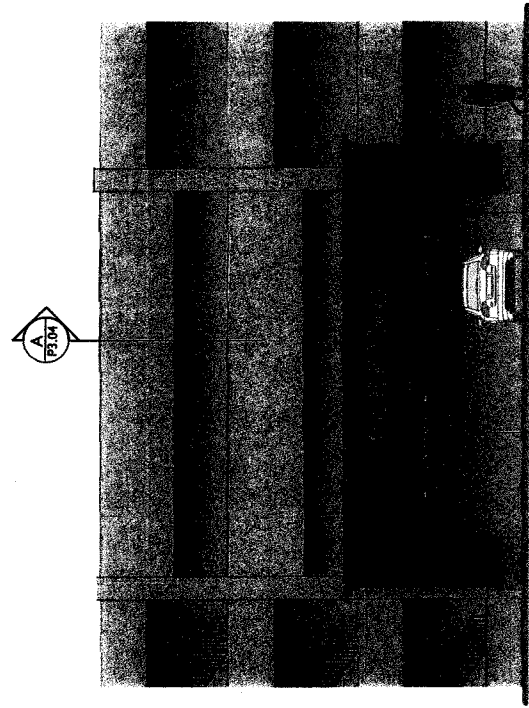
A Southwest Elevation Sign Type (P3)
 Scale: 1" = 20'-0"



C Front Elevation - Sign Type (P3)
 Scale: 3/8" = 1'-0"



D Letter Detail - Sign Type (P3)
 Scale: 1" = 1'-0"



See sheet P4.01

B Enlarged Mounting Elevation - Sign Type (P3)
 Scale: 3/32" = 1'-0"

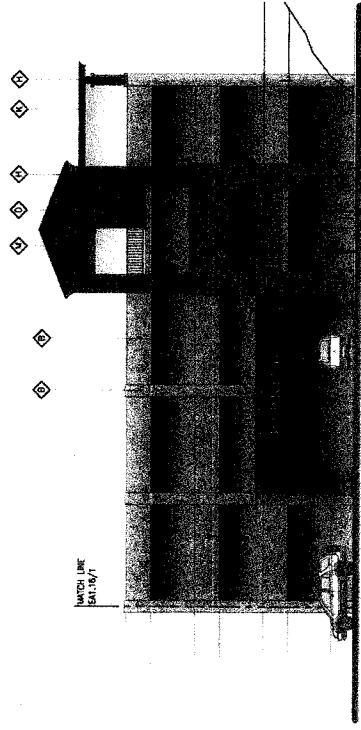


No.	Description	Date
01	PCS Review	05/22/13
02	PCS Review	06/24/13
03	PCS Review	07/01/13

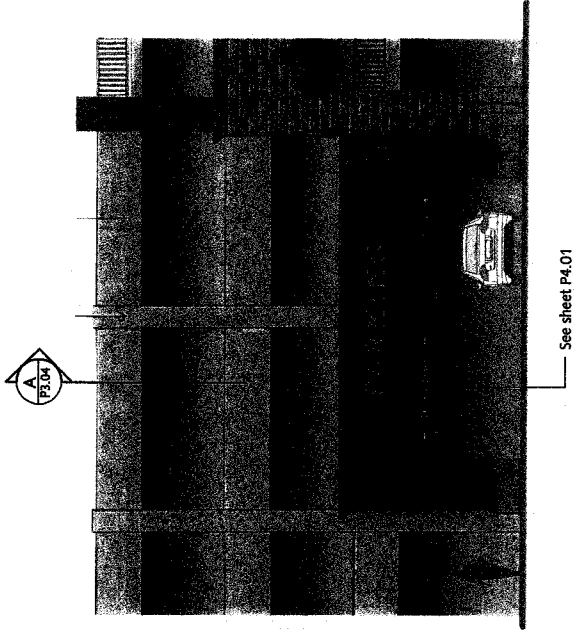
Project Architect:
 Exterior Signage
 Signtype: (P3)

Parking Garage Elevations

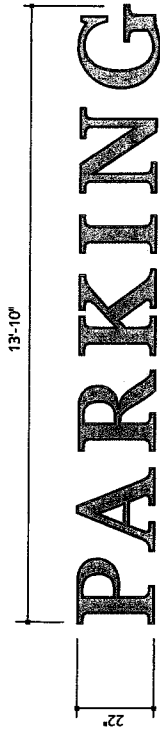
Project:	128801
Date:	05/22/13
Scale:	Notes
Drawn By:	SPH
Checked By:	DMG



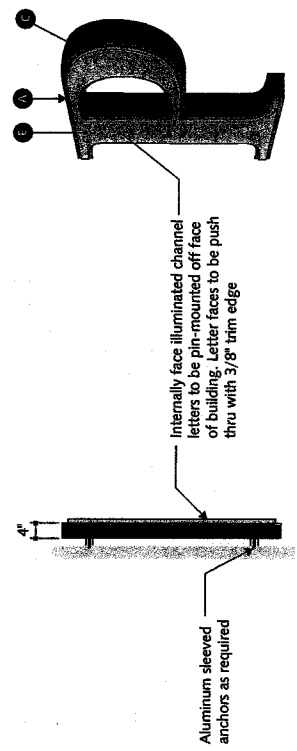
A West Elevation (P3)
 Scale: 1" = 20'-0"



B Enlarged Mounting Elevation - Sign Type (P3)
 Scale: 3/32" = 1'-0"



C Front Elevation - Sign Type (P3)
 Scale: 3/8" = 1'-0"



D Letter Detail - Sign Type (P3)
 Scale: 1" = 1'-0"

Note:
 Coordinate exact mounting location with on site PM.
 Coordinate blocking as required with on site PM.
 Coordinate all power requirements with on site PM.
 Engineering required by licensed engineer.
 Field verify access at mounting location.
 All fasteners to be non-ferrous.

Project Name:

**DESERT HILLS
 PREMIUM OUTLETS**

Project Owner:

**PREMIUM OUTLETS
 SIMON**

Project Architect:



No.	Description	Date
01	PCS Number: 05/27/13	
02	PCS Number: 06/24/13	
03	PCS Number: 07/18/13	

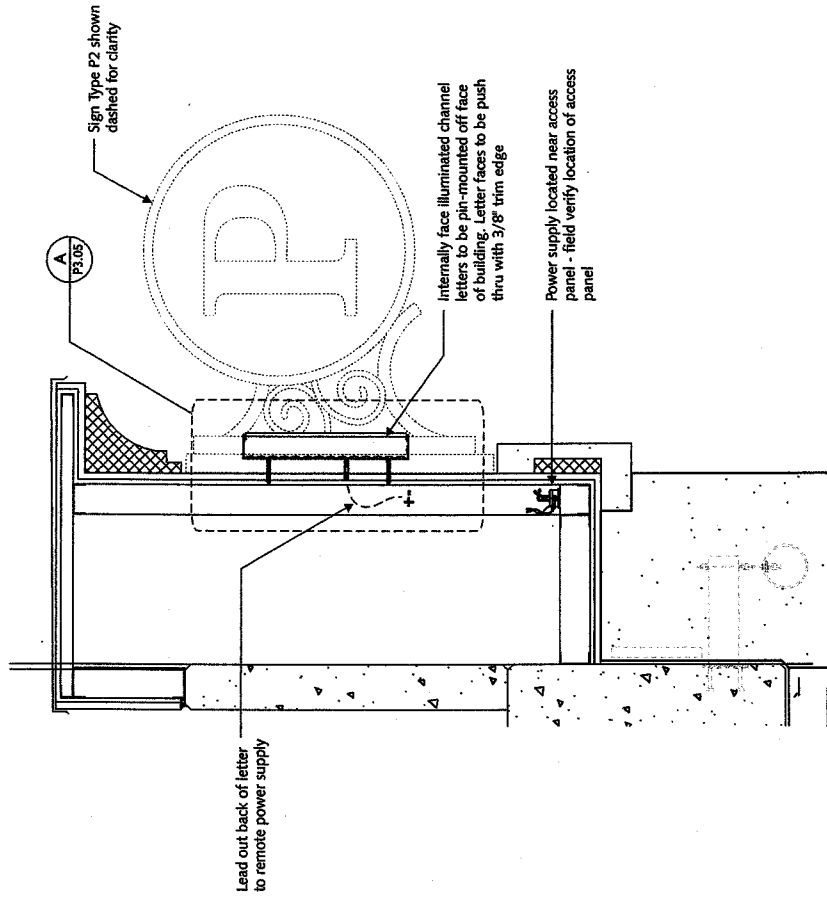
Exterior Signage

Signtype: (P3)

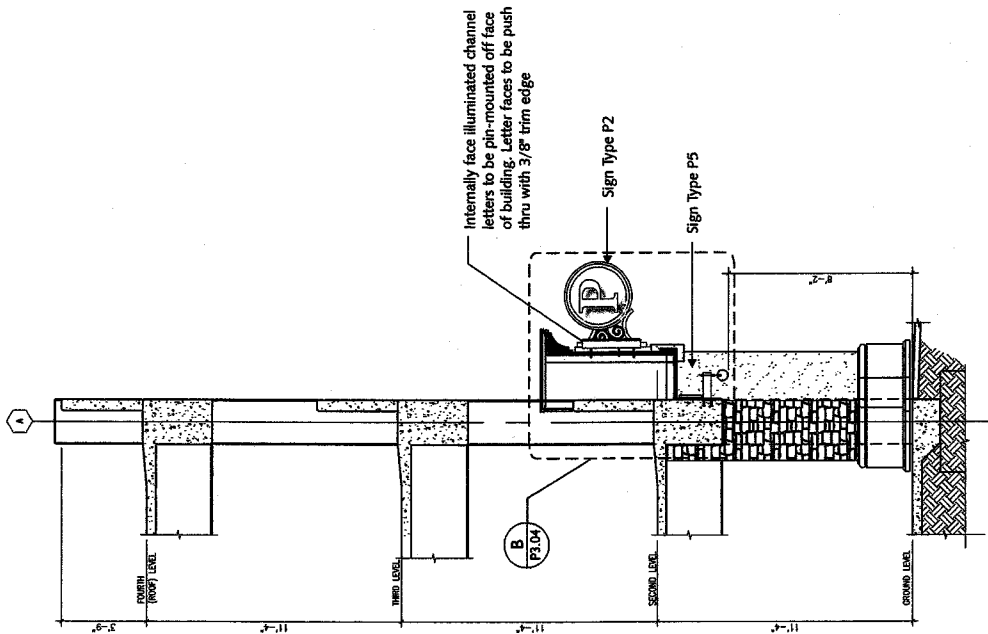
Details

Project:	120901
Date:	05/27/13
Scale:	Noted
Drawn By:	SMH
Checked By:	DMG

P3.04



B Enlarged Section Detail
 Scale: 3/4" = 1'-0"



A Section Detail
 Scale: 3/16" = 1'-0"

Note:
 Coordinate exact mounting location with on site PM.
 Coordinate blocking as required with on site PM.
 Coordinate all power requirements with on site PM.
 Engineering required by licensed engineer.
 Field verify access at mounting location.
 All fasteners to be non-ferrous.



Project Name:

DESERT HILLS
 PREMIUM OUTLETS™

Project Owner:

PREMIUM OUTLETS™
 SIMON

Project Architect:



No	Description	Date
01	PCS Review	06/22/13
02	PCS Review	06/24/13
03	PCS Review	07/18/13

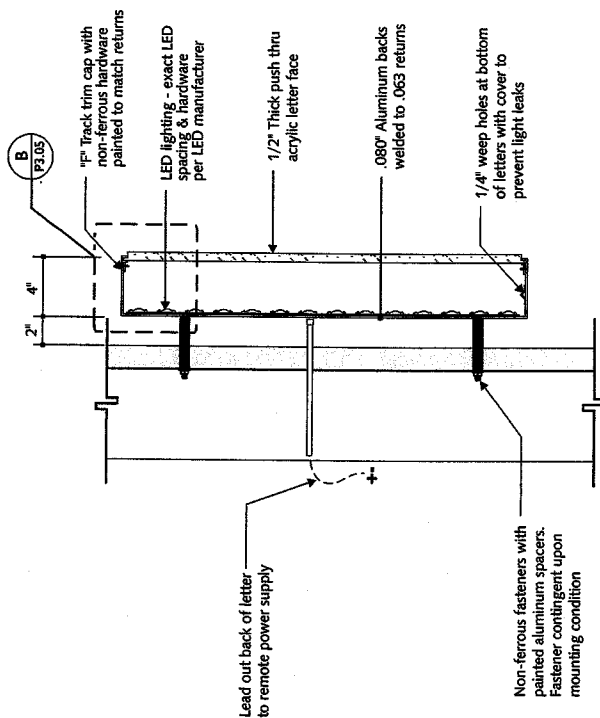
Exterior Signage

Signtype:
 (P3)

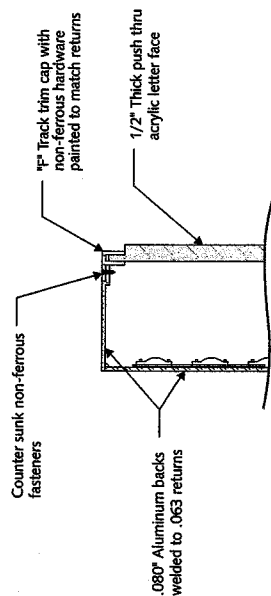
Details

Project:	12061
Date:	05/22/13
Scale:	Noted
Drawn By:	SPH
Checked By:	DPK

P3.05



A Channel Letter Detail (A1)
 Scale: 1-1/2" = 1'-0"



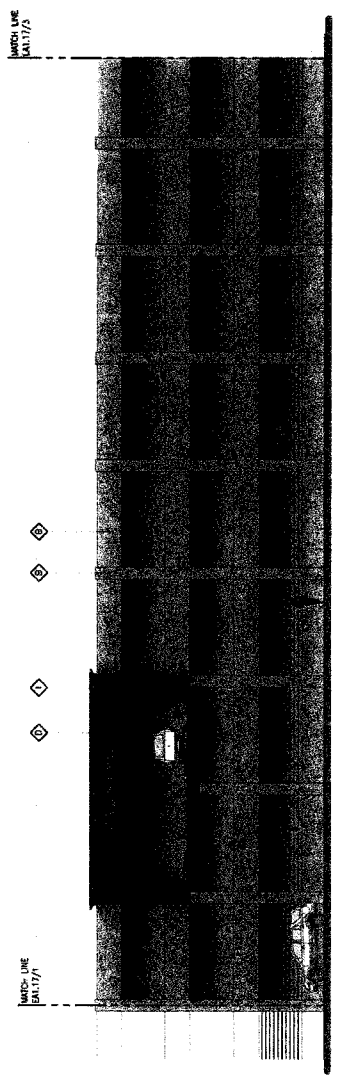
B Channel Letter Detail
 Scale: 1-1/2" = 1'-0"

No.	Description	Date
01	PCS Review	05/22/13
02	PCS Review	06/04/13
03	PCS Review	07/10/13

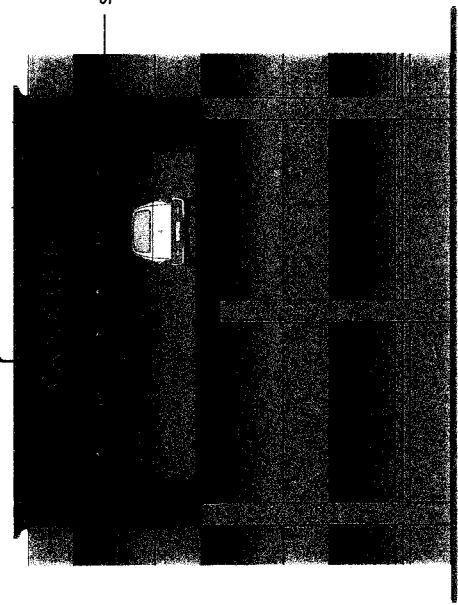
Project Architect:
3D STUDIO

Project:
 120801
 Date:
 05/22/13
 Scale:
 Noted
 Drawn By:
 SHH
 Checked By:
 DMG

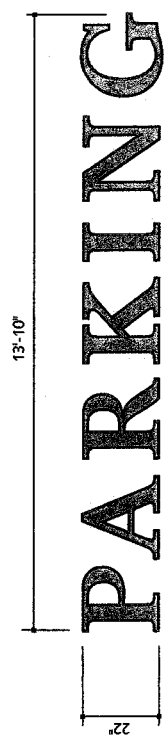
Project:
 120801
 Date:
 05/22/13
 Scale:
 Noted
 Drawn By:
 SHH
 Checked By:
 DMG



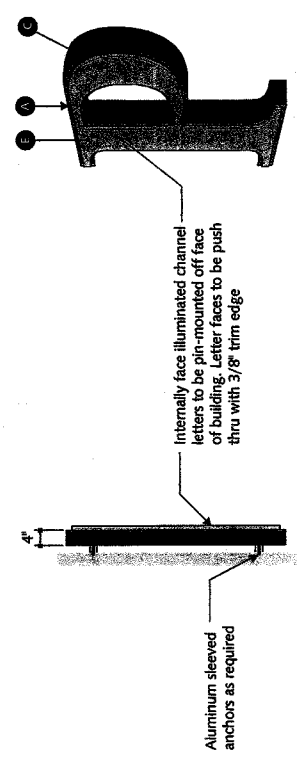
A East Elevation (P3)
 Scale: 1" = 20'-0"



B Enlarged Mounting Elevation - Sign Type (P3)
 Scale: 3/32" = 1'-0"



C Front Elevation - Sign Type (P3)
 Scale: 3/8" = 1'-0"



D Letter Detail - Sign Type (P3)
 Scale: 1" = 1'-0"

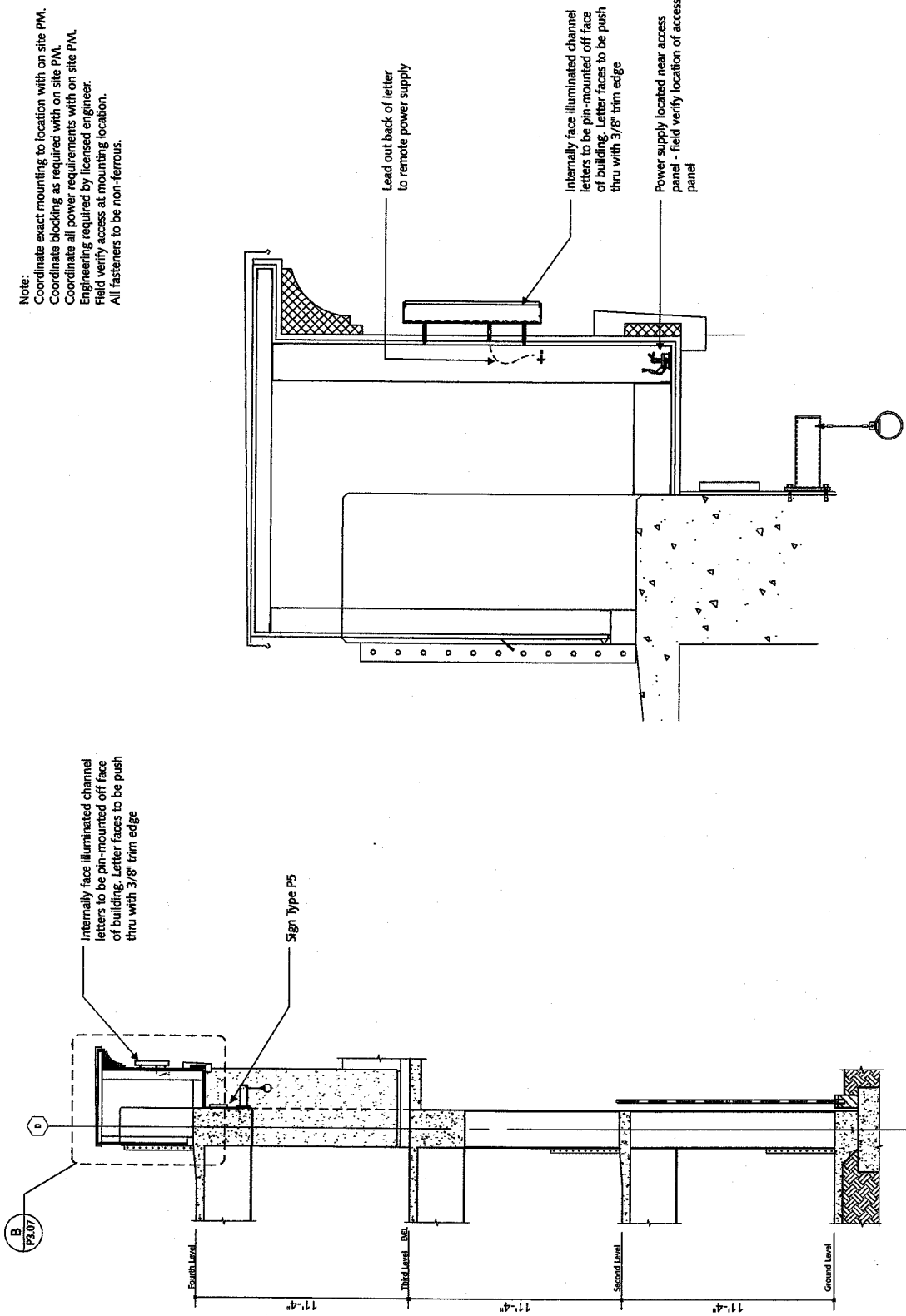
No.	Description	Date
01	PCS Review	05/22/13
02	PCS Review	06/24/13
03	PCS Review	07/18/13

Exterior Signage
 Signtype:
 (P3)

Parking Garage Elevations

Project:	120601
Date:	05/22/13
Scale:	Noted
Drawn By:	SHH
Checked By:	DWG

Notes:
 Coordinate exact mounting to location with on site PM.
 Coordinate blocking as required with on site PM.
 Coordinate all power requirements with on site PM.
 Engineering required by licensed engineer.
 Field verify access at mounting location.
 All fasteners to be non-ferrous.



A Section Detail
 Scale: 3/16" = 1'-0"

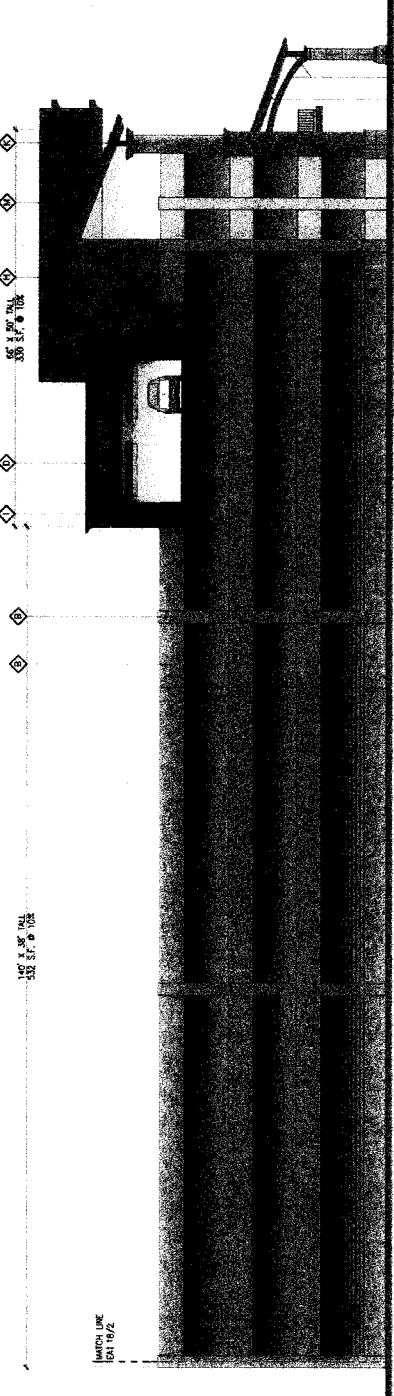
B Enlarged Section Detail
 Scale: 3/4" = 1'-0"

No.	Description	Date
01	DCS Review	05/22/13
02	DCS Review	06/24/13
03	DCS Review	07/18/13

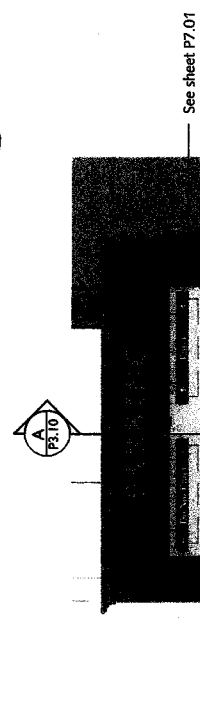
Exterior Signage
 Signtype: (P3)

Parking Garage Elevations

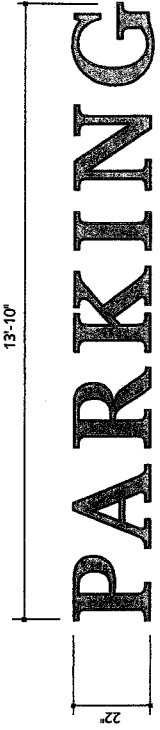
Project:	120801
Date:	05/22/13
Scale:	Noted
Drawn By:	SKH
Checked By:	DWG



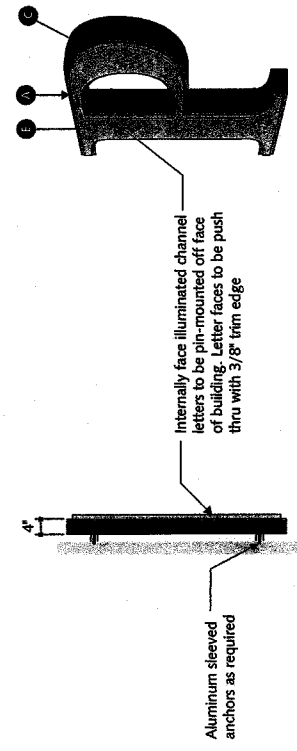
A Northwest Elevation (P3)
 Scale: 1" = 20'-0"



B Enlarged Mounting Elevation - Sign Type (P3)
 Scale: 3/32" = 1'-0"



C Front Elevation - Sign Type (P3)
 Scale: 3/8" = 1'-0"



D Letter Detail - Sign Type (P3)
 Scale: 1" = 1'-0"



No.	Description	Date
01	PCS Review	05/22/13
02	PCS Review	06/24/13
03	PCS Review	07/18/13

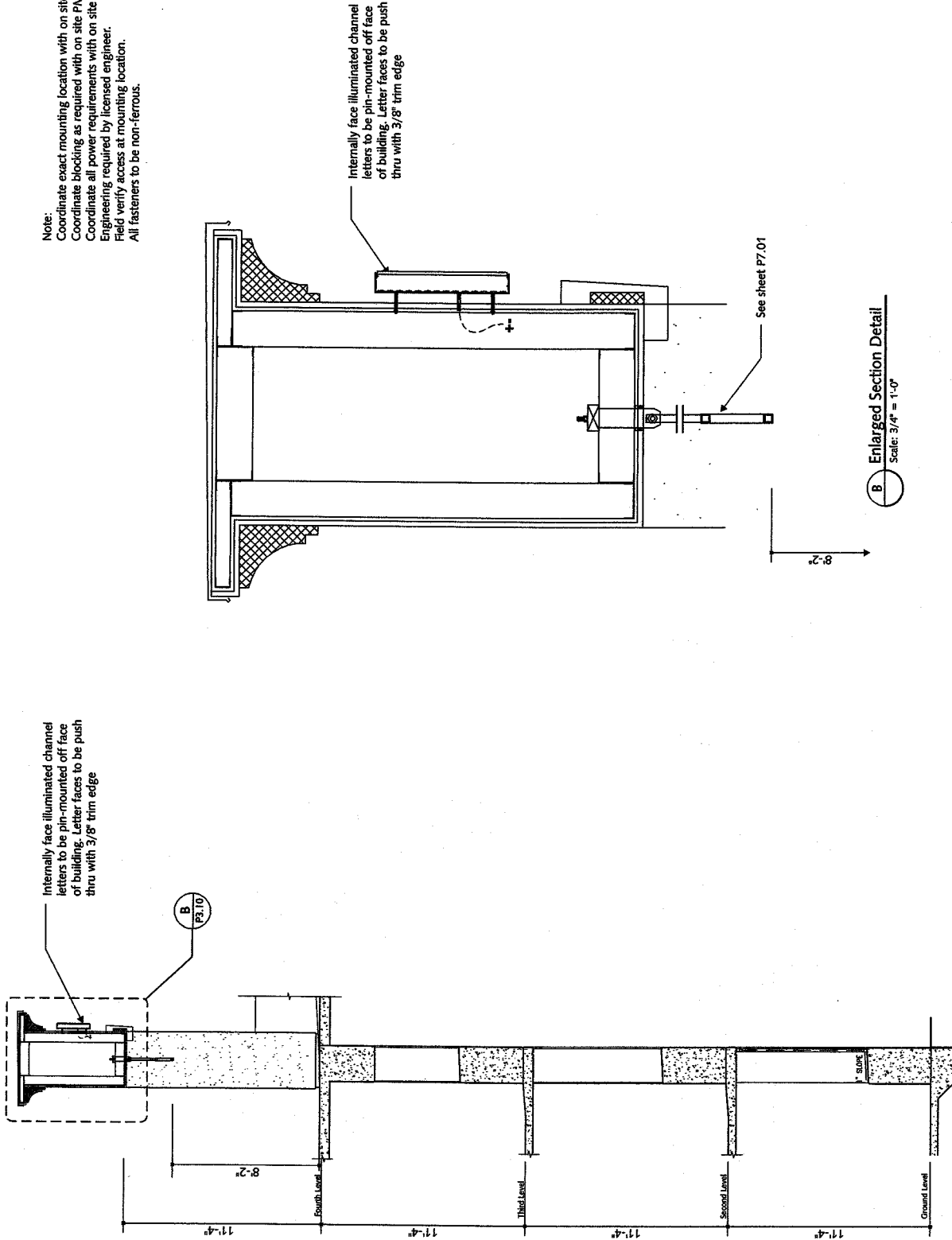
Exterior
 Signage

Signtype:
 (P3)

Parking Garage
 Elevations

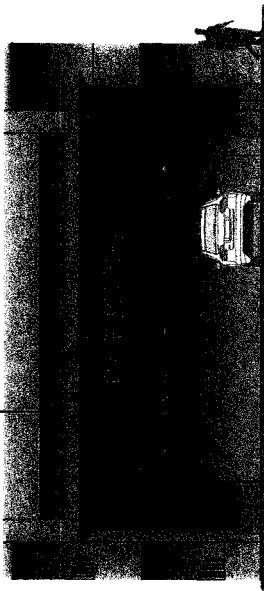
Project:	126801
Date:	05/22/13
Scale:	Noted
Drawn By:	SPH
Checked By:	DYG

Note:
 Coordinate exact mounting location with on site PM.
 Coordinate blocking as required with on site PM.
 Coordinate all power requirements with on site PM.
 Engineering required by licensed engineer.
 Field verify access at mounting location.
 All fasteners to be non-ferrous.



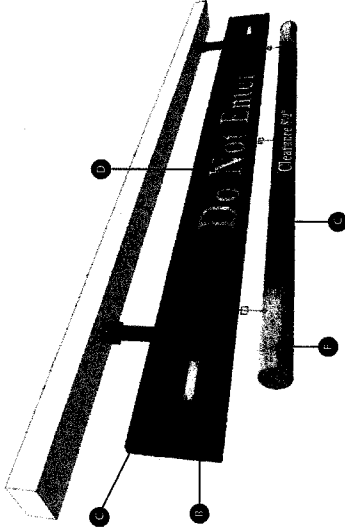
A Section Detail
 Scale: 3/16" = 1'-0"

B Enlarged Section Detail
 Scale: 3/4" = 1'-0"



A Parking Garage Entry Clearance - Sign Type (P4)

Scale: 3/32" = 1'-0"



3D
STUDIO
graphic design services
1100 West Annapolis - Suite 41, 9161
Foothill Parkway - Pasadena, CA 91104
(626) 799-0000

Project Name:
DESERT HILLS
PREMIUM OUTLETS

Project Owner:
PREMIUM OUTLETS
SIMON

Messages will vary, pending final message schedule



No.	Description	Date
01	PCS Review	06/29/13
02	PCS Review	06/29/13
03	PCS Review	07/19/13

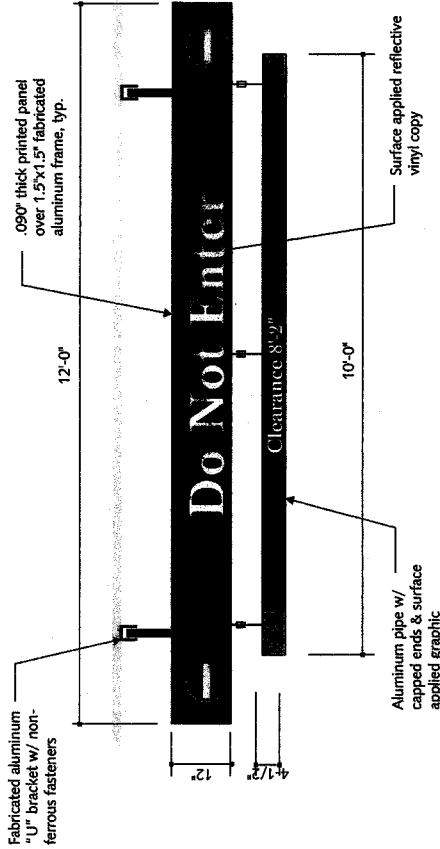
Project Architect:
AD

Sign type:
(P4)

Parking Garage
Elevations

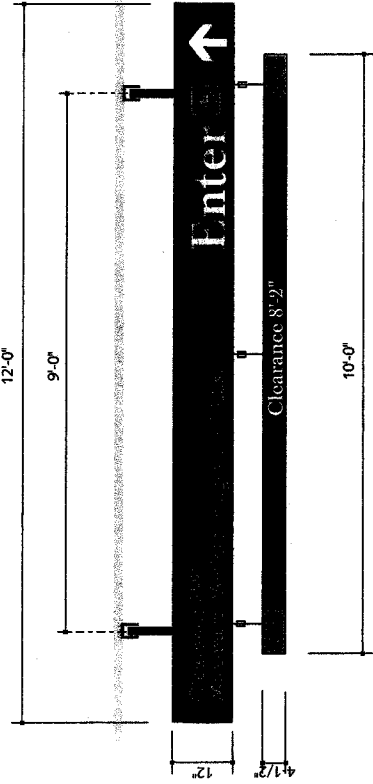
Project:	130801
Date:	03/27/13
Scale:	Noted
Drawn By:	SH
Checked By:	DNC

P4.01



B Front Elevation - Sign Type (P4)

Scale: 1/2" = 1'-0"



C Front Elevation - Sign Type (P4)

Scale: 1/2" = 1'-0"



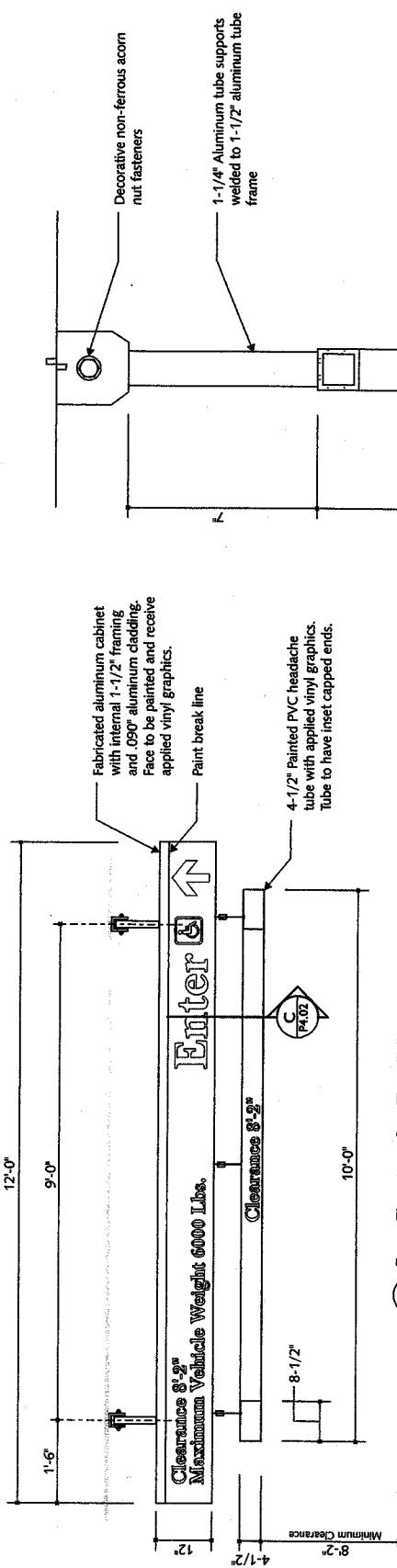
No.	Description	Date
01	PCB Review	05/22/13
02	PCB Review	06/24/13
03	PCB Review	07/18/13

Exterior Signage

Sign type: (P4)

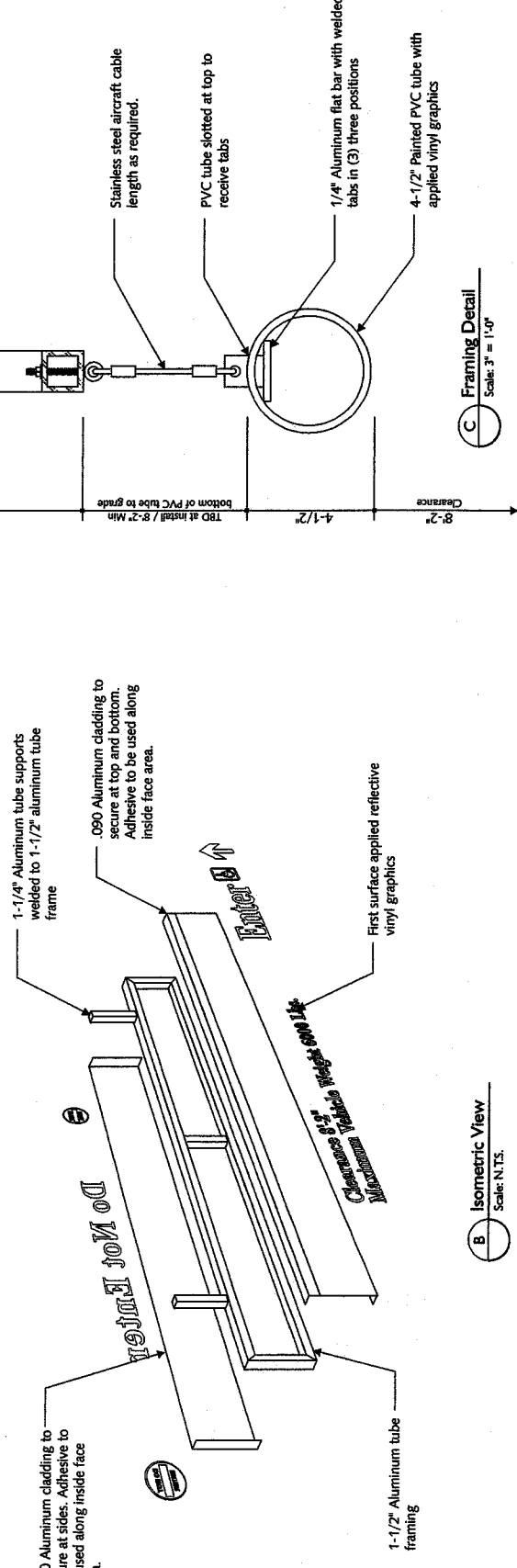
Details

Project:	126801
Date:	05/22/13
Scale:	Noted
Drawn By:	SPH
Checked By:	DYG



A Front Elevation - Sign Type (P4)
 Scale: 1/2" = 1'-0"

Note:
 Coordinate exact mounting to location with on site PM.
 Coordinate blocking as required with on site PM.
 Engineering required by licensed engineer.
 Field verify access at mounting location.
 All fasteners to be non-ferrous.



B Isometric View
 Scale: N.T.S.

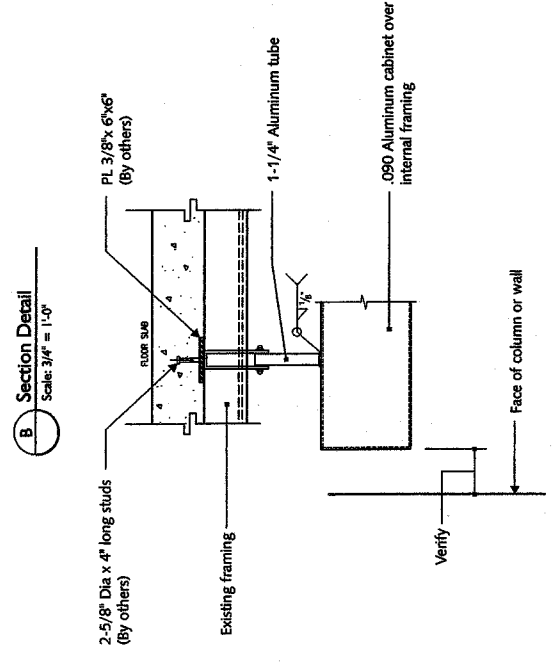
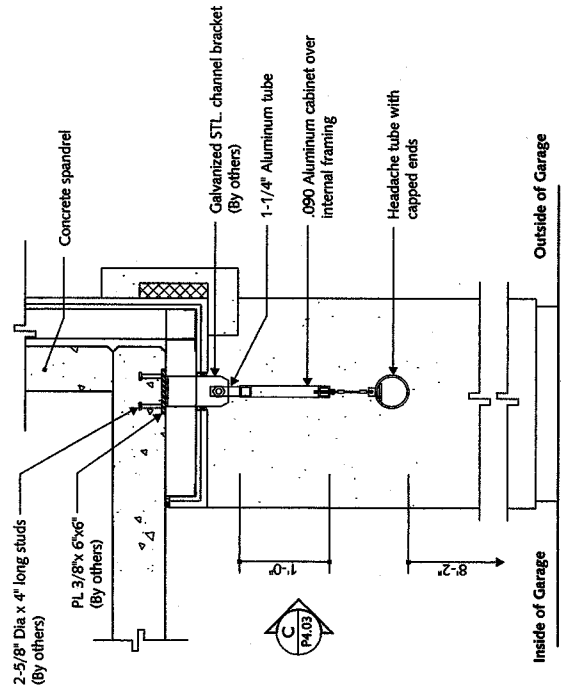
C Framing Detail
 Scale: 3" = 1'-0"

Clearance 8'-2"
 4-1/2"
 12"
 7"
 12"
 4-1/2"
 8'-2"
 T&B at install / 8'-2" Min
 Bottom of PVC tube to grade

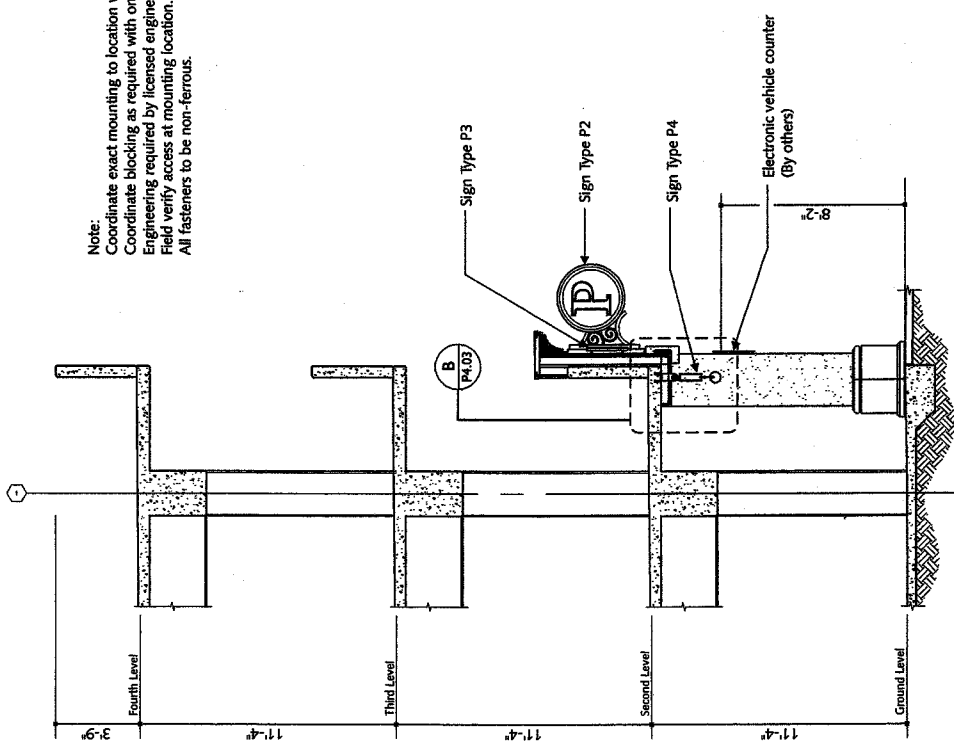
No.	Description	Date
01	PCS Review	05/20/13
02	PCS Review	06/04/13
03	PCS Review	07/18/13

Exterior Signage
 Signtype: (P4)
 Details

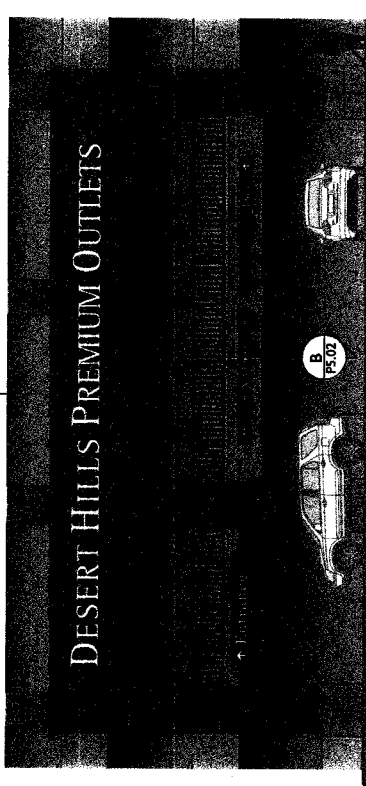
Project:	120601
Date:	05/22/13
Scale:	Noted
Drawn By:	SPH
Checked By:	DNC



Note:
 Coordinate exact mounting to location with on site PM.
 Coordinate blocking as required with on site PM.
 Engineering required by licensed engineer.
 Field verify access at mounting location.
 All fasteners to be non-ferrous.

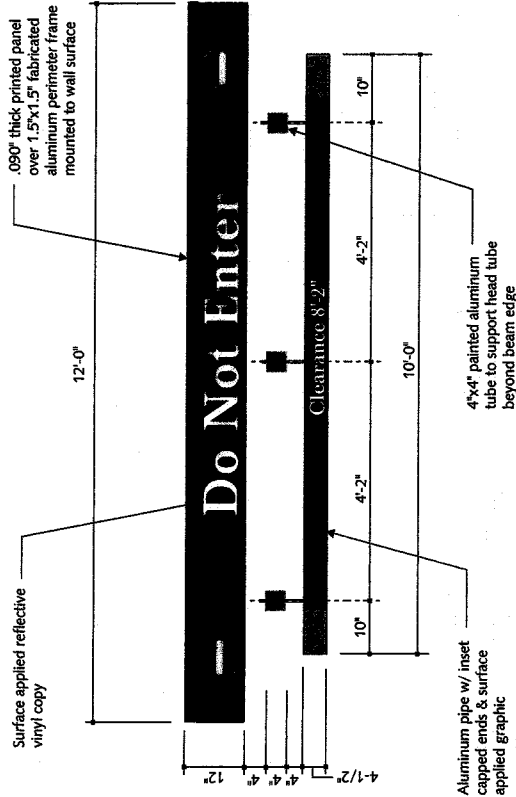


See sheet P8a.01

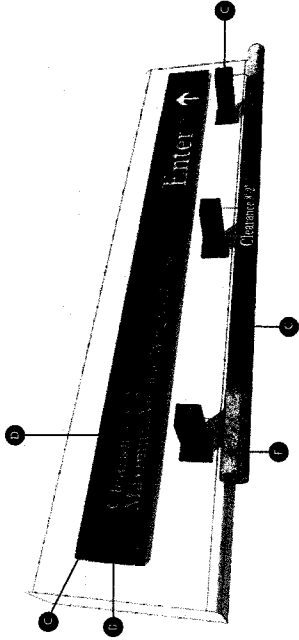


See sheet P20.01

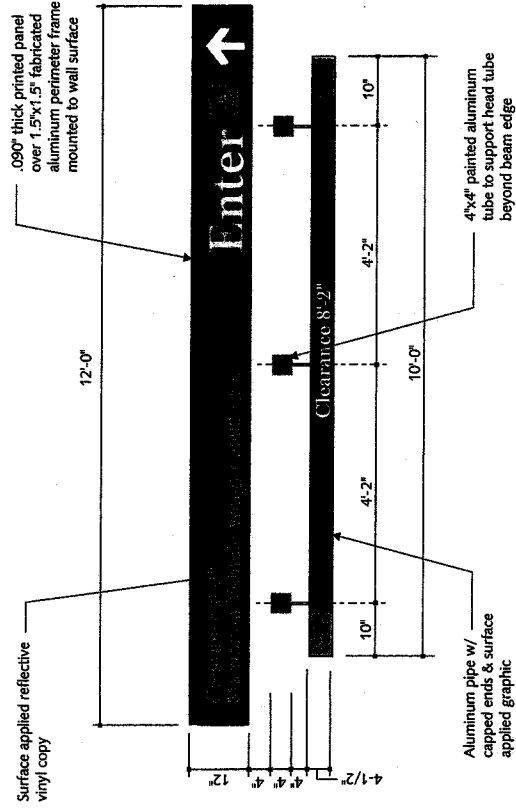
A Parking Garage Entry Clearance - Sign Type (P5)
Scale: 3/32" = 1'-0"



B Front Elevation - Sign Type (P5)
Scale: 1/2" = 1'-0"



Messages will vary pending final message schedule



C Front Elevation - Sign Type (P5)
Scale: 1/2" = 1'-0"

Project Name:

**DESERT HILLS
PREMIUM OUTLETS™**

Project Owner:

**PREMIUM
OUTLETS™
SIMON**

Project Architect:



No.	Description	Date
01	PCS Review	06/22/13
02	PCS Review	06/24/13
03	PCS Review	07/18/13

Exterior
Signage

Signtype:
(P5)

Parking Garage
Elevations

Project:	130801
Date:	05/22/13
Scale:	Noted
Drawn By:	SPH
Checked By:	DPK

Project Name:

**DESERT HILLS
 PREMIUM OUTLETS**

Project Owner:

**PREMIUM OUTLETS
 SIMON**

Project Architect:



No.	Description	Date
01	PCF Review	04/27/13
02	PCF Review	04/24/13
03	PCF Review	07/18/13

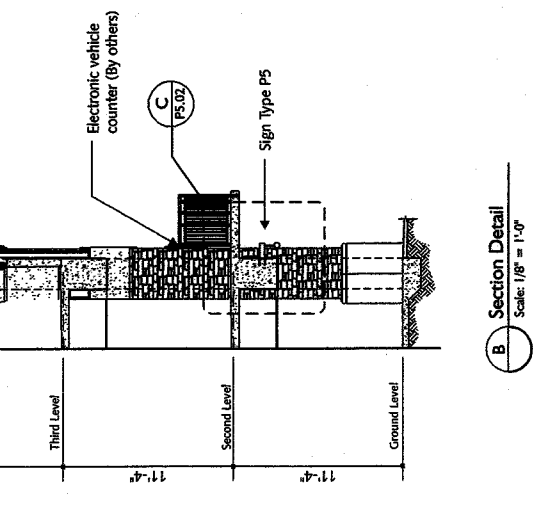
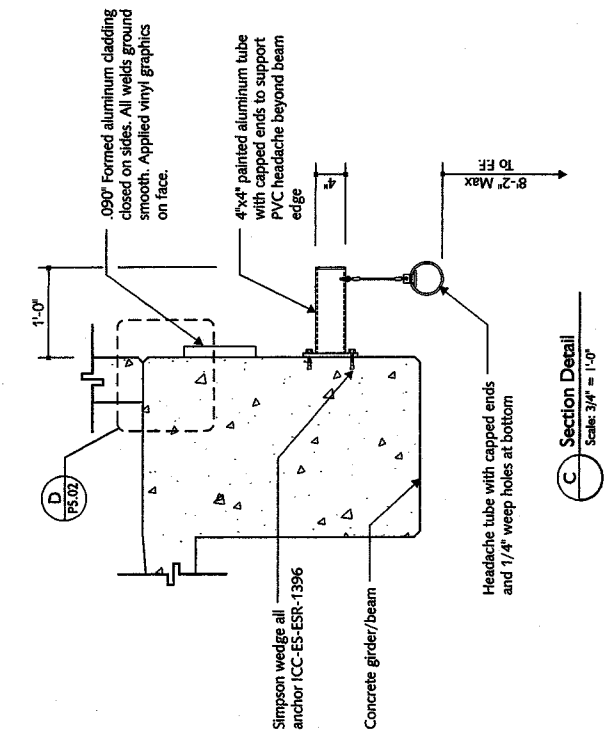
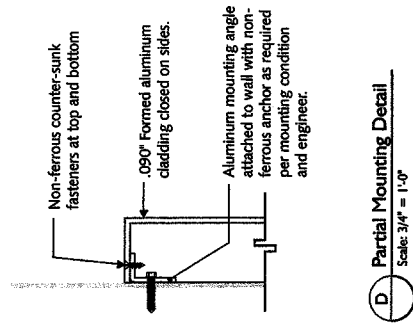
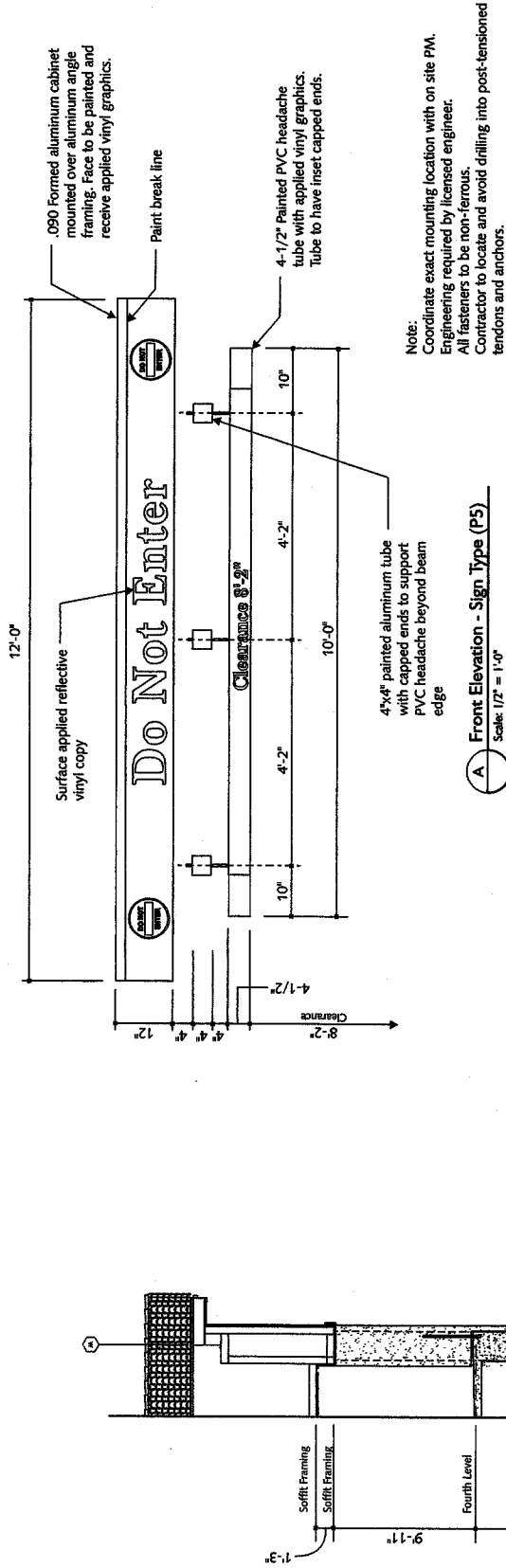
Excavator Signage

Signtype: (P5)

Details

Project:	120801
Date:	05/22/13
Scale:	Noted
Drawn By:	SKH
Checked By:	DYC

P5.02



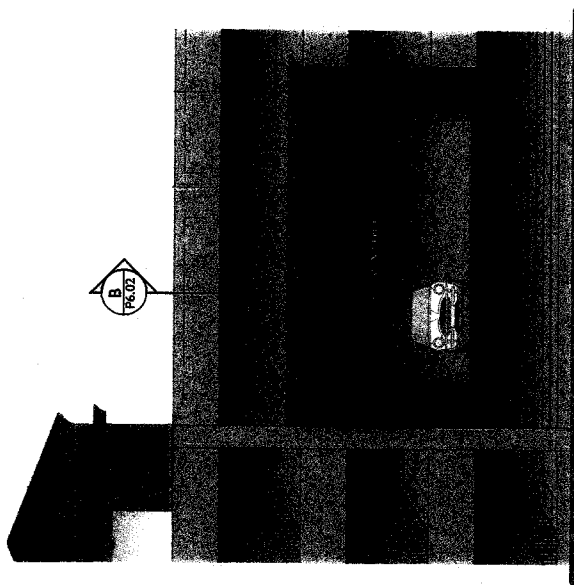


No.	Description	Date:
01	PCS Review	05/22/13
02	PCS Review	06/24/13
03	PCS Review	07/01/13

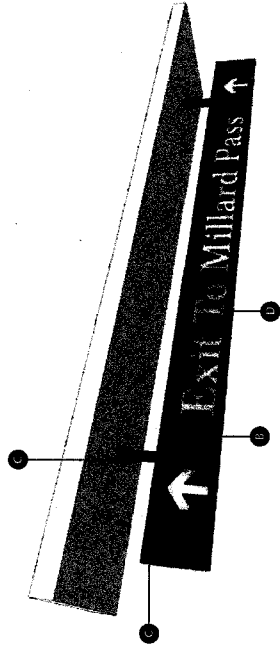
Exterior Signage
 Signtype: (P6)

Parking Garage Elevations

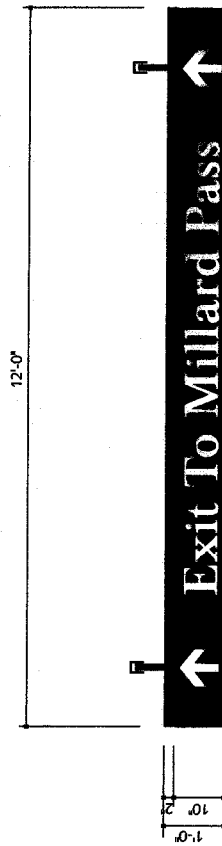
Project:	12680
Date:	05/22/13
Scale:	Noted
Drawn By:	SHH
Checked By:	DWG



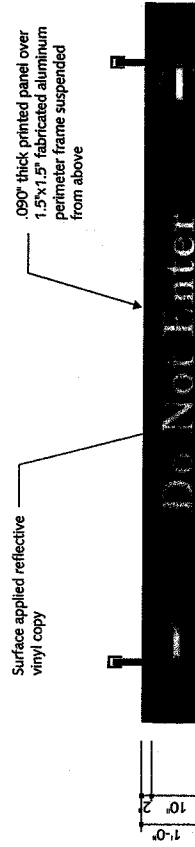
A Enlarged Mounting Elevation - Sign Type (P6)
 Scale: 3/32" = 1'-0"



Messages will vary pending final message schedule

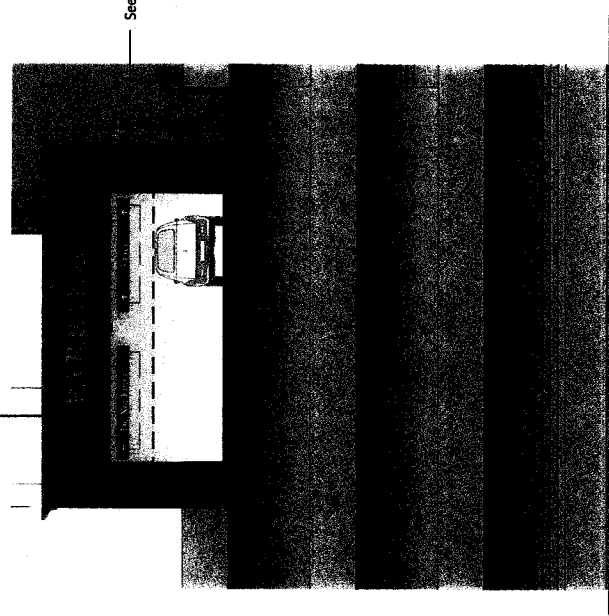


C Suspended Vehicular Signage - Sign Type (P6/A)
 Scale: 1/2" = 1'-0"



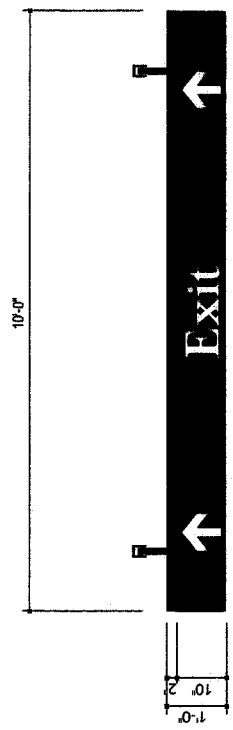
B Suspended Vehicular Signage - Sign Type (P6/B)
 Scale: 1/2" = 1'-0"

Surface applied reflective vinyl copy
 .090" thick printed panel over 1.5"x1.5" fabricated aluminum perimeter frame suspended from above



See sheet P7.01

A Enlarged Mounting Elevation - Sign Type (P7)
Scale: 3/32" = 1'-0"



C Suspended Vehicular Signage - Sign Type (P7/A)
Scale: 1/2" = 1'-0"



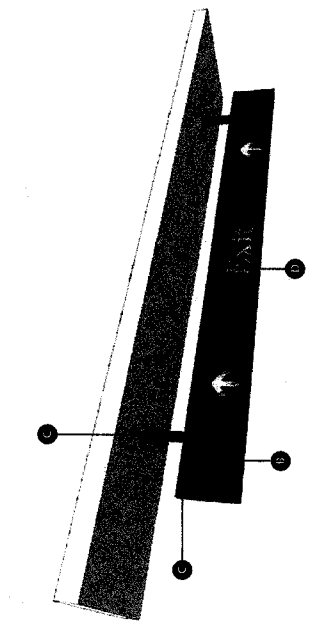
No.	Description	Date
01	PCS Review	06/22/13
02	PCS Review	06/24/13
03	PCS Review	07/18/13

Signage
Signage

Signtype:
(P7)

Parking Garage Elevations

Project:	130801
Date:	05/22/13
Scale:	Noted
Drawn By:	SPH
Checked By:	DNC



Messages will vary pending final message schedule

Surface applied reflective vinyl copy

.090" thick printed panel over 1.5"x1.5" fabricated aluminum perimeter frame suspended from above



B Suspended Vehicular Signage - Sign Type (P7/B)
Scale: 1/2" = 1'-0"



Sign Type (P7/A)

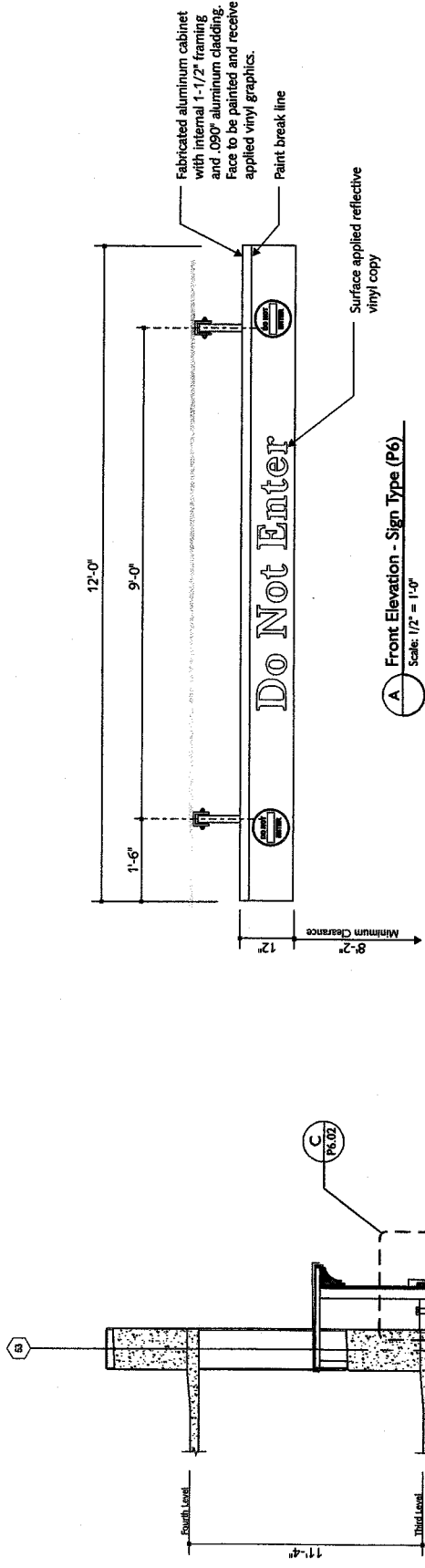


Sign Type (P7/B)

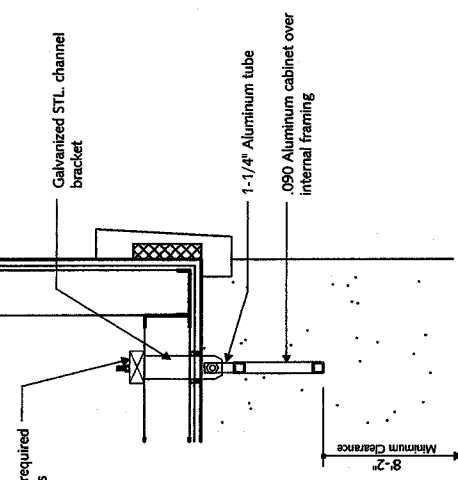
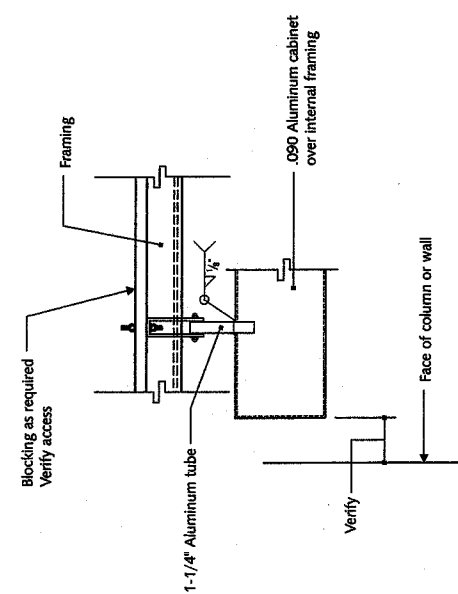
No.	Description	Date
01	PCS Review	05/22/13
02	PCS Review	06/24/13
03	PCS Review	07/18/13

Exterior Signage
 Signtype: **(P6)**

Details
 Project: 126801
 Date: 05/22/13
 Scale: Noted
 Drawn By: SHH
 Checked By: DPHG



Note:
 Coordinate exact mounting location with on site PM.
 Coordinate blocking as required with on site PM.
 Engineering required by licensed engineer.
 Field verify access at mounting location.
 All fasteners to be non-ferrous.



C Partial View
 Scale: 3/4" = 1'-0"

C Partial Mounting Detail
 Scale: 3/4" = 1'-0"

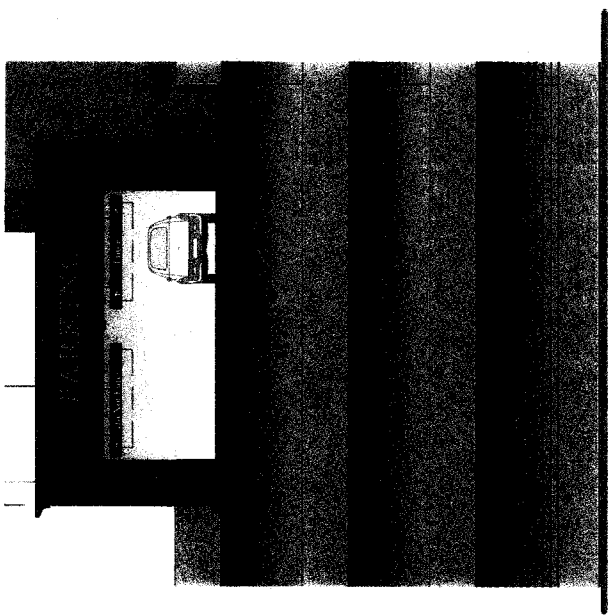
B Section Detail
 Scale: 3/16" = 1'-0"



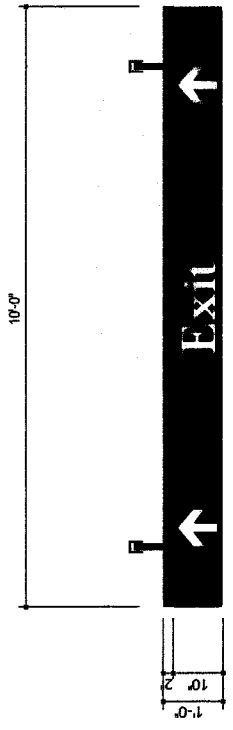
No.	Description	Date
01	POD Review	06/27/13
02	POD Review	08/24/13
03	POD Review	07/18/13

Exterior
 Signage
 Signtype:
 (P7)

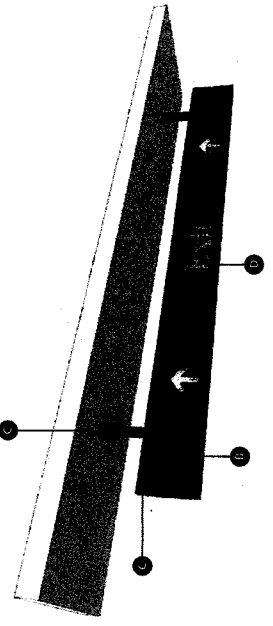
Parking Garage
 Elevations
 Project: 130601
 Date: 06/27/13
 Scale: Noted
 Drawn By: SPH
 Checked By: DFC



A Enlarged Mounting Elevation - Sign Type (P7)
 Scale: 3/32" = 1'-0"



C Suspended Vehicular Signage - Sign Type (P7/A)
 Scale: 1/2" = 1'-0"



Messages will vary pending final message schedule

Surface applied reflective vinyl copy
 .090" thick printed panel over 1.5"x1.5" fabricated aluminum perimeter frame suspended from above



B Suspended Vehicular Signage - Sign Type (P7/B)
 Scale: 1/2" = 1'-0"



Sign Type (P7/A)



Sign Type (P7/B)



Project Name:
**DESERT HILLS
 PREMIUM OUTLETS**

Project Owner:
**PREMIUM
 OUTLETS
 SIMON**

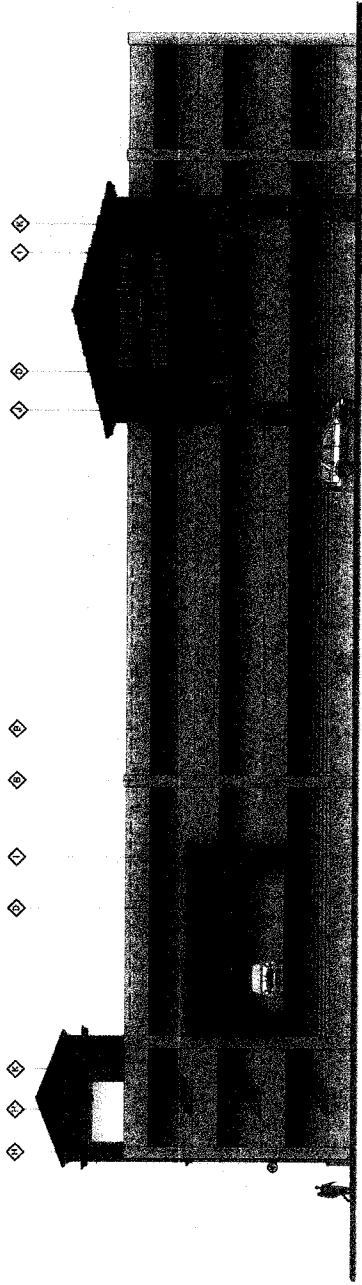
Project Architect:
AC



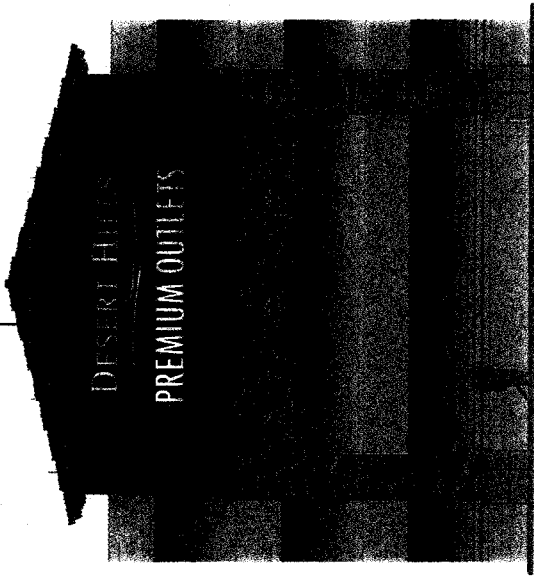
No.	Description	Date
01	PCS Review	05/22/13
02	PCS Review	06/24/13
03	PCS Review	07/18/13

Inventor
 Signage
 Signtype:
 (P8)

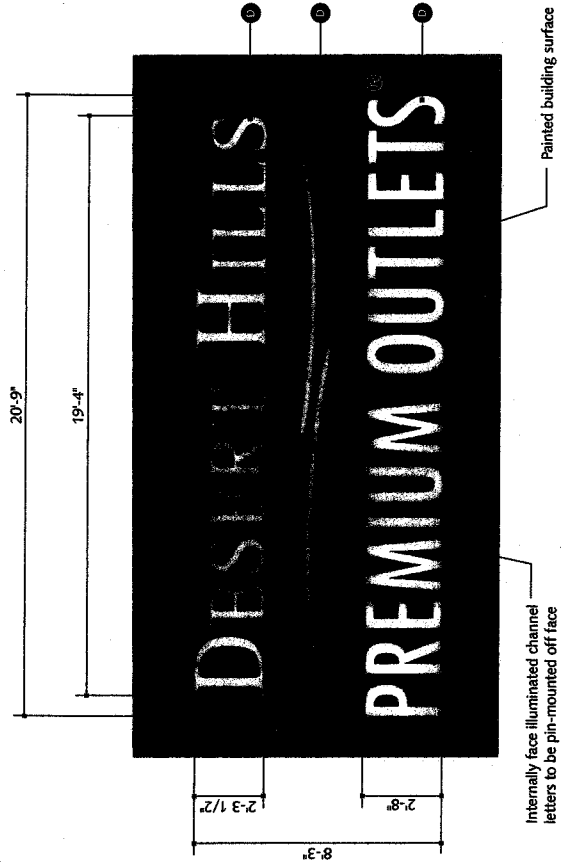
Parking Garage
 Elevations
 Project: 120801
 Date: 05/22/13
 Scale: Notes
 Drawn By: SPH
 Checked By: DYG



A Southwest Elevation - Sign Type (P8)
 Scale: 1" = 20'-0"



B Enlarged Mounting Elevation - Sign Type (P8)
 Scale: 3/32" = 1'-0"



C Front Elevation - Sign Type (P8)
 Scale: 1/4" = 1'-0"

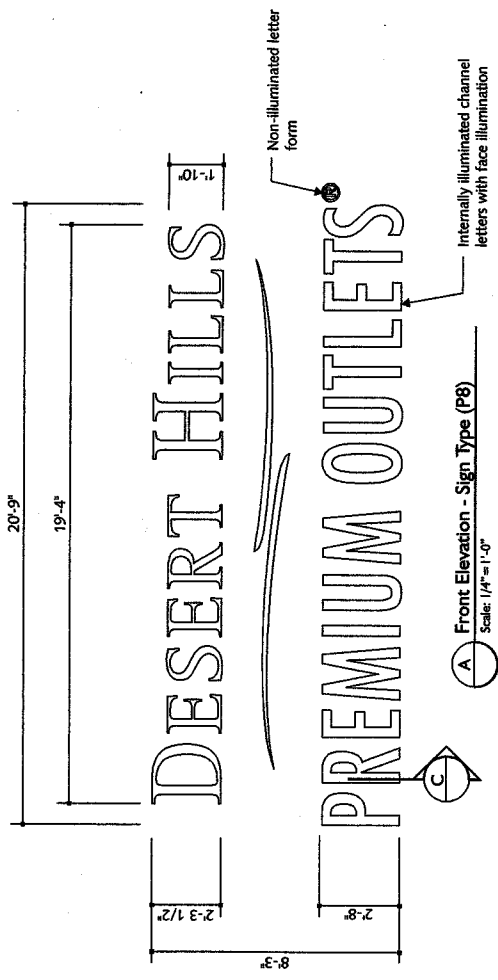


No.	Description	Date
01	PCB Review	06/22/13
02	PCB Review	06/25/13
03	PCB Review	07/16/13

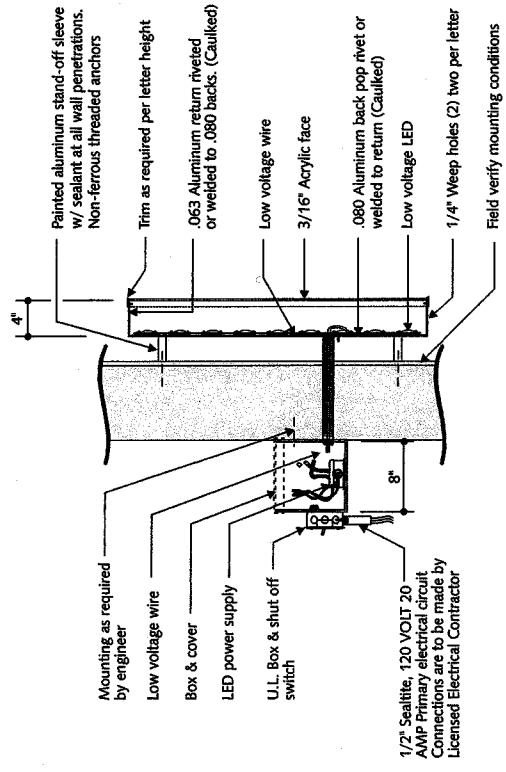
Inerior Signage
 Signtype: (P8)

Parking Garage Elevations

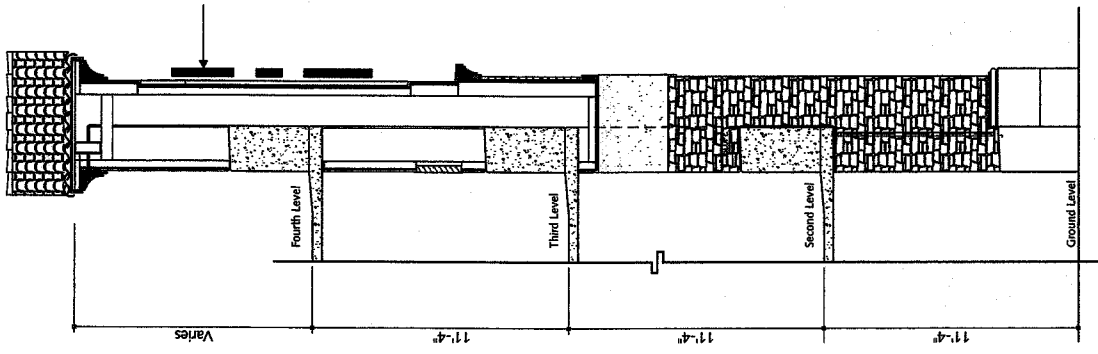
Project:	130801
Date:	05/27/13
Scale:	As Shown
Drawn By:	SPH
Checked By:	DHC



Note:
 Coordinate exact mounting location with on site PM.
 Coordinate blocking as required with on site PM.
 Coordinate all power requirements with on site PM.
 Engineering required by licensed engineer.
 Field verify access at mounting location.
 All fasteners to be non-ferrous.



C Front Elevation - Sign Type (P8)
 Scale: 1/4" = 1'-0"





Project Name:
**DESERT HILLS
 PREMIUM OUTLETS**

Project Owner:
**PREMIUM OUTLETS
 SIMON**

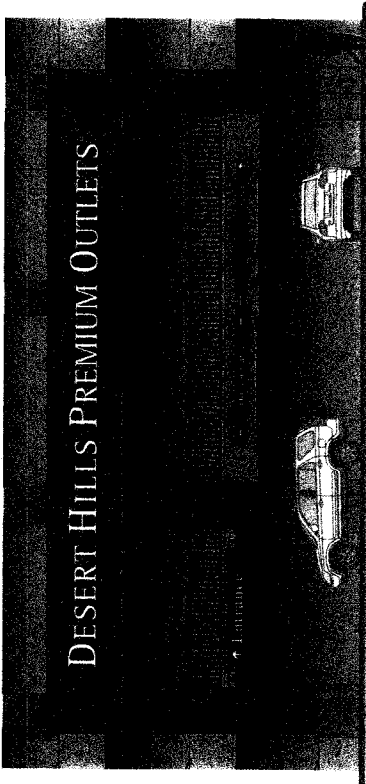


No.	Description	Date
01	POS Review	05/22/13
02	POS Review	06/24/13
03	POS Review	07/18/13

Interior Signage
 Signtype: (P8a)

Parking Garage Elevations

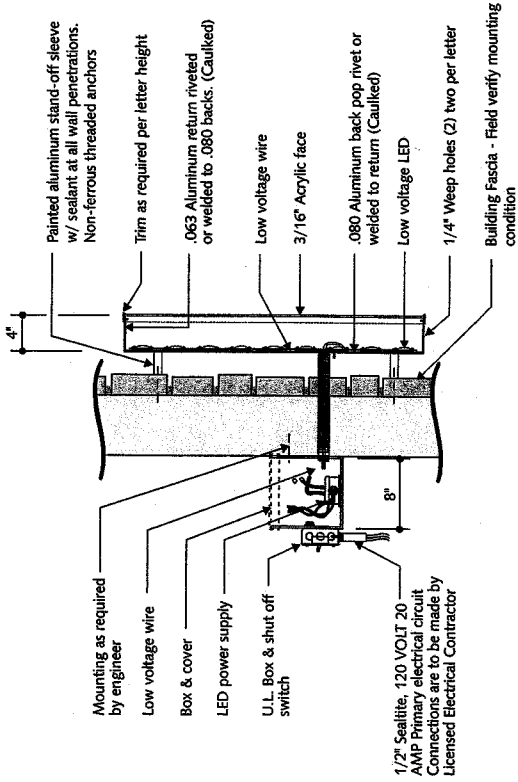
Project: 120801
 Date: 05/22/13
 Scale: Noted
 Drawn By: SHH
 Checked By: DFK



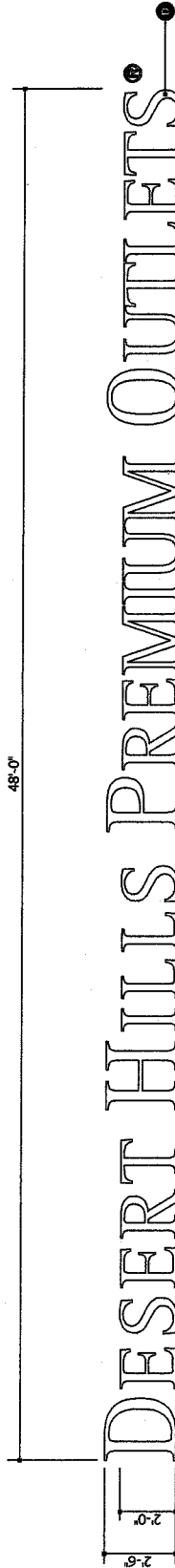
See sheet P20.01

A Parking Garage Entry Clearance - Sign Type (P8a)
 Scale: 3/32" = 1'-0"

Note:
 Coordinate exact mounting location with on site PM.
 Coordinate blocking as required with on site PM.
 Engineering required by licensed engineer.
 Field verify access at mounting location.
 All fasteners to be non-ferrous.



C Front Elevation - Sign Type (P8a)
 Scale: N.T.S.



Internally face illuminated channel letters to be pin-mounted off face of building. Letters to have white face and returns

B Front Elevation - Sign Type (P8a)
 Scale: 1/4" = 1'-0"

P8a.01

Section IV

Interior Identity & Way-finding Signage

Section IV - Interior Identity & Way-finding Signage

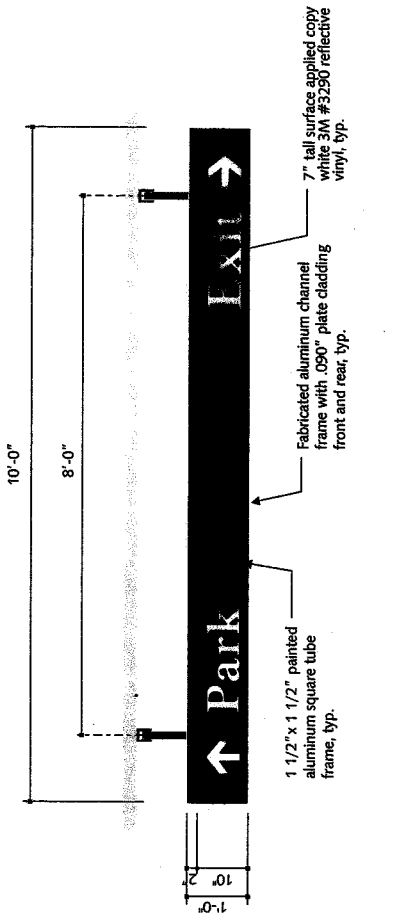
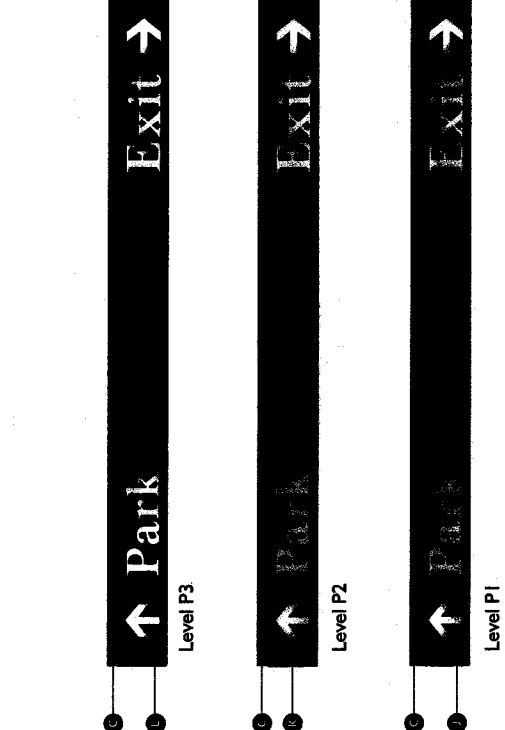
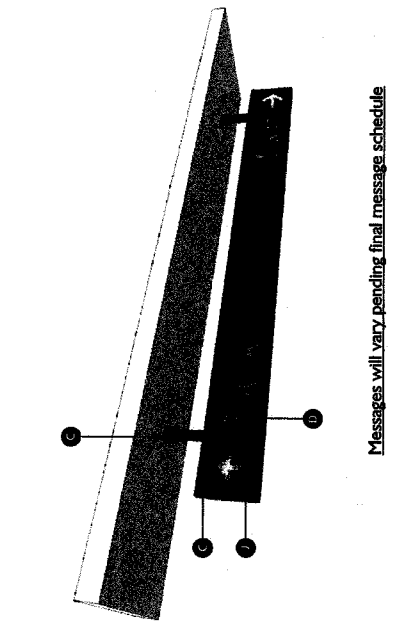
P9.01	Interior Wayfinding Signage	Sign Type: P9
P9.02	Interior Wayfinding Signage - Details	Sign Type: P9
P10.01	Parking Level Identity Signage	Sign Type: P10
P11.01	Parking Level Identity Signage	Sign Type: P11
P11.02	Parking Level Identity Signage - Details	Sign Type: P11
P12.01	Upper Level Wayfinding Signage	Sign Type: P12
P13.01	Escalator Identity Signage	Sign Type: P13
P13.02	Escalator Identity Signage - Details	Sign Type: P13
P14.01	Stair Level Identity Signage	Sign Type: P14
P15.01	Lifesafety Signage At Elevator	Sign Type: P15
P16.01	ADA Room Identity Signage	Sign Type: P16
P17.01	Primary Elevator Identity Signage	Sign Type: P17
P18.01	Secondary Elevator Identity Signage	Sign Type: P18
P19.01	Stair Entrance Identity Pendant	Sign Type: P19
P20.01	Overhead Pedestrian Signage	Sign Type: P20
P21.01	Pole Mounted Pedestrian Signage	Sign Type: P21
P22.01	Electronic Vehicle Counter (By others)	Sign Type: P22
EP01	Emergency Phone Signage	Sign Type: EP

No.	Description	Date
01	PCS Review	05/27/13
02	PCS Review	06/24/13
03	PCS Review	07/18/13

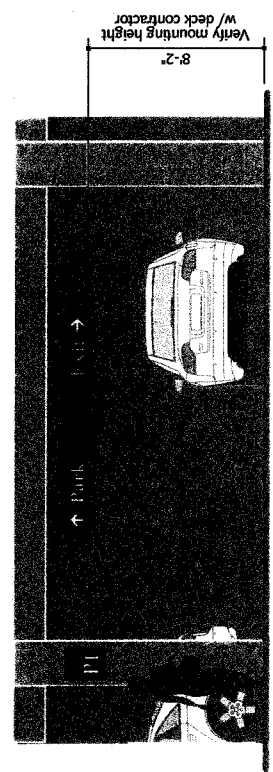
Interior Signage
 Sign Type: (P9)

Parking Garage Elevations

Project:	12801
Date:	05/27/13
Scale:	Noted
Drawn By:	SPH
Checked By:	DPG



B Overhead Vehicular Directional Elevation - Sign Type (P9)
 Scale: 1/2" = 1'-0"



A Overhead Vehicular Directional Mounting Elevation - Sign Type (P9)
 Scale: 3/16" = 1'-0"

Project Name:

DESERT HILLS
PREMIUM OUTLETS

Project Owner:

PREMIUM OUTLETS
SIMON

Project Architect:



No.	Description	Date
01	PCS Review	05/27/13
02	PCS Review	06/24/13
03	PCS Review	07/18/13

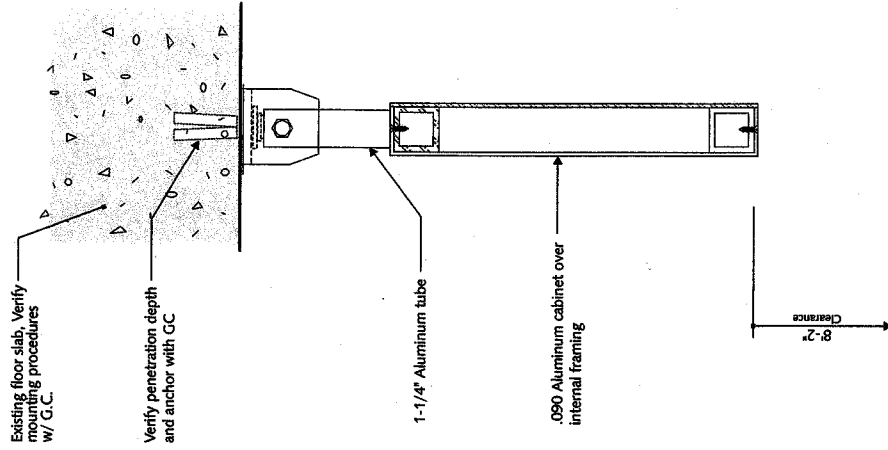
Interior Signage

Sign type: (P9)

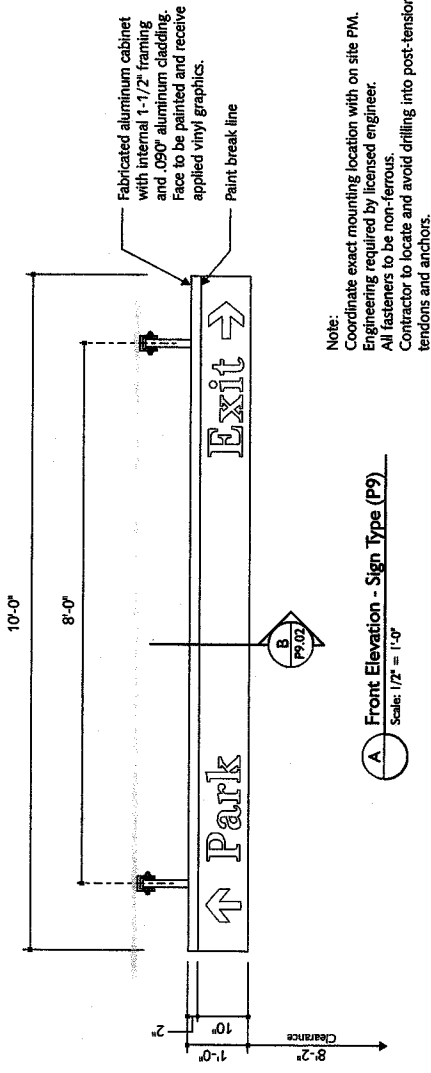
Details

Project:	130501
Date:	05/27/13
Scale:	Noted
Drawn By:	SPH
Checked By:	DNYC

P9.02

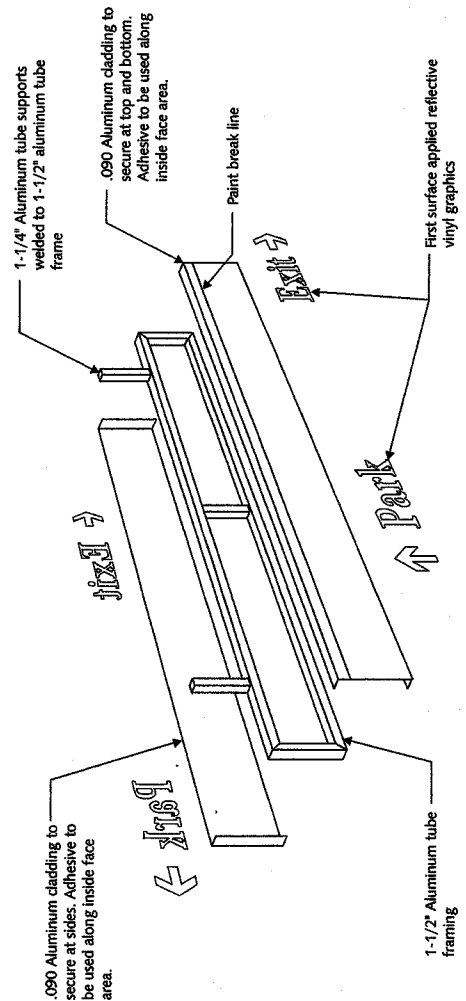


B Section Detail
 Scale: 3" = 1'-0"



A Front Elevation - Sign Type (P9)
 Scale: 1/2" = 1'-0"

Note:
 Coordinate exact mounting location with on site PM.
 Engineering required by licensed engineer.
 All fasteners to be non-ferrous.
 Contractor to locate and avoid drilling into post-tensioned tendons and anchors.



C Isometric View
 Scale: N.T.S.

Project Name:

**DESERT HILLS
 PREMIUM OUTLETS**

Project Owner:

**PREMIUM
 OUTLETS
 SIMON**

Project Architect:



No.	Description	Date:
01	PCS Review	05/22/13
02	PCS Review	06/24/13
03	PCS Review	07/18/13

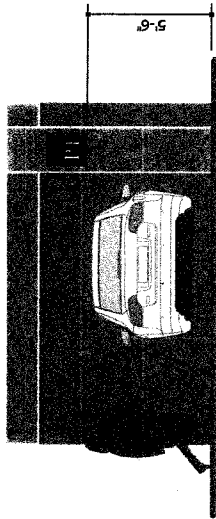
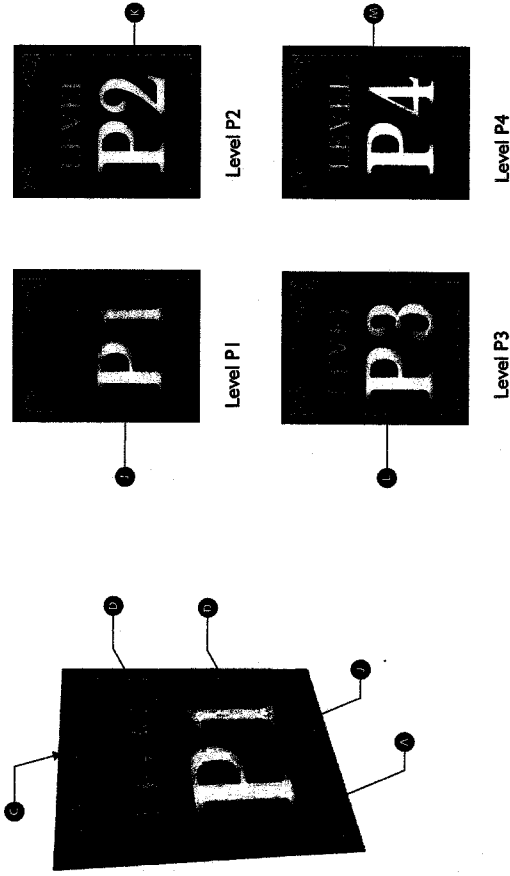
Interior Signage

Signtype: **(P10)**

Parking Garage Elevations

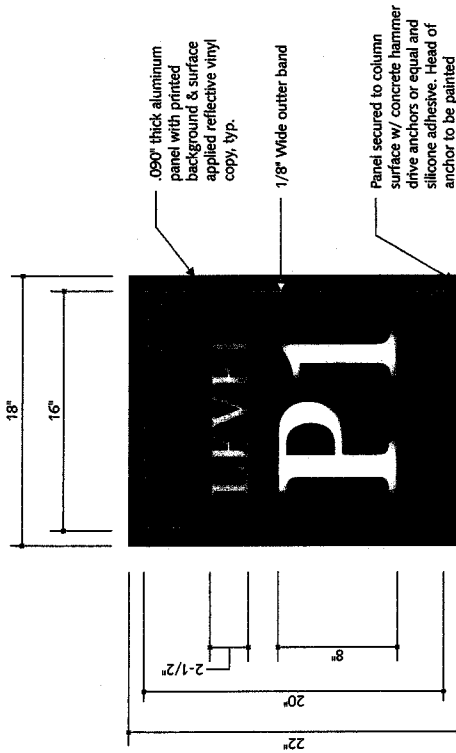
Project:	129601
Date:	05/22/13
Scale:	Noted
Drawn By:	SHH
Checked By:	DMG

P10.01



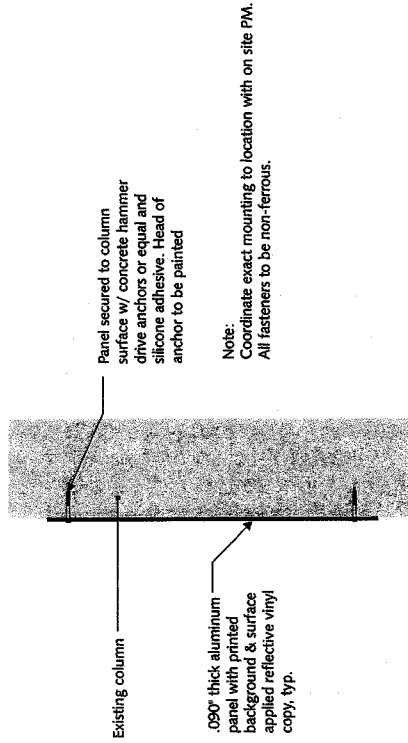
A Level Identity Mounting Elevation - Sign Type (P10)

Scale: 3/16"=1'-0"



B Level Identity - Sign Type (P10)

Scale: 1/12"=1'-0"



Note:
 Coordinate exact mounting to location with on site PM.
 All fasteners to be non-ferrous.

C Side Elevation - Sign Type (P10)

Scale: 3"=1'-0"





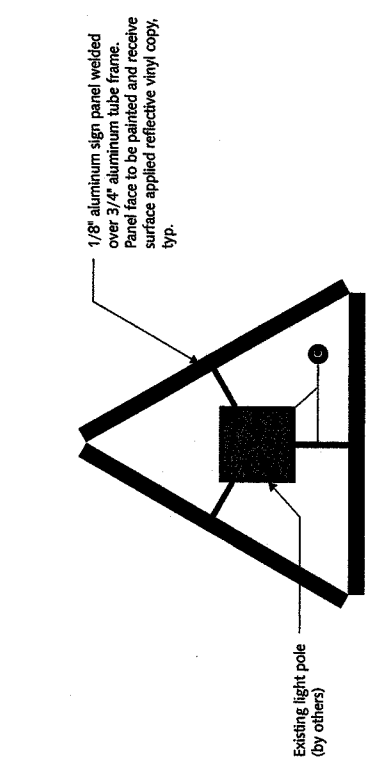
No.	Description	Date
01	PCS Revisor	05/27/13
02	PCS Revisor	04/24/13
03	PCS Revisor	07/18/13

Interior Signage

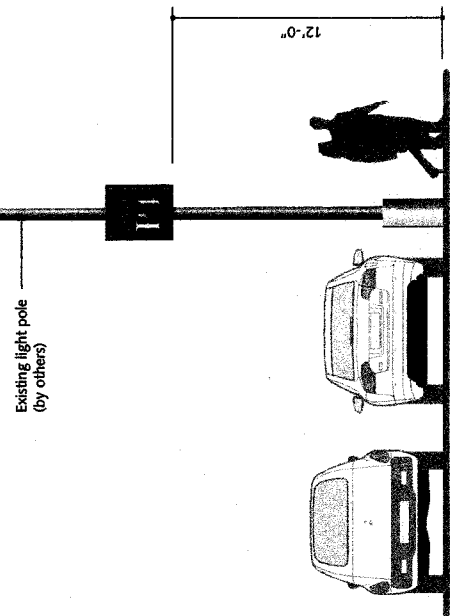
Sign type:
(P11)

Parking Garage Elevations

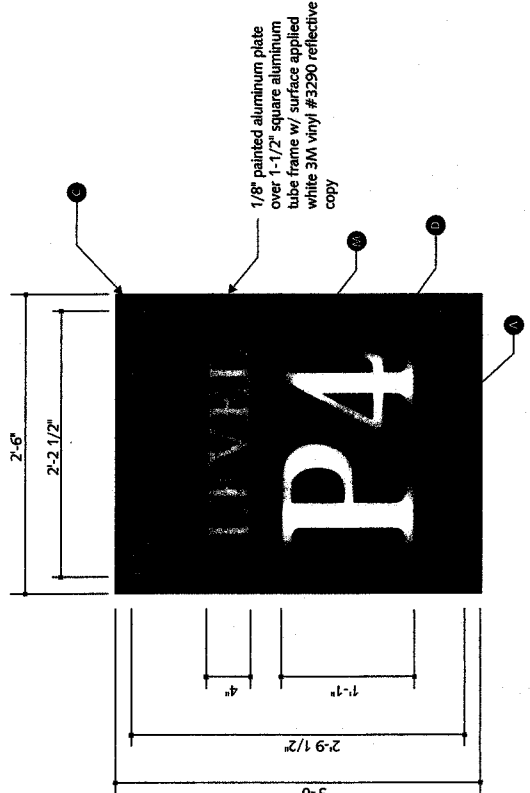
Project:	120601
Date:	05/22/13
Scale:	Noted
Drawn By:	SPH
Checked By:	DMC



A Pole Mounted Level ID - Sign Type (P11)
 Scale: 3/16"=1'-0"



B Typical Front Elevation - Sign Type (P11)
 Scale: 1"=1'-0"



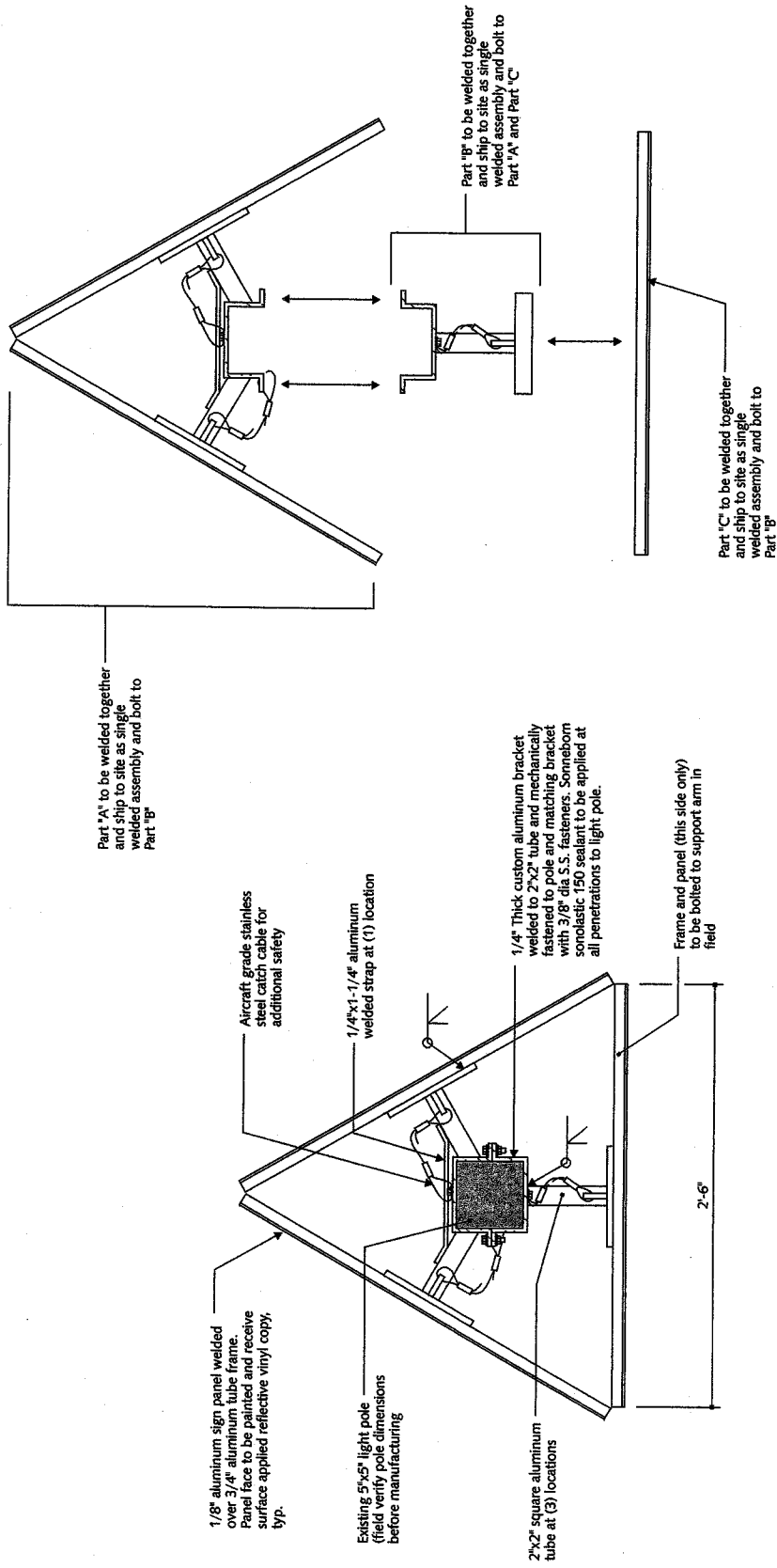
C Plan View - Sign Type (P11)
 Scale: 1"=1'-0"

Pole Mounted Level ID - Sign Type (P11)
 Scale: 3/16"=1'-0"

Typical Front Elevation - Sign Type (P11)
 Scale: 1"=1'-0"

Plan View - Sign Type (P11)
 Scale: 1"=1'-0"

Note:
 Coordinate exact mounting location with on site PM.
 Engineering required by licensed engineer.
 All fasteners to be non-ferrous.
 All penetrations to light pole to be sealed.
 All penetrations must avoid internal wiring.



A Plan Assembly View (P11)
 Scale: 1/2" = 1'-0"

B Plan Assembly View (P11)
 Scale: 1/2" = 1'-0"

No.	Description	Date
01	PCS Review	05/22/13
02	PCS Review	06/26/13
03	PCS Review	07/18/13

Interior Signage
 Signtype:
(P11)

Parking Garage Elevations

Project:	120801
Date:	05/22/13
Scale:	Noted
Drawn By:	SPH
Checked By:	DMG



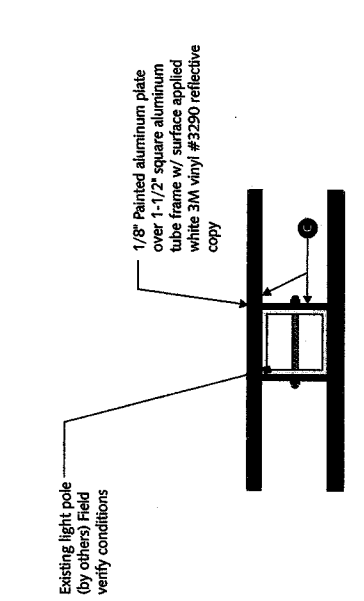
No.	Description	Date
01	PCS Revisions	06/27/13
02	PCS Revisions	06/27/13
03	PCS Revisions	07/18/13

Roof Level
 Signage

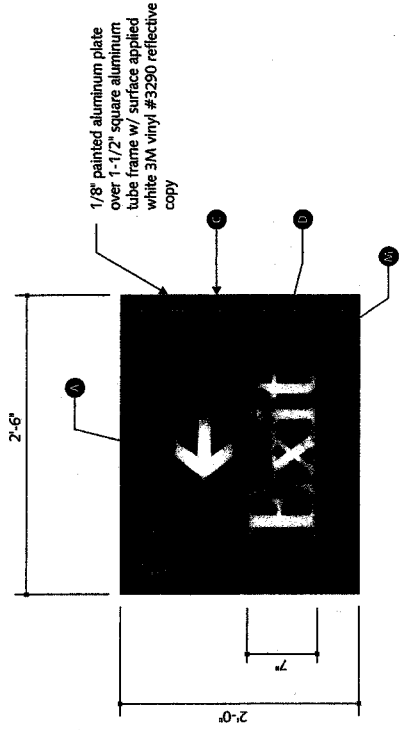
Signtype:
 (P12)

Parking Garage
 Elevations

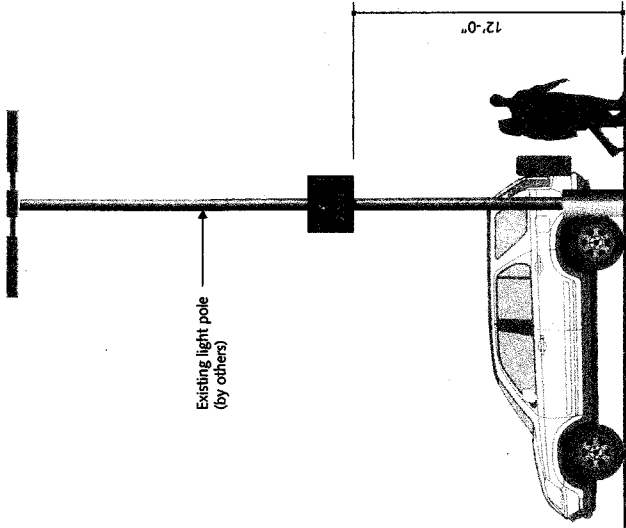
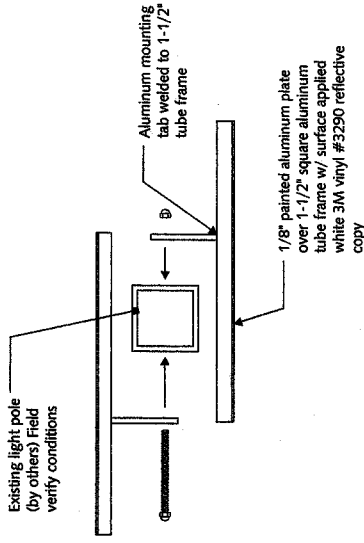
Project:	120601
Date:	05/22/13
Scale:	Noted
Drawn By:	SMH
Checked By:	DWG



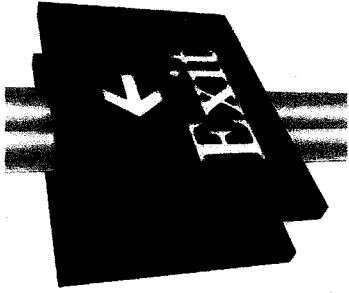
C Plan View - Sign Type (P12)
 Scale: 1"=1'-0"



B Pole Mounted Directional - Sign Type (P12)
 Scale: 1"=1'-0"



A Typical Front Elevation - Sign Type (P12)
 Scale: 1"=1'-0"

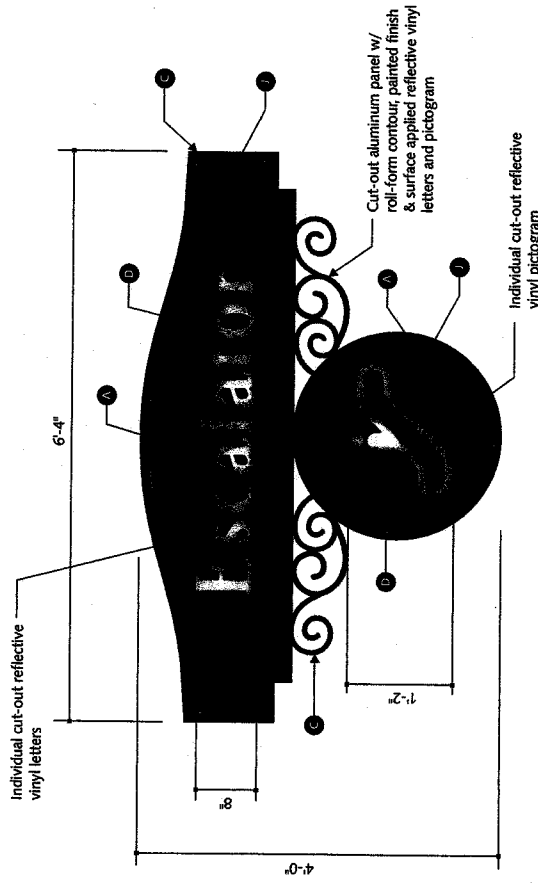


No.	Description	Date
01	PCS Review	06/22/13
02	PCS Review	06/24/13
03	PCS Review	07/09/13

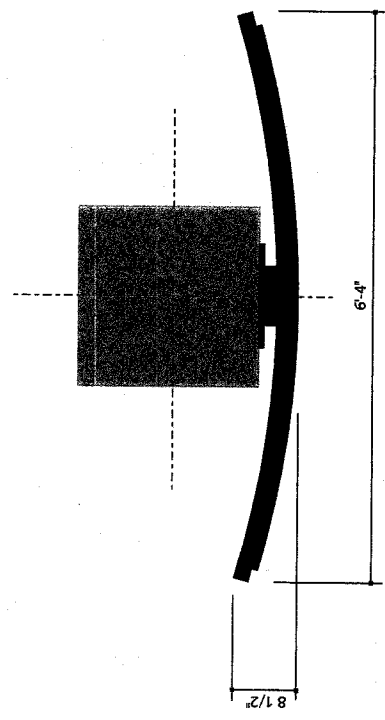
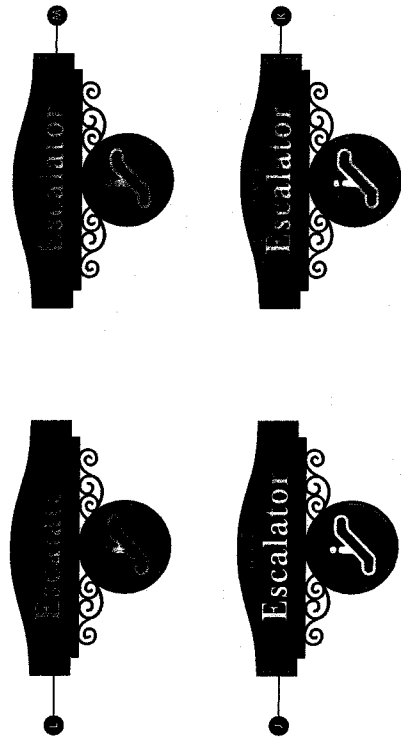
Escalator Level
 Identity Signage
 Signtypes:
 (P13)

Parking Garage
 Elevations

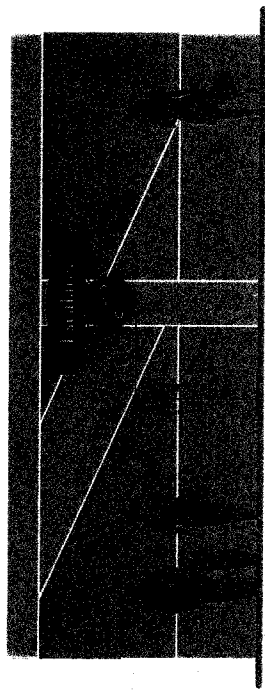
Project:	12001
Date:	07/22/13
Scale:	Noted
Drawn By:	SPH
Checked By:	DNK



C Front Elevation - Sign Type (P13)
 Scale: 3/4" = 1'-0"



B Plan View - Sign Type (P13)
 Scale: 3/4" = 1'-0"



A Escalator Identity Mounting Elevation - Sign Type (P13)
 Scale: 3/16" = 1'-0"

Project Name:

**DESERT HILLS
 PREMIUM OUTLETS**

Project Owner:

**PREMIUM OUTLETS
 SIMON**

Project Architect:



No.	Description	Date
01	POC Review	05/22/13
02	POC Review	06/24/13
03	POC Review	07/18/13

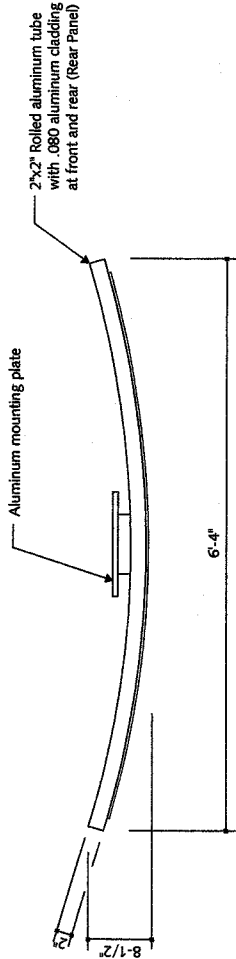
Escalator Level
 Identity Signage

Sign type:
 (P13)

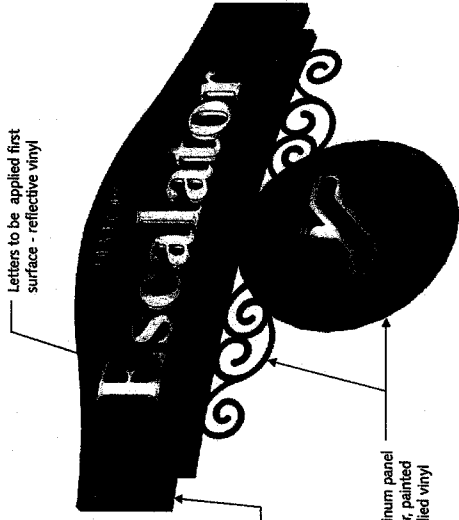
Details

Project:	120801
Date:	05/22/13
Scale:	As Noted
Drawn By:	SPH
Checked By:	DWC

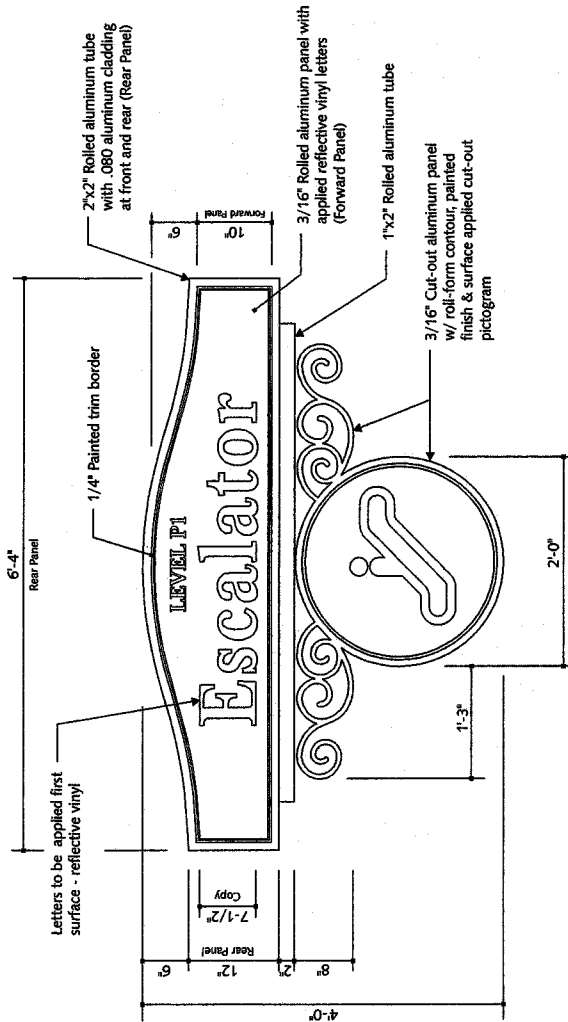
Note:
 Coordinate exact mounting location with on site PM.
 Engineering required by licensed engineer.
 All fasteners to be non-ferrous.



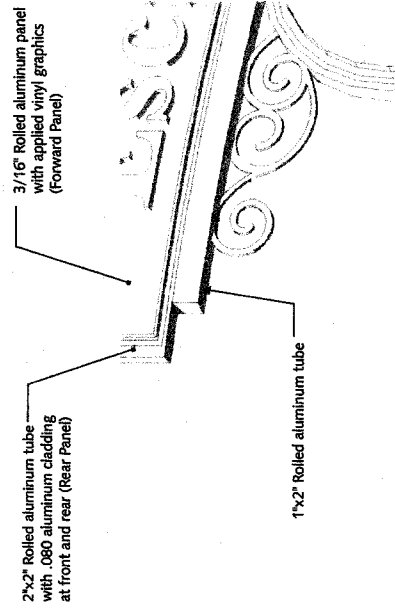
B Plan View - Sign Type (P13)
 Scale: 3/4" = 1'-0"



C Isometric View - Sign Type (P13)
 Scale: N.T.S.



A Front Elevation - Sign Type (P13)
 Scale: 3/4" = 1'-0"



D Enlarged View - Sign Type (P13)
 Scale: N.T.S.

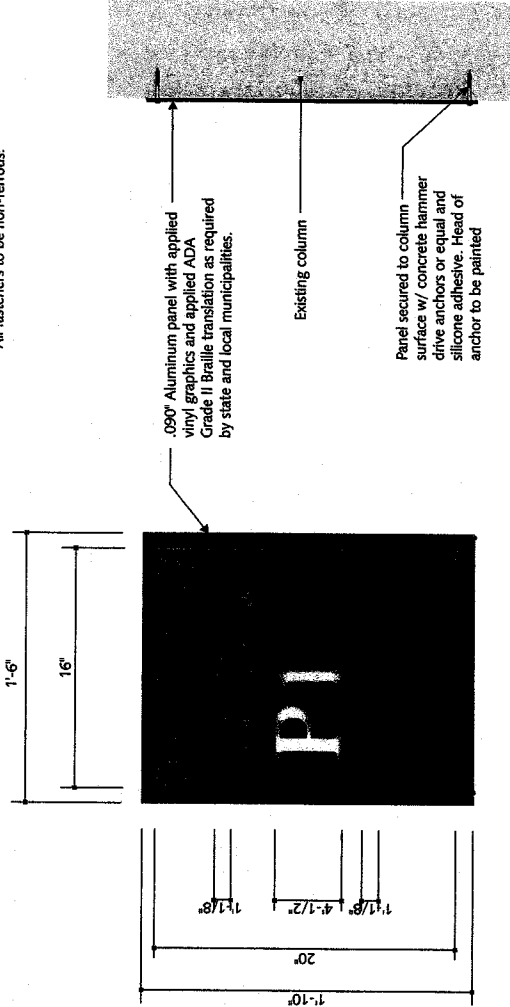
No.	Description	Date
01	PCS Review	05/22/13
02	PCS Review	06/24/13
03	PCS Review	07/18/13

Stairwell Level
 Identity Signage
 Signtype:
 (P14)

Parking Garage
 Elevations

Project:	120801
Date:	05/22/13
Scale:	Noted
Drawn By:	SPH
Checked By:	DPK

Note:
 Coordinate exact mounting location with on site PM.
 All fasteners to be non-ferrous.

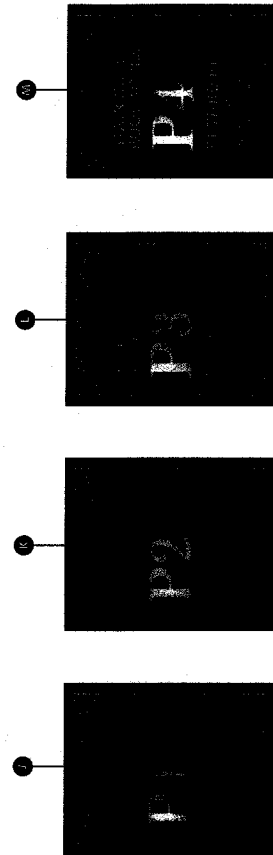


.059" Aluminum panel with applied vinyl graphics and applied ADA Grade II Braille translation as required by state and local municipalities.

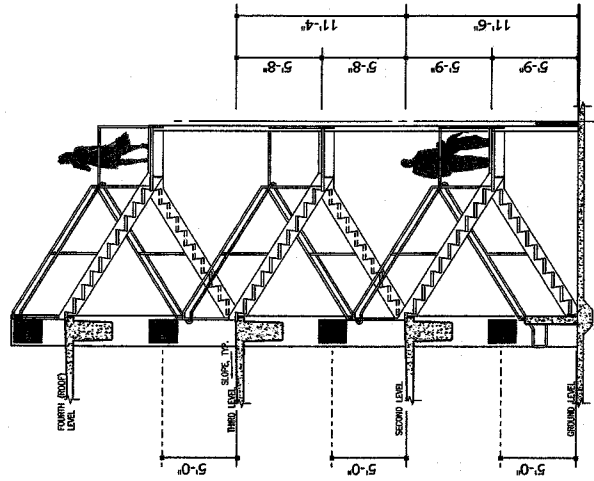
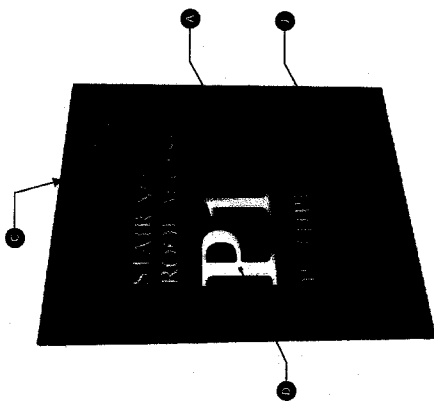
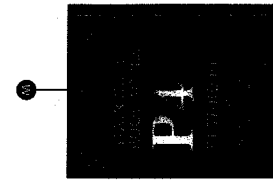
Panel secured to column surface w/ concrete hammer drive anchors or equal and silicone adhesive. Head of anchor to be painted

Existing column

B Front Elevation - Sign Type (P14)
 Scale: 1/2" = 1'-0"



C Side Elevation - Sign Type (P14)
 Scale: 3" = 1'-0"



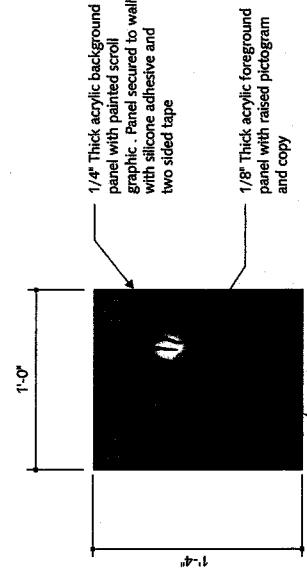
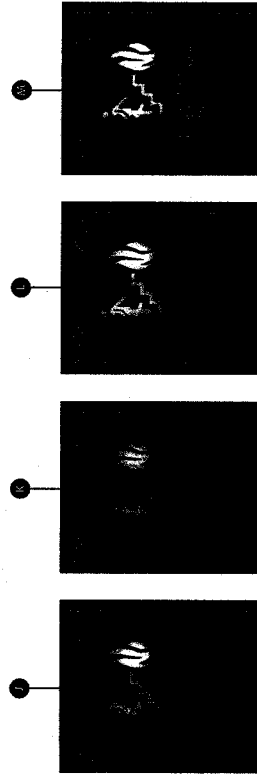
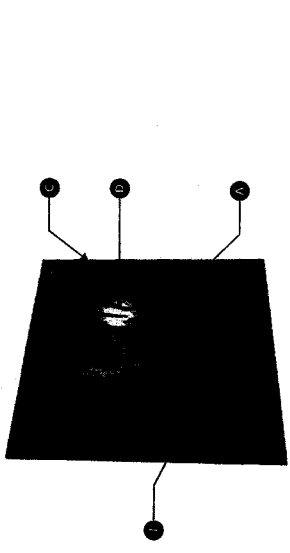
A Section View At Stairs - Sign Type (P14)
 Scale: 1/8" = 1'-0"

No.	Description	Date
01	PCS Review	05/22/13
02	PCS Review	06/24/13
03	PCS Review	07/18/13

Elevator ADA
 Fire Signage
 Signtype:
(P15)

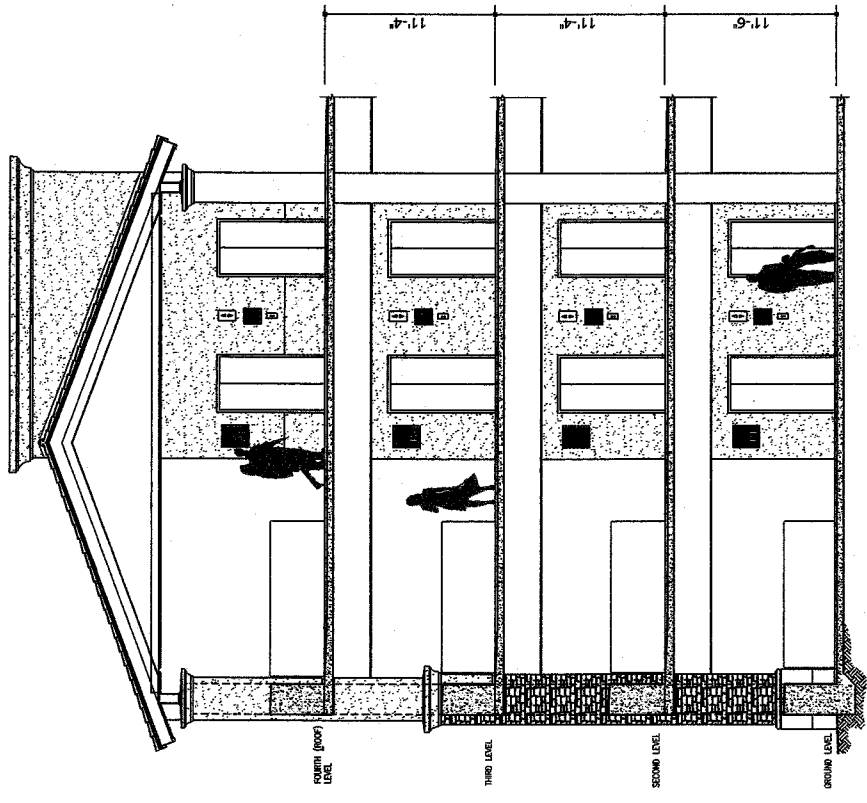
Parking Garage
 Elevations
 Project: 128891
 Date: 03/22/13
 Scale: Noted
 Drawn By: SHH
 Checked By: DWS

Note:
 Coordinate exact mounting location with on site PM.
 All fasteners to be non-ferrous.



Type II Braille translation as required by state and local municipalities.

B Front Elevation - Sign Type (P15)
 Scale: 1 1/2" = 1'-0"



A Elevator Core - Sign Type (P15)
 Scale: 1/8" = 1'-0"



No.	Description	Date
01	PCS Review	05/22/13
02	PCS Review	06/24/13
03	PCS Review	07/19/13

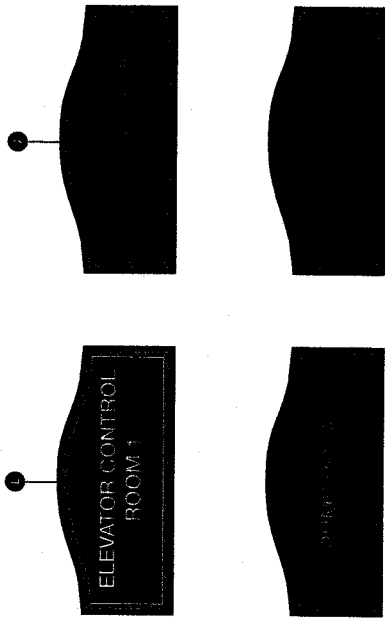
ADA Room
 Identity Signage

Signtype:
 (P16)

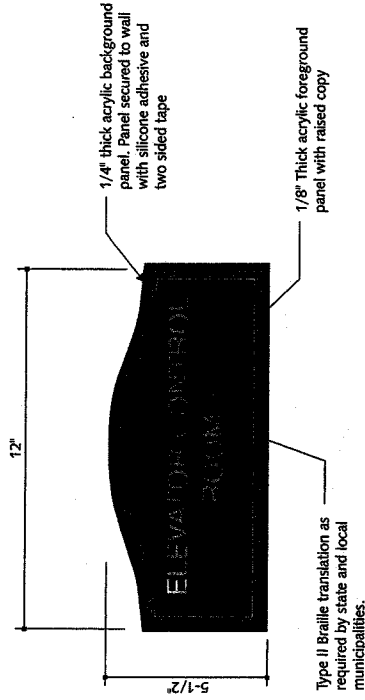
Parking Garage
 Elevations

Project:	120601
Date:	05/22/13
Scale:	Noted
Drawn By:	SMH
Checked By:	DMG

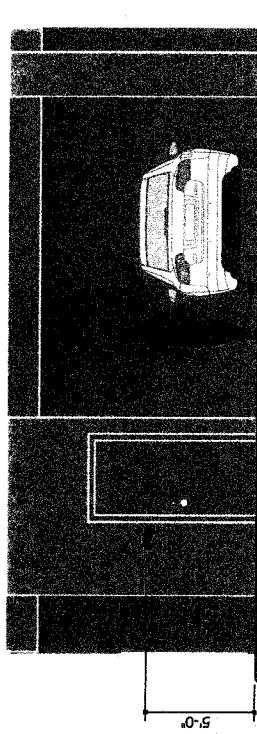
P16.01



Note:
 Coordinate exact mounting to location with on site PM.
 All fasteners to be non-ferrous.



A Misc. Room Identity Mounting Elevation - Sign Type (P16)
 Scale: 3/16 = 1'-0"



B Front Elevation - Sign Type (P16)
 Scale: 3 = 1'-0"

No.	Description	Date
01	DCS Review	06/22/13
02	DCS Review	06/24/13
03	DCS Review	07/18/13

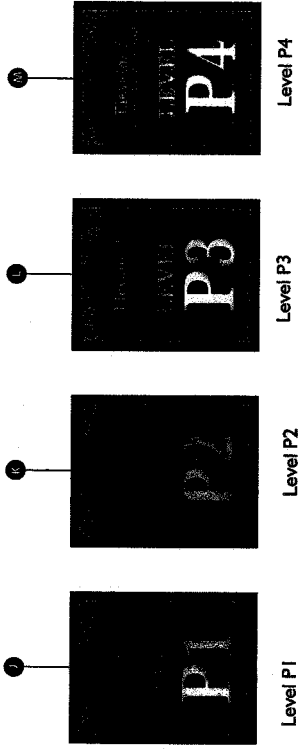
Elevator Level Identity

Sign type: (P18)

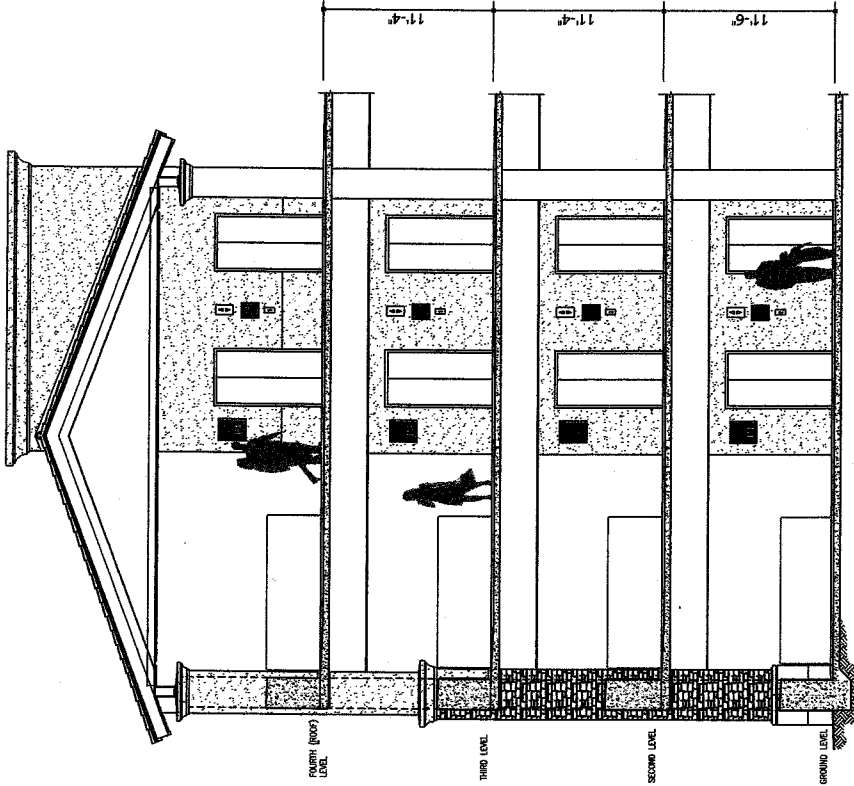
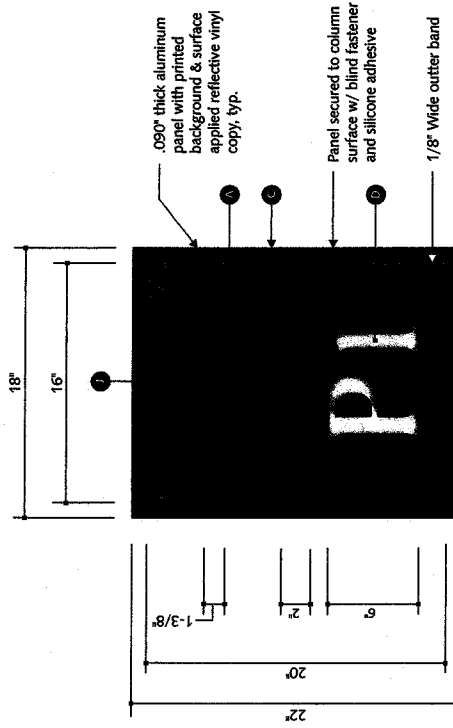
Elevations & Details

Project:	120891
Date:	06/22/13
Scale:	Noted
Drawn By:	SMH
Checked By:	DHG

P18.01

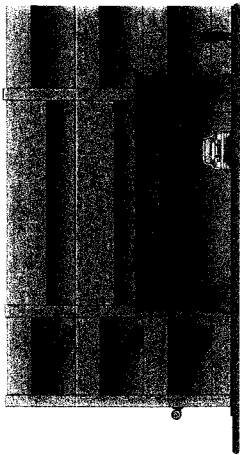


Note:
 Coordinate exact mounting location with on site PM.
 All fasteners to be non-ferrous.
 All fasteners to be blind fasteners



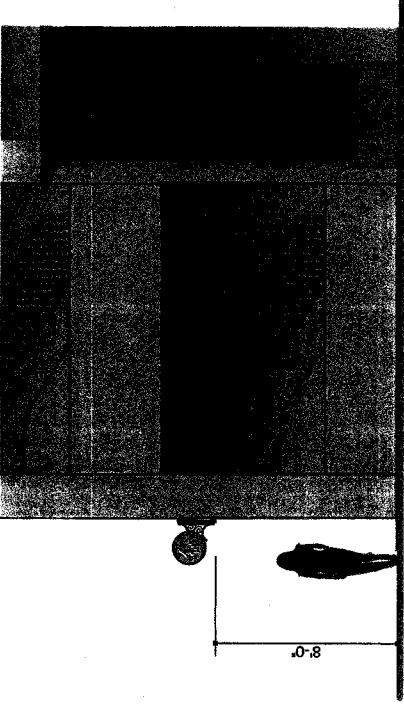
A Elevator Core - Sign Type (P18)
 Scale: 1/8" = 1'-0"

B Level Identity - Sign Type (P18)
 Scale: 1/2" = 1'-0"

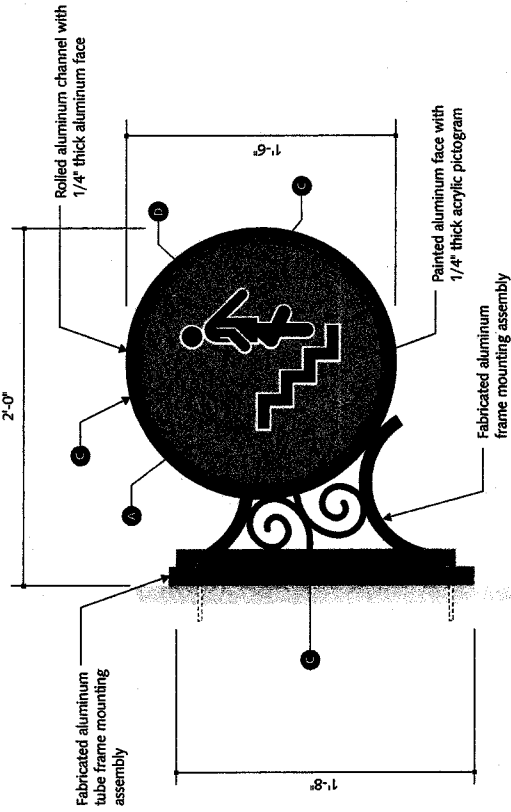


A Southwest Elevation Sign Type (P19)
Scale: 1"=20'-0"

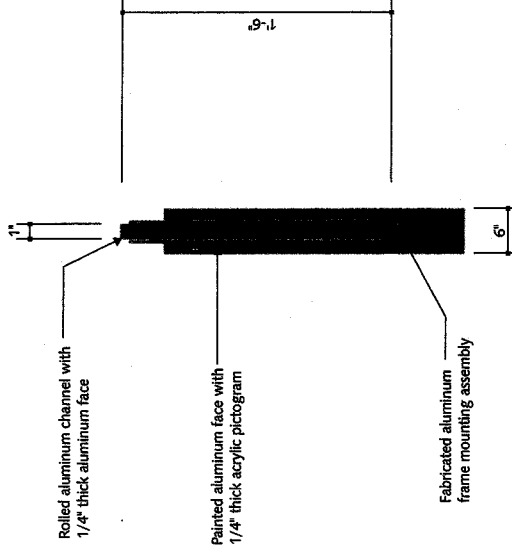
Note:
Coordinate exact mounting location with on site PM.
Coordinate blocking as required with on site PM.
Engineering required by licensed engineer.
All fasteners to be non-ferrous.



B Enlarged Mounting Elevation - Sign Type (P19)
Scale: 3/16" = 1'-0"



C Typical Elevation - Sign Type (P19)
Scale: 1-1/2" = 1'-0"



D Side Elevation - Sign Type (P19)
Scale: 1-1/2" = 1'-0"



No.	Description	Date
01	PCS Review	06/27/13
02	PCS Review	06/29/13
03	PCS Review	07/09/13

Stair Entrance
Identity Pendant

Signtype:
(P19)

Elevations
& Details

Project:	12880
Date:	05/22/13
Scale:	Noted
Drawn By:	SHZ
Checked By:	DPC

Project Name:

**DESERT HILLS
 PREMIUM OUTLETS**

Project Owner:

**PREMIUM OUTLETS
 SIMON**

Project Architect:



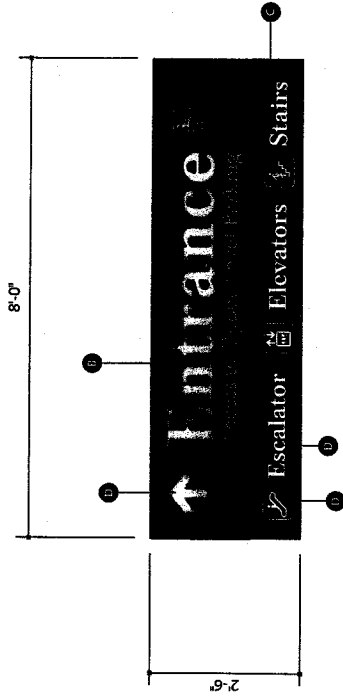
No.	Description	Date:
01	DCS Review	05/22/13
02	DCS Review	06/24/13
03	DCS Review	07/18/13

Overhead
 Pedestrian
 Signage
 Signtype:
 (P20)

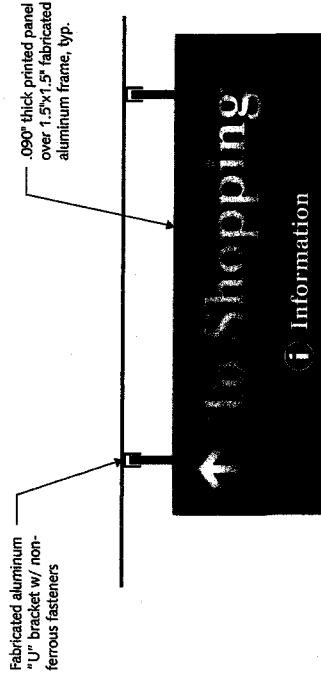
Parking Garage
 Elevations

Project:	120691
Date:	05/22/13
Scale:	Noted
Drawn By:	GHS
Checked By:	DYG

P20.01

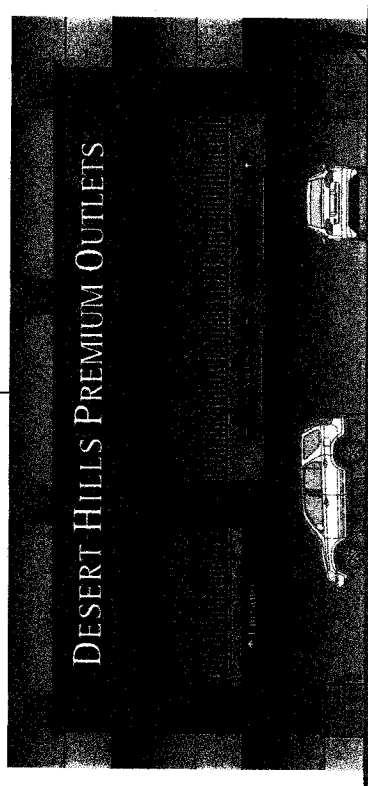


B Front Elevation - Sign Type (P20)
 Scale: 1/2" = 1'-0"



Note:
 Coordinate exact mounting location with on site PM.
 Coordinate blocking as required with on site PM.
 Engineering required by licensed engineer.
 All fasteners to be non-ferrous.

See sheet P8a.01



A Parking Garage Entry Clearance - Sign Type (P20)
 Scale: 3/32" = 1'-0"

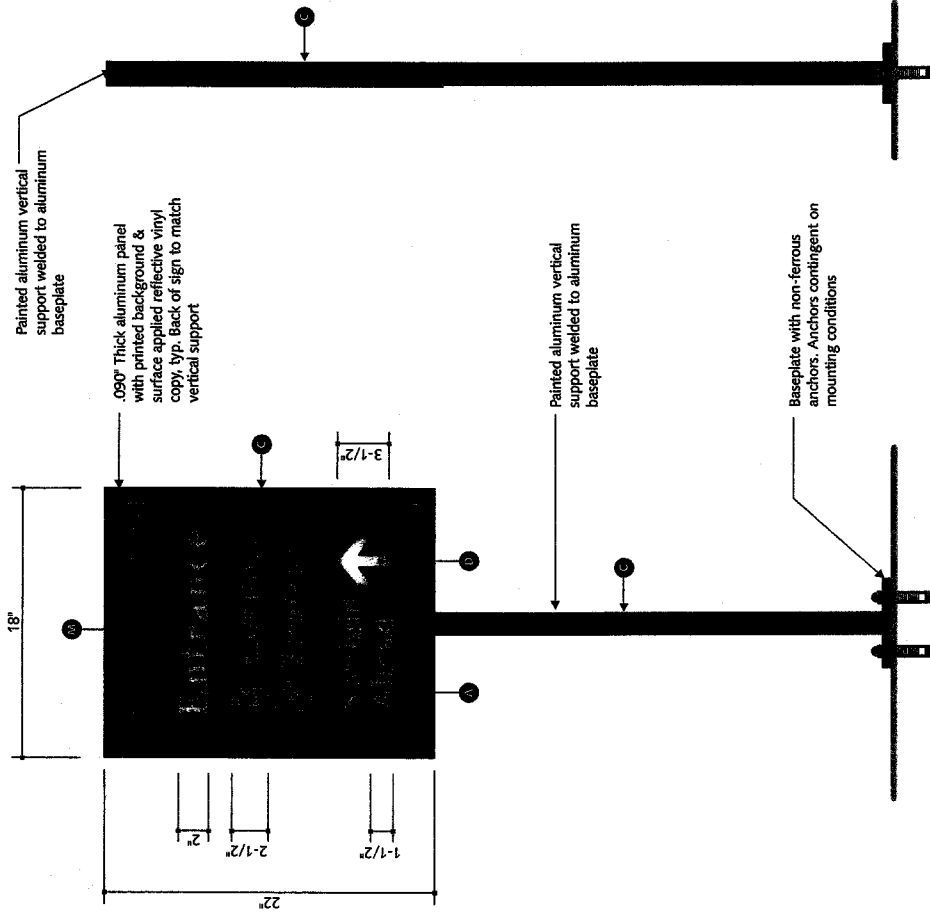
No.	Description	Date
01	PCS Review	05/22/13
02	PCS Review	06/24/13
03	PCS Review	07/18/13

Pole Mounted
 Pedestrian
 Signage
 Signtype:
 (P21)

Parking Garage
 Elevations

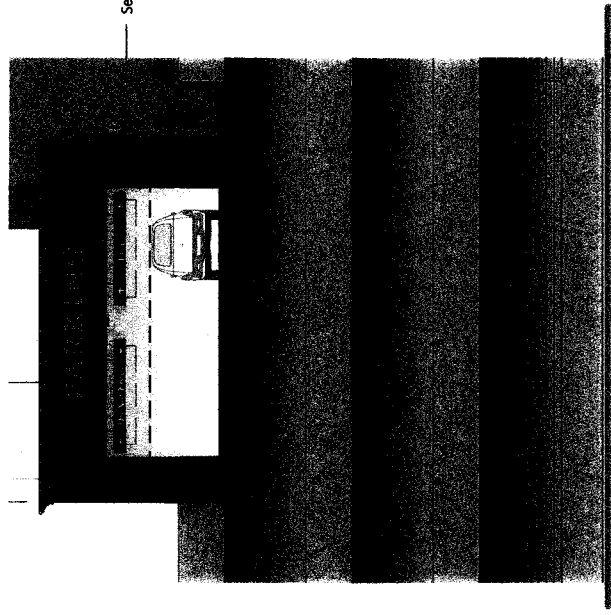
Project:	12680
Date:	05/22/13
Scale:	Noted
Drawn By:	GPS
Checked By:	DHG

P21-01



B Front Elevation - Sign Type (P21)
 Scale: 1/12" = 1'-0"

C Side Elevation
 Scale: 1/12" = 1'-0"



A Enlarged Mounting Elevation - Sign Type (P21)
 Scale: 3/32" = 1'-0"

Note:
 Coordinate exact mounting location with on site PM.
 All fasteners to be non-ferrous.

No.	Description	Date
01	PCS Review	06/22/13
02	PCS Review	06/27/13
03	PCS Review	06/28/13
04	PCS Review	07/19/13

Emergency Phone Signage

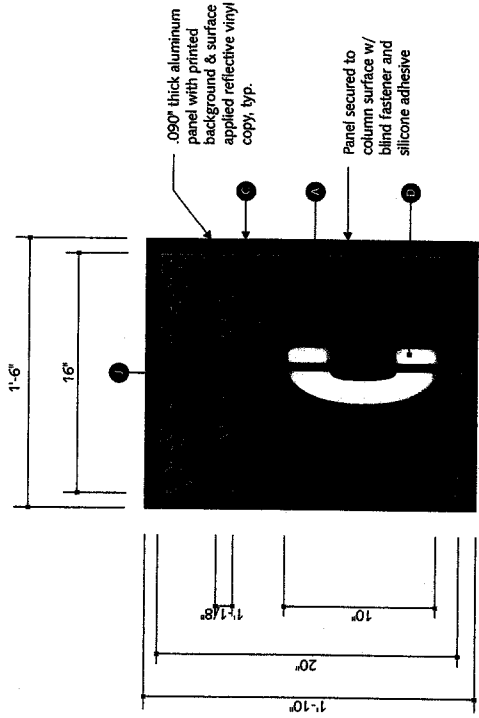
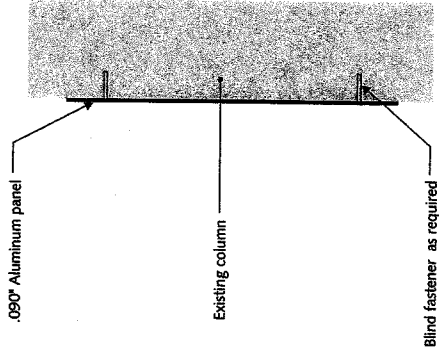
Signtype: (EP)

Parking Garage Elevations

Project:	130801
Date:	06/27/13
Scale:	Noted
Drawn By:	CG
Checked By:	DNC

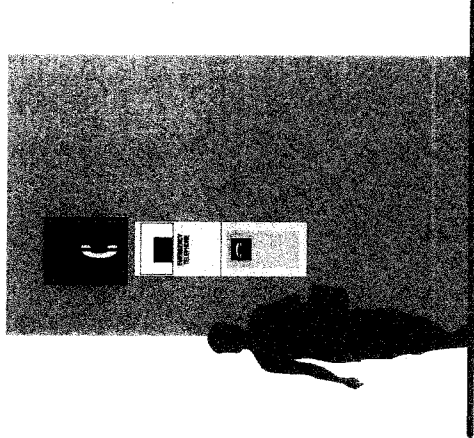
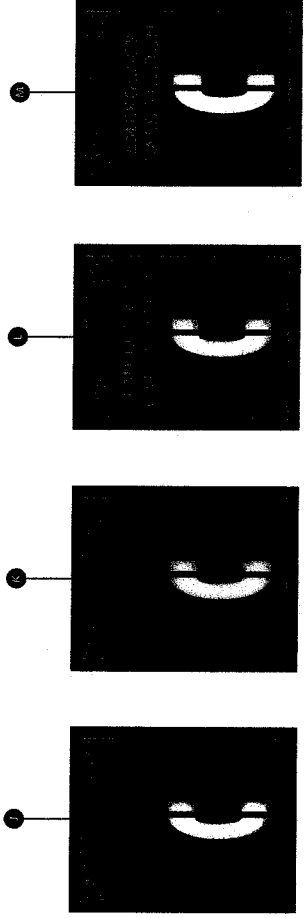
EP01

Note:
 Coordinate exact mounting to location with on site PM.
 All fasteners to be non-ferrous.



A Front Elevation - Sign Type (EPI)
 Scale: 1/12" = 1'-0"

B Side Elevation - Sign Type (EPI)
 Scale: 3" = 1'-0"



C Emergency Call Station Graphic (EPI)
 Scale: 3/8" = 1'-0"



DESERT HILLS



PREMIUM OUTLETS®

Cabazon, California



Tenant Signage Manual

September 10, 2013

PREMIUM
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I. General Sign Criteria

A. INTRODUCTION

This criteria has been developed to guide each Tenant to an imaginative signage solution. The guidelines established herein will ensure that Tenant identification is of consistent quality and is compatible with the architectural character of the Center. Each proposed sign will be evaluated on the design's excellence and compatibility with neighboring signs and the overall character of the Center's signage/graphics. Tenant's signage depends on location and architectural conditions at the storefronts within the center.

Tenants can select from several signage solutions for their primary storefront and secondary signage depending on location and architectural conditions at the storefronts within the Center.

1. Primary Tenant Identification Sign Options for Storefront & Perimeter side of the Center:

- a. Combination Face/Halo lit logo or logo with text.
- b. Reverse channel, halo-lit, pin-mounted letters. Tag line in raceway with push thru copy.

2. Secondary Tenant Sign Options for Storefront side of the Center:

- a. Blade Sign.
- b. Entry door/storefront window signage.

B. SUBMITTALS & APPROVALS

1. All Tenant signage is subject to the Landlord's written approval. The Landlord's approval shall be based on the following criteria:
 - a. Design, fabrication and method of installation of all signs shall conform to this sign criteria.
 - b. This sign criteria shall conform with the design standards of the Center and shall be in harmony with adjacent signage conditions.
2. The Tenant agrees to conform to the following procedures and submission requirements to secure the Landlord's approval:
 - a. Sign drawings are to be prepared by a reputable state licensed Sign Contractor or as required to be licensed by the County of Riverside. Submit one set of detailed sign design shop drawings to: Simon Property Group.
 - b. Sign drawings must include a min. 1/8" scaled storefront drawing illustrating the proposed sign design and all dimensions as they relate to the storefront elevation of the Tenant's premises.
 - c. Sign drawings must also include a min. 1" = 1'- 0" sign elevation and section through sign indicating construction and attachment methods and illumination details.
 - d. Letters must be accurately dimensioned and spaced.
 - e. Sign colors, paint finishes and types of materials must be submitted with the sign drawings.
 - f. Unless the Landlord has received the above described drawings and information in the quantities set forth above, the Landlord will not approve the Tenant's exterior sign.
3. All drawings and samples marked "Revise and Resubmit" must be resubmitted with the required corrections prior to fabrication. Only after all drawings have been marked "Approved" or "Approved As Noted" may the fabricator proceed with fabrication per approved drawings.

The Tenant and Sign Contractor will not be permitted to commence installation of the exterior sign unless all of the following conditions have occurred:

- a. A stamped set of final drawings reflecting the Landlord's approval shall be on file in the Landlord's office.
 - b. Sign Contractor/Tenant shall be responsible for the securing of all applicable sign permits required by the Director of Planning and Community Development for the County of Riverside sign ordinance prior to fabrication of the signs. **The Landlord's stamped approval is required on all sign plans prior to the application for permits.**
 - c. The Fabricator must provide to the Landlord a copy of the County of Riverside issued sign permit and a stamped set of drawings reflecting both the Landlord's and the County of Riverside's approvals prior to sign installation.
 - d. The Landlord must be notified 48 hours in advance prior to the sign installation. Contact: On-Site Manager.
 - e. The Landlord must receive a Certificate of Insurance from the Sign Contractor actually performing the installation.
4. The Landlord reserves the right to revise this Signage Criteria in accordance with the County of Riverside's Sign Ordinance for up to thirty (30) days before the Tenant's Rent Commencement date. However, this Signage Criteria may be revised at any time if so required by any governmental agency having jurisdiction over its contents.

5. In the event Tenant changes their exterior sign at any time during the term of their lease, Tenant must comply with any future modifications, revisions or changes which have been made to the Sign Criteria for the Center after the execution of their Lease Agreement.
6. **The Tenant shall pay for all signs, their installation (including any required electrical connection back to the J-box as well as any secondary j-box required) and all other labor, materials and future maintenance.**
7. The Tenant and their Sign Contractor are responsible for understanding this Signage Criteria and conforming to its requirements.
8. The Tenant shall be ultimately responsible for the fulfillment of all requirements and specifications, including all applicable building and electrical codes.
9. All signs shall be reviewed for conformance with this criteria and overall design quality. Approval or disapproval of sign submittals based on aesthetic of design shall remain the sole right of the Landlord.
10. Tenant is responsible for the fabrication and installation of the current required blade sign bracket if none exist or older style is currently installed at their space.

C. FABRICATION & INSTALLATION REQUIREMENTS

The fabrication and installation of all signs shall be subject to the following restrictions:

1. All signs mounted on concrete, EFIS or brick clad substrates are to be attached by pin-mounting or as shown on detailed exhibits. Mounts consist of 3/16" to 1/4" 'all-thread' with 3/8" to 1/2" aluminum spacer sleeve for rigidity. Spacers to be painted to match adjacent building wall color.
2. All penetrations of the building structure required for sign installation shall be sealed in a watertight condition and patched to match adjacent finish. Spacers must be painted to match building color. No PK housings allowed.
3. Ladders, installation equipment and installation crews are not permitted to lean on building, awnings and storefront. All installation equipment must be freestanding type to avoid contact with or damage to building or storefront. Rubber wheeled lifts must have white tires, wheel padding or must roll over planking to prevent marks on paving areas. Vehicles are not permitted on pedestrian streets.
4. **Tenant's Sign Contractor is required to contact the Tenant Manager or Center Manager at time of installation of signage and at completion so acceptance can be determined.**
5. Installation crews are responsible for establishing a safety zone around their work area. Crews must possess caution tape and safety cones and utilize these safety devices to secure walkways and doors. Electrical cords cannot be run outside of this zone. Hard hats must be worn at all times.
6. Each Tenant, or their Sign Contractor, shall be responsible for the repair of any damage to the building caused by the installation of said Tenant's sign. Particular attention must be paid in and around the access panels into the canopy area. If required, repainting these areas will be back-charged to Tenant.
7. The installation Sign Contractor is responsible for removing all debris and cleaning the work area after installation is complete. Sign Contractor shall protect existing wall surfaces and near by awning structures during sign installation.
8. The Sign Contractor must check sign to ensure proper illumination.
9. Each Tenant shall be responsible for the performance of its Sign Contractor.
10. Each Tenant shall be responsible for removal of its sign within three (3) days after vacating site. Removal of the sign shall include the repair of the wall surface back to its original condition and finish painting to nearest panel edge on joint over the entire panel surface if color difference is visible. If Tenant does not repair wall surface to Landlord's satisfaction, Landlord will perform repairs at Tenant's expense.

11. Each Tenant shall be responsible for the installation and maintenance of its sign. Should the Tenant's sign require maintenance or repair, Landlord shall give Tenant fifteen (15) days written notice to effect said maintenance or repair. Should Tenant fail to do so, Landlord shall effect said maintenance or repair and Tenant shall reimburse Landlord within ten (10) days of receipt of invoice.
12. Tenant to use Landlord approved storefront j-box to wire storefront signage back to designated circuit. If no j-box exists, it is Tenant's responsibility to provide and connect to Landlord's time clock.
13. Any damage to surrounding walls or surfaces made by signage contractor shall be repaired at their expense. It is strongly recommended that either the Tenant or its sign contractor use Landlord's approved sign contractor for patching, repairing and repainting the storefront sign band: **Bruin Painting (951) 308-1300**. If Tenant chooses to use their sign contractor to patch sign holes and repaint, Landlord reserves the right to review the work, and if said work is not acceptable to Landlord, then hire the above recommend patching and painting contractor at Tenant's expense.
14. All U.L. labels to be applied so as to not be visible from pedestrian pathway.
15. Interior raceways may be required to conceal wiring and transformers on interior of tenant space if open ceiling condition exists. Field survey conditions.
16. In some cases, exterior weatherproof raceways may be required to cover any exposed electrical components above roof-lines. Any roof penetrations must be sealed. Penetrations and raceway sealing must be coordinated with Landlord's roofer to preserve roof warranty. Contact Center Management for roofer's contact information.

D. NON-CONFORMANCE

1. No field installation changes are permitted without first notifying Landlord in writing. If any sign is changed as to placement, location and/or size which differs from approved sign plan, Tenant and/or Sign Contractor will be responsible for repair, change, and/or relocation of sign to proper placement at their expense.
2. Any sign that is installed by Tenant which is not in conformance to the approved drawings shall be corrected by Tenant within fifteen (15) days after written notice by Landlord. In the event Tenant's sign is not brought into conformance within said fifteen (15) day period, then Landlord shall have the option to correct non-conforming sign at Tenant's expense.

E. GUARANTEE

Entire display shall be guaranteed by Sign Contractor for one (1) year from date of installation against defects in material and workmanship. Defective parts shall be replaced without charge.

F.1 INSURANCE (Existing East and West Wing)

CPG Partners, L.P.; are to be named as an Additional Insured on all policies. Premium Outlets Simon, as Certificate Holder, shall be included on all policies as an additional insured/loss payee. Before commencing the work, the Contractor shall procure and maintain at its own expense, until final completion and acceptance of the work, the following minimum insurance forms and with insurance companies acceptable to the Owner:

1. Worker's Compensation Insurance for statutory obligations imposed by Worker's Compensation or Occupational Disease Laws, including, where applicable, the United States Longshoremen's and Harbor Worker's Act, the Federal Employer's Liability Act, and the Jones Act. Employers' Liability insurance shall be provided with a maximum limit of \$100,000.00 per disease, \$500,000.00 policy limit by disease.

2. Comprehensive Automobile Liability Insurance with the following minimum limits of liability:
Bodily Injury Liability \$2,000,000 - Each Occurrence
Property Damage Liability \$2,000,000 - Each Occurrence

The insurance is to apply to all owned, non-owned and hired automobiles used by the Contractor in the performance of work.

3. General Liability, Contractual Liability and Products/Completed Operations Liability Insurance covering all operations required to complete the work with the following minimum limits of liability:

Bodily Injury Liability \$2,000,000 - Each Occurrence
Property Damage Liability \$2,000,000 - Each Occurrence

The Products/Completed Operations Liability Insurance shall be provided for a period of at least two (2) years after completion of the work.

The Contractual Liability Insurance coverage shall insure the performance of the contractual obligations assumed by the Contractor by acceptance of this order, including specifically, but without limitation, the Indemnification provisions of this agreement.

4. Excess Liability (Umbrella):

Bodily Injury Liability \$2,000,000 - Each Occurrence
Property Damage Liability \$2,000,000 - Each Occurrence

F.2 INSURANCE (Expansion 2014 Buildings (Ste #1000 thru Ste #1156))

Dessert Hills Premium Outlets Expansion, LLC, Simon Capital Limited Partnership, SPG Capital Associates Limited Partnership, SPG Capital VII, LLC; are to be named as an Additional Insured on all policies. Premium Outlets Simon, as Certificate Holder, shall be included on all policies as an additional insured/loss payee. Before commencing the work, the Contractor shall procure and maintain at its own expense, until final completion and acceptance of the work, the following minimum insurance forms and with insurance companies acceptable to the Owner:

1. Worker's Compensation Insurance for statutory obligations imposed by Worker's Compensation or Occupational Disease Laws, including, where applicable, the United States Longshoremen's and Harbor

Worker's Act, the Federal Employer's Liability Act, and the Jones Act. Employers' Liability insurance shall be

provided with a maximum limit of \$100,000.00 per disease, \$500,000.00 policy limit by disease.

2. Comprehensive Automobile Liability Insurance with the following minimum limits of liability:

Bodily Injury Liability \$2,000,000 - Each Occurrence

Property Damage Liability \$2,000,000 - Each Occurrence

The insurance is to apply to all owned, non-owned and hired automobiles used by the Contractor in the

performance of work.

3. General Liability, Contractual Liability and Products/Completed Operations Liability Insurance covering all

operations required to complete the work with the following minimum limits of liability:

Bodily Injury Liability \$2,000,000 - Each Occurrence

Property Damage Liability \$2,000,000 - Each Occurrence

The Products/Completed Operations Liability Insurance shall be provided for a period of at least two (2) years after completion of the work.

The Contractual Liability Insurance coverage shall insure the performance of the contractual obligations assumed by the Contractor by acceptance of this order, including specifically, but without limitation, the Indemnification provisions of this agreement.

4. Excess Liability (Umbrella):

Bodily Injury Liability \$2,000,000 - Each Occurrence

Property Damage Liability \$2,000,000 - Each Occurrence

G. Signage Attachment Details

1. All wall penetrations are to be made using one of the approved attachments details as found in this Signage Criteria.

H. STOREFRONT SIGNAGE

1. All Tenants are to have a storefront sign. Sign shall be located only on the spaces and on the surfaces

specially provided for same on the building elevations. Signage type and size shall be dictated by the building type the Tenant is located in as defined by the Location Key Plan.

2. Square footage for Tenant wall signs shall be based on the maximum sign lengths and letter heights as defined in the following paragraphs and exhibits.
 - (a) Each Tenant to have:
 - One (1) primary Storefront sign.
 - One (1) secondary Blade sign.
 - An additional exterior wall sign shall be offered to specific Tenants solely at the Landlord's discretion for perimeter signage on the exterior of the Center.
 - (b) Subject to Landlord and County review and approval, specific Tenant locations (such as towers or corner spaces at ends of buildings) with more than one frontage and/or entry may be allowed one sign on each frontage provided architectural treatments at each location can accommodate a sign. If additional signs are allowed, signs located on adjacent building elevations shall be similar in length, letter height, method of illumination and color. Tenant is responsible for supply and installation of additional j-box where needed.
 - (c) Sign area and location to be determined by Landlord at time of install.
 - (d) Letter height on primary storefront single line signs shall be as defined in the following sections:

Note:
Consideration for moderate increases to maximum sign or letter heights may be given to Tenants with logotypes which have larger initial capital letters or other unique features.

Specific locations and surrounding architectural treatments can dictate maximum sign height and length, which in some cases may be less than the maximum defined herein.
3. All signs (size, design, type and color) are subject to Landlord's approval, based on aesthetic and relationship to neighboring Tenant signs.
4. Signs shall be limited to letters designating the store name as set forth in signed lease documents between Tenant and Landlord.
 - (a) **Tenant shall display their established registered trade name(s) only.**
 - (b) Registered Trademark Symbols are permitted subject to Landlord review/approval fabrication requirements.
5. The colors and type styles of all signs shall be subject to Landlord's approval. Established trade logos and signage are required to be used, providing they conform to the criteria described herein. The color of all lettering and/or sign panels shall be compatible with the building color and provide sufficient contrast with the background color of the building wall on which the sign is located.
6. Logo plaque components used in conjunction with individual letters are considered an integral part of the store identity and are included in the calculation of allowable sign area, subject to Landlord's approval.
7. No box-type cabinet signs will be permitted unless specifically provided for herein.
8. Individual shop address numerals will be provided and installed by the Landlord on the storefront of the Tenant space, and are not included in calculation of allowable for wall signage area.
9. No Tenant shall affix or maintain upon any exterior glass or other exterior surface of the storefront, any signs or symbols other than the signs provided for in this criteria. Also refer to the Tenant Handbook Section entitled: Storefront Criteria.
10. **No temporary signs of any nature will be accepted!**

PRIMARY STOREFRONT SIGNAGE

- Tenant's primary identification sign shall be selected from the following sign types based on the storefront's location and architectural conditions within the center's internal areas.

EAST WING STOREFRONT TENANT SIGNS:

The rate of calculation of these individual signs for the East Wing shall not exceed ten percent (10%) of the surface wall. Allowable size of Tenant's sign must conform to County of Riverside Sign Ordinance. If any conflict arises between Landlord's criteria and the County's ordinance, The County of Riverside's sign ordinance will prevail.

- Maximum letter height on single line signs shall be 24" overall. Minimum letter height on single line signs shall be 18" overall.
- Maximum sign height on double line signs shall be 36" tall. * Larger signs will be given consideration at "Taller" features of building and for logos at Landlord's discretion.
- East Wing address 48650 Seminole Drive, Cabazon, CA 92230. Plot Plan Number Pp25357
VAR Number 01889
APN Number 519-101-040

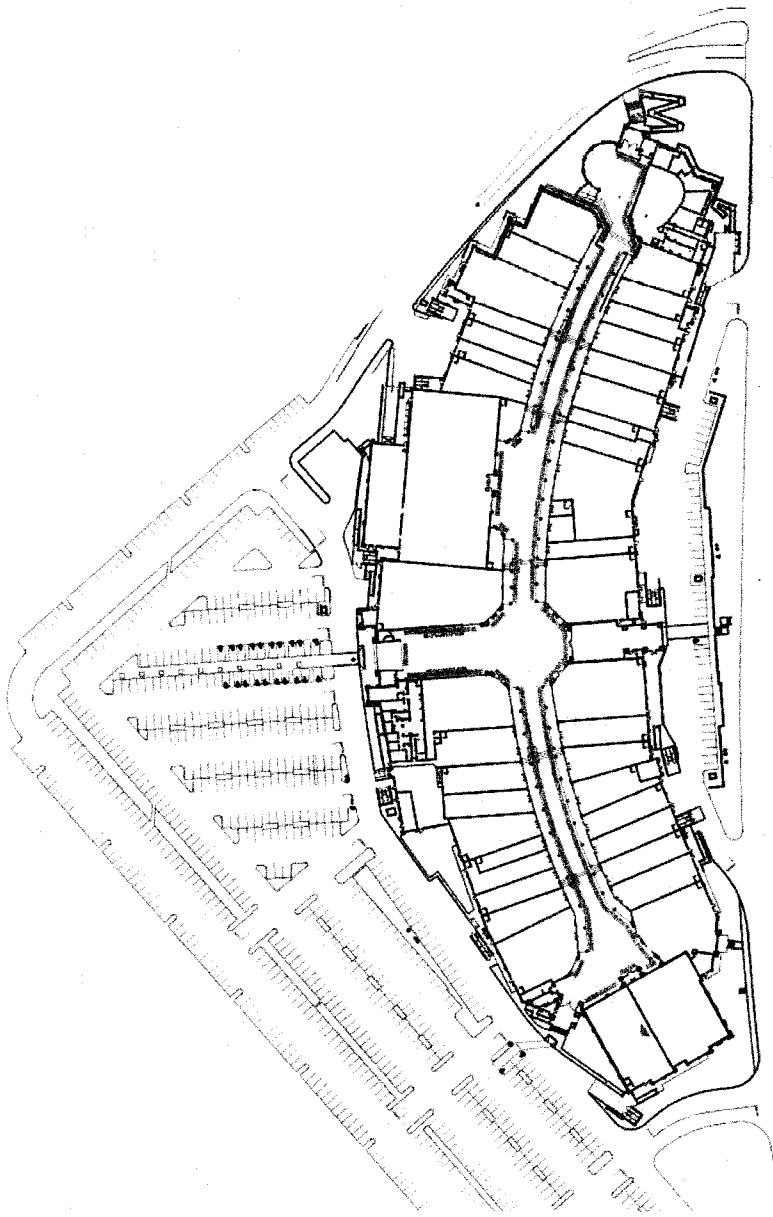
WEST WING STOREFRONT TENANT SIGNS:

The rate of calculation of these individual signs for the East Wing shall not exceed ten percent (10%) of the surface wall. Allowable size of Tenant's sign must conform to County of Riverside Sign Ordinance. If any conflict arises between Landlord's criteria and the County's ordinance, The County of Riverside's sign ordinance will prevail.

- Maximum letter height on single line signs shall be 18" tall, minimum letter height shall be 15" tall.
- Maximum sign height on double line signs shall be 28" tall, with a maximum letter height of 18" tall. Larger signs will be given consideration at "Taller" features of building and for logos at Landlords discretion.
- West Wing address 48400 Seminole Drive, Cabazon, CA 92230. Plot Plan Number Pp25356
VAR Number 01888
APN Number 519-101-041

Interior Signage Schedule

West Wing



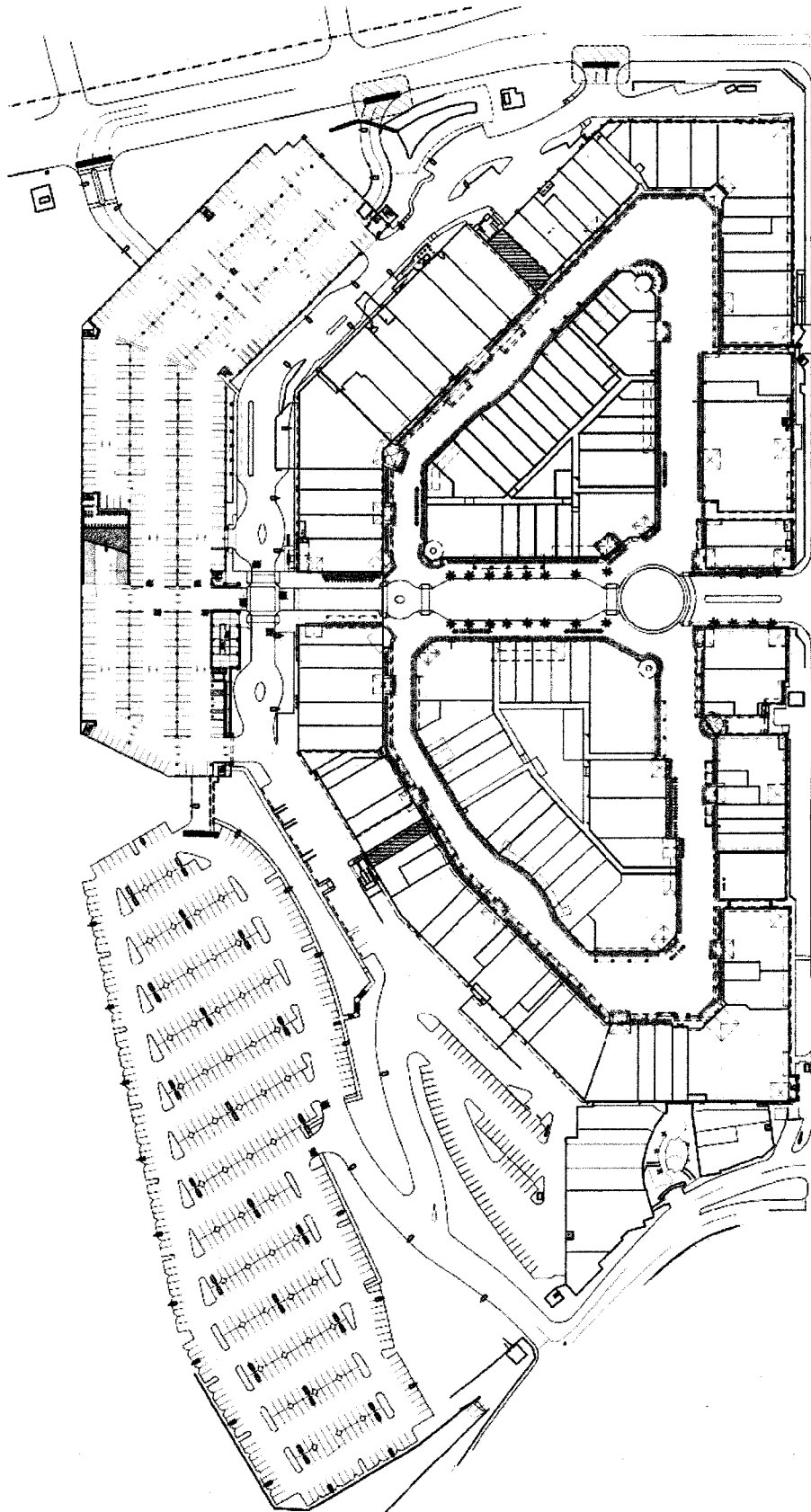
SEMINOLE ROAD

INTERSTATE 10

Signage Type B
 18" High Single Line Letters
 28" Max. Assembly Height with Secondary Copy
 Reverse Channel Letters with halo illumination

Signage Type A
 Cabinet Size Varies: From 28" tall up to 72" tall
 Combo Face/halo lit cabinet at any mounting
 location where conditions permit and as allowed /
 approved by Landlord

Interior Signage Schedule East Wing



Signage Type B
 24" High Max. Single Line Letters / 18" Min.
 36" Max. Assembly Height with Secondary Copy
 Reverse Channel Letters with halo illumination

Signage Type A
 Cabinet Size Varies: From 28" tall up to 72" tall
 Combo Face/halo lit cabinet at any mounting
 location where conditions permit and as allowed /
 approved by Landlord

SEMINOLE ROAD

INTERSTATE 10

Sign Type A: CABINET TYPE SIGNS - COMBINATION OF ROUTED ALUMINUM WITH PUSH-THRU ACRYLIC LETTERS. ALL SIGNS TO HAVE FACE/HALO ILLUMINATION BY MULTI-DIRECTIONAL LEDS.

- a. Fabricated enclosed weather-proofed aluminum box type cabinet with routed face and push thru acrylic copy. Cabinet to have Lexan backing for combination face and halo illumination by multidirectional Sloan LED V-Series Cool White or Colored LED modules (or equal)
- b. Color of logo box cabinet to be approved by Landlord prior to fabrication and installation. Logos/Cabinets shall be contrast in color to wall.
- c. Any copy within the logo box cabinet shall be routed from aluminum logo face with push thru acrylic letters/logo symbol. Copy/symbol shall be translucent acrylic with frosted finish on face or any color vinyl and 1/2" reveal. Color selected by Tenant and approved by Landlord. No glue-on allowed.
- d. Size of logo will vary depending on location, elevation and designated sign band area. See Exhibits A.2 & A.3 for details.
- e. Tenant signs are to be centered on the Tenant's store frontage or between prominent architectural elements, as dictated by Landlord.
- f. Length: The length of the individual Tenant signs on internal storefronts shall be variable. However, the length shall not exceed ten percent (10%) of wall surface.

Example:
75' store width x 10% multiplier = 7.5 feet of allowable sign length.
- g. Bolts, connectors, sleeves, etc. shall be non-ferrous materials.
- h. All penetrations thru walls to be watertight.
- i. Power to tenant sign circuits is 120 volt at existing center locations / 277 volt at 2013 Bldg A & B Expansion locations.

NOTE: This sign type may be substituted at any elevation for Logos/ Logos with text only. Any lettering that is separate from the logo element must be designed as the correct sign type indicated for that typical elevation sign band.

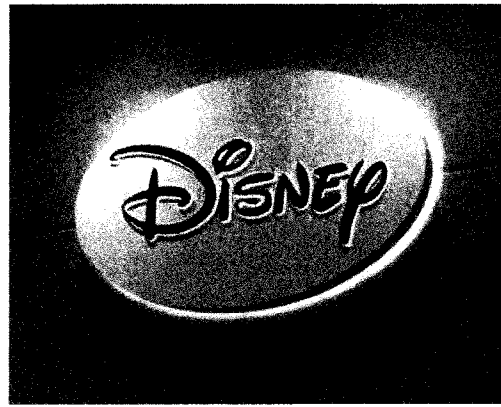
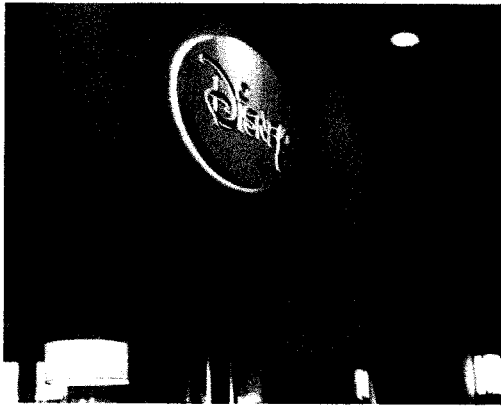
For questions and availability in reference to individual lighting products specified in these documents, please contact the appropriate supplier identified below:

SloanLED Contact:
Mr. John Ward
Production Manager
(805) 676-3200
jward@sloanled.com

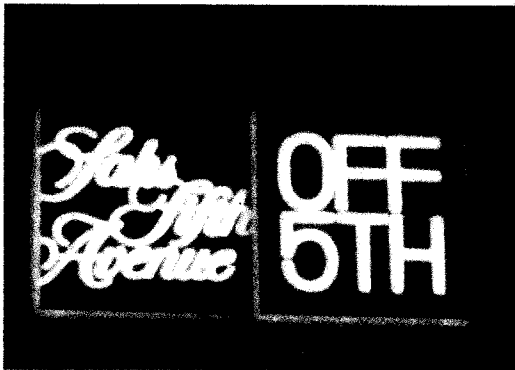
www.sloanled.com

Plastics America Contact:
Ms. Carol Gauvin
Sales Manager
(800) 881-3711
sales@plasticsamerica.com

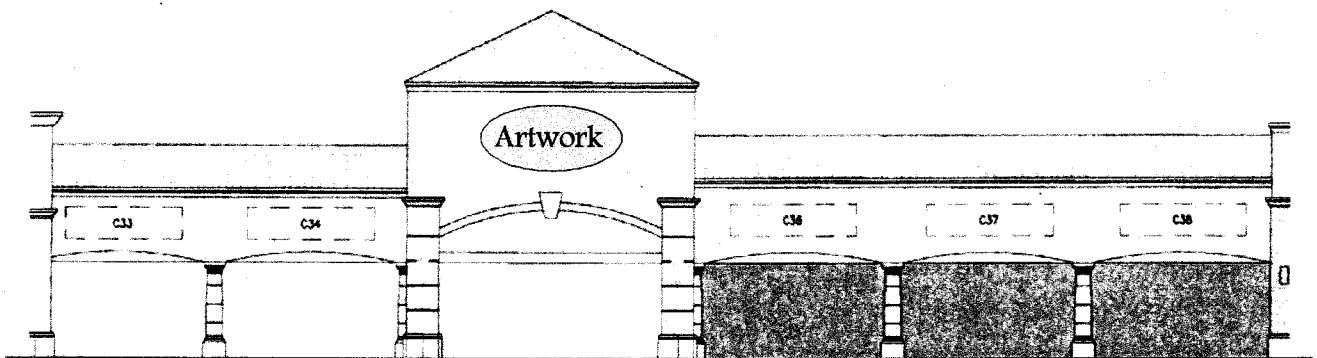
www.plasticsamerica.com



Sign Type A



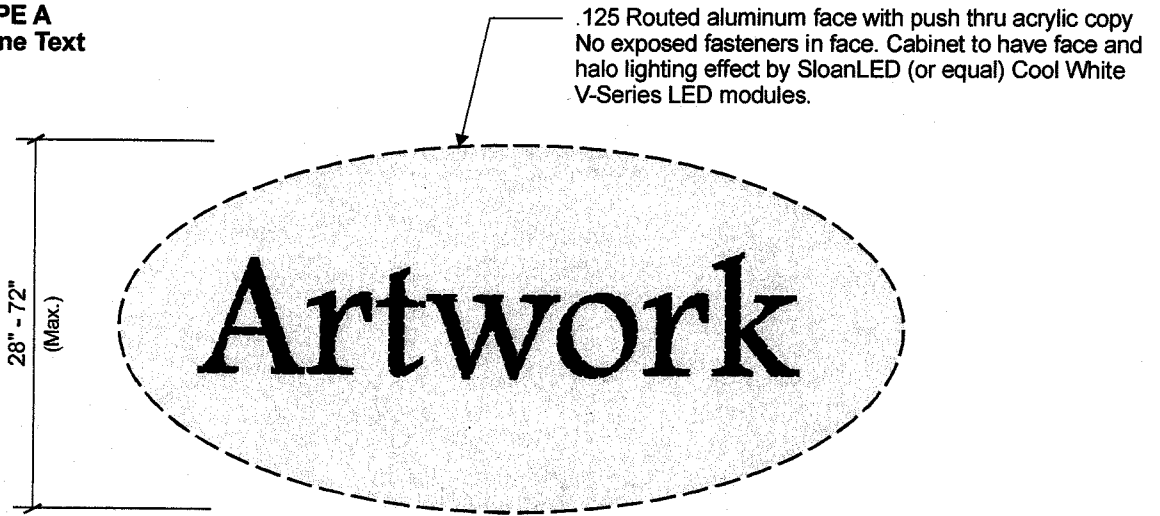
Sign Type A



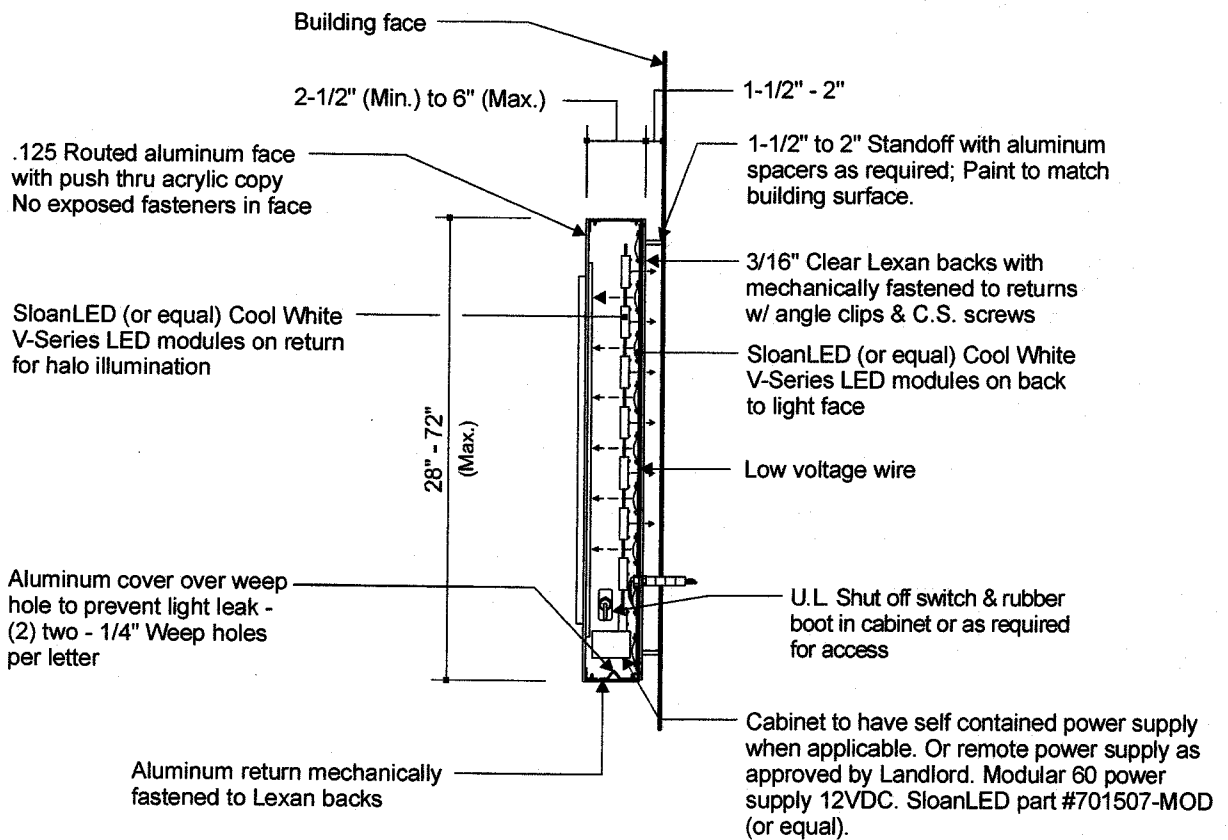
Signage Type A – Examples

Signage mounting height will be determined at the time of installation by Landlord.

SIGN TYPE A
Single Line Text



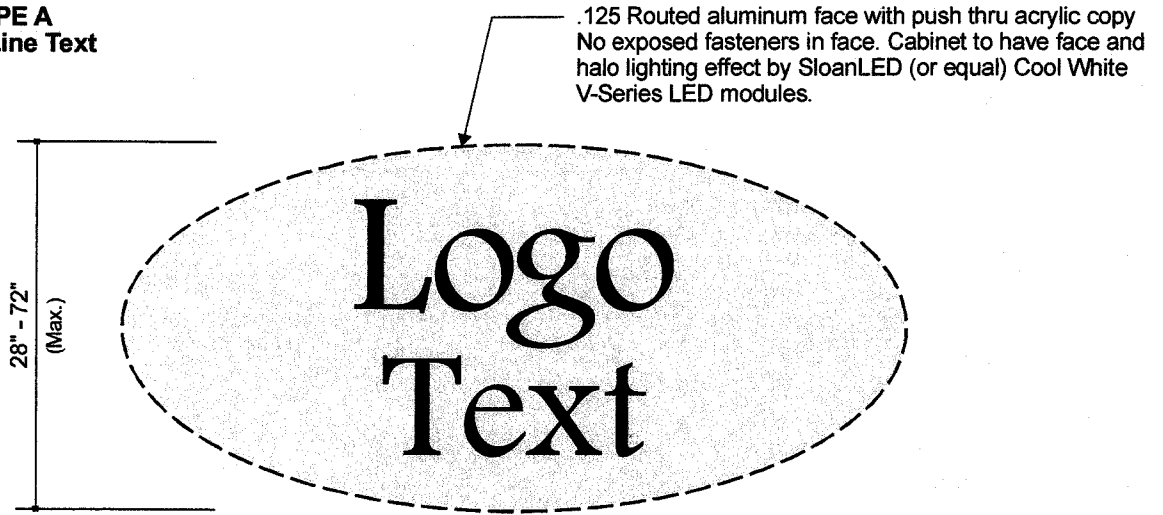
Logo with Face / Halo Illumination
(Shape Varies)



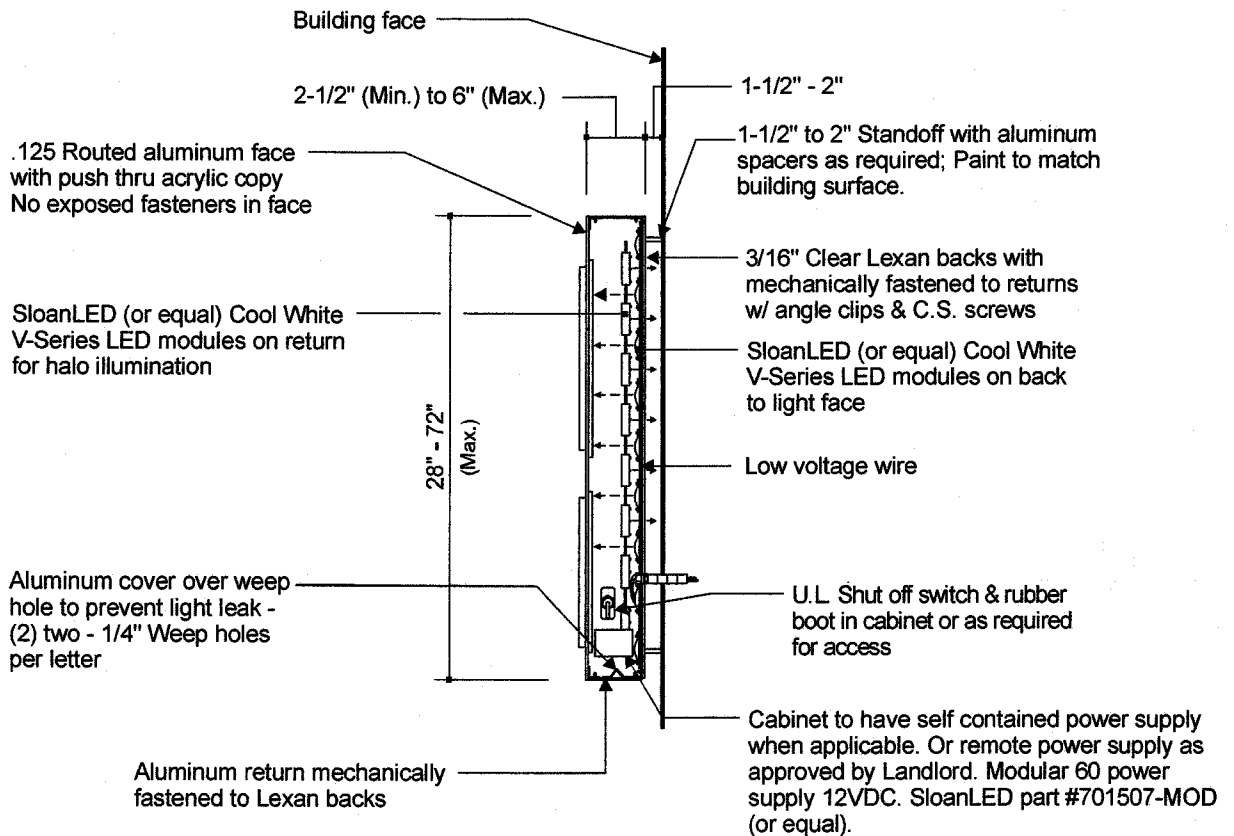
Section Detail
Logo With Face & Halo Illumination

Note: All Bolts, Connectors, Sleeves, Electrical Conduits, Etc. to be Non-Ferrous. All penetrations thru tilt-up concrete wall panel to be watertight. LEDs are not to be visible on sign. All illumination to be even lighting without any "hotspots" on surfaces.

**SIGN TYPE A
Double Line Text**



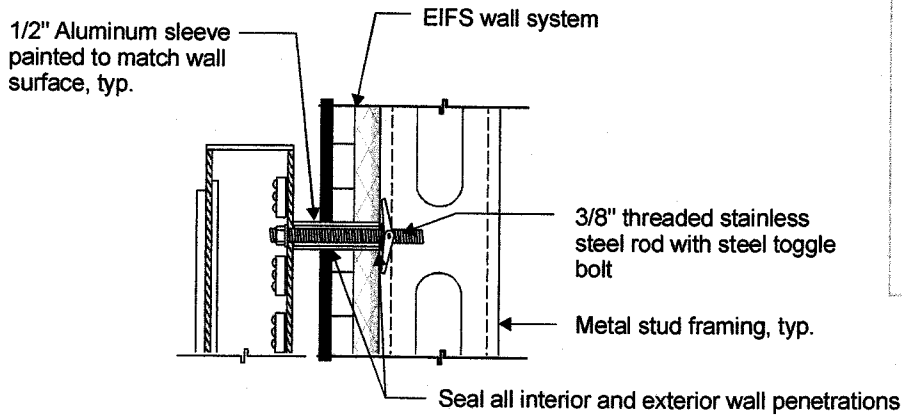
Logo with Face / Halo Illumination
(Shape Varies)



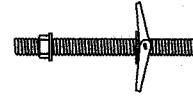
Section Detail
Logo With Face & Halo Illumination

Note: All Bolts, Connectors, Sleeves, Electrical Conduits, Etc. to be Non-Ferrous. All penetrations thru tilt-up concrete wall panel to be watertight. LEDs are not to be visible on sign. All illumination to be even lighting without any "hotspots" on surfaces.

Typical Mounting Details

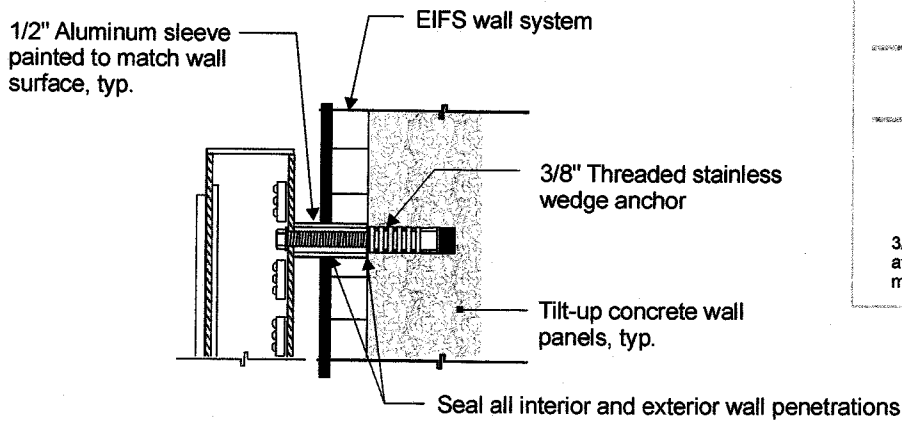


**Stud Framed Wall
Hollow Wall Anchor Sign Attachment to Structural Exterior Wall**



3/8" Dia. all thread stainless steel rod with Zinc plated steel toggle bolt "Wings". Bolt length to be determined as required per wall construction.

Letter Mounting Detail At EIFS Over Metal Stud Framing

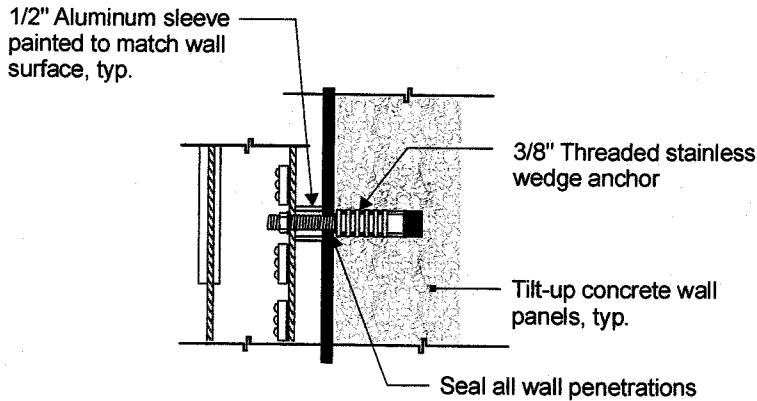


**Masonry Wall
Expansion Sign Attachment to Masonry Constructed Wall**

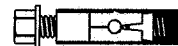


3/8" Dia. Stainless steel wedge anchor sign attachment to concrete, brick, rock and stone masonry wall installations

Letter Mounting Detail At EIFS Over Tilt-up Concrete Wall



**Masonry Wall
Expansion Sign Attachment to Masonry Constructed Wall**



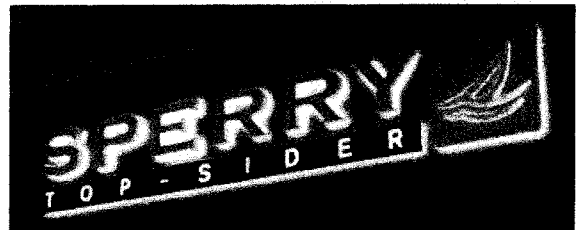
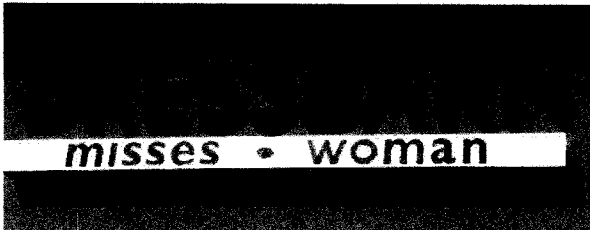
3/8" Dia. Stainless steel wedge anchor sign attachment to concrete, brick, rock and stone masonry wall installations

Letter Raceway Detail At Tilt-up Concrete Wall

Note: All Bolts, Connectors, Sleeves, Electrical Conduits, Etc. to be Non-Ferrous. All penetrations thru tilt-up concrete wall panel to be watertight. LEDs are not to be visible on sign. All illumination to be even lighting without any "hotspots" on surfaces.

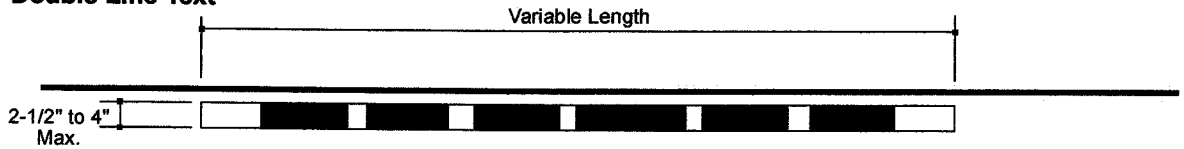
Sign Type B: INDIVIDUAL REVERSE CHANNEL HALO LIT LETTERS WITH LED ILLUMINATION.

- a. Individual letters shall be U.L. Rated, have a minimum depth of 2-1/2" (4" max.) and shall be pinned off wall 1-1/2" with blind anchor attachments. Letters shall be fabricated from .090 thick aluminum. All seams shall have continuous welds and be filled.
- b. Letters & Logos shall be clear coated natural metal (ex: Bronze, Brushed Alum. Etc) or Tenant's corporate color with Landlord approval.
- c. Tenant signs to be centered architecturally on façade generally between prominent architectural elements such as columns, in front of Tenant's space. Exact location to be determined by Landlord at time of install.
- d. Lighting: Individual pinned-off, reverse channel letters shall be back lit with SloanLED (or equal) cool white V-series LED modules for halo lighting with 2-1/2" min. to 4" max. returns.. The sign's electrical components: wiring, transformer, etc. should be fully waterproof even when mounted on the interior side of the wall.
- e. Length & Height: The length and height of individual Tenant signs on internal storefronts shall not exceed what is described in either East Wing or West Wing Signs previously.
- f. Area: notwithstanding the above criteria, no sign shall exceed County of Riverside criteria.
- g. Bolts, connectors, sleeves, etc. shall be non-ferrous materials.
- h. All penetrations thru walls to be watertight.
- i. Power to tenant sign circuits is 120 volt at existing center locations / 277 volt at expansion locations.



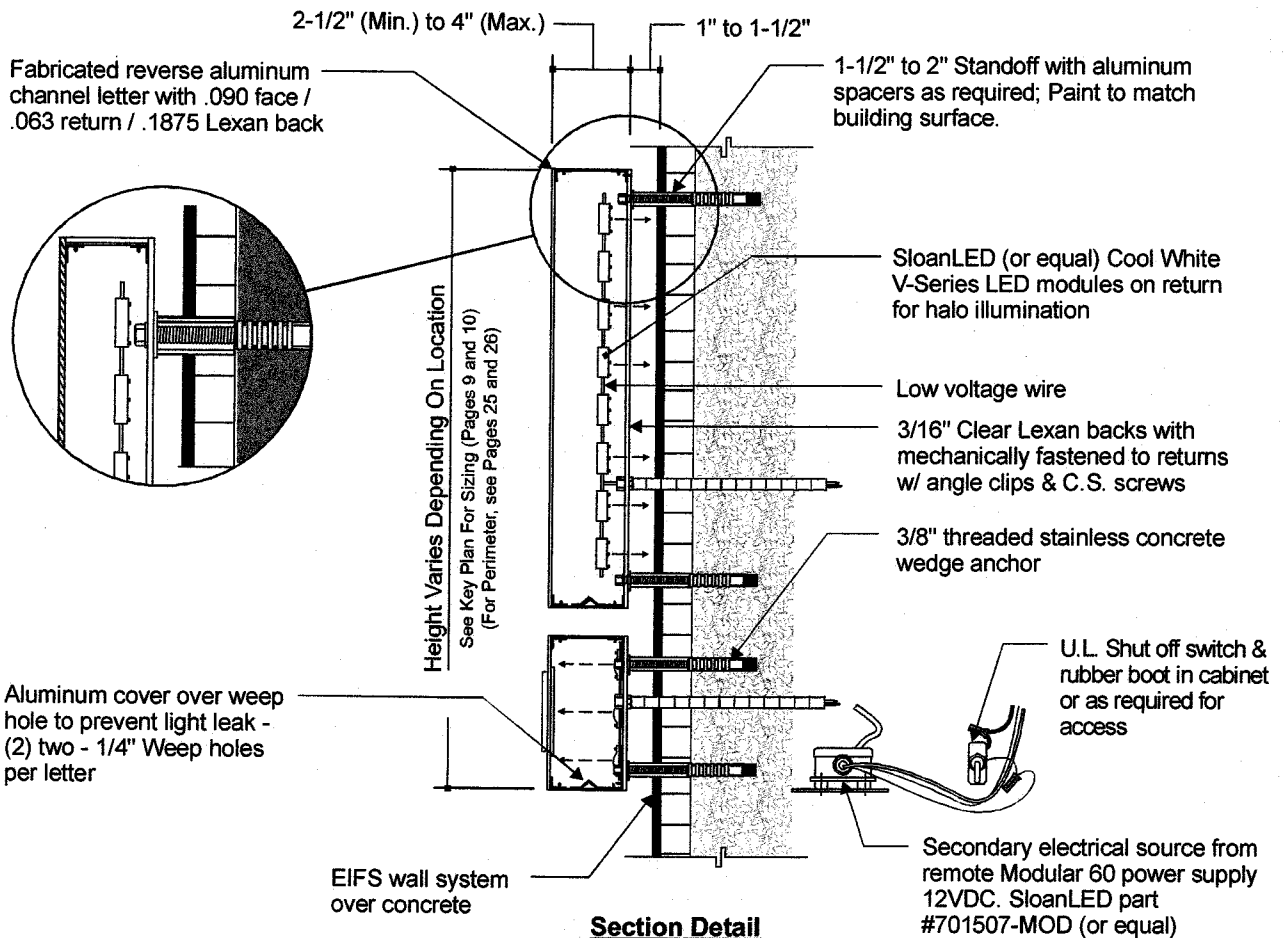
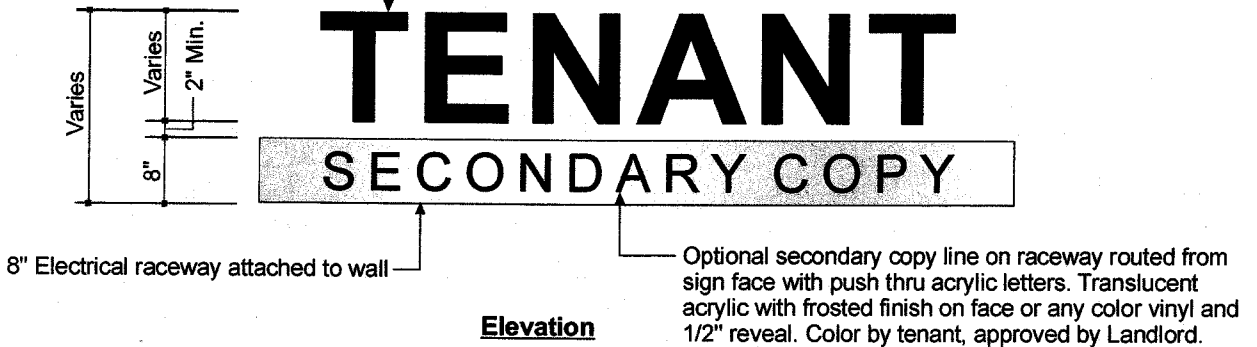
Sign Type B

SIGN TYPE B
Single or Double Line Text



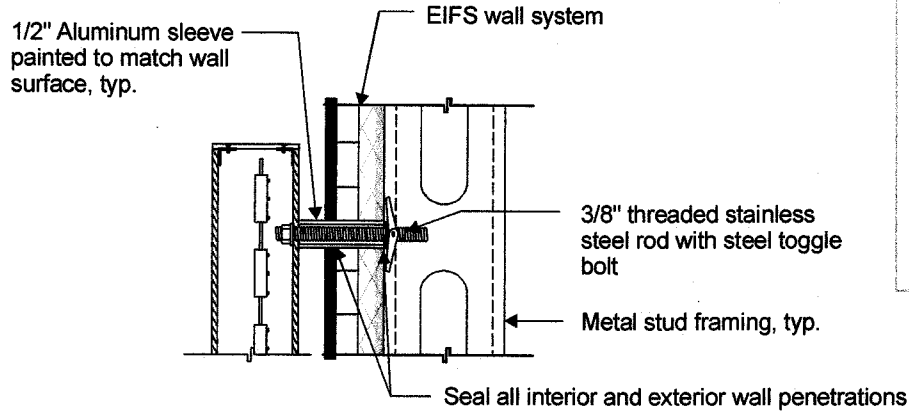
Plan View

Fabricated aluminum, reverse-channel letter forms with halo illumination. (See key plan pages 9 and 10 for Storefront sign sizing, and Key Plan pages 25 and 26 for Perimeter sign sizing).

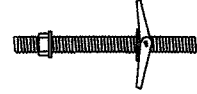


Note: All Bolts, Connectors, Sleeves, Electrical Conduits, Etc. to be Non-Ferrous. All penetrations thru tilt-up concrete wall panel to be watertight. LEDs are not to be visible on sign. All illumination to be even lighting without any "hotspots" on surfaces.

Typical Mounting Details

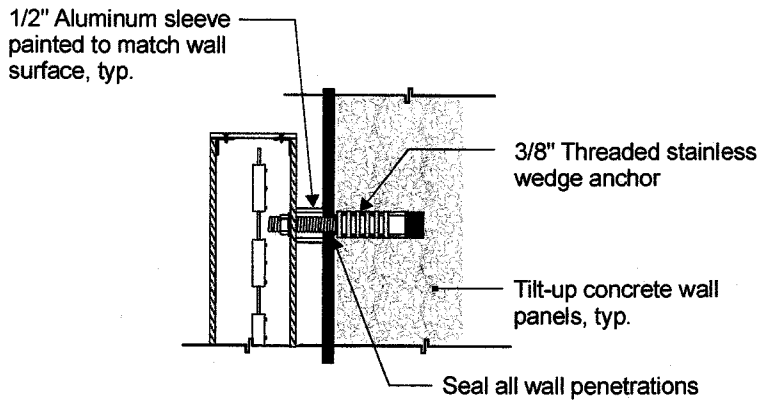


**Stud Framed Wall
Hollow Wall Anchor Sign Attachment to Structural Exterior Wall**

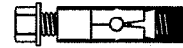


3/8" Dia. all thread stainless steel rod with Zinc plated steel toggle "Wings". Bolt length to be determined as required per wall construction.

Letter Mounting Detail At EIFS Over Metal Stud Framing



**Masonry Wall
Expansion Sign Attachment to Masonry Constructed Wall**



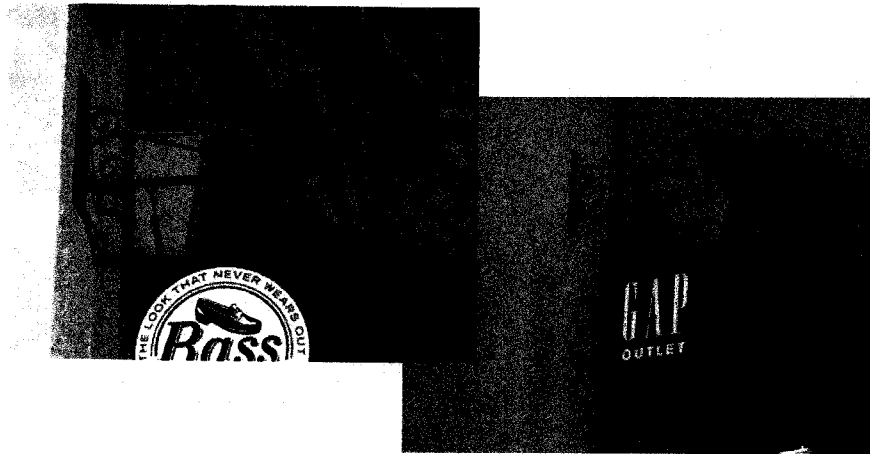
3/8" Dia. Stainless steel wedge anchor sign attachment to concrete, brick, rock and stone masonry wall installations

Letter Mounting Detail At Tilt-up Concrete Wall

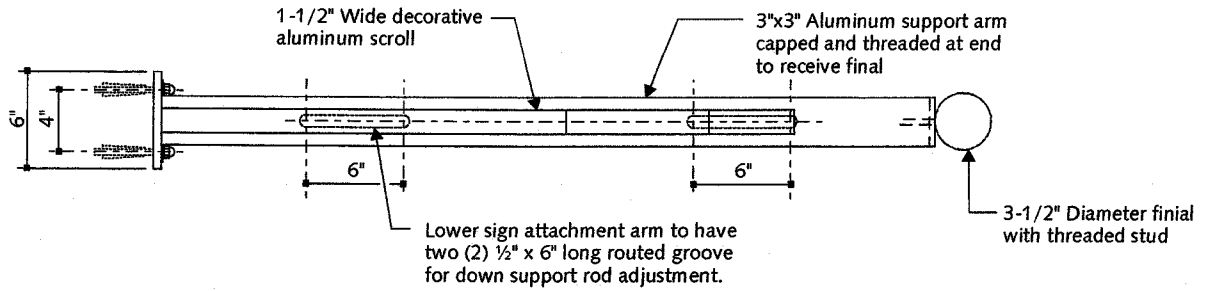
SECONDARY STOREFRONT SIGNAGE - BLADE SIGN MOUNTED ABOVE STOREFRONT ENTRY DOORS

The Tenant is required to submit shop drawings detailing materials, dimensions, styles, spacing sections, letter height, width, and depth, PMS colors and typesyles for a double-faced "Blade Sign".

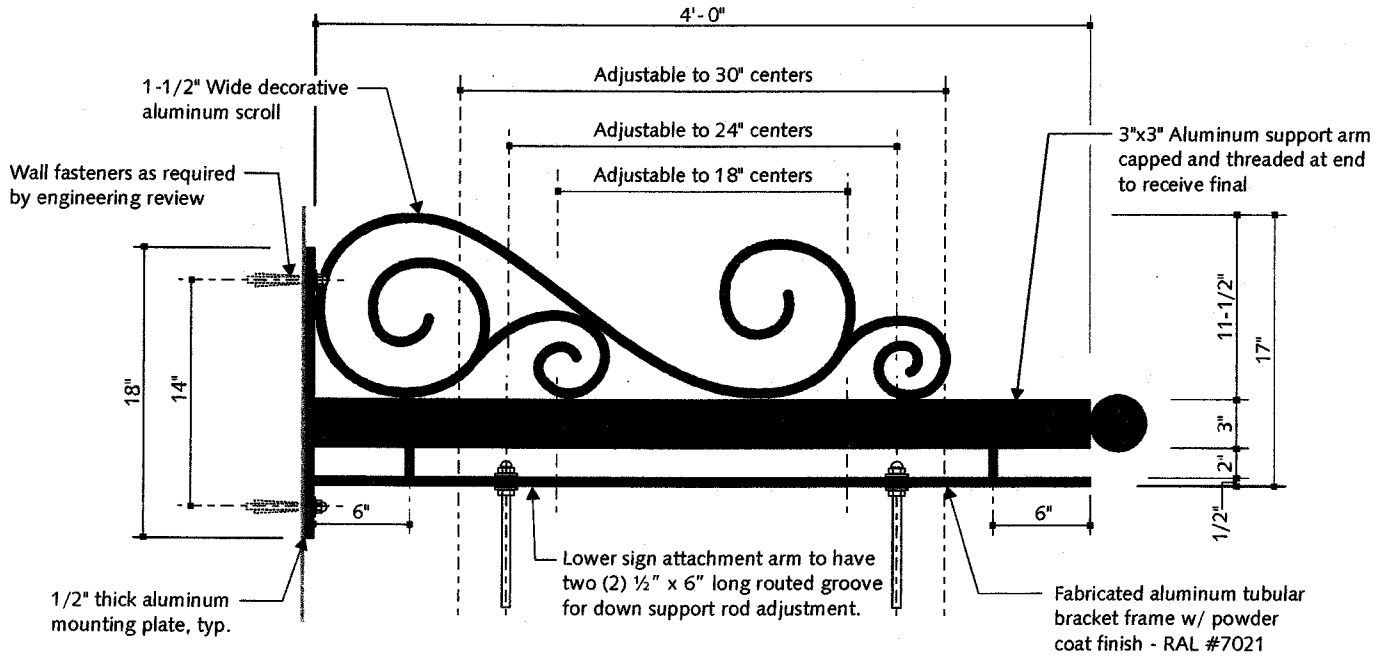
- (1) The purpose of the blade signs is to identify the store entrance to shoppers along pedestrian paths.
- (2) The size of the sign shall be limited to 6 square feet per sign face. Maximum height of the sign panel is 2'-0". Maximum width is 3'-0". The thickness of the sign background must be at least 1". All letters on blade sign to be dimensional (minimum 1/4"). Aluminum and plastic surfaces to be painted and shall be primed with two coats of primer. No vinyl letters permitted.
- (3) The shape of the blade signs will differ from Tenant to Tenant but the support bracket (staff) will be uniform as defined herein. Each Tenant's sign should be specifically designed to complement their individual style, emphasizing their corporate identity and/or product. If Tenant has a store in another Premium Outlet center, Tenant is encouraged to utilize same blade sign design.
- (4) Painted dimensional letters mounted to blade panel are required, to give interest and variety.



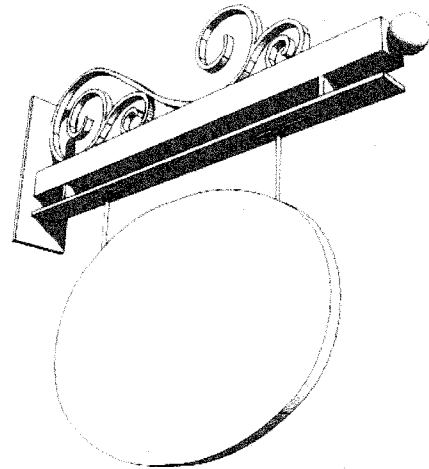
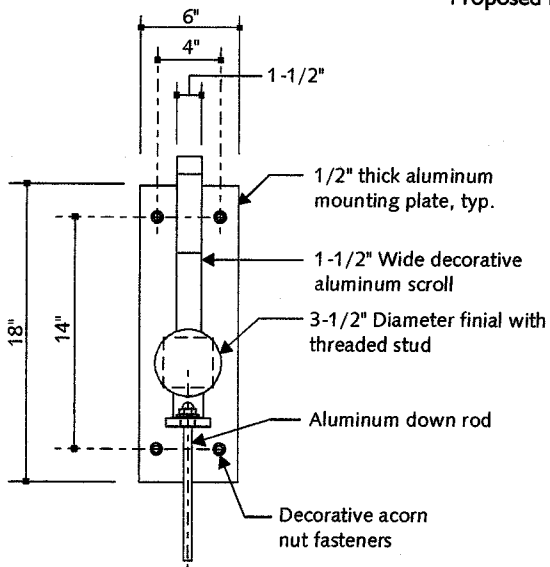
West Wing Tenant Bracket To Match Existing



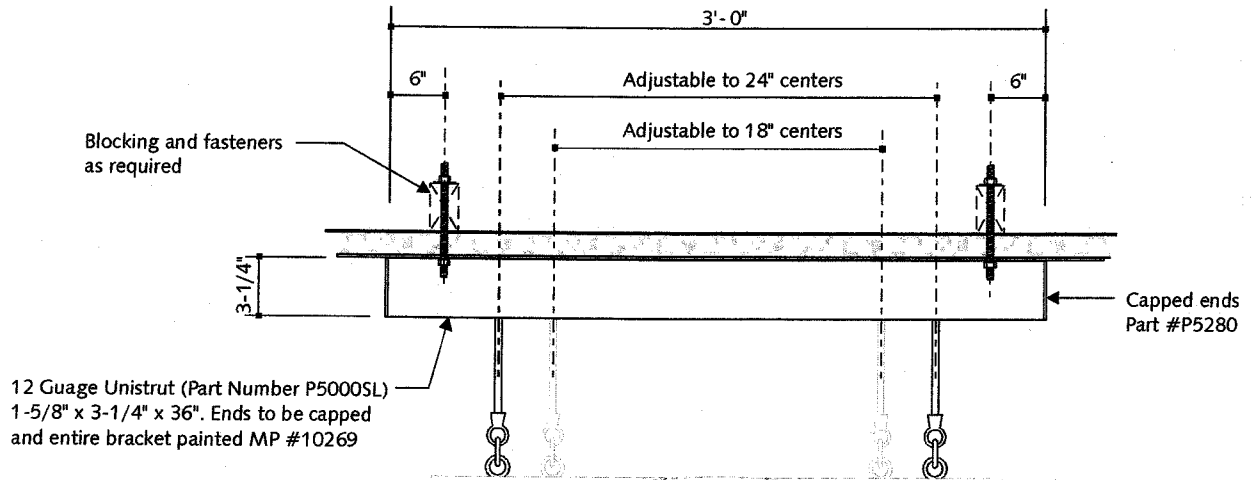
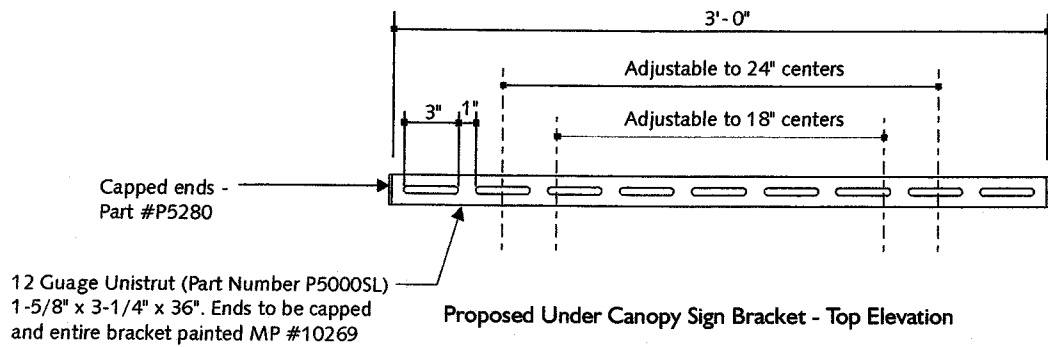
Proposed Blade Sign Wall Bracket - Top Elevation



Proposed Blade Sign Wall Bracket - Side Elevation



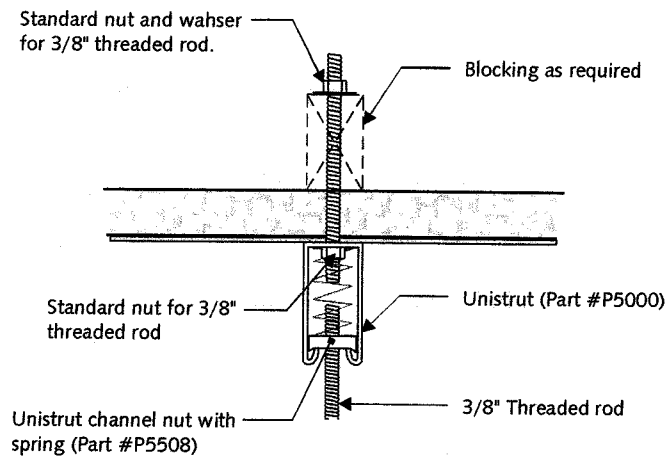
Proposed Blade Sign Wall Bracket - Front Elevation



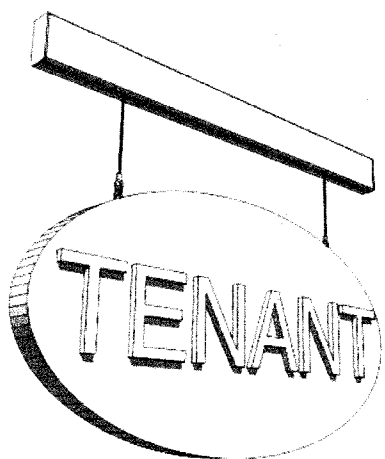
Fabricator to verify all part numbers



Proposed Under Canopy Sign Bracket - Side Elevation



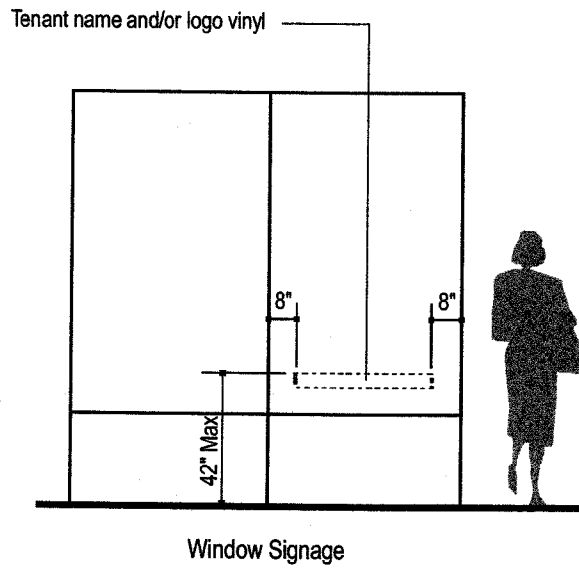
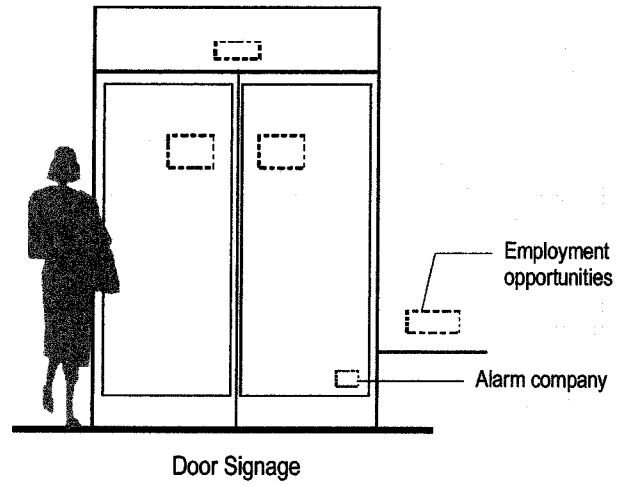
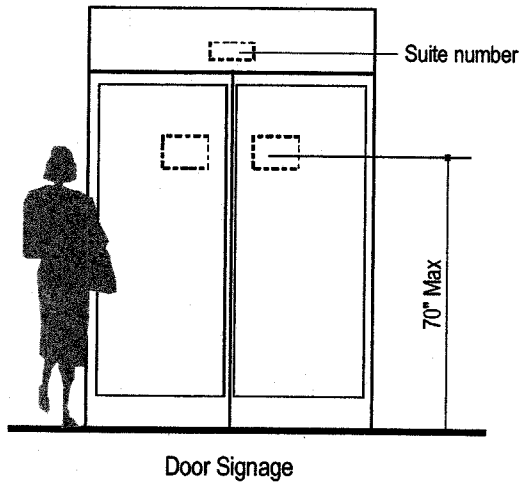
Proposed Under Canopy Sign Bracket - Front Elevation



ENTRY DOOR/STOREFRONT WINDOW SIGNAGE

- a. For the purpose of store identification, the Tenant may propose to the Landlord a design layout of Tenant name and/or logo in white or black Vinyl Die-Cut Graphics or another color as per Landlord's approval for placement on the inside of entry doors. Each door is permitted one (1) square foot of Vinyl Die-Cut Sign area. The area must be centered 70" from grade or as otherwise directed due to door configurations.
- b. For the purpose of additional store identification, the Tenant may also propose to the Landlord a design layout of store name in black or white Vinyl Die-Cut Graphics or another color, as per Landlord's approval, for placement on the inside of every other (alternating) display window. The maximum permitted area on each window may not exceed one (1) square foot and placement must occur in the centered area measured a minimum of 8" inward toward the window's center from the vertical edges of the window and may not exceed 42" above grade.
- c. Permanent store signage as part of window background display is limited to one (1) square foot of sign area per one (1) lineal foot of store frontage.
- d. Tenant supplied "Help Wanted" signs are prohibited.
- e. "Help Wanted" and other standard information signs as deemed necessary by Landlord, are provided by Landlord and shall be affixed to the inside left edge of the window immediately adjacent to the right of entry doors and no higher than 48" above grade. Such signage shall only be permitted to be affixed with clear suction cups.
- f. Standard information signage icons such as no food, drink, smoking, store hours, etc. shall be provided by Landlord only. Facebook, Twitter, Foursquare shall be provided by Landlord at tenant request and tenant expense.
- g. Credit Card or check acceptance signs or logos placed on storefront display windows or doors are strictly prohibited.
- h. Alarm company stickers shall be limited to one per entry door and be located only at the extreme lower right corner of the glass area on the door.
- i. Handicap access is permitted and shall be placed according to ADA or local jurisdiction under the supervision and approval of the Landlord.
- j. The Landlord reserves the right to require a Tenant, at its expense, to remove any storefront signage it considers to be non-complying or unprofessional.

Tenant Name and/or Logo Vinyl



FOOD COURT SIGNAGE - FOOD USE TENANTS ONLY

1. GENERAL SIGN CRITERIA

- a. Tenants shall provide at their expense a primary sign to be mounted on the standard sign frame located at each Tenant's soffit along the primary circulation aisle.
- b. All Food Court signs (size, design, type, color, method of illumination) are subject to Landlord's approval based on aesthetics and relationship to neighboring tenant signs.
- c. The information content on the signs shall be limited to letters designating the store name as set forth in signed lease documents between Tenant and Landlord.
- d. No signage promoting brand name consumer goods or national products will be accepted (i.e. Drink Coke, etc.).
- e. Tenants are encouraged to be creative with the designs of their signs. In addition to the established trade name of the store, icons or other graphic devices may be used to enhance the sign.

If exposed neon is used for icons or other graphic devices, it must be backed by a flat cut out metal background that follows the shape of the graphic.

- f. LED illuminated letters with Face / Halo illumination or combination.
- g. No projection above or below the designated sign zone will be permitted.
- h. No temporary signs of any nature will be accepted.
- i. Exposed raceways (unless a part of the sign design), junction boxes or conduit are prohibited.
- j. No photo transparency illuminated boxes are permitted unless integrated with the main menu board.
- k. Electrical power, conduit and junction box to be provided by Tenant back to Tenant's panel.

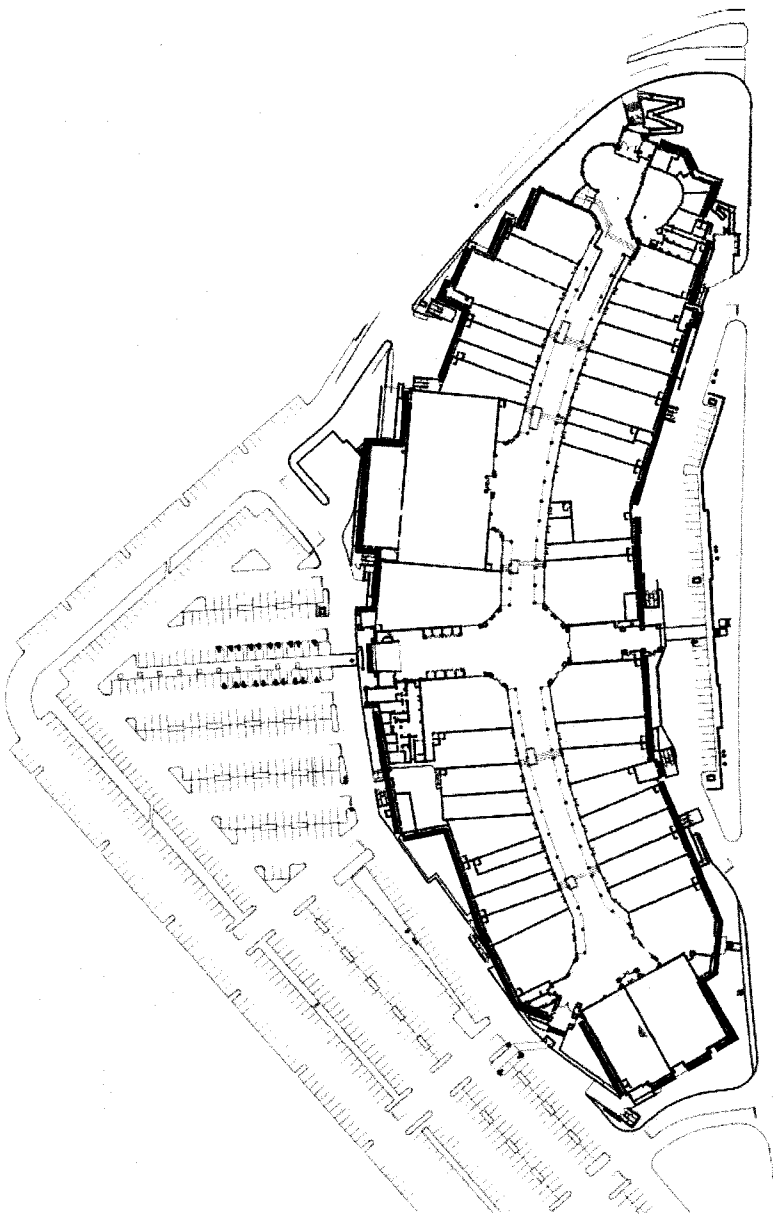
2. MENU BOARDS

Sign boards displaying items and prices shall be innovative and professionally executed.

- a. Proposed location and design of menu boards shall be included in Tenant's signage submittal and are subject to the Landlord's Approval.
- b. Permanent information shall be silk-screened, etched, painted or mounted to a baseboard of metal, wood, plastic laminate, acrylic or glass. Flimsy or fragile materials are not permitted.
- c. Hand-written changeable information is not permitted.
- d. Internally illuminated menu boards are acceptable if they have a black face with white (reversed) lettering. Design of this type of menu board is subject to Landlord approval.
- e. Chalkboards as use for menu boards are not permitted.
- f. The following board types are strictly prohibited:
 - Plastic, rubber or felt "channel" type boards with individual interchangeable plastic letters.
 - Menu boards available through national food and beverage companies advertising products.

Exterior Signage Schedule

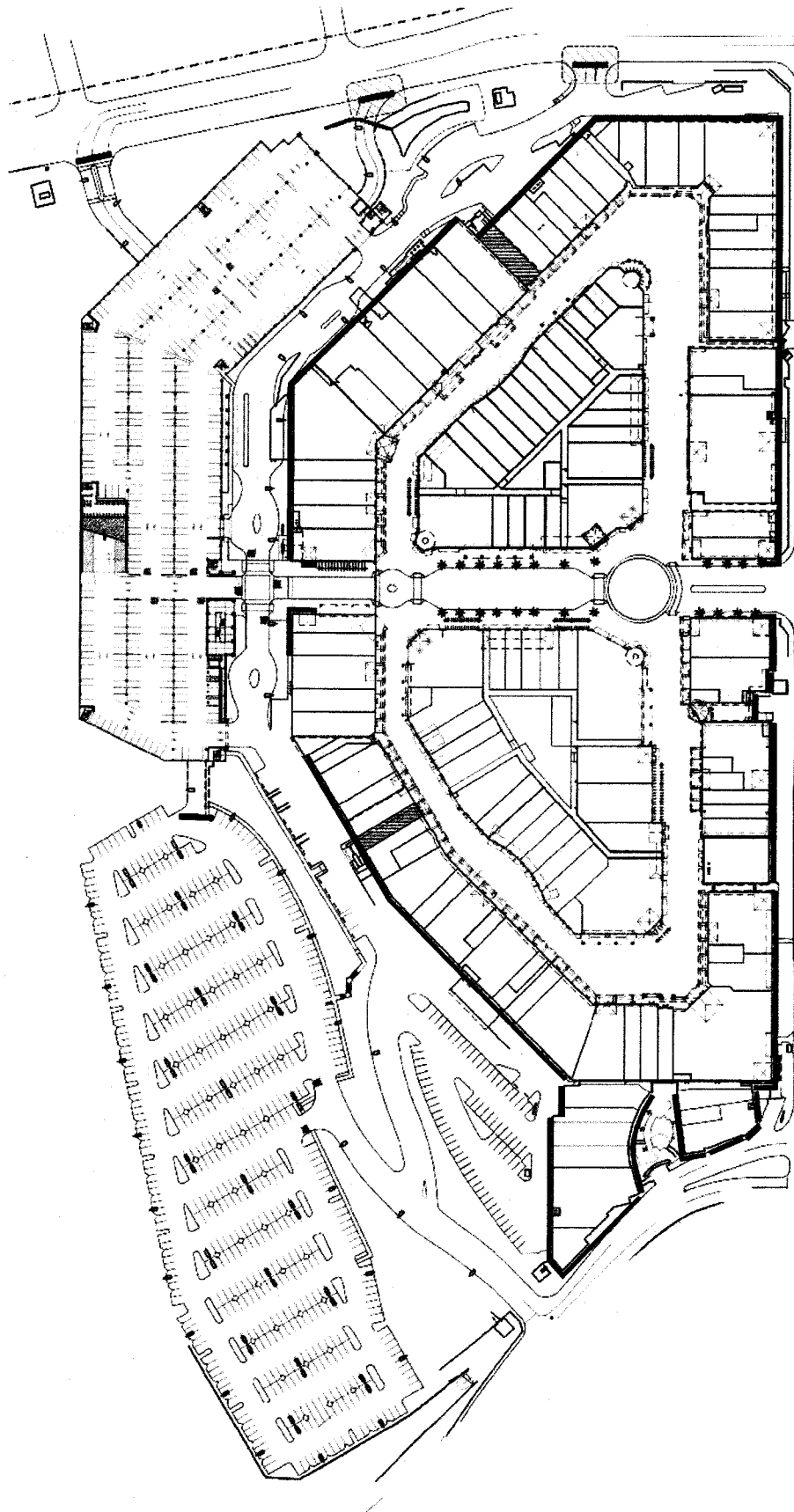
West Wing



Signage Type C
 30" High Single Line Letters
 36" Max. Assembly Height with Secondary Copy
 Reverse Channel Letters with halo illumination

Signage Type A
 Cabinet Size Varies: 30" to 72" Tall cabinet
 maximum at any mounting location where
 conditions permit and as approved by
 Landlord

Exterior Signage Schedule East Wing



Signage Type C
 30" High Single Line Letters
 36" Max. Assembly Height with Secondary Copy
 Reverse Channel Letters with halo illumination

Signage Type A
 Cabinet Size Varies: 30" to 72" Tall cabinet
 maximum at any mounting location where
 conditions permit and as approved by
 Landlord

SEMINOLE ROAD
 INTERSTATE 10

EXTERIOR PERIMETER SIGNAGE

1. GENERAL SIGN CRITERIA

- a. An additional exterior wall sign shall be permitted to specific tenants solely at the Landlord's discretion for perimeter signage on the exterior of the Center per the County of Riverside's sign codes.
- b. Square footage for Tenant wall signs shall be based on the maximum sign lengths and letter heights as defined in the following paragraphs and exhibits.
- c. Subject to Landlord review and County of Riverside approval, specific Tenant locations (such as towers or corner spaces at ends of buildings) with more than one frontage and/or entry may be allowed one sign on each frontage provided architectural treatments at each location can accommodate a sign. If additional signs are allowed, signs located on adjacent building elevations shall be similar in length, letter height, method of illumination and color.
- d. The Landlord shall select each Tenant for the specific sign locations.
- e. All signs (size, design, type and color) are subject to Landlord's approval, based on aesthetic and relationship to neighboring Tenant signs.
- f. Signs shall be limited to letters designating the store name as set forth in signed lease documents between Tenant and Landlord.
 - (1) **Tenant shall display their established registered trade name(s) only.**
 - (2) Registered trademarks and logos are not permitted.
- g. **No temporary signs of any nature will be accepted.**
- h. No projections above or below each designated sign zone will be permitted.
- i. Contractor/Tenant shall submit an application for sign approval per the County of Riverside, prior to fabrication of sign. Upon approval, the County of Riverside Building and Safety Department will issue sign/electrical permits. The County will not issue an approval for sign plans without the Landlord's stamped approval. The contractor must provide the General Manager with a copy of the County of Riverside issued sign permit and a stamped set of drawings reflecting both the Landlord's and the County's approvals prior to sign installation.
- j. The Indio office of the County of Riverside is poised to issue sign permits as well as the Riverside office of the County of Riverside. Information and permit forms can be accessed through www.tlma.co.riverside.ca.us, or by calling 760-863-8377.
- k. In some cases, exterior weatherproof raceways are required to cover any exposed electrical components above rooflines and roof membrane penetrations must be sealed. Penetration/raceway sealing must be coordinated with Landlord's roofing contractor to preserve roof warranty. Check with mall management for contact info.

Sign Type C: PERIMETER SIGN TYPE

- a. Perimeter signs to be installed during non-business hours.
- b. All Tenant's perimeter identification signage shall be of the following type: Type A (Combination cabinet with face/halo lit Logos / Logos with text) or B (Halo lit channel pin mounted letters).
 - (1) Type: Individual letters shall be 2-1/2" to 4" reverse channel halo lit aluminum letters, pin mounted to wall with blind anchor attachments and a 1-1/2" stand-off.
 - (2) Color: Letters shall be clear coated natural metal or Tenant's corporate color with Landlord approval.
 - (3) Lighting: Individual pinned-off, reverse channel letters shall be back lit with SloanLED (or equal) cool white V-series LED modules for halo lighting with 2-1/2" min. to 4" max. returns. The sign's electrical components: wiring, transformer, etc. should be fully waterproof even when mounted on the interior side of the wall. 120 volt perimeter sign circuits
 - (4) Size: Sign shall have a maximum letter height of 30" for single line copy and 36" for double line copy but cannot exceed the square footage allowable by the County of Riverside Sign Ordinance in overall size. Logos and/or Logos with text may be 30" to 72" depending on location, architectural conditions and Landlord approval.
 - (5) Sign area for individual signs per the County of Riverside Sign Ordinance and 2013 variance.
 - (6) Location: Tenant signs to be centered vertically within the sign area and installed per Landlords discretion.
 - (7) Length: The length of an exterior Tenant sign shall be dictated by the signage area as defined in the County of Riverside Sign Ordinance, and 2013 variance to the Master Sign Plan for Dessert Hills.
 - (8) Electrical power, conduit and junction box to each signage area is solely Tenant's responsibility. Tenant to extend power to sign where required.
 - (9) All sign mounts to be attached by pin-mounting. Mounts consist of 1/16" to 1/4" "all-thread" or galvanized heavy duty deck screws with 3/8" I.D. to 1/2" I.D. aluminum or PVC spacer sleeve for rigidity. **No "L" clips will be allowed.** All penetrations of the building structure required for sign installation shall be sealed in a watertight condition and patched to match adjacent finish. Spacers must be painted to match building color. **Contact Desert Hills Premium Outlets' Center Management office for building paint colors and manufacturer.**

Sign contractor shall provide Landlord with Certificate of Insurance as previously outlined in this criteria, showing evidence of worker's compensation and public liability insurance against all damage suffered or done to any and all persons and/or property while engaged in the construction or erection of signs.

All other information previously included herein for storefront signs may also apply to perimeter signs.

SPECIFIC SIGNAGE CRITERIA

1. Service/Delivery Signage

The Landlord shall furnish and install suite number to be located on the rear door of tenants suite. The sign shall be positioned on the door at a typical location in a material, size and color determined by Landlord.

2. Temporary Signage

a. Temporary Promotional Signage on Exterior of Store.

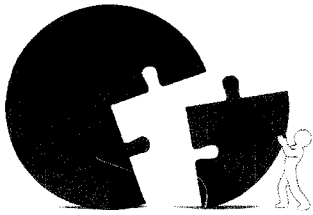
- i. No temporary promotional exterior store identification signage is allowed.
- ii. Exterior banners for promotional purposes are prohibited inside the store.
- iii. "A-frame" poster holder or other types of freestanding signs may not be outside of the Lease Line at any time. The Lease Line is defined as the boundary between storefront glazing and entrance doors and common areas.
- iv. No merchandise shall be placed outside of Lease Line.

Temporary Promotional Signage Inside Store Only.

- i. All temporary signage must be submitted to the General Manager for review and approval of Promotional Sign Variance.
- ii. Each variance shall be limited to two (2) weeks, and upon expiration may be renewed once with proof of supporting advertising (4-week maximum).
- iii. The total area of promotional signage is limited to one (1) square foot per lineal foot of store frontage.
- iv. All temporary promotional signage must be professionally produced. Handmade or personal computer graphic signs are prohibited.
- v. Promotional signs affixed in any manner to storefront windows or entry doors are prohibited. Such signs intended to be visible through storefront windows may be temporarily suspended with aircraft cable or monofilament no closer than twelve (12") inches from the inside of window. The Landlord reserves the right to remove any promotional material that is visible through the storefront windows which is deemed to be inconsistent with the quality level of the Center.
- vi. Fabric of lightweight posters must be weighted. Curled sign materials are not permitted.
- vii. All interior banners shall be considered "Temporary Promotional Signage" and as such, be subject to all rules governing same. The area of interior banners may not exceed one (1) square foot per lineal foot of storefront. In no case may an interior banner be hung closer to the storefront than half the distance from the furthest back wall of the store, and may not be suspended with the lower edge less than eight (8') feet above the floor.

3. Prohibited Signs

- a. Signs constituting a traffic hazard.
No persons shall install or cause to be installed or maintain any sign which simulates or imitates in size, color, lettering, or design, any traffic sign or signal, or which makes use of the words "Stop", "Look", "Danger" or any other words, phases, symbols or characters in such a manner to interfere with, mislead or confuse traffic.
- b. Immoral or Unlawful Advertising
It shall be unlawful for any person to exhibit, post or display, cause to be exhibited, posted or displayed upon any sign, anything of any obscene, indecent or immoral nature or unlawful activity.
- c. No signs will be permitted in the common area in front of the store. No signs shall be installed, relocated or maintained so as to prevent free ingress to or egress from any door.
- d. Animated, Audible or Moving Signs.
Signs consisting of, or giving the effect of moving, swinging, rotating, flashing, blinking, scintillating, fluctuating or having animated light area are prohibited.
- e. Off-Premise Signs.
Any sign installed for the purpose of advertising a project, event, person or subject occurring off the Center property is prohibited unless approved in writing by the General Manager.
- f. Vehicle Signs.
Signs on or affixed to trucks, automobiles, trailers or other vehicles which advertise, identify or provide direction to a use or activity not related to its lawful making of deliveries of merchandise or service, are prohibited.
- g. Light Bulb Strings and Exposed Tubing.
Storefront display lighting (other than temporary, decorative holiday lighting) which consist of unshielded light bulbs, open, exposed neon or gaseous light tubing are prohibited. An exception hereto may be granted by Landlord with prior written approval when the display is an integral part of the design character of the activity to which it relates.
- h. Credit Card/Telecheck/Security Signage.
Vendor provided adhesive signs are prohibited on any entry doors or display windows.
- i. Lettering painted directly on the building facade will not be permitted except as defined in these criteria.
- j. Unprofessional hand-lettered signs are prohibited in the public view from the storefront. Absolutely no signs are permitted to be taped to the storefront on any visible surface.
- k. Inventory Liquidation Signs.
"Going Out of Business", "Bankruptcy Sale", "Closing This Store", "Lost Our Lease", etc. signs are strictly prohibited.
- l. Flyers.
Distribution of flyers, for any purpose, outside of Tenant's leased premises unless specifically authorized by Landlord is prohibited.
- m. Neon or Internally Illuminated Signs.
Unless specifically approved by the Landlord, neon or internally illuminated signage is prohibited inside stores.



Carolyn Syms Luna

RIVERSIDE COUNTY
PLANNING DEPARTMENT

Memorandum

DATE: October 21, 2013
TO: Riverside County Director's Hearing Planning Officer
FROM: Planning Staff
RE: **October 21, 2013 Director's Hearing meeting for Agenda Item Plot Plan No. 25356, Plot Plan No. 25357, Variance No. 1888 and Variance No. 1889**

1. Staff recommends adding the attached curb exhibit to the staff report package per Riverside County Transportation Department request.

Riverside Office · 4080 Lemon Street, 12th Floor
P.O. Box 1409, Riverside, California 92502-1409
(951) 955-3200 · Fax (951) 955-3157

Desert Office · 38686 El Cerrito Road
Palm Desert, California 92211
(760) 863-8277 · Fax (760) 863-7555



ROBERT HILLS PREMIUM
 PROFESSIONAL ENGINEER
 LICENSE NO. 01788
 STATE OF FLORIDA

WEST
 MASTER
 SIGN
 PROGRAM

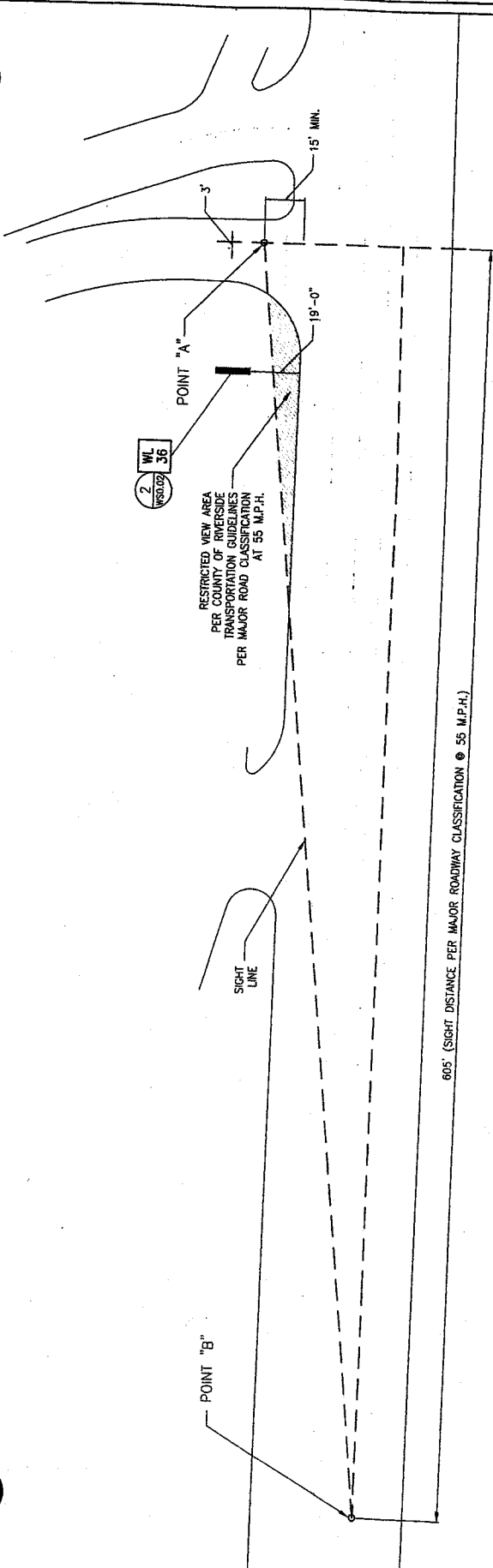
PREMIUM
 OUTLETS
 SIMON

WEST
 INTERSECTION
 SIGHT DISTANCE
 EXHIBIT

PLAN CHECK & APPROVAL
 © 2011 Technical Design
 ALL RIGHTS RESERVED
 THIS DOCUMENT IS THE PROPERTY OF TECHNICAL DESIGN
 AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF TECHNICAL DESIGN

DATE _____
 PROJECT NO. _____
 SHEET NO. _____
 TOTAL SHEETS _____

SHEET
WS0.01C

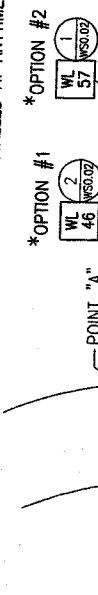


605' (SIGHT DISTANCE PER MAJOR ROADWAY CLASSIFICATION @ 55 M.P.H.)

SEMINOLE ROAD AND PREMIUM OUTLETS STREET

1

* ONLY ONE OF THESE TWO OPTIONS
 WILL BE INSTALLED AT ANYTIME



*OPTION #1
 WL 46
 WS0.02

*OPTION #2
 WL 57
 WS0.02

RESTRICTED VIEW AREA
 PER COUNTY OF RIVERSIDE
 TRANSPORTATION GUIDELINES
 PER MAJOR ROAD CLASSIFICATION
 AT 55 M.P.H.

605' (SIGHT DISTANCE PER MAJOR ROADWAY CLASSIFICATION @ 55 M.P.H.)

SEMINOLE ROAD AND PARKING ENTRANCE STREET

2

PLOT PLAN:ADMINISTRATIVE Case #: PP25356

Parcel: 519-110-040

10. GENERAL CONDITIONS

EVERY DEPARTMENT

10. EVERY. 1 PPA - PROJECT DESCRIPTION RECOMMND

The use hereby permitted is a master signage program for an existing outdoor outlet shopping center located on 75 gross acres (Desert Hills Premium Outlets).

10. EVERY. 2 PPA - SIGN CATEGORY RECOMMND

This plot plan is a permit authorizing the following sign category(ies):

- | | |
|---|--|
| <input checked="" type="checkbox"/> Free Standing | <input checked="" type="checkbox"/> Affixed to Building |
| <input checked="" type="checkbox"/> Directional | <input checked="" type="checkbox"/> On-Site Identification |
| <input type="checkbox"/> For Sale, Lease or Rent | <input type="checkbox"/> Temporary Political |
| <input type="checkbox"/> Subdivision, On-Site | <input type="checkbox"/> Subdivision, Off-Site |

10. EVERY. 3 PPA - HOLD HARMLESS RECOMMND

The applicant/permittee or any successor-in-interest shall defend, indemnify, and hold harmless the County of Riverside or its agents, officers, and employees (COUNTY) from the following:

(a) any claim, action, or proceeding against the COUNTY to attack, set aside, void, or annul an approval of the COUNTY, its advisory agencies, appeal boards, or legislative body concerning the PLOT PLAN; and,

(b) any claim, action or proceeding against the COUNTY to attack, set aside, void or annul any other decision made by the COUNTY concerning the PLOT PLAN, including, but not limited to, decisions made in response to California Public Records Act requests.

The COUNTY shall promptly notify the applicant/permittee of any such claim, action, or proceeding and shall cooperate fully in the defense. If the COUNTY fails to promptly notify the applicant/permittee of any such claim, action, or proceeding or fails to cooperate fully in the defense, the applicant/permittee shall not, thereafter, be responsible to defend, indemnify or hold harmless the COUNTY.

The obligations imposed by this condition include, but are not limited to, the following: the applicant/permittee shall pay all legal services expenses the COUNTY incurs in

PLAN:ADMINISTRATIVE Case #: PP25356

Parcel: 519-110-040

10. GENERAL CONDITIONS

10. EVERY. 3 PPA - HOLD HARMLESS (cont.) RECOMMND

connection with any such claim, action or proceeding, whether it incurs such expenses directly, whether it is ordered by a court to pay such expenses, or whether it incurs such expenses by providing legal services through its Office of County Counsel.

10. EVERY. 4 PPA - CONFORM TO EXHIBIT RECOMMND

The development of the premises shall conform substantially with that as shown on Plot Plan No. 25356 Exhibit S dated 5/8/13.

BS PLNCK DEPARTMENT

10.BS PLNCK. 1 USE - BUILD & SAFETY PLNCK RECOMMND

PERMIT ISSUANCE:

Per section 105.1 (2010 California Building Code, CBC): Where any owner or authorized agent intends to construct, enlarge, alter, repair, move, demolish or change the occupancy of a building or structure, or to erect, install, enlarge, alter, repair, remove, convert, or replace any electrical, gas, mechanical, or plumbing system, the regulation of which is governed by this code, or to cause any such work to be done, shall first make application to the building official and obtain the required permit. The applicant shall obtain the required building permit(s) from the building department prior to any construction or placement of any building, structure or equipment on the property.

The applicant shall obtain an approved final building inspection and certificate of occupancy from the building department prior to any use or occupancy of the building, or structure.

At no time shall the approval of the planning case exhibit allow for the construction or use of any building or structure.

In non-residential applications, separate building permits may include a permit for the structure (Shell building), signs, grading, tenant improvements, accessory structures and/or equipment, which may include trash enclosures, light standards, block walls/fencing etcà

CODE/ORDINANCE REQUIREMENTS:

The applicant shall obtain the required building permit(s)

PLOT PLAN:ADMINISTRATIVE Case #: PP25356

Parcel: 519-110-040

10. GENERAL CONDITIONS

10.BS PLNCK. 1 USE - BUILD & SAFETY PLNCK (cont.) RECOMMND

from the building department prior to any construction on the property. All building plans and supporting documentation shall comply with current adopted California Building Codes, Riverside County Ordinances, and California Title 25 regulations in effect at the time of building plan submittal and fee payment to the Building Department. All Building Department plan submittal and fee requirements shall apply.

PLANNING DEPARTMENT

10.PLANNING. 1 PPA - ARTICLE XIX, ORD. 348 RECOMMND

Advertising as approved shall conform with the provisions of Article XIX, Riverside County Ordinance No. 348, with special reference to Sections 19.4 through 19.8 as applied to the sign category authorized under this plot plan.

10.PLANNING. 2 PPA - BUILDING PERMIT REQUIRED RECOM

Prior to the installation of the advertising device or structure, a building permit shall be obtained from the Riverside County Department of Building and Safety.

10.PLANNING. 4 PPA - HOOD/DIRECT LIGHTING RECOMMND

Any outside lighting shall be hooded and directed so as not to shine directly on adjoining property or public right-of-way.

10.PLANNING. 5 PPA - COMPLY WITH ORD./CODES RECOMMND

The development of these premises shall comply with the standards of Ordinance No. 348 and all other applicable Riverside County ordinances and State and Federal codes. The development of the premises shall conform substantially with that as shown on APPROVED EXHIBIT A , unless otherwise amended by these conditions of approval.

10.PLANNING. 6 PPA - COMPLY WITH ORD. 655 RECOMMND

All lighting shall comply with any applicable provisions of Riverside County Ordinance No. 655.

PLAN:ADMINISTRATIVE Case #: PP25356

Parcel: 519-110-040

10. GENERAL CONDITIONS

10.PLANNING. 7 USE - CAUSES FOR REVOCATION RECOMMND

In the event the use hereby permitted under this permit,
a) is found to be in violation of the terms and conditions of this permit,
b) is found to have been obtained by fraud or perjured testimony, or
c) is found to be detrimental to the public health, safety or general welfare, or is a public nuisance, this permit shall be subject to the revocation procedures.

10.PLANNING. 8 PPA - OFFSITE SIGNS PROHIBITED RECOMMND

Any off-site signs associated with this project is prohibited.

10.PLANNING. 9 PPA - SIGN PERMITS CONSISTENCY RECOMMND

All new sign permits must be consistent with this approved Riverside County sign program and technical standards set forth by the outlet's design management team, or approved by the Riverside County Plannig Department.

10.PLANNING. 10 PPA - MOBILE UNFIXED SIGNS RECOMMND

All unfixed mobile signs located within the shopping center shall advertize operational information concerning the shopping center only. Any other form of advertising on these signs is prohibited.

20. PRIOR TO A CERTAIN DATE

PLANNING DEPARTMENT

20.PLANNING. 1 PPA - EXPIRATION DATE RECOMMND

This approval shall be used within two (2) years from the date of approval on October 21, 2013; otherwise, the plot plan shall be null and void. Notwithstanding the foregoing, the applicant or a successor-in-interest may, prior to its expiration, request an extension of time in which to use the plot plan.

If an extension is granted, the total time allowed for use of the plot plan shall not exceed a period of five years, calculated from the date of approval. The term "use" shall mean the beginning of substantial construction of the use that is authorized, which construction must thereafter be

09/11/13
08:02

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 5

PLOT PLAN:ADMINISTRATIVE Case #: PP25356

Parcel: 519-110-040

20. PRIOR TO A CERTAIN DATE

20.PLANNING. 1

PPA - EXPIRATION DATE (cont.)

RECOMMND

pursued diligently to completion, or the actual occupancy of existing buildings or land under the terms of the authorized use.

PLAN:ADMINISTRATIVE Case #: PP25357

Parcel: 519-110-041

10. GENERAL CONDITIONS

EVERY DEPARTMENT

10. EVERY. 1 PPA - PROJECT DESCRIPTION RECOMMND

The use hereby permitted is a master signage program for an existing outdoor outlet shopping center located on 75 groos acres (Desert Hills Premium Outlets).

10. EVERY. 2 PPA - SIGN CATEGORY RECOMMND

This plot plan is a permit authorizing the following sign category(ies):

- | | |
|---|--|
| <input checked="" type="checkbox"/> Free Standing | <input checked="" type="checkbox"/> Affixed to Building |
| <input checked="" type="checkbox"/> Directional | <input checked="" type="checkbox"/> On-Site Identification |
| <input type="checkbox"/> For Sale, Lease or Rent | <input type="checkbox"/> Temporary Political |
| <input type="checkbox"/> Subdivision, On-Site | <input type="checkbox"/> Subdivision, Off-Site |

10. EVERY. 3 PPA - HOLD HARMLESS RECOMMND

The applicant/permittee or any successor-in-interest shall defend, indemnify, and hold harmless the County of Riverside or its agents, officers, and employees (COUNTY) from the following:

(a) any claim, action, or proceeding against the COUNTY to attack, set aside, void, or annul an approval of the COUNTY, its advisory agencies, appeal boards, or legislative body concerning the PLOT PLAN; and,

(b) any claim, action or proceeding against the COUNTY to attack, set aside, void or annul any other decision made by the COUNTY concerning the PLOT PLAN, including, but not limited to, decisions made in response to California Public Records Act requests.

The COUNTY shall promptly notify the applicant/permittee of any such claim, action, or proceeding and shall cooperate fully in the defense. If the COUNTY fails to promptly notify the applicant/permittee of any such claim, action, or proceeding or fails to cooperate fully in the defense, the applicant/permittee shall not, thereafter, be responsible to defend, indemnify or hold harmless the COUNTY.

The obligations imposed by this condition include, but are not limited to, the following: the applicant/permittee shall pay all legal services expenses the COUNTY incurs in

PLOT PLAN:ADMINISTRATIVE Case #: PP25357

Parcel: 519-110-041

10. GENERAL CONDITIONS

10. EVERY. 3 PPA - HOLD HARMLESS (cont.) RECOMMND

connection with any such claim, action or proceeding, whether it incurs such expenses directly, whether it is ordered by a court to pay such expenses, or whether it incurs such expenses by providing legal services through its Office of County Counsel.

10. EVERY. 4 PPA - CONFORM TO EXHIBIT RECOMMND

The development of the premises shall conform substantially with that as shown on Plot Plan No. 25357, Exhibit S dated 5/8/13 and Exhibit SP 9/10/13.

BS PLNCK DEPARTMENT

10.BS PLNCK. 1 USE - BUILDING & SAFETY PLNCK RECOMMND

PERMIT ISSUANCE:
Per section 105.1 (2010 California Building Code, CBC):
Where any owner or authorized agent intends to construct, enlarge, alter, repair, move, demolish or change the occupancy of a building or structure, or to erect, install, enlarge, alter, repair, remove, convert, or replace any electrical, gas, mechanical, or plumbing system, the regulation of which is governed by this code, or to cause any such work to be done, shall first make application to the building official and obtain the required permit. The applicant shall obtain the required building permit(s) from the building department prior to any construction or placement of any building, structure or equipment on the property.
The applicant shall obtain an approved final building inspection and certificate of occupancy from the building department prior to any use or occupancy of the building, or structure.
At no time shall the approval of the planning case exhibit allow for the construction or use of any building or structure.
In non- residential applications, separate building permits may include a permit for the structure (Shell building), signs, grading, tenant improvements, accessory structures and/or equipment, which may include trash enclosures, light standards, block walls/fencing etc

PLAN:ADMINISTRATIVE Case #: PP25357

Parcel: 519-110-041

10. GENERAL CONDITIONS

PLANNING DEPARTMENT

10.PLANNING. 1 PPA - ARTICLE XIX, ORD. 348

RECOMMND

Advertising as approved shall conform with the provisions of Article XIX, Riverside County Ordinance No. 348, with special reference to Sections 19.4 through 19.8 as applied to the sign category authorized under this plot plan.

10.PLANNING. 2 PPA - BUILDING PERMIT REQUIRED

RECOMMND

Prior to the installation of the advertising device or structure, a building permit shall be obtained from the Riverside County Department of Building and Safety.

10.PLANNING. 4 PPA - HOOD/DIRECT LIGHTING

RECOMMND

Any outside lighting shall be hooded and directed so as not to shine directly on adjoining property or public right-of-way.

10.PLANNING. 5 PPA - COMPLY WITH ORD./CODES

RECOMMND

The development of these premises shall comply with the standards of Ordinance No. 348 and all other applicable Riverside County ordinances and State and Federal codes. The development of the premises shall conform substantially with that as shown on APPROVED EXHIBIT A , unless otherwise amended by these conditions of approval.

10.PLANNING. 6 PPA - COMPLY WITH ORD. 655

RECOMMND

All lighting shall comply with any applicable provisions of Riverside County Ordinance No. 655.

10.PLANNING. 7 USE - CAUSES FOR REVOCATION

RECOMMND

In the event the use hereby permitted under this permit,
a) is found to be in violation of the terms and conditions of this permit,
b) is found to have been obtained by fraud or perjured testimony, or
c) is found to be detrimental to the public health, safety or general welfare, or is a public nuisance, this permit shall be subject to the revocation procedures.

PLOT PLAN:ADMINISTRATIVE Case #: PP25357

Parcel: 519-110-041

10. GENERAL CONDITIONS

10.PLANNING. 8 PPA - OFFSITE SIGNS PROHIBITED RECOMMND

Any off-site signs associated with this project is prohibited.

10.PLANNING. 9 PPA - SIGN PERMITS CONSISTENCY RECOMMND

All new sign permits must be consistent with this approved Riverside County sign program and technical standards set forth by the outlet's design management team, or approved by the Riverside County Planning Department.

10.PLANNING. 10 PPA - MOBILE UNFIXED SIGNS RECOMMND

All unfixed mobile signs located within the shopping center shall advertize operational information concerning the shopping center only. Any other form of advertising on these signs is prohibited.

TRANS DEPARTMENT

10.TRANS. 1 USE - SIGN STRUCTURES RECOMMND

The footings and the sign structures shall be placed outside of County road right-of-way and restricted use area for sight distance.

20. PRIOR TO A CERTAIN DATE

PLANNING DEPARTMENT

20.PLANNING. 1 PPA - EXPIRATION DATE RECOMMND

This approval shall be used within two (2) years from the date of approval on October 21, 2013; otherwise, the plot plan shall be null and void. Notwithstanding the foregoing, the applicant or a successor-in-interest may, prior to its expiration, request an extension of time in which to use the plot plan.

If an extension is granted, the total time allowed for use of the plot plan shall not exceed a period of five years, calculated from the date of approval. The term "use" shall mean the beginning of substantial construction of the use that is authorized, which construction must thereafter be pursued diligently to completion, or the actual occupancy of existing buildings or land under the terms of the authorized use.

09/11/13
08:02

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 5

PLAN:ADMINISTRATIVE Case #: PP25357

Parcel: 519-110-041

80. PRIOR TO BLDG PRMT ISSUANCE

TRANS DEPARTMENT

80.TRANS. 1 USE - SIGN STRUCTURES

RECOMMND

The footings and the sign structures shall be placed outside of County road right-of-way and restricted use area for sight distance.

90. PRIOR TO BLDG FINAL INSPECTION

TRANS DEPARTMENT

90.TRANS. 1 USE - SIGN STRUCTURES

RECOMMND

The footings and the sign structures shall be placed outside of County road right-of-way and restricted use area for sight distance.

VARIANCE Case #: VAR01888

Parcel: 519-110-040

10. GENERAL CONDITIONS

EVERY DEPARTMENT

10. EVERY. 1 VAR - PROJECT DESCRIPTION

RECOMMND

The variance proposes to exceed the maximum sign surface area from 5% to 10% for wall tenant signs affixed to the rear of buildings.

10. EVERY. 2 VAR - HOLD HARMLESS

RECOMMND

The applicant/permittee or any successor-in-interest shall defend, indemnify, and hold harmless the County of Riverside or its agents, officers, and employees (COUNTY) from the following:

(a) any claim, action, or proceeding against the COUNTY to attack, set aside, void, or annul an approval of the COUNTY, its advisory agencies, appeal boards, or legislative body concerning the VARIANCE; and,

(b) any claim, action or proceeding against the COUNTY to attack, set aside, void or annul any other decision made by the COUNTY concerning the VARIANCE, including, but not limited to, decisions made in response to California Public Records Act requests.

The COUNTY shall promptly notify the applicant/permittee of any such claim, action, or proceeding and shall cooperate fully in the defense. If the COUNTY fails to promptly notify the applicant/permittee of any such claim, action, or proceeding or fails to cooperate fully in the defense, the applicant/permittee shall not, thereafter, be responsible to defend, indemnify or hold harmless the COUNTY.

The obligations imposed by this condition include, but are not limited to, the following: the applicant/permittee shall pay all legal services expenses the COUNTY incurs in connection with any such claim, action or proceeding, whether it incurs such expenses directly, whether it is ordered by a court to pay such expenses, or whether it incurs such expenses by providing legal services through its Office of County Counsel.

10. EVERY. 3 VAR - 90 DAYS TO PROTEST

RECOMMND

The project developer has 90 days from the date of approval of these conditions to protest, in accordance with the

PLANNING Case #: VAR01888

Parcel: 519-110-040

10. GENERAL CONDITIONS

10. EVERY. 3 VAR - 90 DAYS TO PROTEST (cont.) RECOMMND

procedures set forth in Government Code Section 66020, the imposition of any and all fees, dedications, reservations and/or other exactions imposed on this project as a result of this approval or conditional approval of this application.

PLANNING DEPARTMENT

10.PLANNING. 1 VAR - COMPLY WITH ORD./CODES RECOMMND

The development of these premises shall comply with the standards of Ordinance No. 348 and all other applicable Riverside County ordinances and State and Federal codes.

The development of the premises shall conform substantially with that as shown on APPROVED EXHIBIT A, unless otherwise amended by these conditions of approval.

10.PLANNING. 2 VAR - FEES FOR REVIEW RECOMMND

Any subsequent submittals required by these conditions of approval, including but not limited to grading plan, building plan or mitigation monitoring review, shall be reviewed on an hourly basis (research fee), or other such review fee as may be in effect at the time of submittal, as required by Ordinance No. 671. Each submittal shall be accompanied with a letter clearly indicating which condition or conditions the submittal is intended to comply with.

10.PLANNING. 3 USE - CAUSES FOR REVOCATION RECOMMND

In the event the use hereby permitted under this permit,
a) is found to be in violation of the terms and conditions of this permit,
b) is found to have been obtained by fraud or perjured testimony, or
c) is found to be detrimental to the public health, safety or general welfare, or is a public nuisance, this permit shall be subject to the revocation procedures.

09/26/13
12:40

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 3

VARIANCE Case #: VAR01888

Parcel: 519-110-040

20. PRIOR TO A CERTAIN DATE

PLANNING DEPARTMENT

20.PLANNING. 1

VAR - EXPIRATION DATE FOR USE

RECOMMND

This approval shall be used within one (1) year of approval date; otherwise, it shall become null and void and of no effect whatsoever. By use is meant the beginning of substantial construction contemplated by this approval within the one (1) year period, which is thereafter diligently pursued to completion or to the actual occupancy of existing buildings or land under the terms of the authorized use. Prior to the expiration of the one year period, the permittee may request a one (1) year extension of time request in which to use this variance. A maximum of two (2) one-year extension of time requests may be permitted. Should the time period established by any of the extension of time requests lapse, or should both the one-year extensions be obtained and no substantial construction or use of this variance be initiated within three (3) years of the effective date of the issuance of this variance, this variance shall become null and void.

VARIANCE Case #: VAR01889

Parcel: 519-110-041

10. GENERAL CONDITIONS

EVERY DEPARTMENT

10. EVERY. 1 VAR - PROJECT DESCRIPTION RECOMMND

The variance proposes to exceed the maximum sign surface area from 5% to 10% for wall tenant signs affixed to the rear of buildings.

10. EVERY. 2 VAR - HOLD HARMLESS RECOMMND

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(a) any claim, action, or proceeding against the COUNTY to attack, set aside, void, or annul an approval of the COUNTY, its advisory agencies, appeal boards, or legislative body concerning the VARIANCE; and,

(b) any claim, action or proceeding against the COUNTY to attack, set aside, void or annul any other decision made by the COUNTY concerning the VARIANCE, including, but not limited to, decisions made in response to California Public Records Act requests.

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The obligations imposed by this condition include, but are not limited to, the following: the applicant/permittee shall pay all legal services expenses the COUNTY incurs in connection with any such claim, action or proceeding, whether it incurs such expenses directly, whether it is ordered by a court to pay such expenses, or whether it incurs such expenses by providing legal services through its Office of County Counsel.

10. EVERY. 3 VAR - 90 DAYS TO PROTEST RECOMMND

The project developer has 90 days from the date of approval of these conditions to protest, in accordance with the

09/26/13
12:40

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 2

VARIANCE Case #: VAR01889

Parcel: 519-110-041

10. GENERAL CONDITIONS

10. EVERY. 3 VAR - 90 DAYS TO PROTEST (cont.)

RECOMMND

procedures set forth in Government Code Section 66020, the imposition of any and all fees, dedications, reservations and/or other exactions imposed on this project as a result of this approval or conditional approval of this application.

PLANNING DEPARTMENT

10.PLANNING. 1 VAR - COMPLY WITH ORD./CODES

RECOMMND

The development of these premises shall comply with the standards of Ordinance No. 348 and all other applicable Riverside County ordinances and State and Federal codes.

The development of the premises shall conform substantially with that as shown on APPROVED EXHIBIT A, unless otherwise amended by these conditions of approval.

10.PLANNING. 2 VAR - FEES FOR REVIEW

RECOM

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10.PLANNING. 3 USE - CAUSES FOR REVOCATION

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a) is found to be in violation of the terms and conditions of this permit,
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09/26/13
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Riverside County LMS
CONDITIONS OF APPROVAL

Page: 3

VARIANCE Case #: VAR01889

Parcel: 519-110-041

20. PRIOR TO A CERTAIN DATE

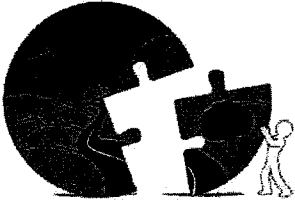
PLANNING DEPARTMENT

20.PLANNING. 1

VAR - EXPIRATION DATE FOR USE

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Carolyn Syms Luna
Director

RIVERSIDE COUNTY PLANNING DEPARTMENT

APPLICATION FOR MINOR PLOT PLAN

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

CASE NUMBER: PP25356 DATE SUBMITTED: 5/8/13

APPLICATION INFORMATION

Applicant's Name: CPG PARTNERS L.C HOLDINGS LLC E-Mail: DDEVITA@SIMON.COM

Mailing Address: 105 EISENHOWER PKWY
ROSELAND NJ 07068
City State ZIP

Daytime Phone No: (973) 403-6810 Fax No: (973) 364-2503

Engineer/Representative's Name: ARCHITECTS ORANGE E-Mail: DARRYL@ARCHITECTSORANGE.COM

Mailing Address: 144 N ORANGE ST.
ORANGE CA 92866
City State ZIP

Daytime Phone No: (714) 639-9860 Fax No: (714) 639-

Property Owner's Name: CPG PARTNERS LC HOLDINGS, LLC E-Mail: D

Mailing Address: 105 EISENHOWER PKWY
ROSELAND NJ 07068
City State ZIP

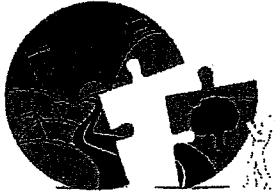
Daytime Phone No: (973) 403-6810 Fax No: (973) 364-2503

If the property is owned by more than one person, attach a separate page that reference the application case number and lists the names, mailing addresses, and phone numbers of all persons having an interest in the real property or properties involved in this application.

The Planning Department will primarily direct communications regarding this application to the person identified above as the Applicant. The Applicant may be the property owner, representative, or other assigned agent.

Riverside Office • 4080 Lemon Street, 12th Floor
P.O. Box 1409, Riverside, California 92502-1409
(951) 955-3200 • Fax (951) 955-1811

Desert Office • 38686 El Cerrito Road
Palm Desert, California 92211
(760) 863-8277 • Fax (760) 863-7555



Carolyn Syms Luna
Director

RIVERSIDE COUNTY PLANNING DEPARTMENT

APPLICATION FOR MINOR PLOT PLAN

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

CASE NUMBER: PP25357 DATE SUBMITTED: 5/8/13

APPLICATION INFORMATION

Applicant's Name: CPG PARTNERS L.C HOLDINGS LLC E-Mail: DDEVITA@SINON.COM

Mailing Address: 105 EISENHOWER PKWY
ROSELAND NJ 07068
City State ZIP

Daytime Phone No: (973) 403-6810 Fax No: (973) 364-2503

Engineer/Representative's Name: ARCHITECTS ORANGE E-Mail: DARRYL@ARCHITECTSORANGE.COM

Mailing Address: 144 N ORANGE ST.
ORANGE CA 92864
City State ZIP

Daytime Phone No: (714) 639-9860 Fax No: (714) 639-

Property Owner's Name: CPG PARTNERS L.C HOLDINGS, LLC E-Mail: D

Mailing Address: 105 EISENHOWER PKWY
ROSELAND NJ 07068
City State ZIP

Daytime Phone No: (973) 403-6810 Fax No: (973) 364-2503

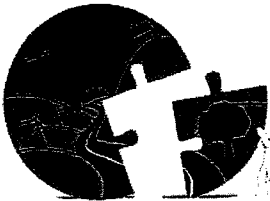
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Carolyn Syms Luna
Director

RIVERSIDE COUNTY PLANNING DEPARTMENT

APPLICATION FOR LAND USE PROJECT

CHECK ONE AS APPROPRIATE:

- PLOT PLAN CONDITIONAL USE PERMIT TEMPORARY USE PERMIT
 REVISED PERMIT PUBLIC USE PERMIT VARIANCE

PROPOSED LAND USE: CURRENT APPROVED USE: RETAIL SHOPPING CENTER
VARIANCE BEING APPLIED FOR 15 SIGNAGE

ORDINANCE NO. 348 SECTION AUTHORIZING PROPOSED LAND USE: _____

ALL APPLICATIONS MUST INCLUDE THE INFORMATION REQUIRED UNDER ANY SUPPLEMENTAL INFORMATION LIST APPLICABLE TO THE SPECIFIC PROJECT. ADDITIONAL INFORMATION MAY BE REQUIRED AFTER INITIAL RECEIPT AND REVIEW. INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED.

CASE NUMBER: VAR 01888 DATE SUBMITTED: 5/8/13

APPLICATION INFORMATION

Applicant's Name: CPG PARTNERS LC HOLDINGS LLC E-Mail: DDEVITA@SIMON.COM

Mailing Address: 105 EISENHOWER ST
ROSELAND NJ 07068
City State ZIP

Daytime Phone No: (973) 403-6810 Fax No: (973) 364-2503

Engineer/Representative's Name: ARCHITECTS ORANGE E-Mail: DARREL@ARCHITECTSORANGE.COM

Mailing Address: 144 N ORANGE ST
ORANGE CA 92866
City State ZIP

Daytime Phone No: (714) 639-9960 Fax No: (714) 5286

Property Owner's Name: CPG HOLDINGS LC HOLDINGS LLC E-Mail: DDEVITA@SIMON.COM

Mailing Address: 105 EISENHOWER ST
ROSELAND NJ 07068
City State ZIP

Daytime Phone No: (973) 403-6810 Fax No: (973) 364-2503

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APPLICATION FOR LAND USE PROJECT

Approximate Gross Acreage: _____

General location (nearby or cross streets): North of SEMINDLE DR, South of NA, East of MORONGO TRIBE, West of MILLARD PASS.

Thomas Brothers map, edition year, page number, and coordinates: NA

Project Description: (describe the proposed project in detail)

MASTER SIGN PROGRAM FOR DESERT HILLS PREMIUM OUTLETS. VARIANCE BEING REQUESTED IS FOR AN INCREASE IN THE REAR SIGNAGE ALLOWANCE FROM 5% TO 10% DUE TO THE MAIN FACE OF THE BUILDINGS ALONG SEMINDLE DR. ARE THE BACK/REAR OF THE BUILDINGS.

Related cases filed in conjunction with this application:

THIS IS FOR THE WEST SIDE OF THE RETAIL CENTER THE EAST SIDE IS ON ANOTHER APPLICATION.

Is there a previous application filed on the same site: Yes No

If yes, provide Case No(s). PP 11972 (Parcel Map, Zone Change, etc.)

E.A. No. (if known) _____ E.I.R. No. (if applicable): _____

Have any special studies or reports, such as a traffic study, biological report, archaeological report, geological or geotechnical reports, been prepared for the subject property? Yes No NA

If yes, indicate the type of report(s) and provide a copy: _____

Is water service available at the project site: Yes No

If "No," how far must the water line(s) be extended to provide service? (No. of feet/miles) _____

Will the project eventually require landscaping either on-site or as part of a road improvement or other common area improvements? Yes No

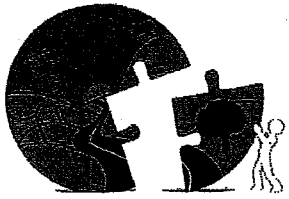
Is sewer service available at the site? Yes No

If "No," how far must the sewer line(s) be extended to provide service? (No. of feet/miles) _____

Will the project result in cut or fill slopes steeper than 2:1 or higher than 10 feet? Yes No NA

How much grading is proposed for the project site?

Estimated amount of cut = cubic yards: _____



Carolyn Syms Luna
Director

RIVERSIDE COUNTY PLANNING DEPARTMENT

APPLICATION FOR LAND USE PROJECT

CHECK ONE AS APPROPRIATE:

- PLOT PLAN
- REVISIED PERMIT
- CONDITIONAL USE PERMIT
- PUBLIC USE PERMIT
- TEMPORARY USE PERMIT
- VARIANCE

PROPOSED LAND USE: CURRENT APPROVED USE: RETAIL SHOPPING CENTER
VARIANCE BEING APPLIED FOR IS SIGNAGE

ORDINANCE NO. 348 SECTION AUTHORIZING PROPOSED LAND USE: _____

ALL APPLICATIONS MUST INCLUDE THE INFORMATION REQUIRED UNDER ANY SUPPLEMENTAL INFORMATION LIST APPLICABLE TO THE SPECIFIC PROJECT. ADDITIONAL INFORMATION MAY BE REQUIRED AFTER INITIAL RECEIPT AND REVIEW. INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED.

CASE NUMBER: VAR01889 DATE SUBMITTED: 5/8/2013

APPLICATION INFORMATION

Applicant's Name: CPO PARTNERS LC HOLDINGS LLC E-Mail: DDEVITA@SIMON.COM

Mailing Address: 105 EISENHOWER ST
ROSELAND NJ 07068
Street City State ZIP

Daytime Phone No: (973) 403-6810 Fax No: (973) 364-2503

Engineer/Representative's Name: ARCHITECTS ORANGE E-Mail: DARREL@ARCHITECTSORANGE.COM

Mailing Address: 144 N ORANGE ST
ORANGE CA 92866
Street City State ZIP

Daytime Phone No: (714) 639-9860 Fax No: (714) 5286

Property Owner's Name: CPO HOLDINGS LC HOLDINGS LLC E-Mail: DDEVITA@SIMON.COM

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ROSELAND NJ 07068
Street City State ZIP

Daytime Phone No: (973) 403-6810 Fax No: (973) 364-2503

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APPLICATION FOR LAND USE PROJECT

If the property is owned by more than one person, attach a separate page that references the application case number and lists the names, mailing addresses, and phone numbers of all persons having an interest in the real property or properties involved in this application.

The Planning Department will primarily direct communications regarding this application to the person identified above as the Applicant. The Applicant may be the property owner, representative, or other assigned agent.

AUTHORIZATION FOR CONCURRENT FEE TRANSFER

The signature below authorizes the Planning Department and TLMA to expedite the refund and billing process by transferring monies among concurrent applications to cover processing costs as necessary. Fees collected in excess of the actual cost of providing specific services will be refunded. If additional funds are needed to complete the processing of your application, you will be billed, and processing of the application will cease until the outstanding balance is paid and sufficient funds are available to continue the processing of the application. The applicant understands the deposit fee process as described above, and that there will be NO refund of fees which have been expended as part of the application review or other related activities or services, even if the application is withdrawn or the application is ultimately denied.

All signatures must be originals ("wet-signed"). Photocopies of signatures are not acceptable.

Danielle DeVita - Authorized Signatory
PRINTED NAME OF APPLICANT *Danielle DeVita*
SIGNATURE OF APPLICANT **DESERT HILLS PREMIUM OUTLETS
EXPANSION, LLC**
By: SPG DEVELOPMENT COMPANY
LIMITED PARTNERSHIP, its Agent By: SPG
ACQUISITIONS, INC., its general partner

AUTHORITY FOR THIS APPLICATION IS HEREBY GIVEN:

I certify that I am/we are the record owner(s) or authorized agent and that the information filed is true and correct to the best of my knowledge. An authorized agent must submit a letter from the owner(s) indicating authority to sign the application on the owner's behalf.

All signatures must be originals ("wet-signed"). Photocopies of signatures are not acceptable.

Danielle DeVita - Authorized Signatory
PRINTED NAME OF PROPERTY OWNER(S) *Danielle DeVita*
SIGNATURE OF PROPERTY OWNER(S) **DESERT HILLS PREMIUM OUTLETS
EXPANSION, LLC** By: SPG
DEVELOPMENT COMPANY LIMITED
PARTNERSHIP, its Agent By: SPG
ACQUISITIONS, INC., its general partner

If the property is owned by more than one person, attach a separate sheet that references the application case number and lists the printed names and signatures of all persons having an interest in the property.

See attached sheet(s) for other property owners' signatures.

PROPERTY INFORMATION:

Assessor's Parcel Number(s): 519-110-041
Section: 7 Township: 3S Range: 2E

APPLICATION FOR LAND USE PROJECT

Approximate Gross Acreage: 39.38 AC

General location (nearby or cross streets): North of SEMINOLE DR, South of NA, East of MORONGO TRIBE, West of MILLARD PASS.

Thomas Brothers map, edition year, page number, and coordinates: NA

Project Description: (describe the proposed project in detail)

MASTER SIGN PROGRAM FOR DESERT HILLS PREMIUM OUTLETS. VARIANCE BEING REQUESTED IS FOR AN INCREASE IN THE REAR SIGNAGE ALLOWANCE FROM 5% TO 10% DUE TO THE MAIN FACE OF THE BUILDINGS ALONG SEMINOLE DR. ARE THE BACK/REAR OF THE BUILDINGS.

Related cases filed in conjunction with this application:

THIS IS FOR THE EAST SIDE OF THE RETAIL CENTER THE WEST SIDE IS ON ANOTHER APPLICATION.

Is there a previous application filed on the same site: Yes No

If yes, provide Case No(s). PP 23635 (Parcel Map, Zone Change, etc.)

E.A. No. (if known) _____ E.I.R. No. (if applicable): _____

Have any special studies or reports, such as a traffic study, biological report, archaeological report, geological or geotechnical reports, been prepared for the subject property? Yes No NA

If yes, indicate the type of report(s) and provide a copy: _____

Is water service available at the project site: Yes No

If "No," how far must the water line(s) be extended to provide service? (No. of feet/miles) _____

Will the project eventually require landscaping either on-site or as part of a road improvement or other common area improvements? Yes No NA

Is sewer service available at the site? Yes No

If "No," how far must the sewer line(s) be extended to provide service? (No. of feet/miles) _____

Will the project result in cut or fill slopes steeper than 2:1 or higher than 10 feet? Yes No NA

How much grading is proposed for the project site?

Estimated amount of cut = cubic yards: _____

PROPERTY OWNERS CERTIFICATION FORM

I, Stella Spadafora certify that on September 9, 2013,

The attached property owners list was prepared by Riverside County GIS,

For APN (s) or case numbers PP25356 and PP25357

Company or Individual's Name RCIT - GIS,

Distance buffered 600 Feet

Pursuant to application requirements furnished by the Riverside County Planning Department.

Said list is a complete and true compilation of the owners of the subject property and all other property owners within 600 feet of the property involved, or if that area yields less than 25 different owners, all property owners within a notification area expanded to yield a minimum of 25 different owners, to a maximum notification area of 2,400 feet from the project boundaries, based upon the latest equalized assessment rolls. If the project is a subdivision with identified off-site access/improvements, said list includes a complete and true compilation of the names and mailing addresses of the owners of all property that is adjacent to the proposed off-site improvement/alignment.

I further certify that the information filed is true and correct to the best of my knowledge. I understand that incorrect or incomplete information may be grounds for rejection or denial of the application.

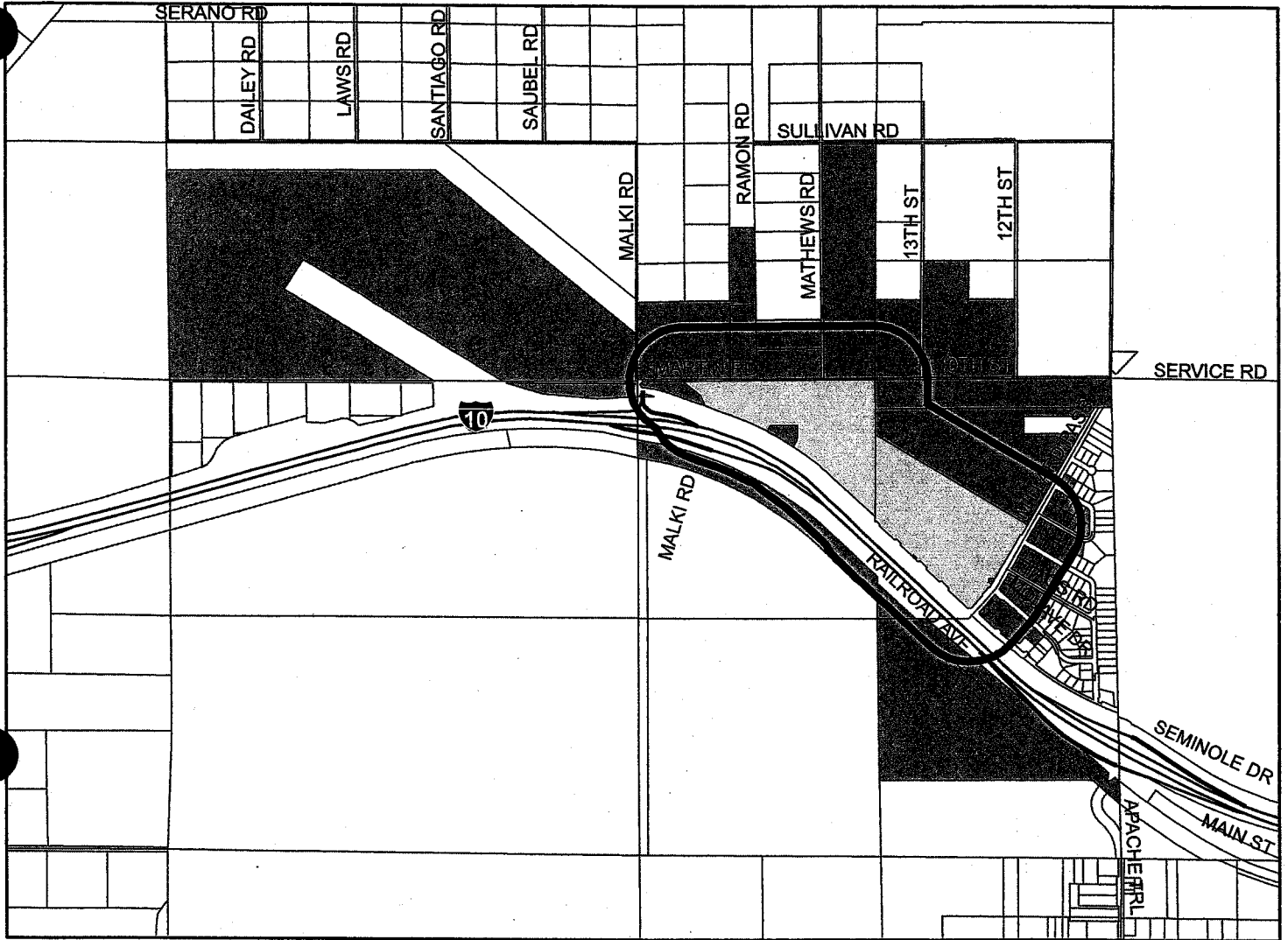
TITLE GIS Analyst Signature: 

ADDRESS: 4080 Lemon Street, 10th Floor

Riverside, CA 92502

TELEPHONE NUMBER (8 a.m. - 5 p.m.): (951) 955-3288

PP25356, PP25357
(600 Feet Radius)



Selected Parcels

519-132-010	519-132-006	519-131-016	519-132-008	519-122-008	519-141-034	519-110-042	519-110-043	519-131-015	519-142-011
519-122-001	519-122-002	519-122-003	519-122-004	519-122-005	519-122-006	519-131-003	519-110-038	519-110-040	519-110-041
519-110-039	519-122-009	519-122-007	519-122-011	519-132-016	519-131-011	519-131-005	519-122-010	519-132-015	519-142-005
519-142-010	519-142-003	519-132-019	519-132-012	519-132-018	519-132-017	519-131-013	519-142-007	519-110-035	519-142-008
519-131-006	519-131-004	519-142-009	519-132-013	519-110-011	519-170-007	519-132-007	519-132-009	519-132-011	519-132-014
519-131-010	519-122-012	519-122-013	519-131-014	519-131-012	519-142-013	519-131-009	519-142-004	519-110-016	519-110-017
519-170-009	519-110-018	519-142-012	519-142-006	519-131-007	519-060-017	519-070-008	519-070-015	519-070-013	519-060-016
519-090-006	519-090-010	532-090-014	532-080-004	519-121-014	519-121-015	519-131-008			



2,000 1,000 0 2,000 Feet

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USA 519
US DEPT OF INTERIOR
WASHINGTON DC 21401

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CABAZON CA 92230

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BUREAU OF INDIAN AFFAIRS US DEPT INTERIC
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PALM SPRINGS CA 92262

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SANTA ANA CA 92704

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KYUNGHI NICOLLE, ETAL
26231 FIR AVE
MORENO VALLEY CA 92555

ASMT: 519110041, APN: 519110041
CHELSEA GCA REALTY PARTNERSHIP
C/O CHRISTY LESNY
P O BOX 6120
INDIANAPOLIS IN 46206

ASMT: 519122011, APN: 519122011
DONA AUKERMAN
417 N 3RD ST
BANNING CA 92220

ASMT: 519122012, APN: 519122012
ROBERTO HERNANDEZ
11 W REDLANDS BLV STE C
REDLANDS CA 92373

ASMT: 519131008, APN: 519131008
ZAIDA DIAZ
P O BOX 799
CABAZON CA 92230

ASMT: 519122013, APN: 519122013
ROBERTO HUITRON
22418 FARRAGUT AVE
MORENO VALLEY CA 92553

ASMT: 519131009, APN: 519131009
SHARON MILLAGE
48857 MAUMEE LN
CABAZON CA 92230

ASMT: 519131003, APN: 519131003
CHARTER MANAGEMENT SYSTEMS INC
P O BOX 697
BANNING CA 92220

ASMT: 519131010, APN: 519131010
ROBERT STMARIE
P O BOX 559
CABAZON CA 92230

ASMT: 519131004, APN: 519131004
ORLANDO SAMEQ, ETAL
48917 MAUMEE LN
CABAZON, CA. 92230

ASMT: 519131011, APN: 519131011
HECTOR CARDONA
13353 APACHE TR
CABAZON, CA. 92230

ASMT: 519131005, APN: 519131005
JAMES DOOLEN
48905 MAUMEE LN
CABAZON, CA. 92230

ASMT: 519131012, APN: 519131012
SILVIA RODRIGUEZ, ETAL
13361 APACHE TR
CABAZON, CA. 92230

ASMT: 519131006, APN: 519131006
MONA RODRIGUEZ
48893 MAUMEE LN
CABAZON, CA. 92230

ASMT: 519131013, APN: 519131013
MARK MRAZ
P O BOX 1514
RANCHO MIRAGE CA 92270

ASMT: 519131007, APN: 519131007
TONI PETERS MORENO
48881 MAUMEE LN
CABAZON, CA. 92230

ASMT: 519131014, APN: 519131014
JUNE BULLOCK, ETAL
3800 W WILSON ST SP 149
BANNING CA 92220

ASMT: 519131015, APN: 519131015
ROSA FONSECA, ETAL
13385 APACHE TR
CABAZON, CA. 92230

ASMT: 519132013, APN: 519132013
DIANE NORMAN, ETAL
13344 APACHE TR
CABAZON CA 92230

ASMT: 519131016, APN: 519131016
ROSARIO FONSECA, ETAL
13393 APACHE TR
CABAZON, CA. 92230

ASMT: 519132014, APN: 519132014
RICHARD ESPINOZA
13350 APACHE TR
CABAZON, CA. 92230

ASMT: 519132006, APN: 519132006
ANITA BEARBOWER
P O BOX 224
CABAZON CA 92230

ASMT: 519132015, APN: 519132015
JESSE SLUDER
351 SOUTH K ST
OXNARD CA 93030

ASMT: 519132007, APN: 519132007
BETTY LOVE, ETAL
951 S 12TH ST
BANNING CA 92230

ASMT: 519132016, APN: 519132016
DONNA THOMAS
22530 COUNTRY CREST DR
MORENO VALLEY CA 92557

ASMT: 519132008, APN: 519132008
TIAN HE, ETAL
48852 TAOS RD
CABAZON, CA. 92230

ASMT: 519132017, APN: 519132017
LUIS QUIROZ
13374 APACHE TR
CABAZON CA 92230

ASMT: 519132010, APN: 519132010
LASHUNDA SMITH, ETAL
48828 TAOS RD
CABAZON, CA. 92230

ASMT: 519132018, APN: 519132018
LUCY SANCHEZ
P O BOX 237
CABAZON CA 92230

ASMT: 519132012, APN: 519132012
LILY WATAK DAVIS
48796 TAOS RD
CABAZON, CA. 92230

ASMT: 519132019, APN: 519132019
MARLENE POWELL, ETAL
11737 MCCONNELL CT
YUCAIPA CA 92399

ASMT: 519141034, APN: 519141034
 CABAZON CO STORES
 1500 QUAIL ST STE 100
 NEWPORT BEACH CA 92660

ASMT: 519142010, APN: 519142010
 JEWEL SMITH
 10891 MARIAN DR
 GARDEN GROVE CA 92840

ASMT: 519142003, APN: 519142003
 JOYCE COSENTINO
 48885 TAOS RD
 CABAZON CA 92230

ASMT: 519142011, APN: 519142011
 CHARLES FLOOD
 48812 MOJAVE DR
 CABAZON, CA. 92230

ASMT: 519142004, APN: 519142004
 SMITH CHOI
 1805 S 2ND ST # A
 ALHAMBRA CA 91801

ASMT: 519142012, APN: 519142012
 STEVEN CRAIG
 1 OCEAN CREST
 NEWPORT COAST CA 92657

ASMT: 519142006, APN: 519142006
 THOMAS RITCHIE
 32876 MARIE DR
 LAKE ELSINORE CA 92530

ASMT: 519142013, APN: 519142013
 SFR 2012 1 US WEST
 135 N LOS RHODES AVE 6TH
 PASADENA CA 91101

ASMT: 519142007, APN: 519142007
 MARY BEEDON
 C/O AMALIA CALDERONE
 16646 MONTEGO WAY
 TUSTIN CA 92780

ASMT: 519170007, APN: 519170007
 R R M PROP LTD
 P O BOX 3600
 CORONA CA 92878

ASMT: 519142008, APN: 519142008
 MICHAEL SHIRLEY
 P O BOX 890626
 TEMECULA CA 92589

ASMT: 519170009, APN: 519170009
 SOUTHERN PACIFIC TRANSPORTATION CO
 SOUTHERN PACIFIC TRANSPORTATION CO
 1700 FARNAM ST 10TH FL S
 OMAHA NE 68102

ASMT: 519142009, APN: 519142009
 NORMA ALVAREZ
 8758 S DENKER AVE
 LOS ANGELES CA 90047

ASMT: 532080004, APN: 532080004
 USA MORONGO BAND CAHUILLA MISSION INC
 11581 POTRERO RD
 BANNING CA 92223



ASMT: 532090014, APN: 532090014
USA INDIAN RES 532
UNKNOWN



Chelsea Property Group LLC
Attn: Danielle Devita
105 Eisenhower Parkway
Roseland NJ 07068

Architects Orange
144 N. Orange Street
Orange CA 92866

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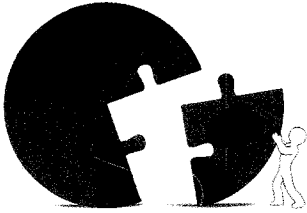
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RIVERSIDE COUNTY PLANNING DEPARTMENT

Carolyn Syms Luna
Director

NOTICE OF EXEMPTION

TO: Office of Planning and Research (OPR) FROM: Riverside County Planning Department
P.O. Box 3044 4080 Lemon Street, 12th Floor 38686 El Cerrito Road
Sacramento, CA 95812-3044 P. O. Box 1409 Palm Desert, CA 92201
 County of Riverside County Clerk Riverside, CA 92502-1409

Project Title/Case No.: Plot Plan No. 25356, Plot Plan No. 25357, Variance No. 1888 and Variance No. 1889

Project Location: In the unincorporated area of Riverside County, more specifically located northerly of Seminole Drive, easterly of Main Road, southerly of Martin Road, westerly of Millard Pass

Project Description: To permit a uniform master signage program for an existing outdoor outlet shopping center located on 75 gross acres (Desert Hills Premium Outlets) and a variance to exceed the maximum sign surface area from 5% to 10% for wall tenant signs affixed to the rear face of buildings.

Name of Public Agency Approving Project: Riverside County Planning Department

Project Sponsor: _____

Exempt Status: (Check one)

- Ministerial (Sec. 21080(b)(1); 15268)
- Declared Emergency (Sec. 21080(b)(3); 15269(a))
- Emergency Project (Sec. 21080(b)(4); 15269 (b)(c))
- Categorical Exemption (15301.e, 15302.b, 15303.e, 15311.a.)
- Statutory Exemption (_____)
- Other: _____

Reasons why project is exempt: The proposed site is fully developed with an existing commercial shopping center with existing signs. The proposed project footprint is not expanding beyond what is currently existing. The proposed increase in sign area is not significant to create any potential impacts and is consistent with zoning ordinances through the use of variance.

Paul Rull _____ 951-955-0972 _____
County Contact Person *Phone Number*

Signature **Project Planner** *Title* _____ *Date*

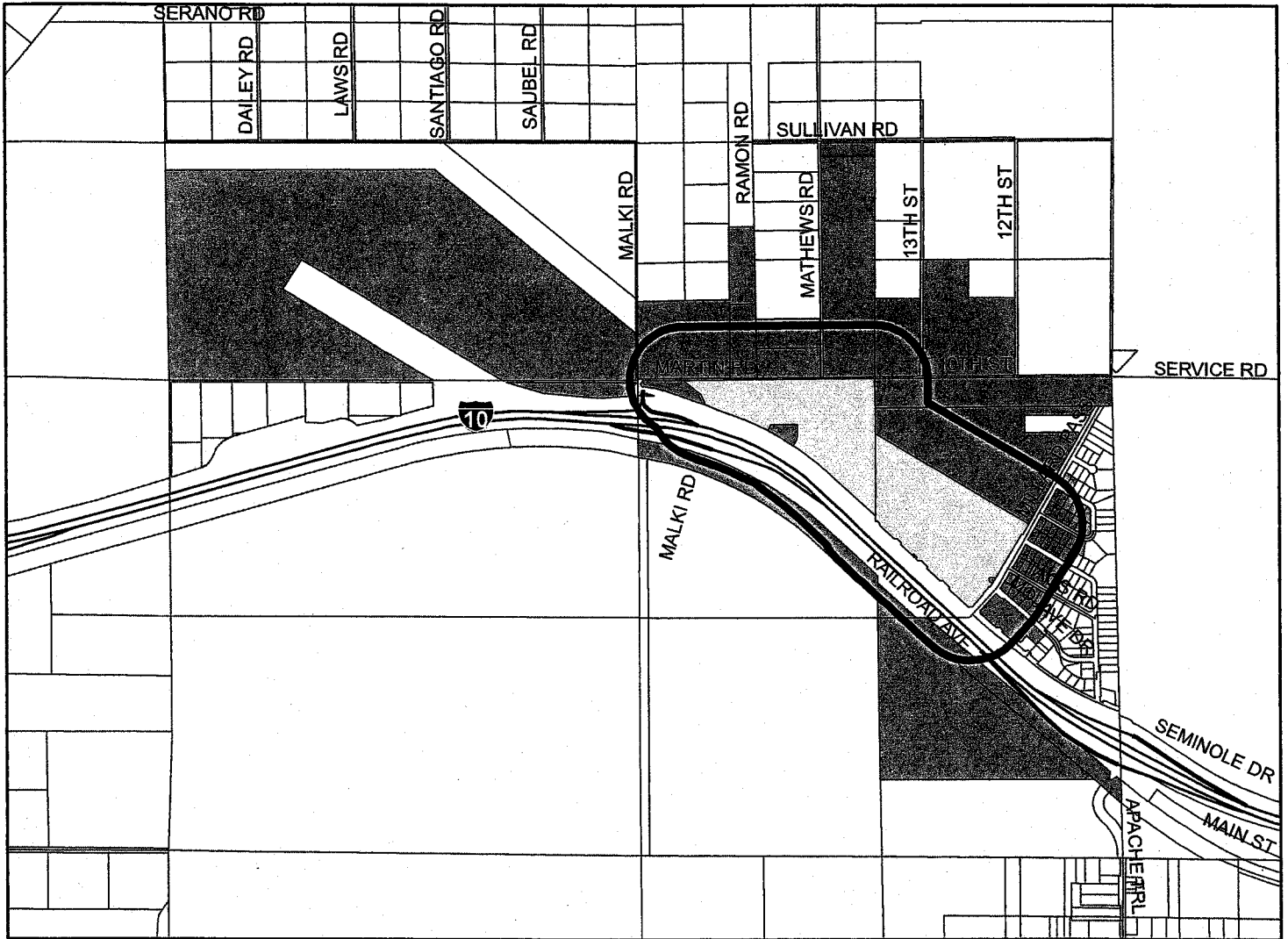
Date Received for Filing and Posting at OPR: _____

Revised: 3/15/10: Y:\Planning Case Files-Riverside office\PP25356\DH-PC-BOS Hearings\DH-PC\PP25356 PP25357 NOE Form.docx

Please charge deposit fee case#: Z ZCFG No.5996 - County Clerk Posting Fee \$50.00

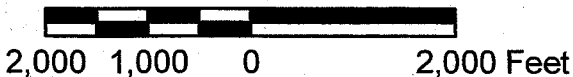
FOR COUNTY CLERK'S USE ONLY

PP25356, PP25357
(600 Feet Radius)



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MORENO VALLEY CA 92555

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C/O CHRISTY LESNY
P O BOX 6120
INDIANAPOLIS IN 46206

ASMT: 519122011, APN: 519122011
DONA AUKERMAN
417 N 3RD ST
BANNING CA 92220



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- PLEASE NOTE: Adjust printer settings for "Paper Type" to "Labels" and "Quality" to "Best" to optimize print quality.
- Check the alignment of your printed layout by first printing on a plain sheet of paper. Hold the printed sheet behind the Avery product to confirm alignment then print onto the Avery product.
- When printing label products, do not feed labels through your printer more than once. The Avery satisfaction guarantee extends only to a sheet of labels that has been fed through a printer a single time.
- Use only Avery brand products for guaranteed results.

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avery.com 800-GO-AVERY (800-462-8379)

Conseils d'impression de base, visitez avery.ca/impression pour plus d'information

- VEUILLEZ NOTER: Réglez le paramètre « Type de papier (Paper Type) » de l'imprimante à « Étiquettes (Labels) », et le paramètre « Qualité (Quality) » à « Supérieur (Best) » pour optimiser la qualité d'impression.
- Vérifiez l'alignement de votre mise en page en imprimant d'abord sur une feuille de papier ordinaire. Tenez la feuille imprimée derrière la feuille du produit Avery. Si vous êtes satisfait avec la mise en page, imprimez sur le produit Avery.
- Lors de l'impression, n'introduisez jamais la feuille d'étiquettes plus d'une fois dans votre imprimante. La garantie de performance Avery Dennison s'applique seulement aux feuilles d'étiquettes qui ont été introduites dans l'imprimante une seule fois.
- Pour des résultats garantis, utilisez seulement les produits de marque Avery.

Gabarits et logiciels Avery® GRATUITS à avery.ca/gabarits

BESOIN D'AIDE?

Nous avons les réponses à toutes vos questions au sujet des produits et des gabarits.
avery.ca 800 GO-AVERY (800 462-8379)

Consejos Básicos de Impresión, visita avery.com.mx para más información

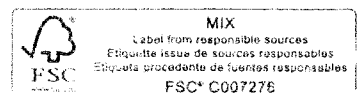
- MUY IMPORTANTE: Selecciona "Etiquetas" dentro de las opciones "Tipo de Papel" y dentro de "Calidad de Impresión" elige "Óptima" para obtener los mejores resultados.
- Revisa la alineación de tu documento haciendo una prueba en una hoja en blanco. Sostén la hoja detrás del producto Avery para verificar la alineación antes de imprimir en el producto Avery.
- Al imprimir etiquetas, no alimentes la impresora con la misma hoja más de una vez. La garantía de satisfacción Avery sólo se extiende a hojas de etiquetas que han pasado por la impresora una sola vez.
- Utiliza solamente productos Avery para resultados garantizados.

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¿NECESITAS AYUDA?

México y Centro América	01.800.52.28379 (52 55) 5093.0108	Argentina	0800.777.2837
Caribe y Venezuela	(787) 753.3135	Chile	800.83.5105
		Resto de Sud América	asistencia@averydennison.com

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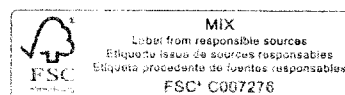
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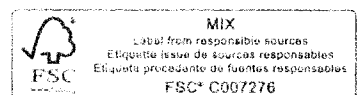
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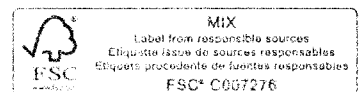
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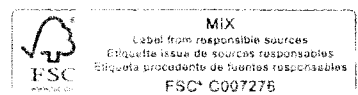
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