SUBMITTAL TO THE BOARD OF SUPERVISORS
COUNTY OF RIVERSIDE, STATE OF CALIFORNIA

401B

FROM: TLMA - Planning Department

SUBMITTAL DATE:
October 21, 2013

REVIEWED BY EXECUTIVE OFFICE
DATE 10/30/13 Tina Grande
Departmental Concurrence

SUBJECT: FAST TRACK CONDITIONAL USE PERMIT NO. 3497, REVISED PERMIT NO. 1 / FAST TRACK CONDITIONAL USE PERMIT NO. 3686 (FTA-2012-01) – Intent to Adopt Mitigated Negative Declaration – Fourth/Fourth Supervisorial District – REQUEST: **Fast Track Conditional Use Permit No. 3497, Revised Permit No. 1** proposes to modify a previously approved farm labor camp (unbuilt). The modification is as follows: an increase in the number of beds from 96 to 160. [$0]

Fast Track Conditional Use Permit No. 3686 is located on property adjacent to CUP No. 3497R1 and proposes to construct a migrant agricultural worker mobile home park consisting of 84 units with typical single wide and double wide mobile home spaces ranging from approximately 2,800 square feet to 3,500 square feet along with 1,780 square foot community center building, 1,040 square foot child care facility for up to 15 children, 800 square foot children's playground, and 2,800 square foot outdoor play area.

RECOMMENDED MOTION:

ADOPTION of a **MITIGATED NEGATIVE DECLARATION** for **ENVIRONMENTAL ASSESSMENT NO. 42609**, based on the findings incorporated in the initial study and the conclusion that the project will not have a significant effect on the environment; and,

Carolyn Syms Luna
Carolyn Syms Luna
Planning Director

Initials: CSL:jo
(Continued on Attached Page)

☐ Policy ☒ Policy
☐ Consent ☐ Consent
Dep't Recomm.: Per Exec. Ofc.:

MINUTES OF THE BOARD OF SUPERVISORS

On motion of Supervisor Benoit, seconded by Supervisor Stone and duly carried by unanimous vote, IT WAS ORDERED that the above matter is approved as recommended.

Ayes:	Jeffries, Tavaglione, Stone, Benoit and Ashley
Nays:	None
Absent:	None
Date:	November 26, 2013
xc:	Planning

Kecia Harper-Ihem
Clerk of the Board
By: Deputy

2013 OCT 31 PM 3:58

Prev. Agn. Ref.: **District:** 4/4 **Agenda Number:** 16-2

APPROVAL of **FAST TRACK CONDITIONAL USE PERMIT NO. 3497, REVISED PERMIT NO. 1,** subject to the attached conditions of approval; and,

APPROVAL of **FAST TRACK CONDITIONAL USE PERMIT NO. 3686,** subject to the attached conditions of approval, and based upon the findings and conclusions incorporated in the staff report.

BACKGROUND: The project, consisting of two (2) Conditional Use Permits is located on 25 gross acres that was previously approved under Conditional Use Permit No. 3497 in 2009 for a 96 bed farm labor camp and 84 space migrant agricultural worker mobile home park. The project remains unbuilt. The project site is mostly vacant except for an existing "migrant agricultural worker shower facility" approved in 2005 under Plot Plan No. 20402.

The owner/applicant recently obtained approval and recorded Change of Zone No. 7785 (CZ No. 7785) in 2012 and Tentative Parcel Map No. 36456 (PM36456) in 2013. CZ No. 7785 modified the westerly 11 acres from A-2-20 to A-2-10 and PM36456 created two (2) parcels with the westerly parcel consisting of approximately 11.1 gross acres and the easterly parcel consisting of approximately 13.7 gross acres.

The project was separated into two (2) CUP's with the westerly parcel for the revised farm labor camp being processed under Conditional Use Permit No. 3497, Revised Permit No. 1 (CUP No. 3497R1) and the easterly parcel for the migrant agricultural worker mobile home park being processed under Conditional Use Permit No. 3686 (CUP No. 3686).

The primary purpose of revised CUP No. 3497R1 (San Cristobal) for the farm labor camp is to increase the number of beds from 96 to 160. Additionally, CUP No. 3686 (Los Vinedos) eliminates driveway access from Hammond Road, and limits driveway access from realigned 68th Avenue due to traffic safety concerns.

Both Conditional Use Permits were presented to the Mecca Community Council on June 12, 2013, where street lighting and decorative entry monuments were discussed and resolved. Staff recommends approval of both Conditional Use Permits.

RIVERSIDE COUNTY
PLANNING DEPARTMENT

Carolyn Syms Luna
Director

Original Negative Declaration/Notice of Determination was routed to County Clerks for posting on.

11/27/13 — Date
KB — Initial

TO: ☐ Office of Planning and Research (OPR)
P.O. Box 3044
Sacramento, CA 95812-3044
☒ County of Riverside County Clerk

FROM: Riverside County Planning Department
☒ 4080 Lemon Street, 12th Floor
P. O. Box 1409
Riverside, CA 92502-1409
☐ 38686 El Cerrito Road
Palm Desert, California 92211

SUBJECT: Filing of Notice of Determination in compliance with Section 21152 of the California Public Resources Code.

EA42609, CONDITIONAL USE PERMIT NO. 3497R1 & CONDITIONAL USE PERMIT NO. 3686
Project Title/Case Numbers

Jay Olivas
County Contact Person

(951) 955-1195
Phone Number

N/A
State Clearinghouse Number (if submitted to the State Clearinghouse)

DACE
Project Applicant

53990 Enterprise Way, Ste. 1 Coachella Valley, CA 92236
Address

South of Avenue 68, north of Hammond Road in Eastern Coachella Valley in the community of Mecca.
Project Location

Farm labor camp for 160 persons (CUP03497R1) and 84 space migrant agricultural worker mobile home park (CUP03686).
Project Description

This is to advise that the Riverside County Board of Supervisors, as the lead agency, has approved the above-referenced project on November 26, 2013, and has made the following determinations regarding that project:

1. The project WILL NOT have a significant effect on the environment.
2. A Mitigated Negative Declaration was prepared for the project pursuant to the provisions of the California Environmental Quality Act. ($2101.50 + $64)
3. Mitigation measures WERE made a condition of the approval of the project.
4. A Mitigation Monitoring and Reporting Plan/Program WAS NOT adopted.
5. A statement of Overriding Considerations WAS NOT adopted for the project.

This is to certify that the Mitigated Negative Declaration, with comments, responses, and record of project approval is available to the general public at: Riverside County Planning Department, 4080 Lemon Street, 12th Floor, Riverside, CA 92501.

Kecia Harper — *Signature*
Board Assistant — *Title*
11/26/13 — *Date*

Date Received for Filing and Posting at OPR: _____

DM/rj
Revised 8/25/2009
Y:\Planning Case Files-Riverside office\CUP03686\NOD Form.docx

Please charge deposit fee case#: ZEA42609 ZCFG05985

FOR COUNTY CLERK'S USE ONLY NOV 26 2013 16-2

RIVERSIDE COUNTY
PLANNING DEPARTMENT

Carolyn Syms Luna
Director

MITIGATED NEGATIVE DECLARATION

Project/Case Number: CONDITIONAL USE PERMIT 3497R1 & CONDITIONAL USE PERMIT 3686

Based on the Initial Study, it has been determined that the proposed project, subject to the proposed mitigation measures, will not have a significant effect upon the environment.

PROJECT DESCRIPTION, LOCATION, AND MITIGATION MEASURES REQUIRED TO AVOID POTENTIALLY SIGNIFICANT EFFECTS. (see Environmental Assessment and Conditions of Approval)

COMPLETED/REVIEWED BY:

By: Jay Olivas Title: Project Planner Date: October 3, 2013

Applicant/Project Sponsor: DACE Date Submitted: June 12, 2012

ADOPTED BY: Board of Supervisors

Person Verifying Adoption: Date: 11/26/13

The Mitigated Negative Declaration may be examined, along with documents referenced in the initial study, if any, at:

Riverside County Planning Department 4080 Lemon Street; 12th Floor, Riverside, CA 92501

For additional information, please contact Jay Olivas, Project Planner at 951-955-1195.

Revised: 10/16/07
Y:\Planning Master Forms\CEQA Forms\Mitigated Negative Declaration.doc

Please charge deposit fee case#: ZEA42609 ZCFG05985

FOR COUNTY CLERK'S USE ONLY NOV 26 2013 16-2

COUNTY OF RIVERSIDE * REPRINTED * I1301931
SPECIALIZED DEPARTMENT RECEIPT
Permit Assistance Center

4080 Lemon Street Second Floor Riverside, CA 92502 (951) 955-3200	39493 Los Alamos Road Suite A Murrieta, CA 92563 (951) 600-6100	38686 El Cerrito Road Palm Desert, CA 92211 (760) 863-8277

****
****

Received from: DESERT ALLIANCE COMM EMPOWERMENT $2,206.25
paid by: CK 1025
paid towards: CFG05985 CALIF FISH & GAME - NEG DECL
EA42609/CUP03686/CUP03497R1
at parcel #: 92125 AVENUE 68 MECC
appl type: CFG1

By_____ Jul 22, 2013 14:04
JCMITCHE posting date Jul 22, 2013

****
****

Account Code	Description	Amount
658353120100208100	CF&G TRUST	$2,156.25
658353120100208100	CF&G TRUST: RECORD FEES	$50.00

Overpayments of less than $5.00 will not be refunded!

Additional info at www.rctlma.org

COPY 1-CUSTOMER * REPRINTED *

RIVERSIDE COUNTY
PLANNING DEPARTMENT

Carolyn Syms Luna
Director

11/26/2013
KI

DATE: October 21, 2013

TO: Clerk of the Board of Supervisors

FROM: Planning Department - Riverside Office

SUBJECT: FAST TRACK CONDITIONAL USE PERMIT NO. 3497R1 & CONDITIONAL USE PERMIT NO. 3686 (FTA –2012-01) - 20 DAY NOTICE -- MITIGATED NEGATIVE DECLARATION
(Charge your time to these case numbers)

The attached item(s) require the following action(s) by the Board of Supervisors:

- ☐ Place on Administrative Action (Receive & File; EOT)
  - ☐ Labels provided If Set For Hearing
    - ☐ 10 Day ☐ 20 Day ☐ 30 day
- ☐ Place on Consent Calendar
- ☐ Place on Policy Calendar (Resolutions; Ordinances; PNC)
- ☐ Place on Section Initiation Proceeding (GPIP)
- ☒ Set for Hearing (Legislative Action Required; CZ, GPA, SP, SPA)
- ☒ Publish in Newspaper:
  (4th Dist) Desert Sun and Press Enterprise
- ☒ Mitigated Negative Declaration
  - ☐ 10 Day ☒ 20 Day ☐ 30 day
- ☐ Notify Property Owners (app/agencies/property owner labels provided)

Controversial: ☐ YES ☒ NO

Designate Newspaper used by Planning Department for Notice of Hearing:
(4th Dist) Desert Sun and Press Enterprise

Documents to be sent to County Clerk's Office for Posting within five days:
Notice of Determination and Mit Neg Dec Forms
California Department of Fish & Wildlife Receipt (CFG05985)

Do not send these documents to the County Clerk for posting until the Board has taken final action on the subject cases.

Original
Form11a - and 1 Board Packet
is at Exective's Office

Riverside Office · 4080 Lemon Street, 12th Floor
P.O. Box 1409, Riverside, California 92502-1409
(951) 955-3200 · Fax (951) 955-1811

Desert Office · 38686 El Cerrito Road
Palm Desert, California 92211
(760) 863-8277 · Fax (760) 863-7555

"Planning Our Future… Preserving Our Past"

Agenda Item No.:
Area Plan: Eastern Coachella
Zoning District: Mecca
Supervisorial District: Fourth
Project Planner: Jay Olivas
Board of Supervisors: November 26, 2013

FAST TRACK CONDITIONAL USE PERMIT NO. 3497, REVISED PERMIT NO. 1
FAST TRACK CONDITIONAL USE PERMIT NO. 3686 (FTA-2012-01)
Environmental Assessment No.: 42609
Applicant: Desert Alliance for Community Empowerment (DACE)
Engineer: Watson Engineering

COUNTY OF RIVERSIDE PLANNING DEPARTMENT STAFF REPORT

PROJECT DESCRIPTION AND LOCATION:

Fast Track Conditional Use Permit No. 3497, Revised Permit No. 1 proposes to modify previously approved farm labor camp (unbuilt) by increasing the number of beds from 96 to 160 in four (4) dormitory buildings totaling approximately 17,544 square feet along with 5,544 square foot community center building with availability of church services for approximately 90 people, as well as a 2,084 square foot square foot manager's quarters and a 924 square foot laundry building.

Fast Track Conditional Use Permit No. 3686 proposes to construct a migrant agricultural worker mobile home park consisting of 84 units with typical single wide and double wide mobile home spaces ranging from approximately 2,800 square feet to 3,500 square feet along with 1,780 square foot community center building, 1,040 square foot child care facility for up to 15 children, 800 square foot children's playground, and 2,800 square foot outdoor play area.

The project is located in the Eastern Coachella Valley Area Plan; more specifically, northerly of Hammond Road, southerly of 68th Avenue, easterly of Johnson Street, and westerly of Grant Street in the community of Mecca.

ISSUES OF POTENTIAL CONCERN:

Issues of potential concern revolve around transportation related improvements including re-alignment of 68th Avenue, street lighting, and noise impacts. These issues were resolved with recommended conditions of approval from the Transportation Department and from the Department of Environmental Health, Office of Industrial Hygiene. The Office of Industrial Hygiene is requiring minimum 5-10 foot high combination berm and block walls to address traffic and railroad noise impact from adjoining Hammond Road and realigned 68th Avenue.

Additionally, the project was presented to the Mecca Community Council on June 12, 2013 where final recommendations on street lighting and decorative entry monuments are reflected in the exhibits and recommended conditions for approval.

The project also proposes private water and sewer system that will tie into Coachella Valley Water District facilities. The project has received clearances from both the Department of Environmental Health and from the Coachella Valley Water District transmittal letter dated June 3, 2013, attached to this staff report.

SUMMARY OF FINDINGS:

1. Existing General Plan Land Use (Ex. #5): Agriculture (10 Acre Minimum) & Medium High Density Residential (5-8 D.U./Ac.)
2. Surrounding General Plan Land Use (Ex. #5): Agriculture (10 Acre Minimum)

3. Existing Zoning (Ex. #3):	Heavy Agriculture – 10 Acre Minimum (A-2-10) & Controlled Development Areas (W-2)
4. Surrounding Zoning (Ex. #3):	Heavy Agriculture – 20 Acre Minimum (A-2-20)
5. Existing Land Use (Ex. #1):	Vacant & Migrant Shower Facility
6. Surrounding Land Use (Ex. #1):	Crops, Vacant Land & Scattered Dwellings
7. Project Data:	Total Acreage: 25 Gross Acres
8. Environmental Concerns:	See attached environmental assessment

RECOMMENDATIONS:

ADOPTION of a **MITIGATED NEGATIVE DECLARATION** for **ENVIRONMENTAL ASSESSMENT NO. 42609**, based on the findings incorporated in the initial study and the conclusion that the project will not have a significant effect on the environment; and,

APPROVAL of **FAST TRACK CONDITIONAL USE PERMIT NO. 3497, REVISED PERMIT NO. 1**, subject to the attached conditions of approval; and,

APPROVAL of **FAST TRACK CONDITIONAL USE PERMIT NO. 3686**, subject to the attached conditions of approval, and based upon the findings and conclusions incorporated in the staff report.

FINDINGS: The following findings are in addition to those incorporated in the summary of findings and in the attached environmental assessment, which is incorporated herein by reference.

1. The project site is designated Agriculture (10 Acre Minimum) and Medium High Density Residential (5-8 D.U./Ac.) on the Eastern Coachella Valley Area Plan.

2. The existing Agriculture land use designation on the westerly portion of the project site is compatible with the proposed project (CUP 3497R1) in that farm labor camps are an agricultural related land use.

3. The existing Medium High Density Residential (MHDR) (5-8 D.U./Ac.) land use designation on the easterly portion of the project site is compatible with the proposed migrant agricultural worker mobile home park with 84 spaces (CUP 3686) in that there is a proposed net density of approximately 6.47 D.U./Ac. within the allowed density range of MHDR.

4. The existing zoning for the subject site is Heavy Agriculture – 10 Acre Minimum (A-2-10) on the westerly portion and Controlled Development Areas (W-2) on the easterly portion.

5. The majority of the project site is vacant except for a migrant shower facility located on the far westerly portion of the site.

6. Surrounding land uses consists of crops, vacant land, and scattered single family dwellings. The project is consistent with existing surrounding land uses in that the project will be located on two (2) 10 gross acre parcels which is a typical rural agricultural parcel size in this area, and will include site improvements such as fencing and desert landscaping.

7. The project is within the Coachella Valley Multiple Species Habitat Conservation Plan, but is not specifically located within a Conservation Area. This project fulfills the requirements of that plan through conformance with Ordinance No. 875.

8. Access to the site is from realigned 68th Avenue (103' ROW) via Hammond Road (91' ROW). The project will provide appropriate street and off-site traffic mitigation, such as, right-of-way improvements, in compliance with the requirements of the circulation element of the General Plan.

9. The project is approximately one mile from a fire station. The project will provide appropriate fire protection measures in conformance with the fire services policies of the General Plan.

10. Domestic water and sanitation shall be coordinated with the County Environmental Health Department and the Coachella Valley Water District. Domestic water and sanitation shall be provided in conformance with the water and sewer land use standards of the General Plan.

11. The project is not located within the sphere of influence of any city. However, it is located within the boundaries of the Mecca Community Council which held meetings to present the project.

12. The Riverside County Housing Element (Policy 1.2) has identified special needs housing for farm workers and low to very low income populations which the proposed project encourages since the subject land proposes farm labor housing.

13. The farm labor camp/migrant housing facility is consistent with the land use element policy LU 16.3 which allows farm worker housing as an interim land use under certain circumstances. The project complies with these circumstances in that the subject area is primarily agriculture, the proposal has a recommended condition of a 10 year life, the project will have adequate infrastructure with required improvements, the project will not create significant land use incompatibilities due to the agriculture nature of the area with existing crops, and the proposal will not jeopardize public health, safety and welfare due to compliance with uniform building codes.

14. The initial study performed pursuant to Environmental Assessment No. 42609 identified the following potentially significant impacts:

    a. Hydrology/Water Quality
    b. Noise
    c. Transportation/Traffic
    d. Utilities/Service Systems

CONCLUSIONS:

1. The proposed project is in conformance with the Agriculture (10 Acre Minimum) and Medium High Density Residential Land Use Designations (5-8 D.U./Ac.), and with all other elements of the Riverside County General Plan.

2. The proposed project is consistent with the Heavy Agriculture – 10 Acre Minimum (A-2-10) and Controlled Development Areas (W-2) zoning classifications of Ordinance No. 348, and with all other applicable provisions of Ordinance No. 348.

3. The public's health, safety, and general welfare are protected through project design.

4. The proposed project is conditionally compatible with the present and future logical development of the area.

5. The proposed project will not have a significant effect on the environment.

INFORMATIONAL ITEMS:

1. As of this writing (10/21/13), no comment letters have been received from the general public.

2. The project site is not located within:
   a. A city sphere of influence;
   b. A FEMA 100-year flood plain, an area drainage plan, or dam inundation area;
   c. A high fire area;

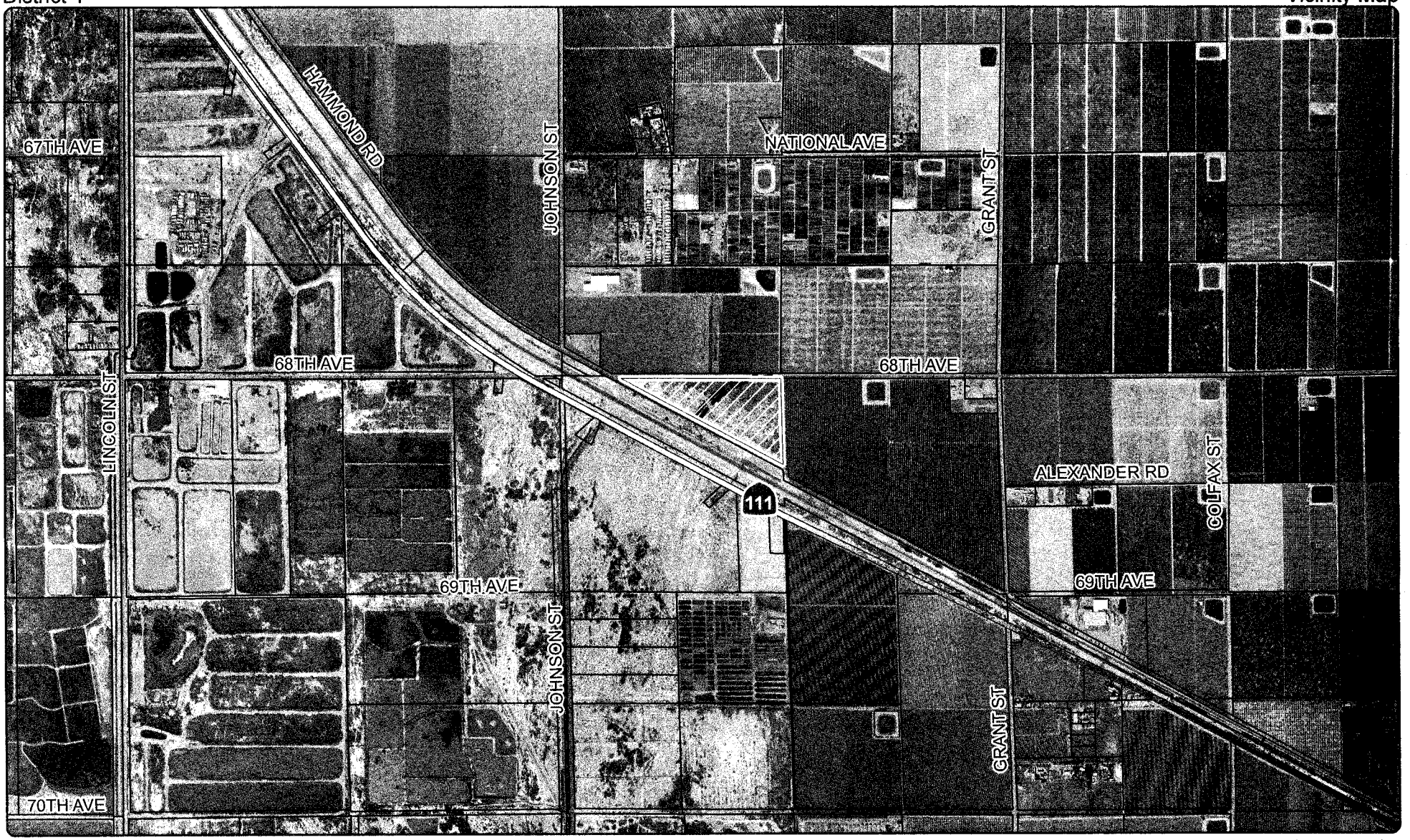
3. The project site is located within:
   a. Coachella Valley Unified School District;
   b. High Liquefaction Area.

4. The subject site is currently designated as Assessor's Parcel Number 729-050-002.

RIVERSIDE COUNTY PLANNING DEPARTMENT
CUP03497R1 / CUP03686

Supervisor Benoit
District 4

Date Drawn: 7/03/13
Vicinity Map



District:: Lower Coachella Valley
Township/Range: T7SR9E
Section: 21

Assessors Bk. Pg. 729-05
Thomas Bros. Pg. 5652 H2
Edition 2009

N

0 1,000 2,000 4,000 6,000 Feet

DISCLAIMER: On October 7, 2003, the County of Riverside adopted a new General Plan providing new land use designations for unincorporated Riverside County parcels. The new General Plan may contain different types of land use than is provided for under existing zoning. For further information, please contact the Riverside County Planning Department offices in Riverside at (951) 955-3200 (Western County), or in Indio at (760) 863-8277 (Eastern County) or website at http://www.tlma.co.riverside.ca.us/index.html

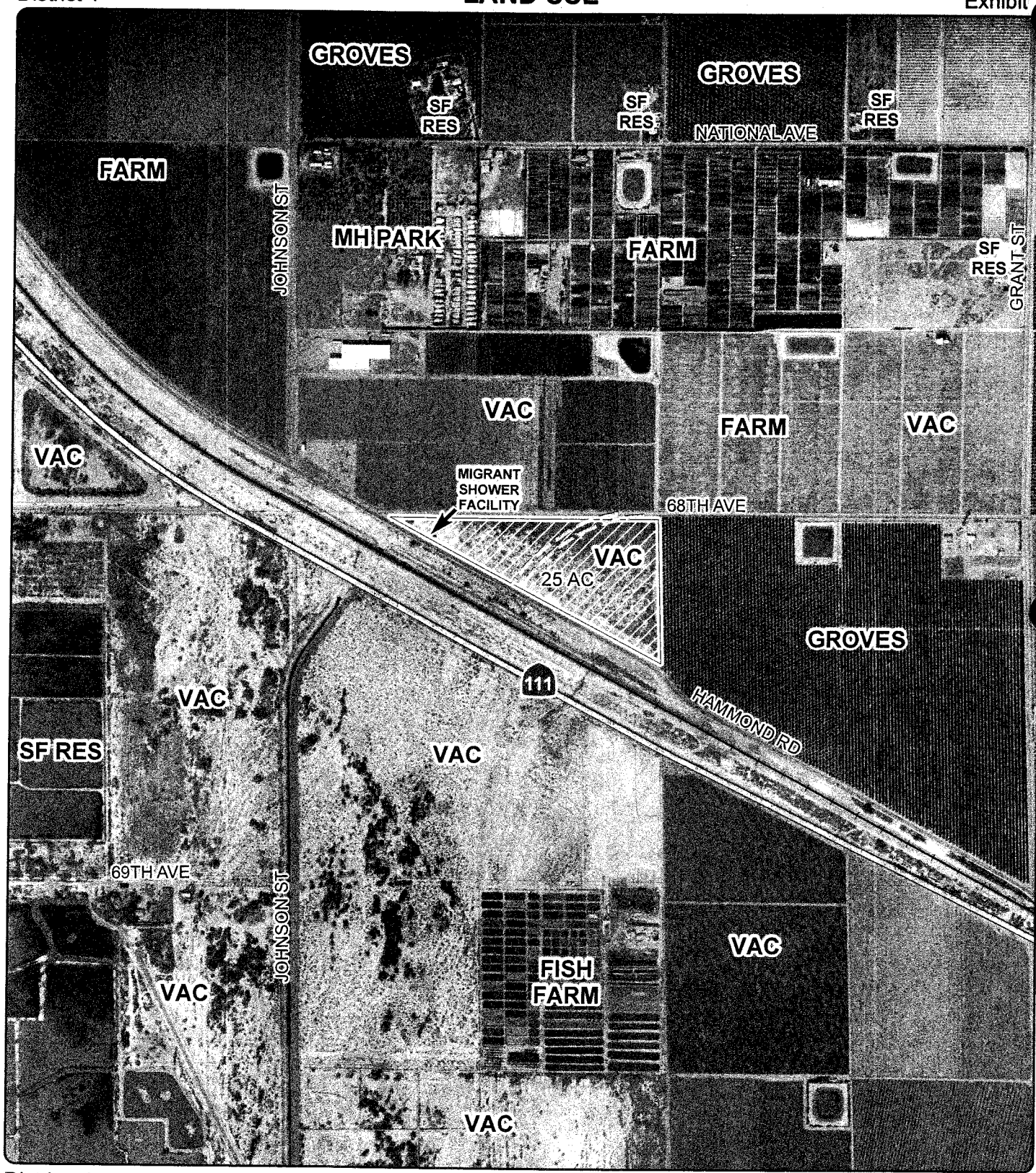
RIVERSIDE COUNTY PLANNING DEPARTMENT

CUP03497R1 / CUP03686

LAND USE

Supervisor Benoit
District 4

Date Drawn: 7/03/13
Exhibit 1



District:: Lower Coachella Valley
Township/Range: T7SR9E
Section: 21

N

Assessors Bk. Pg. 729-05
Thomas Bros. Pg. 5652 H
Edition 2009

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Feet

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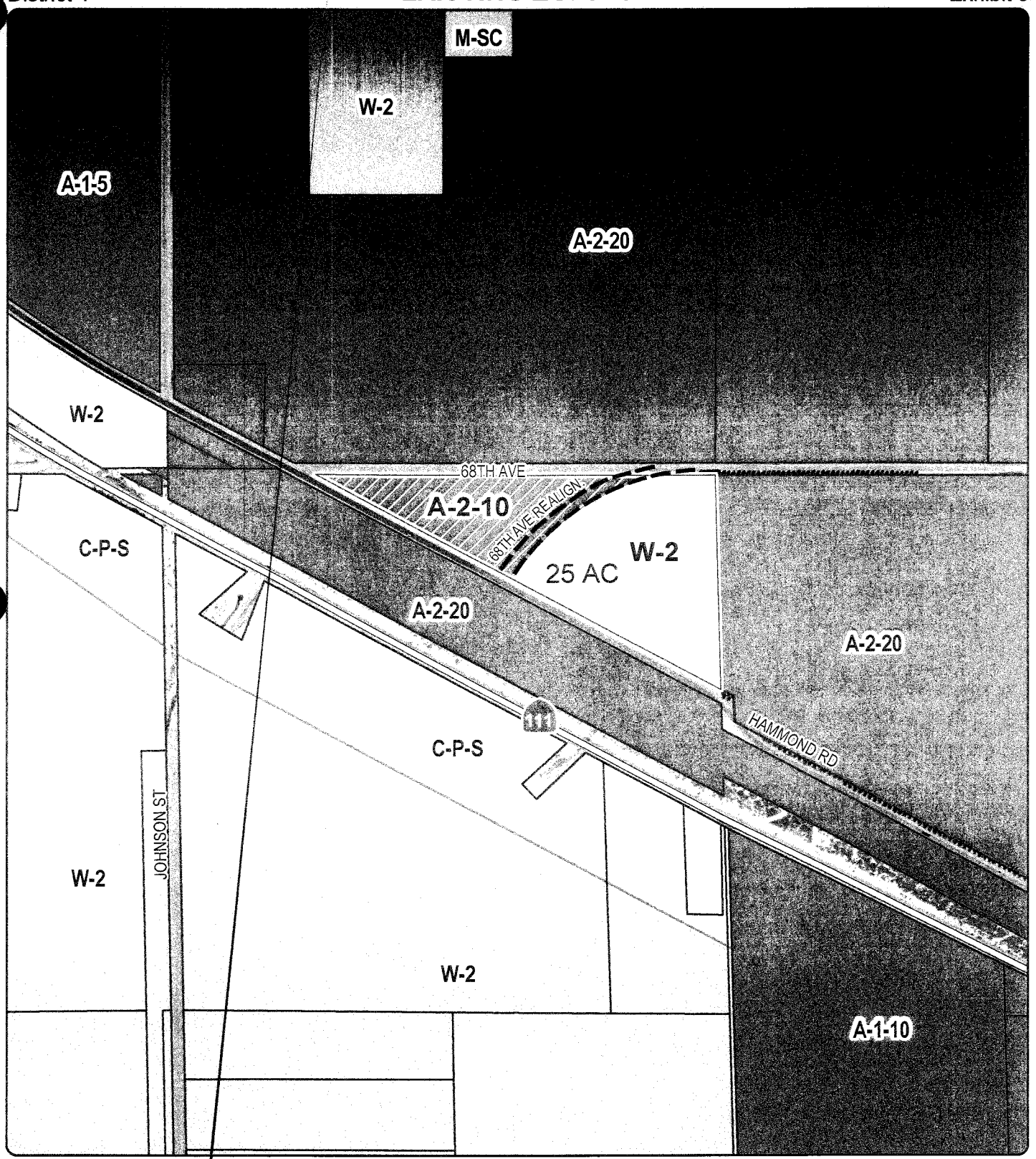
RIVERSIDE COUNTY PLANNING DEPARTMENT

Supervisor Benoit
District 4

CUP03497R1 / CUP03686
EXISTING ZONING

Date Drawn: 7/03/13
Exhibit 3



District:: Lower Coachella Valley
Township/Range: T7SR9E
Section: 21

N

Assessors Bk. Pg. 729-05
Thomas Bros. Pg. 5652 H2
Edition 2009

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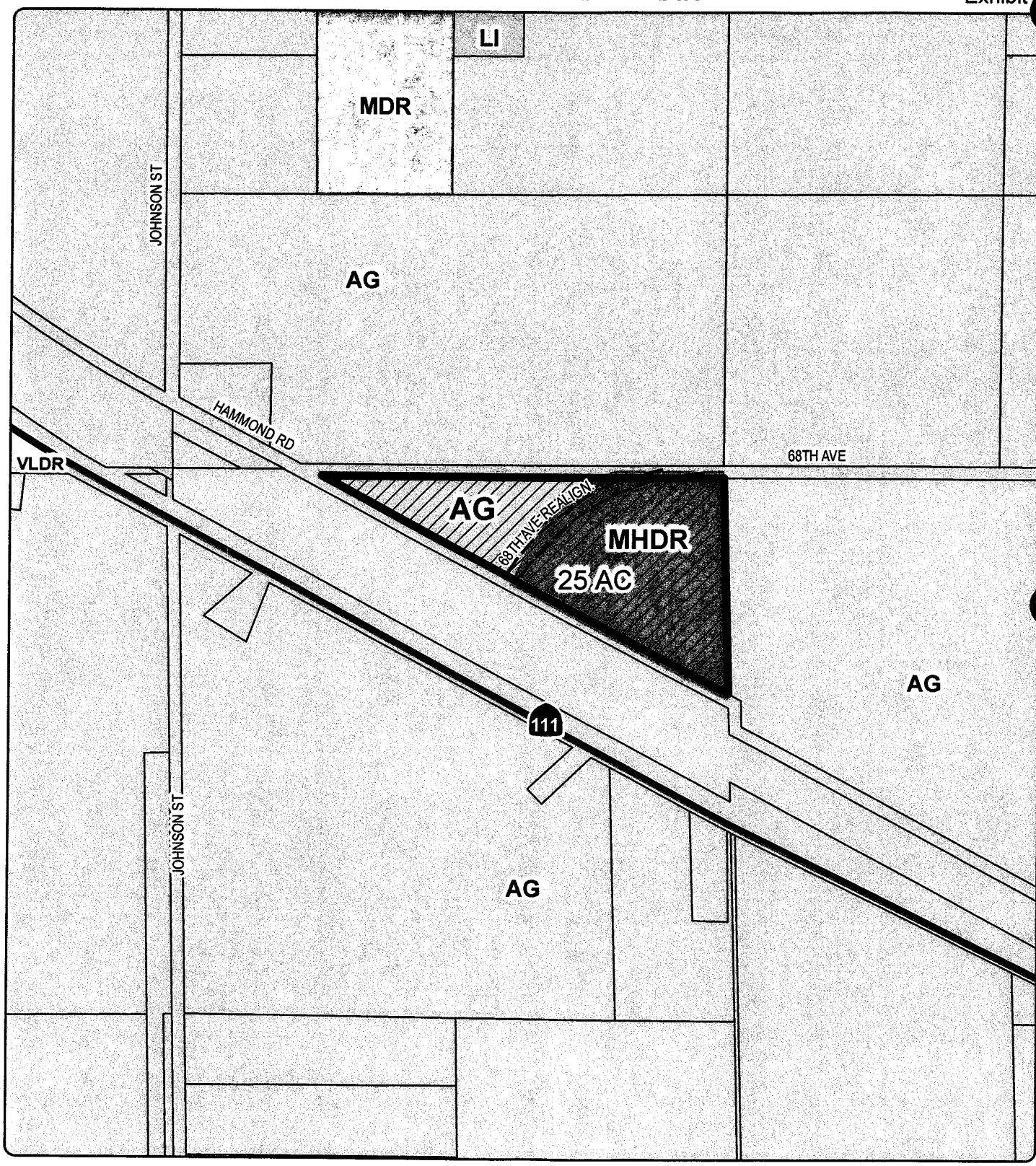
Feet

RIVERSIDE COUNTY PLANNING DEPARTMENT

Supervisor Benoit
District 4

CUP03497R1 / CUP03686
EXISTING GENERAL PLAN

Date Drawn: 7/03/13
Exhibit 5



District:: Lower Coachella Valley
Township/Range: T7SR9E
Section: 21

N

Assessors Bk. Pg. 729-05
Thomas Bros. Pg. 5652 H
Edition 2009

DISCLAIMER: On October 7, 2003, the County of Riverside adopted a new General Plan providing new land use designations for unincorporated Riverside County parcels. The new General Plan may contain different types of land use than is provided for under exis ting zoning. For further information, please contact the Riverside County Planning Department offices in Riverside at (951) 955-3200 (Western County), or in Indio at (760) 863-8277 (Eastern County) or website at http://www.tlma.co.riverside.ca.us/index.html

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IN THE UNINCORPORATED TERRITORY OF RIVERSIDE COUNTY, STATE OF CALIFORNIA

CONDITIONAL USE PERMIT NO. 3497 (REVISED NO.1)

SAN CRISTOBAL LABOR HOUSING

BEING A PORTION OF THE NORTHWEST QUARTER OF SECTION 21,
TOWNSHIP 7 SOUTH, RANGE 9 EAST, S.B.B.& M.

FEBRUARY 8, 2013

NO.	REVISIONS	APPROVED	DATE
1	REVISED PARKING, RETENTION BASIN, ADDED LAUNDRY BUILDING		5/11/12

LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN IS SITUATED IN THE STATE OF CALIFORNIA, COUNTY OF RIVERSIDE, UNINCORPORATED AREA, DESCRIBED AS FOLLOWS:

THAT PORTION OF THE NORTHWEST QUARTER OF SECTION 21, TOWNSHIP 7 SOUTH, RANGE 9 EAST, SAN BERNARDINO BASE AND MERIDIAN, LYING NORTH AND EAST OF A LINE PARALLEL WITH AND 200 FEET NORTHEASTERLY OF THE CENTERLINE OF THE UNION PACIFIC RAILROAD COMPANY RIGHT-OF-WAY AS NOW CONSTRUCTED. EXCEPTING THEREFROM ANY PORTION LYING WITHIN HAMMOND ROAD.

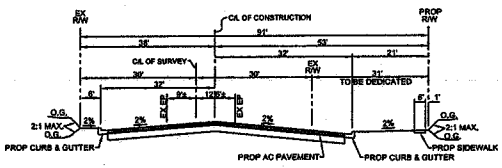
DIRT QUANTITY ESTIMATE:

CUT	14,500 C.Y.
FILL	14,500 C.Y.

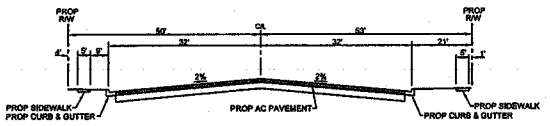
NOTE: CONTRACTOR IS RESPONSIBLE FOR HIS OWN ESTIMATE OF QUANTITIES.

ABBREVIATIONS:

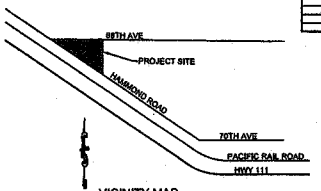
FG = FINISH GRADE
FL = FLOW LINE
NG = NATURAL GRADE
FF = FINISH FLOOR
FS = FINISH SURFACE
MIN. = MINIMUM
MAX. = MAXIMUM
UTIL. = UTILITY
C&G = CURB AND GUTTER
(LS) = LANDSCAPE AREA



TYPICAL SECTION
HAMMOND ROAD (PUBLIC)
NTS



TYPICAL SECTION
AVENUE 68 (PUBLIC)
NTS



VICINITY MAP
N.T.S.
SECTION 21, T.7. S., R.9. E.
THOMAS BROS. MAP LOCATION PAGE 5852
(2004 EDITION)

OWNER/APPLICANT/DEVELOPER:

DESERT ALLIANCE FOR COMMUNITY EMPOWERMENT
JEFFREY TARTAGLINO, PROJECT COORDINATOR
83-690 ENTERPRISE WAY, SUITE 1
COACHELLA, CA 92236
TELEPHONE (760) 391-5050 FAX (760) 391-5100

ASSESSOR'S PARCEL NO.:

729-050-002

GROSS AREA: 11.06 ACRES
NET AREA: 6.77 ACRES

EXISTING ZONE:

A-2-20 (SAN CRISTOBAL / DORMS)

PROPOSED ZONE:

A-2-10

EXISTING GP:

AGRICULTURE (AG) (10 ACRE MINIMUM)

PROPOSED GP:

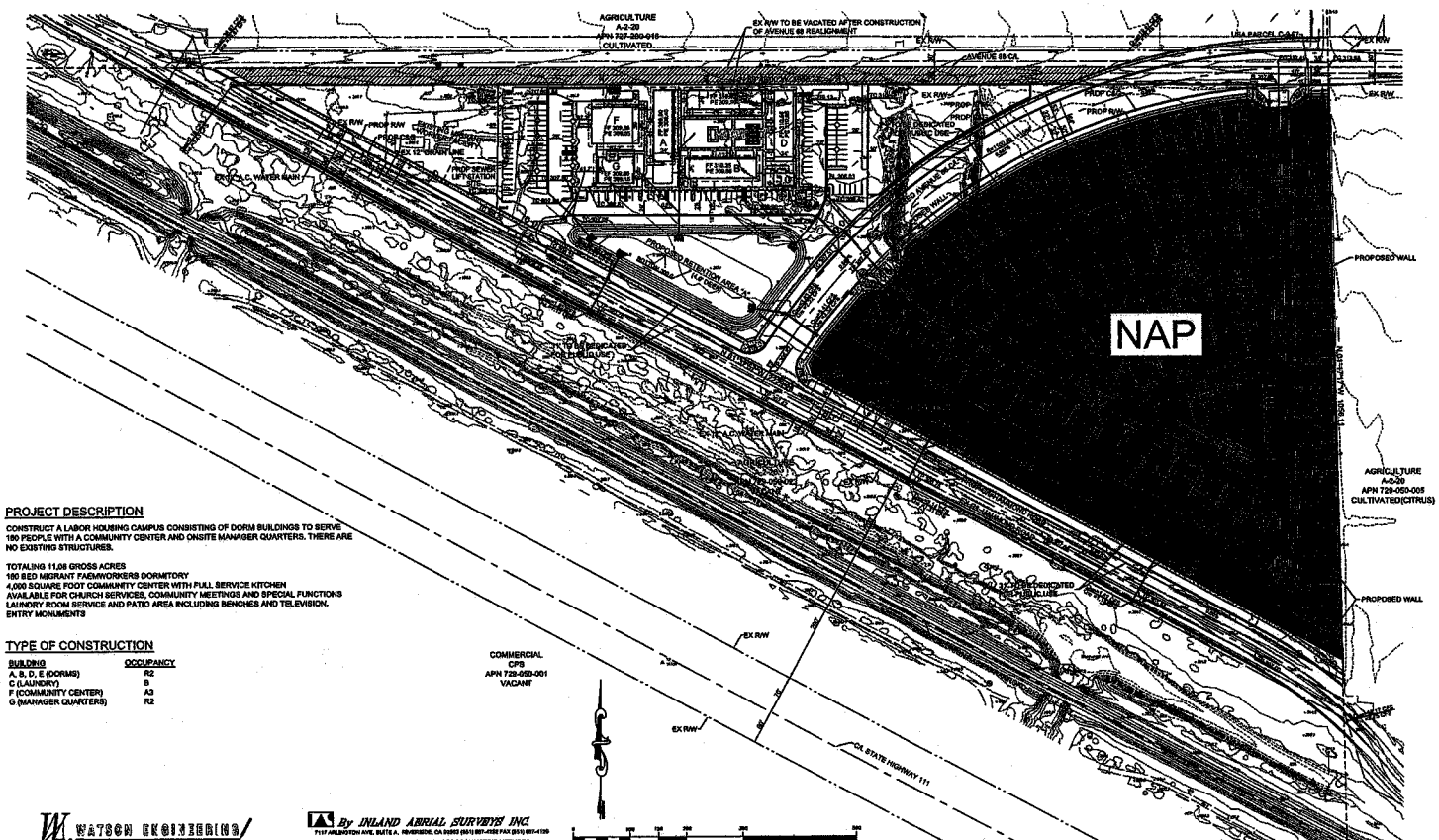
AGRICULTURE (AG) (10 ACRE MINIMUM)

FLOOD ZONE:

NOT WITHIN FEMA FLOOD AREA

THOMAS BROTHERS:

PG 5852 GRID H2



OVERALL AREA TABULATIONS:

TOTAL PARK/PLAY AREA & LANDSCAPE AREA:	1.22 AC.
HARDSCAPE/PARKING AREA:	1.55 AC.
RETENTION BASIN "A":	1.40 AC.
MIGRANT HOUSING DORMS	0.62 AC.
PUBLIC RIGHT OF WAY	4.28 AC.
EXISTING DEVELOPMENT	1.11 AC.
FUTURE DEVELOPMENT	0.88 AC.
TOTAL SITE:	11.06 AC.

PARKING TABULATIONS:

PHASE 1 (LABOR HOUSING COMPLEX) SAN CRISTOBAL

REQUIRED PARKING:

MIGRANT WORKER DORMS 1 SPACE PER 2 BEDS (160 BEDS)	80 SPACES
MANAGER QUARTERS 2.75 SPACES PER UNIT (2 UNITS)	6 SPACES
TOTAL PARKING REQUIRED:	86 SPACES
PARKING PROVIDED:	
STANDARD SPACES:	142 SPACES
HANDICAP SPACES:	5 SPACES
TOTAL SPACES:	147 SPACES

PROPOSED BUILDINGS

A.	DORM	4,318
B.	DORM	4,318
C.	LAUNDRY	792
D.	DORM	4,318
E.	DORM	4,446
F.	COMMUNITY CENTER	5,280
G.	MANAGER QUARTERS	5,082
	TOTAL	28,556

PROJECT DESCRIPTION

CONSTRUCT A LABOR HOUSING CAMPUS CONSISTING OF DORM BUILDINGS TO SERVE 160 PEOPLE WITH A COMMUNITY CENTER AND ONSITE MANAGER QUARTERS. THERE ARE NO EXISTING STRUCTURES.

TOTALING 11.06 GROSS ACRES
160 BED MIGRANT FARMWORKERS DORMITORY
4,000 SQUARE FOOT COMMUNITY CENTER WITH FULL SERVICE KITCHEN
AVAILABLE FOR CHURCH SERVICES, COMMUNITY MEETINGS AND SPECIAL FUNCTIONS
LAUNDRY ROOM SERVICE AND PATIO AREA INCLUDING BENCHES AND TELEVISION.
ENTRY MONUMENTS

TYPE OF CONSTRUCTION

BUILDING	OCCUPANCY
A, B, D, E (DORMS)	R2
C (LAUNDRY)	B
F (COMMUNITY CENTER)	A3
G (MANAGER QUARTERS)	R2

UTILITY AGENCIES:

WATER	COACHELLA VALLEY WATER DISTRICT	(760) 398-2651
SEWER	COACHELLA VALLEY WATER DISTRICT	(760) 398-2651
ELECTRIC	IMPERIAL IRRIGATION DISTRICT	(760) 396-5654
TELEPHONE	VERIZON TELEPHONE COMPANY	(760) 864-1720
GAS	SOUTHERN CALIFORNIA GAS COMPANY	(760) 341-2345
SATELLITE TV	DIRECT TV	(888) 200-4388
SCHOOL DISTRICT	COACHELLA VALLEY UNIFIED	(760) 922-4164

NOTE:

MAP INCLUDES THE ENTIRE CONTIGUOUS OWNERSHIP OF THE LAND DIVIDER

NO TILE DRAINS LOCATED WITHIN PROJECT BOUNDARY.

PROJECT FALLS WITHIN: A HIGH LIQUIFACTION POTENTIAL AREA

PROJECT IS NOT WITHIN:
1. A SPECIFIC PLAN AREA
2. 200' OF ANY KNOWN EXISTING WELL
3. A FAULT ZONE

WATSON ENGINEERING
CIVIL ENGINEERING ⊕ LAND PLANNING
36-250 PRIMROSE STREET
INDIO, CA 92201
PH. (760) 775-7550

By INLAND AERIAL SURVEYS INC.
7117 ARLINGTON AVE. SUITE A, RIVERSIDE, CA 92503 (951) 687-4252 FAX (951) 687-4139
THIS MAP WAS COMPILED BY PHOTOGRAMMETRIC METHODS AERIAL PHOTOGRAPHY DATED: APRIL 2012. MAP COMPLIES WITH NATIONAL MAPPING STANDARDS, EXCEPT WHERE GROUND IS OBSCURED BY FOLIAGE.

SCALE: 1" = 100'
(IN FEET)

SHEET 1 OF 2 SHEETS

IN THE UNINCORPORATED TERRITORY OF RIVERSIDE COUNTY, STATE OF CALIFORNIA

CONDITIONAL USE PERMIT NO. 3497 (REVISED NO.1)

SAN CRISTOBAL LABOR HOUSING

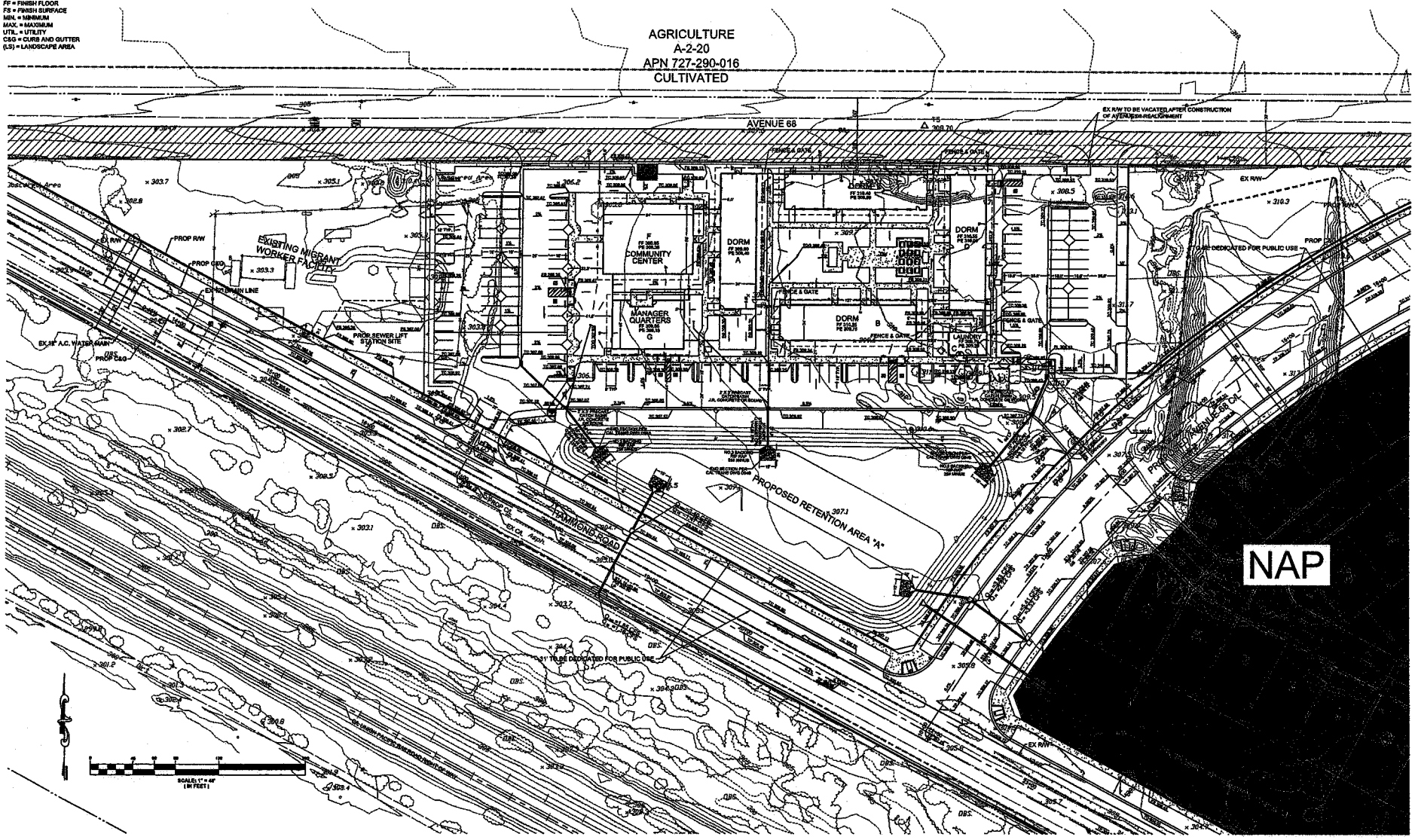
BEING A PORTION OF THE NORTHWEST QUARTER OF SECTION 21,
TOWNSHIP 7 SOUTH, RANGE 9 EAST, S.B.B.& M.

FEBRUARY 8, 2013

NO.	REVISIONS	APPROVED	DATE
1	REVISED PARKING, RETENTION BASIN, ADDED LAUNDRY BUILDING		5/11/12

ABBREVIATIONS:

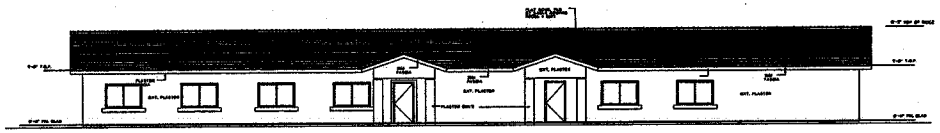
FG = FINISH GRADE
FL = FLOW LINE
NG = NATURAL GRADE
FF = FINISH FLOOR
FS = FINISH SURFACE
MIN. = MINIMUM
MAX. = MAXIMUM
UTIL. = UTILITY
C&G = CURB AND GUTTER
(LS) = LANDSCAPE AREA



WATSON ENGINEERING
CIVIL ENGINEERING & LAND PLANNING
55-990 YUCCA STREET
LA QUINTA, CA 92253
PH. (760) 342-1653

By INLAND AERIAL SURVEYS INC.
7117 ARLINGTON AVE. SUITE A, RIVERSIDE, CA 92503 (951) 687-4252 FAX (951) 687-4129
THIS MAP WAS COMPILED BY PHOTOGRAMMETRIC METHODS
AERIAL PHOTOGRAPHY DATE APRIL 2012
MAP COMPILED WITH NATIONAL MAPPING STANDARDS,
EXCEPT WHERE GROUND IS OBSCURED BY FOLIAGE

EAST



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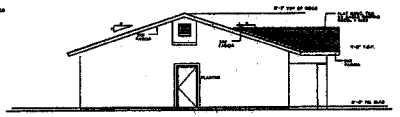

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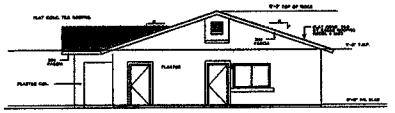

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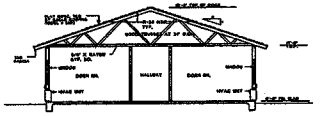


SECTION "A"

SCALE: 1/4" = 1'-0"

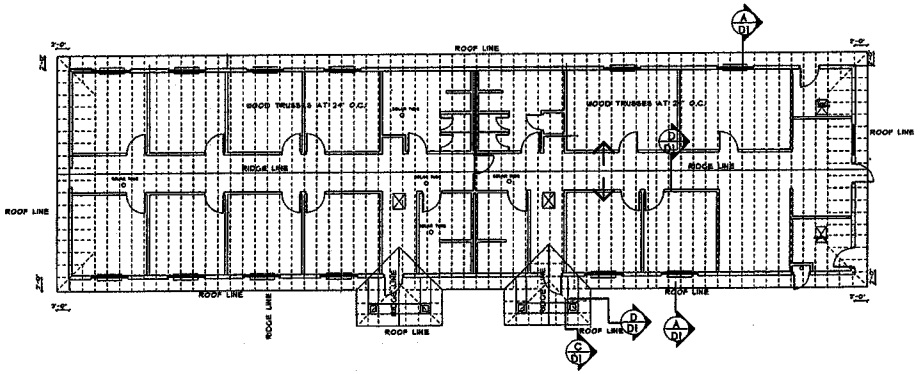
Architecture Planning Interior Design

ROBERT H. RICCIARDI
ARCHITECT

ROBERT H. RICCIARDI N.C.A.R.B.

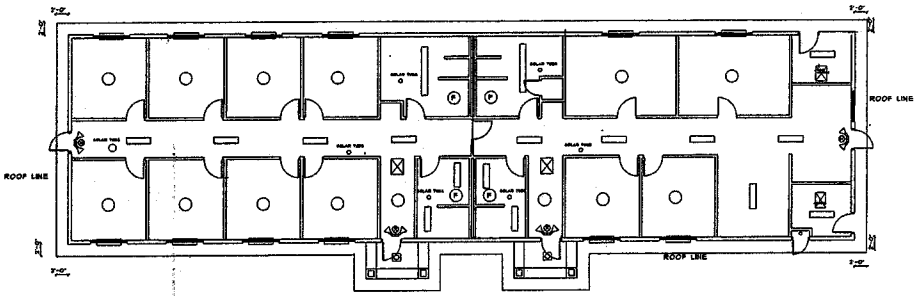
75-400 GERALD FORD DRIVE SUITE H5
PALM DESERT, CALIFORNIA 92211

TELEPHONE 760/ 408-1208
FAX 760/ 610-5037



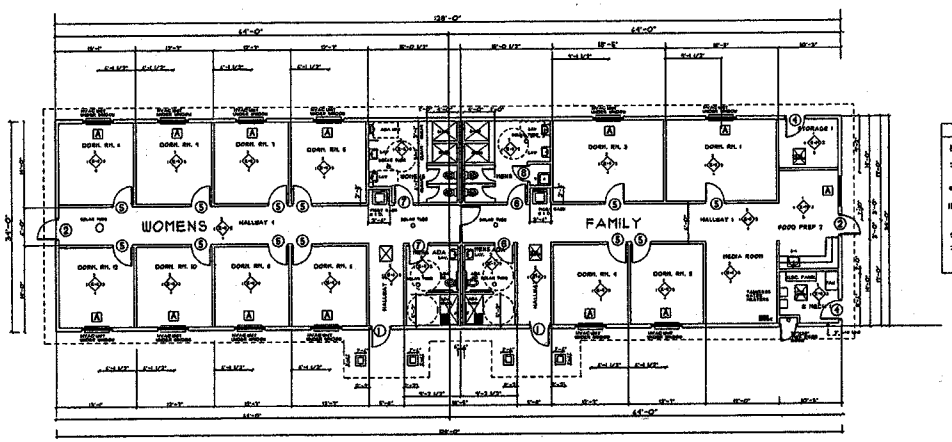
ROOF PLAN
BUILDING A FAMILY AND WOMEN DORMITORY

SCALE 1/8" = 1'-0"



CEILING PLAN
BUILDING A FAMILY AND WOMEN DORMITORY

SCALE 1/8" = 1'-0"



FLOOR PLAN (24 BEDS)
BUILDING A FAMILY AND WOMEN DORMITORY

SCALE 1/8" = 1'-0"

WALL LEGEND

EXTERIOR WALLS

- 6" ISP PANELS W/R-31 INSULATION
- VINYL WINDOWS W/ LOW "E" 1" THICK SOLAR BRONZE

INTERIOR WALLS

- 3X6 STUDS AT 16" O.C. W/ 6x16 WHIRL
- 2X4 STUDS AT 16" O.C.

CEILING LEGEND

- SUPERVISED ACCESS CEILING
- SUPERVISED ACCESS CEILING
- SOLAR TUBE
- SOLAR TUBE
- SMOKE DETECTOR
- CEILING MOUNTED FLUORESCENT LIGHTS
- FLUORESCENT LIGHTS W/ SHADOW
- RETURN DIFFUSER
- SUPPLY DIFFUSER
- SOLAR TUBE
- ALL CEILING HEIGHTS ARE NOT EQUAL

NO.	DATE	REVISIONS

PROJECT

D.A.C.E.
SAN CRISTOBAL
MIGRANT AGRICULTURAL HOUSING
MECCA, CALIFORNIA

SOUTHEAST CORNER HARMOND & 68TH AVE.
MECCA, CALIFORNIA

TITLE

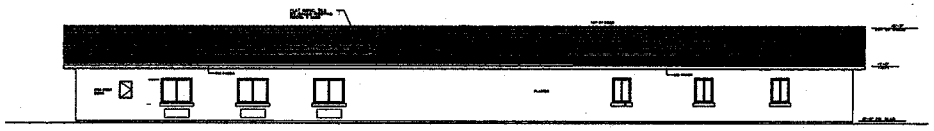
BUILDING A
PRELIMINARY: FLOOR AND ROOF PLANS
EXTERIOR ELEVATIONS

DATE
MAY 2012
DRN BY
SR
SCALE
AS NOTED
APPROVED

LICENSED ARCHITECT
ROBERT H. RICCIARDI
NO. C-20008
EXP. 6/30/2013
STATE OF CALIFORNIA

SHEET NO.
AA2
OF

P:\RECORD\SAN CRISTOBAL\DATACAD\BLDG A\BUILDING A.DWG
MONDAY, JULY 23, 2012

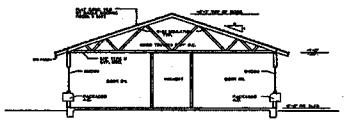


SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

EAST ELEVATION

SCALE: 1/8" = 1'-0"



SECTION A

SCALE: 1/8" = 1'-0"

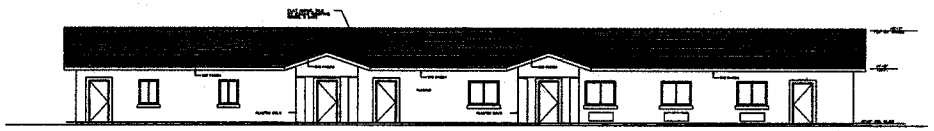
Architecture Planning Interior Design

ROBERT H. RICCIARDI
ARCHITECT

ROBERT H. RICCIARDI N.C.A.R.B.

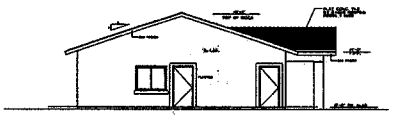
75-400 GERALD FORD DRIVE SUITE H5
PALM DESERT, CALIFORNIA 92211

TELEPHONE 760/ 410-1200
FAX 760/ 346-5627



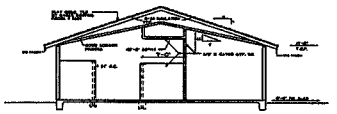
NORTH ELEVATION

SCALE: 1/8" = 1'-0"



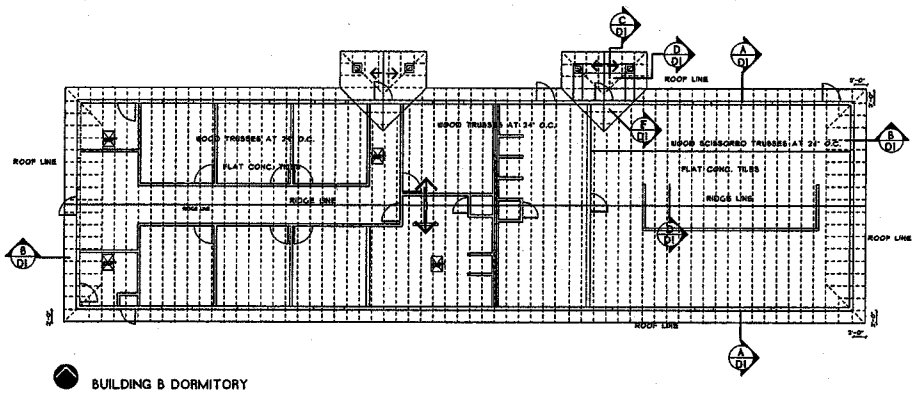
WEST ELEVATION

SCALE: 1/8" = 1'-0"



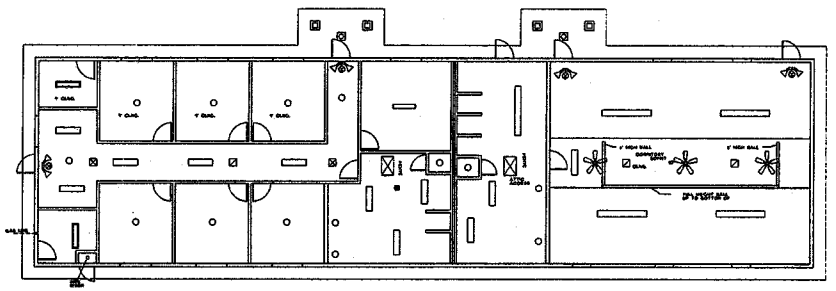
SECTION B

SCALE: 1/8" = 1'-0"



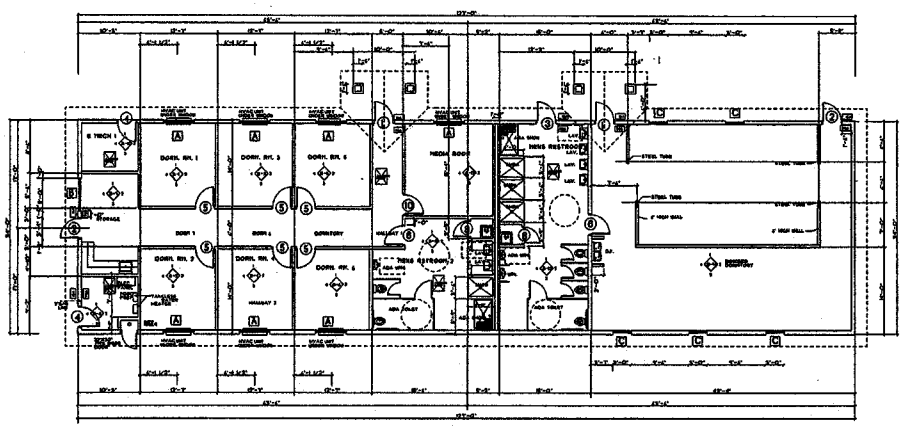
BUILDING B DORMITORY
ROOF PLAN

SCALE: 1/8" = 1'-0"



BLDG. B CEILING PLAN

SCALE: 1/8" = 1'-0"



FLOOR PLAN (28 BEDS)
BUILDING B DORMITORY

SCALE: 1/8" = 1'-0"

WALL LEGEND

EXTERIOR WALLS

4" SIP PANELS W/R-30 INSULATION

VINYL SIDING W/ LOW "R" 1" THICK SOLAR BRONZE

INTERIOR WALLS

2X6 STUDS AT 16" O.C. W/ R-19 INSUL.

2X4 STUDS AT 16" O.C.

CEILING LEGEND

NO.	DATE	REVISIONS

PROJECT

D.A.C.E.
SAN CRISTOBAL
MIGRANT AGRICULTURAL HOUSING
MECCA, CALIFORNIA

SOUTHEAST CORNER HARMOND & 66TH AVE.
MECCA, CALIFORNIA

TITLE

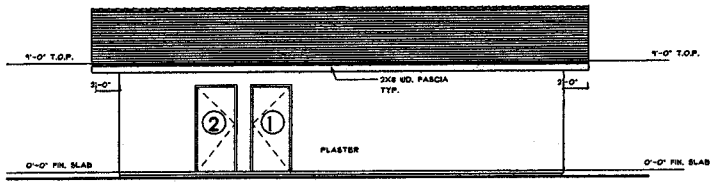
BUILDING B
CEILING & ROOF
PLANS

DATE JULY 2000
DRN BY SG
SCALE AS NOTED
APPROVED

REGISTERED ARCHITECT ROBERT H. RICCIARDI NO. C-9608 STATE OF CALIFORNIA

SHEET NO. AB3

OF



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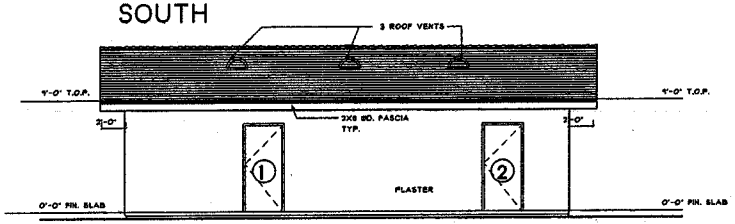
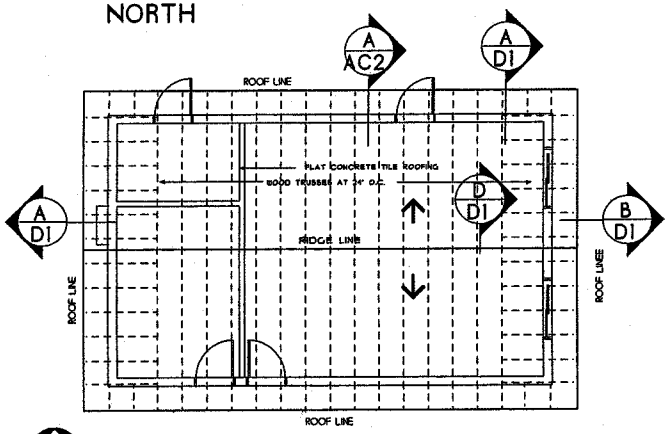
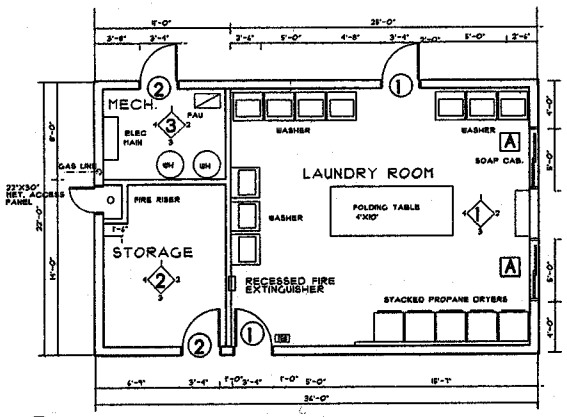


NORTH



BUILDING C ROOF PLAN



WALL LEGEND

EXTERIOR WALLS

2X6 STUDS AT 16" O.C. W/ R-19 INSUL.

VINYL WINDOWS W/ LOW "E" 1" THICK SOLAR BRONZE

INTERIOR WALLS

2X4 STUDS AT 16" O.C. W/ R-11 INSUL.

2X4 STUDS AT 16" O.C. W/ R-13 INSUL.

TACTILE EXIT SIGNAGE SYMBOL

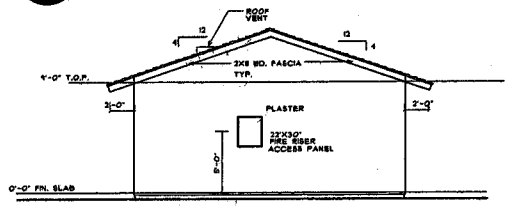
NOTE:
PROVIDE TACTILE EXIT SIGNAGE PER CBC 1003.3.5.4.1 AT ALL EXIT SIGNS.

TACTILE EXIT SIGNAGE
LOCATE ON WALL AT LATCH SIDE OF DOOR WHEN POSSIBLE, 5'-0" ABOVE FINISH FLOOR PER CBC 1003.3.5.4.1

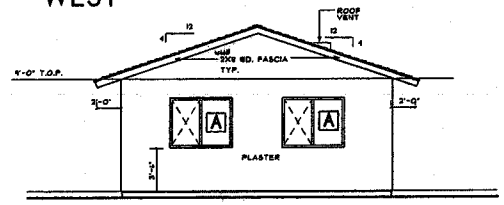
BUILDING C: FLOOR PLAN

BUILDING AREA: 792 S.F.

1/4" =1'-0"



WEST



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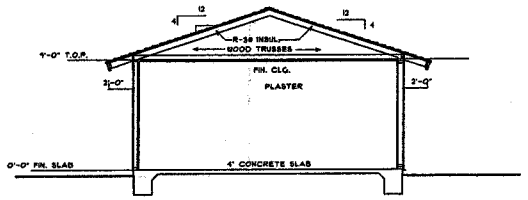
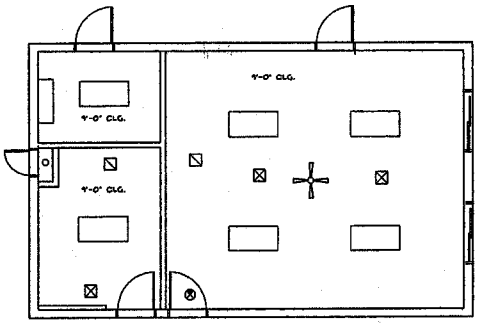


SECTION A



CEILING LEGEND

- FLUORESCENT RECESSED 2'x4' 3 LAMP FIXTURE
- RECESSED LIGHT
- CEILING EXHAUST FAN
- EXIT SIGN
- CEILING SUPPLY AIR DIFFUSER
- CEILING RETURN AIR REGISTER
- FAN W/ DIMMER SWITCH

BUILDING C: CEILING PLAN

1/4" =1'-0"

Architecture Planning Interior Design

ROBERT H. RICCIARDI
ARCHITECT

ROBERT H. RICCIARDI N.C.A.R.B.

75-400 GERALD FORD DRIVE SUITE 115
PALM DESERT, CALIFORNIA 92211

TELEPHONE 760/ 408-1209
FAX 760/ 360-3037

NO.	DATE	REVISIONS

PROJECT

D.A.C.E.
SAN CRISTOBAL
MIGRANT AGRICULTURAL HOUSING
MECCA, CALIFORNIA

SOUTHEAST CORNER HARMOND & 68TH AVE.
MECCA, CALIFORNIA

TITLE

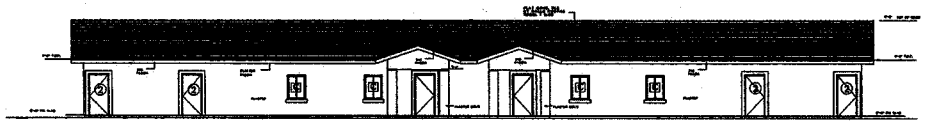
BUILDING C
FLOOR, CELING AND ROOF PLANS
AND SCHEDULES

DATE
MAY 2012
DRN BY
BR
SCALE
AS NOTED
APPROVED

LICENSED ARCHITECT
ROBERT H. RICCIARDI
NO. C13808
REN. 6/30/13
STATE OF CALIFORNIA

SHEET NO.
AC.1
OF 1

C:\DOCUMENTS AND SETTINGS\STANNY\DESKTOP\PROJECTS\SAN CRISTOBAL MIGRANT HOUSING\BUILDING C PRELIMINARY PLANS
MONDAY, JULY 23, 2012



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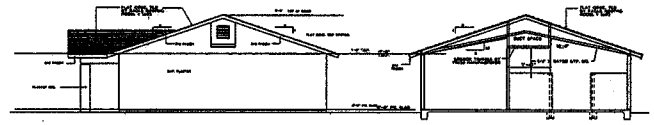
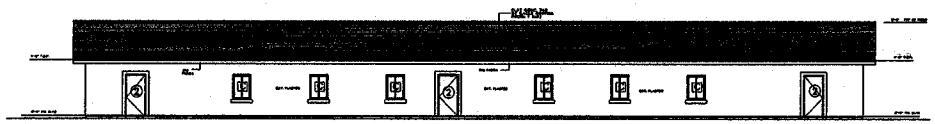


SOUTH

SECTION "A"



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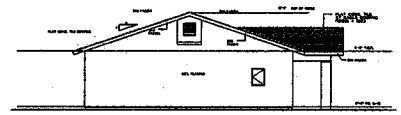


NORTH

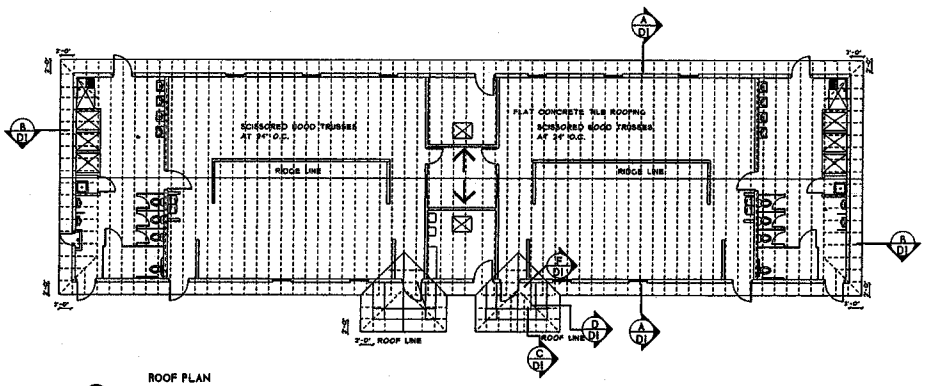
Architecture Planning Interior Design

ROBERT H. RICCIARDI
ARCHITECT

ROBERT H. RICCIARDI N.C.A.R.B.

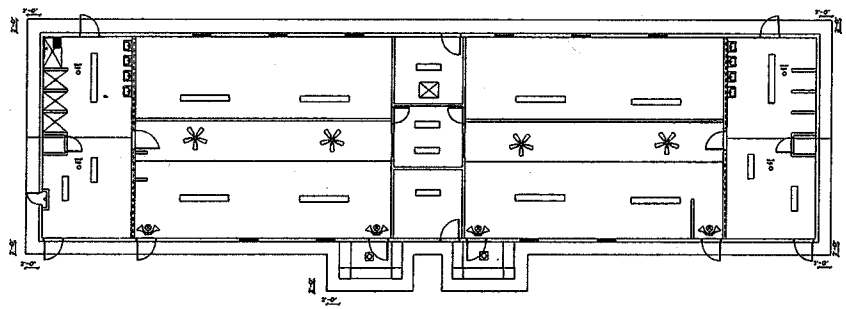
75-400 GERALD FORD DRIVE SUITE 115
PALM DESERT, CALIFORNIA 92211

TELEPHONE 760/ 890-5038
FAX 760/ 890-5037



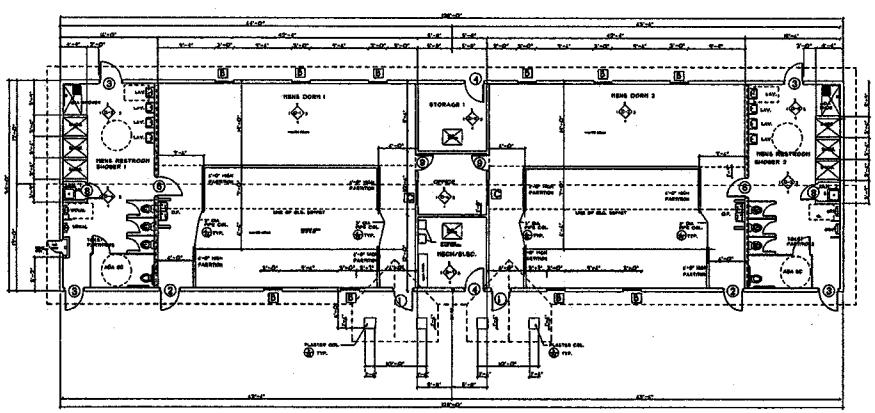
ROOF PLAN
BUILDING D DORMITORY

SCALE: 1/8" = 1'-0"



CEILING PLAN
BUILDING D DORMITORY

SCALE: 1/8" = 1'-0"



FLOOR PLAN
BUILDING D DORMITORY

SCALE: 1/8" = 1'-0"

WALL LEGEND

EXTERIOR WALLS

2X4 STUDS AT 16" O.C. W/ R22 INSUL.

VINYL WINDOWS W/ LOW "E" / TINTED SOLAR BRONZE

INTERIOR WALLS

2X4 STUDS AT 16" O.C. W/ R-11 INSUL.

2X4 STUDS AT 16" O.C.

2X4 PARTITION 2'-0" HIGH

VINYL WINDOWS W/ 1/2" THICK TEMPERED GLASS

CEILING LEGEND

NO	DATE	REVISIONS

PROJECT

D.A.C.E.
SAN CRISTOBAL
MIGRANT AGRICULTURAL HOUSING
MECCA, CALIFORNIA

SOUTHEAST CORNER HARMOND & 68TH AVE.
MECCA, CALIFORNIA

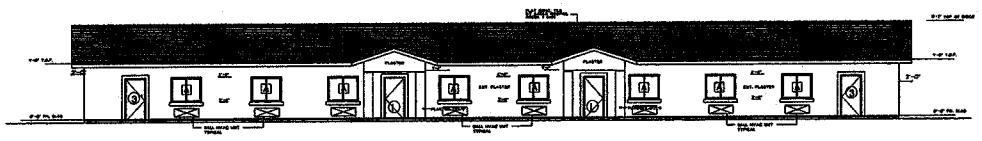
TITLE

BUILDING D
FLOOR, ROOF AND CEILING PLANS
AND EXTERIOR ELEVATIONS

DATE
MAY 2012
DRN BY
SR
SCALE
AS NOTED
APPROVED

LICENSED ARCHITECT
ROBERT H. RICCIARDI
NO. C36041
STATE OF CALIFORNIA

SHEET NO.
AD1
OF 1



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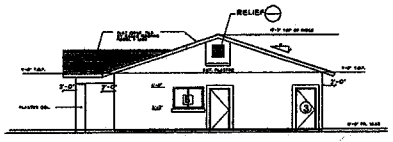

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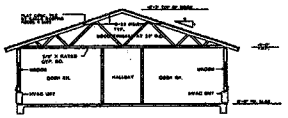
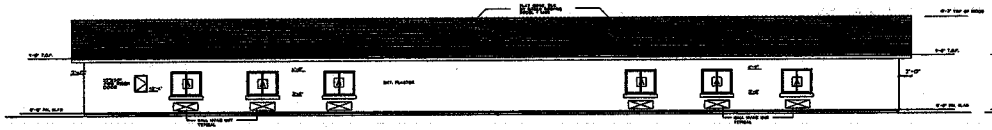


SECTION "A"
SCALE: 1/8" = 1'-0"



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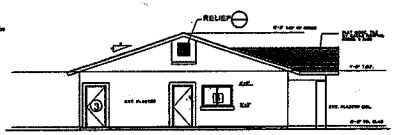

WEST

Architecture Planning Interior Design

ROBERT H. RICCIARDI
ARCHITECT

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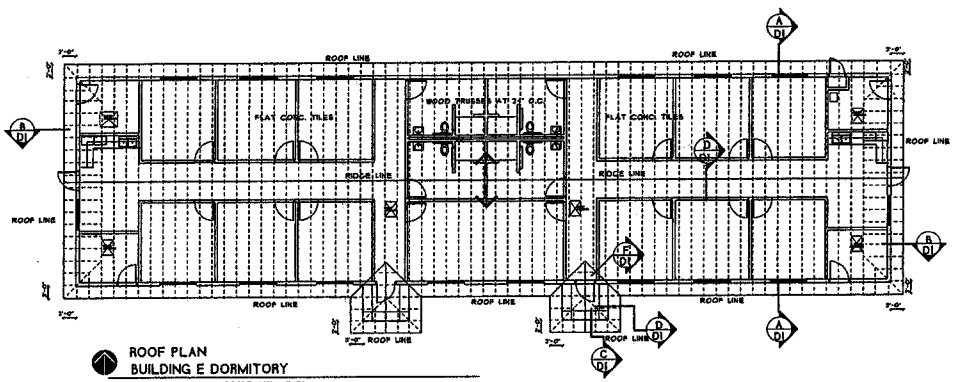
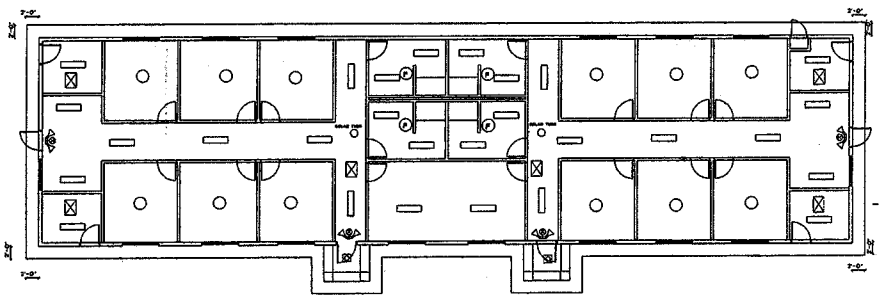
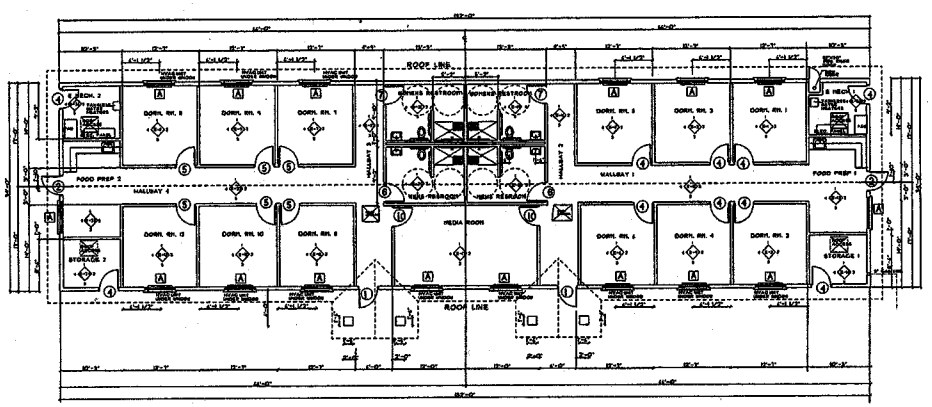


ROOF PLAN
BUILDING E DORMITORY
SCALE: 1/8" = 1'-0"



CEILING PLAN
BUILDING E DORMITORY



FLOOR PLAN
BUILDING E DORMITORY
SCALE: 1/8" = 1'-0"

WALL LEGEND

EXTERIOR WALLS

- 2" 2P PANELS W/R-3 INSULATION
- VINYL WINDOWS W/ LOW "E" 1" THICK SOLAR BRONZE

INTERIOR WALLS

- 2X4 STUDS AT 16" O.C. W/ 5/8" DISH.
- 2X4 STUDS AT 16" O.C.

CEILING LEGEND

NO	DATE	REVISIONS

PROJECT

D.A.C.E.
SAN CRISTOBAL
MIGRANT AGRICULTURAL HOUSING
MECCA, CALIFORNIA

SOUTHEAST CORNER HARMOND & 88TH AVE.
MECCA, CALIFORNIA

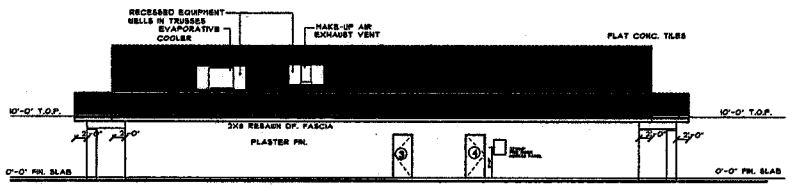
TITLE

BUILDING E
FLOOR, CEILING AND ROOF PLANS
AND EXTERIOR ELEVATIONS

DATE
JULY 2012
DR. BY
BR
SCALE
AS NOTED
APPROVED

LICENSED ARCHITECT
ROBERT H. RICCIARDI
NO. C28008
EXP. 6/30/13
STATE OF CALIFORNIA

SHEET NO.
AE1
OF 1



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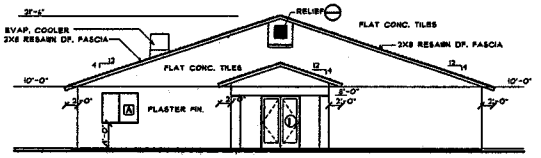

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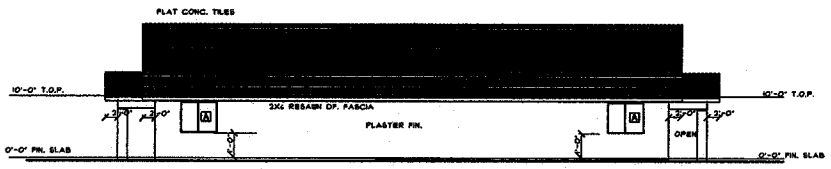

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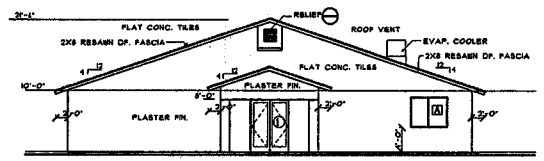

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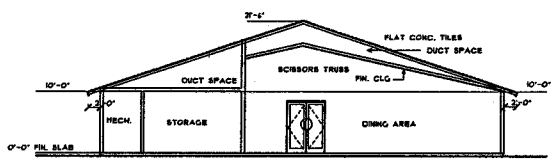
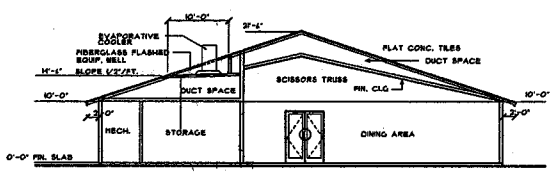


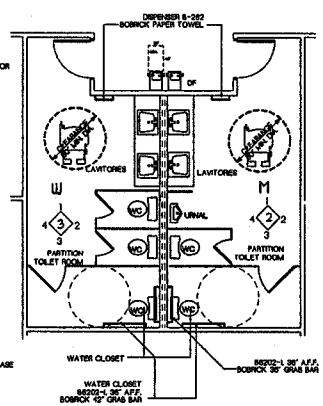
SECTION "A"

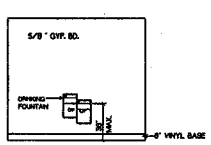


SECTION "B"

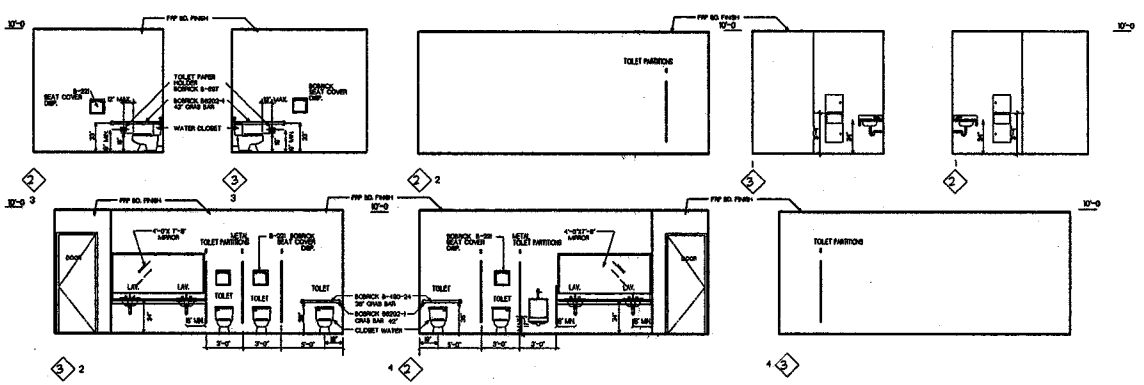
HANDICAP NOTES

1. FORCE TO ACTIVATE CONTROLS ≤ 5 # OF FORCE
2. CONTROLS OPERABLE W/ ONE HAND
3. CONTOLS NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST.
4. HOT WATER LINES & DRAINS TO BE INSULATED.
5. GRAB BARS TO BE DESIGNED TO TAKE 250# AND MOUNTED TO ADJACENT WALL W/ A SPACE OF 1-1/2" CLEAR AND 1-1/4" TO 1-1/2" IN DIA.
6. SEE HANDICAP SIGNAGE REQUIREMENTS ON SHEET G.





DRINKING FOUNTAIN INTERIOR ELEVATION



RESTROOMS ROOMS #2 & #3

Architecture Planning Interior Design

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ARCHITECT

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NO.	DATE	REVISIONS

PROJECT

D.A.C.E.
SAN CRISTOBAL
MIGRANT AGRICULTURAL HOUSING
MECCA, CALIFORNIA

SOUTHEAST CORNER HARMOND & 66TH AVE.
MECCA, CALIFORNIA

TITLE

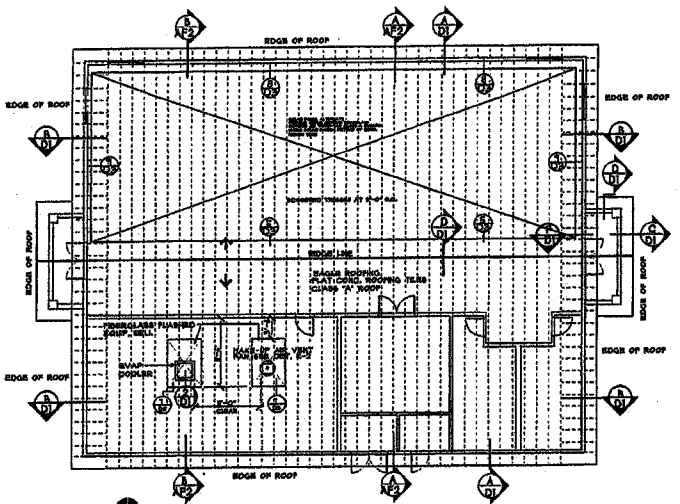
BUILDING F
COMMUNITY BUILDING
EXTERIOR ELEVATIONS AND SECTION

DATE MAY 2012
DRN BY
SCALE AS NOTED
APPROVED

LICENSED ARCHITECT ROBERT H. RICCIARDI NO. C36068 EXP. 6/30/13 STATE OF CALIFORNIA

SHEET NO. AF.2
OF

C:\DOCUMENTS AND SETTINGS\STATION\DESKTOP\PROJECTS\SAN CRISTOBAL MIGRANT HOUSING\BUILDING F PRELIMINARY PLANS\PLANS
MONDAY, JULY 30, 2012



BUILDING F ROOF PLAN

SCALE: 1/8" = 1'-0"

NOTE: IF SOLAR PANEL ALTERNATE IS ACCEPTED ROOFING CONTRACTOR MUST VERIFY AREA OF THE SOLAR PLANELS AND AREA OF THE PREFORLASS SHINGLES AND CONC. MISSION TILES.

TACTILE EXIT SIGNAGE SYMBOL

NOTE
PROVIDE TACTILE EXIT SIGNAGE PER CBC 1003.3(b)(1) AT ALL EXIT DOORS.

TACTILE EXIT SIGNAGE
LOCATE ON WALL AT LATCH SIDE OF DOOR SUCH THAT THE 2" CENTER FROM FLOOR PER CBC 1003.3(b)(1)(A)

WALL LEGEND

EXTERIOR WALLS

2X4 STUDS AT 16" O.C. 5/8" R-13 INSUL.

VINYL SIDING W/ 1/2" CDX GLASS

INTERIOR WALLS

2X4 STUDS AT 16" O.C. 5/8" R-13 INSUL.

2X4 STUDS AT 16" O.C. 5/8" R-13 INSUL.

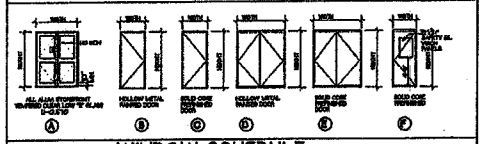
DOOR SCHEDULE

REVISIONS	DOOR NUMBER	ROOM NUMBER	DOOR OPENING TYPE	THICKNESS	WIDTH	HEIGHT	MATERIAL	FINISH	FRAME MATERIAL	FINISH	DETAILS HEAD	JAMB	JAMB	THRESHOLD	WEATHERSTRIP	UNDERWRITERS LABORATORY	GROUP	REMARKS
	1	A	1-3/4"	SOLID CORE	3'-0"	6'-8"	AL	MF	AL	MF					O			ADA APPROVED HARD HARDWARE W/ 1/4" MIN. WARNING GLASS WALL IN GLASS LAMP 32" TEMPERED GLASS
2	B	1-3/4"	3'-0"	6'-8"	M	P	M	P							O			1/4" 1/2" MAX. THRESHOLD
3	D	1-3/4"	3'-0"	6'-8"	M	P	M	P							O			1/4" 1/2" MAX. THRESHOLD
4	C	1-3/4"	3'-0"	6'-8"	M	P	M	P										
5	C	1-3/4"	3'-0"	6'-8"	SC	PNC	MT	PNC										MEN'S RESTROOM DOOR W/ ADA SIGNAGE
6	C	1-3/4"	3'-0"	6'-8"	SC	PNC	MT	PNC										WOMENS RESTROOM DOOR W/ ADA SIGNAGE
7	C	1-3/4"	3'-0"	6'-8"	SC	PNC	MT	PNC										
8	F	1-3/4"	3'-0"	6'-8"	SC	PNC	MT	PNC										DOOR WITH PANTE TOP & BOTTOM
9			2'-0"	3'-0"			SS											COUNTER OVERHEAD DOOR W/ STAINLESS STEEL FACE OF STAINLESS STEEL FRAME
10	C	1-3/4"	3'-0"	7'-0"	SC	PNC	MT	PNC										
11																		FREEZER DOOR BY FREEZER CONTRACTOR

NOTE: VERIFY ALL DOOR & WINDOW DIMENSIONS ON JOB SITE BEFORE ORDERING OR MANUFACTURING

A. ALUMINUM
AC. ALUM. CLADDED
DW. DUMBWAITER
FRP. FIBERGLASS
G. GLASS
HM. HOLLOW METAL
M. METAL
MT. MATT ALUM FINISH
P. PAINT
SC. SOLID CORE
SS. STAINLESS STEEL
W. WOOD

DOOR TYPES



WINDOW SCHEDULE

REVISIONS	MARKER	TYPE	WINDOW WIDTH	WINDOW HEIGHT	GLASS	FRAME MATERIAL	FRAME FINISH	DETAILS HEAD	JAMB	JAMB	SILL	REMARKS
	A		2'-0"	4'-0"	DG	VIL	PNC					LOW "E" CLEAR GLASS
	B		2'-0"	4'-0"	DG	VIL	PNC					LOW "E" CLEAR GLASS
	C		2'-0"	2'-0"	DG	VIL	PNC					LOW "E" CLEAR GLASS

NOTE: VERIFY ALL DOOR & WINDOW DIMENSIONS ON JOB SITE BEFORE ORDERING OR MANUFACTURING

A. ALUMINUM ANODIZED
AC. ALUMINUM CLADDED
FRP. FIBERGLASS
G. GLASS
P. PAINTED WOOD
PVC. VINYL
SS. STAINLESS
W. WOOD
WM. WIRE MESH
TP. TEMPERED GLASS
T. TINTED
7. PAINT
8. ALUMINUM
9. WOOD
10. WOOD DOOR
11. WIRE MESH
12. TEMPERED GLASS
13. TINTED
14. TEMPERED GLASS
15. PAINT

ROOM FINISH SCHEDULE

REVISIONS	ROOM NUMBER	ROOM TITLE	FLOOR	BASE	WAINSCOT	WALLS NORTH	WALLS EAST	WALLS SOUTH	WALLS WEST	CEILING MATERIAL	CEILING FINISH HT.	REMARKS
	1	DINING AREA	1	10	—	25	25	25	25	26	VARIES	
	2	MENS RESTROOM	1	10	—	27	27	27	27	25	10'-0"	
	3	WOMENS RESTROOM	1	10	—	27	27	27	27	25	10'-0"	
	4	STORAGE ROOM	1	10	12	25	25	25	25	24	10'-0"	
	5	ELECTRICAL	1	—	—	25	25	25	25	25	FIRE TO ROOF	
	6	KITCHEN	2	2	—	27	27	27	27	24	10'-0"	
	7	DRY STORAGE	2	2	—	27	27	27	27	24	10'-0"	

MATERIALS LEGEND

REVISIONS	NUMBER	ITEM	REVISIONS	NUMBER	ITEM
FLOOR			WALLS		
	1	SEALED PAINTED CONCRETE		25	5/8" FIRE RATED GYPSUM BOARD
	2	MARLOWER RED 2"X 2" CHARRY TILE		26	5/8" WATER RESISTANT GYPSUM BOARD
				27	WHITE FIP BOARD OVER 5/8" FIRE RATED GYPSUM BOARD
BASE/WAINSCOT			CEILINGS		
	10	6" X 12" CONC MISSIO PLIN CHERY COLA		35	5/8" FIRE RATED GYPSUM BOARD
	11	COVE/WAINSCOTOVER 2" RED CHARRY TILE CONC BASE W/ COVE BASE CONCRETE		36	5/8" WATER PROOF GYPSUM BOARD
	12	4"X4" MISH FIP BOARD OVER 5/8" FIRE RATED GYPSUM BOARD			
	13	4" WHL BASE			

RESTROOM SIGNAGE DOOR NO. 8

N.T.S.

NOTES

1. SIGNS SHALL BE MOUNTED ON THE DOOR CENTERED ON WHICH THE LATCH SIDE WALL IS DEFINITELY DEFINED. PAINT THE SIGN TO CONTRAST WITH DOOR. TRIANGLE TO CONTRAST W/ CIRCLE CIRCLE TO CONTRAST W/ DOOR
2. TEXT SHALL BE OF 1/2" RAISED LETTERS AND BE CONTRASTED BY GRADE 2 BRAILLE.

NOTE THAT ALL DOORWAYS LEADING TO SANITARY FACILITIES SHALL BE IDENTIFIED, PER SECTION 1115.3 AS FOLLOWS:

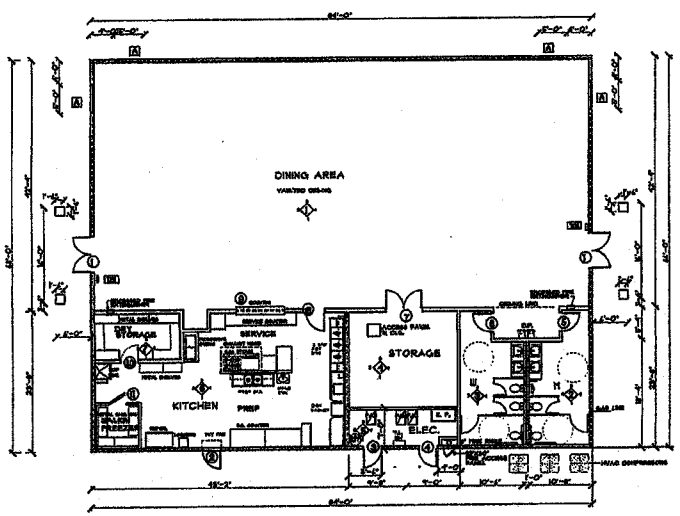
A) AN EQUILATERAL TRIANGLE 1/4" THICK, WITH EDGES 12" LONG AND A CENTER POINTING UPWARD AT MEN'S RESTROOMS.

B) A CIRCLE 1/4" THICK, 12" IN DIAMETER AT WOMEN'S RESTROOMS

C) A 12" DIAMETER CIRCLE WITH A TRIANGLE SUPERIMPOSED ON THE CIRCLE AND EFFECT THE 12" DIAMETER AT UNISEX RESTROOMS.

D) THE REQUIRED SYMBOLS SHALL BE CENTERED ON THE DOOR AT A HEIGHT OF 60".

E) BRAILLE SIGNAGE SHALL ALSO BE LOCATED ON THE WALL ADJACENT TO THE LATCH OUTSIDE



BUILDING F FLOOR PLAN

SCALE: 1/4" = 1'-0"

CEILING LEGEND

FLUORESCENT RECESS FIXTURE, 2X4 CENTRAL

FLUORESCENT SURFACE MOUNTED

F

SPOT/FLOOD LIGHTING

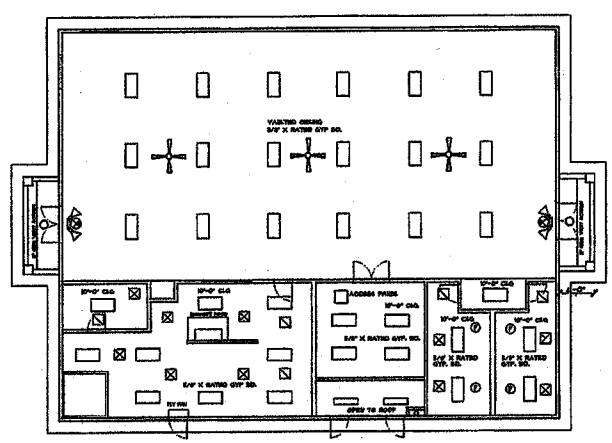
SURFACE MOUNTED FLUORESCENT

FLUORESCENT LIGHTING BY SUPERVISOR

RETURN DIFFUSER

SUPPLY DIFFUSER

FAN W/ DIMMER SWITCH



BUILDING F CEILING PLAN

SCALE: 1/4" = 1'-0"

Architecture Planning Interior Design

ROBERT H. RICCIARDI
ARCHITECT

ROBERT H. RICCIARDI N.C.A.R.B.

76-400 GERALD FORD DRIVE SUITE 115
PALM DESERT, CALIFORNIA 92211

TELEPHONE 760/ 346-2000
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NO	DATE	REVISIONS

PROJECT

D.A.C.E.
SAN CRISTOBAL
MIGRANT LABOR HOUSING
MECCA, CALIFORNIA

92-125 66TH AVENUE
MECCA, CALIFORNIA

TITLE

BUILDING F
COMMUNITY BUILDING
FLOOR PLAN, CEILING PLAN, ROOF PLAN

DATE
AUGUST 2002
DRAWN BY
RR
SCALE
AS NOTED
APPROVED

LICENSED ARCHITECT ROBERT H. RICCIARDI C.S. C-4800 STATE OF CALIFORNIA

SHEET NO.
AF7
OF 1

ROOM FINISH SCHEDULE

REVISIONS	ROOM NUMBER	ROOM TITLE	FLOOR	BASE	WAINSCOT	WALLS 1 NORTH	WALLS 2 EAST	WALLS 3 SOUTH	WALLS 4 WEST	CEILING MATERIAL	CEILING FINISH HT.	REMARKS
	1	LIVING ROOM/DINING RM.	1	8	—	25	25	25	25	25	9'-0"	
	2	KITCHEN	3	10	—	25	25	25	25	25	9'-0"	
	3	BEDROOM 1	1	7	—	25	25	25	25	25	9'-0"	
	4	HALLWAY	1	8	—	25	25	25	25	25	8'-0"	
	5	BEDROOM 2	1	8	—	25	25	25	25	25	9'-0"	
	6	BATH 1	3	10	—	25	25	25	25	25	8'-0"	
	7	MASTER BATH	3	10	—	25	25	25	25	25	8'-0"	
	8	MASTER BEDROOM	1	8	—	25	25	25	25	25	9'-0"	
	9	MASTER CLOSET	1	8	—	25	25	25	25	25	9'-0"	
	10	OFFICE	3	10	—	25	25	25	25	25	9'-0"	
	11	SECURITY OFFICE	3	10	—	25	25	25	25	25	9'-0"	
	12	UTILITY ROOM	3	10	—	25	25	25	25	25	9'-0"	
	13	KITCHEN 2	3	10	—	25	25	25	25	25	9'-0"	
	14	LIVING ROOM 2	1	8	—	25	25	25	25	25	9'-0" / 8'-0"	
	15	BATH 2	3	10	—	25	25	25	25	25	8'-0"	
	16	MASTER BEDROOM 2	1	8	—	25	25	25	25	25	9'-0"	

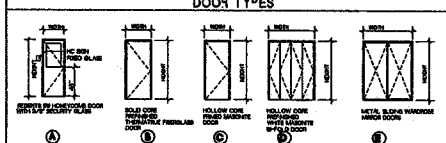
MATERIALS LEGEND

REVISIONS	NUMBER	ITEM	REVISIONS	NUMBER	ITEM
		FLOOR			**WALLS**
	1	CARPETING		25	5/8" FIRE RATED GYPSUM BOARD
	2	SEALED CONCRETE		26	5/8" WATER RESISTANT GYPSUM BOARD
	3	VINYL SHEET FLOORING			
		BASE/WAINSCOT			**CEILINGS**
	10	6" VINYL BASE (DETAIL 8 SHEET TD)		35	5/8" FIRE RATED GYPSUM BOARD
	11	4" CARPET BASE (DETAIL 8 SHEET TD)		36	5/8" WATER RESIST GYPSUM BOARD

DOOR SCHEDULE

REVISIONS	DOOR NUMBER	ROOM NUMBER	DOOR OPENING TYPE	THICKNESS	WIDTH	HEIGHT	MATERIAL	FINISH	FRAME MATERIAL	FRAME FINISH	DETAILS HEAD	JAMB	JAMB	THRESHOLD	WEATHERSTRIP	HARDWARE GROUP	REMARKS
	1	B	1¾"	3'-0"	6'-8"	FD	HE	WD	HE						O		W/ 1/2" MAX. THRESHOLD
	2	B	1¾"	3'-0"	6'-8"	FD	HE	WD	HE						O		W/ 1/2" MAX. THRESHOLD
	3	A	1¾"	3'-0"	6'-8"	M	HE	M	HE						O		ADA SINGLE LEVER, CORBIN PRINCETON EXIT HARDWARE W/ 1/2" MAX. THRESHOLD
	4	C	1¾"	2'-0"	6'-8"	MAS	HE	WD	HE								
	5	C	1¾"	2'-6"	6'-8"	MAS	HE	WD	HE								
	6	C	1¾"	2'-6"	6'-8"	MAS	HE	WD	HE								
	7	C	1¾"	2'-4"	6'-8"	MAS	HE	WD	HE								
	8	C	1¾"	2'-6"	6'-8"	MAS	HE	WD	HE								
	9	D	1¾"	4'-0"	6'-8"	MAS	HE	WD	HE								IN FOLD DOORS
	10	C	1¾"	2'-4"	6'-8"	MAS	HE	WD	HE								
	11	E		8'-0"	6'-8"	M											ALUM SLIDING MIRROR FACED WARDROBE DOOR
	12	E		6'-0"	6'-8"	M											ALUM SLIDING MIRROR FACED WARDROBE DOOR

DOOR TYPES



WINDOW SCHEDULE

REVISIONS	NUMBER	TYPE	WINDOW WIDTH	WINDOW HEIGHT	GLASS	FRAME MATERIAL	FRAME FINISH	DETAILS HEAD	JAMB	JAMB	SILL	REMARKS
	A		6'-0"	4'-0"	DG	VIL	WE					LOW "E" SOLAR CLEAR GLASS, TEMPERED GLASS SLIDING GLASS W. WHITE VINYL FRAME
	B		5'-0"	4'-0"	DG	VIL	WE					LOW "E" SOLAR CLEAR GLASS, TEMPERED GLASS SLIDING GLASS W. WHITE VINYL FRAME
	C		3'-0"	3'-6"	DG	VIL	WE					LOW "E" SOLAR CLEAR GLASS, TEMPERED GLASS SLIDING GLASS W. WHITE VINYL FRAME
	D		3'-0"	3'-0"	DG	VIL	WE					

NOTE: VERIFY ALL DOOR & WINDOW DIMENSIONS ON JOB SITE BEFORE ORDERING OR MANUFACTURING

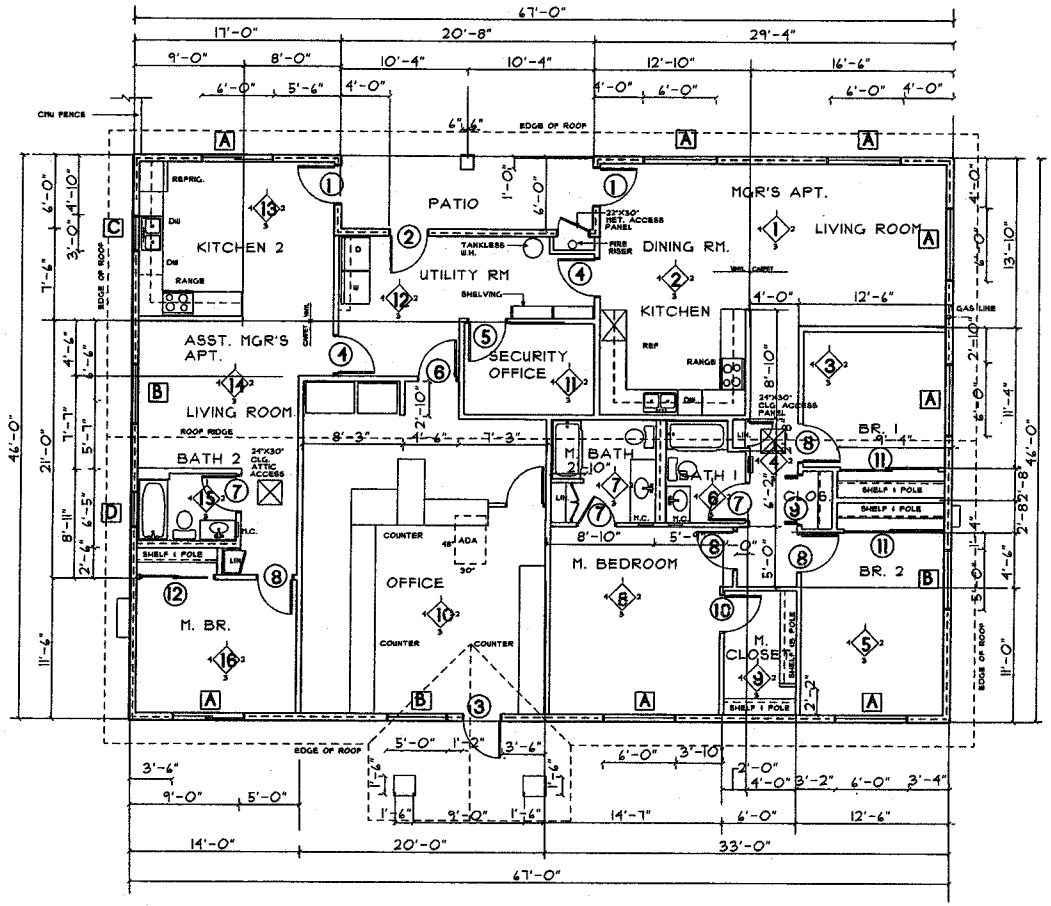
AL ALUMINUM ANODIZED
AB ALUMINUM BRONZE
PB PERFORATED
DG DUAL GLASS
F FACTORY FINISH
VIL VINYL
G GLASS
HC HOLLOW CORE
MS METAL STYLE
R METAL
SC SOLID CORE
TG TEMPERED GLASS
WD WOOD
WE WHITE
P PAINT
SD SOLID CORE
TG THERMAL PANE SOLAR GRADE GLASS, LOW E
T STAIN
TG TEMPERED GLASS
WD WOOD

VINYL FLOORING

SHALL BE NAMING COMMERCIAL INDSPEC, DEEP SUEDE WHS. SHEET VINYL FLOORING, .080" THICK, WITH WELDED SEAMS. HOMOGENEOUS SHEET FLOORING, SIZE 6' WIDE, ASTM F-1913 WITH V-16 NON POROUS SUBSTRATE.

VINYL BASE

BURKE MERCER VINYL BASE COLOR TO MATCH VINYL FLOORING.



BUILDING G FLOOR PLAN

SCALE: 1/4" = 1'-0"

WALL LEGEND

EXTERIOR WALLS

2X6 STUDS AT 16" O.C. W/ R-21 INSUL

VINYL WINDOWS W/ LOW "E" 1" THICK SOLAR BRONZE

INTERIOR WALLS

2X6 STUDS AT 16" O.C. W/ R-19 INSUL.

2X4 STUDS AT 16" O.C. W/ R-13 INSUL.

Architecture Planning Interior Design

ROBERT H. RICCIARDI ARCHITECT

ROBERT H. RICCIARDI N.C.A.R.B.

75-400 GERALD FORD DRIVE SUITE 115
PALM DESERT, CALIFORNIA 92211

TELEPHONE 760/ 404-1932
FAX 760/ 863-8687

NO	DATE	REVISIONS

PROJECT

D.A.C.E.
SAN CRISTOBAL
MIGRANT AGRICULTURAL HOUSING
MECCA, CALIFORNIA

SOUTHEAST CORNER HARMOND & 68TH AVE.
MECCA, CALIFORNIA

TITLE

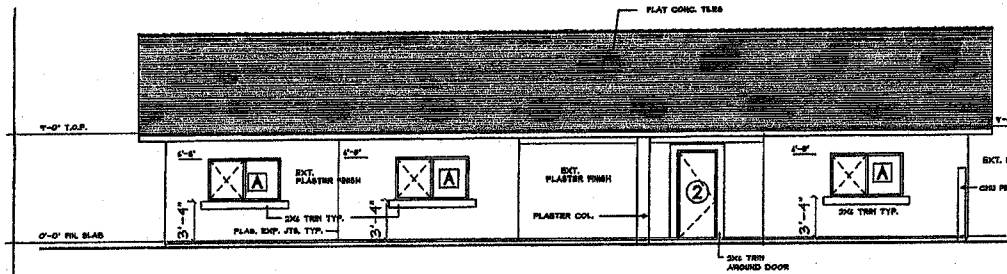
BUILDING G
DUPLEX AND OFFICE BUILDING
FLOOR PLAN AND SCHEDULES

DATE
MAY 2012
DRAWN BY
SH
SCALE
AS NOTED
APPROVED

ROBERT H. RICCIARDI ARCHITECT
No. C-5605
RH ARCHITECTS
STATE OF CALIFORNIA

SHEET NO.
AG.1
OF 1

G:\DOCUMENTS AND SETTINGS\STANDY\DESKTOP\PROJECTS\SAN CRISTOBAL MIGRANT HOUSING\BUILDING G PRELIMINARY PLANS
MONDAY, JULY 23, 2012



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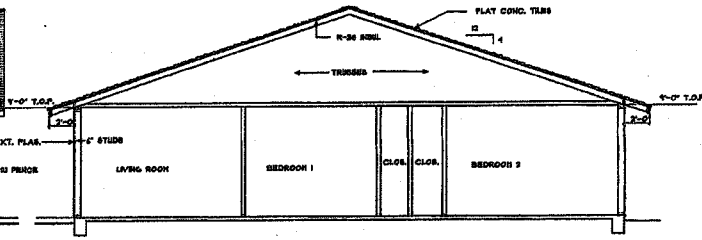
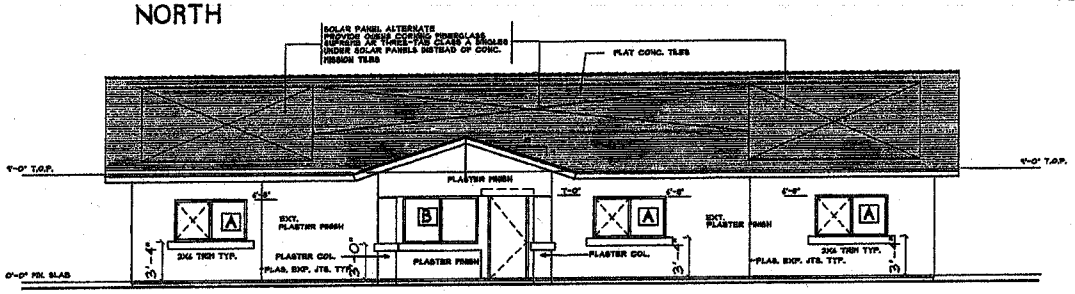


SECTION A



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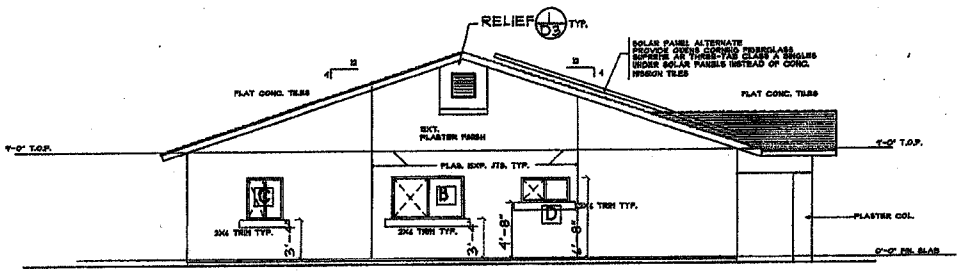

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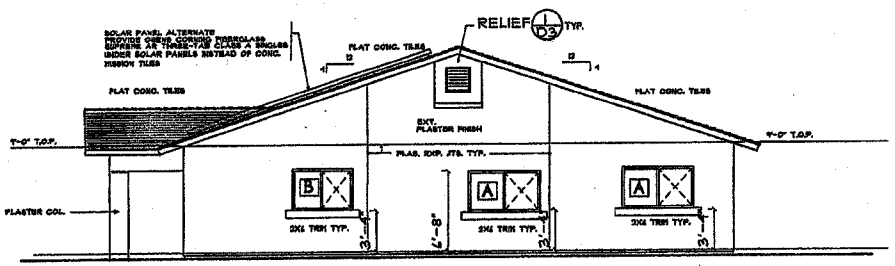


EAST

Architecture Planning Interior Design

ROBERT H. RICCIARDI
ARCHITECT

ROBERT H. RICCIARDI M.C.A.R.B.

75-400 GERALD FORD DRIVE SUITE 115
PALM DESERT, CALIFORNIA 92211

TELEPHONE 760/ 400-3209
FAX 760/ 400-3207

NO	DATE	REVISIONS

PROJECT

D.A.G.E.
SAN CRISTOBAL
MIGRANT LABOR HOUSING
MECCA, CALIFORNIA

92-225 66TH AVENUE
MECCA, CALIFORNIA

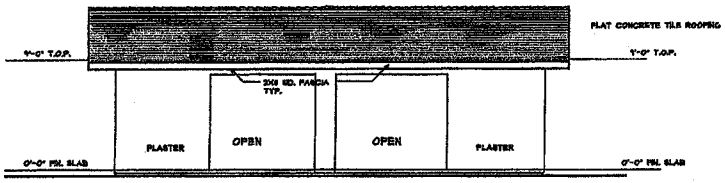
TITLE

BUILDING G
DUPLEX AND OFFICE BUILDING
EXTERIOR ELEVATIONS AND SECTION

DATE
AUGUST 2012
DRN BY
JR
SCALE
AS NOTED
APPROVED

LICENSED ARCHITECT
ROBERT H. RICCIARDI
NO. C36000
REGISTERED
STATE OF CALIFORNIA

SHEET NO.
AG8.1
OF 1



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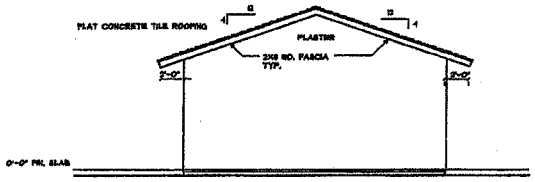

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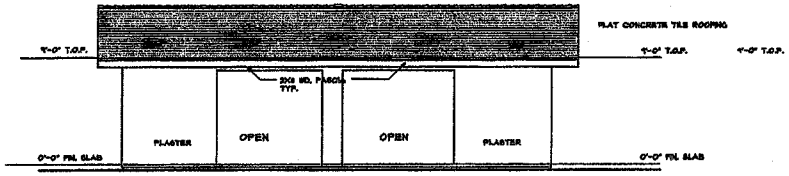

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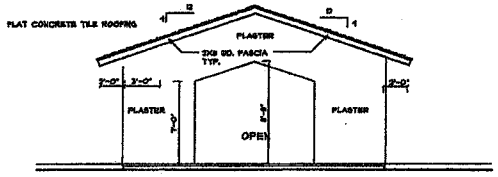

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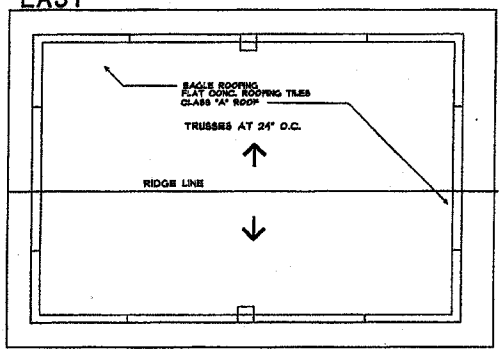
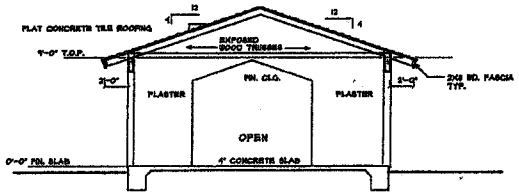
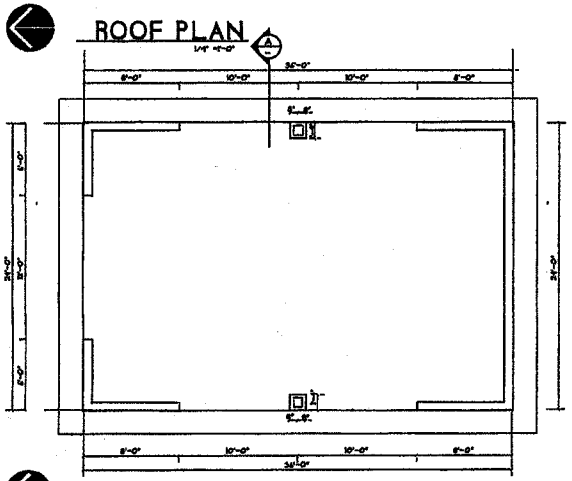


ROOF PLAN



SECTION "A"

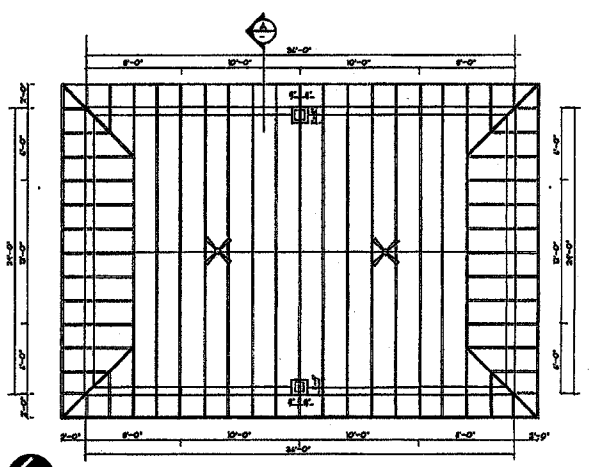


COVERED PATIO FLOOR PLAN

BUILDING AREA: 792 S.F.

1/4" =1'-0"

WALL LEGEND
EXTERIOR WALLS
2X6 STUDS AT 16" O.C.



COVERED PATIO CLG. PLAN

BUILDING AREA: 792 S.F.

1/4" =1'-0"

Architecture Planning Interior Design

ROBERT H. RICCIARDI
ARCHITECT

ROBERT H. RICCIARDI M.C.A.R.B.

73-400 GERALD FORD DRIVE SUITE 115
PALM DESERT, CALIFORNIA 92211

TELEPHONE TEL/ 619-346-2669
FAX FAX/ 619-346-6365

NO.	DATE	REVISIONS

PROJECT

D.A.C.E.
SAN CRISTOBAL
MIGRANT LABOR HOUSING
MECCA, CALIFORNIA

92-125 66TH AVE.
MECCA, CALIFORNIA

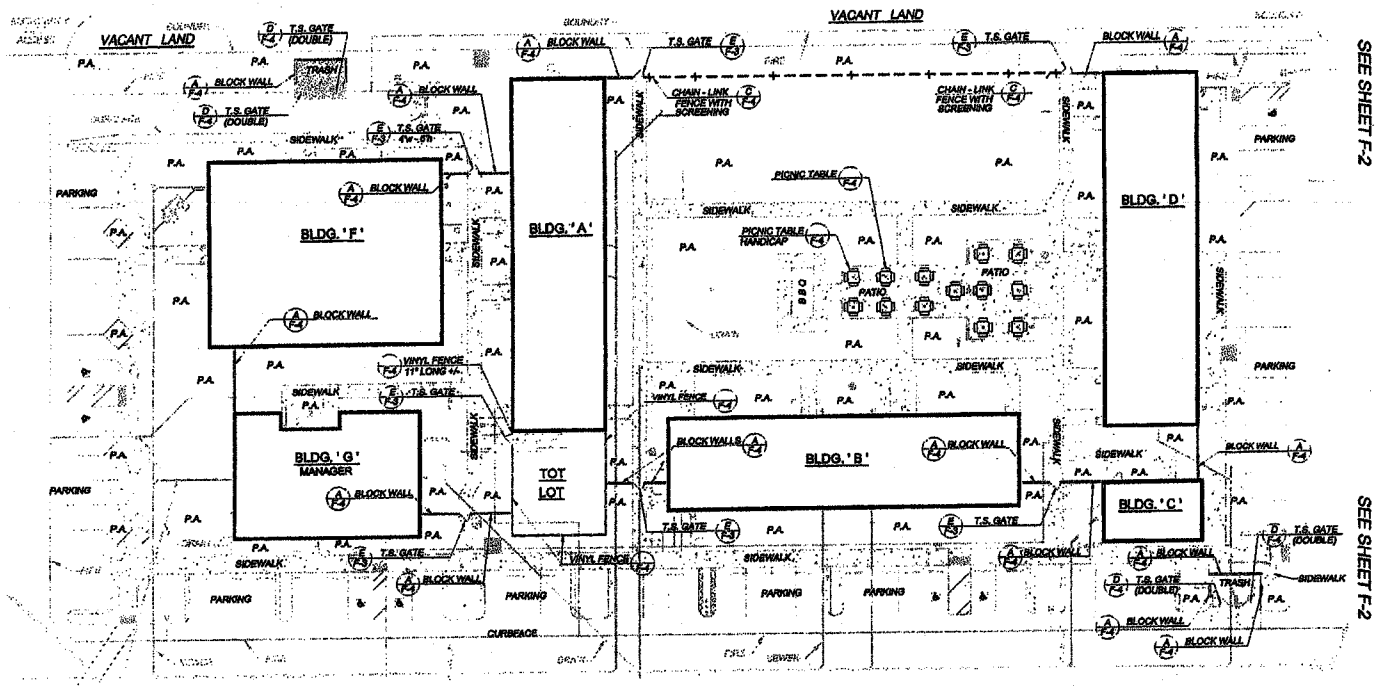
TITLE

BUILDING H
PATIO STRUCTURE
FLOOR AND ROOF PLANS
EXTERIOR ELEVATIONS

DATE
AUGUST 2000
DRAWN BY
JR.
SCALE
AS NOTED
APPROVED

LICENSED ARCHITECT
ROBERT H. RICCIARDI
No. C13603
STATE OF CALIFORNIA

SHEET NO.
AH9
OF 1



NOTES

1. SEE CIVIL DRAWINGS FOR LOCATION AND STRUCTURAL INFORMATION OF BLOCK WALLS AND TUBULAR STEEL GATES FOR TRASH ENCLOSURES.
2. SEE CIVIL DRAWINGS FOR LOCATION OF CHAIN-LINK FENCES AND CHAIN-LINK ROLLING GATES. STRUCTURAL INFORMATION PER GATE MANUFACTURER & LOCAL CODE. INSTALL PER GATE MANUFACTURER'S DETAILS, NOTES & SPECIFICATIONS.

NOTE:

CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE AND NOTIFY THE LANDSCAPE ARCHITECT OF THIS REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS BEFORE BEGINNING FABRICATION OF ANY WORK. REFER TO CIVIL DRAWINGS FOR HORIZONTAL AND VERTICAL DATA.

QUANTITIES IF LISTED ARE FOR THE CONVENIENCE OF THE CONTRACTOR ONLY AND ARE NOT INTENDED FOR ACCURATE BIDDING USE.

WALL, FENCING & PICNIC TABLE PLAN
HOUSING AREA

SEE SHEET F-3 FOR MATERIAL SCHEDULE / LEGEND.

LEGEND

P.A. = PLANTING AREA
ROW = RIGHT OF WAY
PL = PROPERTY LINE
h = HIGH
w = WIDE
T.S. = TUBULAR STEEL
PL = PROPERTY LINE

NOT FOR CONSTRUCTION
FOR REVIEW & INFORMATION ONLY

0 20' 40' 80'
GRAPHIC SCALE: 1" = 20'-0"

RIVERSIDE COUNTY NOTE

NO CHANGES OR SUBSTITUTIONS SHALL BE MADE WITHOUT REVISION TO THE PLANS AND THE APPROVAL BY THE COUNTY LANDSCAPE PLANNERS

THESE PLANS HAVE BEEN REVIEWED BY THE COACHELLA VALLEY WATER DISTRICT IN ACCORDANCE WITH WATER CODE, Section 63081 et. seq. REGARDING EFFICIENT LANDSCAPE AND IRRIGATION DESIGN IN COOPERATION WITH THE LOCAL GOVERNING AGENCY (CITY OR COUNTY).

APPROVAL OF THIS DRAWING BY CVWD STAFF DOES NOT CONSTITUTE APPROVAL TO ENCROACH INTO DISTRICT AND USER RIGHTS-OF-WAY. TREES, PLANTS, WALLS AND PERMANENT STRUCTURES OF ANY KIND MAY NOT BE PLANTED OR INSTALLED IN CVWD AND USER EASEMENTS OR RIGHT-OF-WAY WITHOUT FIRST OBTAINING AN ENCROACHMENT IMPROVEMENT PERMIT FROM CVWD.

Date _____ Water Management Department
CVWD PLAN # _____ Development Services Department

DIGALERT
DIAL 811 BEFORE YOU DIG
TOLL FREE 1-800-227-2600
A FREE SERVICE BY UNDERGROUND SERVICE ALERT

NOTE:
WORK CONTAINED WITHIN THESE PLANS SHALL NOT COMMENCE UNTIL AN ENCROACHMENT PERMIT AND/OR A GRADING PERMIT HAS BEEN ISSUED.

MARK	BY	DATE	REVISIONS	APPR.	DATE

ENGINEER — COUNTY

SEAL-LANDSCAPE ARCHITECT

PREPARED BY:
RAY LOPEZ ASSOCIATES
LANDSCAPE ARCHITECTURE & PLANNING
POST OFFICE BOX 12895, PALM DESERT, CA 92255
55960 JACKSON ST., VISTA SANTA ROSA, CA 92274
(T) 760 / 206-0696 (E) RLAscape@aol.com
CERT NO. 3474, EXP. 12.31.2013 DATE:

BENCH MARK:
BENCHMARK = H 1256
ELEVATION = -193.96
NAVD 88
NOTE: 500.00' ADDED TO NEGATIVE ELEVATIONS. NAVD 88 - 2.21' = NAVD 29

SCALE: SEE ABOVE

CUP: 3497R1 / SCHEDULE 'A' / I.P. No. 120050
COUNTY OF RIVERSIDE
SAN CRISTOBAL - HOUSING & WELL SITE AREAS
92-125 AVENUE 68TH, MECCA, CA 92254
HARDSCAPE LAYOUT PLANS
WALL, FENCING & PICNIC TABLE PLAN

FOR: D.A.C.E. (T) 760.391.5060 | W.O. | COUNTY FILE NO.

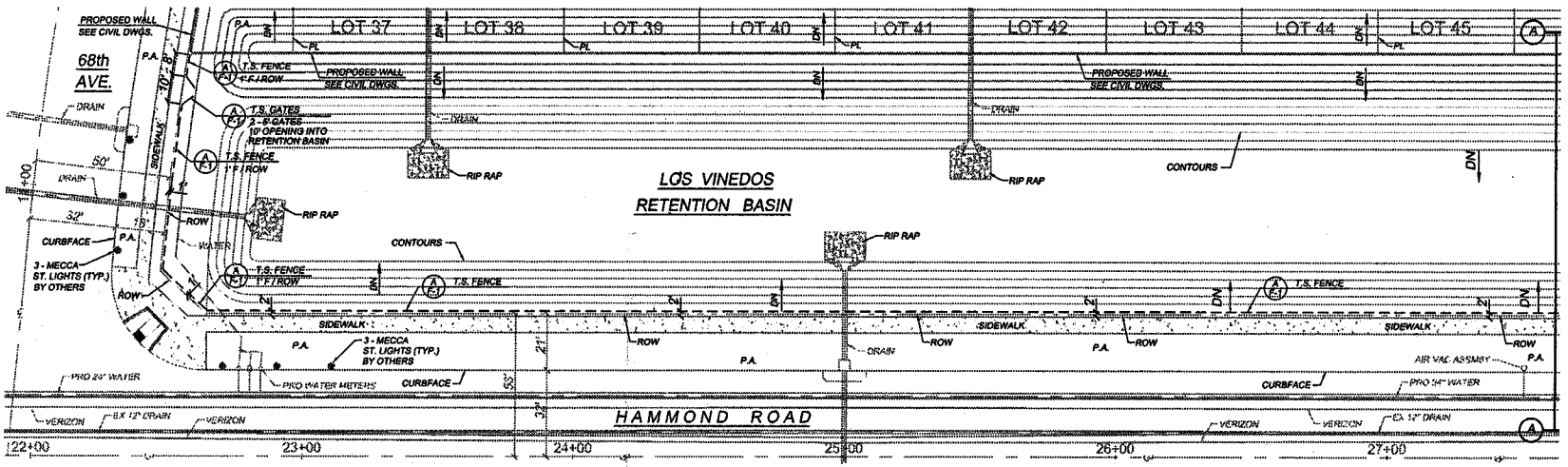
SHEET NO. F-2
2 of 5 sts

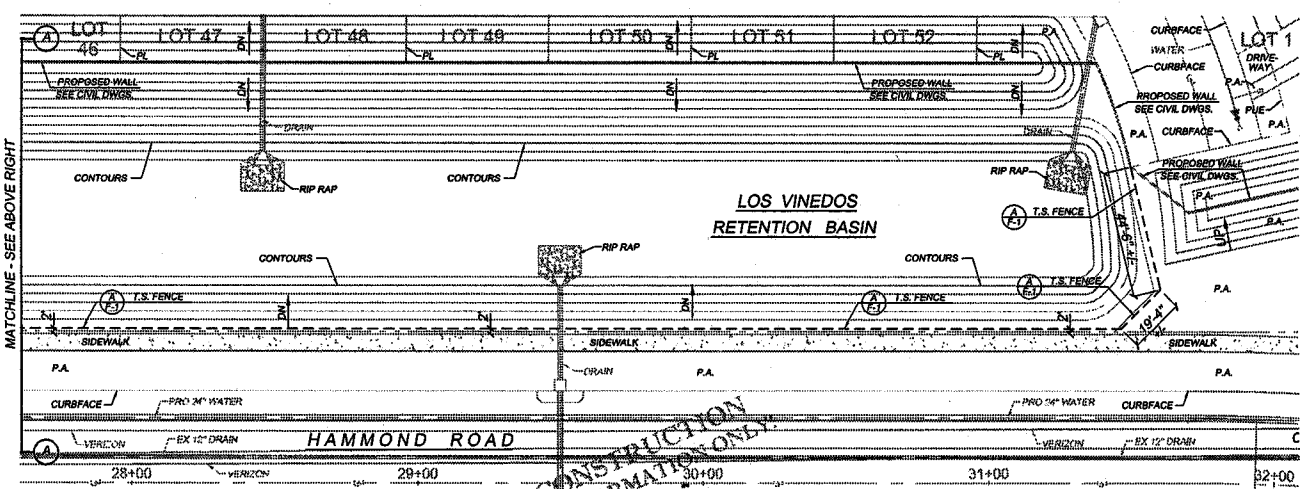
PLOT DATE: 05-06-2013

SAN CRISTOBAL HOUSING & WELL SITE AREAS - HARDSCAPE LAYOUT

PLAN CHECK OVERSIGHT LLA / CID | REGISTRATION NUMBER | DATE SIGNED | TENTATIVE APP PF#
APPROVED AS TO CONFORMANCE WITH APPLICABLE COUNTY STANDARDS AND PRACTICES (PLANNING DEPARTMENT ONLY – ON-SITE).

PLAN CHECK OVERSIGHT ENGINEER | REGISTRATION NUMBER | DATE SIGNED | ORD. 659 VERSION
APPROVED AS TO CONFORMANCE WITH APPLICABLE COUNTY STANDARDS AND PRACTICES (TRANSPORTATION DEPARTMENT ONLY – ROW / OFFSITE).





LEGEND

P.A. = PLANTING AREA
ROW = RIGHT OF WAY
PL = PROPERTY LINE
h = HIGH
w = WIDE
T.S. = TUBULAR STEEL
PL = PROPERTY LINE
F / = FROM

0 20' 40' 80'

GRAPHIC SCALE: 1" = 20'-0"

TUBULAR STEEL FENCE & GATE - NOTES

1 COAT OF PRIMER
2 COATS OF SEMI-GLOSS ENAMEL
COLOR: BY OWNER
PROVIDE COLOR SAMPLES TO OWNER FOR APPROVAL PRIOR TO APPLICATION.

GRIND ALL WELDS SMOOTH.

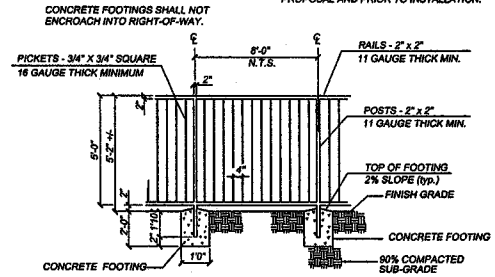
NO PLASTIC CAPS. METAL CAPS ONLY WITH CONTINUOUS WELDS. NO SPOT WELDING.

CONCRETE FOOTINGS SHALL NOT ENCROACH INTO RIGHT-OF-WAY.

PROVIDE AND INSTALL GATES AS SHOWN ON PLAN. WIDTH AS NOTED ON PLAN. GATE HEIGHT EQUAL TO FENCE HEIGHT.

GATE POST = 4" x 4", 11 GAUGE MINIMUM. CONCRETE FOOTING SIZE BY OTHERS

OWNER TO APPROVE HINGES AND LATCHING MECHANISMS PRIOR TO SUBMITTING PROPOSAL AND PRIOR TO INSTALLATION.



A SECTION - TUBULAR STEEL FENCE/GATE DETAIL
NO SCALE

NOT FOR CONSTRUCTION
FOR REVIEW & INFORMATION ONLY

LOS VINEDOS RETENTION BASIN
TUBULAR STEEL FENCING PLAN

PLAN CHECK OVERSIGHT LA / CID | REGISTRATION NUMBER | DATE SIGNED | TENTATIVE APP PP#

APPROVED AS TO CONFORMANCE WITH APPLICABLE COUNTY STANDARDS AND PRACTICES (PLANNING DEPARTMENT ONLY – ON-SITE).

PLAN CHECK OVERSIGHT ENGINEER | REGISTRATION NUMBER | DATE SIGNED | ORD. 659 VERSION

APPROVED AS TO CONFORMANCE WITH APPLICABLE COUNTY STANDARDS AND PRACTICES (TRANSPORTATION DEPARTMENT ONLY – ROW / OFFSITE).

DIGALERT — CALL TOLL FREE 1-800-227-2600 TWO WORKING DAYS BEFORE YOU DIG — A PUBLIC SERVICE BY UNDERGROUND SERVICE ALERT

NOTE: WORK CONTAINED WITHIN THESE PLANS SHALL NOT COMMENCE UNTIL AN ENCROACHMENT PERMIT AND/OR A GRADING PERMIT HAS BEEN ISSUED.

The private landscape architect shall have sole responsibility for ensuring the accuracy and compatibility of the design plans. He has sole and exclusive responsibility for obtaining the required approvals from the appropriate agencies and for coordinating the design with other consultants.

MARK	BY	DATE	REVISIONS	APPR.	DATE
ENGINEER				COUNTY	

SEAL: LANDSCAPE ARCHITECT — RAYMOND A. LOPEZ, Number 2613, Registered Landscape Architect, STATE OF CALIFORNIA

PREPARED BY:
RAY LOPEZ ASSOCIATES
LANDSCAPE ARCHITECTURE & PLANNING
POST OFFICE BOX 12885, PALM DESERT, CA 92255
56960 JACKSON ST., VISTA SANTA ROSA, CA 92274
(T) 760 / 206-0696 (E) RLAscape@aol.com
CERT NO. 3474, EXP. 12.31.2013

DATE:

BENCH MARK:
BENCHMARK = H 1255
ELEVATION = -193.98
NAVD 88
NOTE: 500.00' ADDED TO NEGATIVE ELEVATIONS, NAVD 88 - 2.21' = NAVD 29

SCALE: SEE ABOVE

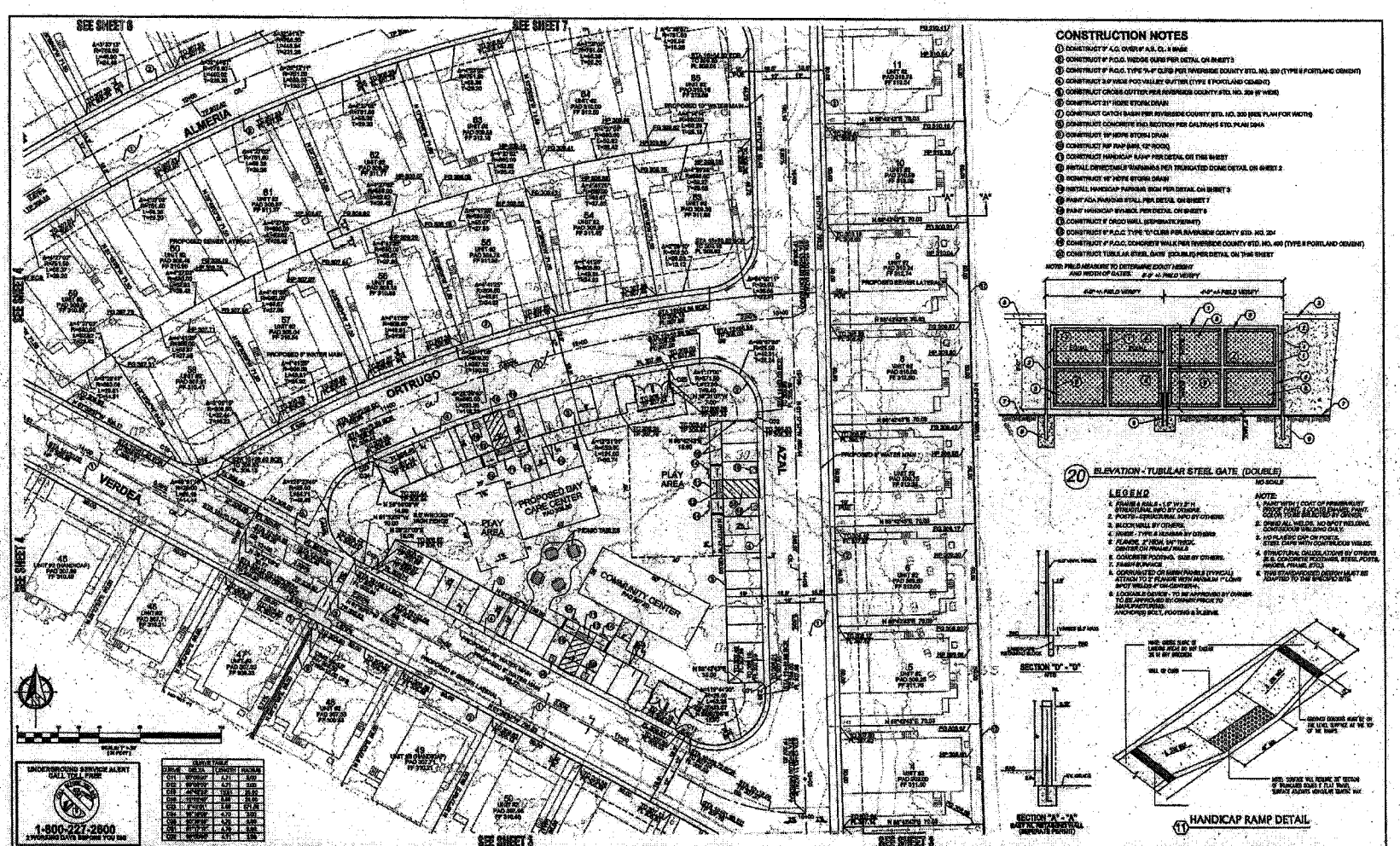
CUP: 3497R1 / SCHEDULE 'A' / I.P. No. 120050
COUNTY OF RIVERSIDE
LOS VINEDOS - RETENTION BASIN
92-125 AVENUE 68TH, MECCA, CA 92254
TUBULAR STEEL FENCING PLAN

FOR: D.A.C.E. (T) 760.391.5050 | W.O. | COUNTY FILE NO.

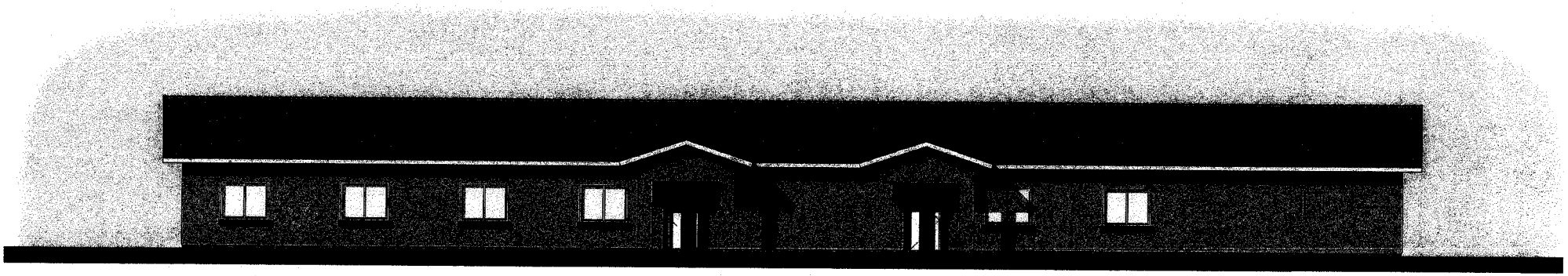
SHEET NO. F-1 — 1 OF 1 SHEETS

LOS VINEDOS - FENCING PLAN, RETENTION BASIN

May 23, 2013 - 10:52am

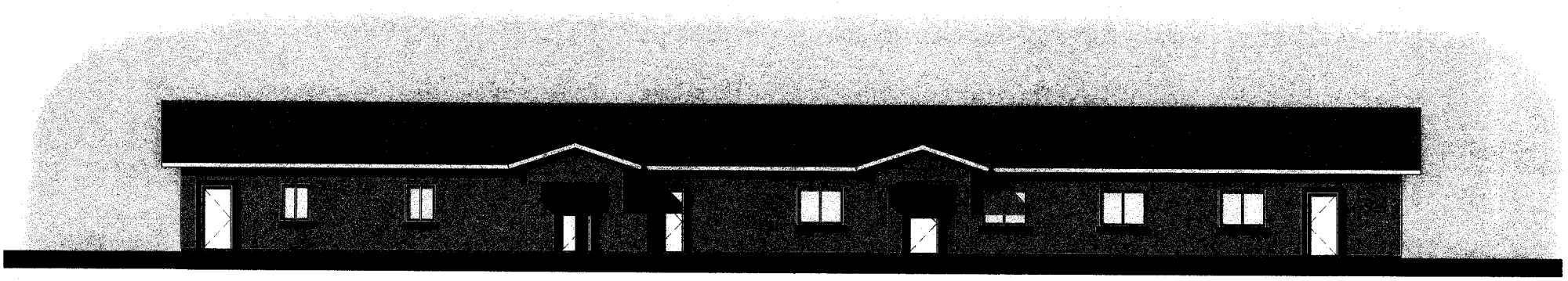

SEE SHEET 6
SEE SHEET 7
SEE SHEET 4
SEE SHEET 4
SEE SHEET 3
SEE SHEET 3
ALMERIA
ORTRUGO
VERDEA
AZAL
PARKER
PLAY AREA
PROPOSED DAY CARE CENTER
COMMUNITY CENTER
PROPOSED SEWER LATERAL
PROPOSED 8" WATER MAIN
UNDERGROUND SERVICE ALERT
CALL TOLL FREE
1-800-227-2600
2 WORKING DAYS BEFORE YOU DIG
CURVE TABLE
CONSTRUCTION NOTES
1. CONSTRUCT 9" A.C. OVERLAY A.S. CL. II BASE
2. CONSTRUCT 6" P.C.C. WEDGE CURB PER DETAIL ON SHEET 3
3. CONSTRUCT 6" P.C.C. TYPE "A-6" CURB PER RIVERSIDE COUNTY STD. NO. 200 (TYPE II PORTLAND CEMENT)
4. CONSTRUCT 3.0' WIDE POT VALLEY GUTTER (TYPE II PORTLAND CEMENT)
5. CONSTRUCT CROSS GUTTER PER RIVERSIDE COUNTY STD. NO. 208 (8" WIDE)
6. CONSTRUCT 21" HDPE STORM DRAIN
7. CONSTRUCT CATCH BASIN PER RIVERSIDE COUNTY STD. NO. 200 (SEE PLAN FOR WIDTH)
8. CONSTRUCT CONCRETE END SECTION PER CALTRANS STD. PLAN D94A
9. CONSTRUCT 18" HDPE STORM DRAIN
10. CONSTRUCT RIP RAP (MIN. 12" DEEP)
11. CONSTRUCT HANDICAP RAMP PER DETAIL ON THIS SHEET
12. INSTALL DIRECTIONAL WARNING PER TRUNCATED DOME DETAIL ON SHEET 2
13. CONSTRUCT 18" HDPE STORM DRAIN
14. INSTALL HANDICAP PARKING SIGN PER DETAIL ON SHEET 3
15. PAINT ADA PARKING STALL PER DETAIL ON SHEET 7
16. PAINT HANDICAP SYMBOL PER DETAIL ON SHEET 6
17. CONSTRUCT 8" DRGD WALL (SEPARATE PERMIT)
18. CONSTRUCT 6" P.C.C. TYPE "D" CURB PER RIVERSIDE COUNTY STD. NO. 204
19. CONSTRUCT 4" P.C.C. CONCRETE WALK PER RIVERSIDE COUNTY STD. NO. 400 (TYPE II PORTLAND CEMENT)
20. CONSTRUCT TUBULAR STEEL GATE (DOUBLE) PER DETAIL ON THIS SHEET
NOTE: FIELD MEASURE TO DETERMINE EXACT HEIGHT AND WIDTH OF GATES. 8'-0" +/- FIELD VERIFY
20 ELEVATION - TUBULAR STEEL GATE (DOUBLE)
NO SCALE
LEGEND
1. FRAME & RAILS - 1 1/2" X 2" X 1/8" STRUCTURAL INFO BY OTHERS.
2. POSTS - STRUCTURAL INFO BY OTHERS.
3. BLOCK WALL BY OTHERS.
4. HINGE - TYPE & NUMBER BY OTHERS.
5. FLANGE, 2" HIGH, 1/4" THICK. CENTER ON FRAME / RAILS
6. CONCRETE FOOTING. SIZE BY OTHERS.
7. FINISH SURFACE
8. CONTINUOUS OR SEMI CONTINUOUS VERTICAL ATTACH 1/2" X 2" FLANGE MINIMUM 1" LONG SPOT WELDS 4" ON CENTERS.
9. LOCKABLE GATES - TO BE APPROVED BY OWNER. TO BE APPROVED BY OWNER PRIOR TO MANUFACTURING.
ANCHORED BOLT, FOOTING & FLANGE
NOTE:
1. PAINT WITH 1 COAT OF PRIMER/RUST PROOF, FOLLOWED BY 2 COATS OF SEMI GLOSS, COLOR TO BE SELECTED BY OWNER.
2. GRIND ALL WELDS. NO SPOT WELDING. CONTINUOUS WELDING ONLY.
3. NO PLUGGING OR OR FOREIGN STEEL GRAPE MUST CONTINUOUS WELDS.
4. STRUCTURAL CALCULATIONS BY OTHERS (E.G. CONCRETE FOOTINGS, STEEL POSTS, HINGES, FRAME, ETC.)
5. THE STANDARD PROPOSED DESIGN MUST BE ADAPTED TO THE SPECIFIC SITE.
SECTION "D" - "D"
SECTION "A" - "A"
11 HANDICAP RAMP DETAIL
PRECISE GRADING PLAN
FOR
CUP. NO. 3668
LOS VINEDOS MOBILE HOMES
A PORTION OF THE SW 1/4 OF SECTION 31, T.7 S., R.3E., M.D.B.&M.
WATSON ENGINEERING
SHEET NO. 5
OF 7 SHTS.
AS NOTED

SAN CRISTOBAL MIGRANT HOUSING



BLDG. A (WOMEN'S & FAMILY DORMITORY)

SCALE: 1/4"= 1'-0"



BLDG. B (DORMITORY)

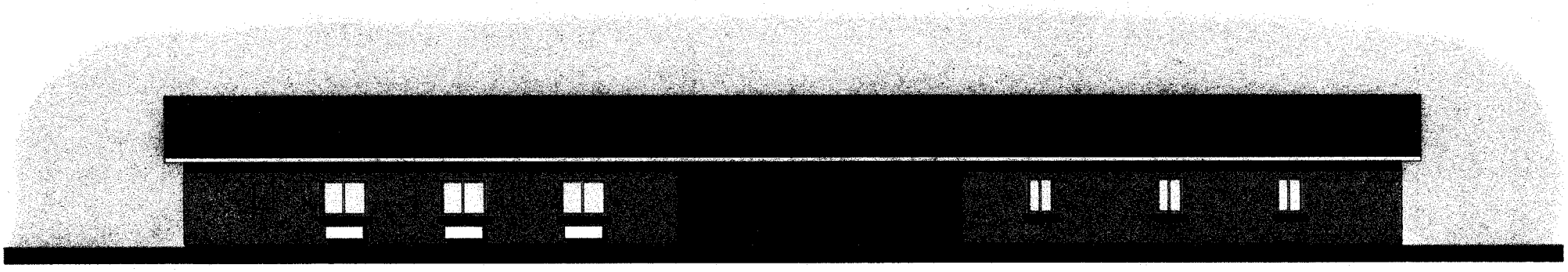
SCALE: 1/4"= 1'-0"

ROBERT H. RICCIARDI ARCHITECT

SAN CRISTOBAL MIGRANT HOUSING

BLDG. B NORTH ELEVATION (DORMITORY)

SCALE: 1/4"= 1'-0"

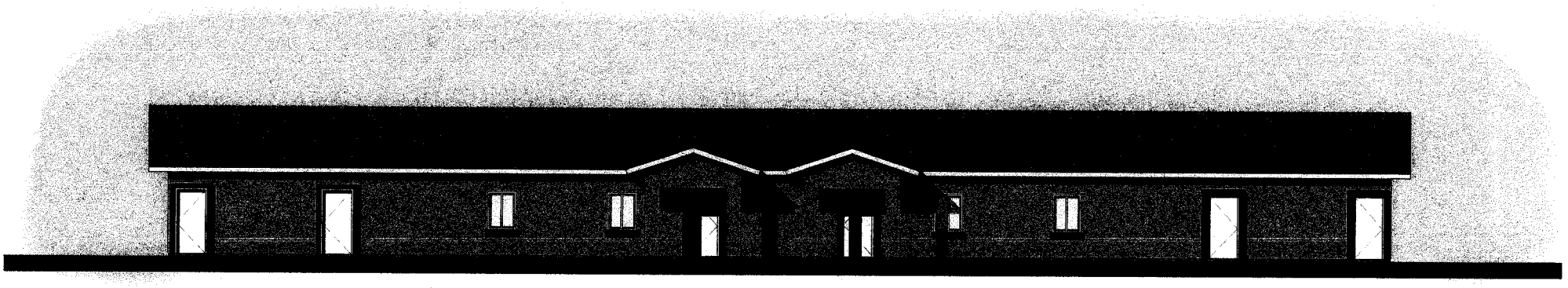


BLDG. B SOUTH ELEVATION (DORMITORY)

SCALE: 1/4"= 1'-0"

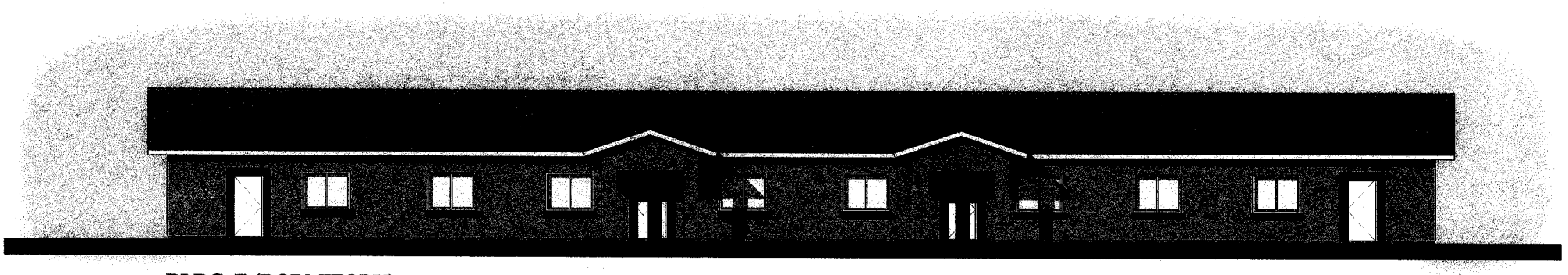
ROBERT H. RICCIARDI ARCHITECT

SAN CRISTOBAL MIGRANT HOUSING



BLDG. D (DORMITORY)

SCALE: 1/4"= 1'-0"



BLDG. E (DORMITORY)

SCALE: 1/4"= 1'-0"

ROBERT H. RICCIARDI ARCHITECT

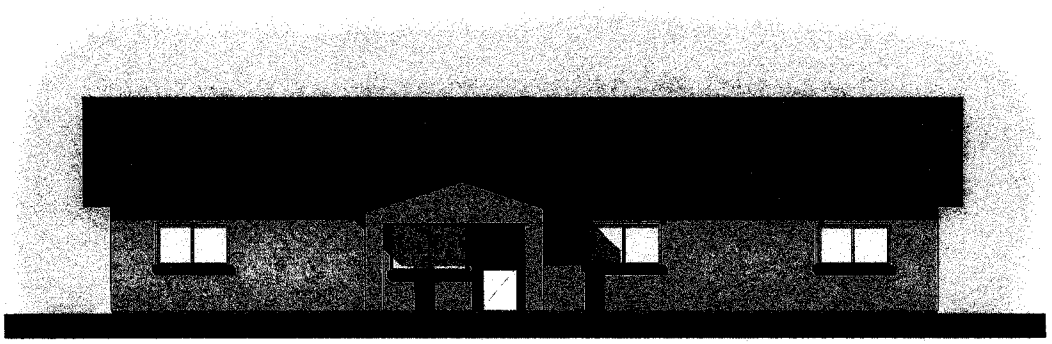
SAN CRISTOBAL MIGRANT HOUSING

BLDG. F (COMMUNITY CENTER)

SCALE: 1/4"= 1'-0"

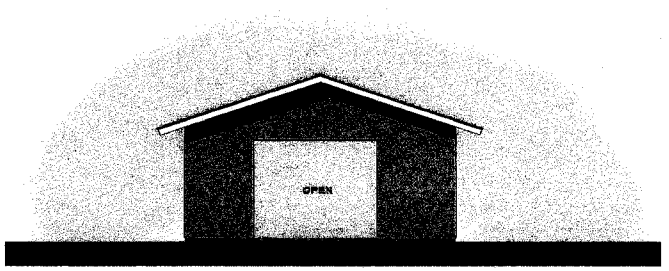
BLDG. C (LAUNDRY)

SCALE: 1/4"= 1'-0"



BLDG. G (RESIDENTIAL DUPLEX W/OFFICE)

SCALE: 1/4"= 1'-0"



BLDG. H (SHADE STRUCTURE)

SCALE: 1/4"= 1'-0"

ROBERT H. RICCIARDI ARCHITECT

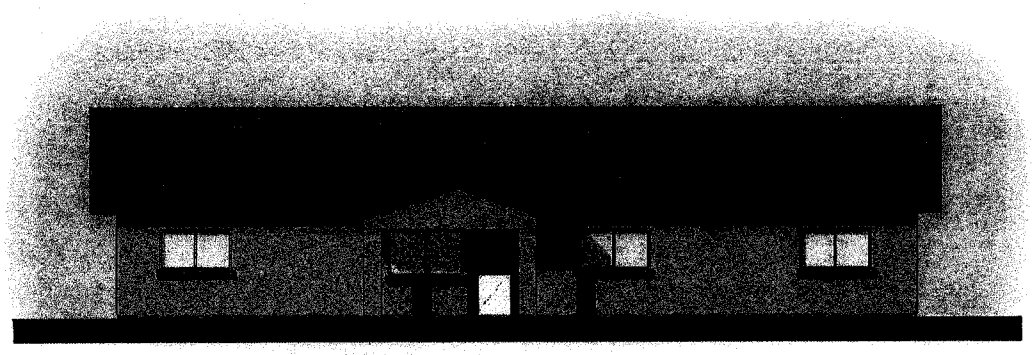
SAN CRISTOBAL MIGRANT HOUSING

BLDG. F (COMMUNITY CENTER)

SCALE: 1/4"= 1'-0"

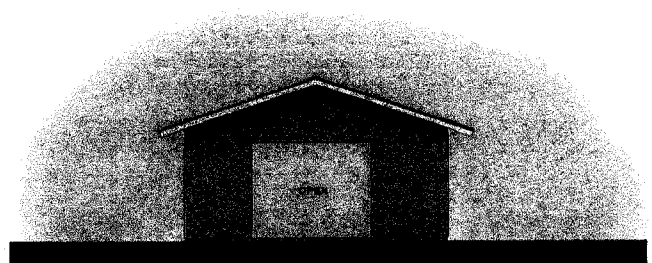
BLDG. C (LAUNDRY)

SCALE: 1/4"= 1'-0"



BLDG. G (RESIDENTIAL DUPLEX W/OFFICE)

SCALE: 1/4"= 1'-0"

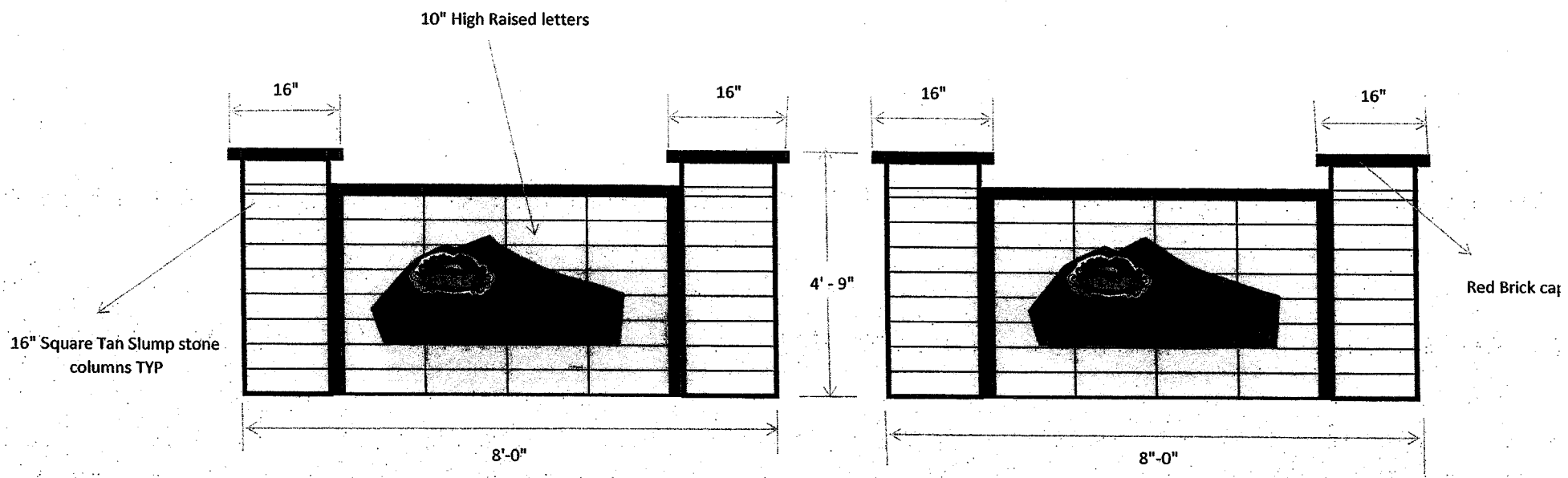


BLDG. H (SHADE STRUCTURE)

SCALE: 1/4"= 1'-0"

ROBERT H. RICCIARDI ARCHITECT

Entrance Signs Dimension and lay out



IN THE UNINCORPORATED TERRITORY OF RIVERSIDE COUNTY, STATE OF CALIFORNIA

CONDITIONAL USE PERMIT NO. 3686

LOS VINEDOS LABOR HOUSING

BEING A PORTION OF THE NORTHWEST QUARTER OF SECTION 21, TOWNSHIP 7 SOUTH, RANGE 9 EAST, S.B.B.& M.

FEBRUARY 8, 2013

NO.	REVISIONS	APPROVED	DATE

LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN IS SITUATED IN THE STATE OF CALIFORNIA, COUNTY OF RIVERSIDE, UNINCORPORATED AREA. DESCRIBED AS FOLLOWS:

THAT PORTION OF THE NORTHWEST QUARTER OF SECTION 21, TOWNSHIP 7 SOUTH, RANGE 9 EAST, SAN BERNARDINO BASE AND MERIDIAN, LYING NORTH AND EAST OF A LINE PARALLEL WITH AND 200 FEET NORTHEASTERLY OF THE CENTERLINE OF THE UNION PACIFIC RAILROAD COMPANY RIGHT-OF-WAY AS NOW CONSTRUCTED. EXCEPTING THEREFROM ANY PORTION LYING WITHIN HAMMOND ROAD.

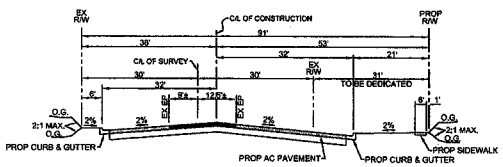
DIRT QUANTITY ESTIMATE:

CUT	19,500 C.Y.
FILL	19,500 C.Y.

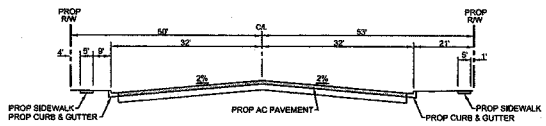
NOTE: CONTRACTOR IS RESPONSIBLE FOR HIS OWN ESTIMATE OF QUANTITIES.

ABBREVIATIONS:

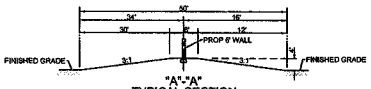
FG = FINISH GRADE
FL = FLOW LINE
NG = NATURAL GRADE
FF = FINISH FLOOR
FS = FINISH SURFACE
MIN. = MINIMUM
MAX. = MAXIMUM
UTIL. = UTILITY
C&G = CURB AND GUTTER
(LS) = LANDSCAPE AREA
OS = OPEN SPACE



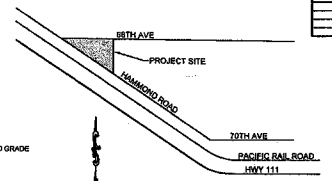
TYPICAL SECTION
HAMMOND ROAD (PUBLIC)
NTS



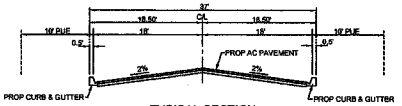
TYPICAL SECTION
AVENUE 68 (PUBLIC)
NTS



"A"-"A"
TYPICAL SECTION
SOUND BERM & WALL
NTS



VICINITY MAP
N.T.S.
SECTION 21, T.7. S., R.9. E.
THOMAS BROS. MAP LOCATION PAGE 5652
(2004 EDITION)



TYPICAL SECTION
INTERIOR STREETS (PRIVATE)
NTS

OWNER/APPLICANT/DEVELOPER:

DESERT ALLIANCE FOR COMMUNITY EMPOWERMENT
JEFFREY TARTAGLINO, PROJECT COORDINATOR
53-990 ENTERPRISE WAY, SUITE 1
COACHELLA, CA 92236
TELEPHONE (760) 391-5060 FAX (760) 391-5100

ASSESSOR'S PARCEL NO.:

729-050-002

GROSS AREA: 13.76 ACRES
NET AREA: 12.97 ACRES

EXISTING ZONE:

W-2 (LOS VINEDOS / MOBILE HOMES)

PROPOSED ZONE:

W-2

EXISTING GP:

MEDIUM HIGH DENSITY RESIDENTIAL (CD-MHDR)

PROPOSED GP:

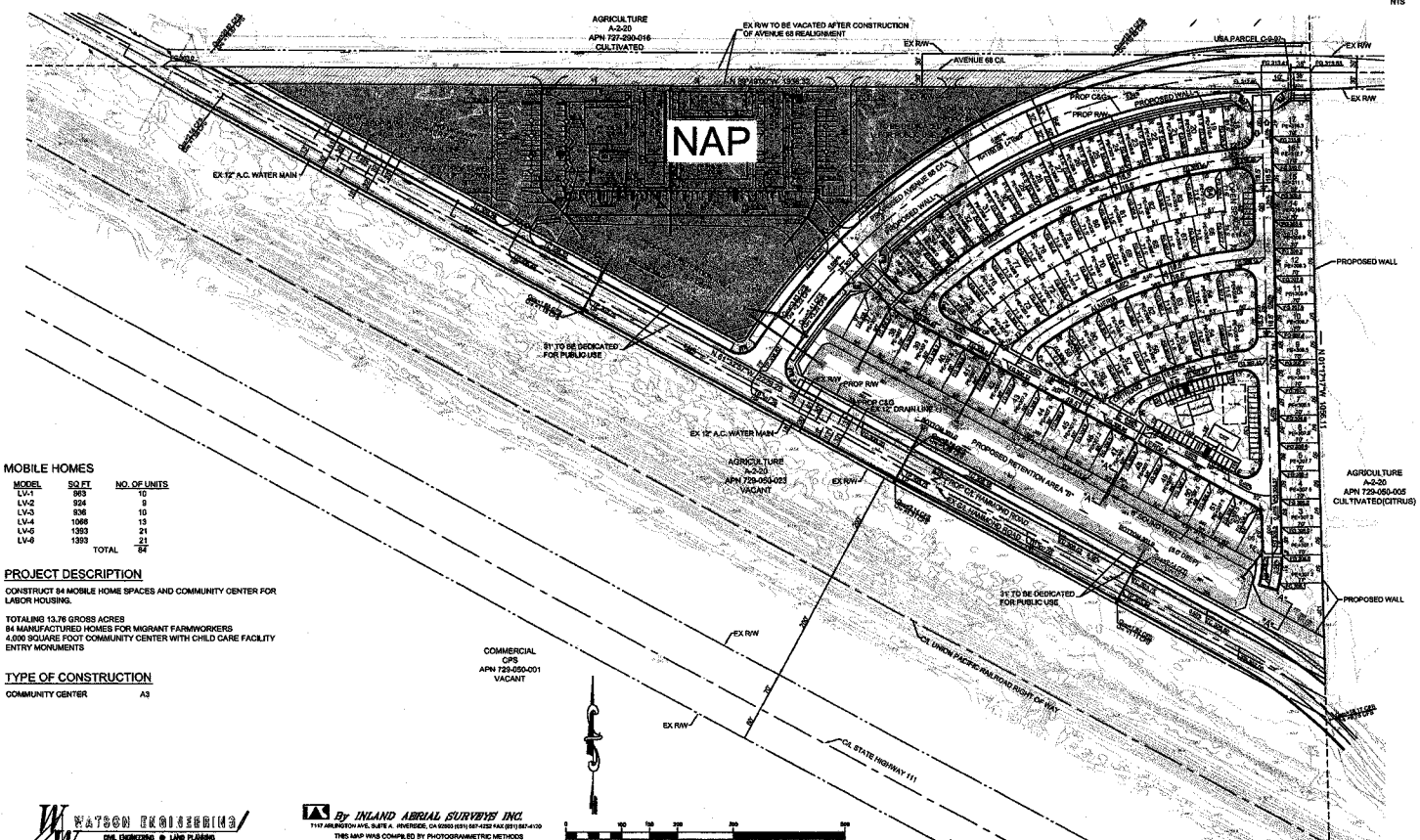
MEDIUM HIGH DENSITY RESIDENTIAL (CD-MHDR)

FLOOD ZONE:

NOT WITHIN FEMA FLOOD AREA

THOMAS BROTHERS:

PG 5652 GRID H2



OVERALL AREA TABULATIONS:

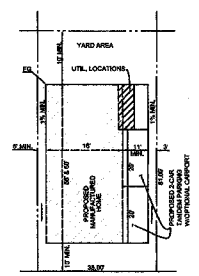
TOTAL PARK/PLAY AREA & LANDSCAPE AREA:	0.50 AC.
RETENTION BASINS "A" & "B":	1.94 AC.
MOBILE HOME SPACES/UNITS:	7.41 AC.
PUBLIC RIGHT OF WAY	0.76 AC.
PRIVATE STREETS	2.56 AC.
COMMUNITY CENTER (4,500 SF)	0.58 AC.
TOTAL SITE:	13.76 AC.

PARKING TABULATIONS:

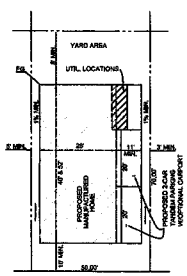
(84 MOBILE HOME SPACES) LOS VINEDOS

REQUIRED PARKING:

MOBILE HOME UNITS 2 SPACE PER UNIT	168 SPACES
ADDITIONAL PARKING 1 SPACE PER 8 UNITS	11 SPACES
TOTAL PARKING REQUIRED:	179 SPACES
PARKING PROVIDED:	
STANDARD SPACES:	48 SPACES
HANDICAP SPACES:	4 SPACES
MOBILE HOME SPACES:	168 SPACES
TOTAL SPACES:	220 SPACES



TYPICAL SINGLE WIDE SPACE PLAN
N.T.S.



TYPICAL DOUBLE WIDE SPACE PLAN
N.T.S.

MOBILE HOMES

MODEL	SQ FT	NO. OF UNITS
LV-1	863	10
LV-2	924	9
LV-3	936	10
LV-4	1068	13
LV-5	1393	21
LV-6	1393	21
TOTAL		84

PROJECT DESCRIPTION

CONSTRUCT 84 MOBILE HOME SPACES AND COMMUNITY CENTER FOR LABOR HOUSING.

TOTALING 13.76 GROSS ACRES
84 MANUFACTURED HOMES FOR MIGRANT FARMWORKERS
4,000 SQUARE FOOT COMMUNITY CENTER WITH CHILD CARE FACILITY
ENTRY MONUMENTS

TYPE OF CONSTRUCTION

COMMUNITY CENTER A3

UTILITY AGENCIES:

WATER	COACHELLA VALLEY WATER DISTRICT	(760) 398-2651
SEWER	COACHELLA VALLEY WATER DISTRICT	(760) 398-2651
ELECTRIC	IMPERIAL IRRIGATION DISTRICT	(760) 398-5854
TELEPHONE	VERIZON TELEPHONE COMPANY	(760) 984-1720
GAS	SOUTHERN CALIFORNIA GAS COMPANY	(760) 341-2345
SATELLITE TV	DIRECT TV	(888) 200-4388
SCHOOL DISTRICT	COACHELLA VALLEY UNIFIED	(760) 922-4164

NOTE:

MAP INCLUDES THE ENTIRE CONTIGUOUS OWNERSHIP OF THE LAND DIVIDER

NO TILE DRAINS LOCATED WITHIN PROJECT BOUNDARY.

PROJECT FALLS WITHIN: A HIGH LIQUIFACTION POTENTIAL AREA

PROJECT IS NOT WITHIN:
1. A SPECIFIC PLAN AREA
2. 200' OF ANY KNOWN EXISTING WELL
3. A FAULT ZONE

WATSON ENGINEERING
CIVIL ENGINEERING • LAND PLANNING
38-300 PARKE STREET
INDIO, CA 92201
PH (760) 398-7860

By INLAND AERIAL SURVEYS INC.
7117 ARLINGTON AVE. SUITE A RIVERSIDE, CA 92503 (951) 687-4202 FAX (951) 687-4109
THIS MAP WAS COMPILED BY PHOTOGRAMMETRIC METHODS FROM AERIAL PHOTOGRAPHY DATED APRIL 2012. MAP COMPLIES WITH NATIONAL MAPPING STANDARDS, EXCEPT WHERE GROUND IS OBSCURED BY FOLIAGE.

0 100 150 200 300 500
SCALE: 1" = 100'
(IN FEET)

IN THE UNINCORPORATED TERRITORY OF RIVERSIDE COUNTY, STATE OF CALIFORNIA

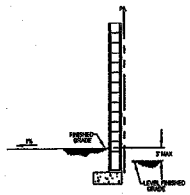
CONDITIONAL USE PERMIT NO. 3686

LOS VINEDOS LABOR HOUSING

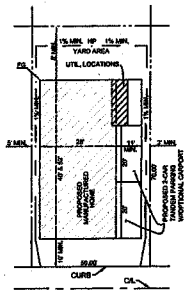
BEING A PORTION OF THE NORTHWEST QUARTER OF SECTION 21,
TOWNSHIP 7 SOUTH, RANGE 9 EAST, S.B.B.& M.

FEBRUARY 8, 2013

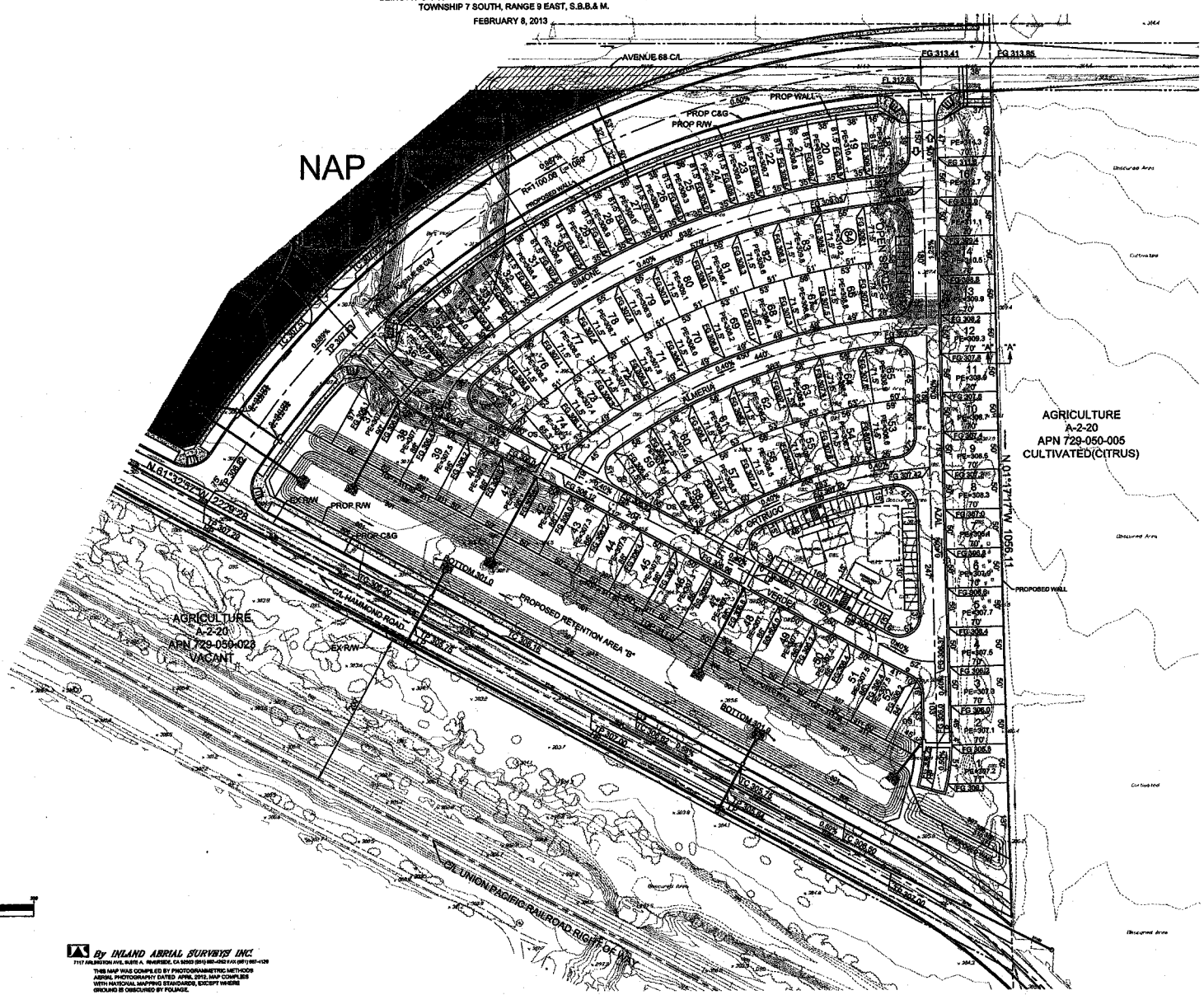
NO.	REVISIONS	APPROVED	DATE



TYPICAL SECTION EAST P/L
SECTION "A"-"A"
N.T.S.



TYPICAL LOT DRAINAGE DETAIL
N.T.S.



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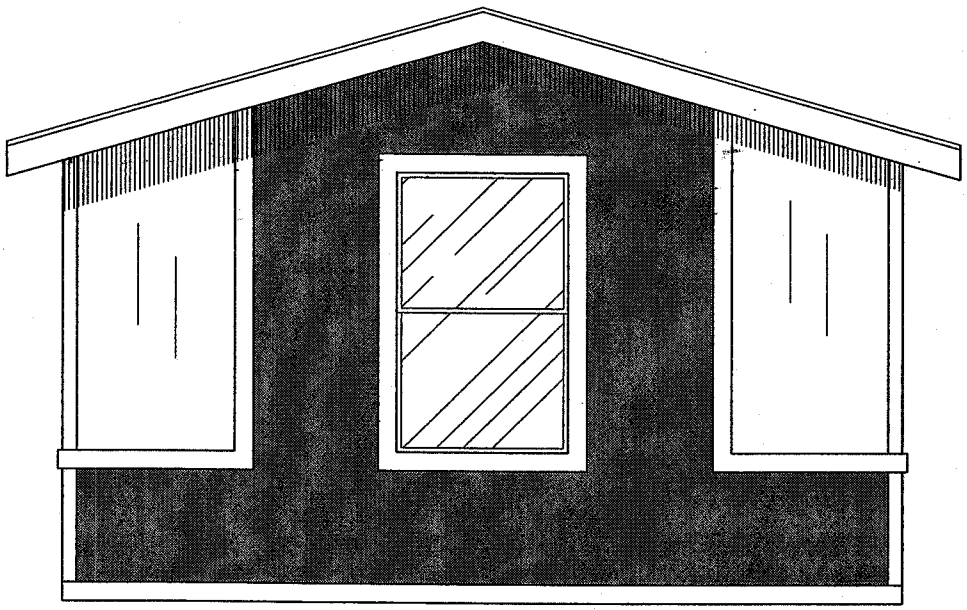
MIN. = MINIMUM
MAX. = MAXIMUM
UTIL. = UTILITY
C&G = CURB AND GUTTER
(LS) = LANDSCAPE AREA
HP = HIGH POINT

SCALE: 1" = 50'
(IN FEET)

WATSON ENGINEERING
CIVIL ENGINEERING • LAND PLANNING
25-231 Bryant Street
Hemet, CA 92544
Ph. (951) 652-1966

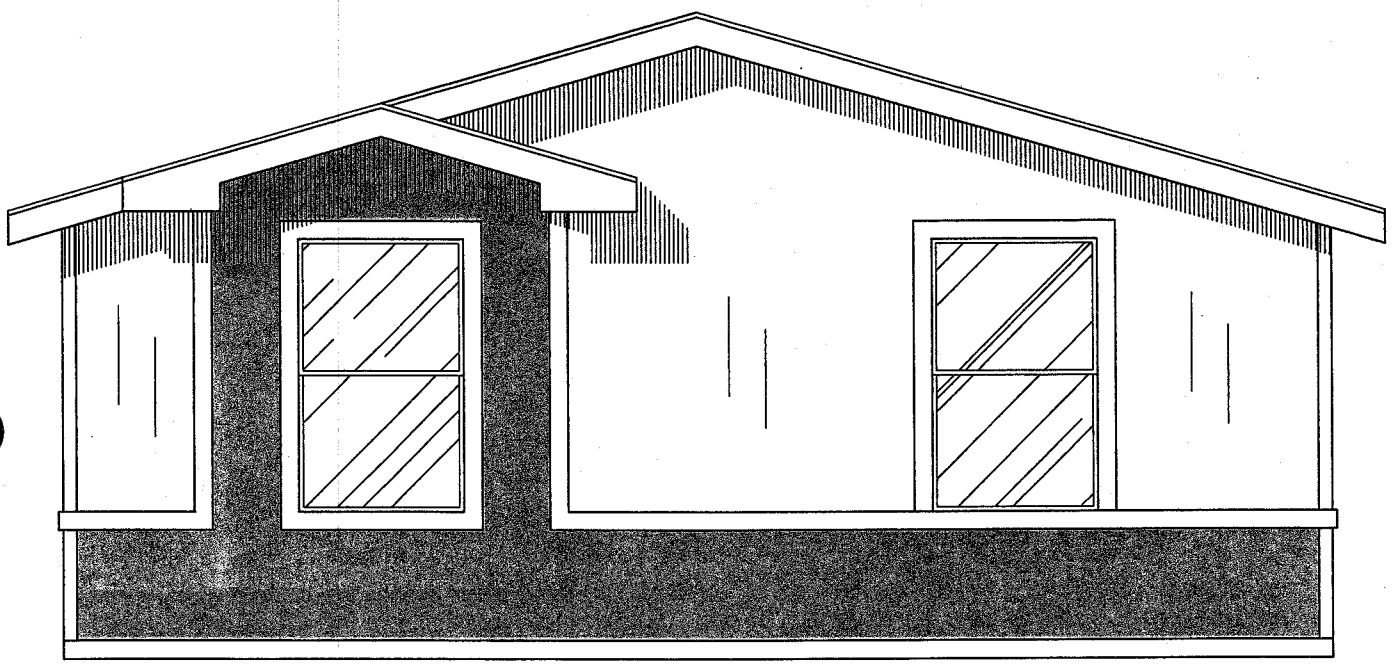
By INLAND AERIAL SURVEYS INC.
7117 ARLINGTON AVE, SUITE A, RIVERSIDE, CA 92503 (951) 687-4262 FAX (951) 687-1129

THIS MAP WAS COMPILED BY PHOTOGRAMMETRIC METHODS
AERIAL PHOTOGRAPHY DATED APRIL 2012, MAP COMPLIES
WITH NATIONAL MAPPING STANDARDS, EXCEPT WHERE
GROUND IS OBSCURED BY FOLIAGE.



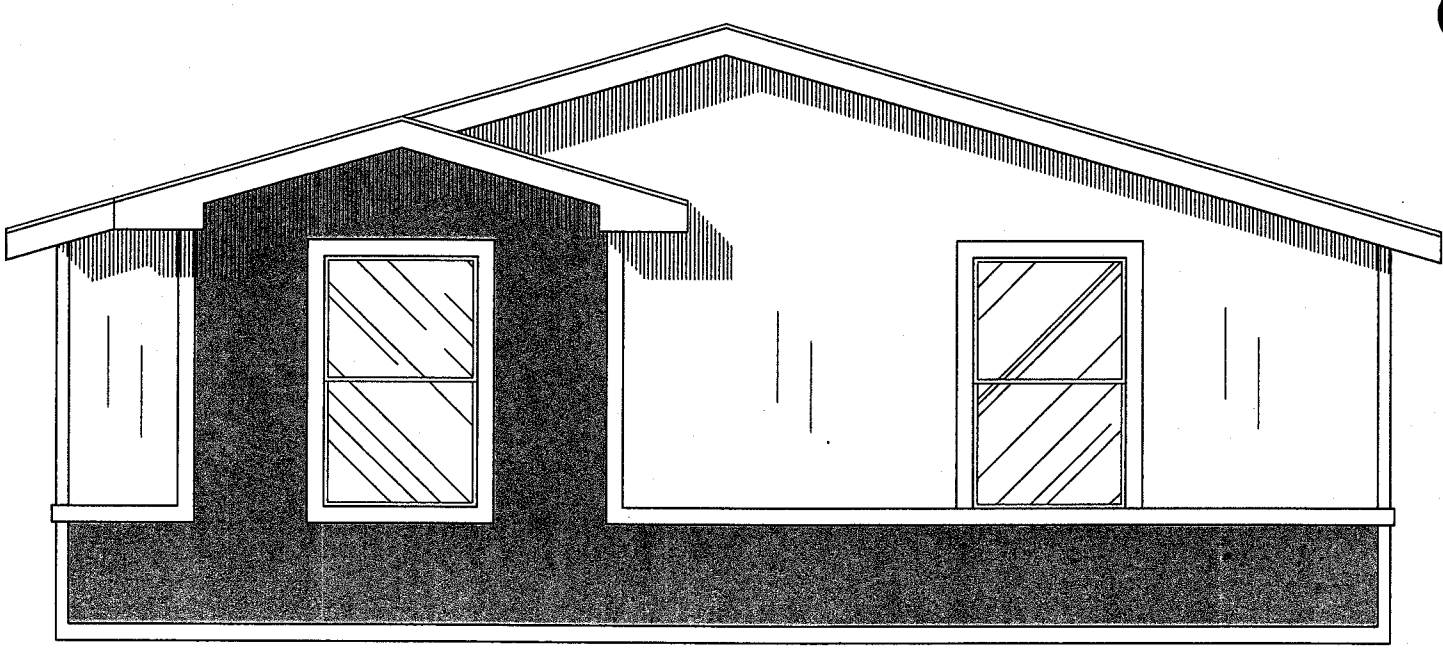
Los Vinedos - Single Wide

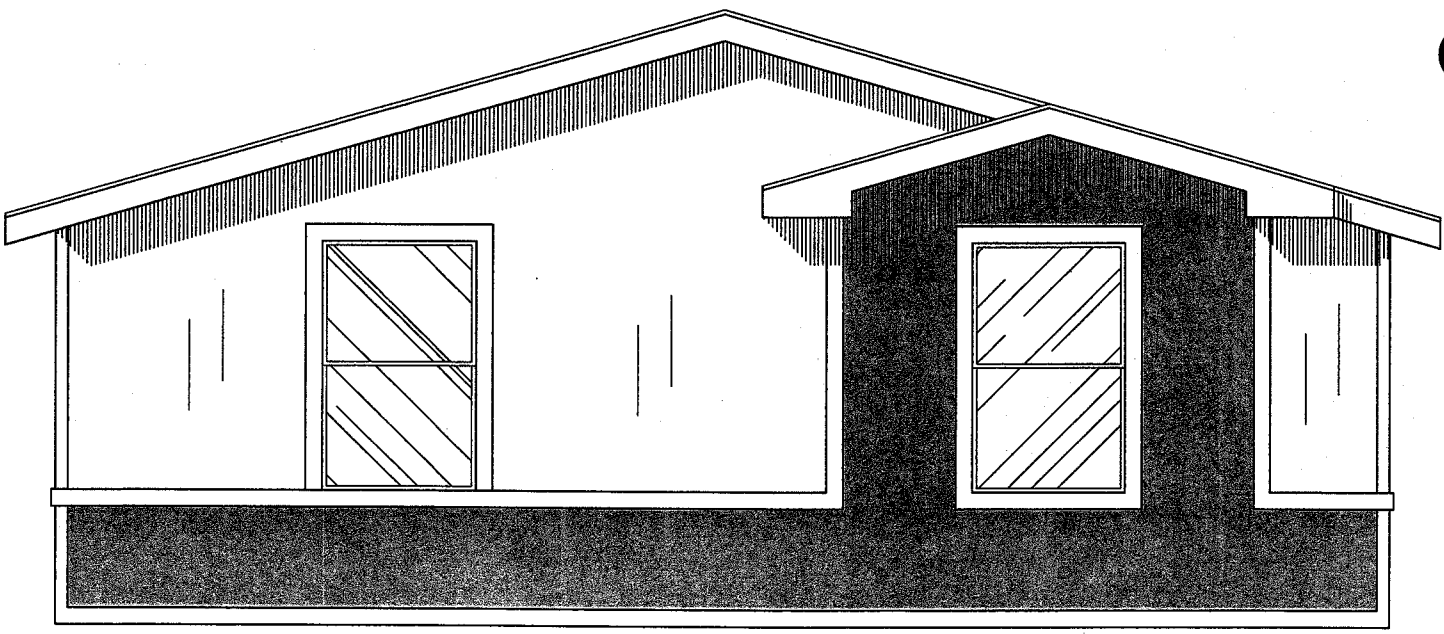
04.18.12 dh



Los Vinedos - 24 Wide

04.18.12 dh



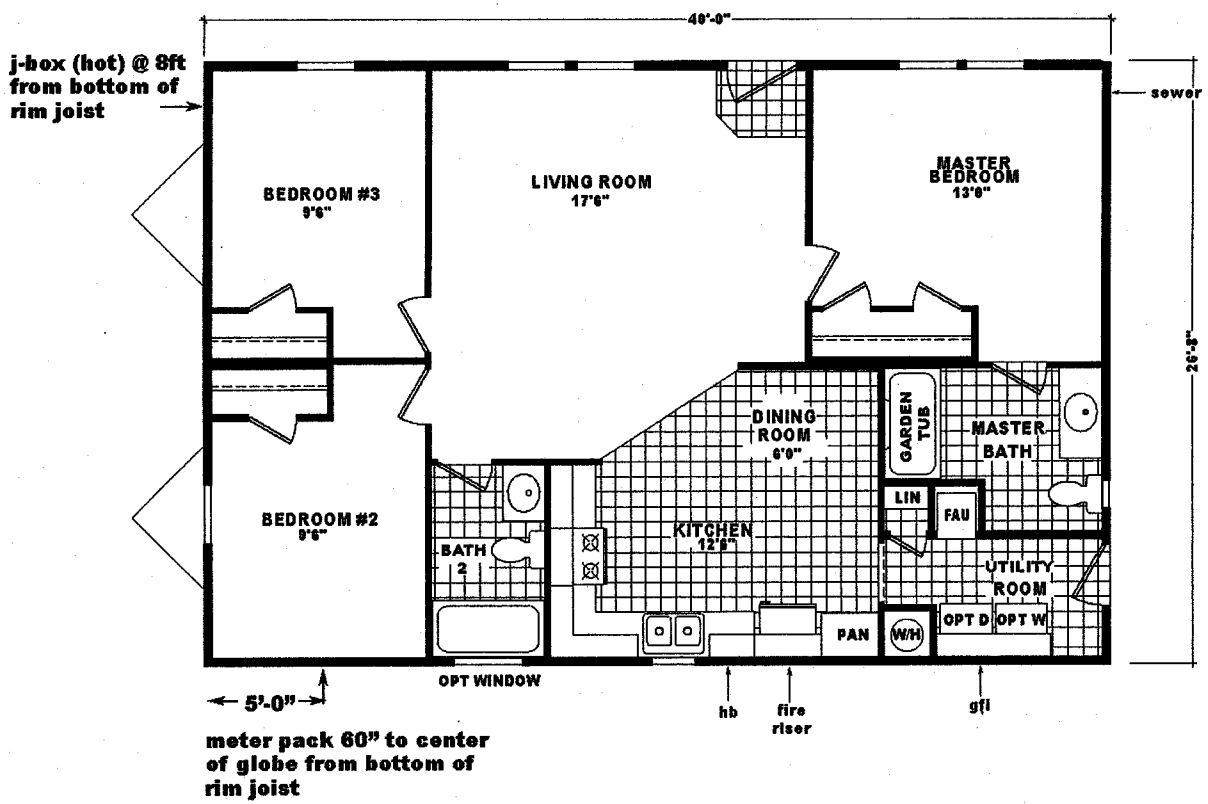


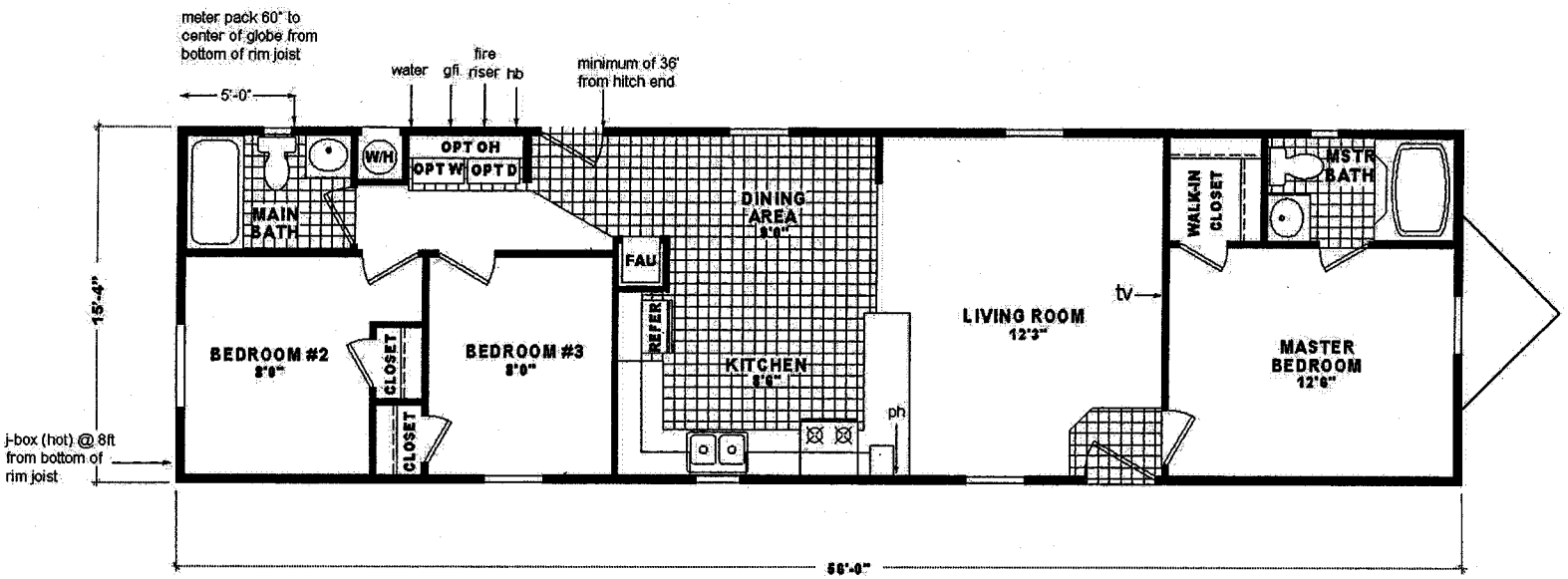
Los Vinedos - 28 Wides

04.18.12 dh

D.A.C.E

LOS VENIDOS #2 - RIGHT
APPROXIMATELY 1066 SQ. FT.
3 BEDROOM, 2 BATH
(MAP SPECIFICATIONS)

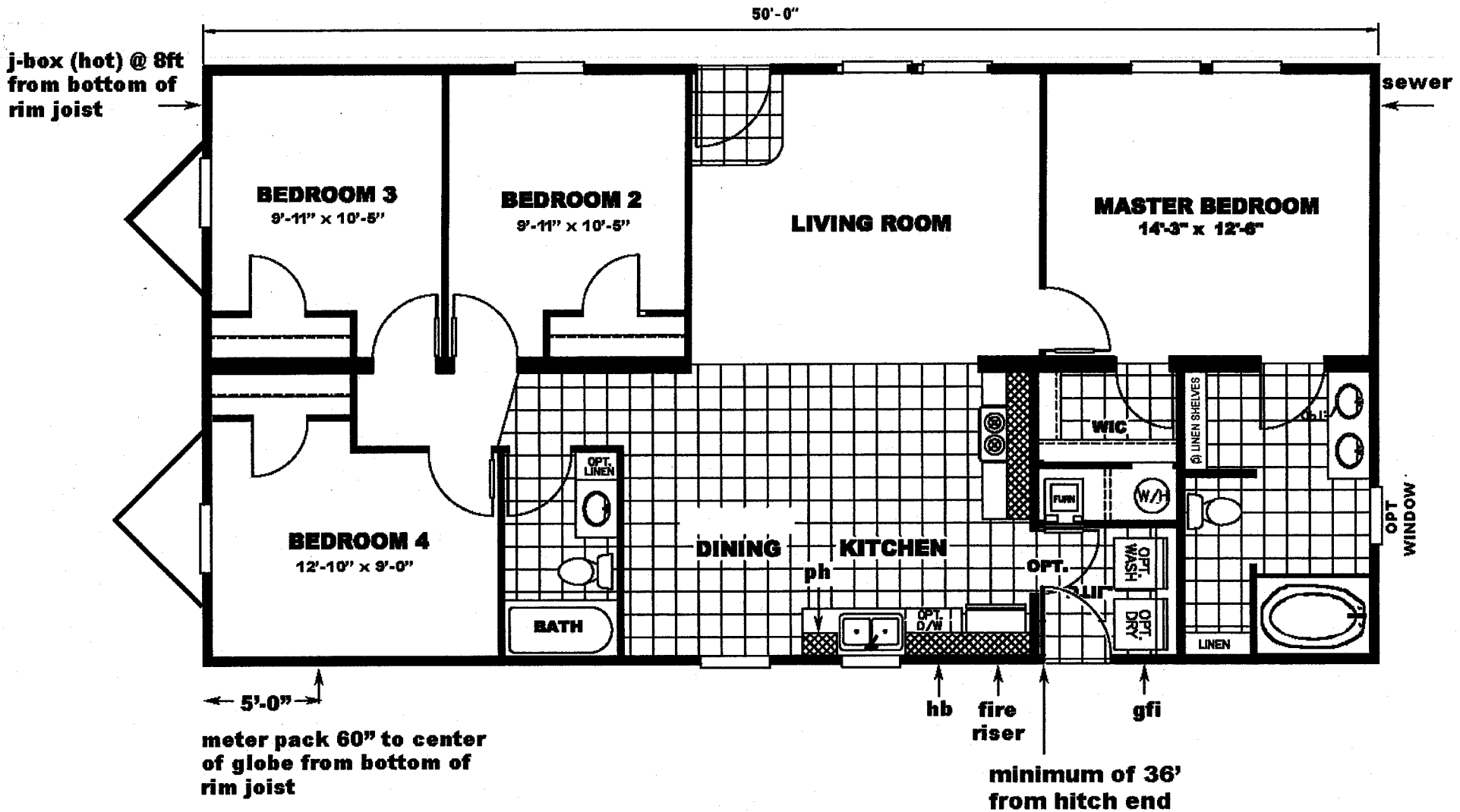




D.A.C.E.
LOS VENIDOS #1 - RIGHT
APPROXIMATELY 858 SQ. FT.
3 BEDROOM, 2 BATH
(MAP SPECIFICATIONS)

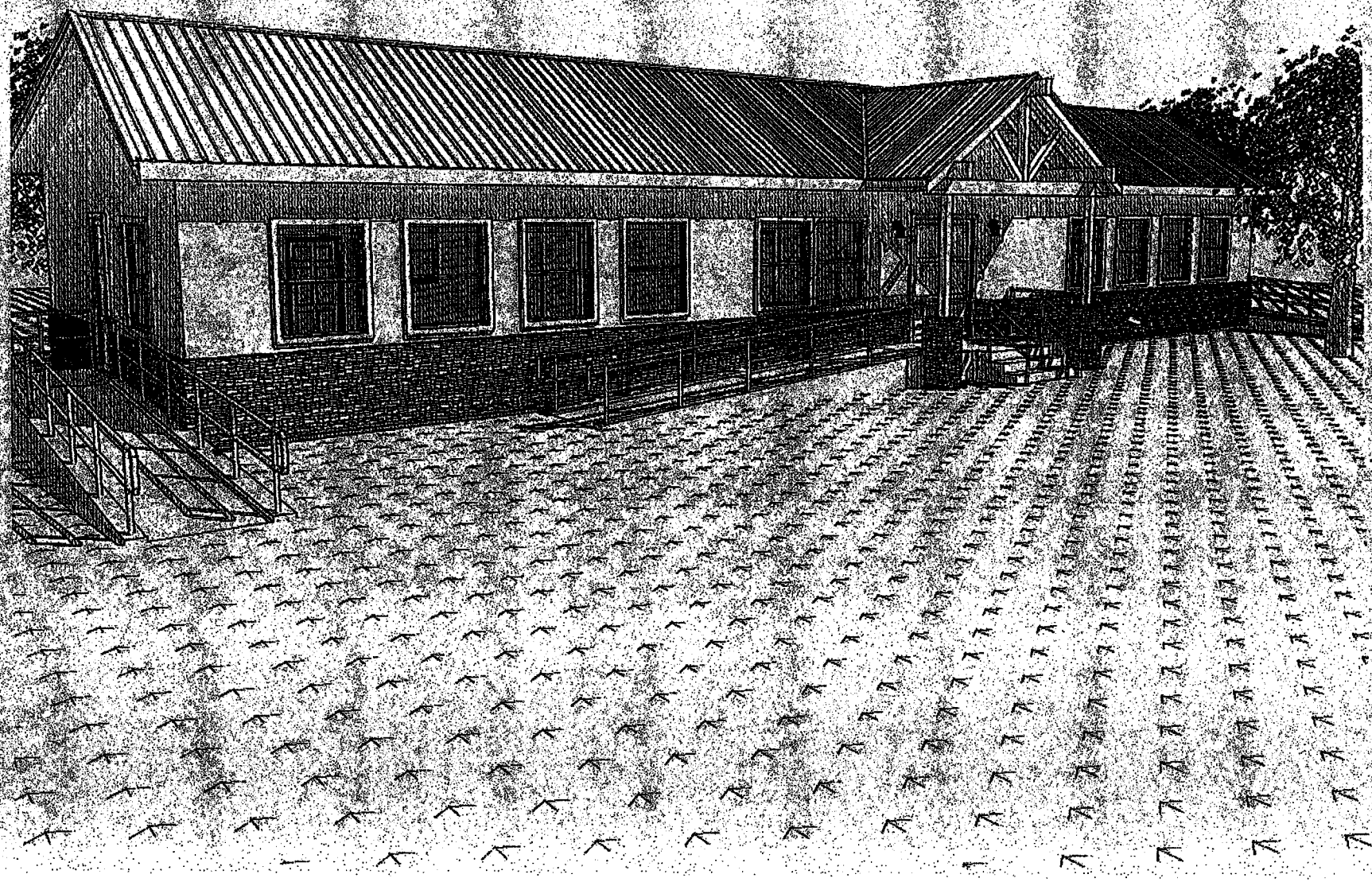
Run Cat - 5 from phone jack to under house @ meter pack

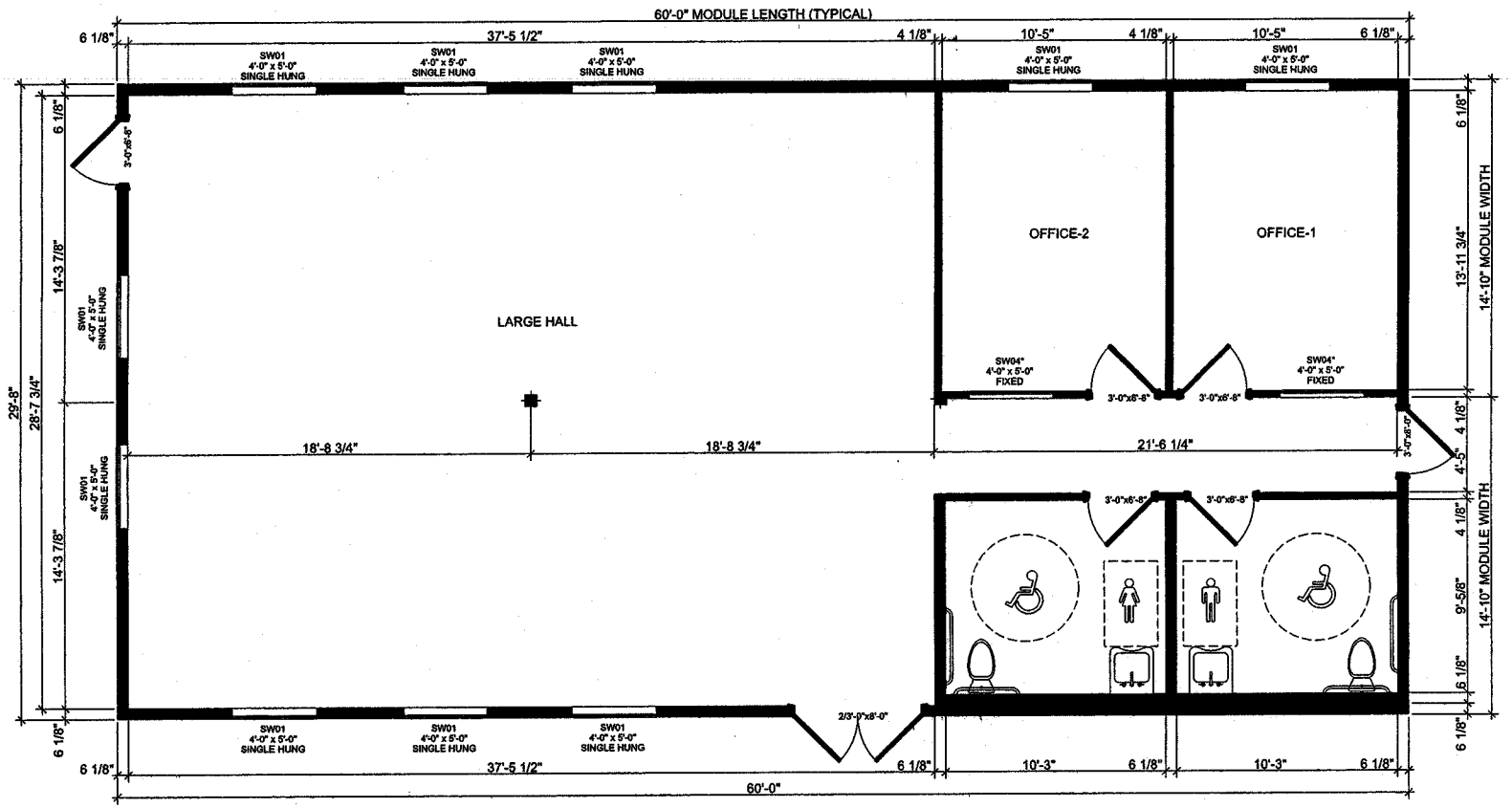
D.A.C.E.
LOS VENIDOS #3 - RIGHT
APPROXIMATELY 1333 SQ. FT.
(MAP SPECIFICATIONS)
(WAS MVP-28544A - 2FT SHRINK)



Los Vinedos

Community Building Front Elevation





CMH MANUFACTURING WEST

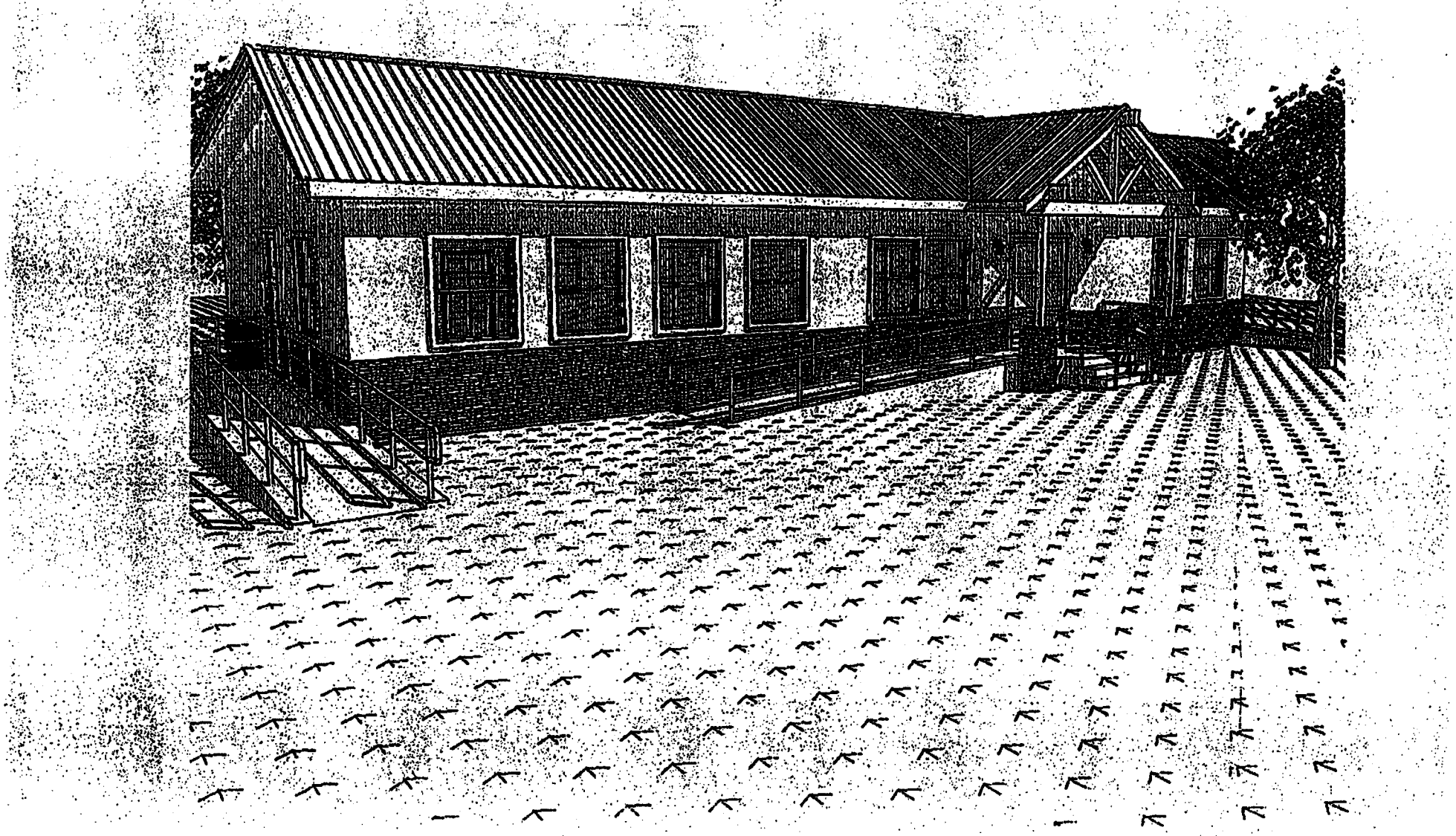
Cochella Club House Concept Plan - 1780 Square Feet

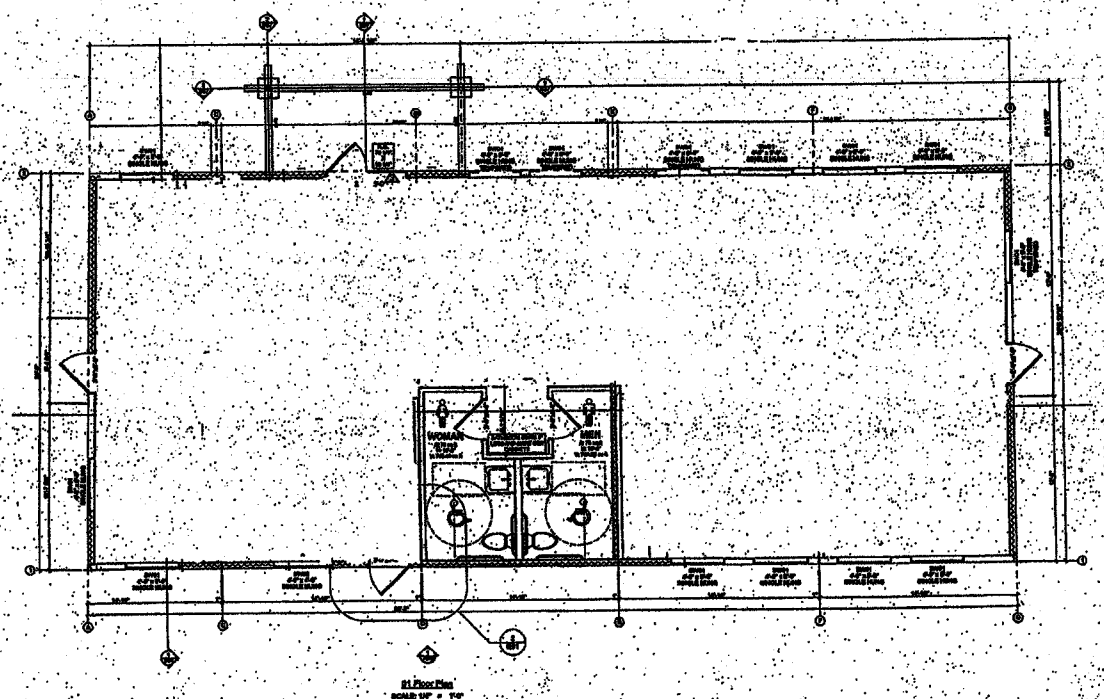
Drafted by: JLB
jason.bos@claytonhomes.com.com
(916) 363-2681
Date Printed: 5/21/13

A-1.1

Los Vinedos

Day Care Building Front Elevation





Los Vinedos

Day Care Building

40' X 26'

1040 Square ft

MARK	DATE	DESCRIPTION
3	3/7/2012	CHANGED DOOR SWING
2	3/7/2012	ADD ACCESS LOCATIONS
1	3/7/2012	ADJUST FOR CODE

PROJECT NO: 40-11-002

DRAWN BY: JLS 3/6/12 12:20 PM

CHKD BY:

SHEET TITLE

FLOOR PLAN

COUNTY OF RIVERSIDE
ENVIRONMENTAL ASSESSMENT FORM: INITIAL STUDY

Environmental Assessment (E.A.) Number: 42609
Project Case Type (s) and Number(s): Conditional Use Permit No. 3497, Revised Permit No. 1 & Conditional Use Permit No. 3686
Lead Agency Name: County of Riverside Planning Department
Address: P.O. Box 1409, Riverside, CA 92502-1409
Contact Person: Jay Olivas, Project Planner
Telephone Number: (951) 955-1195
Applicant's Name: Desert Alliance for Community Empowerment (DACE)
Applicant's Address: 53990 Enterprise Way South Coachella, CA 92236
Engineer's Name: Lloyd Watson, P.E.
Engineer's Address: 50-200 Monroe Street Indio, CA 92201

I. PROJECT INFORMATION

A. Project Description:

Conditional Use Permit No. 3497, Revised Permit No. 1 proposes to modify previously approved farm labor camp (unbuilt) by increasing the number of beds from 96 to 160 in four (4) dormitory buildings totaling approximately 17,544 square feet along with 5,544 square foot community center building with availability of church services for approximately 90 people, as well as a 2,084 square foot square foot manager's quarters and a 924 square foot laundry building.

Conditional Use Permit No. 3686 proposes to construct a migrant agricultural worker mobile home park consisting of 84 units with typical single wide and double wide mobile home spaces ranging from approximately 2,800 square feet to 3,500 square feet along with 1,780 square foot community center building, 1,040 square foot child care facility for up to 15 children, 800 square foot children's playground, and 2,800 square foot outdoor play area.

B. Type of Project: Site Specific ☒; Countywide ☐; Community ☐; Policy ☐.

C. Total Project Area: 25 Acres

Residential Acres: 25	**Lots:** 2	**Units:** 84	**Projected Residents:** 400
Commercial Acres: N/A	**Lots:**	**Sq. Ft. of Bldg. Area:**	**Est. No. of Employees:**
Industrial Acres: N/A	**Lots:**	**Sq. Ft. of Bldg. Area:**	**Est. No. of Employees:**
Other: N/A			

D. Assessor's Parcel No(s): 729-050-002

E. Street References: Northerly of Hammond Road, southerly of 68th Avenue, easterly of Johnson Street, and westerly of Grant Street.

F. Section, Township & Range Description or reference/attach a Legal Description: Township 7 South, Range 9 East, Section 21

G. Brief description of the existing environmental setting of the project site and its surroundings: The project is located in the Eastern Coachella Valley in Mecca. The topography of the area consists of flat land. The project site is primarily vacant with existing

migrant shower facility at the westerly corner. Crops on large parcels, vacant land, and scattered dwellings surround the project site.

II. APPLICABLE GENERAL PLAN AND ZONING REGULATIONS

A. General Plan Elements/Policies:

1. **Land Use:** The General Plan Land Use designation is Agriculture (AG) (10 Acre Minimum) on the westerly 11.06 acre portion and Medium High Density Residential (MHDR) (5-8 DU/AC) on the easterly 13.77 acre portion within the Eastern Coachella Valley Area Plan. The project would meet all applicable land use policies.

2. **Circulation:** The proposed project will add overall trips to the area. Due to the size of the project, right-of-way dedications/improvements will be required for future access and circulation for the project site. The proposed project meets all other applicable circulation policies of the General Plan.

3. **Multipurpose Open Space:** The proposed project is not located within a Conservation Area of the Coachella Valley Multiple Species Habitat Conservation Plan (CVMSHCP). The proposed project meets all applicable Multipurpose Open Space Element policies.

4. **Safety:** The proposed project is not located in a flood zone, fault zone, or dam inundation area. There is liquefaction potential for the project site. The proposed project site is susceptible to subsidence. The project is not within a high fire area, but does provide for emergency vehicle access. The proposed project meets all applicable Safety Element policies.

5. **Noise:** The proposed project will permanently increase the ambient noise levels in the project vicinity above levels existing without the project. However, the project proposes to create a farm labor camp and mobile home park and the impact to noise levels would not be significant. The project does include sound walls along portions of Hammond Road and realigned 68th Avenue to address traffic/rail road noise impacts to the mobile home park portion. The proposed project meets all applicable Noise Element policies.

6. **Housing:** The project proposes farm labor camp for 160 persons and 84 space mobile home park which contributes to the achievement of the Riverside County General Plan's goal of providing quality and diversified housing for the County's expanding population. Therefore, the project complies with all applicable Housing element policies.

7. **Air Quality:** The proposed project has been conditioned to control any fugitive dust during any future grading and construction activities. The proposed project meets all applicable Air Quality Element policies.

B. General Plan Area Plan(s): Eastern Coachella Valley Area Plan

C. Foundation Component(s): Agriculture; Community Development

D. Land Use Designation(s): Agriculture (10 Acre Minimum) and Medium High Density Residential (5-8 D.U./Ac.)

E. Overlay(s), if any: Not Applicable

F. Policy Area(s), if any: Not Applicable

G. Adjacent and Surrounding:

1. **Area Plan(s):** Eastern Coachella Valley Area Plan

2. **Foundation Component(s):** Agriculture

3. **Land Use Designation(s):** Agriculture; Medium Density Residential (2-5 D.U./Ac.); Light Industrial (.25 - .60 FAR)

4. **Overlay(s) and Policy Area(s):** Not Applicable

H. Adopted Specific Plan Information

1. **Name and Number of Specific Plan, if any:** Not Applicable

2. **Specific Plan Planning Area, and Policies, if any:** Not Applicable

I. Existing Zoning: Heavy Agriculture – 10 Acre Minimum (A-2-10) and Controlled Development Areas (W-2)

J. Proposed Zoning, if any: Not applicable

K. Adjacent and Surrounding Zoning: Heavy Agriculture – 20 Acre Minimum (A-2-20)

III. ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED

The environmental factors checked below (x) would be potentially affected by this project, involving at least one impact that is a "Potentially Significant Impact" or "Less than Significant with Mitigation Incorporated" as indicated by the checklist on the following pages.

☐ Aesthetics	☐ Hazards & Hazardous Materials	☐ Recreation
☐ Agriculture & Forest Resources	☒ Hydrology / Water Quality	☒ Transportation / Traffic
☐ Air Quality	☐ Land Use / Planning	☒ Utilities / Service Systems
☐ Biological Resources	☐ Mineral Resources	☐ Other:
☐ Cultural Resources	☒ Noise	☐ Other:
☐ Geology / Soils	☐ Population / Housing	☐ Mandatory Findings of Significance
☐ Greenhouse Gas Emissions	☐ Public Services	

IV. DETERMINATION

On the basis of this initial evaluation:

A PREVIOUS ENVIRONMENTAL IMPACT REPORT/NEGATIVE DECLARATION WAS NOT PREPARED
☐ I find that the proposed project **COULD NOT** have a significant effect on the environment, and a **NEGATIVE DECLARATION** will be prepared.
☒ I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because revisions in the project, described in this document, have been made or agreed to by the project proponent. **A MITIGATED NEGATIVE DECLARATION** will be prepared.
☐ I find that the proposed project MAY have a significant effect on the environment, and an

ENVIRONMENTAL IMPACT REPORT is required.

A PREVIOUS ENVIRONMENTAL IMPACT REPORT/NEGATIVE DECLARATION WAS PREPARED

☐ I find that although the proposed project could have a significant effect on the environment, **NO NEW ENVIRONMENTAL DOCUMENTATION IS REQUIRED** because (a) all potentially significant effects of the proposed project have been adequately analyzed in an earlier EIR or Negative Declaration pursuant to applicable legal standards, (b) all potentially significant effects of the proposed project have been avoided or mitigated pursuant to that earlier EIR or Negative Declaration, (c) the proposed project will not result in any new significant environmental effects not identified in the earlier EIR or Negative Declaration, (d) the proposed project will not substantially increase the severity of the environmental effects identified in the earlier EIR or Negative Declaration, (e) no considerably different mitigation measures have been identified and (f) no mitigation measures found infeasible have become feasible.

☐ I find that although all potentially significant effects have been adequately analyzed in an earlier EIR or Negative Declaration pursuant to applicable legal standards, some changes or additions are necessary but none of the conditions described in California Code of Regulations, Section 15162 exist. An **ADDENDUM** to a previously-certified EIR or Negative Declaration has been prepared and will be considered by the approving body or bodies.

☐ I find that at least one of the conditions described in California Code of Regulations, Section 15162 exist, but I further find that only minor additions or changes are necessary to make the previous EIR adequately apply to the project in the changed situation; therefore a **SUPPLEMENT TO THE ENVIRONMENTAL IMPACT REPORT** is required that need only contain the information necessary to make the previous EIR adequate for the project as revised.

☐ I find that at least one of the following conditions described in California Code of Regulations, Section 15162, exist and a **SUBSEQUENT ENVIRONMENTAL IMPACT REPORT** is required: (1) Substantial changes are proposed in the project which will require major revisions of the previous EIR or negative declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; (2) Substantial changes have occurred with respect to the circumstances under which the project is undertaken which will require major revisions of the previous EIR or negative declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; or (3) New information of substantial importance, which was not known and could not have been known with the exercise of reasonable diligence at the time the previous EIR was certified as complete or the negative declaration was adopted, shows any the following:(A) The project will have one or more significant effects not discussed in the previous EIR or negative declaration;(B) Significant effects previously examined will be substantially more severe than shown in the previous EIR or negative declaration;(C) Mitigation measures or alternatives previously found not to be feasible would in fact be feasible, and would substantially reduce one or more significant effects of the project, but the project proponents decline to adopt the mitigation measures or alternatives; or,(D) Mitigation measures or alternatives which are considerably different from those analyzed in the previous EIR or negative declaration would substantially reduce one or more significant effects of the project on the environment, but the project proponents decline to adopt the mitigation measures or alternatives.

Signature

October 3, 2013
Date

Jay Olivas, Project Planner
Printed Name

For Carolyn Syms Luna, Director

V. ENVIRONMENTAL ISSUES ASSESSMENT

In accordance with the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000-21178.1), this Initial Study has been prepared to analyze the proposed project to determine any potential significant impacts upon the environment that would result from construction and implementation of the project. In accordance with California Code of Regulations, Section 15063, this Initial Study is a preliminary analysis prepared by the Lead Agency, the County of Riverside, in consultation with other jurisdictional agencies, to determine whether a Negative Declaration, Mitigated Negative Declaration, or an Environmental Impact Report is required for the proposed project. The purpose of this Initial Study is to inform the decision-makers, affected agencies, and the public of potential environmental impacts associated with the implementation of the proposed project.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
AESTHETICS Would the project				
1. Scenic Resources a) Have a substantial effect upon a scenic highway corridor within which it is located?	☐	☐	☒	☐
b) Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings and unique or landmark features; obstruct any prominent scenic vista or view open to the public; or result in the creation of an aesthetically offensive site open to public view?	☐	☐	☒	☐

Source: Riverside County General Plan Figure C-7 "Scenic Highways"

Findings of Fact:

a) The proposed project is adjacent to Hammond Road and 68th Avenue which are not designated as scenic highway corridors. The project is approximately 500 feet from State Highway 111 which is a designated scenic highway corridor. The project includes perimeter treatment such as decorative fencing and walls to reduce visual impacts to less than significant impact from adjoining roads.

b) The proposed project will not substantially damage scenic resources, including, but not limited to, trees, rock outcroppings and unique or landmark features, or obstruct a prominent scenic vista or view open to the public, as these features do not exist on the project site. Additionally, the project will not result in the creation of an aesthetically offensive site open to public as the project was conditioned to incorporate landscaping along Hammond Road and realigned 68th Avenue as shown on approved conceptual planting plan, Exhibit L. The development also includes monument based residential identification signs reviewed by the Mecca Community Council and impacts would be less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

2. Mt. Palomar Observatory a) Interfere with the nighttime use of the Mt. Palomar Observatory, as protected through Riverside County Ordinance No. 655?	☐	☐	☐	☒

Source: GIS database, Ord. No. 655 (Regulating Light Pollution)

Findings of Fact:

a) The project site is located greater than 45 miles from Mt. Palomar Observatory and would not be subject to Ordinance No. 655 requirements. Therefore, there would be no impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

3. Other Lighting Issues a) Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?	☐	☐	☒	☐
b) Expose residential property to unacceptable light levels?	☐	☐	☒	☐

Source: On-site Inspection, Project Application Description

Findings of Fact:

a) The proposed project would create a new source of light from the new development, however, any new source of light is not anticipated to reach a significant level due to the size and scope of the project. Therefore, the impact is considered less than significant.

b) Surrounding land uses include crops, vacant land and scattered dwellings. The project proposes a farm labor camp and mobile home park. The amount of light that will be created is not considered substantial, and would be hooded/directed (Condition of Approval (COA) 10.PLANNING.5—CUP 3497R1 and CUP 3686). Therefore, surrounding properties will not be exposed to unacceptable light levels. Impacts to light levels are considered less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

AGRICULTURE & FOREST RESOURCES Would the project				
4. Agriculture a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland) as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?	☐	☐	☐	☒
b) Conflict with existing agricultural zoning, agricultural	☐	☐	☒	☐

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
use or with land subject to a Williamson Act conparcel or land within a Riverside County Agricultural Preserve?				
c) Cause development of non-agricultural uses within 300 feet of agriculturally zoned property (Ordinance No. 625 "Right-to-Farm")?	☐	☐	☒	☐
d) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use?	☐	☐	☒	☐

Source: Riverside County General Plan Figure OS-2 "Agricultural Resources," GIS database, and Project Application Materials.

Findings of Fact:

a) The proposed project is located on land designated as farmland of "Local Importance" and "Prime Farmland" as shown on the Riverside County Land Information System (RCLIS). However, the subject land is designated Agriculture (AG) and Medium High Density Residential (MHDR) which may support potential non-agricultural development. Additionally, Riverside County Integrated Project (RCIP) EIR, prepared in 2003, analyzed the effect of these land use designations on farmland and issued a Statement of Overriding Consideration, stating that the benefits of the RCIP Land Use Map, proposed under the 2003 RCIP, outweigh the impacts to farmland. With adherence to the AG and MHDR land use designation, this project would not create involve additional or new impacts not previously analyzed in the RCIP EIR. Therefore, no impact will occur.

b) The project site is surrounded by crops, vacant land and scattered dwellings within an agricultural setting. The site is not located within an Agricultural Preserve. Therefore, less than significant impacts will occur.

c) The proposed project is located adjacent to agriculturally zoned property and would cause development of non-agricultural uses within 300 feet of agriculturally zoned property (Ordinance No. 625 "Right-to-Farm"). Less than significant impacts related to agriculturally zoned properties are anticipated.

d) The proposed project is located within a Farmland Designation. The project would involve changes in the existing environment which, due to their location or nature, would result in conversion of Farmland, to non-agricultural use for agricultural worker housing. Therefore, less than significant impacts will occur.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
5. Forest a) Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code section 12220(g)), timberland (as defined by Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Govt. Code section 51104(g))?	☐	☐	☐	☒
b) Result in the loss of forest land or conversion of forest land to non-forest use?	☐	☐	☐	☒
c) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of forest land to non-forest use?	☐	☐	☐	☒

Source: Riverside County General Plan Figure OS-3 "Parks, Forests and Recreation Areas," and Project Application Materials.

Findings of Fact:

a) The County does not have zoning that is specific to the preservation of forest land or timberland. Therefore, the proposed project will not conflict with any forest land zoning.

b & c) The site contains disturbed agricultural land; however, this is not considered forest land per the Public Resources Code. Therefore, the project will not result in the loss of any forest land.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

AIR QUALITY Would the project				
6. Air Quality Impacts a. Conflict with or obstruct implementation of the applicable air quality plan?	☐	☐	☐	☒
b. Violate any air quality standard or contribute substantially to an existing or projected air quality violation?	☐	☐	☒	☐
c. Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors)?	☐	☐	☒	☐
d. Expose sensitive receptors which are located within 1 mile of the project site to project substantial point source emissions?	☐	☐	☐	☒
e. Involve the construction of a sensitive receptor located within one mile of an existing substantial point source emitter?	☐	☐	☐	☒
f. Create objectionable odors affecting a substantial number of people?	☐	☐	☐	☒

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact

Source: SCAQMD CEQA Air Quality Handbook Table 6-2

Findings of Fact: The South Coast Air Quality Management District (SCAQMD) issued the 2012 Regional Air Quality Management Plan (AQMP) for the Salton Sea Air Basin (SSAB) for attaining compliance with state and federal air quality standards. Under this plan, the County must implement air quality control measures associated with transportation facilities. This project does not propose any transportation facilities that would require transportation control measures, and therefore will not obstruct implementation of the AQMP.

a) The 2012 AQMP is based on socio-economic forecasts (including population estimates) provided by the Southern California Association of Governments (SCAG) which in turn are based on data submitted to SCAG by the Riverside County Center for Demographic Research as approved by the Riverside County Board of Supervisors. This most recent data, known as Riverside County Projections 2010 (RCP-10) is based on land use and demographic data from the county through 2010, as well as the County General Plan. The proposed project represents revisions to a land use that was previously approved in 2009 (CUP 3497) and that remains consistent with the County General Plan (both its land use designations and its population projections). Thus, since the General Plan is used to formulate SCAG's Regional Growth Management Plan and SCAQMD's Air Quality Management Plan, the project is also consistent with these documents as well. The estimated population proposed by this project will not obstruct the implementation of the 2012 AQMP. The project would not impair AQMP plans and impacts would be less than significant.

b) Air quality impacts would occur during site preparation, including from grading and equipment exhaust. Major sources of fugitive dust are a result of grading and site preparation during construction by vehicles and equipment and generated by construction vehicles and equipment traveling over exposed surfaces, as well as by soil disturbances from grading and filling. These short-term, construction-related impacts will be reduced below a level of significance by dust control measures implemented during grading (COA 10.BS GRADE.8 – CUP 3497R1 and CUP 3686). Therefore, the impact is considered less than significant.

c) The project will not result in a cumulatively considerable net increase of any criteria pollutant for which the project region is in non-attainment status pursuant to any applicable federal or state ambient air quality standard. Therefore, less than significant impacts are expected.

d) A sensitive receptor is a person in the population who is particularly susceptible to health effects due to exposure to an air contaminant than is the population at large. Sensitive receptors (and the facilities that house them) in proximity to localized CO sources, toxic air contaminants or odors are of particular concern. High levels of CO are associated with major traffic sources, such as freeways and major intersections, and toxic air contaminants are normally associated with manufacturing and commercial operations. Land uses considered to be sensitive receptors include long-term health care facilities, rehabilitation centers, convalescent centers, retirement homes, residences, schools, playgrounds, child care centers, and athletic facilities. Surrounding land uses include vacant land, crops, and scattered dwellings; however, the project is not expected to generate substantial point-source emissions. The project will not include major transportation facilities, commercial or manufacturing uses, or generate significant odors. Therefore, there is no impact.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact

e) Surrounding uses do not include significant localized CO sources, toxic air contaminants or odors. Therefore, the proposed project will not involve the construction of a sensitive receptor located within one mile of an existing substantial point-source emitter. Therefore, no impacts are expected.

f) The housing related project will not create objectionable odors affecting a substantial number of people. Therefore, there is no impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

BIOLOGICAL RESOURCES Would the project				
7. Wildlife & Vegetation	☐	☐	☒	☐
a. Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Conservation Community Plan, or other approved local, regional, or state conservation plan?				
b. Have a substantial adverse effect, either directly or through habitat modifications, on any endangered, or threatened species, as listed in Title 14 of the California Code of Regulations (Sections 670.2 or 670.5) or in Title 50, Code of Federal Regulations (Sections 17.11 or 17.12)?	☐	☐	☒	☐
c. Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U. S. Wildlife Service?	☐	☐	☒	☐
d. Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident migratory wildlife corridors, or impede the use of native wildlife nursery sites?	☐	☐	☒	☐
e. Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations or by the California Department of Fish and Game or U. S. Fish and Wildlife Service?	☐	☐	☒	☐
f. Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?	☐	☐	☒	☐
g. Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?	☐	☐	☒	☐

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact

Source: GIS database, CV-MSHCP, On-site Inspection, EPD review

Findings of Fact:

a-g) The proposed project is not located within a Conservation Area of the Coachella Valley Multiple Species Habitat Conservation Plan (CV-MSHCP). A review by the Environmental Programs Division of the Planning Department was done to assure consistency with the CV-MSHCP plan. No inconsistencies were reported, except both Conditional Use Permits have been conditioned for a Preconstruction Survey for Burrowing Owl and Ground Nesting Birds prior to any grading activities (COA 60.EPD.1—CUP 3497R1 and CUP 3686). The land is previously disturbed as agricultural land. Therefore, the project site does not conflict with the provisions of any of the above adopted Habitat Conservation Plans, Natural Conservation Community Plan, or other approved local, regional, or state conservation plan. Therefore, impacts are considered less than significant.

Mitigation: No mitigation measures required.

Monitoring: No monitoring measures required.

CULTURAL RESOURCES Would the project				
8. Historic Resources				
a. Alter or destroy an historic site?	☐	☐	☐	☒
b. Cause a substantial adverse change in the significance of a historical resource as defined in California Code of Regulations, Section 15064.5?	☐	☐	☐	☒

Source: On-site Inspection, Project Application Materials, Phase 1 Archaeological Assessment by CRM Tech. dated April 8, 2008

Findings of Fact:

a-b) On-site surveys did not result in any historic resources located on site. The majority of the site is currently vacant and does not contain any structures or other features that could be deemed as significant historic resources. The report concluded that no known potentially significant resources will be adversely impacted by the proposed project. The proposed project would not cause substantial adverse change in the significance of a historical resource as defined in California Code of Regulations, Section 15064.5. Therefore, there would be no impact.

In the event of an accidental discovery or recognition of any human remains in any location other than a dedicated cemetery, State Health and Safety Code Section 7050.5 state that no further disturbance shall occur until the County Coroner has made the necessary findings as to the origin and disposition pursuant to Public Resources Code Section 5097.98.

Mitigation: No mitigation measures required.

Monitoring: No monitoring measures required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
9. Archaeological Resources				
a. Alter or destroy an archaeological site.	☐	☐	☐	☒
b. Cause a substantial adverse change in the significance of an archaeological resource pursuant to California Code of Regulations, Section 15064.5?	☐	☐	☐	☒
c. Disturb any human remains, including those interred outside of formal cemeteries?	☐	☐	☐	☒
d. Restrict existing religious or sacred uses within the potential impact area?	☐	☐	☐	☒

Source: On-site Inspection, Project Application Materials, Phase 1 Archaeological Assessment by CRM Tech. dated April 8, 2008

Findings of Fact:

a-d) No historic, prehistoric sites or isolated artifacts were detected during the pedestrian survey of the project site. No impacts are anticipated. Should unanticipated archaeological resources be encountered, work must halt in the immediate vicinity until they can be evaluated by a qualified archaeologist (COA 10.PLANNING.18-CUP 3497R1 and COA 10.PLANNING.14— CUP 3686).

Mitigation: No mitigation measures required.

Monitoring: No monitoring measures required.

10. Paleontological Resources				
a. Directly or indirectly destroy a unique paleontological resource, or site, or unique geologic feature?	☐	☐	☒	☐

Source: Riverside County General Plan Figure OS-8 "Paleontological Sensitivity", Paleontological Report No. 1346 by CRM Tech dated February 18, 2009; County Geologist Comments

Findings of Fact:

a) According to RCLIS (GIS database) and review by the County Geologist, the project site is located in an area that is designated as having undetermined potential. A condition has been added to the case to require a paleontological monitoring report prior to grading permit (COA 60.PLANNING.1—CUP 3497R1 and CUP 3686). Therefore, the impact is considered less than significant.

Mitigation: No mitigation measures required.

Monitoring: No monitoring measures required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
GEOLOGY AND SOILS Would the project				
11. Alquist-Priolo Earthquake Fault Zone or County Fault Hazard Zones a. Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death?	☐	☐	☐	☒
b. Be subject to rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault?	☐	☐	☐	☒

Source: Riverside County General Plan Figure S-2 "Earthquake Fault Study Zones," GIS database, Geologist Comments

Findings of Fact:

a) According to RCLIS (GIS database), the proposed project is not located within a fault zone. Based on the review of aerial photos, site mapping and literature research, there is no evidence of active faults crossing trending toward the subject site that would expose people to structures to potential substantial adverse risks. Therefore, no impacts are expected.

b) In addition, the site is not located within one-half mile from an earthquake fault zone. Therefore, the potential for this site to be affected by surface fault rupture is considered low and no impacts are expected.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

12. Liquefaction Potential Zone a. Be subject to seismic-related ground failure, including liquefaction?	☐	☐	☒	☐

Source: Riverside County General Plan Figure S-3 "Generalized Liquefaction," County Geologic Report No. 2136 by Earth Systems Southwest dated February 2008

Findings of Fact:

a) According to RCLIS (GIS database), there is a high potential for this site to be affected by seismically induced liquefaction. County Geologic Report No. 2136 indicated groundwater improvement methods to prevent liquefaction from occurring such as compaction and foundation systems for the buildings (COA 10.PLANNING.20 – CUP 3497R1 and COA 10.PLANNING.16 – CUP 3686) which will reduce impacts to less than significant.

Mitigation: No mitigation measures required.

Monitoring: No monitoring measures required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
13. Ground-shaking Zone Be subject to strong seismic ground shaking?	☐	☐	☒	☐

Source: Riverside County General Plan Figure S-4 "Earthquake-Induced Slope Instability Map," and Figures S-13 through S-21 (showing General Ground Shaking Risk)

Findings of Fact:

According to General Plan Figure S-4, the proposed project site is not located in an area which is susceptible to landslide risk as a result of seismic activity. Figure S-13 of the General Plan indicates that the proposed project site is located in an area that has a very high ground-shaking risk. The proposed development will be required to comply with the latest edition of the California Building Code (CBC 2010) which takes into consideration earthquake risk. The proposed project will have a less than significant impact with regard to ground shaking.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

14. Landslide Risk a. Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, collapse, or rockfall hazards?	☐	☐	☐	☒

Source: On-site Inspection, Riverside County General Plan

Findings of Fact:

a) The project site has flat topography, there is no potential for landslide risk. Therefore, no impacts are expected to occur.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

15. Ground Subsidence a. Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in ground subsidence?	☐	☐	☒	☐

Source: Project Application Materials, GIS database; County Geologic Report No. 2136 by Earth Systems Southwest dated February 2008

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact

Findings of Fact:

a) According to RCLIS (GIS database), the proposed project is located in area of active subsidence and is addressed by County Geologic Report No. 2136 which requires a foundation system, therefore, impacts are less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

16. Other Geologic Hazards	☐	☐	☐	☒
a. Be subject to geologic hazards, such as seiche, mudflow, or volcanic hazard?				

Source: On-site Inspection, Project Application Materials

Findings of Fact:

a) The proposed project is not located within an area that is subject to geologic hazards, such as seiche, mudflow, or volcanic hazard. Therefore, there is no impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

17. Slopes	☐	☐	☐	☒
a. Change topography or ground surface relief features?				
b. Create cut or fill slopes greater than 2:1 or higher than 10 feet?	☐	☐	☐	☒
c. Result in grading that affects or negates subsurface sewage disposal systems?	☐	☐	☐	☒

Source: Project Application Materials, Building and Safety – Grading Review

Findings of Fact:

a) The project proposes contains flat topography. The proposed project will not substantially alter ground surface relief features. Therefore, there is no impact.

b) No slopes with a slope ratio greater than two to one (2:1) (horizontal run: vertical rise) are proposed. Therefore, there is no impact.

c) No infiltration lines will be disturbed as a result of the two Conditional Use Permits. Therefore, there is no impact.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

18. Soils a) Result in substantial soil erosion or the loss of topsoil?	☐	☐	☒	☐
b) Be located on expansive soil, as defined in Section 1802.3.2 of the California Building Code (2010), creating substantial risks to life or property?	☐	☐	☒	☐
c) Have soils incapable of adequately supporting use of septic tanks or alternative waste water disposal systems where sewers are not available for the disposal of waste water?	☐	☐	☐	☒

Source: Project Application Materials, Geology Review, County Geologic Report No. 2136 dated February 2008

Findings of Fact:

a) Graded, but undeveloped, land shall provide, in addition to erosion-control planting, any drainage facilities deemed necessary to control or prevent erosion. Additional erosion protection may be required during the rainy season from October 1st to May 31st (COA 10.BS GRADE.7—CUP 3497R1 and CUP 3686). Therefore, the impact is considered less than significant.

b) Based on County Geologic Report No. 2136 with concurrence from the County Geologist, the expansion potential of the onsite soils is considered high, but is addressed with design provisions such as compaction and foundation system. Therefore, impacts are considered less than significant.

c) The area will feature a sanitation system for the proposed development. Each parcel is a minimum of ten gross acres which can support an overall sewer system. Therefore, there is no impact since soils are adequate for sanitation systems.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

19. Erosion a. Change deposition, siltation, or erosion that may modify the channel of a river or stream or the bed of a lake?	☐	☐	☐	☒
b. Result in any increase in water erosion either on or off site?	☐	☐	☒	☐

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact

Source: Project Application Materials

Findings of Fact:

a) The project will not have an impact or change deposition, siltation, or erosion that may modify the channel of a river, stream, or the bed of a lake. Therefore, there is no impact.

b) The proposed project is anticipated not to result in any increase in water erosion either on or off site with implementation of conditions of approval. The project has been required to accept and properly dispose of all off-site drainage flowing onto or through the site (COA 10.TRANS.11—CUP 3497R1 and CUP 3686). Impacts related to water erosion are considered less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

20. Wind Erosion and Blowsand from project either on or off site. a. Be impacted by or result in an increase in wind erosion and blowsand, either on or off site?	☐	☐	☒	☐

Source: Riverside County General Plan Figure S-8 "Wind Erosion Susceptibility Map," Ordinance 460, Section 14.2 and Ordinance 484

Findings of Fact:

a) The project site lies within an area of wind erosion. The project site is not anticipated to be impacted by blowsand from off site because current levels of wind erosion on adjacent properties that would impact this site are considered less than significant. A condition has been placed on the project to control dust created during grading activities (COA 10 BS.GRADE.8—CUP 3497R1 and CUP 3686). Therefore, the impact is considered less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

GREENHOUSE GAS EMISSIONS Would the project				
21. Greenhouse Gas Emissions a) Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?	☐	☐	☒	☐
b) Conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?	☐	☐	☒	☐

Source: Application materials

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact

Findings of Fact:

a) The proposed project with farm labor camp and migrant agricultural worker mobile home park was previously approved under CUP 3497 in 2009. This project proposes no new uses beyond those approved in 2009 and is consistent with the County General Plan. As greenhouse gas emissions from this project are consistent with forecast growth, emission impacts would be less than significant.

b) The project is consistent with the Riverside County General Plan's land use designation(s) of Agriculture (10 Acre Minimum) and Medium High Density Residential (MHDR) (5-8 D.U./Ac.) and does not propose to amend the General Plan. Hence, the project is consistent with the assumptions and policies proposed in the County's draft Climate Action Plan (CAP) and it does not represent development in excess of the CAP's "Business As Usual" (BAU) scenario. Furthermore, it implements the policies of the draft CAP and ensures the project is an improvement over BAU conditions by requiring the qualitative measures to reduce the project's greenhouse gas emissions. These are implemented through mandatory compliance with the project Conditions of Approval that include the following GHG-reducing measures:

i. The project shall require PM10 Dust Control Plan (COA 60.PLANNING.4—CUP 3497R1 and COA.60.PLANNING.3—COA 3686 and COA 10.BS GRADE.8—CUP 3497R1 and CUP 3686)

ii. Separate waste containers for recyclable materials recovery shall be provided onsite (COA's 90.PLANNING.8—CUP 3497R1 and CUP 3686).

iii. Compliance with 2010 California Building Code for energy efficiency (COA 10.BS PLAN CHECK.1—CUP 3497R1 and CUP 3686).

As a result of implementation of, and compliance with, the above measures, the project will reduce greenhouse gas emissions below that expected for a business-as-usual project, consistent with the policies and plans of the County (including the draft CAP) and the State, AB 32 in particular. These measures ensure that the project will not conflict with the any applicable plans, policies or regulations related to reducing greenhouse gas emissions and will not hinder County attainment goals. For these reasons, the project's effect on the attainment of these plans will be less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

HAZARDS AND HAZARDOUS MATERIALS Would the project				
22. Hazards and Hazardous Materials	☐	☐	☒	☐
a. Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?				
b. Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous	☐	☐	☐	☒

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
materials into the environment?				
c. Impair implementation of or physically interfere with an adopted emergency response plan or an emergency evacuation plan?	☐	☐	☐	☒
d. Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?	☐	☐	☐	☒
e. Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?	☐	☐	☐	☒

Source: Project Application Materials, Department of Environmental Health Review

Findings of Fact:

a) The project does not propose any use that would involve the transport, use, or disposal of hazardous material—beyond a small increase in typical household cleaner. Therefore, less than significant impacts are expected.

b) The proposed project is not anticipated to create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment. Therefore, there is no impact.

c) The proposed project will not impair implementation of or physically interfere with an adopted emergency response plan or an emergency evacuation plan. The project allows for adequate emergency access. Therefore, there is no impact.

d) There are no existing or proposed schools within one-quarter mile of the project site. Also, the proposed project does not propose the transportation of substantial amounts of hazardous materials. Therefore, there is no impact.

e) The proposed project is not located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, would not create a significant hazard to the public or the environment. Therefore, there is no impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

23. Airports	☐	☐	☐	☒
a. Result in an inconsistency with an Airport Master Plan?				
b. Require review by the Airport Land Use Commission?	☐	☐	☐	☒
c. For a project located within an airport land use plan or, where such a plan has not been adopted,	☐	☐	☐	☒

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
within two miles of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area?				
d. For a project within the vicinity of a private airstrip, or heliport, would the project result in a safety hazard for people residing or working in the project area?	☐	☐	☐	☒

Source: Riverside County General Plan Figure S-19 "Airport Locations," GIS database

Findings of Fact:

a) The project site is not located within an Airport Master Plan. No impacts are anticipated.

b) The project site is not located within an Airport Master Plan and was not reviewed by the Airport Land Use Commission. Therefore, there would be no impact.

c) The project site is not located within an airport land use plan. Therefore, there would be no impact.

d) The project site is not located within the vicinity of a private airstrip, or heliport, and therefore would not result in a safety hazard for people residing or working in the project area. Therefore, there is no impact.

Mitigation: No mitigation measures required.

Monitoring: No monitoring measures required.

24. Hazardous Fire Area	☐	☐	☐	☒
a. Expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands?				

Source: Riverside County General Plan Figure S-11 "Wildfire Susceptibility," GIS database

Findings of Fact:

a) The proposed project is not located within a high fire area. The site allows for primary/secondary access for emergency vehicles. It is not anticipated that the proposed project would expose people or structures to a significant risk of loss, injury or death involving wildland fires. Therefore, there is no impact.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
HYDROLOGY AND WATER QUALITY Would the project				
25. Water Quality Impacts	☐	☐	☒	☐
a. Substantially alter the existing drainage pattern of the site or area, including the alteration of the course of a stream or river, in a manner that would result in substantial erosion or siltation on- or off-site?				
b. Violate any water quality standards or waste discharge requirements?	☐	☐	☒	☐
c. Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)?	☐	☐	☒	☐
d. Create or contribute runoff water that would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff?	☐	☐	☒	☐
e. Place housing within a 100-year flood hazard area, as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map?	☐	☐	☐	☒
f. Place within a 100-year flood hazard area structures which would impede or redirect flood flows?	☐	☐	☐	☒
g. Otherwise substantially degrade water quality?	☐	☐	☒	☐
h. Include new or retrofitted stormwater Treatment Control Best Management Practices (BMPs) (e.g. water quality treatment basins, constructed treatment wetlands), the operation of which could result in significant environmental effects (e.g. increased vectors and odors)?	☐	☐	☒	☐

Source: Riverside County Flood Control District Flood Hazard Report/Condition; Coachella Valley Water District Letter dated March 11, 2011

Findings of Fact:

a) The topography consists of flat land and was previously disturbed agriculture land. The project is not anticipated to substantially alter the existing drainage patterns of the area, but will contain new on-site retention basins to retain 100 percent of the runoff for a 100 year flood event. Impacts would be less than significant.

b) The proposed project will not violate any water quality standards or waste discharge requirements. BMPs include minimizing urban runoff, minimizing the impervious footprint, conserving natural areas, and minimizing directly connected impervious areas. Less than significant impacts are anticipated.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact

c) Water service is provided by the Coachella Valley Water District as indicated in their comment letter dated June 3, 2013 and from a private water system. The proposed project will not substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted). Therefore, there is less than significant impact.

d) During construction and grading phase of development, the project has the potential to contribute to additional polluted runoff water. However, the project will not exceed the capacity of existing or planned stormwater drainage systems. The project will be required to provide for adequate drainage facilities and/or appropriate easements should the project exceed current capacity. Therefore, the impact is considered less than significant.

e) The proposed project is not located within a 100-year flood zone. The project will not place housing within a 100-year flood hazard area, as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map. Therefore, no impacts are anticipated.

f) The proposed project is not located within a 100-year flood zone. The project will not place within a 100-year flood hazard area structures which would impede or redirect flood flows. Therefore, no impacts are anticipated.

g) The proposed project is not anticipated to substantially degrade water quality (refer to Finding of Fact 23b). County Flood has reviewed a Preliminary Water Quality Management Plan and found size of the retention basins as being adequate (COA 10.Flood.1—CUP 3497R1 and CUP 3686). Therefore, impacts are considered less than significant.

h) The site has been designed with drainage infrastructure. The proposed project does include the construction of new or retrofitted stormwater Treatment Control Best Management Practices (BMPs) (e.g. water quality treatment basins, constructed treatment wetlands). With required design and improvements, impacts would be less than significant.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

26. Floodplains

Degree of Suitability in 100-Year Floodplains. As indicated below, the appropriate Degree of Suitability has been checked.

NA - Not Applicable ☐ U - Generally Unsuitable ☒ R - Restricted ☐

a. Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner that would result in flooding on- or off-site?	☐	☒	☐	☐
b. Changes in absorption rates or the rate and amount of surface runoff?	☐	☒	☐	☐

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
c. Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam (Dam Inundation Area)?	☐	☐	☒	☐
d. Changes in the amount of surface water in any water body?	☐	☐	☐	☒

Source: Riverside County General Plan Figure S-9 "100- and 500-Year Flood Hazard Zones," Figure S-10 "Dam Failure Inundation Zone," Riverside County Flood Control District Flood Hazard Condition, GIS database; Coachella Valley Water District Letter dated June 3, 2013

Findings of Fact:

a) The project will not substantially alter the existing drainage pattern for the area subject to required design and improvements. The project is affected by 155 acres of off-site tributary with a projected 100 year peak flow of 202 cubic feet per second which would be collected by 68th Avenue and Hammond Road and existing topographic features to match pre-existing conditions. Impacts would be less than significant with mitigation incorporated.

b) Absorption rates and run-off from offsite flows will be addressed by site design including street improvements and retention basins. Impacts would be less than significant with mitigation incorporated.

c) The proposed project would not expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam. In addition, the project site is not located in an area susceptible to the impacts of the failure of a levee or dam. Therefore, impacts are considered less than significant.

d) The proposed project is not expected to change the amount of surface water in any body of water. Therefore, there is no impact.

Mitigation: Compliance with the conditions of approval on file in the Land Management System (LMS), and compliance with the Coachella Valley Water District transmittal letter dated June 3, 2013.

Monitoring: Monitoring shall be provided by Building and Safety Department, Transportation Department, and the Coachella Valley Water District.

LAND USE/PLANNING Would the project				
27. Land Use				
a. Result in a substantial alteration of the present or planned land use of an area?	☐	☐	☒	☐
b. Affect land use within a city sphere of influence and/or within adjacent city or county boundaries?	☐	☐	☐	☒

Source: RCIP, GIS database, Project Application Materials

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact

Findings of Fact:

a) The project would not substantially alter the planned land use of the area since the westerly 11.6 acre portion is intended for a farm labor camp in the "Agriculture" land use designation and the easterly 13.7 acre portion is intended for an migrant agricultural worker mobile home park in the Medium High Density Residential (MHDR) (5-8 D.U./Ac) land use designation. Farm labor camps are conditionally consistent with Agriculture designation. The migrant agricultural worker mobile home park has a proposed density of approximately 6.13 D.U./Ac. within the MHDR allowed density range. Less than significant impacts are anticipated.

b) According to RCLIS (GIS Database), the proposed project is not located within a city sphere of influence for any City or adjacent to any city boundaries, therefore there would be no impact.

Mitigation: No mitigation required.

Monitoring: No monitoring required.

28. Planning				
a. Be consistent with the site's existing or proposed zoning?	☐	☐	☒	☐
b. Be compatible with existing surrounding zoning?	☐	☐	☒	☐
c. Be compatible with existing and planned surrounding land uses?	☐	☐	☒	☐
d. Be consistent with the land use designations and policies of the Comprehensive General Plan (including those of any applicable Specific Plan)?	☐	☐	☒	☐
e. Disrupt or divide the physical arrangement of an established community (including a low-income or minority community)?	☐	☐	☐	☒

Source: Riverside County General Plan Land Use Element, Staff review, GIS database

Findings of Fact:

a) The proposed project site is currently zoned Heavy Agriculture – 10 Acre Minimum (A-2-10) and Controlled Development Areas (W-2). The proposed development with farm labor camp for up to 160 persons would be conditionally consistent within the existing A-2-10 zone and the 84 space migrant agricultural worker mobile home park would be conditionally consistent with the W-2 zone. Impacts would be less than significant.

b) The site is surrounded by land which is zoned A-2-20; the proposed project is conditionally compatible with the existing surrounding zoning. Impacts would be less than significant.

c) The proposed project is surrounded by crops, vacant land, and scattered dwellings. The project on 25 gross acres will be compatible with existing and future land uses in the area.

d) The land use designation for the proposed project site is Agriculture (AG) and Medium High Density Residential (MHDR) (5-8 DU/AC). The proposed project will not result in a substantial

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact

alteration of the present or planned land use of this area. The proposed project is consistent with the land use designation and policies of the General Plan.

e) The proposed project will not disrupt or divide the physical arrangement of an established community.

Mitigation: No mitigation required.

Monitoring: No monitoring required.

MINERAL RESOURCES Would the project				
29. Mineral Resources				
a) Result in the loss of availability of a known mineral resource that would be of value to the region or the residents of the State?	☐	☐	☐	☒
b) Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?	☐	☐	☐	☒
c) Be an incompatible land use located adjacent to a State classified or designated area or existing surface mine?	☐	☐	☐	☒
d) Expose people or property to hazards from proposed, existing or abandoned quarries or mines?	☐	☐	☐	☒

Source: Riverside County General Plan Figure OS-5 "Mineral Resources Area"

Findings of Fact:

a) The project area has not been used for mining. Therefore, the project would not result in the loss of availability of a known mineral resource in an area classified or designated by the State that would be of value to the region or the residents of the State. Therefore, there is no impact.

b) The project site has not been used for mineral resources; therefore, the project will not result in the loss of availability of a locally important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan. Therefore, there is no impact.

c) Surrounding the project site are crops, vacant land, and scattered dwellings. There are no existing surface mines surrounding the project site; therefore, the project will be compatible with the surrounding uses and will not be located adjacent to a State classified, designated area, or existing surface mine. Therefore, there is no impact.

d) The project site is not located adjacent or near an abandoned quarry mine; therefore, the project will not expose people or property to hazards from quarry mines. Therefore, there is no impact.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

NOISE Would the project result in

Definitions for Noise Acceptability Ratings

Where indicated below, the appropriate Noise Acceptability Rating(s) has been checked.

NA - Not Applicable A - Generally Acceptable B - Conditionally Acceptable
C - Generally Unacceptable D - Land Use Discouraged

30. Airport Noise	☐	☐	☐	☒
a. For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport would the project expose people residing or working in the project area to excessive noise levels? NA ☒ A ☐ B ☐ C ☐ D ☐				
b. For a project within the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels? NA ☒ A ☐ B ☐ C ☐ D ☐	☐	☐	☐	☒

Source: Riverside County General Plan Figure S-19 "Airport Locations," County of Riverside Airport Facilities Map

Findings of Fact:

a) The proposed project site is not located within an Airport Influence Area. Therefore, there would be no impact.

b) The proposed project site is not located within the vicinity of a private air strip; therefore, the project will not expose people residing on the project site to excessive noise levels. No impacts are expected.

Mitigation: No mitigation required.

Monitoring: No monitoring required.

31. Railroad Noise NA ☐ A ☐ B ☒ C ☐ D ☐	☐	☒	☐	☐

Source: Riverside County General Plan Figure C-1 "Circulation Plan", GIS database, On-site Inspection

Findings of Fact: The proposed project is located at nearest point approximately 250 feet from an existing railroad located on southwesterly side of Hammond Road. Based on transmittal by Office of Industrial Hygiene dated April 15, 2009, requirements such as, but not limited to, 5-10 foot high combination earthen berms/walls along portions of 68th Avenue and Hammond Road, all mobile

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact

homes having interior noise reduction of 20 dBa CNEL, or higher, to meet the interior noise standard, and all units being required to have a windows closed condition with means of mechanical ventilation, would reduce impacts to less than significant with mitigation incorporated.

Mitigation: Compliance with the conditions of approval on file in the LMS (COA's 80.PLANING.10 and 90.PLANNING.13 —CUP 3497R1 and COA's 80.PLANNING.8 and 90.PLANNING.11--CUP 3686), and transmittal from the Office of Industrial Hygiene dated April 15, 2009 which includes requirements such as, but not limited to,5-10 foot high combination earthen berms/walls along portions of 68th Avenue and Hammond Road, all mobile homes having interior noise reduction of 20 dBa CNEL, or higher, to meet the interior noise standard, and all units being required to have a windows closed condition with means of mechanical ventilation.

Monitoring: Monitoring shall be provided by the Building and Safety Department and Office of Industrial Hygiene.

32. Highway Noise NA ☐ A ☐ B ☒ C ☐ D ☐	☐	☒	☐	☐

Source: On-site Inspection, Project Application Materials

Findings of Fact: The proposed project is located in the vicinity of State Highway 111. Based on transmittal by Office of Industrial Hygiene dated April 15, 2009, requirements for 5-10 foot high combination earthen berms/walls along portions of 68th Avenue and Hammond Road would reduce impacts to less than significant with mitigation incorporated.

Mitigation: Compliance with conditions of approval on file in the LMS (COA's 80.PLANING.10 and 90.PLANNING.13 —CUP 3497R1 and COA's 80.PLANNING.8 and 90.PLANNING.11--CUP 3686), and transmittal from the Office of Industrial Hygiene dated April 15, 2009, which includes requirements such as, but not limited to, 5-10 foot high combination earthen berms/walls along portions of 68th Avenue and Hammond Road, all mobile homes having interior noise reduction of 20 dBa CNEL, or higher, to meet the interior noise standard, and all units being required to have a windows closed condition with means of mechanical ventilation.

Monitoring: Monitoring shall be provided by the Building and Safety Department and Office of Industrial Hygiene.

33. Other Noise NA ☐ A ☒ B ☐ C ☐ D ☐	☐	☐	☒	☐

Source: Project Application Materials, Riverside County Land Information System (RCLIS), County Ordinance No. 847 (Regulating Noise in Riverside County)

Findings of Fact: Short-term, construction-related noise impacts may occur during project grading and construction. However, construction activities will be required to comply with County noise standards. Since the construction site is within one-quarter mile of an occupied residence, no construction activities shall be undertaken between the hours of 6:00 p.m. and 6:00 a.m. during the months of June through September and between the hours of 6:00 p.m. and 7:00 a.m. during the months of October through May. All construction vehicles, equipment fixed or mobile shall be equipped with properly operating and maintained mufflers. During construction, best efforts will be

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact

made to locate stockpiling and/or vehicle staging areas as far as practical from existing residential dwellings. Impacts would be less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation measures are required.

34. Noise Effects on or by the Project	☐	☐	☒	☐
a. A substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project?				
b. A substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project?	☐	☐	☒	☐
c. Exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?	☐	☒	☐	☐
d. Exposure of persons to or generation of excessive ground-borne vibration or ground-borne noise levels?	☐	☒	☐	☐

Source: Riverside County General Plan, Table N-1 ("Land Use Compatibility for Community Noise Exposure"); Project Application Materials

Findings of Fact:

a) The proposed project will raise ambient noise levels in the area which currently exist without the project. However, the project shall not create a substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project. The development of the proposed project will not substantially increase ambient noise levels. Therefore, this impact is considered less than significant.

b) The proposed project may create a substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project during construction. As discussed in Finding of Fact 33-Other Noise, construction hours would be limited due to the proximity of the project site to occupied residences. The project will be consistent with the County Noise Ordinance No. 847, therefore, impacts are considered less than significant.

c) The proposed project will not expose people to or generate noise levels in excess of standards established in the local general plan, noise ordinance (County Ordinance No. 847), or applicable standards of other agencies, subject to compliance with measures outlined in Office of Industrial Hygiene transmittal dated April 15, 2009. Exterior noise levels will be limited to less than or equal to 45 dB(A) 10-minute LEQ between the hours of 10:00 p.m. to 7:00 a.m., and 65 dB(A) at all other times pursuant to County Ordinance No. 847. Impacts would be less than significant with mitigation incorporated.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact

d) The proposed project will not expose people to or generate excessive ground-borne vibration or ground-borne noise levels, subject to compliance with measures outlined in the Office of Industrial Hygiene transmittal letter dated April 15, 2009. Impacts would be less than significant with mitigation incorporated.

Mitigation: Compliance with conditions of approval on file in the LMS (COA's 80.PLANING.10 and 90.PLANNING.13 —CUP 3497R1 and COA's 80.PLANNING.8 and 90.PLANNING.11--CUP 3686), and transmittal from the Office of Industrial Hygiene dated April 15, 2009, which includes requirements such as, but not limited to, 5-10 foot high combination earthen berms/walls along portions of 68th Avenue and Hammond Road, all mobile homes having interior noise reduction of 20 dBa CNEL, or higher, to meet the interior noise standard, and all units being required to have a windows closed condition with means of mechanical ventilation.

Monitoring: Monitoring shall be provided by the Building and Safety Department and Office of Industrial Hygiene.

POPULATION AND HOUSING Would the project				
35. Housing	☐	☐	☐	☒
a. Displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere?				
b. Create a demand for additional housing, particularly housing affordable to households earning 80% or less of the County's median income?	☐	☐	☒	☐
c. Displace substantial numbers of people, necessitating the construction of replacement housing elsewhere?	☐	☐	☐	☒
d. Affect a County Redevelopment Project Area?	☐	☐	☐	☒
e. Cumulatively exceed official regional or local population projections?	☐	☐	☒	☐
f. Induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?	☐	☐	☐	☒

Source: Project Application Materials, GIS database, Riverside County General Plan Housing Element

Findings of Fact:

a) The proposed project site contains no existing occupied units and the majority of the land is vacant. The proposed project will not displace any existing residences with proposed addition of farm labor camp for 160 persons and mobile home park with 84 spaces. Therefore, there is no impact.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact

b) The proposed project creates farm labor housing as currently allowed in the existing A-2-10 zone and W-2 zone and would include affordable units. Therefore, the impact would be less than significant.

c) The proposed project site contains vacant land and modular shower facilities; therefore, it will not displace substantial numbers of people, necessitating the construction of replacement housing elsewhere.

d) The project is not located within or near a County Redevelopment Project Area.

e) The project with farm labor camp and migrant agricultural mobile home park would equate to an increase of approximately 400 additional persons. Farm labor housing would bring new residents to the site. This population increase will not exceed official regional or local population projections and therefore impacts are less than significant.

f) The project will not induce substantial population growth in an area.

Mitigation: No mitigation required.

Monitoring: No monitoring required.

PUBLIC SERVICES Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered government facilities or the need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:

36. Fire Services	☐	☐	☒	☐

Source: Riverside County General Plan Safety Element

Findings of Fact:

The proposed project will have a less than significant impact on the demand for Fire services since project is required to provide adequate fire access along Hammond Road and 68th Avenue. Additionally, the project will not result in substantial adverse physical impacts associated with the provision of new or physically altered government facilities or the need for new or physically altered governmental facilities. As such, this project will not cause additional construction that would result in any significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services. Therefore, the impact is considered less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
37. Sheriff Services	☐	☐	☒	☐

Source: General Plan

Findings of Fact:

The Riverside County Sheriff's Department (RCSD) provides law enforcement and crime prevention services to the project site. Similar to fire protection services, the proposed project will incrementally increase the demand for sheriff services in the project area; however, due to its limited size, the proposed project will not create a significant impact on sheriff services. The proposed project will have a less than significant impact on sheriff services and no mitigation measures are required.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required

38. Schools	☐	☐	☒	☐

Source: Riverside Unified School District correspondence, GIS database

Findings of Fact:

The Coachella Valley Unified School District provides public education services for the project area. The applicant of this project is conditioned to pay the school impact fees for residential uses as set by State Law. Fees are required to be paid prior to issuance of any building permits (COA 80.PLANNING.9—CUP 3497R1) (COA 80.PLANNING.5—CUP 3686). Therefore, with payment of school fees the potential impact is mitigated to a less than significant level.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

39. Libraries	☐	☐	☒	☐

Source: General Plan

Findings of Fact:

The proposed development may have impacts on library resources because it will generate end users, however, impacts are considered less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
40. Health Services	☐	☐	☒	☐

Source: General Plan

Findings of Fact:

The proposed project will not have a significant impact on health services and no mitigation measures are required. Due to slight population increase, impacts are considered less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

RECREATION				
41. Parks and Recreation	☐	☐	☐	☒
a. Would the project include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?				
b. Would the project include the use of existing neighborhood or regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?	☐	☐	☒	☐
c. Is the project located within a C.S.A. or recreation and park district with a Community Parks and Recreation Plan (Quimby fees)?	☐	☐	☐	☒

Source: Riverside County Land Information System (RCLIS); County Ordinance No. 460, Section 10.35 (Regulating the Division of Land – Park and Recreation Fees and Dedications); County Ordinance No. 659.10 (Establishing Development Impact Fees)

Findings of Fact:

a) The scope of the proposed project does not involve the construction or expansion of recreational facilities that would have an adverse physical impact on the environment. Therefore, there would be no impact.

b) Future residents of the project site could potentially use neighboring recreational facilities. Due to the size of the proposed development, which entails the addition of persons to the area, it is anticipated that the project would generate less than significant impacts to nearby parks and recreational facilities.

c) The project is not subject to Quimby fees at that time with no proposed land division. Thus, there is no impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
42. Recreational Trails	☐	☐	☐	☒

Source: Open Space and Conservation Map for Western County trail alignments

Findings of Fact:

The General Plan does not identify any trails on this site and the proposed project has not incorporated any trails into its design; therefore, the project will have no impact on recreational trails.

Mitigation: No mitigation required.

Monitoring: No monitoring required.

TRANSPORTATION/TRAFFIC Would the project				
43. Circulation	☐	☒	☐	☐
a) Conflict with an applicable plan, ordinance or policy establishing a measure of effectiveness for the performance of the circulation system, taking into account all modes of transportation, including mass transit and non-motorized travel and relevant components of the circulation system, including but not limited to intersections, streets, highways and freeways, pedestrian and bicycle paths, and mass transit?				
b) Conflict with an applicable congestion management program, including, but not limited to level of service standards and travel demand measures, or other standards established by the county congestion management agency for designated roads or highways?	☐	☐	☒	☐
c) Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks?	☐	☐	☐	☒
d) Alter waterborne, rail or air traffic?	☐	☐	☐	☒
e) Substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g. farm equipment)?	☐	☐	☐	☒
f) Cause an effect upon, or a need for new or altered maintenance of roads?	☐	☐	☒	☐
g) Cause an effect upon circulation during the project's construction?	☐	☐	☒	☐
h) Result in inadequate emergency access or access to nearby uses?	☐	☐	☒	☐
i) Conflict with adopted policies, plans or programs regarding public transit, bikeways or pedestrian facilities, or otherwise substantially decrease the performance or safety of such facilities?	☐	☐	☐	☒

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact

Source: General Plan; Riverside County Transportation Department Review, Riverside County Fire Department Review

Findings of Fact:

a) The proposed project will increase vehicular traffic with required dedications/improvements for Hammond Road (91' ROW) and realignment of 68th Avenue (103' ROW) which includes new street lighting (COA 90.TRANS.8 – CUP 3686). However, the Transportation Department did not require a traffic study for the proposed project. The project will not cause an increase in traffic which is substantial in relation to the existing traffic loads and capacity of the street system. Nor will the project conflict with any County policy regarding mass transit. Due to required road dedications/improvements, including realignment of Avenue 68, impacts are considered less than significant with mitigation incorporated.

b) The project site meets all parking requirements of Ordinance No. 348 Section 18.12 "Off-Street Parking." Nor will the project conflict with an applicable congestion management plan. Impacts would be less than significant.

c & d) The proposed project is not located within an Airport Influence Area. The project will not change air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks. Therefore, there is no impact.

e) The proposed project will not substantially increase hazards to a design feature (e.g. sharp curves or dangerous intersections) or incompatible uses (e.g. farm equipment). Therefore, there is no impact.

f) The project will cause a slight increase in the population of the area, thus creating an increase in maintenance responsibility. A portion of property taxes are provided to the Community Services District to offset the increased cost of maintenance. Therefore, there is a less than significant impact.

g) It is not anticipated that there will be a substantial effect upon circulation during the proposed project's construction. Therefore, this impact is considered less than significant.

h) The proposed project will not result in inadequate emergency access or access to nearby uses. Therefore, this impact is considered less than significant.

i) The proposed project will not conflict with adopted policies supporting alternative transportation (e.g. bus turnouts, bicycle racks). Therefore, there is no impact.

Mitigation: Compliance with the conditions of approval on file in the LMS including conditions for right-of-way dedication and street improvements, such as COA 80.TRANS.4 – ROW Dedication and 90.TRANS.20—IMP Plans (CUP 3497R1 and CUP 3686).

Monitoring: Monitoring shall be provided by the Transportation Department.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
44. Bike Trails	☐	☐	☐	☒

Source: General Plan

Findings of Fact:

The project is not located adjacent to or nearby any designated bike trails. Therefore, there is no impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

UTILITY AND SERVICE SYSTEMS Would the project				
45. Water				
a) Require or result in the construction of new water treatment facilities or expansion of existing facilities, the construction of which would cause significant environmental effects?	☐	☒	☐	☐
b) Have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed?	☐	☒	☐	☐

Source: Department of Environmental Health Review

Findings of Fact:

a) The proposed project is served by the Coachella Valley Water District and private water system which includes an on-site well along with related infrastructure such as water meters and water lines. Impacts would be less than significant with mitigation incorporated.

b) The proposed project will be served by the Coachella Valley Water District (CVWD) and private water system. Based on review by CVWD, it is anticipated that the project will have sufficient water supplies available for the proposed development. The impact is considered less than significant with mitigation incorporated.

Mitigation: Compliance with the conditions of approval on file in the LMS such as COA 10.E HEALTH.1—CUP 3497R1 and CUP 3686, and transmittal from the Coachella Valley Water District dated June 3, 2013.

Monitoring: Monitoring shall be provided by the Building and Safety Department, Environmental Health Department, and the Coachella Valley Water District.

46. Sewer				
a) Require or result in the construction of new wastewater treatment facilities, including septic systems, or expansion of existing facilities, the construction of which would cause significant environmental effects?	☐	☒	☐	☐

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
b) Result in a determination by the wastewater treatment provider that serves or may service the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?	☐	☒	☐	☐

Source: Department of Environmental Health Review

Findings of Fact:

a) The proposed project would result in the construction of new waste water treatment facilities by Coachella Valley Water District (CVWD) and private sewer system that will be handled by a package Lift Station and then will be tied into the main CVWD main sewer pipeline on Hammond Road prior to project occupancy. The construction of new wastewater treatment systems is not anticipated to cause significant environmental effects due to flat topography and nearby water district facilities. Impacts would be less than significant with mitigation incorporated.

b) The proposed project will have adequate wastewater treatment capacity to serve the project site subject to new CVWD sewer pipeline along Hammond Road and private sewer improvements such as a package Lift station prior to project occupancy. Therefore, the project will not result in service that has inadequate capacity to serve the project's projected demand. Impacts would be less than significant with mitigation incorporated.

Mitigation: Compliance with the conditions of approval on file in the LMS such as COA 10.E HEALTH.1—CUP 3497R1 and CUP 3686, and transmittal from the Coachella Valley Water District dated June 3, 2013.

Monitoring: Monitoring shall be provided by the Building and Safety Department, Environmental Health Department, and the Coachella Valley Water District.

47. Solid Waste a) Is the project served by a landfill with sufficient permitted capacity to accommodate the project's solid waste disposal needs?	☐	☐	☒	☐
b) Does the project comply with federal, state, and local statutes and regulations related to solid wastes including the CIWMP (County Integrated Waste Management Plan)?	☐	☐	☒	☐

Source: General Plan, Riverside County Waste Management District correspondence

Findings of Fact:

a-b) The project will not generate significant amounts of construction or demolition waste. The project is subject to the Riverside County Waste Management Department transmittal letter dated July 16, 2012 which requires a Waste Recycling Plan prior to issuance of building permit. The proposed project will not require nor result in the construction of new landfill facilities, including the expansion of existing facilities. Impacts would be less than significant.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact

Mitigation: No mitigation required.

Monitoring: No monitoring required.

48. Utilities

Would the project impact the following facilities requiring or resulting in the construction of new facilities or the expansion of existing facilities; the construction of which could cause significant environmental effects?

a) Electricity?	☐	☐	☒	☐
b) Natural gas?	☐	☐	☒	☐
c) Communications systems?	☐	☐	☒	☐
d) Storm water drainage?	☐	☐	☒	☐
e) Street lighting?	☐	☐	☒	☐
f) Maintenance of public facilities, including roads?	☐	☐	☒	☐
g) Other governmental services?	☐	☐	☐	☒

Source: General Plan

Findings of Fact:

a,b,c) The project will require utility services in the form of electricity, natural gas, and telecommunications for any future development. Each of the utility systems is available at the project site and lines will have to be extended onto the site, which will already be disturbed by grading and other construction activities. These impacts are considered less than significant based on the availability of existing public facilities that support local systems. Compliance with the requirements of Imperial Irrigation District, Southern California Gas, and the telephone company will ensure that potential impacts to utility systems are reduced to a non-significant level.

d) Storm water drainage will be handled both on and off site from existing/planned site improvements, adjacent roadways and based on required on-site retention as described in the Coachella Valley District transmittal letter dated June 3, 2013.

e) Cumulative traffic impacts from the project will result in the need for additional street lights. Electricity is available at the project site and lines will have to be extended onto the site, which will already be disturbed by grading and other construction activities. These impacts are considered less than significant based on the availability of existing public facilities that support local systems.

f) Maintenance of public roads will be required to support the new development. The impact would be less than significant.

g) The project will not require additional government services.

Mitigation: No mitigation required.

Monitoring: No monitoring required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
49. Energy Conservation a) Would the project conflict with any adopted energy conservation plans?	☐	☐	☐	☒

Source: General Plan

Findings of Fact:

a) The County has not adopted any energy conservation plans, nor do any State or Federal energy conservation plans apply to the project site.

Mitigation: No mitigation required.

Monitoring: No monitoring required

MANDATORY FINDINGS OF SIGNIFICANCE				
50. Does the project have the potential to substantially degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal, or eliminate important examples of the major periods of California history or prehistory?	☐	☐	☒	☐

Source: Staff review, Project Application Materials

Findings of Fact: Implementation of the proposed project would not substantially degrade the quality of the environment, substantially reduce the habitat of fish or wildlife species, cause a fish or wildlife populations to drop below self-sustaining levels, threaten to eliminate a plant or animal community, or reduce the number or restrict the range of a rare or endangered plant or animal, or eliminate important examples of the major periods of California history or prehistory.

51. Does the project have impacts which are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, other current projects and probable future projects)?	☐	☐	☒	☐

Source: Staff review, Project Application Materials

Findings of Fact: The project does not have impacts which are individually limited, but cumulatively considerable. Most of the area consists of large crops and scattered dwellings. The introduction of

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
minor amounts of new possible sites will not cumulatively impact the area as adequate resources and infrastructure exist to accommodate the increase in capacity.				
52. Does the project have environmental effects that will cause substantial adverse effects on human beings, either directly or indirectly?	☐	☐	☒	☐

Source: Staff review, project application

Findings of Fact: The proposed project would not result in environmental effects which would cause substantial adverse effects on human beings, either directly or indirectly.

VI. EARLIER ANALYSES

Earlier analyses may be used where, pursuant to the tiering, program EIR, or other CEQA process, an effect has been adequately analyzed in an earlier EIR or negative declaration as per California Code of Regulations, Section 15063 (c) (3) (D). In this case, a brief discussion should identify the following:

Earlier Analyses Used, if any: Conditional Use Permit No. 3497

CAPCOA, CEQA and Climate Change, January 2008.
GIS: Riverside County Geographic Information System database.
CVMSHCP: CV Multiple Species Habitat Conservation Plan.
Riverside County General Plan, Adopted October 7, 2003.

Location Where Earlier Analyses, if used, are available for review:

Location: County of Riverside Planning Department
4080 Lemon Street, 12th Floor
Riverside, CA 92501

VII. AUTHORITIES CITED

Authorities cited: Public Resources Code Sections 21083 and 21083.05; References: California Government Code Section 65088.4; Public Resources Code Sections 21080(c), 21080.1, 21080.3, 21082.1, 21083, 21083.05, 21083.3, 21093, 21094, 21095 and 21151; *Sundstrom v. County of Mendocino* (1988) 202 Cal.App.3d 296; *Leonoff v. Monterey Board of Supervisors* (1990) 222 Cal.App.3d 1337; *Eureka Citizens for Responsible Govt. v. City of Eureka (2007)* 147 Cal.App.4th 357; *Protect the Historic Amador Waterways v. Amador Water Agency* (2004) 116 Cal.App.4th at 1109; *San Franciscans Upholding the Downtown Plan v. City and County of San Francisco* (2002) 102 Cal.App.4th 656.

FAST TRACK CONDITIONAL USE PERMIT

NO. 3497, REVISED PERMIT NO. 1

10. GENERAL CONDITIONS

EVERY DEPARTMENT

10. EVERY. 1 USE - PROJECT DESCRIPTION RECOMMND

The use hereby permitted is for a farm labor camp/migrant housing facility and this revised permit increases the number of beds from 96 to 160 in four (4) dormitory buildings totaling approximately 17,544 square feet along with 5,544 square foot community center building with availability of church services for approximately 90 people, as well as a 2,084 square foot manager's quarters and a 924 square foot laundry building, located within Assessor's Parcel Number 729-050-002.

10. EVERY. 2 USE - HOLD HARMLESS RECOMMND

The applicant/permittee or any successor-in-interest shall defend, indemnify, and hold harmless the County of Riverside or its agents, officers, and employees (COUNTY) from the following:

(a) any claim, action, or proceeding against the COUNTY to attack, set aside, void, or annul an approval of the COUNTY, its advisory agencies, appeal boards, or legislative body concerning the CONDITIONAL USE PERMIT; and,

(b) any claim, action or proceeding against the COUNTY to attack, set aside, void or annul any other decision made by the COUNTY concerning the CONDITIONAL USE PERMIT, including, but not limited to, decisions made in response to California Public Records Act requests.

The COUNTY shall promptly notify the applicant/permittee of any such claim, action, or proceeding and shall cooperate fully in the defense. If the COUNTY fails to promptly notify the applicant/permittee of any such claim, action, or proceeding or fails to cooperate fully in the defense, the applicant/permittee shall not, thereafter, be responsible to defend, indemnify or hold harmless the COUNTY.

The obligations imposed by this condition include, but are not limited to, the following: the applicant/permittee shall pay all legal services expenses the COUNTY incurs in connection with any such claim, action or proceeding, whether it incurs such expenses directly, whether it is ordered by a court to pay such expenses, or whether it

10. GENERAL CONDITIONS

10. EVERY. 2 USE - HOLD HARMLESS (cont.) RECOMMND

incurs such expenses by providing legal services through its Office of County Counsel.

10. EVERY. 3 USE - DEFINITIONS RECOMMND

The words identified in the following list that appear in all capitals in the attached conditions of Conditional Use Permit No. 3497, Revised Permit No. 1 shall be henceforth defined as follows:

APPROVED EXHIBIT A = Conditional Use Permit No. 3497, Revised Permit No. 1, Exhibit A, Amended No. 2 (Sheets 1-2), Exhibits B-1 through B-11 (Elevations/Floor Plans), Exhibits M-1 through M-5 (Color Elevations), Exhibit L (Landscaping Plans), and Exhibit S (Freestanding Sign).

BS GRADE DEPARTMENT

10.BS GRADE. 1 USE - GENERAL INTRODUCTION RECOMMND

Improvements such as grading, filling, over excavation and recompaction, and base or paving which require a grading permit are subject to the included Building and Safety Department Grading Division conditions of approval.

10.BS GRADE. 3 USE - OBEY ALL GDG REGS RECOMMND

All grading shall conform to the California Building Code, Ordinance 457, and all other relevant laws, rules, and regulations governing grading in Riverside County and prior to commencing any grading which includes 50 or more cubic yards, the applicant shall obtain a grading permit from the Building and Safety Department.

10.BS GRADE. 4 USE - DISTURBS NEED G/PMT RECOMMND

Ordinance 457 requires a grading permit prior to clearing, grubbing, or any top soil disturbances related to construction grading.

10.BS GRADE. 6 USE - NPDES INSPECTIONS RECOMMND

Construction activities including clearing, stockpiling, grading or excavation of land which disturbs less than 1 acre and requires a grading permit or construction Building permit shall provide for effective control of erosion,

10. GENERAL CONDITIONS

10.BS GRADE. 6 USE - NPDES INSPECTIONS (cont.) RECOMMND

sediment and all other pollutants year-round. The permit holder shall be responsible for the installation and monitoring of effective erosion and sediment controls. Such controls will be evaluated by the Department of Building and Safety periodically and prior to permit Final to verify compliance with industry recognized erosion control measures.

Construction activities including but not limited to clearing, stockpiling, grading or excavation of land, which disturbs 1 acre or more or on-sites which are part of a larger common plan of development which disturbs less than 1 acre are required to obtain coverage under the construction general permit with the State Water Resources Control Board. You are required to provide proof of WDID# and keep a current copy of the storm water pollution prevention plan (SWPPP) on the construction site and shall be made available to the Department of Building and Safety upon request.

Year-round, Best Management Practices (BMP's) shall be maintained and be in place for all areas that have been graded or disturbed and for all material, equipment and/or operations that need protection. Stabilized Construction Entrances and project perimeter linear barriers are required year round. Removal BMP's (those BMP's which must be temporarily removed during construction activities) shall be in place at the end of each working day.

Monitoring for erosion and sediment control is required and shall be performed by the QSD or QSP as required by the Construction General Permit. Stormwater samples are required for all discharge locations and projects may not exceed limits set forth by the Construction General Permit Numeric Action Levels and/or Numeric Effluent Levels. A Rain Event Action Plan is required when there is a 50% or greater forecast of rain within the 48 hours, by the National Weather Service or whenever rain is imminent. The QSD or QSP must print and save records of the precipitation forecast for the project location area from (http://www.srh.noaa.gov/forecast) and must accompany monitoring reports and sampling test data. A Rain gauge is required on site. The Department of Building and Safety will conduct periodic NPDES inspections of the site throughout the recognized storm season to verify compliance with the Construction General Permit and Stormwater

10. GENERAL CONDITIONS

10.BS GRADE. 6 USE - NPDES INSPECTIONS (cont.) (cont.) RECOMMND

ordinances and regulations.

10.BS GRADE. 7 USE - EROSION CNTRL PROTECT RECOMMND

Graded but undeveloped land shall provide, in addition to erosion control planting, any drainage facility deemed necessary to control or prevent erosion. Additional erosion protection may be required during the rainy season from October 1, to May 31.

10.BS GRADE. 8 USE - DUST CONTROL RECOMMND

All necessary measures to control dust shall be implemented by the developer during grading. A PM10 plan may be required at the time a grading permit is issued.

10.BS GRADE. 9 USE - 2:1 MAX SLOPE RATIO RECOMMND

Graded slopes shall be limited to a maximum steepness ratio of 2:1 (horizontal to vertical) unless otherwise approved.

10.BS GRADE. 11 USE - MINIMUM DRNAGE GRADE RECOMMND

Minimum drainage grade shall be 1% except on portland cement concrete where .35% shall be the minimum.

10.BS GRADE. 12 USE - DRAINAGE & TERRACING RECOMMND

Provide drainage facilities and terracing in conformance with the California Building Code's chapter on "EXCAVATION & GRADING".

10.BS GRADE. 13 USE - SLOPE SETBACKS RECOMMND

Observe slope setbacks from buildings & property lines per the California Building Code as amended by Ordinance 457.

10.BS GRADE. 18 USE - OFFST. PAVED PKG RECOMMND

All offstreet parking areas which are conditioned to be paved shall conform to Ordinance 457 base and paving design and inspection requirements.

10. GENERAL CONDITIONS

10.BS GRADE. 20 USE - RETAINING WALLS RECOMMND

Lots which propose retaining walls will require separate permits. They shall be obtained prior to the issuance of any other building permits - unless otherwise approved by the Building and Safety Director. The walls shall be designed by a Registered Civil Engineer - unless they conform to the County Standard Retaining Wall designs shown on the Building and Safety Department form 284-197.

10.BS GRADE. 23 USE - MANUFACTURED SLOPES RECOMMND

Plant and irrigate all manufactured slopes equal to or greater than 3 feet in vertical height with drought tolerant grass or ground cover; slopes 15 feet or greater in vertical height shall also be planted with drought tolerant shrubs or trees in accordance with the requirements of Ordinance 457.

10.BS GRADE. 24 USE - FINISH GRADE RECOMMND

Finish grade shall be sloped to provide proper drainage away from all exterior foundation walls in accordance with the California Building Code and Ordinance 457.

BS PLNCK DEPARTMENT

10.BS PLNCK. 1 USE - PLAN CHECK RECOMMND

Related cases for this project include CZ07785, CUP03686 for the proposed construction of a mobile home park consisting of 84 spaces, a community center, and a day care facility. CUP03497R1 includes a proposed dormitory to house up to 160 workers, a community building and an on-site manager's quarters. The dormatory, community building and managers quarters will each require BNR permit types and comply with minimum occupancy classification requirements.

PERMIT ISSUANCE:
Per section 105.1 (2010 California Building Code, CBC): Where any owner or authorized agent intends to construct, enlarge, alter , repair, move, demolish or change the occupancy of a building or structure, or to erect, install, enlarge, alter, repair, remove, convert, or replace any electrical, gas, mechanical, or plumbing system, the regulation of which is governed by this code, or to cause any such work to be done, shall first make application to the building official and obtain the required permit.

10. GENERAL CONDITIONS

10.BS PLNCK. 1 USE - PLAN CHECK (cont.) RECOMMND

The applicant shall obtain the required building permit(s) from the building department prior to any construction or placement of any building, structure or equipment on the property.
The applicant shall obtain an approved final building inspection and certificate of occupancy from the building department prior to any use or occupancy of the building, or structure.
At no time shall the approval of the planning case exhibit allow for the construction or use of any building or structure.
In non- residential applications, separate building permits may include a permit for the structure (Shell building), grading, tenant improvements, accessory structures and/or equipment, which may include trash enclosures, light standards, block walls/fencing etcà
In residential applications, each separate structure will require a separate building permit.

ACCESSIBLE PATH OF TRAVEL:
The building plan submittal will include a revised site plan to reflect all required accessible path of travel details. The revised site plan shall include the following information for the required continuous paved accessible path of travel:
1.Connection to the public R.O.W.
2.Connection to all buildings.
3.Connection to areas of public accommodation (Including recreation/sports park facilities and viewing areas.
4.Connection to accessible designed trash enclosures.
5.Connection to mail kiosks.
6.Connection to accessible parking loading/unloading areas.
THE DETAILS SHALL INCLUDE:
1.Accessible path construction type (Concrete or asphalt)
2.Path width.
3.Path slope%, cross slope%.
4.Ramp and curb cut-out locations.
5.Level landing areas at all entrance and egress points.

CODE/ORDINANCE REQUIREMENTS:
The applicant shall obtain the required building permit(s) from the building department prior to any construction on the property. All building plans and supporting documentation shall comply with current adopted California Building Codes, Riverside County Ordinances, and California

10. GENERAL CONDITIONS

10.BS PLNCK. 1 USE - PLAN CHECK (cont.) (cont.) RECOMMND

Title 25 regulations in effect at the time of building plan submittal and fee payment to the Building Department. All Building Department plan submittal and fee requirements shall apply

E HEALTH DEPARTMENT

10.E HEALTH. 1 CVWD WATER AND SEWER SERVICE RECOMMND

Conditional Use Permit#3497 R1 is proposing Coachella Valley Water District (CVWD) potable water and sanitary sewer service. It is the responsibility of the developer to ensure that all requirements to obtain potable water and sanitary sewer service are met with CVWD as well as all other applicable agencies.

10.E HEALTH. 3 WELL(S)-NON-POTABLE USE RECOMMND

All individual well(s) proposed to supply water for fire, irrigation and laundry facilities shall comply with all applicable requirements. All hose bibs served by individual well(s) onsite must be labeled "NON POTABLE, DO NOT DRINK".

10.E HEALTH. 4 INDUSTRIAL HYGIENE-NOISE STUDY RECOMMND

Noise Consultant: Urban Crossroads
41 Corporate Park, Suite 300
Irvine, CA 92606

Noise Study: "San Cristobal Migrant Housing Facility and Los Vinedos Mobil Park Noise Study, County of Riverside, California JN:05970-03 dated November 26, 2008"

Based on the County of Riverside, Industrial Hygiene Program's review the aforementioned Noise Study, Conditional Use Permit#3497 R1 shall comply with the recommendations set forth under Steve Hindi's (RivCo - Industrial Hygienist) response letter dated April 15, 2009.

For further information, please contact the Industrial Hygiene Program at (951) 955-8980.

10. GENERAL CONDITIONS

10.E HEALTH. 5 ENV CLEANUPS PROGRAM-COMMENTS RECOMMND

If a previously unidentified release or threatened release of a hazardous material or presence of a naturally occurring hazardous material is discovered during development at the site, construction activities shall cease and the County of Riverside Department of Environmental Health, Environmental Cleanups Program shall be notified immediately. Additionally, further assessment and/or cleanup may be required.

FIRE DEPARTMENT

10.FIRE. 1 USE-#50-BLUE DOT REFLECTOR RECOMMND

Blue retroreflective pavement markers shall be mounted on private street, public streets and driveways to indicate location of fire hydrants. Prior to installation, placement of markers must be approved by the Riverside County Fire Department.

10.FIRE. 2 USE*-#23-MIN REQ FIRE FLOW INEFFECT

Minimum required fire flow shall be 1500 GPM for a 2 hour duration at 20 PSI residual operating pressure, which must be available before any combustible material is placed on the job site. Fire flow is based on type VB construction per the 2010 CFC and Building(s) having a fire sprinkler system.

10.FIRE. 3 USE-#20-SUPER FIRE HYDRANT RECOMMND

Super fire hydrants) (6"x4"x 2-2 1/2") shall be located ot less than 25 feet or more than 165 feet from any portion of the building as measured along approved vehicular travel ways.

10.FIRE. 4 USE-#19-ON/OFF LOOPED HYD RECOMMND

A combination of on-site and off-site super fire hydrants, on a looped system (6"x4"x 2-2 1/2"), will be located not less than 25 feet or more than 165 feet from any portion of the building as measured along approved vehicular travel ways. The required fire flow shall be available from any adjacent hydrants(s) in the system.

10. GENERAL CONDITIONS

10.FIRE. 5 USE-#89-RAPID ENTRY KEY BOX RECOMMND

A knox box shall be installed on the outside of the buildings. All gates require knox pad locks or automatic key entry. Plans shall be submitted to the Riverside County Fire Department for approval prior to installation.

10.FIRE. 6 USE-#84-TANK PERMITS INEFFECT

Applicant or Developer shall be responsible for obtaining under/aboveground fuel, chemical and mixed liquid storage tank permits, from the Riverside County Fire Department and Environmental Health Departments. Plans must be submitted for approval prior to installation. Aboveground fuel/mixed liquid tanks(s) shall meet the following standard: Tank must be tested and labeled to UL2085 Protected Tank Standard or SwRI 93-01. The test must include the Projectile Penetration Test and the Heavy Vehicle Impact Test. A sample copy of the tank's label from an independent test laboratory must be included with your plans.
Need UL/FM Rating on Fire pump.
Need 2nd back up 55 gal. drum outside the original diesel tank per our agreement (Robert Davis - Land Vision Management).
Thrust block is stated on #43, we need detail on all thrust blocks.
Need to resubmit plans showing the hook up to well.

FLOOD RI DEPARTMENT

10.FLOOD RI. 1 USE FLOOD HAZARD REPORT RECOMMND

Conditional Use Permit 03497, Revised No. 1, is a proposal to modify the previously approved farm labor camp (un-built) by allowing additional occupancy in dormitories with a community building and on-site manager's quarters on an approximately 11-acre site. The site is located in the eastern Coachella Valley between Avenue 68 and Hammond Road west of Grant Street. The Flood Control District did not review or comment on the original project (CUP 3497). CUP 3686, PM 36456 and CZ 7785 are being processed concurrently with CUP 3497R1. CUP 3497R1 is located adjacent to and west of CUP 3686.

It should be noted that the Flood Control District's review of this project is limited to the water quality aspects contained in the Water Quality Management Plan (WQMP) only and the flood protection and drainage aspects/impacts of

10. GENERAL CONDITIONS

10.FLOOD RI. 1 USE FLOOD HAZARD REPORT (cont.) RECOMMND

this project will be reviewed by other departments and/or agencies.

A preliminary project-specific WQMP was submitted for review. For the project's water quality mitigation, a triangular shaped basin is proposed in the southeasterly portion of the site. The basin is designed to collect and retain the 100-year 24-hour storm runoff generated from the site. Calculations submitted indicate the size of the basin is adequate. A final project-specific WQMP will be required. The development must incorporate Site Design Best Management Practices (BMPs) and Source Control BMPs, as applicable and feasible, into the project plans. Site Design BMPs include minimizing urban runoff and impervious footprint, conserving natural areas, and minimizing directly connected impervious areas. Source Control BMPs include education, activity restrictions and proper maintenance (non-structural) as well as proper landscape/irrigation design and the protection of slopes and channels (structural).

PLANNING DEPARTMENT

10.PLANNING. 1 USE - PDP01346 AMENDED RECOMMND

County Paleontological Report (PDP) No. 1346, submitted for this case (CUP03497), was prepared by CRM Tech and is entitled: "Paleontological Resource Assessment Report, San Cristobal Migrant Agricultural Workers Housing, Assessor's Parcel No. 729-050-002, Near the Community of Mecca, Riverside County California", dated February 18, 2009. CUP03497R1, CUP03686 and PM 36456 are located on the same property as CUP03497 and, hence, PDP01346 is acceptable for these new projects.

PDP01346 concluded:

1.The project is determined to have a high potential for containing significant Holocene invertebrate remains and a low to undetermined potential for Pleistocene and Holocene vertebrate fossil remains.

2.The proposed project's potential impact on paleontological resources is determined to range from low to undetermined for Pleistocene and Holocene vertebrate fossil remains and high for significant Holocene

10. GENERAL CONDITIONS

10.PLANNING. 1 USE - PDP01346 AMENDED (cont.) RECOMMND

invertebrate remains.

PDP01346 recommended:

1.As the primary component of the mitigation program, a surface collection of the freshwater mollusk remains exposed on the surface should be accomplished prior to the commencement of the project and all earth-moving operations within the project area should be monitored for any evidence of significant, nonrenewable paleontological resources.

2.Excavations should be monitored by a qualified paleontological monitor. Monitoring should be restricted to undisturbed Lake Cahuilla beds and any undisturbed subsurface older alluvium which might be present below the surface.

3.Collected samples of sediments should be washed to recover small invertebrate and vertebrate fossils.

4.Specimens should be identified, curated, and placed into a repository with permanent retrievable storage.

5.A report of findings, including an itemized inventory of recovered specimens, should be prepared upon completion of the steps outlined above.

PDP01346 satisfies the requirement for a Paleontological Study for Planning/CEQA purposes. PDP01346 is hereby accepted for CUP03497R1, CUP03686 and PM 36456. Prior to grading permit issuance, an appropriate paleontological resource impact mitigation program (PRIMP) shall be submitted to the County Geologist for review and approval, as described elsewhere in this conditions set.

10.PLANNING. 3 USE - COMPLY WITH ORD./CODES RECOMMND

The development of these premises shall comply with the standards of Ordinance No. 348 and all other applicable Riverside County ordinances and State and Federal codes.

The development of the premises shall conform substantially with that as shown on APPROVED EXHIBIT A, unless otherwise amended by these conditions of approval.

10. GENERAL CONDITIONS

10.PLANNING. 4 USE - FEES FOR REVIEW RECOMMND

Any subsequent submittals required by these conditions of approval, including but not limited to grading plan, building plan or mitigation monitoring review, shall be reviewed on an hourly basis (research fee), or other such review fee as may be in effect at the time of submittal, as required by Ordinance No. 671. Each submittal shall be accompanied with a letter clearly indicating which condition or conditions the submittal is intended to comply with.

10.PLANNING. 5 USE - LIGHTING HOODED/DIRECTED RECOMMND

Any outside lighting shall be hooded and directed so as not to shine directly upon adjoining property or public rights-of-way.

10.PLANNING. 6 USE - LAND DIVISION REQUIRED RECOMMND

Prior to the sale of any individual structure as shown on APPROVED EXHIBIT A, a land division shall be recorded in accordance with Riverside County Ordinance No. 460, and any other pertinent ordinance.

10.PLANNING. 7 USE - COLORS & MATERIALS RECOMMND

Building colors and materials shall be in substantial conformance with those shown on APPROVED EXHIBIT A.

10.PLANNING. 9 USE - PHASES ALLOWED RECOMMND

Construction of this project may be done in phases as shown on APPROVED EXHIBIT A. Any additional phases, or modifications to the approved phasing, may be permitted provided a plan for each phase of development is submitted to and approved by the Planning Department. Phasing approval shall not apply to the requirements of any agency other than the Planning Department unless otherwise indicated by the affected agency.

10.PLANNING. 11 USE - EXTERIOR NOISE LEVELS RECOMMND

Exterior noise levels produced by any use allowed under this permit, including, but not limited to, any outdoor public address system, shall not exceed 45 db(A), 10-minute LEQ, between the hours of 10:00 p.m. to 7:00 a.m., and 65 db(A), 10-minute LEQ, at all other times as

10. GENERAL CONDITIONS

10.PLANNING. 11 USE - EXTERIOR NOISE LEVELS (cont.) RECOMMND

measured at any residential, hospital, school, library, nursing home or other similar noise sensitive land use. In the event noise exceeds this standard, the permittee or the permittee's successor-in-interest shall take the necessary steps to remedy the situation, which may include discontinued operation of the facilities. The permit holder shall comply with the applicable standards of Ordinance No. 847.

10.PLANNING. 12 USE - NOISE MONITORING REPORTS RECOMMND

The permit holder may be required to submit periodic noise monitoring reports as determined by the Department of Building and Safety as part of a code enforcement action. Upon written notice from the Department of Building and Safety requiring such a report, the permittee or the permittee's successor-in-interest shall prepare and submit an approved report within thirty (30) calendar days to the Department of Building and Safety, unless more time is allowed through written agreement by the Department of Building and Safety. The noise monitoring report shall be approved by the Office of Industrial Hygiene of the Health Service Agency (the permittee or the permittee's successor-in-interest shall be required to place on deposit sufficient funds to cover the costs of this approval prior to commencing the required report).

10.PLANNING. 13 USE - AGRICULTURE CODES RECOMMND

This property is located within the Coachella Valley and all landscape planting shall comply with the requirements of the State Agriculture Code and the directives of the Riverside County Agricultural Commissioner. All landscaping plans submitted to the Planning Department shall included the following notation: "Warning: Plant material listed may or may not have been approved by the Agricultural Commissioner's office. Landscape contractor, please contact the developer for status of Agricultural Commissioner's approval or denial. Plan material not conforming with quarantine laws may be destroyed and civil action taken. All plant material is subject to inspection at the discretion of the Agricultural Commissioner's office. All plant material must be free from Red Scale (Aonidiella aurantii.)"

10. GENERAL CONDITIONS

10.PLANNING. 14 USE - VOID RELATED PROJECT RECOMMND

Any approval for use of or development on this property that was made pursuant to CUP03497 shall become null and void upon final approval of CUP03497R1 by the County of Riverside.

10.PLANNING. 15 USE - CAUSES FOR REVOCATION RECOMMND

In the event the use hereby permitted under this permit,
a) is found to be in violation of the terms and conditions of this permit,
b) is found to have been obtained by fraud or perjured testimony, or
c) is found to be detrimental to the public health, safety or general welfare, or is a public nuisance, this permit shall be subject to the revocation procedures.

10.PLANNING. 16 USE - CEASED OPERATIONS RECOMMND

In the event the use hereby permitted ceases operation for a period of one (1) year or more, this approval shall become null and void.

10.PLANNING. 17 USE - 90 DAYS TO PROTEST RECOMMND

The project applicant has 90 days from the date of approval of these conditions to protest, in accordance with the procedures set forth in Government Code Section 66020, the imposition of any and all fees, dedications, reservations and/or other exactions imposed on this project as a result of the approval or conditional approval of this project.

10.PLANNING. 18 USE - INADVERTANT ARCHAEO FIND RECOMMND

INADVERTENT ARCHAEOLOGICAL FIND
The developer/permit holder or any successor in interest shall comply with the following for the life of this permit:

If during ground disturbance activities, cultural resources* are discovered that were not assessed by the archaeological report(s) and/or environmental assessment conducted prior to project approval, the following procedures shall be followed:

1. All ground disturbance activities within 100 feet of the discovered cultural resource shall be halted until a

10. GENERAL CONDITIONS

10.PLANNING. 18 USE - INADVERTANT ARCHAEO FIND (cont.) RECOMMND

meeting is convened between the developer, the project archaeologist**, and the County Archaeologist to discuss the significance of the find.

2. The developer shall call the County Archaeologist immediately upon discovery of the cultural resource to convene the meeting.

3. At the meeting, the significance of the discoveries shall be discussed and a decision is to be made, with the concurrence of the County Archaeologist, as to the appropriate mitigation (documentation, recovery, avoidance, etc) for the cultural resource.

4. Further ground disturbance shall not resume within the area of the discovery until a meeting has been convened with the aforementioned parties and a decision is made, with the concurrence of the County Archaeologist, as to the appropriate mitigation measures.

* A cultural resources site is defined, for this condition, as being three or more artifacts in close association with each other, but may include fewer artifacts if the area of the find is determined to be of significance due to it sacred or cultural importance.

** If not already employed by the project developer, a County approved archaeologist shall be employed by the project developer to assess the value/importance of the cultural resource, attend the meeting described above, and continue monitoring of all future site grading activities as necessary.

10.PLANNING. 19 USE - IF HUMAN REMAINS FOUND RECOMMND

IF HUMAN REMAINS ARE FOUND ON THIS SITE:
The developer/permit holder or any successor in interest shall comply with the following codes for the life of this project:

Pursuant to State Health and Safety Code Section 7050.5, if human remains are encountered, no further disturbance shall occur until the County Coroner has made the necessary findings as to origin. Further, pursuant to Public Resources Code Section 5097.98 (b), remains shall be left in place and free from disturbance until a final decision

10. GENERAL CONDITIONS

10.PLANNING. 19 USE - IF HUMAN REMAINS FOUND (cont.) RECOMMND

as to the treatment and their disposition has been made. If the Riverside County Coroner determines the remains to be Native American, the Native American Heritage Commission shall be contacted within the period specified by law. Subsequently, the Native American heritage Commission shall identify the "Most Likely Descendant". The Most Likely Descendant shall then make recommendations and meet with the property owner and the County Archaeologist concerning the treatment of the remains as provided in Public Resources Code Section 5097.98. Human remains from other ethnic/cultural groups with recognized historical associations to the project area shall also be subject to a meeting between appropriate representatives from that group and the County Archaeologist.

10.PLANNING. 20 USE - GEO02136 RECOMMND

County Geologic Report (GEO) No. 2136, submitted for this project (CUP03497) was prepared by Earth Systems Southwest and is entitled: "Geotechnical Engineering Report, Proposed Migrant Housing Facility, Southeast Corner of Avenue 68 and Hammond Road, Mecca, California", dated February, 20, 2008. In addition, Earth Systems prepared the following:

"Addendum to Geotechnical Engineering Report, Earth Systems Southwest, Geotechnical Engineering Report, Proposed Migrant Housing Facility - San Cristobal, Southeast Corner of Avenue 68 and Hammond Road, Mecca, California, File No.: 10113-02, Doc. No.: 0-02-737, dated February 20, 2008", dated January 26, 2009.

"Addendum to Geotechnical Engineering Report and Response to Riverside County Planning Department Review Comments, Earth Systems Southwest, Geotechnical Engineering Report, Proposed Migrant Housing Facility - San Cristobal, Southeast Corner of Avenue 68 and Hammond Road, Mecca, California, File No.: 10113-02, Doc. No.: 0-02-737, dated February 20, 2008", dated May 28, 2009.

These documents are herein incorporated as a part of GEO02136.

GEO02136 concluded:

1.The primary hazard to the site is strong ground shaking

10. GENERAL CONDITIONS

10.PLANNING. 20 USE - GEO02136 (cont.) RECOMMND

from earthquakes along the San Andreas faults.

2.No active faults are mapped in the immediate vicinity of the site.

3.The probability of fault rupture across the site is extremely low.

4.The potential for liquefaction at this site is high.

5.Total ground subsidence induced from liquefaction is estimated to range from about 2 to 3.5 inches. Differential building settlements may be estimated to be about 50 to 67% of the total subsidence (about 2 inches).

6.The hazard from tsunamis is non-existent.

7.Hazards from seiches are considered negligible.

8.Potential hazards from slope instability, landslides, or debris flows are considered negligible.

GEO02136 recommended:

1.Adherence to the grading and structural recommendations in the Earth Systems Southwest February 20, 2009 report.

2.Ground improvement methods to prevent liquefaction from occurring (vibroflotation compaction, stone columns, or compaction grouting) or, at a minimum, a foundation system that can withstand the expected movement without causing such structural damage so as to pose a life-safety hazard.

GEO No. 2136 satisfies the requirement for a Geologic Study for Planning / CEQA purposes CUP03497R1 and CUP03686. GEO No. 2136 is hereby accepted for Planning purposes. This approval is not intended, and should not be misconstrued as approval for grading permit. Engineering and other building code parameters will be reviewed and additional comments and/or conditions may be imposed by the Building and Safety Department upon application for grading and/or building permits.

10. GENERAL CONDITIONS

10.PLANNING. 21 USE - LIMIT ON SIGNAGE RECOMMND

Signage for this project shall be limited to the 8'x 5' freestanding entrance sign shown on APPROVED EXHIBIT A. Any additional signage shall be approved by the Planning Department pursuant to the requirements of Section 18.30 (Planning Department review only) of Ordinance No. 348.

TRANS DEPARTMENT

10.TRANS. 1 USE - COUNTY WEB SITE RECOMMND

Additional information, standards, ordinances, policies, and design guidelines can be obtained from the Transportation Department Web site: http://rctlma.org/trans/. If you have questions, please call the Plan Check Section at (951) 955-6527.

10.TRANS. 6 USE - ASSESS/BENEFIT DIST 1 RECOMMND

Should this project lie within any assessment/benefit district, the project proponent shall, prior to issuance of a building permit, make application for and pay for their reapportionment of the assessments or pay the unit fees in the benefit district.

10.TRANS. 9 USE - STD INTRO (ORD 461) RECOMMND

With respect to the conditions of approval for the referenced tentative exhibit, the landowner shall provide all street improvements, street improvement plans and/or road dedications set forth herein in accordance with Riverside County Road Improvement Standards (Ordinance 461). It is understood that the exhibit correctly shows acceptable centerline elevations, all existing easements, traveled ways, and drainage courses with appropriate Q's, and that their omission or unacceptability may require the exhibit to be resubmitted for further consideration. This ordinance and all conditions of approval are essential parts and a requirement occurring in ONE is as binding as though occurring in all. All questions regarding the true meaning of the conditions shall be referred to the Transportation Department.

10.TRANS. 10 USE - ENCROACHMENT PERMIT RECOMMND

An encroachment permit must be obtained from the Transportation Department prior to the commencement of any

10. GENERAL CONDITIONS

10.TRANS. 10 USE - ENCROACHMENT PERMIT (cont.) RECOMMND

work within the County road right-of-way.

10.TRANS. 11 USE - FLOOD HAZARD REPORT 1 RECOMMND

This is a proposal to construct farm labor housing on 11 acres (APN 729-050-002). This project lies within the limits of the Mecca area on the east side of Hammond and south of 68th Ave. The Mecca area does not have regional facilities and the new development is proposing to retain 100 percent of the runoff for a 100-year event. The owner shall provide mitigation measures to be incorporated into the development to prevent flooding of the site or downstream properties. The 100 percent retention of the post-development runoff from the 100 year storm will be mitigated as part of the drainage improvements for this project.

10.TRANS. 12 USE - FLOOD HAZARD REPORT 2 RECOMMND

This project is located in an area designated Zone D on Federal Flood Insurance Rate Maps which are in effect at this time by the Federal Emergency Management Agency.

10.TRANS. 13 USE - RETENTION BASIN RECOMMND

For retention basin sizing and calculations refer to letter dated October 22, 2012 from Alan French to Majeed Farshad.

10.TRANS. 14 USE - DRAINAGE PROTECTION RECOMMND

The proponent shall protect downstream properties from damages caused by alteration of drainage patterns, i.e., concentration or diversion of flow. Protection shall be provided by constructing adequate drainage facilities including enlarging existing facilities and/or by securing a drainage easement. All drainage easements shall be recorded by separate instrument or on a map and noted as follows, "Drainage Easement - no building, obstructions, or encroachments are allowed.

10.TRANS. 15 USE - ENCROACHMENT PERMIT RECOMMND

An encroachment permit must be obtained from the Transportation Department prior to the commencement of any work within the County road right-of-way.

20. PRIOR TO A CERTAIN DATE

PLANNING DEPARTMENT

20.PLANNING. 1 USE - EXPIRATION DATE-CUP/PUP RECOMMND

This approval shall be used within two (2) years of the approval date; otherwise, it shall become null and void and of no effect whatsoever. By use is meant the beginning of substantial construction contemplated by this approval within two (2) year period which is thereafter diligently pursued to completion or to the actual occupancy of existing buildings or land under the terms of the authorized use. Prior to the expiration of the two year period, the permittee may request a one (1) year extension of time in which to begin substantial construction or use of this permit. Should the one year extension be obtained and no substantial construction or use of this permit be initiated within three (3) years of the approval date this permit, shall become null and void.

20.PLANNING. 2 USE - LIFE OF THE PERMIT RECOMMND

The life of Conditional Use Permit No. 3497R1 shall terminate on July 1, 2023. This permit shall thereafter be null and void and of no effect whatsoever.

60. PRIOR TO GRADING PRMT ISSUANCE

BS GRADE DEPARTMENT

60.BS GRADE. 1 USE - NPDES/SWPPP RECOMMND

Prior to issuance of any grading or construction permits - whichever comes first - the applicant shall provide the Building and Safety Department evidence of compliance with the following: "Effective March 10, 2003 owner operators of grading or construction projects are required to comply with the N.P.D.E.S. (National Pollutant Discharge Elimination System) requirement to obtain a construction permit from the State Water Resource Control Board (SWRCB). The permit requirement applies to grading and construction sites of "ONE" acre or larger. The owner operator can comply by submitting a "Notice of Intent" (NOI), develop and implement a STORM WATER POLLUTION PREVENTION PLAN (SWPPP) and a monitoring program and reporting plan for the construction site. For additional information and to obtain a copy of the NPDES State Construction Permit contact the SWRCB at www.swrcb.ca.gov.

60. PRIOR TO GRADING PRMT ISSUANCE

60.BS GRADE. 1 USE - NPDES/SWPPP (cont.) RECOMMND

Additionally, at the time the county adopts, as part of any ordinance, regulations specific to the N.P.D.E.S., this project (or subdivision) shall comply with them.

60.BS GRADE. 2 USE - GRADING SECURITY RECOMMND

Grading in excess of 199 cubic yards will require a performance security to be posted with the Building and Safety Department.

60.BS GRADE. 3 USE - IMPORT / EXPORT RECOMMND

In instances where a grading plan involves import or export, prior to obtaining a grading permit, the applicant shall have obtained approval for the import/export location from the Building and Safety Department.

A separate stockpile permit is required for the import site. It shall be authorized in conjunction with an approved construction project and shall comply with the requirements of Ordinance 457.

If an Environmental Assessment, prior to issuing a grading permit, did not previously approve either location, a Grading Environmental Assessment shall be submitted to the Planning Director for review and comment and to the Building and Safety Department Director for approval.

Additionally, if the movement of import / export occurs using county roads, review and approval of the haul routes by the Transportation Department may be required.

60.BS GRADE. 4 USE - GEOTECH/SOILS RPTS RECOMMND

Geotechnical soils reports, required in order to obtain a grading permit, shall be submitted to the Building and Safety Department for review and approval prior to issuance of a grading permit. All grading shall be in conformance with the recommendations of the geotechnical/soils reports as approved by Riverside County.* *The geotechnical/soils, compaction and inspection reports will be reviewed in accordance with the RIVERSIDE COUNTY GEOTECHNICAL GUIDELINES FOR REVIEW OF GEOTECHNICAL AND GEOLOGIC REPORTS.

60. PRIOR TO GRADING PRMT ISSUANCE

60.BS GRADE. 6 USE - DRAINAGE DESIGN Q100 RECOMMND

All drainage facilities shall be designed in accordance with the Riverside County Flood Control & Water District's or Coachella Valley Water District's conditions of approval regarding this application. If not specifically addressed in their conditions, drainage shall be designed to accommodate 100 year storm flows.

60.BS GRADE. 7 USE - OFFSITE GRDG ONUS RECOMMND

Prior to the issuance of a grading permit, it shall be the sole responsibility of the owner/applicant to obtain any and all proposed or required easements and/or permissions necessary to perform the grading herein proposed.

60.BS GRADE. 8 USE - NOTARIZED OFFSITE LTR RECOMMND

A notarized letter of permission from the affected property owners or easement holders shall be provided in instances where off site grading is proposed as part of the grading plan.

60.BS GRADE. 9 USE - RECORDED ESMT REQ'D RECOMMND

In instances where the grading plan proposes drainage facilities on adjacent offsite property, the owner/ applicant shall provide a copy of the recorded drainage easement.

60.BS GRADE. 11 USE - APPROVED WQMP RECOMMND

Prior to the issuance of a grading permit, the owner / applicant shall submit to the Building & Safety Department Engineering Division evidence that the project - specific Water Quality Management Plan (WQMP) has been approved by the Riverside County Flood Control District or Riverside County Transportation Department and that all approved water quality treatment control BMPs have been included on the grading plan.

60.BS GRADE. 12 USE - PRE-CONSTRUCTION MTG RECOMMND

Upon receiving grading plan approval and prior to the issuance of a grading permit, the applicant is required to schedule a pre-construction meeting with the Building and Safety Department Environmental Compliance Division.

60. PRIOR TO GRADING PRMT ISSUANCE

60.BS GRADE. 13 USE- PM10 PLAN REQUIRED RECOMMND

A PM10 Fugitive Dust Mitigation Plan, prepared in accordance with AQMD Rule 403.1, shall be submitted to the Building and Safety Department for review and approval prior to the issuance of a grading permit.

1.NOTE: The PM 10 plan shall require the posting of signs in accordance with Building and Safety form "Signage Recommendations".
2.NOTE: All PM 10 measures must be in place prior to commencing any grading activity on site.

60.BS GRADE. 15 USE- PM 10 CLASS REQUIRED RECOMMND

Prior to the issuance of a grading permit, as a requirement of the CIP, the owner, developer, contractor, and their assignees must attend the PM10 class conducted by SCAQMD. Currently, classes are scheduled monthly by SCAQMD.

60.BS GRADE. 16 USE- BMP CONST NPDES PERMIT RECOM

Prior to the issuance of a grading permit, the owner / applicant shall obtain a BMP (Best Management Practices) Permit for the monitoring of the erosion and sediment control BMPs for the site. The Department of Building and Safety will conduct NPDES (National Pollutant Discharge Elimination System) inspections of the site based on Risk Level to verify compliance with the Construction General Permit, Stormwater ordinances and regulations until completion of the construction activities, permanent stabilization of the site and permit final.

60.BS GRADE. 17 USE - SWPPP REVIEW RECOMMND

Grading and construction sites of "ONE" acre or larger required to develop a STORM WATER POLLUTION PREVENTION PLAN (SWPPP) - the owner/applicant shall submit the SWPPP to the Building and Safety Department Environmental Compliance Division for review and approval prior to issuance of a grading permit.

EPD DEPARTMENT

60.EPD. 1 EPD - PRECONSTRUCTIONS SURVEY RECOMMND

A PRECONSTRUCTION SURVEY FOR BURROWING OWL AND GROUND NESTING BIRDS MUST BE CONDUCTED WITHIN 30 DAYS PRIOR TO

60. PRIOR TO GRADING PRMT ISSUANCE

60.EPD. 1 EPD - PRECONSTRUCTIONS SURVEY (cont.) RECOMMND

ISSUANCE OF ANY GRADING PERMIT FOR CUP03497R1.

FLOOD RI DEPARTMENT

60.FLOOD RI. 1 USE SUBMIT FINAL WQMP RECOMMND

A copy of the project specific WQMP shall be submitted to the District for review and approval.

60.FLOOD RI. 2 USE SUBMIT PLANS MINOR REVIEW RECOMMND

The scope of the District review will be limited to verification that this proposal has met its obligation under the County's municipal stormwater permit. A copy of the BMP improvement plans along with any necessary documentation shall be submitted to the Districts Plan Check Section for review. A copy of the improvement and grading plans shall be included for reference. The plans must receive the District's approval prior to issuance of permits. All submittals shall be date stamped by the engineer and include a completed Flood Control Deposit Based Fee Worksheet and the appropriate plan check fee deposit.

PLANNING DEPARTMENT

60.PLANNING. 3 USE - CVWD CLEARANCE RECOMMND

A clearance letter from the Coachella Valley Water District shall be provided to the Riverside County Planning Department verifying compliance with the conditions stated in their letter dated June 3, 2013, attached to these conditions of approval.

60.PLANNING. 4 USE - PM10 MITIGATION PLAN RECOMMND

Notwithstanding any provision of Riverside County Ordinance No. 742 (Control of Fugitive Dust & PM10) to the contrary, this project shall comply with the requirements of Ordinance No. 742, including, but not necessarily limited to, the submission of a PM10 Mitigation Plan containing all reasonably available fugitive dust control measures, and, thereafter, the permit holder shall comply with all provisions of the approved PM10 Mitigation Plan during grading, earth movement operations and construction of the project as determined by the Director of the Department of

60. PRIOR TO GRADING PRMT ISSUANCE

60.PLANNING. 4 USE - PM10 MITIGATION PLAN (cont.) RECOMMND

Building and Safety.

The permit holder shall submit a copy of the approved PM10 Mitigation Plan to the Planning Department and the submitted copy shall include a cover letter containing a written certification from a state licensed professional that the control measures of the plan are included in the grading and building plans submitted to the Department of Building and Safety pursuant to obtaining a grading permit.

60.PLANNING. 5 USE - PALEO PRIMP & MONITOR RECOMMND

This site is mapped in the County's General Plan as having a High potential for paleontological resources (fossils). Proposed project site grading/earthmoving activities could potentially impact this resource. HENCE:

PRIOR TO ISSUANCE OF GRADING PERMITS:

1.The applicant shall retain a qualified paleontologist approved by the County of Riverside to create and implement a project-specific plan for monitoring site grading/earthmoving activities (project paleontologist).

2.The project paleontologist retained shall review the approved development plan and grading plan and shall conduct any pre-construction work necessary to render appropriate monitoring and mitigation requirements as appropriate. These requirements shall be documented by the project paleontologist in a Paleontological Resource Impact Mitigation Program (PRIMP). This PRIMP shall be submitted to the County Geologist for review and approval prior to issuance of a Grading Permit.

Information to be contained in the PRIMP, at a minimum and in addition to other industry standards and Society of Vertebrate Paleontology standards, are as follows:

1.Description of the proposed site and planned grading operations.

2.Description of the level of monitoring required for all earth-moving activities in the project area.

3.Identification and qualifications of the qualified paleontological monitor to be employed for grading

60. PRIOR TO GRADING PRMT ISSUANCE

60.PLANNING. 5 USE - PALEO PRIMP & MONITOR (cont.) RECOMMND

operations monitoring.

4.Identification of personnel with authority and responsibility to temporarily halt or divert grading equipment to allow for recovery of large specimens.

5.Direction for any fossil discoveries to be immediately reported to the property owner who in turn will immediately notify the County Geologist of the discovery.

6.Means and methods to be employed by the paleontological monitor to quickly salvage fossils as they are unearthed to avoid construction delays.

7.Sampling of sediments that are likely to contain the remains of small fossil invertebrates and vertebrates.

8.Procedures and protocol for collecting and processing of samples and specimens.

9.Fossil identification and curation procedures to be employed.

10.Identification of the permanent repository to receive any recovered fossil material. *Pursuant the County of Riverside "SABER Policy", paleontological fossils found in the County of Riverside should, by preference, be directed to the Western Science Center in the City of Hemet. A written agreement between the property owner/developer and the repository must be in place prior to site grading.

11.All pertinent exhibits, maps and references.

12.Procedures for reporting of findings.

13.Identification and acknowledgement of the developer for the content of the PRIMP as well as acceptance of financial responsibility for monitoring, reporting and curation fees. The property owner and/or applicant on whose land the paleontological fossils are discovered shall provide appropriate funding for monitoring, reporting, delivery and curating the fossils at the institution where the fossils will be placed, and will provide confirmation to the County that such funding has been paid to the institution.

All reports shall be signed by the project paleontologist

60. PRIOR TO GRADING PRMT ISSUANCE

60.PLANNING. 5 USE - PALEO PRIMP & MONITOR (cont.) (cont.) RECOMMND

and all other professionals responsible for the report's content (eg. Professional Geologist), as appropriate. Two wet-signed original copies of the report(s) shall be submitted to the office of the County Geologist along with a copy of this condition and the grading plan for appropriate case processing and tracking. These documents should not be submitted to the project Planner, the Plan Check staff, the Land Use Counter or any other County office. In addition, the applicant shall submit proof of hiring (i.e. copy of executed contract, retainer agreement, etc.) a project paleontologist for the in-grading implementation of the PRIMP.

TRANS DEPARTMENT

60.TRANS. 2 USE-SBMT/APPVD GRADG PLAN/TRAN RECOMMND

When you submit a grading plan to the Department of Building and Safety, a copy of the grading plan shall be submitted and approved by the Transportation Department prior to a grading permit issuance.

Submit required grading plan to the Transportation Department, Plan Check Section, 8th Floor, 4080 Lemon Street, Riverside, CA.

60.TRANS. 4 USE - OBTAIN L&LMD APPLICATION RECOMMND

Obtain an application from the Transportation Department, L&LMD Section, 8th Floor, 4080 Lemon Street, Riverside, CA, to submit application for required annexation per condition of approval 80.TRANS. 10 and 90.TRANS. 18.

If you have any questions or for the processing fee amount, please call the L&LMD Section at (951) 955-6748.

60.TRANS. 5 USE - WATER QUALITY MGMT PLANS RECOMMND

The developer shall submit Water Quality Management Plans (WQMP) to Riverside County Flood Control & Water Conservation District and Transportation Department for review and approval.

60. PRIOR TO GRADING PRMT ISSUANCE

60.TRANS. 6 USE - RETENTION BASIN RECOMMND

For retention basin sizing and calculations refer to letter dated October 22, 2012, from Alan French to Majeed Farshad.

60.TRANS. 7 USE - SUBMIT PLANS 1 RECOMMND

The project proponent shall comply with Riverside County Ordinance 458.12 as amended in the preparation of on-site flood protection. The project proponent shall submit plans for grading, landscaping, and irrigation systems, any other necessary documentation along with supporting hydrologic and hydraulic calculations to Riverside County Transportation Department for review and approval. The project proponent shall pay all fees as required by Riverside County Transportation Department.

60.TRANS. 8 USE - EASEMENT FOR DRAINAGE RECOMMND

The developer will prepare and record easements for drainage purposed by separate instrument or on a map, to the benefit of public, for areas where drainage facilities and other drainage appurtenances are required and/or where drainage flow patterns must be maintained to convey flood plain water. All drainage easements shall be recorded by separate instrument or on a map and noted as follows, "Drainage Easement - no building, obstructions, or encroachments are allowed."

60.TRANS. 9 USE - TYPICAL SITE GRADING RECOMMND

All on-site grading shall be graded to drain to on site drainage facilities. Offsite drainage shall be conveyed through the project site in a manner that will not adversely impact either on-site improvements or worsen the existing drainage conditions to adjacent offsite properties.

60.TRANS. 10 USE - BASIN FENCING RECOMMND

The land divider/permit holder shall file seven (7) sets of a Wall/Fencing Plan to the County Planning Department for review and approval. Said plan shall be submitted to the Department in the form of a plot plan application pursuant to County Ordinance No. 348, Section 18.30.a.(1) (Plot Plans not subject to the California Environmental Quality Act and not subject to review by any governmental agency other than the Planning Department), along with the current

60. PRIOR TO GRADING PRMT ISSUANCE

60.TRANS. 10 USE - BASIN FENCING (cont.) RECOMMND

fee. The plan shall be in compliance with Section 18.12, and the TENTATIVE MAP conditions of approval.

Wrought iron or tubular steel fence sections may be included within developments where view opportunities and/or terrain warrant its use. Where privacy of views is not an issue, tubular steel or wrought iron sections should be constructed in perimeter walls in order to take advantage of casual view opportunities.

70. PRIOR TO GRADING FINAL INSPECT

PLANNING DEPARTMENT

70.PLANNING. 1 USE - PALEO MONITORING REPORT RECOMMND

"PRIOR TO GRADING FINAL:

The applicant shall submit to the County Geologist one wet-signed copy of the Paleontological Monitoring Report prepared for site grading operations at this site. The report shall be certified by the professionally-qualified Paleontologist responsible for the content of the report. This Paleontologist must be on the County's Paleontology Consultant List. The report shall contain a report of findings made during all site grading activities and an appended itemized list of fossil specimens recovered during grading (if any) and proof of accession of fossil materials into the pre-approved museum repository. In addition, all appropriate fossil location information shall be submitted to the Western Center, the San Bernardino County Museum and Los Angeles County Museum of Natural History, at a minimum, for incorporation into their Regional Locality Inventories."

TRANS DEPARTMENT

70.TRANS. 1 USE - EROSION CONTROL RECOMMND

Temporary erosion control measures shall be implemented immediately following site grading to prevent depositions of debris onto downstream properties, public right-of-way, or drainage facilities. Plans showing these measures shall be submitted to Riverside County Transportation Department for review prior to the start of any site work.

80. PRIOR TO BLDG PRMT ISSUANCE

BS GRADE DEPARTMENT

80.BS GRADE. 1 USE - NO B/PMT W/O G/PMT RECOMMND

Prior to the issuance of any building permit, the property owner shall obtain a grading permit and/or approval to construct from the Building and Safety Department.

80.BS GRADE. 2 USE - ROUGH GRADE APPROVAL RECOMMND

Prior to the issuance of any building permit, the applicant shall obtain rough grade approval and/or approval to construct from the Building and Safety Department. The Building and Safety Department must approve the completed grading of your project before a building permit can be issued. Rough Grade approval can be accomplished by complying with the following:

1.Submitting a "Wet Signed" copy of the Soils Compaction Report containing substantiating data from the Soils Engineer (registered geologist or certified geologist, civil engineer or geotechnical engineer as appropriate) for his/her certification of the project.

2.Submitting a "Wet Signed" copy of the Rough Grade certification from a Registered Civil Engineer certifying that the grading was completed in conformance with the approved grading plan.

3.Requesting a Rough Grade Inspection and obtaining rough grade approval from a Riverside County inspector.

4.Rough Grade Only Permits: In addition to obtaining all required inspections and approval of all final reports, all sites permitted for rough grade only shall provide 100 percent vegetative coverage to stabilize the site prior to receiving a rough grade permit final.

Prior to release for building permit, the applicant shall have met all rough grade requirements to obtain Building and Safety Department clearance.

E HEALTH DEPARTMENT

80.E HEALTH. 1 INDUSTRIAL HYGIENE CLEARANCE INEFFECT

Prior to the Issuance of a Building Permit, the applicant shall comply with the following:

80. PRIOR TO BLDG PRMT ISSUANCE

80.E HEALTH. 1 INDUSTRIAL HYGIENE CLEARANCE (cont.) INEFFECT

a) Submit a completed Acoustical Review Application Form.

b) Pay applicable review fees (Initial deposit of $1,000).

c) Provide one (1) copy of the Noise Report.

d) Provide one (1) copy of the Precise Grading Plan.

e) Provide one (1) copy of the house / buiding / architecture plan.

f) Provide one (1) copy of the noise requirements issued for the approval and entitlement of the Planning Case.

For further information, please contact the Industrial Hygiene Program at (951) 955-8980.

FIRE DEPARTMENT

80.FIRE. 1 USE-#17A-BLDG PLAN CHECK $ RECOMMND

Building Plan check deposit base fee of $1,056.00, shall be paid in a check or money order to the Riverside County Fire Department after plans have been approved by our office.

80.FIRE. 2 USE-#4-WATER PLANS INEFFECT

The applicant or developer shall separately submit two copies of the water system plans to the Fire Department for review and approval. Calculated velocities shall not exceed 10 feet per second. Plans shall conform to the fire hydrant types, location and spacing, and the system shall meet the fire flow requirements.
Plans shall be signed and approved by a registered civil engineer and the local water company with the following certification: "I certify that the design of the water system is in accordance with the requirements prescribed by the Riverside County Fire Department."

FLOOD RI DEPARTMENT

80.FLOOD RI. 1 USE SUBMIT FINAL WQMP RECOMMND

A copy of the project specific WQMP shall be submitted to the District for review and approval.

80. PRIOR TO BLDG PRMT ISSUANCE

80.FLOOD RI. 2 USE SUBMIT PLANS MINOR REVIEW RECOMMND

The scope of the District review will be limited to verification that this proposal has met its obligation under the County's municipal stormwater permit. A copy of the BMP improvement plans along with any necessary documentation shall be submitted to the Districts Plan Check Section for review. A copy of the improvement and grading plans shall be included for reference. The plans must receive the District's approval prior to issuance of permits. All submittals shall be date stamped by the engineer and include a completed Flood Control Deposit Based Fee Worksheet and the appropriate plan check fee deposit.

PLANNING DEPARTMENT

80.PLANNING. 1 USE - CONFORM TO ELEVATIONS RECOMMND

Elevations of all buildings and structures submitted for building plan check approval shall be in substantial conformance with the elevations shown on APPROVED EXHIBIT A.

80.PLANNING. 2 USE - CONFORM TO FLOOR PLANS RECOMMND

Floor plans shall be in substantial conformance with that shown on APPROVED EXHIBIT A.

80.PLANNING. 7 USE - WASTE MGMT. CLEARANCE RECOMMND

A clearance letter from Riverside County Waste Management District shall be provided to the Riverside County Planning Department verifying compliance with the conditions contained in their letter dated July 16, 2012, summarized as follows: A Waste Recycling Plan shall be submitted to the Riverside County Waste Management Department for approval.

80.PLANNING. 8 USE - FEE BALANCE RECOMMND

Prior to issuance of building permits, the Planning Department shall determine if the deposit based fees for project are in a negative balance. If so, any outstanding fees shall be paid by the applicant/developer.

80. PRIOR TO BLDG PRMT ISSUANCE

80.PLANNING. 9 USE - SCHOOL MITIGATION RECOMMND

Impacts to the Coachella Valley Unified School District shall be mitigated in accordance with California State law.

80.PLANNING. 10 USE - OIH CLEARANCE RECOMMND

A clearance letter from the Department of Public Health, Office of Industrial Hygiene shall be provided to the Riverside County Planning Department verifying compliance with the conditions contained in their letter dated April 15, 2009, summarized as follows: masonry block walls or combination earthen and block walls.

80.PLANNING. 12 USE - CVWD CLEARANCE RECOMMND

A clearance letter from the Coachella Valley Water District shall be provided to the Riverside County Planning Department verifying compliance with the conditions contained in their letter dated July 3, 2013, attached to these conditions of approval.

80.PLANNING. 14 USE- LANDSCAPE SECURITIES RECOMMND

Prior to the issuance of building permits, the developer/permit holder shall submit an estimate to replace plantings, irrigation systems, ornamental landscape elements, walls and/or fences, in amounts to be approved by the Riverside County Planning Department, Landscape Division. Once the Planning Department has approved the estimate, the developer/permit holder shall submit the estimate to the Riverside County Department of Building and Safety who will then provide the developer/permit holder with the requisite forms. The required forms shall be completed and submitted to Building and Safety for processing and review in conjunction with County Counsel. Upon determination of compliance, the Department of Building and Safety shall clear this condition.

TRANS DEPARTMENT

80.TRANS. 3 USE - TUMF RECOMMND

Prior to the issuance of a building permit, the project proponent shall pay the Transportation Uniform Mitigation Fee (TUMF) in accordance with the fee schedule in effect at the time of issuance, pursuant to Ordinance No. 673.

80. PRIOR TO BLDG PRMT ISSUANCE

80.TRANS. 4 USE - R-O-W DEDICATION RECOMMND

Sufficient public street right-of-way shall be provided along proposed realignment of 68th Avenue to establish a 103-foot full-width right-of-way including standard corner cutbacks.

Off-site portions of 68th Avenue shall be dedicated and recorded by a separate instrument.

An additional 31-feet shall be dedicated along Hammond Road for public use to provide for a 91-foot full-width right-of-way including standard corner cutbacks.

NOTE: Additional off-site right-of-way for proper tapers may be required on 68th and Hammond Road as approved by the Transportation Department.

80.TRANS. 6 USE - MAP CORNER CUT-BACK I RECOMMND

All corner cutbacks shall be applied per Standard 805, Ordinance 461, except for corners at Entry streets intersecting with General Plan roads, they shall be applied per Exhibit ' C' of the Countywide Design Guidelines.

80.TRANS. 10 USE - ANNEX L&LMD/OTHER DIST RECOMMND

Prior to the issuance of a building permit, the project proponent shall comply with County requirements within public road rights-of-way, in accordance with Ordinance 461 and Mecca Design Guidelines. Assurance of maintenance is required by filing an application for annexation to Landscaping and Lighting Maintenance District No. 89-1-Consolidated by contacting the Transportation Department at (951)955-6767, and/or any other maintenance district approved by the Transportation Department or by processing and filing a 'Landscape Maintenance Agreement' through the Transportation Department Plan Check Division. Said annexation should include the following:

(1) Streetlights on 68th Avenue and Hammond Road.

For street lighting, the project proponent shall contact the Transportation Department L&LMD 89-1-C Administrator and submit the following:

80. PRIOR TO BLDG PRMT ISSUANCE

80.TRANS. 10 USE - ANNEX L&LMD/OTHER DIST (cont.) RECOMMND

(1) Completed Transportation Department application.

(2) Appropriate fees for annexation.

(3) (2) sets of street lighting plans approved by Transportation Department.

(4) "Streetlight Authorization" form from SCE, IID or other electric provider.

80.TRANS. 12 USE - LIGHTING PLAN RECOMMND

A separate street light plan and/or a separate bridge light plan is required for this project. Street (and/or bridge) lighting shall be designed in accordance with County Ordinance 460 and Streetlight Specification Chart found in Specification Section 22 of Ordinance 461, and Mecca Design Guidelines(Mecca Community Council recommended using County Standard Lights on Monday June 17, 2013 meeting). For projects within SCE boundaries use County of Riverside Ordinance 461, Standard No. 1000 or No. 1001. For projects within Imperial Irrigation District (IID) use IID's pole standard.

80.TRANS. 13 USE - LANDSCAPING COM/IND RECOMMND

Landscaping within public road right-of-way shall comply with Transportation Department standards, Ordinance 461, Comprehensive Landscaping Guidelines & Standards, and Ordinance 859, and Mecca Design Guidelines, and shall require approval by the Transportation Department.

Landscaping plans shall be designed within 68th Avenue and Hammond Road, and submitted to the Transportation Department. Landscaping plans shall be submitted on standard County plan sheet format (24" x 36"). Landscaping plans shall be submitted with the street improvement plans.

80.TRANS. 16 USE - UTILITY PLAN RECOMMND

Electrical power, telephone, communication, street lighting, and cable television lines shall be designed to be placed underground in accordance with Ordinance 460 and 461, or as approved by the Transportation Department. The applicant is responsible for coordinating the work with the serving utility company. This also applies to existing

80. PRIOR TO BLDG PRMT ISSUANCE

80.TRANS. 16 USE - UTILITY PLAN (cont.) RECOMMND

overhead lines which are 33.6 kilovolts or below along the project frontage and between the nearest poles offsite in each direction of the project site. A disposition note describing the above shall be reflected on design improvement plans whenever those plans are required. A written proof for initiating the design and/or application of the relocation issued by the utility company shall be submitted to the Transportation Department for verification purposes.

80.TRANS. 17 USE - RETENTION BASIN RECOMMND

For retention basin sizing and calculations refer to letter dated October 22, 2012, from Alan French to Majeed Farshad.

80.TRANS. 18 USE - DRAINAGE EASEMENT RECOMMND

The developer will prepare and record easements for drainage purposed by separate instrument or on a map, to the benefit of public, for areas where drainage facilities and other drainage appurtenances are required and/or where drainage flow patterns must be maintained to convey flood plain water. All drainage easements shall be recorded by separate instrument or on a map, and noted as follows, "Drainage Easement - no building, obstructions, or encroachments are allowed."

80.TRANS. 19 USE-ENCROACH PERMIT/SEWER/WATE RECOMMND

Prior to the issuance of a building permit, the project proponent shall comply with County requirements for proposed sewer line and water line crossings within public road rights-of-way (68th Ave.), in accordance with Ordinance No. 499. Assurance of lifetime membership with underground service alert shall be submitted to Transportation Department for review and approval.

90. PRIOR TO BLDG FINAL INSPECTION

BS GRADE DEPARTMENT

90.BS GRADE. 1 USE - WQMP BMP INSPECTION RECOMMND

Prior to final building inspection, the applicant shall obtain inspection of all treatment control BMPs and/or clearance from the Building and Safety Department. All

90. PRIOR TO BLDG FINAL INSPECTION

90.BS GRADE. 1 USE - WQMP BMP INSPECTION (cont.) RECOMMND

structural BMPs described in the project - specific WQMP and indicated on the approved grading plan shall be constructed and installed in conformance with the approved plans and specifications. The Building and Safety Department must inspect and approve the completed WQMP treatment control BMPs for your project before a building final can be obtained.

90.BS GRADE. 2 USE - WQMP BMP CERT REQ'D RECOMMND

Prior to final building inspection, the applicant/owner shall submit a "Wet Signed" copy of the Water Quality Management Plan (WQMP) Certification from a Registered Civil Engineer certifying that the project - specific WQMP treatment control BMPs have been installed in accordance with the approved WQMP.

90.BS GRADE. 3 USE - BMP GPS COORDINATES RECOMMND

Prior to final building inspection, the applicant/owner shall provide the Department of Building Safety with GPS coordinates for the location of the project - specific WQMP treatment control BMPs.

90.BS GRADE. 4 USE - BMP REGISTRATION RECOMMND

Prior to final building inspection, the applicant/owner shall register the project - specific WQMP treatment control BMPs with the Department of Building Safety Business Registration Division. Any person or entity that owns or operates a commercial and/or industrial facility shall register such facility for annual inspections.

90.BS GRADE. 5 USE - REQ'D GRADING INSP'S RECOMMND

The developer / applicant shall be responsible for obtaining the following inspections required by Ordinance 457.

1.Sub-grade inspection prior to base placement.

2.Base inspection prior to paving.

3.Precise grade inspection of entire permit area.

a.Inspection of Final Paving

90. PRIOR TO BLDG FINAL INSPECTION

90.BS GRADE. 5 USE - REQ'D GRADING INSP'S (cont.) RECOMMND

b.Precise Grade Inspection
c.Inspection of completed onsite storm drain facilities
d.Inspection of the WQMP treatment control BMPs

90.BS GRADE. 6 USE - PRECISE GRDG APPROVAL RECOMMND

Prior to final building inspection, the applicant shall obtain precise grade approval and/or clearance from the Building and Safety Department. The Building and Safety Department must approve the precise grading of your project before a building final can be obtained. Precise Grade approval can be accomplished by complying with the following:

1.Requesting and obtaining approval of all required grading inspections.

2.Submitting a "Wet Signed" copy of the Soils Compaction Report from the Soils Engineer (registered geologist or certified geologist, civil engineer or geotechnical engineer as appropriate) for the sub-grade and base of all paved areas.

3.Submitting a "Wet Signed" copy of the Sub-grade (rough) Certification from a Registered Civil Engineer certifying that the sub-grade was completed in conformance with the approved grading plan.

4.Submitting a "Wet Signed" copy of the Precise (Final) Grade Certification for the entire site from a Registered Civil Engineer certifying that the precise grading was completed in conformance with the approved grading plan.

5.Submitting a "Wet Signed" copy of the Certification certifying the installation of any onsite storm drain systems not inspected by Riverside County Flood Control District or the Riverside County Transportation Department.

6.Submitting a "Wet Signed" copy of the Water Quality Management Plan (WQMP) Certification from a Registered Civil Engineer certifying that the Water Quality Management Plan treatment control BMPs have been installed in accordance with the approved WQMP.

Prior to release for building final, the applicant shall have met all precise grade requirements to obtain Building

90. PRIOR TO BLDG FINAL INSPECTION

90.BS GRADE. 6 USE - PRECISE GRDG APPROVAL (cont.) RECOMMND

and Safety Department clearance.

FIRE DEPARTMENT

90.FIRE. 1 USE-#45-FIRE LANES RECOMMND

The applicant shall prepare and submit to the Fire Department for approval, a site plan designating required fire lanes with appropriate lane painting and/or signs. Need 20 feet width minimum on all fire access and egress roads.

90.FIRE. 2 USE-#66-DISPLAY BOARDS RECOMMND

Display Boards will be as follows: Each complex shall have an illuminated diagrammatic representation of the actual layout which shows name of complex, all streets, building designators, unit members, and fire hydrant locations within dimension and located next to roadway access. The minimum size shall be no less than 4 feet x 4 feet.

90.FIRE. 3 USE-#012-PUB TYP BUILD RECOMMND

PUBLIC TYPE BUILDINGS

90.FIRE. 4 USE-#83-AUTO/MAN FIRE ALARM RECOMMND

Applicant or developer shall be responsible to install a manual and automatic Fire Alarm System. Plans must be submitted to the Fire Department for approval prior to installation.

90.FIRE. 5 USE-#27-EXTINGUISHERS RECOMMND

Install portable fire extinguishers with a minimum rating of 2A-10BC and signage. Fire Extinguishers located in public areas shall be in recessed cabinets mounted 48" (inches) to center above floor level with maximum 4" projection from the wall. Contact Fire Department for proper placement of equipment prior to installation.

90.FIRE. 6 USE-#36-HOOD DUCTS RECOMMND

A U.L. 300 hood duct fire extinguishing system must be installed over the cooking equipment. Wet chemical

90. PRIOR TO BLDG FINAL INSPECTION

90.FIRE. 6 USE-#36-HOOD DUCTS (cont.) RECOMMND

extinguishing system must provide automatic shutdown of all electrical componets and outlets under the hood upon activation. System must be installed by a licensed C-16 contractor. Plans must be submitted with current fee to the Fire Department for review and approval prior to installation.

NOTE: A dedicated alarm system is not required to be installed for the exclusive purpose of monitoring this suppression system. However, a new or pre-existing alarm system must be connected to the extinguishing system. (* separate fire alarm plans must be submitted for connection)

90.FIRE. 7 FINAL INSPECTION RECOMMND

Prior to occupancy a Fire Department inspection is required to verify all conditions stated at plan check are met.

Riverside office (951)955-4777
Indio Office (760)863-8886

FLOOD RI DEPARTMENT

90.FLOOD RI. 1 MAP IMPLEMENT WQMP RECOMMND

All structural BMPs described in the project-specific WQMP shall be constructed and installed in conformance with approved plans and specifications. It shall be demonstrated that the applicant is prepared to implement all non-structural BMPs described in the approved project specific WQMP and that copies of the approved project-specific WQMP are available for the future owners/occupants. The District will not release occupancy permits for any portion of the project exceeding 80% of the total recorded residential lots within the map or phase within the map prior to the completion of these tasks.

90.FLOOD RI. 2 USE BMP MAINTENANCE & INSPECT RECOMMND

The BMP maintenance plan shall contain provisions for all treatment controlled BMPs to be inspected, and if required, cleaned no later than October 15 each year. Required documentation shall identify the entity that will inspect and maintain all structural BMPs within the project boundaries. A copy of all necessary documentation shall be

90. PRIOR TO BLDG FINAL INSPECTION

90.FLOOD RI. 2 USE BMP MAINTENANCE & INSPECT (cont.) RECOMMND

submitted to the District for review and approval prior to the issuance of occupancy permits.

PLANNING DEPARTMENT

90.PLANNING. 1 USE - PARKING PAVING MATERIAL RECOMMND

A minimum of 147 parking spaces shall be provided as shown on the APPROVED EXHIBIT A, unless otherwise approved by the Planning Department. The parking area shall be surfaced with asphaltic concrete or concrete to current standards as approved by the Department of Building and Safety.

90.PLANNING. 2 USE - ACCESSIBLE PARKING RECOMMND

A minimum of five (5) accessible parking spaces for persons with disabilities shall be provided as shown on APPROVED EXHIBIT A. Each parking space reserved for persons with disabilities shall be identified by a permanently affixed reflectorized sign constructed of porcelain on steel, beaded text or equal, displaying the International Symbol of Accessibility. The sign shall not be smaller than 70 square inches in area and shall be centered at the interior end of the parking space at a minimum height of 80 inches from the bottom of the sign to the parking space finished grade, or centered at a minimum height of 36 inches from the parking space finished grade, ground, or sidewalk. A sign shall also be posted in a conspicuous place, at each entrance to the off-street parking facility, not less than 17 inches by 22 inches, clearly and conspicuously stating the following:

"Unauthorized vehicles not displaying distinguishing placards or license plates issued for physically handicapped persons may be towed away at owner's expense. Towed vehicles may be reclaimed at ___ or by telephoning ___."

In addition to the above requirements, the surface of each parking space shall have a surface identification sign duplicating the symbol of accessibility in blue paint of at least 3 square feet in size.

90. PRIOR TO BLDG FINAL INSPECTION

90.PLANNING. 3 USE - ROOF EQUIPMENT SHIELDING RECOMMND

Roof-mounted equipment shall be shielded from ground view. Screening material shall be subject to Planning Department approval.

90.PLANNING. 5 USE - CURBS ALONG PLANTERS RECOMMND

A six inch high curb with a twelve (12) inch wide walkway shall be constructed along planters on end stalls adjacent to automobile parking areas. Public parking areas shall be designed with permanent curb, bumper, or wheel stop or similar device so that a parked vehicle does not overhang required sidewalks, planters, or landscaped areas.

90.PLANNING. 7 USE - UTILITIES UNDERGROUND RECOMMND

All utilities, except electrical lines rated 33 kV or greater, shall be installed underground. If the permittee provides to the Department of Building and Safety and the Planning Department a definitive statement from the utility provider refusing to allow underground installation of the utilities they provide, this condition shall be null and void with respect to that utility.

90.PLANNING. 8 USE - TRASH ENCLOSURES RECOMMND

Trash enclosures shall be constructed prior to the issuance of occupancy permits. The enclosure(s) shall be a minimum of six (6) feet in height and shall be made with masonry block and a solid gate which screens the bins from external view. Additional enclosed area for collection of recyclable materials shall be located within, near or adjacent to each trash and rubbish disposal area. The recycling collection area shall be a minimum of fifty percent (50%) of the area provided for the trash/rubbish enclosure(s) or as approved by the Riverside County Waste Management Department. All recycling bins shall be labeled with the universal recycling symbol and with signage indicating to the users the type of material to be deposited in each bin.

90.PLANNING. 9 USE - COLOR/FINISH COMPLIANCE RECOMMND

The permittee shall properly install approved color and finish products in accordance with these conditions of approval.

90. PRIOR TO BLDG FINAL INSPECTION

90.PLANNING. 11 USE - ORD NO. 659 (DIF) RECOMMND

Prior to the issuance of either a certificate of occupancy or prior to building permit final inspection, the applicant shall comply with the provisions of Riverside County Ordinance No. 659, which requires the payment of the appropriate fee set forth in the Ordinance. Riverside County Ordinance No. 659 has been established to set forth policies, regulations and fees related to the funding and installation of facilities and the acquisition of open space and habitat necessary to address the direct and cummulative environmental effects generated by new development project described and defined in this Ordinance, and it establishes the authorized uses of the fees collected.

The amount of the fee for commercial or industrial development shall be calculated on the basis of the "Project Area," as defined in the Ordinance, which shall mean the net area, measured in acres, from the adjacent road right-of-way to the limits of the project development. The Project Area for Conditional Use Permit No. CUP 3497R1 has been calculated to be 11.06 acres.

In the event Riverside County Ordinance No. 659 is rescinded, this condition will no longer be applicable. However, should Riverside County Ordinance No. 659 be rescinded and superseded by a subsequent mitigation fee ordinance, payment of the appropriate fee set forth in that ordinance shall be required.

90.PLANNING. 12 USE - ORD 875 CVMSHCP FEE RECOMMND

Prior to a certificate of occupancy or upon building permit final inspection, whichever comes first, the permit holder shall comply with the provisions of Riverside County Ordinance No. 875, which requires the payment of the appropriate fee set forth in the ordinance. The amount of the fee will be based on the "Project Area" as defined in the ordinance and the aforementiond condition of approval. The Project Area for Conditional Use Permit No. 3497R1 is calculated to be 11.06 acres. In the event Riverside County Ordinance No. 875 is rescinded, this condition will no longer be applicable, However, in the event Riverside County Ordinance No. 875 is rescinded and superseded by a subsequent mitigation fee ordinance, payment of the appropriate fee set forth in that ordinance shall be

90. PRIOR TO BLDG FINAL INSPECTION

90.PLANNING. 12 USE - ORD 875 CVMSHCP FEE (cont.) RECOMMND

required.

90.PLANNING. 13 USE - OIH CLEARANCE RECOMMND

A clearance letter from the Office of Industrial Hygiene shall be provided to the Riverside County Planning Department verifying compliance with the conditions of their letter dated April 15, 2009, a copy which is attached to these conditions of approval.

90.PLANNING. 17 USE- LANDSCAPE INSPECT DEPOSIT RECOMMND

Prior to building permit final inspection, the developer/permit holder shall file an Inspection Request Form and deposit sufficient funds to cover the costs of the Pre-Installation, the Installation, and One Year Post-Establishment landscape inspections. In the event that an open landscape case is not available, then the applicant shall open a FEE ONLY case to conduct inspections. The deposit required for landscape inspections shall be determined by the Riverside County Landscape Division. The Planning Department shall clear this condition upon determination of compliance.

90.PLANNING. 18 USE- LANDSCAPE INSPECT REQUIRE RECOMMND

The permit holder's landscape architect responsible for preparing the Landscaping and Irrigation Plans (or on-site representative) shall arrange for a PRE-INSTALLATION INSPECTION with the Planning Department at least five (5) working days prior to the installation of any landscape or irrigation components.

Upon successful completion of the PRE-INSTALLATION INSPECTION, the applicant will proceed with the installation of the approved landscape and irrigation system and arrange for an INSTALLATION INSPECTION at least five 5 working days prior to the building final inspection or issuance of occupancy permit, whichever occurs first and comply with the Planning Department's Milestone 80 conditions entitled "USE-LANDSCAPING SECURITY" and the Milestone 90 condition entitled "LANDSCAPE INSPECTION DEPOSIT." Upon successful completion of the INSTALLATION INSPECTION, the County Planning Department's Landscape Inspector and the permit holder's landscape architect (or on-site representative) shall execute a Landscape

90. PRIOR TO BLDG FINAL INSPECTION

90.PLANNING. 18 USE- LANDSCAPE INSPECT REQUIRE (cont.) RECOMMND

Certificate of Completion that shall be submitted to the Planning Department and the Department of Building and Safety. The Planning Department shall clear this condition upon determination of compliance.

90.PLANNING. 19 USE- COMPLY W/LAND & IRR RECOMMND

The developer/permit holder shall coordinate with their designated landscape representative and the Riverside County Planning Department's landscape inspector to ensure all landscape planting and irrigation systems have been installed in accordance with APPROVED EXHIBITS, landscaping, irrigation, and shading plans. The Planning Department will ensure that all landscaping is healthy, free of weeds, disease and pests; and, irrigation systems are properly constructed and determined to be in good working order. The developer/permit holder's designated landscape representative and the Riverside County Planning Department's landscape inspector shall determine compliance with this condition and execute a Landscape Certificate of Completion. Upon determination of compliance, the Planning Department shall clear this condition.

90.PLANNING. 21 USE - WASTE MGMT. CLEARANCE RECOMMND

A clearance letter from the County Waste Management Department shall be provided to the Riverside County Planning Department verifying compliance with the conditions of their letter dated July 16, 2012, summarized as follows: demonstrate project compliance with the WRP.

TRANS DEPARTMENT

90.TRANS. 2 USE - OFF-SITE INFO RECOMMND

The off-site rights-of-way required for said access road shall be accepted to vest title in the name of the public if not already accepted.

90.TRANS. 4 USE - SIGNING & STRIPING RECOMMND

A signing and striping plan is required for this project. The project proponent shall be responsible for any additional paving and/or striping removal caused by the striping plan.

90. PRIOR TO BLDG FINAL INSPECTION

90.TRANS. 5 USE - VACATION/RE-DESIGN 1 RECOMMND

The project proponent, by his/her design, is requesting a vacation of the existing dedicated rights-of-way along 68th Avenue.

The project proponent shall apply under separate application with the County Surveyor for a conditional vacation of 68th Avenue, and receive a Board of Supervisors decision. Should the Board of Supervisors fail to approve said vacation request, the project proponent shall re-design the project, utilizing the existing rights-of-way.

90.TRANS. 7 USE STREETLIGHT AUTHORIZATION RECOMMND

Prior to OCCUPANCY, the project proponent shall submit to Transportation Department Permits the following:

1. "Streetlight Authorization" form approved by L&LMD No. 89-1-C Administrator.

2. Letter establishing interim energy account from SCE, IID or other electric provider.

90.TRANS. 8 USE - STREETLIGHTS INSTALL RECOMMND

Install streetlights along the streets associated with development in accordance with the approved street lighting plan and standards of County Ordinances 460 and 461, and Mecca Design Guidelines(Mecca Community Council recommended using County Standard Lights on Monday June 17, 2013 meeting). For projects within IID use IID's pole standard.

Streetlight annexation into L&LMD or similar mechanism as approved by the Transportation Department shall be completed.

It shall be the responsibility of the developer to ensure that streetlights are energized along the streets associated with this development where the developer is seeking Building Final Inspection (Occupancy).

90.TRANS. 11 USE - EXISTING MAINTAINED SL1 RECOMMND

68th Avenue is designated as a Secondary Highway and shall be designed and improved and realigned with 6-inch concrete curb and gutter located 32-feet from centerline of

90. PRIOR TO BLDG FINAL INSPECTION

90.TRANS. 11 USE - EXISTING MAINTAINED SL1 (cont.) RECOMMND

construction and asphalt concrete on both sides as shown per typical section within the 103-foot full-width dedicated right-of-way in accrdance with County Standard No. 94, pages 1 & 2. (64'/100') Modified, and Mecca Design Guidelines.

NOTE: A 5-foot wide concrete sidewalk shall be constructed on both sides.

* Above mentioned improvements shall be completed prior to final occupancy of any building.

Hammond Road along project boundary is a paved county maintained road designated as a Secondary Highway and shall be improved with 6-inch concrete curb and gutter located 32-feet from centerline of construction and match up asphalt concrete, and reconstruct per typical section as shown on Exhibit No's.A-1,A-2,Amd.No.1 as determined by the Transportation Department and in accordance with the County Standard No. 94, pages 1 & 2. (64'91') Modified, and Mecca Design Guidelines.

NOTE: A 5-foot wide concrete sidewalk shall be constructed within the 21-foot parkway.

* Above mentioned improvements shall be completed prior to final occupancy of any building.

Additional off-site right-of-way for proper tapers may be required on 68th Avenue and Hammond Road as approved by the Transportation Department.

* Above mentioned improvements shall include Class 2 bike lane.

90.TRANS. 14 USE - UTILITY INSTALL RECOMMND

Electrical power, telephone, communication, street lighting, and cable television lines shall be placed underground in accordance with Ordinance 460 and 461, or as approved by the Transportation Department. This also pplies to existing overhead lines which are 33.6 kilovolts or below along the project frontage and between the nearest poles offsite in each direction of the project site.

A certificate should be obtained from the pertinent utility

90. PRIOR TO BLDG FINAL INSPECTION

90.TRANS. 14 USE - UTILITY INSTALL (cont.) RECOMMND

company and submitted to the Department of Transportation as proof of completion.

90.TRANS. 18 USE - ANNEX L&LMD/OTHER DIST RECOMMND

Prior to issuance of an occupancy permit, the project proponent shall complete annexation to Landscaping and Lighting Maintenance District No. 89-1-Consolidated, and/or any other maintenance district approved by the Transportation Department or by processing and filing a 'Landscape Maintenance Agreement' through the Transportation Department Plan Check Division for continuous maintenance within public road rights-of-way, in accordance with Ordinance 461, Comprehensive Landscaping Guidelines & Standards, and Ordinance 859, and Mecca Design Guidelines. Said annexation should include the following:

(1) Streetlights on 68th Avenue and Hammond Road.

90.TRANS. 20 USE - IMP PLANS RECOMMND

Improvement plans for the required improvements must be prepared and shall be based upon a design profile extending a minimum of 300 feet beyond the limit of construction at a grade and alignment as approved by the Riverside County Transportation Department. Completion of road improvements does not imply acceptance for maintenance by County.

NOTE: Before you prepare the street improvement plan(s), please review the Street Improvement Plan Policies and Guidelines from the Transportation Department Web site: www.rctlma.org/trans/land_dev_plan_check_guidelines.html.

90.TRANS. 21 USE - LANDSCAPING COMM/IND RECOMMND

Landscaping within public road right-of-way shall comply with Transportation Department standards and Ordinance 461, and Mecca Design Guidelines, and shall require approval by the Transportation Department. Landscaping shall be improved within 68th Avenue and Hammond Road.

Assurance of continuous maintenance is required by processing and filing a 'Landscape Maintenance Agreement'

90. PRIOR TO BLDG FINAL INSPECTION

90.TRANS. 21 USE - LANDSCAPING COMM/IND (cont.) RECOMMND

through the Transportation Department Plan Check Division; or if desired the developer may file an application for annexation into Landscaping and Lighting Maintenance District No. 89-1-Consolidated by contacting the Transportation Department at (951) 955-6767.

90.TRANS. 23 USE - R-O-W DEDICATION RECOMMND

Sufficient public street right-of-way shall be provided along proposed realignment of 68th Avenue to establish a 103-foot full-width right-of-way including standard corner cutback.

Off-site portions of 68th Avenue shall be dedicated and recorded by a separate instrument.

An additional 31-feet shall be dedicated along Hammond Road for public use to provide for a 91-foot full-width right-of-way including standard corner cutback.

NOTE: Additional off-site right-of-way for proper tapers may be required on 68th Avenue and Hammond Road as approved by the Transportation Department.

90.TRANS. 24 USE - INTERSECTION SIGHT DIST RECOMMND

Standard No. 821 shall be met at all intersections.

90.TRANS. 25 USE - DRAINAGE IMPROV COMPLETE RECOMMND

All drainage improvements including the construction of drainage swales, storm drains, inlet structures, and retention basins are required to be completed prior to occupancy.

90.TRANS. 26 USE - OWNER MAINT NOTICE RECOMMND

The owner of the project site shall be responsible for the maintenance of the drainage facility, including but not limited to the catch basins, pipes and the surface retention basin. A viable maintenance mechanism acceptable to the County should be provided for retention basin. The owner/project proponent shall obtain approval from Riverside County Transportation Department regarding the maintenance of the retention basin. These maintenance wording shall be shown on the title sheet of improvement

90. PRIOR TO BLDG FINAL INSPECTION

90.TRANS. 26 USE - OWNER MAINT NOTICE (cont.) RECOMMND

plans or as approved by Transportation.

90.TRANS. 27 USE - EASEMENT FOR DRAINAGE 2 RECOMMND

The developer will prepare and record easements for drainage purposed by separate instrument or on a map, to the benefit of public, for areas where drainage facilities and other drainage appurtenances are required and/or where drainage flow patterns must be maintained to convey flood plain water. All drainage easements shall be recorded by separate instrument or on a map, and noted as follows, "Drainage Easement - no building, obstructions, or encroachments are allowed."

FAST TRACK CONDITIONAL USE

PERMIT NO. 3686

CONDITIONAL USE PERMIT Case #: CUP03686 Parcel: 729-050-002

10. GENERAL CONDITIONS

EVERY DEPARTMENT

10. EVERY. 1 USE - PROJECT DESCRIPTION RECOMMND

The use hereby permitted is for a migrant agricultural worker mobilehome park consisting of 84 units with typical single wide and double wide mobile home spaces ranging from approximately 2,800 square feet to 3,500 square feet along with 1,780 square foot community center building, 1,040 square foot child care facility for up to 15 children, 800 square foot children's playground, and 2,800 square foot outdoor play area, located within Assessors Parcel Number 729-050-002.

10. EVERY. 2 USE - HOLD HARMLESS RECOMMND

The applicant/permittee or any successor-in-interest shall defend, indemnify, and hold harmless the County of Riverside or its agents, officers, and employees (COUNTY) from the following:

(a) any claim, action, or proceeding against the COUNTY to attack, set aside, void, or annul an approval of the COUNTY, its advisory agencies, appeal boards, or legislative body concerning the CONDITIONAL USE PERMIT; and,

(b) any claim, action or proceeding against the COUNTY to attack, set aside, void or annul any other decision made by the COUNTY concerning the CONDITIONAL USE PERMIT, including, but not limited to, decisions made in response to California Public Records Act requests.

The COUNTY shall promptly notify the applicant/permittee of any such claim, action, or proceeding and shall cooperate fully in the defense. If the COUNTY fails to promptly notify the applicant/permittee of any such claim, action, or proceeding or fails to cooperate fully in the defense, the applicant/permittee shall not, thereafter, be responsible to defend, indemnify or hold harmless the COUNTY.

The obligations imposed by this condition include, but are not limited to, the following: the applicant/permittee shall pay all legal services expenses the COUNTY incurs in connection with any such claim, action or proceeding, whether it incurs such expenses directly, whether it is ordered by a court to pay such expenses, or whether it

10. GENERAL CONDITIONS

10. EVERY. 2 USE - HOLD HARMLESS (cont.) RECOMMND

incurs such expenses by providing legal services through its Office of County Counsel.

10. EVERY. 3 USE - DEFINITIONS RECOMMND

The words identified in the following list that appear in all capitals in the attached conditions of Conditional Use Permit No. 3686 shall be henceforth defined as follows:

APPROVED EXHIBIT A = Conditional Use Permit No. 3686, Exhibit A, Amended No. 2 (Sheets 1-2), Exhibits B-1 through B-5 (Elevations), Exhibits C-1 through C-5 (Floor Plans), Exhibit L (Landscape Plans), and Exhbibit S (Freestanding Sign).

BS GRADE DEPARTMENT

10.BS GRADE. 1 USE - GENERAL INTRODUCTION RECOMMND

Improvements such as grading, filling, over excavation and recompaction, and base or paving which require a grading permit are subject to the included Building and Safety Department Grading Division conditions of approval.

10.BS GRADE. 3 USE - OBEY ALL GDG REGS RECOMMND

All grading shall conform to the California Building Code, Ordinance 457, and all other relevant laws, rules, and regulations governing grading in Riverside County and prior to commencing any grading which includes 50 or more cubic yards, the applicant shall obtain a grading permit from the Building and Safety Department.

10.BS GRADE. 4 USE - DISTURBS NEED G/PMT RECOMMND

Ordinance 457 requires a grading permit prior to clearing, grubbing, or any top soil disturbances related to construction grading.

10.BS GRADE. 6 USE - NPDES INSPECTIONS RECOMMND

Construction activities including clearing, stockpiling, grading or excavation of land which disturbs less than 1 acre and requires a grading permit or construction Building permit shall provide for effective control of erosion, sediment and all other pollutants year-round. The permit

10. GENERAL CONDITIONS

10.BS GRADE. 6 USE - NPDES INSPECTIONS (cont.) RECOMMND

holder shall be responsible for the installation and monitoring of effective erosion and sediment controls. Such controls will be evaluated by the Department of Building and Safety periodically and prior to permit Final to verify compliance with industry recognized erosion control measures.

Construction activities including but not limited to clearing, stockpiling, grading or excavation of land, which disturbs 1 acre or more or on-sites which are part of a larger common plan of development which disturbs less than 1 acre are required to obtain coverage under the construction general permit with the State Water Resources Control Board. You are required to provide proof of WDID# and keep a current copy of the storm water pollution prevention plan (SWPPP) on the construction site and shall be made available to the Department of Building and Safety upon request.

Year-round, Best Management Practices (BMP's) shall be maintained and be in place for all areas that have been graded or disturbed and for all material, equipment and/or operations that need protection. Stabilized Construction Entrances and project perimeter linear barriers are required year round. Removal BMP's (those BMP's which must be temporarily removed during construction activities) shall be in place at the end of each working day.

Monitoring for erosion and sediment control is required and shall be performed by the QSD or QSP as required by the Construction General Permit. Stormwater samples are required for all discharge locations and projects may not exceed limits set forth by the Construction General Permit Numeric Action Levels and/or Numeric Effluent Levels. A Rain Event Action Plan is required when there is a 50% or greater forecast of rain within the 48 hours, by the National Weather Service or whenever rain is imminent. The QSD or QSP must print and save records of the precipitation forecast for the project location area from (http://www.srh.noaa.gov/forecast) and must accompany monitoring reports and sampling test data. A Rain gauge is required on site. The Department of Building and Safety will conduct periodic NPDES inspections of the site throughout the recognized storm season to verify compliance with the Construction General Permit and Stormwater ordinances and regulations.

10. GENERAL CONDITIONS

10.BS GRADE. 7 USE - EROSION CNTRL PROTECT RECOMMND

Graded but undeveloped land shall provide, in addition to erosion control planting, any drainage facility deemed necessary to control or prevent erosion. Additional erosion protection may be required during the rainy season from October 1, to May 31.

10.BS GRADE. 8 USE - DUST CONTROL RECOMMND

All necessary measures to control dust shall be implemented by the developer during grading. A PM10 plan may be required at the time a grading permit is issued.

10.BS GRADE. 9 USE - 2:1 MAX SLOPE RATIO RECOMMND

Graded slopes shall be limited to a maximum steepness ratio of 2:1 (horizontal to vertical) unless otherwise approved.

10.BS GRADE. 11 USE - MINIMUM DRNAGE GRADE RECOMMND

Minimum drainage grade shall be 1% except on portland cement concrete where .35% shall be the minimum.

10.BS GRADE. 12 USE - DRAINAGE & TERRACING RECOMMND

Provide drainage facilities and terracing in conformance with the California Building Code's chapter on "EXCAVATION & GRADING".

10.BS GRADE. 13 USE - SLOPE SETBACKS RECOMMND

Observe slope setbacks from buildings & property lines per the California Building Code as amended by Ordinance 457.

10.BS GRADE. 18 USE - OFFST. PAVED PKG RECOMMND

All offstreet parking areas which are conditioned to be paved shall conform to Ordinance 457 base and paving design and inspection requirements.

10.BS GRADE. 20 USE - RETAINING WALLS RECOMMND

Lots which propose retaining walls will require separate permits. They shall be obtained prior to the issuance of any other building permits - unless otherwise approved by the Building and Safety Director. The walls shall be designed by a Registered Civil Engineer - unless they

10. GENERAL CONDITIONS

10.BS GRADE. 20 USE - RETAINING WALLS (cont.) RECOMMND

conform to the County Standard Retaining Wall designs shown on the Building and Safety Department form 284-197.

10.BS GRADE. 23 USE - MANUFACTURED SLOPES RECOMMND

Plant and irrigate all manufactured slopes equal to or greater than 3 feet in vertical height with drought tolerant grass or ground cover; slopes 15 feet or greater in vertical height shall also be planted with drought tolerant shrubs or trees in accordance with the requirements of Ordinance 457.

10.BS GRADE. 24 USE - FINISH GRADE RECOMMND

Finish grade shall be sloped to provide proper drainage away from all exterior foundation walls in accordance with the California Building Code and Ordinance 457.

BS PLNCK DEPARTMENT

10.BS PLNCK. 1 USE - BUILD & SAFETY PLNCK RECOMMND

Related cases for this project include CZ07785, CUP03686 for the proposed construction of a mobile home park consisting of 84 spaces, a community center and a daycare facility. CUP03497 a dormitory to house up to 160 workers, a community building and an on-site manager's quarters.

The applicant shall submit building plans and all applicable documents to the building department for the purpose of obtaining all required building permits from the building department prior to any construction or placement of any building, structure or equipment on the property.

The building permit types shall include but not be limited to a BMK type for the park utilites, individual BMR permits for the individual mobile home installtion on each lot, and a BNR permit for the construction of the proposed daycare facility. All mobile home installations and accessory structures (Carports) shall comply with the maximum 75% lot coverage requirement.

PERMIT ISSUANCE:
Per section 105.1 (2010 California Building Code, CBC): Where any owner or authorized agent intends to construct, enlarge, alter , repair, move, demolish or change the

10. GENERAL CONDITIONS

10.BS PLNCK. 1 USE - BUILD & SAFETY PLNCK (cont.) RECOMMND

occupancy of a building or structure, or to erect, install, enlarge, alter, repair, remove, convert, or replace any electrical, gas, mechanical, or plumbing system, the regulation of which is governed by this code, or to cause any such work to be done, shall first make application to the building official and obtain the required permit.
The applicant shall obtain the required building permit(s) from the building department prior to any construction or placement of any building, structure or equipment on the property.
The applicant shall obtain an approved final building inspection and certificate of occupancy from the building department prior to any use or occupancy of the building, or structure.
At no time shall the approval of the planning case exhibit allow for the construction or use of any building or structure.
In non- residential applications, separate building permits may include a permit for the structure (Shell building), grading, tenant improvements, accessory structures and/or equipment, which may include trash enclosures, light standards, block walls/fencing etcà
In residential applications, each separate structure will require a separate building permit.

CODE/ORDINANCE REQUIREMENTS:
The applicant shall obtain the required building permit(s) from the building department prior to any construction on the property. All building plans and supporting documentation shall comply with current adopted California Building Codes, Riverside County Ordinances, and California Title 25 regulations in effect at the time of building plan submittal and fee payment to the Building Department. All Building Department plan submittal and fee requirements shall apply.

E HEALTH DEPARTMENT

10.E HEALTH. 1 CVWD WATER AND SEWER SERVICE RECOMMND

This project is proposing Coachella Valley Water District (CVWD) water and sewer service. It is the responsibility of the developer to ensure that all requirements to obtain water and sewer service are met with CVWD as well as all other applicable agencies.

10. GENERAL CONDITIONS

10.E HEALTH. 2 WELL(S)-NON-POTABLE USE RECOMMND

All individual well(s) proposed to supply water for fire, irrigation and laundry facilities shall comply with all applicable requirements. All hose bibs served by individual well(s) onsite must be labeled "NON POTABLE, DO NOT DRINK".

10.E HEALTH. 3 INDUSTRIAL HYGIENE-NOISE STUDY RECOMMND

Noise Consultant: Urban Crossroads
41 Corporate Park, Suite 300
Irvine, CA 92606

Noise Study: "San Cristobal Migrant Housing Facility and Los Vinedos Mobil Park Noise Study, County of Riverside, California JN:05970-03 dated November 26, 2008"

Based on the County of Riverside, Industrial Hygiene Program's review of the aforementioned Noise Study, CUP#3686 shall comply with the recommendations set forth under the Industrial Hygiene Program's response letter dated April 15, 2009 c/o Steve Hinde, REHS, CIH (RivCo Industrial Hygienist).

For further information, please contact the Industrial Hygiene Program at (951) 955-8980.

10.E HEALTH. 4 ENV CLEANUPS PROGRAM-COMMENTS RECOMMND

If a previously unidentified release or threatened release of a hazardous material or presence of a naturally occurring hazardous material is discovered during development at the site, construction activities shall cease and the County of Riverside Department of Environmental Health, Environmental Cleanups Program shall be notified immediately. Additionally, further assessment and/or cleanup may be required.

FIRE DEPARTMENT

10.FIRE. 1 USE*-#23-MIN REQ FIRE FLOW RECOMMND

Minimum required fire flow shall be 1500 GPM for a 2 hour duration at 20 PSI residual operating pressure, which must be available before any combustible material is placed on the job site. Fire flow is based on type VB construction per the 2010 CFC and Building(s) having a fire sprinkler

10. GENERAL CONDITIONS

10.FIRE. 1 USE*-#23-MIN REQ FIRE FLOW (cont.) RECOMMND

system.
Residential areas may only have a minimum of 1000 gpm, when public use buildings are not adjacent/ on the same water system.

10.FIRE. 2 USE-#50-BLUE DOT REFLECTOR RECOMMND

Blue retroreflective pavement markers shall be mounted on private street, public streets and driveways to indicate location of fire hydrants. Prior to installation, placement of markers must be approved by the Riverside County Fire Department.

10.FIRE. 3 USE-#20-SUPER FIRE HYDRANT RECOMMND

Super fire hydrants) (6"x4"x 2-2 1/2") shall be located ot less than 25 feet or more than 165 feet from any portion of the building as measured along approved vehicular travel ways.

10.FIRE. 4 USE-#19-ON/OFF LOOPED HYD RECOMMND

A combination of on-site and off-site super fire hydrants, on a looped system (6"x4"x 2-2 1/2"), will be located not less than 25 feet or more than 165 feet from any portion of the building as measured along approved vehicular travel ways. The required fire flow shall be available from any adjacent hydrants(s) in the system.

10.FIRE. 5 USE-#89-RAPID HAZMAT BOX RECOMMND

Rapid entry Hazardous Material data and key storage cabinet shall be installed on the outside of the building. Plans shall be submitted to the Riverside County Fire Department for approval prior to installation.

FLOOD RI DEPARTMENT

10.FLOOD RI. 1 USE FLOOD HAZARD REPORT RECOMMND

Conditional Use Permit 03686 is a proposal to construct a mobile home park for migrant agricultural workers with a community center and a day care facility on an approximately 13-acre site. The site is located in the eastern Coachella Valley between Avenue 68 and Hammond Road west of Grant Street. CUP 3497R1, PM 36456 and CZ 7785 are

10. GENERAL CONDITIONS

10.FLOOD RI. 1 USE FLOOD HAZARD REPORT (cont.) RECOMMND

being processed concurrently with CUP 3686. CUP 3686 is located adjacent to and east of CUP 3497R1.

It should be noted that the Flood Control District's review of this project is limited to the water quality aspects contained in the Water Quality Management Plan (WQMP) only and the flood protection and drainage aspects/impacts will be reviewed by other departments and/or agencies.

A preliminary project-specific WQMP was submitted for review. For the project's water quality mitigation, a long basin located along the southerly boundary is proposed for the site. The basin is designed to collect and retain the 100-year 24-hour storm runoff generated from the site. Calculations submitted indicate the size of the basin is adequate. A final project-specific WQMP will be required. The development must incorporate Site Design Best Management Practices (BMPs) and Source Control BMPs, as applicable and feasible, into the project plans. Site Design BMPs include minimizing urban runoff and impervious footprint, conserving natural areas, and minimizing directly connected impervious areas. Source Control BMPs include education, activity restrictions and proper maintenance (non-structural) as well as proper landscape/irrigation design and the protection of slopes and channels (structural).

PLANNING DEPARTMENT

10.PLANNING. 1 USE - PDP01346 AMENDED RECOMMND

County Paleontological Report (PDP) No. 1346, submitted for this case (CUP03497), was prepared by CRM Tech and is entitled: "Paleontological Resource Assessment Report, San Cristobal Migrant Agricultural Workers Housing, Assessor's Parcel No. 729-050-002, Near the Community of Mecca, Riverside County California", dated February 18, 2009. CUP03497R1, CUP03686 and PM 36456 are located on the same property as CUP03497 and, hence, PDP01346 is acceptable for these new projects.

PDP01346 concluded:

1.The project is determined to have a high potential for containing significant Holocene invertebrate remains and a low to undetermined potential for Pleistocene and Holocene

10. GENERAL CONDITIONS

10.PLANNING. 1 USE - PDP01346 AMENDED (cont.) RECOMMND

vertebrate fossil remains.

2.The proposed project's potential impact on paleontological resources is determined to range from low to undetermined for Pleistocene and Holocene vertebrate fossil remains and high for significant Holocene invertebrate remains.

PDP01346 recommended:

1.As the primary component of the mitigation program, a surface collection of the freshwater mollusk remains exposed on the surface should be accomplished prior to the commencement of the project and all earth-moving operations within the project area should be monitored for any evidence of significant, nonrenewable paleontological resources.

2.Excavations should be monitored by a qualified paleontological monitor. Monitoring should be restricted to undisturbed Lake Cahuilla beds and any undisturbed subsurface older alluvium which might be present below the surface.

3.Collected samples of sediments should be washed to recover small invertebrate and vertebrate fossils.

4.Specimens should be identified, curated, and placed into a repository with permanent retrievable storage.

5.A report of findings, including an itemized inventory of recovered specimens, should be prepared upon completion of the steps outlined above.

PDP01346 satisfies the requirement for a Paleontological Study for Planning/CEQA purposes. PDP01346 is hereby accepted for CUP03497R1, CUP03686 and PM 36456. Prior to grading permit issuance, an appropriate paleontological resource impact mitigation program (PRIMP) shall be submitted to the County Geologist for review and approval, as described elsewhere in this conditions set.

10.PLANNING. 3 USE - COMPLY WITH ORD./CODES RECOMMND

The development of these premises shall comply with the standards of Ordinance No. 348 and all other applicable

10. GENERAL CONDITIONS

10.PLANNING. 3 USE - COMPLY WITH ORD./CODES (cont.) RECOMMND

Riverside County ordinances and State and Federal codes.

The development of the premises shall conform substantially with that as shown on APPROVED EXHIBIT A, unless otherwise amended by these conditions of approval.

10.PLANNING. 4 USE - FEES FOR REVIEW RECOMMND

Any subsequent submittals required by these conditions of approval, including but not limited to grading plan, building plan or mitigation monitoring review, shall be reviewed on an hourly basis (research fee), or other such review fee as may be in effect at the time of submittal, as required by Ordinance No. 671. Each submittal shall be accompanied with a letter clearly indicating which condition or conditions the submittal is intended to comply with.

10.PLANNING. 5 USE - LIGHTING HOODED/DIRECTED RECOMMND

Any outside lighting shall be hooded and directed so as not to shine directly upon adjoining property or public rights-of-way.

10.PLANNING. 6 USE - COLORS & MATERIALS RECOMMND

Building colors and materials shall be in substantial conformance with those shown on APPROVED EXHIBIT A.

10.PLANNING. 7 USE - LAND DIVISION REQUIRED RECOMMND

Prior to the sale of any individual structure as shown on APPROVED EXHIBIT A, a land division shall be recorded in accordance with verside County Ordinance No. 460, and any other pertinent ordinance.

10.PLANNING. 9 USE - PHASES ALLOWED RECOMMND

Construction of this project may be done in phases as shown on APPROVED EXHIBIT A. Any additional phases, or modifications to the approved phasing, may be permitted provided a plan for each phase of development is submitted to and approved by the Planning Department. Phasing approval shall not apply to the requirements of any agency other than the Planning Department unless otherwise indicated by the affected agency.

10. GENERAL CONDITIONS

10.PLANNING. 11 USE - EXTERIOR NOISE LEVELS RECOMMND

Exterior noise levels produced by any use allowed under this permit, including, but not limited to, any outdoor public address system, shall not exceed 45 db(A), 10-minute LEQ, between the hours of 10:00 p.m. to 7:00 a.m., and 65 db(A), 10-minute LEQ, at all other times as measured at any residential, hospital, school, library, nursing home or other similar noise sensitive land use. In the event noise exceeds this standard, the permittee or the permittee's successor-in-interest shall take the necessary steps to remedy the situation, which may include discontinued operation of the facilities. The permit holder shall comply with the applicable standards of Ordinance No. 847.

10.PLANNING. 12 USE - NOISE MONITORING REPORTS RECOMMND

The permit holder may be required to submit periodic noise monitoring reports as determined by the Department of Building and Safety as part of a code enforcement action. Upon written notice from the Department of Building and Safety requiring such a report, the permittee or the permittee's successor-in-interest shall prepare and submit an approved report within thirty (30) calendar days to the Department of Building and Safety, unless more time is allowed through written agreement by the Department of Building and Safety. The noise monitoring report shall be approved by the Office of Industrial Hygiene of the Health Service Agency (the permittee or the permittee's successor-in-interest shall be required to place on deposit sufficient funds to cover the costs of this approval prior to commencing the required report).

10.PLANNING. 13 USE - AGRICULTURE CODES RECOMMND

This property is located within the Coachella Valley and all landscape planting shall comply with the requirements of the State Agriculture Code and the directives of the Riverside County Agricultural Commissioner. All landscaping plans submitted to the Planning Department shall included the following notation: "Warning: Plant material listed may or may not have been approved by the Agricultural Commissioner's office. Landscape contractor, please contact the developer for status of Agricultural Commissioner's approval or denial. Plan material not conforming with quarantine laws may be destroyed and civil action taken. All plant material is subject to inspection

10. GENERAL CONDITIONS

10.PLANNING. 13 USE - AGRICULTURE CODES (cont.) RECOMMND

at the discretion of the Agricultural Commissioner's office. All plant material must be free from Red Scale (Aonidiella aurantii.)"

10.PLANNING. 14 USE - INADVERTANT ARCHAEO FIND RECOMMND

INADVERTENT ARCHAEOLOGICAL FIND
The developer/permit holder or any successor in interest shall comply with the following for the life of this permit:

If during ground disturbance activities, cultural resources* are discovered that were not assessed by the archaeological report(s) and/or environmental assessment conducted prior to project approval, the following procedures shall be followed:

1. All ground disturbance activities within 100 feet of the discovered cultural resource shall be halted until a meeting is convened between the developer, the project archaeologist**, and the County Archaeologist to discuss the significance of the find.

2. The developer shall call the County Archaeologist immediately upon discovery of the cultural resource to convene the meeting.

3. At the meeting, the significance of the discoveries shall be discussed and a decision is to be made, with the concurrence of the County Archaeologist, as to the appropriate mitigation (documentation, recovery, avoidance, etc) for the cultural resource.

4. Further ground disturbance shall not resume within the area of the discovery until a meeting has been convened with the aforementioned parties and a decision is made, with the concurrence of the County Archaeologist, as to the appropriate mitigation measures.

* A cultural resources site is defined, for this condition, as being three or more artifacts in close association with each other, but may include fewer artifacts if the area of the find is determined to be of significance due to it sacred or cultural importance.

** If not already employed by the project developer, a

10. GENERAL CONDITIONS

10.PLANNING. 14 USE - INADVERTANT ARCHAEO FIND (cont.) RECOMMND

County approved archaeologist shall be employed by the project developer to assess the value/importance of the cultural resource, attend the meeting described above, and continue monitoring of all future site grading activities as necessary.

10.PLANNING. 15 USE - IF HUMAN REMAINS FOUND RECOMMND

IF HUMAN REMAINS ARE FOUND ON THIS SITE:
The developer/permit holder or any successor in interest shall comply with the following codes for the life of this project:

Pursuant to State Health and Safety Code Section 7050.5, if human remains are encountered, no further disturbance shall occur until the County Coroner has made the necessary findings as to origin. Further, pursuant to Public Resources Code Section 5097.98 (b), remains shall be left in place and free from disturbance until a final decision as to the treatment and their disposition has been made. If the Riverside County Coroner determines the remains to be Native American, the Native American Heritage Commission shall be contacted within the period specified by law. Subsequently, the Native American heritage Commission shall identify the "Most Likely Descendant". The Most Likely Descendant shall then make recommendations and meet with the property owner and the County Archaeologist concerning the treatment of the remains as provided in Public Resources Code Section 5097.98. Human remains from other ethnic/cultural groups with recognized historical associations to the project area shall also be subject to a meeting between appropriate representatives from that group and the County Archaeologist.

10.PLANNING. 16 USE - GEO02136 RECOMMND

County Geologic Report (GEO) No. 2136, submitted for this project (CUP03497) was prepared by Earth Systems Southwest and is entitled: "Geotechnical Engineering Report, Proposed Migrant Housing Facility, Southeast Corner of Avenue 68 and Hammond Road, Mecca, California", dated February, 20, 2008. In addition, Earth Systems prepared the following:

"Addendum to Geotechnical Engineering Report, Earth Systems Southwest, Geotechnical Engineering Report, Proposed

10. GENERAL CONDITIONS

10.PLANNING. 16 USE - GEO02136 (cont.) RECOMMND

Migrant Housing Facility - San Cristobal, Southeast Corner of Avenue 68 and Hammond Road, Mecca, California, File No.: 10113-02, Doc. No.: 0-02-737, dated February 20, 2008", dated January 26, 2009.

"Addendum to Geotechnical Engineering Report and Response to Riverside County Planning Department Review Comments, Earth Systems Southwest, Geotechnical Engineering Report, Proposed Migrant Housing Facility - San Cristobal, Southeast Corner of Avenue 68 and Hammond Road, Mecca, California, File No.: 10113-02, Doc. No.: 0-02-737, dated February 20, 2008", dated May 28, 2009.

These documents are herein incorporated as a part of GEO02136.

GEO02136 concluded:

1.The primary hazard to the site is strong ground shaking from earthquakes along the San Andreas faults.

2.No active faults are mapped in the immediate vicinity of the site.

3.The probability of fault rupture across the site is extremely low.

4.The potential for liquefaction at this site is high.

5.Total ground subsidence induced from liquefaction is estimated to range from about 2 to 3.5 inches. Differential building settlements may be estimated to be about 50 to 67% of the total subsidence (about 2 inches).

6.The hazard from tsunamis is non-existent.

7.Hazards from seiches are considered negligible.

8.Potential hazards from slope instability, landslides, or debris flows are considered negligible.

GEO02136 recommended:

1.Adherence to the grading and structural recommendations in the Earth Systems Southwest February 20, 2009 report.

10. GENERAL CONDITIONS

10.PLANNING. 16 USE - GEO02136 (cont.) (cont.) RECOMMND

2.Ground improvement methods to prevent liquefaction from occurring (vibroflotation compaction, stone columns, or compaction grouting) or, at a minimum, a foundation system that can withstand the expected movement without causing such structural damage so as to pose a life-safety hazard.

GEO No. 2136 satisfies the requirement for a Geologic Study for Planning / CEQA purposes CUP03497R1 and CUP03686. GEO No. 2136 is hereby accepted for Planning purposes. This approval is not intended, and should not be misconstrued as approval for grading permit. Engineering and other building code parameters will be reviewed and additional comments and/or conditions may be imposed by the Building and Safety Department upon application for grading and/or building permits.

10.PLANNING. 17 USE - 90 DAYS TO PROTEST RECOMMND

The project applicant has 90 days from the date of approval of these conditions to protest, in accordance with the procedures set forth in Government Code Section 66020, The imposition of any and all fees, dedications, reservations and/or other exactions imposed on this project as a result of this approval or conditional approval of the project.

10.PLANNING. 18 USE - SITE MAINTENANCE RECOMMND

The project site shall be kept in good repair. Graffiti shall be removed from any structures within one week of observation and/or notification.

10.PLANNING. 19 USE - MAXIMUM DWELLING UNITS RECOMMND

A maximum of 84 mobilehome or manufactured dwelling unit spaces are approved by this permit.

10.PLANNING. 20 USE - LIMIT OUTDOOR STORAGE RECOMMND

No approval is granted for more than 200 square feet of outdoor storage or display of materials or merchandise; any and all outdoor storage or display of materials or merchandise shall be limited in area to 200 square feet or less within the entire premises.

10. GENERAL CONDITIONS

10.PLANNING. 21 USE - CAUSES FOR REVOCATION RECOMMND

In the event the use hereby permitted under this permit,
a) is found to be in violation of the terms and conditions of this permit,
b) is found to have been obtained by fraud or perjured testimony, or
c) is found to be detrimental to the public health, safety or general welfare, or is a public nuisance, this permit shall be subject to the revocation procedures.

10.PLANNING. 22 USE - CEASED OPERATIONS RECOMMND

In the event the use hereby permitted ceases operation for a period of one (1) year or more, this approval shall become null and void.

10.PLANNING. 23 USE - NO RV PARK/TENT CAMPING RECOMMND

No recreational vehicle, recreational trailer, special occupancy or RV park is approved except as allowed by state law. No area within the property is designated or designed for tent camping under this permit.

10.PLANNING. 24 USE - NO COMMERCIAL MH SALES RECOMMND

No commercial mobile home sales facility is approved. Model sale units, if installed, shall only be allowed in connection with a rental office, shall only be located on designated mobilehome spaces and shall be subject to appropriate mobilehome set up permits from the Building and Safety Department.

10.PLANNING. 25 USE - ACCESSORY STRUCTURES RECOMMND

Carport, enclosed garages, cabanas, ramadas, awnings, and similiar structures may be provided at each space provided such structures are permitted pursuant to state and county requirements, including building codes, and conform to all mandatory setbacks.

10.PLANNING. 27 USE - MAINTAIN LICENSING RECOMMND

At all times during the conduct of the permitted use the permittee shall maintain and keep in effect valid licensing approval from the California Department of Housing and Community Development, or equivalent agency as provided by law. Should such licensing be denied, expire or lapse at

10. GENERAL CONDITIONS

10.PLANNING. 27 USE - MAINTAIN LICENSING (cont.) RECOMMND

any time in the future, this permit shall become null and void.

10.PLANNING. 28 USE - FARM LABOR OCCUPANCY RECOMMND

This property under this conditional use permit shall be in compliance with Section 21.5c of Ordinance No. 348, including as follows:

a) Not less than 80 percent of the manufactured or mobile home sites are restricted to rental by migrant agricultural workers for a period not to exceed nine months in an 12 month period.

b) The remainder of the sites are restricted to rental by permanent agricultural workers, and occupancy by the owner or operator of the trailer park.

10.PLANNING. 29 USE - NUMBER OF MH PER SPACE RECOMMND

Only one mobilehome per space or designated site as shown on the APPROVED EXHIBIT A connected to utilities shall be allowed. No other mobilehome, vehicle, tent or structure within the spaces or designated sites shall be used for human habitation. A maximum of 84 mobilehome spaces are approved.

10.PLANNING. 30 USE - SITE IMPROVEMENTS RECOMMND

The area between the ground level and the floor level and each mobilehome shall be screened by an opaque skirt entirely around and encircling the unit.

Mobilehomes or other manufactured dwellings may be permitted to remain on-site during periods of non-occupancy as would normally be expected by migrant agricultural workers.

10.PLANNING. 31 USE - LIMIT ON SIGNAGE RECOMMND

Signage for this project shall be limited to the 8' X 5' freestanding entrance sign shown on APPROVED EXHIBIT A. Any additional signage shall be approved by the Planning Department pursuant to the requirements of Section 18.30 (Planning Department review only) of Ordinance No. 348.

10. GENERAL CONDITIONS

TRANS DEPARTMENT

10.TRANS. 1 USE - COUNTY WEB SITE RECOMMND

Additional information, standards, ordinances, policies, and design guidelines can be obtained from the Transportation Department Web site: http://rctlma.org/trans/. If you have questions, please call the Plan Check Section at (951) 955-6527.

10.TRANS. 6 USE - ASSESS/BENEFIT DIST 1 RECOMMND

Should this project lie within any assessment/benefit district, the project proponent shall, prior to issuance of a building permit, make application for and pay for their reapportionment of the assessments or pay the unit fees in the benefit district.

10.TRANS. 9 USE - STD INTRO (ORD 461) RECOMMND

With respect to the conditions of approval for the referenced tentative exhibit, the landowner shall provide all street improvements, street improvement plans and/or road dedications set forth herein in accordance with Riverside County Road Improvement Standards (Ordinance 461). It is understood that the exhibit correctly shows acceptable centerline elevations, all existing easements, traveled ways, and drainage courses with appropriate Q's, and that their omission or unacceptability may require the exhibit to be resubmitted for further consideration. This ordinance and all conditions of approval are essential parts and a requirement occurring in ONE is as binding as though occurring in all. All questions regarding the true meaning of the conditions shall be referred to the Transportation Department.

10.TRANS. 11 USE - FLOOD HAZARD REPORT 1 RECOMMND

This is a proposal to construct mobile home farm labor housing on 14 acres (APN 727-113-005). This project lies within the limits of the Mecca area on the east side of Hammond and south of 68th Ave. The Mecca area does not have regional drainage facilities and the new development is proposing to retain 100 percent of the runoff for a 100-year event. The owner shall provide mitigation measures to be incorporated into the development to prevent flooding of the site or downstream properties. The 100 percent retention of the post-development runoff from the

10. GENERAL CONDITIONS

10.TRANS. 11 USE - FLOOD HAZARD REPORT 1 (cont.) RECOMMND

100 year storm will be mitigated as part of the drainage improvements for this project.

10.TRANS. 12 USE - FLOOD HAZARD REPORT 2 RECOMMND

This project is located in an area designated Zone D on Federal Flood Insurance Rate Maps which are in effect at this time by the Federal Emergency Management Agency.

10.TRANS. 13 USE - RETENTION BASIN RECOMMND

For retention basin sizing and calculations refer to letter dated October 23, 2012 from Alan French to Majeed Fashad.

10.TRANS. 14 USE - DRAINAGE PROTECTION RECOMMND

The proponent shall protect downstream properties from damages caused by alteration of drainage patterns, i.e., concentration or diversion of flow. Protection shall be provided by constructing adequate drainage facilities including enlarging existing facilities and/or by securing a drainage easement. All drainage easements shall be recorded by separate instrument or on a map and noted as follows, "Drainage Easement - no building, obstructions, or encroachments are allowed.

10.TRANS. 15 USE - ENCROACHMENT PERMIT RECOMMND

An encroachment permit must be obtained from the Transportation Department prior to the commencement of any work within the County road right-of-way.

20. PRIOR TO A CERTAIN DATE

PLANNING DEPARTMENT

20.PLANNING. 1 USE - EXPIRATION DATE-CUP/PUP RECOMMND

This approval shall be used within two (2) years of the approval date; otherwise, it shall become null and void and of no effect whatsoever. By use is meant the beginning of substantial construction contemplated by this approval within two (2) year period which is thereafter diligently pursued to completion or to the actual occupancy of existing buildings or land under the terms of the authorized use. Prior to the expiration of the two year

20. PRIOR TO A CERTAIN DATE

20.PLANNING. 1 USE - EXPIRATION DATE-CUP/PUP (cont.) RECOMMND

period, the permittee may request a one (1) year extension of time in which to begin substantial construction or use of this permit. Should the one year extension be obtained and no substantial construction or use of this permit be initiated within three (3) years of the approval date this permit, shall become null and void.

20.PLANNING. 2 USE - LIFE OF THE PERMIT RECOMMND

The life of Conditional Use Permit No. 3686 shall terminate on July 1, 2043. This permit shall thereafter be null and void and of no effect whatsoever.

60. PRIOR TO GRADING PRMT ISSUANCE

BS GRADE DEPARTMENT

60.BS GRADE. 1 USE - NPDES/SWPPP RECOMMND

Prior to issuance of any grading or construction permits - whichever comes first - the applicant shall provide the Building and Safety Department evidence of compliance with the following: "Effective March 10, 2003 owner operators of grading or construction projects are required to comply with the N.P.D.E.S. (National Pollutant Discharge Elimination System) requirement to obtain a construction permit from the State Water Resource Control Board (SWRCB). The permit requirement applies to grading and construction sites of "ONE" acre or larger. The owner operator can comply by submitting a "Notice of Intent" (NOI), develop and implement a STORM WATER POLLUTION PREVENTION PLAN (SWPPP) and a monitoring program and reporting plan for the construction site. For additional information and to obtain a copy of the NPDES State Construction Permit contact the SWRCB at www.swrcb.ca.gov.

Additionally, at the time the county adopts, as part of any ordinance, regulations specific to the N.P.D.E.S., this project (or subdivision) shall comply with them.

60.BS GRADE. 2 USE - GRADING SECURITY RECOMMND

Grading in excess of 199 cubic yards will require a performance security to be posted with the Building and Safety Department.

60. PRIOR TO GRADING PRMT ISSUANCE

60.BS GRADE. 3 USE - IMPORT / EXPORT RECOMMND

In instances where a grading plan involves import or export, prior to obtaining a grading permit, the applicant shall have obtained approval for the import/export location from the Building and Safety Department.

A separate stockpile permit is required for the import site. It shall be authorized in conjunction with an approved construction project and shall comply with the requirements of Ordinance 457.

If an Environmental Assessment, prior to issuing a grading permit, did not previously approve either location, a Grading Environmental Assessment shall be submitted to the Planning Director for review and comment and to the Building and Safety Department Director for approval.

Additionally, if the movement of import / export occurs using county roads, review and approval of the haul routes by the Transportation Department may be required.

60.BS GRADE. 4 USE - GEOTECH/SOILS RPTS RECOMMND

Geotechnical soils reports, required in order to obtain a grading permit, shall be submitted to the Building and Safety Department for review and approval prior to issuance of a grading permit. All grading shall be in conformance with the recommendations of the geotechnical/soils reports as approved by Riverside County.* *The geotechnical/soils, compaction and inspection reports will be reviewed in accordance with the RIVERSIDE COUNTY GEOTECHNICAL GUIDELINES FOR REVIEW OF GEOTECHNICAL AND GEOLOGIC REPORTS.

60.BS GRADE. 6 USE - DRAINAGE DESIGN Q100 RECOMMND

All drainage facilities shall be designed in accordance with the Riverside County Flood Control & Water District's or Coachella Valley Water District's conditions of approval regarding this application. If not specifically addressed in their conditions, drainage shall be designed to accommodate 100 year storm flows.

60.BS GRADE. 7 USE - OFFSITE GRDG ONUS RECOMMND

Prior to the issuance of a grading permit, it shall be the sole responsibility of the owner/applicant to obtain any and all proposed or required easements and/or permissions

60. PRIOR TO GRADING PRMT ISSUANCE

60.BS GRADE. 7 USE - OFFSITE GRDG ONUS (cont.) RECOMMND

necessary to perform the grading herein proposed.

60.BS GRADE. 8 USE - NOTARIZED OFFSITE LTR RECOMMND

A notarized letter of permission from the affected property owners or easement holders shall be provided in instances where off site grading is proposed as part of the grading plan.

60.BS GRADE. 9 USE - RECORDED ESMT REQ'D RECOMMND

In instances where the grading plan proposes drainage facilities on adjacent offsite property, the owner/ applicant shall provide a copy of the recorded drainage easement.

60.BS GRADE. 11 USE - APPROVED WQMP RECOMMND

Prior to the issuance of a grading permit, the owner / applicant shall submit to the Building & Safety Department Engineering Division evidence that the project - specific Water Quality Management Plan (WQMP) has been approved by the Riverside County Flood Control District or Riverside County Transportation Department and that all approved water quality treatment control BMPs have been included on the grading plan.

60.BS GRADE. 12 USE - PRE-CONSTRUCTION MTG RECOMMND

Upon receiving grading plan approval and prior to the issuance of a grading permit, the applicant is required to schedule a pre-construction meeting with the Building and Safety Department Environmental Compliance Division.

60.BS GRADE. 13 USE- PM10 PLAN REQUIRED RECOMMND

A PM10 Fugitive Dust Mitigation Plan, prepared in accordance with AQMD Rule 403.1, shall be submitted to the Building and Safety Department for review and approval prior to the issuance of a grading permit.

1.NOTE: The PM 10 plan shall require the posting of signs in accordance with Building and Safety form "Signage Recommendations".
2.NOTE: All PM 10 measures must be in place prior to commencing any grading activity on site.

60. PRIOR TO GRADING PRMT ISSUANCE

60.BS GRADE. 15 USE- PM 10 CLASS REQUIRED RECOMMND

Prior to the issuance of a grading permit, as a requirement of the CIP, the owner, developer, contractor, and their assignees must attend the PM10 class conducted by SCAQMD. Currently, classes are scheduled monthly by SCAQMD.

60.BS GRADE. 16 USE-SIDE YARD DRAINAGE DESIGN RECOMMND

The typical lot drainage design shown on CUP03686 Exhibit A-1 indicates a 3 foot side yard setback as an alternative to the typical 5 foot side yard setback.

When the 3 foot setback is proposed as part of the grading plan, a side yard drainage system such as area drains or an alternative design shall be provided on the grading plan and shall be approved by the Building and Safety Department prior to the issuance of a grading permit.

60.BS GRADE. 17 USE - SWPPP REVIEW RECOMMND

Grading and construction sites of "ONE" acre or larger required to develop a STORM WATER POLLUTION PREVENTION PLAN (SWPPP) - the owner/applicant shall submit the SWPPP to the Building and Safety Department Environmental Compliance Division for review and approval prior to issuance of a grading permit.

EPD DEPARTMENT

60.EPD. 1 EPD - PRECONSTRUCTION SURVEY RECOMMND

A PRECONSTRUCTION SURVEY FOR BURROWING OWL & GROUND NESTING BIRDS MUST BE CONDUCTED WITHIN 30 DAYS PRIOR TO GRADING PERMIT ISSUANCE. THIS SURVEY MUST BE CONDUCTED BY A QUALIFIED BIOLOGIST HOLDING AN MOU WITH RIVERSIDE COUNTY AND SUBMITTED TO EPD FOR REVIEW.

FLOOD RI DEPARTMENT

60.FLOOD RI. 1 USE SUBMIT FINAL WQMP RECOMMND

A copy of the project specific WQMP shall be submitted to the District for review and approval.

60. PRIOR TO GRADING PRMT ISSUANCE

60.FLOOD RI. 2 USE SUBMIT PLANS MINOR REVIEW RECOMMND

The scope of the District review will be limited to verification that this proposal has met its obligation under the County's municipal stormwater permit. A copy of the BMP improvement plans along with any necessary documentation shall be submitted to the Districts Plan Check Section for review. A copy of the improvement and grading plans shall be included for reference. The plans must receive the District's approval prior to issuance of permits. All submittals shall be date stamped by the engineer and include a completed Flood Control Deposit Based Fee Worksheet and the appropriate plan check fee deposit.

PLANNING DEPARTMENT

60.PLANNING. 1 USE - PALEO PRIMP & MONITOR RECOMMND

This site is mapped in the County's General Plan as having a High potential for paleontological resources (fossils). Proposed project site grading/earthmoving activities could potentially impact this resource. HENCE:

PRIOR TO ISSUANCE OF GRADING PERMITS:

1.The applicant shall retain a qualified paleontologist approved by the County of Riverside to create and implement a project-specific plan for monitoring site grading/earthmoving activities (project paleontologist).

2.The project paleontologist retained shall review the approved development plan and grading plan and shall conduct any pre-construction work necessary to render appropriate monitoring and mitigation requirements as appropriate. These requirements shall be documented by the project paleontologist in a Paleontological Resource Impact Mitigation Program (PRIMP). This PRIMP shall be submitted to the County Geologist for review and approval prior to issuance of a Grading Permit.

Information to be contained in the PRIMP, at a minimum and in addition to other industry standard and Society of Vertebrate Paleontology standards, are as follows:

1.Description of the proposed site and planned grading operations.

60. PRIOR TO GRADING PRMT ISSUANCE

60.PLANNING. 1 USE - PALEO PRIMP & MONITOR (cont.) RECOMMND

2.Description of the level of monitoring required for all earth-moving activities in the project area.

3.Identification and qualifications of the qualified paleontological monitor to be employed for grading operations monitoring.

4.Identification of personnel with authority and responsibility to temporarily halt or divert grading equipment to allow for recovery of large specimens.

5.Direction for any fossil discoveries to be immediately reported to the property owner who in turn will immediately notify the County Geologist of the discovery.

6.Means and methods to be employed by the paleontological monitor to quickly salvage fossils as they are unearthed to avoid construction delays.

7.Sampling of sediments that are likely to contain the remains of small fossil invertebrates and vertebrates.

8.Procedures and protocol for collecting and processing of samples and specimens.

9.Fossil identification and curation procedures to be employed.

10.Identification of the permanent repository to receive any recovered fossil material. * Per the County of Riverside "SABER Policy", paleontological fossils found in the County of Riverside should, by preference, be directed to the Western Science Center in the City of Hemet. A written agreement between the property owner/developer and the repository must be in place prior to site grading.

11.All pertinent exhibits, maps and references.

12.Procedures for reporting of findings.

13.Identification and acknowledgement of the developer for the content of the PRIMP as well as acceptance of financial responsibility for monitoring, reporting and curation fees. The property owner and/or applicant on whose land the paleontological fossils are discovered shall provide appropriate funding for monitoring, reporting, delivery and

60. PRIOR TO GRADING PRMT ISSUANCE

60.PLANNING. 1 USE - PALEO PRIMP & MONITOR (cont.) (cont.) RECOMMND

curating the fossils at the institution where the fossils will be placed, and will provide confirmation to the County that such funding has been paid to the institution.

All reports shall be signed by the project paleontologist and all other professionals responsible for the report's content (eg. Professional Geologist), as appropriate. Two wet-signed original copies of the report(s) shall be submitted to the office of the County Geologist along with a copy of this condition and the grading plan for appropriate case processing and tracking. These documents should not be submitted to the project Planner, the Plan Check staff, the Land Use Counter or any other County office. In addition, the applicant shall submit proof of hiring (i.e. copy of executed contract, retainer agreement, etc.) a project paleontologist for the in-grading implementation of the PRIMP.

60.PLANNING. 2 USE - CVWD CLEARANCE RECOMMND

A clearance letter from the Coachella Valley Water District shall be provided to the Riverside County Planning Department verifying compliance with the conditions stated in their letter dated June 3, 2013, a copy which is attached to these conditions of approval.

60.PLANNING. 3 USE - PM10 MITIGATION PLAN RECOMMND

Notwithstanding any provision of Riverside County Ordinance No. 742 (Control of Fugitive Dust & PM10) to the contrary, this project shall comply with the requirements of Ordinance No. 742, including, but not necessarily limited to, the submission of a PM10 Mitigation Plan containing all reasonably available fugitive dust control measures, and, thereafter, the permit holder shall comply with all provisions of the approved PM10 Mitigation Plan during grading, earth movement operations and construction of the project as determined by the Director of the Department of Building and Safety.

The permit holder shall submit a copy of the approved PM10 Mitigation Plan to the Planning Department and the submitted copy shall include a cover letter containing a written certification from a state licensed professional that the control measures of the plan are included in the grading and building plans submitted to the Department of

60. PRIOR TO GRADING PRMT ISSUANCE

60.PLANNING. 3 USE - PM10 MITIGATION PLAN (cont.) RECOMMND

Building and Safety pursuant to obtaining a grading permit.

TRANS DEPARTMENT

60.TRANS. 2 USE-SBMT/APPVD GRADG PLAN/TRAN RECOMMND

When you submit a grading plan to the Department of Building and Safety, a copy of the grading plan shall be submitted and approved by the Transportation Department prior to a grading permit issuance.

Submit required grading plan to the Transportation Department, Plan Check Section, 8th Floor, 4080 Lemon Street, Riverside, CA.

60.TRANS. 4 USE - OBTAIN L&LMD APPLICATION RECOMMND

Obtain an application from the Transportation Department, L&LMD Section, 8th Floor, 4080 Lemon Street, Riverside, CA, to submit application for required annexation per condition of approval 80.TRANS. 10, and 90.TRANS. 18.

If you have any questions or for the processing fee amount, please call the L&LMD Section at (951) 955-6748.

60.TRANS. 5 USE - WATER QUALITY MGMT PLANS RECOMMND

The developer shall submit Water Quality Management Plans (WQMP) to Riverside County Flood Control & Water Consevation District and Transportation Department for review and approval.

60.TRANS. 6 USE - RETENTION BASIN RECOMMND

For retention basin sizing and calculations refer to letter dated October 23, 2012 from Alan French to Majeed Farshad.

60.TRANS. 7 USE - SUBMIT PLANS 1 RECOMMND

The project proponent shall comply with Riverside County Ordinance 458.12 as amended in the preparation of on-site flood protection. The project proponent shall submit plans for grading, landscaping, and irrigation systems, any other necessary documentation along with supporting hydrologic and hydraulic calculations to Riverside County Transportation Department for review and approval. The

60. PRIOR TO GRADING PRMT ISSUANCE

60.TRANS. 7 USE - SUBMIT PLANS 1 (cont.) RECOMMND

project proponent shall pay all fees as required by Riverside County Transportation Department.

60.TRANS. 8 USE - EASEMENT FOR DRAINAGE RECOMMND

The developer will prepare and record easements for drainage purposed by separate instrument or on a map, to the benefit of public, for areas where drainage facilities and other drainage appurtenances are required and/or where drainage flow patterns must be maintained to convey flood plain water. All drainage easements shall be recorded by separate instrument or on a map and noted as follows, "Drainage Easement - no building, obstructions, or encroachments are allowed."

60.TRANS. 9 USE - TYPICAL SITE GRADING RECOMMND

All on-site grading shall be graded to drain to on site drainage facilities. Offsite drainage shall be conveyed through the project site in a manner that will not adversely impact either on-site improvements or worsen the existing drainage conditions to adjacent offsite properties.

60.TRANS. 10 USE - BASIN FENCING RECOMMND

The land divider/permit holder shall file seven (7) sets of a Wall/Fencing Plan to the County Planning Department for review and approval. Said plan shall be submitted to the Department in the form of a plot plan application pursuant to County Ordinance No. 348, Section 18.30.a.(1) (Plot Plans not subject to the California Environmental Quality Act and not subject to review by any governmental agency other than the Planning Department), along with the current fee. The plan shall be in compliance with Section 18.12, and the TENTATIVE MAP conditions of approval.

Wrought iron or tubular steel fence sections may be included within developments where view opportunities and/or terrain warrant its use. Where privacy of views is not an issue, tubular steel or wrought iron sections should be constructed in perimeter walls in order to take advantage of casual view opportunities.

70. PRIOR TO GRADING FINAL INSPECT

PLANNING DEPARTMENT

70.PLANNING. 1 USE - PALEO MONITORING REPORT RECOMMND

PRIOR TO GRADING FINAL:

The applicant shall submit to the County Geologist one wet-signed copy of the Paleontological Monitoring Report prepared for site grading operations at this site. The report shall be certified by the professionally-qualified Paleontologist responsible for the content of the report. This Paleontologist must be on the County's Paleontology Consultant List. The report shall contain a report of findings made during all site grading activities and an appended itemized list of fossil specimens recovered during grading (if any) and proof of accession of fossil materials into the pre-approved museum repository. In addition, all appropriate fossil location information shall be submitted to the Western Center, the San Bernardino County Museum and Los Angeles County Museum of Natural History, at a minimum, for incorporation into their Regional Locality Inventories.

TRANS DEPARTMENT

70.TRANS. 1 USE - EROSION CONTROL RECOMMND

Temporary erosion control measures shall be implemented immediately following site grading to prevent depositions of debris onto downstream properties, public right-of-way, or drainage facilities. Plans showing these measures shall be submitted to Riverside County Transportation Department for review prior to the start of any site work.

80. PRIOR TO BLDG PRMT ISSUANCE

B&S DEPARTMENT

80.B&S. 1 BP* - BUILD & SAFETY PLANCK RECOMMND

The applicant shall obtain allrequired building permit(s) from the building department prior to the construction or placement of any units or equipment on the property. The current exhibit reflects:

84 mobile home sites.
4 Dormitiries.
2 Community centers with day care facilities.
1 Manager quarters.
1 Laundry facility.

80. PRIOR TO BLDG PRMT ISSUANCE

80.B&S. 1 BP* - BUILD & SAFETY PLANCK (cont.) RECOMMND

1 Picnic/Playground area.
Trash enclosures.
Block walls.
Light standards.

All building plans and supporting documents shall compy with current adopted California Building Codes, Riverside County Ordinances, and California Title 25 regulations. Please be aware the new 2013 California Building Code cycle is expected to be adopted by January 1st 2014.

All individual buildings, structures, mobile homes, trash enclosures, walls etc... shall be issued a separate building permit number. Light standards may permitted in groups up to ten each. A separate onsite water and sewer plan shall be submitted to the building department for permit issuance.

All interior and exterior portions of the project shall comply with current accessibility and A.D.A requirements. These requirements will be reviewed under the building plan check process.

Riverside County has adopted all 2010 California Building Codes which includes the Green Building Code. All 2010 green building mandatory measures shall apply. green building standards and requirtements shall

BS GRADE DEPARTMENT

80.BS GRADE. 1 USE - NO B/PMT W/O G/PMT RECOMMND

Prior to the issuance of any building permit, the property owner shall obtain a grading permit and/or approval to construct from the Building and Safety Department.

80.BS GRADE. 2 USE - ROUGH GRADE APPROVAL RECOMMND

Prior to the issuance of any building permit, the applicant shall obtain rough grade approval and/or approval to construct from the Building and Safety Department. The Building and Safety Department must approve the completed grading of your project before a building permit can be issued. Rough Grade approval can be accomplished by complying with the following:

80. PRIOR TO BLDG PRMT ISSUANCE

80.BS GRADE. 2 USE - ROUGH GRADE APPROVAL (cont.) RECOMMND

1.Submitting a "Wet Signed" copy of the Soils Compaction Report containing substantiating data from the Soils Engineer (registered geologist or certified geologist, civil engineer or geotechnical engineer as appropriate) for his/her certification of the project.

2.Submitting a "Wet Signed" copy of the Rough Grade certification from a Registered Civil Engineer certifying that the grading was completed in conformance with the approved grading plan.

3.Requesting a Rough Grade Inspection and obtaining rough grade approval from a Riverside County inspector.

4.Rough Grade Only Permits: In addition to obtaining all required inspections and approval of all final reports, all sites permitted for rough grade only shall provide 100 percent vegetative coverage to stabilize the site prior to receiving a rough grade permit final.

Prior to release for building permit, the applicant shall have met all rough grade requirements to obtain Building and Safety Department clearance.

E HEALTH DEPARTMENT

80.E HEALTH. 1 INDUSTRIAL HYGIENE CLEARANCE RECOMMND

Prior to the Issuance of a Building Permit, the applicant shall comply with the following:

a) Submit a completed Acoustical Review Application Form.

b) Pay applicable review fees (Initial deposit of $1,000).

c) Provide one (1) copy of the Final Noise Report.

d) Provide one (1) copy of the Precise Grading Plan.

e) Provide one (1) copy of the house / buiding / architecture plan.

f) Provide one (1) copy of the noise requirements issued for the approval and entitlement of the Planning Case.

For further information, please contact the Industrial

80. PRIOR TO BLDG PRMT ISSUANCE

80.E HEALTH. 1 INDUSTRIAL HYGIENE CLEARANCE (cont.) RECOMMND

Hygiene Program at (951) 955-8980.

FIRE DEPARTMENT

80.FIRE. 1 USE-#17A-BLDG PLAN CHECK $ RECOMMND

Building Plan check deposit base fee of $1,056.00, shall be paid in a check or money order to the Riverside County Fire Department after plans have been approved by our office.

80.FIRE. 2 USE-#4-WATER PLANS RECOMMND

The applicant or developer shall separately submit two copies of the water system plans to the Fire Department for review and approval. Calculated velocities shall not exceed 10 feet per second. Plans shall conform to the fire hydrant types, location and spacing, and the system shall meet the fire flow requirements.
Plans shall be signed and approved by a registered civil engineer and the local water company with the following certification: "I certify that the design of the water system is in accordance with the requirements prescribed by the Riverside County Fire Department."

FLOOD RI DEPARTMENT

80.FLOOD RI. 1 USE SUBMIT FINAL WQMP RECOMMND

A copy of the project specific WQMP shall be submitted to the District for review and approval.

80.FLOOD RI. 2 USE SUBMIT PLANS MINOR REVIEW RECOMMND

The scope of the District review will be limited to verification that this proposal has met its obligation under the County's municipal stormwater permit. A copy of the BMP improvement plans along with any necessary documentation shall be submitted to the Districts Plan Check Section for review. A copy of the improvement and grading plans shall be included for reference. The plans must receive the District's approval prior to issuance of permits. All submittals shall be date stamped by the engineer and include a completed Flood Control Deposit Based Fee Worksheet and the appropriate plan check fee deposit.

80. PRIOR TO BLDG PRMT ISSUANCE

PLANNING DEPARTMENT

80.PLANNING. 1 USE - CONFORM TO ELEVATIONS RECOMMND

Elevations of all buildings and structures submitted for building plan check approval shall be in substantial conformance with the elevations shown on APPROVED EXHIBIT A.

80.PLANNING. 2 USE - CONFORM TO FLOOR PLANS RECOMMND

Floor plans shall be in substantial conformance with that shown on APPROVED EXHIBIT A.

80.PLANNING. 3 USE - ROOF EQUIPMENT SHIELDING RECOMMND

Roof mounted equipment shall be shielded from ground view. Screening material shall be subject to Planning Department approval.

80.PLANNING. 5 USE - SCHOOL MITIGATION RECOMMND

Impacts to the Coachella Valley Unified School District shall be mitigated in accordance with California State law.

80.PLANNING. 6 USE - WASTE MGMT. CLEARANCE RECOMMND

A clearance letter from Riverside County Waste Management District shall be provided to the Riverside County Planning Department verifying compliance with the conditions contained in their letter dated July 16, 2012, summarized as follows: The developer shall provide adequate areas for collecting and loading recyclable materials such as paper products, glass and green waste in commercial, industrial, public facilities and residential development projects.

80.PLANNING. 8 USE - OIH CLEARANCE RECOMMND

A clearance letter from the Office of Industrial Hygiene shall be provided to the Riverside County Planning Department verifying compliance with the conditions contained in their letter dated April 15, 2009, attached to these condtiions of approval.

80.PLANNING. 9 USE - FEE BALANCE RECOMMND

Prior to issuance of building permits, the Planning Department shall determine if the deposit based fees for

80. PRIOR TO BLDG PRMT ISSUANCE

80.PLANNING. 9 USE - FEE BALANCE (cont.) RECOMMND

project are in a negative balance. If so, any outstanding fees shall be paid by the applicant/developer.

80.PLANNING. 10 USE - CVWD CLEARANCE RECOMMND

A clearance letter from the Coachella Valley Water District shall be provided to the Riverside County Planning Department verifying compliance with the conditions contained in their letter dated June 3, 2013, a copy which is attached to these conditions of approval.

80.PLANNING. 12 USE- LANDSCAPE SECURITIES RECOMMND

Prior to the issuance of building permits, the developer/permit holder shall submit an estimate to replace plantings, irrigation systems, ornamental landscape elements, walls and/or fences, in amounts to be approved by the Riverside County Planning Department, Landscape Division. Once the Planning Department has approved the estimate, the developer/permit holder shall submit the estimate to the Riverside County Department of Building and Safety who will then provide the developer/permit holder with the requisite forms. The required forms shall be completed and submitted to Building and Safety for processing and review in conjunction with County Counsel. Upon determination of compliance, the Department of Building and Safety shall clear this condition.

TRANS DEPARTMENT

80.TRANS. 3 USE - TUMF RECOMMND

Prior to the issuance of a building permit, the project proponent shall pay the Transportation Uniform Mitigation Fee (TUMF) in accordance with the fee schedule in effect at the time of issuance, pursuant to Ordinance No. 673.

80.TRANS. 4 USE - R-O-W DEDICATION RECOMMND

Sufficient public street right-of-way shall be provided along proposed realignment of 68th Avenue to establish a 103-foot full-width right-of-way including standard corner cutbacks.

Off-site portions of 68th Avenue shall be dedicated and recorded by a separate instrument.

80. PRIOR TO BLDG PRMT ISSUANCE

80.TRANS. 4 USE - R-O-W DEDICATION (cont.) RECOMMND

An additional 31-feet shall be dedicated along Hammond Road for public use to provide for a 91-foot full-width right-of-way including standard corner cutbacks.

NOTE: Additional off-site right-of-way for proper tapers may be required on 68th Avenue and Hammond Road as approved by the Transportation Department.

80.TRANS. 6 USE - MAP CORNER CUT-BACK I RECOMMND

All corner cutbacks shall be applied per Standard 805, Ordinance 461, except for corners at Entry streets intersecting with General Plan roads, they shall be applied per Exhibit ' C' of the Countywide Design Guidelines.

80.TRANS. 10 USE - ANNEX L&LMD/OTHER DIST RECOMMND

Prior to the issuance of a building permit, the project proponent shall comply with County requirements within public road rights-of-way, in accordance with Ordinance 461. Assurance of maintenance is required for Lighting Maintenance District No. 89-1-Consolidated by contacting the Transportation Department at (951)955-6767, and/or any other maintenance district approved by the Transportation Department or by processing and filing a 'Landscape Maintenance Agreement' through the Transportation Department Plan Check Division. Said annexation should include the following:

(1) Streetlights on 68th Avenue and Hammond Road.

For street lighting, the project proponent shall contact the Transportation Department L&LMD 89-1-C Administrator and submit the following:

(1) Completed Transportation Department application.

(2) Appropriate fees for annexation.

(3) (2) sets of street lighting plans approved by Transportation Department.

(4) "Streetlight Authorization" form from SCE, IID or other electric provider.

80. PRIOR TO BLDG PRMT ISSUANCE

80.TRANS. 12 USE - LIGHTING PLAN RECOMMND

A separate street light plan and/or a separate bridge light plan is required for this project. Street (and/or bridge) lighting shall be designed in accordance with County Ordinance 460 and Streetlight Specification Chart found in Specification Section 22 of Ordinance 461 and Mecca Design Guidelines(Mecca Community Council recommended using County Standard Lights on Monday June 17, 2013). For projects within SCE boundaries use County of Riverside Ordinance 461, Standard No. 1000 or No. 1001. For projects within Imperial Irrigation District (IID) use IID's pole standard.

80.TRANS. 13 USE - LANDSCAPING COM/IND RECOMMND

Landscaping within public road right-of-way shall comply with Transportation Department standards, Ordinance 461, Comprehensive Landscaping Guidelines & Standards, and Ordinance 859, and Mecca Design Guidelines, and shall require approval by the Transportation Department.

Landscaping plans shall be designed within 68th Avenue and Hammond Road and submitted to the Transportation Department. Landscaping plans shall be submitted on standard County plan sheet format (24" x 36"). Landscaping plans shall be submitted with the street improvement plans.

80.TRANS. 16 USE - UTILITY PLAN RECOMMND

Electrical power, telephone, communication, street lighting, and cable television lines shall be designed to be placed underground in accordance with Ordinance 460 and 461, or as approved by the Transportation Department. The applicant is responsible for coordinating the work with the serving utility company. This also applies to existing overhead lines which are 33.6 kilovolts or below along the project frontage and between the nearest poles offsite in each direction of the project site. A disposition note describing the above shall be reflected on design improvement plans whenever those plans are required. A written proof for initiating the design and/or application of the relocation issued by the utility company shall be submitted to the Transportation Department for verification purposes.

80. PRIOR TO BLDG PRMT ISSUANCE

80.TRANS. 17 USE - DRAINAGE EASEMENT RECOMMND

The developer will prepare and record easements for drainage purposed by separate instrument or on a map, to the benefit of public, for areas where drainage facilities and other drainage appurtenances are required and/or where drainage flow patterns must be maintained to convey flood plain water. All drainage easements shall be recorded by separate instrument or on a map, and noted as follows, "Drainage Easement - no building, obstructions, or encroachments are allowed."

80.TRANS. 18 USE - RETENTION BASIN RECOMMND

For retention basin sizing and calculations refer to letter dated October 23, 2012 from Alan French to Majeed Farshad.

80.TRANS. 19 USE-ENCROACH PERMIT/SEWER/WATE RECOMMND

Prior to the issuance of a building permit, the project proponent shall comply with County requirements for proposed sewer line and water line crossings within public road rights-of-way (68th Ave.), in accordance with Ordinance No. 499. Assurance of lifetime membership with underground service alert shall be submitted to Transportation Department for review and approval.

90. PRIOR TO BLDG FINAL INSPECTION

BS GRADE DEPARTMENT

90.BS GRADE. 1 USE - WQMP BMP INSPECTION RECOMMND

Prior to final building inspection, the applicant shall obtain inspection of all treatment control BMPs and/or clearance from the Building and Safety Department. All structural BMPs described in the project - specific WQMP and indicated on the approved grading plan shall be constructed and installed in conformance with the approved plans and specifications. The Building and Safety Department must inspect and approve the completed WQMP treatment control BMPs for your project before a building final can be obtained.

90.BS GRADE. 2 USE - WQMP BMP CERT REQ'D RECOMMND

Prior to final building inspection, the applicant/owner shall submit a "Wet Signed" copy of the Water Quality

90. PRIOR TO BLDG FINAL INSPECTION

90.BS GRADE. 2 USE - WQMP BMP CERT REQ'D (cont.) RECOMMND

Management Plan (WQMP) Certification from a Registered Civil Engineer certifying that the project - specific WQMP treatment control BMPs have been installed in accordance with the approved WQMP.

90.BS GRADE. 3 USE - BMP GPS COORDINATES RECOMMND

Prior to final building inspection, the applicant/owner shall provide the Department of Building Safety with GPS coordinates for the location of the project - specific WQMP treatment control BMPs.

90.BS GRADE. 4 USE - BMP REGISTRATION RECOMMND

Prior to final building inspection, the applicant/owner shall register the project - specific WQMP treatment control BMPs with the Department of Building Safety Business Registration Division. Any person or entity that owns or operates a commercial and/or industrial facility shall register such facility for annual inspections.

90.BS GRADE. 5 USE - REQ'D GRADING INSP'S RECOMMND

The developer / applicant shall be responsible for obtaining the following inspections required by Ordinance 457.

1.Sub-grade inspection prior to base placement.

2.Base inspection prior to paving.

3.Precise grade inspection of entire permit area.

a.Inspection of Final Paving
b.Precise Grade Inspection
c.Inspection of completed onsite storm drain facilities
d.Inspection of the WQMP treatment control BMPs

90.BS GRADE. 6 USE - PRECISE GRDG APPROVAL RECOMMND

Prior to final building inspection, the applicant shall obtain precise grade approval and/or clearance from the Building and Safety Department. The Building and Safety Department must approve the precise grading of your project before a building final can be obtained. Precise Grade approval can be accomplished by complying with the

90. PRIOR TO BLDG FINAL INSPECTION

90.BS GRADE. 6 USE - PRECISE GRDG APPROVAL (cont.) RECOMMND

following:

1.Requesting and obtaining approval of all required grading inspections.

2.Submitting a "Wet Signed" copy of the Soils Compaction Report from the Soils Engineer (registered geologist or certified geologist, civil engineer or geotechnical engineer as appropriate) for the sub-grade and base of all paved areas.

3.Submitting a "Wet Signed" copy of the Sub-grade (rough) Certification from a Registered Civil Engineer certifying that the sub-grade was completed in conformance with the approved grading plan.

4.Submitting a "Wet Signed" copy of the Precise (Final) Grade Certification for the entire site from a Registered Civil Engineer certifying that the precise grading was completed in conformance with the approved grading plan.

5.Submitting a "Wet Signed" copy of the Certification certifying the installation of any onsite storm drain systems not inspected by Riverside County Flood Control District or the Riverside County Transportation Department.

6.Submitting a "Wet Signed" copy of the Water Quality Management Plan (WQMP) Certification from a Registered Civil Engineer certifying that the Water Quality Management Plan treatment control BMPs have been installed in accordance with the approved WQMP.

Prior to release for building final, the applicant shall have met all precise grade requirements to obtain Building and Safety Department clearance.

FIRE DEPARTMENT

90.FIRE. 1 USE-#45-FIRE LANES RECOMMND

The applicant shall prepare and submit to the Fire Department for approval, a site plan designating required fire lanes with appropriate lane painting and/or signs.

90. PRIOR TO BLDG FINAL INSPECTION

90.FIRE. 2 USE-#66-DISPLAY BOARDS RECOMMND

Display Boards will be as follows: Each complex shall have an illuminated diagrammatic representation of the actual layout which shows name of complex, all streets, building designators, unit members, and fire hydrant locations within dimension and located next to roadway access. The minimum size shall be no less than 4 feet x 4 feet.

90.FIRE. 3 USE-#12A-SPRINKLER SYSTEM RECOMMND

Install a complete fire sprinkler system per NFPA 13 1999 edition in all buildings requiring a fire flow of 1500 GPM or greater. Sprinkler system(s) with pipe sizes in excess of 4" in diamter will require the project structural engineer to certify (wet signature) the stability of the building system for seismic and gravity loads to support the sprinkler system. All fire sprinkler risers shall be protected from any physical damage. The post indicator valve and fire department connection shall be located to the front, within 50 feet of a hydrant, and a minimum of 25 feet from the building(s). A statement that the building(s) will be automatically fire sprinkled must be included on the title page of the building plans.

Applicant or developer shall be responsible to install a U.L. Central Station Monitored Fire Alarm System. Monitoring system shall monitor the fire sprinkler system(s) water flow, P.I.V.'s and all control valves. Plans must be submitted to the Fire Department for approval prior to installation. Contact fire department for guideline handout

90.FIRE. 4 USE-#83-AUTO/MAN FIRE ALARM RECOMMND

Applicant or developer shall be responsible to install a manual and automatic Fire Alarm System. Plans must be submitted to the Fire Department for approval prior to installation.

90.FIRE. 5 USE-#27-EXTINGUISHERS RECOMMND

nstall portable fire extinguishers with a minimum rating of 2A-10BC and signage. Fire Extinguishers located in public areas shall be in recessed cabinets mounted 48" (inches) to center above floor level with maximum 4" projection from the wall. Contact Fire Department for proper placement of

90. PRIOR TO BLDG FINAL INSPECTION

90.FIRE. 5 USE-#27-EXTINGUISHERS (cont.) RECOMMND

equipment prior to installation.

90.FIRE. 6 USE-#36-HOOD DUCTS RECOMMND

A U.L. 300 hood duct fire extinguishing system must be installed over the cooking equipment. Wet chemical extinguishing system must provide automatic shutdown of all electrical componets and outlets under the hood upon activation. System must be installed by a licensed C-16 contractor. Plans must be submitted with current fee to the Fire Department for review and approval prior to installation.

NOTE: A dedicated alarm system is not required to be installed for the exclusive purpose of monitoring this suppression system. However, a new or pre-existing alarm system must be connected to the extinguishing system. (* separate fire alarm plans must be submitted for connection)

FLOOD RI DEPARTMENT

90.FLOOD RI. 2 USE IMPLEMENT WQMP RECOMMND

All structural BMPs described in the project-specific WQMP shall be constructed and installed in conformance with approved plans and specifications. It shall be demonstrated that the applicant is prepared to implement all non-structural BMPs described in the approved project specific WQMP and that copies of the approved project-specific WQMP are available for the future owners/occupants. The District will not release occupancy permits for any portion of the project exceeding 80% of the project area prior to the completion of these tasks.

90.FLOOD RI. 3 USE BMP MAINTENANCE & INSPECT RECOMMND

The BMP maintenance plan shall contain provisions for all treatment controlled BMPs to be inspected, and if required, cleaned no later than October 15 each year. Required documentation shall identify the entity that will inspect and maintain all structural BMPs within the project boundaries. A copy of all necessary documentation shall be submitted to the District for review and approval prior to the issuance of occupancy permits.

90. PRIOR TO BLDG FINAL INSPECTION

PLANNING DEPARTMENT

90.PLANNING. 1 USE - PARKING PAVING MATERIAL RECOMMND

A minimum of 219 parking spaces shall be provided as shown on the APPROVED EXHIBIT A, unless otherwise approved by the Planning Department. The parking area shall be surfaced with asphaltic concrete or concrete to current standards as approved by the Department of Building and Safety.

90.PLANNING. 2 USE - ACCESSIBLE PARKING RECOMMND

A minimum of six (6) accessible parking spaces for persons with disabilities shall be provided as shown on APPROVED EXHIBIT A. Each parking space reserved for persons with disabilities shall be identified by a permanently affixed reflectorized sign constructed of porcelain on steel, beaded text or equal, displaying the International Symbol of Accessibility. The sign shall not be smaller than 70 square inches in area and shall be centered at the interior end of the parking space at a minimum height of 80 inches from the bottom of the sign to the parking space finished grade, or centered at a minimum height of 36 inches from the parking space finished grade, ground, or sidewalk. A sign shall also be posted in a conspicuous place, at each entrance to the off-street parking facility, not less than 17 inches by 22 inches, clearly and conspicuously stating the following:

"Unauthorized vehicles not displaying distinguishing placards or license plates issued for physically handicapped persons may be towed away at owner's expense. Towed vehicles may be reclaimed at ___ or by telephoning ___."

In addition to the above requirements, the surface of each parking space shall have a surface identification sign duplicating the symbol of accessibility in blue paint of at least 3 square feet in size.

90.PLANNING. 3 USE - ROOF EQUIPMENT SHIELDING RECOMMND

Roof-mounted equipment shall be shielded from ground view. Screening material shall be subject to Planning Department approval.

90. PRIOR TO BLDG FINAL INSPECTION

90.PLANNING. 5 USE - UTILITIES UNDERGROUND RECOMMND

All utilities, except electrical lines rated 33 kV or greater, shall be installed underground. If the permittee provides to the Department of Building and Safety and the Planning Department a definitive statement from the utility provider refusing to allow underground installation of the utilities they provide, this condition shall be null and void with respect to that utility.

90.PLANNING. 6 USE - CURBS ALONG PLANTERS RECOMMND

A six inch high curb with a twelve (12) inch wide walkway shall be constructed along planters on end stalls adjacent to automobile parking areas. Public parking areas shall be designed with permanent curb, bumper, or wheel stop or similar device so that a parked vehicle does not overhang required sidewalks, planters, or landscaped areas.

90.PLANNING. 7 USE - WALL/BERM REQUIRED RECOMMND

A minimum six (6) foot high decorative block wall or combination landscaped earthen berm and decorative block wall shall be constructed along Hammond Road and realinged 68th Avenue as depcited on the Office of Industrial Hygiene (OIH) exhibit 1-A. The exterior side of all masonry walls shall be surfaced with a protective coating that will facilitate the removal of graffiti. The required wall and/or berm shall be subject to the approval of the Director of the Department of Building and Safety and the Planning Director and the appropriate flood control agency, and shall be shown on all grading and landscaping plans.

90.PLANNING. 8 USE - TRASH ENCLOSURES RECOMMND

Trash enclosures shall be constructed prior to the issuance of occupancy permits. The enclosures shall be a minimum of six (6) feet in height and shall be made with masonry block and a solid gate which screens the bins from external view. Additional enclosed area for collection of recyclable materials shall be located within, near or adjacent to each trash and rubbish disposal area. The recycling collection area shall be a minimum of fifty percent (50%) of the area provided for the trash/rubbish enclosure(s) or as approved by the Riverside County Waste Management Department. All recycling bins shall be labeled with the universal recycling symbol and with signage indicating to the users the type of material to be deposited in each bin.

90. PRIOR TO BLDG FINAL INSPECTION

90.PLANNING. 10 USE - COLOR/FINISH COMPLIANCE RECOMMND

The permittee shall properly install approved color and finish products in accordance with these conditions of approval.

90.PLANNING. 11 USE - OIH CLEARANCE RECOMMND

A clearance letter from the Office of Industrial Hygieine shall be provided to the Riverside County Planning Department verifying compliance with the conditions of their letter dated April 15, 2009, a copy which is attached to these conditions of approval.

90.PLANNING. 12 USE - SKIRT AROUND MOBILEHOME RECOMMND

The area between ground level and the floor of the mobilehome shall be screened from view by an opaque skirt entirely around the mobilehome.

90.PLANNING. 13 USE* - ORD NO. 659 (DIF) RECOMMND

Prior to the issuance of either a certificate of occupancy or prior to building permit final inspection, the applicant shall comply with the provisions of Riverside County Ordinance No. 659, which requires the payment of the appropriate fee set forth in the Ordinance. Riverside County Ordinance No. 659 has been established to set forth policies, regulations and fees related to the funding and installation of facilities and the acquisition of open space and habitat necessary to address the direct and cummulative environmental effects generated by new development project described and defined in this Ordinance, and it establishes the authorized uses of the fees collected.

The amount of the fee for the migrant agricultural worker mobilehome park is based on the number of multiple family dwelling units currently at $5,566 per unit.

In the event Riverside County Ordinance No. 659 is rescinded, this condition will no longer be applicable. However, should Riverside County Ordinance No. 659 be rescinded and superseded by a subsequent mitigation fee ordinance, payment of the appropriate fee set forth in that ordinance shall be required.

90. PRIOR TO BLDG FINAL INSPECTION

90.PLANNING. 14 USE - ORD 875 CVMSHCP FEE RECOMMND

Prior to a certificate of occupancy or upon building permit final inspection, whichever comes first, the permit holder shall comply with the provisions of Riverside County Ordinance No. 875, which requires the payment of the appropriate fee set forth in the ordinance. The amount of the fee will be based on the "Project Area" as defined in the ordinance and the aforementiond condition of approval. The Project Area for Conditional Use Permit No. 3686 is calculated to be 13.76 acres. In the event Riverside County Ordinance No. 875 is rescinded, this condition will no longer be applicable, However, in the event Riverside County Ordinance No. 875 is rescinded and superseded by a subsequent mitigation fee ordinance, payment of the appropriate fee set forth in that ordinance shall be required.

90.PLANNING. 15 USE- LANDSCAPE INSPECT DEPOSIT RECOMMND

Prior to building permit final inspection, the developer/permit holder shall file an Inspection Request Form and deposit sufficient funds to cover the costs of the Pre-Installation, the Installation, and One Year Post-Establishment landscape inspections. In the event that an open landscape case is not available, then the applicant shall open a FEE ONLY case to conduct inspections. The deposit required for landscape inspections shall be determined by the Riverside County Landscape Division. The Planning Department shall clear this condition upon determination of compliance.

90.PLANNING. 16 USE- LANDSCAPE INSPECT REQUIRE RECOMMND

The permit holder's landscape architect responsible for preparing the Landscaping and Irrigation Plans (or on-site representative) shall arrange for a PRE-INSTALLATION INSPECTION with the Planning Department at least five (5) working days prior to the installation of any landscape or irrigation components.

Upon successful completion of the PRE-INSTALLATION INSPECTION, the applicant will proceed with the installation of the approved landscape and irrigation system and arrange for an INSTALLATION INSPECTION at least five 5 working days prior to the building final inspection or issuance of occupancy permit, whichever occurs first and comply with the Planning Department's Milestone 80

90. PRIOR TO BLDG FINAL INSPECTION

90.PLANNING. 16 USE- LANDSCAPE INSPECT REQUIRE (cont.) RECOMMND

conditions entitled "USE-LANDSCAPING SECURITY" and the Milestone 90 condition entitled "LANDSCAPE INSPECTION DEPOSIT." Upon successful completion of the INSTALLATION INSPECTION, the County Planning Department's Landscape Inspector and the permit holder's landscape architect (or on-site representative) shall execute a Landscape Certificate of Completion that shall be submitted to the Planning Department and the Department of Building and Safety. The Planning Department shall clear this condition upon determination of compliance.

90.PLANNING. 17 USE- COMPLY W/LAND & IRR RECOMMND

The developer/permit holder shall coordinate with their designated landscape representative and the Riverside County Planning Department's landscape inspector to ensure all landscape planting and irrigation systems have been installed in accordance with APPROVED EXHIBITS, landscaping, irrigation, and shading plans. The Planning Department will ensure that all landscaping is healthy, free of weeds, disease and pests; and, irrigation systems are properly constructed and determined to be in good working order. The developer/permit holder's designated landscape representative and the Riverside County Planning Department's landscape inspector shall determine compliance with this condition and execute a Landscape Certificate of Completion. Upon determination of compliance, the Planning Department shall clear this condition.

90.PLANNING. 18 USE - AGENCY CLEARANCE RECOMMND

A clearance letter from the Riverside County Waste Management Department shall be provided to the Riverside County Planning Department verifying compliance with the conditions of their letter dated July 16, 2012, summarized as follows: demonstrate project compliance with the approved WRP.

TRANS DEPARTMENT

90.TRANS. 2 USE - OFF-SITE INFO RECOMMND

The off-site rights-of-way required for said access road shall be accepted to vest title in the name of the public if not already accepted.

90. PRIOR TO BLDG FINAL INSPECTION

90.TRANS. 4 USE - SIGNING & STRIPING RECOMMND

A signing and striping plan is required for this project. The project proponent shall be responsible for any additional paving and/or striping removal caused by the striping plan.

90.TRANS. 5 USE - VACATION/RE-DESIGN RECOMMND

The project proponent, by his/her design, is requesting a vacation of the existing dedicated rights-of-way along 68th Avenue.

The project proponent shall apply under separate application with the County Surveyor for a conditional vacation of 68th Avenue, and receive a Board of Supervisors decision. Should the Board of Supervisors fail to approve said vacation request, the project proponent shall re-design the project, utilizing the existing rights-of-way.

90.TRANS. 7 USE STREETLIGHT AUTHORIZATION RECOMMND

Prior to OCCUPANCY, the project proponent shall submit to Transportation Department Permits the following:

1. "Streetlight Authorization" form approved by L&LMD No. 89-1-C Administrator.

2. Letter establishing interim energy account from SCE, IID or other electric provider.

90.TRANS. 8 USE - STREETLIGHTS INSTALL RECOMMND

Install streetlights along the streets associated with development in accordance with the approved street lighting plan and standards of County Ordinances 460 and 461, and Mecca Design Guidelines(Mecca Community Council recommended using County Standard Lights on Monday June 17, 2013 meeting). For projects within IID use IID's pole standard.

Streetlight annexation into L&LMD or similar mechanism as approved by the Transportation Department shall be completed.

It shall be the responsibility of the developer to ensure that streetlights are energized along the streets associated with this development where the developer is

90. PRIOR TO BLDG FINAL INSPECTION

90.TRANS. 8 USE - STREETLIGHTS INSTALL (cont.) RECOMMND

seeking Building Final Inspection (Occupancy).

90.TRANS. 11 USE - EXISTING MAINTAINED SL1 RECOMMND

68th Avenue is designated as a Secondary Highway and shall be designed and improved and realigned with 6-inch concrete curb and gutter located 32-feet from centerline of construction and asphalt concrete on both sides as shown per typical section within the 103-foot full-width dedicated right-of-way in accordance with County Standard No. 94, pages 1 and 2. (64'/100'), and Mecca Design Guidelines.

NOTE: A 5-foot wide concrete sidewalk shall be constructed on both sides.

* Above mentioned improvements shall be completed prior to final occupancy of first mobile home space within the 84 mobile home spaces.

Hammond Road along project boundary is a paved County maintained road designated as a Secondary Highway and shall be improved with 6-inch concrete curb and gutter located 32-feet from centerline of construction and match up asphalt concrete, and reconstruct per typical section as shown on Exhibit No's. A-1,A-2, AMD.NO.1 as determined by the Transportation Department and in accordance with County Standard No. 94, pages 1 & 2. (64'/91') Modified, and Mecca Design Guidelines.

NOTE: A 5-foot wide concrete sidewalk shall be constructed within the 21-foot parkway.

* Above mentioned improvements shall be completed prior to final occupancy of first mobile home space within the 84 mobile home spaces.

Additional off-site right-of-way for proper tapers may be required on 68th Avenue and Hammond Road as approved by the Transportation Department.

* Above mentioned improvements shall include Class 2 bike lane.

90. PRIOR TO BLDG FINAL INSPECTION

90.TRANS. 14 USE - UTILITY INSTALL RECOMMND

Electrical power, telephone, communication, street lighting, and cable television lines shall be placed underground in accordance with Ordinance 460 and 461, or as approved by the Transportation Department. This also pplies to existing overhead lines which are 33.6 kilovolts or below along the project frontage and between the nearest poles offsite in each direction of the project site.

A certificate should be obtained from the pertinent utility company and submitted to the Department of Transportation as proof of completion.

90.TRANS. 18 USE - ANNEX L&LMD/OTHER DIST RECOMMND

Prior to issuance of an occupancy permit, the project proponent shall complete annexation to Landscaping and Lighting Maintenance District No. 89-1-Consolidated, and/or any other maintenance district approved by the Transportation Department or by processing and filing a 'Landscape Maintenance Agreement' through the Transportation Department Plan Check Division for continuous maintenance within public road rights-of-way, in accordance with Ordinance 461, Comprehensive Landscaping Guidelines & Standards, and Ordinance 859, and Mecca Design Guidelines. Said annexation should include the following:

(1) Streetlights on 68th Avenue and Hammond Road.

90.TRANS. 20 USE - IMP PLANS RECOMMND

Improvement plans for the required improvements must be prepared and shall be based upon a design profile extending a minimum of 300 feet beyond the limit of construction at a grade and alignment as approved by the Riverside County Transportation Department. Completion of road improvements does not imply acceptance for maintenance by County.

NOTE: Before you prepare the street improvement plan(s), please review the Street Improvement Plan Policies and Guidelines from the Transportation Department Web site: www.rctlma.org/trans/land_dev_plan_check_guidelines.html.

90. PRIOR TO BLDG FINAL INSPECTION

90.TRANS. 21 USE - LANDSCAPING COMM/IND RECOMMND

Landscaping within public road right-of-way shall comply with Transportation Department standards and Ordinance 461, and Mecca Design Guidelines, and shall require approval by the Transportation Department. Landscaping shall be improved within 68th Avenue and Hammond Road.

Assurance of continuous maintenance is required by processing and filing a 'Landscape Maintenance Agreement' through the Transportation Department Plan Check Division; or if desired the developer may file an application for annexation into Landscaping and Lighting Maintenance District No. 89-1-Consolidated by contacting the Transportation Department at (951) 955-6767.

90.TRANS. 23 USE - R-O-W DEDICATION RECOMMND

Sufficient public street right-of-way shall be provided along proposed realignment of 68th Avenue to establish a 103-foot full-width right-of-way including standard corner cutback.

Off-site portions of 68th Avenue shall be dedicated and recorded by separate instrument.

An additional 31-feet shall be dedicatd along Hammond Road for public use to provide for a 91-foot full-width right-of-way including standard corner cutback.

NOTE: Additional off-site right-of-way for proper tapers may be required on 68th Avenue and Hammond Road as approved by the Transportation Department.

90.TRANS. 24 USE - INTERSECTION SIGHT DIST RECOMMND

Standard No. 821 shall be met at all intersections.

90.TRANS. 25 USE - DRAINAGE IMPROV COMPLETE RECOMMND

All drainage improvements including the construction of drainage swales, storm drains, inlet structures, and retention basins are required to be completed prior to occupancy.

90. PRIOR TO BLDG FINAL INSPECTION

90.TRANS. 26 USE - OWNER MAINT NOTICE RECOMMND

The owner of the project site shall be responsible for the maintenance of the drainage facility, including but not limited to the catch basins, pipes and the surface retention basin. A viable maintenance mechanism acceptable to the County should be provided for retention basin. The owner/project proponent shall obtain approval from Riverside County Transportation Department regarding the maintenance of the retention basin. These maintenance wording shall be shown on the title sheet of improvement plans or as approved by Transportation.

90.TRANS. 28 USE - EASEMENT FOR DRAINAGE 2 RECOMMND

The developer will prepare and record easements for drainage purposed by separate instrument or on a map, to the benefit of public, for areas where drainage facilities and other drainage appurtenances are required and/or where drainage flow patterns must be maintained to convey flood plain water. All drainage easements shall be recorded by separate instrument or on a map, and noted as follows, "Drainage Easement - no building, obstructions, or encroachments are allowed."

COUNTY OF RIVERSIDE

TRANSPORTATION AND LAND MANAGEMENT AGENCY

Transportation Department

Juan C. Perez, P.E., T.E.
Director of Transportation

MEMORANDUM

To: Majeed Farshad **Date:** October 22, 2012

From: Alan French *AF*

RE: Recommended Conditions of Approval for Conditional Use Permit No. 3497r1, San Cristobal Labor Housing

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Transportation Plan Check Riverside has received the following data:

1. Preliminary Drainage Report for CUP 3497R1 and CUP 3688 (Dated May 18, 2009) Revised July 31,2012

Transportation has completed the review of the above report and has prepared the drainage related conditions for the project. The proponent proposes to collect the 100 year storm runoff generated from the site and use one on-site basin to handle and disperse the flows. The basin to mitigate flows from the dorm facility is for approximately 11 acres. The following are our recommended Conditions of Approval for drainage improvements for this project:

10. GENERAL CONDITIONS

10. TRANS USE – FLOOD HAZARD REPORT 1

This is a proposal to construct farm labor housing on 11 acres (APN 727-113-005). This project lies within the limits of the Mecca area on the east side of Hammond and south of 68th Ave. The Mecca area does not have regional facilities and the new development is proposing to retain 100 percent of the runoff for a 100-year event. The owner shall provide mitigation measures to be incorporated into the development to prevent flooding of the site or downstream properties. The 100 percent retention of the post-development runoff from the 100 year storm will be mitigated as part of the drainage improvements for this project.

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P.O. Box 1090 · Riverside, CA 92502-1090 · FAX (951) 955-3198

10. TRANS USE – FLOOD HAZARD REPORT 2

This project is located in an area designated Zone D on Federal Flood Insurance Rate Maps which are in effect at this time by the Federal Emergency Management Agency.

10. TRANS USE – RETENTION BASIN

Per the project drainage report (revised July 31, 2012); the proponents engineer has calculated the storm water runoff from the 100year event is the following:

100-year Event	1-hr Duration	3-hr Duration	6-hr Duration	24-hr Duration
Basin "A"				
Developed Vol – af	1.02	0.95	0.99	1.28

Of these durations above the critical volume is 1.28 af for the 24-hr duration event. This is equivalent to 2.061 inch effective rain fall for the 11 acre project site for the 100-year storm event.

The proposed retention basin is sized with the following volumes:

Basin "A":

Elevation	Area (sf)	Volume (cf)	Accumulative volume (cf)
301	12,284		
302	26,420	19,352	19,352
303	42,432	34,426	53,776
304	46,370	44,401	98,179
305	50,411	48,390	146,569

The basin storage capacities of 3.36 af, is greater than the 1.28 af storm volumes from the 100 year, 24-hour duration storm event. The actual depth for the100 year event will be 2.05'.

Based on the calculations in the report and the proposed facilities, the project proponent will have provided enough storage capacity for the project to retain on-site all the storm runoff in the 100 year event.

10. TRANS USE – DRAINAGE PROTECTION

The proponent shall protect downstream properties from damages caused by alteration of drainage patterns, i.e., concentration or diversion of flow. Protection shall be provided by constructing adequate drainage facilities including enlarging

existing facilities and/or by securing a drainage easement. All drainage easements shall be recorded by separate instrument or on a map and noted as follows, "Drainage Easement - no building, obstructions, or encroachments are allowed.

60. PRIOR TO GRADING PRMIT ISSUANCE

60. TRANS USE – RETENTION BASIN

Per the project drainage report (revised July 31, 2012); the proponents engineer has calculated the storm water runoff from the 100year event is the following:

100-year Event	1-hr Duration	3-hr Duration	6-hr Duration	24-hr Duration
Basin "A"				
Developed Vol – af	1.02	0.95	0.99	1.28

Of these durations above the critical volume is 1.28 af for the 24-hr duration event. This is equivalent to 2.061 inch effective rain fall for the 11 acre project site for the 100-year storm event.

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The basin storage capacities of 3.36 af, is greater than the 1.28 af storm volumes from the 100 year, 24-hour duration storm event. The actual depth for the100 year event will be 2.05'.

Based on the calculations in the report and the proposed facilities, the project proponent will have provided enough storage capacity for the project to retain on-site all the storm runoff in the 100 year event.

60. TRANS USE – SUBMIT PLANS 1

The project proponent shall comply with Riverside County Ordinance 458.12 as amended in the preparation of on-site flood protection. The project proponent shall submit plans for grading, landscaping, and irrigation systems, any other necessary documentation along with supporting hydrologic and hydraulic calculations to Riverside County Transportation Department for review and approval. The project proponent shall pay all fees as required by Riverside County Transportation Department

60. TRANS USE – EASEMENT FOR DRAINAGE

The developer will prepare and record easements for drainage purposed by separate instrument or on a map, to the benefit of public, for areas where drainage facilities and other drainage appurtenances are required and/or where drainage flow patterns must be maintained to convey flood plain water. All drainage easements shall be recorded by separate instrument or on a map and noted as follows, "Drainage Easement – no building, obstructions, or encroachments are allowed."

60. TRANS USE – TYPICAL SITE GRADING

All on-site grading shall be graded to drain to on site drainage facilities. Offsite drainage shall be conveyed through the project site in a manner that will not adversely impact either on-site improvements or worsen the existing drainage conditions to adjacent offsite properties.

60. TRANS USE – BASIN FENCING

The land divider/permit holder shall file seven (7) sets of a Wall/Fencing Plan to the County Planning Department for review and approval. Said plan shall be submitted to the Department in the form of a plot plan application pursuant to County Ordinance No. 348, Section 18.30.a.(1) (Plot Plans not subject to the California Environmental Quality Act and not subject to review by any governmental agency other than the Planning Department), along with the current fee. The plan shall be in compliance with Section 18.12, and the TENTATIVE MAP conditions of approval.

Wrought iron or tubular steel fence sections may be included within developments where view opportunities and/or terrain warrant its use. Where privacy of views is not an issue, tubular steel or wrought iron sections should be constructed in perimeter walls in order to take advantage of casual view opportunities.

70. PRIOR TO GRADING FINAL INSPECT

70. TRANS USE – EROSION CONTROL

Temporary erosion control measures shall be implemented immediately following site grading to prevent depositions of debris onto downstream properties, public right-of-way, or drainage facilities. Plans showing these measures shall be submitted to Riverside County Transportation Department for review prior to the start of any site work.

80. TRANS PRIOR TO BLDG PRMT ISSUANCE

80. TRANS USE – DRAINAGE EASEMENT

The developer will prepare and record easements for drainage purposed by separate instrument or on a map, to the benefit of public, for areas where drainage facilities and other drainage appurtenances are required and/or where drainage flow patterns must be maintained to convey flood plain water. All drainage easements shall be recorded by separate instrument or on a map, and noted as follows, "Drainage Easement – no building, obstructions, or encroachments are allowed."

90. PRIOR TO BLDG FINAL INSPECTION

90. TRANS USE – DRAINAGE IMPROV COMPLETE

All drainage improvements including the construction of drainage swales, storm drains, inlet structures, and retention basins are required to be completed prior to occupancy.

90. TRANS USE – OWNER MAINT NOTICE

The owner of the project site shall be responsible for the maintenance of the drainage facility, including but not limited to the catch basins, pipes and the surface retention basin. A viable maintenance mechanism acceptable to the

County should be provided for retention basin. The owner/project proponent shall obtain approval from Riverside County Transportation Department regarding the maintenance of the retention basin. These maintenance wording shall be shown on the title sheet of improvement plans or as approved by Transportation.

90. TRANS USE – EASEMENT FOR DRAINAGE 2

The developer will prepare and record easements for drainage purposed by separate instrument or on a map, to the benefit of public, for areas where drainage facilities and other drainage appurtenances are required and/or where drainage flow patterns must be maintained to convey flood plain water. All drainage easements shall be recorded by separate instrument or on a map, and noted as follows, "Drainage Easement – no building, obstructions, or encroachments are allowed."

COUNTY OF RIVERSIDE

TRANSPORTATION AND LAND MANAGEMENT AGENCY

Transportation Department

Juan C. Perez, P.E., T.E.
Director of Transportation

MEMORANDUM

To: Majeed Farshad **Date:** October 23, 2012

From: Alan French *AF*

RE: Recommended Conditions of Approval for Conditional Use Permit No. 3686, Los Vinedos Labor Housing

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Transportation Plan Check Riverside has received the following data:

1. Preliminary Drainage Report for CUP 3497R1 and CUP 3688 (Dated May 18, 2009) Revised July 31,2012 (Report mis-identified project, should be CUP 3686)

Transportation has completed the review of the above report and has prepared the drainage related conditions for the project. The proponent proposes to collect the 100 year storm runoff generated from the site and use one on-site basin to handle and disperse the flows. The basin to mitigate flows from the dorm facility is for approximately 14 acres. The following are our recommended Conditions of Approval for drainage improvements for this project:

10. GENERAL CONDITIONS

10. TRANS USE – FLOOD HAZARD REPORT 1

This is a proposal to construct mobile home farm labor housing on 14 acres (APN 727-113-005). This project lies within the limits of the Mecca area on the east side of Hammond and south of 68th Ave. The Mecca area does not have regional drainage facilities and the development is proposing to retain 100 percent of the runoff for a 100-year event. The owner shall provide mitigation measures to be incorporated into the development to prevent flooding of the site or downstream properties. The 100 percent retention of the post-development runoff from the 100 year storm will be mitigated as part of the drainage improvements for this project.

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P.O. Box 1090 · Riverside, CA 92502-1090 · FAX (951) 955-3198

10. TRANS USE – FLOOD HAZARD REPORT 2

This project is located in an area designated Zone D on Federal Flood Insurance Rate Maps which are in effect at this time by the Federal Emergency Management Agency.

10. TRANS USE – RETENTION BASIN

Per the project drainage report (revised July 31, 2012); the proponents engineer has calculated the storm water runoff from the 100year event is the following:

100-year Event	1-hr Duration	3-hr Duration	6-hr Duration	24-hr Duration
Basin "B"				
Developed Vol – af	2.36	2.18	2.36	3.10

Of these durations above the critical volume is 3.10 af for the 24-hr duration event. This is equivalent to 4.688 inch effective rain fall for the 13 acre project site for the 100-year storm event.

The proposed retention basin is sized with the following volumes:

Basin "A":

Elevation	Area (sf)	Volume (cf)	Accumulative volume (cf)
300	0		
301	34,965	17,482	17,482
302	40,353	37,659	55,141
303	45,792	43,073	98,214
304	51,287	48,540	146,754
305	56,839	54,063	200,817

The basin storage capacities of 4.61 af, is greater than the 3.10 af storm volumes from the 100 year, 24-hour duration storm event. The actual depth for the100 year event will be 3.76'.

Based on the calculations in the report and the proposed facilities, the project proponent will have provided enough storage capacity for the project to retain on-site all the storm runoff in the 100 year event.

10. TRANS USE – DRAINAGE PROTECTION

The proponent shall protect downstream properties from damages caused by alteration of drainage patterns, i.e., concentration or diversion of flow. Protection

shall be provided by constructing adequate drainage facilities including enlarging existing facilities and/or by securing a drainage easement. All drainage easements shall be recorded by separate instrument or on a map and noted as follows, "Drainage Easement - no building, obstructions, or encroachments are allowed.

60. PRIOR TO GRADING PRMT ISSUANCE

60. TRANS USE – RETENTION BASIN

Per the project drainage report (revised July 31, 2012); the proponents engineer has calculated the storm water runoff from the 100year event is the following:

100-year Event	1-hr Duration	3-hr Duration	6-hr Duration	24-hr Duration
Basin "B"				
Developed Vol – af	2.36	2.18	2.36	3.10

Of these durations above the critical volume is 3.10 af for the 24-hr duration event. This is equivalent to 4.688 inch effective rain fall for the 13 acre project site for the 100-year storm event.

The proposed retention basin is sized with the following volumes:

Basin "A":

Elevation	Area (sf)	Volume (cf)	Accumulative volume (cf)
300	0		
301	34,965	17,482	17,482
302	40,353	37,659	55,141
303	45,792	43,073	98,214
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Based on the calculations in the report and the proposed facilities, the project proponent will have provided enough storage capacity for the project to retain on-site all the storm runoff in the 100 year event.

60. TRANS USE – SUBMIT PLANS 1

The project proponent shall comply with Riverside County Ordinance 458.12 as amended in the preparation of on-site flood protection. The project proponent shall submit plans for grading, landscaping, and irrigation systems, any other necessary documentation along with supporting hydrologic and hydraulic calculations to Riverside County Transportation Department for review and approval. The project proponent shall pay all fees as required by Riverside County Transportation Department

60. TRANS USE – EASEMENT FOR DRAINAGE

The developer will prepare and record easements for drainage purposed by separate instrument or on a map, to the benefit of public, for areas where drainage facilities and other drainage appurtenances are required and/or where drainage flow patterns must be maintained to convey flood plain water. All drainage easements shall be recorded by separate instrument or on a map and noted as follows, "Drainage Easement – no building, obstructions, or encroachments are allowed."

60. TRANS USE – TYPICAL SITE GRADING

All on-site grading shall be graded to drain to on site drainage facilities. Offsite drainage shall be conveyed through the project site in a manner that will not adversely impact either on-site improvements or worsen the existing drainage conditions to adjacent offsite properties.

60. TRANS USE – BASIN FENCING

The land divider/permit holder shall file seven (7) sets of a Wall/Fencing Plan to the County Planning Department for review and approval. Said plan shall be submitted to the Department in the form of a plot plan application pursuant to County Ordinance No. 348, Section 18.30.a.(1) (Plot Plans not subject to the California Environmental Quality Act and not subject to review by any governmental agency other than the Planning Department), along with the current fee. The plan shall be in compliance with Section 18.12, and the TENTATIVE MAP conditions of approval.

Wrought iron or tubular steel fence sections may be included within developments where view opportunities and/or terrain warrant its use. Where

privacy of views is not an issue, tubular steel or wrought iron sections should be constructed in perimeter walls in order to take advantage of casual view opportunities.

70. PRIOR TO GRADING FINAL INSPECT

70. TRANS USE – EROSION CONTROL

Temporary erosion control measures shall be implemented immediately following site grading to prevent depositions of debris onto downstream properties, public right-of-way, or drainage facilities. Plans showing these measures shall be submitted to Riverside County Transportation Department for review prior to the start of any site work.

80. TRANS PRIOR TO BLDG PRMT ISSUANCE

80. TRANS USE – DRAINAGE EASEMENT

The developer will prepare and record easements for drainage purposed by separate instrument or on a map, to the benefit of public, for areas where drainage facilities and other drainage appurtenances are required and/or where drainage flow patterns must be maintained to convey flood plain water. All drainage easements shall be recorded by separate instrument or on a map, and noted as follows, "Drainage Easement – no building, obstructions, or encroachments are allowed."

90. PRIOR TO BLDG FINAL INSPECTION

90. TRANS USE – DRAINAGE IMPROV COMPLETE

All drainage improvements including the construction of drainage swales, storm drains, inlet structures, and retention basins are required to be completed prior to occupancy.

90. TRANS USE – OWNER MAINT NOTICE

The owner of the project site shall be responsible for the maintenance of the drainage facility, including but not limited to the catch basins, pipes and the surface retention basin. A viable maintenance mechanism acceptable to the County should be provided for retention basin. The owner/project proponent shall obtain approval from Riverside County Transportation Department regarding the maintenance of the retention basin. These maintenance wording shall be shown on the title sheet of improvement plans or as approved by Transportation.

90. TRANS USE – EASEMENT FOR DRAINAGE 2

The developer will prepare and record easements for drainage purposed by separate instrument or on a map, to the benefit of public, for areas where drainage facilities and other drainage appurtenances are required and/or where drainage flow patterns must be maintained to convey flood plain water. All drainage easements shall be recorded by separate instrument or on a map, and noted as follows, "Drainage Easement – no building, obstructions, or encroachments are allowed."

Riverside County
Waste Management Department
Hans W. Kernkamp, General Manager-Chief Engineer

July 16, 2012

Jay Olivas, Project Planner
Riverside County Planning Department
P. O. Box No. 1409
Riverside, CA 92502-1409

RE: Conditional Use Permit (CUP) No. 3686/CUP No. 3497R1 (FTA-2012-01)
Proposal: CUPs propose to a develop migrant agriculture worker mobile home park and farm labor camp with dormitories
APN: 729-050-002

Dear Mr. Olivas:

The Riverside County Waste Management Department (RCWMD) has reviewed the proposed project located north of Hammond Road, south of Avenue 68, east of Johnson Street, and west of Grant Street, in the Eastern Coachella Valley Area Plan. In order to mitigate the project's potential solid waste impacts and to help the County's efforts to comply with State law in diverting solid waste from landfill disposal, the RCWMD is recommending that the following conditions be made a part of any Conditions of Approval for the project:

1. **Prior to issuance of a building permit,** the applicant shall submit three (3) copies of a Recyclables Collection and Loading Area plot plan to the Riverside County Waste Management Department for review and approval. The plot plan shall conform to ***Design Guidelines for Recyclables Collection and Loading Areas,*** provided by the Waste Management Department, and shall show the location of and access to the collection area for recyclable materials, along with its dimensions and construction detail, including elevation/façade, construction materials and signage. The plot plan shall clearly indicate how the trash and recycling enclosures shall be accessed by the hauler.

2. **Prior to final building inspection,** the applicant shall construct the recyclables collection and loading area in compliance with the Recyclables Collection and Loading Area plot plan, as approved and stamped by the Riverside County Waste Management Department.

3. **Prior to issuance of a building permit,** A Waste Recycling Plan (WRP) shall be submitted to the Riverside County Waste Management Department for approval. At a minimum, the WRP must identify the materials (i.e., concrete, asphalt, wood, etc.) that will be generated by construction and development, the projected amounts, the measures/methods that will be taken to recycle, reuse, and/or reduce the amount of materials, the facilities and/or haulers that will be utilized, and the targeted recycling or reduction rate. During project construction, the project site shall have, at a minimum, two (2) bins: one for waste disposal and the other for the recycling of Construction and Demolition (C&D) materials. Additional bins are encouraged to be used for further source separation of C&D recyclable materials. Accurate record keeping (receipts) for recycling of C&D recyclable materials and solid waste disposal must be kept. Arrangements can be made through the franchise hauler.

4. **Prior to issuance of an occupancy permit,** evidence (i.e., receipts or other type of verification) to demonstrate project compliance with the approved WRP shall be presented by the project proponent to the Planning Division of the Riverside County Waste Management Department in order to clear the project for occupancy permits. Receipts must clearly identify the amount of waste disposed and Construction and Demolition (C&D) materials recycled.

5. Hazardous materials are not accepted at Riverside County landfills. In compliance with federal, state, and local regulations and ordinances, any hazardous waste generated in association with the project shall be disposed of at a permitted Hazardous Waste disposal facility. Hazardous waste materials include, but are not limited to, paint, batteries, oil, asbestos, and solvents. For further information regarding the determination, transport, and disposal of hazardous waste, please contact the Riverside County Department of Environmental Health, Environmental Protection and Oversight Division, at 1.888.722.4234.

6. Use mulch and/or compost in the development and maintenance of landscaped areas within the project boundaries. Recycle green waste through either onsite composting of grass, i.e., leaving the grass clippings on the lawn, or sending separated green waste to a composting facility.

7. Consider xeriscaping and using drought tolerant/low maintenance vegetation in all landscaped areas of the project.

Thank you for the opportunity to review this proposal. If you have any questions, please call me at (951) 486-3200.

Sincerely,

Ryan Ross
Planner IV

PD88468v56

4. **Prior to issuance of an occupancy permit,** evidence (i.e., receipts or other type of verification) to demonstrate project compliance with the approved WRP shall be presented by the project proponent to the Planning Division of the Riverside County Waste Management Department in order to clear the project for occupancy permits. Receipts must clearly identify the amount of waste disposed and Construction and Demolition (C&D) materials recycled.

5. Hazardous materials are not accepted at Riverside County landfills. In compliance with federal, state, and local regulations and ordinances, any hazardous waste generated in association with the project shall be disposed of at a permitted Hazardous Waste disposal facility. Hazardous waste materials include, but are not limited to, paint, batteries, oil, asbestos, and solvents. For further information regarding the determination, transport, and disposal of hazardous waste, please contact the Riverside County Department of Environmental Health, Environmental Protection and Oversight Division, at 1.888.722.4234.

6. Use mulch and/or compost in the development and maintenance of landscaped areas within the project boundaries. Recycle green waste through either onsite composting of grass, i.e., leaving the grass clippings on the lawn, or sending separated green waste to a composting facility.

7. Consider xeriscaping and using drought tolerant/low maintenance vegetation in all landscaped areas of the project.

Thank you for the opportunity to review this proposal. If you have any questions, please call me at (951) 486-3200.

Sincerely,

Ryan Ross
Planner IV

PD88468v56

SunLine TRANSIT AGENCY

MEMBERS: Desert Hot Springs Palm Springs Cathedral City Rancho Mirage
Palm Desert Indian Wells La Quinta Indio Coachella Riverside County

A Public Agency

July 18, 2012

Jay Olivas, Project Planner
Riverside County Planning Department
4080 Lemon Street, 9th Floor
Riverside, CA 92501

RE: Fast Track Change of Zone No. 7785 / Tentative Parcel Map No. 36456 / Conditional Use Permit No. 3686 / Conditional Use Permit No. 3497, Revised Permit No. 1 (FTA-2012-01)

Dear Mr. Olivas:

SunLine Transit Agency (SunLine) would like to thank you for the opportunity to review and comment on the Fast Track Change of Zone No. 7785 / Tentative Parcel Map No. 36456 / Conditional Use Permit No. 3686/ Conditional Use Permit No. 3497, Revised Permit No. 1 (FTA-2012-1) proposal to construct an eighty-four (84) space migrant agricultural worker mobile home park with community center and day care facility to be located on the north side of Hammond Road, within the Salton Sea Community of unincorporated Riverside County.

SunLine staff reviewed the change of zone and plans and based on this review of existing transit amenities in the vicinity, SunLine does not provide transit service to the proposed project location. The nearest existing service route is located just north of the project site within the Mecca area, along Hammond Road and 66th Avenue served by Line 91. However, a transit service is being planned to link North Shore and Mecca via Hammond Road. Therefore, SunLine is requesting transit amenities such as a bus turnout and/or shelters at the project site. SunLine also recommends construction of sidewalks in all areas fronting the project to ensure that future residents are able to readily access service to be provided or existing service in the area.

We appreciate this chance to review developments within the Salton Sea Community of unincorporated Riverside County. As the Coachella Valley continues to grow and based on further analyses, SunLine will continue to monitor on-going developments and may provide other new transit service in this area, if warranted. Should you have questions or concerns regarding this letter, please contact me at 760-343-3456, ext. 190.

Sincerely,

Anita M. Petke
Transit Planning Assistant

cc: C. Mikel Oglesby, General Manager
Joseph Forgiarini, Director of Transit Planning

32-505 Harry Oliver Trail, Thousand Palms, California 92276 Phone 760-343-3456 Fax 760-343-3845 www.sunline.org

LAND DEVELOPMENT COMMITTEE
INITIAL CASE TRANSMITTAL
RIVERSIDE COUNTY PLANNING DEPARTMENT - RIVERSIDE
P.O. Box 1409
Riverside, CA 92502-1409

DATE: July 9, 2012

TO:

Riv. Co. Transportation Dept.-Palm Desert
Riv. Co. Environmental Health Dept.
Riv. Co. Public Health – Industrial Hygiene
Riv. Co. Flood Control District
Coachella Valley Water District
Riv. Co. Fire Department-Palm Desert
Riv. Co. Building & Safety – Grading
Riv. Co. Building & Safety – Plan Check
Regional Parks & Open Space District.
Riv. Co. Environmental Programs Dept.
P.D. Geology Section-D. Jones
P.D. Landscaping Section-R. Dyo
P.D. Archaeology Section-L. Mouriquand
Riv. Co. Surveyor-Bob Robinson
Riv. Co. Info Tech-John Sarkassian
Sunline Transit Agency
Riv. Co. Sheriff's Dept.-Thermal/Mecca Office
Riv. Co. Waste Resources Management Dept.
Riv. Co. EDA- Fast Track
4th District Supervisor
4th District Planning Commissioner
Coachella Valley Unified School Dist.
Southern California Edison-IID
Caltrans Dist. #8
Air Quality Management Dist.-South Coast
Mecca Community Council
Eastern Information Center-UCR

FAST TRACK CHANGE OF ZONE NO. 7785 / TENTATIVE PARCEL MAP NO. 36456 / CONDITIONAL USE PERMIT NO. 3686 / CONDITIONAL USE PERMIT NO. 3497, REVISED PERMIT NO. 1 (FTA-2012-01) – EA42520 – Applicant: Desert Alliance for Community Empowerment (DACE) – Engineer/Representative: Watson Engineering – Fourth Supervisorial District – Lower Coachella Valley Zoning District – Eastern Coachella Valley Area Plan: Agriculture: Agriculture (AG) (10 Acre Minimum) and Medium High Density Residential (MHDR) (5-8 D.U./Ac.) – Location: Northerly of Hammond Road, southerly of Avenue 68, easterly of Johnson Street, and westerly of Grant Street – 25 Gross Acres – Zoning: Heavy Agriculture – 20 Acre Minimum (A-2-20) and Controlled Development Areas (W-2) – REQUEST: Change of Zone No. 7785 proposes to modify the zoning classification from Heavy Agriculture – 20 Acre Minimum (A-2-20) to Heavy Agriculture – 10 Acre Minimum (A-2-10) on an approximate 11.05 gross acre portion of a 25 gross acre site. Tentative Parcel Map No. 36456 (Schedule H) proposes to divide approximately 25 gross acres into two lots with Parcel 1 totaling 13.77 gross acres and Parcel 2 totaling 11.05 gross acres. Conditional Use Permit No. 3686 proposes to construct an 84 space migrant agricultural worker mobile home park with community center and day care facility. Conditional Use Permit No. 3497, Revised Permit No. 1 proposes to modify previously approved farm labor camp (un-built) by allowing up to 160 people in dormitories with community building and on-site manager's quarters. Related cases: GPA00784; CZ07285; CUP03497. APN: 729-050-002. (Legislative; Quasi-Judicial)

Please review the attached map(s) and/or exhibit(s) for the above-described project. This case is scheduled for a **LDC meeting on 7/26/12**. All LDC Members please have draft conditions in the Land Management System on or before the above date. If it is determined that the attached map(s) and/or exhibit(s) are not acceptable, please have corrections in the system and DENY the routing on or before the above date. Once the route is complete, and the approval screen is approved with or without corrections, the case can be scheduled for a public hearing.

All other transmitted entities, please have your comments, questions and recommendations to the Planning Department on or before the above date. Your comments/recommendations/conditions are requested so that they may be incorporated in the staff report for this particular case.

Should you have any questions regarding this project, please do not hesitate to contact **Jay Olivas,** Project Planner, at **(951) 955-1195** or email at **jolivas@rctlma.org / MAILSTOP# 1070**.

COMMENTS: No objection. CVUSD is authorized by State Legislature to levy a developer fee on new residential development. The fee has been established at $3.20 p/sq. ft. The fees collected will be used to assist in the housing of students with the CVUSD. They are required to be paid prior to the issuance of the building permit.

DATE: 7/25/12 SIGNATURE: Elsa F. Esqueda

PLEASE PRINT NAME AND TITLE: Elsa F. Esqueda, Director, Facilities & Maintenance

TELEPHONE: 760-398-5909 ext. 203

If you do not include this transmittal in your response, please include a reference to the case number and project planner's name. Thank you.

Established in 1918 as a public agency

Coachella Valley Water District

Directors:
John P. Powell, Jr., President - Div. 3
Franz W. De Klotz, Vice President - Div. 1
Ed Pack - Div. 2
Peter Nelson - Div. 4
Debi Livesay - Div. 5

Officers:
Jim Barrett, General Manager
Julia Fernandez, Board Secretary

Redwine and Sherrill, Attorneys

June 3, 2013

File: 0163.1
0421.1
0721.1
Geo. 070921-2
PZ 13-4571

Jay Olivas
Riverside County Planning Department
4080 Lemon Street, 9th Floor
Riverside, CA 92501

Dear Mr. Olivas:

Subject: San Cristobal/Los Vinedos Project/Fast Track CUP 3686
Amended No. 2, CUP 3497R1, Amended No. 2 (FTA-2012-01)

The developer has determined that approximately 155 acres of offsite tributary area with a 100-year peak flow of 202 cfs impacts the proposed project. The developer proposes to collect and route the offsite runoff by means of an existing Street (Avenue 68 in a westerly and southwesterly direction towards Hammond Road) and existing topographic features (easterly of the project) in an effort to match the pre-existing conditions. The developer also proposes to elevate the finish floor elevation of the Project by two feet above existing adjacent grade on a permanent foundation. The Coachella Valley Water District (CVWD) has approved the developer's approach to address the offsite drainage impacting the project, finish floor elevation and anchor to the foundation.

This area is designated Zone D on the Federal Flood Insurance Rate Maps, which are in effect at this time. Zone D is defined as an area of undetermined but possible risk of flood hazard.

The County shall require mitigation measures to be incorporated into the development to prevent flooding of the site or downstream properties. These measures shall require on-site retention of the incremental increase of runoff from the 100-year storm.

This project lies within the Study Area Boundary of the 2010 Coachella Valley Water Management Plan Update.

CVWD will provide domestic water and sanitation service to this area and such service will be subject to the satisfaction of terms and conditions established by CVWD and exercised from time to time, including but not limited to fees and charges, water conservation measures, etc.

CVWD may need additional facilities to provide for the orderly expansion of its domestic water and sanitation systems. These facilities may include pipelines, wells, reservoirs, booster

pumping stations, lift stations, treatment plants and other facilities. The developer may be required to install these facilities and provide land and/or easements on which some of these facilities will be located. These sites shall be shown on the parcel map as lots and/or easements to be deeded to CVWD for such purpose.

This notice of domestic water and sanitation service availability can only be used and relied upon for the specific property for which it was issued and shall expire three (3) years from date of issuance.

Domestic water and sanitation service remains at all times subject to changes in regulations adopted by CVWD's Board of Directors including reductions in or suspensions of service.

There are existing United States Bureau of Reclamation (USBR) facilities not shown on the development plans. There may be conflicts with these facilities. We request the County to withhold issuance of grading permits until CVWD has reviewed the proposed development and related impacts to the USBR facilities and associated right-of-way and provide the County with written confirmation that there is no interference. The USBR conflicts include but are not limited to lateral 94.2-2.0-0.5-0.5-0.5, Meter 3434.

This area is underlain with agricultural drainage lines. There are CVWD facilities not shown on the development plans. There may be conflicts with these facilities. We request the County to withhold issuance of grading permits until CVWD has reviewed the proposed development and related impacts to the CVWD facilities and associated right-of-way and provide the County with written confirmation that there is no interference. The CVWD conflicts include but are not limited to Johnson Rail Road East Drain.

Surface and subsurface drainage facilities in the vicinity of this project were designed and constructed for agricultural drainage. CVWD will consider use of these drainage facilities for urban drainage if (1) the surface and subsurface drainage facilities can physically handle the new urban drainage, (2) the area is incorporated into the National Pollutant Discharge Elimination System permit and Waste Discharge Requirements for the discharge of stormwater in the Whitewater River Watershed, which is known as theMS4 Permit and (3) the project is annexed into a future district(s) for recovery of capital and operation/maintenance costs associated with the new urban drainage system.

CVWD may need replacement or additional drainage facilities to provide for the orderly expansion of the drainage system. These facilities may include pipelines, channels, pump stations and other facilities. The developer may be required to install these facilities and provide land and/or easements on which some of these facilities will be located. These sites shall be shown on the parcel map as lots and/or easements to be deeded to CVWD for such purpose.

If you have any questions please call Tommy Fowlkes, Development Services Supervisor, extension 3535.

Sincerely,

Mark L. Johnson
Director of Engineering

cc: Majeed Farshad
Riverside County Department of Transportation
38-686 El Cerrito Road
Palm Desert, CA 92211

Alan French
Riverside County Department of Transportation
4080 Lemon Street, 8th Floor
Riverside, CA 92501

Mike Mistica
County of Riverside, Department of Environmental Health
3880 Lemon Street, Suite 200
Riverside, CA 92501-3374

Jeffrey Tartaglino
Desert Alliance for Community Improvement
53-990 Enterprise Way, Suite 1
Coachella, CA 92236

JC:ch/eng/sw/13/June/ San Cristobal

Established in 1918 as a public agency

Coachella Valley Water District

Directors:
Peter Nelson, President - Div. 4
John P. Powell, Jr., Vice President - Div. 3
Patricia A. Larson - Div. 2
Debi Livesay - Div. 5
Franz W. De Klotz - Div. 1

Officers:
Steven B. Robbins, General Manager-Chief Engineer
Julia Fernandez, Board Secretary

Redwine and Sherrill, Attorneys

June 21, 2012

File: 0163.1
0421.2
0721.2
070921-2

Jeffrey Tartaglino
Desert Alliance for Community Improvement
53-990 Enterprise Way, Suite 1
Coachella, CA 92236

Subject: San Cristobol/Los Vinedos Project

This area is protected from regional stormwater flows by a system of channels and dikes, and may be considered safe from regional stormwater flows except in rare instances.

This area is designated Zone D on the Federal Flood Insurance Rate Maps, which are in effect at this time. Zone D is defined as an area of undetermined but possible risk of flood hazard.

The County shall require mitigation measures to be incorporated into the development to prevent flooding of the site or downstream properties. These measures shall require on-site retention of the incremental increase of runoff from the 100-year storm.

Design for retention basins for this area must consider high groundwater levels and clay soils.

Coachella Valley Water District (CVWD) will provide domestic water and sanitation service to this area and such service will be subject to the satisfaction of terms and conditions established by CVWD and exercised from time to time, including but not limited to fees and charges, water conservation measures, etc.

CVWD may need additional facilities to provide for the orderly expansion of its domestic water and sanitation systems. These facilities may include pipelines, wells, reservoirs, booster pumping stations, lift stations, treatment plants and other facilities. The developer may be required to install these facilities and provide land and/or easements on which some of these facilities will be located. These sites shall be shown on the pending parcel map as lots and/or easements to be deeded to CVWD for such purpose.

CVWD does not currently have sufficient domestic water capacity to serve water other than for domestic water use. The Developer shall construct a private water system that shall provide water for fire protection, laundry facilities, hose bibs and/or water that is not used for human consumption per CVWD's letter dated May 15, copy enclosed.

This notice of domestic water and sanitation service availability can only be used and relied upon for the specific property for which it was issued and shall expire three (3) years from date of issuance.

Domestic water and sanitation service remains at all times subject to changes in regulations adopted by CVWD's Board of Directors including reductions in or suspensions of service.

The sewer service laterals shall be designed and installed so as to readily facilitate connecting to a future collection system.

Sewers shall be designed and constructed so as to readily facilitate connection with an imminent future regional trunk sewer. Dry or wet sewers shall be installed. Plans for their installation shall be submitted to and approved by CVWD prior to issuance of a building permit.

There are existing United States Bureau of Reclamation (USBR) facilities not shown on the development plans. There may be conflicts with these facilities. The USBR conflicts include but are not limited to Lateral 94.2, Meter 3434.

This area is underlain with agricultural drainage lines. There are CVWD facilities not shown on the development plans. There may be conflicts with these facilities. The (CVWD) conflicts include but are not limited to Johnson Road East Drain Drawing 1791.

CVWD may need replacement or additional drainage facilities to provide for the orderly expansion of the drainage system. These facilities may include pipelines, channels, pump stations and other facilities. The developer may be required to install these facilities and provide land and/or easements on which some of these facilities will be located. These sites shall be shown on the [tract/parcel] map as lots and/or easements to be deeded to CVWD for such purpose.

If you have any questions please call Joe Cook, Domestic Water Engineer, extension 2292.

Yours very truly,

Mark L. Johnson
Director of Engineering

Enclosure/1/as

cc: Mike Mistica
County of Riverside, Department of Environmental Health
P.O. Box 1206
Riverside, CA 92502

JC:ch\eng\sw\12\June\ San Christobol/Los Vinedos Project

Department of Public Health
Riverside County Community Health Agency

Date:	April 15, 2009
To:	Maurice Borrows Riverside County Planning Department 38686 El Cerrito Rd, Palm Desert, CA 92211 Fax: (760) 863-7555
From:	Steven D. Hinde, REHS, CIH Senior Industrial Hygienist Department of Public Health Office of Industrial Hygiene P.O. BOX 7600 Riverside, California 92513-7600 Phone: (951) 358-5050 Fax: (951) 358-5443
Project Reviewed:	Conditional Use Permit 3497-1
Reference Number:	**96603**
Applicant:	Sergio Carranza Desert Alliance for Community Environmental 53-990 Enterprise Way, Suite 1 Coachella, CA 92236
Noise Consultant	**Urban Crossroads** 41 Corporate Park, Suite 300 Irvine, CA 92606
Review Stage:	First Review
Information Provided:	"San Cristobal Migrant Housing Facility and Los Vinedos Mobil Park Noise Study, County of Riverside, California." JN:05970-03, which is dated November 26, 2008.

Noise Standards:

1. The "Noise Element" section of the Riverside County General Plan states "to avoid future noise hazard, the maximum capacity design standard (average daily trips) for highways and major roads shall be used for determining the maximum future noise level" or, in the case of freeways and airports, the projected conditions for 20 years in the future may be used.

2. The interior noise levels in residential dwellings shall not exceed 45 Ldn (CNEL).

3. The exterior noise level shall not exceed 65 Ldn.

Highway Prediction Model:

Using the Federal Highway Administration (FHWA) RD 77-108 Highway Traffic Prediction Model, the noise consultant shall estimate noise impacts (Ldn) from the Highways (design capacity "C" Level of Service).

Acoustical Parameters for County Highways:

1. Average daily traffic (ADT) design capacity of 43,100 assumed for Highway 111 (the County General Plan classifies Highway 111 as an "Urban Arterial" highway). ADT design capacity of 20,700 assumed for Hammond Road and 68th Avenue (the County General Plan classifies Hammond Road and 68th Avenue as a "Secondary" highway) quoted from the Remap Area Plan Circulation, Figure 6, dated 10/7/03".

2. Truck/Auto Mix as follows (Riverside Co. Road Department):

For Urban Arterial Highways

VEHICLE	Overall %	DAY(7AM-7PM)	EVENING(7PM-10PM)%	NIGHT(10PM-7AM)%
Auto	92	69.5	12.9	9.6
Med. Truck	3	1.44	0.06	1.5
Heavy Truck	5	2.4	0.1	2.5

For Secondary Highways

VEHICLE	Overall %	DAY(7AM-7PM)	EVENING(7PM-10PM)%	NIGHT(10PM-7AM)%
Auto	97.2	73.6	13.6	10.22
Med. Truck	1.87	0.9	0.04	0.9
Heavy Truck	0.74	0.35	0.04	0.35

3. Traffic Speed of 40 MPH for Highway 111, Hammond Road and 68th Avenue.

4. The distance from the center of Highway 111, Hammond Road and 68th Avenue the nearest building face is estimated to be 634, 133 and 60 feet respectively.

5. Modeling for Hammond Road, and 68th Avenue. was done using a "hard site" assumption. Modeling for Highway 111 was done using a "soft site" assumption.

6. The standard residential design with windows closed provides a 20 dB, A-weighted (reduction inside) attenuation.

7. Barrier calculations based on receptor at 10 feet from the barrier and at a 5 foot elevation for wall barrier height at or less than six feet. However, a receptor placement of 3-foot elevation is required when a wall barrier height is greater than six feet.

8. Interior calculations based on receptor at a 5-foot elevation inside the dwelling in the room nearest the noise source and 14 feet above the pad for the second floor in the middle of the room nearest the noise source.

Findings:

The consultant's report is adequate. Based on our calculations the wall heights recommended should provide sufficient attenuation to reduce exterior roadway noise levels to below 65 Ldn for exterior and to below 45 Ldn for interior closed window conditions.

Recommendations:

The following conditions shall be applied to the project based on the information provided by the acoustical consultant:

Location	Street	Minimum Height Required
1, 34 - 50	Hammond Street / Highway 111	10.0 feet*
2 - 4	Hammond Street / Highway 111	6.0 feet*
33	68th Avenue	7.5 feet*
18 - 32	68th Avenue	5.0 feet

*All walls 6 feet or higher shall have masonry block walls or combination berm and block wall. For example, 6 feet wall on top of a 4 feet berm.

(Heights taken from Exhibit 1-A of the Acoustical Report. See attached map)

These walls shall be erected so that the top of each wall extends at least 5 to 10 feet (depending on location) above the pad elevation of the shielded lot. In cases where the road is elevated above the pad, the wall shall extend at least 5 to 10 feet (depending on location) above the highest point between the homes and the road.

2. The migrant housing facility must have an interior noise reduction of 25.2 DBA CNEL to meet County of Riverside 45 dBA CNEL interior noise standard. All windows of the migrant housing facility in the northwest corner of site shall use dual glazing at STC rating of 29 or higher. In addition, provide housing facility unit's with closed windows requiring mechanical ventilation per UBC requirements with fresh air intakes.

3. All mobile homes must have an interior noise reduction of 20 dBA CNEL, or higher to meet the interior noise standard.

4. All units require a windows closed condition with a means of mechanical ventilation,

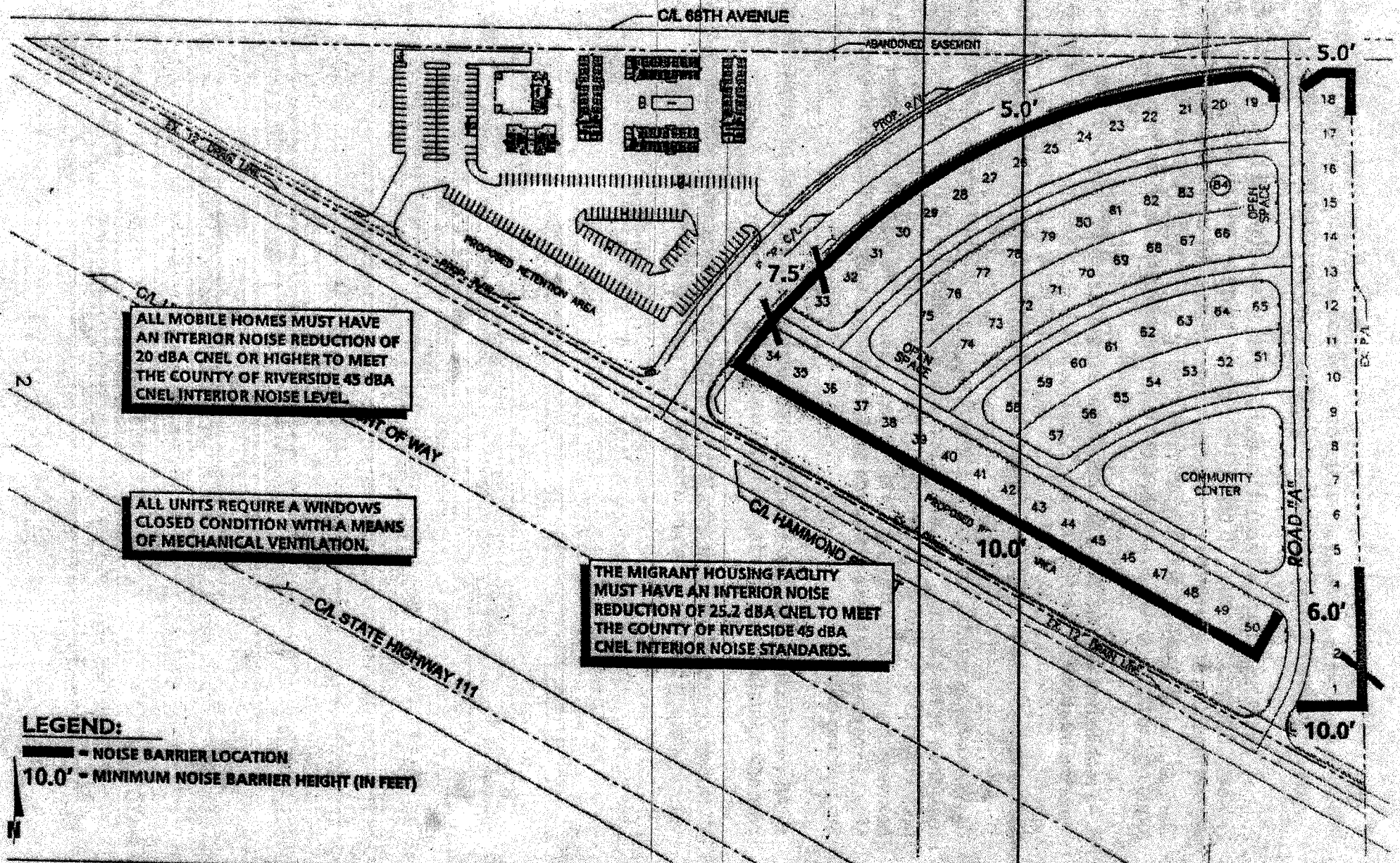
5. Whenever a construction site is within one-quarter (1/4) of a mile of an occupied residence or residences, no construction activities shall be undertaken between the hours of 6:00 p.m. and 6:00 a.m. during the months of June through September and between the hours of 6:00 p.m. and 7:00 a.m. during the months of October through May. Exceptions to these standards shall be allowed only with the written consent of the building official.

6. All construction vehicles or equipment (fixed or mobile) shall be equipped with properly operating and maintained mufflers.

7. During construction, best efforts should be made to locate a stockpiling and/or vehicle staging area as far as practicable from existing residential dwellings.

EXHIBIT 1-A

SUMMARY OF RECOMMENDATIONS



San Cristobal Migrant Housing Facility and Los Vinedos Mobile Home Park Noise Study
Riverside County, CA (JN - 05970: 08)

URBAN CROSSROADS

Fast Track Authorization

Case No.:	CUP 3497/PM 36456

FTA No. 2012-01

SUPERVISOR John Benoit

SUPERVISORIAL DISTRICT: 4

Company/Developer: Desert Alliance for Community Empowerment **Contact:** Jeffrey Hays

Address: 53-990 Enterprise Way, Suite 1, Coachella, CA 92236

Phone: (760) 391-5050 **Fax:** (760) 340-2693 **Email:** jeff@dace-rancho.org

Architectural Firm: Robert H. Ricciardi **Contact:** Robert Ricciardi

Address: 75-400 Gerald Ford Drive, Suite 115, Palm Desert, CA 92211

Phone: (760) 346-2223 **Fax:** (760) 340-2693 **Email:**

Engineering Firm: W&W Design Development, Inc. **Contact:** Lloyd Watson

Address: 81-735 State Highway 111, Suite B, Indio, CA 92201

Phone: (760) 342-7766 **Fax:** (760) 342-7716 **Email:**

Land Use Application(s): ☐ General Plan Amendment ☒ Conditional Use Permit ☐ Change of Zone

☐ Plot Plan ☒ Parcel Map ☐ Other

Site Information:

Assessor's Parcel Number(s) 729-050-002

Cross Streets/Address SWC of Hammond Rd & Avenue 68 Site Acreage 23.47

Land Use Designation CD-MHDR Zoning W-2, A-2-20

Redevelopment Project Area/Sub-Area: N/A

Unincorporated Community

Project Information (Estimate Amounts):

Eligibility Criteria ☐ Full Time Jobs ☐ Capital Investment ☐ Annual Taxable Sales ☐ Board of Supervisors ☐ Child Care

☒ Workforce Housing ☐ Other

Permanent Full-Time Jobs 4 Wages per Hour $10-20 Construction Jobs 50

Capital Investment $15,000,000 Taxable Sales $0 Bldg Size: 0

Project Type ☐ Commercial ☐ Industrial ☐ Office ☐ Residential ☒ Other Farm Labor/Migrant Housing

Industrial Classification N/A Other

Commercial Classification N/A Other

Project Description:

Farm labor camp/migrant housing facility consisting of dormitories, community center, and a migrant worker mobile home park consisting of 84 units.

The Economic Development Agency (EDA) hereby acknowleges that the above referenced development warrants special consideration relative to the permit processing as required by the County of Riverside, and encourages the affected County agencies to immediately institute "FAST TRACK" procedures to enable the project to proceed as soon as possible, in accordance with Board Fast Track Policy A-32. *This Authorization contains preliminary project information and serves as a basis for determining "FAST TRACK" eligibility. During the county's development review process, the proposed project size and configuration may be altered.

Lisa Brandl 4/12/12 — Lisa Brandl, Managing Director of EDA — Date

4/9/12 — Robert Moran, EDA Development Manager — Date

RIVERSIDE COUNTY
PLANNING DEPARTMENT

Carolyn Syms Luna
Director

APPLICATION FOR LAND USE PROJECT

CHECK ONE AS APPROPRIATE:

- ☐ PLOT PLAN
- ☑ REVISED PERMIT
- ☐ CONDITIONAL USE PERMIT
- ☐ PUBLIC USE PERMIT
- ☐ TEMPORARY USE PERMIT
- ☐ VARIANCE

PROPOSED LAND USE: + CUP REVISON

ORDINANCE NO. 348 SECTION AUTHORIZING PROPOSED LAND USE: Sec. 14.1, C. 3 b.(3)

ALL APPLICATIONS MUST INCLUDE THE INFORMATION REQUIRED UNDER ANY SUPPLEMENTAL INFORMATION LIST APPLICABLE TO THE SPECIFIC PROJECT. ADDITIONAL INFORMATION MAY BE REQUIRED AFTER INITIAL RECEIPT AND REVIEW. INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED.

CASE NUMBER: CUP03497 R1 DATE SUBMITTED: 6/12/2012

APPLICATION INFORMATION

Applicant's Name: DACE E-Mail: jeffreyt@dace-rancho.org

Mailing Address: 53-990 Enterprise Way
Street
Coachella CA 92236
City *State* *ZIP*

Daytime Phone No: (951) 283-1804 Fax No: (____) ____

Engineer/Representative's Name: Lloyd Watson E-Mail: lwwatson@lwweng.com

Mailing Address: 50-200 Monroe
Street
Indio CA 92201
City *State* *ZIP*

Daytime Phone No: (760) 275-1553 Fax No: (760) 342-7716

Property Owner's Name: DACE E-Mail: jeff@dace-rancho.org

Mailing Address: 53-990 Enterprise Way
Street
Coachella CA 92236
City *State* *ZIP*

Daytime Phone No: (760) 391-5050 Fax No: (____) ____

If the property is owned by more than one person, attach a separate page that references the application case number and lists the names, mailing addresses, and phone numbers of all persons having an interest in the real property or properties involved in this application.

The Planning Department will primarily direct communications regarding this application to the person identified above as the Applicant. The Applicant may be the property owner, representative, or other assigned agent.

AUTHORIZATION FOR CONCURRENT FEE TRANSFER

The signature below authorizes the Planning Department and TLMA to expedite the refund and billing process by transferring monies among concurrent applications to cover processing costs as necessary. Fees collected in excess of the actual cost of providing specific services will be refunded. If additional funds are needed to complete the processing of your application, you will be billed, and processing of the application will cease until the outstanding balance is paid and sufficient funds are available to continue the processing of the application. The applicant understands the deposit fee process as described above, and that there will be NO refund of fees which have been expended as part of the application review or other related activities or services, even if the application is withdrawn or the application is ultimately denied.

All signatures must be originals ("wet-signed"). Photocopies of signatures are **not** acceptable.

Jeffrey A. Hays

PRINTED NAME OF APPLICANT — *SIGNATURE OF APPLICANT*

AUTHORITY FOR THIS APPLICATION IS HEREBY GIVEN:

I certify that I am/we are the record owner(s) or authorized agent and that the information filed is true and correct to the best of my knowledge. An authorized agent must submit a letter from the owner(s) indicating authority to sign the application on the owner's behalf.

All signatures must be originals ("wet-signed"). Photocopies of signatures are **not** acceptable.

Jeffrey A. Hays

PRINTED NAME OF PROPERTY OWNER(S) — *SIGNATURE OF PROPERTY OWNER(S)*

PRINTED NAME OF PROPERTY OWNER(S) — *SIGNATURE OF PROPERTY OWNER(S)*

If the property is owned by more than one person, attach a separate sheet that references the application case number and lists the printed names and signatures of all persons having an interest in the property.

☐ See attached sheet(s) for other property owners' signatures.

PROPERTY INFORMATION:

Assessor's Parcel Number(s): 729-050-002

Section: 21 Township: 7 s Range: 9 E

APPLICATION FOR LAND USE PROJECT

Approximate Gross Acreage: [redacted] 11.05

General location (nearby or cross streets): North of Hammond, South of 68th, East of Hammond, West of Vacant Land.

Thomas Brothers map, edition year, page number, and coordinates: Pg 5652 H2

Project Description: (describe the proposed project in detail)

CUP Revision for the following: Church Services; Community Meetings; Community Use Rental Basis Community Building; Day Care; Accessory Sales (Pre-Packaged Food, Dry Goods); Vending Machines; ~~Social Services; Temporary Emergency Housing;~~ Sports Field in Retention Basin; 160 Beds, 2 Manager Units
Community Usage Events Dorm

Related cases filed in conjunction with this application:

Parcel Map [redacted]

Is there a previous application filed on the same site: Yes ☑ No ☐

If yes, provide Case No(s). CUP 3497, GPA 784 (Parcel Map, Zone Change, etc.)

E.A. No. (if known) 40674 E.I.R. No. (if applicable): _____

Have any special studies or reports, such as a traffic study, biological report, archaeological report, geological or geotechnical reports, been prepared for the subject property? Yes ☑ No ☐

If yes, indicate the type of report(s) and provide a copy: Geotechnical, Archaeological

Is water service available at the project site: Yes ☑ No ☐

If "No," how far must the water line(s) be extended to provide service? (No. of feet/miles) _____

Will the project eventually require landscaping either on-site or as part of a road improvement or other common area improvements? Yes ☑ No ☐

Is sewer service available at the site? Yes ☐ No ☑

If "No," how far must the sewer line(s) be extended to provide service? (No. of feet/miles) 1.5 miles

Will the project result in cut or fill slopes steeper than 2:1 or higher than 10 feet? Yes ☐ No ☑

How much grading is proposed for the project site?

Estimated amount of cut = cubic yards: _____

Estimated amount of fill = cubic yards _____

Does the project need to import or export dirt? Yes ☐ No ☑

Import _____ Export _____ Neither _____

What is the anticipated source/destination of the import/export?

_____

What is the anticipated route of travel for transport of the soil material?

_____

How many anticipated truckloads? _____ truck loads.

What is the square footage of usable pad area? (area excluding all slopes) _____ sq. ft.

Is the project located within 8½ miles of March Air Reserve Base? Yes ☐ No ☑

If yes, will any structure exceed fifty-feet (50') in height (above ground level)? Yes ☐ No ☑

Is the project located within 1000 feet of a military installation, beneath a low-level flight path or within special use airspace as defined in Section 21098 of the Public Resources Code, and within an urbanized area as defined by Section 65944 of the Government Code? (See California Office of Planning and Research website: http://cmluca.projects.atlas.ca.gov/) Yes ☐ No ☑

Is the project located within the boundaries of an Airport Land Use Compatibility Plan adopted by the Riverside County Airport Land Use Commission? Yes ☐ No ☑

Does the project area exceed one acre in area? Yes ☑ No ☐

Is the project located within any of the following watersheds (refer to Riverside County Land Information System (RCLIS) (http://www3.tlma.co.riverside.ca.us/pa/rclis/index.html) for watershed location)?

☐ Santa Ana River ☐ Santa Margarita River ☐ San Jacinto River ☑ Whitewater River

HAZARDOUS WASTE AND SUBSTANCES STATEMENT

Government Code Section 65962.5 requires the applicant for any development project to consult specified state-prepared lists of hazardous waste sites and submit a signed statement to the local agency indicating whether the project and any alternatives are located on an identified site and shall specify any lists. Under the statute, no application shall be accepted as complete without this signed statement.

I (We) certify that I (we) have investigated our project and any alternatives with respect to its location on an identified hazardous waste site contained on all lists compiled pursuant to Government Code Section 65962.5 and that my (our) answers are true and correct. My (Our) investigation has shown that:

☑ The development project and any alternatives proposed in this application are not contained on the lists compiled pursuant to Section 65962.5 of the Government Code.

☐ The development project and any alternatives proposed in this application are contained on the lists compiled pursuant to Section 65962.5 of the Government Code. Accordingly, the following information is provided and incorporated herein. Attach a separate sheet setting forth the following information with respect to each list.

Name of Applicant:
Address:
Phone number:
Address of site (street name and number if available, and ZIP Code):
Local Agency: County of Riverside
Assessor's Book Page, and Parcel Number:
Specify any list pursuant to Section 65962.5 of the Government Code:
Regulatory Identification number:
Date of list:

Applicant (1) JEFFREY A. HAYS Executive Director Date 5-25-12

Applicant (2) _____ Date _____

HAZARDOUS MATERIALS DISCLOSURE STATEMENT

Government Code Section 65850.2 requires the owner or authorized agent for any development project to disclose whether:

1. Compliance will be needed with the applicable requirements of Section 25505 and Article 2 (commencing with Section 25531) of Chapter 6.95 of Division 20 of the Health and Safety Code or the requirements for a permit for construction or modification from the air pollution control district or air quality management district exercising jurisdiction in the area governed by the County.
   Yes ☑ No ☐

2. The proposed project will have more than a threshold quantity of a regulated substance in a process or will contain a source or modified source of hazardous air emissions.
   Yes ☐ No ☑

I (we) certify that my (our) answers are true and correct.

Owner/Authorized Agent (1) JEFFREY A. HAYS Executive Director Date 5-25-12

Owner/Authorized Agent (2) _____ Date _____

RIVERSIDE COUNTY
PLANNING DEPARTMENT

Carolyn Syms Luna
Director

APPLICATION FOR LAND USE PROJECT

CHECK ONE AS APPROPRIATE:

- ☐ PLOT PLAN
- ☐ REVISED PERMIT
- ☒ CONDITIONAL USE PERMIT
- ☐ PUBLIC USE PERMIT
- ☐ TEMPORARY USE PERMIT
- ☐ VARIANCE

PROPOSED LAND USE: CHURCH, DAYCARE, COMMUNITY MEETINGS, COMMUNITY BUILDING

ORDINANCE NO. 348 SECTION AUTHORIZING PROPOSED LAND USE: 15.1 C(7),(11), d(14)

ALL APPLICATIONS MUST INCLUDE THE INFORMATION REQUIRED UNDER ANY SUPPLEMENTAL INFORMATION LIST APPLICABLE TO THE SPECIFIC PROJECT. ADDITIONAL INFORMATION MAY BE REQUIRED AFTER INITIAL RECEIPT AND REVIEW. INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED.

CASE NUMBER: CUP03686 DATE SUBMITTED: ~~6/5/12~~ 6/12/2012

APPLICATION INFORMATION

Applicant's Name: DACE E-Mail: jeffreyt@dace-rancho.org

Mailing Address: 53-990 Enterprise Way, Suite 1
Street
Coachella CA 92236
City *State* *ZIP*

Daytime Phone No: (951) 283-1804 Fax No: (____) ____

Engineer/Representative's Name: Lloyd Watson E-Mail: lwwatson@lwweng.com

Mailing Address: 50-220 Monroe Street
Street
Indio CA 92201
City *State* *ZIP*

Daytime Phone No: (760) 275-1533 Fax No: (760) 342-7716

Property Owner's Name: DACE E-Mail: jeff@dace-rancho.org

Mailing Address: 53-990 Enterprise Way, Suite 1
Street
Coachella CA 92236
City *State* *ZIP*

Daytime Phone No: (760) 391-5050 Fax No: (____) ____

If the property is owned by more than one person, attach a separate page that references the application case number and lists the names, mailing addresses, and phone numbers of all persons having an interest in the real property or properties involved in this application.

The Planning Department will primarily direct communications regarding this application to the person identified above as the Applicant. The Applicant may be the property owner, representative, or other assigned agent.

AUTHORIZATION FOR CONCURRENT FEE TRANSFER

The signature below authorizes the Planning Department and TLMA to expedite the refund and billing process by transferring monies among concurrent applications to cover processing costs as necessary. Fees collected in excess of the actual cost of providing specific services will be refunded. If additional funds are needed to complete the processing of your application, you will be billed, and processing of the application will cease until the outstanding balance is paid and sufficient funds are available to continue the processing of the application. The applicant understands the deposit fee process as described above, and that there will be NO refund of fees which have been expended as part of the application review or other related activities or services, even if the application is withdrawn or the application is ultimately denied.

All signatures must be originals ("wet-signed"). Photocopies of signatures are **not** acceptable.

Jeffrey A. Hays

PRINTED NAME OF APPLICANT — *SIGNATURE OF APPLICANT*

AUTHORITY FOR THIS APPLICATION IS HEREBY GIVEN:

I certify that I am/we are the record owner(s) or authorized agent and that the information filed is true and correct to the best of my knowledge. An authorized agent must submit a letter from the owner(s) indicating authority to sign the application on the owner's behalf.

All signatures must be originals ("wet-signed"). Photocopies of signatures are **not** acceptable.

Jeffrey A. Hays

PRINTED NAME OF PROPERTY OWNER(S) — *SIGNATURE OF PROPERTY OWNER(S)*

PRINTED NAME OF PROPERTY OWNER(S) — *SIGNATURE OF PROPERTY OWNER(S)*

If the property is owned by more than one person, attach a separate sheet that references the application case number and lists the printed names and signatures of all persons having an interest in the property.

☐ See attached sheet(s) for other property owners' signatures.

PROPERTY INFORMATION:

Assessor's Parcel Number(s): 729-050-002

Section: 21 Township: 7S Range: 9E

APPLICATION FOR LAND USE PROJECT

Approximate Gross Acreage: 13.77

General location (nearby or cross streets): North of Hammond Road, South of 68th, East of Hammond, West of Vacant Land.

Thomas Brothers map, edition year, page number, and coordinates: Pg 5652 H22

Project Description: (describe the proposed project in detail)

84 Mobile Homes. Setbacks: 3' and 5' side, 20' front, 8' back; Awnings at side of units, two vehicle parking area for each mobile home. Community Building, Community Meetings, Church Services, Day Care Center.

Related cases filed in conjunction with this application:

Parcel Map

Is there a previous application filed on the same site: Yes ☑ No ☐

If yes, provide Case No(s). CUP 3497, GPA 784 (Parcel Map, Zone Change, etc.)

E.A. No. (if known) 40674 E.I.R. No. (if applicable): _____

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Will the project eventually require landscaping either on-site or as part of a road improvement or other common area improvements? Yes ☑ No ☐

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How much grading is proposed for the project site?

Estimated amount of cut = cubic yards: _____

Estimated amount of fill = cubic yards _____

Does the project need to import or export dirt? Yes ☐ No ☑

Import _____ Export _____ Neither _____

What is the anticipated source/destination of the import/export?

_____

What is the anticipated route of travel for transport of the soil material?

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How many anticipated truckloads? _____ truck loads.

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Name of Applicant:
Address:
Phone number:
Address of site (street name and number if available, and ZIP Code):
Local Agency: County of Riverside
Assessor's Book Page, and Parcel Number:
Specify any list pursuant to Section 65962.5 of the Government Code:
Regulatory Identification number:
Date of list:

Applicant (1) _____ Date 6-4-12

Applicant (2) _____ Date _____

JEFFREY A. HAYS
Executive Director

HAZARDOUS MATERIALS DISCLOSURE STATEMENT

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1. Compliance will be needed with the applicable requirements of Section 25505 and Article 2 (commencing with Section 25531) of Chapter 6.95 of Division 20 of the Health and Safety Code or the requirements for a permit for construction or modification from the air pollution control district or air quality management district exercising jurisdiction in the area governed by the County.
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2. The proposed project will have more than a threshold quantity of a regulated substance in a process or will contain a source or modified source of hazardous air emissions.
   Yes ☐ No ☑

I (we) certify that my (our) answers are true and correct.

Owner/Authorized Agent (1) _____ Date 6-4-12

Owner/Authorized Agent (2) JEFFREY A. HAYS Executive Director Date _____

San Cristobal and Los Vinedos Water and Sewer Plans

DACE will be installing a private water and sewer system for the San Cristobal and Los Vinedos Farmworker Project.

As part of the system DACE will be installing a private sewer system that will be handled by a package Lift Station system that will then be tied into the CVWD main sewer line on Hammond and DACE's property line.

The private water system will consist of an 180,000 gallon reservoir to supply water for the following areas: San Cristobal: Fire Suppression System; Fire Sprinklers, Landscape areas, CVWD will supply all domestic water. Los Vinedos: Fire Suppression System and Landscaping, CVWD will supply domestic water including fire sprinklers in the trailers.

CVWD will supply all water meters at the property line along Hammond.

CVWD will install all sewer and water improvements in the public right of ways. The cost of this installation will be handled by a grant from the USDA.

PROPERTY OWNERS CERTIFICATION FORM

I, VINNIE NGUYEN, certify that on 6/27/2013,

The attached property owners list was prepared by Riverside County GIS,

APN (s) or case numbers CUP03497R1/CUP03686 For

Company or Individual's Name Planning Department,

Distance buffered 2400'.

Pursuant to application requirements furnished by the Riverside County Planning Department, Said list is a complete and true compilation of the owners of the subject property and all other property owners within 600 feet of the property involved, or if that area yields less than 25 different owners, all property owners within a notification area expanded to yield a minimum of 25 different owners, to a maximum notification area of 2,400 feet from the project boundaries, based upon the latest equalized assessment rolls. If the project is a subdivision with identified off-site access/improvements, said list includes a complete and true compilation of the names and mailing addresses of the owners of all property that is adjacent to the proposed off-site improvement/alignment.

I further certify that the information filed is true and correct to the best of my knowledge. I understand that incorrect or incomplete information may be grounds for rejection or denial of the application.

NAME: Vinnie Nguyen

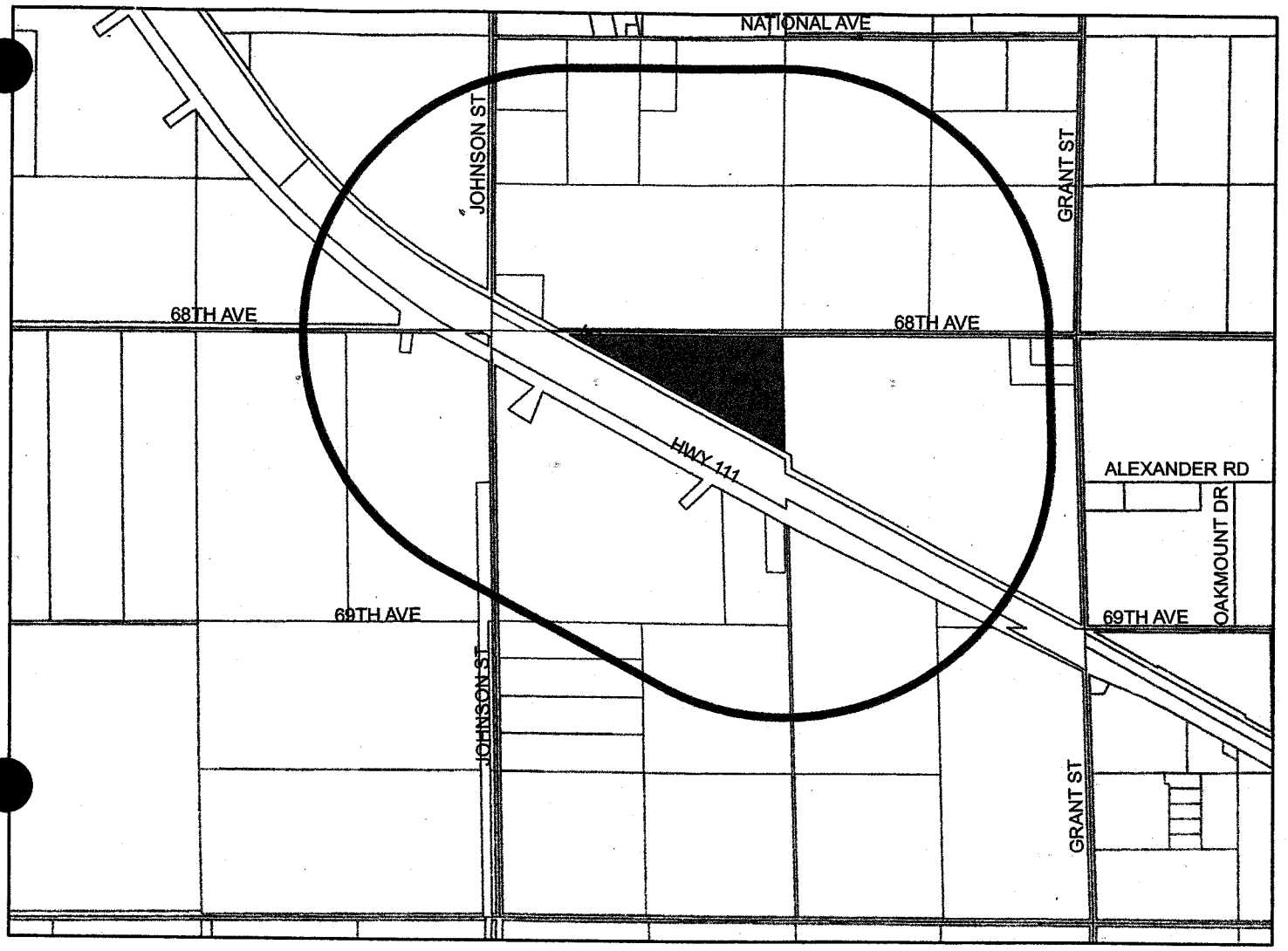
TITLE GIS Analyst

ADDRESS: 4080 Lemon Street 2nd Floor

Riverside, Ca. 92502

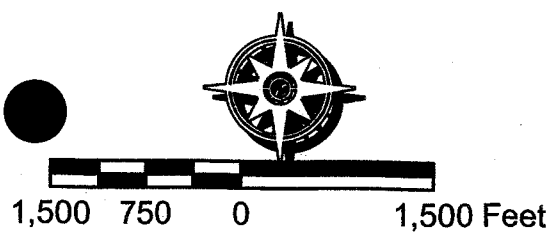
TELEPHONE NUMBER (8 a.m. – 5 p.m.): (951) 955-8158

CUP03497R1/CUP03686 (2400 feet buffer)



Selected Parcels

727-290-011 727-290-012 727-290-016 729-050-001 729-050-017 729-050-018 729-040-004 729-040-005 729-040-006 727-272-026
727-290-005 727-290-006 729-040-016 729-050-002 729-050-008 729-050-012 729-050-014 729-050-003 729-050-010 729-050-004
727-290-009 729-050-015 727-290-013 727-290-017 729-050-006 729-050-007 727-290-003 727-290-004 727-271-008 729-050-005
727-290-001 727-290-002 727-272-011 727-290-015 729-040-015 729-050-023 729-040-017



ASMT: 727271008, APN: 727271008
MULTI NATIONAL INV
4213 ALONZO AVE
ENCINO CA 91316

ASMT: 727290002, APN: 727290002
DAVID LAPENA, ETAL
P O BOX 1437
MECCA CA 92254

ASMT: 727290003, APN: 727290003
LUCY LAPENA
C/O PAUL LAPENA
82940 SANDRA DR
THERMAL CA 92274

ASMT: 727290004, APN: 727290004
MARISELA HERNANDEZ
P O BOX 1516
MECCA CA 92254

ASMT: 727290005, APN: 727290005
CAROLINE NORMAN, ETAL
8665 E DUARTE RD
SAN GABRIEL CA 91775

ASMT: 727290006, APN: 727290006
CAROLINE NORMAN, ETAL
1535 CIRCLE DR
SAN MARINO CA 91108

ASMT: 727290009, APN: 727290009
IGNACIA LUA, ETAL
80094 DURWENT DR
INDIO CA 92203

ASMT: 727290016, APN: 727290016
BELK HOLDINGS
P O BOX 24
COACHELLA CA 92236

ASMT: 727290017, APN: 727290017
IMPERIAL IRRIGATION DIST
P O BOX 937
IMPERIAL CA 92251

ASMT: 729040004, APN: 729040004
BRUCE NOTT
3184 AIRWAY AVE NO J
COSTA MESA CA 92626

ASMT: 729040006, APN: 729040006
BRUCE NOTT
3184 AIRWAY BLDG J
COSTA MESA CA 92626

ASMT: 729040016, APN: 729040016
CVCWD
P O BOX 1058
COACHELLA CA 92236

ASMT: 729040017, APN: 729040017
STATE OF CALIF
STATE OF CALIF
P O BOX 1799
SACRAMENTO CA 95808

ASMT: 729050002, APN: 729050002
DESERT ALLIANCE FOR COMMUNITY EMPOWI
53990 ENTERPRISE WAY NO 1
COACHELLA CA 92236

ASMT: 729050004, APN: 729050004
TRACI LO, ETAL
92255 AVENUE 69
MECCA CA 92254

ASMT: 729050005, APN: 729050005
CYNTHIA BOZICK, ETAL
P O BOX 698
MECCA CA 92254

ASMT: 729050006, APN: 729050006
CLEMENCIA ROOD, ETAL
82270 OCOTILLO AVE
INDIO CA 92201

ASMT: 729050007, APN: 729050007
CLEMENCIA ROOD, ETAL
68025 GRANT ST
MECCA CA 92254

ASMT: 729050010, APN: 729050010
TRACI LO, ETAL
P O BOX 627
MECCA CA 92254

ASMT: 729050014, APN: 729050014
ENTRUST ADMIN
C/O CARL MAGGIO
86705 AVENUE 54 STE A
COACHELLA CA 92236

ASMT: 729050015, APN: 729050015
HEADSTART NURSERY INC
4860 MONTEREY RD
GILROY CA 95020

ASMT: 729050018, APN: 729050018
CHIU HUANG, ETAL
141 CAMPBELL AVE
REDLANDS CA 92373

ASMT: 729050023, APN: 729050023
SOUTHERN PACIFIC TRANSPORTATION CO
SOUTHERN PACIFIC TRANSPORTATION CO
1700 FARNAM ST 10TH FL S
OMAHA NE 68102

Applicant:
DACE
53-990 Enterprise Way
Coachella, CA 92236
92253

Engineer:
Watson & Watson
50-200 Monroe Street
Indio, CA 92201

Coachella Valley Water District
P.O. Box 1058
Coachella, CA 92236

Torres Martinez Indian Band
P.O. Box 1160
Thermal, CA 92274

Caltrans
Dist 8 Planning (MS 725)
464 W. Fourth St., 6th Floor
San Bernardino, CA 92401

Imperial Irrigation District
81600 Avenue 58
La Quinta, CA 92253

4th District Supervisor
Supervisor Benoit
73-710 Fred Waring Drive, Ste. 222
Palm Desert, CA 92260

Sunline Transit Agency
32-205 Harry Oliver Trail
Thousand Palms, CA 92276

EXTRA LABELS

RIVERSIDE COUNTY
PLANNING DEPARTMENT

Carolyn Syms Luna
Director

MITIGATED NEGATIVE DECLARATION

Project/Case Number: CONDITIONAL USE PERMIT 3497R1 & CONDITIONAL USE PERMIT NO. 3686

Based on the Initial Study, it has been determined that the proposed project, subject to the proposed mitigation measures, will not have a significant effect upon the environment.

PROJECT DESCRIPTION, LOCATION, AND MITIGATION MEASURES REQUIRED TO AVOID POTENTIALLY SIGNIFICANT EFFECTS. (see Environmental Assessment and Conditions of Approval)

COMPLETED/REVIEWED BY:

By: Jay Olivas Title: Project Planner Date: October 3, 2013

Applicant/Project Sponsor: DACE Date Submitted: June 12, 2012

ADOPTED BY: Board of Supervisors

Person Verifying Adoption: _____ Date: _____

The Mitigated Negative Declaration may be examined, along with documents referenced in the initial study, if any, at:

Riverside County Planning Department 4080 Lemon Street, 12th Floor, Riverside, CA 92501

For additional information, please contact Jay Olivas, Project Planner at 951-955-1195.

Revised: 10/16/07
Y:\Planning Master Forms\CEQA Forms\Mitigated Negative Declaration.doc

Please charge deposit fee case#: ZEA42609 ZCFG05985

FOR COUNTY CLERK'S USE ONLY

RIVERSIDE COUNTY
PLANNING DEPARTMENT

Carolyn Syms Luna
Director

TO: ☐ Office of Planning and Research (OPR)
P.O. Box 3044
Sacramento, CA 95812-3044
☒ County of Riverside County Clerk

FROM: Riverside County Planning Department
☒ 4080 Lemon Street, 12th Floor
P. O. Box 1409
Riverside, CA 92502-1409

☐ 38686 El Cerrito Road
Palm Desert, California 92211

SUBJECT: Filing of Notice of Determination in compliance with Section 21152 of the California Public Resources Code.

EA42609, CONDITIONAL USE PERMIT NO. 3497R1 & CONDITIONAL USE PERMIT NO. 3686
Project Title/Case Numbers

Jay Olivas
County Contact Person

(951) 955-1195
Phone Number

N/A
State Clearinghouse Number (if submitted to the State Clearinghouse)

DACE
Project Applicant

53990 Enterprise Way, Ste. 1 Coachella Valley, CA 92236
Address

South of Avenue 68, north of Hammond Road in Eastern Coachella Valley in the community of Mecca.
Project Location

Farm labor camp for 160 persons (CUP03497R1) and 84 space migrant agricultural worker mobile home park (CUP03686).
Project Description

This is to advise that the Riverside County Board of Supervisors, as the lead agency, has approved the above-referenced project on _____, and has made the following determinations regarding that project:

1. The project WILL NOT have a significant effect on the environment.
2. A Mitigated Negative Declaration was prepared for the project pursuant to the provisions of the California Environmental Quality Act. ($2101.50 + $64
3. Mitigation measures WERE made a condition of the approval of the project.
4 A Mitigation Monitoring and Reporting Plan/Program WAS NOT adopted.
5. A statement of Overriding Considerations WAS NOT adopted for the project.

This is to certify that the Mitigated Negative Declaration, with comments, responses, and record of project approval is available to the general public at: Riverside County Planning Department, 4080 Lemon Street, 12th Floor, Riverside, CA 92501.

_____	_____	_____
Signature	*Title*	*Date*

Date Received for Filing and Posting at OPR: _____

DM/rj
Revised 8/25/2009
Y:\Planning Case Files-Riverside office\pm36456\NOD Form.docx

Please charge deposit fee case#: ZEA42609 ZCFG05985 .

FOR COUNTY CLERK'S USE ONLY

COUNTY OF RIVERSIDE O* REPRINTED * I1301931
SPECIALIZED DEPARTMENT RECEIPT
Permit Assistance Center

4080 Lemon Street	39493 Los Alamos Road	38686 El Cerrito Rd
Second Floor	Suite A	Indio, CA 92211
Riverside, CA 92502	Murrieta, CA 92563	(760) 863-8271
(951) 955-3200	(951) 694-5242	

****
****

Received from: DESERT ALLIANCE COMM EMPOWERMENT $2,206.25
paid by: CK 1025
EA42609/CUP03686/CUP03497R1
paid towards: CFG05985 CALIF FISH & GAME - NEG DECL
at parcel: 92125 AVENUE 68 MECC
appl type: CFG1

By_____ Jul 22, 2013 14:04
JCMITCHE posting date Jul 22, 2013

****
****

Account Code	Description	Amount
658353120100208100	CF&G TRUST	$2,156.25
658353120100208100	CF&G TRUST: RECORD FEES	$50.00

Overpayments of less than $5.00 will not be refunded!

COPY 2-TLMA ADMIN * REPRINTED *

PROPERTY OWNERS CERTIFICATION FORM

I, VINNIE NGUYEN, certify that on 6/27/2013,

The attached property owners list was prepared by Riverside County GIS,

APN (s) or case numbers CUP03497R1/CUP03686 For

Company or Individual's Name Planning Department,

Distance buffered 2400'.

Pursuant to application requirements furnished by the Riverside County Planning Department, Said list is a complete and true compilation of the owners of the subject property and all other property owners within 600 feet of the property involved, or if that area yields less than 25 different owners, all property owners within a notification area expanded to yield a minimum of 25 different owners, to a maximum notification area of 2,400 feet from the project boundaries, based upon the latest equalized assessment rolls. If the project is a subdivision with identified off-site access/improvements, said list includes a complete and true compilation of the names and mailing addresses of the owners of all property that is adjacent to the proposed off-site improvement/alignment.

I further certify that the information filed is true and correct to the best of my knowledge. I understand that incorrect or incomplete information may be grounds for rejection or denial of the application.

NAME: Vinnie Nguyen

TITLE GIS Analyst

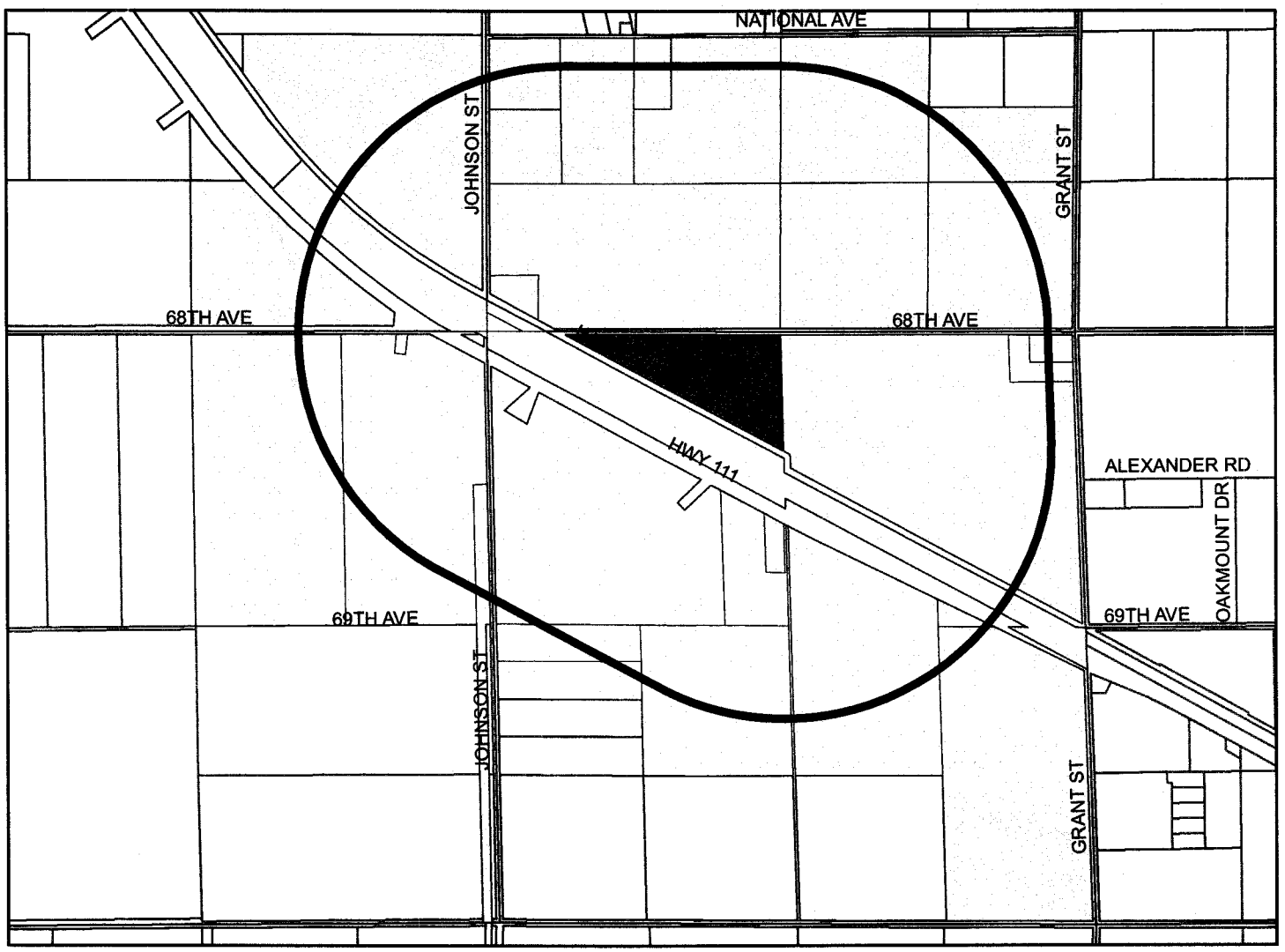
ADDRESS: 4080 Lemon Street 2nd Floor

Riverside, Ca. 92502

TELEPHONE NUMBER (8 a.m. – 5 p.m.): (951) 955-8158

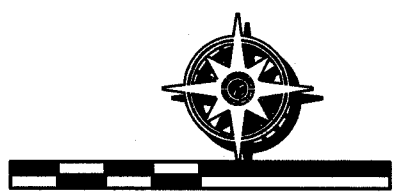
EXP. 12/27/13.

CUP03497R1/CUP03686 (2400 feet buffer)



Selected Parcels

727-290-011 727-290-012 727-290-016 729-050-001 729-050-017 729-050-018 729-040-004 729-040-005 729-040-006 727-272-026
727-290-005 727-290-006 729-040-016 729-050-002 729-050-008 729-050-012 729-050-014 729-050-003 729-050-010 729-050-004
727-290-009 729-050-015 727-290-013 727-290-017 729-050-006 729-050-007 727-290-003 727-290-004 727-271-008 729-050-005
727-290-001 727-290-002 727-272-011 727-290-015 729-040-015 729-050-023 729-040-017



1,500 750 0 1,500 Feet

ASMT: 727271008, APN: 727271008
MULTI NATIONAL INV
4213 ALONZO AVE
ENCINO CA 91316

ASMT: 727290002, APN: 727290002
DAVID LAPENA, ETAL
P O BOX 1437
MECCA CA 92254

ASMT: 727290003, APN: 727290003
LUCY LAPENA
C/O PAUL LAPENA
82940 SANDRA DR
THERMAL CA 92274

ASMT: 727290004, APN: 727290004
MARISELA HERNANDEZ
P O BOX 1516
MECCA CA 92254

ASMT: 727290005, APN: 727290005
CAROLINE NORMAN, ETAL
8665 E DUARTE RD
SAN GABRIEL CA 91775

ASMT: 727290006, APN: 727290006
CAROLINE NORMAN, ETAL
1535 CIRCLE DR
SAN MARINO CA 91108

ASMT: 727290009, APN: 727290009
IGNACIA LUA, ETAL
80094 DURWENT DR
INDIO CA 92203

ASMT: 727290016, APN: 727290016
BELK HOLDINGS
P O BOX 24
COACHELLA CA 92236

ASMT: 727290017, APN: 727290017
IMPERIAL IRRIGATION DIST
P O BOX 937
IMPERIAL CA 92251

ASMT: 729040004, APN: 729040004
BRUCE NOTT
3184 AIRWAY AVE NO J
COSTA MESA CA 92626

ASMT: 729040006, APN: 729040006
BRUCE NOTT
3184 AIRWAY BLDG J
COSTA MESA CA 92626

ASMT: 729040016, APN: 729040016
CVCWD
P O BOX 1058
COACHELLA CA 92236

ASMT: 729040017, APN: 729040017
STATE OF CALIF
STATE OF CALIF
P O BOX 1799
SACRAMENTO CA 95808

ASMT: 729050002, APN: 729050002
DESERT ALLIANCE FOR COMMUNITY EMPOWI
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- [illegible]
- [illegible]
- [illegible]
- [illegible]

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- **Avery Wizard para Microsoft® Word**
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México y Centro América	[illegible]
Caribe y Venezuela	[illegible]
Argentina	[illegible]
Chile	[illegible]
Resto de Sud América	[illegible]

[illegible]

OFFICE OF
CLERK OF THE BOARD OF SUPERVISORS
1st FLOOR, COUNTY ADMINISTRATIVE CENTER
P.O. BOX 1147, 4080 LEMON STREET
RIVERSIDE, CA 92502-1147
PHONE: (951) 955-1060
FAX: (951) 955-1071

KECIA HARPER-IHEM
Clerk of the Board of Supervisors

KIMBERLY A. RECTOR
Assistant Clerk of the Board

October 31, 2013

THE PRESS ENTERPRISE
ATTN: LEGALS
P.O. BOX 792
RIVERSIDE, CA 92501

E-MAIL: legals@pe.com
FAX: (951) 368-9018

RE: NOTICE OF PUBLIC HEARING: CUP 3497 REVISED PERMIT NO. 1, AND CUP 3686 (FTA 2012-01)

To Whom It May Concern:

Attached is a copy for publication in your newspaper for **One (1) Time on Tuesday, November 5, 2013.**

We require your affidavit of publication immediately upon completion of the last publication.

Your invoice must be submitted to this office in duplicate, WITH TWO CLIPPINGS OF THE PUBLICATION.

NOTE: PLEASE COMPOSE THIS PUBLICATION INTO A SINGLE COLUMN FORMAT.

Thank you in advance for your assistance and expertise.

Sincerely,

Karen Barton

Karen Barton, Board Assistant to
KECIA HARPER-IHEM, CLERK OF THE BOARD

From: mtinajero@pe.com [mailto:mtinajero@pe.com] **On Behalf Of** Master, PEC Legals
Sent: Thursday, October 31, 2013 10:31 AM
To: Barton, Karen
Subject: Re: [Legals] LEGALS for publication: CUP 3497R1 and CUP 3686 (FTA 2012-01)

Received for publication on Nov. 5. Proof with cost to follow.

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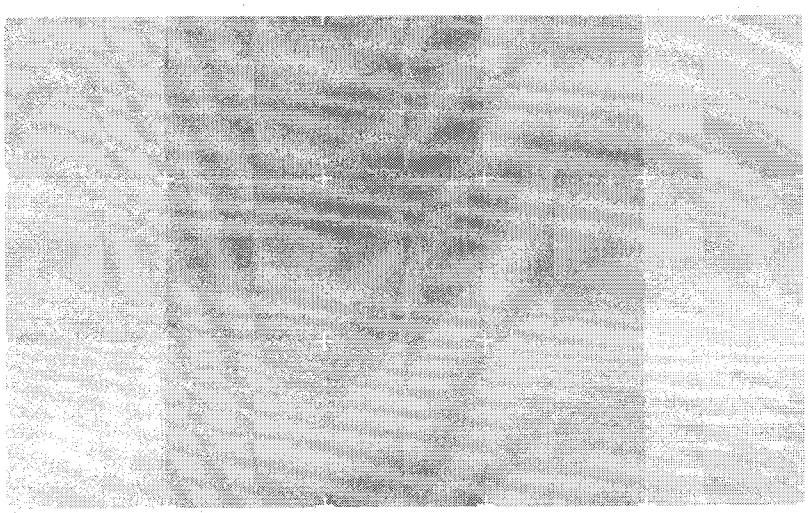
On Thu, Oct 31, 2013 at 10:21 AM, Barton, Karen <KLBarton@rcbos.org> wrote:



Notice of Public Hearing for publication on one Tuesday, November 5, 2013. Please confirm. Thank you!

OFFICE OF
CLERK OF THE BOARD OF SUPERVISORS
1st FLOOR, COUNTY ADMINISTRATIVE CENTER
P.O. BOX 1147, 4080 LEMON STREET
RIVERSIDE, CA 92502-1147
PHONE: (951) 955-1060
FAX: (951) 955-1071

KECIA HARPER-IHEM
Clerk of the Board of Supervisors

KIMBERLY A. RECTOR
Assistant Clerk of the Board

October 31, 2013

THE DESERT SUN
ATTN: LEGALS
P.O. BOX 2734
PALM SPRINGS, CA 92263

E-MAIL: legals@thedesertsun.com
FAX: (760) 778-4731

RE: NOTICE OF PUBLIC HEARING: CUP 3497 REVISED PERMIT NO. 1, AND CUP 3686 (FTA 2012-01)

To Whom It May Concern:

Attached is a copy for publication in your newspaper for **One (1) Time on Wednesday, November 6, 2013.**

We require your affidavit of publication immediately upon completion of the last publication.

Your invoice must be submitted to this office in duplicate, WITH TWO CLIPPINGS OF THE PUBLICATION.

NOTE: PLEASE COMPOSE THIS PUBLICATION INTO A SINGLE COLUMN FORMAT.

Thank you in advance for your assistance and expertise.

Sincerely,

Karen Barton

Karen Barton, Board Assistant to
KECIA HARPER-IHEM, CLERK OF THE BOARD

NOTICE OF PUBLIC HEARING BEFORE THE BOARD OF SUPERVISORS OF RIVERSIDE COUNTY ON TWO FAST TRACK CONDITIONAL USE PERMITS IN THE MECCA ZONING DISTRICT – EASTERN COACHELLA AREA PLAN, FOURTH SUPERVISORIAL DISTRICT AND NOTICE OF INTENT TO ADOPT A MITIGATED NEGATIVE DECLARATION

NOTICE IS HEREBY GIVEN that a public hearing at which all interested persons will be heard, will be held before the Board of Supervisors of Riverside County, California, on the 1st Floor Board Chambers, County Administrative Center, 4080 Lemon Street, Riverside, on **Tuesday, November 26, 2013 at 10:30 A.M.** to consider the application submitted by Desert Alliance for Community Empowerment (DACE) – Watson Engineering, on **Fast Track Conditional Use Permit No. 3497 Revised Permit No. 1 and Fast Track Conditional Use Permit No. 3686 (FTA No. 2012-01),** in which it proposes to modify a previously approved farm labor camp (unbuilt). The modification is as follows: an increase in the number of beds from 96 to 160. **Fast Track Conditional Use Permit No. 3686** is located on property adjacent to CUP No. 3497R1 and proposes to construct a migrant agricultural worker mobile home park consisting of 84 units with typical single wide and double wide mobile home spaces ranging from approximately 2,800 square feet to 3,500 square feet along with 1,780 square foot community center building, 1,040 square foot child care facility for up to 15 children, 800 square foot children's playground, and 2,800 square foot outdoor play area. The project is located, northerly of Hammond Road, southerly of 68th Avenue, easterly of Johnson Street, and westerly of Grant Street in the community of Mecca, Mecca Zoning District – Eastern Coachella Area Plan, Fourth Supervisorial District.

The Planning Department has determined that the project will not have a significant effect on the environment and recommends the adoption of a Mitigated Negative Declaration for **Environmental Assessment No. 42609.**

The project case file may be viewed from the date of this notice until the public hearing, Monday through Friday, from 8:00 a.m. to 5:00 p.m. at the Clerk of the Board of Supervisors at 4080 Lemon Street, 1st Floor, Riverside, California 92501, and at the Riverside County Planning Department at 4080 Lemon Street, 12th Floor, Riverside, California 92501.

FOR FURTHER INFORMATION REGARDING THIS PROJECT, PLEASE CONTACT JAY OLIVAS, PROJECT PLANNER, AT (951) 955-1195 OR EMAIL jolivas@rctlma.org.

Any person wishing to testify in support of or in opposition to the project may do so in writing between the date of this notice and the public hearing, or may appear and be heard at the time and place noted above. All written comments received prior to the public hearing will be submitted to the Board of Supervisors and the Board of Supervisors will consider such comments, in addition to any oral testimony, before making a decision on the project.

If you challenge the above item in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence to the Planning Commission or Board of Supervisors at, or prior to, the public hearing. Be advised that as a result of the public hearing and the consideration of all public comment, written and oral, the Board of Supervisors may amend, in whole or in part, the project and/or the related environmental document. Accordingly, the designations, development standards, design or improvements, or any properties or lands within the boundaries of the project, may be changed in a way other than specifically proposed.

Please send all written correspondence to: Clerk of the Board, 4080 Lemon Street, 1st Floor, Post Office Box 1147, Riverside, CA 92502-1147

Dated: October 31, 2013

Kecia Harper-Ihem
Clerk of the Board
By: Karen Barton, Board Assistant

CERTIFICATE OF POSTING

(Original copy, duly executed, must be attached to
the original document at the time of filing)

I, Karen Barton, Board Assistant to Kecia Harper-Ihem, Clerk of the Board of Supervisors, for the County of Riverside, do hereby certify that I am not a party to the within action or proceeding; that on October 31, 2013, I forwarded to Riverside County Clerk & Recorder's Office a copy of the following document:

NOTICE OF PUBLIC HEARING

CUP 3497 REVISED PERMIT NO. 1 & CUP 3686 (FTA 2012-01)

to be posted, pursuant to Government Code Section 21092 et seq, in the office of the County Clerk at 2724 Gateway Drive, Riverside, California 92507. Upon completion of posting, the County Clerk will provide the required certification of posting.

Board Agenda Date: November 26, 2013 @ 10:30 AM

SIGNATURE: Karen Barton DATE: October 31, 2013

Karen Barton

CERTIFICATE OF MAILING

(Original copy, duly executed, must be attached to
the original document at the time of filing)

I, Karen Barton, Board Assistant, for the
(NAME and TITLE

County of Riverside, do hereby certify that I am not a party to the within action or proceeding; that on November 4, 2013, I mailed a copy of the following document:

NOTICE OF PUBLIC HEARING

CUP 3497 REVISED PERMIT NO. 1 & CUP 3686 (FTA 2012-01)

to the parties listed in the attached labels, by depositing said copy with postage thereon fully prepaid, in the United States Post Office, 3890 Orange St., Riverside, California, 92501.

Board Agenda Date: November 26, 2013 @ 10:30 AM

SIGNATURE: Karen Barton DATE: November 4, 2013
Karen Barton

ASMT: 727271008, APN: 727271008
MULTI NATIONAL INV
4213 ALONZO AVE
ENCINO CA 91316

ASMT: 727290002, APN: 727290002
DAVID LAPENA, ETAL
P O BOX 1437
MECCA CA 92254

ASMT: 727290003, APN: 727290003
LUCY LAPENA
C/O PAUL LAPENA
82940 SANDRA DR
THERMAL CA 92274

ASMT: 727290004, APN: 727290004
MARISELA HERNANDEZ
P O BOX 1516
MECCA CA 92254

ASMT: 727290005, APN: 727290005
CAROLINE NORMAN, ETAL
8665 E DUARTE RD
SAN GABRIEL CA 91775

ASMT: 727290006, APN: 727290006
CAROLINE NORMAN, ETAL
1535 CIRCLE DR
SAN MARINO CA 91108

ASMT: 727290009, APN: 727290009
IGNACIA LUA, ETAL
80094 DURWENT DR
INDIO CA 92203

ASMT: 727290016, APN: 727290016
BELK HOLDINGS
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COACHELLA CA 92236

ASMT: 727290017, APN: 727290017
IMPERIAL IRRIGATION DIST
P O BOX 937
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BRUCE NOTT
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COSTA MESA CA 92626

ASMT: 729040006, APN: 729040006
BRUCE NOTT
3184 AIRWAY BLDG J
COSTA MESA CA 92626

ASMT: 729040016, APN: 729040016
CVCWD
P O BOX 1058
COACHELLA CA 92236

ASMT: 729040017, APN: 729040017
STATE OF CALIF
STATE OF CALIF
P O BOX 1799
SACRAMENTO CA 95808

ASMT: 729050002, APN: 729050002
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53990 ENTERPRISE WAY NO 1
COACHELLA CA 92236

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- [illegible] printed labels and cards, as our feed areas may cut off text and graphics. Unfortunately, we cannot guarantee [illegible] printer model and paper. Instead, we suggest you test your printer and paper [illegible]
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Argentina	[illegible]
Chile	[illegible]
Pedido de Sed Omnifice	[illegible]

[illegible]

[illegible]

ASMT: 729050004, APN: 729050004
TRACI LO, ETAL
92255 AVENUE 69
MECCA CA 92254

ASMT: 729050005, APN: 729050005
CYNTHIA BOZICK, ETAL
P O BOX 698
MECCA CA 92254

ASMT: 729050006, APN: 729050006
CLEMENCIA ROOD, ETAL
82270 OCOTILLO AVE
INDIO CA 92201

ASMT: 729050007, APN: 729050007
CLEMENCIA ROOD, ETAL
68025 GRANT ST
MECCA CA 92254

ASMT: 729050010, APN: 729050010
TRACI LO, ETAL
P O BOX 627
MECCA CA 92254

ASMT: 729050014, APN: 729050014
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ASMT: 729050018, APN: 729050018
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- Avoid printing near edges of sheets, as unprinted areas will vary by printer. Avoid that area. The Avery satisfaction guarantee will not apply if you have printed on sheets that have been damaged by improper handling or storage.
- Avery Avery and Avery Design & Print software.

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Chile	[illegible]
Pasto/Colombia	[illegible]

[illegible]

[illegible]

NOTICE OF PUBLIC HEARING BEFORE THE BOARD OF SUPERVISORS OF RIVERSIDE COUNTY ON TWO FAST TRACK CONDITIONAL USE PERMITS IN THE MECCA ZONING DISTRICT – EASTERN COACHELLA AREA PLAN, FOURTH SUPERVISORIAL DISTRICT AND NOTICE OF INTENT TO ADOPT A MITIGATED NEGATIVE DECLARATION

NOTICE IS HEREBY GIVEN that a public hearing at which all interested persons will be heard, will be held before the Board of Supervisors of Riverside County, California, on the 1st Floor Board Chambers, County Administrative Center, 4080 Lemon Street, Riverside, on **Tuesday, November 26, 2013 at 10:30 A.M.** to consider the application submitted by Desert Alliance for Community Empowerment (DACE) – Watson Engineering, on **Fast Track Conditional Use Permit No. 3497 Revised Permit No. 1 and Fast Track Conditional Use Permit No. 3686 (FTA No. 2012-01),** in which it proposes to modify a previously approved farm labor camp (unbuilt). The modification is as follows: an increase in the number of beds from 96 to 160. **Fast Track Conditional Use Permit No. 3686** is located on property adjacent to CUP No. 3497R1 and proposes to construct a migrant agricultural worker mobile home park consisting of 84 units with typical single wide and double wide mobile home spaces ranging from approximately 2,800 square feet to 3,500 square feet along with 1,780 square foot community center building, 1,040 square foot child care facility for up to 15 children, 800 square foot children's playground, and 2,800 square foot outdoor play area. The project is located, northerly of Hammond Road, southerly of 68th Avenue, easterly of Johnson Street, and westerly of Grant Street in the community of Mecca, Mecca Zoning District – Eastern Coachella Area Plan, Fourth Supervisorial District.

The Planning Department has determined that the project will not have a significant effect on the environment and recommends the adoption of a Mitigated Negative Declaration for **Environmental Assessment No. 42609.**

The project case file may be viewed from the date of this notice until the public hearing, Monday through Friday, from 8:00 a.m. to 5:00 p.m. at the Clerk of the Board of Supervisors at 4080 Lemon Street, 1st Floor, Riverside, California 92501, and at the Riverside County Planning Department at 4080 Lemon Street, 12th Floor, Riverside, California 92501.

FOR FURTHER INFORMATION REGARDING THIS PROJECT, PLEASE CONTACT JAY OLIVAS, PROJECT PLANNER, AT (951) 955-1195 OR EMAIL jolivas@rctlma.org.

Any person wishing to testify in support of or in opposition to the project may do so in writing between the date of this notice and the public hearing, or may appear and be heard at the time and place noted above. All written comments received prior to the public hearing will be submitted to the Board of Supervisors and the Board of Supervisors will consider such comments, in addition to any oral testimony, before making a decision on the project.

If you challenge the above item in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence to the Planning Commission or Board of Supervisors at, or prior to, the public hearing. Be advised that as a result of the public hearing and the consideration of all public comment, written and oral, the Board of Supervisors may amend, in whole or in part, the project and/or the related environmental document. Accordingly, the designations, development standards, design or improvements, or any properties or lands within the boundaries of the project, may be changed in a way other than specifically proposed.

Please send all written correspondence to: Clerk of the Board, 4080 Lemon Street, 1st Floor, Post Office Box 1147, Riverside, CA 92502-1147

Dated: October 31, 2013

Kecia Harper-Ihem
Clerk of the Board
By: Karen Barton, Board Assistant

16-2 of 11/26/13

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County Administrative Center
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Riverside County Board of Supervisors
Request to Speak

Submit request to Clerk of Board (right of podium), Speakers are entitled to three (3) minutes, subject to Board Rules listed on the reverse side of this form.

SPEAKER'S NAME: GARRY GRANT

Address: _____
(only if follow-up mail response requested)

City: PERRIS **Zip:** _____

Phone #: _____

Date: NOVEMBER 08 **Agenda #** 16-2

PLEASE STATE YOUR POSITION BELOW:

Position on "Regular" (non-appealed) Agenda Item:

_____**Support** X **Oppose** _____**Neutral**

Note: If you are here for an agenda item that is filed for "Appeal", please state separately your position on the appeal below:

_____**Support** _____**Oppose** _____**Neutral**

I give my 3 minutes to: _____

BOARD RULES

Requests to Address Board on "Agenda" Items:

You may request to be heard on a published agenda item. Requests to be heard must be submitted to the Clerk of the Board before the scheduled meeting time.

Requests to Address Board on items that are "NOT" on the Agenda:

Notwithstanding any other provisions of these rules, member of the public shall have the right to address the Board during the mid-morning "Oral Communications" segment of the published agenda. Said purpose for address must pertain to issues which are under the direct jurisdiction of the Board of Supervisors. YOUR TIME WILL BE LIMITED TO THREE (3) MINUTES.

Power Point Presentations/Printed Material:

Speakers who intend to conduct a formalized Power Point presentation or provide printed material must notify the Clerk of the Board's Office by 12 noon on the Monday preceding the Tuesday Board meeting, insuring that the Clerk's Office has sufficient copies of all printed materials and at least one (1) copy of the Power Point CD. Copies of printed material given to the Clerk (by Monday noon deadline) will be provided to each Supervisor. If you have the need to use the overhead "Elmo" projector at the Board meeting, please insure your material is clear and with proper contrast, notifying the Clerk well ahead of the meeting, of your intent to use the Elmo.

Individual Speaker Limits:

Individual speakers are limited to a maximum of three (3) minutes. Please step up to the podium when the Chairman calls your name and begin speaking immediately. Pull the microphone to your mouth so that the Board, audience, and audio recording system hear you clearly. Once you start speaking, the "green" podium light will light. The "yellow" light will come on when you have one (1) minute remaining. When you have 30 seconds remaining, the "yellow" light will begin flash, indicating you must quickly wrap up your comments. Your time is up when the "red" light flashes. The Chairman adheres to a strict three (3) minutes per speaker. ***Note: If you intend to give your time to a "Group/Organized Presentation", please state so clearly at the very bottom of the reverse side of this form.***

Group/Organized Presentations:

Group/organized presentations with more than one (1) speaker will be limited to nine (9) minutes at the Chairman's discretion. The organizer of the presentation will automatically receive the first three (3) minutes, with the remaining six (6) minutes relinquished by other speakers, as requested by them on a completed "Request to Speak" form, and clearly indicated at the front bottom of the form.

Addressing the Board & Acknowledgement by Chairman:

The Chairman will determine what order the speakers will address the Board, and will call on all speakers in pairs. The first speaker should immediately step to the podium and begin addressing the Board. The second speaker should take up a position in one of the chamber aisles in order to quickly step up to the podium after the preceding speaker. This is to afford an efficient and timely Board meeting, giving all attendees the opportunity to make their case. Speakers are prohibited from making personal attacks, and/or using coarse, crude, profane or vulgar language while speaking to the Board members, staff, the general public and/or meeting participants. Such behavior, at the discretion of the Board Chairman may result in removal from the Board Chambers by Sheriff Deputies.