

SUBMITTAL TO THE BOARD OF SUPERVISORS
COUNTY OF RIVERSIDE, STATE OF CALIFORNIA

807B



FROM: TLMA - Planning Department

SUBMITTAL DATE:
December 17, 2013

SUBJECT: TENTATIVE TRACT MAP NO. 30966, REVISED MAP NO. 1 – Intent to Adopt Mitigated Negative Declaration – Fourth/Fourth Supervisorial District – REQUEST: Subdivide 40.19 acres into 202 residential lots (Schedule A) as a Senior Citizen Planned Residential Development (PRD). The PRD consists of lot sizes ranging from approximately 3,500 square feet to 10,500 square feet with detached single-family residential units ranging in size from approximately 1,657 square feet to 1,903 square feet with a maximum height of 18 feet (single-story). The PRD also includes a 3,221 square foot community center building with a maximum height of 18 feet with a swimming pool, a detention basin/dog park, a drainage channel, and common area landscaping.

RECOMMENDED MOTION:

RECEIVE AND FILE the Notice of Decision for the above referenced case acted on by the Planning Commission on December 4, 2013.

The Planning Department recommended Approval; and,
THE PLANNING COMMISSION BY A 5-0 VOTE:

ADOPTED a MITIGATED NEGATIVE DECLARATION for ENVIRONMENTAL ASSESSMENT NO. 42587, based on the findings incorporated in the initial study and the conclusion that the project will not have a significant effect on the environment; and,

Juan C. Perez
TLMA Director/Interim Planning Director

Initials: JCP:jo
(Continued on Attached Page)

MINUTES OF THE BOARD OF SUPERVISORS

On motion of Supervisor Tavaglione, seconded by Supervisor Ashley and duly carried by unanimous vote, IT WAS ORDERED that the above matter of approval is received and filed as recommended.

Ayes: Jeffries, Tavaglione, Stone, Benoit and Ashley
Nays: None
Absent: None
Date: January 7, 2014
xc: Planning, Applicant

Kecia Harper-Ihem
Clerk of the Board
By:
Deputy

Prev. Agn. Ref.

District: 4/4

Agenda Number:

1-2

REVIEWED BY EXECUTIVE OFFICE

DATE

Departmental Concurrence

Alex Gann

DATE: December 17, 2013

Page: 2 of 2

APPROVED TENTATIVE TRACT MAP NO. 30966, REVISED MAP NO. 1, subject to the attached conditions of approval, and based upon the findings and conclusions incorporated in the staff report.

BACKGROUND: The project was approved by the Planning Commission on December 4, 2013. A Memo dated December 4, 2013 with attachments was provided to the commissioners at the hearing which included amended tentative tract map conditions, revised site plan, revised Street "D" cul-de-sac drawing, and two (2) public comment letters.

Per the amended tentative tract map conditions, condition of approval (COA) 80.Planning.3-Acoustical Study was deleted and COA 90.Planning.26-Wall/Berm was amended to delete reference to a "knee wall" requirement along the westerly block wall. Additionally, COA 80.Planning.7-Walls/Fencing Plot Plan was amended to delete reference to wood fencing.

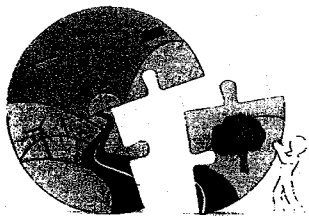
The Memo also included a revised site plan and Street D cul-de-sac drawing. These site plan revisions depict a full cul-de-sac at the terminus of Street "D" instead of partial cul-de-sac depicted on earlier versions of the plans.

Per the two (2) public comment letters, one (1) resident was concerned about maintaining privacy since they reside in the adjoining Del Webb residential development and another resident was concerned about potential biological impacts.

The resident concerned about privacy left no immediate contact information and is approximately 300+ feet from the north property line in the adjoining Del Webb development. This resident's lot is buffered by an existing block wall/landscaping and the tract is for single-story units which address these concerns.

Per the potential biological impacts, our staff representative spoke directly with the resident and provided information about required nesting bird surveys prior to grading permit which addressed their concerns. No one who provided the above comments was present or spoke at the hearing.

Additionally, no other members of the public spoke in favor, in a neutral, or in objection to the tentative tract map at the hearing. The Planning Commission approved the project unanimously with the minor modifications as discussed above.



RIVERSIDE COUNTY PLANNING DEPARTMENT

Juan C. Perez

TLMA Director/Interim Planning Director

Original Negative Declaration/Notice of
Determination was routed to County
Clerks for posting on.

1/14/14

KB

Date

Initial

TO: ☐ Office of Planning and Research (OPR)
P.O. Box 3044
Sacramento, CA 95812-3044
☒ County of Riverside County Clerk

FROM: Riverside County Planning Department
☒ 4080 Lemon Street, 12th Floor
P. O. Box 1409
Riverside, CA 92502-1409

☐ 38686 El Cerrito Road
Palm Desert, California 92211

SUBJECT: Filing of Notice of Determination in compliance with Section 21152 of the California Public Resources Code.

EA42587, TENTATIVE TRACT MAP NO. 30966, REVISED MAP NO. 1

Project Title/Case Numbers

Jay Olivas

County Contact Person

(951) 955-1195

Phone Number

N/A

State Clearinghouse Number (if submitted to the State Clearinghouse)

Encore Homes, LLC

Project Applicant

73111 El Paseo, Ste. 205 Palm Desert, CA 92276

Address

Northerly of 40th Avenue, westerly of Adams Street.

Project Location

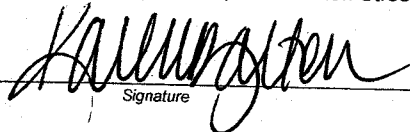
Tentative Tract Map proposes a senior planned residential development to divide 40 acres into 202 residential lots (Schedule A) with community center building.

Project Description

This is to advise that the Riverside County Planning Commission, as the lead agency, has approved the above-referenced project on December 4, 2013, and has made the following determinations regarding that project:

1. The project WILL NOT have a significant effect on the environment.
2. A Mitigated Negative Declaration was prepared for the project pursuant to the provisions of the California Environmental Quality Act. (\$2156.25 + \$64)
3. Mitigation measures WERE made a condition of the approval of the project.
4. A Mitigation Monitoring and Reporting Plan/Program WAS NOT adopted.
5. A statement of Overriding Considerations WAS NOT adopted for the project.

This is to certify that the Mitigated Negative Declaration, with comments, responses, and record of project approval is available to the general public at: Riverside County Planning Department, 4080 Lemon Street, 12th Floor, Riverside, CA 92501.


Signature

Board Assistant
Title

1/7/14
Date

Date Received for Filing and Posting at OPR:

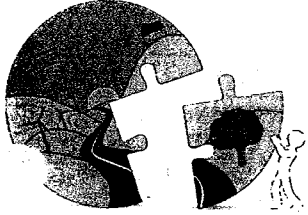
W/rj
Revised 8/25/2009
Planning Case Files-Riverside office\PU00919\NOD Form.docx

Please charge deposit fee case#: ZEA42587 ZCFG05964

JAN 07 2014 1-2

FOR COUNTY CLERK'S USE ONLY

Empty box for County Clerk's use.



RIVERSIDE COUNTY PLANNING DEPARTMENT

Juan C. Perez
TLMA Director/Interim Planning Director

MITIGATED NEGATIVE DECLARATION

Project/Case Number: TENTATIVE TRACT MAP NO. 30966, REVISED MAP NO. 1

Based on the Initial Study, it has been determined that the proposed project, subject to the proposed mitigation measures, will not have a significant effect upon the environment.

PROJECT DESCRIPTION, LOCATION, AND MITIGATION MEASURES REQUIRED TO AVOID POTENTIALLY SIGNIFICANT EFFECTS. (see Environmental Assessment and Conditions of Approval)

COMPLETED/REVIEWED BY:

By: Jay Olivas Title: Project Planner Date: November 4, 2013

Applicant/Project Sponsor: Encore Homes, LLC Date Submitted: April 2, 2013

ADOPTED BY: Planning Commission

Person Verifying Adoption: [Signature] Date: 1/7/14

The Mitigated Negative Declaration may be examined, along with documents referenced in the initial study, if any, at:

Riverside County Planning Department 4080 Lemon Street, 12th Floor, Riverside, CA 92501

For additional information, please contact Jay Olivas, Project Planner at 951-955-1195.

Revised: 10/16/07
Y:\Planning Master Forms\CEQA Forms\Mitigated Negative Declaration.doc

Please charge deposit fee case#: ZEA42587

ZCFG05964

FOR COUNTY CLERK'S USE ONLY

JAN 07 2014 1-2

COUNTY OF RIVERSIDE
SPECIALIZED DEPARTMENT RECEIPT
Permit Assistance Center

* REPRINTED * R1302888

4080 Lemon Street
Second Floor
Riverside, CA 92502
(951) 955-3200

39493 Los Alamos Road
Suite A
Murrieta, CA 92563
(951) 600-6100

38686 El Cerrito Road
Palm Desert, CA 92211
(760) 863-8277

Received from: ENCORE HOMES LLC

paid by: CK 1001

\$50.00

paid towards: CFG05964

CALIF FISH & GAME: DOC FEE

FOR TR30966R1

at parcel #:

appl type: CFG3

By

BNTHOMAR

Apr 02, 2013 11:50

posting date Apr 02, 2013

Account Code

658353120100208100

Description

CF&G TRUST: RECORD FEES

Amount

\$50.00

Overpayments of less than \$5.00 will not be refunded!

Additional info at www.rctlma.org

COUNTY OF RIVERSIDE
SPECIALIZED DEPARTMENT RECEIPT
Permit Assistance Center

* REPRINTED * R1304788

4080 Lemon Street
Second Floor
Riverside, CA 92502
(951) 955-3200

39493 Los Alamos Road
Suite A
Murrieta, CA 92563
(951) 600-6100

38686 El Cerrito Road
Palm Desert, CA 92211
(760) 863-8277

Received from: ENCORE HOMES LLC

paid by: CK 1005

\$2,156.25

paid towards: CFG05964

CALIF FISH & GAME: DOC FEE

FOR TR30966R1

at parcel #:

appl type: CFG3

By

BNTHOMAR

May 29, 2013 11:17

posting date May 29, 2013

Account Code

Description

Amount

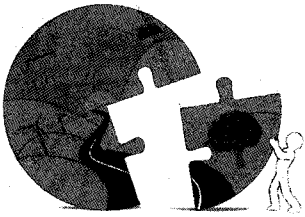
58353120100208100

CF&G TRUST

\$2,156.25

Overpayments of less than \$5.00 will not be refunded!

Additional info at www.rctlma.org



RIVERSIDE COUNTY PLANNING DEPARTMENT

Juan C. Perez
TLMA Director/Interim Planning Director

Board
1/7/14

DATE: December 17, 2013

TO: Clerk of the Board of Supervisors

FROM: Planning Department - Riverside Office

SUBJECT: TENTATIVE TRACT MAP NO. 30966, REVISED MAP NO. 1 (RECEIVE AND FILE)
(Charge your time to these case numbers)

The attached item(s) require the following action(s) by the Board of Supervisors:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Place on Administrative Action (Receive & File; EOT) | <input type="checkbox"/> Set for Hearing (Legislative Action Required; CZ, GPA, SP, SPA) |
| <input type="checkbox"/> Labels provided If Set For Hearing | <input type="checkbox"/> Publish in Newspaper: |
| <input type="checkbox"/> 10 Day <input type="checkbox"/> 20 Day <input type="checkbox"/> 30 day | **SELECT Advertisement** |
| <input type="checkbox"/> Place on Consent Calendar | <input type="checkbox"/> **SELECT CEQA Determination** |
| <input type="checkbox"/> Place on Policy Calendar (Resolutions; Ordinances; PNC) | <input type="checkbox"/> 10 Day <input type="checkbox"/> 20 Day <input type="checkbox"/> 30 day |
| <input type="checkbox"/> Place on Section Initiation Proceeding (GPIP) | <input type="checkbox"/> Notify Property Owners (app/agencies/property owner labels provided) |
| | Controversial: <input type="checkbox"/> YES <input type="checkbox"/> NO |

Documents to be sent to County Clerk's Office for Posting within five days:

Notice of Determination and Mit Neg Dec Forms
California Department of Fish & Wildlife Receipt (CFG _____)

Do not send these documents to the County Clerk for posting until the Board has taken final action on the subject cases.

**Original
Form 11a - and 1 Board Packet
is at Executive's Office**

Riverside Office • 4080 Lemon Street, 12th Floor
P.O. Box 1409, Riverside, California 92502-1409
(951) 955-3200 • Fax (951) 955-1811

Desert Office • 77-588 Duna Court, Suite H
Palm Desert, California 92211
(760) 863-8277 • Fax (760) 863-7555

"Planning Our Future... Preserving Our Past"

- 4. Surrounding Zoning (Ex. #2):
- 5. Existing Land Use (Ex. #1):
- 6. Surrounding Land Use (Ex. #1):
- 7. Project Data:

SP, City of Indio (CE, BP)
Vacant
Residential, Golf Course, Auto Mall
Total Acreage: 40.19 acres
Total Proposed Residential Lots: 202
Proposed Minimum Lot Size: 3,500 Sq. Ft.

- 8. Environmental Concerns:

See attached environmental assessment

RECOMMENDATIONS:

ADOPTION of a **MITIGATED NEGATIVE DECLARATION** for **ENVIRONMENTAL ASSESSMENT NO. 42587**, based on the findings incorporated in the initial study and the conclusion that the project will not have a significant effect on the environment; and,

APPROVAL of **TENTATIVE TRACT MAP NO. 30966, REVISED MAP NO. 1**, subject to the attached conditions of approval, and based upon the findings and conclusions incorporated in the staff report.

FINDINGS: The following findings are in addition to those incorporated in the summary of findings, and the attached environmental assessment, which is incorporated herein by reference.

1. The land divider proposes a Senior Citizen Planned Residential Development (PRD) to divide 40 acres into 202 single family lots (Schedule A) with a community center building and drainage facilities.
2. The project site is designated "Medium High Density Residential" (5-8 DU/AC) by the Riverside County General Plan with adjoining land being located in areas designated "Adopted Specific Plan" and areas being located within the City of Indio. The proposed project is consistent with "Medium High Density Residential" (5-8 DU/AC) designation in that project has a density of approximately 5.07 dwelling units to the acre with the open space lot (40.19 acres) and 6.25 dwelling units to the acre without the open space lot (32.33 acres).
3. The project site is currently zoned Planned Residential (R-4) and Watercourse, Watershed, and Conservation Areas (W-1) with surrounding zones consisting of Specific Plan (SP) and within the City of Indio Country Estates (CE) and Business Park (BP).
4. A senior citizen planned residential development for 202 single family residential lots with recreation space is permitted in the existing R-4 and W-1 zones subject to approval of the tentative tract map.
5. The subject site is currently vacant. Surrounding land uses consist of single-family housing units to the north and west as part of Del Webb, an auto mall to the south, and residential and vacant land to the east within the City of Indio.
6. Domestic water and sewer will be provided by the Coachella Valley Water District in conformance with the water and sewer land use standards of the General Plan.
7. The project is adjacent to Avenue 40 (77' R-O-W) and Adams Street (94' R-O-W); the project would provide appropriate mitigation including right-of-way dedication, and off-site traffic mitigation such as Transportation Uniform Mitigation Fees (TUMF) and signal mitigation fees, in conformance with circulation land use standards of the General Plan.

Agenda Item No.: 3.4
Area Plan: Western Coachella Valley
Zoning District: Bermuda Dunes
Supervisory District: Fourth
Project Planner: Jay Olivas
Planning Commission: December 4, 2013

TENTATIVE TRACT MAP NO. 30966,
REVISED MAP NO. 1
E.A. Number: 42587
Applicant: Encore Homes, LLC
Eng-Rep.: Mickie Riley

COUNTY OF RIVERSIDE PLANNING DEPARTMENT STAFF REPORT

PROJECT DESCRIPTION AND LOCATION:

Tentative Tract Map No. 30966, Revised Map No. 1 proposes to subdivide 40.19 gross acres into 202 residential lots (Schedule A) as a Senior Citizen Planned Residential Development (PRD). The PRD consists of lot sizes ranging from approximately 3,500 square feet to 10,500 square feet with detached single-family residential units ranging in size from approximately 1,657 square feet to 1,903 square feet with a maximum height of 18 feet (single-story). The PRD also includes a 3,221 square foot community center building with a maximum height of 18 feet with a swimming pool, a detention basin/dog park, a drainage channel, and common area landscaping. Project grading consists of approximately 130,486 cubic yards of cut and 107,827 cubic yards of fill. The site grading will be balanced.

The project is located northerly of northerly of Interstate 10 and 40th Avenue, westerly of Adams Street, southerly of Manorgate Road, and easterly of Somerset Avenue.

ISSUES OF POTENTIAL CONCERN:

Drainage and traffic improvements were issues of potential concern, however, these concerns were addressed by submitted technical reports which were reviewed and cleared by the affected county departments with recommended conditions.

To address drainage concerns, the land divider will provide key improvements such as a multi-use recreational area directing the regional storm water discharges through the site from the southeasterly corner of the adjoining Sun City Palm Desert development to a point where the flows cross over Adams Street just north of 40th Avenue. The developer is also proposing the use of a low water crossing to protect the intersection of Adams Street and 40th Avenue. Additionally, on-site drainage will be collected through an underground storm drain system within the street right-of-way flowing into an on-site detention basin. Development of the proposed drainage facilities will also be coordinated with the Coachella Valley Water District and the City of Indio.

To address traffic concerns, the land divider will be incorporating certain right-of-way widths such as 37 foot half width for 40th Avenue and pay 25% of the total cost of the traffic signal installation at Adams Street at 40th Avenue.

SUMMARY OF FINDINGS:

1. Existing General Plan Land Use (Ex. #5):
2. Surrounding General Plan Land Use (Ex. #5):

Medium High Density Residential (5-8 DU/AC) / Open Space – Water (OS-W)
Medium High Density Residential (5-8 DU/AC) Medium Density Residential (2-5 DU/AC), Open Space - Recreation (OS-R), City of Indio (Business Park (BP) – Auto Mall and Country Estates (CE)) and Interstate 10. R-4, W-1

Existing Zoning (Ex. #2):

8. The proposed tract map will reduce visual impacts as a result of the senior citizen planned residential development which will be buffered by building design, decorative fencing, and landscaping.
9. The proposed tract map is within two miles of a fire station and will provide additional on-site fire protection improvements in conformance with the fire services land use standards of the General Plan.
10. The proposed tract map is within the Sphere of Influence of the City of Palm Desert whose transmittal of May 29, 2013 indicated no objection.
11. The proposed tract incorporates noise attenuation measures to reduce traffic noise levels below significance based on the County Department of Environmental Health, Office of Industrial Hygiene transmittal of July 16, 2013 requiring the installation of decorative masonry block walls or combination berm and block walls along 40th Avenue and portions of Adams Street.
12. The proposed tract map was heard by the Riverside County Airport Land Use Commission on July 11, 2013 and the tract map was found to be "consistent" with the 2004 Bermuda Dunes Airport Land Use Compatibility Plan.
13. The project is within the Coachella Valley Multiple Species Habitat Conservation Plan, but is not specifically located within a Conservation Area.
14. The project was routed to the Sun City/Palm Desert Community Association whose comment letter of August 19, 2013 indicated no objection.
15. The initial study performed pursuant to Environmental Assessment No. 42587 identified the following potentially significant impacts:
 - a. Aesthetics
 - b. Air Quality
 - c. Hazards & Hazardous Materials
 - d. Hydrology/Water Quality
 - e. Noise
 - f. Transportation/Traffic

These listed impacts will be fully mitigated by the measures indicated in the initial study, Conditions of Approval, and attached government agency letters. No other significant impacts were identified.

CONCLUSIONS:

1. The proposed project is in conformance with all elements of the Riverside County General Plan.
2. The proposed project is consistent with the R-4 and W-1 zoning classification of Ordinance No. 348 and with all other applicable provisions of Ordinance No. 348.
3. The proposed project is consistent with the Schedule "A" map requirements and all other applicable provisions of Ordinance No. 460.

4. The public's health, safety and general welfare are protected through project design and recommended improvements.
5. The proposed project is conditionally compatible with the present and future logical development of the area.
6. The proposed project will not have a significant effect on the environment.

INFORMATIONAL ITEMS:

1. As of this writing (11/13/13), two (2) comment letters have been received from the general public.
2. The project site is not located within:
 - a. A Tribal Land.
 - b. A General Plan Policy Overlay Area.
 - c. A Specific Plan.
 - d. A Zoning Overlay Area.
 - e. An Agricultural Preserve.
 - f. A fault zone.
 - g. A High Fire Area.
 - h. An Historic Preservation District.
 - g. A Blow Sand area.
 - h. Fringe-toed lizard or burrowing owl habitat
3. The project is located within:
 - a. The City of Palm Desert sphere of influence.
 - b. Zone B of Ordinance No. 655 (Regulating Light Pollution (Mt. Palomar)).
 - c. An area of moderate liquefaction potential.
 - d. An area susceptible to subsidence.
 - e. An area of low potential for Paleontological Sensitivity.
4. The subject site is currently designated as Assessor's Parcel Number 748-280-008 and 748-280-009.

RIVERSIDE COUNTY PLANNING DEPARTMENT TR30966R1

Supervisor Benoit
District 4

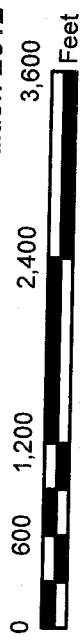
Date Drawn: 10/07/2013
Vicinity Map

VICINITY/POLICY AREAS



Zoning District: Bermuda Dunes
Township/Range: T5SR7E
Section: 6

Assessors Bk. Pg. 748-28
Thomas Bros. Pg. 819 G2
Edition 2012



DISCLAIMER: On October 7, 2003, the County of Riverside adopted a new General Plan providing new land use designations for unincorporated Riverside County parcels. The new General Plan may contain different types of land use than is provided for under existing zoning. For further information, please contact the Riverside County Planning Department offices in Riverside at (951) 935-3200 (Western County), or in Indio at (760) 853-8277 (Eastern County) or website at <http://www.livingcounties.org> or <http://www.river.org>.

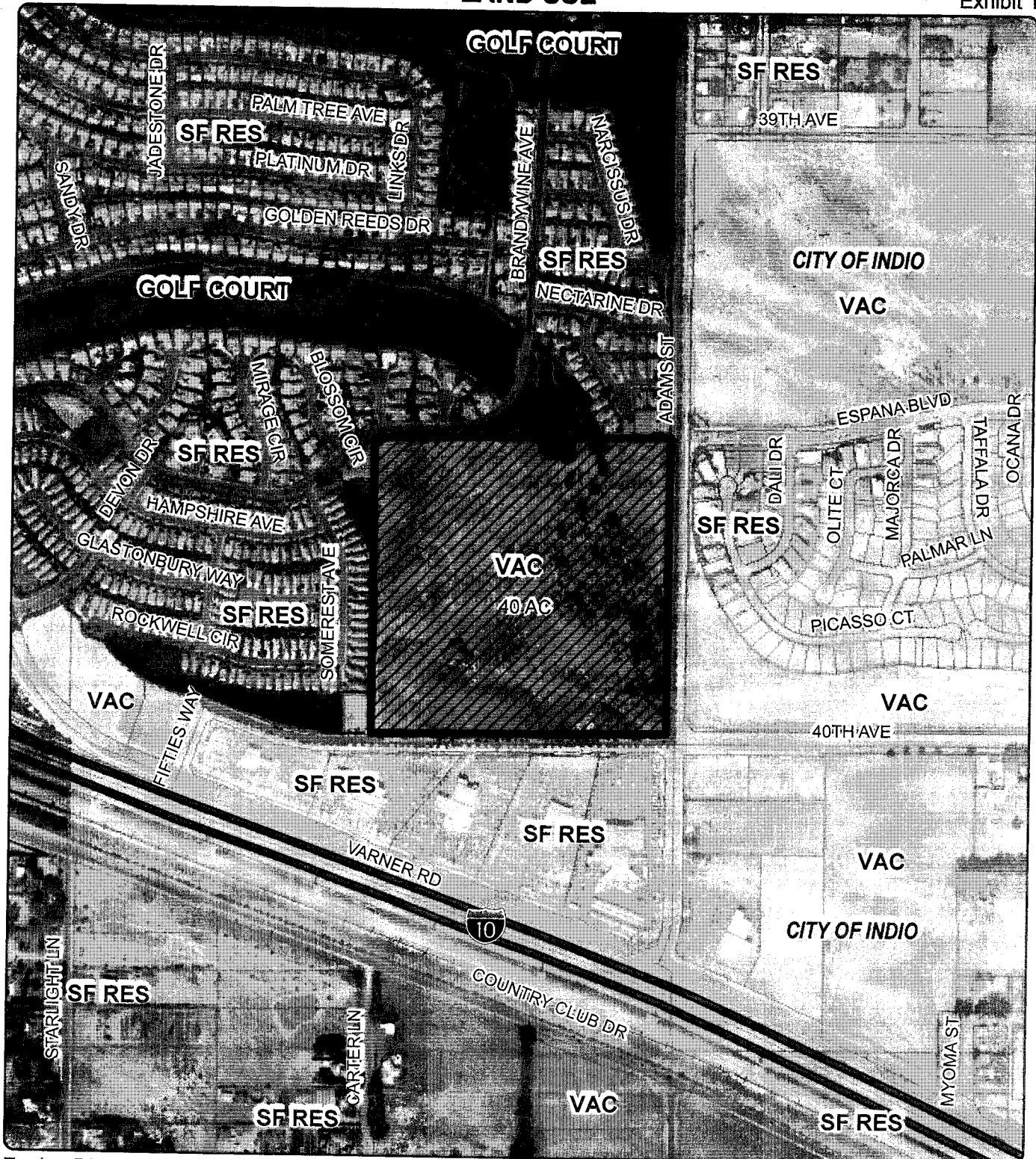
RIVERSIDE COUNTY PLANNING DEPARTMENT

TR30966R1

LAND USE

Supervisor Benoit
District 4

Date Drawn: 10/07/2013
Exhibit 1



Zoning District: Bermuda Dunes
Township/Range: T5SR7E
Section: 6

Assessors Bk. Pg. 748-28
Thomas Bros. Pg. 819 G2
Edition 2012



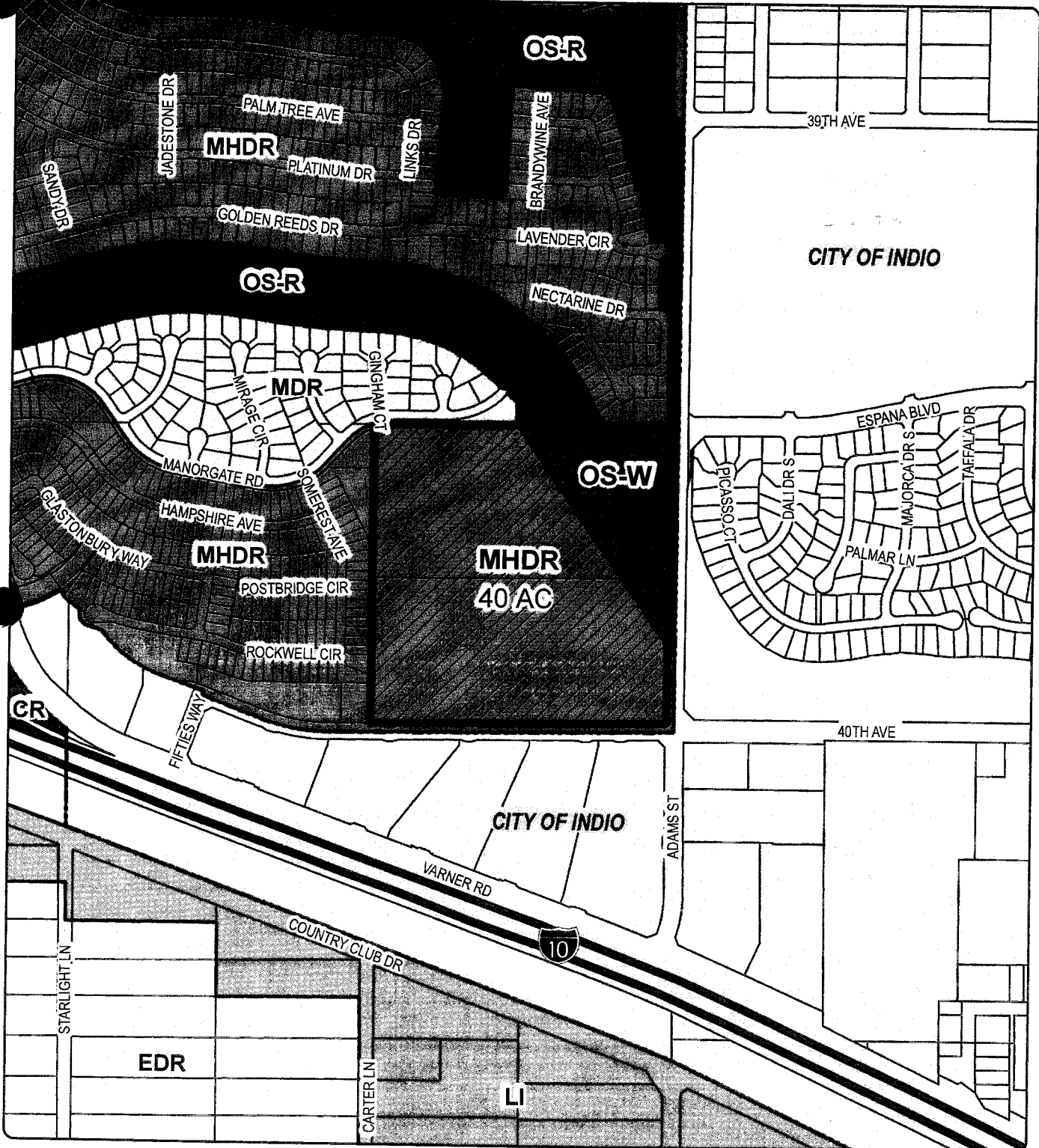
DISCLAIMER: On October 7, 2003, the County of Riverside adopted a new General Plan providing new land use designations for unincorporated Riverside County parcels. The new General Plan may contain different types of land use than is provided for under existing zoning. For further information, please contact the Riverside County Planning Department offices in Riverside at (951) 955-3200 (Western County), or in Indio at (760) 863-8277 (Eastern County) or website at <http://www.time.co.riverside.ca.us/index.html>

RIVERSIDE COUNTY PLANNING DEPARTMENT

Supervisor Benoit
District 4

TR30966R1 EXISTING GENERAL PLAN

Date Drawn: 10/07/2013
Exhibit 5



Zoning District: Bermuda Dunes
Township/Range: T5SR7E
Section: 6



Assessors Bk. Pg. 748-28
Thomas Bros. Pg. 819 G2
Edition 2012

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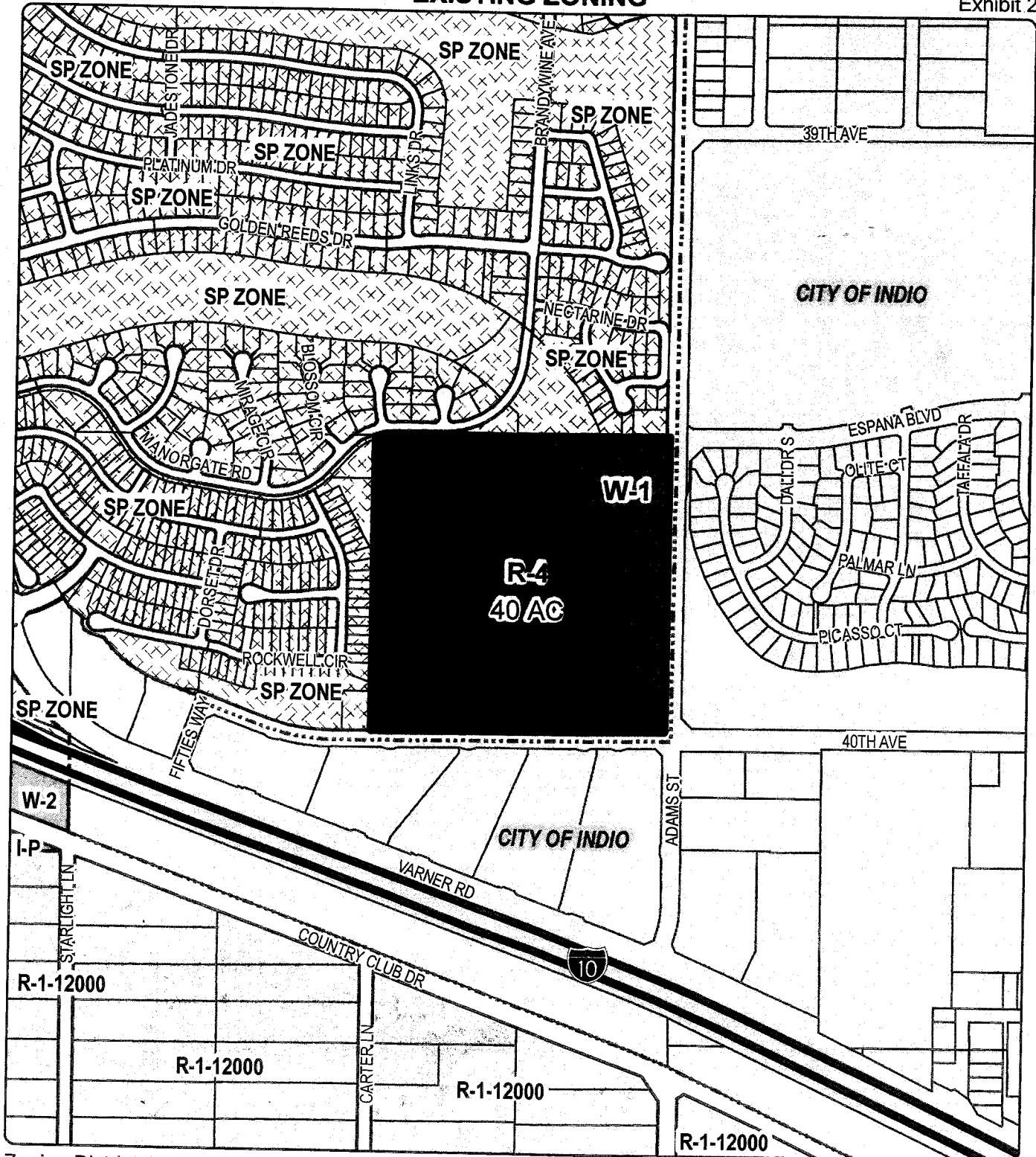
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RIVERSIDE COUNTY PLANNING DEPARTMENT

Supervisor Benoit
District 4

TR30966R1 EXISTING ZONING

Date Drawn: 10/07/2013
Exhibit 2



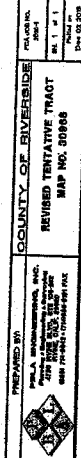
Zoning District: Bermuda Dunes
Township/Range: T5SR7E
Section: 6

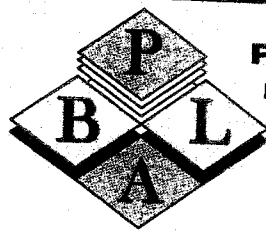
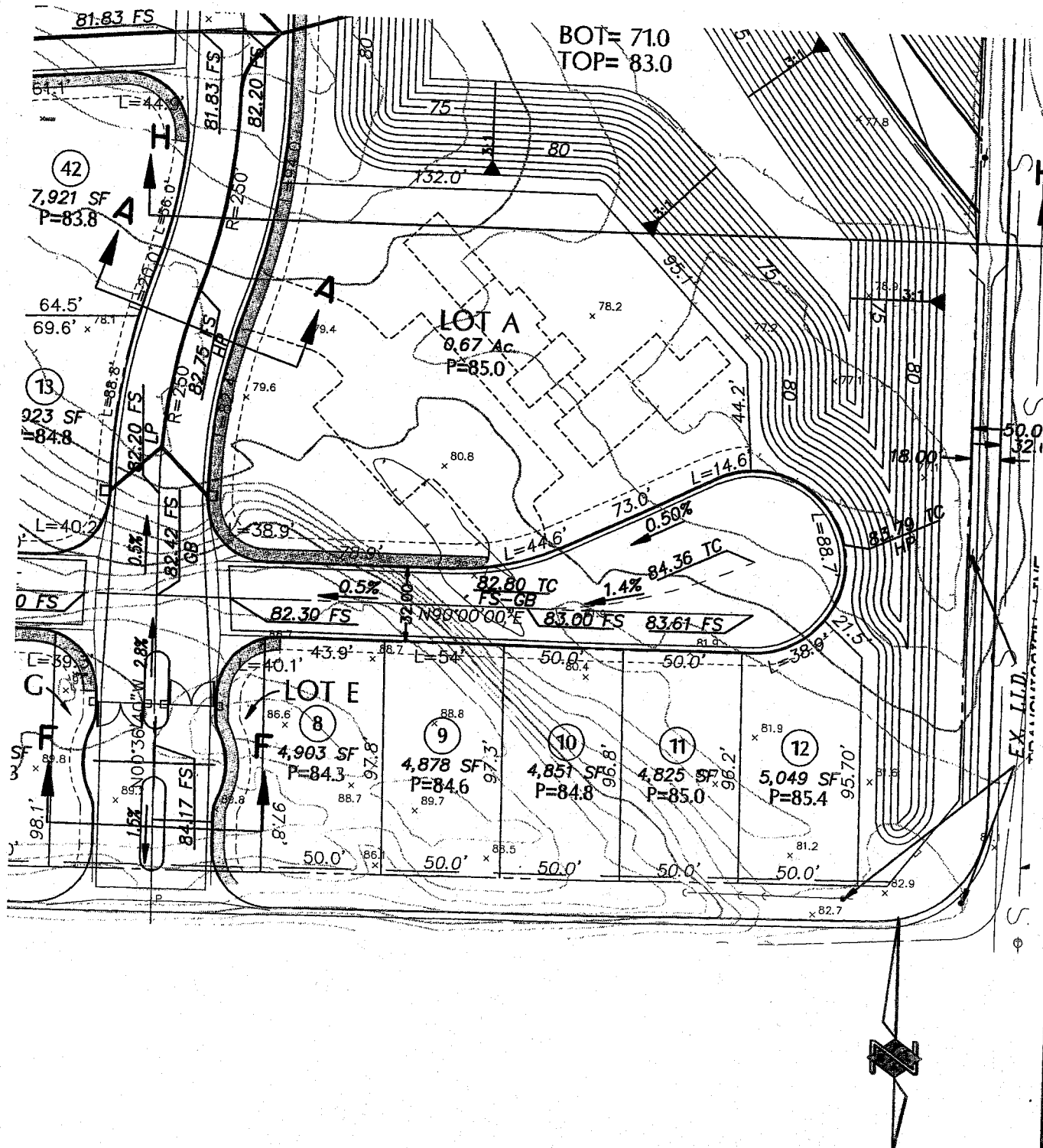
Assessors Bk. Pg. 748-28
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Edition 2012

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0 300 600 1,200 1,800
Feet

IN THE UNINCORPORATED TERRITORY OF THE COUNTY
OF RIVERSIDE, STATE OF CALIFORNIA





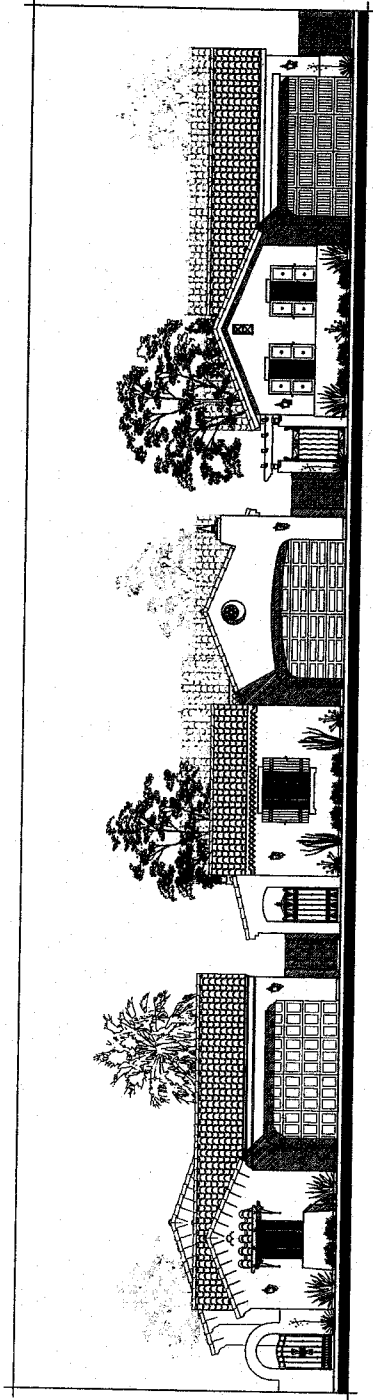
PBLA ENGINEERING, INC.
 Planning • Engineering • Surveying
 4790 IRVINE BLVD., STE 105-262
 IRVINE, CALIF. 92620
 (888) 714-9642 • (714) 389-9191 FAX

ENCORE TTM 30966
RIVERSIDE COUNTY, CA
STREET D CUL-DE-SAC
SHEET 1 of 1

FDR:	W.D.
COUNTY OF RIVERSIDE	2028-1

Encore Design Manual

County of Riverside, CA
Revised Tentative Tract Map No. 30966 R1
APN. # 748-280-006 & 748-280-009



Sheet Index

CS: Cover Sheet
A-1: Site Plan Typical 3 Lots
A-2: Plan 1 Floor Plan
A-3: Plan 1 Front Elevations
A-4: Plan 1 Elevations & Roof Plans
A-5: Plan 2 Floor Plan
A-6: Plan 2 Front Elevations
A-7: Plan 2 Elevations & Roof Plan
A-8: Plan 3 Floor Plan
A-9: Plan 3 Front Elevations
A-10: Plan 3 Elevations & Roof Plan
A-11: Rendered Street Scene
A-12: Gated Entry & Exit
A-13: Recreation Building Floor Plan
A-14: Recreation Building Roof Plan
A-15: Recreation Building Front & Rear Elevations
A-16: Recreation Building Left & Right Elevations
A-17: Recreation Building Rendered Front Elevation
A-18: Court Schemes 1 thru 6

L-1: Overall Conceptual Landscape Plan
L-2: Landscape Narrative and Plant Palette
L-3: Landscape Enlargements
L-4: Typical Landscape Plan (Plan 1)
L-5: Typical Landscape Plan (Plan 2)
L-6: Typical Landscape Plan (Plan 3)
L-7: Tree and Accent Plant Images
L-8: Shrub, Groundcover, Vines and Ornamental Grass Images
L-9: Accent Light Images
L-10: Wall and Fence Plan
L-11: Shading Plan

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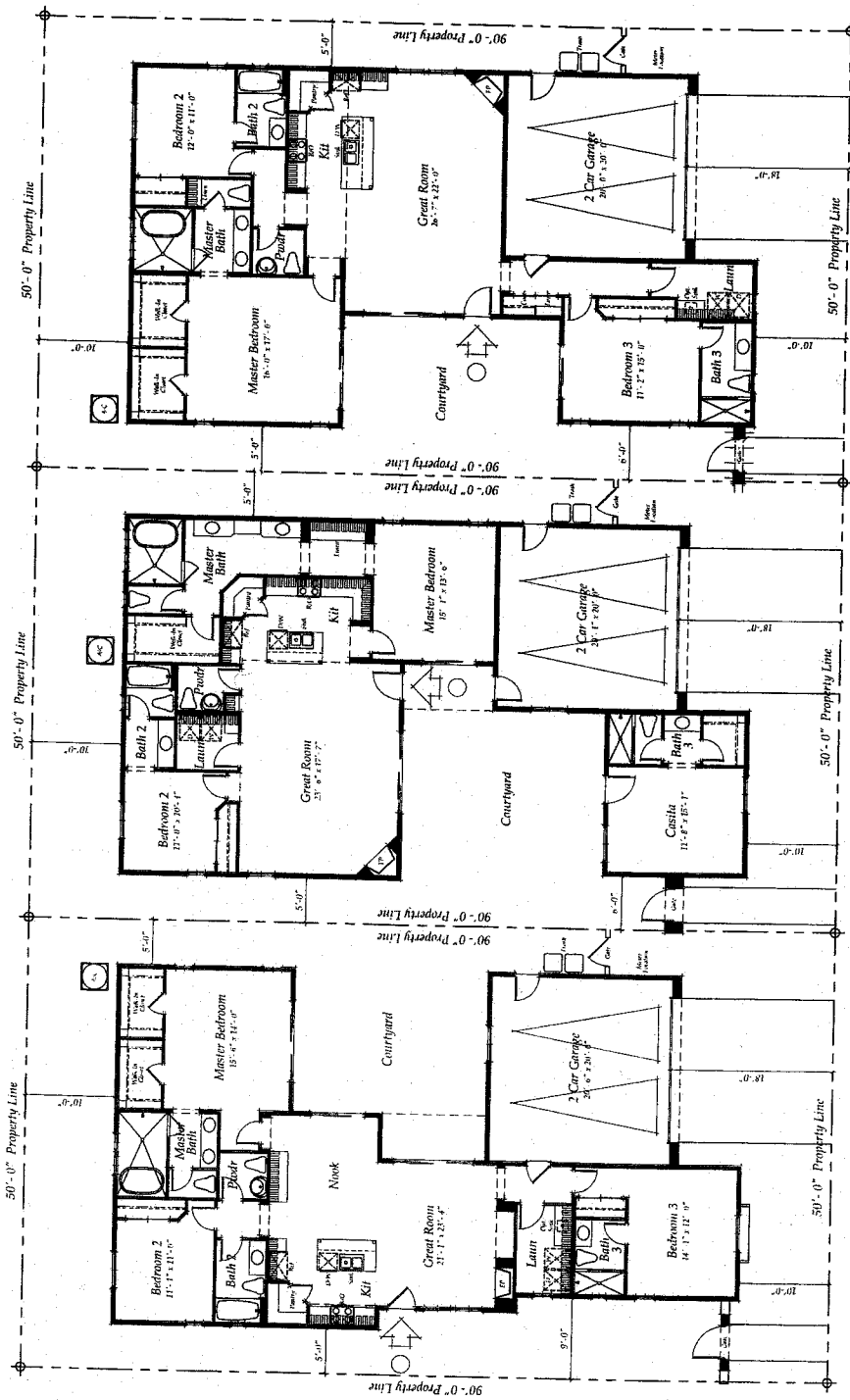
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3-28-13 #12-26

Sheet CS



Plan 1
1,657 sq. ft.
Spanish

Plan 2
1,711 sq. ft.
Hacienda

Plan 3
1,903 sq. ft.
Early California

Site Plan Exhibit C Typical 3 Lots

Scale: 3/16" = 1'-0"

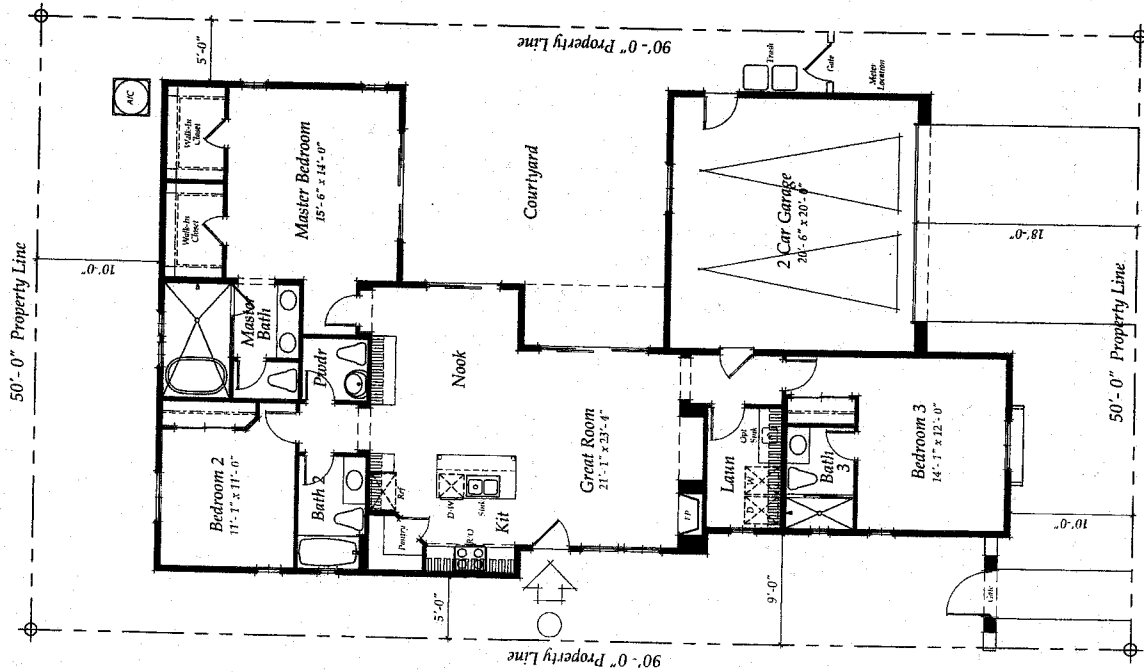
Gibraltar us, Inc
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Encore
County of Riverside, CA
Revised Tentative Tract Map No. 30966 R1
APN. # 748-280-006 & 748-280-009

Project Data
Occupancy - R-3
Construction Type - Type V
Number of Stories - 1



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Sheet A-1



Plan 1
Exhibit C
1,657 sq. ft.
3 Bedroom/ 3.5 Bath

Scale: 1/4" = 1'-0"



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Sheet A-2

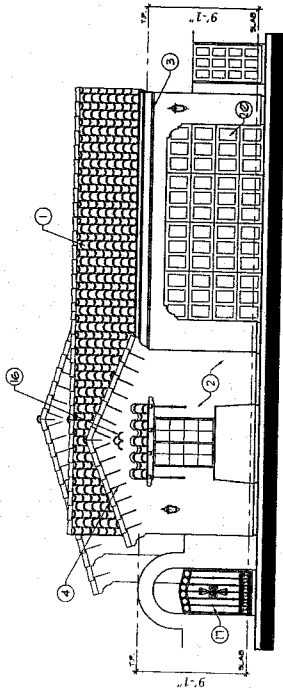
Project Data
 Occupancy - R-3
 Construction Type - Type V
 Number of Stories - 1

Encore

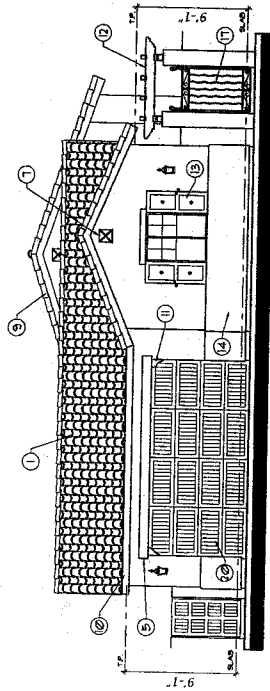
County of Riverside, CA
 Revised Tentative Tract Map No. 30966 R1
 APN. # 748-280-006 & 748-280-009

Gibraltar us, Inc

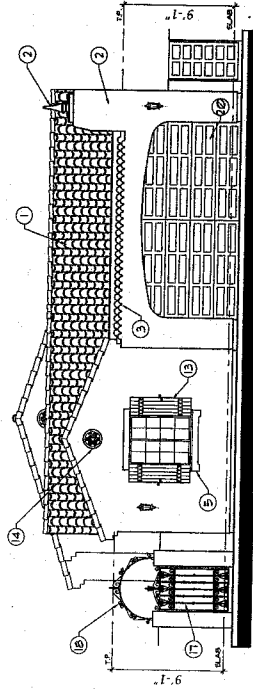
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Spanish



Early California



Hacienda

Exterior Materials

1. Concrete "S" Tile
2. Stucco w/ Sand Finish
3. Stucco of Front Eave
4. Stucco of Front Eave
5. Stucco of Front Eave
6. Stucco of Front Eave
7. Stucco of Front Eave
8. Furred Stucco Base
9. Wood Barge Board
10. Wood Corbel
11. Wood Corbel
12. Wood Corbel
13. Wood Corbel
14. Precast Concrete Roshette
15. Precast Concrete Final
16. False Clay Tile Vent
17. Iron Gate
18. Decorative Iron Accent
19. Metal Vent
20. Fiberglass Sectional Garage Door

Plan 1 Exhibit B Front Elevations

Scale: 1/4" = 1'-0"



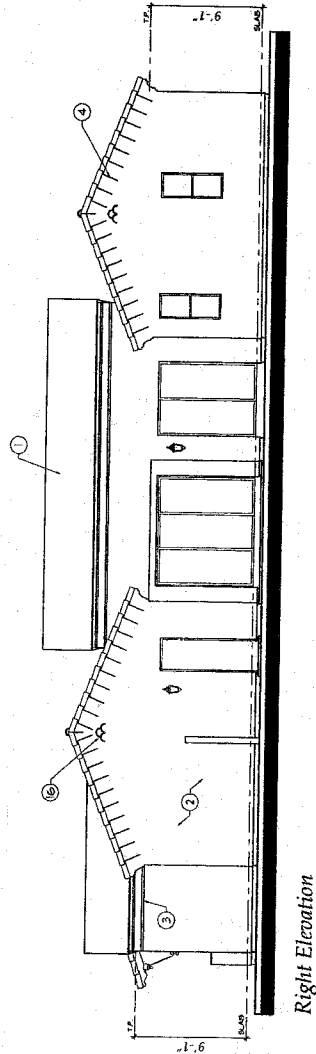
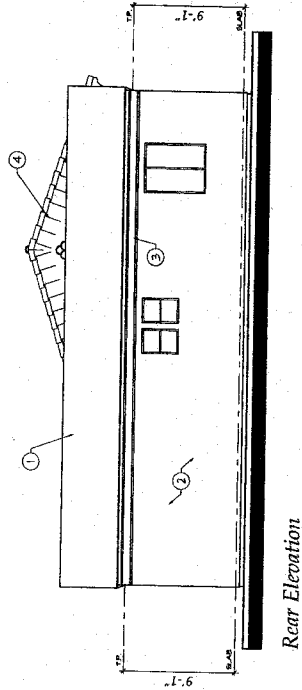
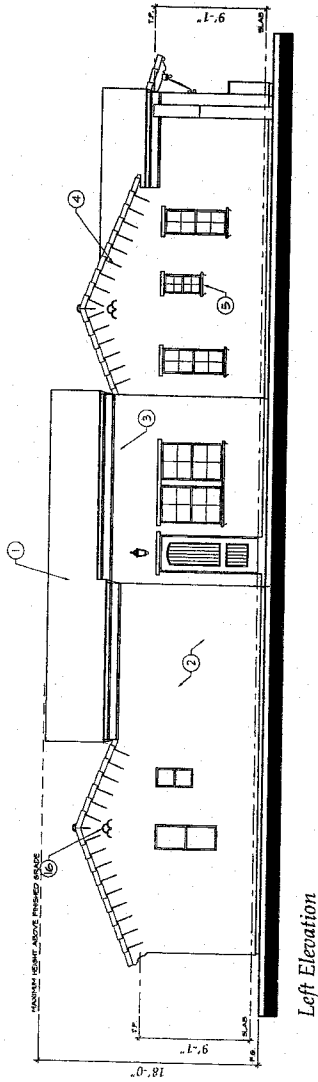
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949/487-2321
#12-26
Sheet A-3

Project Data
Occupancy - R-3
Construction Type - Type V
Number of Stories - 1

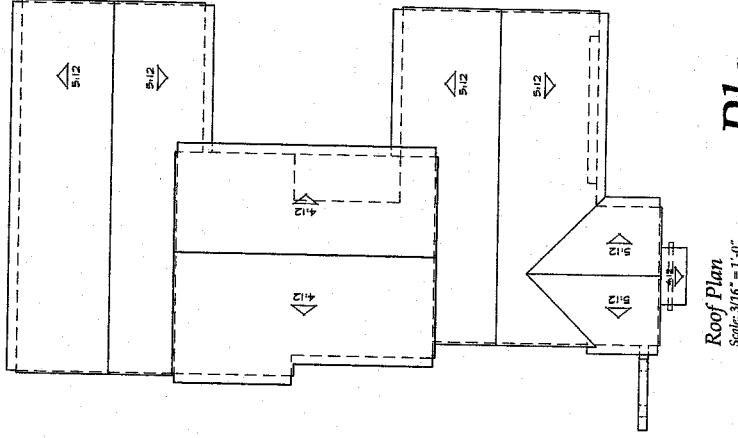
Encore
County of Riverside, CA
Revised Tentative Tract Map No. 30966 R1
APN. # 748-280-006 & 748-280-009

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Exterior Materials

1. Concrete "S" Tile
2. Stucco w/ Sand Finish
3. Stucco w/ Foam Edge
4. Stucco Scalloped Rake
5. Stucco w/ Foam Trim
16. False Clay Tile Vent



Plan 1 Exhibit B Elevations/ Roof Plan Spanish

Scale: 1/4" = 1'-0"

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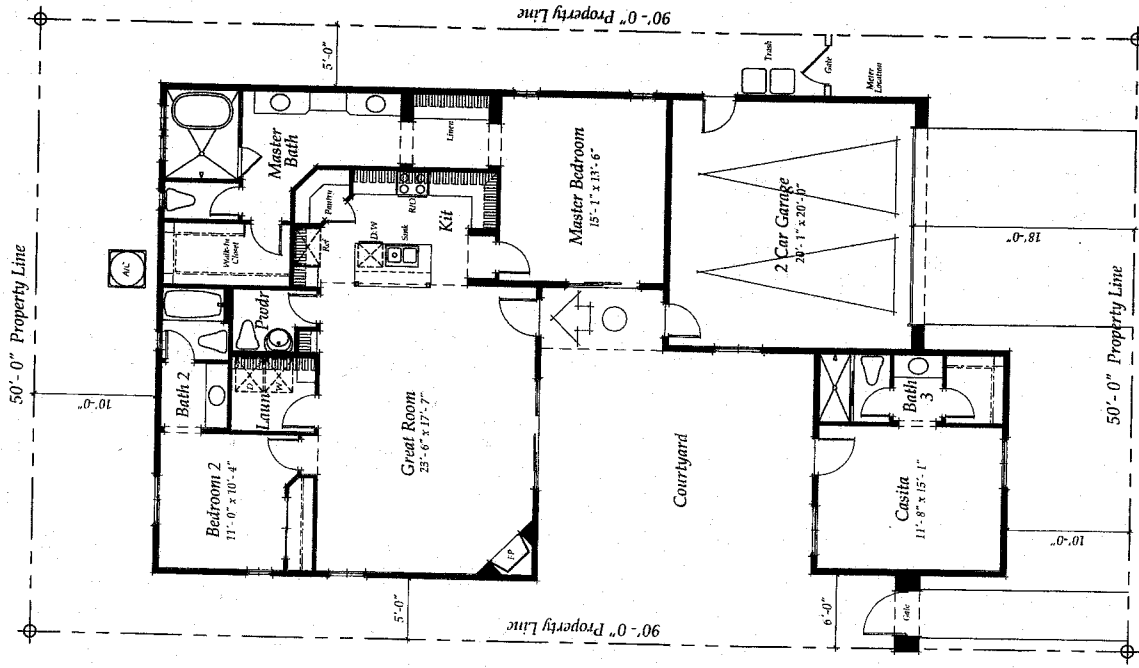
Encore

County of Riverside, CA
Revised Tentative Tract Map No. 30966 R1
APN. # 748-280-006 & 748-280-009

Project Data
Occupancy - R-3
Construction Type - Type V
Number of Stories - 1



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Sheet A-4



Plan 2
Exhibit C
1,711 sq. ft.
2 Bed + Casita/ 3.5 Bath

Scale: 1/4" = 1'-0"

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 949/487-2320
 3-28-13
 412-26
 Sheet A-5

Project Data
 Occupancy - R-3
 Construction Type - Type V
 Number of Stories - 1

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Encore
 County of Riverside, CA
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 APN. # 748-280-006 & 748-280-009

Project Data
 Occupancy - R-3
 Construction Type - Type V
 Number of Stories - 1



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 fax 949/487-2521
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 3-25-13
 Sheet A-6

Plan 2

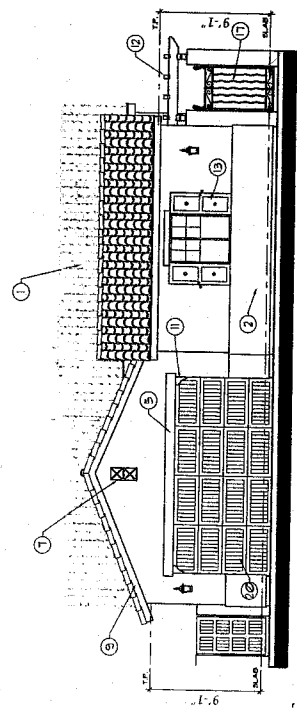
Exhibit B

Front Elevations

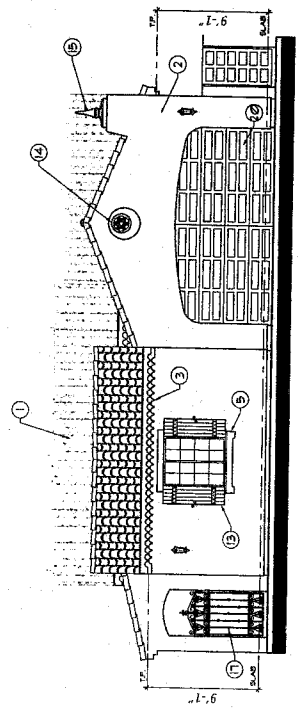
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Exterior Materials

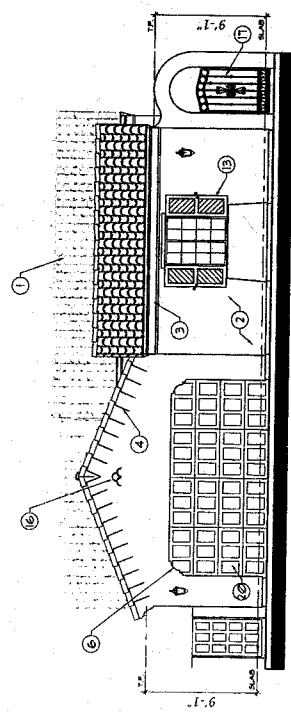
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2. Stucco w/ Sand Finish
3. Stucco w/ Foam Core
4. Stucco w/ Sand Finish
5. Stucco w/ Sand Finish
6. Stucco w/ Sand Finish
7. Stucco w/ Sand Finish
8. Stucco w/ Sand Finish
9. Furred Stucco Base
10. Wood Fascia Board
11. Wood Siding
12. Wood Siding
13. Wood Siding
14. Precast Concrete Rosette
15. Precast Concrete Finial
16. False Clay Tile Vent
17. Iron Gate
18. Decorative Iron Accent
19. Metal Vent
20. Fiberglass Sectional Garage Door



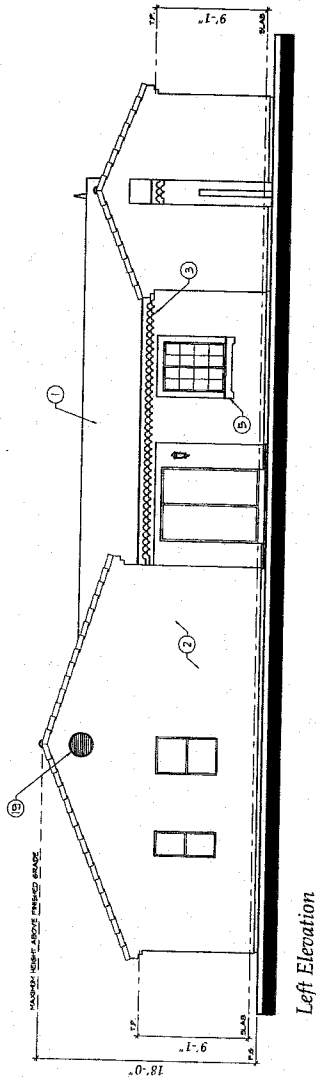
Early California



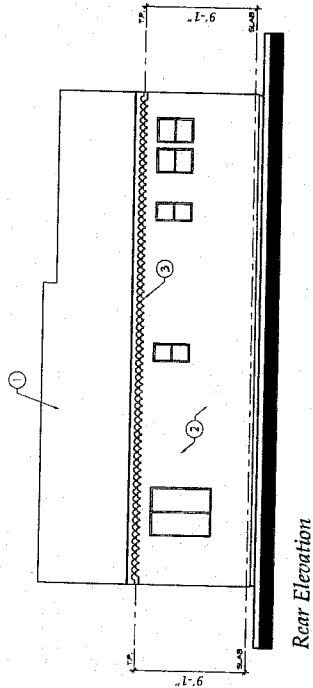
Hacienda



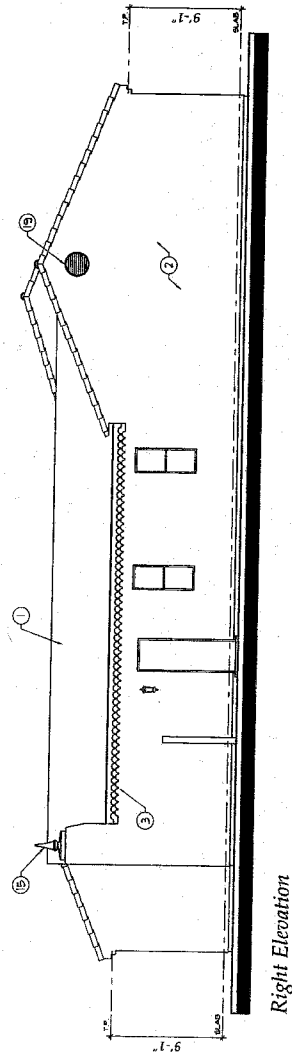
Spanish



Left Elevation



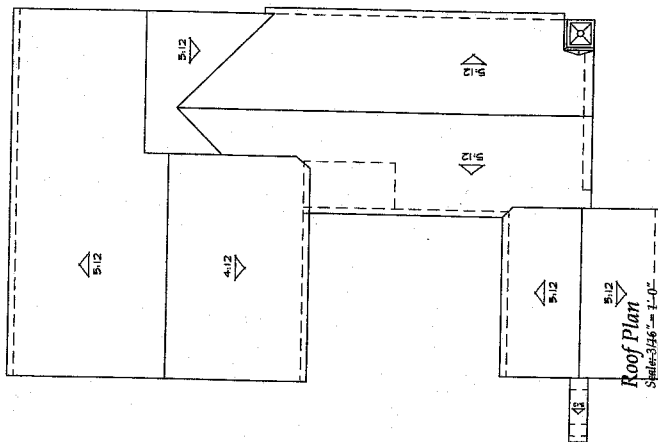
Rear Elevation



Right Elevation

Exterior Materials

1. Concrete "S" Tile
2. Stucco w/ Sand Finish
3. Stucco w/ Foam Trim
4. Stucco w/ Foam Trim
5. Precast Concrete Finish
6. Metal Vent



Roof Plan

Plan 2 Exhibit B Elevations/ Roof Plan Hacienda

Scale: 1/4" = 1'-0"

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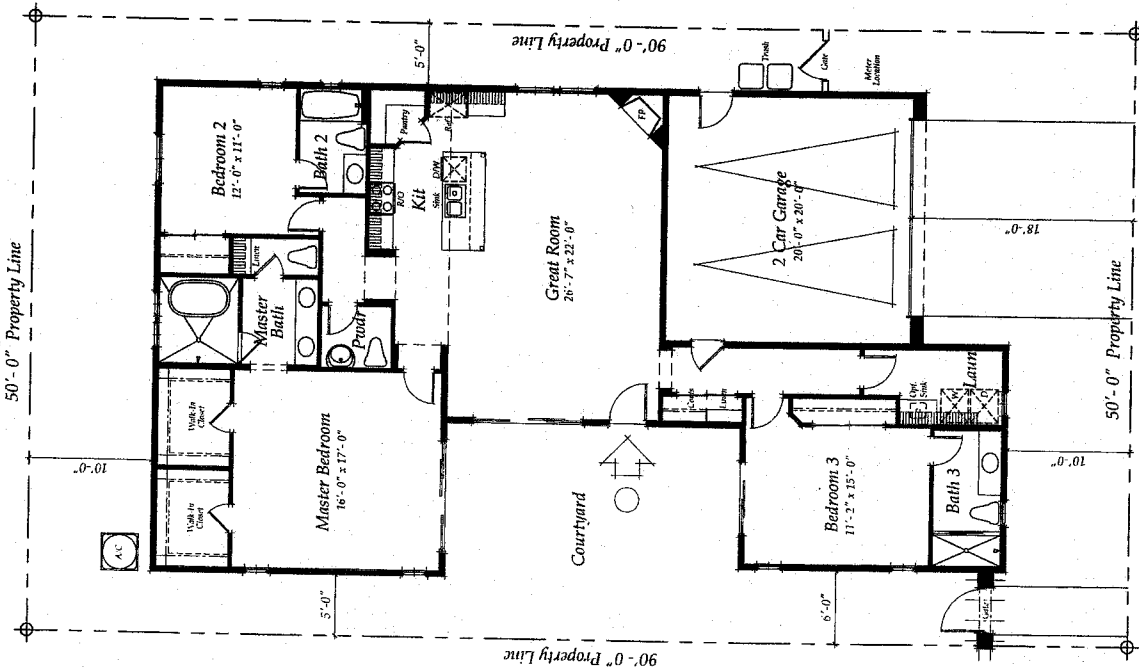
County of Riverside, CA
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APN. # 748-280-006 & 748-280-009

Project Data
Occupancy - R-3
Construction Type - Type V
Number of Stories - 1



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Sheet A-7



Plan 3
Exhibit C
1,903 sq. ft.
3 Bedroom/ 3.5 Bath

Scale: 1/4" = 1'-0"



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 3-28-13 #12-26
 Sheet A-3

Project Data
Occupancy - R-3
Construction Type - Type V
Number of Stories - 1

Encore
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 APN. # 748-280-006 & 748-280-009

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APN. # 748-280-006 & 748-280-009

Project Data
Occupancy - R-3
Construction Type - Type V
Number of Stories - 1



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949 487-2321
412-26
Sheet A-9

Plan 3

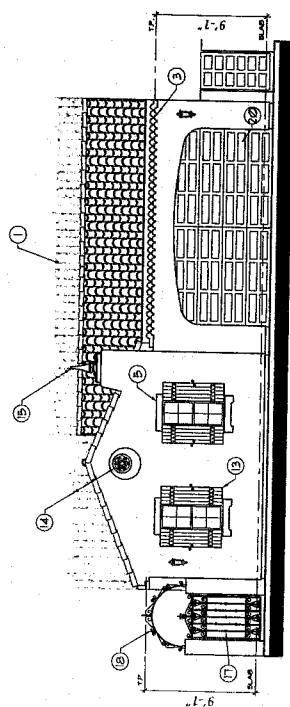
Exhibit B

Front Elevations

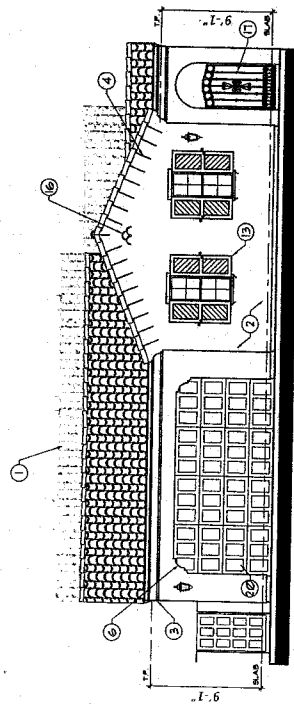
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Exterior Materials

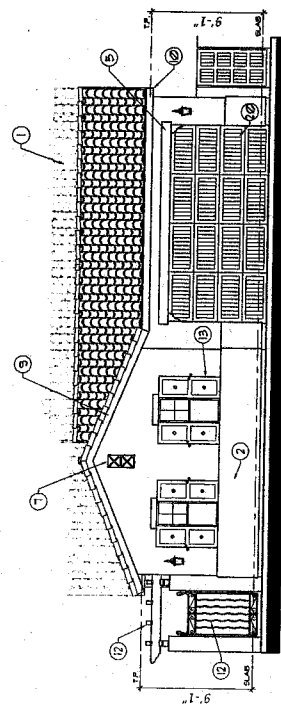
1. Concrete "S" Tile
2. Stucco w/ Sand Finish
3. Stucco w/ Smooth Finish
4. Stucco Scalloped Rake
5. Stucco w/ Foam Trim
6. Stucco w/ Foam Corbel
7. Stucco Recess w/ Thin Brick
8. Furred Stucco Base
9. Wood Barge Board
10. Wood Fascia Board
11. Wood Siding
12. Wood Shingles
13. Wood Shutter
14. Precast Concrete Rosette
15. Precast Concrete Finial
16. False Clay Tile Vent
17. Iron Gate
18. Decorative Iron Accent
19. Metal Vent
20. Fiberglass Sectional Garage Door



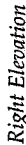
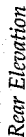
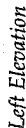
Hacienda



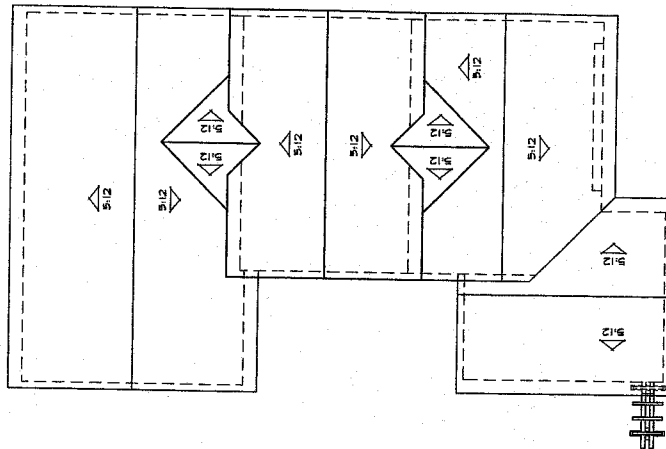
Spanish



Early California



Plan 3
Exhibit B
Elevations/ Roof Plan
Early California



Roof Plan
Scale: 3/16" = 1'-0"

Scale: 1/4" = 1'-0"



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#12-26

#12-26
Sheet A-10

Project Data
Occupancy - R-3
Construction Type - Type V
Number of Stories - 1

Project Data

Occupancy - R-3

Construction Type - Type V

Number of Stories - 1

Exterior Materials

1. Concrete "S" Tile
2. Stucco w/ Sand Finish
5. Stucco of Foami Trim
8. Furred Stucco Base
9. Wood Barge Board
10. Wood Fascia Board
12. Wood Trellis
13. Wood Shutter
19. Metal Vent

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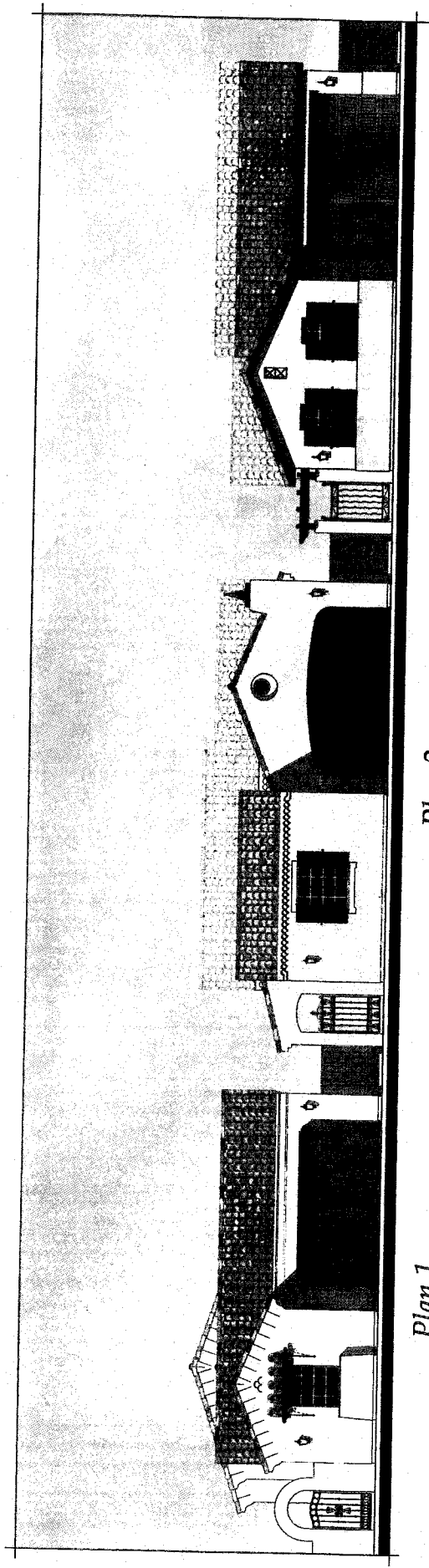
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Encore

County of Riverside, CA

Revised Tentative Tract Map No. 30966 R1

APN. # 748-280-006 & 748-280-009



Plan 1
Spanish

Plan 2
Hacienda

Plan 3
Early California

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County of Riverside, CA
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APN. # 748-280-006 & 748-280-009

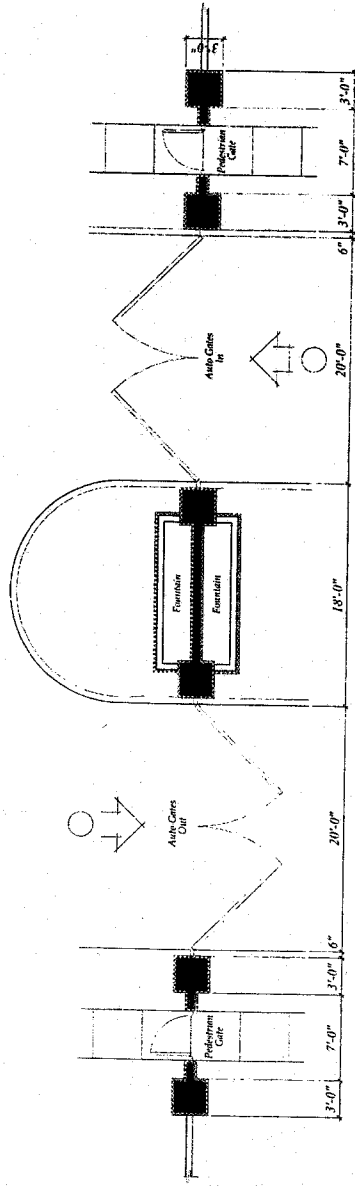
Project Data
Occupancy - R-3
Construction Type - Type V
Number of Stories - 1

Street Scene
Exhibit B

Scale: 1/4" = 1'-0"

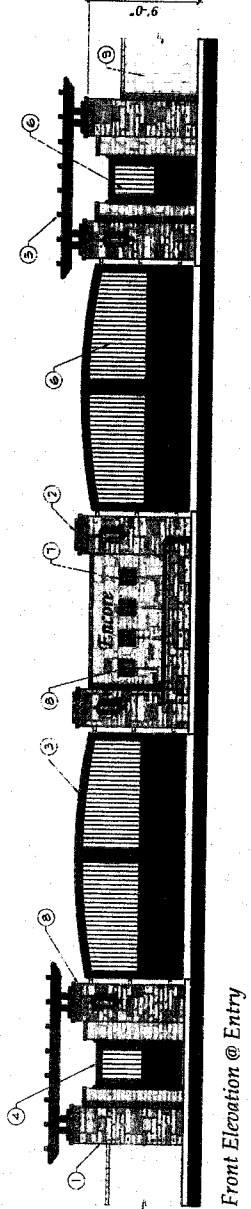


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949 487-2320
949 487-2321
3-28-13
412-26
Sheri A-12

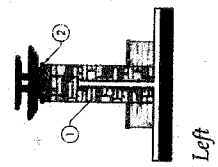


Exterior Materials

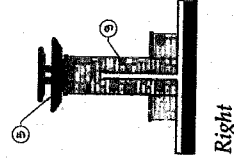
1. Stone Veneer
2. Brick Cap
3. Wood or Steel Frame Auto Gate
4. Wood or Steel Frame Pedestrian Gate
5. Wood Treads
6. Decorative Iron Bars
7. Decorative Tile
8. Copper
9. 6'-0" High Slump Block Wall
10. Exterior Light Fixture "Salsdale" By Maxim



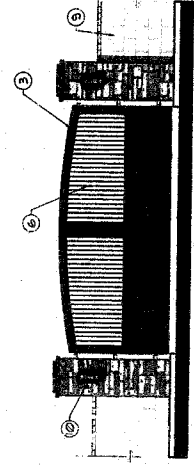
Front Elevation @ Entry



Left



Right



Front Elevation @ Exit



Typ. Light Fixture

Scale: 1/4" = 1'-0"

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Revised Tentative Tract Map No. 30966 R1
APN: # 748-280-006 & 748-280-009

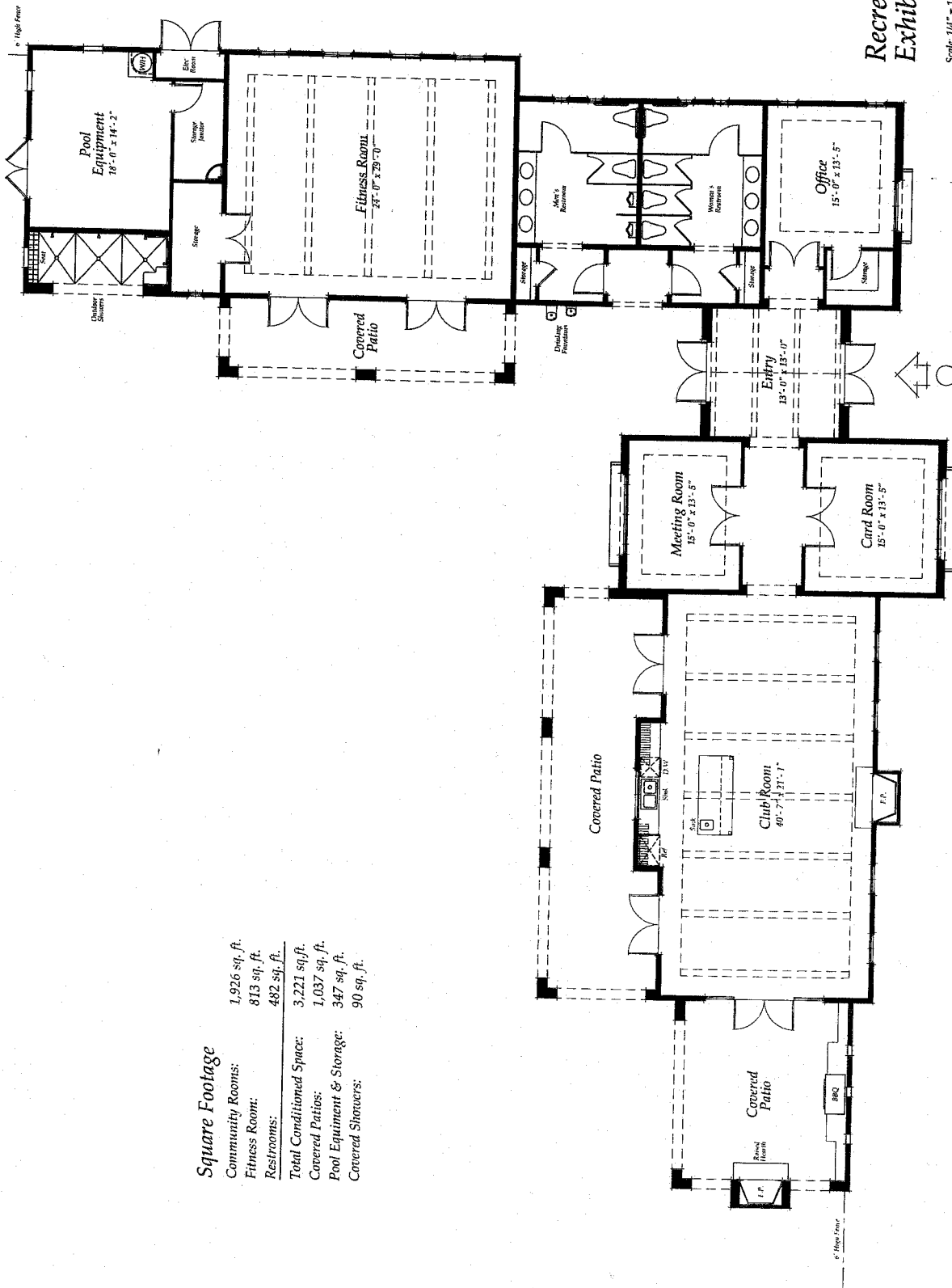
Project Data
Occupancy - R-3
Construction Type - Type V
Number of Stories - 1



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3-28-13
Sheet A-12

Square Footage

Community Rooms:	1,926 sq. ft.
Fitness Room:	813 sq. ft.
Restrooms:	482 sq. ft.
Total Conditioned Space:	3,221 sq. ft.
Covered Patios:	1,037 sq. ft.
Pool Equipment & Storage:	347 sq. ft.
Covered Showers:	90 sq. ft.



Recreation Building Exhibit C

Scale: 1/4" = 1'-0"



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Sheet A-13

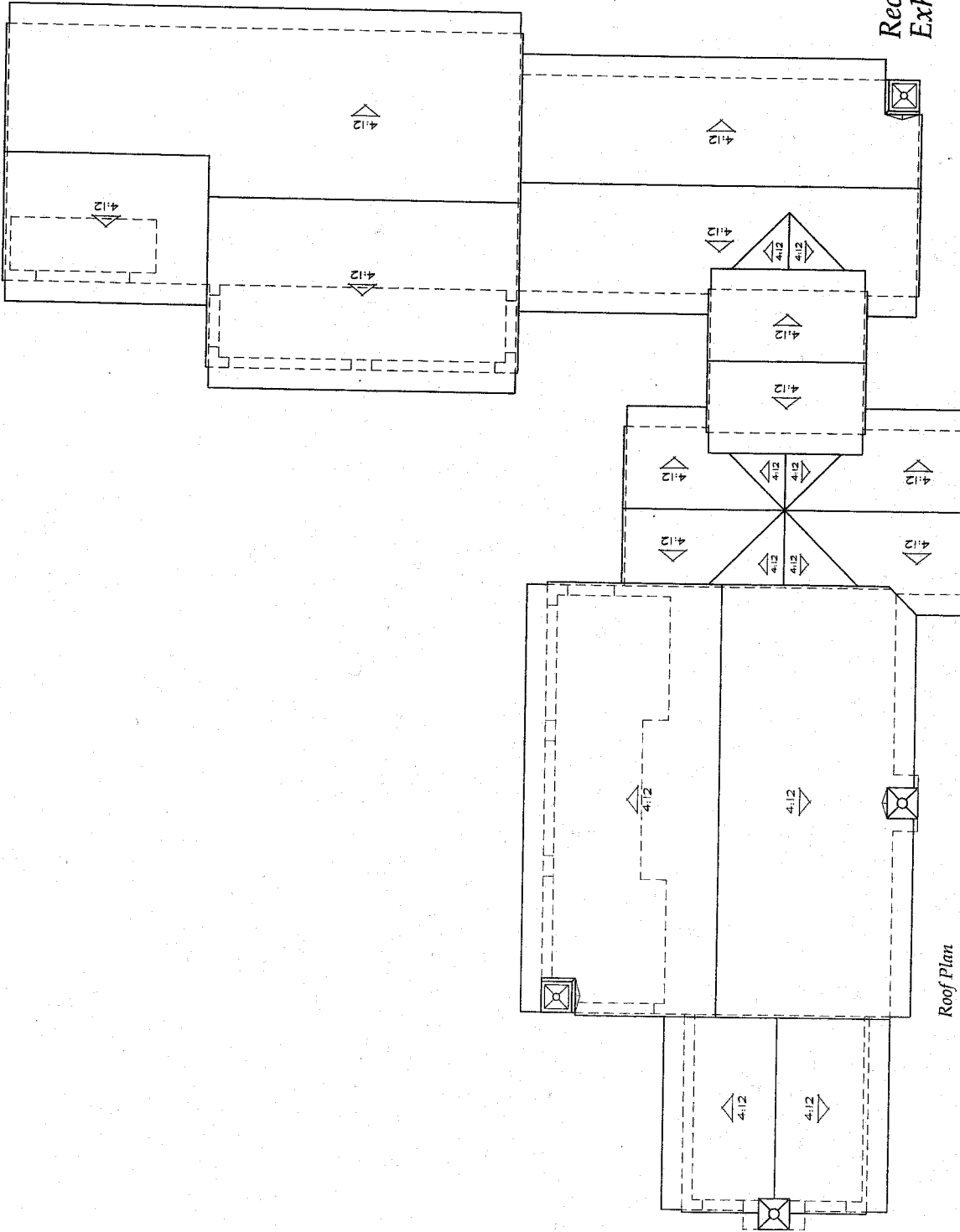
Project Data
Occupancy - B
Construction Type - Type V
Number of Stories - 1

Encore

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Revised Tentative Tract Map No. 30966 R1
APN. # 748-280-006 & 748-280-009

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Roof Plan

Recreation Building
Exhibit C

Scale: 1/4" = 1'-0"

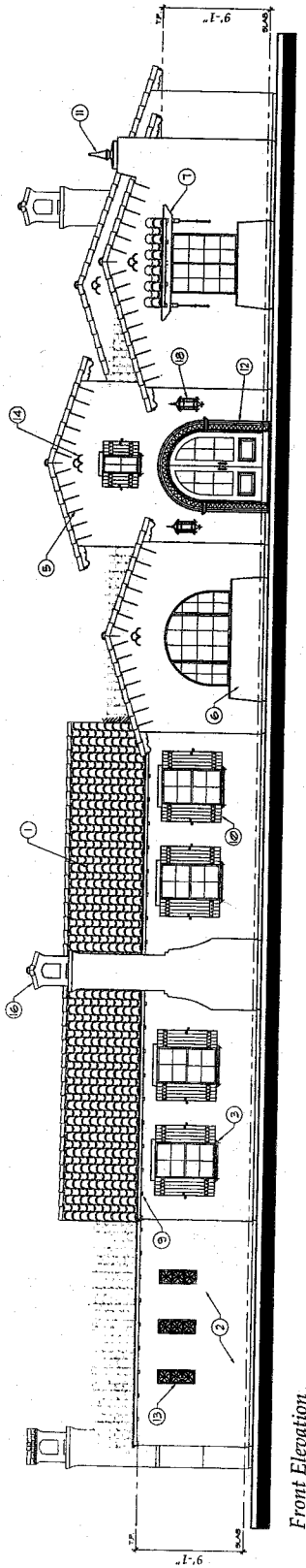
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APN # 748-280-006 & 748-280-009

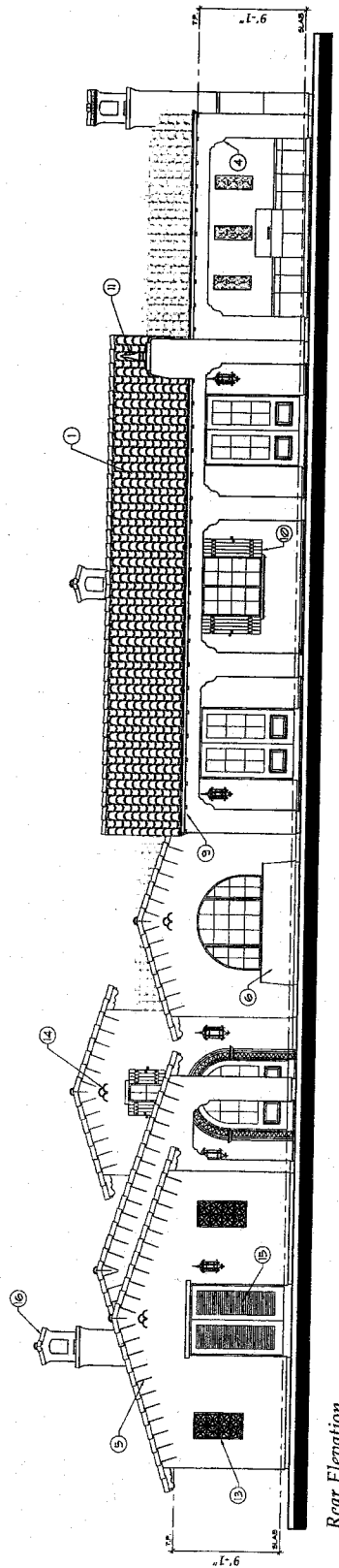
Project Data
Occupancy - B
Construction Type - Type V
Number of Stories - 1



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Sheet A-14



Front Elevation



Rear Elevation

Recreation Building Exhibit B

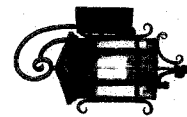
Scale: 1/4" = 1'-0"

Exterior Materials

1. Concrete "S" Tile
2. Stucco w/ Sand Finish
3. Stucco w/ Smooth Finish
4. Stucco w/ Faux Corbel
5. Scalloped Stucco Rake
6. Furred Stucco Poshelf
7. Wood Eyebrow Roof w/ Tile
8. Wood Fascia Board
9. Wood Gutter Tail
10. Wood Shutter
11. Precast Concrete Finish
12. Precast Concrete Surround
13. Decorative Concrete Block
14. False Clay Tile Vent
15. Metal Louvered Doors
16. Metal Shroud w/ Tile
17. Ceramic Tile & Outdoor Showers
18. Exterior Light Fixture "Scotsdale" by Maxim

Encore

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Typ. Light Fixture

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Project Data

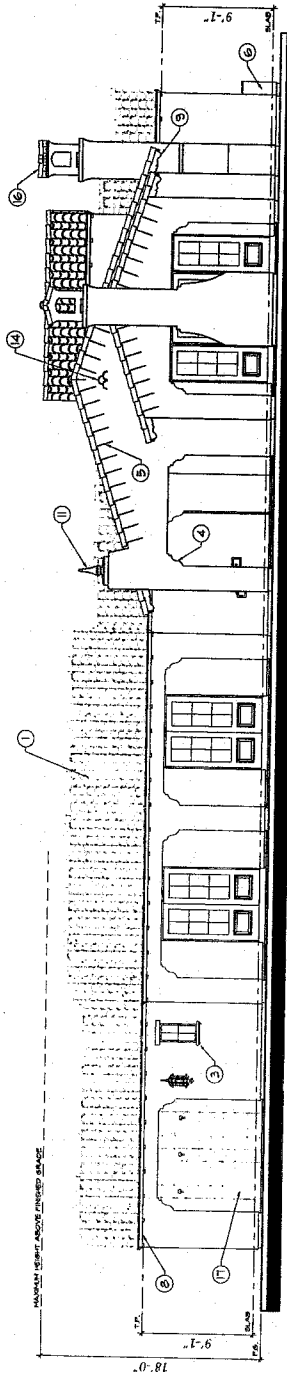
Occupancy - R-3
Construction Type - Type V
Number of Stories - 1



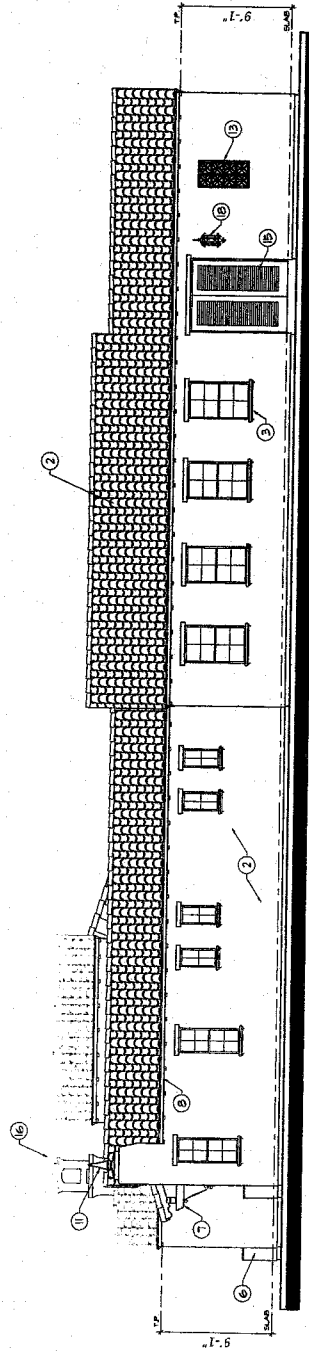
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3-28-13

Sheet A-15



Left Elevation



Right Elevation



Typ. Light Fixture

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 Revised Tentative Tract Map No. 30966 R1
 APN. # 748-280-006 & 748-280-009

Exterior Materials

1. Concrete "S" Tile
2. Stucco w/ Sand Finish
3. Stucco of Foam Trim
4. Stucco of Foam Corbel
5. Scalloped Stucco Rake
6. Furred Stucco Poshelf
7. Wood Eyebrow Roof w/ Tile
8. Wood Fascia Board
9. Wood Suffer Trim

10. Wood Shutter
11. Precast Concrete Field
12. Precast Concrete Surround
13. Decorative Concrete Block
14. False Clay Tile Vent
15. Metal Louvered Doors
16. Metal Shroud w/ Tile
17. Ceramic Tile @ Outdoor Showers
18. Exterior Light Fixture "Scottsdale" by Maxim

Project Data

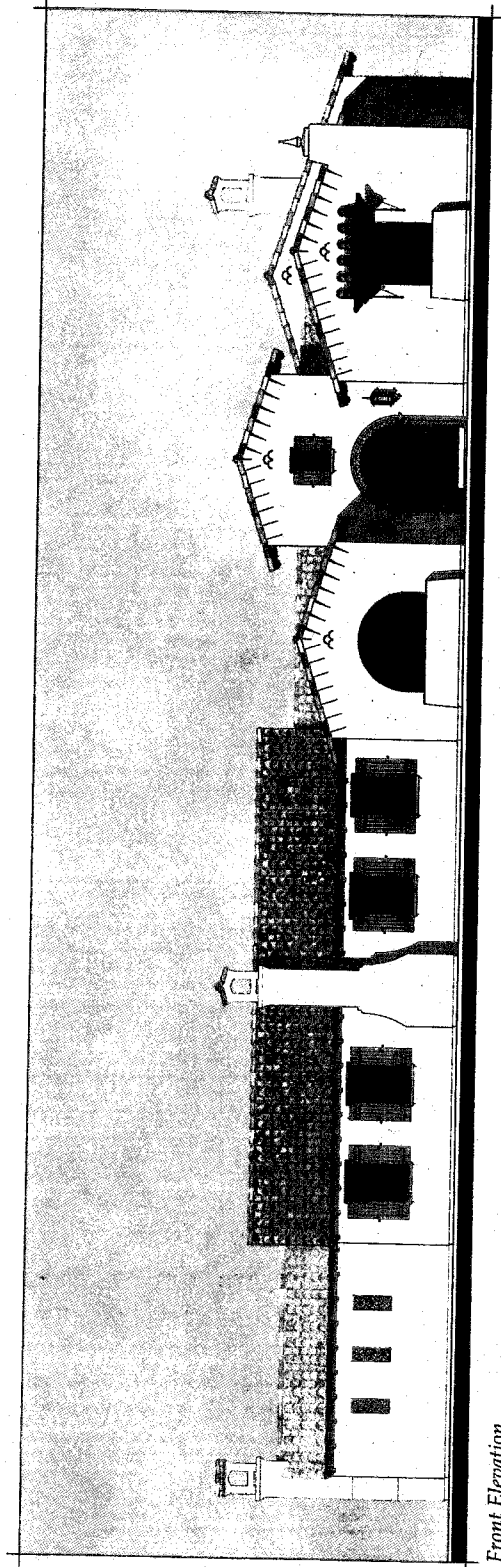
Occupancy - R-3
 Construction Type - Type V
 Number of Stories - 1

**Recreation Building
 Exhibit B**

Scale: 1/4" = 1'-0"



PEKAREK-CRANDELL, Inc.
 architecture - planning
 31411 Camino Capistrano, Suite 300
 San Juan Capistrano, CA 92675
 949/487-2320
 fax 949/487-4321
 #12-26
 3-28-13
 Sheet A-16



Front Elevation

Recreation Building Exhibit B

Scale: 1/4" = 1'-0"



PEKAREK-CRANDELL, Inc.
architecture - planning
31411 Camino Capistrano, Suite 300 949/487-2320
San Juan Capistrano, CA 92675 fax 949/487-2321
3-28-13 #12,36
Sheet A-17

Gibraltar us, Inc

73-111 El Paseo, Suite 105
Palm Desert, CA 92260
(760) 862-1111

Encore

County of Riverside, CA
Revised Tentative Tract Map No. 30966 R1
APN. # 748-280-006 & 748-280-009

Project Data
Occupancy - R-3
Construction Type - Type V
Number of Stories - 1

Color Scheme #1



2.



3.

1. Roofline: Eagle Roofing Products #8806 Tuscon Blend
2. Stucco: A. Omega Stucco #10 Omega White
B. Omega Stucco #419 Light Toast
3. Wood Fascial Barge: Dunn Edwards Paint #DE6126 Stockhorse
Stucco of Foam Trim
Garage Door:
4. Shutters/ Entry Doors: Dunn Edwards Paint #DE6387 Dangerous Rebel

Color Scheme #4



2.



3.

1. Roofline: Eagle Roofing Products #8806 Tuscon Blend
2. Stucco: A. Omega Stucco #221 Harness Gold
3. Wood Fascial Barge: Dunn Edwards Paint #DEA161 Wild Mustang
Stucco of Foam Trim
Garage Door:
4. Shutters/ Entry Doors: Dunn Edwards Paint #DEA176 Iron River

Gibraltar us, Inc

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Palm Desert, CA 92260
(760) 862-1111

Color Scheme #2



2.

3.



4.

1. Roofline: Eagle Roofing Products #3605 San Benito Blend
2. Stucco: A. Omega Stucco #12 Ivory
3. Wood Fascial Barge: Dunn Edwards Paint #DEA162 Log Cabin
Stucco of Foam Trim
Garage Door:
4. Shutters/ Entry Doors: Dunn Edwards Paint #DE6328 Anchor Gray

Color Scheme #5



2.



3.



4.

1. Roofline: Eagle Roofing Products #8708 Del Oro Blend
2. Stucco: A. Omega Stucco #18 Coconut
B. Omega Stucco #133 Moss Tan
3. Wood Fascial Barge: Dunn Edwards Paint #DE6133 Old Boot
Stucco of Foam Trim
Garage Door:
4. Shutters/ Entry Doors: Dunn Edwards Paint #DE6286 Turtle Trail

Color Scheme #3



2.

3.



4.

1. Roofline: Eagle Roofing Products #8830 Albuquerque Blend
2. Stucco: A. Omega Stucco #233 Chino
3. Wood Fascial Barge: Dunn Edwards Paint #DEC755 Cocoa
Stucco of Foam Trim
Garage Door:
4. Shutters/ Entry Doors: Dunn Edwards Paint #DEA158 Northern Territory

Color Scheme #6



2.



3.



4.

1. Roofline: Eagle Roofing Products #3723 Adobe Blend
2. Stucco: A. Omega Stucco #12 Birch White
3. Wood Fascial Barge: Dunn Edwards Paint #DE6119 Neutral Valley
Stucco of Foam Trim
Garage Door:
4. Shutters/ Entry Doors: Dunn Edwards Paint #DE6091 Red Hook

Encore

County of Riverside, CA
Revised Tentative Tract Map No. 30966 R1
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PEKAREK-CRANDELL, Inc.
architecture - planning
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San Juan Capistrano, CA 92675
949/487-2320
949/487-2321
9-26-13
#12-26
Sheet A-18

TREES	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	QTY	REMARKS
	ACACIA ANEURA	MULGA	24" BOX	02 LOW	68	
	ACACIA SMALLII	SWEET ACACIA	24" BOX	02 LOW	9	
	ACACIA STENOPHYLLA	SHOESTRING ACACIA	24" BOX	02 LOW	20	
	CAESALPINIA CACALACO 'SMOOTHIE' TM	CASCALOTE	24" BOX		4	
	CHILOPSIS LINARIS 'LUCRETIA HAMILTON' TM	DESERT WILLOW	24" BOX		52	
	COTINUS COGCGYRIA	SMOKE TREE	15 GAL		32	
	PARKINSONIA X 'DESERT MUSEUM'	DESERT MUSEUM PALO VERDE	24" BOX	02 LOW	108	
	PTHECELLOBIUM FLEXI PTHECELLOBIUM FLEXICAULE	TEXAS EBONY	24" BOX	02 LOW	14	
PALM TREES	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	QTY	REMARKS
	WASHINGTONIA FILIFERA	CALIFORNIA FAN PALM	15 GAL		35	
SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	QTY	REMARKS
AAV	AGAVE AMERICANA 'VARECATA'	VAREGATED CENTURY PLANT	15 GAL	LOW 0.2	10	15 GAL
AG	AGAVE GEMINIFLORA	CENTURY PLANT	5 GAL		52	
CCC	CARISSA MACROCARPA 'GREEN CARPET'	GREEN CARPET NATAL PLUM	1 GAL		108	
CA	CASSIA ARTEMISIOIDES	FEATHERY CASSIA	5 GAL		123	
CHM	CHRYSANTHUM MEXICANA	DAMIANITA	1 GAL		21	
ERW	EREMOPHILA MACULATA 'WINTER GOLD'	SPOTTED EMU BUSH	5 GAL		60	
FS	FOUQUIERIA SPLENDENS	OCOTILLO	10 CANE MIN. 5 FT MIN		15	
FM	FURCRAEA MACDOUGALI	FALSE AGAVE	5 GAL		16	
HP	HESPERALOE PARVIFLORA	RED YUCCA	5 GAL		50	
LNS	LANTANA X 'NEW GOLD'	NEW GOLD LANTANA	1 GAL		186	
LAR	LARREA TRIDENTATA	CREOSOTE BUSH	5 GAL		61	
LFL	LEUCOPHYLLUM LAEVIGATUM	CHIHUAHUA SAGE	5 GAL		58	
LFT	LEUCOPHYLLUM LANGMANIAE 'RIO BRAVO' TM	BARTIMETERBUSH	5 GAL		41	
MRN	MULLENBERGIA RIGENS	DEER GRASS	1 GAL		219	
NOL	NOLINA VELSONI	SANTA RITA PRICKLY PEAR	5 GAL		81	
OP	OPUNTIA SANTA RITA	FIRECRACKER PLANT	5 GAL		109	
RUQ	RUSSELLIA EQUESETIFORMIS	MEXICAN BUSH SAGE	5 GAL		17	
SAL	SALVIA LEUCANTHA	ORANGE YELLOW BELLS	5 GAL		15	
TC	TECOMA X 'SOLAR FLARE'	SOFT LEAF YUCCA	5 GAL		8	
YP	YUCCA PENDULA	HARDY HUMMINGBIRD TRUMPET	5 GAL		33	15 GAL
ZAU	ZAUSCHNERIA ARIZONICA		5 GAL		50	
VINES/PALIER	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	QTY	REMARKS
BBK	BOUGAINVILLEA X 'BARBARA KIRST'	BARBARA KIRST BOUGAINVILLEA	5 GAL		29	
BBW	BOUGAINVILLEA X 'DOUBLE WHITE'	DOUBLE WHITE BOUGAINVILLEA	5 GAL		25	WIRE TO WALL

Landscape Narrative

The plant palette focuses on water efficient, lower maintenance plant species utilizing large scale canopy trees for structure and large areas of cobbles and gravel of varying colors and textures to add interest in non-planted areas. This is based on a modified plant palette that incorporates some standard native species such as Creosote bush and hybridized cultivars that bring to light the best of the species without their drawbacks. Some cultivars specifically selected for this reason are Desert Willow, and Thornless Texas Honey Mesquite.

The theme planting starts in the perimeter pathways along 40th Ave. and Adams St. 40th Ave. will feature 6' tall perimeter walls atop 2' mounding. Low level plantings and larger scale trees and shrubs will provide a visual screen from surrounding auto center. The large scale trees proposed for use along Gerald Ford Drive are Sweet Acacia and Desert Museum Palo Verde and Chastie tree. Smaller scale accents will be Texas Ebony and Cascalote with groves of Shoestring Acacia providing vertical/visual interest. While the use of water efficient "native" species is of primary concern, of equal importance is to provide a unique interest in the community by introducing plants like Rogers Red California Grape, Eremophila 'Winter Gold' and Aiscentaurus 'Mexican Flame' to provide seasonal interest with change in leaf color for fall or a burst of a bloom in spring. The emphasis on a desert landscape that has "seasonality" is encouraged.

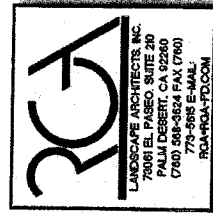
This theme carries through to the interior streets and front yard plantings with shade trees in front yards being proposed as Tipu trees and small scale accents of Desert Willow and Texas Ebony. Large areas of accent cobbles and boulders offset planted areas. The use of cobbles and boulders provide a basic structure and texture to the plantings in times when some species may be drought or cold deciduous or "not at their peak" appearance. Plantings that rely specifically on true natives and/or reflect a seasonal approach to the plantings may result in a less than attractive hardscape during off peak times. At Encore, this will be avoided by the use of cobbles and boulders as well as some non-native cultivars that exhibit more evergreen characteristics.

Special areas like the main entry, community center, Dog Park and prominent street corners are accented by varied Palm clusters of Hybrid Mexican and California Fan Palms with cobbles and low level shrubs and groundcovers to maintain sight lines. This was done to provide visual exclamation points throughout the community. The strong vertical accents of the Palms will not only create a visual accent but will also be reflective of the native Fan Palms found in oases throughout the Coachella Valley.

There are several existing desert conditions bordering Encore. Existing native plant material along the wash should be preserved if possible and accented with new native plantings along trails and planned landscape amenities. The wash will be a place for residents to walk and enjoy a "natural desert" landscape.

Large park/activity areas at the southeast corner of the site are dedicated to a community center with lap pool and garden environment, a grassy dog park, and extensive trails through native desert gardens. A children's play area may be incorporated near the community center or dog park.

The planting theme for front yards will not feature unusable "token" lawn areas. The plant palette remains the same through the project, using drought tolerant and native species wherever possible. Multiple small tree species will be used to supplement the major street trees to create an informal feel. Interest in the front yards will be provided by mounding where appropriate. Said mounds will include boulder accents to mimic the perimeter areas. Shrub and groundcover plantings shall follow suit with the intent to create a cohesive whole to the project while allowing the individual homes to have a subtle separate identity of their own.



ENCORE

Cultivars Inc.

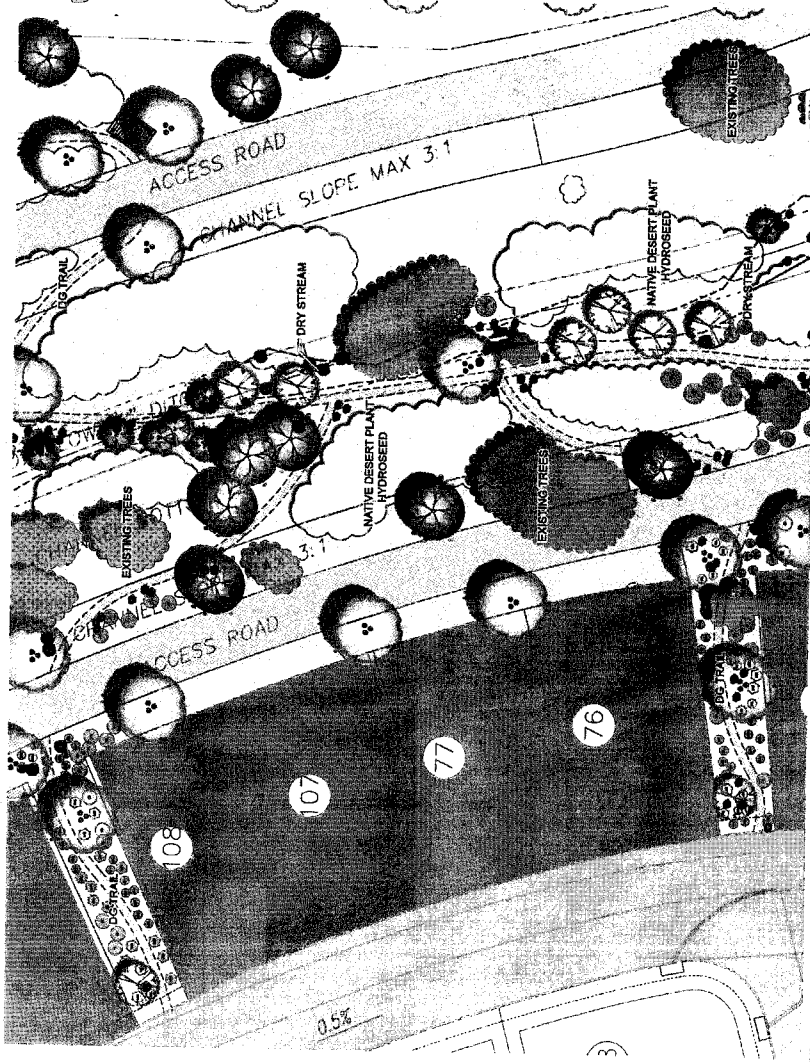
PLANT PALETTE AND NARRATIVE

County of Riverside, CA

Tentative Tract Map No. 30966 RI

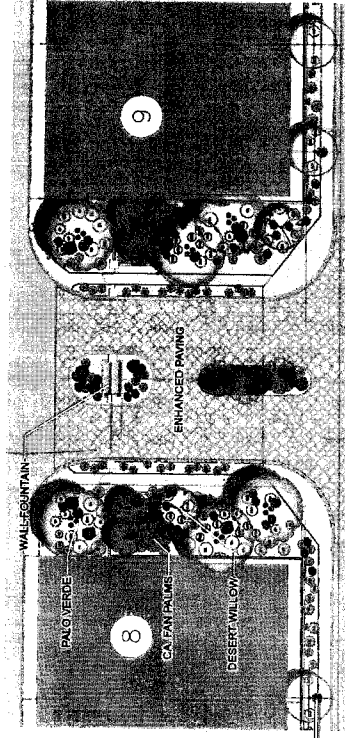
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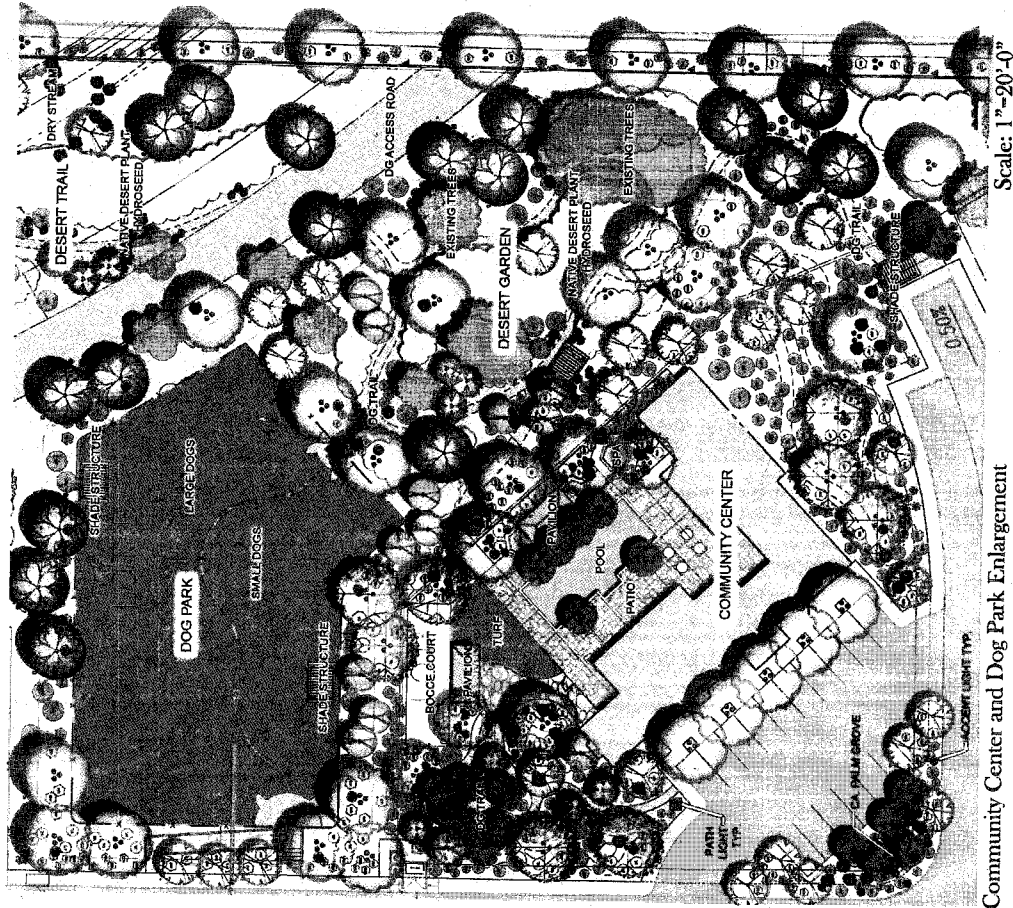
Flood Channel/Trail System Enlargement

Scale: 1"=20'-0"



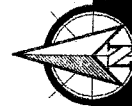
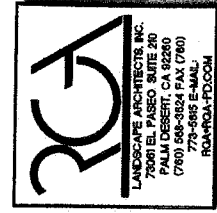
Main Entry Enlargement

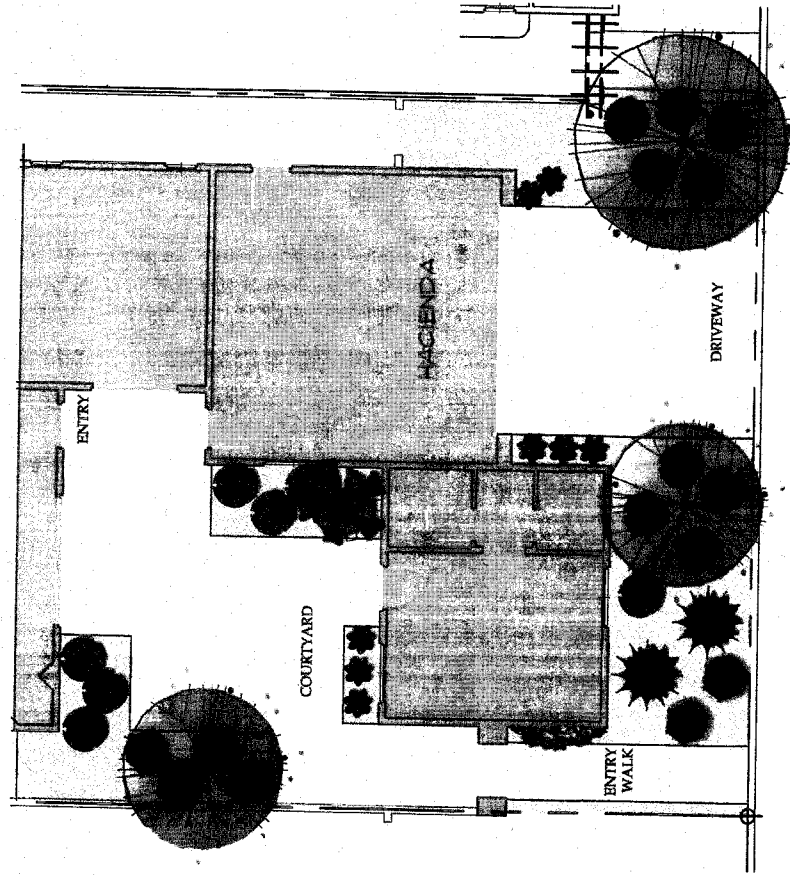
Scale: 1"=20'-0"



Community Center and Dog Park Enlargement

Scale: 1"=20'-0"





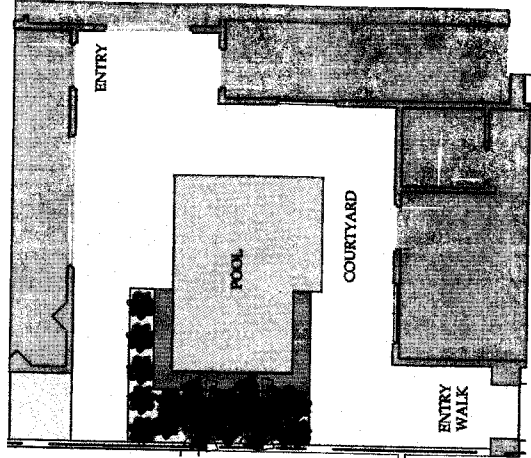
PALM #2
HACIENDA STYLE

TYPICAL PLANT LEGEND/ FRONT YARD AND COURTYARD

1. MEXICAN LIME TREE
2. ACACIA
3. CAESALPYNIA
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RECOMMENDED PLANT NOTE

ALL PLANTS SHOWN ARE TO BE PLANTED IN THE FRONT YARD AND COURTYARD. PLANTS SHOWN IN THE FRONT YARD ARE TO BE PLANTED IN THE FRONT YARD. PLANTS SHOWN IN THE COURTYARD ARE TO BE PLANTED IN THE COURTYARD.



COURTYARD
W/ POOL OPTION

TYPICAL PLANT LEGEND/ COURTYARD W/ POOL OPTION

1. MEXICAN LIME TREE
2. ACACIA
3. CAESALPYNIA
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RECOMMENDED PLANT NOTE

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RCA
LANDSCAPE ARCHITECTS INC.
7000 EL PASO, SUITE 200
PALM BEACH, FL 33480
(704) 998-3824 FAX (704)
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RCA@RCA-FL.COM

ENCORE
Cabrillo Inc.

TYPICAL FRONT YARD COURTYARD
LANDSCAPE PLAN

City of Riverside, CA
Tract Map No. 30966 RI
8-280-006 & 748-280-009

L-5

TREES



ACACIA SMALLI / SWEET ACACIA



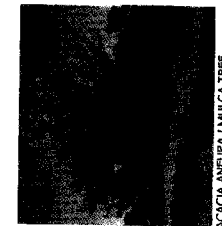
CERCIDILUM X. DESERT MUSEUM



RHUS LAURINA / LAUREL SUMAC



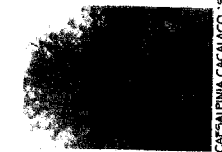
TIPUANA TIPU / TIPU TREE



ACACIA ANEURA / MILUGA TREE



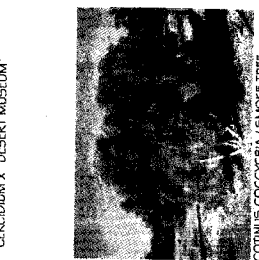
ACACIA STENOPHYLLA / SHOESTRING ACACIA



CAESALPINIA CACAUAGO / SMOOTHIE



CHILOPSIS LINEARIS HYBRIDS / DESERT WILLOW



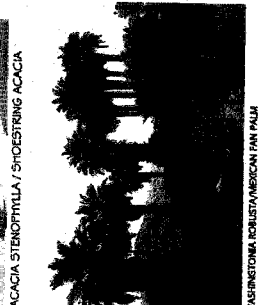
COTINUS COGGYGRIA / SMOKE TREE



PHYCOCLOBIUM FIDICUALE / TEXAS EROXY



CHAMACROPS HUMILIS / MEDITERRANEAN FAN PALM



WASHINGTONIA ROBERTSONIANA FAN PALM



WASHINGTONIA ROBERTSONIANA FAN PALM

ACCENTS



AGAVE AMERICANA / CENTURY PLANT



AGAVE AMERICANA 'VARIEGATA' / VARIEGATED CENTURY PLANT



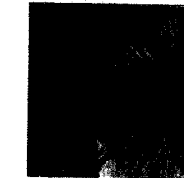
DASYLIRION WHITNEYI / GREY DESERT SPOON / GREEN



FOUQUIERIA SPLENDENS / OCOTILLO



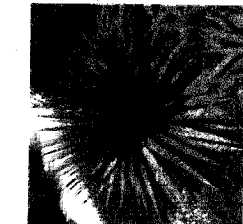
FURCRAEAE MACDOUGALLI / FALSE AGAVE



NOLINA NELSONI



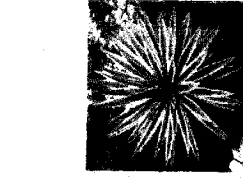
OPUNTIA SANTA-RITA / SANTA RITA PRICKLY PEAR



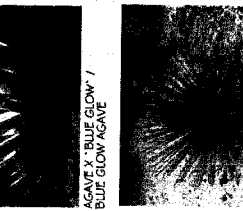
YUCCA PENDULA / SOFT LEAF YUCCA



ALOE DAWESII / ALOE



ALOE ANGUSTIFOLIA / CENTURY PLANT



AGAVE X 'BLUE GLOW' / BLUE GLOW AGAVE



AGAVE PARRYI / PARRY'S AGAVE



ALOE BARBADENSIS / BARBADOS ALOE



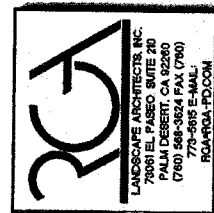
PEROCACTUS ACANTHODORS / COMPASS BARREL



PEROCACTUS WISLIZENI / FISH HOOK BARREL CACTUS



ALOE PARVIFLORA / RED YUCCA



ENCORE

Gibbult us, Inc

TREE AND ACCENT IMAGES

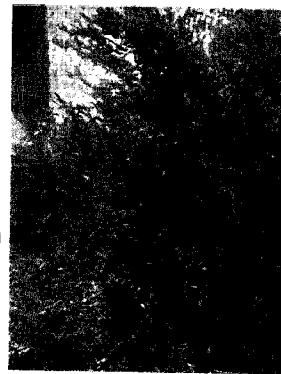
County of Riverside, CA

Final Tentative Tract Map No. 30966 RI

748-280-006 & 748-280-009

L-7

SHRUBS



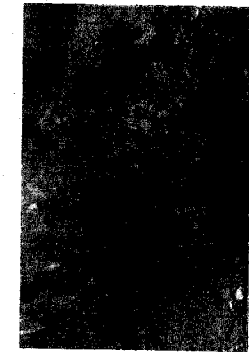
ARGENTAEUS GLABRATUS (WITCH) B. DESERT FOLIAGE



CASSIA ANTIDOTARIA / FRUITING CASIA



SEMOTHA MACULATA / WHITE GOLD / SPOTTED DAB DUSH



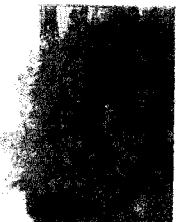
LARPA FRONCHIA / DECIDUOUS BUSH



LEUCOPHYLLUM LINDLEYANUM / CHRISTIANITY BAGE



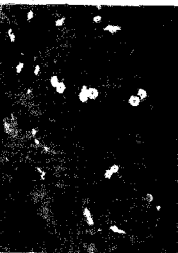
LEUCOPHYLLUM LINDLEYANUM / ROSE DAB / DABOCHETROUGH



LEUCOPHYLLUM LINDLEYANUM / ORANGE TIGER DAB



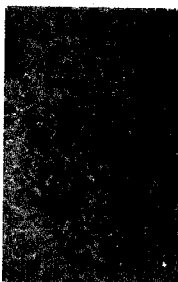
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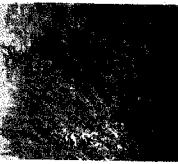
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LEUCOPHYLLUM LINDLEYANUM / ORANGE TIGER DAB



LEUCOPHYLLUM LINDLEYANUM / ORANGE TIGER DAB



LEUCOPHYLLUM LINDLEYANUM / ORANGE TIGER DAB



LEUCOPHYLLUM LINDLEYANUM / ORANGE TIGER DAB

GRASSES



MONOTECOPHIA UNICOLORIS / LK / AUTUMN GLOW LK



MONOTECOPHIA UNICOLORIS / LK / AUTUMN GLOW LK



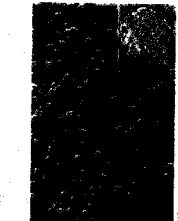
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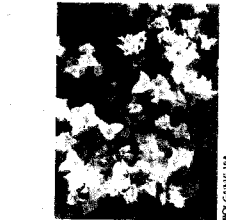


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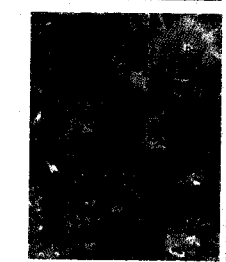
VINES



MONOTECOPHIA UNICOLORIS / LK / AUTUMN GLOW LK



MONOTECOPHIA UNICOLORIS / LK / AUTUMN GLOW LK



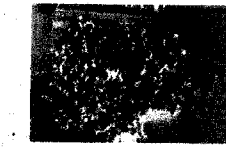
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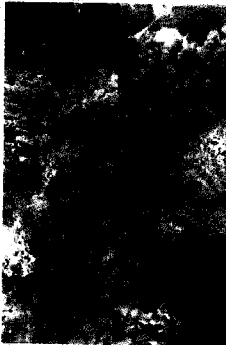
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GROUNDCOVERS



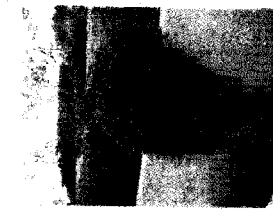
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MONOTECOPHIA UNICOLORIS / LK / AUTUMN GLOW LK

RCA
 LANDSCAPE ARCHITECTS, INC.
 7000 EL PASO, SUITE 200
 PALM DESERT, CA 92260
 (760) 868-3824 FAX (760)
 775-566 E-MAIL
 RCM@RCA-PA.COM

ENCORE

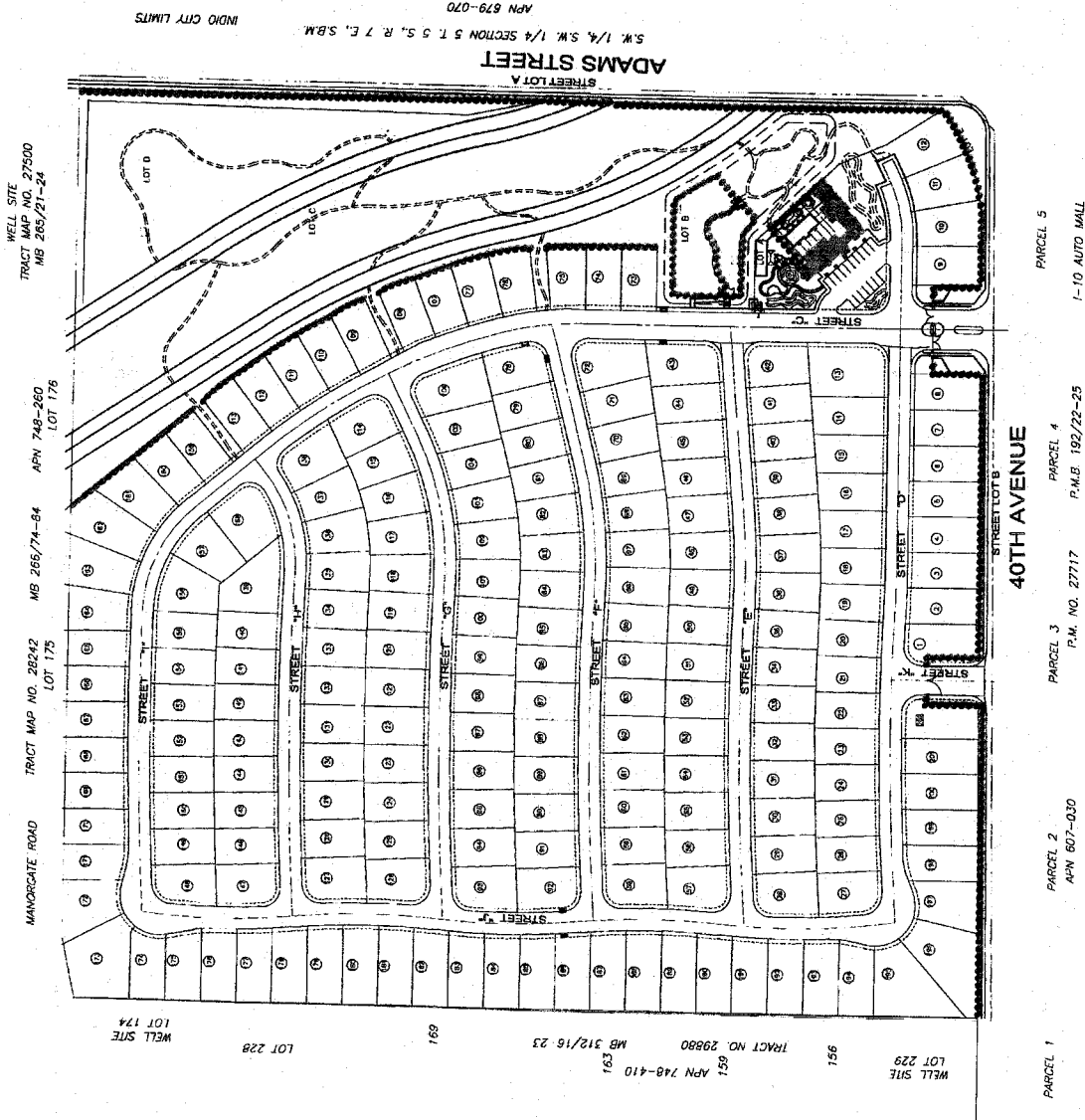
Gibrell us, Inc

PLANT IMAGES

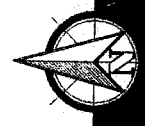
County of Riverside, CA
 Encore Tract Map No. 30966 RI

N. 7748-280-006 & 748-280-009

L-8



Scale: 1"=80'-0"



ENCORE

Consulting, Inc.

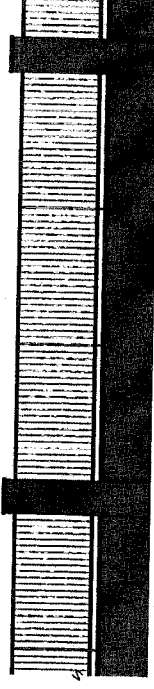
WALL & FENCE PLAN

County of Riverside, CA

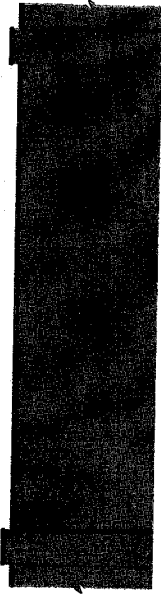
Tract Map No. 30966 RI

APN 7748-280-006 & 748-280-009

L-10



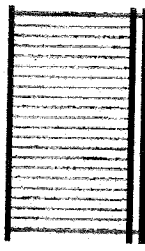
24' Ht. Slump Block Wall With 36" View Fence Panels and Pilasters at 50" On Center.



6' Ht. Slump Block Wall with Slump Block Cap with Pilasters at Property Lines set on 24" berm. Property walls at lots to be 5' Slump Stone with Slump Stone Cap



Slump Block Wall Character Image

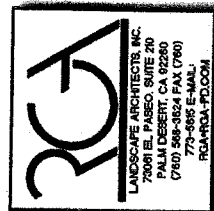


6' Ht. View Fence



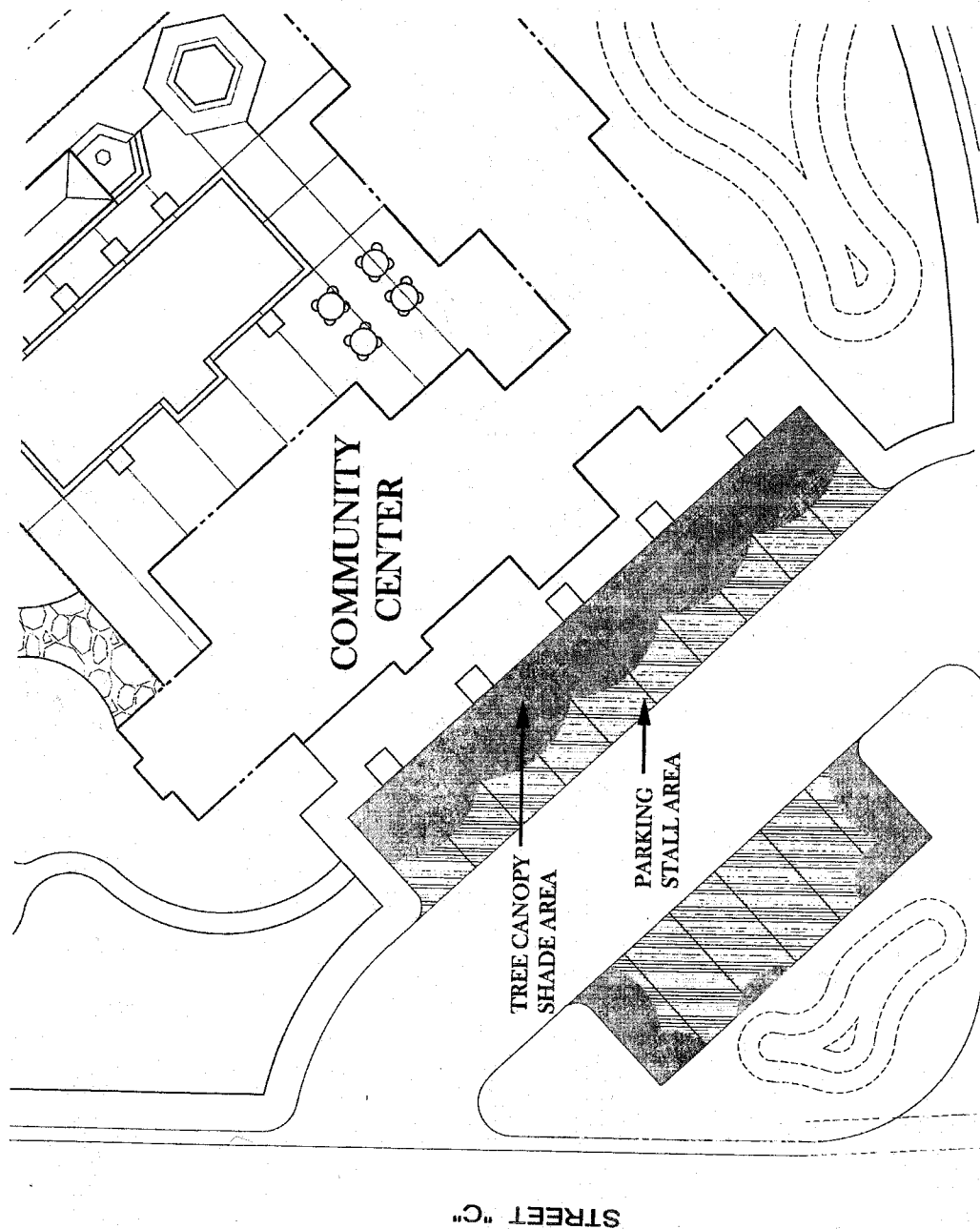
Fence Character Image

RCA
 LANDSCAPE ARCHITECTS INC.
 73061 EL PASO BLVD. SUITE 200
 PALM DESERT, CA 92260
 (760) 568-3824 FAX (760) 773-6665 E-MAIL: RCA@RCA-PC.COM



L-11

County of Riverside, CA
 Enclosure Tract Map No. 30966 R1
 748-280-006 & 748-280-009



SHADING

TOTAL PARKING STALL SQUARE FOOTAGE	2,504.59 SF
TOTAL TREE CANOPY SHADED SQUARE FOOTAGE	1,300.90 SF
PERCENTAGE OF SHADING PROVIDED AT MATURE SIZE	51.94%

Scale: 1/8" = 1'-0"

ENCORE

SHADING PLAN

Gilbert Associates, Inc.

COUNTY OF RIVERSIDE

ENVIRONMENTAL ASSESSMENT FORM: INITIAL STUDY

Environmental Assessment (E.A.) Number: 42587
Project Case Type (s) and Number(s): Tentative Tract Map No. 30966, Revised Map No. 1
Lead Agency Name: County of Riverside Planning Department
Address: P.O. Box 1409, Riverside, CA 92502-1409
Contact Person: Jay T. Olivas, Urban Regional Planner IV
Telephone Number: (951) 955-1195
Applicant's Name: Encore Homes, LLC
Applicant's Address: 73111 El Paseo Drive, Ste. 205, Palm Desert, CA 92260

I. PROJECT INFORMATION

A. Project Description: Tentative Tract Map No. 30966, Revised Map No. 1 proposes to subdivide 40.19 gross acres into 202 residential lots (Schedule A) as a Senior Citizen Planned Residential Development (PRD). The PRD consists of lot sizes ranging from approximately 3,500 square feet to 10,500 square feet with detached single-family residential units ranging in size from approximately 1,657 square feet to 1,903 square feet at maximum heights of 18 feet (single-story). The PRD also includes a 3,221 square foot community center building with pool at a maximum height of 18 feet, a detention basin/dog park, a drainage channel, and common area landscaping. Project grading consists of approximately 130,486 cubic yards of cut and 107,827 cubic yards of fill, 16,174 cubic yards of shrinkage and approximately 6,485 cubic yards of subsidence. The site grading will be balanced.

B. Type of Project: Site Specific ☒; Countywide ☐; Community ☐; Policy ☐.

C. Total Project Area: 40.19 acres

Residential Acres: 34	Lots: 202	Units:	Projected No. of Residents: 404
Commercial Acres: 0	Lots: 0	Sq. Ft. of Bldg. Area: 0	Est. No. of Employees: 0
Industrial Acres: 0	Lots: 0	Sq. Ft. of Bldg. Area: 0	Est. No. of Employees: 0
Other: Drainage Channel 6 acres			

D. Assessor's Parcel No(s): 748-280-008 and 748-280-009

E. Street References: Northerly of Interstate 10 and 40th Avenue, southerly of Manorgate Road, easterly of Somerset Avenue and westerly of Adams Street.

F. Section, Township & Range Description or reference/attach a Legal Description: Section 6, Township 5 South, Range 7 East SBBM.

G. Brief description of the existing environmental setting of the project site and its surroundings: The project site is located within the Western Coachella Valley Area Plan (WCVAP) of Eastern Riverside County. The site is currently vacant and has been somewhat disturbed by off-road vehicles and construction activities on nearby or adjacent properties. Some debris and refuse are scattered across the site including chunks of broken concrete and asphalt. Site elevation is relatively flat and gently slopes in a northwesterly to southeasterly direction. Vegetation on the site consists primarily of tumbleweeds, creosote bushes, brittle brush, cedar salt and other small desert grasses and shrubs. Surrounding land uses include single-family residential to the north and west as part of the Sun City Del Webb Specific Plan

(SP281), an auto mall and Interstate 10 to the south and vacant land, single-family residential and the City of Indio to the east.

II. APPLICABLE GENERAL PLAN AND ZONING REGULATIONS

A. General Plan Elements/Policies:

- 1. Land Use:** The project site is located in the WCVAP of the Riverside County General Plan and the land use designation for the proposed project is Community Development: Medium High Density Residential (CD:MHDR) (5-8 Dwelling Units Per Acre). The project proposes a Schedule A subdivision of 40.19 gross acres into 202 single-family lots with Planned Residential Development (PRD) for seniors. The proposed project meets the requirements of the Community Development land use designation and shall be consistent with all other land use policies of the General Plan. A small portion (5.95 acres) of the project site is designated Open Space - Water (OS-W). No habitable structures are proposed within this area.
- 2. Circulation:** The proposed subdivision has been reviewed for conformance with County Ordinance 461 by the Riverside County Transportation Department. The project will add overall trips to the area. Adequate circulation facilities exist and are proposed to serve the proposed subdivision. The proposed project meets with all other applicable circulation policies of the General Plan.
- 3. Multipurpose Open Space:** The proposed project includes the development of multipurpose open space areas and a desert trail system within the site. Riverside County Regional Park and Open-Space District has reviewed and approved the proposed project and the project has been conditioned to comply with the requirements of the Desert Recreation District through the payment of parks and recreation fees and/or dedication of land. The project will be subject to the Coachella Valley Multiple Species Habitat Conservation Plan (CVMSHCP) fees. The proposed project meets all other applicable Multi-purpose Open Space element policies.
- 4. Safety:** The project area is susceptible to shallow flooding and is designated Zone A (depth one-foot) & C on the Federal Flood Insurance rate maps. The site accepts the 100-year storm event regional discharge from adjacent development and is located within a moderate liquefaction zone and susceptible to subsidence. The project site is located within Airport Compatibility Zones B1, C and D of the Bermuda Dunes Airport Influence Area. The proposed project has been reviewed and conditioned by the Airport Land Use Commission to address potential impacts. The project area is not located in any other special hazard zone (including fault zone, high fire hazard zone, dam inundation zone, etc.). The proposed project has allowed for sufficient provision of emergency response services to the future residents of the project. The proposed project meets with all other applicable Safety element policies.
- 5. Noise:** The project site is located within Airport Compatibility Zones B1, C and D of the Bermuda Dunes Airport Influence Area, which impacts the site with noise of 60 CNEL or less and has been reviewed and conditioned by the Airport Land Use Commission and Environmental Health Department, Office of Industrial Hygiene. Sufficient mitigation against any foreseeable noise impacts have been incorporated into the design of the subdivision. The proposed subdivision meets all other applicable Noise element policies.

6. **Housing:** The project proposes a Schedule A subdivision of 40.19 gross acres into 202 single-family lots with Planned Residential Development (PRD) for seniors. The proposed subdivision could potentially induce population growth in the area either directly (e.g., by proposing new homes) or indirectly (e.g., through extension of roads or other infrastructure); however, the project meets the requirements of the Community Development Land Use designation of the General Plan. The proposed project meets all applicable Housing element policies.

7. **Air Quality:** The proposed project has been conditioned to control any fugitive dust during grading and construction activities. The proposed project meets all other applicable Air Quality Element policies.

B. **General Plan Area Plan(s):** Western Coachella Valley

C. **Foundation Component(s):** Community Development, Open Space

D. **Land Use Designation(s):** Medium High Density Residential (MHDR) (5-8 Dwelling Units Per Acre), Open Space - Water (OS-W)

E. **Overlay(s), if any:** N/A

F. **Policy Area(s), if any:** N/A

G. **Adjacent and Surrounding:**

1. **Area Plan(s):** Western Coachella Valley

2. **Foundation Component(s):** Community Development (CD), Open Space (OS)

3. **Land Use Designation(s):** Medium Density Residential (MDR), Medium High Density Residential (MHDR), Commercial Retail (CR), Open Space - Recreation (OS-R), Open Space - Conservation Habitat (OS-CH), Light Industrial (LI), City of Indio and Interstate 10.

4. **Overlay(s), if any:** N/A

5. **Policy Area(s), if any:** N/A

H. **Adopted Specific Plan Information**

1. **Name and Number of Specific Plan, if any:** N/A

2. **Specific Plan Planning Area, and Policies, if any:** N/A

I. **Existing Zoning:** Planned Residential (R-4), Watercourse, Watershed & Conservation Areas (W-1)

J. **Proposed Zoning, if any:** N/A

K. **Adjacent and Surrounding Zoning:** Specific Plan (SP) is located to the north; Scenic Highway Commercial (C-P-S), Industrial Park (I-P), One-Family Dwelling - 12,000 Square Foot Minimum (R-1-12,000), City of Indio and Interstate 10 are located to the south; City of Indio is located to the east; and Specific Plan (SP) and General Commercial (C-1/C-P) are located to the west.

III. ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED

The environmental factors checked below (x) would be potentially affected by this project, involving at least one impact that is a "Potentially Significant Impact" or "Less than Significant with Mitigation Incorporated" as indicated by the checklist on the following pages.

- | | | |
|---|---|--|
| <input checked="" type="checkbox"/> Aesthetics | <input checked="" type="checkbox"/> Hazards & Hazardous Materials | <input type="checkbox"/> Recreation |
| <input type="checkbox"/> Agriculture & Forest Resources | <input checked="" type="checkbox"/> Hydrology / Water Quality | <input checked="" type="checkbox"/> Transportation / Traffic |
| <input checked="" type="checkbox"/> Air Quality | <input type="checkbox"/> Land Use / Planning | <input type="checkbox"/> Utilities / Service Systems |
| <input type="checkbox"/> Biological Resources | <input type="checkbox"/> Mineral Resources | <input type="checkbox"/> Other: |
| <input type="checkbox"/> Cultural Resources | <input checked="" type="checkbox"/> Noise | <input type="checkbox"/> Other: |
| <input type="checkbox"/> Geology / Soils | <input type="checkbox"/> Population / Housing | <input type="checkbox"/> Mandatory Findings of Significance |
| <input type="checkbox"/> Greenhouse Gas Emissions | <input type="checkbox"/> Public Services | |

IV. DETERMINATION

On the basis of this initial evaluation:

A PREVIOUS ENVIRONMENTAL IMPACT REPORT/NEGATIVE DECLARATION WAS NOT PREPARED

☐ I find that the proposed project **COULD NOT** have a significant effect on the environment, and a **NEGATIVE DECLARATION** will be prepared.

☒ I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because revisions in the project, described in this document, have been made or agreed to by the project proponent. **A MITIGATED NEGATIVE DECLARATION** will be prepared.

☐ I find that the proposed project **MAY** have a significant effect on the environment, and an **ENVIRONMENTAL IMPACT REPORT** is required.

A PREVIOUS ENVIRONMENTAL IMPACT REPORT/NEGATIVE DECLARATION WAS PREPARED

☐ I find that although the proposed project could have a significant effect on the environment, **NO NEW ENVIRONMENTAL DOCUMENTATION IS REQUIRED** because (a) all potentially significant effects of the proposed project have been adequately analyzed in an earlier EIR or Negative Declaration pursuant to applicable legal standards, (b) all potentially significant effects of the proposed project have been avoided or mitigated pursuant to that earlier EIR or Negative Declaration, (c) the proposed project will not result in any new significant environmental effects not identified in the earlier EIR or Negative Declaration, (d) the proposed project will not substantially increase the severity of the environmental effects identified in the earlier EIR or Negative Declaration, (e) no considerably different mitigation measures have been identified and (f) no mitigation measures found infeasible have become feasible.

☐ I find that although all potentially significant effects have been adequately analyzed in an earlier EIR or Negative Declaration pursuant to applicable legal standards, some changes or additions are necessary but none of the conditions described in California Code of Regulations, Section 15162 exist. An **ADDENDUM** to a previously-certified EIR or Negative Declaration has been prepared and will be considered by the approving body or bodies.

☐ I find that at least one of the conditions described in California Code of Regulations, Section 15162 exist, but I further find that only minor additions or changes are necessary to make the previous EIR adequately apply to the project in the changed situation; therefore a **SUPPLEMENT TO THE ENVIRONMENTAL IMPACT REPORT** is required that need only contain the information necessary to make the previous EIR adequate for the project as revised.

☐ I find that at least one of the following conditions described in California Code of Regulations, Section 15162, exist and a **SUBSEQUENT ENVIRONMENTAL IMPACT REPORT** is required: (1)

Substantial changes are proposed in the project which will require major revisions of the previous EIR or negative declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; (2) Substantial changes have occurred with respect to the circumstances under which the project is undertaken which will require major revisions of the previous EIR or negative declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; or (3) New information of substantial importance, which was not known and could not have been known with the exercise of reasonable diligence at the time the previous EIR was certified as complete or the negative declaration was adopted, shows any the following: (A) The project will have one or more significant effects not discussed in the previous EIR or negative declaration; (B) Significant effects previously examined will be substantially more severe than shown in the previous EIR or negative declaration; (C) Mitigation measures or alternatives previously found not to be feasible would in fact be feasible, and would substantially reduce one or more significant effects of the project, but the project proponents decline to adopt the mitigation measures or alternatives; or, (D) Mitigation measures or alternatives which are considerably different from those analyzed in the previous EIR or negative declaration would substantially reduce one or more significant effects of the project on the environment, but the project proponents decline to adopt the mitigation measures or alternatives.


Signature

November 4, 2013

Date

Jay Olivas, Project Planner

Printed Name

For Carolyn Syms Luna, Director

V. ENVIRONMENTAL ISSUES ASSESSMENT

In accordance with the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000-21178.1), this Initial Study has been prepared to analyze the proposed project to determine any potential significant impacts upon the environment that would result from construction and implementation of the project. In accordance with California Code of Regulations, Section 15063, this Initial Study is a preliminary analysis prepared by the Lead Agency, the County of Riverside, in consultation with other jurisdictional agencies, to determine whether a Negative Declaration, Mitigated Negative Declaration, or an Environmental Impact Report is required for the proposed project. The purpose of this Initial Study is to inform the decision-makers, affected agencies, and the public of potential environmental impacts associated with the implementation of the proposed project.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
AESTHETICS Would the project				
1. Scenic Resources				
a) Have a substantial effect upon a scenic highway corridor within which it is located?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings and unique or landmark features; obstruct any prominent scenic vista or view open to the public; or result in the creation of an aesthetically offensive site open to public view?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan Figure C-9 "Scenic Highways"

Findings of Fact: a) The project site is located within 500 feet of Interstate 10 which is a designated Scenic Highway Corridor per Figure 9 of the WCVAP. However, an auto mall is located between the project site and Interstate 10. Additionally, development review of proposed projects located along major highways and scenic corridors include architecture, landscaping, setbacks, trash enclosures and placement of utilities underground. Aesthetics and visual impacts would be mitigated by required block walls, landscaping and residential building building design, see Conditions of Approval such as 80.Planning.7, 80.Planning.9, and 90.Planning.1 which require that walls/fencing, model homes and landscaping plans be submitted for review.

b) The California Desert is a recreational resort area attracting substantial numbers of tourists and travelers. Desert area residents in the past have expressed concerns regarding obstructions of scenic vistas or views open to the public, including views of surrounding mountains. No landmark or unique features are associated with this project. Billboards and other outdoor advertising signs are prohibited in Coachella Valley. The size, height and type of on-site advertising signs shall be the minimum necessary for identification and shall be approved pursuant to Riverside County Ordinance No. 348 standards, see Conditions of Approval 80.Planning.8 which requires that an identification sign plan be submitted for review. Overhead electric and communication lines shall be placed underground pursuant to ordinance standards and conditions of approval unless the providing utility determines such under grounding is infeasible.

The project shall be required to conform to appropriate property maintenance standards as provided for through the project's declaration of covenants, conditions and restrictions and/or property owners' association. Construction related rubbish and debris shall be removed as provided by Section 1(F) of Ordinance No. 457. Flow through lots on easterly side of development and all retention basins will require landscaping.

Mitigation: Compliance with conditions of approval on file in the LMS, including 80.Planning.7-Walls/Fencing Plot Plan, 80.Planning.8-Entry Monument Plot Plan, 80.Planning.9-Model Home Complex and 90.Planning.1-Block Wall Antigraffiti.

Monitoring: Monitoring shall be provided by the Planning Department and Building and Safety Department through Ordinance No. 348 and 457.

2. Mt. Palomar Observatory

a) Interfere with the nighttime use of the Mt. Palomar Observatory, as protected through Riverside County Ordinance No. 655?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Source: GIS database, Ord. No. 655 (Regulating Light Pollution)

Findings of Fact: a) The project site is located approximately 43 miles away from the Mt. Palomar Observatory and, therefore, within the designated ZONE B Special Lighting Area that surrounds the Mt. Palomar Observatory. Ordinance No. 655 contains approved materials and methods of installation, definition, general requirements, requirements for lamp source and shielding, prohibition and exceptions. With the incorporation of project lighting requirements of Riverside County Ordinance No. 655 into the proposed project, this impact will be reduced to a less than significant impact. A note will be made on the Environmental Constraints Sheet that the properties are located within Zone B of County Ordinance 655 and are subject to outdoor lighting restrictions, see condition of approval 50.Planning.11-Mt. Palomar Lighting.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring is required.

3. Other Lighting Issues

a) Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
--------------------------	--------------------------	-------------------------------------	--------------------------

b) Expose residential property to unacceptable light levels?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Source: On-site Inspection, Project Application Description

Findings of Fact: a-b) As identified under 2. Mt. Palomar Observatory, Riverside County Ordinance No. 655 is applicable to the project area. Therefore, the project, as well as surrounding land use developments, must comply with Ordinance No. 655 standards, including, but not limited to Low-Pressure Sodium Voltage (LPSV) street lights. Pursuant to Ordinance No. 655, the project's, as well as surrounding land use developments', onsite lighting shall be directed downward or shielded and hooded to avoid shining onto adjacent properties and streets. Inclusion of these design features in the project is addressed through standard County conditions of approval, plan checks, permitting procedures, and code enforcement. Potential impacts associated with glare will be reduced to below the level of significance through these standard County practices and procedures.

Therefore, the proposed project would not create a new source of substantial light or glare which would adversely affect day or nighttime views in the area or expose residential property to unacceptable light levels. Impacts would be less than significant. No mitigation measures are required.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Mitigation: No mitigation measures are required.

Monitoring: No monitoring is required.

AGRICULTURE & FOREST RESOURCES Would the project

4. Agriculture

a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland) as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Conflict with existing agricultural zoning, agricultural use or with land subject to a Williamson Act contract or land within a Riverside County Agricultural Preserve?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Cause development of non-agricultural uses within 300 feet of agriculturally zoned property (Ordinance No. 625 "Right-to-Farm")?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure OS-2 "Agricultural Resources," GIS database, and Project Application Materials.

Findings of Fact: a) The project site is not designated as prime, statewide important, unique, or locally important farm land. Therefore, no impacts resulting in the conversion of the project site to non-agricultural use will occur.

b) The project is not located within or adjacent to an agricultural preserve established pursuant to the Williamson Act. Therefore, no impacts resulting from conflict with existing agricultural use will occur.

c) The project is not located within 300 feet of existing agriculturally zoned property, therefore, no impacts will occur.

d) The proposed project is the development of a subdivision that will permit uses consistent with the General Plan Land Use designation for the site and will not affect any agricultural lands in the County. Therefore, no impacts resulting in the conversation of Farmland to non-agricultural use will occur.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring is required.

5. Forest

a) Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code section 12220(g)), timberland (as defined by Public Resources	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------------	--	---------------------------------------	--------------

Code section 4526), or timberland zoned Timberland Production (as defined by Govt. Code section 51104(g))?

b) Result in the loss of forest land or conversion of forest land to non-forest use?

☐
☐
☐
☒

c) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of forest land to non-forest use?

☐
☐
☐
☒

Source: Riverside County General Plan Figure OS-3 "Parks, Forests and Recreation Areas," and Project Application Materials.

Findings of Fact: a-c) The project is not located within, adjacent to, or in the proximity of forest land, timberland or timberland zoned Timberland Production. Therefore, no impacts resulting from conflict with, the rezoning or conversion of such lands will occur.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring is required.

AIR QUALITY Would the project

6. Air Quality Impacts

a) Conflict with or obstruct implementation of the applicable air quality plan?

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b) Violate any air quality standard or contribute substantially to an existing or projected air quality violation?

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c) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors)?

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d) Expose sensitive receptors which are located within 1 mile of the project site to project substantial point source emissions?

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e) Involve the construction of a sensitive receptor located within one mile of an existing substantial point source emitter?

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f) Create objectionable odors affecting a substantial number of people?

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Source: SCAQMD CEQA Air Quality Handbook; Air Quality & Greenhouse Gas Impact Analysis dated April 16, 2013 by Terra Nova Planning & Research, Inc.

Findings of Fact: Appendix G of the current State CEQA Guidelines indicates that a project will significantly impact air quality if the project violates any ambient air quality standards, contributes substantially to an existing air quality violation, or exposes sensitive receptors to substantial pollutant concentrations.

a) The project site is located in the Salton Sea Air Basin (SSAB) and is subject to South Coast Air Quality Management District (SCAQMD) management and regulation. Since the approval of Tract No.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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30966, SCAQMD adopted the Final 2012 Air Quality Management Plan (AQMP) which satisfies the State Implementation Plan requirements of the Clean Air Act. The 2012 AQMP is based on socioeconomic forecasts (including population estimates) provided by the Southern California Association of Governments (SCAG). The General Plan is consistent with SCAG's Regional Growth Management Plan and, therefore, with SCAQMD's Air Quality Management Plan. This project is consistent with the General Plan Land Use designations and population estimates. The proposed project must comply with the provisions of the SCAQMD's Rules and Regulations and the AQMP.

b-c) An Air Quality and Greenhouse Gas Impact Analysis, dated April 16, 2013 was prepared for the project by Terra Nova Planning & Research, Inc. Potential emissions of criteria air pollutants and greenhouse gas emissions were calculated and information from this impact analysis has been incorporated in these findings. The impact analysis also identifies specific mitigation measures that can be used to reduce criteria pollutants and GHG emissions.

The Coachella Valley portion of the SSAB is currently designated "serious" nonattainment by the Environmental Protection Agency (EPA) for ozone (8-hours) and PM10. The 2012 Final AQMP also classifies the SSAB as a Severe-15 ozone non-attainment area for the 2008 8-hour ozone standard (75 ppm). The CARB redesignated the Coachella Valley from serious non-attainment to attainment for PM10 in 2010. A request for federal re-designation as attainment for PM10 in the Coachella Valley is currently pending. The Coachella Valley, including the project site, is defined as unclassifiable/attainment for PM2.5, and does not require a State Implementation Plan to demonstrate attainment.

SCAQMD operates and maintains two air quality monitoring stations within the SSAB, the Indio and Palm Springs stations. Data taken from these two monitoring stations indicate that air quality in the region does not exceed state and federal standards for the following criteria air pollutants: carbon monoxide (CO), nitrogen oxides (NOX), sulfur dioxide (SO2) or lead (Pb).

Project construction will create temporary emissions from various construction activities, including site preparation, grading, building framing and wrapping, paving and application and outgassing of architectural coating. Construction emissions also include off-road equipment usage, on-road vehicle travel from commuting and hauling, and fugitive dust. As indicated in Table 5 of the impact analysis, SCAQMD thresholds for CO, SOX, PM10 and PM2.5 will not be exceeded during construction. However, construction-related NOX and ROG emissions have the potential to exceed thresholds if left unmitigated. Mitigation measures are recommended to reduce criteria pollutant emissions from construction of the proposed project to less than significant levels and shall be incorporated in Conditions of Approval 60.Planning.2-PM10 Mitigation Plan.

Emissions for all criteria pollutants resulting from the occupancy and maintenance of the subdivision are projected to remain below established thresholds and result in less than significant impact to air quality (see Table 6 of the impact analysis).

Construction activities will generate short-term GHG emissions (see Table 7 of the impact analysis). These emissions are temporary and will occur only during project construction and will not substantially affect air quality or interfere with any applicable GHG reduction plan. Therefore, emissions from greenhouse gases from construction of the project will have a less than significant impacts on greenhouse conditions or contribute significantly to climate change. Occupancy and maintenance of the subdivision will result in the emission of greenhouse gases. However, as indicated in Table 8 of the impact analysis, these emissions will not be substantial and

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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will not directly or indirectly result in a significant impact to greenhouse gas levels of climate change, or conflict with any applicable GHG plans, policies or regulation.

Construction of the project shall comply with energy use guidelines in Title 24 CAC and onsite buildings shall be equipped with energy efficient and water conserving appliances and fixtures. Landscaping shall incorporate the use of trees other vegetation to maximize the shading of buildings in order to reduce energy requirements for heating and cooling and provide carbon storage, to reduce heat and act as wind barriers indicated by Condition of Approval 90.Planning:9-Comply with Landscape and Irrigation.

d-e) Sensitive receptors are people or land uses that may be especially subject to respiratory stress and/or significant adverse impacts as a result of exposure to air contaminants. These would include people with cardiovascular and chronic respiratory diseases, children under 14, seniors over 65, and athletes (e.g., schools, hospitals, nursing and retirement homes, etc.). Ozone and particulate matter pose the biggest health threat within the Coachella Valley. Surrounding land uses include residences to the north and west of the project site could be considered a sensitive receptor; however, the project is similar to adjacent residential uses and consistent with the General Plan Land Use designation.

Construction of the proposed project has the potential to exceed criteria pollutant thresholds for NOX and ROG, if left unmitigated. Mitigation measures are recommended to reduce criteria pollutant emissions during construction of the proposed project to less than significant levels (Conditions of Approval 60.Planning.2-PM10 Mitigation Plan). No long-term impacts to air quality will result from the project's operational phase and are considered to be not significant.

f) The proposed project does not contain land uses typically associated with emitting objectionable odors that will affect a substantial number of people. Therefore, odors associated with the proposed project would be less than significant.

Mitigation: Compliance with conditions of approval on file in the LMS, including 60.Planning.2-PM10 Mitigation Plan.

Monitoring: Monitoring shall be provided by the Planning Department and Building and Safety Department through Ordinance No. 348 and 457.

BIOLOGICAL RESOURCES Would the project

7. Wildlife & Vegetation

a) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Conservation Community Plan, or other approved local, regional, or state conservation plan?

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b) Have a substantial adverse effect, either directly or through habitat modifications, on any endangered, or threatened species, as listed in Title 14 of the California Code of Regulations (Sections 670.2 or 670.5) or in Title 50, Code of Federal Regulations (Sections 17.11 or 17.12)?

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c) Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or

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	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
regional plans, policies, or regulations, or by the California Department of Fish and Game or U. S. Wildlife Service?				
d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, and regulations or by the California Department of Fish and Game or U. S. Fish and Wildlife Service?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g) Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: GIS database, WRCMSHCP and/or CVMSHCP, On-site Inspection; Biological Resources Assessment dated June 19, 2013, by AMEC Environmental & Infrastructure

Findings of Fact: a) The project is located in the fee area of the Coachella Valley Multi-Species Habitat Conservation Plan (CVMSHCP); payment of mitigation fees will be pursuant to Ordinance No. 875. The project site does not conflict with the provisions of any of the above adopted Habitat Conservation Plans, Natural Conservation Community Plan, or other approved local, regional, or state conservation plan. Impacts associated with the project are less than significant.

b-c) The Biologists review did not find that the project will have any impact either directly or through habitat modifications on any listed Title 14, Title 50 or US and CA Fish and Wildlife listed species. However, the project is conditioned for Nesting Bird Survey and 30 Day Burrowing Owl Survey as indicated by conditions of approval 60.EPD.1 and 60.EPD.2 prior to grading permit issuance. Impacts would be less than significant.

d) The proposed project will have less than a significant impact on any movement of any native resident or migratory fish or wildlife species or with established native resident migratory wildlife corridors, or impede the use of native wildlife nursery sites. However, the project will have some cumulative impacts to open space and wildlife habitat, and payment of development mitigation fees pursuant to Ordinance No. 659 will off-set any possible cumulative impacts.

e-g) The project has no riparian features or distinctive habitat. The project is not influenced by wildlife and vegetation issues as identified in the RCIP, including wetlands and protected biological resources, and the project does not involve the potential for adverse effect, either individually or cumulatively, on wildlife.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring is required.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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CULTURAL RESOURCES Would the project

8. Historic Resources

a) Alter or destroy an historic site?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Cause a substantial adverse change in the significance of a historical resource as defined in California Code of Regulations, Section 15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: On-site Inspection, Project Application Materials; Cultural Resources Study by CRM TECH dated February/March 2013

Findings of Fact: a-b) A Cultural Resources Study was performed for the project site by CRM TECH during February/March 2013. The study included a historical/archaeological resources records search and examination of maps and records on file at the Eastern Information Center (EIC); review of published local and regional history, the archival records of the U.S. Bureau of Land Management (BLM) and historic maps of the Coachella Valley region; and, correspondence with the Native American Heritage Commission (NAHC) as well as local Native American groups identified by the NAHC as potentially having knowledge of cultural resources in the project area. Additionally, an intensive-level field survey was conducted at the project site on February 20, 2013, on foot, walking parallel east-west transects spaced 10-15 meters apart.

The study found that no historical resources exist within or adjacent to the project area, and thus the project as proposed will not cause a substantial adverse change to any known historical resources and recommended no further cultural resources investigation for the proposed project unless development plans undergo such changes as to include areas not covered by the study. However, recommendations are included that if buried cultural materials are discovered during any earth-moving operations associated with the project, all work in that area should be halted or diverted until a qualified archaeologist could evaluate the nature and significance of the finds.

In the event of an accidental discovery or recognition of any human remains in any location other than a dedicated cemetery, State Health and Safety Code Section 7050.5 state that no further disturbance shall occur until the County Coroner has made the necessary findings as to the origin and disposition pursuant to Public Resources Code Section 5097.98.

Therefore, impacts which would potentially alter or destroy a historic site or cause a substantial adverse change in the significance of a historical resource as defined in California Code of Regulations, Section 15064.5 are less than significant.

Compliance with conditions of approval on file in the LMS, including 10.Planning.13-Inadvertent Archaeological Finds and 10.Planning.14-If Human Remains Found.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring is required.

9. Archaeological Resources

a) Alter or destroy an archaeological site.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Cause a substantial adverse change in the	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
significance of an archaeological resource pursuant to California Code of Regulations, Section 15064.5?				
c) Disturb any human remains, including those interred outside of formal cemeteries?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Restrict existing religious or sacred uses within the potential impact area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Project Application Materials; Cultural Resources Study by CRM TECH dated February/March 2013

Findings of Fact: a-b) A Cultural Resources Study was performed for the project site by CRM TECH during February/March 2013. Based on this study and Archeologists review of the project, no archeological sites are known to exist on or near the site. Therefore, impacts which would potentially alter or destroy an archaeological site or cause a substantial adverse change in the significance of a archaeological resource as defined in California Code of Regulations, Section 15064.5 are less than significant.

c-d) No historic, prehistoric sites or isolated artifacts were detected during the pedestrian survey of the project site. However, the project area has the potential to contained buried cultural resources. Should unanticipated archaeological resources be encountered, work must halt in the immediate vicinity until they can be evaluated by a qualified archaeologist.

In the event of an accidental discovery or recognition of any human remains in any location other than a dedicated cemetery, State Health and Safety Code Section 7050.5 state that no further disturbance shall occur until the County Coroner has made the necessary findings as to the origin and disposition pursuant to Public Resources Code Section 5097.98.

Compliance with conditions of approval on file in the LMS, including 10.Planning.13-Inadvertent Archaeo Finds and 10.Planning.14-If Human Remains Found.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring is required.

10. Paleontological Resources

a) Directly or indirectly destroy a unique paleontological resource, or site, or unique geologic feature?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Source: Riverside County General Plan Figure OS-8 "Paleontological Sensitivity"

Findings of Fact: The project site is located within a low potential for paleontological sensitivity area within the Riverside County. This low probability and project design precludes impacts to paleontological resources. Therefore, impacts to directly or indirectly destroy a unique paleontological resource, or site, or unique geologic feature is less than significant. Compliance shall be required with condition of approval 10.Planning.12 – Low Paleo.

Mitigation: No mitigation measures are required.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Monitoring: No monitoring is required.

GEOLOGY AND SOILS Would the project

11. Alquist-Priolo Earthquake Fault Zone or County Fault Hazard Zones

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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a) Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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b) Be subject to rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault?

Source: Riverside County General Plan Figure S-2 "Earthquake Fault Study Zones," GIS database, Geologist Comments, Preliminary Geotechnical Investigation dated May 2013 by Petra Geotechnical, Inc., aka County Geologic Report No. 2327 (GEO No. 2327)

Findings of Fact: a-b) A geologic/geotechnical investigation report (GEO No. 2327) was prepared for the project site to address geologic hazards within the project area.

The project site is not within an Earthquake Fault-Rupture Hazard Zone (EFRHZ) (formerly an Alquist-Priolo Earthquake Fault Zone) or County of Riverside designated fault zone (RCLIS 2006), but is within a seismically active area of Southern California and strong ground shaking from nearby seismic events is likely to impact the site during the anticipated lifetime of the structures. According to the geotechnical report, the most significant geological hazard to the project site will be moderate to strong seismic shaking that is likely to occur during the design life of the project. However, California Building Code (CBC) requirements pertaining to development will mitigate the potential impact to less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring is required.

12. Liquefaction Potential Zone

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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a) Be subject to seismic-related ground failure, including liquefaction?

Source: Riverside County General Plan Figure S-3 "Generalized Liquefaction"; GEO No. 2327

Findings of Fact: a) The project is located within a moderate Liquefaction Potential Zone. GEO No. 2327 indicated negligible settlement ranging from .02 to .07 inches and that the liquefaction potential at the site is considered to be unlikely based on the depth of the groundwater. Compliance shall be required with condition of approval 10.Planning.30- GEO02327. Impacts are less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring is required.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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13. Ground-shaking Zone

a) Be subject to strong seismic ground shaking?

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Source: Riverside County General Plan Figure S-4 "Earthquake-Induced Slope Instability Map," and Figures S-13 through S-21 (showing General Ground Shaking Risk); GEO No. 2327

Findings of Fact: a) There are no known active or potentially active faults that traverse the site and the site is not located within an Alquist-Priolo Earthquake Fault Zone. The principle seismic hazard that has the potential to affect the site is ground shaking resulting from an earthquake occurring along several major active or potentially active faults in southern California, especially the San Andreas Fault.

The level of ground shaking that would be experienced at the project site from one of these faults or any other active faults in the region would be a function of several factors including earthquake magnitude, type of faulting, rupture propagation path, distance from the epicenter, earthquake depth, duration of shaking, site topography, and site geology. Uniform Building Code (UBC) and California Building Code (CBC) requirements pertaining to residential development will mitigate the potential impact to less than significant. As UBC and CBC requirements are applicable to all residential development they are not considered mitigation for CEQA implementation purposes. As a minimum, structure design should conform to CBC and UBC requirements. Impacts would be less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring is required.

14. Landslide Risk

a) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, collapse, or rockfall hazards?

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Source: On-site Inspection, Riverside County General Plan Figure S-5 "Regions Underlain by Steep Slope"; GEO No. 2327

Findings of Fact: a) According to the GEO No. 2327 for the site, the ground surface of the subject site is relatively flat and gently slopes towards the southeast but is not situated in the proximity of any mountains or hillsides. As such, the subject site should not be susceptible to slope instability issues. No impacts are anticipated.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring is required.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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15. Ground Subsidence

a) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in ground subsidence?

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Source: Riverside County General Plan Figure S-7 "Documented Subsidence Areas Map"

Findings of Fact: a) The project site is located in an area susceptible to subsidence. California Building Code (CBC) requirements pertaining to development will mitigate the potential impact to less than significant. As CBC requirements are applicable to all development, they are not considered mitigation for CEQA implementation purposes.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring is required.

16. Other Geologic Hazards

a) Be subject to geologic hazards, such as seiche, mudflow, or volcanic hazard?

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Source: On-site Inspection, Project Application Materials

Findings of Fact: There are no volcanoes in the proposed project site vicinity. The topography of the site does not include steep slopes which could generate a mudflow. Additionally, the USGS topographic map does not depict large bodies of water in proximity to the project site that could produce earthquake-induced seiche, which could impact the project site. Therefore, impacts associated with seiche, mudflow, or volcano are not anticipated.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring is required.

17. Slopes

a) Change topography or ground surface relief features?

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b) Create cut or fill slopes greater than 2:1 or higher than 10 feet?

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c) Result in grading that affects or negates subsurface sewage disposal systems?

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Source: Riv. Co. 800-Scale Slope Maps, Project Application Materials; GEO No. 2327

Findings of Fact: a-c) The project is not affected by significant topography, surface features, or slopes. The project site is relatively flat and elevation varies only moderately towards the eastern portion of the project site, therefore the proposed project will not have a significant impact on slopes.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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The project proposes to obtain potable water and sewage service from Coachella Valley Water District (CVWD). Conditions of Approval 60.Planning.1-CVWD Clearance and 90.Planning.6-CVWD Clearance require that the developer obtain evidence of service and compliance with CVWD. No impacts that affects or negates subsurface sewage disposal systems will occur.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring is required.

18. Soils

a) Result in substantial soil erosion or the loss of topsoil?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Be located on expansive soil, as defined in Section 1802.3.2 of the California Building Code (2007), creating substantial risks to life or property?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Have soils incapable of adequately supporting use of septic tanks or alternative waste water disposal systems where sewers are not available for the disposal of waste water?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: U.S.D.A. Soil Conservation Service Soil Surveys, Project Application Materials, On-site Inspection; GEO No. 2327

Findings of Fact: a-c)The soil type on the project site consists of MaD. Soil erosion of this tpe of soil is considered slight and runoff slow. Approximately 130,486 cubic yards of cut and 107,827 cubic yards of fill are proposed for project grading and will be balanced on site. The project has been designed to address flows through site and flows created by the project to minimize erosion.

Recommendations included in GEO No. 2327 are incorporated into project design and the study shall be submitted to the Building and Safety Grading Division for review and approval prior to issuance of a grading permit. All grading shall be in conformance with the recommendations of the Geotechnical soils Report as approved by Riverside County.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring is required.

19. Erosion

a) Change deposition, siltation, or erosion that may modify the channel of a river or stream or the bed of a lake?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Result in any increase in water erosion either on or off site?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: U.S.D.A. Soil Conservation Service Soil Surveys

Findings of Fact: a) Implementation of the proposed project will involve additional grading and various construction activities. Standard construction procedures, and federal, state and local

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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regulations implemented in conjunction with the site's storm water pollution prevention plan (SWPPP) and its Best Management Practices (BMPs) required under the National Pollution Discharge System (NPDES) general construction permit, will minimize potential for erosion during construction. These practices will keep substantial amounts of soil material from eroding from the project site and prevent deposition within receiving waters located downstream. Therefore, the impact is considered less than significant.

b) The potential for on-site erosion will increase due to grading and excavating activities during the construction phase. However, BMPs will be implemented for maintaining water quality and reducing erosion. In addition, Riverside County Flood Control has provided standard conditions of approval to ensure erosion impacts are mitigated to less than significant levels upon final engineering and are not considered mitigation for CEQA implementation purposes. Therefore, the impact is considered less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring is required.

20. Wind Erosion and Blowsand from project either on or off site.

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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a) Be impacted by or result in an increase in wind erosion and blowsand, either on or off site?

Source: Riverside County General Plan Figure S-8 "Wind Erosion Susceptibility Map," Ord. No. 460, Article XV & Ord. No. 484

Findings of Fact: a) The project site lies within a moderate area of wind erosion. The project will decrease the amount of exposed dirt, which is subject to wind erosion, with the incorporation of concrete, asphalt, and landscaping. The project would be influenced by wind erosion and blowsand issues during project grading. Blowsand is a maintenance concern as it creates drifting sand dunes and also acts as an abrasive on metal, glass and wood surfaces such as cars, windows, and siding of existing homes. Air quality and PM10 concerns are addressed in Section No. 6, above. Compliance with conditions of approval on file in the LMS, including 60.Planning.2-PM10 Mitigation Plan. Impacts would be less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring is required.

GREENHOUSE GAS EMISSIONS Would the project

21. Greenhouse Gas Emissions

a) Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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b) Conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Source: Air Quality & Greenhouse Gas Impact Analysis dated April 16, 2013 by Terra Nova Planning & Research, Inc.

Findings of Fact: a-b) An Air Quality and Greenhouse Gas Impact Analysis, dated April 16, 2013 was prepared for the project by Terra Nova Planning & Research, Inc. Potential emissions of criteria air pollutants and greenhouse gas emissions were calculated and information from this impact analysis has been incorporated in these findings. The impact analysis also identifies specific mitigation measures that can be used to reduce criteria pollutants and GHG emissions.

Construction activities will generate short-term GHG emissions (see Table 7 of the impact analysis). These emissions are temporary and will occur only during project construction and will not substantially affect air quality or interfere with any applicable GHG reduction plan. Therefore, emissions from greenhouse gases from construction of the project will have a less than significant impacts on greenhouse conditions or contribute significantly to climate change.

Occupancy and maintenance of the subdivision will result in the emission of greenhouse gases. However, as indicated in Table 8 of the impact analysis, these emissions will not be substantial and will not directly or indirectly result in a significant impact to greenhouse gas levels of climate change, or conflict with any applicable GHG plans, policies or regulation.

Construction of the project shall comply with energy use guidelines in Title 24 CAC and onsite buildings shall be equipped with energy efficient and water conserving appliances and fixtures. Landscaping shall incorporate the use of trees other vegetation to maximize the shading of buildings in order to reduce energy requirements for heating and cooling and provide carbon storage, to reduce heat and act as wind barriers.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring is required.

HAZARDS AND HAZARDOUS MATERIALS Would the project

22. Hazards and Hazardous Materials

a) Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Impair implementation of or physically interfere with an adopted emergency response plan or an emergency evacuation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Be located on a site which is included on a list of	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?

Source: Project Application Materials

Findings of Fact: a-b) The proposed project is a land subdivision and will not involve the routine transport of hazardous materials and, therefore, will not create a significant hazard to the public or environment through reasonable upsets or accidents involving the release of hazardous materials into the environment. Hazardous materials will not be utilized for grading the residential development, or intended in the construction of the residential units. Any chemicals, small quantities of fuel for landscape maintenance would be stored in compliance with the County of Riverside Ordinances and Fire Department requirements and will not pose a significant risk to the public. Impacts would be less than significant.

c) The project has been reviewed by the Riverside County Fire Department for emergency access, and will not impair implementation of or physically interfere with an adopted emergency response plan or an emergency evacuation plan. The impact is considered less than significant.

d) The proposed subdivision will not emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school. The project will have no impact.

e) The project is not located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would not create a significant hazard to the public or the environment. The project will have no impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring is required.

23. Airports

a) Result in an inconsistency with an Airport Master Plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) Require review by the Airport Land Use Commission?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
d) For a project within the vicinity of a private airstrip, or heliport, would the project result in a safety hazard for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Source: Riverside County General Plan Figure S-19 "Airport Locations," County of Riverside Airport Facilities Map; Riverside County Airport Land Use Commission Letter dated July 24, 2013

Findings of Fact: a,b,c,d) The site is located in Zones B1, C, and D of the Bermuda Dunes Airport Influence Area. Residential densities are restricted to less than 0.05 dwelling units per acre within Zone B1, less than 0.2 dwelling units per acre within Zone C, and either less than 0.2 dwelling units per acre or greater than 5.0 dwelling units per acre within Zone D. The project proposes a total of 202 dwelling units on 40.19 acres for a total density of 5.03 dwelling units per acre. Within Zone B1, the project proposes approximately 10 dwelling units for a density of 5.7 dwelling units per acre within the approximately 1.75 acre area. Within Zone C, the project proposes approximately 74 dwelling units for a density of 5.3 dwelling units per acre within the approximately 13.98 acre area. Within Zone D, the project proposes approximately 118 dwelling units for a density of 4.82 dwelling units per acre within the approximately 24.46 acre area. These proposed densities would generally be inconsistent with the criteria for Compatibility Zones B1 and C.

The applicant does not propose any uses prohibited or discouraged in Zones B1 (children's schools, day care centers, libraries, hospitals, nursing homes, places of worship, buildings with more than 3 aboveground habitable floors, highly noise-sensitive outdoor non-residential uses, aboveground bulk storage of hazardous materials, critical community infrastructure facilities, and hazards to flight), C (children's schools, day care centers, libraries, hospitals, nursing homes, buildings with more than 2 aboveground habitable floors, highly noise sensitive outdoor non-residential uses, and hazards to flight), or D (highly noise-sensitive outdoor non-residential uses and hazards to flight). However, as noted above, the residential density exceeds Zone B1 and C density limitations.

Although the project would generally be inconsistent with the density criteria of Compatibility Zones B1 and C, the project does propose 14 less units than the original tract map previously found consistent by ALUC. Therefore, the residential portion of this project would result in lesser impacts than the project that could currently be constructed pursuant to the previously approved Tentative Tract Map. Therefore, the Commission has determined that, although the project is generally incompatible, the project revisions would result in a reduction in the number of dwelling units and the number of people exposed to potential hazards from aircraft, making the revised project preferable to development pursuant to the existing approval.

The project is not in the vicinity of a private airstrip or heliport, therefore, there would be no impact.

Mitigation: The following mitigation will reduce any impact to less than significant with the following mitigation measures:

1. Any outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky.
2. The following uses shall be prohibited: (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator. (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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final approach towards a landing at an airport. (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area, including landscaping utilizing water features, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, and incinerators. (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation. (e) Within Compatibility Zone B1 : Children's schools, day care centers, libraries, hospitals, nursing homes, places of worship, buildings with more than 2 aboveground habitable floors, highly noise-sensitive outdoor non-residential uses, aboveground bulk storage of hazardous materials, critical community infrastructure facilities, and hazards to flight. (f) Within Compatibility Zone C: Children's schools, day care centers, libraries, hospitals, nursing homes, buildings with more than 3 aboveground habitable floors, highly noise-sensitive outdoor non-residential uses, and hazards to flight. (g) Within Compatibility Zone D: highly noise-sensitive outdoor non-residential uses, and hazards to flight.

3. A notice shall be provided to all potential purchasers and/or tenants of the proposed residences indicating that the Bermuda Dunes Airport is within a distance that may impact their house.

4. Any new retention basins on the site shall be designed so as to provide for a maximum 4 8-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the retention basin(s) that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.

5. Prior to issuance of building permits for lots 10, 11 and 12 as well as the Community Center on Lot A, the permittee or its successor-in-interest shall submit evidence to the County of Riverside Planning Department that the Federal Aviation Administration (FAA) has issued a determination of "Not a Hazard to Air Navigation" for such structure.

6. Prior to issuance of any building permits, the landowner shall convey and have recorded an avigation easement to the Bermuda Dunes Airport for all lots within the subdivision.

7. The Community Center shall have a posted maximum occupancy of 68, including the pool and pool deck area. Programming of activities within this building and area shall be consistent with this posted maximum occupancy.

Monitoring: Monitoring will be conducted by the Department of Building and Safety through the building permit process as well as conformance with the development's CC&R.

24. Hazardous Fire Area

a) Expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands?

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☐
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Source: Riverside County General Plan Figure S-11 "Wildfire Susceptibility," GIS database

Findings of Fact: a) The project is not located within a High Fire Area identified by Ordinance No. 546, therefore, there would be no impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
HYDROLOGY AND WATER QUALITY Would the project				
25. Water Quality Impacts				
a) Substantially alter the existing drainage pattern of the site or area, including the alteration of the course of a stream or river, in a manner that would result in substantial erosion or siltation on- or off-site?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) Violate any water quality standards or waste discharge requirements?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c) Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Create or contribute runoff water that would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
e) Place housing within a 100-year flood hazard area, as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) Place within a 100-year flood hazard area structures which would impede or redirect flood flows?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g) Otherwise substantially degrade water quality?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h) Include new or retrofitted stormwater Treatment Control Best Management Practices (BMPs) (e.g. water quality treatment basins, constructed treatment wetlands), the operation of which could result in significant environmental effects (e.g. increased vectors or odors)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County Flood Control District Flood Hazard Report/Condition; Hydrology Study

Findings of Fact

a) Implementation of the proposed project will result in the alteration of the site's use and will introduce structures which will impede percolation of storm water as it travels across the project site. This will result in the alteration of the existing drainage patterns on site as well as the potential to alter drainage flows downstream from the site; the impervious surfaces proposed by the project has the potential to reduce infiltration of rainfall and increase storm water runoff volumes.

The project area is susceptible to shallow flooding and accepts the 100-year storm event regional discharge from the adjacent existing Sun City Palm Desert development. The developer proposes to address the offsite drainage issues through the construction of a multi-purpose recreational area directing the regional storm water discharges through the site from the southeasterly corner of the Sun City Palm Desert development to a point where the flows cross over Adams Street just north of Avenue 40. As discussed under Geology and Soils, Section 18, the project site is relatively flat and storm water flows entering the site from adjacent properties will continue to flow through the property

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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along the eastern portion of the project site. Storm discharge leaving the site is required to emulate pre-project conditions and will not increase downstream flows.

On site drainage, will be collected through an underground storm drain system within the street right-of-way and discharge the flows into a detention basin located and maintained on site. The developer is proposing the use of a low water street crossing protecting the intersection of Adams Street and 40th Avenue and to direct flows into the existing downstream flow path. Development of proposed drainage facilities will require coordination with the Coachella Valley Water District and the City of Indio.

The proposed facilities, adequate maintenance of the facilities and implementation of construction and post-construction BMPs will reduce potential impacts resulting from substantial erosion or siltation on- or off-site to less than significant with mitigation incorporated.

b) The proposed project has been designed to minimize erosion resulting from on and offsite storm water flows. Potential soil erosion and water quality impacts during construction of the proposed project will be minimized by compliance with the site's storm water pollution prevention plan (SWPPP) and its Best Management Practices (BMPs) required under the National Pollution Discharge Elimination System (NPDES) general construction permit and fugitive dust mitigation measures. Post-construction erosion at the site will be controlled through project design and implementation of BMPs recommended in the Water Quality Management Plan prepared for the proposed project by PBLA Engineering, Inc., dated March 21, 2013 and attached as Appendix G. On site control measures include roof drains and an urban curb/swale system to divert runoff into adjacent landscaped areas and/or into the underground street drainage system for release into the proposed detention basin; retrofitted basin/drain filters in street and area drains; site maintenance of landscaping, irrigation, trash and debris through the proposed project's Homeowner's Association; and, activity restrictions included in the proposed project's conditions, covenants, and restrictions (CC&R's) and enforced by the Homeowner's Association (see Table 3 of Appendix G).

The proposed development will require the construction of a low water crossing along Adams Street north of the intersection of Adams Street and 40th Avenue. This low water crossing will have a maximum depth of flow over the roadway of 2.8-feet with the depth time velocity not to exceeding 6. Slope protection will be required on both the upstream and downstream portions of the roadway embankment to prevent erosion of the roadway bed and protect the roadway surface during a storm water discharge over the low water crossing. The developer will be required to obtain permission from adjacent property owners and the City of Indio for the construction of the low water crossing, including drainage easements, permission to construct drainage facilities, and grading required to accommodate construction. The low water crossing will be designed to protect the intersection of Adams Street and 40th Avenue from inundation as approved by the Director of Transportation.

The flow rate used as part of the analyses was obtained from CVWD. Based on discussions with CVWD and a hydraulic analyses performed downstream of the project the flow rate tributary to the crossing is 15,500 ft3/s. This flow rate was used to evaluate a culvert crossing for Adams Avenue.

The proposed facilities and adequate maintenance of the facilities, will convey flows safely through the project site in accordance to Riverside County Flood Control, Riverside County Transportation Department, and the Coachella Valley Water District (CVWD) requirements. The construction of storm drain and/or other flood control devices and implementation of BMPs and recommended mitigation

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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during construction and post-construction will reduce potential impacts to water quality to less than significant with mitigation incorporated (see Tables 6 and 7 of Appendix G).

c) The project will receive water service as provided by the Coachella Valley Water District. The District draws groundwater by local wells in the area and the proposed development will use these supplies. However the demand of the project will be individually minimal on regional groundwater resources. The project shall provide for water conservation as provided by the UBC/CBC and by the applicable water-efficient landscaping requirements of Article XIXf of Ordinance No. 348, and through Planning Department review of landscaping and irrigation plans required by conditions of approval on file in the LMS. Impacts are less than significant.

d) On site drainage, will be collected through an underground storm drain system within the street right-of-way and discharge the flows into a detention basin located and maintained on site. The developer is proposing the use of a low water street crossing protecting the intersection of Adams Street and 40th Avenue and to direct flows into the existing downstream flow path. All drainage facilities will be designed to convey the 100-year storm flows. BMPs will be implemented for maintaining water quality and reducing onsite soil erosion. Development of proposed drainage facilities will require coordination and approval of the Riverside County Flood Control, Riverside County Transportation Department, the Coachella Valley Water District (CVWD) and City of Indio.

Design features of the proposed project will preclude impacts to existing or planned stormwater drainage systems and implementation of required BMPs and compliance of conditions included on file in the LMS will reduce potential impacts resulting from the discharge of substantial additional sources of polluted runoff to less than significant with mitigation incorporated.

e-f) The project site is subject to 100-year storm flood flows. No habitable structures or structures are proposed within the multi-purpose recreational area planned to accept regional storm water discharges through the site from the southeasterly corner of the Sun City Palm Desert development. Therefore, no flood hazards relative to placing housing or other structures within a 100-year flood hazard area will occur and potential impacts are less than significant.

g) Following construction, project development with structures, concrete, asphalt, and landscaping will reduce the potential for sediment discharges or erosion on the site. However, use and operation of the project would generate pollutants that could impact water quality. The project specific WQMP includes Conventional Treatment Control BMPs to address the proposed project's Pollutants of Concern and concludes that no additional site specific BMPs are required, see Appendix G. Potential impacts to water quality are less than significant.

h) A National Pollutant Discharge Elimination System (NPDES) general construction permit shall apply to construction activities (clearing, grading, excavation, etc.) that results in the disturbance of five acres of land or activity that is part of a larger common plan of development of five acres or greater. Such permits shall be obtained prior to the start of grading activities. The project shall incorporate the current Best Management Practices and Best Available Technologies (BMPs and BATs) available at the time of application for pollution and erosion/siltation control permits.

Mitigation: Compliance with conditions of approval on file in LMS, including Conditions of Approval such as 80.Trans.3 and 80.Trans.4—Drainage Easements.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Monitoring: Monitoring will be conducted through the standard Building and Safety plan check process, by the Coachella Valley Water District, Riverside County Flood Control District and by the Department of Transportation.

26. Floodplains

Degree of Suitability in 100-Year Floodplains. As indicated below, the appropriate Degree of Suitability has been checked.

NA - Not Applicable <input type="checkbox"/>	U - Generally Unsuitable <input type="checkbox"/>	R - Restricted <input checked="" type="checkbox"/>		
a) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner that would result in flooding on- or off-site?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) Changes in absorption rates or the rate and amount of surface runoff?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c) Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam (Dam Inundation Area)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Changes in the amount of surface water in any water body?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure S-9 "100- and 500-Year Flood Hazard Zones," Figure S-10 "Dam Failure Inundation Zone," Riverside County Flood Control District Flood Hazard Report/Condition, GIS database

Findings of Fact: a-b) The project area is susceptible to shallow flooding and is designated Zone A (depth one-foot) & C on the Federal Flood Insurance rate maps. The project site accepts the 100-year storm event regional discharge from the adjacent existing Del Webb Sun City development. The developer proposes to address the drainage issues through the construction of a multi-purpose recreational area directing the regional storm water discharges through the site from the southeasterly corner of the Del Webb development to a point where the flows cross over Adams Street just north of Avenue 40. The developer is proposing the use of a low water street crossing protecting the intersection of Adams Street and Avenue 40 and to direct flows into the existing downstream flow path. Development of proposed drainage facilities will require coordination with the Coachella Valley Water District and the City of Indio.

The paving and covering over of a portion of the project site will result in additional storm water runoff. To address on site drainage within the residential area of the project, the developer is proposing to construct an underground storm drain system within the street right-of-way and discharge the flows into a detention basin located on site. Storm discharge leaving the site is required to emulate pre-project conditions and will not increase the existing flood threat to receiving properties. The project has been reviewed and approved by the Riverside County Transportation Department and the Coachella Valley Water District. Therefore, potential impacts to existing drainage facilities and/or downstream properties is considered less than significant with mitigation incorporated.

c-d) No large bodies of water exist near the project site. No habitable structures are proposed within the multi-purpose recreational area planned to accept regional storm water discharges through the

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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site from the southeasterly corner of the Del Webb development. Implementation of the project will not expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam nor will the project cause changes in the amount of surface water in any water body.

Mitigation: Compliance with conditions of approval on file in LMS, including 90.Trans.8—Drainage Improvement Notice.

Monitoring: Monitoring will be conducted through the standard Building and Safety plan check process, by the Planning Department and by the Department of Transportation.

LAND USE/PLANNING Would the project

27. Land Use

a) Result in a substantial alteration of the present or planned land use of an area?

☐
☐
☒
☐

b) Affect land use within a city sphere of influence and/or within adjacent city or county boundaries?

☐
☐
☒
☐

Source: Riverside County General Plan, GIS database, Project Application Materials

Findings of Fact: a-b) The project would not result in a substantial alteration of the planned land use of the area since the Project implementation would alter the existing vacant land with senior planned residential development. The majority of the project site is planned for MHDR (5-8 Dwelling Units Per Acre) in accordance with the General Plan Land Use designation. An approximately 8 acres portion of the site is to remain largely undeveloped. The Del Webb Sun City Specific Plan (SP) exists to the north and west, and comments were received during the previous project approval process from the homeowners association. The SP development reflects approximately 5,000 dwelling units on 1,678 acres, and maintains an overall density of 3.02 dwellings per acre. Within the SP Planning Area 34, which is adjacent to the western boundary of the project site, density is approximately 5.6 dwelling units per acre. Along the northern boundary of the project site, SP density is 3.6 dwellings per acre. As such, the project as proposed is consistent with existing surrounding land uses and will not result in a substantial alteration of the present or planned land use of an area or affect land use within a city sphere of influence and/or within adjacent city or county boundaries. Impacts would be less than significant.

The proposed project is located within the Sphere of Influence of the City of Palm Desert whose transmittal of May 29, 2013 indicated no objection with suggestions for landscaping and design which the tract incorporates. The project is also adjacent to the city limits of the City of Indio whose transmittal of September 16, 2013 indicated no objection with recommendation for traffic and drainage related improvements which the tract incorporates. Impacts would be less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring is required.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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28. Planning

a) Be consistent with the site's existing or proposed zoning?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Be compatible with existing surrounding zoning?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Be compatible with existing and planned surrounding land uses?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Be consistent with the land use designations and policies of the General Plan (including those of any applicable Specific Plan)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Disrupt or divide the physical arrangement of an established community (including a low-income or minority community)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Land Use Element, Staff review, GIS database

Findings of Fact: a-d) The proposed project is for a subdivision with Senior Citizen Planned Residential Development. Existing zoning on the project site is R-4 (Planned Residential) and W-1 (Watercourse, Watershed & Conservation Areas). Surrounding zones consist of SP (Specific Plan) to the north and west and the City of Indio to the south and east. The project site is designated MHDR (5-8 Dwelling Units Per Acre) and OS-W (Open Space - Water) and surrounding land uses include MDR (2-5 Dwelling Units Per Acre), MHDR (5-8 Dwelling Units Per Acre), CR (Commercial Retail), OS-R (Open Space - Recreation) and OS-CH (Open Space - Conservation Habitat) to the north and west. Within the City of Indio land uses include an auto mall to the south and single-family residential and vacant land to the east. The project is in conformance with the General Plan Land Use designation and with all other General Plan Land Use policies and is consistent with County Ordinance No. 348 zoning requirements. The project as proposed is compatible with surrounding land uses and zoning. Impacts resulting from project implementation will be less than significant.

e) The project shall not disrupt or divide the physical arrangement of an established community (including a low-income or minority community). Therefore, there are no impacts resulting from the project.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring is required.

MINERAL RESOURCES Would the project

29. Mineral Resources

a) Result in the loss of availability of a known mineral resource that would be of value to the region or the residents of the State?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Be an incompatible land use located adjacent to a State classified or designated area or existing surface mine?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
d) Expose people or property to hazards from proposed, existing or abandoned quarries or mines?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure OS-5 "Mineral Resources Area"

Findings of Fact: a) The project site is located in an area where mineral resources have not been studied.

b) The project is not located within a locally-important mineral resource recovery site designated on a local general plan, specific plan or other land use plan.

c) The project site is not located adjacent to a State classified or designated area or existing surface mine.

d) The project will not expose people or property to hazards from proposed, existing or abandoned quarries or mines.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring is required.

NOISE Would the project result in

Definitions for Noise Acceptability Ratings

Where indicated below, the appropriate Noise Acceptability Rating(s) has been checked.

NA - Not Applicable

A - Generally Acceptable

B - Conditionally Acceptable

C - Generally Unacceptable

D - Land Use Discouraged

30. Airport Noise

a) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport would the project expose people residing or working in the project area to excessive noise levels?

NA ☐ A ☐ B ☒ C ☐ D ☐

b) For a project within the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels?

NA ☒ A ☐ B ☐ C ☐ D ☐

Source: Riverside County General Plan Figure S-19 "Airport Locations," County of Riverside Airport Facilities Map

Findings of Fact: a) The project is within an airport influence area boundary and is affected by airport noise issues as identified in the General Plan.

Mitigation: The project has been reviewed by the Airport Land Use Commission and must be in compliance with the Aviation's Unit's transmittal of July 24, 2013, contained within the conditions of approval on file in the LMS, including 80.Planning.5-ALUC Clearance, including noise attenuation measures to ensure interior noise levels are at or below 45-decible levels. Land divisions shall provide

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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an appropriate ECS note regarding noise and over flight from the airport among conditions of approval on file in the LMS, including 50.Planning.18-ECS Note Airport.

Monitoring: Monitoring will be conducted by the Depoartment of Building and Safety and Aviation Unit and through the building permit process as well as conformance with the development's CC&R's.

31. Railroad Noise

NA ☐ A ☒ B ☐ C ☐ D ☐ ☐ ☐ ☒ ☐

Source: Riverside County General Plan Figure C-1 "Circulation Plan", GIS database, On-site Inspection

Findings of Fact: The proposed project would not be affected by significant railroad noise; the nearest railroad is approximately 1/4 mile from the project site.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring is required.

32. Highway Noise

NA ☐ A ☐ B ☐ C ☒ D ☐ ☐ ☒ ☐ ☐

Source: On-site Inspection, Project Application Materials

Findings of Fact: The proposed project is influenced by highway noise issues as identified in the General Plan, Noise Section due to the site's proximity to 40th Avenue, Adams Street and Interstate 10. Development of the proposed project includes building standards established to reduce indoor noise to acceptable levels. Mitigation measures for the project include the preparation of an final acoustical study, compliance with the Health Services Agency, Office of Industrial Hygiene requiremnets for construction of a 6-8 foot high masonry block wall or combination berm and block walls along 40th Avneue and Adams Street.

Mitigation: Compliance with the Enviromental Health Department, Office of Industrial Hygiene transmittal dated July 16, 2013, contained within the conditions of approval on file with LMS, such as, conditions of approval 80.Planning.3 and 90.Planning.1.

Monitoring: Monitoring will be conducted through the standard Building and Safety plan check process, the Planning Department and through Ordinance No. 457.

33. Other Noise

NA ☒ A ☐ B ☐ C ☐ D ☐ ☐ ☐ ☐ ☒

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Source: Project Application Materials, GIS database

Findings of Fact: The proposed project is not influenced by other or unique noise issues as identified in the General Plan, Noise Section.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring is required.

34. Noise Effects on or by the Project

a) A substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) A substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
d) Exposure of persons to or generation of excessive ground-borne vibration or ground-borne noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan, Table N-1 ("Land Use Compatibility for Community Noise Exposure"); Project Application Materials; Preliminary Noise Study dated June 18, 2013 by Urban Crossroads

Findings of Fact: a-d) The project is influenced by noise issues on the project and by the project as identified in the General Plan due to adjoining traffic noise, overhead aircraft, and temporary construction noise. All noise impacts are reduced to below significance by construction methods and compliance with ordinances.

Mitigation: Compliance with the Environmental Health Department, Office of Industrial Hygiene transmittal of July 16, 2013 and compliance with Airport Land Use Commission transmittal of July 24, 2013, contained within the conditions of approval on file in the LMS. Excessive construction noise shall be prohibited pursuant to Section 1(G) of Ordinance No. 457.

Monitoring: Monitoring to be provided by Building and Safety Department and by the Environmental Health Department, Office of Industrial Hygiene.

POPULATION AND HOUSING Would the project

35. Housing

a) Displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Create a demand for additional housing, particularly housing affordable to households earning 80% or less of the County's median income?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
c) Displace substantial numbers of people, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Affect a County Redevelopment Project Area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Cumulatively exceed official regional or local population projections?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) Induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Project Application Materials, GIS database, Riverside County General Plan Housing Element

Findings of Fact: The proposed project is a revision to approved Tentative Tract Map No. 30966 to subdivide 40.19 gross acres into 202 (Schedule A) single-family residential lots with Senior Citizen Planned Residential Development (PRD). Projected occupancy upon buildout is 404 residents. The project site is designated MHDR which allows for development of 5-8 dwelling units per acre and is zoned R-4. The proposed project is consistent with the Community Development Land Use designation and meets with all other policies of the County General Plan.

a-c) Currently, the project site is vacant and the proposed development will not displace substantial numbers of people, necessitate the need for replacement housing elsewhere or create the need for additional housing. Therefore, no impacts to local housing will result from the proposed project.

d) The site is not located in a County Redevelopment Area.

e-f) The proposed project is in conformance with the County General Plan and Land Use designation and all growth resulting from the project has been accounted for in the General Plan and demographic projections. Therefore, the proposed project will not cumulatively exceed official regional or local population projections or induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure). Impacts are less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring is required.

PUBLIC SERVICES Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered government facilities or the need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:

36. Fire Services

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Source: Riverside County General Plan Safety Element

Findings of Fact: The project area is serviced by the Riverside County Fire Department. Any potential significant effects will be mitigated by the payment of standard fees to the County of Riverside. The project will not directly physically alter existing facilities or result in the construction of new facilities. Any construction of new facilities required by the cumulative effects of surrounding projects would have to meet all applicable environmental standards. The project shall comply with County Ordinance No. 659 to mitigate the potential effects to fire services as indicated by Condition of Approval 90.Planning.15-Ord. 659 Development Impact Fees. Therefore, impacts are less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring is required.

37. Sheriff Services

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Source: Riverside County General Plan

Findings of Fact: The proposed area is serviced by the Riverside County Sheriff's Department. The proposed project would not have an incremental effect on the level of sheriff services provided in the vicinity of the project area. Any construction of new facilities required by the cumulative effects of this project and surrounding projects would have to meet all applicable environmental standards. This project has been conditioned to comply with County Ordinance No. 659 in order to mitigate the potential effects to sheriff services, see Condition of Approval 90.Planning.15-Ord 659 Development Impact Fees. Therefore, impacts are less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring is required.

38. Schools

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Source: Desert Sands School District correspondence, GIS database

Findings of Fact: The project will not physically alter existing facilities or result in the construction of new or physically altered facilities. The proposed project is located within the boundary of the Desert Sands Unified School District. Any construction of new facilities required by the cumulative effects of this project and surrounding projects would have to meet all applicable environmental standards. This project has been conditioned to comply with School Mitigation Impact fees per County Ordinance 659 in order to mitigate the potential effects to school services, see Condition of Approval 80.Planning.4. Impacts are less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring is required.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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39. Libraries

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Source: Riverside County General Plan

Findings of Fact: Library services for future residents of the proposed project are provided by the Riverside County Public Library System. The proposed project will not create a significant incremental demand for library services and, therefore, will not physically alter existing facilities or result in the construction of new or physically altered facilities. Development fees required by the Riverside County Ordinance No. 659 may be used at the County's discretion to provide additional library facilities. Any construction of new facilities required by the cumulative effects of this project and surrounding projects would have to meet all applicable environmental standards. This project has been conditioned to comply with County Ordinance No. 659 in order to mitigate the potential effects to library services, see Condition of Approval 90.Planning.15. Therefore, impacts are less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring is required.

40. Health Services

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Source: Riverside County General Plan

Findings of Fact: Development of the proposed project would cause a less than significant impact on health services. The site is located within the service parameters of County health centers. The proposed project will not physically alter existing facilities or result in the construction of new or physically altered facilities. The presence of medical communities generally corresponds with the increase in population associated with the new development. Any construction of new facilities required by the cumulative effects of this project and surrounding projects would have to meet all applicable environmental standards. This project has been conditioned to comply with County Ordinance No. 659 in order to mitigate the potential effects to emergency medical services, see Condition of Approval 90.Planning.15.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring is required.

RECREATION

41. Parks and Recreation

a) Would the project include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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b) Would the project include the use of existing neighborhood or regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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c) Is the project located within a Community Service Area (CSA) or recreation and park district with a Com-

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Community Parks and Recreation Plan (Quimby fees)?

Source: GIS database, Ord. No. 460, Section 10.35 (Regulating the Division of Land – Park and Recreation Fees and Dedications), Ord. No. 659 (Establishing Development Impact Fees), Parks & Open Space Department Review

Findings of Fact: a) The proposed project includes the development of recreational open space areas which are included as part of the project's environmental review. The developer is conditioned to establish a homeowner's association through the development's CC&R's to fund the maintenance of any streetscape improvements, detention basin or open space lots (see Conditions of Approval 50.Planning.9. and 50.Planning.10.) Therefore, potential impacts resulting from development of said recreational facilities are less than significant.

b-c) The proposed project would result in an slight increase in district population and may include use of nearby neighborhood and regional parks. The project site is located within the boundaries of the Desert Recreation District and, as such, is required to pay park fees on all residential units, see Conditions of Approval 50.Planning.17 and 90.Planning.2. Impacts would be less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring is required.

42. Recreational Trails

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Source: Riv. Co. 800-Scale Equestrian Trail Maps, Open Space and Conservation Map for Western County trail alignments

Findings of Fact: The site proposes some private desert trails systems to be improved with decomposed granite or soil compaction, but no general plan recreation trails exist on the project site. Impacts are less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring is required.

TRANSPORTATION/TRAFFIC Would the project

43. Circulation

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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a) Conflict with an applicable plan, ordinance or policy establishing a measure of effectiveness for the performance of the circulation system, taking into account all modes of transportation, including mass transit and non-motorized travel and relevant components of the circulation system, including but not limited to intersections, streets, highways and freeways, pedestrian and bicycle paths, and mass transit?

b) Conflict with an applicable congestion management program, including, but not limited to level of service

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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standards and travel demand measures, or other standards established by the county congestion management agency for designated roads or highways?

c) Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Alter waterborne, rail or air traffic?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g. farm equipment)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Cause an effect upon, or a need for new or altered maintenance of roads?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
g) Cause an effect upon circulation during the project's construction?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
h) Result in inadequate emergency access or access to nearby uses?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
i) Conflict with adopted policies, plans or programs regarding public transit, bikeways or pedestrian facilities, or otherwise substantially decrease the performance or safety of such facilities?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan

Findings of Fact: The proposed project will be affected by the Circulation policies of the County General Plan and will incrementally add to vehicle miles traveled and trips generated which on a cumulative basis will likely cause changes in traffic volume, some increase vehicle safety risks and affect roadway uses during construction activities. Potential impacts to adjacent roadways are addressed through the PM10 Mitigation Plan prepared for the project which requires that construction-related traffic congestion be reduced by minimizing traffic interference, employing the use of a flag person to ensure safety during construction, and scheduling construction related operations affecting roadways for off-peak hours, see Condition of Approval 60.Planning.2.

a-b) The project has met the requirements of the Riverside County Transportation Department by providing adequate circulation and street improvements and is consistent with all other Circulation policies of the General Plan.

c-e) Air traffic patterns will not change as a result of the proposed project, nor will the project pose a safety risk or alter waterborne, rail or air traffic. All streets have been designed to not create any substantial design hazards and have been reviewed and approved by the Riverside County Transportation Department. There will be no impacts.

f-g) The project has been conditioned by the Riverside County Transportation Department for maintenance of facilities within public road rights-of-way as well as private street created by the project, see conditions of approval on file in LMS and specifically Conditions of Approval 50.Trans.19, 50.Trans.22, 50.Trans.36. Street improvements have been also been required by the Riverside County Transportation Department along project boundaries for Adams Street and 40th Avenue with requirement for street light at intersection of 40th and Adams Street, see Condition of Approval 50.Trans.34.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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The project includes the development of interior private streets and off site access will be obtained via County maintained roadway 40th Avenue, a designated arterial highway. On site recreational facilities shall provide on site off-street parking pursuant to Section 18.12 of Ordinance No. 348. All street improvements shall be in accordance with Ordinance No. 461 and conditions of approval on file in LMS, including 50.Trans.13, 50.Trans.18, 50.Trans.24, 50.Trans.26, 50.Trans.29, 50.Trans.33, and 50.Trans.36. Impacts would be less than significant with mitigation incorporated.

h-i) Emergency vehicle parking and access is addressed and the project conditioned in cooperation with Riverside County Fire Department, see Conditions of Approval 50.Fire.1, 50.Fire.2, 50.Trans.34, and 50.Trans.39.

Additionally, all County projects are conditioned to pay Transportation Uniform Mitigation Fees for impacts on County roadways resulting from development, see Condition of Approval 80.Trans.1. This is a standard condition and is not considered mitigation according to CEQA.

The project will not cause a significant effect on circulation as the site obtains access via Avenue 40 which has sufficient capacity to support the proposed project as well as existing traffic levels. The project will not result in inadequate emergency access or conflict with adopted policies supporting alternative transportation. The proposed project is in conformance with the requirements of the Community Development land use designation of MHDR and is consistent with the Circulation policies of the General Plan. The impact of the project will be less than significant.

Mitigation: Compliance with conditions of approval on file in the LMS, including 50.Fire.1, 50.Fire.2, 50.Trans.13, 50.Trans.18, 50.Trans.19, 50.Trans.22, 50.Trans.24, 50.Trans.26, 50.Trans.29, 50.Trans.32, 50.Trans.33, 50.Trans.34, 50.Trans.35, 50.Trans.36, 50.Trans.39, and 80.Trans.1

Monitoring: Monitoring will be conducted through the standard Building and Safety plan check process, by the Fire Department and by the Department of Transportation.

44. Bike Trails

☐ ☐ ☐ ☒

Source: Riverside County General Plan

Findings of Fact: There are no General Plan designated bike trails adjacent to the project site therefore no bike trails are proposed.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring is required.

UTILITY AND SERVICE SYSTEMS Would the project

45. Water

a) Require or result in the construction of new water treatment facilities or expansion of existing facilities, the construction of which would cause significant environmental effects?

☐ ☐ ☒ ☐

b) Have sufficient water supplies available to serve

☐ ☐ ☒ ☐

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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the project from existing entitlements and resources, or are new or expanded entitlements needed?

Source: Department of Environmental Health Review

Findings of Fact: The project proposes to obtain potable water and sewage service from Coachella Valley Water District (CVWD). Services exist to the site boundaries due to neighboring development and will not require or result in the construction of new water treatment facilities or expansion of existing facilities, the construction of which would cause significant environmental effects. The CVWD has been transmitted a copy of the proposed project with clearance letter being received by CVWD dated October 4, 2013. Conditions of Approval 10.E Health.1-CVWD Water and Sewer Service, 60.Planning.1-CVWD Clearance and 90.Planning.6-CVWD Clearance require that the developer obtain evidence of service and compliance. Impacts are less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring is required.

46. Sewer

a) Require or result in the construction of new wastewater treatment facilities, including septic systems, or expansion of existing facilities, the construction of which would cause significant environmental effects?

☐ ☐ ☒ ☐

b) Result in a determination by the wastewater treatment provider that serves or may service the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?

☐ ☐ ☒ ☐

Source: Department of Environmental Health Review

Findings of Fact: The project proposes to obtain potable water and sewage service from Coachella Valley Water District (CVWD). Services exist to the site boundaries due to neighboring development and will not require or result in the construction of new water treatment facilities or expansion of existing facilities, the construction of which would cause significant environmental effects. The CVWD has been transmitted a copy of the proposed project with clearance letter being received by CVWD dated October 4, 2013. Conditions of Approval 10.E Health.1-CVWD Water and Sewer Service, 60.Planning.1-CVWD Clearance and 90.Planning.6-CVWD Clearance require that the developer obtain evidence of service and compliance. Impacts would be considered less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring is required.

47. Solid Waste

a) Is the project served by a landfill with sufficient permitted capacity to accommodate the project's solid

☐ ☐ ☒ ☐

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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waste disposal needs?

b) Does the project comply with federal, state, and local statutes and regulations related to solid wastes including the CIWMP (County Integrated Waste Management Plan)?

☐ ☐ ☐ ☒

Source: Riverside County General Plan, Riverside County Waste Management District correspondence

Findings of Fact: a-b) The proposed project is served by a landfill with sufficient permitted capacity to accommodate the project's solid waste disposal needs and must comply with federal, state and local statutes and regulation related to solid wastes. Additionally, Conditions of Approval 90.Planning.4-Trash Enclosures (for the community center building) requires that the project provide for the collection of recyclable materials to comply with the diversion goals of Assembly Bill 939. This area shall be reviewed and approved by the Riverside County Waste Resources Management District (WMD) prior to building permit and final inspection as indicated by the transmittal letter from WMD dated September 23, 2013.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring is required.

48. Utilities

Would the project impact the following facilities requiring or resulting in the construction of new facilities or the expansion of existing facilities; the construction of which could cause significant environmental effects?

a) Electricity?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Natural gas?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Communications systems?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Storm water drainage?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Street lighting?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) Maintenance of public facilities, including roads?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g) Other governmental services?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source:

Findings of Fact: a-g) Implementation of the project will result in an incremental system capacity demand for energy systems, communication systems, storm water drainage systems, street lighting systems, maintenance of public facilities, including roads and potentially other governmental services. Each of the utility systems, including collection of solid waste, is available at the project site and lines will have to be extended onto the site, which will already be disturbed by grading and other construction activities. These impacts are considered less than significant based on the availability of existing public facilities that support local systems.

As discussed under Hydrology & Water Quality, Sections 23 and 24, the project site accepts the 100-year storm event regional discharge from the adjacent existing Del Webb Sun City development. The developer proposes to address the drainage issues through the construction of a multi-purpose recreational area directing the regional storm water discharges through the site from the southeasterly corner of the Del Webb development to a point where the flows cross over Adams Street just north of

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Avenue 40. The developer is proposing the use of a low water street crossing protecting the intersection of Adams Street and Avenue 40 and to direct flows into the existing downstream flow path. To address on site drainage within the residential area of the project, the developer is proposing to construct an underground storm drain system within the street right-of-way and discharge the flows into a detention basin located on site. Storm discharge leaving the site is required to emulate pre-project conditions and will not increase the existing flood threat to receiving properties. The project has been reviewed and approved by the Riverside County Transportation Department and the Coachella Valley Water District. Therefore, potential impacts to existing drainage facilities and/or downstream properties is considered less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring is required.

49. Energy Conservation

a) Would the project conflict with any adopted energy conservation plans?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Source:

Findings of Fact: The project will not conflict with any adopted energy conservation plans.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring is required.

OTHER

50. Other:

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Source: Staff review

Findings of Fact: No other potential impacts were identified.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring is required.

MANDATORY FINDINGS OF SIGNIFICANCE

51. Does the project have the potential to substantially degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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range of a rare or endangered plant or animal, or eliminate important examples of the major periods of California history or prehistory?

Source: Staff review, Project Application Materials

Findings of Fact: Implementation of the proposed project would not substantially degrade the quality of the environment, substantially reduce the habitat of fish or wildlife species, cause a fish or wildlife populations to drop below self-sustaining levels, threaten to eliminate a plant or animal community, or reduce the number or restrict the range of a rare or endangered plant or animal, or eliminate important examples of the major periods of California history or prehistory.

52. Does the project have impacts which are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, other current projects and probable future projects)?
- ☐ ☐ ☒ ☐

Source: Staff review, Project Application Materials

Findings of Fact: The project does not have impacts which are individually limited, but cumulatively considerable.

53. Does the project have environmental effects that will cause substantial adverse effects on human beings, either directly or indirectly?
- ☐ ☐ ☐ ☒

Source: Staff review, project application

Findings of Fact: The proposed project would not result in environmental effects which would cause substantial adverse effects on human beings, either directly or indirectly.

VI. EARLIER ANALYSES

Earlier analyses may be used where, pursuant to the tiering, program EIR, or other CEQA process, an effect has been adequately analyzed in an earlier EIR or negative declaration as per California Code of Regulations, Section 15063 (c) (3) (D). In this case, a brief discussion should identify the following:

Earlier Analyses Used, if any: Environmental Assessment No. 38863

Location Where Earlier Analyses, if used, are available for review:

Location: County of Riverside Planning Department
4080 Lemon Street, 12th Floor
Riverside, CA 92505

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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VII. AUTHORITIES CITED

Authorities cited: Public Resources Code Sections 21083 and 21083.05; References: California Government Code Section 65088.4; Public Resources Code Sections 21080(c), 21080.1, 21080.3, 21082.1, 21083, 21083.05, 21083.3, 21093, 21094, 21095 and 21151; *Sundstrom v. County of Mendocino* (1988) 202 Cal.App.3d 296; *Leonoff v. Monterey Board of Supervisors* (1990) 222 Cal.App.3d 1337; *Eureka Citizens for Responsible Govt. v. City of Eureka* (2007) 147 Cal.App.4th 357; *Protect the Historic Amador Waterways v. Amador Water Agency* (2004) 116 Cal.App.4th at 1109; *San Franciscans Upholding the Downtown Plan v. City and County of San Francisco* (2002) 102 Cal.App.4th 656.

Revised: 11/13/2013 8:30 AM
EA 2010.docx

LIST OF APPENDICES FOR EA 42587

- Appendix A Air Quality and Greenhouse Gas Impact Analysis for Tentative Tract Map 30966, dated April 16, 2013, by Terra Nova Planning & Research, Inc.
- Appendix B Biological Resources Assessment for the Adams Street Parcel Project, dated June 19, 2013, by AMEC Environment & Infrastructure
- Appendix C Phase I Archaeological Assessment Tentative Tract Map No. 30966, dated March 4, 2013, by CRM TECH
- Appendix D Preliminary Geotechnical Investigation, Tentative Tract Map No. 30966, dated May 30, 2013, by Petra Geotechnical, Inc.
- Appendix E Phase I Environmental Site Assessment, dated June 2013, by Terra Nova Planning & Research, Inc.
- Appendix F Tentative Tract 30966 Preliminary Noise Study, dated June 18, 2013, by Urban Crossroads
- Appendix G Project Specific Water Quality Management Plan, dated March 21, 2013, by PBLA Engineering, Inc.
(EA references Table 3 and Table 6)

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Riverside County LMS
CONDITIONS OF APPROVAL

Page: 1

TRACT MAP Tract #: TR30966R1

Parcel: 748-280-009

10. GENERAL CONDITIONS

EVERY DEPARTMENT

10. EVERY. 1 MAP - DEFINITIONS

RECOMMND

The words identified in the following list that appear in all capitals in the attached conditions of Tentative Tract Map No. 30966, Revised Map No. 1 shall be henceforth defined as follows:

TENTATIVE MAP = Tentative Tract Map No. 30966R1, Amended No. 3, dated December 2, 2013 and Exhibit M (Draft Design Manual) dated April 22, 2013.

FINAL MAP = Final Map or Parcel Map for the TENTATIVE MAP whether recorded in whole or in phases.

10. EVERY. 2 MAP - HOLD HARMLESS

RECOMMND

The applicant/permittee or any successor-in-interest shall defend, indemnify, and hold harmless the County of Riverside or its agents, officers, and employees (COUNTY) from the following:

(a) any claim, action, or proceeding against the COUNTY to attack, set aside, void, or annul an approval of the COUNTY, its advisory agencies, appeal boards, or legislative body concerning the TENTATIVE MAP or FINAL MAP, which action is brought within the time period provided for in California Government Code Section 66499.37; and,

(b) any claim, action or proceeding against the COUNTY to attack, set aside, void or annul any other decision made by the COUNTY concerning the TENTATIVE MAP or FINAL MAP, including, but not limited to, decisions made in response to California Public Records Act requests.

The COUNTY shall promptly notify the applicant/permittee of any such claim, action, or proceeding and shall cooperate fully in the defense. If the COUNTY fails to promptly notify the applicant/permittee of any such claim, action, or proceeding or fails to cooperate fully in the defense, the applicant/permittee shall not, thereafter, be responsible to defend, indemnify or hold harmless the COUNTY.

The obligations imposed by this condition include, but are not limited to, the following: the applicant/permittee shall pay all legal services expenses the COUNTY incurs in

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Riverside County LMS
CONDITIONS OF APPROVAL

Page: 2

TRACT MAP Tract #: TR30966R1

Parcel: 748-280-009

10. GENERAL CONDITIONS

10. EVERY. 2 MAP - HOLD HARMLESS (cont.)

RECOMMND

connection with any such claim, action or proceeding, whether it incurs such expenses directly, whether it is ordered by a court to pay such expenses, or whether it incurs such expenses by providing legal services through its Office of County Counsel.

10. EVERY. 3 MAP - PROJECT DESCRIPTION

RECOMMND

The land division hereby permitted is to subdivide 40.19 gross acres into 202 residential lots (Schedule A) as a Senior Citizen Planned Residential Development (PRD). The PRD consists of lot sizes ranging from approximately 3,500 square feet to 10,500 square feet with detached single family residential units ranging in size from approximately 1,657 square feet to 1,903 square feet at maximum heights of 18 feet (single-story). The PRD also includes a 3,221 square foot community center building at a maximum height of 18 feet with pool, detention basin/dog park, a drainage channel, and common area landscaping, located within Assessors Parcel Numbers 748-280-008 and 748-280-009.

BS GRADE DEPARTMENT

10.BS GRADE. 1 MAP - GENERAL INTRODUCTION

RECOMMND

Improvements such as grading, filling, stockpiling, over excavation and recompaction, and base or paving which require a grading permit are subject to the included Building and Safety Department conditions of approval.

10.BS GRADE. 3 MAP - OBEY ALL GDG REGS

RECOMMND

All grading shall conform to the California Building Code, Ordinance 457, and all other relevant laws, rules, and regulations governing grading in Riverside County and prior to commencing any grading which includes 50 or more cubic yards, the applicant shall obtain a grading permit from the Building and Safety Department.

10.BS GRADE. 4 MAP - DISTURBS NEED G/PMT

RECOMMND

Ordinance 457 requires a grading permit prior to clearing, grubbing, or any top soil disturbances related to construction grading.

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10. GENERAL CONDITIONS

10.BS GRADE. 6

MAP - NPDES INSPECTIONS

RECOMMEND

Construction activities including clearing, stockpiling, grading or excavation of land which disturbs less than 1 acre and requires a grading permit or construction Building permit shall provide for effective control of erosion, sediment and all other pollutants year-round. The permit holder shall be responsible for the installation and monitoring of effective erosion and sediment controls. Such controls will be evaluated by the Department of Building and Safety periodically and prior to permit Final to verify compliance with industry recognized erosion control measures.

Construction activities including but not limited to clearing, stockpiling, grading or excavation of land, which disturbs 1 acre or more or on-sites which are part of a larger common plan of development which disturbs less than 1 acre are required to obtain coverage under the construction general permit with the State Water Resources Control Board. You are required to provide proof of WDID# and keep a current copy of the storm water pollution prevention plan (SWPPP) on the construction site and shall be made available to the Department of Building and Safety upon request.

Year-round, Best Management Practices (BMP's) shall be maintained and be in place for all areas that have been graded or disturbed and for all material, equipment and/or operations that need protection. Stabilized Construction Entrances and project perimeter linear barriers are required year round. Removal BMP's (those BMP's which must be temporarily removed during construction activities) shall be in place at the end of each working day.

Monitoring for erosion and sediment control is required and shall be performed by the QSD or QSP as required by the Construction General Permit. Stormwater samples are required for all discharge locations and projects may not exceed limits set forth by the Construction General Permit Numeric Action Levels and/or Numeric Effluent Levels. A Rain Event Action Plan is required when there is a 50% or greater forecast of rain within the 48 hours, by the National Weather Service or whenever rain is imminent. The QSD or QSP must print and save records of the precipitation forecast for the project location area from (<http://www.srh.noaa.gov/forecast>) and must accompany monitoring reports and sampling test data. A Rain gauge is

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10. GENERAL CONDITIONS

- 10.BS GRADE. 6 MAP - NPDES INSPECTIONS (cont.) RECOMMND
- required on site. The Department of Building and Safety will conduct periodic NPDES inspections of the site throughout the recognized storm season to verify compliance with the Construction General Permit and Stormwater ordinances and regulations.
- 10.BS GRADE. 7 MAP - EROS CNTRL PROTECT RECOMMND
- Graded but undeveloped land shall provide, in addition to erosion control planting, any drainage facility deemed necessary to control or prevent erosion. Additional erosion protection may be required during the rainy season from October 1, to May 31.
- 10.BS GRADE. 8 MAP - DUST CONTROL RECOMMND
- All necessary measures to control dust shall be implemented by the developer during grading. A PM10 plan may be required at the time a grading permit is issued.
- 10.BS GRADE. 9 MAP - 2:1 MAX SLOPE RATIO RECOMMND
- Graded slopes shall be limited to a maximum steepness ratio of 2:1 (horizontal to vertical) unless otherwise approved.
- 10.BS GRADE. 11 MAP - MINIMUM DRNAGE GRADE RECOMMND
- Minimum drainage grade shall be 1% except on portland cement concrete where .35% shall be the minimum.
- 10.BS GRADE. 12 MAP - DRNAGE & TERRACING RECOMMND
- Provide drainage facilities and terracing in conformance with the California Building Code's chapter on "EXCAVATION & GRADING".
- 10.BS GRADE. 13 MAP - SLOPE SETBACKS RECOMMND
- Observe slope setbacks from buildings & property lines per the California Building Code as amended by Ordinance 457.
- 10.BS GRADE. 14 MAP - SLOPES IN FLOODWAY RECOMMND
- Graded slopes which infringe into the 100 year storm flood way boundaries, shall be protected from erosion, or other flood hazards, by a method acceptable to the Building &

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10. GENERAL CONDITIONS

10.BS GRADE. 14 MAP - SLOPES IN FLOODWAY (cont.)

RECOMMND

Safety Department Engineer - which may include Riverside County Flood Control & Water Conservation District's review and approval. However, no graded slope will be allowed which in the professional judgment of the Building and Safety Engineer blocks, concentrates or diverts drainage flows.

10.BS GRADE. 19 MAP - RETAINING WALLS

RECOMMND

Lots which propose retaining walls will require separate permits. They shall be obtained prior to the issuance of any other building permits - unless otherwise approved by the Building and Safety Director. The walls shall be designed by a Registered Civil Engineer - unless they conform to the County Standard Retaining Wall designs shown on the Building and Safety Department form 284-197.

10.BS GRADE. 23 MAP - MANUFACTURED SLOPES

RECOMMND

Plant and irrigate all manufactured slopes equal to or greater than 3 feet in vertical height with drought tolerant grass or ground cover; slopes 15 feet or greater in vertical height shall also be planted with drought tolerant shrubs or trees in accordance with the requirements of Ordinance 457.

10.BS GRADE. 24 MAP - FINISH GRADE

RECOMMND

Finish grade shall be sloped to provide proper drainage away from all exterior foundation walls in accordance with the California Building Code and Ordinance 457.

BS PLNCK DEPARTMENT

10.BS PLNCK. 1 USE - BUILD & SAFETY PLNCK

RECOMMND

PERMIT ISSUANCE:

Per section 105.1 (2010 California Building Code, CBC): Where any owner or authorized agent intends to construct, enlarge, alter, repair, move, demolish or change the occupancy of a building or structure, or to erect, install, enlarge, alter, repair, remove, convert, or replace any electrical, gas, mechanical, or plumbing system, the regulation of which is governed by this code, or to cause any such work to be done, shall first make application to the building official and obtain the required permit.

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10. GENERAL CONDITIONS

10.BS PLNCK. 1

USE - BUILD & SAFETY PLNCK (cont.)

RECOMMND

The applicant shall obtain the required building permit(s) from the building department prior to any construction or placement of any building, structure or equipment on the property.

The applicant shall obtain an approved final building inspection and certificate of occupancy from the building department prior to any use or occupancy of the building, or structure.

At no time shall the approval of the planning case exhibit allow for the construction or use of any building or structure.

In non-residential applications, separate building permits may include a permit for the structure (Shell building), grading, tenant improvements, accessory structures and/or equipment, which may include trash enclosures, light standards, block walls/fencing etcà. In residential applications, each separate structure will require a separate building permit.

CODE/ORDINANCE REQUIREMENTS:

The applicant shall obtain the required building permit(s) from the building department prior to any construction on the property. All building plans and supporting documentation shall comply with current adopted California Building Codes, Riverside County Ordinances, and California Title 25 regulations in effect at the time of building plan submittal and fee payment to the Building Department. All Building Department plan submittal and fee requirements shall apply.

E HEALTH DEPARTMENT

10.E HEALTH. 1

CVWD WATER AND SEWER SERVICE

RECOMMND

Tract Map 30966 Revised Permit No. 1 is proposing to receive potable water and sanitary sewer service from Coachella Valley Water District (CVWD). It is the responsibility of the developer to ensure that all requirements to obtain potable water and sanitary sewer service are met with CVWD as well as all other applicable agencies. All existing onsite wastewater treatment systems (OWTS) and/or wells shall be properly removed or abandoned under permit with the Department of Environmental Health.

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10. GENERAL CONDITIONS

10.E HEALTH. 2

INDUSTRIAL HYGIENE-NOISE STUDY

RECOMMND

Noise Consultant: Urban Crossroads
41 Corporate Park, Suite 300
Irvine, CA 92606

Noise Study: "Tentative Tract Map 30966, Preliminary
Noise Study, County of Riverside,
California" dated June 18, 2013
JN: 08692-02

Based on the County of Riverside, Industrial Hygiene
Program's review of the aforementioned Noise Study,
Tract Map 30966 shall comply with the recommendations set
forth under the Industrial Hygiene Program's response
letter dated July 16, 2013 c/o Steve Hinde, REHS, CIH,
(RivCo Industrial Hygienist).

For further information, please contact the Office of
Industrial Hygiene at (951) 955-8980.

10.E HEALTH. 3

ENV SITE ASSESSMENT REVIEW

RECOMMND

Based on the information provided in the Phase 1
Environmental Site Assessment (Terra Nova, June 2013)
documentation and with the provision that the information
was accurate and representative of site conditions,
RCDEH-ECP concludes no further environmental assessment is
required for this project. As with any real property, if
previously unidentified contamination is discovered at the
site, assessment, investigation, and/or cleanup may be
required.

10.E HEALTH. 4

CONTACT DISTRICT ENV SERVICES

RECOMMND

For any proposed public or semi-public food facility and/or
swimming pool or spa, please contact the County of
Riverside, Department of Environmental Health to obtain
information regarding plan check and permitting
requirements.

County of Riverside, Department of Environmental Health
District Environmental Services - Indio Office
47-950 Arabia Street
Indio, CA 92201
(760) 863-8287

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10. GENERAL CONDITIONS

FIRE DEPARTMENT

10.FIRE. 1 MAP-#50-BLUE DOT REFLECTORS

RECOMMND

Blue retroreflective pavement markers shall be mounted on private streets, public streets and driveways to indicate location of fire hydrants. Prior to installation, placement of markers must be approved by the Riverside County Fire Department.

10.FIRE. 2 MAP-#16-HYDRANT/SPACING

RECOMMND

Schedule B fire protection approved standard fire hydrants, (6"x4"x2 1/2") located one at each street intersection and spaced no more than 500 feet apart in any direction, with no portion of any lot frontage more than 250 feet from a hydrant. Minimum fire flow shall be 1000 GPM for 2 hour duration at 20 PSI. Shall include perimeter streets at each intersection and spaced 1,000 feet apart. (CFC, 2010 edition)

10.FIRE. 5 MAP-CONSTRUCTION PHASING

RECOMMND

Construction phasing beyond phase 1 as shown on the map will require secondary access. Any deadend roads longer than 150 feet will require a turn-around.

10.FIRE. 6 MAP#01B-DESERT RESPONSIBILITY

RECOMMND

It is the responsibility of the recipient of these Fire Department conditions to forward them to all interested parties. The building permit number is required on all correspondence from general contractor, superintendent, owner, subcontractors, etc. Any questions contact Riverside County Fire Department, Planning 77-933 Las Montanas Rd. Ste. 201, Palm Desert, CA 92211. 760-863-8886

10.FIRE. 7 MAP -ROAD REQUIREMENTS

RECOMMND

Per California Fire Code, Section 503.2.5, 2010 Edition.
Dead-end fire apparatus access roads in excess of 150 feet in length shall be provided with an approved area for turning around fire apparatus. Section 503.2.4 states turning radius of a fire apparatus access road shall be determined by the fire code official.

Per Riverside County Ordinance 460.151 Section 3.2(I) states In order to assure adequate evacuation times, whenever lots of a proposed land division are located

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10. GENERAL CONDITIONS

10.FIRE. 7

MAP -ROAD REQUIREMENTS (cont.)

RECOMMND

more than 1,320 feet, or 660 feet in a high fire hazard area, from a publicly maintained circulatory road, alternate or secondary access shall be provided.

10.FIRE. 8

USE-#20-SUPER FIRE HYDRANT

RECOMMND

(COMMUNITY CENTER)

Super fire hydrants) (6"x4"x 2-2 1/2") shall be located not less than 25 feet or more than 250 feet from any portion of the community center as measured along approved vehicular travel ways.

10.FIRE. 9

USE-#23-MIN REQ FIRE FLOW

RECOMMND

(COMMUNITY CENTER)

Minimum required fire flow shall be 1500 GPM for a 2 hour duration at 20 PSI residual operating pressure, which must be available before any combustible material is placed on the job site.

FLOOD RI DEPARTMENT

10.FLOOD RI. 1

MAP FLOOD HAZARD REPORT

RECOMMND

Tract Map No. 30966, revision number 1, is a proposal to Schedule A subdivision of 202 residential lots (Senior housing) with an associated community center. The 40 gross acres site is located in the Bermuda Dunes area, north of Interstate 10 and Avenue 40, west of Adams Street, south of Manorgate Road, and east of Somerest Avenue.

This revision is to an approved tract map which the District has not previously reviewed.

It should be noted that the District's review is limited to the water quality aspects. Drainage aspects/impacts will be reviewed by the Coachella Valley Water District.

The proposed development of this site would adversely impact water quality. The District has reviewed the exhibits and Water Quality Management Plan, received on September 19, 2013. A detention basin is being proposed that mitigates onsite runoff of the 100 year storm flows and therefore, meets water quality standards. However, it is unclear if offsite runoff from a basin located in Tract 29880 and Tract 28242 drains to this tract. This offsite

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10. GENERAL CONDITIONS

10.FLOOD RI. 1

MAP FLOOD HAZARD REPORT (cont.)

RECOMMND

basin is located along the western side of TR 30966 at lot 180. For water quality purposes, if offsite flows are allowed to comingle with the project's onsite flows, all onsite and offsite runoff shall be treated and require larger BMPs. Additional drainage information shall be included to clarify this issue during final design.

Questions related to this case may be directed to Everett Duckworth at 951.955.9412 or Henry Olivo at 951.955.1214.

10.FLOOD RI. 5

MAP SUBMIT FINAL WQMP >PRELIM

RECOMMND

In compliance with Santa Ana Region and San Diego Region Regional Water Quality Control Board Orders, and Beginning January 1, 2005, projects submitted within the western region of the unincorporated area of Riverside County for discretionary approval will be required to comply with the Water Quality Management Plan for Urban Runoff (WQMP). The WQMP addresses post-development water quality impacts from new development and redevelopment projects. The WQMP requirements will vary depending on the project's geographic location (Santa Ana, Santa Margarita or Whitewater River watersheds). The WQMP provides detailed guidelines and templates to assist the developer in completing the necessary studies. These documents are available on-line at: www.floodcontrol.co.riverside.ca.us under Programs and Services, Stormwater Quality.

To comply with the WQMP a developer must submit a "Project Specific" WQMP. This report is intended to a) identify potential post-project pollutants and hydrologic impacts associated with the development; b) identify proposed mitigation measures (BMPs) for identified impacts including site design, source control and treatment control post-development BMPs; and c) identify sustainable funding and maintenance mechanisms for the aforementioned BMPs. A template for this report is included as 'exhibit A' in the WQMP. A final Project Specific WQMP must be approved by the District prior to issuance of building or grading permits.

Projects requiring Project Specific WQMPs are required to submit a PRELIMINARY Project Specific WQMP along with the land-use application package. The format of the PRELIMINARY report shall mimic the format/template of the final report but can be less detailed. For example, points