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10. GENERAL CONDITIONS

10.FLOOD RI. 5

MAP SUBMIT FINAL WQMP >PRELIM (cont.)

RECOMMND

a, b & c above must be covered, rough calculations supporting sizing must be included, and footprint/locations for the BMPs must be identified on the tentative exhibit. Detailed drawings will not be required. This preliminary project specific WQMP must be approved by the District prior to issuance of recommended conditions of approval.

The developer has submitted a report that minimally meets the criteria for a preliminary project specific WQMP. The report will need significant revisions to meet the requirements of a final project specific WQMP. Also, it should be noted that if 401 certification is necessary for the project, the Water Quality Control Board may require additional water quality measures.

10.FLOOD RI. 6

MAP ESTABL MAINT ENTITY

RECOMMND

This project proposes BMP facilities that will require maintenance by public agency or commercial property owner association. To ensure that the public is not unduly burdened with future costs, prior to final approval or recordation of this case, the District will require an acceptable financial mechanism be implemented to provide for maintenance of treatment control BMPs in perpetuity. This may consist of a mechanism to assess individual benefiting property owners, or other means approved by the District. The site's treatment control BMPs must be shown on the project's improvement plans - either the street plans, grading plans, or landscaping plans. The type of improvement plans that will show the BMPs will depend on the selected maintenance entity.

PLANNING DEPARTMENT

10.PLANNING. 1

MAP - MAP ACT COMPLIANCE

RECOMMND

This land division shall comply with the State of California Subdivision Map Act and to all requirements of County Ordinance No. 460, Schedule A, unless modified by the conditions listed herein.

10.PLANNING. 2

MAP - FINAL MAP PREPARER

RECOMMND

The FINAL MAP shall be prepared by a licensed land surveyor or registered civil engineer.

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10.PLANNING. 3 MAP - FEES FOR REVIEW

RECOMMND

Any subsequent review/approvals required by the conditions of approval, including but not limited to grading or building plan review or review of any mitigation monitoring requirement, shall be reviewed on an hourly basis, or other appropriate fee, as listed in county Ordinance No. 671. Each submittal shall be accompanied with a letter clearly indicating which condition or conditions the submittal is intended to comply with.

10.PLANNING. 4 MAP - FINAL PLAN OF DEVELOPMNT

RECOMMND

Model home complex plot plans shall not be approved without prior or concurrent Final Plan of Development approvals.

10.PLANNING. 5 MAP - ZONING STANDARDS

RECOMMND

Lots created by this TENTATIVE MAP shall be in conformance with the development standards of the R-4 and W-1 zones.

10.PLANNING. 6 MAP - 90 DAYS TO PROTEST

RECOMMND

The project applicant has 90 days from the date of approval of these conditions to protest, in accordance with the procedures set forth in Government Code Section 66020, the imposition of any and all fees, dedications, reservations and/or other exactions imposed on this project as a result of the approval or conditional approval of this project.

10.PLANNING. 7 MAP - MAINTAIN FLOOD FACILITY

RECOMMND

The land divider, and the land divider's successors in interest, shall at all times maintain any and all required stormwater, flood control and drainage facilities in a safe condition, in good repair and in a manner capable of being operated as designed.

10.PLANNING. 8 MAP - NO OFFSITE SIGNAGE

RECOMMND

There shall be no offsite signage associated with this land division, except as otherwise provided by Ordinance No. 679.3 (Kiosk Program).

10.PLANNING. 10 MAP - ORD NO. 659 (DIF)

RECOMMND

Prior to the issuance of either a certificate of occupancy or prior to building permit final inspection, the applicant

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10. GENERAL CONDITIONS

10.PLANNING. 10

MAP - ORD NO. 659 (DIF) (cont.)

RECOMMND

shall comply with the provisions of Riverside County Ordinance No. 659, which requires the payment of the appropriate fee set forth in the Ordinance. Riverside County Ordinance No. 659 has been established to set forth policies, regulations and fees related to the funding and construction of facilities necessary to address the direct and cumulative environmental effects generated by new development projects described and defined in this Ordinance, and it establishes the authorized uses of the fees collected.

The fee shall be paid for each residential unit to be constructed within this land division. In the event Riverside County Ordinance No. 659 is rescinded, this condition will no longer be applicable. However, should Riverside County Ordinance No. 659 be rescinded and superseded by a subsequent mitigation fee ordinance, payment of the appropriate fee set forth in that ordinance shall be required.

10.PLANNING. 11

MAP - ORD 875 CVMSHCP FEE (1)

RECOMMND

Prior to the issuance of either a certificate of occupancy or prior to building permit final inspection approval, the holder of the construction permit(s) shall comply with the provisions of Riverside County Ordinance No. 875, which requires payment of the appropriate fee set forth in that ordinance. Riverside County Ordinance No. 875 has been established to set forth policies, regulations and fees related to the funding and acquisition of open space and habitat necessary to address the direct and cumulative environmental effects generated by new development projects described and defined in the ordinance within the Coachella Valley and surrounding mountains.

The fee shall be paid for each residential unit to be constructed within a residential land division. The amount of the fee for commercial and industrial projects shall be calculated on the bases of "Project Area".

In the event Riverside County Ordinance No. 875 is rescinded, this condition will no longer be applicable. However, should Riverside County Ordinance No. 875 be rescinded and superseded by a subsequent mitigation fee ordinance, payment of the appropriate fee set forth in that ordinance shall be required.

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10.PLANNING. 12 MAP - LOW PALEO

RECOMMND

According to the County's General Plan, this site has been mapped as having a "Low Potential" for paleontological resources. This category encompasses lands for which previous field surveys and documentation demonstrates a low potential for containing significant paleontological resources subject to adverse impacts. As such, this project is not anticipated to require any direct mitigation for paleontological resources. However, should fossil remains be encountered during site development:

1.All site earthmoving shall be ceased in the area of where the fossil remains are encountered. Earthmoving activities may be diverted to other areas of the site.

2.The owner of the property shall be immediately notified of the fossil discovery who will in turn immediately notify the County Geologist of the discovery.

3.The applicant shall retain a qualified paleontologist approved by the County of Riverside.

4.The paleontologist shall determine the significance of the encountered fossil remains.

5.Paleontological monitoring of earthmoving activities will continue thereafter on an as-needed basis by the paleontologist during all earthmoving activities that may expose sensitive strata. Earthmoving activities in areas of the project area where previously undisturbed strata will be buried but not otherwise disturbed will not be monitored. The supervising paleontologist will have the authority to reduce monitoring once he/she determines the probability of encountering any additional fossils has dropped below an acceptable level.

6.If fossil remains are encountered by earthmoving activities when the paleontologist is not onsite, these activities will be diverted around the fossil site and the paleontologist called to the site immediately to recover the remains.

7.Any recovered fossil remains will be prepared to the point of identification and identified to the lowest taxonomic level possible by knowledgeable paleontologists. The remains then will be curated (assigned and labeled with museum* repository fossil specimen numbers and

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10. GENERAL CONDITIONS

10.PLANNING. 12

MAP - LOW PALEO (cont.)

RECOMMND

corresponding fossil site numbers, as appropriate; places in specimen trays and, if necessary, vials with completed specimen data cards) and catalogued, an associated specimen data and corresponding geologic and geographic site data will be archived (specimen and site numbers and corresponding data entered into appropriate museum repository catalogs and computerized data bases) at the museum repository by a laboratory technician. The remains will then be accessioned into the museum repository fossil collection, where they will be permanently stored, maintained, and, along with associated specimen and site data, made available for future study by qualified scientific investigators. * Per the County of Riverside "SABER Policy", paleontological fossils found in the County of Riverside should, by preference, be directed to the Western Science Center in the City of Hemet.

8.The property owner and/or applicant on whose land the paleontological fossils are discovered shall provide appropriate funding for monitoring, reporting, delivery and curating the fossils at the institution where the fossils will be placed, and will provide confirmation to the County that such funding has been paid to the institution.

10.PLANNING. 13

MAP-INADVERTENT ARCHAEO FINDS

RECOMMND

The developer/permit holder or any successor in interest shall comply with the following for the life of this permit:

If during ground disturbance activities, cultural resources* are discovered that were not assessed by the archaeological report(s) and/or environmental assessment conducted prior to project approval, the following procedures shall be followed:

1.All ground disturbance activities within 100 feet of the discovered cultural resource shall be halted until a meeting is convened between the developer, the project archaeologist**, and the County Archaeologist to discuss the significance of the find.

2The developer shall call the County Archaeologist immediately upon discovery of the cultural resource to convene the meeting.

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10. GENERAL CONDITIONS

10.PLANNING. 13

MAP-INADVERTENT ARCHAEO FINDS (cont.)

RECOMMND

3At the meeting, the significance of the discoveries shall be discussed and a decision is to be made, with the concurrence of the County Archaeologist, as to the appropriate mitigation (documentation, recovery, avoidance, etc) for the cultural resource.

4Further ground disturbance shall not resume within the area of the discovery until a meeting has been convened with the aforementioned parties and a decision is made, with the concurrence of the County Archaeologist, as to the appropriate mitigation measures.

* A cultural resources site is defined, for this condition, as being three or more artifacts in close association with each other, but may include fewer artifacts if the area of the find is determined to be of significance due to its sacred or cultural importance.

** If not already employed by the project developer, a County approved archaeologist shall be employed by the project developer to assess the value/importance of the cultural resource, attend the meeting described above, and continue monitoring of all future site grading activities as necessary.

10.PLANNING. 14

MAP-IF HUMAN REMAINS FOUND

RECOMMND

The developer/permit holder or any successor in interest shall comply with the following codes for the life of this project:

Pursuant to State Health and Safety Code Section 7050.5, if human remains are encountered, no further disturbance shall occur until the County Coroner has made the necessary findings as to origin. Further, pursuant to Public Resources Code Section 5097.98 (b), remains shall be left in place and free from disturbance until a final decision as to the treatment and their disposition has been made. If the Riverside County Coroner determines the remains to be Native American, the Native American Heritage Commission shall be contacted within the period specified by law. Subsequently, the Native American heritage Commission shall identify the "Most Likely Descendant". The Most Likely Descendant shall then make recommendations and meet with the property owner and the County Archaeologist concerning the treatment of the remains as provided in Public

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10. GENERAL CONDITIONS

10.PLANNING. 14

MAP-IF HUMAN REMAINS FOUND (cont.)

RECOMMND

Resources Code Section 5097.98. Human remains from other ethnic/cultural groups with recognized historical associations to the project area shall also be subject to meeting between appropriate representatives from that group and the County Archaeologist.

10.PLANNING. 15

MAP - LC LANDSCAPE REQUIREMENT

RECOMMND

The developer/ permit holder shall:

- 1) Ensure all landscape and irrigation plans are in conformance with the APPROVED EXHIBITS;
- 2) Ensure all landscaping is provided with California Friendly landscaping and a weather based irrigation controller(s) as defined by County Ordinance No. 859;
- 3) Ensure that irrigation plans which may use reclaimed water conform with the requirements of the local water purveyor; and,
- 4) Be responsible for maintenance, viability and upkeep of all slopes, landscaped areas, and irrigation systems until the successful completion of the twelve (12) month inspection or those operations become the responsibility of the individual property owner(s), a property owner's association, or any other successor-in-interest, whichever occurs later.

To ensure ongoing maintenance, the developer/ permit holder or any successor in interest shall:

- 1) Connect to a reclaimed water supply for landscape irrigation purposes when reclaimed water is made available.
- 2) Ensure that landscaping, irrigation and maintenance systems comply with the Riverside County Guide to California Friendly Landscaping, and Ordinance No. 859.
- 3) Ensure that all landscaping is healthy, free of weeds, disease and pests.

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10. GENERAL CONDITIONS

10.PLANNING. 16

MAP - REQUIRED MINOR PLANS

RECOMMND

For each of the below listed items, a minor plot plan application shall be submitted and approved by the County Planning Department pursuant to Section 18.30.a. (1) of County Ordinance No. 348 (Plot Plans not subject to the California Environmental Quality Act and not subject to review by any governmental agency other than the Planning Department) along with the current fee.

1. Final Site Development Plan for each phase of development.
2. Model Home Complex Plan shall be filed and approved for each phase if models change between phases. A final site of development plot plan must be approved prior to approval, or concurrent with a Model Home Complex Plan.
3. Landscaping Plan for typical front yard/slopes/open space. These three plans may be applied for separately for the whole tract or for phases.
4. Landscaping plans totally in the road right-of-Way shall be submitted to the Transportation Department.
5. A wall and fencing plan for the whole tract or each construction phase shall have a separate wall and fencing plan.
6. Each phase shall have a separate wall and fencing plan.
7. Entry monument and gate entry plan.

NOTE: The requirements of the above plot plans may be accomplished as one, or, any combination of multiple plot plans required by these conditions of approval. However, each requirement shall be cleared individually with the applicable plot plan condition of approval in the "PRIOR TO BUILDING PERMIT" (80 series) conditions.

10.PLANNING. 17

MAP - PRCEDURE FOR PHASING

RECOMMND

Land division phasing, including any proposed common open space area improvement phasing, if applicable, shall be subject to Planning Department approval pursuant to Section 8.3 of Ordinance No. 460. All proposed phasing shall provide for adequate vehicular access to all lots and shall

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10. GENERAL CONDITIONS

10.PLANNING. 17 MAP - PRCEURE FOR PHASING (cont.) RECOMMND

conform to the intent and purpose of the approval. No approval for any number of units or phases is given except as provided by Ordinance. No. 460.

10.PLANNING. 18 MAP - EXTERIOR NOISE LEVELS RECOMMND

Exterior noise levels produced by any use allowed under this permit, including, but not limited to, any outdoor public address system, shall not exceed 45 db(A), 10-minute LEQ, between the hours of 10:00 p.m. to 7:00 a.m., and 65 db(A), 10-minute LEQ, at all other times as measured at any residential, hospital, school, library, nursing home or other similar noise sensitive land use. In the event noise exceeds this standard, the permittee or the permittee's successor-in-interest shall take the necessary steps to remedy the situation, which may include discontinued operation of the facilities. The permit holder shall comply with the applicable standards of Ordinance No. 847.

10.PLANNING. 20 MAP - AIRPORT LAND USE RECOMMND

The land divider, and the land divider's sucessor in interest, shall comply with the requirements of the Riverside County Airport Land Use Commission's letter dated July 24, 2013, a copy which is on file with the Riverside County Planning Department.

10.PLANNING. 23 MAP - INDUSTRIAL HYGIENE RECOMMND

The land divider, and the land divider's sucessor in interest, shall remain in compliance with the Office of Industrial Hygiene's letter dated July 16, 2013, a copy which is on file with the Riverside County Planning Department.

10.PLANNING. 24 MAP - LIGHTING HOODED/DIRECTED RECOMMND

Any outside lighting shall be hooded and directed so as not to shine directly upon adjoining property or public rights-of-way.

10.PLANNING. 25 MAP - BUSINESS LICENSING RECOMMND

Every person conducting a business within the unincorporated area of Riverside County, as defined

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10. GENERAL CONDITIONS

10.PLANNING. 25 MAP - BUSINESS LICENSING (cont.)

RECOMMND

in Riverside County Ordinance No. 857, shall obtain a business license. For more information regarding business registration, contact the Business Registration and License Program Office of the Building and Safety Department at www.rctlma.org.buslic.

10.PLANNING. 27 MAP - COMMON LOT MAINTENANCE

RECOMMND

All common lots and other commonly maintained areas within the area shown on the APPROVED EXHIBIT A shall be kept in good repair. Graffiti shall be removed from any structures within one week of observation and/or notification.

10.PLANNING. 28 MAP - PREVENT DUST & BLOWSAND

RECOMMND

Graded but undeveloped land shall be maintained in a condition so as to prevent a dust and/or blowsand nuisance and shall be either planted with interim landscaping or provided with other wind and water erosion control measures as approved by the Building and Safety Department and the State air quality management authorities.

10.PLANNING. 29 MAP - YARD SETBACKS

RECOMMND

Building setbacks shall comply with the PRD standards of Section 18.5 of Ordinance No. 348 and the following:

40th Avenue -- twenty (20) feet, as measured from the street ROW boundary.

Adams Street -- ten (10) feet, as measured from the street ROW boundary.

Internal building setbacks shall be the following:

The minimum building setback from the interior streets (which boundaries are shown on the final map) shall be ten (10) feet.

The minimum setback between buildings shall be ten (10) feet.

10.PLANNING. 30 MAP - GEO02327

RECOMMND

County Geologic Report (GEO) No. 2327, submitted for this project (TR30966R1) was prepared by Petra and is entitled:

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10. GENERAL CONDITIONS

10. PLANNING. 30

MAP - GEO02327 (cont.)

RECOMMND

"Preliminary Geotechnical Investigation, Tentative Tract Map No. 30966 (Encore Project), Proposed 40-Acre Single Family Residential Site, Located at the Northwest Corner of Avenue 40 and Adams Street, Bermuda Dunes Area, Riverside County, California", dated May 30, 2013. In addition, Petra prepared "Response to Riverside County Planning Department Review Comments, County Geologic Report No. 2327, Tentative Tract Map No. 20966 (Encore Project), Proposed 40-Acre Single Family Residential Site, Located at the Northwest Corner of Avenue 40 and Adams Street, Bermuda Dunes Area, Riverside County, California", dated September 6, 2013. This document is herein incorporated as a part of GEO02327.

GEO02327 concluded:

- 1.No known active faults have been identified on the site.
- 2.The potential for onsite faulting is likely low.
- 3.Results of liquefaction analysis indicated negligible settlement, ranging from 0.02 to 0.07 inches.
- 4.The potential for areal subsidence to affect the site is considered low to moderate.
- 5.The potential for landsliding is considered negligible.
- 6.The slopes are considered to be grossly stable (static and seismic), at the heights and inclinations proposed.
- 7.The slopes would be considered potentially superficially unstable, in that they would be highly erodible.
- 8.The potential for hydroconsolidation to affect the site is considered low.

GEO02327 recommended:

- 1.All graded slopes must be provided with both mechanical erosion protection measures, such as jute matting, and planting with suitable deep-rooted plants that require little water and are capable of surviving the prevailing climate.
- 2.The slopes of the proposed flood control channel on the

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10. GENERAL CONDITIONS

10.PLANNING. 30

MAP - GEO02327 (cont.) (cont.)

RECOMMND

eastern portion of the site should be protected from erosion by riprap, interlocking blocks, erosion mats, concrete liners or other approved erosion-protection measures.

3. In areas to where structures are to be supported by conventional shallow slab-on-grade foundations, spread footings and/or post-tension foundations, the existing ground should be over-excavated to depths that expose competent native soils exhibiting an in-place relative compaction of 85 percent or more.

GEO No. 2327 satisfies the requirement for a fault study for Planning/CEQA purposes. GEO No. 2327 is hereby accepted for Planning purposes. Engineering and other Uniform Building Code parameters were not included as a part of this review or approval. This approval is not intended and should not be misconstrued as approval for grading permit. Engineering and other building code parameters should be reviewed and additional comments and/or conditions may be imposed by the City upon application for grading and/or building permits.

TRANS DEPARTMENT

10.TRANS. 1

MAP - STD INTRO 3(ORD 460/461)

RECOMMND

With respect to the conditions of approval for the referenced tentative exhibit, the land divider shall provide all street improvements, street improvement plans and/or road dedications set forth herein in accordance with Ordinance 460 and Riverside County Road Improvement Standards (Ordinance 461). It is understood that the tentative map correctly shows acceptable centerline elevations, all existing easements, traveled ways, and drainage courses with appropriate Q's, and that their omission or unacceptability may require the map to be resubmitted for further consideration. These Ordinances and all conditions of approval are essential parts and a requirement occurring in ONE is as binding as though occurring in all. All questions regarding the true meaning of the conditions shall be referred to the Transportation Department.

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10.TRANS. 2 MAP - COUNTY WEB SITE

RECOMMND

Additional information, standards, ordinances, policies, and design guidelines can be obtained from the Transportation Department Web site:
<http://rctlma.org/trans/>. If you have questions, please call the Plan Check Section at (951) 955-6527.

10.TRANS. 4 MAP - DRAINAGE 1

RECOMMND

The land divider shall protect downstream properties from damages caused by alteration of the drainage patterns, i.e., concentration or diversion of flow. Protection shall be provided by constructing adequate drainage facilities including enlarging existing facilities and/or by securing a drainage easement. All drainage easements shall be shown on the final map and noted as follows: "Drainage Easement - no building, obstructions, or encroachments by landfills are allowed". The protection shall be as approved by the Transportation Department.

10.TRANS. 5 MAP - DRAINAGE 2

RECOMMND

The land divider shall accept and properly dispose of all off-site drainage flowing onto or through the site. In the event the Transportation Department permits the use of streets for drainage purposes, the provisions of Article XI of Ordinance No. 460 will apply. Should the quantities exceed the street capacity or the use of streets be prohibited for drainage purposes, the subdivider shall provide adequate drainage facilities and/or appropriate easements as approved by the Transportation Department.

10.TRANS. 6 MAP - ENCROACHMENT PERMIT

RECOMMND

An encroachment permit must be obtained from the Transportation Department prior to the commencement of any work within the County road right-of-way.

10.TRANS. 7 MAP - PRIVATE STREETS

RECOMMND

The internal streets within the land division shall not be offered for dedication.

10.TRANS. 8 MAP - FLOOD HAZARD REPORT

RECOMMND

This is a proposal to divide approximately 40 acres into 202 lots to build single family dwelling units on (APN

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10. GENERAL CONDITIONS

10.TRANS. 8

MAP - FLOOD HAZARD REPORT (cont.)

RECOMMND

748-280-008 and 748-280-009.) This project is located at the north-west corner of the intersection 40th and Adams in the Bermuda Dunes community of the unincorporated area of Riverside County. The project site accepts the 100-year storm event regional discharge from the existing Del Webb Sun City development. The expected discharge rate from Del Webb is approximately 15,500 cfs. The developer proppses to address the drainage issues associated with the site through the construction of a multi-use recreational area directing the regional storm water discharges through the site from the southeasterly corner of Del Webb to a point where the flows cross over Adams Street just north of 40th Avenue. To address flows crossing Adams Street, the developer is proposing the use of a low water crossing to insure protection of the intersection of Adams and 40th and to direct flows into the existing downstream flow path. For the remaining on site drainage within the residential area of the project, the developer is proposing to construct a underground storm drain system within the street right-of-way and discharge the flows into a detention basin located adjacent to 40th and westerly of Adams Street. The developers engineer has prepared a hydrology and hydraulics analysis of the proposed project site in enough detail to address the collection and conveyance of storm water flows within the residential site and the conveyance of the regional storm water discharge through the site. The depth of flow crossing Adams Street has been limited to a maximum depth of 2.8-feet above the street surface in accordance with existing limitations placed upon the existing Del Webb drainage located to the north of this site. The developer will be required to work with adjacent property owners including the City of Indio to facilitate the construction of the low water crossing.

The subdivider shall provide mitigation measures to contain 100 percent retention of the incremental increase of the post-development runoff from the 100 year storm shall be required as part of the drainage improvements for this project.

10.TRANS. 9

MAP - FLOOD HAZARD REPORT 2

RECOMMND

The project area is designated Zone A on Federal Flood Insurance rate maps, which are in effect at this time by the Federal Emergency Management Agency (FEMA).

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10. GENERAL CONDITIONS

10.TRANS. 10

MAP - FLOOD HAZARD REPORT 3

RECOMMND

The subdivider shall comply with Riverside County Ordinance No. 458.12 as amended in the preparation of on-site flood protection facilities for this project.

10.TRANS. 11

MAP - TS/EXEMPT

RECOMMND

The Transportation Department has not required a traffic study for the subject project. It has been conveyed by the project proponent that this residential development will be age-restricted and used for senior housing. Based on this project description it has been determined that the project is exempt from traffic study requirements.

10.TRANS. 12

MAP - DRAINAGE 4

RECOMMND

The subdivider of this land division shall delineate on the map the locations of the retention basins and drainage channels to the benefit of Riverside County over said area for flood control purposes unless otherwise agreed to by the Director of Transportation. The developer of this land division shall comply with the Coachella Valley Water District (CVWD) recommendations as outlined in their letter dated March 13, 2013. A note shall be placed on the final map as follows: "Prior to the development of this land division Drainage Easements shall be defined and shown to the benefit of Riverside County over said areas for flood control purposes. Maintenance of said Drainage Easements will be performed by Property Owners Association or as agreed to by the Director of Transportation".

10.TRANS. 13

MAP - LOW WATER CROSSING

RECOMMND

The proposed development will require the construction of a low water crossing along Adams Street north of the intersection of Adams Street and 40th Avenue. This low water crossing will have a maximum depth of flow over the roadway of 2.8-feet with the depth time velocity not exceeding 6. Slope protection will be required on both the upstream and downstream portions of the roadway embankment to prevent erosion of the roadway bed and protect the roadway surface, per standard 307, during a storm when water will discharge over the low water crossing. The developer will be required to obtain permission from adjacent property owners and the City of Indio for the construction of the low water crossing, including drainage easements, permission to construct drainage facilities, and

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10.TRANS. 13

MAP - LOW WATER CROSSING (cont.)

RECOMMND

grading required to accommodate construction. The low water crossing will be designed to protect the intersection of Adams Street and 40th Avenue from inundation as approved by the Director of Transportation.

10.TRANS. 14

MAP - RETENTION BASIN

RECOMMND

Per the project drainage report (dated October 2013); the proponents engineer has calculated the storm water runoff from the 100 year events. The project is designed to convey all the flows from the 202 lots to basin A via an on-site storm drain system.

The existing volume for the 32 acre site was not calculated as they will retain 100% of the 100 year event.

For retention basin sizing and calculations refer to letter/memo dated October 10, 2013 from Alan French to Majeed Farshad.

10.TRANS. 15

MAP - RETENTION BASIN MAINTEN

RECOMMND

Maintenance of retention basins and drainage facilities shall be the responsibility of Property Owners Association or individual property landowners as approved by the Transportation Department. Proper documentation will be provided in the CC&Rs or in the form of an 'operational and maintenance responsibilities requirements' to the satisfaction of the County of Riverside defining the maintenance responsibilities of the individual landowners. Adequate areas shall be incorporated into the final improvements to accommodate maintenance access to and along the proposed drainage retention basins and drainage facilities.

10.TRANS. 16

MAP - DRAINAGE IMPROVEMENTS

RECOMMND

Prior to the occupancy of the first residential unit, all drainage and flood control facilities shall be designed, built and completed. These facilities shall include, but not be limited to the grading of the flood control channel of sufficient size to convey CVWD designated 100-yr flow of flood waters between the southern boundary of Sun City/Palm Desert and Adams Street, grading of all access roads necessary for the maintenance of flood control channel, all detention basins and box culverts under Adams Street.

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10. GENERAL CONDITIONS

10.TRANS. 16

MAP - DRAINAGE IMPROVEMENTS (cont.)

RECOMMND

As agreed by the applicant in letter dated September 20, 2013.

20. PRIOR TO A CERTAIN DATE

PLANNING DEPARTMENT

20.PLANNING. 1

MAP - EXPIRATION DATE

RECOMMND

The conditionally approved TENTATIVE MAP shall expire three (3) years after the county of Riverside Board of Supervisors original approval date, unless extended as provided by County Ordinance No. 460. Action on a minor change and/or revised map request shall not extend the time limits of the originally approved TENTATIVE MAP. A Land Management System (LMS) hold shall be placed on the TENTATIVE MAP, and a LMS hold shall be placed on any subsequent minor change or revised map, which shall be set to take effect on the expiration date. The LMS hold effective date shall be extended in accordance with any permitted extensions of time. The LMS hold shall be downgraded to a LMS notice upon recordation of the the first phase of the TENTATIVE MAP. The LMS hold or notice shall remain in effect until the recordation of the final phase of the TENTATIVE MAP. If the TENTATIVE MAP expires before the recordation of the final phase the LMS hold or notice shall remain in effect and no further FINAL MAP recordation shall be permitted.

40. PRIOR TO PHASING (UNITIZATION)

PLANNING DEPARTMENT

40.PLANNING. 1

MAP - LOT ACCESS/UNIT PLANS

RECOMMND

Any proposed division into units or phasing of the TENTATIVE MAP shall provide for adequate vehicular access to all lots in each unit or phase, and shall substantially conform to the intent and purpose of the land division approval. No approval for any number of units or phases is given by this TENTATIVE MAP and its conditions of approval, except as provided by Section 8.3 (Division into Units) of Ordinance No. 460.

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FIRE DEPARTMENT

50.FIRE. 1 MAP-#67-ECS-GATE ENTRANCES

RECOMMND

Ecs map must be stamped by the Riverside County Surveyor with the following note: Gate entrances shall be at least two feet wider than the width of the traffic lanes) serving that gate. Any gate providing access from a road to a driveway shall be located at least 35 feet setback from the roadway and shall open to allow a vehicle to stop without obstructing traffic on the road. here a one-way road with a single traffic lane provides access to a gate entrance, a 38 feet turning radius shall be used.

50.FIRE. 2 MAP-#88-ECS-AUTOMATIC GATES

RECOMMND

Ecs map must be stamped by the Riverside County Surveyor with the following note: Gate(s) shall be automatic minimum 20 feet in width. Gate access shall be equipped with a rapid entry system. Plans shall be submitted to the Fire Department for approval prior to installation. Automatic/manual gate pins shall be rated with shear pin force, not to exceed 30' pounds. Automatic gates shall be equipped with emergency backup power. Gates activated by the rapid entry system shall remain open until closed by the rapid entry system.

PLANNING DEPARTMENT

50.PLANNING. 1 MAP - PREPARE A FINAL MAP

RECOMMND

After the approval of the TENTATIVE MAP and prior to the expiration of said map, the land divider shall cause the real property included within the TENTATIVE MAP, or any part thereof, to be surveyed and a FINAL MAP thereof prepared in accordance with the current County Transportation Department - Survey Division requirements, the conditionally approved TENTATIVE MAP, and in accordance with Article IX of County Ordinance No. 460.

50.PLANNING. 2 MAP - SURVEYOR CHECK LIST

RECOMMND

The County Transportation Department - Survey Division shall review any FINAL MAP and ensure compliance with the following:

A. All lots on the FINAL MAP shall be in substantial conformance with the approved TENTATIVE MAP relative to

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50.PLANNING. 2 MAP - SURVEYOR CHECK LIST (cont.)

RECOMMND

size and configuration.

B. All lots on the FINAL MAP shall have a minimum lot size of 3,500 square feet net.

C. All lot sizes and dimensions on the FINAL MAP shall be in conformance with the development standards of the R-4 and W-1 zones, and with the Riverside County General Plan.

D. All lots on the FINAL MAP shall comply with the length to width ratios, as established by Section 3.8.C. of County Ordinance No. 460.

E. The common open space areas shall be shown as numbered lots on the FINAL MAP.

50.PLANNING. 5 MAP - FINAL MAP PREPARER

RECOMMND

The FINAL MAP shall be prepared by a licensed land surveyor or registered civil engineer.

50.PLANNING. 6 MAP - ECS SHALL BE PREPARED

RECOMMND

The land divider shall prepare an Environmental Constraints Sheet (ECS) in accordance with Section 2.2. E. & F. of County Ordinance No. 460, which shall be submitted as part of the plan check review of the FINAL MAP.

50.PLANNING. 7 MAP - ECS AFFECTED LOTS

RECOMMND

The following note shall be placed on the FINAL MAP:
"Environmental Constraint Sheet affecting this map is on file in the County of Riverside Transportation Department - Survey Division, in E.C.S. Book ___, Page ___. This affects Lot Nos. 1 through 202."

50.PLANNING. 10 MAP - CC&R RES POA COM. AREA

RECOMMND

The land divider shall (a) notify the Planning Department that the following documents shall be shortly, or have been, submitted to the Office of the County Counsel for the review and approval of that office, and (b) the land divider shall submit to the Office of the County Counsel the following documents:

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50.PLANNING. 10

MAP - CC&R RES POA COM. AREA (cont.)

RECOMMND

1. A cover letter identifying the project for which approval is sought referencing the Planning Department case number(s) (a copy of this cover letter may be sent to the Planning Department to serve as notification) and identifying one individual to represent the land divider if there are any questions concerning the review of the submitted documents; and

2. One (1) copy AND one (1) original, wet signed, notarized and ready for recordation declaration of covenants, conditions, and restrictions; attached to these documents there shall be included a legal description of the property included within the covenants, conditions and restrictions and a scaled map or diagram of such boundaries, both signed and stamped by a California registered civil engineer or licensed land surveyor; and

3. A sample document conveying title to the purchaser of an individual lot or unit which provides that the declaration of covenants, conditions, and restrictions is incorporated therein by reference; and,

4. A deposit equaling three (3) hours of the current hourly fee for the Review of Covenants, Conditions and Restrictions established pursuant to County Ordinance No. 671 at the time the above referenced documents are submitted to the Office of the County Counsel for review and approval.

The declaration of covenants, conditions and restrictions submitted for review shall a) provide for a minimum term of 60 years, b) provide for the establishment of a property owner's association comprised of the owners of each individual lot or unit as tenants in common, c) provide for the ownership of the common area by either the property owner's association or the owners of each individual lot or unit as tenants in common, the common area including, but not necessarily limited to, private streets and common lots for landscaping, recreation, drainage control and open space, d) shall contain the language contained in condition 50.PLANNING.19, below, e) shall contain language "prohibiting private street parking" on any interior private streets within the development, and f) contain the following provisions verbatim:

"Notwithstanding any provision in this Declaration to

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50.PLANNING. 10 MAP - CC&R RES POA COM. AREA (cont.) (cont.) RECOMMND

the contrary, the following provisions shall apply:

The property owners' association established herein shall manage and continuously maintain the 'common area', more particularly described on Exhibit '___', attached hereto, and shall not sell or transfer the 'common area' or any part thereof, absent the prior written consent of the Planning Department of the County of Riverside or the County's successor-in-interest.

The property owners' association shall have the right to assess the owners of each individual lot or unit for the reasonable cost of maintaining such 'common area', and shall have the right to lien the property of any such owner who defaults in the payment of a maintenance assessment. An assessment lien, once created, shall be prior to all other liens recorded subsequent to the notice of assessment or other document creating the assessment lien.

This Declaration shall not be terminated, 'substantially' amended, or property deannexed therefrom absent the prior written consent of the Planning Director of the County of Riverside or the County's successor-in-interest. A proposed amendment shall be considered 'substantial' if it affects the extent, usage, or maintenance of the 'common area' established pursuant to the Declaration.

In the event of any conflict between this Declaration and the Articles of Incorporation, the Bylaws, or the property owners' association Rules and Regulations, if any, this Declaration shall control."

Once approved, the copy and the original declaration of covenants, conditions and restrictions shall be forwarded by the Office of the County Counsel to the Planning Department. The Planning Department will retain the one copy for the case file, and forward the wet signed and notarized original declaration of covenants, conditions and restrictions to the County Transportation Department - Survey Division - for safe keeping until the final map is ready for recordation. The County Transportation Department - Survey Division - shall record the original declaration of covenants, conditions and restrictions in

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50.PLANNING. 10 MAP - CC&R RES POA COM. AREA (cont.) (cont.) RECOMMND
conjunction with the recordation of the final map.

50.PLANNING. 11 MAP - ECS NOTE MT PALOMAR LIGH RECOMMND

The following Environmental Constraint Note shall be placed on the ECS:

"This property is subject to lighting restrictions as required by County Ordinance No. 655, which are intended to reduce the effects of night lighting on the Mount Palomar Observatory. All proposed outdoor lighting systems shall be in conformance with County Ordinance No. 655."

50.PLANNING. 13 MAP - FINAL DESIGN MANUAL RECOMMND

The land divider shall submit five (5) copies of a final design manual reflecting any modifications or amendments to the TENTATIVE MAP and conditions of approval, including the Draft Design Manual (Exhibit M).

50.PLANNING. 15 MAP - FEE BALANCE RECOMMND

Prior to recordation, the Planning Department shall determine if the deposit based fees for the TENTATIVE MAP are in a negative balance. If so, any unpaid fees shall be paid by the land divider and/or the land divider's successor-in-interest.

50.PLANNING. 16 MAP- LC LNDSCP COMMON AREA MA RECOMMND

Prior to map recordation, the developer/permit holder shall submit Covenants, Conditions, and Restrictions (CC&R) to the Riverside County Counsel for review along with the required fees set forth by the Riverside County Fee Schedule.

For purposes of landscaping and maintenance, the following minimum elements shall be incorporated into the CC&R's:

1) Permanent public, quasi-public or private maintenance organization shall be established for proper management of the water efficient landscape and irrigation systems. Any agreements with the maintenance organization shall stipulate that maintenance of landscaped areas will occur in accordance with Ordinance No. 859 (as adopted and any amendments thereto) and the County of Riverside Guide to

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50. PRIOR TO MAP RECORDATION

50.PLANNING. 16

MAP- LC LNDSCP COMMON AREA MA (cont.)

RECOMMND

California Friendly Landscaping.

2)The CC&R's shall prohibit the use of water-intensive landscaping and require the use of low water use landscaping pursuant to the provisions of Ordinance No. 859 (as adopted and any amendments thereto).

3)The common maintenance areas shall include all those identified on the approved landscape maintenance exhibit.

The Planning Department shall clear this condition once a copy of the County Counsel approved CC&R's has been submitted to the Planning Department.

50.PLANNING. 17

MAP - DESERT RECREATION DIST

RECOMMND

Prior to the recordation of the FINAL MAP, the land divider shall submit to the Planning Director a duly and completely executed agreement with the Desert Recreation District which demonstrates to the satisfaction of the County that the land divider has provided for payment of parks and recreation fees and/or dedication of land for the proposed land division in accordance with Section 10.35 of Ordinance No. 460.

50.PLANNING. 18

MAP - ECS NOTE AIRPORT

RECOMMND

The following environmental constraints note shall be placed on the ECS:

"This land division is within 2 miles of the Bermuda Dunes Airport. At the time of the approval of the TENTATIVE MAP by the County of Riverside, the Bermuda Dunes Airport maintained operations to the southeast of this property. Property within this land division may be subject to overflight and noise as necessary to operate aircraft to or from the Bermuda Dunes Airport."

50.PLANNING. 19

MAP - BMPs IN CC&Rs

RECOMMND

The declaration of covenants, conditions and restrictions (CC&Rs) submitted for review shall contain the following provision verbatim:

"The management and maintenance of the 'common area' shall include the following best management practices (BMPs) to

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50.PLANNING. 19

MAP - BMPs IN CC&Rs (cont.)

RECOMMND

reduce storm water pollution:

All pesticides shall be applied in strict accordance to pesticide laws as stated in the State of California Agricultural Code. All pesticide applicators shall be certified by the State as a Qualified Applicator or be directly supervised by a Qualified Applicator. All fertilizers shall be applied at the rate stipulated by the manufacturer. Fertilizer Applicators shall be trained in the proper procedures of determining fertilizer rates and calibration of equipment. Fertilizer shall be applied in such a manner as to avoid application onto hardscape surfaces. Annual soil tests are recommended to advise on which fertilizer elements are needed to avoid application of unnecessary elements, or over application. The local water agency or resource conservation district can assist with detailed information concerning this BMP. (BMP N3)

The Homeowners Association is required to implement trash management and litter control procedures in the common areas aimed at reducing pollution of drainage water. The Association may contract with their landscape maintenance firms to provide this service during regularly scheduled maintenance, which should consist of litter patrol, emptying trash receptacles in common areas, noting trash disposal violations by homeowners or businesses, and reporting the violations to the association for investigation. (BMP N5)

The Homeowners Association is required to have its privately owned streets and parking lots swept prior to the storm season, no later than October 15th of each year (BMP N6)."

TRANS DEPARTMENT

50.TRANS. 1

MAP - DRAINAGE 4

RECOMMND

The subdivider of this land division shall delineate on the map the locations of the retention basins and drainage channels to the benefit of Riverside County over said area for flood control purposes unless otherwise agreed to by the Director of Transportation. The developer of this land division shall comply with the Coachella Valley Water District (CVWD) recommendations as outlined in their letter

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50.TRANS. 1

MAP - DRAINAGE 4 (cont.)

RECOMMND

dated March 13, 2013. A note shall be placed on the final map as follows: "Prior to the development of this land division Drainage Easements shall be defined and shown to the benefit of Riverside County over said areas for flood control purposes. Maintenance of said Drainage Easements will be performed by Property Owners Association or as agreed to by the Director of Transportation".

50.TRANS. 2

MAP - RETENTION BASIN MAINTEN

RECOMMND

Maintenance of retention basins and drainage facilities shall be the responsibility of Property Owners Association or individual property landowners as approved by the Transportation Department. Proper documentation will be provided in the CC&Rs or in the form of an 'operational and maintenance responsibilities requirements' to the satisfaction of the County of Riverside defining the maintenance responsibilities of the individual landowners. Adequate areas shall be incorporated into the final improvements to accommodate maintenance access to and along the proposed drainage retention basins and drainage facilities.

50.TRANS. 13

MAP - CORNER CUTBACKS

RECOMMND

Standard corner cutbacks at the intersection of Adams Street and 40th Avenue and at the intersection of the private streets designated as Street "C" and "J" with 40th Avenue shall be offered for dedication and shown on the final map.

50.TRANS. 18

MAP - STREET LIGHT PLAN

RECOMMND

A separate street light plan is required for this project. Street lighting along Adams Street and 40th Avenue shall be designed in accordance with County Ordinance 460 and Street Light Specification Chart found in Specification Section 22 of Ordinance 461. Street lighting along the internal, private streets shall be as approved by the Transportation Department. For projects within SCE boundaries use County of Riverside Ordinance 461, Standard No's 1000 or 1001. For projects within Imperial Irrigation District (IID) use IID's pole standard.

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50.TRANS. 19

MAP - ANNEX L&LMD/OTHER DIST

RECOMMND

Prior to map recordation, the project proponent shall comply with County requirements within public road rights-of-way, in accordance with Ordinance 461. Assurance of maintenance is required by filing an application for annexation to Landscaping and Lighting Maintenance District No. 89-1-Consolidated and/or any other maintenance district approved by the Transportation Department. Said annexation should include the following:

- (1) Landscaping along 40th Avenue and Adams Street.
- (2) Street lights on 40th Avenue and Adams Street.
- (3) Traffic signals located on 40th Avenue and Adams Street.

For street lighting, the project proponent shall contact the County Service Area (CSA) Project Manager who determines whether the development is within an existing CSA or will require annexation into the CSA.

If the project is outside boundaries of a CSA, the project proponent shall contact the Transportation Department L&LMD 89-1-C Administrator and submit the following:

- (1) Completed Transportation Department application.
- (2) Appropriate fees for annexation.
- (3) Two (2) sets of street lighting plans approved by Transportation Department.
- (4) "Streetlight Authorization" form from SCE, IID or other electric provider.

50.TRANS. 22

MAP - EXISTING MAINTAINED

RECOMMND

Adams Street (Lot "A") is a General Plan road, and is a paved County maintained road and shall be improved with 8-inch concrete curb-and-gutter and 6-foot wide concrete sidewalk located 32-feet from centerline and match up asphalt concrete paving; reconstruction; or resurfacing of existing paving as determined by the Transportation Department within a 50-foot half-width dedicated right-of-way in accordance with County Standard No. 94.

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50.TRANS. 22

MAP - EXISTING MAINTAINED (cont.)

RECOMMND

(64'/100')

The improvements to Adams Street shall include, in their design, an engineered solution to protect the intersection of Adams Street and 40th Avenue from inundation as approved by the Director of Transportation.

** At the request of City of Indio (email dated 9/9/13) the developer shall pay 25% of the actual total cost of the traffic signal installation on Adams Street at 40th Avenue to the City of Indio. This cost shall include the design, contract administration, and construction observation plus the construction cost for the traffic signal. **

40th Avenue (Lot "B") is a General Plan road, and is a paved County maintained road and shall be improved with 8-inch concrete curb-and-gutter and 5-foot wide concrete sidewalk located 43-feet from centerline and match up asphalt concrete paving; reconstruction; or resurfacing of existing paving as determined by the Transportation Department within a 64-foot half-width dedicated right-of-way in accordance with County Standard No. 92, pages 1 & 2. (86'/128')

** At the request of City of Indio (letter dated October 1, 2013) above mentioned half-width right-of-way is changed to 37-feet from centerline of survey to the right-of-way line, and the curb face is located at 22-feet from centerline with 15-feet of parkway. (County Standard No. 103 Collector Street) **

50.TRANS. 24

MAP - UTILITY PLAN

RECOMMND

Electrical power, telephone, communication, street lighting, and cable television lines shall be designed to be placed underground in accordance with Ordinance 460 and 461, or as approved by the Transportation Department. The applicant is responsible for coordinating the work with the serving utility company. This also applies to existing overhead lines which are 33.6 kilovolts or below along the project frontage and between the nearest poles offsite in each direction of the project site. A disposition note describing the above shall be reflected on design improvement plans whenever those plans are required. A written proof for initiating the design and/or application of the relocation issued by the utility company shall be

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50.TRANS. 24

MAP - UTILITY PLAN (cont.)

RECOMMND

submitted to the Transportation Department for verification purposes.

50.TRANS. 26

MAP - LANDSCAPING-DESERT

RECOMMND

Any landscaping within public road rights-of-way shall comply with Transportation Department standards and require approval by the Transportation Department and assurance of continuing maintenance through the establishment of a landscape maintenance district/maintenance agreement or similar mechanism as approved by the Transportation Department.

The landscape design shall incorporate a desert theme, including the extensive use of native desert and drought tolerant plant species. Irrigation systems shall incorporate the use of drip irrigation to the maximum extent feasible. The use of non-organic landscape elements such as rocks, decorative paving, sand and gravel is encouraged. The use of grass, sod or other water intense ground cover plant materials will not be permitted.

Landscape plans shall be submitted on standard County Plan sheet format (24" x 36"). Landscape plans shall be submitted with the street improvement plans and shall depict ONLY such landscaping, irrigation and related facilities as are to be placed within the public road rights-of-way.

50.TRANS. 29

MAP - IMP PLANS

RECOMMND

Improvement plans for the required improvements must be prepared and shall be based upon a design profile extending a minimum of 300 feet beyond the limit of construction at a grade and alignment as approved by the Riverside County Transportation Department. Completion of road improvements does not imply acceptance for maintenance by County.

NOTE: Before you prepare the street improvement plan(s), please review the Street Improvement Plan Policies and Guidelines from the Transportation Department Web site: http://www.rctlma.org/trans/land_dev_plan_check_guidelines.html.

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50.TRANS. 32

MAP - SIGNING & STRIPING PLAN

RECOMMND

A signing and striping plan is required for this project. The applicant shall be responsible for any additional paving and/or striping removal caused by the striping plan. Traffic signing and striping shall be performed by County forces with all incurred costs borne by the applicant, unless otherwise approved by the County Traffic Engineer.

50.TRANS. 33

MAP - LANDSCAPING G.P.-DESERT

RECOMMND

The applicant shall comply with the parkway landscaping requirements of Ordinance 499 for all General Plan Circulation Element roads. Landscaping shall be installed along Adams Street and shall be maintained by annexation into a County Service Area and/or Assessment District or enter into a continuous agreement.

The landscape design shall incorporate a desert theme, including the extensive use of native desert and drought tolerant plant species. Irrigation systems shall incorporate the use of drip irrigation to the maximum extent feasible. The use of non-organic landscape elements such as rocks, decorative paving, sand and gravel is encouraged. The use of grass, sod or other water intense ground cover plant materials will not be permitd.

Landscaping plans shall be submitted with the street improvement plans for approval.

50.TRANS. 34

MAP - STREET IMPROVEMENTS

RECOMMND

The internal streets designated as Streets "D", "E", "F", "G", "H", "I" and "J" shall be improved in accordance with County Standard No. 105, Section "C" modified to utilize a wedge curb with a street width of 32-feet measured from back-of-curb to back-of-curb and a 4-foot wide concrete sidewalk on one side of the street within a separate easement and shown on, and a part of, the street improvement plans. Lot "D" shall terminate in a modified hammerhead as approved by the Transportation Department and the Fire Department. (Reduced width on all of internal streets have been considered based on no street parking are permitted.)

The street designated as Street "C" provides gated access from 40th Avenue and shall be improved in accordance with County Standard No. 104, Section "A" with Type A-8 curb,

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50.TRANS. 34

MAP - STREET IMPROVEMENTS (cont.)

RECOMMND

Standard 201 and shall be widened at the entry to accommodate a center median, a minimum of 50-feet of vehicular stacking distance from the gate control mechanism and a turn around area as approved by the Transportation Department. Northerly of the entry, at the intersection of Street "D", the curb along Lot "C" shall transition from a Type A-8 curb to a wedge curb measuring 40-feet from flow-line to flow-line. (Street "K" shall be constructed with Type A-8 Curb)

The street designated Street "C" up to Street "G" shall be improved in accordance with County Standard No. 105, Section "C" modified to utilize a wedge curb with a street width of 42-feet measured from back-of-curb to back-of-curb and a 4-foot wide concrete sidewalk on one side of the street.

50.TRANS. 35

MAP - STREET LIGHT 1 CERT.

RECOM

Prior to RECORDATION, the landowner shall receive and provide to Transportation Permits, a Certificate of Completion for street lights from LAFCO, for those projects within a County Service Area.

50.TRANS. 36

MAP - PRIVATE STREET MAINT

RECOMMND

The development shall provide for continuous maintenance of the proposed private streets within the development as approved by the Director of Transportation, the Planning Department and County Counsel.

50.TRANS. 37

MAP - KNUCKLES

RECOMMND

Standard knuckles shall be used throughout the landdivision.

50.TRANS. 38

MAP - ST DESIGN/IMPRV CONCEPT

RECOMMND

The street design and improvement concept of this project shall be coordinated with Tentative Tract Map No. 31689 located on the easterly side of Adams Street.

50.TRANS. 39

MAP - EMERGENCY ACCESS

RECOMMND

An emergency access to 40th Avenue from the internal street designated Street "J" shall be constructed. The driveway

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50.TRANS. 39

MAP - EMERGENCY ACCESS (cont.)

RECOMMND

approach on 40th Avenue shall use County Standard No. 207A or as approved by the Transportation Department. The location of this emergency access shall be in accordance with the Exhibit for Tentative Tract No. 30966, Amended No. 4.

50.TRANS. 40

MAP - FINAL MAP DRAIN EASEMNT1

RECOMMND

The developer shall delineate and record all drainage easements to the benefit of the public and agencies, for areas where drainage facilities and other drainage appurtenances are required and/or where drainage flow patterns must be maintained to convey flood plain water, unless otherwise agreed to by the Director of Transportation. A note shall be placed on the final map identifying and describing the easements as follows, "Drainage Easement - no building, obstructions, or encroachments are allowed."

50.TRANS. 41

MAP - FLOODWAYS ECS

RECOMMND

A note shall be placed on the Environmental Constraint Sheet (ECS) stating: "Prior to the development of each lot within this land division Drainage Easements shall be defined and shown on the map to the benefit of the public over said areas for flood control purposes. Maintenance of said Drainage Easements will be performed by Property Owners Association or as agreed to by the Director of Transportation".

50.TRANS. 42

MAP - LOW WATER CROSSING

RECOMMND

The proposed development will require the construction of a low water crossing along Adams Street north of the intersection of Adams Street and 40th Avenue. This low water crossing will have a maximum depth of flow over the roadway of 2.8-feet with the depth time velocity not exceeding 6. Slope protection will be required on both the upstream and downstream portions of the roadway embankment to prevent erosion of the roadway bed and protect the roadway surface, per standard 307, during a storm when water will discharge over the low water crossing. The developer will be required to obtain permission from adjacent property owners and the City of Indio for the construction of the low water crossing, including drainage easements, permission to construct drainage facilities, and

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50.TRANS. 42

MAP - LOW WATER CROSSING (cont.)

RECOMMND

grading required to accommodate construction. The low water crossing will be designed to protect the intersection of Adams Street and 40th Avenue from inundation as approved by the Director of Transportation.

50.TRANS. 43

MAP - ACCESS RESTRICTION/SUR

RECOMMND

Lot access shall be restricted on 40th Avenue and Adams Street and so noted on the final map, with the exception of access points as shown on exhibit as Street "C" and Street "J".

60. PRIOR TO GRADING PRMT ISSUANCE

BS GRADE DEPARTMENT

60.BS GRADE. 1

MAP - NPDES/SWPPP

RECOMMND

Prior to issuance of any grading or construction permits - whichever comes first - the applicant shall provide the Building and Safety Department evidence of compliance with the following: "Effective March 10, 2003 owner operators of grading or construction projects are required to comply with the N.P.D.E.S. (National Pollutant Discharge Elimination System) requirement to obtain a construction permit from the State Water Resource Control Board (SWRCB). The permit requirement applies to grading and construction sites of "ONE" acre or larger. The owner operator can comply by submitting a "Notice of Intent" (NOI), develop and implement a STORM WATER POLLUTION PREVENTION PLAN (SWPPP) and a monitoring program and reporting plan for the construction site. For additional information and to obtain a copy of the NPDES State Construction Permit contact the SWRCB at www.swrcb.ca.gov .

Additionally, at the time the county adopts, as part of any ordinance, regulations specific to the N.P.D.E.S., this project (or subdivision) shall comply with them.

60.BS GRADE. 2

MAP - GRADING SECURITY

RECOMMND

Grading in excess of 199 cubic yards will require a performance security to be posted with the Building and Safety Department. Single Family Dwelling units graded one lot per permit and proposing to grade less than 5,000 cubic yards are exempt.

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60. PRIOR TO GRADING PRMT ISSUANCE

60.BS GRADE. 3

MAP - IMPORT/EXPORT

RECOMMND

In instances where a grading plan involves import or export, prior to obtaining a grading permit, the applicant shall have obtained approval for the import/export location from the Building and Safety Department.

A separate stockpile permit is required for the import site. It shall be authorized in conjunction with an approved construction project and shall comply with the requirements of Ordinance 457.

If an Environmental Assessment, prior to issuing a grading permit, did not previously approve either location, a Grading Environmental Assessment shall be submitted to the Planning Director for review and comment and to the Building and Safety Department Director for approval.

Additionally, if the movement of import / export occurs using county roads, review and approval of the haul routes by the Transportation Department may be required.

60.BS GRADE. 4

MAP - GEOTECH/SOILS RPTS

RECOMMND

Geotechnical soils reports, required in order to obtain a grading permit, shall be submitted to the Building and Safety Department's Grading Division for review and approval prior to issuance of a grading permit. All grading shall be in conformance with the recommendations of the geotechnical/soils reports as approved by Riverside County.* *The geotechnical/soils, compaction and inspection reports will be reviewed in accordance with the RIVERSIDE COUNTY GEOTECHNICAL GUIDELINES FOR REVIEW OF GEOTECHNICAL AND GEOLOGIC REPORTS.

60.BS GRADE. 6

MAP - DRNAGE DESIGN Q100

RECOMMND

All drainage facilities shall be designed in accordance with the Riverside County Flood Control & Water District's or Coachella Valley Water District's conditions of approval regarding this application. If not specifically addressed in their conditions, drainage shall be designed to accommodate 100 year storm flows.

60.BS GRADE. 7

MAP - OFFSITE GDG ONUS

RECOMMND

Prior to the issuance of a grading permit, it shall be the sole responsibility of the owner/applicant to obtain any

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60. PRIOR TO GRADING PRMT ISSUANCE

60.BS GRADE. 7 MAP - OFFSITE GDG ONUS (cont.) RECOMMND

and all proposed or required easements and/or permissions necessary to perform the grading herein proposed.

60.BS GRADE. 8 MAP - NOTRD OFFSITE LTR RECOMMND

A notarized letter of permission from the affected property owners or easement holders shall be provided in instances where off site grading is proposed as part of the grading plan.

60.BS GRADE. 11 MAP - APPROVED WQMP RECOMMND

Prior to the issuance of a grading permit, the owner / applicant shall submit to the Building & Safety Department Engineering Division evidence that the project - specific Water Quality Management Plan (WQMP) has been approved by the Riverside County Flood Control District or Riverside County Transportation Department and that all approved water quality treatment control BMPs have been included on the grading plan.

60.BS GRADE. 13 MAP - PRE-CONSTRUCTION MTG RECOMMND

Upon receiving grading plan approval and prior to the issuance of a grading permit, the applicant is required to schedule a pre-construction meeting with the Building and Safety Department Environmental Compliance Division.

60.BS GRADE. 14 MAP- BMP CONST NPDES PERMIT RECOMMND

Prior to the issuance of a grading permit, the owner / applicant shall obtain a BMP (Best Management Practices) Permit for the monitoring of the erosion and sediment control BMPs for the site. The Department of Building and Safety will conduct NPDES (National Pollutant Discharge Elimination System) inspections of the site based on Risk Level to verify compliance with the Construction General Permit, Stormwater ordinances and regulations until completion of the construction activities, permanent stabilization of the site and permit final.

60.BS GRADE. 15 MAP - SWPPP REVIEW RECOMMND

Grading and construction sites of "ONE" acre or larger required to develop a STORM WATER POLLUTION PREVENTION PLAN (SWPPP) - the owner/applicant shall submit the SWPPP to the

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60. PRIOR TO GRADING PRMT ISSUANCE

60.BS GRADE. 15

MAP - SWPPP REVIEW (cont.)

RECOMMND

Building and Safety Department Environmental Compliance
Division for review and approval prior to issuance of a
grading permit.

EPD DEPARTMENT

60.EPD. 1

- MBTA NESTING BIRD SURVEY

RECOMMND

Birds and their nests are protected by the Migratory Bird Treaty Act (MBTA) and California Department of Fish and Game (CDFG) Codes. Since the project supports suitable nesting bird habitat, removal of vegetation or any other potential nesting bird habitat disturbances shall be conducted outside of the avian nesting season (February 1st through August 31st). If habitat must be cleared during the nesting season, a preconstruction nesting bird survey shall be conducted. The preconstruction nesting bird survey must be conducted by a biologist who holds a current MOU with the County of Riverside. The biologist shall prepare and submit a report, documenting the results of the survey, to the Riverside County Planning Department, Environmental Programs Division (EPD) for review and approval. If nesting activity is observed, appropriate avoidance measures shall be adopted to avoid any potential impacts to nesting birds.

60.EPD. 2

EPD - 30 DAY BURROWING OWL SUR

RECOMMND

Within 30 days prior to the issuance of a grading permit, a pre-construction presence/absence survey for the burrowing owl shall be conducted by a qualified biologist and the results of this presence/absence survey shall be provided in writing to the Environmental Programs Department. If it is determined that the project site is occupied by the Burrowing Owl, take of "active" nests shall be avoided pursuant to the Migratory Bird Treaty Act. However, when the Burrowing Owl is present, relocation outside of the nesting season (March 1 through August 31) by a qualified biologist shall be required. The County Biologist shall be consulted to determine appropriate type of relocation (active or passive) and translocation sites. Occupation of this species on the project site may result in the need to revise grading plans so that take of "active" nests is avoided or alternatively, a grading permit may be issued once the species has been actively relocated.

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60. PRIOR TO GRADING PRMT ISSUANCE

60.EPD. 2

EPD - 30 DAY BURROWING OWL SUR (cont.)

RECOMMND

If the grading permit is not obtained within 30 days of the survey a new survey shall be required.

FLOOD RI DEPARTMENT

60.FLOOD RI. 2

MAP SUBMIT PLANS MINOR REVIEW

RECOMMND

The scope of the District review will be limited to verification that this proposal has met its obligation under the County's municipal stormwater permit. A copy of the BMP improvement plans along with any necessary documentation shall be submitted to the Districts Plan Check Section for review. A copy of the improvement and grading plans shall be included for reference. The plans must receive the District's approval prior to issuance of permits. All submittals shall be date stamped by the engineer and include a completed Flood Control Deposit Based Fee Worksheet and the appropriate plan check fee deposit.

60.FLOOD RI. 3

MAP SUBMIT FINAL WQMP

RECOMMND

A copy of the project specific WQMP shall be submitted to the District for review and approval.

PLANNING DEPARTMENT

60.PLANNING. 1

MAP - CVWD CLEARANCE

RECOMMND

A clearance letter from the Coachella Valley Water District shall be provided to the Riverside County Planning Department verifying compliance with the conditions stated in their letters dated May 9, 2013 and October 4, 2013, copies which are located on file with the Riverside County Planning Department.

60.PLANNING. 2

MAP - PM10 MITIGATION PLAN

RECOMMND

Notwithstanding any provision of Riverside County Ordinance No. 742 (Control of Fugitive Dust & PM10) to the contrary, this project shall comply with the requirements of Ordinance No. 742, including, but not necessarily limited to, the submission of a PM10 Mitigation Plan containing all reasonably available fugitive dust control measures, and, thereafter, the permit holder shall comply with all provisions of the approved PM10 Mitigation Plan during

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60.PLANNING. 2

MAP - PM10 MITIGATION PLAN (cont.)

RECOMMND

grading, earth movement operations and construction of the project as determined by the Director of the Department of Building and Safety.

The permit holder shall submit a copy of the approved PM10 Mitigation Plan to the Planning Department and the submitted copy shall include a cover letter containing a written certification from a state licensed professional that the control measures of the plan are included in the grading and building plans submitted to the Department of Building and Safety pursuant to obtaining a grading permit.

60.PLANNING. 3

MAP - SECTION 1601/1603 PERMIT

RECOMMND

Should any grading or construction be proposed within or along the banks of any natural watercourse or wetland located either on-site or on any required off-site improvement areas, the land divider/permit holder shall provide written notification to the County Planning Department that the appropriate California Department of Fish and Game notification pursuant to Sections 1601/1603 of the California Fish and Game Code has taken place. Or, the land divider shall obtain an "Agreement Regarding Proposed Stream or Lake Alteration" (Section 1601/1603 Permit). Copies of any agreement shall be submitted with the notification.

60.PLANNING. 4

USE - PAD ELV CHNG LIMIT 3FT

RECOMMND

Any and all proposed pad elevtions shown on the TENTATIVE MAP and APPROVED EXHIBIT A greater than three (3) feet shall be subject to review and approval of the Planning Department. Included in the Planning Department review, and prior to any Planning Department determinations, notification shall be given to the Del Webb Homeowner's Association with reasonable period to comment. The land developer shall be responsible to provide all neccessary clearances for the Planning Department.

TRANS DEPARTMENT

60.TRANS. 1

MAP - RETENTION BASIN

RECOMMND

Per the project drainage report (dated October 2013); the proponents engineer has calculated the storm water runoff from the 100 year events. The project is designed to convey

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60. PRIOR TO GRADING PRMT ISSUANCE

60.TRANS. 1 MAP - RETENTION BASIN (cont.)

RECOMMND

all the flows from the 202 lots to basin A via an on-site storm drain system.

The existing volume for the 32 acre site was not calculated as they will retain 100% of the 100 year event.

For retention basin sizing and calculations refer to letter/memo dated October 10, 2013 from Alan French to Majeed Farshad.

60.TRANS. 2 MAP-SBMT/APPVD GRADING PLAN

RECOMMND

When the developer submits a grading plan to the Department of Building and Safety, a copy of the grading plan shall be submitted and approved by the Transportation Department prior to a grading permit issuance.

Submit required grading plan to the Transportation Department, Plan Check Section, 8th Floor, 4080 Lemon Street, Riverside, CA.

60.TRANS. 3 MAP - WATER QUALITY MGMT PLANS

RECOMMND

The developer shall submit Water Quality Management Plans (WQMP) to Riverside County Flood Control & Water Conservation District and Transportation Department for review and approval.

60.TRANS. 6 MAP - ADJACENT PROP DRIAN EASE

RECOMMND

A drainage easement shall be obtained from the affected property owners for the release of concentrated or diverted storm flows onto the adjacent property. A copy of the recorded drainage easement shall be submitted to the Transportation Department for review and approval.

60.TRANS. 7 MAP - DRAINAGE SUBMIT PLANS

RECOMMND

The developer shall comply with Riverside County Ordinance 458.12 as amended in the preparation of on-site flood protection. The developer shall submit plans for grading, landscaping, and irrigation systems, any other necessary documentation along with supporting hydrologic and hydraulic calculations to Riverside County Transportation and CVWD for review and approval. The developer shall pay all fees as required by Riverside County Transportation

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60. PRIOR TO GRADING PRMT ISSUANCE

60.TRANS. 7 MAP - DRAINAGE SUBMIT PLANS (cont.) RECOMMND

Department and CVWD for the review.

60.TRANS. 8 MAP - TYPICAL SITE GRADING RECOMMND

All on-site grading shall be graded to drain to on site drainage facilities. Offsite drainage shall be conveyed through the project site in a manner that will not adversely impact either on-site improvements or worsen the existing drainage conditions to adjacent offsite properties.

70. PRIOR TO GRADING FINAL INSPECT

TRANS DEPARTMENT

70.TRANS. 1 MAP - EROSION CONTROL RECOMMND

Temporary erosion control measures shall be implemented immediately following site grading to prevent depositions of debris onto downstream properties, public right-of-way, or drainage facilities. Plans showing these measures shall be submitted to Riverside County Transportation Department for review prior to the start of any site grading.

80. PRIOR TO BLDG PRMT ISSUANCE

BS GRADE DEPARTMENT

80.BS GRADE. 1 MAP - NO B/PMT W/O G/PMT RECOMMND

Prior to the issuance of any building permit, the property owner shall obtain a grading permit and/or approval to construct from the Building and Safety Department.

80.BS GRADE. 2 MAP - ROUGH GRADE APPROVAL RECOMMND

Prior to the issuance of any building permit, the applicant shall obtain rough grade approval and/or approval to construct from the Building and Safety Department. The Building and Safety Department must approve the completed grading of your project before a building permit can be issued. Rough Grade approval can be accomplished by complying with the following:

1.Submitting a "Wet Signed" copy of the Soils Compaction Report containing substantiating data from the Soils

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80. PRIOR TO BLDG PRMT ISSUANCE

80.BS GRADE. 2

MAP - ROUGH GRADE APPROVAL (cont.)

RECOMMND

Engineer (registered geologist or certified geologist, civil engineer or geotechnical engineer as appropriate) for his/her certification of the project.

2.Submitting a "Wet Signed" copy of the Rough Grade certification from a Registered Civil Engineer certifying that the grading was completed in conformance with the approved grading plan.

3.Requesting a Rough Grade Inspection and obtaining rough grade approval from a Riverside County inspector.

4.Rough Grade Only Permits: In addition to obtaining all required inspections and approval of all final reports, all sites permitted for rough grade only shall provide 100 percent vegetative coverage to stabilize the site prior to receiving a rough grade permit final.

Prior to release for building permit, the applicant shall have met all rough grade requirements to obtain Building and Safety Department clearance.

FIRE DEPARTMENT

80.FIRE. 1

USE-#17A-BLDG PLAN CHECK \$

RECOMMND

(COMMUNITY CENTER)

Building Plan check deposit base fee of \$1,056.00, shall be paid in a check or money order to the Riverside County Fire Department after plans have been approved by our office.

80.FIRE. 2

MAP-#50C-TR WATER VERIFICATION

RECOMMND

The required water system, including all fire hydrant(s), shall be installed and accepted by the appropriate water agency and the Riverside County Fire Department prior to any combustible building material placed on an individual lot. Contact the Riverside County Fire Department to inspect the required fire flow, street signs, all weather surface, and all access and/or secondary. Approved water plans must be a the job site.

80.FIRE. 3

USE-#4-WATER PLANS

RECOMMND

The applicant or developer shall separately submit two copies of the water system plans to the Fire Department for

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80. PRIOR TO BLDG PRMT ISSUANCE

80.FIRE. 3

USE-#4-WATER PLANS (cont.)

RECOMMND

review and approval. Calculated velocities shall not exceed 10 feet per second. Plans shall conform to the fire hydrant types, location and spacing, and the system shall meet the fire flow requirements.

Plans shall be signed and approved by a registered civil engineer and the local water company with the following certification: "I certify that the design of the water system is in accordance with the requirements prescribed by the Riverside County Fire Department."

FLOOD RI DEPARTMENT

80.FLOOD RI. 2

MAP SUBMIT PLANS MINOR REVIEW

RECOMMND

The scope of the District review will be limited to verification that this proposal has met its obligation under the County's municipal stormwater permit. A copy of the BMP improvement plans along with any necessary documentation shall be submitted to the Districts Plan Check Section for review. A copy of the improvement and grading plans shall be included for reference. The plans must receive the District's approval prior to issuance of permits. All submittals shall be date stamped by the engineer and include a completed Flood Control Deposit Based Fee Worksheet and the appropriate plan check fee deposit.

80.FLOOD RI. 3

MAP SUBMIT FINAL WQMP

RECOMMND

A copy of the project specific WQMP shall be submitted to the District for review and approval.

PLANNING DEPARTMENT

80.PLANNING. 2

MAP - CONFORM FINAL SITE PLAN

RECOMMND

Final clearance shall be obtained from the County Planning Department - Development Review Division stipulating that the building plans submitted conform to the approved Final Plan of Development.

80.PLANNING. 3

MAP - ACOUSTICAL STUDY

DELETED

The land divider/permit holder shall cause an acoustical study to be performed by an acoustical engineer to establish appropriate mitigation measures that shall be

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80. PRIOR TO BLDG PRMT ISSUANCE

80.PLANNING. 3 MAP - ACOUSTICAL STUDY (cont.)

DELETED

applied to individual dwelling units within the subdivision to reduce the first and second story ambient interior and exterior levels to 45 Ldn and 65 Ldn, respectively. The study shall be submitted, along with the appropriate fee, to the County Environmental Health Department - Industrial Hygiene Division for review and approval. The approved mitigation measures, if any, shall be forwarded from the Environmental Health Department to the County Department of Building and Safety and the County Planning Department for implementation into the final building plans.

DELETED BY THE PLANNING COMMISSION 12/4/13

80.PLANNING. 4 MAP - SCHOOL MITIGATION

RECOMMND

Impacts to the Desert Sands Unified School District shall be mitigated in accordance with California State law.

80.PLANNING. 5 MAP - ALUC CLEARANCE

RECOMMND

Prior to the issuance of a building permit for the FIRST residential dwelling unit (not including model sales units), a clearance letter from the Airport Land Use Commission shall be provided to the Riverside County Planning Department verifying compliance with the conditions contained in their letter dated July 24, 2013, a copy which is on file with the Riverside County Planning Department.

80.PLANNING. 6 MAP - CVWD CLEARANCE

RECOMMND

A clearance letter from the Coachella Valley Water District shall be provided to the Riverside County Planning Department verifying compliance with the conditions contained in their letters dated May 9, 2013 and October 4, 2013, copies which are on file with the Riverside County Planning Department.

80.PLANNING. 7 MAP - WALLS/FENCING PLOT PLAN

RECOMMND

Prior to the issuance of a building permit for the FIRST residential dwelling unit (not including model sales units), the land divider/permit holder shall file seven (7) sets of a Wall/Fencing Plan to the County Planning Department for review and approval. Said plan shall be submitted to the Department in the form of a plot plan

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80.PLANNING. 7

MAP - WALLS/FENCING PLOT PLAN (cont.)

RECOMMND

application pursuant to County Ordinance No. 348, Section 18.30.a.(1) (Plot Plans not subject to the California Environmental Quality Act and not subject to review by any governmental agency other than the Planning Department), along with the current fee. The plan shall be in compliance with Section 18.12, and the TENTATIVE MAP conditions of approval.

1. The plan shall show all project fencing including, but not limited to, perimeter fencing, side and rear yard fencing, and open space or park fencing. A typical frontal view of all fences shall be shown on the fencing plan.

2. All utility service areas and enclosures shall be screened from view with landscaping or decorative barriers or baffle treatments, as approved by the Planning Department.

3. Comply with the noise reduction measures of the Office of Industrial Hygiene.

NOTE: The requirements of this plot plan may be incorporated with any minor plot plan required by the conditions of approval for this subdivision. However, this WALL/FENCING PLAN condition of approval shall be cleared individually.

AMENDED BY THE PLANNING COMMISSION 12/4/13

80.PLANNING. 8

MAP - ENTRY MONUMENT PLOT PLAN

RECOMMND

Prior to the issuance of building permits for the FIRST dwelling unit (not including model sales units), the land divider/permit holder shall file four (4) sets of an Entry Monument and Gate plot plan to the County Planning Department for review and approval. Said plan shall be submitted to the Department in the form of a plot plan application pursuant to County Ordinance No. 348, Section 18.30.a.(1) (Plot Plans not subject to the California Environmental Quality Act and not subject to review by any governmental agency other than the Planning Department), along with the current fee. The plan shall be in compliance with Section 18.12, and the TENTATIVE MAP conditions of approval.

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80. PRIOR TO BLDG PRMT ISSUANCE

80.PLANNING. 8

MAP - ENTRY MONUMENT PLOT PLAN (cont.)

RECOMMND

The plot plan shall contain the following elements:

1. A color photosimulation of a frontal view of all the entry monument(s) and gate(s) with landscaping.
2. A plot plan of the entry monuments) and/or gate(s) with landscaping drawn to an engineer's scale. If lighting is planned, the location of lights, their intended direction, and proposed power shall be indicated.
3. An irrigation plan for the entry monument(s) and/or gate(s).

NOTE: The requirements of this plot plan may be incorporated with any minor plot plan required by the conditions of approval for this subdivision. However, this ENTRY MONUMENT nd GATES PLAN condition of approval shall be cleared individually.

80.PLANNING. 9

MAP - MODEL HOME COMPLEX

RECOMMND

A plot plan application shall be submitted to the County Planning Department pursuant to Section 18.30.a.(1) of County Ordinance No. 348 (Plot Plans not subject to the California Environmental Quality Act and not subject to review by any governmental agency other than the Planning Department), along with the current fee.

The Model Home Complex plot plan shall contain the following elements:

1. An engineer's scaled plan showing the model home lots, lot numbers, tract number, and north arrow.
2. Show front, side and rear yard setbacks.
3. Provide two dementioned off street parking spaces per model and one parking space for office use. The plan must have one accessible parking space.
4. Show detailed fencing plan including height and location.
5. Show typical model tour sign locations and elevation.
6. Six (6) sets of photographic or color laser prints (8"

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80.PLANNING. 9

MAP - MODEL HOME COMPLEX (cont.)

RECOMMND

X 10") of the sample board and colored elevations shall be submitted for permanent filing and agency distribution after the Planning Department has reviewed and approved the sample board and colored elevations in accordance with the approved Design Manual and other applicable standards. All writing must be legible. Six (6) matrix sheets showing structure colors and texture schemes shall be submitted.

7. Provide a Model Home Complex landscape and irrigation plan.

NOTES: The Model Home Complex plot plan shall not be approved without Final Site Development Plan approval, or concurrent approval of both. See the Planning Department Model Home Complex application for detailed requirements.

The requirements of this plot plan may be incorporated with any minor plot plan required by the subdivision's conditions of approval. However, this MODEL HOME COMPLEX condition of approval shall be cleared individually.

80.PLANNING. 10

MAP - LC LANDSCAPE PLOT PLAN

RECOMMND

Prior to issuance of building permits, the developer/permit holder shall file a Landscaping Minor Plot Plan Application to the Riverside County Planning Department for review and approval along with the current fee. The landscaping plans shall be in conformance with the APPROVED EXHIBITS; in compliance with Ordinance No. 348, Section 18.12; Ordinance No. 859; and, be prepared consistent with the County of Riverside Guide to California Friendly Landscaping.

At minimum, plans shall include the following components:

1) Landscape and irrigation working drawings "stamped" by a California certified landscape architect;

2) Weather based controllers and necessary components to eliminate water waste;

3) A copy of the "stamped" approved grading plans; and,

4) Emphasis on native and drought tolerant species.

When applicable, plans shall include the following components:

1) Identification of all common/open space areas;

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80.PLANNING. 10 MAP - LC LANDSCAPE PLOT PLAN (cont.)

RECOMMND

2) Natural open space areas and those regulated/conserved by the prevailing MSHCP;

3) Shading plans for projects that include parking lots/areas;

4) The use of canopy trees (24" box or greater) within the parking areas;

5) Landscaping plans for slopes exceeding 3 feet in height;

6) Landscaping and irrigation plans associated with entry monuments. All monument locations and dimensions shall be provided on the plan; and/or,

7) If this is a phased development, then a copy of the approved phasing plan shall be submitted for reference.

NOTE:

1) Landscaping plans for areas within the road right-of-way shall be submitted for review and approval by the Transportation Department only. The Planning Department shall not approve landscape plans within the Road Right-of-Way.

) When the Landscaping Plot Plan is located within a special district such as Valley-Wide Recreation and Park District, Jurupa Community Services District, Coachella Valley Water District, a County Service Area (CSA) or other maintenance district, the developer/permit holder shall submit plans for review to the appropriate special district for simultaneous review. The permit holder shall show evidence to the Planning Department that the subject District has approved said plans.

As part of the plan check review process and request for condition clearance, the developer/permit holder shall show proof of the approved landscaping plot plan by providing the Plot Plan number. The planning department shall verify the landscape route is approved and the Plot Plan is in TENTAPPR status. Upon verification of compliance with this condition and the APPROVED EXHIBITS, the Planning Department shall clear this condition.

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80. PRIOR TO BLDG PRMT ISSUANCE

80.PLANNING. 11

MAP - LC LANDSCAPE SECURITIES

RECOMMND

Prior to the issuance of building permits, the developer/permit holder shall submit an estimate to replace plantings, irrigation systems, ornamental landscape elements, walls and/or fences, in amounts to be approved by the Riverside County Planning Department, Landscape Division. Once the Planning Department has approved the estimate, the developer/permit holder shall submit the estimate to the Riverside County Department of Building and Safety who will then provide the developer/permit holder with the requisite forms. The required forms shall be completed and submitted to Building and Safety for processing and review in conjunction with County Counsel. Upon determination of compliance, the Department of Building and Safety shall clear this condition.

NOTE:

A cash security shall be required when the estimated cost is \$2,500.00 or less. It is highly encouraged to allow adequate time to ensure that securities are in place. The performance security shall be released following a successful completion of the One Year Post-Establishment Inspection, and the inspection report confirms that the planting and irrigation components are thriving and in good working order consistent with the approved landscaping plans.

80.PLANNING. 12

USE- LC LNDSCP COMMON AREA MA

RECOMMND

Prior to building permit issuance, the developer/permit holder shall submit Covenants, Conditions, and Restrictions (CC&R) to the Riverside County Counsel for review along with the required fees set forth by the Riverside County Fee Schedule.

For purposes of landscaping and maintenance, the following minimum elements shall be incorporated into the CC&R's:

1) Permanent public, quasi-public or private maintenance organization shall be established for proper management of the water efficient landscape and irrigation systems. Any agreements with the maintenance organization shall stipulate that maintenance of landscaped areas will occur in accordance with Ordinance No. 859 (as adopted and any amendments thereto) and the County of Riverside Guide to California Friendly Landscaping.

2) The CC&R's shall prohibit the use of water-intensive

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80.PLANNING. 12 USE- LC LNDSCP COMMON AREA MA (cont.)

RECOMMND

landscaping and require the use of low water use landscaping pursuant to the provisions of Ordinance No. 859 (as adopted and any amendments thereto).

3)The common maintenance areas shall include all those identified on the approved landscape maintenance exhibit.

The Planning Department shall clear this condition once a copy of the County Counsel approved CC&R's has been submitted to the Planning Department.

80.PLANNING. 13 USE - WASTE MGMT. CLEARANCE

RECOMMND

A clearance letter from Riverside County Waste Management District shall be provided to the Riverside County Planning Department verifying compliance with the conditions contained in their letter dated September 23, 2013, summarized as follows: prior to issuance of a building permit for EACH PHASE, a Waste Recycling Plan (WRP) shall be submitted by the project proponent to the Riverside County Waste Management Department for approval.

80.PLANNING. 14 MAP - FINAL SITE OF DEVELOPMN

RECOMMND

Prior to the issuance of a building permit for the FIRST dwelling unit, a plot plan application shall be submitted to the County Planning Department pursuant to Section 18.30.a.(1) of County Ordinance No. 348 (Plot Plans not subject to the California Environmental Quality Act and not subject to review by any governmental agency other than the Planning Department), along with the current fee.

Subdivision development shall conform to the approved plot plan and shall conform to the approved Design Manual, Exhibit M.

A. The plot plan shall contain the following elements:

1. A final site plan (40' scale precise grading plan) showing all lots, building footprints, setbacks, fencing, entry monuments (location and elevation), mechanical equipment, and the house floor plan and elevation assignments on individual lots.

2. One (1) color and materials sample board containing precise color texture and material swatches or photographs

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80. PRIOR TO BLDG PRMT ISSUANCE

80.PLANNING. 14

MAP - FINAL SITE OF DEVELOPMN (cont.)

RECOMMND

(which may be from supplier's brochures). Indicate on the sample board the name, address and phone number of the preparer and the project applicant, the tract number, and the manufacturer and product numbers where possible (trade names also acceptable).

3. One (1) set of architectural elevations colored to represent the selected color combinations, with symbols keyed to the color and materials sample board. Brief written color and material descriptions shall be located on the colored elevations. No landscaping or other enhancements shall be shown on the elevations.

4. Six (6) sets of photographic or color laser prints (8" x 10") of the sample board and colored elevations shall be submitted for permanent filing and agency distribution after the Planning Department has reviewed and approved the sample board and colored elevations in accordance with the approved Design Manual and other applicable standards. All writing must be legible.

B. Model home complex plot plans shall not be approved without Final Site Plan approval. The submittal and approval of plot plans may be phased provided:

1. A subdivision phasing plan has been approved.

2. A separate plot plan shall be submitted to the Planning Department for each approved tract phase along with the current fee.

3. Each individual plot plan shall be approved by the Planning Director prior to issuance of building permits for lots included within that plot plan.

C. Subdivision development shall conform to the approved plot plan and shall conform to the design guidelines and requirements found in the approved Design Manual, Exhibit M.

80.PLANNING. 15

MAP -YARD SETBACKS

RECOMMND

Prior to the issuance of building permits for EACH residential dwelling, the following shall be verified:

Building setbacks shall comply with the PRD standards of

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80.PLANNING. 15 MAP -YARD SETBACKS (cont.)

RECOMMND

Section 18.5 of Ordinance No. 348 and the following:

40th Avenue -- twenty (20) feet, as measured from the ROW boundary.

Adams Street -- ten (10) feet, as measured from the street ROW boundary.

Internal building setbacks shall be the following:

The minimum building setback from interior streets (which boundaries are shown on the final map) shall be ten (10) feet.

The minimum setback between buildings shall be ten (10) feet.

TRANS DEPARTMENT

80.TRANS. 1 MAP - TUMF

RECOMMND

Prior to the issuance of a building permit, the applicant shall pay the Transportation Uniform Mitigation Fee (TUMF) in accordance with the fee schedule in effect at the time of issuance, pursuant to Ordinance No. 673.

80.TRANS. 2 MAP - ANNEX L&LMD/OTHER DIST

RECOMMND

Prior to issuance of an occupancy permit, the project proponent shall complete annexation to Landscaping and Lighting Maintenance District No. 89-1-Consolidated, and/or other maintenance district approved by the Transportation Department for continuous maintenance within public road rights-of-way, in accordance with Ordinance 461, Comprehensive Landscaping Guidelines & Standards, and Ordinance 859. Said annexation should include the following:

- (1) Landscaping along 40th Avenue and Adams Street.
- (2) Streetlights on 40th Avenue and Adams Street.
- (3) Traffic signals located on 40th Avenue and Adams Street.

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80.TRANS. 3

MAP - FINAL MAP DRAIN EASMT 1

RECOMMND

Proposed retention basins shall be designed of adequate size to retain 100 percent incremental increase of the post-development storm water runoff from the 100 year storm event. The 100 percent retention of the incremental increase of the post-development runoff from the 100 year storm shall be required as part of the drainage improvements for this project. The subdivider shall obtain approval from the Riverside County Transportation Department regarding the adequacy of the retention basin design. Preliminary design will require the submittal of actual infiltration rate of 2-inches per hour. Final design will require the submittal of actual infiltration rate testing otherwise infiltration will be considered as zero.

80.TRANS. 4

MAP - DRAINAGE EASEMENT

RECOMMND

All drainage easements must be 20 feet wide, minimum, located all on one side of a property line.

90. PRIOR TO BLDG FINAL INSPECTION

BS GRADE DEPARTMENT

90.BS GRADE. 1

MAP - WQMP BMP INSPECTION

RECOMMND

Prior to final building inspection, the applicant shall obtain inspection of all treatment control BMPs and/or clearance from the Building and Safety Department. All structural BMPs described in the project - specific WQMP and indicated on the approved grading plan shall be constructed and installed in conformance with the approved plans and specifications. The Building and Safety Department must inspect and approve the completed WQMP treatment control BMPs for your project before a building final can be obtained.

90.BS GRADE. 2

MAP - WQMP BMP CERT REQ'D

RECOMMND

Prior to final building inspection, the applicant/owner shall submit a "Wet Signed" copy of the Water Quality Management Plan (WQMP) Certification from a Registered Civil Engineer certifying that the project - specific WQMP treatment control BMPs have been installed in accordance with the approved WQMP.

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90.BS GRADE. 3 MAP - BMP GPS COORDINATES

RECOMMND

Prior to final building inspection, the applicant/owner shall provide the Department of Building Safety with GPS coordinates for the location of the project - specific WQMP treatment control BMPs.

90.BS GRADE. 4 MAP - WQMP BMP REGISTRATION

RECOMMND

Prior to final building inspection, the applicant/owner shall register the project - specific WQMP treatment control BMPs with the Department of Building Safety Business Registration Division. Any person or entity that owns or operates a facility conditioned to install WQMP treatment control BMPs shall register such facility for annual inspections.

90.BS GRADE. 5 MAP - REQ'D GRDG INSP'S

RECOMMND

The developer / applicant shall be responsible for obtaining the following inspections required by Ordinance 457.

1. Precise grade inspection.

a. Precise Grade Inspection can include but is not limited to the following:

1. Installation of slope planting and permanent irrigation on required slopes.

2. Completion of drainage swales, berms and required drainage away from foundation.

b. Inspection of completed onsite drainage facilities

c. Inspection of the WQMP treatment control BMPs

90.BS GRADE. 7 MAP - PRECISE GRDG APPROVAL

RECOMMND

Prior to final building inspection, the applicant shall obtain precise grade approval and/or clearance from the Building and Safety Department. The Building and Safety Department must approve the precise grading of your project before a building final can be obtained. Precise Grade approval can be accomplished by complying with the following:

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90. PRIOR TO BLDG FINAL INSPECTION

90.BS GRADE. 7

MAP - PRECISE GRDG APPROVAL (cont.)

RECOMMND

1.Requesting and obtaining approval of all required grading inspections.

2.Submitting a "Wet Signed" copy of the Precise (Final) Grade Certification for all lots included in the grading permit from a Registered Civil Engineer certifying that the precise grading was completed in conformance with the approved grading plan.

3.Submitting a "Wet Signed" copy of the Certification certifying the installation of any onsite storm drain systems not inspected by Riverside County Flood Control District or the Riverside County Transportation Department.

4.Submitting a "Wet Signed" copy of the Water Quality Management Plan (WQMP) Certification from a Registered Civil Engineer certifying that the Water Quality Management Plan treatment control BMPs have been installed in accordance with the approved WQMP.

Prior to release for building final, the applicant shall have met all precise grade requirements to obtain Building and Safety Department clearance.

FIRE DEPARTMENT

90.FIRE. 1

USE-#12A-SPRINKLER SYSTEM

RECOMMND

Fire sprinkler systems are required in all new one and two family dwellings. Plans shall be submitted to the Fire Dept. for review and approval prior to sprinkler installation.

90.FIRE. 2

FINAL INSPECTION

RECOMMND

Prior to occupancy a Fire Department inspection is required to verify all conditions stated at plan check are met.

INSPECTION PHONE NUMBER (951)955-5282

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FLOOD RI DEPARTMENT

90.FLOOD RI. 2 MAP BMP - EDUCATION

RECOMMND

The developer shall distribute environmental awareness education materials on general good housekeeping practices that contribute to protection of stormwater quality to all initial users. The developer may obtain NPDES Public Educational Program materials from the District's NPDES Section by either the District's website www.floodcontrol.co.riverside.ca.us, e-mail fcnpdes@co.riverside.ca.us, or the toll free number 1-800-506-2555. Please provide Project number, number of units and location of development. Note that there is a five-day minimum processing period requested for all orders.

The developer must provide to the District's PLAN CHECK Department a notarized affidavit stating that the distribution of educational materials to the tenants is assured prior to the issuance of occupancy permits.

If conditioned for a Water Quality Management Report (WQMP), a copy of the notarized affidavit must be placed in the report. The District MUST also receive the original notarized affidavit with the plan check submittal, by mail or in person in order to clear the appropriate condition. Placing a copy of the affidavit in the WQMP without submitting the original will not guarantee clearance of the condition.

90.FLOOD RI. 3 MAP IMPLEMENT WQMP

RECOMMND

All structural BMPs described in the project-specific WQMP shall be constructed and installed in conformance with approved plans and specifications. It shall be demonstrated that the applicant is prepared to implement all non-structural BMPs described in the approved project specific WQMP and that copies of the approved project-specific WQMP are available for the future owners/occupants. The District will not release occupancy permits for any portion of the project exceeding 80% of the project area prior to the completion of these tasks.

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PLANNING DEPARTMENT

90.PLANNING. 2 MAP - QUIMBY FEES

RECOMMND

Prior to final building inspection approval of EACH dwelling unit, the land divider/permit holder shall present certification to the Riverside County Planning Department that payment of parks and recreation fees and/or dedication of land for park use in accordance with Section 10.35 of County Ordinance No. 460 has taken place. Said certification shall be obtained from the Desert Recreation District.

90.PLANNING. 3 MAP - CONCRETE DRIVEWAYS

RECOMMND

Prior to final building inspection approval of EACH dwelling unit, the land divider/permit holder shall cause all driveways to be constructed of cement concrete.

90.PLANNING. 4 MAP - TRASH ENCLOSURES

RECOMMND

All outdoor trash and rubbish disposal areas for the Community Center shall be enclosed, shall be located on the final landscaping and irrigation plans, and shall be constructed prior to the issuance of occupancy permits. The enclosure(s) shall be a minimum of six (6) feet in height and shall be made with masonry block and a solid gate which screens the bins from external view. Additional enclosed area for the collection of recyclable materials shall be located within, near, or adjacent to each trash enclosure. This recycling collection area shall be a minimum of 50% of the area provided for the trash enclosure(s), or as approved by the County of Riverside Waste Resources Management District. All enclosures, recyclables collections areas, and incidental storage areas should be located away from residential uses and visually screened from surrounding areas with block walls and landscaping. All recycling bins shall be labeled with the universal recycling symbol, and with signage indicating to the users the type of material to be deposited in each bin.

90.PLANNING. 5 MAP - COMMUNITY CTR BIKE RACKS

RECOMMND

At the tract map community center building, a bicylce rack or lockers with a minimum of three (3) spaces shall be provided in convenient locations to facilitate bicycle access to the project area. The bicycle racks shall be shown on the project landscaping and improvement plans

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90.PLANNING. 5

MAP - COMMUNITY CTR BIKE RACKS (cont.)

RECOMMND

submitted for Planning Department approval, and shall be installed in accordance with those plans.

90.PLANNING. 6

MAP - CVWD CLEARANCE

RECOMMND

A clearance letter from the Coachella Valley Water District shall be provided to the Riverside County Planning Department verifying compliance with the conditions of their letters dated May 9, 2013 and October 4, 2013, copies which are on file with the Riverside County Planning Department.

90.PLANNING. 7

MAP - ORD 875 CVMSHCP FEE (2)

RECOMMND

Prior to the issuance of a certificate of occupancy, or upon building permit final inspection, whichever comes first, the land divider or land developer shall comply with the provisions of Riverside County Ordinance No. 875, which requires the payment of the appropriate fee set forth in the ordinance. If the land division is a residential development, the amount of the fee will be based on the density of residential development as defined in the ordinance. If the land division is commercial or industrial, the fee will be calculated on the basis of "Project Area" as defined in the ordinance. In the event Riverside County Ordinance No. 875 is rescinded, this condition will no longer be applicable. However, should Riverside County Ordinance No. 875 be rescinded and superseded by a subsequent mitigation fee ordinance, payment of the appropriate fee set for in that ordinance shall be required.

90.PLANNING. 8

MAP - LC LNDSCP INSPECT DEPOST

RECOMMND

Prior to building permit final inspection, the developer/permit holder shall file an Inspection Request Form and deposit sufficient funds to cover the costs of Installation, Six Month Establishment, and One Year Post-Establishment inspections. In the event that an open landscape case is not available, then the applicant shall open a FEE ONLY case to conduct inspections. The deposit required for landscape inspections shall be determined by the Riverside County Landscape Division. The Planning Department shall clear this condition upon determination of compliance.

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90.PLANNING. 9

MAP - LC COMPLY W/ LNDSCP/ IRR

RECOMMND

The developer/permit holder shall coordinate with their designated landscape representative and the Riverside County Planning Department's landscape inspector to ensure all landscape planting and irrigation systems have been installed in accordance with APPROVED EXHIBITS, landscaping, irrigation, and shading plans. The Planning Department will ensure that all landscaping is healthy, free of weeds, disease and pests; and, irrigation systems are properly constructed and determined to be in good working order. The developer/permit holder's designated landscape representative and the Riverside County Planning Department's landscape inspector shall determine compliance with this condition and execute a Landscape Certificate of Completion. Upon determination of compliance, the Planning Department shall clear this condition.

90.PLANNING. 10

USE - COMMUNITY CENTER PARKING

RECOMMND

A minimum of 15 parking spaces shall be provided as shown on the APPROVED EXHIBIT A for the community center building, unless otherwise approved by the Planning Department. The parking area shall be surfaced with asphaltic concrete or concrete to current standards as approved by the Department of Building and Safety.

90.PLANNING. 11

USE - ACCESSIBLE PARKING

RECOMMND

A minimum of two (2) accessible parking spaces for persons with disabilities shall be provided as shown on APPROVED EXHIBIT A. Each parking space reserved for persons with disabilities shall be identified by a permanently affixed reflectorized sign constructed of porcelain on steel, beaded text or equal, displaying the International Symbol of Accessibility. The sign shall not be smaller than 70 square inches in area and shall be centered at the interior end of the parking space at a minimum height of 80 inches from the bottom of the sign to the parking space finished grade, or centered at a minimum height of 36 inches from the parking space finished grade, ground, or sidewalk. A sign shall also be posted in a conspicuous place, at each entrance to the off-street parking facility, not less than 17 inches by 22 inches, clearly and conspicuously stating the following:

"Unauthorized vehicles not displaying distinguishing placards or license plates issued for physically

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90.PLANNING. 11 USE - ACCESSIBLE PARKING (cont.)

RECOMMND

handicapped persons may be towed away at owner's expense. Towed vehicles may be reclaimed at ____ or by telephoning ____."

In addition to the above requirements, the surface of each parking space shall have a surface identification sign duplicating the symbol of accessibility in blue paint of at least 3 square feet in size.

90.PLANNING. 12 MAP - HOME ADDRESS LIGHTING

RECOMMND

Prior to final building inspection approval of EACH dwelling, a wall-mounted internally lighted address identification sign shall be prominently placed on the front of each dwelling unit in order to facilitate observation of the property's address from the street. The illumination source for the address identification sign shall be controlled by a photocell sensor or a timer. NOTE: Reference Countywide Design Standards & Guidelines (1-13-04), p. 14.

90.PLANNING. 13 USE - CURBS ALONG PLANTERS

RECOMMND

A six inch high curb with a twelve (12) inch wide walkway shall be constructed along planters on end stalls adjacent to automobile parking areas. Public parking areas shall be designed with permanent curb, bumper, or wheel stop or similar device so that a parked vehicle does not overhang required sidewalks, planters, or landscaped areas.

90.PLANNING. 14 USE - UTILITIES UNDERGROUND

RECOMMND

Prior to final building inspection approval of EACH dwelling unit, all utilities, except electrical lines rated 33 kV or greater, for the dwelling unit shall be installed underground. If the permittee provides to the Department of Building and Safety and the Planning Department a definitive statement from the utility provider refusing to allow underground installation of the utilities they provide, this condition shall be null and void with respect to that utility.

90.PLANNING. 15 USE - COMPLY W/ ACOUSTIC STUDY

RECOMMND

Prior to final building inspection approval of EACH dwelling unit, the permit holder shall construct and design

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90.PLANNING. 15 USE - COMPLY W/ ACOUSTIC STUDY (cont.)

RECOMMND

the project in compliance with the recommendations of an approved acoustical study, as reviewed and, as the case may be, modified by the Department of Environmental Health, Office of Industrial Hygiene and approved by the Planning Department.

The permit holder may be required to submit to the Planning Department a written certification from a state licensed professional that the project was constructed in compliance with the recommendations of the approved acoustical study.

The Planning Department may require further inspection by county staff to assure project compliance with this condition of approval.

90.PLANNING. 16 USE - POOL AND SPA FENCING

RECOMMND

Prior to final building inspection approval of the FIRST dwelling unit, or the first dwelling unit of each map unit or construction phase, all swimming pools and spas shall be properly enclosed with minimum five (5) foot high fencing and self-latching gates as required by the state building code (Title 24), notwithstanding any other provisions of Ordinance No. 421 to the contrary. Commercial/Public Swimming pools and spas shall provide or access by physically-handicapped persons.

90.PLANNING. 17 MAP - WASTE MGT. CLEARANCE

RECOMMND

A clearance letter from the Riverside County Waste Management Department shall be provided to the Riverside County Planning Department verifying compliance with the conditions of their letter dated September 23, 2013, summarized as follows: prior to issuance of occupancy permit for EACH PHASE, evidence to demonstrate project compliance with the approved WRP shall be presented by the project proponent to the Planning Division of the Riverside County Waste Management Department.

90.PLANNING. 19 MAP - ORD NO. 659 (DIF)

RECOMMND

Prior to the issuance of either a certificate of occupancy or prior to building permit final inspection for EACH dwelling unit, the applicant shall comply with the provisions of Riverside County Ordinance No. 659, which requires the payment of the appropriate fee set forth in

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90.PLANNING. 19 MAP - ORD NO. 659 (DIF) (cont.)

RECOMMND

the Ordinance. Riverside County Ordinance No. 659 has been established to set forth policies, regulations and fees related to the funding and installation of facilities and the acquisition of open space and habitat necessary to address the direct and cumulative environmental effects generated by new development project described and defined in this Ordinance, and it establishes the authorized uses of the fees collected.

In the event Riverside County Ordinance No. 659 is rescinded, this condition will no longer be applicable. However, should Riverside County Ordinance No. 659 be rescinded and superseded by a subsequent mitigation fee ordinance, payment of the appropriate fee set forth in that ordinance shall be required.

90.PLANNING. 20 MAP - MINIMUM FLOOR AREA

RECOMMND

Prior to final building inspection approval of EACH dwelling unit, the dwelling shall have a minimum floor living area of not less than 1,657 square feet. All buildings and structures shall comply with approved construction plans that are designed in accordance with this condition.

90.PLANNING. 22 MAP - ROOF EQUIPMENT SHIELDING

RECOMMND

Prior to final building inspection approval of EACH dwelling unit and the community center, roof mounted equipment shall be shielded from ground view. Screening material shall be subject to Planning Department approval.

90.PLANNING. 23 MAP - COMMUNITY CTR COMPLETION

RECOMMND

Prior to final building inspection approval of the ONE-HUNDERITH (100) dwelling unit (not including model sales units), the community center building, related parking area and landscaping improvements shall be installed in good condition.

90.PLANNING. 24 MAP - ENTRY MONUMENT PP COMPLY

RECOMMND

Prior to final building inspection approval of the FIRST dwelling unit, the entry monument and main gate area plot plan improvements shall be installed as approved by the Department of Building and Safety.

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90.PLANNING. 25

MAP - YARD SETBACKS

RECOMMND

Prior to final building insepction approval of EACH residential dwelling, the following shall be verified:

Building setbacks shall comply with the PRD standards of Section 18.5 of Ordinance No. 348 and the following:

40th Avenue -- twenty (20) feet, as measured from the street ROW boundary.

Adams Street -- ten (10) feet, as measured from the street ROW boundary.

Internal building setbacks shall be the following:

The minimum building setback from interior streets (which boundaries are shown on the final map) shall be ten (10) feet.

The minimum setback between buildings shall be ten (10) feet.

90.PLANNING. 26

MAP - WALL/BERM REQUIRED

RECOMMND

Masonry walls, and/or combination earthen berms and masonry walls, and fences shall be constructed as follows:

A minimum eight (8) foot high decorative block wall or combination landscaped earthen berm and block wall shall be constructed along the southern site boundary (Avenue 40) and around portions of the south westerly property corner and south easterly property corner (Avenue 40/Adams) as shown in the Office of Industrial Hygiene memo, referenced below.

A minimum six (6) foot high wrought-iron fence with pilasters shall be constructed along the easterly tract boundary (Adams Street), except for that portion of Adams Street requiring a minimum six (6) foot high noise barrier, as indicated in the Office of Industrial Hygiene's memo, referenced below.

The exterior side of all masonry walls shall be surfaced with a protective coating that will facilitate the removal of graffiti. The required wall and/or berm shall be subject to the approval of the Director of the Department of Building and Safety and the Planning Director and the

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90.PLANNING. 26 MAP - WALL/BERM REQUIRED (cont.)

RECOMMND

appropriate flood control agency, and shall be shown on all grading and landscaping plans.

Walls shall comply with the requirements of the Office of Industrial Hygiene's memo dated July 16, 2013, on file with the Riverside County Planning Department.

AMENDED BY THE PLANNING COMMISSION 12/4/13

TRANS DEPARTMENT

90.TRANS. 2 MAP - STREET LIGHTS INSTALL

RECOMMND

Install streetlights along the streets associated with development in accordance with the approved street lighting plan and standards of County Ordinance 460 and 461. For projects within Imperial Irrigation District (IID) use (IID's) pole standard. Streetlight annexation into L&LMD or similar mechanism as approved by the Transportation Department shall be completed.

It shall be the responsibility of the Developer to ensure that streetlights are energized along the streets of those lots where the Developer is seeking Building Final Inspection (Occupancy).

90.TRANS. 3 MAP - UTILITY INSTALL

RECOMMND

Electrical power, telephone, communication, street lighting, and cable television lines shall be placed underground in accordance with Ordinance 460 and 461, or as approved by the Transportation Department. This also applies to existing overhead lines which are 33.6 kilovolts or below along the project frontage and between the nearest poles offsite in each direction of the project site.

A certificate should be obtained from the pertinent utility company and submitted to the Department of Transportation as proof of completion.

90.TRANS. 6 MAP - 80% COMPLETION

RECOMMND

Occupancy releases will not be issued to Building and Safety for any lot exceeding 80% of the total recorded residential lots within any map or phase of map prior to completion of the following improvements:

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90.TRANS. 6

MAP - 80% COMPLETION (cont.)

RECOMMND

- a) Primary and Alternate (secondary) access roads shall be completed and paved to finish grade according to the limits indicated in the improvement plans and as noted elsewhere in these conditions.
- b) Interior roads shall be completed and paved to finish grade according to the limits indicated in the improvement plans and as noted elsewhere in these conditions. All curbs, gutters, sidewalks and driveway approaches shall be installed. The final lift of Asphalt Concrete on interior streets shall be placed prior to the release of the final 20% of homes or the production models or at any time when construction of new homes within the development has stopped. The developer shall be required to cap pave in front of occupied homes up to the nearest capped street within the tract boundary. The subdivision will remain responsible for the maintenance of these facilities until all improvements within the tract boundary shall be completed and accepted into the County maintained system.
- c) Storm drains and flood control facilities shall be completed according to the improvement plans and as noted elsewhere in these conditions. Written confirmation of acceptance for use by the Flood Control District, if applicable, is required.
- d) Water system, including fire hydrants, shall be installed and operational, according to the improvement plans and as noted elsewhere in these conditions. All water valves shall be raised to pavement finished grade. Written confirmation of acceptance from water purveyor is required.
- e) Sewer system shall be installed and operational, according to the improvement plans and as noted elsewhere in these conditions. All sewer manholes shall be raised to pavement finished grade. Written confirmation of acceptance from sewer purveyor is required.
- f) Landscaping and irrigation, water and electrical

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90.TRANS. 6 MAP - 80% COMPLETION (cont.) (cont.)

RECOMMND

systems shall be installed and operational in accordance with County Ordinance 461.

90.TRANS. 7 MAP - LANDSCAPING

RECOMMND

The project proponent shall comply in accordance with landscaping requirements within public road rights-of-way, (or within easements adjacent to the public rights-of-way), in accordance with Ordinance 461, Comprehensive Landscaping Guidelines & Standards, and Ordinance 859.

Landscaping shall be improved within 40th Avenue and Adams Street.

90.TRANS. 8 MAP - DRAINAGE IMPROV NOTICE

RECOMMND

All drainage improvements including the construction of drainage swales, storm drains, inlet structures, and retention basins are required to be completed prior to occupancy.

90.TRANS. 9 MAP - OWNER MAINT NOTICE

RECOMMND

The subdivider shall record sufficient documentation to advise purchasers of any parcel that the owners of individual parcels are responsible for the maintenance of the drainage facility (including the retention basins). A viable maintenance mechanism acceptable to Riverside County should be provided for the retention basins and drainage systems. The subdivider shall prepare the CC&R and obtain approval from Riverside County Transportation Department regarding the maintenance of the retention systems. The CC&R shall include the language that each individual owner will inspect the systems a minimum two times a year and also remove debris from the basins two times a year. These maintenance wordings shall be shown on the title sheet of improvement plans.

90.TRANS. 10 MAP - DRAINAGE IMPROVEMENTS

RECOMMND

Prior to the occupancy of the first residential unit, all drainage and flood control facilities shall be designed, built and completed. These facilities shall include, but not be limited to the grading of the flood control channel of sufficient size to convey CVWD designated 100-yr flow of flood waters between the southern boundary of Sun City/Palm

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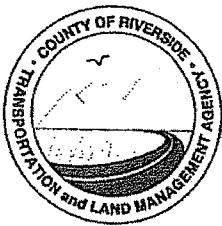
90.TRANS. 10

MAP - DRAINAGE IMPROVEMENTS (cont.)

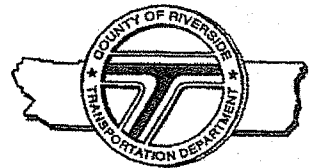
RECOMMND

Desert and Adams Street, grading of all access roads necessary for the maintenance of flood control channel, all detention basins and box culverts under Adams Street..

As agreed by the applicant in letter dated September 20, 2013.



COUNTY OF RIVERSIDE
TRANSPORTATION AND
LAND MANAGEMENT AGENCY



Juan C. Perez, P.E., T.E.
Director of Transportation

Transportation Department

MEMORANDUM

To: Majeed Farshad

Date: October 10, 2013

From: Alan French *AF*

RE: Recommended Conditions of Approval for
Tract No. 30966R1, Encore

Transportation Plan Check Riverside has received the following data:

1. Preliminary Drainage Report for TR 30966R1 (September 2013)
2. Preliminary Drainage Report for TR 30966R1 (Revised October 2, 2013)

Transportation has completed the review of the above report and has prepared the drainage related conditions for the project. The proponent proposes to collect the incremental 100 year storm runoff generated from the site and use catch basins and pipes to convey surface flows to a detention basin to handle and clean the flows. The following are our recommended Conditions of Approval for drainage improvements for this project:

10. GENERAL CONDITIONS

10. TRANS MAP – DRAINAGE 1

The subdivider shall protect downstream properties from damages caused by alteration of the drainage patterns, i.e., concentration or diversion of flow. Protection shall be provided by constructing adequate drainage facilities including enlarging existing facilities and/or by securing a drainage easement. All drainage easements shall be shown on the final map and noted as follows: "Drainage Easement - no building, obstructions, or encroachments by landfills are allowed." The protection shall be as approved by the Transportation Department.

10. TRANS MAP – DRAINAGE 2

The subdivider shall accept and properly dispose of all off-site drainage flowing onto or through the site. In the event the Transportation Department permits the use of streets for drainage purposes, the provisions of Article XI of Ordinance No. 460 will apply.

Should the quantities exceed the street capacity or the use of streets be prohibited for drainage purposed, the subdivider shall provide adequate drainage facilities and/or appropriate easements as approved by the Transportation Department.

10. TRANS

MAP – FLOOD HAZARD REPORT

This is a proposal to subdivide approximately 40 acres into 202 lots to build single family dwelling units on (APN 748-280-008 and 748-280-009). This project is located at the north-west corner of the intersection of 40th and Adams in the Bermuda Dunes community of the unincorporated area of Riverside County. The project site accepts the 100-year storm event regional discharge from the existing Del Webb Sun City development. The expected discharge rate from Del Webb is approximately 15,500 cfs. The developer proposes to address the drainage issues associated with the site through the construction of a multi-use recreational area directing the regional storm water discharges through the site from the southeasterly corner of Del Webb to a point where the flows cross over Adams Street just north of 40th Ave. To address the flows crossing Adams Street, the developer is proposing the use of a low water crossing to insure protection of the intersection of Adams and 40th and to direct the flows into the existing downstream flow path. For the remaining on onsite drainage within the residential area of the project, the developer is proposing to construct an underground storm drain system within the street right-of-way and discharge the flows into a detention basin located adjacent to 40th and westerly of Adams Street. The developers engineer has prepared a hydrology and hydraulics analysis of the proposed project site in enough detail to address the collection and conveyance of storm water flows within the residential site and the conveyance of the regional storm water through the site. The depth of flow crossing Adams Street has been limited to a maximum depth of 2.8 feet above the street surface in accordance with the existing limitations placed upon the existing Del Webb drainage located to the north of this site. The developer will be required to work with adjacent property owners including the City of Indio to facilitate the construction of the low water crossing.

The subdivider shall provide mitigation measures to contain 100 percent retention of the incremental increase of the post-development runoff from the 100 year storm shall be required as part of the drainage improvements for this project.

10. TRANS

MAP – FLOOD HAZARD REPORT 2

The project area is designated Zone A on Federal Flood Insurance rate maps, which are in effect at this time by the Federal Emergency Management Agency (FEMA).

10. TRANS

MAP – FLOOD HAZARD REPORT 3

The subdivider shall comply with Riverside County Ordinance No. 458.12 as amended in the preparation of on-site flood protection facilities for this project

10. TRANS

MAP – DRAINAGE 4

The subdivider of this land division shall delineate on the map the locations of the retention basins and drainage channels to the benefit of Riverside County over said area for flood control purposes unless otherwise agreed to by the Director of Transportation. The developer of this land division shall comply with the Coachella Valley Water District (CVWD) recommendations as outlined in their letter dated March 13, 2013. A note shall be placed on the final map as follows: "Prior to the development of this land division Drainage Easements shall be defined and shown to the benefit of Riverside County over said areas for flood control purposes. Maintenance of said Drainage Easements will be performed by Property Owners Association or as agreed to by the Director of Transportation".

10. TRANS

MAP – LOW WATER CROSSING

The proposed development will require the construction of a low water crossing along Adams Street north of the intersection of Adams Street and 40th Avenue. This low water crossing will have a maximum depth of flow over the roadway of 2.8-feet with the depth time velocity not exceeding 6. Slope protection will be required on both the upstream and downstream portions of the roadway embankment to prevent erosion of the roadway bed and protect the roadway surface, per standard 307, during a storm when water will discharge over the low water crossing. The developer will be required to obtain permission from adjacent property owners and the City of Indio for the construction of the low water crossing, including drainage easements, permission to construct drainage facilities, and grading required to accommodate construction. The low water crossing will be designed to protect the intersection of Adams Street and 40th Avenue from inundation as approved by the Director of Transportation.

10. TRANS

MAP – RETENTION BASIN

Per the project drainage report (dated October 2013); the proponents engineer has calculated the storm water runoff from the 100year events. The project is designed to convey all the flows from the 202 lots to basin A via an on-site storm drain system.

The existing volume for the 32 acre site was not calculated as they will retain 100% of the 100 year event.

Basin A is located on the south east part of the property and accepts the flows from all lots and streets within the development. The flow volumes were calculated as follows:

| 100-year Event | 1-hr Duration | 3-hr Duration | 6-hr Duration | 24-hr Duration |
|-------------------------|------------------|------------------|------------------|-------------------|
| Developed Volume -af | 3.33 | 4.00 | 4.79 | 6.82 |

Of these durations above the critical volume is 6.82 af for the 24-hr duration event, which is equivalent to 2.55 inch effective rain fall for the 40 acre subarea for the 100-year storm event.

The proponent is proposing about a 40' by 250' basin for retention design. The proposed retention basin is sized with the following characteristics:

| Elevation | Ave Area (sf) | Volume (cf) | Accumulative volume (cf) |
|-----------|---------------|-------------|--------------------------|
| 71.0 | 11,856 | 0 | 0 |
| 72.0 | 14,195 | 0.30 | 0.30 |
| 73.0 | 16,633 | 0.35 | 0.65 |
| 74.0 | 19,172 | 0.41 | 1.06 |
| 75.0 | 21,841 | 0.47 | 1.53 |
| 76.0 | 24,865 | 0.54 | 2.07 |
| 77.0 | 28,064 | 0.61 | 2.68 |
| 78.0 | 31,491 | 0.68 | 3.36 |
| 79.0 | 35,035 | 0.76 | 4.13 |
| 80.0 | 38,720 | 0.85 | 4.97 |
| 81.0 | 42,400 | 0.93 | 5.90 |
| 82.0 | 46,147 | 1.02 | 6.92 |
| 83.0 | 49,945 | 1.10 | 8.02 |

The basin storage capacity is 6.92 af. Therefore, the developed site total volume is 6.92 af from the subdivision. The total basin capacity is 6.92 af which exceeds the required volume.

Based on the calculations in the report and the proposed facilities, the project proponent will have provided enough storage capacity for the project to retain on-site incremental storm runoff in the 100 year event.

10. TRANS

MAP - RETENTION BASIN MAINTEN

Maintenance of retention basins and drainage facilities shall be the responsibility of Property Owners Association or individual property landowners as approved by the Transportation Department. Proper documentation will be provided in the CC&Rs or in

the form of an 'operational and maintenance responsibilities requirements' to the satisfaction of the County of Riverside defining the maintenance responsibilities of the individual landowners. Adequate areas shall be incorporated into the final improvements to accommodate maintenance access to and along the proposed drainage retention basins and drainage facilities.

10. TRANS

MAP – DRAINAGE IMPROVEMENTS

Prior to the occupancy of the first residential unit, all drainage and flood control facilities shall be designed, built and completed. These facilities shall include, but not be limited to the grading of the flood control channel of sufficient size to convey CVWD designated 100-yr flow of flood waters between the southern boundary of Sun City/Palm Desert and Adams Street, grading of all access roads necessary for the maintenance of flood control channel, all detention basins and box culverts under Adams Street.

As agreed by the applicant in letter dated September 20, 2013.

50. PRIOR TO MAP RECORDATION

50. TRANS

MAP – FINAL MAP DRAIN EASEMENT1

The developer shall delineate and record all drainage easements to the benefit of the public and agencies, for areas where drainage facilities and other drainage appurtenances are required and/or where drainage flow patterns must be maintained to convey flood plain water, unless otherwise agreed to by the Director of Transportation. A note shall be placed on the final map identifying and describing the easements as follows, "Drainage Easement - no building, obstructions, or encroachments are allowed."

50. TRANS

MAP – FLOODWAYS ECS

A note shall be placed on the Environmental Constraint Sheet (ECS) stating: "Prior to the development of each lot within this land division Drainage Easements shall be defined and shown on the map to the benefit of the public over said areas for flood control purposes. Maintenance of said Drainage Easements will be performed by Property Owners Association or as agreed to by the Director of Transportation".

50. TRANS**MAP – LOW WATER CROSSING**

The proposed development will require the construction of a low water crossing along Adams Street north of the intersection of Adams Street and 40th Avenue. This low water crossing will have a maximum depth of flow over the roadway of 2.8-feet with the depth time velocity not exceeding 6. Slope protection will be required on both the upstream and downstream portions of the roadway embankment to prevent erosion of the roadway bed and protect the roadway surface, per standard 307, during a storm when water will discharge over the low water crossing. The developer will be required to obtain permission from adjacent property owners and the City of Indio for the construction of the low water crossing, including drainage easements, permission to construct drainage facilities, and grading required to accommodate construction. The low water crossing will be designed to protect the intersection of Adams Street and 40th Avenue from inundation as approved by the Director of Transportation.

60. PRIOR TO GRADING PRMT ISSUANCE**60. TRANS****MAP – DRAINAGE SUBMIT PLANS**

The developer shall comply with Riverside County Ordinance 458.12 as amended in the preparation of on-site flood protection. The developer shall submit plans for grading, landscaping, and irrigation systems, any other necessary documentation along with supporting hydrologic and hydraulic calculations to Riverside County Transportation and CVWD for review and approval. The developer shall pay all fees as required by Riverside County Transportation Department and CVWD for the review.

60. TRANS**MAP – TYPICAL SITE GRADING**

All on-site grading shall be graded to drain to on site drainage facilities. Offsite drainage shall be conveyed through the project site in a manner that will not adversely impact either on-site improvements or worsen the existing drainage conditions to adjacent offsite properties.

70. PRIOR TO GRADING FINAL INSPECT

70. TRANS

MAP – EROSION CONTROL

Temporary erosion control measures shall be implemented immediately following site grading to prevent depositions of debris onto downstream properties, public right-of-way, or drainage facilities. Plans showing these measures shall be submitted to Riverside County Transportation Department for review prior to the start of any site grading.

80. TRANS PRIOR TO BLDG PRMT ISSUANCE

80. TRANS

MAP – FINAL MAP DRAIN EASMT1

Proposed retention basins shall be designed of adequate size to retain 100 percent incremental increase of the post-development storm water runoff from the 100 year storm event. The 100 percent retention of the incremental increase of the post-development runoff from the 100 year storm shall be required as part of the drainage improvements for this project. The subdivider shall obtain approval from the Riverside County Transportation Department regarding the adequacy of the retention basin design. Preliminary design will require the submittal of actual infiltration rate of 2-inches per hour. Final design will require the submittal of actual infiltration rate testing otherwise infiltration will be considered as zero.

80. TRANS

MAP – DRAINAGE EASEMENT

All drainage easements must be 20 feet wide, minimum, located all on one side of a property line.

90. PRIOR TO BLDG FINAL INSPECTION

90. TRANS

MAP – DRAINAGE IMPROV NOTICE

All drainage improvements including the construction of drainage swales, storm drains, inlet structures, and retention basins are required to be completed prior to occupancy.

90. TRANS

MAP – OWNER MAINT NOTICE

The subdivider shall record sufficient documentation to advise purchasers of any parcel that the owners of individual parcels are responsible for the maintenance of the drainage facility (including the retention basins). A viable maintenance mechanism acceptable to Riverside County should be provided for the retention basins and drainage systems. The subdivider shall prepare the CC&R and obtain approval from Riverside County Transportation Department regarding the maintenance of the retention systems. The CC&R shall include the language that each individual owner will inspect the systems a minimum two times a year and also remove debris from the basins two times a year. These maintenance wordings shall be shown on the title sheet of improvement plans.

90. TRANS

MAP – DRAINAGE IMPROVEMENTS

Prior to the occupancy of the first residential unit, all drainage and flood control facilities shall be designed, built and completed. These facilities shall include, but not be limited to the grading of the flood control channel of sufficient size to convey CVWD designated 100-yr flow of flood waters between the southern boundary of Sun City/Palm Desert and Adams Street, grading of all access roads necessary for the maintenance of flood control channel, all detention basins and box culverts under Adams Street.

As agreed by the applicant in letter dated September 20, 2013.



Riverside County
Waste Management Department

Hans W. Kernkamp, General Manager-Chief Engineer

September 23, 2013

RECEIVED
SEP 24 2013

ADMINISTRATION
RIVERSIDE COUNTY
PLANNING DEPARTMENT

Jay Olivas, Project Planner
Riverside County Planning Department
P. O. Box No. 1409
Riverside, CA 92502-1409

RE: Tentative Tract Map (TR) No. 30966 R1
Proposal: The TR proposes to divide 40 acres into 202 residential lots.
APNs: 748-280-008; -009

Dear Mr. Olivas:

The Riverside County Waste Management Department (RCWMD) has reviewed the proposed project located north of Interstate 10 and Avenue 40, east of Somerest Avenue, south of Manorgate Road and west of Adams Street, in the Western Coachella Valley Area Plan. In order to mitigate the project's potential solid waste impacts and help the County comply with AB 939 (Integrated Waste Management Act), AB 1327 (California Solid Waste Reuse and Recycling Access Act), the California Green Building Standards, and AB 341 (Mandatory Commercial Recycling) through diverting solid waste from landfill disposal, the RCWMD recommends that the following conditions be made a part of any Conditions of Approval for the project:

1. **Prior to issuance of a building permit**, the applicant shall submit three (3) copies of a Recyclables Collection and Loading Area plot plan to the Riverside County Waste Management Department for review and approval. The plot plan shall conform to ***Design Guidelines for Recyclables Collection and Loading Areas***, provided by the Waste Management Department, and shall show the location of and access to the collection area for recyclable materials, along with its dimensions and construction detail, including elevation/façade, construction materials and signage. The plot plan shall clearly indicate how the trash and recycling enclosures shall be accessed by the hauler.
2. **Prior to final building inspection**, the applicant shall construct the recyclables collection and loading area in compliance with the Recyclables Collection and Loading Area plot plan, as approved and stamped by the Riverside County Waste Management Department.
3. **Prior to issuance of a building permit for EACH PHASE**, A Waste Recycling Plan (WRP) shall be submitted to the Riverside County Waste Management Department for approval. At a minimum, the WRP must identify the materials (i.e., concrete, asphalt, wood, etc.) that will be generated by construction and development, the projected amounts, the measures/methods that will be taken to recycle, reuse, and/or reduce the amount of materials, the facilities and/or haulers that will be utilized, and the targeted recycling or reduction rate. During project construction, the project site shall have, at a minimum, two (2) bins: one for waste disposal and the other for the recycling of Construction and Demolition (C&D) materials. Additional bins are encouraged to be used for further source separation of C&D recyclable materials. Accurate record keeping (receipts) for recycling of C&D recyclable materials and solid waste disposal must be kept. Arrangements can be made through the franchise hauler.

4. **Prior to issuance of an occupancy permit for EACH PHASE**, evidence (i.e., receipts or other type of verification) to demonstrate project compliance with the approved WRP shall be presented by the project proponent to the Planning Division of the Riverside County Waste Management Department in order to clear the project for occupancy permits. Receipts must clearly identify the amount of waste disposed and Construction and Demolition (C&D) materials recycled.
5. Hazardous materials are not accepted at Riverside County landfills. In compliance with federal, state, and local regulations and ordinances, any hazardous waste generated in association with the project shall be disposed of at a permitted Hazardous Waste disposal facility. Hazardous waste materials include, but are not limited to, paint, batteries, oil, asbestos, and solvents. For further information regarding the determination, transport, and disposal of hazardous waste, please contact the Riverside County Department of Environmental Health, Environmental Protection and Oversight Division, at 1.888.722.4234.
6. AB 341 focuses on increased commercial waste recycling as a method to reduce greenhouse gas (GHG) emissions. The regulation requires businesses and organizations that generate four or more cubic yards of waste per week and multifamily units of 5 or more, to recycle. A business shall take at least one of the following actions in order to reuse, recycle, compost, or otherwise divert commercial solid waste from disposal:
 - Source separate recyclable and/or compostable material from solid waste and donate or self-haul the material to recycling facilities.
 - Subscribe to a recycling service with their waste hauler.
 - Provide recycling service to their tenants (if commercial or multi-family complex).
 - Demonstrate compliance with the requirements of California Code of Regulations Title 14.

For more information, please visit:

www.rivcowm.org/opencms/recycling/recycling_and_compost_business.html#mandatory

7. Use mulch and/or compost in the development and maintenance of landscaped areas within the project boundaries. Recycle green waste through either onsite composting of grass, i.e., leaving the grass clippings on the lawn, or sending separated green waste to a composting facility.

Thank you for the opportunity to review this proposal. If you have any questions, please call me at (951) 486-3200.

Sincerely,



Ryan Ross
Principal Planner



COUNTY OF RIVERSIDE
DEPARTMENT OF ENVIRONMENTAL HEALTH

Date: July 16, 2013

To: Jay Olivas
Riverside County Planning Department
4080 Lemon Street, 12th Floor
Riverside, California 92502
Fax: (951) 955-8631

From: Steven D. Hinde, REHS, CIH *SH*
Senior Industrial Hygienist
Department of Environmental Health
Office of Industrial Hygiene
3880 Lemon Street, Ste. 200
Riverside, California 92501
(951) 955-8980
Fax: (951) 955-8988



Project Reviewed: Tentative Tract Map No. 30966 R1

Reference Number: 28257

Applicant: James Fagelson
Encore Homes, LLC
73111 El Paso, Suite 205
Palm Desert, CA 92260

Noise Consultant Urban Crossroads
41 Corporate Park, Suite 300
Irvine, CA 92606

Review Stage: First Review

Information
Provided:

"Tentative Tract Map 30966, Preliminary Noise Study, County of Riverside, California" dated June 18, 2013 JN: 08692-02

Noise Standards:

1. The "Noise Element" section of the Riverside County General Plan states "to avoid future noise hazard, the maximum capacity design standard (average daily trips) for highways and major roads" (including airports) "shall be used for determining the maximum future noise level" or, in the case of freeways and airports, the projected conditions for 20 years in the future may be used.
2. The interior noise levels in residential dwellings shall not exceed 45 Ldn (CNEL).
3. The exterior noise level shall not exceed 65 Ldn.

Highway Prediction Model:

Using FHWA RD 77-108 Highway Traffic Prediction Model, the noise consultant shall estimate noise impacts (Ldn) from the Highways (design capacity "C" Level of Service).

Acoustical Parameters for County Highways:

1. Average daily traffic (ADT) design capacity of 20,700 assumed for 40th Ave. (the County General Plan classifies 40th Ave. an "Industrial Collector"). ADT design capacity of 20,700 assumes Adams Street (the County General Plan classifies Adam Street as "Secondary" roadways) quoted from the "Remap Area Plan Circulation, Vol.-Figure 6, dated August 2003".
2. Truck/Auto Mix as follows (Riverside Co. Road Department):

For Industrial Collector Highways

| VEHICLE | Overall % | DAY(7AM-7PM) | EVENING(7PM-10PM)% | NIGHT(10PM-7AM)% |
|-------------|-----------|--------------|--------------------|------------------|
| Auto | 92 | 69.5 | 12.9 | 9.6 |
| Med. Truck | 3 | 1.44 | 0.06 | 1.5 |
| Heavy Truck | 5 | 2.4 | 0.1 | 2.5 |

For Secondary Highways

| VEHICLE | Overall % | DAY(7AM-7PM) | EVENING(7PM-10PM)% | NIGHT(10PM-7AM)% |
|-------------|-----------|--------------|--------------------|------------------|
| Auto | 97.2 | 73.6 | 13.6 | 10.22 |
| Med. Truck | 1.87 | 0.9 | 0.04 | 0.9 |
| Heavy Truck | 0.74 | 0.35 | 0.04 | 0.35 |

3. Traffic Speed of 40 MPH.
4. The distance from the center of 40th Ave. to the nearest building face is

estimated to be 59 feet. The distance from the center of Adams Street to the nearest building face is estimated to be 64 feet.

5. Modeling for 40th Ave. and Adams Street was done using a "hard site" assumption.
6. The standard residential design with windows closed provides a 20 dB, A-weighted (reduction inside) attenuation.
7. Barrier calculations based on receptor at 10 feet from the barrier and at a 5 foot elevation for wall barrier height at or less than six feet. However, a receptor placement of 3-foot elevation is required when a wall barrier height is greater than six feet.
8. Interior calculations based on receptor at a 5-foot elevation inside the dwelling in the room nearest the noise source and 14 feet above the pad for the second floor in the middle of the room nearest the noise source.

Findings:

The consultant's report is adequate. Based on our calculations the wall heights recommended should provide sufficient attenuation to reduce exterior roadway noise levels to below 65 Ldn. The recommendations below should reduce the interior noise levels to at or 45 Ldn (CNEL).

Recommendations:

1. The following conditions shall be applied to the project based on the information provided by the acoustical consultant:

Eight foot high (noise barriers) masonry block walls or combination berm and block wall shall be constructed along southern site boundary (**40 Ave.**) of lots 1-12, and 195-202 along T.T. 30966 R1.

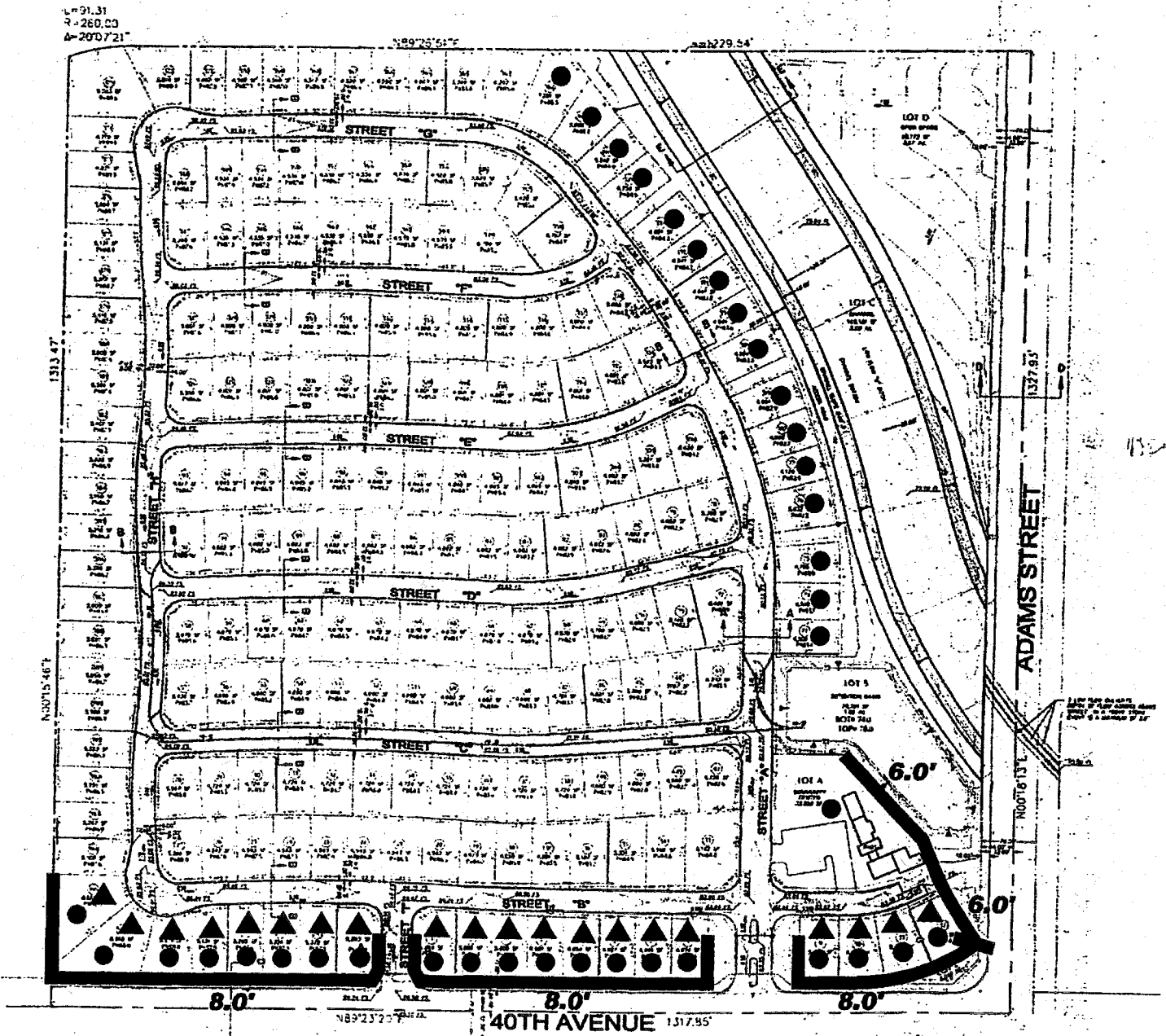
Six half foot high (noise barriers) masonry block walls or combination berm and block wall shall be constructed along eastern site boundary (**Adams St.**) of lots 12 and A along T.T. 30966 R1.

(Height taken from page 1-A of the Acoustical Report see attached map)

These walls shall be erected so that the top of each wall extends at least 6 to 8 feet (depending on location) above the pad elevation of the shielded lot. In cases where the road is elevated above the pad, the wall shall extend at least 6 to 8 feet (depending on location) above the highest point between the homes and the road.

2. All windows facing (lots 1-12, 195-202) 40th Ave. shall use dual glazing at STC rating of 26 or higher for first floor and STC rating of 32 or higher for second floor.
3. All windows facing (lots 73-77, 107-113, and 159-162) Adams Street shall use dual glazing at STC rating of 26 or higher for first and second floors.
4. Provide "windows closed" condition requiring mechanical ventilation (air conditioner) per the 2010 California Building Code requirements in Section 1203 Ventilation for residential units for lots 1-12, 195-202 facing 40th Ave. and lots 73-77, 107-113, and 159-162 facing Adams Street.
5. Provide exterior walls with a minimum Sound Transmission Class (STC) rating of 46. Typical walls with this rating will have 2X4 studs or greater, 16" o.c. with R-13 insulation, a minimum 7/8" exterior surface of cement plaster and a minimum interior surface of 1/2" gypsum board.
6. Provide exterior roof/ ceiling building system utilizing minimum 1/2" plywood sheathing that is well sealed to form a continuous barrier with minimum R-19 batt insulation in the joist cavities.
7. Our Department must receive, review and approve a final acoustical report addressing indoor noise impacts prior to pulling building permits. This report would finalize the mitigation measuring proposed in this report using the precise grading plans and actual building designs specifications. The exterior unmitigated impact (second stories) for 40th Ave. is approximately 75 Ldn and Adams Street is approximately 69 Ldn. Home design must be shown to reduce interior noise to at or below 45 Ldn for those homes along 40th Ave. and the Adams Street.
8. The applicant shall pay review fees to the Department of Environmental Health for all time spent in review of this project. Fees will be assessed at the Department's hourly rate for Industrial Hygienists.

EXHIBIT 1-A SUMMARY OF RECOMMENDATIONS



LEGEND:

■ - NOISE BARRIER LOCATION

8.0' - MINIMUM NOISE BARRIER HEIGHT (IN FEET)

● - ROOMS REQUIRING STANDARD WINDOWS WITH A MINIMUM STC RATING OF 26 AND A MEANS OF MECHANICAL VENTILATION (E.G. AIR CONDITIONING).

▲ - SECOND FLOOR ROOMS REQUIRING UPGRADED WINDOWS WITH A MINIMUM STC RATING OF 32.

LAND DEVELOPMENT COMMITTEE/
DEVELOPMENT REVIEW TEAM
1st AMENDED CASE TRANSMITTAL
RIVERSIDE COUNTY PLANNING DEPARTMENT - RIVERSIDE
P.O. Box 1409
Riverside, CA 92502-1409

DATE: September 17, 2013

Airport Land Use Commission
Received
SEP 17 2013

TO

Riv. Co. Transportation Dept. - Desert
Riv. Co. Surveyor-Bob Robinson
Riv. Co. Environmental Health Dept.
Riv. Co. Public Health - Industrial Hygiene
Riv. Co. Public Health - Healthy Communities
Riv. Co. Flood Control District
Riv. Co. Fire Department- Desert
Riv. Co. Building & Safety - Grading
Riv. Co. Building & Safety - Plan Check
Regional Parks & Open Space District

Riv. Co. Environmental Programs Division
P.D. Geology Section
P.D. Landscaping Section
P.D. Archaeology Section
Riv. Co. Sheriff's Dept. - Desert
Riv. Co. Waste Management Dept.
4th District Supervisor-Benoit
4th District Planning Commissioner-Sanchez
Coachella Valley Water District
Sunline Transit Agency

ALUC John Guerin
City of Palm Desert Planning Dept.
Desert Sands Unified School District
Imperial Irrigation District
Caltrans Dist. #8
Desert Recreation District
Air Quality Mgmt. Dist. - South Coast
Sun City Del Webb Community Association
City of Indio Engineering Dept.

TENTATIVE TRACT MAP NO. 30966R1, AMENDED MAP NO. 1 - EA42587 - Applicant: Robert L. Pippin, Encore Homes, LLC - Engineer/Representative: PBLA Engineering, Inc. - Fourth/Fourth Supervisorial District - Bermuda Dunes Zoning District - Western Coachella Valley Area Plan: Community Development: Medium High Density Residential (CD-MHDR) (5 to 8 D.U./A.c.) & Open Space: Open Space - Water (OS-W) - Location: Northerly of Interstate 10 and Avenue 40, westerly of Adams Street, southerly of Manorgate Road, and easterly of Somerest Avenue - 40 Gross Acres - Zone: Planned Residential (R-4) & Watercourse, Watershed, and Conservation Areas (W-1) - **REQUEST (REVISED PROJECT DESCRIPTION):** A revised Tentative Tract Map proposes to divide 40 acres into 202 residential lots (Schedule A) with lot sizes ranging from approximately 4,400 square feet to 8,600 square feet as a Planned Residential Development (PRD) for Senior Citizens. The PRD for Senior Citizens includes detached single-family units ranging in size from approximately 1,657 square feet to 1,903 square feet up to 18 feet in height (single-story) along with 3,221 square foot community center building up to 18 feet in height. The revised tract includes common open space lots such as detention basin and drainage channel. - APN's: 748-280-008 & 748-280-009. Related Cases: **GPA00645, CZ06739, TR30966.**

Please review the attached **Amended No. 1** map(s) and/or exhibit(s) for the above-mentioned project. Any further comments, recommendations, and/or conditions are requested prior to the pending **LDC Comment Agenda October 17, 2013** deadline, in order that they may be incorporated in the staff report package for this project.

Should you have any questions regarding this item, please do not hesitate to contact Jay Olivas, (951) 955-1195, Project Planner, or e-mail at JOLIVAS@rctlma.org/ MAILSTOP #: 1070

Public Hearing Path: Administrative Action: ☐ DH: ☐ PC: ☒ BOS: ☐

COMMENTS: *This project was reviewed at ALUC's July 11 public hearing agenda. A finding of consistency was issued pursuant to Policy 3.3.6. See letter of 7/24/13.*

DATE: October 1, 2013

SIGNATURE: John J.G. Guerin

PLEASE PRINT NAME AND TITLE: John J.G. Guerin, Principal Planner

TELEPHONE: (951) 955-0982

If you do not include this transmittal in your response, please include a reference to the case number and project planner's name. Thank you.

AIRPORT LAND USE COMMISSION RIVERSIDE COUNTY



RECEIVED
JUL 24 2013

ADMINISTRATION
RIVERSIDE COUNTY
PLANNING DEPARTMENT

July 24, 2013

CHAIR

Simon Housman
Rancho Mirage

VICE CHAIRMAN

Rod Ballance
Riverside

COMMISSIONERS

Arthur Butler
Riverside

John Lyon
Riverside

Glen Holmes
Hemet

Greg Pettis
Cathedral City

Richard Stewart
Moreno Valley

STAFF

Director
Ed Cooper

John Guerin
Russell Brady
Barbara Santos

Mr. Jay Olivas, Planner IV
Riverside County Planning Department
4080 Lemon Street, 12th Floor
Riverside, CA 92501

HAND DELIVERY

RE: AIRPORT LAND USE COMMISSION (ALUC) DEVELOPMENT REVIEW

File No.: ZAP1049BD13
Related File No.: TR30966R1 (Tentative Tract Map No. 30966, Revised No. 1)
APN: 748-280-008; 748-280-009

Dear Mr. Olivas:

On July 11, 2013, the Riverside County Airport Land Use Commission (ALUC) found TR30966R1, Tentative Tract Map No. 30966, Revised Map No. 1, **CONSISTENT** with the 2004 Bermuda Dunes Airport Land Use Compatibility Plan, pursuant to Policy 3.3.6 of the Countywide Policies of the 2004 Riverside County Airport Land Use Compatibility Plan, based on special Findings 1 through 6, and subject to the conditions herein.

Tentative Tract Map No. 30966, Revised Map No. 1, proposes to divide 39.37 – 40.19 acres located northerly of 40th Avenue and westerly of Adams Street in the unincorporated Riverside County community of Sun City – Palm Desert into 202 single-family residential lots, one 0.77-acre lot for a community center, one 3.88-acre lot for a drainage channel, and three lots for open space and water detention with a cumulative area of 3.92 acres.

FINDINGS FOR A DETERMINATION OF CONSISTENCY PURSUANT TO POLICY 3.3.6 OF THE COUNTYWIDE POLICIES OF THE 2004 RIVERSIDE COUNTY AIRPORT LAND USE COMPATIBILITY PLAN:

1. This site contains a very large flood channel, which will be maintained as open space on a permanent basis. That flood channel is part of a regional flood plan. The compliance with the regional flood plan has supported the movement of the retention basin to the new proposed location.
2. The other unique terrain characteristic of this specific location is its proximity to Highway 10. The flood channel and the proximity to Highway 10 provide alternate landing areas in the event of an emergency.
3. As an approved project, Tentative Tract Map No. 30966 constitutes an existing land use, as defined in the 2004 Riverside County Airport Land Use Compatibility Plan. The approved project includes a larger number of residential units. The net impact of the proposed Revised Map is to reduce the total number of residential units on the site (relative to the approved project), thereby improving the current condition.
4. The proposed project is not expected to result in excessive noise exposure. Available documentation and evidence indicates that the project site would be subject to aircraft noise in the 55-60 CNEL range. Use of typical building materials would provide for an exterior-to-interior 20dB noise level reduction with windows closed,

www.rcaluc.org

County Administrative Center
4080 Lemon St., 14th Floor.
Riverside, CA 92501
(951) 955-5132

resulting in an interior noise level of 40 CNEL, making this project as proposed generally acceptable for noise considerations. Additionally, the aforementioned Highway 10 generates noise affecting this site on a more continuous basis than the aircraft noise.

5. The proposed project, as submitted, will not create an undue safety hazard to people on the ground or aircraft in flight. As stated above, the net impact of the proposed Revised Map is to reduce the number of units, potentially reducing the number of people at this location. The proponents have testified that this will be a senior housing development, with an expected occupancy of two persons per unit. The owner has agreed to a condition that would require the project's covenants, conditions, and restrictions document to include a provision specifying that the capacity of the community center shall be limited to a maximum of 68 persons, thereby bringing that building into conformance with the adopted intensity criteria for Compatibility Zone C.
6. The project is surrounded on three sides by other developments of equal or greater residential density, and on the fourth side by a nonresidential project of greater intensity.

CONDITIONS:

1. Any outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky.
2. The following uses shall be prohibited:
 - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
 - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
 - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area, including landscaping utilizing water features, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, and incinerators.
 - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
 - (e) Within Compatibility Zone B1: Children's schools, day care centers, libraries, hospitals, nursing homes, buildings with more than 3 aboveground habitable floors, highly noise-sensitive outdoor non-residential uses, and hazards to flight.
 - (f) Within Compatibility Zone C: Children's schools, day care centers, libraries, hospitals, nursing homes, buildings with more than 3 aboveground habitable floors, highly noise-sensitive outdoor nonresidential uses, and hazards to flight.
 - (g) Within Compatibility Zone D: highly noise-sensitive outdoor nonresidential uses, and hazards to flight.

3. The attached notice shall be provided to all potential purchasers and/or tenants of the proposed residences.
4. Any new retention basins on the site shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the retention basin(s) that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.
5. Prior to issuance of building permits, structures on Lots 10, 11, and 12, and the Community Center building, will require further ALUC review to confirm FAA obstruction evaluation. Any change in pad elevations or building heights that increases height shall also require further ALUC review to confirm whether FAA obstruction evaluation is required.
6. Prior to issuance of building permits, the landowner shall convey and have recorded an avigation easement to the Bermuda Dunes Airport for all lots within the subdivision. Contact Bermuda Dunes Airport at (760) 776-7091 for additional information.
7. Prior to recordation of the final map, the subdivider shall submit to ALUC a copy of the proposed Covenants, Conditions, and Restrictions for the proposed subdivision that includes a provision specifying that the capacity of the Community Center, including the pool and pool deck area, shall be limited to a maximum of 68 persons, and that a sign stating the maximum occupancy of 68 be posted in the building's largest public room. After the proposed Covenants, Conditions, and Restrictions are recorded, a copy shall be submitted to ALUC prior to issuance of building permits for the Community Center. Prior to final inspection approval of the Community Center building, a sign indicating its maximum occupancy of 68, including the pool and pool deck area, shall be posted in the building's largest public room.

If you have any questions, please contact Russell Brady, ALUC Contract Planner, at (951) 955-0549, or John Guerin, ALUC Principal Planner, at (951) 955-0982.

Sincerely,
RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION



Edward C. Cooper, Director

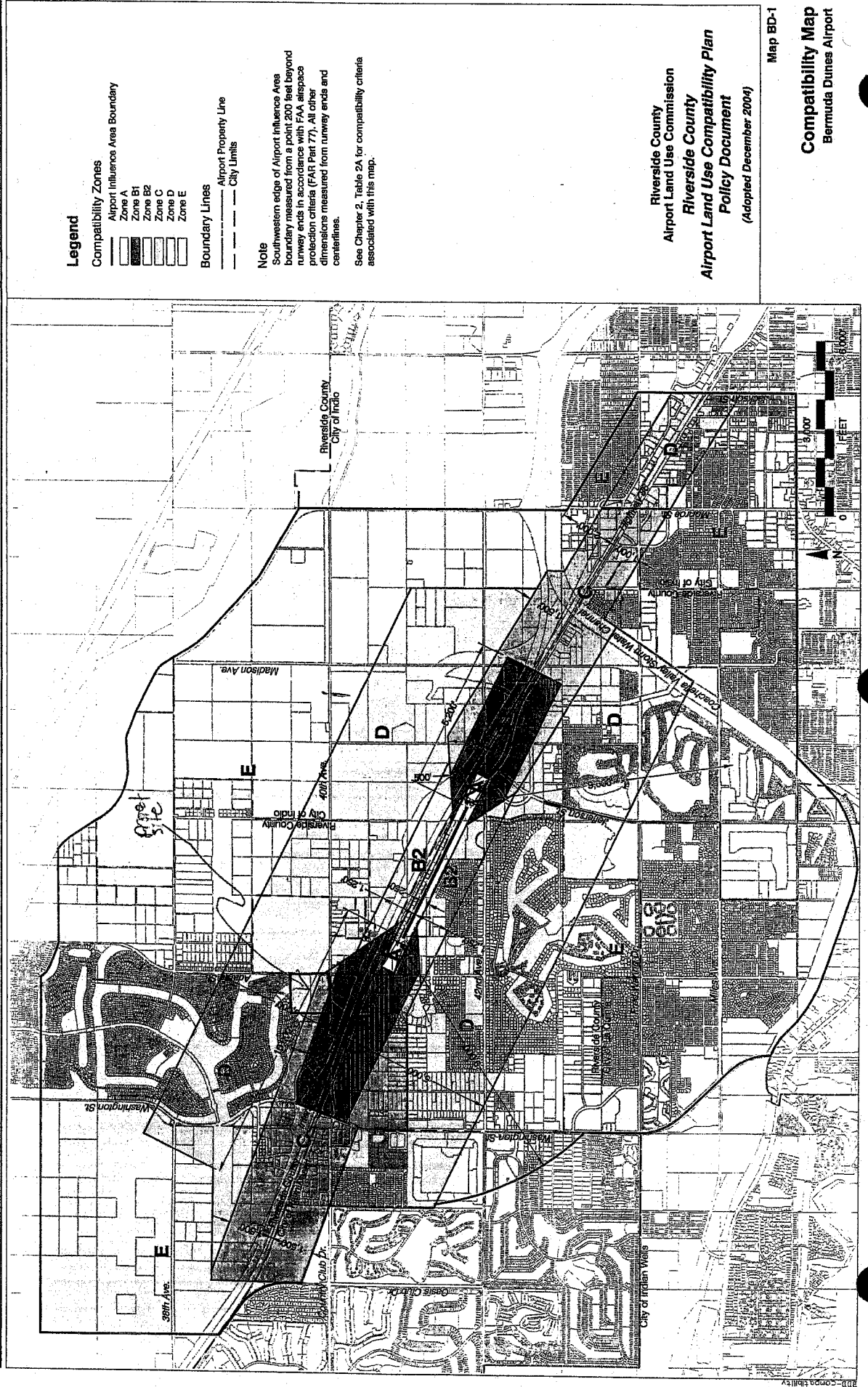
JJGJG: bks

Attachments: Notice of Airport in Vicinity

cc: Encore Homes, LLC
Mickie Riley, The Rilington Group
Paul DePalatis
James Fagelson, Fagelson Consulting
Mike Smith, Bermuda Dunes Executive Airport
ALUC Staff

•NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances can vary from person to person. You may wish to consider what airport annoyances, if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)



Legend

Compatibility Zones

Airport Influence Area Boundary

Zone A

Zone B1

Zone B2

Zone C

Zone D

Zone E

Boundary Lines

Airport Property Line

City Limits

Note

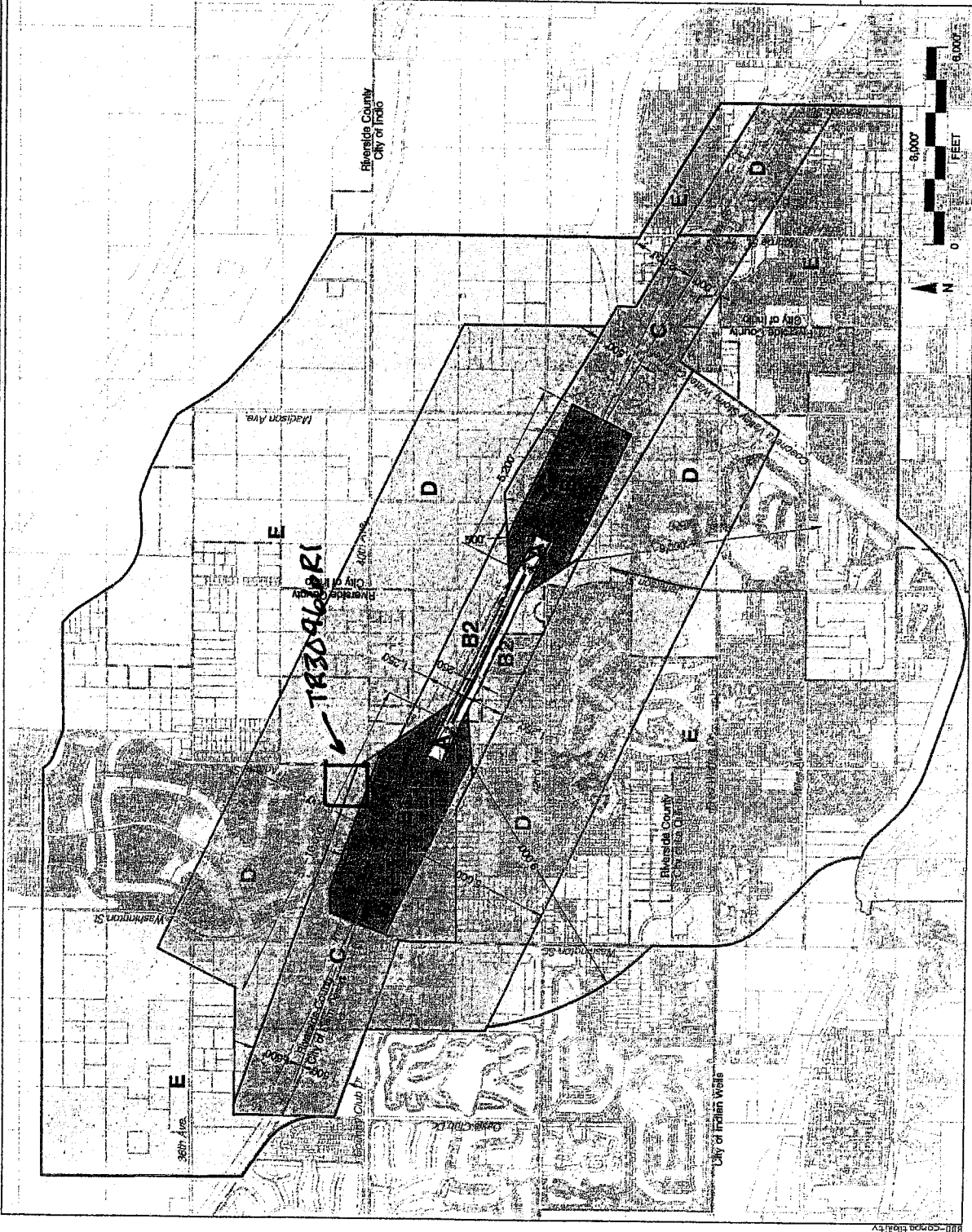
Southwestern edge of Airport Influence Area boundary measured from a point 200 feet beyond runway ends in accordance with FAA airspace protection criteria (FAA Part 77). All other dimensions measured from runway ends and centerlines.

See Chapter 2, Table 2A for compatibility criteria associated with this map.

Riverside County
Airport Land Use Commission
Riverside County
Airport Land Use Compatibility Plan
Policy Document
(Adopted December 2004)

Map BD-1

Compatibility Map
Bermuda Dunes Airport



RIVERSIDE COUNTY GIS



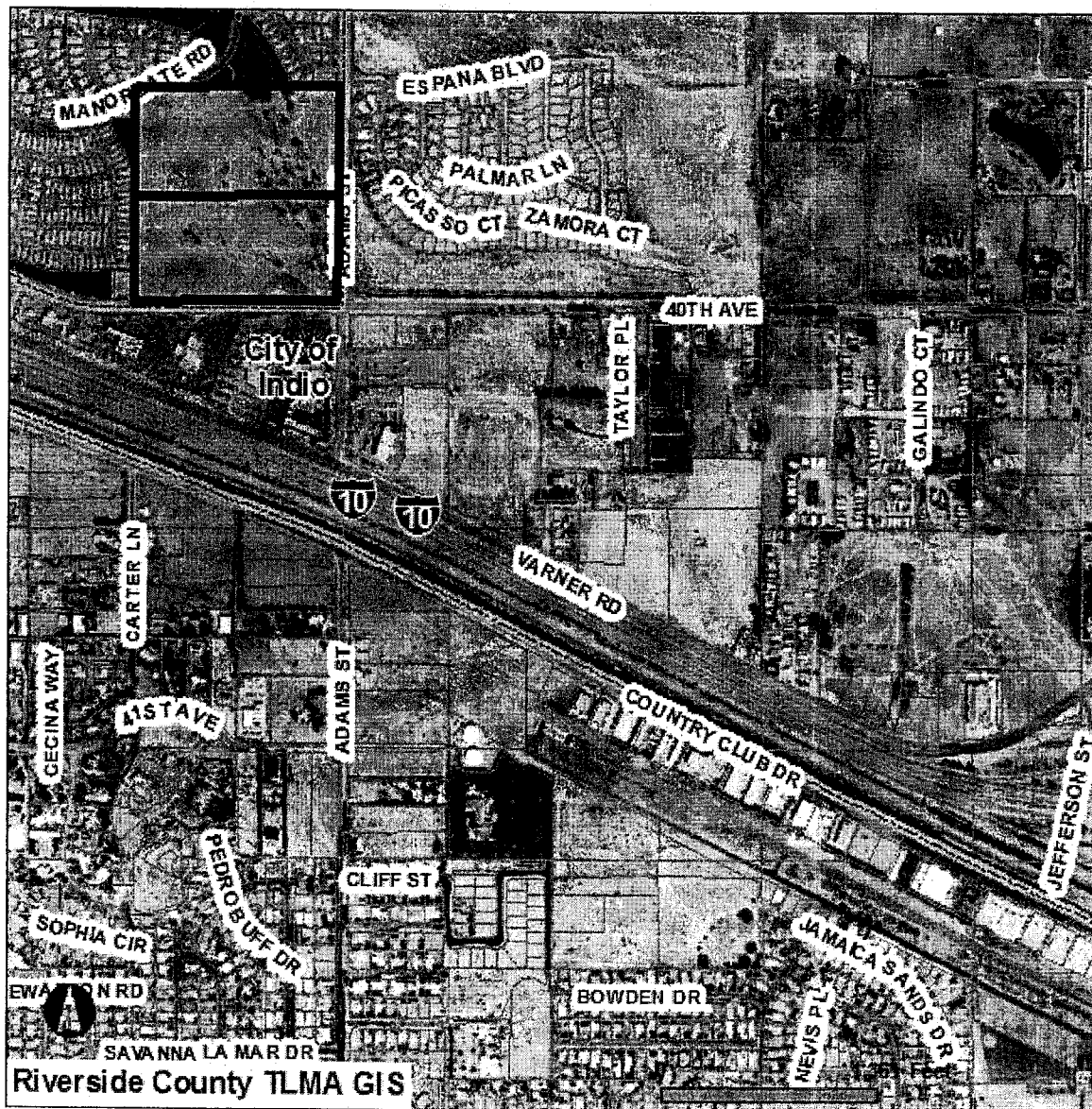
Selected parcel(s):
748-280-008 748-280-009

IMPORTANT

Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

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Version 130523

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REPORT PRINTED ON...Thu Jun 27 09:08:05 2013

Version 130523

RIVERSIDE COUNTY GIS



Selected parcel(s):
748-280-008 748-280-009

LEGEND

☐ SELECTED PARCEL
☐ CITY

INTERSTATES

HIGHWAYS

☐ PARCELS

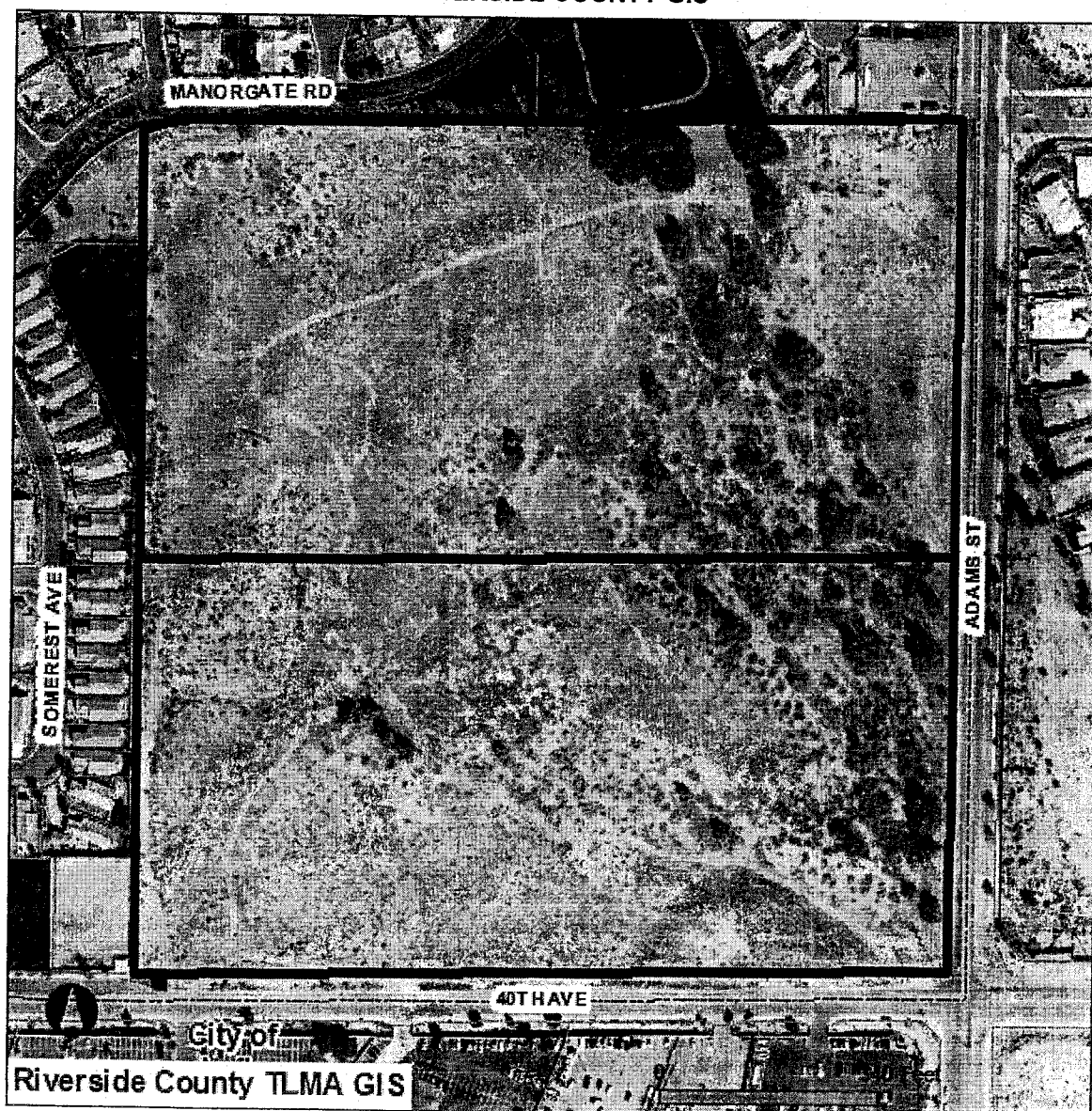
IMPORTANT

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Version 130523

RIVERSIDE COUNTY GIS



Selected parcel(s):
748-280-008 748-280-009

IMPORTANT

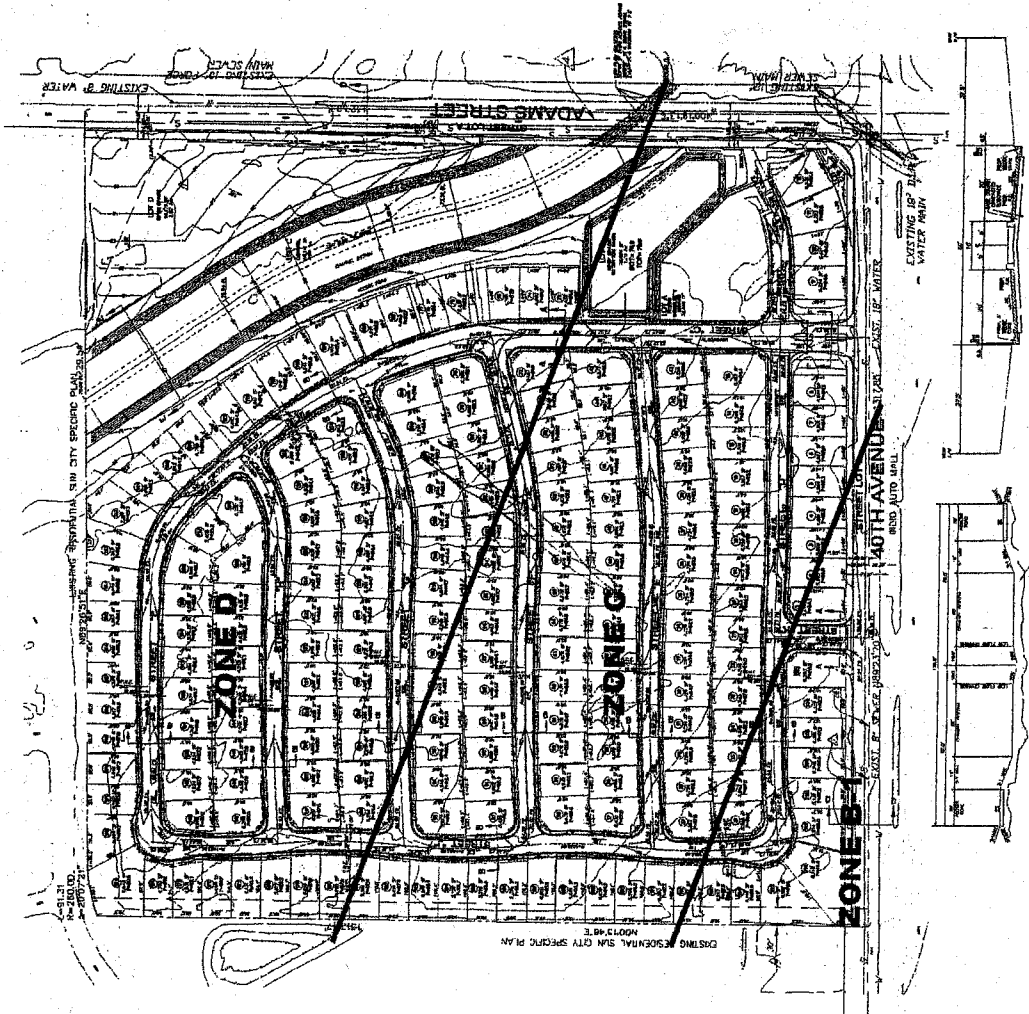
Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

REPORT PRINTED ON...Thu Jun 27 09:09:16 2013

Version 130523

REVISED TENTATIVE TRACT MAP NO. 30966 and PRELIMINARY GRADING PLAN

IN THE UNINCORPORATED TERRITORY OF THE COUNTY
OF RIVERSIDE, STATE OF CALIFORNIA



| NO. | DESCRIPTION |
|-----|-------------------|
| 1 | EXISTING 140' R/W |
| 2 | EXISTING 140' R/W |
| 3 | EXISTING 140' R/W |
| 4 | EXISTING 140' R/W |
| 5 | EXISTING 140' R/W |
| 6 | EXISTING 140' R/W |
| 7 | EXISTING 140' R/W |
| 8 | EXISTING 140' R/W |
| 9 | EXISTING 140' R/W |
| 10 | EXISTING 140' R/W |

SECTION 5-A
140' R/W

SECTION 5-B
140' R/W

SECTION 5-C
140' R/W

SECTION 5-D
140' R/W

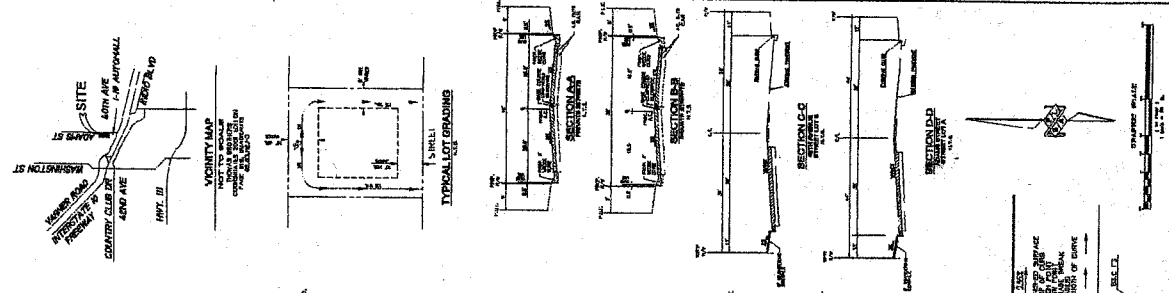
LOCAL DESCRIPTION
This map shows the proposed subdivision of the land shown on the map into lots, blocks, and sections. The map is subject to the provisions of the Subdivision Map Act, Chapter 462, of the California Civil Code, and the provisions of the Subdivision Map Act, Chapter 462, of the California Civil Code, and the provisions of the Subdivision Map Act, Chapter 462, of the California Civil Code.

ASSUMPTIONS
The map is based on the following assumptions: 1. The map is based on the best available information. 2. The map is based on the best available information. 3. The map is based on the best available information.

NOTES
1. The map is based on the best available information. 2. The map is based on the best available information. 3. The map is based on the best available information.

LEGEND
1. 140' R/W
2. 140' R/W
3. 140' R/W
4. 140' R/W
5. 140' R/W
6. 140' R/W
7. 140' R/W
8. 140' R/W
9. 140' R/W
10. 140' R/W

COUNTY OF RIVERSIDE
REVISOR TENTATIVE TRACT
MAP NO. 30966
DATE: 10/1/10
BY: [Signature]

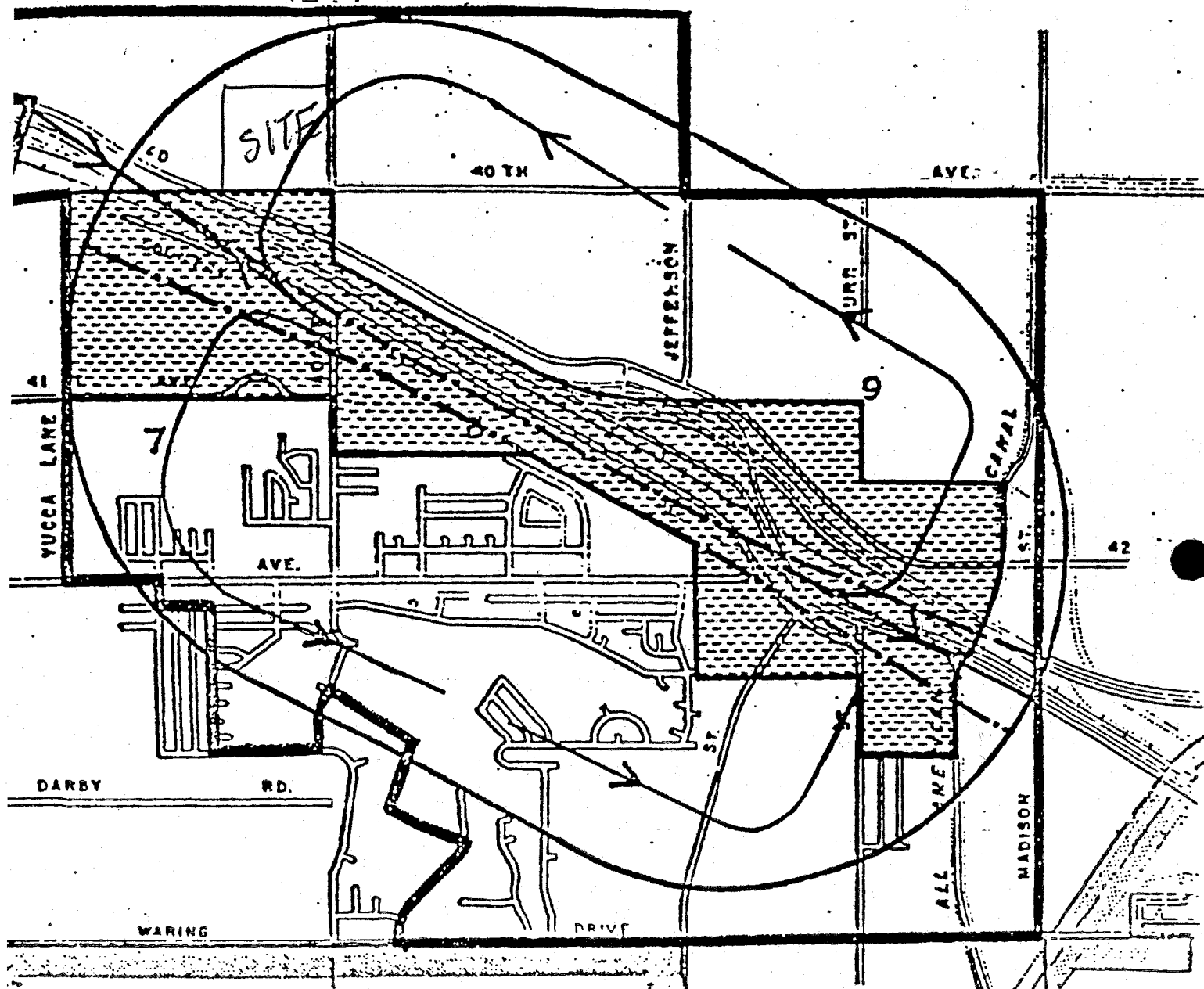


BERMUDA DUNES AIRPORT

LAND USE PLAN

BERMUDA DUNES AIRPORT
AREA OF SIGNIFICANT
SAFETY CONCERN

*Old CLUP
Excerpt*



LEGEND



AREA OF SIGNIFICANT
SAFETY CONCERN



IDEALIZED FLIGHT PATHS



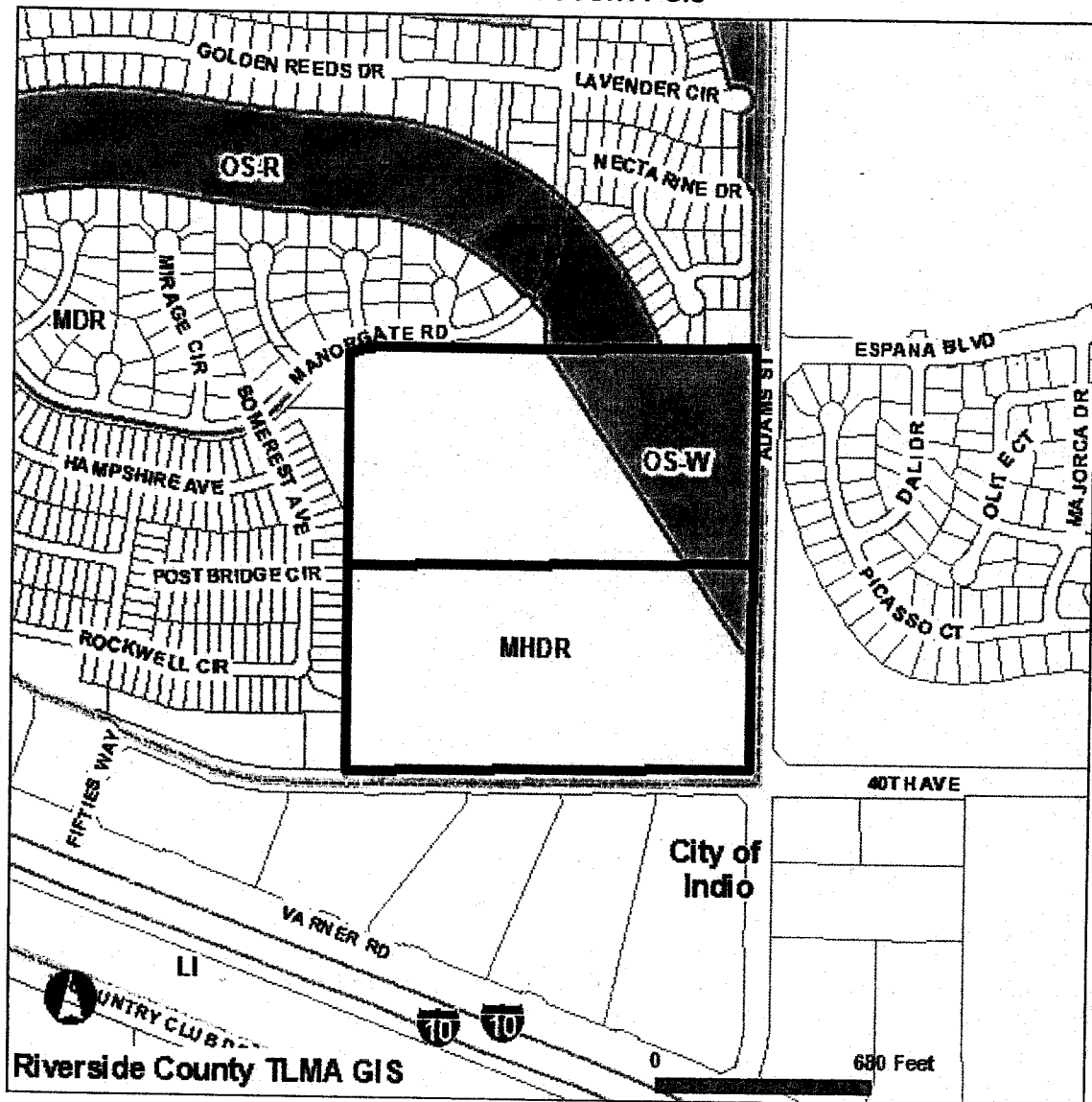
IMAGINARY APPROACH
SURFACES

SOURCE: RIVERSIDE COUNTY AIRPORT
LAND USE COMMISSION 8-21-84



EXHIBIT II

RIVERSIDE COUNTY GIS



Selected parcel(s):
748-280-008 748-280-009

LAND USE

| | | | |
|--|----------------------------------|-----------------------|----------------------------------|
| <input type="checkbox"/> SELECTED PARCEL | INTERSTATES | HIGHWAYS | <input type="checkbox"/> CITY |
| <input type="checkbox"/> PARCELS | EDR - ESTATE DENSITY RESIDENTIAL | LI - LIGHT INDUSTRIAL | MDR - MEDIUM DENSITY RESIDENTIAL |
| MHDR - MEDIUM HIGH DENSITY RESIDENTIAL | OS-R - OPEN SPACE RECREATION | OS-W - WATER | |

IMPORTANT

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Version 130225

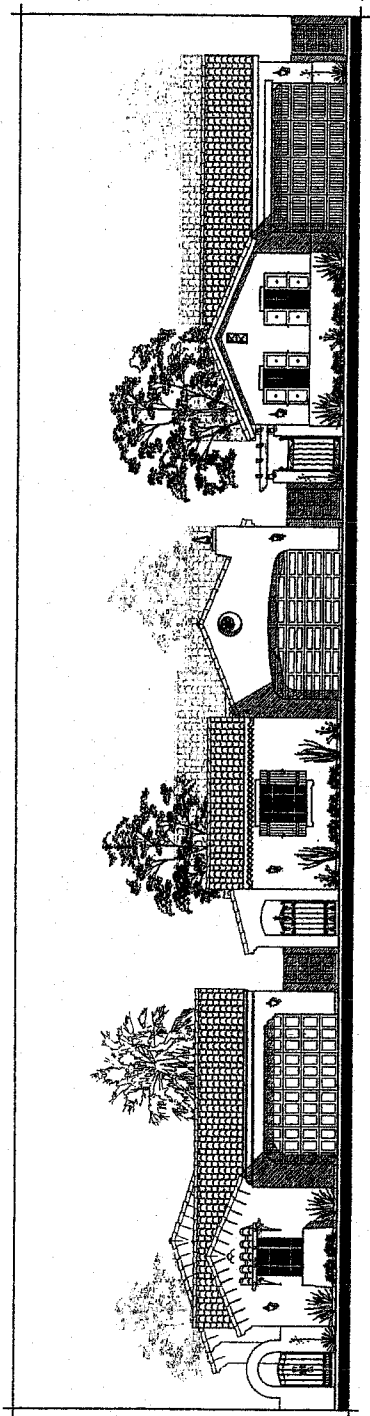


Encore

Design Manual

County of Riverside, CA

Revised Tentative Tract Map No. 30966 R1
APN. # 748-280-006 & 748-280-009



Sheet Index

- CS: Cover Sheet
- A-1: Site Plan Typical 3 Lots
- A-2: Plan 1 Floor Plan
- A-3: Plan 1 Front Elevations
- A-4: Plan 1 Rear Elevations & Roof Plans
- A-5: Plan 2 Floor Plan
- A-6: Plan 2 Front Elevations
- A-7: Plan 2 Rear Elevations & Roof Plans
- A-8: Plan 3 Floor Plan
- A-9: Plan 3 Front Elevations
- A-10: Plan 3 Rear Elevations & Roof Plans
- A-11: Rendered Street Scene
- A-12: Recreation Building Floor Plan
- A-13: Recreation Building Roof Plan
- A-14: Recreation Building Front & Rear Elevations
- A-15: Recreation Building Left & Right Elevations
- A-16: Recreation Building Front & Rear Elevations
- A-17: Recreation Building Left & Right Elevations
- A-18: Color Schemes 1 thru 6

- L-1: Overall Conceptual Landscape Plan
- L-2: Landscape Narrative and Plant Palette
- L-3: Landscape Enlargements
- L-4: Typical Landscape Plan (Plan 1)
- L-5: Typical Landscape Plan (Plan 2)
- L-6: Typical Landscape Plan (Plan 3)
- L-7: Typical Landscape Plan (Plan 4)
- L-8: Street, Groundcover, Vines and Ornamental Grass Images
- L-9: Accent Light Images
- L-10: Wall and Fence Plan
- L-11: Shading Plan

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San Juan Capistrano, CA 92675
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fax 949/487-2321

3-28-13 #12-26
Sheet CS

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 County of Riverside, CA
 Revised Tentative Tract Map No. 30966 R1
 APN. # 748-280-006 & 748-280-009

Project Data
 Occupancy - R-3
 Construction Type - Type V
 Number of Stories - 1

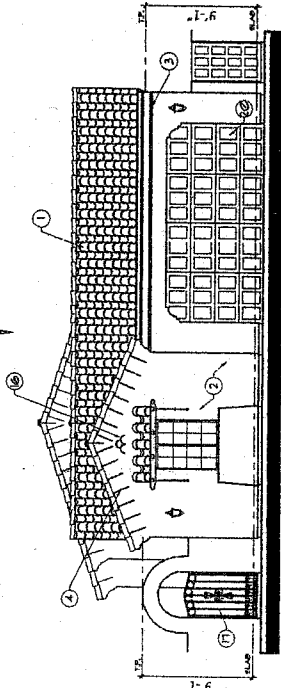
Plan 1
Exhibit B
Front Elevations

Scale: 1/4" = 1'-0"

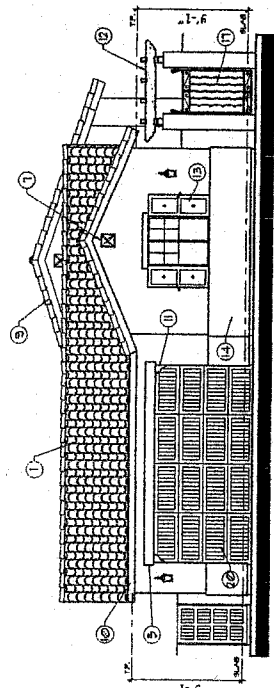
PEKAREK-CRANDELL, Inc.
 architecture - planning
 31411 Camino Capistrano, Suite 300 940/487-2320
 San Juan Capistrano, CA 92675 fax 949/487-2321
 #12-26
 Sheet A-3

Exterior Materials

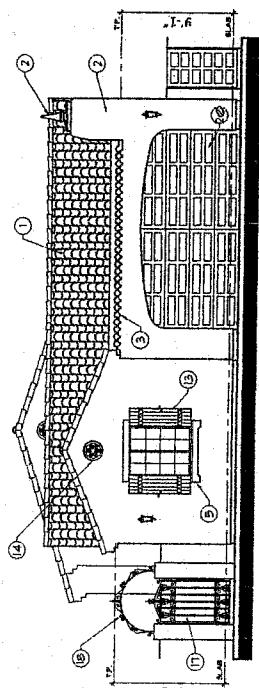
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3. Stucco w/ Front Edge
4. Stucco Scalloped Rake
5. Stucco w/ Front Trim
6. Stucco w/ Front Cornice
7. Stucco Stucco Brick
8. Stucco Stucco Brick
9. Wood Shutter Board
10. Wood Shutter Board
11. Wood Corbel
12. Wood Trellis
13. Wood Shutter
14. Precast Concrete Roshette
15. Precast Concrete Finish
16. Fudge Clay Tile Vent
17. Iron Gate
18. Decorative Iron Accent
19. Iron Gate
20. Fiberglass Sectional Garage Door



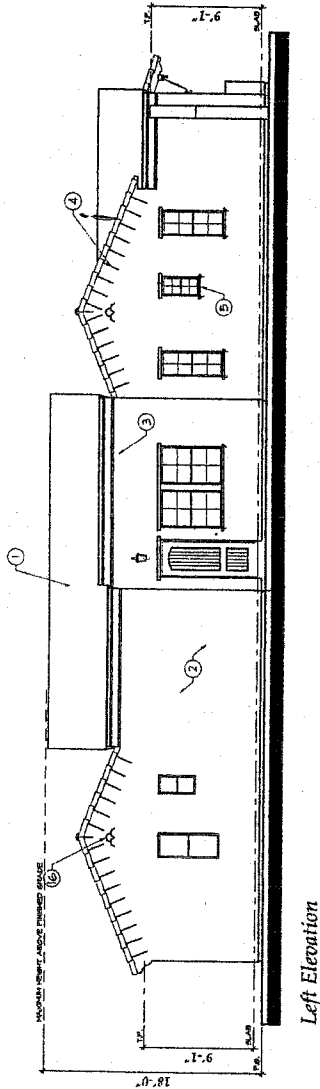
Spanish



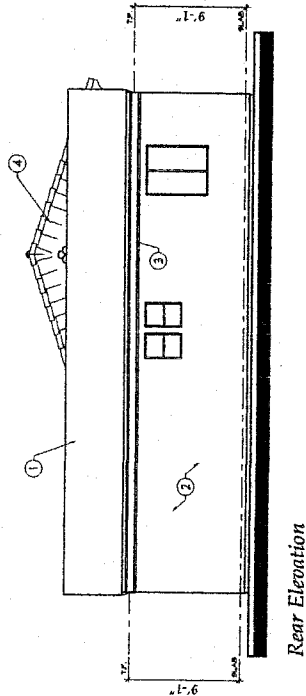
Early California



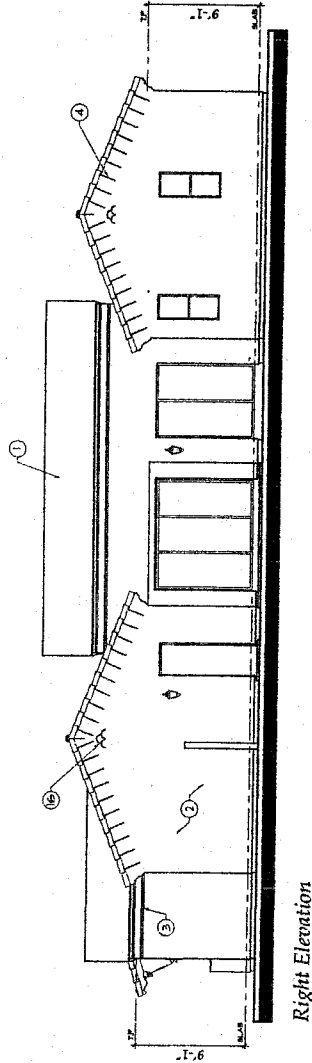
Hacienda



Left Elevation



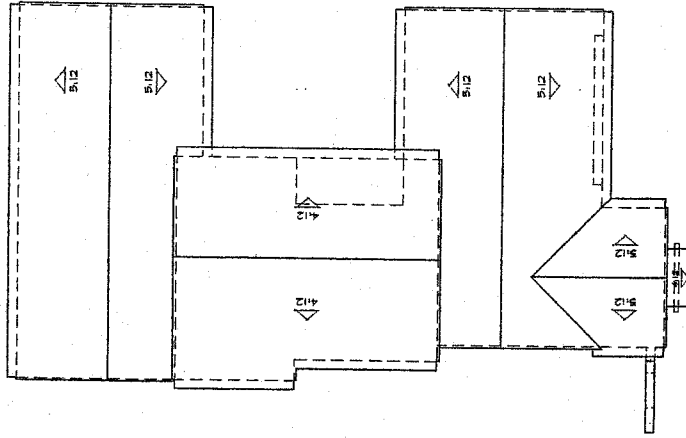
Rear Elevation



Right Elevation

Exterior Materials

1. Concrete "S" Tile
2. Stucco w/ Sand Finish
3. Stucco w/ Smooth Finish
4. Shown Siding & Rake
5. Shown of Fines Trimmer
16. Filler Clay Tile Vent



Roof Plan
Scale: 3/16" = 1'-0"

Plan 1
Exhibit B
Elevations/ Roof Plan
Spanish

Scale: 1/4" = 1'-0"

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County of Riverside, CA
Revised Tentative Tract Map No. 30966 R1
APN. # 748-280-006 & 748-280-009

Project Data

Occupancy - R-3
Construction Type - Type V
Number of Stories - 1



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Revised Tentative Tract Map No. 30966 R1
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Sheet A-6

Plan 2

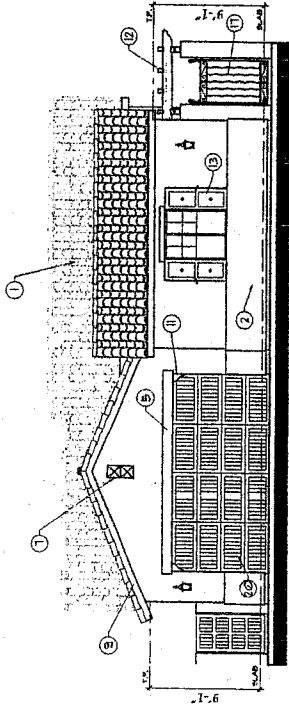
Exhibit B

Front Elevations

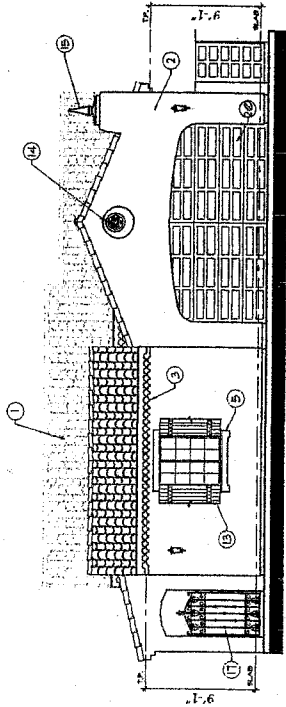
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Exterior Materials

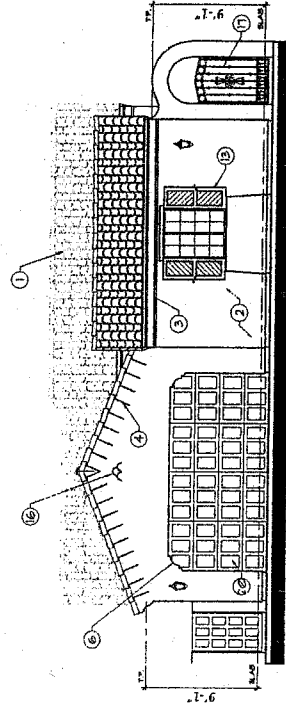
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2. Stucco w/ Sand Finish
3. Stucco w/ Foam Enne
4. Stucco Scalloped Rake
5. Stucco w/ Foam Trim
6. Stucco w/ Foam Cornice
7. Stucco w/ Foam Rake
8. Stucco w/ Foam Rake
9. Wood Siding Board
10. Wood Siding Board
11. Wood Siding
12. Wood Siding
13. Wood Siding
14. Precast Concrete Rosette
15. Precast Concrete Finish
16. Filler Clay Tile Vent
17. Iron Gate
18. Iron Gate
19. Metal Vent
20. Fiberglass Sectional Garage Door



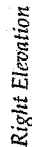
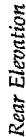
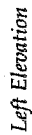
Early California



Hacienda

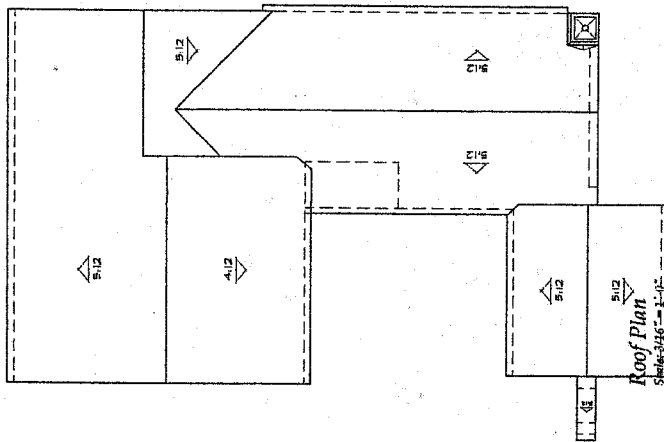


Spanish



Exterior Materials

1. Concrete "S" Tile
2. Stucco w/ Sand Finish
3. Stucco w/ Foam Edge
5. Stucco w/ Foam Trim
15. Precast Concrete Finish
19. Metal Vent



Plan 2 Exhibit B Elevations/ Roof Plan Hacienda

Scale: 1/4" = 1'-0"



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architecture - planning

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san juan capistrano, ca 92675
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fax 949/ 487-2321
3-28-13

Project Data
Occupancy - R-3
Construction Type - Type V
Number of Stories - 1

Encore
County of Riverside, CA
Revised Tentative Tract Map No. 30966 R1
APN: # 748-280-006 & 748-280-009

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Revised Tentative Tract Map No. 30966 R1
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architecture - planning

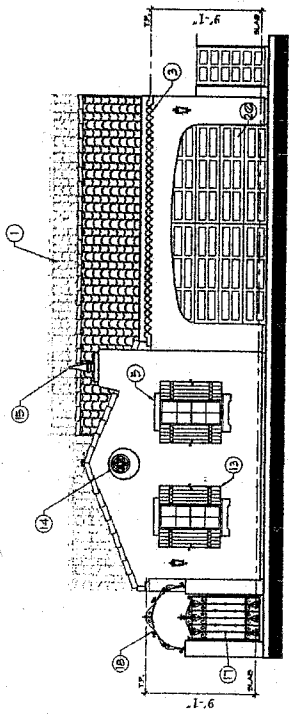
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San Juan Capistrano, CA 92675
949/487-2320
949/487-2321
#12.26
Sheet A-9

Plan 3 Exhibit B Front Elevations

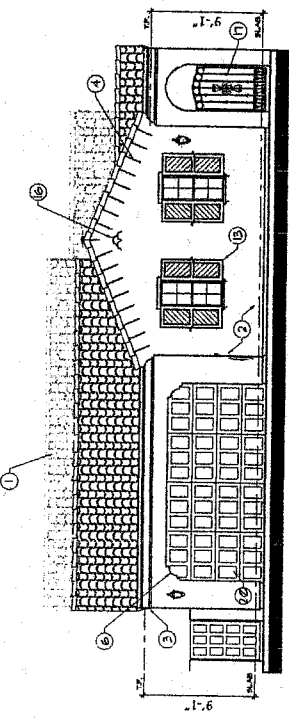
Scale: 1/4" = 1'-0"

Exterior Materials

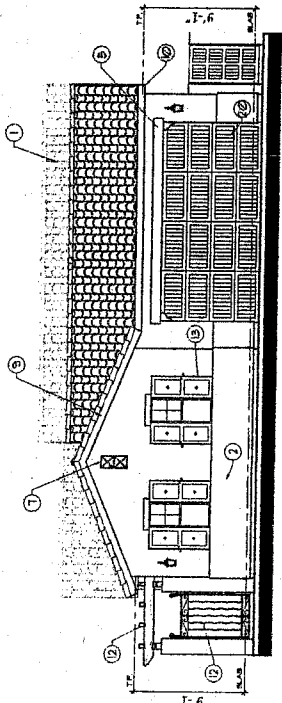
1. Concrete "S" Tile
2. Stucco w/ Sand Finish
3. Stucco w/ Frame Edge
4. Stucco Scalloped Rake
5. Stucco w/ Frame Trim
6. Stucco w/ Frame Cornice
7. Stucco w/ Frame Sill
8. Stucco w/ Frame Base
9. Wood Bead Board
10. Wood Panel Board
11. Wood Tread
12. Wood Sill
13. Wood Shutter
14. Precast Concrete Recessed
15. Precast Concrete Finish
16. Fake Clay Tile Vent
17. Iron Gate
18. Iron Post
19. Metal Vent
20. Fiberglass Sectional Garage Door



Hacienda



Spanish



Early California