

**SUBMITTAL TO THE BOARD OF SUPERVISORS
COUNTY OF RIVERSIDE, STATE OF CALIFORNIA**

001B



FROM: TLMA - Planning Department

SUBMITTAL DATE:
March 25, 2014

SUBJECT: TENTATIVE PARCEL MAP NO. 36293, MINOR CHANGE NO. 1 AND PLOT PLAN NO. 24690, REVISED PERMIT NO. 1 – Fast Track Authorization 2011-11 -- Consider an Addendum to previously certified Environmental Impact Report – Applicant: Thermal Operating Company, LLC – Engineer/Representative: RCE Consultants, Inc. – Fourth/Fourth Supervisorial District – Location: North of Avenue 62, south of Avenue 60, east of Tyler Street, and west of Polk Street – 330 Acres

RECOMMENDED MOTION: That the Board of Supervisors:

- CONSIDER the ADDENDUM NO. 3 TO PREVIOUSLY CERTIFIED ENVIRONMENTAL IMPACT REPORT NO. 396 and ADDENDUM NOS 1 and 2**, based on the findings incorporated in the Environmental Assessment: Initial Study (EA 42592) and the conclusions that none of the conditions described in CEQA Guidelines Section 15162 exist, which has been completed in compliance with the CEQA Guidelines and the Riverside County CEQA implementation procedures prior to making a decision on the project; and,
- APPROVE TENTATIVE PARCEL MAP NO. 36293, MINOR CHANGE NO. 1**, subject to the attached conditions of approval and based upon the findings and conclusions incorporated in the staff report; and,

[Signature]

Juan C. Perez, TLMA Director/
Interim Planning Director

FINANCIAL DATA	Current Fiscal Year:	Next Fiscal Year:	Total Cost:	Ongoing Cost:	POLICY/CONSENT (per Exec. Office)
COST	\$ N/A	\$ N/A	\$ N/A	\$ N/A	Consent <input type="checkbox"/> Policy <input checked="" type="checkbox"/>
NET COUNTY COST	\$ N/A	\$ N/A	\$ N/A	\$ N/A	
SOURCE OF FUNDS: N/A				Budget Adjustment: N/A	
				For Fiscal Year: N/A	

C.E.O. RECOMMENDATION:

APPROVE

BY: *[Signature]*
Tina Grande

County Executive Office Signature

MINUTES OF THE BOARD OF SUPERVISORS

On motion of Supervisor Benoit, seconded by Supervisor Ashley and duly carried by unanimous vote, IT WAS ORDERED that the above matter is approved as recommended.

Ayes: Jeffries, Tavaglione, Stone, Benoit and Ashley
Nays: None
Absent: None
Date: April 1, 2014
xc: Planning

Kecia Harper-Ihem
Clerk of the Board

BY: *[Signature]*
Deputy

Prev. Agn. Ref.: 06/07/11 16.1

District: 4/4

Agenda Number:

16-1

FORM APPROVED COUNTY COUNSEL
BY: *[Signature]* DATE: 3-26-14
SYNTHIA M. GUNZEL Departmental Concurrence

- A-30
- Positions Added
- 4/5 Vote
- Change Order

**SUBMITTAL TO THE BOARD OF SUPERVISORS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA
FORM 11: Tentative Parcel Map No. 36293M1 / Plot Plan No. 24690R1**

DATE: March 25, 2014

PAGE: 2 of 2

3. APPROVE PLOT PLAN NO. 24690, REVISED PERMIT NO. 1, subject to the attached conditions of approval, and based upon the findings and conclusions incorporated in the staff report.

BACKGROUND:

The Tentative Parcel Map and Plot Plan were originally approved on June 7, 2011 by the Board of Supervisors. The project consisted of a private race track with a tuning shop, control tower, members storage and team garages, fuel station, and 254 private members luxury suite garages (aka founders lots). The applicant proposes a minor change to the Tentative Parcel Map and improvements/design changes and revisions to the mitigation measures for the Plot Plan as described in the project description and detailed in the attached staff report.

The minor change to the Tentative Parcel Map proposes to reduce the number of lots from 38 to 35 and reconfigure them. The revised Plot Plan proposes to redesign water quality engineering controls to allow all runoff for the 100-year storm to be retained on-site; remove the requirement for sidewalks from the interior private streets (the project is expected to have low internal pedestrian and vehicular traffic since it is a gated, private members community); modify the off-site open channel; modify race track grading elevations; require all sewers within project boundaries to be private; modify previous registration building to become a member's garage; relocate and redesign an irrigation reservoir to include an aviary screen; and revise the design manual for the previously approved member's private garages. The revised plot plan also proposes seven (7) construction phases.

Project issues have been resolved based on findings/conclusions in the staff report and recommended conditions of approval. No public comment to date has been received on the proposed project.

Impact on Citizens and Businesses

EIR 396 for this project was certified by the County on November 16, 1999. An environmental assessment has been completed and an addendum prepared for this proposed project. The impact on the local citizens and businesses has been reduced with this proposed project footprint by reducing the total number of lots from 38 to 35 and the elimination of offsite runoff drainage previously conveyed via a series of water quality swales, and instead allowing runoff to collect onsite within retention basins for up to 100 year storm events. Project requirements to build infrastructure are being phased consistent with the construction phases to mitigate impacts.

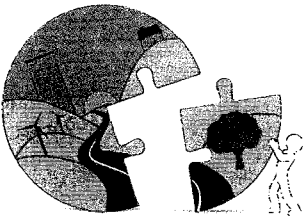
SUPPLEMENTAL:

Additional Fiscal Information

N/A

Contract History and Price Reasonableness

N/A



RIVERSIDE COUNTY PLANNING DEPARTMENT

Juan C. Perez

Interim Planning Director

Original Negative Declaration/No
Determination was routed to County
Clerks for posting on.

4/2/14

KB

TO: Office of Planning and Research (OPR)
P.O. Box 3044
Sacramento, CA 95812-3044
 County of Riverside County Clerk

FROM: Riverside County Planning Department
 4080 Lemon Street, 12th Floor
P. O. Box 1409
Riverside, CA 92502-1409

77588 El Duna Ct. Ste. H
Palm Desert, California 92211

SUBJECT: Filing of Notice of Determination in compliance with Section 21152 of the California Public Resources Code.

EA42592 TENTATIVE PARCEL MAP NO. 36293, MINOR CHANGE NO. 1 & PLOT PLAN NO. 24690, REVISED PERMIT NO. 1

Jay Olivas
County Contact Person

760-863-7050
Phone Number

N/A
State Clearinghouse Number (if submitted to the State Clearinghouse)

Thermal Operating Company, LLC
Project Applicant

1983 W. 190th Street Torrance, CA 90049
Address

The project site is north of Avenue 62, east of Tyler Street, and west of Polk Street in Thermal.

PM36293M1 proposes to remove three (3) founder's lots and reconfigure 35 lots along with street and open space within the eight (8) acre unrecorded portion of the previously approved Tentative Parcel Map No. 36293 (Schedule E). PP24690R1 proposes to remove the requirement for water quality swales and allow all runoff for the 100-year storm to be retained on-site within retention basins, remove the requirement for sidewalks from the interior streets, modify the off-site open channel by reconfiguring the daylight channel, modify race track grading by elevating the track, require all sewers within project boundaries to be private per agreement with the Coachella Valley Water District; modify previous registration building to become a member's private garage, relocate irrigation reservoir from off-site to western portion of the site with the addition of an aviary screen, and design modifications to the previously approved member's private garages which consists of a revised Design Manual. The revised plot plan includes up to seven (7) construction phases.

This is to advise that the Riverside County Board of Supervisors, as the lead agency, has approved the above-referenced project on April 1, 2014, and has made the following determinations regarding that project:

1. The project WILL NOT have a significant effect on the environment.
2. An Addendum to Certified EIR No. 396 was prepared for the project pursuant to the provisions of the California Environmental Quality Act (\$50.00) and reflect the independent judgment of the Lead Agency.
3. Mitigation measures WERE made a condition of the approval of the project.
4. A Mitigation Monitoring and Reporting Plan/Program WAS NOT adopted.
5. A statement of Overriding Considerations WAS NOT adopted for the project.
6. Findings were made pursuant to the provisions of CEQA.

This is to certify that the earlier EIR, with comments, responses, and record of project approval is available to the general public at: Riverside County Planning Department, 4080 Lemon Street, 12th Floor, Riverside, CA 92501.

Signature

Board Assistant
Title

4/1/14
Date

Date Received for Filing and Posting at OPR: _____

APR 01 2014 16-1

COUNTY OF RIVERSIDE
SPECIALIZED DEPARTMENT RECEIPT
Permit Assistance Center

* REPRINTED * I1400576

4080 Lemon Street
Second Floor
Riverside, CA 92502
(951) 955-3200

39493 Los Alamos Road
Suite A
Murrieta, CA 92563
(951) 600-6100

38686 El Cerrito Road
Palm Desert, CA 92211
(760) 863-8277

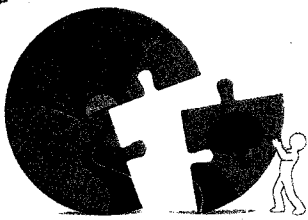
Received from: THERMAL OPERATING CO, LLC
paid by: AE 162851 \$50.00
paid towards: CFG06061 CALIF FISH & GAME: DOC FEE
CFG FOR PM36293M1 / PP24690R1
at parcel #:
appl type: CFG3

By JCMITCHE Mar 17, 2014 14:08
posting date Mar 17, 2014

Account Code	Description	Amount
658353120100208100	CF&G TRUST: RECORD FEES	\$50.00

Overpayments of less than \$5.00 will not be refunded!

Additional info at www.rctlma.org



Juan C. Perez
Interim Planning
Director

RIVERSIDE COUNTY
PLANNING DEPARTMENT

Memorandum

DATE: April 1, 2014
TO: Board of Supervisors
FROM: Jay Olivas, Project Planner
RE: Item 16-2 Thermal Operating Company, LP
16-1
Board of Supervisors:

Please note the following changes to attached recommended conditions (PP24690R1):

1. Modified Condition: "10.En Health.2 Use – Industrial Hygiene-Noise Study".
2. Added Condition: "80.Planning.16 Use – Comply with Design Manual/ALUC".

Y:\Planning Case Files-Riverside office\pp24690r1\BOS Memo.docx

Riverside Office · 4080 Lemon Street, 12th Floor
P.O. Box 1409, Riverside, California 92502-1409
(951) 955-3200 · Fax (951) 955-1811

Desert Office · 77588 El Duna Ct. Ste. H
Palm Desert, California 92211
(760) 863-8277 · Fax (760) 863-7555

PLOT PLAN:TRANSMITTED Case #: PP24690R1

Parcel: 759-270-027

10. GENERAL CONDITIONS

E HEALTH DEPARTMENT

10.E HEALTH. 2

INDUSTRIAL HYGIENE-NOISE STUDY

RECOMMND

The following recommendations shall be applied to the project based on the information provided:

1. The windows of the occupied buildings shall use soundproofing of Sound Transmission Class (STC) rating of 34 or higher.
2. Provide closed windows for all occupied buildings requiring a means of mechanical ventilation (e.g. air conditioning) per UBC requirements.
3. Provide walls with a minimum STC rating of 45. An example to achieve the STC level is using 2 layers 1/2" gypsum board each side, 3 1/2" fiber glass insulation.
4. All window and door assemblies used throughout the project should be free of cut outs and openings and shall be well fitted and weather stripped.
5. Provide sufficient noise barrier on the west side for the existing race track. A 12 foot barrier will be required along Tyler Street when the BMW, Go-cart track is in place.
6. Maximum noise level of 100 dBA at a distance of 50 feet to the nearest edge of the track surface. The 100 dBA maximum limit would produce an "average" trackside level of 90 dBA Leq.

For further information, please contact the Industrial Hygiene Program at (951) 955-8980.

80. PRIOR TO BLDG PRMT ISSUANCE

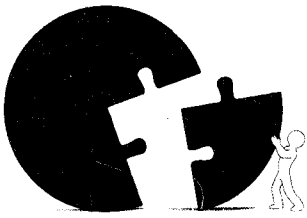
PLANNING DEPARTMENT

80.PLANNING. 16

USE - CPLY W/DSGN MANUAL/ALUC

RECOMMND

All building plans shall comply with the APPROVED EXHIBIT M (Design Manual), and the Airport Land Use Commission letter dated October 16, 2013.



RIVERSIDE COUNTY
PLANNING DEPARTMENT

Juan C. Perez
TLMA Director/Interim Planning Director

April 1st

DATE: March 19, 2014

TO: Clerk of the Board of Supervisors

FROM: Planning Department - Riverside Office

SUBJECT: FAST TRACK TENTATIVE PARCEL MAP NO. 36293, MINOR CHANGE NO. 1; AND PLOT PLAN NO. 24690, REVISED MAP NO. 1 (FTA-2011-11) (CONSIDERATION OF AN ADDENDUM TO PREVIOUSLY CERTIFIED ENVIRONMENTAL IMPACT REPORT NO. 396 AND ADDENDUM NO. 1) — 10 DAY HEARING NOTICE

(Charge your time to these case numbers)

The attached item(s) require the following action(s) by the Board of Supervisors:

- Place on Administrative Action (Receive & File; EOT)
 - Labels provided If Set For Hearing
 - 10 Day 20 Day 30 day
 - Place on Consent Calendar
 - Place on Policy Calendar (Resolutions; Ordinances; PNC)
 - Place on Section Initiation Proceeding (GPIP)
 - Set for Hearing (Legislative Action Required; CZ, GPA, SP, SPA)
 - Publish in Newspaper:
 - (4th Dist) Desert Sun and Press Enterprise
 - Addendum to earlier Environmental Document
 - 10 Day 20 Day 30 day
 - Notify Property Owners (app/agencies/property owner labels provided)
- Controversial: YES NO

Documents to be sent to County Clerk's Office for Posting within five days:

Notice of Determination
California Department of Fish & Wildlife Receipt (CFG06061)

Do not send these documents to the County Clerk for posting until the Board has taken final action on the subject cases.

Riverside Office · 4080 Lemon Street, 12th Floor
P.O. Box 1409, Riverside, California 92502-1409
(951) 955-3200 · Fax (951) 955-1811

Desert Office · 77-588 Duna Court, Suite H
Palm Desert, California 92211
(760) 863-8277 · Fax (760) 863-7555

"Planning Our Future... Preserving Our Past"

RECEIVED RIVERSIDE COUNTY
CLERK / BOARD OF SUPERVISORS
2014 MAR 19 PM 3:11

FAST TRACK TENTATIVE PARCEL MAP NO. 36293, MINOR CHANGE NO. 1 AND PLOT PLAN NO. 24690, REVISED PERMIT NO. 1 (FTA-2011-11) Consideration of an Addendum to previously certified Environmental Impact Report No 396 and Addendum No. 1 – Applicant: Thermal Operating Company, LLC – Engineer/Representative: RCE Consultants, Inc. – Fourth/Fourth Supervisorial District – Location: North of Avenue 62, south of Avenue 60, east of Tyler Street, and west of Polk Street – 330 Acres – **REQUEST: Tentative Parcel Map No. 36293, Minor Change No. 1** proposes to remove three (3) founders lots and reconfigure 35 lots along with street and open space lots within the eight (8) acre unrecorded portion of the previously approved Tentative Parcel Map No. 36293 (Schedule E). **Plot Plan No. 24690, Revised Permit No. 1** proposes to: remove the requirement for water quality swales shown on the approved Plot Plan 24690 and instead allow all runoff for the 100-year storm to be retained on-site within retention basins located throughout the project site; remove the requirement for sidewalks from the interior streets; modify the off-site open channel by reconfiguring the daylight channel; modify race track grading by elevating the track; require all sewers within project boundaries to be private per agreement with the Coachella Valley Water District; modify previous registration building to become a member's private garage; relocate irrigation reservoir from off-site to the western portion of the project site with the addition of an aviary screen; and, design modifications to the previously approved member's private garages which consists of a revised Design Manual. The revised plot plan also proposes up to seven (7) construction phases.



OFFICE OF
CLERK OF THE BOARD OF SUPERVISORS

1st FLOOR, COUNTY ADMINISTRATIVE CENTER
P.O. BOX 1147, 4080 LEMON STREET
RIVERSIDE, CA 92502-1147

PHONE: (951) 955-1060
FAX: (951) 955-1071

KECIA HARPER-IHEM
Clerk of the Board of Supervisors

KIMBERLY A. RECTOR
Assistant Clerk of the Board

March 20, 2014

THE PRESS ENTERPRISE
ATTN: LEGALS
P.O. BOX 792
RIVERSIDE, CA 92501

E-MAIL: legals@pe.com
FAX: (951) 368-9018

RE: NOTICE OF PUBLIC HEARING: TPM 36293; PP 24690 FTA 2011-11

To Whom It May Concern:

Attached is a copy for publication in your newspaper for **One (1) Time on Saturday, March 22, 2014.**

We require your affidavit of publication immediately upon completion of the last publication.

Your invoice must be submitted to this office in duplicate, **WITH TWO CLIPPINGS OF THE PUBLICATION.**

NOTE: PLEASE COMPOSE THIS PUBLICATION INTO A SINGLE COLUMN FORMAT.

Thank you in advance for your assistance and expertise.

Sincerely,

Cecilia Gil

Board Assistant to:
KECIA HARPER-IHEM, CLERK OF THE BOARD

Gil, Cecilia

From: mtinajero@pe.com on behalf of Master, PEC Legals <legalsmaster@pe.com>
Sent: Thursday, March 20, 2014 9:15 AM
To: Gil, Cecilia
Subject: Re: [Legals] FOR PUBLICATION: TPM 36293 PP 24690

Received for publication on March 22. Proof with cost to follow.

Thank You!
Legal Advertising



Phone: 1-800-880-0345 / Fax: 951-368-9018 / E-mail: legals@pe.com

Please Note: Deadline is 10:30 AM two (2) business days prior to the date you would like to publish.

Additional days required for larger ad sizes

On Thu, Mar 20, 2014 at 8:58 AM, Gil, Cecilia <CCGIL@rcbos.org> wrote:

Good morning! Attached is a Notice of Public Hearing, for publication on Saturday, March 22, 2014. Please confirm. THANK YOU!

Cecilia Gil

Board Assistant

Clerk of the Board

951-955-8464

MS# 1010



OFFICE OF
CLERK OF THE BOARD OF SUPERVISORS
1st FLOOR, COUNTY ADMINISTRATIVE CENTER
P.O. BOX 1147, 4080 LEMON STREET
RIVERSIDE, CA 92502-1147
PHONE: (951) 955-1060
FAX: (951) 955-1071

KECIA HARPER-IHEM
Clerk of the Board of Supervisors

KIMBERLY A. RECTOR
Assistant Clerk of the Board

March 20, 2014

THE DESERT SUN
ATTN: LEGALS
P.O. BOX 2734
PALM SPRINGS, CA 92263

E-MAIL: legals@thedesertsun.com
FAX: (760) 778-4731

RE: NOTICE OF PUBLIC HEARING: TPM 36293; PP 24690 FTA 2011-11

To Whom It May Concern:

Attached is a copy for publication in your newspaper for **One (1) Time on Saturday, March 22, 2014.**

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Your invoice must be submitted to this office in duplicate, **WITH TWO CLIPPINGS OF THE PUBLICATION.**

NOTE: PLEASE COMPOSE THIS PUBLICATION INTO A SINGLE COLUMN FORMAT.

Thank you in advance for your assistance and expertise.

Sincerely,

Cecilia Gil

Board Assistant to:
KECIA HARPER-IHEM, CLERK OF THE BOARD

Gil, Cecilia

From: Moeller, Charlene <CMOELLER@palmspri.gannett.com>
Sent: Thursday, March 20, 2014 9:00 AM
To: Gil, Cecilia
Subject: RE: FOR PUBLICATION: TPM 36293 PP 24690

Ad received and will publish on date(s) requested.

Charlene Moeller | Media Sales Legal Notice Coordinator

The Desert Sun Media Group
750 N. Gene Autry Trail, Palm Springs, CA 92262
t 760.778.4578 | f 760.778.4731
legals@thedesertsun.com / dpwlegals@thedesertsun.com

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This email and any files transmitted with it are confidential and intended for the individual to whom they are addressed. If you have received this email in error, please notify the sender and delete the message from your system

From: Gil, Cecilia [<mailto:CCGIL@rcbos.org>]
Sent: Thursday, March 20, 2014 8:59 AM
To: tds-legals
Subject: FOR PUBLICATION: TPM 36293 PP 24690

Good morning! Attached is a Notice of Public Hearing, for publication on Saturday, March 22, 2014. Please confirm. THANK YOU!

Cecilia Gil
Board Assistant
Clerk of the Board
951-955-8464
MS# 1010

NOTICE OF PUBLIC HEARING BEFORE THE BOARD OF SUPERVISORS OF RIVERSIDE COUNTY ON A FAST TRACK TENTATIVE PARCEL MAP, MINOR CHANGE, AND A PLOT PLAN REVISED PERMIT, 4TH SUPERVISORIAL DISTRICT AND NOTICE OF INTENT TO CERTIFY AN ADDENDUM TO ENVIRONMENTAL IMPACT REPORT

NOTICE IS HEREBY GIVEN that a public hearing at which all interested persons will be heard, will be held before the Board of Supervisors of Riverside County, California, on the 1st Floor Board Chambers, County Administrative Center, 4080 Lemon Street, Riverside, on **Tuesday, April 1, 2014 at 10:30 A.M.** or as soon as possible thereafter, to consider the application submitted by Thermal Operating Company, LLC – RCE Consultants, Inc., on **Fast Track Tentative Parcel Map No. 36293, Minor Change No. 1**, which proposes to remove three (3) founders lots and reconfigure 35 lots along with street and open space lots within the eight (8) acre unrecorded portion of the previously approved Tentative Parcel Map No. 36293 (Schedule E); and, **Plot Plan No. 24690, Revised Permit No. 1**, which proposes to remove the requirement for water quality swales shown on the approved Plot Plan 24690 and instead allow all runoff for the 100-year storm to be retained on-site within retention basins located throughout the project site; remove the requirement for sidewalks from the interior streets; modify the off-site open channel by reconfiguring the daylight channel; modify race track grading by elevating the track; require all sewers within project boundaries to be private per agreement with the Coachella Valley Water District; modify previous registration building to become a member's private garage; relocate irrigation reservoir from off-site to the western portion of the project site with the addition of an aviary screen; and, design modifications to the previously approved member's private garages which consists of a revised Design Manual ("the project"). The revised plot plan also proposes up to seven (7) construction phases. The project is located north of Avenue 62, south of Avenue 60, east of Tyler Street, and west of Polk Street, Fourth Supervisorial District.

The Planning Department approved the project, found that the environmental effects have been addressed and recommended the consideration of an Addendum to **Environmental Impact Report No. 396**.

The project case file may be viewed from the date of this notice until the public hearing, Monday through Friday, from 8:00 a.m. to 5:00 p.m. at the Clerk of the Board of Supervisors at 4080 Lemon Street, 1st Floor, Riverside, California 92501, and at the Riverside County Planning Department at 4080 Lemon Street, 12th Floor, Riverside, California 92501.

FOR FURTHER INFORMATION REGARDING THIS PROJECT, PLEASE CONTACT JAY OLIVAS PROJECT PLANNER, AT (760) 863-7050 OR EMAIL jolivas@rctlma.org.

Any person wishing to testify in support of or in opposition to the project may do so in writing between the date of this notice and the public hearing, or may appear and be heard at the time and place noted above. All written comments received prior to the public hearing will be submitted to the Board of Supervisors and the Board of Supervisors will consider such comments, in addition to any oral testimony, before making a decision on the project.

If you challenge the above item in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence to the Planning Commission or Board of Supervisors at, or prior to, the public hearing. Be advised that as a result of the public hearing and the consideration of all public comment, written and oral, the Board of Supervisors may amend, in whole or in part, the project and/or the related environmental document. Accordingly, the designations, development standards, design or improvements, or any properties or lands within the boundaries of the project, may be changed in a way other than specifically proposed.

Please send all written correspondence to: Clerk of the Board, 4080 Lemon Street, 1st Floor, Post Office Box 1147, Riverside, CA 92502-1147

Dated: March 20, 2014

Kecia Harper-Ihem, Clerk of the Board
By: Cecilia Gil, Board Assistant

CERTIFICATE OF POSTING

(Original copy, duly executed, must be attached to the original document at the time of filing)

I, Cecilia Gil, Board Assistant to Kecia Harper-Ihem, Clerk of the Board of Supervisors, for the County of Riverside, do hereby certify that I am not a party to the within action or proceeding; that on March 20, 2014, I forwarded to Riverside County Clerk & Recorder's Office a copy of the following document:

NOTICE OF PUBLIC HEARING

TPM 36293 and PP 24690 FTA 2011-11

to be posted, pursuant to Government Code Section 21092 et seq, in the office of the County Clerk at 2724 Gateway Drive, Riverside, California 92507. Upon completion of posting, the County Clerk will provide the required certification of posting.

Board Agenda Date: April 1, 2014 @ 10:30 A.M.

SIGNATURE: Cecilia Gil DATE: March 20, 2014
Cecilia Gil

Gil, Cecilia

From: Kennemer, Bonnie <bkeneme@srclkrec.com>
Sent: Thursday, March 20, 2014 9:24 AM
To: Gil, Cecilia; Buie, Tammie; Meyer, Mary Ann
Subject: RE: FOR POSTING: TPM 36293 PP 24690

Good Morning Cecilia,

Your notice has been received and will be posted today.

Thank you,
Bonnie Kennemer

From: Gil, Cecilia [mailto:CCGIL@rcbos.org]
Sent: Thursday, March 20, 2014 8:59 AM
To: Buie, Tammie; Kennemer, Bonnie; Meyer, Mary Ann
Subject: FOR POSTING: TPM 36293 PP 24690

Good morning! Attached is a Notice of Public Hearing, for POSTING. Please confirm. THANK YOU!

Cecilia Gil
Board Assistant
Clerk of the Board
951-955-8464
MS# 1010

CERTIFICATE OF MAILING

(Original copy, duly executed, must be attached to
the original document at the time of filing)

I, Cecilia Gil, Board Assistant, for the
(NAME and TITLE)

County of Riverside, do hereby certify that I am not a party to the within action or proceeding; that on March 20, 2014, I mailed a copy of the following document:

NOTICE OF PUBLIC HEARING

TPM 36293 and PP 24690 FTA 2011-11

to the parties listed in the attached labels, by depositing said copy with postage thereon fully prepaid, in the United States Post Office, 3890 Orange St., Riverside, California, 92501.

Board Agenda Date: April 1, 2014 @ 10:30 AM

SIGNATURE: Cecilia Gil DATE: March 20, 2014
Cecilia Gil

PROPERTY OWNERS CERTIFICATION FORM

I, VINNIE NGUYEN, certify that on 2/20/2014,

The attached property owners list was prepared by Riverside County GIS,

APN (s) or case numbers PM36293MI/PP24690R1 For

Company or Individual's Name Planning Department,

Distance buffered 2400'

Pursuant to application requirements furnished by the Riverside County Planning Department, Said list is a complete and true compilation of the owners of the subject property and all other property owners within 600 feet of the property involved, or if that area yields less than 25 different owners, all property owners within a notification area expanded to yield a minimum of 25 different owners, to a maximum notification area of 2,400 feet from the project boundaries, based upon the latest equalized assessment rolls. If the project is a subdivision with identified off-site access/improvements, said list includes a complete and true compilation of the names and mailing addresses of the owners of all property that is adjacent to the proposed off-site improvement/alignment.

I further certify that the information filed is true and correct to the best of my knowledge. I understand that incorrect or incomplete information may be grounds for rejection or denial of the application.

NAME: Vinnie Nguyen

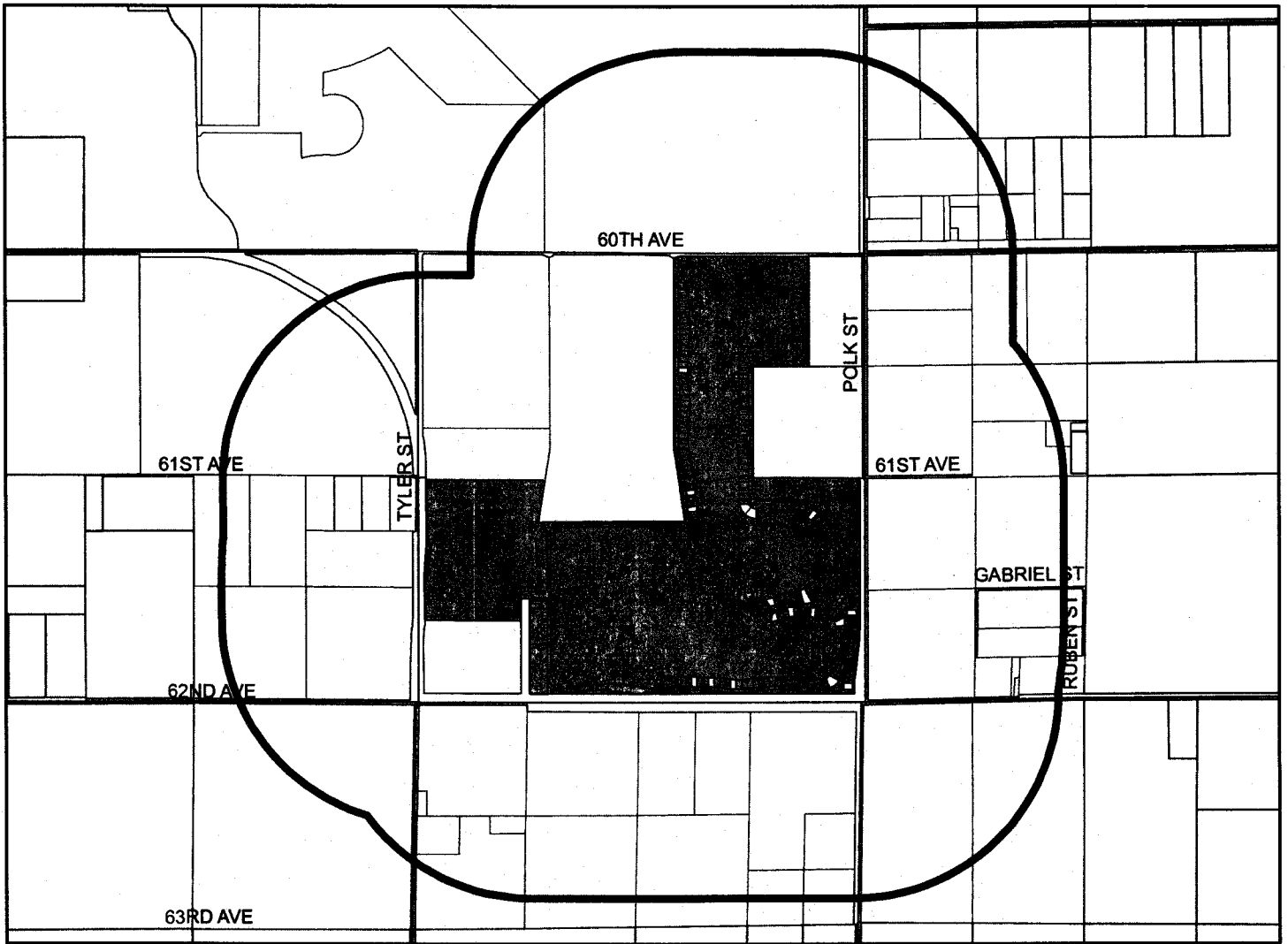
TITLE GIS Analyst

ADDRESS: 4080 Lemon Street 2nd Floor

Riverside, Ca. 92502

TELEPHONE NUMBER (8 a.m. – 5 p.m.): (951) 955-8158

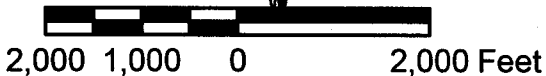
PM36293M1/PP24690R1 (2400 feet buffer)



Selected Parcels

- | | | | | | | | | | |
|-------------|-------------|-------------|-------------|-------------|-------------|-------------|-------------|-------------|-------------|
| 757-260-010 | 759-190-002 | 757-210-006 | 759-220-017 | 757-210-013 | 751-030-007 | 751-030-008 | 759-220-028 | 757-210-001 | 759-100-013 |
| 757-210-017 | 757-210-018 | 757-210-021 | 757-210-020 | 757-210-028 | 759-230-012 | 759-210-010 | 757-260-002 | 757-210-008 | 759-190-003 |
| 757-260-001 | 757-260-003 | 757-260-004 | 759-140-010 | 757-270-005 | 751-020-003 | 759-220-023 | 759-210-028 | 759-200-011 | 757-260-009 |
| 757-210-010 | 751-030-009 | 759-140-014 | 759-140-009 | 757-210-009 | 757-270-013 | 759-180-009 | 759-180-013 | 759-180-014 | 759-200-001 |
| 759-200-002 | 759-200-009 | 759-200-012 | 759-200-014 | 759-200-015 | 759-210-001 | 759-210-003 | 759-210-009 | 759-210-011 | 759-210-012 |
| 759-210-014 | 759-210-021 | 759-210-022 | 759-210-026 | 759-220-001 | 759-220-020 | 759-220-022 | 759-230-001 | 759-230-004 | 759-230-008 |
| 759-230-018 | 759-240-015 | 759-250-018 | 759-250-021 | 759-250-022 | 759-260-003 | 759-260-005 | 759-260-009 | 759-260-011 | 759-260- |

First 120 parcels shown



Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

ASMT: 751020003, APN: 751020003
JACQUELINE ESTON, ETAL
P O BOX 371
THERMAL CA 92274

ASMT: 757210006, APN: 757210006
AIRPORT BOULEVARD PROP
1570 LINDA VISTA DR
SAN MARCOS CA 92069

ASMT: 751030001, APN: 751030001
CARLOS GALINDO, ETAL
C/O JOHN B LEARY SR
86027 AVENUE 62
THERMAL, CA. 92274

ASMT: 757210009, APN: 757210009
HUMBERTO GARCIA, ETAL
C/O MARIA A G DE GUTIERREZ
87190 AVENUE 60
THERMAL CA 92274

ASMT: 751030002, APN: 751030002
OTILIA MALDONADO, ETAL
49062 SUMMER ST
COACHELLA CA 92236

ASMT: 757210010, APN: 757210010
JAIME MARQUEZ, ETAL
48352 PINTO LN
COACHELLA CA 92236

ASMT: 751030008, APN: 751030008
MARGARET VALENZUELA, ETAL
62800 TYLER ST
THERMAL, CA. 92274

ASMT: 757210011, APN: 757210011
NELSON HINCHEN
C/O LONA STITT
5723 7TH AVE
LOS ANGELES CA 90043

ASMT: 751030009, APN: 751030009
LYDIA MORIN, ETAL
82687 SMOKETREE AVE
INDIO CA 92201

ASMT: 757210012, APN: 757210012
PATRICIA NEAL, ETAL
C/O PATRICIA NEAL
27925 ROCKWOOD AVE
MORENO VALLEY CA 92555

ASMT: 757210001, APN: 757210001
CAROLE ARIAS
P O BOX 5276
LA QUINTA CA 92248

ASMT: 757210013, APN: 757210013
ALLIE ROUGHELY, ETAL
C/O NAPOLEON THOMPSON
46654 CARNATION CT
INDIO CA 92201

ASMT: 757210002, APN: 757210002
MYRA TOTTEN, ETAL
87165 AVENUE 59
THERMAL, CA. 92274

ASMT: 757210016, APN: 757210016
MARIA LARA, ETAL
59800 POLK ST
THERMAL, CA. 92274



ASMT: 757210021, APN: 757210021
CROWN HILL RANCHES INC
85810 PETER RABBIT LN
COACHELLA CA 92236

ASMT: 757270003, APN: 757270003
KIRKJAN INV PROP
86740 INDUSTRIAL WAY
COACHELLA CA 92236

ASMT: 757210028, APN: 757210028
CVCWD
P O BOX 1058
COACHELLA CA 92236

ASMT: 757270005, APN: 757270005
ADAM COLLINS, ETAL
ADAM COLLINS
87260 AVENUE 62
THERMAL, CA. 92274

ASMT: 757260008, APN: 757260008
PEDRO MONREAL
440 S EL CIELO RD STE 20
PALM SPRINGS CA 92262

ASMT: 757270007, APN: 757270007
JUAN VACA
87350 AVENUE 62ND
THERMAL CA 92274

ASMT: 757260010, APN: 757260010
BARTI VAIDYA, ETAL
8687 GRAND AVE
YUCCA VALLEY CA 92284

ASMT: 757270010, APN: 757270010
LOUISA RODRIGUEZ, ETAL
81280 GARDENIA CT
INDIO CA 92201

ASMT: 757260018, APN: 757260018
PEDRO MONREAL
47508 SEVILLE ST
INDIO CA 92201

ASMT: 757270012, APN: 757270012
NEMESIA NUNEZ, ETAL
81749 TECOMA AVE
INDIO CA 92201

ASMT: 757270001, APN: 757270001
PATRICIA ORTIZ, ETAL
C/O JEFFREY BECKER
40 S OAK ST
VENTURA CA 93001

ASMT: 757270013, APN: 757270013
JOSE MAGANA
54400 JACKSON ST
THERMAL CA 92274

ASMT: 757270002, APN: 757270002
RHONDA GAYLER, ETAL
FIRST NATL BANK IN COACHELLA
P O BOX 403
THERMAL CA 92274

ASMT: 759100013, APN: 759100013
COUNTY OF RIVERSIDE
C/O REAL ESTATE DIVISION
P O BOX 1180
RIVERSIDE CA 92502

ASMT: 759140006, APN: 759140006
MARY GONZALEZ, ETAL
85501 AVENUE 61
THERMAL CA 92274

ASMT: 759200004, APN: 759200004
MANJU CHOPRA, ETAL
6926 OROZCO DR
RIVERSIDE CA 92506

ASMT: 759140010, APN: 759140010
JOSE ORTIZ, ETAL
85981 AVENUE 61
THERMAL, CA. 92274

ASMT: 759200008, APN: 759200008
TR RACING
930 S ANDREASEN DR NO H
ESCONDIDO CA 92029

ASMT: 759140014, APN: 759140014
PEGI MCDANIEL, ETAL
41410 MAROON TOWN
INDIO CA 92201

ASMT: 759200011, APN: 759200011
ANNA DANES, ETAL
5910 SEA LION PL STE 140
CARLSBAD CA 92010

ASMT: 759140015, APN: 759140015
CONNIE PESCADOR, ETAL
C/O RALPH PESCADOR JR
P O BOX 759
THERMAL CA 92274

ASMT: 759210010, APN: 759210010
MABLE WHEELER, ETAL
6 SEAGREENS
NEWPORT COAST CA 92657

ASMT: 759190002, APN: 759190002
AGRI EMPIRE
P O BOX 490
SAN JACINTO CA 92581

ASMT: 759210028, APN: 759210028
GUY DREIER RACING INC
C/O GUY DREIER
74105 MOCKINGBIRD TER
INDIAN WELLS CA 92210

ASMT: 759190003, APN: 759190003
DESERT HERB FARMS INC
P O BOX 845
THERMAL CA 92274

ASMT: 759220002, APN: 759220002
LINDA PORTEOUS, ETAL
600 E HUENEME RD
OXNARD CA 93033

ASMT: 759190008, APN: 759190008
KOHL RANCH II
C/O STEPHANIE COHEN
11990 SAN VICENTE BLV 200
LOS ANGELES CA 90049

ASMT: 759220010, APN: 759220010
THERMAL CLUB LOT 46
P O BOX 411
LA QUINTA CA 92247

ASMT: 759220011, APN: 759220011
MICHAEL SULLIVAN
14900 HINDY AVE
HAWTHORNE CA 90250

ASMT: 759240002, APN: 759240002
THERMAL LOT NO 84
C/O BLAKE MIRAGLIA
50855 WASHINGTON NO C234
LA QUINTA CA 92253

ASMT: 759220012, APN: 759220012
LOT 48 RACING
100 BAYVIEW CIR NO 4500
NEWPORT BEACH CA 92660

ASMT: 759240003, APN: 759240003
PAUL CLAYTON
P O BOX 2102
PALM DESERT CA 92261

ASMT: 759220015, APN: 759220015
MB35
220 35TH ST
MANHATTAN BEACH CA 90266

ASMT: 759240010, APN: 759240010
PAVEL V PETRIK MEDICAL CORP PENSION PL
41651 MISHA LN
PALMDALE CA 93551

ASMT: 759220017, APN: 759220017
ANTHONY RENAUD
47690 WINDSPIRIT DR
LA QUINTA CA 92253

ASMT: 759240013, APN: 759240013
THERMAL CLUB GARAGE
C/O STEVE KNUDSON
1200 17TH ST STE 660
DENVER CO 80202

ASMT: 759220023, APN: 759220023
DARELLYN CARTWRIGHT, ETAL
22410 MISSION HILLS LN
YORBA LINDA CA 92887

ASMT: 759270027, APN: 759270027
JTM LAND CO
800 SAN LORENZO ST
SANTA MONICA CA 90402

ASMT: 759220028, APN: 759220028
ARUSS
1407 BOYD ST
LOS ANGELES CA 90033

ASMT: 759230012, APN: 759230012
NANCY TENHULZEN, ETAL
3001 SW SCHAEFFER RD
WEST LINN OR 97068

Eckles, April

From: Harper-Ihem, Kecia
Sent: Wednesday, March 19, 2014 8:11 PM
To: Eckles, April
Cc: Rector, Kimberly
Subject: Fwd: Thermal Club - for the April 1st BOS agenda
Attachments: image001.gif

Please print this email and put it in my pending folder for April 1st. Thank you.

Best regards,
Kecia

Sent from my iPhone - Please disregard any typos

Begin forwarded message:

From: "Harper-Ihem, Kecia" <KHarper-Ihem@rcbos.org>
Date: March 19, 2014 at 8:09:26 PM PDT
To: "Gialdini, Michael" <mgialdini@rcbos.org>
Cc: "Baez, Ken" <KBAEZ@rctlma.org>, "Grande, Tina" <TGRANDE@rceo.org>, "DeArmond, Michelle" <MDeArmond@rcbos.org>, "Perez, Juan" <JCPEREZ@rctlma.org>, "Gialdini, Michael" <mgialdini@rcbos.org>, "Rector, Kimberly" <KRECTOR@rcbos.org>, "Eckles, April" <AECKLES@rcbos.org>
Subject: Re: Thermal Club - for the April 1st BOS agenda

Will do.

Best regards,
Kecia

Sent from my iPhone - Please disregard any typos

On Mar 19, 2014, at 6:13 PM, "Gialdini, Michael" <mgialdini@rcbos.org> wrote:

<image001.gif>

Kecia and Tina:

Ken has contacted me and indicated he that he would like to get the Thermal Club FPM3629301(?) on the April 1st BOS agenda.

Our office supports this timing. This project has been in the works for a long time and the developer has hired additional consultants to get work completed.

Ken has indicated that he MAY not have all the info that is normally provided to EO in time for normal deadlines to be on the April 1st agenda, but he is committed to getting all the info in in time for the April 1st meeting.

Please assist Ken in putting the Thermal Club on the April 2st agenda.

Thank you,

Mike Gialdini

Legislative Assistant

Supervisor John J. Benoit

760-863-8211

I'm in the office Mon-THURSDAY 7am-6pm

Our office is open Mon-Fri 8am-5pm

Agenda Item No.:
Area Plan: Eastern Coachella Valley
Zoning District: Lower Coachella Valley
Supervisory District: Fourth/Fourth
Project Planner: Jay Olivas
Board of Supervisors: April 1, 2014

**TENTATIVE PARCEL MAP NO. 36293, MINOR
CHANGE NO. 1**
**PLOT PLAN 24690, REVISED PERMIT NO. 1
(FTA-2011-11)**
Applicant: Thermal Operating Company, LLC
Engineer/Rep.: RCE Consultants, Inc.

COUNTY OF RIVERSIDE PLANNING DEPARTMENT STAFF REPORT

PROJECT DESCRIPTION AND LOCATION:

TENTATIVE PARCEL MAP NO. 36293, MINOR CHANGE NO. 1 proposes to remove three (3) founder's lots and reconfigure 35 lots along with street and open space within the eight (8) acre unrecorded portion of the previously approved Tentative Parcel Map No. 36293 (Schedule E).

PLOT PLAN NO. 24690, REVISED PERMIT NO. 1 proposes to remove the requirement for water quality swales shown on the previous plot plan and instead allow all runoff for the 100-year storm to be retained on-site within retention basins located throughout the project site, remove the requirement for sidewalks from the interior streets, modify the off-site open channel by reconfiguring the daylight channel, modify race track grading by elevating the track, require all sewers within project boundaries to be private per agreement with the Coachella Valley Water District; modify previous registration building to become a member's private garage, relocate irrigation reservoir from off-site to western portion of the site with the addition of an aviary screen, and design modifications to the previously approved member's private garages which consists of a revised Design Manual. The revised plot plan includes up to seven (7) construction phases.

The project site is north of Avenue 62, south of Avenue 60, east of Tyler Street, and west of Polk Street in Thermal.

PROJECT HISTORY:

The Kohl Ranch Specific Plan was first adopted by the Riverside County Board of Supervisors and related Environmental Impact Report No. 396 (EIR No. 396) was certified on November 16, 1999 (Resolution No. 99-378). Specific Plan No. 303, Amendment No. 1 amended the Kohl Ranch Specific Plan in January 2003 which included the addition of an 88 acre portion for the Coachella Valley Unified School District. Specific Plan No. 303, Amendment No. 2 in 2011 had key changes including to planning area boundaries to reflect new land uses and an updated circulation portion.

The plot plan project is now proposing to redesign water quality engineering controls to allow all runoff for the 100-year storm waters to be retained on-site by utilizing water retention basins instead of the water quality bio swales. The project also proposes minor modifications such as modification to the racetrack grading elevations and the off-site open channel, removing the requirement to sidewalks on private streets and the design of the member's private garage. The parcel map project proposes reducing the number of lots from 38 to 35 and minor reconfiguration of them. An addendum to a previously certified Environmental Impact Report (EIR) No. 396 has been prepared for the project to inform decision-makers and the public that potential significant environmental effects have been analyzed in an earlier EIR, and would not result in significant effects on the environment with the described revised mitigation measures. An addendum was determined appropriate because there are no major changes or additions to the previous CEQA documents as a result of the proposed project and

none of the conditions described in CEQA Guidelines section 15162 calling for preparation of a subsequent EIR exist or have occurred.

For reference purposes, the Environmental Impact Report (EIR) No 396, EIR No. 396 – Addendum No. 1 and EIR No. 396 – Addendum No. 2 are collectively referred to as the “CEQA Documents.”

ISSUES OF POTENTIAL CONCERN:

Staff reviewed previous mitigation measures from Environmental Impact Report No. 396, Addendum No. 2 (“EIR396A2”) completed in 2011 and compared them with the proposed revised mitigation measures. Staff found that the revised mitigation measures resulted in either the same impact or less of an impact that was determined in the EIR396A2. A third Addendum has been prepared to the Environmental Impact Report for the current project with revised mitigation measures. Project issues have been resolved as described in the findings/conclusions in the staff report and recommended conditions of approval.

SUMMARY OF FINDINGS:

- | | |
|---|--|
| 1. Existing General Plan Land Use (Ex. #5): | Community Development: Community Development: Heavy Industrial (CD: HI) (.15 - .50 FAR); Community Development: Commercial Office (CD: CO) (.35 - 1.0 FAR); Community Development: Commercial Retail (CD: CR) (.20 - .35 FAR); Community Development: Very High Density Residential (CD: VHDR) (14-20 D.U./Ac.); and Open Space: Conservation (OS-C) |
| 2. Existing Zoning (Ex. #3): | Specific Plan (S-P) Zone |
| 3. Surrounding Zoning (Ex. #3): | Heavy Manufacturing (M-H) to the north, S-P and Heavy Agriculture 10 Acre Minimum (A-2-10) to the east, S-P and Heavy Agriculture – 10 Acre Minimum (A-2-10) to the west, S-P and Heavy Agriculture – 10 Acre Minimum (A-1-10) to the south |
| 4. Existing Land Use (Ex. #1): | Vacant, Agriculture, Scattered Single Family Dwellings, School Site, and Lake |
| 5. Surrounding Land Use (Ex. #1): | Vacant, Agriculture, Scattered Single Family Dwellings to the east, west, and south; Cochran Airport to the north. |
| 6. Project Data: | Total Acreage: 330 Gross Acres |

FINDINGS: The following findings are in addition to those incorporated in the summary of findings and the attached environmental assessment, which is incorporated herein by reference.

1. The land use designations on the subject site are Community Development: Heavy Industrial (CD; HI) (.15 - .50 FAR), Community Development: Commercial Office (CD: CO) (.35 -1.0 FAR), Community Development: Commercial Retail (CD: CR) (.20 - .35 FAR), Community Development: Very High Density Residential (CD: VHDR) (.14 – 20 D.U./Ac.), and Open Space: Conservation (OS-C).

2. The existing zoning for the subject site is Specific Plan (S-P Zone) as described in Ordinance No. 348.4722 for Specific Plan No. 303.
3. The proposed project is consistent with the development standards set forth in the Specific Plan No. 303A2 Zoning Ordinance.
4. The project site is surrounded by properties which are zoned M-H to the north, A-2-10 to the east, A-2-10 and S-P to the west, and A-2-10 and S-P to the south.
5. The proposed minor change parcel map (PM36293M1) and revised plot plan (PP24690R1) conforms to Planning Areas E-1, E-2, E-3, and E-4 and portions of A-6, A-7, and A-8 based on planning area standards of SP 303A2.
6. The proposed project to make minor revisions to a 330 acre site as part of a previously approved private race track with associated buildings, is a permitted use, subject to approval of a revised plot plan (PP24690R1) in the Specific Plan (S-P) zone.
7. The proposed project to make minor revisions to a previously approved private race track site (PP24690R1) with associated buildings, is consistent with the development standards set forth in the Specific Plan No 303A2 due to proposed site improvements such as entry monuments at main entrances and landscape buffers along Tyler Street, Polk Street, and Avenue 62.
8. The proposed project to make minor revisions to a previously approved private race track (PP24690R1) site will buffer surrounding land uses due to staggering of building setbacks and varied rooflines for the member's private garages which are approximately 3,700 square feet each up to 42 feet in height.
9. The proposed revisions to the plot plan such as run-off for the 100 year storm to be retained on – site, removal of requirements for sidewalks along private streets, modifying the off-site open channel, modifying the race track grading elevations, requiring all sewers to be per private agreement with the Coachella Valley Water District, modifying previous registration building, relocating irrigation reservoir with aviary screen, and design modifications to the member's private garages, are conditionally consistent with the adopted Specific Plan and affected Planning Areas.
10. The project will provide appropriate fire protection improvements, such as fire hydrants and a water system, in conformance with the fire services policies of the General Plan.
12. Domestic water and sanitation shall be provided in conformance with the water and sewer land use standards of the General Plan.
13. The project site is bordered by Tyler Street (128' R-O-W), Avenue 60 (78' R-O-W), Avenue 62/South Valley Parkway (220' R-O-W), and Polk Street (128' R-O-W). The project will provide appropriate street access in compliance with the requirements of the circulation element of the General Plan.
14. Noise impacts for the previously approved private race track were previously analyzed by acoustical reports prepared by Webb Associates dated September 13, 2010 and Gordon Bricken & Associates dated August 16, 2010, which reports were reviewed by the Department of Public Health, Office of Industrial Hygiene.

15. Noise impacts will be less than significant with mitigation measures including perimeter masonry block walls around the 330 acre race track site plus existing combination 15 foot high earthen berms and 10 foot high steel walls on the top portion of the berms in immediate proximity to the race track right-of-way.
16. Based on the Airport Land Use Commission transmittal of October 16, 2013 for PM36293M1 and PP24690R1, the project was found "consistent" with the 2005 Jacqueline Cochran Regional Airport Land Use Compatibility Plan (amended 2006).
17. The project site is located within the Coachella Valley Multiple Species Habitat Conservation Plan (CVMSHCP) boundaries but is not within a CVMSHCP conservation area.
18. The project is not located within the sphere of influence of any city. However, it is located within the boundaries of the Thermal Community Council where the project was previously presented.
19. No new substantial changes are being proposed with Plot Plan. The size, the capacity as well as the footprint of the Thermal Club Racetrack facility will remain the same. One of the changes proposed is to provide a redesigned water quality engineering controls and drainage protection by having on-site retention basins instead of many water quality swales. The use of retention basins will allow the capture of 100 percent of flows on-site which will simply infiltrate. The storm drain and equalization systems within the track area have been sized to convey peak runoff from intercepted 100-year, 24-hour storm runoff to the on-site retention basins. The project will occupy the same area with similar hydrology and drainage conditions that was analyzed in the prior CEQA Documents.
20. No new substantial changes or intensity of impacts from the project by modifying the grading elevation for the race track or changes to the off-site open channel. The berm height proposed is 18 feet and no slope would be greater than 2:1. A larger capacity for the off-site channel is no longer needed because the on-site retention basins will handle the runoff up to a 100-year storm event. Thus, the grading for proposed project will occupy the same area within the same project boundary as discussed and analyzed in the CEQA Documents.
21. The proposed project would require a private agreement between CVWD and the project applicant for the provision of water and sanitation systems. The on-site sewers systems will still flow to the CVWD system as discussed and analyzed in the CEQA Documents; therefore, no new substantial or increased intensity of impacts will occur from the proposed project.
22. The relocation of the irrigation reservoir from off-site to within the project boundaries and the addition of an aviary screen does not result in new substantial or increased intensity of impacts than what was discussed and analyzed in the CEQA Documents. The addition of the aviary screen is a protection measure.
23. No new substantial changes are being proposed with the change from 2 to 7 construction phases. The timing for required improvements already discussed and analyzed as part of the prior CEQA Documents will be different but the proposed phasing does not defer any required mitigation.

24. No new substantial changes are being proposed for the Tentative Parcel Map. The proposed project reduces the number of lots from 38 to 35 and reconfiguration of the boundaries for each of them. The sizes of the lots are the same, the intensity of use has not been increased and the footprint for the lots is consistent with what was previously analyzed in the CEQA Documents and for Specific Plan No. 303, Amendment No. 2.
25. No new substantial changes are being proposed with the project. Sidewalks are not required upon private streets within a gated private development. The removal of the requirement for sidewalks on the private streets within the project area does not provide for any changes to the circulation that were not already discussed and analyzed as part of the prior CEQA Documents.
26. Modifications for the registration building to a member private garage and design style for the proposed project does not result in new substantial or increased intensity of impacts than what was discussed and analyzed in the CEQA Documents. The intensity of use is the same and the new design style of a Spanish Revival theme is more compatible with the SP303 Planning Standards and Design Guidelines and consistent with the surrounding area.
27. Pursuant to CEQA Guidelines section 15164 (Addendum to EIR or Negative Declaration), the Riverside County Planning Department has determined that all potentially significant effects have been adequately analyzed in an earlier EIR (EIR No. 396 adopted 1999). Potentially significant effects have been adequately analyzed in the Environmental Impact Report No. 396 pursuant to applicable legal standards; and have been avoided or mitigated, including mitigation measures that are imposed upon the proposed project. Addendum No. 3 for EIR No. 396, Addendum Nos. 1 and 2 has been prepared for this project. Impacts, such as the one's indicated in EA42592 and the attached Summary of Mitigation Measure Revisions Table, by this reference incorporated herein, were further analyzed in the addendum with revised mitigation measures to below a level of significance after the implementation of relevant standard conditions of approval, regulations and mitigation measures as identified in the Addendum to EIR 396. The revisions and deletion of the mitigation measures as listed in the Summary of Mitigation Measure Revisions Table are appropriate because the proposed project removes the necessity of that particular mitigation measure, is impracticable or unworkable to implement and/or no longer applies to the project.
28. The addendum confirms that the proposed minor revisions identified below as part of the project description would not raise new environmental issues or areas of controversy. Even though some changes or additions are necessary to the previously certified EIR, a new subsequent EIR is not required for the project, because none of the conditions described in CEQA Guidelines section 15162 have occurred.
 - a. As provided in the findings 19-26 above, no new substantial changes are proposed in the project which will require major revisions of the previous EIR due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects.
 - b. As provided in the findings 19-26 above, no new substantial changes occur with respect to the circumstances under which the project is undertaken which will require major revisions of the previous EIR due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects.

- c. As provided in the findings 19-26 above, no new information of substantial importance, which was not known and could not have been known with the exercise of reasonable diligence at the time the EIR was certified.

Therefore, an addendum to the previously certified EIR is the appropriate form of environmental review for this project under the circumstances and based upon the findings in the staff report and EA42592.

29. Addendum No. 3 and the EA42592 identified the following potential significant impacts:

- a. Hydrology and Water Quality
- b. Utilities/Service Systems
- c. Floodplains

The listed impact will be fully mitigated by the measures indicated in the environmental assessment, conditions of approval, and none of the conditions described in CEQA Guidelines Section 15162 exist.

CONCLUSIONS:

1. The proposed project is in conformance with the Specific Plan Land Use Designations (SP00303A2), and with all other elements of the Riverside County General Plan and the Specific Plan's Land Use Plan.
2. The proposed project will be consistent with the existing Specific Plan zoning classification of Ordinance No. 348 and with all other applicable provisions of Ordinance No. 348.
3. The public's health, safety, and general welfare are protected through project design.
4. The proposed minor change tentative parcel map (PM36293M1) will be conditionally consistent with the requirements of Ordinance No. 460 and all other applicable provisions of Ordinance No. 460.
5. The proposed revised plot plan (PP24690R1) will be consistent with Planning Areas E-1, E-2, E-3, and E-4 and portions of A-6, A-7, and A-8 of SP 303A2.
6. Since this project is consistent with SP 303A2, it is compatible with the present and future logical development of the area.
7. The proposed project is not within a Conservation Area of the Coachella Valley Multiple Species Habitat Conservation Plan (CVMSCHP).
8. The proposed project will not have a significant effect on the environment.
9. Revised mitigation measures introduced in the Addendum No. 3 to Environmental Impact Report No. 396 have been deemed as adequate by Riverside County to minimize the potential environmental impacts.

INFORMATIONAL ITEMS:

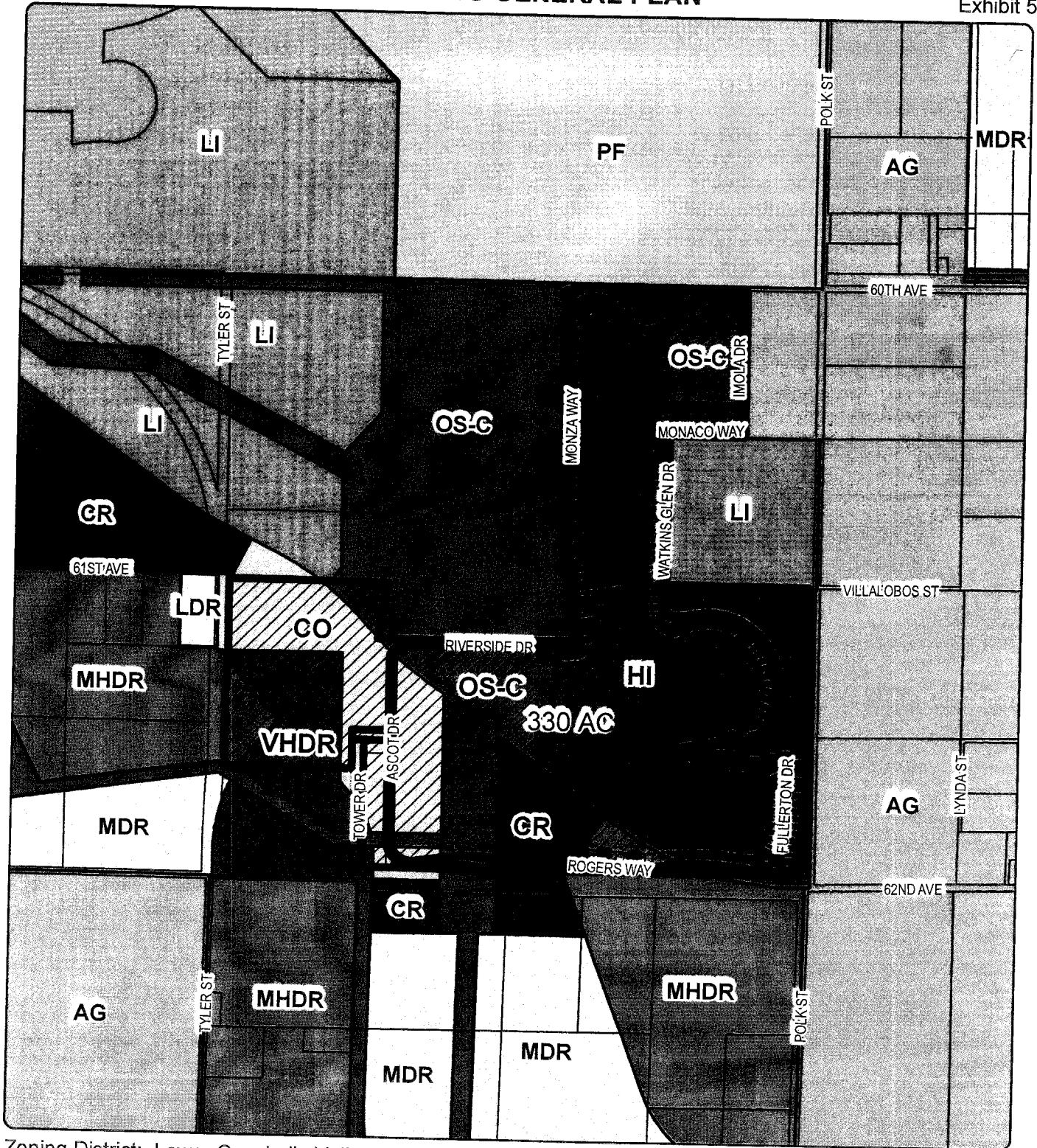
1. As of this writing (3/14/14), no public letters, in support or opposition have been received.
2. The project site is not located within:
 - a. A city sphere of influence;
 - b. A Conservation Area;
 - c. A High Fire Area;
 - d. A Dam Inundation Area;
 - e. A Sand Source Preserve.
3. The project site is located within:
 - a. County service area Thermal 125;
 - b. The boundaries of the Coachella Valley Unified School District;
 - c. The Whitewater Watershed;
 - d. An area of high (High B) paleontological sensitivity;
 - e. An area susceptible to subsidence;
 - f. An area of high liquefaction potential; and,
 - g. An Airport Influence Area.
4. The subject site is currently designated as Assessor Parcel Number's: 759-180-004, etc.

RIVERSIDE COUNTY PLANNING DEPARTMENT

PM36293M1 PP24690R1 EXISTING GENERAL PLAN

Supervisor Benoit
District 4

Date Drawn: 02/20/2014
Exhibit 5



Zoning District: Lower Coachella Valley
Township/Range: T6SR8E
Section: 33



Assessors Bk. Pg. 759-180
Thomas Bros. Pg. 5591 F3
Edition 2011

DISCLAIMER: On October 7, 2003, the County of Riverside adopted a new General Plan providing new land use designations for unincorporated Riverside County parcels. The new General Plan may contain different types of land use than is provided for under existing zoning. For further information, please contact the Riverside County Planning Department offices in Riverside at (951) 955-3200 (Western County), or in Indio at (760) 863-8277 (Eastern County) or website at <http://www.tmsa.co.riverside.ca.us/index.html>.



RIVERSIDE COUNTY PLANNING DEPARTMENT
PM36293M1 PP24690R1
VICINITY/POLICY AREAS

Supervisor Benoit
 District 4

Date Drawn: 02/21/2014
 Vicinity Map



Zoning District: Lower Coachella Valley
 Township/Range: T6SR8E

Section: 33

DISCLAIMER: On October 7, 2003, the County of Riverside adopted a new General Plan providing new land use designations for unincorporated Riverside County parcels. The new General Plan may contain different types of land use than is provided for under existing zoning. For further information, please contact the Riverside County Planning Department offices in Riverside at (951) 955-3200 (Western County), or in Indio at (760) 863-8277 (Eastern County) or website at http://www.rtrmna.com/rgrside.ca.us/rgrpg_2.html

Assessors Bk. Pg. 759-180
 Thomas Bros. Pg. 5591 F3
 Edition 2011

0 1,500 3,000 6,000 9,000



Feet

RIVERSIDE COUNTY PLANNING DEPARTMENT

PM36293M1 PP24690R1

LAND USE

Supervisor Benoit
District 4

Date Drawn: 02/20/2014
Exhibit 1



Zoning District: Lower Coachella Valley
Township/Range: T6SR8E
Section: 33

Assessors Bk. Pg. 759-180
Thomas Bros. Pg. 5591 F3
Edition 2011



DISCLAIMER: On October 7, 2009, the County of Riverside adopted a new General Plan providing new land use designations for unincorporated Riverside County parcels. The new General Plan may contain different types of land use than is provided for under existing zoning. For further information, please contact the Riverside County Planning Department offices in Riverside at (951) 955-3200 (Western County), or in Indio at (760) 863-8277 (Eastern County) or website at <http://www.ira.co.riverside.ca.us/index.htm>.

RIVERSIDE COUNTY PLANNING DEPARTMENT

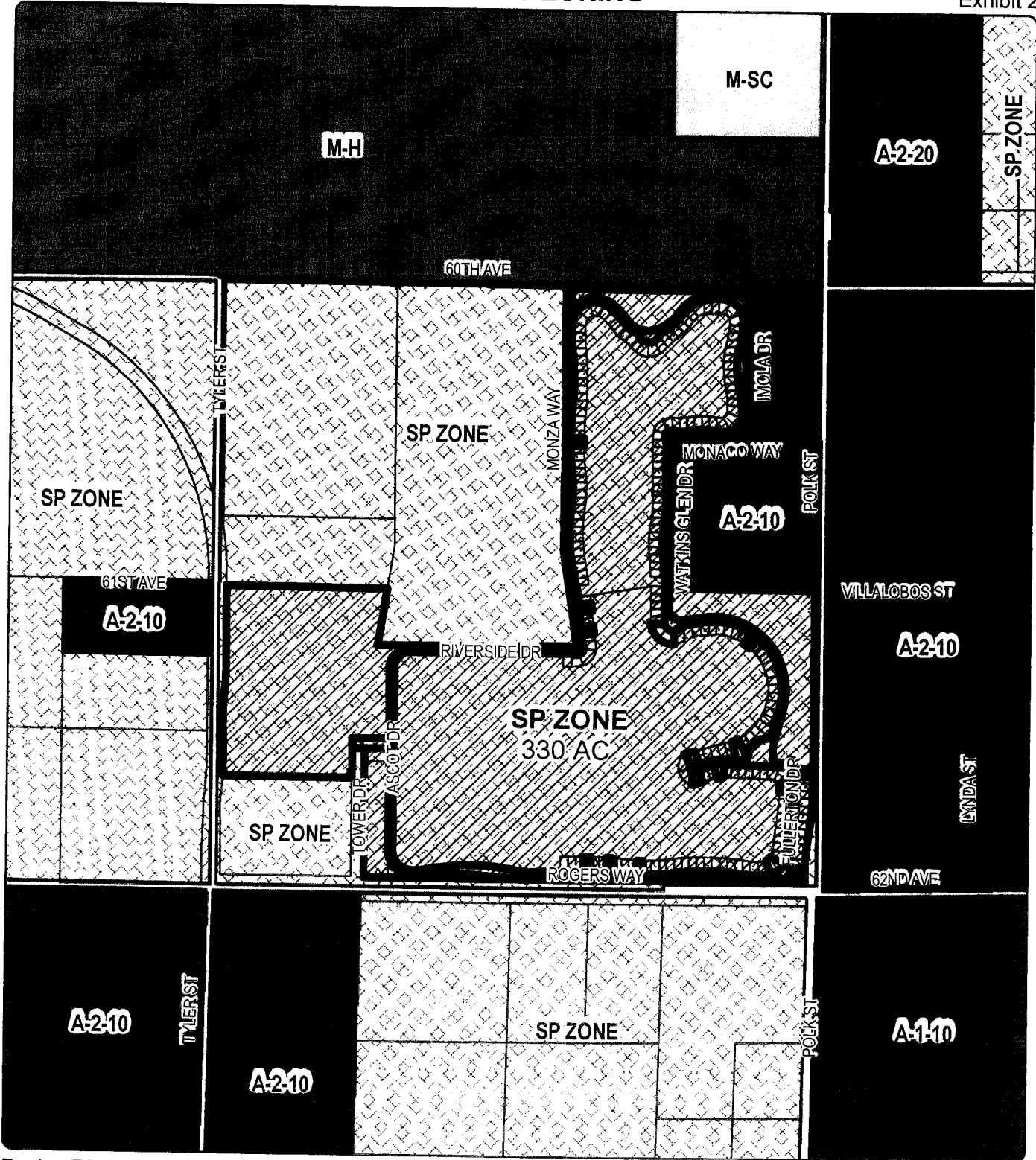
PM36293M1 PP24690R1

EXISTING ZONING

Supervisor Benoit
District 4

Date Drawn: 02/20/2014

Exhibit 2



Zoning District: Lower Coachella Valley
Township/Range: T6SR8E
Section: 33

Assessors Bk. Pg. 759-180
Thomas Bros. Pg. 5591 F3
Edition 2011

DISCLAIMER: On October 7, 2003, the County of Riverside adopted a new General Plan providing new land use designations for unincorporated Riverside County parcels. The new General Plan may contain different types of land use than is provided for under existing zoning. For further information, please contact the Riverside County Planning Department offices in Riverside at (951) 955-3200 (Western County), or in Indio at (760) 863-8277 (Eastern County) or website at <http://www.rma.co.riverside.ca.us/index.html>



LINE DATA table with columns: NUMBER, BEARING, DISTANCE. Rows include bearings like N 89°53'09"W and distances like 227.77.

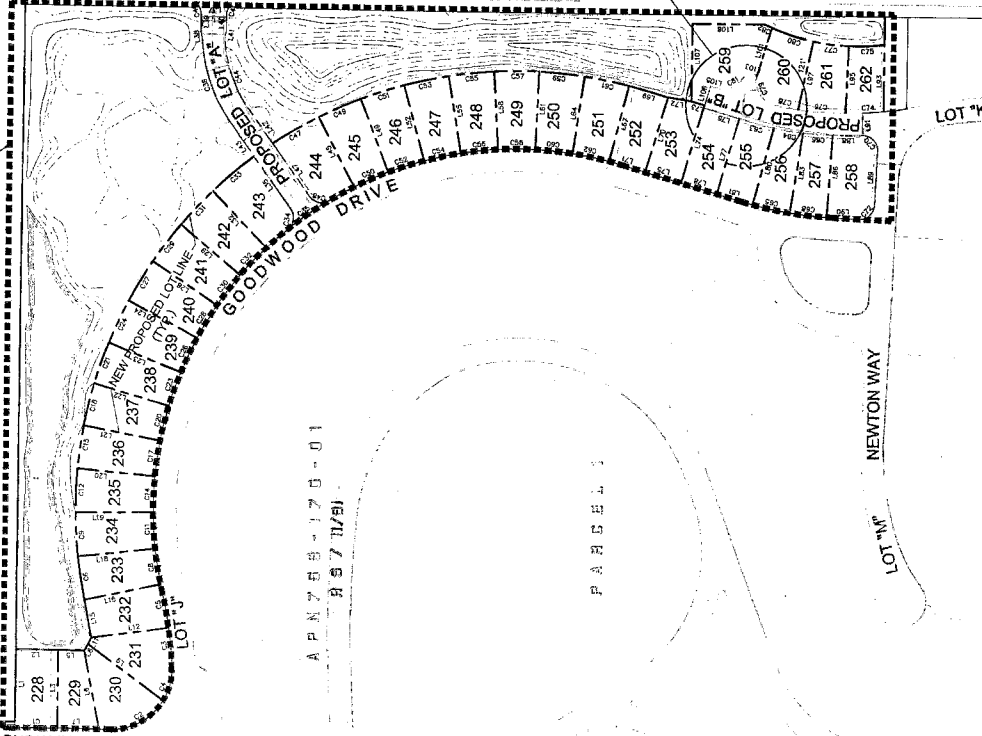
LINE DATA table with columns: NUMBER, BEARING, DISTANCE. Rows include bearings like N 1°5'53.17"E and distances like 14.47.

CURVE DATA table with columns: NUMBER, DELTA, LENGTH, RADIUS, CHORD. Rows include curve numbers C1 through C44.

CURVE DATA table with columns: NUMBER, DELTA, LENGTH, RADIUS, CHORD. Rows include curve numbers C1 through C44.

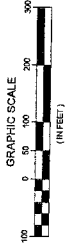
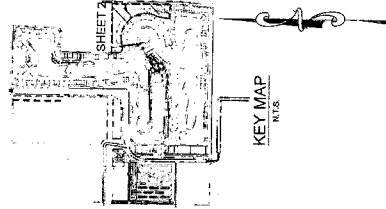
A.P.N. 759-193-122 MAP

LIMITS OF CHANGES



LOT DATA table with columns: LOT NO., AREA (SQ. FT.), AREA (SQ. FT.) (P.O.I.E.P.F.), and AREA (SQ. FT.) (P.O.I.E.P.F.). Rows list lot numbers 228 through 262.

PROPOSED CHANGES: PARCEL MAP DATE, MINOR CHANGE NUMBER



APPROVED BY: [Signature]

BENCH MARK: [Details]

STAMP: [Professional Seal]

DATE: 7/19/2011

SCALE: 1" = 100'

REVISIONS table with columns: NO., DESCRIPTION, DATE.

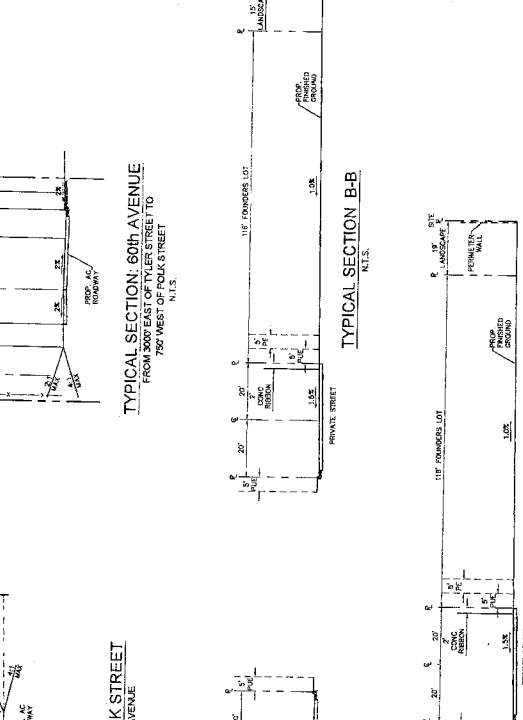
DRAWING NAME: TENTATIVE PARCEL MAP No. 36293 THE THERMAL CLUB PROJECT No. 0590-100 SHEET 2 OF 3

APPROVED BY: [Signature]

DATE: 7/19/2011

LOT DATA		LOT DATA		LOT DATA		LOT DATA	
NO.	ELEV.	NO.	ELEV.	NO.	ELEV.	NO.	ELEV.
1	351.6	17	352.5	33	353.4	49	354.3
2	351.7	18	352.6	34	353.5	50	354.4
3	351.8	19	352.7	35	353.6	51	354.5
4	351.9	20	352.8	36	353.7	52	354.6
5	352.0	21	352.9	37	353.8	53	354.7
6	352.1	22	353.0	38	353.9	54	354.8
7	352.2	23	353.1	39	354.0	55	354.9
8	352.3	24	353.2	40	354.1	56	355.0
9	352.4	25	353.3	41	354.2	57	355.1
10	352.5	26	353.4	42	354.3	58	355.2
11	352.6	27	353.5	43	354.4	59	355.3
12	352.7	28	353.6	44	354.5	60	355.4
13	352.8	29	353.7	45	354.6	61	355.5
14	352.9	30	353.8	46	354.7	62	355.6
15	353.0	31	353.9	47	354.8	63	355.7
16	353.1	32	354.0	48	354.9	64	355.8
17	353.2	33	354.1	49	355.0	65	355.9
18	353.3	34	354.2	50	355.1	66	356.0
19	353.4	35	354.3	51	355.2	67	356.1
20	353.5	36	354.4	52	355.3	68	356.2
21	353.6	37	354.5	53	355.4	69	356.3
22	353.7	38	354.6	54	355.5	70	356.4
23	353.8	39	354.7	55	355.6	71	356.5
24	353.9	40	354.8	56	355.7	72	356.6
25	354.0	41	354.9	57	355.8	73	356.7
26	354.1	42	355.0	58	355.9	74	356.8
27	354.2	43	355.1	59	356.0	75	356.9
28	354.3	44	355.2	60	356.1	76	357.0
29	354.4	45	355.3	61	356.2	77	357.1
30	354.5	46	355.4	62	356.3	78	357.2
31	354.6	47	355.5	63	356.4	79	357.3
32	354.7	48	355.6	64	356.5	80	357.4
33	354.8	49	355.7	65	356.6	81	357.5
34	354.9	50	355.8	66	356.7	82	357.6
35	355.0	51	355.9	67	356.8	83	357.7
36	355.1	52	356.0	68	356.9	84	357.8
37	355.2	53	356.1	69	357.0	85	357.9
38	355.3	54	356.2	70	357.1	86	358.0
39	355.4	55	356.3	71	357.2	87	358.1
40	355.5	56	356.4	72	357.3	88	358.2
41	355.6	57	356.5	73	357.4	89	358.3
42	355.7	58	356.6	74	357.5	90	358.4
43	355.8	59	356.7	75	357.6	91	358.5
44	355.9	60	356.8	76	357.7	92	358.6
45	356.0	61	356.9	77	357.8	93	358.7
46	356.1	62	357.0	78	357.9	94	358.8
47	356.2	63	357.1	79	358.0	95	358.9
48	356.3	64	357.2	80	358.1	96	359.0
49	356.4	65	357.3	81	358.2	97	359.1
50	356.5	66	357.4	82	358.3	98	359.2
51	356.6	67	357.5	83	358.4	99	359.3
52	356.7	68	357.6	84	358.5	100	359.4
53	356.8	69	357.7	85	358.6		
54	356.9	70	357.8	86	358.7		
55	357.0	71	357.9	87	358.8		
56	357.1	72	358.0	88	358.9		
57	357.2	73	358.1	89	359.0		
58	357.3	74	358.2	90	359.1		
59	357.4	75	358.3	91	359.2		
60	357.5	76	358.4	92	359.3		
61	357.6	77	358.5	93	359.4		
62	357.7	78	358.6	94	359.5		
63	357.8	79	358.7	95	359.6		
64	357.9	80	358.8	96	359.7		
65	358.0	81	358.9	97	359.8		
66	358.1	82	359.0	98	359.9		
67	358.2	83	359.1	99	360.0		
68	358.3	84	359.2	100	360.1		

* COMPUTED FROM PLOT PLAN AND ZONING REGULATORY MAPS



TYPICAL SECTION: TYLER STREET
FROM 60th AVENUE TO 61st AVENUE
N.T.S.

TYPICAL SECTION: POLK STREET
FROM 62nd AVENUE TO 61st AVENUE
N.T.S.

TYPICAL SECTION: 60th AVENUE
FROM 3000 EAST OF TYLER STREET TO
750 WEST OF POLK STREET
N.T.S.

TYPICAL SECTION: 62nd AVENUE
FROM TYLER TO POLK STREET
N.T.S.

TYPICAL SECTION A-A
N.T.S.

TYPICAL SECTION B-B
N.T.S.

TYPICAL SECTION C-C
N.T.S.

LOT "B" DETAIL
N.T.S.

TYPICAL FOUNDERS LOT
N.T.S.

REVISIONS

NO.	DATE	BY	REVISION

DATE: 7/13/2013
CHECKED BY: [Signature]
SCALE: 1" = 100'
FILE NO.: 0590-100

2332 4th Cir., Suite 205
Lodi, CA 95240
Phone: 548.453.0111
Fax: 548.453.0411

RC Consultants, Inc.

DESIGNED BY: [Signature]
DRAWN BY: [Signature]

STAMP

BENCH MARK

APPROVED BY: [Signature]

BASIS OF BEARINGS

BEARINGS ARE BASED UPON THE
NATIONAL GRID SYSTEM, NAD 83,
AND THE STATE PLAT MAP NO. 100
AS SHOWN IN RECORD
MAPS AND RECORDS.
ALL BEARINGS ARE REFERRED
TO AS BEARINGS TO THE
NATIONAL GRID, NAD 83.

LEGENDARY = 31-33
LEGACY DATUM 1989 1972 ADJUSTMENT

TENTATIVE PARCEL MAP NO. 36293
THE THERMAL CLUB
PM36293-2
BEING A PORTION OF SECTION 33
T.6S. R.8E. S.B.M.

DRAWING NAME: E.H. MINOR CHANGE 09 DT
PROJECT NO.: 0590-100

SHEET 3 OF 3

REVISED PLOT PLAN NO. 24690R1 - THE THERMAL CLUB
 PARCEL MAP 36293-1 BEING A PORTION OF THE SE 1/4 OF SECTION 33 T.6S. R.8E. S.B.B.M.

LEGAL DESCRIPTION
 LOTS 1,2,3 AND 4 OF PLOT PLAN NO. 24690R1 IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, BEING A PORTION OF THE SE 1/4 OF SECTION 33 T.6S. R.8E. S.B.B.M. AS PER PARCEL MAP 36293-1, BEING A PORTION OF THE SE 1/4 OF SECTION 33 T.6S. R.8E. S.B.B.M. APPROXIMATELY 15.5 ACRES OF LAND, MORE OR LESS, AND INTERESTS THEREIN.

PROPERTY DESCRIPTION
 THE PROPERTY DESCRIBED HEREIN IS THE SE 1/4 OF SECTION 33 T.6S. R.8E. S.B.B.M. AS PER PARCEL MAP 36293-1, BEING A PORTION OF THE SE 1/4 OF SECTION 33 T.6S. R.8E. S.B.B.M. APPROXIMATELY 15.5 ACRES OF LAND, MORE OR LESS, AND INTERESTS THEREIN.

PROJECT DESCRIPTION
 THE THERMAL CLUB IS A PRIVATE FACILITY, ONLY MEMBERS, THEIR WIVES OR DAUGHTERS AND CHILDREN UNDER 18 YEARS OF AGE ARE ALLOWED ACCESS TO THE GOLF COURSE AND TOWNHOMES AND RESIDENTIAL COMPLEX. THE THERMAL CLUB IS A PRIVATE FACILITY, ONLY MEMBERS, THEIR WIVES OR DAUGHTERS AND CHILDREN UNDER 18 YEARS OF AGE ARE ALLOWED ACCESS TO THE GOLF COURSE AND TOWNHOMES AND RESIDENTIAL COMPLEX. THE THERMAL CLUB IS A PRIVATE FACILITY, ONLY MEMBERS, THEIR WIVES OR DAUGHTERS AND CHILDREN UNDER 18 YEARS OF AGE ARE ALLOWED ACCESS TO THE GOLF COURSE AND TOWNHOMES AND RESIDENTIAL COMPLEX.

BUILDING LEGEND AND DATA

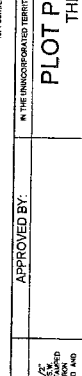
BUILDING NAME	APN	CONSTRUCTION TYPE	DESCRIPTORS
TOWNHOMES	753-227-03	VS	MHT
CONTROL TOWER	753-227-03	VA	MHT
MEMBERS GARAGE	753-227-03	VS	CS
MEMBERS TRAILS GARAGE	753-227-03	VS	CS
TRAILHEAD	753-227-03	VS	CS
PROF. TRAILHEAD	753-227-03	VS	CS
TRAILHEAD FACILITY	753-227-03	VS	CS
PROPOSED DRIVE	753-227-03	VS	CS

CHRONOLOGICAL ORDER OF APPROVAL

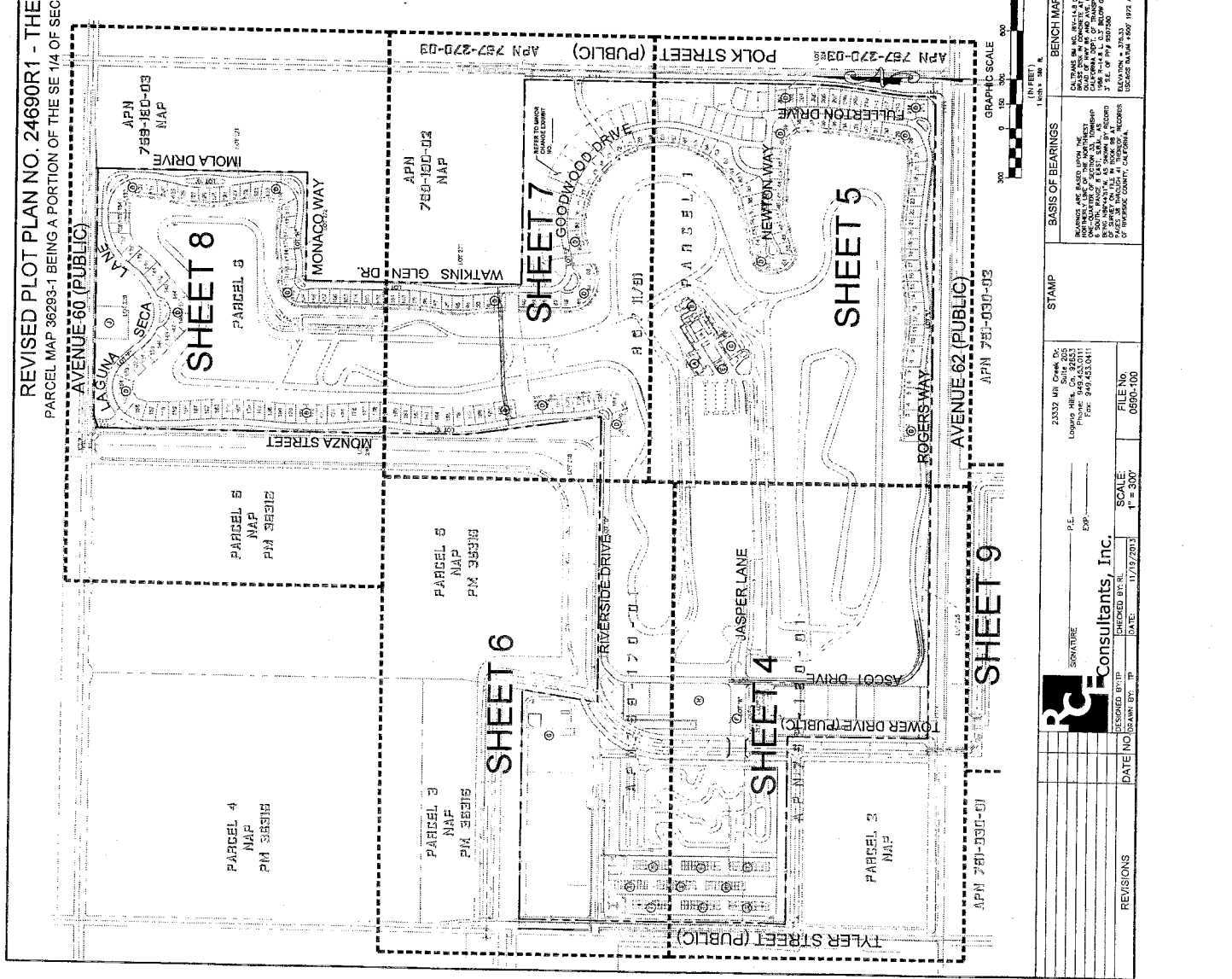
DOCUMENT TYPE	REMARKS	DATE
PERMIT PLAN NO. 303	PERMIT PLAN NO. 303	JUNE 2002
PLOT PLAN NO. 24690R1	PLOT PLAN NO. 24690R1	MAR 2011
PARCEL MAP 36293-1	PARCEL MAP 36293-1	MAR 2011
UNIT PLAN NO. 24690R1	UNIT PLAN NO. 24690R1	OCT 2011
LOT PLAN NO. 24690R1	LOT PLAN NO. 24690R1	MAR 2012
PARCEL MAP 36293-1	PARCEL MAP 36293-1	MAR 2012

PERMITS REQUIRED

PERMIT	DESCRIPTION	STATUS
[]	CONSTRUCTION PERMIT	REQUIRED
[]	PLUMBING PERMIT	REQUIRED
[]	ELECTRICAL PERMIT	REQUIRED
[]	Mechanical PERMIT	REQUIRED
[]	Fire ALARM PERMIT	REQUIRED
[]	WATER PERMIT	REQUIRED
[]	SEWER PERMIT	REQUIRED
[]	CIVIL ENGINEERING PERMIT	REQUIRED
[]	LANDSCAPE ARCHITECTURE PERMIT	REQUIRED
[]	Other PERMIT	REQUIRED



APPROVED BY: [Signature]
DATE: 11/12/2013
SCALE: 1" = 300'
FILE NO.: 0590-100
REVISIONS:



PROJECT INFORMATION

APPLICANT: THE THERMAL CLUB, INC. (APN 753-227-03)
OWNER: THE THERMAL CLUB, INC. (APN 753-227-03)
ENGINEER: [Name]
DATE OF PREPARATION: APRIL 2011

TOTAL AREA

DESCRIPTION	AREA (SQ. FT.)	AREA (ACRES)
TOTAL AREA	1,317,146	30.21
IMPROVED AREA	1,317,146	30.21
UNIMPROVED AREA	1,317,146	30.21

PROPERTY CALCULATIONS

ITEM	AMOUNT	UNIT
TOTAL SQUARE FEET	1,317,146	SQ. FT.
TOTAL SQUARE FEET PER ACRE	30,210	SQ. FT./AC.

PERMITS REQUIRED

PERMIT	DESCRIPTION	STATUS
[]	CONSTRUCTION PERMIT	REQUIRED
[]	PLUMBING PERMIT	REQUIRED
[]	ELECTRICAL PERMIT	REQUIRED
[]	Mechanical PERMIT	REQUIRED
[]	Fire ALARM PERMIT	REQUIRED
[]	WATER PERMIT	REQUIRED
[]	SEWER PERMIT	REQUIRED
[]	CIVIL ENGINEERING PERMIT	REQUIRED
[]	LANDSCAPE ARCHITECTURE PERMIT	REQUIRED
[]	Other PERMIT	REQUIRED

NOTES

- EXISTING RECORDS ARE AS SHOWN.
- EXISTING CONDITIONS ARE TO BE MAINTAINED UNLESS OTHERWISE INDICATED.
- ALL DIMENSIONS ARE IN FEET AND INCHES.
- ALL DISTANCES ARE MEASURED FROM THE CORNER OF THE SECTION.
- ALL DISTANCES ARE MEASURED FROM THE CORNER OF THE SECTION.
- ALL DISTANCES ARE MEASURED FROM THE CORNER OF THE SECTION.
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- ALL DISTANCES ARE MEASURED FROM THE CORNER OF THE SECTION.

DRAWING NAME: PLOT PLAN NO. 24690R1
PROJECT NO.: PM36293-1
SECTION: 33
DATE: 11/12/2013
SCALE: 1" = 300'
FILE NO.: 0590-100
REVISIONS:

APPROVED BY: [Signature]
DATE: 11/12/2013
SCALE: 1" = 300'
FILE NO.: 0590-100
REVISIONS:

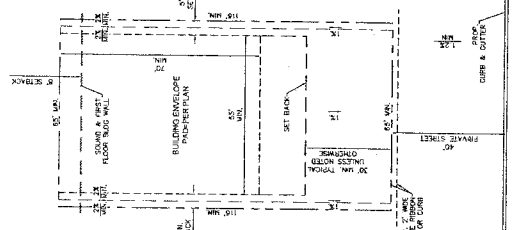
GRAPHIC SCALE: 0 100 200 300 FEET

BENCH MARK:
 BENCH MARK 354.31
 BENCH MARK 354.31
 BENCH MARK 354.31
 BENCH MARK 354.31

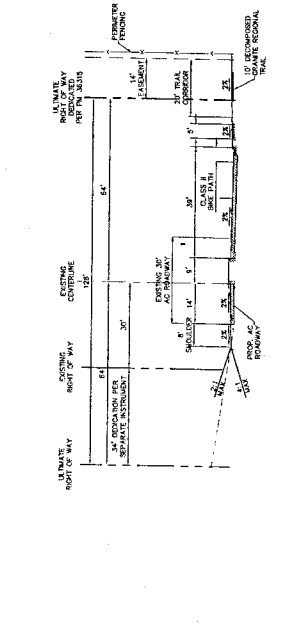
CONSTRUCTORS, Inc.
 23327 Hill Street, Suite 205
 Laguna Hills, CA 92653
 Tel: 949.433.0111
 Fax: 949.433.0111

LOT NO.	LOT DATA	LOT DATA	LOT DATA	LOT DATA	LOT DATA
1	351.6	44	320.3	47	352.3
2	350.3	45	319.7	48	351.7
3	350.5	46	319.0	49	351.0
4	350.5	47	318.3	50	350.3
5	350.1	48	317.7	51	349.7
6	350.0	49	317.0	52	349.0
7	349.9	50	316.3	53	348.3
8	349.4	51	315.7	54	347.7
9	349.0	52	315.0	55	347.0
10	348.9	53	314.3	56	346.3
11	348.9	54	313.7	57	345.7
12	348.3	55	313.0	58	345.0
13	348.3	56	312.3	59	344.3
14	347.8	57	311.7	60	343.7
15	347.3	58	311.0	61	343.0
16	347.3	59	310.3	62	342.3
17	346.8	60	309.7	63	341.7
18	346.8	61	309.0	64	341.0
19	346.3	62	308.3	65	340.3
20	346.3	63	307.7	66	339.7
21	345.8	64	307.0	67	339.0
22	345.8	65	306.3	68	338.3
23	345.3	66	305.7	69	337.7
24	345.3	67	305.0	70	337.0
25	344.8	68	304.3	71	336.3
26	344.8	69	303.7	72	335.7
27	344.3	70	303.0	73	335.0
28	344.3	71	302.3	74	334.3
29	343.8	72	301.7	75	333.7
30	343.8	73	301.0	76	333.0
31	343.3	74	300.3	77	332.3
32	343.3	75	299.7	78	331.7
33	342.8	76	299.0	79	331.0
34	342.8	77	298.3	80	330.3
35	342.3	78	297.7	81	329.7
36	342.3	79	297.0	82	329.0
37	341.8	80	296.3	83	328.3
38	341.8	81	295.7	84	327.7
39	341.3	82	295.0	85	327.0
40	341.3	83	294.3	86	326.3
41	340.8	84	293.7	87	325.7
42	340.8	85	293.0	88	325.0
43	340.3	86	292.3	89	324.3
44	340.3	87	291.7	90	323.7
45	339.8	88	291.0	91	323.0
46	339.8	89	290.3	92	322.3
47	339.3	90	289.7	93	321.7
48	339.3	91	289.0	94	321.0
49	338.8	92	288.3	95	320.3
50	338.8	93	287.7	96	319.7
51	338.3	94	287.0	97	319.0
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54	337.8	97	285.0	100	317.0

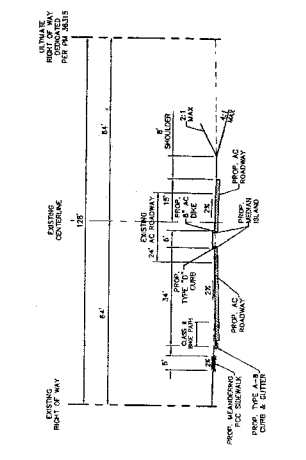
LOT DATA OBTAINED FROM EXISTENTIAL COMPLIANCE SURVEY FOR PLOT PLAN NO. 24690R1 DATED MAY 2015.



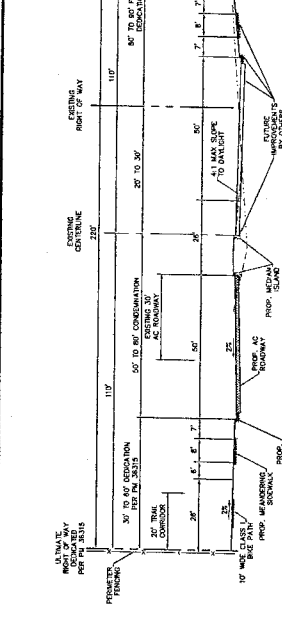
TYPICAL FOUNDERS LOT
N.T.S.



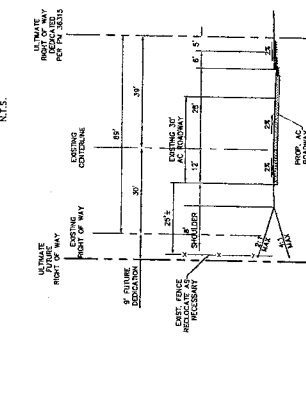
TYPICAL SECTION: TYLER STREET
FROM EDGE AVENUE TO OAK AVENUE
N.T.S.



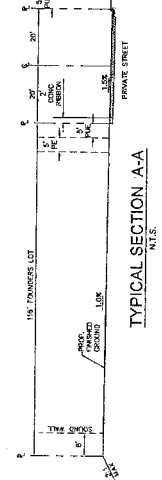
TYPICAL SECTION: POLK STREET
FROM 62ND AVENUE TO 61ST AVENUE
N.T.S.



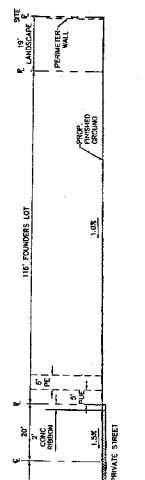
TYPICAL SECTION: 62ND AVENUE
FROM TYLER TO POLK STREET
N.T.S.



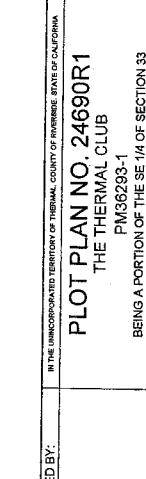
TYPICAL SECTION: 80TH AVENUE
FROM 300P EAST OF TYLER STREET TO
750 WEST OF POLK STREET
N.T.S.



TYPICAL SECTION A-A
N.T.S.



TYPICAL SECTION B-B
N.T.S.



TYPICAL SECTION C-C
N.T.S.

23370 Mid Creek Dr.
 Suite 205
 Laguna Hills, CA 92653
 Phone: 949.453.0411
 Fax: 949.453.0411

SIGNATURE: _____ P.C. _____ P.E. _____
 DESIGNED BY: TP
 CHECKED BY: RL
 DATE: 11/19/2015

SCALE: _____
 FILE NO: 0300-100

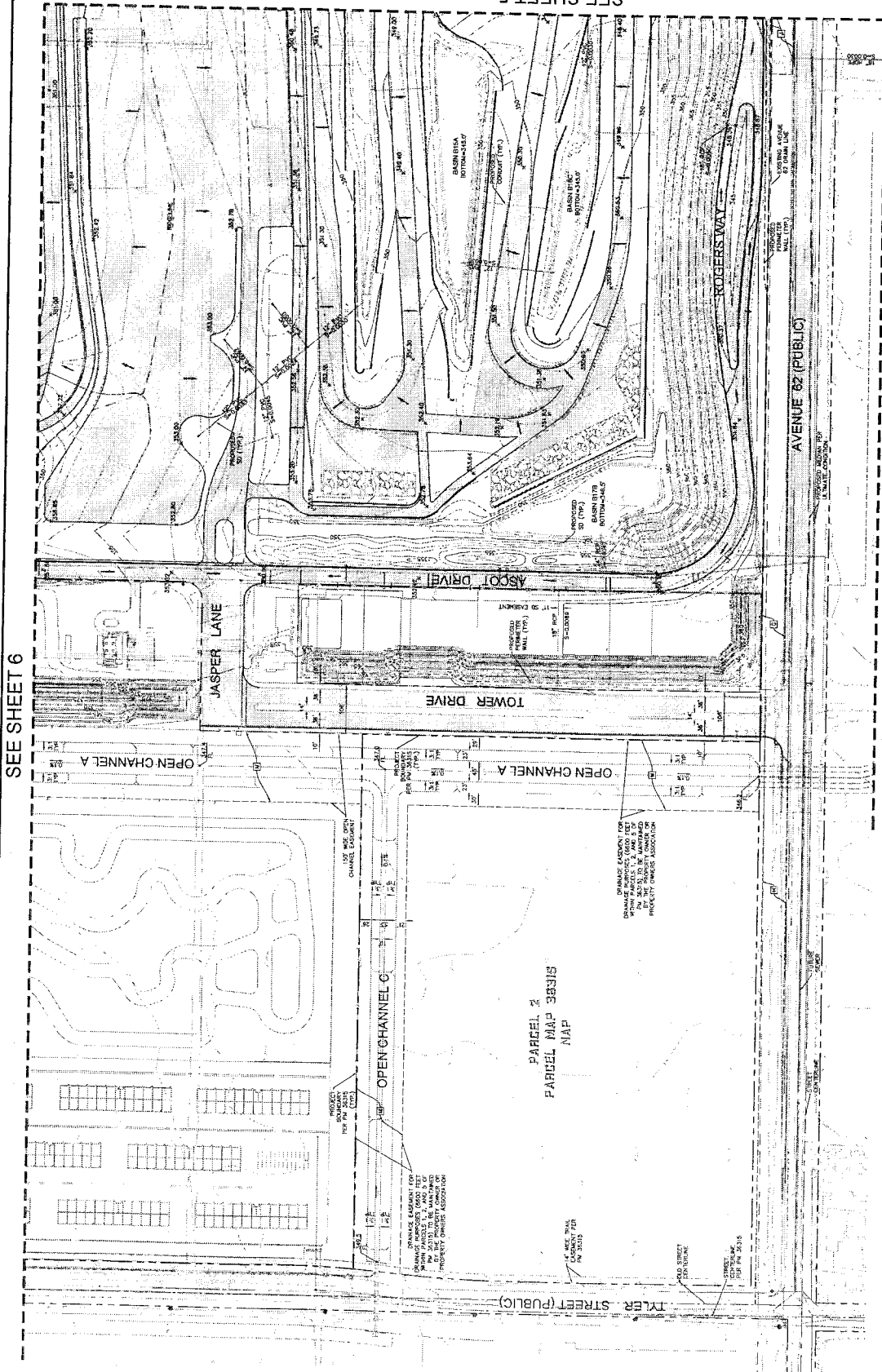
REVISIONS: _____

STAMP: BASIS OF BEARINGS: BENCH MARK: APPROVED BY:

BEARINGS ARE BASED UPON THE
 1983 NAD 83 COORDINATE SYSTEM
 AND ARE ADJUSTED TO THE
 1983 NAD 83 COORDINATE SYSTEM
 BY THE METHOD OF LEAST SQUARES
 ADJUSTMENT. THE ADJUSTED
 BEARINGS ARE AS SHOWN BY THE
 DIMENSIONS AND BEARINGS
 OF THE SURVEY RECORDS
 OF THE PUBLIC COURT, CALIFORNIA.
 ELEVATION: 373.33
 POINTS BELOW 1500' 1912 ADJUSTMENT

DRAWING NAME:
 PP 24690R1 03 DT
 PROJECT NO:
 0590-100
 SHEET 3 OF 10

SEE SHEET 6

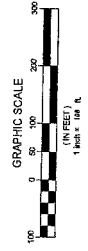
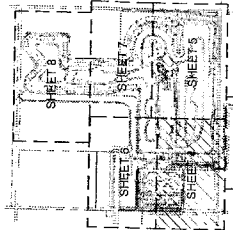


SEE SHEETS 5

SEE SHEET 9

LEGEND:

- PROJECT BOUNDARY
- RIGHT-OF-WAY
- EXISTING CENTERLINE
- PROPOSED LOT LINES
- EASEMENTS
- PROPOSED PERIMETER WALL
- PROPOSED FENCE
- PROPOSED CONTOURS
- PROPOSED ASP FAVEMENT
- PROPOSED TRACK BURROFF
- PROPOSED TRACK QUADRANTAL
- SPOT ELEVATIONS
- SLOPE DIRECTION
- PROPOSED FIRE HYDRANT



SIGNATURE _____
 P.E. _____
 EXP. _____
PCF Consultants, Inc.
 CHECKED BY: _____
 DATE: 11/19/2015

DESIGNED BY: _____
 DATE: _____
 FILE NO. 0950-100
 SCALE: 1" = 100'

STAMP

23318 Ave. Chant, St. Louis, MO 63114
 Phone: 314.433.3333
 Fax: 314.433.0411

BASIS OF BEARINGS

BEARINGS ARE BASED UPON THE
 ONE-SALVANTY SYSTEM AS FURNISHED
 BY THE SURVEYOR. ALL BEARINGS
 ARE GIVEN AS SOUTHWEST OR
 SOUTHWESTERLY UNLESS OTHERWISE
 STATED.

BENCH MARK

CALIFORNIA BENCH MARK NO. 24690R1
 IS LOCATED AT THE CORNER OF
 JASPER LANE AND AVENUE 82. THE
 ELEVATION OF THIS BENCH MARK
 IS 114.81. THE BENCH MARK
 IS A 1.5" DIA. IRON ROD
 WITH A 1/4" DIA. BRASS
 CAP. THE BENCH MARK
 IS 114.81 ± 0.02
 USGCS DATUM 1985 1972 ADJUSTMENT

APPROVED BY:

IN THE UNINCORPORATED TERRITORY OF TRIBAL COUNTY OF RIVERSIDE, STATE OF CALIFORNIA

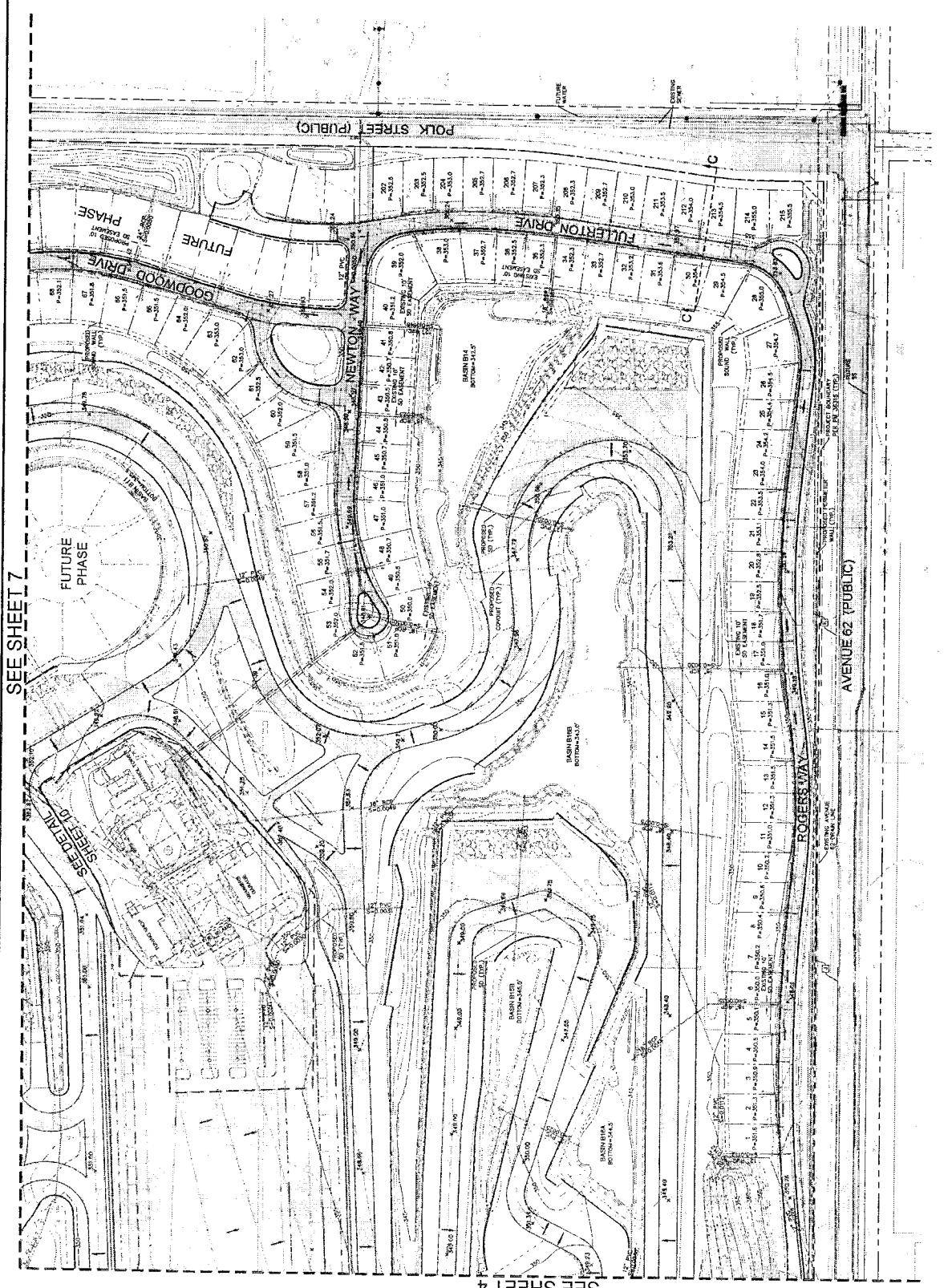
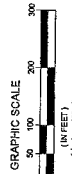
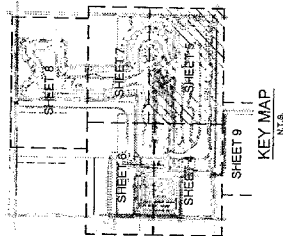
PLOT PLAN NO. 24690R1
THE THERMAL CLUB
 PM36293-1
 BEING A PORTION OF THE SE 1/4 OF SECTION 33
 T.6S. R.8E. S.B.M.

DRAWING NAME:
 PP 24690R1 04.PP
 PROJECT NO.
 0950-100

SHEET 4 OF 10

LEGEND:

- PROJECT BOUNDARY
- RIGHT-OF-WAY
- EXISTING CENTERLINE
- PROPOSED LOT LINES
- EMBANKMENTS
- PROPOSED PERIMETER WALL
- PROPOSED FENCE
- PROPOSED DRIVEWAYS
- PROPOSED ASPHALT
- PROPOSED TRACK BRANCH
- PROPOSED TRACK GUARDRAIL
- SPOT ELEVATIONS
- SLOPE DIRECTION
- PROPOSED FIRE HYDRANT

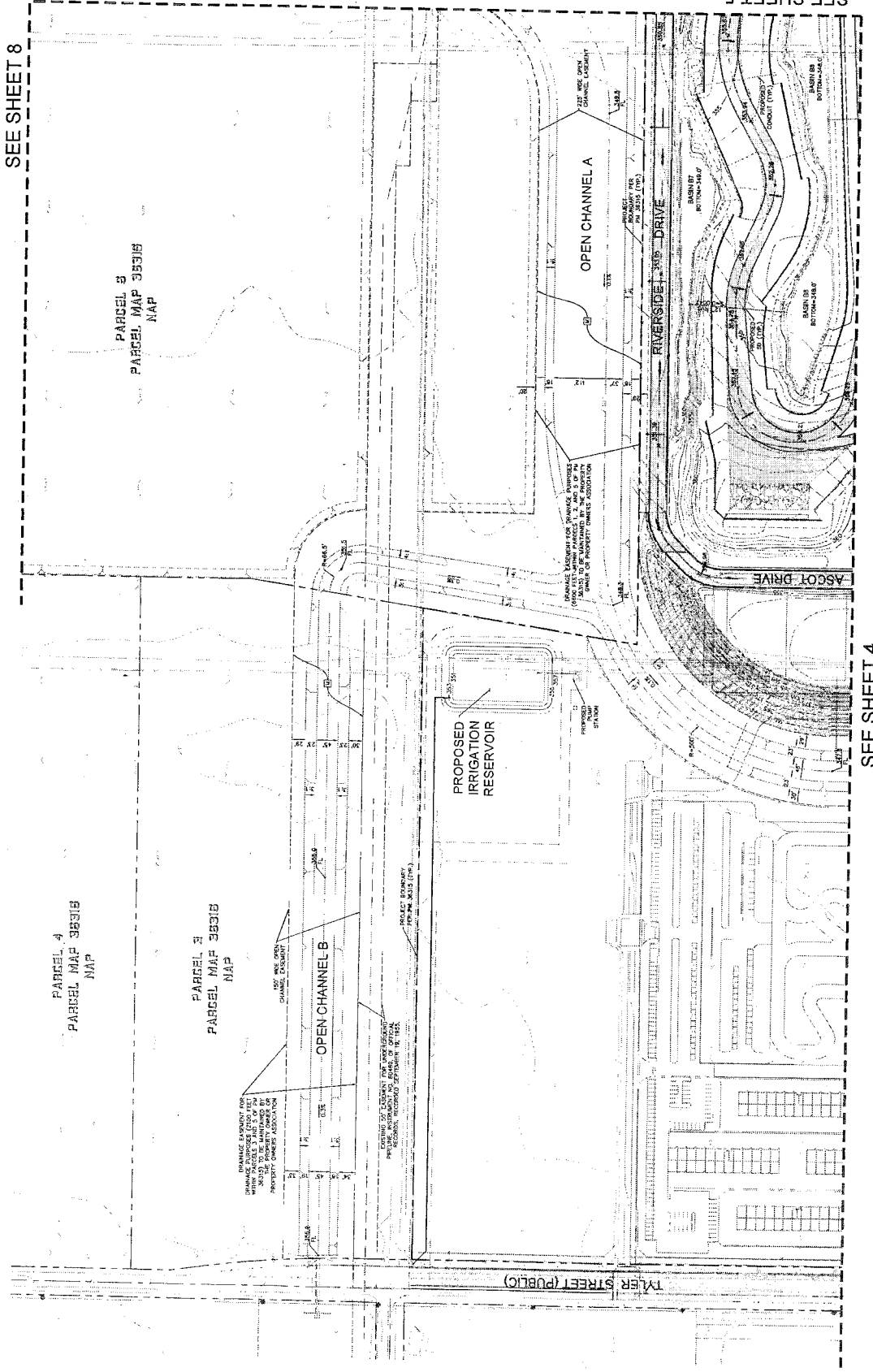
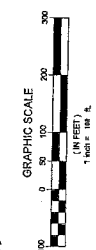
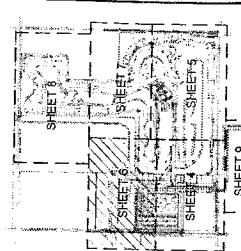


SEE SHEET 7

SEE SHEET 4

DRAWING NAME: PP 24690R1 05 PP		PROJECT NO. 0590-100		SHEET 5 OF 10	
APPROVED BY:		BENCH MARK CHANGES TO BE MADE TO THIS PLAN SHALL BE MADE BY THE ENGINEER. THE BENCH MARK IS LOCATED AT THE INTERSECTION OF AVENUE 62 AND FULLERTON DRIVE. THE BENCH MARK IS A 4" DIA. IRON PIPE SET IN CONCRETE. THE BENCH MARK IS 1.5' BELOW GRADE AND HAS AN ELEVATION OF 314.33. THE BENCH MARK IS USED AS A REFERENCE POINT FOR THE ELEVATIONS SHOWN ON THIS PLAN.		BASIS OF BEARINGS BEARINGS ARE BASED UPON THE SOUTHERN CALIFORNIA MERIDIAN. THE BEARING OF AVENUE 62 IS S 89° 54' 15" W. THE BEARING OF FULLERTON DRIVE IS S 89° 54' 15" W. THE BEARING OF NEWTON WAY IS S 89° 54' 15" W. THE BEARING OF GOODWOOD DRIVE IS S 89° 54' 15" W. THE BEARING OF AVENUE 62 (PUBLIC) IS S 89° 54' 15" W. THE BEARING OF ROGERS WAY IS S 89° 54' 15" W. THE BEARING OF FULFERTON DRIVE (PUBLIC) IS S 89° 54' 15" W. THE BEARING OF NEWTON WAY (PUBLIC) IS S 89° 54' 15" W. THE BEARING OF GOODWOOD DRIVE (PUBLIC) IS S 89° 54' 15" W. THE BEARING OF AVENUE 62 (PUBLIC) IS S 89° 54' 15" W. THE BEARING OF ROGERS WAY IS S 89° 54' 15" W. THE BEARING OF FULFERTON DRIVE (PUBLIC) IS S 89° 54' 15" W. THE BEARING OF NEWTON WAY (PUBLIC) IS S 89° 54' 15" W. THE BEARING OF GOODWOOD DRIVE (PUBLIC) IS S 89° 54' 15" W.	
STAMP 2332 W. 9th St. Longo, CA 92553 Phone: 949.453.0411 Fax: 949.453.0411		DATE: 11/29/2013		FILE NO. 0590-100	
DESIGNED BY: TP		CHECKED BY: JAL		SCALE: 1" = 100'	
DATE NO.		REVISIONS		BEING A PORTION OF THE SE 1/4 OF SECTION 33 T.6S. R.8E. S.B.M.	

- LEGEND:
- PROJECT BOUNDARY
 - RIGHT-OF-WAY
 - EXISTING CENTERLINE
 - PROPOSED LOT LINES
 - BASEMENTS
 - PROPOSED PERIMETER WALL
 - PROPOSED FENCE
 - PROPOSED CONTOURS
 - PROPOSED ASPHALT
 - PROPOSED TRUCK RAMP/OFF
 - PROPOSED TRACK DIMENSIONAL
 - SPOT ELEVATIONS
 - SLOPE DIRECTION
 - PROPOSED FIRE HYDRANT



SEE SHEET 8

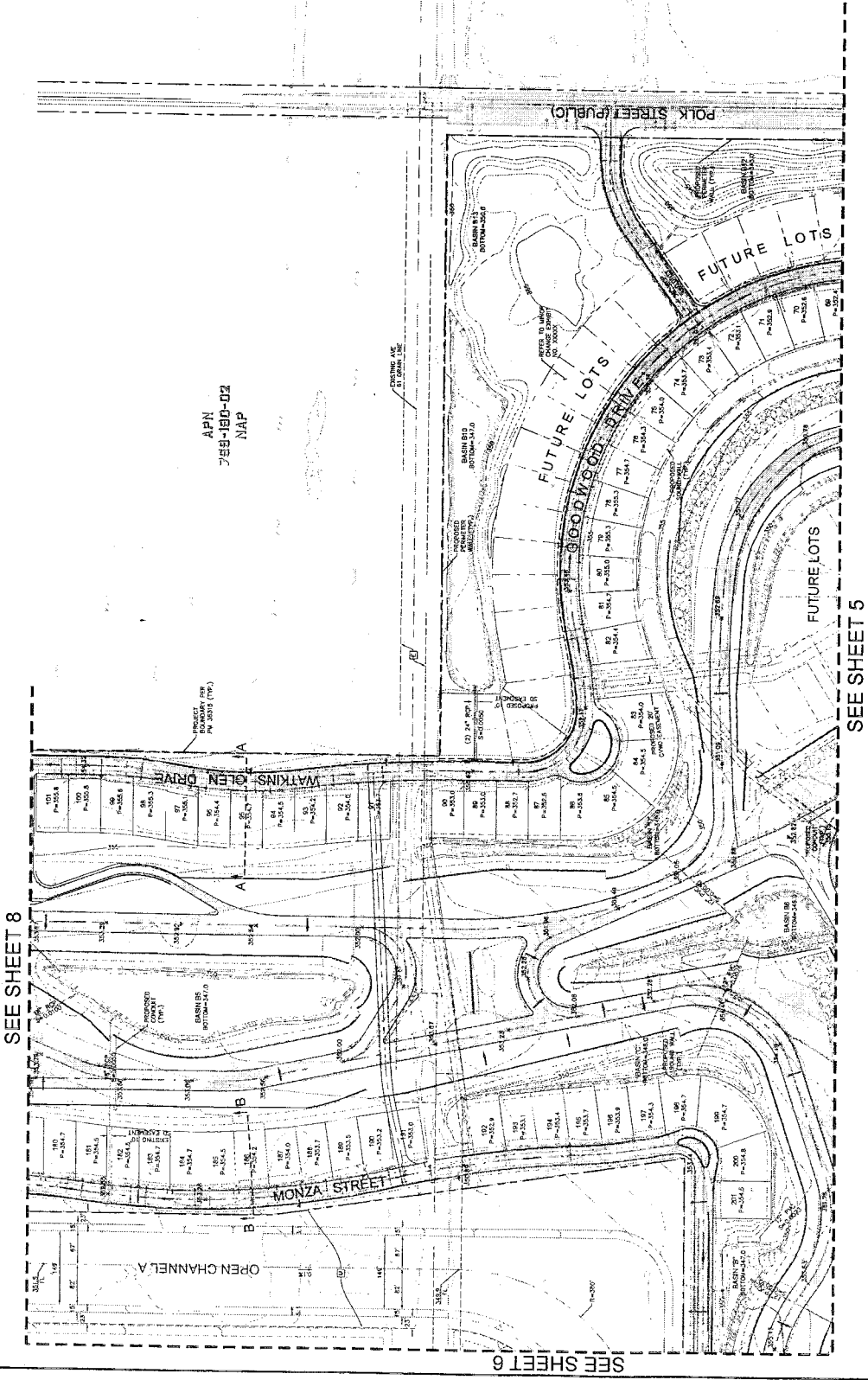
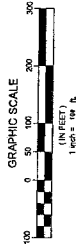
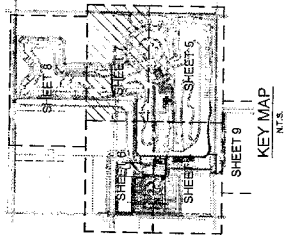
SEE SHEET 7

SEE SHEET 5

SEE SHEET 4

<p>SIGNATURE _____ P.E. _____ EX: _____</p> <p>DATE: 7/19/2013</p> <p>CHECKED BY: TP</p> <p>DESIGNED BY: _____</p>		<p>2332 Mt. Creek Dr. Suite 200 Livermore, CA 94551 Phone: 925.453.0111 Fax: 925.453.0411</p> <p>SCALE: 1" = 100'</p> <p>FILE NO. 0560-100</p>		<p>STAMP</p> <p>BASIS OF BEARINGS MEASUREMENTS FOR THE PROPOSED IRRIGATION RESERVOIR AND OPEN CHANNELS WERE OBTAINED FROM THE CALIFORNIA STATE PLAT MAP OF THE THERMAL CLUB, T.6S. R.8E. S.8, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100.</p>		<p>BENCH MARK CALTRANS SA 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100. BENCH MARK SA 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100. BENCH MARK SA 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100.</p>		<p>APPROVED BY:</p>		<p>IN THE UNINCORPORATED TERRITORY OF THE COUNTY OF MARIQUITA, STATE OF CALIFORNIA</p>	
<p>DRAWING NAME: PP 24690R1 06 PP</p> <p>PROJECT NO. 0560-100</p> <p>DATE: 7/19/2013</p>		<p>PLANT NO. 24690R1</p> <p>THE THERMAL CLUB</p> <p>PM35293-1</p> <p>BEING A PORTION OF THE SE 14 OF SECTION 33 T.6S. R.8E. S.8, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100.</p>		<p>DATE: 7/19/2013</p> <p>CHECKED BY: TP</p> <p>DESIGNED BY: _____</p>		<p>DATE: 7/19/2013</p> <p>CHECKED BY: TP</p> <p>DESIGNED BY: _____</p>		<p>DATE: 7/19/2013</p> <p>CHECKED BY: TP</p> <p>DESIGNED BY: _____</p>		<p>DATE: 7/19/2013</p> <p>CHECKED BY: TP</p> <p>DESIGNED BY: _____</p>	
<p>REVISIONS</p>		<p>REVISIONS</p>		<p>REVISIONS</p>		<p>REVISIONS</p>		<p>REVISIONS</p>			
<p>DATE: 7/19/2013</p> <p>CHECKED BY: TP</p> <p>DESIGNED BY: _____</p>		<p>DATE: 7/19/2013</p> <p>CHECKED BY: TP</p> <p>DESIGNED BY: _____</p>		<p>DATE: 7/19/2013</p> <p>CHECKED BY: TP</p> <p>DESIGNED BY: _____</p>		<p>DATE: 7/19/2013</p> <p>CHECKED BY: TP</p> <p>DESIGNED BY: _____</p>		<p>DATE: 7/19/2013</p> <p>CHECKED BY: TP</p> <p>DESIGNED BY: _____</p>			

- LEGEND:**
- PROJECT BOUNDARY
 - RIGHT-OF-WAY
 - EXISTING CENTERLINE
 - PROPOSED LOT LINES
 - EASEMENTS
 - PROPOSED PERIMETER WALL
 - PROPOSED FENCE
 - PROPOSED CONTOURS
 - PROPOSED ASPHALT PAVEMENT
 - PROPOSED TRACK RAINCOFF
 - PROPOSED TRACK GUARDRAIL
 - SPOT ELEVATIONS
 - SURF ELEVATION
 - PROPOSED FIRE HYDRANT



SEE SHEET 8

SEE SHEET 6

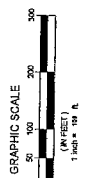
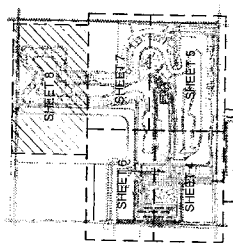
SEE SHEET 5

APN
799-180-02
NAP

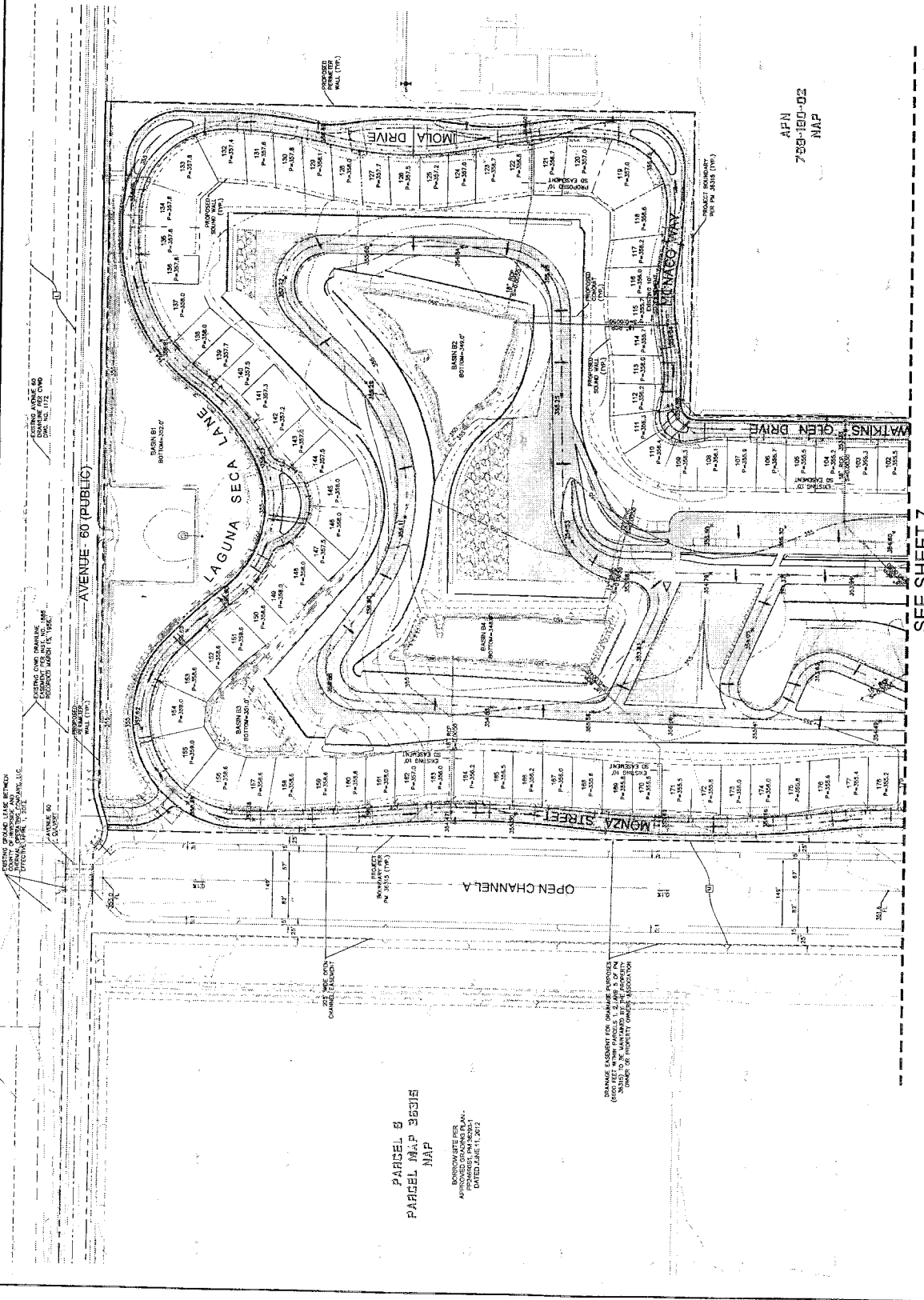
IN THE UNINCORPORATED TERRITORY OF TRIBAL COUNTY OF PUEBLO, STATE OF CALIFORNIA PLOT PLAN NO. 24690R1 THE THERMAL CLUB PM36293-1 BEING A PORTION OF THE SE 1/4 OF SECTION 33 T2S, R36, S33M.		DRAWING NAME PP 24690R1 07 PP PROJECT NO. 0890-100 SHEET 7 OF 10	
APPROVED BY:	BENCH MARK CALTRANS 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.	BASIS OF BEARINGS BEARINGS ARE BASED UPON THE CALIFORNIA STATE PLAT MAP OF THE COUNTY OF PUEBLO, CALIFORNIA AND THE SURVEY OF THE THERMAL CLUB, AS SHOWN BY RECORDS OF TRIBAL COUNTY, CALIFORNIA.	STAMP 23322 Hill Court, Inc. Suite 205 Laguna Hills, CA 91743-0111 Phone: 949.453.0111 Fax: 949.453.0441
DATE NO. DRAWN BY:	CHECKED BY: R.	FILE NO. 0890-100	
REVISIONS	DESIGNED BY: P.	SCALE 1" = 100'	
DATE: 11/19/2013	DATE:	DATE:	

LEGEND:

- PROJECT BOUNDARY
- RIGHT-OF-WAY
- EXISTING CENTERLINE
- PROPOSED CENTERLINE
- EXISTING OF LINES
- EASEMENTS
- PROPOSED PERIMETER WALL
- PROPOSED FENCE
- PROPOSED CONTOURS
- PROPOSED AC PAVEMENT
- PROPOSED TRACK RUNOFF
- PROPOSED TRACK GUARDRAIL
- PROPOSED TRACK GUARDRAIL
- SPOT ELEVATIONS
- SCALE DIRECTION
- PROPOSED PERIMETER WALL



REVISIONS	DATE NO. DRAWN BY: TP	SCALE: 1" = 100'	FILE NO. 0590-100	STAMP	BASIS OF BEARINGS	BENCH MARK	APPROVED BY:	IN THE UNINCORPORATED TERRITORY OF THERMAL COUNTY OF CALIFORNIA
				2332 Mt. Creek Dr. Logans Hill, Ca. 92553 Phone: 949-453-0911 Fax: 949-453-0911	Reference to the North West Quarter of the Section 16 of the Township of South, Range 4 East, 23rd N. of the 2nd Meridian, T. 23 N., R. 4 E., S. 16, of the 2nd Principal Meridian, of the County of Thermal, California.	CALIFORNIA STATE BOARD OF SURVEYORS STATE OF CALIFORNIA 3rd S.I. of 1991 801003 SCALE: 1:500 1/2" = 50'-0"		DRAWING NAME: PP 24690R1 08 PP
				RCE Consultants, Inc. ENGINEER				PROJECT NO. 0590-100
								BEING A PORTION OF THE SE 1/4 OF SECTION 33 1/8 S. R. 3 E. S. 33 B.M.
								SHEET 8 OF 10



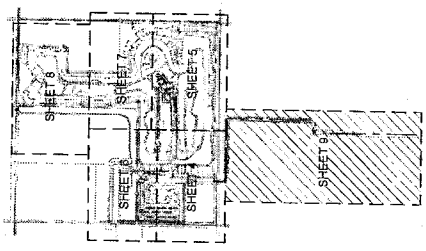
PARCEL 8
PARCEL MAP 35318
NAP

ENGINEER PER
APPROVED BY THE BOARD OF
DATED JUNE 11, 2012

CONTRACT NO. 0590-100
SHEET NO. 8 OF 10
DATE: 07/27/2012

LEGEND.

- PROJECT BOUNDARY
- RIGHT-OF-WAY
- EXISTING CENTERLINE
- PROPOSED LOT LINES
- EASEMENTS
- PROPOSED PERIMETER WALL
- PROPOSED ASPHALT PAVEMENT

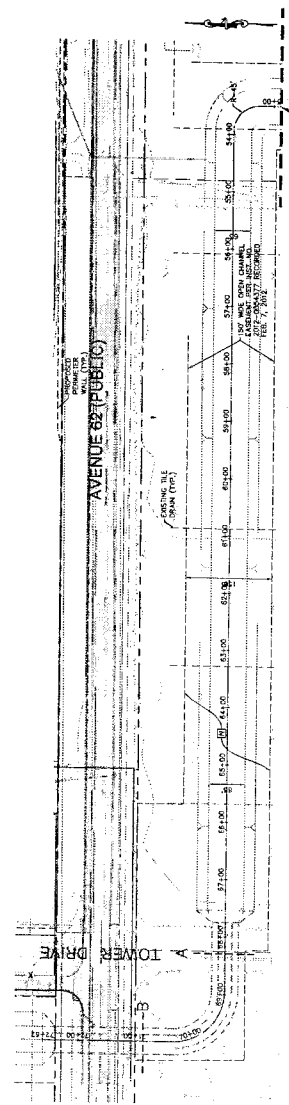
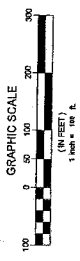


OFF-SITE DRAINAGE NOTES

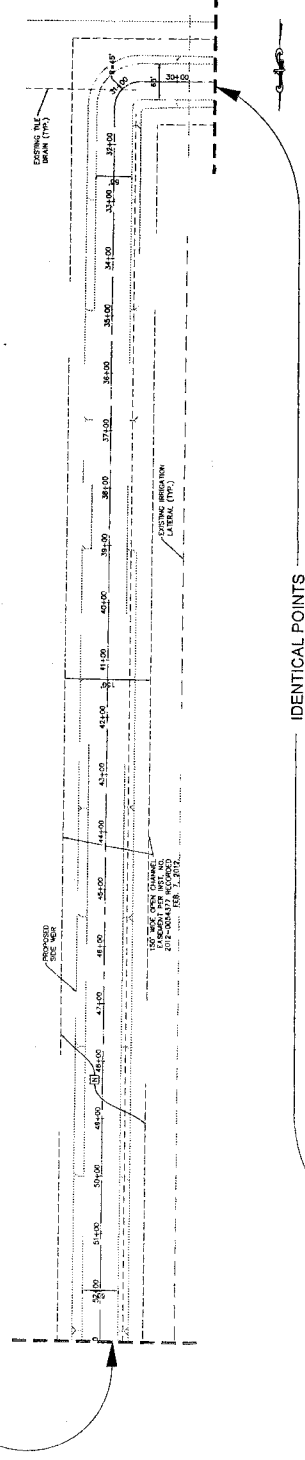
1. BEARING OF AN IRON PIPE IN THE UNDERGROUND DRAINAGE SYSTEM SHALL BE 180 DEGREES FOR THE CHANNEL WALL FUNCTION AS A 1.50' DIA. 18" DIA. 18" WALL CHANNEL TO BE INSTALLED AT THE END OF THE CHANNEL.
2. ALL CHANNELS SHALL BE CONSTRUCTED TO THE CENTERLINE AT THE END OF THE CHANNEL.
3. ALL CHANNELS SHALL BE CONSTRUCTED TO THE CENTERLINE AT THE END OF THE CHANNEL.
4. ALL CHANNELS SHALL BE CONSTRUCTED TO THE CENTERLINE AT THE END OF THE CHANNEL.

ON-SITE DRAINAGE NOTES

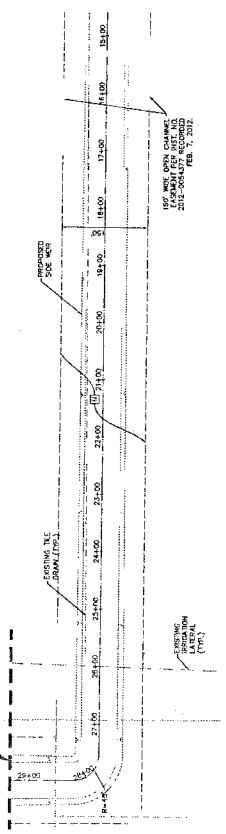
1. DRAINAGE CONCEPT HAS BEEN MODIFIED TO CREATE ONE PERCENT ON-SITE DRAINAGE.
2. ALL SLOPES SHALL BE AS SHOWN ON THE REPORT DATED APRIL 2011 AND WMA.
3. ALL SLOPES SHALL BE AS SHOWN ON THE REPORT DATED APRIL 2011 AND WMA.
4. ALL SLOPES SHALL BE AS SHOWN ON THE REPORT DATED APRIL 2011 AND WMA.



IDENTICAL POINTS



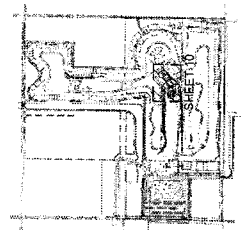
IDENTICAL POINTS



APPROVED BY: _____ IN THE UNINCORPORATED TERRITORY OF THERMAL COUNTY OF SOUTHERN CALIFORNIA		DRAWING NAME PLOT PLAN NO. 24690R1 THE THERMAL CLUB	
BENCH MARK CALTRANS BM NO. 89C-144.4 2-1/2' CORNER OF PAVEMENT AT THE END OF ROAD OF TOWER DRIVE, THERMAL, CALIFORNIA 1948 89-144.4 2-1/2' BENCHMARK 5' S.E. OF PP# 805900 LOCATED N.A. 11-1307 1912 ADJUSTMENT		PROJECT NO. 0590-100	
BASIS OF BEARINGS BEARINGS ARE TAKEN FROM THE NORTHERN LINE OF THE WEST HALF OF SECTION 14, T4N, 35E, 10R, 10S, 1000' WIDE OF STATE ROAD 14 IN BLOCK #1 AT CORNER OF THERMAL COUNTY, CALIFORNIA		BEING A PORTION OF THE SE 1/4 OF SECTION 33 T4S, 13E, S33R10	
STAMP 2332 Hill Creek Dr. Lodi, CA 95253 Phone: 952-4530111 Fax: 952-4530911		FILE NO. 0590-100	
SIGNATURE P.E. _____ EXP. _____		SCALE 1" = 100'	
DESIGNED BY: _____ CHECKED BY: _____ DATE: 11/29/2011		REVISIONS	
DATE: _____		SHEET 9 OF 10	

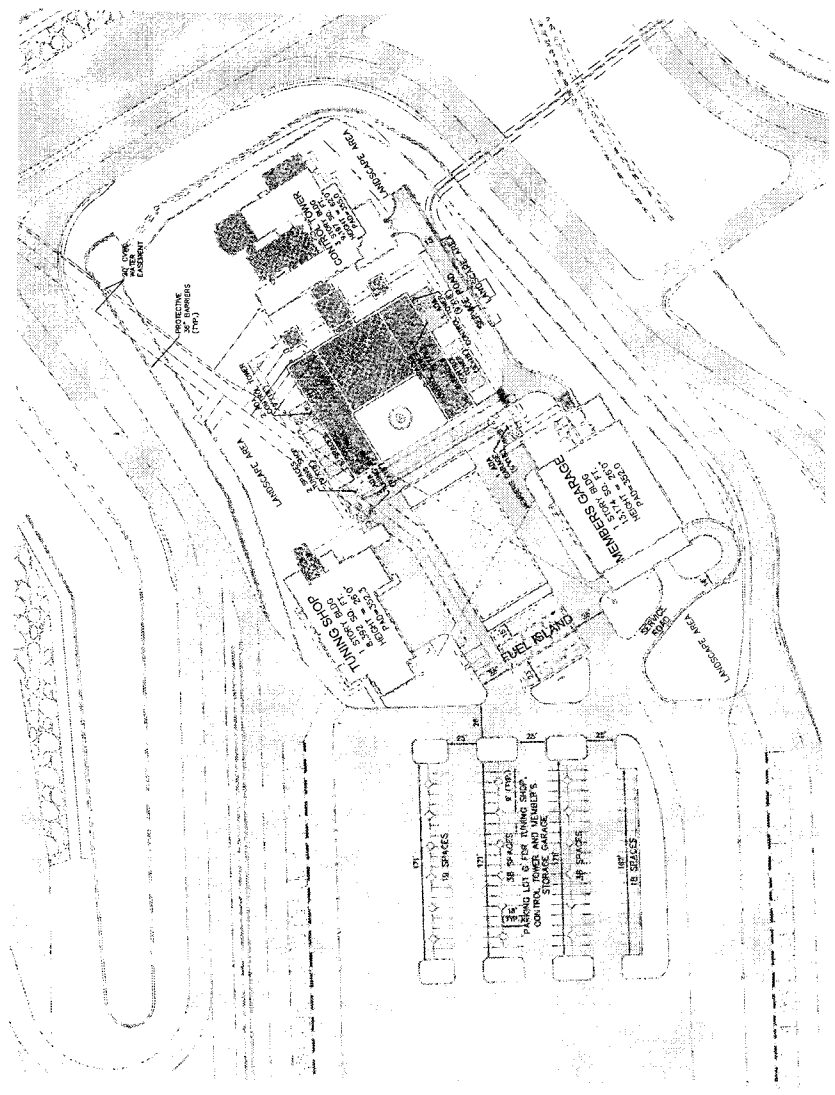
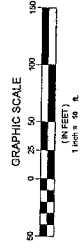
LEGEND:

- PROJECT BOUNDARY
- RIGHT-OF-WAY
- EXISTING CENTERLINE
- PROPOSED LOT LINES
- EASEMENTS
- PROPOSED PERIMETER WALL
- PROPOSED FENCE
- PROPOSED CONTOURS
- PROPOSED ASPHALT PAVEMENT
- PROPOSED TRACK RUNOFF
- PROPOSED TRACK GUARDRAIL
- SPOT ELEVATIONS
- SLOPE DIRECTION
- PROPOSED FIRE HYDRANT



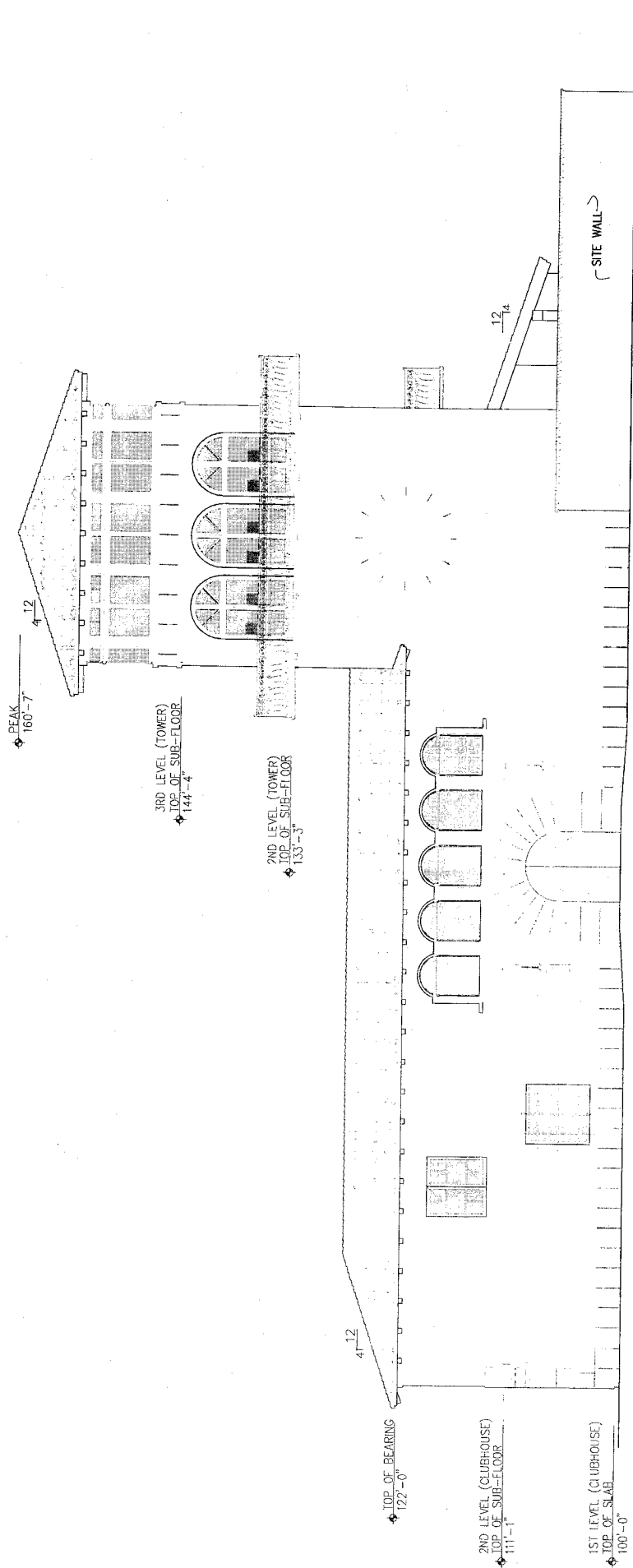
KEY MAP
N.T.S.

BUILDING PERMIT NUMBERS	
NAME OF PERMIT	PERMIT NUMBER
TOWN/COUNTY	ISSUE DATE
TRUCK SHOP	ISSUE DATE
WHEELS STORAGE	ISSUE DATE
FUEL BOARD GARAGE	ISSUE DATE



MOTORSPORTS VILLAGE AREA
1/4\"/>

SIGNATURE _____ P.E. _____ EXP. _____ RC Consultants, Inc.		21332 Mt. Creek Dr. Laguna Hills, Ca. 92653 Phone 949-633-0111 Fax 949-633-0411		STAMP APPROVED BY: _____ BENCH MARK CALTRANS IN. NO. BENCH MARK 15-1/4" C/C BEARS 3' S.E. OF CORNER OF THE S.W. QUARTER OF SECTION 33, T.10N. R.10E. S.18E. OF THE 1896-1914 U.S. G.S. OF CALIFORNIA AND 3" S.E. OF PLY 8500800 ELEVATION 311.33 BEARING 100.000' 1972 ADJUSTMENT		DRAWING NAME: PP 24690RT 10 DT PROJECT No. 0590-100	
DATE NO. DESIGNED BY TP DATE: 11/19/2013		SCALE: 1" = 50'		FILE NO. 0590-100		BEING A PORTION OF THE SE 1/4 OF SECTION 33 T.10S. R.10E. S.18E.M.	
REVISIONS						SHEET 10 OF 10	



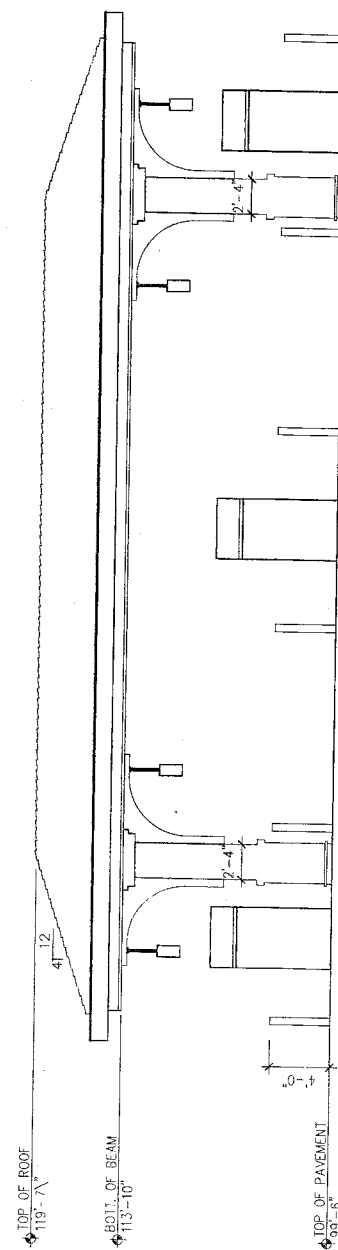
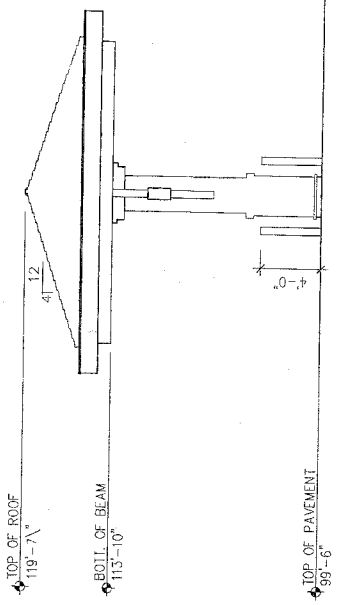
1"=10'

CONTROL TOWER ELEVATION

23332 Mill Creek Dr.
 Suite 205
 Leesville, SC 29563
 Phone: 849.453.0411
 Fax: 849.453.0411

RF Consultants, Inc.
 DESIGNED BY: _____ CHECKED BY: _____
 DRAWN BY: _____ DATE: _____

SCALE: _____ FILE NO. _____



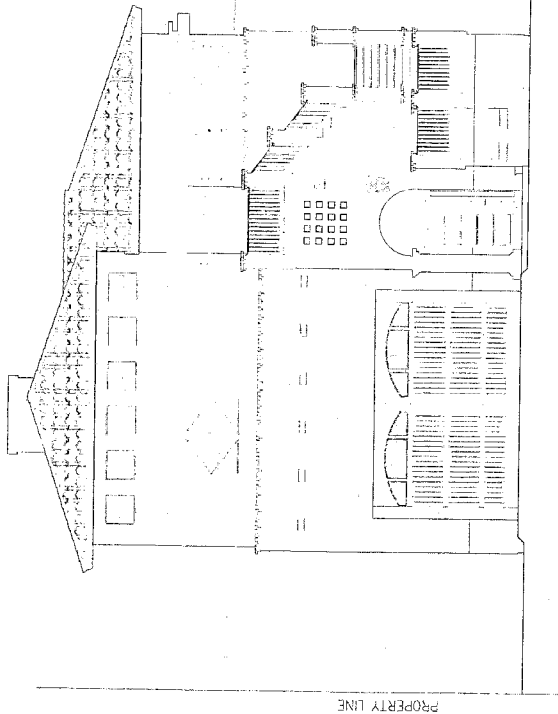
1/8"=1'

FUEL ISLAND ELEVATION

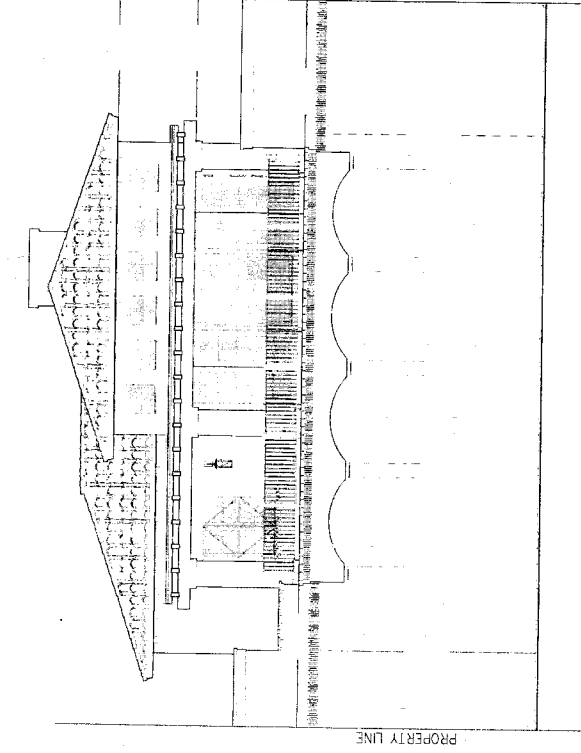
23332 Mill Creek Dr.
Suite 205
Logans Hills, Co. 92653
Phone: 949.453.0111
Fax: 949.453.0411

RCE Consultants, Inc.
DESIGNED BY: _____
DRAWN BY: _____

DATE: _____	SCALE: _____	FILE No. _____
-------------	--------------	----------------



FRONT



BACK

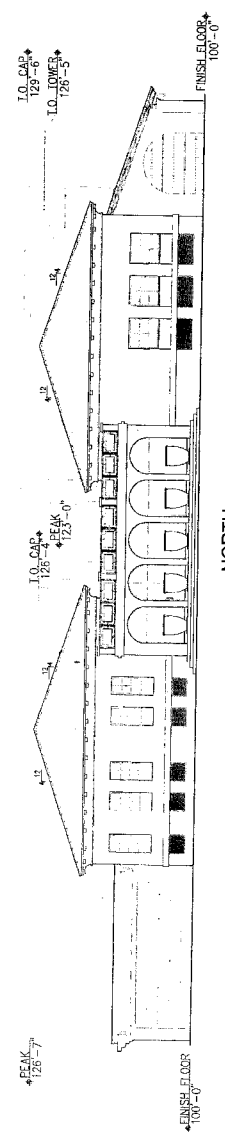
1"=10'

RCF Consultants, Inc.
 23332 Mill Creek Dr., Suite 205
 Los Gatos, CA 95030
 Phone: 949.453.0111 Fax: 949.453.0411

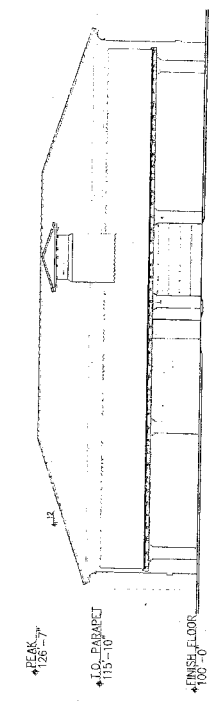
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 DRAWN BY: _____

SCALE: _____ FILE NO. _____

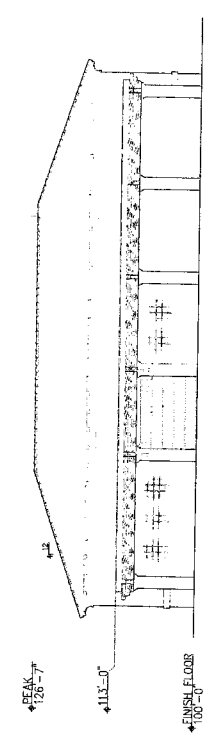
MEMBERS PRIVATE GARAGE ELEVATION



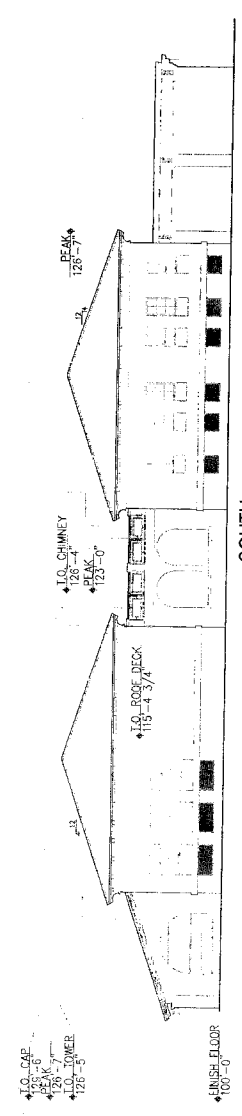
NORTH



WEST



EAST



SOUTH

1"=20'

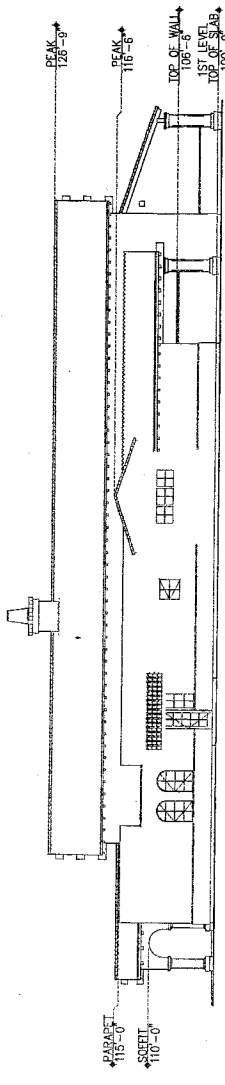
TRACKSIDE GARAGE ELEVATION

23332 Mill Creek Dr.
Suite 205
Laguna Hills, Ca 92653
Phone: 949.453.0111
Fax: 949.453.0411

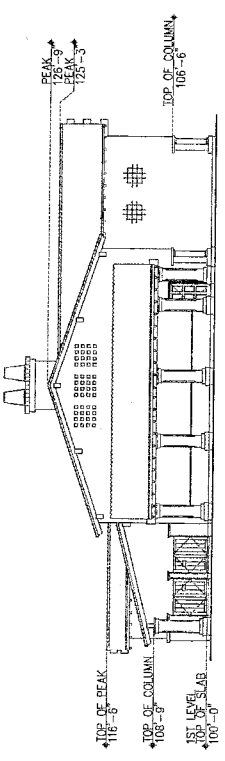
DESIGNED BY:	SCALE:	FILE NO.
DRAWN BY:		
CHECKED BY:		
DATE:		

RCF Consultants, Inc.

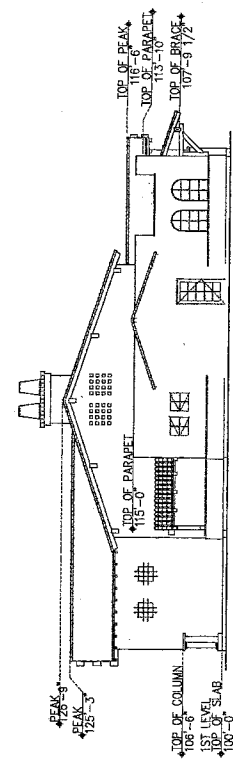




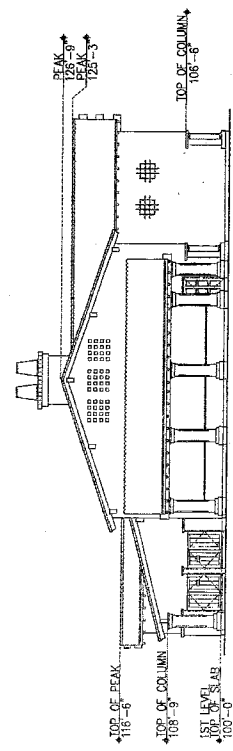
NORTH



WEST



EAST



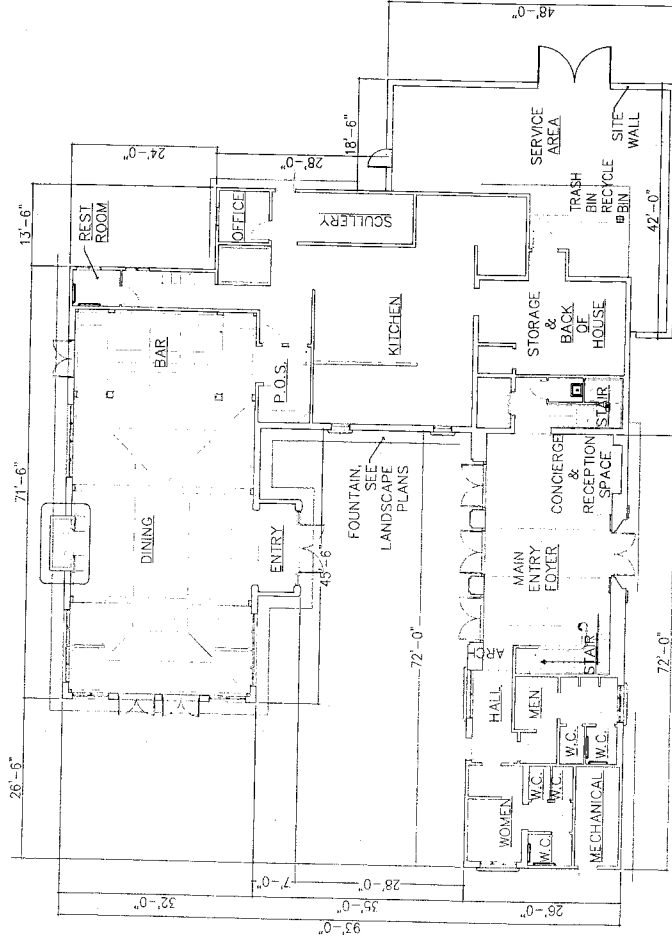
SOUTH

1"=20'

TUNING SHOP ELEVATIONS

RCF Consultants, Inc.
 23332 Mill Creek Dr.
 Suite 205
 Laguna Hills, Co. 92653
 Phone: 949.433.0111
 Fax: 949.433.0411

ISSUED BY: _____ SCALE: _____ FILE NO. _____
 DRAWN BY: _____



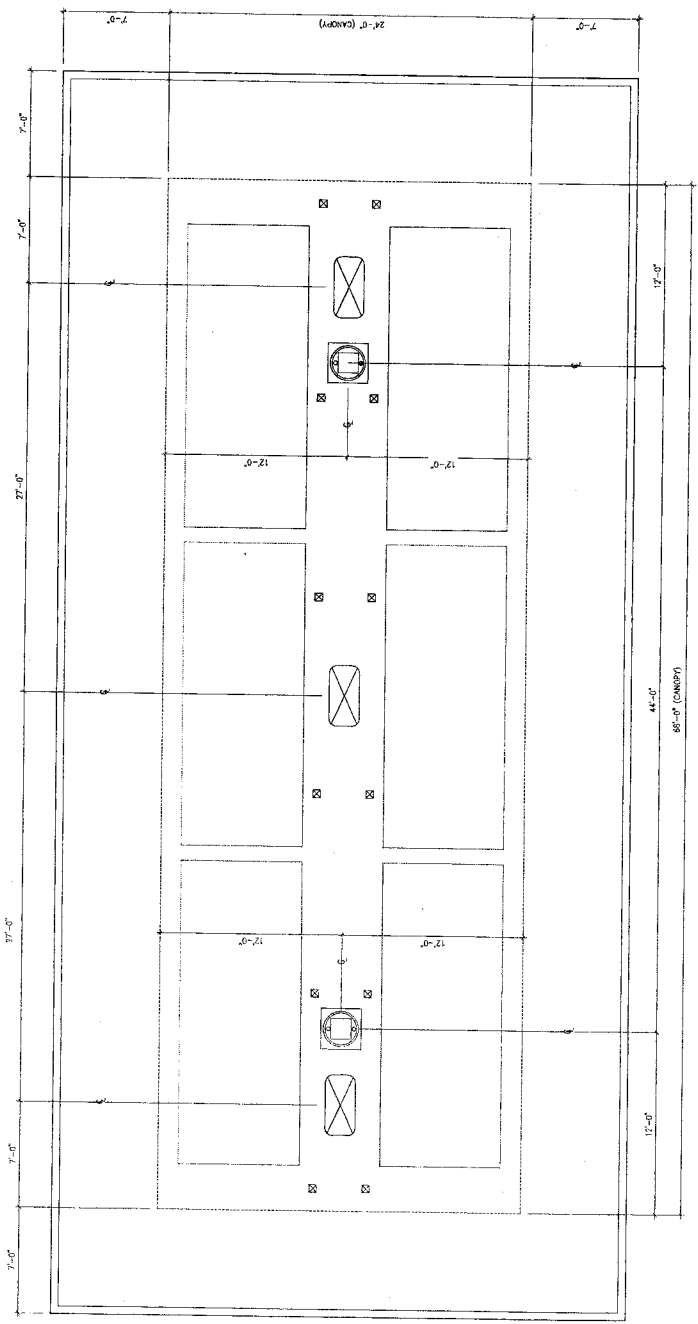
1"=20'

CONTROL TOWER FLOOR PLAN

213372 Mill Creek, Dr.
 Suite 205
 Luggano Hills, Co. 92653
 Phone: 949-453-0111
 Fax: 949-453-0811

DESIGNED BY:	DRAWN BY:	DATE:	SCALE:	FILE NO.





1/8"=1'

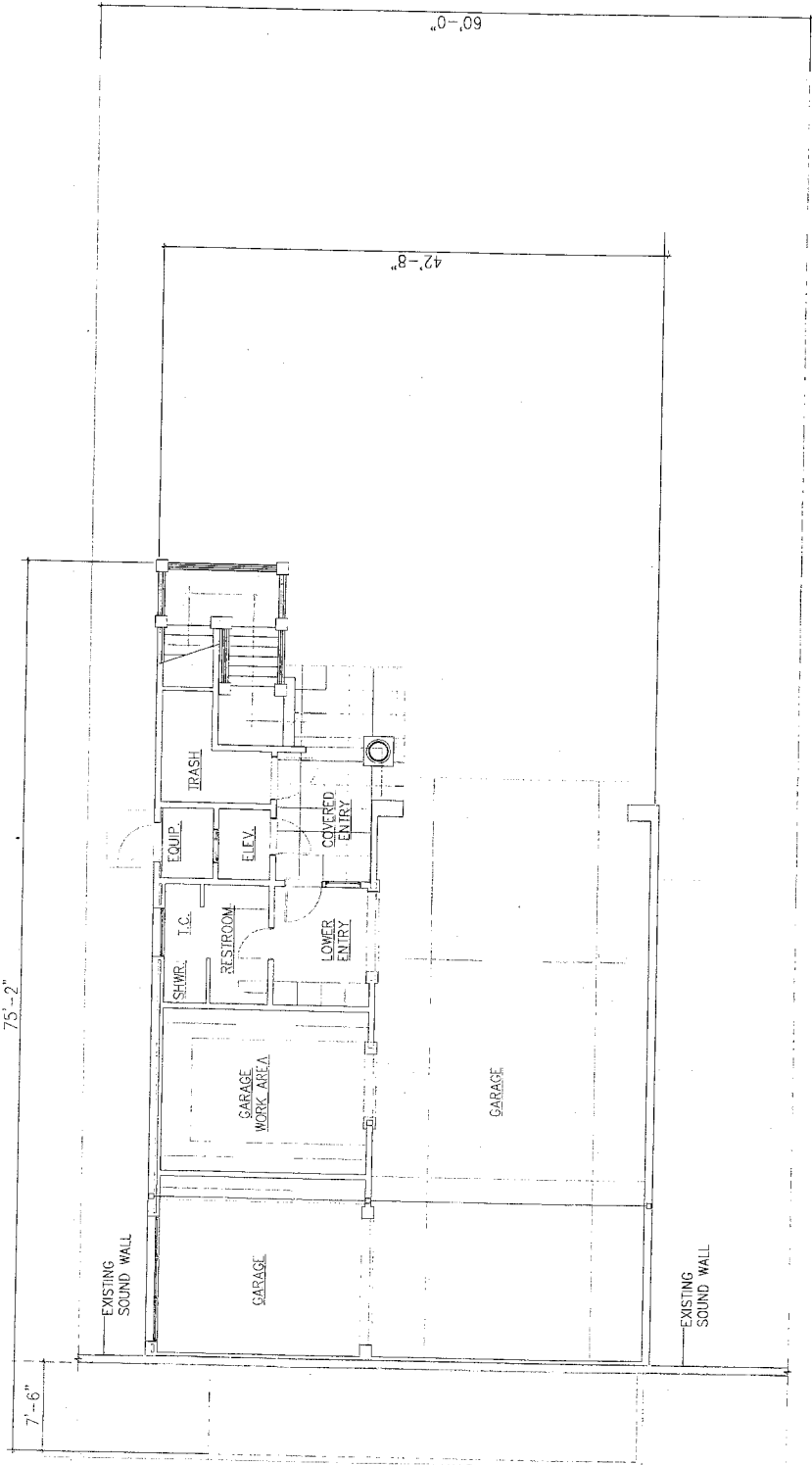
FUEL ISLAND FLOOR PLAN

23332 Mill Creek Dr.
 Logans Hills, Co. 92763
 Phone: 949.453.0111
 Fax: 949.453.0411

RC Consultants, Inc.

DESIGNED BY: _____
 DRAWN BY: _____
 CHECKED BY: _____
 DATE: _____

SCALE: _____ FILE No. _____



1"=10'

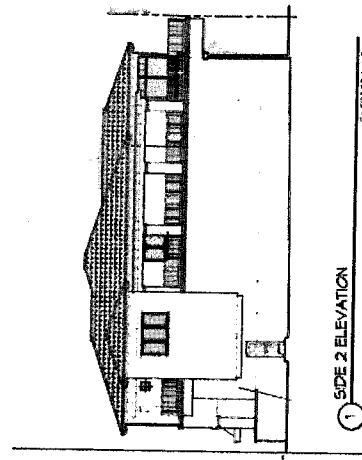
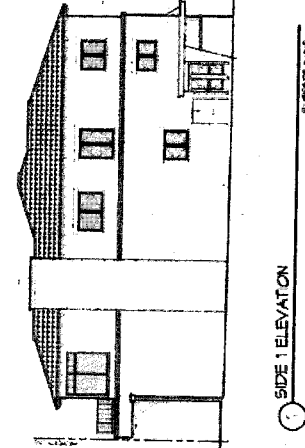
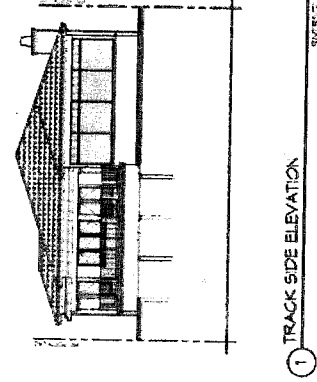
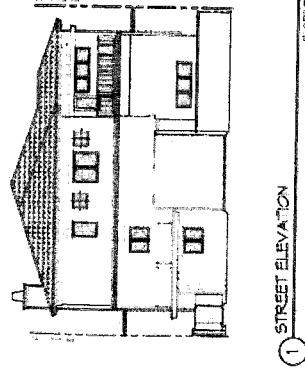
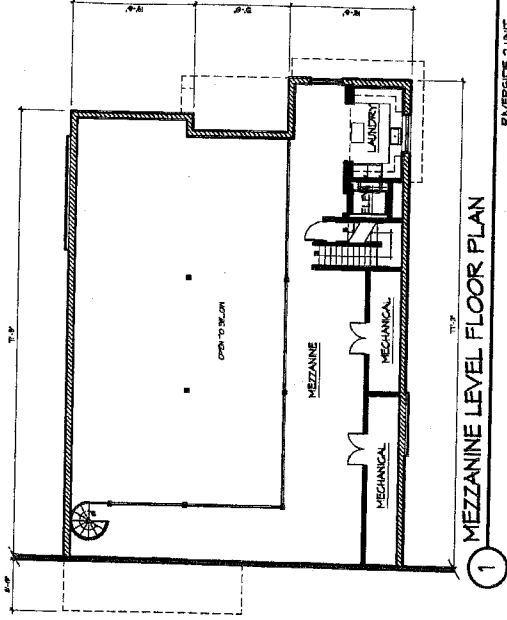
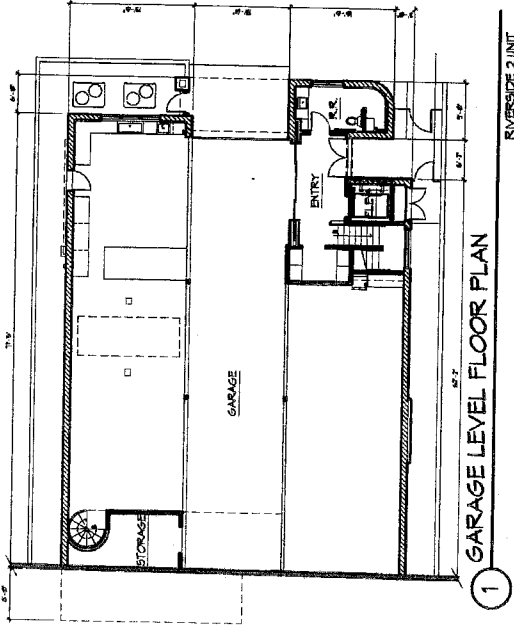
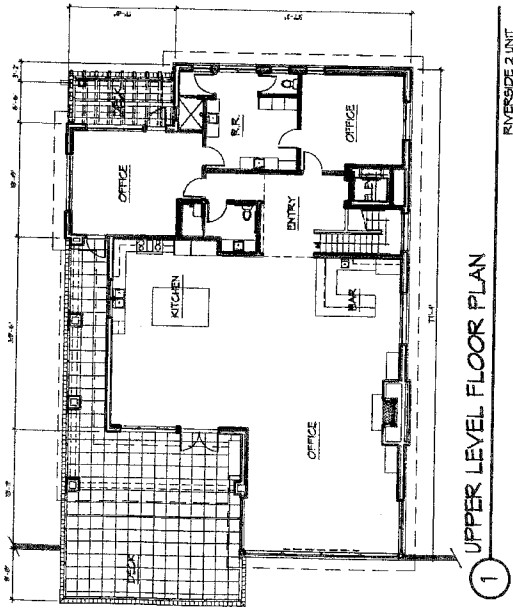
MEMBERS PRIVATE GARAGE FLOOR PLAN

23332 Mill Creek, Dr.
 Loggind Hills, Co. 39265
 Phone: 949.453.0111
 Fax: 949.453.0411

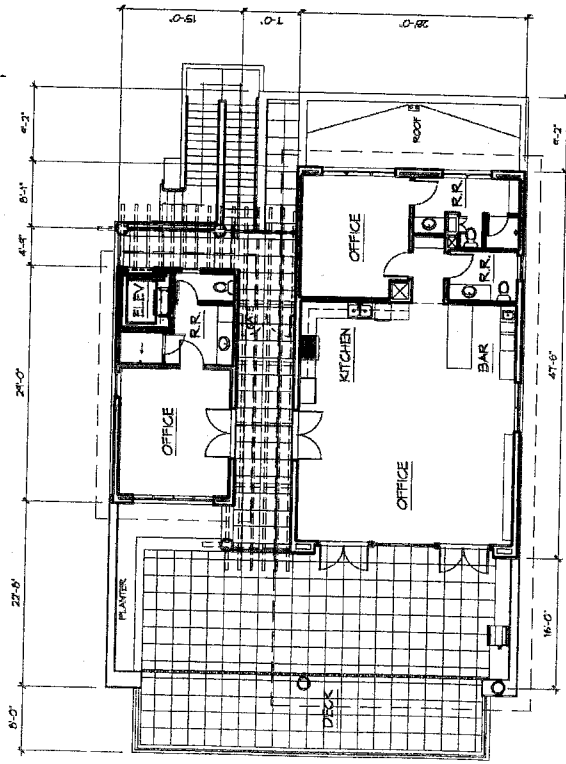
RC Consultants, Inc.

DESIGNED BY:	FILE NO.:
DRAWN BY:	SCALE:
DATE:	

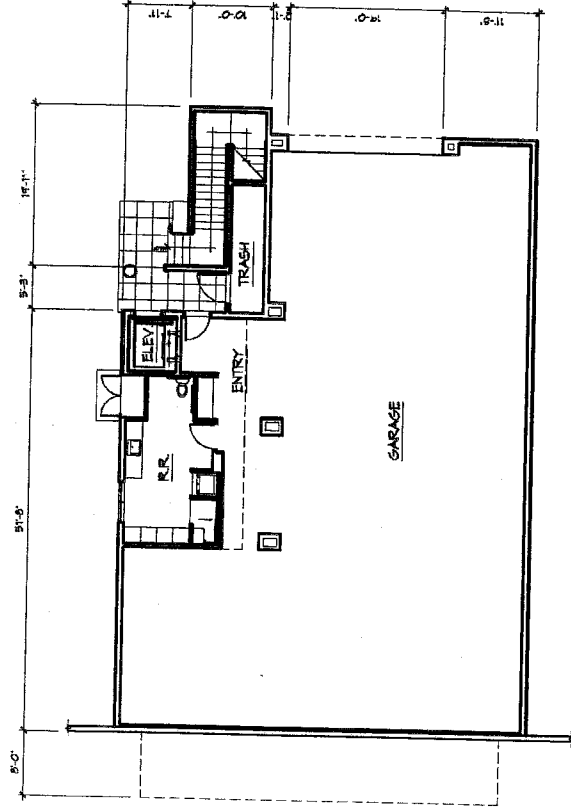
Riverside 2



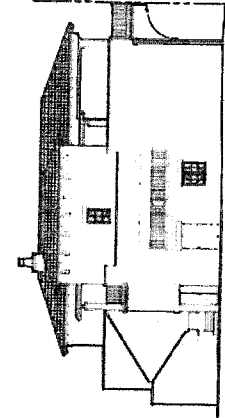
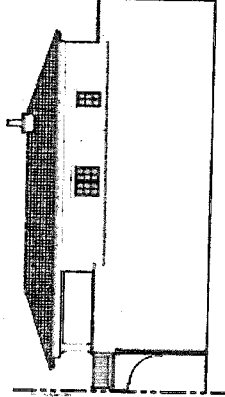
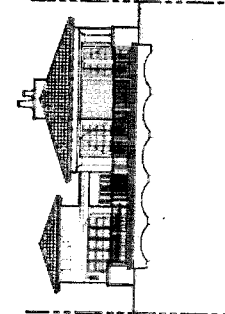
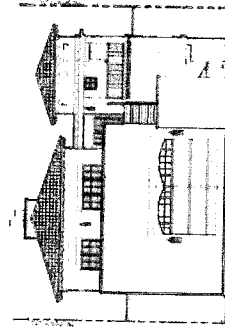
Paramount 1



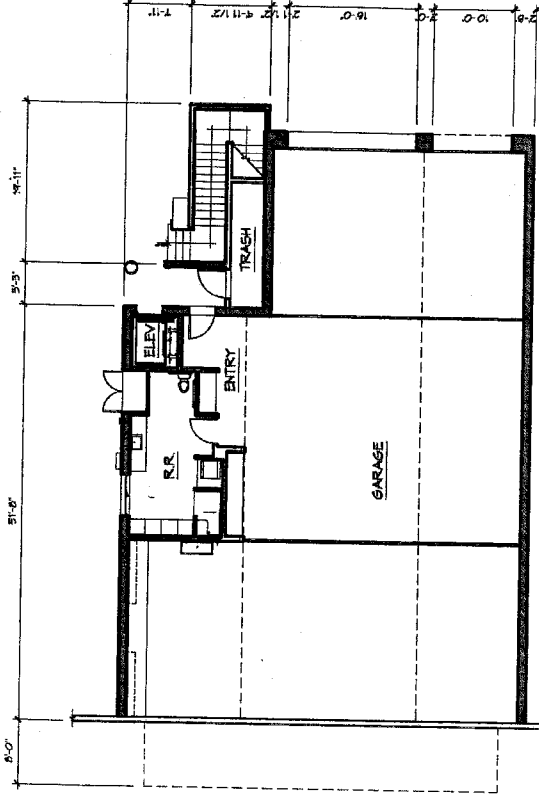
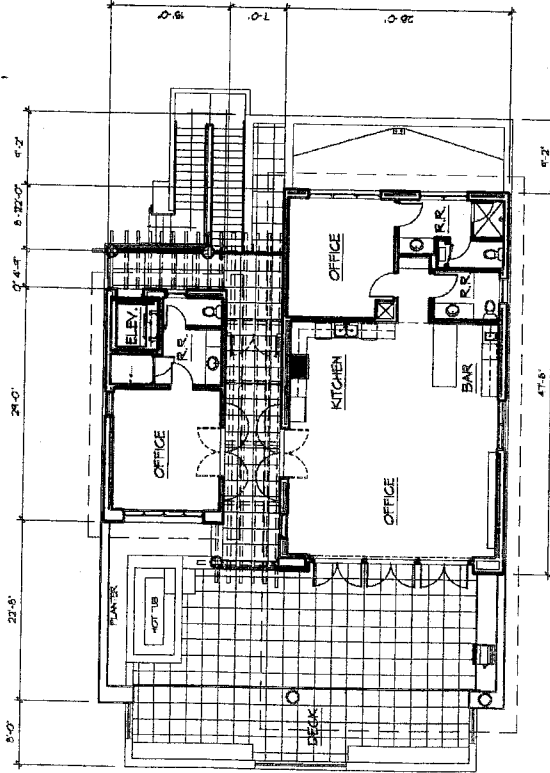
1 UPPER LEVEL FLOOR PLAN



1 GARAGE LEVEL FLOOR PLAN

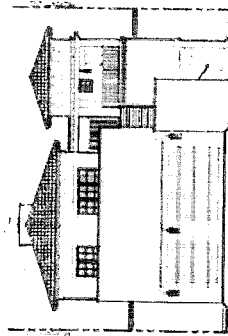


Paramount 2

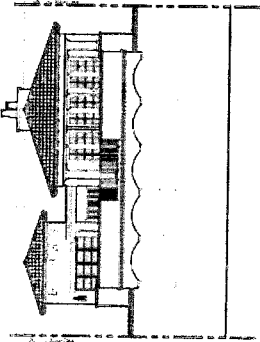


1 UPPER LEVEL FLOOR PLAN

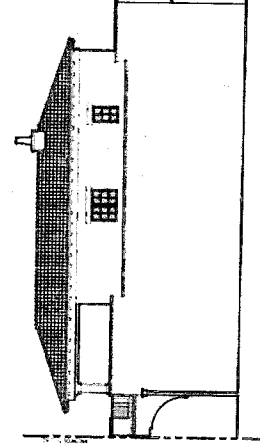
1 GARAGE LEVEL FLOOR PLAN



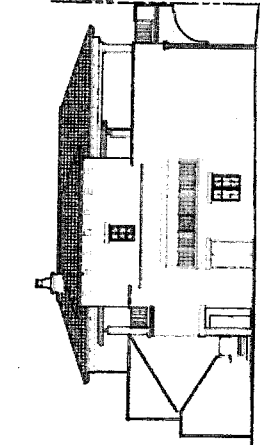
1 STREET SIDE ELEVATION



1 TRACK SIDE ELEVATION

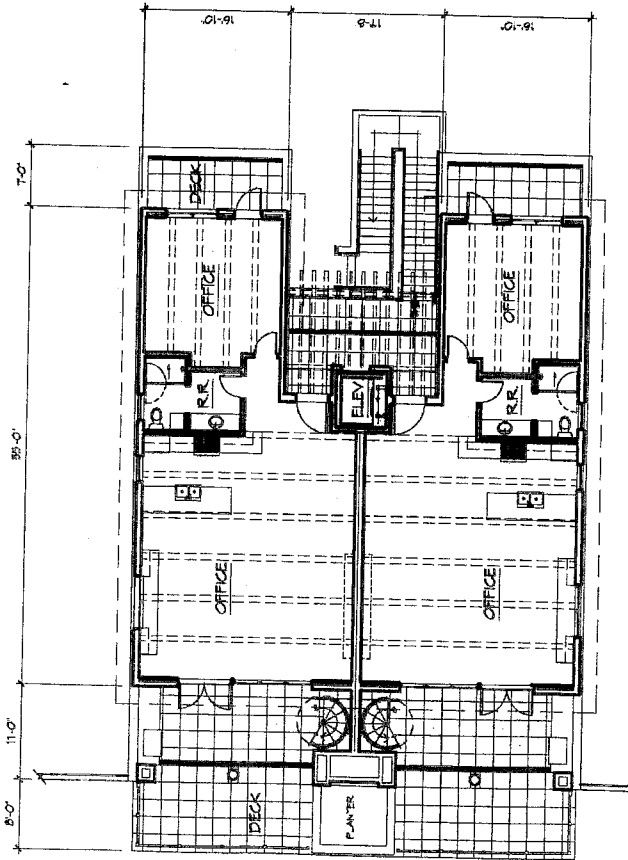


1 SIDE 1 ELEVATION

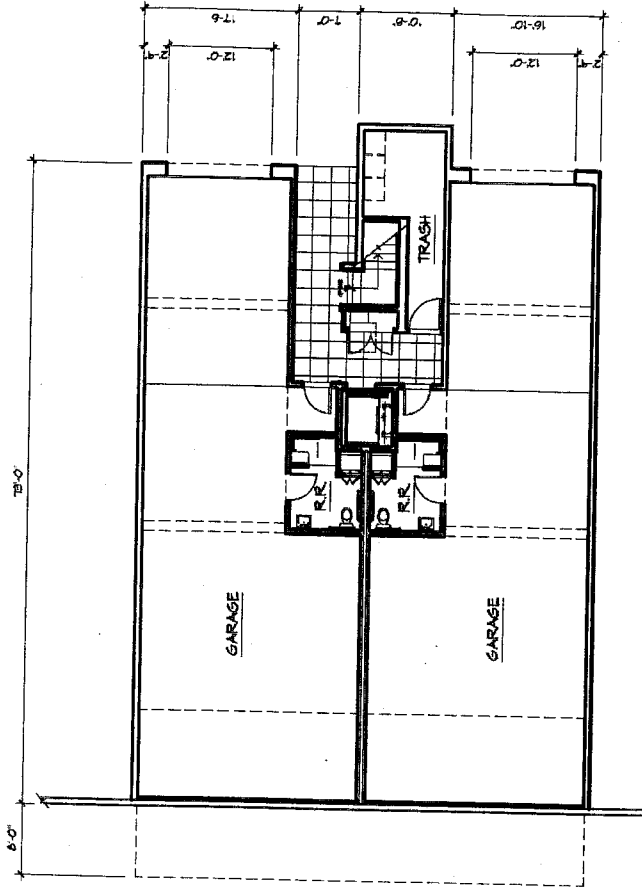


1 SIDE 2 ELEVATION

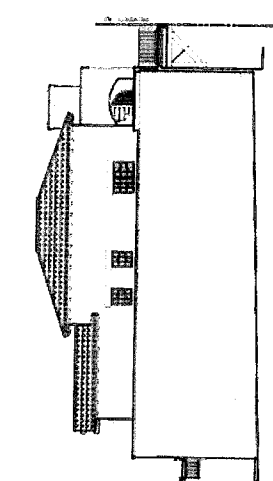
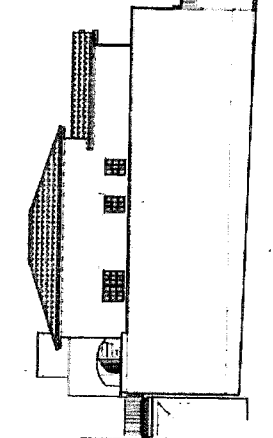
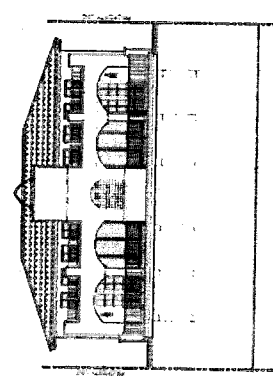
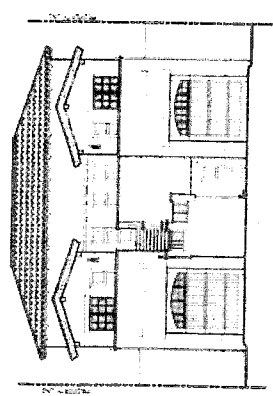
Ascot



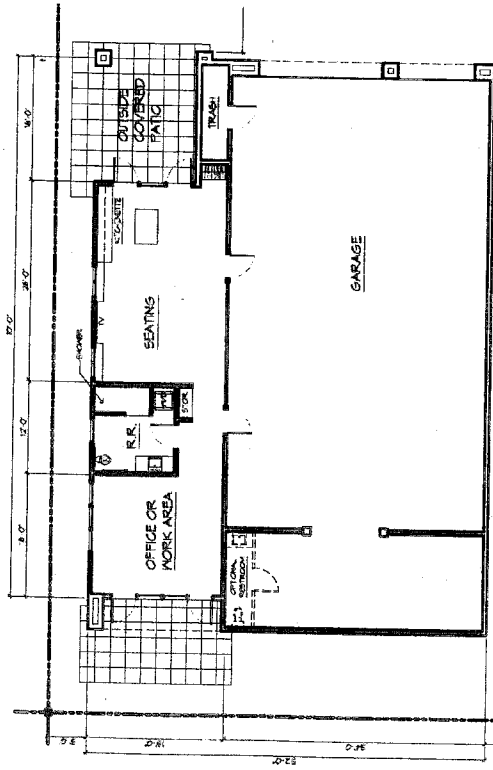
1 UPPER LEVEL FLOOR PLAN



1 GARAGE LEVEL FLOOR PLAN

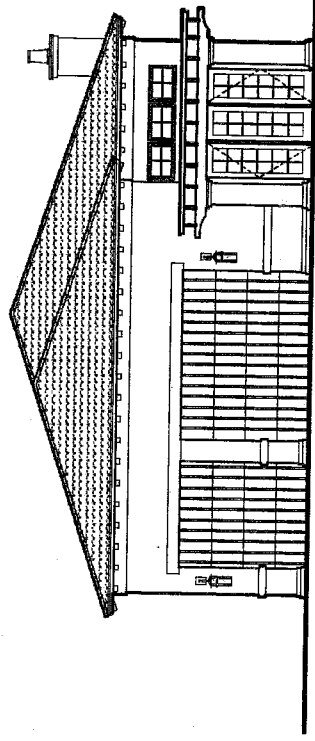


Monza – Single Story Unit



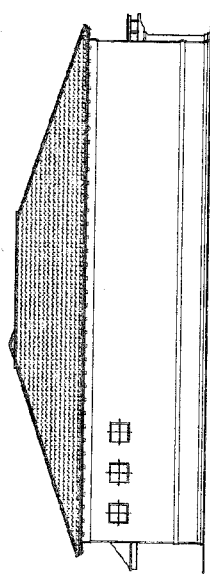
1 FLOOR PLAN

SINGLE STORY UNIT



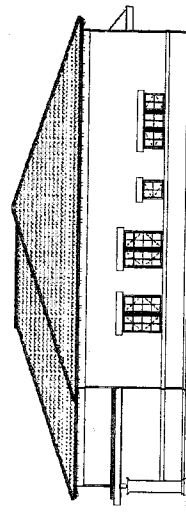
1 STREET ELEVATION

SINGLE STORY UNIT



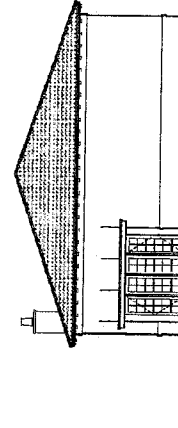
1 SIDE 1 ELEVATION

SINGLE STORY UNIT



1 SIDE 2 ELEVATION

SINGLE STORY UNIT



1 REAR ELEVATION ELEVATION

SINGLE STORY UNIT

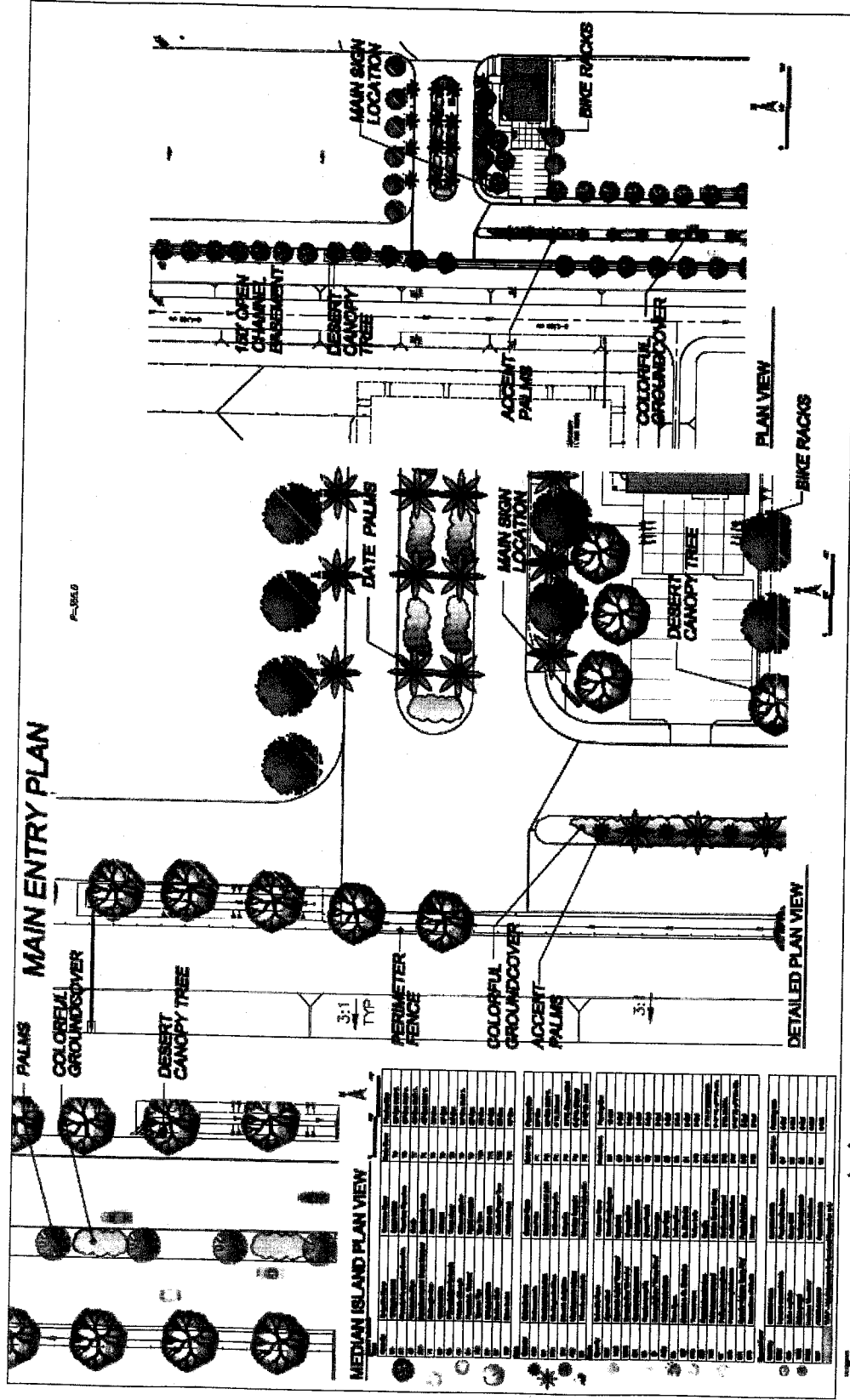
Project Landscape Theme

The project landscape theme will complement the project's architectural styles and be comprised of water efficient, desert appropriate, plant materials providing a variety of color, textures, massing and height variations throughout the project. Plantings shall include trees, shrubs, groundcovers and limited areas of turf for exhibit space and recreational use.

Hierarchies of themed landscape areas have been developed for water efficiency, low maintenance and sustainability. These include areas of decomposed granite, rock mulch, water efficient plant zones, and themed landscape areas that relate to the local agricultural patterns and land uses. The Plant Palette for the community shall be as per the Coachella Valley Water District Water Efficient Plant List. The community landscape will be HOA maintained. Please refer to the Exhibits Master Landscape, Detailed Entry Plan, and Plant Palette. All landscape areas will receive "rock mulch" or Decomposed Granite to a 2" depth. All areas not landscaped will receive rock mulch or other types of soil stabilization for dust control. Rock materials will include 3"-6" "Cresta" fractured granite, 4"-8" Whitewater River Cobble, 3/8" Desert Gold Decomposed Granite to a 2" depth.

Project Entry

The project entries (4) are located off of Avenue 62 (temporary), Tyler St, Avenue 60 and Polk Street. Each entrance is setback from these streets and has accent landscaping including tall Date Palm trees as visual cues. Each entry shall have detailed entry walls, signage, planting and specimen trees. The entries will be gated with keypad and card controlled access. A call box will be located in a central "island" for guests and deliveries. Project signage will be designed into the theme and style of the entry and walls. The entries will be landscaped enhanced with desert plantings providing a visual continuity from the perimeter parkway landscape to the interior community landscape. A central landscape island with display area, a focal accent/theme trees and underlying shrubs and colorful desert groundcovers will be the centerpiece of the arrival. The entry will be framed on both sides by complimenting theme trees, shrubs and ground cover, enclosing the arrival space and entry experience. Sidewalks and pedestrian gates will provide pedestrian access along the perimeter street frontage as required by County standards.



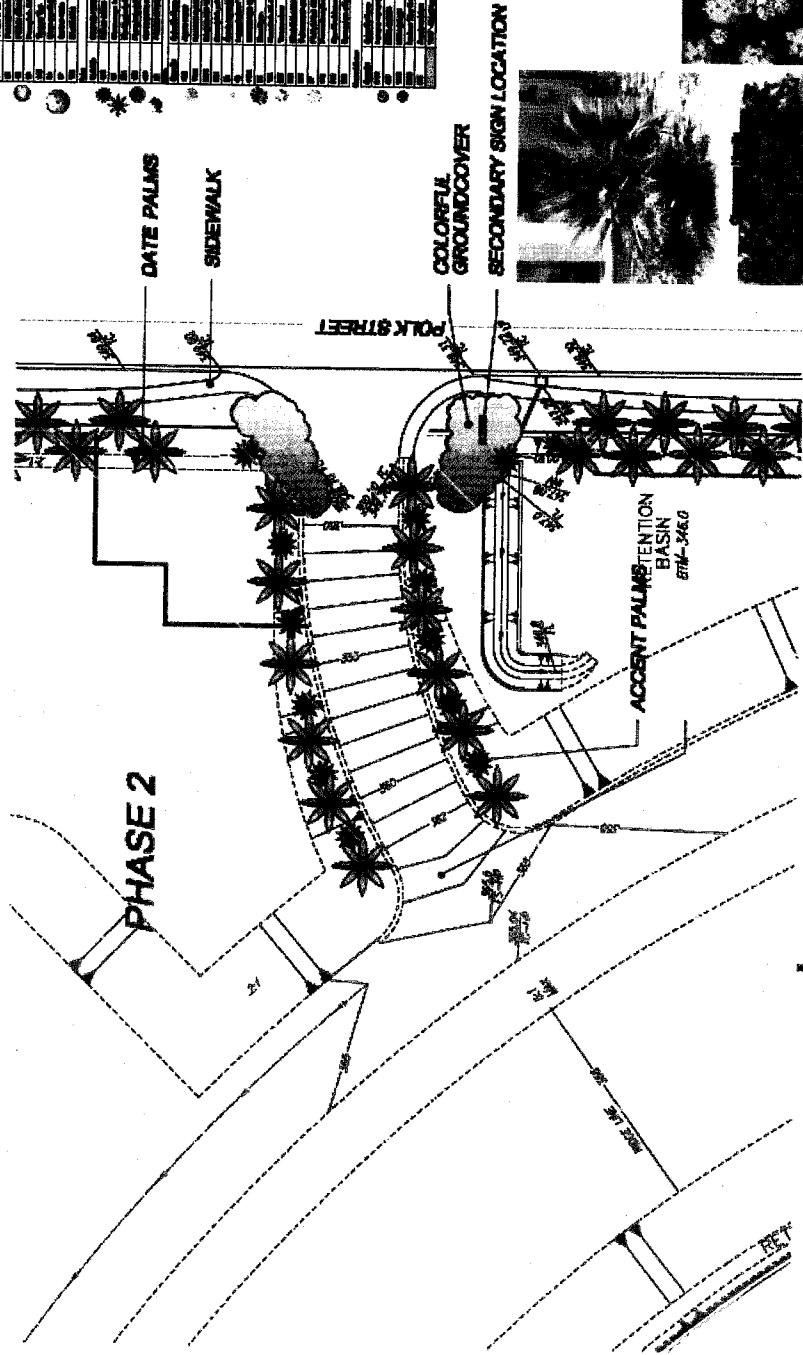
NO.	DESCRIPTION	QTY	UNIT	PRICE	TOTAL
1	DESERT CANOPY TREE	10	EA	150	1500
2	ACCENT PALM	20	EA	75	1500
3	DATE PALM	15	EA	100	1500
4	PERIMETER FENCE	100	LF	15	1500
5	BIKE RACK	10	EA	150	1500
6	MAIN SIGN	1	EA	1000	1000
7	DESERT CANOPY TREE	5	EA	150	750
8	ACCENT PALM	10	EA	75	750
9	DATE PALM	5	EA	100	500
10	PERIMETER FENCE	50	LF	15	750
11	BIKE RACK	5	EA	150	750
12	MAIN SIGN	1	EA	1000	1000
13	DESERT CANOPY TREE	3	EA	150	450
14	ACCENT PALM	6	EA	75	450
15	DATE PALM	3	EA	100	300
16	PERIMETER FENCE	25	LF	15	375
17	BIKE RACK	2	EA	150	300
18	MAIN SIGN	1	EA	1000	1000
19	DESERT CANOPY TREE	2	EA	150	300
20	ACCENT PALM	4	EA	75	300
21	DATE PALM	2	EA	100	200
22	PERIMETER FENCE	12	LF	15	180
23	BIKE RACK	1	EA	150	150
24	MAIN SIGN	1	EA	1000	1000
25	DESERT CANOPY TREE	1	EA	150	150
26	ACCENT PALM	2	EA	75	150
27	DATE PALM	1	EA	100	100
28	PERIMETER FENCE	6	LF	15	90
29	BIKE RACK	0	EA	150	0
30	MAIN SIGN	0	EA	1000	0
31	DESERT CANOPY TREE	0	EA	150	0
32	ACCENT PALM	0	EA	75	0
33	DATE PALM	0	EA	100	0
34	PERIMETER FENCE	0	LF	15	0
35	BIKE RACK	0	EA	150	0
36	MAIN SIGN	0	EA	1000	0
37	DESERT CANOPY TREE	0	EA	150	0
38	ACCENT PALM	0	EA	75	0
39	DATE PALM	0	EA	100	0
40	PERIMETER FENCE	0	LF	15	0
41	BIKE RACK	0	EA	150	0
42	MAIN SIGN	0	EA	1000	0
43	DESERT CANOPY TREE	0	EA	150	0
44	ACCENT PALM	0	EA	75	0
45	DATE PALM	0	EA	100	0
46	PERIMETER FENCE	0	LF	15	0
47	BIKE RACK	0	EA	150	0
48	MAIN SIGN	0	EA	1000	0
49	DESERT CANOPY TREE	0	EA	150	0
50	ACCENT PALM	0	EA	75	0
51	DATE PALM	0	EA	100	0
52	PERIMETER FENCE	0	LF	15	0
53	BIKE RACK	0	EA	150	0
54	MAIN SIGN	0	EA	1000	0
55	DESERT CANOPY TREE	0	EA	150	0
56	ACCENT PALM	0	EA	75	0
57	DATE PALM	0	EA	100	0
58	PERIMETER FENCE	0	LF	15	0
59	BIKE RACK	0	EA	150	0
60	MAIN SIGN	0	EA	1000	0
61	DESERT CANOPY TREE	0	EA	150	0
62	ACCENT PALM	0	EA	75	0
63	DATE PALM	0	EA	100	0
64	PERIMETER FENCE	0	LF	15	0
65	BIKE RACK	0	EA	150	0
66	MAIN SIGN	0	EA	1000	0
67	DESERT CANOPY TREE	0	EA	150	0
68	ACCENT PALM	0	EA	75	0
69	DATE PALM	0	EA	100	0
70	PERIMETER FENCE	0	LF	15	0
71	BIKE RACK	0	EA	150	0
72	MAIN SIGN	0	EA	1000	0
73	DESERT CANOPY TREE	0	EA	150	0
74	ACCENT PALM	0	EA	75	0
75	DATE PALM	0	EA	100	0
76	PERIMETER FENCE	0	LF	15	0
77	BIKE RACK	0	EA	150	0
78	MAIN SIGN	0	EA	1000	0
79	DESERT CANOPY TREE	0	EA	150	0
80	ACCENT PALM	0	EA	75	0
81	DATE PALM	0	EA	100	0
82	PERIMETER FENCE	0	LF	15	0
83	BIKE RACK	0	EA	150	0
84	MAIN SIGN	0	EA	1000	0
85	DESERT CANOPY TREE	0	EA	150	0
86	ACCENT PALM	0	EA	75	0
87	DATE PALM	0	EA	100	0
88	PERIMETER FENCE	0	LF	15	0
89	BIKE RACK	0	EA	150	0
90	MAIN SIGN	0	EA	1000	0
91	DESERT CANOPY TREE	0	EA	150	0
92	ACCENT PALM	0	EA	75	0
93	DATE PALM	0	EA	100	0
94	PERIMETER FENCE	0	LF	15	0
95	BIKE RACK	0	EA	150	0
96	MAIN SIGN	0	EA	1000	0
97	DESERT CANOPY TREE	0	EA	150	0
98	ACCENT PALM	0	EA	75	0
99	DATE PALM	0	EA	100	0
100	PERIMETER FENCE	0	LF	15	0

THERMAL MOTORSPORTS PARK
 COUNTY OF RIVERSIDE, CALIFORNIA

DESIGN GUIDELINES

TKD
 1000 775-1111

SECONDARY MEMBER'S ENTRANCE



NO.	SYMBOL	DESCRIPTION	QUANTITY
1	[Symbol]	DATE PALMS	100
2	[Symbol]	SIDEWALK	100
3	[Symbol]	COLORFUL GROUND COVER	100
4	[Symbol]	ACCENT PALM INTENTION BASIN	1
5	[Symbol]	SECONDARY SIGN LOCATION	1
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7	[Symbol]
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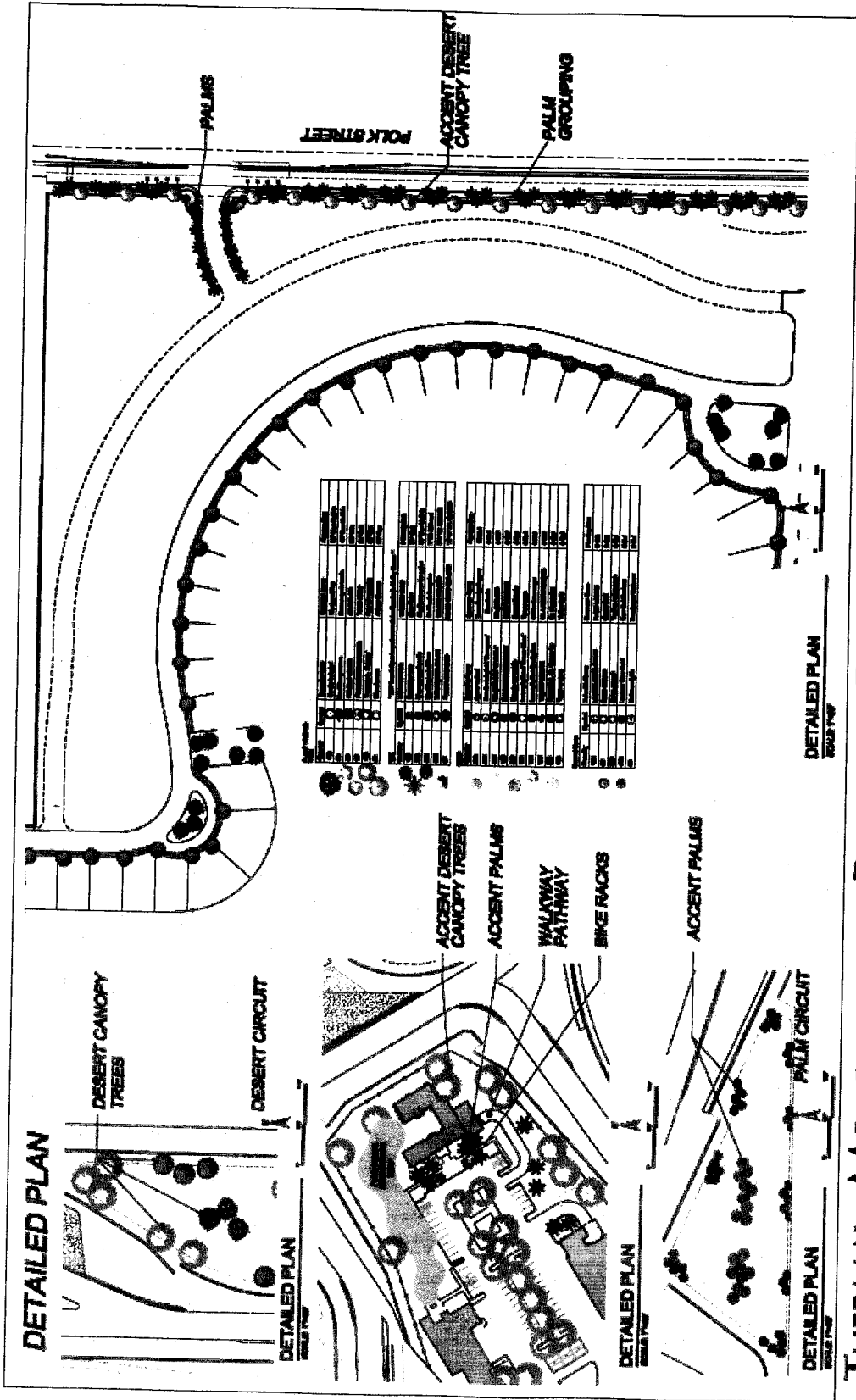
THERMAL MOTORSPORTS PARK
 COUNTY OF RIVERSIDE, CALIFORNIA

TKD

TKD Landscape Architecture
 1000 N. GARDEN ST.
 RIVERSIDE, CA 92507
 (951) 771-1100

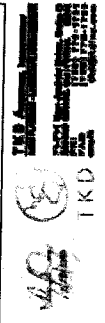
DESIGN GUIDELINES

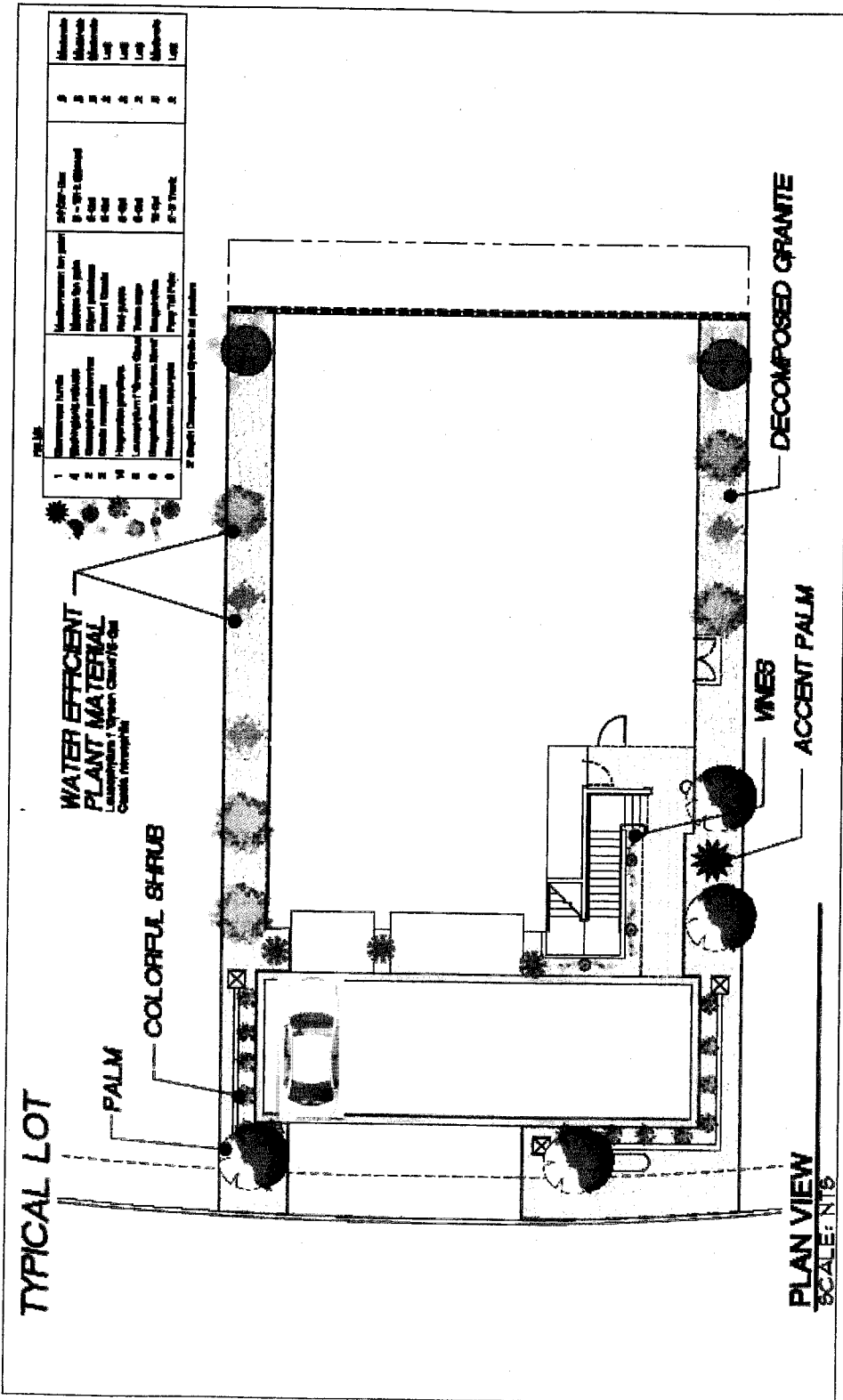
DETAILED PLAN VIEW



THERMAL MOTORSPORTS PARK
 COUNTY OF RIVERSIDE, CALIFORNIA

DESIGN GUIDELINES





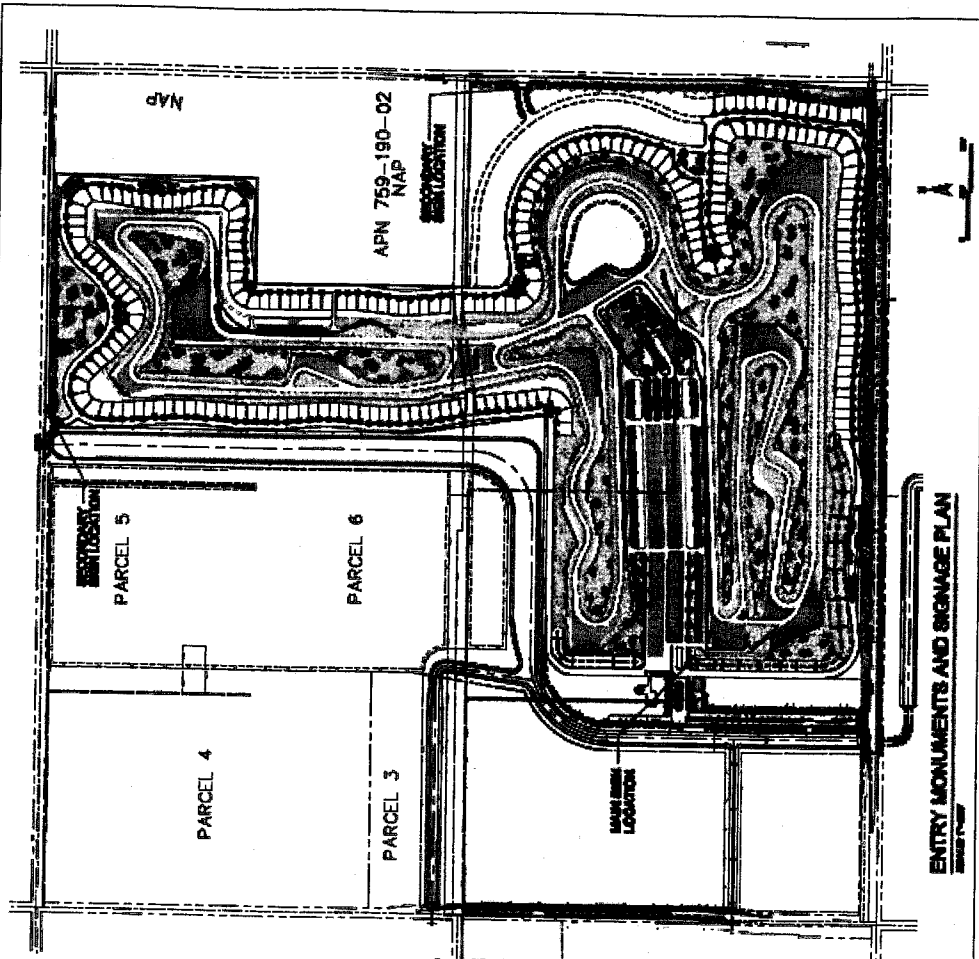
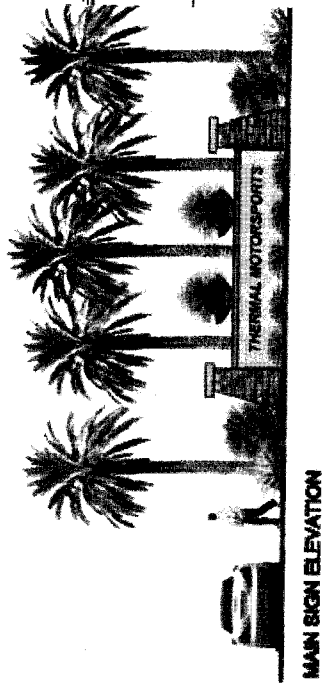
THERMAL MOTORSPORTS PARK
COUNTY OF RIVERSIDE, CALIFORNIA

DESIGN GUIDELINES

T.K.D. ARCHITECTS
T.K.D. LANDSCAPE ARCHITECTS



ENTRY MONUMENTS AND SIGNAGE PLAN



THERMAL MOTORSPORTS PARK
COUNTY OF RIVERSIDE, CALIFORNIA

DESIGN GUIDELINES



LEGEND

DECORATIVE BLOCK WALL - 6' HT.

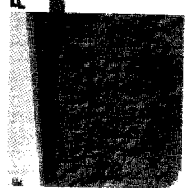
6' HT.



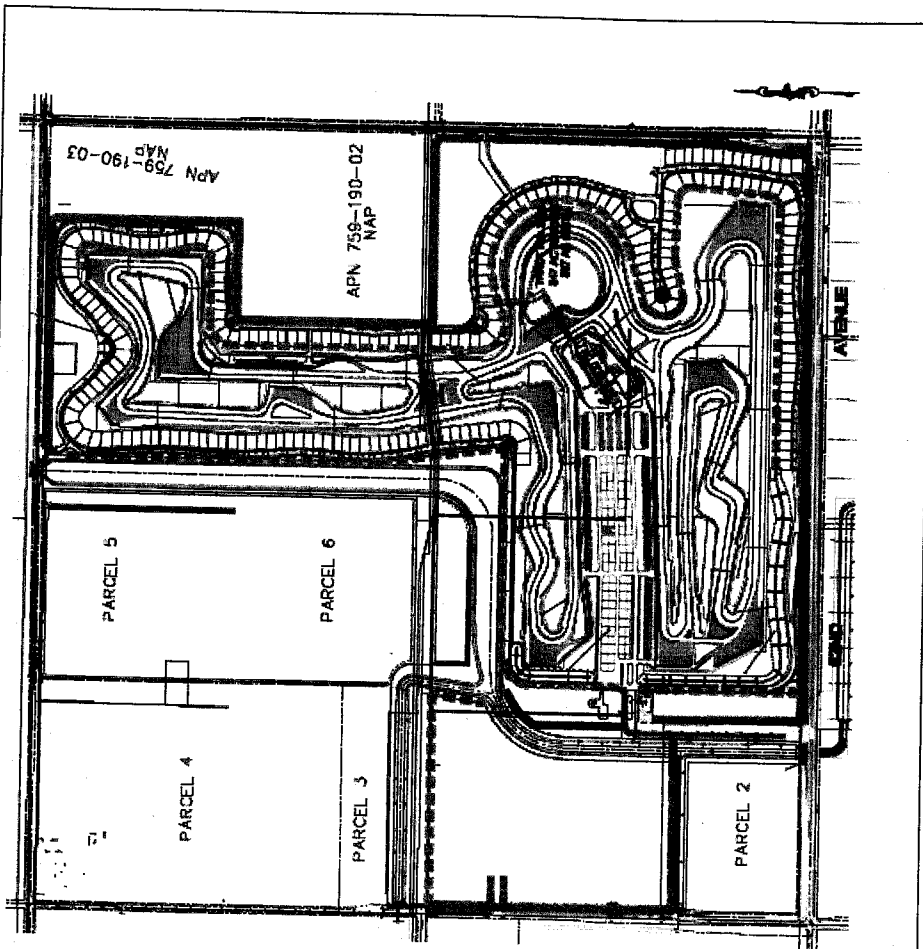
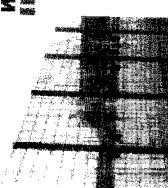
SOUND WALL - 16' HT.



PERIMETER WALL - 6' HT.



WIRE FENCE PANELS - 6' HT.

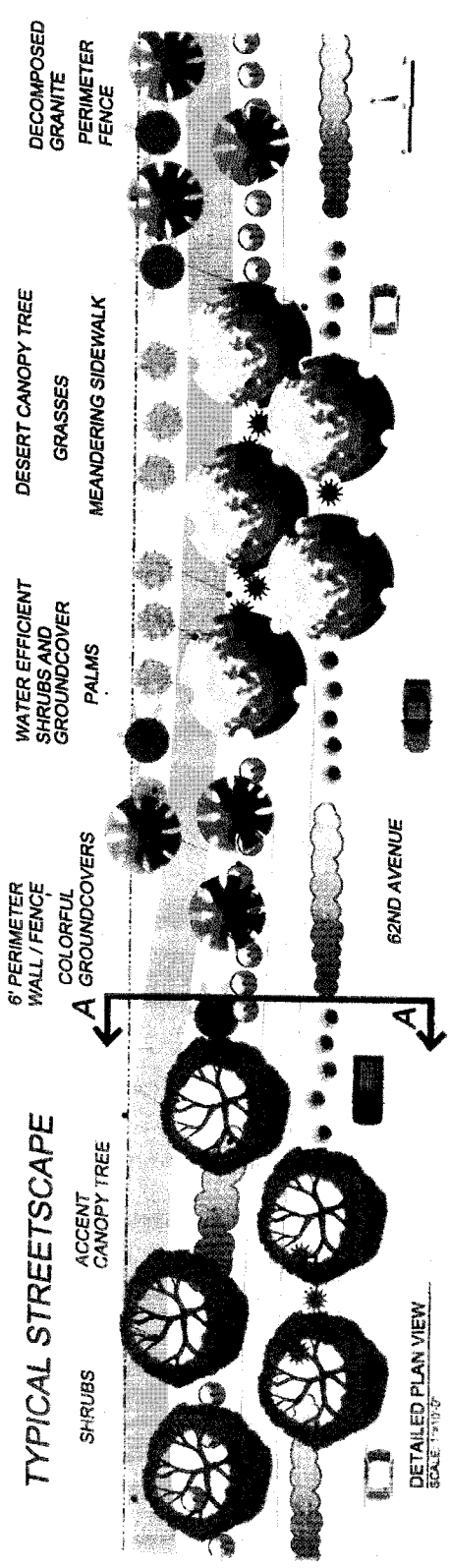


THERMAL MOTORSPORTS PARK
COUNTY OF RIVERSIDE, CALIFORNIA

DESIGN GUIDELINES

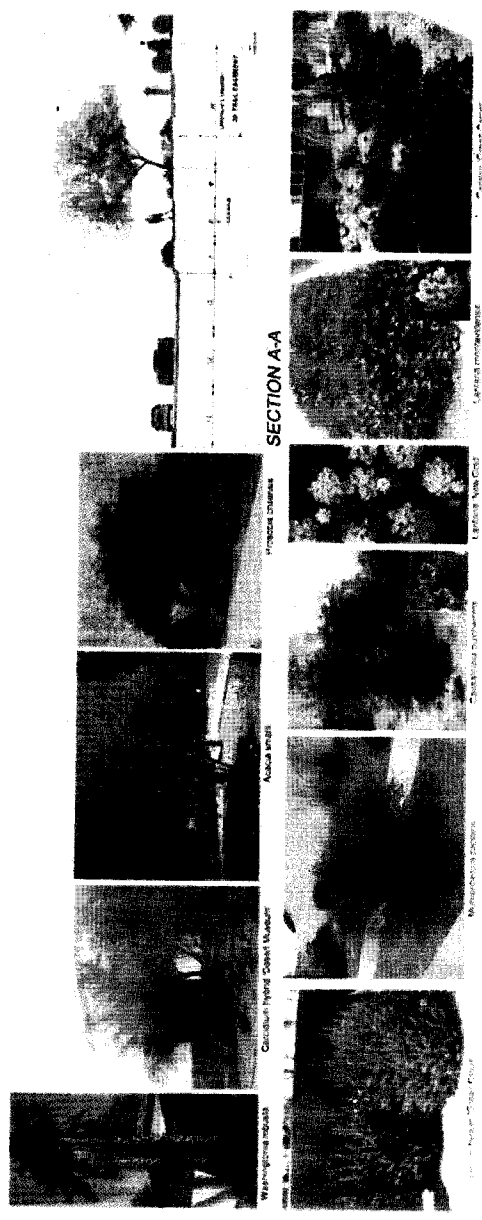


Walls along Avenue 62, Polk Street, 60 Avenue and Tyler Street shall be masonry wall in natural earth tones to match the desert region. This masonry wall will be constructed for all perimeter fencing and sound walls around and throughout the project. At project entries decorative precision and split face block with an integral desert color will be used as an accent at these locations. All walls will be treated with an anti-graffiti coating.



PLANT SCHEDULE

NO.	DESCRIPTION	QUANTITY	NOTES
1	6' PERIMETER WALL / FENCE	1000' L	SEE PLAN FOR LOCATION
2	COLORFUL GROUNDCOVERS	AS SHOWN	SEE PLAN FOR LOCATION
3	SHRUBS	AS SHOWN	SEE PLAN FOR LOCATION
4	ACCENT CANOPY TREE	AS SHOWN	SEE PLAN FOR LOCATION
5	WATER EFFICIENT SHRUBS AND GROUNDCOVER	AS SHOWN	SEE PLAN FOR LOCATION
6	PALMS	AS SHOWN	SEE PLAN FOR LOCATION
7	DESERT CANOPY TREE	AS SHOWN	SEE PLAN FOR LOCATION
8	GRASSES	AS SHOWN	SEE PLAN FOR LOCATION
9	MEANDERING SIDEWALK	AS SHOWN	SEE PLAN FOR LOCATION
10	DECOMPOSED GRANITE	AS SHOWN	SEE PLAN FOR LOCATION
11	PERIMETER FENCE	AS SHOWN	SEE PLAN FOR LOCATION



Perimeter Street Landscaping

The parkways along 60th Avenue, 62nd Avenue, Polk Street and Tyler Street will be landscape enhanced with a variety of desert plantings providing color, texture, massing and vertical variation. This perimeter street landscape will establish the initial “personality” of the project and initiate the arrival experience. The design and layout will work in harmony with the site grading, and perimeter wall layout creating a pleasing visual experience for motorists and pedestrians. The combination of layering, palm trees canopy trees and accent trees will present a pleasing visual compliment to the lower level shrubs, groundcovers and decorative grasses. Attention to plant material colors and textures will provide an additional layer of visual enhancement. The perimeter planting design will include Canopy trees 30’ to 45’ on center, based upon species.

An expanded landscape easement will be provided to create a wide landscaped parkway along the perimeter public streets. Where possible, a meandering 8-foot wide sidewalk through the landscaped parkway will help separate pedestrians from the roadway. Canopy trees will be planted to provide shade along the walkway.

Please refer to Exhibit Perimeter Street Parkway Enhancement.

Parking Lot Landscape

Parking lots will include landscape islands and planters for canopy trees to provide shade. Low walls or landscape hedges will screen parking lots from public view. Public parking areas will have 50% shade as the trees mature.

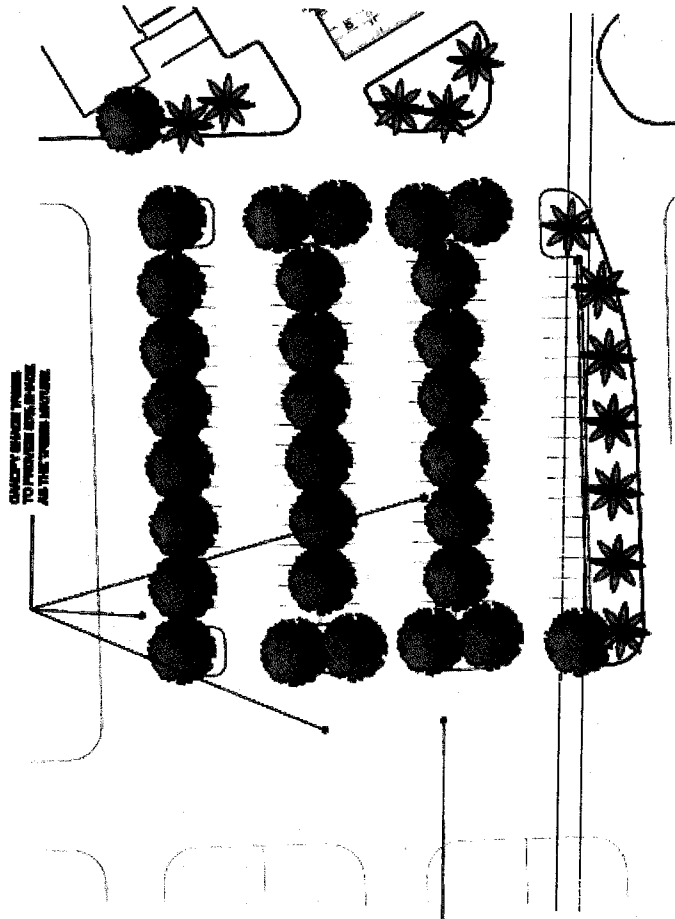
Landscape Irrigation

All landscape areas shall be irrigated with an automatic irrigation system that utilizes “Smart Controllers” that utilize up to the minute weather data and other water conserving components. Plant material will be zoned based upon water needs and all plants will be “Drip Irrigated” for water conservation.

TYPICAL PARKING LOTS

PARKING AREA SPACE REQUIREMENTS A minimum of 20% of parking area must be reserved	
Total area of parking stalls (SQ. FEET)	24,000 sq. ft. 20,000 sq. ft.
Total percentage of parking stalls reserved	15.0% sq. ft. 12.5%

BASED ON THREE CANOPY SPACE AFTER 10 YEARS GROWTH

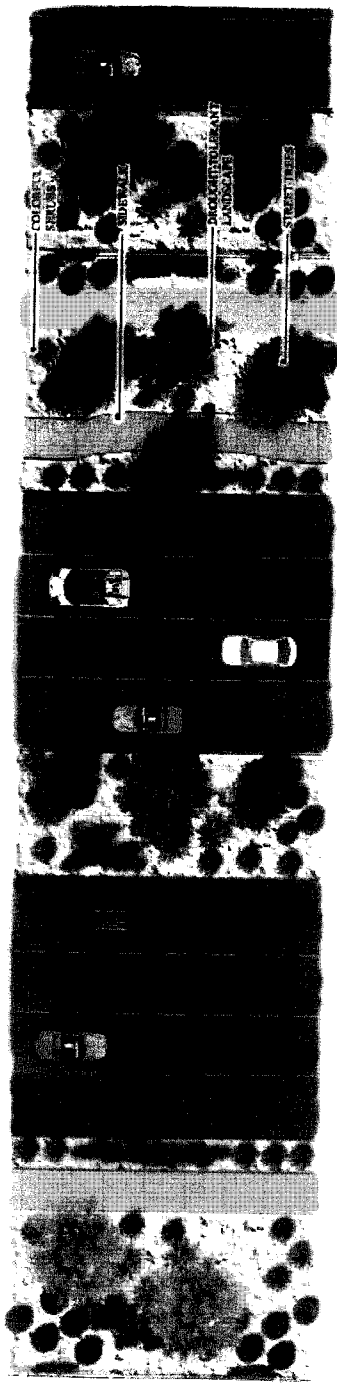
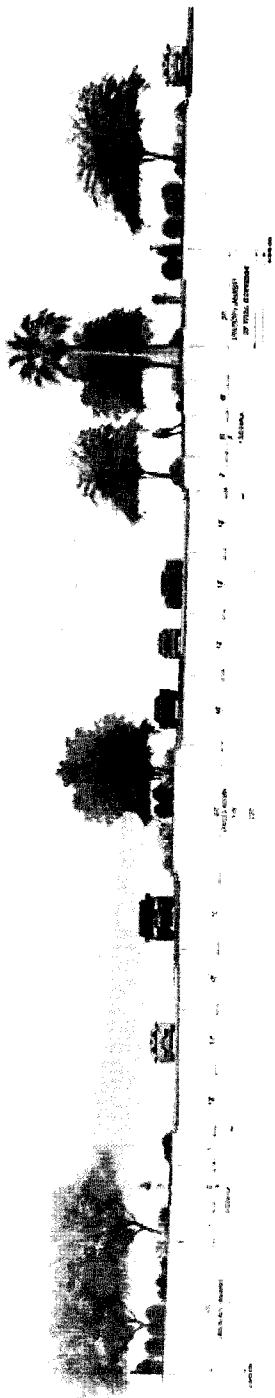


TYPICAL PARKING LOT PLAN
SCALE: 1" = 10'

THERMAL MOTORSPORTS PARK
COUNTY OF RIVERSIDE, CALIFORNIA

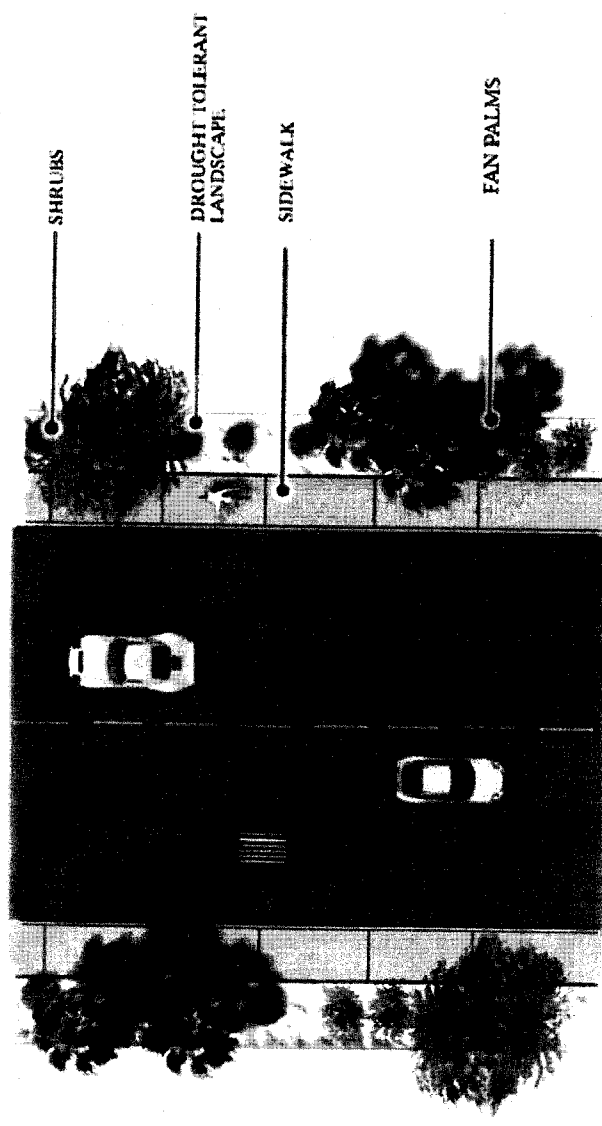
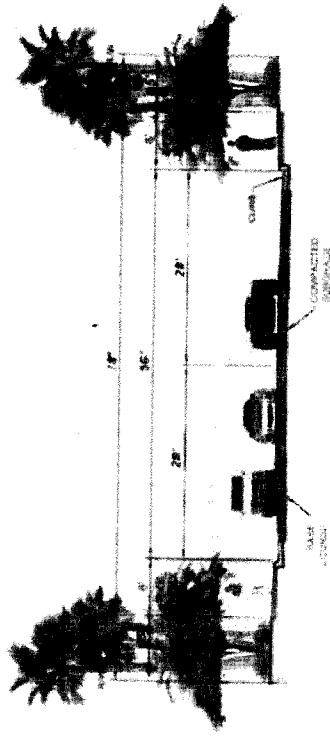
DESIGN GUIDELINES





AVENUE 62ND STREET EXHIBIT





AVENUE 60TH STREET EXHIBIT

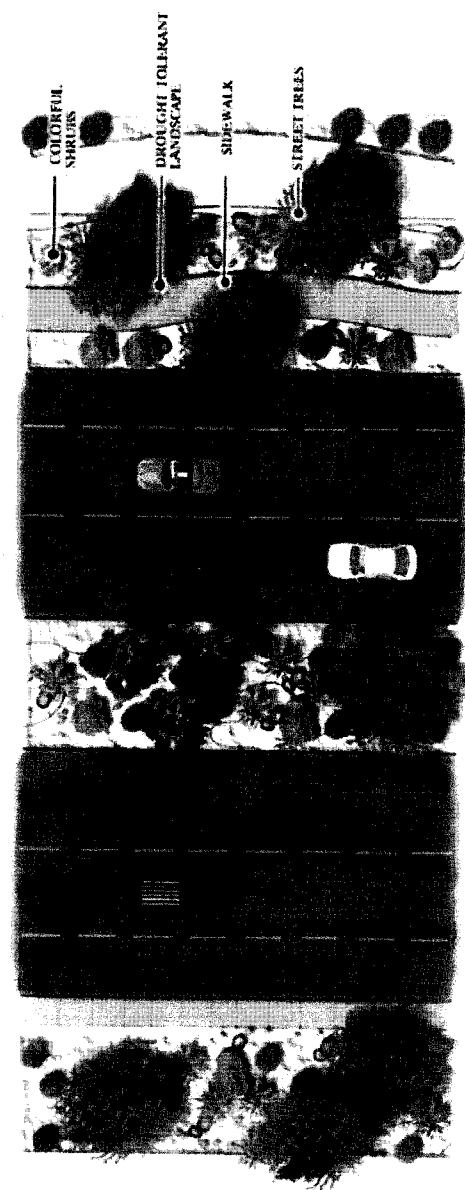
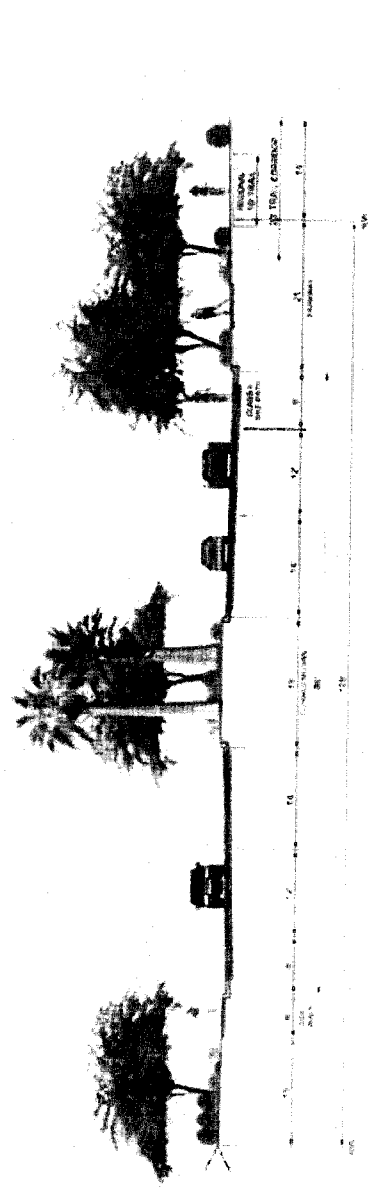




POLK STREET EXHIBIT

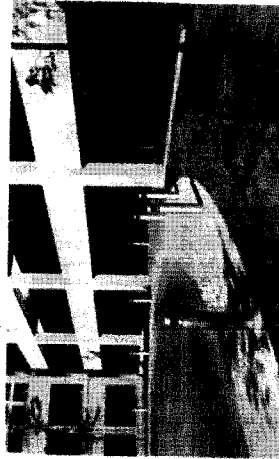
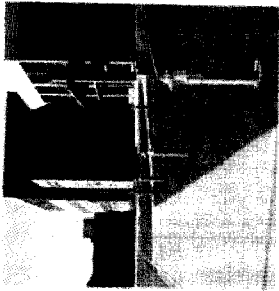
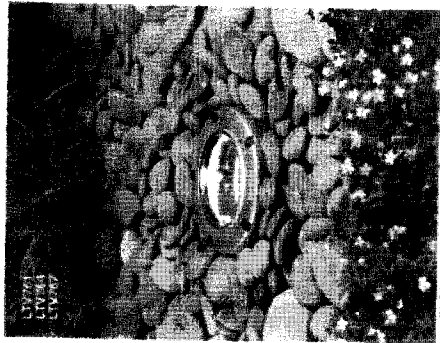


TKD



TYLER STREET EXHIBIT

TKD



BOLLARDS

IN GRADE - LIGHTING



Project lighting will include in-grade lighting throughout landscaped areas, as well as bollards around membership lots and throughout the remainder of the project. Low pressure sodium lighting will be utilized as referenced in Ordinance No. 655 - Mt. Palomar Lighting Area.

Thermal Motorsports Track and Club will be providing sufficient parking for all buildings and garages per Riverside County Parking Ordinance, as outlined by the Riverside County Planning Department. The following is a list and image of each parking lot, including building sizes, uses, and parking spaces provided:

PARKING LOT H:

Parking for Track Side Garages, Control Tower and Tuning Shop

Track Side Garages

Building Size: 13,174 S.F.
Building Use: Warehouse
Spaces Provided: 7 + 1 ADA - 8
Assigned Parking Lot: H

Control Tower

Building Size: 9,197 S.F.
Building Use: Service, Track Control & Office
Spaces Provided: 78 + 2 ADA - 81
Assigned Parking Lot: H

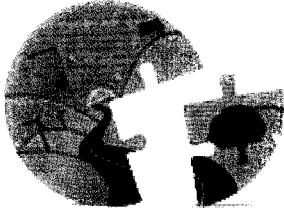
Tuning Shop

Building Size: 8,392 S.F.
Building Use: Assembly
Spaces Provided: 50 + 2 ADA - 52
Assigned Parking Lot: H

Notes:

ENVIRONMENTAL IMPACT REPORT NO. 396, ADDENDUM NO. 3

The Kohl Ranch Specific Plan No. 303



**RIVERSIDE COUNTY
PLANNING DEPARTMENT**

Prepared by:

**County of Riverside
Planning Department**
77588 El Duna Court, Ste. H
Palm Desert, California 92211



Assisted by:

Albert A. WEBB Associates
3788 McCray Street
Riverside, California 92506

March 25, 2014

EA 42592

**INTRODUCTION TO
ENVIRONMENTAL IMPACT REPORT NO. 396, ADDENDUM NO. 3
Environmental Assessment NO.: EA42592**

On November 16, 1999, the County of Riverside approved The Kohl Ranch Specific Plan No. 303 (SP 303), which was prepared pursuant to the authority granted to the County by California Government Code, Title 7, Division 1, Chapter 3, Article 8, Section 655450 to 65457. The SP303 included land uses which allow for development of approximately 7,161 single family residential dwelling units, as well as commercial and industrial land uses, and open space. In conjunction with its approval of the SP 303, the County of Riverside complied with the California Environmental Quality Act ("CEQA") by preparing and certifying Environmental Impact Report No. 396 (EIR396). The SP 303 was later modified by the County of Riverside's approval of SP 303, Amendment No. 1 (SP 303 A1) and EIR396, Addendum No. 1 (EIR396-A1), adopted January 28, 2003. In April, 2010, the Applicant requested that the County of Riverside determine whether a member's private automotive race course was a use which substantially conformed to the permitted uses within the Heavy Industrial and Open Space zones within the SP 303 A 1. On April 7, 2010, the County of Riverside Planning Commission determined that the proposed race course was a use in substantial conformance with the Heavy Industrial and Open Space zones within the SP 303. Subsequently, SP 303 A1 was modified to include this use by County of Riverside approval of SP 303, Amendment No. 2 (SP 303 A2) and EIR396, Addendum No. 2 (EIR396-A2), adopted June 7, 2011. This approval also included related entitlement applications for the Thermal Club Motorsports Track including Plot Plan 24690, Tentative Parcel Map 36315, and Tentative Parcel Map 36293.

The applicant proposes revisions to Plot Plan 24690 (PP24690R1) and a minor change to Tentative Parcel Map 36293 (PM36293M1). Revisions to the Plot Plan include a proposal to remove the requirement for water quality swales shown on the approved Plot Plan 24690 and instead allow all runoff for the 100-year storm to be retained on-site within retention basins located throughout the project site; remove the requirement for sidewalks from the interior streets; modify the off-site open channel by reconfiguring the daylight channel; modify race track grading by elevating the track; require all sewers within project boundaries to be private per agreement with the Coachella Valley Water District; modify previous registration building to become a member's private garage; relocate irrigation reservoir from off-site to the western portion of the project site with the addition of an aviary screen; and, design modifications to the previously approved member's private garages which consists of a revised Design Manual. The revised plot plan also proposes up to seven (7) construction phases. The business, commercial, and industrial land use categories will comprise 24.45, 31.06, and 330.85 acres, respectively. Commercial areas will serve the Project as well as neighboring communities. Business and industrial uses will be oriented toward the Jacqueline Cochran Regional Airport as well as larger regional markets, and are intended to provide employment opportunities to project area residents.

Minor changes to the Tentative Parcel Map include a proposal to remove three (3) founders lots and reconfigure 35 lots along with street and open space lots within the eight (8) acre unrecorded portion of the previously approved Tentative Parcel Map No. 36293 (Schedule E).

These two applications are collectively referred to as the "Pending Applications" or "proposed Project." For the purpose of the following analysis, EIR396, EIR396-A1, and EIR396-A2 are jointly referred to as the "Previously Approved Project" or "Previous CEQA Documents."

Under the *State CEQA Guidelines*, Section 15162, if an Environmental Impact Report (EIR) has been prepared for a project, there is a strong presumption against requiring further environmental review. Public Resources Code 21166 provides that once an EIR has been completed, the lead agency may not require a subsequent or supplemental EIR unless:

- Substantial changes are proposed in the project that will require major revisions of the EIR ;
- Substantial changes have occurred in the circumstances under which the project is being undertaken that will require major revisions in the EIR; or
- New information of substantial importance to the project that was not known and could not have been known at the time the EIR was certified as complete becomes available.

The *State CEQA Guidelines* further clarify these criteria by providing that further environmental review is required only if proposed changes to the project will require "major revisions" to the previously approved EIR because of new significant environmental impacts or a substantial increase in the severity of previously identified significant impacts (14 CCR 15162.). Therefore, once an EIR has been approved, no subsequent EIR shall be prepared for that project unless the lead agency determines, on the basis of substantial evidence in the light of the whole record, one or more of the following:

- Substantial changes are proposed in the project which will require major revisions of the previous EIR due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects.
- Substantial changes occur with respect to the circumstances under which the project is undertaken which will require major revisions of the previous EIR due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects.
- New information of substantial importance, which was not known and could not have been known with the exercise of reasonable diligence at the time the previous EIR was certified as complete, shows any of the following:
 - a) The project will have one or more significant effects not discussed in the previous EIR;
 - b) Significant effects previously examined will be substantially more severe than shown in the previous EIR;
 - c) Mitigation measures or alternatives previously found not to be feasible would in fact be feasible and would substantially reduce one or more significant effects of the project, but the project proponents decline to adopt the mitigation measure or alternative; or
 - d) Mitigation measures or alternatives which are considerably different from those analyzed in the previous EIR would substantially reduce one or more significant effects on the environment, but the project proponents decline to adopt the mitigation measure or alternative. (14 CCR 15162.)

In processing the Pending Applications in conformity with CEQA, the attached Environmental Assessment 42592 (EA 42592) was conducted to determine if the changes proposed by the Project, represented by the Pending Applications, will trigger any new or more severe significant environmental impacts as compared to those analyzed in the context of EIR396. The EA therefore classifies impacts in one of four ways:

Potentially Significant Impact

This category is utilized for any potentially significant new impact that was not analyzed in EIR396, EIR396-A1, or EIR396-A2.

Less than Significant with Mitigation Incorporated

This category is utilized for any new impacts which were not analyzed or found less than significant in EIR396, EIR396-A1, or EIR396-A2, but are nonetheless found to be less than significant with mitigation incorporated.

This category is also utilized to identify impacts which are equal to or less than the impacts found and analyzed EIR396, EIR396-A1, or EIR396-A2 that require revised or eliminated mitigation measures that are specific to the proposed Project.

Less than Significant Impact

This category is utilized for any new impacts which were not analyzed or found in EIR396, EIR396-A1, or EIR396-A2, but which are nonetheless less than significant.

No Impact

This category is utilized for impacts which are equal to or less than the impacts found and analyzed in EIR396, EIR396-A1, or EIR396-A2.

The result of the EA 42592 is that the environmental impacts of the proposed Project, as modified by the Pending Applications, do not require substantial changes to EIR396, will not create any form of significant environmental impacts which were not previously analyzed in the Previous CEQA Documents, nor will the impacts of the modified project be more severe than those already analyzed in the Previous CEQA Documents. Given that fact, CEQA provides that an Addendum to EIR396 is the proper form of environmental review for the Pending Applications under the circumstances. This Introduction, the EA 42592 and the mitigation monitoring program collectively make up the Environmental Impact Report No. 396, Addendum No. 3 (EIR396-A3), applicable to the Pending Applications.

COUNTY OF RIVERSIDE

ENVIRONMENTAL ASSESSMENT FORM: INITIAL STUDY

Environmental Assessment (E.A.) Number: 42592

Project Case Type (s) and Number(s): Tentative Parcel Map No. 36293, Minor Change No. 1 (PM36293M1); Plot Plan No. 24690, Revised Permit No. 1 (PP24690R1)

Lead Agency Name: County of Riverside Planning Department

Address: 77588 El Duna Court, Ste. H

Contact Person: Jay Olivas

Telephone Number: (760) 863-7050

Applicant's Name: Thermal Operating Company, LLC

Applicant's Address: 1983 W. 190th Street, Suite 100 Torrance, CA 90504

I. PROJECT INFORMATION

- A. Project Description:** The proposed Project is located within The Kohl Ranch Specific Plan No. 303 (Specific Plan), which is located in the Coachella Valley portion of Riverside County just south of Jacqueline Cochran Regional Airport and is roughly east of Harrison Street/Highway 86, and west of Highway 111. The Kohl Ranch Specific Plan is bounded by Avenue 60 on the north, Polk Street on the east, Avenue 66 on the south, and approximately 3,900 feet west of Tyler Street to the west. Since adoption of the Specific Plan in 1999, it has undergone two amendments. The Kohl Ranch Specific Plan No. 303, Amendment No. 2 (SP 303 A2) is the latest revision which pertains to the proposed Project and consists of a balanced array of land uses including residential, business, commercial, industrial, open space/recreation, and public facilities. The residential portion of SP 303 A2 includes 7,161 dwelling units distributed among four different density classifications on 1,140.29 acres and approximately 376 acres of open space provide for passive and active recreation, including trails and parks. The business, commercial, and industrial land use categories will comprise 24.45, 31.06, and 330.85 acres, respectively. SP 303 A2 also allows for the development of large-scale recreational uses including a motorsports race track north of Avenue 62.

Previously Approved Related Items:

Environmental Impact Report No. 396 (SCH No. 1994112032)

Environmental Impact Report No. 396 (EIR396) was prepared for The Kohl Ranch Specific Plan No. 303 (SP 303), adopted and certified by the County of Riverside November 16, 1999.

Environmental Impact Report No. 396, Addendum No. 1

Environmental Impact Report No. 396, Addendum No. 1 (EIR396-A1) was prepared for The Kohl Ranch Specific Plan No. 303, Amendment No. 1 (SP 303 A1), adopted by the County of Riverside January 28, 2003

Environmental Impact Report No. 396, Addendum No. 2

Environmental Impact Report No. 396, Addendum No. 2 (EIR396-A2) was prepared for The Kohl Ranch Specific Plan No. 303, Amendment No. 2 (SP 303 A2), adopted by the County of Riverside June 7, 2011. In addition, Plot Plan 24690, Tentative Parcel Map 36315, and Tentative Parcel Map 36293 for the Thermal Racetrack were also approved by the County of Riverside June 7, 2011.

For the purpose of the following analysis, EIR396, EIR396-A1, and EIR396-A2 are jointly referred to as the "Previously Approved Project" or "Previous CEQA Documents."

Proposed Project: The proposed Project identified within the analysis of Environmental Impact Report No. 396, Addendum No. 3 (EIR396-A3) is the changes proposed to Plot Plan 24690 and Tentative Parcel Map 36293 consisting of the following applications:

Project Applications:

Tentative Parcel Map No. 36293, Minor Change No. 1 (Case No. PM36293M1)

Proposes to remove three (3) founders lots and reconfigure 35 lots along with street and open space lots within the eight (8) acre unrecorded portion of the previously approved Tentative Parcel Map No. 36293 (Schedule E).

Plot Plan No. 24690, Revised Permit No. 1 (Case No. PP24690R1)

Proposes to remove the requirement for water quality swales shown on the approved Plot Plan 24690 and instead allow all runoff for the 100-year storm to be retained on-site within retention basins located throughout the project site; remove the requirement for sidewalks from the interior streets; modify the off-site open channel by reconfiguring the daylight channel; modify race track grading by elevating the track; require all sewers within project boundaries to be private per agreement with the Coachella Valley Water District; modify previous registration building to become a member's private garage; relocate irrigation reservoir from off-site to the western portion of the project site with the addition of an aviary screen; and, design modifications to the previously approved member's private garages which consists of a revised Design Manual. The revised plot plan also proposes up to seven (7) construction phases. The business, commercial, and industrial land use categories will comprise 24.45, 31.06, and 330.85 acres, respectively. Commercial areas will serve the Project as well as neighboring communities. Business and industrial uses will be oriented toward the Jacqueline Cochran Regional Airport as well as larger regional markets, and are intended to provide employment opportunities to project area residents

B. Type of Project: Site Specific ; Countywide ; Community ; Policy .

C. Total Project Area: 330 Acres

Residential Acres: n/a	Lots: n/a	Units: n/a	Projected No. of Residents: n/a
Commercial Acres: 3	Lots: n/a	Sq. Ft. of Bldg. ¹ : 18,295	Est. No. of Employees ² : 37
Industrial Acres: 327	Lots: n/a	Sq. Ft. of Bldg. ³ : 6,409,854	Est. No. of Employees ⁴ : 4,273
Other: n/a			

1. Based upon Floor Area Ratio identified in EIR 396, Addendum No. 2, p. 22 / Based on 0.14 FAR
2. Source: Riverside County General Plan Appendix E: Socioeconomic Buildout Projection Assumptions & Methodology
Assumes 1 employee per 500 square feet
3. Based upon Floor Area Ratio identified in EIR 396, Addendum No. 2, p. 22 / Based on 0.45 FAR
4. Source: Riverside County General Plan Appendix E: Socioeconomic Buildout Projection Assumptions & Methodology
Assumes 1 employee per 1,500 square feet

D. Assessor's Parcel No(s): 759-180-004 through 759-180-006; 759-180-008; 759-180-011 through 759-180-014; 759-190-011 through 759-190-014; 759-200-001 through 759-200-018; 759-210-001 through 759-210-028; 759-220-001 through 759-220-031; 759-230-001 through 759-230-019; 759-240-001 through 759-240-018; 759-250-001 through 759-250-038; 759-260-001 through 759-260-038; and 759-270-001 through 759-270-027.

E. Street References: The Project is located on the northwest corner of Avenue 62 and Polk Street bound by Avenue 60 to the north and Tyler Street to the west.

F. Section, Township & Range Description or reference/attach a Legal Description:
Section 33, Township 6 South, Range 8 East, San Bernardino Baseline and Meridian

G. Brief description of the existing environmental setting of the project site and its surroundings: The Project site has been graded with the southern portion of the track constructed. The sound wall for private member garages has been constructed for trackside units.

II. APPLICABLE GENERAL PLAN AND ZONING REGULATIONS

A. General Plan Elements/Policies:

1. **Land Use:** The Project site is designated Heavy Industrial (HI), Commercial Office (CO), Commercial Retail (CR), Very High Density Residential (VHDR), and Open Space – Conservation (OS-C). No land use changes are proposed. The following policies are applicable:

ECVAP 9.1 Conserve and protect watersheds and water supply through adherence to policies contained in the Open Space, Habitat and Natural Resource Preservation and Land Use Designation Policies sections found in the General Plan Land Use Element, and the Water Resources section of the General Plan Multipurpose Open Space Element.

2. **Circulation:** No circulation changes are proposed. No policies applicable.

3. **Multipurpose Open Space:** The proposed Project is not expected to conflict with areas identified for conservation, preservation, or reservation within the Multipurpose Open Space Element. The Project is located within the boundaries of the Coachella Valley Multi Species Habitat Conservation Plan (CVMSHCP) but is not located within any CVMSHCP conservation area. The following policies are applicable:

ECVAP 15.1 Protect visual and biological resources in the Eastern Coachella Valley Area Plan through adherence to General Plan policies found in the Fish and Wildlife Habitat section of the Multipurpose Open Space Element as well as policies contained in the Coachella Valley Multiple Species Habitat Conservation Plan, upon its adoption.

4. **Safety:** The proposed Project site is not located within a Fault Zone but is within a ground shaking zone, an active subsidence zone and has a high potential for liquefaction. In addition, it is located within the Jacqueline Cochran Regional Airport Influence Policy Area. The proposed Project is not located within a 100-year flood plain, dam inundation area or area drainage plan. The proposed Project is located in an area considered to be at very low susceptibility for wildfire. The land uses proposed by the Project do allow for future structures that will be occupied by humans. Those structures will be required to comply with the following policies:

S 5.1 Develop and enforce construction and design standards that ensure that proposed development incorporates fire prevention features through the following:

- a. *All proposed construction shall meet minimum standards for safety as defined in the County Building or Fire Codes, or by County zoning, or as dictated by the Building Official or the Transportation Land Management Agency based on building type, design, occupancy, and use.*

b. In addition to the standards and guidelines of the Uniform Building Code and Fire Code fire safety provisions, continue additional standards for high-risk, high occupancy, dependent, and essential facilities where appropriate under the Riverside County Fire Protection Ordinance. These shall include assurance that structural and nonstructural architectural elements of the building will not:

- impede emergency egress for fire safety staffing/personnel, equipment, and ; nor
- hinder evacuation from fire, including potential blockage stairways or fire doors.

c. Proposed development in Hazardous Fire areas shall provide secondary public access, unless determined otherwise by the County Fire Chief.

d. Proposed development in Hazardous Fire areas shall use single-loaded roads to enhance fuel modification areas, unless otherwise determined by the County Fire Chief.

ECVAP 19.1 Protect life and property from seismic-related incidents through adherence to the Seismic Hazards section of the General Plan Safety Element.

There are no known hazardous waste sites in the area but the industrial uses proposed within the project site and sites within the project vicinity that handle hazardous materials will be required to comply with Policy S 6.1 which states the following:

S 6.1 Enforce the policies and siting criteria and implement the programs identified in the County of Riverside Hazardous Waste Management plan, which includes the following: (AI 98)

a. *Comply with federal and state laws pertaining to the management of hazardous wastes and materials.*

b. *Ensure active public participation in hazardous waste and hazardous materials management decisions in Riverside County.*

c. *Coordinate hazardous waste facility responsibilities on a regional basis through the Southern California Hazardous Waste Management Authority (SCHWMA).*

d. *Encourage and promote the programs, practices, and recommendations contained in the County Hazardous Waste Management Plan, giving the highest waste management priority to the reduction of hazardous waste at its source.*

As the Project lies directly south of the Jacqueline Cochran Regional Airport, it is within the influence area. The Project complies with the following ECVAP policy:

ECVAP 3.1 To provide for the orderly development of Desert Resorts Regional Airport and Chiriaco Summit Airport and the surrounding area, comply with the Airport Land Use Compatibility Plan for Desert Resorts Regional Airport and Chiriaco Summit Airport as fully set forth in Appendix L and as summarized in Table 4, as well as any applicable policies related to airports in the Land Use, Circulation, Safety and Noise Elements of the Riverside County General Plan.

5. Noise: Noise will be generated during the construction of the Project; however, construction hours will be limited through adherence to General Plan policies N 12.1, N 12.2, and N 12.4, which state:

N 12.1 Minimize the impacts of construction noise on adjacent uses within acceptable practices.

N 12.2 Ensure that construction activities are regulated to establish hours of operation in order to prevent and/or mitigate the generation of excessive or adverse noise impacts on surrounding areas.

N 12.4 Require that all construction equipment utilizes noise reduction features (e.g., mufflers and engine shrouds) that are no less effective than those originally installed by the manufacturer.

On-site noise generated by the proposed Project will be limited through adherence to General Plan Policy N 4.1, which states:

N 4.1 Prohibit facility-related noise, received by any sensitive use, from exceeding the following worst-case noise levels: (AI 105)

a. 45 dBA-10-minute L_{eq} between 10:00 p.m. and 7:00 a.m.

b. 65 dBA-10-minute L_{eq} between 7:00 a.m. and 10:00 p.m.

- 6. Housing:** Implementation of the proposed Project does not entail the displacement of significant numbers of existing housing nor does it create a need for new housing; thus, the proposed Project will not conflict with General Plan Housing Element policies.
- 7. Air Quality:** The proposed Project includes site preparation and construction-related activities. The Project will comply with all applicable regulatory requirements to control fugitive dust during construction and grading activities and is thus, consistent with General Plan policy AQ 4.9, which states:

AQ 4.9 Require compliance with SCAQMD Rules 403 and 403.1 and support appropriate future measures to reduce fugitive dust emanating from construction sites.

Implementation of the proposed Project will not conflict with policies in the General Plan Air Quality Element.

B. General Plan Area Plan(s): Eastern Coachella Valley Area Plan

C. Foundation Component(s): Community Development

D. Land Use Designation(s): Heavy Industrial (HI), Commercial Office (CO), Commercial Retail (CR), Very High Density Residential (VHDR), and Open Space – Conservation (OS-C).

E. Overlay(s), if any: N/A

F. Policy Area(s), if any: N/A

G. Adjacent and Surrounding:

1. Area Plan(s): Eastern Coachella Valley Area Plan

2. Foundation Component(s): Community Development and Agriculture

3. Land Use Designation(s): Agriculture, Open Space – Conservation (OS-C), Very High Density Residential (VHDR), Commercial Retail (CR), and Medium High Density Residential (MHDR)

4. Overlay(s), if any: Community Development Overlay

5. Policy Area(s), if any: Vista Santa Rosa Policy Area

Adopted Specific Plan Information

1. Name and Number of Specific Plan, if any: SP 303A2

2. Specific Plan Planning Area, and Policies, if any: E-1, E-2, E-3, E-4 and portions of A-6, A-7, and A-8.

H. Existing Zoning: S-P

I. Proposed Zoning, if any: N/A

J. Adjacent and Surrounding Zoning: M-H, S-P, A-2-10, and A-1-10

III. ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED

The environmental factors checked below (x) would be potentially affected by this project, involving at least one impact that is a "Potentially Significant Impact" or "Less than Significant with Mitigation Incorporated" as indicated by the checklist on the following pages.

- | | | |
|---|---|---|
| <input type="checkbox"/> Aesthetics | <input type="checkbox"/> Hazards & Hazardous Materials | <input type="checkbox"/> Recreation |
| <input type="checkbox"/> Agriculture & Forest Resources | <input checked="" type="checkbox"/> Hydrology / Water Quality | <input type="checkbox"/> Transportation / Traffic |
| <input type="checkbox"/> Air Quality | <input type="checkbox"/> Land Use / Planning | <input checked="" type="checkbox"/> Utilities / Service Systems |
| <input type="checkbox"/> Biological Resources | <input type="checkbox"/> Mineral Resources | <input checked="" type="checkbox"/> Other: Floodplains |
| <input type="checkbox"/> Cultural Resources | <input type="checkbox"/> Noise | <input type="checkbox"/> Other: |
| <input type="checkbox"/> Geology / Soils | <input type="checkbox"/> Population / Housing | <input type="checkbox"/> Mandatory Findings of Significance |
| <input type="checkbox"/> Greenhouse Gas Emissions | <input type="checkbox"/> Public Services | |

IV. DETERMINATION

On the basis of this initial evaluation:

A PREVIOUS ENVIRONMENTAL IMPACT REPORT/NEGATIVE DECLARATION WAS NOT PREPARED

I find that the proposed project **COULD NOT** have a significant effect on the environment, and a **NEGATIVE DECLARATION** will be prepared.

I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because revisions in the project, described in this document, have been made or agreed to by the project proponent. **A MITIGATED NEGATIVE DECLARATION** will be prepared.

I find that the proposed project **MAY** have a significant effect on the environment, and an **ENVIRONMENTAL IMPACT REPORT** is required.

A PREVIOUS ENVIRONMENTAL IMPACT REPORT/NEGATIVE DECLARATION WAS PREPARED

I find that although the proposed project could have a significant effect on the environment, **NO NEW ENVIRONMENTAL DOCUMENTATION IS REQUIRED** because (a) all potentially significant effects of the proposed project have been adequately analyzed in an earlier EIR or Negative Declaration pursuant to applicable legal standards, (b) all potentially significant effects of the proposed project have been avoided or mitigated pursuant to that earlier EIR or Negative Declaration, (c) the proposed project will not result in any new significant environmental effects not identified in the earlier EIR or Negative Declaration, (d) the proposed project will not substantially increase the severity of the environmental effects identified in the earlier EIR or Negative Declaration, (e) no considerably different

mitigation measures have been identified and (f) no mitigation measures found infeasible have become feasible.

I find that although all potentially significant effects have been adequately analyzed in an earlier EIR or Negative Declaration pursuant to applicable legal standards, some changes or additions are necessary but none of the conditions described in California Code of Regulations, Section 15162 exist. An **ADDENDUM** to a previously-certified EIR or Negative Declaration has been prepared and will be considered by the approving body or bodies.

I find that at least one of the conditions described in California Code of Regulations, Section 15162 exist, but I further find that only minor additions or changes are necessary to make the previous EIR adequately apply to the project in the changed situation; therefore a **SUPPLEMENT TO THE ENVIRONMENTAL IMPACT REPORT** is required that need only contain the information necessary to make the previous EIR adequate for the project as revised.

I find that at least one of the following conditions described in California Code of Regulations, Section 15162, exist and a **SUBSEQUENT ENVIRONMENTAL IMPACT REPORT** is required: (1) Substantial changes are proposed in the project which will require major revisions of the previous EIR or negative declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; (2) Substantial changes have occurred with respect to the circumstances under which the project is undertaken which will require major revisions of the previous EIR or negative declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; or (3) New information of substantial importance, which was not known and could not have been known with the exercise of reasonable diligence at the time the previous EIR was certified as complete or the negative declaration was adopted, shows any the following: (A) The project will have one or more significant effects not discussed in the previous EIR or negative declaration; (B) Significant effects previously examined will be substantially more severe than shown in the previous EIR or negative declaration; (C) Mitigation measures or alternatives previously found not to be feasible would in fact be feasible, and would substantially reduce one or more significant effects of the project, but the project proponents decline to adopt the mitigation measures or alternatives; or, (D) Mitigation measures or alternatives which are considerably different from those analyzed in the previous EIR or negative declaration would substantially reduce one or more significant effects of the project on the environment, but the project proponents decline to adopt the mitigation measures or alternatives.

Ken Baez Principal Planner
Signature *for*

March 20, 2014

Date

Jay Olivas, Project Planner

For Juan C. Perez, Interim Planning
Director

Printed Name

V. ENVIRONMENTAL ISSUES ASSESSMENT

In accordance with the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000-21178.1), this Initial Study has been prepared to analyze the proposed project to determine any potential significant impacts upon the environment that would result from construction and implementation of the project. In accordance with California Code of Regulations, Section 15063, this Initial Study is a preliminary analysis prepared by the Lead Agency, the County of Riverside, in consultation with other jurisdictional agencies, to determine whether a Negative Declaration, Mitigated Negative Declaration, or an Environmental Impact Report is required for the proposed project. The purpose of this Initial Study is to inform the decision-makers, affected agencies, and the public of potential environmental impacts associated with the implementation of the proposed project.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
AESTHETICS Would the project				
1. Scenic Resources				
a) Have a substantial effect upon a scenic highway corridor within which it is located?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings and unique or landmark features; obstruct any prominent scenic vista or view open to the public; or result in the creation of an aesthetically offensive site open to public view?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure C-9 "Scenic Highways"

Findings of Fact:

a) This issue is not affected by the proposed Project. Thus, the proposed Project's potential impacts related to this issue are no different from those analyzed in the previous CEQA documents. Therefore, no new or substantially increased impacts result from the proposed Project beyond those addressed by the prior CEQA documents.

b) The proposed Project will be designed in accordance with applicable criteria of the Kohl Ranch Specific Plan Planning Standards and Design Guidelines, as well the Thermal Club Design Manual as it relates to the proposed Project. The proposed Project will still require implementation of mitigation measure C13-1. Thus, the proposed Project's potential impacts related to this issue are no different that those analyzed in the previous CEQA documents with implementation of this mitigation. Therefore, no new or substantially increased impacts result from the proposed Project beyond those addressed by the prior CEQA documents.

Mitigation:

Mitigation Measures specific to the proposed Project pertaining to Item 1b:

C13-1: All future development projects in the Kohl Ranch Specific Plan project area shall be designed in accordance will all applicable criteria in the Planning Standards and Design Guidelines in the Kohl Ranch Specific Plan.

Monitoring:

Monitoring for all mitigation measures remains as identified in Environmental Impact Report No. 396, Addendum No. 2 (EIR396-A2).

2. Mt. Palomar Observatory

a) Interfere with the nighttime use of the Mt. Palomar Observatory, as protected through Riverside County Ordinance No. 655?

Source: GIS database, Ord. No. 655 (Regulating Light Pollution)

Findings of Fact:

a) This issue is not affected by the proposed Project. Thus, the proposed Project's potential impacts related to this issue are no different from those analyzed in the previous CEQA documents. Therefore, no new or substantially increased impacts result from the proposed Project beyond those addressed by the prior CEQA documents.

Mitigation:

All mitigation measures related to this issue that were identified within EIR396-A2 remain in effect as they are not affected by the proposed Project.

Monitoring:

Monitoring for all mitigation measures remains as identified in EIR396-A2.

3. Other Lighting Issues

a) Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?

b) Expose residential property to unacceptable light levels?

Source: On-site Inspection, Project Application Description

Findings of Fact:

a-b) These issues are not affected by the proposed Project. Thus, the proposed Project's potential impacts related to these issues are no different from those analyzed in the previous CEQA documents. Therefore, no new or substantially increased impacts result from the proposed Project beyond those addressed by the prior CEQA documents.

Mitigation:

All mitigation measures related to this issue that were identified within EIR396-A2 remain in effect as they are not affected by the proposed Project.

Monitoring:

Monitoring for all mitigation measures remains as identified in EIR396-A2.

AGRICULTURE & FOREST RESOURCES Would the project

4. Agriculture

a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland) as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
b) Conflict with existing agricultural zoning, agricultural use or with land subject to a Williamson Act contract or land within a Riverside County Agricultural Preserve?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Cause development of non-agricultural uses within 300 feet of agriculturally zoned property (Ordinance No. 625 "Right-to-Farm")?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure OS-2 "Agricultural Resources," GIS database, and Project Application Materials.

Findings of Fact:

a-d) These issues are not affected by the proposed Project. Thus, the proposed Project's potential impacts related to these issues are no different from those analyzed in the previous CEQA documents. Therefore, no new or substantially increased impacts result from the proposed Project beyond those addressed by the prior CEQA documents.

Mitigation:

All mitigation measures related to this issue that were identified within EIR396-A2 remain in effect as they are not affected by the proposed Project.

Monitoring:

Monitoring for all mitigation measures remains as identified in EIR396-A2.

5. Forest

a) Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code section 12220(g)), timberland (as defined by Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Govt. Code section 51104(g))?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Result in the loss of forest land or conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure OS-3 "Parks, Forests and Recreation Areas," and Project Application Materials.

Findings of Fact:

a-c) These issues are not affected by the proposed Project. Thus, the proposed Project's potential impacts related to these issues are no different from those analyzed in the previous CEQA documents. Therefore, no new or substantially increased impacts result from the proposed Project beyond those addressed by the prior CEQA documents.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Mitigation:

All mitigation measures related to this issue that were identified within EIR396-A2 remain in effect as they are not affected by the proposed Project.

Monitoring:

Monitoring for all mitigation measures remains as identified in EIR396-A2.

AIR QUALITY Would the project

6. Air Quality Impacts

a) Conflict with or obstruct implementation of the applicable air quality plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Violate any air quality standard or contribute substantially to an existing or projected air quality violation?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Expose sensitive receptors which are located within 1 mile of the project site to project substantial point source emissions?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Involve the construction of a sensitive receptor located within one mile of an existing substantial point source emitter?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Create objectionable odors affecting a substantial number of people?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: SCAQMD CEQA Air Quality Handbook

Findings of Fact:

a-f) These issues are not affected by the proposed Project. Thus, the proposed Project's potential impacts related to these issues are no different than those analyzed in the previous CEQA documents. Therefore, no new or substantially increased impacts result from the proposed Project beyond those addressed by the prior CEQA documents.

Mitigation:

All mitigation measures related to this issue that were identified within EIR396-A2 remain in effect as they are not affected by the proposed Project.

Monitoring:

Monitoring for all mitigation measures remains as identified in EIR396-A2.

BIOLOGICAL RESOURCES Would the project

7. Wildlife & Vegetation

a) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Conservation Community Plan, or other approved local, regional, or state conservation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
b) Have a substantial adverse effect, either directly or through habitat modifications, on any endangered, or threatened species, as listed in Title 14 of the California Code of Regulations (Sections 670.2 or 670.5) or in Title 50, Code of Federal Regulations (Sections 17.11 or 17.12)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U. S. Wildlife Service?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations or by the California Department of Fish and Game or U. S. Fish and Wildlife Service?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g) Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: GIS database, WRCMSHCP and/or CVMSHCP, On-site Inspection

Findings of Fact:

a-g) These issues are not affected by the proposed Project. Thus, the proposed Project's potential impacts related to these issues are no different than those analyzed in the previous CEQA documents. Therefore, no new or substantially increased impacts result from the proposed Project beyond those addressed by the prior CEQA documents.

Mitigation:

All mitigation measures related to this issue that were identified within EIR396-A2 remain in effect as they are not affected by the proposed Project.

Monitoring:

Monitoring for all mitigation measures remains as identified in EIR396-A2.

CULTURAL RESOURCES Would the project

8. Historic Resources

a) Alter or destroy an historic site?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Cause a substantial adverse change in the significance of a historical resource as defined in California Code of Regulations, Section 15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Source: On-site Inspection, Project Application Materials

Findings of Fact:

a-b) These issues are not affected by the proposed Project. Thus, the proposed Project's potential impacts related to these issues are no different than those analyzed in the previous CEQA documents. Therefore, no new or substantially increased impacts result from the proposed Project beyond those addressed by the prior CEQA documents.

Mitigation:

All mitigation measures related to this issue that were identified within EIR396-A2 remain in effect as they are not affected by the proposed Project.

Monitoring:

Monitoring for all mitigation measures remains as identified in EIR396-A2.

9. Archaeological Resources

a) Alter or destroy an archaeological site.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Cause a substantial adverse change in the significance of an archaeological resource pursuant to California Code of Regulations, Section 15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Disturb any human remains, including those interred outside of formal cemeteries?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Restrict existing religious or sacred uses within the potential impact area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Project Application Materials

Findings of Fact:

a-b) These issues are not affected by the proposed Project. Thus, the proposed Project's potential impacts related to these issues are no different than those analyzed in the previous CEQA documents. Therefore, no new or substantially increased impacts result from the proposed Project beyond those addressed by the prior CEQA documents.

Mitigation:

All mitigation measures related to this issue that were identified within EIR396-A2 remain in effect as they are not affected by the proposed Project.

Monitoring:

Monitoring for all mitigation measures remains as identified in EIR396-A2.

10. Paleontological Resources

a) Directly or indirectly destroy a unique paleontological resource, or site, or unique geologic feature?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Source: Riverside County General Plan Figure OS-8 "Paleontological Sensitivity"

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Findings of Fact:

a) This issue is not affected by the proposed Project. Thus, the proposed Project's potential impacts related to this issue is no different than those analyzed in the previous CEQA documents. Therefore, no new or substantially increased impacts result from the proposed Project beyond those addressed by the prior CEQA documents.

Mitigation:

All mitigation measures related to this issue that were identified within EIR396-A2 remain in effect as they are not affected by the proposed Project.

Monitoring:

Monitoring for all mitigation measures remains as identified in EIR396-A2.

GEOLOGY AND SOILS Would the project

11. Alquist-Priolo Earthquake Fault Zone or County Fault Hazard Zones

a) Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death?

b) Be subject to rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault?

Source: Riverside County General Plan Figure S-2 "Earthquake Fault Study Zones," GIS database, Geologist Comments

Findings of Fact:

a-b) According to the Preliminary Geotechnical Investigation prepared by Southern California Soil & Testing, Inc. on November 17, 2010, the proposed Project's potential impacts related to these issues are no different than those analyzed in the previous CEQA documents. Therefore, no new or substantially increased impacts result from the proposed Project beyond those addressed by the prior CEQA documents.

Mitigation:

All mitigation measures related to this issue that were identified within EIR396-A2 remain in effect as they are not affected by the proposed Project.

Monitoring:

Monitoring for all mitigation measures remains as identified in EIR396-A2.

12. Liquefaction Potential Zone

a) Be subject to seismic-related ground failure, including liquefaction?

Source: Riverside County General Plan Figure S-3 "Generalized Liquefaction"

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Findings of Fact:

a) According to the Preliminary Geotechnical Investigation prepared by Southern California Soil & Testing, Inc. on November 17, 2010, the proposed Project's potential impacts related to this issue are no different than those analyzed in the previous CEQA documents. Therefore, no new or substantially increased impacts result from the proposed Project beyond those addressed by the prior CEQA documents.

Mitigation:

All mitigation measures related to this issue that were identified within EIR396-A2 remain in effect as they are not affected by the proposed Project.

Monitoring:

Monitoring for all mitigation measures remains as identified in EIR396-A2.

13. Ground-shaking Zone

a) Be subject to strong seismic ground shaking?

Source: Riverside County General Plan Figure S-4 "Earthquake-Induced Slope Instability Map," and Figures S-13 through S-21 (showing General Ground Shaking Risk)

Findings of Fact:

a) According to the Preliminary Geotechnical Investigation prepared by Southern California Soil & Testing, Inc. on November 17, 2010, the proposed Project's potential impacts related to this issue are no different than those analyzed in the previous CEQA documents. Therefore, no new or substantially increased impacts result from the proposed Project beyond those addressed by the prior CEQA documents.

Mitigation:

All mitigation measures related to this issue that were identified within EIR396-A2 remain in effect as they are not affected by the proposed Project.

Monitoring:

Monitoring for all mitigation measures remains as identified in EIR396-A2.

14. Landslide Risk

a) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, collapse, or rockfall hazards?

Source: On-site Inspection, Riverside County General Plan Figure S-5 "Regions Underlain by Steep Slope"

Findings of Fact:

a) According to the Preliminary Geotechnical Investigation prepared by Southern California Soil & Testing, Inc. on November 17, 2010, the proposed Project's potential impacts related to this issue are no different than those analyzed in the previous CEQA documents. Therefore, no new or

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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substantially increased impacts result from the proposed Project beyond those addressed by the prior CEQA documents.

Mitigation:

All mitigation measures related to this issue that were identified within EIR396-A2 remain in effect as they are not affected by the proposed Project.

Monitoring:

Monitoring for all mitigation measures remains as identified in EIR396-A2.

15. Ground Subsidence

a) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in ground subsidence?

Source: Riverside County General Plan Figure S-7 "Documented Subsidence Areas Map"

Findings of Fact:

a) According to the Preliminary Geotechnical Investigation prepared by Southern California Soil & Testing, Inc. on November 17, 2010, the proposed Project's potential impacts related to this issue are no different than those analyzed in the previous CEQA documents. Therefore, no new or substantially increased impacts result from the proposed Project beyond those addressed by the prior CEQA documents.

Mitigation:

All mitigation measures related to this issue that were identified within EIR396-A2 remain in effect as they are not affected by the proposed Project.

Monitoring:

Monitoring for all mitigation measures remains as identified in EIR396-A2.

16. Other Geologic Hazards

a) Be subject to geologic hazards, such as seiche, mudflow, or volcanic hazard?

Source: On-site Inspection, Project Application Materials

Findings of Fact:

a) The proposed Project's potential impacts related to this issue are no different than those analyzed in the previous CEQA documents. Therefore, no new or substantially increased impacts result from the proposed Project beyond those addressed by the prior CEQA documents.

Mitigation:

All mitigation measures related to this issue that were identified within EIR396-A2 remain in effect as they are not affected by the proposed Project.

Monitoring:

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Monitoring for all mitigation measures remains as identified in EIR396-A2.

17. Slopes

a) Change topography or ground surface relief features?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Create cut or fill slopes greater than 2:1 or higher than 10 feet?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Result in grading that affects or negates subsurface sewage disposal systems?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riv. Co. 800-Scale Slope Maps, Project Application Materials

Findings of Fact:

a-c) According to the County of Riverside Eastern Coachella Valley Area Plan's Figure 15-Steep Slope, the proposed Project is not located within an area of steep slopes. According to the Preliminary Geotechnical Investigation prepared by Southern California Soil & Testing, Inc. on November 17, 2010, the Thermal Motorsports facility would construct a berm up to 25-feet high in one portion of the track. Highest berm actually proposed for Project is 18 feet. However, no slopes would be greater than 2:1. The site is relatively flat. The same area within the same project boundary as discussed and analyzed in the prior CEQA documents would be graded. The proposed Project will still require implementation of mitigation measures C1-1 through C1-6 as identified below. The proposed Project's potential impacts related to these issues are no different than those analyzed in the previous CEQA documents with implementation of these mitigation measures. Therefore, no new or substantially increased impacts result from the proposed Project beyond those addressed by the prior CEQA documents.

Mitigation:

Mitigation Measures specific to the proposed Project pertaining to Items 17a through 17c:

C1-1: Grading activities shall be in conformance with the overall Conceptual Grading Plan, the Uniform Building Code, Chapter 70 and Riverside County Ordinance No. 457.

C1-2: Prior to development within any area of the Specific Plan, an overall Conceptual Grading Plan for the portion in process shall be submitted for Planning Department approval.

C1-3: Unless otherwise approved by the Riverside County, Building and Safety Department, all cut and fill slopes shall be constructed at inclinations of no steeper than two (2) horizontal feet to one (1) vertical foot.

C1-4: A grading permit shall be obtained from the Riverside County, as required by the County Grading Ordinance, prior to grading.

C1-5: Erosion control practices shall be implemented during grading activities.

C1-6: All projects proposing construction activities including: clearing, grading, or excavation that results in the disturbance of at least five acres total land area, or activity which is part of the larger common plan of development of five (5) acres or greater, shall obtain the appropriate NPDES

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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construction permit and pay the appropriate fees. All development within the specific plan boundaries shall be subject to future requirements adopted by the County to implement the NPDES program.

Monitoring:

Monitoring for all mitigation measures remains as identified in EIR396-A2.

18. Soils

a) Result in substantial soil erosion or the loss of topsoil?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Be located on expansive soil, as defined in Section 1802.3.2 of the California Building Code (2007), creating substantial risks to life or property?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Have soils incapable of adequately supporting use of septic tanks or alternative waste water disposal systems where sewers are not available for the disposal of waste water?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: U.S.D.A. Soil Conservation Service Soil Surveys, Project Application Materials, On-site Inspection

Findings of Fact:

a-b) The proposed Project's potential impacts related to these issues are no different than those analyzed in the previous CEQA documents. Therefore, no new or substantially increased impacts result from the proposed Project beyond those addressed by the prior CEQA documents.

Mitigation:

All mitigation measures related to this issue that were identified within EIR396-A2 remain in effect as they are not affected by the proposed Project.

Monitoring:

Monitoring for all mitigation measures remains as identified in EIR396-A2.

19. Erosion

a) Change deposition, siltation, or erosion that may modify the channel of a river or stream or the bed of a lake?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) Result in any increase in water erosion either on or off site?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Source: U.S.D.A. Soil Conservation Service Soil Surveys

Findings of Fact:

a-b) The proposed Project will occupy the same area with similar hydrology and drainage conditions as discussed and analyzed in the prior CEQA documents. The proposed Project will provide on-site retention basins in lieu of bioswales as was originally proposed allowing for 100 percent of flows to be captured on-site for infiltration. The proposed Project will still require implementation of mitigation measures C5-3 through C5-8.