

**SUBMITTAL TO THE BOARD OF SUPERVISORS
COUNTY OF RIVERSIDE, STATE OF CALIFORNIA**

615B



FROM: TLMA – Planning Department

SUBMITTAL DATE:
August 26, 2014

SUBJECT: TENTATIVE TRACT MAP NO. 35477 – Intent to Adopt a Mitigated Negative Declaration – Applicant: Tim Huyck – Engineer/Representative: Trans-Pacific Consultants - Third/Third Supervisorial District - Ramona Zoning District - San Jacinto Valley Area Plan: Community Development: Medium Density Residential (CD:MDR) (2-5 Dwelling Units Per Acre) and Very High Density Residential (CD:VHDR) (14-20 Dwelling Units Per Acre) Location: Northerly of Whittier Ave., southerly of Mayberry Ave., and westerly of Girard St. – 2.69 Gross Acres - Zoning: General Residential (R-3).

RECOMMENDED MOTION: That the Board of Supervisors:

RECEIVE AND FILE The Notice of Decision for the above referenced case acted on by the Planning Commission on July 16, 2014.

The Planning Department Recommended Approval; and,
THE PLANNING COMMISSION APPROVED BY A 5-0 VOTE:

(Continued on next page)

Juan C Perez
TLMA Agency Director/Interim
Planning Director

FINANCIAL DATA	Current Fiscal Year:	Next Fiscal Year:	Total Cost:	Ongoing Cost:	POLICY/CONSENT (per Exec. Office)
COST	\$	\$	\$	\$	Consent <input checked="" type="checkbox"/> Policy <input type="checkbox"/>
NET COUNTY COST	\$	\$	\$	\$	

SOURCE OF FUNDS: Deposit based funds

Budget Adjustment:

For Fiscal Year:

C.E.O. RECOMMENDATION:

APPROVE

BY:

County Executive Office Signature Alex Gann

MINUTES OF THE BOARD OF SUPERVISORS

On motion of Supervisor Stone, seconded by Supervisor Tavaglione and duly carried by unanimous vote, IT WAS ORDERED that the above matter of approval is received and filed as recommended.

Ayes: Jeffries, Tavaglione, Stone, Benoit and Ashley
Nays: None
Absent: None
Date: September 30, 2014
xc: Planning, Applicant

Kecia Harper-Ihem
Clerk of the Board
By:
Deputy

Prev. Agn. Ref.: _____ **District:** 3/3 **Agenda Number:** _____

1-2

Departmental Concurrence

- A-30
- Positions Added
- 4/5 Vote
- Change Order

SUBMITTAL TO THE BOARD OF SUPERVISORS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA
FORM 11: Tentative Tract Map No. 35477
DATE: August 26, 2014
PAGE: Page 2 of 2

ADOPTED the **MITIGATED NEGATIVE DECLARATION** for **ENVIRONMENTAL ASSESSMENT NO. 41303**, based on the findings incorporated in the initial study and the conclusion that the project will not have a significant effect on the environment;

APPROVED **TENTATIVE TRACT MAP NO. 35477**, subject to the attached conditions of approval, and based upon the findings and conclusions incorporated in the Planning Commission staff report.

BACKGROUND:

Tentative Tract Map No. 35477 proposes a Schedule "A" Subdivision for a 37 unit condominium complex on 2.69 gross acres. The proposal includes a 10,019 sq. ft. landscape area including two playgrounds, a 2,172 sq. ft. pool area, and a 5,725 sq. ft. of front yard area. Total development proposal includes, 28,152 sq. ft. of building footprint area, 18,740 sq. ft. of landscaping area (including pool), and 112 parking spaces. There currently exists one (1) residential structure of no historical significance.

The project site is located northerly of Whittier Avenue, southerly of Mayberry Ave., and westerly of Girard St.

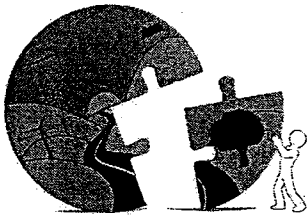
Tentative Tract No. 35477 was originally submitted to the Riverside County Planning Department on January 28, 2007. Since that time, there have been several iterations of the project with respect the density of the project. As proposed, the project has a 20% reduction in the number of units than originally proposed. The processing of the project has since resumed and changed over applicants as of January 30, 2013.

Impact on Citizens and Businesses

The impacts of this project have been evaluated through the environmental review and public hearing process by Planning staff and the Planning Commission.

ATTACHMENTS:

- A. **WASTE MANAGEMENT LETTER DATED JULY 28, 2014**
- B. **PUBLIC COMMENT LETTERS**
- C. **PLANNING COMMISSION STAFF REPORT**



RIVERSIDE COUNTY PLANNING DEPARTMENT

Juan C. Perez
Interim Planning Director

Original Negative Declaration/Notice of Determination was routed to County Clerks for posting on.

10/16/14 kcb

TO: Office of Planning and Research (OPR)
P.O. Box 3044
Sacramento, CA 95812-3044
 County of Riverside County Clerk

FROM: Riverside County Planning Department
 4080 Lemon Street, 12th Floor
P. O. Box 1409
Riverside, CA 92502-1409

38686 El Cerrito Road
Palm Desert, California 92211

SUBJECT: Filing of Notice of Determination in compliance with Section 21152 of the California Public Resources Code.

Environmental Assessment No. 41303 & Tentative Tract Map No. 35477

Project Title/Case Numbers

Lisa Edwards 951-955-1888
County Contact Person *Phone Number*

N/A
State Clearinghouse Number (if submitted to the State Clearinghouse)

G8 Development Inc. 7624 El Cajon Boulevard La Mesa, CA 91942
Project Applicant *Address*

Northerly of Whittier Avenue, Southerly of Mayberry Avenue, and Westerly of Girard Street
Project Location

The tentative map proposes a Schedule "A" Subdivision for a 37 unit condominium complex on 2.69 gross acres. The proposal includes a 10,019 sq. ft. landscape area including two playgrounds, a 2,172 sq. ft. pool area, and a 5,725 sq. ft. of front yard area. Total development proposal includes, 28,152 sq. ft. of building footprint area, 18,740 sq. ft. of landscaping area (including pool), and 112 parking spaces. There currently exists one (1) residential structure.
Project Description

This is to advise that the Riverside County Planning Commission, as the lead agency, has approved the above-referenced project on July 16, 2014, and has made the following determinations regarding that project:

1. The project WILL NOT have a significant effect on the environment.
2. A Mitigated Negative Declaration was prepared for the project pursuant to the provisions of the California Environmental Quality Act (\$2,181.25 + \$50.00) and reflect the independent judgment of the Lead Agency.
3. Mitigation measures WERE made a condition of the approval of the project.
4. A Mitigation Monitoring and Reporting Plan/Program WAS NOT adopted.
5. A statement of Overriding Considerations WAS NOT adopted for the project.
6. Findings were made pursuant to the provisions of CEQA.

This is to certify that the Mitigated Negative Declaration, with comments, responses, and record of project approval is available to the general public at: Riverside County Planning Department, 4080 Lemon Street, 12th Floor, Riverside, CA 92501.

[Signature] Board Assistant June 19, 2014
Signature *Title* *Date*

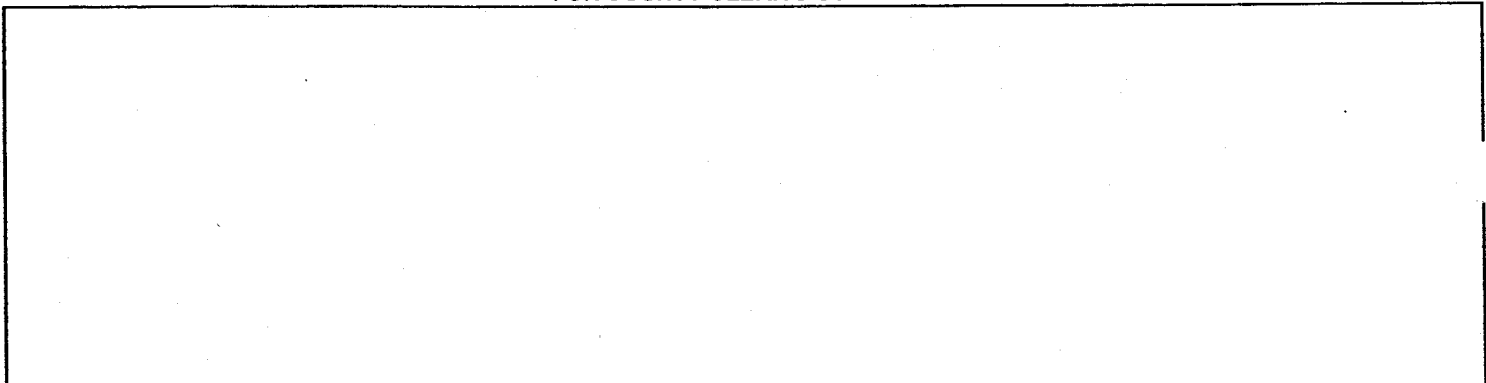
Date Received for Filing and Posting at OPR: _____

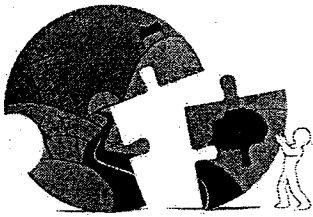
DM/dm Revised 6/19/2014
Y:\Planning Case Files-Riverside office\TR35477\DH-PC-BOS Hearings\PCNOD Form TR35477.docx

Please charge deposit fee case#: ZEA41303 ZCFG04678

SEP 30 2014 1-2

FOR COUNTY CLERK'S USE ONLY





RIVERSIDE COUNTY PLANNING DEPARTMENT

Juan C. Perez
Interim Planning Director

MITIGATED NEGATIVE DECLARATION

Project/Case Number: Environmental Assessment No. 41303 and Tentative Tract Map No. 35477

Based on the Initial Study, it has been determined that the proposed project, subject to the proposed mitigation measures, will not have a significant effect upon the environment.

PROJECT DESCRIPTION, LOCATION, AND MITIGATION MEASURES REQUIRED TO AVOID POTENTIALLY SIGNIFICANT EFFECTS. (see Environmental Assessment and Conditions of Approval)

COMPLETED/REVIEWED BY:

By: Lisa Edwards Title: Project Planner Date: June 19, 2014

Applicant/Project Sponsor: G8 Development Inc. Date Submitted: March 9, 2007

ADOPTED BY: Planning Commission

Person Verifying Adoption: *[Signature]* Date: 9/30/14

The Mitigated Negative Declaration may be examined, along with documents referenced in the initial study, if any, at:

Riverside County Planning Department 4080 Lemon Street, 12th Floor, Riverside, CA 92501

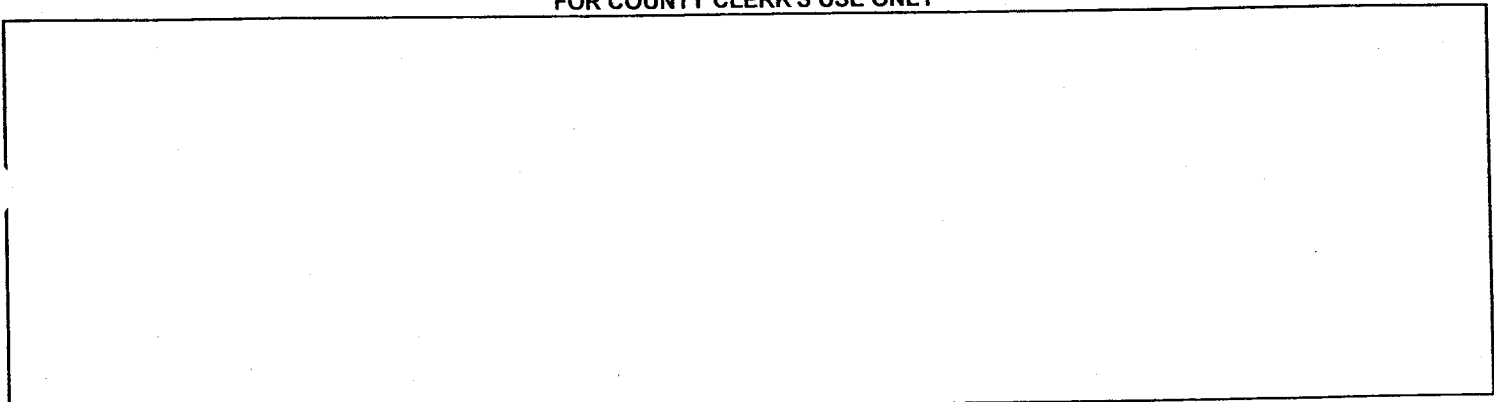
For additional information, please contact Lisa Edwards at 951-955-1888.

Y:\Planning Case Files-Riverside office\TR35477\DH-PC-BOS Hearings\PC\Mitigated Negative Declaration TR35477.docx

Please charge deposit fee case#: ZEA41303 ZCFG04678

FOR COUNTY CLERK'S USE ONLY

SEP 30 2014 1-2



COUNTY OF RIVERSIDE
SPECIALIZED DEPARTMENT RECEIPT
Permit Assistance Center

J* REPRINTED * T0702596

4080 Lemon Street
Second Floor
Riverside, CA 92502
(951) 955-3200

39493 Los Alamos Road
Suite A
Murrieta, CA 92563
(951) 694-5242

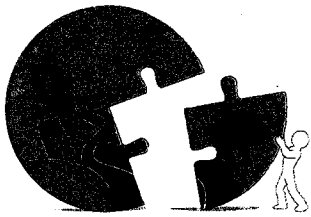
38686 El Cerrito Rd
Indio, CA 92211
(760) 863-8271

Received from: MIKE WATSON CAPITAL LLC \$64.00
paid by: CK 1452
CA FISH AND GAME FEE FOR EA41303
paid towards: CFG04678 CALIF FISH & GAME: DOC FEE
at parcel: 26405 GIRARD ST HEM
appl type: CFG3

By _____ Mar 09, 2007 16:39
WCHEN posting date Mar 09, 2007

Account Code	Description	Amount
658353120100208100	CF&G TRUST: RECORD FEES	\$64.00

Overpayments of less than \$5.00 will not be refunded!



RIVERSIDE COUNTY
PLANNING DEPARTMENT

Juan C. Perez
Interim Planning Director

615B

DATE: August 8, 2014

TO: Clerk of the Board of Supervisors

FROM: Planning Department - Riverside Office

SUBJECT: Tentative Tract Map No. 35477

(Charge your time to these case numbers)

The attached item(s) require the following action(s) by the Board of Supervisors:

- Place on Administrative Action (Receive & File; EOT)
 - Labels provided If Set For Hearing
 - 10 Day 20 Day 30 day
 - Place on Consent Calendar
 - Place on Policy Calendar (Resolutions; Ordinances; PNC)
 - Place on Section Initiation Proceeding (GPIP)
 - Set for Hearing (Legislative Action Required; CZ, GPA, SP, SPA)
 - Publish in Newspaper:
 - **SELECT Advertisement**
 - **SELECT CEQA Determination**
 - 10 Day 20 Day 30 day
 - Notify Property Owners (app/agencies/property owner labels provided)
- Controversial: YES NO

Designate Newspaper used by Planning Department for Notice of Hearing: NA

Documents to be sent to County Clerk's Office for Posting within five days:

NA

Do not send these documents to the County Clerk for posting until the Board has taken final action on the subject cases.

**3 Extra sets were taken to:
Clerk of the Board**

Riverside Office · 4080 Lemon Street, 12th Floor
P.O. Box 1409, Riverside, California 92502-1409
(951) 955-3200 · Fax (951) 955-1811

Desert Office · 77-588 Duna Court, Suite H
Palm Desert, California 92211
(760) 863-8277 · Fax (760) 863-7040

"Planning Our Future... Preserving Our Past"

MS

Agenda Item No.: 3.7
Area Plan: San Jacinto Valley
Zoning District: Ramona
Supervisorial District: Third/Third
Project Planner: Lisa Edwards
Planning Commission: July 16, 2014

TENTATIVE TRACT MAP NO. 35477
Environmental Assessment No. 41303
Applicant: G8 Development Inc.
Engineer/Representative: Chris Warburton

COUNTY OF RIVERSIDE PLANNING DEPARTMENT STAFF REPORT

PROJECT DESCRIPTION AND LOCATION:

TENTATIVE TRACT MAP NO. 35477: Schedule "A" Subdivision for a 37 unit condominium complex on 2.69 gross acres. The proposal includes a 10,019 sq. ft. landscape area including two playgrounds, a 2,172 sq. ft. pool area, and a 5,725 sq. ft. of front yard area. Total development proposal includes, 28,152 sq. ft. of building footprint area, 18,740 sq. ft. of landscaping area (including pool), and 112 parking spaces. There currently exists one (1) residential structure of no historical significance.

The project site is located northerly of Whittier Avenue, southerly of Mayberry Ave., and westerly of Girard St.

Tentative Tract No. 35477 was originally submitted to the Riverside County Planning Department on January 28, 2007. Since that time, there have been several iterations of the project with respect the density of the project. As proposed, the project has a 20% reduction in the number of units than originally proposed. The processing of the project has since resumed and changed over applicants as of January 30, 2013.

ISSUES OF POTENTIAL CONCERN:

Girard Street is identified on the County's General Plan as a Secondary access road with a right-of-way width requirement of 100 feet. Currently this project has been conditioned to improve sidewalk, curb, and gutter along Girard Street to meet the requirements for County public right-of-way standards for new residential development.

SUMMARY OF FINDINGS:

- | | |
|---------------------------------------|--|
| 1. Existing General Plan Land Use: | Community Development: Very High Density Residential (CD: VHDR) and Medium Density Residential (CD: MDR) |
| 2. Surrounding General Plan Land Use: | Community Development: Very High Density Residential (CD: VHDR), High Density Residential (CD:HDR), Medium Density Residential (CD: MDR) |
| 3. Existing Zoning: | General Residential (R-3) |
| 4. Surrounding Zoning: | General Residential (R-3), One-Family Dwelling (R-1) |
| 5. Existing Land Use: | Single-family residence |

6. Surrounding Land Use: Vacant to the south, multi-family to the east, and single-family residences to the west and north
7. Project Data: Total Acreage: 2.96 gross acres
Total Proposed Lots: 37 residential lots
Total Proposed Open Space Lots: 1
Total Open Space Acreage: .43 gross acres
Schedule: A
8. Environmental Concerns: See attached environmental assessment

RECOMMENDATIONS:

ADOPTION of a **MITIGATED NEGATIVE DECLARATION** for **ENVIRONMENTAL ASSESSMENT NO. 41303**, based on the findings incorporated in the initial study and the conclusion that the project will not have a significant effect on the environment;

APPROVAL of **TENTATIVE TRACT MAP NO. 35477**, subject to the attached conditions of approval, and based upon the findings and conclusions incorporated in the staff report.

FINDINGS: The following findings are in addition to those incorporated in the summary of findings and in the attached environmental assessment, which is incorporated herein by reference.

1. The site is comprised of two parcels that will be consolidated to create a 37-unit condominium subdivision. One parcel is currently vacant and the other parcel has an existing single-family home of non-historical significance.
2. Similar residential uses have been approved and/or constructed and are operating in the project vicinity.
3. The proposed use, 37-unit condominium subdivision, is consistent with the development standards set forth in the General Residential (R-3) zone.
4. The project site is surrounded by properties which are zoned General Residential (R-3) to the north, south, and west and One-Family Residential (R-1) to the east.
5. The project site is designated Community Development: Very High Density Residential (CD: VHDR) and Medium Density Residential (CD: MDR) in the San Jacinto Valley Area Plan.
6. The project site is surrounded by properties which are designated Community Development: Very High Density Residential (CD: VHDR) to the north, Community Development: High Density Residential (CD: HDR) to the south, and Community Development: Medium Density Residential (CD: MDR) the east and west.
7. The proposed use is consistent with the Very High Density and Medium Density Residential General Plan land use designations which allow for residential densities of 14-20 dwelling unit per acre (VHDR) and 2-5 dwelling units per acre (MDR).
8. The proposed residential Tentative Map with a minimum parcel size of 2.96 is permitted in the General Residential zone.

9. The portion of the site designated as Community Development: Medium Density Residential (CD: MDR) encompasses the access drive and the pool area and are consistent with land uses set forth in the General Plan.
10. Environmental Assessment No. 41303 identified the following potentially significant impacts:
 - a. Cultural Resources
 - b. Noise

These listed impacts will be fully mitigated by the measures indicated in the environmental assessment, conditions of approval, and attached agency letters. No other significant impacts were identified.

CONCLUSIONS:

1. The proposed project is in conformance with the Community Development: Very High Density Residential (CD: VHDR), Community Development: Medium Density Residential (CD: MDR), and with all other elements of the Riverside County General Plan.
2. The proposed project is consistent with the General Residential (R-3) zoning development standards and with all other applicable provisions of Ordinance No. 348, based on the approval of Change of Zone No. 7796.
3. The proposed project is consistent with the Schedule A map requirements of Ordinance No. 460, and with other applicable provisions of Ordinance No. 460.
4. The public's health, safety, and general welfare are protected through project design.
5. The proposed project is conditionally compatible with the present and future logical development of the area.
6. The proposed project will not have a significant effect on the environment.
7. The proposed project will not preclude reserve design for the Western Riverside County Multiple Species Habitat Conservation Plan (WRCMSHCP).

INFORMATIONAL ITEMS:

1. As of this writing, no letters, in support or opposition have been received.
2. The project site is not located within:
 - a. An Airport Influence Area;
 - b. A Fault Zone;
 - c. A Tribal Land;
 - d. An Agriculture Preserve;
 - e. A WRCMSHCP Criteria Cell;
 - f. A High Fire Area; or,
 - g. A 100-year flood plain, an area drainage plan, or dam inundation area.

3. The project site is located within:
 - a. The boundaries of the Hemet Unified School District;
 - b. The Lake Hemet Water District;
 - c. The City of Hemet sphere of influence;
 - d. The Stephens Kangaroo Rat Fee Area or Core Reserve Area; or,
 - e. Zone B Mt. Palomar Observatory Area.

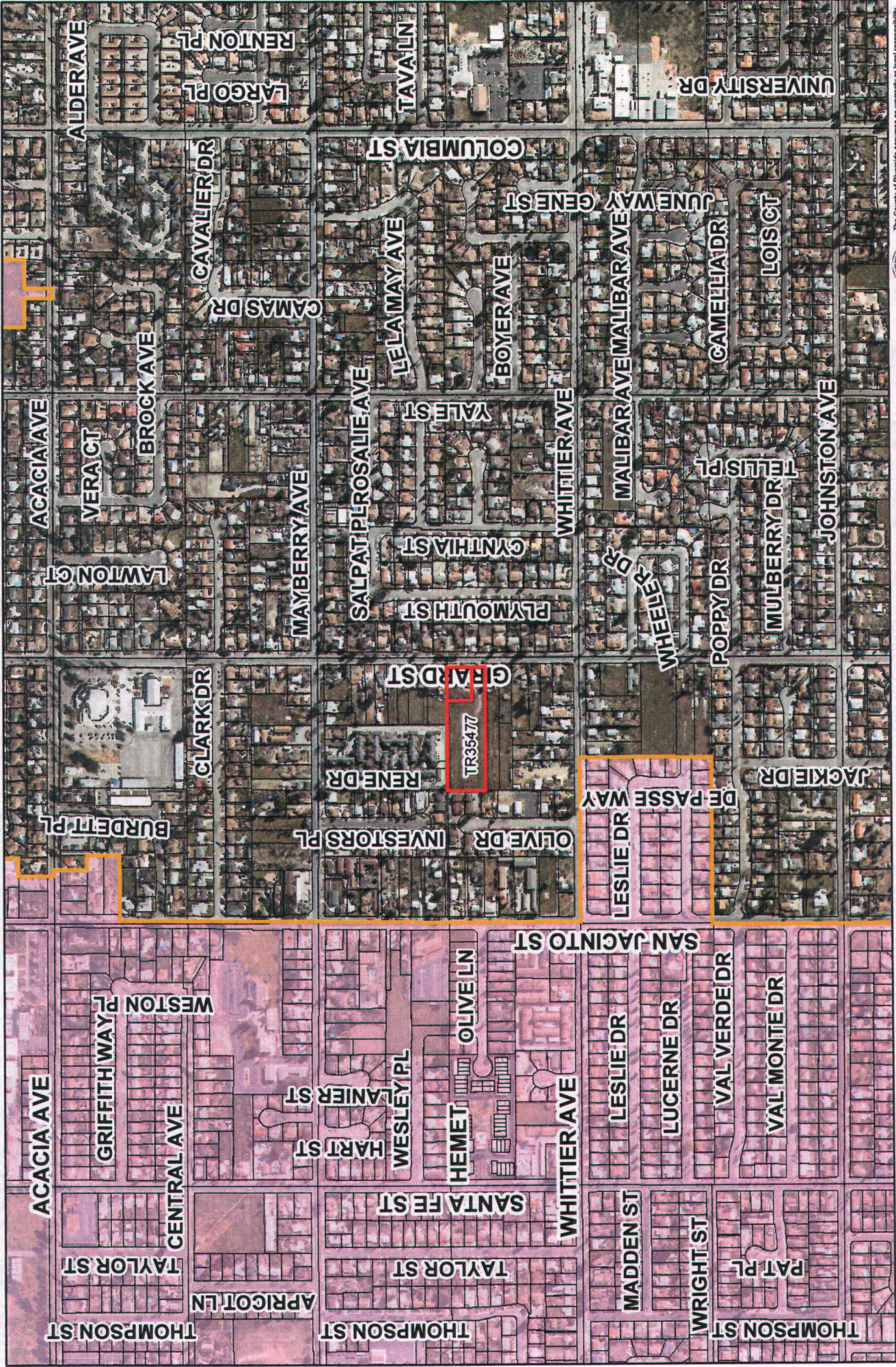
4. The subject site is currently designated as Assessor's Parcel Numbers 447-150-044 and 447-150-045

RIVERSIDE COUNTY PLANNING DEPARTMENT

TR35477

VICINITY MAP

Supervisor Stone
District 3



The County of Riverside assumes no warranty or legal responsibility for the information contained on this map. Data and information represented on this map is subject to updates, modifications and other sources should be queried for the most current information. Do not copy or reuse this map.



Feet Orthophotos Flown 2/11 (WR, CV) or 4/07 (REMAP, Blythe)
1,340 Printed by leftwards on 6/18/2014
0 335 670
1 inch = 667 feet

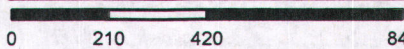
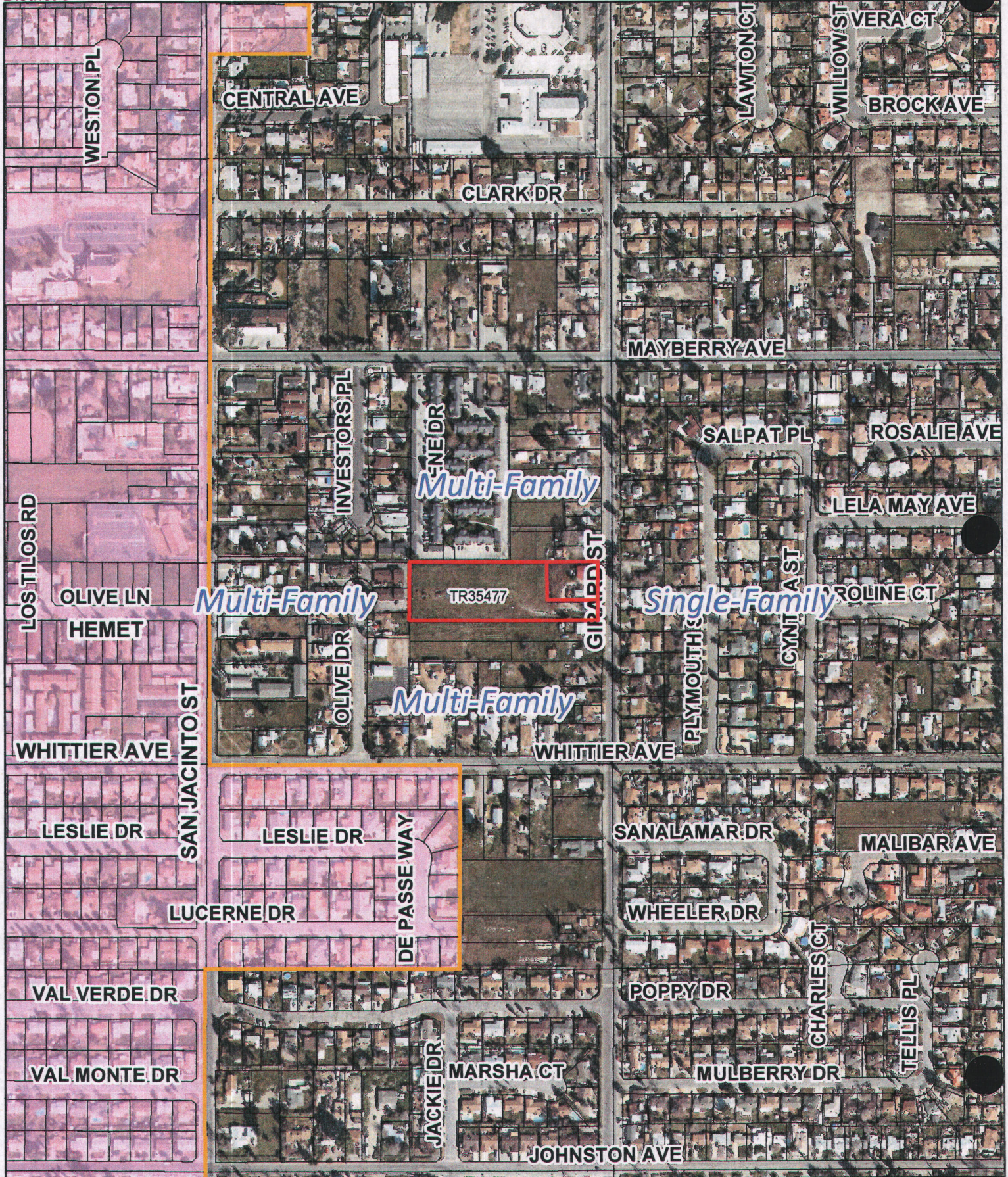
RIVERSIDE COUNTY PLANNING DEPARTMENT

TR35477

LAND USE

Supervisor Stone
District 3

N



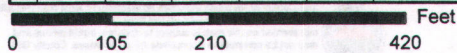
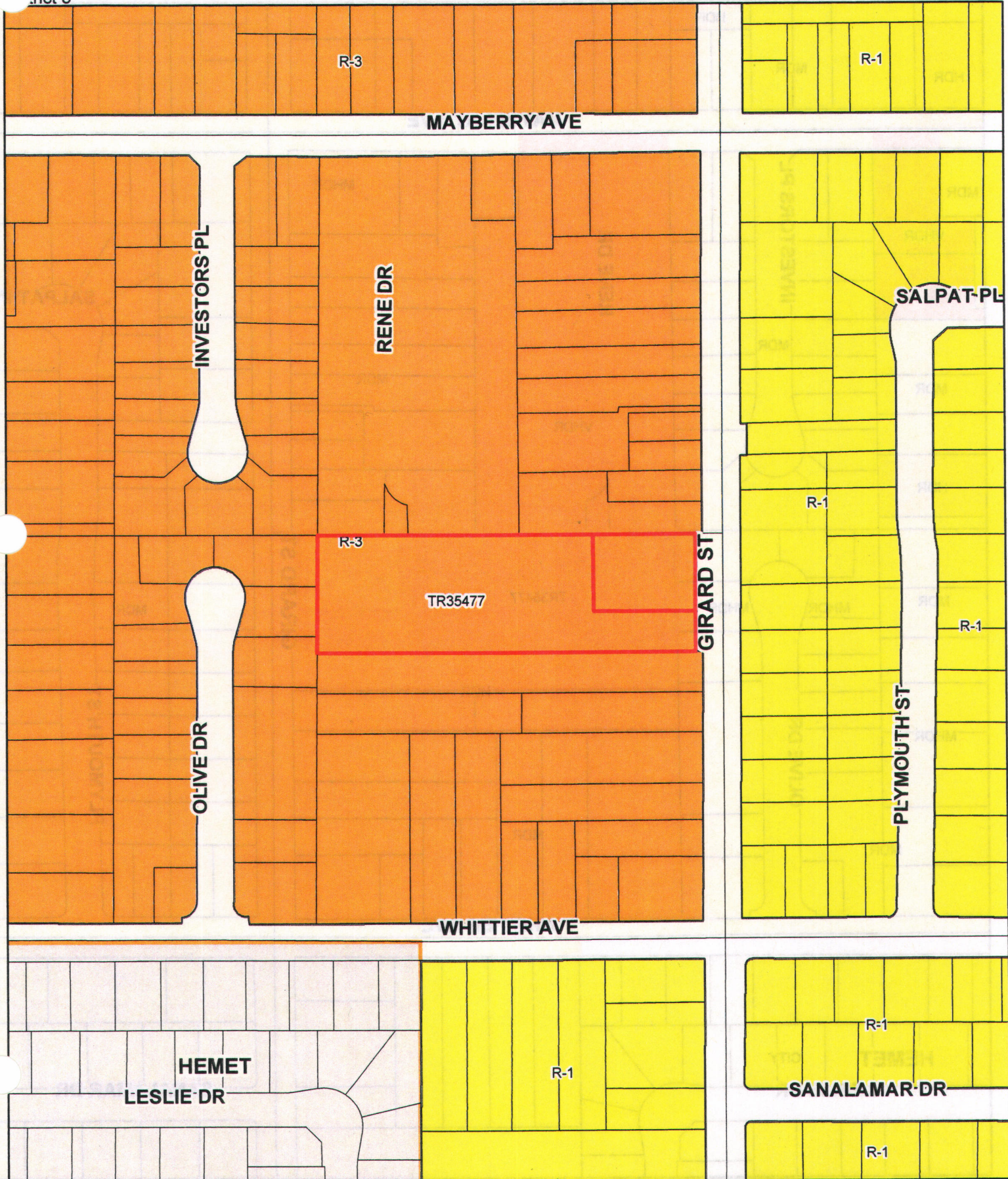
RIVERSIDE COUNTY PLANNING DEPARTMENT

TR35477

EXISTING ZONING



Supervisor Stone
District 3



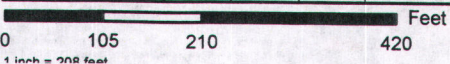
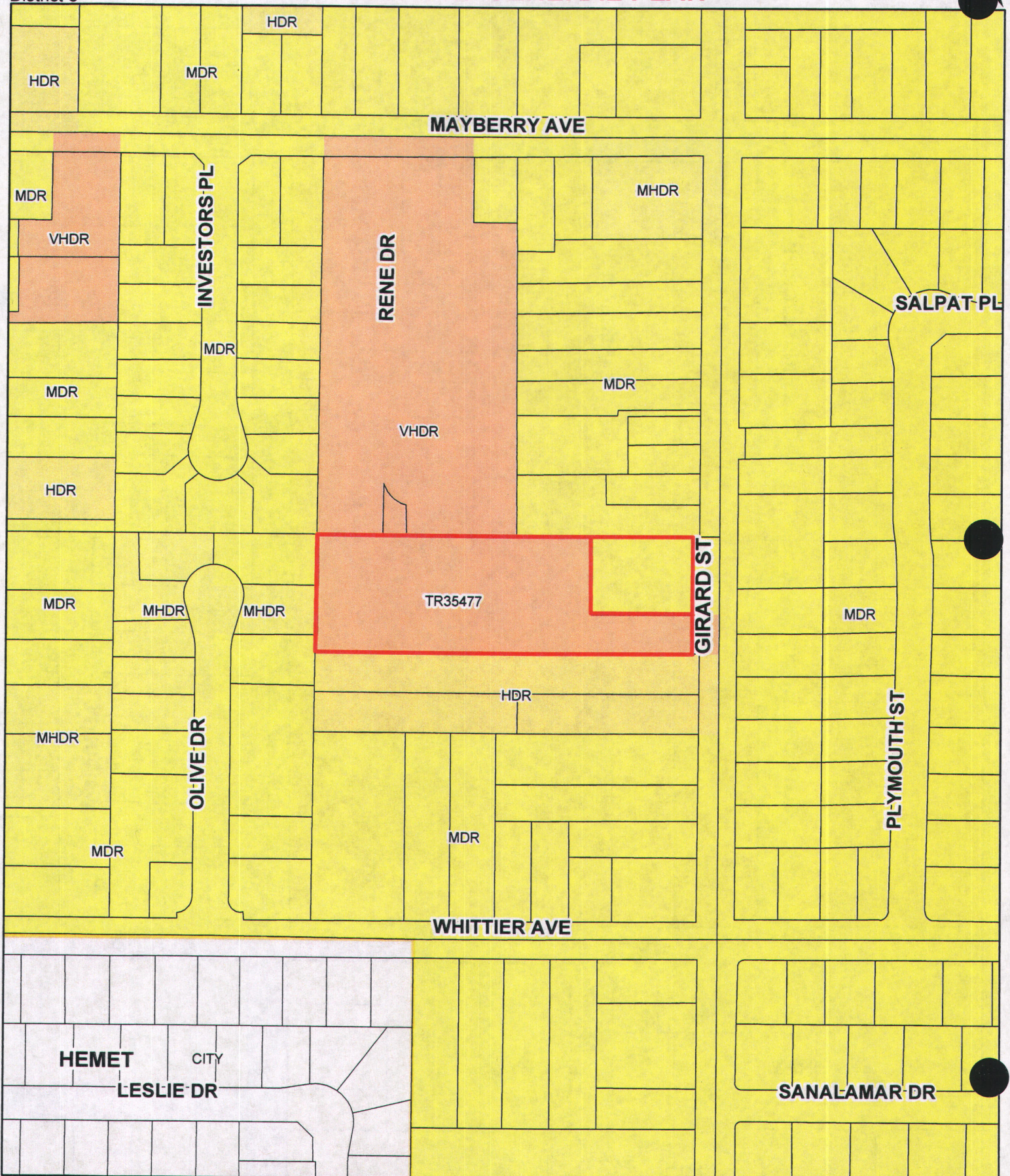
RIVERSIDE COUNTY PLANNING DEPARTMENT

TR35477

EXISTING GENERAL PLAN

Supervisor Stone
District 3

N



LEGAL DESCRIPTION
447-150-044-9 PARCEL 1 OF PM NO. 12464, IN THE ARE OF RIVERSIDE, ON FILE IN BOOK 68 PAGES 12-13, OF PARCEL MAPS. 447-150-045-9 PARCEL 1 OF PM NO. 12464, IN THE ARE OF RIVERSIDE, ON FILE IN BOOK 68 PAGES 12-13, OF PARCEL MAPS.

ASSESSOR PARCEL NUMBER
447-150-044 & 045

APPLICANT/TOWNER
G8 DEVELOPMENT INC.
458 CASI STREET
SAN DIEGO, CA 92108

PROJECT INFORMATION:
TOWNHOME CASI TRACT #41-C-1
PROPOSED USE: RESIDENTIAL
ZONING: R3 RESIDENTIAL
CONSTRUCTION: N/A
LOT 1 GROSS LOT AREA: 20,411 SQ. FT. (4.7 ACRE)
LOT 2 GROSS LOT AREA: 96,782 SQ. FT. (2.22 ACRE)
TOTAL GROSS LOT AREA: 117,193 SQ. FT.

EXISTING DESIGNATION IS AS FOLLOWS:
LOT 1: 447-150-044 IS ZONED AS R3 VHDR
LOT 2: 447-150-045 IS ZONED AS R3 MDR

FOOT PRINT OF BUILDING:
LOT 2 GROSS LOT AREA: 96,782 SQ. FT.
TOTAL FOOT PRINT AREA: 28,192 S.F.

LANDSCAPE:
LANDSCAPE AREA (Included playground): 10019 S.F.
POOL AREA: 2172 S.F.
FRONT YARD: 5725 S.F.

TOTAL AREA: 18,740 S.F.

MULTI-FAMILY CALCULATION TABLE PER ORDINANCE 348-PARKING FOR MULTI-FAMILY RESIDENTIAL DEVELOPMENT:
SINGLE BEDROOM OR STUDIO DWELLING UNIT: 1.25 SPACES/UNIT
TWO BEDROOM DWELLING UNIT: 2.25 SPACES/UNIT
THREE OR MORE BEDROOMS DWELLING UNIT: 2.75 SPACES/UNIT

COUNT	APPLICABLE	DESCRIPTION
3	PARKING SPACES PER UNIT (R3 MDR)	ADA
7	PARKING SPACES PER UNIT (R3 MDR)	ADA
38	PARKING SPACES PER UNIT (R3 MDR)	ADA
TOTAL		45

GRAND TOTAL: 34.75 SPACES (35 UNITS X 2 SPACES PER UNIT IN GARAGES) = 104 SPACES
TOTAL PARKING SPACES PER UNIT: 2.75 SPACES/UNIT
35 TOTAL UNITS X 2.75 SPACES PER UNIT = 96 SPACES REQUIRED - 104 SPACES PROVIDED

LOT 1 GROSS LOT AREA: 20,411 SQ. FT.
447-150-045 IS ZONED AS R3 MDR

TOTAL UNITS	2
4 BEDROOM	102 S.F. TOTAL OF 2

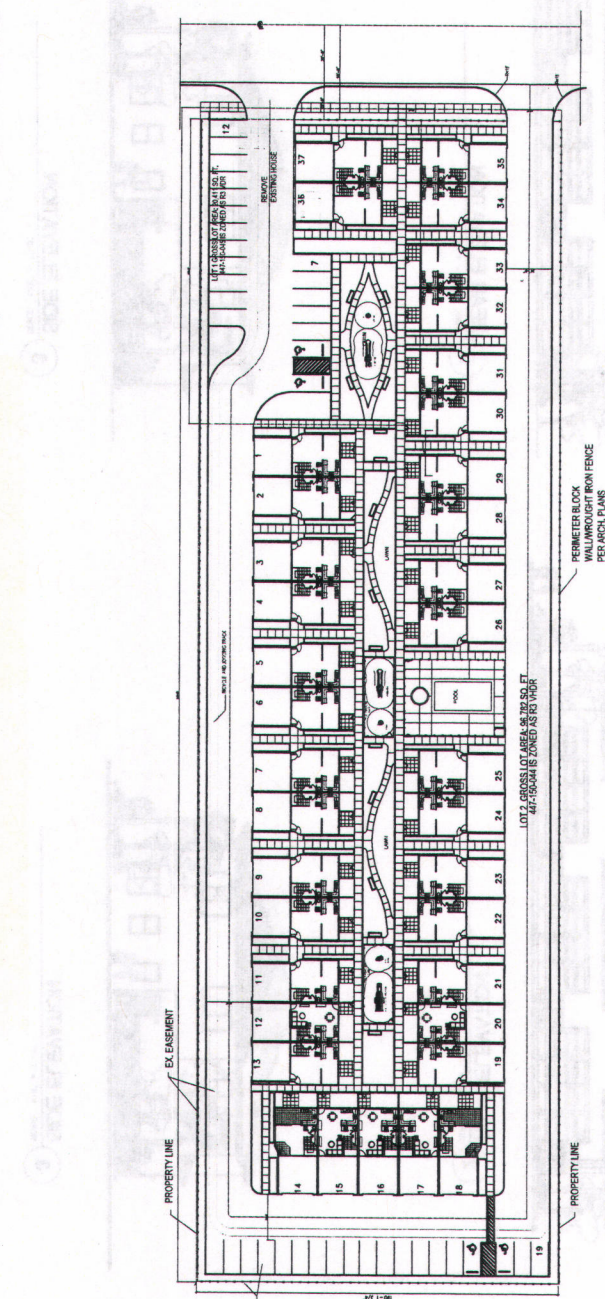
LOT 2 GROSS LOT AREA: 96,782 SQ. FT.
447-150-044 IS ZONED AS R3 VHDR

TOTAL UNITS	35
4 BEDROOM	102 S.F. TOTAL OF 5

TOTAL UNITS AT LOT 1 & 2: 37

PARKING @ LOT 2	
12 Car Spaces	12
33 Car Spaces	33
TOTAL PARKING	45

TOTAL PARKING AT LOT 1 & 2: 112



VICINITY MAP NO SCALE

CASE #: TR35477
EXHIBIT: A
DATED: 9/3/2012
PLANNER: L. EDWARDS

Issue Date:	06/09/2013
Revisions:	
Drawn By/Checked:	
Consultant:	
Project Number:	103
Date:	09-03-2012

GIRARD TOWNHOME

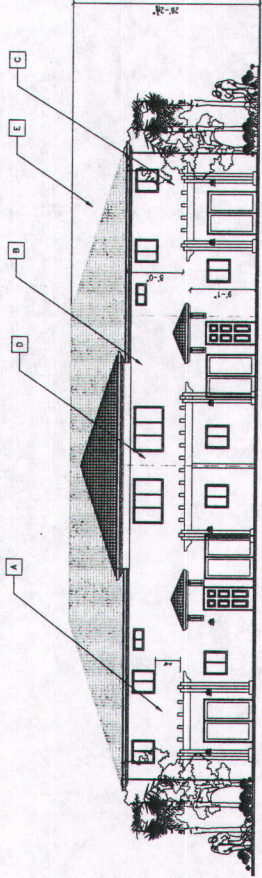
26399 GIRARD STREET
HEMET CA. 92545



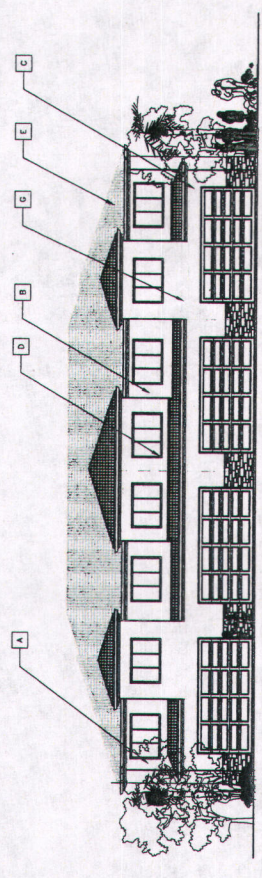
Sheet Title:
ELEVATIONS

Sheet Number:
A-05

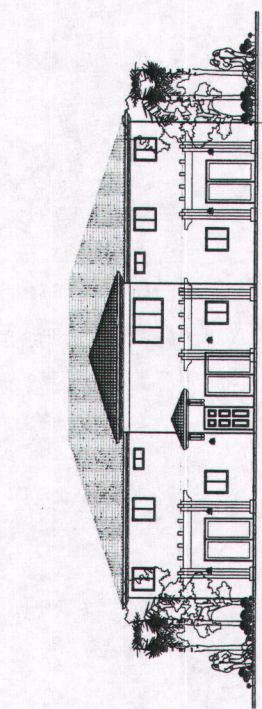
DATE: 9/3/2012



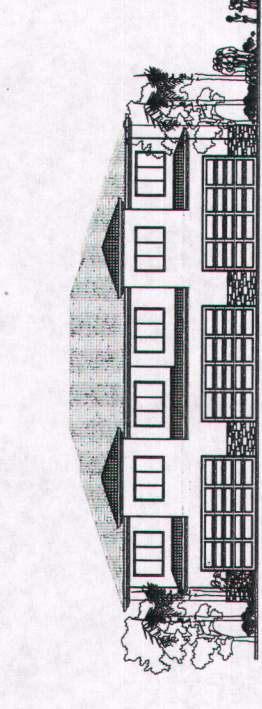
1 FRONT ELEVATION (4 UNITS)
SCALE: 1/8" = 1'-0"



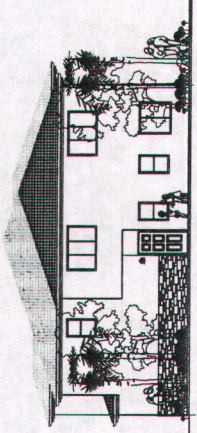
2 REAR ELEVATION
SCALE: 1/8" = 1'-0"



1 FRONT ELEVATION (3 UNITS)
SCALE: 1/8" = 1'-0"



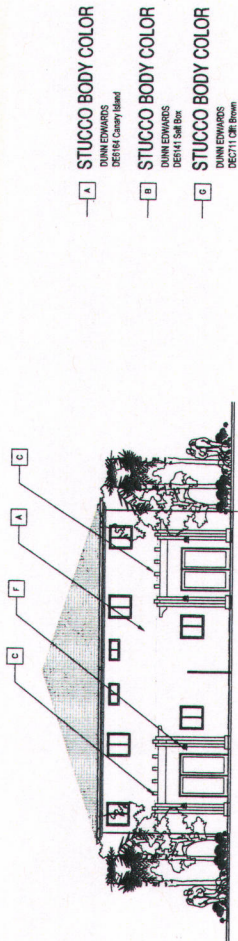
2 REAR ELEVATION
SCALE: 1/8" = 1'-0"



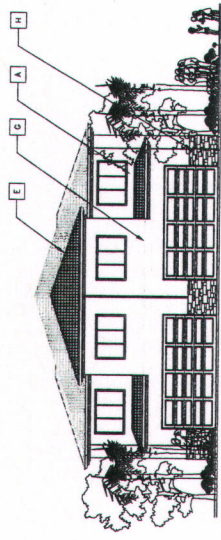
3 SIDE ELEVATION
SCALE: 1/8" = 1'-0"

- A STUCCO BODY COLOR
DUNN EDWARDS
DEE184 Canary Island
- B STUCCO BODY COLOR
DUNN EDWARDS
DEE415 Sea Breeze
- C STUCCO BODY COLOR
DUNN EDWARDS
DEC711 C.R. Brown
- C WOOD TRUST
DUNN EDWARDS
DEE415 Sea Breeze
- D MULLION
DUNN EDWARDS
DEE714 Thundercloud
- E ROOF TILE
SAGE ROOFING
SAM JUAN BLEND
- F OUTDOOR LIGHTING
HINKLEY LIGHTING 351 HARBOR OUTDOOR
COLOR ANCHOR BRONZE
SCORE
DIMENSION 162303113511

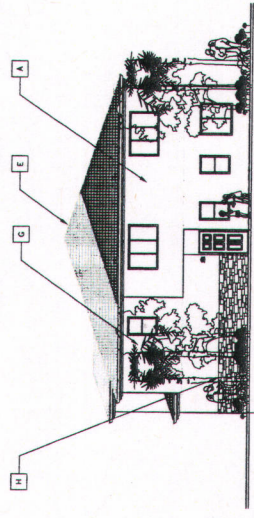
CASE #: TR35477
EXHIBIT: B
DATED: 9/3/2012
PLANNER: L. EDWARDS



1 FRONT ELEVATION (2 UNITS)
 SCALE: 1/8" = 1'-0"



2 REAR ELEVATION
 SCALE: 1/8" = 1'-0"



3 SIDE ELEVATION
 SCALE: 1/8" = 1'-0"

- A STUCCO BODY COLOR**
DUNN EDWARDS
DEFTH CASARY ISLAND
- B STUCCO BODY COLOR**
DUNN EDWARDS
DEFTH CASARY ISLAND
- C STUCCO BODY COLOR**
DUNN EDWARDS
DEFTH CASARY ISLAND
- D WOOD TRUST**
DUNN EDWARDS
DEFTH CASARY ISLAND
- E MULLION**
DUNN EDWARDS
DEFTH CASARY ISLAND
- F ROOF TILE**
EAGLE ROOFING
SAN JUAN BLEND
- G OUTDOOR LIGHTING**
HAWKEY LIGHTING 257 HARBOR OUTDOOR
SCENIC
COLOR ANCHOR BRONZE
DIMENSION 16.53X11.75X11
- H OUTDOOR LIGHTING**
HAWKEY LIGHTING 257 HARBOR OUTDOOR
SCENIC
COLOR ANCHOR BRONZE
DIMENSION 16.53X11.75X11
- I STONE/BRICK**
EL DORADO STONE
MONTANA LEISURE

CASE #: TR35477
EXHIBIT: B
DATED: 9/3/2012
PLANNER: L. EDWARDS

5774100177 EDWARDS
 CALLED 9/3/2012

3 GIRARD STREET

1 CALLETA DE SAN JUAN

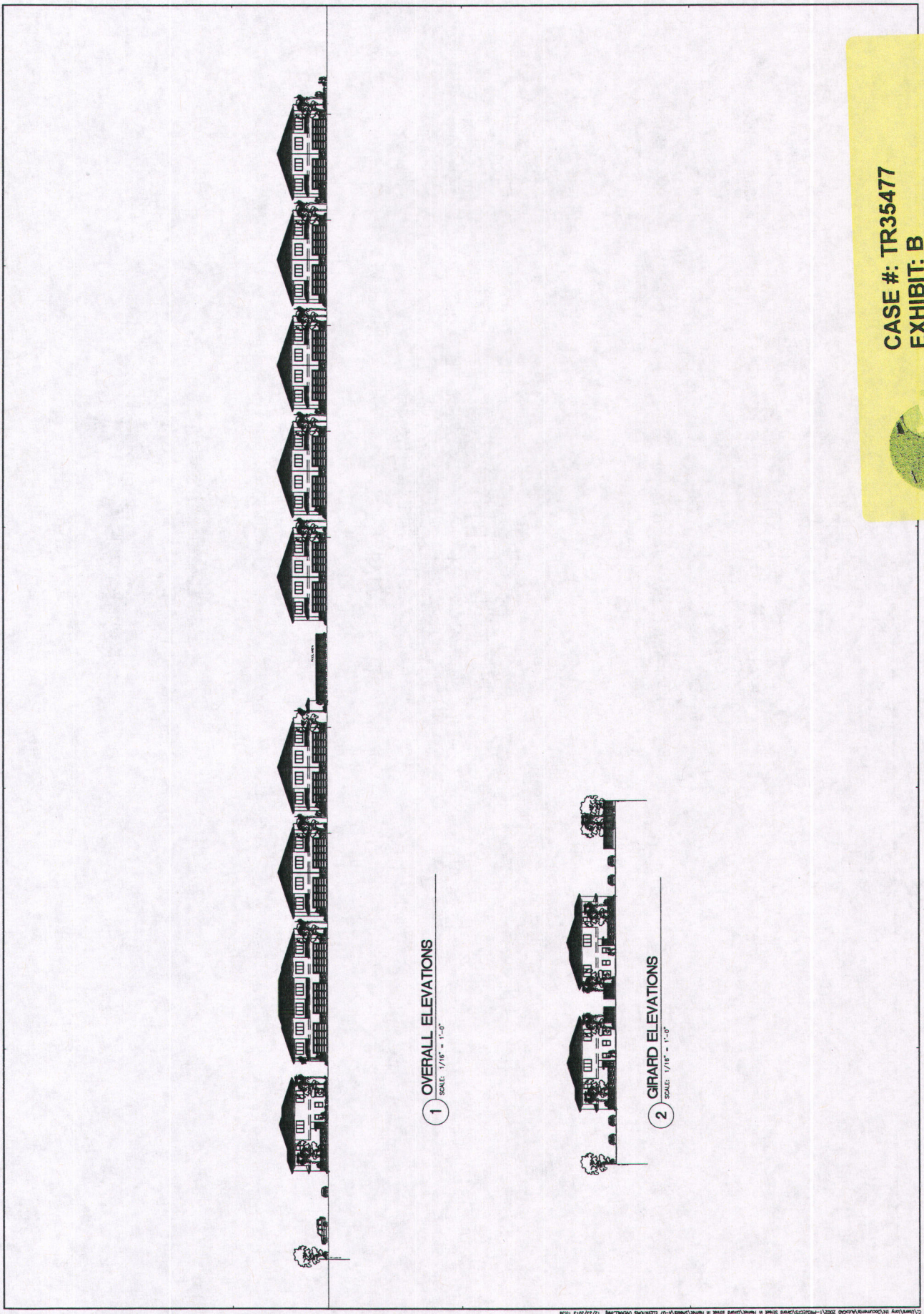
Issue Date	06/09/2013
Revisions	
Drawn By/Checked	
Consultant	
Project Number	103
	06-03-2012

GIRARD TOWNHOME
 26399 GIRARD STREET
 HEMET CA. 92545



THE
 SHEET TITLE

ELEVATIONS
Sheet Number: A-07
Sheet No.: - 07 - S15



1 OVERALL ELEVATIONS
 SCALE: 1/16" = 1'-0"

2 GIRARD ELEVATIONS
 SCALE: 1/16" = 1'-0"

CASE #: TR35477
EXHIBIT: B
DATED: 9/3/2012
PLANNER: L. EDWARDS

Issue Date:	08/09/2013
Residence:	
Drawn By/Checked:	
Consultant:	
Project Number:	103
	09-03-2013

GIRARD TOWNHOME
 26399 GIRARD STREET
 HEMET CA. 92545

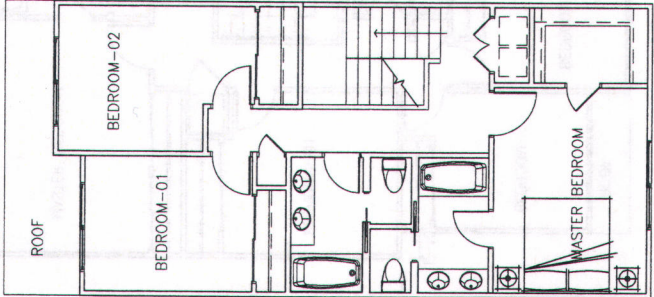
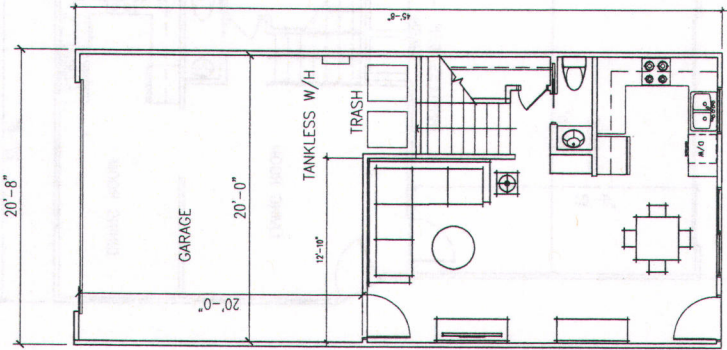


THT
 THE HOME TEAM
 REAL ESTATE

Sheet Title:
3 BEDROOM

Sheet Number:
A-03

SHEET NO. : . . OF . . SHEETS



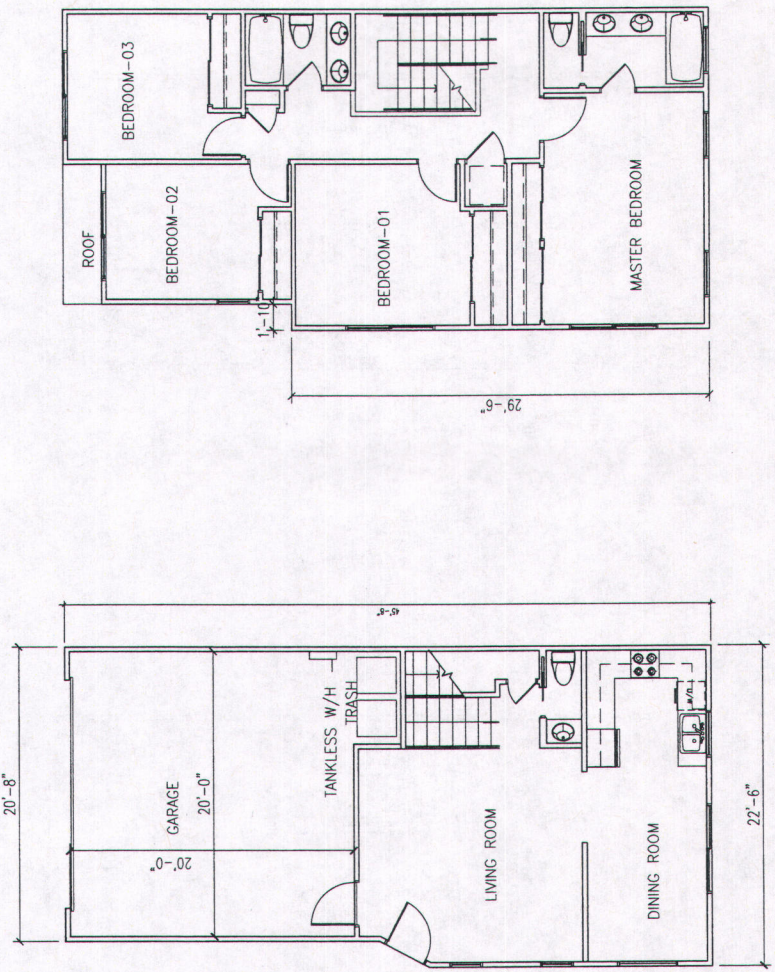
CASE #: TR35477
EXHIBIT: C
DATED: 9/3/2012
PLANNER: L. EDWARDS

Issue Date:	
Issue:	
Revisions:	
Drawn By/Checked:	
Consultant:	
Project Number-03	09-03-2012

GIRARD COMPLEX
 26399 GIRARD STREET
 HEMET, CA. 92545



Sheet Title:	4 BEDROOM
Sheet Number:	A-04
Sheet No. of:	5/15



1 FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"

2 SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"

CASE #: TR35477
EXHIBIT: C
DATED: 9/3/2012
PLANNER: L. EDWARDS

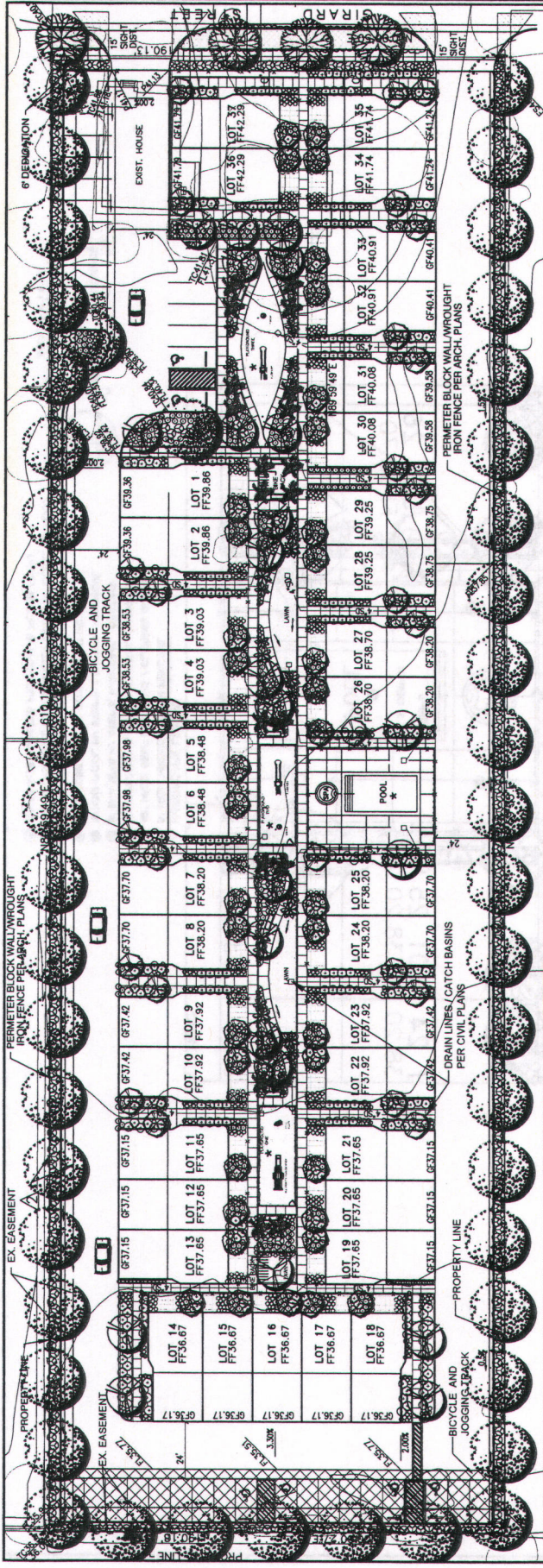
GIRARD TOWNHOME

26399 GIRARD STREET HEMET CA 92545



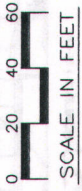
Issue Date: APRIL 15, 2013
 Prepared: 1. JULY 10, 2012
 2. November 22, 2013
 Drawn By: Chevalier/HN

HITTERS DESIGN, INC.
 3045 Rain Road, Ste. 235
 Hemet, CA 92545
 Tel: (619) 943-8528
 Fax: (619) 233-0044
 Email: info@hitters.com



PROJECT NOTES:

1. ALL PROPOSED LANDSCAPE IS IN CONFORMANCE TO THE RIVERSIDE COUNTY GUIDE TO TREES, SHRUBS, AND GROUNDCOVERS.
 2. LANDSCAPED AREAS SHALL BE DISTRIBUTED EVENLY THROUGHOUT THE SITE AND STREET MASKING AREAS TO PROVIDE MAXIMUM SHADING OF THE PARKING LOT AREAS.
 3. ALL LANDSCAPED AREAS ARE DESIGNED SO THAT PLANT MATERIALS ARE PROTECTED FROM VEHICULAR DAMAGE AND ENCROACHMENTS.
 4. ALL TREES SHALL BE DOUBLE-STAKED AND SECURED WITH A RUBBER OR PLASTICS STRIP. NIRE TIES SHALL NOT BE USED.
 5. NO TREES SHALL BE PLANTED WITHIN 6 FEET OF HARDCAPE WITHOUT LINEAR DEEP ROOT BARRIERS.
 6. A SIX INCH HIGH CURB WITH A 12 INCH WIDE CONCRETE WALKWAY SHALL BE CONSTRUCTED ALONG PLANTERS ON END STALLS ADJACENT TO VEHICLE PARKING SPACES.
 7. PARKING AREAS SHALL BE SCREENED FROM VIEW WITH A THREE FOOT HIGH PLANTER WITH SHRUB PLANTINGS THAT CAN BE MAINTAINED AT A THREE FOOT HEIGHT.
 8. DROUGHT TOLERANT AND NATIVE PLANT SPECIES ARE TO BE USED TO THE MAXIMUM EXTENT AS POSSIBLE OVER NON-DROUGHT TOLERANT AND NON-NATIVE SPECIES.
 9. PLANTINGS SHALL BE IRRIGATED WITH LOW-PRECIPITATION ROTOR SPRAY HEADS TO PROVIDE OPTIMAL PLANT GROWTH, WHILE MINIMIZING WATER WASTE.
 10. IRRIGATION SYSTEMS SHALL BE ZONED AS TO PROVIDE IRRIGATION FOR PLANTINGS WITH APPROXIMATELY THE SAME SUN/SHADE EXPOSURES
- * NOTE : SEE SHEET L-2 FOR RECREATION AREA & POOL AREA ENLARGEMENTS



PLANTING LEGEND

PLANT	PLANTING AND MAINTENANCE NOTES	PLANT CODE	EST. PLANT QUANTITY
	FOLIAGE TREES PLANTING: 100% OF EST. NUMBER OF TREES SHALL BE PLANTED WITHIN 6 MONTHS OF COMMENCEMENT OF CONSTRUCTION. TREE TIES SHALL BE INSTALLED WITHIN 48 HOURS OF PLANTING. 100% OF EST. TREE TIES SHALL BE INSTALLED WITHIN 48 HOURS OF PLANTING.	LN	4
	SHRUBS: 100% OF EST. NUMBER OF SHRUBS SHALL BE PLANTED WITHIN 6 MONTHS OF COMMENCEMENT OF CONSTRUCTION. SHRUB TIES SHALL BE INSTALLED WITHIN 48 HOURS OF PLANTING.	LS	18
	GROUNDCOVERS: 100% OF EST. NUMBER OF GROUNDCOVERS SHALL BE PLANTED WITHIN 6 MONTHS OF COMMENCEMENT OF CONSTRUCTION. GROUNDCOVER TIES SHALL BE INSTALLED WITHIN 48 HOURS OF PLANTING.	LG	30
	PERMITS: 100% OF EST. NUMBER OF PERMITS SHALL BE PLANTED WITHIN 6 MONTHS OF COMMENCEMENT OF CONSTRUCTION. PERMIT TIES SHALL BE INSTALLED WITHIN 48 HOURS OF PLANTING.	PE	18
	SPRING PLANTING: 100% OF EST. NUMBER OF TREES SHALL BE PLANTED WITHIN 6 MONTHS OF COMMENCEMENT OF CONSTRUCTION. TREE TIES SHALL BE INSTALLED WITHIN 48 HOURS OF PLANTING.	LN	18
	SPRING SHRUBS: 100% OF EST. NUMBER OF SHRUBS SHALL BE PLANTED WITHIN 6 MONTHS OF COMMENCEMENT OF CONSTRUCTION. SHRUB TIES SHALL BE INSTALLED WITHIN 48 HOURS OF PLANTING.	LS	30
	SPRING GROUNDCOVERS: 100% OF EST. NUMBER OF GROUNDCOVERS SHALL BE PLANTED WITHIN 6 MONTHS OF COMMENCEMENT OF CONSTRUCTION. GROUNDCOVER TIES SHALL BE INSTALLED WITHIN 48 HOURS OF PLANTING.	LG	30
	SPRING PERMITS: 100% OF EST. NUMBER OF PERMITS SHALL BE PLANTED WITHIN 6 MONTHS OF COMMENCEMENT OF CONSTRUCTION. PERMIT TIES SHALL BE INSTALLED WITHIN 48 HOURS OF PLANTING.	PE	18
	WINTER PLANTING: 100% OF EST. NUMBER OF TREES SHALL BE PLANTED WITHIN 6 MONTHS OF COMMENCEMENT OF CONSTRUCTION. TREE TIES SHALL BE INSTALLED WITHIN 48 HOURS OF PLANTING.	LN	18
	WINTER SHRUBS: 100% OF EST. NUMBER OF SHRUBS SHALL BE PLANTED WITHIN 6 MONTHS OF COMMENCEMENT OF CONSTRUCTION. SHRUB TIES SHALL BE INSTALLED WITHIN 48 HOURS OF PLANTING.	LS	30
	WINTER GROUNDCOVERS: 100% OF EST. NUMBER OF GROUNDCOVERS SHALL BE PLANTED WITHIN 6 MONTHS OF COMMENCEMENT OF CONSTRUCTION. GROUNDCOVER TIES SHALL BE INSTALLED WITHIN 48 HOURS OF PLANTING.	LG	30
	WINTER PERMITS: 100% OF EST. NUMBER OF PERMITS SHALL BE PLANTED WITHIN 6 MONTHS OF COMMENCEMENT OF CONSTRUCTION. PERMIT TIES SHALL BE INSTALLED WITHIN 48 HOURS OF PLANTING.	PE	18

LANDSCAPE CONCEPT PLAN

SCALE 1" = 20'-0"

Maximum Allowed Water Allowance (MAWA) = 880.792
 Maximum Applied Water Allowance = 880.792
 Maximum Allowed Water Allowance = 880.792

MAWA = Maximum Applied Water Allowance (gallons per year)
 LA = Landscape Area (square feet)
 LA = 11,980 sq. ft.
 LA = 11,980 sq. ft.
 LA = 11,980 sq. ft.
 LA = 11,980 sq. ft.

MAWA = (95.3) (9.52) (7.43) = 880.792

SHADING CALCULATIONS
 Note: Note: Install 2' mulch on all shrub planting and 1" on groundcover from flats.
 Note: Note: Install 2' mulch on all shrub planting and 1" on groundcover from flats.

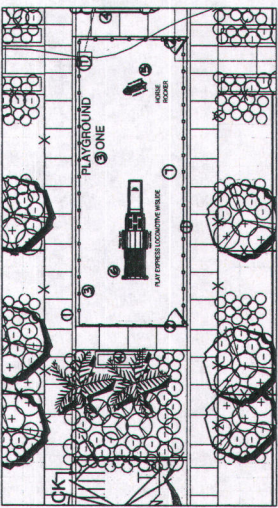
SHADING REQUIRED = 40%
 SHADING PROVIDED = 40%
 SHADING DEFICIT = 0%
 SHADING SURPLUS = 0%

PARKING LOT AREA = 4,192 SQUARE FEET
 LANDSCAPE REQUIRED = 7.75%
 LANDSCAPE PROVIDED = 8.2%
 LANDSCAPE DEFICIT = 0.45%

CASE #: TR35477
EXHIBIT: L
DATED: 5/17/2013
PLANNER: I EDWARDS

PLAYGROUND ONE

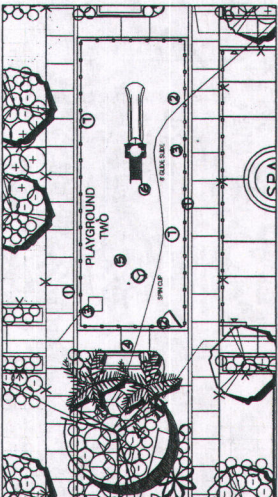
SCALE: 1" = 8'-0"



- HARDSCAPE LEGEND**
- ① 5' HIGH WROUGHT IRON FENCING.
 - ② 42" WIDE SELF-CLOSING GATES
 - ③ ENGINEERED FIBER FLAT SURFACING
 - ④ CONCRETE BENCH SEATING
 - ⑤ PLAYWORLD HORSE ROCKER
 - ⑥ PLAYWORLD EXPRESS6 LOCOMOTIVE
 - ⑦ 6' SAFETY ENVELOPE PER ADA REG'TS.

PLAYGROUND TWO

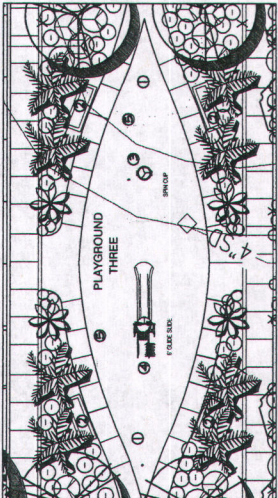
SCALE: 1" = 8'-0"



- HARDSCAPE LEGEND**
- ① 5' HIGH WROUGHT IRON FENCING.
 - ② 42" WIDE SELF-CLOSING GATES
 - ③ ENGINEERED FIBER FLAT SURFACING
 - ④ CONCRETE BENCH SEATING
 - ⑤ PLAYWORLD SPIN CUP
 - ⑥ FLATWORLD 6' GLIDE SLIDE
 - ⑦ 6' SAFETY ENVELOPE PER ADA REG'TS.

PLAYGROUND THREE

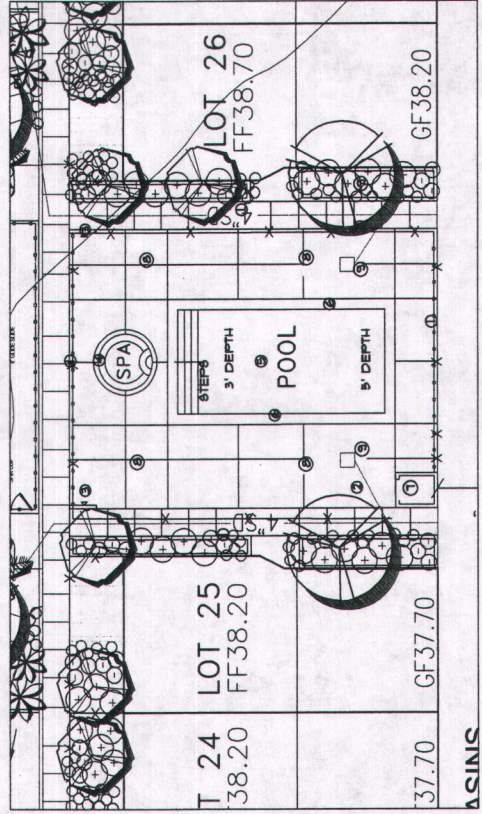
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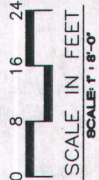
- HARDSCAPE LEGEND**
- ① ENGINEERED FIBER FLAT SURFACING
 - ② CONCRETE BENCH SEATING
 - ③ PLAYWORLD SPIN CUP
 - ④ FLATWORLD 6' GLIDE SLIDE
 - ⑤ 6' SAFETY ENVELOPE PER ADA REG'TS.

POOL / SPA AREA

SCALE: 1" = 8'-0"



- HARDSCAPE LEGEND**
- ① 5' HIGH WROUGHT IRON FENCING.
 - ② 42" WIDE SELF LATCHING / CLOSING GATES
 - ③ FREESTANDING OUTDOOR POOL SHOWERS
 - ④ 8" DIA SPA W/ STEPS, HANDRAIL, SEATING
 - ⑤ 19"x36" POOL W/ STEPS & SAFETY HANDRAIL
 - ⑥ BULLMOOSE SAFETY COPING - 13" WIDTH
 - ⑦ POOL EQUIPMENT ENCLOSURE.
 - ⑧ POOL DECKING PERMEABLE PAVING W/ CONC. BANDS.
 - ⑨ DRAINAGE GRATES PER CIVIL'S PLANS (TYP)



GIRARD TOWNHOME
26399 GIRARD STREET
HEMET CA. 92545



Sheet Title
PLAYGROUND / RECREATION ENLARGEMENTS
Sheet Number
L-2
SHEET NO. : OF SHEETS

Issue Date:
APRIL 15, 2013
Revision:
1. JULY 10, 2013
2. November 22, 2013
Drawn BY/Checked/DI

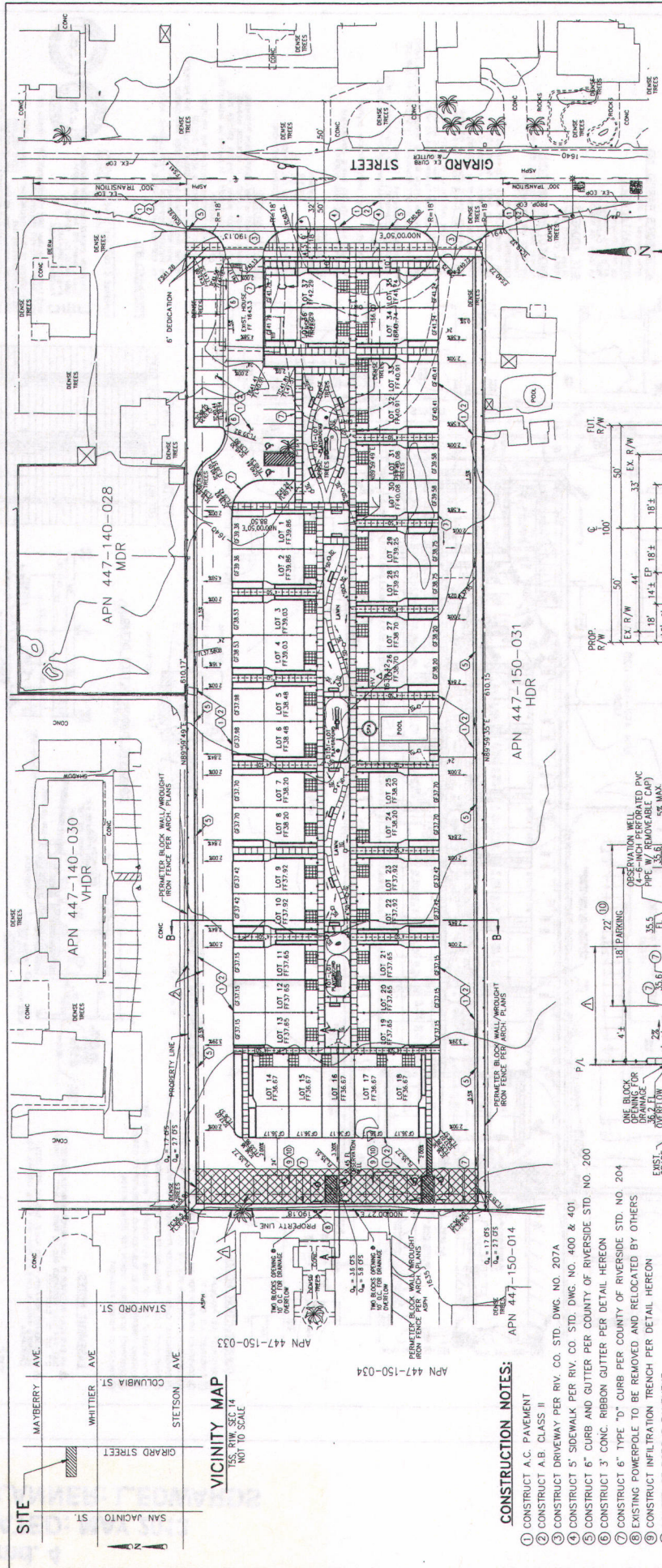
HUTTER DESIGNS, INC.
LANDSCAPE ARCHITECTS
5055 Wilshire Road, Suite 215
San Diego, CA 92131
Tel: (619) 342-8528
Fax: (619) 342-8528



CASE #: TR35477
EXHIBIT: L
DATED: 5/17/2013
PLANNER: L. EDWARDS



CASE #: TR35477
EXHIBIT: G
DATED: 5/17/2013
PLANNER: L. EDWARDS



CONSTRUCTION NOTES:

- CONSTRUCT A.C. PAVEMENT
- CONSTRUCT A.B. CLASS II
- CONSTRUCT DRIVEWAY PER RIV. CO. STD. DWG. NO. 2074
- CONSTRUCT 5' SIDEWALK PER RIV. CO. STD. DWG. NO. 400 & 401
- CONSTRUCT 6" CURB AND GUTTER PER COUNTY OF RIVERSIDE STD. NO. 200
- CONSTRUCT 3" CONC. RIBBON GUTTER PER DETAIL HEREON
- CONSTRUCT 6" TYPE "D" CURB PER COUNTY OF RIVERSIDE STD. NO. 204
- EXISTING POWERPOLE TO BE REMOVED AND RELOCATED BY OTHERS
- CONSTRUCT INFILTRATION TRENCH PER DETAIL HEREON
- CONSTRUCT POROUS PAVEMENT

EASEMENT NOTES:

- AN EASEMENT IN FAVOR OF LAKE HEMET MUNICIPAL WATER DIST. PER DEED RECORDED DEC. 2, 1968 AS INST. NO. 116636, O.R. RIV. CO. CALIFORNIA.
- AN EASEMENT IN FAVOR OF SO. CALIF. GAS CO. PER DEED RECORDED APRIL 8, 1964 AS INST. NO. 43392, O.R. RIV. CO. CALIFORNIA.

CONCRETE RIBBON GUTTER DETAIL (6)
 NO SCALE

INFILTRATION TRENCH DETAIL
 NO SCALE

SECTION "A-A"
 NO SCALE

SECTION "B-B"
 NO SCALE

SECTION "C-C"
 NO SCALE

CONCEPTUAL GRADING PLAN:
 GIRARD TOWNHOMES
 TENTATIVE TRACT NO. 35477
 COUNTY OF RIVERSIDE, CALIFORNIA

REVISIONS

No.	Description	Approved	Date

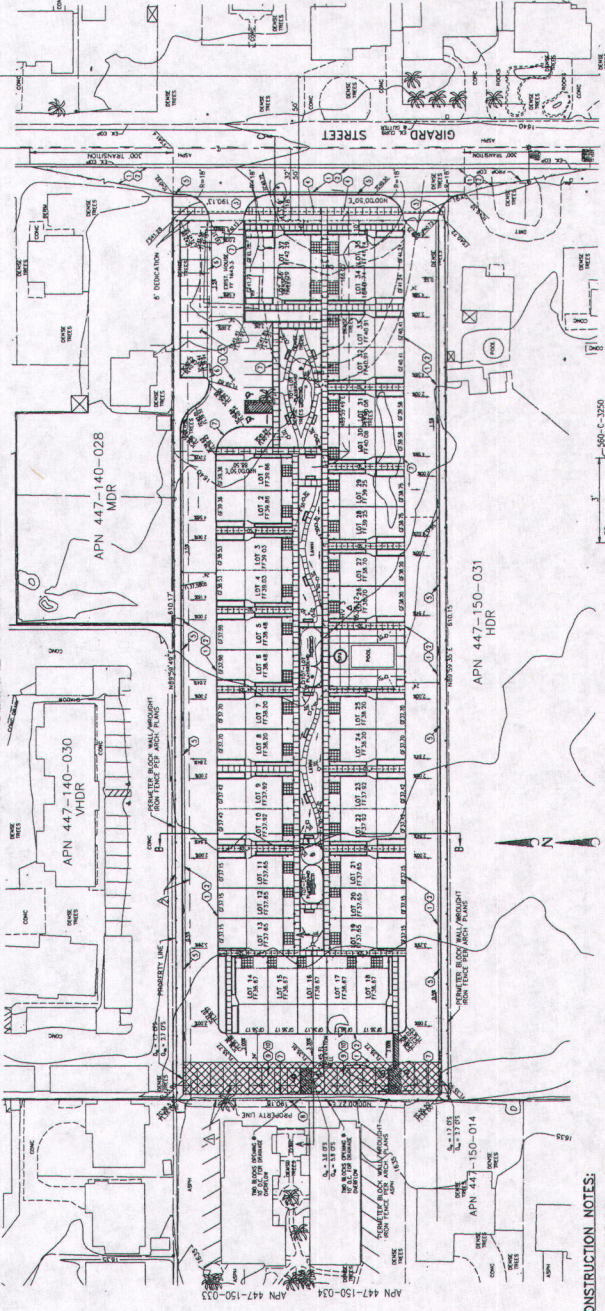
PREPARED FOR:
 GB DEVELOPMENT INC.
 7628 EL CAJON BLVD.
 LA MESA, CA 91942
 Ph. (619) 260-0420
 Fax (619) 260-0466

LANDMARK ENGINEERING CORPORATION
 9443 Camino Del Rio South
 Suite 204
 San Diego, CA 92108
 Ph. (619) 260-0420
 Fax (619) 260-0466

LEFC

APR. 11 OF 1 Date: 5/17/13 Drawn: JLC Appr: JLC DWG. No. 2370-CGP-1

TENTATIVE TRACT MAP NO. 35477
 COUNTY OF RIVERSIDE, CALIFORNIA
 GIRARD TOWNHOMES



LEGAL DESCRIPTION
 447-150-044-9 PARCEL 1 OF PM NO. 12454,
 IN THE A/E OF RIVERSIDE, ON FILE IN BOOK 68
 447-150-045-9 PARCEL 2 OF PM NO. 12454,
 IN THE A/E OF RIVERSIDE, ON FILE IN BOOK 68

SOURCE OF TOPOGRAPHY
 PHOTO GEOMETRIC CORPORATION
 1161 EAST MAIN STREET, #102
 EL CAJON, CA 92021

ASSESSOR'S PARCEL NO.
 447-150-044 & 045

APPLICANT/OWNER
 THE HEMET DISTRICT
 7530 E. CALORN BLVD.
 EL CAJON, CA 92021

SITE ADDRESS
 GIRARD STREET
 HEMET, CA 92343

PROJECT INFORMATION:
 THOMAS BROS. CORP., PAGE 841, C-1
 ZONING: R-1.5 RESIDENTIAL
 CONSTRUCTION: V-N
 TOTAL GROSS LOT AREA: 95,848 SQ. FT.
 TOTAL GROSS LOT AREA: 117,163 SQ. FT.
 EXISTING DESIGNATION IS AS FOLLOWS:
 LOT 1: 447-150-045 IS ZONED AS R3 MDR
 LOT 2: 447-150-044 IS ZONED AS R3 MDR
 GENERAL PLAN AMENDMENT IS AS FOLLOWS:
 AMEND 47-150-045 FROM MEDIUM DENSITY RESIDENTIAL (MDR)
 TO MEDIUM DENSITY RESIDENTIAL (MDR) ON 1/4 ACRE LOT
 ASSESSMENT/COMMUNITIES FACILITIES DISTRICT: N/A
 FEA PLAN ZONE AN DESIGNATION: SPECIFIC PLAN (NONE)
 SCHOOL DIST.: HEMET UNIFIED SCHOOL DISTRICT

UTILITIES:
 THIS MAP INCLUDES THE EXISTING CONTIGUOUS
 OWNERSHIP OF THE LAND DIVIDER

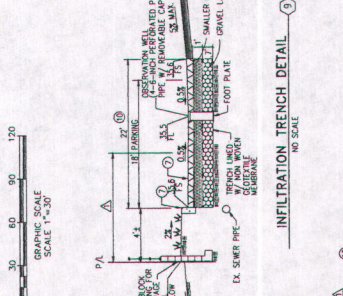
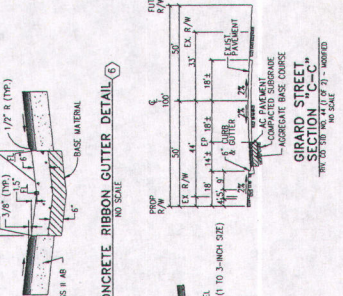
GENERAL NOTES:
 1. AREA IS NOT WITHIN UDEFACATION POTENTIAL
 2. AREA IS NOT WITHIN SPECIAL STUDIES ZONE
 3. AREA IS NOT WITHIN A SPECIAL STUDIES ZONE
 4. AREA IS NOT SUBJECT TO OVERFLOW, INUNDATION,
 5. NO KNOWN FLOODING WELLS IN THE PROPERTY.
 6. NO EXISTING/PROPOSED SEPTIC SYSTEM IN THE PROPERTY.
 7. WITH NPDES SUPPLEMENT "A" TO CDD 1000000000
 8. WITH NPDES SUPPLEMENT "A" TO CDD 1000000000
 9. WITH NPDES SUPPLEMENT "A" TO CDD 1000000000
 10. EXISTING CHANGE TO BE REMOVED

CONSTRUCTION NOTES:
 1. CONSTRUCT A & C PAVEMENT
 2. CONSTRUCT A & B CLASS II
 3. CONSTRUCT DRIVEWAY PER RIV. CO. STD. DMC NO. 2074
 4. CONSTRUCT 5' SIDEWALK PER RIV. CO. STD. DMC NO. 400 & 401
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 9. CONSTRUCT INFILTRATION TRENCH PER DETAIL HEREON
 10. CONSTRUCT POROUS PAVEMENT

EASEMENT NOTES:
 1. AN EASEMENT IN FAVOR OF LAKE HEMET MUNICIPAL WATER DIST. HAS BEEN DEED AND RECORDED DEC. 2, 1988 AS INST. NO. 116636.
 2. AN EASEMENT IN FAVOR OF SD. CALIF. GAS CO. PER DEED CALIFORNIA APRIL 8, 1984 AS INST. NO. 43392, OR RIV. CO. CALIFORNIA

LOT/BUILDING DATA:

LOT NO.	LOT SQ. FT.	BLDG. SQ. FT.
1	11,111.11	11,111.11
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3	11,111.11	11,111.11
4	11,111.11	11,111.11
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6	11,111.11	11,111.11
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93	11,111.11	11,111.11
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97	11,111.11	11,111.11
98	11,111.11	11,111.11
99	11,111.11	11,111.11
100	11,111.11	11,111.11



PREPARED BY:
 LAWRENCE E. COLE RCE 38299 exp. 6/20/14
 LS 5897 exp. 6/20/15
 L&E CONSULTANTS
 3443 CAMINO DEL RIO SOUTH, #204
 SAN DIEGO, CA 92108
 FAX (619) 265-0458

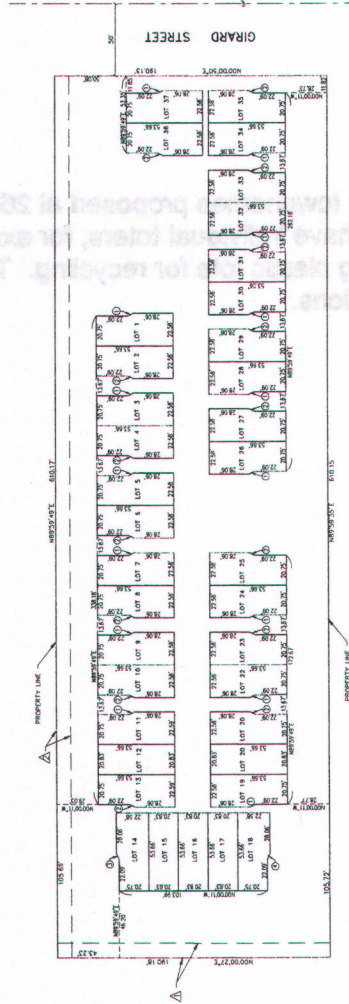
MILE FAMILY CALCULATION TABLE PER ORDINANCE 348 - PARKING FOR SINGLE RESIDENTIAL UNITS:
 SINGLE RESIDENTIAL UNITS: 1.25 SPACES/UNIT
 SINGLE RESIDENTIAL DUPLEX UNITS: 2.25 SPACES/UNIT
 TWO BEDROOM/PARKING UNIT: 2.75 SPACES/UNIT
 THREE OR MORE BEDROOM UNITS: 2.75 SPACES/UNIT

COUNT	PARKING SCHEDULE	DESCRIPTION
1	1	1
2	2	2
3	3	3
4	4	4
5	5	5
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97	97	97
98	98	98
99	99	99
100	100	100

GRAND TOTAL: 3674 SPACES (37 UNITS X 3 SPACES PER UNIT IN GARAGE)
 TOTAL PARKING SPACES PER UNIT: 2.75 PARKING SPACES PER UNIT
 37 TOTAL UNITS X 2.75 PER UNIT = 102 SPACES PROVIDED
 410 SPACES PROVIDED
 DATE PREPARED: MAY, 2013

CASE #: TR35477
Amd. 4
DATED: MAY 2013
PLANNER: L. EDWARDS

TENTATIVE TRACT MAP NO. 35477
 COUNTY OF RIVERSIDE, CALIFORNIA
 GIRARD TOWNHOMES

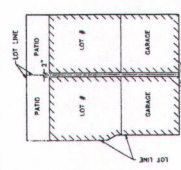
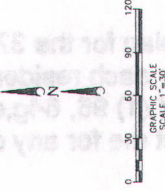


DATA TABLE

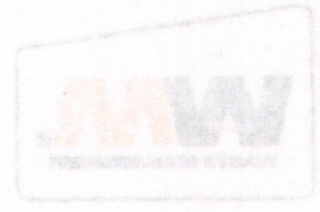
- ① N272216°W 3.97'
- ② N271135°E 3.97'
- ③ N823714°E 3.97'
- ④ N823805°W 3.97'

EASEMENT NOTES:

- △ ALL EASEMENT IN FAVOR OF LAKE HEMET MUNICIPAL WATER DIST. PER DEED RECORDED DEC. 2, 1968 AS INST. NO. 116F36, O.R. INV. CO. CALIFORNIA, C.E. SO. CALIF. GAS CO. PER DEED RECORDED APRIL 8, 1984 AS INST. NO. 43392, O.R. INV. CO. CALIFORNIA.



TYPICAL LOT/BUILDING LAYOUT
 LOT IS SCALE



CASE #: TR35477
Amd. 4
DATED: MAY 2013
PLANNER: L. EDWARDS

DATE PREPARED:	MAY, 2013
DRAWN BY:	
CHECKED BY:	
REVISION:	



July 28, 2014

Chris Warburton
G8 Development Inc.
7626 El Cajon Blvd.
La Mesa, CA.91942

To whom this may concern,

I have reviewed the site plan for the 37 new townhomes proposed at 26399 Girard Street in Hemet, CA. 92544. It is acceptable for each resident to have individual toters, for example (1) 96g, 64g or 34g Plastic toter for Trash and (1) 96, 64g, or 34g plastic tote for recycling. This will service the entire project. Please feel free to contact me for any questions.

Diane

A handwritten signature in black ink that reads 'Diane Hobbs'.

Diane Hobbs
Waste Management Inc
Account Manager HOA's
1001 W. Bradley Ave.
El Cajon, CA 92020
Phone: 619-372-1689
Email: dhobbs@wm.com

America's Most Beautiful
RECEIVED

JUL 16 2014

7-11-14

To Whom It May Concern
RIVERSIDE COUNTY
PLANNING DEPARTMENT
Re: TRACT MAP 35477.

I Dale Bruswitz, 24452
GIRAND ST, Hemet, CA 92544
Am objecting to this addition
to the area because I don't
feel any onsite planning
was done. Many of the houses
in the area are absentee owned
& occupied with 2 + 3 families.
GIRAND ST HAS ALWAYS BEEN
A BUSY STREET FROM THE TIME
WE MOVED HERE IN 1962. TRAFFIC
HAS GROWN OVER THE YEARS CAUS
ING ME TO HAVE TO PUT IN A
CIRCULAR DRIVE TO ACCOMADATE
MY WIFE'S PIANO TEACHING IN
1972. THE BAPTISTE CHURCH SCHOOL
MAKES IT DIFFICULT TO EXIT
DRIVEWAYS MORNING'S + AFTERNOON'S
NEXT PAGE



America the Beautiful ②

In the last several years walking traffic has increased 100 fold. School children are walking both north & south mornings & afternoons!

This project will increase traffic and walking a great deal. This street has had no major rebuilding since early 70's. It can no longer handle more traffic. I am sure there are better places to put this project. There are many empty houses & apartments in the area. Please reconsider this as there are few property owners in the area to protest. Thank you!

Cal Burt

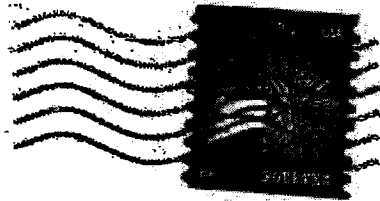




Mr. Dale K. Brusewitz
26452 Girard
Hemet, CA 92544

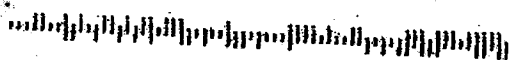
SN BERNARDINO CA 92544

14 JUL 2014 PM 7 L



Riv. County Planning Dept.
ATT Lisa Edwards
P.O. Box 1409.
Riverside, CA 92502-1409

92502140909



RECEIVED

JUL 16 2014

RIVERSIDE COUNTY
PLANNING DEPARTMENT

To Whom It May Concern:

This letter is in regards to the Tentative Tract Map No. 35477 in Hemet, California, with the hearing date of July 16, 2014.

I have many concerns about this proposed housing project:

1- The Baptist Church on the corner of Girard and Acacia has an operating school on campus. So, during the school year it is sometimes quite difficult to pull out of my driveway. Therefore, with the added condominiums there would be even more traffic since there are three schools in close proximity - Ramona Elementary on Whittier and Columbia, the Baptist Church school on Girard and Acacia and Acacia Middle School on Acacia and San Jacinto.

2- In the past 24 years that I've lived in my neighborhood there are now more families renting. Sometimes there are multiple families living in one house with many children going to the different schools which again would impact the traffic.

3- There has been an increase of crime while I've been here also. We already have low-income apartments on Mayberry between Girard and San Jacinto that I

believe your proposed project would share the back wall with. A few blocks to the east has several low-income apartments already, as well. This pocket of Hemet doesn't need to be known as the low-income area.

4.- Hemet has definitely changed. The town used to be quiet after 8pm, with no body on the streets. Now there is areas of blight and empty businesses and prostitutes walking around. I'm glad that there are more things to do around town. But I don't see the pride in home ownership any more. With more low-income residents in our town, there would be even less of a stake in that same pride.

5-I already have a newer neighbor that seems to like having yelling and screaming matches with her boyfriend, that has caused one long-time neighbor to move and possibly another. The police have been called on them multiple times. I can only imagine that there would be a constant police presence if the condominiums are put in, in this neighborhood.

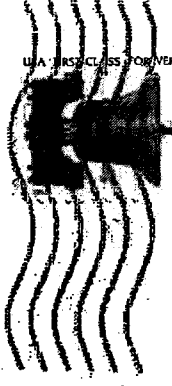
Please re-think this proposal. I don't want to be scared where I live.

Thank you,
Julia Hudson
40522 Whittier Ave.
Hemet, CA 92544

ROBERT & JULIE HUDSON
40522 E. Whittier Ave.
Hemet, CA 92544

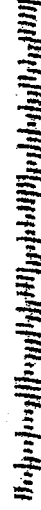
SN BERNARDINO CA 924

14 JUL 2014 PM 4 L



Riverside County Planning Dept.
Attn: Lisa Edwards
P.O. Box 1409
Riverside, CA 92502-1409

92502140909



COUNTY OF RIVERSIDE

ENVIRONMENTAL ASSESSMENT FORM: INITIAL STUDY

Environmental Assessment (E.A.) Number: 41303
Project Case Type (s) and Number(s): Tentative Tract Map No. 35477
Lead Agency Name: County of Riverside Planning Department
Address: P.O. Box 1409, Riverside, CA 92502-1409
Contact Person: Lisa Edwards, Project Manager
Telephone Number: (951) 955-1888
Applicant's Name: G8 Development Inc.
Applicant's Address: 7624 El Cajon Blvd. La Mesa, CA 91942

I. PROJECT INFORMATION

A. Project Description:

TENTATIVE TRACT MAP NO. 35477: Schedule "A" Subdivision for a 37 unit condominium complex on 2.69 gross acres. The proposal includes a 10,019 sq. ft. landscape area including two playgrounds, a 2,172 sq. ft. pool area, and a 5,725 sq. ft. of front yard area. Total development proposal includes, 28,152 sq. ft. of building footprint area, 18,740 sq. ft. of landscaping area (including pool), and 112 parking spaces. There currently exists one (1) residential structure to be demolished.

B. Type of Project: Site Specific ; Countywide ; Community ; Policy .

C. Total Project Area: 2.69

Residential Acres: 2.69	Lots: 2	Units: 37	Projected No. of Residents: 137
Commercial Acres: N/A	Lots: N/A	Sq. Ft. of Bldg. Area: N/A	Est. No. of Employees: N/A
Industrial Acres: N/A	Lots: N/A	Sq. Ft. of Bldg. Area: N/A	Est. No. of Employees: N/A
Open Space Acres: .43	Lots: N/A		
Other: N/A			

D. Assessor's Parcel No(s): 447-150-044, 447-150-045

E. Street References: The project site is situated in the lower portion of San Jacinto Valley Area Plan, approximately four miles east of Diamond Valley lake, less than one mile south of Highway 74, and between Mayberry Avenue and Whittier Avenue on Girard Street.

F. Section, Township & Range Description or reference/attach a Legal Description: Section 14, Township 5 South, Range 1 West.

G. Brief description of the existing environmental setting of the project site and its surroundings: The Site is primarily undeveloped with some existing vegetation. A single-family residence currently exists on the property which has been determined to have no significant historical value and is intended to be demolished. The Site is relatively flat with a slight downhill grade moving toward the west portion of the Site. The adjacent lands are developed with single-family and multi-family residential development. Vegetation on the Site consists of primarily typical, urban and exotic plant species.

II. APPLICABLE GENERAL PLAN AND ZONING REGULATIONS

A. General Plan Elements/Policies:

1. **Land Use:** The General Plan Land Use designation for the Site is Community Development: Very High Density Residential (CD: VHDR) (14-20 Dwelling Units Per Acre) and Medium Density Residential (CD: MDR) (2-5 Dwelling Units Per Acre). The project proposes a condominium subdivision of 2.69 gross acres into 37 townhomes ranging for 3-4 bedrooms with unit sizes of 1,422 square feet. General Plan Table 1 (Land Use Designation Summary) states that single-family attached and multi-family dwellings are intended for the VHDR areas. The proposed project is consistent with the General Plan land use designation and all other applicable land use policies.
2. **Circulation:** The proposed project will add overall trips to the area through the creation of 37 townhomes. No new roads will be required to provide adequate access and circulation for the Site. The proposed project meets all other applicable circulation policies of the General Plan.
3. **Multipurpose Open Space:** The proposed project is not located within the Multiple Species Habitat Conservation Plan (MSHCP). The proposed project meets all other applicable Open Space element policies.
4. **Safety:** The proposed project is not located within a flood zone and is not located within a high fire area. The proposed project is not located within a fault zone or within ½ mile of a fault. The proposed project is in an area designated as having moderate potential for liquefaction and susceptible to subsidence. The proposed project meets all other applicable Safety element policies.
5. **Noise:** The proposed project will permanently increase the ambient noise levels in the project vicinity above levels existing without the project. However, the project is for residential development and noise levels associated with the project are anticipated to be less than significant with mitigations incorporated. The proposed project meets all other applicable Noise element policies.
6. **Housing:** The project proposes 37 townhomes, which contributes to the achievement of the Riverside County General Plan's goal of providing quality and diversified housing for the County's expanding population. Therefore, the proposed project meets with all applicable Housing element policies.
7. **Air Quality:** The proposed project has been conditioned to control any fugitive dust during grading and construction activities. The proposed project meets all other Air Quality Element policies.

B. General Plan Area Plan(s): San Jacinto Valley Area Plan

C. Foundation Component(s): Community Development

D. Land Use Designation(s): Community Development: Very High Density Residential (CD: VHDR) (14-20 Dwelling Units Per Acre) and Medium Density Residential (CD: MDR) (2-5 Dwelling Units Per Acre)

E. Overlay(s), if any: Not in a General Plan Overlay Area.

F. Policy Area(s), if any: Not in a General Plan Policy Area.

G. Adjacent and Surrounding:

1. **Area Plan(s):** San Jacinto Valley Area Plan
2. **Foundation Component(s):** Community Development (CD) to the north, south, east, and west.
3. **Land Use Designation(s):** Community Development (CD) (14-20 Dwelling Units Per Acre) to the north, Community Development (CD) (8-14 DU/Acre) to the south, Community Development (CD) (2-5 DU/Acre) to the east, and Community Development (CD) (5-8 DU/Acre) to the west.
4. **Overlay(s) and Policy Area(s), if any:** N/A

H. Adopted Specific Plan Information

1. **Name and Number of Specific Plan, if any:** N/A
2. **Specific Plan Planning Area, and Policies, if any:** N/A

I. Existing Zoning: General Residential (R-3)

J. Proposed Zoning, if any: N/A

K. Adjacent and Surrounding Zoning: General Residential (R-3) to the north, west, and south; One-Family Dwelling (R-1) to the east.

III. ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED

The environmental factors checked below (x) would be potentially affected by this project, involving at least one impact that is a "Potentially Significant Impact" or "Less than Significant with Mitigation Incorporated" as indicated by the checklist on the following pages.

- | | | |
|---|--|---|
| <input type="checkbox"/> Aesthetics | <input type="checkbox"/> Hazards & Hazardous Materials | <input type="checkbox"/> Recreation |
| <input type="checkbox"/> Agriculture & Forest Resources | <input type="checkbox"/> Hydrology / Water Quality | <input type="checkbox"/> Transportation / Traffic |
| <input type="checkbox"/> Air Quality | <input type="checkbox"/> Land Use / Planning | <input type="checkbox"/> Utilities / Service Systems |
| <input type="checkbox"/> Biological Resources | <input type="checkbox"/> Mineral Resources | <input type="checkbox"/> Other: |
| <input checked="" type="checkbox"/> Cultural Resources | <input checked="" type="checkbox"/> Noise | <input type="checkbox"/> Other: |
| <input type="checkbox"/> Geology / Soils | <input type="checkbox"/> Population / Housing | <input type="checkbox"/> Mandatory Findings of Significance |
| <input type="checkbox"/> Greenhouse Gas Emissions | <input type="checkbox"/> Public Services | |

IV. DETERMINATION

On the basis of this initial evaluation:

A PREVIOUS ENVIRONMENTAL IMPACT REPORT/NEGATIVE DECLARATION WAS NOT PREPARED

I find that the proposed project **COULD NOT** have a significant effect on the environment, and a **NEGATIVE DECLARATION** will be prepared.

I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because revisions in the project, described in this document,

have been made or agreed to by the project proponent. **A MITIGATED NEGATIVE DECLARATION** will be prepared.

I find that the proposed project MAY have a significant effect on the environment, and an **ENVIRONMENTAL IMPACT REPORT** is required.

A PREVIOUS ENVIRONMENTAL IMPACT REPORT/NEGATIVE DECLARATION WAS PREPARED

I find that although the proposed project could have a significant effect on the environment, **NO NEW ENVIRONMENTAL DOCUMENTATION IS REQUIRED** because (a) all potentially significant effects of the proposed project have been adequately analyzed in an earlier EIR or Negative Declaration pursuant to applicable legal standards, (b) all potentially significant effects of the proposed project have been avoided or mitigated pursuant to that earlier EIR or Negative Declaration, (c) the proposed project will not result in any new significant environmental effects not identified in the earlier EIR or Negative Declaration, (d) the proposed project will not substantially increase the severity of the environmental effects identified in the earlier EIR or Negative Declaration, (e) no considerably different mitigation measures have been identified and (f) no mitigation measures found infeasible have become feasible.

I find that although all potentially significant effects have been adequately analyzed in an earlier EIR or Negative Declaration pursuant to applicable legal standards, some changes or additions are necessary but none of the conditions described in California Code of Regulations, Section 15162 exist. An **ADDENDUM** to a previously-certified EIR or Negative Declaration has been prepared and will be considered by the approving body or bodies.

I find that at least one of the conditions described in California Code of Regulations, Section 15162 exist, but I further find that only minor additions or changes are necessary to make the previous EIR adequately apply to the project in the changed situation; therefore a **SUPPLEMENT TO THE ENVIRONMENTAL IMPACT REPORT** is required that need only contain the information necessary to make the previous EIR adequate for the project as revised.

I find that at least one of the following conditions described in California Code of Regulations, Section 15162, exist and a **SUBSEQUENT ENVIRONMENTAL IMPACT REPORT** is required: (1) Substantial changes are proposed in the project which will require major revisions of the previous EIR or negative declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; (2) Substantial changes have occurred with respect to the circumstances under which the project is undertaken which will require major revisions of the previous EIR or negative declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; or (3) New information of substantial importance, which was not known and could not have been known with the exercise of reasonable diligence at the time the previous EIR was certified as complete or the negative declaration was adopted, shows any the following: (A) The project will have one or more significant effects not discussed in the previous EIR or negative declaration; (B) Significant effects previously examined will be substantially more severe than shown in the previous EIR or negative declaration; (C) Mitigation measures or alternatives previously found not to be feasible would in fact be feasible, and would substantially reduce one or more significant effects of the project, but the project proponents decline to adopt the mitigation measures or alternatives; or, (D) Mitigation measures or alternatives which are considerably different from those analyzed in the previous EIR or negative declaration would substantially reduce one or more significant effects of the project on the environment, but the project proponents decline to adopt the mitigation measures or alternatives.



Signature

6/17/14

Date

Lisa Edwards

For Juan C. Perez, Interim Planning Director

V. ENVIRONMENTAL ISSUES ASSESSMENT

In accordance with the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000-21178.1), this Initial Study has been prepared to analyze the proposed project to determine any potential significant impacts upon the environment that would result from construction and implementation of the project. In accordance with California Code of Regulations, Section 15063, this Initial Study is a preliminary analysis prepared by the Lead Agency, the County of Riverside, in consultation with other jurisdictional agencies, to determine whether a Negative Declaration, Mitigated Negative Declaration, or an Environmental Impact Report is required for the proposed project. The purpose of this Initial Study is to inform the decision-makers, affected agencies, and the public of potential environmental impacts associated with the implementation of the proposed project.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
AESTHETICS Would the project				
1. Scenic Resources				
a) Have a substantial effect upon a scenic highway corridor within which it is located?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings and unique or landmark features; obstruct any prominent scenic vista or view open to the public; or result in the creation of an aesthetically offensive site open to public view?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan Figure C-9 "Scenic Highways"

Findings of Fact:

a) The Project will not have a substantial effect upon a scenic highway corridor. The project site is situated in the lower portion of San Jacinto Valley Area Plan, approximately four miles east of Diamond Valley lake, less than one mile south of Highway 74, and between Mayberry Avenue and Whittier Avenue on Girard Street. The Riverside County General Plan indicates that the Site is not located within a designated scenic corridor. Development of the Project will not affect any scenic resources, as adjacent lands are being planned for similar residential development. The design of the Project will be compatible with the existing setting in the surrounding area and will have residential uses, and therefore, will have a less than significant impact.

b) The proposed project will not substantially damage scenic resources, including, but not limited to, trees, rock outcroppings and unique or landmark features, or obstruct a prominent scenic vista or view open to the public, as these features do not exist on the project site. Additionally, the proposed project will not result in the creation of an aesthetically offensive site open to public view.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation	Less Than Significant Impact	No Impact

2. Mt. Palomar Observatory

a) Interfere with the nighttime use of the Mt. Palomar Observatory, as protected through Riverside County Ordinance No. 655?

Source: GIS database, Ord. No. 655 (Regulating Light Pollution)

Findings of Fact:

a) The proposed project is located within Zone B of the Mount Palomar Nighttime Lighting Policy Area. The project site is located 26.81 miles from the Mount Palomar Observatory. It has the potential to interfere with the Observatory. The project is required to comply with Ordinance No. 655 of Riverside County. The purpose of Ordinance No. 655 is to restrict the use of certain light fixtures emitting into the night sky that can create undesirable light rays and detrimentally affect astronomical observations and research. Ordinance No. 655 mandates that all outdoor lighting, aside from street lighting, be low to the ground, shielded or hooded in order to obstruct shining onto adjacent properties and streets. The project has been conditioned, prior to map recordation to create an Environmental Constraint Sheet that states lighting restrictions as required by County Ordinance No. 655 (COA 50.PLANNING. 20). All proposed outdoor lighting systems shall be in conformance with county Ordinance No. 655 which will mitigate the potential for interference with the nighttime use of Palomar Observatory to less than significant impact. These requirements are standard for properties within the boundaries of Zones A or B of Ordinance No. 655 and not considered mitigation for CEQA implementation purposes.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
3. Other Lighting Issues				
a) Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Expose residential property to unacceptable light levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: On-site Inspection, Project Application Description

Findings of Fact:

a) The proposed project will create a new source of light which would accompany any new residential development; however the new source of light is not anticipated to be of significant levels. The project has been conditioned to create an Environmental Constraints Sheet prior to map recordation to comply with the lighting standards of Ordinance 655 which are intended to reduce the effects of night lighting (COA 50. PLANNING. 20) which will mitigate the potential impact from glare or unacceptable light levels to less than significant. This is a standard condition of approval and is not considered

mitigation for CEQA implementation purposes. The project will not create a new source of substantial light or glare which would adversely affect day or nighttime views in the area.

b) The amount of light that will be created is consistent with levels found in typical residential developments. The residential uses shall be buffered from the residential uses to the north by dense tree foliage and adjacent parking lot. In addition, due to the topography of the site and surrounding area, residential uses shall be screened to the west by hills. Therefore, it is not anticipated that the proposed project shall expose residential property to unacceptable light levels. Therefore, the impact is considered less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
AGRICULTURE & FOREST RESOURCES Would the project				
4. Agriculture				
a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland) as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Conflict with existing agricultural zoning, agricultural use or with land subject to a Williamson Act contract or land within a Riverside County Agricultural Preserve?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Cause development of non-agricultural uses within 300 feet of agriculturally zoned property (Ordinance No. 625 "Right-to-Farm")?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure OS-2 "Agricultural Resources," GIS database, and Project Application Materials.

Findings of Fact:

a) The proposed project is not located within a Farmland Designation; therefore, the project shall not convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland) as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use. Therefore, there is no impact.

b) The proposed project is not located in an agricultural preserve or covered by a Williamson Contract. The site's existing zoning, General Residential (R-3), would still allow for animal keeping such as Class I kennel use and would be compatible with the surrounding agricultural uses. Therefore, the impact is considered less than significant.

c) The project site is not located within 300 feet of agriculturally zoned property. In addition, although the project proposes residential uses, the site's existing zoning allows for keeping of animals such as a kennel. Therefore, the impact is considered less than significant.

d) The proposed project is not anticipated to result in other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use. The Site is not located within 300 feet of agriculturally zoned property, therefore, potentially significant indirect impacts to off-site agricultural lands will not occur in that the adjacent lands are vacant or have rural residential development and are planned for similar residential development. Therefore, there is no impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
5. Forest				
a) Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code section 12220(g)), timberland (as defined by Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Govt. Code section 51104(g))?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Result in the loss of forest land or conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure OS-3 "Parks, Forests and Recreation Areas," and Project Application Materials.

Findings of Fact:

a) The County does not have zoning that is specific to the preservation of forest land or timberland. Therefore the proposed project will not conflict with any forest land zoning.

b & c) The site has been vacant and undisturbed and there are no forest areas or non-man made groves. Therefore, the project will not result in the loss of any forest land.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact

AIR QUALITY Would the project

6. Air Quality Impacts				
a) Conflict with or obstruct implementation of the applicable air quality plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Violate any air quality standard or contribute substantially to an existing or projected air quality violation?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Expose sensitive receptors which are located within 1 mile of the project site to project substantial point source emissions?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Involve the construction of a sensitive receptor located within one mile of an existing substantial point source emitter?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Create objectionable odors affecting a substantial number of people?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: SCAQMD CEQA Air Quality Handbook Table 6-2, "Air Quality and Greenhouse Assessment" prepared by Scientific Resources Associated, dated October 17, 2013

Findings of Fact:

a) The South Coast Air Quality Management District (SCAQMD) is responsible for developing a regional air quality management plan to insure compliance with state and federal air quality standards. The SCAQMD has adopted the 2012 Air Quality Management Plan (AQMP). The primary implementation responsibility assigned to the County (i.e. local governments) by the 2012 AQMP is the implementation of air quality control measures associated with transportation facilities. This project does not propose any transportation facilities that would require transportation control measures, and therefore will not obstruct implementation of the AQMP.

b) The 2012 AQMP is based on socioeconomic forecasts (including population estimates) provided by the Southern California Association of Governments (SCAG). The County General Plan is consistent with SCAG's Regional Growth Management Plan and SCAQMD's Air Quality Management Plan. The proposed project is consistent with the General Plan Land Use designations. The population proposed by this project will not obstruct the implementation of the 2012 AQMP. Therefore, the impact is considered to be less than significant.

c) The proposed residential subdivision is not anticipated to result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard. Therefore, the impact is considered less than significant.

d) A sensitive receptor is a person in the population who is particularly susceptible to health effects due to exposure to an air contaminant than is the population at large. Sensitive receptors (and the facilities that house them) in proximity to localized CO sources, toxic air contaminants or odors are of particular concern. High levels of CO are associated with major traffic sources, such as freeways and major intersections, and toxic air contaminants are normally associated with manufacturing and commercial operations. Land uses considered to be sensitive receptors include long-term health care facilities, rehabilitation centers, convalescent centers, retirement homes, residences, schools, playgrounds, child care centers, and athletic facilities. Surrounding land uses include residential,

which is considered a sensitive receptor, however, the project is not expected to generate substantial point source emissions. The project will not include major transportation facilities, commercial or manufacturing uses, or generate significant odors. Therefore, there is no impact.

e) Air quality impacts would occur during site preparation, including grading and equipment exhaust. Major sources of fugitive dust are a result of grading and site preparation during construction by vehicles and equipment and generated by construction vehicles and equipment traveling over exposed surfaces, as well as by soil disturbances from grading and filling. These short-term construction related impacts will be reduced below a level of significance through the incorporation of dust control measures which the project has been conditioned to implement during grading (COA 10.BS GRADE. 8) and which will mitigate impacts from fugitive dust to less than significant. This is a standard condition of approval and is not considered mitigation for CEQA implementation purposes.

f) The project proposes a residential development and will not create objectionable odors affecting a substantial number of people. Therefore, there is no impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
BIOLOGICAL RESOURCES Would the project				
7. Wildlife & Vegetation				
a) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Conservation Community Plan, or other approved local, regional, or state conservation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Have a substantial adverse effect, either directly or through habitat modifications, on any endangered, or threatened species, as listed in Title 14 of the California Code of Regulations (Sections 670.2 or 670.5) or in Title 50, Code of Federal Regulations (Sections 17.11 or 17.12)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Wildlife or U. S. Wildlife Service?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations or by the California Department of Fish and Wildlife or U. S. Fish and Wildlife Service?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?

g) Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?

Source: GIS database, WRC-MSHCP and/or CV-MSHCP, On-site Inspection, EPD review

Findings of Fact:

a) The proposed project is not located within the Western Riverside Multiple Species Habitat Conservation Plan (WRMSHCP) Criteria Cell. A review was done by the Environmental Programs Division of the Planning Department to assure consistency with the MSHCP plan. No inconsistencies were reported. Therefore, the impact is considered less than significant after mitigation.

b) The County of Riverside Environmental Programs Division (EPD) did not identify the presence of any endangered or threatened species which are listed in the Title 14 of the California Codes of Regulations (Sections 670.2 or 670.5) or in Title 50, Code of Federal Regulations (Sections 17.11 or 17.12). Based on the review by EPD, there will be less than significant impacts related to threatened or endangered species.

c) A review by EPD indicated that no conservation is required, no riparian areas are present. The project site has had single-family buildings surrounding the Site for some time. The project will not impact wildlife significantly, either directly or through habitat modifications, on those species identified as candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U. S. Wildlife Service. Therefore, the impacts will be less than significant.

d-f) The site contains no significant suitable habitat, as the entire site is actively used as single-family residential activities. Therefore the impacts will be less than significant.

g) Based on a review by EPD, the project is consistent with all biological policies of the General Plan, the WRMSHCP, and all other policies that impact the site. The Project would not conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance. Therefore, there is no impact.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
CULTURAL RESOURCES Would the project				
8. Historic Resources				
a) Alter or destroy an historic site?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Cause a substantial adverse change in the significance of a historical resource as defined in California Code of Regulations, Section 15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: On-site Inspection, Project Application Materials, "Phase I Archaeological Assessment for the Girard Street Properties" prepared Scientific Resource Surveys Inc. dated August 2007, "A Cultural Resource Assessment Update for the Girard Townhome Project" prepared by Brian F. Smith and Associates dated September 30, 2013, County Archeologist Review

Findings of Fact:

a & b) The recent surveys of the project site, described in the Phase II Cultural Resources Investigation, prepared Brian F. Smith and Associates, resulted in negative findings for significant historic resources. Therefore, it is not anticipated that the proposed project shall alter or destroy a historic site, nor will it cause substantial adverse change in the significance of a historical resource. Therefore, the impact is considered less than significant.

Mitigation: No mitigation measures required.

Monitoring: No monitoring required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
9. Archaeological Resources				
a) Alter or destroy an archaeological site.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) Cause a substantial adverse change in the significance of an archaeological resource pursuant to California Code of Regulations, Section 15064.5?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c) Disturb any human remains, including those interred outside of formal cemeteries?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Restrict existing religious or sacred uses within the potential impact area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Project Application Materials, "A Cultural Resource Assessment Update for the Girard Townhome Project" prepared by Brian F. Smith and Associates dated September 30, 2013, County Archeologist Review

Findings of Fact:

a) The Phase II Cultural Resources Assessment prepared by Brian F. Smith and Associates did not identify any significant historical resources on the property. The cultural resources study did not identify any significant archaeological resources existing on site. Although no identifiable resources were located above ground, the relatively high number of archaeological sites in the area suggests the potential for resources being discovered during the grading process. Therefore, the impact is considered less than significant.

b) The proposed project is located within an area that has historically had archeological resources. The project has been conditioned to have a qualified archaeologist retained to monitor the project grading and shall have the authority to halt grading activity to allow recovery of archaeological and/or cultural resources (COA 60.PLANNING.5). The applicant shall provide the Planning Director evidence of a fully executed agreement with a curatorial facility acceptable to the County for treatment and disposition of all cultural resources impacted as a result of the development. The Developer shall relinquish ownership of all cultural resources, including all archaeological artifacts that are of Native

American origin, found on the project for curation (COA 60. PLANNING. 5). Therefore, the impact is considered less than significant with mitigation incorporated.

c) The project proposes ground-disturbing activities which have the potential to uncover human remains. The project site is not anticipated to have human remains on site based on the report prepared by Brian F. Smith and Associates. However, the project has been conditioned to halt activities if any human remains are found, including those interred outside of formal cemeteries (COA 10. PLANNING. 1) which will mitigate the potential impact to unknown human remains to less than significant. This is a standard condition and is not considered mitigation for CEQA implementation purposes.

d) There are no existing religious or sacred uses within the project area. Therefore, the proposed project will not restrict existing religious or sacred uses within the potential impact area. Therefore, there is no impact.

Mitigation: If during ground disturbance activities, cultural resources are discovered that were not assessed by the archaeological report(s) and/or environmental assessment conducted prior to project approval, the applicant shall comply with the condition of approval that outlines the directives upon discovery (10. Planning. 4).

Monitoring: Monitoring of the above measures shall occur pursuant to the associated Condition of Approval milestones, and Building and Safety plan check process.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
10. Paleontological Resources				
a) Directly or indirectly destroy a unique paleontological resource, or site, or unique geologic feature?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan Figure OS-8 "Paleontological Sensitivity"

Findings of Fact:

a) According to the Riverside County Land Information System (RCLIS) and review by the County Geologist, a portion of the project site is located in an area that is designated as having high (High A) potential for paleontological sensitivity. A condition of approval was added to assist in the event that Paleontological resources are found on site (Condition of Approval 60.PLANNING.4), which will not address the paleontological resources to less than significant. This is not considered mitigation for CEQA implementation purposes.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact

GEOLOGY AND SOILS Would the project

11. Alquist-Priolo Earthquake Fault Zone or County Fault Hazard Zones	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a) Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death?				
b) Be subject to rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure S-2 "Earthquake Fault Study Zones," GIS database, Geologist Comments, Geotechnical Reports prepared by Earth-Strata dated 8/21/07, 7/31/08, 8/1/08, 9/5/08, 9/19/08, 9/16/13, and 11/26/13

Findings of Fact:

a) According to Riverside County Land Information System (RCLIS) and study, the proposed project is not located within an Alquist-Priolo Earthquake Fault Zone or County Fault Hazard Zones. Based on the review of aerial photos, site mapping and literature research, there is no evidence of active faults crossing trending toward the subject site. In addition, the nearest active fault to the site is about one mile northeast of the site. Therefore, the potential for this site to be affected by surface fault rupture is considered low.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
12. Liquefaction Potential Zone				
a) Be subject to seismic-related ground failure, including liquefaction?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan Figure S-3 "Generalized Liquefaction", Geotechnical Reports prepared by Earth-Strata dated 8/21/07, 7/31/08, 8/1/08, 9/5/08, 9/19/08, 9/16/13, and 11/26/13

Findings of Fact:

a) According to Riverside County Land Information System (RCLIS) and study, there is moderate potential for this site to be affected by seismically induced liquefaction. The Project Geological Study prepared by Earth-Strata stated the proposed structures will be supported by compacted fill and competent alluvium, with groundwater depth of over 100 feet. Therefore, the potential for earthquake induce liquefaction beneath the proposed structures is considered very low to remote due to the recommended compacted fill and relatively low groundwater level.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
13. Ground-shaking Zone Be subject to strong seismic ground shaking?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan Figure S-4 "Earthquake-Induced Slope Instability Map," and Figures S-13 through S-21 (showing General Ground Shaking Risk), Geotechnical Reports prepared by Earth-Strata dated 8/21/07, 7/31/08, 8/1/08, 9/5/08, 9/19/08, 9/16/13, and 11/26/13

Findings of Fact:

a) According to General Plan Figure S-13 of the General Plan indicates that the proposed project site is located in an area that has extremely high ground-shaking risk and is expected to experience strong ground shaking during the design life of the project. The proposed development will be required to comply with the latest edition of the California Building Code which takes into consideration earthquake risk which will mitigate the potential impact from ground shaking to less than significant. This requirement is not considered mitigation for CEQA implementation purposes.

Mitigation: No mitigation measures required.

Monitoring: No monitoring required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
14. Landslide Risk a) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, collapse, or rockfall hazards?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: On-site Inspection, Riverside County General Plan Figure S-5 "Regions Underlain by Steep Slope", Geotechnical Reports prepared by Earth-Strata dated 8/21/07, 7/31/08, 8/1/08, 9/5/08, 9/19/08, 9/16/13, and 11/26/13

Findings of Fact:

a) According to Figure S-5, the proposed project is located within an area which has a variety of slopes which range from 15 percent to a small portion that is greater than 30 percent. The project engineer performed a slope stability analysis which indicated that the natural slope and proposed graded cut and fill slopes are expected to be stable under static and pseudo-static conditions. Standard conditions require slope ratios of two to one (2:1) or flatter (Condition of Approval 10.BS GRADE.9) which will mitigate the potential impact on landslide risk to less than significant. This is not considered mitigation for CEQA implementation purposes.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
15. Ground Subsidence				
a) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in ground subsidence?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan Figure S-7 "Documented Subsidence Areas Map", Geotechnical Reports prepared by Earth-Strata dated 8/21/07, 7/31/08, 8/1/08, 9/5/08, 9/19/08, 9/16/13, and 11/26/13

Findings of Fact:

a) The proposed project is located in an area susceptible to subsidence but not located near any documented areas of subsidence. The results of the liquefaction report prepared for this Project indicated that settlement could occur induced by liquefaction and is covered by the mitigation for potential liquefaction. Uniform Building Code (UBC) requirements pertaining to residential development will mitigate the potential impact for non-liquefaction induced subsidence to less than significant. As UBC requirements are applicable to all residential development, they are not considered mitigation for CEQA implementation purposes.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
16. Other Geologic Hazards				
a) Be subject to geologic hazards, such as seiche, mudflow, or volcanic hazard?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: On-site Inspection, Project Application Materials, Geotechnical Reports prepared by Earth-Strata dated 8/21/07, 7/31/08, 8/1/08, 9/5/08, 9/19/08, 9/16/13, and 11/26/13

Findings of Fact:

a) Based on a review by the County Geologist, the proposed project is not located within an area that is subject to geologic hazards, such as seiche, mudflow, or volcanic hazard. Therefore, there is a less than significant impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
17. Slopes				
a) Change topography or ground surface relief features?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Create cut or fill slopes greater than 2:1 or higher than 10 feet?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Result in grading that affects or negates subsurface sewage disposal systems?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riv. Co. 800-Scale Slope Maps, Project Application Materials, Geotechnical Reports prepared by Earth-Strata dated 8/21/07, 7/31/08, 8/1/08, 9/5/08, 9/19/08, 9/16/13, and 11/26/13

Findings of Fact:

a) The subject site is relatively flat with a gentle slope downhill towards the western portion of the site. The proposed grading will result in generally a flat landing that will slope 1-5% along the north and south property boundaries. Grading of the Site will meet the minimum engineering criteria. Therefore, the proposed grading will be considered to have less than significant impact.

b) The project will not create cut or fill slopes greater than 2:1 or higher than 10 feet. Therefore, there is no impact.

c) No infiltration lines will be disturbed during project grading or construction, since no lines currently exist onsite. Therefore, the proposed project will not result in grading that affects or negates subsurface sewage disposal systems. Therefore, there is no impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
18. Soils				
a) Result in substantial soil erosion or the loss of topsoil?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Be located on expansive soil, as defined in Section 1802.3.2 of the California Building Code (2007), creating substantial risks to life or property?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Have soils incapable of adequately supporting use of septic tanks or alternative waste water disposal systems where sewers are not available for the disposal of waste water?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: U.S.D.A. Soil Conservation Service Soil Surveys, Project Application Materials, On-site Inspection, Geotechnical Reports prepared by Earth-Strata dated 8/21/07, 7/31/08, 8/1/08, 9/5/08, 9/19/08, 9/16/13, and 11/26/13

Findings of Fact:

a) Grading and the loss of topsoil is necessary to create graded lots. Additional erosion protection may be required during the rainy season from October 1st to May 31st (COA 10.BS GRADE.7). Also, the project has been conditioned for all manufactured slopes greater than three (3) feet have been conditioned to require erosion control landscaping (COA 10. BS GRADE. 23). Compliance with these conditions will mitigate the potential impact on soil erosion or the loss of topsoil to less than significant. These are standard conditions of approval and are not considered mitigation for CEQA implementation purposes.

b) Based on the County Geologist and the Geology/Geotechnical study, the expansion potential of the onsite soils is considered very low and no special design provisions relative to expansive soils are needed. Additionally, a geotechnical soils report is conditioned prior to obtaining a grading permit which will review all soils, compaction and inspection reports (COA 60. BS GRADE. 4) which will mitigate the potential impact on soil expansion to less than significant. These are standard conditions of approval and are not considered unique mitigation pursuant to CEQA.

c) The proposed project will be connecting to the existing Lake Hemet Municipal Water District. There will be no use of septic tanks or alternate waste water disposal systems that would necessitate a review of the soils capability of supporting such uses. Therefore, no impact would occur.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
19. Erosion				
a) Change deposition, siltation, or erosion that may modify the channel of a river or stream or the bed of a lake?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Result in any increase in water erosion either on or off site?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: U.S.D.A. Soil Conservation Service Soil Surveys

Findings of Fact:

a-b) The project is designed to avoid drainages onsite and no channelization is proposed for any of the drainages. Further, all construction activities onsite will occur pursuant to the Storm Water Pollution Prevention Plan (SWPPP) that has been prepared for the subject parcel. After construction, the site shall be managed pursuant to the Project-Specific Water Quality Management Plan (WQMP) also prepared for the subject parcel. Compliance with these two plans will ensure that no activities

occurring on the site, during construction or after, result in significant changes to any water features due to deposition, siltation or erosion. Similarly, compliance with these two plans will also ensure that no project activities result in significant water erosion effects either onsite or offsite. Impacts related to water erosion will be less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
20. Wind Erosion and Blowsand from project either on or off site.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a) Be impacted by or result in an increase in wind erosion and blowsand, either on or off site?				

Source: Riverside County General Plan Figure S-8 "Wind Erosion Susceptibility Map," Ord. 460, Sec. 14.2 & Ord. 484

Findings of Fact:

a) The Project site lies within a moderate area of wind erosion. The Project will decrease the amount of exposed dirt, which is subject to wind erosion, with the incorporation of concrete, asphalt, and landscaping. No changes will be made on adjacent properties that would increase wind erosion offsite that would impact this project. The project site is not anticipated to be impacted by blowsand from off site because current levels of wind erosion on adjacent properties that would impact this site are considered less than significant. A condition has been placed on the project to control dust created during grading activities (COA 10.BS GRADE.8) which will mitigate the potential impact from wind erosion to less than significant. This is a standard condition and therefore is not considered mitigation for CEQA implementation purposes.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
GREENHOUSE GAS EMISSIONS Would the project				
21. Greenhouse Gas Emissions				
a) Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Application materials, "Air Quality and Greenhouse Gas Assessment" prepared by Scientific Resources Associates dated October 17, 2013

Findings of Fact:

a) Based on the results of the CalEEMod Model, the project would generate a total of 437 metric tons of CO2e emissions for operations. Adding the amortized construction emissions over 30 years, the results are an estimate of 447 metric tons of CO2e emissions. This level is below the SCAQMD's Tier 3 threshold of 3,000 metric tons of CO2e emissions for residential and commercial land uses. The project's GHG emissions would therefore be less than significant.

b) The project is consistent with the Riverside County General Plan's land use designation (Community Development: Very High Density Residential and Medium Density Residential) for the site. Hence the project does not represent development in excess of the State's "Business As Usual" (BAU) scenario. Further, the project would be subject to a variety of measures that would reduce the project's greenhouse gas emissions to below the BAU level. These measures include the following:

- Compliance with all applicable policies, measures and regulations promulgated through, or as a result of, AB 32, California's "Global Warming Solutions Act of 2006," including measures outlined by the California Air Resources Board in their *Climate Change Scoping Plan* (December 2008) for AB 32 implementation.
- Compliance with County Ordinance No. 859, *Water-Efficient Landscaping Standards*.
- Conditions of Approval requiring compliance with the following additional GHG-reducing measures.
- Preparation and implementation of a Waste Recycling Program approved by the County Waste Management Department for reduction and recycling of both construction and operational wastes.
- Use of equipment and fixtures that comply with applicable Title 24 energy conservation requirements.
- Project construction activities will conform to all applicable SCAQMD and CARB air quality protection requirements for construction equipment and vehicles.
- Project will comply with all applicable AB 32 / Scoping Plan early implementation measures implemented by the California Air Resources Board (CARB) via the South Coast Air Quality Management District (SCAQMD).

As a result of implementation of, and compliance with, the above measures, the project would further reduce greenhouse gas emissions below that expected for a business-as-usual project, consistent with the policies and plans of the County and the State, AB 32 in particular. These measures ensure the project would not conflict with the any applicable plans, policies or regulations related to reducing greenhouse gas emissions, and that this project's affect on the attainment of these plans is less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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HAZARDS AND HAZARDOUS MATERIALS Would the project

22. Hazards and Hazardous Materials

a) Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?

b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?

c) Impair implementation of or physically interfere with an adopted emergency response plan or an emergency evacuation plan?

d) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?

e) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?

Source: Project Application Materials, Department of Environmental Health Review

Findings of Fact:

a) The proposed project proposes residential uses. Therefore, the proposed project is not anticipated to involve the routine transport, use, or disposal of hazardous materials. However, during construction, hazardous materials such oil, diesel fuel, and gasoline may be transported to and used at the project site. The California State Department of Toxic Substances Control (DTSC) operates programs for proper hazardous waste disposal and transport and takes enforcement actions against those who mishandle or dispose of hazardous wastes improperly. The Riverside County Department of Environmental Health, also requires licensed hazardous waste haulers to collect and transport hazardous wastes. The proposed project is subject to these requirements. Compliance with the requirements of the California State Department of Toxic Substances Control and the Riverside County Department of Environmental Health would reduce the impact to less than significant levels. Compliance with the requirements of the California DTSC and Riverside County of Environmental Health is not considered mitigation for CEQA implementation purposes.

b) The proposed project is not anticipated to create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment. Therefore, there is no impact.

c) The proposed project will not impair implementation of or physically interfere with an adopted emergency response plan or an emergency evacuation plan. The project site does not contain any emergency facilities nor does it serve as an emergency evacuation route. Therefore, there is no impact.

d) There are no existing or proposed school sites located within one-quarter mile of the project. Also, the proposed project does not propose the transportation of hazardous materials, therefore, no impact would occur.

e) The proposed project is not located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, would not create a significant hazard to the public or the environment. Therefore, there is no impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
23. Airports				
a) Result in an inconsistency with an Airport Master Plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Require review by the Airport Land Use Commission?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) For a project within the vicinity of a private airstrip, or heliport, would the project result in a safety hazard for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure S-19 "Airport Locations," GIS database

Findings of Fact:

a) The project site is not located within an Airport Master Plan; therefore will not result in an inconsistency with an Airport Master Plan. Therefore, there is no impact.

b) The project site is not located within an Airport Master Plan; therefore will not require to be reviewed by the Airport Land Use Commission. Therefore, there is no impact.

c) The project site is not located within an airport land use plan; therefore the project will not create a safety hazard for people residing or working in the project area in reference to a public airport or public use airport. Therefore, there is no impact.

d) The project site is not located within the vicinity of a private airstrip, or heliport, and therefore would not result in a safety hazard for people residing or working in the project area. Therefore, there is no impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation	Less Than Significant Impact	No Impact

24. Hazardous Fire Area

a) Expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands?

Source: Riverside County General Plan Figure S-11 "Wildfire Susceptibility," GIS database,

Findings of Fact:

a) The proposed project is not located within a high fire area. Based on a review by the Fire Department, the project has adequate access for emergency vehicles and access to sufficient water supply to fight fires. The site allows for secondary access for emergency vehicles. Therefore, it is not anticipated that the proposed project would expose people or structures to a significant risk of loss, injury or death involving wildland fires. Therefore, the impact is considered less than significant. These are standard conditions and therefore are not considered mitigation for CEQA implementation purposes.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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HYDROLOGY AND WATER QUALITY Would the project

25. Water Quality Impacts

a) Substantially alter the existing drainage pattern of the site or area, including the alteration of the course of a stream or river, in a manner that would result in substantial erosion or siltation on- or off-site?

b) Violate any water quality standards or waste discharge requirements?

c) Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)?

d) Create or contribute runoff water that would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff?

e) Place housing within a 100-year flood hazard area, as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map?

f) Place within a 100-year flood hazard area structures which would impede or redirect flood flows?

g) Otherwise substantially degrade water quality?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
h) Include new or retrofitted stormwater Treatment Control Best Management Practices (BMPs) (e.g. water quality treatment basins, constructed treatment wetlands), the operation of which could result in significant environmental effects (e.g. increased vectors or odors)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County Flood Control District Flood Hazard Report/Condition, "Hydrology and Hydraulics Calculation for TR35477, Hemet, Riverside County, California" prepared by Landmark Engineering Corporation dated 12/17/13, "Project Specific Water Quality Management Plan" prepared by Landmark Engineering Corporation dated 10/15/13

Findings of Fact:

a) The proposed project will not substantially alter the existing drainage pattern of the site or area, including the alteration of the course of a stream or river, in a manner, which will result in substantial erosion or siltation on- or off-site and will have a less than significant impact in that the Project's grading and drainage design has been developed to maintain the natural discharge patterns as much as practical. No flooding will occur due to development. No diversion is proposed. With the inclusion of infiltration trench as designed, the proposed project does not create or contribute any increased runoff water which would exceed the current capacity of existing storm water drainage systems.

b) The Project will not violate any water quality standards or waste discharge requirements and will have a less than significant impact in that it will be required to mitigate potential impacts through the implementation of a Storm Water Pollution Prevention Plan (SWPPP) to control construction activities and a Water Quality Management Plan (WQMP) to address the post construction and the long term water quality treatment process.

c) Water service will be supplied by the Lake Hemet Water District. A will serve letter has been provided with the application materials and the project was transmitted to the Lake Hemet Water District for comment. The proposed project will not deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted). Therefore, there is no impact.

d) The residential development that will be constructed on site as a result of the proposed development is not anticipated to significantly impact the creation or contribution of runoff water which will exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff.

e-f) The proposed project is not located within a 100-year flood zone or any other type of mapped flood zone. The project will not place housing within a 100-year flood hazard area, as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map. Thus, the project will not cause adverse flooding effects on any housing.

g) The proposed project will not violate any water quality standards or waste discharge requirements and it will not substantially deplete or degrade groundwater supplies or interfere substantially with groundwater recharge. Therefore, the impact is considered less than significant.

h) The project will not include new or retrofitted stormwater Treatment Control Best Management Practices (BMPs) (e.g. water quality treatment basins, constructed treatment wetlands), the operation of which could result in significant environmental effects (e.g. increased vectors and odors).

Mitigation: No mitigation required.

Monitoring: No monitoring required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
26. Floodplains				
Degree of Suitability in 100-Year Floodplains. As indicated below, the appropriate Degree of Suitability has been checked.				
NA - Not Applicable <input checked="" type="checkbox"/>	U - Generally Unsuitable <input type="checkbox"/>		R - Restricted <input type="checkbox"/>	
a) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner that would result in flooding on- or off-site?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Changes in absorption rates or the rate and amount of surface runoff?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam (Dam Inundation Area)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Changes in the amount of surface water in any water body?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan Figure S-9 "100- and 500-Year Flood Hazard Zones," Figure S-10 "Dam Failure Inundation Zone," Riverside County Flood Control District Flood Hazard Report/Condition, GIS database

Findings of Fact:

a) The project will not substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner that would result in flooding on- or off-site.

b) Since the project proposes additional impervious surfaces, the existing absorption rates and the amount of surface runoff would be affected. There is no specific threshold that would indicate what degree of decrease in impervious surface may be significant or not significant; however, with conditions to limit grading to the areas shown on the tentative map, and with these areas representing a small portion of the map area, the impact is considered less than significant.

c) The Project area is not located within a dam inundation area. Therefore no impact will occur.

d) The proposed project is not expected to change the amount of surface water in any body of water. The Project will affect the amount of surface water in the flood control facilities served by this Project

due to the expedited flow of water off the site. The project has been designed to reroute these flows on site but at a less than significant level.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
LAND USE/PLANNING Would the project				
27. Land Use				
a) Result in a substantial alteration of the present or planned land use of an area?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Affect land use within a city sphere of influence and/or within adjacent city or county boundaries?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan, GIS database, Project Application Materials

Findings of Fact:

a) The Tentative Tract Map proposes a subdivision of 2.69 gross acres into 37 townhomes. This subdivision is consistent with the Community Development: Very High Density Residential (CD: VHDR) (14-20 Dwelling Units Per Acre) and Medium Density Residential (CD: MDR) (2-5 Dwelling Units Per Acre) land use designation and the land development trends in the surrounding area. The portion of the site designated as Community Development: Medium Density Residential (CD: MDR) encompasses the access drive and the pool area and are consistent with land uses set forth in the General Plan.

The Project is implemented by the Medium Density Residential land use designation, in the San Jacinto Valley Area Plan, which permits 2-5 Dwelling Units Per Acre. The Project proposes a 37-unit condominium subdivision which renders approximately 13 Dwelling Units Per Acre. However, the project is consistent with the zoning and General Plan land use designation.

The Project is located within the City of Hemet's sphere of influence. As of this writing, no response from the City of Hemet has been received.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
28. Planning				
a) Be consistent with the site's existing or proposed	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

zoning?

b) Be compatible with existing surrounding zoning?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Be compatible with existing and planned surrounding land uses?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Be consistent with the land use designations and policies of the General Plan (including those of any applicable Specific Plan)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Disrupt or divide the physical arrangement of an established community (including a low-income or minority community)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Land Use Element, Staff review, GIS database

Findings of Fact:

a) The proposed project is consistent with the standards for the General Residential (R-3) zoning. No impacts related to zoning will occur.

b) The site is surrounded by zoning which is similar and compatible the proposed project. The site is surrounded by different variants of one-family dwelling zones i.e. R-3, R-1. The surrounding zoning is consistent and compatible with the proposed project. No impact will occur.

c) The proposed project is surrounded by single-family and multi-family homes. There is an existing very high density residential community to the north of the project (off Mayberry Avenue), which is the same density as the proposed project. The project is proposing to consolidate two existing lots and create a condominium subdivision to develop 37 townhomes, 1,422 square feet in size ranging from 3-4 bedrooms, which is compatible with existing surrounding uses. No impact will occur.

d) The Tentative Tract Map proposes a condominium subdivision of 2.96 gross acres into townhomes, 1,422 square feet in size ranging from 3-4 bedrooms. The subdivision is consistent with the existing land use designation of Community Development: Very High Density Residential (CD: VHDR) (14-20 Dwelling Units Per Acre) and Medium Density Residential (CD: MDR) (2-5 Dwelling Units Per Acre). It is also consistent with the land development trends in the area. This project is consistent with the requirements of this policy and is therefore consistent with this policy and all other policies of the General Plan. The proposed project will not result in an alteration of the present or planned land use of this area.

e) The proposed project will not disrupt or divide the physical arrangement of an established community.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation measures are required.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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MINERAL RESOURCES Would the project

29. Mineral Resources

a) Result in the loss of availability of a known mineral	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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resource that would be of value to the region or the residents of the State?

b) Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?

c) Be an incompatible land use located adjacent to a State classified or designated area or existing surface mine?

d) Expose people or property to hazards from proposed, existing or abandoned quarries or mines?

Source: Riverside County General Plan Figure OS-5 "Mineral Resources Area", Geotechnical Reports prepared by Earth-Strata dated 8/21/07, 7/31/08, 8/1/08, 9/5/08, 9/19/08, 9/16/13, and 11/26/13, GIS database

Findings of Fact:

a-d) The proposed project is located within an area designates as MRZ-3a: "Areas where the available geologic information indicates that mineral deposits are likely to exist". However, the significance of the deposits is undetermined. The project area has not been used for mining. Therefore, the project would not result in the loss of availability of a known mineral resource in an area classified or designated by the State that would be of value to the region or the residents of the State. Therefore, the impact is considered less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation measures are required.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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NOISE Would the project result in

Definitions for Noise Acceptability Ratings

Where indicated below, the appropriate Noise Acceptability Rating(s) has been checked.

NA - Not Applicable

A - Generally Acceptable

B - Conditionally Acceptable

C - Generally Unacceptable

D - Land Use Discouraged

30. Airport Noise

a) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport would the project expose people residing or working in the project area to excessive noise levels?

NA A B C D

b) For a project within the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels?

NA A B C D

Source: Riverside County General Plan Figure S-19 "Airport Locations," County of Riverside Airport Facilities Map

Findings of Fact:

a-b) The Site is not located within an airport land use plan or within two miles of a public airport or public use airport that will expose people residing on the Project site to excessive noise levels; or within the vicinity of a private airstrip, that will expose people residing on the Project site to excessive noise levels.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
31. Railroad Noise				
NA <input checked="" type="checkbox"/> A <input type="checkbox"/> B <input type="checkbox"/> C <input type="checkbox"/> D <input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure C-1 "Circulation Plan", GIS database, On-site Inspection

Findings of Fact: The Site is not located adjacent to or near an active railroad line. No impacts will occur as a result of the Project.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
32. Highway Noise				
NA <input checked="" type="checkbox"/> A <input type="checkbox"/> B <input type="checkbox"/> C <input type="checkbox"/> D <input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: On-site Inspection, Project Application Materials, Department of Environmental Health Industrial Hygienist review

Findings of Fact: The proposed project is not located in the vicinity of a major highway. Therefore, there is no impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact

33. Other Noise

NA A B C D

Source: Project Application Materials, GIS database

Findings of Fact: No other noise sources have been identified near the Site that will contribute a significant amount of noise to the Project.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
34. Noise Effects on or by the Project				
a) A substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) A substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
d) Exposure of persons to or generation of excessive ground-borne vibration or ground-borne noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan, Table N-1 ("Land Use Compatibility for Community Noise Exposure"); Project Application Materials, Department of Environmental Health Industrial Hygienist review, "Noise Impact Analysis for the Girard Townhome Project Hemet, California" prepared by Roma Environmental dated 9/30/13

Findings of Fact:

a) Noise levels of up to 65 dBA CNEL are considered to be conditionally acceptable to the County of Riverside provided that a detailed analysis of the required noise reduction requirements is conducted. The County of Riverside Department of Industrial Hygiene requires that exterior noise levels not exceed 65 dBA CNEL/Ldn and that interior noise levels do not exceed 45 dBA CNEL/Ldn. Based on modeled future noise levels associated with Girard Street, exterior noise levels will exceed 65 dBA CNEL/Ldn at lots 34-37 under buildout traffic conditions. This would not be a significant impact because outdoor recreational areas are provided in other areas of the site that are not as affected by traffic noise.

b) Although the Project will increase the ambient noise level in the immediate vicinity during construction, and the general ambient noise level will increase slightly after Project completion, the impacts are not considered significant. All noise generated during Project construction and the operation of the Site must comply with the County's noise standards set for in Riverside County Ordinance 847, which restricts construction (short-term) and operational (long-term) noise levels.

c) The proposed project will not expose people to or generate noise levels in excess of standards established in the local general plan, noise ordinance (County Ordinance No. 847), or applicable standards of other agencies. Exterior noise levels will be limited to less than or equal to 45 dB(A) 10-minute LEQ between the hours of 10:00 p.m. to 7:00 a.m., and 65 dB(A) at all other times pursuant to County Ordinance No. 847. Therefore, impacts are expected to be less than significant.

d) The proposed project will not exposure people to or generate excessive ground-borne vibration or ground-borne noise levels. Therefore, there is no impact.

Mitigation: To mitigate noise impacts during the project construction and within the building construction of individual residential units, the applicant shall comply with the condition of approval that outlines these specifics (10. Planning. 22).

Monitoring: The conditions of approval will be monitored by the Department of Building and Safety Permit Review Process and the Department of Public Health - Industrial Hygiene Division.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
POPULATION AND HOUSING Would the project				
35. Housing				
a) Displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Create a demand for additional housing, particularly housing affordable to households earning 80% or less of the County's median income?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Displace substantial numbers of people, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Affect a County Redevelopment Project Area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Cumulatively exceed official regional or local population projections?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Project Application Materials, GIS database, Riverside County General Plan Housing Element

Findings of Fact:

a) The project will not necessitate the construction or replacement of housing elsewhere. No displacement of existing housing will occur.

b) The proposed project will not create permanent employment opportunities; therefore, it will not create a demand for additional housing.

- c) The project will not displace any people.
- d) The project is not located within or near a County Redevelopment Project Area.
- e) The project will not cumulatively exceed official regional or local population projections.
- f) Development of the proposed project site will have a less than significant impact on inducing substantial population growth in an area either directly (e.g., by proposing new homes and businesses) or indirectly (e.g., through extension of roads or other infrastructure).

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
PUBLIC SERVICES Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered government facilities or the need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:				
36. Fire Services	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan Safety Element

Findings of Fact: The Project area is serviced by the Riverside County Fire Department. Any significant affects will be mitigated by the payment of standard fees to the County of Riverside. The Project will not physically alter existing facilities or result in the construction of new or physically altered facilities. The Project will not have an incremental effect on the level of sheriff services provided in the vicinity of the Project area. Any construction of new facilities required by the cumulative effects of this Project and surrounding Projects will have to meet all applicable environmental standards. The Project will be conditioned to comply with County Ordinance No. 659 which will mitigate potential impacts to fire services to less than significant. This is a standard condition of approval and not considered mitigation for CEQA implementation purposes.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
37. Sheriff Services	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan

Findings of Fact: The Site is serviced by the Riverside County Sheriff's Department. The Project will not have an incremental effect on the level of sheriff services provided in the vicinity of the Site. The

Project will not physically alter existing facilities or result in the construction of new facilities. The Project will not have an incremental effect on the level of sheriff services provided in the vicinity of the Project area. Any construction of new facilities required by the cumulative effects of this Project and surrounding Projects will have to meet all applicable environmental standards. The Project will be conditioned to comply with County Ordinance No. 659 which will mitigate potential impacts to sheriff services to less than significant. This is a standard condition of approval and not considered mitigation for CEQA implementation purposes.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
38. Schools	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan and Hemet Unified School District correspondence, GIS database

Findings of Fact: The Project will not physically alter existing facilities or result in the construction of new facilities. The Project is located within the Hemet Unified School District. Any construction of new facilities required by the cumulative effects of this Project and surrounding Projects will have to meet all applicable environmental standards. The Project will be conditioned to comply with School Mitigation Impact fees in order to mitigate the potential effects to school services. This is a standard condition of approval and pursuant to CEQA is not considered mitigation.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
39. Libraries	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan

Findings of Fact: Library services for existing residences on the Project site are provided by the Riverside County Public Library System. The Riverside County Public Library System requires development fees. The Project will not physically alter existing facilities or result in the construction of new or physically altered facilities. Development fees required by the Riverside County Ordinance No. 659 may be used at the County's discretion to provide additional library facilities. Any construction of new facilities required by the cumulative effects of this Project and surrounding Projects will have to meet all applicable environmental standards. The Project will be conditioned to comply with County Ordinance No. 659 which will mitigate potential impacts to library services to less than significant. This is a standard condition of approval and not considered mitigation for CEQA implementation purposes.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
40. Health Services	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan

Findings of Fact: The use of the proposed 2.96-acre parcel will not cause an impact on health services. The Site is located within the service parameters of County health centers. The Project will not physically alter existing facilities or result in the construction of new facilities. The presence of medical communities generally corresponds with the increase in population associated with the new development. Any construction of new facilities required by the cumulative effects of this Project and surrounding Projects will have to meet all applicable environmental standards. The Project will be conditioned to comply with County Ordinance No. 659 which will mitigate potential impacts to health services to less than significant. This is a standard condition of approval and not considered mitigation for CEQA implementation purposes.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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RECREATION

41. Parks and Recreation

a) Would the project include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?

b) Would the project include the use of existing neighborhood or regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?

c) Is the project located within a Community Service Area (CSA) or recreation and park district with a Community Parks and Recreation Plan (Quimby fees)?

Source: GIS database, Ord. No. 460, Section 10.35 (Regulating the Division of Land – Park and Recreation Fees and Dedications), Ord. No. 659 (Establishing Development Impact Fees), Parks & Open Space Department Review

Findings of Fact: Based on the Project's size, parkland fees will be paid instead of dedicating land for park purposes. As a result, the Project is in compliance with the County's local park code regulations and no significant impacts are anticipated. The proposed subdivision map is subject to the payment of Quimby Fees for the Community Service Area #69 (COA 50. Planning 9.).

Mitigation: No mitigation measures are required.

Monitoring: No mitigation measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
42. Recreational Trails	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riv. Co. 800-Scale Equestrian Trail Maps, Open Space and Conservation Map for Western County trail alignments

Findings of Fact: No County designated trails are proposed on the Site. However, an internal paseo system is proposed within this Project. The paseo shall be shown -on all grading plans and shall be included on the final site development plan.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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TRANSPORTATION/TRAFFIC Would the project

43. Circulation	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a) Conflict with an applicable plan, ordinance or policy establishing a measure of effectiveness for the performance of the circulation system, taking into account all modes of transportation, including mass transit and non-motorized travel and relevant components of the circulation system, including but not limited to intersections, streets, highways and freeways, pedestrian and bicycle paths, and mass transit?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Conflict with an applicable congestion management program, including, but not limited to level of service standards and travel demand measures, or other standards established by the county congestion management agency for designated roads or highways?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Alter waterborne, rail or air traffic?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

e) Substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g. farm equipment)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Cause an effect upon, or a need for new or altered maintenance of roads?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g) Cause an effect upon circulation during the project's construction?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h) Result in inadequate emergency access or access to nearby uses?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
i) Conflict with adopted policies, plans or programs regarding public transit, bikeways or pedestrian facilities, or otherwise substantially decrease the performance or safety of such facilities?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan, Riverside County Transportation Department Review

Findings of Fact:

a) The Transportation Department did not require a traffic study for the proposed project. The project will not cause an increase in traffic which is substantial in relation to the existing traffic loads and capacity of the street system. Nor will the project conflict with any County policy regarding mass transit. The impact is considered less than significant.

b) The project site meets all parking requirements of Ordinance 348 Section 18.12 "Off-Street Parking." The project will not conflict with an applicable congestion management plan. Therefore, there is no impact.

c-d) The proposed project is not located within an Airport Influence Area and does not anticipate an increase in rail or waterborne traffic, including either an increase in traffic levels or a change in location that results in substantial safety risks. Therefore, there is no impact.

e) The proposed project will not substantially increase hazards to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g. farm equipment). Therefore, there is no impact.

f) The project has been conditioned to improve sidewalk, curb, and gutter along Girard Street to meet the requirements for County public right-of-way standards for new residential development. Additionally, a portion of property taxes are provided to the Community Services District to offset the increased cost of maintenance. Therefore, the impact is considered less than significant.

g) During project construction, roadway segments and intersections may be temporarily affected and temporary construction detours may be necessary. However, the effect to circulation is not anticipated to be substantial. Therefore, the impact is considered less than significant.

h) The proposed project is not anticipated to result in inadequate emergency access or access to nearby uses. The project has been conditioned to make road improvements which will allow for access to the site. The project will have two points of access from an existing paved road off Girard Street via two driveways for ingress and egress. These two points of access will allow uninterrupted access for emergency vehicles to access the site. Therefore, the impact is considered less than significant.

i) The proposed project will not conflict with adopted policies supporting alternative transportation. Therefore, there is no impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
44. Bike Trails	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan

Findings of Fact: The project will have no impact on bike trails.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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UTILITY AND SERVICE SYSTEMS Would the project

45. Water				
a) Require or result in the construction of new water treatment facilities or expansion of existing facilities, the construction of which would cause significant environmental effects?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Department of Environmental Health Review

Findings of Fact:

a-b) The Project will be served by the Lake Hemet Water District with existing water facilities pursuant to the arrangement of financial agreements. The Project will not physically alter existing facilities or result in the construction of new facilities. Any construction of new facilities required by the cumulative effects of the Project and surrounding Projects will have to meet all applicable environmental standards. The Project will be conditioned to comply with County Ordinance No. 659 which will mitigate potential impacts to utility services to less than significant. This is a standard condition of approval and not considered mitigation for CEQA implementation purposes.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
46. Sewer				
a) Require or result in the construction of new wastewater treatment facilities, including septic systems, or expansion of existing facilities, the construction of which would cause significant environmental effects?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Result in a determination by the wastewater treatment provider that serves or may service the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Department of Environmental Health Review

Findings of Fact:

a-b) The Site is located within the Lake Hemet Water District sewer services area. The Project will not physically alter existing facilities or result in the construction of new or-physically altered facilities. This Project will be conditioned to comply with County Ordinance No. 659 which will mitigate the potential impacts to sewer services. This is a standard condition of approval and pursuant to CEQA is not considered mitigation.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
47. Solid Waste				
a) Is the project served by a landfill with sufficient permitted capacity to accommodate the project's solid waste disposal needs?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Does the project comply with federal, state, and local statutes and regulations related to solid wastes including the CIWMP (County Integrated Waste Management Plan)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan, Riverside County Waste Management District correspondence, Riverside County Waste Management Department review

Findings of Fact:

a-b) The Project will not substantially alter existing or future solid waste generation patterns and disposal services. A review was completed by the Riverside County Waste Management Department on May 17, 2007, in which recommendations were made to reduce the project's potential solid waste impacts. These are standard conditions of approval and pursuant to CEQA are not considered mitigation. The Project will be consistent with the County Integrated Waste Management Plan.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
48. Utilities				
Would the project impact the following facilities requiring or resulting in the construction of new facilities or the expansion of existing facilities; the construction of which could cause significant environmental effects?				
a) Electricity?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Natural gas?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Communications systems?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Storm water drainage?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Street lighting?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) Maintenance of public facilities, including roads?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g) Other governmental services?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan

Findings of Fact:

a-g) Letters to the applicable servicing entities did not elicit any responses indicating that the Project will require substantial new facilities or expand facilities.

Mitigation: No mitigation measures required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
49. Energy Conservation				
a) Would the project conflict with any adopted energy conservation plans?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source:

Findings of Fact: The County has not adopted any energy conservation plans, nor do any State or Federal energy conservation plans apply to the project site. There is no impact.

Mitigation: No mitigation required.

Monitoring: No monitoring required.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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MANDATORY FINDINGS OF SIGNIFICANCE

50. Does the project have the potential to substantially degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal, or eliminate important examples of the major periods of California history or prehistory?

<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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Source: Staff review, Project Application Materials

Findings of Fact: As noted in more detail in Section 7 above. Implementation of the proposed project would not substantially degrade the quality of the environment, substantially reduce the habitat of fish or wildlife species, cause a fish or wildlife populations to drop below self-sustaining levels, threaten to eliminate a plant or animal community, or reduce the number or restrict the range of a rare or endangered plant or animal, or eliminate important examples of the major periods of California history or prehistory.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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51. Does the project have impacts which are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, other current projects and probable future projects)?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Source: Staff review, Project Application Materials

Findings of Fact: The project does not have impacts which are individually limited, but cumulatively considerable.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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52. Does the project have environmental effects that will cause substantial adverse effects on human beings, either directly or indirectly?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Source: Staff review, project application

Findings of Fact: The proposed project would not result in environmental effects which would cause substantial adverse effects on human beings, either directly or indirectly.

VI. EARLIER ANALYSES

Earlier analyses may be used where, pursuant to the tiering, program EIR, or other CEQA process, an effect has been adequately analyzed in an earlier EIR or negative declaration as per California Code of Regulations, Section 15063 (c) (3) (D). In this case, a brief discussion should identify the following:

Earlier Analyses Used, if any:

"Air Quality and Greenhouse Assessment" prepared by Scientific Resources Associated, dated October 17, 2013

"Phase I Archaeological Assessment for the Girard Street Properties" prepared Scientific Resource Surveys Inc. dated August 2007

"A Cultural Resource Assessment Update for the Girard Townhome Project" prepared by Brian F. Smith and Associates dated September 30, 2013

Geotechnical Reports prepared by Earth-Strata dated 8/21/07, 7/31/08, 8/1/08, 9/5/08, 9/19/08, 9/16/13, and 11/26/13

"Noise Impact Analysis for the Girard Townhome Project Hemet, California" prepared by Roma Environmental dated 9/30/13

U.S.D.A. Soil Conservation Service Soil Surveys

Multiple Species Habitat Conservation Plan (Volume 1, Section 6.1.4).

Location Where Earlier Analyses, if used, are available for review:

Location: County of Riverside Planning Department
4080 Lemon Street, 12th Floor
Riverside, CA 92505

VI. AUTHORITIES CITED

Authorities cited: Public Resources Code Sections 21083 and 21083.05; References: California Government Code Section 65088.4; Public Resources Code Sections 21080(c), 21080.1, 21080.3, 21082.1, 21083, 21083.05, 21083.3, 21093, 21094, 21095 and 21151; *Sundstrom v. County of Mendocino* (1988) 202 Cal.App.3d 296; *Leonoff v. Monterey Board of Supervisors* (1990) 222 Cal.App.3d 1337; *Eureka Citizens for Responsible Govt. v. City of Eureka* (2007) 147 Cal.App.4th 357; *Protect the Historic Amador Waterways v. Amador Water Agency* (2004) 116 Cal.App.4th at 1109; *San Franciscans Upholding the Downtown Plan v. City and County of San Francisco* (2002) 102 Cal.App.4th 656.

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TRACT MAP Tract #: TR35477

Parcel: 447-150-045

10. GENERAL CONDITIONS

EVERY DEPARTMENT

10. EVERY. 1

MAP - PROJECT DESCRIPTION

RECOMMND

The land division hereby permitted is for a Schedule A condominium subdivision for construction of 37 townhomes on 2.96 acres.

10. EVERY. 2

MAP - HOLD HARMLESS

RECOMMND

The applicant/permittee or any successor-in-interest shall defend, indemnify, and hold harmless the County of Riverside or its agents, officers, and employees (COUNTY) from the following:

(a) any claim, action, or proceeding against the COUNTY to attack, set aside, void, or annul an approval of the COUNTY, its advisory agencies, appeal boards, or legislative body concerning the TENTATIVE MAP, which action is brought within the time period provided for in California Government Code, Section 66499.37; and,

(b) any claim, action or proceeding against the COUNTY to attack, set aside, void or annul any other decision made by the COUNTY concerning the TENTATIVE MAP, including, but not limited to, decisions made in response to California Public Records Act requests.

The COUNTY shall promptly notify the applicant/permittee of any such claim, action, or proceeding and shall cooperate fully in the defense. If the COUNTY fails to promptly notify the applicant/permittee of any such claim, action, or proceeding or fails to cooperate fully in the defense, the applicant/permittee shall not, thereafter, be responsible to defend, indemnify or hold harmless the COUNTY.

The obligations imposed by this condition include, but are not limited to, the following: the applicant/permittee shall pay all legal services expenses the COUNTY incurs in connection with any such claim, action or proceeding, whether it incurs such expenses directly, whether it is ordered by a court to pay such expenses, or whether it incurs such expenses by providing legal services through its Office of County Counsel.

06/23/14
11:22

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 2

TRACT MAP Tract #: TR35477

Parcel: 447-150-045

10. GENERAL CONDITIONS

10. EVERY. 3 MAP - DEFINITIONS

RECOMMND

The words identified in the following list that appear in all capitals in the attached conditions of Tentative Tract Map No. 35477 shall be henceforth defined as follows:

TENTATIVE MAP = Tentative Tract Map No. 35477, Amended No. 4, dated 12/31/13.

FLOOR PLANS AND ELEVATIONS = Exhibit B dated 9/3/12, Exhibit C dated 9/3/12

FINAL MAP = Final Map or Parcel Map for the TENTATIVE MAP whether recorded in whole or in phases.

10. EVERY. 4 MAP - 90 DAYS TO PROTEST

RECOMMND

The land divider has 90 days from the date of approval of these conditions to protest, in accordance with the procedures set forth in Government Code Section 66020, the imposition of any and all fees, dedications, reservations and/or other exactions imposed on this project as a result of the approval or conditional approval of this project.

BS GRADE DEPARTMENT

10.BS GRADE. 1 MAP - GENERAL INTRODUCTION

RECOMMND

Improvements such as grading, filling, stockpiling, over excavation and recompaction, and base or paving which require a grading permit are subject to the included Building and Safety Department conditions of approval.

10.BS GRADE. 3 MAP - OBEY ALL GDG REGS

RECOMMND

All grading shall conform to the California Building Code, Ordinance 457, and all other relevant laws, rules, and regulations governing grading in Riverside County and prior to commencing any grading which includes 50 or more cubic yards, the applicant shall obtain a grading permit from the Building and Safety Department.

10.BS GRADE. 4 MAP - DISTURBS NEED G/PMT

RECOMMND

Ordinance 457 requires a grading permit prior to clearing, grubbing, or any top soil disturbances related to construction grading.

06/23/14
11:22

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 3

TRACT MAP Tract #: TR35477

Parcel: 447-150-045

10. GENERAL CONDITIONS

10.BS GRADE. 6

MAP - NPDES INSPECTIONS

RECOMMND

Construction activities including clearing, stockpiling, grading or excavation of land which disturbs less than 1 acre and requires a grading permit or construction Building permit shall provide for effective control of erosion, sediment and all other pollutants year-round. The permit holder shall be responsible for the installation and monitoring of effective erosion and sediment controls. Such controls will be evaluated by the Department of Building and Safety periodically and prior to permit Final to verify compliance with industry recognized erosion control measures.

Construction activities including but not limited to clearing, stockpiling, grading or excavation of land, which disturbs 1 acre or more or on-sites which are part of a larger common plan of development which disturbs less than 1 acre are required to obtain coverage under the construction general permit with the State Water Resources Control Board. You are required to provide proof of WDID# and keep a current copy of the storm water pollution prevention plan (SWPPP) on the construction site and shall be made available to the Department of Building and Safety upon request.

Year-round, Best Management Practices (BMP's) shall be maintained and be in place for all areas that have been graded or disturbed and for all material, equipment and/or operations that need protection. Stabilized Construction Entrances and project perimeter linear barriers are required year round. Removal BMP's (those BMP's which must be temporarily removed during construction activities) shall be in place at the end of each working day.

Monitoring for erosion and sediment control is required and shall be performed by the QSD or QSP as required by the Construction General Permit. Stormwater samples are required for all discharge locations and projects may not exceed limits set forth by the Construction General Permit Numeric Action Levels and/or Numeric Effluent Levels. A Rain Event Action Plan is required when there is a 50% or greater forecast of rain within the 48 hours, by the National Weather Service or whenever rain is imminent. The QSD or QSP must print and save records of the precipitation forecast for the project location area from (<http://www.srh.noaa.gov/forecast>) and must accompany monitoring reports and sampling test data. A Rain gauge is

TRACT MAP Tract #: TR35477

Parcel: 447-150-045

10. GENERAL CONDITIONS

10.BS GRADE. 6 MAP - NPDES INSPECTIONS (cont.) RECOMMND

required on site. The Department of Building and Safety will conduct periodic NPDES inspections of the site throughout the recognized storm season to verify compliance with the Construction General Permit and Stormwater ordinances and regulations.

10.BS GRADE. 7 MAP - EROS CNTRL PROTECT RECOMMND

Graded but undeveloped land shall provide, in addition to erosion control planting, any drainage facility deemed necessary to control or prevent erosion. Additional erosion protection may be required during the rainy season from October 1, to May 31.

10.BS GRADE. 8 MAP - DUST CONTROL RECOMMND

All necessary measures to control dust shall be implemented by the developer during grading. A PM10 plan may be required at the time a grading permit is issued.

10.BS GRADE. 9 MAP - 2:1 MAX SLOPE RATIO RECOMMND

Graded slopes shall be limited to a maximum steepness ratio of 2:1 (horizontal to vertical) unless otherwise approved.

10.BS GRADE. 11 MAP - MINIMUM DRNAGE GRADE RECOMMND

Minimum drainage grade shall be 1% except on portland cement concrete where .35% shall be the minimum.

10.BS GRADE. 12 MAP - DRNAGE & TERRACING RECOMMND

Provide drainage facilities and terracing in conformance with the California Building Code's chapter on "EXCAVATION & GRADING".

10.BS GRADE. 13 MAP - SLOPE SETBACKS RECOMMND

Observe slope setbacks from buildings & property lines per the California Building Code as amended by Ordinance 457.

10.BS GRADE. 23 MAP - MANUFACTURED SLOPES RECOMMND

Plant and irrigate all manufactured slopes equal to or greater than 3 feet in vertical height with drought tolerant grass or ground cover; slopes 15 feet or greater

06/23/14
11:22

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 5

TRACT MAP Tract #: TR35477

Parcel: 447-150-045

10. GENERAL CONDITIONS

10.BS GRADE. 23 MAP - MANUFACTURED SLOPES (cont.) RECOMMND

in vertical height shall also be planted with drought tolerant shrubs or trees in accordance with the requirements of Ordinance 457.

10.BS GRADE. 24 MAP - FINISH GRADE RECOMMND

Finish grade shall be sloped to provide proper drainage away from all exterior foundation walls in accordance with the California Building Code and Ordinance 457.

E HEALTH DEPARTMENT

10.E HEALTH. 1 LHMWD WATER AND SEWER SERVICE RECOMMND

Tract Map 35477 is proposing to receive potable water service and sanitary sewer service from Lake Hemet Municipal Water District (LHMWD). It is the responsibility of the developer to ensure that all requirements to obtain water and sewer service are met with LHMWD as well as all other applicable agencies.

10.E HEALTH. 2 INDUSTRIAL HYGIENE-NOISE STUDY RECOMMND

Noise Consultant: Roma Environmental
31751 Sandhill Lane
Temecula, CA 92591

Noise Study: "Noise Impact Analysis for the Girard Townhome Project, Hemet, California" dated September 2013.

Based on the County of Riverside, Industrial Hygiene Program's review of the aforementioned Noise Study, Tentative Tract No. 35477 shall comply with the recommendations set forth under the Industrial Hygiene Program's response letter dated May 16, 2014 c/o Steve Hinde, REHS, CIH (RivCo Industrial Hygienist).

For further information, please contact the Industrial Hygiene Program at (951) 955-8980.

06/23/14
11:22

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 6

TRACT MAP Tract #: TR35477

Parcel: 447-150-045

10. GENERAL CONDITIONS

FIRE DEPARTMENT

10.FIRE. 1 MAP-#50-BLUE DOT REFLECTORS

RECOMMND

Blue retroreflective pavement markers shall be mounted on private streets, public streets and driveways to indicate location of fire hydrants. Prior to installation, placement of markers must be approved by the Riverside County Fire Department.

10.FIRE. 2 MAP-#16-HYDRANT/SPACING

RECOMMND

Schedule fire protection approved standard fire hydrants, (6"x4"x2 1/2") located one at each street intersection and spaced no more than 500 feet apart in any direction, with no portion of any lot frontage more than 250 feet from a hydrant. Minimum fire flow shall be 1000 GPM for 2 hour duration at 20 PSI. Shall include perimeter streets at each intersection and spaced 1,000 feet apart.

10.FIRE. 3 MAP -AMD#5 EXHIBIT

RECOMMND

ALL CONDITIONS ARE PER AMENDED #5 EXHIBIT DATED 12/31/13.

FLOOD RI DEPARTMENT

10.FLOOD RI. 1 MAP FLOOD HAZARD REPORT

RECOMMND

TR 35477 is a proposal to subdivide 2.69 acres into residential lots in the San Jacinto area. The site is located north of Whittier Ave, south of Mayberry Ave and west of Girard St.

The site receives minimum offsite runoff. It shall be noted that the topography for this project drains to the west towards an existing development with little or no drainage infrastructure. This development would adversely impact downstream property owners by increasing the rate and volume of flood flows and impacting water quality. The lack of adjacent flood control facilities makes conventional mitigation difficult. An increased runoff basin appears infeasible. Substantial water quality features and site design will be required to mitigate both impacts.

The District has received the revised Preliminary Hydrology Report and a revised Preliminary Water Quality Management Plan on 8/14/08. The Hydrology Report submitted with

06/23/14
11:22

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 7

TRACT MAP Tract #: TR35477

Parcel: 447-150-045

10. GENERAL CONDITIONS

10.FLOOD RI. 1

MAP FLOOD HAZARD REPORT (cont.)

RECOMMND

Amended 4 exhibits is an older version, the District comments are based on the report recieved on 8/14/08. The project proposes to drain onsite flows to the west to an infiltration trench. This proposed infiltration trench will mitigate for increase run off as well as water quality. Conceptually the drainage scheme is acceptable to the District, but the depth of porous concrete and gravel will have to be adjusted at improvement plan check per the back up calculations. It should be noted that the final project specific WQMP shall meet the current Municipal Seperate Storm Sewer System (MS4) permit requirements. A copy of the project specific WQMP shall be submitted to the District for review and approval upon issuance of permits or map recordation.

The site is located within the bounds of the Hemet Regional and the Salt Creek/North Hemet Area Drainage Plans (ADP) for which drainage fees have been established by the Board of Supervisors. Applicable ADP fees will be due (in accordance with the Rules and Regulations for Administration of Area Drainage Plans) prior to permits for this project. Although the current fees for this ADP's are \$5,134 and \$131 per acre respectively, the fees due will be based on the fees in effect at the time of payment. The fees are payable to the Flood Control District by cashier's check or money order only. The District will not accept personal or company checks.

10.FLOOD RI. 5

MAP PERP DRAINAGE PATTERNS

RECOMMND

The property's street and lot grading shall be designed in a manner that perpetuates the existing natural drainage patterns with respect to tributary drainage areas, outlet points and outlet conditions. Otherwise, a drainage easement shall be obtained from the affected property owners for the release of concentrated or diverted storm flows. A copy of the recorded drainage easement shall be submitted to the District for review.

10.FLOOD RI. 12

MAP INCREASED RUNOFF

RECOMMND

The development of this site will adversely impact downstream property owners by increasing the rate and volume of flood flows. To mitigate this impact, the developer has proposed a detention basin. Although final design of the basin will not be required until the

TRACT MAP Tract #: TR35477

Parcel: 447-150-045

10. GENERAL CONDITIONS

10.FLOOD RI. 12 MAP INCREASED RUNOFF (cont.)

RECOMMND

improvement plan stage of this development, the applicant's engineer has submitted a preliminary hydrology and hydraulics study that indicates that the general size, shape, and location of the proposed basin is sufficient to mitigate the impacts of the development.

10.FLOOD RI. 13 MAP INCREASED RUNOFF CRITERIA

RECOMMND

The development of this site would increase peak flow rates on downstream properties. Mitigation shall be required to offset such impacts. An increased runoff basin shall be shown on the exhibit and calculations supporting the size of the basin shall be submitted to the District for review.

The entire area of proposed development will be routed through a detention facility(s) to mitigate increased runoff. All basins must have positive drainage; dead storage basins shall not be acceptable.

A complete drainage study including, but not limited to, hydrologic and hydraulic calculations for the proposed detention basin shall be submitted to the District for review and approval.

Storms to be studied will include the 1-hour, 3-hour, 6-hour and 24-hour duration events for the 2-year, 5-year and 10-year return frequencies. Detention basin(s) and outlet(s) sizing will ensure that none of these storm events has a higher peak discharge in the post-development condition than in the pre-development condition. For the 2-year and 5-year events the loss rate will be determined using an AMC I condition. For the 10-year event AMC II will be used. Constant loss rates shall be used for the 1-hour, 3-hour and 6-hour events. A variable loss rate shall be used for the 24-hour events.

Low Loss rates will be determined using the following:

1. Undeveloped Condition --> LOW LOSS = 90%
2. Developed Condition --> LOW LOSS = .9 - (.8x%IMPERVIOUS)
3. Basin Site --> LOW LOSS = 10%

Where possible and feasible the on-site flows should be mitigated before combining with off-site flows to minimize the size of the detention facility required. If it is necessary to combine off-site and on-site flows into a detention facility two separate conditions should be evaluated for each duration/return period/before-after

TRACT MAP Tract #: TR35477

Parcel: 447-150-045

10. GENERAL CONDITIONS

10.FLOOD RI. 13

MAP INCREASED RUNOFF CRITERIA (cont.)

RECOMMND

development combination studied; the first for the total tributary area (off-site plus on-site), and the second for the area to be developed alone (on-site). It must be clearly demonstrated that there is no increase in peak flow rates under either condition (total tributary area or on-site alone), for each of the return period/duration combinations required to be evaluated. A single plot showing the pre-developed, post-developed and routed hydrographs for each storm considered, shall be included with the submittal of the hydrology study.

No outlet pipe(s) will be less than 18" in diameter. Where necessary an orifice plate may be used to restrict outflow rates. Appropriate trash racks shall be provided for all outlets less than 48" in diameter.

The basin(s) and outlet structure(s) must be capable of passing the 100-year storm without damage to the facility. Embankment shall be avoided in all cases unless site constraints or topography make embankment unavoidable in the judgment of the General Manager-Chief Engineer.

Mitigation basins should be designed for joint use and be incorporated into open space or park areas. Sideslopes should be no steeper than 4:1 and depths should be minimized where public access is uncontrolled.

A viable maintenance mechanism, acceptable to both the County and the District, should be provided for detention facilities. Generally, this would mean a CSA, landscape district, parks agency or commercial property owners association. Residential homeowners associations are discouraged.

10.FLOOD RI. 16

MAP WQMP ESTABL MAINT ENTITY

RECOMMND

This project proposes BMP facilities that will require maintenance by a public agency or homeowner's association. To ensure that the public is not unduly burdened with future costs, prior to final approval or recordation of this case, the District will require an acceptable financial mechanism be implemented to provide for maintenance of treatment control BMPs in perpetuity. This may consist of a mechanism to assess individual benefiting property owners, or other means approved by the District. The site's treatment control BMPs must be shown on the

TRACT MAP Tract #: TR35477

Parcel: 447-150-045

10. GENERAL CONDITIONS

10.FLOOD RI. 16 MAP WQMP ESTABL MAINT ENTITY (cont.)

RECOMMND

project's improvement plans - either the street plans, grading plans, or landscaping plans. The type of improvement plans that will show the BMPs will depend on the selected maintenance entity.

10.FLOOD RI. 17 MAP SUBMIT FINAL WQMP>PRELIM

RECOMMND

In compliance with Santa Ana Region and San Diego Region Regional Water Quality Control Board Orders, and Beginning January 1, 2005, projects submitted within the western region of the unincorporated area of Riverside County for discretionary approval will be required to comply with the Water Quality Management Plan for Urban Runoff (WQMP). The WQMP addresses post-development water quality impacts from new development and redevelopment projects. The WQMP requirements will vary depending on the project's geographic location (Santa Ana, Santa Margarita or Whitewater River watersheds). The WQMP provides detailed guidelines and templates to assist the developer in completing the necessary studies. These documents are available on-line at:
www.floodcontrol.co.riverside.ca.us under Programs and Services, Stormwater Quality.

To comply with the WQMP a developer must submit a "Project Specific" WQMP. This report is intended to a) identify potential post-project pollutants and hydrologic impacts associated with the development; b) identify proposed mitigation measures (BMPs) for identified impacts including site design, source control and treatment control post-development BMPs; and c) identify sustainable funding and maintenance mechanisms for the aforementioned BMPs. A template for this report is indicated as 'exhibit A' on the website above. A final Project Specific WQMP must be approved by the District prior to issuance of building or grading permits.

Projects that require a Project Specific WQMPs were required to submit a PRELIMINARY Project Specific WQMP along with the land-use application package in the tentative phase of development in order to obtain recommended conditions of approval. The developer has submitted a report that minimally meets the criteria for a preliminary project specific WQMP of addressing points a, b, and c above. It shall be noted that while the preliminary project specific WQMP was adequate at that

TRACT MAP Tract #: TR35477

Parcel: 447-150-045

10. GENERAL CONDITIONS

10.FLOOD RI. 17 MAP SUBMIT FINAL WQMP>PRELIM (cont.) RECOMMND

stage, the preliminary WQMP report will need significant revisions at the improvement plan check phase of the development in order to meet the requirements of a final project specific WQMP - including detailed drawings for the BMPs along with all supporting calculations. It should also be noted that if 401 certification is necessary for the project, the Water Quality Control Board may require additional water quality measures.

10.FLOOD RI. 19 MAP BMP MAINTENANCE & INSPECT RECOMMND

The CC&R's for the development's Home/Property Owners Association (HOA/POA) shall contain provisions for all privately owned structural best management practices (BMPs) to be inspected, and if required, cleaned no later than October 15 each year. The CC&R's shall identify the entity that will inspect and maintain all structural BMPs within the project boundaries. A copy of the CC&R's shall be submitted to the District for review and approval prior to the recordation of the map.

PLANNING DEPARTMENT

10.PLANNING. 1 MAP - IF HUMAN REMAINS FOUND RECOMMND

If human remains are encountered, State Health and Safety Code Section 7050.5 states that no further disturbance shall occur until the Riverside County Coroner has made the necessary findings as to origin. Further, pursuant to Public Resource Code Section 5097.98(b) remains shall be left in place and free from disturbance until a final decision as to the treatment and disposition has been made. If the Riverside County Coroner determines the remains to be Native American, the Native American Heritage Commission shall be contacted within a reasonable timeframe. Subsequently, the Native American Heritage Commission shall identify the "most likely descendant." The most likely descendant shall then make recommendations and engage in consultation concerning the treatment of the remains as provided in Public Resources Code Section 5097.98.

10.PLANNING. 2 MAP - INADVERTENT ARCHAEO FIND RECOMMND

If during ground disturbance activities, unique cultural resources are discovered that were not assessed by the

TRACT MAP Tract #: TR35477

Parcel: 447-150-045

10. GENERAL CONDITIONS

10.PLANNING. 2

MAP - INADVERTENT ARCHAEO FIND (cont.)

RECOMMND

archaeological report(s) and/or environmental assessment conducted prior to project approval, the following procedures shall be followed. Unique cultural resources are defined, for this condition, as being multiple artifacts in close association with each other, but may include fewer artifacts if the area of the find is determined to be of significance due to its sacred or cultural importance.

1. All ground disturbance activities within 100 feet of the discovered cultural resources shall be halted until a meeting is convened between the developer, the archaeologist, the Native American tribal representative and the Planning Director to discuss the significance of the find.

2. At the meeting, the significance of the discoveries shall be discussed and after consultation with the Native American tribal representative and the archaeologist, a decision shall be made, with the concurrence of the Planning Director, as to the appropriate mitigation (documentation, recovery, avoidance, etc.) for the cultural resources.

3. Grading of further ground disturbance shall not resume within the area of the discovery until an agreement has been reached by all parties as to the appropriate mitigation.

10.PLANNING. 3

MAP - PDA04527

RECOMMND

PDA4527 PHASE II ACCEPTED
INFORMATIONAL:

County Archaeological Report (PDA) No4527, submitted for this project (TR35477) was prepared by Brian F. Smith and Associates and is entitled: "A Cultural Resource Assessment Update for the Girard Townhome Project, TR35477, Riverside County, California", dated September 30, 2013.

According to the study, one historic structure (P-33-166490) was evaluated for significance. The evaluation revealed that the resource lacked integrity, architecturally distinguishing features, and associated subsurface deposits, as well as not being linked to any significant or historically important individuals. Therefore, there will be no impacts to "historical resources" or "unique archaeological resources" as defined by CEQA.

This study has been incorporated as part of this project,

TRACT MAP Tract #: TR35477

Parcel: 447-150-045

10. GENERAL CONDITIONS

10.PLANNING. 3 MAP - PDA04527 (cont.)

RECOMMND

and has been accepted.

10.PLANNING. 4 MAP - INADVERTENT ARCHAEO FIND

RECOMMND

INADVERTENT ARCHAEOLOGICAL FINDS:

The developer/permit holder or any successor in interest shall comply with the following for the life of this permit:

If during ground disturbance activities, cultural resources* are discovered that were not assessed by the archaeological report(s) and/or environmental assessment conducted prior to project approval, the following procedures shall be followed:

1)All ground disturbance activities within 100 feet of the discovered cultural resource shall be halted until a meeting is convened between the developer, the project archaeologist**, the Native American tribal representative (or other appropriate ethnic/cultural group representative), and the County Archaeologist to discuss the significance of the find.

2)The developer shall call the County Archaeologist immediately upon discovery of the cultural resource to convene the meeting.

3)At the meeting with the aforementioned parties, the significance of the discoveries shall be discussed and a decision is to be made, with the concurrence of the County Archaeologist, as to the appropriate mitigation (documentation, recovery, avoidance, etc) for the cultural resource.

4)Further ground disturbance shall not resume within the area of the discovery until a meeting has been convened with the aforementioned parties and a decision is made, with the concurrence of the County Archaeologist, as to the appropriate mitigation measures.

* A cultural resources site is defined, for this condition, as being three or more artifacts in close association with each other, but may include fewer artifacts if the area of the find is determined to be of significance due to its sacred or cultural importance.

06/23/14
11:22

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 14

TRACT MAP Tract #: TR35477

Parcel: 447-150-045

10. GENERAL CONDITIONS

10.PLANNING. 4 MAP - INADVERTENT ARCHAEO FIND (cont.) RECOMMND

** If not already employed by the project developer, a County approved archaeologist shall be employed by the project developer to assess the value/importance of the cultural resource, attend the meeting described above, and continue monitoring of all future site grading activities as necessary.

10.PLANNING. 5 MAP - IF HUMAN REMAINS FOUND RECOMMND

IF HUMAN REMAINS ARE FOUND ON THIS SITE:

The developer/permit holder or any successor in interest shall comply with the following codes:

Pursuant to State Health and Safety Code Section 7050.5, if human remains are encountered, no further disturbance shall occur until the County Coroner has made the necessary findings as to origin. Further, pursuant to Public Resources Code Section 5097.98 (b), remains shall be left in place and free from disturbance until a final decision as to the treatment and their disposition has been made. If the Riverside County Coroner determines the remains to be Native American, the Native American Heritage Commission shall be contacted within the period specified by law. Subsequently, the Native American heritage Commission shall identify the "Most Likely Descendant". The Most Likely Descendant shall then make recommendations and engage in consultation with the property owner and the County Archaeologist concerning the treatment of the remains as provided in Public Resources Code Section 5097.98. Human remains from other ethnic/cultural groups with recognized historical associations to the project area shall also be subject to consultation between appropriate representatives from that group and the County Archaeologist.

10.PLANNING. 6 MAP - GEO02003 RECOMMND

County Geologic Report (GEO) No. 2003, submitted for this project (TR35477) was prepared by Earth - Strata, Inc. and is entitled: "Preliminary Geotechnical Interpretive Report, Proposed Multi-Family Residential Development, Assessor's Parcel Numbers 474-150-044 and -045, Located at 26399 Girard Street, Hemet Area of Riverside County, California, Project No. 07179-10A" dated August 21, 2007. In addition, the following

06/23/14
11:22

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 14

TRACT MAP Tract #: TR35477

Parcel: 447-150-045

10. GENERAL CONDITIONS

10.PLANNING. 4 MAP - INADVERTENT ARCHAEO FIND (cont.) RECOMMND

** If not already employed by the project developer, a County approved archaeologist shall be employed by the project developer to assess the value/importance of the cultural resource, attend the meeting described above, and continue monitoring of all future site grading activities as necessary.

10.PLANNING. 5 MAP - IF HUMAN REMAINS FOUND RECOMMND

IF HUMAN REMAINS ARE FOUND ON THIS SITE:

The developer/permit holder or any successor in interest shall comply with the following codes:

Pursuant to State Health and Safety Code Section 7050.5, if human remains are encountered, no further disturbance shall occur until the County Coroner has made the necessary findings as to origin. Further, pursuant to Public Resources Code Section 5097.98 (b), remains shall be left in place and free from disturbance until a final decision as to the treatment and their disposition has been made. If the Riverside County Coroner determines the remains to be Native American, the Native American Heritage Commission shall be contacted within the period specified by law. Subsequently, the Native American heritage Commission shall identify the "Most Likely Descendant". The Most Likely Descendant shall then make recommendations and engage in consultation with the property owner and the County Archaeologist concerning the treatment of the remains as provided in Public Resources Code Section 5097.98. Human remains from other ethnic/cultural groups with recognized historical associations to the project area shall also be subject to consultation between appropriate representatives from that group and the County Archaeologist.

10.PLANNING. 6 MAP - GEO02003 RECOMMND

County Geologic Report (GEO) No. 2003, submitted for this project (TR35477) was prepared by Earth - Strata, Inc. and is entitled: "Preliminary Geotechnical Interpretive Report, Proposed Multi-Family Residential Development, Assessor's Parcel Numbers 474-150-044 and -045, Located at 26399 Girard Street, Hemet Area of Riverside County, California, Project No. 07179-10A" dated August 21, 2007. In addition, the following

06/23/14
11:22

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 15

TRACT MAP Tract #: TR35477

Parcel: 447-150-045

10. GENERAL CONDITIONS

10.PLANNING. 6 MAP - GEO02003 (cont.)

RECOMMND

reports were submitted for this project:

1."Updated Preliminary Geotechnical Interpretive Report, Proposed Multi-Family Residential Development, Assessor's Parcel Numbers 474-150-044 and -045, Located at 26399 Girard Street, Hemet Area of Riverside County, California, Project No. 07179-10B", dated July 31, 2008.

2."Response to the County of Riverside Review Comments Regarding County Geologic Report 02003, Proposed Multi-Family Residential Development, Assessor's Parcel Number 447-150-044 and -045, Located at 26399 Girard Street, Hemet Area of Riverside County, California, Project No. 07179-70A" dated August 1, 2008.

3."Second Response to the County of Riverside Review Comments Regarding County Geologic Report 02003, Proposed Multi-Family Residential Development, Assessor's Parcel Number 447-150-044 and -045, Located at 26399 Girard Street, Hemet Area, Riverside County, California, Project No. 07179-70A" dated September 5, 2008.

4."Third Response to the County of Riverside Review Comments Regarding County Geologic Report 02003, Proposed Multi-Family Residential Development, Assessor's Parcel Number 447-150-044 and -045, Located at 26399 Girard Street, Hemet Area, Riverside County, California, Project No. 07179-70D" dated September 19, 2008.

5."Updated Preliminary Geotechnical Interpretive Report, Proposed Multi-Family Residential Development, Assessor's Parcel Numbers 474-150-044 and -045, Located at 26399 Girard Street, Hemet Area of Riverside County, California, Project No. 13282-10A" dated September 16, 2013.

6. "Response to the County of Riverside Review Comments Regarding County Geologic Report, Proposed Multi-Family Residential Developmetn, City of Hemet, Riverside Coutny, California", dated November 26, 2013.

These additional reports are herein considered part of GEO 2003.

GEO02003 concluded:

1.No active faults are known to project through the site.

06/23/14
11:22

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 16

TRACT MAP Tract #: TR35477

Parcel: 447-150-045

10. GENERAL CONDITIONS

10. PLANNING. 6

MAP - GEO02003 (cont.) (cont.)

RECOMMND

2. The potential for surface rupture to adversely impact the proposed structures is very low to remote.

3. Liquefaction induced settlement and dynamic settlement of sands could be up to 11 inches. Dynamic settlement can be reduced to 4.5 inches with differential settlement on the order of 3 inches when removals are made to 21 feet.

4. The potential for lateral spreading is remote.

5. Landslide debris was not observed and no ancient landslides are known to exist on the site.

6. When properly constructed, fill slopes up to 10 feet high with inclinations of 2:1 (h:v) or flatter are considered to be grossly stable, .

7. Cut slopes in alluvium up to 10 feet high with inclinations of 2:1 (h:v) or flatter are considered grossly stable.

GEO02003 recommended:

1. Removals to 21 feet.

2. The project geotechnical consultant or his representative should be present to observe grading operations.

3. Cut slopes should be observed by the engineering geologist or his representative during grading.

GEO No. 2003 satisfies the requirement for a Geologic/Seismic Study for Planning /CEQA purposes. GEO No. 2003 is hereby accepted for Planning purposes. This approval is not intended, and should not be misconstrued as approval for grading permit. Engineering and other building code parameters will be reviewed and additional comments and/or conditions may be imposed by the Building and Safety Department upon application for grading and/or building permits.

An environmental constraints sheet (ECS) shall be prepared relative to the liquefaction hazard and related settlement potential at this site as described elsewhere in this conditions set.

TRACT MAP Tract #: TR35477

Parcel: 447-150-045

10. GENERAL CONDITIONS

10.PLANNING. 7 MAP - MAP ACT COMPLIANCE

RECOMMND

This land division shall comply with the State of California Subdivision Map Act and to all requirements of County Ordinance No. 460, Schedule A, unless modified by the conditions listed herein.

10.PLANNING. 8 MAP - FEES FOR REVIEW

RECOMMND

Any subsequent review/approvals required by the conditions of approval, including but not limited to grading or building plan review or review of any mitigation monitoring requirement, shall be reviewed on an hourly basis, or other appropriate fee, as listed in county Ordinance No. 671. Each submittal shall be accompanied with a letter clearly indicating which condition or conditions the submittal is intended to comply with.

10.PLANNING. 14 MAP - RES. DESIGN STANDARDS

RECOMMND

The design standards for the subdivision are as follows:

- a. Lots created by this map shall conform to the design standards of the R-3 zone.
- b. The front yard setback is 10 feet.
- c. The side yard setback is 5 feet.
- d. The rear yard setback is 10 feet, except where a rear yard abuts a street, then the setback shall be the same as the front yard setback, in accordance with Section 21.77 of Ordinance No. 348.
- e. The maximum height of any building is 50-75 feet.
- f. The minimum parcel size is one acre.
- j. No more than 60% of the lot shall be covered by structure.
- k. Residential driveway approaches shall be a minimum of 12 feet and a maximum of 30 feet in width, and 20 feet of full height curb is required between driveways within any one property frontage, in accordance with Ord. No. 461, Standard No. 207.

EXCEPT AS ALLOWED BY ORDINANCE NO. 348, AND THE COUNTYWIDE DESIGN STANDARDS AND GUIDELINES, THERE SHALL BE NO ENCROACHMENT INTO ANY SETBACK.

10.PLANNING. 15 MAP - ORD NO. 659 (DIF)

RECOMMND

Prior to the issuance of either a certificate of occupancy or prior to building permit final inspection, the applicant

06/23/14
11:22

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 18

TRACT MAP Tract #: TR35477

Parcel: 447-150-045

10. GENERAL CONDITIONS

10.PLANNING. 15 MAP - ORD NO. 659 (DIF) (cont.)

RECOMMND

shall comply with the provisions of Riverside County Ordinance No. 659, which requires the payment of the appropriate fee set forth in the Ordinance. Riverside County Ordinance No. 659 has been established to set forth policies, regulations and fees related to the funding and construction of facilities necessary to address the direct and cumulative environmental effects generated by new development projects described and defined in this Ordinance, and it establishes the authorized uses of the fees collected.

The fee shall be paid for each residential unit to be constructed within this land division. In the event Riverside County Ordinance No. 659 is rescinded, this condition will no longer be applicable. However, should Riverside County Ordinance No. 659 be rescinded and superseded by a subsequent mitigation fee ordinance, payment of the appropriate fee set forth in that ordinance shall be required.

10.PLANNING. 16 MAP - ORD 810 OPN SPACE FEE

RECOMMND

Prior to the issuance of either a certificate of occupancy or prior to building permit final inspection, the applicant shall comply with the provisions of Riverside County Ordinance No. 810, which requires payment of the appropriate fee set forth in the Ordinance. Riverside County Ordinance No. 810 has been established to set forth policies, regulations and fees related to the funding and acquisition of open space and habitat necessary to address the direct and cumulative environmental effects generated by new development projects described and defined in this Ordinance.

The fee shall be paid for each residential unit to be constructed within this land division.

In the event Riverside County Ordinance No. 810 is rescinded, this condition will no longer be applicable. However, should Riverside County Ordinance No. 810 be rescinded and superseded by a subsequent mitigation fee ordinance, payment of the appropriate fee set forth in that ordinance shall be required.

06/23/14
11:22

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 19

TRACT MAP Tract #: TR35477

Parcel: 447-150-045

10. GENERAL CONDITIONS

10.PLANNING. 18 MAP - DESIGN GUIDELINES RECOMMND

The project shall conform to Countywide Design Standards and Guidelines adopted January 13, 2004.

10.PLANNING. 19 STKP- OFF-HIGHWAY VEHICLE USE RECOMMND

No off-highway vehicle use shall be allowed on any parcel used for stockpiling purposes. The landowners shall secure all parcels on which a stockpile has been placed and shall prevent all off-highway vehicles from using the property.

10.PLANNING. 20 MAP - SUBMIT BUILDING PLANS RECOMMND

The developer shall cause building plans to be submitted to the TLMA- Land Use Section for review by the Department of Building and Safety - Plan Check Division. Said plans shall be in conformance with the approved TENTATIVE MAP.

TRANS DEPARTMENT

10.TRANS. 1 MAP - STD INTRO 3(ORD 460/461) RECOMMND

With respect to the conditions of approval for the referenced tentative exhibit, the land divider shall provide all street improvements, street improvement plans and/or road dedications set forth herein in accordance with Ordinance 460 and Riverside County Road Improvement Standards (Ordinance 461). It is understood that the tentative map correctly shows acceptable centerline elevations, all existing easements, traveled ways, and drainage courses with appropriate Q's, and that their omission or unacceptability may require the map to be resubmitted for further consideration. These Ordinances and all conditions of approval are essential parts and a requirement occurring in ONE is as binding as though occurring in all. All questions regarding the true meaning of the conditions shall be referred to the Transportation Department.

10.TRANS. 2 MAP - COUNTY WEB SITE RECOMMND

Additional information, standards, ordinances, policies, and design guidelines can be obtained from the Transportation Department Web site:
<http://rctlma.org/trans/>. If you have questions, please call the Plan Check Section at (951) 955-6527.

06/23/14
11:22

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 20

TENTATIVE MAP Tract #: TR35477

Parcel: 447-150-045

10. GENERAL CONDITIONS

10.TRANS. 3 MAP - TS/EXEMPT RECOMMND

The Transportation Department has not required a traffic study for the subject project. It has been determined that the project is exempt from traffic study requirements.

10.TRANS. 4 MAP - DRAINAGE 1 RECOMMND

The land divider shall protect downstream properties from damages caused by alteration of the drainage patterns, i.e., concentration or diversion of flow. Protection shall be provided by constructing adequate drainage facilities including enlarging existing facilities and/or by securing a drainage easement. All drainage easements shall be shown on the final map and noted as follows: "Drainage Easement - no building, obstructions, or encroachments by landfills are allowed". The protection shall be as approved by the Transportation Department.

10.TRANS. 5 MAP - DRAINAGE 2 RECOMMND

The land divider shall accept and properly dispose of all off-site drainage flowing onto or through the site. In the event the Transportation Department permits the use of streets for drainage purposes, the provisions of Article XI of Ordinance No. 460 will apply. Should the quantities exceed the street capacity or the use of streets be prohibited for drainage purposes, the subdivider shall provide adequate drainage facilities and/or appropriate easements as approved by the Transportation Department.

10.TRANS. 6 MAP - OFF-SITE PHASE RECOMMND

Should the applicant choose to phase any portion of this project, said applicant shall provide off-site access roads to County maintained roads as approved by the Transportation Department.

20. PRIOR TO A CERTAIN DATE

PLANNING DEPARTMENT

20.PLANNING. 2 MAP - EXPIRATION DATE RECOMMND

The conditionally approved TENTATIVE MAP shall expire three years after the County of Riverside Planning Commission's original approval date, unless extended as provided by County Ordinance No. 460. Action on a minor

06/23/14
11:22

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 21

TRACT MAP Tract #: TR35477

Parcel: 447-150-045

20. PRIOR TO A CERTAIN DATE

20.PLANNING. 2 MAP - EXPIRATION DATE (cont.)

RECOMMND

change and/or revised map request shall not extend the time limits of the originally approved TENTATIVE MAP. If the TENTATIVE MAP expires before the recordation of the FINAL MAP, or any phase thereof, no recordation of the FINAL MAP, or any phase thereof, shall be permitted.

50. PRIOR TO MAP RECORDATION

FIRE DEPARTMENT

50.FIRE. 1 MAP-#67-ECS-GATE ENTRANCES

RECOMMND

Ecs map must be stamped by the Riverside County Surveyor with the following note: Gate entrances shall be at least two feet wider than the width of the traffic lanes) serving that gate. Any gate providing access from a road to a driveway shall be located at least 35 feet setback from the roadway and shall open to allow a vehicle to stop without obstructing traffic on the road. here a one-way road with a single traffic lane provides access to a gate entrance, a 38 feet turning radius shall be used.

50.FIRE. 2 MAP-#88-ECS-AUTOMATIC GATES

RECOMMND

Ecs map must be stamped by the Riverside County Surveyor with the following note: Gate(s) shall be automatic minimum 20 feet in width. Gate access shall be equipped with a rapid entry system. Plans shall be submitted to the Fire Department for approval prior to installation. Automatic/manual gate pins shall be rated with shear pin force, not to exceed 30' pounds. Automatic gates shall be equipped with emergency backup power. Gates activated by the rapid entry system shall remain open until closed by the rapid entry system.

50.FIRE. 3 MAP-#46-WATER PLANS

RECOMMND

The applicant or developer shall furnish one copy of the water system plans to the Fire Department for review. Plans shall be signed by a registered civil engineer, containing a Fire Department approval signature block, and shall conform to hydrant type, location, spacing and minimum fire flow. Once plans are signed by the local water company, the originals shall be presented to the Fire Department for signature.

06/23/14
11:22

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 22

ACT MAP Tract #: TR35477

Parcel: 447-150-045

50. PRIOR TO MAP RECORDATION

50.FIRE. 4

MAP-#53-ECS-WTR PRIOR/COMBUS

RECOMMND

Ecs map must be stamped by the Riverside County Surveyor with the following note: The required water system, including fire hydrants, shall be installed and accepted by the appropriate water agency prior to any combustible building material placed on an individual lot.

FLOOD RI DEPARTMENT

50.FLOOD RI. 2

MAP SUBMIT PLANS

RECOMMND

A copy of the improvement plans, grading plans, final map, environmental constraint sheet, BMP improvement plans, and any other necessary documentation along with supporting hydrologic and hydraulic calculations shall be submitted to the District for review. All submittals shall be date stamped by the engineer and include a completed Flood Control Deposit Based Fee Worksheet and the appropriate plan check fee deposit.

50.FLOOD RI. 8

MAP HEMET/SALT CREEK ADP FEES

RECOMMND

A notice of drainage fees shall be placed on the environmental constraint sheet and final map. The exact wording of the note shall be as follows:

NOTICE OF DRAINAGE FEES

Notice is hereby given that this property is located in the Hemet Regional and Salt Creek/North Hemet Area Drainage Plan which was adopted by the Board of Supervisors of the County of Riverside pursuant to Section 10.25 of Ordinance 460 and Section 66483, et seq, of the Government Code and that said property is subject to fees for said drainage area.

Notice is further given that, pursuant to Section 10.25 of Ordinance 460, payment of the drainage fees shall be paid with cashier's check or money order only to the Riverside County Flood Control and Water Conservation District at the time of issuance of the grading or building permit for said parcels, whichever occurs first, and that the owner of each parcel, at the time of issuance of either the grading or building permit, shall pay the fee required at the rate in effect at the time of issuance of the actual permit.

06/23/14
11:22

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 23

TRACT MAP Tract #: TR35477

Parcel: 447-150-045

50. PRIOR TO MAP RECORDATION

50.FLOOD RI. 9 MAP SUBMIT FINAL WQMP RECOMMND

A copy of the project specific WQMP shall be submitted to the District for review and approval.

50.FLOOD RI. 10 MAP BMP MAINTENANCE & INSPECT RECOMMND

The CC&R's for the development's Home/Property Owners Association (HOA/POA) shall contain provisions for all privately owned structural best management practices (BMPs) to be inspected, and if required, cleaned no later than October 15 each year. The CC&R's shall identify the entity that will inspect and maintain all structural BMPs within the project boundaries. A copy of the CC&R's shall be submitted to the District for review and approval prior to the recordation of the map.

PLANNING DEPARTMENT

50.PLANNING. 1 MAP - ECS LIQUEFACTION RECOMMND

An environmental constraints sheet (ECS) shall be prepared for this project. The ECS shall indicate the area of the project site that is subject to the potential hazard of liquefaction (may include entirety of site). In addition, a note shall be placed on the ECS as follows:

"This site, as delineated on this ECS map and as indicated in County Geologic Report (GEO) No. 2003, is subject to the potential hazard of liquefaction. Therefore, mitigation of this hazard, in the form of remedial grading and/or structural design improvements, is required prior to placement of settlement sensitive structures on this site."

50.PLANNING. 2 MAP - PREPARE A FINAL MAP RECOMMND

After the approval of the TENTATIVE MAP and prior to the expiration of said map, the land divider shall cause the real property included within the TENTATIVE MAP, or any part thereof, to be surveyed and a FINAL MAP thereof prepared in accordance with the current County Transportation Department - Survey Division requirements, the conditionally approved TENTATIVE MAP, and in accordance with Article IX of County Ordinance No. 460.

ACT MAP Tract #: TR35477

Parcel: 447-150-045

50. PRIOR TO MAP RECORDATION

50.PLANNING. 3 MAP - FINAL MAP PREPARER RECOMMND

The FINAL MAP shall be prepared by a licensed land surveyor or registered civil engineer.

50.PLANNING. 4 MAP - SURVEYOR CHECK LIST RECOMMND

The County Transportation Department - Survey Division shall review any FINAL MAP and ensure compliance with the following:

- A. All lots on the FINAL MAP shall be in substantial conformance with the approved TENTATIVE MAP relative to size and configuration.
- B. All lots on the FINAL MAP shall have a minimum lot size of one gross acre.
- C. All lot sizes and dimensions on the FINAL MAP shall be in conformance with the development standards of the R-3 zone, and with the Riverside County General Plan.
- D. All lots on the FINAL MAP shall comply with the length to width ratios, as established by Section 3.8.C. of County Ordinance No. 460.
- E. The common open space area shall be shown as a numbered lot on the FINAL MAP.

50.PLANNING. 8 MAP - ANNEX TO PARK DISTRICT RECOMMND

The land divider shall submit written proof to the County Planning Department - Development Review Division that the subject property has been annexed to County Service Area No. 69.

50.PLANNING. 9 MAP - QUIMBY FEES (1) RECOMMND

The land divider shall submit to the County Planning Department - Development Review Division a duly and completely executed agreement with the County Service Area No. 69 which demonstrates to the satisfaction of the County that the land divider has provided for the payment of parks and recreation fees and/or dedication of land for the TENTATIVE MAP in accordance with Section 10.35 of County Ordinance No. 460.

TRACT MAP Tract #: TR35477

Parcel: 447-150-045

50. PRIOR TO MAP RECORDATION

50.PLANNING. 13 MAP - ECS SHALL BE PREPARED

RECOMMND

The land divider shall prepare an Environmental Constraints Sheet (ECS) in accordance with Section 2.2. E. & F. of County Ordinance No. 460, which shall be submitted as part of the plan check review of the FINAL MAP.

50.PLANNING. 20 MAP - ECS NOTE MT PALOMAR LIGH

RECOMMND

The following Environmental Constraint Note shall be placed on the ECS:

"This property is subject to lighting restrictions as required by County Ordinance No. 655, which are intended to reduce the effects of night lighting on the Mount Palomar Observatory. All proposed outdoor lighting systems shall be in conformance with County Ordinance No. 655."

50.PLANNING. 27 MAP - COMPLY WITH ORD 457

RECOMMND

The land divider shall provide proof to The Land Management Agency - Land Use Section that all structures for human occupancy presently existing and proposed for retention

comply with Ordinance Nos. 457 and 348.

50.PLANNING. 29 MAP - FEE BALANCE

RECOMMND

Prior to recordation, the Planning Department shall determine if the deposit based fees for the TENTATIVE MAP are in a negative balance. If so, any unpaid fees shall be paid by the land divider and/or the land divider's successor-in-interest.

50.PLANNING. 33 MAP - CC&R RES POA COM. AREA

RECOMMND

The land divider shall (a) notify the Planning Department that the following documents shall be shortly, or have been, submitted to the Office of the County Counsel for the review and approval of that office, and (b) the land divider shall submit to the Office of the County Counsel the following documents:

1. A cover letter identifying the project for which approval is sought referencing the Planning Department case number(s) (a copy of this cover letter may be sent to the Planning Department to serve as notification) and identifying one individual to represent the land divider if

06/23/14
11:22

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 26

TRACT MAP Tract #: TR35477

Parcel: 447-150-045

50. PRIOR TO MAP RECORDATION

50.PLANNING. 33

MAP - CC&R RES POA COM. AREA (cont.)

RECOMMND

there are any questions concerning the review of the submitted documents; and

2. One (1) copy AND one (1) original, wet signed, notarized and ready for recordation declaration of covenants, conditions, and restrictions; attached to these documents there shall be included a legal description of the property included within the covenants, conditions and restrictions and a scaled map or diagram of such boundaries, both signed and stamped by a California registered civil engineer or licensed land surveyor; and

3. A sample document conveying title to the purchaser of an individual lot or unit which provides that the declaration of covenants, conditions, and restrictions is incorporated therein by reference; and,

4. A deposit equaling three (3) hours of the current hourly fee for the Review of Covenants, Conditions and Restrictions established pursuant to County Ordinance No. 671 at the time the above referenced documents are submitted to the Office of the County Counsel for review and approval.

The declaration of covenants, conditions and restrictions submitted for review shall a) provide for a minimum term of 60 years, b) provide for the establishment of a property owner's association comprised of the owners of each individual lot or unit as tenants in common, c) provide for the ownership of the common area by either the property owner's association or the owners of each individual lot or unit as tenants in common, and d) contain the following provisions verbatim:

"Notwithstanding any provision in this Declaration to the contrary, the following provisions shall apply:

The property owners' association established herein shall manage and continuously maintain the 'common area', more particularly described on Exhibit '____', attached hereto, and shall not sell or transfer the 'common area' or any part thereof, absent the prior written consent of the Planning Department of the County of Riverside or the County's successor-in-interest.

06/23/14
11:22

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 27

TRACT MAP Tract #: TR35477

Parcel: 447-150-045

50. PRIOR TO MAP RECORDATION

50.PLANNING. 33 MAP - CC&R RES POA COM. AREA (cont.) (cont.) RECOMMND

The property owners' association shall have the right to assess the owners of each individual lot or unit for the reasonable cost of maintaining such 'common area', and shall have the right to lien the property of any such owner who defaults in the payment of a maintenance assessment. An assessment lien, once created, shall be prior to all other liens recorded subsequent to the notice of assessment or other document creating the assessment lien.

This Declaration shall not be terminated, 'substantially' amended, or property deannexed therefrom absent the prior written consent of the Planning Director of the County of Riverside or the County's successor-in-interest. A proposed amendment shall be considered 'substantial' if it affects the extent, usage, or maintenance of the 'common area' established pursuant to the Declaration.

In the event of any conflict between this Declaration and the Articles of Incorporation, the Bylaws, or the property owners' association Rules and Regulations, if any, this Declaration shall control."

Once approved, the copy and the original declaration of covenants, conditions and restrictions shall be forwarded by the Office of the County Counsel to the Planning Department. The Planning Department will retain the one copy for the case file, and forward the wet signed and notarized original declaration of covenants, conditions and restrictions to the County Transportation Department - Survey Division - for safe keeping until the final map is ready for recordation. The County Transportation Department - Survey Division - shall record the original declaration of covenants, conditions and restrictions in conjunction with the recordation of the final map.

TRANS DEPARTMENT

50.TRANS. 1 MAP - IMP PLANS

RECOMMND

Improvement plans for the required improvements must be prepared and shall be based upon a design profile extending a minimum of 300 feet beyond the project boundaries at a grade and alignment as approved by the Riverside County Transportation Department. Completion of road improvements

TRACT MAP Tract #: TR35477

Parcel: 447-150-045

50. PRIOR TO MAP RECORDATION

50.TRANS. 1 MAP - IMP PLANS (cont.) RECOMMND

does not imply acceptance for maintenance by County.

50.TRANS. 2 MAP - EASEMENT/SUR RECOMMND

Any easement not owned by a public utility, public entity or subsidiary, not relocated or eliminated prior to final map approval, shall be delineated on the final map in addition to having the name of the easement holder, and the nature of their interests, shown on the map.

50.TRANS. 3 MAP - ACCESS RESTRICTION RECOMMND

Lot access shall be restricted on Girard Street and so noted on the final map.

50.TRANS. 4 MAP - SIGNING & STRIPING PLAN RECOMMND

A signing and striping plan is required for this project. The applicant shall be responsible for any additional paving and/or striping removal caused by the striping plan or as approved by the Director of Transportation.

50.TRANS. 5 MAP - STREET NAME SIGN RECOMMND

The land divider shall install street name sign(s) in accordance with County Standard No. 816 as directed by the Transportation Department.

50.TRANS. 6 MAP - ANNEX L&LMD/OTHER DIST RECOMMND

Prior to map recordation, the project proponent shall comply with County requirements within public road rights-of-way, in accordance with Ordinance 461. Assurance of maintenance is required by filing an applicaton for annexation to Landscaping and Lighting Maintenance District No. 89-1-Consolidated and/or any other maintenance district approved by the Transportation Department. Said annexation should include the following:

- (1) Landscaping along Girard Street.
- (2) Streetlights.
- (3) Graffiti abatement of walls and other permanent structures along Girard Street.

TRACT MAP Tract #: TR35477

Parcel: 447-150-045

50. PRIOR TO MAP RECORDATION

50.TRANS. 6 MAP - ANNEX L&LMD/OTHER DIST (cont.)

RECOMMND

(4) Street sweeping.

For street lighting, the project proponent shall contact the County Service Area (CSA) Project Manager who determines whether the development is within an existing CSA or will require annexation into the CSA.

If the project is outside boundaries of a CSA, the project proponent shall contact the Transportation Department L&LMD 89-1-C Administrator and submit the following:

- (1) Completed Transportation Department application.
- (2) Appropriate fees for annexation.
- (3) Two (2) sets of street lighting plans approved by Transportation Department.
- (4) "Streetlight Authorization" form from SCE, IID or other electric provider.

50.TRANS. 7 MAP - SOILS 2

RECOMMND

The developer/owner shall submit a preliminary soils and pavement investigation report addressing the construction requirements within the road right-of-way.

50.TRANS. 8 MAP - INTERSECTION/50' TANGENT

RECOMMND

All enterline intersections shall be at 90 degrees, plus or minus 5 degrees, with a minimum 50' tangent, measured from flowline/curbface or as approved by the Transportation Planning and Development Review Division Engineer.

50.TRANS. 9 MAP - STREETLIGHT PLAN

RECOMMND

A separate streetlight plan is required for this project. Street lighting shall be designed in accordance with County Ordinance 460 and Streetlight Specification Chart found in Specification Section 22 of Ordinance 461. For projects within SCE boundaries use County of Riverside Ordinance 461, Standard No. 1000 or No. 1001.

TRACT MAP Tract #: TR35477

Parcel: 447-150-045

50. PRIOR TO MAP RECORDATION

50.TRANS. 10 MAP - ASSESSMENT DIST 1

RECOMMND

Should this project lie within any assessment/benefit district, the applicant shall, prior to recordation, make application for and pay for their reapportionment of the assessments or pay the unit fees in the benefit district.

50.TRANS. 11 MAP- UTILITY PLAN

RECOMMND

Electrical power, telephone, communication, street lighting, and cable television lines shall be designed to be placed underground in accordance with ordinance 460 and 461, or as approved by the Transportation Department. The applicant is responsible for coordinating the work with the serving utility company. This also applies to existing overhead lines which are 33.6 kilovolts or below along the project frontage and between the nearest poles offsite in each direction of the project site. A disposition note describing the above shall be reflected on design improvement plans whenever those plans are required. A written proof for initiating the design and/or application of the relocation issued by the utility company shall be submitted to the Transportation Department for verification purposes.

50.TRANS. 12 MAP - EXISTING MAINTAINED

RECOMMND

Girard Street along project boundary is a paved County maintained road designated as a Secondary Highway and shall be improved with 6" concrete curb and gutter located 32 feet from centerline, and match up asphalt concrete paving, reconstruction, or resurfacing of existing paving as determined by the Transportation Department within the 50 foot half-width dedicated right-of-way in accordance with County Standard No. 94. (32'/50')

NOTE: 1. A 5' sidewalk shall be constructed 9' from curb line within the 18' parkway.

2. Construct A.C. pavement tapering for acceleration and deceleration lanes to the south and north property boundaries as approved by Transportation Department.

3. Construct proposed driveway per County Standard No. 207A.

06/23/14
11:22

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 31

TRACT MAP Tract #: TR35477

Parcel: 447-150-045

60. PRIOR TO GRADING PRMT ISSUANCE

BS GRADE DEPARTMENT

60.BS GRADE. 1 MAP - NPDES/SWPPP

RECOMMND

Prior to issuance of any grading or construction permits - whichever comes first - the applicant shall provide the Building and Safety Department evidence of compliance with the following: "Effective March 10, 2003 owner operators of grading or construction projects are required to comply with the N.P.D.E.S. (National Pollutant Discharge Elimination System) requirement to obtain a construction permit from the State Water Resource Control Board (SWRCB). The permit requirement applies to grading and construction sites of "ONE" acre or larger. The owner operator can comply by submitting a "Notice of Intent" (NOI), develop and implement a STORM WATER POLLUTION PREVENTION PLAN (SWPPP) and a monitoring program and reporting plan for the construction site. For additional information and to obtain a copy of the NPDES State Construction Permit contact the SWRCB at www.swrcb.ca.gov .

Additionally, at the time the county adopts, as part of any ordinance, regulations specific to the N.P.D.E.S., this project (or subdivision) shall comply with them.

60.BS GRADE. 2 MAP - GRADING SECURITY

RECOMMND

Grading in excess of 199 cubic yards will require a performance security to be posted with the Building and Safety Department. Single Family Dwelling units graded one lot per permit and proposing to grade less than 5,000 cubic yards are exempt.

60.BS GRADE. 3 MAP - IMPORT/EXPORT

RECOMMND

In instances where a grading plan involves import or export, prior to obtaining a grading permit, the applicant shall have obtained approval for the import/export location from the Building and Safety Department.

A separate stockpile permit is required for the import site. It shall be authorized in conjunction with an approved construction project and shall comply with the requirements of Ordinance 457.

If an Environmental Assessment, prior to issuing a grading permit, did not previously approve either location, a Grading Environmental Assessment shall be submitted to the

TRACT MAP Tract #: TR35477

Parcel: 447-150-045

60. PRIOR TO GRADING PRMT ISSUANCE

60.BS GRADE. 3 MAP - IMPORT/EXPORT (cont.) RECOMMND

Planning Director for review and comment and to the Building and Safety Department Director for approval.

Additionally, if the movement of import / export occurs using county roads, review and approval of the haul routes by the Transportation Department may be required.

60.BS GRADE. 4 MAP - GEOTECH/SOILS RPTS RECOMMND

Geotechnical soils reports, required in order to obtain a grading permit, shall be submitted to the Building and Safety Department's Grading Division for review and approval prior to issuance of a grading permit. All grading shall be in conformance with the recommendations of the geotechnical/soils reports as approved by Riverside County.* *The geotechnical/soils, compaction and inspection reports will be reviewed in accordance with the RIVERSIDE COUNTY GEOTECHNICAL GUIDELINES FOR REVIEW OF GEOTECHNICAL AND GEOLOGIC REPORTS.

60.BS GRADE. 6 MAP - DRNAGE DESIGN Q100 RECOMMND

All drainage facilities shall be designed in accordance with the Riverside County Flood Control & Water District's or Coachella Valley Water District's conditions of approval regarding this application. If not specifically addressed in their conditions, drainage shall be designed to accommodate 100 year storm flows.

60.BS GRADE. 7 MAP - OFFSITE GDG ONUS RECOMMND

Prior to the issuance of a grading permit, it shall be the sole responsibility of the owner/applicant to obtain any and all proposed or required easements and/or permissions necessary to perform the grading herein proposed.

60.BS GRADE. 8 MAP - NOTRD OFFSITE LTR RECOMMND

A notarized letter of permission from the affected property owners or easement holders shall be provided in instances where off site grading is proposed as part of the grading plan.

06/23/14
11:22

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 33

TRACT MAP Tract #: TR35477

Parcel: 447-150-045

60. PRIOR TO GRADING PRMT ISSUANCE

60.BS GRADE. 9 MAP - RECORDED ESMT REQ'D RECOMMND

In instances where the grading plan proposes drainage facilities on adjacent offsite property, the owner/ applicant shall provide a copy of the recorded drainage easement.

60.BS GRADE. 11 MAP - APPROVED WQMP RECOMMND

Prior to the issuance of a grading permit, the owner / applicant shall submit to the Building & Safety Department Engineering Division evidence that the project - specific Water Quality Management Plan (WQMP) has been approved by the Riverside County Flood Control District or Riverside County Transportation Department and that all approved water quality treatment control BMPs have been included on the grading plan.

60.BS GRADE. 13 MAP - PRE-CONSTRUCTION MTG RECOMMND

Upon receiving grading plan approval and prior to the issuance of a grading permit, the applicant is required to schedule a pre-construction meeting with the Building and Safety Department Environmental Compliance Division.

60.BS GRADE. 14 MAP- BMP CONST NPDES PERMIT RECOMMND

Prior to the issuance of a grading permit, the owner / applicant shall obtain a BMP (Best Management Practices) Permit for the monitoring of the erosion and sediment control BMPs for the site. The Department of Building and Safety will conduct NPDES (National Pollutant Discharge Elimination System) inspections of the site based on Risk Level to verify compliance with the Construction General Permit, Stormwater ordinances and regulations until completion of the construction activities, permanent stabilization of the site and permit final.

60.BS GRADE. 15 MAP - SWPPP REVIEW RECOMMND

Grading and construction sites of "ONE" acre or larger required to develop a STORM WATER POLLUTION PREVENTION PLAN (SWPPP) - the owner/applicant shall submit the SWPPP to the Building and Safety Department Environmental Compliance Division for review and approval prior to issuance of a grading permit.

06/23/14
11:22

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 34

TRACT MAP Tract #: TR35477

Parcel: 447-150-045

60. PRIOR TO GRADING PRMT ISSUANCE

60.BS GRADE. 16 MAP - DRAINAGE ACROSS PL RECOMMND

Prior to the issuance of a grading permit, the developer/owner shall comply with the requirements of Appendix "J" section J109.4 of the California Building Code. Drainage across property lines shall not exceed that which existed prior to grading. Excess or concentrated drainage shall be contained on site or directed to an approved drainage facility. Erosion of the ground in the area of discharge shall be prevented by installation of non-erosive down drains or other devices.

60.BS GRADE. 17 MAP - ALTERNATIVE PAVEMENT RECOMMND

In instances where the grading plan involves the use of porous or pervious pavements as an alternative to asphalt and concrete surfaces, prior to the issuance of a grading permit, approval shall be obtained from the Building and Safety Department.

E HEALTH DEPARTMENT

60.E HEALTH. 1 PHASE 2 ENV SITE ASSESSMENT RECOMMND

Prior to the Issuance of a Grading Permit, a Phase II Environmental Assessment is required to properly evaluate the potential for agricultural chemicals in the soil that may pose a risk to human health or the environment. According to the Phase 1 Environmental Site Assessment prepared by Earth-Strata, Inc. dated October 11, 2013, the land has been historically utilized for agricultural purposes which indicates the potential for pesticide application. Contact the County of Riverside, Department of Environmental Health - Environmental Cleanup Programs at (951) 955-8982 for further information.

FLOOD RI DEPARTMENT

60.FLOOD RI. 2 MAP SUBMIT PLANS RECOMMND

A copy of the improvement plans, grading plans, BMP improvement plans and any other necessary documentation along with supporting hydrologic and hydraulic calculations shall be submitted to the District for review. The plans must receive District approval prior to the issuance of grading permits. All submittals shall be date stamped by the engineer and include a completed Flood Control Deposit Based Fee Worksheet and the appropriate plan check fee

06/23/14
11:22

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 35

TRACT MAP Tract #: TR35477

Parcel: 447-150-045

60. PRIOR TO GRADING PRMT ISSUANCE

60.FLOOD RI. 2 MAP SUBMIT PLANS (cont.) RECOMMND
deposit.

60.FLOOD RI. 3 MAP EROS CNTRL AFTER RGH GRAD RECOMMND

Temporary erosion control measures shall be implemented immediately following rough grading to prevent deposition of debris onto downstream properties or drainage facilities. Plans showing these measures shall be submitted to the District for review.

60.FLOOD RI. 7 MAP HEMET REGIONAL/SALT CREEK RECOMMND

TR 35477 is located within the limits of the Hemet Regional and Salt Creek/North Hemet Area Drainage Plan for which drainage fees have been adopted.

Drainage fees shall be paid with cashier's check or money order only to the District at the time of the issuance of grading permits for the approved parcels or at the time of issuance of building permits if no grading permits are issued for the parcels and may be paid, at the option of the land owner, in pro rata amounts. The amount of the drainage fee required to be paid shall be the amount that is in effect for the particular Area Drainage Plan at the time of issuance of the grading permits or issuance of the building permits if grading permits are not issued.

60.FLOOD RI. 8 MAP SUBMIT FINAL WQMP RECOMMND

A copy of the project specific WQMP shall be submitted to the District for review and approval.

PLANNING DEPARTMENT

60.PLANNING. 4 MAP - PALEO PRIMP & MONITOR RECOMMND

This site is mapped in the County's General Plan as having a High potential for paleontological resources (fossils). Proposed project site grading/earthmoving activities could potentially impact this resource. HENCE:

PRIOR TO ISSUANCE OF GRADING PERMITS:

1.The applicant shall retain a qualified paleontologist approved by the County of Riverside to create and implement

06/23/14
11:22

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 36

TRACT MAP Tract #: TR35477

Parcel: 447-150-045

60. PRIOR TO GRADING PRMT ISSUANCE

60.PLANNING. 4

MAP - PALEO PRIMP & MONITOR (cont.)

RECOMMND

a project-specific plan for monitoring site grading/earthmoving activities (project paleontologist).

2.The project paleontologist retained shall review the approved development plan and grading plan and shall conduct any pre-construction work necessary to render appropriate monitoring and mitigation requirements as appropriate. These requirements shall be documented by the project paleontologist in a Paleontological Resource Impact Mitigation Program (PRIMP). This PRIMP shall be submitted to the County Geologist for review and approval prior to issuance of a Grading Permit.

Information to be contained in the PRIMP, at a minimum and in addition to other industry standards and Society of Vertebrate Paleontology standards, are as follows:

1.Description of the proposed site and planned grading operations.

2.Description of the level of monitoring required for all earth-moving activities in the project area.

3.Identification and qualifications of the qualified paleontological monitor to be employed for grading operations monitoring.

4.Identification of personnel with authority and responsibility to temporarily halt or divert grading equipment to allow for recovery of large specimens.

5.Direction for any fossil discoveries to be immediately reported to the property owner who in turn will immediately notify the County Geologist of the discovery.

6.Means and methods to be employed by the paleontological monitor to quickly salvage fossils as they are unearthed to avoid construction delays.

7.Sampling of sediments that are likely to contain the remains of small fossil invertebrates and vertebrates.

8.Procedures and protocol for collecting and processing of samples and specimens.

9.Fossil identification and curation procedures to be

06/23/14
11:22

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 37

TRACT MAP Tract #: TR35477

Parcel: 447-150-045

60. PRIOR TO GRADING PRMT ISSUANCE

60.PLANNING. 4 MAP - PALEO PRIMP & MONITOR (cont.) (cont.) RECOMMND

employed.

10. Identification of the permanent repository to receive any recovered fossil material. *Pursuant the County of Riverside "SABER Policy", paleontological fossils found in the County of Riverside should, by preference, be directed to the Western Science Center in the City of Hemet. A written agreement between the property owner/developer and the repository must be in place prior to site grading.

11. All pertinent exhibits, maps and references.

12. Procedures for reporting of findings.

13. Identification and acknowledgement of the developer for the content of the PRIMP as well as acceptance of financial responsibility for monitoring, reporting and curation fees.

The property owner and/or applicant on whose land the paleontological fossils are discovered shall provide appropriate funding for monitoring, reporting, delivery and curating the fossils at the institution where the fossils will be placed, and will provide confirmation to the County that such funding has been paid to the institution.

All reports shall be signed by the project paleontologist and all other professionals responsible for the report's content (eg. Professional Geologist), as appropriate. Two wet-signed original copies of the report(s) shall be submitted to the office of the County Geologist along with a copy of this condition and the grading plan for appropriate case processing and tracking. These documents should not be submitted to the project Planner, the Plan Check staff, the Land Use Counter or any other County office. In addition, the applicant shall submit proof of hiring (i.e. copy of executed contract, retainer agreement, etc.) a project paleontologist for the in-grading implementation of the PRIMP.

60.PLANNING. 5 MAP - ARCHAEO MONITOR

RECOMMND

CULTURAL RESOURCE MONITOR REQUIRED:
PRIOR TO ISSUANCE OF GRADING PERMITS: the applicant/developer shall retain and enter into a monitoring and mitigation service contract with a County approved Archaeologist for professional services relative to review of grading plans, preparation of a monitoring

TRACT MAP Tract #: TR35477

Parcel: 447-150-045

60. PRIOR TO GRADING PRMT ISSUANCE

60.PLANNING. 5 MAP - ARCHAEO MONITOR (cont.)

RECOMMND

plan for all areas of disturbance that may impact previously undisturbed deposits (if any), and monitoring of site grading for areas of previously undisturbed deposits. The applicant/developer shall submit a fully executed copy of the contract for archaeological monitoring and mitigation services to the County Archaeologist to ensure compliance with this condition of approval. Upon verification, the Planning Department shall clear this condition.

Note: The project Archaeologist is responsible for implementing CEQA-based mitigation using standard professional practices for cultural resources archaeology. The project Archaeologist shall coordinate with the County, applicant/developer and any required tribal or other special interest group monitor throughout the process as appropriate. All documentation regarding the arrangements for the disposition and curation and/or repatriation of cultural resources shall be provided to the County for review and approval prior to issuance of the grading permit.

The archaeologist shall also be responsible for preparing the Phase IV monitoring report.

This condition shall not modify any approved condition of approval or mitigation measure.

60.PLANNING. 10 MAP - BUILDING PAD GRADING

RECOMMND

All grading for any proposed new dwellings and/or accessory buildings shall occur within the approved building pad sites shown on the TENTATIVE MAP.

60.PLANNING. 17 MAP - SECTION 1601/1603 PERMIT

RECOMMND

Should any grading or construction be proposed within or along the banks of any natural watercourse or wetland located either on-site or on any required off-site improvement areas, the land divider/permit holder shall provide written notification to the County Planning Department that the appropriate California Department of Fish and Game notification pursuant to Sections 1601/1603 of the California Fish and Game Code has taken place. Or, the land divider shall obtain an "Agreement Regarding Proposed Stream or Lake Alteration" (Section 1601/1603 Permit). Copies of any agreement shall be submitted with the notification.

TRACT MAP Tract #: TR35477

Parcel: 447-150-045

60. PRIOR TO GRADING PRMT ISSUANCE

60.PLANNING. 18 MAP - SECTION 404 PERMIT

RECOMMND

Should any grading or construction be proposed within or alongside the banks of the watercourse or wetland, the land divider/permit holder shall provide written notification to the County Planning Department that the alteration of any watercourse or wetland, located either on-site or on any required off-site improvement areas, complies with the U.S. Army Corp of Engineers Nationwide Permit Conditions. Or, the land divider shall obtain a permit under Section 404 of the Clean Water Act. Copies of any agreements shall be submitted along with the notification.

60.PLANNING. 20 MAP - SKR FEE CONDITION

RECOMMND

Prior to the issuance of a grading permit, the land divider/permit holder shall comply with the provisions of Riverside County Ordinance No. 663, which generally requires the payment of the appropriate fee set forth in that ordinance. The amount of the fee required to be paid may vary depending upon a variety of factors, including the type of development application submitted and the applicability of any fee reduction or exemption provisions contained in Riverside County Ordinance No. 663. Said fee shall be calculated on the approved development project which is anticipated to be 2.96 acres (gross) in accordance with the TENTATIVE MAP. If the development is subsequently revised, this acreage amount may be modified in order to reflect the revised development project acreage amount. In the event Riverside County Ordinance No. 663 is rescinded, this condition will no longer be applicable. However, should Riverside County Ordinance No. 663 be rescinded and superseded by a subsequent mitigation fee ordinance, payment of the appropriate fee set forth in that ordinance shall be required.

60.PLANNING. 21 MAP - FEE BALANCE

RECOMMND

Prior to issuance of grading permits, the Planning Department shall determine if the deposit based fees are in a negative balance. If so, any outstanding fees shall be paid by the applicant/developer.

60.PLANNING. 22 MAP - GRADING PLAN REVIEW

RECOMMND

The land divider/permit holder shall cause a plan check application for a grading plan to be submitted to the

06/23/14
11:22

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 40

TACT MAP Tract #: TR35477

Parcel: 447-150-045

60. PRIOR TO GRADING PRMT ISSUANCE

60.PLANNING. 22 MAP - GRADING PLAN REVIEW (cont.) RECOMMND

ounty T.L.M.A - Land Use Division for review by the County Department of Building and Safety - Grading Division. Said grading plan shall be in conformance with the approved tentative map, in ompliance with County Ordinance No. 457, and the conditions of approval for the tentative map.

60.PLANNING. 26 MAP - PLANNING DEPT REVIEW RECOMMND

As part of the plan check review of the proposed grading plan for the subject property, the Department of Building and Safety - Grading Division shall submit a copy of the proposed grading plan, along with the applicable Log/Permit Numbers for reference, to the ounty Planning Department to be reviewed for compliance with the approved tentative map.

60.PLANNING. 28 MAP - MITIGATION MONITORING RECOMMND

The permittee shall prepare and submit a written report to the Riverside County Planning Director demonstrating compliance with those conditions of approval and mitigation measures of this TENTATIVE MAP and E.A. No. 41303 which must be satisfied prior to the issuance of a grading permit.

The Planning Director may require inspection or other monitoring to ensure such compliance.

TRANS DEPARTMENT

60.TRANS. 1 MAP-SBMT/APPVD GRADING PLAN RECOMMND

When you submit a grading plan to the Department of Building and Safety, a copy of the grading plan shall be submitted and approved by the Transportation Department prior to a grading permit issuance.

Submit required grading plan to the Transportation Department, Plan Check Section, 8th Floor, 4080 Lemon Street, Riverside, CA.

06/23/14
11:22

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 41

TRACT MAP Tract #: TR35477

Parcel: 447-150-045

70. PRIOR TO GRADING FINAL INSPECT

PLANNING DEPARTMENT

70.PLANNING. 1 MAP - PALEO MONITORING REPORT

RECOMMND

"PRIOR TO GRADING FINAL:

The applicant shall submit to the County Geologist one wet-signed copy of the Paleontological Monitoring Report prepared for site grading operations at this site. The report shall be certified by the professionally-qualified Paleontologist responsible for the content of the report. This Paleontologist must be on the County's Paleontology Consultant List. The report shall contain a report of findings made during all site grading activities and an appended itemized list of fossil specimens recovered during grading (if any) and proof of accession of fossil materials into the pre-approved museum repository. In addition, all appropriate fossil location information shall be submitted to the Western Center, the San Bernardino County Museum and Los Angeles County Museum of Natural History, at a minimum, for incorporation into their Regional Locality Inventories."

70.PLANNING. 2 MAP - ARCHAEO MONITOR REPORT

RECOMMND

ARCHAEOLOGICAL MONITORING REPORT SUBMITTAL:

PRIOR TO GRADING PERMIT FINAL: The developer/holder shall prompt the Project Cultural Resources Professional to submit one (1) wet-signed paper copy and (1) CD of a Phase IV Cultural Resources Monitoring Report that complies with the Riverside County Planning Department's requirements for such reports for all ground disturbing activities associated with this grading permit. The report shall follow the County of Riverside Planning Department Cultural Resources (Archaeological) Investigations Standard Scopes of Work posted on the TLMA website. The report shall also include evidence of the required cultural/historical sensitivity training for the construction staff held during the required pre-grade meeting.

The Cultural Resource Professional shall also provide evidence to the satisfaction of the County Archaeologist that all archaeological materials recovered during the Phase IV Mitigation Monitoring of the project, have been curated at a Riverside County Curation facility that meets federal standards per 36 CFR Part 79 and therefore would be professionally curated and made available to other archaeologists/researchers for further study. The collection and associated records shall be transferred,

TRACT MAP Tract #: TR35477

Parcel: 447-150-045

70. PRIOR TO GRADING FINAL INSPECT

70.PLANNING. 2 MAP - ARCHAEO MONITOR REPORT (cont.) RECOMMND

including title, and are to be accompanied by payment of the fees necessary for permanent curation. Evidence shall be in the form of a letter from the curation facility identifying that archaeological materials have been received and that all fees have been paid. The County Archaeologist shall review the report to determine adequate mitigation compliance was met. Upon determining the report and mitigation is adequate, the County Archaeologist shall clear this condition.

80. PRIOR TO BLDG PRMT ISSUANCE

BS GRADE DEPARTMENT

80.BS GRADE. 1 MAP - NO B/PMT W/O G/PMT RECOMMND

Prior to the issuance of any building permit, the property owner shall obtain a grading permit and/or approval to construct from the Building and Safety Department.

80.BS GRADE. 2 MAP - ROUGH GRADE APPROVAL RECOMMND

Prior to the issuance of any building permit, the applicant shall obtain rough grade approval and/or approval to construct from the Building and Safety Department. The Building and Safety Department must approve the completed grading of your project before a building permit can be issued. Rough Grade approval can be accomplished by complying with the following:

- 1.Submitting a "Wet Signed" copy of the Soils Compaction Report containing substantiating data from the Soils Engineer (registered geologist or certified geologist, civil engineer or geotechnical engineer as appropriate) for his/her certification of the project.
- 2.Submitting a "Wet Signed" copy of the Rough Grade certification from a Registered Civil Engineer certifying that the grading was completed in conformance with the approved grading plan.
- 3.Requesting a Rough Grade Inspection and obtaining rough grade approval from a Riverside County inspector.
- 4.Rough Grade Only Permits: In addition to obtaining all required inspections and approval of all final reports, all

06/23/14
11:22

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 43

TRACT MAP Tract #: TR35477

Parcel: 447-150-045

80. PRIOR TO BLDG PRMT ISSUANCE

80.BS GRADE. 2 MAP - ROUGH GRADE APPROVAL (cont.)

RECOMMND

sites permitted for rough grade only shall provide 100 percent vegetative coverage to stabilize the site prior to receiving a rough grade permit final.

Prior to release for building permit, the applicant shall have met all rough grade requirements to obtain Building and Safety Department clearance.

FIRE DEPARTMENT

80.FIRE. 1 MAP -FIRE SPRINKLER SYSTEM

RECOMMND

ALL DWELLINGS SHALL HAVE A FIRE SPRINKLER SYSTEM INSTALLED PER NFPA 13D, 2013 EDITION. PLANS SHALL BE SUBMITTED TO THE FIRE DEPT. FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.

80.FIRE. 2 MAP-#50C-TRACT WATER VERIFICA

RECOMMND

The required water system, including all fire hydrant(s), shall be installed and accepted by the appropriate water agency and the Riverside County Fire Department prior to any combustible building material placed on an individual lot. Contact the Riverside County Fire Department to inspect the required fire flow, street signs, all weather surface, and all access and/or secondary. Approved water plans must be a the job site.

FLOOD RI DEPARTMENT

80.FLOOD RI. 2 MAP SUBMIT PLANS

RECOMMND

A copy of the improvement plans, grading plans, BMP improvement plans and any other necessary documentation along with supporting hydrologic and hydraulic calculations shall be submitted to the District for review. The plans must receive District approval prior to the issuance of building permits. All submittals shall be date stamped by the engineer and include a completed Flood Control Deposit Based Fee Worksheet and the appropriate plan check fee deposit.

80.FLOOD RI. 3 MAP HEMET REGIONAL/SALT CREEK

RECOMMND

TR 35477 is located within the limits of the Hemet Regional and Salt Creek/North Hemet Area Drainage Plan for which drainage fees have been adopted.

06/23/14
11:22

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 44

TRACT MAP Tract #: TR35477

Parcel: 447-150-045

80. PRIOR TO BLDG PRMT ISSUANCE

80.FLOOD RI. 3 MAP HEMET REGIONAL/SALT CREEK (cont.) RECOMMND

Drainage fees shall be paid with cashier's check or money order only to the District at the time of the issuance of grading permits for the approved parcels or at the time of issuance of building permits if no grading permits are issued for the parcels and may be paid, at the option of the land owner, in pro rata amounts. The amount of the drainage fee required to be paid shall be the amount that is in effect for the particular Area Drainage Plan at the time of issuance of the grading permits or issuance of the building permits if grading permits are not issued.

80.FLOOD RI. 4 MAP SUBMIT FINAL WQMP RECOMMND

A copy of the project specific WQMP shall be submitted to the District for review and approval.

PLANNING DEPARTMENT

80.PLANNING. 1 MAP - ROOF MOUNTED EQUIPMENT RECOMMND

Roof-mounted mechanical equipment shall not be permitted within the subdivision, however, solar equipment or any other energy saving devices shall be permitted with County Planning Department approval.

80.PLANNING. 2 MAP - UNDERGROUND UTILITIES RECOMMND

All utility extensions within a lot shall be placed underground.

80.PLANNING. 3 MAP - ELEVATION & FLOOR PLAN RECOMMND

Elevations and floor plans shall substantially conform to approved Exhibit B and C.

80.PLANNING. 4 MAP - COLOR SCHEME RECOMMND

Colors/materials shall conform substantially to those shown on approved Exhibit B.

80.PLANNING. 5 MAP - PARKING SPACES RECOMMND

Parking spaces are required in accordance with County Ordinance No. 348. in all parking areas and driveways shall be surfaced with asphaltic concrete to current standards as

06/23/14
11:22

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 45

TRACT MAP Tract #: TR35477

Parcel: 447-150-045

80. PRIOR TO BLDG PRMT ISSUANCE

80.PLANNING. 5 MAP - PARKING SPACES (cont.) RECOMMND

approved by the Riverside County Department of Building and Safety.

80.PLANNING. 6 MAP - CONFORM FINAL SITE PLAN RECOMMND

Final clearance shall be obtained from the County Planning Department - Development Review Division stipulating that the building plans submitted conform to the approved Final Plan of Development.

80.PLANNING. 8 MAP - TRASH ENCLOSURES RECOMMND

Prior to the construction of any trash enclosure, a building permit for said enclosure shall be obtained from the County Department of Building and Safety.

80.PLANNING. 11 MAP - SCHOOL MITIGATION RECOMMND

Impacts to the Hemet Unified School District shall be mitigated in accordance with California State law.

80.PLANNING. 12 MAP - FEE BALANCE RECOMMND

Prior to issuance of building permits, the Planning Department shall determine if the deposit based fees are in a negative balance. If so, any outstanding fees shall be paid by the applicant/developer.

80.PLANNING. 18 MAP - Walls/Fencing Plans RECOMMND

The land divider/permit holder shall file seven (7) sets of a Wall/Fencing Plan to the County Planning Department for review and approval. Said plan shall be submitted to the Planning Department for review and approval pursuant to County Ordinance No. 348, Section 18.30.a.(1) prior to grading permit issuance. The plan shall be in compliance with Section 18.12, and the TENTATIVE MAP conditions of approval.

A. The plan shall show all project fencing including, but not limited to, perimeter fencing, side and rear yard fencing, and open space or park fencing. A typical frontal view of all fences shall be shown on the fencing plan.

B. All utility service areas and enclosures shall be screened from view with landscaping or decorative barriers

TRACT MAP Tract #: TR35477

Parcel: 447-150-045

80. PRIOR TO BLDG PRMT ISSUANCE

80.PLANNING. 18 MAP - Walls/Fencing Plans (cont.)

RECOMMND

or baffle treatments, as approved by the Planning Department.

C. All wood fencing shall be treated with heavy oil stain to match the natural shade to prevent bleaching from irrigation spray.

D. Front yard return walls shall be constructed of masonry slump stone or material of similar appearance, maintenance, and structural durability) and shall be a minimum of five feet in height.

E. Side yard gates are required on one side of front yard, and shall be constructed of wrought iron, wood, vinyl or tubular steel. Side and rear yard fencing shall be masonry, slump stone or other material of similar appearance, maintenance, and structural durability. Chain link fencing is not permitted. All construction must be of good quality and sufficient durability with an approved stain and/or sealant to minimize water staining. (Applicants shall provide specifications that shall be approved by the Planning Department).

F. All new residences constructed on lots of less than 20,000 square feet shall include rear and side yard fencing constructed of masonry block that is a minimum of five (5) feet in height. The maximum height of walls or fencing shall be six (6) feet in height. In the desert areas, block walls are discouraged on the perimeter in favor of increased setbacks with extensive drought tolerant landscaping, berms and fencing such as split rails.

G. Except for the desert areas, all lots having rear and/or side yards facing local streets or otherwise open to public view shall have fences or walls constructed of decorative block.

H. Corner lots shall be constructed with wrap-around decorative block wall returns. (Note: exceptions for the desert area discussed above.)

I. Side yard gates are required on one side of the home and shall be constructed of powder-coated wrought iron or tubular steel.

J. Wrought iron or tubular steel fence sections may be

06/23/14
11:22

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 47

TRACT MAP Tract #: TR35477

Parcel: 447-150-045

80. PRIOR TO BLDG PRMT ISSUANCE

80.PLANNING. 18 MAP - Walls/Fencing Plans (cont.) (cont.) RECOMMND

included within tracts where view opportunities and/or terrain warrant its use. Where privacy of views is not an issue, tubular steel or wrought iron sections should be constructed in perimeter walls in order to take advantage of casual view opportunities.

80.PLANNING. 19 USE - WASTE MGMT. CLEARANCE RECOMMND

A clearance letter from Riverside County Waste Management District shall be provided to the Riverside County Planning Department verifying compliance with the conditions contained in their letter dated May 17, 2014 as follows:

The developer shall provide adequate areas for collecting and loading recyclable materials such as paper products, glass and green waste in commercial, industrial, public facilities and residential development projects.

TRANS DEPARTMENT

80.TRANS. 1 MAP - ANNEX L&LMD/OTHER DIST RECOMMND

Prior to issuance of an occupancy permit, the project proponent shall complete annexation to Landscaping and Lighting Maintenance District No. 89-1-Consolidated, and/or other maintenance district approved by the Transportation Department for continuous maintenance within public road rights-of-way, in accordance with Ordinance 461, Comprehensive Landscaping Guidelines & Standards, and Ordinance 859. Said annexation should include the following:

- (1) Landscaping along Girard Street.
- (2) Streetlights.
- (3) Graffiti abatement of walls and other permanent structures along Girard Street.
- (4) Street sweeping.

TRACT MAP Tract #: TR35477

Parcel: 447-150-045

90. PRIOR TO BLDG FINAL INSPECTION

BS GRADE DEPARTMENT

90.BS GRADE. 1 MAP - WQMP BMP INSPECTION RECOMMND

Prior to final building inspection, the applicant shall obtain inspection of all treatment control BMPs and/or clearance from the Building and Safety Department. All structural BMPs described in the project - specific WQMP and indicated on the approved grading plan shall be constructed and installed in conformance with the approved plans and specifications. The Building and Safety Department must inspect and approve the completed WQMP treatment control BMPs for your project before a building final can be obtained.

90.BS GRADE. 2 MAP - WQMP BMP CERT REQ'D RECOMMND

Prior to final building inspection, the applicant/owner shall submit a "Wet Signed" copy of the Water Quality Management Plan (WQMP) Certification from a Registered Civil Engineer certifying that the project - specific WQMP treatment control BMPs have been installed in accordance with the approved WQMP.

90.BS GRADE. 3 MAP - BMP GPS COORDINATES RECOMMND

Prior to final building inspection, the applicant/owner shall provide the Department of Building Safety with GPS coordinates for the location of the project - specific WQMP treatment control BMPs.

90.BS GRADE. 4 MAP - WQMP BMP REGISTRATION RECOMMND

Prior to final building inspection, the applicant/owner shall register the project - specific WQMP treatment control BMPs with the Department of Building Safety Business Registration Division. Any person or entity that owns or operates a facility conditioned to install WQMP treatment control BMPs shall register such facility for annual inspections.

90.BS GRADE. 5 MAP - REQ'D GRDG INSP'S RECOMMND

The developer / applicant shall be responsible for obtaining the following inspections required by Ordinance 457.

1.Sub-grade inspection prior to base placement.

06/23/14
11:22

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 49

TRACT MAP Tract #: TR35477

Parcel: 447-150-045

90. PRIOR TO BLDG FINAL INSPECTION

90.BS GRADE. 5 MAP - REQ'D GRDG INSP'S (cont.)

RECOMMND

2.Base inspection prior to paving.

3.Precise grade inspection.

a.Precise Grade Inspection can include but is not limited to the following:

1.Inspection of Final Paving.

2.Installation of slope planting and permanent irrigation on required slopes.

3.Completion of drainage swales, berms and required drainage away from foundation.

4.Inspection of completed onsite drainage facilities

5.Inspection of the WQMP treatment control BMPs

90.BS GRADE. 7 MAP - PRECISE GRDG APPROVAL

RECOMMND

Prior to final building inspection, the applicant shall obtain precise grade approval and/or clearance from the Building and Safety Department. The Building and Safety Department must approve the precise grading of your project before a building final can be obtained. Precise Grade approval can be accomplished by complying with the following:

1.Requesting and obtaining approval of all required grading inspections.

2.Submitting a "Wet Signed" copy of the Precise (Final) Grade Certification for all lots included in the grading permit from a Registered Civil Engineer certifying that the precise grading was completed in conformance with the approved grading plan.

3.Submitting a "Wet Signed" copy of the Certification certifying the installation of any onsite storm drain systems not inspected by Riverside County Flood Control District or the Riverside County Transportation Department.

4.Submitting a "Wet Signed" copy of the Water Quality Management Plan (WQMP) Certification from a Registered

06/23/14
11:22

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 50

TRACT MAP Tract #: TR35477

Parcel: 447-150-045

90. PRIOR TO BLDG FINAL INSPECTION

90.BS GRADE. 7 MAP - PRECISE GRDG APPROVAL (cont.)

RECOMMND

Civil Engineer certifying that the Water Quality Management Plan treatment control BMPs have been installed in accordance with the approved WQMP.

Prior to release for building final, the applicant shall have met all precise grade requirements to obtain Building and Safety Department clearance.

FLOOD RI DEPARTMENT

90.FLOOD RI. 2 MAP BMP - EDUCATION

RECOMMND

The developer shall distribute environmental awareness education materials on general good housekeeping practices that contribute to protection of stormwater quality to all initial residents. The developer may obtain NPDES Public Educational Program materials from the District's NPDES Section by either the District's website www.floodcontrol.co.riverside.ca.us, e-mail fcnpdes@co.riverside.ca.us, or the toll free number 1-800-506-2555. Please provide Project number, number of units and location of development. Note that there is a five-day minimum processing period requested for all orders.

The developer must provide to the District's PLAN CHECK Department a notarized affidavit stating that the distribution of educational materials to the tenants is assured prior to the issuance of occupancy permits.

If conditioned for a Water Quality Management Report (WQMP), a copy of the notarized affidavit must be placed in the report. The District MUST also receive the original notarized affidavit with the plan check submittal in order to clear the appropriate condition. Placing a copy of the affidavit without submitting the original will not guarantee clearance of the condition.

90.FLOOD RI. 3 MAP IMPLEMENT WQMP

RECOMMND

All structural BMPs described in the project-specific WQMP shall be constructed and installed in conformance with approved plans and specifications. It shall be demonstrated that the applicant is prepared to implement all non-structural BMPs described in the approved project specific WQMP and that copies of the approved

TRACT MAP Tract #: TR35477

Parcel: 447-150-045

90. PRIOR TO BLDG FINAL INSPECTION

90.FLOOD RI. 3 MAP IMPLEMENT WQMP (cont.)

RECOMMND

project-specific WQMP are available for the future owners/occupants. The District will not release occupancy permits for any portion of the project exceeding 80% of the total recorded residential lots within the map or phase within the map prior to the completion of these tasks.

PLANNING DEPARTMENT

90.PLANNING. 3 MAP - QUIMBY FEES (2)

RECOMMND

The land divider/permit holder shall present certification to the Riverside County Planning Department that payment of parks and recreation fees and/or dedication of land for park use in accordance with Section 10.35 of County Ordinance No. 460 has taken place. aid certification shall be obtained from the Riverside Economic Development Agency (EDA) for CSA No. 69.

90.PLANNING. 4 MAP - CONCRETE DRIVEWAYS

RECOMMND

The land divider/permit holder shall cause all driveways to be constructed of cement concrete.

90.PLANNING. 5 MAP - FENCING COMPLIANCE

RECOMMND

Fencing shall be provided throughout the subdivision in accordance with the approved final site development plans.

90.PLANNING. 10 MAP - SKR FEE CONDITION

RECOMMND

Prior to the issuance of a certificate of occupancy, or upon building permit final inspection, whichever comes first, the land divider/permit holder shall comply with the provisions of Riverside County Ordinance No. 663, which generally requires the payment of the appropriate fee set forth in that ordinance. The amount of the fee required to be paid may vary, depending upon a variety of factors, including the type of development application submitted and the applicability of any fee reduction or exemption provisions contained in Riverside County Ordinance No. 663. Said fee shall be calculated on the approved development project which is anticipated to be 2.69 acres (gross) in accordance with TENTATIVE MAP. If the development is subsequently revised, this acreage amount may be modified in order to reflect the revised development project acreage amount. In the event Riverside

TRACT MAP Tract #: TR35477

Parcel: 447-150-045

90. PRIOR TO BLDG FINAL INSPECTION

90.PLANNING. 10 MAP - SKR FEE CONDITION (cont.) RECOMMND

County Ordinance No. 663 is rescinded, this condition will no longer be applicable. However, should Riverside County Ordinance No. 663 be rescinded and superseded by a subsequent mitigation fee ordinance, payment of the appropriate fee set forth in that ordinance shall be required.

90.PLANNING. 11 MAP - MITIGATION MONITORING RECOMMND

The land divider/permit holder shall prepare and submit a written report to the Riverside County Planning Department demonstrating compliance with all these conditions of approval and mitigation measures of this permit and

Environmental Assessment No. 41303

The Planning Director may require inspection or other monitoring to ensure such compliance.

90.PLANNING. 12 MAP- ROLL-UP GARAGE DOORS RECOMMND

All residences shall have automatic roll-up garage doors.

TRANS DEPARTMENT

90.TRANS. 1 MAP - 80% COMPLETION RECOMMND

Occupancy releases will not be issued to Building and Safety for any lot exceeding 80% of the total recorded residential lots within any map or phase of map prior to completion of the following improvements:

- a) Primary and Alternate (secondary) access roads shall be completed and paved to finish grade according to the limits indicated in the improvement plans and as noted elsewhere in these conditions.
- b) Interior roads shall be completed and paved to finish grade according to the limits indicated in the improvement plans and as noted elsewhere in these conditions. All curbs, gutters, sidewalks and driveway approaches shall be installed.
- c) Storm drains and flood control facilities shall be completed according to the improvement plans and

06/23/14
11:22

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 53

TRACT MAP Tract #: TR35477

Parcel: 447-150-045

90. PRIOR TO BLDG FINAL INSPECTION

90.TRANS. 1 MAP - 80% COMPLETION (cont.)

RECOMMND

as noted elsewhere in these conditions. Written confirmation of acceptance for use by the Flood Control District, if applicable, is required.

- d) Water system, including fire hydrants, shall be installed and operational, according to the improvement plans and as noted elsewhere in these conditions. All water valves shall be raised to pavement finished grade. Written confirmation of acceptance from water purveyor is required.
- e) Sewer system shall be installed and operational, according to the improvement plans and as noted elsewhere in these conditions. All sewer manholes shall be raised to pavement finished grade. Written confirmation of acceptance from sewer purveyor is required.
- f) Landscaping and irrigation, water and electrical systems shall be installed and operational in accordance with County Ordinance 461.

90.TRANS. 2 MAP - WRCOG TUMF

RECOMMND

Prior to the issuance of an occupancy permit, the project proponent shall pay the Transportation Uniform Mitigation Fee (TUMF) in accordance with the fee schedule in effect at the time of issuance, pursuant to Ordinance No. 824.

90.TRANS. 3 MAP - STREETLIGHTS INSTALL

RECOMMND

Install streetlights along the streets associated with development in accordance with the approved street lighting plan and standards of County Ordinance 460 and 461. For projects within Imperial Irrigation District (IID) use (IID's) pole standard. Streetlight annexation into L&LMD or similar mechanism as approved by the Transportation Department shall be completed.

It shall be the responsibility of the Developer to ensure that streetlights are energized along the streets of those lots where the Developer is seeking Building Final Inspection (Occupancy).

06/23/14
11:22

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 54

TRACT MAP Tract #: TR35477

Parcel: 447-150-045

90. PRIOR TO BLDG FINAL INSPECTION

90.TRANS. 4

MAP - UTILITY INSTALL

RECOMMND

Electrical power, telephone, communication, street lighting, and cable television lines shall be placed underground in accordance with ordinance 460 and 461, or as approved by the Transportation Department. This also applies to existing overhead lines which are 33.6 kilovolts or below along the project frontage and between the nearest poles offsite in each direction of the project site.

A certificate should be obtained from the pertinent utility company and submitted to the Department of Transportation as proof of completion.

90.TRANS. 5

MAP - LANDSCAPING

RECOMMND

The project proponent shall comply in accordance with landscaping requirements within public road rights-of-way, (or within easements adjacent to the public rights-of-way), in accordance with Ordinance 461, Comprehensive Landscaping Guidelines & Standards, and Ordinance 859.

Landscaping shall be improved within Girard Street.

06/23/14
12:34

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 1

TRACT MAP Tract #: TR35477

Parcel: 447-150-045

10. GENERAL CONDITIONS

PLANNING DEPARTMENT

10.PLANNING. 21

MAP - MINOR REVISIONS

RECOMMND

This Condominium Map has been processed with Floor Plans and Elevations in order to provide the Planning Commission and the Board of Supervisors with a general illustration of what will be constructed. Any minor changes to the design of the project, so long as it does not change the massing or increase the total unit count, may be administratively reviewed and approved by the Director of Planning. Such administrative review will not require a hearing.

LAND DEVELOPMENT COMMITTEE
CASE TRANSMITTAL
RIVERSIDE COUNTY PLANNING DEPARTMENT - RIVERSIDE
P.O. Box 1409
Riverside, CA 92502-1409

DATE: November 6, 2007

TO:

Transportation Department, Jim Knutson
Dept. of Environmental Health
Dept. of Flood
Dept. of Fire
Dept. of Bldg. & Safety (Grading)
Dept. of Bldg. & Safety (Plnchk)

Environmental Programs Dept.
Regional Parks & Open Space
Co. Geologist
Landscape
Archeology

TENTATIVE TRACT MAP NO. 35477, AMENDED NO. 1 – EA41303 – Applicant: Tim Huyck – Engineer/Representative: Trans-Pacific Consultants - Third Supervisorial District - Ramona Zoning District - San Jacinto Valley Area Plan: Community Development – Medium Density Residential (CD-MDR) (2-5 Dwelling Units/Acre) and Very High Density Residential (CD-VHDR) (14-20 Dwelling Units/Acre) Location: Northerly of Whittier Ave., Southerly of Mayberry Ave., and Westerly of Girard St. – 2.69 Gross Acres - Zoning: General Residential (R-3) - **REQUEST:** A proposal for a Schedule "A" Subdivision for a 47 unit condominium complex on 2.69 gross acres. The complex includes one multi-sport court, one tot lot, one pool area and one open space area. There currently exist two (2) residential structures - APN(s):447-150-044, 447-150-045 - Concurrent Case: GPA00851

Please review the attached **Amended** exhibit(s) for the above-mentioned project. Any further comments, recommendations, and/or conditions are requested prior to the pending **November 29, 2007 CPR Comment Agenda** deadline, in order that they may be incorporated in the staff report package for this project.

Should you have any questions regarding this item, please do not hesitate to contact **Shelley Esteybar**, Project Planner, (951)955-4641, or e-mail at sesteyba@RCTLMA.org / **MAILSTOP #: 1070**

COMMENTS:

DATE: _____ SIGNATURE: _____

PLEASE PRINT NAME AND TITLE: _____

TELEPHONE: _____

If you do not include this transmittal in your response, please include a reference to the case number and project planner's name. Thank you.

LAND DEVELOPMENT COMMITTEE
CASE TRANSMITTAL
RIVERSIDE COUNTY PLANNING DEPARTMENT - RIVERSIDE
P.O. Box 1409
Riverside, CA 92502-1409

DATE: June 11, 2008

TO:

Transportation Department, Jim Knutson
Dept. of Environmental Health
Dept. of Flood
Dept. of Fire
Dept. of Bldg. & Safety (Grading)

Environmental Programs Dept.
Regional Parks & Open Space
Co. Geologist
Landscape

TENTATIVE TRACT MAP NO. 35477, AMENDED NO. 2 – EA41303 – Applicant: Tim Huyck – Engineer/Representative: Trans-Pacific Consultants - Third Supervisorial District - Ramona Zoning District - San Jacinto Valley Area Plan: Community Development: Medium Density Residential (CD:MDR) (2-5 Dwelling Units Per Acre) and Very High Density Residential (CD:VHDR) (14-20 Dwelling Units Per Acre) Location: Northerly of Whittier Ave., southerly of Mayberry Ave., and westerly of Girard St. – 2.69 Gross Acres - Zoning: General Residential (R-3) - **REQUEST:** The tentative map proposes a Schedule "A" Subdivision for a 47 unit condominium complex on 2.69 gross acres. The proposal includes a 789 sq. ft. tot lot, a 1574 sq. ft. pool area, an 840 sq. ft. barbeque area, and 22,664 sq. ft. of open space area. Total development proposal includes, 31,881 sq. ft. of building area, 25,868 sq. ft. of open space, 4,658 sq. ft. of landscaping, and 132 parking spaces. There currently exist two (2) residential structures - APN(s):447-150-044, 447-150-045 Concurrent Cases: GPA00581

Please review the attached **Amended** exhibit(s) for the above-mentioned project. Any further comments, recommendations, and/or conditions are requested prior to the pending **July 3, 2008 LDC Comment Agenda** deadline, in order that they may be incorporated in the staff report package for this project.

Should you have any questions regarding this item, please do not hesitate to contact **Jeff Horn**, Project Planner, (951)955-4641, or e-mail at jhorn@RCTLMA.org / **MAILSTOP #: 1070**

COMMENTS:

DATE: _____ SIGNATURE: _____

PLEASE PRINT NAME AND TITLE: _____

TELEPHONE: _____

If you do not include this transmittal in your response, please include a reference to the case number and project planner's name. Thank you.

LAND DEVELOPMENT COMMITTEE
CASE TRANSMITTAL
RIVERSIDE COUNTY PLANNING DEPARTMENT - RIVERSIDE
P.O. Box 1409
Riverside, CA 92502-1409

DATE: August 27, 2008

TO:

Transportation Department, Jim Knutson
Dept. of Environmental Health
Dept. of Flood
Dept. of Fire

Dept. of Bldg. & Safety (Grading)
Co. Geologist
Landscape

TENTATIVE TRACT MAP NO. 35477, AMENDED NO. 3 – EA41303 – Applicant: Tim Huyck – Engineer/Representative: Trans-Pacific Consultants - Third Supervisorial District - Ramona Zoning District - San Jacinto Valley Area Plan: Community Development: Medium Density Residential (MDR) (2-5 Dwelling Units Per Acre) and Very High Density Residential (VHDR) (14-20 Dwelling Units Per Acre) Location: Northerly of Whittier Ave., Southerly of Mayberry Ave., and Westerly of Girard St. – 2.69 Gross Acres - Zoning: General Residential (R-3) - **REQUEST:** The tentative map proposes a Schedule "A" Subdivision for a 47 unit condominium complex on 2.69 gross acres. The proposal includes a 789 sq. ft. tot lot, a 1574 sq. ft. pool area, an 840 sq. ft. barbeque area, and 22,664 sq. ft. of open space area. Total development proposal includes, 31,881 sq. ft. of building area, 25,868 sq. ft. of open space, 4,658 sq. ft. of landscaping, and 129 parking spaces. There currently exist two (2) residential structures - APN(s):447-150-044, 447-150-045 Concurrent Cases: GPA00581

Please review the attached **Amended** exhibit(s) for the above-mentioned project. Any further comments, recommendations, and/or conditions are requested prior to the pending **September 18, 2008 LDC Comment Agenda** deadline, in order that they may be incorporated in the staff report package for this project.

Should you have any questions regarding this item, please do not hesitate to contact **Jeff Horn**, Project Planner, (951)955-4641, or e-mail at jhorn@RCTLMA.org / **MAILSTOP #: 1070**

COMMENTS:

DATE: _____

SIGNATURE: _____

PLEASE PRINT NAME AND TITLE: _____

TELEPHONE: _____

If you do not include this transmittal in your response, please include a reference to the case number and project planner's name. Thank you.

LAND DEVELOPMENT COMMITTEE/
DEVELOPMENT REVIEW TEAM
4th AMENDED CASE TRANSMITTAL
RIVERSIDE COUNTY PLANNING DEPARTMENT - RIVERSIDE
P.O. Box 1409
Riverside, CA 92502-1409

DATE: July 25, 2013

TO:

Riv. Co. Transportation Dept.
Riv. Co. Environmental Health Dept.
Riv. Co. Public Health – Industrial Hygiene
Riv. Co. Fire Department
Riv. Co. Building & Safety – Grading

Riv. Co. Building & Safety – Plan Check
Regional Parks & Open Space District
Riv. Co. Environmental Programs Division
P.D. Geology Section
P.D. Landscaping Section

P.D. Archaeology Section
Riv. Co. Sheriff's Dept.
3rd District Supervisor - Stone
3rd District Planning Commissioner - Petty
Hemet Unified School District

TENTATIVE TRACT MAP NO. 35477 – AMENDED NO. 4 – EA41303 – Applicant: Tim Huyck – Engineer/Representative: Trans-Pacific Consultants - Third/Third Supervisorial District - Ramona Zoning District - San Jacinto Valley Area Plan: Community Development: Medium Density Residential (CD:MDR) (2-5 Dwelling Units Per Acre) and Very High Density Residential (CD:VHDR) (14-20 Dwelling Units Per Acre) Location: Northerly of Whittier Ave., southerly of Mayberry Ave., and westerly of Girard St. – 2.69 Gross Acres - Zoning: General Residential (R-3) - **REQUEST:** The tentative map proposes a Schedule "A" Subdivision for a 37 unit condominium complex on 2.69 gross acres. The proposal includes a 10,019 sq. ft. landscape area including two playgrounds, a 2,172 sq. ft. pool area, and a 5,725 sq. ft. of front yard area. Total development proposal includes, 28,152 sq. ft. of building footprint area, 18,740 sq. ft. of landscaping area (including pool), and 112 parking spaces. There currently exists one (1) residential structure - APN(s):447-150-044, 447-150-045

Please review the attached map(s) and/or exhibit(s) for the above-described project. This case is scheduled for a **DRT meeting on August 15, 2013**. All LDC/DRT Members please have draft conditions in the Land Management System on or before the above date. If it is determined that the attached map(s) and/or exhibit(s) are not acceptable, please have corrections in the system and DENY the routing on or before the above date. Once the route is complete, and the approval screen is approved with or without corrections, the case can be scheduled for a public hearing.

All other transmitted entities, please have your comments, questions and recommendations to the Planning Department on or before the above date. Your comments/recommendations/conditions are requested so that they may be incorporated in the staff report for this particular case.

Should you have any questions regarding this project, please do not hesitate to contact H.P. Kang, Project Planner, at (951) 955-1888 or email at HPKANG@rctlma.org / MAILSTOP# 1070.

Public Hearing Path: DH: PC: BOS:

COMMENTS:

DATE: _____ SIGNATURE: _____

PLEASE PRINT NAME AND TITLE: _____

TELEPHONE: _____

If you do not include this transmittal in your response, please include a reference to the case number and project planner's name. Thank you.

**COMPREHENSIVE PROJECT REVIEW
INITIAL CASE TRANSMITTAL
RIVERSIDE COUNTY PLANNING DEPARTMENT - RIVERSIDE
P.O. Box 1409
Riverside, CA 92502-1409**

DATE: April 9, 2007

TO:

Transportation Dept.
Environmental Health Dept.
Flood Control Dist.
Fire Department
Dept. of Bldg. & Safety (Grading)
Dept. of Bldg. & Safety (PInChk)
Regional Parks & Open Space Dist.
Co. Geologist
Environmental Programs Dept.
P.D. Trails Coordinator-J. Jolliffe
Riv. Transit Agency
Riv. Sheriffs Department

Riv. Waste Management Dept
Valley-Wide Recreation & Parks Dist. #7
Riv. Co. Airport Land Use Commission
Supervisor Stone
Commissioner Petty
Hemet Unified School Dist.
EMWD
Caltrans Dist. #8
California Native American Heritage Commission
EIC "Attachment A"
U.S. Postal Service

TENTATIVE TRACT MAP NO. 35477 – EA41303 – Applicant: Tim Huyck – Engineer/Representative: Transpacific Consultants - Third Supervisorial District - Ramona Zoning District - San Jacinto Valley Area Plan: Community Development – Medium Density Residential (CD-MDR) (2-5 DU/Acre), Very High Density Residential (CD-VHDR) (14-20 DU/Acre) Location: Northerly of Whittier Ave., southerly of Mayberry Ave., and westerly of Girard St. – 2.69 Gross Acres - Zoning: General Residential (R-3) - **REQUEST:** A proposal for a schedule A subdivision of a 48 unit town home project on 2.69 gross acres. APN(s):447-150-044, 447-150-045

Please review the attached exhibit(s) for the above-described project. This case is scheduled for a **CPR meeting on May 3, 2007**. All County Agencies and Departments, please have draft conditions in the Land Management System by the above date. If you cannot clear the exhibit, please have corrections in the system and DENY the routing. Once the route is complete, and the approval screen is approved with or without corrections, the case can be scheduled for a public hearing. All other agencies, please have your comments/conditions to the Planning Department as soon as possible. Your comments/recommendations/conditions are requested so that they may be incorporated in the staff report for this particular case.

Should you have any questions regarding this item, please do not hesitate to contact **Shelley Esteybar**, Project Planner, at **(951) 955-4641** or email at sesteyba@RCTLMA.org / **MAILSTOP# 1070**.

COMMENTS:

SEE ATTACHED

DATE: _____

SIGNATURE: _____

PLEASE PRINT NAME AND TITLE: _____

TELEPHONE: _____

If you do not include this transmittal in your response, please include a reference to the case number and project planner's name. Thank you.




Valley-Wide Recreation & Park District
P.O. Box 907 • San Jacinto, CA 92581
(951) 654-1505 • Fax (951) 654-5279

ORDINANCE 460 – PARKLANDS

TRACT MAP NO. 35477

1. Developer is required to **pay *Quimby (park) fees*** on all residential units.
2. The developer must form a homeowner's association to fund the maintenance of the detention basin and any streetscape improvements.



Samuel W. Goepff, General Manager

April 18, 2007

STATE OF CALIFORNIA

Arnold Schwarzenegger Governor

NATIVE AMERICAN HERITAGE COMMISSION

915 CAPITOL MALL, ROOM 384
SACRAMENTO, CA 95814
(916) 658-6251
Fax (916) 657-5390
Web Site www.nahc.ca.gov
e-mail: dc_nahc@pacbell.net



September 11, 2007

Ms. Shelley Esteybar, Project Planner
COUNTY OF RIVERSIDE PLANNING DEPARTMENT
P.O. Box 1409
Riverside, CA 92502-1409

Sent by FAX to: 951-955-3157
Number of pages: 2

Re: Tribal Consultation Per SB 18/Sacred Lands File Search for Project- General Plan
Amendment 00851 for Tentative Tract Map 35477; Ramona District, Riverside County, California

Dear Ms. Esteybar:

Government Code §65352.3 requires local governments to consult with California Native American tribes identified by the Native American Heritage Commission (NAHC) for the purpose of protecting, and/or mitigating impacts to cultural places. Attached is a Native American Tribal Consultation list of tribes with traditional lands or cultural places located within the requested plan boundaries.

As a part of consultation, the NAHC recommends that local governments conduct record searches through the NAHC and California Historic Resources Information System (CHRIS) to determine if any cultural places are located within the area(s) affected by the proposed action.

A NAHC Sacred Lands File search was conducted based on the township, range, and section information included in your request and no sites were found within the area of potential effect you identified. However, local governments should be aware that records maintained by the NAHC and CHRIS are not exhaustive, and a negative response to these searches does not preclude the existence of a cultural place. A tribe may be the only source of information regarding the existence of a cultural place. I suggest you consult with all of those on the accompanying Native American Contacts list, which has been included separately. If they cannot supply information, they might recommend others with specific knowledge about cultural resources in your plan area. If a response has not been received within two weeks of notification, the Commission requests that you follow-up with a telephone call to ensure that the project information has been received.

If you receive notification of change of addresses and phone numbers from Tribes, please notify me. With your assistance we are able to assure that our consultation list contains current information.

If you have any questions, please contact me at (916) 653-6251.

Sincerely,

A handwritten signature in black ink, appearing to read "Dave Singleton".

Dave Singleton
Program Analyst

Attachment: Native American Contacts

**Nat' American Tribal Consultation LI
Riverside County
September 11, 2007**

Cahuilla Band of Indians
Anthony Madrigal, Jr., Interim-Chairperson
P.O. Box 391760 Cahuilla
Anza , CA 92539
tribalcouncil@cahuilla.net
(951) 763-2631

Pechanga Band of Mission Indians
Mark Macarro, Chairperson
P.O. Box 1477 Luiseno
Temecula , CA 92593
tbrown@pechanga-nsn.gov
(951) 676-2768

San Manuel Band of Mission Indians
Henry Duro, Chairperson
26569 Community Center Drive Serrano
Highland , CA 92346
(909) 864-8933
(909) 864-3724 - FAX

Soboba Band of Mission Indians
Robert J. Salgado, Chairperson
P.O. Box 487 Luiseno
San Jacinto , CA 92581
varres@soboba-nsn.gov
(951) 654-2765

Santa Rosa Band of Mission Indians
John Marcus, Chairman
P.O. Box 609 Cahuilla
Hemet , CA 92546
srtribaloffice@aol.com
(951) 658-5311
(951) 658-6733 Fax

Ramona Band of Cahuilla Indians
Manuel Hamilton, Chairperson
P.O. Box 391670 Cahuilla
Anza , CA 92539
admin@ramonatribe.com
(951) 763-4105

This list is current only as of the date of this document.

Distribution of this list does not relieve any person of statutory responsibility as defined in Section 7050.5 of the Health and Safety Code, Section 6097.94 of the Public Resources Code and Section 6097.98 of the Public Resources Code.

This list is applicable only for consultation with Native American tribes under Government Code Section 65362.3.



Mission:

Educate and communicate the rich heritage of Soboba peoples; Lead and assist individuals, organizations and communities in understanding the needs and concerns of Native American monitoring of traditional sites; Advocate Native American participation in state agencies and boards; Advocate legislation and enforcement of laws affecting Native American peoples and protecting historical and archaeological resources.

December 18, 2007

Attn: Shelly Esteybar
County of Riverside
P.O. Box 1409
Riverside, Ca 92502-1409

Re: Tentative Tract Map No. 35477 (TR 35477)

The Soboba Band of Luiseño Indians appreciates your observance of Tribal Cultural Resources and their preservation in your project. The information provided to us on said project(s) has been assessed through our Cultural Resource Department, where it was concluded that the project area falls within the bounds of our Tribal Traditional Use Area.

Soboba Band of Luiseño Indians is requesting the following:

1. Further consultation with Native American Tribes.
2. Copies of archeological and/or cultural resource documentation.

If you have any questions or concerns please do not hesitate to contact me at the following number 951-487-8268.

[SPECIAL NOTE (for projects other than cell towers): If this project is associated with a city or county specific plan or general plan action it is subject to the provisions of SB18-Traditional Tribal Cultural Places (law became effective January 1, 2005) and will require the city or county to participate in formal, government-to-government consultation with the Tribe. If the city or county are your client, you may wish to make them aware of this requirement. By law, they are required to contact the Tribe.]

Sincerely,

A handwritten signature in black ink, appearing to read "Darren Hill". The signature is fluid and cursive.

Darren Hill
Soboba Cultural Resource Department
Phone 951-487-8268
Cell 951-663-5279
dhill@soboba-nsn.gov

10-22-07

Shelley Esteybar,

In response to your comments on the The Evan Jones project in Hemet Ca, I have provided the following responses. Please feel free to contact me if you have any questions.

1 - I had thought you were going to add windows with window treatment to the side elevations. Most particularly to the buildings at the front entrance. We do need the 360 degree architecture.
Please see that window and window treatment have been added

2 - I am assuming you are proposing a subdivision of 1 lot with 47 condominium units. If so please specify on site plan. You can place "1" circled at the center on the site plan and note it on the legend as Subdivision Lot Number.

Please see that we now have provided a circle and a note as you requested. (A-1)

3 - Please include a parking calculation table. Please see ordinance 348 - Parking for multi-family residential developments.

Please see parking calculation on sheet A-1

4- You need to provide color/material exhibit calling out all the color/material used on the elevations. You can all them all out on the elevations as well.

Please see the color board and exhibits. We have call out all material on sheets A-10 thru A-17 this should correspond with the sample board that will be provided.

5- Include signage plan as requested

See signage plan on sheet A-1

6- Lastly, do not include the "not-a-part" on the site plan. "Not a Part" should only be used if it is part of your parcel but not being incorporated in the development plan. That will confuse the other departments.

Please see that this note has been omitted off the Site plan per your request.

Thank you for your time per reviewing our project.

Wade Shuey
Project Designer

WSCS
909-262-9766



Riverside County
Waste Management Department

Hans W. Kernkamp, General Manager-Chief Engineer

May 17, 2007

Shelley Esteybar, Project Planner
Riverside County Planning Department
P. O. Box No. 1409
Riverside, CA 92502-1409

RE: Tentative Tract Map (TR) No. 35477
Proposal: Divide 2.69 acres into 48-unit town homes.
APN: 447-150-044, -045

Dear Ms. Esteybar:

The Riverside County Waste Management Department (RCWMD) has reviewed the proposed project located north of Whittier Avenue, south of Mayberry Avenue, and west of Girard Street, in the Ramona Zoning District. The project has the potential to impact long-term landfill capacity by generating solid waste that requires disposal. In order to mitigate the project's potential solid waste impact, and to help the County's efforts to comply with State law in diverting solid waste from landfill disposal, the project proponent shall do the following:

1. **Prior to the issuance of a building permit**, a Waste Recycling Plan (WRP) shall be submitted to the Waste Management Department for approval. At a minimum, the WRP must identify the materials (i.e., concrete, asphalt, wood, etc.) that will be generated by construction and development, the projected amounts, the measures/methods that will be taken to recycle, reuse, and/or reduce the amount of materials, the facilities and/or haulers that will be utilized, and the targeted recycling or reduction rate. Materials can be taken directly to recycling facilities (Riverside County Waste Management Department, Recycling Section, can be contacted directly at 951.486.3200 for a list of facilities), or arrangements can be made through the franchise hauler and/or a construction clean-up business.
2. **Prior to the issuance of an occupancy permit**, evidence (i.e., receipts or other type of verification) to demonstrate project compliance with the approved WRP shall be presented by the project proponent to the Planning/Recycling Division of the Riverside County Waste Management Department in order to clear the project for occupancy permits.

The project proponent should implement the following measures, as feasible:

1. Hazardous materials **are not** accepted at the Riverside County landfills. Any hazardous wastes, including paint, used during construction must be properly

Shelley Esteybar, Project Planner
TR No. 35477
May 17, 2007
Page 2

disposed of at a licensed facility in accordance with local, state and federal regulations. For further information contact the Household Hazardous Waste Collection Program at 1.800.304.2226.

2. Use mulch and/or compost in the development and maintenance of landscaped areas within the project boundaries. Recycle green waste through either onsite composting of grass, i.e., leaving the grass clippings on the lawn, or sending separated green waste to a composting facility.
3. Consider xeriscaping and using drought tolerant/low maintenance vegetation in all landscaped areas of the project.

Thank you for the opportunity to review this proposal. If you have any questions, please call me at (951) 486-3284.

Sincerely,



Mirtha Liedl, Planner

Enclosure: Initial Case Transmittal

PD #54467

ML

8412-1

Clear/cls

COMPREHENSIVE PROJECT REVIEW INITIAL CASE TRANSMITTAL

RIVERSIDE COUNTY PLANNING DEPARTMENT - RIVERSIDE
P.O. Box 1409
Riverside, CA 92502-1409

DATE: April 9, 2007

TO:

Transportation Dept.
Environmental Health Dept.
Flood Control Dist.
Fire Department
Dept. of Bldg. & Safety (Grading)
Dept. of Bldg. & Safety (PlnChk)
Regional Parks & Open Space Dist.
Co. Geologist
Environmental Programs Dept.
P.D. Trails Coordinator-J. Jolliffe
Riv. Transit Agency
Riv. Sheriffs Department

Riv. Waste Management Dept
Valley-Wide Recreation & Parks Dist. #7
Riv. Co. Airport Land Use Commission
Supervisor Stone
Commissioner Petty
Hemet Unified School Dist.
EMWD
Caltrans Dist. #8
California Native American Heritage Commission
EIC "Attachment A"
U.S. Postal Service

07 APR 13 PM 1:12
COUNTY OF RIVERSIDE
WASTE MANAGEMENT

TENTATIVE TRACT MAP NO. 35477 – EA41303 – Applicant: Tim Huyck – Engineer/Representative: Transpacific Consultants - Third Supervisorial District - Ramona Zoning District - San Jacinto Valley Area Plan: Community Development – Medium Density Residential (CD-MDR) (2-5 DU/Acre), Very High Density Residential (CD-VHDR) (14-20 DU/Acre) Location: Northerly of Whittier Ave., southerly of Mayberry Ave., and westerly of Girard St. – 2.69 Gross Acres - Zoning: General Residential (R-3) - **REQUEST:** A proposal for a schedule A subdivision of a 48 unit town home project on 2.69 gross acres. APN(s):447-150-044, 447-150-045

Please review the attached exhibit(s) for the above-described project. This case is scheduled for a **CPR meeting on May 3, 2007**. All County Agencies and Departments, please have draft conditions in the Land Management System by the above date. If you cannot clear the exhibit, please have corrections in the system and DENY the routing. Once the route is complete, and the approval screen is approved with or without corrections, the case can be scheduled for a public hearing. All other agencies, please have your comments/conditions to the Planning Department as soon as possible. Your comments/recommendations/conditions are requested so that they may be incorporated in the staff report for this particular case.

Should you have any questions regarding this item, please do not hesitate to contact **Shelley Esteybar**, Project Planner, at (951) 955-4641 or email at sesteyba@RCTLMA.org / MAILSTOP# 1070.

COMMENTS:

DATE: _____ SIGNATURE: _____

PLEASE PRINT NAME AND TITLE: _____

TELEPHONE: _____

If you do not include this transmittal in your response, please include a reference to the case number and project planner's name. Thank you.



Dr. Barry L. Kayrell
Superintendent

Dr. LaFaye Platter
Deputy Superintendent

Dr. David Horton
Assistant Superintendent

Vincent Christakos
Assistant Superintendent

**Professional Development
Service Center**

1791 W. Acacia Avenue
Hemet, CA 92545
(951) 765-5100
Fax: (951) 765-5115

**Professional Development
Academy**

2085 W. Acacia Avenue
Hemet, CA 92545
(951) 765-5100
Fax: (951) 765-6421

www.hemetusd.k12.ca.us

Governing Board
Paul Bakkom
Dr. Lisa DeForest
Marilyn Forst
Vic Scavarda
James Smith
Ross Valenzuela
Joe Wojcik

August 14, 2013

H.P. Kang
Project Planner
Riverside County Planning Department
P.O. Box 1409
Riverside, CA 92502
(951) 955-1888

Re: Tentative Tract Map No. 35477 – Amended No. 4

Dear Mr. Kang,

Hemet Unified School District (HUSD) is in receipt of the Land Development Committee/Development Review Team 4th Amended Case Transmittal for Tentative Tract Map No. 35477 (Project). The Project is located north of Whittier Avenue, south of Mayberry Avenue, and west of Girard Street. In terms of residential construction, the Project proposes a 37 unit condominium complex on 2.69 gross acres.

The current permanent school facilities in HUSD have an original design capacity of 20,299 students. Presently, our enrollment is 21,698. We are accommodating the extra enrollment with portable facilities but have reached a point where our core facilities at most sites have become saturated.

The Project area is currently served by Ramona Elementary School for grades K-5, Acacia Middle School for grades 6-8 and West Valley High School for grades 9-12. Based on a current K-12 student generation rate of 0.3530 students per unit, the Project may generate a total of 13 students (six in grades K-5, three in grades 6-8 and four in grades 9-12).

Based on current transportation policies, the Project would not be eligible for transportation provided by HUSD. Detailed transportation information can be found at <http://www.hemetusd.k12.ca.us/business/transpo/index.html>.

HUSD's current school fees are \$3.75 per square foot for residential construction and \$0.51 per square foot for commercial, industrial and senior residential construction. School fees must be paid before issuance of any building permits. HUSD only accepts certified checks as payment for school fees. Please contact the HUSD Facilities Department for current school fee information and calculation prior to issuing a certified check.

Following is a list our schools, enrollment and capacity:

RECEIVED
AUG 15 2013
ADMINISTRATION
RIVERSIDE COUNTY
PLANNING DEPARTMENT

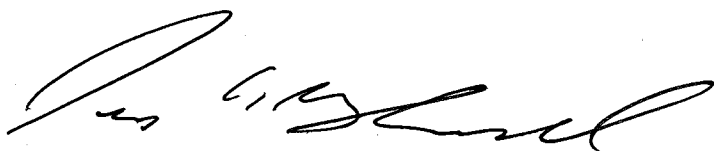
SCHOOL	GRADE LEVEL	ENROLLMENT*	PERMANENT CAPACITY**	OVER (+) / UNDER (-) CAPACITY
Acacia Middle	6-8	813	812	1
Bautista Creek Elementary	K-5	931	566	365
Cawston Elementary	K-5	822	570	252
College Prep High	9-12	186	0	186
Cottonwood School	K-8	234	305	-71
Dartmouth Middle	6-8	910	1,082	-172
Diamond Valley Middle	6-8	1,125	1,322	-197
Fruitvale Elementary	K-5	921	530	391
Hamilton School	K-8	455	215	240
Hamilton High	9-12	330	450	-120
Harmony Elementary	K-5	884	558	326
Hemet High	9-12	2,428	2,838	-410
Idyllwild School	K-8	282	255	27
Jacob Wiens Elementary	K-5	737	570	167
Little Lake Elementary	K-5	844	522	322
McSweeny Elementary	K-5	747	558	189
Ramona Elementary	K-5	722	480	242
Rancho Viejo Middle	6-8	1,280	1,456	-176
Santa Fe Education Center	K-12	925	890	35
Tahquitz High	9-12	1,594	2,418	-824
Valle Vista Elementary	K-5	653	520	133
West Valley High	9-12	1,848	2,252	-404
Western Center Academy	6-8	374	240	134
Whittier Elementary	K-5	1,102	550	552
Winchester Elementary	K-5	551	340	211
TOTAL	K-12	21,698	20,299	1,399

*Enrollment as of 10/3/2012 (Enrollment Reporting Day)

**Loaded at the State standard to allow for Class Size Reduction (K-3 = 20, 4-12 = 30, SDC = 15, SH = 8)

Please contact me at (951) 765-5100 x5465 or jbridwell@hemetusd.k12.ca.us if you have any questions.

Sincerely,



Jesse Bridwell
Facilities Planner

Board of Directors

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Division 2

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Mailing Address: P.O. Box 5039 • Hemet, CA 92544
26385 Fairview Avenue • Hemet, CA 92544
phone 951.658.3241 • fax 951.766.7031
www.lhmwd.org

Staff

Thomas W. Wagoner
General Manager

Mike Gow
AGM/Chief Engineer

Karen Hornbarger
Asst. Secretary/Treas.

LeAnn Markham
Manager, Admin. Services

Mitchell J. Freeman
Manager, Operations

Richard Johnson
Manager, Construction

WILL SERVE LETTER AND DISTRICT STATEMENT OF AVAILABILITY

Date: May 7, 2014

Property Owner/Responsible Party: G8 Development, Inc.
Address: 4538 Cass Street San Diego, Ca 92109
Subject Property Address/Location: 26399 Girard Street,
Hemet, Cal 92544
Tract/Parcel/Description: Tract # 35477

To Whom It May Concern:

This letter is to confirm that the above address/property is located within the service area of Lake Hemet Municipal Water District ("Lake Hemet") for the provision of sewer collection service or water service. Lake Hemet is willing and able to provide this service when applicable fees have been paid and upon satisfaction of the requirements for connection pursuant to Lake Hemet's rules and regulations.

This letter shall not constitute a vested right to receive sewer collection *and* water service in any particular amount or with any particular consistency. Service shall be provided in accordance with Lake Hemet's authority and discretion as a public agency.

Water reserves and availability of supplemental water for domestic consumption within Lake Hemet's service area are presently limited. Local groundwater basins throughout the San Jacinto Valley are in decline, which makes acquisition of imported water and the construction of facilities to enable its treatment and distribution important. In cooperation with Eastern Municipal Water District and the cities of Hemet and San Jacinto, Lake Hemet has embarked on capital improvements and water acquisition programs, the cost of which must be borne, in a proportionate amount, by new development.

This request shall expire six (6) months from the date noted above.

If you have any questions, please call (951) 658-3241 ext. 237

Noah Bischof, Customer Service
Lake Hemet Municipal Water District

COUNTY OF RIVERSIDE
TRANSPORTATION AND LAND MANAGEMENT AGENCY
Planning Department
Carolyn Syms Luna - Planning Director

Standard Letter of Change of Applicant

INCOMPLETE LETTERS WILL NOT BE ACCEPTED AND PROCESSED.

(To be completed by Case Planner)

CASE NUMBER(S): <u>TR 35477</u>	Set I.D. No. <u>CC004196</u>
<input type="checkbox"/> Check box if all concurrent cases are to be withdrawn.	

APPLICATION INFORMATION

Applicant's Name: G8 Development Inc. E-Mail: pchodur@sbcglobal.net
Applicant's Contact Person: Philip Chodur President
Chris Warburton Vice-President cwarburton@cox.net
If the applicant is not a person or persons, a contact person and their title is required

Mailing Address: 7624 El Cajon Blvd.
La Mesa CA 91942
City State ZIP

Daytime Phone No: (619) 823-3402 Philip Fax No: (619) 465-0302
(619) 804-5830 Chris


NOTE: Only the applicant of record, as shown in the County Land Management System (LMS), can request withdrawal of an application.

DATE SUBMITTED: 1/30/13

(CHECK THE APPROPRIATE BOX)

- I _____ hereby verify that I am the applicant of record and request to withdraw the above-referenced application(s) currently on file with the County of Riverside Planning Department.
- I _____ hereby verify that I am not the applicant of record, but have provided relative documents as proof of applicant transfer and request to withdraw the above-referenced application(s) currently on file with the County of Riverside Planning Department.
- I _____ verify that I no longer wish to continue as the applicant of record and hereby transfer all rights, privileges, and responsibilities to _____.
- I Philip Chodur verify that I am the new applicant and acknowledge the receipt thereof. My new address is 7624 El Cajon Blvd., phone number is 619-823-3402, and can be e-mailed at pchodur@sbcglobal.net.

Signature of Existing Applicant

(name of new applicant)


Signature of New Applicant

CC JNTY OF RIVERSIDE
TRANSPORTATION AND LAND MANAGEMENT AGENCY
Planning Department
Ron Goldman - Interim Planning Director

APPLICATION FOR SUBDIVISION AND DEVELOPMENT

CHECK ONE AS APPROPRIATE:

- | | | |
|---|---|---|
| <input checked="" type="checkbox"/> TRACT MAP | <input type="checkbox"/> MINOR CHANGE | <input type="checkbox"/> VESTING MAP |
| <input type="checkbox"/> REVISED MAP | <input type="checkbox"/> REVERSION TO ACREAGE | <input type="checkbox"/> EXPIRED RECORDABLE MAP |
| <input type="checkbox"/> PARCEL MAP | <input type="checkbox"/> AMENDMENT TO FINAL MAP | |

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED.

CASE NUMBER: TR35477 DATE SUBMITTED: 3-9-07

APPLICATION INFORMATION EA CFG

Applicant's Name: TIM HUICK E-Mail: TIMHUICK@HOTMAIL.COM

Mailing Address: 12564 BOUGAINVILLEA WAY
RIVERSIDE CA 92503
City State ZIP

Daytime Phone No: (951) 359-0594 Fax No: (951) 637-8740

Engineer/Representative's Name: TRANSPACIFIC CONSULTANTS E-Mail: _____

Mailing Address: 27431 ENTERPRISE CIRCLE WEST
TEMECULA CA 92590
City State ZIP

Daytime Phone No: (951) 676-7000 Fax No: (951) 699-7324

Property Owner's Name: MICHAEL P. WATSON E-Mail: MIKE@MIKEWATSONINSTITUTE.COM

Mailing Address: 1366 EAST 1120 SOUTH
PROVO UTAH 84606
City State ZIP

Daytime Phone No: (801) 418-7700 Fax No: (801) 418-7722

If additional persons have an ownership interest in the subject property in addition to that indicated above, attach a separate sheet that references the application case number and lists the names, mailing addresses, and phone numbers of those persons having an interest in the real property or properties involved in this application.

The Planning Department will primarily direct communications regarding this application to the person identified above as the Applicant. The Applicant may be the property owner, representative, or other assigned agent.

APPLICATION FOR SUBDIVISION AND DEVELOPMENT

AUTHORIZATION FOR CONCURRENT FEE TRANSFER

The signature below authorizes the Planning Department and TLMA to expedite the refund and billing process by transferring monies among concurrent applications to cover processing costs as necessary. Fees collected in excess of the actual cost of providing specific services will be refunded. If additional funds are needed to complete the processing of your application, you will be billed, and processing of the application will cease until the outstanding balance is paid and sufficient funds are available to continue the processing of the application. The applicant understands the deposit fee process as described above, and that there will be NO refund of fees which have been expended as part of the application review or other related activities or services, even if the application is withdrawn or the application is ultimately denied.

All signatures must be originals ("wet-signed"). Photocopies of signatures are **not** acceptable.

Tracy S. Hill _____
PRINTED NAME OF APPLICANT SIGNATURE OF APPLICANT

AUTHORITY FOR THIS APPLICATION IS HEREBY GIVEN:

I certify that I am/we are the record owner(s) or authorized agent and that the information filed is true and correct to the best of my knowledge. An authorized agent must submit a letter from the owner(s) indicating authority to sign the application on the owner's behalf.

All signatures must be originals ("wet-signed"). Photocopies of signatures are **not** acceptable.

MICHAEL P. WATSON _____
PRINTED NAME OF PROPERTY OWNER(S) SIGNATURE OF PROPERTY OWNER(S)

PRINTED NAME OF PROPERTY OWNER(S) SIGNATURE OF PROPERTY OWNER(S)

If the subject property is owned by persons who have not signed as owners above, attach a separate sheet that references the application case number and lists the printed names and signatures of all persons having an interest in the property.

See attached sheet(s) for other property owners signatures.

PROPERTY INFORMATION:

Assessor's Parcel Number(s): 447-150-044 + 447-150-045

Section: 14 Township: 5 SOUTH Range: 1 WEST

Approximate Gross Acreage: 2.69

General location (cross streets, etc.): North of WHITTIER AVE., South of MAYBELLY AVE., East of OLIVE DR., West of PLYMOUTH AVE ST.

Thomas Brothers map, edition year, page number, and coordinates: 2004 EDITION P. 841C1

APPLICATION FOR SUBDIVISION AND DEVELOPMENT

Proposal (describe project, indicate the number of proposed lots/parcels, units, and the schedule of the subdivision, whether the project is a Vesting Map or Planned Residential Development (PRD):

Develop
48 UNIT TOWNHOME PROJECT

Related cases filed in conjunction with this request:

NONE

Is there a previous development application filed on the same site: Yes No

If yes, provide Case No(s). _____ (Parcel Map, Zone Change, etc.)

E.A. No. (if known) _____ E.I.R. No. (if applicable): _____

Have any special studies or reports, such as a traffic study, biological report, archaeological report, geological or geotechnical reports, been prepared for the subject property? Yes No

If yes, indicate the type of report(s) and provide a copy: _____

Is water service available at the project site: Yes No

If "No," how far must the water line(s) be extended to provide service? (No. of feet/miles) _____

Is sewer service available at the site? Yes No

If "No," how far must the sewer line(s) be extended to provide service? (No. of feet/miles) _____

Will the proposal result in cut or fill slopes steeper than 2.1 or higher than 10 feet? Yes No

How much grading is proposed for the project site?

Estimated amount of cut = cubic yards: _____

Estimated amount of fill = cubic yards _____

Does the project need to import or export dirt? Yes No

Import _____ Export _____ Neither _____

What is the anticipated source/destination of the import/export?

APPLICATION FOR SUBDIVISION AND DEVELOPMENT

What is the anticipated route of travel for transport of the soil material?

How many anticipated truckloads? _____ truck loads.

What is the square footage of usable pad area? (area excluding all slopes) 2.69 Acres sq. ft.

If this is a residential subdivision, is it located in a Recreation and Park District or County Service Area authorized to collect fees for park and recreational services? Yes No

If yes, does the subdivision intend to dedicate land or pay Quimby fees, or a combination of both?

Dedicate land Pay Quimby fees Combination of both

Is the subdivision located within 8½ miles of March Air Reserve Base? Yes No

If yes, will any structure exceed fifty-feet (50') in height (above ground level)? Yes No

Does the subdivision exceed more than one acre in area? Yes No

If yes, in which one of the following watersheds is it located (refer to Riverside County GIS for watershed location)?

Check answer:

Santa Ana River Santa Margarita River San Jacinto River Colorado River

HAZARDOUS WASTE SITE DISCLOSURE STATEMENT

Government Code Section 65962.5 requires the applicant for any development project to consult specified state-prepared lists of hazardous waste sites and submit a signed statement to the local agency indicating whether the project is located on or near an identified site. Under the statute, no application shall be accepted as complete without this signed statement.

I (we) certify that I (we) have investigated our project with respect to its location on or near an identified hazardous waste site and that my (our) answers are true and correct to the best of my (our) knowledge. My (Our) investigation has shown that:

The project is not located on or near an identified hazardous waste site.

The project is located on or near an identified hazardous waste site. Please list the location of the hazardous waste site(s) on an attached sheet.

Owner/Representative (1) *Randy S. Iba* Date 3/7/07

Owner/Representative (2) _____ Date _____

PROPERTY OWNERS CERTIFICATION FORM

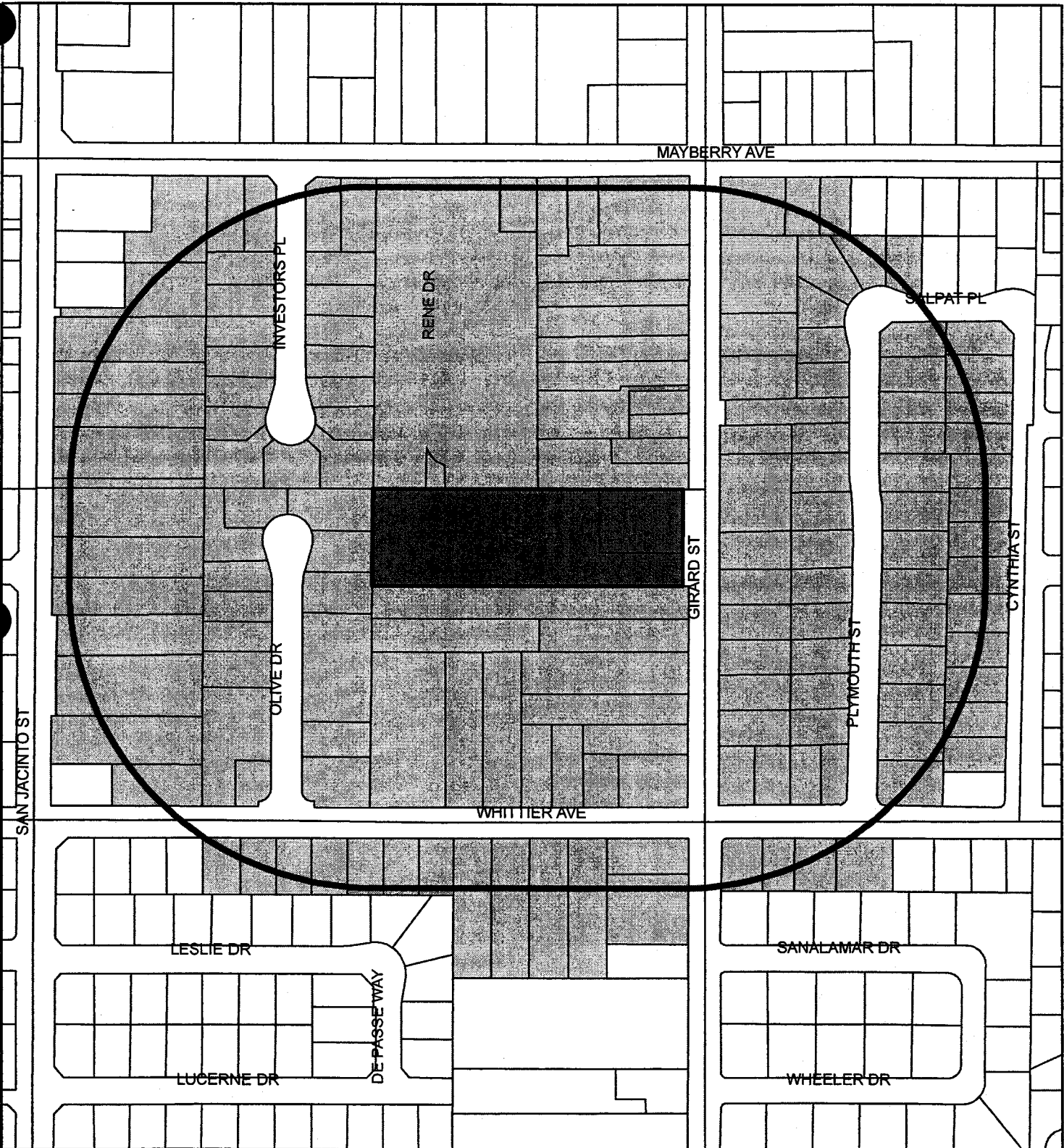
I Lisa Edwards, certify that on 6/19/14
the attached property owners list was prepared by Arc GIS
APN(s) or case numbers 447-150-044 & 447-156-095
for Company or Individual's Name PLANNING DEPARTMENT
Distance Buffered 600 feet.





Pursuant to application requirements furnished by the Riverside County Planning Department, said list is a complete and true compilation of the owners of the subject property and all other property owners within 600 feet of the property involved, or if that area yields less than 25 different owners, all property owners within a notification area expanded to yield a minimum of 25 different owners, to a maximum notification area of 2,400 feet from the project boundaries, based upon the latest equalized assessment rolls. If the project is a subdivision with identified off-site access/improvements, said list includes a complete and true compilation of the names and mailing addresses of the owners of all property that is adjacent to the proposed off-site improvement/alignment.

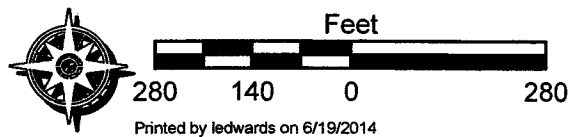
I further certify that the information filed is true and correct to the best of my knowledge. I understand that incorrect or incomplete information may be grounds for rejection or denial of the application.

NAME: Lisa Edwards *W. Edwards*
TITLE: Project Planner
ADDRESS: 4080 Lemon Street, 12th Floor, Riverside CA 92501
TELEPHONE: 951-955-1888

TR35477 (600 Foot Buffer)



-  Case Owner Buffer
-  Case Boundary
-  Parcel Boundaries
-  Surrounding Owner Parcels



Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

EDUARDO AGUIRRE
40546 SALPAT PL
HEMET, CA. 92544

MARC J AKACICH
2060 BEAR VALLEY PKY
ESCONDIDO, CA. 92027

JOSE TOMAS ARANA
42936 MAYBERRY AVE
HEMET, CA. 92544

RICHARD AUZENNE
26397 CYNTHIA ST
HEMET, CA. 92544

MARTIN C AVERY
40558 SALPAT PL
HEMET, CA. 92544

RAYAPPA REDDY BALASANI
4410 CEDARGLEN CT
MOOR PARK, CA. 93021

DANNEY E BALL
140 E STETSON AVE 333
HEMET, CA. 92543

DANNEY EDWARD BALL
PMB 333
140 E STETSON AVE
HEMET, CA. 92543

FILIBERTO BANUELOS
26418 GIRARD ST
HEMET, CA. 92544

VALERIE AMBER BARBER
26456 PLYMOUTH ST
HEMET, CA. 92544

RICHARD ALLEN BARTLETT
759 ROSEWOOD AVE
CAMARILLO, CA. 93010

CLAY LEE BASIL
42241 WELSHES CT
HEMET, CA. 92544

BENJAMIN BLANCHARD
26390 PLYMOUTH ST
HEMET, CA. 92544

JUAN BLANCO
1405 E WHITTIER AVE
HEMET, CA. 92544

PETER BLASI
26473 CYNTHIA ST
HEMET, CA. 92544

ADRIAN B BOHORQUEZ
340 N SAN JACINTO ST NO A
HEMET, CA. 92543

TERRY G BRATTEN
40535 WHITTIER AVE
HEMET, CA. 92544

RAMON BRIONES
26306 INVESTORS PL
HEMET, CA. 92544

DALE K BRUSEWITZ
26452 GIRARD ST
HEMET, CA. 92544

THERESA ELIZABETH BULLARD
26307 GIRARD ST
HEMET, CA. 92544

GORDON BURKHART
598 HAMPSHIRE RD
RIVERSIDE, CA. 92506

CALIFORNIA NEVADA CHURCH OF GOD
C/O FOUNTAIN OF LIFE CH
26448 OLIVE DR
HEMET, CA. 92544

CARLOS S CARDONA
26426 GIRARD ST
HEMET, CA. 92544

RENE CARDONA
10216 ALEXANDER AVE
SOUTH GATE, CA. 90280

SCOT ARNOLD CHANDLER
26296 INVESTORS PL
HEMET, CA. 92544

CHARWIN PROP
C/O JOEL FEINGOLD
P O BOX 1137
IDYLLWILD, CA. 92549

JOHN CHURCH
2225 GLENNEYRE NO K
LAGUNA BEACH, CA. 92651

DALE H CONRAD
105 SAGE HEN AVE
HEMET, CA. 92544

JORGE CONTRERAS
4371 GOLDENROD CT
CHINO, CA. 91710

RODOLFO CORTES
21963 STRAWBERRY LN
CANYON LAKE, CA. 92587

BONNIE M COSTANTINO
26488 PLYMOUTH ST
HEMET, CA. 92544

DAVID M CRAWFORD
26271 INVESTORS PL
HEMET, CA. 92544

NANCY L DAUDERT
26361 PLYMOUTH AVE
HEMET, CA. 92544

EDWARD LANE DAY
32722 GALLEANO AVE
WINCHESTER, CA. 92596

MIGUEL DE LA CRUZ
1521 WHITTIER AVE
HEMET, CA. 92544

DAVID A DEXTER
26311 CYNTHIA ST
HEMET, CA. 92544

DONALD F DOSKOCIL
26331 CYNTHIA ST
HEMET, CA. 92544

VICTORIA A EZZELL
722 N MARIA AVE
REDONDO BEACH, CA. 90277

CARL E FIFER
26360 PLYMOUTH ST
HEMET, CA. 92544

DONALD G FLATHAU
26461 CYNTHIA ST
HEMET, CA. 92544

GARY L FLEENER
26319 GIRARD ST
HEMET, CA. 92544

CARLOS OMAR FLORES
26468 OLIVE DR
HEMET, CA. 92544

DONALD E FORSYTH
26350 GIRARD ST
HEMET, CA. 92544

FREEDOM REAL ESTATE SOLUTIONS
23905 CLINTON KEITH 114
WILDOMAR, CA. 92595

G8 DEV INC
C/O PHILIP CHODUR
4538 CASS ST
SAN DIEGO, CA. 92109

HILDA GARCIA
3132 CENTURIAN PL
ONTARIO, CA. 91761

JONATHAN GARCIA
40535 MAYBERRY AVE
HEMET, CA. 92544

JOHN GERTIE
31093 SUNSET AVE
NUEVO, CA. 92567

JOSE O GOMEZ
1277 THORTON AVE
LYNWOOD, CA. 90262

MARCUS GOMEZ
220 BANBRIDGE AVE
LA PUENTE, CA. 91744

MARIA GOMEZ
1455 WHITTIER AVE
HEMET, CA. 92544

RICARDO A GONZALEZ
1802 SHEEP RANCH LOOP
CHULA VISTA, CA. 91913

GONZALO RULAMAN R GRAMAJO
26305 INVESTORS PL
HEMET, CA. 92544

AGUSTIN GUERRERO
27341 STANFORD ST
HEMET, CA. 92544

RICHARD R GUMM
26119 DUMONT RD
HEMET, CA. 92544

CYNDYA GUTIERREZ
26284 INVESTORS PL
HEMET, CA. 92544

TODD HALFORD
26400 GIRARD ST
HEMET, CA. 92544

DIANA L HANKS
40525 MAYBERRY AVE
HEMET, CA. 92544

EDGAR S HAYES
41420 LA MISION
HEMET, CA. 92544

EDGAR S HAYES
41420 LA MISSION WAY
HEMET, CA. 92544

EDGAR SELWYN HAYES
41420 LA MISION WAY
HEMET, CA. 92544

HEMET VALLEY CORP
8136 ORION AVE
VAN NUYS, CA. 91406

EDDIE HERNANDEZ
26336 INVESTORS PL
HEMET, CA. 92544

JOSE CARMEN HERNANDEZ
26386 GIRARD ST
HEMET, CA. 92544

KATHLEEN B HOLT
26447 CYNTHIA ST
HEMET, CA. 92544

ROBERT J HUDSON
40522 WHITTIER AVE
HEMET, CA. 92544

RALPH W IRWIN
256 CALLE CAMPESINO
SAN CLEMENTE, CA. 92672

J K PROP INC
C/O EXCEL RESIDENTIAL
2016 RIVERSIDE DR
LOS ANGELES, CA. 90039

RICHARD JOHNSON
26364 PLYMOUTH ST
HEMET, CA. 92544

GARY V KELLUM
40555 WHITTIER AVE
HEMET, CA. 92544

JAMES PATRICK KOZIK
P O BOX 9
HEMET, CA. 92544

SANDRA J KUHRT
40336 WHITTIER AVE
HEMET, CA. 92544

CRAIG C LACHMAN
26350 PLYMOUTH ST
HEMET, CA. 92544

ROBERT C LARMER
2091 SHELTER ISLAND DR
SAN DIEGO, CA. 92106

DEBORAH L LECHNER
C/O RANDALL D FARRAR
P O BOX 17304
SAN DIEGO, CA. 92177

DEBORAH L LECHNER
PMB 128 C/O GIRARD PROP TRUST
6755 MIRA MESA BLV NO 123
SAN DIEGO, CA. 92121

THOMAS N LITTLE
2351 MAYBERRY AVE
HEMET, CA. 92544

JOSE A LOPEZ
40412 WHITTIER AVE
HEMET, CA. 92544

LAURO LOPEZ
26322 SAN JACINTO ST
HEMET, CA. 92544

MARIA VICTORIA LOPEZ
26407 PLYMOUTH ST
HEMET, CA. 92544

PATRICIA A MATTESON
26383 CYNTHIA ST
HEMET, CA. 92544

MAYBERRY COLONY APTS INC
2016 RIVERSIDE DR
LOS ANGELES, CA. 90039

DENNIS RAY MCDOWELL
26360 GIRARD ST
HEMET, CA. 92544

TERRY R MEDEARIS
40362 WHITTIER AVE
HEMET, CA. 92544

JUAN C DUENAS MENDEZ
7230 SCALES WAY
BUENA PARK, CA. 90621

JACQUELINE R MORROW
26315 PLYMOUTH ST
HEMET, CA. 92544

MPN 14 LTD
4900 SANTA ANITA NO 2C
EL MONTE, CA. 91731

RAMIRO MUNOZ
40380 WHITTIER AVE
HEMET, CA. 92544

RAMIRO MUNOZ
40380 WHITTIER AVE
HEMET, CA. 92544

LUZ MURILLO
26377 PLYMOUTH ST
HEMET, CA. 92544

JESUS M NAVARRO
29244 SLUMPSTONE ST
NUEVO, CA. 92567

JAMES W NOLAN
409 N PCH NO 213
REDONDO BEACH, CA. 90277

YUKARI OBATA
1109 CATALINA AVE STE C
REDONDO BEACH, CA. 90277

VELMA J ORTLOFF
43169 BABCOCK AVE
HEMET, CA. 92544

FRED LEROY PARKER
P O BOX 550
HEMET, CA. 92546

KATHERINE ROSE GASTON PARKER
C/O ROSA GASTON
P O BOX 5401
ORANGE, CA. 92863

CLARK PAWLAK
26378 GIRARD ST
HEMET, CA. 92544

AUGUST J PEPE
26511 GIRARD ST
HEMET, CA. 92544

FEDERICO PEREZ
P O BOX 10851
SAN BERNARDINO, CA. 92423

MARGARET E PERRIN
40420 WHITTIER AVE
HEMET, CA. 92544

SURAJ PINTO
1425 E WHITTIER AVE
HEMET, CA. 92544

MILTON L PRESTON
18952 EAGLE SONG PL
RIVERSIDE, CA. 92508

MICHAEL S PULLEN
26400 OLIVE DR
HEMET, CA. 92544

JAMES PULSIFER
10728 CAMINITO BRAVURA
SAN DIEGO, CA. 92108

MAY C RAHEB
508 E MARENGO DR
CORBA LINDA, CA. 92807

CHARLES ELDON RATHBONE
P O BOX 5512
HEMET, CA. 92544

DAVID RODARTE
40444 WHITTIER AVE
HEMET, CA. 92544

RAUL RUBIO
22781 DEER RUN CT
MURRIETA, CA. 92562

JANIS M RUGGIERO
26423 CYNTHIA ST
HEMET, CA. 92544

JOHN P RUGGIERO
26409 CYNTHIA ST
HEMET, CA. 92544

MARISELA RUIZ
26305 PLYMOUTH ST
HEMET, CA. 92543

MARIO SALGADO
40435 WHITTIER AVE
HEMET, CA. 92544

RINA V SALGADO
40525 WHITTIER AVE
HEMET, CA. 92544

TERESA SANCHEZ
26378 PLYMOUTH ST
HEMET, CA. 92544

JOEL S SIDA
26510 GIRARD ST
HEMET, CA. 92544

JOHN SILVEREIRA
P O BOX 20173
BAKERSFIELD, CA. 93390

DARREL SCOTT SMITH
26479 GIRARD ST
HEMET, CA. 92544

WILLIAM RICHARD SMITH
40516 WHITTIER AVE
HEMET, CA. 92544

DANNY SOLIS
40422 WHITTIER AVE
HEMET, CA. 92544

JORGE PULIDO SOSA
26335 INVESTORS PL
HEMET, CA. 92543

SPSSM INV
4900 SANTA ANITA AV NO 2C
EL MONTE, CA. 91731

SPSSM INV II
4900 SANTA ANITA NO 2C
EL MONTE, CA. 91732

STARLITE MGMT II
4900 SANTA ANITA AV NO 2C
EL MONTE, CA. 91731

STARLITE MGMT VI
4900 SANTA ANITA NO 2C
EL MONTE, CA. 91731

DONALD STAUTY
26363 PLYMOUTH ST
HEMET, CA. 92544

RAYMOND STRAIT
40541 MAYBERRY AVE
HEMET, CA. 92544

SHEILA M SWIKERT
26437 PLYMOUTH ST
HEMET, CA. 92544

GUADALUPE D TELLO
40335 MAYBERRY AVE
HEMET, CA. 92544

PHILIP E THANING
28300 RAWLING RD
HEMET, CA. 92544

VICTOR A TORRES
26331 GIRARD ST
HEMET, CA. 92544

ROHIT TRIKHA
2979 CROOKED BRANCH
SAN JACINTO, CA. 92582

ELENA TUMASYAN
1352 ELM AVE
GLENDALE, CA. 91201

ROBERTO URQUIZA
19343 CONSOL AVE
CORONA, CA. 92881

USA ALL HAPPY TRUST
C/O BENEDICT M W SEELHOFFER
727 PARK AVE
SAN JACINTO, CA. 92583

ANDREW VAICIUNAS
17791 SAN DOVAL LN
HUNTINGTON BEACH, CA. 92647

ANTONIO VALDEZ
1501 E WHITTIER AVE
HEMET, CA. 92544

JOSE ERASMO VILLANUEVA
1475 E WHITTIER AVE
HEMET, CA. 92544

GARRETT VINYARD
1381 HACKNEY ST
HEMET, CA. 92543

GARRETT C VINYARD
1381 HACKNEY ST
HEMET, CA. 92543

JESSE L VIVANCO
26370 GIRARD ST
HEMET, CA. 92544

CARMEN WAGNER
P O BOX 3424
HEMET, CA. 92546

WINCHAR PROP
C/O JOEL FEINGOLD
P O BOX 1137
IDYLLWILD, CA. 92549

RICHARD J WYATT
40421 MAYBERRY AVE
HEMET, CA. 92544

JAMES D WYSS
40425 WHITTIER AVE
HEMET, CA. 92544

SE YANG
524 DIVINE WY
SAN JACINTO, CA. 92583

NASROLLAH YOUNESI
26393 OLIVE DR
HEMET, CA. 92544

HECTOR ZENTENO
26326 INVESTORS PL
HEMET, CA. 92544

Riverside County Waste Management
Department
1000 Frederick Street
Menlo Valley, CA 92553

Hemet Unified School District
2350 W. Latham Ave.
Hemet, CA 92545-3654

Lake Hemet Municipal Water District
26385 Fairview Ave.
Hemet, CA 92544

ATTN: Dan Kopulsky
CALTRANS District #8
464 W. 4th St., 6th Floor
Mail Stop 725
San Bernardino, CA 92401-1400

AIS Coordinator
Riverside District, U.S. Post Office
4150 Chicago Ave.
Riverside, CA 92507-9998

ATTN: Michael McCoy
Riverside Transit Agency
1825 3rd St.
P.O. Box 59968
Riverside, CA 92517-1968

ATTN: Planning Manager
Planning Department,
City of Hemet
445 E. Florida Ave.
Hemet, CA 92543

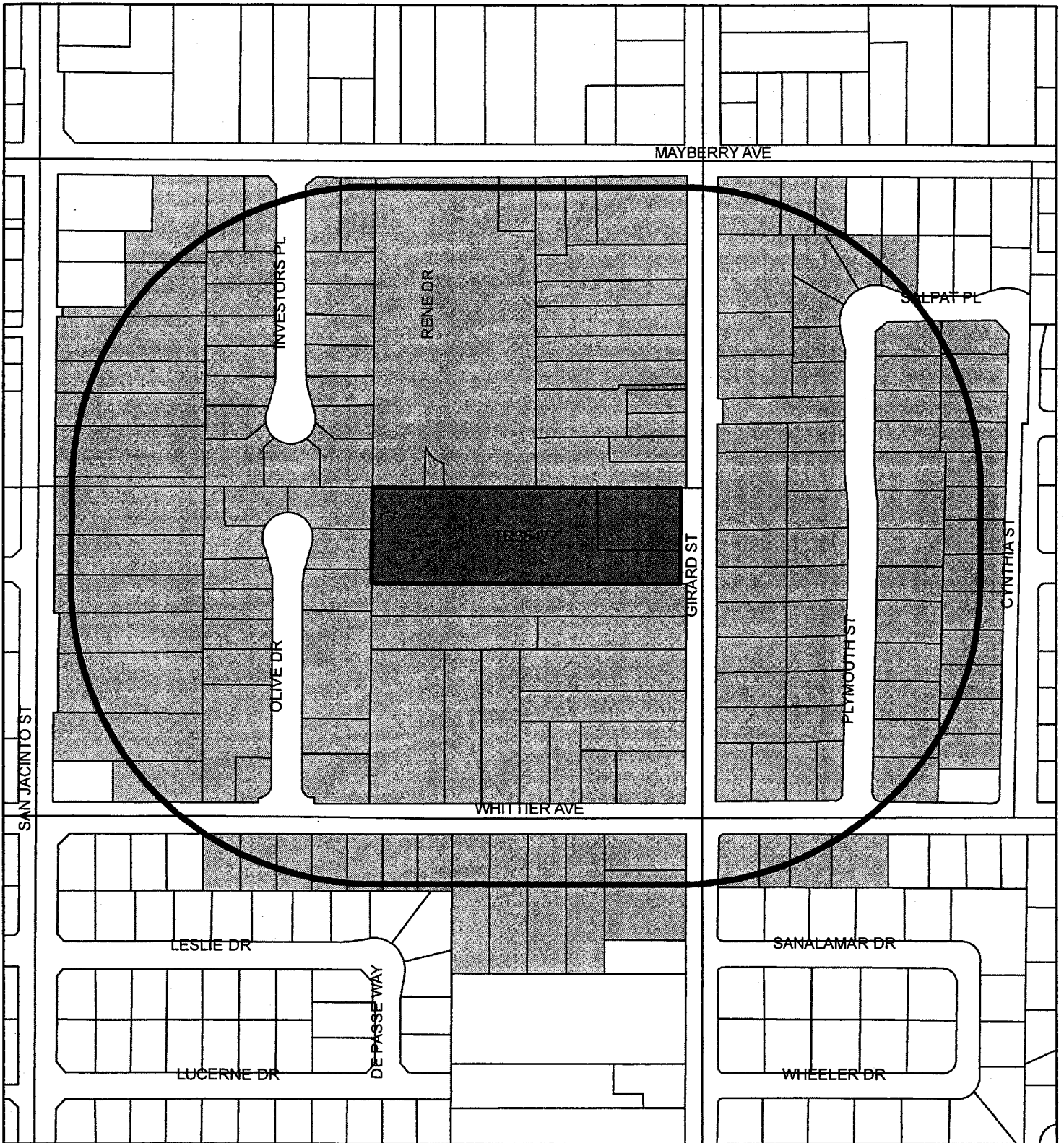
Chris Warburton, Applicant/Representative
7624 El Cajon Boulevard
La Mesa, CA 91942

Chris Warburton, Applicant/Representative
7624 El Cajon Boulevard
La Mesa, CA 91942

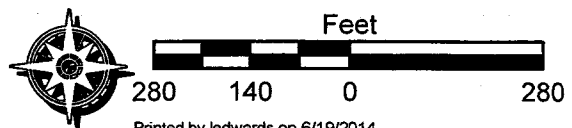
ATTN: Teresa Roblero
Engineering Department,
Southern California Gas Company
1981 W. Lugonia Ave.
Redlands, CA 92374-9796

ATTN: Tim Pearce, Region Planner
Southern California Gas Transmission
251 E. 1st St.
Brea, CA 92223-2903

TR35477 (600 Foot Buffer)



-  Case Owner Buffer
-  Case Boundary
-  Parcel Boundaries
-  Surrounding Owner Parcels



Printed by ledwards on 6/19/2014

Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

PROPERTY OWNERS CERTIFICATION FORM

I Lisa Edwards, certify that on 6/19/14
the attached property owners list was prepared by Arc GIS
APN(s) or case numbers 447-150-044 & 447-156-095
for Company or Individual's Name PLANNING DEPARTMENT
Distance Buffered 600 feet.

Pursuant to application requirements furnished by the Riverside County Planning Department, said list is a complete and true compilation of the owners of the subject property and all other property owners within 600 feet of the property involved, or if that area yields less than 25 different owners, all property owners within a notification area expanded to yield a minimum of 25 different owners, to a maximum notification area of 2,400 feet from the project boundaries, based upon the latest equalized assessment rolls. If the project is a subdivision with identified off-site access/improvements, said list includes a complete and true compilation of the names and mailing addresses of the owners of all property that is adjacent to the proposed off-site improvement/alignment.

I further certify that the information filed is true and correct to the best of my knowledge. I understand that incorrect or incomplete information may be grounds for rejection or denial of the application.

NAME: Lisa Edwards 

TITLE: Project Planner

ADDRESS: 4080 Lemon Street, 12th Floor, Riverside CA 92501

TELEPHONE: 951-955-1888

TR35977

EDUARDO AGUIRRE
40546 SALPAT PL
HEMET, CA. 92544

MARC J AKACICH
2060 BEAR VALLEY PKY
ESCONDIDO, CA. 92027

JOSE TOMAS ARANA
42936 MAYBERRY AVE
HEMET, CA. 92544

RICHARD AUZENNE
26397 CYNTHIA ST
HEMET, CA. 92544

MARTIN C AVERY
40558 SALPAT PL
HEMET, CA. 92544

RAYAPPA REDDY BALASANI
4410 CEDARGLEN CT
MOOR PARK, CA. 93021

DANNEY E BALL
140 E STETSON AVE 333
HEMET, CA. 92543

DANNEY EDWARD BALL
PMB 333
140 E STETSON AVE
HEMET, CA. 92543

FILIBERTO BANUELOS
26418 GIRARD ST
HEMET, CA. 92544

VALERIE AMBER BARBER
26456 PLYMOUTH ST
HEMET, CA. 92544

RICHARD ALLEN BARTLETT
759 ROSEWOOD AVE
CAMARILLO, CA. 93010

CLAY LEE BASIL
42241 WELSHES CT
HEMET, CA. 92544

BENJAMIN BLANCHARD
26390 PLYMOUTH ST
HEMET, CA. 92544

JUAN BLANCO
1405 E WHITTIER AVE
HEMET, CA. 92544



TR05177

PETER BLASI
26473 CYNTHIA ST
HEMET, CA. 92544

ADRIAN B BOHORQUEZ
340 N SAN JACINTO ST NO A
HEMET, CA. 92543

TERRY G BRATTEN
40535 WHITTIER AVE
HEMET, CA. 92544

RAMON BRIONES
26306 INVESTORS PL
HEMET, CA. 92544

DALE K BRUSEWITZ
26452 GIRARD ST
HEMET, CA. 92544

THERESA ELIZABETH BULLARD
26307 GIRARD ST
HEMET, CA. 92544

GORDON BURKHART
2598 HAMPSHIRE RD
RIVERSIDE, CA. 92506

CALIFORNIA NEVADA CHURCH OF GOD
C/O FOUNTAIN OF LIFE CH
26448 OLIVE DR
HEMET, CA. 92544

CARLOS S CARDONA
26426 GIRARD ST
HEMET, CA. 92544

RENE CARDONA
10216 ALEXANDER AVE
SOUTH GATE, CA. 90280

SCOT ARNOLD CHANDLER
26296 INVESTORS PL
HEMET, CA. 92544

CHARWIN PROP
C/O JOEL FEINGOLD
P O BOX 1137
IDYLLWILD, CA. 92549

JOHN CHURCH
2225 GLENNEYRE NO K
LAGUNA BEACH, CA. 92651

DALE H CONRAD
105 SAGE HEN AVE
HEMET, CA. 92544





TR35477

JORGE CONTRERAS
4371 GOLDENROD CT
CHINO, CA. 91710

RODOLFO CORTES
21963 STRAWBERRY LN
CANYON LAKE, CA. 92587

BONNIE M COSTANTINO
26488 PLYMOUTH ST
HEMET, CA. 92544

DAVID M CRAWFORD
26271 INVESTORS PL
HEMET, CA. 92544

NANCY L DAUDERT
26361 PLYMOUTH AVE
HEMET, CA. 92544

EDWARD LANE DAY
32722 GALLEANO AVE
WINCHESTER, CA. 92596

MIGUEL DE LA CRUZ
1521 WHITTIER AVE
HEMET, CA. 92544

DAVID A DEXTER
26311 CYNTHIA ST
HEMET, CA. 92544

DONALD F DOSKOCIL
26331 CYNTHIA ST
HEMET, CA. 92544

VICTORIA A EZZELL
722 N MARIA AVE
REDONDO BEACH, CA. 90277

CARL E FIFER
26360 PLYMOUTH ST
HEMET, CA. 92544

DONALD G FLATHAU
26461 CYNTHIA ST
HEMET, CA. 92544

GARY L FLEENER
26319 GIRARD ST
HEMET, CA. 92544

CARLOS OMAR FLORES
26468 OLIVE DR
HEMET, CA. 92544



TR35477

DONALD E FORSYTH
26350 GIRARD ST
HEMET, CA. 92544

FREEDOM REAL ESTATE SOLUTIONS
23905 CLINTON KEITH 114
WILDOMAR, CA. 92595

G8 DEV INC
C/O PHILIP CHODUR
4538 CASS ST
SAN DIEGO, CA. 92109

HILDA GARCIA
3132 CENTURIAN PL
ONTARIO, CA. 91761

JONATHAN GARCIA
40535 MAYBERRY AVE
HEMET, CA. 92544

JOHN GERTIE
31093 SUNSET AVE
NUEVO, CA. 92567

JOSE O GOMEZ
11277 THORTON AVE
LYNWOOD, CA. 90262

MARCUS GOMEZ
220 BANBRIDGE AVE
LA PUENTE, CA. 91744

MARIA GOMEZ
1455 WHITTIER AVE
HEMET, CA. 92544

RICARDO A GONZALEZ
1802 SHEEP RANCH LOOP
CHULA VISTA, CA. 91913

GONZALO RULAMAN R GRAMAJO
26305 INVESTORS PL
HEMET, CA. 92544

AGUSTIN GUERRERO
27341 STANFORD ST
HEMET, CA. 92544

RICHARD R GUMM
26119 DUMONT RD
HEMET, CA. 92544

CYNDYA GUTIERREZ
26284 INVESTORS PL
HEMET, CA. 92544

TR35477

TODD HALFORD
26400 GIRARD ST
HEMET, CA. 92544

DIANA L HANKS
40525 MAYBERRY AVE
HEMET, CA. 92544

EDGAR S HAYES
41420 LA MISION
HEMET, CA. 92544

EDGAR S HAYES
41420 LA MISSION WAY
HEMET, CA. 92544

EDGAR SELWYN HAYES
41420 LA MISION WAY
HEMET, CA. 92544

HEMET VALLEY CORP
8136 ORION AVE
VAN NUYS, CA. 91406

EDDIE HERNANDEZ
26336 INVESTORS PL
HEMET, CA. 92544

JOSE CARMEN HERNANDEZ
26386 GIRARD ST
HEMET, CA. 92544

KATHLEEN B HOLT
26447 CYNTHIA ST
HEMET, CA. 92544

ROBERT J HUDSON
40522 WHITTIER AVE
HEMET, CA. 92544

RALPH W IRWIN
256 CALLE CAMPESINO
SAN CLEMENTE, CA. 92672

J K PROP INC
C/O EXCEL RESIDENTIAL
2016 RIVERSIDE DR
LOS ANGELES, CA. 90039

RICHARD JOHNSON
26364 PLYMOUTH ST
HEMET, CA. 92544

GARY V KELLUM
40555 WHITTIER AVE
HEMET, CA. 92544



TR3577

JAMES PATRICK KOZIK
P O BOX 9
HEMET, CA. 92544

SANDRA J KUHRT
40336 WHITTIER AVE
HEMET, CA. 92544

CRAIG C LACHMAN
26350 PLYMOUTH ST
HEMET, CA. 92544

ROBERT C LARMER
2091 SHELTER ISLAND DR
SAN DIEGO, CA. 92106

DEBORAH L LECHNER
C/O RANDALL D FARRAR
P O BOX 17304
SAN DIEGO, CA. 92177

DEBORAH L LECHNER
PMB 128 C/O GIRARD PROP TRUST
6755 MIRA MESA BLV NO 123
SAN DIEGO, CA. 92121

THOMAS N LITTLE
42351 MAYBERRY AVE
HEMET, CA. 92544

JOSE A LOPEZ
40412 WHITTIER AVE
HEMET, CA. 92544

LAURO LOPEZ
26322 SAN JACINTO ST
HEMET, CA. 92544

MARIA VICTORIA LOPEZ
26407 PLYMOUTH ST
HEMET, CA. 92544

PATRICIA A MATTESON
26383 CYNTHIA ST
HEMET, CA. 92544

MAYBERRY COLONY APTS INC
2016 RIVERSIDE DR
LOS ANGELES, CA. 90039

DENNIS RAY MCDOWELL
26360 GIRARD ST
HEMET, CA. 92544

TERRY R MEDEARIS
40362 WHITTIER AVE
HEMET, CA. 92544



TR3517

JUAN C DUENAS MENDEZ
7230 SCALES WAY
BUENA PARK, CA. 90621

JACQUELINE R MORROW
26315 PLYMOUTH ST
HEMET, CA. 92544

MPN 14 LTD
4900 SANTA ANITA NO 2C
EL MONTE, CA. 91731

RAMIRO MUNOZ
40380 WHITTIER AVE
HEMET, CA. 92544

RAMIRO MUNOZ
40380 WHITTIER AVE
HEMET, CA. 92544

LUZ MURILLO
26377 PLYMOUTH ST
HEMET, CA. 92544

JESUS M NAVARRO
29244 SLUMPSTONE ST
NUEVO, CA. 92567

JAMES W NOLAN
409 N PCH NO 213
REDONDO BEACH, CA. 90277

YUKARI OBATA
1109 CATALINA AVE STE C
REDONDO BEACH, CA. 90277

VELMA J ORTLOFF
43169 BABCOCK AVE
HEMET, CA. 92544

FRED LEROY PARKER
P O BOX 550
HEMET, CA. 92546

KATHERINE ROSE GASTON PARKER
C/O ROSA GASTON
P O BOX 5401
ORANGE, CA. 92863

CLARK PAWLAK
26378 GIRARD ST
HEMET, CA. 92544

AUGUST J PEPE
26511 GIRARD ST
HEMET, CA. 92544



TR35477

FEDERICO PEREZ
P O BOX 10851
SAN BERNARDINO, CA. 92423

MARGARET E PERRIN
40420 WHITTIER AVE
HEMET, CA. 92544

SURAJ PINTO
1425 E WHITTIER AVE
HEMET, CA. 92544

MILTON L PRESTON
18952 EAGLE SONG PL
RIVERSIDE, CA. 92508

MICHAEL S PULLEN
26400 OLIVE DR
HEMET, CA. 92544

JAMES PULSIFER
10728 CAMINITO BRAVURA
SAN DIEGO, CA. 92108

MAY C RAHEB
6508 E MARENGO DR
YORBA LINDA, CA. 92807

CHARLES ELDON RATHBONE
P O BOX 5512
HEMET, CA. 92544

DAVID RODARTE
40444 WHITTIER AVE
HEMET, CA. 92544

RAUL RUBIO
22781 DEER RUN CT
MURRIETA, CA. 92562

JANIS M RUGGIERO
26423 CYNTHIA ST
HEMET, CA. 92544

JOHN P RUGGIERO
26409 CYNTHIA ST
HEMET, CA. 92544

MARISELA RUIZ
26305 PLYMOUTH ST
HEMET, CA. 92543

MARIO SALGADO
40435 WHITTIER AVE
HEMET, CA. 92544





TR3477

RINA V SALGADO
40525 WHITTIER AVE
HEMET, CA. 92544

TERESA SANCHEZ
26378 PLYMOUTH ST
HEMET, CA. 92544

JOEL S SIDA
26510 GIRARD ST
HEMET, CA. 92544

JOHN SILVEREIRA
P O BOX 20173
BAKERSFIELD, CA. 93390

DARREL SCOTT SMITH
26479 GIRARD ST
HEMET, CA. 92544

WILLIAM RICHARD SMITH
40516 WHITTIER AVE
HEMET, CA. 92544

DANNY SOLIS
40422 WHITTIER AVE
HEMET, CA. 92544

JORGE PULIDO SOSA
26335 INVESTORS PL
HEMET, CA. 92543

SPSSM INV
4900 SANTA ANITA AV NO 2C
EL MONTE, CA. 91731

SPSSM INV II
4900 SANTA ANITA NO 2C
EL MONTE, CA. 91732

STARLITE MGMT II
4900 SANTA ANITA AV NO 2C
EL MONTE, CA. 91731

STARLITE MGMT VI
4900 SANTA ANITA NO 2C
EL MONTE, CA. 91731

DONALD STAUTY
26363 PLYMOUTH ST
HEMET, CA. 92544

RAYMOND STRAIT
40541 MAYBERRY AVE
HEMET, CA. 92544





TR66477

SHEILA M SWIKERT
26437 PLYMOUTH ST
HEMET, CA. 92544

GUADALUPE D TELLO
40335 MAYBERRY AVE
HEMET, CA. 92544

PHILIP E THANING
28300 RAWLING RD
HEMET, CA. 92544

VICTOR A TORRES
26331 GIRARD ST
HEMET, CA. 92544

ROHIT TRIKHA
2979 CROOKED BRANCH
SAN JACINTO, CA. 92582

ELENA TUMASYAN
1352 ELM AVE
GLENDALE, CA. 91201

ROBERTO URQUIZA
19343 CONSOL AVE
CORONA, CA. 92881

USA ALL HAPPY TRUST
C/O BENEDICT M W SEELHOFFER
727 PARK AVE
SAN JACINTO, CA. 92583

ANDREW VAICIUNAS
17791 SAN DOVAL LN
HUNTINGTON BEACH, CA. 92647

ANTONIO VALDEZ
1501 E WHITTIER AVE
HEMET, CA. 92544

JOSE ERASMO VILLANUEVA
1475 E WHITTIER AVE
HEMET, CA. 92544

GARRETT VINYARD
1381 HACKNEY ST
HEMET, CA. 92543

GARRETT C VINYARD
1381 HACKNEY ST
HEMET, CA. 92543

JESSE L VIVANCO
26370 GIRARD ST
HEMET, CA. 92544



TR35477

CARMEN WAGNER
P O BOX 3424
HEMET, CA. 92546

WINCHAR PROP
C/O JOEL FEINGOLD
P O BOX 1137
IDYLLWILD, CA. 92549

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HEMET, CA. 92544

JAMES D WYSS
40425 WHITTIER AVE
HEMET, CA. 92544

SE YANG
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SAN JACINTO, CA. 92583

NASROLLAH YOUNESI
26393 OLIVE DR
HEMET, CA. 92544

HECTOR ZENTENO
26326 INVESTORS PL
HEMET, CA. 92544

Riverside County Waste Management
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14310 Frederick Street
Moreno Valley, CA 92553

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2350 W. Latham Ave.
Hemet, CA 92545-3654

Lake Hemet Municipal Water District
26385 Fairview Ave.
Hemet, CA 92544

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CALTRANS District #8
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Mail Stop 725
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Riverside District, U.S. Post Office
4150 Chicago Ave.
Riverside, CA 92507-9998

ATTN: Michael McCoy
Riverside Transit Agency
1825 3rd St.
P.O. Box 59968
Riverside, CA 92517-1968

ATTN: Planning Manager
Planning Department,
City of Hemet
445 E. Florida Ave.
Hemet, CA 92543

Chris Warburton, Applicant/Representative
7624 El Cajon Boulevard
La Mesa, CA 91942

Chris Warburton, Applicant/Representative
7624 El Cajon Boulevard
La Mesa, CA 91942

ATTN: Teresa Roblero
Engineering Department,
Southern California Gas Company
1981 W. Lugonia Ave.
Redlands, CA 92374-9796

ATTN: Tim Pearce, Region Planner
Southern California Gas Transmission
251 E. 1st St.
Beaumont, CA 92223-2903

**Riverside County Board of Supervisors
Request to Speak**

Submit request to Clerk of Board (right of podium),
Speakers are entitled to three (3) minutes, subject
to Board Rules listed on the reverse side of this form.

SPEAKER'S NAME: GARRY GRANT

Address: _____
(only if follow-up mail response requested)

City: _____ **Zip:** _____

Phone #: _____

Date: 30TH SEP 2014 Agenda # 1-2

PLEASE STATE YOUR POSITION BELOW:

Position on "Regular" (non-appealed) Agenda Item:

_____ **Support** **Oppose** _____ **Neutral**

Note: If you are here for an agenda item that is filed
for "Appeal", please state separately your position on
the appeal below:

_____ **Support** _____ **Oppose** _____ **Neutral**

I give my 3 minutes to: _____

BOARD RULES

Requests to Address Board on "Agenda" Items:

You may request to be heard on a published agenda item. Requests to be heard must be submitted to the Clerk of the Board before the scheduled meeting time.

Requests to Address Board on items that are "NOT" on the Agenda:

Notwithstanding any other provisions of these rules, member of the public shall have the right to address the Board during the mid-morning "Oral Communications" segment of the published agenda. Said purpose for address must pertain to issues which are under the direct jurisdiction of the Board of Supervisors. **YOUR TIME WILL BE LIMITED TO THREE (3) MINUTES.**

Power Point Presentations/Printed Material:

Speakers who intend to conduct a formalized Power Point presentation or provide printed material must notify the Clerk of the Board's Office by 12 noon on the Monday preceding the Tuesday Board meeting, insuring that the Clerk's Office has sufficient copies of all printed materials and at least one (1) copy of the Power Point CD. Copies of printed material given to the Clerk (by Monday noon deadline) will be provided to each Supervisor. If you have the need to use the overhead "Elmo" projector at the Board meeting, please insure your material is clear and with proper contrast, notifying the Clerk well ahead of the meeting, of your intent to use the Elmo.

Individual Speaker Limits:

Individual speakers are limited to a maximum of three (3) minutes. Please step up to the podium when the Chairman calls your name and begin speaking immediately. Pull the microphone to your mouth so that the Board, audience, and audio recording system hear you clearly. Once you start speaking, the "green" podium light will light. The "yellow" light will come on when you have one (1) minute remaining. When you have 30 seconds remaining, the "yellow" light will begin flash, indicating you must quickly wrap up your comments. Your time is up when the "red" light flashes. The Chairman adheres to a strict three (3) minutes per speaker. **Note: If you intend to give your time to a "Group/Organized Presentation", please state so clearly at the very bottom of the reverse side of this form.**

Group/Organized Presentations:

Group/organized presentations with more than one (1) speaker will be limited to nine (9) minutes at the Chairman's discretion. The organizer of the presentation will automatically receive the first three (3) minutes, with the remaining six (6) minutes relinquished by other speakers, as requested by them on a completed "Request to Speak" form, and clearly indicated at the front bottom of the form.

Addressing the Board & Acknowledgement by Chairman:

The Chairman will determine what order the speakers will address the Board, and will call on all speakers in pairs. The first speaker should immediately step to the podium and begin addressing the Board. The second speaker should take up a position in one of the chamber aisles in order to quickly step up to the podium after the preceding speaker. This is to afford an efficient and timely Board meeting, giving all attendees the opportunity to make their case. Speakers are prohibited from making personal attacks, and/or using coarse, crude, profane or vulgar language while speaking to the Board members, staff, the general public and/or meeting participants. Such behavior, at the discretion of the Board Chairman may result in removal from the Board Chambers by Sheriff Deputies.

**Riverside County Board of Supervisors
Request to Speak**

Submit request to Clerk of Board (right of podium),
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to Board Rules listed on the reverse side of this form.

SPEAKER'S NAME: Paul Jacobs

Address: _____
(only if follow-up mail response requested)

City: Temecula **Zip:** _____

Phone #: _____

Date: 9/30/14 **Agenda #** 1-2

PLEASE STATE YOUR POSITION BELOW:

Position on "Regular" (non-appealed) Agenda Item:

_____ **Support** _____ **Oppose** _____ **Neutral**

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for "Appeal", please state separately your position on
the appeal below:

_____ **Support** _____ **Oppose** _____ **Neutral**

I give my 3 minutes to: _____

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