

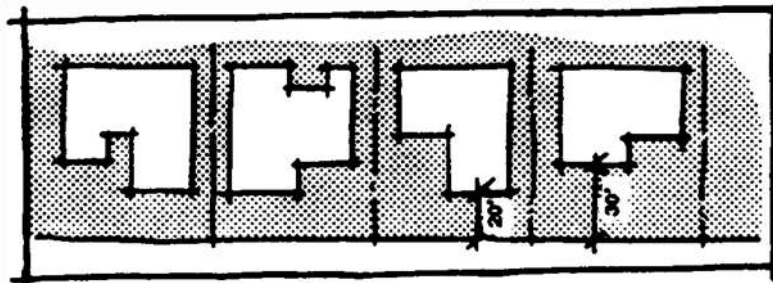
### 3.3.2 Site Development Guidelines

#### Site Planning

The intent of site planning is to integrate buildings and site improvements into a unified setting with minimal impact of the development on adjacent land uses. Site planning concentrates on the proper placement of buildings, roads and services.

The goal of residential site planning is to create a neighborhood fabric that offers a unique, safe and visually appealing environment to those in and around the development. The site plan should:

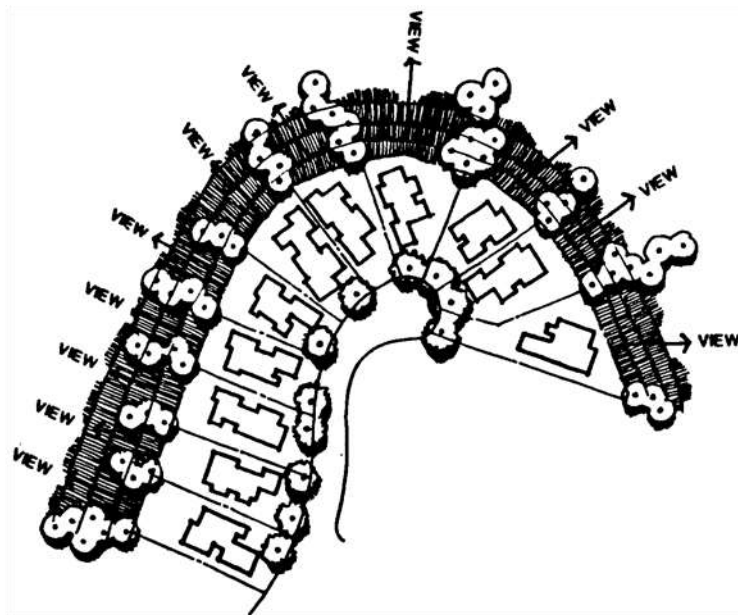
- Effectively accommodate the residential unit types proposed.
- Maximize unit exposure to parks, greenbelts and other amenities.
- Use of geometric "grid" layouts should be allowed.
- Cul-de-sac and curvilinear street layouts should be encouraged.
- Employ the latest techniques of energy-efficient/cost-effective subdivision design.
- Accommodate street drainage or underground drainage in accordance with generally accepted principals.
- Subdivision layouts should discourage through traffic while still permitting adequate emergency vehicle access.
- Variations of the building footprint with cut-outs and pop-outs can assure variety in a plan. Further variety and interest can be developed with plans by varying setback dimensions and positions of buildings.



*Varying Setback Dimensions*

**Single-Family Detached Residential Site Planning**

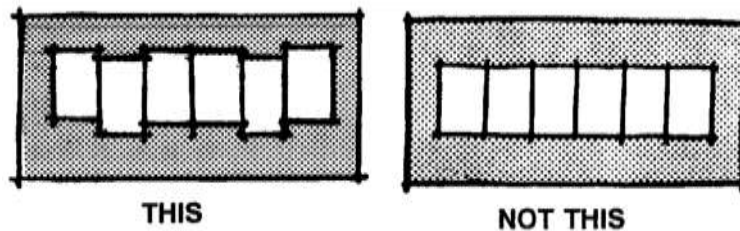
- To the extent possible, units should have views from the rear of the units toward special features, including golf course and water features. Views should be enhanced with landscaping which does not block the view of adjacent lots.
- Single-family detached residential uses shall be buffered from existing adjacent land uses, and high traffic arterials. Landscape design should be used to provide privacy between units.
- A variety of building pad configurations can create further interest.
- Provide for variety along the streetscape.
- Orient views of the units towards special features, distant mountains, or common area open space. Views should be enhanced with tree plantings framing the desired view, but shall not block the view of adjacent lots.



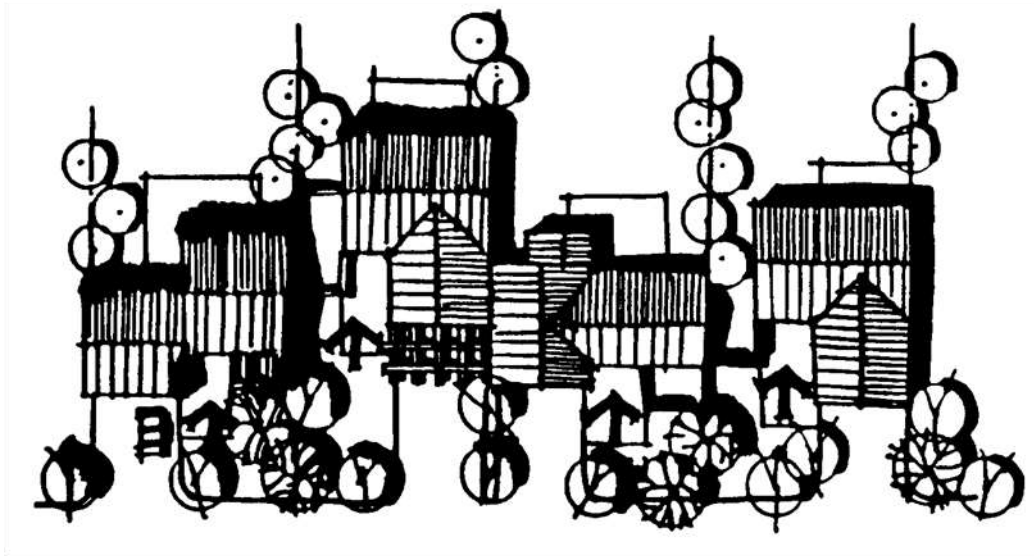
*Views from Residential Units*

**Multi-Family Residential Site Planning****Multi-Family Housing Facades**

- Multi-family housing facades shall be detailed to give a varied quality to the building exterior rather than one long, continuous building. Attached buildings shall not be more than six dwelling units per floor.



- In higher density areas, where lot sizes permit, individual units shall be oriented in a variety of ways to avoid the monotony of garage door corridors.
- Maximization of open space is an important element within a higher density project. Curving the streets and orienting road axis to open areas and views can attain the feeling of open space. Open parking areas can be treated as landscaped plazas and courts.
- In multi-family and attached housing, it is important to provide each unit with its own entry and identity. This can be accomplished by offsetting and staggering each separate unit and by combining one and two-story building forms to separate massing. This also will provide variety to the streetscape.



*Streetscape Variety*

### Non-Residential Site Planning

Non-residential areas will serve the project site as well as the regional community. Businesses which locate here will rely on a high degree of visibility.



*Mixed Use/Air Park*

### Strong Linkages

- Links within commercial developments shall be reinforced by building and landscape elements. In the case of landscape elements, these links may be made with both hardscape (such as paving), or softscape.
- Although the area is to be auto-oriented with regard to attracting those shoppers from the local community, the site planning shall emphasize pedestrian, and bicycle links to minimize auto trips from within the Kohl Ranch. Interaction of residential, park and commercial areas is encouraged.
- In some instances objectionable elements may require visual screens and sound barriers. Otherwise, these treatments should be minimized and used only when necessary.



*Avenue 66 Commercial*

**Orientation of Structures**

- Buildings shall be arranged so that most store fronts are oriented toward and visible from the street and parking areas. The shape and configuration of the buildings will be determined by the site constraints. On corners or at major developments, satellite buildings shall be located closer to the street or at the corner, while the bulk of the building is placed far enough back from the street to allow circulation across the front of the parcels.
- Developments that are inward facing and that preclude through access are not encouraged, except when major attractions are destinations.
- Courtyards and outdoor seating areas are encouraged, and other ancillary structures, service areas, and trash enclosures shall be planned as part of the project, and placed or screened in a position of low prominence.
- 

**Commercial**

- Landscaping shall be used to break up otherwise uninterrupted building mass, frame views, and connect with development on adjacent pads.
- Building placement along a street should be varied to avoid creating a harsh, monotonous blockface or streetscape. Buildings should be sited so their entrances are generally oriented toward the street and parking areas.

**Office**

**Mixed Use Site Planning**

Mixed Use planning areas are established to encourage an innovative array of uses to include a combination of commercial, business, industrial, recreational, and residential uses.

- Mixed-use developments contain different building types. A variety of building types are permitted; commercial, business, industrial, race related facilities, residential, and duplex units.
- Where residential uses are mixed with nonresidential uses, the residential use should be located either above the nonresidential component or adjacent to the nonresidential component, as allowed by Section 2 – Zoning Ordinance.
- Proper building massing may be achieved through the use of sufficient vertical, horizontal and roof articulation of a building. Combinations of one and two story elements on the same building are encouraged to facilitate articulation.
- Consistent with the architectural style of the development, street facing facades should incorporate articulation and mix of color and materials to create diversity in the streetscape.
- Buildings within a development shall use colors, materials and architectural details that are compatible among buildings within the same development.

### Climatic Conditions

The effects of seasonal wind on development at the Kohl Ranch will, in some instances, be extensive. Wind may be intercepted, diverted or lessened. The following are suggested techniques of wind management:

#### **Shelter Belts on a Community Scale**

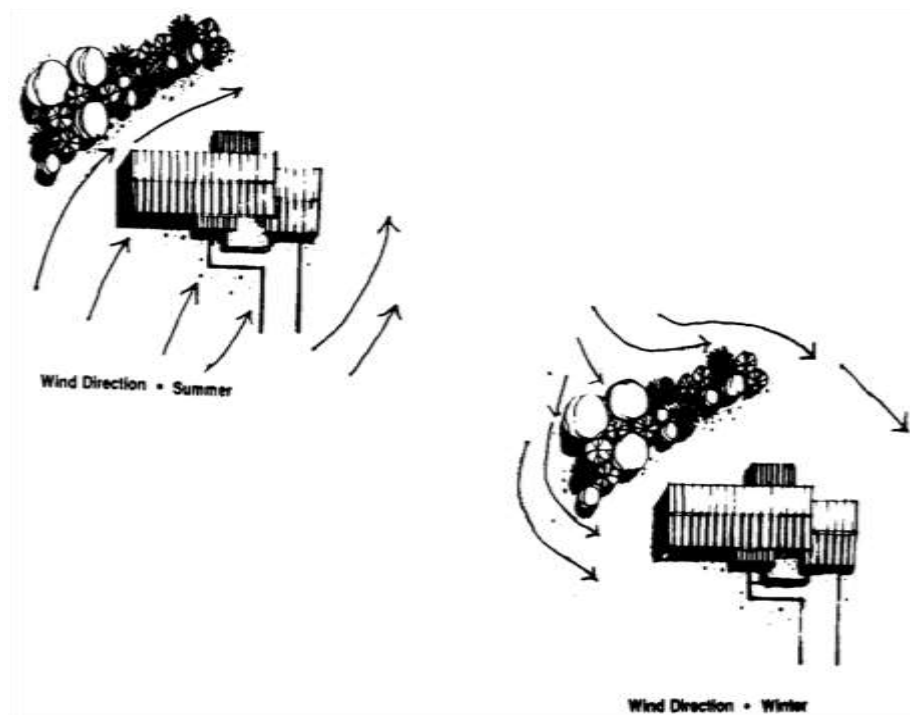
Shelter belts may be used in parallel rows to produce shelter on the leeward side. Belts with pinched profiles are less efficient in halting winds than belts with vertical edges.

#### **Solid Barriers**

Fences and walls are effective for protection but are very hard edges and should be limited in use. Barriers penetrated by the wind create more effective and wider wind shadows.

#### **Wind Breaks for Residential Use**

Wind breaks placed on residential property can route winter wind around the home and allow cooling breezes during the summer to penetrate the rear yard.



**Wind Breaks**



### 3.3.3 Architectural Guidelines

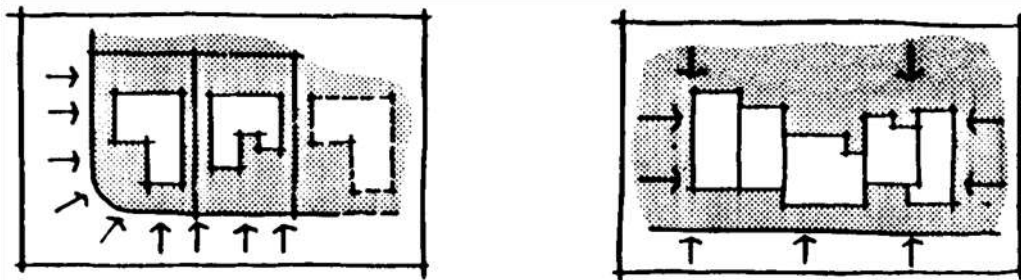
The architectural guidelines for the Kohl Ranch are intended to produce a feeling of authenticity without creating rigid, over-specific product/style requirements which often lead to architectural blandness and homogeneity. Rather, the Kohl Ranch should encourage a program of innovative design that reflects the historical desert landscape. The development programs should apply the guidelines in either literal or abstract forms.

These architectural guidelines are intended to establish design standards and form an encyclopedia of alternative design concepts.

#### Elevation Concepts

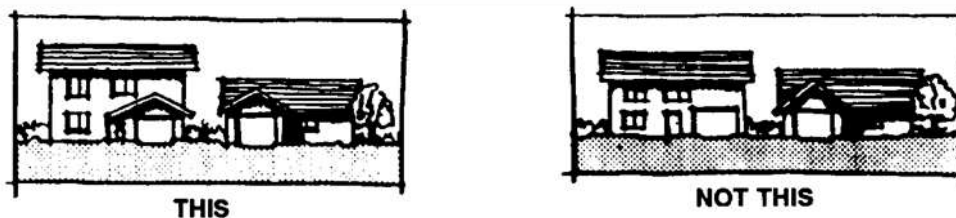
- These guidelines are primarily concerned with the physical appearance of the community environment as perceived by residents and visitors. Therefore, it is the intent of these guidelines to apply to the portion of a building that is visible to the public.
- Primary elevations are the surfaces of a building structure or yard that can be seen from public view (either vehicular or pedestrian). In a single-family project it usually means the front and/or exterior side yard views. In multi-family projects it may be all four elevations of a structure.

#### Primary Elevations



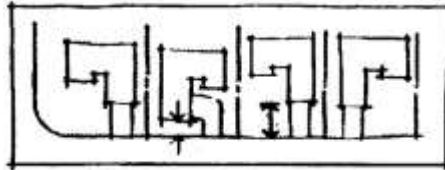
- Each building shall relate in terms of bulk and mass but should not be identical. A two-story building is more harmonious to a neighboring one-story building if it contains a one-story element.

#### Harmony of Elevations



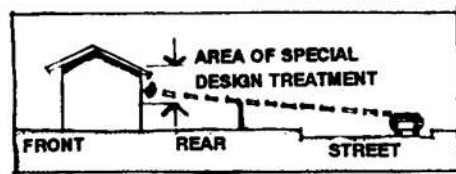
- Avoid stereotyped units which will produce monotonous elevations and street scene.
- A variety of elevations utilizing differing setbacks such as swing-in garages and reverse plans will ensure a varied street scene.

#### **Variety of Elevations**



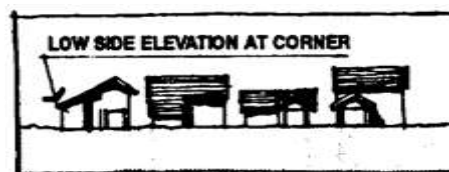
- Where applicable, the rear side of the building located adjacent to streets and other areas of high visibility should have similar treatment as with the primary elevation criteria. If a fence is used as a screening device, then it too should be designed to be part of the architecture.

#### **Special Treatment Area**



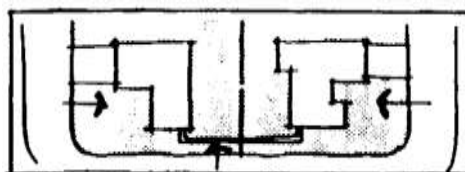
- Corner Elevations - Place the short side elevation on the corner to reduce the feeling of height and mass at the corner. Auto entry on a corner lot is also an important consideration. The high side can be placed on the corner as long as the side elevation is treated as a primary elevation.

#### **Corner Elevations**



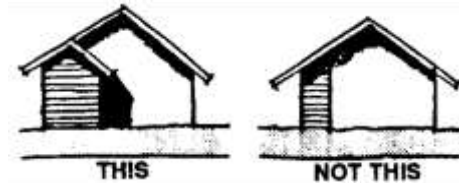
- Elevations and Side Streets - Fences or walls that connect two separate units should be of the same material and color and be compatible with the architecture of the buildings.

#### **Elevations and Side Streets**



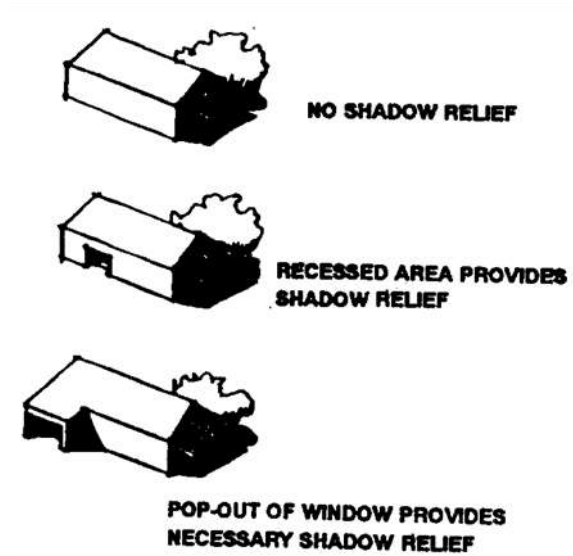
- Facades - If material changes do not occur in the same plane and if they intercept an architectural element, they are more effective.

**Facades**



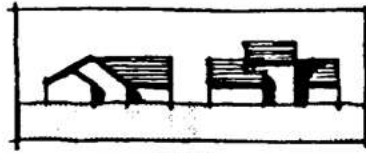
- Allow for visual relief for interest and to break up long planar surfaces. Offsets, pop-outs, overhangs, and recesses all may be used to produce effective shadow interest areas. Larger buildings require more relief than do smaller buildings.

**Shadow Interest Areas**

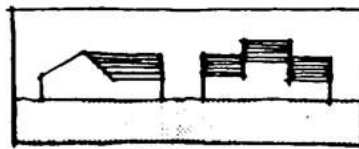


- It is desirable to accompany a plan offset with a change in the roof pitch orientation. This is important on the primary elevations.

**Roof Pitch**



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**NOT THIS**

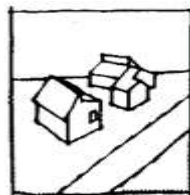
- The design theme should be continued throughout the project, including accessory items such as lighting fixtures and address plaques.

**Design Theme**

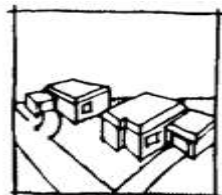


- Roof Design - Flat roof design for residential structures should be discouraged. If used, flat roofs should be a secondary design element only and should be contained within the scheme of an individual building design. Particular consideration as to color and material should be given to the design and treatment of roofs because of their visual impact.

**Roof Design**



**THIS**



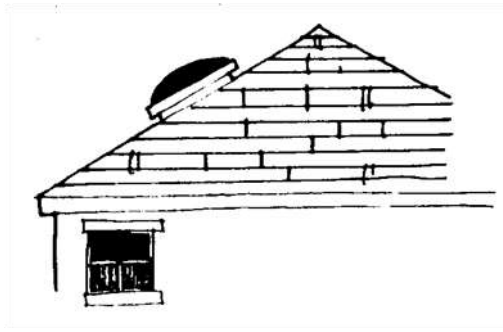
**NOT THIS**

## Details

There are many building elements that come into view. Usually they are secondary adjuncts to major element, such as a skylight on a roof. In some cases they become no more than a texture, such as a trellis. It is important in all cases, however, that these elements integrate with the whole. What may start out as a minor feature can become a distracting eyesore, if not thought through.

- Skylights should be integrated into the roof form.

### *Skylights*



- Trellis/Pergolas can be very pleasing and functional structures, (i.e., carport, entry canopy). They provide partial shade, screens for privacy or an arbor for climbing plants. They offer the warmth and texture of wood at a relatively low cost. It is important to consider a trellis as a permanent structure and design it accordingly. Avoid corrugated fiberglass metal, or other temporary type material. Use adequately heavy members for the support structure working down to no less than 2" nominal for the smallest dimension of the lighter members. The trellis will look more substantial and will not bow from old age prematurely.

### *Trellis/Pergola*



- Chimneys are usually very strong roof elements. Codes require that they extend higher than adjacent roof lines. Careful choice of proportion and material should give them a substantial and stable appearance.

- The use of prefab fireplaces and flues is economically sound. However, they need not have the stove-pipe appearance, depending of which spark arrester is used or required by fire code. Enclosing the flue in a masonry or wood chimney with substantial proportions will solve the problem.

### **Materials and Finish**

In keeping with the goals of the Kohl Ranch to maintain and preserve the natural surroundings, designs in harmony with nature should be extended to material, finish and color selection.

- Natural materials by their nature inherently work well with the surroundings. Natural colors or transparent finishes on these materials not only enhance them, but actually improve with age and are low maintenance. Man-made materials of natural colors and textures are also suitable.
- Brick, natural tile, concrete, steel and glass, if used honestly and in a straight-forward manner, can be pleasant. Large expanses of a single material, especially if unbroken by detail or depth, can become overpowering to the rest of the building form and the surroundings. Conversely, over-detailing with use of too many different materials or textures can create confusion and distract from an otherwise good design.

### 3.3.4 Lighting

Lighting should be designed to ensure compatibility with the community architectural and street furniture themes, and the safety of the site users. An effort should be made to emphasize "human scale" in public areas adjacent to buildings and along walks. Streetlight standards, traffic signal poles, and pedestrian and building lighting play a vital role in defining a safe and secure appearance. This lighting concept has been devised to provide a hierarchy of lighting effects which will contribute to the overall cohesiveness of the community image.

#### General Guidelines

- Warm white lighting is encouraged. Bright colored or blinking lights are not encouraged except in theme restaurants and shops of commercial development areas.
- Building or roof outline tube lighting shall be subject to County of Riverside approval.
  
- Design and placement of site lighting should minimize glare affecting adjacent properties, buildings, and roadways.
- Careful consideration and coordination shall be given to avoid any potential conflicts with Jacqueline Cochran Regional Airport operations.
- Lighting shall be designed to minimize sky glow and effects on the Mt. Palomar Observatory and the nighttime desert sky.
- Fixtures and standards shall conform to state and local safety and illumination requirements. In particular, lighting shall conform to Riverside County Ordinance No. 655, which includes requirements related to the Mt. Palomar Observatory.
- Automatic timers on lighting should be designed to maximize personal safety during nighttime use while saving energy.

#### Roadway Lighting

Lighting fixtures and standards within the public right-of-way play a crucial role in displaying a level of quality for the development.

- Lighting shall be positioned to enhance the safety of vehicular and pedestrian flows at key points along the roadway. Light shall be concentrated at intersections and pedestrian crosswalks. Intersections may have increased wattage for definition and to alleviate automobile/pedestrian conflicts.
- The maximum height of roadway lighting should be twenty-five (25) feet with a minimum clearance of sixteen (16) feet above roadways.

#### Parking Area Lighting

Since landscaped islands within parking areas are adjacent to high use commercial, office, and recreation buildings, they typically may be hidden from view by landscaping and trees, therefore requiring a less overt lighting standard. Conversely, they may be highly refined and emphasized as a design element within commercial areas where visibility to buildings is crucial.

- Stone or concrete, limited to twenty-four (24) inches in height, may be used for light standard bases in parking area islands to protect lighting from automobile damage.

### **Pedestrian and Entry Area Lighting**

Pedestrian and entry area lighting should be provided at plaza areas, improved trails, entryways, courtyards, parking lots and other public spaces requiring night illumination.

- For all uses permitted within the Kohl Ranch, where above ground illumination is desired, a lighting fixture and standard compatible with the community theme is recommended.
- In pedestrian areas the use of low level walkway lighting is preferred over lighting from above. Lights shall be positioned no higher than four feet above grade.
- Concrete or metal light bollards not exceeding four feet in height may be used to accentuate building entrance areas or to provide separation for pedestrians from vehicular traffic lanes.
- For pedestrian walkways, point-to-point lighting is acceptable with no specific illumination levels required. The main emphasis shall be to clearly identify the pedestrian walkway and direction of travel. These lamp elements may become an important design element on the landscape, or they may be sublime and unobtrusive.
- Fixtures which shield and limit spillover light into the night sky are recommended.

### **Architectural Lighting**

- To highlight monument signs or architectural features such as walls, entry ways or lobbies, dramatic lighting should be used. Spillover lighting from lobby areas is acceptable although glare onto adjacent properties should not occur. Service area lighting shall be contained within service yard boundaries, with light sources concealed.
- Building illumination and architectural lighting shall be creative and must reinforce the design theme. Indirect wall lighting or "wall washing", overhead down lighting, or interior illumination which spills outside is encouraged. Wall "washing" effects shall be sparingly used to accentuate architecture at key visual areas and not an attempt to advertise buildings to roadways.
- Lighting shall not cast any glare onto adjacent lots and streets in such a manner as to decrease the safety of pedestrian and vehicular movement.
- Architectural lighting shall be used to articulate the particular building design. Rim lighting of eaves, bending, uplighting, wall washing, and other effects shall be used in compliance with the design theme for the planning area. Architectural lighting shall be integrated with building elements and concealed flush with grade wherever possible.
- Building or wall lighting shall be indirect. A limited number of lights may be used to create shadow, relief and outline effects.
- Lighting shall be used to enhance landscaping and reinforce architecture, with dramatic uplighting or wall shadow effects with plant materials encouraged.
- Parking lot light fixtures and bollards shall be consistent in styling with the design theme proposed for that subarea.
- Light standards shall not exceed 20 feet in height or the height of the building, whichever is less.
- All architectural lighting should be carefully integrated into design themes and should not be visually obtrusive and incongruent during the daytime.



**Landscape Lighting**

- Landscape lighting can be used to highlight landscape features such as specimen trees and pedestrian areas. As with architectural lighting, light sources should be designed as an integral design element, concealed flush with grade, or hidden by vegetation during the daytime.
- String lights, with small nonflashing bulbs, may be used to highlight trees and similar features within the golf course clubhouse, commercial areas in interior courts only, and other similar outdoor areas at night to create excitement and a festive ambiance.

**Athletic Field, Court and Driving Range Lighting**

For proper lighting of athletic fields, driving ranges and courts in recreation facilities of parks and schools, spillover lighting may occur. Lighting shall be designed to minimize the spillover effect. These areas shall be carefully site planned to impact as few neighbors as possible. Hours of operation shall be established which restrict intrusion of nighttime lighting, and posted at visible locations at these recreations areas.

### 3.3.5 Signage

#### General Guidelines

- All signs within the project should be designed to provide a consistent reinforcement of the Kohl Ranch character. Signs must communicate not only specific information but should, in themselves, add to the attractiveness of the area.
- Signs in the project area should advertise a place of business, a residential area or provide directions and information.
- Signs should not compete with each other or dominate the setting via inconsistent height, size, shape, number, color, lighting or movement.
- Signs shall conform to the guidelines set forth herein and with Riverside County Ordinances.
- No signs shall be placed upon or project into or above public property or the public right-of-way, except as noted herein.
- Signage typeface should be consistent with building architectural style.
- Public signs should be limited to those absolutely necessary for smooth traffic flow, safety, and public information.
- Clear sight triangles should be observed and enforced at all intersections, corners, parking areas, and drives at all times.
- All signage should be maintained in good repair, including the display surface, which shall be kept neatly painted or finished.
- The exposed backs of all signs visible to the public should be suitably finished and maintained.
- All signage should be designed free of bracing, angle-iron, guy wires, cables, or similar devices, except for commercial advertising signs as hereafter noted.
- Painted signs should use fade-resistant, durable, exterior finish paint. No luminous, fluorescent or iridescent paints or plastics are permitted. Permanent wooden signs or materials that may be degraded by the climate should be avoided unless adequately sheltered.
- An effort shall be made to achieve consistency between building style and sign design. In all cases, signage should be complimentary to the exterior treatment of the building or location involved.
- Color schemes for signage shall relate to other signs, graphics and color schemes in the vicinity in order to achieve an overall sense of identity.
- Signs may be lighted; however, no light that flashes or blinks or affects changes in hue or intensity of illumination is permitted. Illumination sources for any sign shall be hidden from view.

#### Community Monuments

The following sign standards will effectively regulate the placement, erection and maintenance of permanent signage within the Kohl Ranch. These standards are intended to provide equitable standards for the protection of property values, visual quality and public health, safety and general welfare. The hierarchy of signs for the Kohl Ranch is as follows:

#### Project Entries

- Monument signs shall identify the Kohl Ranch community at key project entry points. These monuments should be the most prominent in scale and should set the overall theme for the entire community.
- The wall or monument materials should establish the project theme which other developments should use as a general guide.

- Project entry signs should be designed with the angle, distance and length of view in mind. Signage viewed from vehicles should be large and/or conspicuous enough to be read quickly. Signs designed to be viewed from slower speeds or at shorter distance may have more attention given to details such as texture, and may have a reduced text size.
- Building materials should consist of native stone, river rock cobblestone, concrete, brick, stuccoed concrete block, wood rails and boards, metal lettering systems and logos, sheet metals and wires, and special architectural elements such as weather vanes or windmills.
- Maximum dimensions for message areas of signs should be limited to those established in the County of Riverside Ordinance No. 348.
- Lighting should be limited to those fixtures which are at grade or are concealed by landscape planting.
- Signage typography should be limited to bronze, copper, or any quality steel logos or channel letters.

#### **Residential Neighborhood Entries**

- Residential neighborhood entries should establish the theme of the individual development while continuing the community theme.
- Recommended building materials may consist of native stone, river rock cobblestone, concrete, brick, stuccoed concrete block, wood rails and boards, and special architectural theme elements.
- Residential entry monuments should be less grand in scale than the major intersection treatments. The monuments should be in proportion with the surrounding streetscape and should be highlighted by landscape plant materials and site furnishings. The monument may be part of a wall, or stand alone.
- Maximum dimensions for message sign areas shall be limited to dimensions established by Riverside County Ordinance No. 348.
- Graphic signage materials should be limited to bronze, copper or any other high quality steel logos or channel letters.
- Back-lit letters or a concealed lighting source, located flush with grade or within a covered entry structure may be used.

#### **Commercial Entries**

- Commercial entries should incorporate the commercial center building materials, while continuing the community theme. Entry monuments should be subdued and not over-powering. They should simply and discreetly identify the development rather than create a grand entry statement.
- The maximum dimensions of the sign base and message area shall adhere to Riverside County Ordinance No. 348.
- Signage typography should be limited to bronze, copper or quality finished steel logos or channel letters. Sign text should be limited to identification of the street address, project name, and major retailers.
- Back-lit letters or a concealed lighting source, located flush with grade may be used.
- Signs may be constructed on brick, native stone, wood or metal. Letters may be mounted upon the signage base.
- Monuments shall be integrated with berming and landscape materials with established streetscape design themes.

**Retail Signs**

- Only one monument sign shall be allowed per building. These signs shall be located at entry points from parking areas, adjacent to walkways, in planting beds or within building setback landscape areas adjacent to the street right-of-way.
- Signs constructed of brick and/or native stone base, a smooth finished concrete, carved wood or metal panel systems are recommended.
- Sign dimensions shall adhere to those established by County Ordinance No. 348. Letters should be consistent with the architectural material of the establishment.
- A street address is recommended to be incorporated into the sign banner. Lighting should be concealed by plants or flush with grade.

**Directional Signs**

Directional signage, used to identify and direct vehicular and pedestrian traffic to on-site destinations shall be provided along roadways and within all multi-parcel and multi-tenant developments. Directional signage should be of consistent design throughout each project. All such signage should be fabricated from the same materials, with a consistent color palette and common graphic theme. The use of materials compatible with the architectural design of each project and its corresponding site furnishings is encouraged. Directional signs should be of consistent dimensions, and located in a visually logical order.

These signs should provide on-site directional information and should not be used for advertising. They should include the following:

- Directory monuments
- Public service signs
- Traffic safety signs
- Residential street signs

**Directory Monuments**

- Directory monuments should be permitted as ground signs or on the faces of buildings or structures to illustrate the project layout and locate the establishments or residential buildings of the development.
- The sign area of such location markers should be designed for either pedestrian or automobile users.
- The location and number of these markers should be determined at the individual project design level.
- All dimensions, material types and signage area requirements shall conform to County Ordinance No. 348.

**Public Service Signs**

Service signs should only provide general public information to direct the way to public facilities such as information centers, rest rooms, telephones, emergency stations, etc. Service signs should be permitted as wall or ground signs and should be limited in number and location as outlined below.

- Signs are permitted on the faces of buildings or structures provided that such signs should be placed at eye level above the immediately adjacent ground.
- Signs setting forth the location of, or directions to, parking or buildings located on the premises, or regulating the flow of on-premise traffic, should be permitted as part of the separate free-standing ground structure or kiosk. Such signs may include pictorial and decorative designs.

- The signs should include a minimum of words and numbers necessary to accurately communicate the required information.
- The signs shall be compatible with the adjacent architectural theme.

**Traffic Safety**

Traffic safety signs shall be subject to the standards of the County and State agencies.

**Residential Street Signs**

All street signs shall be consistent with the overall Kohl Ranch theme.

**Temporary Signs**

Signage that identifies uses or activities temporary in nature, such as that associated with real estate sales and leasing or the development and construction of buildings, shall be allowed on a temporary basis if consistent with the design character of the surrounding area. No illumination of temporary signs should be permitted. Temporary signage should be located on or in close proximity to the uses identified. The multitude of signs associated with development, design, construction and leasing should be combined into one sign for each project and the sign should be located on site.

**Project Marketing**

- These signs should provide community recognition for the Kohl Ranch during the construction and sales period.
- Wood with a painted sign surface is the recommended construction material. Signs may be double-sided. Signs may be painted onto the temporary construction safety walls erected to hide construction from view.

**Non-Residential Construction and Leasing**

- These signs are intended to inform the viewer of new buildings and leasing opportunities, opening dates, and builder names and telephone numbers of individual parcels within the Kohl Ranch project.
- Wood construction with a painted sign surface is recommended for this application.
- One sign per individual parcel or project should be allowed and should be located on-site.
- Sign face may include any sketch or architectural rendering of the proposed use.
- Sign removal should occur after lease out.

**Residential Sales and Leasing**

- Temporary ground signs for real estate sales, leasing, construction or model homes are permitted. One project identification monument or ground sign should be permitted for each major entrance to a development. Sign copy is limited to project name and address in addition to the word "sales" or "leasing."

**Prohibited Signs**

- Obsolete or Abandoned Signs. Any sign located on vacant or unoccupied property that was erected for a business which no longer exists, or any sign which pertains to a time, event or purpose which no longer exists, shall be removed within 30 days after the use has been abandoned.
- Signs constituting a potential traffic hazard or which simulates or imitates in size, color, lettering or design any traffic sign or signal.

- Temporary signs on public property (street, median island, parkway, sidewalks, traffic control sign posts, utility poles, park land, trees, etc.)
- Animated or moving signs: signs consisting of any moving, swinging, rotating, flashing, blinking or otherwise animated components.
- Off-premise signs: any sign, other than a simple directional sign, installed for the purpose of advertising a project, development, event, person or subject not related to the premises upon which sign is located.
- Vehicle signs: signs on or affixed to trucks, vans, automobiles, trailers or other vehicles which identify, or provide direction to a use or activity not related to its lawful making of deliveries or sales of merchandise or rendering of service from such vehicles.
- Portable signs: a freestanding sign not permanently affixed, anchored, or secured to the ground or structure it occupies, including tailored signs, except as approved by the County of Riverside.
- Roof signs: any sign erected, constructed and maintained upon or over the roof of any building, unless it is a projecting canopy sign or is an explicit part of the building architecture.
- Other prohibited signs: advertising signs and billboards, inflatable signs or balloons, inflatable animals, magnetic signs, plastic flags unless otherwise specified in these guidelines or approved by the County of Riverside.

### 3.3.6 Walls and Fences

Walls and fences are of particular functional importance for the Kohl Ranch as depicted in **Figure 3.3-2, Wall and Fence Plan**. Other allowed uses in open space that are in the vicinity of the airport safety zones will also be appropriately fenced or walled. If the golf course or motor sports race track are implemented, an individual fencing plan for those uses will be prepared.

Walls and fences establish enclosure, confer physical and visual privacy and also provide vertical texture. Walls and fences are especially important in creating a theme for the residential portion of the community. They should, however, be used sparingly and with great consideration so as not to detract from the open space or to simply demark property lines. The material, style and height of walls and fences shall provide an element of continuity throughout the project to insure visual consistency. The walls and fences should be designed with the intent of furthering the architectural character of the site.

Walls may be solid, perforated, or hidden from view when security is required, but view retention is desired. As fences are subject to severe exposure they must be well-made. All community and perimeter project walls and fencing are to be provided by the project builder at the time of development. Wherever practical, plant material should be used as a barrier rather than walls and fences.

#### General Guidelines

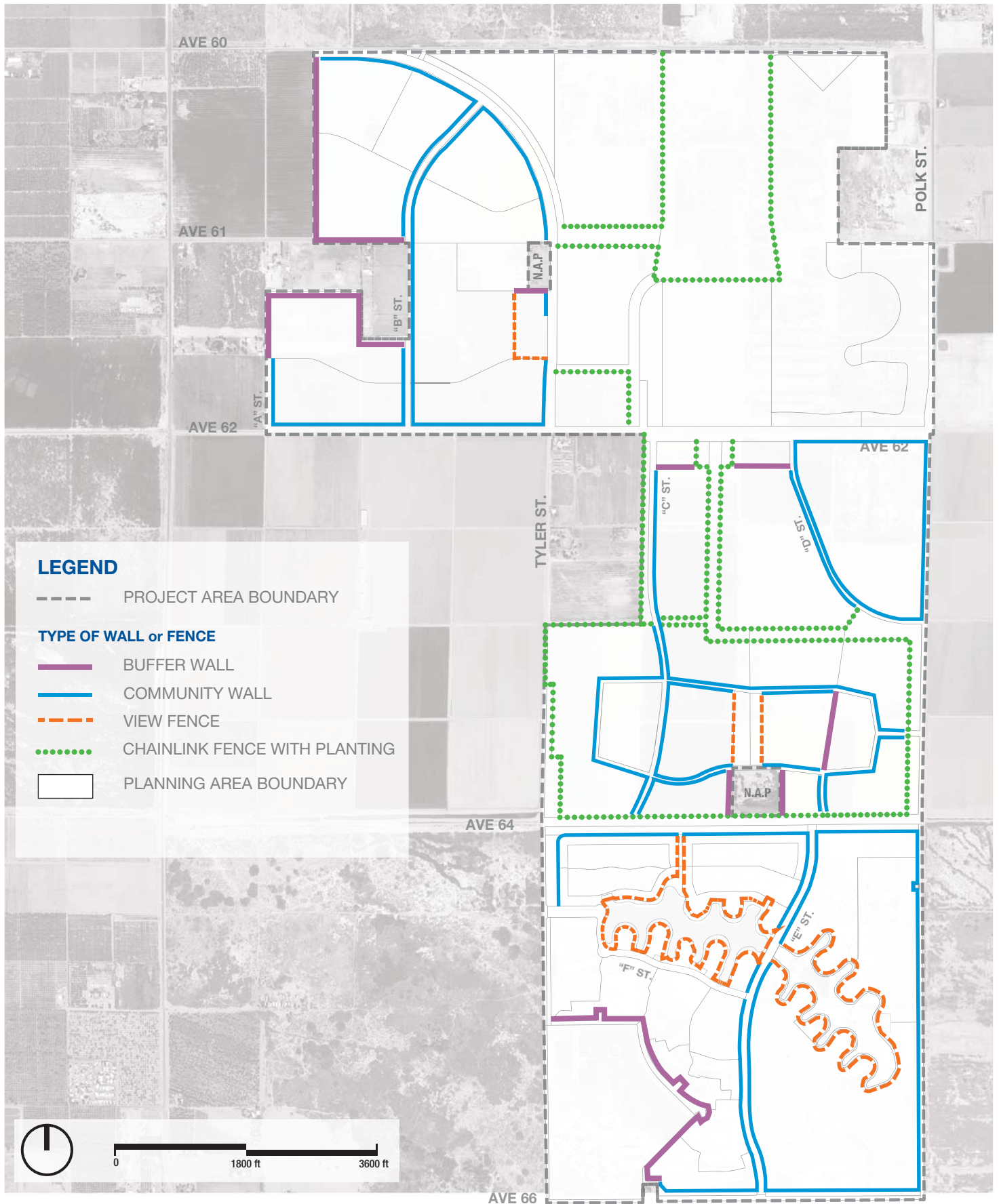
The horizontal mass of continuous walls should be softened by landscaping as specified in the landscape guidelines. No wall or fence shall exceed 6 feet in height unless it is used for noise attenuation where a combination of wall and berming is not sufficient. If retaining walls are necessary they should be terraced and should not exceed this 6-foot height limit.

Long stretches of unrelieved walls and fences should be broken up with varied setbacks or recesses for plantings. When a change in pad elevation occurs, the wall or fence should be stepped in equal vertical intervals. No step should exceed 12 inches in height.

#### Community Walls and Fences

Community walls and fences will provide community identity, security, privacy and sound buffering for residential units adjacent to project streets or incompatible land uses as depicted in **Figure 3.3-3, Wall and Fence Types**.

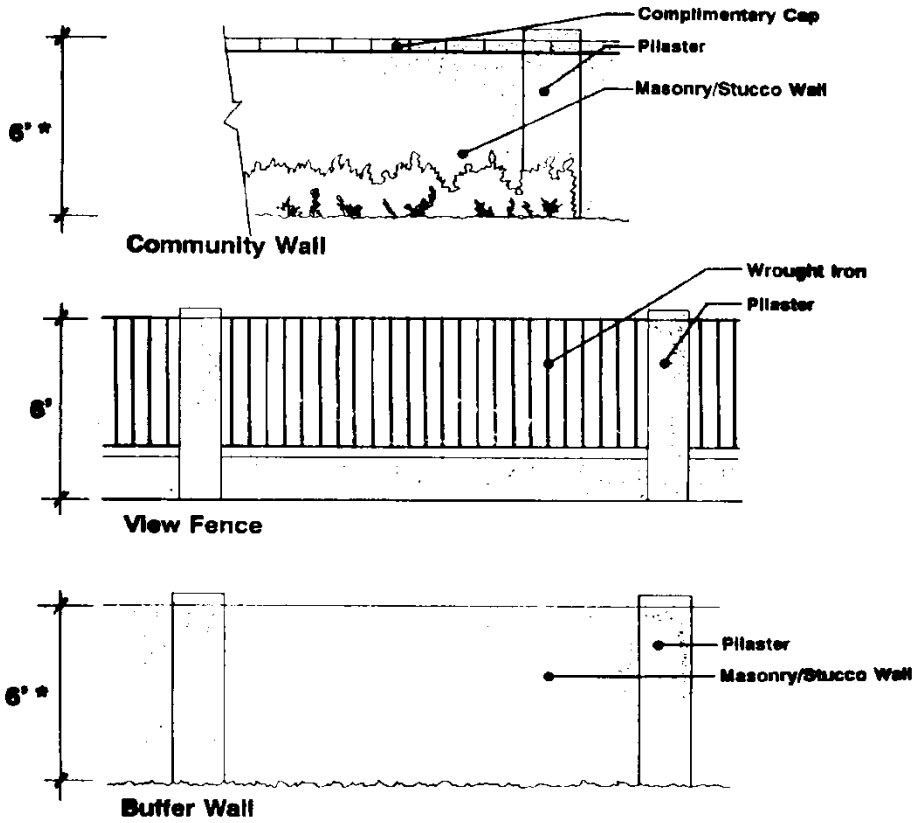
- Solid theme walls may be required along major thoroughfares where sound attenuation and privacy are required and when residential areas are adjacent to schools, commercial areas, or parks.
- Solid walls along residential development edges visible from surrounding arterial roadways shall be composed of solid masonry covered with smooth stucco. The wall will stand six (6) feet in height. Walls should be planted with vines or screened with other plant materials to reduce their visual impact. This will contribute to the shade and residential environment of the development the wall is intended to screen.
- Wall materials shall consist of simple masonry construction finished with colored smooth stucco, consistent with the desert color palette.



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Figure 3.3-3, Wall and Fence Type



\*Unless otherwise determined by a noise study for an adjacent land use.

**Perimeter Walls and Fences**

Fencing should be allowed within the project area and along the project boundaries. Landscape hedges and other screening measures should be used to reduce the visual incongruity of such fences.

**View Fences**

These fences should be used to increase the sense of openness in rear yards, along open space, golf courses, parks and schools.

- If golf courses are built, fences adjacent to golf courses visible from surrounding arterials should be view fences. Recommended material includes wrought iron, wood pickets, or welded wire on wood posts. Spires, spikes or other detailing consistent with the community theme may be used to impede trespassing over metal rails.

**Privacy Walls and Fences**

The privacy walls and fences are utilized alongside and rear lot lines where residential units need more privacy. Recommended material includes wood panels, masonry, stucco and stone.

**Theme Walls and Fences**

In certain instances such as project entries and at restaurants, thematic fences or walls may be appropriate. An example would be a western steak house with a low profile split rail fence at the entry. Special conditions that warrant thematic uses shall be approved by the County of Riverside.

## 3.4 LANDSCAPE DESIGN GUIDELINES

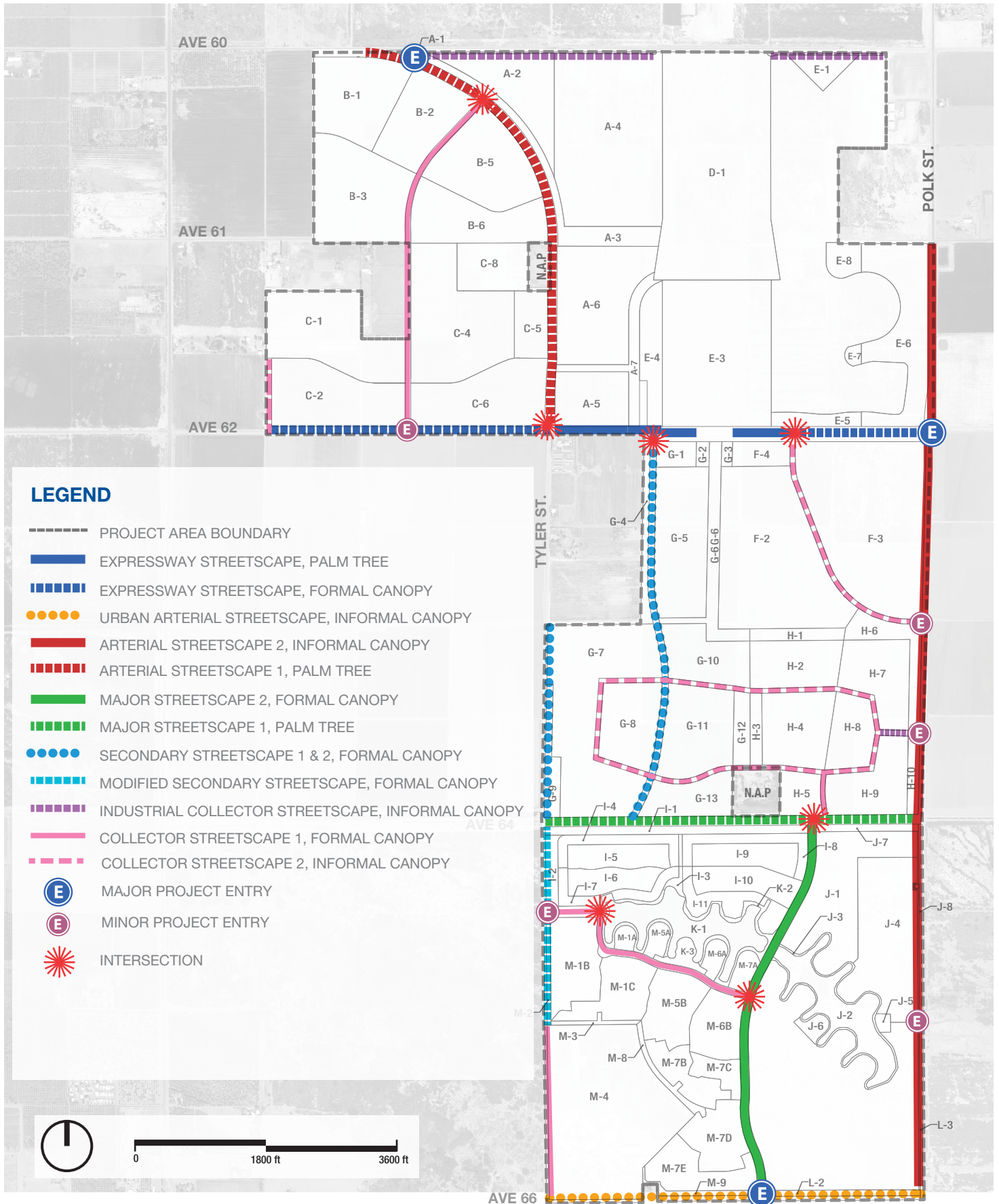
### 3.4.1 Landscape Concept

The landscape guidelines for the Kohl Ranch shall contribute greatly to the establishment of a community theme for the project. The landscape concept shall transcend all individual parcel boundaries and unify the community "edges," those areas along roadways, parks, commercial shopping areas, undisturbed areas and drainage ways and the adjacent residential development areas.

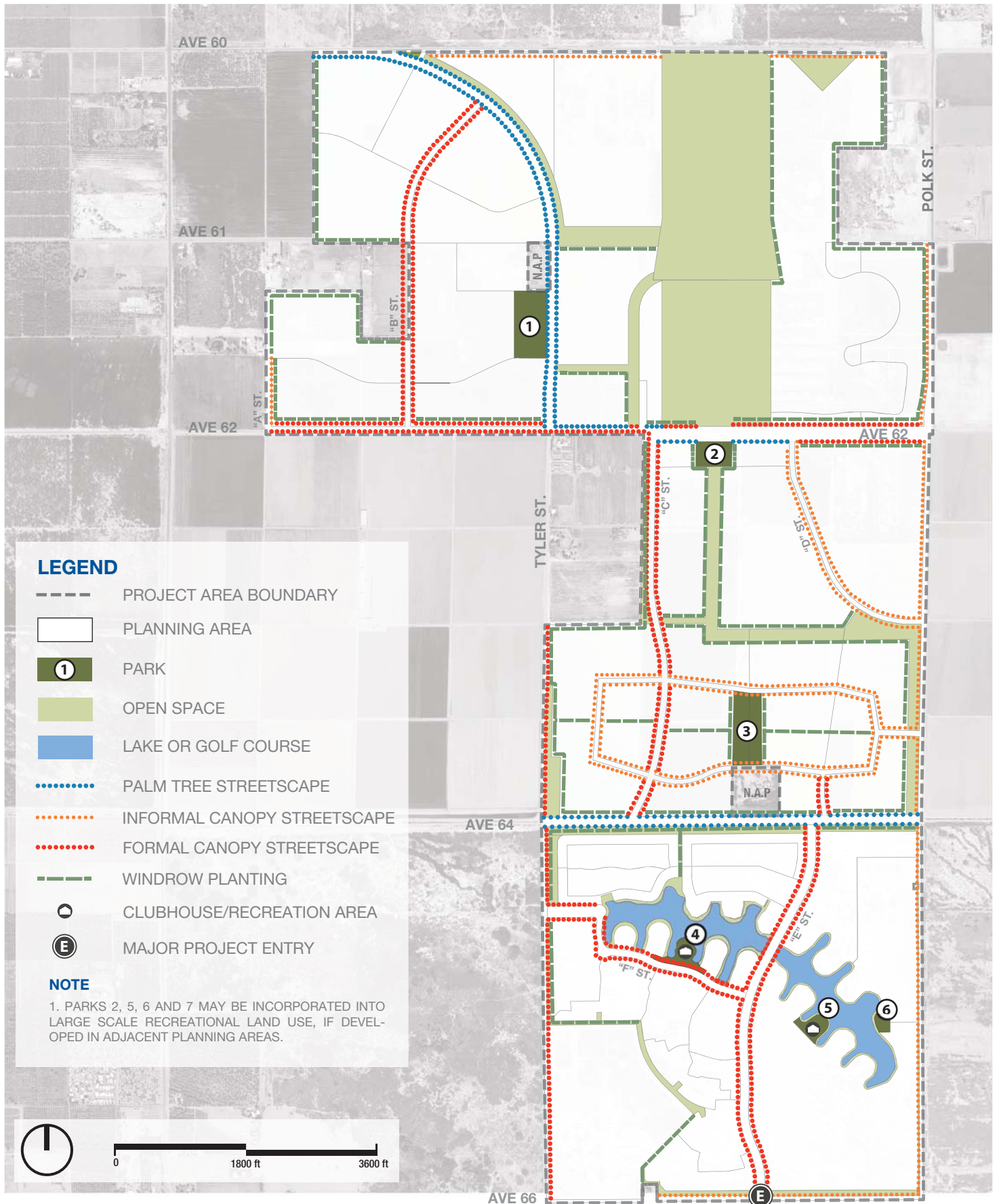
The landscape concept provides criteria for the treatment of all areas within roads and easements, medians, development edges, and project entries. The concept has been conceived to organize and present a memorable image for the Kohl Ranch project. Its purpose is to establish a unified landscape framework that provides continuity throughout the project area, and encourages the desert community theme. To accomplish this purpose, these guidelines should be consistently applied to define major project roadways (expressways, arterials, secondary and major highways, collectors, industrial collectors, and loop roads) roadway medians, internal circulation routes, major entries, and intersections as reflected in **Figure 3.4-1, Landscape Key Map**. Landscape materials within these areas should direct and guide the resident or visitor to the development, screen sensitive views, and frame or create focal points and views as the motorist, pedestrian, or bicycle moves through and around the project. A high degree of landscape quality is to be maintained throughout the Kohl Ranch Specific Plan area. Key elements of the concept are presented in **Figure 3.4-2, Community Structure Plan**.

The following are key objectives that the landscape concept should foster:

- The Kohl Ranch project should create a landscape theme that is compatible with the native desert community and architectural and site planning themes.
- The landscape is intended to work in association with the architectural guidelines and the grading plan to create screens and buffers where needed and views where the opportunity exists.
- The landscape should serve to augment sound attenuation efforts made with the landform or hardscape elements.
- Plant material selection for streetscapes, entry areas and development areas should be limited to those plants listed in the suggested plant palette.
- Landscape plant materials should be "long lived" varieties. "Short lived" materials such as flowering annuals and perennials may be utilized to accent or augment the "longer lived" base elements which form the landscape framework.
- Landscape elements within the front building setback visible from the public rights-of-way should blend with street edge landscaping.



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- All common landscaped areas shall be designed with the objective of reducing long-term water use to a minimum in accordance with the Coachella Valley Water District Ordinance 1302.1 Landscape and Irrigation System Design Criteria and the Kohl Ranch Plant Palette. Native and drought tolerant plant materials and water-efficient irrigation practices shall be used. Within the golf course(s), if developed, water-efficient landscaping shall be encouraged in the "rough" and peripheral areas.
- Recycling of irrigation water is encouraged.

It is the intent of the landscape guidelines to foster innovative design and discourage the bland and mediocre. The design of the Kohl Ranch draws upon the character of the natural setting and applies this theme to concepts which are both cost effective and maintainable. Furthermore, the landscape guidelines foster a spirit of stewardship for the project open spaces and create a symbiotic existence with the developed areas, ultimately creating a unique recreational amenity for the community.

The essence of the landscape guidelines consists of the elements described below.

### **Community Identity**

These guidelines establish a benchmark for high quality community landscape architecture by establishing guidelines for essential landscape elements that carry forth the landscape concept rather than relying upon a static and all inclusive plant palette. This flexible concept will allow for personal expression for individual builders and their designers within the community while maintaining a community structure and theme.

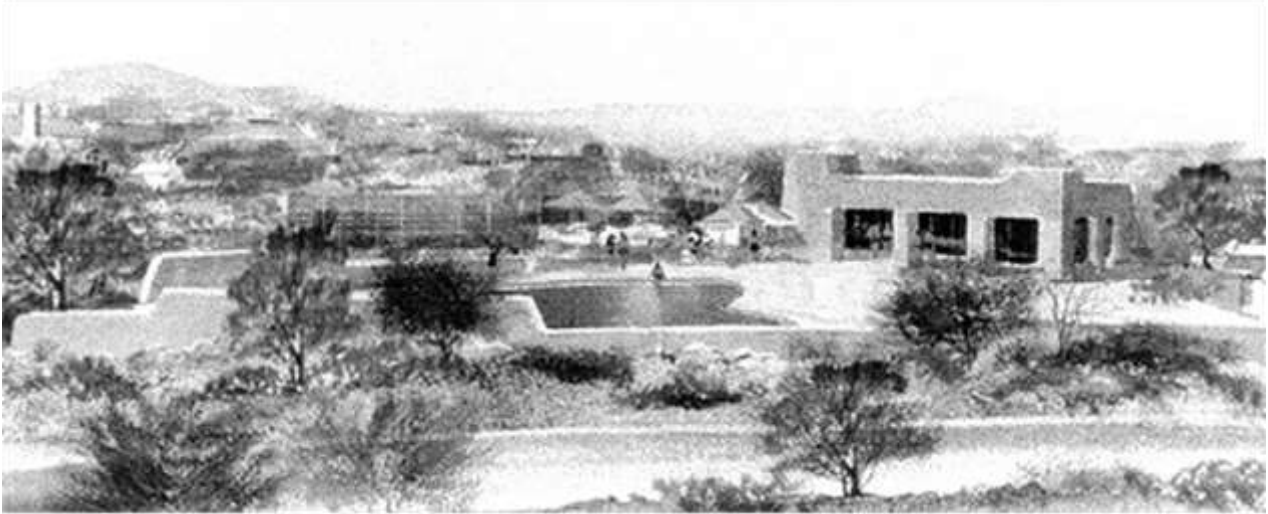
### **Visual Screens**

The guidelines form a program which mitigates the effects of the built environment upon the undisturbed open space. The landscape guidelines also provide concepts for buffering buildings from adjacent land uses, both on and off site.

### **Conservation of Resources**

The landscape plan and suggested plant materials have been selected with careful regard for the Coachella Valley's water supply and CVWD requirements and therefore, the resulting long-term viability of the landscape. The landscape will be efficient in terms of water consumption as well as maintenance requirements. Resources shall be concentrated in those areas of most intense human use, such as parks and other high-use areas. All common landscaped areas shall be designed with the objective of reducing long-term water use to a minimum. The use of native and drought tolerant plant materials and the use of water-efficient irrigation practices and the development of programs which "wean" plant materials from irrigation after their establishment are encouraged, while the use of high water-consuming plant materials shall be limited to selected areas. The landscape concept should encourage minimizing long-term maintenance for the majority of landscaped areas. This will be achieved by limiting areas of turf, clipped hedges, and exotic ornamentals to special places where they can be emphasized. Drainage channels through the site will be developed with native desert landscaping.

Alternative sources of irrigation water shall be considered, including reclaimed water, Colorado River water and surface runoff. The proximity of the site to Water Reclamation Plant No. 4 would allow for the use of reclaimed water for irrigation once tertiary water becomes available.



**Neighborhood Park**

The landscape guidelines encourage the use of the landscape as more than a visual aesthetic by creating environments that use plant materials as architectural elements which define space, establish proportion, and influence climate. The guidelines will encourage spaces which will, through the thoughtful arrangement of plant materials, encourage a range of emotions from intimate enclosure to vast openness. The landscape should affect the tactile senses by creating microclimates where people can escape the heat of summer or be warmed by the sun in the winter. The landscape should provide pleasing odors of flowers, rustling sounds of leaves in the wind, in addition to visual screens and focal points.

#### **Application of Concepts**

The guidelines provide a detailed, user-friendly landscape plan and plant matrix which outlines specific treatments and suggested plant materials to carry out the community theme. This plan and matrix should be easily understood by individual developers, builders, and designers.



The Community Structure Plan (Figure 3.4-2) shows how the various landscape conditions interact with one another to create the overall community landscape theme. In general, the plan is concerned with those areas within road rights-of-way, drainage areas, parks, and visually sensitive development areas such as entries and focal points.

### 3.4.2 Landscape Plant Palette



The following plant palette has been derived to enhance the Kohl Ranch desert landscape theme. The plant material has been selected to accent the desert environment while providing important functional characteristics. This list is intended to be a menu from which landscape architects can mix and match plant materials for various situations. The following general criteria have been established to determine plant selections:





- Desert Compatible Plants – Plants shall be tolerant of the harsh desert environment.
- Low/Moderate Water Consumption – Plants should not be high water consumers. Vast expanses of lawn areas are discouraged. Golf courses shall be primary water consumers and shall be irrigated with canal water to the extent possible.
- Broadleaf Deciduous Trees – These plants should be used where the need for summer shade and winter sunshine is important.
- Groundcover – Use of drought tolerant groundcovers and decomposed granite should be encouraged to reduce blowing dust.
- Maintenance of Established Themes – The Kohl Ranch streetscape and entry themes should be maintained (i.e., Palm trees evenly spaced with citrus understory and desert groundcover throughout).


**Table 3.4-A, Kohl Ranch Plant Palette**




Plant Form	Botanical Name	Common Name	Location
<b>PALMS</b>			
	<ul style="list-style-type: none"> <li>• <i>Arecastrum romanzoffianum</i></li> <li>• <i>Brahea armata</i></li> <li>• <i>Chamaerops humilis</i></li> <li>• <i>Phoenix canariensis</i></li> <li>• <i>Phoenix dactylifera</i></li> <li>• <i>Washingtonia filifera</i></li> <li>• <i>Washingtonia robusta</i></li> </ul>	<p>Queen palm</p> <p>Mexican blue palm</p> <p>Mediterranean fan palm</p> <p>Canary Island date palm</p> <p>Date palm</p> <p>California fan palm</p> <p>Mexican fan palm</p>	<p>Palm Tree Streetscape for Major and Minor entries, Intersection Details, Expressway Streetscape, Urban Arterial Streetscape, Arterial Streetscape 1 and Major Streetscape 1.</p>
<b>LARGE SHADE TREES</b>			
	<ul style="list-style-type: none"> <li>• <i>Brachychiton populneus</i></li> <li>• <i>Cassia leptophylla</i></li> <li>• <i>Dalbergia sissoo</i></li> <li>• <i>Fraxinus velutina</i></li> <li>• <i>Koelreuteria bipinata</i></li> </ul>	<p>Bottle tree</p> <p>Golden Medallion</p> <p>Rosewood</p> <p>Arizona ash</p> <p>Chinese Flame Tree</p>	<p>Formal Canopy Streetscape for Expressway Streetscape, Major Streetscape 2, Secondary Streetscape 1, Secondary Streetscape 2, and Collector Streetscape 1.</p>



Plant Form	Botanical Name	Common Name	Location
	<ul style="list-style-type: none"> <li>• <i>Olea europaea</i></li> <li>• <i>Pinus Eldarica</i></li> <li>• <i>Platanus wrightii</i></li> <li>• <i>Quercus virginiana</i></li> <li>• <i>Tipuana tipu</i></li> <li>• <i>Ulmus parvifolia</i></li> </ul>	<p>'Swan Hill' olive Afgan Pine Arizona sycamore Southern live oak Tipu Tree Evergreen Elm</p>	
	<ul style="list-style-type: none"> <li>• <i>Acacia salicina</i></li> <li>• <i>Acacia farnesiana</i></li> <li>• <i>Acacia smallii</i></li> <li>• <i>Acacia stenophylla</i></li> <li>• <i>Cercidium floridum</i></li> <li>• <i>Cercidium h. 'Desert Museum'</i></li> <li>• <i>Chitalpa Tashkentensis</i></li> <li>• <i>Geijera parvifolia</i></li> <li>• <i>Parkinsonia aculeata</i></li> <li>• <i>Prosopis alba</i></li> <li>• <i>Prosopis chilensis</i></li> <li>• <i>Prosopis hybrid 'Phoenix'</i></li> <li>• <i>Rhus lancea</i></li> </ul>	<p>Willow acacia Sweet acacia Sweet acacia Shoestring acacia Blue palo verde Hybrid palo verde Pink Dawn Australian willow Mexican palo verde Argentine mesquite Chilean mesquite Hybrid mesquite African sumac</p>	<p>Formal Canopy Streetscape for Expressway Streetscape, Major Streetscape 2, Secondary Streetscape 1, Secondary Streetscape 2, and Collector Streetscape 1.</p>
<b>STREET TREES (NON-DESERT)</b>			
	<ul style="list-style-type: none"> <li>• <i>Brachychiton populneus</i></li> <li>• <i>Eucalyptus species</i></li> <li>• <i>Fraxinus velutina</i></li> <li>• <i>Platanus wrightii</i></li> </ul>	<p>Bottle tree Various Arizona ash Arizona sycamore</p>	<p>Informal Canopy Streetscape for Urban Arterial Streetscape, Arterial Streetscape 2, Polk Street Streetscape 2a and 2b, Industrial Collector Streetscape, Collector Streetscape 2 and Tyler Street Project Edge.</p>
<b>STREET TREES (DESERT THEME)</b>			
	<ul style="list-style-type: none"> <li>• <i>Cercidium floridum</i></li> <li>• <i>Cercidium h. 'Desert Museum'</i></li> </ul>	<p>Blue palo verde Hybrid palo verde</p>	<p>Informal Canopy Streetscape for Urban Arterial Streetscape, Arterial Streetscape 2, Polk Street Streetscape 2a and 2b, Industrial</p>

Plant Form	Botanical Name	Common Name	Location
	<ul style="list-style-type: none"> <li>• <i>Cercidium praecox</i></li> <li>• <i>Chilopsis linearis</i></li> <li>• <i>Prosopis alba</i></li> <li>• <i>Prosopis chilensis</i></li> </ul>	<p>Sonoran palo verde Desert willow Argentine mesquite Chilean mesquite</p>	<p>Collector Streetscape, Collector Streetscape 2 and Tyler Street Project Edge.</p>
<b>ACCENT TREES</b>			
	<ul style="list-style-type: none"> <li>• <i>Albizia julibrissin</i></li> <li>• <i>Bauhinia variegata</i></li> <li>• <i>Jacaranda mimosifolia</i></li> <li>• <i>Lagerstroemia indica</i></li> <li>• <i>Pistacia 'Red push'</i></li> <li>• <i>Thevetia peruviana</i></li> <li>• <i>Citrus sp</i></li> </ul>	<p>Silk tree Purple orchid tree Jacaranda Crape myrtle Red push pistache Yellow oleander Orange</p>	<p>Palm Tree Streetscape for Major and Minor Entries, Intersection Details, Expressway Streetscape, Urban Arterial Streetscape, Arterial Streetscape 1, and Major Streetscape.</p>
<b>WINDROW</b>			
	<ul style="list-style-type: none"> <li>• <i>Eucalyptus species</i></li> <li>• <i>Oleander</i></li> </ul>	<p>Various Various</p>	<p>Edge and buffer conditions.</p>
<b>LARGE SHRUBS</b>			
	<ul style="list-style-type: none"> <li>• <i>Baccharis sarothoides</i></li> <li>• <i>Caesalpinea pulcherrima</i></li> <li>• <i>Cassia nemophylla</i></li> <li>• <i>Cistus purpureus</i></li> <li>• <i>Cistus ladaniferus</i></li> </ul>	<p>Desert broom Red bird of paradise Senna Orchid rock rose Crimson spot rock rose Hopseed bush</p>	<p>Throughout Streetscapes and Edge and Buffer conditions.</p>

Plant Form	Botanical Name	Common Name	Location
	<ul style="list-style-type: none"> <li>• <i>Dodonaea viscosa</i></li> <li>• <i>Fouquieria splendens</i></li> <li>• <i>Leucophyllum frutescens</i></li> <li>• <i>Liqustrum japonicum</i></li> <li>• <i>Nerium oleander</i></li> <li>• <i>Photinia fraseri</i></li> <li>• <i>Pittosporum tobira</i></li> <li>• <i>Pittosporum tobira</i></li> <li>• <i>'variegata'</i></li> <li>• <i>Xylosma congestum</i></li> </ul>	<p>Ocotillo</p> <p>Texas Ranger</p> <p>Japanese privet</p> <p>Petite Pink &amp; `Petite Salmon'</p> <p>Fraser photinia</p> <p>Mock orange</p> <p>Yellow oleander</p> <p>Shiny xylosma</p>	
<b>MEDIUM/SMALL SHRUBS</b>			
	<ul style="list-style-type: none"> <li>• <i>Agave shawii</i></li> <li>• <i>Aloe species</i></li> <li>• <i>Bougainvillea 'Oh La La'</i></li> <li>• <i>Carissa g.</i></li> <li>• <i>Encelia farinosa</i></li> <li>• <i>Euonymus japonica</i></li> <li>• <i>Euryops virides</i></li> <li>• <i>Ferocactus species</i></li> <li>• <i>Hemerocallis</i></li> <li>• <i>Hesperaloe parviflora</i></li> <li>• <i>Lantana camara</i></li> <li>• <i>Larrea tridentate</i></li> <li>• <i>Leucophyllum f.</i></li> <li>• <i>'Green Cloud'</i></li> <li>• <i>Muhlenbergia capillaries</i></li> <li>• <i>Muhlenbergia rigens</i></li> <li>• <i>Opuntia violacea</i></li> <li>• <i>Santolina virens</i></li> <li>• <i>Simmondsia chenensis</i></li> </ul>	<p>Shaw's century plant</p> <p>Aloe</p> <p>Bougainvillea</p> <p>Green Carpet</p> <p>Encelia</p> <p>Euonymus</p> <p>Green euryops</p> <p>Barrel cactus</p> <p>Daylily</p> <p>Red yucca</p> <p>Radiation lantana</p> <p>Creosote bush</p> <p>Texas Sage</p> <p>Regal Mist</p> <p>Deer Grass</p> <p>'San Rita' prickly pear</p> <p>Santolina</p> <p>Jojoba</p>	<p>Throughout Streetscapes and Edge and Buffer conditions.</p>
<b>GROUNDCOVER</b>			

Plant Form	Botanical Name	Common Name	Location
	<ul style="list-style-type: none"> <li>• <i>Acacia redonlens</i> 'prostrata'</li> <li>• <i>Baccharis pilularis</i></li> <li>• <i>Dalea capitata</i></li> <li>• <i>Lantana montevidensis</i></li> <li>• <i>Lantana</i> 'New Gold'</li> <li>• <i>Lantana sellowiana</i></li> <li>• <i>Lonicera japonica</i></li> <li>• <i>Santolina</i> <i>chamaecyparissus</i></li> <li>• <i>Trachelospermum</i> <i>jasminoides</i></li> <li>• <i>Verbena gooddingii</i></li> </ul>	<p>Trailing acacia 'Centennial' Sierra Gold Trailing lantana New Gold lantana Trailing lantana Honeysuckle Lavender cotton Star jasmine Sandpaper Verdena</p>	<p>Throughout Streetscapes and Edge and Buffer conditions.</p>
<b>VINES</b>			
	<ul style="list-style-type: none"> <li>• <i>Bougainvillea spectabilis</i></li> <li>• <i>Ficus pumila</i></li> <li>• <i>Lonicera japonica</i></li> <li>• <i>Rose banksiae</i></li> </ul>	<p>Various Creeping fig Hall's honeysuckle Lady Bank's rose</p>	<p>Throughout Streetscapes and Edge and Buffer conditions.</p>
<b>TURF</b>			
	<ul style="list-style-type: none"> <li>• <i>Hybrid bermuda</i></li> </ul>	<p>Tifgreen or 'Santa Ana'</p>	<p>Throughout Streetscapes and Edge and Buffer conditions.</p>

### 3.4.3 Entries

Entries or focal points are those key areas along the roadway where change in travel direction may occur. Often at these points a different land use may occur and the landscape should announce this change. Working in concert with signage, lighting and hardscape elements, the landscape plant materials will create "outdoor rooms" with an individual identity and level of importance that creates a unique mood as the motorist, pedestrian or cyclist passes through each space. Often a stoppage in movement occurs at these points; therefore, design elements that create a more lush effect of color, texture, and form should be concentrated at these locations.

#### Major Project Entries

The landscapes at the project entries along with the signage, lighting and hardscape elements will form a gateway into the Kohl Ranch and set the stage for the community identity. The landscape should draw views into the site and toward important development features. Tasteful plantings should indicate a transition from the surrounding land uses to the more formal roadways. Water resources should be concentrated toward irrigation of trees and shrubs. Ground covers may be of a more xeric nature.



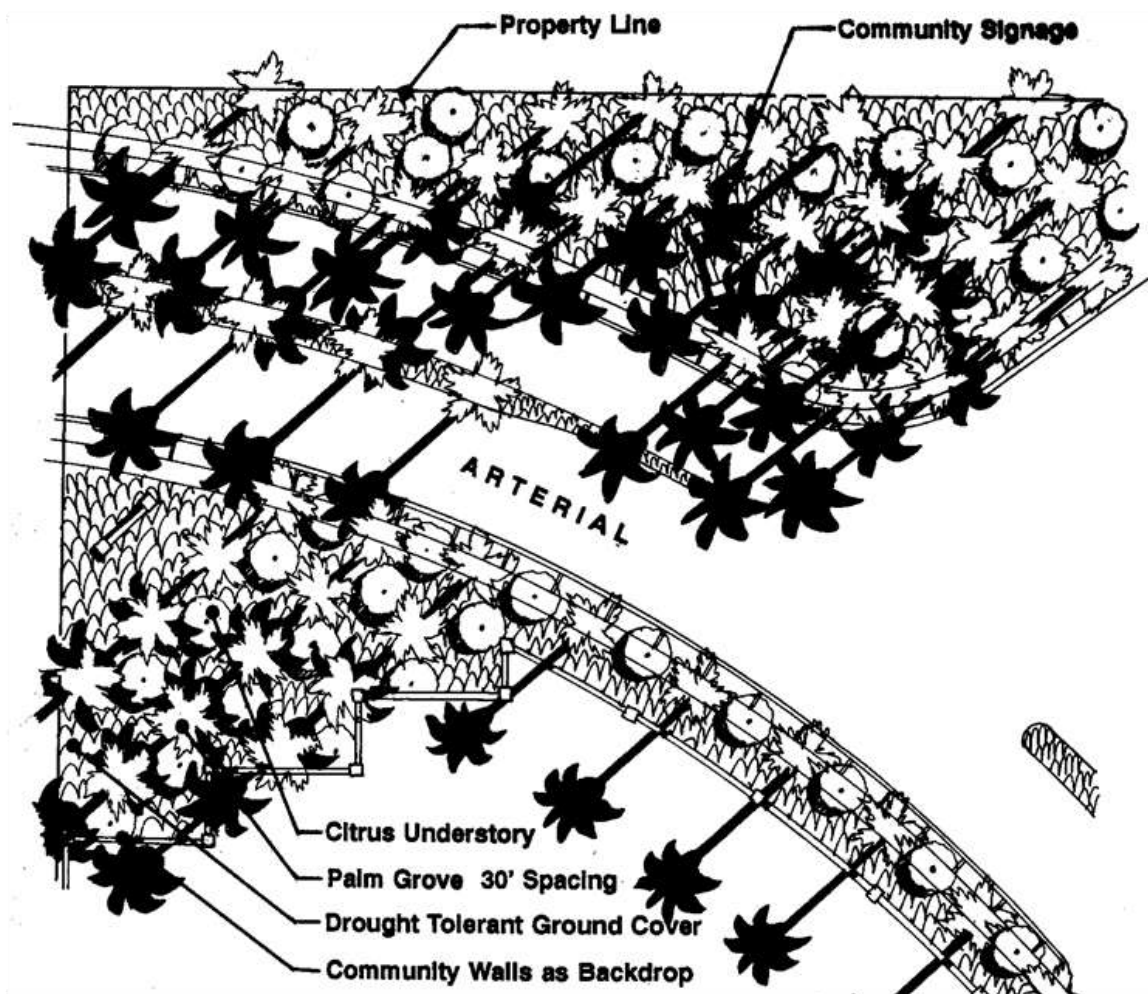
**Major Entry**

Major project entries are located at the following intersections:

- Avenue 60, north of "B" Street;
- Avenue 62 and Polk Street; and
- "E" Street and Avenue 66.

Major project entries will be landscaped with palm trees, with a maximum spacing of 30 feet on-center, with a citrus understory as designated in **Figure 3.4-3, Major Project Entry**. These plantings will be underlain by a drought tolerant groundcover. Community walls will create a backdrop for the entry landscape features.

**Figure 3.4-3, Major Project Entry**



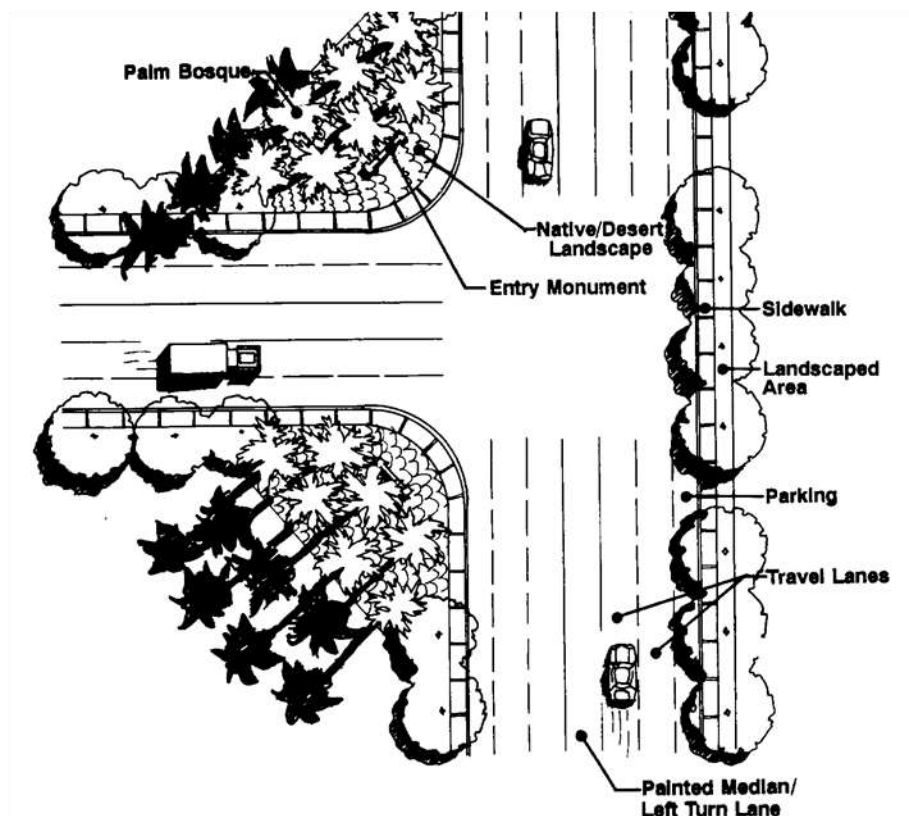
### Minor Entries

The minor entries should convey the same objectives as the major entries but on a less grand and more intimate scale. **Figure 3.4-4, Minor Entry**, depicts a typical minor entry at the following locations:

- "B" Street and Avenue 62;
- "F" Street and Tyler Street;
- "D" Street and Polk Street;
- the interior loop road and Polk Street; and
- Polk Street and boundary of Planning Areas J-4 and L-3.

The plantings which create the walls of the outdoor "room" should be pulled in and a greater sense of enclosure should be created. Elements of color, form, and texture should be highly developed for these intensely visible areas. Palm tree groves should be supplemented with native/desert landscape elements.

**Figure 3.4-4, Minor Entry**

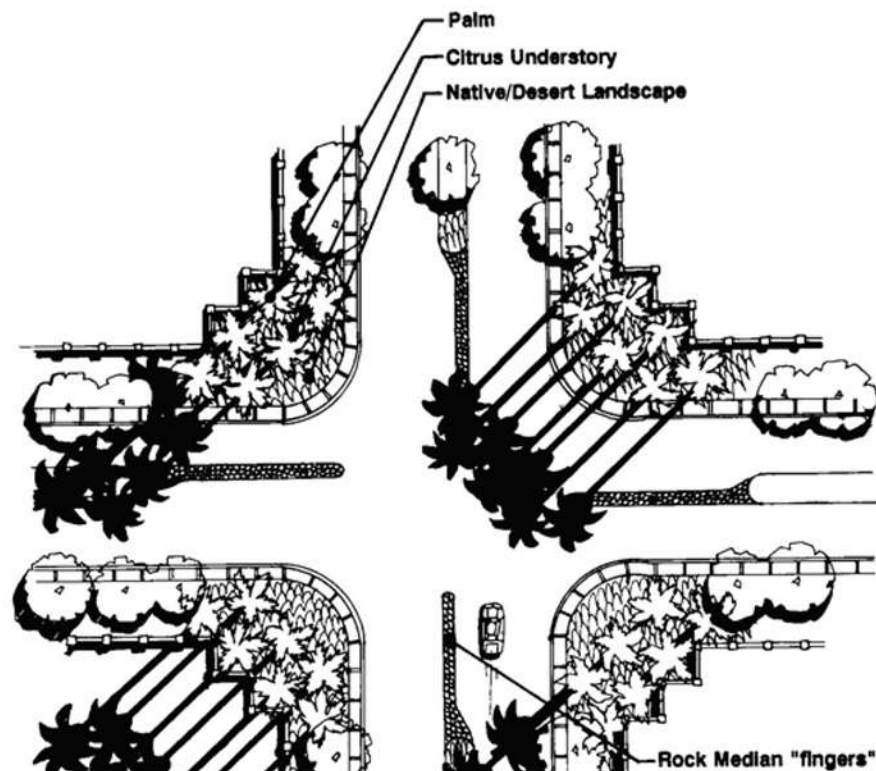


### 3.4.4 Intersections

Within the project site, certain key intersections will have special landscape treatments to denote the entry into a project neighborhood. This intersection treatment is illustrated in **Figure 3.4-5, Intersection Detail**. The landscape concept will be adapted to three-way intersections. Three-way intersections include the intersection of Avenue 62 and "C" Street, the intersection of "E" Street and Avenue 64, the intersection of "B" Street and Tyler Street, the intersection of "B" Street and Avenue 62, the intersection of "D" Street and Avenue 62, the intersection of "C" Street and Avenue 62, and the intersection of "E" Street and "F" Street. Intersections with special intersection treatments also include "F" Street and it turns south adjacent to Planning Area M-1B.

Major intersection landscapes should act as terminus points along the project roadways. They should appear as large enclosed outdoor rooms where the traveler can easily decide their direction of travel, react, then continue moving through the site. The edges of the room should be vertical to provide enclosure, with plant material located so that signage is emphasized. Color, form and texture should further define the importance of these decision points through an increased emphasis on water resources and plant materials.

**Figure 3.4-5, Intersection Detail**



**Note:** Landscape concept will be adapted to 3-way intersections.



### 3.4.5 Streetscapes

In order to achieve a cohesive overall circulation system for the Kohl Ranch and provide a strong community structure and identity, a consistent level of landscape design quality for public and private rights-of-way will be maintained. A consistent streetscape treatment will be implemented throughout the project as well as for the roadways surrounding the site. The general streetscape concept combines the use of palm trees with citrus understory, massed in selected locations, supported by turf and plantings of lush desert plants and annual color. The streetscapes are broken down into five major categories with special features and plant forms as indicated, and are applied to the hierarchy of the project roadways:

- Palm Tree Streetscape
- Formal Canopy Streetscape
- Informal Canopy Streetscape
- Windrow Planting
- Expressway Planting

Plant materials within these areas are intended to create a mood of movement and procession. Plant materials should direct and guide the traveler, screening sensitive views, or framing and creating focal points or "rooms" as the motorist, cyclist or pedestrian moves through the streetscape. Water resources should be minimized through the use of drip irrigation systems for trees and shrubs, and groundcovers which are attractive and thrive with limited irrigation or seasonal rains.

The five types of streetscape planting schemes listed above are applied to the hierarchy of project roadways which are broken down into seven roadway categories with special features and suggested plant forms as follows.



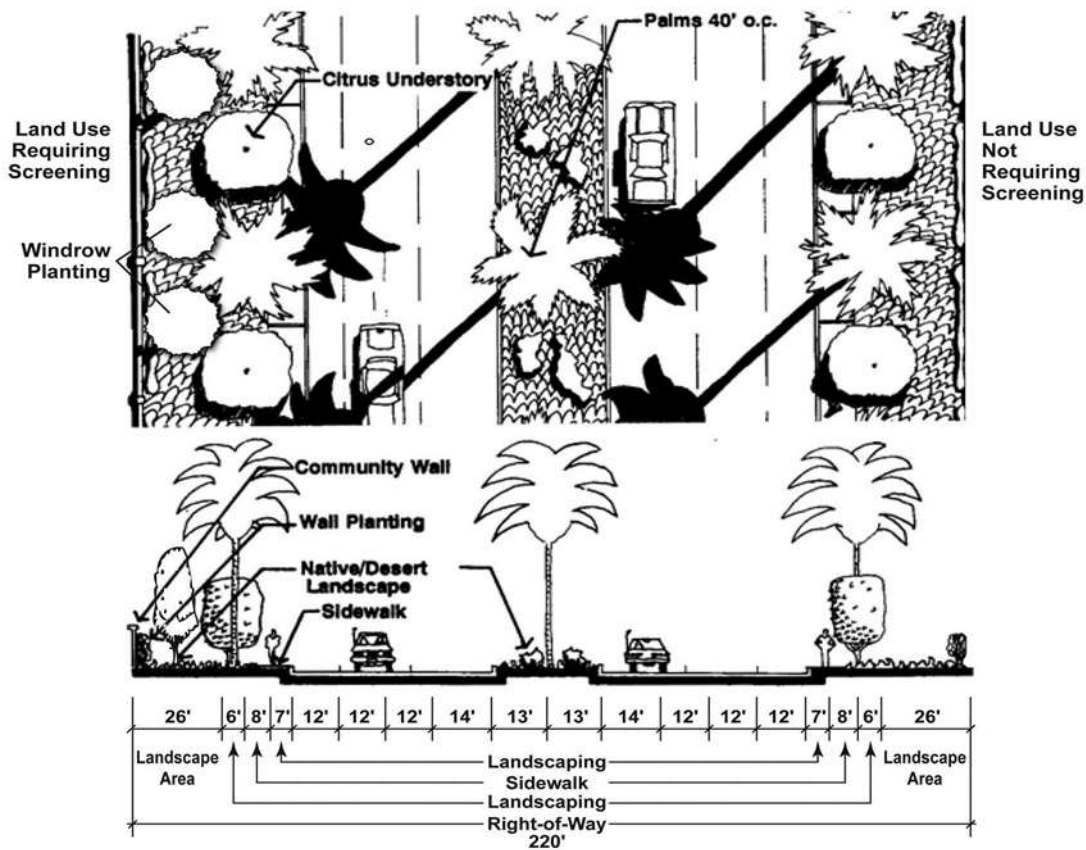
**Expressway Streetscapes**

**Expressway Streetscape (220' ROW)**

This streetscape applies to Avenue 62, the single project expressway, to serve as a formal progression through the site in the "grand allée" tradition of an estate roadway. The Palm Tree Streetscape is used as the basis for this streetscape, providing continuity across the project site. The Windrow Plantings are added at the rear of the ROW adjacent to land uses that may require screening such as Heavy Industrial or residential, while streetscapes in front of commercial uses and/or parks would not require screening. **Figure 3.4-6, Expressway Streetscape**, shows the concept for either situation.

- Where the expressway passes through the airport Emergency Touchdown Zone (ETZ), no trees should be planted.

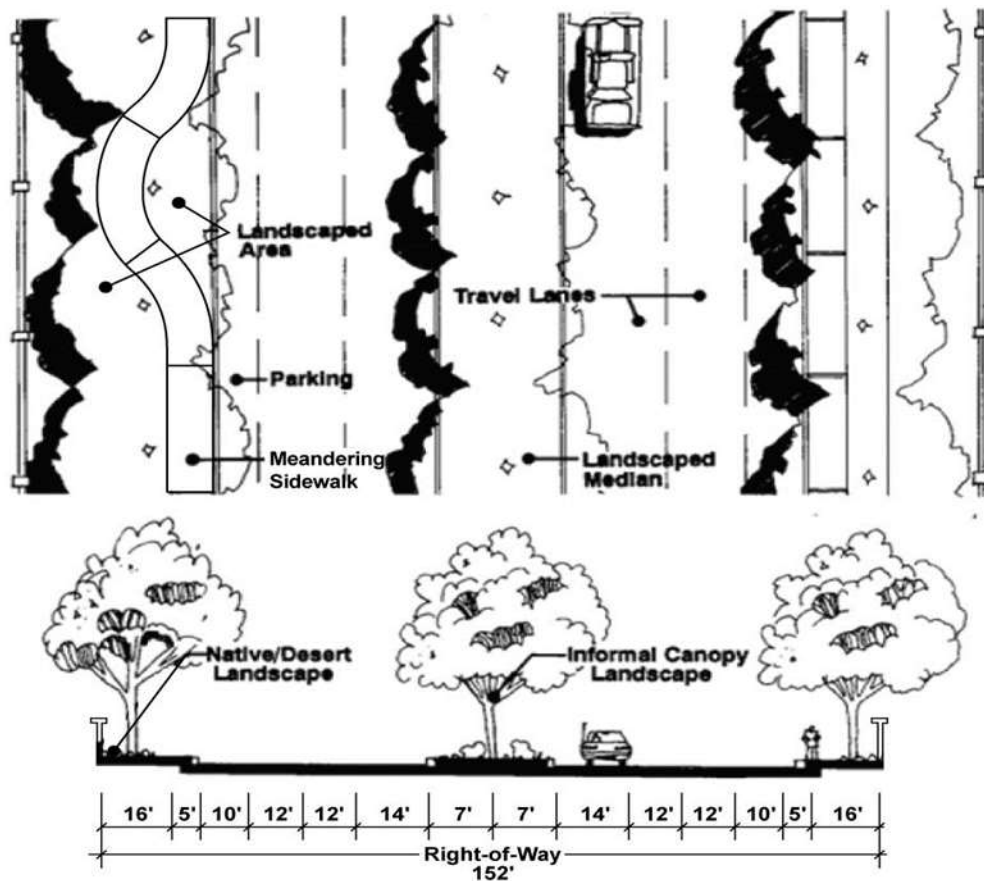
**Figure 3.4-6, Expressway Streetscape**



**Urban Arterial (152' ROW)**

This streetscape is intended for Avenue 66 only, and is interspersed with the Informal Canopy Streetscape, which should include trees that create a canopy by touching at their edges providing an overhead plane to impart a feeling of enclosure and to provide dappled shade as reflected in **Figure 3.4-7, Urban Arterial Streetscape**.

**Figure 3.4-7, Urban Arterial Streetscape**



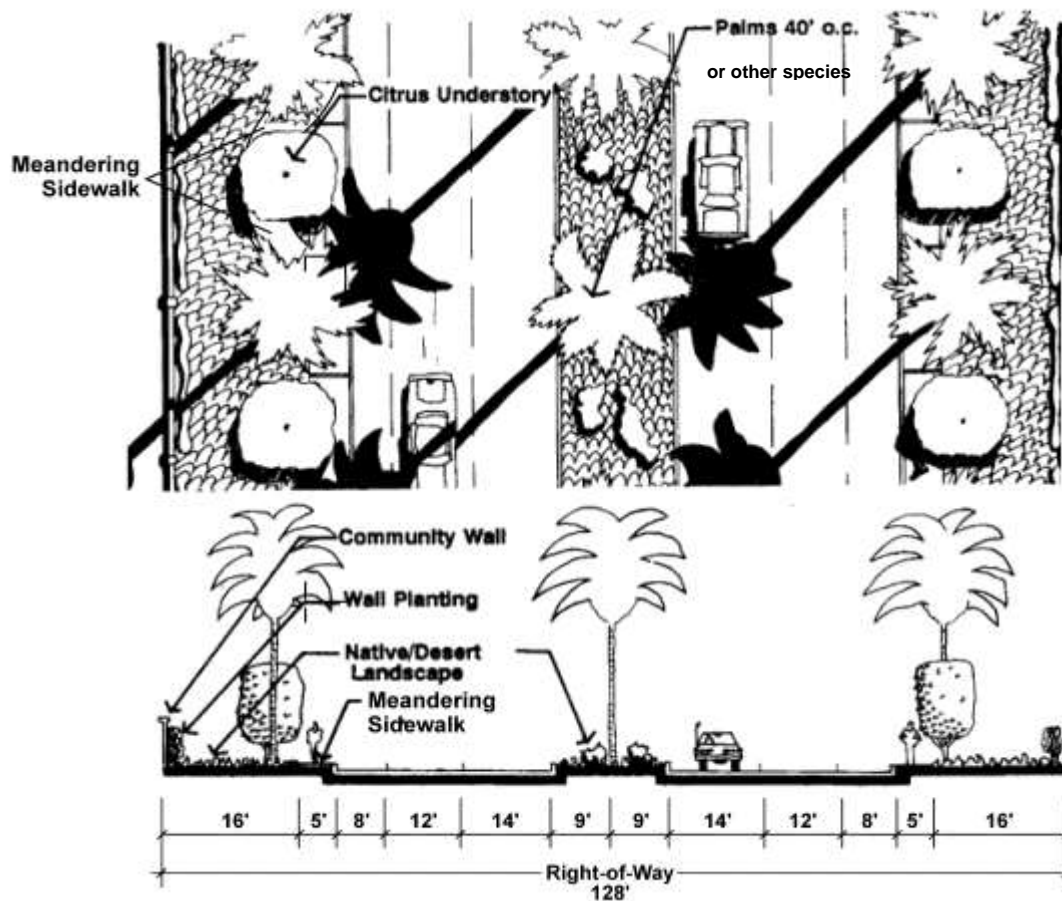
**Arterial Highway Streetscape (128' ROW)**

This streetscape is intended for Tyler Street north of Avenue 62, and Polk Street. Two different streetscapes are intended for these two arterials since Tyler Street is a major roadway within the project and Polk Street is along the edge of the project.

**Arterial Streetscape 1 –Tyler Street, north of Avenue 62**

- This roadway will include automobiles, bicycle and pedestrian traffic; therefore, foreground treatment and trees should be designed with regard to automobile speeds and/or the pedestrian experience depending on whether off-pavement trails are provided. The Palm Tree Streetscape is used as the basis for Arterial Streetscape 1. The Windrow Plantings are added at the rear of the ROW adjacent to land uses that may require screening such as Heavy Industrial or residential, while streetscapes in front of commercial or airport mixed uses would not require screening. **Figure 3.4-8, Arterial Streetscape 1**, shows the concept for either situation. Although palms may be used, other columnar tree types may also be used to better address pedestrian needs
- Arterial Streetscape 1 should include more formal elements near the entry focal points including a citrus understory to further emphasize the project entry.

**Figure 3.4-8, Arterial Streetscape 1**



**Arterial Streetscape 2 – Polk Street**

The Informal Canopy Streetscape is used as the basis for Arterial Streetscape 2. The Windrow Plantings are added at the rear of the ROW adjacent to land uses that may require screening such as Heavy Industrial, while streetscapes adjacent to the drainage canal also varies from a typical condition. **Figure 3.4-9, Arterial Streetscape 2 - Polk Street Streetscape 2A**, shows the typical situation. Polk Street, north of Avenue 62, would include Windrow Plantings, if screening is needed.

**Figure 3.4-9, Arterial Streetscape 2, Polk Street Streetscape 2A**

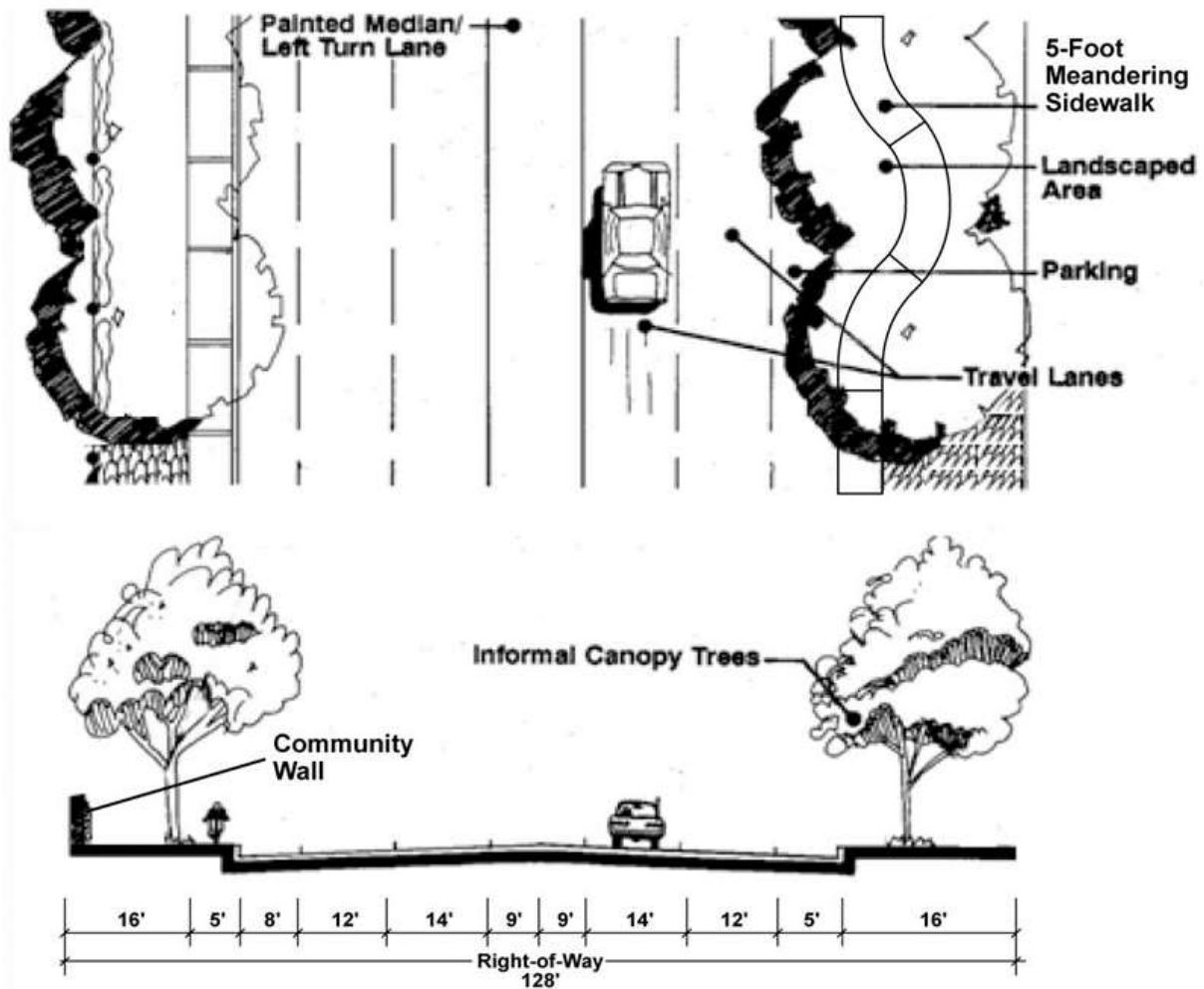
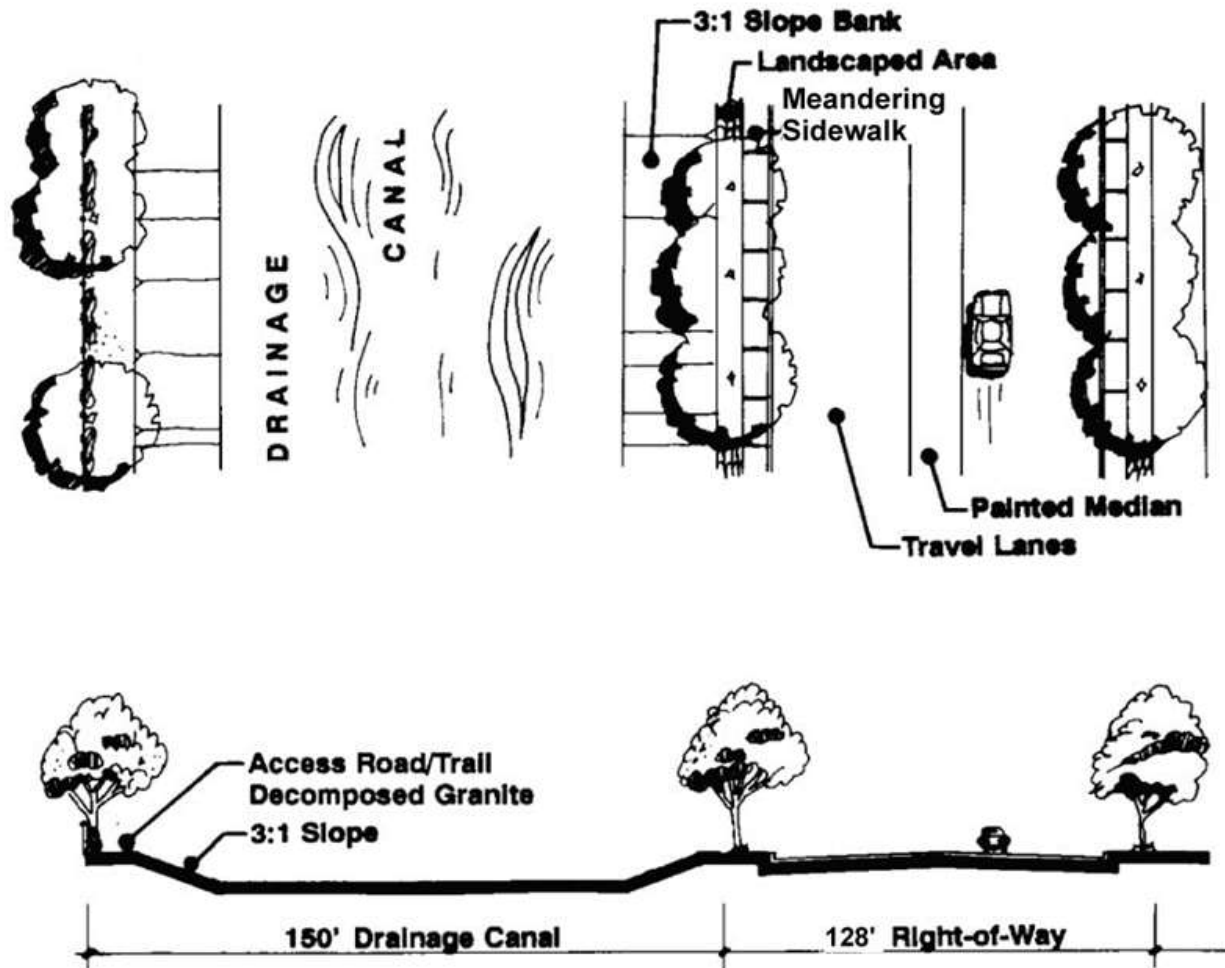


Figure 3.4-10, Arterial Streetscape 2, Polk Streetscape 2B depicts the project edge where the drainage facilities about Polk Street.

Figure 3.4-10, Arterial Streetscape 2, Polk Street Streetscape 2B



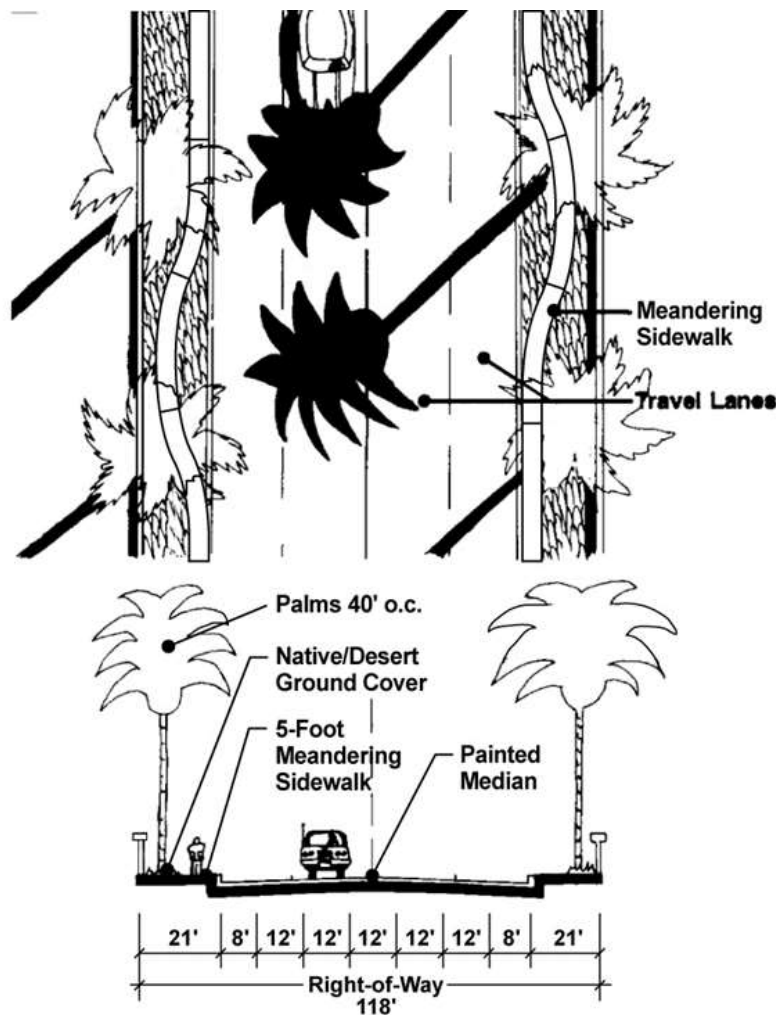
**Major Highway Streetscape (118' ROW)**

This streetscape is intended for Avenue 64 and "E" Street. Two different streetscapes are intended for these two majors since Avenue 64 is bordered by the utility corridor and evacuation channel while "E" Street meanders through residential areas.

**Major Streetscape 1 – Avenue 64**

The Palm Tree Streetscape is used as the basis for **Figure 3.4-11, Major Streetscape 1**. This streetscape is intended for Avenue 64 as it traverses the project site. Palm trees provide a vertical element that denote the important roads through the site, and should be spaced at 40 feet on center with a native/desert ground cover. Avenue 64 is flanked by the utility corridor and the evacuation canal so screening of these areas is appropriate by adding Windrow Planting at the back of the ROW to provide a pleasant driving experience through the project area.

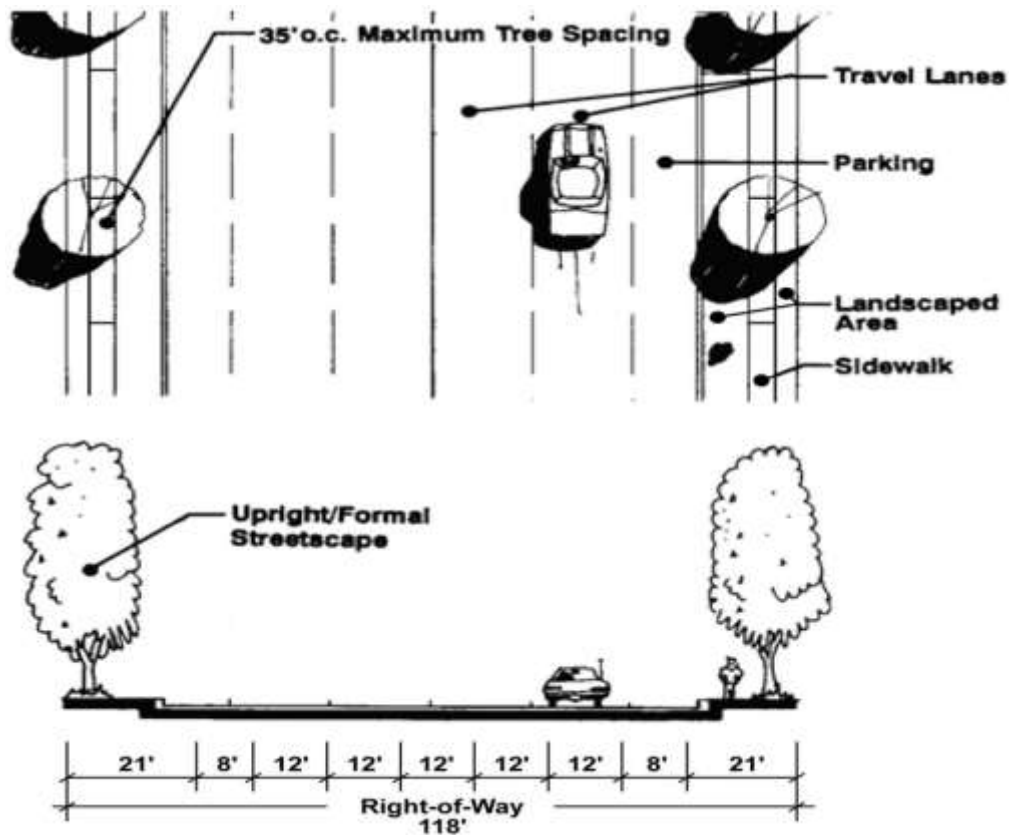
**Figure 3.4-11, Major Streetscape 1**



**Major Streetscape 2 – “E” Street**

**Figure 3.4-12, Major Streetscape 2**, illustrates the Formal Canopy Streetscape, using upright trees, with a maximum spacing of 35 feet on center to shade the sidewalk area. This streetscape should be used for “E” Street.

**Figure 3.4-12, Major Streetscape 2**





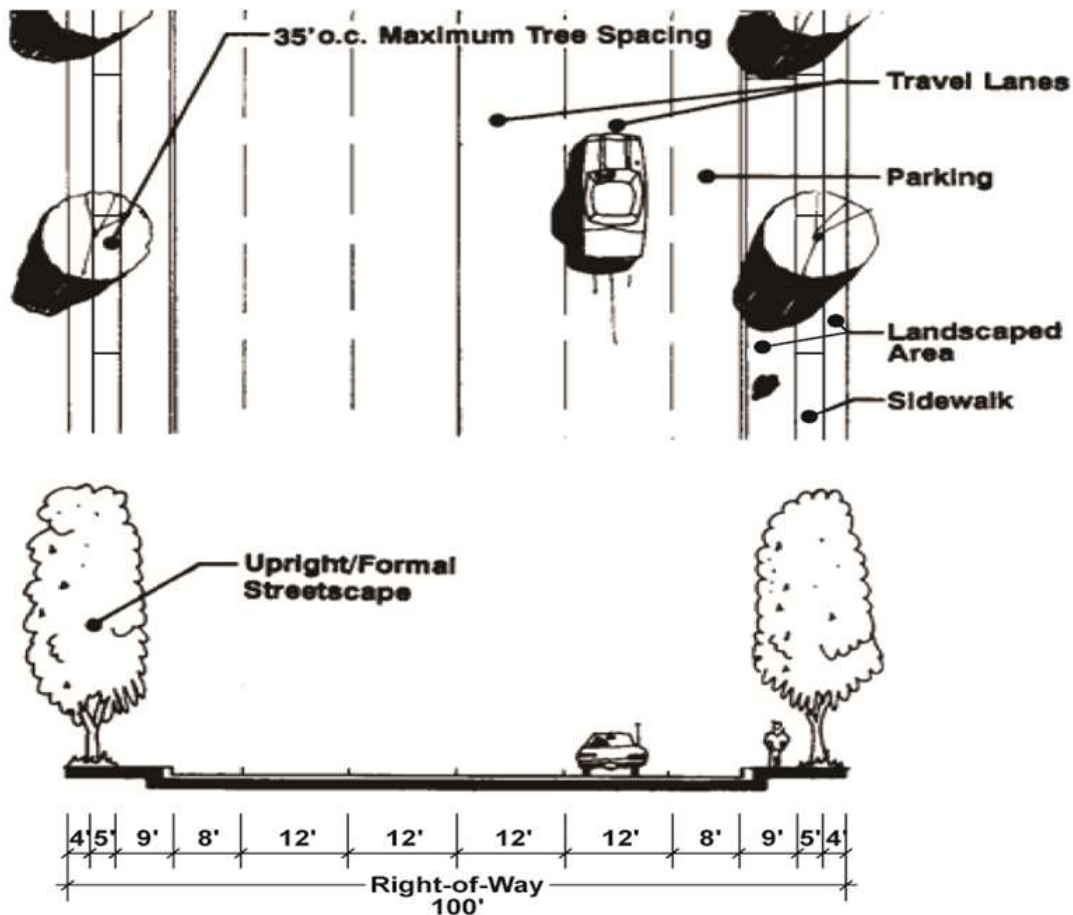
**Secondary Streetscape (100' ROW)**

This roadway treatment is intended be the next progression from an automobile dominated streetscape to a more bicycle and pedestrian-oriented streetscape. Design speeds along this roadway will be slower, views from passing motorists will be longer, and occasional bicyclists and pedestrians will be present, therefore plant material color and texture will be of importance along this roadway. Just as along the expressway and arterial streetscape, the plant material will open and close to provide or control the view along the roadway. Three streetscapes are proposed for the Secondary Highways in the Kohl Ranch Specific Plan area.

**Secondary Streetscape 1**

**Figure 3.4-13, Secondary Streetscape 1**, illustrates the Formal Canopy Streetscape, using upright trees, with a maximum spacing of 35 feet on center to shade the sidewalk area. This streetscape should be used for "C" Street and Tyler Street, north of Avenue 64.

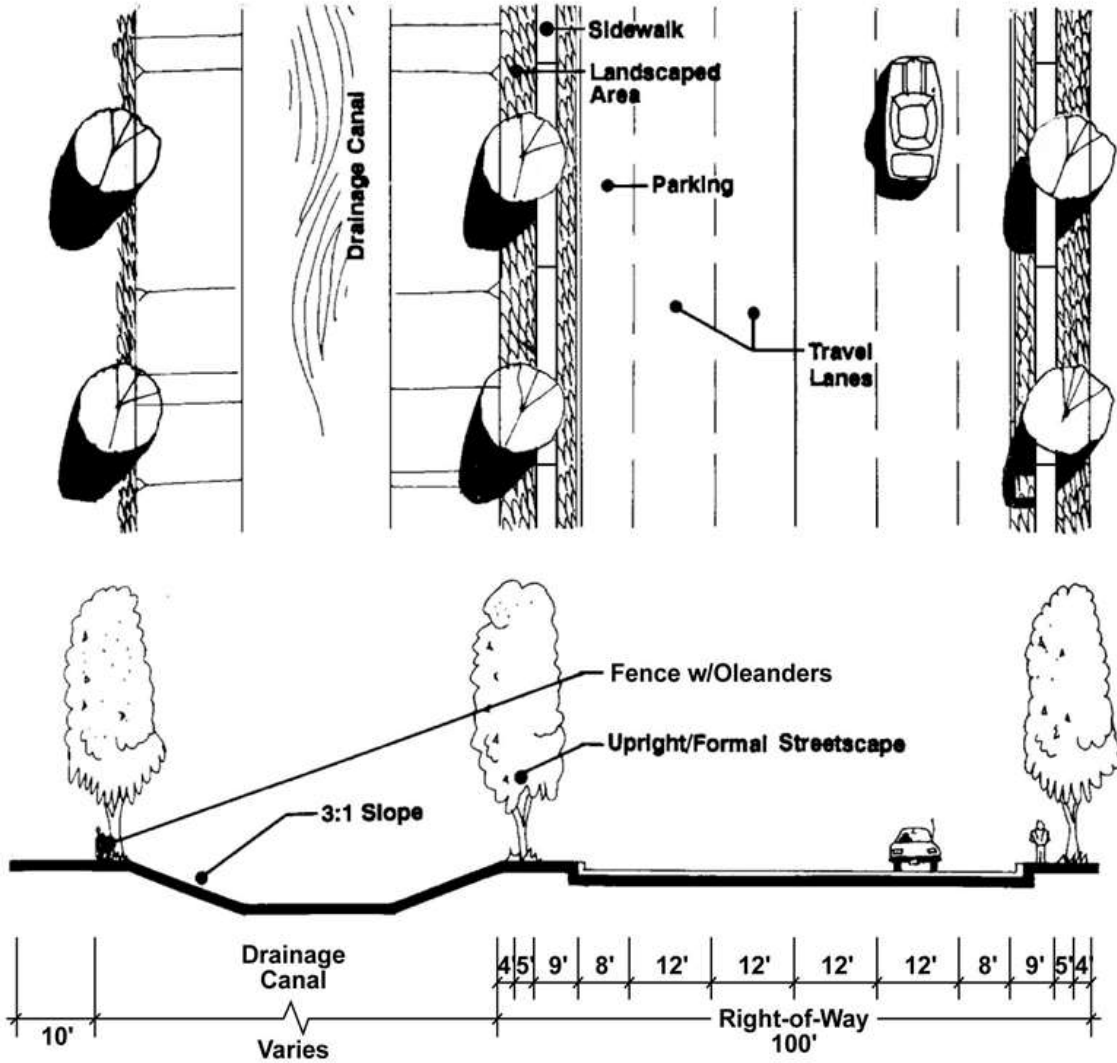
**Figure 3.4-13, Typical Secondary Streetscape 1**



**Secondary Streetscape 2**

**Figure 3.4-14, Secondary Streetscape 2** illustrates the Formal Canopy Streetscape alongside the drainage channel, which could occur along Tyler Street, north of Avenue 64. Upright trees are used at the edge between the roadway and the 3:1 side slope of the drainage facilities.

**Figure 3.4-14, Secondary Streetscape 2**

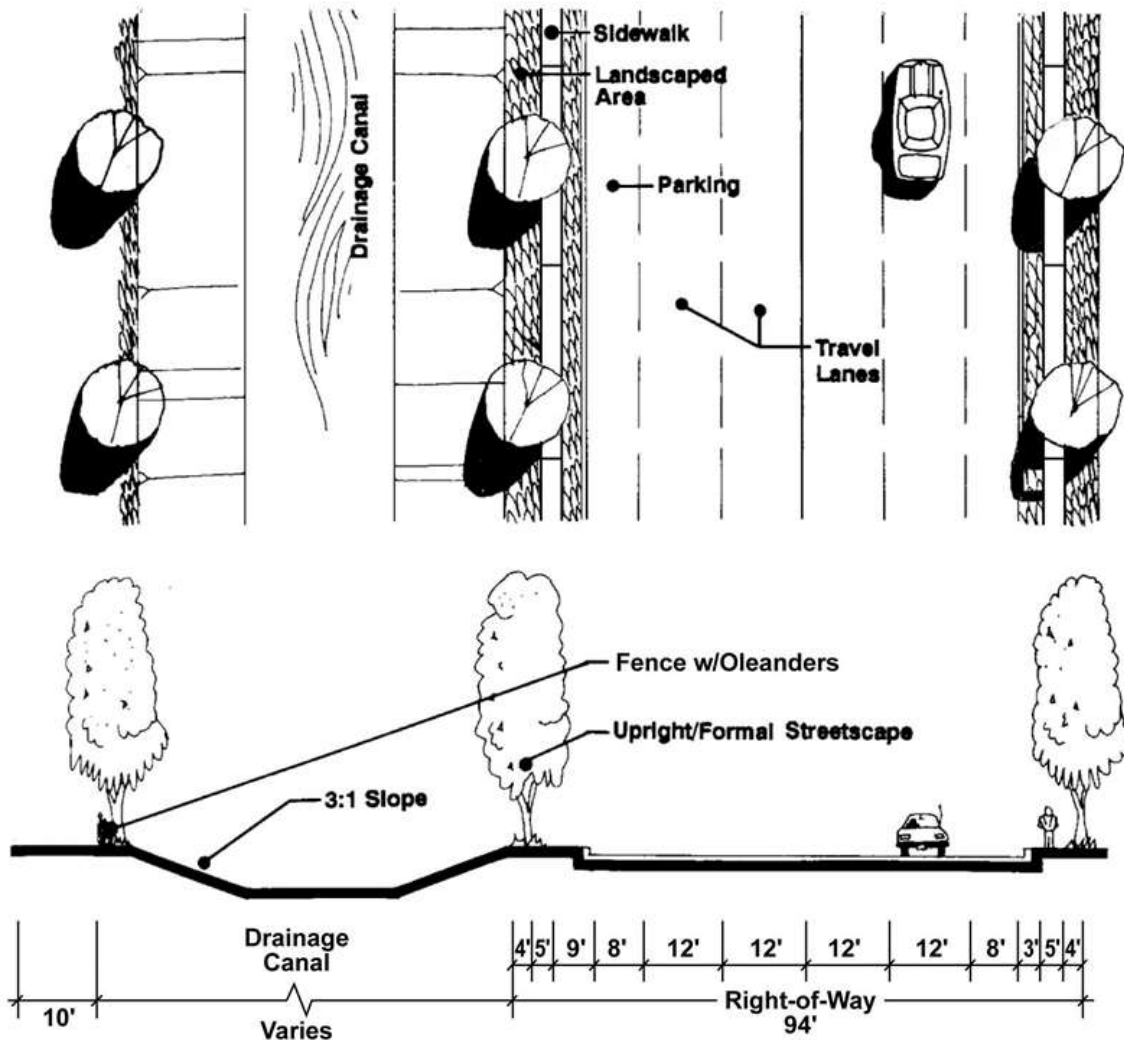


**Note: Typical channel section - widths may vary.**

**Modified Secondary Streetscape**

Tyler Street is also a secondary highway with a modified cross section south of Avenue 64. **Figure 3.4-15, Modified Secondary Streetscape 2** illustrates the Formal Canopy Streetscape alongside the drainage channel, which could occur along Tyler Street. Upright trees are used at the edge between the roadway and the 3:1 side slope of the drainage facilities.

**Figure 3.4-15, Modified Secondary Streetscape 2**

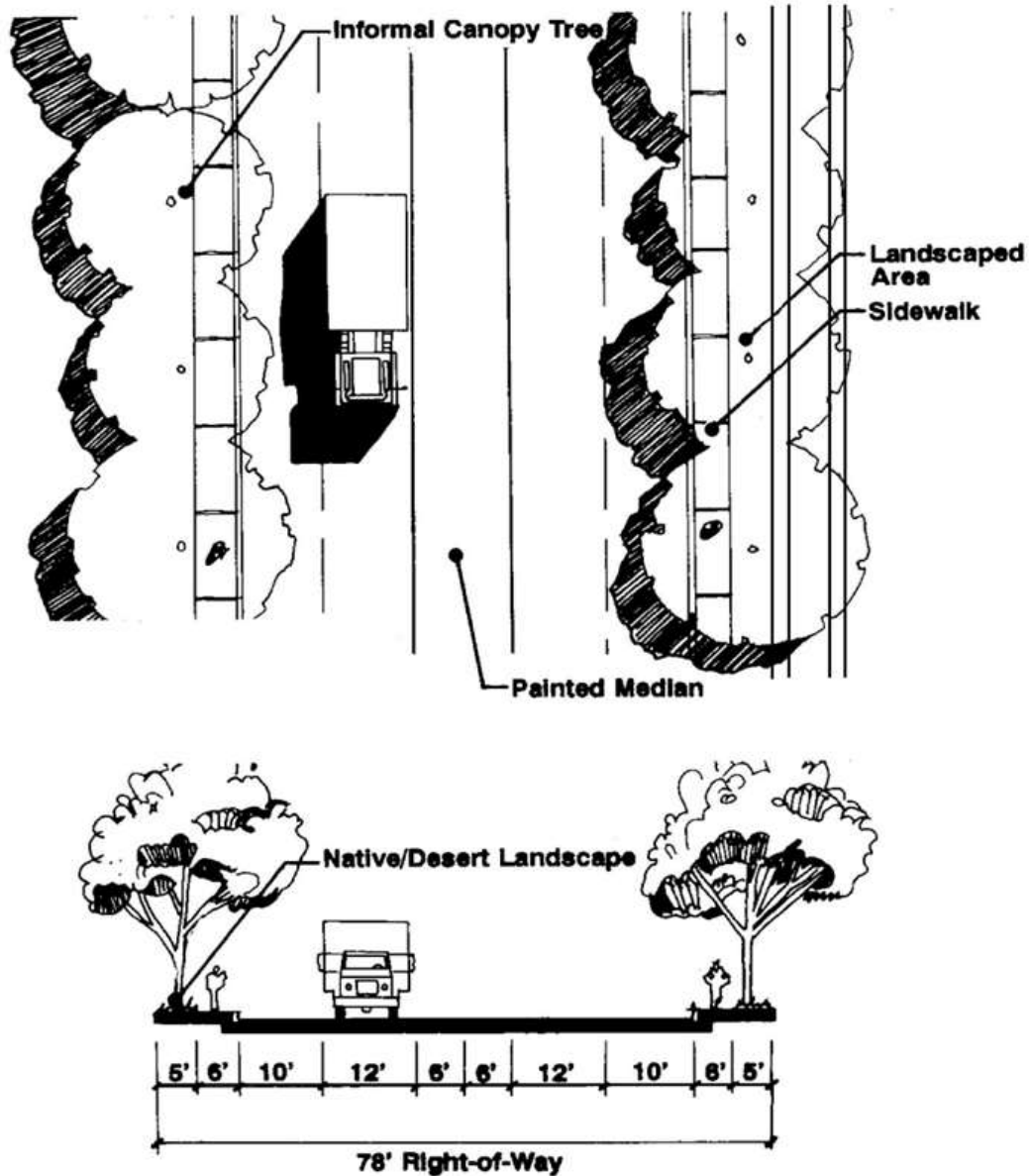


**Note: Typical channel section - widths may vary.**

**Industrial Collector Streetscape (78' ROW)**

The streetscape proposed for the Industrial Collector roadway classification is shown on **Figure 3.4-16, Industrial Collector Streetscape**, which illustrates Avenue 60 adjacent to heavy industrial and airport mixed use areas. Informal canopy trees should be used to frame the roadway, augmented by native/desert ground cover. A painted median is proposed.

**Figure 3.4-16, Industrial Collector Streetscape**



**Collector Streetscape (74' ROW)**

Collector roadways provide access to residential areas beyond the arterial roadways. Pedestrian and bicycle uses will be of a major concern in the development of the landscape plan for these intimate streetscapes. Front yard landscapes may be increased along this low speed roadway to create a more detailed streetscape of interesting forms, colors, textures, odors and sounds. Residential units front this roadway and access to driveways and compatibility of right-of-way landscapes to residential front yard landscapes must be carefully integrated. Two streetscapes are proposed for the Collector Streets within the Kohl Ranch Specific Plan area.

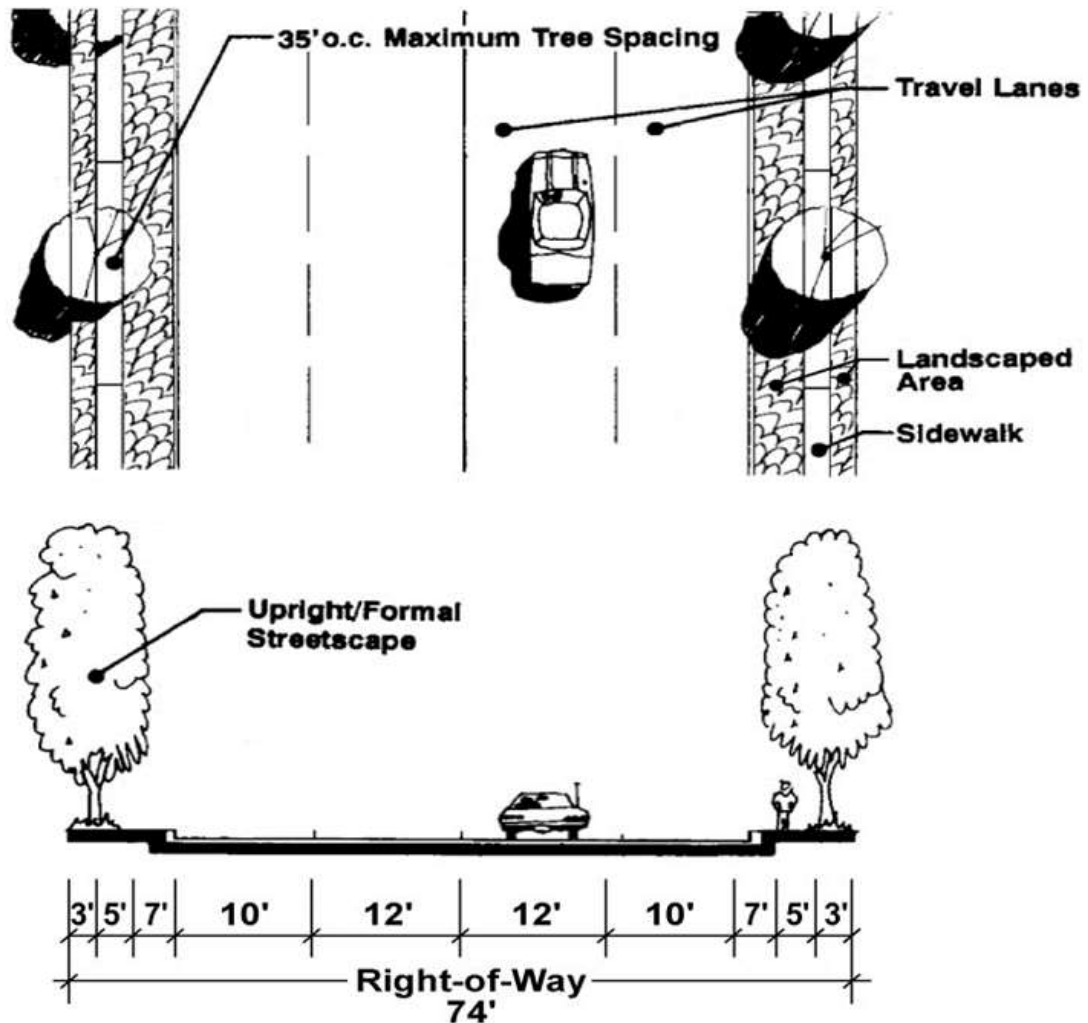


***Residential Collector***

**Collector Streetscape 1**

**Figure 3.4-17, Collector Streetscape 1** illustrates the landscaping for "B" Street and Tyler Street north of Avenue 66, adjacent to Planning Area M-4. The Formal Canopy Streetscape is incorporated in Collector Streetscape 1, using upright trees, with a maximum spacing of 35 feet on center to shade the sidewalk area.

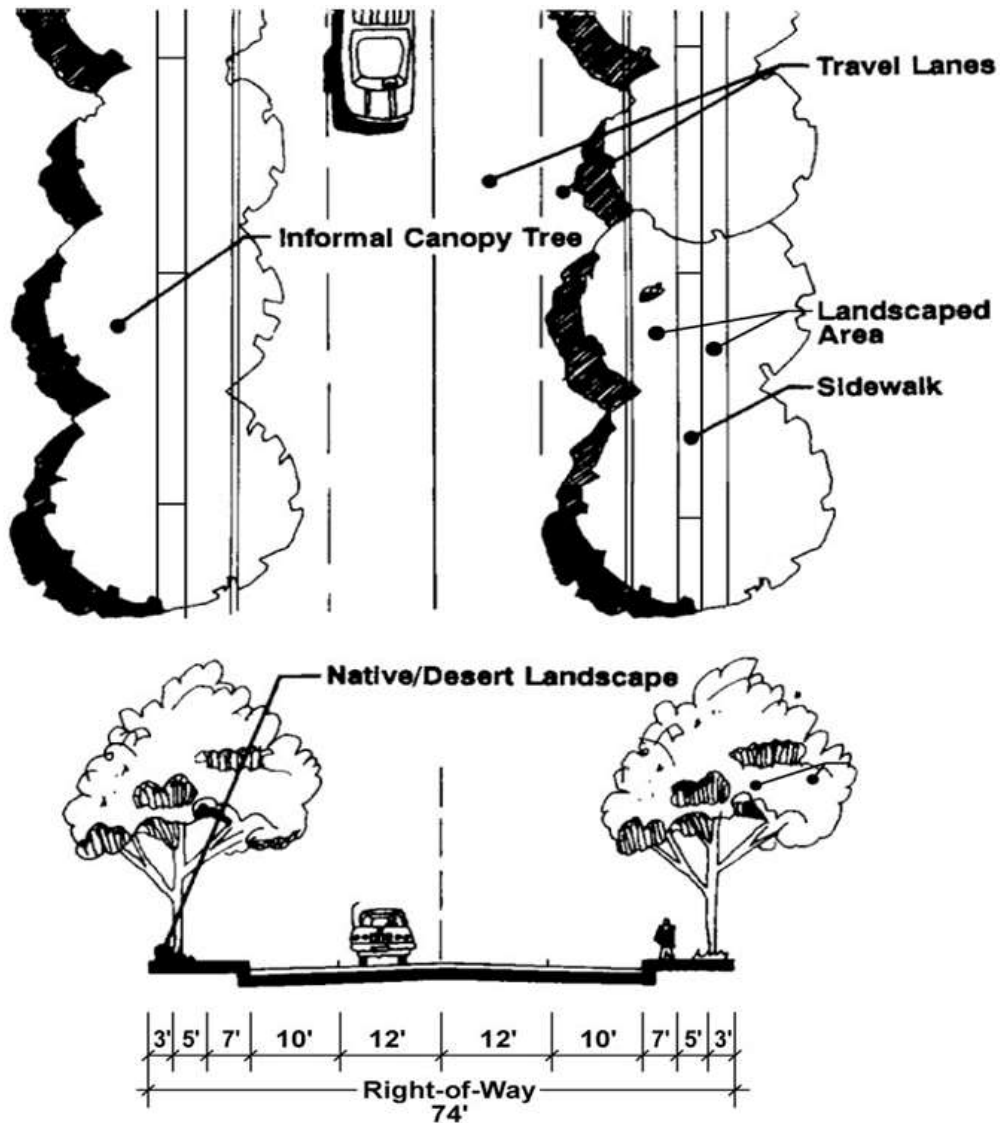
**Figure 3.4-17, Collector Streetscape 1**



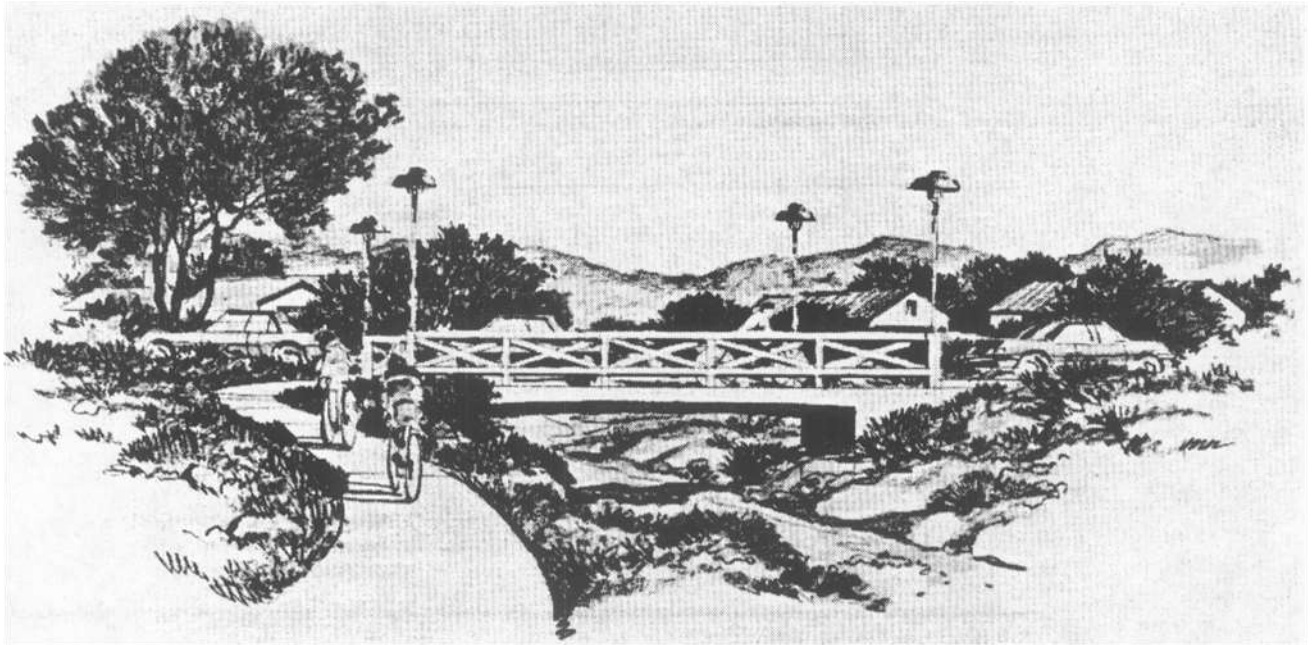
**Collector Streetscape 2**

The second collector streetscape is utilized on the more interior loop roads within the residential neighborhoods. It should be developed with the Informal Canopy Streetscape shown in **Figure 3.14-18, Collector Streetscape 2**.

**Figure 3.14-18, Collector Streetscape 2**



### 3.4.6 Paths and Trails



#### **Paths and Trails**

##### **Project Trails**

The Kohl Ranch shall have improved trails which will access the extensive open space and recreation areas of the site, and connect with the county trail system. The trails should be incorporated into the project drainage network, and should connect residential areas with schools, commercial areas, public facilities and parks. Improved trails dimensions and surface material should be governed by the County of Riverside standards for construction. Special landscape statements should be created for locations where trail segments intersect, and especially where they cross roadways. Boulders can be used to call attention to trail crossings and intersections, and can function as seats. A large shade tree also should be provided.

##### **Bicycle Paths**

Bicycle trails may be incorporated as a portion of the project roadways. Mountain bicycles should not be allowed off-road except on improved trails.

##### **Tyler Street Trail**

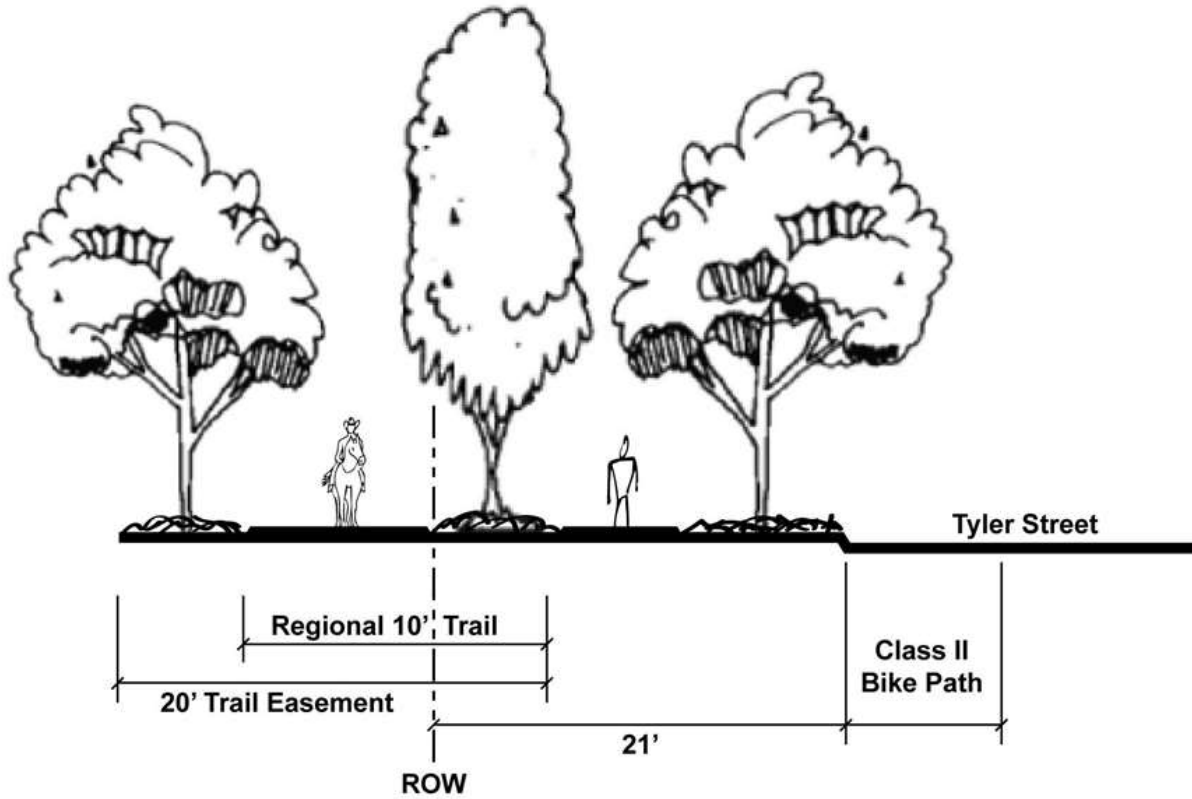
Tyler Street will contain both a Class II Bike Path and Regional Trail connection between Avenue 60 and Avenue 62 on the east side of Tyler Street. Regional trails are the main primary long distance trails within the County and are typically designed to provide linkages between communities, regional parks, and open space areas. Regional trails are designed to serve users needing soft trail surfaces, including equestrians, pedestrians, joggers, and mountain bikers and should consist of decomposed granite.

Class II Bike Paths provide a striped lane for one-way bike travel on a street or highway.



The Class II Bike Path along Tyler Street shall be a striped lane located within the right-of-way on pavement as illustrated in **Figure 3.4-19, Tyler Street Trail** or as agreed to by the Riverside County Regional Parks and Recreation District.

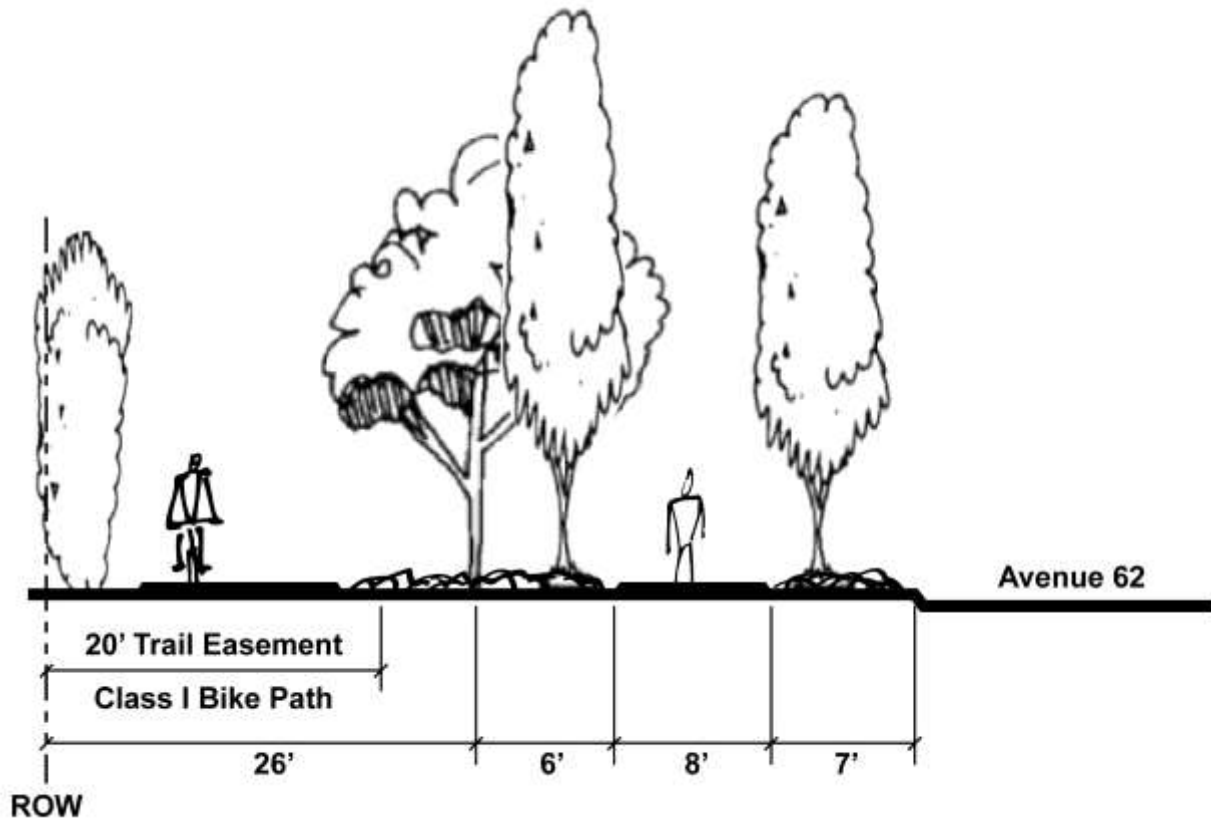
**Figure 3.4-19, Tyler Street Trail**



**Avenue 62 Trail**

Avenue 62 will provide for a Class I Bike Path on the north side of Avenue 62. Generally speaking, Class I Bike Paths are located in an easement outside the right-of-way. In the case of Avenue 62, however, the Class I Bike Path shall be located within the right-of-way as illustrated in **Figure 3.4-20, Avenue 62 Trail**.

**Figure 3.4-20, Avenue 62 Trail**



### 3.4.7 Edges

Landscape edges are the landscape treatment areas that create an envelope around roadways and development parcels, softening and buffering their harsh effects upon the landscape. These landscapes are very important in developing the community theme spilling over into residential and roadway landscape treatments. Resources of water and plant materials should be minimized in these areas with the intent of forming landscapes which require minimal maintenance. These areas additionally may be used as a continuation of adjacent passive recreation or open space areas.

Formal landscape treatment areas are intended to establish an organized, structured and even at times homogeneous landscape that is characteristic of more ordered forms. These treatment areas should appear lush and should contrast rather than blend with the natural desert landscape. The plant material should be used as a tool for space articulation, emphasizing topography and creating overt spatial relation statements. A grove should be visualized as the ultimate intent of treatment when designing these rural themed landscapes. Further, areas that are in direct contact with development areas may include plant materials which will foster a sense of security and privacy while maintaining views. Plant materials along these contact points may be slightly taller to screen and buffer the effects of rooflines and building facades.

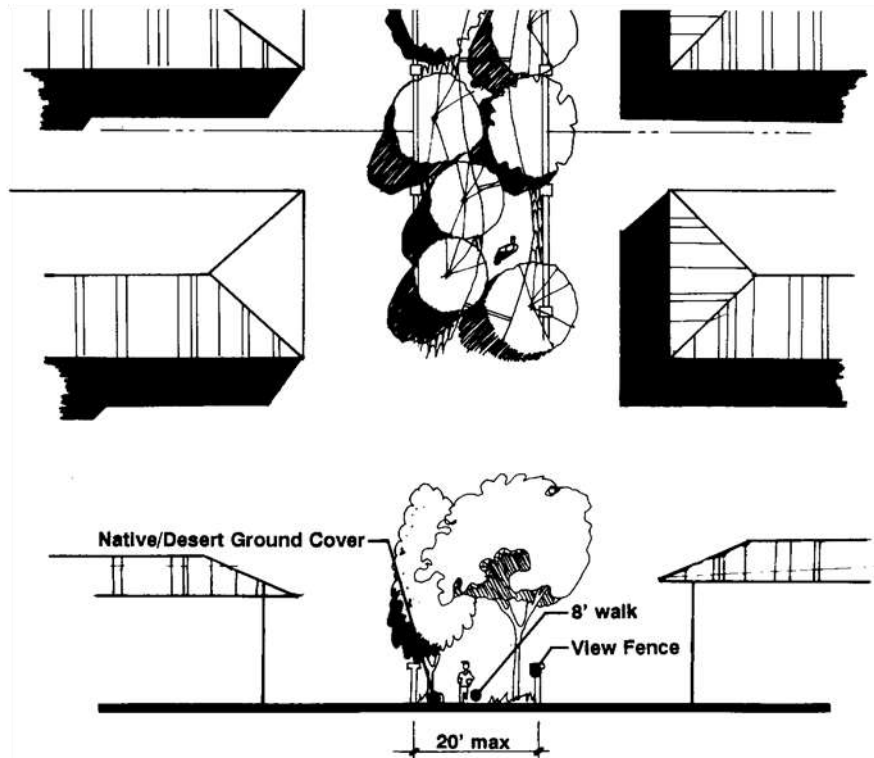
Natural landscapes composed of xeric (drought resistant) plant species are intended to blend with the existing landscape in color, form and texture. These landscapes occur along the project edges and drainage corridors, and will require a minimum of water resources. Only sporadic irrigation should be used to establish growth and little or no irrigation should be required after maturity. They should be organically arranged, reflecting the growth patterns of existing vegetation. Their primary intent is to screen and buffer residential developments.

- Landscape plantings are used as screens to block views, create microclimates, or as architectural space articulation elements. Plant materials should be thick and full, defining an edge of space or thick elongated masses. These screens may occur along the edges of development or within development parcels.
- Small structures can be easily screened with shrubbery, larger two-story structures can be buffered through the use of vertical trees. All plants should be chosen from the plant matrix. Care should be taken when selecting plants to consider their size, so that desirable views are not blocked.
- In certain cases, proper screening may be more easily achieved by building a wall or fence. Material selection must be compatible with the adjacent architecture. It is encouraged to soften walls and fences with vines and shrubs. Combinations of tree masses will be effective in screening non-desirable views from one area to another. Shrub masses can also help when placed correctly.

**Windrow/Trail**

Windrows are used to define land use areas, provide a wind break, visually screen road and/or uses from one another, and to structure and enclose pedestrian trails throughout the residential neighborhoods. The Windrow/Trail Detail in **Figure 3.4-21, Windrow/Trail Detail** illustrates this landscape edge.

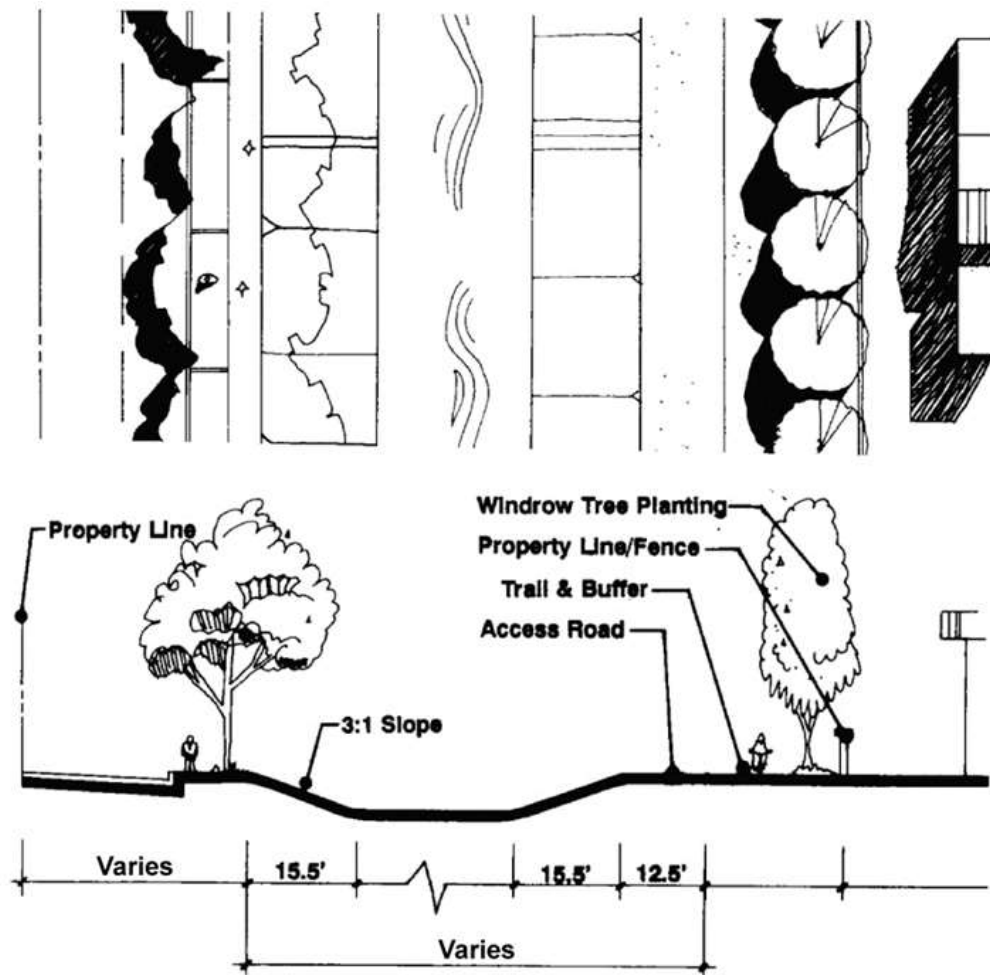
**Figure 3.4-21, Windrow/Trail Detail**



**Drainage/Project Edge**

Where drainage facilities are proposed along the Kohl Ranch property boundary, adjacent to residential uses, a special edge treatment is needed. **Figure 3.4-22, Project Edge** illustrates this condition, and the use of windrow plantings to buffer the residences.

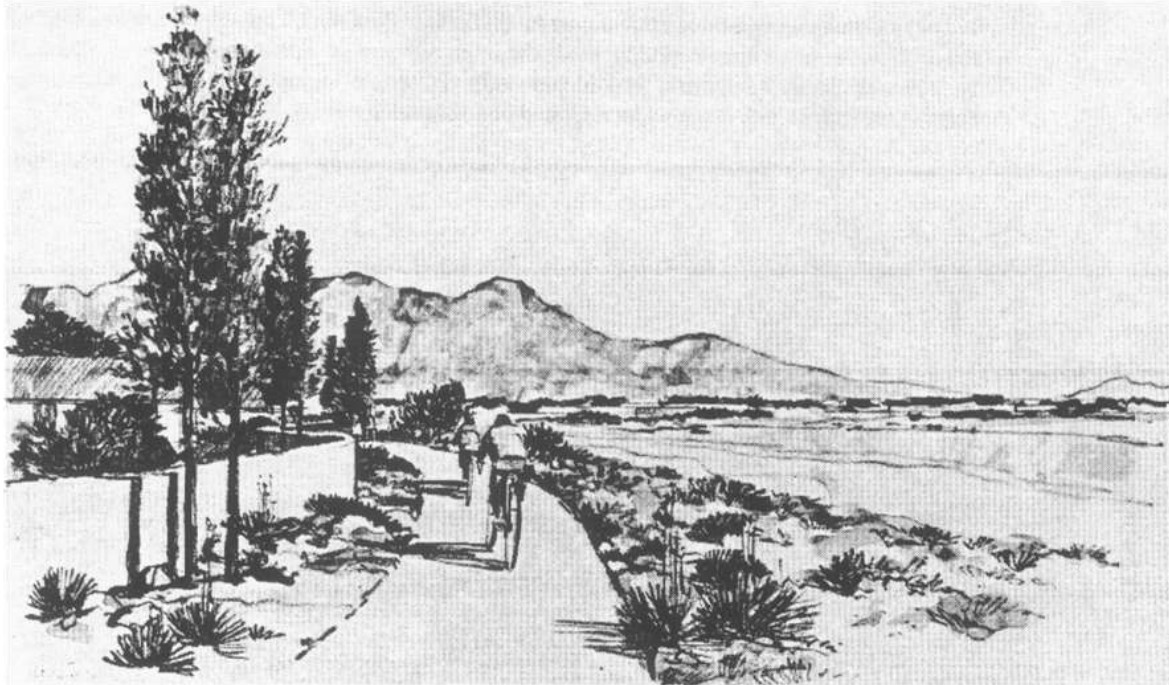
**Figure 3.4-22, Project Edge**



**Note: Typical channel section - widths may vary.**

**Drainage Canal Edge Conditions**

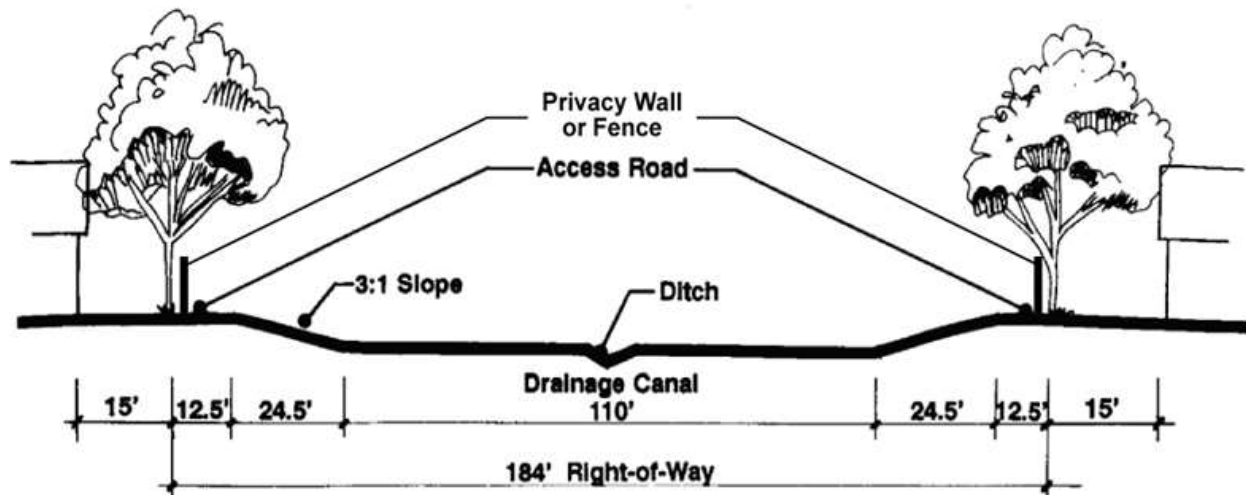
In a number of instances, through the Kohl Ranch site, drainage facilities are integrated into residential neighborhoods, commercial areas, mixed use and the Mixed Use/Air Park center.



**Drainage Channel and Trail**

The edge condition created by these relationships is shown in **Figure 3.4-23, Drainage Canal Edge Condition**.

**Figure 3.4-23, Drainage Canal Edge Condition**



**Major Recreation Use – Golf Course or Race Track**

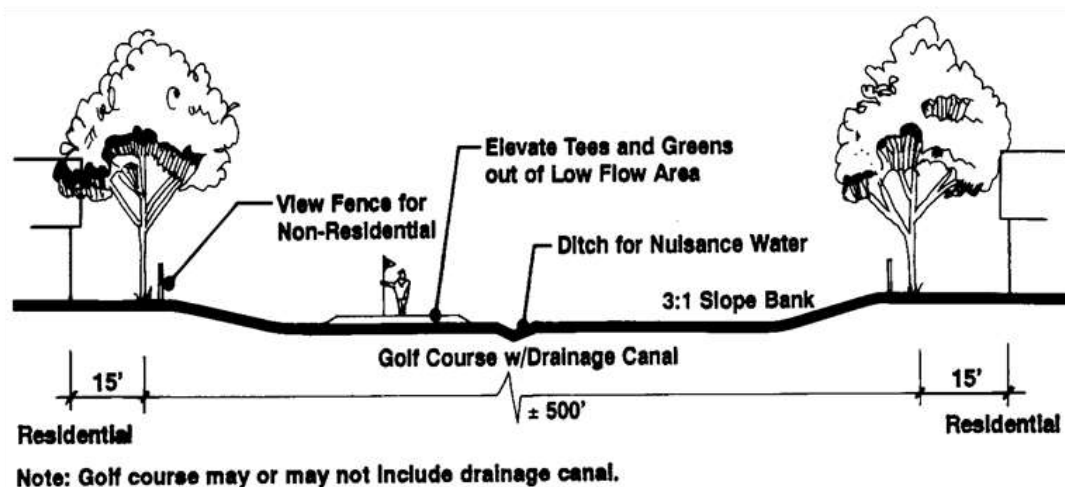
If a golf course alternative is developed, the approximately 500-foot section (widths may vary) should include an area of elevated trees and greens out of the low flow area, and a ditch for nuisance water. A view fence should be placed along the interface with non-residential uses.



**Golf Course Edge**

If a race track is developed, edges adjacent to roads and non-race track uses need to be buffered for both aesthetic purposes and to reduce noise from the race cars as depicted in **Figure 3.4-24, Golf Course/Racetrack Edge Condition**.

**Figure 3.4-24, Golf Course/Racetrack Edge Condition**



### 3.4.8 Buffers

Landscape treatments are used to buffer adjacent land uses within the Kohl Ranch Specific Plan area. These landscape treatments should be a thoughtful blending of edges of plant materials from one treatment type to another. The transitions may be abrupt or a slow fading effect, depending on the desired effect.

- In order to provide privacy from one unit to another, it is encouraged that vertical tree masses be planted along side yards slopes where practical.
- Human use of natural open space areas will be accommodated by a limited number of trails and parks. These areas shall consist of native and xeric plant materials which shall be retained in their natural condition with no water, other than natural rainfall.
- Maintenance will consist of only occasional trail maintenance. This landscape will serve as a visual amenity for the community, and will also buffer adjacent uses outside the Specific Plan area.

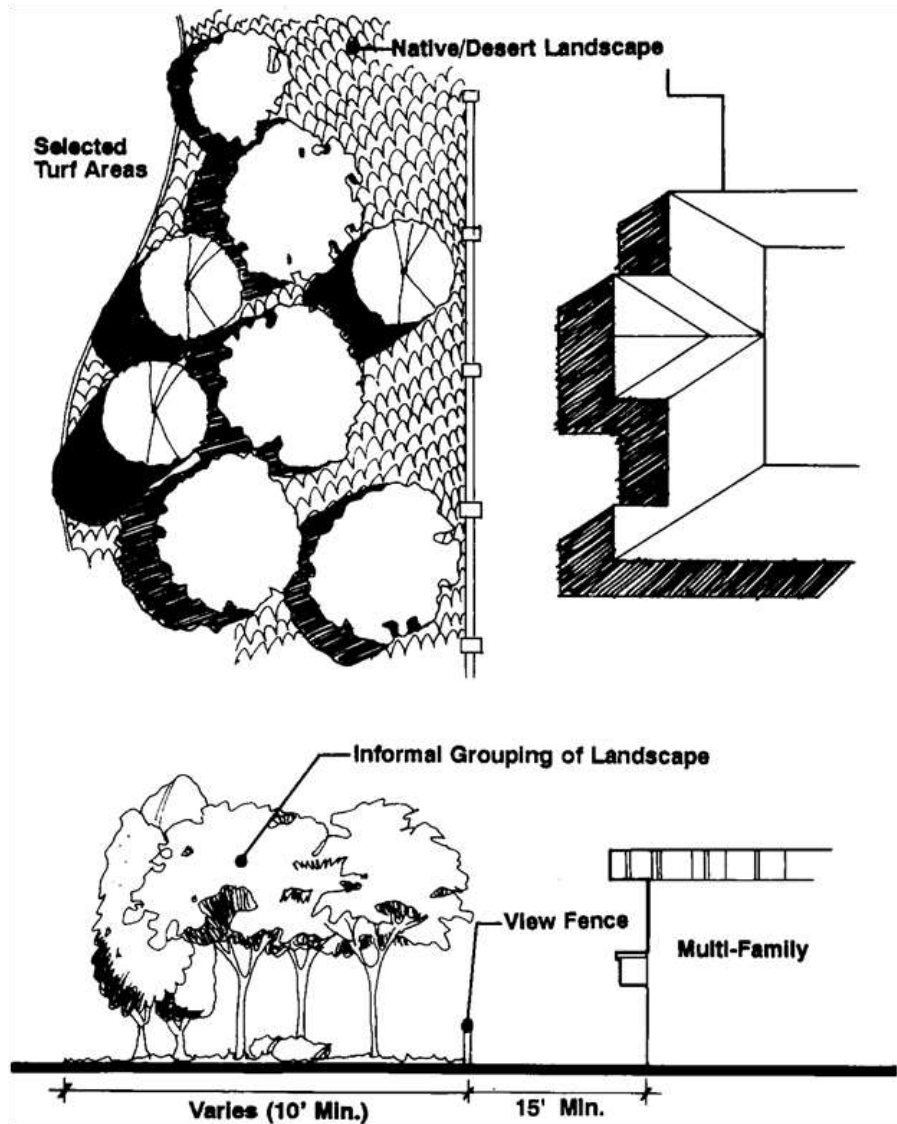
If the race track is developed, buffers may include fences or walls, landscaping used to screen views, berms, buildings, a combination of the preceding, or other means as may be acceptable to the County and/or needed to reduce noise. Concepts for buffer edge conditions shall be submitted with plot plan/site plan for the race track use.



**Park**

Special landscape treatments are recommended where residential dwellings abut the high-use local parks. An informal landscape grouping at the park edge, with native/desert groundcover should be planted along the view fence, to ensure privacy and to aid in noise attenuation. A 15-foot minimum rear yard setback is recommended between the residential building and the view fence as depicted in **Figure 3.4-25, Park Buffers**.

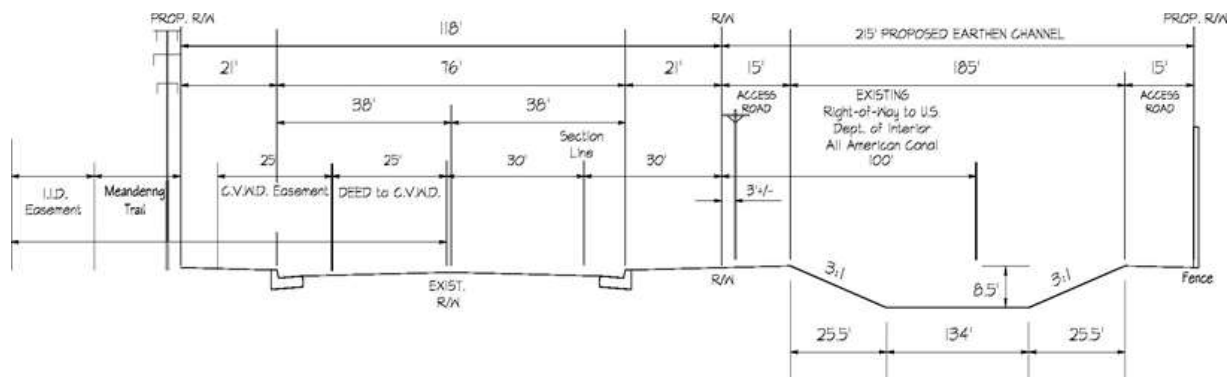
**Figure 3.4-25, Park Buffers**



**Evacuation Channel and Utility Easement Beltway**

The Avenue 64 Evacuation Channel runs across the Kohl Ranch site in an east-west direction, between Tyler and Polk Streets. At its proposed final elevation, the channel should be lower than the adjacent land on either side of the channel, screening the concrete bottom from view as reflected in **Figure 3.4-26, Evacuation Channel Buffer and Utility Easement Beltway**. The Evacuation Channel is within the utility easement beltway which also runs east-west through the site. This beltway contains easements for CVWD irrigation pipelines, the channel, and a power line easement for an existing 161 kV power line. This area will remain in open space and will incorporate a segment of the project-wide trail system. Residential land uses should be clustered to the north of the beltway, to preserve this area as a common open space amenity.

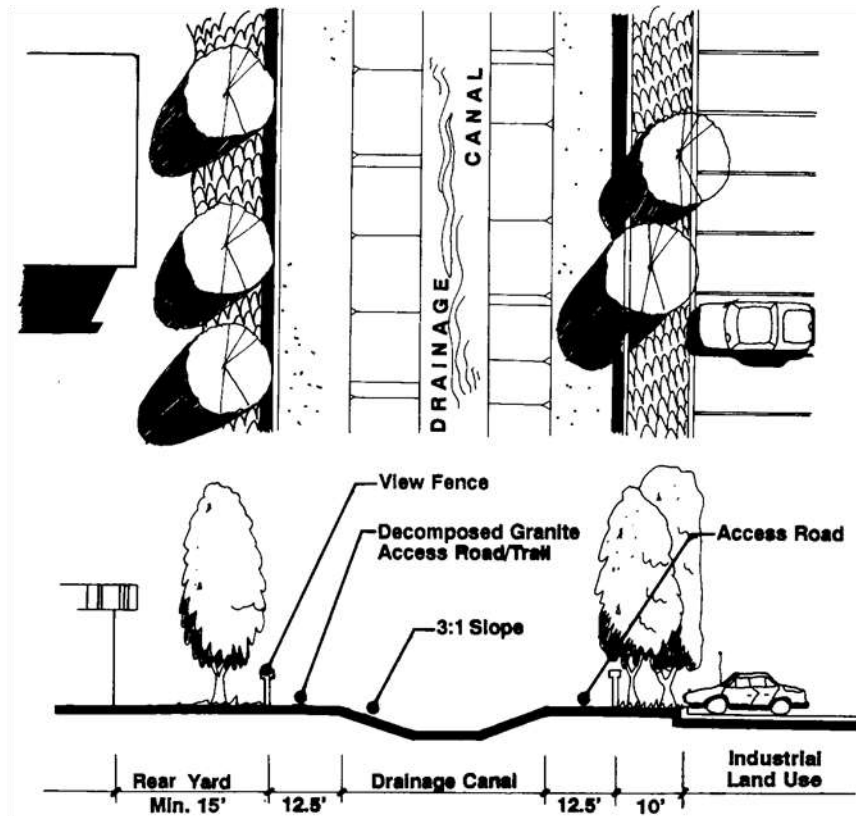
**Figure 3.4-26, Evacuation Channel Buffer and Utility Easement Beltway**



**Drainage Channel**

Drainage channels are located throughout the Kohl Ranch, to handle storm flows and to provide a linkage between park and open space amenities. The proposed buffers for these drainage facilities are indicated in **Figure 3.4-27 Channel Buffer Detail**. As indicated, informal plantings are recommended adjacent to the view fence to screen adjacent residential and non-residential land uses. Trails should be sited along the top of the 3:1 side slope and should consist of decomposed granite.

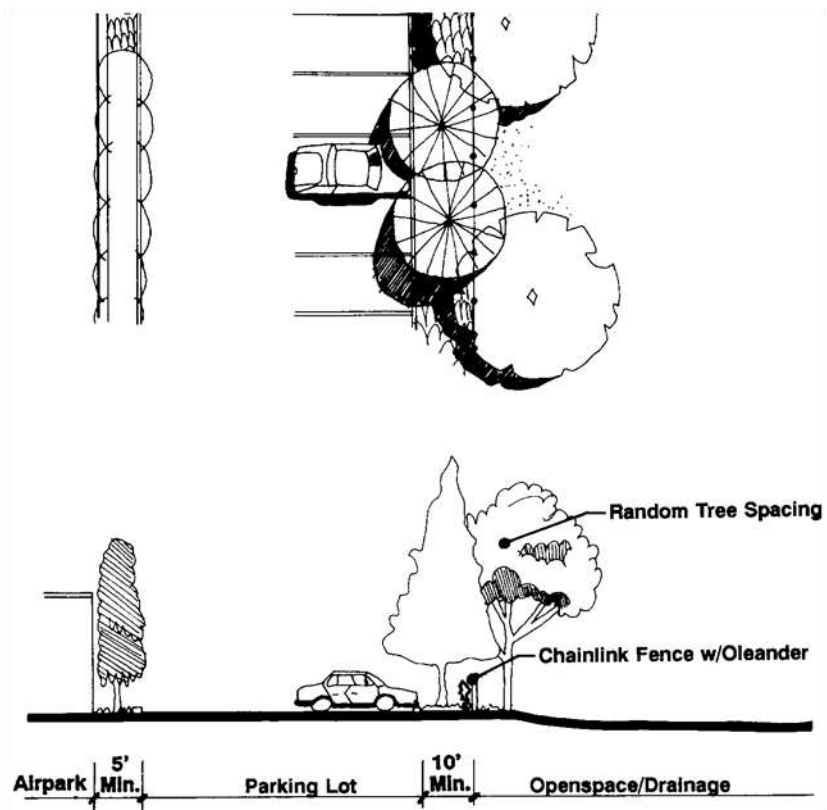
**Figure 3.4-27, Channel Buffer Detail**



**Airpark/Drainage**

The drainage channel(s) which pass through or adjacent to the airpark/mixed use development should receive special buffer treatment. A fence with oleander plantings should be provided along the rear parking lot of the airpark uses. Tree plantings with random spacing should be used to provide additional screening and to discourage unwanted use of intrusion into the drainage areas as reflected in **Figure 3.4-28, Airpark Drainage Buffer**.

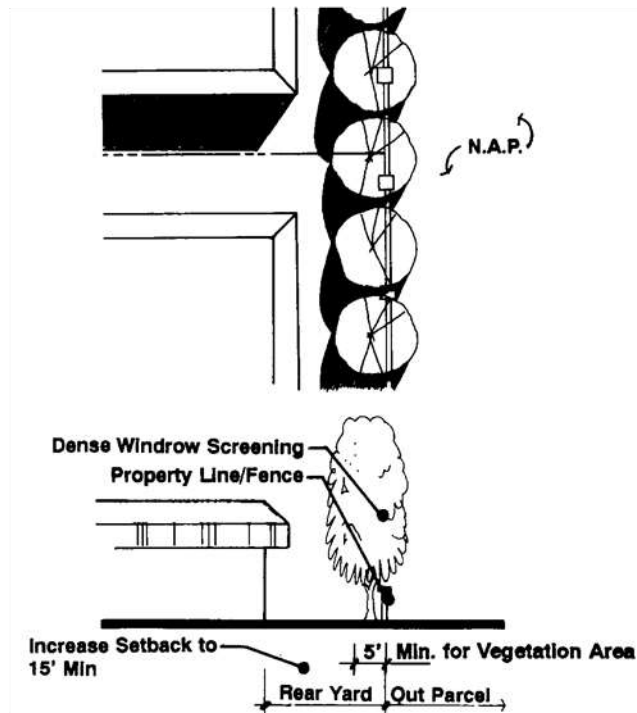
**Figure 3.4-28, Airpark Drainage Buffer**



### Out Parcel/Adjacent Properties

Where proposed land uses are located adjacent to properties that are "Not a Part" of the Kohl Ranch Specific Plan area, buffers are recommended. Dense windrow plantings along the rear yard property line, along with fencing and an increased rear yard setback of 15 feet, should serve to minimize potential conflicts as reflected in **Figure 3.4-29, Out Parcel/Adjacent Property Buffer**.

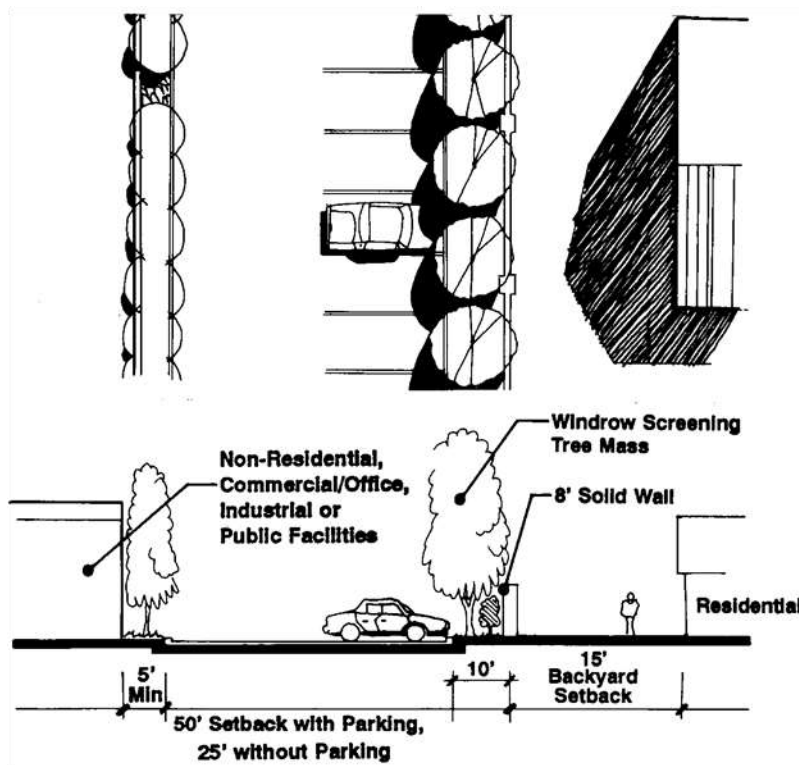
**Figure 3.4-29, Out Parcel/Adjacent Property Buffer**



**Residential/Non-Residential**

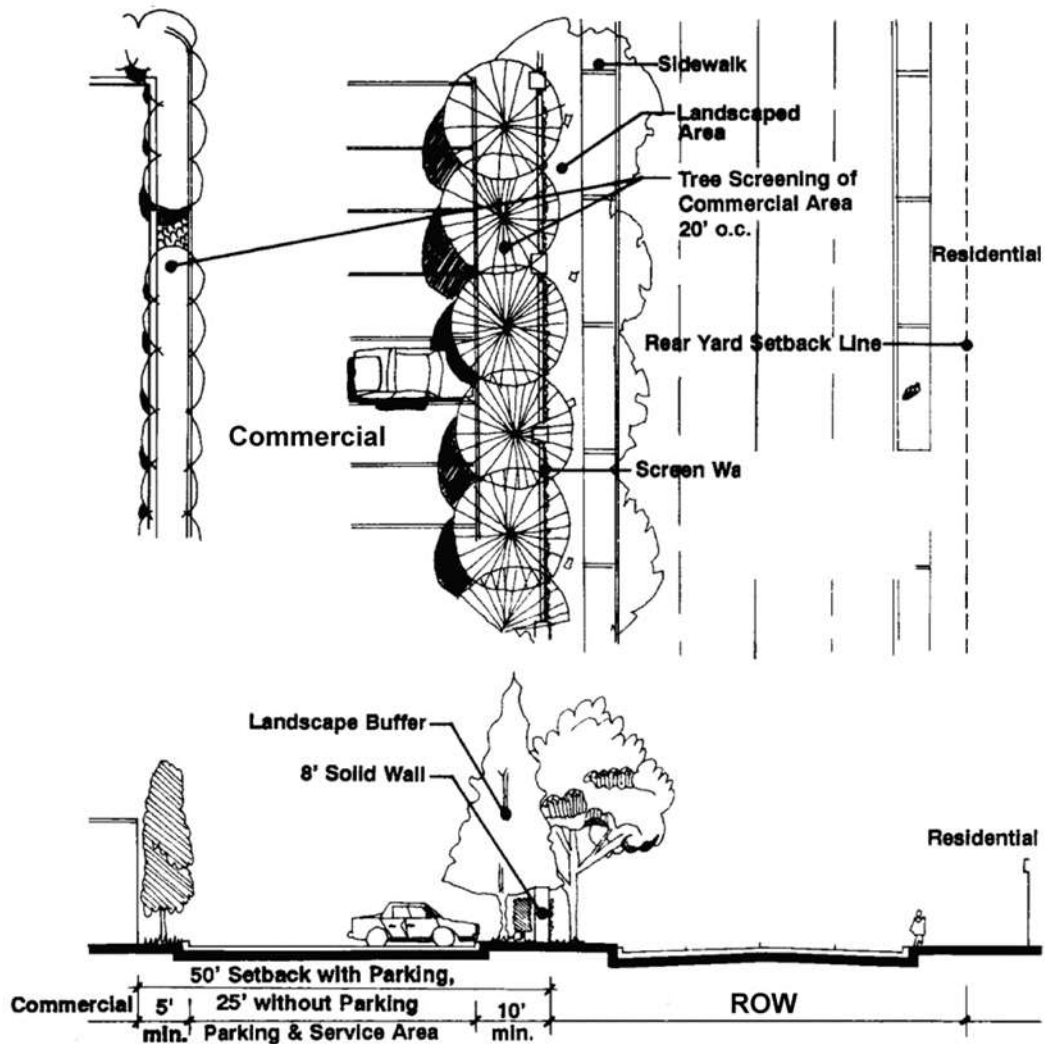
As part of the town center concept, residential uses are located near commercial areas to minimize vehicle trips and instill a sense of community. At the interface between residential and commercial land uses, buffers are needed to minimize potential adverse effects. As indicated in **Figure 3.4-30, Land Use Buffer**, a 15-foot backyard setback for the residential uses is recommended. In addition, a windrow screening tree mass should be planted along the rear property line, along an 8-foot solid wall, creating a 10-foot wide buffer area. A minimum 50-foot setback for the commercial property, inclusive of this buffer, should be maintained with parking; without parking, the buffer should be 25 feet.

**Figure 3.4-30, Land Use Buffer**



**Figure 3.4-31, Commercial Buffer Streetscape** depicts the scenario where commercial uses are located across the street from residential uses, as is the case along Tyler Street just north of Avenue 62 or on “D” Street. A landscape buffer should be planted adjacent to an 8-foot solid wall and the parking and service area for the commercial use, within the 50-foot setback. This will provide both a physical and visual separation between the commercial and residential uses.

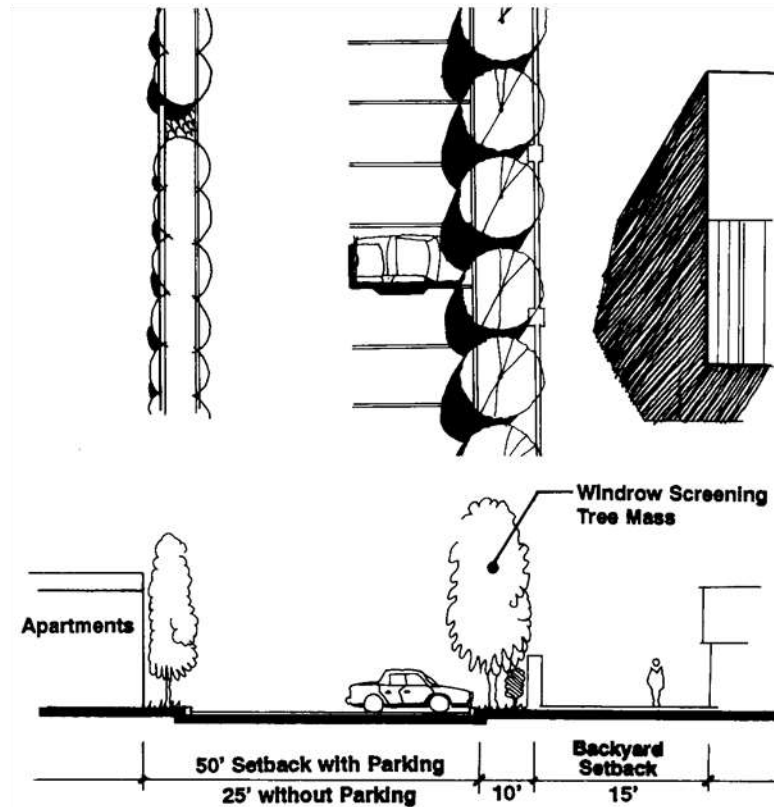
**Figure 3.4-31, Commercial Buffer Streetscape**



**Single-Family/Multi-Family Residential**

Where single-family residential dwellings are located adjacent to multi-family residential units, a product type buffer should be implemented, consisting of windrow screening along the back side of the multi-family parking area, a community wall, and an increased backyard setback for the single-family uses as reflected in **Figure 3.4-32, Product Type Buffer**.

**Figure 3.4-32, Product Type Buffer**





### 3.5 RCIP GENERAL PLAN POLICY CONSISTENCY ANALYSIS

#### 3.5.1 RCIP General Plan and Eastern Coachella Valley Area Plan Policy Consistency Analysis

**Table 3.5-A, RCIP General Plan and ECVAP Policies Consistency Analysis**, below, relates the proposed The Kohl Ranch Specific Plan No 303, Amendment 2 to relevant policies in the General Plan (“General Plan” or “RCIP”), as well as any relevant policies from the Eastern Coachella Valley Area Plan. Policies deemed not relevant to the project, based on proposed land uses, are not included in this table. Based on the brief analysis here and the overall information provided in The Kohl Ranch Specific Plan No. 303 Amendment 2, EIR 396 and Addendum (EA42375), a notation of “**C**” meaning generally consistent, or “**I**” meaning generally inconsistent, or “**N/A**” meaning not applicable, is given each policy to reflect the project’s response to the intent of the General Plan or Area Plan policy.

**Table 3.5-A, RCIP General Plan and ECVAP Policy Consistency Analysis**

Section	General Plan Policy No.	General Plan Policies	Relationship of the Project to the Policy
Aesthetics	LU 13.1	Preserve and protect outstanding scenic vistas and visual features for the enjoyment of the traveling public.	The project area is relatively flat and because of the limited development on the site, views of the nearby mountains framing the valley floor are generally unobstructed. The Santa Rosa and San Jacinto Mountains are important visual resources in the Coachella Valley. Views of these resources have been preserved in the Kohl Ranch Specific Plan Design Guidelines. <b>C</b>
Aesthetics	LU 13.2	Incorporate riding, hiking, and bicycle trails and other compatible public recreational facilities within scenic corridors.	Approximately 376 acres of open space is included in The Kohl Ranch Specific Plan. Additionally, the Project includes a trail system consisting of local and regional connections to link parks, open space and community facilities. <b>C</b>
Aesthetics	LU 13.3	Ensure that the design and appearance of new landscaping, structures, equipment, signs, or grading within Designated and Eligible State and County scenic highway corridors are compatible with the surrounding scenic setting or environment.	The Project is not located within a scenic highway or corridor. <b>N/A</b>
Aesthetics	LU 13.4	Maintain at least a 50-foot setback from the edge of the right-of-way for new development adjacent to Designated and Eligible State and County Scenic Highways.	The proposed Project is not located within a scenic highway or corridor. The closest State-eligible scenic highway is State Route 111, from Bombay Beach on the Salton Sea to State Route 195 near Mecca located approximately 4.4 miles to the southeast. <b>N/A</b>
Aesthetics	LU 13.5	Require new or relocated electric or communication distribution lines, which would be visible from Designated and Eligible State and County Scenic Highways, to be placed underground.	The Project is not located within a scenic highway or corridor. <b>N/A</b>
Aesthetics	LU 13.6	Prohibit offsite outdoor advertising displays that are visible from Designated and Eligible State and County Scenic Highways.	The Project is not located within a scenic highway or corridor. <b>N/A</b>
Aesthetics	LU 13.7	Require that the size, height, and type of on-premise signs visible from Designated and Eligible State and County Scenic Highways be the minimum necessary for identification. The design, materials, color, and location of the signs shall blend with the environment, utilizing natural materials where possible.	The Project is not located within a scenic highway or corridor. <b>N/A</b>
Aesthetics	LU 13.8	Avoid the blocking of public views by solid walls.	The Design Guidelines of the proposed project requires the use of view fencing along open space, golf courses, parks and schools to avoid blocking of public views. <b>C</b>
Aesthetics	ECVAP 4.1	Require the inclusion of outdoor lighting features that would minimize the effects on the nighttime sky and wildlife habitat areas.	The Design Guidelines of the proposed project require lighting to be designed to minimize sky glow and the nighttime desert sky. The aesthetics section of this EIR evaluated potential impacts and determined that all potential significant adverse impacts associated with the proposed project were

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			found to be less than significant without mitigation. In addition, conditions recommended by the Airport Land use Commission also limit lighting within the area due to its proximity to the airport so the effects of nighttime lighting will be minimized. <b>C</b>
Aesthetics	ECVAP 4.2	Adhere to the County's lighting requirements for standards that are intended to limit light leakage and spillage that may interfere with the operations of the Palomar Observatory.	The Kohl Ranch Specific Plan is located within Zone B of the Mt. Palomar Nighttime Lighting Policy Area. Mitigation measures herein reduce potential significant impacts to less than significant. Future development proposals will be required to comply with County Ordinance No. 655 and will be reviewed at such time as development application is files with the Planning Department. <b>C</b>
Aesthetics	ECVAP 10.1	Adhere to the Advertising Regulations of the County Land Use Ordinance, Section 19, regarding outdoor advertising for all development within the Eastern Coachella Valley.	Section 19 does not allow outdoor advertising within land zoned Specific Plan (SP). <b>C</b>
Aesthetics	ECVAP 10.2	Prohibit the placement of billboards within the Eastern Coachella Valley.	The zoning ordinance prohibits outdoor advertising displays. <b>C</b>
Aesthetics	ECVAP 10.3a	For premises adjacent to the right-of-way of scenic corridors, single support free-standing signs for on-site advertising shall be prohibited. A sign affixed to buildings, a free-standing monument sign, or a free-standing sheathed-support sign which has minimal impact on the scenic setting shall be utilized for on-site advertising purposes along the below-referenced scenic corridors. a. For purposes of this policy, scenic corridors include: • State Route 86; and • State Route 111.	The Project is not located within a scenic highway or corridor. <b>N/A</b>
Aesthetics	ECVAP 10.3c	On-site advertising signs for businesses located along freeway scenic corridors shall comply with the following:(1) Businesses located within 660 feet of the terminus of a freeway exit ramp or the origination of a freeway entrance ramp may utilize either monument or sheathed-support signs in addition to signs affixed to buildings.i. A free-standing monument sign for a single business or tenant may be approved with a maximum height of 10 feet and a maximum surface area of 150 square feet. A free-standing monument sign for multiple businesses or tenants may be approved with an overall height of 12 feet or less and a maximum surface area of 200 square feet.ii. A free-standing sheathed-support sign for a single business or tenant may be approved with a maximum height of 35 feet and a maximum surface area of 150 square feet. A free-standing sheathed-support sign for multiple businesses or tenants may be approved with a maximum height of 35 feet. The maximum surface area shall be the greater of either 150 square feet, or .25 percent (1/4 of 1 percent) of the total existing building floor area, except that in any event, no sign shall exceed 200 square feet in surface area.iii. A sign affixed to a building, advertising the business contained therein, shall not exceed 10 percent of the surface area of the building wall facing the freeway. A single sign, or a total of all signs, affixed to a building and advertising multiple businesses contained therein shall not exceed 10 percent of the surface area of the building wall facing the freeway.(2) Businesses located within 330 feet of the nearest edge of a freeway right-of-way line, but farther than 660 feet from the terminus of a freeway exit ramp or the origination of a freeway entrance ramp, may utilize either monument or sheathed-support signs in addition to signs affixed to buildings.i. A free-standing monument sign for a single business or tenant may be approved with a maximum height of 10 feet and a maximum surface area of 150 square feet. A free-standing monument sign for multiple businesses or tenants may be approved with an overall height of 12 feet or less and a maximum surface area of 200 square feet.ii. A free-standing sheathed-support sign for a single business or tenant may be approved with a maximum height of 25 feet, or the actual height of the primary building advertised, whichever is less, and a maximum surface area of 150 square feet. A free-standing sheathed-support sign for multiple businesses or tenants may be approved with an overall height of 25 feet, or the actual height of the primary building	The Project is not located within a scenic highway or corridor. <b>N/A</b>

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		advertised, whichever is less. The maximum surface area shall be the greater of either 150 square feet, or .25 percent (1/4 of 1 percent) of the total existing building floor area, except that in any event, no sign shall exceed 200 square feet in surface area.iii. A sign affixed to a building, advertising a single business contained therein, shall not exceed 10 percent of the surface area of the building wall facing the freeway. A single sign, or a total of all signs, affixed to a building and advertising multiple businesses contained therein shall not exceed 10 percent of the surface area of the building wall facing the freeway.	
Aesthetics	ECVAP 10.3d	On-site advertising signs for businesses located along highway scenic corridors shall comply with the following:(1) Notwithstanding the other provisions of this policy, a single-business monument sign may be approved with a maximum height of 10 feet, and a maximum 150 square feet of sign surface area. A multiple-business monument sign may be approved with a maximum height of 12 feet or less, and a maximum 200 square feet of sign surface area.(2) Notwithstanding the other provisions of this policy, a single-business sheathed-support sign or a multiple-business sheathed-support sign shall not be erected along a highway scenic corridor.(3) A sign affixed to a building, advertising the business contained therein, shall not exceed 10 percent of the surface area of the building wall facing the highway. A single sign, or a total of all signs, affixed to a building and advertising multiple businesses contained therein shall not exceed 10 percent of the surface area of the building wall facing the highway.	The Project is not located within a scenic highway or corridor. <b>N/A</b>
Aesthetics	ECVAP 14.1	Protect the scenic highways in the Eastern Coachella Valley from change that would diminish the aesthetic value of adjacent properties in accordance with the Scenic Corridors section of the General Plan Land Use, Multipurpose Open Space, and Circulation Elements.	The Project is not located within a scenic highway or corridor. <b>N/A</b>
Aesthetics	ECVAP 16.1	Refer to the Ridgeline policies in the Hillside Development and Slope section of the General Plan Land Use Element and the Scenic Resources policies in the General Plan Multipurpose Open Space Element.	The ridgeline of the Santa Rosa mountains along the western edge of the Eastern Coachella Valley is an important natural resource. The project area is relatively flat and because of the limited development on the site and requirements in the Kohl Ranch Specific Plan Design Guidelines, views of the nearby mountains framing the valley floor are generally unobstructed. <b>C</b>
Aesthetics	OS 21.1	Identify and conserve the skylines, view corridors, and outstanding scenic vistas within Riverside County.	The project area is relatively flat and because of the limited development on the site, views of the nearby mountains framing the valley floor are generally unobstructed. The Santa Rosa and San Jacinto Mountains are important visual resources in the Coachella Valley. Views of these resources have been preserved in the Kohl Ranch Specific Plan Design Guidelines. <b>C</b>
Aesthetics	OS 22.1	Design developments within designated scenic highway corridors to balance objectives of maintaining scenic resources with accommodating compatible land uses.	The Project is not located within a scenic highway or corridor. <b>N/A</b>
Aesthetics	OS 22.3	Encourage joint efforts among federal, state, and County agencies, and citizen groups to ensure compatible development with scenic corridors.	The Project is not located within a scenic highway or corridor. <b>N/A</b>
Aesthetics	OS 22.4	Impose conditions on development within scenic highway corridors requiring dedication of scenic easements consistent with the Scenic Highways Plan, when it is necessary to preserve unique or special visual features.	The Project is not located within a scenic highway or corridor. <b>N/A</b>
Aesthetics	OS 22.5	Utilize contour grading and slope rounding to gradually transition graded road slopes into a natural configuration consistent with the topography of the areas within scenic highway corridors.	The Project is not located within a scenic highway or corridor. <b>N/A</b>
Agriculture	ECVAP 5.1	Retain and protect agricultural lands through adherence to the policies contained in the Agriculture section of the General Plan Land Use Element.	Section V.C.2 of the EIR incorporates mitigation requiring adherence to Ordinance 625 to protect agricultural uses. To avoid potential impact, a 300-foot setback between development and offensive

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			agricultural uses is required as mitigation. The Kohl Ranch Specific Plan does not include any agriculturally designated land and no changes are proposed that would affect other areas of agricultural use. <b>N/A</b>
Agriculture	ECVAP 5.2	Refer to the General Plan Certainty System in the General Plan Administrative Element. An exception is provided allowing limited changes from the Agriculture designation to be processed and approved.	There are no agriculturally designated lands in the Kohl Ranch Specific Plan Amendment No. 2. <b>N/A</b>
Agriculture	ECVAP 6.1	Allow farmworker housing that meets basic safety standards in agriculturally designated areas per the land use designations section of the General Plan Land Use Element, and the Five-Year Action Plan and Special Housing Need sections of the Housing Element. Provided that adequate provisions for public services and compatibility with adjacent uses is achieved, farm worker housing projects of both 1-12 dwelling units and greater than 12 units are permitted in the Agriculture designation in the Eastern Coachella Valley Area Plan.	There are no agriculturally designated lands in the Kohl Ranch Specific Plan Amendment No. 2. <b>N/A</b>
Agriculture	LU 16.1	Encourage retaining agriculturally designated lands where agricultural activity can be sustained at an operational scale, where it accommodates lifestyle choice, and in locations where impacts to and from potentially incompatible uses, such as residential uses, are minimized, through incentives such as tax credits.	The Eastern Coachella Valley Area Plan contains 41,403 acres of AG designated land which is 9.1 percent of all the land comprising this Area Plan. Within Riverside County, only the San Jacinto Valley Area Plan designates a greater percentage of land to AG with 9.4 percent. The Kohl Ranch Specific Plan would not retain the Agriculture (AG) designated lands within its project area. Section V.C.2 of the EIR analyzed impacts and determined these to be significant and unavoidable. A statement of overriding considerations was adopted with certification of the EIR November 16, 1999. A General Plan Amendment was approved to change land use to that of an adopted specific plan and a zone change changed the zoning to Specific Plan (SP). This policy is therefore, not applicable to the Kohl Ranch Specific Plan Amendment No. 2 with the exception of minimizing impacts to agriculturally designated lands from incompatible uses. EIR section V.C.2 incorporates mitigation requiring adherence to Ordinance 625 to protect agricultural uses. To avoid potential impact, a 300-foot setback between development and offensive agricultural uses is required as mitigation. <b>N/A, C</b>
Agriculture	LU 16.2	Protect agricultural uses, including those with industrial characteristics (dairies, poultry, hog farms, etc) by discouraging inappropriate land division in the immediate proximity and allowing only land uses and intensities that are compatible with agricultural uses.	Section V.C.2 of the EIR incorporates mitigation requiring adherence to Ordinance 625 to protect agricultural uses. To avoid potential impact, a 300-foot setback between development and offensive agricultural uses is required as mitigation. No such offensive agricultural uses exist in proximity to the Kohl Ranch. <b>C</b>
Air Quality	LU 10.1	Provide sufficient commercial and industrial development opportunities in order to increase local employment levels and thereby minimize long-distance commuting (AI 18)	The Land Use Designations in the area north of Avenue 62 and east of Tyler Street is intended for industrial and airport-related business park development. Additional land use designations along both sides of Avenue 62 are intended for commercial development. These uses will increase the available employment opportunities and help minimize long-distance commuting. Bus stops and coordination with the transit agency for increased routes will also provide alternatives to long-distance commutes. <b>C</b>
Air Quality	LU 10.2	Ensure adequate separation between pollution producing activities and sensitive emission receptors, such as hospitals, residences, and schools.	EIR section V.C.6 and the Air Quality section of the Addendum incorporate mitigation measures to reduce impacts to sensitive receptors. <b>C</b>
Air Quality	LU 10.3	Accommodate the development of community centers and concentrations of development to reduce reliance on the automobile and help improve air quality.	The Kohl Ranch Specific Plan creates its own master-planned community consisting of medium density, medium high density, high density, and very high density residential types, three existing schools, commercial, industrial, parks and open space that collectively may contain the attributes that contribute to a community center. EIR section V.D.1 incorporates mitigation to provide for potential bus transit as well as the opportunity for Park and Ride facilities. The project includes a trail system. This system will include a combination of greenbelts with linkages and sidewalks located adjacent to roads. It will incorporate trails for pedestrians, bicyclists, and equestrians in the form of an integrated system of hard- and soft-surface trails. The trail system will promote non-vehicular access to on-site recreational areas as well as to the schools thus reducing the reliance on automobiles. <b>C</b>

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Air Quality	LU 10.4	Provide options to the automobile in communities, such as transit, bicycle and pedestrian trails, to help improve air quality.	EIR section V.D.1 incorporates mitigation to provide for potential bus transit as well as the opportunity for Park and Ride facilities. The project includes a trail system. This system will include a combination of greenbelts with linkages and sidewalks located adjacent to roads. It will incorporate trails for pedestrians, bicyclists, and equestrians in the form of an integrated system of hard- and soft-surface trails. The trail system will promote non-vehicular access to on-site recreational areas as well as to the schools. <b>C</b>
Air Quality	AQ 4.7	To the greatest extent possible, require every project to mitigate any of its anticipated emissions that exceed allowable emissions as established by the SCAQMD, MDAQMD, SOCAB, the Environmental Protection Agency, and the California Air Resources Board.	The project is located within the jurisdiction of the South Coast Air Quality Management District (SCAQMD). The air quality section of the EIR requires that the project comply with the requirements set forth by the SCAQMD, the Environmental Protection Agency, and the California Air Resources Board and propose to mitigate, to the greatest extent possible, project-related emissions. <b>C</b>
Air Quality	AQ 8.2	Emphasize job creation and reductions in vehicle miles traveled in job-poor areas to improve air quality over other less efficient methods.	The proposed project includes a commercial and industrial uses only along Avenue 62 and east of Tyler Street which will create jobs and concentrate growth around the center which will help reduce vehicle miles traveled. <b>C</b>
Air Quality	AQ 8.4	Support new mixed-use land use patterns and community centers which encourage community self-sufficiency and containment, and discourage automobile dependency.	EIR section V.D.1 incorporates mitigation to provide for potential bus transit as well as the opportunity for Park and Ride facilities. The project includes a trail system. This system will include a combination of greenbelts with linkages and sidewalks located adjacent to roads. It will incorporate trails for pedestrians, bicyclists, and equestrians in the form of an integrated system of hard- and soft-surface trails. The trail system will promote non-vehicular access to on-site recreational areas as well as to the schools. <b>C</b>
Biology	ECVAP 15.1	Protect visual and biological resources in the Eastern Coachella Valley Area Plan through adherence to General Plan policies found in the Fish and Wildlife Habitat section of the Multipurpose Open Space Element, as well as policies contained in the Coachella Valley Multiple Species Habitat Conservation Plan, upon its adoption.	The proposed Project site has been extensively disturbed from agricultural activities. Section V.C.3 of this EIR analyzed potential impacts to biological resources. The EIR incorporates a mitigation measure within the Biology section, which requires a Pre-Construction Survey for burrowing owls. No other impacts were found to be significant. Additionally, the Addendum incorporates a mitigation measure to account for the Coachella Valley Multiple Species Habitat Conservation Plan requiring the payment of fees prior to grading. <b>C</b>
Cultural	OS 19.2	Review all proposed development for the possibility of archaeological sensitivity.	Section V.C.12 of this EIR analyzed potential impacts to archeological resources. The EIR incorporates mitigation measures within the cultural resources section that reduce impacts to archeological sites and resources. <b>C</b>
Cultural	OS 19.3	Employ procedures to protect the confidentiality and prevent inappropriate public exposure of sensitive archaeological resources when soliciting the assistance of public and volunteer organizations.	Section V.C.12 of this EIR analyzed potential impacts to archeological resources. The EIR incorporates mitigation measures within the cultural resources section that reduce impacts to archeological sites and resources. No confidential appendices to the archaeological technical reports have been released to the public. <b>C</b>
Cultural	OS 19.4	Require a native American Statement as part of the environmental review process on development projects with identified cultural resources.	The Kohl Ranch Specific Plan Amendment No. 2 is required to comply with Senate Bill 18. <b>C</b>
Cultural	OS 19.5	Transmit significant development proposals to the History Division of the Riverside County Regional Park and Open-Space District for evaluation in relation to the destruction/preservation of potential historical sites. Prior to approval of any development proposal, feasible mitigation shall be incorporated into the design of the project and its conditions of approval.	EIR section V.C.12 and the Cultural Resources section of the Addendum incorporate mitigation measures to reduce impacts to historical sites and resources including discovered resources. The proposed project has been reviewed by the Regional Park and Open Space District. <b>C</b>
Cultural	OS 19.6	Enforce the Historic Building Code so that historical buildings can be preserved and used without posing a hazard to public safety.	Historic buildings were not identified on site. <b>N/A</b>

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Cultural	OS 19.7	When possible, allocate resources and/or tax credits to prioritize retrofit of County historic structures, which are irreplaceable.	Historic buildings were not identified on site. <b>N/A</b>
Cultural	OS 19.8	Whenever existing information indicates that a site proposed for development may contain biological, paleontological, or other scientific resources, a report shall be filed stating the extent and potential significance of the resources that may exist within the proposed development and appropriate measures through which the impacts of development may be mitigated.	Cultural and paleontological assessments have been performed for this project and are discussed in Section V.C.12 of this EIR which includes mitigation measures to lessen potential impacts. <b>C</b>
Cultural	OS 19.9	This policy requires that when existing information indicates that a site proposed for development may contain paleontological resources, a paleontologist shall monitor site grading activities, with the authority to halt grading to collect uncovered paleontological resources, curate any resources collected with an appropriate repository, and file a report with the Planning Department documenting any paleontological resources that are found during the course of site grading.	Section V.C.12 of the EIR includes mitigation measures which call for paleontological monitoring within areas identified as potentially significant and includes measures should inadvertent discoveries be made. <b>C</b>
Cultural	OS 19.10	Transmit significant development applications subject to CEQA to the San Bernardino County Museum for review, comment, and/or preparation of recommended conditions of approval with regard to paleontological resources.	Section V.C.12 of the EIR includes mitigation measures which call for paleontological monitoring within areas identified as potentially significant and includes measures should inadvertent discoveries be made. <b>C</b>
Geology & Soils	ECVAP 18.1	Protect life and property from wildfire hazards through adherence to the Fire Hazards section of the General Plan Safety Element	The proposed Project is located in an area considered to be at very low susceptibility for wildfire. <b>N/A</b>
Geology & Soils	ECVAP 19.1	Protect life and property from seismic-related incidents through adherence to the Seismic Hazards section of the General Plan Safety Elements.	Section V.C.4 of the EIR analyzed potential impacts from seismic-related incidents and the proposed Project site has the potential to be subject to strong seismic ground shaking events. The EIR incorporates mitigation measures within the geology and seismicity section to reduce impacts by requiring that structures be constructed per the California Building Code. <b>C</b>
Geology & Soils	ECVAP 20.1	Protect life and property through adherence to the Hillside Development and Slope section of the General Plan Land Use Element and the Slope and Soil Instability Hazards section of the General Plan Safety Element.	The project is not in an area of steep slope. Section V.C.1 of the EIR analyzed potential impacts from slope and instability hazards. The EIR incorporates mitigation measures within the land form and topography section to reduce impacts by requiring that grading activities be in conformance with the California Building Code and Riverside County Ordinance 457. <b>C</b>
Geology & Soils	ECVAP 20.2	Refer to the Rural Mountainous and Open Space-Rural land use designations in the General Plan Land Use Element.	The project site does not contain these land use designations. <b>N/A</b>
Geology & Soils	ECVAP 21.1	Minimize damage from and exposure to wind erosion and blowsand through adherence to the Slope and Soil Instability Hazards section of the General Plan Safety Element.	Implementing projects within the proposed Specific Plan will be required to comply with Riverside County Ordinance 742. <b>C</b>
Geology & Soils	ECVAP 21.2	Require protection of soil in areas subject to wind erosion or blowsand. Mitigation measures that may be required include, but are not limited to, windbreaks, walls, fences, vegetative groundcover, rock, other stabilizing materials, and installation of an irrigation system or provision of other means of irrigation.	Implementing projects within the proposed Specific Plan will be required to comply with Riverside County Ordinance 742. Additionally, the Specific Plan landscape guidelines incorporate windrow plantings to provide wind breaks. <b>C</b>
Geology & Soils	ECVAP 21.3	Control dust through the policies of the Particulate Matter section of the General Plan Air Quality Element.	EIR section V.C.6 incorporates mitigation to control fugitive dust and particulate matter. <b>C</b>
Geology & Soils	ECVAP 21.4	Preserve the environmentally sensitive alluvial fan areas flowing out of the canyons of the Santa Rosa Mountains.	EIR sections V.C.1 and V.C.12 incorporate mitigation measures to ensure protection of alluvial fan areas. <b>C</b>

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Geology & Soils	S 2.5	Require that engineered slopes be designed to resist seismically induced failure. For lower-risk projects, slope design could be based on pseudo-static stability analyses using soil engineering parameters that are established on a site-specific basis. For higher-risk projects, the stability analyses should factor in the intensity of expected ground shaking, using a Newmark-type deformation analysis.	This project will comply with Ordinance 457, which requires that manufactured slopes are designed to be seismically safe. Additionally, Section V.C.1 of the EIR includes mitigation measures which call for grading activities to conform with the California Building Code and Ordinance 457. <b>C</b>
Geology & Soils	S 3.5	During permit review, identify and encourage mitigation of on-site and off-site slope instability, debris flow, and erosion hazards on lots undergoing substantial improvements.	During the review of implementing applications (residential subdivisions, use permits, etc.) of The Kohl Ranch Specific Plan, these geological issues will be analyzed and addressed on an as-needed basis. <b>C</b>
Geology & Soils	LU 11.1c	Require that areas with slope be developed in a manner to minimize the hazards from erosion and slope failures.	The project area is relatively flat and is not in an area of steep slope. Sections V.C.1 and V.C.5 of the EIR include mitigation measures for erosion control. <b>C</b>
Geology & Soils	LU 11.1f	Encourage the limitation of grading, cut, and fill to the amount necessary to provide stable areas for structural foundations, street right of way, parking facilities, and other intended uses.	The Kohl Ranch has been designed to limit as much as possible the amount of grading in the project area. <b>C</b>
Geology & Soils	S 7.7b	Require mitigation measures to reduce potential damage caused by ground failure for sites determined to have potential for liquefaction. Such measures shall apply to critical facilities, utilities, and large commercial and industrial projects as a condition of project approval.	The proposed project is designated as having a high potential for liquefaction. A Geotechnical Report prepared for the project site found the potential to be low, however, and sections V.C.4 of the EIR includes mitigations measures for further site specific investigations once location and nature of structures are known. Additionally, conformance with California Building Code standards, enforcement of the maintenance of the tile drain system, seismic safety standards and sound grading practices will help to mitigate any potentially concerning circumstances. <b>C</b>
Geology & Soils	S 4.1	For new construction and proposals for substantial improvements to residential and nonresidential development with 100-year floodplains as mapped by FEMA or as determined by site specific hydrologic studies for areas not mapped by FEMA, the County shall apply a minimum level of acceptable risk; and disapprove projects that cannot mitigate the hazard to the satisfaction of the Building Official or other responsible agency.	Implementing projects within the proposed Specific Plan will comply with the Flood and Inundation section of the General Plan Safety Element. <b>C</b>
Hazards	ECVAP 18.1	Protect life and property from wildfire hazards through adherence to the Fire Hazards section of the General Plan Safety Element	The Kohl Ranch is located in an area considered to be at a very low susceptibility for wildfire. <b>C</b>
Hazards	S 6.1.a.	Comply with federal and state laws pertaining to the management of hazardous wastes and materials.	The project will be in compliance with existing regulations such as South Coast Air Quality Management District Rules and Regulations pertaining to asbestos, Department of Transportation (DOT) office of Hazardous Materials Safety regulations, and Titles 8, 22, and 26 of the California Code of Regulations, would ensure that the public would not be exposed to any unusual or excessive risks related to hazardous materials. <b>C</b>
Hazards	S 7.1	Continually strengthen the Multi-Hazard Functional Plan and maintain mutual aid agreements with federal, state, local agencies and the private sector to assist in: a. clearance of debris in the event of widespread slope failures, collapsed buildings or structures, or other circumstances that could result in blocking emergency access or regress; b. heavy search and rescue; c. fire suppression; d. hazardous materials response; e. temporary shelter; f. geologic and engineering needs; g. traffic and crowd control; and h. building inspection.	The project site along with the unincorporated Riverside County areas are contracted with the Riverside County Fire Department for emergency response. Emergency response and emergency evacuation are regulated under one agency in the project area and surrounding areas. Therefore project development will not interfere with existing emergency response and evacuation, but will be consistent with the existing system because the same agency regulates all of the surrounding areas. <b>C</b>
Hydrology	ECVAP 17.1	Protect life and property from the hazards of flood events through adherence to the Flood and Inundation Hazards section of the General Plan Safety Element.	The proposed The Kohl Ranch Specific Plan is not within the 100-year flood plain but the area is subject to ponding and flash flooding. EIR sections V.C.5 and V.D.2 incorporate mitigation measures to mitigate against impacts from flood damage, surface ponding and erosion. <b>C</b>
Hydrology	ECVAP 17.2	Adhere to the flood proofing, flood protection requirements, and Flood Management Review requirements of the Riverside County Ordinance No. 458 Regulating Flood Hazard	The proposed The Kohl Ranch Specific Plan is not within the 100-year flood plain but the area is subject to ponding and flash flooding. EIR sections V.C.5 and V.D.2 incorporate mitigation measures to

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		Areas.	mitigate against impacts from flood damage, surface ponding and erosion. Additionally, the proposed project will comply with Ordinance 458. <b>C</b>
Hydrology	ECVAP 17.3	Require that proposed development projects that are subject to flood hazards, surface ponding, high erosion potential or sheet flow be submitted to the Coachella Valley Water District for review.	The proposed The Kohl Ranch Specific Plan is not within the 100-year flood plain but the area is subject to ponding and flash flooding. EIR sections V.C.5 and V.D.2 incorporate mitigation measures to mitigate against impacts from flood damage, surface ponding and erosion. <b>C</b>
Hydrology	OS 3.3	Minimize pollutant discharge into storm drainage systems and natural drainage and aquifers.	The Hydrology section of this EIR evaluated potential impacts to water quality and determined that all potential significant adverse impacts associated with the proposed project were found to be less than significant. With the implementation of the Regional WQMP, as well as subsequent tract specific WQMPs that will be prepared at the time of tract map submittal, impacts to water quality are anticipated to be less than significant. <b>C</b>
Hydrology	OS 5.3	Based on site specific study, all development shall be set back from the floodway boundary a distance adequate to address the following issues: a. public safety; b. erosion; c. riparian or wetland buffer; d. wildlife movement corridor or linkage; and e. slopes.	Implementing projects within the proposed Specific Plan will comply with the Flood and Inundation section of the General Plan Safety Element. Upon completion, the entirety of development of the Kohl Ranch is outside of any Flood Hazard areas. <b>C</b>
Hydrology	OS 5.4	Consider designating floodway setbacks for greenways, trails, and recreation opportunities on a case-by-case basis.	The project is not located within a floodway but is subject to ponding and flash flooding. EIR section V.C.5 and V.D.2 incorporate mitigation measures to reduce impacts. <b>C</b>
Hydrology	S 4.8	Allow development within the floodway fringe, if the proposed structures can be adequately flood-proofed and will not contribute to property damage or risks to public safety.	The project is not located within a floodway but is subject to ponding and flash flooding. EIR section V.C.5 and V.D.2 incorporate mitigation measures to reduce impacts. <b>C</b>
Hydrology	S 4.9	Within the floodway fringe of a floodplain as mapped by FEMA or as determined by site specific hydrologic studies for areas not mapped by FEMA, require development to be capable of withstanding flooding and to minimize use of fill. However, some development may be compatible within flood plains and floodways, as may some other land uses. In such cases, flood proofing would not be required. Compatible uses shall not, however, obstruct flows or adversely affect upstream or downstream properties with increased velocities, erosion backwater effects, or concentrations of flows.	The project is not located within a floodway but is subject to ponding and flash flooding. EIR section V.C.5 and V.D.2 incorporate mitigation measures to reduce impacts. <b>C</b>
Hydrology	S 4.18	Require that the design and upgrade of street storm drains be based on the depth of inundation, relative risk to public health and safety, the potential for hinderance of emergency access and regress from excessive flood depth, and the threat of contamination within the top of curbs and the 100-year flood flows within the street right of way.	As shown in the Drainage Plan portion of the Specific Plan, the Kohl Ranch will utilize streets, underground storm drains, swales, drainage pipes, collection basins, and catch basins to collect the on-site and off-site storm water, and convey it through the project and discharge over wiers on the east side of the project site. Facilities will be required to accommodate developed 100-year storm runoff through the project. The backbone drainage plan facilities are designed to protect habitable dwelling units from flooding. <b>C</b>
Land Use & Planning	ECVAP 3.1	To provide for the orderly development of Desert Resorts Regional Airport and Chiriaco Summit Airport and the surrounding area, comply with the Airport Land Use Compatibility Plan for Desert Resorts Regional Airport and Chiriaco Summit Airport as fully set forth in Appendix L and as summarized in Table 4, as well as any applicable policies related to airports in the Land Use, Circulation, Safety and Noise Elements of the Riverside County General Plan.	The Airport Land Use Commission has found the Kohl Ranch Specific Plan to be conditionally consistent with the 2005 Jacqueline Cochran Regional Airport (formerly Desert Resorts Regional Airport) Land Use Compatibility Plan (JCRAUCP). EIR Section V.D.12 analyzed and incorporates mitigation measures to ensure compliance with the JCRAUCP. The Kohl Ranch is not located within the policy area of the Chiriaco Summit Airport. <b>C</b>
Land Use & Planning	ECVAP 7.1	Ensure proper service provision, land use compatibility, design standards, safety, and accessibility for recreational vehicle development in the Eastern Coachella Valley area through adherence to General Plan policies found in the Land Use Element.	Resort Recreational Vehicle developments are not envisioned within the Kohl Ranch Specific Plan Amendment 2 area, therefore such policies do not apply to the project. <b>N/A</b>
Land Use & Planning	ECVAP 7.2	Allow Resort Recreational Vehicle developments within the following land use designations: Low Density Residential, Medium Density Residential, Medium High Density Residential, High	Resort Recreational Vehicle developments are not envisioned within the Kohl Ranch Specific Plan Amendment 2 area, therefore such policies do not apply to the project. <b>N/A</b>



Section	General Plan Policy No.	General Plan Policies	Relationship of the Project to the Policy
		Density Residential, Very High Density Residential, Commercial Tourist, and Open Space-Recreation.	
Land Use & Planning	ECVAP 7.3	Limit Resort Recreational Vehicle developments to a density of sixteen (16) spaces per acre.	Resort Recreational Vehicle developments are not envisioned within the Kohl Ranch Specific Plan Amendment 2 area, therefore such policies do not apply to the project. <b>N/A</b>
Land Use & Planning	ECVAP 7.4	Allow Remote recreational vehicle developments within the following land use designations: Very Low Density Residential, Estate Density Residential, Rural Residential, Rural Mountainous, Rural Desert, Open Space-Recreation, and Open Space-Rural.	Resort Recreational Vehicle developments are not envisioned within the Kohl Ranch Specific Plan Amendment 2 area, therefore such policies do not apply to the project. <b>N/A</b>
Land Use & Planning	ECVAP 7.5	Limit Remote recreational vehicle developments to a density of seven (7) spaces per acre.	Resort Recreational Vehicle developments are not envisioned within the Kohl Ranch Specific Plan Amendment 2 area, therefore such policies do not apply to the project. <b>N/A</b>
Land Use & Planning	ECVAP 8.1	Encourage industrial uses related to agriculture to continue and expand within this area plan.	The zoning ordinance allows for light agriculture on industrial land use designations where lots are 20 acres or greater. <b>C</b>
Land Use & Planning	ECVAP 8.2	Discourage industrial uses that may conflict with agricultural or residential land uses either directly or indirectly within the Eastern Coachella Valley Area Plan.	Section V.C.2 of the EIR incorporates mitigation requiring adherence to Ordinance 625 to protect agricultural uses. To avoid potential impact, a 300-foot setback between development and offensive agricultural uses is required as mitigation. As a planned community, potential industrial uses are planned nearest the airport and appropriate design features, such as roads and landscaping, are proposed to buffer between proposed residential land uses and industrial uses. <b>C</b>
Land Use & Planning	ECVAP 8.3	Discourage industrial uses which use large quantities of water in manufacturing or cooling processes and result in subsequent effluent discharges.	EIR sections V.D.2 incorporate mitigation measures to mitigate against impacts from usage of large quantities or subsequent effluent discharges. <b>C</b>
Land Use & Planning	ECVAP 8.4	Discourage industrial uses which produce significant quantities of toxic emissions into the air.	The project is located within the jurisdiction of the South Coast Air Quality Management District (SCAQMD). The air quality section of the EIR requires that the project comply with the requirements set forth by the SCAQMD, the Environmental Protection Agency, and the California Air Resources Board and propose to mitigate, to the greatest extent possible, project-related emissions. <b>C</b>
Land Use & Planning	ECVAP 8.5	Encourage industrial uses that can best utilize the transportation facilities of the Desert Resorts Regional Airport.	All industrial uses are located within the vicinity of the Jacqueline Cochran Regional Airport (formerly Desert Resorts Regional Airport) within the Kohl Ranch Specific Plan Land Use Plan. <b>C</b>
Land Use & Planning	ECVAP 8.6	Encourage industrial uses related to aviation to locate in the vicinity of the Desert Resorts Regional Airport.	All industrial uses are located within the vicinity of the Jacqueline Cochran Regional Airport (formerly Desert Resorts Regional Airport) within the Kohl Ranch Specific Plan Land Use Plan. <b>C</b>
Land Use & Planning	LU 2.1	Accommodate land use development in accordance with the patterns and distribution of use and density depicted on the General Plan Land Use Map (RCIP Figure VI-1) and the Area Plan Land Use Maps, in accordance with the following:	Kohl Ranch Specific Plan Amendment No. 2 proposes a reallocation of land uses previously approved in the Kohl Ranch Specific Plan. The proposed uses will be the same intensity as the uses permitted under the current Kohl Ranch Specific Plan Amendment No. 1. <b>C</b>
Land Use & Planning	LU 2.1a	Provide a land use mix at the countywide and area plan levels based on projected need and supported by evaluation of impacts to the environment, economy, infrastructure, and services.	The population of Riverside County is expected to be approximately 3.4 million by 2030 creating an increasing need for a broader variety of job and services available to the residents of the area. More housing units will be needed to accommodate new residents. At the countywide level, the RCIP Vision Statement sets forth various topical visions aimed at proactively dealing with the aforementioned need for growth with its social and development issues. By offering a broader mix of land use as proposed in the Kohl Ranch Specific Plan, the community can be better served. The proposed project provides a mix of land uses within a master planned community setting including a range of residential types, open space, public facilities, commercial and industrial use. This comprehensive approach will assist the County in meeting its vision and accommodating project growth. The EIR evaluated in detail impacts to the environment. Infrastructure necessary to serve the project area is being constructed and is evaluated in the specific plan; and public services will be provided as identified in the specific

Section	General Plan Policy No.	General Plan Policies	Relationship of the Project to the Policy
			plan and addressed the EIR. <b>C</b>
Land Use & Planning	LU 2.1b	Accommodate a range of community types and character, from agricultural and rural enclaves to urban and suburban communities.	The Kohl Ranch Specific Plan with its variety of land uses will accommodate a range of community types and character that will be compatible with both the County General Plan and Area Plans. <b>C</b>
Land Use & Planning	LU 2.1c	Provide for a broad range of land uses, intensities, and densities, including a range of residential, commercial, business, industry, open space, recreation, and public facilities uses.	The Kohl Ranch Specific Plan will create a master-planned community consisting of medium high density, high density, and very high density residential types, four potential K-8 schools, mixed-use commercial/residential, open space, and public and civic facilities. <b>C</b>
Land Use & Planning	LU 2.1d	Concentrate growth near community centers that provide a mixture of commercial, employment, entertainment, recreation, civic, and cultural uses.	The Eastern Coachella Valley area is a rural area of Riverside County which has limited employment, commercial and entertainment opportunities currently available to residence in the vicinity of the Project site. The Kohl Ranch Specific Plan concentrates the commercial and industrial uses along Avenue 62 to allow for the growth of a community center. <b>C</b>
Land Use & Planning	LU 2.1e	Concentrate growth near or within existing urban and suburban areas to maintain the rural and open space character of Riverside County to the greatest extent possible.	The Eastern Coachella Valley area is a rural area of Riverside County. The area around Jacqueline Cochran Airport is envisioned by the County as an area where growth should be focused. The Kohl Ranch Specific Plan is consistent with this goal for the area. <b>C</b>
Land Use & Planning	LU 2.1f	Site development to capitalize upon multi-modal transportation opportunities and promote compatible land use arrangements that reduce reliance on the automobile.	The Eastern Coachella Valley area is a rural area of Riverside County which has limited multi-modal transportation opportunities currently available to residence in the vicinity of the Project site. The Kohl Ranch development is expected to encourage the development of future bus routes to the area. The proposed Kohl Ranch Specific Plan offers a mix of residential/commercial services, job producing areas, schools and parks all of which are linked with a trail system so residents will be able to access either by bike or foot, reducing their reliance on automobiles. <b>C</b>
Land Use & Planning	LU 2.1g	Prevent inappropriate development in areas that are environmentally sensitive or subject to severe natural hazards.	The Kohl Ranch Specific Plan, being part of the Eastern Coachella Valley area, is designated as a high liquefaction potential, however a Geotechnical Report prepared for the project site as part of the analysis for the EIR found the potential to be low and section V.C.4 of the EIR includes mitigations measures for further site specific investigations once location and nature of structures are known. Additionally, conformance with California Building Code standards, enforcement of seismic safety standards and sound grading practices will help to mitigate any potentially concerning circumstances. While the Project site is not within the 100-year flood plain, the area is subject to ponding and flash flooding. EIR sections V.C.5 and V.D.2 incorporate mitigation measures to mitigate against impacts from flood damage. <b>C</b>
Land Use & Planning	LU 3.1	Accommodate land use development in accordance with the patterns and distribution of use and density depicted on the General Plan Land Use Maps (RCIP Figure VI-1) and the Area Plan Land Use Maps in accordance with the following concepts:	See LU2.1 for setting details. <b>C</b>
Land Use & Planning	LU 3.1a	Accommodate communities that provide a balanced mix of land uses, including employment, recreation, shopping and housing.	See response to Policy LU2.1, above. <b>C</b>
Land Use & Planning	LU 3.1b	Assist in and promote the development of infill and underutilized parcels which are located in Community Development areas, as identified on the General Plan Land Use Map.	The Kohl Ranch is not located in a Community Development area. <b>N/A</b>
Land Use & Planning	LU 3.1d	Create street and trail networks that directly connect local destinations, and that are friendly to pedestrians, equestrians, bicyclists, and others using non-motorized forms of transportation.	Regional, county and project trails are incorporated throughout the Kohl Ranch project site. All levels of street hierarchy include a sidewalk and/or trail to facilitate pedestrian travel and to permit pedestrian access to areas and trails within the community. <b>C</b>
Land Use &	LU 3.1e	Re-plan existing urban cores and specific plans for higher density, compact development as	It is the intent of this policy to achieve the RCIP vision for higher density and compact development by re-planning existing urban core and specific plan areas. Although the proposed project promotes

Section	General Plan Policy No.	General Plan Policies	Relationship of the Project to the Policy
Planning		appropriate to achieve the RCIP vision.	higher density, compact development as appropriate to achieve the RCIP vision, this project area for The Kohl Ranch is not part of an existing urban core. The Kohl Ranch Specific Plan Amendment No. 2 is proposing to reallocate land uses within an existing specific plan but not plan for a higher density. Accordingly, this policy is does not apply to The Kohl Ranch. <b>N/A</b>
Land Use & Planning	LU 3.1g	Provide the opportunity to link communities through access to multi-modal transportation systems.	See response to Policy LU 2.1.f, above. <b>C</b>
Land Use & Planning	LU 3.2	Use open space, greenways, recreational lands, and watercourses as community separators.	The Kohl Ranch will provide buffers and use of open space areas to create separation from land uses. <b>C</b>
Land Use & Planning	LU 4.1	Require that new developments be located and designed to visually enhance, not degrade the character of the surrounding area through consideration of the following concepts:	The Kohl Ranch Specific Plan has developed its own Design Guidelines. New developments will be required to comply with these guidelines to contribute to the visual order and consistency of the entire project site. <b>C</b>
Land Use & Planning	LU 4.1a	Compliance with the design standards of the appropriate area plan land use category.	The Kohl Ranch Specific Plan has developed its own Design Guidelines. The Thermal Design Guidelines were created and adopted a number of years after approval of the Kohl Ranch Specific Plan. The Thermal Design Guidelines would apply to the Kohl Ranch if the SP guidelines are silent. Thus, the project will adhere to the design standards approved for the area. <b>C</b>
Land Use & Planning	LU 4.1b	Require that structures be constructed in accordance with the requirements of the County's zoning, building, and other pertinent codes and regulations.	The Kohl Ranch Specific Plan has established its own set of zoning standards, and development will occur in accordance with those requirements and with all other applicable zoning regulations not in the specific plan. Building codes and other pertinent regulations will be applied to the project as it develops. <b>C</b>
Land Use & Planning	LU 4.1c	Require that an appropriate landscape plan be submitted and implemented for development projects subject to discretionary review.	Prior to the issuance of building permits, the Planning Dept. must approve plans for developed common open space areas, including landscaping and irrigation plans. Plans include final grading plans, irrigation plans certified by a landscape architect, certified landscape plans, fence treatment, and special treatment/buffer area treatment plans. The Kohl Ranch Specific Plan Development Standards support this. <b>C</b>
Land Use & Planning	LU 4.1d	Require that new development utilize drought tolerant landscaping and incorporate adequate drought-conscious irrigation systems.	The Kohl Ranch Specific Plan's Landscape Guidelines require the implementation of water use efficiency measures such as use of drought tolerant plants, grouping plants with similar irrigation requirements, use of mulch, and water efficient irrigation systems, consistent with County Ordinance 859, Coachella Valley Water District Landscape Ordinance 1302.1 and the Thermal Design Guidelines plant palette. <b>C</b>
Land Use & Planning	LU 4.1e	Pursue energy efficiency through street configuration, building orientation, and landscaping to capitalize on shading and facilitate solar energy, as provided for in Title 24 of the California Administrative Code.	Passive energy efficiency techniques will occur within the proposed The Kohl Ranch Specific Plan, including orientation of buildings, planting trees to take advantage of sun and adequate roof overhangs. Active energy efficiency measures will be addressed and required in Title 24 for such methods as proper wall and ceiling insulation. <b>C</b>
Land Use & Planning	LU 4.1f	Incorporate water conservation techniques, such as groundwater recharge basins, use of porous pavement, drought tolerant landscaping, and water recycling, as appropriate.	The Kohl Ranch Specific Plan contains water conservation measures that incorporate a dual water system consisting of installation of potable water lines for domestic purposes and to provide water for fire protection. Non-potable water lines will be installed for irrigation purposes and drought tolerant landscaping will be implemented throughout the Specific Plan. <b>C</b>
Land Use & Planning	LU 4.1g	Encourage innovative and creative design concepts.	The Kohl Ranch Specific Plan has developed its own Design Guidelines. New developments will be required to comply with these guidelines to contribute to the visual order and consistency of the entire project site. <b>C</b>

Section	General Plan Policy No.	General Plan Policies	Relationship of the Project to the Policy
Land Use & Planning	LU 4.1g	Encourage the provision of public art.	Although not specifically discussed in the Specific Plan, public art is not discouraged. As individual development proposals are reviewed by the County, public art could be included. <b>C</b>
Land Use & Planning	LU 4.1i	Include consistent and well-designed signage that is integrated with the building's architectural character.	At the specific plan level, no particular signs on buildings are proposed. General signage guidelines are included within the Specific Plan and are limited in scope but will conform to the project's design guidelines and Riverside County Ordinance 348. <b>C</b>
Land Use & Planning	LU 4.1j	Provide safe and convenient vehicular access and reciprocal access between adjacent commercial uses.	The project's circulation system will be designed to provide safe and convenient vehicular access to all commercial uses that complies with Riverside County Transportation Department and Fire Department requirements. During future site plan reviews assessments can be made for the possibility of reciprocal access between adjacent uses. <b>C</b>
Land Use & Planning	LU 4.1k	Locate site entries and storage bays to minimize conflicts with adjacent residential neighborhoods.	At the time of site plan review the Riverside County Planning Department will apply all applicable design standards to minimize conflicts with adjacent residential neighborhoods. <b>C</b>
Land Use & Planning	LU 4.1l	Mitigate noise, odor, lighting, and other impacts on surrounding properties.	To the extent feasible at the specific plan level, the EIR has found these types of impacts to be less than significant or reduced to less than significant through mitigation included in the EIR. <b>C</b>
Land Use & Planning	LU 4.1m	Provide and maintain landscaping in open spaces and parking lots.	The Design Guidelines of The Kohl Ranch Specific Plan provide guidance for designing open space landscaping in common areas. The Specific Plan requires that a special district or Home Owners Association be established to maintain all common landscape areas. Parking lots are required to be landscaped in accordance with Riverside County Ordinance No. 348 requirements. <b>C</b>
Land Use & Planning	LU 4.1n	Include extensive landscaping.	The Kohl Ranch Specific Plan has developed unique Design Guidelines which will encourage appropriate landscaping. The tree planting and landscaping program in The Kohl Ranch Specific Plan is proposed to be extensive with the use of drought tolerant and non-invasive plant species. The proposed The Kohl Ranch Specific Plan will adhere to standards detailed in the Specific Plan's landscaping standards and guidelines, and in Riverside County Ordinance Nos. 348 and 859 as well as the Thermal Design Guidelines and Coachella Valley Water District Landscape Ordinance 1302.1. <b>C</b>
Land Use & Planning	LU 4.1o	Preserve natural features, such as unique terrain, drainage ways, and native vegetation, wherever possible, particularly where they provide continuity with more extensive regional systems.	The Kohl Ranch Specific plan lies on relatively flat terrain with high disturbed soils due to past and present agriculture. <b>N/A</b>
Land Use & Planning	LU 4.1p	Require that new development be designed to provide adequate space for pedestrian connectivity and access, recreational trails, vehicular access and parking, supporting functions, open space and other pertinent elements.	Approximately 376 acres of open space will be provided within the Project for use as trails and parks. An extensive trail system connects parks, open space, and community facilities. Landscaped streets include sidewalks for pedestrian access. The residential community will have access to sidewalks and on-street bike lanes and off-street bike paths within the Project site. <b>C</b>
Land Use & Planning	LU 4.1q	Design parking lots and structures to be functionally and visually integrated and connected.	Development within the Kohl Ranch will comply with the specific plan's design guidelines and applicable Riverside County zoning ordinance requirements regarding the design and screening of parking areas. <b>C</b>
Land Use & Planning	LU 4.1r	Site building access points along sidewalks, pedestrian areas, and bicycle routes, and include amenities that encourage pedestrian activity.	The Design Guidelines encourage buildings to be oriented toward and visible from the street and parking areas to provide for easy access to bicycle routes and sidewalks. Courtyards and outdoor seating areas are encouraged as well as other ancillary structures and service areas. <b>C</b>
Land Use & Planning	LU 4.1s	Establish safe and frequent pedestrian crossings.	Internal sidewalks will connect The Kohl Ranch Specific Plan development to internal parks and to other project areas. Pedestrian connectivity and movement is emphasized in street and parking areas designs with numerous crossing points at parking and street intersections. <b>C</b>

Section	General Plan Policy No.	General Plan Policies	Relationship of the Project to the Policy
Land Use & Planning	LU 4.1t	Create a human-scale ground floor environment that includes public open space areas that separate pedestrian space from auto traffic and where mixed, it does so with special regard to pedestrian safety.	Courtyards and outdoor seating areas are encouraged as well as other ancillary structures and service areas. <b>C</b>
Land Use & Planning	LU 4.2	Require property owners to maintain structures and landscaping to a high standard of design, health, and safety through the following:	The Kohl Ranch Specific Plan Design Guidelines will complement the County-wide Design Guidelines applicable to this area. <b>C</b>
Land Use & Planning	LU 4.2a	Compliance with the design standards of the appropriate area plan land use category.	The Kohl Ranch Specific Plan Design Guidelines will complement the County-wide Design Guidelines applicable to this area. <b>C</b>
Land Use & Planning	LU 4.2b	Promote programs and work with local service organizations and educational institutions to inform residential, commercial, and industrial property owners and tenants about property maintenance methods.	The Kohl Ranch Specific Plan requires that a Homeowners' Association shall be established for the specific plan area, to assume ownership and maintenance responsibility for all common recreation, open space, private circulation systems within gated communities and within multi-family complexes, and landscaped areas. The Homeowners' Association will enforce any property and landscaping maintenance requirements established by the association and as appropriate will provide homeowners with information regarding maintenance methods. <b>C</b>
Land Use & Planning	LU 4.2c	Promote and support community and neighborhood based efforts for the maintenance, upkeep, and renovation of structures and sites.	Please see discussion of Policy LU 4.2.b, above. <b>C</b>
Land Use & Planning	LU 6.1	Require land uses to develop in accordance with the General Plan and area plans to ensure compatibility and minimize impacts.	See discussions related to General Plan consistency under Policy LU 2.1, above. Setbacks and buffers incorporated in the specific plan and mitigation measures included in the EIR reduce all potential significant impacts to less than significant levels which ensure compatibility issues are minimized. <b>C</b>
Land Use & Planning	LU 6.3	Consider the positive characteristics and unique features of the project site and surrounding community during the design and development process.	The Kohl Ranch Specific Plan has developed its own Design Guidelines. New developments will be required to comply with these guidelines to contribute to the visual order and consistency of the entire project site. <b>C</b>
Land Use & Planning	LU 6.4	Retain and enhance the integrity of existing residential, employment, agricultural, and open space areas by protecting them from encroachment of land uses that would result in impacts from noise, noxious fumes, glare, shadowing, and traffic.	Currently, the Kohl Ranch Specific Plan project site and surrounding lands are currently used for open farmland, agricultural activities and rural residential living. However, the Eastern Coachella Valley area is rapidly developing with residential land uses in the cities of Coachella, La Quinta, Indio Palm Desert. Design Guidelines of the Specific Plan will provide for the buffering of the surrounding community from this development. <b>C</b>
Land Use & Planning	LU 6.5	Require buffering to the extent possible between urban uses and adjacent rural/equestrian oriented land uses.	The Kohl Ranch Specific Plan contains a regional trail which may be used for equestrian purposes that will continue to provide linkages to some of the rural/equestrian oriented land uses; and the Specific Plan proposes various trails along some of the perimeters of the project site adjacent to existing rural uses to preserve access to open space areas and offer a buffer between the project's urban development and those uses. In addition, The Kohl Ranch will be buffered from the existing rural and equestrian properties through the use of equestrian trails, open space areas, and site-specific designs. A 300-foot buffer between project development and active agricultural uses is required by mitigation within this DEIR. <b>C</b>
Land Use & Planning	LU 6.6	Require buffering between urban uses and adjacent rural/equestrian oriented land uses.	Please see discussions of LU6.5 above. <b>C</b>
Land Use & Planning	LU 7.1	Accommodate the development of a balance of land uses that maintain and enhance the County's fiscal viability, economic diversity, and environmental integrity.	The Kohl Ranch is a primarily residential specific plan, with some commercial, industrial and public facilities uses also allowed. The Fiscal Impact Report for this specific plan shows that the project will have a positive impact the County's General Fund, and other public facilities funds, thus enhancing the County's fiscal viability. The project allows for the development of approximately 379,000 square feet of retail/commercial uses and 6,486,000 square feet of industrial uses. The environmental integrity

Section	General Plan Policy No.	General Plan Policies	Relationship of the Project to the Policy
			of the project area and the County is being preserved through the conservation of 376 acres of open space. <b>C</b>
Land Use & Planning	LU 7.2	Promote and market the development of a variety of stable employment and business uses that provide a diversity of employment opportunities.	The Kohl Ranch Specific Plan will include approximately 379,000 square feet of commercial/retail development and 6,486,000 square feet of industrial development, which would provide the area with new businesses and increase employment opportunities. <b>C</b>
Land Use & Planning	LU 7.3	Promote the development of focused employment centers rather than inefficient strip commercial development.	The Kohl Ranch Specific Plan proposal includes approximately 379,000 square feet of commercial development within an area comprised of 31.06 acres along Avenue 62. The Specific Plan designates four locations within the 31.06 acres for the commercial uses. The placement of the commercial development will be concentrated at the four proposed locations and the surrounding area will be developed with medium density, medium high density and very high density residential. The focused commercial development avoids the strip commercial concept and meets the intent of Policy LU 7.3. <b>C</b>
Land Use & Planning	LU 7.12	Improve the relationship and ratio between jobs and housing so that residents have an opportunity to live and work within the County.	The Kohl Ranch Specific Plan will include approximately 379,000 square feet of commercial development, which would provide the area with new businesses and increase employment opportunities for residents within the project area. <b>C</b>
Land Use & Planning	LU 8.1	Provide for permanent preservation of open space lands that contain important natural resources, hazards, water features, watercourses, and scenic and recreational values.	The Kohl Ranch Specific Plan includes no important natural resources. <b>N/A</b>
Land Use & Planning	LU 8.2	Require that development protect environmental resources by compliance with the Multipurpose Open Space Element of the General Plan and Federal and State regulations such as CEQA, NEPA, the Clean Air Act, and the Clean Water Act.	The project is in compliance with all applicable federal, state and local regulations that protect environmental resources, including the Western Riverside MSHCP, the General Plan's Open Space Element, Clean Air Act and the Clean Water Act. The proposed Specific Plan and all future implementing development proposals will comply with applicable provisions of the California Environmental Quality Act (CEQA). <b>C</b>
Land Use & Planning	LU 8.3	Incorporate open space, community greenbelt separators, and recreational amenities into Community Development areas in order to enhance recreational opportunities and community aesthetics, and improve the quality of life.	The Kohl Ranch Specific Plan proposes to establish 376 acres of Open Space with trails. Additionally, the Specific Plan includes parks which could include play equipment, pool, picnic tables, and passive play areas. These amenities will enhance recreational opportunities and community aesthetics and improve the quality of life compliant with Policy LU 8.3. A potential lake is proposed in Neighborhoods K and J which will be used as part of the dual water system and part of the projects drainage network but will provide a scenic amenity and enhance recreational opportunities by providing the use of a project trails surrounding the lakes. <b>C</b>
Land Use & Planning	LU 8.4	Allow development clustering and/or density transfers in order to preserve open space, natural resources, and/or biologically sensitive resources.	The project proposes to cluster development into medium-high, high density, and very-high residential housing in part to address airport master plan requirements. The increase in residential density and clustering will allow for preservation of 376 acres of open space, however no natural resources needing preservation exist on-site. <b>C</b>
Land Use & Planning	LU 8.5	Prior to the approval of any residential project, require that the project site be annexed into an existing parks and recreation district or CSA providing for neighborhood and community park maintenance.	At the time of recordation of final subdivision map(s), the applicant and/or developer shall convey common greenbelt, common open space areas and neighborhood parts to the master property owners association or appropriate public maintenance agency. <b>C</b>
Land Use & Planning	LU 9.1	Require that new development contribute their fair share to fund infrastructure and public facilities such as police and fire facilities.	The Kohl Ranch will be required to pay its fair share of public safety and infrastructure-related mitigation fees as per Riverside County Ordinance No. 659.6. Additionally, the proposed project will allow for the development of public facilities within the project area. <b>C</b>
Land Use & Planning	LU 9.2	Require a fiscal impact analysis for specific plans and major development proposals so as not to have a negative fiscal impact on the County.	The Fiscal Impact Report shows a net fiscal surplus for the County as a result of implementation of the proposed project. <b>C</b>

Section	General Plan Policy No.	General Plan Policies	Relationship of the Project to the Policy
Land Use & Planning	LU 10.4	Provide options to the automobile in communities, such as transit, bicycle and pedestrian trails, to help improve air quality.	The Kohl Ranch Specific Plan proposes sidewalks along all streets and an extensive network of trails along most major roadways as a way to offer pedestrian and bicycle "friendly" means of travel with the intent of providing options to the use of the automobile for internal project area travel as a way to help improve air quality. <b>C</b>
Land Use & Planning	LU 16.4	Encourage conservation of productive agricultural lands. Preserve prime agricultural lands for high-value crop production.	The Eastern Coachella Valley Area Plan contains 41,403 acres of AG designated land which is 9.1 percent of all the land comprising this Area Plan. Within Riverside County, only the San Jacinto Valley Area Plan designates a greater percentage of land to AG with 9.4 percent. The majority of the Eastern Coachella Valley AG designated land is concentrated along the northern boundary of Lakeview area and separated from other communities by dedicated conservation lands or park lands. The Kohl Ranch Specific Plan would not retain the Agriculture (AG) designated lands within its project area. Section V.C.2 of the EIR analyzed impacts and determined these to be significant and unavoidable as it eliminated 1,468 acres of Prime Farmland, 171 acres of Farmland of Statewide Importance and 480 acres of Farmland of Local Importance. A statement of overriding considerations was adopted with certification of the EIR November 16, 1999. A General Plan Amendment was approved to change land use to that of an adopted specific plan and a zone change changed the zoning to Specific Plan (SP). This policy is therefore, not applicable to the Kohl Ranch Specific Plan Amendment No. 2 with the exception of minimizing impacts to agriculturally designated lands from incompatible uses. EIR section V.C.2 incorporates mitigation requiring adherence to Ordinance 625 to protect agricultural uses. To avoid potential impact, a 300-foot setback between development and offensive agricultural uses is required as mitigation. <b>N/A, C</b>
Land Use & Planning	LU 16.5	Continue to participate in the California Land Conservation Act (the Williamson Act) of 1965.	There are currently no Williamson Act contracts on any properties within The Kohl Ranch Specific Plan. <b>N/A</b>
Land Use & Planning	LU 16.6	Require consideration of State agricultural land classification specifications when a 2½-year Agriculture Foundation amendment to the General Plan is reviewed that would result in a shift from an agricultural to a non-agricultural use.	The Kohl Ranch Specific Plan would not retain the Agriculture (AG) designated lands within its project area. Section V.C.2 of the EIR analyzed impacts and determined these to be significant and unavoidable. A statement of overriding considerations was adopted with certification of the EIR November 16, 1999. Subsequently, the zoning was changed to Specific Plan (SP). This policy is therefore, not applicable to the Kohl Ranch Specific Plan Amendment No. 2. <b>N/A</b>
Land Use & Planning	LU 16.7	Adhere to Riverside County's Right-to-Farm Ordinance.	Riverside County Ordinance No. 625 (Right-to-Farm Ordinance) pertains to residential subdivisions that are to be located within 300 feet of properties zoned for agricultural uses (A-1 (Light Agriculture), A-2 (Heavy Agriculture), A-P (Agriculture-Poultry), A-D (Agriculture-Dairy), or C/V (Citrus/Vineyard). The EIR analyzed impacts in section V.C.2 to such lands and incorporates mitigation measures to ensure adherence to Ordinance 625. <b>C</b>
Land Use & Planning	LU 17.1	Require that grading be designed to blend with undeveloped natural contours of the site and avoid an unvaried, unnatural, or manufactured appearance.	The project area is relatively flat and will not encroach upon hillsides. <b>N/A</b>
Land Use & Planning	LU 17.3	Ensure that development does not adversely impact the open space and rural character of the surrounding area.	The project area is relatively flat and because of the limited development on the site, views of the nearby mountains framing the valley floor are generally unobstructed. Buffers between land uses will allow for appropriate transitions to surrounding uses and compatibility issues can be addressed to retain rural character adjacent to existing rural areas. The intensity of the development will also place a greater number of people within easy reach of open space. Over 376 acres of open space will be preserved as part of this project. As part of the management of the open space, limited recreational uses will be allowed within this area (trails, horseback riding, etc.). <b>C</b>
Land Use & Planning	LU 17.4	Encourage clustered development where appropriate on lots smaller than the underlying land use designation would allow. While lot sizes may vary, the overall project density must not exceed that of the underlying land use designation unless associated with an incentive	The Kohl Ranch Specific Plan Amendment No. 2 is a reallocation of land uses allowing for higher density residential designations however, the overall density will not exceed the previously approved

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		program.	maximum allotted dwelling units approved under the original Specific Plan November 16, 1999. <b>C</b>
Land Use & Planning	LU 17.5	Encourage parcel consolidation.	The master developer for The Kohl Ranch has assembled approximately 2,163 acres to form the project site. This consolidation of parcels under one control offers the ability to preserve 376 acres of open space as envisioned by the CVMSHCP. <b>C</b>
Land Use & Planning	LU 18.1	Require that structures be designed to maintain the environmental character in which they are located.	Developments within the Project site will adhere to the Kohl Ranch Specific Plan Design Guidelines which address and respect the desert environment. <b>C</b>
Land Use & Planning	LU 22.1	Accommodate the development of single- and multi-family residential units in areas appropriately designated by the General Plan and area plan land use maps.	The Kohl Ranch provides a range of densities that will allow for both single- and multi-family residences to be built within the specific plan area which is consistent with the General Plan vision and the Community Development Foundation. <b>C</b>
Land Use & Planning	LU 22.2	Accommodate higher density residential development near community centers, transportation centers, employment, and services areas.	The very high density residential designation is located in close proximity to commercial and industrial land uses to locate near employment, service and transit centers. <b>C</b>
Land Use & Planning	LU 22.3	Require that adequate and available circulation facilities, water resources, and sewer lines exist to meet the demands of the proposed residential land use. (AI 3)	At the present time there are not adequate facilities available to meet the needs of The Kohl Ranch. However, through County regulations and mitigation measures, which include the payment of development impact fees, and the construction of utility facilities, facilities can be constructed to meet the needs of the proposed project. The Water Source Assessment prepared for this project indicates that water resources are available to serve this project. Some water and wastewater facilities have already been constructed and all necessary infrastructure is planned. <b>C</b>
Land Use & Planning	LU 22.4	Accommodate the development of a variety of housing types, styles and densities that are accessible to and meet the needs of a range of lifestyles, physical abilities, and income levels.	The Kohl Ranch Specific Plan consists of medium (2 to 5 du/ac), medium-high (5 to 8 du/acre), high density (8 to 14 du/acre), and very high density (14 to 20 du/ac) residential uses. It is intended that the Specific Plan, through the various residential densities, will cater to a range of lifestyles, physical abilities, and income levels. <b>C</b>
Land Use & Planning	LU 22.5	Integrate a continuous network of parks, plazas, public squares, bicycle trails, transit systems, and pedestrian paths to provide both connections within each community and linkages with surrounding features and communities.	The project includes a trail system. This system will include a combination of greenbelts with linkages and sidewalks located adjacent to roads and within roadways. It will incorporate trails for pedestrians, bicyclists, and equestrians in the form of an integrated system of hard- and soft-surface trails. The trail system will promote non-vehicular access to on-site recreational areas as well as to the schools. The project design concept is that of a pedestrian-friendly lifestyle which includes trail systems located throughout the project area that connect schools, services, goods, parks, and trailheads. <b>C</b>
Land Use & Planning	LU 22.6	Require setbacks and other design elements that buffer residential units from the impacts of abutting agricultural, roadway, commercial, and industrial uses. (AI 3)	The project design concepts include landscaping and setbacks to buffer residential uses from roads. Drainage facilities are also used as landscaped paseo areas to separate residential areas from roads and other uses. <b>C</b>
Land Use & Planning	LU 22.7	Allow for reduced street widths to minimize the influence of the automobile and improve the character of a neighborhood, in accordance with the Riverside County Fire Department.	Internal roadways within residential tracts of the specific plan may have narrow private streets, the widths of which will be determined in coordination with County Transportation Department and the Riverside County Fire Department. <b>C</b>
Land Use & Planning	LU 22.8	Establish activity centers within or near residential neighborhoods that contain services such as child or adult-care, recreation, public meeting rooms, convenience commercial uses, or similar facilities.	The Kohl Ranch Specific Plan includes commercial and residential land uses. It is foreseeable that the development of this area could include services as desired in this policy. <b>C</b>
Land Use & Planning	LU 22.9	Require residential projects to be designed to maximize integration with and connectivity to nearby community centers, rural villages, and neighborhood centers.	The project includes commercial uses that would be well-integrated into the residential area. Additionally, there are internal trails and roadway that will connect the project site to the surrounding community. <b>C</b>



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Land Use & Planning	LU 22.10	Require that residential units/projects be designed to consider their surroundings and to visually enhance, not degrade, the character of the immediate area.	All buildings in the proposed The Kohl Ranch Specific Plan will utilize elements of architectural styles described in the Specific Plan's Design Guidelines and will enhance the character of the area. With sufficient buffering, landscaping, and separation from the adjacent properties as described under previous policies, the project would not degrade the character of the immediate area. <b>C</b>
Land Use & Planning	LU 25.1	Accommodate the development of public facilities in areas appropriately designated by the General Plan and area plan land use maps.	Planning Area M-4 is designated for Public Facilities as this site houses three schools. <b>C</b>
Land Use & Planning	LU 25.2	Protect major public facilities, such as landfill and solid waste disposal sites and airports, from the encroachment of incompatible uses.	The project is located adjacent to the Jacqueline Cochran Regional Airport. The Airport Land Use Commission has found the Kohl Ranch Specific Plan to be conditionally consistent with the 2005 Jacqueline Cochran Regional Airport (formerly Desert Resorts Regional Airport) Land Use Compatibility Plan (JCRALUCP). EIR Section V.D.12 analyzed and incorporates mitigation measures to ensure compliance with the JCRALUCP. <b>C</b>
Land Use & Planning	LU 25.3	Require that new public facilities protect sensitive uses, such as schools and residences, from the impacts of noise, light, fumes, odors, vehicular traffic, parking, and operational hazards.	Public facilities that would be constructed within The Kohl Ranch Specific Plan are operated by Coachella Valley Water District and Riverside County Flood Control District. Implementing projects may require public facilities in the future, such as drainage facilities. Those facilities will be designed to have minimal impact to the surrounding land uses, and thus will comply with this policy. Construction and operations of currently anticipated major facilities have been evaluated in EIR. <b>C</b>
Land Use & Planning	LU 25.4	Require that adequate and available circulation facilities, water resources, and sewer facilities exist to meet the demands of the proposed land use.	At the present time there are not adequate facilities available to meet the needs of The Kohl Ranch. However, through County regulations and mitigation measures, which include the payment of development impact fees, and the construction of utility facilities, facilities can be constructed to meet the needs of the proposed project. The Water Source Assessment prepared for this project indicates that water resources are available to serve this project. Some water and wastewater facilities have already been constructed and all necessary infrastructure is planned. <b>C</b>
Noise	N 1.1	Protect noise-sensitive land uses from high levels of noise by restricting noise producing land uses from these areas. If the noise producing land use cannot be relocated, then noise buffers such as setbacks, landscaping, or block walls shall be used.	The Eastern Coachella Valley area is a rapidly developing area. The Design Guidelines of the Specific Plan will provide for the buffering of the surrounding community from this development. Industrial and commercial uses are planned nearest the airport and clustering of residential units will allow all airport noise related issues to be addressed/avoided. <b>C</b>
Noise	N 1.2	Guide noise tolerant land uses into areas irrevocably committed to land uses that are noise producing, such as transportation corridors, or within the projected noise contours of any adjacent airports.	Industrial and commercial uses are planned nearest the airport and clustering of residential units will allow all airport noise related issues to be addressed/avoided. Community walls, landscaping, setbacks and drainage facilities are used to buffer residential uses from surrounding roads. The EIR and Addendum incorporate mitigation measures to reduce these impacts to less than significant. <b>C</b>
Noise	N 1.5	Prevent and mitigate the adverse impacts of excessive noise exposure on the residents, employees, visitors, and noise sensitive uses of Riverside County.	The project will mitigate adverse impacts of excessive noise to residents, employees, visitors, and noise sensitive uses of Riverside County. Once precise grading and architectural plans are made available, a final acoustical study will be performed to confirm the appropriate noise standard levels for sensitive receptors. To retain visibility and access, setbacks, berms, and walls may be used to achieve acceptable noise levels. <b>C</b>
Noise	N 4.2	Develop measures to control non-transportation noise impacts.	The exact type of retail/commercial uses that will be occupying the commercial land is unknown at this time; therefore, the types of noise generated by the on-site businesses cannot be determined. However, once precise grading and architectural plans are made available, a final acoustical study will be performed to confirm the appropriate noise standard levels for sensitive receptors. To retain visibility and access, setbacks, berms, and walls may be used to achieve acceptable noise levels. (The concurrently proposed Thermal Motorsports Park has provided such documentation and been made consistent with this policy.) <b>C</b>

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Noise	N 4.3	Ensure any use determined to be a potential generator of significant stationary noise impacts be properly analyzed, and ensure that the recommended mitigation measures are implemented.	The exact type of retail/commercial uses that will be occupying the commercial land is unknown at this time; therefore, the types of noise generated by the on-site businesses cannot be determined. However, once precise grading and architectural plans are made available, a final acoustical study will be performed to confirm the appropriate noise standard levels for sensitive receptors. To retain visibility and access, setbacks, berms, and walls may be used to achieve acceptable noise levels. (The concurrently proposed Thermal Motorsports Park has provided such documentation and been made consistent with this policy.) <b>C</b>
Noise	N 8.3	Require development that generates increased traffic and subsequent increases in the ambient noise level adjacent to noise-sensitive land uses to provide for appropriate mitigation measures.	The project will mitigate adverse impacts of excessive noise to residents, employees, visitors, and noise sensitive uses of Riverside County. Once precise grading and architectural plans are made available, a final acoustical study will be performed to confirm the appropriate noise standard levels for sensitive receptors. To retain visibility and access, setbacks, berms, and walls may be used to achieve acceptable noise levels. (The concurrently proposed Thermal Motorsports Park has provided such documentation and been made consistent with this policy.) <b>C</b>
Noise	N 11.1	Utilize natural barriers such as hills, berms, boulders, and dense vegetation to assist in noise reduction.	The Design Guidelines of the Specific Plan will provide for the buffering methods which do utilize such "natural barriers." <b>C</b>
Noise	N 12.1	Minimize the impacts of construction noise on adjacent uses within acceptable practices.	The project will be subject to Riverside County Ordinance No. 457, which regulates construction practices; and Riverside County Ordinance No. 847, which regulates noise. <b>C</b>
Noise	N 12.2	Ensure that construction activities are regulated to establish hours of operation in order to prevent and/or mitigate the generation of excessive or adverse noise impacts on surrounding areas.	The project will be subject to Riverside County Ordinance No. 457, which regulates construction practices; and Riverside County Ordinance No. 847, which regulates noise. <b>C</b>
Noise	N 12.4	Require that all construction equipment utilize noise reduction features (e.g. mufflers and engine shrouds) that are no less effective than those originally installed by the manufacturer.	The mitigation measures of the noise section of the EIR and Addendum require that all construction equipment shall be required to minimize noise from construction activities. All construction will be required to comply with local noise control ordinances. <b>C</b>
Noise	N 14.1	Minimize the potential adverse noise impacts associated with the development of mixed-use structures where residential units are located above or adjacent to commercial uses.	Mixed use structures are not proposed in the Kohl Ranch Specific Plan. <b>N/A</b>
Noise	N 14.2	Require that commercial and residential mixed use structures minimize the transfer or transmission of noise and vibration from the commercial land use to the residential land use.	Mixed use structures are not proposed in the Kohl Ranch Specific Plan. <b>N/A</b>
Noise	N 14.3	Minimize the generation of excessive noise level impacts from entertainment and restaurant/bar establishments into adjacent residential or noise sensitive uses.	The exact type of retail/commercial uses that will be occupying the commercial land uses is unknown at this time; therefore, the types of noise generated by the on-site businesses cannot be determined. However, once precise grading and architectural plans are made available, a final acoustical study will be performed to confirm the appropriate noise standard levels for sensitive receptors. To retain visibility and access, setbacks, berms, and walls may be used to achieve acceptable noise levels. <b>C</b>
Noise	C 3.27	Evaluate proposed highway extensions or widening projects for potential noise impacts on existing and future land uses in the area. Require that the effects of truck mix, speed limits, and ultimate motor vehicle volumes on noise levels are also explored during the environmental process.	The exterior noise impacts from traffic to future land uses have been calculated. The Addendum has incorporated mitigation measures regarding the necessary height of noise barriers to obtain the appropriate noise standard levels for sensitive receptors and commercial land uses. <b>C</b>
Population/Housing	5 Year Action Plan: Policy 1.2	Ensure the availability of Suitable sites for the development of affordable housing to meet the needs of all household income levels, including farm workers and other special needs populations.	The Kohl Ranch Specific Plan consists of medium (2 to 5 du/ac), medium-high (5 to 8 du/acre), high density (8 to 14 du/acre), and very high density (14 to 20 du/ac) residential uses. It is intended that the Specific Plan, through the various residential densities, will cater to a range of lifestyles, physical abilities, and income levels. <b>C</b>

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Population/Housing	5 Year Action Plan: Policy 1.7	Encourage innovative housing, site plan design and construction techniques to promote new affordable housing by the private sector.	The Kohl Ranch Specific Plan consists of medium (2 to 5 du/ac), medium-high (5 to 8 du/acre), high density (8 to 14 du/acre), and very high density (14 to 22 du/ac) residential uses. It is intended that the Specific Plan, through the various residential densities, will cater to a range of lifestyles, physical abilities, and income levels. <b>C</b>
Population/Housing	5 Year Action Plan: Policy 1.7	Action 1.7a Continue to provide for greater flexibility in the design of single family development through the processing of PDs, Specific Plans, and Area Plans, and application of density bonus provisions, when requested, to allow for varying lot sizes and development standards than normally required in residential districts.	The Kohl Ranch is a Specific Plan which allows for a greater degree of flexibility in lot sizes, density bonuses, and housing product types than is the historical norm in Riverside County. <b>C</b>
Population/Housing	5 Year Action Plan: Policy 1.7	Action 1.7d Encourage new large scale development proposals to provide a range of housing types and densities for all income levels through the use of creative planning concepts as specific plans and mixed-use development.	The Kohl Ranch is a large-scale specific plan which introduces a wide variety of housing types, lot sizes, and densities. The Administrative Section of the specific plan allows for flexibility in product type, lot sizes, and densities. <b>C</b>
Population/Housing	5 Year Action Plan: Policy 5.1	Encourage the use of energy conservation features in residential construction and remodeling.	Passive energy efficiency techniques will occur within the proposed project, including orientation of buildings, planting trees to take advantage of sun and adequate roof overhangs. Active energy efficiency measures will be addressed and required in Title 24 for such methods as proper wall and ceiling insulation. <b>C</b>
Public Services	LU 5.1	Ensure that development does not exceed the ability to adequately provide supporting infrastructure and sheriff services.	Through the payment of Riverside County's required development impact fees (Ordinance No. 659), the implementation of the Periodic Medical Needs Assessment, which is required by Mitigation Measure 4.15.7A of the County General Plan EIR, and the implementation of mitigation measures listed in the EIR, the impacts of the Kohl Ranch Specific Plan to public facilities and services will be less than significant. <b>C</b>
Recreation	OS 20.4	Provide for the needs of all people in the system of County recreation sites and facilities, regardless of their socioeconomic status, ethnicity, physical capabilities or age.	The proposed project includes the construction of many types of trail systems, open space areas with passive and active uses available to the general public. The recreation plan is provided to the community as a whole and does not discriminate by socioeconomic status, ethnicity, physical capabilities or age. <b>C</b>
Recreation	OS 20.5	Require that development of recreation facilities occurs concurrent with other development in the area.	Recreational facilities will be built to satisfy the population demand of the proposed project, as referenced in the Kohl Ranch Specific Plan Development Standards. <b>C</b>
Recreation	OS 20.6	Require new development to provide implementation strategies for the funding of both active and passive parks and recreational sites.	The project will provide active parks and passive parks by design. If it is determined that park acreages are insufficient, fees will be paid in accordance with Riverside County Ordinance 460. <b>C</b>
Recreation	C 16.1	Implement the County trail system as depicted in the Bikeways and Trails Plan, Figure C-7.	The County trail system has been implemented in accordance with the Bikeways and Trails Plan and per the County Transportation Department and County Regional Parks and Recreation District. <b>C</b>
Recreation	C 16.2	Develop a multi-purpose recreational trail network with support facilities that provide a linkage with regional facilities.	The project design concept is that of a pedestrian-friendly lifestyle which includes trail systems located throughout the project area that connect schools, services, goods, parks, and trailheads. <b>C</b>
Recreation	C 16.3	Require that trail alignments either provide access to or link scenic corridors, schools, parks, and other natural areas.	The project design concept is that of a pedestrian-friendly lifestyle which includes trail systems located throughout the project area that connect schools, services, goods, parks, and trailheads. <b>C</b>
Recreation	C 17.3	Ensure that the bikeway system incorporates the following:a. Interconnection of cities and unincorporated communities;b. Provision of lanes to specific destinations such as state or county parks;c. Provision for bicycle touring; and,d. Encouragement of bicycle commuting.	The project design concept is that of a pedestrian-friendly lifestyle which includes trail systems located throughout the project area that connect schools, services, goods, parks, and trailheads. <b>C</b>
Transportation	C 2.1	Maintain the following countywide target Levels of Service: LOS "C" along all County	The project has been analyzed in the Traffic Study to meet the required LOS standards for the various

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		maintained roads and conventional state highways. As an exception, LOS "D" may be allowed in Community Development areas, only at intersections of any combination of Secondary Highways, Major Highways, Arterials, Urban Arterials, Expressways, conventional state highways or freeway ramp intersections. LOS "E" may be allowed in designated community centers to the extent that it would support transit-oriented development and walkable communities.	roadway types located within the project's sphere of influence. Section V.D.1 of the EIR incorporates mitigation measures to reduce impacts and ensure LOS standards meet required levels. <b>C</b>
Transportation	C 1.2	Support development of a variety of transportation options for major employment and activity centers including direct access to transit routes, primary arterial highways, bikeways, park-n-ride facilities, and pedestrian facilities.	The project includes a trail system. This system will include a combination of greenbelts with linkages and sidewalks located adjacent to roads and within roadways. It will incorporate trails for pedestrians, bicyclists, and equestrians in the form of an integrated system of hard- and soft-surface trails. The trail system will promote non-vehicular access to on-site recreational areas as well as to the schools. <b>C</b>
Transportation	C 1.5	Evaluate the planned circulation system as needed to enhance the arterial highway network to respond to anticipated growth and mobility needs.	The Traffic Study analyzed the planned circulation system with respect to the current County of Riverside General Plan Circulation Element and in coordination with future County efforts. <b>C</b>
Transportation	C 1.7	Encourage and support the development of projects that facilitate and enhance the use of alternative modes of transportation, including pedestrian-oriented retail and activity centers, dedicated bicycle lanes and paths, and mixed-use community centers.	The project design concept is that of a pedestrian-friendly lifestyle which includes trail systems located throughout the project area that connect schools, services, goods and parks and the various land uses. <b>C</b>
Transportation	C 2.2	Apply level of services standards to new development via a program establishing traffic study guidelines to evaluate traffic impacts and identify appropriate mitigation measures for new development.	The traffic analysis uses the Level of Service (LOS) system of categorization to evaluate the project area roadway intersections. Traffic engineers use this LOS system of categorization to describe how well an intersection or roadway is functioning. The LOS measures several factors including operating speeds, freedom to maneuver, traffic interruptions, and average vehicle delay at intersections. The LOS approach uses a ranking system, similar to education, with level 'A' being best and level 'F' being worst. <b>C</b>
Transportation	C 2.3	Traffic studies prepared for development entitlements (tracts, plot plans, public use permits, conditional use permits, etc.) shall identify project related traffic impacts and determine the "significance" of such impacts in compliance with CEQA.	Potential impacts related to inadequate parking capacity, altered waterborne, rail or air traffic were found to be less than significant in the Notice of Preparation for the Kohl Ranch Specific Plan. The subsequent Addendum for the Kohl Ranch Specific Plan Amendment No. 2 found no new or substantially increased significant effects. Some design features present on the current and future project roadways, such as curves, could result in potentially significant impacts however, all design features will be designed to meet County Standards. <b>C</b>
Transportation	C 2.4	The direct project related traffic impacts of new development proposals shall be mitigated via conditions of approval requiring the construction of any improvements identified as necessary to meet level of service standards.	The analysis shows that the project will contribute to the exceedance of acceptable levels of service for both intersections and roadway segments, and contribute to substantial increases in the traffic on roads. Mitigation measures in the form of signals and roadway improvements, and fair share fees, listed above, will be required to reduce these potentially significant impacts to below the level of significance. <b>C</b>
Transportation	C 2.5	The cumulative and indirect traffic impacts of development may be mitigated through the payment of various impact mitigation fees such as County Development Impact Fees, Road and Bridge Benefit District Fees, and Transportation Uniform Mitigation Fees to the extent that these programs provide funding for the improvement of facilities impacted by development.	To ensure that area-wide traffic conditions do not worsen as development occurs, the County of Riverside has established "fair share" mitigation fees, which include, but are not limited to, the Coachella Valley Association of Governments (CVAG) Transportation Uniform Mitigation Fee (TUMF), Development Impact Fees (DIF) and a Road and Bridge Benefit District (RBBD) fee, which is currently being established by the County, all described below. The project will participate in the cost of off-site improvements through payment of the following "fair share" mitigation fees: <ul style="list-style-type: none"> <li>• Coachella Valley Association of Governments Transportation Uniform Mitigation Fee (TUMF), current at time of construction</li> <li>• Riverside County Traffic Signal Systems Fee Program</li> <li>• RBBD (when approved and enacted)</li> </ul>

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			These fees shall be collected and utilized as needed by Riverside County to construct the improvements necessary to maintain the required level of service. <b>C</b>
Transportation	C 3.1	Design, construct, and maintain County roadways as specific in the County Road Improvement Standards and Specifications.	The Kohl Ranch Specific Plan includes Circulation Development Standards which are required of the project. <b>C</b>
Transportation	C 3.2	Maintain the existing transportation network, while providing for future expansion and improvement based on travel demand, and the development of alternative travel modes.	<p>To ensure that area-wide traffic conditions do not worsen as development occurs, the County of Riverside has established "fair share" mitigation fees, which include, but are not limited to, the Coachella Valley Association of Governments (CVAG) Transportation Uniform Mitigation Fee (TUMF), Development Impact Fees (DIF) and a Road and Bridge Benefit District (RBBB) fee, which is currently being established by the County, all described below. The project will participate in the cost of off-site improvements through payment of the following "fair share" mitigation fees:</p> <ul style="list-style-type: none"> <li>• Coachella Valley Association of Governments Transportation Uniform Mitigation Fee (TUMF), current at time of construction</li> <li>• Riverside County Traffic Signal Systems Fee Program</li> <li>• RBBB (when approved and enacted)</li> </ul> <p>These fees shall be collected and utilized as needed by Riverside County to construct the improvements necessary to maintain the required level of service. <b>C</b></p>
Transportation	C 3.10	Require private and public land developments to provide all on-site auxiliary facility improvements necessary to mitigate any development-generated circulation impacts. A review of each proposed land development project shall be undertaken to identify project impacts to the circulation system and its auxiliary facilities. The Transportation Department may require developers and/or subdividers to provide traffic impact studies prepared by qualified professionals to identify the impacts of a development.	The project has been analyzed in the Traffic Study to meet the required LOS standards for the various roadway types located within the project's sphere of influence. Where the LOS standards are expected to be exceeded, mitigation has been included that would reduce it to below the required levels. <b>C</b>
Transportation	C 3.13	Design street intersections, where appropriate, to assure the safe, efficient passage of through traffic and the negotiation of turning movements.	The Kohl Ranch project includes a General Plan Amendment which will modify the existing Circulation Element. The modified circulation plan provides improvement standards to promote efficient and safe movement of people within the project area. <b>C</b>
Transportation	C 3.14	Design curves and grades to permit safe movement of vehicular traffic at the road's design speed. Design speed should be consistent with and complement the character of the adjacent area.	The curvilinear roads proposed within the project site (Figure IV-2, The Kohl Ranch Specific Plan Circulation Plan) have been designed to meet the County Transportation Department's standards. <b>C</b>
Transportation	C 3.15	Provide adequate sight distances for safe vehicular movement at a road's design speed and at all intersections.	Sight distance at the project entrance roadways shall be reviewed with respect to standard County of Riverside sight distance standards at the time of preparation of final grading, landscape, and street improvement plans. <b>C</b>
Transportation	C 3.20	Determine location of General Plan road rights of way and levels of road improvements needed based primarily upon land uses and travel demand.	General Plan roadways and levels of road improvements are based on the Riverside County General Plan Circulation Element and coordination with the Riverside County Transportation Department and South Valley Implementation Plan. <b>C</b>
Transportation	C 3.24	Provide a street network with quick and efficient routes for emergency vehicles, meeting necessary street widths, turn-around radius, and other factors as determined by the Transportation Department in consultation with the Fire Department and other emergency service providers.	The Kohl Ranch Specific Plan includes Circulation Development Standards which are required of the project and are designed to meet County Transportation and Fire Department requirements. <b>C</b>
Transportation	C 3.26	Plan off-street parking facilities to support and enhance the concept of walkable and transit-	Section V.D.1 of the EIR incorporates mitigation to encourage ridesharing and transit ridership by requiring a portion of commercial parking areas be designated to Park and Ride. Additional mitigation

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		oriented communities.	requires the coordination with areas bus transit service provider to incorporate bus stops and turnouts. <b>C</b>
Transportation	C 4.1	Provide facilities for the safe movement of pedestrians within developments, as specified in the County Ordinances Regulating the Division of Land of the County of Riverside.	The project includes a trail system. This system will include a combination of greenbelts with linkages and sidewalks located adjacent to roads. It will incorporate trails for pedestrians, bicyclists, and equestrians in the form of an integrated system of hard- and soft-surface trails. The trail system will promote non-vehicular access to on-site recreational areas as well as to the schools. <b>C</b>
Transportation	C 4.2	Maximize visibility and access for pedestrians and encourage the removal of barriers (walls, easements, and fences) for safe and convenient movement of pedestrians. Special emphasis should be placed on the needs of disabled persons considering Americans with Disabilities Act (ADA) regulations.	Sidewalks and trails will be incorporated in compliance with County standards. Special considerations for disabled persons were not addressed specifically at this level of analysis. <b>C</b>
Transportation	C 4.3	Assure pedestrian access from developments to existing and future transit routes and terminal facilities through project design.	The project includes a trail system. This system will include a combination of greenbelts with linkages and sidewalks located adjacent to roads. It will incorporate trails for pedestrians, bicyclists, and equestrians in the form of an integrated system of hard- and soft-surface trails. The trail system will promote non-vehicular access to on-site recreational areas as well as to the schools and future bus stops. <b>C</b>
Transportation	C 4.4	Plan for pedestrian access that is consistent with road design standards while designing street and road projects. Provisions for pedestrian paths or sidewalks and timing of traffic signals to allow safe pedestrian street crossing shall be included.	The project includes a trail system. This system will include a combination of greenbelts with linkages and sidewalks located adjacent to roads. It will incorporate trails for pedestrians, bicyclists, and equestrians in the form of an integrated system of hard- and soft-surface trails. The trail system will promote non-vehicular access to on-site recreational areas as well as to the schools and future bus stops. <b>C</b>
Transportation	C 4.9	Encourage, where feasible, the construction of overpasses or undercrossings where trails intersect arterials, urban arterials, expressways, or freeways.	Trails within the specific plan cross Avenue 62 which is classified as an expressway. It is infeasible to construct an undercrossing due to the high groundwater table in the area. Constructing an overcrossing which would need to span the 220-foot right-of-way and meet American's with Disabilities Act requirements would not be economically feasible. <b>NA</b>
Transportation	C 6.3	Limit access points and intersections of streets and highways based upon the road's General Plan classification and function. Access points must be located a sufficient distance away from major intersections to allow for safe, efficient operation.	Sight distance at the project entrance roadways shall be reviewed with respect to standard County of Riverside sight distance standards at the time of preparation of final grading, landscape, and street improvement plans. <b>C</b>
Transportation	C 7.2	Work with property owners to reserve right-of-way for potential CETAP corridors through site design, dedication, and land acquisition, as appropriate.	Three corridors are being examined in western Riverside County for the preservation of rights-of-way for future multi-modal transportation facilities. These include the Beaumont/Banning to Temecula transportation corridor, the Moreno Valley to San Bernardino corridor, and the Hemet to Corona/Lake Elsinore corridor. None of these corridors pass through the project area. <b>N/A</b>
Transportation	C 7.9	Review development applications in cooperation with RCTC and as appropriate, to identify the precise location of CETAP corridors and act to preserve such areas from any permanent encroachments, pending dedication or acquisition.	Three corridors are being examined in western Riverside County for the preservation of rights-of-way for future multi-modal transportation facilities. These include the Beaumont/Banning to Temecula transportation corridor, the Moreno Valley to San Bernardino corridor, and the Hemet to Corona/Lake Elsinore corridor. None of these corridors pass through the project area. <b>N/A</b>
Transportation	C 11.4	Offer incentives to new development to encourage it to locate in a transit-oriented area such as a community center or along a designated transit corridor near a station.	EIR section V.C.6 incorporates mitigation to encourage mixed-use services to reduce off-site vehicle trips. Commercial and Industrial uses are concentrated along Avenue 62 which is a main transit corridor and coordination efforts with SunLine Bus Transit are required to incorporate bus routes along this segment. <b>C</b>
Transportation	C 11.5	Accommodate transit through higher densities, innovative design, and right-of-way dedication.	Higher density residential land uses are proposed by the Kohl Ranch Specific Plan. These higher densities will facilitate the need for transit-oriented development. EIR section V.D.1 incorporates

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			mitigation to coordinate with SunLine Bus Agency to incorporate bus stops and turnouts. <b>C</b>
Transportation	C 11.7	Promote development of transit centers and park-n-rides for use by all transit operators, including development of multi-modal facilities.	Section V.D.1 of the EIR incorporates mitigation to encourage ridesharing and transit ridership by requiring a portion of commercial parking areas be designated to Park and Ride on weekdays between 6:00am and 6:00pm. Additional mitigation requires the coordination with areas bus transit service provider to incorporate bus stops and turnouts. <b>C</b>
Transportation	ECVAP 11.1	Design and develop the vehicular roadway system per Figure 8, Circulation, and in accordance with the functional classifications and standards in the System Design, Construction and Maintenance section of the General Plan Circulation Element.	Roadways have been designed in accordance with the standards in the System Design, Construction and Maintenance section of the General Plan Circulation Element. <b>C</b>
Transportation	ECVAP 11.2	Maintain the County's roadway Level of Service standards as described in the Level of Service section of the General Plan Circulation Element.	The project has been analyzed in the Traffic Study to meet the required LOS standards for the various roadway types located within the project's sphere of influence. Section V.D.1 of the EIR incorporates mitigation measures to reduce impacts and ensure LOS standards are below the required levels. <b>C</b>
Transportation	ECVAP 11.3	Separate vehicular traffic from pedestrian and equestrian traffic in order to avoid potential hazards and where traffic volumes justify the costs.	Trails are designed in accordance with Riverside County Transportation Department and County Regional Parks and Recreation District standards. <b>C</b>
Transportation	ECVAP 12.1	Coordinate with railroad companies to maintain and enhance railroad facilities south of the City of Coachella in accordance with the Rail System section of the General Plan Circulation Element.	The project does not propose the construction of new or modified existing rail line. The nearest rail line is over 7,500 feet from the project site. <b>N/A</b>
Transportation	ECVAP 12.2	Coordinate with railroad companies to encourage grade-separated crossings in and near Mecca.	The Kohl Ranch Specific Plan is not located in or near Mecca. <b>N/A</b>
Transportation	ECVAP 13.1	Implement the Trails and Bikeway System, Figure 9, as discussed in the Non-motorized Transportation section of the General Plan Circulation Element.	The County Trail and Bikeway System has been implemented in accordance with the Non-motorized Transportation section of the General Plan Circulation Element and per the County Transportation Department and County Regional Parks and Recreation District. <b>C</b>
Transportation	ECVAP 13.2	At signalized intersections, special equestrian push buttons (located at heights usable by persons riding on horseback) will be considered and installed where appropriate. Priority shall be given to those signalized intersections identified as trail crossings.	The inclusion of specialized push buttons would be determined at the time signalized intersections are proposed/built. There are no requirements or prohibitions in the specific plan for special equestrian push buttons. <b>C</b>
Transportation	ECVAP 13.3	As resources permit, consideration should be given to the placement of signs along those public rights-of-way identified as regional or community trail alignments alerting motorists to the possible presence of equestrian, bicycle and pedestrian (i.e., non-motorized) traffic.	The Kohl Ranch Specific Plan Design Guidelines incorporate requirements for placement of directional, traffic safety and public service signs. <b>C</b>
Transportation	LU 12.1	Provide land use arrangements that reduce reliance on the automobile and improve opportunities for pedestrian, bicycle, and transit use in order to minimize congestion and air pollution.	The Specific Plan proposes sidewalks along all streets and an extensive network of trails along most major roadways as a way to offer pedestrian and "bicycle-friendly" means of travel with the intent of providing alternatives the use of the automobile for internal project area travel as a way to help improve air quality. Trails will also encourage the use of bus transit. <b>C</b>
Transportation	LU 12.2	Locate employment and service uses in areas that are easily accessible to existing or planned transportation facilities.	Specific Plan is a concentrated residential development that proposes commercial and service uses near Avenue 62, an expressway. The SunLine Transit Agency does not currently provide bus service to this area however, section V.D.1 of the EIR incorporates mitigation to require coordination with the agency to incorporate bus stops and turnouts. Addendum Figure 15, provides potential stops and turnout locations based upon the most current circulation plan. Additionally, mitigation requires a portion of commercial parking areas be designated for Park and Ride facilities. <b>C</b>
Transportation	LU 12.3	Locate transit stations in community centers and at places of public, employment,	Addendum Figure 15 identifies potential bus stops and turnouts in areas designated for commercial and industrial uses where employment, public and entertainment concentrations are expected to

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		entertainment, recreation, and residential concentrations.	occur as well as areas designated for residential use. Additionally, section V.D.1 of the EIR incorporates mitigation to require coordination with the SunLine Transit Agency to incorporate bus stops and turnouts. Further, mitigation requires a portion of commercial parking areas be designated for Park and Ride facilities. <b>C</b>
Transportation	LU 12.4	Incorporate safe and direct multi-modal linkages in the design and development of projects, as appropriate.	The proposed project has been designed to incorporate sidewalks for pedestrians along all roadways. This system will provide the members of community an alternative method of travel in order to reduce residents' reliance on the automobile to reach these destinations. Vehicular access to all portions of the project site will be designed and developed in compliance with Riverside County standards. An extensive system of trails for bikes and pedestrians connects residential areas to local services and shopping, as well as to regional trails and open space. <b>C</b>
Transportation	LU 12.5	Allow traffic-calming elements, such as narrow streets, curb bulbs, textured paving, and landscaping, where appropriate.	Traffic-calming elements such as curvilinear streets and cul-de-sacs are encouraged and proposed within The Kohl Ranch Specific Plan site development guidelines. Landscaping will also be utilized as an integral part of the internal roadways as a traffic-calming element. <b>C</b>
Transportation	LU 12.6	Require that adequate and accessible circulation facilities exist to meet the demands of a proposed land use.	Implementation of mitigation measures described in the Traffic Section of this EIR section V.D.1. and updated measures provided in the EIR Addendum and conditions of approval for SP303A2 will ensure that demands of the project on circulation will be met. <b>C</b>
Utilities	OS 1.1	Balance consideration of water supply requirements among urban, agricultural, and environmental needs so that sufficient supply is available to meet each of these different needs.	A Water Supply Assessment has been prepared which determined that the Coachella Valley Water District will have adequate water to supply the proposed project and its various uses. <b>C</b>
Utilities	OS 2.1	Encourage the installation and use of water conserving systems such as dry wells and graywater systems, where feasible, in new developments. The installation of cisterns or infiltrators shall be encouraged to capture rainwater from roofs for irrigation in the dry season and flood control during heavy storms.	This project will utilize a "dual water system" consisting of potable and non-potable water systems. The potable system will provide water for domestic purposes and provide water for fire protection. The non-potable system will provide water for irrigation purposes. <b>C</b>
Utilities	OS 2.3	Encourage the use of native, drought-resistant landscaping planting.	The Kohl Ranch Specific Plan Landscape Guidelines require the implementation of water use efficiency measures such as use of drought tolerant plants, grouping plants with similar irrigation requirements, use of mulch, and water efficient irrigation systems, consistent with County Ordinance 859, Coachella Valley Water District Landscape Ordinance 1302.1 and the Thermal Design Guidelines plant palette. Additionally, the Kohl Ranch Specific Plan. <b>C</b>
Utilities	OS 2.4	Support and engage in educational outreach programs with other agencies that promote water conservation and widespread use of water-saving technologies.	The Kohl Ranch Specific Plan requires that a homeowners association shall be established for the specific plan area. The homeowners association will enforce any property and landscaping maintenance requirements established by the association and as appropriate will provide homeowners with information regarding maintenance methods. Ongoing educational programs including property maintenance methods are a part of The Kohl Ranch Community. <b>C</b>
Utilities	OS 4.5	Retain storm water at or near the site of generation for percolation into the groundwater to conserve it for future uses and to mitigate adjacent flooding.	The project, as indicated on the Drainage Plan of the Specific Plan, on-site runoff will be intercepted and conveyed through the development by means of a conventional catch basin, swales and storm drain system, in accordance with Coachella Valley Water District standards, so that the increase in on-site runoff resulting from the development will be detained on-site and allowed to percolate into the ground or be captured and reused. <b>C</b>
	ECVAP 9.1	Conserve and protect watersheds and water supply through adherence to policies contained in the Open Space, Habitat and Natural Resource Preservation and Land Use Designation Policies sections found in the General Plan Land Use Element, and the Water Resources section of the General Plan Multipurpose Open Space Element.	This project will utilize a "dual water system" consisting of potable and non-potable water systems. The potable system will provide water for domestic purposes and provide water for fire protection. The non-potable system will provide water for irrigation purposes. Additionally, the Kohl Ranch Specific Plan



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			Landscape Guidelines require the implementation of water use efficiency measures such as use of drought tolerant plants, grouping plants with similar irrigation requirements, use of mulch, and water efficient irrigation systems and are consistent with County Ordinance 859, Coachella Valley Water District Landscape Ordinance 1302.1 and the Thermal Design Guidelines plant palette. <b>C</b>
Utilities	S 4.10	Require all proposed projects anywhere in the County to address and mitigate any adverse impacts that it may have on the carrying capacity of local and regional storm drain systems.	The project, as shown on the Drainage section of the Specific Plan, storm flows will be intercepted and conveyed through the project area through utilization of graded swales and drainage pipe where they are discharged over weirs. Additionally, the use of on-site retention basins will control runoff flows. Section V.C.5, V.C.7 and V.D.2 analyze and incorporate mitigation to reduce impacts on carrying capacity of local and regional storm drains to less than significant. <b>C</b>
Utilities	LU 5.3	Review all Projects for consistency with individual urban water management plans.	A Water Supply Assessment has been prepared which considered the Coachella Valley Water District's Urban Water Management Plan and determined that the District has adequate water to supply to serve the proposed The Kohl Ranch Specific Plan. <b>C</b>
Utilities	LU 17.2	Require that adequate and available circulation facilities, water resources, sewer facilities and/or septic capacity exist to meet the demands of the proposed land use.	At the present time there are not adequate facilities available to meet all the needs of The Kohl Ranch. However, through County regulations and mitigation measures, which include the payment of development impact fees, and the construction of utility facilities, facilities can be constructed to meet the needs of the proposed project. A Water Supply Assessment has been prepared for this project and indicates that water resources are available to serve this project. <b>C</b>
Utilities	OS 2.2	Where feasible, decrease stormwater runoff by reducing pavement in development areas, and by design practices such as permeable parking bays and porous parking lots with bermed storage areas for rainwater detention.	The project, as shown on the Drainage section of the Specific Plan, storm flows will be intercepted and conveyed through the project area through utilization of graded swales and drainage pipe where they are discharged over weirs. Additionally, the use of on-site retention basins will control runoff flows. <b>C</b>
Utilities	LU 5.2	Monitor the capabilities of infrastructure and services in coordination with service providers, utilities, and outside agencies and jurisdictions to ensure that growth does not exceed acceptable levels of services.	The project proponent and utility providers will monitor growth and utility demand to ensure that the utility agency maintains adequate levels of service to the area. The payment of Riverside County's required development impact fees (Ord. No. 659) and the implementation of mitigation measures listed in the EIR shall ensure that growth is provided with appropriate infrastructures for adequate level of services. <b>C</b>
Utilities	LU 5.4	Ensure that development and conservation land uses do not infringe upon existing public utility corridors, including free owned rights-of-way and permanent easements, whose true land use is that of "public facilities". This policy will ensure that the "public facilities" designation governs over what otherwise may be inferred by the large scale general plan maps.	The Kohl Ranch designates a Public Facilities planning area and will ensure that land uses do not infringe on existing public utility corridors, such as the Avenue 64 Evacuation Channel that traverses through the project site. <b>C</b>
Utilities	OS 11.3	Permit and encourage the use of passive solar devices and other state-of- the-art energy resources.	The California Green Building Standards Code (proposed Part 11, Title 24) was adopted as part of the California Building Standards Code in the CCR. Part 11 establishes voluntary standards, that will become mandatory in the 2010 edition of the Code, on planning and design for sustainable site development, energy efficiency (in excess of the California Energy Code requirements), water conservation, material conservation, and internal air contaminants. The Project will be subject to these mandatory standards. <b>C</b>
Utilities	OS 16.1	Continue to implement Title 24 of the State Building Code. Establish mechanisms and incentives to encourage architects and builders to exceed the energy efficiency standards of Title 24.	The Greenhouse Gas section of the Addendum incorporates mitigation to continue implementation of Title 24 but with an exceedence of standards by 15%. <b>C</b>
Utilities	OS 16.2	Specify energy efficient materials and systems, including shade design technologies, for County buildings.	Although it not specifically planned at this point, any potential future County buildings will ensure compliance with this policy. <b>C</b>

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Utilities	OS 16.3	Implement public transportation systems that utilize alternative fuels when possible, as well as associated urban design measures that support alternatives to private automobile use.	EIR section V.D.1 incorporates mitigation to provide for potential bus transit. The project includes a trail system. This system will include a combination of greenbelts with linkages and sidewalks located adjacent to roads. It will incorporate trails for pedestrians, bicyclists, and equestrians in the form of an integrated system of hard- and soft-surface trails. The trail system will promote non-vehicular access to on-site recreational areas as well as to the schools. <b>C</b>
Utilities	OS 16.5	Utilize federal, state, and utility company programs that encourage energy conservation.	The Greenhouse Gas section of the Addendum incorporates mitigation to continue implementation of Title 24 with an exceedance of standards by 15%. Additionally, EIR section V.C.6 incorporates mitigation to promote usage of energy saving equipment. <b>C</b>
Utilities	OS 16.7	Promote purchasing of energy-efficient equipment based on a fair return on investment, and use energy-savings estimates as one basis for purchasing decisions for major energy-using devices.	EIR section V.C.6 incorporates mitigation to promote usage of energy saving equipment. <b>C</b>
Utilities	OS 16.8	Promote coordination of new public facilities with mass transit service and other alternative transportation services, including bicycles, and design structures to enhance mass transit, bicycle, and pedestrian use.	EIR section V.D.1 incorporates mitigation to provide for potential bus transit. The project includes a trail system. This system will include a combination of greenbelts with linkages and sidewalks located adjacent to roads. It will incorporate trails for pedestrians, bicyclists, and equestrians in the form of an integrated system of hard- and soft-surface trails. The trail system will promote non-vehicular access to on-site recreational areas as well as to the schools. <b>C</b>
Utilities	OS 16.9	Encourage increased use of passive, solar design and day-lighting in existing and new structures.	The Addendum incorporates mitigation to improve Title 24 standards by 15%. While not specifically required in the Kohl Ranch Specific Plan, use of passive, solar design and day-lighting in new structures could help reach this goal. <b>C</b>
Utilities	AQ 5.1	Utilize source reduction, recycling and other appropriate measures to reduce the amount of solid waste disposed of in landfills.	The project will participate in the County's recycling program. The Greenhouse Gas section of the Addendum incorporates mitigation that will require separate recycling and waste receptacles at each house and commercial site. <b>C</b>