

FORM APPROVED COUNTY COUNSEL  
 BY: GREGORY P. PRIAMOS 8/20/15  
 DATE

**SUBMITTAL TO THE BOARD OF SUPERVISORS  
 COUNTY OF RIVERSIDE, STATE OF CALIFORNIA**

111B



**FROM:** TLMA - Planning Department

**SUBMITTAL DATE:**  
 08/19/15

**SUBJECT:** (FTA 2014-06) **CONDITIONAL USE PERMIT NO. 3711, CHANGE OF ZONE NO. 7848, ORDINANCE NO. 348.4809, and NOISE EXEMPTION NO. 00007** – Intent to adopt a mitigated negative declaration – Applicant: Lytton Vineyard and Winery – Engineer/Representative: OZ Bratene – Third Supervisorial District – Rancho California Zoning Area – Southwest Area Plan – Agriculture: Agriculture (AG: AG) (10 Acres Minimum) – Temecula Valley Wine Country Policy Area – Winery District (20 Acres Minimum) – Location: The project site is located south of Rancho California Road, westerly of Calle Contento, northerly of Calle Bella Loma, and east of Anza Road.- 22.6 Gross Acres – Zoning: Citrus/Vineyard - 10 acres minimum (C/V-10) Zone. **REQUEST:** The project includes amending the zone classification from Citrus Vineyard -10 acre min (C/V-10) Zone to Wine Country - Winery (WC-W) Zone, modifying uses associated with an existing winery which will classify the winery as a Class V Winery under the WC-W Zone, and Noise Exemption to permit the use amplified sounds during special events (outdoor concerts and indoor weddings/receptions). The Class V Winery will include the previously

(continued on next page)

Departmental Concurrence

Steve Weiss  
 Steve Weiss, AICP  
 Planning Director

Juan Perez  
 Juan Perez  
 TLMA Director

FINANCIAL DATA	Current Fiscal Year:	Next Fiscal Year:	Total Cost:	Ongoing Cost:	POLICY/CONSENT (per Exec. Office)
COST	\$	\$	\$	\$	Consent <input type="checkbox"/> Policy <input checked="" type="checkbox"/>
NET COUNTY COST	\$	\$	\$	\$	

**SOURCE OF FUNDS:** \_\_\_\_\_ **Budget Adjustment:** \_\_\_\_\_  
 \_\_\_\_\_ **For Fiscal Year:** \_\_\_\_\_

**C.E.O. RECOMMENDATION:**

APPROVE  
Steven C. Horn  
 BY: Steven C. Horn  
 Steven C. Horn

County Executive Office Signature

**MINUTES OF THE BOARD OF SUPERVISORS**

On motion of Supervisor Ashley, seconded by Supervisor Benoit and duly carried, IT WAS ORDERED that the above matter is approved as recommended and that Ordinance 348.4809 is adopted with waiver of the reading.

Ayes: Jeffries, Tavaglione, Ashley and Benoit  
 Nays: None  
 Absent: None  
 Abstain: Washington  
 Date: September 15, 2015  
 xc: Planning, Co.Co., MC, COB

Kecia Harper-Ihem  
 Clerk of the Board

By: Karen Barton  
 Deputy

- A-30
- 4/5 Vote
- Positions Added
- Change Order

Prev. Agn. Ref.:

District: 3

Agenda Number:

16-1

**SUBMITTAL TO THE BOARD OF SUPERVISORS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA  
FORM 11: CONDITIONAL USE PERMIT NO. 3711, CHANGE OF ZONE NO. 7848, NOISE EXEMPTION  
NO. 00007, ORDINANCE NO. 348.4809**

**DATE:** 8/19/15

**PAGE:** Page 3 of 4

The project modifies the permitted uses associated with the winery. The modifications will result in a Class V Winery as defined in the Wine Country - Winery Zone that includes the following uses:

- 1) Building A one bedroom-bed and breakfast inn - reservation only used for weddings - 768 SF and 158 SF patio area;
- 2) Building B Winery and special occasion facility: wine tasting area, production areas, special occasion facility, office space, storage, catering prep area, grounds keeper quarter, includes an outdoor concert area. Special events includes one hundred and twenty-five (125) weddings, twenty-four (24) Ticketed Events, twelve (12) outdoor concerts and four(4) association events. Outdoor concerts will have approximately 350 attendees, while the other events will have up to 150 guests per event. Outdoor concerts will be held in the afternoons (9,702 SF with a 2,467 SF patio area).
- 3) Building C restaurant, outdoor fireplace, office space, storage; (4,786 SF with 3,615 SF a patio area).
- 4) Building D special occasion facility used to host special occasion events such as wine club events. Wine Tasting area and serving area; 24 wine club event per year with 150 guests per event. May be utilized to host events listed under Building B (1,632 SF with a 2,467 SF patio area).
- 5) Establish an overflow parking area to add 95 parking spaces; Project site will accommodate 172 parking spaces total with an additional 4 Limo spaces.
- 6) Include a pond near the center of the project site. The existing storage facility "Building E" (1,632SF) and the marketplace located in Building C approved under PP6934 and PP12661 will remain operating on site. The Class V Winery will operate within the same development envelop. Additional buildings or structures are not proposed with this project. Nor does the project include additional grading.

Per year, the special occasion facility will be used to host the following special occasions: 12 outdoor evening (amplified sounds with up to 350 guests), 125 weddings or receptions (indoor music with up to 115 guests), 24 ticketed events (no amplified music with up to 150 guests), 24 wine club events (no amplified music with up to 150 guests), and 4 Association Events (no amplified music with up to 150 guests).

The hours of operation associated with the incidental uses associated the Class V winery are limited to:

- Shipping Operations: 9:00 a.m. - 7:00 p.m.
- Wine Tasting: 9:00 a.m. - 7:00 p.m.
- Special Occasion Facility 10:00 a.m. - 12:00 a.m., except for outdoor concerts where the hours are limited to 4:00 p.m. - 10:00 p.m. Outdoor events are prohibited after 10:00 p.m.
- Marketplace and restaurant 9:00 a.m. to 10:00 p.m.

WC-W Zone development standard, Ordinance No. 348 Section 14.93 C 4, prohibits the use of amplified sounds during special events unless an exception to the Ordinance 847 Regulating Noise is granted. Ordinance No. 847 permits sound amplifying equipment and live music between the hours of 8 a.m. to 10:00 p.m. and prohibits sound emanating from sound amplifying equipment or live music shall not be audible to the human ear at a distance greater than two hundred (200) feet from the equipment or music. Noise Exemption No. 00007 seeks to permit continuous events with amplified sounds for the special occasion events.

In terms of noise impacts, the nearest sensitive receptor is a residential unit that is located 650 feet north of the project site. Potential noise impacts will be mitigated through site-specific noise-attenuating features and site design. All live amplified music/bands/DJ equipment must face in a south or southeast direction, outdoor speakers for all scheduled events shall be oriented toward the center of the winery property and away from adjoining land uses, live bands and DJs must be positioned as far away as possible from the project site's

**SUBMITTAL TO THE BOARD OF SUPERVISORS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA  
FORM 11: CONDITIONAL USE PERMIT NO. 3711, CHANGE OF ZONE NO. 7848, NOISE EXEMPTION  
NO. 00007, ORDINANCE NO. 348.4809**

**DATE:** 8/19/15

**PAGE:** Page 2 of 4

entitled uses: a winery, wine tasting area, retail wine sales, and gift sales area, and the following new uses a special occasion facility, one bedroom-bed and breakfast inn, and a restaurant. The winery building will include a grounds keeper unit located on the second floor. The project will establish the overflow parking area to include 95 additional parking spaces and a pond in the center of the project site. The project site will provide 172 parking spaces and 4 limo spaces total to accommodate these uses. The Class V Winery will operate within the existing development envelop. No additional grading or structures or buildings are proposed with this project. Special events include 12 outdoor events per year (amplified sounds), 125 weddings (indoor music), 24 ticketed events (no amplified music), 24 wine club events (no amplified music), and 4 Association Events (no amplified music). The previously permitted uses also include a marketplace, vineyard and a storage barrel room will continue to operate onsite and will not change as part of this project.

**RECOMMENDED MOTION:** That the Board of Supervisors:

1. **ADOPT** a MITIGATED NEGATIVE DECLARATION for ENVIRONMENTAL ASSESSMENT NO. 42724 , based on the findings incorporated in the initial study and the conclusion that the project will not have a significant effect on the environment; and,
2. **APPROVE** CHANGE OF ZONE NO. 7848, amending the zoning classification for the subject properties from C/V-10 Zone to WC-W Zone, in accordance with Exhibit #3, based upon the findings and conclusions incorporated in the staff report; and,
3. **ADOPT** ORDINANCE NO. 348.4809 amending the zoning in the Rancho California Area shown on Map No. 2.2377 Change of Zone No. 7848 attached hereto and incorporated herein by reference; and,
4. **APPROVE** CONDITIONAL USE PERMIT NO. 3711, subject to the attached conditions of approval, and based upon the findings and conclusions incorporated in the staff report; and,
5. **APPROVE** NOISE EXEMPTION NO. 00007, subject to the attached conditions of approval, and based upon the findings and conclusions incorporated in the staff report.

**BACKGROUND:**

**Summary**

General Plan Amendment No. 1077 (GPA No. 1077), adopted on March 11, 2014 placed the project site within the Wine Country – Winery District of the Temecula Valley Wine Country Policy Area. The project includes a zone change from Citrus Vineyard - 10 min. (C/V-10) Zone to Wine Country - Winery (WC-W) Zone to establish General Plan and Zoning consistency. Under the WC-W Zone, the proposed project will classify the existing winery into a Class V Winery. The WC-W Zone development standards for a special occasion facility prohibit the use of outdoor amplified sounds unless an exemption is granted through Ordinance No. 847. The Noise Exemption No. 00007 seeks to permit the use of amplified sounds for 12 outdoor evening events.

The winery currently operates under approved plot plans Plot Plan No. 6934 and Plot Plan No. 12661, approved respectfully in 1982 and 1992. The uses associated with the existing winery operate in 5 existing buildings. Building A is used as an office (768 SF) with a 158 SF patio area, Building B includes a wine tasting area and production facility (9,702 SF) with a 5,611 SF patio area, Building C includes a Marketplace (retail area and delicatessen) (4,786 SF) and a 3,615 SF patio area, Building D is used as an office (1,632 SF) with a 2,467 SF patio area, and Building E is used as a barrel storage facility (1,536 SF). The total development envelop area is 5.40 acres. The project site also has 16.21 acres planted in vineyard. The site has 77 paved parking spaces to accommodate these uses with an additional unpaved parking area for overflow used during winery events.

**SUBMITTAL TO THE BOARD OF SUPERVISORS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA  
FORM 11: CONDITIONAL USE PERMIT NO. 3711, CHANGE OF ZONE NO. 7848, NOISE EXEMPTION  
NO. 00007, ORDINANCE NO. 348.4809**

**DATE:** 8/19/15

**PAGE:** Page 4 of 4

northern property line, live amplified music and DJ equipment should be located within an enclosed structure after 10:00 p.m., all special event vendors shall be notified regarding noise conditions of approval, outdoor special events shall be limited to hours of 8:00 am to 10:00 pm Monday through Sunday and clean-up activities associated with special events shall terminate no later than midnight, and padding/carpeting shall be installed under music speakers for early absorption of music for indoor special occasion facility.

To further safeguard the community from excessive noise, the project has been conditioned that after issuance of two code violation notices for excessive noise, noise measurements shall be performed during every event to determine if the Noise Ordinance and project conditions are being followed during the special events. If violations of the Noise Ordinance or project conditions are found, the County shall reconsider allowed hours of operations, number of guests, and frequency of special events per year or approval of the special occasion facility.

Implementation of these site specific noise-attenuating features will dampen the potential noise impacts therefore the project would not be detrimental to the health, safety or general welfare of the community.

The project was granted fast tract status by the Economic Development Agency because the renovation of the existing winery will create 60 full time jobs, 50 construction jobs (remodel effort), and provide a capital investment of \$8,000,000.

**Impact on Citizens and Businesses**

The impacts of this project have been evaluated through the environmental review and public hearing process.

**ATTACHMENTS:**

- A. **Ordinance No. 348.4809**
- B. **Staff Report**



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STATE OF CALIFORNIA        )  
  )  
COUNTY OF RIVERSIDE        )        ss

I HEREBY CERTIFY that at a regular meeting of the Board of Supervisors of said county held on September 15, 2015, the foregoing ordinance consisting of 2 Sections was adopted by the following vote:

AYES:                   Jeffries, Tavaglione, Benoit and Ashley  
NAYS:                   None  
ABSENT:                None  
ABSTAIN:               Washington

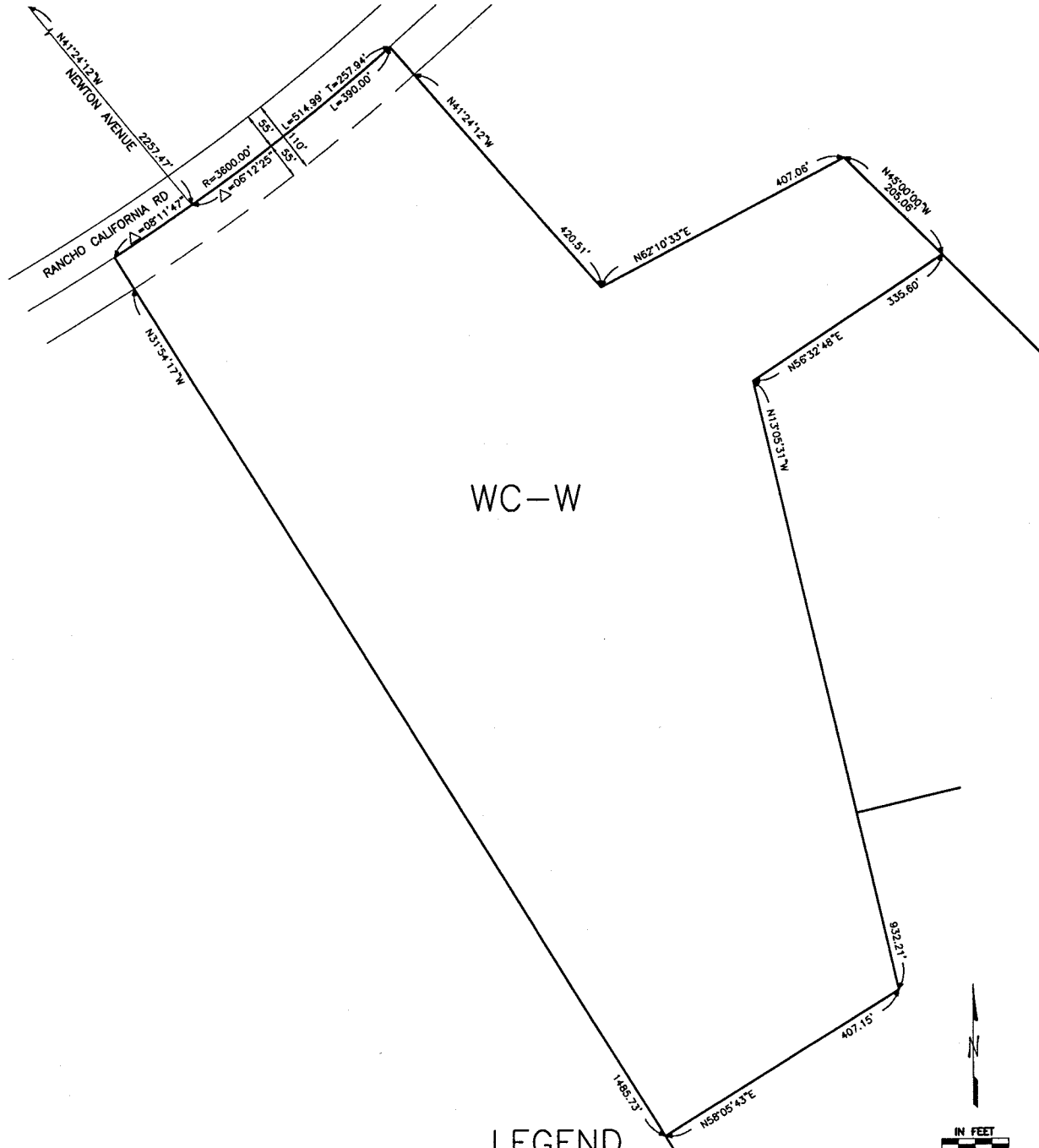
DATE:           September 15, 2015

KECIA HARPER-IHEM  
Clerk of the Board

BY: *[Signature]*  
Deputy

SEAL

RANCHO CALIFORNIA ZONING AREA  
 PROJ. SEC.26, T.7 S., R.2 W., S.B.B.& M.

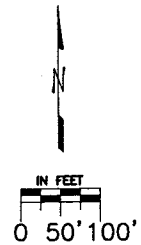


WC-W

LEGEND

WC-W

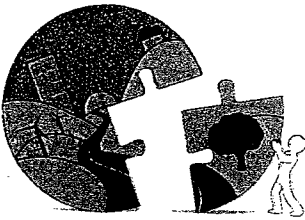
WINE COUNTRY-WINERY  
 MAP NO. 2.2377



CHANGE OF OFFICIAL ZONING PLAN  
 AMENDING  
 MAP NO. 2, ORDINANCE NO.348

CHANGE OF ZONE CASE NO. 7848  
 ADOPTED BY ORDINANCE NO. 348.4809

DATE:  
 RIVERSIDE COUNTY BOARD OF SUPERVISORS



# RIVERSIDE COUNTY PLANNING DEPARTMENT

Steve Weiss, AICP  
Director

Original Negative Declaration/Notice of Determination was routed to County Clerks for posting on.

9/17/15 Date                                           Initial

TO:  Office of Planning and Research (OPR)  
P.O. Box 3044  
Sacramento, CA 95812-3044  
 County of Riverside County Clerk

FROM: Riverside County Planning Department  
 4080 Lemon Street, 12th Floor  
P. O. Box 1409  
Riverside, CA 92502-1409

38686 El Cerrito Road  
Palm Desert, California 92211

SUBJECT: Filing of Notice of Determination in compliance with Section 21152 of the California Public Resources Code.  
Conditional Use Permit No. 3711, Change of Zone No. 7848, Noise Exemption No. 00007

Project Title/Case Numbers

Phayvanh Nanthavongdouangsy

951-955-6573

County Contact Person

Phone Number

N/A

State Clearinghouse Number (if submitted to the State Clearinghouse)

Lytton Vineyard and Winery

24910 Las Brisas Rd. Ste. 102 Murrieta CA 92562

Project Applicant

Address

34567 Rancho California Rd. Temecula CA 92592

Project Location

Change of Zone No. 7848 proposes to change the existing zoning of Citrus Vineyard-10 acre min(CV-10) zone to Wine Country-Winery (WC-W) zone. Conditional Use Permit No. 3711 proposes to update an existing winery into a Class V Winery that is permitted in the WC-W Zone. The modification of uses are within the existing development envelop of 5.40 acres and existing buildings. The changes includes converting a deli into a restaurant and including an outdoor fireplace, converting an office building into a one bedroom-bed and breakfast inn to be used by reservations only for weddings, converting an office building into a special occasion facility that will include a wine tasting area and storage, modifying the and wine tasting area. The project proposes to establish the overflow parking area to add an additional 95 parking spaces. The total parking spaces for the project site is 172 spaces plus 4 limo spaces; the project site will also include a pond located in the center of the project site. The special events includes 125 wedding/receptions, 24 ticketed events, 24 wine club events, 4 wine association events and 12 outdoor evening concerts. The existing uses that will remain onsite include 16.21 acres of vineyards, marketplace and a barrel storage facility. Noise Exemption No. 00007 was applied to allow amplified sounds to be used during continuous events. Events such as outdoor concerts and indoor weddings/receptions will utilize amplified sounds. All other events will not use amplified sounds. Based on the Environmental Assessment No. 42724 evaluation, it was determined that although the proposed Project could have a significant effect on the environment, there will not be a significant effect in this case because revisions in the Project have been made or agreed to by the Project proponent. A Mitigation Negative Declaration was prepared.

Project Description

is to advise that the Riverside County Board of Supervisors, as the lead agency, has approved the above-referenced project on 9/15/15 and has made the following determinations regarding that project:

1. The project WILL NOT have a significant effect on the environment.
2. A Mitigated Negative Declaration was prepared for the project pursuant to the provisions of the California Environmental Quality Act (\$2,210.00 + \$50.00) and reflect the independent judgment of the Lead Agency.
3. Mitigation measures WERE made a condition of the approval of the project.
4. A Mitigation Monitoring and Reporting Plan/Program WAS adopted.
5. A statement of Overriding Considerations WAS NOT adopted for the project.
6. Findings were made pursuant to the provisions of CEQA.

This is to certify that the Mitigated Negative Declaration and earlier EIR, with comments, responses, and record of project approval is available to the general public at Riverside County Planning Department, 4080 Lemon Street, 12th Floor, Riverside, CA 92501.

[Signature]  
Signature

Board Assistant  
Project Planner Title

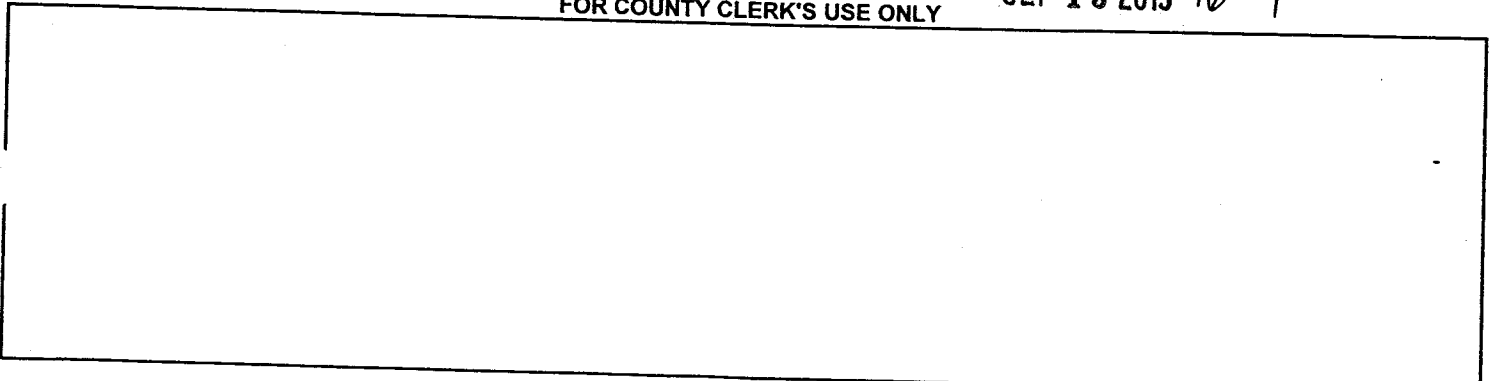
9/15/15  
Date

Date Received for Filing and Posting at OPR: \_\_\_\_\_

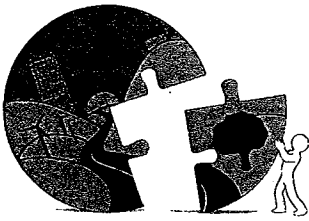
Please charge deposit fee case#: ZEA42724 ZCFG06112.

FOR COUNTY CLERK'S USE ONLY

SEP 15 2015 16-1







# RIVERSIDE COUNTY PLANNING DEPARTMENT

Steve Weiss, AICP  
Director

## MITIGATED NEGATIVE DECLARATION

Project/Case Number: CUP03711/CZ07848/NE00007

Based on the Initial Study, it has been determined that the proposed project, subject to the proposed mitigation measures, will not have a significant effect upon the environment.

PROJECT DESCRIPTION, LOCATION, AND MITIGATION MEASURES REQUIRED TO AVOID POTENTIALLY SIGNIFICANT EFFECTS. (see Environmental Assessment No. 42724 and Conditions of Approval)

COMPLETED/REVIEWED BY:

By: Phayvanh Nanthavongdouangs Title: Planner IV Date: \_\_\_\_\_

Applicant/Project Sponsor: Lytton Vineyards and Winery Date Submitted: August 27, 2014

ADOPTED BY: Board of Supervisors

Person Verifying Adoption: Phayvanh Nanthavongdouangsy Date: 9-15-15

The Mitigated Negative Declaration may be examined, along with documents referenced in the initial study, if any, at:

Riverside County Planning Department 4080 Lemon Street, 12th Floor, Riverside, CA 92501

For additional information, please contact Phavyanh Nanthavongdouangsy at 951-955-6573.

Revised: 10/16/07

Y:\Planning Master Forms\Templates\CEQA Forms\Mitigated Negative Declaration.docx

Please charge deposit fee case#: ZEA42724 ZCFG06112

SEP 15 2015

16-1

FOR COUNTY CLERK'S USE ONLY

COUNTY OF RIVERSIDE  
SPECIALIZED DEPARTMENT RECEIPT  
Permit Assistance Center

\* REPRINTED \* R1411843

4080 Lemon Street  
Second Floor  
Riverside, CA 92502  
(951) 955-3200

39493 Los Alamos Road  
Suite A  
Murrieta, CA 92563  
(951) 600-6100

38686 El Cerrito Road  
Palm Desert, CA 92211  
(760) 863-8277

\*\*\*\*\*  
\*\*\*\*\*

Received from: LYTTON VINEYARD AND WINERY  
paid by: CK 1111  
paid towards: CFG06112 CALIF FISH & GAME: DOC FEE  
EA42724  
at parcel #: 34567 RANCHO CALIFORNIA RD TEM  
appl type: CFG3

\$2,180.00

By MGARDNER Oct 29, 2014 15:22  
posting date Oct 29, 2014

\*\*\*\*\*  
\*\*\*\*\*

Account Code	Description	Amount
658353120100208100	CF&G TRUST	\$2,180.00

Overpayments of less than \$5.00 will not be refunded!  
Additional info at [www.rctlma.org](http://www.rctlma.org)

COUNTY OF RIVERSIDE  
SPECIALIZED DEPARTMENT RECEIPT  
Permit Assistance Center

\* REPRINTED \* R1409406

4080 Lemon Street  
Second Floor  
Riverside, CA 92502  
(951) 955-3200

39493 Los Alamos Road  
Suite A  
Murrieta, CA 92563  
(951) 600-6100

38686 El Cerrito Road  
Palm Desert, CA 92211  
(760) 863-8277

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Received from: LYTTON VINEYARD AND WINERY \$50.00  
paid by: CK 1065  
paid towards: CFG06112 CALIF FISH & GAME: DOC FEE  
EA42724  
at parcel #: 34567 RANCHO CALIFORNIA RD TEM  
appl type: CFG3

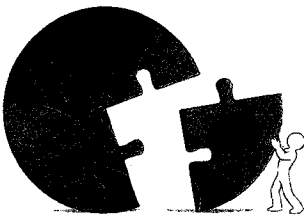
By \_\_\_\_\_ Aug 27, 2014 15:03  
MGARDNER posting date Aug 27, 2014

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Account Code	Description	Amount
658353120100208100	CF&G TRUST: RECORD FEES	\$50.00

Overpayments of less than \$5.00 will not be refunded!

Additional info at [www.rctlma.org](http://www.rctlma.org)



**RIVERSIDE COUNTY**  
**PLANNING DEPARTMENT**

Steve Weiss, AICP  
Planning Director

111B

**DATE: July 15, 2015**

**TO: Clerk of the Board of Supervisors**

**FROM: Planning Department - Riverside Office**

**SUBJECT: CUP03711/CZ07848/NE00007**

(Charge your time to these case numbers)

**The attached item(s) require the following action(s) by the Board of Supervisors:**

- Place on Administrative Action (Receive & File; EOT)
  - Labels provided If Set For Hearing
    - 10 Day  20 Day  30 day
- Place on Consent Calendar
- Place on Policy Calendar (Resolutions; Ordinances; PNC)
- Place on Section Initiation Proceeding (GPIP)
- Set for Hearing (Legislative Action Required; CZ, GPA, SP, SPA)
- Publish in Newspaper: (1st Dist) Press Enterprise
- Mitigated Negative Declaration
  - 10 Day  20 Day  30 day
- Notify Property Owners (app/agencies/property owner labels provided)

**Designate Newspaper used by Planning Department for Notice of Hearing:**  
(3rd Dist) Press Enterprise

Please place on  
Sept 15, 2015  
BOS Date.  
- Item has been advertised for 9/15/15.

**3 Extra sets were taken to:  
Clerk of the Board**


Riverside Office · 4080 Lemon Street, 12th Floor  
P.O. Box 1409, Riverside, California 92502-1409  
(951) 955-3200 · Fax (951) 955-1811

Desert Office · 77-588 Duna Court, Suite H  
Palm Desert, California 92211  
(760) 863-8277 · Fax (760) 863-7040

"Planning Our Future... Preserving Our Past"

**Agenda Item No.:**  
**Area Plan: Southwest Area Plan**  
**Zoning Area: Rancho California**  
**Supervisorial District: Third**  
**Project Planner: P. Nanthavongdouangsy**  
**Board of Supervisors: September 15, 2015**

**FAST TRACK NO. 2014-06**  
**CONDITIONAL USE PERMIT NO. 3711**  
**CHANGE OF ZONE NO. 7848**  
**NOISE EXEMPTION NO. 00007**  
**ENVIRONMENTAL ASSESSMENT NO. 42724**  
**Applicant: Lytton Vineyard and Winery**  
**Engineer/Representative: OZ Bratene**

  
Steve Weiss, AICP  
Planning Director

## COUNTY OF RIVERSIDE PLANNING DEPARTMENT STAFF REPORT

### PROJECT DESCRIPTION AND LOCATION:

The project includes Change of Zone No. 7848, Conditional Use Permit No. 3711, and Noise Exemption No. 00007.

#### **Change of Zone No. 7848 (CZ07848):**

The Change of Zone proposes to change the existing zoning of Citrus/Vineyard 10 acre minimum (C/V-10) to Wine Country – Winery (WC-W) zone to be consistent with the Temecula Valley Wine Country Policy Area - Winery District.

#### **Conditional Use Permit No. 3711 (CUP No. 3711):**

The Conditional Use Permit is proposing to update an existing winery facility into a Class V Winery that is permitted in the Wine Country - Winery (WC-W) Zone. The project area is approximately 22.6 gross acres and 21.24 net acres.

The winery currently operates under approved Plot Plan No. 6934 and Plot Plan No. 12661, approved respectfully in 1982 and 1992. The uses associated with the existing winery operate in 5 existing buildings. Building A is used as an office (768 SF) with a 158 SF patio area, Building B includes a wine tasting area and production facility (9,702 SF) with a 5,611 SF patio area, Building C includes a Marketplace (retail area and delicatessen) (4,786 SF) and a 3,615 SF patio area, Building D is used as an office (1,632 SF) with a 2,467 SF patio area, and Building E is used as a barrel storage facility (1,536 SF). The total development envelop area is 5.40 acres. The project site also has 16.21 acres planted in vineyard. The site has 76 paved parking spaces to accommodate these uses with an additional unpaved parking area for overflow used during winery events.

The project modifies the permitted uses associated with the winery. The modifications will result in a Class V Winery as defined in the Wine Country - Winery Zone that includes the following uses:

- 1) Building A one bedroom-bed and breakfast inn - reservation only used for weddings - 768 SF and 158 SF patio area;
- 2) Building B Winery and special occasion facility: wine tasting area, production areas, special occasion facility, office space, storage, catering prep area, grounds keeper quarter, includes an outdoor concert area. Special events includes one hundred and twenty-five (125) weddings, twenty-four (24) Ticketed

Events, twelve (12) outdoor concerts and four(4) association events. Outdoor concerts will have approximately 350 attendees, while the other events will have up to 150 guests per event. Outdoor concerts will be held in the afternoons (9,702 SF with a 2,467 SF patio area).

3) Building C restaurant, outdoor fireplace, office space, storage; (4,786 SF with 3,615 SF a patio area).

4) Building D special occasion facility used to host special occasion events such as wine club events. Wine Tasting area and serving area; 24 wine club event per year with 150 guests per event. May be utilized to host events listed under Building B (1,632 SF with a 2,467 SF patio area).

5) Establish overflow parking area to add 95 parking spaces; Project site will accommodate 172 parking spaces total with an additional 4 Limo spaces.

6) Include a pond near the center of the project site. The existing storage facility "Building E" (1,632SF) and the marketplace located in Building C approved under PP6934 and PP12661 will remain operating on site.

The Class V Winery will operate within the existing development envelop. Additional buildings or structures are not proposed with this project. Nor does the project include additional grading.

Per year, the special occasion facility will be used to host the following special occasions: 12 outdoor evening (amplified sounds with up to 350 guests), 125 weddings or receptions (indoor music with up to 115 guests), 24 ticketed events (no amplified music with up to 150 guests), 24 wine club events (no amplified music with up to 150 guests), and 4 Association Events (no amplified music with up to 150 guests).

The hours of operation associated with the incidental uses associated the Class V winery are limited to:

- Shipping Operations: 9:00 a.m. - 7:00 p.m.
- Wine Tasting: 9:00 a.m. - 7:00 p.m.
- Special Occasion Facility 10:00 a.m. - 12:00 a.m., except for outdoor concerts where the hours are limited to 4:00 p.m. - 10:00 p.m. Outdoor events are prohibited after 10:00 p.m.
- Marketplace and restaurant 9:00 a.m. to 10:00 p.m.

**Location:**

The project site is located at south of Rancho California Road, westerly of Calle Contento, northerly of Calle Bella Loma, and east of Anza Road.

**ISSUES OF POTENTIAL CONCERN:**

***Noise Exemption No. 00007:***

WC-W Zone development standard, Ordinance No. 348 Section 14.93 C 4, prohibits the use of amplified sounds during special events unless an exception to the Ordinance 847 Regulating Noise is granted. Ordinance No. 847 permits sound amplifying equipment and live music between the hours of 8 a.m. to 10:00 p.m. and prohibits sound emanating from sound amplifying equipment or live music shall not be audible to the human ear at a distance greater than two hundred (200) feet from the equipment or music. Noise Exemption No. 00007 seeks to permit continuous events with amplified sounds for special occasion events.

In terms of noise impacts, the nearest sensitive receptor is a residential unit that is located 650 feet north of the project site. Potential noise impacts will be mitigated through site-specific noise-attenuating features and site design. All live amplified music/bands/DJ equipment must face in a south or southeast direction, outdoor speakers for all scheduled events shall be oriented toward the center of the winery property and away from adjoining land uses, live bands and DJs must be positioned as far away as possible from the project site's northern property line, live amplified music and DJ equipment should be located within an enclosed structure after 10:00 p.m., all special event vendors shall be notified regarding noise conditions of approval, outdoor special events shall be limited to hours of 8:00 am to 10:00 pm Monday through Sunday and clean-up activities associated with special events shall terminate no later than midnight and padding/carpeting shall be installed under music speakers for early absorption of music for indoor special occasion facility.

To further safe guard the community from excessive noise, the project has been conditioned that after issuance of two code violation notices for excessive noise, noise measurements shall be performed during every event to determine if the Noise Ordinance and project conditions are being followed during the special events. If violations of the Noise Ordinance or project conditions are found, the County shall reconsider allowed hours of operations, number of guests, and frequency of special events per year or approval of the special occasion facility.

Implementation of these site specific noise-attenuating features will dampen the potential noise impacts therefore the project would not be detrimental to the health, safety or general welfare of the community.

**SUMMARY OF FINDINGS:**

- |  |  |
|--|--|
| 1. Existing General Plan Land Use (Ex. #5):    | Agriculture: Agriculture (AG:AG) (10 acre min) within the Temecula Valley Wine Country Policy Area - Winery District (20 acre min.)                              |
| 2. Surrounding General Plan Land Use (Ex. #5): | Agriculture: Agriculture (AG:AG) (10 acre min) within the Temecula Valley Wine Country Policy Area - Winery District (20 acre min.)                              |
| 3. Proposed Zoning (Ex. #3):                   | Wine Country - Winery (WC - W) Zone  |
| 4. Surrounding Zoning (Ex. #3):                | Citrus/Vineyard – 10 Acre Minimum (C/V-10) to the west and east, Citrus Vineyard – 20 Acre Minimum (C/V-20) to the north, and Citrus/Vineyard (C/V) to the south |
| 5. Existing Land Use (Ex. #1):                 | Winery and Vineyard  |
| 6. Surrounding Land Use (Ex. #1):              | Similar Wineries, Church, Single Family Residential Units  |
| 7. Project Data:                               | Total Gross Acreage: 22.26<br>Total Net Acres: 21.6  |
| 8. Environmental Concerns:                     | See attached environmental assessment  |

**RECOMMENDATIONS:**

**THE BOARD OF SUPERVISORS TAKE THE FOLLOWING ACTIONS:**

**ADOPT a MITIGATED NEGATIVE DECLARATION for ENVIRONMENTAL ASSESSMENT NO. 42724**, based on the findings incorporated in the initial study and the conclusion that the project will not have a significant effect on the environment; and,

**APPROVE CHANGE OF ZONE NO. 7848**, amending the zoning classification for the subject properties from C/V-10 Zone to WC-W Zone, in accordance with Exhibit #3, based upon the findings and conclusions incorporated in the staff report and adoption of the Zoning Ordinance; and,

**ADOPT ORDINANCE NO. 348.4809** amending the zoning in the Rancho California Area shown on Map No. 2.2377 Change of Zone No. 7848 attached hereto and incorporated herein by reference; and,

**APPROVE CONDITIONAL USE PERMIT NO. 3711**, subject to the attached conditions of approval, and based upon the findings and conclusions incorporated in the staff report; and,

**APPROVE NOISE EXEMPTION NO. 00007**, subject to the attached conditions of approval, and based upon the findings and conclusions incorporated in the staff report; and,

**FINDINGS:** The following findings are in addition to those incorporated in the summary of findings and in the attached environmental assessment, which is incorporated herein by reference.

1. The project site is designated Agriculture within the Temecula Valley Wine Country Policy Area - Winery District on the Southwest Area Plan.
2. The proposed use, Class V Winery (winery with an established on-site vineyard with the following incidental commercial uses: restaurant, one-bedroom bed and breakfast inn, special occasion facility, retail wine sales, and wine tasting area), is consistent with the Temecula Valley Wine Country Policy Area - Winery District.
3. The project site includes an existing marketplace and barrel storage facility that is not changing under this permit that may continue as previously entitled through Plot Plan No. 6934 and Plot Plan No. 12661.
4. The project site is surrounded by properties which are also designated Agriculture within the Temecula Valley Wine Country Policy Area - Winery District.
5. The proposed zoning for the subject site is Wine Country - Winery Zone from Citrus/Vineyard (10 acres min.) (C/V-10) Zone.
6. Change of Zone No. 7848 is required to make the subject property's zoning classification consistent with the County's General Plan.
7. The proposed use, Class V Winery, is a permitted use, subject to approval of a conditional use permit, in the Wine Country - Winery (WC-W) Zone.
8. The proposed use, Class V Winery, is consistent with the development standards set forth in the WC-W Zone. With the exception of the existing Building C; this existing marketplace-restaurant building is within the WC-W Zone 100' setback requirement for buildings along Rancho California Road. The building is a legal building and will become a legal non-conforming building with the Change of Zone No. 7848.



9. The project site is surrounded by properties which are zoned Citrus/Vineyard Zone.
10. Wineries with similar uses, single family residential units, and a church have been constructed and are operating in the project vicinity.
11. This project is not located within a Criteria Area of the Multi-Species Habitat Conservation Plan.
12. This project is not within the City Sphere of Influence of Temecula.
13. WC-W Zone development standard, Ordinance No. 348 Section 14.93 C 4, prohibits the use of amplified sounds during special occasion events unless an exception to the Ordinance 847 Regulating Noise is granted. Noise Exemption No. 00007 seeks to permit continuous events with amplified sounds for the outdoor concerts and indoor use for weddings/receptions. The project is design in a manner to mitigate potential noise impacts to the surrounding area. Potential noise impacts will be mitigated through site-specific noise-attenuating features and site design. If two code violation notices for excessive noise are issued on the project site, noise measurements shall be performed during every event to determine if the Noise Ordinance and project conditions are being followed during the special events. If violations of the Noise Ordinance or project conditions are found, the County shall reconsider allowed hours of operations, number of guests, and frequency of special events per year or approval of the special occasion facility. Implementation of the conditions of approval and noise mitigation measures will safe guard the community from excessive noise.
14. Environmental Assessment No. 42724 identified the following potentially significant impacts:
  - a. Noise
  - b. Transportation/Traffic

These listed impacts will be fully mitigated by the measures indicated in the environmental assessment, conditions of approval, and attached letters. No other significant impacts were identified.

**CONCLUSIONS:**

1. The proposed project is in conformance with the Temecula Valley Wine Country Policy Area - Winery District and with all other elements of the Riverside County General Plan.
2. The proposed project is consistent with the proposed Wine Country - Winery (WC-W) Zone in Ordinance No. 348, and with all other applicable provisions of Ordinance No. 348.
3. The public's health, safety, and general welfare are protected through project design.
4. The proposed project is clearly compatible with the present and future logical development of the area.
5. The proposed project will not have a significant effect on the environment.

6. The proposed project will not preclude reserve design for the Western Riverside County Multiple Species Habitat Conservation Plan (WRCMSHCP).

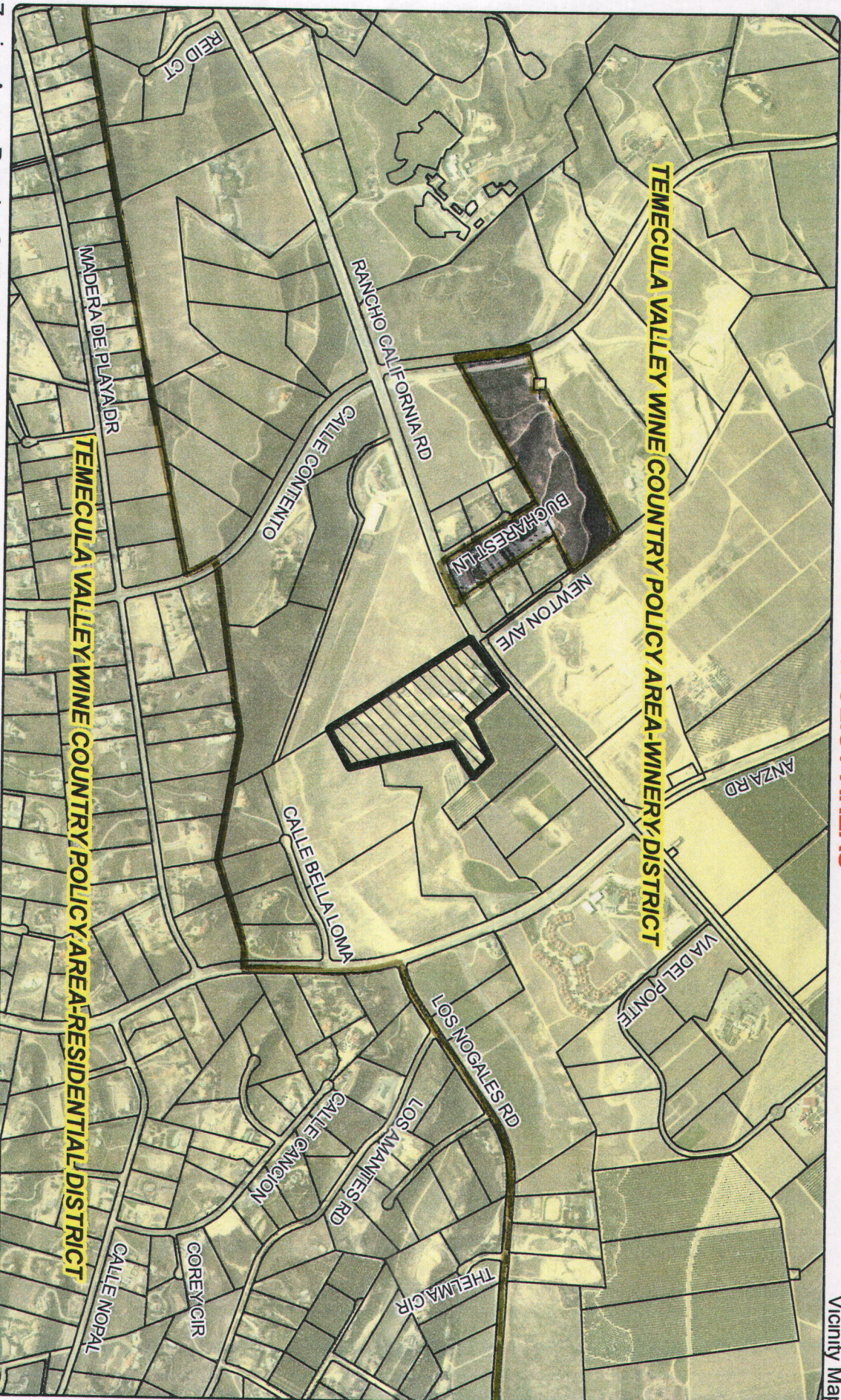
**INFORMATIONAL ITEMS:**

1. As of this writing, no letters, in support or opposition have been received.
2. The project site is not located within:
  - a. The city of Temecula sphere of influence;
  - b. A dam inundation area;
  - c. A fault zone;
  - d. Stephen Kangaroo Core Reserve Area;
  - e. A MSHCP Core Reserve Area; or,
  - f. California Gnatcatcher, Quino Checkerspot Butterfly habitat.
3. The project site is located within:
  - a. The boundaries of the Temecula Valley Unified School District;
  - b. The CSA 149;
  - c. Partially within a 100-year flood plain;
  - d. Murrieta Creek/Santa Gertrudis Valley Area Drainage Plan;
  - e. The Stephens Kangaroo Rat Fee Area;
  - f. Moderate Liquefaction Area;
  - g. State Fire Responsibility Area;
  - h. Susceptible Subsidence Area;
  - i. Zone B of the Mt. Palomar Special Lightning Area; and,
  - j. High A Paleontological Sensitivity Area;
4. The subject site is currently designated as Assessor's Parcel Number 951-140-041.

Supervisor Washington  
District 3

**RIVERSIDE COUNTY PLANNING DEPARTMENT**  
**CZ07848 CUP03711**  
**VICINITY/POLICY AREAS**

Date Drawn: 07/09/2015  
Vicinity Map



Zoning Area: Rancho California

Author: Vinnie Nguyen

DISCLAIMER: On October 7, 2003, the County of Riverside adopted a new General Plan providing new land use designations for unincorporated Riverside County parcels. This new General Plan may contain different type of land use than is provided on the map. For more information on the new General Plan, please contact the Riverside County Planning Department offices in Riverside at (951)955-3000 or in Escondido at (760)865-8277 (Eastern County) or Website: <http://www.riverside.ca.gov>

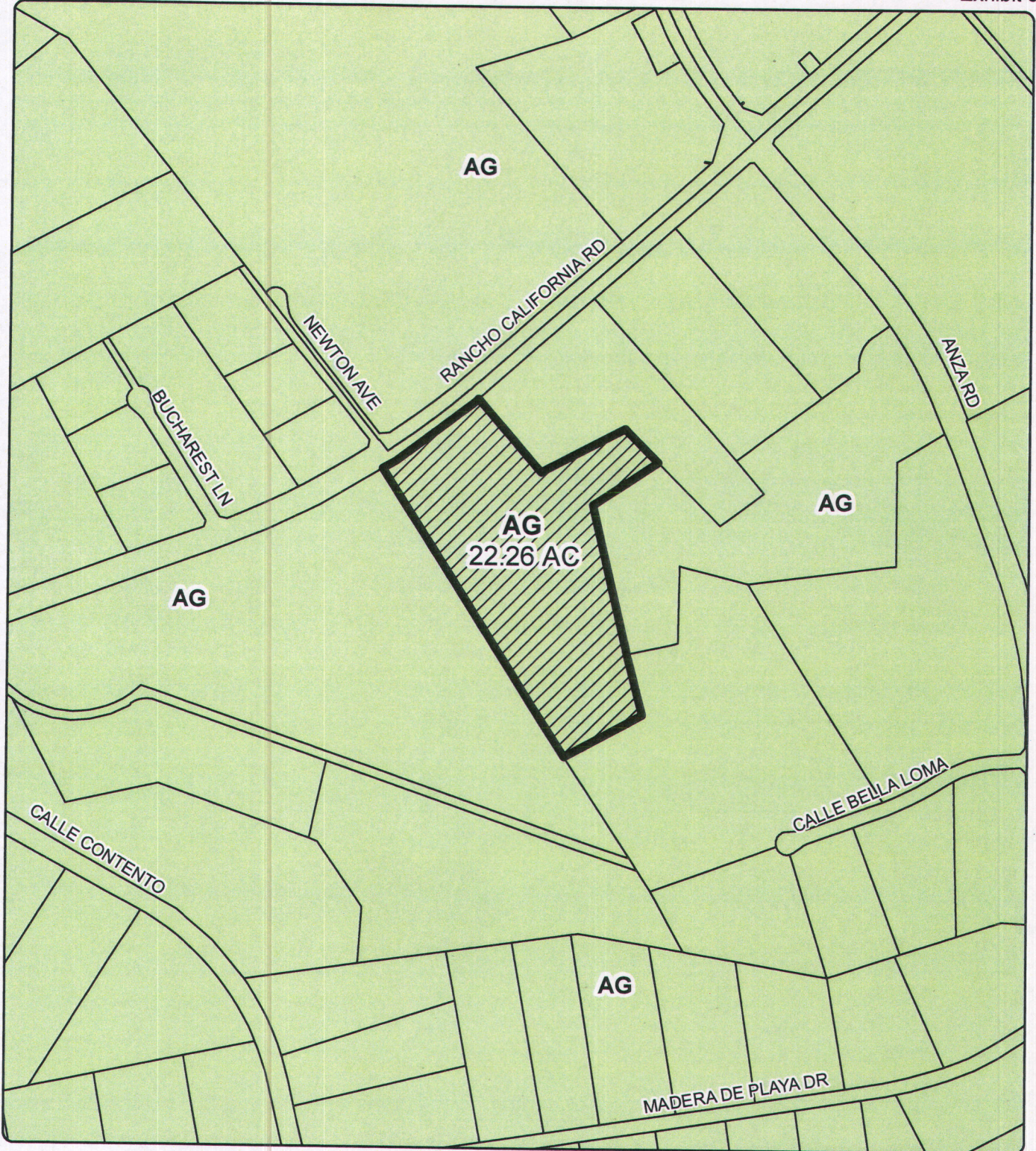
RIVERSIDE COUNTY PLANNING DEPARTMENT

**CZ07848 CUP03711**  
**EXISTING GENERAL PLAN**

Supervisor Washington  
District 3

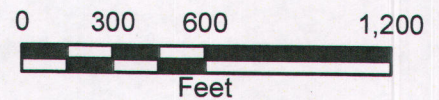
Date Drawn: 07/09/2015

Exhibit 5



Zoning Area: Rancho California

Author: Vinnie Nguyen



**DISCLAIMER:** On October 7, 2003, the County of Riverside adopted a new General Plan providing new land use designations for unincorporated Riverside County parcels. The new General Plan may contain different type of land use than is provided for under existing zoning. For further information, please contact the Riverside County Planning Department offices in Riverside at (951)955-3200 (Western County) or in Palm Desert at (760)863-8277 (Eastern County) or Website <http://planning.rcplma.org>

RIVERSIDE COUNTY PLANNING DEPARTMENT

CZ07848 CUP03711

PROPOSED ZONING

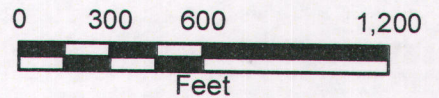
Supervisor Washington  
District 3

Date Drawn: 07/09/2015  
Exhibit 3



Zoning Area: Rancho California

Author: Vinnie Nguyen



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RIVERSIDE COUNTY PLANNING DEPARTMENT  
CZ07848 CUP03711

Supervisor Washington  
District 3

Date Drawn: 07/09/2015

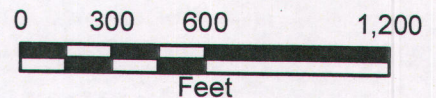
Exhibit 1

LAND USE

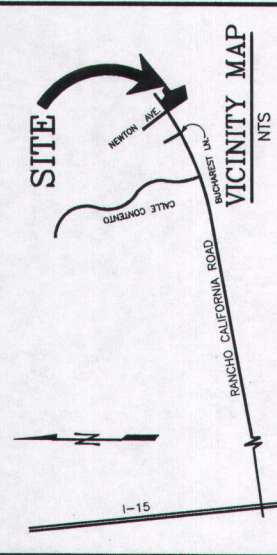


Zoning Area: Rancho California

Author: Vinnie Nguyen



**DISCLAIMER:** On October 7, 2003, the County of Riverside adopted a new General Plan providing new land use designations for unincorporated Riverside County parcels. The new General Plan may contain different type of land use than is provided for under existing zoning. For further information, please contact the Riverside County Planning Department offices in Riverside at (951)955-3200 (Western County) or in Palm Desert at (760)863-8277 (Eastern County) or Website <http://planning.rctims.org>



REFERENCE THOMAS BROTHER'S MAP NO. 859 J-2, NO. 960 A-2 A-3, T7SR2W SEC26

**TOPOGRAPHY SOURCE:**  
ALL GRADES AND TOPOGRAPHY CONTOURS ARE BASED ON A AERIAL SURVEY FLOWN APRIL 11, 2014 BY INLAND AERIAL SURVEYORS INC.

**PROJECT CLASSIFICATION:**  
1. LIQUEFACTION POTENTIAL-MODERATE  
2. WITHIN A STATE OR COUNTY SPECIAL STUDIES ZONE  
3. NOT WITHIN AN AREA OF GEOLOGIC HAZARDS  
4. SUBJECT TO OVERFLOW, INUNDATION, OR FLOOD HAZARD  
5. IN A FEMA DESIGNATED FLOOD ZONE  
6. NOT IN A MSHPC CELL GROUP  
7. IN A HIGH FIRE AREA.

**TEMPORARY BENCHMARK:**  
ALL GRADES ARE BASED ON AN ELEVATION OF 1417.0 ASSIGNED TO THE TOP OF THE SURVEY MARKER AT THE NORTHERN MOST PROPERTY CORNER.

**UTILITY PURVEYORS:**  
WATER - RANCHO WATER (951)-298-6800  
SEWER - SOUTHERN CALIFORNIA GAS COMPANY  
GAS - SOUTHERN CALIFORNIA GAS COMPANY  
ELECTRIC - SO. CAL. EDISON 1-(800)-655-4555  
TELEPHONE - VERIZON 1-(800)-922-0204  
CABLE - VERIZON 1-(800)-922-0204

**GRADING:**  
EXISTING GRADED SITE WAS FINALET PER CASE NO. 2945329 BGR 140170

**EXIST'G PLANNING CASE:**  
THE EXISTING WINERY OPERATES UNDER PP06834 & PP12661

**AREA CALCULATIONS:**

DESCRIPTION	TOTAL AREA	% OF TOTAL
TOTAL PROPERTY AREA (22.26 AC. GR.)	21.61 AC	100.0%
TOTAL WINERY DEVELOPMENT AREA	5.40 AC	25.0%
TOTAL VINEYARD PLANTING AREA	16.21 AC	75.0%
<b>TOTAL WINERY STRUCTURES</b>		
BUILDING "A"	17,854 SF	100.0%
BUILDING "B"	10,234 SF	57.3%
BUILDING "C"	4,766 SF	26.8%
BUILDING "D"	530 SF	3.0%
BUILDING "E"	1,526 SF	8.6%

**ZONING:**  
C/A-10 (CZ 5487) - EXISTING  
WC-W - PROPOSED (CZ 7846)

**RANGE & TOWNSHIP:**  
SEC. 26 T.7S. R.2W

**SCOPE OF PROJECT:**  
1. CHANGE THE USE OF 4 OF THE 5 EXISTING BUILDINGS, ACCOMMODATE A RESTAURANT, SPECIAL OCCASION FACILITY WINE CLUB, EVENTS CENTER & 1 BEDROOM BED AND BREAKFAST.  
2. ADD 95 ADDITIONAL PARKING STALLS TO THE EXISTING PARKING FACILITY.  
3. NO ADDITIONAL GRADING IS PROPOSED TO THE PROJECT SITE. GRADING WAS PERFORMED UNDER GRADING PERMIT BGR 140170.  
4. ALL BUILDINGS ARE EXISTING AND PERMITTED. NO NEW BUILDINGS ARE PROPOSED.  
5. NO NEW STREET IMPROVEMENTS ARE PROPOSED.

# CONDITIONAL USE PERMIT 3711

## PP06934 AND PP12661

### AVENSOLE VINEYARDS & WINERY

**OWNER:**  
LYTTON VINEYARD & WINERY, L.P.  
C/O MR. SHELDON LYTTON  
1801 CENTURY PARK EAST, SUITE 1450  
TEMECULA, CALIFORNIA 92087  
(310)-982-2735

**APPLICANT:**  
MR. SHELDON LYTTON  
28544 OLD TOWN FRONT STREET  
TEMECULA, CA 92590  
(951)-217-7355

**PROJECT ADDRESS:**  
34567 RANCHO CALIFORNIA RD  
TEMECULA, CA 92592

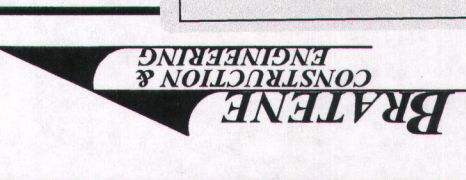
**ACREAGE:**  
22.26 AC GROSS  
21.61 AC NET

**ASSESSOR'S NO.:**  
951-140-041

**LEGAL DESCRIPTION:**  
PARCEL 1 OF PM 3/93 IN THE COUNTY OF RIVERSIDE STATE OF CALIFORNIA, AS SHOWN BY MAP ON FILE IN BOOK 3 OF MAPS, PAGES 95-96; RECORDS OF RIVERSIDE COUNTY, STATE OF CALIFORNIA.

CONDITIONAL USE PERMIT 3711  
AVENSOLE VINEYARDS & WINERY  
PARCEL 1 OF PM 3/93  
34567 RANCHO CALIFORNIA RD, TEMECULA, CA 92592

Civil Engineers - RCE 21873  
General Contractors - Lic. 378242  
41625 Enterprise Circle South, #B-2  
Temecula, CA 92590  
(951)-296-9045  
(951)-296-3711



DOWN BY  
D. BRATENE  
O. BRATENE  
DATE 7/2/2015  
SCALE 1"=100'  
JOB NO. 13018  
SHEET 1-1

**EXHIBIT PREPARED BY:**  
OSBORN BRATENE  
RCE 21873  
BRATENE CONSTRUCTION & ENGINEERING  
41625 ENTERPRISE CIRCLE SOUTH, #B-2  
TEMECULA, CA 92590  
(951) 296-9045  
(951) 201-2542 Cell  
(951) 296-3711 Fax

**REQUIRED:**  
TOT. AUTOMOBILE SPACES REQUIRED - 172 FOR SIMULTANEOUS USE (SEE TABLE)

**PROVIDED:**  
REGULAR SPACES ..... 165  
HANDICAP SPACES ..... 7  
TOTAL AUTOMOBILE SPACES PROVIDED - 172 PLUS 4 L.L.B.G. SPACES (RESERVED)

PAVING SURFACE IN ALL HANDICAP ACCESS LOCATIONS SHALL CONSIST OF CONCRETE OR ASPHALT PAVEMENT.

#### occupancy load tables

**building A - bed & breakfast**

OCCUPANCY	NAME	AREA (SF)	FUNCTION OF SPACE, PER 100A.1.2	LOAD FACTOR	OCCUPANT LOAD
R-1	BED & BREAKFAST	546 SF	RESIDENTIAL	200	3
R-1	RESTROOM	172 SF	RESTROOM	0	0
TOTAL OCCUPANTS					

**building B - production**

OCCUPANCY	NAME	AREA (SF)	FUNCTION OF SPACE, PER 100A.1.2	LOAD FACTOR	OCCUPANT LOAD
S-2	STORAGE-FIRST FLOOR	287 SF	BUSINESS AREAS	300	18
A-2	RESTROOMS-FIRST FLOOR	414 SF	RESTROOMS	0	0
A-2	RESTROOMS-EXTERIOR	480 SF	RESTROOMS	0	0
A-2	COLD PREP KITCHEN-FIRST FLOOR	284 SF	KITCHENS, COMMERCIAL	200	1
A-2	BAR SERVICE-FIRST FLOOR	2,897 SF	KITCHENS, COMMERCIAL	5	579
S-2	PRODUCTION-FIRST FLOOR EAST	2,192 SF	WAREHOUSE	500	4
A-2	EVENTS AREA-FIRST FLOOR	2,192 SF	FOOD/DRINK	15	146
R-1	GROOMS SUITE-SECOND FLOOR	480 SF	RESIDENTIAL	200	2
TOTAL OCCUPANTS					

**building C - marketplace**

OCCUPANCY	NAME	AREA (SF)	FUNCTION OF SPACE, PER 100A.1.2	LOAD FACTOR	OCCUPANT LOAD
B	OFFICE	437 SF	BUSINESS AREAS	100	4
A-2	RESTROOMS	546 SF	RESTROOMS	0	0
A-2	DEL/ATCHEV/BAR	1,605 SF	KITCHENS, COMMERCIAL	200	8
A-2	SERVICE COUNTER	867 SF	STANDING SPACE	5	137
A-2	FOOD/DRINK	1,459 SF	UNCONCENTRATED (INTERIOR)	15	87
A-2	FOOD/DRINK	4,454 SF	UNCONCENTRATED (EXTERIOR)	15	297
TOTAL OCCUPANTS					

**building D - wine club**

OCCUPANCY	NAME	AREA (SF)	FUNCTION OF SPACE, PER 100A.1.2	LOAD FACTOR	OCCUPANT LOAD
S-2	STORAGE	123 SF	ACCESSORY STORAGE AREA	300	1
A-2	RESTROOMS	218 SF	RESTROOMS	0	0
A-2	WINE CLUB	707 SF	STANDING SPACE	5	141
A-2	VP	437 SF	UNCONCENTRATED	15	29
A-2	BAR SERVICE	148 SF	KITCHENS, COMMERCIAL	200	1
TOTAL OCCUPANTS					

**building E - barrel room**

OCCUPANCY	NAME	AREA (SF)	FUNCTION OF SPACE, PER 100A.1.2	LOAD FACTOR	OCCUPANT LOAD
S-2	STORAGE	1,508 SF	STORAGE	1	1
TOTAL OCCUPANTS					

**parking area tables**

**building A - bed & breakfast**

BUILDING	NAME	AREA (SF)	PARKING FACTOR	PARKING SPACES
A	BED & BREAKFAST	788 SF	1/ROOM	1
TOTAL PARKING SPACES				

**building B - production**

BUILDING	NAME	AREA (SF)	PARKING FACTOR	PARKING SPACES
B	STORAGE-FIRST FLOOR	820 SF	1/2 EMPLOYEES	1
B	OFFICE-FIRST FLOOR	287 SF	1/2 EMPLOYEES	1
B	RESTROOMS-FIRST FLOOR	414 SF	0	0
B	RESTROOMS-EXTERIOR	480 SF	0	0
B	COLD PREP KITCHEN-FIRST FLOOR	284 SF	1/2 EMPLOYEES	0
B	BAR SERVICE-FIRST FLOOR	370 SF	1/2 EMPLOYEES	1
B	PRODUCTION-FIRST FLOOR	2,192 SF	1/2 EMPLOYEES	0
B	SEE STORAGE ABOVE	1,981 SF	45	42
B	EVENTS AREA-FIRST FLOOR	2,208 SF	1/3 SEATS=125	42
B	GROOMS SUITE-SECOND FLOOR	480 SF	1/ROOM	1
B	FRONT RETAIL PATIO / CONCERTS	2,834 SF	300	95
B	REAR EVENTS PATIO	2,777 SF	1/3 SEATS=125	42
TOTAL PARKING SPACES				

**building C - marketplace**

BUILDING	NAME	AREA (SF)	PARKING FACTOR	PARKING SPACES
C	KITCHEN BACK - STORAGE/PREP/CLEANING	773 SF	1/2 EMPLOYEES	1
C	OFFICE	468 SF	1/2 EMPLOYEES	1
C	RESTROOMS	545 SF	0	0
C	DEL/ATCHEV/BAR SERVICE	863 SF	1/2 EMPLOYEES	1
C	RETAIL	2,147 SF	200	10
C	PATIO - RESTAURANT	1,903 SF	45	31
C	PATIO - BAR SERVICE	1,440 SF	45	32
C	PATIO - RETAIL	782 SF	200	4
TOTAL OCCUPANTS				

**building D - wine club**

BUILDING	NAME	AREA (SF)	PARKING FACTOR	PARKING SPACES
D	STORAGE	123 SF	1/2 EMPLOYEES	1
D	RESTROOMS	218 SF	0	0
D	WINE CLUB/RETAIL	1,144 SF	200	5
D	BAR SERVICE	148 SF	1/2 EMPLOYEES	1
D	PATIO	3,483	1/3 SEATS=30	10
TOTAL PARKING SPACES				

**building E - barrel room**

BUILDING	NAME	AREA (SF)	PARKING FACTOR	PARKING SPACES
E	STORAGE	1,508SF	1/2 EMPLOYEES	1
TOTAL PARKING SPACES				

**site**

BUILDING	NAME	AREA (SF)	PARKING FACTOR	PARKING SPACES
A-E	ALL BUILDINGS	-	-	172
TOTAL PARKING SPACES				

**ADA PATH OF TRAVEL:**  
1. SURFACE TO BE CONCRETE  
2. SLOPES 5% OR LESS PER GRADING PLAN  
3. ALL ADA PATHS TO BE 5' WIDE OR GREATER.

**SCHOOL DISTRICT:**  
TEMECULA VALLEY UNIFIED SCHOOL DISTRICT  
(951)-676-2661

**FIRE DEPARTMENT NOTES:**  
1. DRIVEWAY SHALL BE CAPABLE OF SUPPORTING A 80,000 G.V.W. VEHICLE ON ALL WEATHER SURFACE.  
2. NOT IN A HIGH FIRE AREA.  
3. BUILDINGS "C" & "E" ARE FULLY SPRINKLERED.  
4. ASPHALT DRIVING SURFACE.

**EXHIBIT PREPARED BY:**  
OSBORN BRATENE  
RCE 21873  
BRATENE CONSTRUCTION & ENGINEERING  
41625 ENTERPRISE CIRCLE SOUTH, #B-2  
TEMECULA, CA 92590  
(951) 296-9045  
(951) 201-2542 Cell  
(951) 296-3711 Fax

**DATE:**  
7/2/2015

**SCALE:**  
1"=100'

**GRAPHIC SCALE:**  
0 50' 100' 200' 300' 400'



PLANNER: P. Nanthavongdangsy  
DATE: 07/02/15  
EXHIBIT: A  
CASE: CUP03711

# CONDITIONAL USE PERMIT

PP06934 AND PP12661  
AVENSOLE VINEYARDS AND WINERY

CHANGE OF USE "BUILDING C" (EXIST'G TO REMAIN):  
DELICATESSEN RESTAURANT  
5638 SQ. FT.  
ORIG. PERMIT NO'S: 747136, 748598, 99712

CHANGE OF USE:  
RESTAURANT PATIO

"BUILDING E"  
(EXIST'G TO REMAIN):  
STORAGE ROOM  
1536 SQ. FT. - ORIG. PERMIT # 734295

EXIST'G CELL TOWER:  
TO REMAIN  
ADD 95 NEW  
PARKING SPACES

CHANGE OF USE "BUILDING A"  
(EXIST'G TO REMAIN):  
BED & BREAKFAST  
768 SQ. FT.

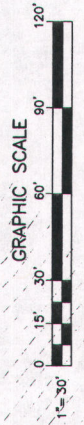
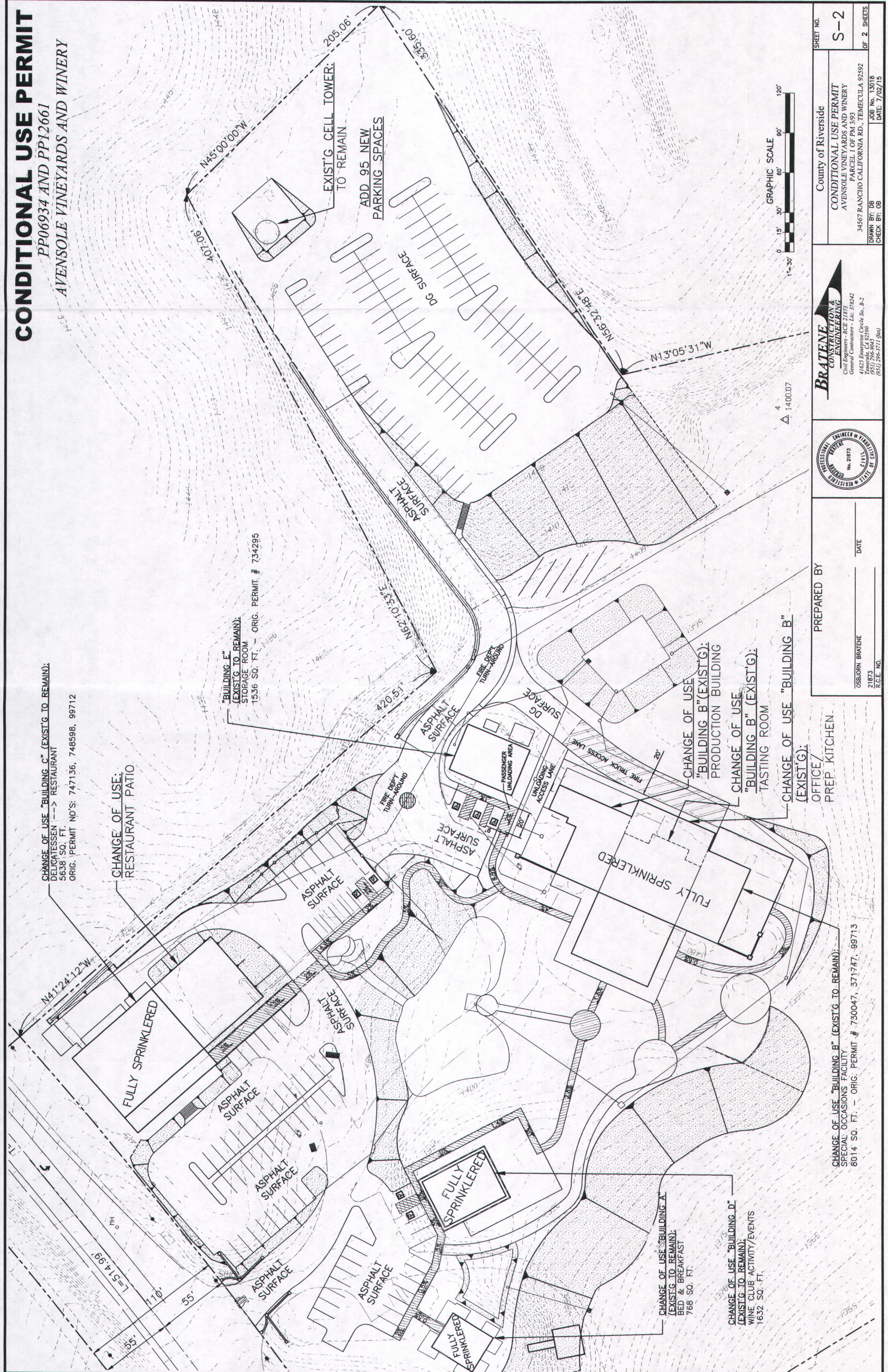
CHANGE OF USE "BUILDING D"  
(EXIST'G TO REMAIN):  
WINE CLUB ACTIVITY/EVENTS  
1632 SQ. FT.

CHANGE OF USE "BUILDING B" (EXIST'G TO REMAIN):  
SPECIAL OCCASIONS FACILITY  
8014 SQ. FT. - ORIG. PERMIT # 730047, 371747, 99713

CHANGE OF USE  
"BUILDING B" (EXIST'G):  
PRODUCTION BUILDING

CHANGE OF USE  
"BUILDING B" (EXIST'G):  
TASTING ROOM

CHANGE OF USE "BUILDING B"  
(EXIST'G):  
OFFICE/  
PREP KITCHEN

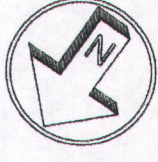


COUNTY OF RIVERSIDE PROFESSIONAL ENGINEER IN PUBLIC HEALTH No. 21873 CIVIL STATE OF CALIFORNIA	SHEET NO. <b>S-2</b>
	OF 2 SHEETS
PREPARED BY OSBJORN BRATENE 21873 R.C.E. NO.	DATE
COUNTY OF RIVERSIDE CONDITIONAL USE PERMIT AVENSOLE VINEYARDS AND WINERY PARCEL 1 OF PM 3093 34567 RANCHO CALIFORNIA RD., TEMECULA 92592 DRAWN BY: DB CHECK BY: OB	JOB NO. 13018 DATE: 7/02/15
BRATENE CONSULTATION & ENGINEERING Civil Engineers - RCE 21873 General Contractors - Lic. 378242 41631 Enterprise Circle So., B-2 Temecula, CA 92590 (951) 296-9045 (951) 296-3711 (fax)	

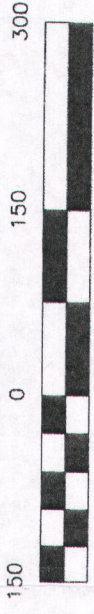


# AVENSOLE WINERY SITE BREAKDOWN PLAN

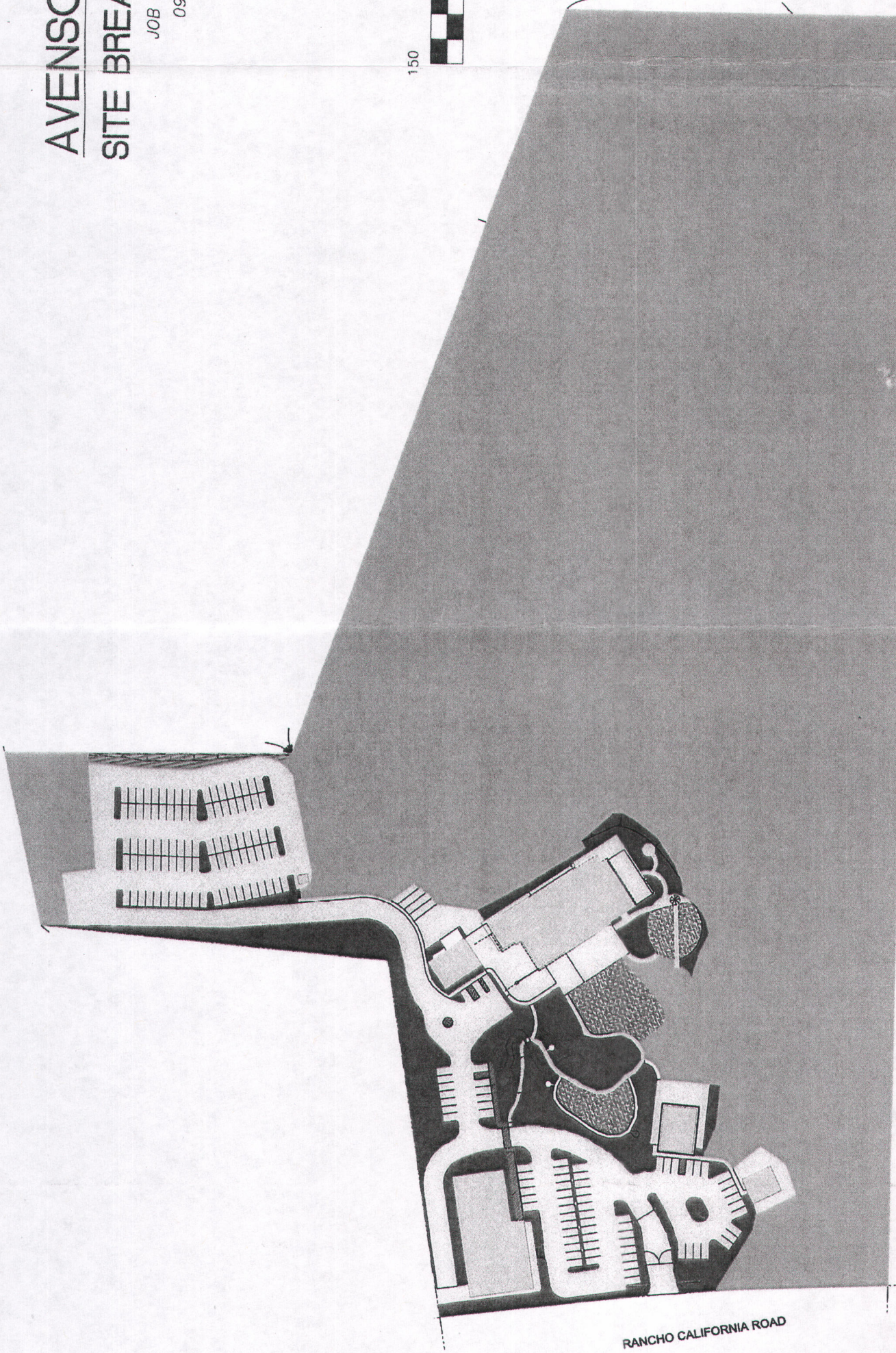
JOB # 14-119  
09/30/14



GRAPHIC SCALE



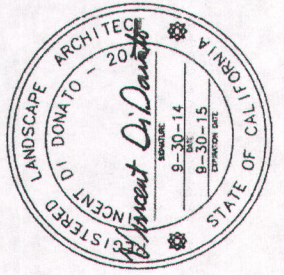
1 INCH = 150 FT.



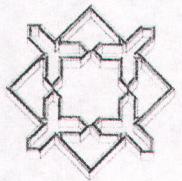
RANCHO CALIFORNIA ROAD

## PERCENTAGE BREAKDOWN

SYMBOL	ITEM	SQUARE FEET	ACREAGE	PERCENTAGE
	SITE NET	941,086 S.F.	21.6 ACS.	100%
	WATER FEATURE	5,200 S.F.	.12 ACS.	.6%
	BUILDINGS	25,466 S.F.	.59 ACS.	2.7%
	PAVERS, DRIVEWAYS & WALKS	131,807 S.F.	3.02 ACS.	14%
	LAWN	13,372 S.F.	.31 ACS.	1.4%
	PLANTING	59,426 S.F.	1.36 ACS.	6.3%
	VINEYARDS	705,815 S.F.	16.20 ACS.	75%



**ALHAMBRA GROUP**  
LANDSCAPE ARCHITECTURE  
California license #2017  
RECREATION FACILITIES PLANNING  
41635 Enterprise Circle North, Suite C  
Temecula, CA 92590 (951) 296-6802 FAX 296-6603





July 2, 2015

**Avensole Vineyard and Winery**

34567 Rancho California Road  
Temecula, California 92592

**Subject: Suitability of Decomposed Granite (D.G) Fire Access Roads**  
Project Number: 4058C

- References:**
1. **EnGEN Corporation, Geotechnical Feasibility Study – Avenzia Vineyard and Winery (now Avensole Winery)**, Site Improvements at Existing Winery, 34567 Rancho California Road, Temecula, California, Project Number: 4057GFS, dated: August 6<sup>th</sup>, 2014
  2. **Bratene Construction and Engineering**, Precise Grading Plan, Avenzia (**now Avensole Winery**), Parcel 1 of Parcel Map 3/93, 34567 Rancho California Road, Temecula, California, plans dated: May 29<sup>th</sup>, 2014

Gentlemen:

Provided the fire access roads are constructed in accordance with the recommendations provided in the Referenced No. 1 Report, the D.G. fire department access roads as designed are considered suitable to support the 75,000 pound weight of a typical fire truck.


Thank you for the opportunity to provide these services. If you should have any questions regarding this report, please do not hesitate to contact this office at your convenience.

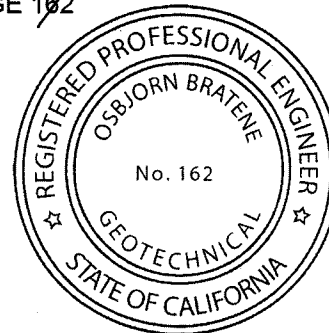
Respectfully submitted,  
**EnGEN Corporation**

  
H. Wayne Baimbridge, Principal  
Project Manager

HWB/OB:pm

Distribution: 2 Addressee

  
Osbjorn Bratene, Principal  
GE 102



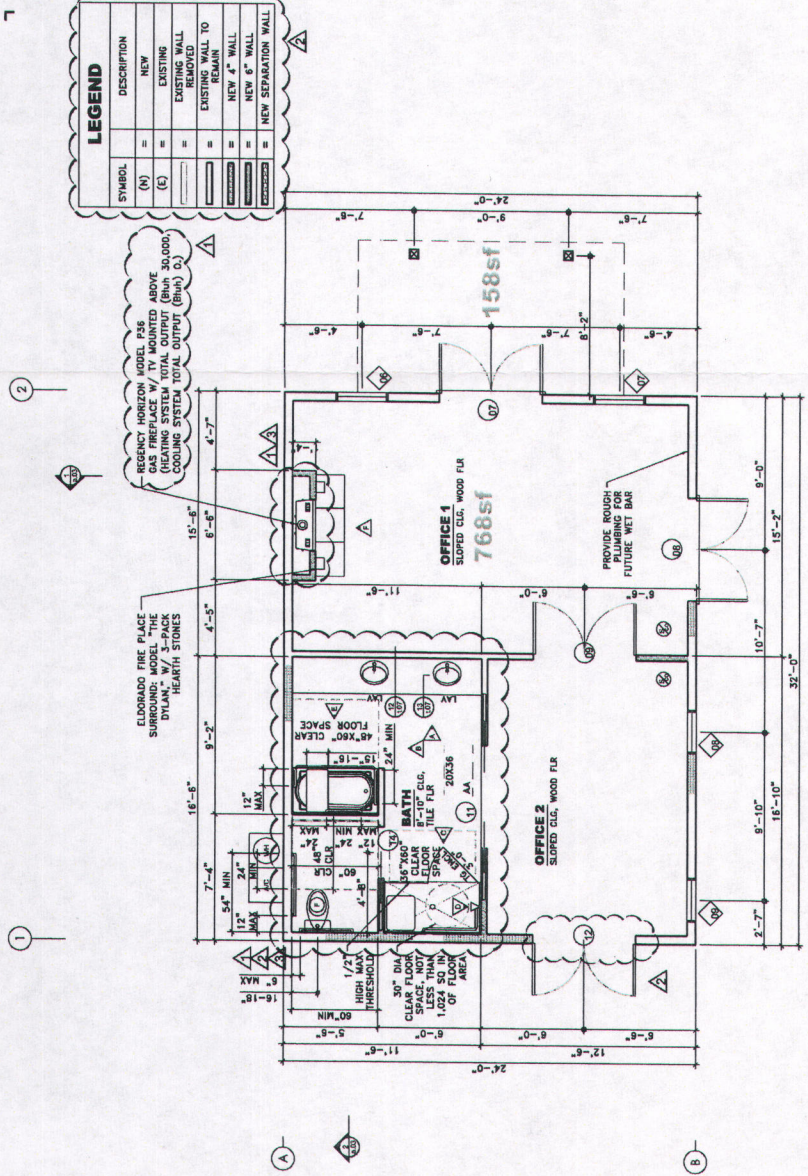


AVENSOLE PARTNERS  
 4322 E. COVINGTON  
 FRESNO, CA 93726  
 (559) 435-2257  
 WWW.AVENSOLE.COM

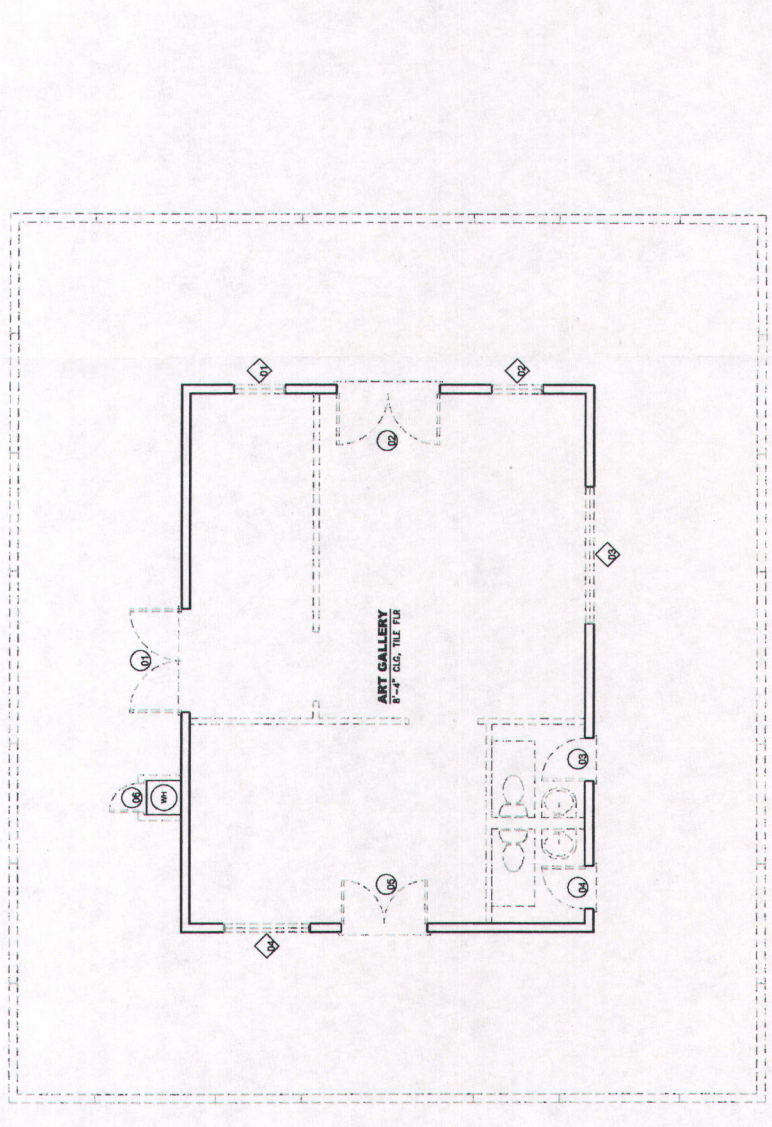
# AVENSOLE

**AVENSOLE**  
 BLDG **A**  
 CITY: TEMECULA  
 2014.12.05  
 2015.03.24  
 2015.06.04  
 JOB: 201418C  
**DEMO PLAN + FLOOR PLAN + REFLECTED CEILING PLAN + ROOF PLAN**  
**a.00**

CASE: CUP03711  
 EXHIBIT: B and C  
 DATE: 07/02/15  
 PLANNER: P. Nanthavongduangsy



**2 floor plan**  
 SCALE: 1/4" = 1'-0"



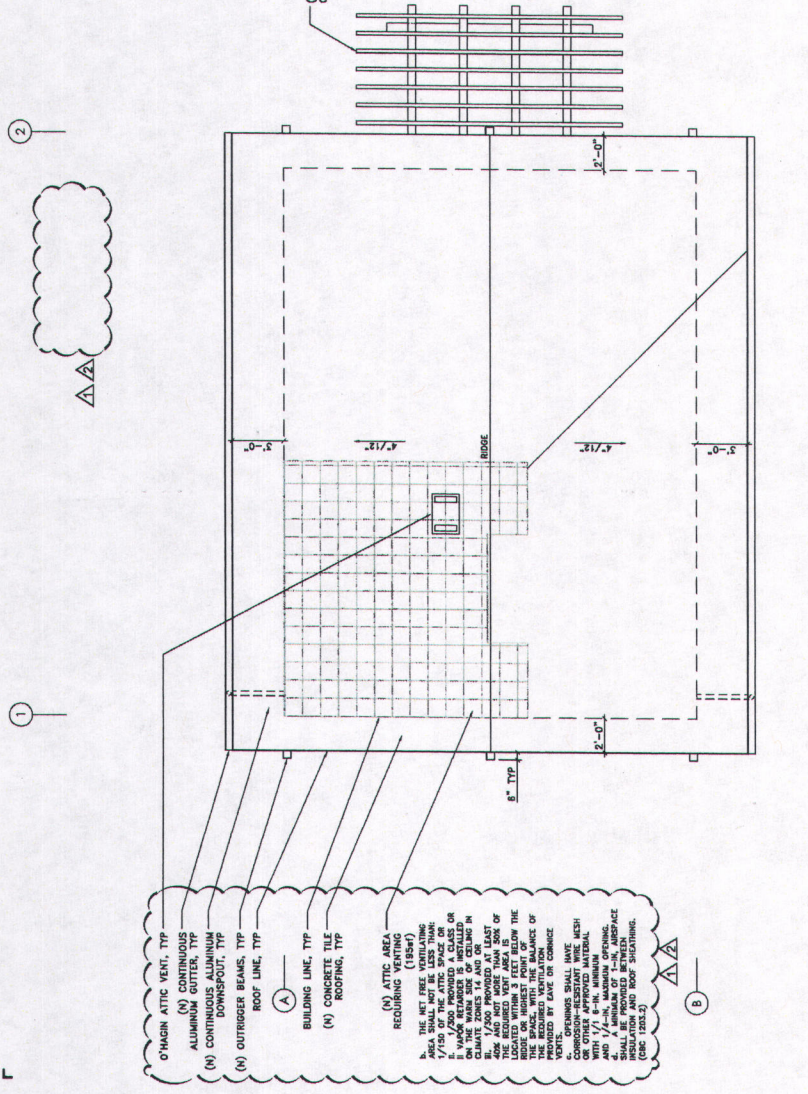
**1 demolition plan**  
 SCALE: 1/4" = 1'-0"

- floor plan notes:**
- SEE INTERIOR ELEVATIONS ON SHEET C-02 FOR ADDITIONAL INFORMATION.
  - BATH FLOORING TO BE LARGE FORMAT STONE TILE, TYP.
  - CONCRETE PATIOS TO BE TILED WITH LARGE FORMAT STONE TILE.
  - REPAIR EXISTING CEMENT PLASTER WITH TEXTURE AND PAINT.
  - ASBESTOS TESTING ONLY IF THAT EXTENDS BEYOND THE TOP OF THE THRESHOLD. R311.3.1.
  - CLEARANCE SHALL EXCEED THE LENGTH OF THE BATHUB APPROX. 30" WIDE MINIMUM FOR PARALLEL APPROACH AND 20" WIDE MINIMUM FOR PERPENDICULAR APPROACH.
  - PROVIDE A PERMANENT SEAT AT THE HEAD END OF THE BATHUB OR A REMOVABLE IN-TUB SEAT. SEE SECTION 11 B-407.4 AND 11 B-407.2.2. FIGURE 11 B-407.2.2 SHOWS CLEARANCE FROM THE BATHUB WHERE THE PERMANENT SEAT IS PROVIDED. 11 B-407.2.
  - PROVIDE GRAB BARS FOR BATHUBS PER SECTION 11 B-407.4 GRAB BARS. 11 B-407.4. FIGURES 11 B-407.4.1 AND 11 B-407.4.2 WITH FIGURE 11 B-407.3 CONTROLS. 11 B-407.5. IN ADDITION, ENCLOSURE OR TRANSFER FROM WHEELCHAIR ONTO BATHUB SEATS OR INTO BATHUBS. ENCLOSURES SHALL BE 11 B-407.7.
  - CONTROLS AND FAUCETS SHALL BE OF A SINGLE-LEVER DESIGN AND SHALL COMPLY WITH SECTION 11 B-508.4 OPERATION. 11 B-408.3
  - ENCLOSURES FOR SHOWER COMPARTMENTS SHALL NOT OBSTRUCT THE DOOR SWING. TRANSFER FROM WHEELCHAIR ONTO SHOWER SEAT. 11 B-408.8
  - TOILET FACILITIES AND BATHING FACILITIES SHALL HAVE AN OUTSIDE DIAMETER OF 18 INCHES MINIMUM AND 2 INCHES MINIMUM AND THE GRAB BAR SHALL BE 1-1/2 INCHES. THE PROTECTIVE GRANULE BELLS AND AT THE ENDS SHALL BE 1-1/2 INCHES MINIMUM. THE SPACE ABOVE SHALL BE 12 INCHES MINIMUM. 11 B-409.3
  - THE TOP OF BATHUB SEATS SHALL BE 17 INCHES MINIMUM ABOVE THE BATHROOM FINISH FLOOR. 11 B-410.2
  - THE DEPTH OF A REMOVABLE IN-TUB SEAT SHALL BE 17 INCHES MINIMUM. 11 B-410.3
  - SEATS COMPLIANT WITH FIGURES 11 B-410.3.1 AND 11 B-410.3.2. 11 B-410.3.1. SHOWER SEAT. 11 B-410.3.2. L-SHAPED SHOWER SEAT. 11 B-410.3.3. 11 B-410.3.1, 11 B-410.3.2

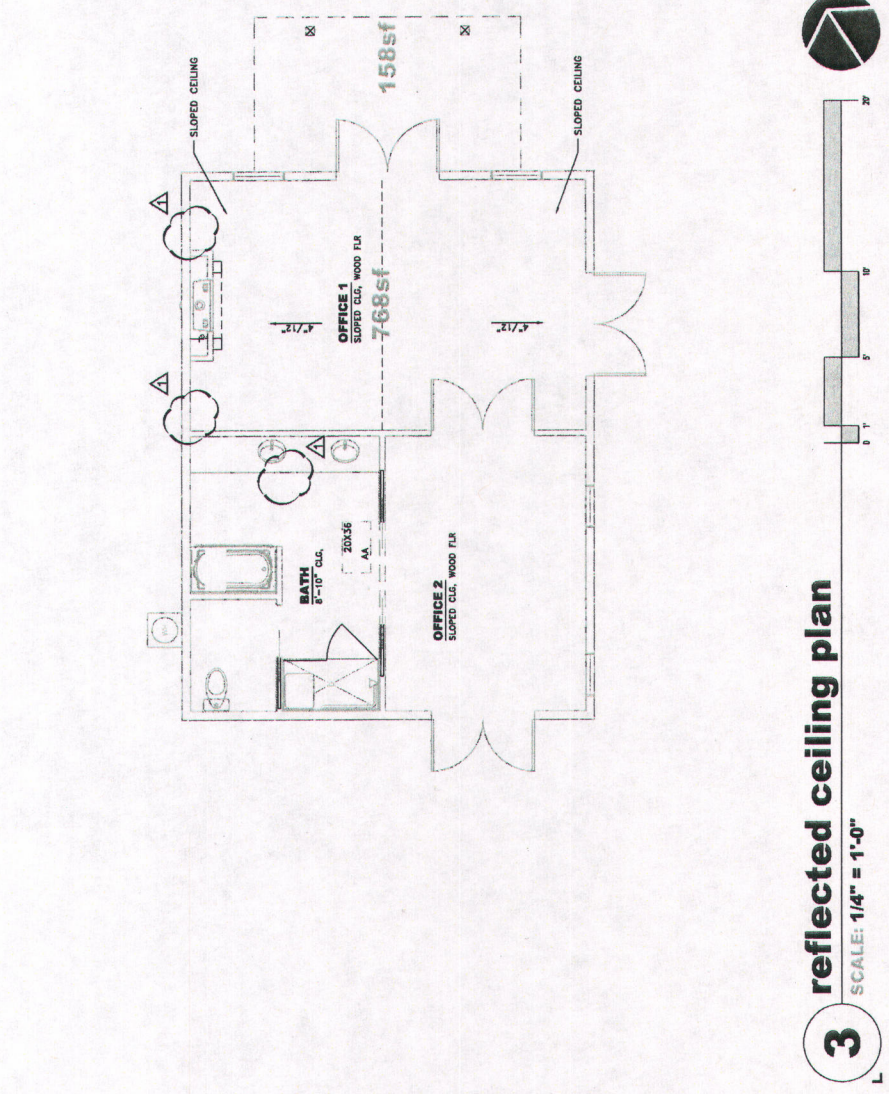
**4 roof plan**  
 SCALE: 1/4" = 1'-0"

- roof plan notes:**
- PROVIDE PAINTED ALUMINUM GUTTERS & DOWNSPOUTS, TYP.
  - ATTIC OVER BATH ONLY. 7.2 SF ATTIC VENT PROVIDED = 2.24 SF (Ø DIAMETER GABLE END VENT & ONE Ø 18" VENT)
  - CLASS A ROOFING ASSEMBLY, MIN.
  - EXISTING 408 BATH TUBS AT EXISTING TRUS LAVE ENDS AS SHOWN ON THE ELEVATIONS PER DETAIL 15/A.07.
  - PROVIDE GABLE END FASCIA BOARD TO MATCH EXISTING TRUS LAVE ENDS AS SHOWN ON ELEVATIONS PER DETAIL 15/A.07.
  - PROVIDE DECORATIVE 4X12 OUTRIGGER BEAMS AT GABLE ENDS AS SHOWN ON ELEVATIONS PER DETAIL 15/A.07
- demo plan notes:**
- REMOVE ALL LIGHTLY DASHED WALLS AND OBJECTS, TYP.
  - OBJECTS TO BE REMOVED ARE NOT BEARING OR SHEAR WALLS.
  - SEE LOS SHEET FOR SYMBOLS & LEGENDS
- reflected ceiling plan notes:**
- LOADING AND UNLOADING AREAS: REFERENCE ELECTRICAL SHEETS FOR ELECTRICAL NOTIFICATIONS TO THIS BUILDING. ANY OPENING ISOLATED WALL 1 FT OR WIDER TO HAVE RECESSED LIGHTS SHOWN IN SLOPED CEILING SHALL BE A MODEL DESIGNED TO PROVIDE A UNIFORM LIGHT SOURCE IN A SLOPED CEILING. TAMPER RESISTANT RECEPTACLES ARE REQUIRED FOR ALL LOCATIONS DESCRIBED IN 210.32 (E ALL RECEPTACLES IN A DWELLING) WITH CCC ARTICLE 210.25(A)(3) IN KITCHENS A RECEPTACLE OUTLET SHALL BE 12 INCHES OR WIDER. RECEPTACLES SHALL BE INSTALLED SO THAT NO POINT IS MORE THAN 12 INCHES FROM THE RECEPTACLE. ISLAND AND PENINSULAR COUNTERTOPS SHALL BE 12 INCHES (OR GREATER) FROM THE RECEPTACLE. RECEPTACLES OR SINKS SHALL BE RECESSED INTO THE COUNTER TOP SPACES. ALL OUTLETS TO BE INSTALLED IN RECEPTACLE SPACES OR WET LOCATIONS (OUTSIDE)
  - ARC-FAULT PROTECTION REQUIRED FOR ALL OUTLETS (NOT JUST RECEPTACLES) LOCATED IN LIVING, BEDROOMS, DINING, HALLS, ETC. FACILITY.
  - BATTERY-OPERATED CARBON MONOXIDE ALARMS SHALL BE PROVIDED IN THE IMMEDIATE VICINITY OF THE BEDROOMS AND ON EACH STORY, ORC 8101.2.2.
  - OPERATED SMOKE ALARMS WILL BE PROVIDED IN ALL EXISTING BEDROOMS, HALLWAYS LEADING TO BEDROOMS AND ON EACH FLOOR.
  - EXISTING LIGHTING SHALL BE HIGH EFFICIENCY, OLE
  - GFCI PROTECTED OUTLETS FOR ANY NEW WIRING SHALL BE INSTALLED IN ACCORDANCE WITH 210.8.2.
  - COVER UNDERSIDE OF SLOPED CEILING WITH R-30 AND PLACE DRYPALL LD OVER HARD-WIRED WITH BATTERY BACKUP AND SHALL BE INSTALLED IN ACCORDANCE WITH 210.8.2.

**3 reflected ceiling plan**  
 SCALE: 1/4" = 1'-0"



**4 roof plan**  
 SCALE: 1/4" = 1'-0"



**3 reflected ceiling plan**  
 SCALE: 1/4" = 1'-0"

- roof plan notes:**
- Ø 18" IN ATTIC VENT, TYP.
  - CONTINUOUS ALUMINUM DOWNSPOUT, TYP.
  - CONTINUOUS ALUMINUM ROOF LINE, TYP.
  - OUTRIGGER BEAMS, TYP.
  - ROOF LINE, TYP.
  - BUILDING LINE, TYP.
  - CONCRETE TILE ROOFING, TYP.
  - ATTIC AREA REQUIRING CEILING THE INT. FREE VENTILATING AREA SHALL BE 1/150 OF THE ATTIC SPACE ON THE WIND SIDE OF CEILING IN THE ATTIC AREA. 1/150 PROVIDED AT LEAST OF THE REQUIRED VENT AREA IS THE MINIMUM VENT AREA OF THE ROOF OR HIGHEST POINT OF THE ROOF. THE BALANCE OF THE REQUIRED VENTILATION SHALL BE PROVIDED BY GABLE OR CORNER VENTING.
  - COMPASS SHALL MAKE SURE OTHER APPROVED MATERIAL AND 1/2" MIN. MAXIMUM OPENING SHALL BE PROVIDED BETWEEN ROOF SHEATHING. (CODE 1203.2)

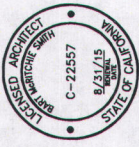
- reflected ceiling plan notes:**
- Ø 18" IN ATTIC VENT, TYP.
  - CONTINUOUS ALUMINUM DOWNSPOUT, TYP.
  - CONTINUOUS ALUMINUM ROOF LINE, TYP.
  - OUTRIGGER BEAMS, TYP.
  - ROOF LINE, TYP.
  - BUILDING LINE, TYP.
  - CONCRETE TILE ROOFING, TYP.
  - ATTIC AREA REQUIRING CEILING THE INT. FREE VENTILATING AREA SHALL BE 1/150 OF THE ATTIC SPACE ON THE WIND SIDE OF CEILING IN THE ATTIC AREA. 1/150 PROVIDED AT LEAST OF THE REQUIRED VENT AREA IS THE MINIMUM VENT AREA OF THE ROOF OR HIGHEST POINT OF THE ROOF. THE BALANCE OF THE REQUIRED VENTILATION SHALL BE PROVIDED BY GABLE OR CORNER VENTING.
  - COMPASS SHALL MAKE SURE OTHER APPROVED MATERIAL AND 1/2" MIN. MAXIMUM OPENING SHALL BE PROVIDED BETWEEN ROOF SHEATHING. (CODE 1203.2)











1. This drawing is the property of the Architect and is to be used only for the project and location specified herein. It is not to be used for any other project or location without the written consent of the Architect.

2. The Architect is not responsible for the accuracy of the information provided by the client or for the results of the demolition work.

3. The Architect is not responsible for the safety of the demolition work or for the actions of the demolition contractor.

4. The Architect is not responsible for the removal of hazardous materials or for the disposal of debris.

5. The Architect is not responsible for the structural integrity of the building during or after demolition.

6. The Architect is not responsible for the compliance of the demolition work with local, state, or federal regulations.

7. The Architect is not responsible for the completion of the demolition work on time or within budget.

8. The Architect is not responsible for the damage to the surrounding property or the environment.

9. The Architect is not responsible for the safety of the public during the demolition work.

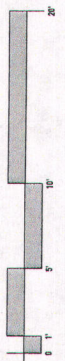
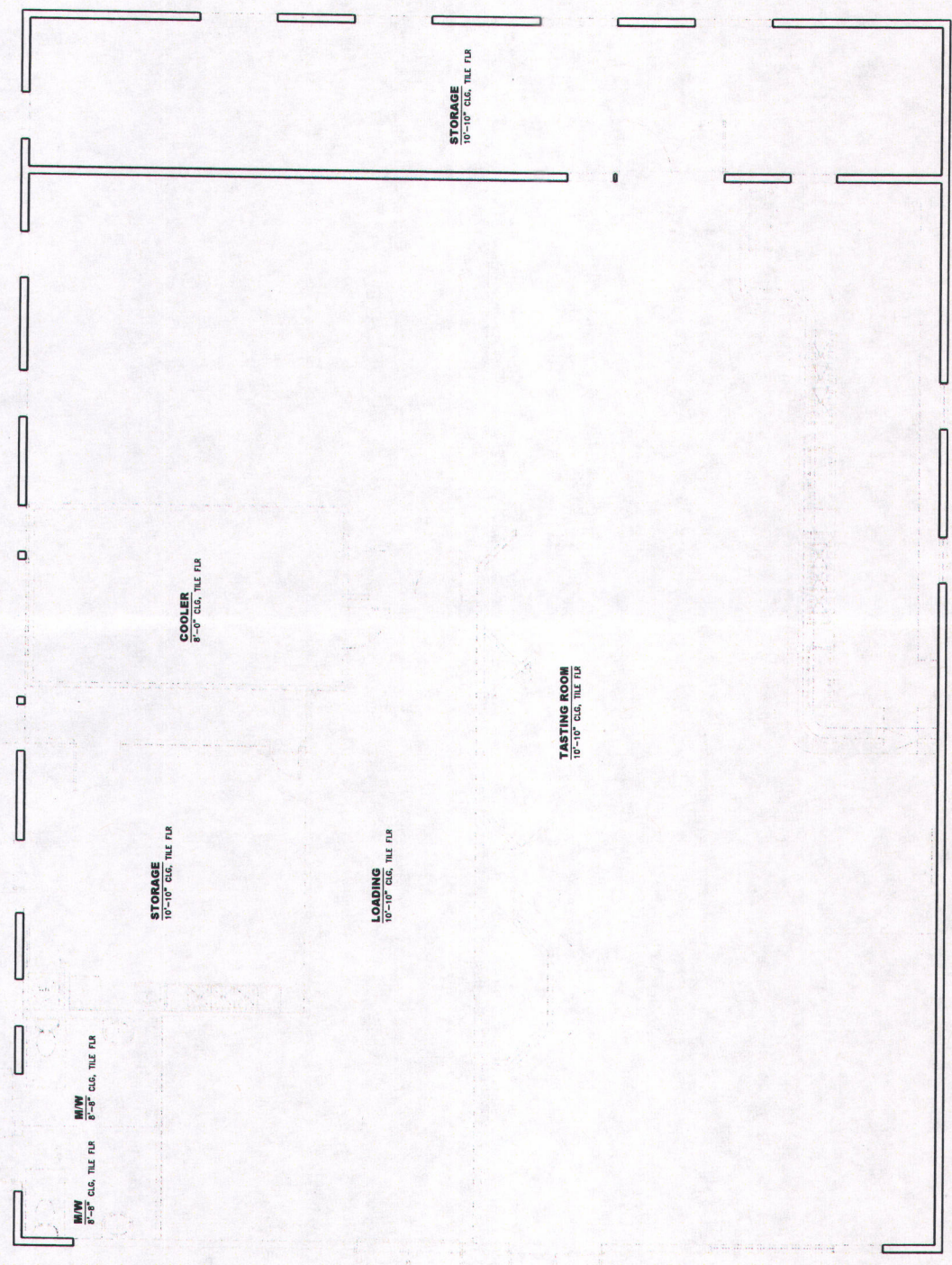
10. The Architect is not responsible for the cost of the demolition work.



6825608087  
 ENCINITAS, CA  
 (760) 733-2484  
 822PARTNERS.COM

# BLDG C - MARKETPLACE

BLDG C - MARKETPLACE	CITY: Temecula	DATE: 07-14-2014	JOB: AVENSOLE	DEMOLITION PLAN	<b>c.00</b>
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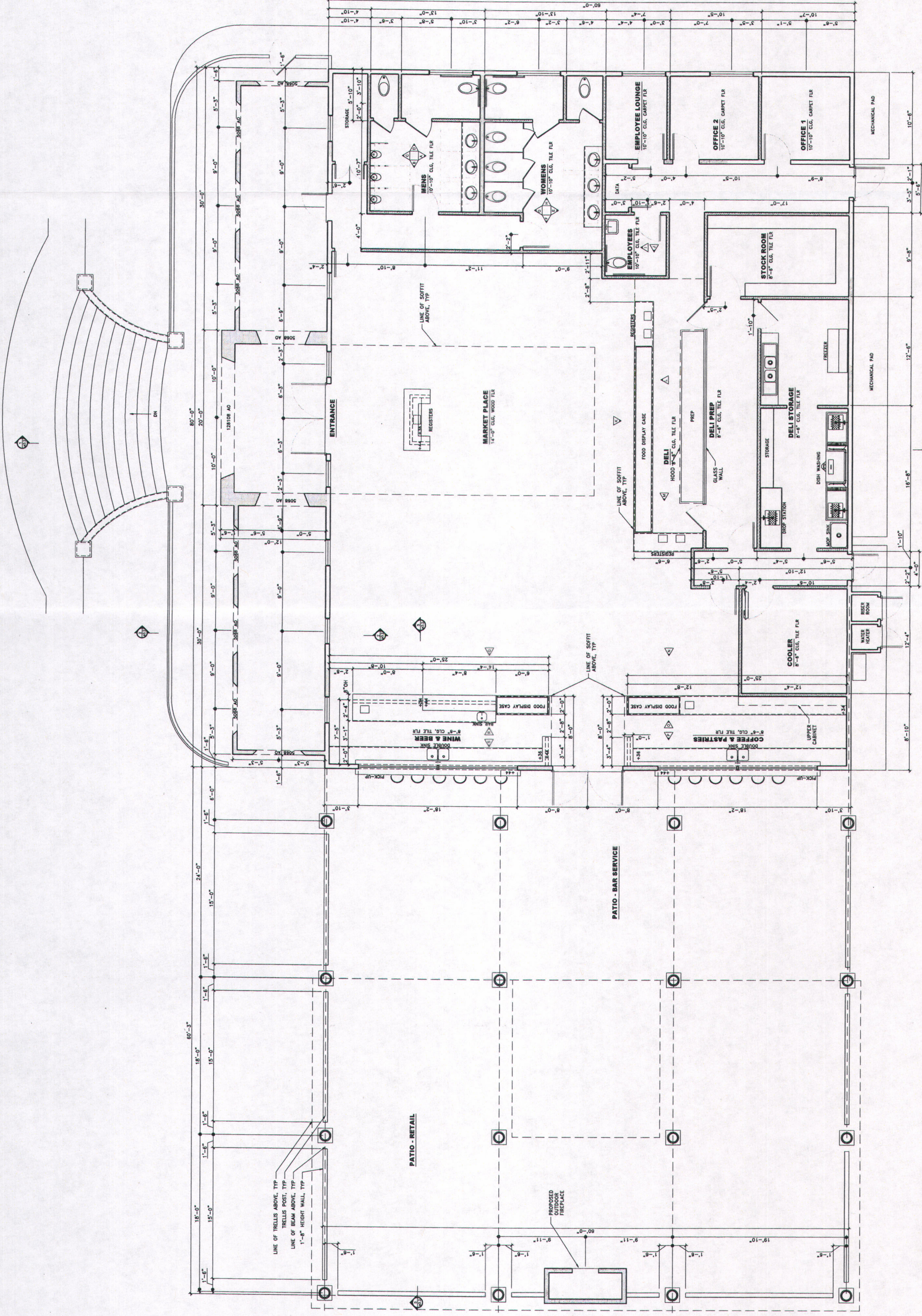
**1** demoltion plan  
 SCALE: 1/4" = 1'-0"





# BLDG C - MARKETPLACE

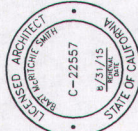
BLDG C - MARKETPLACE	CITY: Temecula
	07-14-2014
JOB: AVENSOLE	
FLOOR PLAN	
<b>c.01</b>	



**1** floor plan  
SCALE: 1/4" = 1'-0"







**perreira**  
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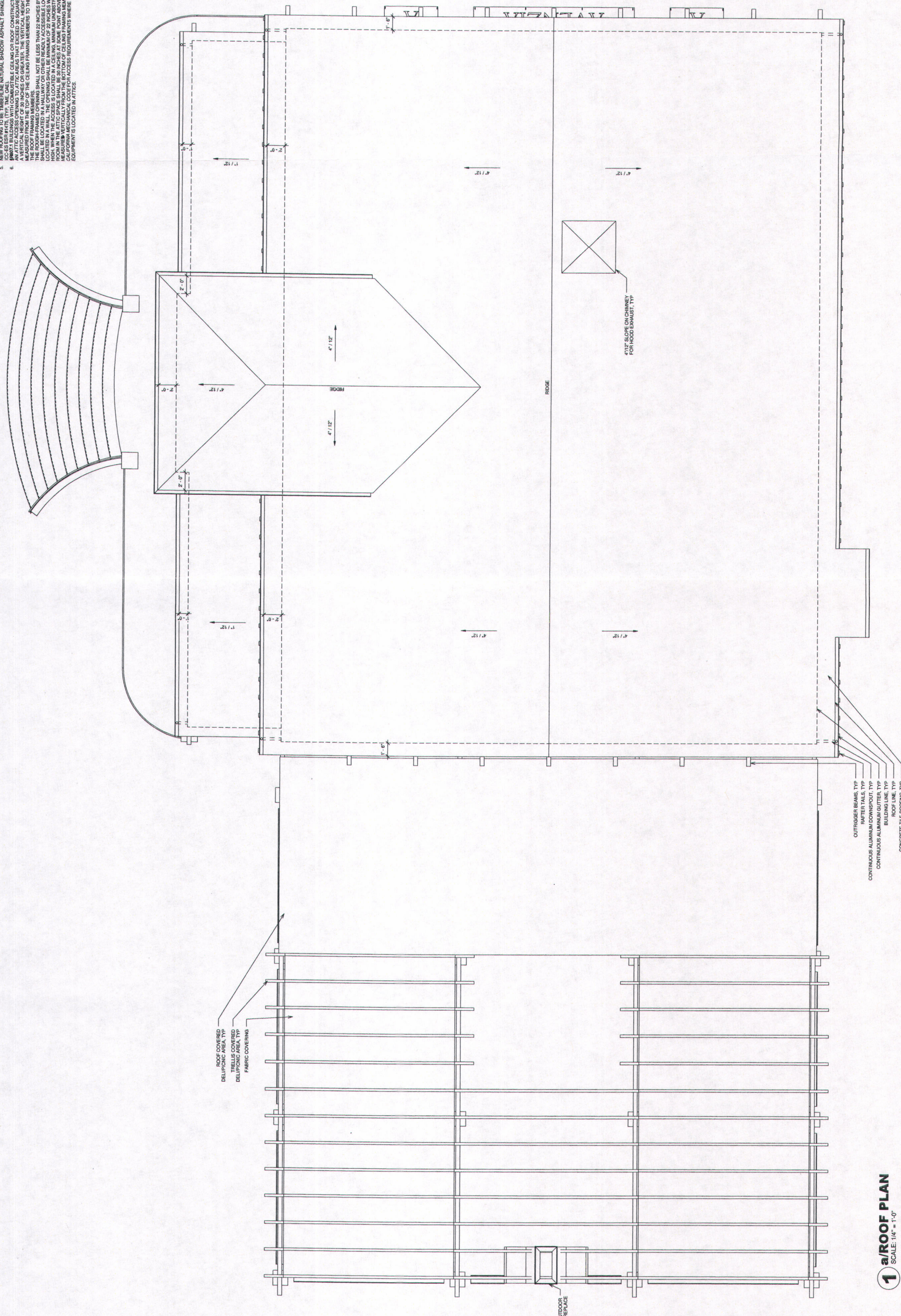
# BLDG C - MARKET PLACE

ROOF PLAN
CITY: TEMECULA
07-14-2014
AVENSOLE
BLDG C - MARKET PLACE

**a2.5**

### roof plan notes:

1. PROVIDE THE TOTAL NET FREE AREA SHALL NOT BE LESS THAN 10% OF THE AREA OF THE SPACE VENTILATED EXCEPT THAT REDUCTION OF THE TOTAL AREA IS PERMITTED IF THE SPACE IS VENTILATED AT LEAST 3 FEET ABOVE THE ROOF SURFACE AND THE VENTILATION IS PROVIDED BY MEANS OF CORNICE VENTS, BY EAVE OR CORNICE VENTS, AS AN ALTERNATIVE, THE NET FREE CROSS-VENTILATION SHALL BE PROVIDED BY MEANS OF CORNICE VENTS OR 1 VAPOR BARRIER IS INSTALLED ON THE WALL-MOUNTED SIDING THE CEILING.
2. PROVIDE EAVE OR CORNICE VENTS ARE INSTALLED. INSULATION SHALL NOT BLOCK THE VENTILATION AND THE ROOF SHEATHING AND AT THE LOCATION OF THE VENT.
3. PROVIDE INSULATION WITH A MINIMUM R-VALUE OF 15.0. USE CHANG COMPOSITION VENT, (224) PER VENT.
4. PROVIDE INSULATION WITH A MINIMUM R-VALUE OF 15.0. USE CHANG COMPOSITION VENT, (224) PER VENT.
5. PROVIDE INSULATION WITH A MINIMUM R-VALUE OF 15.0. USE CHANG COMPOSITION VENT, (224) PER VENT.
6. PROVIDE INSULATION WITH A MINIMUM R-VALUE OF 15.0. USE CHANG COMPOSITION VENT, (224) PER VENT.

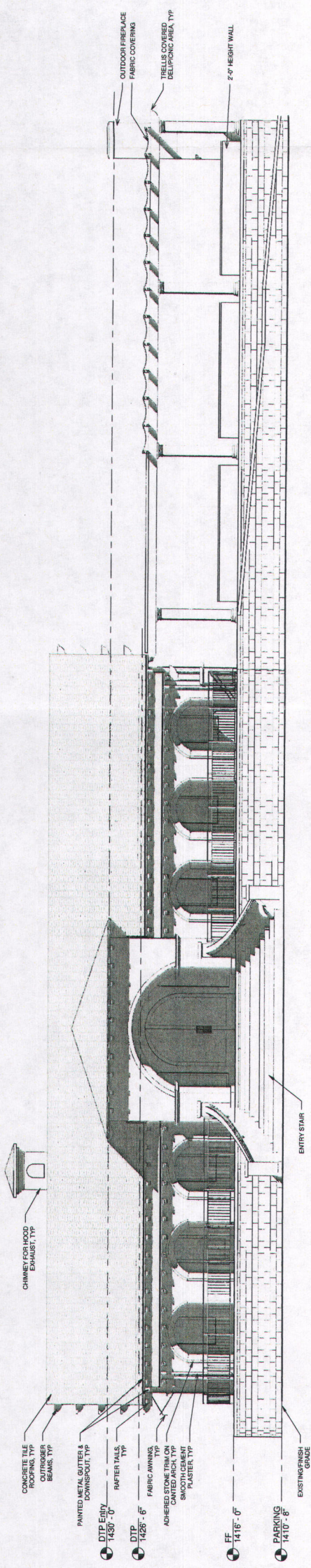


**1 a/ROOF PLAN**  
SCALE: 1/4" = 1'-0"

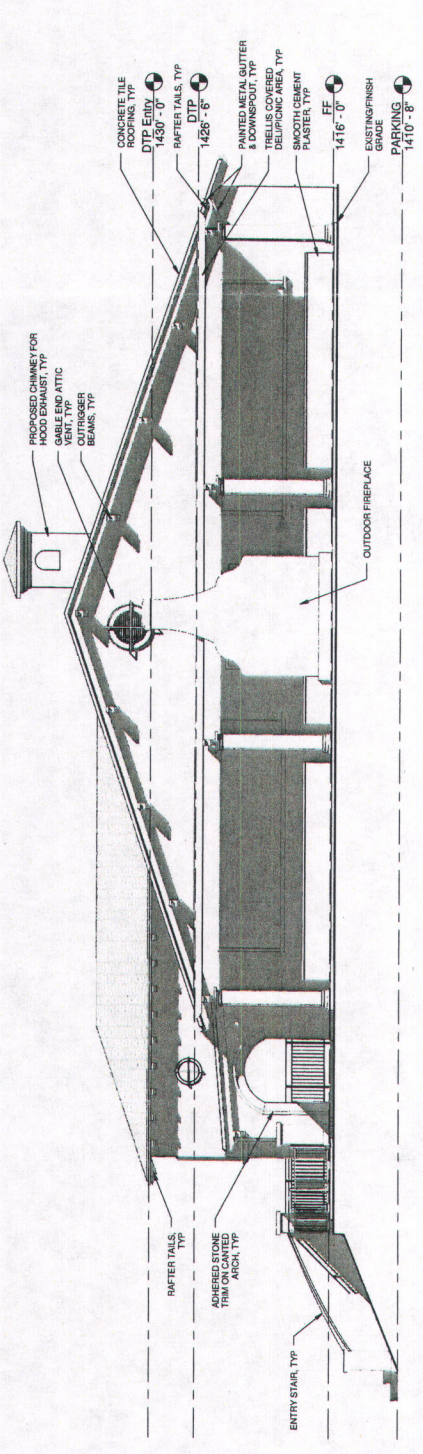


# BLDG C - MARKET PLACE

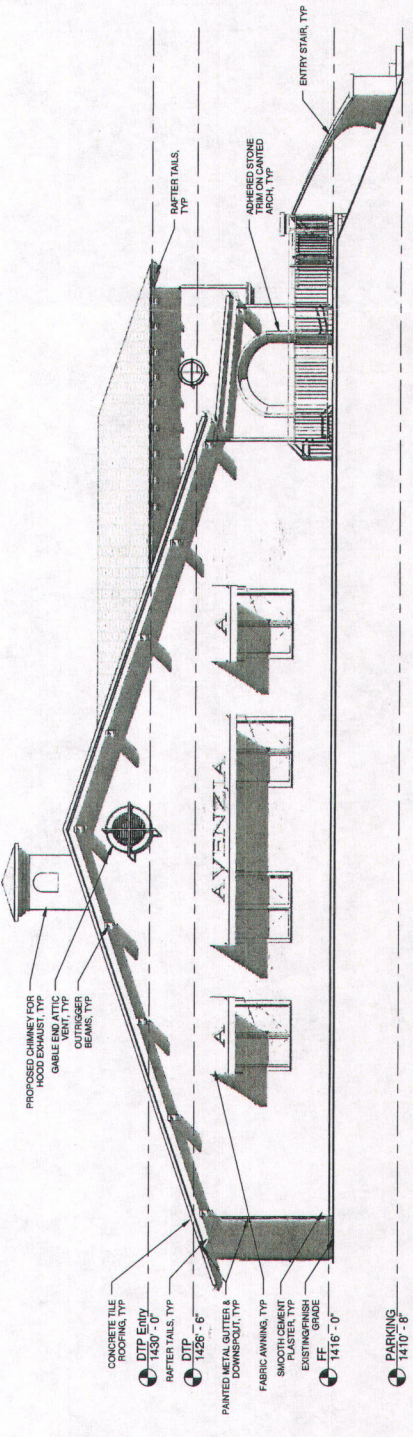
ELEVATIONS
CITY: TEMECULA
07-14-2014
AVENSOLE
BLDG C - MARKET PLACE
a3.0



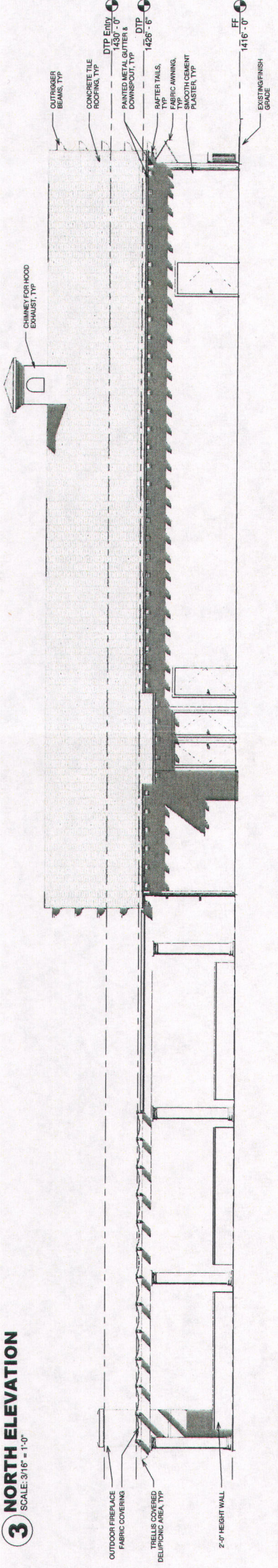
**1 WEST ELEVATION**  
SCALE: 3/16" = 1'-0"



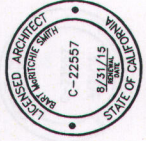
**2 SOUTH ELEVATION**  
SCALE: 3/16" = 1'-0"



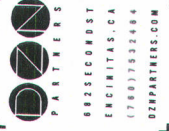
**3 NORTH ELEVATION**  
SCALE: 3/16" = 1'-0"



**4 EAST ELEVATION**  
SCALE: 3/16" = 1'-0"



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**AVENSOLE**

<b>AVENSOLE</b> BUILDING <b>D</b>	CITY: TEMECULA
	2014 12-05 2015 03-24 2015 04-20 2015 05-14
	JOB: 201418C
	<b>FIRST FLOOR          DEMOLITION          PLAN &amp; FIRST          FLOOR PLAN</b>



**d.01**

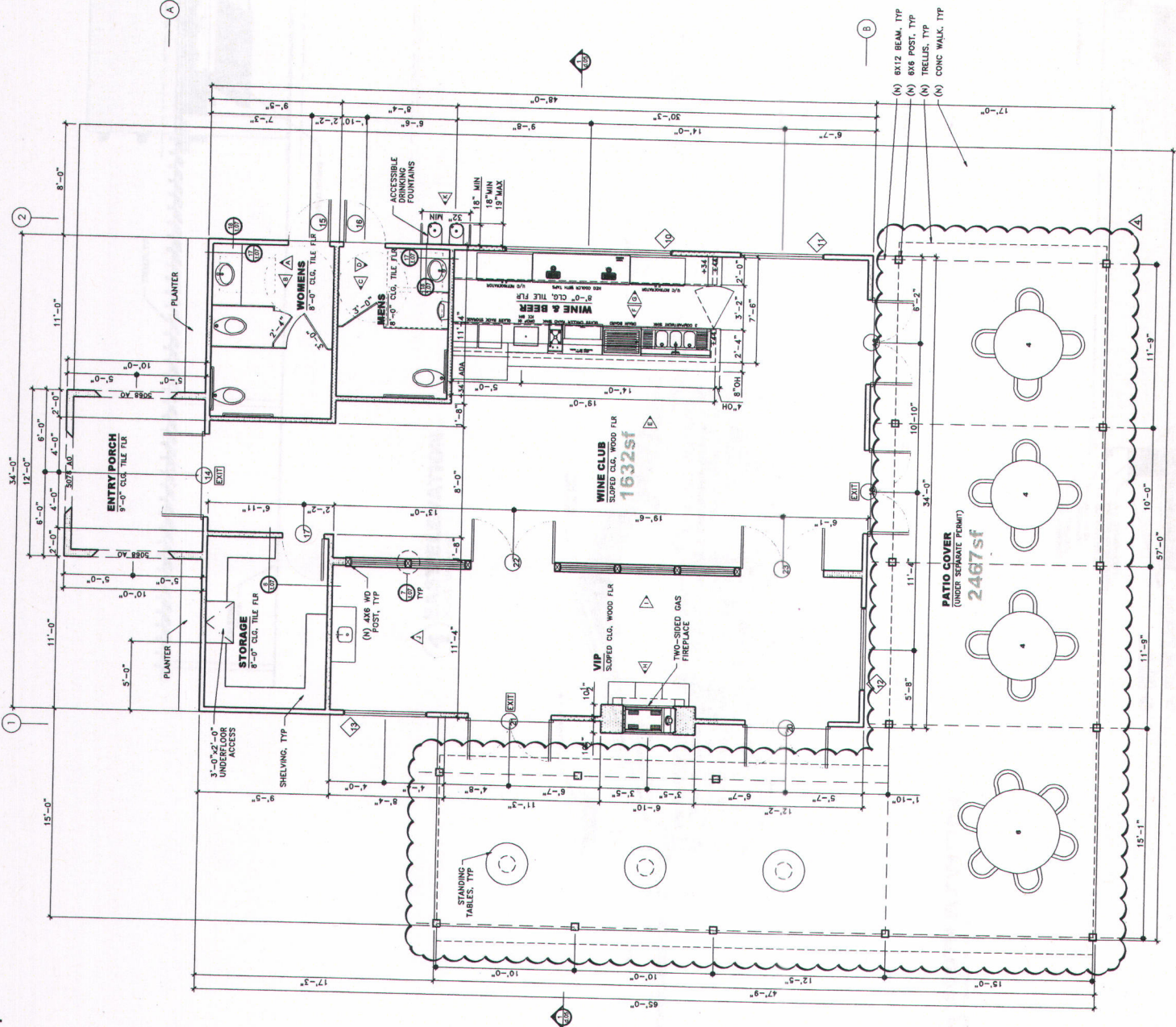
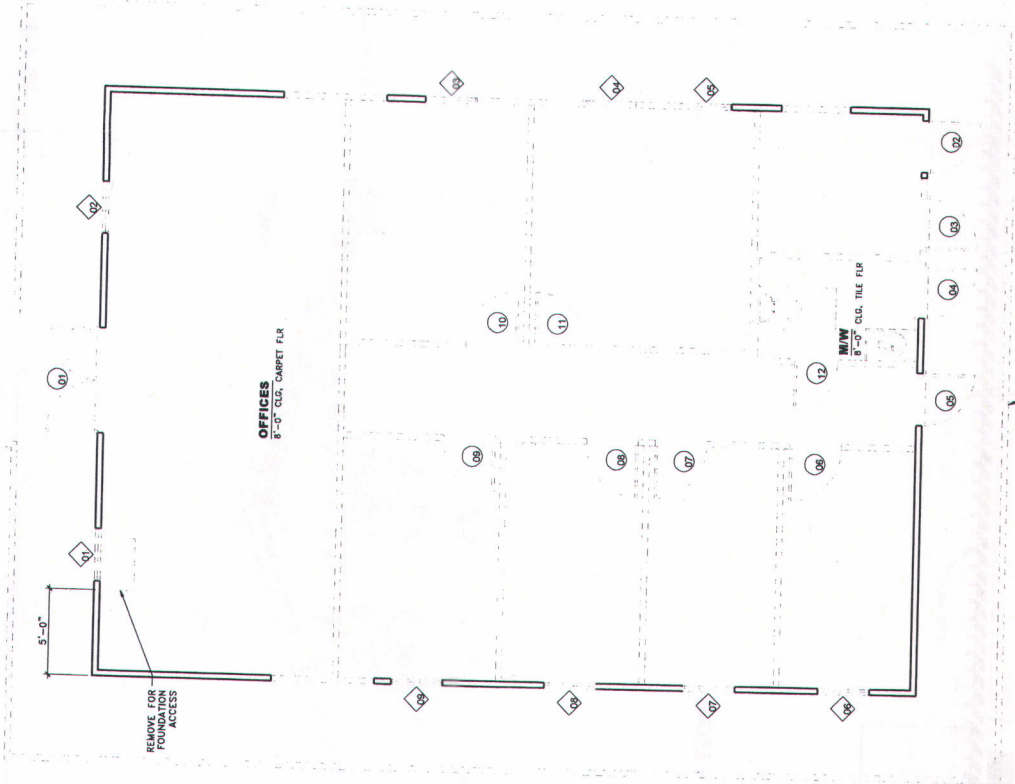
**demolition plan notes:**

- REMOVE ALL LIGHTLY DASHED WALLS AND OBJECTS, TYP.
- SEE L&M SHEET FOR SYMBOLS & LEGENDS

**floor plan notes:**

- EACH DINING, BANQUET AND BAR AREA SHALL HAVE ONE WHEELCHAIR SEATING SPACE FOR EACH 20 SEATS, WITH AT LEAST ONE WHEELCHAIR SERVED AT COUNTERS EXCEEDING 34IN. IN HEIGHT FOR SERVICE BY MAIN COUNTER OR STANDING AT THE COUNTER. A PORTION OF THE ASSEMBLY AREAS SHALL PROVIDE WHEELCHAIR SEATING. COMPANION SEATING SHALL BE PROVIDED FOR THE MAIN COUNTERS AND BANQUET AREAS. SEE 8-2211, 119-802.
- SEE L&M SHEET FOR SYMBOLS & LEGENDS
- WHERE KEY-OPERATED LOCKING DEVICES ARE USED, POST A SIGN ON OR ADJACENT TO THE REQUIRED MAIN EXIT DOOR WITH 1-IN. LETTERING OCCUPANCY (1008.1.9.3) REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED.
- LADDERS SHALL HAVE RUNG SPACING NOT TO EXCEED 14 INCHES (356 MM) ON CENTER.
- LADDERS SHALL HAVE A TIE SPACING NOT LESS THAN 6 INCHES (152 MM) BETWEEN RAILS.
- TIE RINGS SHALL HAVE A MINIMUM 0.75-INCH (19 MM) DIAMETER AND BE CAPABLE OF WITHSTANDING A 300-POUND (136.1 KG) LOAD.
- LOUVERED ROOFINGS MUST EXTEND NOT LESS THAN 30" ABOVE THE ADJACENT FLOOR.

SYMBOL	DESCRIPTION
(N)	NEW
(E)	EXISTING
(R)	EXISTING WALL TO REMAIN
(X)	EXISTING WALL TO BE REMOVED
(S)	NEW 4" WALL
(W)	NEW SEPARATION WALL



**2 first floor plan(3)**

SCALE: 1/4" = 1'-0"



**1**

**1 first floor demolition plan**

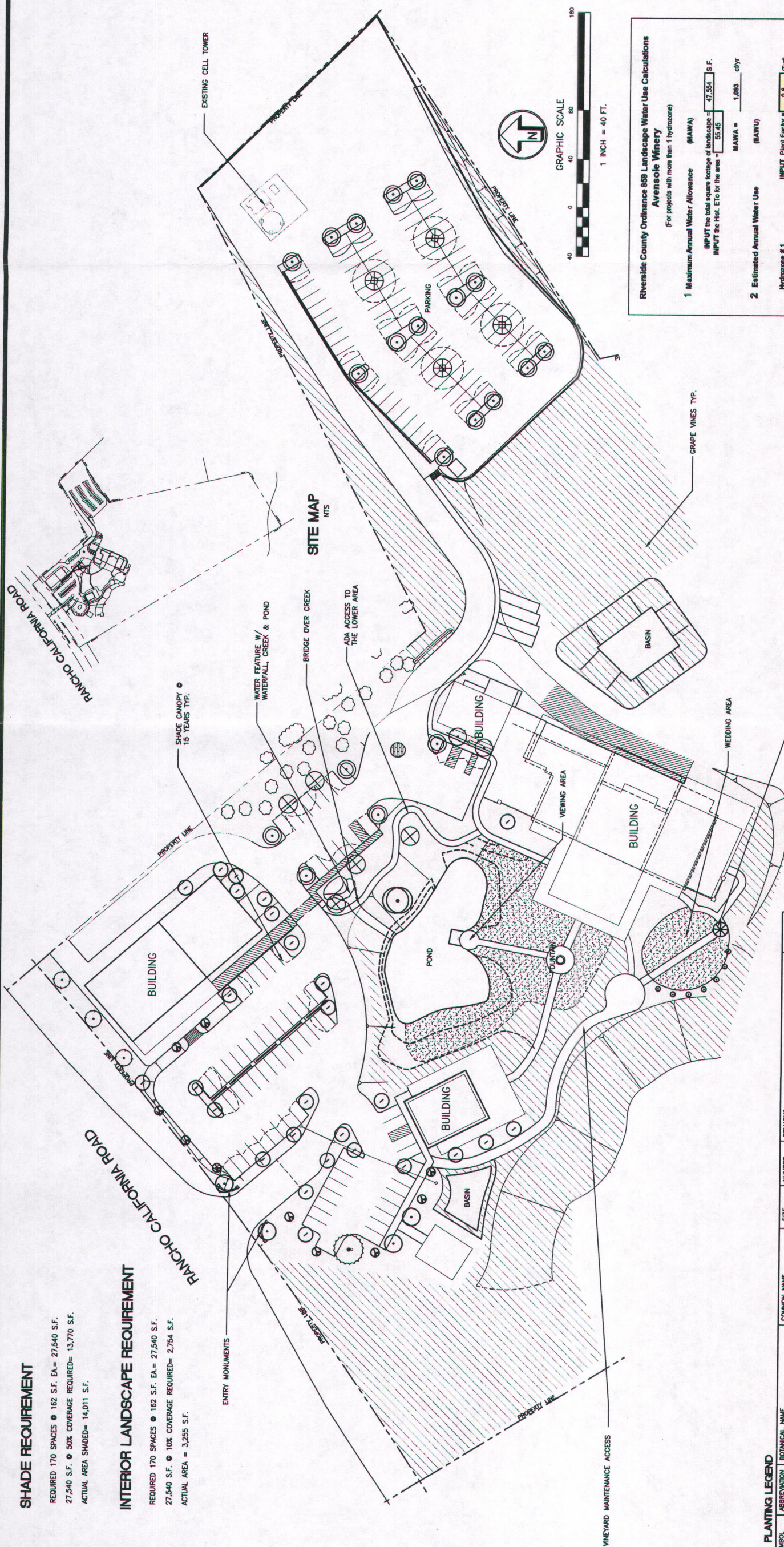
SCALE: 1/4" = 1'-0"

**SHADE REQUIREMENT**

REQUIRED 170 SPACES @ 162 S.F. EA. = 27,540 S.F.  
 27,540 S.F. @ 50% COVERAGE REQUIRED= 13,770 S.F.  
 ACTUAL AREA SHADED= 14,011 S.F.

**INTERIOR LANDSCAPE REQUIREMENT**

REQUIRED 170 SPACES @ 162 S.F. EA. = 27,540 S.F.  
 27,540 S.F. @ 10% COVERAGE REQUIRED= 2,754 S.F.  
 ACTUAL AREA = 3,255 S.F.



**PLANTING LEGEND**

SYMBOL	ABBREVIATION	BOTANICAL NAME	COMMON NAME	SIZE	NUMBER	REMARKS	WATER USE
+	ALB. J.U.L.	ALBIZIA JULIBRISSIN	MIMOSA	24" BOX	9	DOUBLE STAKE / HEIGHT 8'-10" . SPREAD 3'-4" MIN.	L
○	LAU. N. 'S'	LAURUS NOBILIS 'SARATOGA'	BAV LAUREL	24" BOX	27	DOUBLE STAKE / HEIGHT 8'-10" . SPREAD 3'-4" MIN.	L
○	CUP. SEM.	CUPRESSUS SEMPERVIRENS	ITALIAN CYPRESS	24" BOX	7	DOUBLE STAKE / HEIGHT 8'-10" . SPREAD 1'-2" MIN.	L
○	CHI. YAS.	CHITALPA YASHIENSIS	PINK FLOWERING CHITALPA	24" BOX	5	DOUBLE STAKE / HEIGHT 8'-10" . SPREAD 3'-4" MIN.	L
○	OLE. E. 'S.H.'	OLEA EUROPEA 'SWAN HILL'	FRUITLESS OLIVE TREE	24" BOX	4	DOUBLE STAKE / HEIGHT 8'-10" . SPREAD 3'-4" MIN.	L
○	QUE. AGR.	QUERCUS AGRIFOLIA	COAST LIVE OAK	EXISTING	1	EXISTING TO REMAIN AND PROTECT IN PLACE	L
○	BRA. POP.	BRACHYCHITON POPULINEUM	BOTTLE TREE	24" BOX	20	DOUBLE STAKE / HEIGHT 8'-10" . SPREAD 3'-4" MIN.	L
○	ROS. SP.	ROSA SPECIES 'TREE ROSE'	TREE ROSE	15 GAL	10	DOUBLE STAKE / HEIGHT 8'-10" . SPREAD 3'-4" MIN.	L
○	SAL. BAB.	SALIX BABYLONICA	WEeping WILLOW	24" BOX	1	DOUBLE STAKE / HEIGHT 8'-10" . SPREAD 3'-4" MIN.	M
○	SHRUBS:						
○	AGA. A. 'O.A.'	AGAPANTHUS ATTICANUS 'QUEEN ANNE'	LILY OF THE LILIE	5 GAL	90	FULL & BUSHY @ 3' O.C.	M
○	ALY. RUE.	ALYSSUM RUEGELII	BLUE HIBISCUS	5 GAL	33	FULL & BUSHY @ 5' O.C.	M
○	HEM. 'HTB.'	HEMEROCALLIS HYBRID	HEMEROCALLIS	5 GAL	79	FULL & BUSHY @ 3' O.C. - 50% RED & 50% YELLOW	M
○	LAN. 'GR'	LANTANA 'GOLD RUSH'	YELLOW LANTANA	1 GAL	177	TRIANGULAR SPACING @ 5' O.C. - GROUND COVER	L
○	XYL. CON.	XYLOSMA CONGESTUM	XYLOSMA	5 GAL	8	FULL & BUSHY @ 5' O.C.	L
○	BAC. P. 'T.P.'	BACCHARIS PULVERULA 'TWIN PEAKS'	PROSTRATE COYOTE BRUSH	1 GAL	133	TRIANGULAR SPACING @ 3' O.C. - GROUND COVER	L
○	LUR. J. 'T.'	LIGULSTRUM JAPONICA 'TIDANUM'	TEXAS PRIVET	5 GAL	465	FULL & BUSHY @ 3' O.C. TRIMMED INTO HEDGES	M
○	BUX. SEM.	BUXUS SEMPERVIRENS	COMMON BOXWOOD	5 GAL	218	FULL & BUSHY @ 3' O.C. TRIMMED INTO HEDGES	M
○	RAP. I. 'S.'	RAPHIOLEPIS INDICA 'JACK EVANS'	PINK INDIAN HAWTHORN	5 GAL	317	FULL & BUSHY @ 3' O.C.	M
○	ROS. 'C.R.R.'	ROSA 'CARPET ROSE RED'	RED GROUND COVER ROSE	1 GAL	387	TRIANGULAR SPACING @ 3' O.C. - GROUND COVER	L
○	LAN. MON.	LANTANA MONTEVIDENSIS	PURPLE LANTANA	1 GAL	357	TRIANGULAR SPACING @ 5' O.C. - GROUND COVER	L
○	TRA. JAS.	TRACHELOSPERMUM JASMINODES	STAR JASMINE	5 GAL	218	FULL & BUSHY @ 3' O.C.	L
○	ROS. SP.	ROSA SPECIES	HYBRID ROSE	5 GAL	16	FULL & BUSHY @ 5' O.C. SELECTED BY OWNER	M
○	DEC. BUC.	DISTICTIS BUCCHITORTIA	BLOOD RED TRUMPET VINE	5 GAL	2	ATTACH TO TRASH ENCLOSURE WALLS	M
○	MULCH & LAWN:						
○	WOOD MULCH	FOREST BLEND WOOD MULCH	MEDIUM GRIND WOOD MULCH	3" MAX.	AS REQ'D.	3" DEEP - INSTALL TO ALL PLANTING AREAS	H
○	FES. ARUL.	FESTUCA ARUNDINACEA	TURF TYPE TALL FESCUE	500	AS REQ'D.	INSTALL PER SPECIFICATIONS	H
○	JUNCO. PAT.	JUNCOUS PATENS	CALIFORNIA RUSH	1 GAL	469	PLANT TRIANGULAR SPACING @ 3' O.C. W/3" LAYER OF MULCH	M
○	MUL. RIC.	MUEHLBERGIA RIGENS	BEER GRASS	1 GAL	52	PLANT TRIANGULAR SPACING @ 3' O.C. W/3" LAYER OF MULCH	L

**OWNER:**  
 LYTTON VINEYARD & WINERY, L.P.  
 C/O MR. SHELDON LYTTON  
 1801 CENTURY PARK EAST, SUITE 1450  
 LOS ANGELES, CALIFORNIA 90067  
 (310)-962-2733

**PROJECT ADDRESS:**  
 34567 RANCHO CALIFORNIA RD  
 TEMECULA, CA 92592

**NOTES:**

- ALL PLANTING AND IRRIGATION SHALL CONFORM TO THE COUNTY OF RIVERSIDE STANDARDS, ORDINANCE 859 AND THE GUIDE TO CALIFORNIA FRIENDLY LANDSCAPING.
- ALL PLANTING SHALL BE INSTALLED AND UTILIZED FOR CONSERVATION OF RIVERSIDE'S WATER.
- ALL MATURE PLANTING SHALL NOT INTERFERE WITH UTILITY LINES OR TRAFFIC SITE LINES.
- ALL UTILITIES SHALL BE SCREENED W/ PLANTING TYP.
- INSTALL ROOT BARRIERS TO TREES WITHIN 6' OF ALL HARDSCAPE.
- ALL SLOPES OVER 3' IN VERTICAL HEIGHT SHALL BE PLANTED AND IRRIGATED PER THE BUILDING AND SAFETY REQUIREMENTS.
- A 3" LAYER OF WOOD MULCH SHALL BE INSTALLED TO ALL PLANTING AREAS AS REQUIRED.
- LAWN SHALL BE USED FOR ACTIVE AREAS.
- ALL LANDSCAPE WILL BE MAINTAINED BY OWNER.
- THERE IS A TOTAL LAWN AREA OF 14,077 S.F. AND ALL LAWN AREAS ARE NECESSARY FOR THE FUNCTION OF THE WINERY.

**Riverside County Ordinance 859 Landscape Water Use Calculations**  
 Avensole Winery  
 (For projects with more than 1 hydrone)

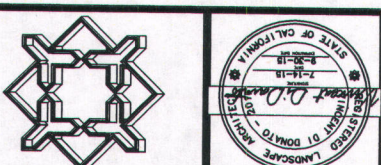
**1 Maximum Annual Water Allowance (MAWA)**  
 INPUT the total square footage of landscape = 47,554 S.F.  
 INPUT the Hyd. Eto for the area = 55.45  
 MAWA = 1,893 cft/yr

**2 Estimated Annual Water Use (EAWU)**

Hydrone #	INPUT square footage of hydrone =	INPUT Plant Factor =	INPUT Plant Factor =	INPUT square footage of hydrone =	INPUT Plant Factor =	INPUT square footage of hydrone =	INPUT Plant Factor =	INPUT square footage of hydrone =	INPUT Plant Factor =	INPUT square footage of hydrone =	INPUT Plant Factor =
Hydrone # 1	0	0	0.8	0	0	0	0	0	0	0	0
Hydrone # 2	0	0	0.8	0	0	0	0	0	0	0	0
Hydrone # 3	0	0	0.5	0	0	0	0	0	0	0	0
Hydrone # 4	0	0	0.2	0	0	0	0	0	0	0	0
Hydrone # 5	0	0	0.1	0	0	0	0	0	0	0	0

SubTotal EAWU = 850 cft/yr  
 Input Irrigation System Operation Factor = 0.85  
 Total EAWU = 1,000 cft/yr  
 EAWU < MAWA = 93 cft/yr

**ALHAMBRA GROUP**  
 LANDSCAPE ARCHITECTURE  
 California license #2017  
 RECREATION FACILITIES PLANNING  
 41635 Enterprise Circle North, Suite C  
 Temecula, CA 92590 (951) 296-8802 FAX 296-8803

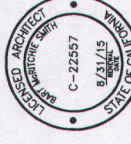


**AVENSOLE WINERY**  
 C/O RTN DEVELOPMENT  
 28465 OLD TOWN FRONT STREET, SUITE 311  
 OWNER:  
 PROJECT:

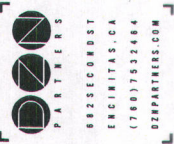
CASE: CUP03711  
 EXHIBIT L  
 DATE: 07/15/15  
 PLANNER: P. Nanthavongduangsy

**COMPREHENSIVE LANDSCAPE PLAN**

14-119  
 JOB NO.  
 of 1 sheets  
 L-1  
 SHEET  
 date: 8-25-1  
 checked:  
 drawn:  
 V:  
 V:  
 ANY CHANGE MADE BY PARTIES OTHER THAN SAO ARCHITECTS SHALL RELIEVE ARCHITECTS OF RESPONSIBILITY FOR THE FACILITY OR AFFECTED PORTION THEREOF. CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO THE START OF ANY WORK & SHALL REPORT ANY DISCREPANCY TO THE ARCHITECT.



AVENSOLE PARTNERS  
 8822 GORRUST  
 ENCINITAS, CA  
 (760) 752-8844  
 @PARTNERS.COM



**AVENSOLE**

	CITY: TEMECULA
	2014.12.05 2015.03.24 2015.04.20 2015.05.14
JOB: 201418C	FIRST FLOOR DEMOLITION PLAN & FIRST FLOOR PLAN
<b>d.01</b>	

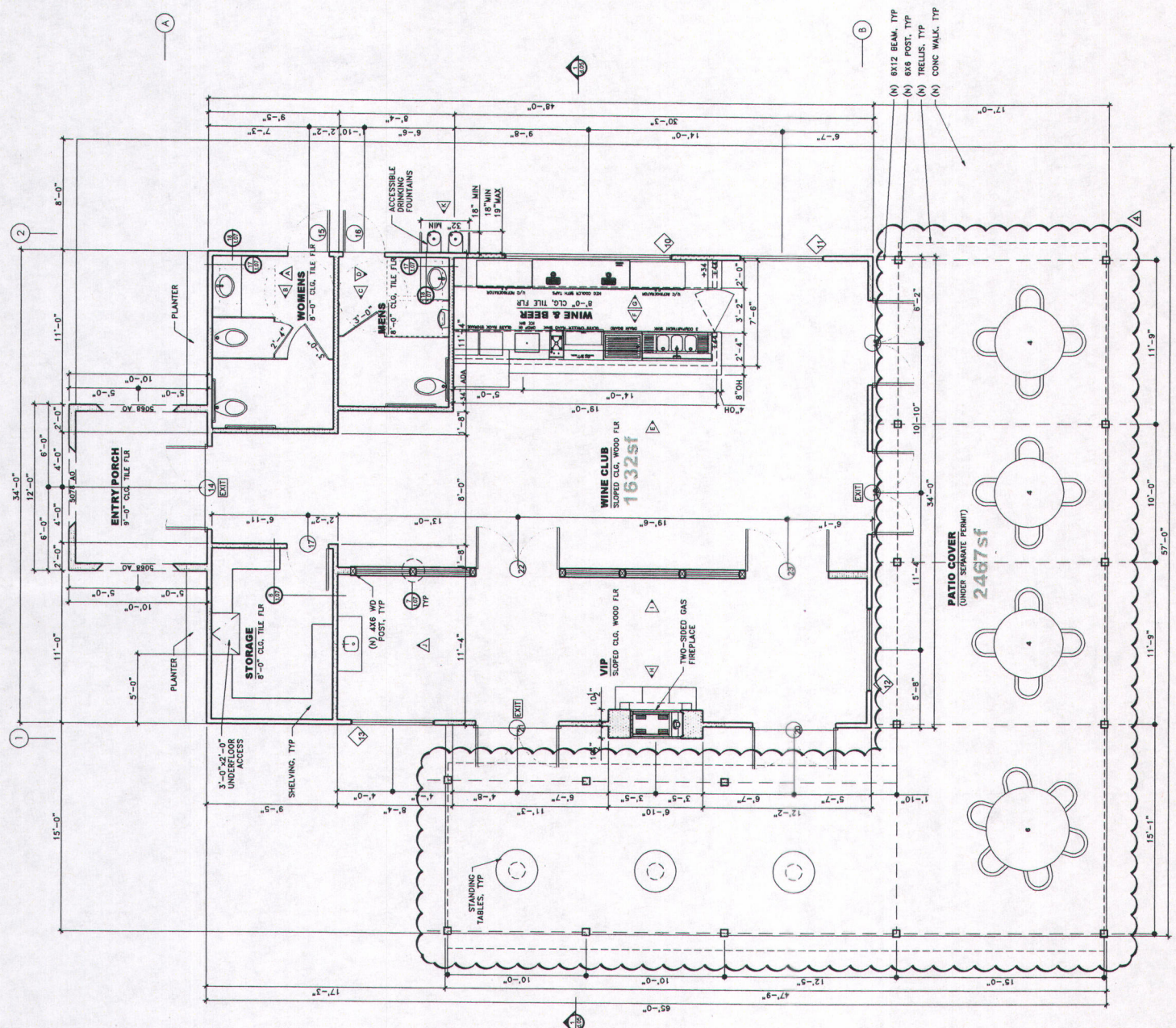
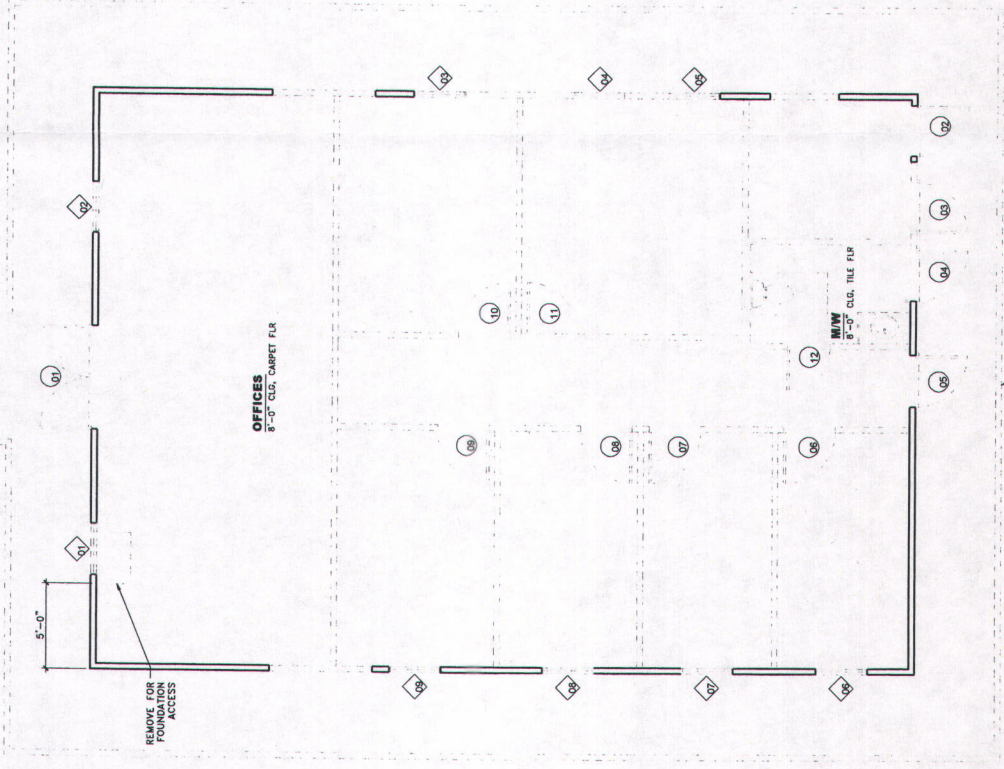
**demolition plan notes:**

- REMOVE ALL LIGHTLY DASHED WALLS AND OBJECTS. TYP
- SEE I.04 SHEET FOR SYMBOLS & LEGENDS

**floor plan notes:**

- EACH DINING, BANQUET AND BAR AREA SHALL HAVE ONE WHEELCHAIR SEATING SPACE FOR EACH 20 SEATS, WITH AT LEAST ONE WHEELCHAIR SERVED AT COUNTERS EXCEEDING 34in IN HEIGHT FOR CONSUMPTION BY PERSONS WITH MOBILITY IMPAIRMENTS. THE WHEELCHAIR SEATING SHALL BE LOCATED AT THE END OF THE COUNTER, A PORTION OF THE COUNTER SHALL BE 36" HIGH TO ACCOMMODATE WHEELCHAIR SEATING. ASSEMBLY AREAS SHALL PROVIDE WHEELCHAIR SPACES, COMPANION SEATS, 8'-2 1/2" x 11'-0" SEATING SPACES AND SEMI-CIRCULAR SEATING WITH 11' DIAMETER.
- SEE I.04 SHEET FOR SYMBOLS & LEGENDS
- WHERE KEY-OPERATED LOCKING DEVICES ARE USED, POST A SIGN ON OR ADJACENT TO THE REQUIRED MAIN EXIT DOOR WITH "KEY-OPERATED LOCKING DEVICES" (1008.1.9.3) REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED.
- LADDERS SHALL HAVE RUNG SPACING NOT TO EXCEED 14 INCHES (356 MM) ON CENTER.
- LADDERS SHALL HAVE A TOE SPACING NOT LESS THAN 6 INCHES (152 MM) DEEP.
- THERE SHALL BE A MINIMUM OF 18 INCHES (457 MM) BETWEEN RAILS.
- RUNGS SHALL HAVE A MINIMUM 0.75-INCH (19 MM) DIAMETER AND BE CAPABLE OF WITHSTANDING A 300-POUND (136.1 KG) LOAD.
- WHEN STAIR RAILINGS MUST EXTEND NOT LESS THAN 30" ABOVE THE ADJACENT FLOOR.

SYMBOL	DESCRIPTION
(N) =	NEW
(E) =	EXISTING
---	EXISTING WALL TO REMAIN
---	EXISTING WALL TO REMAIN
---	NEW 4" WALL
---	NEW 6" WALL
---	NEW SEPARATION WALL



**2 first floor plan(3)**  
 SCALE: 1/4" = 1'-0"

**1 first floor demolition plan**  
 SCALE: 1/4" = 1'-0"



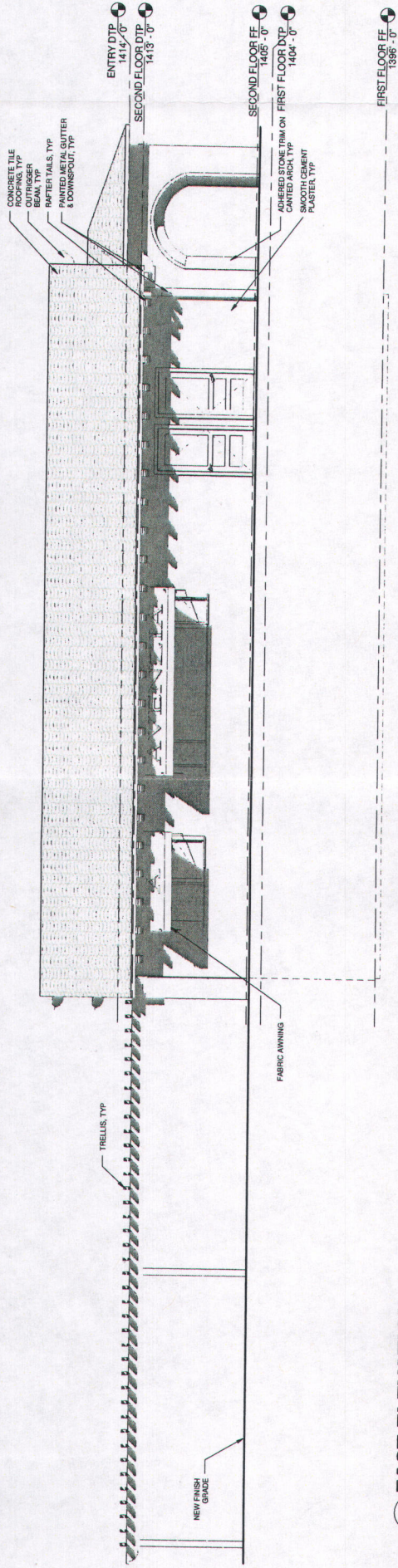


**gardeners**  
**ARCHITECTURE**  
 482 SECOND STREET  
 BERKELEY, CA 94704  
 (415) 753-5884  
 (415) 753-5882  
 WWW.GARDENERSARCH.COM

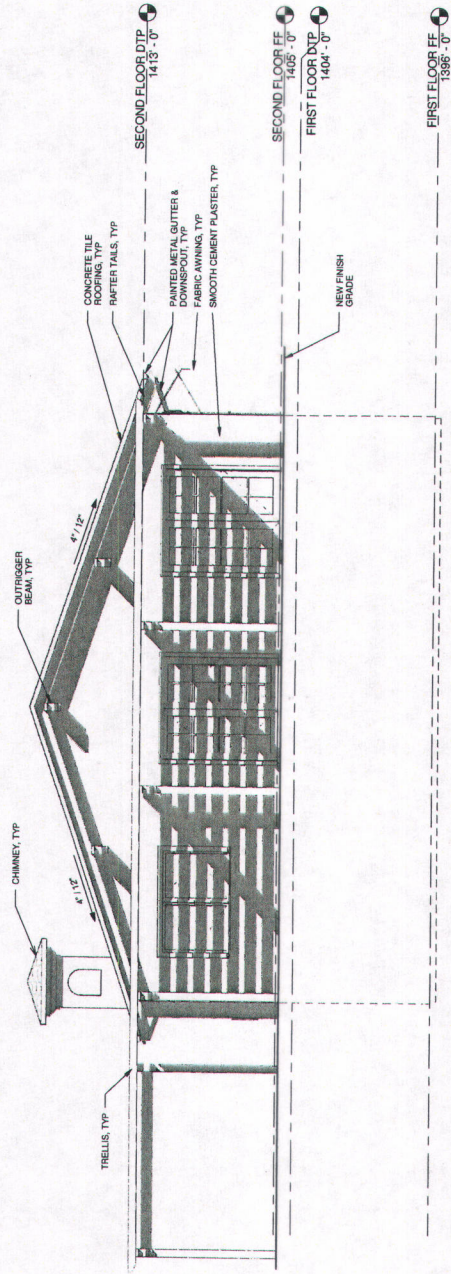
# BLDG D - WINE CLUB

ELEVATIONS
CITY: TEMECULA
07-14-2014
AVENSOLE
BLDG D - WINE CLUB

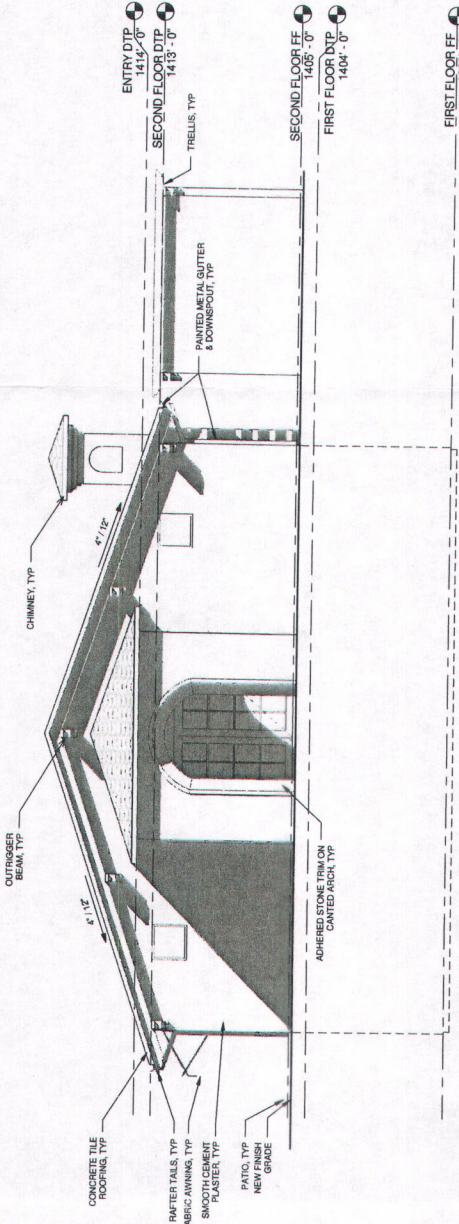
**a3.0**



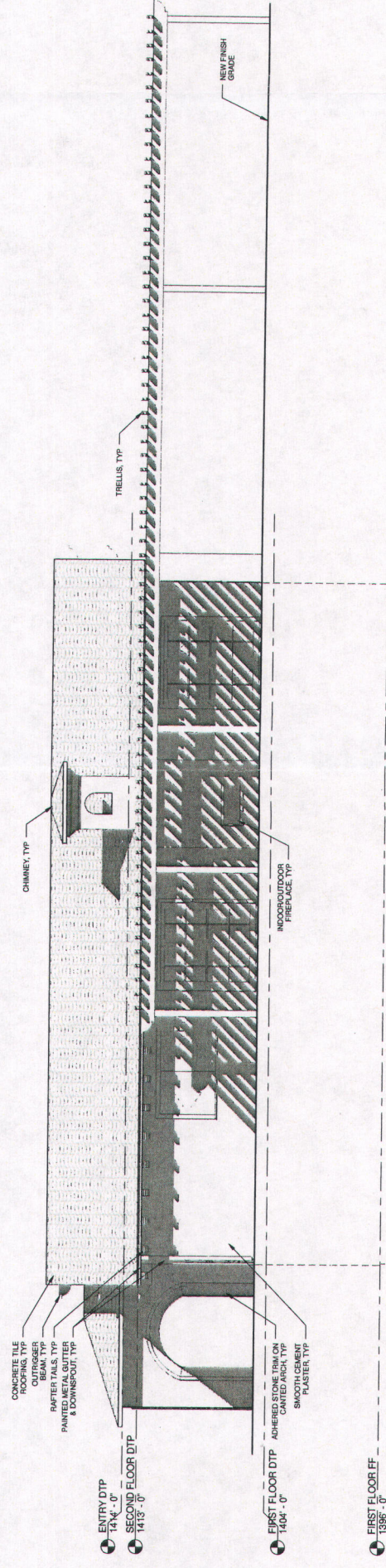
**1 EAST ELEVATION**  
SCALE: 1/4" = 1'-0"



**3 SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**2 NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**4 WEST ELEVATION**  
SCALE: 1/4" = 1'-0"

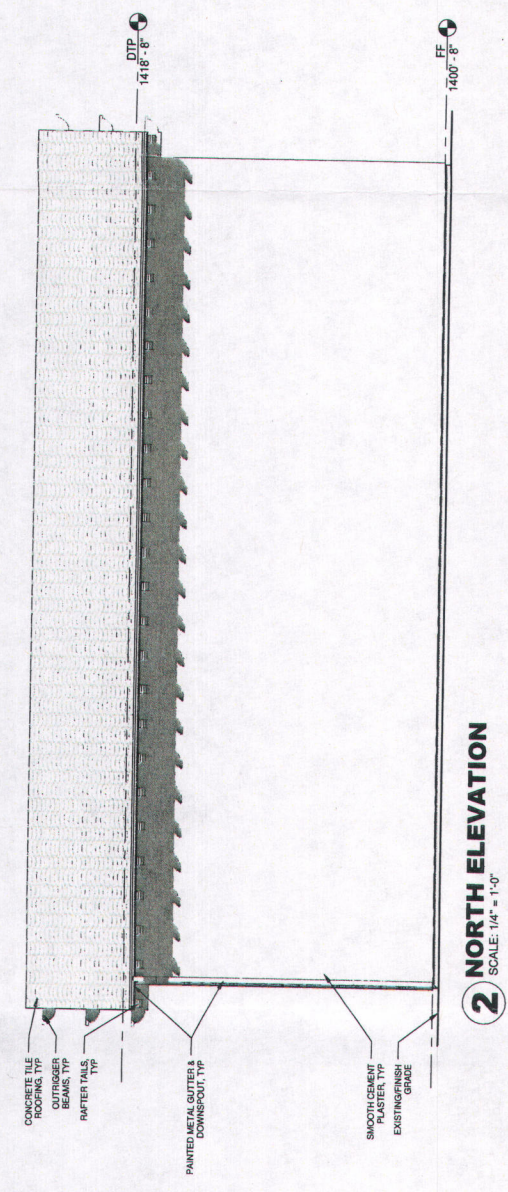




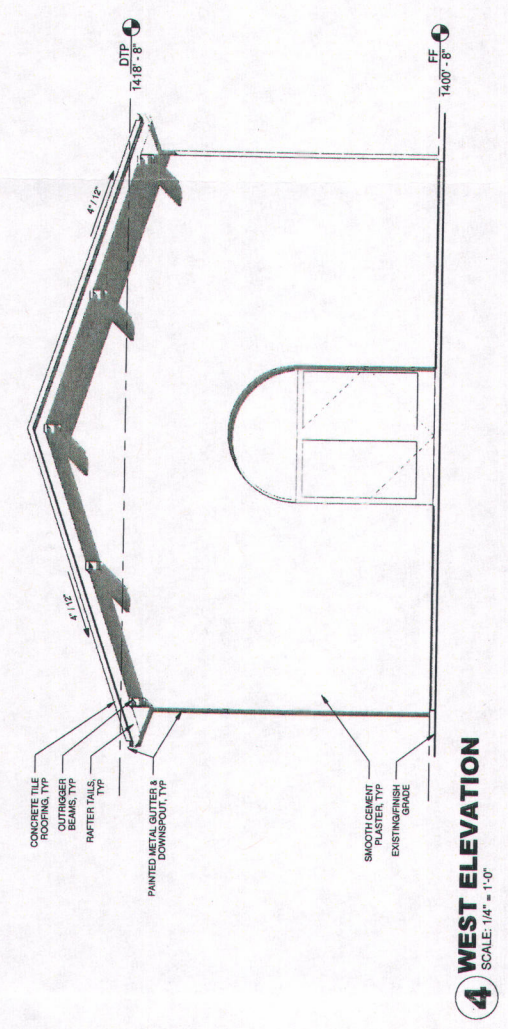
JEFFREY A. WINTERS  
 LICENSED ARCHITECT  
 STATE OF CALIFORNIA  
 C-22557  
 4/21/15

# BLDG E - BARREL ROOM

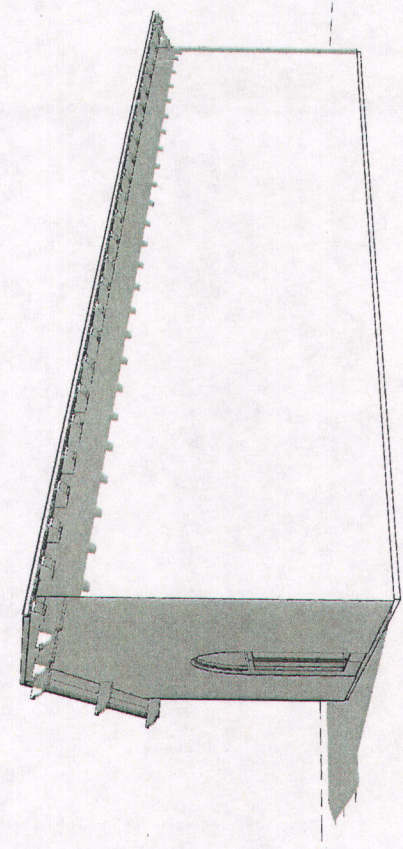
ELEVATIONS
CITY: TEMECULA
7-14-2014
JOB: AVENSOLE
BLDG E - BARREL ROOM
<b>a3.0</b>



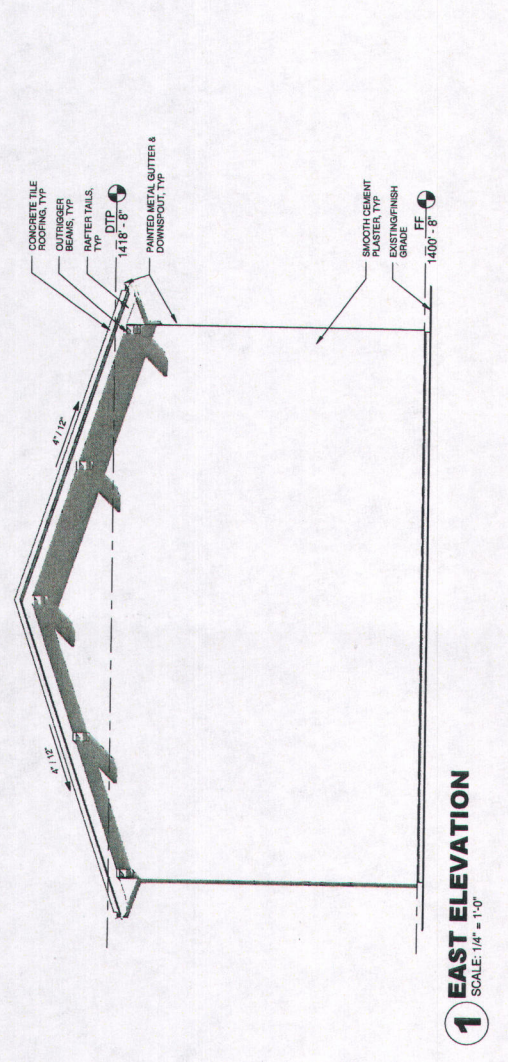
**2 NORTH ELEVATION**  
 SCALE: 1/4" = 1'-0"



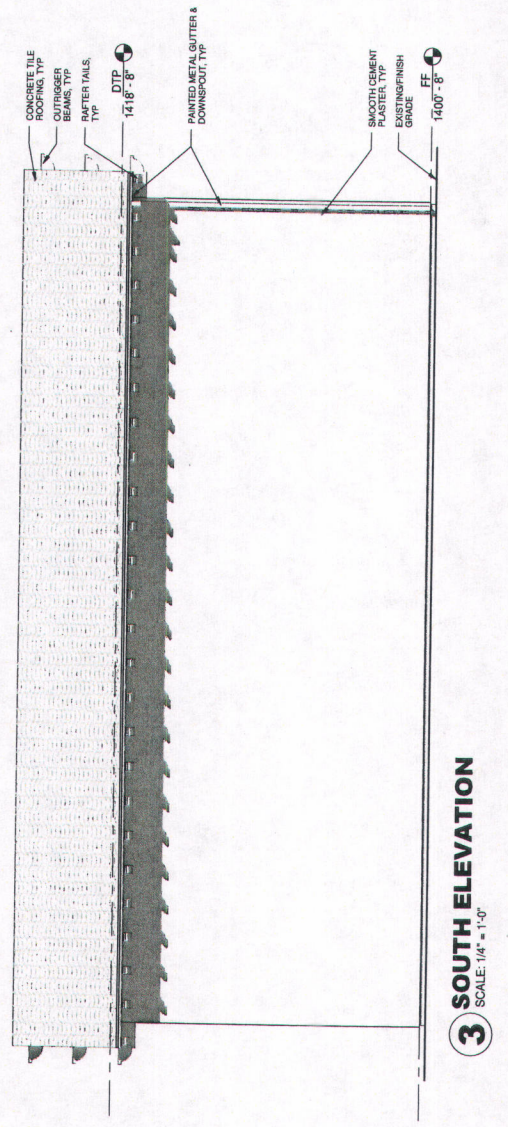
**4 WEST ELEVATION**  
 SCALE: 1/4" = 1'-0"



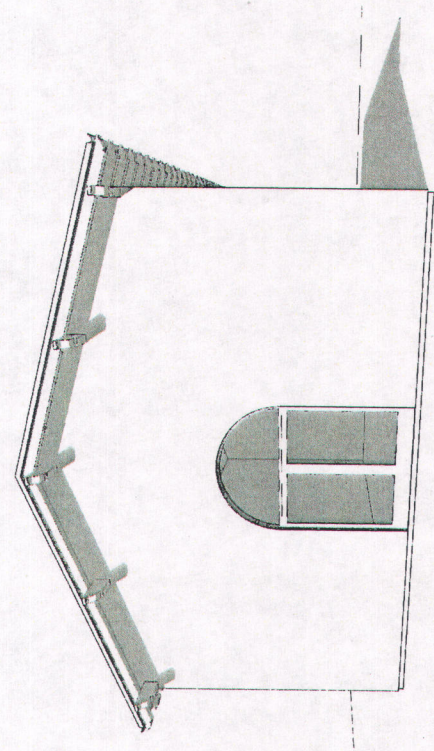
**6 BARREL BARN PERSPECTIVE 2**  
 SCALE:



**1 EAST ELEVATION**  
 SCALE: 1/4" = 1'-0"



**3 SOUTH ELEVATION**  
 SCALE: 1/4" = 1'-0"



**5 BARREL BARN PERSPECTIVE 1**  
 SCALE:

# COUNTY OF RIVERSIDE

## ENVIRONMENTAL ASSESSMENT FORM: INITIAL STUDY

**Environmental Assessment (E.A.) Number:** EA 42724

**Project Case Type (s) and Number(s):** Change of Zone No. 7848, Conditional Use Permit No. 3711, and Noise Exemption No. 00007

**Lead Agency Name:** County of Riverside Planning Department

**Address:** P.O. Box 1409, Riverside, CA 92502-1409

**Contact Person:** Phayvanh Nanthavongdouangsy, Urban Regional Planner IV

**Telephone Number:** 951-955-6573

**Applicant's Name:** Lytton Vineyard and Winery

**Applicant's Address:** 24910 Las Brisas Rd. Ste. 102, Murrieta CA 92562

### I. PROJECT INFORMATION

#### A. Project Description:

The following is an overview of the applications on the Project site, as well as the Wine Country Community Plan. Reference Figure 1, *Vicinity Map*.

*Conditional Use Permit No. 3711, Change of Zone No. 7848, and Noise Exemption No. 00007 – Current Applications for this Environmental Assessment*

The Project, Conditional Use Permit No. 3711 (CUP No. 3711), Change of Zone No. 7848 (CZ No. 7848) and Noise Exemption No. 00007, will classify an existing winery into a Class V Winery that is permitted under the Wine Country-Winery Zone. CUP No. 3711 will modify uses associates with this existing winery specifically to include a restaurant in place of the delicatessen, include a one-bedroom Bed and Breakfast Inn in place of the art gallery building, and include a special occasion facility to host special occasions within the existing office and winery buildings, as well as to host outdoor concerts. CZ No. 7848 will change the zone from Citrus/Vineyard-10 acre min (CV-10) Zone to Wine Country-Winery (WC-W) Zone. Noise Exemption No. 00007 seeks to permit continuous events with amplified sounds for special occasion events.

*Background Information on existing Winery Plot Plan No. 06934 (PP No. 06394) and Plot Plan No. 12661 (PP No. 12661)*

Avensole Vineyard and Winery is operating as permitted under PP No. 06934 and PP No. 12661 on the Project site. PP No. 06394 was approved in 1983 and was modified by PP No. 12661 in 1992. The approved plot plans permitted the following uses in conjunction to a vineyard and winery: wine tasting area, production facility, market place, delicatessen, picnic area, art gallery, barrel storage, and office spaces. There are five existing buildings that accommodate these uses. The winery site has in past hosted special events within the picnic area. 75% of the net Project area, approximately 16.21 acres is dedicated to cultivation of vineyards.

*Grading Permit No. BGR140170*

This Project site was recently graded through Grading Permit No. BGR140170. Previously disturbed portions of the 22.26 gross acres were graded in order to reconfigure landscaping, parking, and vineyards; as well as to prepare an area for an additional pad. There was no need to import or export dirt; 8,222 cubic yards of dirt was moved throughout the site, resulting in a

balanced site. Environmental Assessment No. 42727 analyzed potential impacts associated with grading the project site. The grading permit was approved with conditions.

### *Wine County Community Plan*

The Riverside County Board of Supervisors approved the Temecula Valley Wine Country Community Plan (WCCP) on March 11, 2014 (General Plan Amendment No. 1077, Ordinance No. 348.4729, Wine Country Design Guidelines and Wine Country Greenhouse Gas Reduction Workbook). General Plan Amendment No. 1077 established the Temecula Valley Wine Country Policy Area east of the City of Temecula and west of Vail Lake. Three districts were created for this Policy Area – Winery, Equestrian and Residential. The overarching policies for this region promote a strong identity for the Temecula Valley Wine Country. Additional policies within each district provide for complimentary uses distinct to the delineated areas. The policies also establish a framework for the implementing Wine Country (WC) Zones and Design Guidelines. The Project site is located within the Winery District.

### Conditional Use Permit (CUP No. 3711)

CUP No. 3711 improvements include:

- Building A: Upgrading the existing office space into a One-bedroom Bed and Breakfast Inn primarily used as a bridal suite during wedding events and are used by reservation only; the total building area is 768 SF with a 158 SF patio area.
- Building B: Utilizing portion of the existing winery as a special occasion facility, which includes a groundskeeper quarter, outdoor patio, kitchen and office space; the outdoor special occasion area proposes to uses amplified music during evening concerts- all other special occasions will use amplified music indoors; the total building area is 9,702 SF with a 5,611 SF patio area.
- Building C: Upgrading the existing delicatessen within this building into a restaurant; the total building area is 4,786 SF with a 3,615 SF patio area.
- Building D: Upgrading the existing office building to be used as part of the special occasion facility. This building will include an event's area, a VIP tasting area and retail space; the total building area is 1,632SF with a 2,467 SF patio area.
- A pond will be located in front of Building B, near the center of the Project area
- Establish the overflow parking area with decomposed granite to accommodate 95 additional parking spaces, the total parking spaces provided is 172 parking spaces plus 4 limo spaces.

It should be noted that the existing site currently provides 180 parking spaces and the proposed site plan provides for 172 parking spaces. No increase in parking spaces is anticipated.

Reference Figure 2, *CUP No. 3711*.

The Project is anticipated to continue to host special occasions, such as weddings and concerts, throughout the year that may cause substantial increase in vehicles entering and exiting the Project during short time periods. Based on the proposed operation schedules, the Project site can provide sufficient on-site parking; however, parking demand can be further reduced by implementing various parking demand management strategies.

The following are the proposed operations for the Project:

### Hours of Operation

- Building "A" Bed and Breakfast Inn...upon reservation (1 room capacity).
- Building "B" 9:00 a.m. to 7:00 p.m. except during special occasions then until 12:00 a.m., Wine Tasting Area open from 9:00 a.m. to 7:00 p.m. Outdoor special occasion facility will host

evening concerts from 4:00 p.m. to 10:00 p.m. Special occasions will not be permitted to occur outside past 10:00 p.m.

- Building "C" 9:00 a.m. to 10:00 p.m. while the restaurant is open.
- Building "D" 9:00 a.m. to 10:00 p.m. for special occasions.

Special Occasions includes:

- Building "B" 125 Weddings and or Receptions per year with approximately 80-115 guests per event. No outdoor amplified music will occur during these occasions.
- 12 Outdoor Concerts per year approximately 350 attendees amplified music and live band are anticipated for these occasions.
- Building "D", "B" or Building "C": 24 Wine Club events, 24 ticketed events and 4 Association events per with 150 guests per event. No outdoor amplified music during these events.

Change of Zone (CZ No. 7848)

The Change of Zone proposes to change the existing zoning of Citrus Vineyard – 10 Acre minimum (C/V-10) Zone to Wine Country-Winery (WC-W) for consistency with Southwest Area Plan Figure 4B, Temecula Valley Wine Country Policy Area with Districts. Reference Figure 3, CZ No. 7848. With the approval of CZ No. 7848, the Project will be consistent with Ordinance No. 348 (Riverside County Land Use Ordinance). According to Ordinance 348 Section 14.90, intent of the Wine Country Zones is to encourage agricultural cultivation, vineyards, wineries, equestrian uses, preserve the wine making atmosphere, estate living, equestrian life-style, and protect the area and its residents from incompatible uses which could result in reduced agricultural productivity and increased urbanization within the policy area.

Noise Exemption No. 00007 (NE No. 00007)

WC-W Zone development standard, Ordinance No. 348 Section 14.93 C 4, prohibits the use of amplified sounds during special events unless an exception to the Ordinance 847 Regulating Noise is granted. Ordinance No. 847 permits sound amplifying equipment and live music between the hours of 8 a.m. to 10:00 p.m. and prohibits sound emanating from sound amplifying equipment or live music shall not be audible to the human ear at a distance greater than two hundred (200) feet from the equipment or music. Noise Exemption No. 00007 seeks to permit continuous events with amplified sounds for special occasion events, specifically for 12 outdoor events and indoor special occasions. The outdoor concerts will occur from 4 p.m. to 10 p.m. No amplified sounds shall be used outdoors after 10 p.m.

Figure 1, Vicinity Map

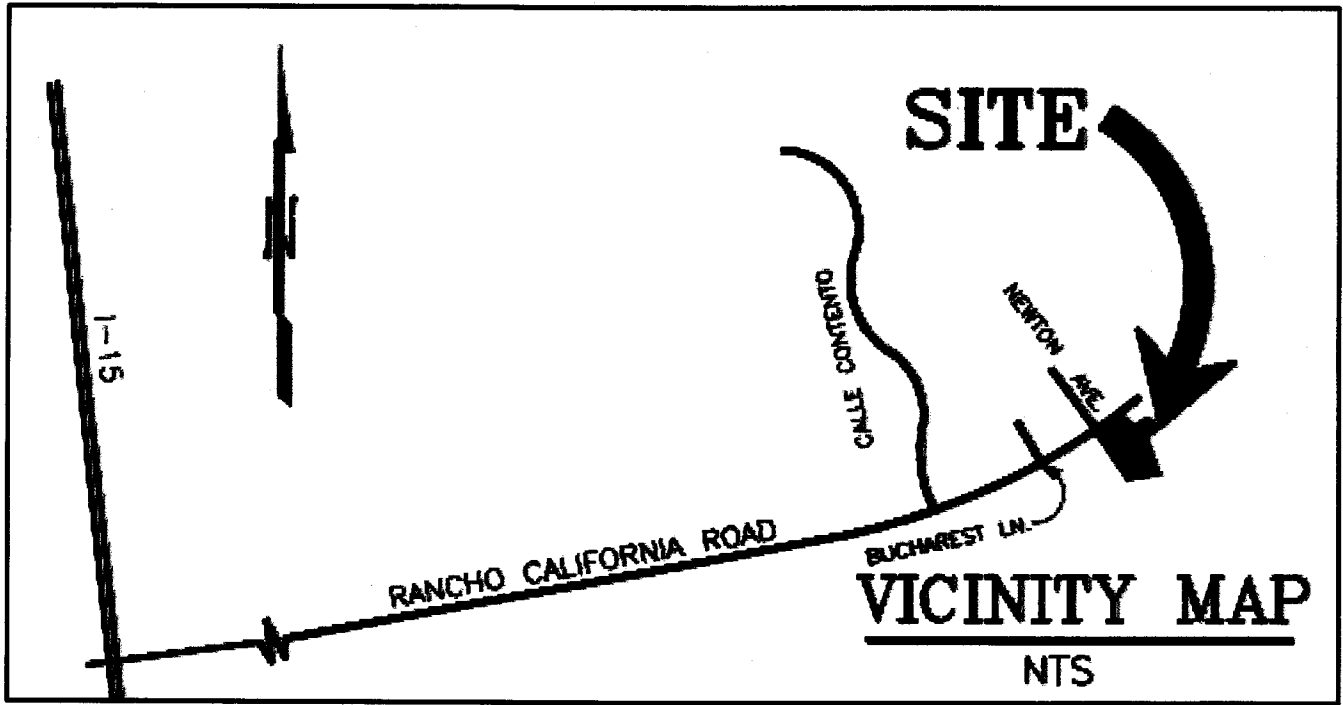
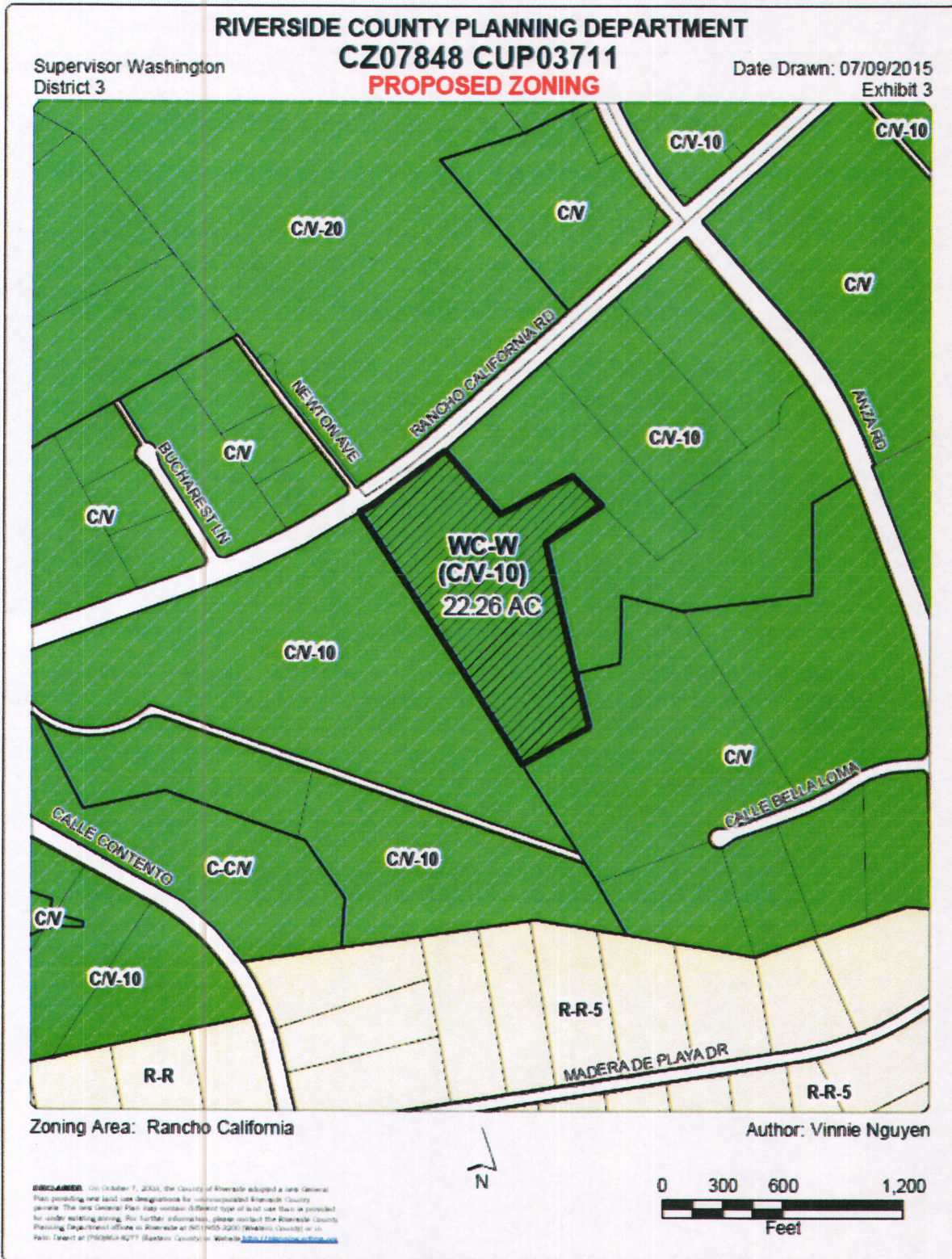






Figure 3. Change of Zone No. 7848



## Utilities

All utilities and public services are currently available on, or adjacent to, the proposed Project site. Utility and Service providers are as follows:

- Electricity: Southern California Edison
- Water: Rancho California Water District
- Sewer: Septic/Eastern Municipal Water District
- Cable: Verizon
- Gas: On-site Propane
- Telephone: Verizon

## Construction Scenario

N/A

**B. Type of Project:** Site Specific ; Countywide ; Community ; Policy .

**C. Total Project Area:** 22.26 acres (gross)/21.61 acres (net)

<b>Residential Acres:</b> n/a	<b>Lots:</b> n/a	<b>Units:</b> n/a	<b>Projected No. of Residents:</b> n/a
<b>Commercial Acres:</b> 21.61	<b>Lots:</b> 1	<b>Sq. Ft. of Bldg. Area:</b> 19,220	<b>Est. No. of Employees:</b> 25-60
<b>Industrial Acres:</b> n/a	<b>Lots:</b> n/a	<b>Sq. Ft. of Bldg. Area:</b> n/a	<b>Est. No. of Employees:</b> n/a
<b>Other:</b> n/a			

**D. Assessor's Parcel No:** 951-140-041

**E. Street References:** Southeastern side of Rancho California Road, across from the intersection of Rancho California Road and Newton Avenue at 34567 Rancho California Road.

**F. Section, Township & Range Description or reference/attach a Legal Description:** Township 7 South, Range 2 West, Section 28 of the Bachelor Mountain, California USGS 7.5 minute topographical map.

**G. Brief description of the existing environmental setting of the project site and its surroundings:**

The Project site is comprised of 21.61 acres of an existing winery consisting of five (5) buildings and 77 paved parking spaces, vineyard and a cell tower on the northeast corner. The area near the cell tower has been previously disturbed and used as an overflow parking lot to accommodate 105 additional vehicles. The land is at an elevation ranging 1,332 to 1,436 feet. Project site is composed of areas with artificial fill.

Five (5) existing buildings are situated on the west side of the property with parking interspersed throughout the site. The northeast side of the property has been graded under Grading Permit BGR140170, to create more landscaping and an additional pad area for future use. Access to the additional pad area will be prohibited for use until the current applications (CUP No. 3711 and CZ No. 7848) are approved. A cell tower is currently located within that area, and will remain there during construction and operation. The Project is surrounded by other wineries to the north, east, and west, single-family homes to the south, and a church to the northwest.

## **II. APPLICABLE GENERAL PLAN AND ZONING REGULATIONS**

**A. General Plan Elements/Policies:**

1. **Land Use:** **Land Use:** The Project is consistent with the policies of the Land Use Elements of the General Plan and the Southwest Area Plan. The Project promotes development and preservation of unique communities (LU 3.3), is in accordance with the General Plan and Area Plans (LU 6.1), maintains and enhance the County's fiscal viability, economic diversity and environmental integrity (LU 7.1), includes new incidental commercial uses that promote tourist related activities for the wine industry as described in the Wine Country – Winery Zone (SWAP 1.9) and is in conjunction with an existing winery (SWAP 1.11).
2. **Circulation:** The Project is consistent with the policies of the Circulation Elements of the General Plan and the Southwest Area Plan. The Project is located adjacent to Rancho California Road. Adequate circulation facilities exist and will serve the proposed Project (C 2.2, SWAP Figure 7). The Project is conditioned to provide adequate sight distances for safe vehicular movement (C 3.15) and necessary road rights-of-way (C 3.16). Per the Temecula Valley Design Guidelines, the Trails that occur on the Project site shall be considered within the Rancho California Road right-of-way subject to the review of the Transportation Department (C 16.5).
3. **Multipurpose Open Space:** The Project is consistent with the policies of the Multipurpose Elements of the General Plan and the Southwest Area Plan. The Project is contained in the existing development envelop and will not disturb sensitive habitats or species. Project is contained within the existing development envelop and does not propose any buildings or obstruction within the 100-year floodplain (OS 5.3). The Project site's existing landscape plan is in compliance with Ordinance 859 (OS 2.3).
4. **Safety:** The Project is consistent with the policies of the Safety Elements of the General Plan and the Southwest Area Plan. The existing buildings were recently remodeled and are in compliance with the California Building Code requirements occupancy (S 3.3, S 5.1).
5. **Noise:** The Project is consistent with the policies of the Noise Element of the General Plan and the Southwest Area Plan. The Project is design in a manner that minimizes noise resulting from Project operation. Music for special events such as weddings, wine club events, and ticketed events will be used indoors. No outdoor amplified music will be used during these events. Weddings and receptions may have indoor amplified sounds. Outdoor concerts will also have amplified/live music. The Project proposes 12 outdoor concerts per year. During these events speakers will not be permitted on the hill and speakers shall face inwards towards the center to the south of the project area. (N 1.1, N 1.4, N 1.6, N 1.7, N 1.8).
6. **Housing:** The Project does not impact housing.
7. **Air Quality:** The Project is consistent with the Policies of the Air Quality Element of the General Plan. The Project would not conflict with or obstruct implementation of SCAQMD air quality plan (AQ 1.4), would not expose sensitive receptors to air pollution (AQ 2.2), and would not result in a cumulatively considerable net increase of a criteria pollutant (AQ 4.6, AQ 4.7, AQ 4.9).
8. **Healthy Communities:** The Project is consistent with the policies of the Healthy Communities Element. The Project preserves rural open space areas and scenic resources of Wine Country and is appropriate for this Community (HC 4.1). 75% of the 22 gross acre Project site will remain planted in vineyards and the Project will be contained in the existing development envelop. Per the Temecula Valley Design Guidelines, the Trails

that occur on the Project site shall be considered within the Rancho California Road right-of-way subject to the review of the Transportation Department (HC 6.4).

**B. General Plan Area Plan(s):** The Project is located within the Southwest Area Plan (SWAP).

**C. Foundation Component(s):** Agriculture (AG)

**D. Land Use Designation(s):** Agriculture (AG)

**E. Overlay(s), if any:** N/A

**F. Policy Area(s), if any:** Temecula Valley Wine Country Policy Area – Winery District

**G. Adjacent and Surrounding:**

1. **Area Plan(s):** SWAP

2. **Foundation Component(s):** Agriculture to the north, south, east, and west.

3. **Land Use Designation(s):** Agriculture to the north, south, east, and west.

4. **Overlay(s), if any:** N/A

5. **Policy Area(s), if any:** Temecula Valley Wine Country Policy Area – Winery District

**H. Adopted Specific Plan Information**

1. **Name and Number of Specific Plan, if any:** N/A

2. **Specific Plan Planning Area, and Policies, if any:** N/A

**I. Existing Zoning:** Citrus/Vineyard (C-V) Zone

**J. Proposed Zoning, if any:** Wine Country – Winery (WC-W) Zone

**K. Adjacent and Surrounding Zoning:** North, South, East, and West: C/V, C/V-10, C/V-20, C/V-5 (Citrus/Vineyard)

### III. ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED

The environmental factors checked below ( x ) would be potentially affected by this project, involving at least one impact that is a "Potentially Significant Impact" or "Less than Significant with Mitigation Incorporated" as indicated by the checklist on the following pages.

- |   |  |  |
|---|--|--|
| <input type="checkbox"/> Aesthetics                     | <input type="checkbox"/> Hazards & Hazardous Materials | <input type="checkbox"/> Recreation                          |
| <input type="checkbox"/> Agriculture & Forest Resources | <input type="checkbox"/> Hydrology / Water Quality     | <input checked="" type="checkbox"/> Transportation / Traffic |
| <input type="checkbox"/> Air Quality                    | <input type="checkbox"/> Land Use / Planning           | <input type="checkbox"/> Utilities / Service Systems         |
| <input type="checkbox"/> Biological Resources           | <input type="checkbox"/> Mineral Resources             | <input type="checkbox"/> Other:                              |
| <input type="checkbox"/> Cultural Resources             | <input checked="" type="checkbox"/> Noise              | <input type="checkbox"/> Other:                              |
| <input type="checkbox"/> Geology / Soils                | <input type="checkbox"/> Population / Housing          | <input type="checkbox"/> Mandatory Findings of Significance  |
| <input type="checkbox"/> Greenhouse Gas Emissions       | <input type="checkbox"/> Public Services               |  |

#### IV. DETERMINATION

On the basis of this initial evaluation:

##### **A PREVIOUS ENVIRONMENTAL IMPACT REPORT/NEGATIVE DECLARATION WAS NOT PREPARED**

- I find that the proposed project **COULD NOT** have a significant effect on the environment, and a **NEGATIVE DECLARATION** will be prepared.
- I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because revisions in the project, described in this document, have been made or agreed to by the project proponent. **A MITIGATED NEGATIVE DECLARATION** will be prepared.
- I find that the proposed project **MAY** have a significant effect on the environment, and an **ENVIRONMENTAL IMPACT REPORT** is required.

##### **A PREVIOUS ENVIRONMENTAL IMPACT REPORT/NEGATIVE DECLARATION WAS PREPARED**

- I find that although the proposed project could have a significant effect on the environment, **NO NEW ENVIRONMENTAL DOCUMENTATION IS REQUIRED** because (a) all potentially significant effects of the proposed project have been adequately analyzed in an earlier EIR or Negative Declaration pursuant to applicable legal standards, (b) all potentially significant effects of the proposed project have been avoided or mitigated pursuant to that earlier EIR or Negative Declaration, (c) the proposed project will not result in any new significant environmental effects not identified in the earlier EIR or Negative Declaration, (d) the proposed project will not substantially increase the severity of the environmental effects identified in the earlier EIR or Negative Declaration, (e) no considerably different mitigation measures have been identified and (f) no mitigation measures found infeasible have become feasible.
- I find that although all potentially significant effects have been adequately analyzed in an earlier EIR or Negative Declaration pursuant to applicable legal standards, some changes or additions are necessary but none of the conditions described in California Code of Regulations, Section 15162 exist. An **ADDENDUM** to a previously-certified EIR or Negative Declaration has been prepared and will be considered by the approving body or bodies.
- I find that at least one of the conditions described in California Code of Regulations, Section 15162 exist, but I further find that only minor additions or changes are necessary to make the previous EIR adequately apply to the project in the changed situation; therefore a **SUPPLEMENT TO THE ENVIRONMENTAL IMPACT REPORT** is required that need only contain the information necessary to make the previous EIR adequate for the project as revised.
- I find that at least one of the following conditions described in California Code of Regulations, Section 15162, exist and a **SUBSEQUENT ENVIRONMENTAL IMPACT REPORT** is required: (1) Substantial changes are proposed in the project which will require major revisions of the previous EIR or negative declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; (2) Substantial changes have occurred with respect to the circumstances under which the project is undertaken which will require major revisions of the previous EIR or negative declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; or (3) New information of substantial importance, which was not known and could not have been known with the exercise of reasonable diligence at the time the previous EIR was certified as complete or the negative declaration was adopted, shows any the following: (A) The project will have one or more significant effects not discussed in the previous EIR or negative declaration; (B) Significant effects previously examined will be substantially more severe than shown in the previous EIR or negative declaration; (C) Mitigation measures or alternatives previously found not to be feasible would in fact be feasible, and would substantially reduce one or more significant effects of the project, but the project proponents decline to adopt the mitigation measures or alternatives; or, (D) Mitigation measures or alternatives which are considerably different from those analyzed in the previous EIR or

negative declaration would substantially reduce one or more significant effects of the project on the environment, but the project proponents decline to adopt the mitigation measures or alternatives.

*Phayvanh Nanthavongdouangsy*  
Signature

8-20-15  
Date

Phayvanh Nanthavongdouangsy, Planner  
Printed Name

For Steven Weiss AICP, Director

**V. ENVIRONMENTAL ISSUES ASSESSMENT**

In accordance with the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000-21178.1), this Initial Study has been prepared to analyze the proposed project to determine any potential significant impacts upon the environment that would result from construction and implementation of the project. In accordance with California Code of Regulations, Section 15063, this Initial Study is a preliminary analysis prepared by the Lead Agency, the County of Riverside, in consultation with other jurisdictional agencies, to determine whether a Negative Declaration, Mitigated Negative Declaration, or an Environmental Impact Report is required for the proposed project. The purpose of this Initial Study is to inform the decision-makers, affected agencies, and the public of potential environmental impacts associated with the implementation of the proposed project.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>AESTHETICS</b> Would the project				
<b>1. Scenic Resources</b>				
a) Have a substantial effect upon a scenic highway corridor within which it is located?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings and unique or landmark features; obstruct any prominent scenic vista or view open to the public; or result in the creation of an aesthetically offensive site open to public view?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan Figure C-9 "Scenic Highways"

Findings of Fact:

The proposed Project relates only to the operations of the site. Site design issues have been addressed with the original development applications (Plot Plan Nos. 06934 and 12661), as well as the County's *Consistency for Proposed Changes to Plot Plan No. 06934 and PP 12661 in the Temecula Valley Wine Country Policy Area* letter and approval. Project site has been graded per Grading Permit BGR140170. No additional ground disturbance that could affect these resources is proposed as part of the Project. The following addresses questions 1.a and b, above:

a,b)The Project site is located in the Southwest Planning Area (SWAP). According to the SWAP, three (3) highways have been nominated for Scenic Highway status:

- Interstate 215 (I-215) and State Route 79 South (SR79S) are Eligible Scenic Highways; and
- Interstate 15 (I-15) is designated as an Eligible State Scenic Highway (COR GP SAP, p. 47).

The Project site is located approximately 5.3 miles from I-215, 2.4 miles from I-15, and 3 miles from SR79S, at its closest point. Therefore, implementation of the proposed Project will not have a substantial effect upon a scenic highway corridor within which it is located. No impacts are anticipated. No mitigation is required.

The Project site is located in an unincorporated area of Riverside County. The existing character of the Project site is mostly agricultural and vineyards with some building structures for the winery. The proposed Project has views of the Santa Rosa Mountains to the west, the Santa Margarita Mountains and Agua Tibia range to the south, and the Black Hills to the east.

The Project site does not contain scenic resources, including, but not limited to, trees, rock outcroppings and unique or landmark features, as these features do not exist on the Project site. Due to the location of the proposed Project site, the proposed Project will not obstruct any prominent vistas, views of the vineyard, or result in the creation of an aesthetically offensive site open to public view.

Approximately 75% of the proposed Project site will ultimately be planted in vineyards. Therefore, implementation of the proposed Project will not substantially damage scenic resources, including, but not limited to, trees, rock outcroppings and unique or landmark features; obstruct any prominent scenic vista or view open to the public; or result in the creation of an aesthetically offensive site open to public view. Impacts are considered less than significant. No additional mitigation is required.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

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**2. Mt. Palomar Observatory**

a) Interfere with the nighttime use of the Mt. Palomar Observatory, as protected through Riverside County Ordinance No. 655?

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Source: Riverside County Land Information System (RCLIS), Figure 6, *Mt. Palomar Nighttime Lighting Policy*, and Ordinance No. 655 (Regulating Light Pollution).

Findings of Fact:

a) According to the RCIP and Figure 6 "Mt. Palomar Nighttime Lighting Policy" of the SWAP, the Project site and the location of potential off-site improvements are located within the designated Special Lighting Area that surrounds the Mt. Palomar Observatory. Ordinance No. 655 was adopted by the County Board of Supervisors on June 7, 1988 and went into effect on July 7, 1988. The intent of Ordinance No. 655 is to restrict the permitted use of certain light fixtures emitting into the night sky undesirable light rays which have a detrimental effect on astronomical observation and research. Ordinance No. 655 contains approved materials and methods of installation, definitions, general requirements, requirements for lamp source and shielding, prohibitions and exceptions.

Since the Project site is approximately 16.5 miles from the Observatory, within Zone B of the Special Lighting Area that surrounds the Mt. Palomar Observatory, and the potential location of any off-site improvements are also within this range, all Project components must comply with the mandatory requirements of Riverside County Ordinance No. 655. All development will be required to comply with the provisions of Ordinance No. 655, to include but not be limited to: shielding, down lighting and the use of low-pressure sodium lights. Any and all future projects will also include conditions of approval to comply with Ordinance No. 655. These are typically standard conditions of approval and are not considered unique mitigation pursuant to CEQA. With conformance with Ordinance No. 655, any impacts are expected to be less than significant from implementation of the Project. No other mitigation would be required.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.



	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>3. Other Lighting Issues</b>				
a) Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Expose residential property to unacceptable light levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Onsite Inspection, Project Application Description, Riverside County General Plan, Southwest Area Plan, Figure 6, *Mt. Palomar Nighttime Lighting Policy*, Ordinance No. 655 (Regulating Light Pollution), and Ordinance No. 915 (Regulating Outdoor Lighting).

Findings of Fact:

a,b) Constructing new lighting sources will be created. The additional pad located on the northeastern portion of the lot will result in a new source of light and glare from the addition of parking lot lighting as well as vehicular lighting from cars traveling on adjacent roadways under the proposed Project. The Project will be required to comply with County Ordinance Nos. 655 and 915, which restricts lighting hours, types, and techniques of lighting. Ordinance No. 655 requires the use of low-pressure sodium fixtures and requires hooded fixtures to prevent spillover light or glare. Ordinance No. 915 requires all outdoor luminaires to be located, adequately shielded, and directed such that no direct light falls outside the parcel of origin, onto the public right-of-way. Ordinance No. 915 also prohibits blinking, flashing and rotating outdoor luminaires, with a few exceptions.

Thus, potential Project-specific impacts that could create a new source of substantial light or glare which would adversely affect day or nighttime views in the area; or, expose residential property to unacceptable light levels related to new sources or unacceptable levels of light will be less than significant. Compliance with Ordinance Nos. 655 and 915 will ensure that the potential impacts to the surrounding uses will remain less than significant. No additional mitigation is required.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

<b>AGRICULTURE &amp; FOREST RESOURCES</b> Would the project				
<b>4. Agriculture</b>				
a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland) as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Conflict with existing agricultural zoning, agricultural use or with land subject to a Williamson Act contract or land within a Riverside County Agricultural Preserve?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Cause development of non-agricultural uses within 300 feet of agriculturally zoned property (Ordinance No. 625 "Right-to-Farm")?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
d) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure OS-2 "Agricultural Resources," RCLIS, and Project Application Materials.

Findings of Fact:

The proposed Project relates only to the operations of the site. Site design issues have been addressed with the original development applications (Plot Plan 06934 and 12661), as well as the County's *Consistency for Proposed Changes to Plot Plan No. 06934 and PP 12661 in the Temecula Valley Wine Country Policy Area* letter and approval. Any ground disturbance was addressed in EA 42727 for Grading Permit BGR140170. No additional ground disturbance that could affect these resources is proposed as part of the Project. The following addresses questions 4.a-d, above:

- a) According to the RCLIS the proposed Project site is designated as either: Prime Farmland, Unique Farmland, or Farmland of Local Importance. The proposed Project site is currently an existing winery and vineyard. Approximately 75% of the proposed Project site is dedicated to vineyards. This will be a benefit and will add farmland to the inventory of farmland in the area. Implementation of the proposed Project will not convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland) as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use. No impacts are anticipated. No additional mitigation is required.
- b) According to the RCLIS, the proposed Project site is not subject to a Williamson Act contract and is not within a Riverside County Agriculture Preserve. No impacts are anticipated. No additional mitigation is required.

As stated above, the proposed Project site is currently a winery and vineyard. Approximately 75% of the proposed Project site is dedicated to vineyards. This will be a benefit and will add farmland to the inventory of farmland in the area. Therefore, implementation of the proposed Project will not conflict with existing agricultural zoning, agricultural use or with land subject to a Williamson Act contract or land within a Riverside County Agricultural Preserve. Any impacts are considered to be less than significant. No additional mitigation is required.

- c,d) Implementation of the proposed Project will not cause development of non-agricultural uses within 300 feet of agriculturally zoned property (Ordinance No. 625 "Right-to-Farm"); or, involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use. As stated above, the proposed Project site is an existing vineyard and winery. Approximately 75% of the proposed Project site is planted vineyards. This will be a benefit and will add farmland to the inventory of farmland in the area. Any impacts are considered to be less than significant. No additional mitigation is required.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>5. Forest</b>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a) Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code section 12220(g)), timberland (as defined by Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Govt. Code section 51104(g))?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Result in the loss of forest land or conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure OS-3, *Parks, Forest and Recreation Areas*, and Project Application Materials.

Findings of Fact:

a-c) The proposed Project relates only to the operations of the site. Site design issues have been addressed with the original development applications (Plot Plan 06934 and 12661), as well as the County's *Consistency for Proposed Changes to Plot Plan No. 06934 and PP 12661 in the Temecula Valley Wine Country Policy Area* letter and approval. Any ground disturbance was addressed in EA 42727 for Grading Permit BGR140170. No additional ground disturbance that could affect these resources is proposed as part of the Project. The following addresses questions 5.a-c, above:

In addition, the proposed Project site does not contain forest land or timberland. The Project site and its adjacent and surrounding properties are not zoned for forest land or timberland, nor timberland zoned for Timberland Production. Additionally, the Riverside County General Plan does not include the Project site or its surrounding properties in Figure OS-3, "Parks, Forests and Recreation Areas." Therefore, no zoning conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code section 12220(g)), timberland (as defined by Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Govt. Code section 51104(g)) will occur. Lastly, implementation of the proposed Project will not result in the loss of forest land or conversion of forest land to non-forest use; or, involve other changes in the existing environment which, due to their location or nature, could result in conversion of forest land to non-forest use. No impacts will occur. No mitigation will be required.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

**AIR QUALITY** Would the project

<b>6. Air Quality Impacts</b>				
a) Conflict with or obstruct implementation of the applicable air quality plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Violate any air quality standard or contribute substantially to an existing or projected air quality violation?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
c) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Expose sensitive receptors which are located within 1 mile of the project site to project substantial point source emissions?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Involve the construction of a sensitive receptor located within one mile of an existing substantial point source emitter?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) Create objectionable odors affecting a substantial number of people?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Project Description, *Avensole Winery Air Quality and GHG Impact Study, County of Riverside, California*, prepared by RK Engineering Group, Inc., dated June 2, 2015 (AQ/GHG Analysis) (Appendix A, *References*).

**Findings of Fact:**

The proposed Project relates only to the operations of the site. Site design issues have been addressed with the original development applications (Plot Plan 06934 and 12661), as well as the County's *Consistency for Proposed Changes to Plot Plan No. 06934 and PP 12661 in the Temecula Valley Wine Country Policy Area* letter and approval. Any ground disturbance was addressed in EA 42727 for Grading Permit BGR140170. No additional ground disturbance that could affect these resources is proposed as part of the Project. Therefore, the analysis contained in this Environmental Assessment Form: Initial Study will pertain solely to the air quality operational aspects of the proposed Project. The following addresses questions 6.a-f, above:

**Overview**

The following is a summary of information contained in Section 1.0 (Executive Summary), Section 2.0 (Regulatory Framework and Background), Section 3.0 (Setting), and Section 4.0 (Modeling Parameters and Assumptions) of the AQ/GHG Analysis. Please refer to these specific Sections for a detailed discussion of the following:

- 1.1 Purpose and Methods of Analysis
- 1.2 Project Summary (Site Location, Project Description and Sensitive Receptors)
- 1.3 Summary of Analysis Results
- 1.4 Mitigation Measures (MM) Applied to Project
- 2.1 Air Quality Regulatory Setting (National and State, South Coast Air Quality Management District)
- 3.1 Existing Setting (Local Climate and Meteorology, Local Air Quality, Attainment Status)
  - 4.1 Construction
  - 4.2 Operations (Motor Vehicle Emissions, Other Emissions)
  - 4.3 Localized Construction Analysis Modeling Parameters
  - 4.4 Localized Operational Analysis Modeling Parameters

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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The Project site is located in the South Coast Air Basin (SCAB) within the jurisdiction of South Coast Air Quality Management District (SCAQMD). Existing air quality is measured at established SCAQMD air quality monitoring stations. Monitored air quality is evaluated and in the context of ambient air quality standards.

a-c) Implementation of the Project would result in a less than significant impact that would conflict with or obstruct implementation of the applicable air quality plan; violate any air quality standard or contribute substantially to an existing or projected air quality violation; or, result in a cumulatively considerable net increase of any criteria pollutant for which the Project region is non-attainment under an applicable federal or state ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors).

### **Air Quality Thresholds of Significance**

#### **CEQA Guidelines for Air Quality**

The CEQA Guidelines define a significant effect on the environment as "a substantial, or potentially substantial, adverse change in the environment." To determine if a Project would have a significant impact on air quality, the type, level, and impact of emissions generated by the Project must be evaluated.

The following air quality significance thresholds are contained in Appendix G of the CEQA Guidelines. A significant impact would occur if the Project would:

- Conflict with or obstruct implementation of the applicable air quality plan;
- Violate any air quality standard or contribute substantially to an existing or projected air quality violation;
- Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is nonattainment under an applicable national or state ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors);
- Expose sensitive receptors to substantial pollutant concentrations; or
- Create objectionable odors affecting a substantial number of people.

While the final determination of whether a project is significant is within the purview of the Lead Agency pursuant to Section 15064(b) of the CEQA Guidelines, SCAQMD recommends that its quantitative air pollution thresholds be used to determine the significance of project emissions. If the Lead Agency finds that the project has the potential to exceed these air pollution thresholds, the project should be considered to have significant air quality impacts. There are daily emission thresholds for construction and operation of a proposed project in the basin.

#### **Regional Significance Thresholds for Construction Emissions**

The following CEQA significance thresholds for construction emissions are established for the Basin:

- 75 pounds per day (lbs./day) of ROC
- 100 lbs./day of NO<sub>x</sub>
- 550 lbs./day of CO
- 150 lbs./day of PM<sub>10</sub>
- 55 lbs./day of PM<sub>2.5</sub>

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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- 150 lbs./day of SO<sub>2</sub>

The Project does not require a regional construction emission analysis as the Project has already been constructed. No impacts are anticipated. No mitigation is required.

*Regional Significance Thresholds for Operational Emissions*

The daily operational emissions significance thresholds for the basin are as follows:

- 55 pounds per day (lbs./day) of ROC
- 55 lbs./day of NO<sub>x</sub>
- 550 lbs./day of CO
- 150 lbs./day of PM<sub>10</sub>
- 55 lbs./day of PM<sub>2.5</sub>
- 150 lbs./day of SO<sub>2</sub>

Thresholds for Localized Significance (LSTs)

LSTs represent the maximum emissions from a Project site that is not expected to result in an exceedance of the national or state AAQS shown in Table 4 of the AQ/GHG Analysis. LSTs are based on the ambient concentrations of that pollutant within the project source receptor area (SRA) and the distance to the nearest sensitive receptor. For this Project, the appropriate SRA for the LST is the Temecula area.

In the case of CO and NO<sub>2</sub>, if ambient levels are below the standards, a project is considered to have a significant impact if project emissions result in an exceedance of one or more of these standards. If ambient levels already exceed a State or federal standard, then project emissions are considered significant if they increase ambient concentrations by a measurable amount. This would apply to PM<sub>10</sub> and PM<sub>2.5</sub>, both of which are non-attainment pollutants. For these two, the significance criteria are the pollutant concentration thresholds presented in SCAQMD Rules 403. The Rule 403 threshold of 10.4 micrograms per cubic meter applies to construction emissions (and may apply to operational emissions at aggregate handling facilities).

**Construction**

*Localized Construction Emissions*

The Project does not require a localized construction emission analysis as the Project has already been constructed. No impacts are anticipated. No mitigation is required.

*Fugitive Dust*

Fugitive dust emissions are generally associated with land clearing and exposure of soils to the air and wind, and cut-and-fill grading operations. Dust generated during construction varies substantially on a project-by-project basis, depending on the level of activity, the specific operations, and weather conditions at the time of construction. The Project is not anticipated to have fugitive dust as the construction has already occurred. No impacts are anticipated. No mitigation is required.

*Naturally Occurring Asbestos*

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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The proposed Project is located in Riverside County which is not among the counties that are found to have serpentine and ultramafic rock in their soils. Therefore, there is no potential risk for naturally occurring asbestos (NOA) since the Project construction has already occurred. No impacts are anticipated. No mitigation is required.

*Thresholds for Toxic Air Contaminants*

According to the SCAQMD CEQA Handbook, any project that has the potential to expose the public to toxic air containments in excess of the following thresholds would be considered to have a significant impact:

If the Maximum Incremental Cancer Risk is 10 in one million or greater; or

Toxic air containments from the proposed Project would result in a Hazard Index Increase of 1 or greater.

In order to determine if the Proposed project may have a significant impact related to hazardous air pollutants (HAP), the Health Risk Assessment Guidance for analyzing Cancer Risks from Mobile Source Diesel Idling Emissions for CEQA Air Quality Analysis, (Diesel Analysis), prepared by SCAQMD, August 2003, recommends that if the proposed Project is anticipated to create hazardous air pollutants through stationary sources or regular operations of diesel trucks on the Project site, then the proximity of the nearest receptors to the source of the hazardous air pollutants and the toxicity of the hazardous air pollutants should be analyzed through a comprehensive facility-wide health risk assessment (HRA).

There will be no construction-related toxic air contaminants as the Project has already been constructed. No impacts are anticipated. No mitigation is required.

**Operations**

Operational LSTs are assessed with the SCAQMD screening thresholds. Operational thresholds for a 1-acre site in the Temecula SRA at 100 meters (SRA 26) were utilized:

- 292 lbs./day of NO<sub>x</sub>
- 2,176 lbs./day of CO
- 10 lbs./day of PM<sub>10</sub>
- 2 lbs./day of PM<sub>2.5</sub>

*Regional Operational Emissions*

Long-term air pollutant emission impacts are those associated with stationary sources and mobile sources involving any project-related changes. The stationary source emissions would come from additional natural gas consumption for on-site buildings and electricity for the lighting in the buildings and at the parking area. Based on trip generation factors, long-term operational emissions associated with the proposed Project, calculated with the CalEEMod model, are shown in Table 10 of the AQ/GHG Analysis. Area sources include architectural coatings, consumer products, and landscaping. Energy sources include natural gas consumption for heating.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Table 10 of the AQ/GHG Analysis provides the Project's operational emissions. Table 10 of the AQ/GHG Analysis shows that the Project does not exceed the corresponding SCAQMD daily emission thresholds. The operational impacts are less than significant. Output calculations are located in Appendix B of the AQ/GHG Analysis. No additional mitigation is required.

*Localized Operational Emissions*

Table 11 of the AQ/GHG Analysis shows the calculated emissions for the proposed operational activities compared with appropriate LSTs. The LST analysis only includes on-site sources; however, the CalEEMod software outputs do not separate on-site and off-site emissions for mobile sources. For a worst-case scenario assessment, the emissions shown in Table 14 of the AQ/GHG Analysis include all on-site Project-related stationary sources and 5% of the Project-related new mobile sources. This percentage is an estimate of the amount of Project-related new vehicle traffic that will occur on-site.

Table 11 of the AQ/GHG Analysis indicates that the operational emission rates would not exceed the LST thresholds for the nearest sensitive receptors at 100 meters. Therefore, the Project will not result in significant Localized Operational emissions. No impacts are anticipated. No mitigation is required.

*CO Hot Spot Emissions*

The significance of localized project impacts under CEQA depends on whether ambient CO levels in the vicinity of the project are above or below State and federal CO standards. If ambient levels are below the standards, a project is considered to have a significant impact if project emissions result in an exceedance of one or more of these standards. If ambient levels already exceed a State or federal standard, project emissions are considered significant if they increase 1-hour CO concentrations by 1.0 ppm or more or 8-hour CO concentrations by 0.45 ppm or more. The following are applicable local emission concentration standards for CO:

- California State 1-hour CO standard of 20.0 ppm
- California State 8-hour CO standard of 9.0 ppm

The SCAQMD recommends that a local CO hot spot analysis be conducted if the intersection meets one of the following criteria: 1) the intersection is at level of service (LOS) D or worse and where the project increases the volume to capacity ratio by 2 percent, or 2) the project decrease at an intersection from C to D.

Micro-scale air quality emissions have traditionally been analyzed in environmental documents where the air basin was a non-attainment area for CO. However, the SCAQMD has demonstrated in the CO attainment redesignation request to EPA that there are no "hot spots" anywhere in the air basin, even at intersections with much higher volumes, much worse congestion, and much higher background CO levels than anywhere in Riverside County. If the worst-case intersections in the air basin have no "hot spot" potential, any local impacts will be below thresholds.

The volume of traffic at Project buildout with cumulative projects is 75,800 vehicles shy of necessary volume to even get close to causing a violation of the CO standard. Therefore no CO "hot spot" modeling was performed and no significant long-term air quality impact is anticipated to local air quality with the on-going use of the proposed Project.



Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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d,e) Implementation of the Project would result in a less than significant impact that would expose sensitive receptors which are located within 1 mile of the Project site to Project substantial point source emissions; or, involve the construction of a sensitive receptor located within one mile of an existing substantial point source emitter.

A sensitive receptor is a person in the population who is particularly susceptible to health effects due to exposure to an air contaminant than is the regular population at large. Sensitive receptors, and the facilities that house them, in proximity to localized CO sources, toxic air contaminants or odors are of particular concern. High levels of CO are associated with major traffic sources, such as freeways and major intersections, and toxic air contaminants are normally associated with manufacturing and commercial operations. Land uses considered to be sensitive receptors include long-term health care facilities, rehabilitation centers, convalescent centers, retirement homes, residences, schools, playgrounds, child care centers, and athletic facilities. Surrounding uses include vacant, residential and winery uses. The residential uses are considered sensitive receptors; however, due to the nature of the proposed Project, it is not anticipated to generate substantial point source emissions. Therefore, implementation of the proposed Project will not expose sensitive receptors which are located within 1 mile of the Project site to Project substantial point source emissions. Any impacts are considered less than significant. No mitigation is required.

Due to the nature of the proposed Project (vineyard and winery), implementation of the Project will not involve the construction of a sensitive receptor located within one mile of an existing substantial point source emitter. No impacts are anticipated. No mitigation is required.

f) The Project will not have construction odors as the construction has already occurred. No other sources of objectionable odors have been identified for the proposed Project. No impacts are anticipated. No mitigation is required.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

**BIOLOGICAL RESOURCES** Would the project

**7. Wildlife & Vegetation**

a) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Conservation Community Plan, or other approved local, regional, or state conservation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Have a substantial adverse effect, either directly or through habitat modifications, on any endangered, or threatened species, as listed in Title 14 of the California Code of Regulations (Sections 670.2 or 670.5) or in Title 50, Code of Federal Regulations (Sections 17.11 or 17.12)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U. S. Wildlife Service?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Interfere substantially with the movement of any	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?				
e) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations or by the California Department of Fish and Game or U. S. Fish and Wildlife Service?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g) Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: RCLIS, WRCMSHCP, Project Application Materials, Onsite Inspection, *Consistency for Proposed Changes to Plot Plan No. 06934 and PP 12661* Letter, County of Riverside, August 5, 2014, and, EA 42727 for Grading Permit BGR140170 (Appendix A, *References*).

Findings of Fact:

a-f) Implementation of the proposed Project will not conflict with the provisions of an adopted Habitat Conservation Plan, Natural Conservation Community Plan, or other approved local, regional, or state conservation plan; have a substantial adverse effect, either directly or through habitat modifications, on any endangered, or threatened species, as listed in Title 14 of the California Code of Regulations (Sections 670.2 or 670.5) or in Title 50, Code of Federal Regulations (Sections 17.11 or 17.12); have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U.S. Wildlife Service; interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident migratory wildlife corridors, or impede the use of native wildlife nursery sites; have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations or by the California Department of Fish and Game or U.S. Fish and Wildlife Service; have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means; or, conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance.

The proposed Project relates only to the operations of the site. Site design issues have been addressed with the original development applications (Plot Plan 06934 and 12661), as well as the County's *Consistency for Proposed Changes to Plot Plan No. 06934 and PP 12661 in the Temecula Valley Wine Country Policy Area* letter and approval. Any ground disturbance was addressed in EA 42727 for Grading Permit BGR140170. No additional ground disturbance that could affect these resources is proposed as part of the Project. Based on this information, no impacts are anticipated. No mitigation is required.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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**Mitigation:** No mitigation measures are required.

**Monitoring:** No mitigation monitoring is required.

**CULTURAL RESOURCES** Would the project

**8. Historic Resources**

a) Alter or destroy an historic site?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Cause a substantial adverse change in the significance of a historical resource as defined in California Code of Regulations, Section 15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Source:** RCLIS, Project Application Materials, Onsite Inspection, *Consistency for Proposed Changes to Plot Plan No. 06934 and PP 12661* Letter, County of Riverside, August 5, 2014, and, EA 42727 for Grading Permit BGR140170 (Appendix A, *References*).

**Findings of Fact:**

- a,b) Implementation of the proposed Project will not alter or destroy an historic site; or, cause a substantial adverse change in the significance of a historical resource as defined in California Code of Regulations, Section 15064.5.

The proposed Project relates only to the operations of the site. Site design issues have been addressed with the original development applications (Plot Plan 06934 and 12661), as well as the County's *Consistency for Proposed Changes to Plot Plan No. 06934 and PP 12661 in the Temecula Valley Wine Country Policy Area* letter and approval. Any ground disturbance was addressed in EA 42727 for Grading Permit BGR140170. No cultural resources were discovered during grading. No additional ground disturbance that could affect these resources is proposed as part of the Project. Based on this information, no impacts are anticipated. No mitigation is required.

**Mitigation:** No mitigation measures are required.

**Monitoring:** No mitigation monitoring is required.

**9. Archaeological Resources**

a) Alter or destroy an archaeological site.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Cause a substantial adverse change in the significance of an archaeological resource pursuant to California Code of Regulations, Section 15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Disturb any human remains, including those interred outside of formal cemeteries?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Restrict existing religious or sacred uses within the potential impact area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Cause a substantial adverse change in the significance of a tribal cultural resource as defined in Public Resources Code 21074?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Source:** RCLIS, Project Application Materials, Onsite Inspection, *Consistency for Proposed Changes to Plot Plan No. 06934 and PP 12661* Letter, County of Riverside, August 5, 2014, and, EA

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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42727 for Grading Permit BGR140170 (Appendix A, *References*).

**Findings of Fact:**

- a-e) Implementation of the proposed Project will not alter or destroy an archaeological site; cause a substantial adverse change in the significance of an archaeological resource pursuant to California Code of Regulations, Section 15064.5; disturb any human remains, including those interred outside of formal cemeteries; restrict existing religious or sacred uses within the potential impact area; or, cause a substantial adverse change in the significance of a tribal cultural resources as defined in Public Resources Code 21074.

The proposed Project relates only to the operations of the site. Site design issues have been addressed with the original development applications (Plot Plan 06934 and 12661), as well as the County's *Consistency for Proposed Changes to Plot Plan No. 06934 and PP 12661 in the Temecula Valley Wine Country Policy Area* letter and approval. Any ground disturbance was addressed in EA 42727 for Grading Permit BGR140170. No archeological resources were uncovered during grading. No additional ground disturbance that could affect these resources is proposed as part of the Project.

Consultation per AB-52 was completed for the proposed Project. Staff received one consultation request and met with the Pechanga Band of Luiseno Indians representatives on August 4, 2015. The representatives did not have any concerns with the proposed project because the project does not propose ground disturbances.

Based on this information, no impacts are anticipated. No mitigation is required.

**Mitigation:** No mitigation measures are required.

**Monitoring:** No mitigation monitoring is required.

**10. Paleontological Resources**

- a) Directly or indirectly destroy a unique paleontological resource, or site, or unique geologic feature?

**Source:** RCLIS, Project Application Materials, Onsite Inspection, *Consistency for Proposed Changes to Plot Plan No. 06934 and PP 12661* Letter, County of Riverside, August 5, 2014, and, EA 42727 for Grading Permit BGR140170 (Appendix A, *References*).

**Findings of Fact:**

- a) Implementation of the proposed Project will not directly or indirectly destroy a unique paleontological resource, or site, or unique geologic features.

The proposed Project relates only to the operations of the site. Site design issues have been addressed with the original development applications (Plot Plan 06934 and 12661), as well as the County's *Consistency for Proposed Changes to Plot Plan No. 06934 and PP 12661 in the Temecula Valley Wine Country Policy Area* letter and approval. Any ground disturbance was addressed in EA 42727 for Grading Permit BGR140170. No unique paleontological resources were uncovered during grading. No additional ground disturbance that could affect these

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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resources is proposed as part of the Project. Based on this information, no impacts are anticipated. No mitigation is required.

**Mitigation:** No mitigation measures are required.

**Monitoring:** No mitigation monitoring is required.

**GEOLOGY AND SOILS** Would the project

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>11. Alquist-Priolo Earthquake Fault Zone or County Fault Hazard Zones</b>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a) Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Be subject to rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Source:** Riverside County General Plan Figure S-2, *Earthquake Fault Study Zones*, RCLIS, and *Geotechnical Feasibility Study (Site Improvements at Existing Winery)*, prepared by EnGEN Corporation, dated August 7, 2014 (GFS), and EA 42727 for Grading Permit BGR140170 (Appendix A, *References*).

**Findings of Fact:**

- a) The Project site is not located within an Alquist-Priolo Earthquake Fault Zone. The proposed Project will not expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death. California Building Code (CBC) requirements pertaining to new development and construction will minimize the potential for structural failure or loss of life during earthquakes by ensuring that structures are constructed pursuant to applicable seismic design criteria for the region. As CBC requirements are applicable to all development; therefore, they are not considered mitigation for CEQA implementation purposes. Therefore, the impact is considered less than significant. No additional mitigation is required.
- a) The Project site is not located within an Alquist-Priolo Earthquake Fault Zone and no known fault lines are present on or adjacent to the Project site. Therefore, there is no potential for rupture of a known fault. No impact will occur. No mitigation is required.

**Mitigation:** No mitigation measures are required.

**Monitoring:** No mitigation monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>12. Liquefaction Potential Zone</b>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a) Be subject to seismic-related ground failure, including liquefaction?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Source:** Riverside County General Plan Figure S-3, *Generalized Liquefaction*, RCLIS, and *Geotechnical Feasibility Study (Site Improvements at Existing Winery)*, prepared by EnGEN Corporation, dated August 7, 2014 (GFS), and EA 42727 for Grading Permit

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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BGR140170 (Appendix A, *References*).

**Findings of Fact:**

c) The proposed Project relates only to the operations of the site. Site design issues have been addressed with the original development applications (Plot Plan 06934 and 12661), as well as the County's *Consistency for Proposed Changes to Plot Plan No. 06934 and PP 12661 in the Temecula Valley Wine Country Policy Area* letter and approval. Any ground disturbance was addressed in EA 42727 for Grading Permit BGR140170. No additional ground disturbance that could subject the proposed Project to liquefaction is proposed as part of the Project.

According to the EA 42727 for Grading Permit BGR140170, the liquefaction potential for the Project site is moderate. Upon further review, the liquefaction potential only applies to the southern portion of the Project site. This area is currently planted in vineyards. Based on this information, no impacts are anticipated. No mitigation is required.

**Mitigation:** No mitigation measures are required.

**Monitoring:** No mitigation monitoring is required.

**13. Ground-shaking Zone**

a) Be subject to strong seismic ground shaking?

**Source:** Riverside County General Plan Figure S-4, *Earthquake-Induced Slope Instability Map*, and Figures S-13 through S-21 (showing General Ground Shaking Risk), and *Geotechnical Feasibility Study (Site Improvements at Existing Winery)*, prepared by EnGEN Corporation, dated August 7, 2014 (GFS), and EA 42727 for Grading Permit BGR140170 (Appendix A, *References*).

**Findings of Fact:**

a) According to the Riverside County General Plan, the Project area is low to locally moderate susceptible to seismically induced landslides and rockfalls. There are no known active or potentially active faults that traverse the site and the site is not located within an Alquist-Priolo Earthquake Fault Zone (see discussion in 11, above). The principal seismic hazard that could affect the site is ground shaking resulting from an earthquake occurring along several major active or potentially active faults in Southern California. California Building Code (CBC) requirements pertaining to development has already mitigated the potential impact to a less than significant level. CBC requirements are applicable to all development; therefore, they are not considered mitigation for CEQA implementation purposes.

The proposed Project relates only to the operations of the site. Site design issues have been addressed with the original development applications (Plot Plan 06934 and 12661), as well as the County's *Consistency for Proposed Changes to Plot Plan No. 06934 and PP 12661 in the Temecula Valley Wine Country Policy Area* letter and approval. Impacts from seismic ground shaking will be less than significant and no mitigation measures are necessary.

**Mitigation:** No mitigation measures are required.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Monitoring: No mitigation monitoring is required.

**14. Landslide Risk**

a) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, collapse, or rockfall hazards?

Source: Onsite Inspection, Riverside County General Plan Figure S-5, *Regions Underlain by Steep Slope*, and *Geotechnical Feasibility Study (Site Improvements at Existing Winery)*, prepared by EnGEN Corporation, dated August 7, 2014 (GFS), and EA 42727 for Grading Permit BGR140170 (Appendix A, *References*).

Findings of Fact:

a) According to the EA 42727 for Grading Permit BGR140170, the Project site will have low potential for risk of landslides. Potential for lateral spreading, collapse, and rockfall hazards are also low. Therefore, impacts will be less than significant. No additional mitigation is required.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

**15. Ground Subsidence**

a) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in ground subsidence?

Source: Riverside County General Plan Figure S-7, *Documented Subsidence Areas Map*, and *Geotechnical Feasibility Study (Site Improvements at Existing Winery)*, prepared by EnGEN Corporation, dated August 7, 2014 (GFS), and EA 42727 for Grading Permit BGR140170 (Appendix A, *References*).

Findings of Fact:

a) According to the EA 42727 for Grading Permit BGR140170, the Project site is susceptible to subsidence. California Building Code (CBC) requirements pertaining to development has already mitigated the potential impact to a less than significant level. CBC requirements are applicable to all development; they are not considered mitigation for CEQA implementation purposes.

The proposed Project relates only to the operations of the site. Site design issues have been addressed with the original development applications (Plot Plan 06934 and 12661), as well as the County's *Consistency for Proposed Changes to Plot Plan No. 06934 and PP 12661 in the Temecula Valley Wine Country Policy Area* letter and approval. Impacts from ground subsidence will be less than significant and no mitigation measures are necessary.

Mitigation: No mitigation measures are required.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Monitoring: No mitigation monitoring is required.

**16. Other Geologic Hazards**

a) Be subject to geologic hazards, such as seiche, mudflow, or volcanic hazard?

Source: *Geotechnical Feasibility Study (Site Improvements at Existing Winery)*, prepared by EnGEN Corporation, dated August 7, 2014 (GFS), and EA 42727 for Grading Permit BGR140170 (Appendix A, References).

Findings of Fact:

a) According to the EA 42727 for Grading Permit BGR140170, the Project site is not located near any large bodies of water or in a known volcanic area; therefore, the Project site is not subject to geologic hazards, such as seiche, mudflow, or volcanic hazard. No impacts are anticipated. No mitigation is required.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

**17. Slopes**

a) Change topography or ground surface relief features?

b) Create cut or fill slopes greater than 2:1 or higher than 10 feet?

c) Result in grading that affects or negates subsurface sewage disposal systems?

Source: Project Application Materials, and *Geotechnical Feasibility Study (Site Improvements at Existing Winery)*, prepared by EnGEN Corporation, dated August 7, 2014 (GFS), (Appendix A, References).

Findings of Fact:

a-c) The proposed Project relates only to the operations of the site. Site design issues have been addressed with the original development applications (Plot Plan 06934 and 12661), as well as the County's *Consistency for Proposed Changes to Plot Plan No. 06934 and PP 12661 in the Temecula Valley Wine Country Policy Area* letter and approval. Any ground disturbance was addressed in EA 42727 for Grading Permit BGR140170. No additional ground disturbance that could affect these resources is proposed as part of the Project. Based on this information, no impacts are anticipated. No mitigation is required.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.



	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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<b>18. Soils</b>				
a) Result in substantial soil erosion or the loss of topsoil?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Be located on expansive soil, as defined in Section 1802.3.2 of the California Building Code (2007), creating substantial risks to life or property?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Have soils incapable of adequately supporting use of septic tanks or alternative waste water disposal systems where sewers are not available for the disposal of waste water?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: USDA Soil Conservation Service Soil Surveys, Project Application Materials, Onsite Inspection, and *Geotechnical Feasibility Study (Site Improvements at Existing Winery)*, prepared by EnGEN Corporation, dated August 7, 2014 (GFS), (Appendix A, References).

Findings of Fact:

a-c) The proposed Project relates only to the operations of the site. Site design issues have been addressed with the original development applications (Plot Plan 06934 and 12661), as well as the County's *Consistency for Proposed Changes to Plot Plan No. 06934 and PP 12661 in the Temecula Valley Wine Country Policy Area* letter and approval. Any ground disturbance was addressed in EA 42727 for Grading Permit BGR140170. No additional ground disturbance that could affect these resources is proposed as part of the Project. Based on this information, no impacts are anticipated. No mitigation is required. The soil is capable of supporting the use of septic tanks. The Project is conditioned, Condition of Approval 10. Health 001, to connect to the sanitary sewer for the disposal of all wastewater within 60 days of it becoming available. It shall become available when the sewer main is in the street in front of the property and is active.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

<b>19. Erosion</b>				
a) Change deposition, siltation, or erosion that may modify the channel of a river or stream or the bed of a lake?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Result in any increase in water erosion either on or off site?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: USDA Soil Conservation Service Soil Surveys, and *Geotechnical Feasibility Study (Site Improvements at Existing Winery)*, prepared by EnGEN Corporation, dated August 7, 2014 (GFS), (Appendix A, References).

Findings of Fact:

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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- a) The proposed Project relates only to the operations of the site. Site design issues have been addressed with the original development applications (Plot Plan 06934 and 12661), as well as the County's *Consistency for Proposed Changes to Plot Plan No. 06934 and PP 12661 in the Temecula Valley Wine Country Policy Area* letter and approval. Any ground disturbance was addressed in EA 42727 for Grading Permit BGR140170. No additional ground disturbance that could affect these resources is proposed as part of the Project. Therefore, implementation of the proposed Project will not result in any deposition, siltation, or erosion that may modify the channel of a river or stream or the bed of a lake. No impacts are anticipated and no mitigation is required.
- b) Any potential impacts from water erosion either on-, or off-site are considered less than significant. Refer to Response 25.a. (Hydrology/Water Quality) for a more detailed explanation.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

**20. Wind Erosion and Blowsand from project either on or off site.**

- a) Be impacted by or result in an increase in wind erosion and blowsand, either on or off site?

Source: Riverside County General Plan Figure S-8, *Wind Erosion Susceptibility Map*, Ordinance No. 460, Article XV and Ordinance No. 484.

Findings of Fact:

- a) The proposed Project relates only to the operations of the site. Site design issues have been addressed with the original development applications (Plot Plan 06934 and 12661), as well as the County's *Consistency for Proposed Changes to Plot Plan No. 06934 and PP 12661 in the Temecula Valley Wine Country Policy Area* letter and approval. Any ground disturbance was addressed in EA 42727 for Grading Permit BGR140170. No additional ground disturbance that could affect these resources is proposed as part of the Project. Therefore, implementation of the proposed Project will not result in an increase in wind erosion and blowsand, either on or off site. No impacts are anticipated. No additional mitigation is required.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

**GREENHOUSE GAS EMISSIONS** Would the project

**21. Greenhouse Gas Emissions**

- a) Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?

- b) Conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Source: Project Description, *Avensole Winery Air Quality and GHG Impact Study, County of Riverside, California*, prepared by RK Engineering Group, Inc., dated June 2, 2015 (AQ/GHG Analysis) (Appendix A, *References*).

**Findings of Fact:**

The proposed Project relates only to the operations of the site. Site design issues have been addressed with the original development applications (Plot Plan 06934 and 12661), as well as the County's *Consistency for Proposed Changes to Plot Plan No. 06934 and PP 12661 in the Temecula Valley Wine Country Policy Area* letter and approval. Any ground disturbance was addressed in EA 42727 for Grading Permit BGR140170. No additional ground disturbance that could affect these resources is proposed as part of the Project. Therefore, the analysis contained in this Environmental Assessment Form: Initial Study will pertain solely to the greenhouse gas emissions operational aspects of the proposed Project. The following addresses questions 21.a and b, above:

**Overview**

The following is a summary of information contained in Section 1.0 (Executive Summary), Section 2.0 (Regulatory Framework and Background), Section 3.0 (Setting), and Section 4.0 (Modeling Parameters and Assumptions) of the AQ/GHG Analysis. Please refer to these specific Sections for a detailed discussion of the following:

- 1.1 Purpose and Methods of Analysis
- 1.2 Project Summary (Site Location, Project Description and Sensitive Receptors)
- 1.3 Summary of Analysis Results
- 1.4 Mitigation Measures (MM) Applied to Project
- 2.2 Greenhouse Gas Regulatory Setting (National and State, South Coast Air Quality Management District)
- 3.1 Existing Setting (Local Climate and Meteorology, Local Air Quality, Attainment Status)
- 4.1 Construction
- 4.2 Operations (Motor Vehicle Emissions, Other Emissions)
- 4.3 Localized Construction Analysis Modeling Parameters
- 4.4 Localized Operational Analysis Modeling Parameters

a,b) Implementation of the proposed Project will result in a less than significant impact such that it would generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment; or, conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases.

CEQA Guidelines define a significant effect on the environment as "a substantial, or potentially substantial, adverse change in the environment." To determine if a project would have a significant impact on greenhouse gases, the type, level and impact of emissions generated by the project must be evaluated.

The following greenhouse gas significance thresholds are contained in Appendix G of the CEQA Guidelines, which were amendments adopted into the Guidelines on March 18, 2010, pursuant to SB 97. A significant impact would occur if the Project would:

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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- (a) Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment; or
- (b) Conflict with any applicable plan, policy or regulation of an agency adopted for the purpose of reducing the emissions of greenhouse gases.

However, despite this, currently neither the CEQA statutes, OPR guidelines, nor the draft proposed changes to the CEQA Guidelines prescribe thresholds of significance or a particular methodology for performing an impact analysis; as with most environmental topics, significance criteria are left to the judgment and discretion of the Lead Agency. SCAQMD has drafted interim thresholds. The interim screening threshold utilized is 3,000 MTCO<sub>2</sub>e per year.

Consistent with SCAQMD's guidance, the County or Riverside utilizes the 3,000 MTCO<sub>2</sub>e per year threshold. For project's exceeding the threshold, project-specific mitigation is needed and should demonstrate a 25% reduction from the business as scenario.

*Construction Greenhouse Gas Emissions Impact*

The Project has already been constructed therefore the assessment focuses on the operational impact for the proposed Project. No construction impacts are anticipated. No mitigation is required.

*Operational Greenhouse Gas Emissions Impact*

Operational or long-term emissions occur over the life of the Project. For assumptions used in estimating the emissions and details regarding the emissions, please refer to Section 4.2 of the AQ/GHG Analysis. The operational emissions for the opening year of the Project (2015) are 2,963.55 metric tons of CO<sub>2</sub>e per year as shown in Table 12 of the AQ/GHG Analysis. These emissions are below the SCAQMD screening threshold for all land uses of 3,000 metric tons of CO<sub>2</sub>e per year. In addition, the Project's emissions do not exceed the SCAQMD's threshold for their own industrial projects of 10,000 metric tons of CO<sub>2</sub>e per year. Therefore the impact is less than significant. No mitigation is required.

*Conflict with an Applicable Plan, Policy or Regulation for the Purpose of Reducing the Emissions of Greenhouse Gases*

The Project will promote the goals of AB 32. The Project site location is positioned within the County's planned growth urban footprint. The Project incorporates a number of features that would minimize greenhouse gas emissions. Although the Project would generate greenhouse gas emissions, these emissions would not have a significant impact on the environment.

The core mandate of AB 32 is that statewide GHG emissions in Year 2020 be equal to Year 1990 levels. The proposed Project would be required to include all mandatory green building measures for new residential developments under CalGreen Code. The implementation of these stricter building and appliance standards would result in water, energy, and construction waste reductions for the proposed Project.

Emission reductions in California alone would not be able to stabilize the concentration of greenhouse gases in the earth's atmosphere. However, California's actions set an example and

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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drive progress towards a reduction in greenhouse gases elsewhere. If other states and countries were to follow California's emission reduction targets, this could avoid medium or higher ranges of global temperature increases. Thus, severe consequences of climate change could also be avoided.

The ARB Board approved a Climate Change Scoping Plan in December 2008. The Scoping Plan outlines the State's strategy to achieve the 2020 greenhouse gas emissions limit. The Scoping Plan "proposes a comprehensive set of actions designed to reduce overall greenhouse gas emissions in California, improve our environment, reduce our dependence on oil, diversify our energy sources, save energy, create new jobs, and enhance public health" (California Air Resources Board 2008). The measures in the Scoping Plan have been in place since 2012.

In May 2014, CARB released its *First Update to the Climate Change Scoping Plan (Update)*. This *Update* identifies the next steps for California's leadership on climate change. While California continues on its path to meet the near-term 2020 greenhouse gas limit, it must also set a clear path toward long-term, deep GHG emission reductions. The *Update* highlights California's success to date in reducing its GHG emissions and lays the foundation for establishing a broad framework for continued emission reductions beyond 2020, on the path to 80 percent below 1990 levels by 2050.

The 2008 Scoping Plan calls for an "ambitious but achievable" reduction in California's greenhouse gas emissions, cutting approximately 30 percent from business-as-usual emission levels projected for 2020, or about 15 percent from today's (2010) levels. On a per-capita basis, that means reducing annual emissions of 14 tons of carbon dioxide for every man, woman and child in California down to about 10 tons per person by 2020.

Project consistency with applicable strategies in the Plan is assessed. As shown in Table 16 of the AQ/GHG Analysis, the Project is consistent with the applicable strategies and would result in a less than significant impact. Project will be compliant to current Title 24 building requirements including energy efficient programs (e.g., lighting, appliances, etc.) and water conservation strategies. The Project will be subject to the policies and ordinances pertaining to air quality and climate change stated in the County's General Plan. Although the Project would generate greenhouse gas emissions, either directly or indirectly, these emissions are not considered to have a significant impact on the environment. No additional mitigation is required.

**Mitigation:** No mitigation measures are required.

**Monitoring:** No mitigation monitoring is required.

**HAZARDS AND HAZARDOUS MATERIALS** Would the project

**22. Hazards and Hazardous Materials**

a) Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Impair implementation of or physically interfere	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
with an adopted emergency response plan or an emergency evacuation plan?				
d) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Project Application Materials, Google Maps, Environmental Impact No. 524, and EA 42727 for Grading Permit BGR140170.

Findings of Fact:

- a,b) The proposed Project will consist of vineyard/agricultural and winery/commercial related uses that do not involve significant potential for routine transport or use of substantial volumes of hazardous materials or routine generation of hazardous wastes beyond those normally encountered in a vineyard/agricultural and winery/commercial related type setting. The generation of such wastes from uses is not considered to rise to a level of a significant potential for significant risk of accidental release of hazardous materials or accidental explosion. Any operational impacts are considered less than significant and no additional mitigation is required.
- c) The Project will be located off of an existing primary access road (Rancho California Road) to the area. Surrounding parcels are developed as vineyards, or wineries. A limited potential to interfere with an emergency response or evacuation plan will occur during construction. Control of access will ensure emergency access to the site and Project area during construction. Following construction, emergency access to the Project site and area will remain as was prior to the proposed Project. Any impacts are considered less than significant and no mitigation is required.
- d) No phases of implementation of the proposed Project will emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school. No existing or proposed schools are located within ¼-mile of the proposed Project site. No impacts are anticipated. No mitigation is required.
- e) According to the EA 42727 for Grading Permit BGR140170, the Project is located near a hazardous site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5. The Project is within a one-mile radius of the Former Temecula Bombing Target No. 107 MRS 01 Bombing Target. Per EIR No. 524 Mitigation Measure HAZ-2, all implementing Projects located within one-mile radius of the Temecula Bomb Site 107 shall be required to perform an Unexploded Ordnance Survey to verify presence/absence of unexploded ordnance prior to any earth disturbing activities. EIR No. 524 Mitigation Measure HAZ-3 requires notification to the Riverside County Fire Department in the event that unexploded ordnances are identified during earth disturbance activities. The conditions of approval 10, Planning. 4, and 60. Planning. 4 for EA 42727 for Grading Permit BGR140170 ensured that the Project was in compliance with HAZ-2 and HAZ-4. There were no Unexploded Ordnances found on this site during grading.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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The proposed Project relates only to the operations of the site. Site design issues have been addressed with the original development applications (Plot Plan 06934 and 12661), as well as the County's *Consistency for Proposed Changes to Plot Plan No. 06934 and PP 12661 in the Temecula Valley Wine Country Policy Area* letter and approval. Any ground disturbance was addressed in EA 42727 for Grading Permit BGR140170. No additional ground disturbance that could affect these resources is proposed as part of the Project. Therefore, implementation of the proposed Project will not be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment.

**Mitigation:** No mitigation measures are required.

**Monitoring:** No mitigation monitoring is required.

**23. Airports**

a) Result in an inconsistency with an Airport Master Plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Require review by the Airport Land Use Commission?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) For a project within the vicinity of a private airstrip, or heliport, would the project result in a safety hazard for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Source:** Riverside County General Plan Figure S-19, *Airport Locations*, RCLIS, and Google Maps.

**Findings of Fact:**

- a) The proposed Project is not located within an Airport Master Plan. The closest general aviation airport to the proposed Project site is the French Valley Airport, which is located approximately 4.25 miles to the north-northwest of the proposed Project site. Based on this distance from the Airport, the proposed Project site is not located within an Airport Influence Area that would subject the proposed Project to the airport compatibility zone criteria. Therefore, implementation of the proposed Project will have no impacts that could result in an inconsistency with an Airport Master Plan. No impacts are anticipated and no mitigation is required.
- b) Implementation of the proposed Project will not require review by the Airport Land Use Commission. Please refer to Response 22.a., above. No impacts are anticipated and no mitigation is required.
- c) The proposed Project site is not located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport. Therefore, implementation of the proposed Project would not result in a safety hazard for people residing or working in the proposed Project area. No impacts are anticipated and no mitigation is required.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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d) Based on a review of an aerial photo of the proposed Project site and its immediate environs, the proposed Project is not located within the vicinity of a private airstrip, or heliport. Therefore, implementation of the proposed Project would not result in a safety hazard for people residing or working in the proposed Project area. No impacts are anticipated and no mitigation is required.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

**24. Hazardous Fire Area**

a) Expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands?

Source: Riverside County General Plan Figure S-11, *Wildlife Susceptibility*, and RCLIS.

Findings of Fact:

a) According to the RCLIS, the proposed Project site is not located within a high fire area. The proposed Project site is identified to be within a State Fire Responsibility Area.

According to the SWAP: Due to the rural and mountainous nature and some of the flora, such as the oak woodlands and chaparral habitat, much of the Southwest planning area is subject to a high risk of fire hazards. These risks are greatest in rural areas and along urban edges. Methods to address this hazard include techniques such as avoidance of building in high-risk areas, creating setbacks that buffer development from hazard areas, maintaining brush clearance to reduce potential fuel, establishing low fuel landscaping, and applying special building techniques. In still other cases, safety-oriented organizations such as Fire Safe can provide assistance in educating the public and promoting practices that contribute to improved public safety. The following Policy shall apply to the proposed Project:

SWAP 25.1: Protect life and property from wildfire hazards through adherence to the Fire Hazards section of the Safety Element of the General Plan.

The proposed Project has been reviewed and conditions of approval have been placed on the proposed Project to address any potential impacts to Fire Resources, consistent with the Fire Hazards section of the Safety Element of the General Plan. This is further discussed in Section 35 of this Initial Study. Any impacts from the proposed Project that would expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands are considered less than significant and no additional mitigation is required.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

**HYDROLOGY AND WATER QUALITY** Would the project



	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>25. Water Quality Impacts</b>				
a) Substantially alter the existing drainage pattern of the site or area, including the alteration of the course of a stream or river, in a manner that would result in substantial erosion or siltation on- or off-site?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Violate any water quality standards or waste discharge requirements?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Create or contribute runoff water that would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Place housing within a 100-year flood hazard area, as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Place within a 100-year flood hazard area structures which would impede or redirect flood flows?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g) Otherwise substantially degrade water quality?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h) Include new or retrofitted stormwater Treatment Control Best Management Practices (BMPs) (e.g. water quality treatment basins, constructed treatment wetlands), the operation of which could result in significant environmental effects (e.g. increased vectors or odors)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: RCLIS, *Project Specific Water Quality Management Plan – Avensole Vineyards and Winery*, prepared by JLC Engineering & Consulting, Inc., dated February 24, 2015 (WQMP), and *Hydrology and Hydraulics Study for Avensole Vineyard and Winery*, prepared by Engineering & Consulting, Inc., dated January 16, 2015 (Hydrology Study), (Appendix A, *References*).

**Findings of Fact:**

a,b,d,g,h) The proposed Project relates only to the operations of the site. Site design issues have been addressed with the original development applications (Plot Plan 06934 and 12661), as well as the County's *Consistency for Proposed Changes to Plot Plan No. 06934 and PP 12661 in the Temecula Valley Wine Country Policy Area* letter and approval. Any ground disturbance was addressed in EA 42727 for Grading Permit BGR140170. No additional ground disturbance that could affect these resources is proposed as part of the Project. Implementation of the proposed Project will not substantially alter the existing drainage pattern of the site or area, including the alteration of the course of a stream or river, in a manner that would result in substantial erosion or siltation on- or off-site; violate any water quality standards or waste discharge requirements; create or contribute runoff water that would exceed the capacity of existing or planned stormwater

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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drainage systems or provide substantial additional sources of polluted runoff; otherwise substantially degrade water quality; or, include new or retrofitted stormwater Treatment Control Best Management Practices (BMPs) (e.g. water quality treatment basins, constructed treatment wetlands), the operation of which could result in significant environmental effects (e.g. increased vectors and odors).

The proposed Project has been reviewed and conditioned by the Riverside County Flood Control and Water Conservation District (RCFC&WCD), County Building Department, and County Transportation Department, to mitigate any potential impacts as listed above through site design and the preparation of a Water Quality Management Plan (WQMP) and adherence to the requirements of the National Pollutant Discharge Elimination System (NPDES).

These are standards condition for the County of Riverside and are not considered unique mitigation under CEQA. With the inclusion of these standard conditions, any impacts from implementation of the proposed Project related to substantially alter the existing drainage pattern of the site or area, including the alteration of the course of a stream or river, in a manner that would result in substantial erosion or siltation on- or off-site; violate any water quality standards or waste discharge requirements; create or contribute runoff water that would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff; otherwise substantially degrade water quality; or, include new or retrofitted stormwater Treatment Control Best Management Practices (BMPs) (e.g. water quality treatment basins, constructed treatment wetlands), the operation of which could result in significant environmental effects (e.g. increased vectors and odors), are considered less than significant. No additional mitigation is required.

c) Implementation of the proposed Project will not substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted). No component of the proposed Project will deplete groundwater supplies. Approximately 75% of the site will be planted in vineyard. This Project design component will allow for water to percolate back into the ground and allow for groundwater discharge. This will off-set any impacts from the other non-pervious elements contained in the proposed Project. Any impacts are considered less than significant. No additional mitigation is required.

e,f) According to the RCLIS, only the southwesterly corner of the proposed Project site is located within a 100-year flood hazard area. This are will be planted in vineyard and will not contain any structures. Based on this information, and since the Project is commercial in nature, implementation of the proposed Project will not place housing within a 100-year flood hazard area, as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map; or, place within a 100-year flood hazard area structures which would impede or redirect flood flows. No impacts are anticipated. No mitigation is required.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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**26. Floodplains**

Degree of Suitability in 100-Year Floodplains. As indicated below, the appropriate Degree of Suitability has been checked.

NA - Not Applicable <input checked="" type="checkbox"/>	U - Generally Unsuitable <input type="checkbox"/>	R - Restricted <input type="checkbox"/>
a) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner that would result in flooding on- or off-site?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Changes in absorption rates or the rate and amount of surface runoff?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam (Dam Inundation Area)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Changes in the amount of surface water in any water body?	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure S-9, 100- and 500-Year Flood Hazard Zones, Figure S-10, Dam Failure Inundation Zone, Riverside County Flood Control District Flood Hazard Report/Condition, EA 42727 for Grading Permit BGR140170, and RCLIS.

Findings of Fact:

- a,b) Implementation of the proposed Project Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner that would result in flooding on- or off-site; or, Changes in absorption rates or the rate and amount of surface runoff. Please reference Responses in Section 25 (Water Quality Impacts), above. Any impacts are considered less than significant. No additional mitigation is required.
- c) The closest dams to the Project site are located at Vail Lake and Lake Skinner. The General Plan (Figure S-10) designates the Project site is outside an area subject to dam inundation. There are no levees in vicinity of the Project. Therefore, implementation of the proposed Project will not expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam (Dam Inundation Area). No impacts are anticipated. No mitigation is required.
- d) Implementation of the proposed Project will result in a less than significant impact that would change the amount of surface water in any water body. Please reference the discussion in Section 19 (Erosion) and Section 25 (Water Quality Impacts), above. No additional mitigation is required.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

**LAND USE/PLANNING** Would the project

<b>27. Land Use</b>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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- |  |                          |                          |                          |                                     |
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| a) Result in a substantial alteration of the present or planned land use of an area?                   |                          |                          |                          |                                     |
| b) Affect land use within a city sphere of influence and/or within adjacent city or county boundaries? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

**Source:** Riverside County General Plan, Ordinance No. 348, RCLIS, and Project Application Materials.

**Findings of Fact:**

- a) The proposed Project will update uses associated with an existing vineyard and winery that is encouraged by the Temecula Wine Country Policy Area and permitted in the Wine Country – Winery Zone. Implementation of the proposed Project will be consistent with the present and planned uses in the immediate area and within the greater Wine Country area. Therefore, the proposed Project will not result in a substantial alteration of the present or planned land use of an area. No impacts are anticipated. No mitigation is required.
- b) According to the RCLIS, the proposed Project site is not located in an area that would affect land use within a city sphere of influence and/or within adjacent city or county boundaries. No impacts are anticipated. No mitigation is required.

**Mitigation:** No mitigation measures are required.

**Monitoring:** No mitigation monitoring is required.

**28. Planning**

- |   |                          |                          |                          |                                     |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| a) Be consistent with the site's existing or proposed zoning?   | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| b) Be compatible with existing surrounding zoning?  | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| c) Be compatible with existing and planned surrounding land uses?   | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| d) Be consistent with the land use designations and policies of the General Plan (including those of any applicable Specific Plan)? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| e) Disrupt or divide the physical arrangement of an established community (including a low-income or minority community)?           | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

**Source:** Riverside County General Plan Land Use Element, Staff review, RCLIS, and Ordinance No. 348.4729.

**Findings of Fact:**

- a) The Change of Zone proposes to change the existing zoning of Citrus Vineyard – 10 Acre minimum (C/V-10) Zone to Wine Country-Winery (WC-W) Zone for consistency with Figure 4B, Temecula Valley Wine Country Policy Area with Districts. With the approval of CZ No. 7848, the Project will be consistent with Ordinance No. 348 (Riverside County Land Use Ordinance). CUP No. 3711 has been filed for the proposed uses on site, consistent with Ordinance No. 348. Based

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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on this information, as reviewed, conditioned and approval by the County the proposed Project will be consistent with the site's existing or proposed zoning. No impacts are anticipated. No mitigation is required.

- b) The proposed Project, as designed and with the proposed conditions of approvals will be compatible with existing surrounding zoning. No impacts are anticipated and no mitigation is required.
- c) The proposed Project, as designed and with the proposed conditions of approval will compatible with existing and planned surrounding land uses. Please refer to the discussion in Response 27.b., above. No impacts are anticipated and no mitigation is required.
- d) The proposed Project will be consistent with the land use designations and policies of the Comprehensive General Plan. Please refer to the discussion in Section II.A.1 (Applicable General Plan and Zoning Regulations, Land Use) of this Environmental Assessment. The proposed Project is not located within any applicable Specific Plan. No impacts are anticipated and no mitigation is required.
- e) Implementation of the proposed Project will not disrupt or divide the physical arrangement of an established community (including a low-income or minority community). No low-income or minority community exists in proximity to the proposed Project site. In addition, the proposed Project (winery) is consistent with the existing and proposed physical arrangement of the established community. No impacts are anticipated. No mitigation is required.

**Mitigation:** No mitigation measures are required.

**Monitoring:** No mitigation monitoring is required.

**MINERAL RESOURCES** Would the project

**29. Mineral Resources**

a) Result in the loss of availability of a known mineral resource that would be of value to the region or the residents of the State?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Be an incompatible land use located adjacent to a State classified or designated area or existing surface mine?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Expose people or property to hazards from proposed, existing or abandoned quarries or mines?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Source:** Riverside County General Plan Figure OS-5, *Mineral Resources Area*.

The proposed Project relates only to the operations of the site. Site design issues have been addressed with the original development applications (Plot Plan 06934 and 12661), as well as the County's *Consistency for Proposed Changes to Plot Plan No. 06934 and PP 12661 in the Temecula Valley Wine Country Policy Area* letter and approval. Any ground disturbance was addressed in EA

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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42727 for Grading Permit BGR140170. No additional ground disturbance that could affect mineral resources is proposed as part of the Project. The following addresses questions 29.a-d, above:

- a) The State Mining and Geology Board (SMGB) has established Mineral Resources Zones (MRZ) using the following classifications:
- MRZ-1: Areas where the available geologic information indicates no significant mineral deposits or a minimal likelihood of significant mineral deposits.
  - MRZ-2a: Areas where the available geologic information indicates that there are significant mineral deposits.
  - MRZ-2b: Areas where the available geologic information indicates that there is a likelihood of significant mineral deposits.
  - MRZ-3a: Areas where the available geologic information indicates that mineral deposits are likely to exist; however, the significance of the deposit is undetermined.
  - MRZ-4: Areas where there is not enough information available to determine the presence or absence of mineral deposits.

The Project site is designated MRZ-3a (areas where the available geologic information indicates that mineral deposits are likely to exist, however, the significance of the deposits is undetermined). Since the Project site has not been used for mining, the Project is not expected to result in the loss of availability of a known mineral resource in an area classified or designated by the State that would be of value to the region or the residents of the State. No impacts are expected from the Project and no mitigation is required.

- b) The Project site has not been used for mining. Implementation of the proposed Project will not result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan. No impacts are expected from the Project and no mitigation is required.
- c) The Project site is not adjacent to an existing surfaces mine. No impacts are expected from the Project and no mitigation is required.
- d) The Project is not located adjacent to an existing surface mine and will not expose people or property to hazards from proposed, existing or abandoned quarries or mines. No impacts are expected from the Project and no mitigation is required.

**Mitigation:** No mitigation measures are required.

**Monitoring:** No mitigation monitoring is required.

**NOISE** Would the project result in

**Definitions for Noise Acceptability Ratings**

Where indicated below, the appropriate Noise Acceptability Rating(s) has been checked.

NA - Not Applicable                      A - Generally Acceptable                      B - Conditionally Acceptable  
 C - Generally Unacceptable              D - Land Use Discouraged

**30. Airport Noise**

- a) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport would the
- |  |                          |                          |                          |                                     |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
|  | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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project expose people residing or working in the project area to excessive noise levels?

NA  A  B  C  D

b) For a project within the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels?

NA  A  B  C  D

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Source: Riverside County General Plan Figure S-19, *Airport Locations*, County of Riverside Airport Facilities Map, and Aerial Photo (Google Maps).

Findings of Fact:

- a) The proposed Project site is not located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport. Therefore, implementation of the proposed Project would not result in a safety hazard for people residing or working in the proposed Project area. No impacts are anticipated and no mitigation is required.
- b) Based on a review of an aerial photo of the proposed Project site and its immediate environs, the proposed Project is not located within the vicinity of a private airstrip, or heliport. Therefore, implementation of the proposed Project would not result in a safety hazard for people residing or working in the proposed Project area. No impacts are anticipated and no mitigation is required.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

**31. Railroad Noise**

NA  A  B  C  D

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Source: Riverside County General Plan Figure C-1 "Circulation Plan," RCLIS, Onsite Inspection, and Google Maps.

Findings of Fact:

There are no railroad lines in proximity to the Project. No impacts are anticipated; therefore, no mitigation is required.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

**32. Highway Noise**

NA  A  B  C  D

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Source: Onsite Inspection, Project Application Materials, and General Plan EIR No. 441.

Findings of Fact:

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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The proposed Project site is located adjacent to Rancho California Road, which is classified as a Mountain Arterial (110' ROW). According to Figure 4.13.3 (Projected Noise Contours along Freeways and Major Highways – Mountain Arterial) of the General Plan EIR, 70 dBA is anticipated at a distance of 69' from the centerline of the roadway, 65 dBA is anticipated at a distance of 144' from the centerline of the roadway, and 60dBA is anticipated at a distance of 309' from the centerline of the roadway. According to Figure 4.13.39 (Land Use Compatibility for Community Noise Exposure), commercial uses are normally acceptable up to 67.5 dBA. The northern wall of Building "C" is located approximately 70' from the centerline of Rancho California Road. Building "C" is also approximately 20 feet above the roadway. The building wall and the difference in elevation will reduce highway noise impacts to the proposed Project to a less than significant level. No other buildings on site sre will be impacted. No mitigation is required.

**Mitigation:** No mitigation measures are required.

**Monitoring:** No mitigation monitoring is required.

**33. Other Noise**

NA     A     B     C     D                

**Source:** Project Application Materials, and RCLIS.

**Findings of Fact:**

The proposed Project is not anticipated to be affected by other types of noise not listed above. No impacts are expected from the Project; therefore, no mitigation is required.

**Mitigation:** No mitigation measures are required.

**Monitoring:** No mitigation monitoring is required.

**34. Noise Effects on or by the Project**

a) A substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project?               

b) A substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project?               

c) Exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?               

d) Exposure of persons to or generation of excessive ground-borne vibration or ground-borne noise levels?               

**Source:** Project Application Materials, and, *Avensole Winery Noise Impact Study, County of Riverside, California*, prepared by RK Engineering, Inc., February 16, 2015 (NIS), and



Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Memorandum from Department of Environmental Health to Phayvanh Nanthavongdouangsy dated May 5, 2015 (Appendix A, *References*).

**Findings of Fact:**

The proposed Project relates only to the operations of the site. Site design issues have been addressed with the original development applications (Plot Plan 06934 and 12661), as well as the County's *Consistency for Proposed Changes to Plot Plan No. 06934 and PP 12661 in the Temecula Valley Wine Country Policy Area* letter and approval. Any ground disturbance was addressed in EA 42727 for Grading Permit BGR140170. No additional ground disturbance or construction that could affect these resources is proposed as part of the Project. Therefore, the analysis contained in this Environmental Assessment Form: Initial Study will pertain solely to the noise emitting from operational aspects of the proposed Project. The following addresses questions 34.a-d, above:

**Overview**

The following is a summary of information contained in Section 1.0 (Introduction), Section 2.0 (Fundamentals of Noise), Section 3.0 (Regulatory Setting), and Section 4.0 (Study Methods and Procedures) and Section 5.0 (Existing Noise Environment) of the NIS. Please refer to these specific Sections for a detailed discussion of the following:

- 1.1 Purpose of Analysis and Study Objectives
- 1.2 Site Location and Study Area
- 1.3 Proposed Project Description
- 2.1 Sound, Noise and Acoustics
- 2.2 Frequency and Hertz
- 2.3 Sound Pressure Levels and Decibels
- 2.4 Addition to Decibels
- 2.5 Human Responses to Changes in Noise Levels
- 2.6 Noise Descriptions
- 2.7 Traffic Noise Prediction
- 2.8 Sound Propagation
- 3.1 Federal Regulations
- 3.2 State Regulations
- 3.3 County of Riverside Noise Regulations
- 4.1 (Measurement Procedures and Criteria (Noise Measurements, Noise Measurement Locations, Noise Measurement Timing and Climate)
- 4.2 Traffic Noise Modeling
- 4.3 Stationary Noise Modeling
- 5.1 Short-Term Noise Measurement Results

a-d)With mitigation incorporated, noise affects on or by the Project that could result in a substantial permanent increase in ambient noise levels in the Project vicinity above levels existing without the Project; a substantial temporary or periodic increase in ambient noise levels in the Project vicinity above levels existing without the Project; exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies; and/or exposure of persons to or generation of excessive ground-borne vibration or ground-borne noise levels will be reduced to a less than significant level.

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**Future Exterior Noise**

Each future noise source related to the Project was analyzed and compared to the County of Riverside standards. The sections below analyze the exterior noise levels and provide mitigation measures that would reduce noise levels. The NIS evaluated the potential noise impacts from the proposed Project to the surrounding land uses and compares the results to the County's Noise Standards.

**Traffic Source Noise**

The noise contours of the nearby roadways were calculated using the FHWA Traffic Noise Prediction Model (FHWA-RD-77-108) in order to provide estimated future traffic noise levels. In addition, the noise level at 100 feet from the centerline was calculated and is representative of the approximate distance to homes and/or other sensitive receptors along the study area roadways. Buildout volumes along Rancho California Road were obtained from Traffic Impact Study for The Wine Country Community Plan, Riverside County (prepared by Fehr Peers, 2011).

*Buildout Without and With Project Conditions:* The calculated noise contours in Table 5 of the NIS show the change in noise levels along Rancho California Road (east of Nicholas Valley Road), as a result of the Project. The CNEL calculations demonstrate that the proposed Project is expected to increase noise levels by approximately 0.4 dBA CNEL. The change in noise levels, as a result of the Project, is considered a less than significant impact and no off-site mitigation is required.

**Stationary Source Noise**

The stationary noise impacts associated with the proposed Project would include noise associated with crowds and music from DJ and/or live bands. Table 6 of the NIS indicates the daytime and nighttime stationary noise levels associated with operations at the site.

**Crowd/Live Band/DJ Noise**

Noise would be potentially generated by a special event activity, such as a wedding, where a crowd, live bands and/or DJ gathering occurs on-site. The nearest sensitive receptors are located to the north (approximately 650 feet) of the Project site. The next closest sensitive receptor is located to the west (approximately 1,500 feet) of the Project site. Noise generated by crowds/live bands/DJ would be approximately 57.7 dBA at 650 feet away and 59.7 dBA when combining the ambient with the special event noise. As shown in the Table 6 of the NIS, the noise level is below the County's daytime 65 dBA 10-minute Leq standard; however it would be above the County's nighttime 45 dBA 10-minute Leq standard.

The noise from outdoor special event operations would be audible at a distance of 650 feet if DJ equipment is utilized. Even though the daytime noise standard would not exceed the County's stationary noise standard, extra noise reducing measures could be implemented as a good neighbor practice. To reduce the potential impact to adjacent properties, all live amplified music/DJ equipment should face in a south or southeast direction. Speaker placement on top of a hill should be avoided.

According to Ordinance No. 847 Section (c). Audio Equipment prohibits the operation of audio equipment between the hours of 10PM and 8AM, such that the equipment is audible inside an

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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inhabited dwelling unit, and at any other time such that the equipment is audible at a distance greater than 100 feet from the source. Additionally, Ordinance No. 847 Section (d), Sound Amplifying Equipment and Live Music, prohibits the operation of sound amplifying equipment or performance of live music between the hours of 10:00 p.m. and 8:00 a.m., and at any other time such that the equipment or live music is audible at a distance greater than 200 feet from the source. Ordinance No. 847 Section 7, Exceptions, allows for the application for single or continuous exceptions from the provisions of Ordinance No. 847 which are subject to a fee and the County Planning Director's approval.

Future Interior Noise

Based on the data provided in the Environmental Protection Agency's (EPA) Protective Noise Levels (EPA 550/9-79-100, Nov 1979), standard homes in Southern California provide at least 12 dBA of noise exterior to interior noise attenuation with windows open and 20 dBA with windows closed.

Therefore, residences would need to be exposed to exterior noise levels exceeding 65 dBA (45 dBA + 20 dBA = 65 dBA) to potentially exceed the interior noise standard of 45 dBA with windows closed. With the windows open, residences would need to be exposed to a worst-case noise level of 57 dBA (45 dBA + 12 dBA = 57 dBA) to exceed the interior noise standard of 45 dBA with windows open. Based on the discussion above, the closest residences would not be exposed to noise levels exceeding 59.7 dBA with windows closed. Therefore, no significant interior noise impacts would occur to noise-sensitive land uses located adjacent to the Project site. No mitigation measures are required.

Mitigation Measures

The mitigation measures for the Project are indicated in Exhibit D of the NIS. In order to comply with the County of Riverside's Noise Element and Municipal Code, the Project must incorporate the following recommendations into the Project design.

- The Project shall comply with NOI-3 (EIR No. 524) and is outlined as follows:

**NOI-3** All implementing projects involving a new winery or expansion of an existing winery shall be reviewed by the Riverside County Office of Industrial Hygiene and include at least the following conditions:

- The hours of operation for tasting rooms associated with wineries shall be limited to 9AM to 7PM Monday through Saturday in Wine County – Winery District.
- Mechanical equipment including but not limited to, de-stemming, crushing, and refrigeration equipment shall be enclosed or shielded for noise attenuation. Alternatively, the proponent may submit a Noise Study prepared by a qualified acoustical analyst that demonstrates that the unenclosed/unshielded equipment would not exceed the County's allowable noise levels.
- The hours of operation for shipping facilities associated with wineries shall be limited to 9:00 a.m. to 7:00 p.m. Monday through Sunday in the Wine Country - Winery District.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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- Shipping facilities and parking areas which abut residential parcels shall be located away from sensitive land uses and be designed to minimize potential noise impacts upon nearby sensitive land uses.
- Site-specific noise-attenuating features such as hills, berms, setbacks, block walls, or other measures shall be considered for noise attenuation in noise-producing areas of future wineries including, but not limited to, locations of mechanical equipment, locations of shipping facilities, access, and parking areas.
- Live amplified music/band/DJ equipment should face in a south or southeast direction. Speaker placement on top of a hill should be avoided.
- Live bands and/or DJs should be positioned as far away as possible (to extent possible) from the Project site's northern property line outdoor special events.
- Live amplified music/DJ equipment should be located within a structure after 10PM to the extent possible. It should be noted that noise associated with live music/ DJ has a potential to carry great distances (0.5 miles or greater) due to low frequency energy generated by audio equipment. The distance the sound travels can vary depending on the intensity at the source. The County's code is based on the A-weighted scale, which does not accurately evaluate low frequencies associated with loudspeakers. Therefore, special care should be taken when assessing noise associated with live music/DJ. Should the need for compliance verification/ noise measurement arise, a noise meter with frequency measuring capability should be used. Noise measurements should be completed using the C-weighted or Z-weighted scale.
- The Project shall comply with NOI-5 and NOI-6 (EIR No. 524) and is outlined as followed:

**NOI-5** All implementing projects involving a special occasion facility shall be reviewed by the Riverside County Office of Industrial Hygiene and include at least the following conditions:

- All special event vendors (e.g. DJs, musical bands, etc.) shall be notified regarding noise conditions of approval.
- Outdoor special events and associated audio equipment, sound amplifying equipment, and/or performance of live music shall be limited to the hours of 8:00 a.m. to 10:00 p.m. Monday through Sunday.
- Noise levels shall be kept below levels prescribed in the County's General Plan Noise Element and County noise Ordinances No. 847 by using a decibel-measuring device to measure music sound levels when amplified music is used.
- Clean-up activities associated with special events shall terminate no later than midnight.
- Outdoor speakers for all scheduled events shall be oriented toward the center of the property and away from adjoining land uses.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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- Padding/carpeting shall be installed under music speakers for early absorption of music.

**NOI-6** All implementing projects involving a special occasion facility shall include at least the following conditions to ensure proper enforcement of the County Ordinances and Project conditions:

- After issuance of two Code Violation Notices for excessive noise, noise measurements shall be performed by the Office of Industrial Hygiene for every event at the property line, to determine if the Noise Ordinance and Project conditions are being followed during the special events.
- If violations of the Noise Ordinance or Project conditions are found, the County shall reconsider allowed hours of operation, number of guests, amount of special events per year, or approval of the specific facility.
- The proponents shall be required to pay fees assessed per the Department's hourly rate pursuant to Ordinance No. 671.

**Mitigation:** EIR No, 524 Mitigation Measures NOI-3, NOI5 and NOI-6 incorporated as Conditions of Approval No. 10. PLANNING 022 USE- EXTERIOR NOISE LEVEL and 10.PLANNING 028 USE - CAUSES FOR REVOCATION

**Monitoring:** Mitigation monitoring shall be provided by the Environmental Health Department in conformance with EIR No, 524 Mitigation Measures NOI-3, NOI5 and NOI-6.

**POPULATION AND HOUSING** Would the project

**35. Housing**

a) Displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Create a demand for additional housing, particularly housing affordable to households earning 80% or less of the County's median income?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Displace substantial numbers of people, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Affect a County Redevelopment Project Area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Cumulatively exceed official regional or local population projections?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Source:** Project Application Materials, RCLIS, and Riverside County General Plan Housing Element.

**Findings of Fact:**

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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- a) The proposed Project site is currently an existing winery. Therefore, implementation of the proposed Project will not displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere. No impacts are anticipated. No mitigation is required.
- b) Implementation of the proposed Project will not create a demand for additional housing, particularly housing affordable to households earning 80% or less of the County's median income. The proposed Project is a winery and will not generate any impacts to require additional housing. No mitigation is required.
- c) Implementation of the proposed Project will not displace substantial numbers of people, necessitating the construction of replacement housing elsewhere. Please reference Response No. 34.a., above. No impacts are anticipated. No mitigation is required.
- d) There are no longer any County Redevelopment Project Areas. Therefore, implementation of the proposed Project cannot create any impacts. No mitigation is required.
- e) The proposed Project will not result in an increase in population in the area. Therefore, implementation of the proposed Project will not cumulatively exceed official regional or local population projections. No impacts are anticipated. No mitigation is required.
- f) Due to the nature and scale of the proposed Project, it will not induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure. No impacts are anticipated. No mitigation is required.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

**PUBLIC SERVICES** Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered government facilities or the need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:

**36. Fire Services**

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Source: Riverside County General Plan Safety Element, and Ordinance No. 659 (As Amended through 659.12, an Ordinance of the County Of Riverside Amending Ordinance No. 659 Establishing a Development Impact Fee Program).

Findings of Fact:

The proposed Project relates only to the operations of the site. Site design issues have been addressed with the original development applications (Plot Plan 06934 and 12661), as well as the County's *Consistency for Proposed Changes to Plot Plan No. 06934 and PP 12661 in the Temecula Valley Wine Country Policy Area* letter and approval. As part of these approvals, standard conditions

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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were assessed on the proposed Project to reduce impacts from the proposed Project to fire services. In addition, prior to the issuance of a certificate of occupancy, the Project applicant shall comply with the provisions of Ordinance No. 659, which requires payment of the appropriate fees set forth on the Ordinance. Ordinance No. 659 sets forth policies, regulations, and fees related to the funding and construction of facilities necessary to address direct and cumulative environmental effects generated by new development.

With the inclusion of these standard conditions, and payment of the DIF, any impacts from implementation of the proposed Project that would result in substantial adverse physical impacts associated with the provision of new or physically altered government facilities or the need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for fire services, are considered less than significant. No additional mitigation is required.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

**37. Sheriff Services**

Source: Riverside County General Plan, and Ordinance No. 659 (As Amended through 659.12, an Ordinance of the County Of Riverside Amending Ordinance No. 659 Establishing a Development Impact Fee Program).

Implementation of the proposed Project will result in an incremental impact on the demand for sheriff services. Prior to the issuance of a certificate of occupancy, the Project applicant shall comply with the provisions of Ordinance No. 659 (As Amended through 659.12, an Ordinance of the County Of Riverside Amending Ordinance No. 659 Establishing a Development Impact Fee Program), which requires payment of the appropriate fees set forth on the Ordinance. Ordinance No. 659 sets forth policies, regulations, and fees related to the funding and construction of facilities necessary to address direct and cumulative environmental effects generated by new development.

With payment of the DIF, any impacts from implementation of the proposed Project that would result in substantial adverse physical impacts associated with the provision of new or physically altered government facilities or the need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for sheriff services, are considered less than significant. No additional mitigation is required.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

**38. Schools**

Source: Temecula Valley Unified School District website: <http://www.tvusd.k12.ca.us>, and RCLIS.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Findings of Fact:

The proposed Project is located with the Temecula Valley Unified School District (TVUSD). The Project does not propose any new building or structures; therefore, the Project will not physically alter existing school facilities or result in the construction of new school facilities. No impacts are anticipated. No mitigation is required.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

**39. Libraries**

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Source: Riverside County General Plan.

Findings of Fact:

The Project will not result in the need to alter any existing library facilities or result in the need to construct new facilities. Due to the nature of the Project (winery), no impacts are expected from the Project. No mitigation will be required.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

**40. Health Services**

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Source: Riverside County General Plan.

Findings of Fact:

The Project will not result in the need to alter any existing health service facilities or result in the need to construct new facilities. Due to the nature of the Project (winery), any impacts, while incremental, are considered to be less than significant from the implementation of the proposed Project. No mitigation will be required.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

**RECREATION**

**41. Parks and Recreation**

a) Would the project include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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b) Would the project include the use of existing neighborhood or regional parks or other recreational facilities such that substantial physical deterioration of the

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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facility would occur or be accelerated?

c) Is the project located within a Community Service Area (CSA) or recreation and park district with a Community Parks and Recreation Plan (Quimby fees)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Source: GIS database, Ordinance No. 460, Section 10.35 (Regulating the Division of Land – Park and Recreation Fees and Dedications), Ordinance No. 659 (Establishing Development Impact Fees), and Parks and Open Space Department Review.

Findings of Fact:

- a) The proposed Project does not include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment. Due to the nature of the proposed Project (winery), no impacts are expected from the proposed Project. No mitigation will be required.
- b) The proposed Project does not include the use of existing neighborhood or regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated. Due to the nature of the proposed Project (winery), no impacts are expected from the proposed Project. No mitigation will be required.
- c) Due to the nature of the Project, no impacts to a C.S.A. or recreation and park district with a Community Parks and Recreation Plan (Quimby fees) are expected from the Project. No mitigation will be required.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

<b>42. Recreational Trails</b>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Source: Wine Country Community Plan.

Findings of Fact:

The Trails that is associated with the Project is located in the Rancho California road right-of-way. The Project Conditional of Approval 10. Parks 001 states "per the Rancho California Road design guidelines, the Community Trail and the Combination Trail (Regional/Class I Bike path) that occurs on the project site shall be considered within the road right-of-way subject to the review of the Transportation Department."

With the incorporation of these conditions of approval, any impacts are considered less than significant. No additional mitigation will be required.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>TRANSPORTATION/TRAFFIC</b> Would the project				
<b>43. Circulation</b>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
a) Conflict with an applicable plan, ordinance or policy establishing a measure of effectiveness for the performance of the circulation system, taking into account all modes of transportation, including mass transit and non-motorized travel and relevant components of the circulation system, including but not limited to intersections, streets, highways and freeways, pedestrian and bicycle paths, and mass transit?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) Conflict with an applicable congestion management program, including, but not limited to level of service standards and travel demand measures, or other standards established by the county congestion management agency for designated roads or highways?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c) Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Alter waterborne, rail or air traffic?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g. farm equipment)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Cause an effect upon, or a need for new or altered maintenance of roads?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g) Cause an effect upon circulation during the project's construction?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h) Result in inadequate emergency access or access to nearby uses?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
i) Conflict with adopted policies, plans or programs regarding public transit, bikeways or pedestrian facilities, or otherwise substantially decrease the performance or safety of such facilities?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Source:** Riverside County General Plan, Project application materials, and *Traffic Consistency Evaluation for Avensole Winery (CUP3711)*, County of Riverside, prepared by RK Engineering Group, Inc., dated May 18, 2015 (TCE) (Appendix A, *References*).

**Findings of Fact:**

a,b) With the incorporation of mitigation, the proposed Project will not conflict with an applicable plan, ordinance or policy establishing a measure of effectiveness for the performance of the circulation system, taking into account all modes of transportation, including mass transit and non-motorized travel and relevant components of the circulation system, including but not limited to intersections, streets, highways and freeways, pedestrian and bicycle paths, and mass transit; or, conflict with an applicable congestion management program, including, but not limited to level of service standards and travel demand measures, or other standards established by the county congestion management agency for designated roads or highways.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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*Project Traffic Generation*

Trip generation represents the amount of traffic that is attracted and produced by a development. The trip generation rates are based upon data presented in the Wine Country Community Plan (Appendix B of the TCE). The trip generation rates were developed to reflect the unique characteristics of the area.

Daily trip generation rates for the proposed renovations are shown in the Table below.

**Avensole Winery Trip Generation**

Land Use	Quantity	Units	Rate	Constant	Daily Trips
<b>Weekday</b>					
Bldg. C Restaurant	4.8	TSF	41.3	--	198
Parking	172	Spaces	2.6	--	447
Winery Constant	--	--	--	164	164
<b>TOTAL</b>					809
<b>Weekend</b>					
Bldg. C Restaurant	4.8	TSF	75.7	--	363
Parking	172	Spaces	4.2	--	722
Winery Constant	--	--	--	313	313
<b>TOTAL</b>					1,398

Source: Traffic Study for Wine Country Community Plan (EIR No. 524), November 2011

As shown in the Table above, the Project is estimated to generate a total of 809 daily trips during the weekday and a total of 1,398 daily trips during the weekend. The daily totals are consistent with a medium-sized winery assumed in the Wine Country Community Plan. The proposed renovations will be consistent with a medium-sized winery on a 21-acre parcel as detailed in the Wine Country Community Plan and traffic study.

It should be noted that the proposed improvements (land use changes and parking) from CUP No. 3711 will not intensify the trip generation. The expected daily totals will continue to be consistent with the Wine Country Community Plan EIR analysis. Any impacts are considered less than significant. No additional mitigation is required.

*Site Access*

Vehicular access to the site will continue to be provided via the existing driveway located along Rancho California Road, approximately 1,800 feet east of Anza Road. The Project access driveway would provide full access onto Rancho California Road. The Project access point has a design speed of 55 MPH. Per the Riverside County Standard Plan No. 821 (Intersection Sight Distance), **the required sight distance for the private project access driveway is 500 feet.** Exhibit C of the TCE provides the sight distance limited use areas for the Project access driveway.

The following mitigation measures have been included as conditions of approval:

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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- The limited use area shall be kept clear of all obstructions over 30 inches high, including vegetation.
- No trees, walls, or any obstructions shall be allowed in the limited use area. Based on the existing driveway location, adequate sight distance will be provided.
- Sight distance within the internal access roadways should be reviewed with respect to the Riverside County standards in conjunction with the preparation of landscape plans.

With the incorporation of mitigation, any impacts will remain less than significant.

*Parking*

The County of Riverside Parking Code parking requirements are included in Appendix D of the TCE. The parking requirements are based on the County of Riverside Zoning Code 17.188, Off-Street Vehicle Parking Standards. A summary of the parking calculations are shown below:

- Building A: 1 Space
- Building B: 107 Spaces
- Building C: 84 Spaces
- Building D: 27 Spaces
- Building E: 1 Space

Based on the County's parking code for the proposed land uses, the total parking requirement would be 220 parking spaces, including 7 accessible spaces. Per the proposed site plan, the site will provide a total of 172 parking spaces, 48 parking spaces less than what is required. However, it should be noted that based on the proposed site operations, provided in Appendix A of the TCE, the site will have a projected peak parking demand of 113 parking spaces during weekday operations and a projected peak parking demand of 135 parking spaces during weekend operations. Therefore, based on the specific operations there will be a total of 59 available parking spaces during peak weekday and 37 available parking spaces during peak weekend. No impacts are anticipated, and no additional mitigation is required.

*On-Site Circulation*

As shown in Exhibit C-2 of the TCE, the site would adequately accommodate all anticipated vehicular movements within the planned circulation system. In addition to passenger vehicles, it is expected that the site will continue to experience delivery box type trucks, limousines, and small buses. Buses and limousines would follow the main circulation road to the front entrance of the restaurant (Building C). Delivery trucks would also follow the main roadway into the back area of Building C. All vehicles will utilize the existing driveway along Rancho California Road.

*Traffic Management Plan*

The site is anticipated to continue to host special events, such as weddings and concerts, throughout the year that may cause an increase in vehicles entering and exiting the Project during short time periods. Based on the proposed operation schedules, the Project site can provide sufficient on-site parking; however, parking demand can be further reduced by implementing various parking demand management strategies. Mitigation Measure TRF-2 of EIR No. 524 states:

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Prior to approval of wineries or equestrian facilities or special events the County shall require wineries and equestrian facilities to prepare a Traffic Management Plan (TMP) for County's review and approval for large special events, including but not limited to weddings, concerts, festivals, and equestrian events. The TMP shall provide detail such as traffic management strategies (such as traffic coordinators, event signage, staggered arrival/departure times, etc.) for events that cause a substantial increase of vehicles entering or exiting the Project during a small period of time. The TMP may also be required to include parking strategies to aid traffic management such as a drop-off/pick-up zone and/or offsite shuttle arrangements, including potential use of the City of Temecula's old town parking structure on Main Street.

Based on the proposed operation schedules, the project site can provide sufficient on-site parking; however, parking demand can be further reduced by implementing various parking demand management strategies. The following is a list of recommended parking management strategies and project design features which could potentially improve parking conditions at the project site:

- Provide traffic coordinators with appropriate traffic control equipment;
- Provide staggered arrival/departure times;
- Provide drop-off/pick-up zone;
- Create pedestrian-friendly environment;
- Provide shuttle system to off-site parking area; and
- Provide on-site valet service which can also provide for additional parking supply if needed.

Utilizing these standards conditions as well as the determination that the proposed Project is consistent with the WCCP (and impacts analyzed in EIR No. 524), any impacts from the implementation of the proposed Project are considered either less than significant, or less than significant with mitigation incorporated. No additional mitigation is required.

- c) The Project will not change air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks. None of these factors described are located within proximity to the Project site. No impacts are expected from the Project and no mitigation is required.
- d) The Project will not alter waterborne, rail or air traffic. Waterborne and rail traffic do not exist in proximity to the Project site. No impacts are expected from the Project and no mitigation is required.
- e) The Project will not create any roadways or road improvements that could increase hazards to a circulation system design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g. farm equipment). Any improvements will be to County standards. No impacts are anticipated. No mitigation is required.
- f) The Project will not affect the need for new roadway maintenance. The Project is located off of Rancho California Road, which is an existing roadway, assigned by the County of Riverside's roadway maintenance list, which requires maintenance to be continuing and on-going on an annual basis. Any impacts are considered less than significant from the Project. No additional mitigation is required.
- g) Construction of the proposed Project may temporarily affect the operation of the immediate circulation network during the construction phase of the Project will be short-term and considered less than significant. No additional mitigation is required.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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- h) The Project will not result in inadequate emergency access or access to nearby uses. The Project will take access to an existing, improved roadway that will adopted emergency response plan or an emergency evacuation plan. No impacts are anticipated and no mitigation is required.
- i) The Project will not result in any conflicts with any adopted policies supporting alternative transportation (e.g. bus turnouts, bicycle racks). There is no bus service in the immediate vicinity of the Project site. No impacts are expected from the Project and no additional mitigation is required.

**Mitigation:** Conditional of Approval No. 10.Planning 042 - USE - VEHICULAR SITE ACCESS  
 Conditional of Approval No. 10. Planning 043 - USE - PARKING MANAGEMENT

**Monitoring:** County of Riverside - Transportation Department will monitor the mitigation measures effectiveness.

**44. Bike Trails**

**Source:** Temecula Valley Design Guidelines

**Findings of Fact:**

Condition of Approval 10.Parks 001 states: Per the Rancho California Road design guidelines, the Community Trail and the Combination Trail (Regional/Class I Bike path) that occurs on the project site shall be considered within the road right-of-way subject to the review of the Transportation Department.

With the incorporation of these conditions of approval, any impacts are considered less than significant. No additional mitigation will be required.

**Mitigation:** No mitigation measures are required.

**Monitoring:** No mitigation monitoring is required.

**UTILITY AND SERVICE SYSTEMS** Would the project

- 45. Water**
- a) Require or result in the construction of new water treatment facilities or expansion of existing facilities, the construction of which would cause significant environmental effects?
  - b) Have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed?

**Source:** Department of Environmental Health Review, *Consistency for Proposed Changes to Plot Plan No. 06934 and PP 12661* Letter, County of Riverside, August 5, 2014, and, EA 42727 for Grading Permit BGR140170 (Appendix A, *References*).

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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**Findings of Fact:**

a,b)The proposed Project relates only to the operations of the site. Site design issues have been addressed with the original development applications (Plot Plan 06934 and 12661), as well as the County's *Consistency for Proposed Changes to Plot Plan No. 06934 and PP 12661 in the Temecula Valley Wine Country Policy Area* letter and approval. At that time, any Project impacts that would require or result in the construction of new water treatment facilities or expansion of existing facilities, the construction of which would cause significant environmental effects; and/or, have sufficient water supplies available to serve the Project from existing entitlements and resources, or are new or expanded entitlements needed, would have been fully assessed. No additional impacts are anticipated by the proposed Project. No mitigation is required.

**Mitigation:** No mitigation measures are required.

**Monitoring:** No mitigation monitoring is required.

**46. Sewer**

a) Require or result in the construction of new wastewater treatment facilities, including septic systems, or expansion of existing facilities, the construction of which would cause significant environmental effects?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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b) Result in a determination by the wastewater treatment provider that serves or may service the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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**Source:** Department of Environmental Health Review, *Consistency for Proposed Changes to Plot Plan No. 06934 and PP 12661* Letter, County of Riverside, August 5, 2014, and, EA 42727 for Grading Permit BGR140170 (Appendix A, *References*).

**Findings of Fact:**

a,b)The proposed Project relates only to the operations of the site. Site design issues have been addressed with the original development applications (Plot Plan 06934 and 12661), as well as the County's *Consistency for Proposed Changes to Plot Plan No. 06934 and PP 12661 in the Temecula Valley Wine Country Policy Area* letter and approval. At that time, any Project impacts that would require or result in the construction of new wastewater treatment facilities, including septic systems, or expansion of existing facilities, the construction of which would cause significant environmental effects; and/or, result in a determination by the wastewater treatment provider that serves or may service the Project that it has adequate capacity to serve the Project's projected demand in addition to the provider's existing commitments, would have been fully assessed.

The Project is conditioned, Condition of Approval 10. Health 001, to connect to the sanitary sewer for the disposal of all wastewater within 60 days of it becoming available. It shall become available when the sewer main is in the street in front of the property and is active.