

**SUBMITTAL TO THE BOARD OF SUPERVISORS
COUNTY OF RIVERSIDE, STATE OF CALIFORNIA**



ITEM
3.10
(ID # 5708)

MEETING DATE:

Tuesday, December 12, 2017

FROM : ECONOMIC DEVELOPMENT AGENCY (EDA):

SUBJECT: ECONOMIC DEVELOPMENT AGENCY (EDA): Ratification and approval of First Amendment to Lease, Department of Public Social Services, Moreno Valley CEQA Exempt, District 5, [\$4,537,011 total]; Federal 41 %, State 3%, County DPSS 1%, Realignment 55% (Clerk to File Notice of Exemption)

1. Find that the project is exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guideline Section 15301, Existing Facilities exemption, and Section 15061(b)(3), "Common Sense" exemption;
2. Ratify and approve the attached First Amendment to Lease and authorize the Chairman of the Board to execute the same on behalf of the County; and
3. Direct the Clerk of the Board to file the Notice of Exemption with the County Clerk within 5 days of approval by the Board.

ACTION: Policy, CIP

Robert Field, Assistant County Executive Officer/EDA

11/29/2017

Susan Von Zabern, Director of Public Social Services

11/29/2017

MINUTES OF THE BOARD OF SUPERVISORS

On motion of Supervisor Tavaglione, seconded by Supervisor Jeffries and duly carried, IT WAS ORDERED that the above matter is approved as recommended.

Ayes: Jeffries, Tavaglione, Perez and Ashley
Nays: None
Absent: Washington
Date: December 12, 2017
xc: EDA, Recorder

Kecia Harper-Ihem
Clerk of the Board

By:
Deputy

**SUBMITTAL TO THE BOARD OF SUPERVISORS COUNTY OF RIVERSIDE,
STATE OF CALIFORNIA**

FINANCIAL DATA	Current Fiscal Year:	Next Fiscal Year:	Total Cost:	Ongoing Cost
COST	\$ 529,829	\$ 864,941	\$ 4,537,011	\$ 0
NET COUNTY COST	\$ 5,298	\$ 8,649	\$ 45,370	\$ 0
SOURCE OF FUNDS: Federal 41%, State 3%, County DPSS 1% and Realignment 55%			Budget Adjustment:	No
			For Fiscal Year:	2017/18-2022/23

BACKGROUND:

Summary

The Department of Public Social Services (DPSS) currently occupies the Bel Air Plaza building B with their 24-hour Children's Services Division and Self Sufficiency Division through a lease agreement (Lease) that has been in place through the County since 1995. This location continues to meet the requirements of DPSS and this First Amendment to Lease extends the Lease to November 30, 2022, representing a 5-year renewal. During the Lease extension, the Riverside County Probation Department (Probation) will be co-located at this location with DPSS as established by a Memorandum of Understanding between DPSS and Probation.

The terms of the First Amendment to Lease are summarized below:

Lessor:	Bel Air Plaza LTD 9201 Wilshire Blvd. Suite 103 Beverly Hills, CA 90210	
Location:	23119 Cottonwood Avenue, Building B Moreno Valley, CA 92553	
Size:	30,656 sq. ft.	
Rent:	Current rate \$1.98 per sq. ft. \$60,570.89 per mo. \$726,850.68 per year	New rate \$2.09 per sq. ft. \$64,071.04 per mo. \$763,320.23 per year
Term:	Five Years commencing Dec. 1, 2017 and expiring Nov. 30, 2022	
Rental Adjustment:	3% annually	
Tenant Improvements:	Scope of work indicated in Attachment 1 of First Amendment including a contingency not to exceed \$35,000.	

**SUBMITTAL TO THE BOARD OF SUPERVISORS COUNTY OF RIVERSIDE,
STATE OF CALIFORNIA**

RCIT

\$30,092

The Notice of Exemption is included as an Attachment.

The attached First Amendment to Lease has been reviewed and approved by County Counsel as to legal form.

Impact on Citizens and Businesses

The public benefit continues with this location serving clients in the region with children and self-sufficiency services.

SUPPLEMENTAL:

Additional Fiscal Information

See attached Exhibits A, B, & C.

DPSS will budget these costs in FY2017/18 thru FY 2022/23 and will reimburse the Economic Development Agency for all lease costs on a monthly basis. No budget adjustment is necessary at this time.

Contract History and Price Reasonableness

The lease rate is deemed competitive based upon the current market rates for similar space.

Attachments:

- First Amendment to Lease
- Exhibits A, B & C
- Notice of Exemption

RF:HM:VC:VY:YK:ra MV036 19.311 13718
Minute Traq ID 5708


Rahini Dasika, Principal Management Analyst 12/6/2017


Ivan Chand 12/6/2017


Gregory V. Priano, Director County Counsel 11/30/2017

Exhibit A

FY 2017/18

DPSS LEASE Cost Analysis FY 2017/18

23119 Cottonwood Avenue, Building B, Moreno Valley, Ca

ESTIMATED AMOUNTS

Total Square Footage to be Leased:

Current Office:	30,656	SQFT	
Approximate Cost per SQFT (July - Nov)	\$	1.98	
Approximate Cost per SQFT (Dec - Jun)	\$	2.09	
Lease Cost per Month (July - Nov)	\$	60,570.89	
Lease Cost per Month (Dec - Jun)	\$	64,071.04	
Total Lease Cost (July - Nov)	\$	302,854.45	
Total Lease Cost (Dec - Jun)	\$	448,497.28	
Total Estimated Lease Cost for FY 2017/18	\$	751,351.73	

Estimated Additional Costs:

Utility Cost per Square Foot	\$	0.12	
Estimated Utility Costs per Month		\$	3,678.72
Total Estimated Utility Cost		\$	44,144.64
RCIT		\$	30,092.00
EDA Lease Management Fee - 4.92%		\$	36,966.51
Total Estimated Cost for FY 2017/18		\$	862,554.88
Previously Approved Cost for FY 2017/18			\$332,726.23
Amount for FY 2017/18		\$	529,828.64
TOTAL COUNTY COST 1.0% - First Amendment		\$	5,298.29

Exhibit B

FY 2018/19

DPSS LEASE Cost Analysis FY 2017/18

23119 Cottonwood Avenue, Building B, Moreno Valley, CA

ESTIMATED AMOUNTS

Total Square Footage to be Leased:

Current Office	30,656	SQFT	
Approximate Cost per SQFT (July - Nov)	\$	2.09	
Approximate Cost per SQFT (Dec - June)	\$	2.15	
Lease Cost per Month (July - Nov)	\$	64,071.04	
Lease Cost per Month (Dec - June)	\$	65,993.17	
Total Lease Cost (July - Nov)	\$	320,355.20	
Total Lease Cost (Dec - June)	\$	461,952.20	
Total Estimated Lease Cost for FY 2018/19	\$	782,307.40	

Estimated Additional Costs:

Utility Cost per Square Foot	\$	0.12	
Estimated Utility Costs per Month		\$	3,678.72
Total Estimated Utility Cost			\$ 44,144.64
EDA Lease Management Fee - 4.92%			\$ 38,489.52
Total Estimated Cost for FY 2018/19			\$ 864,941.56
TOTAL COUNTY COST 1.0% - First Amendment			\$ 8,649.42

Exhibit C

FY 2019/20 to FY 2022/23

DPSS LEASE Cost Analysis FY 2017/18

23119 Cottonwood Avenue, Building B, Moreno Valley, Ca

ESTIMATED AMOUNTS

Total Square Footage to be Leased:

Current Office 30,656 SQFT

	FY 2019/20	FY 2020/21	FY2021/22 to FY2022/23
Approximate Cost per SQFT (July - Nov)	\$ 2.15	\$ 2.22	
Approximate Cost per SQFT (Dec - June)	\$ 2.22	\$ 2.28	
Lease Cost per Month (July - Nov)	\$ 65,993.17	\$ 67,972.97	\$ 142,124.68
Lease Cost per Month (Dec - June)	\$ 67,972.97	\$ 70,012.16	\$ 72,112.52
Total Lease Cost (July - Nov)	\$ 329,965.86	\$ 339,864.83	\$ 710,623.38
Total Lease Cost (Dec - June)	\$ 475,810.76	\$ 490,085.09	\$ 504,787.64
Total Estimated Lease Cost for FY 2019/20 to FY 2022/23	\$ 805,776.62	\$ 829,949.92	\$ 1,215,411.02

Estimated Additional Costs:

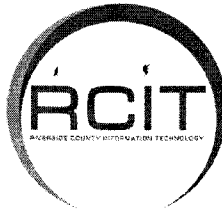
Utility Cost per Square Foot	\$ 0.12	\$ 0.12	\$ 0.12
Estimated Utility Costs per Month	\$ 3,678.72	\$ 3,678.72	\$ 3,678.72
Total Estimated Utility Cost	\$ 44,144.64	\$ 44,144.64	\$ 62,538.24
EDA Lease Management Fee - 4.92%	\$ 39,644.21	\$ 40,833.54	\$ 59,798.22
Total Estimated Cost for FY 2019/20 to FY 2022/23	\$ 889,565.47	\$ 914,928.09	\$ 1,337,747.48
TOTAL COUNTY COST 1.0% - First Amendment	\$ 8,895.65	\$ 9,149.28	\$ 13,377.47

F11: Cost - Total Cost \$ 4,537,011.25

F11: Net County Cost - Total Cost \$ 45,370.11

DAVE ROGERS
Chief Information Officer

JIM SMITH
Chief Technology Officer



LOUIS RAJA ARUL DOSS, ACIO
Enterprise Applications Bureau

PATRICK ELLIANO, ACIO
Converged Communications Bureau

GIL MEJIA, ACIO
Technology Services Bureau

November 22, 2017

To: Yolanda King
From: Mike Corona
Telecommunications Engineer
Subject: In-Principle Form 11 Cost Estimate for DPSS Cottonwood Bldg B AV project.
CC: Lesley Giger

Yolanda,

The following cost estimate is provided for inclusion on the endorsement to the in-Principle Form 11 being submitted to the board for the Department of Public Social Services AV project at 23119 Cottonwood Ave Bldg. B Moreno Valley Ca.

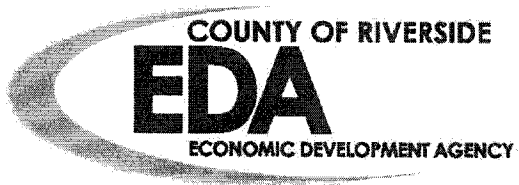
<i>Estimated IT Costs for Cabling Infrastructure, and AV.</i>	<i>\$30,092.00</i>
<i>Total Estimated IT Cost for the In-Principle Form 11:</i>	<i>\$30,092.00</i>

The above cost includes the labor, installation, and materials for a two-room divisible AV system. The system to include 2- projectors, 2- screens, 2- touchpanel displays and all AV switching equipment.

This estimate of costs was prepared by Mike Corona, the assigned RCIT Telecommunications Engineer for this project; please contact the engineer if you have any questions.

Thank you,

Mike Corona
Telecommunication Engineer
3450 Fourteenth Street
Riverside, California 92501
951-955-7712 office



Original Negative Declaration/Notice of Determination was routed to County Clerks for posting on.

12/14/17
Date

VB
Initial

NOTICE OF EXEMPTION

October 31, 2017

Project Name: Department of Public Social Services 1st Amendment to Lease, Moreno Valley, County of Riverside, California.

Project Number: FM042462001300

Project Location: 23119 Cottonwood Avenue, Suite 103, east of Frederick Street, Moreno Valley, California 92553; Assessor's Parcel Number: 296-151-029 (See attached exhibit).

Description of Project: The County of Riverside (County) has been under lease at a Department of Public Social Services (DPSS) facility located at the Bel Air Plaza Building B, 23119 Cottonwood Avenue (Assessor's Parcel Number 296-151-029) in the City of Moreno Valley since 1995. The facility currently provides 24 hour Children's Service Division and Self Sufficiency since 2000 consisting of 30,656 square feet of office space. The County seeks to amend the lease so that the DPSS can continue to utilize the location for 24 hour Children's Service Division and Self Sufficiency. The office space continues to meet the needs of the DPSS and a five-year lease renewal is being presented for approval. The 1st Amendment to the Lease, which includes the extension of the existing lease until November 30, 2022 and minor tenant improvements is identified as the proposed Project under the California Environmental Quality Act (CEQA). The operation of the DPSS facility will continue to provide County services and no expansion of the existing use would occur. No additional direct or indirect physical environmental impacts are anticipated.

Name of Public Agency Approving Project: County of Riverside, Economic Development Agency

Name of Person or Agency Carrying Out Project: County of Riverside, Economic Development Agency; Bel Air Plaza Ltd

Exempt Status: State CEQA Guidelines, Section 15301, Class 1, Existing Facilities Exemption; Section 15061(b) (3), General Rule or "Common Sense" Exemption, Codified under Title 14, Articles 5 and 19, Sections 15061 and 15300 to 15301.

Reasons Why Project is Exempt: The proposed Project is categorically exempt from the provisions of CEQA specifically by the State CEQA Guidelines as identified below. The Project will not result in any specific or general exceptions to the use of the categorical exemption as detailed under State CEQA Guidelines Section 15300.2. The Project will not cause an impact to an environmental resource of hazardous or critical concern nor would the Project include a reasonable possibility of having a significant effect on the environment due to unusual circumstances. The Project would not result in impacts to scenic highways, hazardous waste sites, historic resources, or other sensitive natural environments, or have a cumulative effect to the environment. No significant environmental impacts are anticipated to occur with the 1st Amendment to the Lease Agreement.

- **Section 15301 – Class 1 Existing Facilities Exemption:** This categorical exemption includes the operation, repair, maintenance, leasing, or minor alteration of existing public or private structures or facilities, provided the exemption only involves negligible or no expansion of the previous site's use. The Project, as proposed, is limited to 5-year extension of term and minor tenant improvements for an existing Lease Agreement. Minor tenant improvements are interior and include the removal and replacement of window blinds, restroom upgrades, plumbing repairs and modifications, programmable thermostats, lighting, and audiovisual upgrades, HVAC modifications, new carpet and tile, removal of wallpaper and new paint, repairs and replacement of certain doors, and the merging of Room 102, 103, and 104 into one room and Rooms 107 and 108. The 1st Amendment to the Lease Agreement would not result in a change of use or require any expansion of public services and facilities; therefore, the Project is exempt as the Project meets the scope and intent of the Class 1 Exemption identified in Section 15301, Article 19, Categorical Exemptions of the CEQA Guidelines.
- **Section 15061 (b) (3) – “Common Sense” Exemption:** In accordance with CEQA, the use of the Common Sense Exemption is based on the “general rule that CEQA applies only to projects which have the potential for causing a significant effect on the environment.” State CEQA Guidelines, Section 15061(b) (3). The use of this exemption is appropriate if “it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment.” *Ibid*. This determination is an issue of fact and if sufficient evidence exists in the record that the activity cannot have a significant effect on the environment, then the exemption applies and no further evaluation under CEQA is required. See *No Oil, Inc. v. City of Los Angeles* (1974) 13 Cal. 3d 68. The ruling in this case stated that if a project falls within a category exempt by administrative regulation or 'it can be seen with certainty that the activity in question will not have a significant effect on the environment', no further agency evaluation is required. With certainty, there is no possibility that the Project may have a significant effect on the environment. The 1st Amendment to the Lease Agreement will not result in any direct or indirect physical environmental impacts. The use and operation of the facility will be consistent with the existing use and will not create any new environmental impacts to the surrounding area. No alterations and no impacts beyond the ongoing, existing use of the site would occur. Therefore, in no way, would the Project as proposed have the potential to cause a significant environmental impact and the Project is exempt from further CEQA analysis.

Based upon the identified exemption above, the County of Riverside, Economic Development Agency hereby concludes that no physical environmental impacts are anticipated to occur and the project as proposed is exempt under CEQA. No further environmental analysis is warranted.

Signed:  Date: 10/31/17

Mike Sullivan, Senior Environmental Planner
County of Riverside, Economic Development Agency

RIVERSIDE COUNTY CLERK & RECORDER

**AUTHORIZATION
TO BILL
BY JOURNAL VOUCHER**

Project Name: DPPS 1st Amendment to Lease, Moreno Valley

Accounting String: 524830-47220-7200400000 - FM042462001300

DATE: October 31, 2017

AGENCY: Riverside County Economic Development Agency

THIS AUTHORIZES THE COUNTY CLERK & RECORDER TO BILL FOR FILING AND HANDLING FEES FOR THE ACCOMPANYING DOCUMENT(S).

NUMBER OF DOCUMENTS INCLUDED: One (1)

AUTHORIZED BY: Mike Sullivan, Senior Environmental Planner, Economic Development Agency

Signature: 

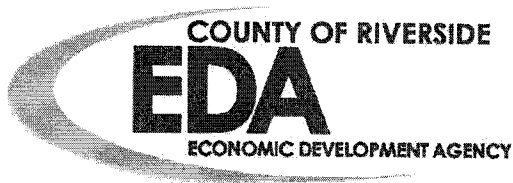
PRESENTED BY: Yolanda King, Real Property Agent II, Economic Development Agency

-TO BE FILLED IN BY COUNTY CLERK-

ACCEPTED BY: -

DATE: -

RECEIPT # (S) -



Date: October 31, 2017

To: Mary Ann Meyer, Office of the County Clerk

From: Mike Sullivan, Senior Environmental Planner, Project Management Office

Subject: **County of Riverside Economic Development Agency Project # FM042462001300**
DPPS 1st Amendment to Lease, Moreno Valley

The Riverside County's Economic Development Agency's Project Management Office is requesting that you post the attached Notice of Exemption. Attached you will find an authorization to bill by journal voucher for your posting fee.

After posting, please return the document to:

Mail Stop #1330

Attention: Mike Sullivan, Senior Environmental Planner,

Economic Development Agency,

3403 10th Street, Suite 400, Riverside, CA 92501

If you have any questions, please contact Mike Sullivan at 955-8009.

Attachment

cc: file

FIRST AMENDMENT TO LEASE
23119 Cottonwood #B, Moreno Valley

THIS FIRST AMENDMENT TO LEASE ("First Amendment"), dated as of December 12, 2017, is entered into by and between the County of Riverside, a political subdivision of the State of California, ("County"), and **BEL AIR PLAZA, LTD**, a California limited partnership, ("Lessor") sometimes collectively referred to as the "Parties".

RECITALS

A. Lessor and County entered into that certain Lease dated December 11, 2012, ("Original Lease"), pursuant to which Lessor has agreed to lease to County and County has agreed to lease from Lessor approximately 30,656 square feet of office space in Building B located at 23119 Cottonwood Avenue, Moreno Valley, as more particularly described in the Original Lease.

B. The Original Lease together with this First Amendment are collectively referred to herein as the "Lease".

C. The Parties now desire to amend the Original Lease to extend the term, increase the rent, and complete tenant improvements.

NOW THEREFORE, for good and valuable consideration the receipt and adequacy of which is hereby acknowledged, the Parties agree as follows:

1. **TERM.** Section 4.1 of the Original Lease shall be amended by the following: The term of this Lease shall be extended for a period of five (5) years commencing on December 1, 2017 and terminating on November 30, 2022.
2. **RENT.** Section 5.1 of the Original Lease shall be amended by the following: County shall pay the sum of Sixty Four Thousand Seventy One Dollars and Four Cents (\$64,071.04) per month to Lessor as rent for the Leased Premises for the period of December 1, 2017 to November 30, 2018.
3. **PERCENTAGE INCREASE.** Section 5.2. of the Original Lease shall be amended by the following: Monthly rent shall be increased on each anniversary of the Lease by an amount equal to three percent (3%) of such monthly rental.
4. **IMPROVEMENTS BY LESSOR.** Section 11.1 of the Original Lease shall be amended by adding the following Sub-Section 11.1.10:

DEC 12 2017 3:10

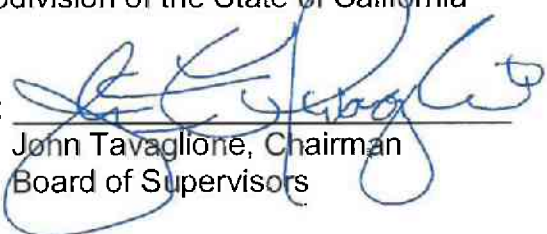
11.1.10 Lessor at its sole cost and expense shall complete tenant improvements as outlined on Exhibit H attached hereto and incorporated herein by reference by May 15, 2018. Lessor shall also provide a contingency in the amount of thirty five thousand dollars (\$35,000.00) for additional items which may be requested by County during the completion of such tenant improvements. Said improvements shall be undertaken according to Exhibit I, Standard Materials and Finishes Guide, and shall be subject to the supervision and direction of County.

5. EXHIBITS. The Original Lease is hereby amended by adding Exhibit H, attached to this First Amendment as Attachment 1 and Exhibit I attached to this First Amendment as Attachment 2.
6. CAPITALIZED TERMS/AMENDMENT TO PREVAIL. Unless defined herein or the context requires otherwise, all capitalized terms herein shall have the meaning defined in the Original Lease, as heretofore amended. The provisions of this First Amendment shall prevail over any inconsistency or conflicting provisions of the Original Lease and shall supplement the remaining provisions thereof.
7. MISCELLANEOUS. Except as amended or modified herein, all terms of the Original Lease shall remain in full force and effect. Time is of the essence in this First Amendment and the Original Lease and each and all of their respective provisions. Subject to the provisions of the Original Lease as to assignment, the agreements, conditions and provisions herein contained shall apply to and bind the heirs, executors, administrators, successors and assigns of the Parties hereto. If any provisions of this First Amendment shall be determined to be illegal or unenforceable, such determination shall not affect any other provision of the Lease. Neither this First Amendment nor the Original Lease shall be recorded by the County.
8. EFFECTIVE DATE. This First Amendment to Lease shall not be binding or consummated until its approval by the Riverside County Board of Supervisors and fully executed by the Parties.


[Signatures on following page]

IN WITNESS WHEREOF, the Parties have executed this First Amendment to Lease as of the date first written above.

COUNTY OF RIVERSIDE, a political subdivision of the State of California

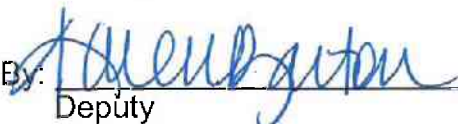
By: 
John Tavaglione, Chairman
Board of Supervisors

BEL AIR PLAZA LTD, a California limited partnership

By: 
Mark Rubin
General Partner

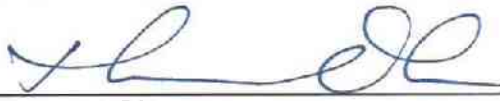
ATTEST:

Kecia Harper-Ihem, Clerk of the Board

By: 
Deputy

APPROVED AS TO FORM:

Gregory P. Priamos, County Counsel

By: 
Thomas Oh
Deputy County Counsel

ATTACHMENT 1

[attached on following page]

Exhibit H

Tenant Improvements

Downstairs—First Phase - To be completed by April 1, 2018

Remove and replace vertical combo window blinds with Graber 3% solar thermal window blinds with blackout blinds attached.

Install programmable thermostats

Rezone HVAC zones inconsistently cold and hot areas.

Install LED Lighting throughout the entire first floor including all work areas.

Install New carpet in all staff areas, interview/holding rooms, offices, reception, conference rooms.

Install LVT (luxury vinyl tile) in elevator hallway, corridor 106, elevator, public lobby, breakroom, and copy room.

Remove all wallpaper, refinish walls and paint all areas on 1st floor.

Breakroom 134 - Replace flooring, cabinets, counters and fixtures, new microwave mounted under cabinets and 1 refrigerator

Repair hole near sprinkler in closet under stairwell and replace carpet with LVT.

Conference Room 136 - Remove wallpaper and paint

Purchase and install two 48" TVs: one each in rooms 110 and 109 with built-in DVD players and installation of a duplex for each.

Remove/Demo communication wall between Interview 108 and Interview 107 so the two rooms become one room

Remove door to Interview Room 107 and add drywall, removing entrance. Interview room 107 and Interview room 108 will become one supply room.

Change door swing on Interview room 108 so that the door swings out of the room.

Fix and repair all door frames and doors. All doors must secure fully and have all requisite hardware/guards.

Remove/Demo walls and merge Room 102, large training room 103 and small training room 104 into one large room. The training rooms shall be divided by a Hufcor Series 600 pair panel participation divider. Each side of the room will be equipped with:

- 1 Panasonic FT-FW430 LCD Projector
- 1 10'W Advantage Electrol 120V ceiling mounted projection screen
- Audio Speakers on each side of the room
- 1 Extron controller and touch key panel that will control the audio/visual equipment in both rooms independently and collectively and AV Cabinet that will hold controller – (RCIT)
- Card readers at DPSS expense

Room 103 entrance will be relocated to a location approved by County to provide maximum usability of the room.

Room 103 will have a new emergency external exit only door installed.

** Install card readers to elevator will require new travel cable to be installed at DPSS expense.

New updated security system with IE Alarms at DPSS expense.

Upstairs-Second Phase – to be completed by May 1, 2018

Remove and replace vertical window blinds with Graber 3% solar thermal combo window blinds with blackout blinds attached.

Install programmable thermostats- one for day and one for night.

Rezone HVAC zones as indicated in Exhibit I of Lease. There are many inconsistently cold and hot areas, each conference room and breakroom should have its own zone.

Breakroom 227- replace new tile grout and door closer

All Restrooms- Replace all fixtures, toilets, sinks, lighting, and dispensers and improve air circulation with new exhaust fans, assess plumbing and repair where necessary

Children's Restroom 220 - replace drain and toilet, remove tile floor and install LVT.

Install DPSS standard water fountain across hall from electric room

Refinish and carpet hallway between men's restroom and main stairwell in both directions. The hallway is uneven with dips and mushy areas.

Remove painted wallpaper from hallway walls; resurface hallway walls and paint.

** Install wall and door at top of stairs to upstairs to secure the area (** Pending DPSS Executive Management approval)

ATTACHMENT 2

[attached on following page]



County of Riverside
Department of Public Social Services

STANDARD MATERIALS AND FINISHES GUIDE

Cottonwood, Bldg. B1
Revised 11/02/2017

Prepared by
DPSS Facilities Planning & Support

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DPSS Standard Interior Finishes List

Item/Specification	Location	Contact
WALLS		
Paint		
Manf: Dunn Edwards/Suprema Finish: Eggshell	Accent Walls & General Area	
Manf: Dunn Edwards/Suprema Finish: Semi-Gloss	Restrooms	
Manf: Dunn Edwards/Suprema Finish: Eggshell	Offices, Storage Room, Comm Room	
Manf: Dunn Edwards/Suprema Finish: Eggshell	SFIS and DMV Background	
Corner Guard		
Manf: In Pro Corp. Style: 160 Series High Impact Size: 2" Thick	General	www.inprocorp.com 800.222.5556
FLOORING		
Carpet		
Manf: Shaw Style: Transparent 59563 Type: Tile/Color 62755 Pottery Layout: Random or Monolithic		Russell Kitchens 951.830.8716
Manf: Shaw Style: Emotion Tile 59343 Type: Tile Layout: Monolithic		Russell Kitchens 951.830.8716
Manf: Shaw Style: Glaze 59562 Type: Tile Layout: ¼ Turn		Russell Kitchens 951.830.8716
Manf: Shaw Style: Portal Tile 5T035 Type: Walk Off Tile Layout: Monolithic	Lobby & Employee Entrance	Russell Kitchens 951.830.8716
Rubber Base		
Manf: Burke Flooring Style: Burke Base-1/8" Cove Size: 4"H	General	
Vinyl Composition Tile		
Manf: Armstrong Style: Excelon Stonetex Size: 12x12	Break Room, Storage Room	Continential Flooring Rick Bickler 800.825.1221 x206
Manf: Shaw Style: Transparent 59563 Type: Tile Layout: Random or Monolithic		

Item/Specification	Location	Contact
Porcelain Tile Floor		
Manf: Daltile Style: City View Size: 18x18 or 12 x 24	Lobby	Katie Brassieur 909.851.6510
Item: Grout Manf: Custom Building Products Style: Polyblend Grout Colors Color: 52Tobacco		Katie Brassieur 909.851.6510
EVT Tile Floor		
Manf: Shaw Contract Stratum Style: Stratum 500 023UV Type: Tile/ 00506 Wimena Pine Layout: Random or Monolithic		Russell Kitchens 951.830.8716
RESTROOM		
Ceramic Tile Wall		
Manf: Daltile Style: Modern Dimensions Size: 4.5" x 8.5"	Border, Accent, Restroom Wall Tile 5' high from floor	Katie Brassieur 909.851.6510
Item: Grout Manf: Custom Building Products Style: Polyblend Grout Colors	Restroom Wall Tile Grout	
FRP		
Manf: Panolam Style: Classic Collection Finish: Ivory, Almond, or Beige	Public Restroom	866.925.4377
Porcelain Tile		
Manf: Daltile Style: City View Grout: 185 New Taupe Size: 12 x 12	Public & Employee Restroom Floor Tile	Katie Brassieur 909.851.6510 CMAS Contract #4-00-56-0005A
Stall Partitions		
Manf: Global Partitions Style: Solid Plastic Color: HDPE Black Finish: 9205 Pebble Grained	Public Restroom	706-827-2700
Manf: Global Partitions Style: Solid Plastic Color: 5445 Almond Finish: 7285-58 Violin Figured Annigre	Employee Restroom	706-827-2700
COUNTERTOPS & CABINETS		
Plastic Laminate		
Item: Countertop Manf: Formica	Office Area	Debra Morimoto 562.897.2087
Item: Countertop Manf: Formica Solid Surface	Restroom and Break Room	Debra Morimoto 562.897.2087
Item: Cabinets Manf: Formica	Cabinet Face for Office Area and Breakroom	Debra Morimoto 562.897.2087

WINDOW COVERINGS		
Solar Shades		
Manf: Graber Style: Sheerweave 4400 or 2410 Color: Oyster/White/Beige Size: 3% Density, 1% Training Rm		
Item/Specification	Location	Contact
CEILING		
Acoustical Ceiling Tile		
Manf: Armstrong Commercial Ceiling Style: #2712 Dune Second Look 15/16" Angled Tegular Color: White Size: 24x48 Grid: Prelude XL 15/16" White	General Area	Continential Flooring Rick Bickler 800.825.1221 x206 CMAS Contract #4-00-56-0005A
DOOR		
Door Frame		
Manf: TIMELY Prefinished Steel Style: Standard Color: Browntone SC101		
Door Panel		
Manf: Haley Architectural Doors Cut: Rotary Finish: Haley Gold Specie: Birch Color: Monarch		714.670.2112
HARDWARE		
Manf: Haley Architectural Doors Cut: Rotary Finish: Haley Gold Specie: Birch Color: Monarch		714.670.2112
GLASS		
Manf: Viracon Style: 1"VUE4-30/Bronze Insulating HS/HS ¼' (6mm) Bronze HS VUE-30#2 ½" (13x2 mm) airspace-Black ¼" (6 mm) Bronze HS		Viracon rhoffman@viracon.com
WALL PARTITIONS		
Manf: Hufcor Type: Highland Pattern Color: 44-218 Coffee Cream Trim: Brown Board: ProSteel Markerboard #413 Almond		

**County of Riverside DPSS
Key, Lock & Hardware Standards and Requirements for New and upgraded Facilities**

Revised 06/15/2017

Manufacturer's Abbreviations
1. MK - McKinney
2. RO - Rockwood
3. YA - Yale
4. SC - Schlage
5. RF - Rixson
6. NO - Norton
7. PE - Pemko
8. 00 - Other

- On all locksets for all doors** - Contractor will provide new 6-Pin Schlage Classic "C" keyway Interchangeable cylinders (IC) large format construction cylinders with number 1 biting's during the project. The construction cores will stay with the building and DPSS facilities will rekey the building.
- All SUPERVISORS' Offices** will be fitted with YALE™ Grade 1 passage function lever with 626 finish, **Model #AU5401 LN**.

Quantity	Item	Model Number	Finish	Manufacturer
3	Hinge	TA2714 4-1/2" x 4-1/2"	US26D	MK
1	Passage lock Set	AU 5401LN	626	YA
1	Wall Stop	406	US32D	RO

- All Communications Rooms require a card reader.** Contractor will provide all doors and lock hardware (**YALE™ Grade 1 Electrified Cylindrical Lock - Model # SI AU 5491LN**). Contractor will provide a 3/16" core from the location center hinge of the door through the door to the location of the lock hardware. (Wiring and proximity reader will be supplied by security vendor)

Quantity	Item	Model Number	Finish	Manuf.
2	Hinge	TA2714 CC 4-1/2" x 4-1/2"	US26D	MK
1	Hinge	TA2714 4-1/2" x 4-1/2"	US26D	MK
1	Electrified Cylindrical Lock	SI AU 5491LN	626	YA
1	Construction Core	23-030-ICX C		SC
1	Door Closer	7500 BF	689	NO
1	Wall Stop	406	US32D	RO
1	Gasketing	S88D		PE
1	Auto Drop Seal	434 APKL		PE

All Employee Entrances from the exterior of the building require a card reader. Contractor will provide all doors and lock hardware (**YALE™ Grade 1 Exit Device Trim – Model # SI- AU691**). Contractor will provide a 3/16" core from the location center hinge of the door through the door to the location of the lock hardware. (Wiring and proximity reader will be supplied by security vendor).

Quantity	Item	Model Number	Finish	Manuf.
2	Hinge	TA2714 NRP 4-1/2" x 4-1/2"	US26D	MK
1	Hinge	TA2714 CC 4-1/2" x 4-1/2"	US26D	MK
1	Exit Device rim	SI - 7150 ECK1	630	YA
1	Exit Device Trim	SI- AU691F	626	YA
1	Construction Core	23-030-ICX C		SC
1	Door Closer	7500 BF	689	NO
1	Threshold	Per Sill Detail		PE
1	Rain Guard	346C (Omit @ overhang)		PE
1	Sweep	18062CNB		PE

4. **Employee Entrances from Public Areas (lobbies & interview rooms, monitoring rooms) to work areas require a card reader.** Contractor will provide all doors and lock hardware (**YALE™ Grade 1 Electrified Storeroom Lock – Model # SI AU 5491LN**). Contractor will provide a 3/16" core from the location center hinge of the door through the door to the location of the lever set. (Wiring and proximity reader will be supplied by security vendor)

Quantity	Item	Model Number	Finish	Manuf.
1	Hinge	TA2714 CC 4-1/2" x 4-1/2"	US26D	MK
2	Hinge	TA2714 4-1/2" x 4-1/2"	US26D	MK
1	Electrified Storeroom Lock	SI AU 5491LN	626	YA
1	Construction Core	23-030-ICX C		SC
1	Door Closer	7500 BF	689	NO
1	Wall Stop	406	US32D	RO

5. **All Automatic Exterior Gates for Vehicle Storage and Employee Parking require a card reader.** Contractor will provide 1 inch conduit and stanchion for a 4X4 card reader. (Wiring and proximity reader will be supplied by security vendor)

6. **Pedestrian Gates require a Card Reader** Contractor will provide a **HES 9700 Electrified Strike Fail Secure 24VAC/DC** with a **Yale 7150 Square Bolt Exit Device**. This will also require a **SureClose Hydraulic Gate Closer & Hinge**.

Quantity	Item	Model Number	Finish	Manufacturer
1	Electrified strike	9700-24	630	HES
1	Exit Device rim	SI - 7150 ECK1	630	YA
1	IC Rim Cylinder housing	20-757	626	Schlage
Quantity amount depending size of gate	Heavy-Duty Hydraulic closer-hinge w/final snap action	75108224 108SF AT90 W		D&D Technologies

7. **All storerooms, supplies rooms, lock-ups, janitorial closets, electrical rooms, observation rooms and exterior doors NOT requiring panic hardware,** Contractor will provide a **YALE™ Grade 1 storeroom** function lever with 626 finish. **Model #SI-AU5405**

Quantity	Item	Model Number	Finish	Manufacturer
3	Hinge	TA2714 4-1/2" x 4-1/2"	US26D	MK
1	Storeroom Lock	SI AU 5405LN	626	YA
1	Construction Core	23-030-ICX C		SC
1	Wall Stop	406	US32D	RO

8. **All electric/utility rooms**

- a). Door that leads from electrical room/utility room into the work-area contractor will provide a **YALE™ Grade 1 Exit Device Rim -Model # SI-7150 ECK1** with 626 finish and accompanied with the **McKinney™** with **exit device trim model # SI-AU691F-626** concealed electrified hinge Model# TA 2714 CC 4.5 X 4.5 626.

Quantity	Item	Model Number	Finish	Manuf.
2	Hinge	TA2714 NRP 4-1/2" x 4-1/2"	US26D	MK
1	Hinge	TA2714 CC 4-1/2" x 4-1/2"	US26D	MK
1	Exit Device Rim	SI- 7150-ECK1	630	YA
1	Exit Device Trim	SI-AU691F	626	YA
1	Construction Core	23-030-ICX C		SC
1	Door Closer	7500 BF	689	NO
1	Kick Plate	K1050 10" high BE CSK	US32D	RO
1	Wall Stop	406	US32D	RO
1	Gasketing	S88D		PE

b). Door that leads from exterior to electrical room/utility room contractor will provide a **YALE™ Grade 1 Exit Device Rim -Model # SI-7150 ECK1** with 626 finish and accompanied with the **McKinney™** with **exit device trim model # SI-AU691F-626** concealed electrified hinge Model# TA 2714 CC 4.5 X 4.5 626.

Quantity	Item	Model Number	Finish	Manuf.
3	Hinge	TA2714 NRP 4-1/2" x 4-1/2"	US26D	MK
1	Exit Device Rim Storeroom	SI- 7150 AU626F ECK1	630	YA
1	Exit Device Trim	SI-AU691F	626	YA
1	Construction Core	23-030-ICX C		SC
1	Door Closer	7500 BF	689	NO
1	Kick Plate	K1050 10" high BE CSK	US32D	RO
1	Wall Stop	406	US32D	RO

9. **All classrooms, conference rooms, training rooms, family rooms, and interview rooms** Contractor will provide a **YALE™ Grade 1 classroom** function lever with 626 finish. **Model #SI-AU5408**

Quantity	Item	Model Number	Finish	Manufacturer
3	Hinge	TA2714 NRP 4-1/2" x 4-1/2"	US26D	MK
1	Classroom Lock	SI AU 5408LN	626	YA
1	Construction Core	23-030-ICX C		SC
1	Wall Stop	406	US32D	RO

10. **All MANAGERS' offices** Contractor will provide a **YALE™ Grade 1 entry** function lever with 626 finish. **Model #SI-AU5407**

Quantity	Item	Model Number	Finish	Manufacturer
3	Hinge	TA2714 4-1/2" x 4-1/2"	US26D	MK
1	Entry Lock	SI AU 5407LN	626	YA
1	Construction Core	23-030-ICX C		SC
1	Wall Stop	406	US32D	RO

11. **All interior doors that require panic hardware (non-electrified)** Contractor will provide a **YALE™ Grade 1 "Square Bolt"** panic hardware, 626 finish and a roller strike. **Model #7150 AU626F ECK1**

Quantity	Item	Model Number	Finish	Manufacturer
3	Hinge	TA2714 NRP 4-1/2" x 4-1/2"	US26D	MK
1	Exit Device (rim, classroom)	SI- 7150 AU626F ECK1	630	YA
1	Construction Core	23-030-ICX C		SC
1	Door Closer	7500 BF	689	NO
1	Kick Plate	K1050 10" high BE CSK	US32D	RO
1	Wall Stop	406	US32D	RO

12. **All restrooms (Public and staff)** Contractor will provide a push/pull functions door handles; 626 finish.

Quantity	Item	Model Number	Finish	Manufacturer
3	Hinge	TA2714 4-1/2" x 4-1/2"	US26D	MK
1	Pull Plate	110x70C	US32D	RO
1	Push Plate	70F	US32D	RO
1	Door Closer	7500 BF	689	NO
1	Kick Plate	K1050 10" high BE CSK	US32D	RO
1	Mop Plate	K1050 6" high BE CSK	US32D	RO
1	Wall Stop	406	US32D	RO

13. **All restrooms with a "single fixture"** Contractor will provide a YALE™ Grade 1 privacy function lever with 626 finish. **Model #AU5402 LN**

Quantity	Item	Model Number	Finish	Manufacturer
1	Privacy lock set	AU5402 LN	626	YA
3	Hinge	TA2714 4-1/2" x 4-1/2"	US26D	MK
1	Wall Stop	406	US32D	RO
1	Kick Plate	K1050 10" high BE CSK	US32D	RO

14. **Emergency exits with panic hardware** should be "**one way/exit only/no entry**" (**automatically lock on exit**) (Yale Model #7150EO, 626 finish).

Quantity	Item	Model Number	Finish	Manufacturer
3	Hinge	TA2714 NRP 4-1/2" x 4-1/2"	US26D	MK
1	Exit Device Exit only	7150 ECK1	630	YA
1	Door Closer	7500 BF	689	NO
1	Wall Stop	406	US32D	RO
1	Gasketing	2891APK		PE
1	Rain Guard	346C (Omit @ overhang)		PE
1	Sweep	18062CNB		PE
3	Threshold	Per Sill Detail		

15. **Security Room** Contractor will provide a **YALE™ Grade 1 storeroom** function **"electrified"** lock hardware- **Model # SI-AU5491 (Fail Secure 24 volt DC power)** with 626 finish and accompanied with the **McKinney™** concealed electrified hinge Model# TA 2714 CC 4.5 X 4.5 626. Provide a 3/16" core from the location center hinge of the door through the door to the location of the lever set.

Quantity	Item	Model Number	Finish	Manuf.
2	Hinge	TA2714 CC 4-1/2" x 4-1/2"	US26D	MK
1	Hinge	TA2714 4-1/2" x 4-1/2"	US26D	MK
1	Electrified Cylindrical Lock	SI AU 5491LN	626	YA
1	Construction Core	23-030-ICX C		SC
1	Door Closer	7500 BF	689	NO
1	Wall Stop	406	US32D	RO

16. **All Live Scan rooms** Depending on the set-up of the Live Scan room there could be multiple card reader entrances. a). Access from the lobby into the live scan room and/or b) from the work area into the Live Scan room and from the Live Scan into the Work area. Contractor will provide a 3/16" core from the location center hinge of the door through the door to the location of the lever set.

- a). The door leading from the lobby into the live scan room will have a **YALE™ Grade 1 storeroom** function **"electrified"** lever, Model #SI-AU5491 (Fail Secure 24 volt DC power) with 626 finish and accompanied with the **McKinney™** concealed electrified hinge Model# TA 2714 CC 4.5 X 4.5 626.

Quantity	Item	Model Number	Finish	Manuf.
2	Hinge	TA2714 CC 4-1/2" x 4-1/2"	US26D	MK
1	Hinge	TA2714 4-1/2" x 4-1/2"	US26D	MK
1	Electrified Cylindrical Lock	SI AU 5491LN	626	YA
1	Construction Core	23-030-ICX C		SC
1	Door Closer	7500 BF	689	NO
1	Wall Stop	406	US32D	RO

- b). The door leading from the live scan room b) into the work area will have a **YALE™ Grade 1 "Electrified" Mortise Communication lock**, Model #SI-AUR8895-2 (Fail Secure 24 DC power) with 626 finish accompanied with the **McKinney™** concealed electrified hinge Model# TA 2714 CC 4.5 X 4.5 626

Quantity	Item	Model Number	Finish	Manuf.
2	Hinge	TA2714 CC 4-1/2" x 4-1/2"	US26D	MK
1	Hinge	TA2714 4-1/2" x 4-1/2"	US26D	MK
1	Mortise Comm. Lock	SI-AUR8895-2	626	YA
2	Construction Core	23-030-ICX C		SC
1	Door Closer	7500 BF	689	NO
1	Wall Stop	406	US32D	RO

Flag Pole Standards

Internal Rope Halyard Cam-Action Cleat Flagpoles

Cam-Action Aluminum Flagpoles feature a jam-cleat mounted inside the flagpole shaft behind a key-accessible locking door. This system employs a traditional braided multi-filament rope instead of the stainless steel cable and winch, thereby providing flag and halyard security with economy. Flag pole must have lighting 24/7.

Exposed Height Feet	Shaft Base Inches	Diameter Top Inches	Wall Thickness Inches	Unflagged Windspeed mph	Standard Flag Size Feet	Flagged Windspeed mph	I.P.I Model #
30	5	3	0.156	126	6x10	95	IPI•RCC30050156
30	6	3.5	0.156	195	6x10	120	IPI•RCC30060156
30	6	3.5	0.188	222	6x10	120+	IPI•RCC30060188
30	6	3.5	0.250	259	6x10	120+	IPI•RCC30060250



ACCESSORIES:

- *Anodized Ball
- *Fixed Truck up to 35 ft.
- Revolving Truck 40+ ft.
- *Polyester Halyard
- *Flag Clips
- Cam Cleat
- Beaded Retaining Ring
- Counterweight
- Flush Door w/Keyed Lock
- Spun Flash Collar

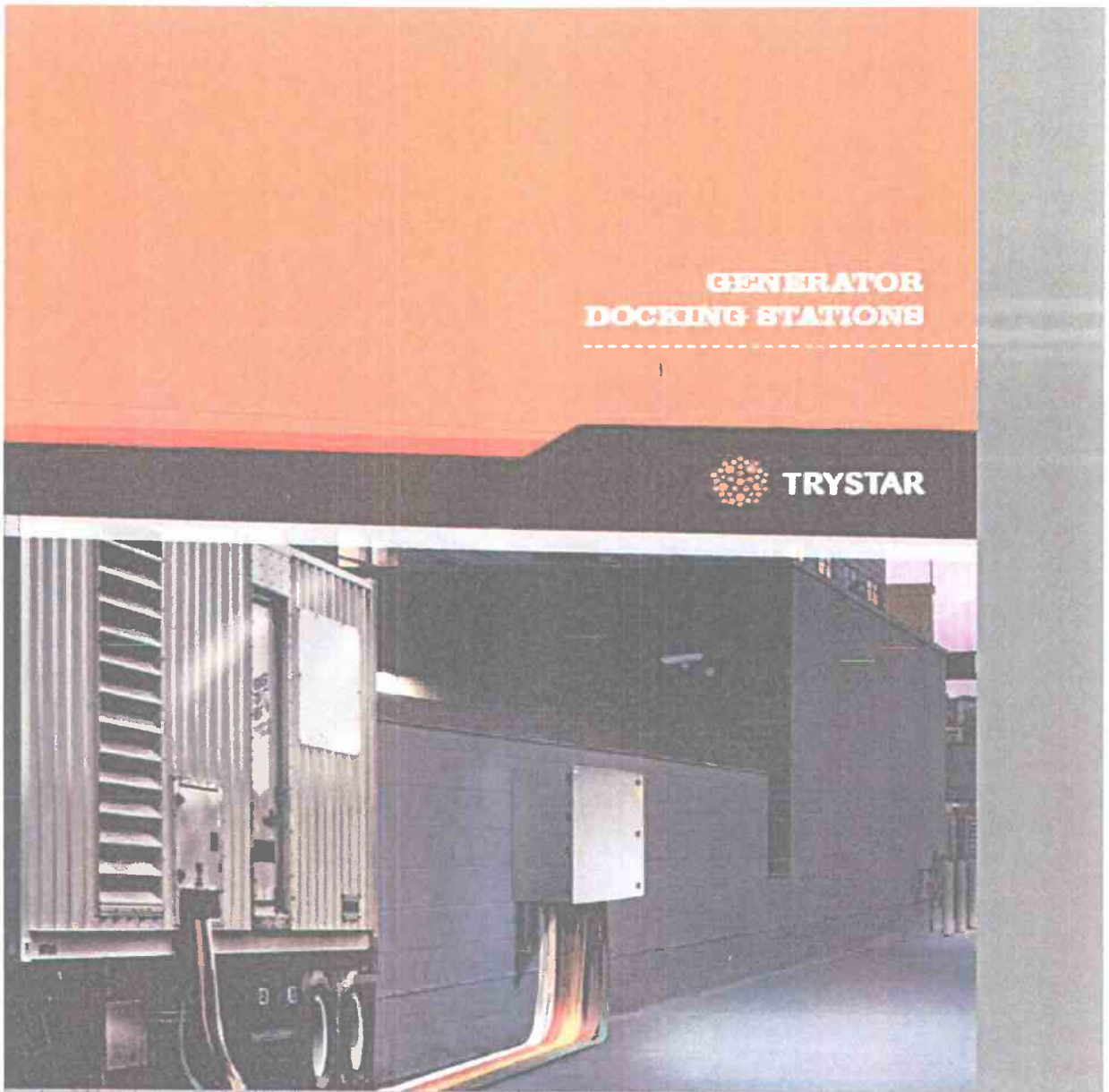
OPTIONS:

- Eagle
- Shoebase Mount
- Hinged Base

Contact Info:

Interstate Pole Industries
P.O. Box 41829
Santa Barbara, CA 93140
800-832-7707

Generator Docking Stations

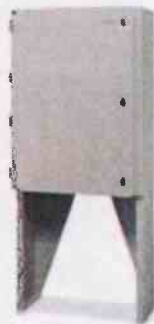


TRYPSTAR® GENERATOR DOCKING STATION UP TO 4000A

Part #GDS-205W-LM
(pictured)

DESCRIPTION

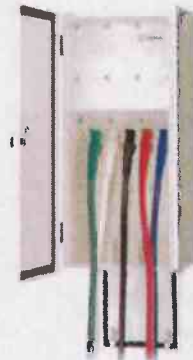
- Available for 100A to 4000A service
- Powder coated aluminum or stainless steel construction
- Docking stations accommodate any style inlet or receptacle
- Lockable rake system reduces cable theft & cable disconnection
- Cam style inputs and/or outputs or other
- UL and C-UL 50 listed enclosure, NEMA 3R
- Provides safe and easy cam connections to transfer switches



Optional leg kit



1200A output panel



400A docking station

TRYPSTAR[®] GENERATOR DOCKING STATION WITH LOCKING BLOCK Up to 4000A

Part #GDS-405W-LM-K2
(pictured lower left)

Part #GDS-045W-SM-K1
(pictured center and lower right)

DESCRIPTION

- Available for 100A to 4000A service
- Patented locking block incorporated into a standard Trystar GDS
- Kirk Key can be installed into a facility's new or existing main breaker
- Only the provided key will open Trystar's GDS with locking block
- The key is captive and is only released by disconnecting the main breaker
- Key releases only when doors of GDS are closed and locked
- Both doors will close only if the cable is not connected to the GDS
- The facility's main breaker is used to lock out and transfer power from utility to generator
- UL and C-UL 50 listed enclosure, NEMA 3R



Model MMG 175



Mobile Generator Specifications

Model	MMG 120	MMG 130	MMG 160	MMG 175	MMG 185
Output					
3 Phase - Standby (kW/kVA)	102 / 127	107 / 134	127 / 160	153 / 191	177 / 221
Amps (480/208 V)	153 / 355	161 / 372	181 / 441	230 / 530	266 / 613
3 Phase - Prime (kW/kVA)	93 / 113	98 / 122	118 / 148	138 / 172	162 / 202
Amps (480/208 V)	147 / 339	149 / 339	171 / 402	207 / 477	243 / 561
1 Phase - Standby (kW/kVA)	91 / 91	96 / 96	114 / 114	126 / 126	151 / 151
Amps (240V)	379	400	475	551	629
1 Phase - Prime (kW/kVA)	85 / 85	90 / 90	106 / 106	120 / 120	137 / 137
Amps	351	375	442	500	571
AC Voltage 1-phase	120, 139, 208, 270, 240, 277		120, 139, 208, 220, 210, 277	120, 139, 208, 220, 240, 277	
AC Voltage 3-phase	208, 270, 440, 480		208, 220, 440, 480	208, 220, 440, 480	
Frequency Hz	60	60	60	60	60
Power Factor	1 (10), 0.8 (30)	1 (10), 0.8 (30)	1 (10), 0.8 (30)	1 (10), 0.8 (30)	1 (10), 0.8 (30)
Generator (Brand/Type/Insulation)	Marathon/Brushless/H	Marathon/Brushless/H	Marathon/Brushless/H	Marathon/Brushless/H	Marathon/Brushless/H
Sound (dB(A) 23 Feet @ prime)	68	68	68	68	68
CSA Listed	Yes	Pending	Yes	Yes	Pending
Size and Weight					
Skid Mounted (l x w x h) in	132 x 50 x 77	144 x 50 x 77	132 x 50 x 77	144 x 50 x 77	132 x 50 x 77
Dry Weight lb (kg)	5425 (2463)	5444 (2466)	5344 (2400)	5804 (2656)	6510 (2953)
Operating Weight lb (kg)	7914 (3590)	7929 (3596)	8500 (3856)	9032 (4097)	9100 (4128)
Trailer Mounted (l x w x h) (in)	210 x 86 x 93	210 x 86 x 93	210 x 86 x 93	210 x 86 x 93	210 x 86 x 93
Dry Weight lb (kg)	6825 (3096)	6840 (3102)	7340 (3325)	8000 (3629)	8150 (3333)
Operating Weight lb (kg)	9310 (4223)	9325 (4231)	9896 (4489)	10428 (4730)	11040 (5008)
Engine					
Brand	John Deere	John Deere	John Deere	John Deere	John Deere
Model #	PE4045HF205	PE4045HFGB3	PE4045HF205	PE5068HFGB4	PE5068HF185
Aspiration	Turbo	Turbo	Turbo	Turbo	Turbo
HP (prime @ 1800rpm) (kW)	144 (107)	152 (113)	179 (134)	217 (162)	253 (183)
Displacement in ³ (L)	275 (4.5)	275 (4.5)	275 (4.5)	415 (6.8)	415 (6.8)
Cylinders	4	4	4	6	6
Speed (rpm)	1800	1800	1800	1800	1800
Fuel Consumed prime gph (Lph)	7.4 (28)	7.4 (28.0)	8.5 (32.8)	10.9 (41.3)	12.3 (46.5)
Battery (12 volt)	1-12V 1000 CCA	1-12V 1000CCA	1-12V 1000 CCA	1-12V 1000 CCA	1-12V 1000 CCA
Capacities					
Fuel Tank gal (L)	342 (1295)	342 (1295)	342 (1295)	342 (1295)	342 (1295)
Approximate Run Time hrs	44	44	39	29	25
AC Distribution					
Main Breaker	450	450	600	700	700
Voltage Selection	3 Position Switch (lockable)		3 Position Switch (lockable)	3 Position Switch (lockable)	
Voltage Regulation	+/-1%	+/-1%	+/-1%	+/-1%	+/-1%
120V - 20 amp GFCI Duplex	2	2	2	2	2
240V - 30 amp Twist Lock	NA	NA	NA	NA	NA
240V - 60 amp Twist Lock	3	3	3	3	3
Trailer					
# of Axles & Capacity lbs (kg)	2 - 6000 (2722)	2 - 6000 (2722)	2 - 6000 (2722)	2 - 6000 (2722)	2 - 7000 (3175)
Tire Size (in)	16	16	16	16	16
Brakes	Surge	Surge	Surge	Surge	Surge
Hitch - Standard	3" Ring	3" Ring	3" Ring	3" Ring	3" R.
Specifications or designs are subject to change without notice.	Limited availability of Tier 3 Flex engines - Call for details				7

Similar in appearance but slightly larger



Model MMG 320

GENERAC
MOBILEPOWER

sound (dba) @ 25'

MMG 185	MMG 205	MMG 225	MMG 320	MMG 330	MMG 405	MMG 485
177 / 221	174 / 217	201 / 255	273 / 348	290 / 363	358 / 447	408 / 510
296 / 613	261 / 602	307 / 708	419 / 968	437 / 1005	538 / 1247	613 / 1418
192 / 202	184 / 205	186 / 233	256 / 320	263 / 325	329 / 408	373 / 466
243 / 561	247 / 569	280 / 617	385 / 833	396 / 913	491 / 1132	561 / 1293
151 / 151	155 / 155	N/A	NA	NA	NA	N/A
629	646	N/A	NA	NA	NA	N/A
137 / 137	142 / 142	N/A	NA	NA	NA	N/A
571	592	N/A	NA	NA	NA	N/A
1261 / 139 / 208 / 220 / 240 / 277		NA	NA	NA	NA	N/A
208 / 220 / 440 / 480		206 / 480	208 / 480	208 / 480	208 / 480	208 / 480
60	60	60	60	60	60	60
1 (10), 0.8 (30)	1 (10), 0.8 (30)	0.8 (30)	0.8 (30)	0.8 (30)	0.8 (30)	0.8 (30)
Marathon Brushless/H	Marathon Brushless/H	Marathon Brushless/H	Marathon Brushless/H	Marathon Brushless/H	Marathon Brushless/H	Marathon Brushless/H
65	65	65	65	63	65	65
Pending	Pending	Yes	Yes	Pending	Yes	Pending
132 x 50 x 77	144 x 50 x 77	132 x 50 x 77	156 x 60 x 90	171 x 60 x 90	175 x 60 x 96	175 x 60 x 96
6510 (2953)	6624 (3095)	6510 (2953)	8039 (3641)	8447 (4285)	12690 (5752)	12690 (5756)
9100 (4128)	9052 (4106)	9100 (4128)	11499 (5215)	12907 (5854)	17115 (7763)	17125 (7768)
210 x 86 x 93	210 x 86 x 93	210 x 86 x 93	250 x 102 x 110	230 x 102 x 110	250 x 102 x 116	250 x 102 x 116
8450 (3833)	8020 (3638)	8450 (3833)	10612 (4949)	12320 (5588)	15830 (7226)	15840 (7230)
11040 (5008)	10448 (4739)	11040 (5008)	14372 (6519)	13780 (6158)	20330 (9237)	20375 (9241)
Tier 3 Flex	Interim Tier 4	Tier 3 Flex	Tier 3 Flex	Interim Tier 4	Tier 3 Flex	Tier 3 Flex
John Deere	John Deere	John Deere	John Deere	John Deere	John Deere	John Deere
PE6068HF485	PE6068HF485	PE6068HF485	RG6090HF485	PE6090HF695	RG6135HF485	RG6135HF485
Turbo	Turbo	Turbo	Turbo	Turbo	Turbo	Turbo
258 (183)	252 (188)	238 (213)	384 (287)	396 (295)	489 (365)	561 (419)
415 (6.8)	415 (6.5)	415 (6.8)	548 (9)	549 (9.0)	824 (13.5)	824 (13.5)
6	6	6	6	6	6	6
1800	1800	1800	1800	1800	1800	1800
12.3 (48.8)	12.8 (48.9)	15.2 (57.5)	17.9 (67.5)	18.7 (70.8)	21.7 (79.9)	26.3 (99.6)
1-12V/1000 CCA	1-12V/1000 CCA	1-12V/1000 CCA	2-12V/1000 CCA	2-12V/1000 CCA	2-12V/1000 CCA	2-12V/1000 CCA
342 (1295)	342 (1295)	342 (1295)	458 (1738)	459 (1738)	616 (2332)	616 (2332)
25	24	21	24	23	29	29
700	800	800	1200	1200	1600	1600
3 Position Switch (lockable)		Link/Reconnect Board	Link/Reconnect Board	Link/Reconnect Board	Link/Reconnect Board	Link/Reconnect Board
+/-1%	+/-1%	+/-1%	+/-1%	+/-1%	+/-1%	+/-1%
2	2	2	2	2	2	2
NA	NA	NA	NA	NA	NA	NA
3	3	3	3	3	3	3
2-7000 (3175)	2-6000 (2722)	2-7000 (3175)	2-8000 (3629)	2-8000 (3629)	3-8000 (3629)	3-8000 (3629)
16	16	16	17.5	17.5	17.5	17.5
Surge	Surge	Surge	Electric	Electric	Electric	Electric
3" Ring	3" Ring	3" Ring	3" Ring	3" Ring	3" Ring	3" Ring

Fire Protection System

The Viking Corporation, 210 N Industrial Park Drive, Hastings MI 49058
Telephone: 269-945-9501 Technical Services: 877-384-5464 Fax: 269-818-1680 Email:
techsvcs@vikingcorp.com

Description

The Viking VFR400 is a microprocessor based multi-hazard releasing control panel for use on preaction, deluge, Surefire®, Firecycle® multicycle sprinkler systems, VK-1230™ Fire Extinguishing System, and VK-200™ Fire Extinguishing System. The Model VFR400 is Underwriters Laboratory listed, FM Global approved and complies with UL Standard 864, Ninth Edition, for Local Control Units for Releasing Service. It is designed to be compatible and installed in accordance with the requirements of NFPA 13, NFPA 15, NFPA 16, NFPA 72, and NFPA 2001. The VFR400 is housed in a steel cabinet with removable door and key lock. Standard is red with black and white trim. The panel is available for use with either 120 VAC or 220 VAC for primary power. The cabinet will house up to two (2) 12AH standby batteries, which are capable of powering the unit in excess of 90 hours in the event of an AC power failure. For (2) 18AH batteries, a separate battery box (Part Number 09866) must be used. The VFR400 Release Control Panel can be used with a wide range of compatible initiating devices, such as spot heat detectors, smoke detectors, and linear heat detectors (10,000 ft. - SAFE-FIRE) or (3,500 ft. - Protectowire).

A. Features

- Multi-Hazard Operation
- Supervised Microprocessor
- 32 Character Alpha-Numeric LCD Display
- Custom Banner Message Text
- Custom Zone Description Text
- On Board Menu Driven Programming Controls
- Releasing Circuits Protected from False Activation
- Four Class B Initiating Circuits
- Two Class B Supervisory Circuits**
- Four Class B Output Circuits
- Programmable Cross Zoning
- Continuous or Timed Discharge
- 40 Event History Buffer
- Walktest with Automatic Time-out
- Alarm, Trouble, Supervisory Waterflow RelaysOptional Class A Output Zone Module
- 21 Standard Programs in Panel Memory
- Password Protection for all Programming
- 24 Hour Clock
- Supervised Remote Annunciator Output up to three (3)
- Auxiliary 24 VDC Power (Constant and Resettable)

B. AC Power

- Universal Input 120VAC, (60 Hz, 165VA) or 220VAC, (50 Hz, 185VA) 15 Amp Branch Line overcurrent protection required.
- System trouble is generated if voltage drops below 102V.

C. Visual Indicators: (Visible with door OPEN):

- 33 LEDs for common signal and zone annunciation
- 32 Character Alpha-Numeric Liquid Crystal Display (LCD)

D. LCD:

- Displays prompts for programming system. Condition or status information is not shown.

E. Control Buttons:

- Scroll Up, Buzzer Silence
- Signal Silence - Momentary, silences signaling circuits
- Buzzer Silence - Momentary, silences the trouble buzzer and outputs programmed as supervisory bell or trouble bell.
- System Reset - Momentary, resets all alarm circuits if condition has been corrected, removes power from initiating device circuits.
- Program Switch

F. Initiating Device Circuits: 4 Class B (Class-A Module available) (all values nominal)

- Entire system is power limited, current limited to protect two wire detectors
- Capacity, two wire detectors (per zone) 25 - 0.1 mA type; or 20 - 0.12 mA type at 24 VDC
- Line resistance - 100 ohms max. (except with linear heat detection - max. 700 ohms)
- Override of signal silence for waterflow application, if desired
- End-of-Line Resistance - 5.1K ohms
- Normal standby current - approximately 4.0 mA
- Trouble-Low current - approximately 3.3 mA
- Alarm - approximately 10 mA
- Maximum Impedance for Alarm - 1400 ohms
- Ground also causes trouble and ground indicator to come on (no zone indication on ground)
- Ripple Voltage - 0.4VDC
- Max operating voltage range - 22.5 VDC to 25.9 VDC

G. Output/Releasing Circuits: (All values nominal)

- The indicating circuits of the VFR-400 are Non-coded. This allows the use of visual and audible appliances on the same circuit.
- Notification Appliance Circuits (Class B), reverses polarity on alarm (optional Class A Module is available)
- Current limited
- 24VDC regulated, rated 1.0 Amp continuous max. (2.5 Amps total for all outputs combined including Auxiliary Devices and RA-4410-RC)
- End-of-Line Resistance - 5.1K ohms
- Ripple Voltage - 0.3V
- For outputs programmed as RELEASING: maximum allowable line resistance = 1 divided by current draw of solenoid (In Release)
- Mode - Requires End-of-Line diode assembly wired series for supervised circuit)
- All outputs are 24VDC, with range of 16VDC - 33VDC (Note: Release circuits kick out at <20 VDC)

H. Dedicated Supervisory Initiating Circuit:

- Supervisory includes any of the following:
- Supervisory
- Tamper
- Low Air
- High Air
- Abort (VK-1230 and VK-200)
- One Class B/Initiating Device Circuit, latching
- Power limited
- End of Line resistance 5.1K ohms
- Resistance 100 ohms max.
- Increase in resistance causes supervisory trouble and system trouble
- Decrease in resistance causes supervisory signal
- Ripple Voltage - 0.1VDC

I. Low/Missing Battery:

- Causes battery and system trouble if battery falls below 22 volts. Battery circuit is fused and reverse polarity protection is provided.

Two Designated Smoking Areas

All DPSS facilities are designated as non-smoking. Smoking is allowed in designated areas outside the facility.

Smoking tobacco products or using an electronic nicotine delivery system on County property is allowed in **designated areas** only. Riverside County Facilities Management staff selects the designated smoking areas and posts the appropriate signs.

A designated area is needed for the public use located near the front of the building. A separated area is needed for County staff in the rear of the building. Designated area must be ADA accessible.

Both designated areas must be 50 feet away from the main entrances, exits and/or operable windows.

NOTE: The main entrances and exits are defined as the primary doors used by the general public and/or Riverside County employees to enter and leave a County building. To comply with state law, signs stating the above restrictions are posted on all main entrance and exit doorways. These signs are obtained by contacting DPSS Facilities Management.

Televisions for Lobby Area

Lobby Area will have five (5) HD Flat Screen Televisions installed with Peerless 22"- 40" Articulating Arm. Wall reinforcement to support the weight of mounted television is required. Each television location must have 20 Amp circuit outlet. Specific conduit will be determined.

Television size and brand to be determined and supplied by DPSS.

Floor Plan for Comm Room

DRAWING NOTES

- 1.) A double interlock/pre-action dry pipe fire sprinkler system shall be installed per NFPA 75 standards.
- 2.) Sprinkler System heads shall not be installed directly above the cable ladders or equipment racks.
- 3.) Wire cage guards shall be installed over the fire sprinklers heads to prevent accidental operation.
- 4.) Fire suppression sprinkler pipes shall not be installed above any portion of the cable ladders or equipment racks.

CONSTRUCTION CREW

- 5.) Acoustic ceiling grid must maintain a minimum height of +10 feet AFF.
- 6.) 3/4" fire rated, void free, plywood on **all walls** as indicated, (8 foot high sheets). The plywood should be installed so that the fire rated stamp can be seen. Use flush hardware and supports to mount the plywood. The plywood should be installed 12 inches above finished floor. **Paint white or similar light color**, do not paint over fire stamp.
- 7.) Cover floor with **light colored** VCT tile, installed according to manufacturer's specification. Minimum load bearing of 100lbs per square foot. **SDT shall not be installed.**
- 8.) 51,200 BTU's of reliable, redundant, AC is required for this comm room. For a single floor building we require package HVAC units for the comm room. The two redundant package HVAC units must be connected to a common supply and return so that if one of the HVAC units fails the redundant unit is able to provide 100% of the conditioned air required to maintain an ambient room temperature of 70F. It is the responsibility of the Facilities Department to ensure that the comm room HVAC units are pro-actively maintained and repaired.

- 9.) Install Quantity () 4 bulb 48" Florescent light fixtures in comm room where indicated on **accompanying diagram**. Install light fixtures so that they are not directly above the racks. This is to minimize shadow casting.
- 10.) Build comm room wall depth to accommodate the electrical sub-panel to be flush mounted.

11.) Install dedicated comm room electrical sub-panel. All rack and wall power outlets for the comm room will land in this panel.

12.) Electrician will provide Dedicated Circuit entrance. **Note:** Dedicated is defined as three separate conductors per outlet. ***(See the attached design sheet for exact detail of circuit conduit and outlet installation)***

13.) Install quantity () dedicated 110 Volt, 20 Amp Circuits with isolated ground. Terminate each circuit on double duplex 5-20R receptacles in a surface mounted 4S box attached to the cable runway. ***Refer to rack electrical drawing(s).***

14.) Install quantity () dedicated 208 Volt, 30 Amp Circuits with isolated ground. Terminate each circuit on a single L6-30R receptacle in a surface mounted 4S box attached to the cable runway. ***Refer to rack electrical drawing(s).***

15.) Install quantity () convenience electrical duplex 5-20R outlets 24" above finished floor. All convenience outlets can share one circuit and will be flush mounted to the wall.

16.) The Electrician is responsible for bonding a 3/0 AWG stranded ground wire from the building common ground to the main ground buss bar in the comm room provided by RCIT.

RCIT

17.) All racks, cable management, cable tray and associated parts will be provided by RCIT.

18.) Provide and install the comm room main grounding buss bar.

19.) Install 4" sleeves for data cabling, 2 or 4 as shown. Only install sleeves as needed based on horizontal cable feed. Sleeves should protrude through ceiling grid no more than 4 inches. **4 inch sleeves will be installed by RCIT Cabling Contractor.**

FACILITIES

20.) Facilities will provide a standard office waste basket and a step stool for the comm room.

Riverside County DPSS-IT calculates 4,000 BTU per rack

Number of Racks:	<input type="text" value="12"/>			
			48,000	
			+ 3,200	
			<hr style="width: 100px; margin-left: auto; margin-right: 0;"/>	
Room Dimensions (ft)				
Width:	<input type="text" value="16.00"/>	Total Heat Load:	51200 BTU's	
Length:	<input type="text" value="20.00"/>			= 5 Tons of Air
Height:	<input type="text" value="10.00"/>			

The room will house 12 racks = 48,000 BTU
 The room dimensions are 16.00 x 20.00 x 10.00 = 3,200 feet³

Adding the BTU's required to cool a room of this volume and the BTU total for all racks yields 51200 BTU's.

This amount will need to be doubled in order to have redundant cooling. Example: A comm room that requires 2-tons (24,000 BTU's) of cooling will need to have two 2-ton units installed to have complete redundancy."

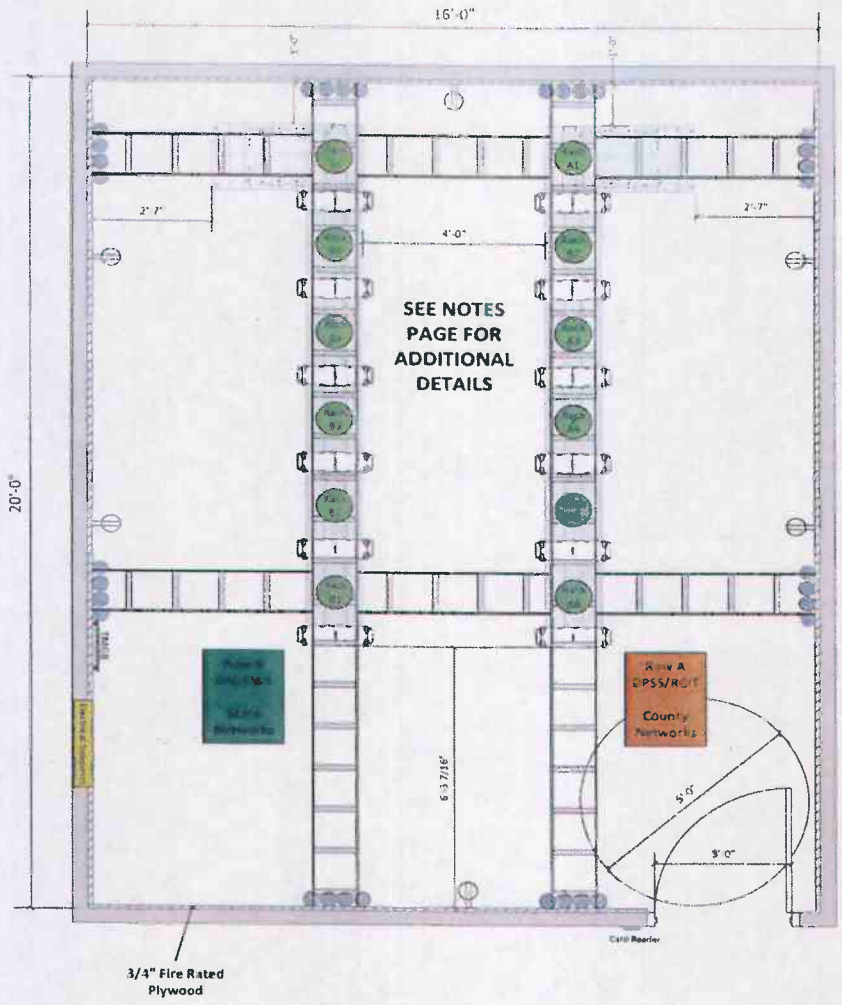
The expected temperature range that must be maintained is 68-74F, not to exceed 80F

Between 15% to 55% relative humidity

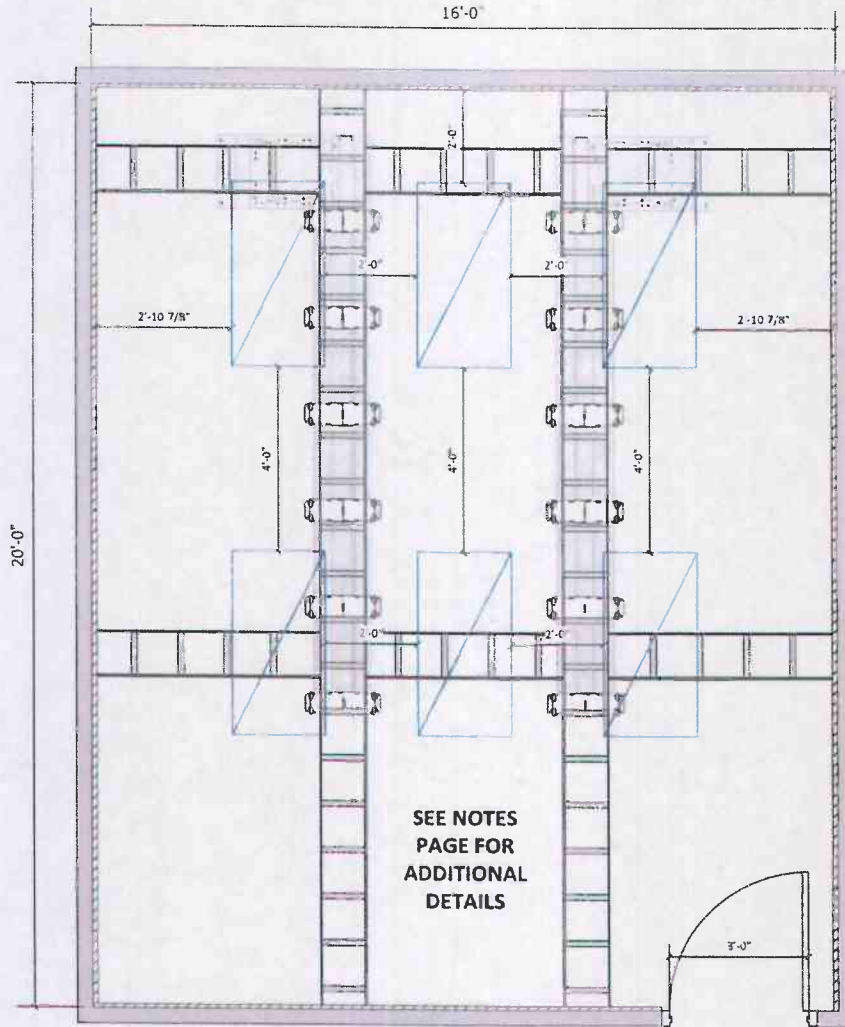
Contractor shall not place the A/C units in the ceiling above any equipment - conversely, no equipment shall be installed directly below the unit(s).

Condensation lines shall not be installed above equipment racks or equipment. If possible all refrigerant and condensation lines will be installed in non-exposed locations (within walls or above ceiling grid).

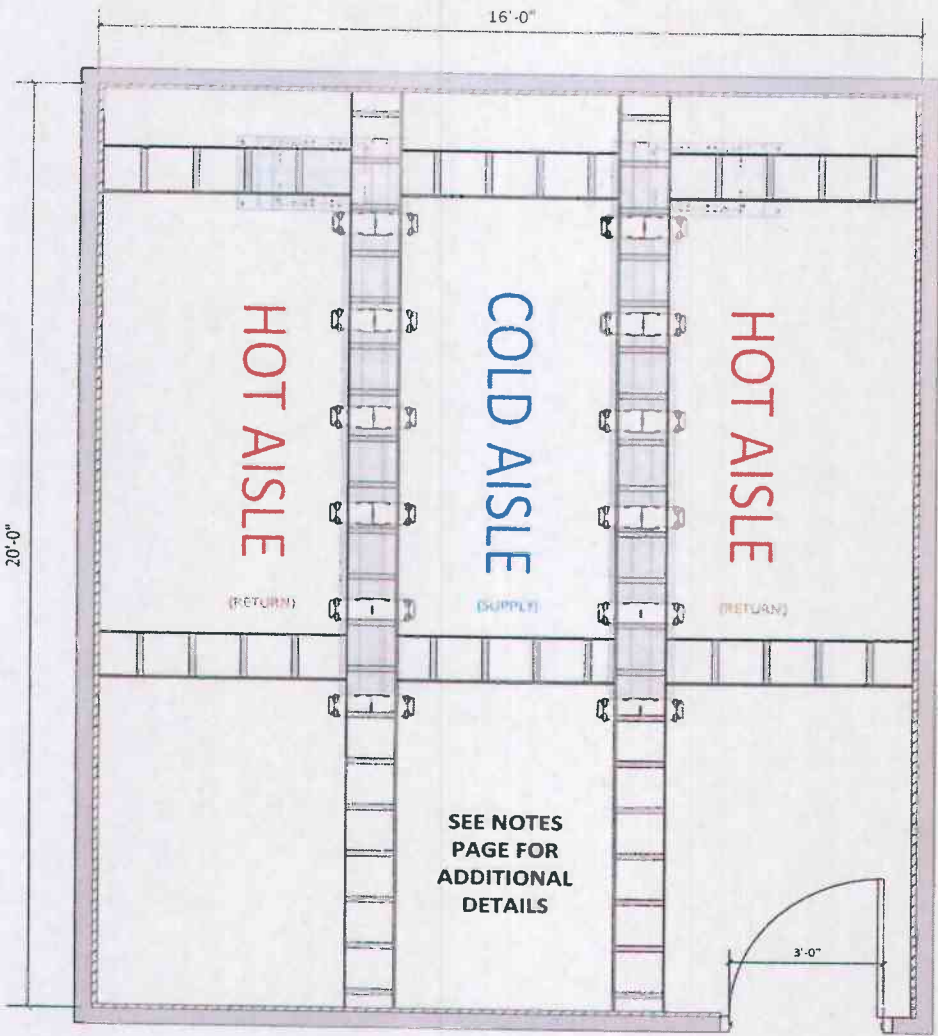
Default Comm Room Layout



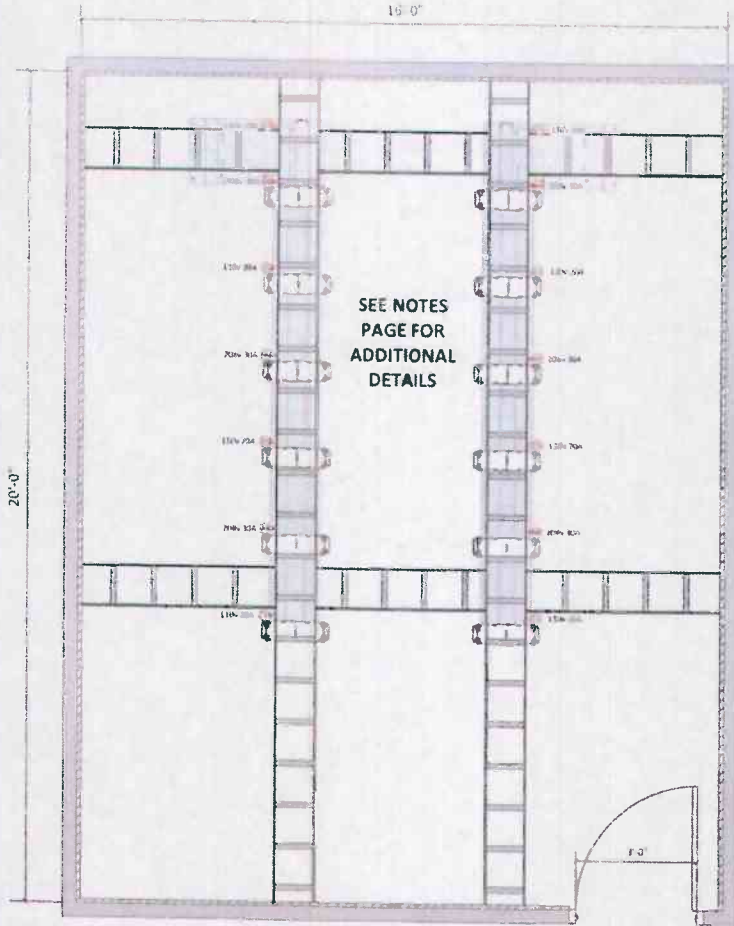
Default Comm Room Lighting Plan



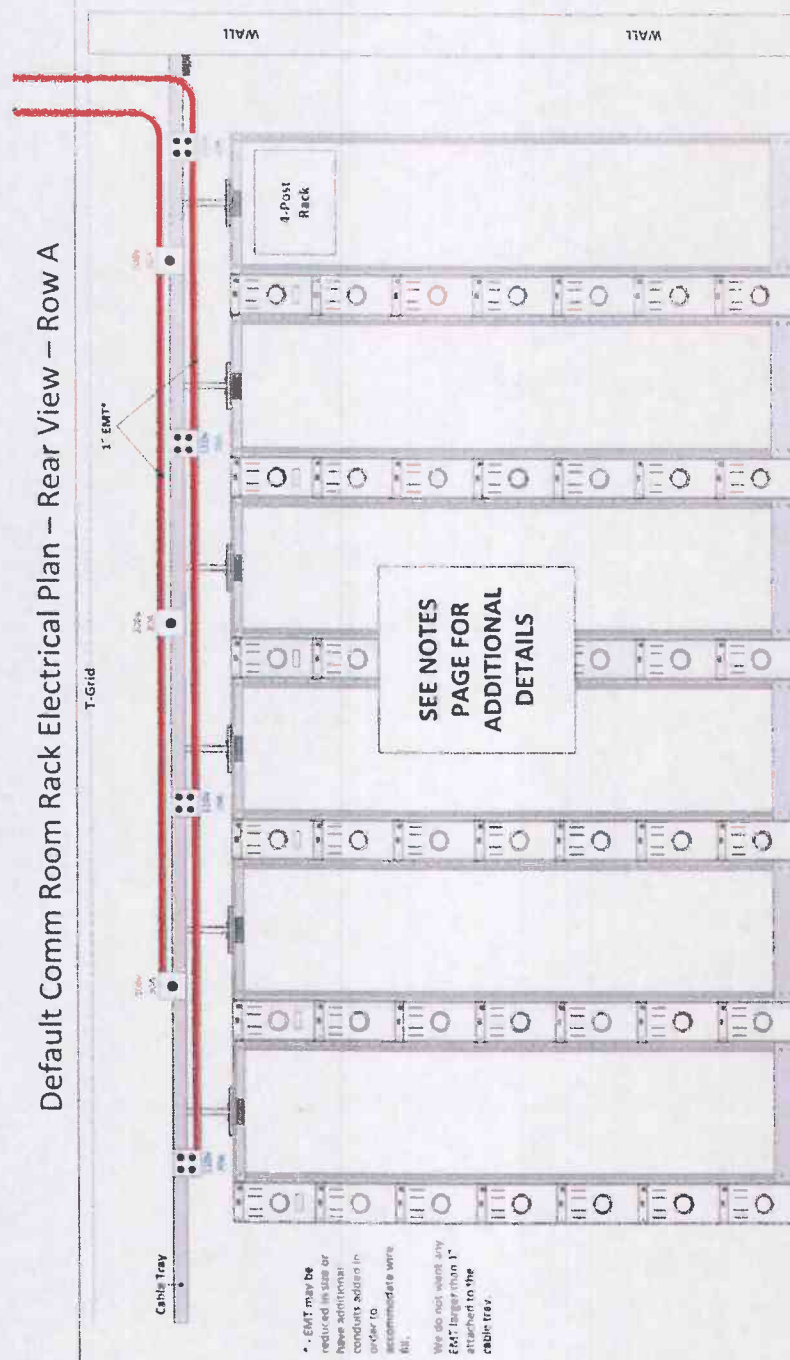
Default Comm Room HVAC Plan



Default Comm Room Rack Electrical Plan



Default Comm Room Rack Electrical Plan – Rear View – Row A

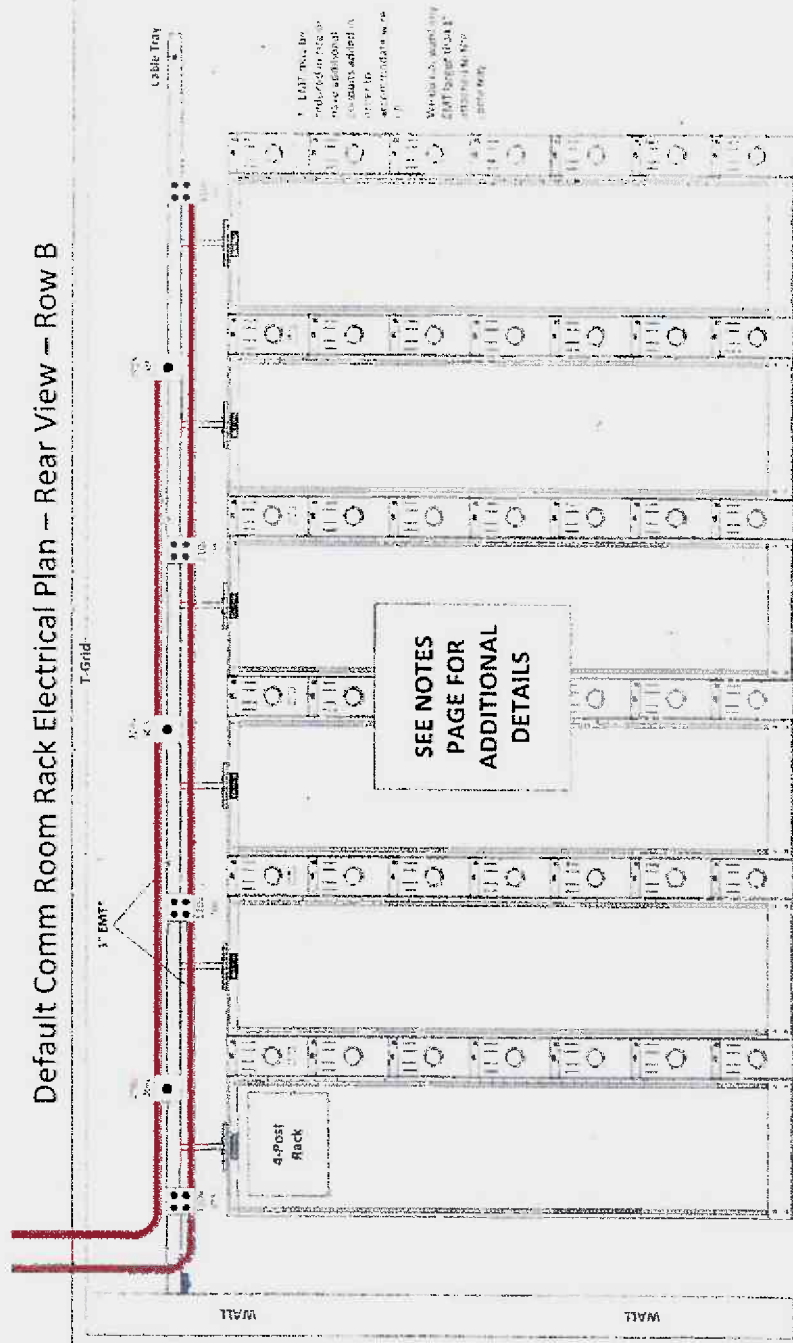


SEE NOTES
PAGE FOR
ADDITIONAL
DETAILS

* - EMT may be reduced in size or have additional conduits added in order to accommodate wire fill.

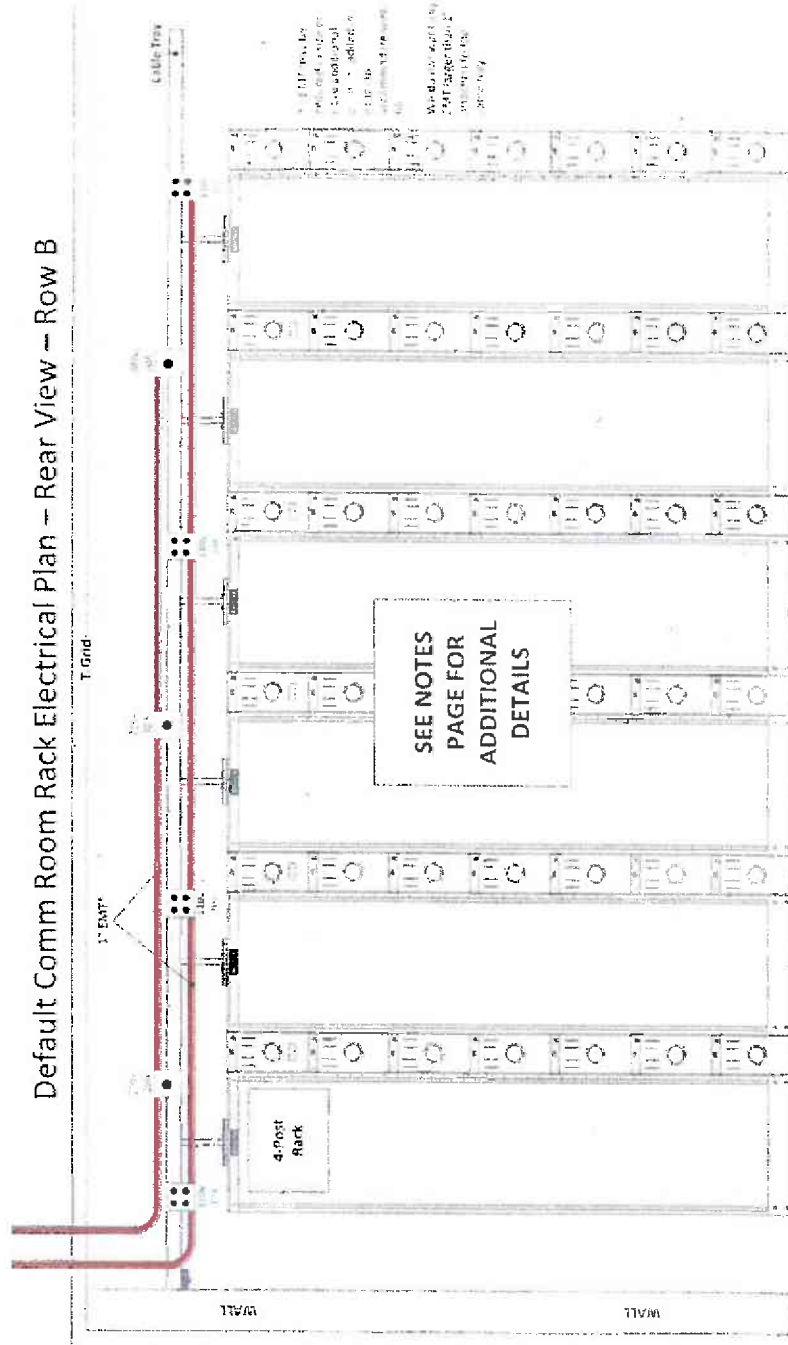
* We do not want any EMT larger than 1" attached to the cable tray.

Default Comm Room Rack Electrical Plan – Rear View – Row B



New Quad-Data Cable Standard

Default Comm Room Rack Electrical Plan – Rear View – Row B



New Quad-Data Cable Standard

Break Room Appliances Specifications

The following specifications are for Employee Break Rooms only

Appliance	Qty	Requirement
Refrigerator	3 – 6 Depending on office staff size	
Microwave Oven	3 – 5 Depending on office staff size	120 amp circuit per microwave
Garbage Disposal	1	
Exhaust Fan	1	T-grid mounted
Hot Water Heater	1	Tank less preferred
Goose neck faucet	1	

Public & Employee Restroom Standards

Item	Specification	Location	Contact
Electronic Hand Washing Faucet	Touch Free operation, Single Supply Faucet, 6VDC Box Mount Adapter	Public Restroom	Sloan
Electronic Hand Washing Faucet	Touch Free operation, Integral Spout Temperature Mixer (hot & cold) 6VDC Box Mount Adapter	Employee Restroom	Sloan
Electronic Soap Dispenser	Touch free operation, Plug-in Adaptor powered, Stain Chrome Finish	Public and Employee Restroom	Sloan
Electronic Hand Towel Dispenser	Touch Free operation	Public and Employee Restroom	
Baby Changing Station	Surface Mounted, FDA approved polypropylene with Microban® antimicrobial additive embedded into the bed surface.	Public Restroom	Koala Kare Products Model #KB200-05

Water Cooler

Standard Features:

- Sanitary, touchless activation
- Vandal-resistant, easy to operate front pushbutton control
- Real drain system to eliminate standing water
- ADA compliant
- Lead free design; meets Federal and State low-lead requirements



US Postal Service Mailbox

JCo JAYCO INDUSTRIES
US MAILBOXES & ACCESSORIES

Home | What's Hot | My Account | Shopping Cart | Checkout | (800) 587-5257 | Shopping Cart (0 items) - \$0.00

Residential | Commercial | Address Plaques | Accessories | Discounted Items | Custom Products | JB Book Ends | Services

Home / Commercial / Custom Commercial Boxes / Rear Access Custom Commercial Double-Double

Categories

- Residential (17)
- Commercial (234)
 - 6611 45
 - Anti-Firewall 4C Mailbox Suites Front Access (6)
 - Anti-Firewall 4C Mailbox Suites Rear Access (25)
 - 4C Cabinet for 4C Suite (21)
 - 4C Cabinet Units (13)
 - JB Office USPS Collection (37)
 - Dropboxes (6)
 - Parcel Drop Boxes (5)
 - Custom Commercial Boxes (8)
 - Custom Commercial Plaques (4)
 - Address Plaque Box (1)
 - Wall Mount Outgoing Collection Boxes (1)
 - Panel Lockers (2)
 - Reception Locks and Cams (23)
- Address Plaques (26)
- Accessories (24)
- Discounted Items (1)
- Custom Products (8)
- JB Book Ends (9)
- Services (7)

Rear Access Custom Commercial Double-Double



Brand: Jayco Mailboxes
Product Code: LL2DBLCUSTOM
Availability: In Stock

Price: \$995.00

Available Options

- Material: Aluminum
- Color Options: Mineral Bronze
- Optional Post Type: Aluminum (\$175.00)
- Optional Post Model: 36" Surface Mount Post

Qty: 1 **Add to Cart** [Add to Wish List](#) [Add to Compare](#)

Description Specifications How it Works

Rear Access Custom Commercial Boxes provide efficient delivery to large institutions that need to have their incoming and outgoing bundles of mail kept securely locked.

The Rear Access Custom Commercial Double-Double Box is built to hold TWO USPS Postal bins. Each bin is secured behind its own door. This model should be used for top business that receive double amounts of mail.

This box is made of 14 gauge aluminum and has two doors. The front door is prepped for the USPS universal lock and is used only for USPS outgoing and delivery access. The incoming address doors are located on the back of the box. The rear recipient doors are fitted with high security Medeco deadbolt lock for security.

Standard Features:

- Constructed of 6061 T304 aluminum
- Finished with durable powder coating - available in five colors
- Also available in Stainless Steel

Drop Boxes

This item was printed from:
www.charnstrom.com



Part #: 1378

Price: \$529.00

Options: NONE

Quantity Pricing:
3 or more: \$498.00



Steel Drop Box with Pedestal - for private use

Consolidate your outdoor mail collection for your office, mailroom, mail center and warehouse. This private use box gives you easy, one-stop mail collection. Weather-sealed design and protective overhang to stand up to most elements. The above box includes pedestal. For a steel drop box without pedestal, click on the following - part number [1377](#). Cocoa brown in color.

Specifications:

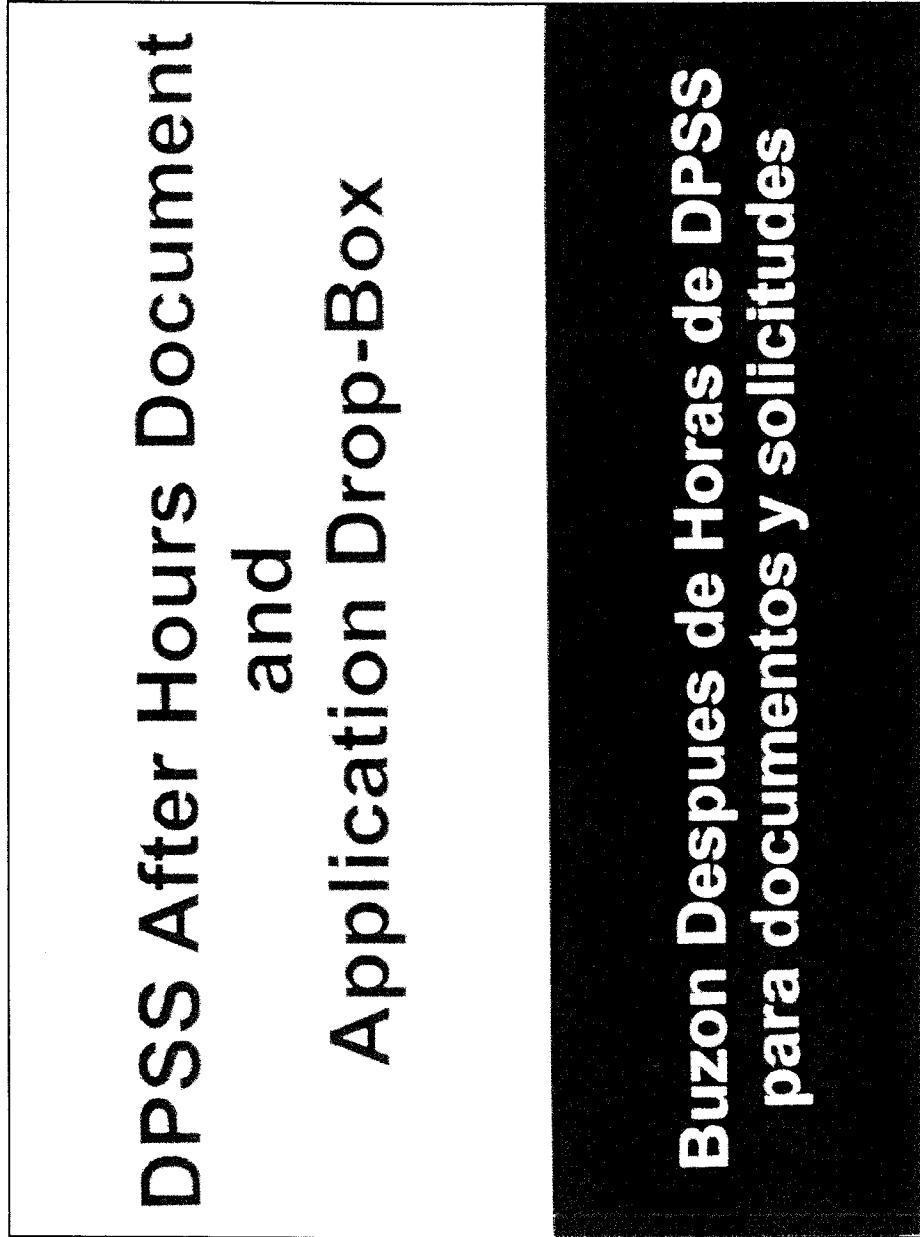
- Heavy duty 18 gauge steel.
- All steel mailbox with durable enamel painted finish.
- Hinged mail drop slot.
- Large locking hinge door for unloading.
- Built in lock comes with 2 keys.
- Includes bolt on lower pedestal.
- Pedestal top plate (15.312" x 18.312") and bottom plate (15.5" x 15.5") - 10 gauge plate.
- 4 x 4 Pedestal post.
- Weather sealed design to stand up to most elements.

Dimensions:

Overall: 18"W x 26"D x 52"H (24-1/2"H mailbox)
Hinged Slot: 11"W x 2"H
Large Locking Door: 12-3/4"W x 11-1/2"H

Color: Cocoa Brown

Drop Box Signage



Charging Stations

CT4000 Family

ChargePoint® Charging Stations

The CT4000 is the latest generation of ChargePoint charging stations. Refined yet rugged, the CT4000 family sets the industry standard for functionality and aesthetics. A robust cord retraction system comes standard on all CT4000 models to eliminate unsightly cords on the ground, and to keep your drivers from having to touch charging cables.

The CT4000 full motion color LCD display instructs drivers while supporting dynamic updates of custom branded videos and advertisements.

The intelligent power sharing feature of the CT4000 doubles the number of parking spaces served by allowing two charging ports to share a single circuit. Sites with single port EV stations can upgrade to dual port stations without requiring additional electrical services.

All CT4000 models offer one or two standard SAE J1772™ Level 2 charging ports with locking hollers, each port supplying up to 7.2kW.

Available in bollard and wall mount configurations, the CT4000 supports easy installation anywhere. To future proof your investment, all stations are fully software upgradeable over the air. All ChargePoint stations are networked and managed through ChargePoint Service Plans¹ and backed by ChargePoint's world class 24/7 driver phone support.

Corporate Branding and Video Advertising

- Download full motion color videos to your stations²
- Custom replaceable signage to project your brand
- Custom "cap" printing available³

Clean Cord Technology™

- Maintenance-free, light-weight, self-retracting cords come standard on all models
- Keep charging cords off the ground and out of your and drivers' hands
- Flexible over entire -22°F to +122°F product temperature range

Intelligent Power Sharing (patent pending)

- Reduced installation and operating costs
- Dynamically share one 40A circuit between two parking spaces
- Double the number of parking spaces for a given site's power capacity
- Upgrade a single port station to dual port with no electrical upgrade

¹ ChargePoint Service Plans will sold separately.

² Download fees apply.

³ Minimum order quantities apply.

Driver Friendly User Interface

- Instructional video shows how to use the station
- Multi-language: English, French, Spanish
- Touch button interface works in rain, ice and with gloves
- Backed by ChargePoint's world class 24/7 driver phone support

Energy Measurement and Management

- Real-time energy measurement
- 15 minute interval recording
- Time of Day (TOD) pricing
- Load shed by % of running average or to fixed power output

The standard EV Charging Only sign is easily replaceable with your branding.

The cap of the CT4000 family is also available for custom branding.

The 5.7" LCD display provides full motion charging instructions in a clear and simple format. It also allows station owners to deliver advertising messaging.

Driver extraction is supported in all weather by free-retract, backlit buttons with audio feedback.



Wall Partitions



SPECIFICATIONS

TYPE II CLASS A VINYL SPECIFICATIONS

TYPE II CLASS A VINYL SPECIFICATIONS	VINTAGE Highland, Cairn, Asian Linen, Baxter, Kamakura, Fusion, Woodstone, Wilshire Cherry
Minimum Weight	23 oz./sq. yd.
Average Width	54" [1372mm]
Mold Resistant	X
CCFA-W-10:	X
CCC-W-45B & C	X
Flame Developed	20 gypsum /10 cement board
Smoke Developed	45 gypsum /20 cement board
MEA Approved N.Y. Dept. of Buildings	X
NFPA 704-94 when tested by ASTM E84-91	X

ADDITIONAL PRODUCT FEATURES

- Compliant with the performance standards established for low emitting wallcovering by California Department of Public Health (CDPH) in classroom and office settings. Compliant with the California Collaborative for High Performance Schools (CHPS) and the LEED for Schools program.
- Contains additives to resist mold and other micro-biological growth on the decorative surface of the product. These additives, however, will not prevent mold growth if moisture is allowed to accumulate in or behind the wall.
- PFCA free - does not contain nor will it degrade to Perfluoro Octanoic Acid (PFOA).
- NFPA 704 and 904 Class A interior wall finish rating when tested using ASTM E84 method of reinforced cement board and Type X gypsum board and when tested in accordance with NFPA 286.



CLEANING INSTRUCTIONS

Common dirt and stains may be removed from wallcovering by rubbing lightly with a moistened lint-free sponge or stiff bristle brush using a mild soap/detergent or non-abrasive cleanser. It is important that clean water be continuously used and that the material be towel dried.

CAUTION: Strong organic solvents (such as ketones) and harsh abrasive cleaners are not recommended. These materials will cause dulling, discoloration or softening of the vinyl, possibly resulting in permanent damage.

Additional technical information may be found on our website: www.hufcor.com

Hufcor has a program of continuous product improvement and as a result reserves the right to improve and change products, design and/or specifications without notice.



World Leader in Flexible Space Management™

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Janesville, WI USA 53547-0291
Tel: 608 756 1241 or 800 356 6948
Fax: 608 756 8253 • Email: info@hufcor.com
www.hufcor.com

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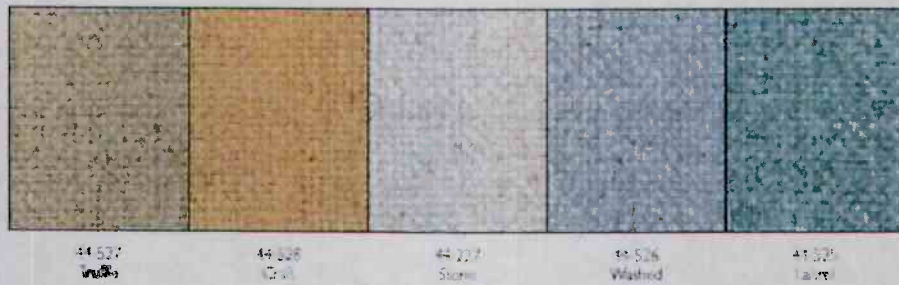
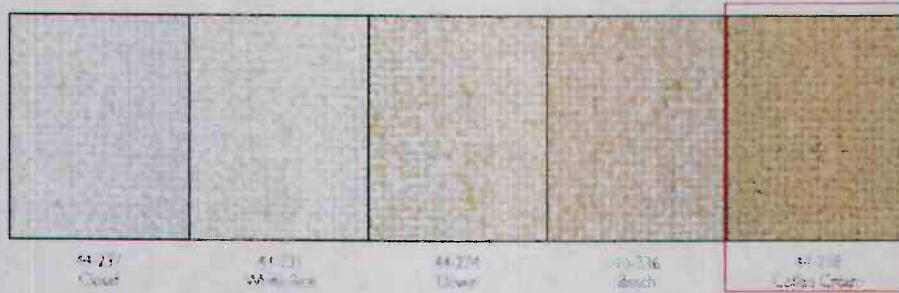


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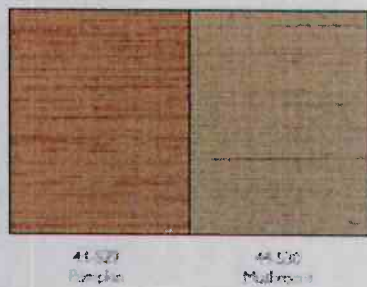
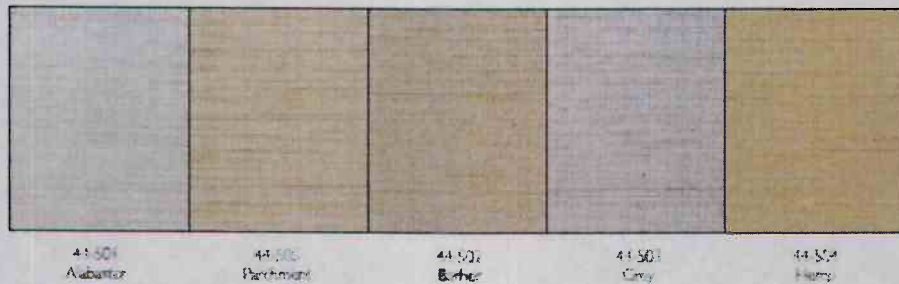


The quality systems of Hufcor's manufacturing facilities are registered to the ISO 9001 standards.

HIGHLAND PATTERN Recommended for use on a suitable surface. The recommended surface type is indicated on table. Pattern is a grid design.



ASIAN LINEN PATTERN Not recommended for use on a suitable surface. Look for a wall covering with a suitable surface.



All vinyls are made from PVC. It is possible to use vinyls on a variety of surfaces. However, vinyls should not be used on a surface that is not suitable for vinyl. For example, vinyl should not be used on a surface that is not suitable for vinyl. For example, vinyl should not be used on a surface that is not suitable for vinyl.

VINYL COLORS FOR OPERABLE, VERTICAL LIFT & ACCORDION PARTITIONS **HUFOR**



WORLD LEADER

IN FLEXIBLE SPACE
MANAGEMENT

STANDARD METAL TRIM COLOR SELECTOR

FOR OPERABLE WALLS

Lamb's Wool, gray and brown

are standard trim colors.

Choose one of these colors

at no additional charge.

Additional trim colors are available

for an upcharge. See your Hufcor

representative for information and

specific pricing.

The colors shown are representative of the trim colors. The color provided may not be an exact match to the color shown on this selector due to variations in the printing process. Ask your Hufcor representative for a sample of the color if needed.



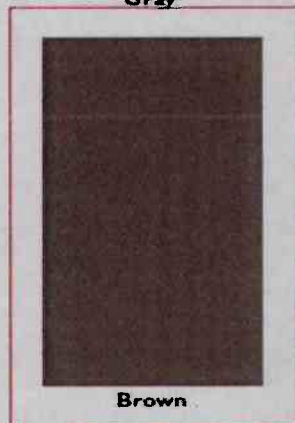
**PLEASE SELECT
COLOR**



Lamb's Wool



Gray



Brown

Note: The vertical trim extends only 1/2" (12.7mm) onto the face of the panel per side.

Wall Panel Box

WB-X Wall Box Large Capacity Wall Boxes



DESCRIPTION

The new WB-X wall box series is the latest addition to FSR's metal product line. These rugged all-steel housings are available with either black or white locking covers. Two different style locksets are included to cover a variety of installation possibilities. The stylish covers have "flip up" cable entry doors so the door can be closed and locked once the cables are connected. Two door styles are available that will allow for either flush "in wall" or surface "on wall" mounting. The door hinges and mounting screws are hidden to provide security and for a sleek look.

There are four back box styles that are currently available in three different connector capacities for a total of twelve possible configurations. The internal connector mounting plate styles handle either standard gang plates, FSR's huge assortment IPS inserts or "XLR" type connectors. The mounting plates are height adjustable.

The WB-X "gang" style back boxes include factory mounted movable high voltage dividers so that compartments containing AC line power can be isolated from low voltage and signal areas. Multiple gang arrangements are accomplished with a combination of supplied movable dividers and spacer/filter panels. The WB-X IPS and XLR style back boxes have tapped holes on the connector mounting plates for easy connector mounting and are painted black.

All back boxes include installation brackets for mounting in old or new construction.

Ordering is simple. Specify the back box size and type. Then choose the cover color and matching size. (See the drawings and charts on the following pages for specific details and configurations.)

FEATURES

- Safe, secure cable, connector, and control management
- Low profile cover with locking door
- Locking cover door
- Back boxes can be ordered with or without knockouts
- New and old work compatible
- Fits within standard wall dimensions
- Tapped connector mounting holes ease installation
- Large 1", 1 1/4" Knockouts for conduit
- Choice of black or white covers
- IPS and XLR style connector plates are painted black and have room for customer provided ID name plate
- Support wings are included with back boxes for old and new work installation
- Large selection of models and sizes
- Two lockset styles included:



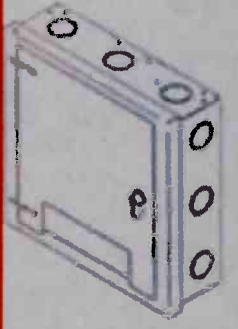
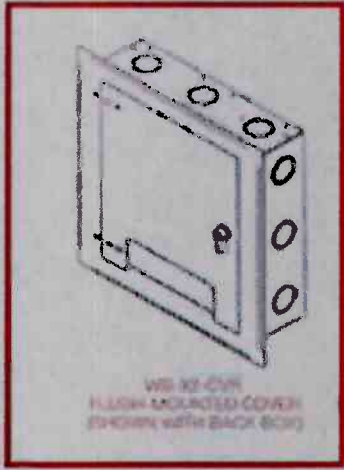
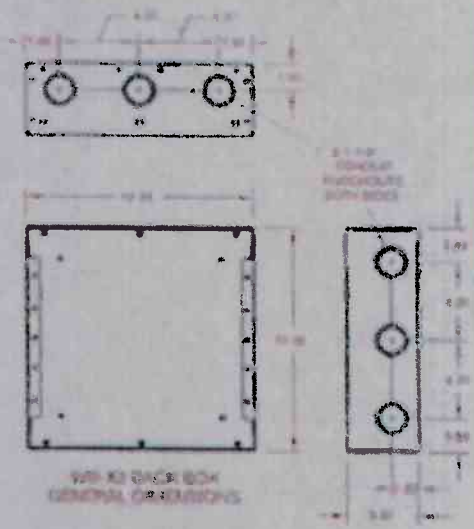
APPLICATIONS

Schools, Hotels, Conference Centers, Airports, Arenas, Houses of Worship.

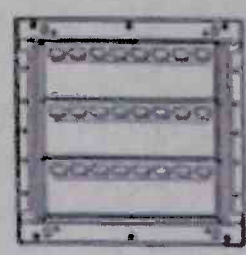
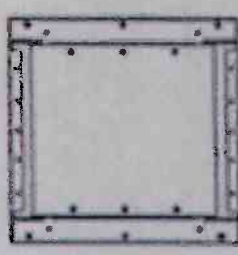
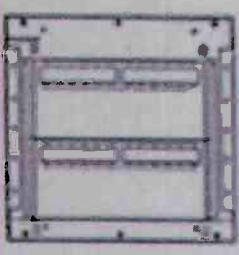
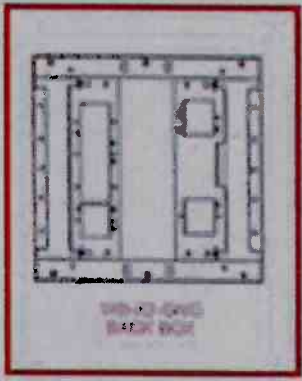
FSR

241 Bergen Boulevard, Woodland Park, NJ 07424
Phone: 973.785.4347 Fax: 973.785.4207
Web: www.fsrlinc.com E-mail: sales@fsrlinc.com LIT1227C

WB-X2



Part No.	Description
WB-X2-01M	BACK BOX (1) (2) (3) (4) (5) (6) (7) (8) (9) (10) (11) (12) (13) (14) (15) (16) (17) (18) (19) (20) (21) (22) (23) (24) (25) (26) (27) (28) (29) (30) (31) (32) (33) (34) (35) (36) (37) (38) (39) (40) (41) (42) (43) (44) (45) (46) (47) (48) (49) (50) (51) (52) (53) (54) (55) (56) (57) (58) (59) (60) (61) (62) (63) (64) (65) (66) (67) (68) (69) (70) (71) (72) (73) (74) (75) (76) (77) (78) (79) (80) (81) (82) (83) (84) (85) (86) (87) (88) (89) (90) (91) (92) (93) (94) (95) (96) (97) (98) (99) (100) (101) (102) (103) (104) (105) (106) (107) (108) (109) (110) (111) (112) (113) (114) (115) (116) (117) (118) (119) (120) (121) (122) (123) (124) (125) (126) (127) (128) (129) (130) (131) (132) (133) (134) (135) (136) (137) (138) (139) (140) (141) (142) (143) (144) (145) (146) (147) (148) (149) (150) (151) (152) (153) (154) (155) (156) (157) (158) (159) (160) (161) (162) (163) (164) (165) (166) (167) (168) (169) (170) (171) (172) (173) (174) (175) (176) (177) (178) (179) (180) (181) 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Ceiling Projectors

Panasonic **ideas for life**

S P E C F I L E



Product Number : **PT-FW430**

Product Name : **LCD Projector**

As of March 2011, Specifications and appearance are subject to change without notice.

1 / 14

SPL11M05-1

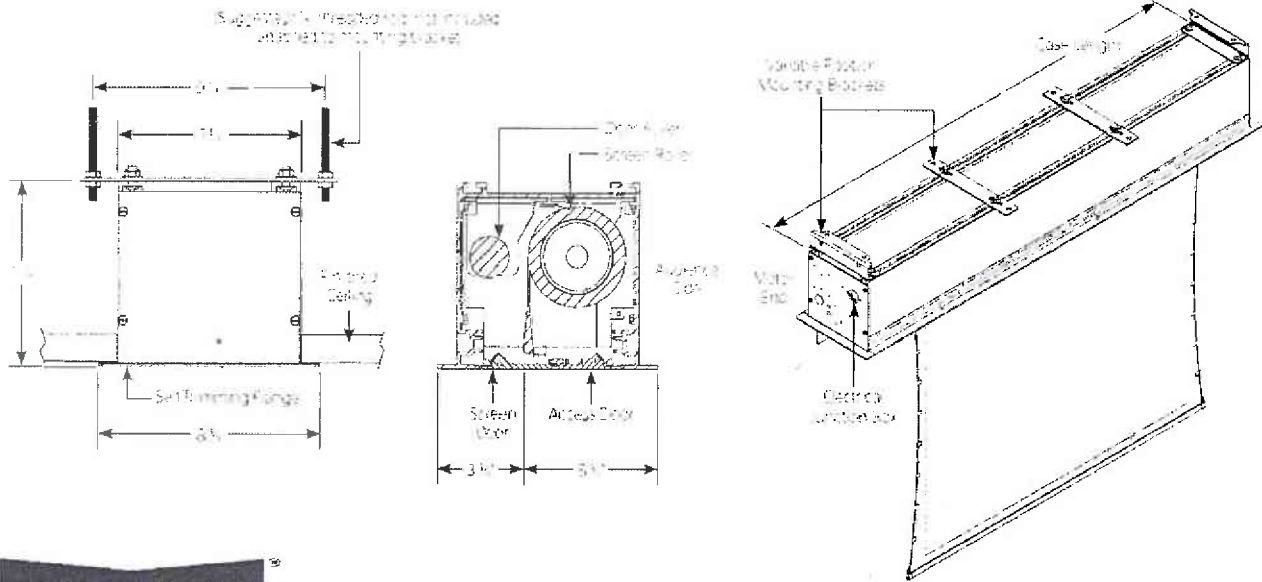
Projection Screens
Tensioned Advantage[®] Deluxe Electrol[®]

Automatic Electric Projection Screen Model



SPECIFICATION DATA

SUGGESTED CEILING INSTALLATION



A Milestone AV Technologies Brand

3100 North Detroit Street
 Warsaw, Indiana 46582
 P 574 2678101 or 800 622 3737
 F 574 2677804 or 877 325 4832
 E info@da-lite.com
 www.da-lite.com

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Video Conferencing Carts

Optimize Your Lectern

POPULAR OPTIONS

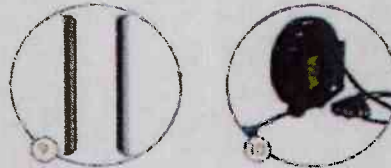
- 1 **95112 FLAT PANEL MONITOR ARM**
Fully adjustable LCD screen positioning.
- 2 **95111 FLIP-UP SHELF**
Flattens and adds workspace when needed. In a capacity of per unit, sold separately.
- 3 **95101 KEYBOARD TRAY**
A low cost, high value tray which includes an articulating arm, keyboard clamp, and a palm rest.
- 4 **95104 RACK MOUNT CART LEEVESHIELD**
Provides robust 50 lb weight capacity.
- 5 **95505 RACK MOUNT PULL-OUT SHELF**
Holds up to 50 lbs with easy access.
- 6 **95114 RACK MOUNT DRAWER**
Helpful storage for controller and teaching aids.
- 7 **99021 9-OUTLET RACK MOUNT POWER STRIP**
The power hub for all your rack equipment.
- 8 **55406 INSTRUCTOR SIDE LOCKING DOOR**
Locking instructor side door provides security.
- 9 **55409 36" REAR RACK RAIL** - doubles rack units
55410 42" REAR RACK RAIL - doubles rack units
- 10 **99037 UNIVERSAL CORD REEL KIT**
Retracts cord for storage when not in use (UL Listed).

More available accessories on page 42-43



55400-36 CHBWW

Keyboard tray does not fit on the 36" lectern with optional instructor side door.



Note: Optional Flip-Up Shelf, Rear Rack Rail, and Instructor Side Locking Door can be factory installed for you. Instructor Side Locking Door not compatible with access keyboard tray option on 36" lecterns.

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SPECIFICATIONS

See full specs at www.spectravideo.com

with Balloon wheels
→ REEL provides 25' power cord

DESIGN SPECS

LECTERN DIMENSIONS	42" BW - 24"W x 28"D x 42"H (to work surface) 42" TK - 24"W x 28"D x 42" (to work surface) 36" BW - 24"W x 28"D x 36"H (to work surface) 36" TK - 24"W x 28"D x 36"H (to work surface)
RACK UNITS	42" Lectern - 19 standard rack units, 38 rack units with optional rear rack rail 36" Lectern - 15 standard rack units, 30 rack units with optional rear rack rail
OVERBRIDGE CONTROL CONSOLE (RACK)	Allows side positioning of top access third-party controllers. Reduces center workspace to 15" x 6" D!
BASE CHOICES	5" Swivel Balloon Wheel (BW), 5" Swivel/Rigid Balloon Wheel (RW), Toe Kick (TK)

Color Choices: Standard color combinations



AVAILABLE MODELS

55400-36	36" Inspiration Lectern with side surround or OCG
55400-42	42" Inspiration Lectern with either surround or OCG
55409	Side Table with glides for lectern with Toe Kick (TK)
55410	Side Table with casters for mobile lectern (TW)
96501 B	Overbridge Control Console™ Insert Panel Blank must be ordered separately and includes up to 2 outlets (specify position and size)



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