



**SUBMITTAL TO THE BOARD OF DIRECTORS
RIVERSIDE COUNTY REGIONAL PARK
AND OPEN-SPACE DISTRICT
COUNTY OF RIVERSIDE, STATE OF CALIFORNIA**



ITEM
13.2
(ID # 6823)

MEETING DATE:
Tuesday, April 24, 2018

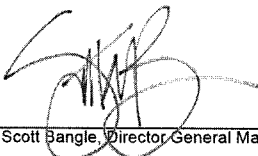
FROM : REGIONAL PARK & OPEN SPACE DISTRICT:

SUBJECT: REGIONAL PARK & OPEN-SPACE DISTRICT: Approve Addendum to Plans; Accept the Low Bid and Award the Contract with Woodcliff Corporation for the Construction Improvements: Park District Headquarters Expansion Project; Approve First Amendment to Consultant Services Agreement with TR Design Group, Inc.; District 2, [\$3,517,500]; [Park Acquisition & Development-DIF Fund 33120 74%, Park Acquisition & Development-District Fund 33100 26%]

RECOMMENDED MOTION: That the Board of Directors:

1. Approve PKARC-231 Addendums No. 1 & No. 2 to the project bid documents and plans and specifications issued prior to the February 3, 2018 bid opening; and
2. Accept the low bid submitted by Woodcliff Corporation in the sum amount of \$3,350,000; and
3. Approve and execute the Construction Contract with Woodcliff Corporation for the Park District Headquarters Expansion in the amount of \$3,517,500; and
4. Waive any minor irregularities, award the contract to Woodcliff Corporation and authorize the Chairman of the Board of Directors for the District to execute the contract documents on behalf of the District; and

ACTION: Policy



Scott Bangle, Director General Manager / Park Director 4/11/2018

MINUTES OF THE BOARD OF DIRECTORS

On motion of Director Perez, seconded by Director Ashley and duly carried, IT WAS ORDERED that the above matter is approved as recommended.

Ayes: Tavaglione, Washington, Perez and Ashley
Nays: None
Absent: Jeffries
Date: April 24, 2018
xc: Parks

Kecia Harper-Ihem
Clerk of the Board

By: 
Deputy

**SUBMITTAL TO THE BOARD OF DIRECTORS RIVERSIDE COUNTY REGIONAL PARK AND
OPEN-SPACE DISTRICT
COUNTY OF RIVERSIDE, STATE OF CALIFORNIA**

RECOMMENDED MOTION: That the Board of Directors:

5. Approve the First Amendment to the Consultant Services Agreement between The Riverside County Regional Park and Open-Space District ("District") and TR Design Group ("Consultant") and authorize the Chairman of the Board to execute the same on behalf of the District; and
6. Authorize the General Manager to approve and execute change orders to the construction contract as required to complete the project pursuant to state law and the contract documents.

FINANCIAL DATA	Current Fiscal Year:	Next Fiscal Year:	Total Cost:	Ongoing Cost
COST	\$ 500,000	\$ 3,017,500	\$ 3,517,500	\$ 0
NET COUNTY COST	\$ 0	\$ 0	\$ 0	\$ 0
SOURCE OF FUNDS:			Budget Adjustment:	No
\$500,000 District capital project reserves in Park Acquisition and Development –District Fund 33100			For Fiscal Year:	
\$2,800,000 DIF West Trails 30528				

C.E.O. RECOMMENDATION: Approve

SUMMARY

The Riverside County Regional Park and Open-Space District (District) houses its headquarters at the iconic Crestmore Manor located at 4600 Crestmore Road, Jurupa Valley, CA, 92509. In addition to administrative staff offices and a Guest Services center, the headquarters campus includes the Carriage House event area and Garden Room that host a plethora of events including weddings, quinceañeras, corporate training meetings, holiday parties, and various other public, private, and corporate events. The Carriage House has a capacity of up to 200 guests for banquet-style seating or 300 guests in a conference-style arrangement, the Garden Room seats approximately 25 guests, and the outdoor courtyard area can accommodate up to 400 guests.

Over the last several years, more than 80% of available weekend dates (Friday through Sunday) have been reserved well in advance mostly for private social events. Additional space is needed to increase total capacity, accommodate medium-sized events and/or simultaneous functions, and cater to specific facility demands for public, government, and corporate use.

Expansion of the District headquarters campus will include replacing the existing Garden Room, located adjacent to the existing Carriage House, with the proposed 4,129-sf single-story Crestmore Conference Center. This Center will provide a public lobby, improved Guest Services center, restrooms, and a medium-sized conference room. Additional improvements include new sidewalks and paving stones, landscaping, and ancillary improvements such as signage, lighting,

**SUBMITTAL TO THE BOARD OF DIRECTORS RIVERSIDE COUNTY REGIONAL PARK AND
OPEN-SPACE DISTRICT
COUNTY OF RIVERSIDE, STATE OF CALIFORNIA**

and the installation of a trellis in the adjacent outdoor event space to enhance wedding ceremonies and photo opportunities.

IMPACT ON CITIZENS AND BUSINESSES

The increased capacity will provide more opportunities for corporate, private, and governmental groups to utilize the District's high-quality venue a reasonable rate, and additions to the existing facility spaces will enhance its attractiveness for private social events.

CONTRACT HISTORY AND PRICE REASONABLENESS

On March 15, 2016, your honorable Board approved a Consultant Services Agreement between TR Design Group Inc. and the District for design and project management services to expand the event facilities at District Headquarters. TR Design Group Inc. worked with the District to create very detailed plans and specifications to be utilized in a public Request for Bids for construction of the Crestmore Conference Center.

A Notice Inviting Bids for construction of Crestmore Conference Center was advertised with The Press Enterprise on February 3, 2018 and February 10, 2018, and the mandatory pre-bid meeting was held on Thursday, February 15, 2018 at District headquarters.

Three bids were received at the Clerk of the Board on March 6, 2018. After staff review, it was concluded that the low bidder was Woodcliff Corporation for the construction amount of \$3,350,000 and a contingency allowance of \$167,500, a total of \$3,517,500. The District desires to award to and enter into the Construction Contract with Woodcliff Corporation for the construction of the District Headquarters Expansion Project (PKARC-231) which includes construction improvements to Crestmore Conference Center in order to begin construction as soon as possible.

The original agreement with TR Design Group Inc. included both design and project management services with a period of performance that was not to exceed one and a half years, which has since elapsed. Although TR Design Group Inc. fulfilled the design services portion of the agreement, the District still requires their project management services for the duration of this project. Construction is expected to commence in May 2018 and last for at least 270 days. The District wishes to extend the period of performance in its original contract with TR Design Group Inc. to match the construction timeline through completion of this project.

OTHER FISCAL INFORMATION

District Planning staff have estimated the total cost for this project is \$4,039,891, which includes \$381,534 of preliminary expenses incurred to date. Funding sources for this project include DIF allocations of \$2,993,422, and \$1,046,469 from District capital project reserves in its Park Acquisition and Development-District Fund 33100.

**SUBMITTAL TO THE BOARD OF DIRECTORS RIVERSIDE COUNTY REGIONAL PARK AND
OPEN-SPACE DISTRICT
COUNTY OF RIVERSIDE, STATE OF CALIFORNIA**

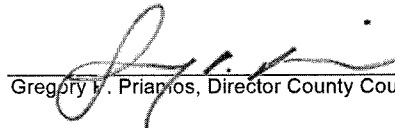
ATTACHMENTS

PKARC – 231 Addendums No. 1 and No. 2

TR Design Amendment No. 1 to Consultant Services Agreement

Construction Contract with Woodcliff Corp and Bonds


Rahini Dasika, Principal Management Analyst 4/18/2018


Gregory V. Priamos, Director County Counsel 4/12/2018

**PARKS DISTRICT HEADQUARTERS EXPANSION PROJECT
FIRST AMENDMENT TO CONSULTANT SERVICES AGREEMENT**

Between
RIVERSIDE COUNTY REGIONAL PARK AND OPEN-SPACE DISTRICT
And
TR DESIGN GROUP, INC.

THIS **FIRST AMENDMENT TO CONSULTANT SERVICES AGREEMENT** for design services for the Park District Headquarters Expansion Project ("1st Amendment") dated April 24, 2018 is entered into by and between the RIVERSIDE COUNTY REGIONAL PARK AND OPEN-SPACE DISTRICT, a special district created pursuant to the California Public Resources Code Div.5, Ch.3, Art.3, ("District") and TR DESIGN GROUP, Inc., a California corporation, ("Consultant"), sometimes collectively referred to as the "Parties".

RECITALS

A. The DISTRICT and Consultant have entered into that certain **Consultant Services Agreement** dated March 15, 2016 (the "Original Agreement") for design services for the Park District Headquarters Expansion pursuant to which District has retained the services of Consultant to design Park District HQ Expansion Project in Riverside County, more particularly described in the Original Agreement.

B. The Original Agreement together with this 1st Amendment are hereinafter collectively referred to herein as the "Agreement".

C. The Parties now desire to amend the Original Agreement to clarify the intention of the Parties concerning the duration of the services to be performed by Consultant and extend the period of performance for services.

NOW THEREFORE, for good and valuable consideration the receipt and adequacy of which is hereby acknowledged by the Parties, the Parties agree as follows:

1. Term of Agreement. Section 2 of the Agreement is hereby amended by adding subsection 2.3 as follows

The Term of this Agreement shall be extended to be effective upon full execution by both Parties, and continue until the construction of the Parks District HQ Expansion Project ("Project") is completed and the notice of completion is recorded by the District, unless the Parties otherwise agree in writing to terminate pursuant to Section 5 of the Agreement. Consultant shall commence performance upon full execution of this Agreement by both Parties and Consultant shall diligently and continuously perform the services thereafter.

The time for completion of the design services to be performed by the Consultant as amended and clarified herein this Section 2 does not in any way authorize any additional payments to Consultant or increase the not-to-exceed payment amount of Compensation provided in Section 3 of the Agreement. The Parties intended for the duration of this Agreement to continue until such time as the recordation of the notice of completion for the Project.

2. CAPITALIZED TERMS. First Amendment to Prevail. Unless defined herein or the context requires otherwise, all capitalized terms herein shall have the meaning defined in the Agreement, as heretofore amended. The provisions of this First Amendment shall prevail over any inconsistency or conflicting provisions of the Agreement, as heretofore amended, and shall supplement the remaining provisions thereof.
3. MISCELLANEOUS. Except as amended or modified herein, all the terms of the Original Agreement shall remain in full force and effect and shall apply with the same force and effect. Subject to the provisions of the Agreement as to assignment, conditions and provisions herein contained shall apply to and bind the heirs, executors, administrators, successors and assigns of the parties hereto. If any provisions of this Amendment or the Agreement shall be determined to be illegal or unenforceable, such determination shall not affect any other provision of the Agreement and all such other provisions shall remain in full force and effect. The language in all parts of the Agreement shall be construed according to its normal and usual meaning and not strictly for or against either Party. Neither this Amendment, nor the Original Agreement, nor any notice nor memorandum regarding the terms hereof, shall be recorded by Consultant.
4. EFFECTIVE DATE. This First Amendment to the Agreement shall not be binding or consummated until its approval by the District Board of Directors and fully executed by the Parties.

///
///
///

[Signature Provisions on Following Page]

INWITNESS WHEREOF, the parties have executed this First Amendment as of the dates written below.

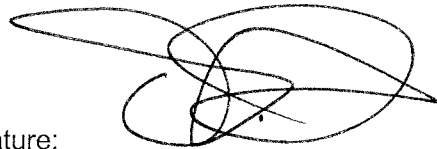
DISTRICT
**RIVERSIDE COUNTY REGIONAL
PARK AND OPEN-SPACE DISTRICT**
4600 Crestmore Rd,
Jurupa Valley, CA 92509

Signature: 
CHUCK WASHINGTON

Chairman, Board of Directors

Dated: 4-24-18

CONSULTANT
TR DESIGN GROUP, INC.
7179 Magnolia Avenue
Riverside, CA 92504

Signature: 

Thomas Riggle
President TR Design Group, Inc.

Dated: 4/12/18

ATTEST:

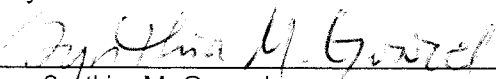
Kecia Harper-Ihem Clerk of
the Board

By: 
Deputy

(Seal)

APPROVED AS TO FORM:

Gregory P. Priamos
County Counsel

By: 
Synthia M. Gunzel
Chief Deputy County Counsel

CONSTRUCTION CONTRACT

This Construction Contract ("Contract") is entered into at Riverside, California on _____, by and between the **Riverside County Regional Park and Open-Space District, a special district**, thereafter called "**DISTRICT**" and Woodcliff Corporation, a California corporation, hereinafter called "**CONTRACTOR**".

1. CONTRACTOR has submitted to DISTRICT its bid for PKARC-231 the Construction Improvements: Park District Headquarters Expansion Project, 4600 Crestmore Road, CA 92509 hereafter called "Project," and all appurtenant work in accordance with the Contract Documents identified below and DISTRICT has awarded the Contract to Contractor for the Project.
2. CONTRACTOR has re-examined and carefully studied its bid and found it to be correct; ascertained that its subcontractors are properly licensed and possess the requisite skill and forces and will enter into agreements containing contractual terms identical to those of this Agreement; examined the site and fully understands all of the Contract Documents; and can do the work in accordance with the Contract Documents for the price set forth in its bid.
3. Contract Documents: The entire contract consists of the following:
 - a. This Construction Contract;
 - b. The Notice Inviting Bids for the Request for Bids for (PKARC-231) the Construction Improvements: Park District Headquarters Expansion project, 4600 Crestmore Road, CA 92509
 - c. The Instructions to Bidders, Bid Form, Bid Bond, Payment Bond, and Performance Bond for the Construction Improvements, all applicable DISTRICT, State and Federal requirements for the Project;
 - d. The General Provisions; Special Provisions (Technical Specifications); plans and drawings; and any addenda issued for the Project;
 - e. Any change orders issued for the Project;
 - f. Any additional or supplemental specifications or drawings issued for the Project; and
 - g. Meeting minutes and any other documents contained in the Project Manual.

The above listed documents are by this reference incorporated herein with like effect as if here set forth in full. Upon the proper issuance of other documents they shall likewise be deemed incorporated.

4. The Work: CONTRACTOR shall do all things necessary to accomplish and complete the work described in the Contract Documents, including but not limited to, Section 5 "General Provision's" and Section 6 of the bid documents, "Special Provisions Technical Specification" and shall commence after receipt of the Notice to Proceed at the time and date specified by the DISTRICT.
5. Period of Performance: The performance period for this Project including all Project submittals, reviews, approvals and actual construction will last for TWO HUNDRED SEVENTY (270) calendar days, and as provided in the Notice to Proceed, including project completion to Substantial Completion.
6. Liquidated Damages: It is agreed by the parties to the contract that time is of the essence and in the event complete delivery is not made within the time or times set forth pursuant to this specification, damage will be sustained by the DISTRICT and that it will be impractical and extremely difficult to ascertain and determine the actual damage which the DISTRICT will sustain in the event of, and by

reason of, such delay. Therefore, it is agreed the successful bidder shall pay to the DISTRICT, as fixed and liquidated damages, and not as a penalty, a dollar sum in the amount of **One Thousand Five Hundred Dollars (\$1,500)** per calendar day for each and every calendar day that delivery of complete Project is in excess of the contract time stipulated until Contractor completes the Project. It is further agreed that in the event such damages are sustained by the DISTRICT, the DISTRICT shall deduct the amount thereof from any moneys due or that may become due to the CONTRACTOR under the contract. Contractor and its Surety shall be liable for the amount thereof pursuant to Government Code Section 53069.85

7. Compensation: The DISTRICT agrees to pay and the CONTRACTOR agrees to accept in full consideration for the performance of all the work not to exceed:

\$ 3,517,500.00

(In Figures)

THREE MILLION FIVE HUNDRED SEVENTEEN THOUSAND FIVE HUNDRED DOLLARS

(In Words)

Please reference the contract breakdown that is outlined below.

A. **BASE BID:** \$ Three million two hundred seventy-thousand dollars (\$ 3,270,000), Provide base bid scope in accordance with the Contract Documents for (PKARC - 231) the Construction Improvements: **Park District Headquarters Expansion Project**, 4600 Crestmore Road, Jurupa Valley, CA 92509 price indicated below:

NOTE: Lowest responsive/responsible bidder will be based on the sum total of the Total Bid (the Base Bid and including all items in the Bid Alternates) to be awarded.

TOTAL BASE BID \$ Three million three hundred fifty-thousand dollars (\$3,350,000), including all applicable taxes, licenses, alternates, allowance, Bonds AND Course of Construction Builders Risk Insurance.

B. **BID ALTERNATES:**

At the DISTRICT's Discretion

ALTERNATE NO. 1 - DECORATIVE PERGOLA; Eliminate the Decorative Entry Pergola located just East of the Conference Center Addition as shown on Site Plan AS-1.1:

DEDUCT: Twenty-four thousand dollars (\$ 24,000)

ALTERNATE NO. 2 – BRIDE'S ROOM AND BREAK ROOM; Eliminate the interior modifications to the Manor, including Break Room, Brides Room, Toilet Room and adjacent exterior concrete ADA ramps on the East and West sides.

DEDUCT: Eight thousand dollars (\$ 8,000)

ALTERNATE NO. 3 - EXTERIOR PAINTING OF CARRIAGE HOUSE AND MANOR; Eliminate exterior painting of the existing buildings.

DEDUCT: Twenty-five thousand dollars (\$ 25,000)

ALTERNATE NO. 4 – FOUNTAIN AREA LANDSCAPING; Eliminate the demolition of the fountain, adjacent paving and landscaping as indicated on Sheets L1.1 and L2.1.

DEDUCT: Thirty-four thousand dollars (\$ 34,000)

ALTERNATE NO. 5 – PARKING LOT ADDITION; Eliminate the 55 Space (17,070 SF) Parking Lot Addition located on the most easterly portion of the site as shown on Sheet AS-1.0. Eliminate the demolition work for this area as indicated on sheet ASD-1.0.

DEDUCT: Twenty-six thousand dollars (\$ 26,000)

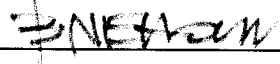
5% CONTINGENCY: One hundred sixty seven thousand five hundred dollars (\$ 167,500)

C. GRAND TOTAL OF BASE BID, ALL BID ALTERNATES, ALLOWANCES and 5% CONTINGENCY OF TOTAL BASE:


Three million five hundred seventeen thousand five hundred dollars (\$ 3,517,500),
including all applicable taxes, licenses, allowances, contingency, and **Bonds AND Course of Construction Builders Risk Insurance.**

IN WITNESS WHEREOF, the parties have executed this Contract as of the date set forth on Page 1 of this Construction Contract.

CONTRACTOR:

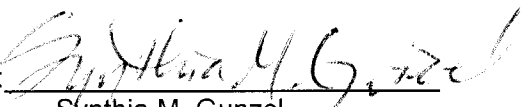
COMPANY NAME: WOODCLIFF CORPORATION
BY: 
NAME: BABAK NEHORAY
TITLE: PRESIDENT
Dated: 04.10.18

**OWNER:
RIVERSIDE COUNTY REGIONAL PARK and
OPEN-SPACE DISTRICT**

By: 
CHUCK WASHINGTON
Chairman
Board of Directors

DATE: 4-24-18

**APPROVED AS TO FORM:
GREGORY P. PRIAMOS
COUNTY COUNSEL**

By: 
Synthia M. Gunzel
Chief Deputy County Counsel

DATE: 4-12-18

**ATTEST:
CLERK OF THE BOARD
KECIA HARPER-IHEM**

By: 
Deputy

PAYMENT BOND

(Public Work - Civil Code Sections 9550 et seq.)

(Page 1 of 2)

BOND NO. 379090P

Premium included in charge for Performance Bond

WHEREAS, the Riverside County Regional Park and Open-Space District ("District") has awarded Construction Contract Number: BID # PKARC -231 ("Contract") to the undersigned WOODCLIFF CORPORATION, as Principal ("Principal") to perform the work ("Work") for the following project: Construction Improvements: Park District Headquarters Expansion Project.

WHEREAS, said Principal is required by the Contract and/or by the California Civil Code Section 9550 et seq. to furnish a payment bond in connection with the Contract;

NOW THEREFORE, we, the Principal and Developers Surety and Indemnity Company ("Surety"), an admitted surety insurer pursuant to Code of Civil Procedure, Section 995.120, are held and firmly bound unto District in the penal sum of Three Million Five Hundred Seventeen Thousand Five Hundred & 00/100 Dollars (\$ 3,517,500.00), this amount being not less than one hundred percent (100%) of the total sum payable by District under the Contract at the time the Contract is awarded by District to the Principal, lawful money of the United States of America, for the payment of which sum well and truly to be made, we, Principal and Surety, bind ourselves, our heirs, executors, administrators, successors and assigns, jointly and severally, firmly by these presents.

THE CONDITION OF THIS OBLIGATION IS SUCH that if Principal, its heirs, executors, administrators, successors, or assigns approved by District, or its subcontractors, of any contracting tier, shall fail to pay any person or persons named in California Civil Code, Section 9554, then Surety will pay for the same, in or to an amount not exceeding the penal amount hereinabove set forth, and also will pay to the prevailing party if suit is brought upon this bond, reasonable attorney's fees as provided in California Civil Code, Section 9564.

Surety, for value received, agrees that no change, extension of time, alteration or addition to the terms of the Contract, or to the Work to be performed thereunder, nor any rescission or attempted rescission of the Contract or this bond, nor any conditions precedent or subsequent in the bond or Contract attempting to limit the right of recovery of any claimant otherwise entitled to recover under the Contract or this bond shall in any way impair or affect Surety's obligation under this bond, and Surety does hereby waive notice of any such changes, extensions of time, alterations or additions.

Surety is not released from liability to those for whose benefit this bond has been given, by reason of any breach of the Contract by District or Principal.

PAYMENT BOND

Page 2 of 2

Surety's obligations hereunder are independent of the obligations of any other surety for the performance of the Contract, and suit may be brought against Surety and such other sureties, joint and severally, or against any one or more of them or against less than all of them, without impairing District's rights against the others.

WOODCLIFF CORPORATION

(Proper name of Principal)

(Corporate Seal of Principal, if Corporation)

By:



Signature of Principal authorized representative

Babak Nehoray

Print or type authorized representative's Name

1849 Sawtelle Blvd., Suite 610, Los Angeles, CA 90025

Print or type Principal's Address

Developers Surety and Indemnity Company

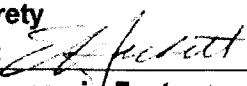
17771 Cowan, Suite 100, Irvine CA 92614

(Corporate Seal of Surety)

Surety

APR 02 2018

By:



Attorney-in-Fact - Edward N. Hackett

(Attach Attorney-in-Fact Certificate and Required Acknowledgments)

Hackett Bonds & Insurance Services

Name and Address of California Agent of Surety

49 Hollyleaf, Aliso Viejo, CA 92656

949-825-6498

Telephone Number of California Agent of Surety

Note: Notary acknowledgment of signatures of Principal and Surety, and Surety's Power of Attorney, must be attached.

CALIFORNIA ALL-PURPOSE CERTIFICATE OF ACKNOWLEDGMENT

State of California

A notary public or other officer completing this certificate verified only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

County of Orange

On APR 02 2018

before me, C. Maestas, Notary Public
(Here insert name and title of the officer)

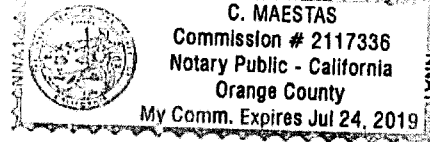
personally appeared Edward N. Hackett

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/~~she/they~~ executed the same in his/~~her/their~~ authorized capacity(ies), and that by his/~~her/their~~ signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.


Signature of Notary Public



(Notary Seal)

ADDITIONAL OPTIONAL INFORMATION

DESCRIPTION OF THE ATTACHED DOCUMENT

Payment Bond No. 379090P
(Title or description of attached document)

(Title or description of attached document continued)

Number of Pages 2 Document Date APR 02 2018

(Additional information)

CAPACITY CLAIMED BY THE SIGNER

- Individual (s)
- Corporate Officer
- (Title)
- Partner(s)
- Attorney-in-Fact
- Trustee(s)
- Other

INSTRUCTIONS FOR COMPLETING THIS FORM

Any acknowledgment completed in California must contain verbiage exactly as appears above in the notary section or a separate acknowledgment form must be properly completed and attached to that document. The only exception is if a document is to be recorded outside of California. In such instances, any alternative acknowledgment verbiage as may be printed on such a document so long as the verbiage does not require the notary to do something that is illegal for a notary in California (i.e. certifying the authorized capacity of the signer). Please check the document carefully for proper notarial wording and attach this form if required.

- State and County information must be the State and County where the document signer(s) personally appeared before the notary public for acknowledgment
- Date of notarization must be the date that the signer(s) personally appeared which must also be the same date the acknowledgment is completed.
- The notary public must print his or her name as it appears within his or her commission followed by a comma and then your title (notary public).
- Print the name(s) of document signer(s) who personally appear at the time of notarization.
- Indicate the correct singular or plural forms by crossing off incorrect forms (i.e. ~~he/she/they~~ is one) or circling the correct forms. Failure to correctly indicate this information may lead to rejection of document recording.
- The notary seal impression must be clear and photographically reproducible. Impression must not cover text or lines. If seal impression smudges, re-seal if a sufficient area permits, otherwise complete a different acknowledgment form.
- Signature of the notary public must match the signature on file with the office of the county clerk
 - Additional information is not required but could help to ensure this acknowledgment is not misused or attached to a different document
 - Indicate title or type of attached document, number of pages and date.
 - Indicate the capacity claimed by the signer. If the claimed capacity is a corporate officer, indicate the title (i.e. CEO, CFO, Secretary).

Securely attach this document to the signed document

**POWER OF ATTORNEY FOR
DEVELOPERS SURETY AND INDEMNITY COMPANY
INDEMNITY COMPANY OF CALIFORNIA
PO Box 19725, IRVINE, CA 92623 (949) 263-3300**

KNOW ALL BY THESE PRESENTS that except as expressly limited, DEVELOPERS SURETY AND INDEMNITY COMPANY and INDEMNITY COMPANY OF CALIFORNIA, do each hereby make, constitute and appoint:

Sean James McCauley Jr., Christine M. Maestas, Edward N. Hackett, jointly or severally

as their true and lawful Attorney(s)-in-Fact, to make, execute, deliver and acknowledge, for and on behalf of said corporations, as sureties, bonds, undertakings and contracts of suretyship giving and granting unto said Attorney(s)-in-Fact full power and authority to do and to perform every act necessary, requisite or proper to be done in connection therewith as each of said corporations could do, but reserving to each of said corporations full power of substitution and revocation, and all of the acts of said Attorney(s)-in-Fact, pursuant to these presents, are hereby ratified and confirmed.

This Power of Attorney is granted and is signed by facsimile under and by authority of the following resolutions adopted by the respective Boards of Directors of DEVELOPERS SURETY AND INDEMNITY COMPANY and INDEMNITY COMPANY OF CALIFORNIA, effective as of January 1st, 2008.

RESOLVED, that a combination of any two of the Chairman of the Board, the President, Executive Vice-President, Senior Vice-President or any Vice President of the corporations be, and that each of them hereby is, authorized to execute this Power of Attorney, qualifying the attorney(s) named in the Power of Attorney to execute, on behalf of the corporations, bonds, undertakings and contracts of suretyship; and that the Secretary or any Assistant Secretary of either of the corporations be, and each of them hereby is, authorized to attest the execution of any such Power of Attorney;

RESOLVED, FURTHER, that the signatures of such officers may be affixed to any such Power of Attorney or to any certificate relating thereto by facsimile, and any such Power of Attorney or certificate bearing such facsimile signatures shall be valid and binding upon the corporations when so affixed and in the future with respect to any bond, undertaking or contract of suretyship to which it is attached.

IN WITNESS WHEREOF, DEVELOPERS SURETY AND INDEMNITY COMPANY and INDEMNITY COMPANY OF CALIFORNIA have severally caused these presents to be signed by their respective officers and attested by their respective Secretary or Assistant Secretary this 6th day of February, 2017.

By: *Daniel Young*
Daniel Young, Senior Vice-President

By: *Mark Lansdon*
Mark Lansdon, Vice-President



A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of Orange

On February 6, 2017 before me, Lucille Raymond, Notary Public
Date Here Insert Name and Title of the Officer

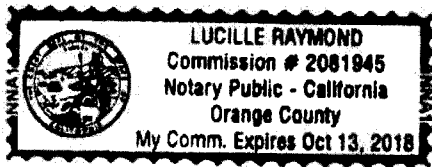
personally appeared Daniel Young and Mark Lansdon
Name(s) of Signer(s)

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature *Lucille Raymond*
Lucille Raymond, Notary Public



Place Notary Seal Above

CERTIFICATE

The undersigned, as Secretary or Assistant Secretary of DEVELOPERS SURETY AND INDEMNITY COMPANY or INDEMNITY COMPANY OF CALIFORNIA, does hereby certify that the foregoing Power of Attorney remains in full force and has not been revoked and, furthermore, that the provisions of the resolutions of the respective Boards of Directors of said corporations set forth in the Power of Attorney are in force as of the date of this Certificate.

This Certificate is executed in the City of Irvine, California, this _____ day of _____

By: *Cassie J. Berrisford*
Cassie J. Berrisford, Assistant Secretary

APR 0 2 2018



BOND NO. 379090P
PREMIUM: \$36,131.00
Premium charged is for the contract term and is
subject to adjustments based on contract price.

PERFORMANCE BOND

(Public Work – Public Contract Code Section 20129 (b))

(Page 1 of 3)

WHEREAS, the Riverside County Regional Park and Open-Space District ("District") has awarded Construction Contract Number: PKARC -231 ("Contract") to the undersigned WOODCLIFF CORPORATION, as Principal ("Principal") to perform the work ("Work") for the following project: Construction Improvements: Park District Headquarters Expansion Project, which Contract is by this reference hereby incorporated herein and made a part hereof;

WHEREAS, said Principal is required by the Contract and/or by California Public Contract Code, Section 20129 (b) to furnish a performance bond for the faithful performance of the Contract;

NOW THEREFORE, we, the Principal and Developers Surety and Indemnity Company ("Surety"), an admitted surety insurer pursuant to Code of Civil Procedure, Section 995.120, are held and firmly bound unto District in the penal sum of Three Million Five Hundred Seventeen Thousand Five Hundred & 00/100 Dollars (\$ 3,517,500.00-----), this amount being not less than one hundred percent (100%) of the total sum payable by District under the Contract at the time the Contract is awarded by District to the Principal, lawful money of the United States of America, for the payment of which sum well and truly to be made, we, Principal and Surety, bind ourselves, our heirs, executors, administrators, successors and assigns, jointly and severally, firmly by these presents.

THE CONDITION OF THIS OBLIGATION IS SUCH that if Principal, its heirs, executors, administrators, successors or assigns approved by District, shall in all things stand to and abide by and well and truly keep and perform all the undertakings, terms, covenants, conditions and agreements in the Contract, including, without limitation, all obligations during the original term and any extensions thereof as may be granted by District, with or without notice to Surety thereof (including, without limitation, the obligation for Principal to pay liquidated damages), all obligations during the period of any warranties and guarantees required under the Contract and all other obligations otherwise arising under the terms of the Contract (such as, but not limited to, obligations of indemnification), all within the time and in the manner therein designated in all respects according to their true intent and meaning, then this obligation shall become null and void; otherwise, it shall be and remain in full force and effect.

Whenever Principal shall be, and is declared by District to be, in default under the Contract, the Surety shall promptly either remedy the default, or, if the Contract is terminated by District or the Principal's performance of the Work is discontinued, Surety shall promptly complete the Contract through its agents or independent contractors, subject to acceptance of such agents or independent contractors by District

PERFORMANCE BOND
(Page 2 of 3)

as hereinafter set forth, in accordance with its terms and conditions and to pay and perform all obligations of Principal under the Contract (including, without limitation, all obligations with respect to payment of liquidated damages) less the "Balance of the Contract Price" (as hereinafter defined); subject to the penal amount of this bond as set forth above. The term "Balance of the Contract Price," as used in this paragraph, shall mean the total amount payable to Principal by District under the Contract and any modifications thereto, less the amount previously paid by District to the Principal and less amounts that District is authorized to withhold under the terms of the Contract.

If District determines that completion of the Contract by Surety or its agents or independent contractors must be performed by a lowest responsible bidder selected pursuant to a competitive bidding process, then Surety shall comply with such processes in accordance with the requirements of District and applicable laws. Unless otherwise approved by District, in the exercise of its sole and absolute discretion, Surety shall not utilize Principal in completing performance of the Work.

No right of action shall accrue on this bond to or for the use of any person or entity other than District or its successors or assigns.

In the event any legal proceeding or arbitration is brought upon this bond by District and judgment or award is entered in favor of District as the prevailing party, Surety shall pay all costs and attorney's fees incurred by the District.

Correspondence or claims relating to this bond shall be sent to Surety at the address set forth below.

Surety, for value received, agrees that no change, extension of time, alteration or addition to the terms of the Contract, or to the work to be performed thereunder, shall in any way impair or affect Surety's obligation under this bond, and Surety does hereby waive notice of any such changes, extensions of time, alterations or additions.

(Remainder of page intentionally left blank)

PERFORMANCE BOND
(Page 3 of 3)

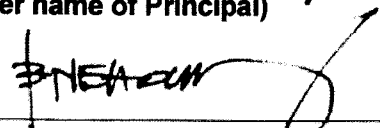
Surety's obligations hereunder are independent of the obligations of any other surety for the performance of the Contract, and suit may be brought against Surety and such other sureties, joint and severally, or against any one or more of them or against less than all of them, without impairing District's rights against the others.

WOODCLIFF CORPORATION

(Proper name of Principal)

(Corporate Seal of Principal, if Corporation)

By:



Signature of Principal authorized representative

Babak Nehoray .

Print or type authorized representative's Name

1849 Sawtelle Blvd., Suite 610, Los Angeles, CA 90025

Print or type Principal's Address

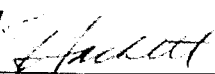
Developers Surety and Indemnity Company

17771 Cowan, Suite 100, Irvine CA 92614

(Corporate Seal of Surety)

Surety

By:



APR 0 2 2018

Attorney-in-Fact - Edward N. Hackett

(Attach Attorney-in-Fact Certificate and Required Acknowledgments)

Hackett Bonds & Insurance Services

Name and Address of California Agent of Surety

49 Hollyleaf, Aliso Viejo, CA 92656

949-825-6498

Telephone Number of California Agent of Surety

Note: Notary acknowledgment of signatures of Principal and Surety, and Surety's Power of Attorney, must be included or attached.

CALIFORNIA ALL-PURPOSE CERTIFICATE OF ACKNOWLEDGMENT

State of California

A notary public or other officer completing this certificate verified only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

County of Orange

On APR 02 2018 before me,

C. Maestas, Notary Public

(Here insert name and title of the officer)

personally appeared

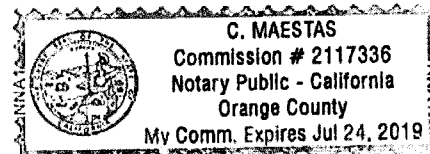
Edward N. Hackett

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

C. Maestas
(Signature of Notary Public)



(Notary Seal)

ADDITIONAL OPTIONAL INFORMATION

DESCRIPTION OF THE ATTACHED DOCUMENT

Performance Bond No. 379090P
(Title or description of attached document)

(Title or description of attached document continued)

Number of Pages 3 Document Date APR 02 2018

(Additional information)

CAPACITY CLAIMED BY THE SIGNER

- Individual (s)
- Corporate Officer
- (Title)
- Partner(s)
- Attorney-in-Fact
- Trustee(s)
- Other

INSTRUCTIONS FOR COMPLETING THIS FORM

Any acknowledgment completed in California must contain verbiage exactly as appears above in the notary section or a separate acknowledgment form must be properly completed and attached to this document. The only exception is if a document is to be recorded outside of California. In such instances, any alternative acknowledgment verbiage as may be printed on such a document so long as the change does not require the notary to do something that is illegal for a notary in California. It is certifying the authorized capacity of the signer. Please check the document carefully for proper notarial wording and attach this form if required.

- State and County information must be the State and County where the document signer(s) personally appeared before the notary public for acknowledgment
- Date of notarization must be the date that the signer(s) personally appeared which must also be the same date the acknowledgment is completed.
- The notary public must print his or her name as it appears within his or her commission followed by a comma and then your title (notary public).
- Print the name(s) of document signer(s) who personally appear at the time of notarization
- Indicate the correct singular or plural forms by crossing off incorrect forms (i.e. ~~he/she/they~~ is are) or circling the correct forms. Failure to correctly indicate this information may lead to rejection of document recording.
- The notary seal impression must be clear and photographically reproducible. Impression must not cover text or lines. If seal impression smudges, re-seal if a sufficient area permits, otherwise complete a different acknowledgment form.
- Signature of the notary public must match the signature on file with the office of the county clerk
 - Additional information is not required but could help to ensure this acknowledgment is not misused or attached to a different document
 - Indicate title or type of attached document, number of pages and date
 - Indicate the capacity claimed by the signer. If the claimed capacity is a corporate officer, indicate the title (i.e. CEO, CFO, Secretary).

Securely attach this document to the signed document

**POWER OF ATTORNEY FOR
DEVELOPERS SURETY AND INDEMNITY COMPANY
INDEMNITY COMPANY OF CALIFORNIA
PO Box 19725, IRVINE, CA 92623 (949) 263-3300**

KNOW ALL BY THESE PRESENTS that except as expressly limited, DEVELOPERS SURETY AND INDEMNITY COMPANY and INDEMNITY COMPANY OF CALIFORNIA, do each hereby make, constitute and appoint:

Sean James McCauley Jr., Christine M. Maestas, Edward N. Hackett, jointly or severally

as their true and lawful Attorney(s)-in-Fact, to make, execute, deliver and acknowledge, for and on behalf of said corporations, as sureties, bonds, undertakings and contracts of suretyship giving and granting unto said Attorney(s)-in-Fact full power and authority to do and to perform every act necessary, requisite or proper to be done in connection therewith as each of said corporations could do, but reserving to each of said corporations full power of substitution and revocation, and all of the acts of said Attorney(s)-in-Fact, pursuant to these presents, are hereby ratified and confirmed.

This Power of Attorney is granted and is signed by facsimile under and by authority of the following resolutions adopted by the respective Boards of Directors of DEVELOPERS SURETY AND INDEMNITY COMPANY and INDEMNITY COMPANY OF CALIFORNIA, effective as of January 1st, 2008.

RESOLVED, that a combination of any two of the Chairman of the Board, the President, Executive Vice-President, Senior Vice-President or any Vice President of the corporations be, and that each of them hereby is, authorized to execute this Power of Attorney, qualifying the attorney(s) named in the Power of Attorney to execute, on behalf of the corporations, bonds, undertakings and contracts of suretyship; and that the Secretary or any Assistant Secretary of either of the corporations be, and each of them hereby is, authorized to attest the execution of any such Power of Attorney;

RESOLVED, FURTHER, that the signatures of such officers may be affixed to any such Power of Attorney or to any certificate relating thereto by facsimile, and any such Power of Attorney or certificate bearing such facsimile signatures shall be valid and binding upon the corporations when so affixed and in the future with respect to any bond, undertaking or contract of suretyship to which it is attached.

IN WITNESS WHEREOF, DEVELOPERS SURETY AND INDEMNITY COMPANY and INDEMNITY COMPANY OF CALIFORNIA have severally caused these presents to be signed by their respective officers and attested by their respective Secretary or Assistant Secretary this 6th day of February, 2017.

By: *Daniel Young*
Daniel Young, Senior Vice-President

By: *Mark Lansdon*
Mark Lansdon, Vice-President



A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of Orange

On February 6, 2017 before me, Lucille Raymond, Notary Public
Date Here Insert Name and Title of the Officer

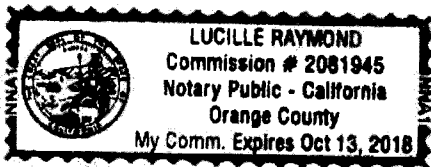
personally appeared Daniel Young and Mark Lansdon
Name(s) of Signer(s)

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature *Lucille Raymond*
Lucille Raymond, Notary Public



Place Notary Seal Above

CERTIFICATE

The undersigned, as Secretary or Assistant Secretary of DEVELOPERS SURETY AND INDEMNITY COMPANY or INDEMNITY COMPANY OF CALIFORNIA, does hereby certify that the foregoing Power of Attorney remains in full force and has not been revoked and, furthermore, that the provisions of the resolutions of the respective Boards of Directors of said corporations set forth in the Power of Attorney are in force as of the date of this Certificate.

This Certificate is executed in the City of Irvine, California, this _____ day of _____

By: *Cassie J. Harrisford*
Cassie J. Harrisford, Assistant Secretary

APR 0 2 2018





- Company Profile
- Company Search
- Company Search Results
- Company Information
- Old Company Names
- Agent for Service
- Reference Information
- NAIC Group List
- Lines of Business
- Workers' Compensation
- Complaint and Request for Action/Appeals
- Contact Information
- Financial Statements PDF's
 - Annual Statements
 - Quarterly Statements
- Company Complaint
 - Company Performance & Comparison Data
 - Company Enforcement Action
 - Composite Complaints Studies
- Additional Info
 - Find A Company Representative In Your Area
 - View Financial Disclaimer

COMPANY PROFILE

Company Information

DEVELOPERS SURETY AND INDEMNITY COMPANY

**17771 COWAN STE 100
IRVINE, CA 92614**

Old Company Names

Effective Date

Agent For Service

KARISSA LOWRY
2710 GATEWAY OAKS DRIVE
SUITE 150N
SACRAMENTO CA 95833

Reference Information

NAIC #:	12718
California Company ID #:	4606-0
Date Authorized in California:	08/30/1999
License Status:	UNLIMITED-NORMAL
Company Type:	Property & Casualty
State of Domicile:	CALIFORNIA

back to top

NAIC Group List

NAIC Group #: 2538 AmTrust NGH Grp

Lines Of Business

The company is authorized to transact business within these lines of insurance. For an explanation of any of these terms, please refer to the glossary.

- AIRCRAFT
- AUTOMOBILE
- BOILER AND MACHINERY
- BURGLARY
- COMMON CARRIER LIABILITY
- CREDIT
- DISABILITY
- FIRE
- LEGAL INSURANCE
- LIABILITY
- MARINE
- MISCELLANEOUS
- PLATE GLASS

**RIVERSIDE COUNTY REGIONAL
PARK AND OPEN SPACE DISTRICT
HQ Expansion Project
RFP #PKARC-231**



**ADDENDUM NO. 1
February 13, 2018**

CERTIFICATION OF RECEIPT OF ADDENDUM

I certify that I have received this addendum on behalf of the company listed below.

Signed: _____ Dated: _____

Name and title: _____

Company: _____

ADDENDUM NO. 1
TO RFP #PKARC-231

1.0 This addendum is considered to be part of the Request for Bid (RFB). All other terms of the RFB remain unchanged and in effect. This addendum is intended to provide additional information and/or to change requirements in the above referenced RFB. Any information contained herein will be considered part of the RFB and as such will be used in the evaluation of the bid responses. Attention all potential bidders, if you have already submitted your proposal prior to the bid closing date, please review this addendum and re-submit your bid response, should this addendum modify your initial bid response.

2.0 To verify that all Vendors have received a copy of this addendum, please sign the cover page of this addendum and return it with your Bid to:

Riverside County Regional Park and
Open-Space District
Attn: RFB# PKARC-187
4600 Crestmore RD
Jurupa Valley, CA 92509

Email: jamgarcia@rivco.org
Phone: 951-955-4726

3.0 Changes to Bid Form

The following pages were modified:

ITEM 1: Project Plans, Replace sheet T-1.0 Title Sheet in its entirety as contained herein:

- A. Add Sheet E-2.3
- B. Add Sheet E-3.0

ITEM 2: Project Plans, Replace sheet A-1.0 Conference Center Floor Plan in its entirety as contained herein:

- A. Add (2) Two Audio Video Cabinets per detail 1/A-9.2

ITEM 3: Project Plans, Replace sheet A-5.2 Wall Sections in its entirety as contained herein:

- A. Add Fire Safing Detail #7.

ITEM 4: Project Plans, Replace sheet A-7.1 Interior Elevations in its entirety as contained herein:

- A. Add Audio Video Cabinet Elevations.

ITEM 5: Project Plans, Replace sheet A-9.2 Casework Details in its entirety as contained herein:

- A. Add Audio Video Cabinet Detail #1.

ITEM 6: Project Plans, Replace sheet P2.1 Floor Plan in its entirety as contained herein:

- A. Revised layout in Storage Room 108.

ITEM 7: Project Plans, Replace sheet E-2.3 Signal Plan in its entirety as contained herein:

- A. Add line voltage and low voltage work as indicated.

ITEM 8: Project Plans, Add sheet E-3.0 Carriage House Audio Video Infrastructure Plan as contained herein:

- A. Add line voltage work as indicated.
- B. Remove and replace drywall as indicated.
- C. Add installation of projection screens.
- D. Add 4' long Audio Video Cabinet 1/A-9.2.

END OF ADDENDUM

CONSULTANT:

APPLICANT:

 BIRMINGHAM COUNTY REGIONAL
 PARK AND OPENSOURCE DISTRICT
 4400 CHESTNUT ROAD
 BIRMINGHAM, CA 35209
 205.975.4200

PROJECT:
 BIRMINGHAM COUNTY REGIONAL
 PARKS HEADQUARTERS
 EXPANSION
 4400 CHESTNUT ROAD
 BIRMINGHAM, CA 35209

CONFERENCE CENTER
 FLOOR PLAN

 2017 THE DESIGN GROUP,
 INC. ALL RIGHTS RESERVED.

DATE: 11/17/17
 DRAWN BY: JSM
 CHECKED BY: JSM
 APPROVED BY: JSM

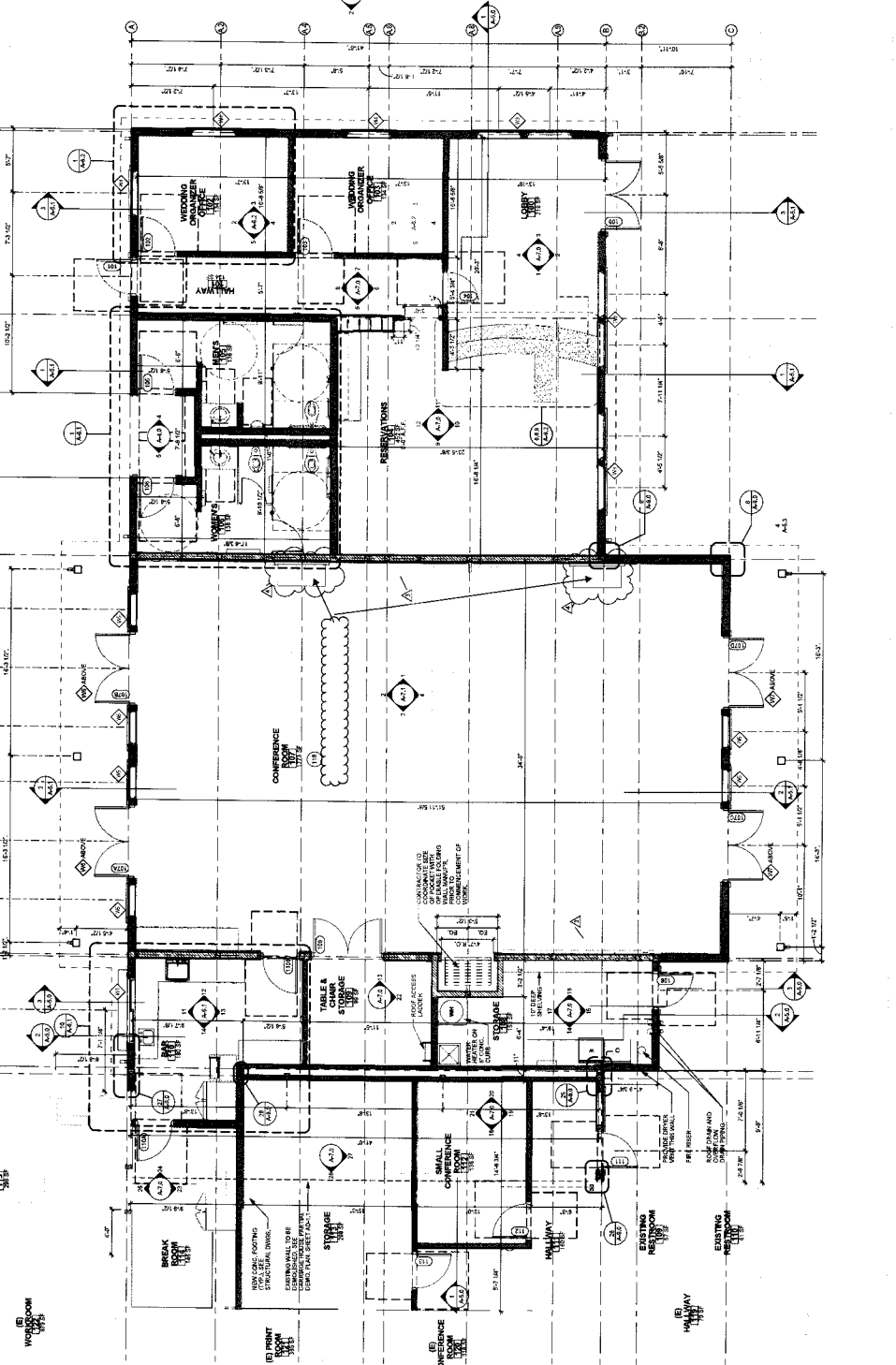
PRINTED: 2/2/2018
 DRAWN BY: JSM
 DATE: 11/17/17
 SCALE: AS SHOWN
 SHEET NO: **A-1.0**

GENERAL NOTES

1. ALL EXTERIOR WALLS SHALL BE 2"X8" STUDS SET 16" ON CENTER WITH 1/2" GYPSUM BOARD ON BOTH SIDES. EXTERIOR WALLS SHALL BE FINISHED WITH STUCCO OR SIMILAR FINISH. ALL INTERIOR WALLS SHALL BE 5/8" GYPSUM BOARD ON BOTH SIDES OF 2"X4" STUDS SET 16" ON CENTER. ALL INTERIOR WALLS SHALL BE FINISHED WITH PLASTER OR GYPSUM BOARD AND FINISH AS NOTED.
2. ALL INTERIOR WALLS SHALL BE FINISHED WITH PLASTER OR GYPSUM BOARD AND FINISH AS NOTED.
3. ALL INTERIOR WALLS SHALL BE FINISHED WITH PLASTER OR GYPSUM BOARD AND FINISH AS NOTED.
4. ALL INTERIOR WALLS SHALL BE FINISHED WITH PLASTER OR GYPSUM BOARD AND FINISH AS NOTED.
5. ALL INTERIOR WALLS SHALL BE FINISHED WITH PLASTER OR GYPSUM BOARD AND FINISH AS NOTED.
6. ALL INTERIOR WALLS SHALL BE FINISHED WITH PLASTER OR GYPSUM BOARD AND FINISH AS NOTED.
7. ALL INTERIOR WALLS SHALL BE FINISHED WITH PLASTER OR GYPSUM BOARD AND FINISH AS NOTED.
8. ALL INTERIOR WALLS SHALL BE FINISHED WITH PLASTER OR GYPSUM BOARD AND FINISH AS NOTED.
9. ALL INTERIOR WALLS SHALL BE FINISHED WITH PLASTER OR GYPSUM BOARD AND FINISH AS NOTED.
10. ALL INTERIOR WALLS SHALL BE FINISHED WITH PLASTER OR GYPSUM BOARD AND FINISH AS NOTED.
11. ALL INTERIOR WALLS SHALL BE FINISHED WITH PLASTER OR GYPSUM BOARD AND FINISH AS NOTED.
12. ALL INTERIOR WALLS SHALL BE FINISHED WITH PLASTER OR GYPSUM BOARD AND FINISH AS NOTED.
13. ALL INTERIOR WALLS SHALL BE FINISHED WITH PLASTER OR GYPSUM BOARD AND FINISH AS NOTED.
14. ALL INTERIOR WALLS SHALL BE FINISHED WITH PLASTER OR GYPSUM BOARD AND FINISH AS NOTED.
15. ALL INTERIOR WALLS SHALL BE FINISHED WITH PLASTER OR GYPSUM BOARD AND FINISH AS NOTED.
16. ALL INTERIOR WALLS SHALL BE FINISHED WITH PLASTER OR GYPSUM BOARD AND FINISH AS NOTED.
17. ALL INTERIOR WALLS SHALL BE FINISHED WITH PLASTER OR GYPSUM BOARD AND FINISH AS NOTED.
18. ALL INTERIOR WALLS SHALL BE FINISHED WITH PLASTER OR GYPSUM BOARD AND FINISH AS NOTED.
19. ALL INTERIOR WALLS SHALL BE FINISHED WITH PLASTER OR GYPSUM BOARD AND FINISH AS NOTED.
20. ALL INTERIOR WALLS SHALL BE FINISHED WITH PLASTER OR GYPSUM BOARD AND FINISH AS NOTED.

WALL LEGEND

	1/2" GYPSUM BOARD ON BOTH SIDES OF 2"X4" STUDS SET 16" ON CENTER WITH STUCCO OR SIMILAR FINISH ON EXTERIOR.
	5/8" GYPSUM BOARD ON BOTH SIDES OF 2"X4" STUDS SET 16" ON CENTER WITH PLASTER OR GYPSUM BOARD AND FINISH AS NOTED ON INTERIOR.
	1" GYPSUM BOARD ON BOTH SIDES OF 2"X4" STUDS SET 16" ON CENTER WITH PLASTER OR GYPSUM BOARD AND FINISH AS NOTED ON INTERIOR.
	1 1/2" GYPSUM BOARD ON BOTH SIDES OF 2"X4" STUDS SET 16" ON CENTER WITH PLASTER OR GYPSUM BOARD AND FINISH AS NOTED ON INTERIOR.
	2" GYPSUM BOARD ON BOTH SIDES OF 2"X4" STUDS SET 16" ON CENTER WITH PLASTER OR GYPSUM BOARD AND FINISH AS NOTED ON INTERIOR.
	2 1/2" GYPSUM BOARD ON BOTH SIDES OF 2"X4" STUDS SET 16" ON CENTER WITH PLASTER OR GYPSUM BOARD AND FINISH AS NOTED ON INTERIOR.
	3" GYPSUM BOARD ON BOTH SIDES OF 2"X4" STUDS SET 16" ON CENTER WITH PLASTER OR GYPSUM BOARD AND FINISH AS NOTED ON INTERIOR.
	4" GYPSUM BOARD ON BOTH SIDES OF 2"X4" STUDS SET 16" ON CENTER WITH PLASTER OR GYPSUM BOARD AND FINISH AS NOTED ON INTERIOR.
	5" GYPSUM BOARD ON BOTH SIDES OF 2"X4" STUDS SET 16" ON CENTER WITH PLASTER OR GYPSUM BOARD AND FINISH AS NOTED ON INTERIOR.
	6" GYPSUM BOARD ON BOTH SIDES OF 2"X4" STUDS SET 16" ON CENTER WITH PLASTER OR GYPSUM BOARD AND FINISH AS NOTED ON INTERIOR.
	8" GYPSUM BOARD ON BOTH SIDES OF 2"X4" STUDS SET 16" ON CENTER WITH PLASTER OR GYPSUM BOARD AND FINISH AS NOTED ON INTERIOR.
	10" GYPSUM BOARD ON BOTH SIDES OF 2"X4" STUDS SET 16" ON CENTER WITH PLASTER OR GYPSUM BOARD AND FINISH AS NOTED ON INTERIOR.
	12" GYPSUM BOARD ON BOTH SIDES OF 2"X4" STUDS SET 16" ON CENTER WITH PLASTER OR GYPSUM BOARD AND FINISH AS NOTED ON INTERIOR.
	14" GYPSUM BOARD ON BOTH SIDES OF 2"X4" STUDS SET 16" ON CENTER WITH PLASTER OR GYPSUM BOARD AND FINISH AS NOTED ON INTERIOR.
	16" GYPSUM BOARD ON BOTH SIDES OF 2"X4" STUDS SET 16" ON CENTER WITH PLASTER OR GYPSUM BOARD AND FINISH AS NOTED ON INTERIOR.
	18" GYPSUM BOARD ON BOTH SIDES OF 2"X4" STUDS SET 16" ON CENTER WITH PLASTER OR GYPSUM BOARD AND FINISH AS NOTED ON INTERIOR.
	20" GYPSUM BOARD ON BOTH SIDES OF 2"X4" STUDS SET 16" ON CENTER WITH PLASTER OR GYPSUM BOARD AND FINISH AS NOTED ON INTERIOR.
	22" GYPSUM BOARD ON BOTH SIDES OF 2"X4" STUDS SET 16" ON CENTER WITH PLASTER OR GYPSUM BOARD AND FINISH AS NOTED ON INTERIOR.
	24" GYPSUM BOARD ON BOTH SIDES OF 2"X4" STUDS SET 16" ON CENTER WITH PLASTER OR GYPSUM BOARD AND FINISH AS NOTED ON INTERIOR.
	26" GYPSUM BOARD ON BOTH SIDES OF 2"X4" STUDS SET 16" ON CENTER WITH PLASTER OR GYPSUM BOARD AND FINISH AS NOTED ON INTERIOR.
	28" GYPSUM BOARD ON BOTH SIDES OF 2"X4" STUDS SET 16" ON CENTER WITH PLASTER OR GYPSUM BOARD AND FINISH AS NOTED ON INTERIOR.
	30" GYPSUM BOARD ON BOTH SIDES OF 2"X4" STUDS SET 16" ON CENTER WITH PLASTER OR GYPSUM BOARD AND FINISH AS NOTED ON INTERIOR.



1 FLOOR PLAN - NEW CONFERENCE CENTER
 SCALE: 1/8" = 1'-0"

CONSULTANT:
 3M
 3M
 3M

APPLICANT:

 BAYVIEW DISTRICT
 PARK AND OPENSPACE DISTRICT
 14300 CANTON ROAD
 BAYVIEW, CA 94026
 TEL: 415.451.7179

PROJECT:
 BAYVIEW COUNTY REGIONAL
 COMMUNITIES
 EXPANSION
 14300 CANTON ROAD
 BAYVIEW, CA 94026

WALL SECTIONS


 2017 THE DESIGN GROUP
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL
 NO. 45877
 EXPIRES 12/31/19
 10/17/17
 10/17/17
 10/17/17
 10/17/17

PRINTED: 2/6/2018
 DRAWN: SS
 CHECK: DB
 SCALE: As noted
 SHEET NO: A-5.2

3M™ Fire Barrier Moldable Putty Pads MPP+

1. Product Description
 3M™ Fire Barrier Moldable Putty Pads MPP+ are fire-rated, moldable putty pads used to seal gaps and joints in fire-rated walls and ceilings. They are designed to provide a fire-resistant barrier in applications where traditional fire caulks and sealants are not suitable. MPP+ is available in two grades: MPP+ and MPP+ Plus. MPP+ Plus is a higher performance product that provides a fire rating of 2 hours. MPP+ provides a fire rating of 1 hour. Both grades are suitable for use in fire-rated walls and ceilings. MPP+ is a fire-rated, moldable putty pad used to seal gaps and joints in fire-rated walls and ceilings. It is designed to provide a fire-resistant barrier in applications where traditional fire caulks and sealants are not suitable. MPP+ is available in two grades: MPP+ and MPP+ Plus. MPP+ Plus is a higher performance product that provides a fire rating of 2 hours. MPP+ provides a fire rating of 1 hour. Both grades are suitable for use in fire-rated walls and ceilings.

2. Applications
 MPP+ is used to seal gaps and joints in fire-rated walls and ceilings. It is used in applications where traditional fire caulks and sealants are not suitable. MPP+ is used to seal gaps and joints in fire-rated walls and ceilings. It is used in applications where traditional fire caulks and sealants are not suitable.

3. Specifications
 MPP+ is a fire-rated, moldable putty pad used to seal gaps and joints in fire-rated walls and ceilings. It is designed to provide a fire-resistant barrier in applications where traditional fire caulks and sealants are not suitable. MPP+ is available in two grades: MPP+ and MPP+ Plus. MPP+ Plus is a higher performance product that provides a fire rating of 2 hours. MPP+ provides a fire rating of 1 hour. Both grades are suitable for use in fire-rated walls and ceilings.

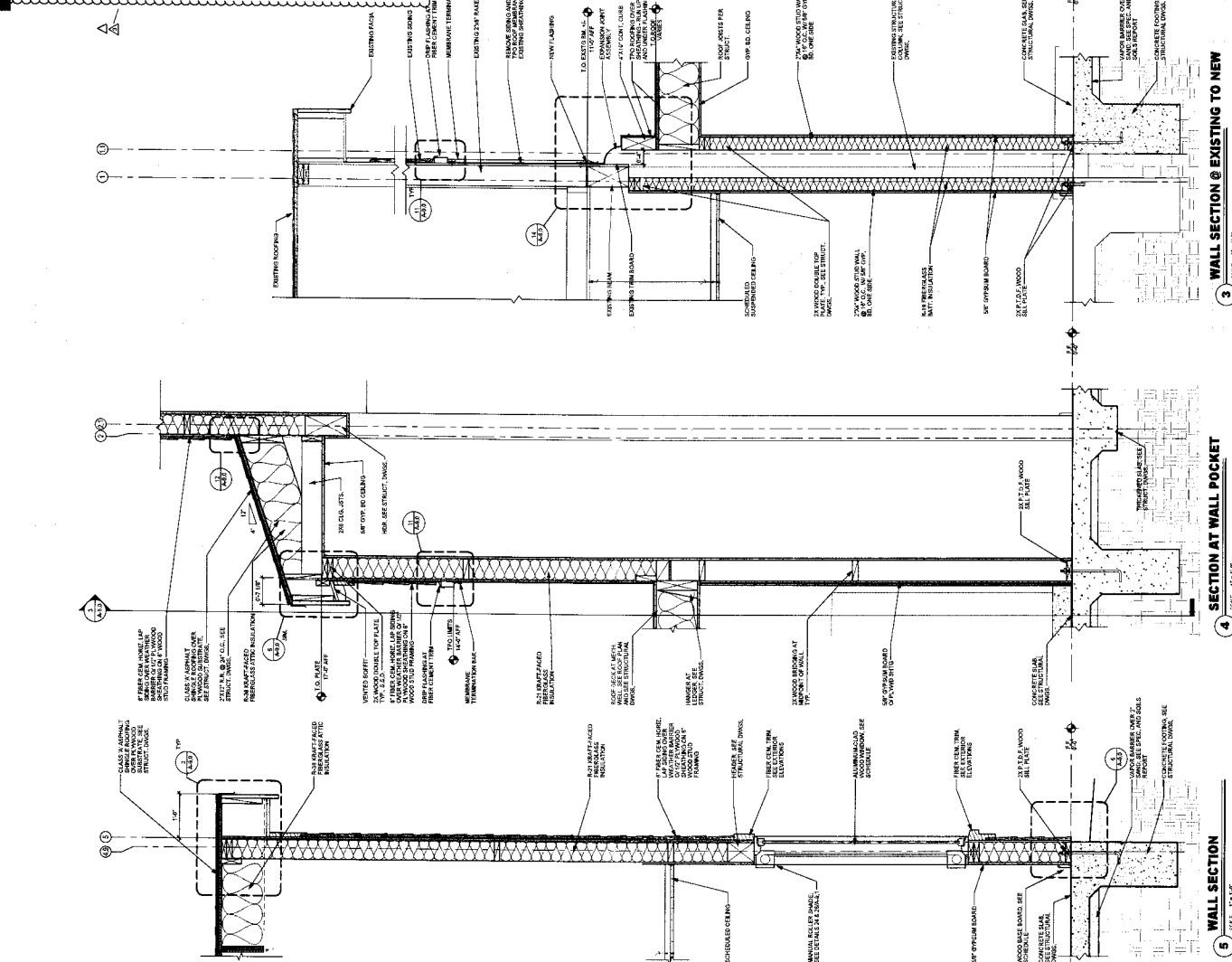
4. Performance & Physical Properties
 MPP+ is a fire-rated, moldable putty pad used to seal gaps and joints in fire-rated walls and ceilings. It is designed to provide a fire-resistant barrier in applications where traditional fire caulks and sealants are not suitable. MPP+ is available in two grades: MPP+ and MPP+ Plus. MPP+ Plus is a higher performance product that provides a fire rating of 2 hours. MPP+ provides a fire rating of 1 hour. Both grades are suitable for use in fire-rated walls and ceilings.

5. Packaging, Storage, Shelf Life
 MPP+ is a fire-rated, moldable putty pad used to seal gaps and joints in fire-rated walls and ceilings. It is designed to provide a fire-resistant barrier in applications where traditional fire caulks and sealants are not suitable. MPP+ is available in two grades: MPP+ and MPP+ Plus. MPP+ Plus is a higher performance product that provides a fire rating of 2 hours. MPP+ provides a fire rating of 1 hour. Both grades are suitable for use in fire-rated walls and ceilings.

6. Installation Techniques
 MPP+ is a fire-rated, moldable putty pad used to seal gaps and joints in fire-rated walls and ceilings. It is designed to provide a fire-resistant barrier in applications where traditional fire caulks and sealants are not suitable. MPP+ is available in two grades: MPP+ and MPP+ Plus. MPP+ Plus is a higher performance product that provides a fire rating of 2 hours. MPP+ provides a fire rating of 1 hour. Both grades are suitable for use in fire-rated walls and ceilings.

7. Availability
 MPP+ is a fire-rated, moldable putty pad used to seal gaps and joints in fire-rated walls and ceilings. It is designed to provide a fire-resistant barrier in applications where traditional fire caulks and sealants are not suitable. MPP+ is available in two grades: MPP+ and MPP+ Plus. MPP+ Plus is a higher performance product that provides a fire rating of 2 hours. MPP+ provides a fire rating of 1 hour. Both grades are suitable for use in fire-rated walls and ceilings.

8. Self-healing Information
 MPP+ is a fire-rated, moldable putty pad used to seal gaps and joints in fire-rated walls and ceilings. It is designed to provide a fire-resistant barrier in applications where traditional fire caulks and sealants are not suitable. MPP+ is available in two grades: MPP+ and MPP+ Plus. MPP+ Plus is a higher performance product that provides a fire rating of 2 hours. MPP+ provides a fire rating of 1 hour. Both grades are suitable for use in fire-rated walls and ceilings.



FIRE SAFING
 3M
 3M
 3M



ARCHITECTURE
C 951.742.7179

9772 MAGUIA AVE
IRVINE, CA 92618

WWW.ARCADIAAIA.COM

CONSULTANT:

APPLICANT:



RIVERSIDE COUNTY REGIONAL
PARKS AND OPEN SPACE DISTRICT

4600 CRESTMORE ROAD
IRVINE, CA 92618

PROJECT:

RIVERSIDE COUNTY REGIONAL
PARKS HEADQUARTERS
EXPANSION

4600 CRESTMORE ROAD
IRVINE, CA 92618

CONFERENCE CENTER
INTERIOR ELEVATIONS



2017 DESIGN GROUP, INC.
ALL RIGHTS RESERVED

DATE: 08/05/16
SCALE: 1/8" = 1'-0"

PRINTED: 8/12/2016

DRAWN: SS

JOSH

DATE: 08/05/16

SCALE: 1/8" = 1'-0"

SHEET NO.:

A-7.1

KEYNOTES

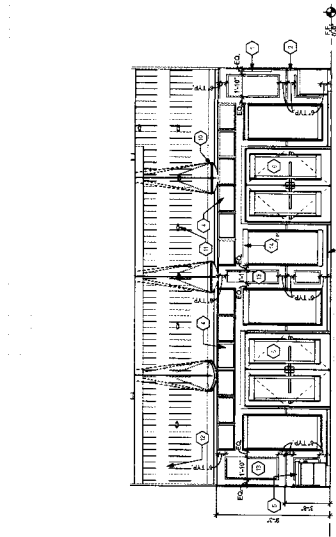
- 1 WALL MOUNTED VIDEO MONITOR
- 2 5/8" X 1/2" PLYWOOD CABINET
- 3 1/2" X 1/2" PLYWOOD CABINET
- 4 CURTAIN WALLS PER SCHEDULE
- 5 LOWER PANELS CASWORK WITH LAMINATE FINISH
- 6 EXTENSION CASWORK PER SCHEDULE
- 7 OPERABLE FLOOR PARTITION
- 8 INTERIOR TILUM WOOD DOOR
- 9 ACoustICAL WALL PANEL
- 10 SUSPENDED PENDANT LIGHT FEATURE
- 11 RECESSED CAN LIGHT
- 12 STRUCTURAL WOOD BEAM USE STRUCT. JOIST
- 13 FINISHED WALL USE DETAIL W.A.2
- 14 POLYESTER WOOD GRIDS
- 15 PLJ LAMIN FOR FLOOR PARTITION WALL
- 16 AV EQUIPMENT CABINETS (SEE DETAIL W.A.2)

WALL FINISH SCHEDULE

KEY	DESC.	MFG. NO.	COLOR	STYLE
1	PLASTER			
2	PAINT			
3	WOOD			
4	GLASS			
5	GLASS			
6	GLASS			

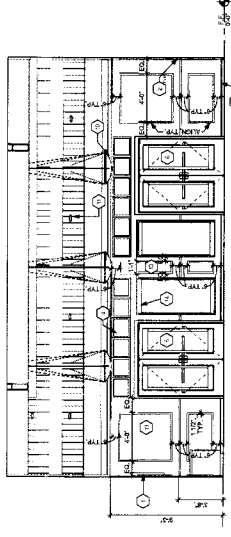
NOTES

1. SEE TOILETRY LOCATION AND INSTALLATION OF AUDIO, VIDEO AND LIGHTING
2. ACoustICAL WALL PANELS SHALL BE OET



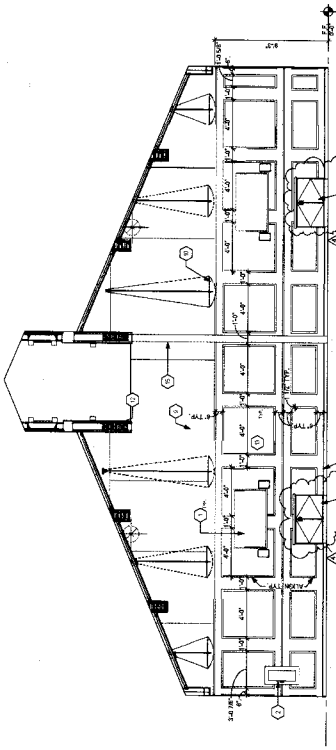
CONF RM 107 NORTH ELEVATION

SCALE: 1/8" = 1'-0"



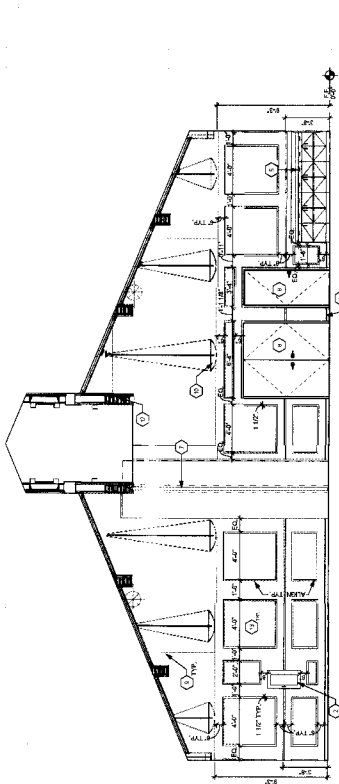
CONF RM 107 SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



CONF RM 107 EAST ELEVATION

SCALE: 1/8" = 1'-0"



CONF RM 107 WEST ELEVATION

SCALE: 1/8" = 1'-0"



4451 743-7179

2770 MACBOLA AVE
RIVERSIDE, CA 92509

www.crestmore.com

APPLICANT:



RIVERSIDE COUNTY
REGIONAL PARKS AND
OPEN SPACE DISTRICT

4600 CRESTMORE RD.
RIVERSIDE, CA 92509

PROJECT:

CRESTMORE CONFERENCE
CENTER

4600 CRESTMORE RD.
RIVERSIDE, CA 92509

CASWORK DETAILS



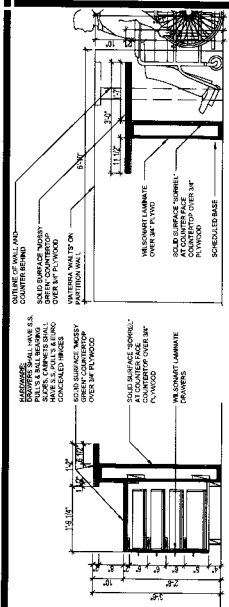
© 2016 R. DEBRA OROPE,
P.E. ALL RIGHTS RESERVED.

NO. 018030060
EXPIRES 12/31/2021

DRAWN: SS
JOB NO: 15-067
DATE: 11/14/16
SCALE: 1/8"=1'-0"

SHEET NO.

A-9.2



5 RECEPTION AT ADA COUNTER
SCALE: 3/4" = 1'-0"

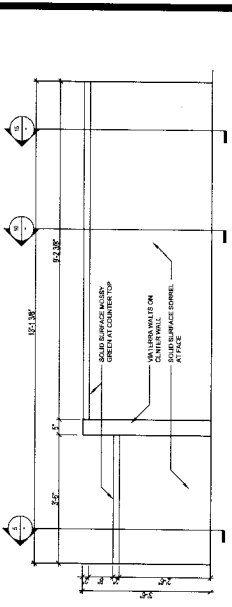
10 RECEPTION AT DRAWERS
SCALE: 3/4" = 1'-0"

15 RECEPTION AT STANDING COUNTER
SCALE: 3/4" = 1'-0"

1 RECEPTION AT STANDING COUNTER
SCALE: 3/4" = 1'-0"

2 RECEPTION AT STANDING COUNTER
SCALE: 3/4" = 1'-0"

3 RECEPTION AT STANDING COUNTER
SCALE: 3/4" = 1'-0"



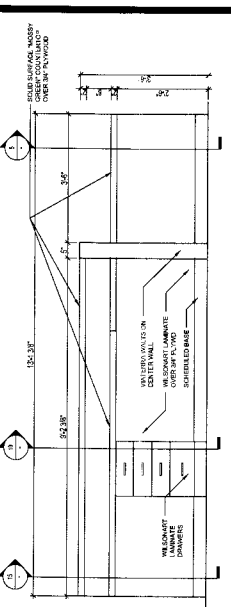
9 RECEPTION DESK FRONT ELEVATION
SCALE: 3/4" = 1'-0"

14 RECEPTION DESK BACK ELEVATION
SCALE: 3/4" = 1'-0"

19 RECEPTION DESK BACK ELEVATION
SCALE: 3/4" = 1'-0"

13 RECEPTION DESK BACK ELEVATION
SCALE: 3/4" = 1'-0"

18 RECEPTION DESK BACK ELEVATION
SCALE: 3/4" = 1'-0"



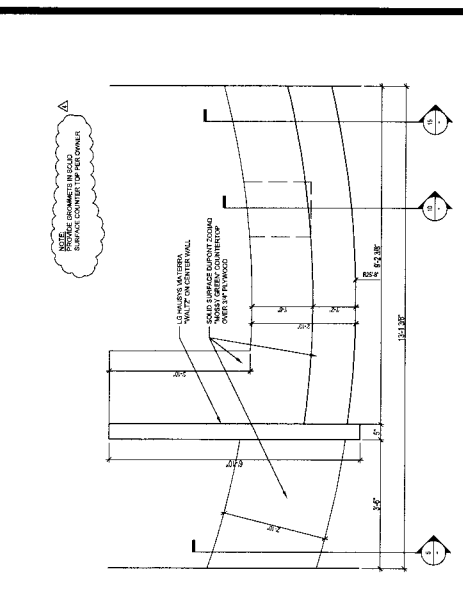
8 RECEPTION DESK BACK ELEVATION
SCALE: 3/4" = 1'-0"

13 RECEPTION DESK BACK ELEVATION
SCALE: 3/4" = 1'-0"

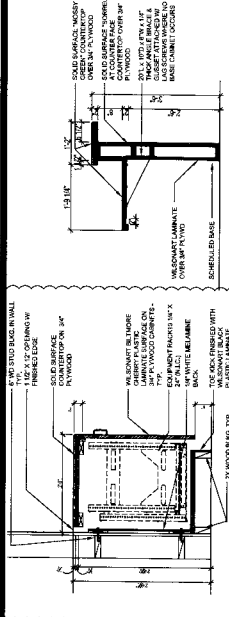
18 RECEPTION DESK BACK ELEVATION
SCALE: 3/4" = 1'-0"

17 RECEPTION DESK BACK ELEVATION
SCALE: 3/4" = 1'-0"

16 RECEPTION DESK BACK ELEVATION
SCALE: 3/4" = 1'-0"



6 RECEPTION DESK PLAN
SCALE: 3/4" = 1'-0"

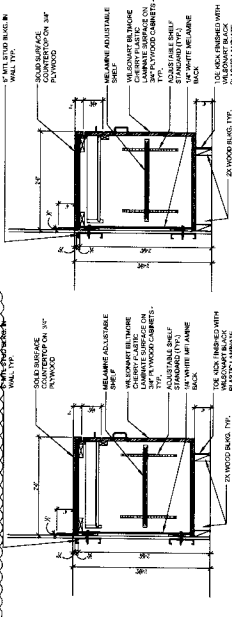


15 CABINET SECTION W/ DOOR & DRAWER
SCALE: 3/4" = 1'-0"

2 CABINET SECTION W/ DOOR & DRAWER
SCALE: 3/4" = 1'-0"

3 CABINET SECTION W/ DOOR & DRAWER
SCALE: 3/4" = 1'-0"

4 CABINET SECTION W/ DOOR & DRAWER
SCALE: 3/4" = 1'-0"

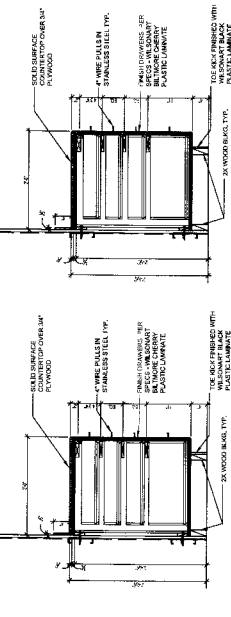


14 CABINET SECTION W/ DOOR & DRAWER
SCALE: 3/4" = 1'-0"

2 CABINET SECTION W/ DOOR & DRAWER
SCALE: 3/4" = 1'-0"

3 CABINET SECTION W/ DOOR & DRAWER
SCALE: 3/4" = 1'-0"

4 CABINET SECTION W/ DOOR & DRAWER
SCALE: 3/4" = 1'-0"

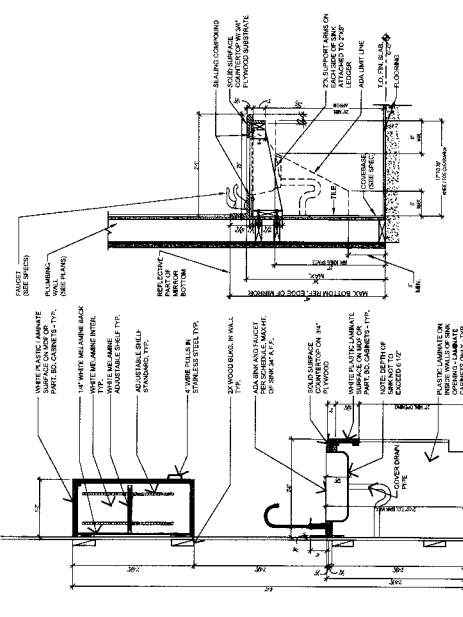


13 CABINET SECTION W/ DOOR & DRAWER
SCALE: 3/4" = 1'-0"

2 CABINET SECTION W/ DOOR & DRAWER
SCALE: 3/4" = 1'-0"

3 CABINET SECTION W/ DOOR & DRAWER
SCALE: 3/4" = 1'-0"

4 CABINET SECTION W/ DOOR & DRAWER
SCALE: 3/4" = 1'-0"

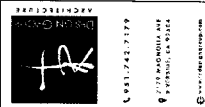


17 SECTION @ VANITY COUNTER
SCALE: 3/4" = 1'-0"

2 CABINET SECTION W/ DOOR & DRAWER
SCALE: 3/4" = 1'-0"

3 CABINET SECTION W/ DOOR & DRAWER
SCALE: 3/4" = 1'-0"

4 CABINET SECTION W/ DOOR & DRAWER
SCALE: 3/4" = 1'-0"



931.742.7179
 719 MADONIA AVE
 FORT WORTH, TX 76104



APPLICANT:
**EVERETT COUNTY REGIONAL
 PARK AND OPEN SPACE DISTRICT**
 4000 CRESTMERE ROAD
 EVERETT, TX 75627
 931-952-1487

PROJECT:
**EVERETT COUNTY REGIONAL
 EXHIBITOR**
 4000 CRESTMERE ROAD
 EVERETT, TX 75627



DATE: 11/11/2017
 DRAWN BY: J. BROWN
 CHECKED BY: J. BROWN
 SCALE: AS SHOWN

PRINTED: 11/11/2017
 DRAWN: J.B.
 DATE: 11/11/2017
 SCALE: AS SHOWN

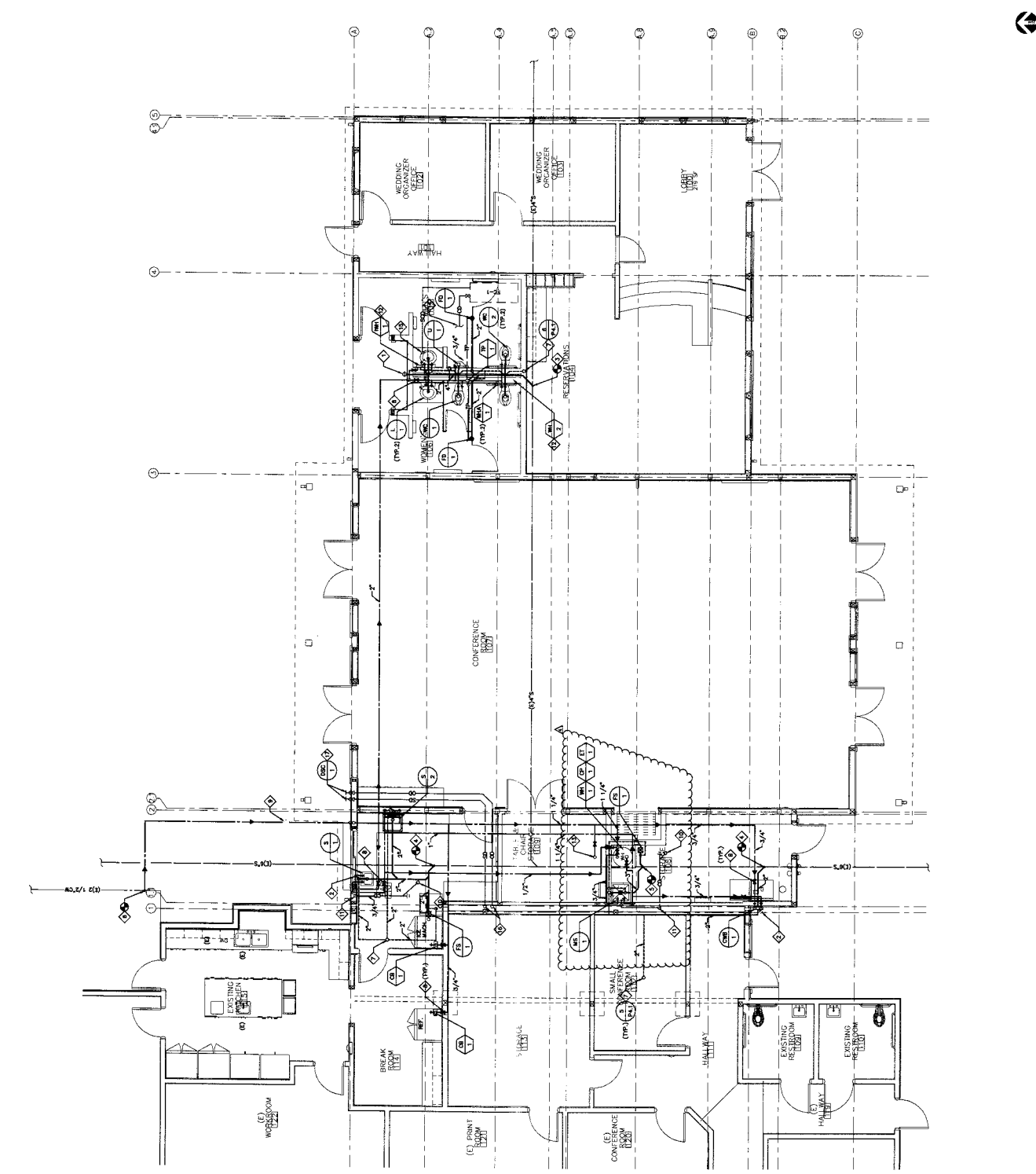
SHEET P2.1

KEY NOTES

- 1. LINE SIZE FLOOR CLEANOUT:
- 2. LINE SIZE WALL CLEANOUT:
- 3. POINT OF CONNECTION, 2" WASTE TO EXISTING 4" WASTE BELOW GRADE AT THIS APPROXIMATE LOCATION.
- 4. POINT OF CONNECTION, 2" WASTE TO EXISTING 4" WASTE BELOW FLOOR AT THIS APPROXIMATE LOCATION.
- 5. POINT OF CONNECTION, 2" WASTE TO EXISTING 3/4" WASTE BELOW FLOOR AT THIS APPROXIMATE LOCATION.
- 6. 3/4" COLD WATER ABOVE CEILING UP THRU ROOF TO ASSEMBLY ROOM.
- 7. 3/4" COLD WATER ABOVE CEILING UP THRU ROOF TO ROOF OPERATOR DRINK ON ROOF.
- 8. 3/4" COLD WATER ABOVE CEILING UP THRU ROOF TO ROOF OPERATOR DRINK ON ROOF.
- 9. 3/4" COLD WATER ABOVE CEILING UP THRU ROOF TO ROOF OPERATOR DRINK ON ROOF.
- 10. 3/4" COLD WATER ABOVE CEILING UP THRU ROOF TO ROOF OPERATOR DRINK ON ROOF.
- 11. 3/4" COLD WATER ABOVE CEILING UP THRU ROOF TO ROOF OPERATOR DRINK ON ROOF.
- 12. 3/4" COLD WATER ABOVE CEILING UP THRU ROOF TO ROOF OPERATOR DRINK ON ROOF.
- 13. 3/4" COLD WATER ABOVE CEILING UP THRU ROOF TO ROOF OPERATOR DRINK ON ROOF.
- 14. 3/4" COLD WATER ABOVE CEILING UP THRU ROOF TO ROOF OPERATOR DRINK ON ROOF.
- 15. 3/4" COLD WATER ABOVE CEILING UP THRU ROOF TO ROOF OPERATOR DRINK ON ROOF.
- 16. 3/4" COLD WATER ABOVE CEILING UP THRU ROOF TO ROOF OPERATOR DRINK ON ROOF.
- 17. 3/4" COLD WATER ABOVE CEILING UP THRU ROOF TO ROOF OPERATOR DRINK ON ROOF.
- 18. 3/4" COLD WATER ABOVE CEILING UP THRU ROOF TO ROOF OPERATOR DRINK ON ROOF.
- 19. 3/4" COLD WATER ABOVE CEILING UP THRU ROOF TO ROOF OPERATOR DRINK ON ROOF.
- 20. 3/4" COLD WATER ABOVE CEILING UP THRU ROOF TO ROOF OPERATOR DRINK ON ROOF.

NOTE TO CONTRACTOR

1. PATCH AND/OR PAINT EXISTING SURFACES TO MATCH EXISTING SURFACES AND FINISH TO MATCH EXISTING SURFACES WITH OTHER CONTRACTORS AND EXHIBITOR. EXHIBITOR TO PROVIDE COORDINATE WITH OTHER CONTRACTORS.
2. FOR NEW WORK BELOW GRADE, MINIMUM 4" CONCRETE AS REQUIRED UNLESS OTHERWISE NOTED. PATCH SHALL BE 2" PATCH AND REPAIR ALL SERVICES TO MATCH EXISTING.



KEY NOTES

GENERAL NOTES

WHERE CONTRACTOR IS LOCATED IN A PUBLIC SPACE, ACCESSIBLE PORTION OF THE CEILING SPACE.

KEY NOTES

STANDARD HEIGHT WALL WORK AREA OUTLET ELECTRICAL TO METAL ONE (1) TO BE INSTALLED IN EACH ROOM. ALL WIRING SHALL BE CONCEALED IN WALLS OR CEILING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF THE WORK AREA OUTLET. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF THE WORK AREA OUTLET. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF THE WORK AREA OUTLET.

FLOOR BOARD WORK AREA OUTLET ELECTRICAL TO METAL ONE (1) TO BE INSTALLED IN EACH ROOM. ALL WIRING SHALL BE CONCEALED IN WALLS OR CEILING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF THE WORK AREA OUTLET. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF THE WORK AREA OUTLET.

WALL WORK AREA OUTLET ELECTRICAL TO METAL ONE (1) TO BE INSTALLED IN EACH ROOM. ALL WIRING SHALL BE CONCEALED IN WALLS OR CEILING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF THE WORK AREA OUTLET. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF THE WORK AREA OUTLET.

AP WORK AREA OUTLET REELECTRIFICATION TO METAL ONE (1) TO BE INSTALLED IN EACH ROOM. ALL WIRING SHALL BE CONCEALED IN WALLS OR CEILING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF THE WORK AREA OUTLET. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF THE WORK AREA OUTLET.

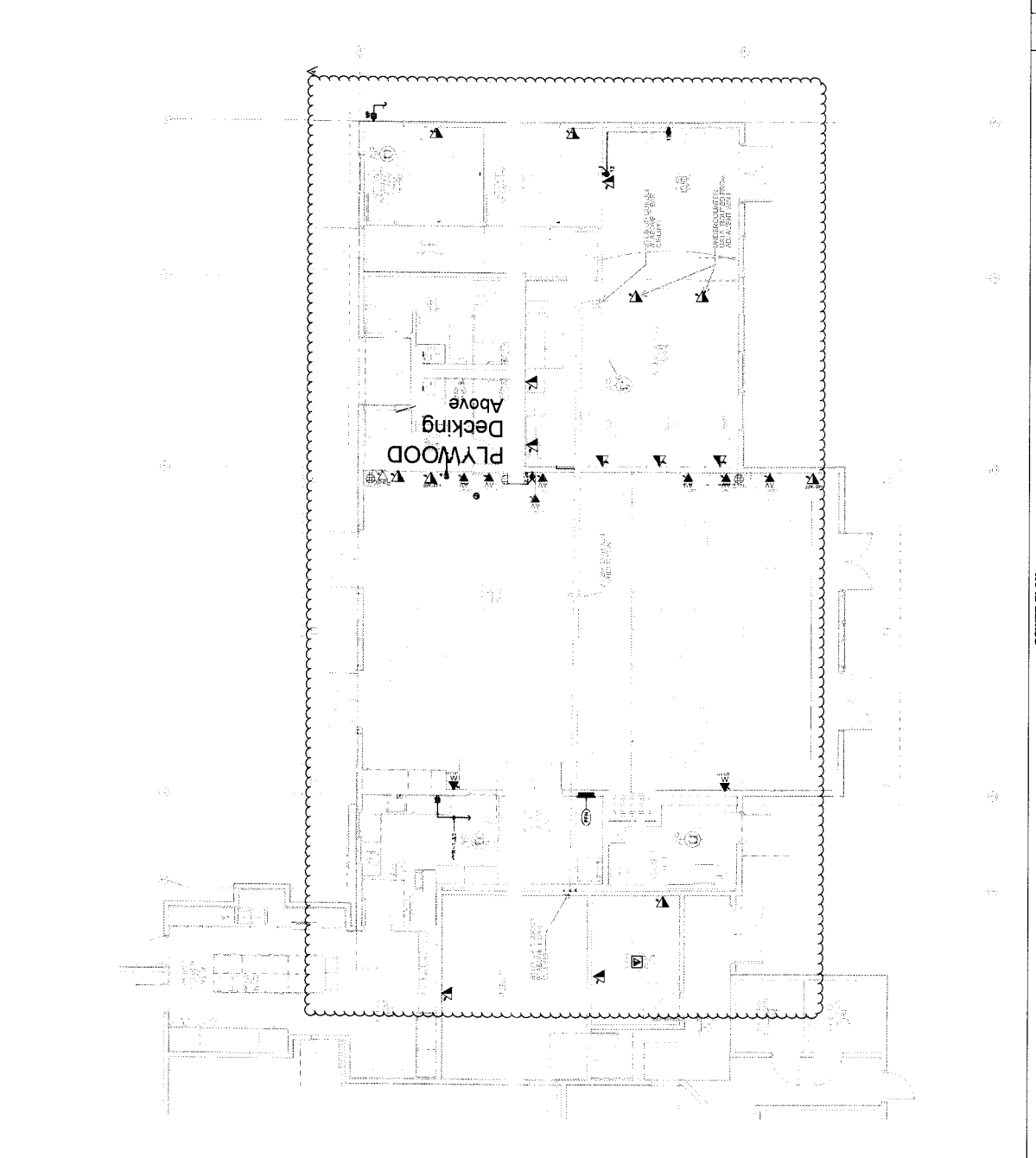
WALL WORK AREA OUTLET ELECTRICAL TO METAL ONE (1) TO BE INSTALLED IN EACH ROOM. ALL WIRING SHALL BE CONCEALED IN WALLS OR CEILING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF THE WORK AREA OUTLET. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF THE WORK AREA OUTLET.

AP WORK AREA OUTLET REELECTRIFICATION TO METAL ONE (1) TO BE INSTALLED IN EACH ROOM. ALL WIRING SHALL BE CONCEALED IN WALLS OR CEILING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF THE WORK AREA OUTLET. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF THE WORK AREA OUTLET.

WALL WORK AREA OUTLET ELECTRICAL TO METAL ONE (1) TO BE INSTALLED IN EACH ROOM. ALL WIRING SHALL BE CONCEALED IN WALLS OR CEILING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF THE WORK AREA OUTLET. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF THE WORK AREA OUTLET.

AP WORK AREA OUTLET REELECTRIFICATION TO METAL ONE (1) TO BE INSTALLED IN EACH ROOM. ALL WIRING SHALL BE CONCEALED IN WALLS OR CEILING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF THE WORK AREA OUTLET. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF THE WORK AREA OUTLET.

WALL WORK AREA OUTLET ELECTRICAL TO METAL ONE (1) TO BE INSTALLED IN EACH ROOM. ALL WIRING SHALL BE CONCEALED IN WALLS OR CEILING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF THE WORK AREA OUTLET. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF THE WORK AREA OUTLET.



POWER PLAN

CONSULTANT:
ITC
INTEGRATED TECHNOLOGICAL CONSULTANTS
1000 S. GARDEN STREET, SUITE 100
SANTA ANA, CA 92705
TEL: 714.241.1111
WWW.ITC-CALIFORNIA.COM

APPLICANT:
INDEPENDENT CONTRACTORS ASSOCIATION
1000 S. GARDEN STREET, SUITE 100
SANTA ANA, CA 92705
TEL: 714.241.1111
WWW.ITC-CALIFORNIA.COM

PROJECT:
400 CHESTNUT ROAD
SANTA ANA, CA 92705

PROJECT:
400 CHESTNUT ROAD
SANTA ANA, CA 92705



BY: [Signature]
DATE: 01/15/11
ADDRESS: 1 234 567 890

DATE: 01/15/11
DRAWN BY: [Name]
CHECKED BY: [Name]

SHEET E2.3

CONSULTANT:
TITG
TRISTRUP INC.
10000 SHELTON BLVD.
SHERMAN OAKS, CA 91104
TEL: (818) 351-1000
WWW.TITG.COM



APPLICANT:
INVERNESS COUNTY REGIONAL
PARK AND OPEN SPACE DISTRICT

4800 CRENSHORE ROAD
INVERNESS, CA 91608
PHONE

PROJECT:

Existing Carriage House

4800 CRENSHORE ROAD
INVERNESS, CA 91608

AUDIO/VIDEO EQUIPMENT
INFRASTRUCTURE PLAN



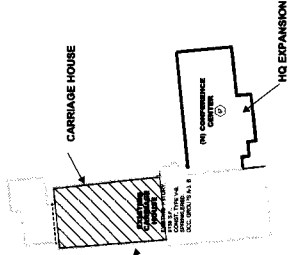
2018 IN DESIGN GROUP,
P.C. ALL RIGHTS RESERVED

DATE: 01/28/15
BY: [Signature]
APPROVED: PPH, RP

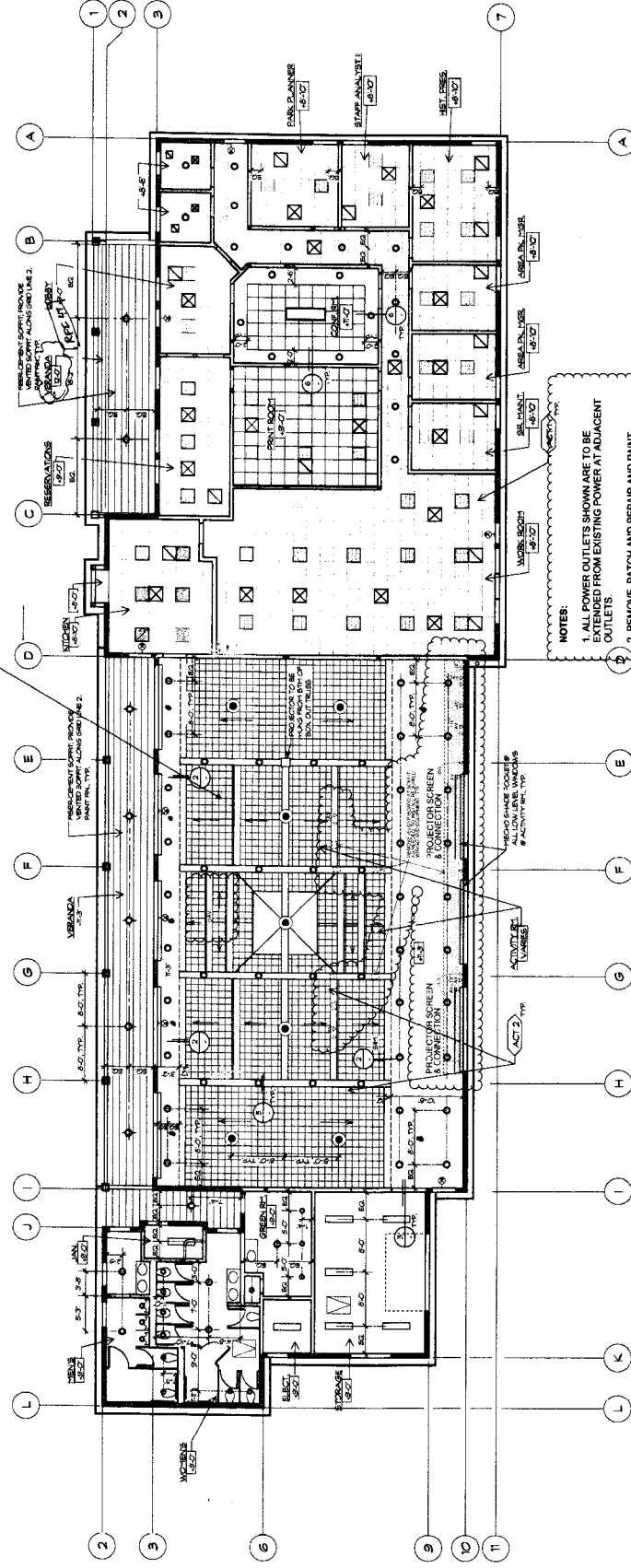
PRINTED: 12.20.2014

DRAWN: JAK
JOB#: 14-000
DATE: 01/28/15

SHEET
E3.0



KEY PLAN



NOTES:

- 1. ALL POWER OUTLETS SHOWN ARE TO BE EXTENDED FROM EXISTING POWER AT ADJACENT OUTLETS.
- 2. REMOVE, PATCH AND REPAIR AND PAINT PORTIONS OF DRYWALL CEILING AS REQUIRED TO INSTALL NEW WORK.
- 3. CONTRACTOR TO INSTALL PROJECTION SCREEN PROVIDED BY OWNER.
- 4. PROVIDE 4' LONG AV CABINET PER DETAIL 11A9.2

CARRIAGE HOUSE FLOOR PLAN

**RIVERSIDE COUNTY REGIONAL
PARK AND OPEN SPACE DISTRICT
HQ Expansion Project
RFP #PKARC-231**



**ADDENDUM NO. 2
March 1, 2018**

CERTIFICATION OF RECEIPT OF ADDENDUM

I certify that I have received this addendum on behalf of the company listed below.

Signed: _____ Dated: _____

Name and title: _____

Company: _____

ADDENDUM NO. 2
TO RFP #PKARC-231

1.0 This addendum is considered to be part of the Request for Bid (RFB). All other terms of the RFB remain unchanged and in effect. This addendum is intended to provide additional information and/or to change requirements in the above referenced RFB. Any information contained herein will be considered part of the RFB and as such will be used in the evaluation of the bid responses. Attention all potential bidders, if you have already submitted your proposal prior to the bid closing date, please review this addendum and re-submit your bid response, should this addendum modify your initial bid response.

2.0 To verify that all Vendors have received a copy of this addendum, please sign the cover page of this addendum and return it with your Bid to:

Riverside County Regional Park and
Open-Space District
Attn: RFB# PKARC-187
4600 Crestmore RD
Jurupa Valley, CA 92509

Email: jamgarcia@rivco.org
Phone: 951-955-4726

3.0 Changes to Bid Form

The following pages were modified:

ITEM 1: Project Specifications, Replace Table of Contents, Page 2 and 4 in their entirety as contained herein:

- A. Rough carpentry page numbers changed to 7.
- B. Signage section added.
- C. Landscape sections are added.

ITEM 2: Project Specifications, Bid Form, Page 15 of 40.

- A. Bid Alternates: Clarification: The description of the Alternate noted here is not intended as the entire description of the work, see Section 01 23 00 Alternates and the Plans for a description of the scope of work.

ITEM 3: Project Specifications, Section 01 23 00 Alternates: replace page 2 in its entirety as contained herein:

- A. Page is revised.

ITEM 4: Project Specifications, Replace Section 06 10 00 Rough Carpentry in its entirety as contained herein:

- A. Section revised.

ITEM 5: Project Specifications, Section 09 90 00 Painting: Replace page 1, 8 and 9 as contained herein:

- A. Pages 1, 8 and 9 are revised to clarify the painting of the existing Manor Building (floor plan is included on Page A1.1 Floor Plan) is included in the project scope. Paint system for exterior repainting is added.

ITEM 6: Project Specifications, Add Sections 10 14 00 Signage: add this section as contained herein.

ITEM 7: Project Specifications, Delete Section 11 40 10 Stainless Steel Countertops.

ITEM 8: Project Specifications, Section 11 45 20 Appliances:

- A. 2.02 Appliances: A. Refrigerator, change quantity to two (2).
- B. 2.02 Appliances: Add the following: B. Ice Machine Ice O Matic ICEU150 with IFQ1 Water Filter System..

ITEM 9: Project Specifications, Replace Section 21 13 13 Wet Pipe Sprinkler Systems page 3 in its entirety as contained herein:

- A. Clarified sprinkler type locations.

ITEM 10: Project Specifications, Add the following sections as contained herein:

- A. Section 320190 Landscape Maintenance
- B. Section 328000 Irrigation System
- C. Section 329000 Landscape Planting

ITEM 11: Project Plans, Title Sheet T-1.0:

- A. Change Water/Sewer Utility to: Rubidoux Community Services District, 3590 Rubidoux Blvd., Jurupa Valley, CA 92509 951-684-7580 www.rcsd.org
- B. Add Sheet T-1.3 ADA Signage

ITEM 12: Project Plans: Add Sheet T-1.3 ADA Signage as contained herein:

- A. Sign details added.
- B. Provide one each for each sign indicated.

ITEM 13: Project Plans: Replace Sheet ASD-1.0 in its entirety as contained herein:

- A. Scope of demolition for landscape improvements are indicated.

ITEM 14: Project Plans, Replace sheet AS-1.1 Enlarged Site Plan in its entirety as contained herein:

- A. Clarification of detail references and notes.

ITEM 15: Project Plans, Replace sheet A-1.0 Conference Center Floor Plan in its entirety as contained herein:

- A. Clarification of cabinet references are added.

ITEM 16: Project Plans, Clarification of Countertop Finishes:

- A. Room 100 and 104 are Dupont Zodiak, Mossy Green
- B. Room 107, 110, 114 and Carriage House are Dupont Corian Terra Collection "Cocoa Brown"

ITEM 17: Project Plans, Replace sheet A-6.1 Enlarged Toilet Room and Bar Plans and Elevations in its entirety as contained herein:

- A. Clarified cabinet and toilet accessory references.

ITEM 18: Project Plans, Sheet A-7.1 Interior Elevations

- A. Change Keynote 13 detail reference to 16/A-9.1.

ITEM 19: Project Plans, Sheet A-8.0 Finish Plan:

- A. Change F-8 to read: Specceramics 12x12 porcelain tile, Brazil series, Natal matte..
- B. Delete Flooring Legend in lower right hand corner of sheet.

ITEM 20: Project Plans, Replace sheet S1.1 Foundation Plan in its entirety as contained herein:

- A. Added floor fill at existing slab.
- B. Added note: All new concrete floor slabs shall be installed over 2" sand over "under slab vapor barrier" per specifications and an additional layer of 2" sand. Delete all references to 10 mil visqueen under the slab.

ITEM 21: Project Plans, Sheet SD-1 Foundation Details:

- A. At Detail 1, change all references for 10 mil polyolefin to read "Under Slab Vapor Barrier" per specifications.

ITEM 22: Project Plans, Replace sheet L1.1, L2.1 and L3.1 in their entirety as contained herein:

- A. Added scope limit for Alternate No. 4.

ITEM 23: Project Plans, Sheet L1.2 Construction Details, add the following:

- A. Detail A Trellis: Add the following: Provide 18" dia x 36" deep concrete footing at each column location.

DIVISION 06 - WOOD, PLASTICS, AND COMPOSITES

06 10 00	ROUGH CARPENTRY	7
06 20 00	MILLWORK AND FINISH CARPENTRY	7
06 24 00	PLASTIC LAMINATE	4

DIVISION 07 - THERMAL AND MOISTURE PROTECTION

07 10 00	UNDER-SLAB VAPOR BARRIER	2
07 20 00	INSULATION	2
07 31 00	ASPHALT SHINGLE ROOFING	15
07 46 20	FIBER CEMENT SIDING	7
07 54 20	THERMOPLASTIC POLYOLEFIN (TPO) ROOFING	14
07 60 00	SHEET METAL AND FLASHING	4
07 62 90	GUTTERS AND DOWNSPOUTS	2
07 72 00	ROOF ACCESSORIES	12
07 90 00	CAULKING AND SEALANTS	2

DIVISION 08 - OPENINGS

08 20 00	WOOD DOORS AND WINDOWS	3
08 31 13	ACCESS DOOR AND FRAMES	4
08 71 00	FINISH HARDWARE	20
08 80 00	GLAZING	2

DIVISION 09 - FINISHES

09 25 00	GYPSUM DRYWALL	4
09 30 00	CERAMIC TILE	5
09 50 00	ACOUSTIC CEILINGS	6
09 52 20	ACOUSTICAL WALL PANELING SYSTEM	2
09 65 13	RESILIENT RUBBER AND VINYL WALL BASE	3
09 65 19	LUXURY VINYL PLANKS AND TILE	14
09 68 00	CARPET	2
09 72 00	WALL COVERING	4
09 90 00	PAINTING	8

DIVISION 10 - SPECIALTIES

10 14 00	SIGNAGE	4
10 16 00	TOILET ACCESSORIES	2
10 21 00	SOLID PLASTIC TOILET COMPARTMENTS	4
10 22 26	OPERABLE PARTITIONS	4
10 25 00	FIRE EXTINGUISHERS AND CABINETS	2

DIVISION 11 - EQUIPMENT

11 45 20	APPLIANCES	2
----------	------------	---

262813	Fuses	2
262819	Enclosed Switches	3
265100	Interior Lighting	3
265200	Emergency Lighting	3
265600	Exterior Lighting	2

DIVISION 27 - COMMUNICATIONS

270529	Hangers and Supports for Communications Systems	9
270533	Conduits and Backboxes for Communications Systems	10
270553	Identification for Communications Systems	4
271343	Communications Services Cabling	26
275130	Assistive Listening System	1

DIVISION 28 - ELECTRONIC SAFETY AND SECURITY

283100	Fire Detection and Alarm	15
--------	--------------------------	----

DIVISION 32 – EXTERIOR IMPROVEMENTS

320190	Landscape Maintenance	7
328000	Irrigation System	16
329000	Landscape Planting	12

DIVISION 33 - UTILITIES

337119	Electrical Underground Ducts and Manholes	6
--------	---	---

PART 2 - PRODUCTS (Not Used)

PART 3 - EXECUTION

3.1 SCHEDULE OF ALTERNATES

- A. ALTERNATE NO. 1 DECORATIVE PERGOLA: Eliminate the Decorative Pergola located just East of the Conference Center Addition and indicated on Site Plan AS-1.1 with Keynote 62 and detailed on Sheet AS-1.2 Details 20 and 25.
- B. ALTERNATE NO. 2 BRIDES ROOM AND BREAK ROOM: Eliminate the interior modifications to the Break Room 121, Brides Room 120 and Toilet Room 119 areas as indicated on Sheet A-6.0, M2.2, P2.2, E2.6. Eliminate the adjacent exterior ramp and walkway modifications on the East and West sides of this area indicated at Keynote 64 Sheet ASD-1.0, Keynote 63 and 55 Sheet AS-1.1, Details 18, 22 and 29 Sheet AS-1.2, C2.1, C3.1 and C3.3.
- C. ALTERNATE NO. 3 EXTERIOR PAINTING OF CARRIAGE HOUSE AND MANOR: Eliminate exterior painting of these buildings.
- D. ALTERNATE NO. 4 FOUNTAIN AREA LANDSCAPING: Eliminate the demolition of the fountain, adjacent paving and landscaping as indicated on Sheet ASD-1.0 and/or as required to install the proposed improvements. Eliminate the landscaping, planting, and irrigation, paving, trellis for this area as indicated in the landscape and architectural plans.
- E. ALTERNATE NO. 5 PARKING LOT ADDITION: Eliminate the 55 Space Parking Lot Addition located on the most easterly portion of the site and indicated at Keynote 53 on Sheet AS-1.0 and C3.2. Eliminate the demolition work for this area as indicated on sheet ASD-1.0 and C2.1. This area will remain as it currently exists, no changes will be made to landscaping, lighting, curbing, fencing or other features.

END OF SECTION

SECTION 061000 - ROUGH CARPENTRY

PART 1 - GENERAL

1.1 SECTION INCLUDES

- A. Rough carpentry.
- B. This work includes the complete furnishings and installation of all RedLam™ laminated veneer lumber (LVL), as shown on the drawings herein specified and necessary to complete the work

1.2 REFERENCES

- A. ASTM D4601 - Asphalt-Coated Glass Fiber Base Sheet Used in Roofing.
- B. Chapters 7 and 23, CBC.
- C. PS 1-95 - Department of Commerce Product Standard, U. S. Product Standard for Construction and Industrial Plywood
- D. Lumber Standards: DOC PS 20
- E. PS 2-92 - Department of Commerce Product Standard, U. S. Product Standard for Construction, Performance Standard for Wood-Based Structural-Use Panels.
- F. WWPA - Western Lumber Grading Rules 88, Latest Edition, by Western Wood Products Association.
- G. APA - American Plywood Association Design/Construction Guide (Engineered Wood Association).
- H. AQMD - Local Air Quality Management District Regulations.
- I. AWPA C1, C3, C9, C20, C27 - American Wood Preservers Association - Manual of Recommended Practice, C-1.
- J. WCLIB - West Coast Lumber Inspection Bureau Standard Grading Rules No. 17.
- K. ASTM E84 - Surface Burning Characteristics of Building Materials.
- L. Title 8 – California Code of Regulations, Construction Safety Orders.
- M. ICC –ES – International Code Council Evaluation Service, Inc. Legacy Reports (ICC-ES Report No. ESR-2993).

1.3 SUBMITTALS

- A. Product data and current ICC Legacy Reports for framing anchors.
- B. Drawings: When requested, drawings showing layout and detail necessary for determining fit and placement in the building shall be provided by RedBuilt™.
- C. Production: Fabrication and/or cutting shall not proceed until the architect and/or engineer have approved the submittal package.

1.4 QUALITY ASSURANCE

- A. Rough Carpentry Lumber: Visible grade stamp on all products required.
- B. Grade Stamp: Association under whose rules it was graded, or official grade mark of other recognized grading agencies using grading rules, equivalent to WWPA or WCLIB.
- C. Nailing guns and nail operators shall be approved in accordance with Title 8 Construction Safety Orders.

1.5 FABRICATION

- A. RedLam™ LVL shall be manufactured by RedBuilt™ in a plant listed in the report referred to above and under the supervision of an approved third-party inspection agency. It shall be manufactured in a continuous process, with all grain parallel with the length of the members. All members are to be free of finger joints, scarf joints, or mechanical connections in full-length members.

1.6 DELIVERY, STORAGE AND HANDLING

- A. Do not deliver rough carpentry items until site conditions are adequate to receive the Work. Protect items from weather while in transit.
- B. Store lumber and plywood at the site under cover or otherwise protected against exposure to weather, raise above ground and out of contact with damp or wet surfaces. Stack lumber and plywood and provide for air circulation within and around stacks and under temporary covers. For pressure treated lumber and plywood, provide spacers between courses to permit air circulation.
- C. Certified wood shall be kept separate from non-certified wood. Auditing process as mandated by certifiers shall be complied with.

1.7 IDENTIFICATION

- A. RedLam™ LVL shall be identified by a stamp indicating the product type and grade, ICC-ES evaluation report number, manufacturer's name, plant number, date of fabrication, and the independent inspection agency's logo.

1.8 PROJECT CONDITIONS

- A. Cooperate with other trades in coordinating their Work with the Work of this Section. Provide wood grounds, blocking and nailer where indicated or as required for Work of other trades.

PART 2 - PRODUCTS

2.1 ROUGH CARPENTRY MATERIALS

- A. Lumber: Graded in accordance with WWPA or WCLIB; maximum moisture content of 19 percent at time of loading. Provide Douglas Fir Larch for structural and framing lumber, surfaced four sides to standards of the grading association unless otherwise indicated on Drawings, use the following grades:
- B. Joists, rafters, beams, lintels, horizontal framing, posts, studs and vertical framing: No. 1 unless otherwise indicated or noted on drawings.
- C. Non-bearing studs and plates, non-structural furring, concealed blocking, striping and miscellaneous nailers and backing: Grade 1050 -F Douglas Fir or better.
- D. Structural Drawings take precedence for lumber grades.
- E. All lumber in contact with concrete shall be pressure treated.
- F. Plywood: See plans, thickness as indicated, span rating sized for spacing
- G. Nails, Spikes and Staples: Sections 2304.3 and 2318.3.4, CBC Galvanized for exterior applications, high humidity locations and treated wood; plain finish for other interior locations; size and type to suit application. Comply with Table 2304.9.1, CBC. Use common nails only.
- H. Bolts, Nuts, Washers, Lags, Pins and Screws: Sections 230.9, CBC, sized to suit application, galvanized for exterior locations, high humidity locations and treated wood, plain finish for other interior locations. Full diameter body bolts only per ASME B18.2.1(.2) or B18.2.6 for structural applications.
- I. Fasteners: Expansion type or powder actuated type for anchorage to solid masonry or concrete. Refer to Division 1, General Requirements for acceptable types and required testing.
- J. Non-Stock Framing Connectors: Conform to details.

2.2 MISCELLANEOUS MATERIALS

- A. Preservative (Pressure) Treated Lumber: Section 2303, CBC Conform to AWPAs manual of recommended practice. Use preservative complying with AWPAs C-2 lumber and C-9 plywood. Conform to AQMD, Local Regulations.

- B. Douglas Fir Larch, used as required by Section 2303, CBC, shall conform to the following:
- C. Lumber shall be WWPA or WCLIB grade stamped.
- D. Waterproof Membrane: ASTM D4601; Type II, asphalt saturated glass felt.
- E. Fire-Retardant Douglas Fir Plywood: AWWPA Standard C-27, NFPA 703, ASTM D-5516, ASTM E-84, Section 2304.5, CBC, PS 1-95, APA structural rated sheathing, exposure 1, 5/8 thick. Plywood shall comply with the following Maximum Flame Spread Classifications in the following locations:
- F. At Exterior Locations as indicated on the drawings: As indicated on drawings.
- G. Heavy timber: DOC PS 20, Species: Douglas-fir larch, Grade; Select Structural.
- H. Nonshrink Grout: ASTM C1107, premixed compound consisting of non-metallic aggregate, cement, water reducing and plasticizing agents; capable of developing minimum compressive strength of 5,000 psi in 24 hours and 8,000 psi in 7 days; of consistency for application and a 30 minute working time. Acceptable Manufacturers: Dayton Superior, Miamisburg, OH; Sonneborn, Shakopee, MN; Novex Systems International, Clifton NJ, or equal.

PART 3 - EXECUTION

3.1 FRAMING, FURRING AND STRIPPING

- A. Erect wood framing, furring, stripping and nailing members true to lines and levels. Do not deviate from true alignment more than 1/4 inch in 10 feet, non-cumulative.
- B. Construct members of continuous pieces of longest possible lengths.
- C. Construct and erect required headers and lintels.
- D. Double wall framing members at openings over 100 square inches. Space short members above and below openings in same manner as for walls.
- E. Provide double joist headers at joist ends and around openings unless otherwise indicated on Drawings. Bridge joists and rafters to conform with Section 2316A.2.4.4.1.4 and 2320A.8.4 CBC and as noted on plans. For pre-manufactured joists, provide bridging in accordance with manufacturer's recommendations.
- F. Construct walls with studs of size and spacing indicated. Install single sill member at bottom and double plate at top. Stagger upper and lower members of double plate with joints not less than 4 feet o.c. or as indicated on Drawings. Where sill or any wood member contacts concrete or masonry, install preservative-treated lumber.

- G. Provide one row of solid blocking not less than 2 inch nominal thickness and same width of stud at ceiling and floor lines and at spacing not to exceed 8 feet on center vertically. Fit snugly and attach with not less than two 16d nails.
- H. Install 3 studs at corners.
- I. Conform to Section 2320.11.7, CBC, where pipes penetrate sills or plates.
- J. Cutting and Notching: Conform to Section 2320.11.9, CBC.
- K. Bored Holes: Conform to Section 2320.11.10, CBC.
- L. Conform to Section 708, California Building Code for fire blocks and draft stops.
- M. RedLam™ LVL, if stored prior to installation, shall be protected from the weather. It shall be installed in accordance with the plans, and any RedBuilt™ drawings and installation suggestions. Temporary construction loads that cause stresses beyond design limits are not permitted. Safety bracing is to be provided by the installer to keep the RedLam™ LVL straight and plumb as required, and to ensure adequate lateral support for the individual RedLam™ LVL members and the entire system until the sheathing material is applied.

3.2 INSTALLATION REVIEW

- A. Prior to enclosing RedLam™ LVL, the contractor shall give notification to the RedBuilt™ representative to provide an opportunity for review of the installation.
- B. A manufacturer's installation review letter is required and shall be submitted to the design professional of record.
- C. Installation must be performed by an employee of the joist manufacturer, not by a third party.

3.3 PLYWOOD SHEATHING

- A. Thickness as indicated on the Drawings, minimum thickness 1/2 inch.
- B. Provide Fire-Retardant Treated Plywood where indicated on the drawings.
- C. Boundary Nailing: Not less than 3/8 inch from edge, spaced not more than 6 inches on center, unless noted otherwise on Drawings.
- D. Blocking: Panel edges shall bear on framing members or solid blocking.
- E. Minimum Size Vertical Panel: 16 inches wide.
- F. Minimum Size Horizontal Panel: 24 inches wide.

- G. Oriented Strand Board not permitted.

3.4 FOUNDATION FRAMING, PLATES, SILLS AND SLEEPERS

- A. Preservative treated wood required. Set wood sills on a bead of continuous butyl sealant on both sides of sill.
- B. End Clearance for Lumber Entering Concrete: 1/2 inch minimum.

3.5 HORIZONTAL FRAMING

- A. Bearing: 1-1/2 inch minimum on wood or metal, 3 inches on masonry. Lay framing members with crown up. Members with knots at bottom not permitted.
- B. Lateral Support: Use solid blocking, cross bridging or other approved means.
- C. Lap joists a minimum of 3 inches when framed from opposite sides of a beam. Do not run joists continuous beyond one span unless indicated otherwise on Drawings.
- D. Openings: Double joists required for trimmer and headers for openings 4 ft. or larger unless indicated otherwise on Drawings.
- E. Provide ties, purlins and blocking in conformance with Section 2316, CBC.

3.6 BACKING

- A. Provide backing as indicated on Drawings to support electrical fixtures, fixed equipment, cabinets, grab bars, door stops and plates. Fasten securely to framing.

3.7 PERFORMANCE STANDARDS

- A. Products shall be proven by testing and evaluation in accordance with the provisions of ASTM D-5456.

3.8 WARRANTY

- A. The products delivered shall be free from manufacturing errors or defects in workmanship and material. The products, when correctly installed and maintained, shall be warranted to perform as designed for the normal and expected life of the building.

3.9 CLEANING

- A. Remove and recycle excess material as required by Section 01 74 20.

PART 4 - ALTERNATES AND/OR EQUALS

4.1 BASE BID

- A. Due to the customized detailing and engineering characteristics of the roof and/or floor framing assembly, it is a requirement that RedLam™ LVL be used in the base bid.

4.2 ALTERNATE APPROVAL TIMEFRAME

- A. Alternate products will only be permitted if written approval and acceptance is obtained by the architect, engineer and owner at least *seven days prior to the bid date*. Any monetary savings that may be realized by using an alternate product shall be forwarded to the owner.

4.3 ALTERNATE REQUIREMENTS

- A. All alternates must meet or exceed all above mentioned specifications & warranties as well as the nailing criteria & key design properties for the particular member specified on the plans. Alternate submittals must have calcs & drawings stamped by a registered Engineer practicing in the state of the given project & an employee of the Manufacturer, not a third party Engineer. Fire Ratings/Sound Ratings & Sprinkler Installation details specific to the proposed alternate must also be submitted for review. Additionally, Jobsite Review must be performed by an employee of the Manufacturer, not by a third party. Contractor should make sure all of these qualifications can be met prior to submitting an alternate for review.

4.4 COST ASSOCIATED WITH ALTERNATES

- A. There will be a cost for review of alternate systems, to be determined based on size & scope of project & does not guarantee acceptance of the alternate system. If alternate system is rejected, Contractor is still liable for the cost associated with the review of the proposed alternate.

4.5 ACCEPTABLE ALTERNATES

- A. At the discretion of the specifier of record, accepted alternates will be listed on the final addendum prior to the bid date.

4.6 ALTERNATE BIDS

- A. Other manufacturers' bids are to be listed in the alternate section of your proposal. All framing plans, detailing, and calculations for the alternate bids will be reviewed by the owner, architect, and engineer for structural performance, possible conflicts with related trades, and compatibility with the overall building requirements and building code.

END OF SECTION 061000

SECTION 09 90 00 - PAINTING

PART 1 - GENERAL

1.01 SCOPE:

- A. **Work Included:** The Work of this Section shall consist of furnishing all labor, materials, equipment, appliances and services necessary for the execution and completion of all Painting Work as shown on the Plans and as described in the Specifications including, but not necessarily limited to, the following:
- Paint and finish all exterior and interior exposed surfaces listed on the Painting Schedule in Part Three of this Section, in accordance with the types of finish shown on the Finish Schedule and as specified herein. Contractor shall allow for six (6) interior colors and four (4) exterior colors; allow for an average of 3 colors per room.
 - **Re-Painting the existing Manor building is included in the project scope. Contractor shall visit the site to review the required scope of work to repaint all painted surfaces.**
 - Painting of all Mechanical, Plumbing and Electrical installations that are not factory finished (incl. ductwork exposed to view, piping, fire sprinkler lines, conduit and all other MEP related items);
 - Coordination with Work of other Sections;
 - Clean-up; and,
 - Coordination with Work of other Sections;
 - Replacements, Repairs, Guarantees and Warranty Work.
- B. **Related Work Described Elsewhere:** Priming or priming and finishing or certain surfaces are specified to be factory performed or installer performed under pertinent other Section.
- C. **Work Not Included:**
- Do not include painting which is specified under other Sections;
 - Unless otherwise indicated, painting is not required on surfaces in concealed areas and inaccessible areas such as furred spaces, foundation spaces, utility tunnels, pipe spaces, and duct shafts;
 - Metal surfaces of anodized aluminum, stainless steel, chromium plate, copper, bronze, and similar finished materials will not require painting under this Section except as may be specified herein;
 - Do not paint any moving parts of operating units, mechanical or electrical parts such as valve operators, linkages, sensing devices, and motor shafts, unless otherwise indicated;
 - Do not paint over any required labels or equipment identification, performance rating, name, or nomenclature plates; and,
 - Shop prime painting of structural and miscellaneous iron and steel, and shop finished Work and items.

1.03 QUALITY ASSURANCE:

- b) All canvas covered pipe and ducts exposed to view shall receive one (1) coat of P.V.A. Sealer and one (1) coat of Flat Wall Finish to match surrounding surfaces.
- c) All electrical panel fronts shall be finished to match the finish of the adjacent wall or space in which the panel fronts are mounted.
- d) All exposed iron work, tanks, supports, all air-handling units and systems, all exposed piping and piping insulations, all duct work, all exposed plumbing piping, pipe hangers, supports, valves, access panels, etc., shall be cleaned, primed, and painted with the specified paints in colors in accordance with the OSHA-ANSI Safety Color Codes, colors as selected by the Architect. Plated and porcelain enameled parts and piping shall not be painted.

B. Exterior:

- 1. **Finish No. 4: Exterior Metals.**
Pre-treatment No. 7113 Vinyl wash primer.
1st coat - No. 14 Corro Prime.
2nd coat - No. 2000 Plast-O-Life.
3rd coat - No. 2000 Plast-O-Life.
- 2. **Finish No. 5: Exterior Wood.**
1st coat - No. 289 Exterior Wood Primer.
2nd/3rd coats - No. 1300 Stuc-O-Life.

C. Manor Painting:

- 1. **Semi-Gloss Finish: Trim, Shutters, Sashes, Doors and Windows**
1st Coat: S-W Exterior Latex Wood Primer, B42W8041
(4.0 mils wet, 1.4 mils dry)
2nd Coat: S-W Solo Acrylic Semi-Gloss, A76 Series
3rd Coat: S-W Solo Acrylic Semi-Gloss, A76 Series
(4.0 mils wet, 1.5 mils dry per coat)
- 2. **Satin Finish: Siding**
1st Coat: S-W Exterior Latex Wood Primer, B42W8041
(4.0 mils wet, 1.4 mils dry)
2nd Coat: S-W A-100 Exterior Latex Satin, A82 Series
3rd Coat: S-W A-100 Exterior Latex Satin, A82 Series
(4.0 mils wet, 1.5 mils dry per coat)

3.08 SURFACE PREPARATION:

- A. **WARNING! Removal of old paint by sanding, scraping or other means may generate dust or fumes that contain lead. Exposure to lead dust or fumes may cause brain damage or other adverse health effects, especially in children or pregnant women. Controlling exposure to lead or other hazardous substances requires the use of proper protective equipment, such as a properly fitted respirator (NIOSH approved) and proper containment and cleanup. For more information, call the National Lead Information Center at 1-800-424-LEAD (in US) or contact your local health authority. Removal must be done in accordance with EPA Renovation, Repair and Painting Rule and all related state and local regulations. Care should be taken to follow all state and local regulations which may be more strict than those set under the federal RRP Rule.**

- B. The surface must be dry and in sound condition. Remove oil, dust, dirt, loose rust, peeling paint or other contamination to ensure good adhesion.**
- C. Remove mildew before painting by washing with a solution of 1 part liquid household bleach and 3 parts of warm water. Apply the solution and scrub the mildewed area. Allow the solution to remain on the surface for 10 minutes. Rinse thoroughly with clean water and allow the surface to dry 48 hours before painting. Wear protective glasses or goggles, waterproof gloves, and protective clothing. Quickly wash off any of the mixture that comes in contact with your skin. Do not add detergents or ammonia to the bleach/water solution.**
- D. No exterior painting should be done immediately after a rain, during foggy weather, when rain is predicted, or when the temperature is below 50°F, unless products are designed specifically for these conditions. On large expanses of metal siding, the air, surface and material temperatures must be 50°F or higher to use low temperature products.**

3.09 PROTECTION: Wherever painting and finishing Work is being performed, all floors surfaces and items shall be carefully protected from damage by the Painting Work. Clean drop cloths shall be provided and used wherever necessary. All supplies, materials, paints, containers, etc., shall be orderly and carefully arranged and protected. All accidental spills, splatter, etc., shall be immediately cleaned and the damaged surfaces restored to perfect condition. All paint spots and spatter on glass, ceramic tile, porcelain fixtures, etc., shall be completely removed and the surface cleaned.

3.10 CLEAN UP: Clean up all adjacent surfaces removing all drips, spots and overruns from floor and other surfaces immediately after each coat has been applied. At the completion of Work in each space or room, all tools, equipment, surplus materials, debris and rubbish shall be removed from the premises and the areas left in a clean, orderly condition.

END OF SECTION

SECTION 101400 - SIGNAGE

PART 1 - GENERAL

1.1 SCOPE: The Work of this Section shall consist of furnishing all labor, materials, equipment, and services necessary for the execution and completion of all Signage Work as shown on the Plans and as described in the Specifications including, but not necessarily limited to, the following:

- A. Building Signage, both interior and exterior including, but not necessarily limited to the following:
 - 1.
 - 2. Occupancy Signs;
 - 3. Restroom Signs;
- B. Construction Signs (Temporary);
 - 1. Construction Worksite Access and Project Signs
- C. Site Signs, including but not necessarily limited to the following:
 - 1. Address Numerals;
 - 2. Fire Hydrant Marker, blue pavement mounted reflector type;
 - 2. Handicapped Parking Stall Signs;
 - 3. Parking Lot Accessibility Signs;

1.3 PROJECT CONDITIONS

- A. Maintain environmental conditions (temperature, humidity, and ventilation) within limits recommended by manufacturer for optimum results. Do not install products under environmental conditions outside manufacturer's recommended limits.

1.4 SEQUENCING

- A. Ensure that products of this section are supplied to affected trades in time to prevent interruption of construction progress.

1.5 GUARANTEE:

- A. All signage shall be guaranteed for a minimum period of one (1) year against all peeling, fading, chipping and deterioration of any kind.

1.6 SUBMITTALS:

- A. Submittals shall consist of the following:
- B. Materials Lists/Manufacturer's Product Information: Contractor shall submit a complete list of materials along with the manufacturer's catalog cuts for all materials. Contractor shall also provide the Manufacturer's complete installation drawings, including a parts lists for all equipment proposed for the Project. Submit all Manufacturer's product information for each item specified for use in the Work.
- C. Shop Drawings: Contractor shall prepare and submit Shop Drawings for all signage of this section which show complete details for all signs being fabricated. Shop Drawings shall show all methods of attachment, materials, letter styles, and height, finishes, colors, dimensions and locations for signs.

1.10 DELIVERY, STORAGE AND HANDLING:

- A. Contractor shall assume all responsibility for storage of all signage materials for the Project. Owner assumes no liability for losses or damages from any cause as a result of Contractor's storage of materials on site.

PART 2 - MATERIALS

2.1 GENERAL:

- A. Products used in the Work of this Section shall be produced by manufacturers regularly engaged in the manufacture of similar items with a history of successful production acceptable to the Owner.

2.2 BUILDING SIGNAGE:

- A. Address Numerals: Shall be injection molded plastic numerals. Numerals shall be a minimum of eight inches in height, provide four (4) numerals, as manufactured by Gemini Signs, black painted, pad installation.
- B. Occupancy Sign: Shall be 8"x12", fabricated of non glare acrylic with contrasting background and 1" high upper case letters in Helvetica Medium font and Grade 2 Braille. Sign text shall read: "MAXIMUM OCCUPANCY 118".
- C. Assistive Listening Sign: Shall be 6"x12", fabricated of non glare acrylic with contrasting background and 1" high upper case letters in Helvetica Medium font and Grade 2 Braille. See plans for specific design details and configuration
- D. Restroom Signs:
 - 1. Door Mounted Signs: For the Men's and Women's Restroom Doors shall be as shown on the Plans in contrasting colors as directed by the Architect.
 - 2. Wall Mounted Signs: Shall be 6"x9", fabricated of non glare acrylic with contrasting background, with raised international symbol of accessibility and letters identifying the room name (Men's or Women's) and Grade 2 Braille; signs shall be the same color as the door mounted signs.
- E. Building Entry Accessible Sign: Shall be 8"x10", fabricated of non glare acrylic with contrasting background with raised international symbol of accessibility and Grade 2 Braille. See plans for specific design details and configuration. Provide 2 to be located as directed by the architect.
- F. Exit Sign: Shall be 6"x9", fabricated of non glare acrylic with contrasting background and 1" high upper case letters in Helvetica Medium font and Grade 2 Braille. Sign text shall read: "EXIT". Provide 4 signs to be located as directed by the architect.

2.3 CONSTRUCTION SIGNS (TEMPORARY):

- A. Project Sign: Provide 6'x10' plywood sign with text and image per plans. Provide posts and footings as required.

2.4 SITE SIGNAGE:

- A. All site signage to be post mounted shall be furnished with metal sign posts of lengths as indicated and detailed on the drawings.
- B. Fire Hydrant Marker: Shall be blue pavement mounted reflector type, one per hydrant installed.
- C. Parking Lot Signs: Shall be fabricated from anodized aluminum blanks, minimum 0.063 inch thick, covered with engineer grade 3-M scotch-lite face, with contrasting color letters and/or graphics.
 - 1. Accessibility Signs: Shall be 17 inches x 22 inches in size with lettering not less than 1 inch in height, and shall read: "Unauthorized vehicles parked in designated accessible spaces not displaying distinguishing placards or license plates issued for persons with disabilities may be towed away at owner's expense. Towed vehicles may be claimed at _____ or by telephoning _____." Contractor shall coordinate with Owner's Representative and County to determine appropriate information to fill-in the two blanks in the preceding statement, prior to fabrication of the signs.
 - 2. Handicapped Parking Stall Signs:
 - a) "Symbol"; shall consist of the white international symbol of accessibility on a blue background, blue shall be Color No. 15090 in Federal Standard 595B. The "van accessible" parking space shall have an additional sign stating "Van-Accessible" and "Minimum Fine \$250" mounted below the symbol of accessibility.

PART 3 - EXECUTION

3.1 GENERAL:

- A. Qualifications of Installers: Use adequate numbers of skilled workers who are thoroughly trained and experienced in the necessary crafts and who are completely familiar with the specified requirements and the methods needed for proper performance of the Work of this Section.
- B. Coordination: Signs to be installed shall be coordinated with the various bid schedules awarded. All dimensions and conditions shall be field verified prior to any signs being fabricated.

3.2 BUILDING SIGNS:

- A. Address Numerals: Shall be mounted to the building as directed by the architect.
- B. Occupancy Sign: Shall be wall mounted as shown on the Plans.
- B. Restroom Signs: Shall be mechanically fastened to their respective mounting surface. Mounting height shall be 60 inches above the finish floor to the centerline of the sign. Wall mounted signs shall be installed on the latch side of the restroom doorway; provide wood shim as required.

3.3 CONSTRUCTION SIGNS (TEMPORARY):

- A. Construction Worksite Access:
 - 1. Construction Area - No Unauthorized Entry: Signs shall be affixed to the construction fence at all entry gates into the construction work area.
 - 2. No Trespassing: Signs shall be affixed to the construction fence.

3.4 SITE SIGNAGE: All site signage to be post-mounted with concrete foundations as indicated.

- A. Fire Hydrant Marker: Marker shall be provided for each fire hydrant and shall be installed affixed to the roadway asphalt pavement in accordance with the manufacturer's written instructions. Contractor shall furnish a minimum of three additional markers for turn-over to the Owner at the completion of the project.
- B. Parking Lot Signs:
 - 1. Accessibility Signs: Shall be mechanically fastened to metal sign post.
 - 2. Handicap Parking Stall Signs: Shall be mechanically fastened to metal sign post.

3.5 COMPLETION CLEANING: Upon completion of the Work of this Section, Contractor shall clean all Signs installed removing all soil, stains, grease, dirt, etc., and shall polish all signs faces and other such surfaces that require such maintenance. Contractor shall remove all excess materials, rubbish, debris, etc., and remove construction equipment from the premises.

END OF SECTION 101400

PART 1 - PRODUCTS

1.1 SPRINKLERS

- A. Manufacturers:
 - 1. Ansul Incorporated.
 - 2. Automatic Sprinkler Corp.
 - 3. Grinnell Corp.
 - 4. Reliable Sprinkler Corp.

- B. Suspended and Hard Lid Ceiling Type at Offices, Reception, Restroom, Conference 112, Storage 113, Bar 110:
 - 1. Type: Semi Recessed pendant type with matching escutcheon plate as directed by the architect.
 - 2. Finish: White as directed by the Architect.
 - 3. Escutcheon Plate Finish: White as directed by the Architect.
 - 4. Fusible Link: Quick response, glass bulb type temperature rated for specific area hazard.
 - 5. Similar to Reliable Model No. FIFR

- C. Hard Lid Ceiling Type at Conference Room 107:
 - 1. Type: Concealed pendant type as directed by Architect
 - 2. Finish: White as directed by the Architect.
 - 3. Plate Finish: White as directed by the Architect.
 - 4. Fusible Link: Quick response, glass bulb type temperature rated for specific area hazard.
 - 5. Similar to Reliable Model No. G4A.

- D. Exposed Area Type:
 - 1. Type: Standard upright type with guard as required.
 - 2. Finish: Brass.
 - 3. Fusible Link: Quick response glass bulb type temperature rated for specific area hazard.
 - 4. Similar to Reliable Model No. FIFR.

- E. Side wall Type:
 - 1. Type: Standard or Recessed horizontal side wall type with matching push on or screw on escutcheon plate as directed by the Architect.
 - 2. Finish: Chrome plated, enamel, color white, as directed by the Architect.
 - 3. Escutcheon Plate Finish: Chrome plated or Enamel, color white as directed by the Architect.
 - 4. Fusible Link: Quick response glass bulb type temperature rated for specific area hazard.
 - 5. Similar to Reliable Model No. SW56.

- F. Guards: Finish to match sprinkler finish.

SECTION 32 01 90

LANDSCAPE MAINTENANCE

PART 1 - GENERAL

1.01 SUMMARY

- A. Work Included: Provide continuous Landscape Maintenance, complete as specified during progress of the work, after installation, and for a period of 90 days after Preliminary Landscape Acceptance (See Section 32 90 00 - Landscape Planting).
- B. Related Work:
 - 1. Section 32 80 00 - Irrigation System
 - 2. Section 32 90 00 - Landscape Planting

1.02 REFERENCES

- A. University of California Cooperative Extension Publications:
 - "Fertilizing Woody Plants", Leaflet #2958, Sept. 1979.
 - "Pruning Landscape Trees", Leaflet #2574, Jan. 1979.
 - "Staking Landscape Trees", Publication #AXT-311.
- B. "Arboriculture: Care of Trees, Shrubs and Vines in the Landscape" by Richard W. Harris, Prentice-Hall, Inc. 1983.

1.03 SUBMITTALS

- A. Quality Control Submittals:
 - 1. Schedule of maintenance operations and monthly status report including list of equipment, materials proposed for the job and watering schedule.
 - 2. Licenses, permits and insurances required by the City, the State or Federal government pertaining to maintenance work.
 - 3. Monthly record of all herbicides, insecticides and disease control chemicals used for the project.
 - 4. Documentation of existing planting and irrigation system.
 - 5. Written application recommendation by a licensed agricultural pest control advisor for all weed, pest and disease controls restricted by the Director of Agriculture proposed for this work.
- B. Project Close-out Submittal: Include in a single, 3-ring binder a landscape maintenance manual containing an indexed collection of all schedules, records and permits listed above, as well as a documentation of accepted condition of planting and irrigation at Final Acceptance.

1.04 QUALITY ASSURANCE

- A. Qualifications:
 - 1. Experience: The landscape contractor or maintenance subcontractor shall have a full-time employee assigned to the job as foreman for the duration of the contract. He/she shall have a minimum of four (4) years experience in landscape maintenance supervision, with experience or training in, entomology, pest control, soils, fertilizers and plant identification.
 - 2. Labor Force: The landscape maintenance labor force shall be thoroughly familiar with, and trained in, the work to be accomplished and shall perform the task in a competent, efficient manner acceptable to the Owner.
- B. Requirements:
 - 1. Supervision: The foreman shall directly supervise the work force at all times. Notify Owner of all changes in supervision.
 - 2. Identification: Provide proper identification at all times for landscape maintenance firm's vehicles and labor force. Be uniformly dressed in a manner satisfactory to the Owner.

1.05 PROJECT/SITE CONDITIONS

- A. Site Visit: At beginning of maintenance period, visit and walk the site with the Owner's Representative to clarify scope of work and understand existing project/site conditions.
- B. Documentation of Conditions: Document general condition of existing trees, shrubs, vines, groundcovers and lawn recording all plant materials which are healthy, thriving, damaged, dead or dying.
- C. Irrigation System: Document general condition of existing irrigation system, making sure that faulty electrical controllers, broken or inoperable sprinkler heads are reported.

1.06 SEQUENCING AND SCHEDULING

- A. Perform all maintenance during hours mutually agreed upon between Owner and Contractor.
- B. Work force shall be present at the project site at least once a week and as often as necessary to perform specified maintenance in accordance with the approved maintenance schedule.

1.07 WARRANTY

- A. Specific Requirements: Refer to the following sections:
 - 1. Landscape Planting - Section 32 90 00.

PART 2 - PRODUCTS

2.01 MATERIALS

- A. General: All materials and equipment, shall be provided by the Contractor, except as specified below.

- B. Water: Clean, potable and fresh, available from the Owner.
- C. Fertilizers:
 - 1. Commercial, granulated type, 16-6-8 and 12-12-12. It shall be uniform in composition, dry and free flowing, to be delivered to the site, in unopened containers, each bearing the manufacturer's guaranteed chemical analysis and weight.
- D. Herbicides, Insecticides, and Fungicides:
 - 1. Best quality materials with original manufacturers' containers, properly labeled with guaranteed analysis.
 - 2. Use non-staining materials.

2.02 EQUIPMENT

- A. General: Use only the proper tool for each job. Maintain all tools in sharp, properly-functioning condition. Clean and sterilize pruning tools prior to usage.
- B. Insect/Disease Prevention: Take all measures to prevent introduction of insect or disease-laden materials onto the site. Landscape Planting - Section 32 90 00..

PART 3 - EXECUTION

3.01 ESTABLISHING THE MAINTENANCE PERIOD

- A. Provide landscape maintenance of all planted areas and materials for 90 days after acceptance of planting work, until Final Acceptance. Replace failed materials promptly.
- B. Preliminary Review: As soon as planting is substantially completed per documents, hold a preliminary review to determine the condition of the work.
- C. Date of Review: Notify Landscape Architect at least five (5) working days prior to anticipated date of review.
- D. Beginning of the Maintenance Period: The date on which the Landscape Architect issues a letter of Preliminary Acceptance to the Contractor.

3.02 PREPARATION

- A. Protection:
 - 1. Protect all new planting areas from damage of all kinds from beginning of work until sufficiently established or until Final Acceptance.
 - 2. Provide temporary protection fences, barriers and signs as required for protection.
- B. Replacements:
 - 1. Immediately treat or replace all plants which become damaged or injured as a result of Contractor's operations or negligence, as directed by Landscape Architect, at no cost to Owner.
 - 2. Replacement plants shall match size, condition and variety of plants replaced.

3.03 FERTILIZATION

- A. Thirty (30) days after planting apply 16-6-8 fertilizer, or other as recommended by the soils testing laboratory at a rate of 6 pounds per 1000 sq. ft. Sixty (60) days and ninety (90) days after planting apply 12-12-12 fertilizer, or other as recommended by the soils testing laboratory at a rate of 7 pounds per 1000 sq. ft. If for any reason the maintenance period is extended beyond the stated ninety day period, continue to fertilize all planting areas at thirty day intervals as specified above.
- B. Established Plant Materials: After thirty(30) days discontinue use of complete fertilizers unless soil test shows specific nutrient deficiencies.

3.04 PLANTING

- A. Watering Basins:
 - 1. Maintain all watering basins around plants so that enough water can be applied to establish moisture through major root zones.
 - 2. For supplemental hand watering of watering basins, use a water wand to break the water force. Do not permit use of "jet" type watering equipment. Do not permit crown roots to become exposed to air through dislodging of soil and mulch.
 - 3. Maintain originally called for depth of mulch to reduce evaporation and frequency of watering.
 - 4. In rainy season, open basins to allow surface drainage away from the root crown where excess water may accumulate. Restore watering basins at end of rainy season.
- B. Resetting: Reset plants to proper grades and upright position should any displacement be observed at any time.
- C. Weed Control:
 - 1. All areas between plants, including watering basins, shall be weed free at all times.
 - 2. Use only recommended and legally approved herbicides and pre-emergents or hand pulling and cultivation to control weed growth.
 - 3. Avoid frequent soil cultivation that destroys shallow roots and breaks the seal of pre-emergent herbicides.
- D. Pruning:
 - 1. Prune trees to select and develop permanent scaffold branches that are smaller in diameter than the trunk or branch to which they are attached, and which have vertical spacing of 18 in. to 48 in. and radial orientation so as not to overlay one another.
 - 2. Prune trees to eliminate diseased or damaged growth, and narrow V-shaped branch forks that lack strength. Reduce toppling and wind damage by thinning out crowns.
 - 3. Prune trees to maintain growth within space limitations, maintaining a natural appearance and balancing crown with roots.

4. No stripping of lower branches ("rising up") of young trees will be permitted.
5. Retain lower branches in a "tipped back" or pinched condition to promote caliper trunk growth (tapered trunk). Do not cut back to fewer than six buds or leaves on such branches. Only cut lower branches flush with the trunk after the tree is able to stand erect without staking or other support.
6. Thin out and shape evergreen trees when necessary to prevent wind and storm damage. Do primary pruning of deciduous trees during the dormant season. Do not permit any pruning of trees prone to excessive "bleeding" during growth season.
7. Prune damaged trees or those that constitute health or safety hazards at any time of year as required.
8. Make all cuts clean and close to the trunk, without cutting into the branch collar. "Stubbing" will not be permitted. Cut smaller branches flush with trunk or lateral branch.
 - a. Make larger cuts (1 in. in diameter or larger) parallel to shoulder rings, with the top edge of the cut at the trunk or lateral branch.
9. Branches too heavy to handle shall be precut in three stages to prevent splitting or peeling of bark. Make the first two cuts 18 in. or more from the trunk to remove the branch. Make the third cut at the trunk to remove the resulting stub.
10. Do not prune or clip shrubs into balled or boxed forms unless specifically called for by design.
11. Take extreme care to avoid transmitting disease from one infected plant to another. Properly sterilize pruning tools before going from one infected plant to all other plants.

E. Staking and Guying of Trees:

1. Inspect stakes and guys at least once a month to check for rubbing that causes bark wounds.
2. Conform to the recommended procedures of staking and guying as outlined in the University of California Publication AXT-311, "Staking Landscape Trees".

3.05 SHRUBS & GROUNDCOVERS

A. Watering:

1. Check for moisture penetration throughout the root zone at least twice a month.
2. Water as frequently as necessary to maintain healthy growth of groundcovers.

B. Weed Control:

1. Control weeds, preferably with pre-emergent herbicides and with selective systemic herbicides.
2. Minimize hoeing of weeds in order to avoid plant damage.

- C. Replace dead and missing plants without charge to Owner if lost due to improper maintenance.

3.06 INSECTS, PESTS, AND DISEASE CONTROL

- A. Inspection: Inspect all plant materials for signs of stress, damage and potential trouble from the following:
 - 1. Presence of insects, moles, gophers, ground squirrels, snails and slugs in planting areas.
 - 2. Discolored or blotching leaves or needles.
 - 3. Unusually light green or yellowish green color inconsistent with normal green color of leaves.
- B. Personnel: Only licensed, qualified, trained personnel shall perform spraying for insect, pest and disease control
- C. Application: Spray with extreme care to avoid all hazards to any person or pet in the area or adjacent areas.

3.07 IRRIGATION SYSTEM

- A. General:
 - 1. Repair without additional charge to the Owner all damages to system caused by Contractor's operations. Perform all repairs within one (1) watering period.
 - 2. Report promptly to the Owner all damage not resulting from Contractor's negligence or operations.
 - 3. Do not run the irrigation system during rainy season. Set and program automatic controllers for seasonal water requirements.
 - 4. Twice a month, use a probe or other acceptable tool to check the rootball moisture of representative plants as well as the surrounding soil.
- B. Cleaning and Monitoring the System:
 - 1. Continually monitor the irrigation systems to verify that they are functioning properly as designed. Make program adjustments required by changing field conditions.
 - 2. Prevent spraying on building walls by balancing the throttle control on the remote control valves and the adjustment screws on the sprinkler heads. Do not allow water to atomize and drift.

3.08 COMPLETION OF THE MAINTENANCE PERIOD

- A. Final Acceptance Procedure:
 - 1. Work will be accepted by the Landscape Architect upon satisfactory completion of all work, including maintenance period, but exclusive of replacement of materials under the Warranty Period.
 - 2. Submit a written request to Landscape Architect for review for Final Acceptance at least five (5) working days prior to anticipated Final Review date, which is at the end of the Maintenance Period.
- B. Corrective Work:
 - 1. Work requiring corrective action or replacement shall be performed within ten (10)

- calendar days after the Final Review.
2. Perform corrective work and materials replacement in accordance with the Drawings and Specifications, and shall be made by the Contractor at no cost to the Owner.
 3. After corrective work is completed, the Contractor shall again request a Final Review for Final Acceptance as outlined above.
 4. Continue maintenance of all landscaped areas until such time as all corrective measures have been completed and accepted.
- C. Conditions for Acceptance of Work at End of Maintenance Period:
1. Each plant shall be alive and thriving, showing signs of growth and no signs of stress, disease, or any other weaknesses.
 2. Replace all plants not meeting these conditions. An additional Warranty Period equal in length to the original shall be commenced for all such plants and planted areas.
- D. Final Acceptance Date: The date on which the Landscape Architect issues a Letter of Final Acceptance. Upon Final Acceptance, the Owner will assume responsibility for maintenance of the work.
- 3.09 CLEANING
- A. Dispose of all pruned materials, vacuum or sweep all leaves, sweep all walkways and rake smooth all mulched areas. Do not use blowers to remove leaves from property.
 - B. Remove from the site all containers and evidence of maintenance activities.
- 3.10 CLOSE OUT
- A. Landscape Maintenance Record: Submit binder to Owner with all documentation and records required and utilized during the maintenance period.
 - B. Keys and Identification: Return all keys and identification materials supplied by Owner for the purpose of site access.

END OF SECTION

SECTION 32 80 00

IRRIGATION SYSTEM

PART 1 - GENERAL

1.01 SUMMARY

- A. Work includes:
1. Complete fully automatic landscape irrigation system including trenching and backfilling for mains, laterals, and risers, valves, fittings, sprinkler heads, quick couplers, controllers, low voltage electric wiring, and all necessary specialties and accessories.
 2. Permits.
 3. Sleeves beneath walkways, roads, and driveways where required whether shown on the drawings or not.
 4. Clearing, testing, and adjusting of the system.
 5. Guarantees.
- B. Related work includes:
1. Section 32 90 00 – Landscape Planting
 2. Section 00 29 70 – Landscape Maintenance and Plant Establishment

1.02 QUALITY ASSURANCE

- A. Permits & Fees: Obtain and pay for all permits and inspections required by permit authority.
- B. Manufacturer's Directions: Manufacturer's directions and detailed drawings shall be followed in all cases where the manufacturers used in this contract furnish directions covering points not shown in the drawings and specifications.
- C. Ordinances and Regulations: All County and State laws, and rules and regulations governing or relating to any portion of this work are hereby incorporated into and made part of these specifications, and their provisions shall be carried out by the Contractor. Anything contained in the specifications shall not be construed to conflict with any of these rules and regulations or requirements of the same. However, when the specifications and drawings call for or describe materials, workmanship, or construction of a better quality, higher standard, or larger size than is required by these rules and regulations, the provisions of the specifications and drawings shall take precedence.
- D. Superintendent:
1. A superintendent satisfactory to the Owner's Representative shall be present on the site at all times during the progress of the work.
 2. The Superintendent shall not be changed except with the consent of the Owner's Representative.
 3. The Superintendent shall be authorized to represent the Contractor.
- E. Explanation of Drawings:

1. Due to the scale of drawings, it is not possible to indicate all offsets, fittings, sleeves, etc., which may be required. Carefully investigate the structural and finished conditions affecting all of this work and plan this work accordingly, furnishing such fittings, etc., as may be required to meet such conditions. Drawings are generally diagrammatic and indicative of the work to be installed. The work shall be installed in such a manner as to avoid conflicts between irrigation systems, planting, and architectural features.
 2. Work called for on the drawings by notes or details shall be furnished and installed whether or not specifically mentioned in the specifications.
- F. The Contractor shall not willfully install the irrigation system as shown on the drawings when it is obvious in the field that obstructions, grade differences or discrepancies in equipment usage or area dimensions exist that might not have been considered in the engineering. Such obstructions or differences shall be brought to the attention of the Owner's Representative. In the event this notification is not performed, the Contractor shall assume full responsibility for any revision necessary.
- G. Work of this Section which is allied with work of other trades shall be coordinated as necessary.
1. Coordinate work of this Section with all existing and new underground utilities and trades responsible for their installation.
- H. Underwriters Laboratories: Electrical wiring, controls, motors, and devices shall be U.L. listed, and so labeled.
- I. Installer Qualifications (for solvent and rubber gasket joints): Each person shall be trained by the manufacturer's representative in techniques for making correct joints prior to performing work on the site.

1.03 SUBMITTALS

- A. Submittal procedures and quantities are specified in Division 1. Provide a minimum of four copies unless otherwise directed.
- B. Provide the following submittals for review and approval:
1. Irrigation Materials Lists (see paragraph 1.4 below)
 2. Record Drawings (see paragraph 1.6 below)
 3. Controller Charts (see paragraph 1.7 below)
 4. Operating & Maintenance Manuals (see paragraph 1.8)
 5. Check List (see paragraph 1.9 below)
 6. Guarantee (see paragraph 1.11 below)
 7. Maintenance Tools (see paragraph 2.22 below)

1.04 IRRIGATION MATERIALS LISTS

- A. Prior to installation of any work, prepare a detailed list of each material proposed for use in the project and submit to Landscape Architect for approval. Prepare typewritten material list using the following format. Double space between each item.

ITEM NO.	DESCRIPTION	MANUFACTURER	MODEL NO.
1.	Pressure Main Line	Pac. Western	Schd. 40 PVC

2.	Spray Head	Rain Bird	1812
3.	Etc.	Etc.	Etc.

- B. If equipment is as specified, no manufacturer descriptive catalogs are necessary in submittal.

1.05 SUBSTITUTIONS

- A. Substitutions of any product, material, or equipment without the prior written approval of the Landscape Architect will not be permitted.
- B. Approval of any item as a substitution or alternate is for design only, based on information or samples provided by the Contractor.
- C. Provide descriptive catalog literature, performance and flow charts for each item proposed to be substituted.
- D. Contractor shall be responsible for the total performance of such substitution to equal or surpass the original in every respect.
- E. If the substitution proves to be unsatisfactory in the opinion of the Landscape Architect, Contractor shall remove such work and replace it with originally specified item (including installation) as part of the work of this section.
- F. Manufacturer's warranties shall not relieve Contractor of any liability under the specified guarantee. Such warranties are intended only to supplement the Contractor's guarantee.

1.06 RECORD DRAWINGS (AS-BUILTS)

- A. Maintain up to date complete "as-built" record set of drawings which shall show every change from the original drawings and exact as-built locations, sizes, and kinds of equipment.
 - 1. Maintain information daily. Keep drawings at the site at all times and available for review by the Landscape Architect.
 - 2. Record all required information on a set of prints of the Drawings. Do not use these prints for any other purpose.
 - 3. Record all changes which are made from the Contract Drawings, including changes in the pressure and non-pressure lines.
 - 4. Record information neatly and legibly so that the drawings are intelligible to persons not actually performing the installation.
- B. These drawings shall also serve as work progress sheets and shall be the basis for measurement and payment for work completed.
- C. Record dimensioned locations and depths for each of the following:
 - 1. Point of Connection to existing water line(s).
 - 2. Point of Connection to existing electrical power.
 - 3. Main Line Routing (Provide dimensions for each 100 lineal feet (maximum) along each routing, and for each change in direction.)
 - 4. Gate Valves

5. Master Valves
6. Flow Sensors
7. Control Valves
8. Quick Coupling Valves
9. Control Wire Routing
10. Sleeves under paving.
11. Other Related Items as directed by the Owner's Representative.

- D. Locate all dimensions from two permanent points (buildings, monuments, sidewalks, curbs or pavements).
- E. When record drawings have been approved by the Landscape Architect, transfer all information to a set of reproducible drawings following requirements set forth in Division one.
 1. Make dimensions accurately at the same scale used on original drawings, or larger. If photo reduction is required to facilitate controller chart housing, notes or dimensions must be a minimum 1/4 inch in size.
- F. Submit "as-built" drawing to the Landscape Architect for approval. Make corrections as directed by the Landscape Architect prior to making controller charts (see paragraph 1.7).
- G. Deliver corrected and completed reproducibles to the Landscape Architect on or before the date of the Final Landscape Inspection.

1.07 CONTROLLER CHARTS

- A. Do not prepare charts until record drawings have been approved by the Landscape Architect.
- B. Provide two controller charts, one to go inside the controller cabinet and one to be delivered to facilities maintenance. Controller shall be sized to fit within controller door, unless otherwise directed.
 1. Chart may be a reproduction of the Record Drawing, if the scale permits fitting the controller door. If photo reduction prints are required, keep reduction to maximum size possible to retain full legibility.
 2. Chart shall be blackline photo copy of the actual as-built system.
- C. Identify the area of coverage of each remote control valve, using a distinctly different pastel color, drawn over the entire area of coverage.
- D. Following approval of charts by Landscape Architect they shall be hermetically sealed between two layers of 20 mil thick plastic sheet.
- E. Charts must be completed and approved prior to final review of irrigation system.

1.08 OPERATING AND MAINTENANCE MANUALS

- A. Provide individually bound manuals detailing operation and maintenance requirements for the irrigation system.

- B. Provide three copies of each manual.
- C. Provide the following in each manual:
 - 1. Index sheet, stating Irrigation Contractor's name, address, telephone number and name of person to contact.
 - 2. Duration of the guarantee period.
 - 3. Equipment list providing the following for each item:
 - a. Manufacturer's name.
 - b. Make and model number.
 - c. Name and address of local manufacturer's representative.
 - d. Spare parts list in detail.
 - e. Detailed operating and maintenance instructions for major equipment.

1.09 CHECKLIST

- A. Provide a signed and dated checklist and deliver to the Owner's Representative prior to final review of the work.
- B. Use the following format:
 - 1. Permits: if none required, so note.
 - 2. Material approvals: approved by and date.
 - 3. Pressure line tests: by whom and date.
 - 4. Record drawings: received by and date.
 - 5. Controller charts: received by and date.
 - 6. Operation and maintenance manuals: received by and date.
 - 7. System and equipment operation instructions received by and date.
 - 8. Manufacturer's warranties if required: received by and date.
 - 9. Written guarantee: received by and date.

1.10 SITE OBSERVATION SCHEDULE

- A. Before any work commences, a conference shall be held with the Owner's Representative and the Contractor regarding general requirements of this work.
 - 1. Provide a minimum 7 day notice to the Owner's Representative requesting conference.
- B. The Contractor shall be responsible for notifying the Owner's Representative in advance for the following observation meetings (provide minimum 48 hour notice requesting meeting unless otherwise noted):
 - 1. Pressure supply line installation and testing.
 - 2. Automatic controller location & installation.
 - 3. Lateral line & sprinkler head layout.
 - 4. Coverage tests prior to planting.
 - 5. Final inspection (minimum 7 day on notice required).

- C. Provide up-to-date as built drawings at each review. No site observations will commence without as-built drawings.
- D. When observations have been conducted by other than the Owner's Representative, show evidence in writing of when and by whom these observations were made.

1.11 GUARANTEE

- A. Guarantee the irrigation system to provide service as designed and installed for a period of one year from date of Final Acceptance by the Owner.
 - 1. Final acceptance of the irrigation system shall be defined to be the same date as final acceptance of the landscape work as specified in Section 32 90 00.
- B. Submit guarantee as specified in Section 01 77 00, Close Out Procedures.
- C. Correct all problems which develop in the system due to faulty materials or workmanship during the guarantee period.
 - 1. Repair or replace such work as directed by the Owner's Representative.
 - 2. Make repairs and replacements promptly when notified.
 - 3. The Owner reserves the right to make temporary repairs during the guarantee period as necessary to keep systems in operating condition without voiding the Contractor's guarantee, nor relieving the Contractor of his responsibilities.
 - 4. All repairs and replacements shall match original installation in every way.
- D. Provide a written guarantee for each segment of the project, using the following format to be retyped on the Contractor's letterhead:

"GUARANTEE FOR SPRINKLER IRRIGATION SYSTEM

We hereby guarantee that the sprinkler irrigation system we have furnished and installed is free from defects in materials and workmanship, and the work has been completed in accordance with the drawings and specifications, ordinary wear and tear and unusual abuse or neglect excepted. We agree to repair or replace any defects in material or workmanship which may develop during the period of one year from the date of acceptance and also to repair or replace any damage resulting from the repairing or replacing of such defects at no cost to the Owner. We shall make such repairs or replacements within a reasonable time, as determined by the Owner, after receipt of written notice. In the event of our failure to make such repairs or replacements within a reasonable time after receipt of written notice from the Owner, we authorize the Owner to proceed to have said repairs or replacements made at our expense and we will pay the costs and charges therefore upon demand.

PROJECT: _____

CONTRACTOR: _____ PHONE NO: _____

ADDRESS: _____

BY: _____ TITLE: _____

DATE OF ACCEPTANCE: _____ BY: _____ "

1.12 PRODUCT HANDLING

- A. Storage: Store materials in an orderly manner at a location approved by the Owner's Representative. Avoid interference with other construction activities.
- B. Protection: Protect all materials to prevent intrusion of dirt and moisture. Do not store PVC material in direct sunlight. Protect the installed work and materials of other trades.

PART 2 - PRODUCTS

2.01 MATERIALS

- A. General: Use only new materials of the brands and types noted on the drawings, specified herein, or approved equals.

2.02 PIPE & FITTINGS SCHEDULE

- A. Pressure Main Line Piping & Fittings downstream of water meter:
 - 1. 2 inches and smaller: Schedule 40 PVC solvent weld type.
- B. Non-pressure lateral line below grade: Schedule 40 PVC solvent weld type.
- C. Sleeves for piping under paving and slabs: Schedule 40 PVC.

2.03 PLASTIC PIPE

- A. Identification Markings: Identify all pipe with the following indelible markings:
 - 1. Manufacturer's name
 - 2. Nominal pipe size
 - 3. Schedule or class
 - 4. Pressure rating p.s.i.
 - 5. NSF seal of approval
 - 6. Date of extrusion
- B. Pipe (solvent weld type) manufacture from virgin poly-vinyl chloride in accordance with ASTM D-1784 or ASTM D-2241, cell classification 12454B; hydrostatic design stress rating not less than 2000 p.s.i.

- C. Fittings: Standard weight, Schedule 40 injection molded PVC. Comply with ASTM D-1784, cell classification 13454B.
 - 1. Threads (where required): Injection molded type.
 - 2. Tees and Ells: side gated.
 - 3. Threaded Nipples: Standard weight, Schedule 80 with molded threads.

2.04 WARNING TAPE

- A. Detectable underground utility marking tape, minimum 4.85 mil overall thickness, by Christy Type III, Magnatec, or equal.

2.05 JOINT CEMENT AND PRIMER

- A. All PVC pipe including both non-pressure plastic pipe and fittings (lateral lines) and pressure plastic pipe and fittings (main line) shall be coated with a primer and then with a 100% active solvent cement, blue in color.
- B. Both primer and solvent shall be Christy's "Red Hot", or approved equal (no known equal).

2.06 WIRING, LOW VOLTAGE

- A. Connections between the controller and remote control valves shall be made with valve manufacturer's wire chart and specifications.
- B. Wiring shall occupy the same trench and shall be installed along with the same route as the pressure supply lines wherever possible.
- C. Where more than one wire is placed in a trench, the wiring shall be taped together at intervals of 12 feet.
- D. All splices shall be made using Scotch Lok Unipack waterproof sealing packets, Pen-Tite Connectors, or equal. An expansion loop of 18" shall be provided at each wire connection and directional turn.
- E. Sizing of wire shall be according to manufacturer recommendations, in no case less than AWG #14 size.
- F. Use a continuous wire between controller and remote control valves. Under no circumstances shall splices exist without prior approval. Any splices allowed shall be installed in an approved box.
- G. All ground wires shall be white AWG #12 size.
- H. Provide four orange wires from controller to the end of each mainline branch in system as shown on the plans, to be used as required as a spare in addition to those indicated on

the plans. Label these wires spare in the controller. Loop wires into each valve box along

2.07 AUTOMATIC CONTROLLER ASSEMBLY

- A. Type: All Automatic controller assemblies shall be a factory preassembled control package in a stainless steel weatherproof pedestal housing. Assemblies shall be Hunter ACC-1200 Series: 12 Station Outdoor, 120 VAC with the following options:
1. (2) ACM-600 Expansion Modules.
 2. (1) Hunter WSS-SEN Wireless Solar Sync ET/Rain sensor.

2.08 BACKFLOW PREVENTION UNIT

- A. The reduced backflow preventer shall consist of two independently operating, spring loaded check valves and one hydraulically dependent differential relief valve. The device shall automatically reduce the pressure in the zone between the check valves to at least 5 PSI lower than the inlet pressure. Should the differential between the upstream the downstream zone of the unit drop to 2 PSI, the differential relief valve shall open and maintain the proper differential. Unit shall be:
1. Febco 825YA Series backflow preventer with pressure regulator and strainer.
- B. The reduced backflow preventer shall be constructed of lightweight, thin walled, epoxy coated ductile iron with no threads or taps in body or cover. The reduced backflow preventer shall have flange type fittings.
- C. Install reduced backflow preventer in Strong Box SBBC-30SS stainless steel enclosure.

2.09 BALL VALVES

- A. NIBCO T-580-70 two-piece bronze ball valve, line sized.

2.10 QUICK COUPLING VALVES

- A. The quick coupling valve shall be a two piece type capable of having a discharge rate of 15 gallons per minute (G.P.M.) with a pressure loss not to exceed 4.3 pounds per square inch (PSI).
1. Rainbird 33-LRC.
- B. The valve body shall be constructed of heavy cast brass. The cover shall be a durable, protective self-closing rubber cover. When so specified, the cover shall be a locking rubber cover (LRC).
- C. The valve shall be opened and closed by a brass key of the same manufacturer having a 3/4" (MNPT) and 3/4 " (FNPT) outlet. The valve throat shall have a keyway with detent positions for regulating water flow.

2.11 MASTER VALVE

- A. Superior 3200 Series normally closed, line sized.
- 2.12 DRIP ZONE CONTROL VALVE
- A. Rainbird X CZ-100-PRB-COM for zones with flow less than 20 GPM
 - B. Rainbird X CZ-150-PRB-COM for zones with flow equal to or greater than 20 GPM.
- 2.13 AUTOMATIC FLUSH VALVE
- A. Netafim model TLFV-1.
- 2.14 AIR / VACUUM RELIEF VALVE
- A. Netafim model TLAVRV
- 2.15 FLOW SENSOR
- A. Hunter FCT Series sensor in PVC TEE, line sized.
- 2.16 DRIPLINE SYSTEMS
- A. Install flush valve at low end of the system and an air relief valve at the high end of each system.
 1. Dripline is to be Rainbird XFS-06-18 drip tubing.
 2. Rainbird X17500 drip system operation indicator kit.
- 2.17 BUBBLER HEADS
- A. Hunter MSBN-25Q nozzle.
 - B. Hunter PROS-06-PRS30-CV spray body.
- 2.18 VALVE BOXES
- A. Provide type and size for all valves as noted on the drawings. Boxes shall be fabricated from a durable plastic resistant to weather, sunlight, and chemical action of soils, Carson or approved equal. Color to be green.
 1. Ball valve boxes shall be round. Heat stencil "BV" on lid.
 2. Remote control valve boxes shall be rectangular. Heat stencil "AV#__" control station number (as connected to controller) on lid.
 3. Quick coupler valve boxes shall be round. Heat stencil "QC" on lid.
 4. Flow Sensor valve boxes shall be round. Heat stencil "FS" on lid.

5. Master valve boxes shall be rectangular. Heat stencil "MV" on lid.
6. Drip Zone control valve boxes shall be Jumbo rectangular. Heat stencil "A-__" control station number (as connected to controller) on lid.
7. Automatic Flush valve boxes shall be round. Heat stencil "AFV" on lid.

2.18 RAIN SENSOR

- A. Hunter WSS-SEN Wireless Solar Sync.

2.19 OPERATING AND MAINTENANCE TOOLS

- A. Deliver the following items to the Owner when work is completed and prior to final acceptance of work:
 1. Six wrenches for disassembly and adjustment of each type of sprinkler head.
 2. Two keys for each automatic controller.
 3. Four couplers and matching hose swivels with globe valves.
 4. Six keys for opening valve boxes.
 5. One 48 inch steel tee wrench for gate valves with square nut.

PART 3 - EXECUTION

3.01 SITE REVIEW

- A. Examine site for conditions that will adversely affect execution, permanence, and quality of work.
 1. Verify that grading has been completed and the work of this section can properly proceed.
 2. Exercise extreme care in excavating and working near structures, utilities, underground piping and conduits. Contractor is responsible for damages that are caused by his operations or neglect. Check existing utility drawings for locations.
 3. Determine locations of points of connections to all piping installed by others, and determine that pressure supply is available for work of this Section.
- B. All scaled dimensions are approximate. The Contractor shall check and verify all size dimensions prior to proceeding with work under this Section.
- C. Notify the Owner's Representative in writing, describing unacceptable conditions.
- D. Do not proceed with work until unacceptable site conditions are corrected and existing utilities are located.

3.02 POINT OF CONNECTION

- A. Contractor shall connect to water supply points of connection at locations shown on the drawing and make any minor changes in location necessary due to actual site conditions as a part of this contract.

3.03 LAYOUT

- A. All piping or equipment shown diagrammatically on the drawing outside of planting areas shall be installed inside planting areas whenever possible.
- B. Lay out each sprinkler head and make any minor adjustments required due to differences between actual site conditions and the Drawings. Minor adjustments shall be maintained within the original design intent.
- C. Lay out each system using staking method as approved by Owner's Representative. Maintain and protect approved staking layout.

3.04 TRENCHING

- A. Excavate trenches to required depths. Follow approved layout for each system.
- B. Trench bottom shall be flat to insure piping is supported continuously on an even grade.
- C. Where lines occur under paved areas, consider dimension to be below the subgrade.
- D. Provide minimum coverage as follows:
 - 1. Main Lines 2-1/2 inch and smaller: 18 inches.
 - 2. Lateral Lines: 18 inches.
 - 3. Control Wires: 18 inches.

3.05 LINE CLEARANCES

- A. Provide not less than 4 inches clearance (horizontal and vertical) between each line and not less than 6 inches clearance between lines of other trades, unless otherwise noted.
- D. Do not install parallel lines directly over any other line.

3.06 BACKFILLING

- A. Buried pipe in trenches shall be center loaded only until all required tests are performed.
- B. Trenches shall be carefully backfilled with excavated materials approved for backfilling; consisting of earth, loam, sandy clay, sand or other approved materials, free from large clods or stones.
 - 1. Initial Backfill: Clean, fine granular material as approved by the Owner's Representative. No foreign matter larger than 1/2 inch will be permitted in the initial backfill.
- C. Compact trench backfill to a dry density equal to adjacent undisturbed soil. Restore to adjacent grade, free of dips, depressions, humps or other irregularities.

1. Where acceptable soils exist, the Owner's Representative may authorize flooding in lieu of tamping.
2. Compaction by truck or other vehicle is not permitted.

3.07 EXISTING PAVEMENTS

- A. Piping under existing pavements may be installed by jacking, boring, or by hydraulic driving, except as otherwise specified or directed.
- B. Secure Owner's permission prior to cutting or breaking existing pavements.
- C. Make completely clean cuts using power saws, at approved locations only.
- D. Replace and restore all surfaces to original condition, including grade and landscaping. Restoration work shall match the original work in every respect, including type, strength, texture and finish.

3.08 NEW PAVED AREAS

- A. Install all main line under paving and slabs in PVC sleeves sized large enough to permit easy extraction without the use of power equipment.
 1. Provide a separate parallel sleeve for control wire.
- B. If the piping installed under paving is over 20 feet long, pressure testing is required for that section at the time of installation. Upon completion of piping installation, the entire system must be tested.
- C. If wires under paved areas cannot be continuous, all splices must be enclosed in an approved box.
- D. Provide sand backfill a minimum of 4 inches over and under all piping under paved areas.

3.09 INSTALLATION

- A. All plastic pipe and fittings shall be installed in complete accord with manufacturer instructions.
- B. Routing of main lines as indicated on the Drawings is diagrammatic. Install lines and assemblies to conform to details on the plan.
- C. Installation of Piping:
 1. Plastic Pipe with Threaded Fittings: Assemble using teflon tape applied to male threads only.
 2. All PVC pipe and fitting shall be thoroughly cleaned of dirt, dust and moisture prior to installation. Installation and solvent welding methods shall be as recommended by the pipe & fitting manufacturer.

3. Tape all open ends of pipe to prevent entry of any foreign matter into the system.
 4. On PVC to metal connections, the Contractor shall work the metal connections first. Use Teflon tape on all threaded PVC to metal joints.
- D. Install reclaimed water warning tape continuously for the entire length of all constant pressure mainline piping. The tape shall be attached at the top of the pipe with plastic tape banded around the warning tape and the pipe every five feet on center.
 - E. Install all specified assemblies in accordance with the Drawings. In absence of detail drawings or specifications pertaining to specific items required to complete the work, perform such work in accordance with best standard practice, as approved by the Landscape Architect.
 - F. All major equipment shall be verified for exact location with the Owner's Representative before installation.
 1. Quick Coupling Valves: Unless otherwise indicated, locate valves within 12 inches of a walkway.
 2. Remote Control Valves: Locate valves in shrub areas wherever possible. Unless otherwise approved, locate valves within 2 feet of a walkway.
 3. Install backflow assemblies in shrub or planter areas at minimum height permitted by local code.
 4. Automatic Controller: Verify exact location with the Owner's Representative.
 - G. Sprinkler Heads: All sprinklers shall be installed flush with finish grade unless otherwise noted. Spacing of heads shall not exceed the maximum shown on the drawings.
 - H. Automatic Controller: Install as per manufacturers instructions. Remote control valves shall be connected to the controller in the sequence as shown on the drawings.

3.10 VALVE BOXES

- A. Provide at all locations indicated.
- B. Fill area under box with minimum of 2 cubic feet of pea gravel before box is installed.
- C. Identification: Attach identification tag showing valve number on each solenoid pigtail.
 1. Tags shall be manufactured of polyurethane Behr Desopaid, yellow in color, with black letters, 2-3/4 by 2-1/4 inches square.
 2. Tags shall be as manufactured by Christy's or equal.

3.11 LOW VOLTAGE WIRING

- A. Place wiring in the same trench and along the same routing as the main lines unless otherwise approved.
 1. Install wiring prior to main line whenever possible.
 2. When more than one wire is placed in a trench, tape wires together at maximum intervals of 12 feet.
- B. Provide a 12 inch expansion loop at each connection and at each change in direction.

- C. Use a continuous wire between controller and remote control valves.
 - 1. Except as otherwise approved, do not splice wire at any point.
 - 2. All approved splices shall be enclosed in an acceptable box.
- D. Each controller shall be provided with separate ground (common) wire.

3.12 FLUSHING THE SYSTEM

- A. Prior to installation of sprinkler heads, the valves shall be opened and a full head of water used to flush out the lines and risers.
- B. Sprinkler heads shall be installed after flushing the system has been completed.

3.13 SYSTEM ADJUSTMENT

- A. Valves: Adjust flow control for proper operation.
- B. Heads: Adjust for alignment and coverage for optimum performance and to prevent as much as possible any overspray onto walks and roadways. No spray is permitted on buildings.
- C. If it is determined that adjustments in the irrigation equipment will provide proper and more adequate coverage, make such changes prior to any planting. Adjustments may include changes in nozzles sizes, trajectory of spray or degrees of arc, as required.
- D. All sprinkler heads shall be set perpendicular to finish grades unless otherwise indicated on the plans and at height and distance from walks, buildings, etc. as noted.

3.14 PRESSURE TESTS

- A. Provide all equipment necessary to test systems, including force pump.
- B. Perform all hydrostatic tests in presence of the Owner's Representative.
- C. Test all main lines under hydrostatic pressure of 150 p.s.i. for a period of 2 hours, unless otherwise required and approved. Pressure drop over test period shall be zero p.s.i.
- D. Do not backfill over any line more than is necessary for testing, until it has been inspected, tested and approved.
- E. Do not install remote control valves, quick couplers or any other valve assembly until testing is completed and approved.

3.15 COVERAGE TESTS

- A. Perform coverage tests after sprinkler system is completed, but prior to any planting, in the presence of the Owner's Representative.

- B. Test system to assure that all planting areas are watered completely and uniformly.
- C. Make all necessary adjustments, including realignment and relocation of heads, to provide required coverage as directed by the Owner's Representative.

3.16 OPERATING INSTRUCTIONS

- A. Train the Owner's maintenance personnel in proper operation of all major equipment. Refer to Section 01 78 23.
 - 1. Arrange for training by manufacturer's representatives for controller.
- B. Provide this training at the Owner's convenience.
- C. Submit written evidence that training has been successfully completed.

3.17 CLEANUP

- A. Upon completion of the work, restore ground to required elevations and remove excess materials, debris, and equipment from the site to the satisfaction of the Owner's Representative.

END OF SECTION

SECTION 32 29 00

LANDSCAPE PLANTING

PART 1 - GENERAL

1.01 SUMMARY

A. Section Includes:

1. Supply all work and materials, appliances, tools, equipment, facilities, transportation, and services necessary for and incidental to performing all operations in connection with furnishing, delivery, and installation of Landscape Planting, complete as shown on the Drawings and/or as specified herein.
2. The principal items of work included in this section, but not exclusively, are:
 - a. Soil preparation including rock removal.
 - b. Finish grading.
 - c. Plant materials including trees, palm trees, shrubs, and ground covers.
 - d. Staking and guying of trees.
 - e. Protection and guarantees.
 - f. Miscellaneous work for completion.

B. Related work specified elsewhere

1. Section 32 80 00 - Irrigation System
2. Section 00 29 70 - Landscape Maintenance and Plant Establishment

1.02 QUALITY ASSURANCE AND PROJECT REQUIREMENTS

A. Applicable Standards:

1. American Association of Nurserymen Grades and Standards.
2. American Joint Committee on Horticultural Nomenclature: 1942, edition of Standardized Plant Names.

B. Project Requirements:

1. The work of this Section is to be coordinated with all underground utilities and trades responsible for their installation and with all related work in other sections.
2. Manufacturer's Directions: Manufacturer's directions and detailed drawings shall be followed in all cases where the manufacturers used in this Contract furnish directions covering points not shown in the drawings and specifications.
3. Work called for on the drawings by notes or details shall be furnished and installed whether or not specifically mentioned in the specifications.
4. Do not deviate from the specified arrangements, showing types, locations, sizes and quantities of materials as set out in the Drawings and/or described in the Specifications, unless the Drawings and/or Specifications are previously modified by the Landscape Architect.
5. Do not install the work as shown on the drawings when it is obvious in the field that obstructions, grade differences or discrepancies in equipment usage or area dimensions exist that might not have been considered in the design. Such obstructions or differences shall be brought to the attention of the Landscape

Architect. In the event this notification is not performed, the Contractor shall assume full responsibility for any revision necessary.

1.03 SUBMITTALS

- A. Submittal procedures and quantities are specified in Section 01 33 00 Submittals. Provide a minimum of four copies unless otherwise directed.
- B. Provide the following submittals for review and approval:
 - 1. Provide source, manufacturer's data sheets, and samples where indicated for, at a minimum, each of the following:
 - a. Organic amendment.
 - b. Fertilizers.
 - c. Soil conditioners.
 - d. Mulch including sample.
 - e. Plant materials (see Section 2.3).
 - f. Tree ties.
 - 2. In addition to other certificates specified, furnish a certificate with each delivery of bulk material, including topsoil if proposed, stating the source, quantity and type of material; verifying that the material conforms to the requirements of the Specifications. A similar certificate shall be submitted for each delivery of material in containers, including soil conditioners and fertilizers, prior to the start of the installation.
 - 3. Submit soils test results and soils test location plan as described in Section 3.1.B.
- C. Submit a work schedule for approval prior to the execution of the work.

1.04 SITE OBSERVATION SCHEDULE

- A. Before any work commences, hold a conference with the Owner's Representative regarding general requirements of this work. See Section 1700, Execution Requirements.
 - 1. Provide a minimum 5 day notice requesting this conference.
- B. The Contractor is responsible for notifying the Owner's Representative in advance for the following site reviews (provide minimum 48 hour notice to the Owner's Representative requesting the review unless otherwise noted):
 - 1. At completion of finish grading.
 - 2. When trees and shrubs are spaced for planting, but before holes are excavated. The Owner's Representative reserves the right to relocate trees and shrubs from positions on the Drawings prior to planting at no extra cost.
 - 3. At the start of the maintenance period.
 - 4. At the end of the maintenance period.

1.05 JOB CONDITIONS

- A. Establish all lines and levels necessary for the location and installation of the landscape construction and for all excavation, filling and grading. Take measurements of the site, verify the same with the Drawings, and be responsible for the proper fit of the completed work

- B. Water will be available on the site at no expense to the Contractor. The Contractor at his expense shall furnish hoses and other watering equipment required for the work
- C. Provide and maintain substantial and adequate protection as may be required to protect new and existing work and all items of equipment and furnishings for the entire duration of the work. Repair or make good any and all damage or loss at no cost and to the full satisfaction of the Owner.
- D. All portions of the work that are broken or injured by accident or in the course of or on account of construction operations, or by reason of any other cause whatsoever during the progress of the contract, shall be carefully and neatly repaired or reconstructed and the whole left in first class condition and turned ready for use.

1.06 GUARANTEE

- A. Plants 15 gallon and larger shall be guaranteed for a twelve (12) month period after final acceptance and trees smaller than 15 gallon, shrubs, and ground covers shall be guaranteed for ninety (90) days after final acceptance unless otherwise noted. All materials not in a vigorous, thriving condition shall be replaced as soon as weather permits when so requested by the Owner. Plants, including trees, which have partially died so that shape, size, or symmetry has been damaged, shall be considered subject to replacement. In such cases, the opinion of the Owner's Representative will be final.
 - 1. Plants used for replacement shall be of the same kind and size as those originally specified. All work, including materials, labor, and equipment used in replacements, shall be at no additional cost. Replacement plants shall carry the same guarantee as original. Any damage, including ruts in planting bed, incurred while making replacements shall be immediately repaired.
 - 2. When plant replacements are made, plants, plant soil mix, fertilizer, mulch, etc., are to be replaced as originally specified, and inspected for full compliance with the Contract requirements.

PART 2 - PRODUCTS

2.01 APPROVAL AND REJECTION OF MATERIALS

- A. The selection of all materials and execution of all operations required under the Drawings and Specifications are subject to the approval of the Landscape Architect.
- B. The Landscape Architect has the right to reject any material and work which in their opinion does not meet the requirements of the Drawings or Specifications, at any stage of the operation. The Contractor when so directed shall promptly remove all rejected materials.

2.02 SUBSTITUTIONS OF MATERIALS

- A. Before submitting a bid, locate all necessary materials called for and assure their availability for use on the job. The contract bids shall be based upon providing the specified materials, processes, products, etc., identified in this Specification and/or indicated on the Drawings

2.03 CONTRACTOR'S RESPONSIBILITY TO SUPPLY PLANT MATERIALS

- A. Upon award of the Contract, the Contractor shall immediately locate all trees 15 gallon and larger for use on the project, including palm trees, unless otherwise approved by the Landscape Architect. Notify the Landscape Architect in writing the location and/or nursery that is growing the trees. The Contractor is responsible to supply all trees at the heights, spreads and calipers specified on the Drawings.
- B. The Contractor shall photograph all plant material or as otherwise directed by the Landscape Architect, that are proposed for use in the project. The Contractor shall send color photos to the Landscape Architect for preliminary approval. Upon delivery to the site, any plant material found to be inconsistent with supplied photographs, or otherwise not complying with the plans and specifications, shall be replaced whether installed or not.

2.04 STORAGE OF MATERIALS

- A. Secure permission from the Owner to store plants on the project site, and take care to ensure that they are protected from damage by sun, wind, rain, theft, and construction work. The Contractor shall be responsible for all security and protection of stored plant materials up to final acceptance.

2.05 SOIL AMENDMENTS AND CONDITIONERS

- A. Soil Testing: Contractor to pay for Agricultural soil testing prior to soil amendment.
- B. Lime: Natural dolomite limestone containing not less than 85 percent of total carbonates with a minimum of 30 percent magnesium carbonates, ground so that not less than 90 percent passes a 10-mesh sieve and not less than 50 percent passes a 100-mesh sieve.
- C. Aluminum Sulfate: Commercial grade.
- D. Peat Humus: Finely divided peat, so completely decomposed and free of fibers that its biological identity is lost. Provide in granular form, free of hard lumps and with pH range suitable for intended use.
 - 1. Minimum organic material: 85 percent, measured by oven dry weight.
 - 2. pH range: 4 to 5
 - 3. Moisture content: 30 percent
- E. Bonemeal: Raw, commercial grade, finely ground; minimum 4 percent nitrogen and 20 percent phosphoric acid.
- F. Superphosphate: Soluble mixture of treated minerals; 20 percent available phosphoric acid.
- G. Sand: Clean, washed sand, free of toxic materials.
- H. Perlite: Conforming to National Bureau of Standards PS 23.
- I. Vermiculite: Horticultural grade, free of toxic substances.

- J. Nitrolized Shavings: Organic amendment shall be nitrolized-mineralized redwood shavings (.5% actual nitrogen) or nitrolized-mineralized fir (.8% actual nitrogen) or nitrolized-mineralized fir bark (1% actual nitrogen). It shall be fine texture, having actual minimum 80% passing #8 screen and minimum 95% passing #4 screen. Salinity shall not be higher than 3.5 milliohms per centimeter at 25 degrees C measured by saturation extract conductivity. Pine shall not be permitted.
- K. Mulching Material: Wood cellulose fiber, chip form, free of growth or germination-inhibiting ingredients, from Recycled wood products. Cover Mulch by Eathworks (951) 782-0260.
- L. Commercial Fertilizer: 12-12-12 Commercial fertilizer, uniform in composition, free-flowing and suitable for application with approved equipment, conforming to applicable fertilizer laws, and bearing the name or mark of the manufacturer. Fertilizer tablets shall be a highly compressed homogeneous tablet weighting 7 gr. Chemical analysis shall be 12-8-8 slow release, nitrogen 12%, phosphate 8%, potash 8%, humus 20%, humic acids 4%, Iron 2%, sulphur 3.5%. Planting tablets shall be Gro-Power planting tablets or equal.
- M. Pre-Planting Herbicide
 - 1. All chemicals used for weed control shall be registered by the State of California Department of Feed and Agriculture and the Environmental Protection Agency with registration identification on the label. Label shall be at job site at all times.
 - 2. All chemicals shall be applied as per registered label instruction and manufacturer's recommendations.
 - 3. Chemicals requiring a licensed applicator must be applied by persons registered with the Los Angeles County Department of Agriculture's commissioner's Office as possessing a current, valid, qualified pest control applicator's license.
 - 4. The use of any restricted materials is forbidden unless a special use permit is obtained from the Los Angeles County Department of Agriculture.
 - 5. the non-selective, trans-locative herbicide shall be "Round-Up" or approved equal.
- N. Pre-Emergent Weed Control: Ronstar-G or equal.
- O. Decomposed Granite: Granular stone top dressing material consisting of particle sizes ranging from 3/8" down to rock dust. California Gold as available from Decortive Stone Solutions (800) 699-1878.

2.06 PLANT MATERIALS

- A. Plant materials shall be furnished in the quantities required to completed work as indicated on the Drawings, and shall be as specified.
- B. Plant names listed on the Drawings conform to the Joint Committee on Horticultural Nomenclature, except that for names not covered therein, the established custom of the nursery trade is followed. Multi-trunk defines a plant having three or more trunks of nearly equal diameter developed from the single crown of a rootball; 'Make-up' multi-trunk trees will not be accepted.
- C. Plants shall be nursery grown under climatic conditions similar to those at the site. Plants shall meet the standards of the American Association of Nurserymen in all ways.

D. Ornamental Trees and Shrubs:

1. Plants shall be symmetrical, typical for variety and species; sound, healthy, vigorous and free from plant disease, insects and their eggs, and shall have healthy, full root systems, filling their containers, but not root bound.
2. Plants shall not be pruned prior to delivery except as authorized by the Landscape Architect.
3. Plants shall be protected in transit and after delivery. Plants in broken containers will not be accepted. Plants with broken branches or injured trunks will not be accepted.
4. Container stock shall have been grown for at least six (6) months in the containers in which they are to be delivered, but shall not be root bound.
5. Container plants with cracked or broken balls of earth when taken from the containers may be planted only with specific approval of the Landscape Architect.

2.07 MISCELLANEOUS LANDSCAPE MATERIALS

- A. Gravel: Water-worn, hard, durable gravel, washed free of loam, sand, clay and other foreign substances and of following size range and color.
 1. Size Range: 1-1/2 inches maximum, 3/4-inch minimum pea gravel.
- B. Weed Barrier: Water permeable filtration fabric of fiberglass or polypropylene fabric. Trevira "Spunbound" #115 approved equal.
- C. Stakes: 2-inch diameter round Lodge Pole Pine free of knot holes and other defects.
- D. Deadmen: 2 x 4 by 24-inches redwood.
- E. Guys:
 1. Wire ties and guys: 2-strand, twisted, pliable galvanized steel wire, not lighter than 10 gage.
 2. Eye bolts and turnbuckles: Zinc-coated, or sufficient strength to withstand wind pressure and resultant movement of plant life.
- F. Plant ties: 24-inches corded tie by Gro-Straight or approved equal.
- G. Plant Protectors: Minimum 1/2-inch diameter rubber or plastic hose, cut to required lengths and of uniform color, material and size, to retain trees to stakes and to protect plant stems, trunks and branches from damage by guys.
- H. Root Barriers: "Control A Root" panels from Vespro, Inc. (415/434-3072) or Deep Root Corp.
- I. Water: Clean, fresh and free of substances or matter which could inhibit vigorous growth of grass.
- J. Tree Guard: Arbor-Guard protection by Deep Root Corp. or equal.
- K. Guys:

1. Wire ties and guys: 2-strand, twisted, pliable galvanized steel wire, not lighter than 10 gage.
 2. Eye bolts and turnbuckles: Zinc-coated, or sufficient strength to withstand wind pressure and resultant movement of plant life.
- L. Plant ties: 24-inches corded tie by Gro-Straight or approved equal. Plant Protectors: Minimum ½-inch diameter rubber or plastic hose, cut to required lengths and of uniform color, material and size, to retain trees to stakes and to protect plant stems, trunks and branches from damage by guys.
- M. Root Barriers: "Control A Root" panels from Vespro, Inc. (415/434-3072) or Deep Root Corp.
- N. Water: Clean, fresh and free of substances or matter which could inhibit vigorous growth of grass.
- O. Tree Guard: Arbor-Guard protection by Deep Root Corp. or equal.
- P. Tree Ties: V.I.T. tie.

PART 3 - EXECUTION

3.01 PREPARATORY WORK

- A. Remove from the site and dispose of all soil that contains any deleterious substances such as oil, plaster, concrete, gasoline, paint, solvents, lime, etc., removing the soil to a minimum depth of six inches or to the level of dryness in the affected areas. The affected soil shall be replaced with topsoil as specified herein.
- B. Provide as part of the work of this section, two (2) composite soil tests and corresponding soil amendment and fertilization recommendations, one composite test from each end of the site (four (4) tests in all. Tests shall be agricultural suitability and fertility tests utilizing the University of California method, and shall be performed by a certified soil-testing laboratory approved by the Owner's Representative. Each test shall consist of one composite soil samples from a depth of 8" - 12", and one of composite soil samples from a depth of 24" - 30".
- C. Also provide as part of the work of this section, a minimum of three water percolation tests (one at each end and one in the middle of the site) as follow: Holes a minimum of 3' by 3' by 2' deep shall be dug at widely separate locations on the site. Tree planting pits may be used for these tests. Each hole shall be filled with water and allowed to completely drain. Refill each hole and measure the rate the water level drops over a minimum of four hours. Measured rates less than 1 inch drop per hour shall be reported to the Owner's Representative and the augured dry wells at the bottom of every tree pit, as detailed, will be required. With adequate percolation greater than 1 inch per hour the augured holes may be deleted for an appropriate cost credit.

3.02 PRELIMINARY SITE PREPARATION

- A. Deep rip all planting areas to a depth of eight inches. Remove all stones greater than 3/4" diameter within the top eight inches of all planting areas. Use balloon tire mounted equipment only in landscaped areas.
- B. Water settle all backfilled areas, thoroughly saturating the fill from bottom to top in a manner to drive out all air and voids. Add new topsoil if necessary to bring settled areas to finish grades. In most cases this would apply to areas adjacent to retaining walls, building walls, and utility trenches. The intent of this paragraph is that the landscape contractor is responsible to settle all areas backfilled under this contract, as well as settling in areas of landscaping backfilled by others.
- C. Finish Grading: When preliminary grading, including clearing and weeding has been completed and the soil may be readily worked, all planting areas shall be graded to a smooth, even and uniform plane with no abrupt change in surface. Soil areas shall slope away from buildings, and surface drainage shall be directed as indicated on the Drawings. Grade to within 1" of the top of curbs and paving. Remove all stones greater than one inch in diameter from the surface soil. Notify the Owner's Representative 48 hours in advance for approval of finish grades.

3.03 WEED CONTROL

- A. After irrigation is installed and after finish grade is established, all planting areas shall undergo the following weed control treatment:
 - 1. Apply approved contact weed killer herbicide to all planting areas. After killing, remove all dead weeds and grasses.
 - 2. Apply 4 pounds per 1000 square feet ammonium sulfate 21-0-0 fertilizer to all planted areas.
 - 3. Irrigate at normal rates for 14 days.
 - 4. After 14 days again apply approved contact weed killer to all planting areas. After killing, remove all dead weeds and grasses.
 - 5. Pre-emergent herbicide shall be applied to all shrub and ground cover areas.

3.04 SOIL PREPARATION

- A. Soil Clearing and Cleaning: Before mixing, clear and clean topsoil of roots, plants, sod, grasses, stones, clay lumps and other extraneous materials harmful or toxic to plant growth.
- B. Soil Amendments and Fertilizers: Mix specified soil amendments and fertilizers with topsoil at rates specified. Delay mixing of fertilizer if planting will not follow pacing of planting soil within a few days.
- C. Soil for Plant Pit Backfill: Mix planting soil prior to backfilling and stockpile at site. Mix as follows:
 - 1. 60% on site topsoil or import topsoil.
 - 2. 40% introlized redwood shavings.
 - 3. 15 lbs. Gro-Power Plus per cubic yard of mix.
- D. Soil for Planting Beds and Lawns: Mix planting soil either prior to planting or apply on surface of topsoil and mix thoroughly before planting. The top four (4) inches of all planting beds and lawn areas shall receive planting soil.

3.05 PLANTING TREES AND SHRUBS

- A. Planting, General: Install trees and shrubs in moist soil in the areas and at the spacing shown, in neat rows, insuring complete coverage of all planting areas including under and around trees and shrubs. Spacing shown on drawings are triangular spacing, unless otherwise noted.
1. No planting shall be done until all operations in conjunction with the installation of the sprinkler system have been completed, final grades have been established, the planting areas have been properly graded and prepared, and the Work has been reviewed by the Owner's Representative and Owner.
- B. Pruning: Before plants are transported to the planting area, properly prune or cut back plants to reduce damage by wind and to force lateral growth.
1. Pruning operations shall conform to the best horticultural practices with due regard to the natural or desired form and growth characteristic of the individual species.
 2. All cut surfaces shall be cleanly made and painted over with tree wound paint.
- C. Protection of Plant Materials:
1. Plants shall not be allowed to dry out before or while being planted. Keep exposed roots moist at all times during planting operations. Do not expose roots to the air except while being placed in the ground. Wilted plants, whether in place to not, will not be accepted and shall be replaced at the Contractor's expense.
 2. Protect all plants from damage by sun and wind at all time before planting.
- D. Layout: Place plants for best appearance for review and final orientation by Owner's Representative.
1. Set plants vertical
 2. Determine location of plant material by scaling from Drawings.
 3. The layout of locations for plants, ground cover and lawn areas to be planted shall be approved on the site by the Owner's Representative and Owner.
 4. All container plants shall be set by the Contractor in their final locations as approved by the Owner's Representative prior to their planting. All such locations shall be checked for possible interference with existing underground improvements, prior to excavation of planting holes. If underground improvements are encountered, other locations for planting may be selected by the Landscape Architect. Damage to existing utilities shall be the responsibility of the Contractor.
 5. The Landscape Architect will provide direction for relocation of all plant materials that interfere with the designed intention of the sprinkler system.
 6. The location of all box trees shall be identified by placing a stake at locations as indicated on the Drawings. All such locations shall be reviewed by the Owner's Representative prior to placement and excavation of planting holes.
- E. Excavating:
1. All pits shall be dug square with bottoms level; the width shall be equal to one and a half times the size of the root ball and depth equal to the root ball. Compacted soil at the sides and bottom shall be loosened by scarifying or other approved methods in accordance with planting details.

2. If planting holes are cut with power auger, vertical sides of hole shall be additionally broken with balling bar or spade to interrupt continuous curve influence on root development.
- F. Watering: Fill excavations for trees and shrubs with water and allow water to percolate out prior to planting.
- G. Planting Trees, Shrubs and Vines:
1. All plants shall be removed from their container and set so that, when settled, they bear the same relation to the required grade that the bore to the natural grade before being transplanted. Each plant shall be planted in the center of the pit and backfilled unless otherwise specified, with the prepared soil. No soil in muddy condition shall be used for backfilling.
 2. Care shall be exercised when removing plants from nursery containers to avoid damage to root ball. Any plants with broken root balls shall be immediately removed from project site and replace with acceptable plant material.
 3. All plants shall be planted approximately in the center of the holes specified. All plants shall be positioned so fullest side will face outward, or as directed.
- H. Planting Specimen Trees:
1. All specimen trees will be positioned in holes and directed during the planting operation.
 2. Remove bottom of specimen container boxes before planting. Remove sides of box without damage to root ball. After partial backfill of hole, remove side of boxes.
 3. Fill rest of hole with prepared soil to the required grade and thoroughly settle by tamping and watering. Do not pack soil.
 4. Prepare water basin as detailed.
 5. Stake or guy all new trees as indicated on plans, in accordance with details.
- I. Plant Tablets:
1. After the water has completely drained, planting tablets shall be placed as indicated below:
 - a. Three tablets per 1-gallon container.
 - b. Nine tablets per 5-gallon container.
 - c. Fifteen tablets per 15-gallon container.
 - d. Sixteen tablets per 24' box.
 - e. Eighteen tablets per 30" box.
 - f. Twenty tablets per 36' box.
 - g. Twenty-two tablets per 42' box.
 - h. Twenty-four tablets per 48" box and those box sizes which are larger.
 2. Planting tablets quantities shall be set with each plant on the top of the root ball while the plants are still in their containers for review by Owner's Representative and Owner. All planting tablet installation shall be per the manufacturer's recommendations.
- J. Backfill: Dish top of backfill to allow for mulching.
- K. Mulching: Mulch pits, trenches and planted areas as shown on plans. Provide not less than 3 inches of mulch, and work into top of backfill and finish level with adjacent finish grades.

- L. Decomposed Granite: Use 3 inch layer as top dressing in areas shown on plans. Rake smooth and wet.
- M. Pruning, Thinning and Shaping: Prune, thin out and shape trees and shrubs in accordance with standard horticultural practice.
 - 1. Prune trees to retain required height and spread.
 - 2. Unless otherwise directed by Landscape Architect, do not cut tree leaders, and remove only injured or dead branches from flowering trees, if any.
 - 3. Prune shrubs to retain natural character.
 - 4. Remove and replace excessively pruned or misformed stock resulting from improper pruning.
- N. Guying and Staking: Install guys and stakes for trees immediately after planting as detailed.
- O. Spoil: Dispose of excess subsoil removed from planting excavations. Do not mix with planting soil or use as backfill.

3.06 PLANTING GROUND COVER SHRUBS

- A. Layout: Place plants for best appearance for review and final orientation by Owner's Representative. Space plants as indicated or scheduled and detailed.
- B. Mulching: Mulch all planting areas per plan; place not less than 3 inches thick.
- C. All areas to be planted shall receive soil preparation as specified and have grading approved before planting.
- D. Apply a pre-emergent herbicide having a life not less than 6 months to all ground cover areas. Herbicide shall be registered for use on label of container as being safe for use on species of plants specified on planting plan. Prior to application, Owner's Representative shall approve material, rates and time of application.
- E. Watering: Water thoroughly after planting.

3.07 TOP DRESSING

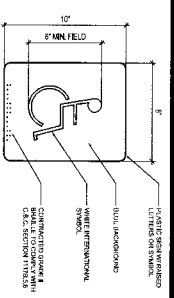
- A. Complete specified weed control treatment of area to receive bark mulch or decomposed granite top dressing, including applications of pre-emergent herbicide.
- B. Install top dressing in planting areas per plan to the settled depth specified.
 - 1. Rake and level to an even thickness.
 - 2. Water settle mulch to eliminate dust.
 - 3. Do not allow excess mulch to become entangled in plant materials.

3.08 CLEANUP

- A. During the work, the premises are to be kept neat and orderly at all times. Storage areas for plant and other material shall be neat and orderly. All trash, including debris resulting

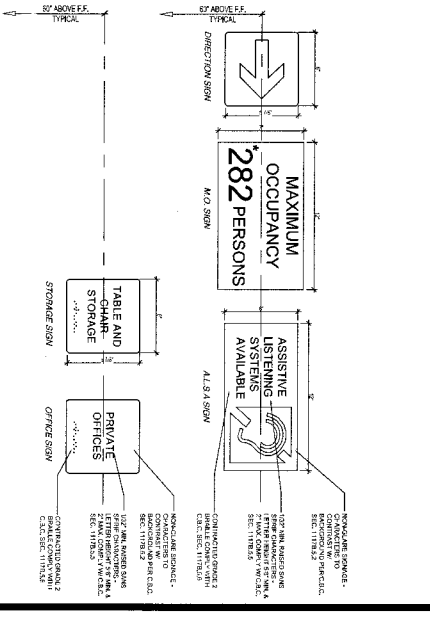
from removing weeds and rock from planting areas, preparing beds, or planting plants shall be removed from the site daily as the work progresses. All walks and drives shall be kept clean by sweeping and/or hosing; excavated soil may be distributed on the site if permitted by the Owner's Representative. Remove all tags, labels, nursery stakes and ties from all plants.

END SECTION

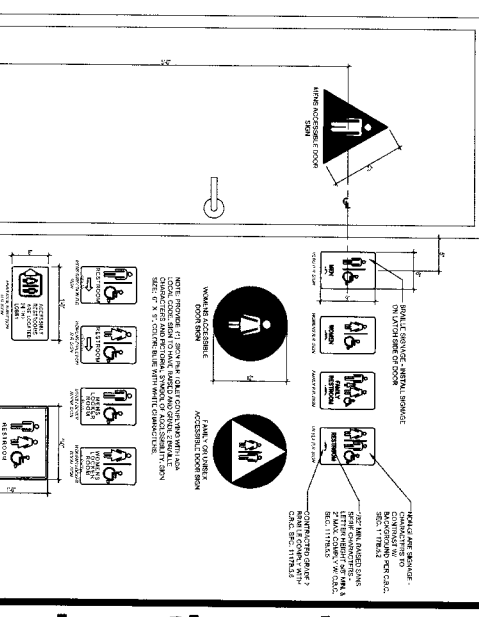


NOTE:
 1) SIGN TO BE PROVIDED AT ALL ENTRANCES (DOOR AND ALL OTHER LOCAL ENTRIES)
 2) PROVIDE BLANK AND PROVISION SIGN BY STATE

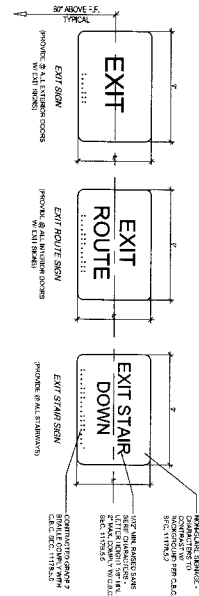
3 BUILDING ENTRY ACCESSIBLE SIGN
 SYMBOL 11712



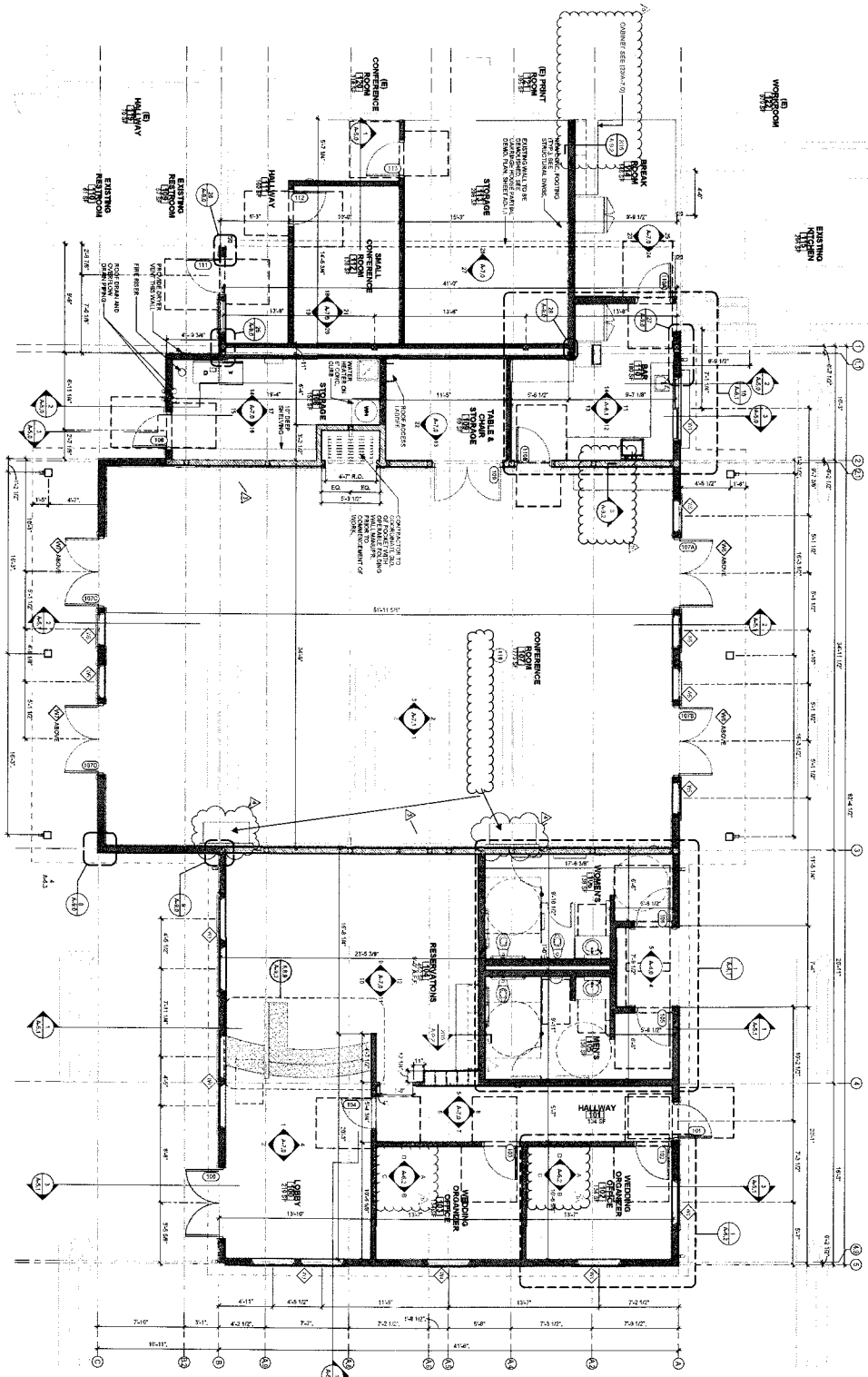
2 ROOM SIGNAGE
 SYMBOL 11712



1 RESTROOM SIGNS
 SYMBOL 11712



1 TACTILE EXIT SIGNAGE
 SYMBOL 11712



1 FLOOR PLAN - NEW CONFERENCE CENTER

GENERAL NOTES

1. ALL EXISTING WALLS SHALL BE 2" MINIMUM THICKNESS PER STRUCTURAL CODES. EXISTING WALLS SHALL BE REINFORCED WITH 2# BARS AT 16" ON CENTER. ALL EXISTING WALLS SHALL BE REINFORCED WITH 2# BARS AT 16" ON CENTER. ALL EXISTING WALLS SHALL BE REINFORCED WITH 2# BARS AT 16" ON CENTER.
2. ALL EXISTING WALLS SHALL BE REINFORCED WITH 2# BARS AT 16" ON CENTER. ALL EXISTING WALLS SHALL BE REINFORCED WITH 2# BARS AT 16" ON CENTER.
3. ALL EXISTING WALLS SHALL BE REINFORCED WITH 2# BARS AT 16" ON CENTER. ALL EXISTING WALLS SHALL BE REINFORCED WITH 2# BARS AT 16" ON CENTER.
4. ALL EXISTING WALLS SHALL BE REINFORCED WITH 2# BARS AT 16" ON CENTER. ALL EXISTING WALLS SHALL BE REINFORCED WITH 2# BARS AT 16" ON CENTER.
5. ALL EXISTING WALLS SHALL BE REINFORCED WITH 2# BARS AT 16" ON CENTER. ALL EXISTING WALLS SHALL BE REINFORCED WITH 2# BARS AT 16" ON CENTER.
6. ALL EXISTING WALLS SHALL BE REINFORCED WITH 2# BARS AT 16" ON CENTER. ALL EXISTING WALLS SHALL BE REINFORCED WITH 2# BARS AT 16" ON CENTER.
7. ALL EXISTING WALLS SHALL BE REINFORCED WITH 2# BARS AT 16" ON CENTER. ALL EXISTING WALLS SHALL BE REINFORCED WITH 2# BARS AT 16" ON CENTER.
8. ALL EXISTING WALLS SHALL BE REINFORCED WITH 2# BARS AT 16" ON CENTER. ALL EXISTING WALLS SHALL BE REINFORCED WITH 2# BARS AT 16" ON CENTER.
9. ALL EXISTING WALLS SHALL BE REINFORCED WITH 2# BARS AT 16" ON CENTER. ALL EXISTING WALLS SHALL BE REINFORCED WITH 2# BARS AT 16" ON CENTER.
10. ALL EXISTING WALLS SHALL BE REINFORCED WITH 2# BARS AT 16" ON CENTER. ALL EXISTING WALLS SHALL BE REINFORCED WITH 2# BARS AT 16" ON CENTER.
11. ALL EXISTING WALLS SHALL BE REINFORCED WITH 2# BARS AT 16" ON CENTER. ALL EXISTING WALLS SHALL BE REINFORCED WITH 2# BARS AT 16" ON CENTER.
12. ALL EXISTING WALLS SHALL BE REINFORCED WITH 2# BARS AT 16" ON CENTER. ALL EXISTING WALLS SHALL BE REINFORCED WITH 2# BARS AT 16" ON CENTER.
13. ALL EXISTING WALLS SHALL BE REINFORCED WITH 2# BARS AT 16" ON CENTER. ALL EXISTING WALLS SHALL BE REINFORCED WITH 2# BARS AT 16" ON CENTER.
14. ALL EXISTING WALLS SHALL BE REINFORCED WITH 2# BARS AT 16" ON CENTER. ALL EXISTING WALLS SHALL BE REINFORCED WITH 2# BARS AT 16" ON CENTER.
15. ALL EXISTING WALLS SHALL BE REINFORCED WITH 2# BARS AT 16" ON CENTER. ALL EXISTING WALLS SHALL BE REINFORCED WITH 2# BARS AT 16" ON CENTER.

WALL LEGEND

- 1. 2" CMU WITH 2# BARS AT 16" ON CENTER
- 2. 2" CMU WITH 2# BARS AT 16" ON CENTER
- 3. 2" CMU WITH 2# BARS AT 16" ON CENTER
- 4. 2" CMU WITH 2# BARS AT 16" ON CENTER
- 5. 2" CMU WITH 2# BARS AT 16" ON CENTER
- 6. 2" CMU WITH 2# BARS AT 16" ON CENTER
- 7. 2" CMU WITH 2# BARS AT 16" ON CENTER
- 8. 2" CMU WITH 2# BARS AT 16" ON CENTER
- 9. 2" CMU WITH 2# BARS AT 16" ON CENTER
- 10. 2" CMU WITH 2# BARS AT 16" ON CENTER
- 11. 2" CMU WITH 2# BARS AT 16" ON CENTER
- 12. 2" CMU WITH 2# BARS AT 16" ON CENTER
- 13. 2" CMU WITH 2# BARS AT 16" ON CENTER
- 14. 2" CMU WITH 2# BARS AT 16" ON CENTER
- 15. 2" CMU WITH 2# BARS AT 16" ON CENTER



1.931.7.2.2.2.178
 9.712.4.6.6.6.6.6
 9.712.4.6.6.6.6.6
 9.712.4.6.6.6.6.6

CONSULTANT:

APPLICANT:
 DEWANE COUNTY REGIONAL
 PARK AND RECREATION
 DEPARTMENT



PROJECT:
 1400 CUSTARD ROAD
 DEWANE COUNTY
 MISSOURI 64728

DEWANE COUNTY REGIONAL
 PARK AND RECREATION
 DEPARTMENT
 1400 CUSTARD ROAD
 DEWANE COUNTY
 MISSOURI 64728

CONFERENCE CENTER
 FLOOR PLAN

2017 DESIGN CENTER
 1400 CUSTARD ROAD
 DEWANE COUNTY
 MISSOURI 64728

DATE: 10/18/18
 SCALE: AS SHOWN

SHEET NO:
A-1.0

PROJECT: 2/12/2018
 DESIGN: SS
 DATE: 10/18/18
 SCALE: AS SHOWN

PROJECT: 2/12/2018
 DESIGN: SS
 DATE: 10/18/18
 SCALE: AS SHOWN

SHEET NO:
A-1.0



DESIGN GROUP ARCHITECTURE

TEL: 916.243.7174
 9179 MAGNOLIA AVE
 FOLSOM, CA 95630
 www.designgrouparch.com

CONSULTANT:

APPLICANT:



HARRIS COUNTY REGIONAL PARK AND OPEN SPACE DISTRICT

4400 GASTRONE ROAD
 HOUSTON, TX 77057
 951-452-4187

PROJECT:

HARRIS COUNTY REGIONAL PARK AND OPEN SPACE DISTRICT
 4400 GASTRONE ROAD
 HOUSTON, TX 77057

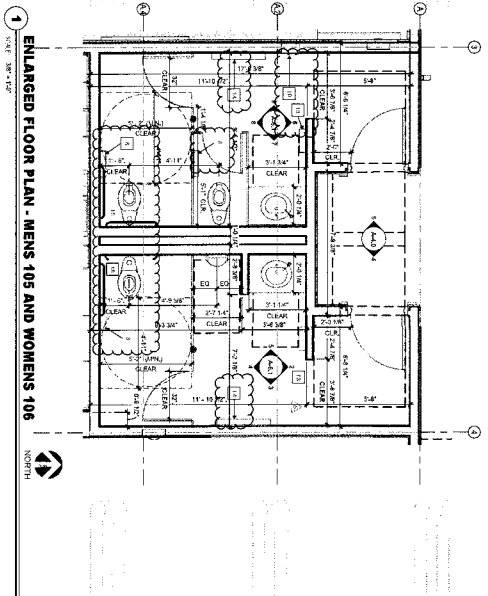


201778 REGIONAL PARK AND OPEN SPACE DISTRICT

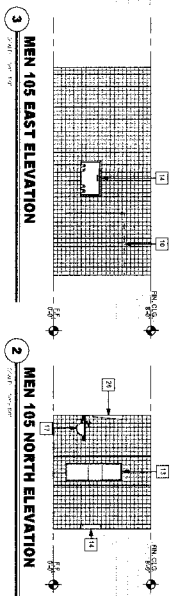
DATE: 09/20/18
 SCALE: As Indicated
 SHEET NO.: A-6.1

KEYNOTES

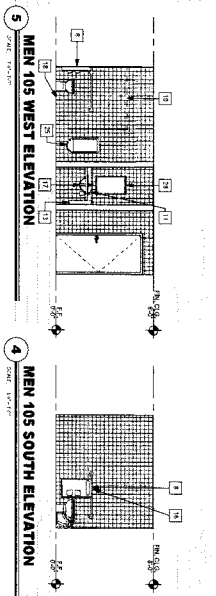
- 1 WOOD SLAB WINDOW
- 2 LOUVER AND PINE OAKSPOKE (HPL) PANEL FLUSH
- 3 PINE KITCHEN/STOVE CABINET
- 4 GREY BLENDED WALL PANELS
- 5 REFRIGERATOR
- 6 WOOD WALL ISLAND
- 7 WOOD WALL ISLAND
- 8 INTERIOR FLUSH WOOD DOOR



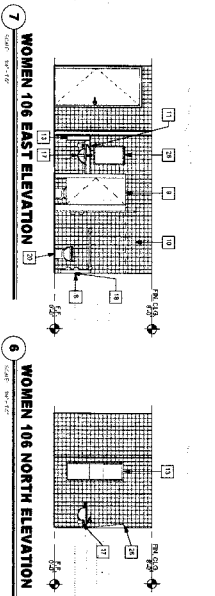
1 ENLARGED FLOOR PLAN - MENS 105 AND WOMENS 106
 SCALE: 1/8" = 1'-0"



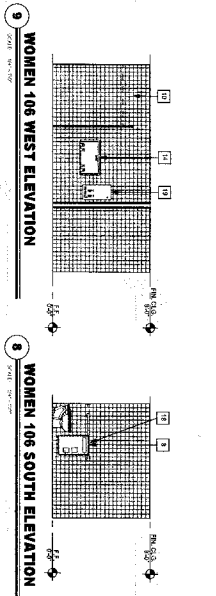
3 MEN 105 EAST ELEVATION
 2 MEN 105 NORTH ELEVATION
 SCALE: 1/8" = 1'-0"



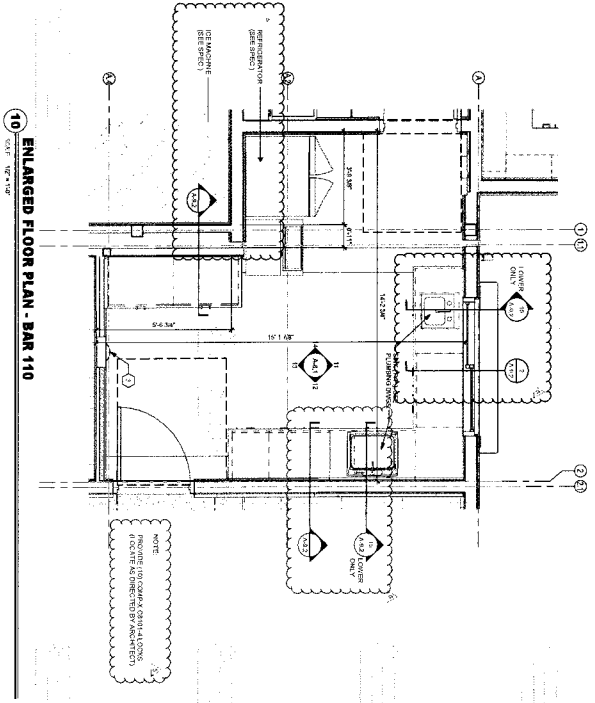
5 MEN 105 WEST ELEVATION
 4 MEN 105 SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"



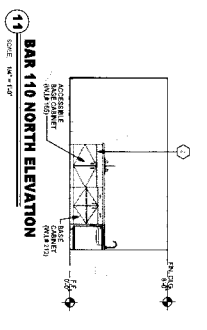
7 WOMEN 106 EAST ELEVATION
 6 WOMEN 106 NORTH ELEVATION
 SCALE: 1/8" = 1'-0"



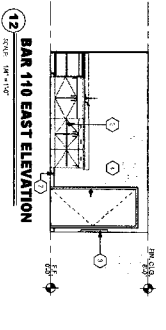
9 WOMEN 106 WEST ELEVATION
 8 WOMEN 106 SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"



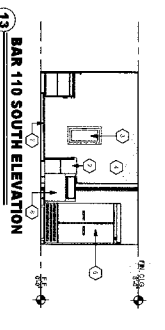
10 ENLARGED FLOOR PLAN - BAR 110
 SCALE: 1/8" = 1'-0"



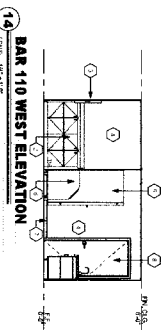
11 BAR 110 NORTH ELEVATION
 SCALE: 1/8" = 1'-0"



12 BAR 110 EAST ELEVATION
 SCALE: 1/8" = 1'-0"



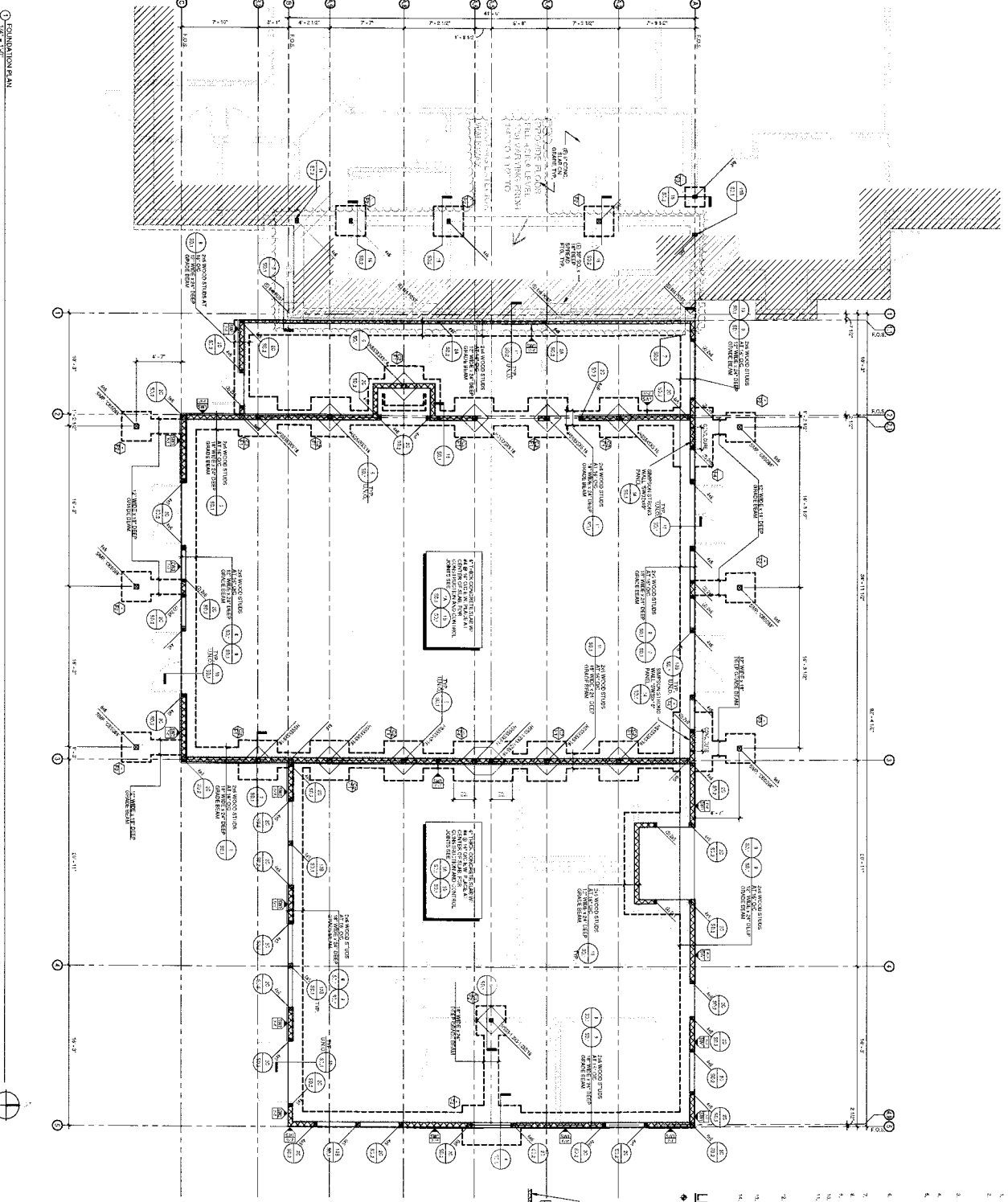
13 BAR 110 SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"



14 BAR 110 WEST ELEVATION
 SCALE: 1/8" = 1'-0"

TOILET ACCESSORIES SCHEDULE

NO.	Description	Quantity	Unit	Model
1	WALL MOUNTED TOILET PAPER DISPENSER, BRASS, 1/2" X 1/2" X 1/2"	1	EA	1/2"
2	WALL MOUNTED TOILET BRUSH, BRASS, 1/2" X 1/2" X 1/2"	1	EA	1/2"
3	WALL MOUNTED TOILET TISSUE DISPENSER, BRASS, 1/2" X 1/2" X 1/2"	1	EA	1/2"
4	WALL MOUNTED TOILET TISSUE DISPENSER, BRASS, 1/2" X 1/2" X 1/2"	1	EA	1/2"
5	WALL MOUNTED TOILET TISSUE DISPENSER, BRASS, 1/2" X 1/2" X 1/2"	1	EA	1/2"
6	WALL MOUNTED TOILET TISSUE DISPENSER, BRASS, 1/2" X 1/2" X 1/2"	1	EA	1/2"
7	WALL MOUNTED TOILET TISSUE DISPENSER, BRASS, 1/2" X 1/2" X 1/2"	1	EA	1/2"
8	WALL MOUNTED TOILET TISSUE DISPENSER, BRASS, 1/2" X 1/2" X 1/2"	1	EA	1/2"
9	WALL MOUNTED TOILET TISSUE DISPENSER, BRASS, 1/2" X 1/2" X 1/2"	1	EA	1/2"
10	WALL MOUNTED TOILET TISSUE DISPENSER, BRASS, 1/2" X 1/2" X 1/2"	1	EA	1/2"
11	WALL MOUNTED TOILET TISSUE DISPENSER, BRASS, 1/2" X 1/2" X 1/2"	1	EA	1/2"
12	WALL MOUNTED TOILET TISSUE DISPENSER, BRASS, 1/2" X 1/2" X 1/2"	1	EA	1/2"
13	WALL MOUNTED TOILET TISSUE DISPENSER, BRASS, 1/2" X 1/2" X 1/2"	1	EA	1/2"
14	WALL MOUNTED TOILET TISSUE DISPENSER, BRASS, 1/2" X 1/2" X 1/2"	1	EA	1/2"
15	WALL MOUNTED TOILET TISSUE DISPENSER, BRASS, 1/2" X 1/2" X 1/2"	1	EA	1/2"
16	WALL MOUNTED TOILET TISSUE DISPENSER, BRASS, 1/2" X 1/2" X 1/2"	1	EA	1/2"
17	WALL MOUNTED TOILET TISSUE DISPENSER, BRASS, 1/2" X 1/2" X 1/2"	1	EA	1/2"
18	WALL MOUNTED TOILET TISSUE DISPENSER, BRASS, 1/2" X 1/2" X 1/2"	1	EA	1/2"
19	WALL MOUNTED TOILET TISSUE DISPENSER, BRASS, 1/2" X 1/2" X 1/2"	1	EA	1/2"
20	WALL MOUNTED TOILET TISSUE DISPENSER, BRASS, 1/2" X 1/2" X 1/2"	1	EA	1/2"
21	WALL MOUNTED TOILET TISSUE DISPENSER, BRASS, 1/2" X 1/2" X 1/2"	1	EA	1/2"
22	WALL MOUNTED TOILET TISSUE DISPENSER, BRASS, 1/2" X 1/2" X 1/2"	1	EA	1/2"
23	WALL MOUNTED TOILET TISSUE DISPENSER, BRASS, 1/2" X 1/2" X 1/2"	1	EA	1/2"
24	WALL MOUNTED TOILET TISSUE DISPENSER, BRASS, 1/2" X 1/2" X 1/2"	1	EA	1/2"
25	WALL MOUNTED TOILET TISSUE DISPENSER, BRASS, 1/2" X 1/2" X 1/2"	1	EA	1/2"
26	WALL MOUNTED TOILET TISSUE DISPENSER, BRASS, 1/2" X 1/2" X 1/2"	1	EA	1/2"
27	WALL MOUNTED TOILET TISSUE DISPENSER, BRASS, 1/2" X 1/2" X 1/2"	1	EA	1/2"
28	WALL MOUNTED TOILET TISSUE DISPENSER, BRASS, 1/2" X 1/2" X 1/2"	1	EA	1/2"
29	WALL MOUNTED TOILET TISSUE DISPENSER, BRASS, 1/2" X 1/2" X 1/2"	1	EA	1/2"
30	WALL MOUNTED TOILET TISSUE DISPENSER, BRASS, 1/2" X 1/2" X 1/2"	1	EA	1/2"
31	WALL MOUNTED TOILET TISSUE DISPENSER, BRASS, 1/2" X 1/2" X 1/2"	1	EA	1/2"
32	WALL MOUNTED TOILET TISSUE DISPENSER, BRASS, 1/2" X 1/2" X 1/2"	1	EA	1/2"
33	WALL MOUNTED TOILET TISSUE DISPENSER, BRASS, 1/2" X 1/2" X 1/2"	1	EA	1/2"
34	WALL MOUNTED TOILET TISSUE DISPENSER, BRASS, 1/2" X 1/2" X 1/2"	1	EA	1/2"
35	WALL MOUNTED TOILET TISSUE DISPENSER, BRASS, 1/2" X 1/2" X 1/2"	1	EA	1/2"
36	WALL MOUNTED TOILET TISSUE DISPENSER, BRASS, 1/2" X 1/2" X 1/2"	1	EA	1/2"
37	WALL MOUNTED TOILET TISSUE DISPENSER, BRASS, 1/2" X 1/2" X 1/2"	1	EA	1/2"
38	WALL MOUNTED TOILET TISSUE DISPENSER, BRASS, 1/2" X 1/2" X 1/2"	1	EA	1/2"
39	WALL MOUNTED TOILET TISSUE DISPENSER, BRASS, 1/2" X 1/2" X 1/2"	1	EA	1/2"
40	WALL MOUNTED TOILET TISSUE DISPENSER, BRASS, 1/2" X 1/2" X 1/2"	1	EA	1/2"
41	WALL MOUNTED TOILET TISSUE DISPENSER, BRASS, 1/2" X 1/2" X 1/2"	1	EA	1/2"
42	WALL MOUNTED TOILET TISSUE DISPENSER, BRASS, 1/2" X 1/2" X 1/2"	1	EA	1/2"
43	WALL MOUNTED TOILET TISSUE DISPENSER, BRASS, 1/2" X 1/2" X 1/2"	1	EA	1/2"
44	WALL MOUNTED TOILET TISSUE DISPENSER, BRASS, 1/2" X 1/2" X 1/2"	1	EA	1/2"
45	WALL MOUNTED TOILET TISSUE DISPENSER, BRASS, 1/2" X 1/2" X 1/2"	1	EA	1/2"
46	WALL MOUNTED TOILET TISSUE DISPENSER, BRASS, 1/2" X 1/2" X 1/2"	1	EA	1/2"
47	WALL MOUNTED TOILET TISSUE DISPENSER, BRASS, 1/2" X 1/2" X 1/2"	1	EA	1/2"
48	WALL MOUNTED TOILET TISSUE DISPENSER, BRASS, 1/2" X 1/2" X 1/2"	1	EA	1/2"
49	WALL MOUNTED TOILET TISSUE DISPENSER, BRASS, 1/2" X 1/2" X 1/2"	1	EA	1/2"
50	WALL MOUNTED TOILET TISSUE DISPENSER, BRASS, 1/2" X 1/2" X 1/2"	1	EA	1/2"



PLAN NOTES

1. FOR GENERAL NOTES SEE SHEET 010.
2. SEE ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR THE BUILDING. VERIFY ALL CONDITIONS AND CONDITIONS OF CONTRACT. VERIFY ALL CONDITIONS OF CONTRACT. VERIFY ALL CONDITIONS OF CONTRACT.
3. CHECK FOR ANY CONFLICTS WITH EXISTING CONDITIONS. VERIFY ALL CONDITIONS OF CONTRACT.
4. FOR TOP OF FOOTING ELEVATIONS REFER TO THE LATEST DRAWINGS.
5. VERIFY CONTRACTOR'S CONSTRUCTION METHOD WITH ARCHITECTURAL DRAWINGS. VERIFY ALL CONDITIONS OF CONTRACT.
6. VERIFY CONTRACTOR'S CONSTRUCTION METHOD WITH ARCHITECTURAL DRAWINGS. VERIFY ALL CONDITIONS OF CONTRACT.
7. FOR TOP OF FOOTING REFER TO THE LATEST DRAWINGS.
8. FOR ALL WALLS REFER TO THE LATEST DRAWINGS.
9. FOR ALL WALLS REFER TO THE LATEST DRAWINGS.
10. FOR ALL WALLS REFER TO THE LATEST DRAWINGS.
11. FOR ALL WALLS REFER TO THE LATEST DRAWINGS.
12. FOR ALL WALLS REFER TO THE LATEST DRAWINGS.
13. FOR ALL WALLS REFER TO THE LATEST DRAWINGS.
14. FOR ALL WALLS REFER TO THE LATEST DRAWINGS.

LEGEND

- 1. 1" X 1" X 1" REINFORCED CONCRETE COLUMN
- 2. 1" X 1" X 1" REINFORCED CONCRETE COLUMN
- 3. 1" X 1" X 1" REINFORCED CONCRETE COLUMN
- 4. 1" X 1" X 1" REINFORCED CONCRETE COLUMN
- 5. 1" X 1" X 1" REINFORCED CONCRETE COLUMN
- 6. 1" X 1" X 1" REINFORCED CONCRETE COLUMN
- 7. 1" X 1" X 1" REINFORCED CONCRETE COLUMN
- 8. 1" X 1" X 1" REINFORCED CONCRETE COLUMN
- 9. 1" X 1" X 1" REINFORCED CONCRETE COLUMN
- 10. 1" X 1" X 1" REINFORCED CONCRETE COLUMN
- 11. 1" X 1" X 1" REINFORCED CONCRETE COLUMN
- 12. 1" X 1" X 1" REINFORCED CONCRETE COLUMN
- 13. 1" X 1" X 1" REINFORCED CONCRETE COLUMN
- 14. 1" X 1" X 1" REINFORCED CONCRETE COLUMN
- 15. 1" X 1" X 1" REINFORCED CONCRETE COLUMN
- 16. 1" X 1" X 1" REINFORCED CONCRETE COLUMN
- 17. 1" X 1" X 1" REINFORCED CONCRETE COLUMN
- 18. 1" X 1" X 1" REINFORCED CONCRETE COLUMN
- 19. 1" X 1" X 1" REINFORCED CONCRETE COLUMN
- 20. 1" X 1" X 1" REINFORCED CONCRETE COLUMN

NOTE: ALL REINFORCED CONCRETE COLUMNS SHALL BE INSTALLED OVER 7" SAND GRADE UNDER SLAB VAPOR BARRIER PER SPECIFICATIONS AND AN APPROVED PLAN FILE NUMBER UNDER DIRECT CONTROL.

COLUMN SCHEDULE	
MARK	DESCRIPTION
C1	1" X 1" X 1" REINFORCED CONCRETE COLUMN
C2	1" X 1" X 1" REINFORCED CONCRETE COLUMN

FOOTING SCHEDULE	
MARK	DESCRIPTION
F1	1" X 1" X 1" REINFORCED CONCRETE FOOTING
F2	1" X 1" X 1" REINFORCED CONCRETE FOOTING
F3	1" X 1" X 1" REINFORCED CONCRETE FOOTING
F4	1" X 1" X 1" REINFORCED CONCRETE FOOTING



DESIGN GROUP ARCHITECTS

1001 N. 10TH AVENUE
DENVER, CO 80202

CONSULTANT:



STI ENGINEERING

APPLICANT:



CITY OF DENVER

4400 CUSHING ROAD
DENVER, CO 80202

PROJECT:

4400 CUSHING ROAD
DENVER, CO 80202

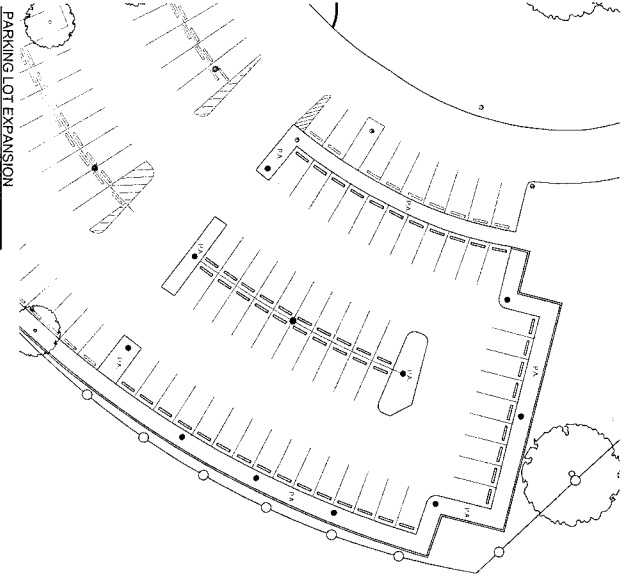
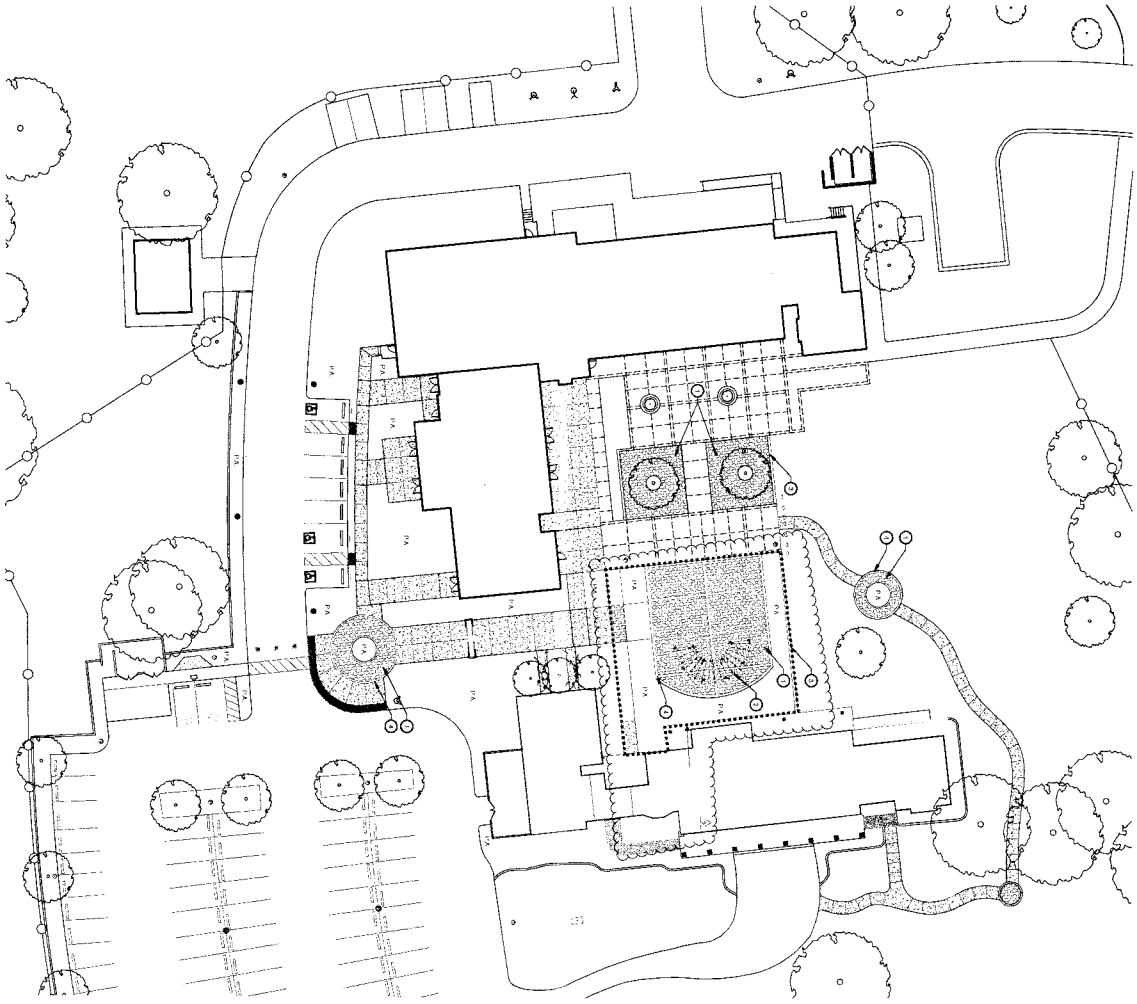
FOUNDATION PLAN

2017 7th REGISTRATION
MCA ALL RIGHTS RESERVED

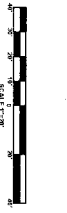
DESIGN: J. S. JONES
CHECKED: J. S. JONES
SCALE: AS SHOWN

SHEET NO. 51.1

CONFERENCE CENTER EXPANSION



CONSTRUCTION LEGEND	PA PLANNING
1. EXISTING	1. EXISTING
2. GRASSY UNIMPROVED	2. GRASSY UNIMPROVED
3. ASPHALT PAVED (CON. 2)	3. ASPHALT PAVED (CON. 2)
4. CONCRETE PAVED	4. CONCRETE PAVED
5. CONCRETE FINISH	5. CONCRETE FINISH
6. EXISTING DRIVE	6. EXISTING DRIVE
7. EXISTING DRIVE	7. EXISTING DRIVE
8. EXISTING DRIVE	8. EXISTING DRIVE
9. EXISTING DRIVE	9. EXISTING DRIVE
10. EXISTING DRIVE	10. EXISTING DRIVE
11. EXISTING DRIVE	11. EXISTING DRIVE
12. EXISTING DRIVE	12. EXISTING DRIVE
13. EXISTING DRIVE	13. EXISTING DRIVE
14. EXISTING DRIVE	14. EXISTING DRIVE
15. EXISTING DRIVE	15. EXISTING DRIVE
16. EXISTING DRIVE	16. EXISTING DRIVE
17. EXISTING DRIVE	17. EXISTING DRIVE
18. EXISTING DRIVE	18. EXISTING DRIVE
19. EXISTING DRIVE	19. EXISTING DRIVE
20. EXISTING DRIVE	20. EXISTING DRIVE
21. EXISTING DRIVE	21. EXISTING DRIVE
22. EXISTING DRIVE	22. EXISTING DRIVE
23. EXISTING DRIVE	23. EXISTING DRIVE
24. EXISTING DRIVE	24. EXISTING DRIVE
25. EXISTING DRIVE	25. EXISTING DRIVE
26. EXISTING DRIVE	26. EXISTING DRIVE
27. EXISTING DRIVE	27. EXISTING DRIVE
28. EXISTING DRIVE	28. EXISTING DRIVE
29. EXISTING DRIVE	29. EXISTING DRIVE
30. EXISTING DRIVE	30. EXISTING DRIVE
31. EXISTING DRIVE	31. EXISTING DRIVE
32. EXISTING DRIVE	32. EXISTING DRIVE
33. EXISTING DRIVE	33. EXISTING DRIVE
34. EXISTING DRIVE	34. EXISTING DRIVE
35. EXISTING DRIVE	35. EXISTING DRIVE
36. EXISTING DRIVE	36. EXISTING DRIVE
37. EXISTING DRIVE	37. EXISTING DRIVE
38. EXISTING DRIVE	38. EXISTING DRIVE
39. EXISTING DRIVE	39. EXISTING DRIVE
40. EXISTING DRIVE	40. EXISTING DRIVE
41. EXISTING DRIVE	41. EXISTING DRIVE
42. EXISTING DRIVE	42. EXISTING DRIVE
43. EXISTING DRIVE	43. EXISTING DRIVE
44. EXISTING DRIVE	44. EXISTING DRIVE
45. EXISTING DRIVE	45. EXISTING DRIVE
46. EXISTING DRIVE	46. EXISTING DRIVE
47. EXISTING DRIVE	47. EXISTING DRIVE
48. EXISTING DRIVE	48. EXISTING DRIVE
49. EXISTING DRIVE	49. EXISTING DRIVE
50. EXISTING DRIVE	50. EXISTING DRIVE
51. EXISTING DRIVE	51. EXISTING DRIVE
52. EXISTING DRIVE	52. EXISTING DRIVE
53. EXISTING DRIVE	53. EXISTING DRIVE
54. EXISTING DRIVE	54. EXISTING DRIVE
55. EXISTING DRIVE	55. EXISTING DRIVE
56. EXISTING DRIVE	56. EXISTING DRIVE
57. EXISTING DRIVE	57. EXISTING DRIVE
58. EXISTING DRIVE	58. EXISTING DRIVE
59. EXISTING DRIVE	59. EXISTING DRIVE
60. EXISTING DRIVE	60. EXISTING DRIVE
61. EXISTING DRIVE	61. EXISTING DRIVE
62. EXISTING DRIVE	62. EXISTING DRIVE
63. EXISTING DRIVE	63. EXISTING DRIVE
64. EXISTING DRIVE	64. EXISTING DRIVE
65. EXISTING DRIVE	65. EXISTING DRIVE
66. EXISTING DRIVE	66. EXISTING DRIVE
67. EXISTING DRIVE	67. EXISTING DRIVE
68. EXISTING DRIVE	68. EXISTING DRIVE
69. EXISTING DRIVE	69. EXISTING DRIVE
70. EXISTING DRIVE	70. EXISTING DRIVE
71. EXISTING DRIVE	71. EXISTING DRIVE
72. EXISTING DRIVE	72. EXISTING DRIVE
73. EXISTING DRIVE	73. EXISTING DRIVE
74. EXISTING DRIVE	74. EXISTING DRIVE
75. EXISTING DRIVE	75. EXISTING DRIVE
76. EXISTING DRIVE	76. EXISTING DRIVE
77. EXISTING DRIVE	77. EXISTING DRIVE
78. EXISTING DRIVE	78. EXISTING DRIVE
79. EXISTING DRIVE	79. EXISTING DRIVE
80. EXISTING DRIVE	80. EXISTING DRIVE
81. EXISTING DRIVE	81. EXISTING DRIVE
82. EXISTING DRIVE	82. EXISTING DRIVE
83. EXISTING DRIVE	83. EXISTING DRIVE
84. EXISTING DRIVE	84. EXISTING DRIVE
85. EXISTING DRIVE	85. EXISTING DRIVE
86. EXISTING DRIVE	86. EXISTING DRIVE
87. EXISTING DRIVE	87. EXISTING DRIVE
88. EXISTING DRIVE	88. EXISTING DRIVE
89. EXISTING DRIVE	89. EXISTING DRIVE
90. EXISTING DRIVE	90. EXISTING DRIVE
91. EXISTING DRIVE	91. EXISTING DRIVE
92. EXISTING DRIVE	92. EXISTING DRIVE
93. EXISTING DRIVE	93. EXISTING DRIVE
94. EXISTING DRIVE	94. EXISTING DRIVE
95. EXISTING DRIVE	95. EXISTING DRIVE
96. EXISTING DRIVE	96. EXISTING DRIVE
97. EXISTING DRIVE	97. EXISTING DRIVE
98. EXISTING DRIVE	98. EXISTING DRIVE
99. EXISTING DRIVE	99. EXISTING DRIVE
100. EXISTING DRIVE	100. EXISTING DRIVE



Underground Service Alert
 Call 811
 1-800-4-A-SHIELD
 227-2600

DESIGN: JMI
 JOB #: 12316
 DATE: 06-25-2017
 SCALE: AS SHOWN
 SHEET NO.: L11

© 2017 R. B. DESIGN GROUP
 ALL RIGHTS RESERVED
 DATE BY
 J. B. BARNARD, JRM

4600 CRESTMORE RD.
 RIVERSIDE, CA 92509
CONSTRUCTION PLAN

CRESTMORE CONFERENCE CENTER

PROJECT:
 4600 CRESTMORE RD.
 RIVERSIDE, CA 92509
 RIVERSIDE COUNTY
 REGIONAL PARKS AND
 OPEN SPACE DISTRICT



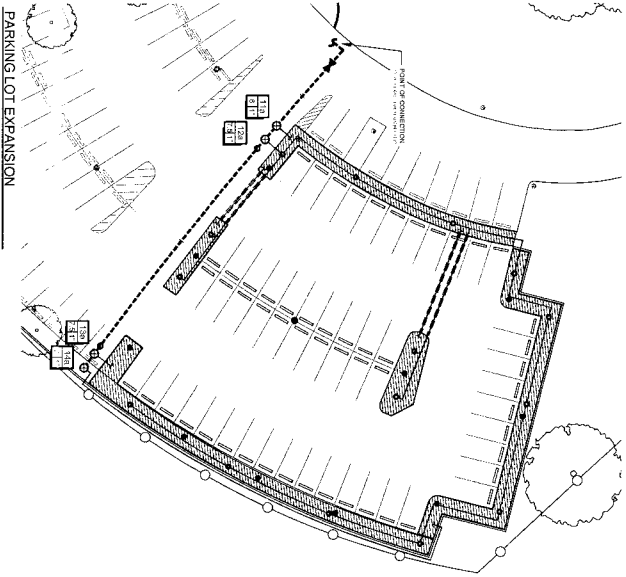
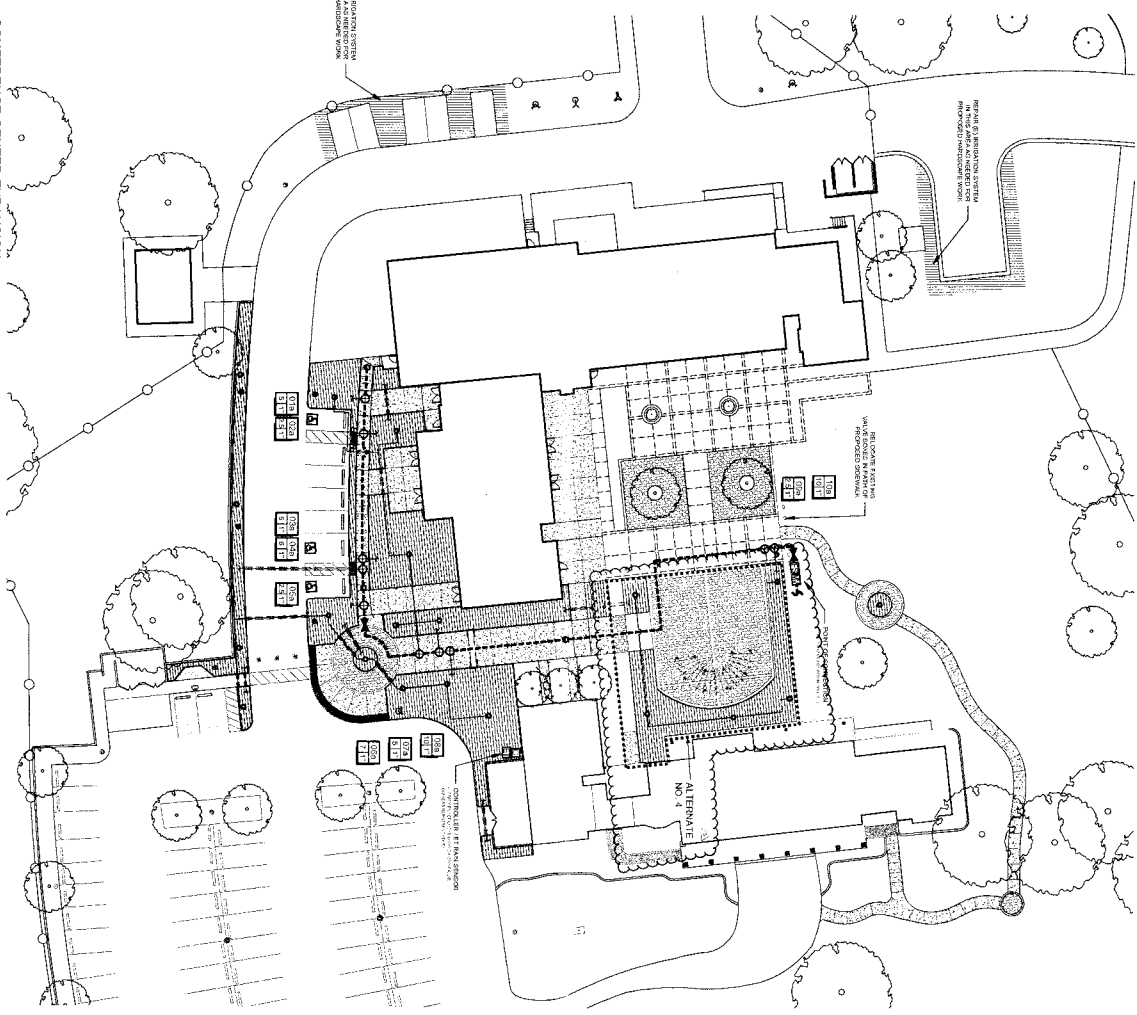
APPLICANT:
 J.M. BARNARD
 LANDSCAPE ARCHITECTURE
 3485 MAIN STREET, SUITE 350
 RIVERSIDE, CA 92501



1.951.742.2178

2017'S ANNUAL MEETING
 RIVERSIDE, CA 92501

CONFERENCE CENTER EXPANSION



SPRINKLER LEGEND

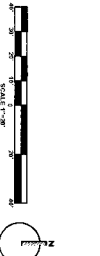
SYMBOL	MANUFACTURER/MODEL	NOZZLE	AMP	FEET	TEST	DETAIL
(Symbol)	TISSOT	1/2"	150	10'	150 PSI	1.400

MANUFACTURER/TESTED/NOZZLE

SYMBOL	MANUFACTURER	TESTED	NOZZLE	AMP	FEET	TEST	DETAIL
(Symbol)	TISSOT	1/2"	150	10'	150 PSI	1.400	

SCALE OF POND SELECTION CHART

1" POND DEPTH	18" WADERS	30" WADERS	42" WADERS	54" WADERS	66" WADERS	78" WADERS	90" WADERS	102" WADERS
1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00



Underground Service Alert
 1-800-487-2600
 227-2600



JAN DAVIDSON
 LANDSCAPE ARCHITECTURE
 3065 MAIN STREET, SUITE 200
 RIVERSIDE, CA 92501

RIVERSIDE COUNTY
 REGIONAL PARKS AND
 OPEN SPACE DISTRICT

4600 CRESTMORE RD.
 RIVERSIDE, CA 92509

PROJECT:

CRESTMORE CONFERENCE CENTER

4600 CRESTMORE RD.
 RIVERSIDE, CA 92509



DATE: 08/25/2017
 BY: ASB/SHOWNA

3934N 048 12315

SHEET NO. 12.1



2728 MADISON AVE
RIVERSIDE, CA 92504
Tel: 951-514-2728
www.jhdesigngroup.com



RIVERSIDE COUNTY
REGIONAL PARKS AND
OPEN SPACE DISTRICT

APPLICANT:

JAN DAVISON
LANDSCAPE ARCHITECTURE
3845 MAIN STREET, SUITE 350
RIVERSIDE, CA 92501

4600 CRESTMORE RD.
RIVERSIDE, CA 92509

PROJECT:

CRESTMORE CONFERENCE
CENTER

4600 CRESTMORE RD.
RIVERSIDE, CA 92509

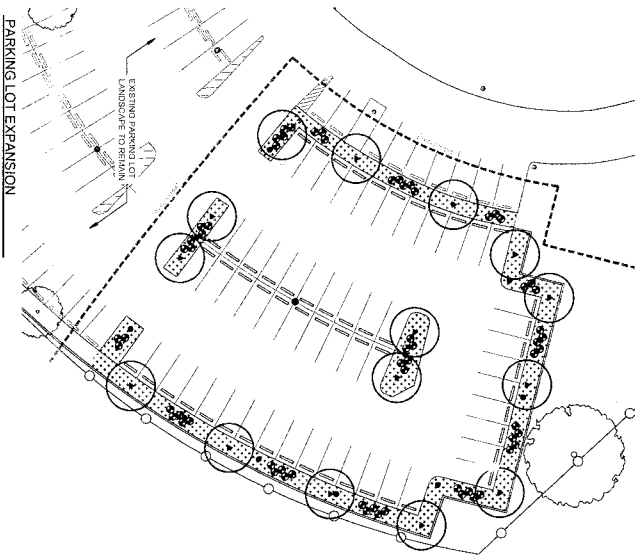
PLANTING PLAN



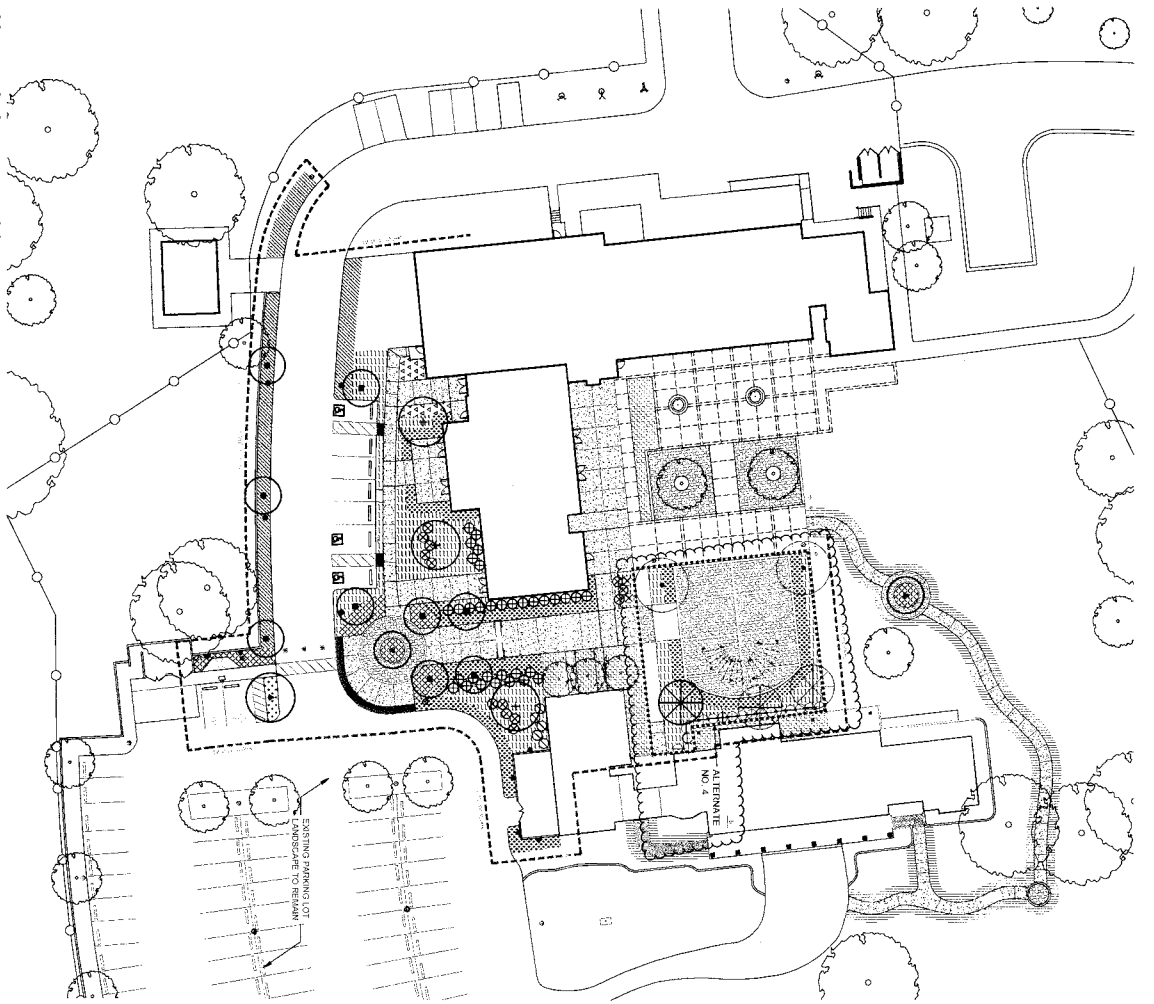
© 2014 BY DESIGN GROUP
INC. ALL RIGHTS RESERVED.
REV. 05/2014 DATE BY
J.M. DAVISON
J.M. DAVISON

DESIGNER: J.M. DAVISON
DATE: 06/25/2017
SCALE: AS SHOWN

SHEET NO.
L3.1



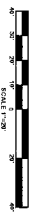
PARKING LOT EXPANSION



CONFERENCE CENTER EXPANSION

PLANTING LEGEND

SYMBOL	PLANT SPECIES	SIZE	QUANTITY	NOTES
(Circle with cross)	PLANT SPECIES	SIZE	QUANTITY	NOTES
(Circle with dot)	PLANT SPECIES	SIZE	QUANTITY	NOTES
(Circle with triangle)	PLANT SPECIES	SIZE	QUANTITY	NOTES
(Circle with square)	PLANT SPECIES	SIZE	QUANTITY	NOTES
(Circle with diamond)	PLANT SPECIES	SIZE	QUANTITY	NOTES
(Circle with circle)	PLANT SPECIES	SIZE	QUANTITY	NOTES
(Circle with star)	PLANT SPECIES	SIZE	QUANTITY	NOTES
(Circle with plus)	PLANT SPECIES	SIZE	QUANTITY	NOTES
(Circle with asterisk)	PLANT SPECIES	SIZE	QUANTITY	NOTES
(Circle with X)	PLANT SPECIES	SIZE	QUANTITY	NOTES
(Circle with vertical lines)	PLANT SPECIES	SIZE	QUANTITY	NOTES
(Circle with horizontal lines)	PLANT SPECIES	SIZE	QUANTITY	NOTES
(Circle with diagonal lines)	PLANT SPECIES	SIZE	QUANTITY	NOTES
(Circle with wavy lines)	PLANT SPECIES	SIZE	QUANTITY	NOTES
(Circle with dots)	PLANT SPECIES	SIZE	QUANTITY	NOTES
(Circle with squares)	PLANT SPECIES	SIZE	QUANTITY	NOTES
(Circle with triangles)	PLANT SPECIES	SIZE	QUANTITY	NOTES
(Circle with diamonds)	PLANT SPECIES	SIZE	QUANTITY	NOTES
(Circle with circles)	PLANT SPECIES	SIZE	QUANTITY	NOTES
(Circle with stars)	PLANT SPECIES	SIZE	QUANTITY	NOTES
(Circle with pluses)	PLANT SPECIES	SIZE	QUANTITY	NOTES
(Circle with asterisks)	PLANT SPECIES	SIZE	QUANTITY	NOTES
(Circle with Xs)	PLANT SPECIES	SIZE	QUANTITY	NOTES
(Circle with vertical dashes)	PLANT SPECIES	SIZE	QUANTITY	NOTES
(Circle with horizontal dashes)	PLANT SPECIES	SIZE	QUANTITY	NOTES
(Circle with diagonal dashes)	PLANT SPECIES	SIZE	QUANTITY	NOTES
(Circle with wavy dashes)	PLANT SPECIES	SIZE	QUANTITY	NOTES
(Circle with dotted)	PLANT SPECIES	SIZE	QUANTITY	NOTES
(Circle with solid)	PLANT SPECIES	SIZE	QUANTITY	NOTES



Unauthorized Duplication
Prohibited

1-800-227-2600

THOMPSON DESIGN GROUP