

**SUBMITTAL TO THE BOARD OF SUPERVISORS
COUNTY OF RIVERSIDE, STATE OF CALIFORNIA**



**ITEM
18.3
(ID # 6402)**

MEETING DATE:

Tuesday, May 22, 2018

FROM : TLMA-PLANNING:

SUBJECT: TRANSPORTATION LAND MANAGEMENT AGENCY/PLANNING: PUBLIC HEARING on CHANGE OF ZONE NO. 7833, TENTATIVE TRACT MAP NO. 36504, ORDINANCE NO. 348.4883 – Intent to adopt a Mitigated Negative Declaration for Environmental Assessment No. 42549 – Applicant: Stone Star Riverside, LLC – Engineer: W.J. McKeever, Inc. – Third Supervisorial District – Winchester Zoning Area – Harvest Valley/Winchester Area Plan – Community Development: Medium Density Residential (CD:MDR) (2-5 DU/AC) - Location: east of Winchester Road/SR-79 and north of Stowe Road - Zoning: Light Agriculture, 10-acre minimum (A-1-10), Heavy Agriculture, 10-acre minimum (A-2-10), Residential Agricultural, 20-acre minimum (R-A-20), and Rural Residential (R-R) - REQUEST: The CHANGE OF ZONE proposes to change the zoning of the 162.05 acre subdivision area from a mix of Light Agriculture, 10-acre minimum (A-1-10), Heavy Agriculture, 10-acre minimum (A-2-10), Residential Agricultural, 20-acre minimum (R-A-20), and Rural Residential (R-R) to Planned Residential (R-4). The TENTATIVE TRACT MAP proposes a Schedule 'A' subdivision of 162.05 acre gross area into 527 single-family residential lots. In addition to 527 residential lots, the subdivision also includes an 8.54 acre lot for a park, a 4.7 acre lot for a detention/debris basin, and an approximately 18 acre open space lot. Offsite drainage improvements are proposed on the parcel south of the subdivision area south of Stetson Avenue which consists of an underground 72" storm drain which would connect to a proposed water quality basin at the southeast corner of the offsite area at the corner of Stowe Road and Stueber Lane/El Callado. APNs: 458-250-012, 458-250-013. [Applicant Fees 100%]

RECOMMENDED MOTION: That the Board of Supervisors:

Continued on page 2

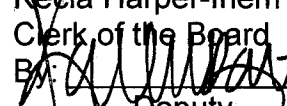
ACTION:


Charissa Leach, Assistant TLMA Director 5/14/2018

MINUTES OF THE BOARD OF SUPERVISORS

On motion of Supervisor Washington, seconded by Supervisor Ashley and duly carried by unanimous vote, IT WAS ORDERED that the above matter is approved as recommended and that Ordinance 348.4883 is adopted with waiver of the reading.

Ayes: Jeffries, Tavaglione, Washington, Ashley and Perez
Nays: None
Absent: None
Date: May 22, 2018
xc: Planning, Co.Co., MC, COB

Kecia Harper-Ihem
Clerk of the Board

Deputy

**SUBMITTAL TO THE BOARD OF SUPERVISORS COUNTY OF RIVERSIDE,
STATE OF CALIFORNIA**

RECOMMENDED MOTION: That the Board of Supervisors:

ADOPT a **MITIGATED NEGATIVE DECLARATION** for **ENVIRONMENTAL ASSESSMENT NO. 42549** based on the findings incorporated in the initial study and the conclusion that the project will not have a significant effect on the environment with the proposed mitigation incorporated; and,

APPROVE CHANGE OF ZONE NO. 7833, that changes the zoning classification of the project site from Light Agriculture, 10-acre minimum (A-1-10), Heavy Agriculture, 10-acre minimum (A-2-10), Residential Agricultural, 20-acre minimum (R-A-20), and Rural Residential (R-R) to Planned Residential (R-4) in accordance with Exhibit 3; and,

ADOPT ORDINANCE NO. 348.4883 amending the zoning in the Winchester Area shown on Map No. 2.2426, Change of Zone No. 7833, attached hereto; and

APPROVE TENTATIVE TRACT MAP NO. 36504 subject to the attached conditions of approval, and based upon the findings and conclusions incorporated in the staff report.

FINANCIAL DATA	Current Fiscal Year:	Next Fiscal Year:	Total Cost:	Ongoing Cost
COST	\$ N/A	\$ N/A	\$ N/A	\$ N/A
NET COUNTY COST	\$ N/A	\$ N/A	\$ N/A	\$ N/A
SOURCE OF FUNDS: Applicant Fees 100%			Budget Adjustment:	No
			For Fiscal Year:	N/A

C.E.O. RECOMMENDATION: Approve

BACKGROUND:

Planned Residential (R-4) Development Standards

The Planned Residential (R-4) zone that is proposed by the project allows for more flexible development standards for single family residential development compared to the typical One Family Dwelling (R-1) zone. In particular, the R-4 zone allows for minimum lot sizes as small as 3,500 square feet. The proposed tentative tract map proposes an overall minimum lot size of 5,000 square feet. Within the overall tentative tract map it has a varied minimum lot size of 7,200 square feet (lots 433-513, 520-527), 6,000 square feet (lots 364-432, 514-519), and 5,000 square feet (lots 1-363). Although the lot minimum is 5,000 square feet, the actual average lot size overall in the tentative tract map is 6,755 square feet.

In exchange for allowing smaller lot sizes, the R-4 zone requires that the minimum overall area for each dwelling unit, exclusive of the area used for commercial purposes and area set aside for street rights-of-way, but including recreation and service areas to be 6,000 square feet. Even without including the recreation area, the proposed tentative tract map achieves this with the average lot size of 6,755 square feet as previously noted. With the 8.54 acre recreation area included, the average area per dwelling unit is 7,460 square feet.

Additionally, the R-4 zone requires a development plan with certain provisions to be included for development within the R-4 zone. This requirement is satisfied with the Design Manual which is attached hereto and incorporated herein by reference to be approved with the tentative tract map.

**SUBMITTAL TO THE BOARD OF SUPERVISORS COUNTY OF RIVERSIDE,
STATE OF CALIFORNIA**

Impact on Citizens and Businesses

All potential project impacts have been studied under CEQA and noticed to the public pursuant to the requirements of the County.

SUPPLEMENTAL:

Additional Fiscal Information

All fees are paid by the applicant. There is no General Fund obligation.

ATTACHMENTS:

- A. Ordinance No. 348.4883
- B. Planning Commission Minutes
- C. Planning Commission Staff Report
- D. Tentative Tract Map No. 36504
- E. Indemnification Agreement



Scott Bruckner

5/14/2018



Gregory V. Priamos, Director County Counsel

5/14/2018

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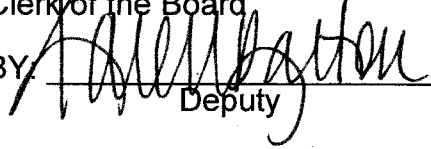
STATE OF CALIFORNIA)
)
COUNTY OF RIVERSIDE) SS

I HEREBY CERTIFY that at a regular meeting of the Board of Supervisors of said county held on May 22, 2018, the foregoing ordinance consisting of 2 Sections was adopted by the following vote:

AYES: Jeffries, Tavaglione, Washington, Perez and Ashley
NAYS: None
ABSENT: None

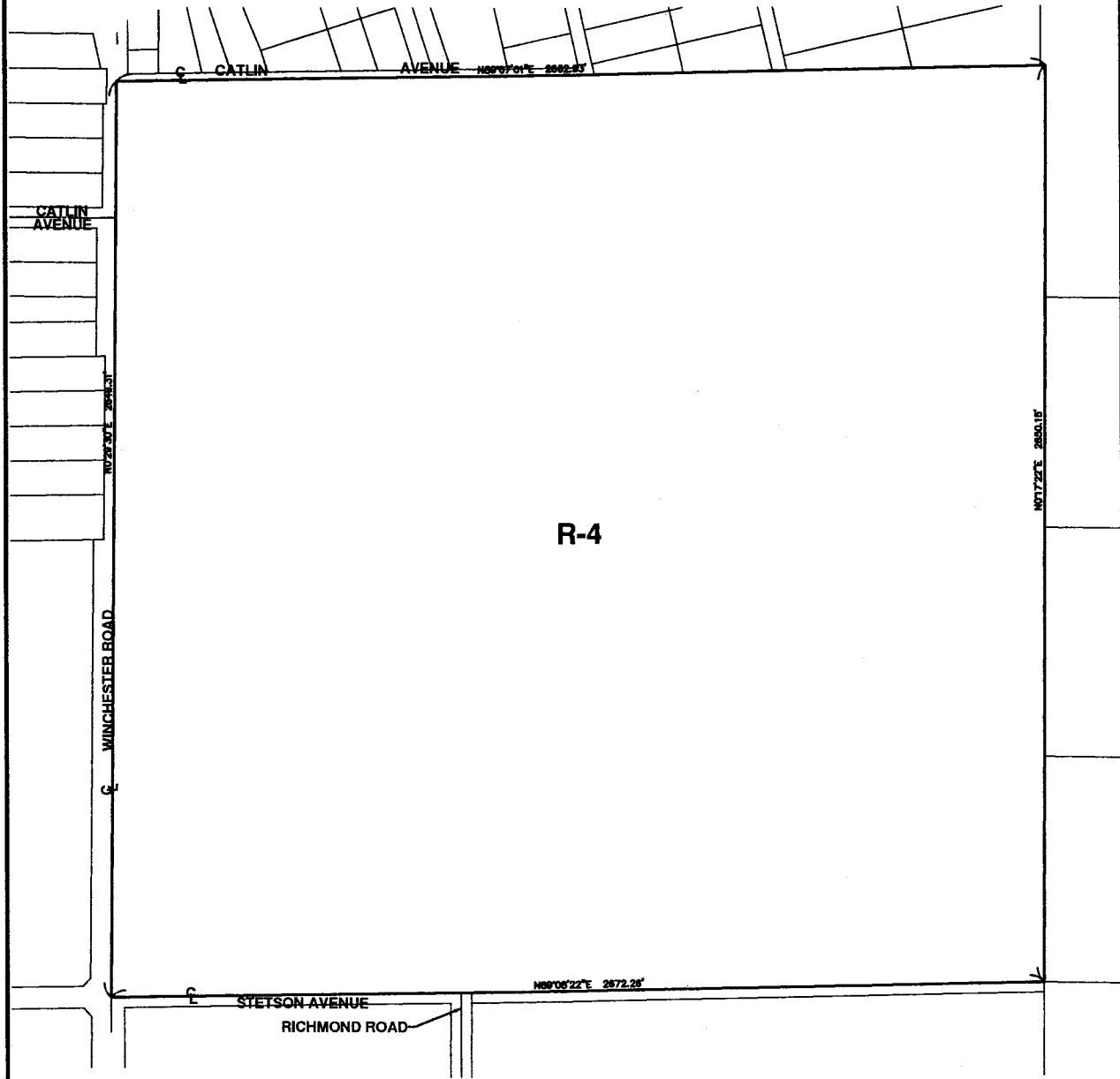
DATE: May 22, 2018

KECIA HARPER-IHEM
Clerk of the Board

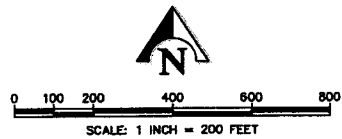
BY: 
Deputy

SEAL

HOMELAND AREA
SECTION 15, T5S, R2W, S.B.M.



R-4 PLANNED RESIDENTIAL



MAP NO. 2.2426
CHANGE OF OFFICIAL ZONING PLAN
AMENDING
MAP NO. 2 ORDINANCE NO. 348
CHANGE OF ZONE CASE NO. 7833
ADOPTED BY ORDINANCE NO. 348.4883
MAY 22, 2018
RIVERSIDE COUNTY BOARD OF SUPERVISORS

ASSESSORS PARCEL NO. 458-250-012 & 013

PLOT DATE: 5/6/16



**PLANNING COMMISSION
MINUTE ORDER
FEBRUARY 7, 2018**

I. AGENDA ITEM 4.1

CHANGE OF ZONE NO. 7833, TENTATIVE TRACT MAP NO. 36504 – Intent to Adopt a Mitigated Negative Declaration – EA42549 – Applicant: Stone Star Riverside, LLC – Engineer: W.J. McKeever, Inc. – Representative: Trip Hord – Third Supervisorial District – Homeland Zoning Area – Harvest Valley/Winchester Area Plan – Community Development: Medium Density Residential (CD-MDR) (2-5 DU/AC) and Highway 79 Policy Area – Location: Easterly of Winchester Road/SR-79 and northerly of Stowe Road – Zoning: Light Agriculture, 10-acre minimum (A-1-10), Heavy Agriculture, 10-acre minimum (A-2-10), Residential Agricultural, 20-acre minimum (R-A-20), and Rural Residential (R-R) – **REQUEST:..**

II. PROJECT DESCRIPTION:

The **CHANGE OF ZONE** proposes to change the zoning of the 162.05 acre subdivision area from a mix of Light Agriculture, 10-acre minimum (A-1-10), Heavy Agriculture, 10-acre minimum (A-2-10), Residential Agricultural, 20-acre minimum (R-A-20), and Rural Residential (R-R) to Planned Residential (R-4). The **TENTATIVE TRACT MAP** proposes a Schedule "A" Subdivision of 162.05 acre gross area into 527 single-family residential lots. In addition to 527 residential lots, the subdivision also includes an 8.54 acre lot for a park, a 4.7 acre lot for a detention/debris basin, and an approximately 18 acre open space lot. Offsite drainage improvements are proposed on the parcel south of the subdivision area south of Stetson Avenue which consists of an underground 72" storm drain which would connect to a proposed water quality basin at the southeast corner of the offsite area at the corner of Stowe Road and Stueber Lane/El Callado.

III. MEETING SUMMARY:

The following staff presented the subject proposal:
Project Planner: Russell Brady at (951) 955-3025 or email at rbrady@rivco.org.

Spoke in favor:

William McKeever, Applicant's Representative, 900 E. Washington Street Suite 208, Colton, 92329
Will Roberts, Applicant, 12671 High Bluff Drive, Del Mar, 92031- did not speak.

Spoke in opposition:

Sylvia Lanker, Neighbor, 25340 Sultanas Road, Homeland, 92548

No one in a neutral position.

IV. CONTROVERSIAL ISSUES:

None.

V. PLANNING COMMISSION ACTION:

Public Comments: Closed

Motion by Commissioner Kroencke, 2nd by Commissioner Hake

A vote of 4-0 (Commissioner Taylor-Berger Absent)

The Planning Commission Recommend the Following Actions to the Board of Supervisors:

ADOPT a Mitigated Negative Declaration for Environmental Assessment No. 42549; and

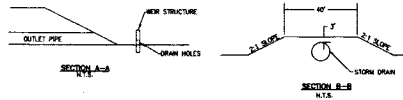
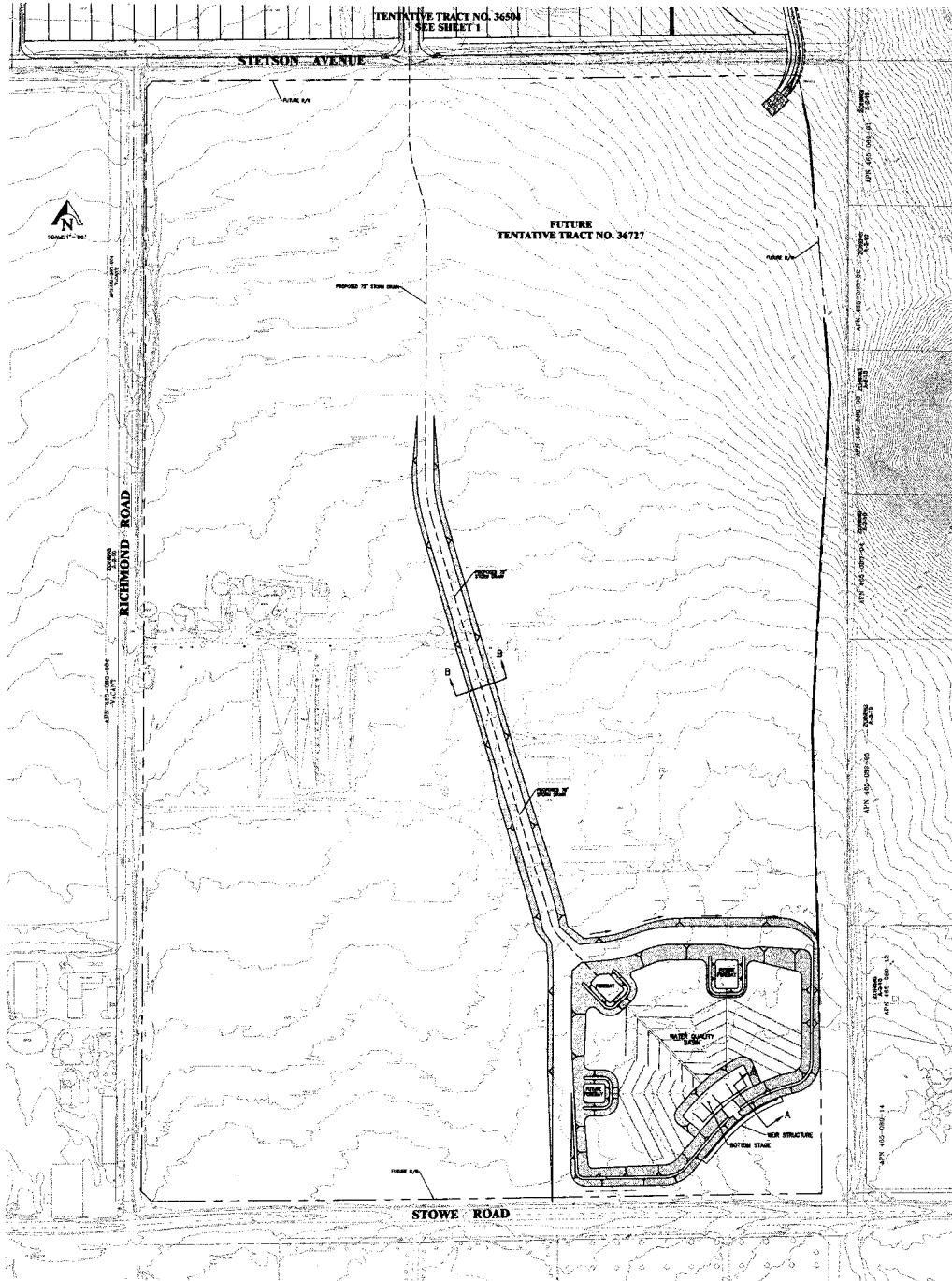
TENTATIVELY APPROVE Change of Zone No. 7833; and

APPROVE Tentative Tract Map No. 36504, subject to conditions of approval.

TENTATIVE TRACT NO. 36504

SHEET 2 OF 3

BEING A SUBDIVISION OF THE SOUTHEAST QUARTER OF SECTION 15, TOWNSHIP 5
SOUTH, RANGE 2 WEST, SAN BERNARDINO MERIDIAN
SECTION 15, T5S, R2W



SECTION 15, T5S, R2W
 PREPARED BY S.J.M./M
 APPROVED BY S.J.M./M
 DATE 11/17/22
W.J. McKEEVER, INC.
 CIVIL ENGINEERING
 1000 WEST 10TH AVENUE
 DENVER, COLORADO 80202
 (303) 733-1111
 WJM
 DATE: 5/15/23

Tract No. 36504
The Villages
North

Conceptual Design Manual

Riverside County, California

April 2017

CONCEPTUAL DESIGN MANUAL
FOR
The Villages - North
(TR 36504)

Submitted to
County of Riverside, California

April 2017

APPLICANT/PROPERTY OWNER(S)

Lansing Stone Star, LLC
12671 High Bluff Drive
Suite 150
San Diego, CA 92130
(858) 523-0719

AGENT/ENGINEER

W.J. McKeever Inc.
900 E. Washington Street
Suite 208
Colton, CA 92324
(909) 825-8048



William J. McKeever
4/21/17

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APPENDICES

A. TENTATIVE TRACT 36504

B. LANDSCAPE MASTER PLAN

- OVERALL LANDSCAPE PLAN - TRACT 36504
- PARK ENLARGEMENT
- ENLARGEMENTS AND DETAILS
- MAINTENANCE PLAN

C. ARCHITECTURE

- PLAN 1 - California Ranch, Craftsman & Monterey
- PLAN 2 - California Ranch, Mediterranean & Monterey
- PLAN 3 - Craftsman, Monterey & California Ranch
- EXTERIOR COLOR SCHEMES

1.0 PURPOSE

The purpose of this Conceptual Design Manual is to describe the overall design concept for Tentative Tract Map 36504 (The Villages - North) and outline the design details that will be incorporated into the final design decisions. This manual includes both design standards and guidelines. Variations to either the design standards or guidelines may be considered by the Planning Commission. The guidelines in this document will lay out both functional and aesthetic design concepts as an overall strategy to be followed at the time of development. The primary objective is to establish a consistent theme throughout the project. This document will establish the conceptual architectural styles, overall theme, wall and fence concepts, and pedestrian connectivity to be used in the future build out of this tract. This Conceptual Design Manual is being processed in conformance with Riverside County Zoning Ordinance No. 348, Article VIII, Section 8.95b.

2.0 PROJECT BACKGROUND & DESCRIPTION

The Villages - North consists of approximately 160 acres and is located at the Northeast corner of the intersection of Winchester Road and Stetson Avenue in the Winchester area of Riverside County (Refer to **Exhibit A – Vicinity Map**). The project proposes to subdivide 151 acres into 527 single-family lots. The lots will consist of 5,000, 6,000 & 7,200 square foot single-family detached lots.

The proposed project is consistent with Riverside County's R-4 Zone, which allows for minimum lot sizes of 3,500 square feet and an average lot size of 6,000 square feet. The Villages - North project contains minimum lot sizes of 5,000 square feet and an average lot size of 6,755 square feet. In order to ensure the quality and cohesiveness of projects zoned R-4, Riverside County requires additional design details during planning stages. The requirement for these conceptual design details helps ensure that County design objectives are met. By implementing the following design points, this project meets the County's design objectives for the properties zoned R-4:

- Providing transition and buffer zones to ensure that the project blends into and is sensitive to the surrounding area.
- Ensuring that new homes are constructed in neighborhoods that are interesting and varied in appearance.
- Providing a sense of privacy and personal space for each residential unit.

3.0 EXISTING CONDITIONS

The property is currently raw land that is vacant. The easements that affect the property consist of road rights-of-way for Winchester Road and Stetson Avenue and power line easements for service lines.

The topography of the site is varied. The site falls generally from North to South with a rocky hill in the northeast corner and another in the middle of the southerly portion of the site (see Exhibit "B" – USGS Topographic Map).

The majority of the site is located within Flood Zone "X" (areas determined to be outside of the 100-year and 500-year Flood Plain) and the southwest corner of the site. Approximately 8.2 acres are located within Flood Zone "A" (areas determined to be within the 100-year Flood Plain – no base flood elevations determined)(refer to Exhibit C – FIRM Map No. 06065C2080G dated August 28, 2008).

Per the RCIP, the property currently has land use designations of Medium Density Residential (MDR) and the site is currently zoned Rural Residential (R-1) (Refer to Exhibit D – General Plan for the current land use designation and Exhibit E – Existing Zoning for a depiction of the zoning).

Transportation corridors and area circulation will be developed in conformance with the County's General Plan.

4.0 RELATIONSHIP TO SURROUNDING PROPERTIES

The surrounding properties in the area include vacant land and various agricultural operations. Some agricultural uses continue to operate in the area, primarily to the east.

The surrounding General Plan land use designations are as follows:

- North: Medium Density Residential (MDR)
- South: Medium Density Residential (MDR)
- East: Medium Density Residential (MDR)
- West: Medium Density Residential (MDR)

The surrounding zoning districts are as follows:

- North: Single-Family Residential (R-R)
- South: Single-Family Residential (A210)
- East: Light Agricultural (A210)
- West: Light Agricultural (R-R)

5.0 PRELIMINARY DEVELOPMENT PLAN

The Villages - North development is intended as a planned residential community, which includes various residential mixes. In addition the development will include open space a park and a common community design identity.

The density proposed for The Villages - North project is 3.25 units per acre, which conforms to the existing General Plan designation of Medium Density Residential (2-5 dwelling units per acre).

The residential uses within The Villages - North development consist of single-family lots. Residential land uses for single-family within The Villages - North will be subject to the requirements in Ordinance 348, Article VIId of the County of Riverside's zoning ordinance.

The Villages - North development plan implements one type of housing product, traditional single-family lots.

5.1.1 Single Family Residential

The residential area has been planned in a vibrant and sustainable manner to set forth a safe, effective, and attractive pedestrian-friendly environment that encourages connectivity and interaction.

Riverside County Minimum R-4 Standards

R-4 Minimum Yard Requirements	
Minimum Lot Size	3,500 S.F.
Average Lot Size	6,000 S.F.
Minimum Lot Width	40'
Minimum Lot Depth	80'
Maximum Building Height	40'
Minimum Front Yard Setback	20'
Interior Side Yard	5'
Corner Lot Side Yard	10'
Minimum Rear Yard Setback	10'

5.2 Entry Monuments, Walls & Project Theme

Monumentation features and entry landscaping. The primary entry for the community will be located at the West side on Winchester Road and the South side on Stetson Avenue. (Refer to **Appendix B – Major Entry Monument and Block Wall Enlargement and Details**)

Perimeter and other wall materials, designs, and colors, will carry on the project's theme established by the project's monument signage and landscaping. View walls will be used at the discretion of individual builders. Wall and fence heights will be limited to a maximum height of six (6) feet. Decorative pillars and pedestals may extend up to an additional sixteen (16) inches above the maximum wall heights. Materials, colors, and construction methods for theme, view and accent walls are subject to some variation, so long as the proposed character and theme of the walls is preserved and per the approval of the Planning Department.

View walls may be used in areas where noise attenuation is not necessary and view opportunities exist.

5.2.1 General Guidelines

- No fence should exceed six feet in height unless required for noise attenuation
- All walls and fences should end in a pilaster. The design of the pilaster should reflect the shape of the supports used in the entry monuments and use similar materials
- When changes in pad elevation occur, the wall or fence should be stepped in equal vertical intervals. No step should exceed twelve inches (12") in height
- Side yard gates are required on one side of the front yard and shall be constructed of wrought iron, wood, or tubular steel. Side and rear yard fencing shall be masonry, slump stone or other materials of similar appearance, maintenance and structural durability. Chain link fencing is not permitted. All construction must be of good quality and sufficient durability.

5.3 Front Yard Landscaping

Front yard landscaping is required for all homes and unless approved by the Planning Department, will be provided by the developer/home builder. Front yard landscaping provided by the developer/builder or their representative must be installed within one month of closing. The Planning Department may extend installation times for homeowner installed or custom landscaping improvements for individual lots. Front yard landscape packages offered by developers/builders shall be subject to the review and approval of the Planning Department and must meet the following requirements: a variety of standard and upgraded front yard landscape packages with automatic irrigation systems shall be provided; front yard landscaping designs with berming, river run features, courtyards, lighting, or other creative features shall be offered for standard landscape designs.

5.4 Private Open Space

Private Open Space is land within each residential lot that is available for private use. This private open space is typically considered yard area that is available for private recreation. Each residence must have adequate private outdoor open space that can be an effective extension of the indoor living space and be used for passive outdoor activities such as gardening, reading, eating and barbequing. **For Landscaping Areas and Specifications refer to Appendix B .**

5.5 Park

Lot 528 of Tract No. 36504 is an 8.54-acre park. This park will be an active park operated and maintained by Valley Wide Recreation and Park District.

The improvements within the park will consist of picnic areas, tot lot, picnic shelter, half-court basketball court, lighted ball field, 2 soccer fields and a 50 space parking lot. **See Appendix B for Park Layout.**

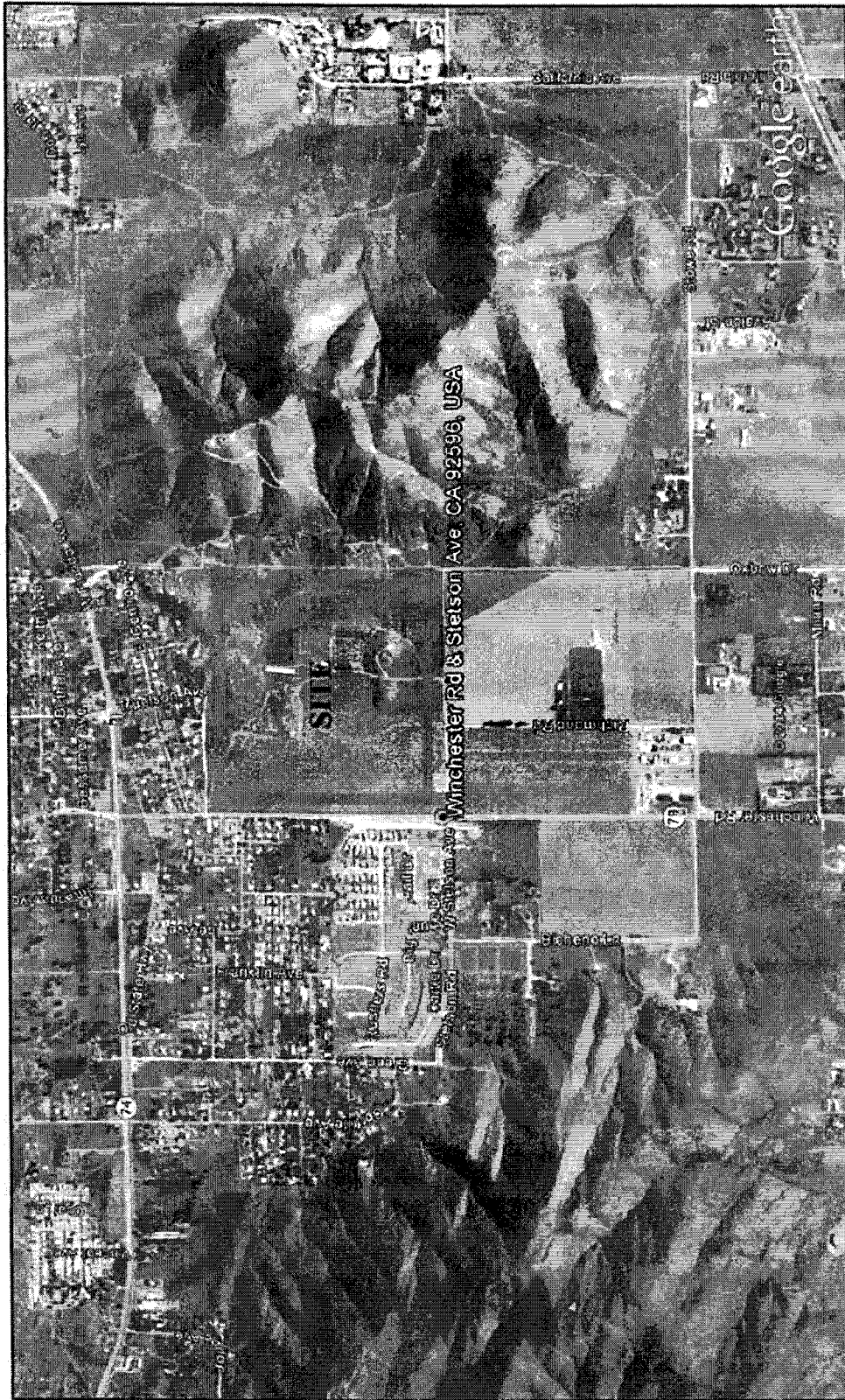
The park is being provided for the benefit of both the Villages North and Village South Projects. **For the Park Plan refer to Appendix B.**

5.6 Natural Public Open Space

Lot 530 of Tract No. 36504 consists of 17.8-acres of Public Open Space. The nature of this area is mostly a natural rocky outcrop. There is an existing natural drainage course located within the westerly portion of the area that will drain into a channel that will be maintained by the Riverside County Flood Control and Water Conservation District. Improvements within this area will be limited to hiking trails.

This open space area is being provided for the benefit of both The Villages North and Villages South Projects. **See Appendix B "Maintenance Plan" for maintenance responsibilities.**

EXHIBITS



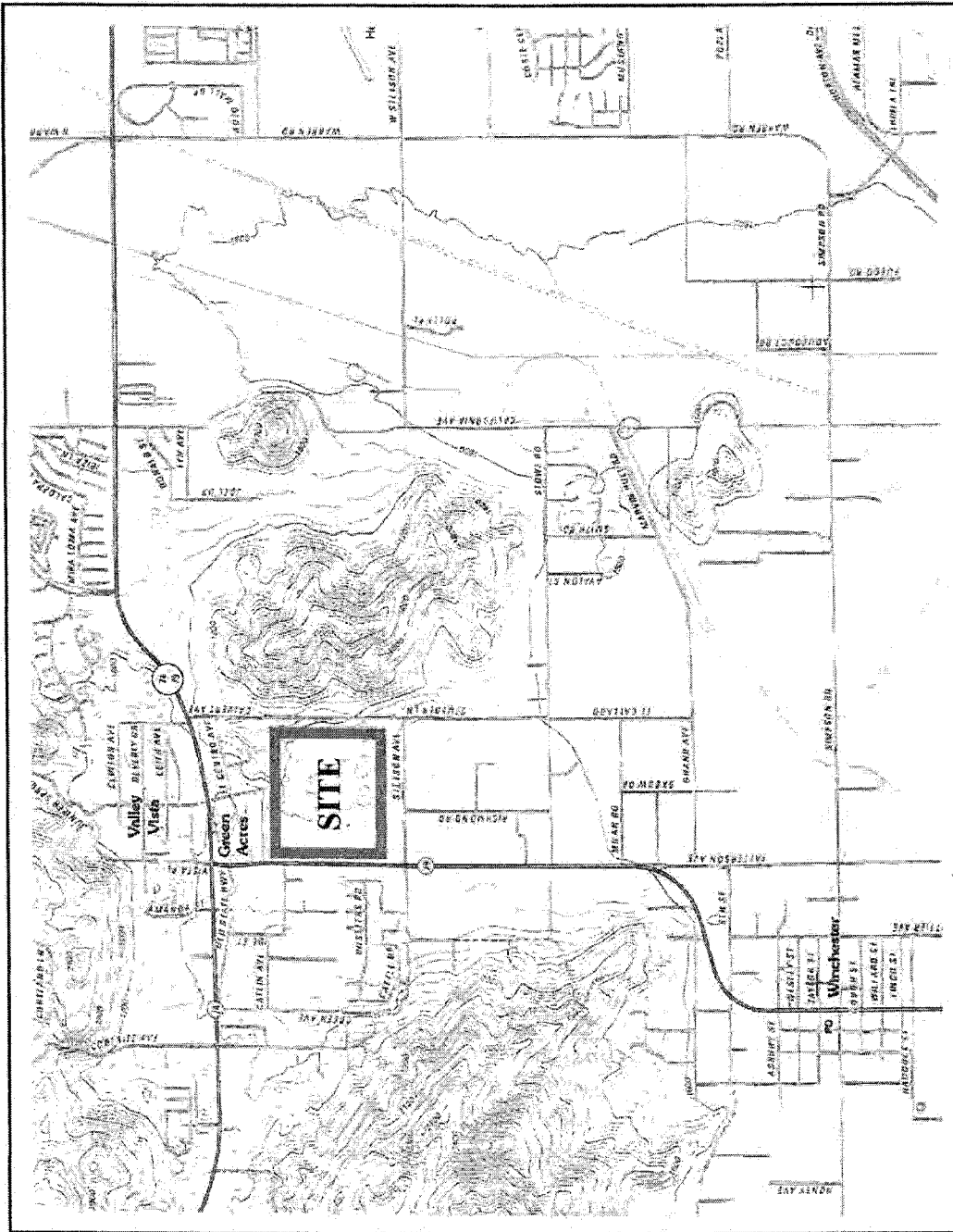
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CIVIL ENGINEERING

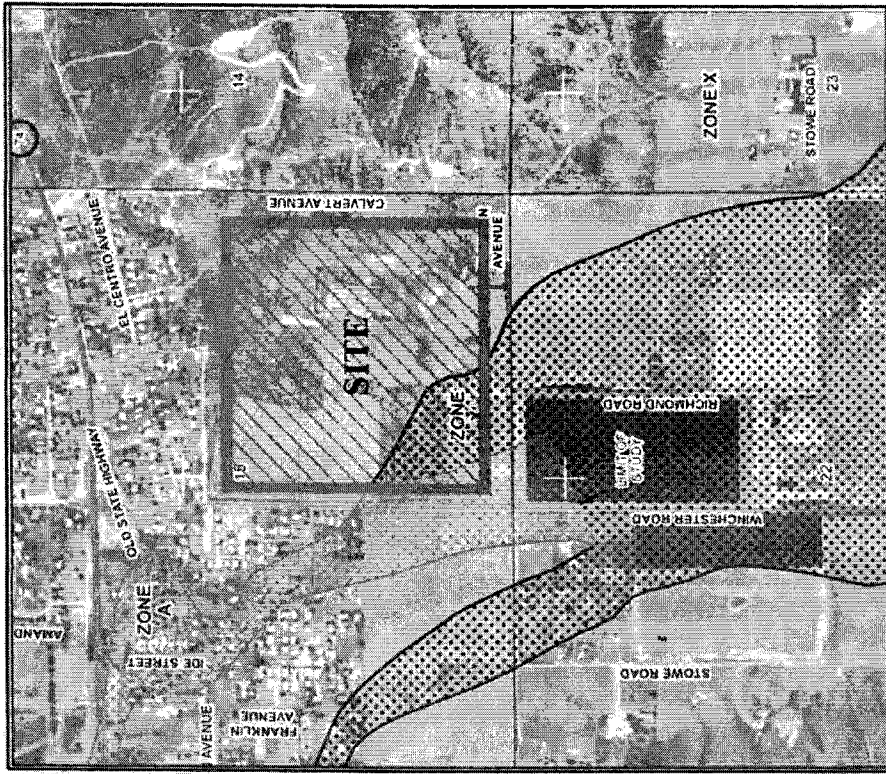


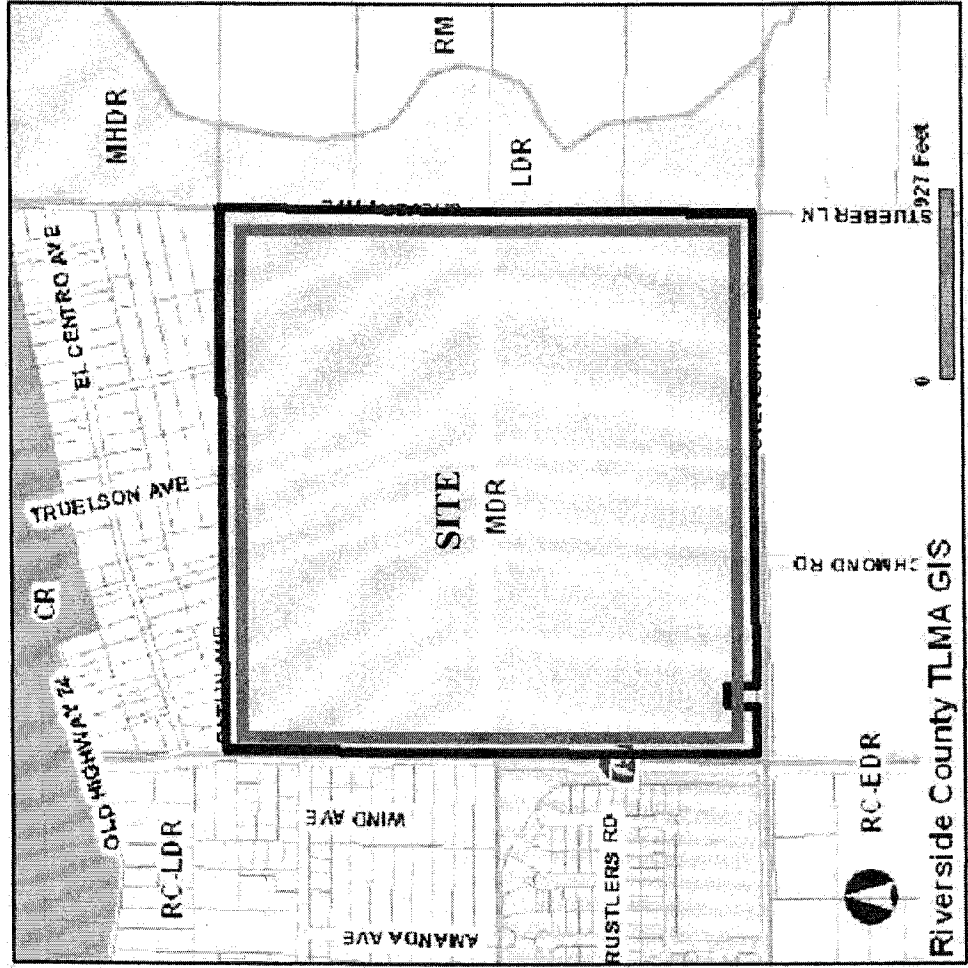
EXHIBIT A

VICINITY MAP
THE VILLAGES NORTH

RIVERSIDE COUNTY, CALIFORNIA







927 Feet



Riverside County TLMA GIS

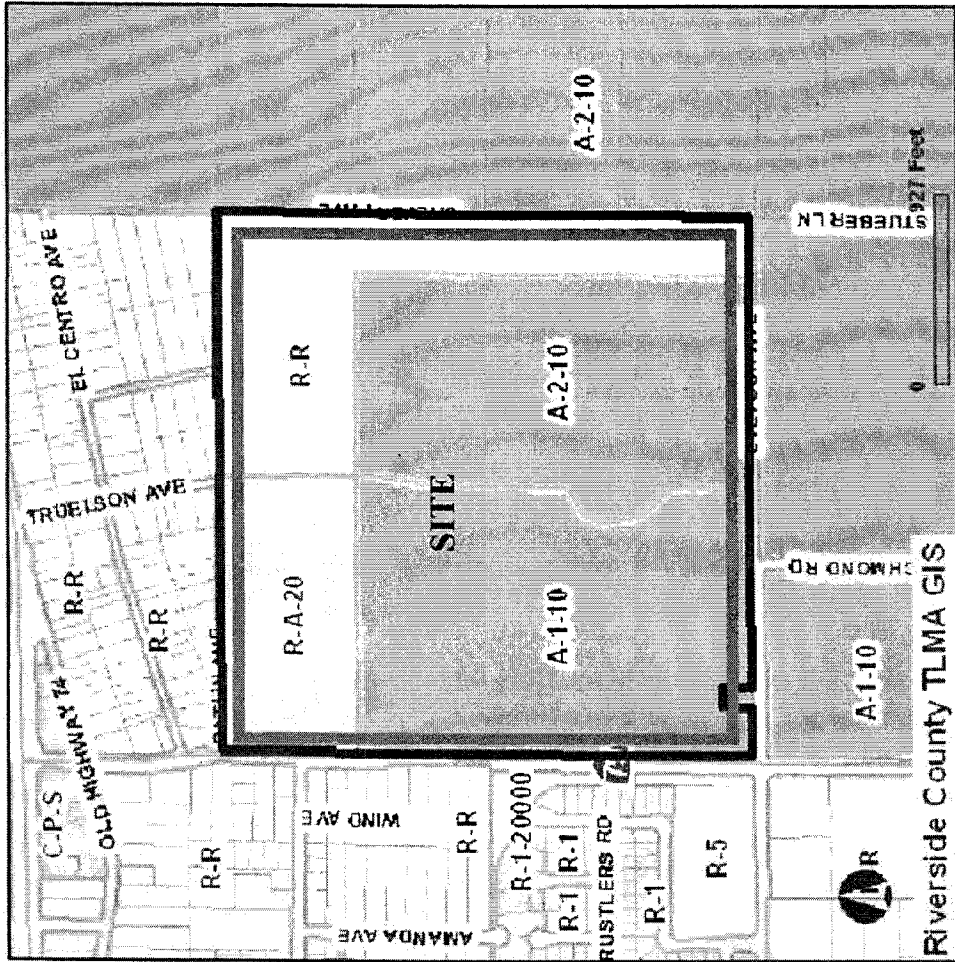
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CIVIL ENGINEERING



GENERAL PLAN
THE VILLAGES NORTH

RIVERSIDE COUNTY, CALIFORNIA

EXHIBIT D



Riverside County TLMA GIS

ZONING

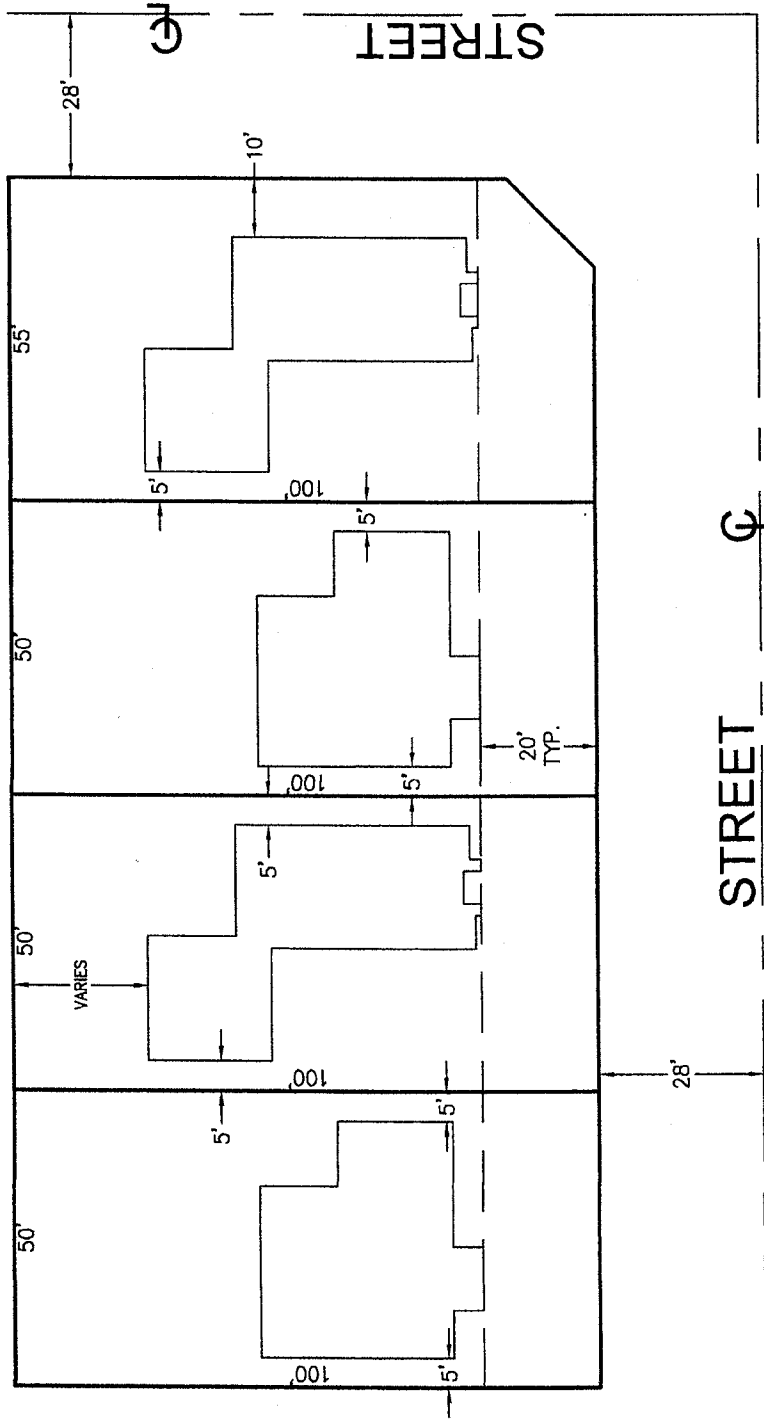
THE VILLAGES NORTH

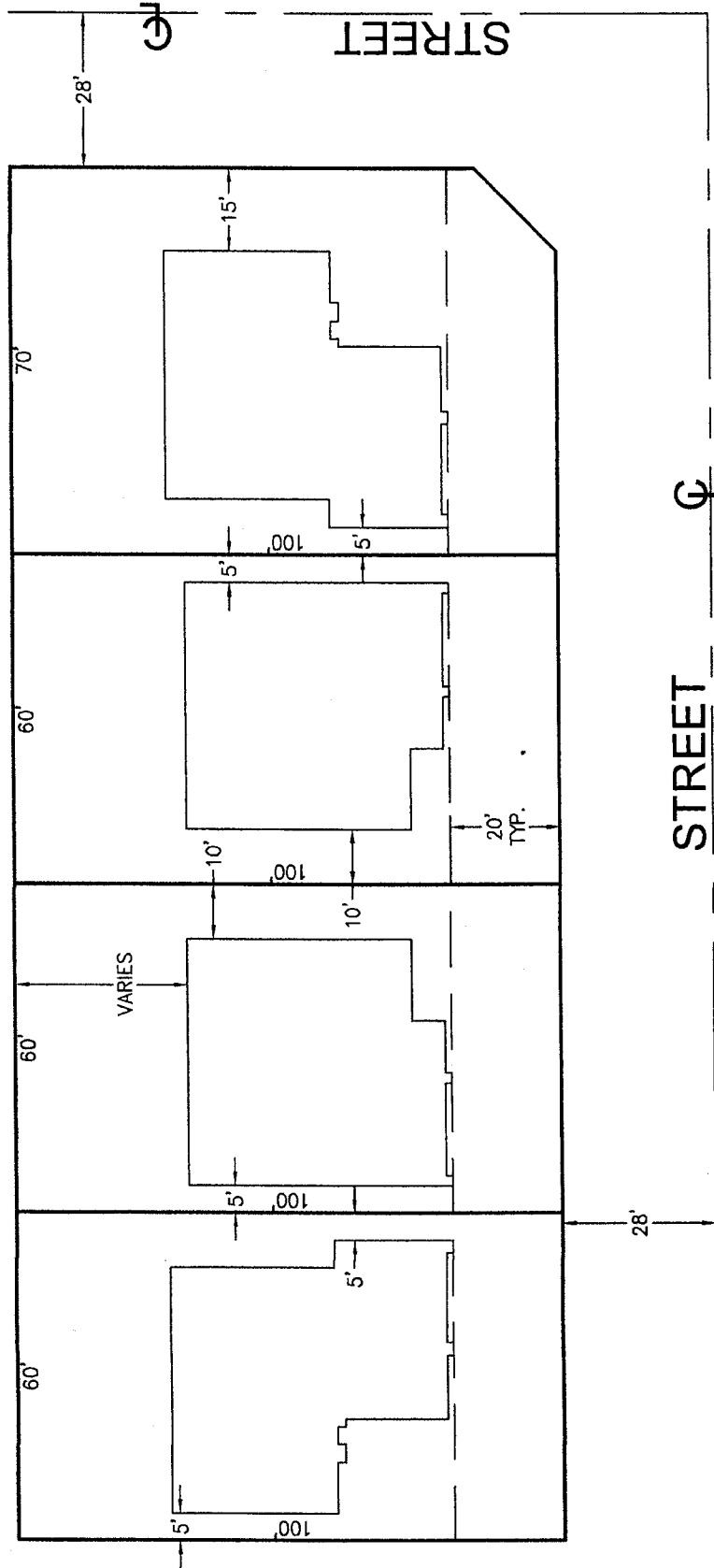
RIVERSIDE COUNTY, CALIFORNIA

EXHIBIT E

W.J. McKEEVER, INC.
CIVIL ENGINEERING







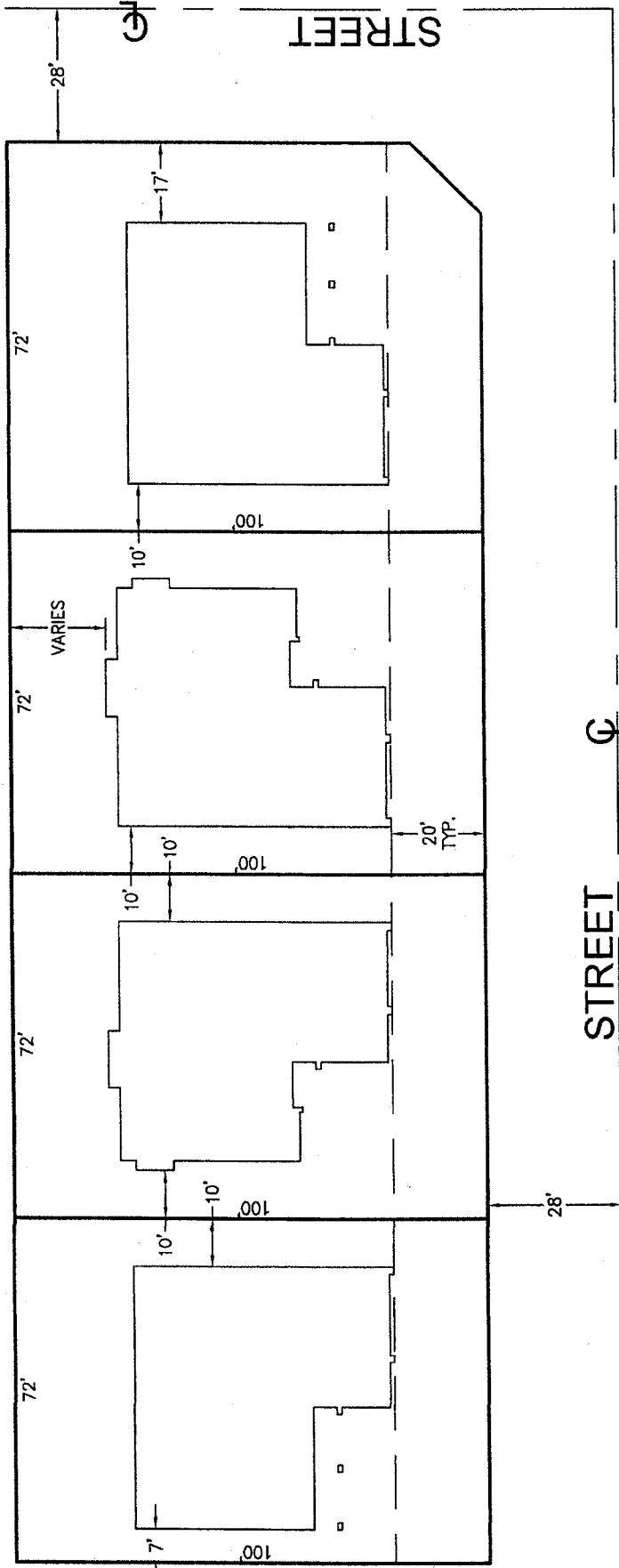
TYPICAL 6000 SF - LOT DETAIL
THE VILLAGES NORTH

RIVERSIDE COUNTY, CALIFORNIA

W. J. McKEEVER, INC.
 CIVIL ENGINEERING



EXHIBIT G



W.J. McKEEVER, INC.
CIVIL ENGINEERING



EXHIBIT II

TYPICAL 7200 SF - LOT DETAIL
THE VILLAGES NORTH

RIVERSIDE COUNTY, CALIFORNIA

6.0 ARCHITECTURE

The architectural guidelines in this manual have been developed to ensure architectural continuity and compatibility throughout the project; to promote a distinctive architectural theme; and to avoid a mundane repetition of too similar architectural design elements. These guidelines will provide a set of basic concepts for development but are not meant to limit future creativity in design.

These styles and concepts should be incorporated to provide a variety of quality housing types.

6.1 General Guidelines

The following general guidelines should be considered in the designing and layout of the project:

- A common set of design style and design elements should be included throughout the project.
- Long unarticulated building facades should be avoided
- Natural building materials should be varied throughout the project, avoiding long stretches of similar street scene
- Offset roof planes, columns, vertical and horizontal articulation or other projecting architectural features shall occur on those facades of the residence that are visible from the street or open space
- The visual impact of garages shall be reduced to the maximum extent practicable

6.2 Architectural styles

Four architectural styles have been set forth in this design manual for the project so as to begin to identify and illustrate the intent and objective of these design guidelines in terms of architectural style and variety. California Ranch, Craftsman, Mediterranean, and Monterey architectural styles are discussed in the following pages and depicted in **Figures 1-4** so as to establish the types and level of architectural detail, which will assist in achieving the project, design objectives. It should be noted that the ultimate builder will be required to come back before the Planning Commission with a detailed Design Manual that will identify the specific design features that will be incorporated into the implementation process. Discussions of each of these styles as well as illustrations of typical elevations and features are located on the following pages.

It should also be noted that these design guidelines can be modified during the formal minor permit review process initiated by the builder, at the discretion of the Planning Department.

6.2.1 California Ranch

The general of California Ranch style is derived from the Mediterranean, Bungalow, and 1940's Ranch styles. It consists of one and two story volumes with hip and gable roofs. Roof pitches vary from 4:12 to 5:12 with moderate to broad roof overhangs or eaves. Typical exterior wall cladding includes clapboard (horizontal boards), board and batten (vertical boards), shingles and stucco. Indoor-outdoor relationships are accentuated by such elements as: large areas of glass, sheltered porches, greenhouse rooms and corner windows. Exposed beam ends and deep fascias are used with columns and piers to create strong shadow patterns. Private gardens, patios and pot shelves are typical.

Features typical of the California Ranch style include:

- Louvered shutters at windows
- Arched patios
- Low pitched roof line
- Often contains a variation of materials on façade (wood siding, brick or stone)

6.2.2 Craftsman

The Craftsman style of the early twentieth century residential architecture was very popular. This popularity can be attributed to the Craftsman design on the harmony of indoor and outdoor life. Influenced by the earlier Mission aesthetic, the Arts & Crafts architects designed homes which were well-crafted and used materials left as close as possible to their natural state such as cobblestones and rough hewn beams. Wherever possible, aesthetic and functional interiors are integrated in simple living spaces. These asymmetrical, gabled and stuccoed works of art are a large part of Southern California's architectural heritage.

The primary wall form relies on a simple "box" orientation adorned with detailing such as wall articulation, unique window locations, large eave overhangs and porches. Typical building materials include wood, stone and stucco. The limitless combinations of these elements can enhance the street scene and create a unique residential identity. Creative use of these design features will promote a varied yet unified architectural "feel" to the neighborhood while avoiding the "cookie-cutter" approach where virtually all residences appear the same without any individual identity.

The Craftsman idea is broad enough to include all types and uses of buildings. However the Craftsman bungalow style of dwelling has received more attention than any other. Southern California is ideally suited for the bungalow. The mild climate permits a

thorough integration of a house with its immediate surroundings. For example, living space may open onto a screened or open-air porch, which may adjoin a blooming garden.

Features typical of the Craftsman style include:

- Thick tapered porch posts
- Exposed roof rafters
- Recessed porches
- Natural materials such as stone and wood
- Varied textures
- Exterior use of stone or stone veneer

6.2.3 Mediterranean

The Mediterranean architectural style is typically characterized by the use of stuccoed walls, heavy arches, deep-set windows and S-tile roof materials. This style is generally characterized by two story homes, occasionally including a courtyard, with low-pitched roofs. Long narrow porches and balconies and stuccoed chimney tops are common accents. Exposed beams, balconies with wrought iron railing are also an important

Features typical of the Mediterranean style include:

- Typically light body color with dark or contrasting trim
- Arched windows and entries
- Wrought iron accents
- Heavy wood doors
- Stucco siding

6.2.4 Monterey

During the early colonization of the Southwest, the Spaniards built simple homes with low roofs, thick walls and small windows. Later, in the mid 19th century, homes took on more of the characteristics of the English Colonials' homes. Their houses became more complex, two-storied structures with narrow second floor balconies. The Spanish heritage was jealously preserved in many Southwestern communities.

Santa Barbara, California is one example that can be observed of this effect. After an earthquake destroyed a large number of the structures in the city in 1925, the city planning commission that was subsequently appointed required that all new structures be Spanish in design. In Santa Fe, New Mexico, a city ordinance mandated that all new buildings in the historic area of town be constructed in the Pueblo Style. In each of the above-mentioned circumstances, a unique style developed that took on the names of their respective cities. Therefore, today you will find homes called Santa Barbara style, or Santa Fe style respectively.

Monterey Style homes built in California in the 1920s are another example of unique styles that evolved from previous examples. Monterey, California made this style famous, with their two-story Spanish homes that featured a porch tacked on the front. One could also find porches on the main floor tucked under the roof, reminiscent of the French Creole style homes.

Features typical of the Monterey style include:

- Tiled or wooden shake roofs
- Porches on the second floor, often spanning the entire width of the house
- Single-hung windows
- Symmetrical design
- Shutters on the windows
- Recessed first floor porches

7.0 UTILITIES

Currently the site is undeveloped and, the site does contain some existing perimeter overhead electrical lines as well as water and sewer lines located in Leon Rd. All existing and new onsite utilities that will serve the subject site will be placed underground except as approved by Public Works. Operation and maintenance of all utilities and facilities will be managed by the appropriate operating entity upon approval and completion of construction. Sewer facilities, water facilities, street lights, and fire hydrants will be provided according to the appropriate agency's guidelines, per the recommendations of Public Works and Riverside County Fire Departments and other governmental regulations applicable to the construction of various facilities.

Utility Providers

Services	Provider	Location
Electrical	Southern California Edison	At site
Telephone	Verizon	TBD
Cable	Time Warner Cable	TBD
Natural Gas	Southern California Gas Company	TBD
Water	Eastern Municipal Water District	At site
Sanitary Sewer	Eastern Municipal Water District	4,000' +/- South
Fire & Emergency	County of Riverside Fire District	TBD

8.0 COVENANTS, CONDITIONS AND RESTRICTIONS (CC&R'S)

Common areas within The Villages - North will be maintenance by County Service Area #146. However, perimeter landscaping and common areas within the individual units in Planning Area 3, will require maintenance by a Home Owners Association (HOA). The HOA will be established in conjunction with development of Planning Area 3. CC&R's for The Villages - North that include language for the establishment of a HOA and provision for creation of liens in conjunction with the HOA for maintenance funding will be provided prior to recordation of the final map.

APPENDIX "A"

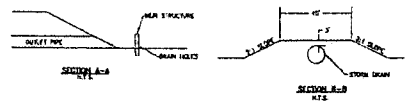
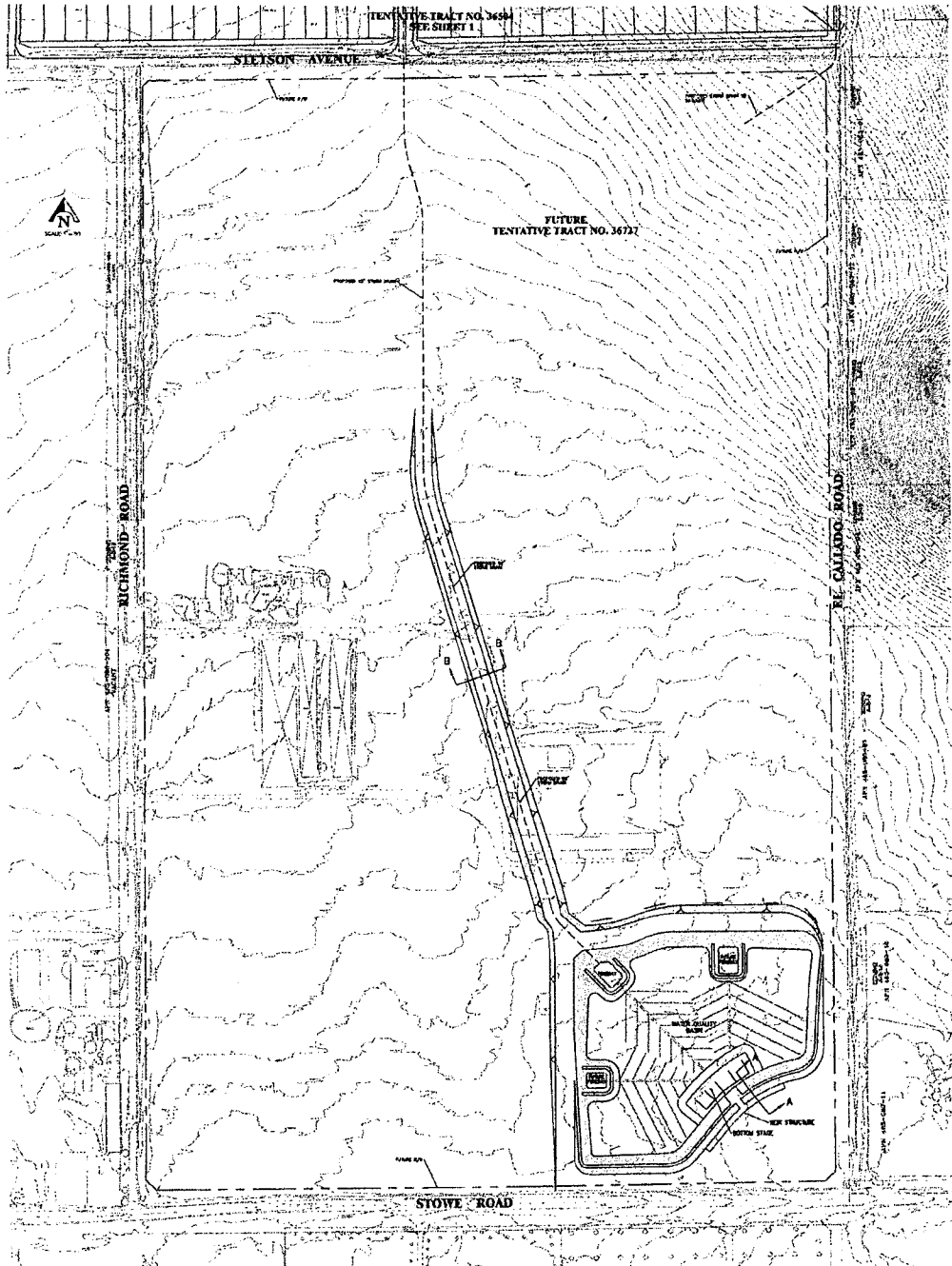
**TENTATIVE
TRACT 36504**

TENTATIVE TRACT NO. 36504

SHEET 2 OF 2

BEING A SUBDIVISION OF THE SOUTHWEST QUARTER OF SECTION 15, TOWNSHIP 5
SOUTH, RANGE 2 WEST, 24th REGULARLY ADJUSTED MERIDIAN.

SECTION 15, TWP. 5N
RANGE 2, W. 24th REGULARLY ADJUSTED MERIDIAN



SECTION 15, TWP. 5N
RANGE 2, W. 24th REGULARLY ADJUSTED MERIDIAN

LANSING

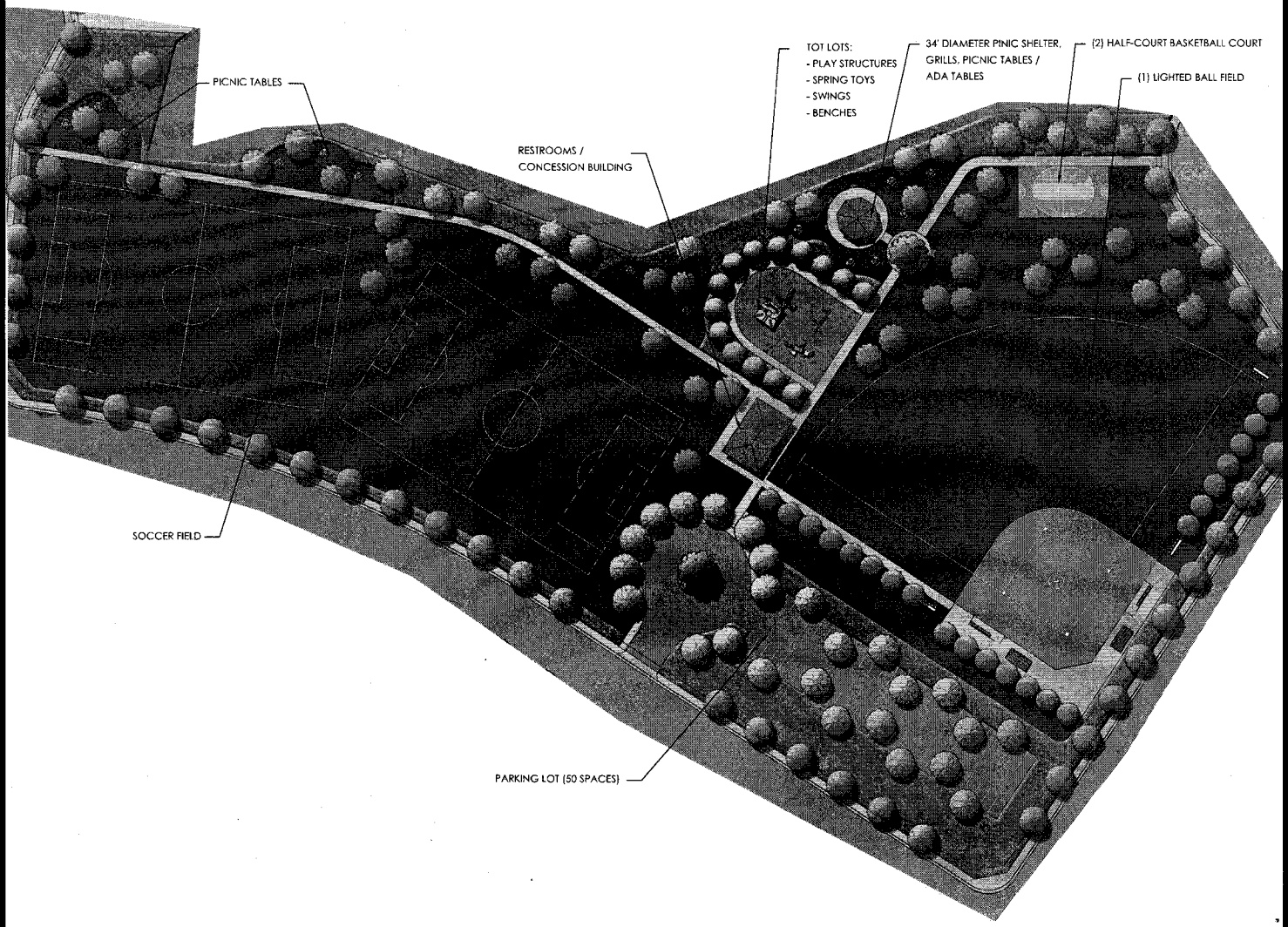
W.J. McKEEVER, INC.
CIVIL ENGINEERING
1111 W. WASHINGTON ST.
LANSING, MICHIGAN 48201

DATE: 10/15/10

BY: [Signature]

APPENDIX "B"

LANDSCAPE MASTER PLAN



PICNIC TABLES

RESTROOMS /
CONCESSION BUILDING

TOT LOTS:
- PLAY STRUCTURES
- SPRING TOYS
- SWINGS
- BENCHES

34' DIAMETER PICNIC SHELTER,
GRILLS, PICNIC TABLES /
ADA TABLES

(2) HALF-COURT BASKETBALL COURT

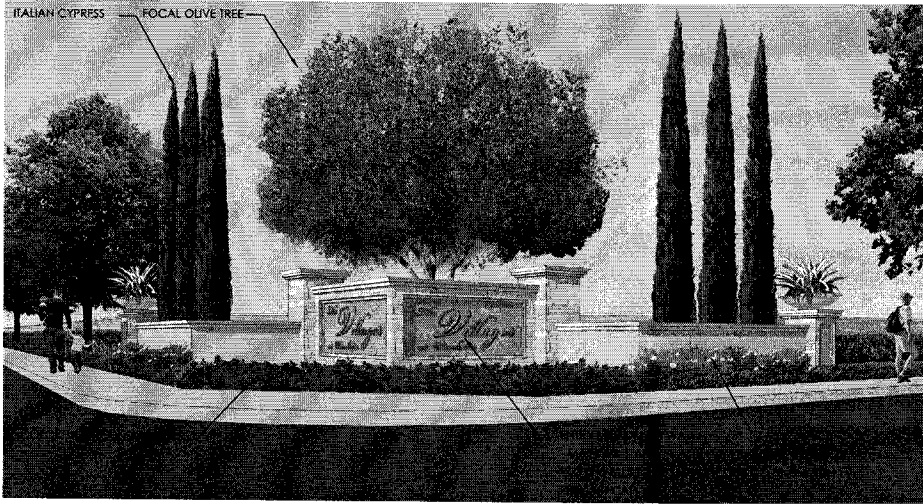
(1) LIGHTED BALL FIELD

SOCCER FIELD

PARKING LOT (50 SPACES)

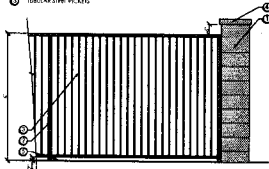
COMMUNITY PARK

Scale: 1" = 30'



MAJOR ENTRY MONUMENT

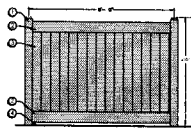
- ① SPITFACE BLOCK PLASTER @ 1/2" MIN. CORNER: COLOR TO BE FIN.
- ② CONCRETE PLASTER CAP
- ③ TUBULAR STEEL POST @ 8" ON C.C. MAX.
- ④ FINISH GRADE
- ⑤ TUBULAR STEEL PICKETS



TUBULAR STEEL VIEW FENCE

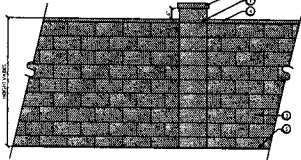
Scale: 1/2" = 1'-0"

- ① 5/8" VINYL POST
- ② 2" X 7" TOP AND BOTTOM RAIL
- ③ 1/2" SQUARE AND OVALS PANEL
- ④ FINISH GRADE



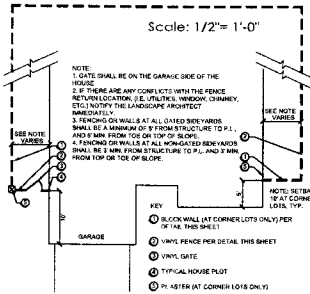
VINYL FENCE

- ① SPITFACE BLOCK PLASTER SPACED AS PER BLOCK COLOR TO BE FIN. PLASTER TO BE CENTERED ON WALL
- ② PRECISION CONCRETE WALL CAP
- ③ CONCRETE PLASTER CAP
- ④ FINISH GRADE
- ⑤ SPITFACE BLOCK WALL @ COMMON AREA SEAL, PRECISION BLOCK WALL FROM PUBLIC VIEWS, COLOR TO BE FIN.



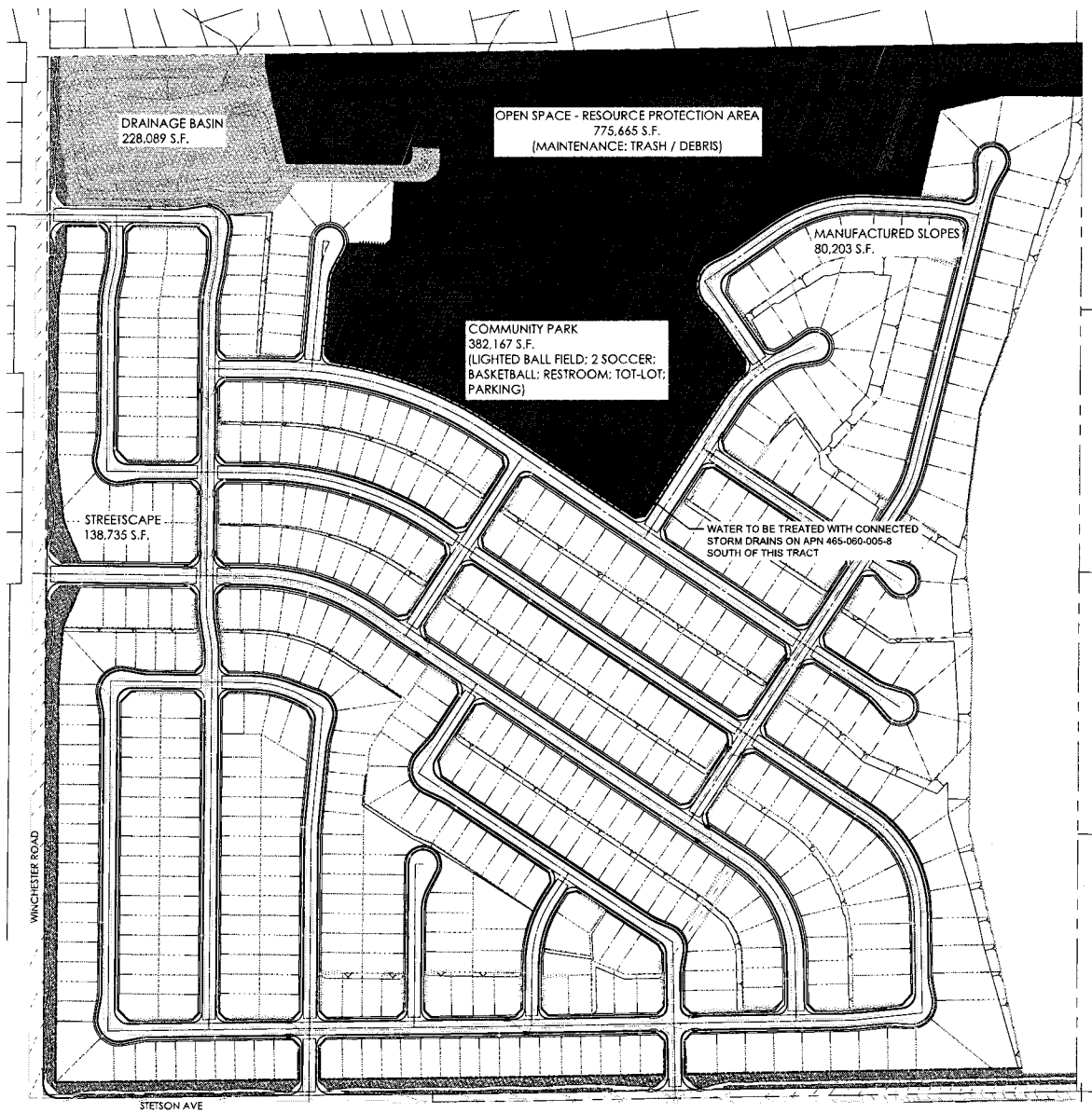
BLOCK WALL

Scale: 1/2" = 1'-0"



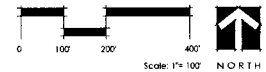
FRONT YARD TYPICAL FENCE LAYOUT

Scale: 1" = 8'



MAINTENANCE LEGEND	
	VALLEY WIDE RECREATION - LANDSCAPE 138,735 S.F.
	VALLEY WIDE RECREATION - PARK 382,167 S.F.
	VALLEY WIDE RECREATION - SLOPE 80,203 S.F.
	VALLEY WIDE RECREATION - OPEN SPACE 775,665 S.F.
	RIVERSIDE COUNTY FLOOD CONTROL DISTRICT 228,089 S.F.

VALLEY WIDE WALL AND FENCE LEGEND	
	6' HIGH PERIMETER BLOCK WALL (SPLIT FACE BLOCK, TAN) 4760 L.F.
	5' HIGH BLOCK WALL (ONE SIDED SPLIT FACE BLOCK, TAN) 72 L.F.
	TUBULAR STEEL VIEW FENCE (COLOR TO BE BLACK) 2356 L.F.
	3-RAIL FENCE (COLOR TO BE WHITE) 1902 L.F.



LANDSCAPE MASTER PLAN TR. 36504

LANSING STONE STAR, LLC Villages of Winchester North

MAINTENANCE PLAN

County of Riverside

SHEET 4

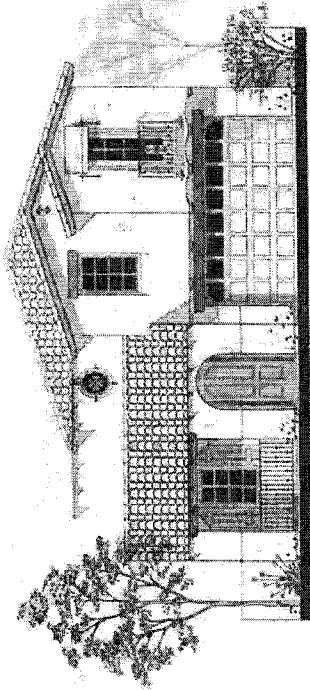


DESIGN RESULT
ASSOCIATES, INC.
951.296.3430
www.designresult.com

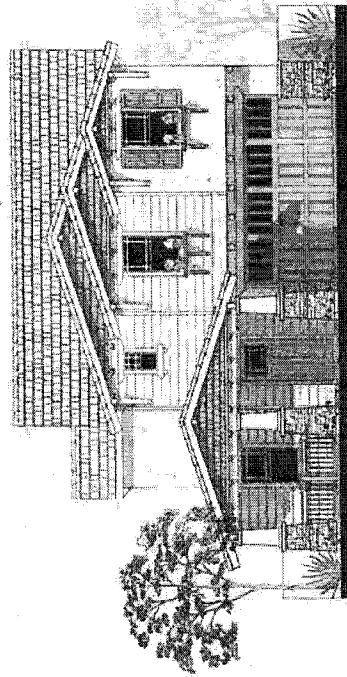
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APPENDIX "C"

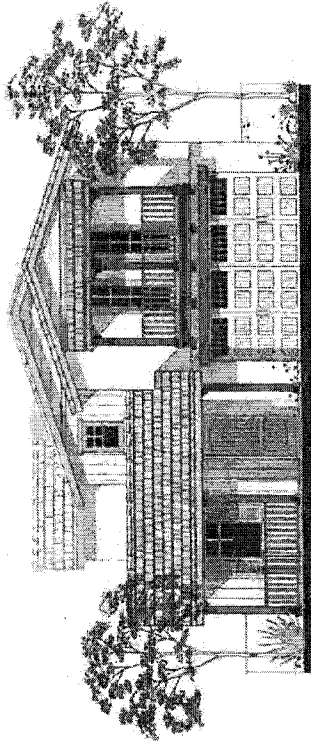
ARCHITECTURE



California Ranch



Craftsman



Monterey

Plan 1
Front Elevations
50' x 100' Lots

Scale: 1/8" = 1'-0"



PEKAREK-CRANDELL, Inc.

architecture - planning

32411 Camino Capistrano, Suite 300

San Juan Capistrano, CA 92675

TEL: 949.487.2321

FAX: 949.487.2321

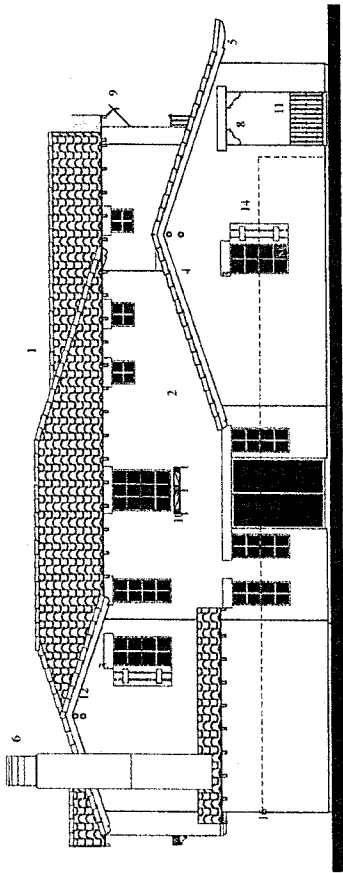
© 1998

Villages North

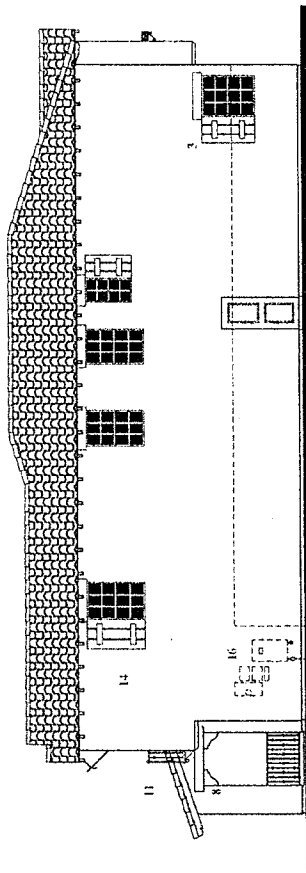
Tract # 36504

Riverside County, CA

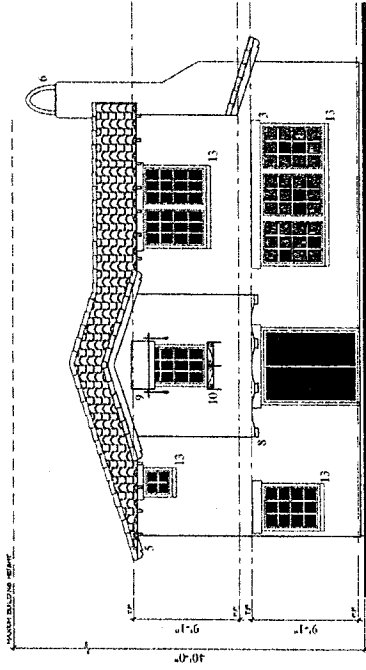
Lansing Stone Star, LLC



Left Side



Right Side



Rear

Exterior Materials-California Ranch

- 1. Concrete S-Roof Tile
- 2. Stucco
- 3. Stucco over Foam Trim
- 4. Tight Rake
- 5. Copper Roofed Rafters/Tails
- 6. Metal Chimney Stencil
- 7. Entry Door Por Builder
- 8. Stucco over Foam Corbel
- 9. Fabric Awning w/Metal Holders
- 10. Decorative Metal Post/sf
- 11. Decorative Metal Railing
- 12. Polished Clay Tile Vents
- 13. Painted Window with Sloping Sill
- 14. Shutters
- 15. Metal Roll-up Garage Door
- 16. Line of Fence

Plan 1
Elevations
California Ranch
50' x 100' Lots

Scale: 1/4" = 1'-0"



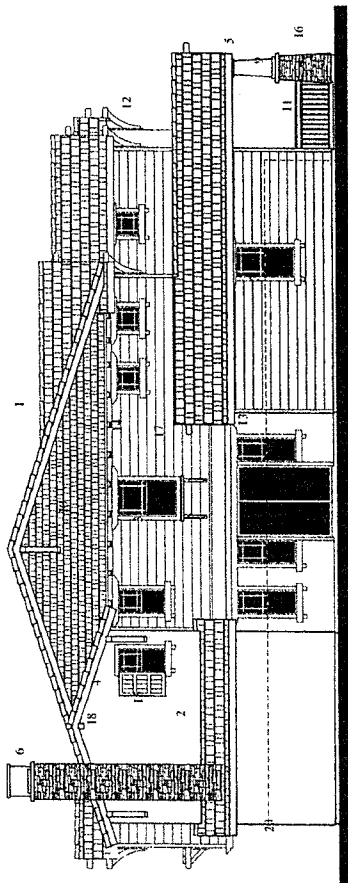
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architecture - planning

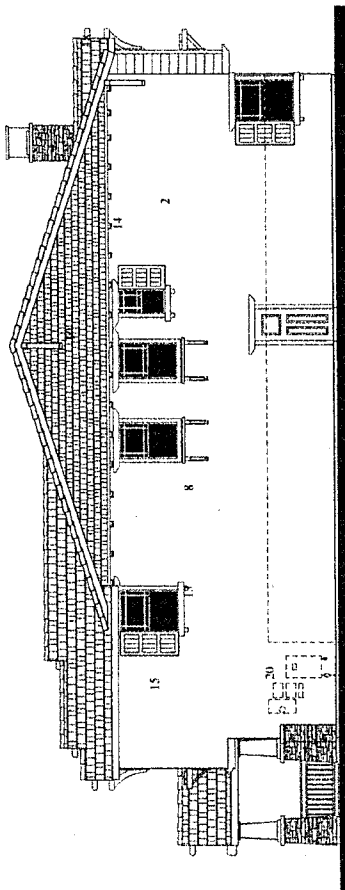
31411 Camino Capistrano, Suite 300 San Juan Capistrano, CA 92675 949-487-2520 fax 949-487-5241 #16-05

Villages North
Tract # 36504
Riverside County, CA

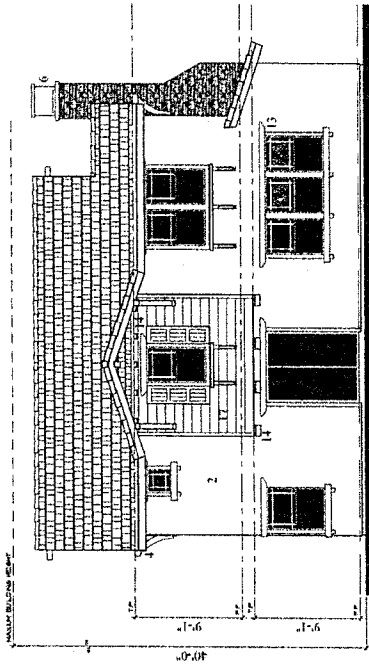
Lansing Stone Star, LLC



Left Side



Right Side



Rear

Exterior Materials-Craftsman

- 1. Concrete Flat Roof Tile
- 2. Stucco
- 3. Wood Trim
- 4. Wood Fascia/Barge
- 5. Exposed Wood Rafter Tails
- 6. Horizontal Siding
- 7. Entry Door Per Builder
- 8. Wood Post/raff with Wood Braces
- 9. Tapered Column
- 10. Accent Shingle Siding
- 11. Wood Railing
- 12. Wood Kicker
- 13. Stucco over Foam Trim
- 14. Wood Corbel
- 15. Shutter
- 16. Horizontal Stone Veneer
- 17. Horizontal Siding
- 18. Wood Outbocker
- 19. Metal Roll-up Garage Door
- 20. Line of Fence

Plan 1
Elevations
Craftsman
50' x 100' Lots

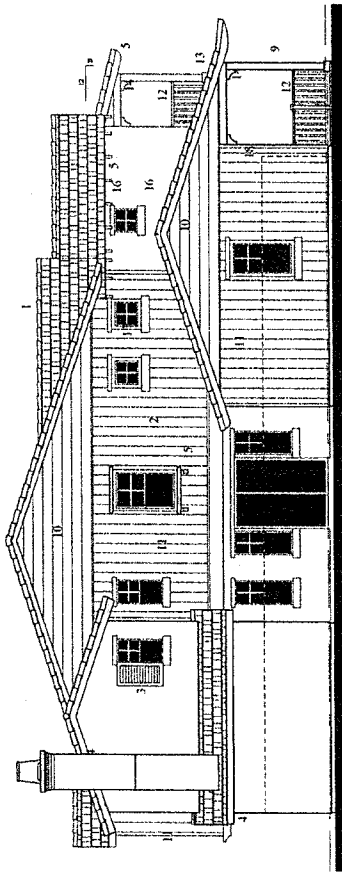
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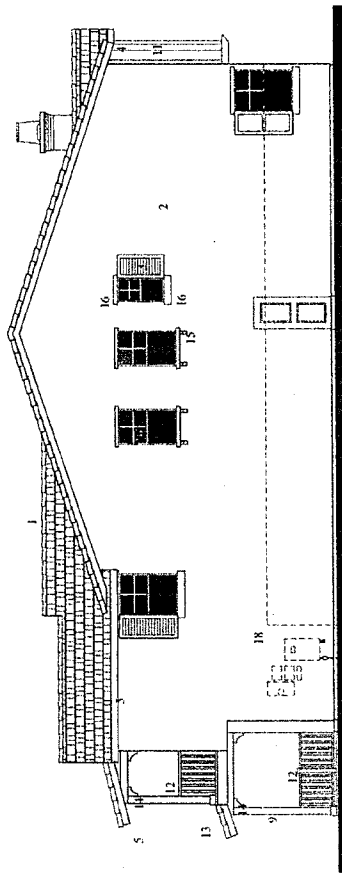
PEKAREK-CRANDELL, Inc.
architecture - planning
31411 Camino Capistrano, Suite 300 949 497-2520
San Juan Capistrano, CA 92675 fax 949 497-2521
3-28-17 #16-05

Villages North
Tract # 36504
Riverside County, CA

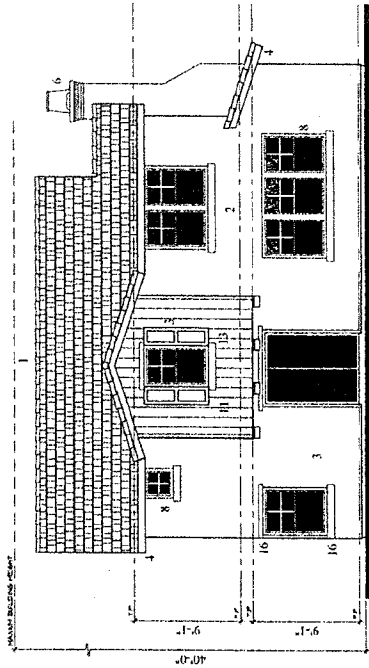
Lansing Stone Star, LLC



Left Side



Right Side



Rear

Exterior Materials-Monterey

- 1. Concrete Flat Roof Tile
- 2. Swooco
- 3. Shutter
- 4. Wood Fascia/Change
- 5. Exposed Wood Siding
- 6. Wood Panel
- 7. Entry Door Per Builder
- 8. Recessed Window
- 9. Wood Post
- 10. Accent Horizontal Siding
- 11. Vertical Siding
- 12. Wood Railing
- 13. Wood Trim
- 14. Wood Panel
- 15. Wood Panel
- 16. Swooco or Per Foam Trim
- 17. Metal Roll-up Garage Door
- 18. Line of Fence

Plan 1
Elevations
Monterey
50' x 100' Lots

Scale: 1/4" = 1'-0"

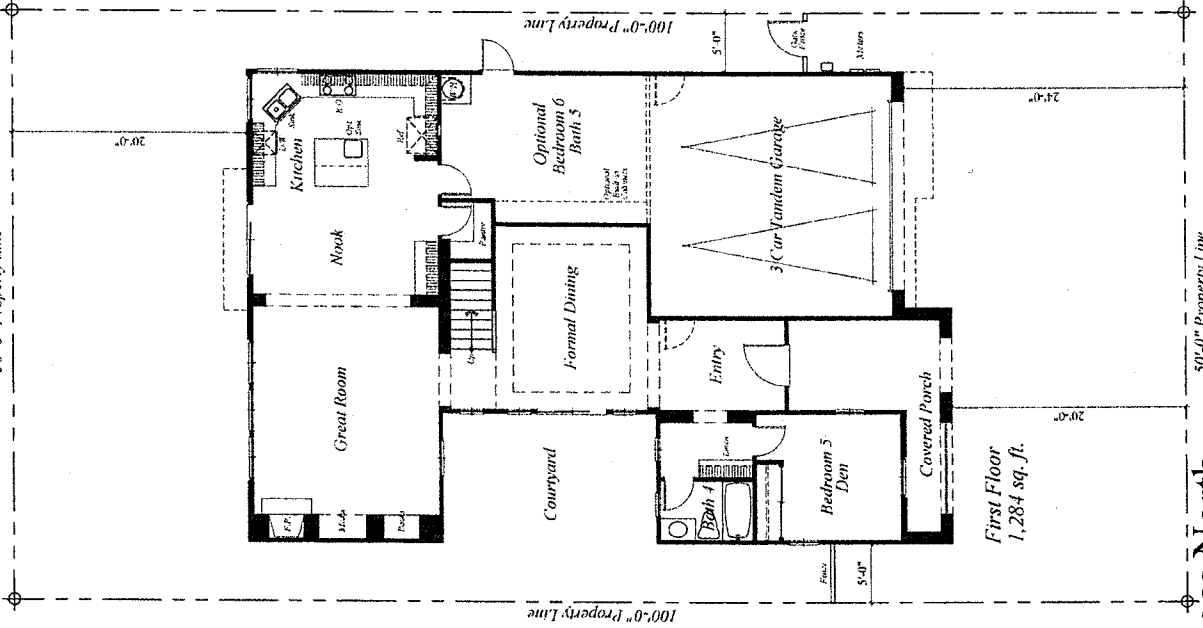


PEKAREK-CRANDELL, Inc.
architecture - planning
31411 Camino Capistrano, Suite 300 949/487-2300
San Juan Capistrano, CA 92675 fax: 949/487-2321
3-28-17 #1045

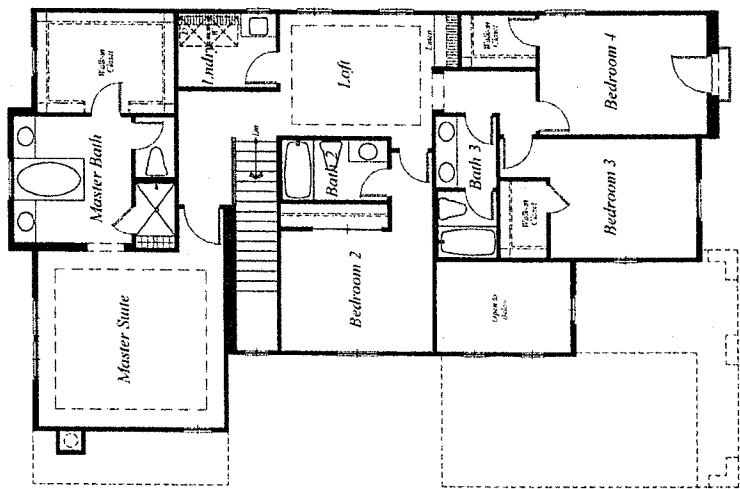
Villages North
Tract # 36504
Riverside County, CA

Lansing Stone Star, LLC

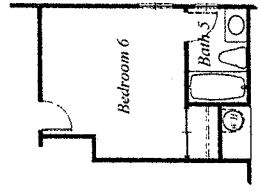
50'-0" Property Line



First Floor
1,284 sq. ft.



Second Floor
1,548 sq. ft.



Optional
Bedroom 6 Bath 5
~ 214 sq. ft.

Plan 1
2,832 Sq. Ft.
50' x 100' Lots

Scale: 1/4" = 1'-0"



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 architecture - planning
 31411 Camino Capistrano, Suite 300 San Juan Capistrano, CA 92675
 949/497-2920 fax 949/487-2921
 3-28-17 316-05

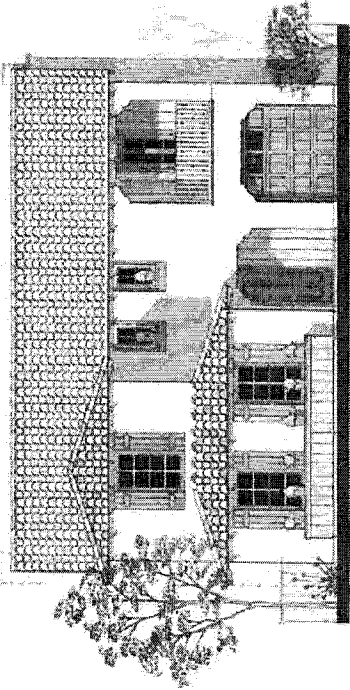
Villages North

Tract # 36504

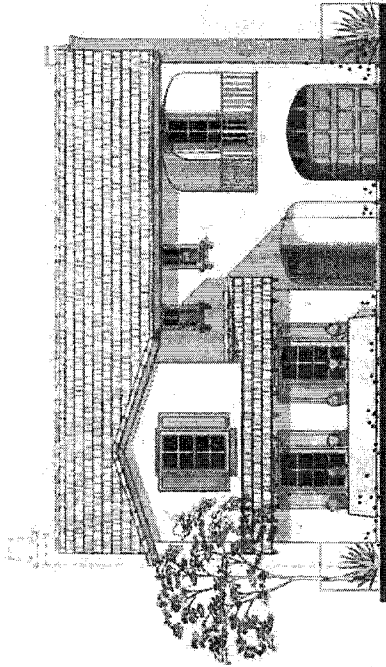
Riverside County, CA

Lansing Stone Star, LLC

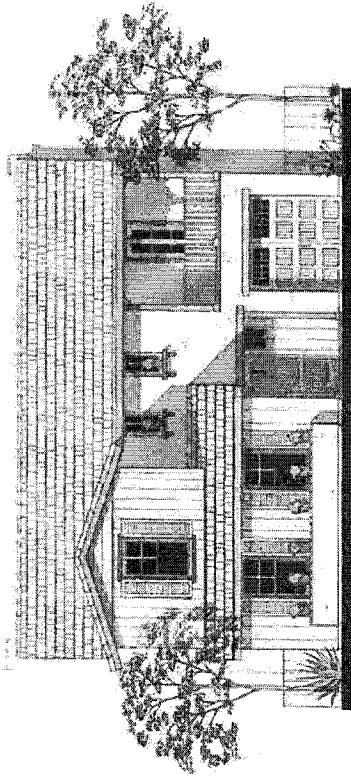
PLAN 2



California Ranch



Mediterranean



Monterey

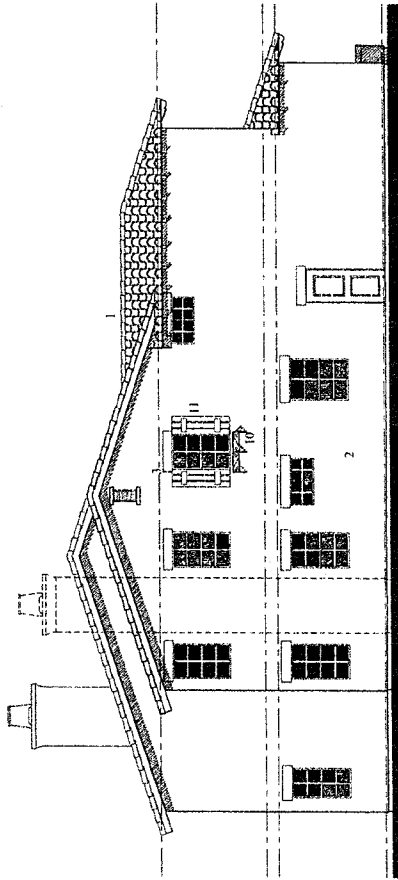
Plan 2
Front Elevations
50' x 100' Lots

Scale: 1/8" = 1'-0"

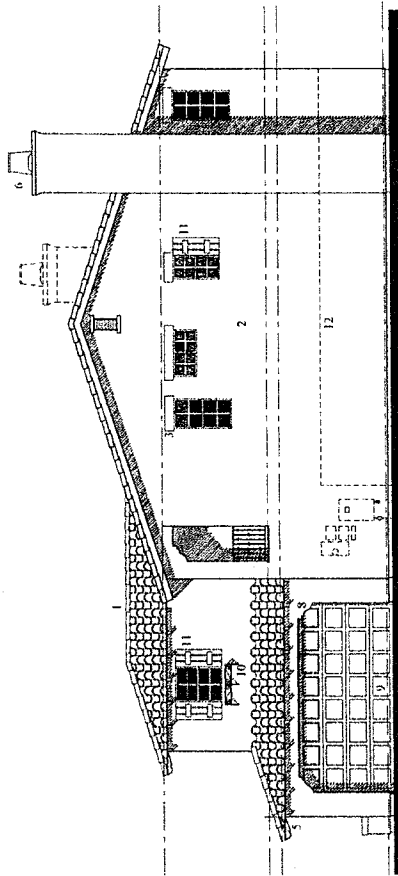
PEKAREK-CRANDELL, Inc.
 architecture - planning
 31411 Camino Capistrano, Suite 300
 San Juan Capistrano, CA 92675
 Tel: 949.467.2321
 Fax: 949.467.2321
 © 2004

Villages North
 Tract # 36504
 Riverside County, CA

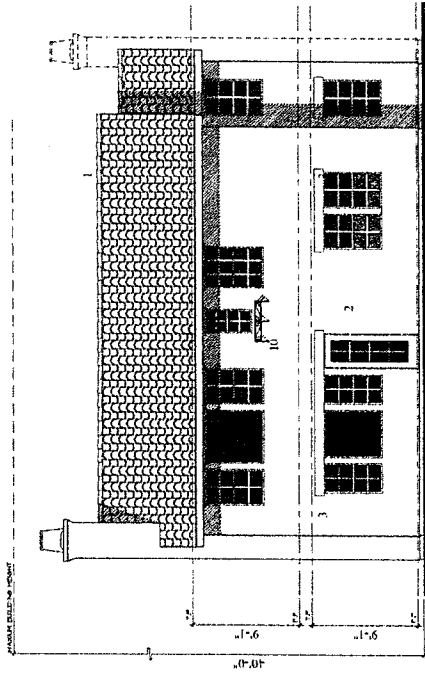
Lansing Stone Star, LLC



Left Elevation



Right Elevation



Rear Elevation

Exterior Materials-Calif. Ranch

- 1. Concrete S-Roof Tile
- 2. Stucco
- 3. Stucco over Foam Trim
- 4. Recessed Window and Slipping Sill
- 5. Expanded Metal Siding Panels
- 6. Metal Chimney, Stained
- 7. Entry Door Per Builder
- 8. Stucco over Foam Corbel
- 9. Metal Roll-up Garage Door
- 10. Decorative Metal Posts
- 11. Line of Fence
- 12. Line of Fence

Plan 2
Elevations
California Ranch
50' x 100' Lots

Scale: 1/4" = 1'-0"



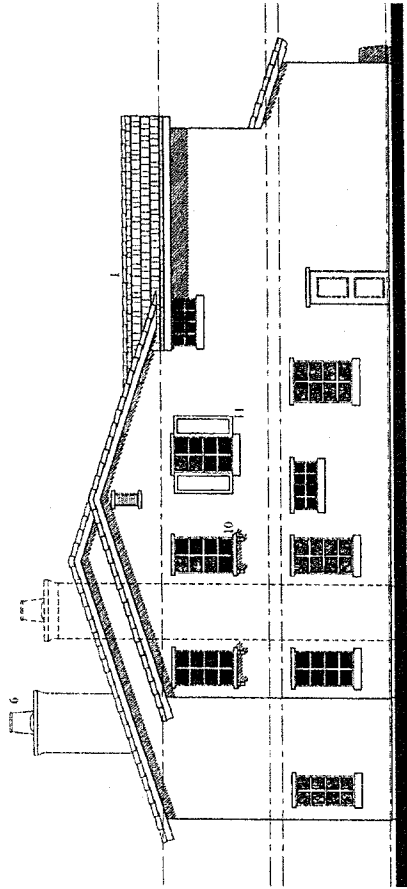
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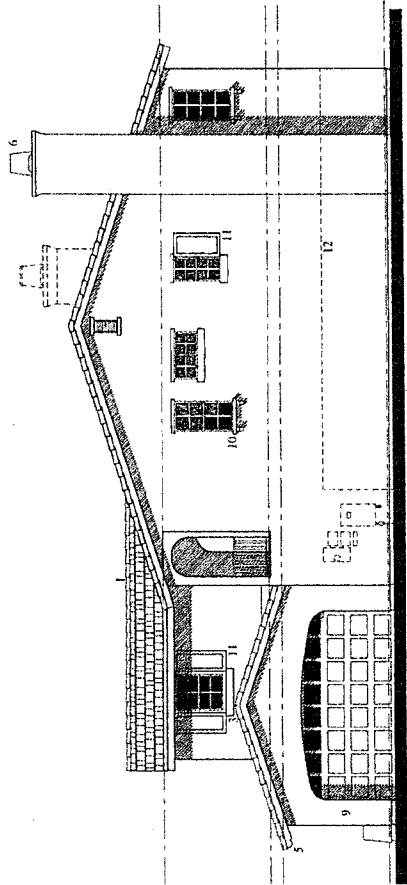
31411 Camino Capistrano, Suite 300
San Juan Capistrano, CA 92675
Tel: 949/487-2323
Fax: 949/487-2321
#16405

Villages North
Tract # 36504
Riverside County, CA

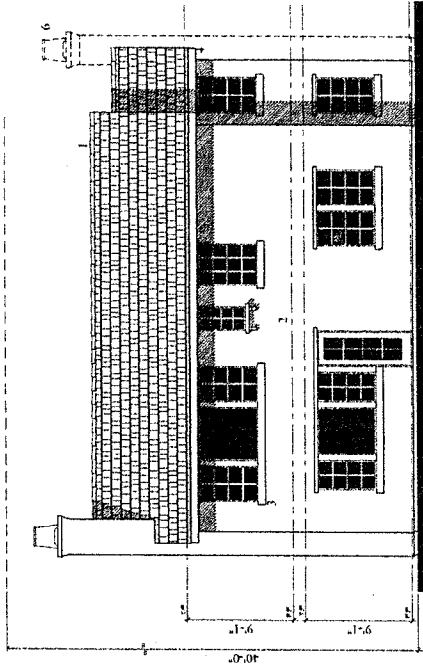
Lansing Stone Star, LLC



Left Elevation



Right Elevation



Rear Elevation

- Exterior Materials-Mediterranean
- 1. Concrete Flat Roof/Tile
 - 2. Stucco
 - 3. Stucco over Foam Trim
 - 4. Wood Facets/Single
 - 5. Stucco over Tiles
 - 6. Metal Chimney Stand
 - 7. Entry Door Per Builder
 - 8. Stucco over Foam Corbel
 - 9. Metal Roll-up Garage Door
 - 10. Wood Post/Field
 - 11. Stone Post/Field
 - 12. Line of Fence

Plan 2 Elevations Mediterranean 50' x 100' Lots

Scale: 1/4" = 1'-0"



PEKAREK-CRANDELL, Inc.

architecture - planning

31411 Camino Capistrano, Suite 300

San Juan Capistrano, CA 92675

949 487-2929

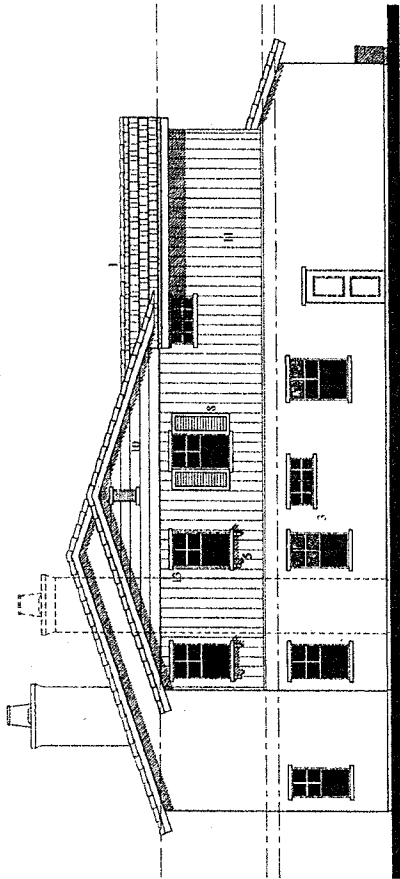
fax 949 487-2331

3-28-17

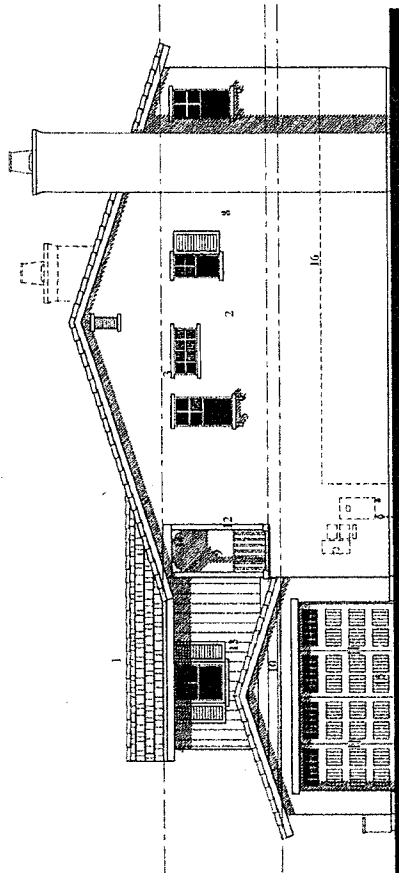
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Villages North
Tract # 36504
Riverside County, CA

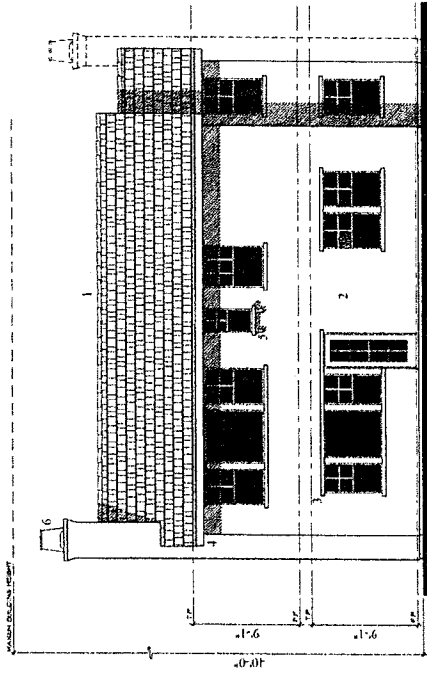
Lansing Stone Star, LLC



Left Elevation



Right Elevation



Rear Elevation

Exterior Materials-Monterey

- 1. Concrete Flat Roof Tile
- 2. Stucco
- 3. Stucco over Foam Trim
- 4. Wood Fascia/Barge
- 5. Wood Siding
- 6. Vertical Siding
- 7. Wood Post
- 8. Shutter
- 9. Wood Post
- 10. Accent Horizontal Siding
- 11. Vertical Siding
- 12. Wood Railing
- 13. Wood Trim
- 14. Metal Roll-up Garage Door
- 15. Metal Roll-up Garage Door
- 16. Line of Face

Plan 2
Elevations
Monterey
50' x 100' Lots

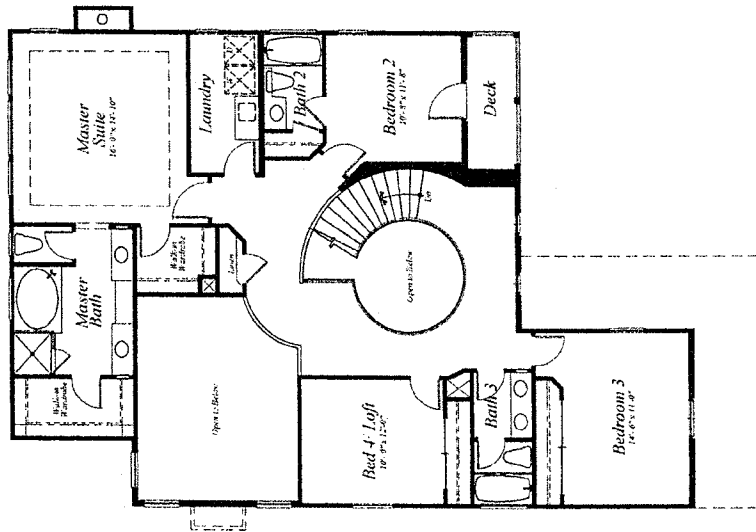
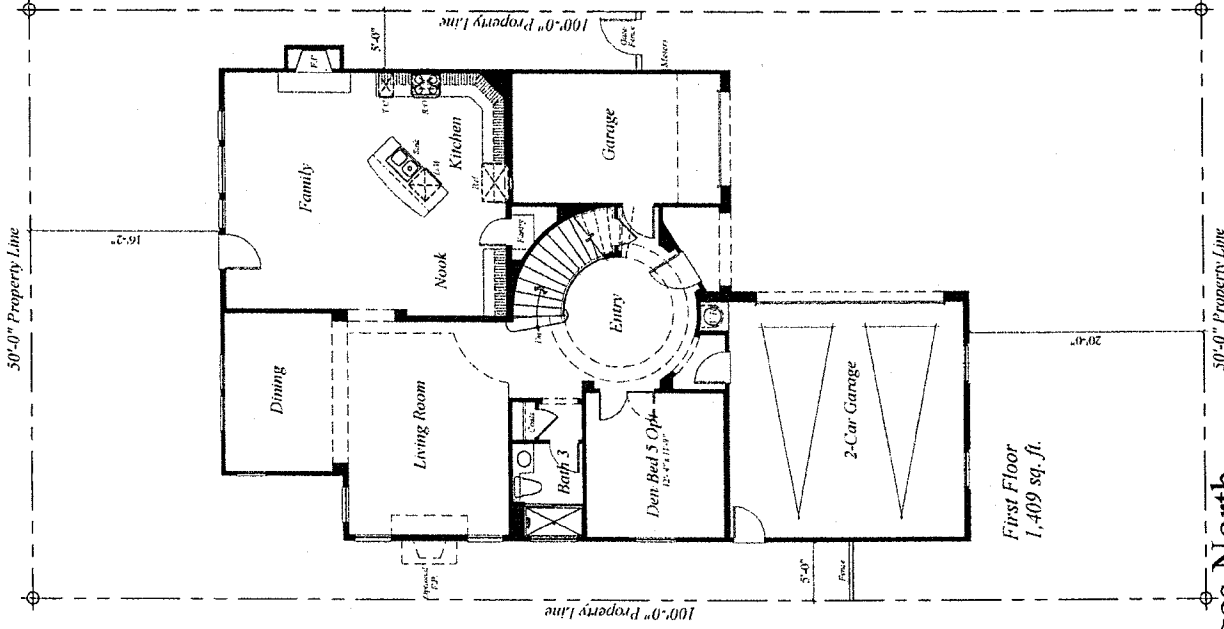
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PEKAREK-CRANDELL, Inc.
architecture - planning
31411 Camino Capistrano, Suite 300
San Juan Capistrano, CA 92675
949 487-2300
949 487-2021
1-28-17 #16-05

Villages North
Tract # 36504
Riverside County, CA

Lansing Stone Star, LLC



Plan 2
2,900 Sq. Ft.
50' x 100' Lots

Scale: 1/4" = 1'-0"



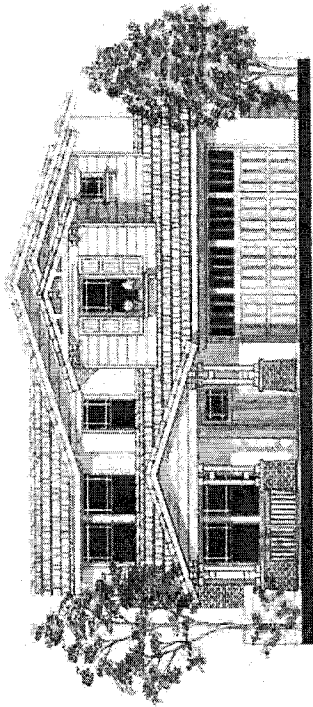
PEKAREK-CRANDELL, Inc.

architecture - planning
 31411 Camino Capistrano, Suite 300
 San Juan Capistrano, CA 92675
 949.487.9329
 fax 949.487.2321
 #1605

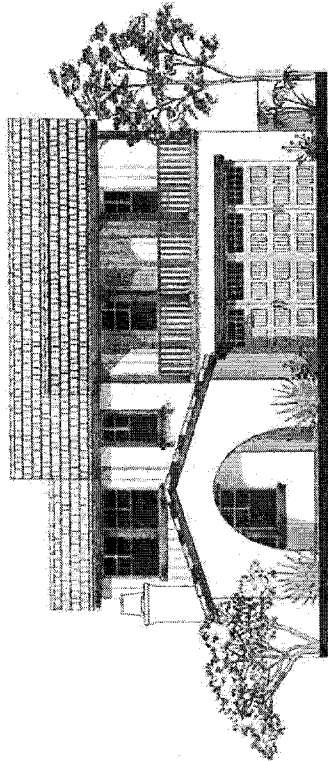
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 Tract # 36504
 Riverside County, CA

Lansing Stone Star, LLC

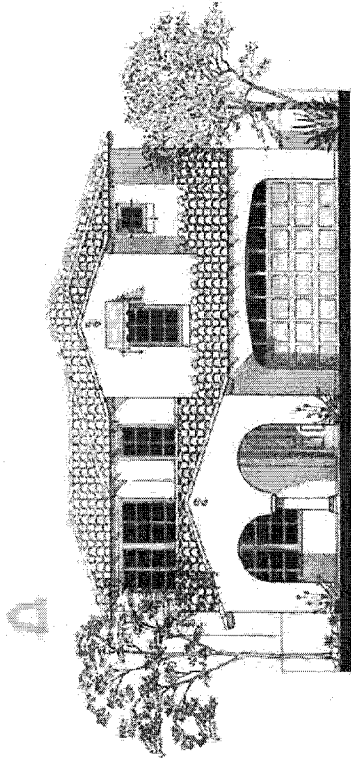
PLAN 3



Craftsman



Monterey



California Ranch

Plan 3
Front Elevations
50' x 100' Lots

Scale: 1/8"=1'-0"

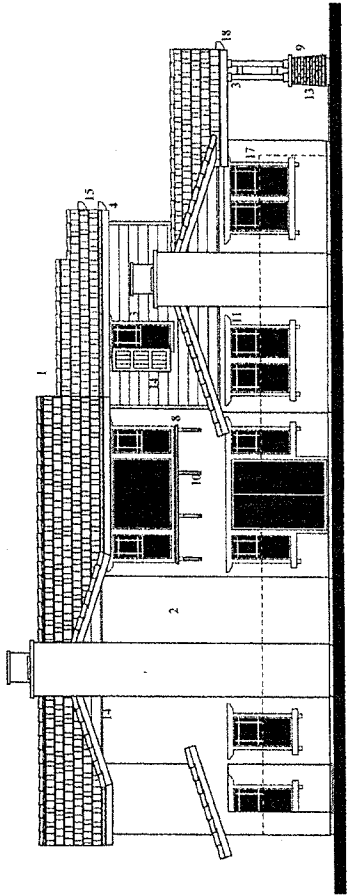
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 Tract # 36504
 Riverside County, CA

Lansing Stone Star, LLC

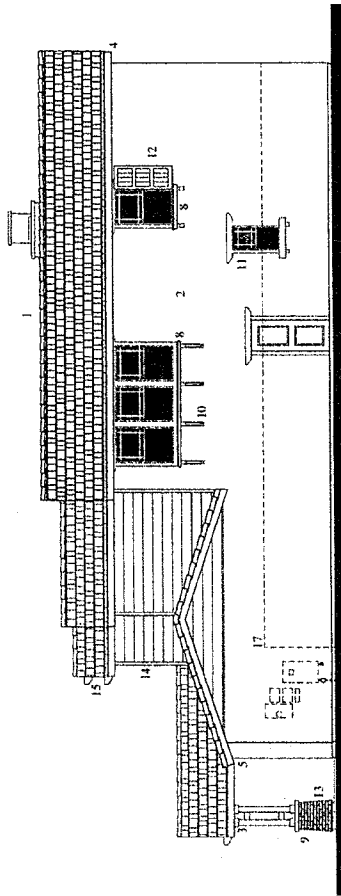
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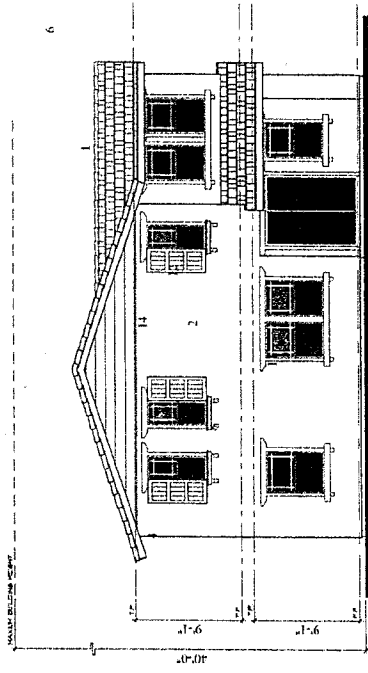
21411 Camino Capistrano, Suite 300 951 487-2323
 San Jose, California 95131 fax 951 487-2321
 © 2017



Left Side



Right Side



Rear

Exterior Materials-Craftsman

- 1. Concrete Flat Roof Tile
- 2. Stucco
- 3. Wood Tinn
- 4. Wood Fascia/Barge
- 5. Exposed Wood Rafter Tails with Joist Ends
- 6. Engineered Ply. Siding
- 7. Engineered Ply. Siding
- 8. Wood Post/raff with Wood Braces
- 9. Tapered Column
- 10. Wood Kicker
- 11. Stucco over Foam Inn
- 12. Shaker
- 13. Synthetic Stone Veneer
- 14. Horizontal Siding
- 15. Engineered Ply. Siding
- 16. Metal Roll-up Garage Door
- 17. Line of Fence
- 18. Tapered Column

Plan 3
Elevations
Craftsman
50' x 100' Lots

Scale: 1/4" = 1'-0"

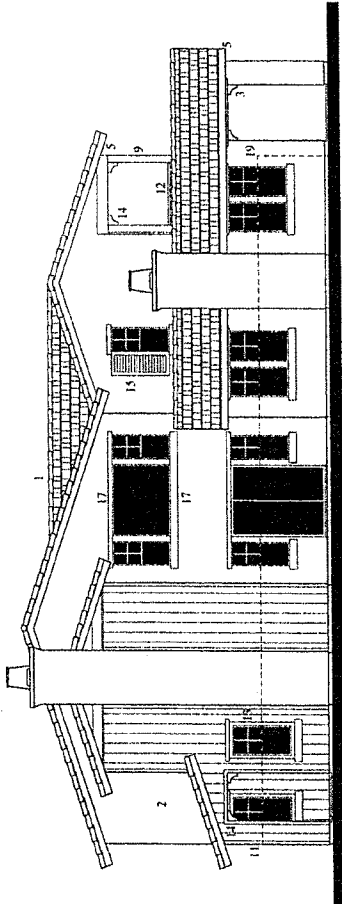


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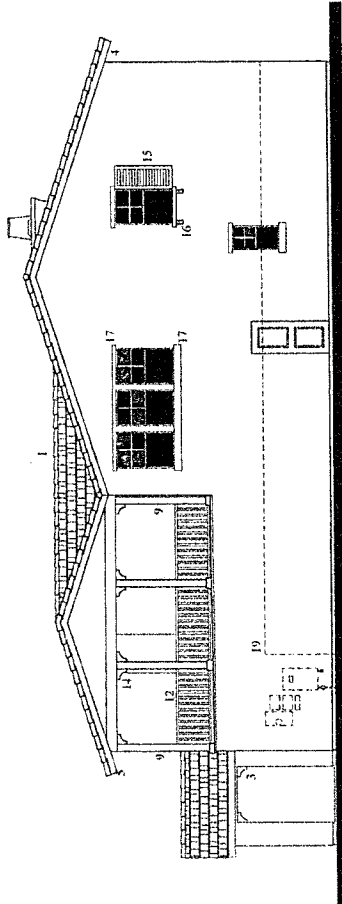
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949-487-2320
949-487-2321
3-28-17 #16-05

Villages North
Tract # 36504
Riverside County, CA

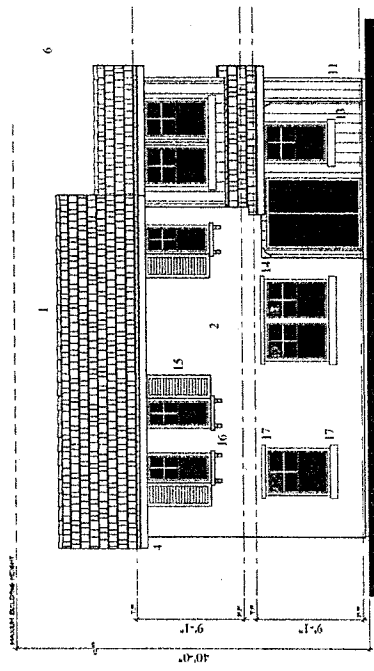
Lansing Stone Star, LLC



Left Side



Right Side



Rear

Exterior Materials--Monterey

- 1. Concrete Flat Roof Tile
- 2. Stucco
- 3. Stucco over Foam Corbel
- 4. Wood Fascia/Barge
- 5. Wood Siding
- 6. Wood Shingles/Tails
- 7. Metal Chimney/Stone
- 8. Entry Door Per Builder
- 9. Recessed Window
- 10. Wood Post
- 11. Accent Horizontal Siding
- 12. Vertical Siding
- 13. Wood Railing
- 14. Wood Trim
- 15. Wood Siding
- 16. Wood Paneling
- 17. Stucco over Foam Trim
- 18. Metal Roll-up Garage Door
- 19. Line of Fence

Plan 3
Elevations
Monterey
50' x 100' Lots

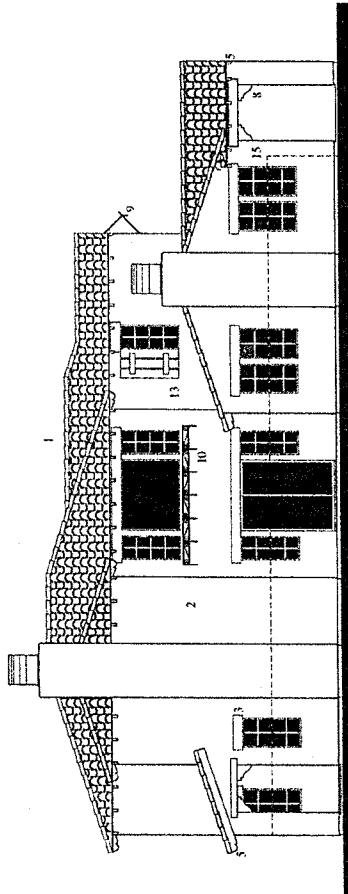
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PEKAREK-CRANDELL, Inc.
architecture - planning

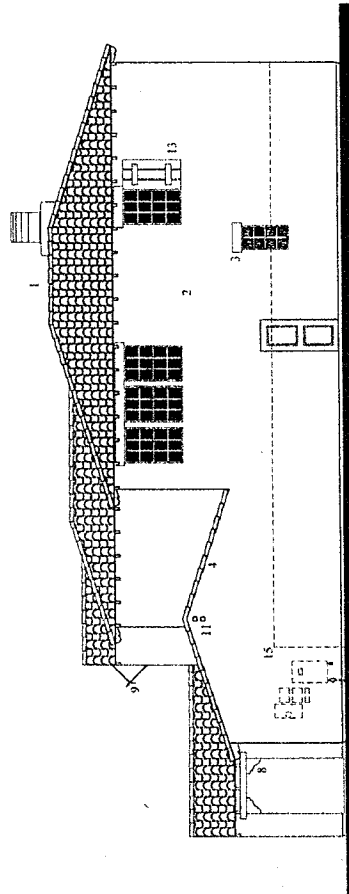
31411 Camino Capistrano, Suite 300 949 487-2323
San Juan Capistrano, CA 92675 fax 949 487-2321
3-28-17 #16-05

Villages North
Tract # 36504
Riverside County, CA

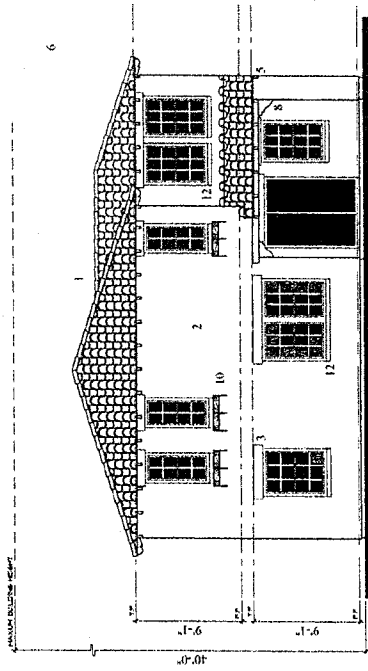
Lansing Stone Star, LLC



Left Side



Right Side



Rear

Exterior Materials-California Ranch

- 1. Concrete S-Roof Tile
- 2. Stucco
- 3. Stucco over Foam Trim
- 4. Tight Rake
- 5. Exposed Wood Rafter Tails
- 6. Metal Chimney Surround
- 7. Metal Chimney
- 8. Stucco over Foam Cordel
- 9. Fabric Awning w/Metal Holders
- 10. Decorative Metal Poshell
- 11. False Clay Tile Vents
- 12. Recessed Window with Sloping Sill
- 13. Shutter
- 14. Metal Roll-up Garage Door
- 15. Line of Fence

Plan 3
Elevations
California Ranch
50' x 100' Lots

Scale: 1/4" = 1'-0"

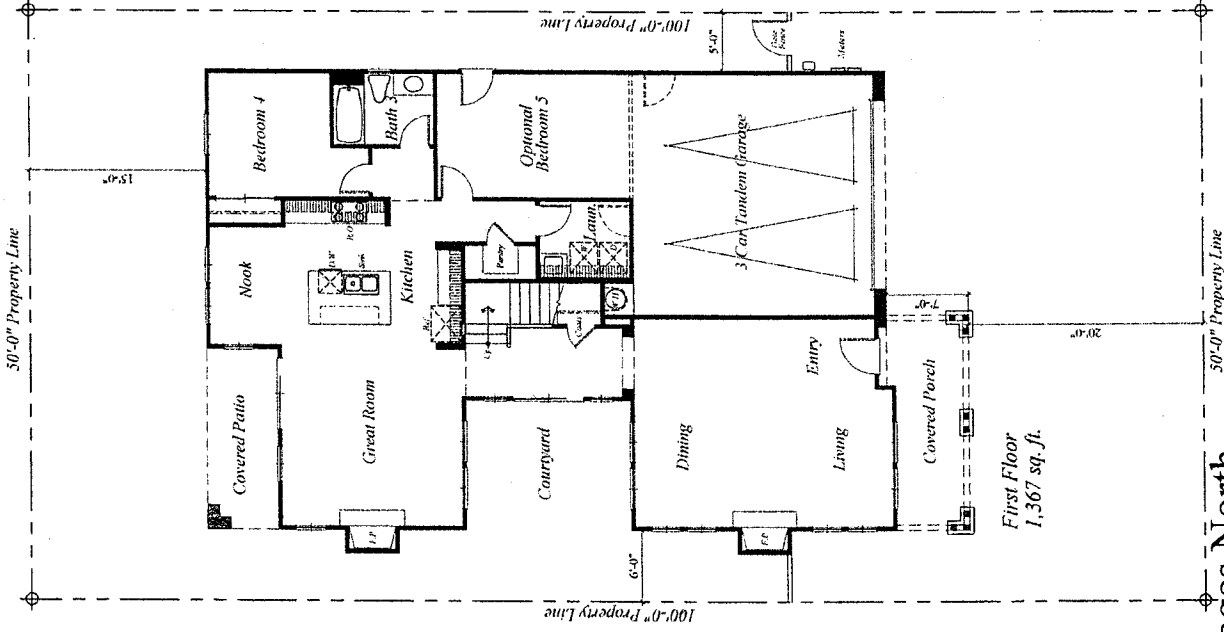


PEKAREK-CRANDELL, Inc.

architecture - planning
31411 Camino Capistrano, Suite 300
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949.487.2320
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#10-05
3-28-17

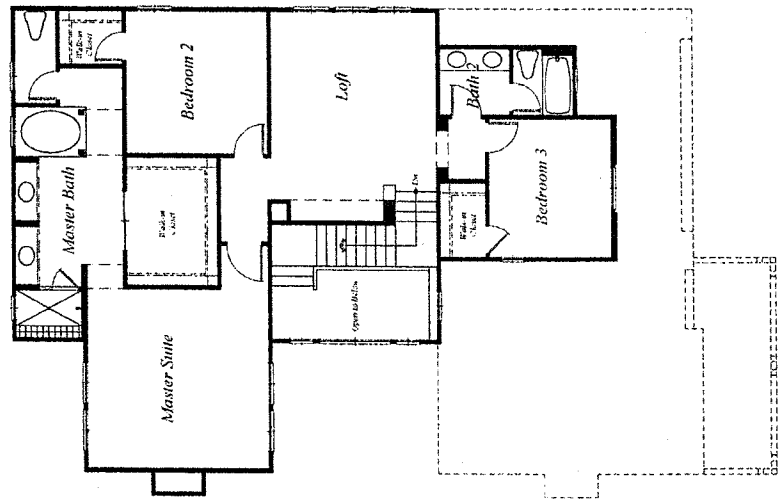
Villages North
Tract # 36504
Riverside County, CA

Lansing Stone Star, LLC



Plan 3
 2,670 Sq. Ft.
 50' x 100' Lots

Scale: 1/4" = 1'-0"



Villages North
 Tract # 36504
 Riverside County, CA

Lansing Stone Star, LLC

**EXTERIOR
COLOR SCHEMES**

Lansing Stone Star, LLC

Village North Riverside County

Exterior Color Schemes

Monterey

Scheme 1:

1. Rooftile: Eagle Roofing Products 50% 50% blend of #4678 & #4686N or MonierLifetile #ILSCS 1132R Slate Charcoal Brown Blend
2. Stucco: Merlex Stucco # P-879 Humbolt
3. Recessed Stucco Surrounds: Sherwin Williams Paint #SW 7036 Accessible Beige
4. Trim/Fascia/Wood Railing/Braces/Posts/ Potshelves: Sherwin Williams Paint # SW 7035 Aesthetic White
5. Garage Door/ Accent Horizontal Siding: Sherwin Williams Paint # SW 6150 Universal Khaki
6. Entry Door/Shutters/Metal Chimney Cap: Sherwin Williams Paint # SW 7033 Brainstorm Bronze

Scheme 2:

1. Rooftile: Eagle Roofing Products #4602 or MonierLifetile #ILSCS 4598R Slate Forest Green
2. Stucco/ Recessed Stucco Surrounds: Merlex Stucco #P-40 Alabaster
3. Trim/Fascia/Wood Railing/Braces/Posts/ Potshelves: Sherwin Williams Paint # SW 7045 Intellectual Gray
4. Garage Door: Sherwin Williams Paint #SW 7016 Mindful Gray
5. Entry Door/Accent Horizontal Siding/ Metal Chimney Cap: Sherwin Williams Paint # SW 7046 Anonymous
6. Shutters: Sherwin Williams Paint #SW 7048 Urbane Bronze
7. Stone Veneer: Elderado Stone "York Limestone"- raked gout, standard gray
8. Finial: Sherwin Williams Paint # SW 7044 Amazing Gray

Scheme 3:

1. Rooftile: Eagle Roofing Products #4687 or MonierLifetile #1LSCS 3233R Slate Brown Blend
2. Stucco/ Recessed Stucco Surrounds: Merlex Stucco #P-105 Oatmeal
3. Trim/Fascia/Wood Railing/Braces/Posts/Potshelves: Sherwin Williams Paint #SW 6151 Quiver Tan
4. Garage Doors/Entry Door: Sherwin Williams Paint #SW 6150 Universal Khaki
5. Accent Horizontal Siding/ Metal Chimney Cap: Sherwin Williams Paint #SW 6143 Basket Beige
6. Shutters: Sherwin Williams Paint #SW 7054 Suitable Brown

Craftsman

Scheme 4:

1. Rooftile: Eagle Roofing Products #5686N or MonierLifetile #1LSCS 1132R Charcoal Blend Brush
2. Stucco: Merlex Stucco #P-525 Navajo White
3. Trim/Fascia/Trellis/Beams/Tapered Columns/Potshelves/Outlookers/Railing: Sherwin Williams Paint #SW 7044 Amazing Gray
4. Garage Doors/Accent Shingle Siding: Sherwin Williams Paint #SW 2820 Downing Earth
5. Entry Door/Shutters/ Metal Chimney Cap: Sherwin Williams Paint #SW 7046 Anonymous
6. Stone Veneer: Eldorado Stone "Sierra Mountain Ledge" -drystack

Scheme 5:

1. Rooftile: Eagle Roofing Products #5501 or MonierLifetile #1LSCS 3233R Shake Brown Blend Brush
2. Stucco: Merlex Stucco #P-450 Café Mocha
3. Trim/Fascia/Trellis/Beams/Tapered Columns/Potshelves/Outlookers/Railing: Sherwin Williams Paint #SW 7011 Natural Choice

4. Garage Doors/Entry Door: Sherwin Williams Paint #SW 6144 Dapper Tan
5. Accent Shingle Siding/Shutters/ Metal Chimney Cap: Sherwin Williams Paint #SW 6158 Sawdust
6. Stone Veneer: Eldorado Stone "Yukon Mountain Ledge" –drystack

Scheme 6:

1. Rooftile: Eagle Roofing Products #5678 or MonierLifetile #1LSCS 3156 Shake Desert Breeze Brushed
2. Stucco: Merlex Stucco #P-107 Champagne
3. Trim/Fascia/Trellis/Beams/Tapered Columns/Potshelves/Outlookers/Railing: Sherwin Williams Paint #SW 7032 Warm Stone
4. Garage Doors: Sherwin Williams Paint #SW 6106 Latte
5. Entry Door/Shutters/ Metal Chimney Cap: Sherwin Williams Paint #SW 6061 Tanbark
6. Accent Shingle Siding: Sherwin Williams Paint #SW 7028 Incredible White
7. Stone Veneer: Eldorado Stone "Saratoga Rustic Ledge" –drystack

California Ranch

Scheme 7:

1. Rooftile: Eagle Roofing Products 50%/ 50% blend of #3615 & #3645 or MonierLifetile #1BCCS 6169 Barcelona Casa Grande Blend
2. Stucco: Merlex Stucco #P-100 Glacier White
3. Accent Stucco/Recessed Stucco Surrounds: Sherwin Williams Paint #SW 6106 Kilim Beige
4. Stucco Over Foam Lintels & Trim: Sherwin Williams Paint #SW 6103 Tea Chest
5. Fascia: Sherwin Williams Paint #SW 6104 Kaffee
6. Entry Door/Garage Door/Metal Chimney Cap: Sherwin Williams Paint #SW 6102 Portabello
7. Shutters: Sherwin Williams Paint #SW 2848 Roycroft Pewter

8. Decorative Metal/Metal Railing/Metal Potshelves: Sherwin Williams Paint #SW 6994 Greenblack
9. Finial: Sherwin Williams Paint #SW 6107 Nomadic Desert

Scheme 8:

1. Rooftile: Eagle Roofing Products #3604 or MonierLifetile #1BCCS 6160 Barcelona Autumn Blend
2. Stucco: Merlex Stucco #P-891 Wrightwood
3. Accent Stucco Base/Recessed Stucco Surrounds: Sherwin Williams Paint #SW 6143 Basket Bridge
4. Fascia/Stucco Over Foam Lintels & Trim: Sherwin Williams Paint #SW 6103 Tea Chest
5. Garage Door: Sherwin Williams Paint #SW 2827 Colonial Revival Stone
6. Entry Door/Shutters/Metal Chimney Cap: Sherwin Williams Paint #SW 6159 High Tea
7. Decorative Metal/Metal Railing/Metal Potshelves: Sherwin Williams Paint #SW 6160 Best Bronze
8. Finial: Sherwin Williams Paint #SW 6142 Macadamia

Scheme 9:

1. Rooftile: Eagle Roofing Products #3605 or MonierLifetile #1BCCS 6460 California Mission Blend
2. Stucco: Merlex Stucco #P-92 Praline
3. Accent Stucco Base/Recessed Stucco Surrounds: Sherwin Williams Paint #SW 6094 Sensational Sand
4. Fascia/Stucco Over Foam Lintels & Trim: Sherwin Williams Paint #SW 6097 Sturdy Brown
5. Garage Door/Entry Door: Sherwin Williams Paint #SW 6096 Jute Brown
6. Shutters/Metal Chimney Cap: Sherwin Williams Paint #SW 6062 Rugged Brown

7. Decorative Metal/Metal Railing/Metal Potshelves: Sherwin Williams Paint #SW 7041 van Dyke Brown
8. Finial: Sherwin Williams Paint #SW 6101 Sands of Time

Mediterranean

Scheme 10:

1. Rooftile: Eagle Roofing Products #3578 or MonierLifetile #1BCCS 7954 Barcelona Camelot
2. Stucco: Merlex Stucco #P-171 Flintridge
3. Accent Stucco/Stucco Eave Detail: Sherwin Williams Paint #SW 6145 Thatch Brown
4. Stucco Over Foam Trim/Garage Door/Entry Door/Metal Chimney Cap: Sherwin Williams Paint #SW 7039 Virtual Taupe
5. Fascia/ Stucco Over Foam Lintels: Sherwin Williams Paint #SW 7040 Smokehouse
6. Shutters: Sherwin Williams Paint #SW 2837 Aurora Brown

Scheme 11:

1. Rooftile: Eagle Roofing Products #3646 or MonierLifetile #1BCCS 6160 Barcelona Autumn Blend
2. Stucco: Merlex Stucco #P-192 Carmelo
3. Accent Stucco Base/Stucco Eave Detail: Sherwin Williams Paint #SW 6106 Kilim Beige
4. Stucco Over Foam Trim/Garage Door/Entry Door: Sherwin Williams Paint #SW 6109 Hopsack
5. Fascia/ Stucco Over Foam Lintels: Sherwin Williams Paint #SW 6111 Coconut Husk
6. Shutters/Metal Chimney Cap: Sherwin Williams Paint #SW 2846 Roycroft Bronze Green

Scheme 12:

1. Rooftile: Eagle Roofing Products #3680 or MonierLifetile #1BCCS 3940
Barcelona Cliffside
2. Stucco: Merlex Stucco #P-174 Desert Beige
3. Accent Stucco Base/Stucco Eave Detail: Sherwin Williams Paint #SW 6101
Sands of Time
4. Stucco Over Foam Trim/Garage Door/Entry Door: Sherwin Williams Paint #SW
6125 Craft Paper
5. Fascia/ Stucco Over Foam Lintels: Sherwin Williams Paint #SW 6146 Umber
6. Shutters/Metal Chimney Cap: Sherwin Williams Paint #SW 6152 Superior
Bronze

INDEMNIFICATION AGREEMENT

This INDEMNIFICATION AGREEMENT ("Agreement"), made by and between the COUNTY OF RIVERSIDE, a political subdivision of the State of California ("COUNTY"), and Lansing Stone Star, LLC, a Delaware Limited Liability Company authorized to transact business in California ("PROPERTY OWNER"), relating to the PROPERTY OWNER'S indemnification of the COUNTY under the terms set forth herein:

WITNESSETH:

WHEREAS, the PROPERTY OWNER has a legal interest in the certain real property described as APNs 458-250-012 and 458-250-013 ("PROPERTY"); and,

WHEREAS, on February 19, 2013 PROPERTY OWNER filed an application for Tract No. 36504 ("PROJECT"); and,

WHEREAS, PROPERTY OWNER is a Delaware Limited Liability Company that is managed by LC Partners Stone Star, LLC, a California Limited Liability Company ("LC"). Pursuant to LC's operating agreement, Gregory P. Lansing, trustee of the Gregory P. Lansing Separate Property Trust dated 1/30/15, is the manager of LC. The Certification of Trust indicates the true name of the manager as Gregory Peter Lansing, trustee of the Gregory Lansing Separate Property Trust dated 1/30/15. Confirmation has been provided indicating that the Certification of Trust is correct and consistent with the intent of the operating agreement; and

WHEREAS, judicial challenges of projects requiring discretionary approvals, including, but not limited to, California Environmental Quality Act determinations, are costly and time consuming. Additionally, project opponents often seek an award of attorneys' fees in such challenges; and,

WHEREAS, since property owners are the primary beneficiaries of such approvals, it is appropriate that such owners bear the expense of defending against any such judicial challenge, and bear the responsibility of any costs, attorneys' fees and damages which may be awarded to a successful challenger; and,

WHEREAS, in the event a judicial challenge is commenced against the PROJECT, the COUNTY has requested and the PROPERTY OWNER has agreed to defend, indemnify and hold harmless the COUNTY, its agents, officers, or employees from any claim, action or proceeding against the COUNTY, its agents, officers, or employees to attack, set aside, void or annul any approval of the COUNTY, its advisory agencies, appeal boards, or legislative body concerning the PROJECT or its associated environmental documentation ("LITIGATION"); and,

WHEREAS, this Agreement is entered into by the COUNTY and PROPERTY OWNER to establish specific terms concerning PROPERTY OWNER'S indemnification obligation for the PROJECT.

NOW, THEREFORE, it is mutually agreed between COUNTY and PROPERTY OWNER as follows:

1. **Indemnification.** PROPERTY OWNER, at its own expense, shall defend, indemnify and hold harmless the COUNTY, its agents, officers, and employees from and against any claim, action or proceeding brought against the COUNTY, its agents, officers, and employees to attack, set aside, void or annul any approval of the PROJECT including any associated costs, damages, and expenses including, but not limited to, costs associated with Public Records Act requests submitted to the COUNTY related to the PROJECT and an award of attorneys' fees and costs incurred or arising out of the above-referenced claim, action or proceeding brought against the COUNTY ("Indemnification Obligation.")
2. **Defense Cooperation.** PROPERTY OWNER and the COUNTY shall reasonably cooperate in all aspects of the LITIGATION. Nothing contained in this Agreement, however, shall be construed to limit the discretion of COUNTY, in the interest of the public welfare, to settle, defend, appeal or to decline to settle or to terminate or forego defense or appeal of the LITIGATION. It is also understood and agreed that all litigation pleadings are subject to review, revision and approval by COUNTY's Office of County Counsel.
3. **Representation and Payment for Legal Services Rendered.** COUNTY shall have the absolute right to approve any and all counsel retained to defend COUNTY in the LITIGATION. PROPERTY OWNER shall pay the attorneys' fees and costs of the legal firm retained by PROPERTY OWNER to represent the COUNTY in the LITIGATION. Failure by PROPERTY OWNER to pay such attorneys' fees and costs may be treated as an abandonment of the PROJECT and as a default of PROPERTY OWNER's obligations under this Agreement.
4. **Payment for COUNTY's LITIGATION Costs.** Payment for COUNTY's costs related to the LITIGATION shall be made on a deposit basis. LITIGATION costs include any associated costs, fees, damages, and expenses as further described in Section 1. herein as Indemnification Obligation. Within thirty (30) days of receipt of notice from COUNTY that LITIGATION has been initiated against the PROJECT, PROPERTY OWNER shall initially deposit with the COUNTY's Planning Department the total amount of Twenty Thousand Dollars (\$20,000). PROPERTY OWNER shall deposit with COUNTY such additional amounts as COUNTY reasonably and in good faith determines, from time to time, are necessary to cover costs and expenses incurred by the COUNTY, including but not limited to, the Office of County Counsel, Riverside County Planning Department and the Riverside County Clerk of the Board associated with the LITIGATION. Within

ten (10) days of written notice from COUNTY, PROPERTY OWNER shall make such additional deposits. Collectively, the initial deposit and additional deposits shall be referred to herein as the "Deposit."

5. **Return of Deposit.** COUNTY shall return to PROPERTY OWNER any funds remaining on deposit after ninety (90) days have passed since final adjudication of the LITIGATION.

6. **Notices.** For all purposes herein, notices shall be effective when personally delivered, delivered by commercial overnight delivery service, or sent by certified or registered mail, return receipt requested, to the appropriate address set forth below:

COUNTY:
Office of County Counsel
Attn: Melissa Cushman
3960 Orange Street, Suite 500
Riverside, CA 92501

PROPERTY OWNER:
Lansing Stone Star, LLC
Attn: Gregory P. Lansing
12671 High Bluff Drive, Suite 150
San Diego, CA 92130

7. **Default and Termination.** This Agreement is not subject to termination, except by mutual agreement or as otherwise provided herein. In the event of a default of PROPERTY OWNER's obligations under this Agreement, COUNTY shall provide written notification to PROPERTY OWNER of such alleged default and PROPERTY OWNER shall have ten (10) days after receipt of written notification to cure any such alleged default. If PROPERTY OWNER fails to cure such alleged default within the specified time period or otherwise reach agreement with the COUNTY on a resolution of the alleged default, COUNTY may, in its sole discretion, do any of the following or combination thereof:

- a. Deem PROPERTY OWNER's default of PROPERTY OWNER's obligations as abandonment of the PROJECT and as a breach of this Agreement;
- b. Rescind any PROJECT approvals previously granted;
- c. Settle the LITIGATION.

In the event of a default, PROPERTY OWNER shall remain responsible for any costs and attorney's fees awarded by the Court or as a result of settlement and other expenses incurred by the COUNTY related to the LITIGATION or settlement.

8. **COUNTY Review of the PROJECT.** Nothing in this Agreement shall be construed to limit, direct, impede or influence the COUNTY's review and consideration of the PROJECT.

9. **Complete Agreement/Governing Law.** This Agreement represents the complete understanding between the parties with respect to matters set forth herein. This Agreement shall be construed in accordance with the laws of the State of California.

10. **Successors and Assigns.** The obligations specific herein shall be made, and are binding on the successors in interest of the PROPERTY OWNER, whether the succession is by agreement, by operation of law or by any other means.

11. **Amendment and Waiver.** No modification, waiver, amendment or discharge of this Agreement shall be valid unless the same is in writing and signed by all parties.

12. **Severability.** If any term, provision, covenant or condition of this Agreement is held to be invalid, void or otherwise unenforceable, to any extent, by any court of competent jurisdiction, the remainder of this Agreement shall not be affected thereby, and each term, provision, covenant or condition of this Agreement shall be valid and enforceable to the fullest extent permitted by law.

13. **Survival of Indemnification.** The parties agree that this Agreement shall constitute a separate agreement from any PROJECT approval, and if the PROJECT, in part or in whole, is invalidated, rendered null or set aside by a court of competent jurisdiction, the parties agree to be bound by the terms of this Agreement, which shall survive such invalidation, nullification or setting aside.

14. **Interpretation.** The parties have been advised by their respective attorneys, or if not represented by an attorney, represent that they had an opportunity to be so represented in the review of this Agreement. Any rule of construction to the effect that ambiguities are to be resolved against the drafting party shall not be applied in interpreting this Agreement.

15. **Captions and Headings.** The captions and section headings used in this Agreement are inserted for convenience of reference only and are not intended to define, limit or affect the construction or interpretation of any term or provision hereof.

16. **Jurisdiction and Venue.** Any action at law or in equity arising under this Agreement or brought by a party hereto for the purpose of enforcing, construing or determining the validity of any provision of this Agreement shall be filed in the Courts of Riverside County, State of California, and the parties hereto waive all provisions of law providing for the filing, removal or change of venue to any other court or jurisdiction.

17. **Counterparts; Facsimile & Electronic Execution.** This Agreement may be executed in one or more counterparts, each of which shall be deemed an

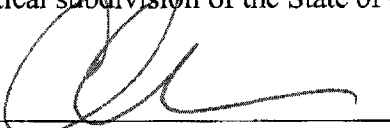
original, but all of which together shall constitute one and the same document. To facilitate execution of this Agreement, the parties may execute and exchange facsimile or electronic counterparts, and facsimile or electronic counterparts shall serve as originals.

18. **Joint and Several Liability.** In the event there is more than one PROPERTY OWNER, the liability of PROPERTY OWNER shall be joint and several, and PROPERTY OWNER each of them shall be jointly and severally liable for performance of all of the obligations of PROPERTY OWNER under this Agreement.

19. **Effective Date.** The effective date of this Agreement is the date the parties sign the Agreement. If the parties sign the Agreement on more than one date, then the last date the Agreement is signed by a party shall be the effective date.

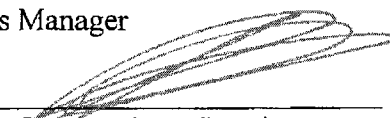
IN WITNESS WHEREOF, the parties hereto have duly caused this Agreement to be executed by their authorized representatives as of the date written.

COUNTY:
COUNTY OF RIVERSIDE,
a political subdivision of the State of California

By: 
Charissa Leach
Assistant TLMA Director – Community Development

Dated: 11/2/17

PROPERTY OWNER:
Lansing Stone Star, LLC, a Delaware Limited Liability Company
By: LC Partners Stone Star, LLC, a California Limited Liability Company
Its Managing Member
By: Gregory Peter Lansing, trustee of the Gregory Lansing Separate Property Trust
dated 1/30/15
Its Manager

By: 
Name: Gregory Peter Lansing
Title: Trustee

Dated: 10/6/17

FORM APPROVED COUNTY COUNSEL
BY: 
MICHELLE CLACK
DATE: 10/2/17



OFFICE OF THE
CLERK OF THE BOARD OF SUPERVISORS
1st FLOOR, COUNTY ADMINISTRATIVE CENTER
P.O. BOX 1147, 4080 LEMON STREET
RIVERSIDE, CA 92502-1147
PHONE: (951) 955-1060 FAX: (951) 955-1071

KECIA HARPER-IHEM
Clerk of the Board of Supervisors

KIMBERLY A. RECTOR
Assistant Clerk of the Board

May 8, 2018

THE PRESS ENTERPRISE
ATTN: LEGALS
P.O. BOX 792
RIVERSIDE, CA 92501

PH : (951) 368-9229
E-MAIL: legals@pe.com

RE: NOTICE OF PUBLIC HEARING: CZ 7947, ORD. NO. 348.4883, and TTM 36504

To Whom It May Concern:

Attached is a copy for publication in your newspaper for **One (1) time on Friday, May 11, 2018.**

We require your affidavit of publication immediately upon completion of the last publication.

Your invoice must be submitted to this office, **WITH TWO CLIPPINGS OF THE PUBLICATION.**

NOTE: PLEASE COMPOSE THIS PUBLICATION INTO A SINGLE COLUMN FORMAT.

Thank you in advance for your assistance and expertise.

Sincerely,

Cecilia Gil

Board Assistant to:
KECIA HARPER-IHEM, CLERK OF THE BOARD

Gil, Cecilia

From: Legals <legals@pe.com>
Sent: Tuesday, May 8, 2018 8:59 AM
To: Gil, Cecilia
Subject: Re: FOR PUBLICATION: CZ 7947 ORD. NO. 348.4883 TTM 36504

Received for publication on 5/11. Proof with cost to follow.

Nick Eller

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On Tue, May 8, 2018 at 8:57 AM, Gil, Cecilia <CCGIL@rivco.org> wrote:

Good morning,

Notice of public hearing for publication on Friday, May 11, 2018. Please confirm. THANK YOU!

Cecilia Gil

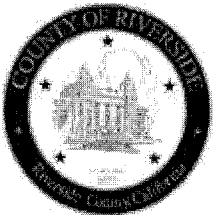
Board Assistant

Clerk of the Board of Supervisors

4080 Lemon St., 1st Floor, Room 127

Riverside, CA 92501

(951) 955-8464 Mail Stop# 1010



CERTIFICATE OF POSTING

(Original copy, duly executed, must be attached to
the original document at the time of filing)

I, Cecilia Gil, Board Assistant to Kecia Harper-Ihem, Clerk of the Board of Supervisors, for the County of Riverside, do hereby certify that I am not a party to the within action or proceeding; that on May 8, 2018, I forwarded to Riverside County Clerk & Recorder's Office a copy of the following document:

NOTICE OF PUBLIC HEARING

CZ 7947 TTM 36504 ORD. 348.4883 EA 42549

to be posted in the office of the County Clerk at 2724 Gateway Drive, Riverside, California 92507. Upon completion of posting, the County Clerk will provide the required certification of posting.

Board Agenda Date: May 22, 2018 @ 10:30 a.m.

SIGNATURE: Cecilia Gil DATE: May 8, 2018
Cecilia Gil

Gil, Cecilia

From: Kennemer, Bonnie <bkeneme@srclkrec.com>
Sent: Tuesday, May 8, 2018 9:21 AM
To: Gil, Cecilia; Buie, Tammie; Meyer, Mary Ann
Subject: RE: FOR POSTING: CZ 7947 ORD. 348.4883 TTM 36504

Good morning,

The notice was received and will be posted today.

Thank you,
Bonnie

From: Gil, Cecilia <CCGIL@RIVCO.ORG>
Sent: Tuesday, May 08, 2018 8:58 AM
To: Buie, Tammie <tbuie@srclkrec.com>; Kennemer, Bonnie <bkeneme@srclkrec.com>; Meyer, Mary Ann <MaMeyer@srclkrec.com>
Subject: FOR POSTING: CZ 7947 ORD. 348.4883 TTM 36504

Good morning! Notice of Public Hearing for POSTING. Please confirm. THANK YOU!

Cecilia Gil

Board Assistant
Clerk of the Board of Supervisors
4080 Lemon St., 1st Floor, Room 127
Riverside, CA 92501
(951) 955-8464 Mail Stop# 1010



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County of Riverside California

NOTICE OF PUBLIC HEARING BEFORE THE BOARD OF SUPERVISORS OF RIVERSIDE COUNTY ON A CHANGE OF ZONE, ADOPTION OF AN ORDINANCE AND A TENTATIVE TRACT MAP IN THE WINCHESTER – HARVEST VALLEY, THIRD SUPERVISORIAL DISTRICT AND NOTICE OF INTENT TO ADOPT A MITIGATED NEGATIVE DECLARATION

NOTICE IS HEREBY GIVEN that a public hearing at which all interested persons will be heard, will be held before the Board of Supervisors of Riverside County, California, on the 1st Floor Board Chambers, County Administrative Center, 4080 Lemon Street, Riverside, on **Tuesday, May 22, 2018 at 10:30 A.M.** or as soon as possible thereafter, to consider the application submitted by Stone Star Riverside, LLC, on **Change of Zone No. 7947**, which proposes to change the zoning of the 162.05 acre subdivision area from a mix of Light Agriculture, ten-acre minimum (A-1-10), Heavy Agriculture, 10-acre minimum (A-2-10), Residential Agricultural, twenty acre minimum (R-A-20), and Rural Residential (R-R) to Planned Residential (R-4), and such other zones as the Board may find appropriate; adoption of **Ordinance No. 348.4883** associated with Change of Zone 7947; and, **Tentative Tract Map No. 36504, Schedule 'A'**, which proposes subdivision of 162.05 acre gross area into 527 single-family residential lots ("the project"). In addition to 527 residential lots, the subdivision also includes an 8.54 acre lot for a park, a 4.7 acre lot for a detention/debris basin, and an approximately 18 acre open space lot. The project is located east of Winchester Road/SR-79 and north of Stowe Road, Third Supervisorial District.

The Planning Commission recommended that the Board of Supervisors approve the project and adopt the Mitigated Negative Declaration for **Environmental Assessment No. 42549**.

The project case file may be viewed from the date of this notice until the public hearing, Monday through Friday, from 8:00 a.m. to 5:00 p.m. at the Riverside County Planning Department at 4080 Lemon Street, 12th Floor, Riverside, California 92501.

FOR FURTHER INFORMATION REGARDING THIS PROJECT, PLEASE CONTACT RUSSELL BRADY, PROJECT PLANNER, AT (951) 955-3025 OR EMAIL Rbrady@rivco.org.

Any person wishing to testify in support of or in opposition to the project may do so in writing between the date of this notice and the public hearing, or may appear and be heard at the time and place noted above. All written comments received prior to the public hearing will be submitted to the Board of Supervisors and the Board of Supervisors will consider such comments, in addition to any oral testimony, before making a decision on the project.

If you challenge the above item in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence to the Planning Commission or Board of Supervisors at, or prior to, the public hearing. Be advised that as a result of the public hearing and the consideration of all public comment, written and oral, the Board of Supervisors may amend, in whole or in part, the project and/or the related environmental document. Accordingly, the designations, development standards, design or improvements, or any properties or lands within the boundaries of the project, may be changed in a way other than specifically proposed.

Alternative formats available upon request to individuals with disabilities. If you require reasonable accommodation, please contact Lisa Wagner at (951) 955-1063, at least 72 hours prior to hearing.

Please send all written correspondence to: Clerk of the Board, 4080 Lemon Street, 1st Floor, Post Office Box 1147, Riverside, CA 92502-1147

Dated: May 8, 2018

Kecia Harper-Ihem, Clerk of the Board
By: Cecilia Gil, Board Assistant

CERTIFICATE OF MAILING

(Original copy, duly executed, must be attached to
the original document at the time of filing)

I, Cecilia Gil, Board Assistant, for the County of Riverside, do hereby certify that I am not a party to the within action or proceeding; that on May 8, 2018, I mailed a copy of the following document:

NOTICE OF PUBLIC HEARING

CZ 7947 TTM 36504 ORD. 348.4883 EA 42549

to the parties listed in the attached labels, by depositing said copy with postage thereon fully prepaid, in the United States Post Office, 3890 Orange St., Riverside, California, 92501.

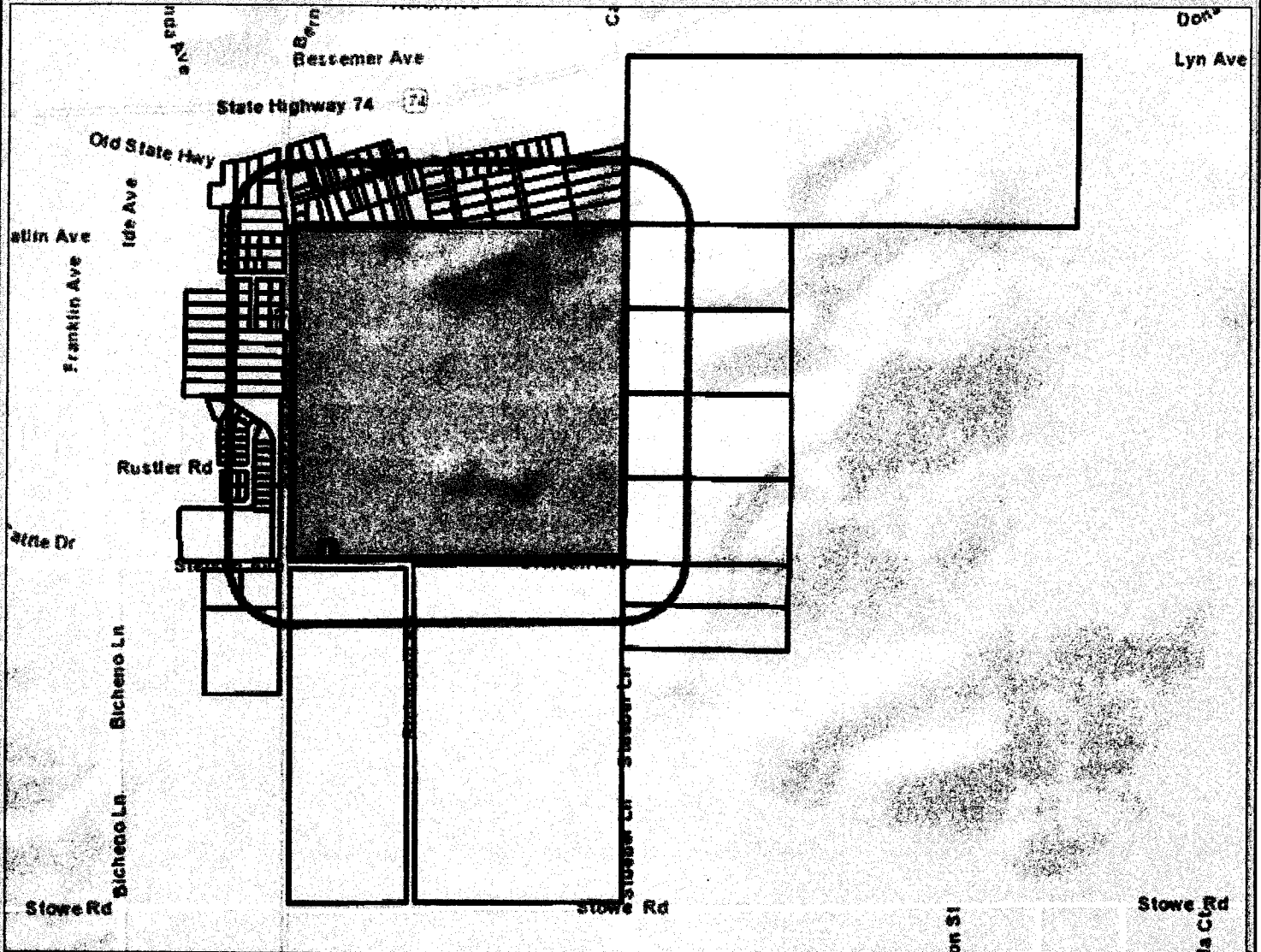
Board Agenda Date: May 22, 2018 @ 10:30 a.m.




SIGNATURE: Cecilia Gil
Cecilia Gil

DATE: May 8, 2018

Riverside County GIS

CZ07833 TR36504 (600 feet buffer)



- Legend**
-  County Boundary
 -  Cities
 -  World Street Map

Notes



IMPORTANT Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

PROPERTY OWNERS CERTIFICATION FORM

I, VINNIE NGUYEN certify that on January 9, 2018,

The attached property owners list was prepared by Riverside County GIS,

APN (s) or case numbers CZ07833 / TR36504 for

Company or Individual's Name RCIT - GIS,

Distance buffered 600'

Pursuant to application requirements furnished by the Riverside County Planning Department. Said list is a complete and true compilation of the owners of the subject property and all other property owners within 600 feet of the property involved, or if that area yields less than 25 different owners, all property owners within a notification area expanded to yield a minimum of 25 different owners, to a maximum notification area of 2,400 feet from the project boundaries, based upon the latest equalized assessment rolls. If the project is a subdivision with identified off-site access/improvements, said list includes a complete and true compilation of the names and mailing addresses of the owners of all property that is adjacent to the proposed off-site improvement/alignment.

I further certify that the information filed is true and correct to the best of my knowledge. I understand that incorrect or incomplete information may be grounds for rejection or denial of the application.

TITLE: GIS Analyst

ADDRESS: 4080 Lemon Street 9TH Floor

Riverside, Ca. 92502

TELEPHONE NUMBER (8 a.m. - 5 p.m.): (951) 955-8158



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33555 OLD HIGHWAY 74
HEMET CA. 92545

458213026
TRINIDAD GONZALEZ
33620 EL CENTRO AVE
HEMET CA. 92545

458242021
RICHARD ALLEN PALLIES
26405 CALVERT AVE
HEMET CA. 92545

458241001
BUDGET FINANCE CO
1849 SAWTELLE BLV STE 700
LOS ANGELES CA 90025

458226003
TAMMY SUE COX
33805 EL CENTRO AVE
HEMET CA. 92545

458242002
DANIEL D RAMOS
CANDELARIA F RAMOS
33871 EL CENTRO AVE
HEMET CA. 92545

458213017
AMAVEL R ENOS
ANNE E SHARP
33602 EL CENTRO AVE
HEMET CA. 92545

458242023
JOE M RENTERIA
JESSIE O RENTERIA
PO BOX 757
WINCHESTER CA 92596

458110020
RONALD L CARROLL
BONNIE M CARROLL
33535 OLD HIGHWAY 74
HEMET CA 92545

458242001
HANI A HANANIA
RANDA S HANANIA
3202 E FLORIDA AVE
HEMET CA 92544

458213022
GARY EUGENE GALLEMORE
33540 EL CENTRO AVE
HEMET CA. 92545

458213021
TRINIDAD ROCHA
FRANCISCA ROCHA
33550 EL CENTRO AVE
HEMET CA. 92545

458242022
LUPE S FLOREZ
MARY FLOREZ
25279 AULD AVE
HEMET CA 92544

CZ 7947
TMM 36504

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12671 HIGH BLUFF STE 150
SAN DIEGO CA 92130

465060027
MANTEL INV
31062 CASA GRANDE DR
SAN JUAN CAPO CA 92675

465080002
DAN Q PHAM
5158 COUNTY RD NO 3115
CAMPBELL TX 75422

465060005
LANSING STONE STAR
C/O C/O LC PARTNERS STONE STAR LLC
12671 HIGH BLUFF STE 150
SAN DIEGO CA 92130

465060014
CYNTHIA M SMALL
26111 FALSTERBOR DR
MENIFEE CA 92586

465080001
DAN Q PHAM
8401 EAGLE DR
ROWLETT TX 75088

465060004
DARREN FRICKER
CHARLES VANNORMAN
C/O C/O CARL J RHEINGANS
P O BOX 99
WINCHESTER CA 92596

465060028
GERALD J OTTEN
HELEN E OTTEN
4270 DENVER ST
MONTCLAIR CA 91763

458141020
MIKE GARCIA MEJIA
OFELIA ANRADE MEJIA
26686 FRANKLIN AVE
HEMET CA 92545

458141018
MIKE MEJIA
OFELIA MEJIA
26686 FRANKLIN AVE
HEMET CA 92545

458141021
DAVID MARC MILLIGAN
JULIA ANN MILLIGAN
23433 KAREN PL
MURRIETA CA 92562

458142010
NOEL RAMOS
ADRIANA E RAMOS
3827 AGAVE CT
PERRIS CA 92570

458152004
SPSSM INV VII
4900 SANTA ANITA NO 2C
EL MONTE CA 91731

458152011
WINCHESTER ROAD 2 TRUST
C/O C/O TAX SERVICE
27636 YNEZ RD L7
TEMECULA CA 92591



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PALOS VERDES ESTATES CA 90274

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MARIA R SMITH
26720 AMANDA AVE
HEMET CA. 92545

458225005
JOHNNY CORNING
EDWARD KNAUFF
VICKY THOMPSON

458225006
MICHAEL S WINGE
26371 TRUELSON AVE
HEMET CA. 92545

33649 EL CENTRO AVE
HEMET CA. 92545

458152010
WINCHESTER ROAD 3 TRUST
C/O C/O TAX SERVICE
27636 YNEZ RD L7
TEMECULA CA 92591

458213001
RONALD L CARROLL
BONNIE M CARROLL
33535 OLD HIGHWAY 74
HEMET CA. 92545

458213013
ANAHI RETANA AVALOS
JOSE GREGORIO R AVALOS
33626 EL CENTRO AVE
HEMET CA 92545

458340001
ROCIO MUNOZ
26906 WILDERNESS DR
HEMET CA. 92545

458370003
TODD JASON WELLS
9774 CRYSTAL RIDGE DR
ESCONDIDO CA 92026

458213023
GUILLERMO MUNOZ
CECILA ALVAREZ MUNOZ
26470 WINCHESTER RD
HEMET CA 92545

458110016
DARLENE E SLOYER
33437 HIGHWAY 74
HEMET CA. 92545

458213020
ELISSA BRIDGES
FLOYD W BRIDGES
3907 YARDLEY CT UNT 205
LOUISVILLE KY 40299

458110015
D STEPHEN WETHERBEE INC
22706 ASPAN ST NO 601
LAKE FOREST CA 92630

458225004
JOHNNY CORNING
EDWARD KNAUFF
VICKY THOMPSON

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ARACELY A REYES VASQUEZ
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HEMET CA. 92545

458152008
SHARON L LAMBERSON
26731 WINCHESTER RD
HEMET CA. 92545

458152007
ALEXANDER JESSE RIVERA
DANESSA RIVERA
26786 AMANDA AVE
HEMET CA. 92545

458242012
ORLANDO M HUTCHINSON
TERESITA P HUTCHINSON
26425 CALVERT AVE
HEMET CA. 92545

458152005
STARLIGHT MGMT 17
4900 SANTA ANITA NO 2C
EL MONTE CA 91731

458213018
SATURNIMO MONROY
PATRICIA MONROY
33594 EL CENTRO AVE
HEMET CA. 92545

458340007
JOSE E AVILA
26797 WILDERNESS DR
HEMET CA. 92545

458340012
ROBERT J RAY
MADONNA SUE RAY
26867 WILDERNESS DR
HEMET CA. 92545

458340008
ERIC DELFIN SORIANO
26811 WILDERNESS DR
HEMET CA. 92545

458340009
STEPHEN A MORRIS
SANDRA J GALBRETH
26825 WILDERNESS DR
HEMET CA. 92545

458340004
MICHAEL A WILLIAMS
RACHEL K BRANTLY
C/O C/O RACHEL K BRANTLY
26864 WILDERNESS DR
HEMET CA. 92545

458340018
JAMES C MINOR
CYNTHIA L MINOR
26792 DURANGO CT
HEMET CA. 92545

458370004
D R HORTON CA3 INC
2280 WARDLOW CIR NO 100
CORONA CA 92880

458372014
D R HORTON CA3 INC
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ROSALBA CALIBOSO
26834 DURANGO CT
HEMET CA. 92545

458340014
ALBERTO DIAZ
SUZETTE DIAZ
26848 DURANGO CT
HEMET CA. 92545

458242020
ALEJANDRO MARTINEZ
ESPERANZA MORENO
26440 DALE ST
HEMET CA. 92545

458370002
CAH 2015 1 BORROWER
8665 E HARTFORD STE 200
SCOTTSDALE AZ 85255

458370001
CLINTON L OBANDO
26948 WILDERNESS DR
HEMET CA. 92545

458340017
RAUL REYES
MARSHA JEAN REYES
26806 DURANGO CT
WINCHESTER CA. 92596

458340006
FRANK JOSEPH OPICE
26808 WILDERNESS DR
HEMET CA. 92545

458340005
RAFAEL ROSILES ZAVALA
MAGDALENA ZAVALA
26850 WILDERNESS DR
HEMET CA. 92545

458340016
ANTONIO HERRERA HERNANDEZ
BRENDA HERRERA
26820 DURANGO CT
HEMET CA. 92545

458224009
MARK D ACKERMAN
AMY L INGRAM
33640 EL CENTRO AVE
HEMET CA. 92545

458213002
NORA A VALENCIA
245 HANOVERIAN DR
HEMET CA. 92545

458213014
JORGE ORNELAS
JUAN FRANCISCO ORNELAS
33626 EL CENTRO AVE
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37812 DOROTHY CT
TEMECULA CA 92592

458341002
JESSICA TUTTLE
33449 RUSTLERS RD
WINCHESTER CA. 92596

458372013
D R HORTON CA3 INC
2280 WARDLOW CIR NO 100
CORONA CA 92880

458340003
ANTHONY R GARNER
INGA P GARNER
26878 WILDERNESS DR
HEMET CA. 92545

458341003
JANET L FULTON
33435 RUSTLERS RD
WINCHESTER CA. 92596

458372012
NICHOLAS D STARK
ANA STARK CORONA
33438 HITCHING POST DR
HEMET CA. 92545

458226002
RICHARD SARENANA
DIANA SARENANA
33745 EL CENTRO AVE
HEMET CA. 92545

458226001
LUCINO UGALDE
33701 EL CENTRO
HEMET CA. 92545

458340002
ARTHUR VEGA
MICHELLE VEGA
26892 WILDERNESS DR
HEMET CA. 92545

458340013
MICHAEL PARKER
26868 DURANGO CT
HEMET CA. 92545

458110017
GLORIA M PEDON
33465 OLD HIGHWAY 74
HEMET CA. 92545

458341001
BRIAN D BAZINET
AMY MICHELLE BAZINET
33467 RUSTLERS RD
WINCHESTER CA. 92596

458370005
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CARMELITA HERNANDEZ
MELINA HERNANDEZ

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458214027
ERNESTINE B VANVOOREN
33587 EL CENTRO AVE
HEMET CA. 92545

458225013
SAMUEL HARRIS
33632 CATLIN AVE
HEMET CA. 92545

458242018
LETICIA DOLORES LOPEZ
FERNANDO MEJIA FLORES
26460 DALE ST
HEMET CA. 92545

458142013
JOSE C SANTOS
26605 WINCHESTER RD
HEMET CA. 92545

458152026
JOHN W MOORE
ELIZABETH MOORE
26625 WIND AVE
HEMET CA 92545

458110023
DOUGLAS P YUONG
17414 MARIPOSA AVE
RIVERSIDE CA 92504

458225008
CANDICE FAITH NUGENT
26395 TRUELSON AVE
HEMET CA. 92545

458241005
MICHAEL LEWIS
CLAIRE LEWIS
26461 DALE ST
HEMET CA. 92545

458141042
GENERAL TELEPHONE CO OF CALIF
C/O C/O GTE ATTN GARY WILLIAMS HQCO2G08
P O BOX 152206
IRVING TX 75015

458214016
MIGUEL A PEREZ
33533 CENTRO AVE
HEMET CA 92545

458152001
CORY STEWART
LYNSEY STEWART
26624 AMANDA AVE
HEMET CA. 92545

458152032
MEIDE SCOTT SEPARATE PROP TRUST
C/O C/O SCOTT E MEIDE
26078 FOUNTAIN PALM DR
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458214030
FIDEL MAGALLANES
MARIA MAGALLANES
33593 EL CENTRO AVE
HEMET CA. 92545

458241004
EDWARD F CAMPBELL
RITA F CAMPBELL
26445 DALE ST
HEMET CA. 92545

458214011
MARIA SALVADOR LOPEZ
22115 BONITA ST
CARSON CA 90745

458110018
MARK KOLEK
DEBRA MULAY KOLEK
41455 CIRCLE M
TEMECULA CA 92592

458225012
CALIFORNIA HOUSING FOUNDATION
C/O C/O EXECUTIVE DIRECTOR
1200 CALIFORNIA ST NO 104
REDLANDS CA 92374

458225011
JORGE A MAGANA
ESPERANZA MAGANA
521 ORANGE AVE NO 146
CHULA VISTA CA 91911

458225014
BARBARA J COPP
42045 GRANITE VIEW DR
SAN JACINTO CA 92583

458242015
V R DENNIS CONSTRUCTION CO
7075 MISSION GORGE STE A
SAN DIEGO CA 92120

458214013
WILLIAM M POSTMAN
501 S MISTLETOE SPC 19
SAN JACINTO CA 92583

458242017
HERIBERTO HERNANDEZ
CARMELITA HERNANDEZ
26465 CALVERT AVE
HEMET CA 92545

458141029
ANTONIO MUNOZ
MARIA JIMENEZ DEMUNOZ
33416 CATLIN AVE
HEMET CA. 92545

458214012
RONALD CROSS
33604 CATLIN AVE
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26490 WINCHESTER RD
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458241003
MARIA DE JESUS GARCIA
P O BOX 115
HEMET CA 92596

458225007
ANDRES CUBIAS
26385 TRUELSON AVE
HEMET CA. 92545

458226004
JESUS E MARTINEZ
MELISSA I MARTINEZ
26380 TRUELSON AVE
HEMET CA. 92545

458214009
FIDEL MAGALLANES
MARIA MAGALLANES
33593 EL CENTRO AVE
HEMET CA 92545

458141034
SUZANNE L MARTIN
P O BOX 21086
RIVERSIDE CA 92516

458141024
MIKE MEJIA
OFELIA MEJIA
26686 FRANKLIN AVE
HEMET CA 92545

458250012
LANSING STONE STAR
C/O C/O LC PARTNERS STONE STAR LLC
12671 HIGH BLUFF STE 150
SAN DIEGO CA 92130

458141035
SERGIO R REYES
ANGELIA M REYES
26505 WINCHESTER RD
HEMET CA. 92545

458141031
EASTMAN FAMILY TRUST
C/O C/O GLEN EASTMAN II
835 SW 12TH ST
NEWPORT OR 97365

458141026
MEHRDAD HANANIAN
JULIET HANANIAN
25071 ROSEBRUGH LN
HEMET CA 92544

458141033
MONIQUE P PEGG
5002 ROCKLEDGE DR
RIVERSIDE CA 92506

458141016
ALICE R DUNWELL
40555 CALLE VECINA
TEMECULA CA 92592

458141023
LEOBARDO MARTINEZ
RAQUEL MARTINEZ
9630 BURKE ST
PICO RIVERA CA 90660



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26450 DALE ST
HEMET CA. 92545

458141019
MONIQUE P PEGG
SUZANNE L MARTIN
5002 ROCKLEDGE DR
RIVERSIDE CA 92506

458214010
GABRIEL ZAVALA
MARIA INEZ ZAVALA
4335 HOLLYVALE LN
HEMET CA 92545

458225001
JORGE ORNELAS
33625 EL CENTRO AVE
HEMET CA. 92545

458141028
LEILA J STORKAN
33400 CATLIN AVE
HEMET CA. 92545

458110019
GUILLERMO MUNOZ
CECILIA ALVAREZ MUNOZ
26470 WINCHESTER RD
HEMET CA 92545

458225015
JOSE HUERTA
MARIA HUERTA
28080 PATTERSON AVE
WINCHESTER CA 92596

458142018
ANGELA BALDERRAMA
YOLANDA TORRES
26605 WIND AVE
HEMET CA. 92545

458214031
KATHLEEN FRANICH
PATRICIA ANN FRANICH
2133 PASEO DEL MAR
PALOS VERDES ESTATES CA 90274

458226005
JESUS E MARTINEZ
MELISSA I MARTINEZ
26380 TRUELSON AVE
HEMET CA 92545

458142021
WINCHESTER ROAD 1 TRUST
C/O C/O TAX SVC
27636 YNEZ RD L7 279
TEMECULA CA 92591

458142003
TERESITA ESTEVES
GODOFREDO PANILAGAO
26616 AMANDA AVE
HEMET CA. 92545

458142007
MONIQUE P PEGG
SUZANNE L MARTIN
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MARIA MARTHA CORTEZ
4615 SHASTA BLUE LN
HEMET CA. 92545

458214015
EARL CHARLES JOHNSON
33555 EL CENTRO AVE
HEMET CA. 92545

458141027
BOBBY MONTGOMERY
SANDRA O WHITLEY
2222 EL RANCHO CIR
HEMET CA. 92545

458142023
MARIO MONJE
VERONICA ALVAREZ DEMONJE
26610 WIND AVE
HEMET CA. 92545

458152028
JOHN W MOORE
ELIZABETH MOORE
26625 WIND AVE
HEMET CA. 92545

458152044
FRANK BARRIENTOS
26624 WIND AVE
HEMET CA. 92545

458152043
SYLVIA RUIZ
RAUL RUIZ
1475 E WHITTIER AVE
HEMET CA. 92544

458141022
CATHERINE NOEL KIMPORT
33436 CATLIN AVE
HEMET CA. 92545

458152002
STEVEN W GLAVA
26122 VIA MAREJADA
MISSION VIEJO CA. 92675

458152003
STEVEN W GLAVA
26122 VIA MAREJADA
MISSION VIEJO CA. 92675

458152029
RIGOBERTO L CASTILLO
AMPARO L DECASTILLO
4615 SHASTA BLUE LN
HEMET CA. 92545

458242013
PAULA CARTER
MICHAEL CARTER
26445 CALVERT AVE
HEMET CA. 92545

458141014
RUSSELL PHILLIP WAHLERT
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458141030
SASCHA Q KOVACHEV
33392 CATLIN AVE
HEMET CA. 92545

458242016
HERIBERTO HERNANDEZ
CARMELITA HERNANDEZ
26465 CALVERT AVE
HEMET CA 92545

458152012
BRAYAN DAN M PLANCARTE
JUAN BERNARDO GALEANA AGUILAR
25267 STEPHVON WAY
HEMET CA 92544

458213025
JESUS HERNANDEZ
IMELDA HERNANDEZ
JORGE MUNGIA

33520 EL CENTRO AVE
HEMET CA 92545

458226009
RAFE C OLSON
SABLE A OLSON
PO BOX 346
WINCHESTER CA 92596

458213024
GUILLERMO MUNOZ
CECILA ALVAREZ MUNOZ
26470 WINCHESTER RD
HEMET CA. 92545

465050016
MARY KATHLEEN MASSEY
CHRISTINE PLATT MACOMBER
938 ROSEMOUNT RD
OAKLAND CA 94610

465050019
CHRISTINE PLATT MACOMBER
KATHLEEN MASSEY
938 ROSEMOUNT RD
OAKLAND CA 94610

465040016
PEAK EMERALD ACRES
9595 WILSHIRE BLV STE 710
BEVERLY HILLS CA 90212

465050018
MARY KATHLEEN MASSEY
CHRISTINE PLATT MACOMBER
938 ROSEMOUNT RD
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465050017
MARY KATHLEEN MASSEY
CHRISTINE PLATT MACOMBER
938 ROSEMOUNT RD
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Valley-Wide Recreation and Parks Dist.
901 W. Esplanade Way
San Jacinto, CA 92582

Waste Resources Management,
Riverside County
Mail Stop 5950

ATTN: Elizabeth Lovsted
Eastern Municipal Water District
2270 Trumble Rd.
P.O. Box 8300
Perris, CA 92570

ATTN: Teresa Roblero
Mail Location: 8031
Engineering Department,
Southern California Gas Company
1981 W. Lugonia Ave.
Redlands, CA 92374-9796

Pechanga Band of Luiseno Indians
P.O. Box 2183
Temecula, CA 92593

ATTN: Jeff Kubel
Sheriff's Department, Riverside County
30755-A Auld Road
Murrieta, CA 92563

Southern California Edison
2244 Walnut Grove Ave., Rm 312
P.O. Box 600
Rosemead, CA 91770

Soboba Band of Luiseno Indians
P.O. Box 487
San Jacinto, CA 92581

ATTN: Gayet Adame
Eastern Information Center (UCR)
Riverside, CA 92521-0418

Winchester MAC
Attn: Andy Domenigoni, Chairperson
31851 Winchester Road
Winchester, CA 92596

CALTRANS District #8
Attn: Mark Roberts, MS: 725
464 W. 4th St., 6th Floor
San Bernardino, CA 92401-1400

Hemet Unified School District
2350 W. Latham Ave.
Hemet, CA 92545-3654

Valley-Wide Recreation and Parks Dist.
901 W. Esplanade Way
San Jacinto, CA 92582

Waste Resources Management,
Riverside County
Mail Stop 5950

ATTN: Elizabeth Lovsted
Eastern Municipal Water District
2270 Trumble Rd.
P.O. Box 8300
Perris, CA 92570

ATTN: Teresa Roblero
Mail Location: 8031
Engineering Department,
Southern California Gas Company
1981 W. Lugonia Ave.
Redlands, CA 92374-9796

Pechanga Band of Luiseno Indians
P.O. Box 2183
Temecula, CA 92593

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Sheriff's Department, Riverside County
30755-A Auld Road
Murrieta, CA 92563

Southern California Edison
2244 Walnut Grove Ave., Rm 312
P.O. Box 600
Rosemead, CA 91770

Soboba Band of Luiseno Indians
P.O. Box 487
San Jacinto, CA 92581

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Attn: Andy Domenigoni, Chairperson
31851 Winchester Road
Winchester, CA 92596

CALTRANS District #8
Attn: Mark Roberts, MS: 725
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Engineer:

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900 E Washington Street, Suite 208
Colton, CA 92324

Owner:

Stone Star Riverside LLC
12671 High Bluff Dr, Suite 150
San Diego, CA 92130

Engineer:

W.J. McKeever, Inc.
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Owner:

Stone Star Riverside LLC
12671 High Bluff Dr, Suite 150
San Diego, CA 92130

Engineer:

W.J. McKeever, Inc.
900 E Washington Street, Suite 208
Colton, CA 92324

Representative:

Trip Hord
P.O. Box 1235
Riverside, CA 92502

Representative:

Trip Hord
P.O. Box 1235
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Representative:

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7833

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18.3 of 05/22/18*

Placed by: Cecilia Gil

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COUNTY OF RIVERSIDE
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Publication(s): The Press-Enterprise

PROOF OF PUBLICATION OF

Ad Desc.: CZ 7947 ORD. NO. 348.4883 TTM 36504 /

I am a citizen of the United States. I am over the age of eighteen years and not a party to or interested in the above entitled matter. I am an authorized representative of THE PRESS-ENTERPRISE, a newspaper in general circulation, printed and published daily in the County of Riverside, and which newspaper has been adjudicated a newspaper of general circulation by the Superior Court of the County of Riverside, State of California, under date of April 25, 1952, Case Number 54446, under date of March 29, 1957, Case Number 65673, under date of August 25, 1995, Case Number 267864, and under date of September 16, 2013, Case Number RIC 1309013; that the notice, of which the annexed is a printed copy, has been published in said newspaper in accordance with the instructions of the person(s) requesting publication, and not in any supplement thereof on the following dates, to wit:

05/11/2018

I certify (or declare) under penalty of perjury that the foregoing is true and correct.

Date: May 11, 2018
At: Riverside, California



Legal Advertising Representative, The Press-Enterprise

BOARD OF SUPERVISORS
COUNTY OF RIVERSIDE
PO BOX 1147
RIVERSIDE, CA 92502

Ad Number: 0011118986-01

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Ad Copy:

NOTICE OF PUBLIC HEARING BEFORE THE BOARD OF SUPERVISORS OF RIVERSIDE COUNTY ON A CHANGE OF ZONE, ADOPTION OF AN ORDINANCE AND A TENTATIVE TRACT MAP IN THE WINCHESTER - HARVEST VALLEY, THIRD SUPERVISORIAL DISTRICT AND NOTICE OF INTENT TO ADOPT A MITIGATED NEGATIVE DECLARATION

NOTICE IS HEREBY GIVEN that a public hearing at which all interested persons will be heard, will be held before the Board of Supervisors of Riverside County, California, on the 1st Floor Board Chambers, County Administrative Center, 4080 Lemon Street, Riverside, on **Tuesday, May 22, 2018 at 10:30 A.M.** or as soon as possible thereafter, to consider the application submitted by Stone Star Riverside, LLC, on **Change of Zone No. 7947**, which proposes to change the zoning of the 162.05 acre subdivision area from a mix of Light Agriculture, ten-acre minimum (A-1-10), Heavy Agriculture, 10-acre minimum (A-2-10), Residential Agricultural, twenty acre minimum (R-A-20), and Rural Residential (R-R) to Planned Residential (R-4), and such other zones as the Board may find appropriate; adoption of **Ordinance No. 348.4883** associated with Change of Zone 7947; and, **Tentative Tract Map No. 36504, Schedule 'A'**, which proposes subdivision of 162.05 acre gross area into 527 single-family residential lots ("the project"). In addition to 527 residential lots, the subdivision also includes an 8.54 acre lot for a park, a 4.7 acre lot for a detention/debris basin, and an approximately 18 acre open space lot. The project is located east of Winchester Road/SR-79 and north of Stowe Road, Third Supervisorial District.

The Planning Commission recommended that the Board of Supervisors approve the project and adopt the Mitigated Negative Declaration for **Environmental Assessment No. 42549**.

The project case file may be viewed from the date of this notice until the public hearing, Monday through Friday, from 8:00 a.m. to 5:00 p.m. at the Riverside County Planning Department at 4080 Lemon Street, 12th Floor, Riverside, California 92501.

FOR FURTHER INFORMATION REGARDING THIS PROJECT, PLEASE CONTACT RUSSELL BRADY, PROJECT PLANNER, AT (951) 955-3025 OR EMAIL Rbrady@rivco.org.

Any person wishing to testify in support of or in opposition to the project may do so in writing between the date of this notice and the public hearing, or may appear and be heard at the time and place noted above. All written comments received prior to the public hearing will be submitted to the Board of Supervisors and the Board of Supervisors will consider such comments, in addition to any oral testimony, before making a decision on the project.

If you challenge the above item in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence to the Planning Commission or Board of Supervisors at, or prior to, the public hearing. Be advised that as a result of the public hearing and the consideration of all public comment, written and oral, the Board of Supervisors may amend, in whole or in part, the project and/or the related environmental document. Accordingly, the designations, development standards, design or improvements, or any properties or lands within the boundaries of the project, may be changed in a way other than specifically proposed.

Alternative formats available upon request to individuals with disabilities. If you require reasonable accommodation, please contact Lisa Wagner at (951) 955-1063, at least 72 hours prior to hearing.

Please send all written correspondence to: Clerk of the Board, 4080 Lemon Street, 1st Floor, Post Office Box 1147, Riverside, CA 92502-1147

Dated: May 8, 2018 Kecia Harper-Ihem, Clerk of the Board
By: Cecilia Gil, Board Assistant

5/11

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2018 MAY 16 AM 10:19



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1st FLOOR, COUNTY ADMINISTRATIVE CENTER
P.O. BOX 1147, 4080 LEMON STREET
RIVERSIDE, CA 92502-1147
PHONE: (951) 955-1060 FAX: (951) 955-1071

KECIA HARPER-IHEM
Clerk of the Board of Supervisors

KIMBERLY A. RECTOR
Assistant Clerk of the Board

May 23, 2018

THE PRESS ENTERPRISE
ATTN: LEGALS
P.O. BOX 792
RIVERSIDE, CA 92501

TEL: (951) 368-9229
E-MAIL: legals@pe.com

RE: ADOPTION OF ORDINANCE NO. 348.4883

To Whom It May Concern:

Attached is a copy for publication in your newspaper for **ONE (1) TIME** on **Saturday, May 26, 2018**.

We require your affidavit of publication immediately upon completion of the last publication.

Your invoice must be submitted to this office, **WITH TWO CLIPPINGS OF THE PUBLICATION**.

NOTE: PLEASE COMPOSE THIS PUBLICATION INTO A SINGLE COLUMN FORMAT.

Thank you in advance for your assistance and expertise.

Sincerely,

Cecilia Gil

Board Assistant to:
KECIA HARPER-IHEM, CLERK OF THE BOARD

Gil, Cecilia

From: Legals <legals@pe.com>
Sent: Wednesday, May 23, 2018 11:42 AM
To: Gil, Cecilia
Subject: Re: FOR PUBLICATION: Adoption of Ord. No. 348.4883

Received for publication on 5/26. Proof with cost to follow.

Nick Eller

--
Memorial Day 2018 Deadlines
Pub Date **Deadline @ 10:30am**
Mon 5/28 Wed 5/23
Tues-Wed 5/29-30 Thurs 5/24
Thurs 5/31 Fri 5/25
Legal Advertising Phone: **951-368-9222** / Fax: 951-368-9018 / E-mail: legals@pe.com
****Employees of The Press-Enterprise are not able to give legal advice of any kind****
Standard Deadlines are 10:30am, 3 business days prior to the day you would like to publish

The Press-Enterprise PE.com / La Prensa

On Wed, May 23, 2018 at 11:28 AM, Gil, Cecilia <CCGIL@rivco.org> wrote:

One more please...for Saturday, May 26. Please confirm. THANK YOU!

Cecilia Gil

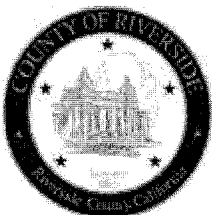
Board Assistant

Clerk of the Board of Supervisors

4080 Lemon St., 1st Floor, Room 127

Riverside, CA 92501

(951) 955-8464 Mail Stop# 1010



BOARD OF SUPERVISORS OF THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA

(INSERT ORD. NO. 348.4883 AND MAP HERE)

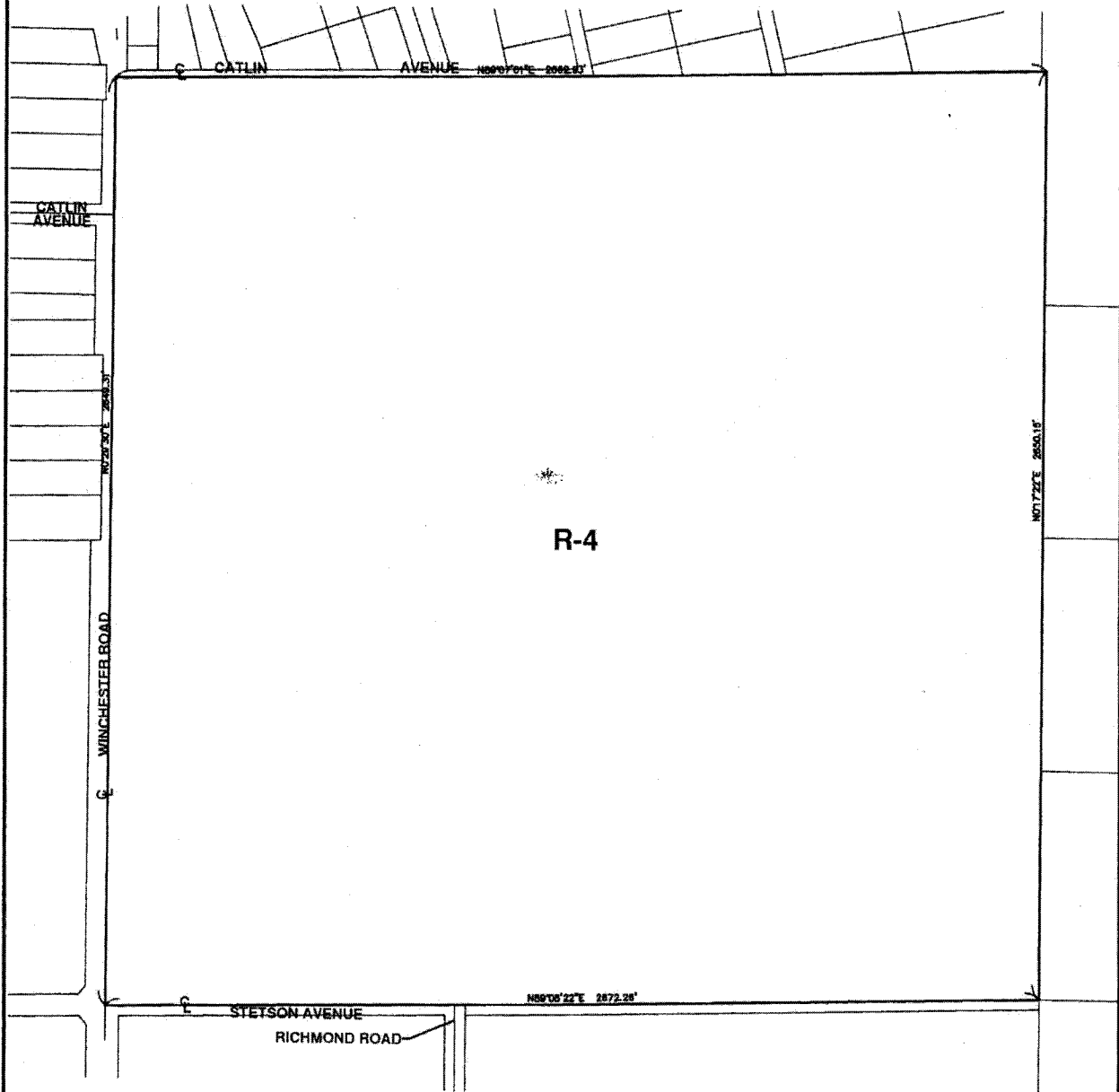
Chuck Washington, Chairman of the Board

I HEREBY CERTIFY that at a regular meeting of the Board of Supervisors of said County, held on **May 22, 2018**, the foregoing Ordinance consisting of two (2) sections was adopted by said Board by the following vote:

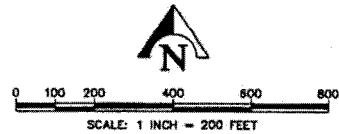
AYES: Jeffries, Tavaglione, Washington, Perez and Ashley
NAYS: None
ABSENT: None

Kecia Harper-Ihem, Clerk of the Board
By: Cecilia Gil, Board Assistant

HOMELAND AREA
SECTION 15, T5S, R2W, S.B.M.



R-4 PLANNED RESIDENTIAL



MAP NO. 2.2426
**CHANGE OF OFFICIAL ZONING PLAN
AMENDING
MAP NO. 2 ORDINANCE NO. 348**
CHANGE OF ZONE CASE NO. 7833
ADOPTED BY ORDINANCE NO. 348.4883
MAY 22, 2018

ASSESSORS PARCEL NO. 458-250-012 & 013

RIVERSIDE COUNTY BOARD OF SUPERVISORS

PLOT DATE: 5/6/18