

# RIVERSIDE COUNTY PLANNING DEPARTMENT

*Charissa Leach*  
*Assistant TLMA Director*

August 7, 2017

Pala Band of Mission Indians  
Shasta C. Gaughen, THPO  
PMB 50, 35008 Pala Temecula Rd.  
Pala, CA 92059

**SUBJECT: ASSEMBLY BILL 52 (AB 52) FORMAL NOTIFICATION (TR37377, EA43043)**

This serves to notify you of a proposed project located within Riverside County. A map depicting the location and a project description can be found below. Pursuant to Public Resources Code section 21080.3.1(d), if you wish to initiate consultation on this proposed project, please send a consultation request by September 6, 2017 to [hthomson@rivco.org](mailto:hthomson@rivco.org). To ensure an effective and good faith consultation effort, the request for consultation shall also indicate the following:

- Whether there are TCR's in project area. If so, what specifically is the TCR? The Tribe must provide County with substantial evidence to support this and if the TCR consists of a "landscape", the Tribe must also geographically define the landscape in terms of size and scope of the project.
- Is the Project causing a substantial adverse impact to a TCR? If so, what is that impact?

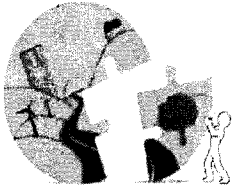
**Project Description:**

**TENTATIVE TRACT MAP NO. 37377** – EA43043 – Applicant: Darren Chin – Engineer/Representative: EPD Solutions, Inc. – Third Supervisorial District – Rancho California Zoning Area – Southwest Area Plan – Agriculture : Agriculture (AG) (10 Acre Minimum) and Rural: Rural Residential (R: RR) (5 Acre Minimum) – Temecula Valley Wine Country Policy Area - Winery District – Location: North of Buck Road, South of Borel Road, West of Warren Road, and East of Anza Road – 633.39 Gross Acres – Zoning: Wine County-Winery (WC-W)

**REQUEST:** The Tentative Tract Map proposes to subdivide approximately 633 acres into the following: a 75 lot clustered subdivision with parcels ranging from 1.00 acre to 5.66 acres; 21 village estate lots with parcels ranging from 10.01 acres to 10.16 acres; a 2.00 acre community center lot; a 126.43 acre lot for a winery resort; 7 open space lots; and various overflow event, realignment, restoration, water reservoir lots. 467.97 acres has been dedicated to RCA for WRMSHCP conservation through the previous tract map approval. APN: 964-160-004, 007, and 009 – Related Cases: TTM34466, CZ07861 and CUP03719.

Riverside Office · 4080 Lemon Street, 12th Floor  
P.O. Box 1409, Riverside, California 92502-1409  
(951) 955-3200 · Fax (951) 955-3157

Desert Office · 77588 El Duna Court, Suite H  
Palm Desert, California 92211  
(760) 863-8277 · Fax (760) 863-7040



# RIVERSIDE COUNTY

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# PLANNING DEPARTMENT

*Charissa Leach*  
*Assistant TLMA Director*

August 7, 2017

Morongo Cultural Heritage Program  
Ray Huaute  
12700 Pumarra Rd.  
Banning, CA 92220

**SUBJECT: ASSEMBLY BILL 52 (AB 52) FORMAL NOTIFICATION (TR37377, EA43043)**

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# RIVERSIDE COUNTY PLANNING DEPARTMENT

*Charissa Leach*  
Assistant TLMA Director

August 7, 2017

Cahuilla Band of Indians  
Anthony Madrigal  
52701 Highway 371  
Anza, CA 92539

**SUBJECT: ASSEMBLY BILL 52 (AB 52) FORMAL NOTIFICATION (TR37377, EA43043)**

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Palm Desert, California 92211  
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# RIVERSIDE COUNTY PLANNING DEPARTMENT

*Charissa Leach*  
Assistant TLMA Director

August 7, 2017

Ramona Band of Cahuilla  
Joseph D. Hamilton, Chairman  
56310 Highway 371, Suite B  
Anza, California 92539

**SUBJECT: ASSEMBLY BILL 52 (AB 52) FORMAL NOTIFICATION (TR37377, EA43043)**

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# RIVERSIDE COUNTY PLANNING DEPARTMENT

*Charissa Leach*  
Assistant TLMA Director

August 7, 2017

Colorado River Indian Tribes (CRIT)  
David Harper, Director  
26600 Mohave Road, Parker, Arizona 85344

**SUBJECT: ASSEMBLY BILL 52 (AB 52) FORMAL NOTIFICATION (TR37377, EA43043)**

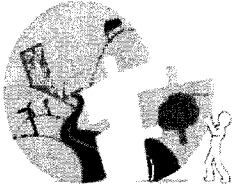
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# RIVERSIDE COUNTY PLANNING DEPARTMENT

*Charissa Leach*  
*Assistant TLMA Director*

August 7, 2017

Quechan Indian Nation  
Arlene Kingery, THPO  
P.O. Box 1899  
Yuma Ariz. 85366

**SUBJECT: ASSEMBLY BILL 52 (AB 52) FORMAL NOTIFICATION (TR37377, EA43043)**

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Sincerely,

PLANNING DEPARTMENT

A handwritten signature in cursive script, appearing to read "Heather Thomson".

Heather Thomson, Archaeologist

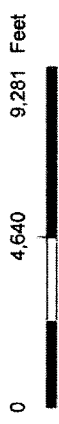
Email CC: Tim Wheeler, [Twheeler@rivco.org](mailto:Twheeler@rivco.org)

Attachment: Project Vicinity Map and Project Aerial





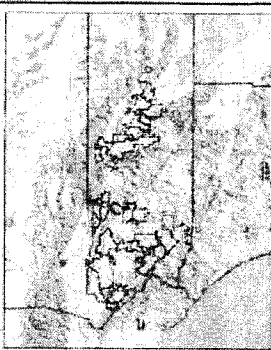
TR37377



"IMPORTANT" Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

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**Legend**

- City Boundaries
- Cities
- highways
  - HWY
  - INTERCHANGE
  - INTERSTATE
  - OFFRAMP
  - ONRAMP
  - USHWY
- majorroads
- counties
- cities
- hydrographylines
- waterbodies
  - Lakes
  - Rivers

**Notes**

GPA 1139



# RIVERSIDE COUNTY PLANNING DEPARTMENT

*Steve Weiss, AICP*  
*Planning Director*

July 20, 2015

Pattie Garcia  
Director of Tribal Historic Preservation  
Agua Caliente Band of Cahuilla Indians  
5401 Dinah Shore Drive  
Palm Springs, CA 92264

**SUBJECT: ASSEMBLY BILL 52 (AB 52) FORMAL NOTIFICATION**

Dear Ms. Garcia:

This serves to notify you of a proposed project located within the Winery District area of Riverside County. A map depicting the location and a project description can be found below. Pursuant to Public Resources Code section 21080.3.1(d), if you wish to initiate consultation on this proposed project, please send a consultation request within thirty (30) days of receiving this letter to Heather Thomson via email at [hthomson@rcpldima.org](mailto:hthomson@rcpldima.org) or by contacting her at (951) 955-2873.

Project Description:

**GENERAL PLAN AMENDMENT NO. 1139, SPECIFIC PLAN NO. 389, CONDITIONAL USE PERMIT NO. 3719, CHANGE OF ZONE NO.7861 – EA 42692 – Applicant: Darren Chin – Engineer/Representative: Keith Gardner – Third Supervisorial District – Rancho California Zoning Area – Southwest Area Plan – Agriculture : Agriculture (AG) (10 Acre Minimum) – Temecula Valley Wine Country Policy Area - Winery District – Location: North of Buck Road, South of Borel Road, West of Warren Road, and East of Berenda Road – 155.80 Gross Acres – Zoning: Citrus Vineyard (CV) Zone – APN: 964-160-004**

**REQUEST:** The Specific Plan (SP00389) encompasses approximately 648 acres and proposes 216 residential units, two winery areas, resort and golf course. The Conditional Use Permit (CUP03719) is proposing a Class VI Winery. The uses associated with this winery are grouped into five master plan areas: Area 1 includes the winery and testing room with retail and activities area. Area 2 includes a restaurant area with a bar, ice cream shop, coffee shop, discovery center, Gourmet Groceries/Farmer's market, and events area. Area 3 includes the main resort building with lobby area, café, conference rooms, gift shop, lounge area, restaurant, children's room, guest rooms and suites, spa/fitness center, outdoor swimming pools, hotel kitchen, and pastry shop. Area 4 includes the event center with restrooms, reception halls and kitchen. Area 5 includes the resort villas with an outdoor swimming pool and pool club building. The project has the capacity to host three outdoor events at once; events include, but not limited to weddings, concerts, golf tournaments, or other cooperate events. Total building area is approximately 343,769 sf. The project will provide 729 parking spaces. The Change of Zone (CZ07861) proposes a Change of Zone from Citrus/Vineyard CV to Wine Country-Winery WC-W Zone to be consistent with the General Plan Temecula Valley Wine Country Policy Area.

Sincerely,

PLANNING DEPARTMENT

Heather Thomson  
Archaeologist

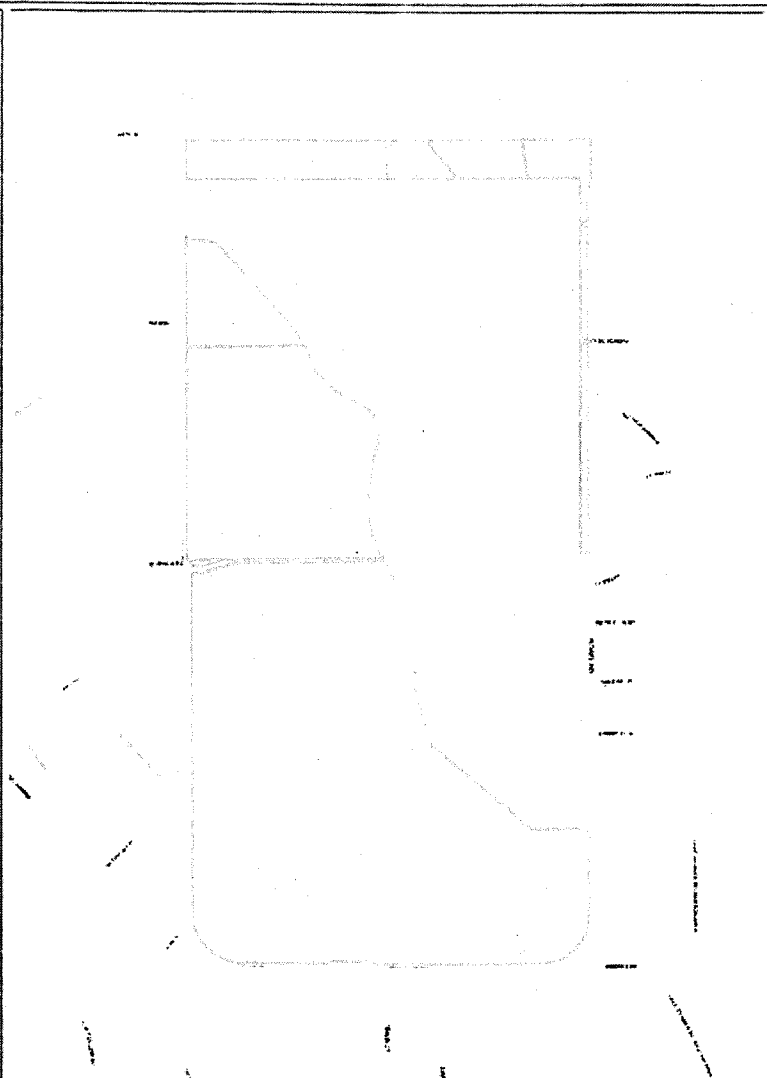
email cc: Phayvanh Nanthavongdouangsy, Urban Regional Planner IV; [PNANTHIA@rcpldima.org](mailto:PNANTHIA@rcpldima.org)



Attachment: Vicinity Map

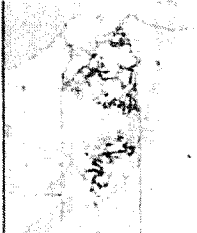
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# GPA 1139




  
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 REPORT PRINTED ON 7/10/2015 8:51:13 AM
   
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### Legend

- Display Areas
- City Boundaries
- Cities
- roads/route
- highways
- RAV
- INTERCOMMIT
- INTERSTATE
- STATEWAY
- ORANGE
- UNINH
- COUNTIES
- Cities
- hydrography/water
- waterbodies
- Water
- RAV

### Notes

(This area is currently under review and subject to change without notice.)





# FAST TRACK AUTHORIZATION

Supervisorial District: 3	Supervisor: Chuck Washington	For EDA Use Only
		FTA No. 2017-03

**Company/Developer:** Standard Portfolios **Contact Name:** David DiRienzo  
**Address:** 488 E. Santa Clara St., #304, Arcadia, CA 91006  
**Office Phone:** (949) 717-8529 **Mobile Phone:** (949) 350-3074 **Email:** david@urban-west.com

**Consulting Firm:** EPD Solutions, Inc **Contact Name:** Andrea Arcilla & Jeremy Krout  
**Firm Address:** 2030 Main St. Ste. 1200 Irvine CA 92614  
**Office Phone:** 949-794-1185 **Mobile Phone:** 949-278-5413 **Email:** andrea@endsolutions.com & jeremy@endsolutions.com

**Project Type:**  Industrial  Commercial  Childcare  Workforce Housing  
 Renewable Energy  Other

Full-service hotel with spa and restaurants, winery production and tasting room, as well as 96 residential units (76 SFR and 20 "winery estate lots" which would function like bed & breakfast units for the hotel).

**Economic Impact (estimated) Capital Investment:** \$135 million **Full-Time Jobs:** 100

**Taxable Sales:** \$100 million **Full-Time Wages per Hour:** \$20 **Construction Jobs:** 350-400

**Land Use Application(s):**  Plot Plan  Conditional Use Permit 3719  Change of Zone  
 Parcel Map  General Plan Amendment  Other: Tract Map

**Site Information Assessor's Parcel Number(s):** 964-160-001, 002, 003, 004; 964-190-001, 002, 003, 004, 005, 006, 007, 008

**Cross Streets/Address:** Rancho California and Benton **Site Acreage:** 1.099

**Land Use Designation:** Wine Country Plan **Zoning:** Wine Country Plan **Building Size:** Hotel/winery - 352,000 sf. 76 SFR / 20 estate lots

I hereby certify that by submitting this application for Fast Track status I understand and will comply with Board of Supervisors Policy A-32, Procedures for Fast Track Processing, including the following items:

- The Fast Track applicant will hire construction contractors and other development-related consultants that are based in Riverside County whenever possible, and;
- The Fast Track applicant will give hiring preference to individuals who have served in the United States armed forces or who have been unemployed for 6 or more months due to economic conditions.

Jeremy Krout

7/13/17

**Applicant Name and Title (use electronic signature or type information)** **Date**

This authorization contains preliminary project information and serves as a basis for determining "Fast Track" eligibility. During the County's development review process, the proposed project size and configuration may be altered. \*This Fast Track Authorization also applies to any other required or associated applications and/or Assessor's Parcel Numbers\*

For EDA Use Only	
	7/24/17
Carrie Harmon, Deputy Director of EDA	Date
	7/24/17
Rob Moran, EDA Development Manager	Date



# RIVERSIDE COUNTY PLANNING DEPARTMENT

Steve Weiss, AICP  
Planning Director

## APPLICATION FOR SUBDIVISION AND DEVELOPMENT

CHECK ONE AS APPROPRIATE:

- TENTATIVE TRACT MAP 37377
 TENTATIVE PARCEL MAP  
 REVERSION TO ACREAGE
  EXPIRED RECORDABLE MAP  
 AMENDMENT TO FINAL MAP
  VESTING MAP

MINOR CHANGE Original Case No. \_\_\_\_\_

REVISED MAP Original Case No. \_\_\_\_\_

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED.

### APPLICATION INFORMATION

Applicant Name: Standard Portfolio Temecula, LLC

Contact Person: Darren Chin E-Mail: derrenc@standardportfolios.com

Mailing Address: 488 E. Santa Clara Street Suite 304

<u>Arcadia</u>	<u>Ca</u>	<u>91006</u>
<small>City</small>	<small>State</small>	<small>ZIP</small>

Daytime Phone No: (626) 263-5105 Fax No: (\_\_\_\_) \_\_\_\_\_

Engineer/Representative Name: EPD Solutions, Inc

Contact Person: Andrea Arcilla E-Mail: Andrea@EPDSolutions.com

Mailing Address: 2030 Main Street Suite 1200

<u>Irvine</u>	<u>Ca</u>	<u>92614</u>
<small>City</small>	<small>State</small>	<small>ZIP</small>

Daytime Phone No: (949) 278-5413 Fax No: (\_\_\_\_) \_\_\_\_\_

Property Owner Name: Same as Applicant

Contact Person: \_\_\_\_\_ E-Mail: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

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"Planning Our Future... Preserving Our Past"

**APPLICATION FOR SUBDIVISION AND DEVELOPMENT**

Street \_\_\_\_\_

City \_\_\_\_\_

State \_\_\_\_\_

ZIP \_\_\_\_\_

Daytime Phone No: (\_\_\_\_) \_\_\_\_\_ Fax No: (\_\_\_\_) \_\_\_\_\_

Check this box if additional persons or entities have an ownership interest in the subject property(ies) in addition to that indicated above; and attach a separate sheet that references the subdivision type and number and list those names, mailing addresses, phone and fax numbers, and email addresses; and provide signatures of those persons or entities having an interest in the real property(ies) involved in this application.

**AUTHORITY FOR THIS APPLICATION IS HEREBY GIVEN:**

I certify that I am/we are the record owner(s) or authorized agent, and that the information filed is true and correct to the best of my knowledge, and in accordance with Govt. Code Section 65105, acknowledge that in the performance of their functions, planning agency personnel may enter upon any land and make examinations and surveys, provided that the entries, examinations, and surveys do not interfere with the use of the land by those persons lawfully entitled to the possession thereof.

(If an authorized agent signs, the agent must submit a letter signed by the owner(s) indicating authority to sign on the owner(s)'s behalf, and if this application is submitted electronically, the "wet-signed" signatures must be submitted to the Planning Department after submittal but before the subdivision is ready for public hearing.)

Andrea Arcilla 96 Standard Portfolio  
PRINTED NAME OF PROPERTY OWNER(S)

  
SIGNATURE OF PROPERTY OWNER(S)

\_\_\_\_\_  
PRINTED NAME OF PROPERTY OWNER(S)

\_\_\_\_\_  
SIGNATURE OF PROPERTY OWNER(S)

The Planning Department will primarily direct communications regarding this application to the person identified above as the Applicant. The Applicant may be the property owner, representative, or other assigned agent.

**AUTHORIZATION FOR CONCURRENT FEE TRANSFER**

The applicant authorizes the Planning Department and TLMA to expedite the refund and billing process by transferring monies among concurrent applications to cover processing costs as necessary. Fees collected in excess of the actual cost of providing specific services will be refunded. If additional funds are needed to complete the processing of this application, the applicant will be billed, and processing of the application will cease until the outstanding balance is paid and sufficient funds are available to continue the processing of the application. The applicant understands the deposit fee process as described above, and that there will be **NO** refund of fees which have been expended as part of the application review or other related activities or services, even if the application is withdrawn or the application is ultimately denied.

**PROPERTY INFORMATION:**

Assessor's Parcel Number(s): Please see attached

Approximate Gross Acreage: 1,099.29

**APPLICATION FOR SUBDIVISION AND DEVELOPMENT**

General location (cross streets, etc.): North of Buck Road, South of Borel Road, East of Buck Road, West of Warren Road.

**SUBDIVISION PROPOSAL:**

Map Schedule: B Minimum Developable Lot Size: 1 <sup>10 acre minimum</sup> clustered  
Number of existing lots: 13 Number of proposed developable lots: 116  
Planned Unit Development (PUD): Yes  No  Vesting Map: Yes  No   
Number of proposed non-developable lots (excluding streets): \_\_\_\_\_ Subdivision Density: \_\_\_\_\_ dwelling units per acre.

Is there previous development application(s) filed on the same site: Yes  No

If yes, provide Application No(s). CUP3719  
(e.g. Tentative Parcel Map, Zone Change, etc.)

Initial Study (EA) No. (if known) EA42692 EIR No. (if applicable): \_\_\_\_\_

Have any special studies or reports, such as a traffic study, biological report, archaeological report, geological or geotechnical reports, been prepared for the subject property? Yes  No

If yes, indicate the type of report(s) and provide signed copy(ies): traffic, bio, archeo, geotech.

If the project located within either the Santa Ana River/San Jacinto Valley watershed, the Santa Margarita River watershed, or the Whitewater River watershed, check the appropriate checkbox below.

*If not known, please refer to Riverside County's Map My County website to determine if the property is located within any of these watersheds (search for the subject property's Assessor's Parcel Number, then select the "Geographic" Map Layer – then select the "Watershed" sub-layer)*

If any of the checkboxes are checked, click on the adjacent hyperlink to open the applicable Checklist Form. Complete the form and attach a copy as part of this application submittal package.

- Santa Ana River/San Jacinto Valley
- Santa Margarita River
- Whitewater River

If the applicable Checklist has concluded that the application requires a preliminary project-specific Water Quality Management Plan (WQMP), such a plan shall be prepared and included with the submittal of this application.



**APPLICATION FOR SUBDIVISION AND DEVELOPMENT**

**HAZARDOUS WASTE AND SUBSTANCES STATEMENT**

The development project and any alternatives proposed in this application are contained on the lists compiled pursuant to Section 65962.5 of the Government Code. Accordingly, the project applicant is required to submit a signed statement that contains the following information:

Name of Applicant: \_\_\_\_\_

Address: \_\_\_\_\_

Phone number: \_\_\_\_\_

Address of site (street name and number if available, and ZIP Code): \_\_\_\_\_

Local Agency: County of Riverside

Assessor's Book Page, and Parcel Number: \_\_\_\_\_

Specify any list pursuant to Section 65962.5 of the Government Code: \_\_\_\_\_

Regulatory Identification number: \_\_\_\_\_

Date of list: \_\_\_\_\_

Applicant: \_\_\_\_\_ Date \_\_\_\_\_

**This completed application form, together with all of the listed requirements provided on the Subdivision Application Filing Instructions Handout, are required in order to file an application with the County of Riverside Planning Department.**

Y:\Current Planning\LMS Replacement\Condensed P.D. Application Forms\295-1011 Subdivision Condensed Application.docx  
Created: 04/08/15 Revised: 06/07/16



Carolyn Syms Luna  
Director

# RIVERSIDE COUNTY PLANNING DEPARTMENT

## APPLICATION FOR LAND USE PROJECT

CHECK ONE AS APPROPRIATE:

- PLOT PLAN                       CONDITIONAL USE PERMIT     TEMPORARY USE PERMIT  
 REVISED PERMIT               PUBLIC USE PERMIT             VARIANCE

PROPOSED LAND USE: \_\_\_\_\_

ORDINANCE NO. 348 SECTION AUTHORIZING PROPOSED LAND USE: \_\_\_\_\_

*ALL APPLICATIONS MUST INCLUDE THE INFORMATION REQUIRED UNDER ANY SUPPLEMENTAL INFORMATION LIST APPLICABLE TO THE SPECIFIC PROJECT. ADDITIONAL INFORMATION MAY BE REQUIRED AFTER INITIAL RECEIPT AND REVIEW. INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED.*

CASE NUMBER: CU03719                      DATE SUBMITTED: 1/27/15

### APPLICATION INFORMATION

Applicant's Name: Darren Chin                      E-Mail: darrenc@standardportfolios.com

Mailing Address: 488 E. Santa Clara Street, Suite 304  
Street  
Arcadia CA 91006  
City                                      State                                      ZIP

Daytime Phone No: ( 626 ) 263-5105                      Fax No: ( 626 ) 263-5899

Engineer/Representative's Name: Keith Gardner                      E-Mail: keefgard@gmail.com

Mailing Address: 6149 Bluffwood Drive  
Street  
Riverside CA 92506  
City                                      State                                      ZIP

Daytime Phone No: ( 951 ) 533-2934                      Fax No: ( 951 ) 682-2876

Property Owner's Name: David G. Liu                      E-Mail: \_\_\_\_\_

Mailing Address: 488 E. Santa Clara Street, Suite 304  
Street  
Arcadia CA 91006  
City                                      State                                      ZIP

Daytime Phone No: ( 626 ) 263-5101                      Fax No: (          ) \_\_\_\_\_

Riverside Office · 4080 Lemon Street, 12th Floor  
P.O. Box 1409, Riverside, California 92502-1409  
(951) 955-3200 · Fax (951) 955-1811

Desert Office · 77-588 El Duna Court, Suite H  
Palm Desert, California 92211  
(760) 863-8277 · Fax (760) 863-7555

*"Planning Our Future... Preserving Our Past"*

**APPLICATION FOR LAND USE PROJECT**

If the property is owned by more than one person, attach a separate page that references the application case number and lists the names, mailing addresses, and phone numbers of all persons having an interest in the real property or properties involved in this application.

The Planning Department will primarily direct communications regarding this application to the person identified above as the Applicant. The Applicant may be the property owner, representative, or other assigned agent.

**AUTHORIZATION FOR CONCURRENT FEE TRANSFER**

The signature below authorizes the Planning Department and TLMA to expedite the refund and billing process by transferring monies among concurrent applications to cover processing costs as necessary. Fees collected in excess of the actual cost of providing specific services will be refunded. If additional funds are needed to complete the processing of your application, you will be billed, and processing of the application will cease until the outstanding balance is paid and sufficient funds are available to continue the processing of the application. The applicant understands the deposit fee process as described above, and that there will be NO refund of fees which have been expended as part of the application review or other related activities or services, even if the application is withdrawn or the application is ultimately denied.

All signatures must be originals ("wet-signed"). Photocopies of signatures are **not** acceptable.

**Darren Chin**

PRINTED NAME OF APPLICANT

SIGNATURE OF APPLICANT

**AUTHORITY FOR THIS APPLICATION IS HEREBY GIVEN:**

I certify that I am/we are the record owner(s) or authorized agent and that the information filed is true and correct to the best of my knowledge. An authorized agent must submit a letter from the owner(s) indicating authority to sign the application on the owner's behalf.

All signatures must be originals ("wet-signed"). Photocopies of signatures are **not** acceptable.

**David G. Liu**

PRINTED NAME OF PROPERTY OWNER(S)

SIGNATURE OF PROPERTY OWNER(S)

PRINTED NAME OF PROPERTY OWNER(S)

SIGNATURE OF PROPERTY OWNER(S)

If the property is owned by more than one person, attach a separate sheet that references the application case number and lists the printed names and signatures of all persons having an interest in the property.

See attached sheet(s) for other property owners signatures.

**PROPERTY INFORMATION:**

Assessor's Parcel Number(s): See attached 964-160-004  
Section: 14 Township: 7 South Range: 2 West

APPLICATION FOR LAND USE PROJECT

Approximate Gross Acreage: 155.80 Acres

General location (nearby or cross streets): North of Buck Road, South of Borel Road, East of Berendse Rd., West of Warren Road

Thomas Brothers map, edition year, page number, and coordinates: Page 930, Grid B5, B6, C4-C6, D4-D6

Project Description: (describe the proposed project in detail)

See Attachment

139  
TTM 34466 (Approved), GPA Amendment Filed (May, 2014)

Related cases filed in conjunction with this application:

TTM 34466 (approved)

GPA 1139

Is there a previous application filed on the same site: Yes  No

If yes, provide Case No(s). TR 34466 (Parcel Map, Zone Change, etc.)

E.A. No. (if known) \_\_\_\_\_ E.I.R. No. (if applicable): \_\_\_\_\_

Have any special studies or reports, such as a traffic study, biological report, archaeological report, geological or geotechnical reports, been prepared for the subject property? Yes  No

If yes, indicate the type of report(s) and provide a copy: under separate submittal

Is water service available at the project site: Yes  No

If "No," how far must the water line(s) be extended to provide service? (No. of feet/miles) \_\_\_\_\_

Will the project eventually require landscaping either on-site or as part of a road improvement or other common area improvements? Yes  No

Is sewer service available at the site? Yes  No

If "No," how far must the sewer line(s) be extended to provide service? (No. of feet/miles) 3,800 LF

Will the project result in cut or fill slopes steeper than 2:1 or higher than 10 feet? Yes  No

How much grading is proposed for the project site?

Estimated amount of cut = cubic yards: 219,400 CY

**APPLICATION FOR LAND USE PROJECT**

Estimated amount of fill = cubic yards 219,400 cy

Does the project need to import or export dirt? Yes  No

Import \_\_\_\_\_ Export \_\_\_\_\_ Neither ✓

What is the anticipated source/destination of the import/export? N/A

What is the anticipated route of travel for transport of the soil material? N/A

How many anticipated truckloads? N/A truck loads.

What is the square footage of usable pad area? (area excluding all slopes) \_\_\_\_\_ sq. ft.

Is the project located within 8½ miles of March Air Reserve Base? Yes  No

If yes, will any structure exceed fifty-feet (50') in height (above ground level)? Yes  No

Is the project located within 1000 feet of a military installation, beneath a low-level flight path or within special use airspace as defined in Section 21098 of the Public Resources Code, and within an urbanized area as defined by Section 65944 of the Government Code? (See California Office of Planning and Research website: <http://cmluca.projects.atlas.ca.gov/>) Yes  No

Is the project located within the boundaries of an Airport Land Use Compatibility Plan adopted by the Riverside County Airport Land Use Commission? Yes  No

Does the project area exceed one acre in area? Yes  No

Is the project located within any of the following watersheds (refer to Riverside County Land Information System (RCLIS) (<http://www3.tima.co.riverside.ca.us/pa/rclis/index.html>) for watershed location)?

Santa Ana River                       Santa Margarita River                       Whitewater River

Please note: If your project is within the San Jacinto River as shown on the RCLIS, please check Santa Ana River above and use the Santa Ana River worksheet, "Checklist for Identifying Projects Requiring a Project-Specific Water Quality Management Plan (WQMP) within the Santa Ana River Region" on the following pages.

**APPLICATION FOR LAND USE PROJECT**

**HAZARDOUS WASTE AND SUBSTANCES STATEMENT**

Government Code Section 65962.5 requires the applicant for any development project to consult specified state-prepared lists of hazardous waste sites and submit a signed statement to the local agency indicating whether the project and any alternatives are located on an identified site and shall specify any lists. Under the statute, no application shall be accepted as complete without this signed statement.

I (We) certify that I (we) have investigated our project and any alternatives with respect to its location on an identified hazardous waste site contained on all lists compiled pursuant to Government Code Section 65962.5 and that my (our) answers are true and correct. My (Our) investigation has shown that:

The development project and any alternatives proposed in this application are not contained on the lists compiled pursuant to Section 65962.5 of the Government Code.

The development project and any alternatives proposed in this application are contained on the lists compiled pursuant to Section 65962.5 of the Government Code. Accordingly, the following information is provided and incorporated herein. Attach a separate sheet setting forth the following information with respect to each list.

Name of Applicant: Standard Portfolio Tenecula, LLC.  
Address: 488 E. Santa Clara St. #304 Arcadia CA 91006  
Phone number: 626-2635105  
Address of site (street name and number if available, and ZIP Code):  
Local Agency: County of Riverside  
Assessor's Book Page, and Parcel Number:  
Specify any list pursuant to Section 65962.5 of the Government Code:  
Regulatory Identification number:  
Date of list:

Applicant (1) Darren Chin Damm Date 1/20/2015  
Applicant (2) \_\_\_\_\_ Date \_\_\_\_\_

**HAZARDOUS MATERIALS DISCLOSURE STATEMENT**

Government Code Section 65850.2 requires the owner or authorized agent for any development project to disclose whether:

1. Compliance will be needed with the applicable requirements of Section 25505 and Article 2 (commencing with Section 25531) of Chapter 6.95 of Division 20 of the Health and Safety Code or the requirements for a permit for construction or modification from the air pollution control district or air quality management district exercising jurisdiction in the area governed by the County.  
Yes  No

**APPLICATION FOR LAND USE PROJECT**

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2. The proposed project will have more than a threshold quantity of a regulated substance in a process or will contain a source or modified source of hazardous air emissions.  
Yes  No

I (we) certify that my (our) answers are true and correct.

Owner/Authorized Agent (1) Darren Chin Damel Date 1/20/2015  
Owner/Authorized Agent (2) \_\_\_\_\_ Date \_\_\_\_\_

**APPLICATION FOR LAND USE PROJECT**

Checklist for Identifying Projects Requiring a Project-Specific Water Quality Management Plan (WQMP) within the Santa Ana River Region <sup>1</sup>		
Project File No.		
Project Name:		
Project Location:		
Project Description:		
Applicant Contact Information:		
<b>Proposed Project Consists of, or includes:</b>	<b>YES</b>	<b>NO</b>
Significant Redevelopment: The addition or replacement of 5,000 square feet or more of impervious surface on an already developed site. Does not include routine maintenance activities that are conducted to maintain original line and grade, hydraulic capacity, original purpose of the constructed facility or emergency redevelopment activity required to protect public health and safety.	<input type="checkbox"/>	<input type="checkbox"/>
Residential development that create 10,000 square feet or more of impervious surface (collectively over the entire project site), including residential housing subdivision requiring a Final Map (i.e. detached single family home subdivisions, multi-family attached subdivisions, condominiums, or apartments, etc.).	<input type="checkbox"/>	<input type="checkbox"/>
New Industrial and commercial development where the land area <sup>1</sup> represented by the proposed map or permit is 10,000 square feet or more.	<input type="checkbox"/>	<input type="checkbox"/>
Automotive repair shops (Standard Industrial Classification (SIC) codes <sup>2</sup> 5013, 5014, 5541, 7532, 7533, 7534, 7536, 7537, 7538, 7539)	<input type="checkbox"/>	<input type="checkbox"/>
Mixed use developments that create 10,000 square feet or more of impervious surface (collectively over the entire project site).	<input type="checkbox"/>	<input type="checkbox"/>
Restaurants (SIC code 5812) where the land area of development is 5 000 square feet or more.	<input type="checkbox"/>	<input type="checkbox"/>
Hillside developments 5,000 square feet or more which are located on areas with known erosive soil conditions or where natural slope is 25 percent or more.	<input type="checkbox"/>	<input type="checkbox"/>
Developments of 2,500 square feet of impervious surface or more adjacent to (within 200 feet) or discharging directly into ESA's "Directly" means situated within 200 feet of the ESA; "discharging directly" means outflow from a drainage conveyance system that is composed entirely of flows from the subject development or redevelopment site, and not commingled with flows from adjacent lands.	<input type="checkbox"/>	<input type="checkbox"/>
Parking lots of 5,000 square feet or more exposed to stormwater, where "parking lot" is defined as a land area or facility for the temporary storage of motor vehicles.	<input type="checkbox"/>	<input type="checkbox"/>
Retail Gasoline Outlets that are either 5,000 square feet or more of impervious surface with a projected average daily traffic of 100 or more vehicles per day.	<input type="checkbox"/>	<input type="checkbox"/>
Public Projects other than Transportation Projects, that are implemented by a Permittee and similar in nature to the priority projects described above and meets the thresholds described herein.	<input type="checkbox"/>	<input type="checkbox"/>
Other Development Projects whose site conditions or activity pose the potential for significant adverse impacts to water quality.	<input type="checkbox"/>	<input type="checkbox"/>
<sup>1</sup> Land area is based on acreage disturbed.	<input type="checkbox"/>	<input type="checkbox"/>
<sup>2</sup> Descriptions of SIC codes can be found at <a href="http://www.osha.gov/pls/imis/sicsearch.html">http://www.osha.gov/pls/imis/sicsearch.html</a> .	<input type="checkbox"/>	<input type="checkbox"/>
<b>DETERMINATION: Circle appropriate determination.</b>		
If <u>any</u> question answered "YES" Project requires a project-specific WQMP.		
If <u>all</u> questions answered "NO" Project requires incorporation of Site Design and source control (BMPs) imposed through Conditions of Approval or permit conditions.		



**APPLICATION FOR LAND USE PROJECT**

**Checklist for Identifying Projects Requiring a Project-Specific Standard Stormwater Mitigation Plan (SSMP) within the Santa Margarita River Region**

<b>Project File No.</b>	
<b>Project Name:</b>	<i>Twelve Oaks</i>
<b>Project Location:</b>	<i>N.E. Corner of Black &amp; Roads California Road</i>
<b>Project Description:</b>	<i>Resort / Winery</i>
<b>Applicant Contact Information:</b>	

**Proposed Project Consists of, or includes:**

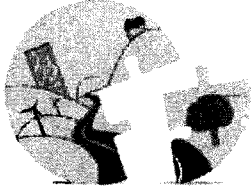
	YES	NO
<b>Redevelopment.</b> The creation, addition or replacement of at least 5,000 square feet of impervious surfaces on an already developed site and the existing development and/or the redevelopment project falls under the project categories or locations listed below in this table. Where redevelopment results in an increase of less than 50% of the impervious surfaces of previously existing development, and the existing development was not subject to SSMP requirements, the numeric sizing criteria [MS4 Permit requirement F.1.d. (6)] applies only to the addition or replacement, and not to the entire development. [Note: Where redevelopment results in an increase of more than 50% of the impervious surfaces of a previously existing development, the numeric sizing criteria applies to the entire development.]	<input type="checkbox"/>	<input type="checkbox"/>
<b>New Development.</b> The creation of 10,000 square feet or more of impervious surfaces (collectively over the entire project site) including commercial, industrial, residential, mixed-use, and public projects.	<input type="checkbox"/>	<input type="checkbox"/>
<b>Automotive repair shops.</b> A facility that is categorized in any one of the following Standard Industrial Classification (SIC) Codes 5013—Motor vehicle supplies or parts, 5014—Tires & Tubes, 5541—Gasoline Service Stations, 7532—Top, Body & Upholstery Repair Shops and Paint Shops, 7533—Automotive Exhaust System Repair Shops, 7534—Tire Retreading and Repair Shops, 7536—Automotive Glass Replacement Shops, 7537—Automotive Transmission Repair Shops, 7538—General Automotive Repair Shops, 7539—Automotive Repair Shops, not elsewhere classified)	<input type="checkbox"/>	<input type="checkbox"/>
<b>Automotive repair shops.</b> A facility that is categorized in any one of the following Standard Industrial Classification (SIC) Codes 5013—Motor vehicle supplies or parts, 5014—Tires & Tubes, 5541—Gasoline Service Stations, 7532—Top, Body & Upholstery Repair Shops and Paint Shops, 7533—Automotive Exhaust System Repair Shops, 7534—Tire Retreading and Repair Shops, 7536—Automotive Glass Replacement Shops, 7537—Automotive Transmission Repair Shops, 7538—General Automotive Repair Shops, 7539—Automotive Repair Shops, not elsewhere classified)	<input type="checkbox"/>	<input type="checkbox"/>
<b>Restaurants.</b> (Standard Industrial Classification (SIC) Code 5812: Establishments primarily engaged in the retail sale of prepared food and drinks for on-premise or immediate consumption, including, but not limited to: Automats (eating places), Beaneries, Box lunch stands, Buffets (eating places), Cafes, Cafeterias, Carry-out restaurants, Caterers, Coffee shops, Commissary restaurants, Concession stands, prepared food (e.g., in airports and sports arenas), Contract feeding, Dairy bars, Diners (eating places), Dining rooms, Dinner theaters, Drive-in restaurants, Fast food restaurants, Food bars, Food service (institutional), Frozen custard stands, Grills, (eating places), Hamburger stands, Hot dog (frankfurter) stands, Ice cream stands, Industrial feeding, Lunch bars, Lunch counters, Luncheonettes, Lunchrooms, Oyster bars, Pizza parlors, Pizzerias, Refreshment stands, Restaurants, Sandwich bars or shops, Snack shops, Soda fountains, Soft drink stands, Submarine sandwich shops, and Tea rooms.) Where the land area for development is greater than 5,000 square feet. Restaurants where land development is less than 5,000 square feet shall meet all SSMP requirements except for structural treatment control BMPs [MS4 Permit requirement F.2.b(3)] and numeric sizing criteria requirement [MS4 Permit Requirement F.1.d.(6)] and hydromodification requirement [MS4 Permit requirement F.1.h].	<input type="checkbox"/>	<input type="checkbox"/>
<b>All Hillside development greater than 5,000 square feet.</b> Any development that creates greater than 5,000 square feet of impervious surface which is located in an area with known erosive soil conditions, where the development will include grading on any natural slope that is 25% or greater.	<input type="checkbox"/>	<input type="checkbox"/>
<b>Environmentally Sensitive Areas (ESAs).</b> 1 All development located within or directly adjacent to or discharging directly to an ESA (where discharges from the development or redevelopment will enter receiving waters within the ESA), which either creates 2,500 square feet of impervious surface on a proposed project site or increases the area of imperviousness of a proposed project site to 10% or more of its naturally occurring condition. "Directly adjacent" means situated within 200 feet of the ESA. "Discharging directly to" means outflow from a drainage conveyance system that is composed entirely of	<input type="checkbox"/>	<input type="checkbox"/>

**APPLICATION FOR LAND USE PROJECT**

flows from the subject development or redevelopment site, and not commingled with flows from adjacent lands.		
<b>Impervious parking lots of 5,000 sq. ft. or more.</b> A land area or facility for the temporary parking or storage of motor vehicles used personally for business or commerce.	<input type="checkbox"/>	<input type="checkbox"/>
<b>Streets, roads, highways, and freeways.</b> Includes any paved impervious surface that is 5,000 square feet or greater used for the transportation of automobiles, trucks, motorcycles, and other vehicles.	<input type="checkbox"/>	<input type="checkbox"/>
<b>Retail Gasoline Outlets (RGOs).</b> Includes RGOs that meet the following criteria: (a) 5,000 square feet or more, or (b) a projected Average Daily Traffic (ADT) of 100 or more vehicles per day.	<input type="checkbox"/>	<input type="checkbox"/>
<p>Areas that include but are not limited to all CWA Section 303(d) impaired water bodies; areas designated as Areas of Special biological Significance by the State Water Resources Control Board (Water Quality Control Plan for the San Diego Basin (1994) and amendments); State Water Quality Protected Areas; water bodies designated with the RARE beneficial use by the State Water Resources Control Board (Water Quality Control Plan for San Diego Basin (1994) and amendments); areas designated as preserves or their equivalent under the Natural Communities Conservation Program within the Cities and County of Orange; and any other equivalent environmentally sensitive areas which have been identified by the Copermittees.</p> <p>The Basin Plan for the San Diego Basin WQMPSSMP (also referred to as a WQMP).  <a href="http://www.waterboards.ca.gov/sandiego/water_issues/programs/basin_plan/docs/update082812/Chpt_2_2012.pdf">www.waterboards.ca.gov/sandiego/water_issues/programs/basin_plan/docs/update082812/Chpt_2_2012.pdf</a>.            The most recent CWA Section 303(d) list can be found at:  <a href="http://www.swrcb.ca.gov/rwqcb9/water_issues/programs/303d_list/index.shtml">http://www.swrcb.ca.gov/rwqcb9/water_issues/programs/303d_list/index.shtml</a>.</p>		
<p><b>DETERMINATION: Circle appropriate determination.</b></p>		
<p>If <b>any</b> question answered "YES" SSMP (also referred to as a WQMP).</p>		
<p>If <b>all</b> questions answered "NO" Project requires incorporation of Site Design Best Management Practices (BMPs) and Source Control BMPs imposed through Conditions of Approval or permit conditions.</p>		

**APPLICATION FOR LAND USE PROJECT**

Checklist for Identifying Projects Requiring a Project-Specific Water Quality Management Plan (WQMP) within the Whitewater River Region		
Project File No.		
Project Name:		
Project Location:		
Project Description:		
Applicant Contact Information:		
<b>Proposed Project Consists of New Construction on a Previously Disturbed and Undisturbed Parcel includes:</b>	<b>YES</b>	<b>NO</b>
Single-family hillside residences that create 10,000 square feet, or more, of impervious area where the natural slope is 25% or greater.	<input type="checkbox"/>	<input type="checkbox"/>
Single-family hillside residences that create 10,000 square feet of impervious area where the natural slope is 10% or greater where erosive soil conditions are known.	<input type="checkbox"/>	<input type="checkbox"/>
Commercial and Industrial developments of 100,000 square feet or more.	<input type="checkbox"/>	<input type="checkbox"/>
Automotive repair shops (Standard Industrial Classification (SIC) Codes 5013—Motor vehicle supplies or parts, 5014—Tires & Tubes, 5541—Gasoline Service Stations, 7532—Top, Body & Upholstery Repair Shops and Paint Shops, 7533—Automotive Exhaust System Repair Shops, 7534—Tire Retreading and Repair Shops, 7536—Automotive Glass Replacement Shops, 7537—Automotive Transmission Repair Shops, 7538—General Automotive Repair Shops, 7539—Automotive Repair Shops, not elsewhere classified)	<input type="checkbox"/>	<input type="checkbox"/>
Retail gasoline outlets disturbing greater than 5,000 square feet.	<input type="checkbox"/>	<input type="checkbox"/>
Restaurants disturbing greater than 5,000 square feet. (Standard Industrial Classification (SIC) Code 5812: Establishments primarily engaged in the retail sale of prepared food and drinks for on-premise or immediate consumption, including, but not limited to: Automats (eating places), Beaneries, Box lunch stands, Buffets (eating places), Cafes, Cafeterias, Carry-out restaurants, Caterers, Coffee shops, Commissary restaurants, Concession stands, prepared food (e.g., in airports and sports arenas), Contract feeding, Dairy bars, Diners (eating places), Dining rooms, Dinner theaters, Drive-in restaurants, Fast food restaurants, Food bars, Food service (institutional), Frozen custard stands, Grills, (eating places), Hamburger stands, Hot dog (frankfurter) stands, Ice cream stands, Industrial feeding, Lunch bars, Lunch counters, Luncheonettes, Lunchrooms, Oyster bars, Pizza parlors, Pizzerias, Refreshment stands, Restaurants, Sandwich bars or shops, Snack shops, Soda fountains, Soft drink stands, Submarine sandwich shops, and Tea rooms.)	<input type="checkbox"/>	<input type="checkbox"/>
Home subdivisions with 10 or more housing units.	<input type="checkbox"/>	<input type="checkbox"/>
Parking lots of 5,000 square feet or more, or with 25 or more parking spaces, and potentially exposed to Urban Runoff.	<input type="checkbox"/>	<input type="checkbox"/>
<b>DETERMINATION: Circle appropriate determination.</b>		
If <u>any</u> question answered "YES" Project requires a project-specific WQMP.		
If <u>all</u> questions answered "NO" Project requires incorporation of Site Design Best Management Practices (BMPs) and Source Control BMPs imposed through Conditions of Approval or permit conditions.		



# RIVERSIDE COUNTY PLANNING DEPARTMENT

Charissa Leach, P.E.  
Assistant TLMA Director

## APPLICATION FOR EXCEPTION TO NOISE ORDINANCE NO. 847

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

### APPLICATION INFORMATION:

Applicant Name: Standard Temecula, LLC

Contact Person: Andrea Arcilla E-Mail: Andrea@epdsolutions.com

Mailing Address: 1250 Mountain View Circle  
Azusa CA 91702  
*City State ZIP*

Daytime Phone No: (949) 278-5413 Fax No: ( )

Engineer/Representative Name: EPD Solutions, Inc.

Contact Person: Andrea Arcilla E-Mail: Andrea@epdsolutions.com

Mailing Address: 2030 Main Street, Suite 1200  
Irvine CA 92614  
*City State ZIP*

Daytime Phone No: (949) 278-5413 Fax No: ( )

Property Owner Name: Standard Temecula, LLC

Contact Person: Andrea Arcilla E-Mail: Andrea@epdsolutions.com

Mailing Address: 1250 Mountain View Circle  
Azusa CA 91702  
*City State ZIP*

Check this box if additional persons or entities have an ownership interest in the subject property(ies) in addition to that indicated above; and attach a separate sheet that references the property address and/or assessor's parcel number and list those names, mailing addresses, phone and fax numbers, and email addresses; and provide signatures of those persons or entities having an interest in the real property(ies) involved in this application.

Riverside Office · 4080 Lemon Street, 12th Floor  
P.O. Box 1409, Riverside, California 92502-1409  
(951) 955-3200 · Fax (951) 955-1811

Desert Office · 77-588 El Duna Court, Suite H  
Palm Desert, California 92211  
(760) 863-8277 · Fax (760) 863-7555

"Planning Our Future... Preserving Our Past"



**APPLICATION FOR AN EXCEPTION TO NOISE ORDINANCE NO. 847**

Describe the sound sources for which the exceptions are being sought, including, but not necessarily limited to the following: audio equipment; motor vehicle sound systems; sound amplifying equipment and live music.

See project description.

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*Attach additional sheets as necessary*

Describe any noise sensitive land uses/sensitive receptors in the vicinity of the site, including, but not necessarily limited to the following: Schools, hospitals, rest homes, long term care facilities, mental health care facilities, residential uses, libraries, passive recreational uses and places of worship.

See project description.

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*Attach additional sheets as necessary*

**This completed application form, together with all of the listed requirements provided on an Exception to Ordinance No. 847 Application Filing Instructions Handout, are required in order to file an application with the County of Riverside Planning Department.**

Y:\Current Planning\LMS Replacement\Condensed P.D. Application Forms\295-1075 NE Condensed Application.docx  
Created: 07/06/2015 Revised: 07/30/2018

**NOTICE OF PUBLIC HEARING BEFORE THE BOARD OF SUPERVISORS OF RIVERSIDE COUNTY ON A TENTATIVE TRACT MAP, CONDITIONAL USE PERMIT, A NOISE EXCEPTION, AND ADOPTION OF A MITIGATED NEGATIVE DECLARATION IN THE RANCHO CALIFORNIA ZONING AREA, THIRD SUPERVISORIAL DISTRICT**

NOTICE IS HEREBY GIVEN that a public hearing at which all interested persons will be heard, will be held before the Board of Supervisors of Riverside County, California, on the 1<sup>st</sup> Floor Board Chambers, County Administrative Center, 4080 Lemon Street, Riverside, on **Tuesday, March 12, 2019 at 10:00 A.M.** or as soon as possible thereafter, to consider the recommendation for approval on **Fast Track No. 2017-03 for Tentative Tract Map No. 37377**, which proposes a Schedule B subdivision proposing to subdivide approximately 636 gross acres into 108 lots consisting of the following : 1) a 76 lot clustered subdivision with lots ranging from 1.00 gross acres to 5.66 gross acres; 2) a 21 lot village estate subdivision with lots ranging from 10.01 gross acres to 20.47 gross acres; 3) a 2.00 gross acre community center lot; 4) a 126.62 gross acre lot for a Class VI Wine Country Resort; 5) 7 open space lots and 2 lots consisting of a realignment/subdivision monument lot and a water reservoir lot. Vineyard planting for the clustered subdivision consists of 67.8 net acres of vineyard within the clustered subdivision and 40.9 net acres of vineyards as deed restriction within the clustered lots of the clustered subdivision for a total of 108.7 net acres of vineyard planting. **Conditional Use Permit No. 3719**, which proposes a Class VI Winery on 126.62 gross acres, referred to as Wine Country Resort. The Wine Country Resort is grouped into 5 Master Plan Areas. Area 1 includes a winery with a wine tasting area, retail sales, and a picnic area with an outdoor kitchen; barrel storage buildings, and an administration building. Area 2 includes a wedding pavilion, a bride's dressing room/restroom building, and an event barn. Area 3 includes a marketplace area consisting of a specialty restaurant, a formal dining restaurant, a private lounge, and a wine country resort retail/event hall building with outdoor areas for bocce courts and live music. Area 4 includes a 3-story, 247 guest room hotel with 4 vineyard suites, a restaurant, an adult pool with pool bar, a kid's pool/play area and spa/fitness center with yoga area, and a salon. Area 5 includes an event center including two ballrooms, a reception hall, and three meeting rooms all for special occasions. **Noise Exception No. 1800003**, has been applied for in relation to the special occasion facility to allow for continuous event exceptions as it pertains to noise. This project is located north of Buck Road, south of Borel Road, west of Warren Road, and east of Anza Road in the Rancho California Zoning Area of the Third Supervisorial District.

The recommendation is that the Board of Supervisors approve the project and adopt a Mitigated Negative Declaration for **Environmental Assessment No. 43043**.

The project case file may be viewed from the date of this notice until the public hearing, Monday through Friday, from 8:00 a.m. to 5:00 p.m. at the Riverside County Planning Department at 4080 Lemon Street, 12th Floor, Riverside, California 92501.

FOR FURTHER INFORMATION REGARDING THIS PROJECT, PLEASE CONTACT TIM WHEELER, PROJECT PLANNER, AT (951) 955-6060 OR EMAIL [twheeler@rivco.org](mailto:twheeler@rivco.org)

Any person wishing to testify in support of or in opposition to the project may do so in writing between the date of this notice and the public hearing, or may appear and be heard at the time and place noted above. All written comments received prior to the public hearing will be submitted to the Board of Supervisors and the Board of Supervisors will consider such comments, in addition to any oral testimony, before making a decision on the project.

If you challenge the above item in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence to the Planning Commission or Board of Supervisors at, or prior to, the public hearing. Be advised that as a result of the public hearing and the consideration of all public comment, written and oral, the Board of Supervisors may amend, in whole or in part, the project and/or the related environmental document. Accordingly, the designations, development standards, design or improvements, or any properties or lands within the boundaries of the project, may be changed in a way other than specifically proposed.

Alternative formats available upon request to individuals with disabilities. If you require reasonable accommodation, please contact Clerk of the Board at (951) 955-1063, at least 72 hours prior to hearing.

Please send all written correspondence to: Clerk of the Board, 4080 Lemon Street, 1st Floor, Post Office Box 1147, Riverside, CA 92502-1147 or email [cob@rivco.org](mailto:cob@rivco.org)

Dated: February 6, 2019

Kecia Harper, Clerk of the Board

By: Stephanie Cribbs, Board Assistant

**PROPERTY OWNERS CERTIFICATION FORM**

I, VINNIE NGUYEN certify that on January 18, 2019,

The attached property owners list was prepared by Riverside County GIS,

APN (s) or case numbers TR37377 / CUP03719 for

Company or Individual's Name RCIT - GIS.

Distance buffered 1000'

Pursuant to application requirements furnished by the Riverside County Planning Department. Said list is a complete and true compilation of the owners of the subject property and all other property owners within 600 feet of the property involved, or if that area yields less than 25 different owners, all property owners within a notification area expanded to yield a minimum of 25 different owners, to a maximum notification area of 2,400 feet from the project boundaries, based upon the latest equalized assessment rolls. If the project is a subdivision with identified off-site access/improvements, said list includes a complete and true compilation of the names and mailing addresses of the owners of all property that is adjacent to the proposed off-site improvement/alignment.

I further certify that the information filed is true and correct to the best of my knowledge. I understand that incorrect or incomplete information may be grounds for rejection or denial of the application.

TITLE: GIS Analyst

ADDRESS: 4080 Lemon Street 9<sup>TH</sup> Floor

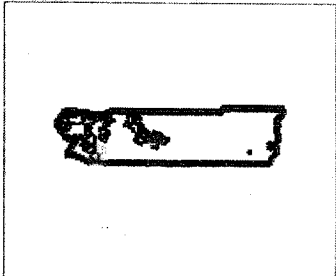
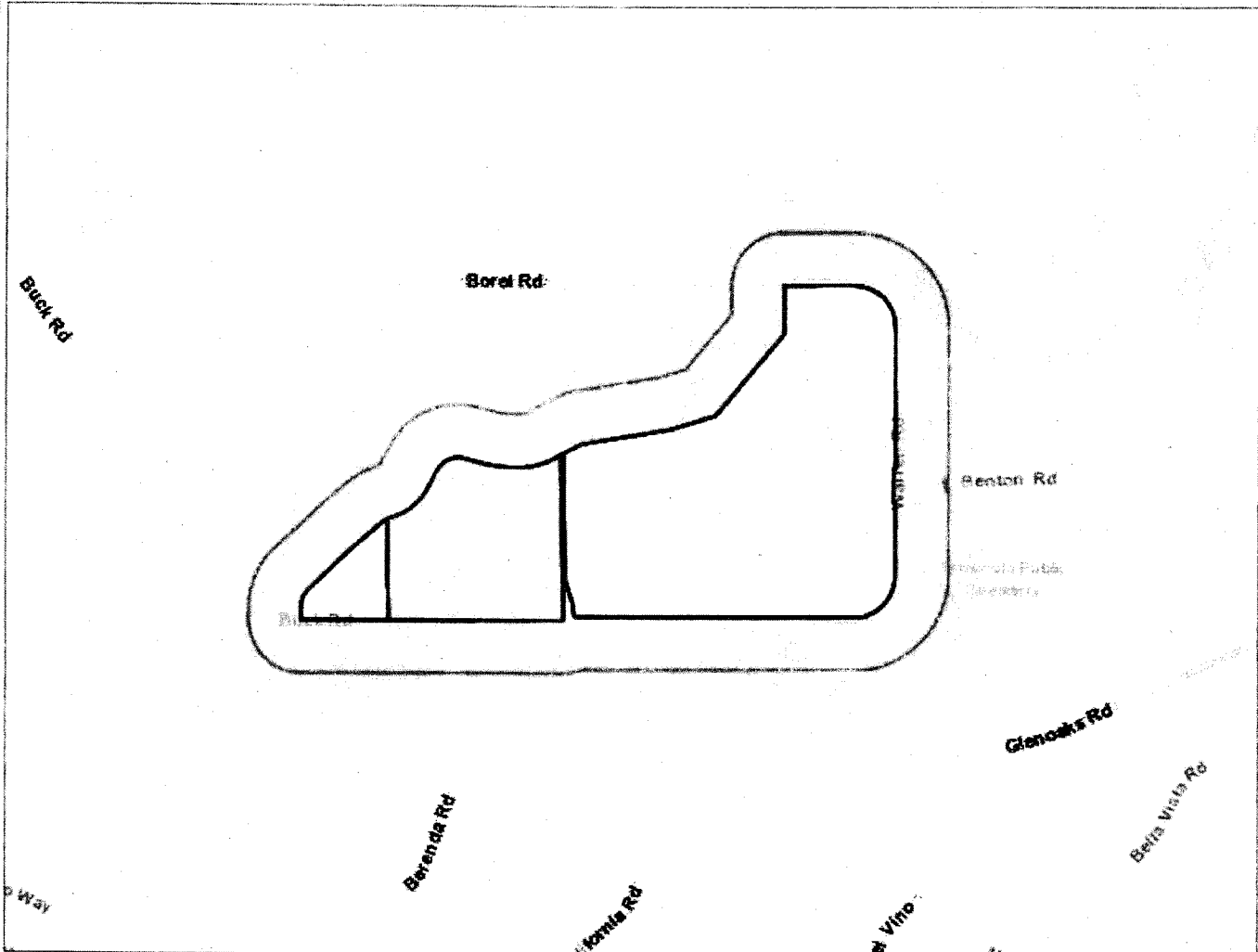
Riverside, Ca. 92502

TELEPHONE NUMBER (8 a.m. – 5 p.m.): (951) 955-8158



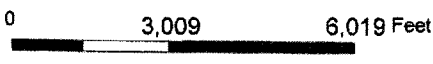
# Riverside County GIS Mailing Labels

TR37377 / CUP03719 ( 1000 feet buffer )



- Legend**
- County Boundary
  - Cities
  - World Street Map

**Notes**



**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

REPORT PRINTED ON... 1/18/2019 4:01:59 PM

© Riverside County RCIT

915060011  
MWD  
C/O C/O ASSEST MANAGEMENT  
P O BOX 54153  
LOS ANGELES CA 90054

915690003  
MARCELO LUIS DOFFO  
36246 SUMMITVILLE ST  
TEMECULA CA. 92592

915690012  
JOHN MICHAEL BARRY  
XIAOPING YANG  
44193 REIDEL ST  
TEMECULA CA 92592

915690013  
ROBERT S RADICAN  
DIANNE M RADICAN  
36161 SUMMITVILLE ST  
TEMECULA CA. 92592

915690015  
SAMBRIDA  
36083 SUMMITVILLE ST  
TEMECULA CA 92592

915690016  
SAMBRIDA  
36083 SUMMITVILLE ST  
TEMECULA CA. 92592

915690026  
CHAPIN FAMILY INV  
C/O C/O STEVEN W CHAPIN  
2381 MARCA PL  
CARLSBAD CA 92009

924360003  
TEMECULA PUBLIC CEMETERY DIST  
41911 C ST  
TEMECULA CA 92592

924370005  
CLEVELAND INV CO INC  
TEMECULA INV CO INC  
28046 DEL RIO RD STE C  
TEMECULA CA 92590

924370016  
NATAHA LIGHTFOOT  
SEOMII LIGHTFOOT  
36125 TRAVIS CT  
TEMECULA CA. 92592

942020001  
CASERMAN DORIS K REVOCABLE LIVING  
C/O C/O DORIS CASERMAN  
4170 ELM NO 213  
LONG BEACH CA 90807

942020002  
DARAN ENTERPRISES  
42772 ALMOND GROVE CIR  
MURRIETA CA 92562

942020003  
KAY F HOWELL  
38999 CAMINO DEL VINO  
TEMECULA CA. 92592

942020004  
LYNDA R HERREID  
P O BOX 890243  
TEMECULA CA 92589

942030003  
FERNANDO J CHAVIRA  
GLORIA L CHAVIRA  
1100 VERA CRUZ ST  
MONTEBELLO CA 90640

942030004  
ALICE H KAMEYA  
9352 OASIS AVE  
WESTMINSTER CA 92683

942030007  
HUDSON WALNUT GROUP  
P O BOX 307  
LA CANADA CA 91012

942030009  
AUSTIN VINEYARDS  
3060 UPHAM ST  
WHEATRIDGE CO 80033

942040001  
PATRICK J STJOHN  
JANIS K STJOHN  
39155 CAMINO DEL VINO  
TEMECULA CA. 92592

942060002  
DJK2  
C/O C/O KAT BAILEY  
35450 CALLE NOPAL  
TEMECULA CA 92592

942100023  
GEOFFREY CATHEY  
SHEENA CATHEY  
39195 AVENIDA ANTONOVICH  
TEMECULA CA. 92591

942100025  
ANTHONY K VOORHIES  
39150 AVENIDA ANTONOVICH  
TEMECULA CA. 92591

942100028  
TODD H EGGERS  
PATRICIA EGGERS  
KENNETH DIXON

942100029  
ROBERT JOSEPH PETRISIN  
32290 CORTE SAN VICENTE  
TEMECULA CA 92592

P O BOX 893896  
TEMECULA CA 92589

942100030  
MANUEL R NEGRETE  
MARIA A NEGRETE  
39060 AVENIDA ANTONOVICH  
TEMECULA CA. 92592

942100039  
RANCHO CALIF WATER DIST  
C/O C/O GENERAL MANAGER  
P O BOX 9017  
TEMECULA CA 92589

942100040  
DAVID SAKATA  
36580 RANCHO CALIFORNIA RD  
TEMECULA CA. 92591

942100041  
JUAN C REYES  
LAURA E REYES  
37000 BUCK RD  
TEMECULA CA. 92591

942100042  
DANIEL E GREENE  
SUSAN L GREENE  
37100 AVENIDA ANTONOVICH  
TEMECULA CA. 92591

942110006  
ROY PAUL PHILLIPS  
LINA PHILLIPS  
P O BOX 890823  
TEMECULA CA 92589

942120005  
BRIAN RICHARD DEEGAN  
MARISSA DEEGAN  
34515 BUCK RD  
TEMECULA CA. 92592

942120007  
JAMES A CARTER  
3719 S PLAZA DR  
SANTA ANA CA 92704

942120008  
PHILLIPS BENTHEY BAILY  
CAROL JEAN BAILY  
36150 PAUBA RD  
TEMECULA CA 92592

942120009  
EDNA R BARNES  
39615 BERENDA RD  
TEMECULA CA 92591

942120012  
EDNA R BARNES  
39615 BERENDA RD  
TEMECULA CA 92591

942130007  
HUNG LEE  
ANNIE NGO LEE  
CAU LUU  
C/O CAU LUU  
6519 HAVENWOOD CIR  
HUNTINGTON BEACH CA 92648

942130008  
CHET A ASHBAUGH  
41960 HUMBER DR  
TEMECULA CA 92591

942130009  
DANIEL YAP  
DEANNA YAP  
1355 STONE MEADOW CT  
CAMARILLO CA 93010

942130010  
MY THI CAMPUS  
2278 COUNTRY CLUB LOOP  
WESTMINSTER CO 80234

942130011  
MATZAK K SIMONIAN  
ALICE SIMONIAN  
342 N NORTON AVE  
LOS ANGELES CA 90004

942130016  
DANA HOWE  
2106 CRYSTAL DOWNS  
CORONA CA 92881

942130017  
SUNDALE INV  
40673 CEBU ST  
TEMECULA CA 92591

942130018  
ALBERTO CORTES  
RHONDA CORTES  
45640 CORTE ROYAL  
TEMECULA CA 92592

942130019  
DANA HOWE  
2106 CRYSTAL DOWNS DR  
CORONA CA 92883

942170008  
WILSON CREEK FAMILY  
35960 RANCHO CALIFORNIA  
TEMECULA CA 92591

964070010  
YICHIN WANG  
18955 AMBERLY PL  
ROWLAND HEIGHTS CA 91748

964160003  
ATEF NASRI KARAM  
C/O C/O CHARLY E MOUBAYED  
18820 APHRODITE LN  
SANTA CLARITA CA 91351

964160008  
WESTERN RIVERSIDE CO REG CONSERV  
C/O C/O DEPT OF FACILITIES MANAGEMENT  
3133 MISSION INN AVE  
RIVERSIDE CA 92507

964160009  
STANDARD TEMECULA  
C/O C/O DAVID G LIU  
1250 MOUNTAIN VIEW CIR  
AZUSA CA 91702

EPD Solutions

2030 Main St. #1200  
Irvine, CA 92614

Attr: Andrea Arcilla & Jeremy Krout

Standard Portfolios Temecula  
488 E. Santa Clara St. Ste. 304  
Arcadia, CA 91006

Visit Temecula Valley Wine Country  
28690 Mercedes Ave., Suite A  
Temecula, CA 92590

Temecula Valley Winegrowers Association  
P.O. Box 1601  
29377 Rancho California Road Suite #203  
Temecula, CA 92593

Pechanga Temecula Band of Luiseño Indians  
Ebru Ozdil, Planning Specialist  
P.O. Box 2183  
Temecula, CA 92593

RCHA (Rancho California Horseman Association)  
P.O. Box 1622  
Temecula CA 92593

Rancho California Water District  
42135 Winchester Road  
Temecula, CA 92590  
Attn: Jeff Kirshberg, Ph.D., P.E.

Eastern Municipal Water District  
P.O. Box 8300  
Perris, CA 92572-8300  
Attn: Joe Mouawad, Asst. General Mgr.

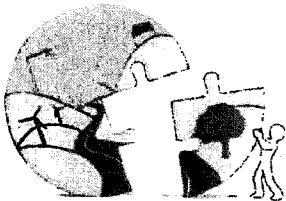
Larry Smalley  
35725 Los Nogales Rd.  
Temecula CA 92592

Lorraine F. Harrington  
35820 Pauba Rd.  
Temecula CA 92592

The GlenOak Hills HOA  
Avalon Management Group, John Ellett  
43529 Ridge Park Drive  
Temecula, CA 92590

Terilee Hammett  
40540 Chaparral Drive  
Temecula, CA 92592

Steve Hooper  
32710 Summersweet Dr  
Winchester, CA 92596



# RIVERSIDE COUNTY PLANNING DEPARTMENT

**Charissa Leach**  
Assistant TLMA Director

TO:  Office of Planning and Research (OPR)  
P.O. Box 3044  
Sacramento, CA 95812-3044  
 County of Riverside County Clerk

FROM: Riverside County Planning Department  
 4080 Lemon Street, 12th Floor  
P. O. Box 1409  
Riverside, CA 92502-1409

38686 El Cerrito Road  
Palm Desert, California 92211

**SUBJECT: Filing of Notice of Determination in compliance with Section 21152 of the California Public Resources Code.**

**TR37377 / CUP03719 / NE1800003 / EA43043**  
Project Title/Case Numbers

**Tim Wheeler**  
County Contact Person

**(951) 955-6060**  
Phone Number

**SCH# 2019029033** - received February 7, 2019  
State Clearinghouse Number (if submitted to the State Clearinghouse)

**Standard Temecula LLC**  
Project Applicant

**488 E. Santa Clara Street, Suite 304 Arcadia, CA 91006**  
Address

**The project is north of Buck Road, south of Borel Road, west of Rancho California Road and Warren Road, and east of Anza Road.**  
Project Location

**Tentative Tract Map No. 37377 is a proposal for a Schedule B subdivision proposing to subdivide approximately 636 gross acres into 108 lots consisting of the following: 1) a 76 lot clustered subdivision (Lots 22 thru 97) with lots ranging from 1.00 gross acre to 5.66 gross acres; 2) a 21 lot village estate subdivision (Lots 1 thru 21) with lots ranging from 10.01 gross acres to 20.47 gross acre; 3) a 2.00 gross acre community center lot (Lot 98); 4) a 126.62 gross acre lot (Lot 99) for a reservoir lot. Vineyard planting for the clustered subdivision consists of 67.8 net acres of vineyard within the clustered subdivision and 40.9 net acres of vineyards as deed restriction within the clustered lots of the clustered subdivision for a total of 108.7 net acres of vineyard planting, meeting the 75% vineyard planting requirement per Ordinance No. 348, Section 14.93.B.3. **Conditional Use Permit No. 3719** is a proposal for a Class VI Winery on 126.62 gross acres (Lot 99 of TR37377), referred to as a Wine Country Resort. The Wine Country Resort is grouped into 5 Master Plan Areas. Area 1 - Includes a winery with a wine tasting area, retail sales, and a picnic area with an outdoor kitchen, barrel storage buildings, and an administration building. Area 2 - includes a wedding pavilion, a bride's dressing room/restroom building, and an event barn. Area 3 - includes a marketplace area consisting of a specialty restaurant, a formal dining restaurant, a private lounge, and a wine country resort retail/event hall building with outdoor areas for possible bocce courts and live music. Area 4 - consists of a three-story 247 guest room hotel with 4 vineyard suites, a restaurant, an adult pool with pool bar, a kid's pool/play area and spa/fitness center with yoga area and a salon. Area 5 - includes an event center including two ballrooms, a reception hall, and three meeting rooms all for special occasions. The special occasion facility events include, but not limited to, weddings, public events, private events, and corporate events. Total building area for the Wine Country Resort is approximately 358,724 sq. ft. The project will provide 957 parking spaces, including 20 ADA and 21 electric vehicle parking spaces. Vineyard planting consists of 86.7 net acres of vineyard and 4.1 net acres of olive trees for a total of 90.8 net acres of vineyard planting, meeting the 75% vineyard planting requirement per Ordinance No. 348, Section 14.93.E.1. **Noise Exception No. 1800003** has been applied for in relation to the special occasion facility (outdoor events, weddings, and/or live music with amplified sound) to allow for continuous event exceptions as it pertains to noise as required per Ordinance No. 348, Section 14.93.C.4**

This is to advise that the Riverside County Board of Supervisors, as the lead agency, has approved the above-referenced project on March 12, 2019, and has made the following determinations regarding that project:

1. The project WILL NOT have a significant effect on the environment.
2. An Environmental Impact Report was not prepared for the project pursuant to the provisions of the California Environmental Quality Act (\$3,069.75+\$50.00) and reflect the independent judgment of the Lead Agency.
3. Mitigation measures WERE made a condition of the approval of the project.
4. A Mitigation Monitoring and Reporting Plan/Program WAS NOT adopted.
5. A statement of Overriding Considerations WAS NOT adopted
6. Findings were made pursuant to the provisions of CEQA.

This is to certify that the earlier EA, with comments, responses, and record of project approval is available to the general public at: Riverside County Planning Department, 4080 Lemon Street, 12th Floor, Riverside, CA 92501.

Signature

Project Planner

March 12, 2019

Title

Date

Date Received for Filing and Posting at OPR:

Please charge deposit fee case#: ZEA43043 ZCFG06075

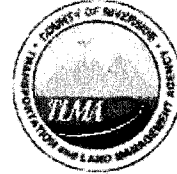
FOR COUNTY CLERK'S USE ONLY



**INVOICE (PLAN CFG06075)  
FOR RIVERSIDE COUNTY**

**BILLING CONTACT**  
Darren Chin

**County of Riverside  
Trans. & Land Management Agency**



488 E Santa Clara St, Ste 304  
Arcadia, Ca 91006

INVOICE NUMBER	INVOICE DATE	INVOICE DUE DATE	INVOICE STATUS
PLAN-CFG06075	05/20/2014	05/20/2014	Paid In Full

REFERENCE NUMBER	FEE NAME	TOTAL
CFG06075	0451 - CF&G TRUST	\$2,216.25
	0452 - CF&G TRUST: RECORD FEES	\$50.00
38901 Warren Rd Temecula,		<b>SUB TOTAL</b>
		\$2,266.25

**TOTAL** **\$2,266.25**

<b>Please Remit Payment To:</b>
County of Riverside P.O. Box 1605 Riverside, CA 92502

<b>Credit Card Payments By Phone:</b>
760-863-7735

**For Questions Please Visit Us at the Following Locations:**

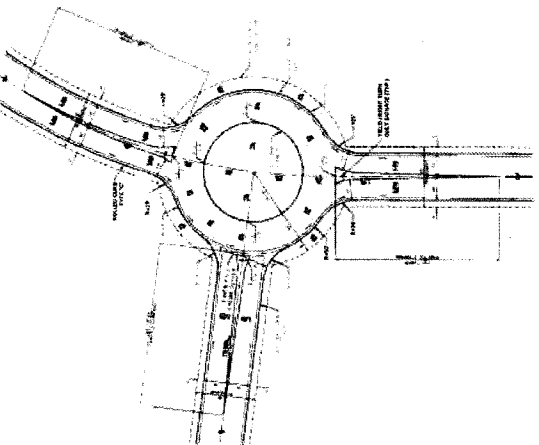
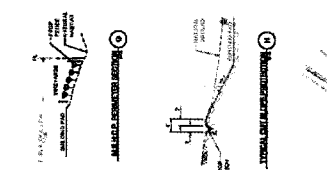
Riverside Permit Assistance Center  
4080 Lemon St., 9th-FL  
Riverside, CA 92501

Desert Permit Assistance Center  
77588 El Duna Ct., Ste H  
Palm Desert, CA 92211

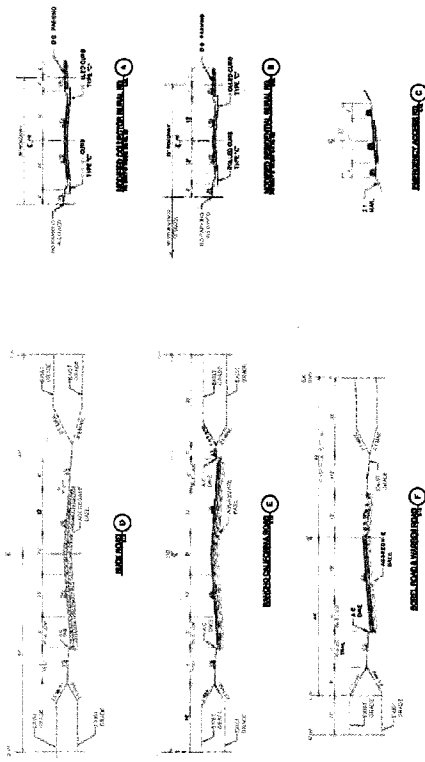


**COUNTY OF RIVERSIDE  
TENTATIVE TRACT MAP No. 37377  
TWELVE OAKS**

TRACT NO.	ACRES	APPROXIMATE VALUE
1	1.00	100,000
2	1.00	100,000
3	1.00	100,000
4	1.00	100,000
5	1.00	100,000
6	1.00	100,000
7	1.00	100,000
8	1.00	100,000
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96	1.00	100,000
97	1.00	100,000
98	1.00	100,000
99	1.00	100,000
100	1.00	100,000



**FIGURE 1**  
TOTAL ROUNDABOUT



**FIGURE 2**  
ROADWAY SECTION

**COUNTY OF RIVERSIDE**  
PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT  
1000 G STREET, SUITE 200, RIVERSIDE, CA 92501  
TEL: 951-948-1000 FAX: 951-948-1001

**FUSCO**  
ENGINEERS AND ARCHITECTS  
1000 G STREET, SUITE 200, RIVERSIDE, CA 92501  
TEL: 951-948-1000 FAX: 951-948-1001

**FIGURE 3**  
TOTAL ROUNDABOUT

**FIGURE 4**  
ROADWAY SECTION

**FIGURE 5**  
ROADWAY SECTION

**FIGURE 6**  
ROADWAY SECTION

**FIGURE 7**  
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**FIGURE 8**  
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**FIGURE 9**  
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**FIGURE 10**  
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**FIGURE 11**  
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**FIGURE 98**  
ROADWAY SECTION

**FIGURE 99**  
ROADWAY SECTION

**FIGURE 100**  
ROADWAY SECTION

**LAND USE SUMMARY:**  
RESIDENTIAL SINGLE-FAMILY: 100%  
RESIDENTIAL MEDIUM-DENSITY: 0%  
RESIDENTIAL HIGH-DENSITY: 0%  
COMMERCIAL: 0%  
INDUSTRIAL: 0%  
OFFICE: 0%  
SCHOOL: 0%  
RECREATION: 0%  
PARKING: 0%  
TOTAL: 100%

**LAND USE SUMMARY:**  
RESIDENTIAL SINGLE-FAMILY: 100%  
RESIDENTIAL MEDIUM-DENSITY: 0%  
RESIDENTIAL HIGH-DENSITY: 0%  
COMMERCIAL: 0%  
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RECREATION: 0%  
PARKING: 0%  
TOTAL: 100%

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PARKING: 0%  
TOTAL: 100%

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OFFICE: 0%  
SCHOOL: 0%  
RECREATION: 0%  
PARKING: 0%  
TOTAL: 100%

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SCHOOL: 0%  
RECREATION: 0%  
PARKING: 0%  
TOTAL: 100%

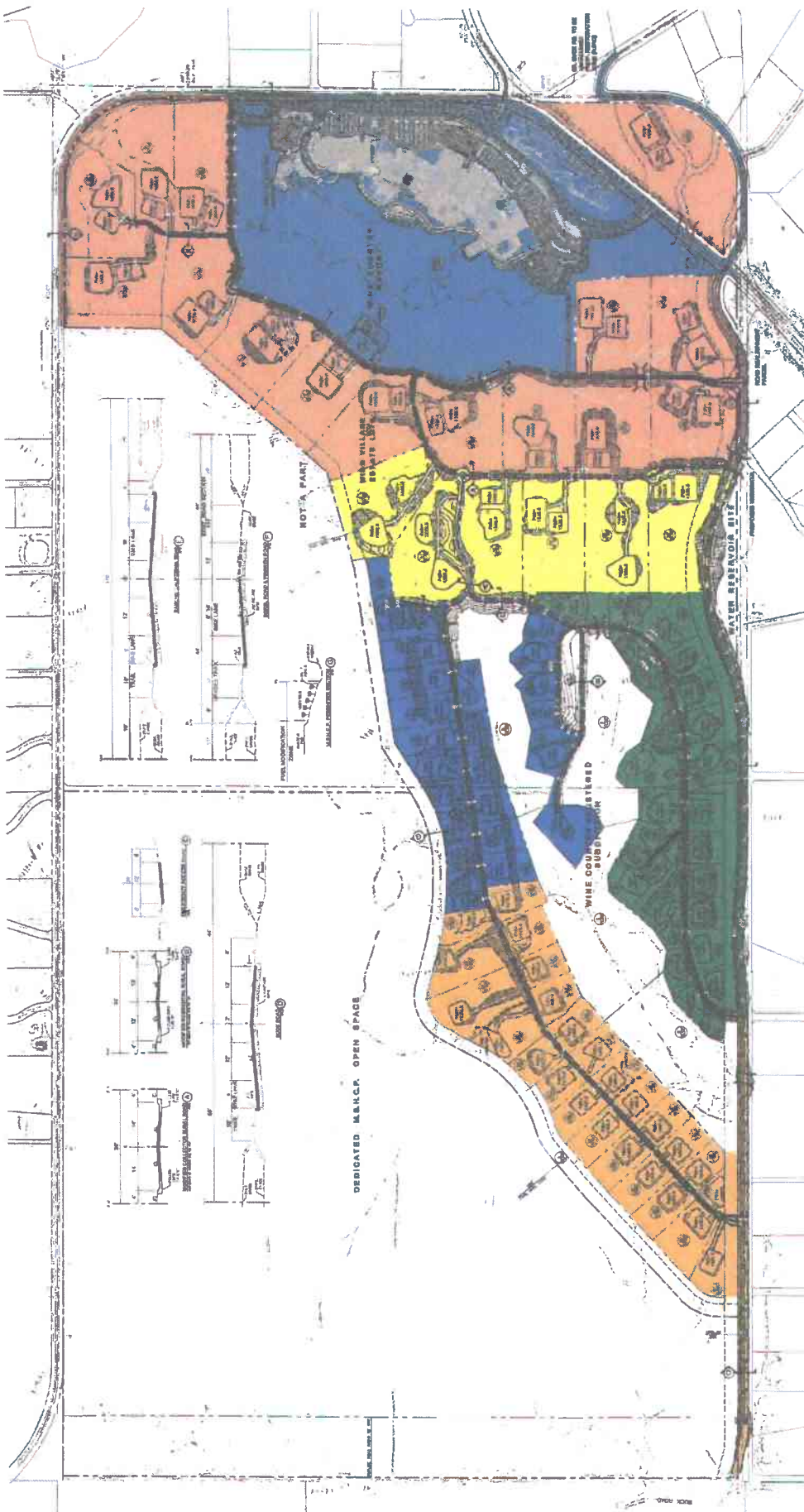
**LAND USE SUMMARY:**  
RESIDENTIAL SINGLE-FAMILY: 100%  
RESIDENTIAL MEDIUM-DENSITY: 0%  
RESIDENTIAL HIGH-DENSITY: 0%  
COMMERCIAL: 0%  
INDUSTRIAL: 0%  
OFFICE: 0%  
SCHOOL: 0%  
RECREATION: 0%  
PARKING: 0%  
TOTAL: 100%

**LAND USE SUMMARY:**  
RESIDENTIAL SINGLE-FAMILY: 100%  
RESIDENTIAL MEDIUM-DENSITY: 0%  
RESIDENTIAL HIGH-DENSITY: 0%  
COMMERCIAL: 0%  
INDUSTRIAL: 0%  
OFFICE: 0%  
SCHOOL: 0%  
RECREATION: 0%  
PARKING: 0%  
TOTAL: 100%



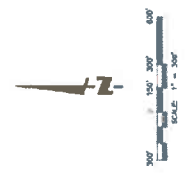






PHASE 1 CLUSTERED & WINE VILLAGE ESTATE		PHASE 2 CONCEPTUAL UTILITIES	
NO. OF LOTS	11,143	NO. OF LOTS	11,143
NO. OF ACRES	11,143	NO. OF ACRES	11,143
NO. OF UNITS	11,143	NO. OF UNITS	11,143
NO. OF PHASES	11,143	NO. OF PHASES	11,143
NO. OF CLUSTERS	11,143	NO. OF CLUSTERS	11,143
NO. OF ESTATE LOTS	11,143	NO. OF ESTATE LOTS	11,143
NO. OF CLUSTERED LOTS	11,143	NO. OF CLUSTERED LOTS	11,143
NO. OF RESORT LOTS	11,143	NO. OF RESORT LOTS	11,143
NO. OF WATER LOTS	11,143	NO. OF WATER LOTS	11,143
NO. OF OPEN SPACE	11,143	NO. OF OPEN SPACE	11,143
NO. OF UTILITIES	11,143	NO. OF UTILITIES	11,143
NO. OF PHASES	11,143	NO. OF PHASES	11,143
NO. OF CLUSTERS	11,143	NO. OF CLUSTERS	11,143
NO. OF ESTATE LOTS	11,143	NO. OF ESTATE LOTS	11,143
NO. OF CLUSTERED LOTS	11,143	NO. OF CLUSTERED LOTS	11,143
NO. OF RESORT LOTS	11,143	NO. OF RESORT LOTS	11,143
NO. OF WATER LOTS	11,143	NO. OF WATER LOTS	11,143
NO. OF OPEN SPACE	11,143	NO. OF OPEN SPACE	11,143
NO. OF UTILITIES	11,143	NO. OF UTILITIES	11,143

- LEGEND:**
- RESORT (15)
  - ESTATE LOTS (6)
  - CLUSTERED LOTS (27)
  - CLUSTERED LOTS (25)
  - CLUSTERED LOTS (24)



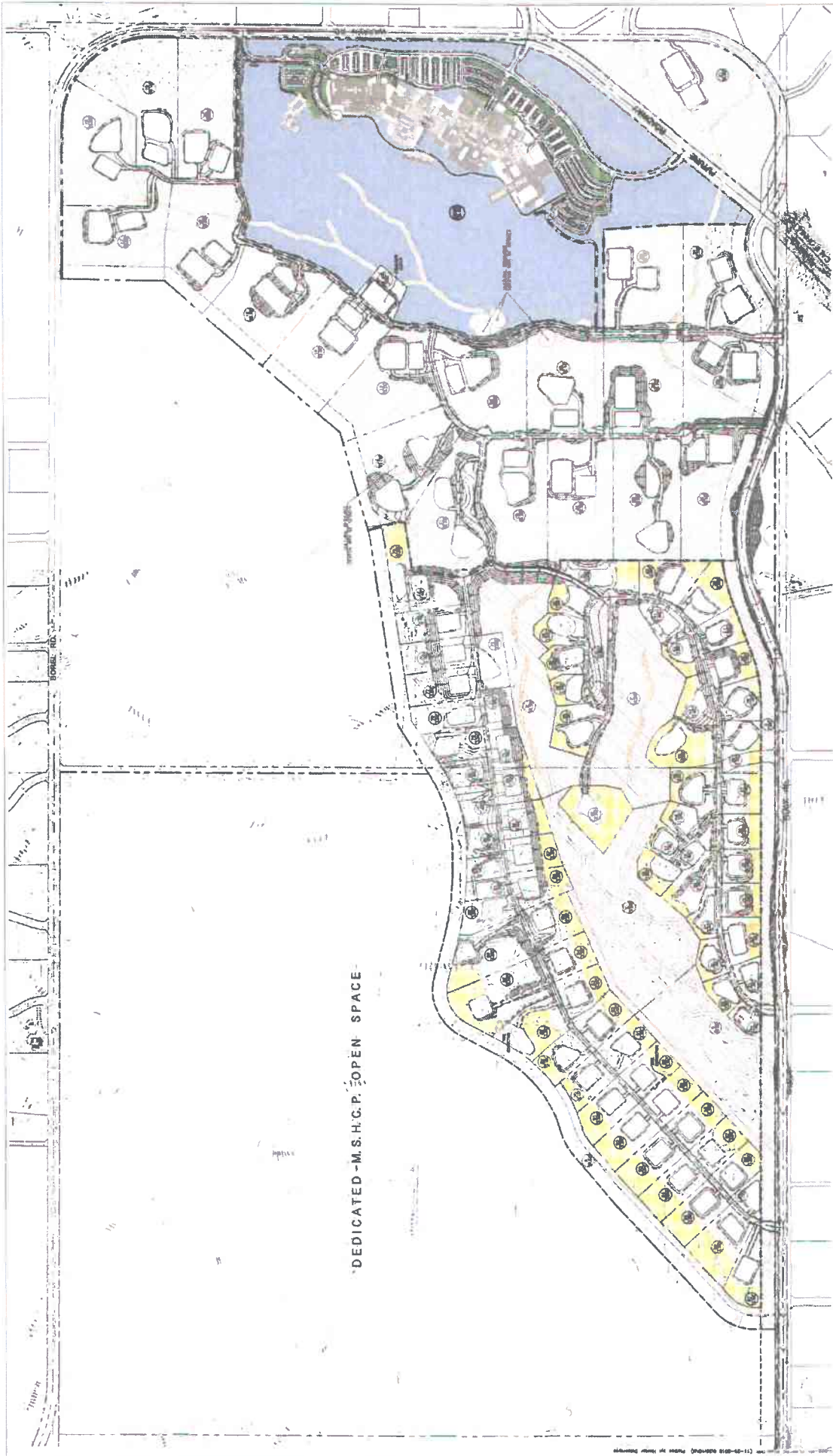
**TWELVE OAKS PHASE 1, 2, 3, 4, 5 & 6 EXHIBITS**

TEMECULA, CALIFORNIA

February 20, 2018



CASE: TR37377  
 EXHIBIT P: Phasing Plan  
 PLANNER: T. Wheeler  
 DATE: March 12, 2019



DEDICATED - M.S.H.C.P. OPEN SPACE

**LEGEND**

	NET CLUSTERED DEVELOPMENT AREA = 143.4 AC. X.75% = 107.8 AC. REQUIRED		NET RESORT DEVELOPMENT AREA (NDA) = 126.5 AC. X.75% = 94.9 AC. REQUIRED
	VINEYARD PLANTING AREAS: CLUSTERED LOTS = 87.2 AC.		WINE COUNTRY RESORT VINEYARD PLANTING = 85.2 AC.
	VINEYARD IN DEED RESTRICTED AREAS: CLUSTERED LOTS = 60.9 AC.		WINE COUNTRY RESORT ORCHARD PLANTING = 41.5 AC.
	TOTAL PLANTING = 148.1 AC.		TOTAL PLANTING = 80.3 AC.
	NET CLASS II WINEY DEVELOPMENT AREA = 148.8 AC. X.75% = 111.6 AC. REQUIRED		PHASE BOUNDARY
	POTENTIAL CLASS II WINEY = 158.8 AC.		DRAINAGE AREA (SMA NO PLANTING ZONE)
			ROUND BOTTOM SWALE (SMA NO PLANTING ZONE)

**TWELVE OAKS  
VINEYARD PLANTING PLAN**  
TEMECULA, CA  
OCTOBER 13, 2017 (REV. NOVEMBER 26, 2018)

CASE: TR37377/CUP03719  
EXHIBIT V: Master Vineyard Planting Plan  
PLANNER: T. Wheeler  
DATE: March 12, 2019






**LEGEND:**

- PRIMARY PAD
- SECONDARY PAD
- GRADED AREA
- RIPIARIAN AREA
- VINEYARD ACCESS AND STAGING AREA
- LANDSCAPED BERM
- EXISTING FLOW LINE
- EXISTING TRAILS TO REMAIN
- EXISTING TRAILS TO BE ABANDONED
- PROPOSED TRAILS
- (TO BE MAINTAINED BY HOA/POA THROUGH A DEED RESTRICTION)

**TWELVE OAKS TRAIL PLAN**  
**TEMECULA, CALIFORNIA**  
**STANDARD PORTFOLIO**  
 January 15, 2018



**CASE: TR37377**  
**EXHIBIT T: Trail Exhibit Plan**  
**PLANNER: T. Wheeler**  
**DATE: March 12, 2019**

14705 Main Street, Suite 100  
 Temecula, CA 92591  
 Tel: 951.271.1300 • Fax: 951.271.1315  
 www.tandep.com

P:\Projects\174620\174620\_02\CDRINAL\121518\_001\_Plan\_CDR.dwg Plot on: P:\Projects\174620\_02\CDRINAL\121518\_001\_Plan\_CDR.dwg Plotted by: mwh/174620



# Twelve Oaks Winery Resort

Temecula, California

38901 Warren Road  
Temecula, California 92563

CASE: CUP03719  
EX.(s) A, B, C, L, M: Master Plan  
PLANNER: T. Wheeler  
DATE: March 12, 2019



CONDITIONAL USE PERMIT  
NO. 3719 AMENDMENT PERMIT #4  
NOVEMBER 20, 2017

**ACRM**  
AMERICAN COUNCIL OF REGIONAL MUNICIPALITIES  
AMERICAN COUNCIL OF PLANNING AND DEVELOPMENT  
1501 BRIDGEWAY, SUITE 100  
SAN DIEGO, CA 92108-2970  
PHONE: (619) 594-5400  
FACSIMILE: (619) 594-5401  
WWW.ACRM.ORG

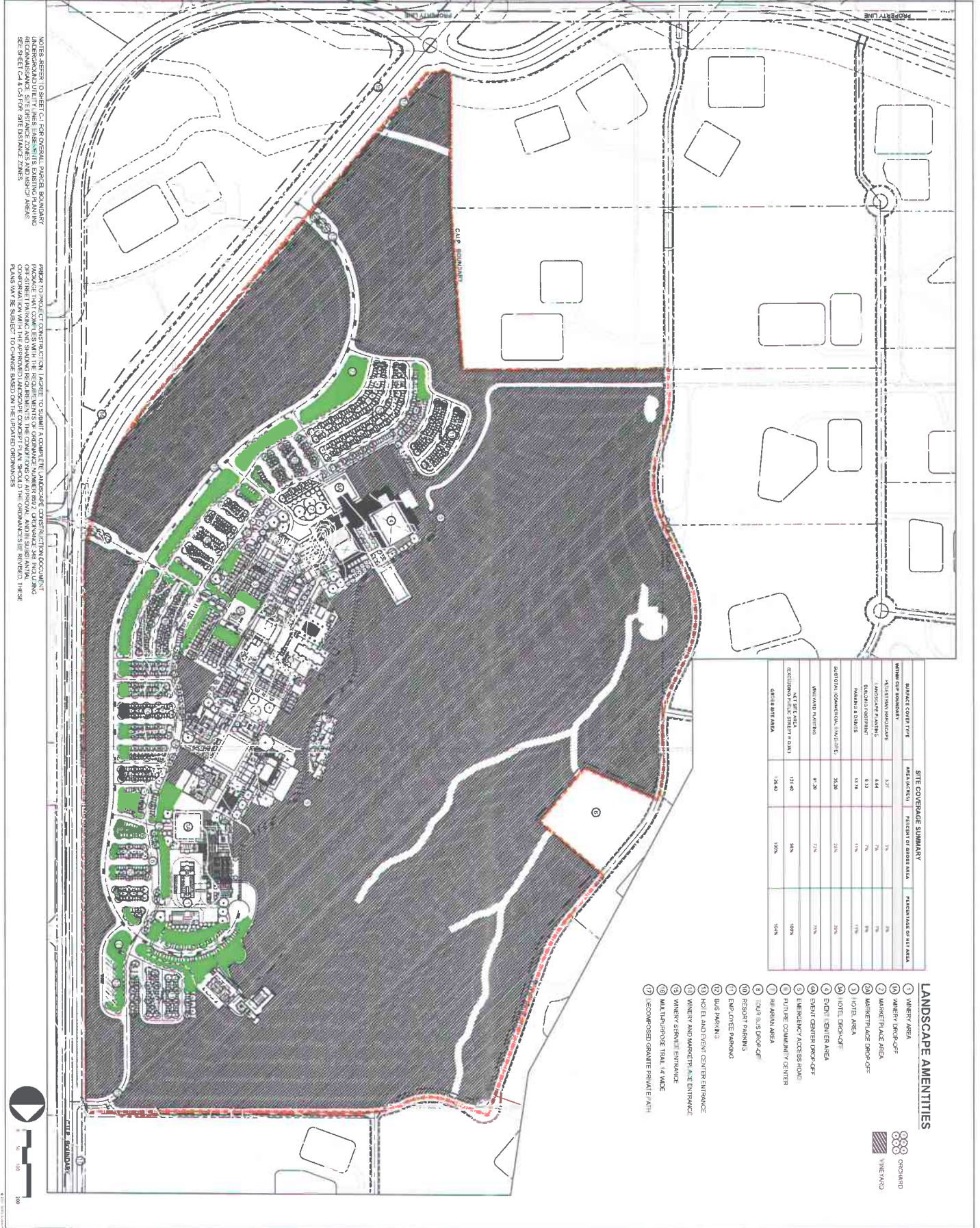
**Twelve Oaks Winery Resort**  
38901 WARREN ROAD TEMECULA, CALIFORNIA 92563  
**CONDITIONAL USE PERMIT  
No. 3719, AMENDMENT #2**

**City of Temecula**  
38901 Warren Road, Suite 100  
Temecula, CA 92563  
Phone: (951) 261-1100  
Fax: (951) 261-1101  
www.temecula.org

Item	Description	Quantity	Unit
1	COVER SHEET	1	SHEET
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4	...	...	...
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Conditional Use Permit No. 3719  
Amendment #2  
**CS**





SITE COVERAGE SUMMARY			
STRUCTURE TYPE	AREA (ACRES)	PERCENT OF TOTAL AREA	PERCENTAGE OF NET AREA
WINEY AREA	3.27	7%	8%
WINEY CENTER OFF	4.84	11%	12%
WINEY SERVICE ENTRANCE	9.32	21%	23%
WINEY AND WINEY SERVICE ENTRANCE	13.78	31%	34%
WINEY SERVICE ENTRANCE	35.20	81%	88%
WINEY CENTER OFF	8.20	19%	20%
WINEY SERVICE ENTRANCE	121.40	28%	30%
WINEY AND WINEY SERVICE ENTRANCE	194.40	46%	50%
WINEY SERVICE ENTRANCE			100%

- ### LANDSCAPE AMENITIES
- 1 WINEY AREA
  - 2 WINEY CENTER OFF
  - 3 WINEY SERVICE ENTRANCE
  - 4 WINEY AND WINEY SERVICE ENTRANCE
  - 5 WINEY SERVICE ENTRANCE
  - 6 WINEY CENTER OFF
  - 7 WINEY SERVICE ENTRANCE
  - 8 WINEY AND WINEY SERVICE ENTRANCE
  - 9 WINEY SERVICE ENTRANCE
  - 10 WINEY CENTER OFF
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  - 97 WINEY SERVICE ENTRANCE
  - 98 WINEY CENTER OFF
  - 99 WINEY SERVICE ENTRANCE
  - 100 WINEY AND WINEY SERVICE ENTRANCE

NOTE: REFER TO SHEET C-1 FOR GENERAL NOTES, BOUNDARY UNDERGROUND UTILITY LINES, ASSESSMENTS, EXISTING PLANNING RECONSTRUCTION SITE DISTANCE ZONES AND OTHER AREAS. SEE SHEET C-1 FOR SITE DISTANCE ZONES.

PROVIDE TO THE CITY OF TEMECULA, CALIFORNIA, TO OBTAIN A COMMUNITY DEVELOPMENT DEPARTMENT REVIEW AND APPROVAL OF THE PROJECT. THE CITY OF TEMECULA, CALIFORNIA, IS THE REVIEWING AGENCY FOR THE PROJECT. THE CITY OF TEMECULA, CALIFORNIA, IS THE REVIEWING AGENCY FOR THE PROJECT. THE CITY OF TEMECULA, CALIFORNIA, IS THE REVIEWING AGENCY FOR THE PROJECT.

**Twelve Oaks Winery Resort**  
3801 WARREN ROAD TEMECULA, CALIFORNIA 92563

**CONDITIONAL USE PERMIT No. 3719, AMENDMENT #3**

**ACRM**  
ARCHITECTS & ENGINEERS  
3801 WARREN ROAD, SUITE 200  
TEMECULA, CA 92591-5570  
PHONE: (949) 398-8400  
FAX: (949) 398-8401  
WWW.ACRM.COM

**Twelve Oaks Winery Resort**  
3801 WARREN ROAD TEMECULA, CALIFORNIA 92563

**CONDITIONAL USE PERMIT No. 3719, AMENDMENT #3**

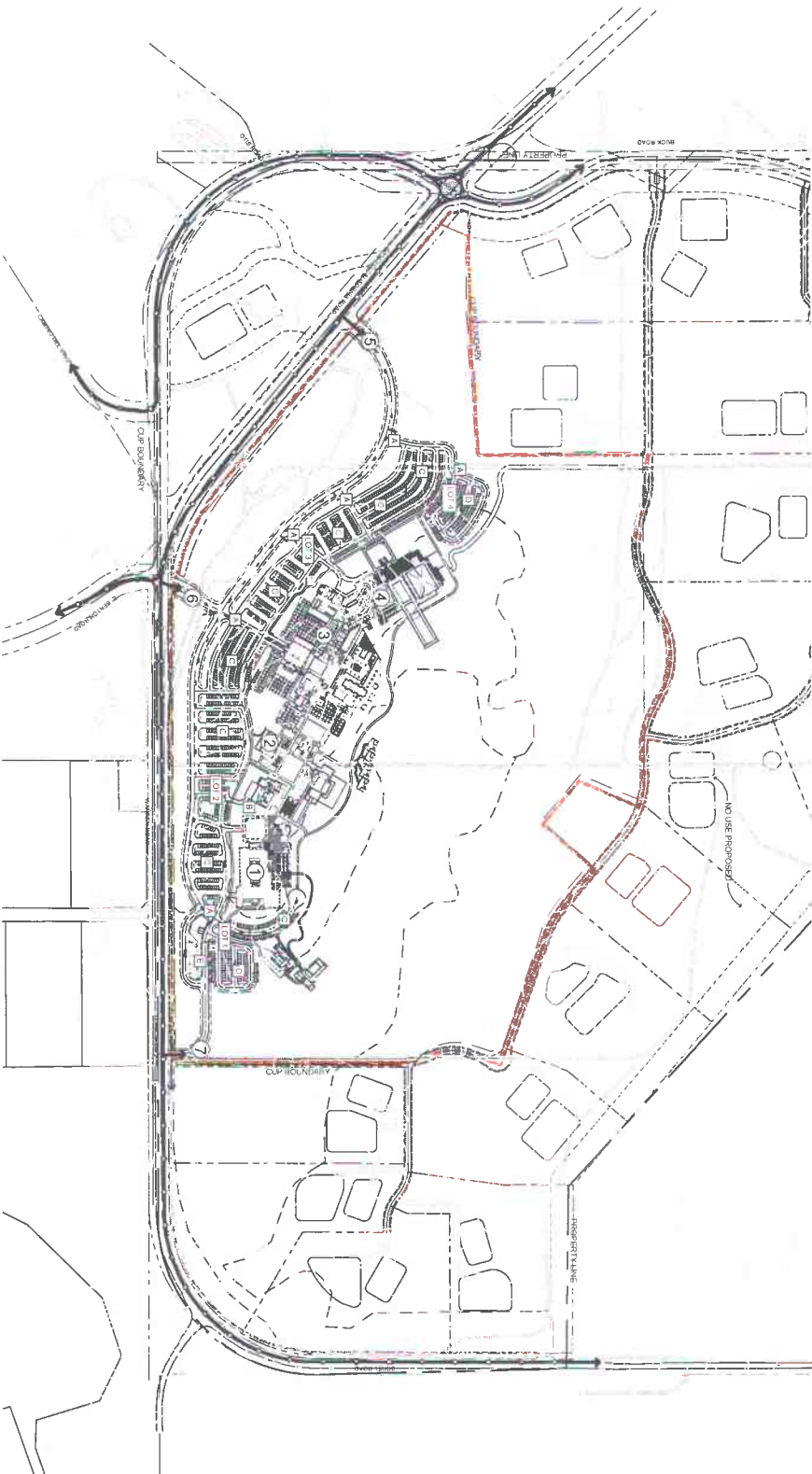
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**Twelve Oaks Winery Resort**  
3801 WARREN ROAD TEMECULA, CALIFORNIA 92563

**CONDITIONAL USE PERMIT No. 3719, AMENDMENT #3**



PARKING TABULATIONS	
PARKING REQUIRED	1,013.5
HANDICAPPED REQUIRED	20.1
TOTAL REQUIRED	1,033.6
SURFACE ON SITE PARKING	
LOT 1	148
LOT 2	288
LOT 3	438
LOT 4	107
SURFACE HANDICAPPED PARKING	
TOTAL SURFACE ON SITE PARKING	20
PROVIDED	453
HANDICAPPED PROVIDED	
PROVIDED	20
TOTAL PARKING PROVIDED	473

### PARKING AND CIRCULATION LEGEND

- LEGEND**
- ① WINEY
  - ② MARKET PLACE
  - ③ HOTEL
  - ④ EVENT CENTER
  - ⑤ EVENT CENTER STREET ENTRANCE
  - ⑥ HOTEL AVENUE STREET ENTRANCE
  - ⑦ WINEY SERVICE STREET ENTRANCE
- PARKING LEGEND**
- ☐ PARKING LOT ENTRANCE
  - ☐ EQUI STRIP/HITCHING POST
  - ☐ RESORT PARKING
  - ☐ EMPLOYEE PARKING
  - ☐ BUS PARKING
  - ☐ ELECTRIC VEHICLE PARKING
- CIRCULATION LEGEND**
- ACCESS STREETS
  - MULTIUSE TRAIL, 14' WIDE
  - ACCESSORIED GRANITE PATH, 10' WIDE

NOTES: ALL ON-SITE BUILDINGS, LANDSCAPING, PARKING AREAS AND ROADS ARE PROPOSED.

- SEE BUILDING ENLARGEMENT PLANS FOR BUILDING DIMENSIONS, AREA, BUILDING HEIGHTS, ETC.
- SEE SHEET C-1 FOR OVERALL LAYOUT, BOUNDARY DIMENSIONS AND UTILITY LINES. EXISTING'S EXISTING PLANTING RECOMMENDATION. SEE SHEET C-4 & C-5 FOR SITE DISTANCE ZONES.
- REFER TO CIVIL DRAWINGS FOR PROPOSED BUILDING ELEVATIONS, GRADING PLANS INCLUDING HATCHES, STAIRS AND CROSS-SECTIONS, DRIVEWAY AND UTILITY PLANS.

**ACRM**  
 AMERICAN COUNTRY RESORTS MANAGEMENT  
 10000 WILLOW GROVE DRIVE, SUITE 100  
 SAN DIEGO, CA 92121-4901  
 PHONE: (619) 598-5400  
 THOMAS B. AMBERG, P.E., C15178

**Twelve Oaks Winery Resort**  
 38901 WARREN ROAD TEMECULA, CALIFORNIA 92563

**CONDITIONAL USE PERMIT  
 No. 3719, AMENDMENT #3**

PROJECT: TWELVE OAKS WINERY RESORT  
 PREPARED BY: ACRM  
 DATE: 09/15/17  
 DRAWN BY: J. B. AMBERG  
 CHECKED BY: J. B. AMBERG  
 SCALE: AS SHOWN  
 SHEET: A0.011 OF 111

DATE: 09/15/17  
 TIME: 10:21 AM  
 USER: J. B. AMBERG  
 PLOT: 17-2901

Standard

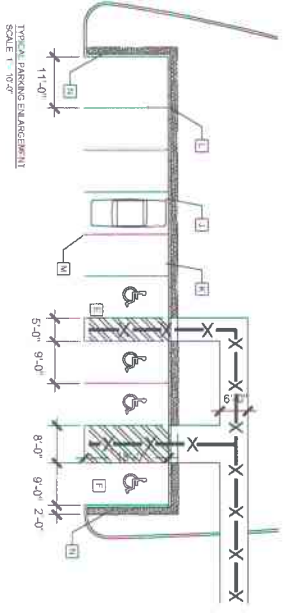
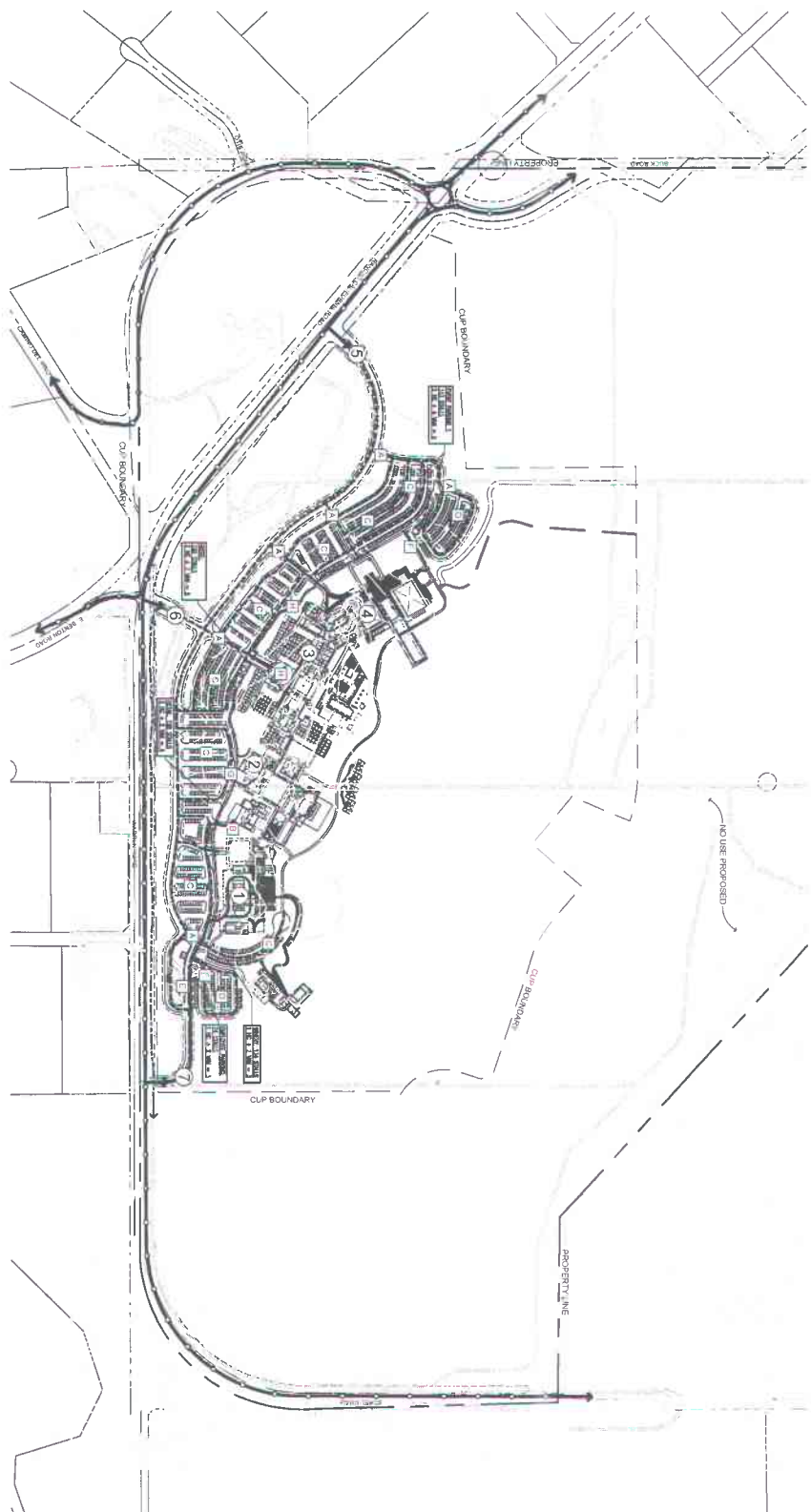
NOT ISSUED FOR CONSTRUCTION

PARKING AND SITE ACCESS

Confidential Use Permit No. 3719  
 Amendment #3

**A0.011**

DATE: 09/15/17  
 TIME: 10:21 AM  
 USER: J. B. AMBERG  
 PLOT: 17-2901



TYPICAL PARKING ENGAGEMENT  
SCALE: 1" = 10'-0"

# PARKING AND CIRCULATION LEGEND

## LEGEND

- ① WINEY
- ② MARKET PLACE
- ③ HOTEL
- ④ EVENT CENTER
- ⑤ EVENT CENTER STREET ENTRANCE
- ⑥ HOTEL AREA STREET ENTRANCE
- ⑦ WINEY SERVICE STREET ENTRANCE

## CIRCULATION LEGEND

- ACCESS STREET'S
- MULTI-USE / PAUL H. WIDE
- DECOMPOSED GRANITE PATH 10' WIDE
- EMERGENCY VEHICLE CIRCULATION
- VEHICULAR CIRCULATION
- PEDESTRIAN CIRCULATION
- SERVICE VEHICLE CIRCULATION

## PARKING LEGEND

- ① PARKING LOT ENTRANCE
- ② EQUESTRIAN HITCHING POST
- ③ RESORT PARKING
- ④ LANDSCAPE PARKING
- ⑤ BUS PARKING
- ⑥ VAN ACCESSIBLE PARKING
- ⑦ TOLLY BUILDING DECK-OFF
- ⑧ CAR DROP-OFF
- ⑨ ARRIVAL
- ⑩ CLUMP STOP
- ⑪ FLUSH CURB
- ⑫ OVERHANG AREA
- ⑬ STAIRING
- ⑭ BALUNAN STAIR
- ⑮ CLUMP STOP

NOTES - ALL ON-SITE BUILDINGS, PLAZAS, COURTYARDS, LANDSCAPING, PARKING AREAS AND ROADS ARE PROPOSED.

- SEE BUILDING ENGAGEMENT PLANS FOR BUILDING DIMENSIONS, AREA, BUILDING HEIGHTS, ETC.
- SEE SHEET C-1 FOR VERTICAL ALIGNMENT UNDERGROUND UTILITIES, EGRESS AND SIGNAGE RECOMMENDATIONS AND UTILITY PLANS.
- REFER TO CIVIL DRAWINGS FOR PROPOSED BUILDING ELEVATIONS, GRADING PLANS INCLUDING HATCHES, SLOPES AND CROSS-SECTIONS, CHANNELS AND UTILITY PLANS.



**ACTM**  
 ARCHITECTURE & INTERIOR ARCHITECTURE  
 10950 JENSEN DRIVE, SUITE 100  
 SAN DIEGO, CA 92126-5201  
 PHONE: 619.593.3480  
 PHONE: 619.593.3480, CT 3798

**Twelve Oaks Winery Resort**  
 38901 WARREN ROAD TEMECULA, CALIFORNIA 92563

**CONDITIONAL USE PERMIT  
 No. 3719, AMENDMENT # 3**

**Project:**  
 12 OAKS WINERY RESORT  
 38901 WARREN ROAD  
 TEMECULA, CA 92563

**Architect:**  
 ACTM  
 10950 JENSEN DRIVE, SUITE 100  
 SAN DIEGO, CA 92126-5201  
 PHONE: 619.593.3480

**City of Temecula:**  
 Planning & Zoning Department  
 1000 S. ELIZABETH STREET, SUITE 100  
 TEMECULA, CA 92590  
 PHONE: 951.341.1111

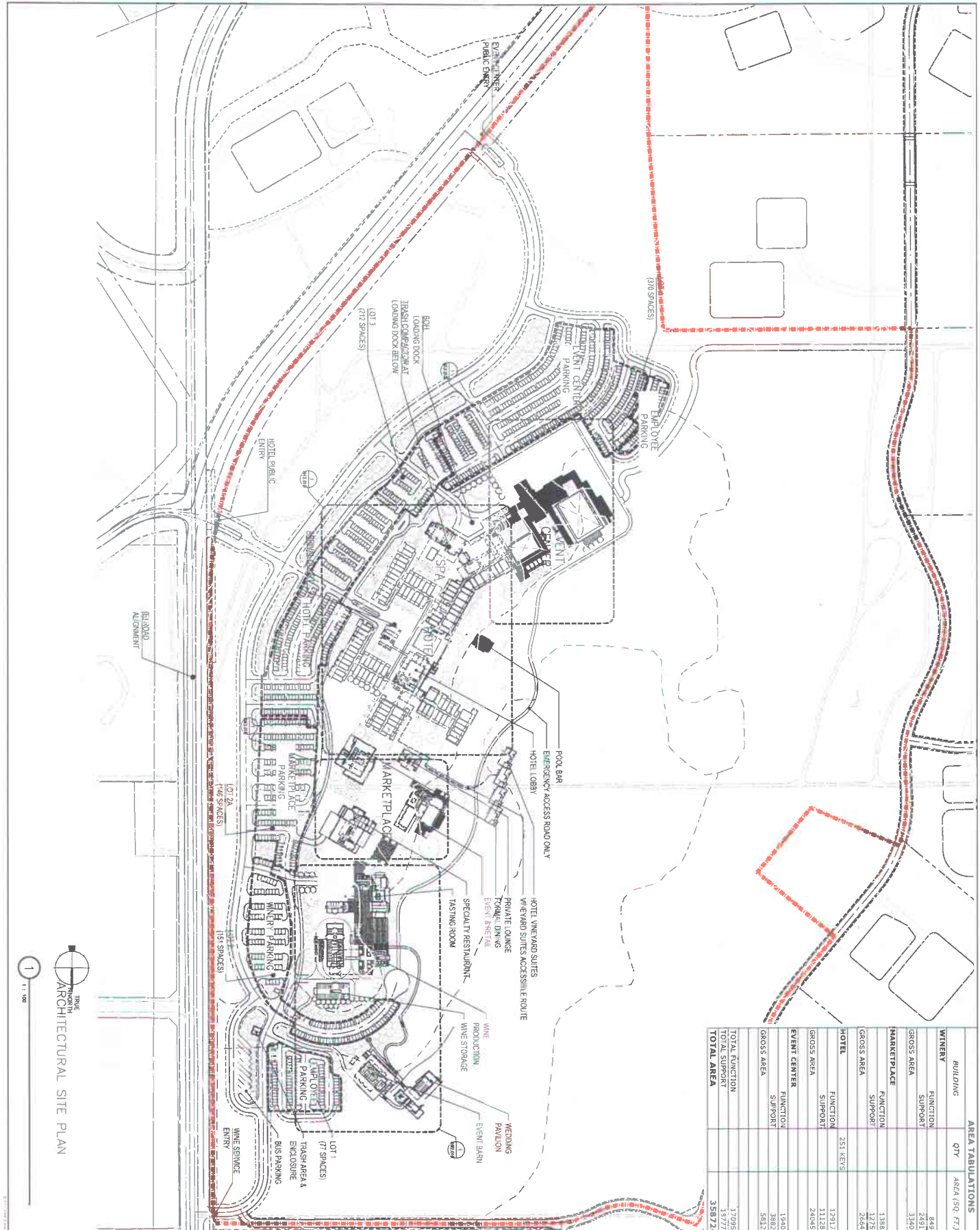
**Issued:**

DATE	DESCRIPTION
09/21/2017	ISSUED
09/21/2017	REVISION 1
09/21/2017	REVISION 2
09/21/2017	REVISION 3
09/21/2017	REVISION 4
09/21/2017	REVISION 5
09/21/2017	REVISION 6
09/21/2017	REVISION 7
09/21/2017	REVISION 8
09/21/2017	REVISION 9
09/21/2017	REVISION 10
09/21/2017	REVISION 11
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09/21/2017	REVISION 47
09/21/2017	REVISION 48
09/21/2017	REVISION 49
09/21/2017	REVISION 50

**NOT ISSUED FOR CONSTRUCTION**

**PEDESTRIAN AND VEHICULAR CIRCULATION**

Conditional Use Permit No. 3719  
 Amendment # 3  
**A0.012**



BUILDING	QTY	AREA (SQ. FT.)
WINEYARD		
FUNCTION	6492	
SUPPORT	24510	
GROSS AREA		33402
MARKETPLACE		
FUNCTION	13889	
SUPPORT	12792	
GROSS AREA		26681
HOTEL		
FUNCTION	251 KEYS	
SUPPORT		120171
GROSS AREA		111287
EVENT CENTER		
FUNCTION		248058
SUPPORT		19402
GROSS AREA		38821
TOTAL FUNCTION		58123
TOTAL SUPPORT		170954
TOTAL AREA		197770
		358724

THIRTEEN NORTH  
ARCHITECTURAL SITE PLAN

1  
1" = 100'

**Twelve Oaks Winery Resort**  
38901 WARREN ROAD TEMECULA, CALIFORNIA 92563

**CONDITIONAL USE PERMIT  
No. 3719, AMENDMENT # 3**

**ACTM**  
ARCHITECTURAL CONSULTANTS & ENGINEERS  
109 San Felipe, CA 92038  
Phone: (619) 393-8880  
FAX: (619) 393-8880

**THIRTEEN NORTH ARCHITECTURAL**  
109 San Felipe, CA 92038  
Phone: (619) 393-8880  
FAX: (619) 393-8880

**NOT ISSUED FOR CONSTRUCTION**

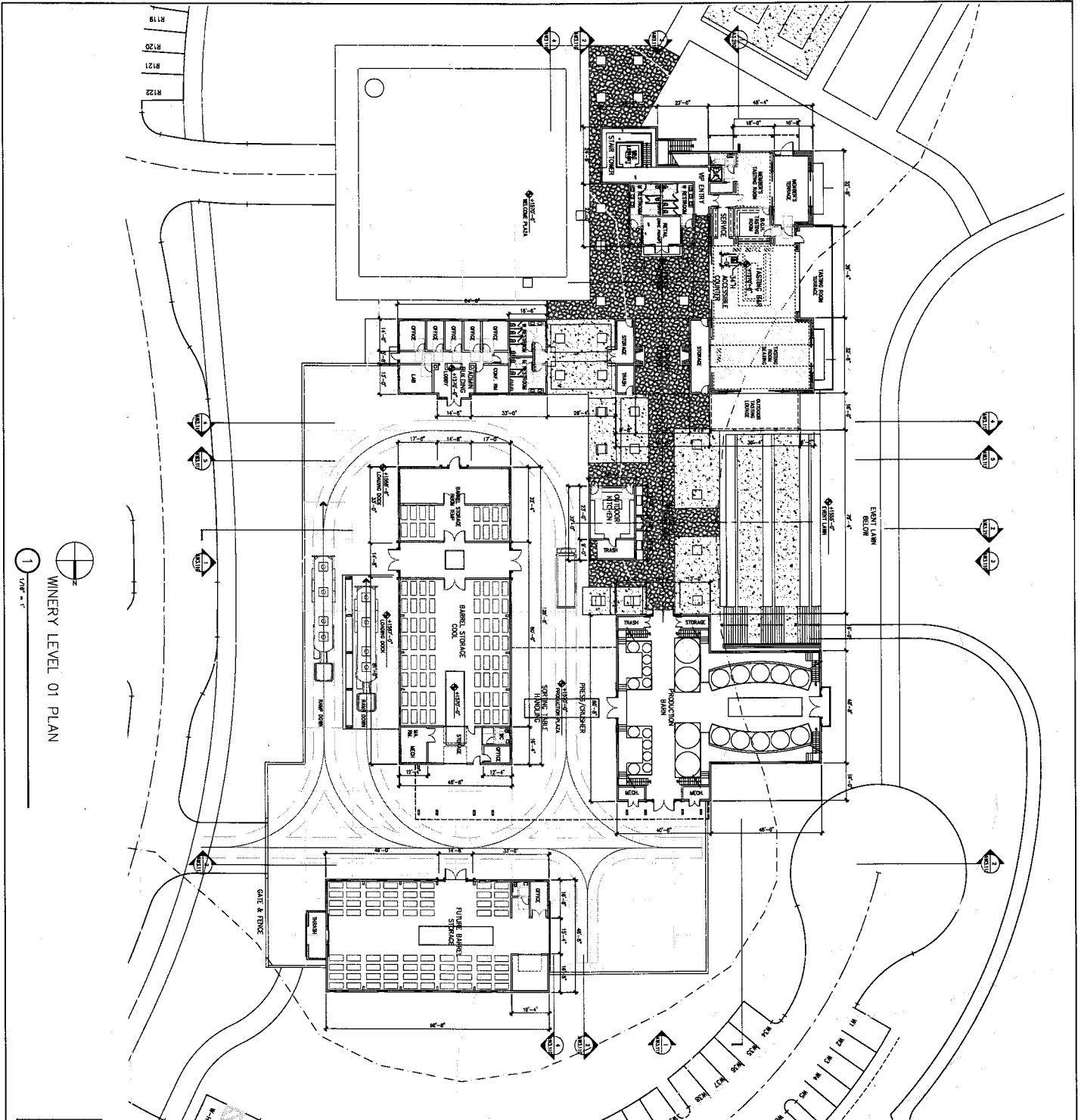
**ARCHITECTURAL SITE PLAN**

**A0.013**

Conditional Use Permit No. 3719  
Amendment # 3







1  
1/8" = 1'  
WINERY LEVEL 01 PLAN

**LEGEND**

	ACCESSIBLE PATH OF TRAVEL
	HEATING/WATERED SYMBOL
	ACCESSIBILITY SYMBOL
	FUNCTION SPACE
	SUPPORT SPACE

BUILDING ANALYSIS		
ROOM	OCCUPANCY	AREA (SQ. FT.)
<b>TASTING ROOM - LEVEL 1</b>		
TASTING ROOM	A-2	324
TASTING BAR	A-2	1178
TASTING ROOM SEATING	A-2	1185
<b>LEVEL 1 FUNCTION</b>		
LEVEL 1 SUPPORT		2367
SUBTOTAL TASTING ROOM LEVEL 1		5824
<b>TASTING ROOM - LEVEL 2</b>		
FUNCTION PRODUCTION BARN	N/A	5724
SUPPORT		5724
SUBTOTAL PRODUCTION BARN		5724
ADMIN BUILDING	N/A	2142
FUNCTION		2142
SUPPORT		2142
SUBTOTAL ADMIN BUILDING		2142
<b>OUTDOOR KITCHEN</b>		
FUNCTION		640
SUPPORT		640
SUBTOTAL OUTDOOR KITCHEN		640
<b>SUBTOTAL OUTDOOR KITCHEN</b>		
FUNCTION		640
SUPPORT		640
SUBTOTAL OUTDOOR KITCHEN		640
<b>BARREL STORAGE</b>		
FUNCTION		6291
SUPPORT		6291
SUBTOTAL BARREL STORAGE		6291
<b>FUTURE BARREL STORAGE</b>		
FUNCTION		4792
SUPPORT		4792
SUBTOTAL FUTURE BARREL STORAGE		4792
<b>TOTAL FUNCTION</b>		
		6492
<b>TOTAL SUPPORT</b>		
		24910
<b>TOTAL GROSS</b>		
		33402

AW2.101

NOT ISSUED FOR CONSTRUCTION  
 PLAN  
 WINERY LEVEL 01

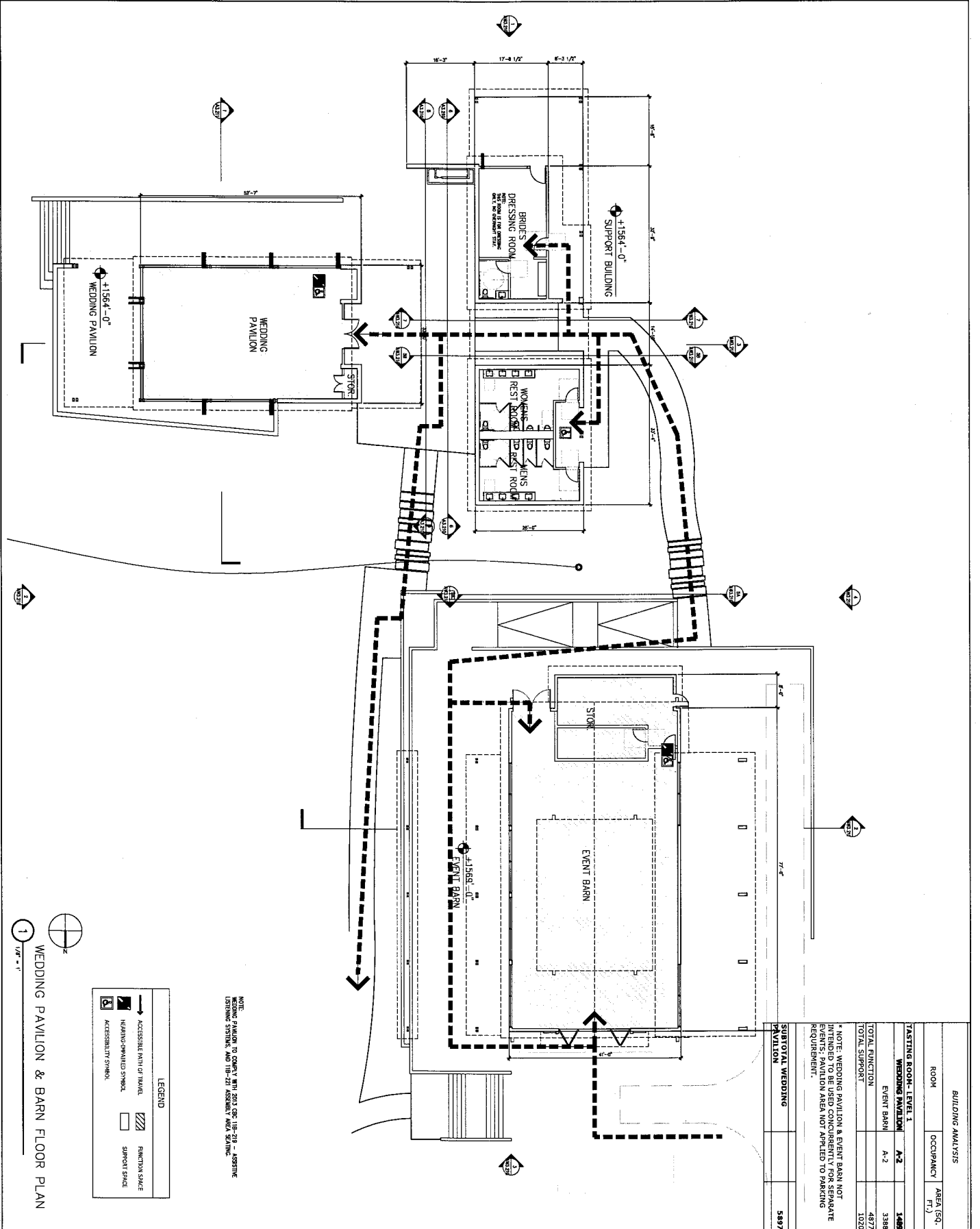
AW2.101  
 3901 WARREN ROAD  
 TEMECULA, CALIFORNIA 92563

**Twelve Oaks Winery Resort**  
 3901 WARREN ROAD TEMECULA, CALIFORNIA 92563  
**CONDITIONAL USE PERMIT**  
**No. 3719, AMENDMENT #3**

**ACRM**  
 ARCHITECTURAL CONSULTANTS & RECORD MANAGERS  
 1205 N. AVENUE 90, SUITE 200  
 TEMECULA, CALIFORNIA 92592  
 Phone: (951) 398-3480  
 HOOKS & AMBER, PA. CI/218







BUILDING ANALYSIS		
ROOM	OCCUPANCY	AREA (SQ. FT.)
<b>WEDDING PAVILION - LEVEL 1</b>	<b>A-2</b>	<b>1489</b>
EVENT BARN	A-2	3888
TOTAL FUNCTION		4877
TOTAL SUPPORT		1020
<b>SUBTOTAL WEDDING PAVILION</b>		<b>5897</b>

**NOTE:** WEDDING PAVILION & EVENT BARN NOT INCLUDED IN TOTAL AREA FOR SEPARATE EVENTS; PAVILION AREA NOT APPLIED TO PARKING REQUIREMENT.

**AW2.201**

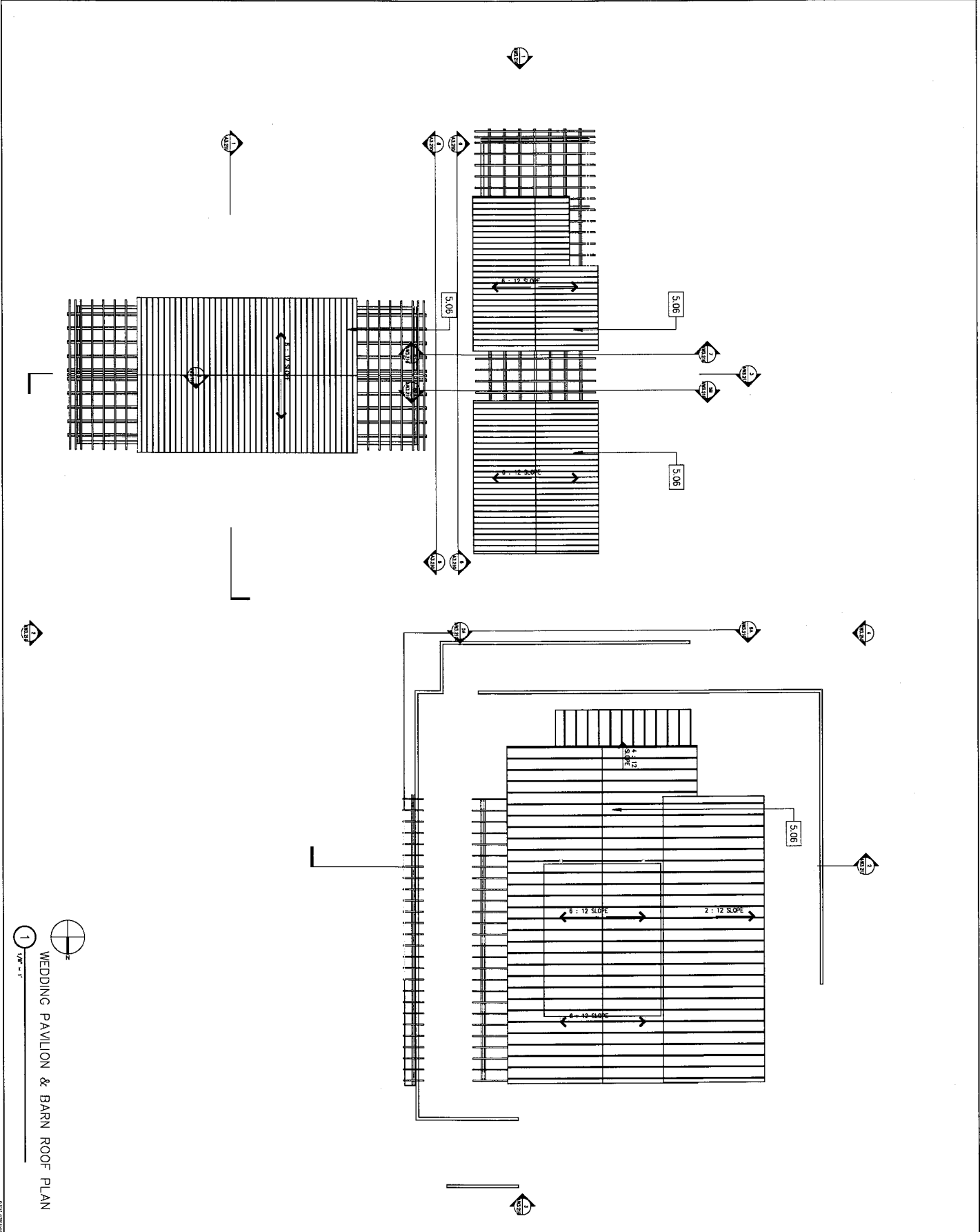
Confidential Use Permit No. 3719  
Amendment #3

**Twelve Oaks Winery Resort**  
38901 WARREN ROAD TEMECULA, CALIFORNIA 92563

**CONDITIONAL USE PERMIT  
No. 3719, AMENDMENT #3**

**ACRM**

ARCHITECTURAL CONSULTANTS  
1045 Hill Avenue, Suite 100  
Temecula, CA 92592  
Phone: (951) 383-8400  
THOMAS & AMBERY, P.A. CIVIL



1  
1/8" = 1'  
WEDDING PAVILION & BARN ROOF PLAN

<p><b>AW2.202</b></p> <p>Conditional Use Permit No. 3719 Amendment #2</p> <p><b>AW2.202</b></p>	<p><b>NOT ISSUED FOR CONSTRUCTION</b></p> <p><b>WINERY WEDDING PAVILION &amp; BARN ROOF PLAN</b></p>	<p><b>Twelve Oaks Winery Resort</b> 38901 WARREN ROAD TEMECULA, CALIFORNIA 92563</p> <p><b>CONDITIONAL USE PERMIT No. 3719, AMENDMENT #3</b></p>
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**ACRM**  
ARCHITECTURAL CONSULTANTS  
7055 14th Avenue, Suite 100  
Temecula, CA 92592  
Phone: (951) 348-8888  
THOMAS & AMBERL, SA, CI 7578











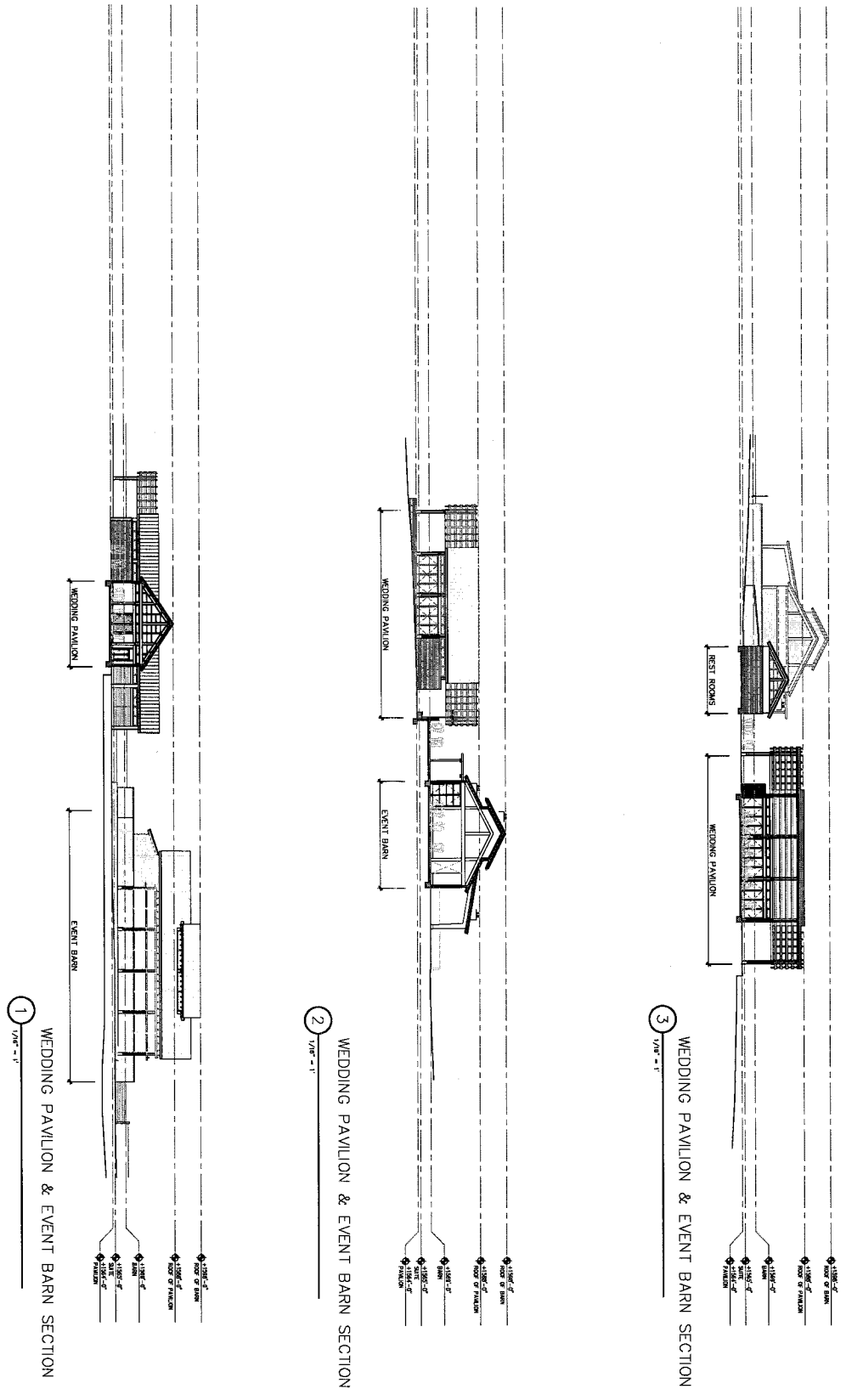
**NOTE:**  
ARCHITECTURAL ELEMENTS MAY EXCEED THE PRESCRIBED HEIGHT LIMITS WHERE SUCH STRUCTURES DO NOT PROVIDE ADDITIONAL FLOOR SPACE.

SHEET NOTES:

<b>LIGHTING - 6.00</b>	<b>ROOFING - 6.00</b>	<b>OPENING SYSTEMS - 4.00</b>	<b>METAL DETAILS and TRUSS - 3.00</b>	<b>FLOOR WOOD COLUMN - 1.24</b>	<b>BUILDING CLADDING - 1.00</b>
MODERN CONCRETE SLAB ROOF, COLON IN 1/8"	SYNTHETIC METAL, W/VA RIBS, COLON IN 3/8"	ALUMINUM WINDOW 1/8"	ALUMINUM TRUSS 1/8"	WOOD AND BATTIN WOOD SHINGLES, COLON IN 1/2"	BRICK, STONE, WOOD (SEE SPECIFICATIONS)
		ALUMINUM TRUSS DOOR 1/8"	ALUMINUM TRUSS DOOR 1/8"	WOOD AND BATTIN - RESHINGLED WOOD	ROOFING: FLAT ROOF, SHINGLES, COLON IN 1/2"
		ALUMINUM TRUSS DOOR 1/8"	ALUMINUM TRUSS DOOR 1/8"	CONCRETE METAL PANEL 1/8"	ROOFING: FLAT ROOF, SHINGLES, COLON IN 1/2"
		WOOD SHINGLES DOOR 1/8"	WOOD SHINGLES DOOR 1/8"	WOOD SHINGLES DOOR 1/8"	WOOD SHINGLES DOOR 1/8"
		WOOD SHINGLES DOOR 1/8"	WOOD SHINGLES DOOR 1/8"	WOOD SHINGLES DOOR 1/8"	WOOD SHINGLES DOOR 1/8"

MATERIALS INDEX:

KEY PLAN:



1 1/8" = 1'-0"

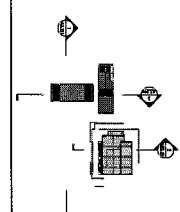
WEDDING PAVILION & EVENT BARN SECTION

2 1/8" = 1'-0"

WEDDING PAVILION & EVENT BARN SECTION

3 1/8" = 1'-0"

WEDDING PAVILION & EVENT BARN SECTION



**AW3.211**

NOT SHOWN FOR CONSTRUCTION

**Winery Wedding Pavilion & Event Barn Sections**

Twelve Oaks Winery Resort  
38901 WARREN ROAD TEMECULA, CALIFORNIA 92563

**CONDITIONAL USE PERMIT No. 3719, AMENDMENT #3**

**ACFM**  
AMERICAN CONSULTING & ENGINEERING FIRM  
1045 14th Avenue, Suite 100  
San Diego, CA 92161  
THOMAS S. AMBERT, SA, CITP  
1045 14th Avenue, Suite 100  
San Diego, CA 92161  
(619) 521-1511



1.01 NATURAL STONE VENEER LIGHT STACKED



1.02 RANDOM STONE CONCRETE HORIZONTAL



1.03 FLAT WOOD SIDING HORIZONTAL COLOR 01



1.10 FLAT WOOD BOARD & BATTEN SIDING COLOR 02



1.04 COMPACTED METAL PANEL



1.11 RANDOM PLASTER RANDOM FINISH COLOR 01



1.12 RANDOM PLASTER RANDOM FINISH COLOR 02



2.04 FLAT CURTAIN PANEL ALUMINUM



5.01 MODERN CONCRETE TILE ROOF COLOR 01



5.02 COMPACTED METAL ROOF COLOR 01

SHEET NOTES

LIGHTING - 6.00  
 ROOFING - 9.00  
 OPENING SYSTEMS - 4.00  
 METAL DETAILS and TRUSS - 1.00  
 BUILDING CLADDING - 1.00  
 KEY PLAN:

MATERIALS INDEX:

ALUMINUM ROOFING	4.02	ALUMINUM ROOFING	1.01
ALUMINUM SIDING	4.03	ALUMINUM SIDING	1.02
ALUMINUM POCKET ROOF	4.04	ALUMINUM POCKET ROOF	1.03
ALUMINUM CHASE ROOF	4.05	ALUMINUM CHASE ROOF	1.04
ALUMINUM CHASE ROOF	4.06	ALUMINUM CHASE ROOF	1.05
ALUMINUM CHASE ROOF	4.07	ALUMINUM CHASE ROOF	1.06
ALUMINUM CHASE ROOF	4.08	ALUMINUM CHASE ROOF	1.07
ALUMINUM CHASE ROOF	4.09	ALUMINUM CHASE ROOF	1.08
ALUMINUM CHASE ROOF	4.10	ALUMINUM CHASE ROOF	1.09
ALUMINUM CHASE ROOF	4.11	ALUMINUM CHASE ROOF	1.10
ALUMINUM CHASE ROOF	4.12	ALUMINUM CHASE ROOF	1.11
ALUMINUM CHASE ROOF	4.13	ALUMINUM CHASE ROOF	1.12
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ALUMINUM CHASE ROOF	4.15	ALUMINUM CHASE ROOF	1.14
ALUMINUM CHASE ROOF	4.16	ALUMINUM CHASE ROOF	1.15
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ALUMINUM CHASE ROOF	4.20	ALUMINUM CHASE ROOF	1.19
ALUMINUM CHASE ROOF	4.21	ALUMINUM CHASE ROOF	1.20
ALUMINUM CHASE ROOF	4.22	ALUMINUM CHASE ROOF	1.21
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ALUMINUM CHASE ROOF	4.38	ALUMINUM CHASE ROOF	1.37
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ALUMINUM CHASE ROOF	4.50	ALUMINUM CHASE ROOF	1.49
ALUMINUM CHASE ROOF	4.51	ALUMINUM CHASE ROOF	1.50

**AW3.310**

Confidential Use Permit No. 3719  
 Amendment # 2

**Twelve Oaks Winery Resort**

101 WARREN ROAD TEMECULA, CALIFORNIA 92563

**CONDITIONAL USE PERMIT**  
**No. 3719, AMENDMENT # 3**

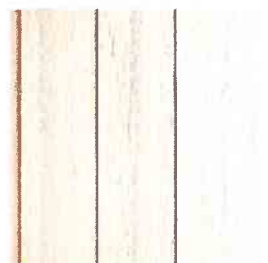
**ACRM**  
 ARCHITECTURE + INTERIOR  
 100  
 San Diego, CA 92108-0101  
 Phone: (619) 583-5483  
 THOMAS & AMYRE, J.A. CI 1578



1.01 NATURAL STONE VENEER (NOT STACKED)



1.02 ROUND LEDGE CONCRETE (HORIZONTAL)



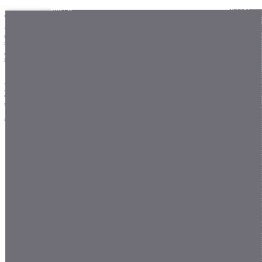
1.03 FLAT WOOD SIDING (HORIZONTAL), COLOR 01



1.04 FLAT WOOD BOARD & BATTEN SIDING, COLOR 02



1.05 CORRUGATED METAL PANEL



1.06 STUCCO FINISH (ROUGH FINISH), COLOR 01



1.07 STUCCO FINISH (ROUGH FINISH), COLOR 02



1.08 LEDGE CONCRETE PANEL (HORIZONTAL)



5.01 MODERN CONCRETE TILE ROOF, COLOR 01



5.02 CORRUGATED METAL ROOF, COLOR 01

SHEET NOTES:

ROOFING - 6.00

ROOFING - 5.00

OPENING SYSTEMS - 4.00

METAL DETAILS and TRUSS - 3.00

FLAT WOOD SIDING

BUILDING CLADDING - 1.00

KEY PLAN:

MATERIALS INDEX

ROOFING - 6.00	MODERN CONCRETE TILE ROOF, COLOR 01	ROOFING - 5.00	CORRUGATED METAL ROOF, COLOR 01
OPENING SYSTEMS - 4.00	COMMON SYSTEMS, A	METAL DETAILS and TRUSS - 3.00	METAL WALLS 3.01
MATERIALS INDEX	ALUMINA BRICK 4.02	FLAT WOOD SIDING	BOARD AND BATTEN WOOD SIDING, COLOR 01
	ALUMINA BRICK 4.03		BOARD AND BATTEN WOOD SIDING, COLOR 02
	ALUMINA BRICK 4.04		ROUGH FINISH CONCRETE (HORIZONTAL)
	ALUMINA BRICK 4.05		ROUGH FINISH CONCRETE (VERTICAL)
	ALUMINA BRICK 4.06		ROUGH FINISH CONCRETE (DIAGONAL)
	WOOD SHIP BOON 4.10		ROUGH FINISH CONCRETE (RANDOM)
			ROUGH FINISH CONCRETE (RANDOM), COLOR 01
			ROUGH FINISH CONCRETE (RANDOM), COLOR 02
			ROUGH FINISH CONCRETE (RANDOM), COLOR 03
			ROUGH FINISH CONCRETE (RANDOM), COLOR 04
			ROUGH FINISH CONCRETE (RANDOM), COLOR 05
			ROUGH FINISH CONCRETE (RANDOM), COLOR 06
			ROUGH FINISH CONCRETE (RANDOM), COLOR 07
			ROUGH FINISH CONCRETE (RANDOM), COLOR 08
			ROUGH FINISH CONCRETE (RANDOM), COLOR 09
			ROUGH FINISH CONCRETE (RANDOM), COLOR 10
			ROUGH FINISH CONCRETE (RANDOM), COLOR 11
			ROUGH FINISH CONCRETE (RANDOM), COLOR 12
			ROUGH FINISH CONCRETE (RANDOM), COLOR 13
			ROUGH FINISH CONCRETE (RANDOM), COLOR 14
			ROUGH FINISH CONCRETE (RANDOM), COLOR 15
			ROUGH FINISH CONCRETE (RANDOM), COLOR 16
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			ROUGH FINISH CONCRETE (RANDOM), COLOR 100

**Twelve Oaks Winery Resort**  
3902 WARREN ROAD TEMECULA, CALIFORNIA 92563

**CONDITIONAL USE PERMIT  
No. 3719, AMENDMENT # 3**

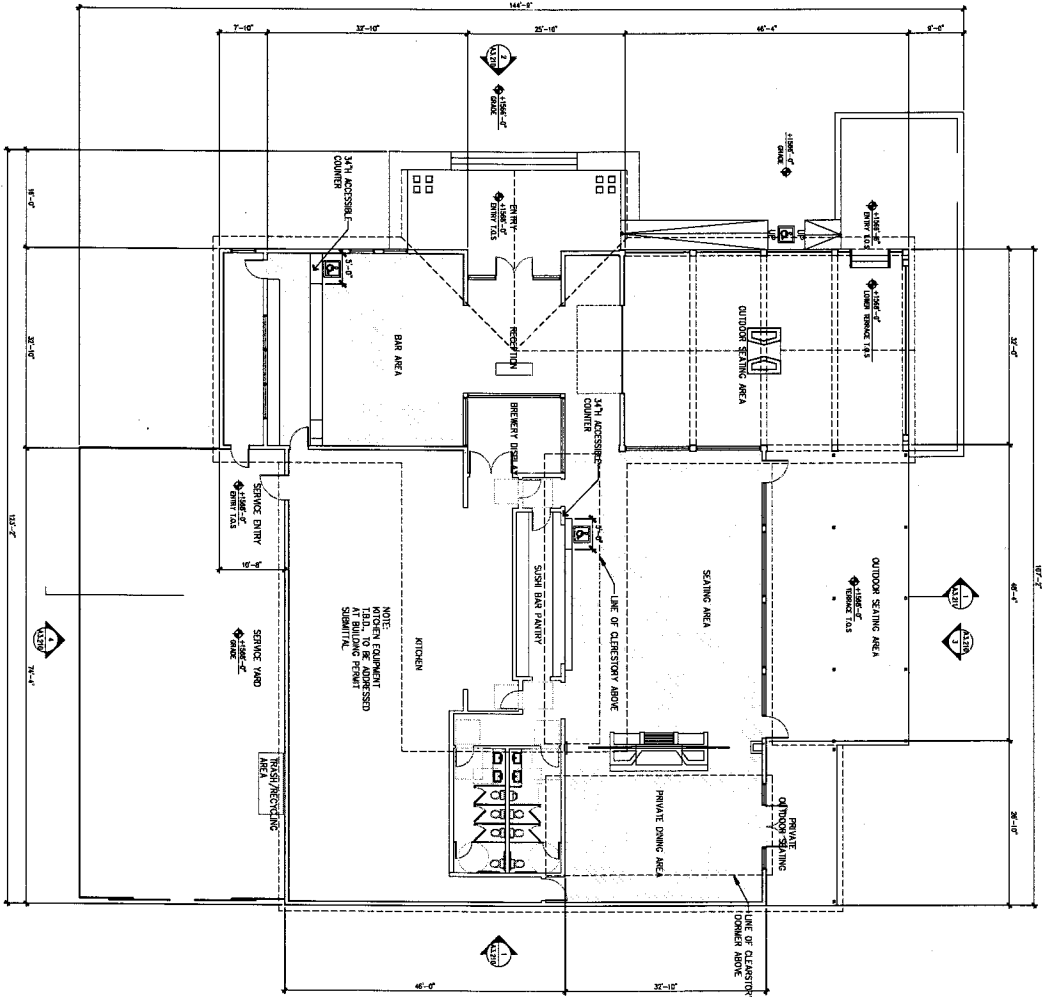
**ACRM**  
ARCHITECTURE & INTERIOR DESIGN  
10000 SAN DIEGO AVENUE, SUITE 100  
SAN DIEGO, CA 92131  
PHONE: (619) 596-5400  
FAX: (619) 596-5401  
WWW.ACRMARCHITECTS.COM

**AW3.410**









1  
1/8"=1'  
SPECIALTY RESTAURANT LEVEL 01 PLAN

BUILDING ANALYSIS		
ROOM	OCCUPANCY	AREA (SQ. FT.)
SEATING AREA	A-2	1562
PRIVATE DINING AREA	A-2	778
BAR AREA	A-2	1067
FUNCTION		3407
SUPPORT		4585
<b>SUBTOTAL SPECIALTY RESTAURANT</b>		<b>7992</b>

LEGEND	
	ACCESSIBLE PATH OF TRAVEL
	HEARING-IMPAIRED SYMBOL
	ACCESSIBILITY SYMBOL
	FUNCTION SPACE
	SUPPORT SPACE

**ACFM**  
 ARCHITECTURAL CONSULTING FIRM  
 1045 Fifth Avenue, Suite 100  
 San Diego, CA 92101-5071  
 PHON: 619-594-9600  
 FAX: 619-594-9601  
 WWW.ACFM.COM

**Twelve Oaks Winery Resort**  
 38901 WARREN ROAD TEMECULA, CALIFORNIA 92563

**CONDITIONAL USE PERMIT  
 No. 3719, AMENDMENT #3**

**MARKETPLACE  
 SPECIALTY  
 RESTAURANT  
 LEVEL 01 PLAN**

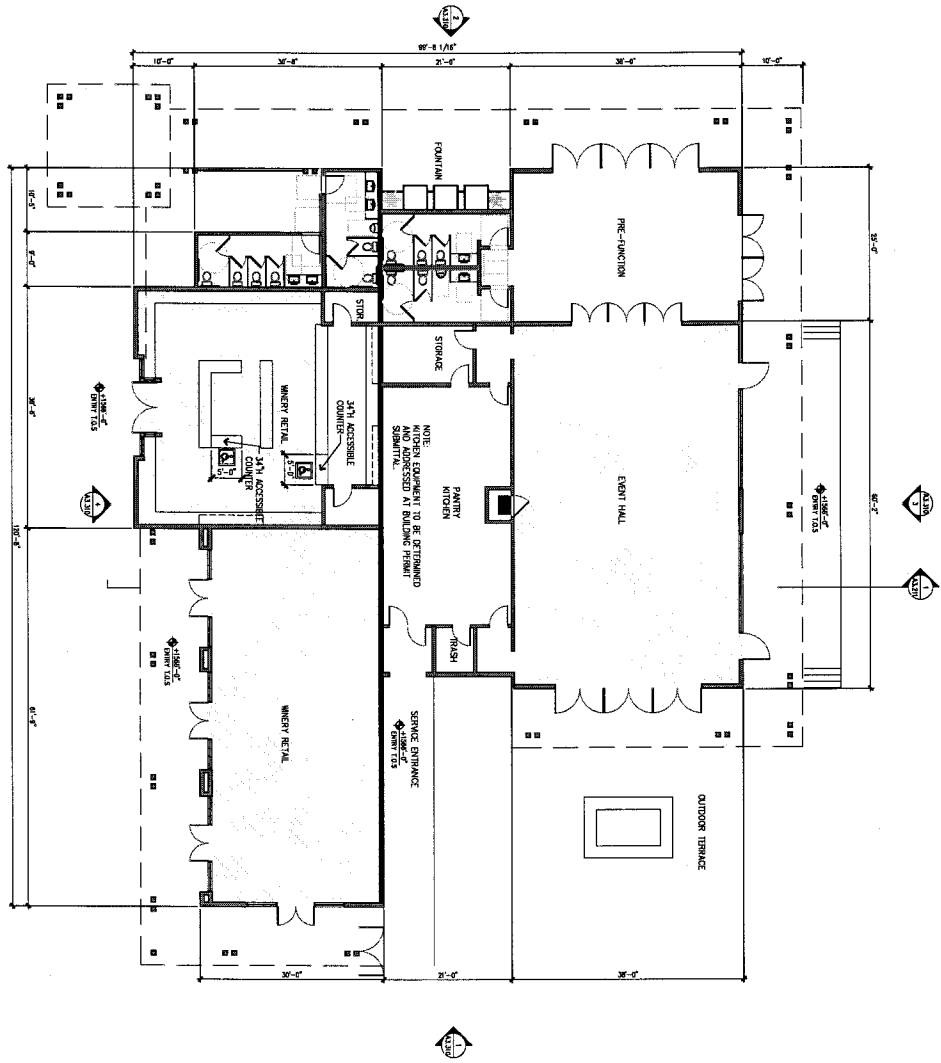
NOT ISSUED FOR CONSTRUCTION

**AM2.201**

Amendment #2  
 Conditional Use Permit No. 3719







BUILDING ANALYSIS		
ROOM	OCCUPANCY	AREA (SQ. FT.)
EVENT HALL	A-2	2354
RETAIL	M	1325
WINEY RETAIL	M	1192
SUPPORT		3575
<b>SUBTOTAL EVENT &amp; RETAIL</b>		<b>6780</b>

LEGEND	
	ACCESSIBLE ENTRY OF TRAVEL
	HEARING-IMPAIRED SYMBOL
	ACCESSIBILITY SYMBOL
	FUNCTION SPACE
	SUPPORT SPACE

1 EVENT & RETAIL 01 PLAN

**ACRM**  
 ARCHITECTURAL CONSULTING & RECORDING  
 1001 N. AVENUE 101, SUITE 100  
 TEMECULA, CA 92592  
 Phone: (951) 382-3440  
 THOMAS S. AMBERL, P.A. CIVILIST

STEWART TITMUS, LLC  
 1001 N. AVENUE 101, SUITE 100  
 TEMECULA, CA 92592  
 Phone: (951) 382-3440

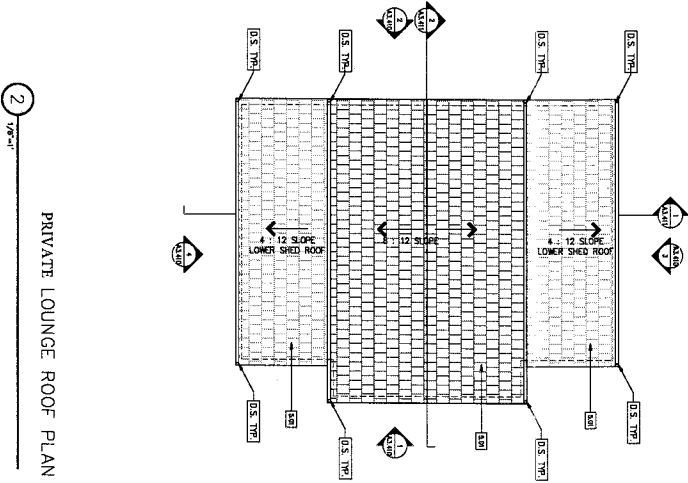
**Twelve Oaks Winery Resort**  
 38901 WARREN ROAD TEMECULA, CALIFORNIA 92563  
**CONDITIONAL USE PERMIT**  
**No. 3719, AMENDMENT #3**

APPLICANT: TWELVE OAKS WINERY RESORT  
 38901 WARREN ROAD  
 TEMECULA, CA 92563  
 PROJECT: TWELVE OAKS WINERY RESORT  
 38901 WARREN ROAD  
 TEMECULA, CA 92563  
 DRAWING NO: AM2.301  
 DATE: 09/20/17

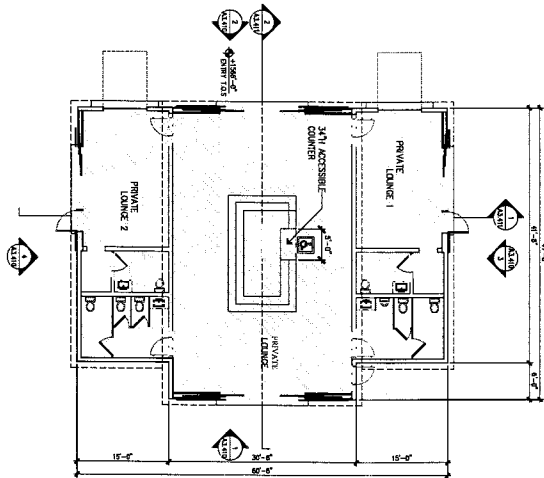
**NOT ISSUED FOR CONSTRUCTION**  
**MARKETPLACE**  
**EVENT & RETAIL**  
**LEVEL 01 PLAN**

CONDITIONAL USE PERMIT No. 3719  
 AMENDMENT #3  
**AM2.301**





2 1/8"=1' PRIVATE LOUNGE ROOF PLAN



1 1/8"=1' PRIVATE LOUNGE LEVEL 01 PLAN

LEGEND	
	ACCESSIBLE PATH OF TRAVEL
	FUNCTION SPACE
	SUPPORT SPACE
	ACCESSIBILITY SYMBOL

BUILDING ANALYSIS		
ROOM	OCCUPANCY	AREA (SQ. FT.)
PRIVATE LOUNGE	A-2	1430
PRIVATE LOUNGE 1	A-2	357
PRIVATE LOUNGE 2	A-2	357
FUNCTION		2144
SUPPORT		568
<b>SUBTOTAL PRIVATE LOUNGE</b>		<b>2712</b>

**Twelve Oaks Winery Resort**  
38901 WARREN ROAD TEMECULA, CALIFORNIA 92563

**CONDITIONAL USE PERMIT  
No. 3719, AMENDMENT #3**

**ACRM**  
ARCHITECTURAL CONSULTANTS & RECORDERS  
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TEMECULA, CALIFORNIA 92592  
Phone: (951) 384-4460  
THOMAS S. AMBERG, P.A. C17318

OPINION BY ARCHITECTURAL CONSULTANTS & RECORDERS, INC.  
NO. 3719, AMENDMENT #3  
DATE: 09/20/17

**AM2.401**

NOT ISSUED FOR CONSTRUCTION

DATE OF PERMITTING: 09/20/17  
PROJECT: TWELVE OAKS WINERY RESORT  
SHEET: AM2.401  
DRAWN BY: [Name]  
CHECKED BY: [Name]  
DATE: 09/20/17

CONDITIONAL USE PERMIT NO. 3719  
AMENDMENT #3



**SHEET NOTES:**

**LIGHTING - 8.00**  
 EXISTING CONCRETE SET FOR LIGHTING IN 1.00  
 STAINLESS METAL BOWL WOOD COLORED IN 1.00

**ROOFING - 5.00**  
 COMMERCIAL STRUCTURAL IN 1.00

**OPENING SYSTEMS - 4.00**  
 ALUMINUM WINDOW 4.00  
 ALUMINUM SHUTTER DOOR 4.00  
 ALUMINUM SLIDING DOOR 4.00  
 METAL FIBERGLASS DOOR SYSTEM 4.00  
 WOOD SHUTTER DOOR 4.00

**METAL DETAILS and TRUSSIS - 3.00**  
 METAL TRUSSIS 3.00  
 METAL FRAMING 3.00  
 METAL CEILING 3.00  
 METAL PANEL (ALUM) 3.00  
 METAL BRACKET 3.00  
 METAL TRIM AND FASCIA 3.00  
 FRAMED BRACING 3.00  
 METAL COLUMN 3.00

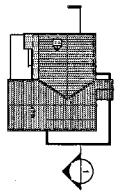
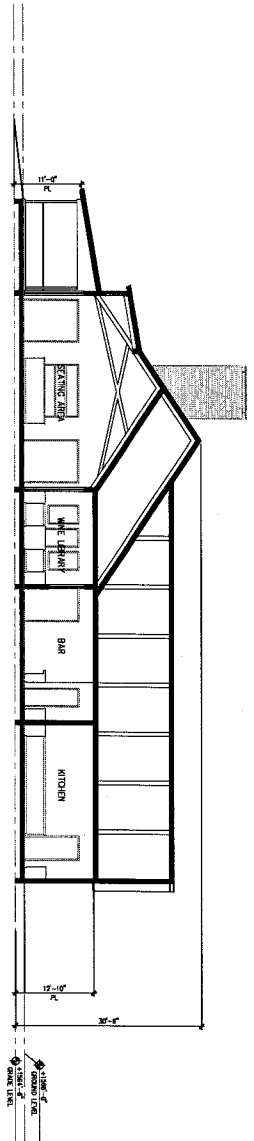
**FLOOR WOOD COLUMN 1.24**  
 BRASS AND BRASS WOOD SHINE COLORED IN 1.24  
 BRASS AND BRASS - POLISHED WOOD 1.24  
 COMBINED METAL PANEL 1.24  
 DECORATIVE CORNER METAL IN 1.24  
 DECORATIVE CORNER METAL IN 1.24  
 FLOORING 2.00  
 WOOD TRIM 1.24

**BUILDING CLADDING - 1.00**  
 METAL TRUSSIS (OVER STAINLESS) 1.00  
 BRASS (OVER CONCRETE FOUNDATION) 1.00  
 BRASS (OVER FLOOR BRASS) (OVER) 1.00  
 BRASS (OVER FLOOR BRASS) (OVER) 1.00  
 FLOOR WOOD (UNDERMINAL) 1.00

**MATERIALS INDEX:**

**KEY PLAN:**

1 SECTION  
 1/8" = 1'



**Twelve Oaks Winery Resort**  
 38901 WARREN ROAD TEMECULA, CALIFORNIA 92563

**CONDITIONAL USE PERMIT**  
**No. 3719, AMENDMENT #3**

APPLICANT:  
 TWELVE OAKS WINERY RESORT  
 38901 WARREN ROAD  
 TEMECULA, CA 92563  
 (951) 942-1111

DESIGNED BY:  
 THOMAS S. AMBERT  
 1045 14th AVENUE, SUITE 100  
 SAN DIEGO, CA 92101  
 (619) 584-5444

DATE: 09/15/17

NO. REVISIONS FOR CONSTRUCTION

NO.	DATE	DESCRIPTION
1	09/15/17	ISSUED FOR CONSTRUCTION
2	09/15/17	ISSUED FOR CONSTRUCTION
3	09/15/17	ISSUED FOR CONSTRUCTION
4	09/15/17	ISSUED FOR CONSTRUCTION
5	09/15/17	ISSUED FOR CONSTRUCTION
6	09/15/17	ISSUED FOR CONSTRUCTION
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99	09/15/17	ISSUED FOR CONSTRUCTION
100	09/15/17	ISSUED FOR CONSTRUCTION

AM3.111

**ACRM**  
 AMBERT CONSULTING RESOURCES MANAGEMENT  
 1045 14th AVENUE, SUITE 100  
 SAN DIEGO, CA 92101-3901  
 THOMAS S. AMBERT, P.A. CIVIL







SHEET NOTES:

LOFTING - 6'00"

ROOFING - 3'00"

OPENING SYSTEMS - 4'00"

METAL DETAILS AND TRUSSES - 3'00"

BUILDING CLADDING - 1'00"

KEY PLAN:

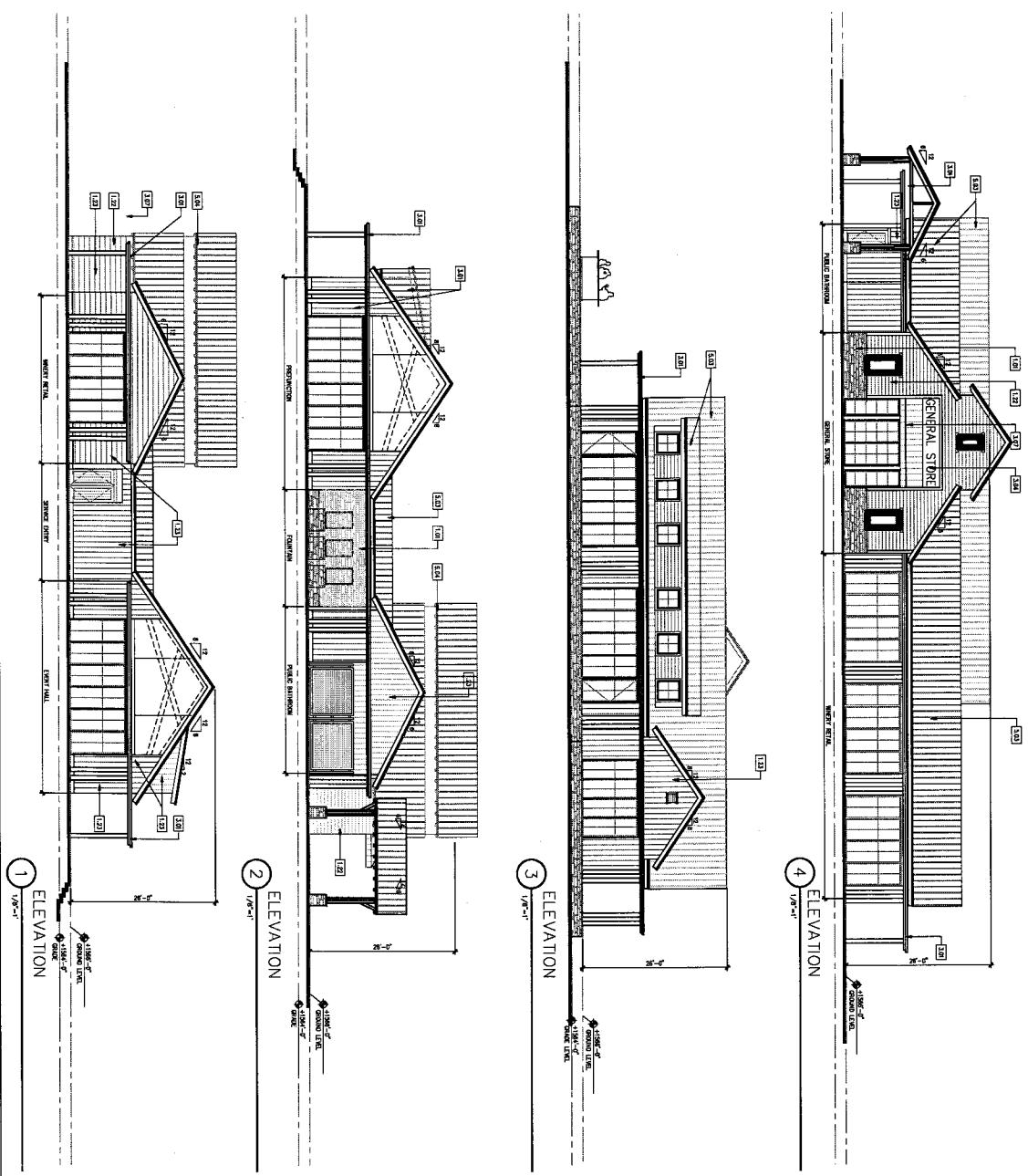
COMMON CONCRETE FLOOR SYSTEM IS 12" THICK  
 STRUCTURAL DETAIL, SEE DETAIL SPECIFICATION 12.01

ALUMINUM WINDOW  
 ALUMINUM STORE ROOM  
 ALUMINUM DOOR ROOM  
 METAL FRAMING DOOR SYSTEM  
 WOOD FRAME DOOR

FRAMING WOOD COLUMN  
 WOOD AND STEEL WOOD FRAME COLUMN IS 12" SQUARE AND STEEL WOOD FRAME COLUMN IS 12" SQUARE AND STEEL WOOD FRAME COLUMN IS 12" SQUARE  
 CONCRETE WOOD JOIST  
 FLOORING  
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SHEET NOTES:

LOFTING - 6'00"

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KEY PLAN:

COMMON CONCRETE FLOOR SYSTEM IS 12" THICK  
 STRUCTURAL DETAIL, SEE DETAIL SPECIFICATION 12.01

ALUMINUM WINDOW  
 ALUMINUM STORE ROOM  
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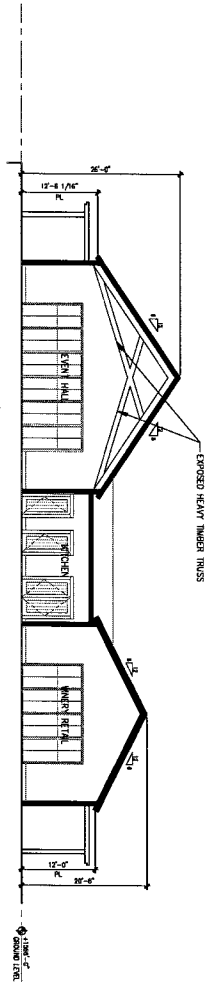
FRAMING WOOD COLUMN  
 WOOD AND STEEL WOOD FRAME COLUMN IS 12" SQUARE AND STEEL WOOD FRAME COLUMN IS 12" SQUARE  
 CONCRETE WOOD JOIST  
 FLOORING  
 FLOORING  
 FLOORING

AM3.310

**Twelve Oaks Winery Resort**  
 :3901 WARREN ROAD TEMECULA, CALIFORNIA 92563  
**CONDITIONAL USE PERMIT**  
**No. 3719, AMENDMENT #3**

ACRM  
 ARCHITECTURAL CONSULTANTS  
 1025 E. MAIN ST. SUITE 100  
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 PHONE: (951) 398-3400  
 THOMAS S. AMBERT, P.A. C17578



SECTION  
1/8"=1'

SHEET NOTES:

LIGHTING - 8.00

ROOFING - 8.00

OPENING SYSTEMS - 4.00

METAL DETAILS and TRUSS - 3.00

FLAT WOOD CEILING - 1.24

BUILDING CLADDING - 1.00

KEY PLAN:



KEY PLAN:

NOT BIDDABLE FOR CONSTRUCTION

MARKETPLACE  
EVENT & RETAIL  
SECTION

Conditional Use Permit No. 3719  
Amendment #2

AM3.311

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Phone: (951) 294-1111

Twelve Oaks Winery Resort  
38901 WARREN ROAD TEMECULA, CALIFORNIA 92563

CONDITIONAL USE PERMIT  
No. 3719, AMENDMENT #3

Prepared  
DESIGNED BY  
DRAWN BY  
CHECKED BY  
DATE

Multiple Authors  
Not to be used for other  
projects without the written  
consent of ACRM  
Project: Twelve Oaks Winery  
Resort, Temecula, CA  
Date: 09/19/17

NOT BIDDABLE FOR CONSTRUCTION

MARKETPLACE  
EVENT & RETAIL  
SECTION

Conditional Use Permit No. 3719  
Amendment #2

AM3.311



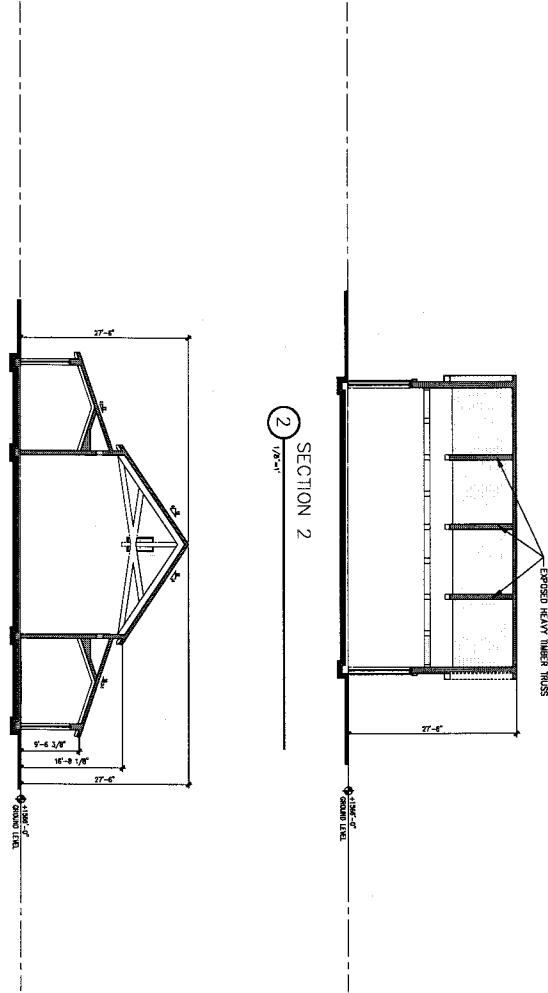
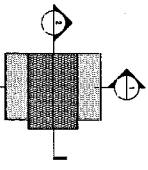
**SHEET NOTES:**

<b>LIGHTING - 8.00</b>	<b>ROOFING - 3.00</b>	<b>OPENING SYSTEMS - 4.00</b>	<b>METAL DETAILS and TRUSSES - 3.00</b>	<b>FLOOR BOYS COLUMN - 1.00</b>
NO. 2000 CONCRETE REINFORCING BARS 140	COMMON ROOFING 140	COMMON STEERING 140	METAL TRUSS 140	NO. 2000 CONCRETE REINFORCING BARS 140
STEEL ROOF PANEL WITH 1/4" BOND COAT 140	ALUMINUM FINISH 140	ALUMINUM FINISH 140	METAL TRUSS 140	ROOF AND SILLER ROOF SYSTEM 140
	ALUMINUM FINISH 140	ALUMINUM FINISH 140	METAL TRUSS 140	ROOF AND SILLER - REINFORCED ROOF 140
	ALUMINUM FINISH 140	ALUMINUM FINISH 140	METAL TRUSS 140	ROOF AND SILLER - REINFORCED ROOF 140
	ALUMINUM FINISH 140	ALUMINUM FINISH 140	METAL TRUSS 140	ROOF AND SILLER - REINFORCED ROOF 140
<b>PAVING - 7.00</b>				

**MATERIALS INDEX:**

<b>BUILDING CLADDING - 1.00</b>	<b>FOUNDATION - 2.00</b>
BRICK VENEER OVER CONCRETE 140	CONCRETE FOUNDATION 140
BRICK VENEER OVER CONCRETE 140	CONCRETE FOUNDATION 140
BRICK VENEER OVER CONCRETE 140	CONCRETE FOUNDATION 140
BRICK VENEER OVER CONCRETE 140	CONCRETE FOUNDATION 140

**KEY PLAN:**

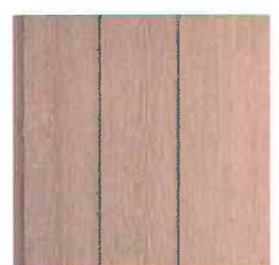




5.01 MODERN CONCRETE TILE ROOF COLOR 01



1.10 PALE WOOD SIDING HORIZONTAL COLOR 01



1.22 DARK WOOD SIDING VERTICAL COLOR 03



1.23 LIGHT WOOD SIDING VERTICAL COLOR 01



2.00 SLATE CERAMIC PANEL (ALUMINUM)



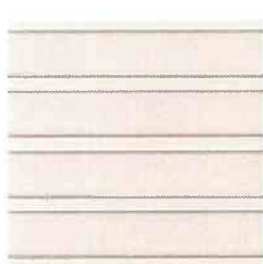
5.03 STANDING METAL SEAM ROOF COLOR 01



5.04 STANDING METAL SEAM ROOF COLOR 02



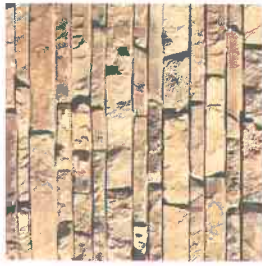
1.10 WOOD SIDING VERTICAL COLOR 01



1.30 BROWN AND BATTERY COLOR 01



3.00 FABRIC AWNING



1.00 NATURAL STONE VENEER (BAY STAINED)



1.00 BOARD AND BATTEN CONCRETE (HORIZONTAL)



1.10 METAL TRUSS



1.31 BROWN AND BATTERY COLOR 02

SHEET NOTES:

LIGHTING - 6.00

ROOFING - 5.00

OPENING SYSTEMS - 4.00

METAL DETAILS and TRUSS - 3.00

PAINT AND BATTERY - 2.00

BUILDING CLADDING - 1.00

KEY PLAN:

NOI REQUIRED FOR CONSTRUCTION

MARKETPLACE MATERIALS

AM3.510

MODERN CONCRETE TILE ROOF COLOR 01	5.01	MODERN CONCRETE TILE ROOF COLOR 01	5.01
PALE WOOD SIDING HORIZONTAL COLOR 01	1.10	PALE WOOD SIDING HORIZONTAL COLOR 01	1.10
DARK WOOD SIDING VERTICAL COLOR 03	1.22	DARK WOOD SIDING VERTICAL COLOR 03	1.22
LIGHT WOOD SIDING VERTICAL COLOR 01	1.23	LIGHT WOOD SIDING VERTICAL COLOR 01	1.23
SLATE CERAMIC PANEL (ALUMINUM)	2.00	SLATE CERAMIC PANEL (ALUMINUM)	2.00
STANDING METAL SEAM ROOF COLOR 01	5.03	STANDING METAL SEAM ROOF COLOR 01	5.03
STANDING METAL SEAM ROOF COLOR 02	5.04	STANDING METAL SEAM ROOF COLOR 02	5.04
WOOD SIDING VERTICAL COLOR 01	1.10	WOOD SIDING VERTICAL COLOR 01	1.10
BROWN AND BATTERY COLOR 01	1.30	BROWN AND BATTERY COLOR 01	1.30
FABRIC AWNING	3.00	FABRIC AWNING	3.00
NATURAL STONE VENEER (BAY STAINED)	1.00	NATURAL STONE VENEER (BAY STAINED)	1.00
BOARD AND BATTEN CONCRETE (HORIZONTAL)	1.00	BOARD AND BATTEN CONCRETE (HORIZONTAL)	1.00
METAL TRUSS	1.10	METAL TRUSS	1.10
BROWN AND BATTERY COLOR 02	1.31	BROWN AND BATTERY COLOR 02	1.31

**AM3.510**  
 Conditional Use Permit No. 3715  
 Amendment #2

**ACPM**  
 ADVANCED CONCRETE PRODUCTS  
 1065 Hill Avenue, Suite 100  
 San Diego, CA 92108-5271  
 Phone: 619-444-8888  
 Fax: 619-444-8889

**Twelve Oaks Winery Resort**  
 3811 WARREN ROAD TEMECULA, CALIFORNIA 92563  
**CONDITIONAL USE PERMIT**  
**No. 3719, AMENDMENT #3**

Prepared by:  
 1000 East Main Street, Suite 1100  
 Temecula, CA 92592  
 Phone: 951-261-1111  
 Fax: 951-261-1112

Project Name:  
 3811 Warren Road  
 Temecula, CA 92563  
 Project No.: 17-3901  
 Drawing No.: AM3.510

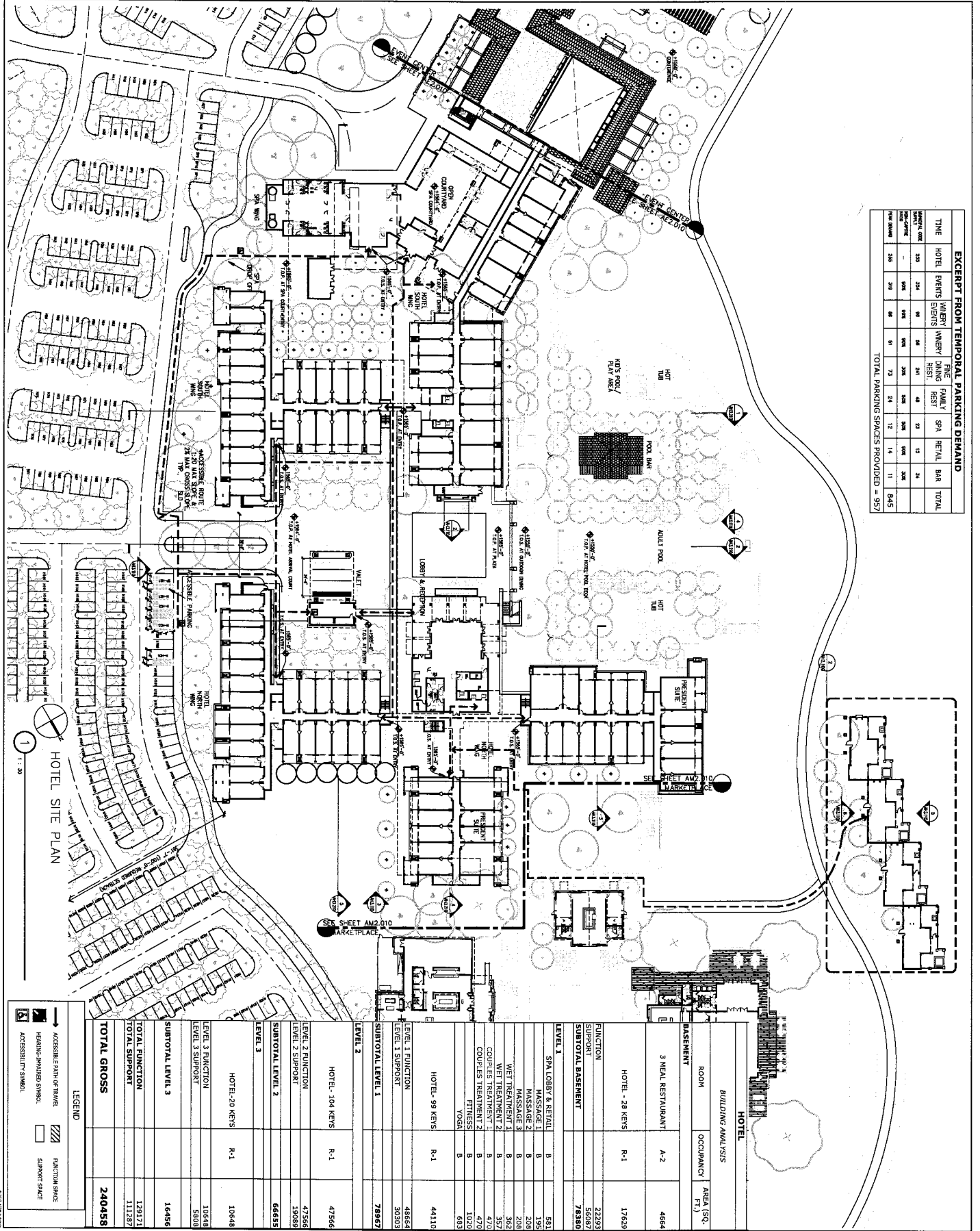
Date of Revision:  
 9/20/17  
 Revision:  
 1. Update drawing to reflect final design.

Prepared by:  
 1000 East Main Street, Suite 1100  
 Temecula, CA 92592  
 Phone: 951-261-1111  
 Fax: 951-261-1112

Project Name:  
 3811 Warren Road  
 Temecula, CA 92563  
 Project No.: 17-3901  
 Drawing No.: AM3.510

Date of Revision:  
 9/20/17  
 Revision:  
 1. Update drawing to reflect final design.

Prepared by:  
 1000 East Main Street, Suite 1100  
 Temecula, CA 92592  
 Phone: 951-261-1111  
 Fax: 951-261-1112



**EXCERPT FROM TEMPORAL PARKING DEMAND**

TYPE	HOTEL	EVENTS	WINERY	WINERY DINING	FINC	FAMILY REST.	SPA	RETAIL	BAR	TOTAL
MINIMUM DEMAND	220	204	98	94	241	48	23	12	24	
MAXIMUM DEMAND	216	200	94	90	236	44	20	12	24	
TOTAL PARKING SPACES PROVIDED =	316	316	68	73	24	12	14	11		845

TOTAL PARKING SPACES PROVIDED = 845

HOTEL		BUILDING ANALYSIS	
ROOM	OCCUPANCY	AREA (SQ. FT.)	
BASEMENT			
3 MEAL RESTAURANT	A-2	4664	
HOTEL - 28 KEYS	R-1	17629	
SUPPORT			
SUBTOTAL BASEMENT		22293	
LEVEL 1			
SPA LOBBY & RETAIL	B	591	
MASSAGE 1	B	195	
MASSAGE 2	B	208	
MASSAGE 3	B	208	
WET TREATMENT 1	B	352	
WET TREATMENT 2	B	352	
COPY/PS INK/PRINT	B	470	
TRVCA	B	1120	
LOGA	B	683	
HOTEL - 99 KEYS	R-1	44110	
LEVEL 2			
HOTEL - 104 KEYS		R-1	
		47566	
LEVEL 3			
HOTEL - 20 KEYS		R-1	
		10648	
SUBTOTAL LEVEL 1		78987	
SUBTOTAL LEVEL 2		66855	
SUBTOTAL LEVEL 3		18456	
TOTAL FUNCTION		123173	
TOTAL SUPPORT		111287	
TOTAL GROSS		240458	

LEGEND	
(Symbol)	ACCESSIBLE PATH OF TRAVEL
(Symbol)	HEARING-IMPAIRED SYMBOL
(Symbol)	ACCESSIBLE LIFT SYMBOL
(Symbol)	FUNCTION SPACE
(Symbol)	SUPPORT SPACE

NOT ISSUED FOR CONSTRUCTION

**HOTEL ENTRY LEVEL SITE PLAN**

**AH2.010**

Conditional Use Permit No. 3719  
Amendment #3

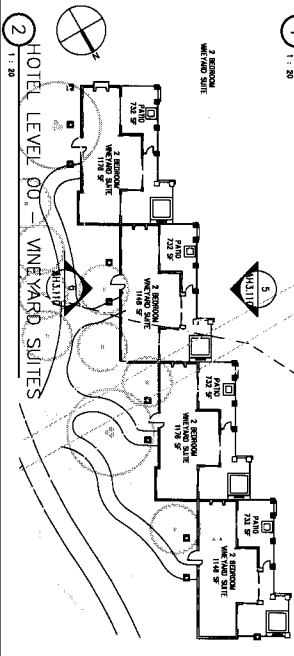
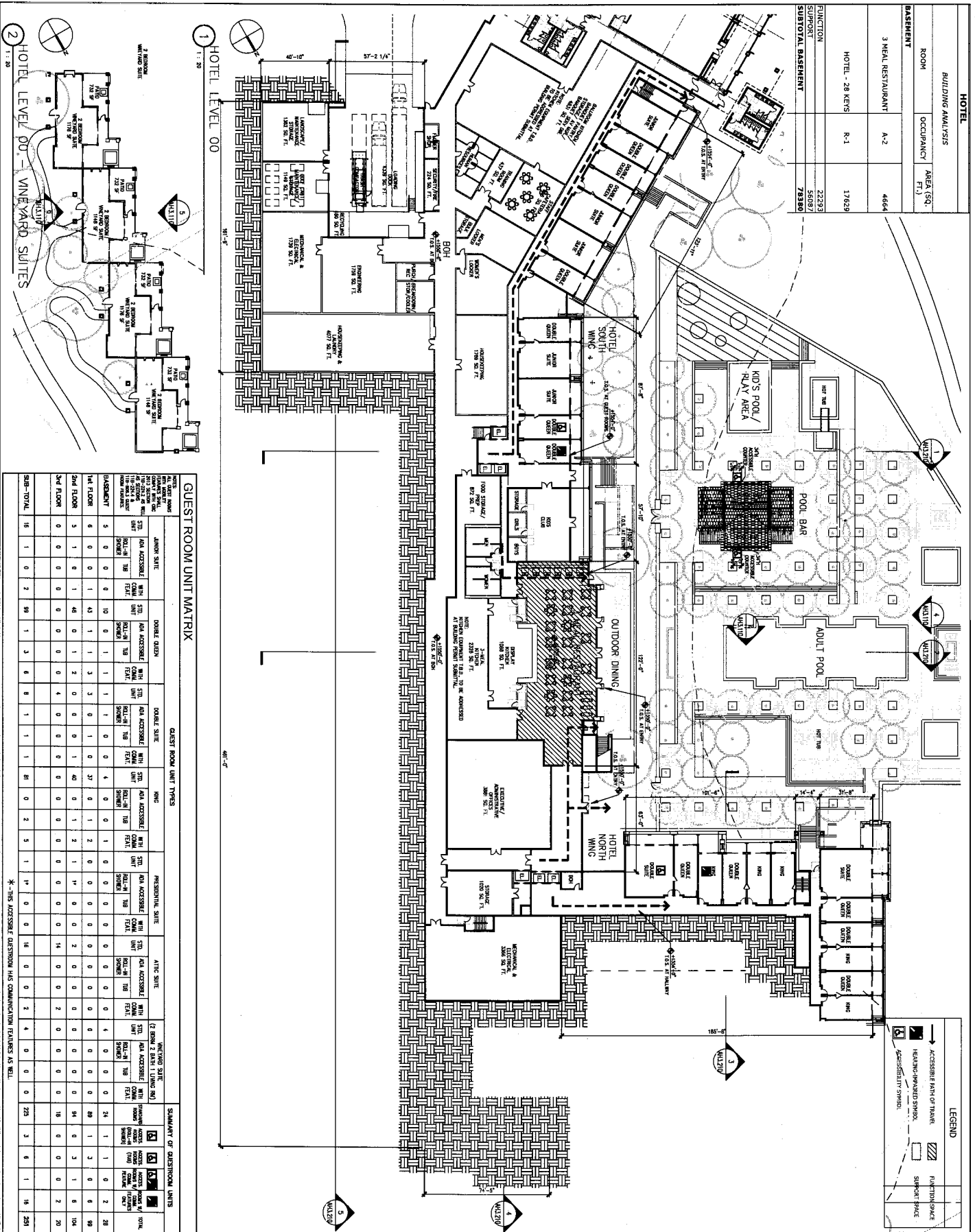
**Twelve Oaks Winery Resort**  
38901 WARREN ROAD TEMECULA, CALIFORNIA 92563

**CONDITIONAL USE PERMIT No. 3719, AMENDMENT #3**

**ACRM** ARCHITECTURAL RECORDS & DESIGN  
1045 5th Avenue, Suite 100  
Temecula, CA 92592  
Phone: (951) 298-3480  
THOMAS B. AMBERY, P.A. C17928

Submitted: TEMECULA, CA  
441.110.010 (HOTEL ENTRY LEVEL)  
(951) 298-3480

HOTEL			
BUILDING ANALYSIS			
ROOM	OCCUPANCY	AREA (SQ. FT.)	
BASMENT			
3 MEAL RESTAURANT	A-2	4664	
HOTEL - 28 KEYS	R-1	17629	
FUNCTION SUPPORT		22293	
SUBTOTAL BASEMENT		58087	
		78380	



WING	UNIT	GUEST ROOM UNIT TYPES										SUMMARY OF GUESTROOM UNITS				
		JUNIOR SUITE		DOUBLE QUIN		DOUBLE SUITE		KING		PRESIDENTIAL SUITE			VINEYARD SUITE (2 BRN 2 BATH 1 LINEN RB)			
WING	UNIT	NO. ADA ACCESSIBLE	NO. COIN	NO. ADA ACCESSIBLE	NO. COIN	NO. ADA ACCESSIBLE	NO. COIN	NO. ADA ACCESSIBLE	NO. COIN	NO. ADA ACCESSIBLE	NO. COIN	NO. ADA ACCESSIBLE	NO. COIN	NO. ADA ACCESSIBLE	NO. COIN	TOTAL
BASMENT	5	0	0	0	0	0	0	0	0	0	0	0	0	0	0	28
1st FLOOR	3	1	0	1	0	1	0	1	0	1	0	1	0	1	0	104
2nd FLOOR	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	20
3rd FLOOR	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	20
SUB-TOTAL	18	1	0	2	0	3	0	1	1	1	1	1	1	1	1	291

\* - THIS ACCESSIBLE GUESTROOM HAS COMMUNICATION FEATURES AS WELL.

**LEGEND**

- ACCESSIBLE PATH OF TRAVEL
- HEADING ORIENTED SYMBOL
- ACCESSIBILITY SYMBOL
- FUNCTION SPACE
- SUPPORT SPACE

NOT ISSUED FOR CONSTRUCTION

HOTEL LEVEL 00

Approved: [Signature]

Project No. 3719

**Twelve Oaks Winery Resort**

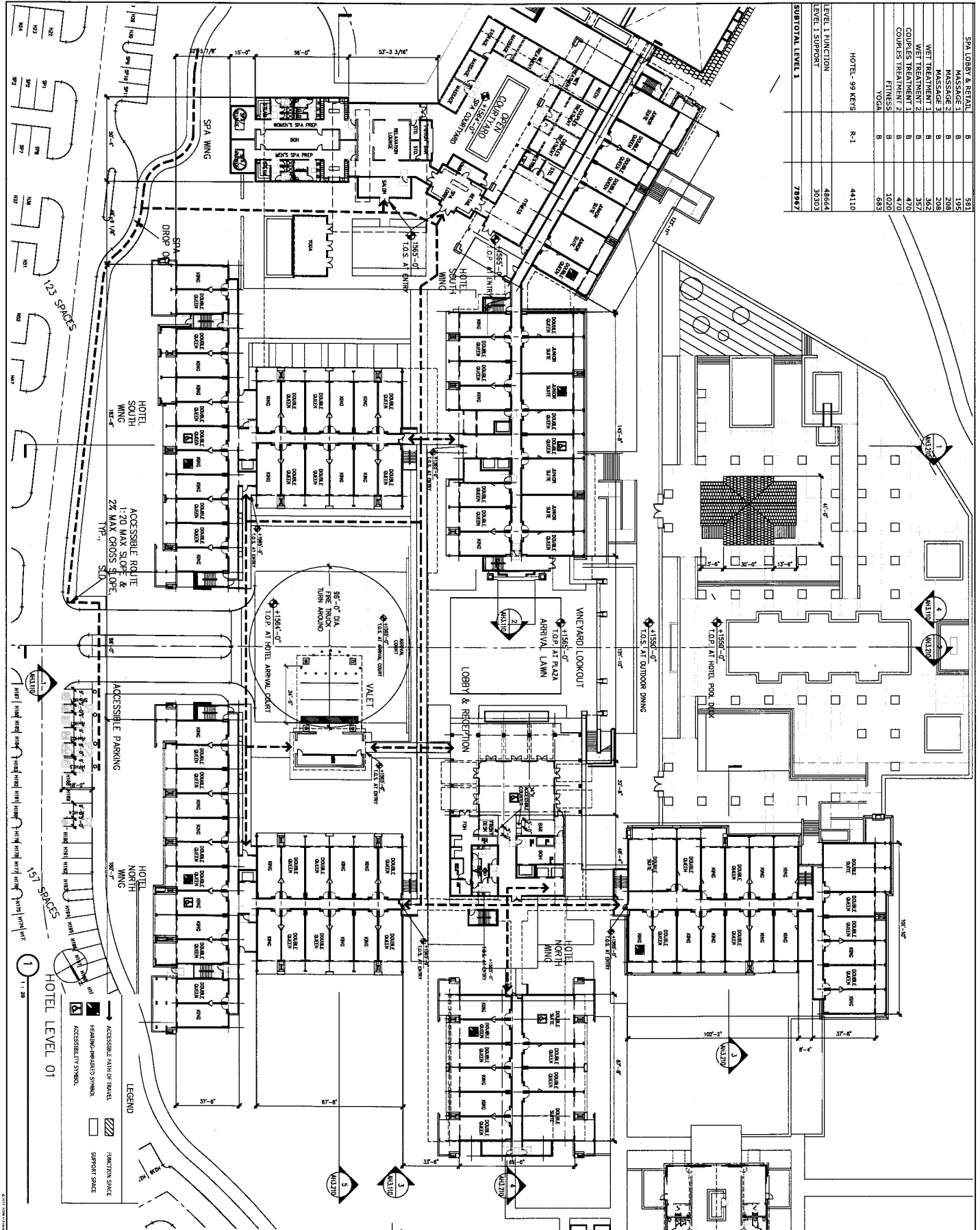
38901 WARREN ROAD TEMECULA, CALIFORNIA 92563

**CONDITIONAL USE PERMIT**  
No. 3719, AMENDMENT #3

**ACRM**

ARCHITECTURE & INTERIORS

1045 E. HWY 94, SUITE 100  
P.O. BOX 28888  
TEMPERANCE, CA 92591  
PHONE: (951) 995-2400  
THOMAS S. AMBERG, P.A. C17378



**Twelve Oaks Winery Resort**  
 3901 WARREN ROAD TEMECULA, CALIFORNIA 92563

**CONDITIONAL USE PERMIT No. 3719, AMENDMENT # 3**

**Legend**

- FUNCTION SPACE
- SUPPORT SPACE
- HEARING-IMPAIRED SYMBOL
- ACCESSIBILITY SYMBOL
- ACCESSIBLE ROUTE
- ACCESSIBLE PARKING

**NOT ISSUED FOR CONSTRUCTION**

**HOTEL LEVEL 01**

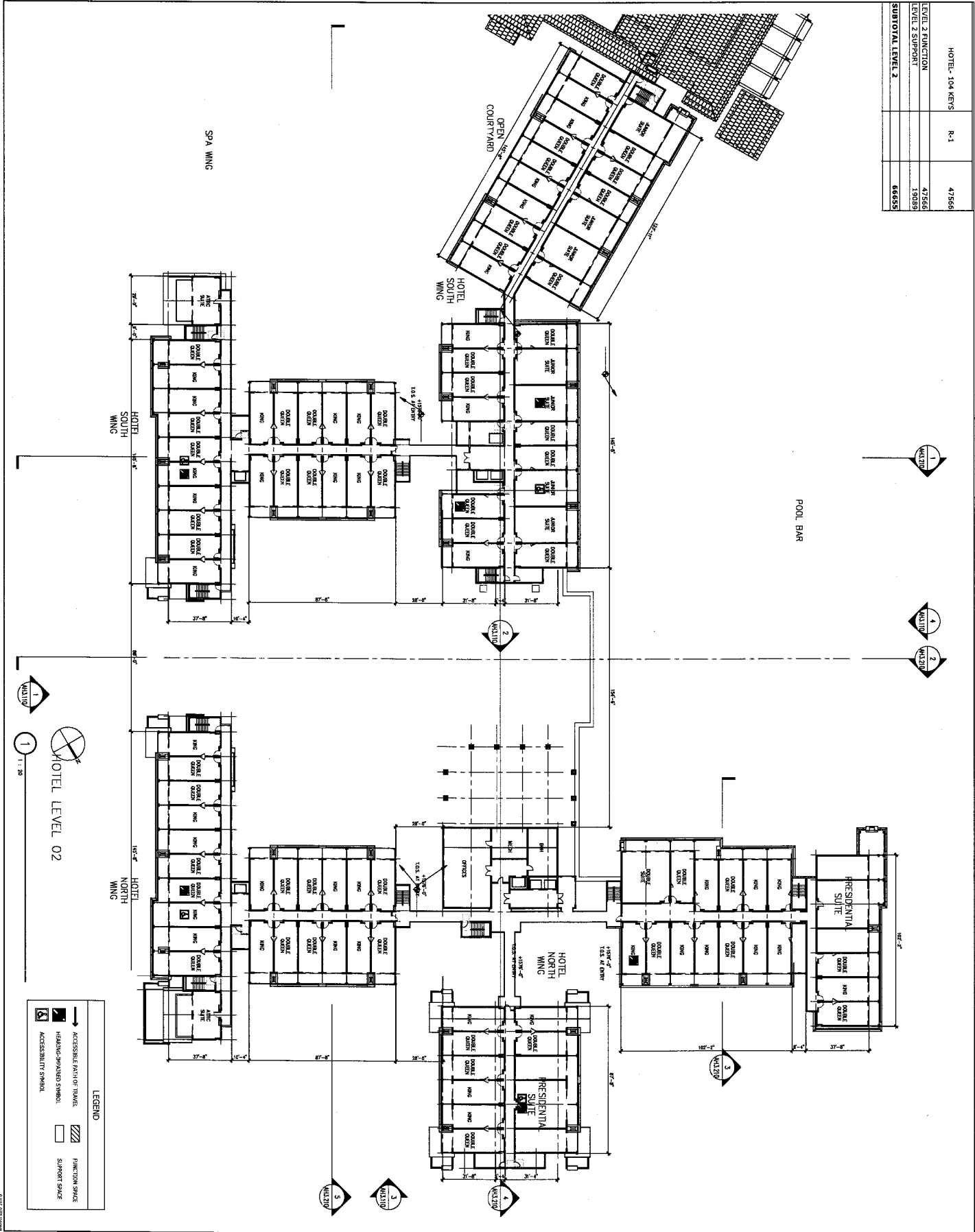
**AH2.101**

**ACRM**  
 ARCHITECTURAL CONSULTING & RECORDING  
 100 SAN DIEGO, CA 92101-5270  
 PHONE: (619) 584-1480  
 FAX: (619) 584-1480  
 INFO@ACRM.COM

**PREPARED BY:**  
 ARCHITECTURAL CONSULTING & RECORDING  
 100 SAN DIEGO, CA 92101-5270  
 PHONE: (619) 584-1480  
 FAX: (619) 584-1480  
 INFO@ACRM.COM



HOTEL - 104 KEYS	R-1	47566
LEVEL 2 FUNCTION		47566
LEVEL 2 SUPPORT		13089
<b>SUBTOTAL LEVEL 2</b>		<b>60655</b>



**Twelve Oaks Winery Resort**  
38901 WARREN ROAD TEMECULA, CALIFORNIA 92563

**CONDITIONAL USE PERMIT No. 3719, AMENDMENT #3**

APPLICANT: TWELVE OAKS WINERY RESORT, LLC  
100 SAN DIEGO AVENUE, SUITE 100  
TEMECULA, CA 92592  
PHONE: (951) 298-3400  
FAX: (951) 298-3400

DATE: 09/19/2017  
DRAWN BY: J. L. BROWN  
CHECKED BY: J. L. BROWN  
SCALE: AS SHOWN

NOT ISSUED FOR CONSTRUCTION

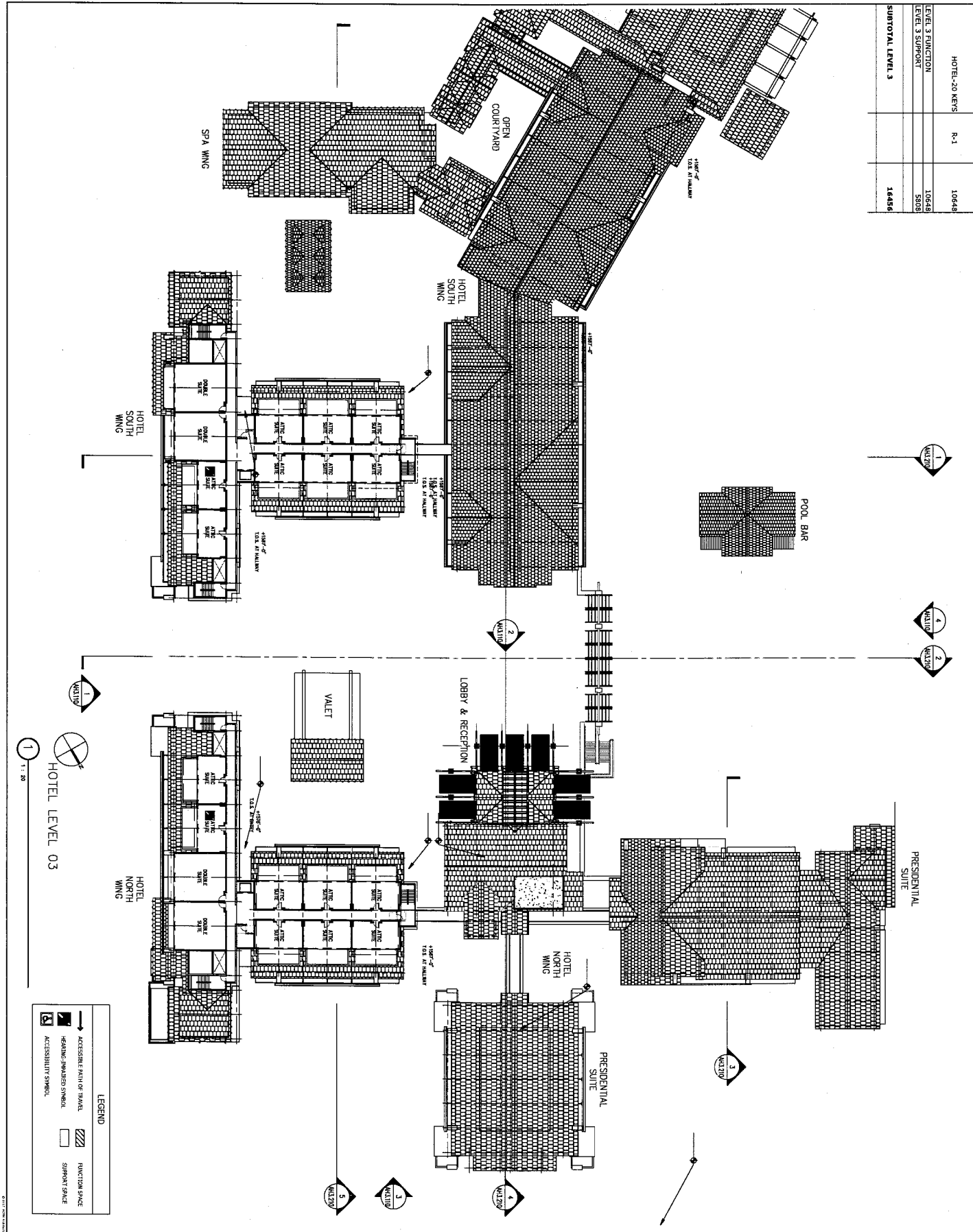
**HOTEL LEVEL 02**

AMENDMENT #2

**AH2.102**

**ACRM**  
ARCHITECTURAL CONSULTING & RENDERING  
100 SAN DIEGO AVENUE, SUITE 100  
TEMECULA, CA 92592  
PHONE: (951) 298-3400  
FAX: (951) 298-3400

HOTEL-20 KEYS	R-1	10646
LEVEL 3 FUNCTION		10648
LEVEL 3 SUPPORT		5808
SUBTOTAL LEVEL 3		16456



**AH2.103**

**HOTEL LEVEL 03**

NOT ISSUED FOR CONSTRUCTION

LEGEND

- ACCESSIBLE PATH OF TRAVEL
- HEARING IMPAIRED SYMBOL
- ACCESSIBILITY SYMBOL
- FUNCTION SPACE
- SUPPORT SPACE

DATE: 09/20/17

PROJECT: TWELVE OAKS WINERY RESORT

LOCATION: TEMECULA, CALIFORNIA

SCALE: AS SHOWN

DESIGNED BY: [Firm Name]

DRAWN BY: [Firm Name]

CHECKED BY: [Firm Name]

DATE: 09/20/17

12 OAKS WINERY RESORT

38901 WARREN ROAD

TEMECULA, CALIFORNIA 92563

**Twelve Oaks Winery Resort**

38901 WARREN ROAD TEMECULA, CALIFORNIA 92563

**CONDITIONAL USE PERMIT**

**No. 3719, AMENDMENT # 3**

AGRM

AGRICULTURAL GENERAL RESOURCES MANAGEMENT

18750 AGRIWAY

SAN DIEGO, CA 92128

PHONE: (619) 594-5460

FAX: (619) 594-5461

THOMAS S. ANDRETTI, P.A. C17378

STATE OF CALIFORNIA

DEPARTMENT OF CONSUMER AFFAIRS

AGRICULTURAL GENERAL RESOURCES MANAGEMENT

18750 AGRIWAY

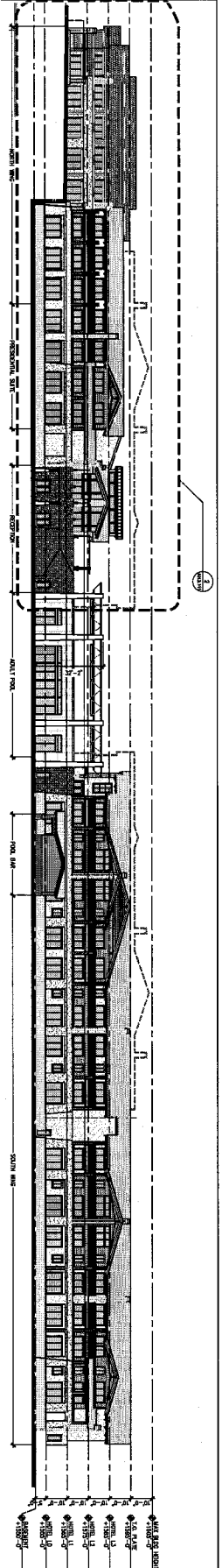
SAN DIEGO, CA 92128

PHONE: (619) 594-5460

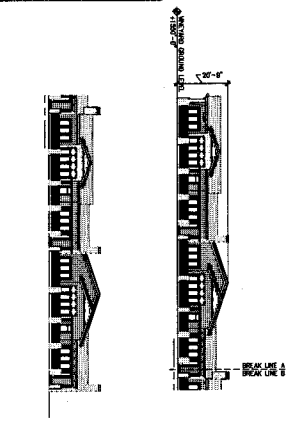
FAX: (619) 594-5461

THOMAS S. ANDRETTI, P.A. C17378

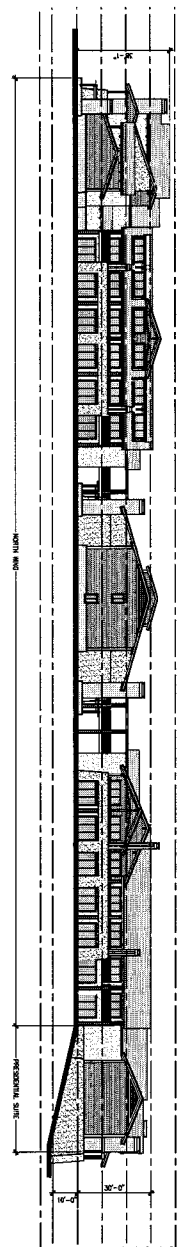




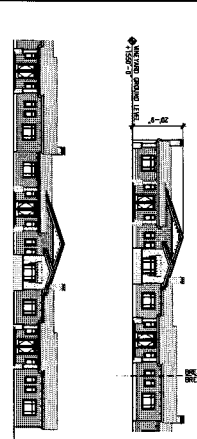
4 HOTEL EAST SIDE ELEVATION  
1" = 20'



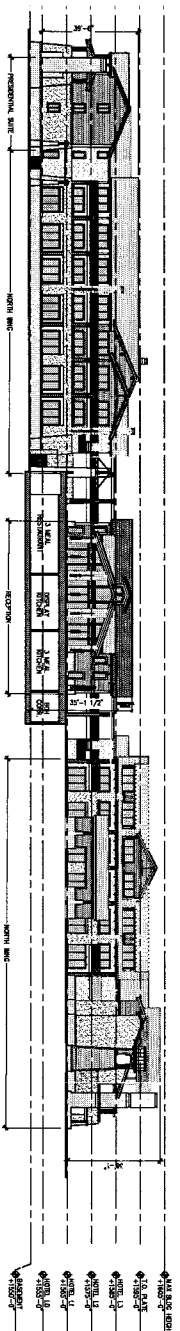
5 VINEYARD SUITE WEST ELEVATION  
1" = 20'



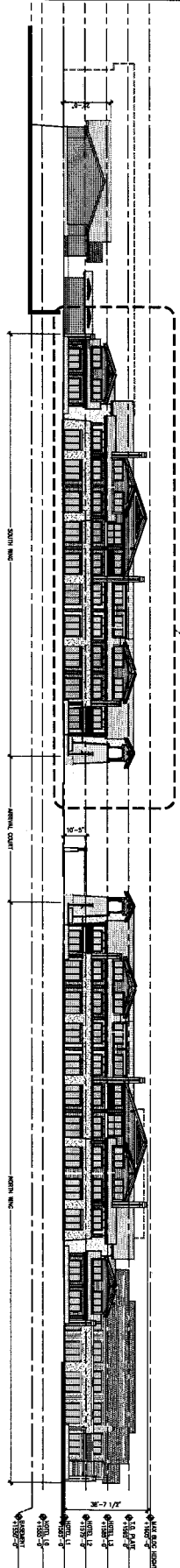
3 HOTEL NORTH SIDE ELEVATION  
1" = 20'



6 VINEYARD SUITE EAST ELEVATION  
1" = 20'

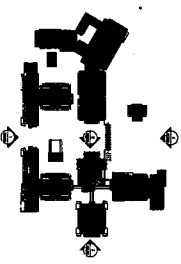


2 HOTEL SOUTH COURTYARD ELEVATION  
1" = 20'



1 HOTEL ENTRYWEST ELEVATION  
1" = 20'

ARCHITECTURAL ELEMENTS MAY EXCEED THE PRESCRIBED HEIGHT LIMITS WHERE SUCH STRUCTURES DO NOT PROVIDE ADDITIONAL FLOOR SPACE.



**ACRM**  
ARCHITECTURAL RECORDS & RENDERING  
3054 S. HUNTER AVE. SUITE 100  
IRVINE, CA 92615  
Phone: (949) 298-8483  
THOMAS F. AMBERG, P.E. C17578

Prepared for: TWELVE OAKS WINERY, LLC  
38901 WARREN ROAD, TEMECULA, CA 92563  
DATE: 11/16/17

**Twelve Oaks Winery Resort**  
38901 WARREN ROAD TEMECULA, CALIFORNIA 92563

**CONDITIONAL USE PERMIT  
No. 3719, AMENDMENT #2**

**REVISIONS**

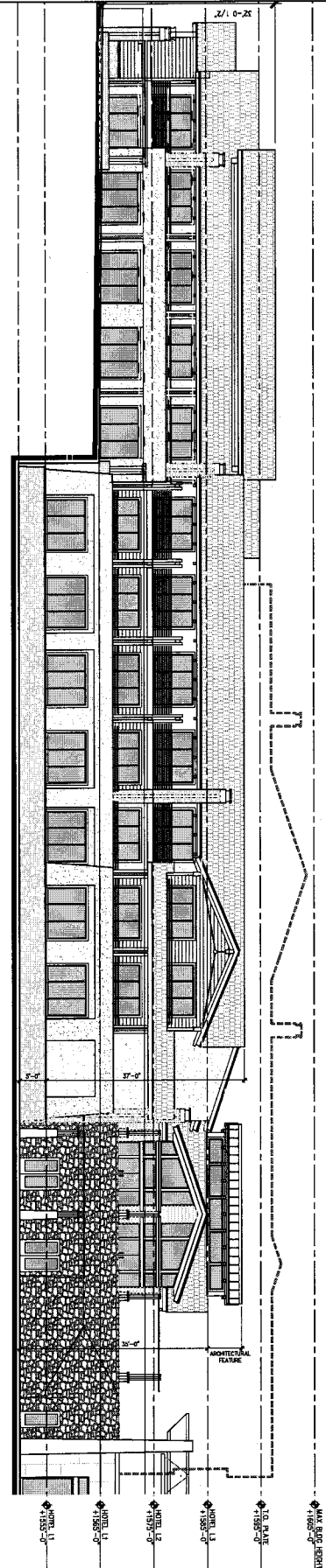
NO.	DATE	DESCRIPTION
1	11/16/17	ISSUED FOR PERMIT
2	11/16/17	AMENDMENT #2

**DATE:** 11/16/17  
**BY:** [Signature]  
**CHECKED:** [Signature]  
**SCALE:** AS SHOWN

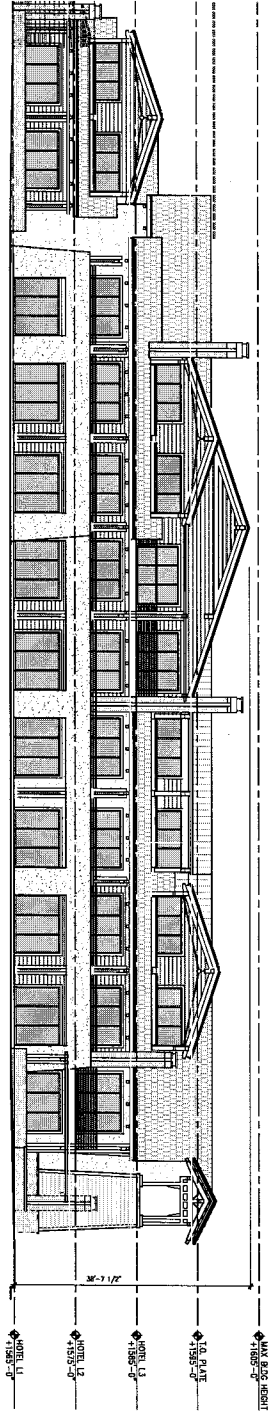
**Twelve Oaks Winery Resort**  
38901 WARREN ROAD, TEMECULA, CA 92563  
DATE: 11/16/17

**CONDITIONAL USE PERMIT No. 3719**  
AMENDMENT #2

**AH3.110**

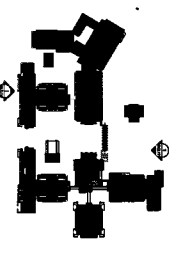


2  
1/8" = 1'  
ENLARGED HOTEL NORTH ELEVATION



1  
1/8" = 1'  
ENLARGED HOTEL ENTRY ELEVATION

ARCHITECTURAL ELEMENTS MAY EXCEED THE PRESCRIBED HEIGHT LIMITS WHERE SUCH STRUCTURES DO NOT PROVIDE ADDITIONAL FLOOR SPACE.



**ACRM**  
ARCHITECTURAL RECORDS & SERVICES  
1545 16th Ave, Suite 100  
Temecula, CA 92592  
Phone: (951) 398-3400  
THOMAS E. AMBERG, P.A. C17578

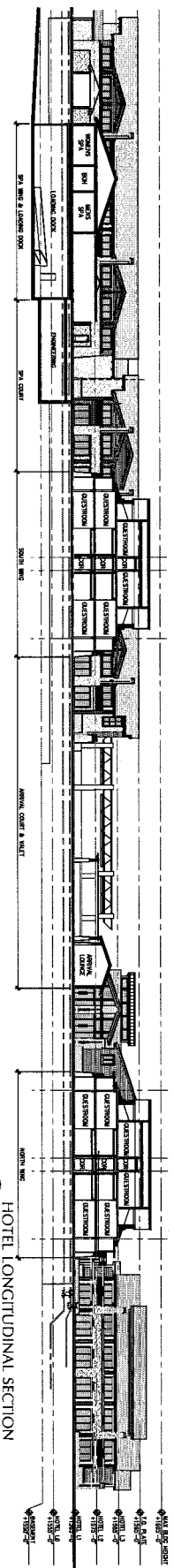
THIRTEEN OAKS WINERY, LLC  
38901 WARREN ROAD, TEMECULA, CA 92563  
TEL: 951-398-3400  
WWW.TWOWINERY.COM

**Twelve Oaks Winery Resort**  
38901 WARREN ROAD TEMECULA, CALIFORNIA 92563  
**CONDITIONAL USE PERMIT**  
**No. 3719, AMENDMENT #2**

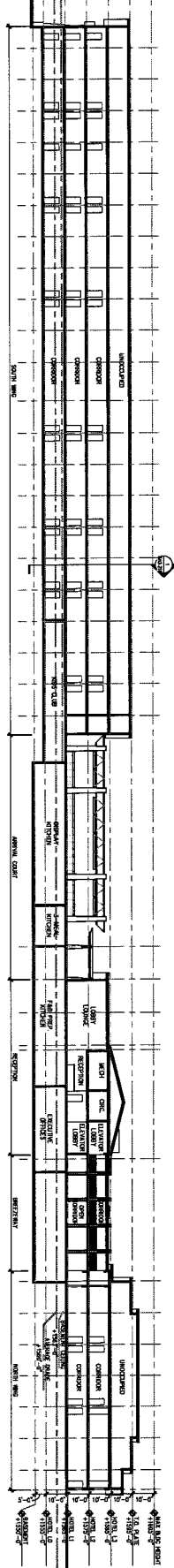
**NOTED:**  
THIS PERMIT IS CONDITIONAL UPON THE APPLICANT OBTAINING ALL NECESSARY PERMITS FROM ALL APPLICABLE AGENCIES AND AGENCIES.  
THE APPLICANT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM ALL APPLICABLE AGENCIES AND AGENCIES.  
THE APPLICANT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM ALL APPLICABLE AGENCIES AND AGENCIES.

**Issued:**  
DATE OF PERMIT: 11/20/17  
DATE OF PERMIT: 11/20/17  
DATE OF PERMIT: 11/20/17  
DATE OF PERMIT: 11/20/17  
DATE OF PERMIT: 11/20/17  
DATE OF PERMIT: 11/20/17  
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DATE OF PERMIT: 11/20/17

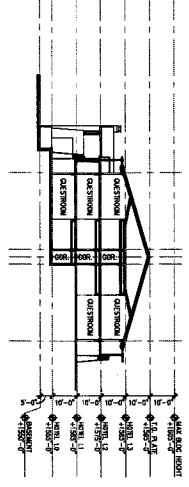
**NOT ISSUED FOR CONSTRUCTION**  
**ENLARGED HOTEL**  
**ELEVATIONS**  
Conditional Use Permit No. 3719  
Amendment #2  
**AH3.111**



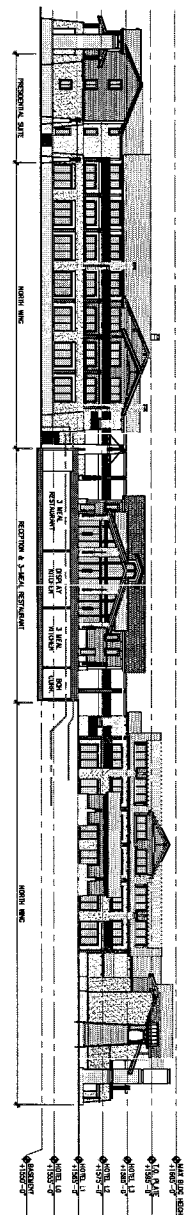
5 HOTEL LONGITUDINAL SECTION  
1" = 20'



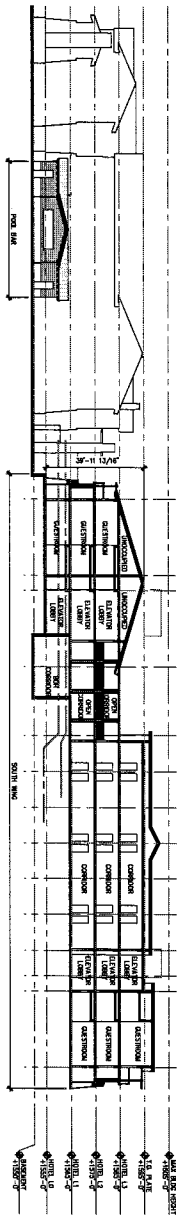
4 HOTEL LONGITUDINAL SECTION  
1" = 20'



3 HOTEL CROSS SECTION  
1" = 20'

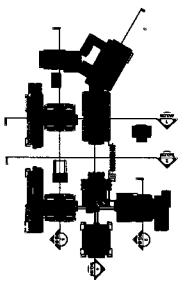


2 HOTEL CROSS SECTION  
1" = 20'



1 HOTEL CROSS SECTION  
1" = 20'

ARCHITECTURAL ELEMENTS MAY EXCEED THE PRESCRIBED HEIGHT LIMITS WHERE SUCH STRUCTURES DO NOT PROVIDE ADDITIONAL FLOOR SPACE.



**ACPM**  
 ASSOCIATED CONTRACTORS & ENGINEERS  
 100 San Diego, CA 92161-2001  
 Phone: (619) 444-4400  
 Fax: (619) 444-4401  
 Email: info@acpm.com

**Twelve Oaks Winery Resort**  
 3901 WARREN ROAD TEMECULA, CALIFORNIA 92563  
**CONDITIONAL USE PERMIT No. 3719, AMENDMENT #2**

**AH3.210**  
 Conditional Use Permit No. 3719  
 Amendment #2  
 NOT ISSUED FOR CONSTRUCTION  
 HOTEL SECTIONS