

**SUBMITTAL TO THE BOARD OF SUPERVISORS
COUNTY OF RIVERSIDE, STATE OF CALIFORNIA**



ITEM
3.22
(ID # 8442)

MEETING DATE:

Tuesday, July 23, 2019

FROM: ECONOMIC DEVELOPMENT AGENCY (EDA):

SUBJECT: ECONOMIC DEVELOPMENT AGENCY (EDA): United States Bankruptcy Court Lease Amendment and Renovation Project – Approval of Lease Amendment No. 1 with the United States of America; Acceptance of the Notice of Completion for Phase I and II for Angeles Contractor, Inc.; Approval of Revised Project Budget; and Approval of Construction Contract for Phase III with Angeles Contractor, Inc., District 2. [\$3,186,921 - Lease Payments from General Services Administration – 100%] (Clerk to Record Notice of Completion)

RECOMMENDED MOTION: That the Board of Supervisors:

1. Find that the project is exempt from the California Environmental Quality Act (CEQA) pursuant to State CEQA Guidelines Section 15301, Existing Facilities Exemption, and Section 15061(b)(3), "Common Sense" Exemption;
2. Approve the Lease Amendment No. 1 between the United States of America and the County of Riverside, and authorize the Chairman of the Board to execute the same on behalf of the County;
3. Accept the construction of Phase I and Phase II for the U.S. Bankruptcy Court Renovation Project constructed by Angeles Contractor, Inc. (Angeles) with Job Order Contracting (JOC), as complete, and authorize the Chairman of the Board (Chairman) to execute and the Clerk of the Board to record the attached Notice of Completion;

ACTION:CIP, Policy

Robert Field, Assistant County Executive Officer/ECD 5/10/2019

MINUTES OF THE BOARD OF SUPERVISORS

On motion of Supervisor Jeffries, seconded by Supervisor Perez and duly carried by unanimous vote, IT WAS ORDERED that the above matter is approved as recommended.

Ayes: Jeffries, Spiegel, Washington, Perez and Hewitt
Nays: None
Absent: None
Date: July 23, 2019
xc: EDA

Kecia R. Harper
Clerk of the Board

By:
Deputy

**SUBMITTAL TO THE BOARD OF SUPERVISORS COUNTY OF RIVERSIDE,
STATE OF CALIFORNIA**

RECOMMENDED MOTION: That the Board of Supervisors:

4. Authorize the release of the undisputed retained funds for Phase I and Phase II of the Project in the cumulative amount of \$52,729 to Angeles in accordance with the contract terms and applicable law;
5. Approve an increase to the project budget in the amount not to exceed of \$1,589,122 for a revised project budget of \$3,186,921 for Phase III construction of the U.S. Bankruptcy Court Renovation Project;
6. Authorize the use of funding from the Riverside County Executive Office to be reimbursed by Lease Payments from General Services Administration (GSA) not to exceed the additional \$1,589,122 for the Project, including reimbursement to the Economic Development Agency (EDA) for incurred project related expenses;
7. Authorize the use of the Easy Indefinite Quantity Construction (EZIQC) contracting sponsored by Sourcewell (formerly known as National Joint Powers Alliance) for a Construction Contract with Angeles of City of Industry, California, to complete Phase III of the U.S. Bankruptcy Court Renovation Project;
8. Approve the attached Construction Contract between the County of Riverside (County) and Angeles in the amount of \$1,678,005 and authorize the Chairman to execute the contract on behalf of the County; and
9. Authorize the Assistant County Executive Officer/ECD to administer the Construction Contract with Angeles in accordance with applicable Board policies; and
10. Direct the Clerk of the Board to file the Notice of Exemption with the County Clerk within five working days of approval by the Board.

FINANCIAL DATA	Current Fiscal Year:	Next Fiscal Year:	Total Cost:	Ongoing Cost
COST	\$ 500,000	\$ 1,089,122	\$ 1,589,122	\$ 0
NET COUNTY COST	\$ 0	\$ 0	\$ 0	\$ 0
SOURCE OF FUNDS: Lease payments from General Services Administration – 100%			Budget Adjustment: No	
			For Fiscal Year: 2019/20 – 2020/21	

C.E.O. RECOMMENDATION: Approve

BACKGROUND:

Summary

**SUBMITTAL TO THE BOARD OF SUPERVISORS COUNTY OF RIVERSIDE,
STATE OF CALIFORNIA**

On April 18, 2017, Item 3.27, the Board of Supervisors (Board) approved the U.S. Bankruptcy Court revenue lease agreement located at 3420 12th Street in Riverside, California. This lease agreement included a tenant improvement allowance of \$1,597,799 which was used to complete Phases I and II; the first floor renovation and relocation of court staff.

On August 29, 2017, Item 3.35, the Board approved the U.S. Bankruptcy Court Renovation Project and preliminary budget in the amount of \$1,597,799. Also approved was the reimbursement of demolition, architectural, and project management fees that are outside the lease terms. These expenses currently amount to approximately \$271,284.

On March 14, 2017, Item 3.14, the Board approved the construction contract for Job Order Contract No. JOC008 between the County of Riverside (County) and Angeles. Pursuant to the contract, six job orders were issued for the Project in the combined amount of \$1,054,576.

To provide final authority for the Renovation Project, a Lease Amendment No. 1 is presented for approval by the Board which will authorize completion of the Renovation Project based upon the total cost, provide the financing structure for reimbursement of the Renovation Project costs to County by the U.S. Government, acting by and through the General Services Administration (GSA), and lease an additional 1,722 square feet of space to GSA within the newly renovated leased premises. Of the total project costs, \$2,915,636.00 will be reimbursed to County from the GSA. Of the total project costs, \$1,597,799.00 will be amortized over a ten (10) year period at 8% interest payable at \$19,385.71 per month by GSA to County, and an amount not to exceed \$1,317,837.00 will be amortized over a ten (10) year period at 9.25% interest payable at \$16,872.63 per month by GSA to County. The amount of \$1,317,837.00 includes an amount of \$119,783.71 to be used, if needed, to complete the project. Both payments shall commence upon substantial completion of the Renovation Project.

The rent for the additional 1,722 square feet of space will be the lease rate per square foot in effect at the time of substantial completion on the existing leased premises.

Angeles has completed the work for Phases I and II under the approved budget. The Project has been inspected and found to comply with the contract requirements. This Board action will release the undisputed contract retention funds in the amount of \$52,729 to Angeles, after the Notice of Completion has been recorded and the 35 day lien period has expired per contract terms and applicable law.

Phase III of the Project will include renovation of a portion of the first and second floor for the U.S. Probation Department. An additional funding allocation of \$1,589,122 is to be provided through the amendment of the revenue lease agreement. The additional funds are herein requested to be incorporated unto the project's budget.

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On October 18, 2011, Item 3-18, the Board ratified membership of the County in the National Joint Powers Alliance, now known as Sourcewell. The County's membership in Sourcewell allows participation in the EZIQC program, a contract procurement method that allows EDA to move more quickly to the construction phase of a project and expedite project delivery. Angeles, an approved EZIQC contractor, received the plans, walked the site with County personnel and submitted their proposal in accordance with the EZIQC contract in the amount of \$1,678,005 for Phase III of the Project.

EDA recommends the Board approve the project budget increase in the amount not to exceed of \$1,589,122 and approve the construction contract with Angeles to complete the Project. The budget increase will cover the Construction Contract for Phase III with Angeles and other remaining project related obligations to successfully complete the first and second floor renovation for the U.S. Probation Department.

Pursuant to the California Environmental Quality Act (CEQA), the Lease Amendment No. 1 and Phase III construction was reviewed and determined to be categorically exempt from CEQA under State CEQA Guidelines Section 15301, Class 1 – Existing Facilities exemption and Section 15061(b)(3), "Common Sense" exemption. The proposed project, the Lease Amendment No. 1 and Phase III construction, will not result in a substantial increase in capacity or expansion of the existing building. The operation of the facility will continue to provide public services and no additional direct or indirect physical environmental impacts are anticipated. No significant environmental impacts are anticipated to occur with the additional leased space and renovations within the existing building.

Impact on Residents and Businesses

The U.S. Bankruptcy Court continues to provide valuable legal services to the citizens of Riverside County and at the same time positive economic impact to the downtown Riverside area. Continuing our long established partnership through Court occupancy and tenant improvement upgrades ensures that these vital facilities and high income jobs stay within the County.

Additional Fiscal Information

Job Order Contract work orders issued pursuant to the contract are listed as follows:

PROJECT NUMBER	JOB ORDER CONTRACT	DESCRIPTION	CONTRACT AMOUNT	RETAINED FUNDS
FM08000008649	JOC008- FM08000008649.00	U.S.B.K. T.I. Phase 1: Renovation of 2,800 SF	356,106	17,805

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FM08000008649	JOC008- FM08000008649.02	U.S.B.K. T.I. Phase 1 Suppl. Security and Phasing	24,299	1,215
FM08000008649	JOC008- FM08000008649.03	U.S.B.K. T.I. Phase 1 Suppl. Communications and Elect.	18,112	906
FM08000008649	JOC008- FM08000008649.04	U.S.B.K. T.I. Phase 1 Suppl. Cash Boxes at Intake Windows	4,986	249
FM08000008649	JOC008- FM08000008649.01	U.S.B.K. T.I. Phase 2 Suppl. Renovation of 4,600 SF	586,685	29,334
FM08000008649	JOC008- FM08000008649.05	U.S.B.K. T.I. Phase 2; Security and HVAC Upgrades	64,389	3,220
		TOTAL	\$ 1,054,577	\$ 52,729

Additional Fiscal Information (Continued)

The approximate allocation of the project budget increase is as follows:

PROJECT BUDGET LINE ITEMS	CATEGORY	PROJECT BUDGET	PROJECT BUDGET ADJUSTMENT	REVISED PROJECT BUDGET
Architectural Design	1	130,000	34,840	164,840
Construction Management	2	0	0	0
Construction Contract, Phase I and II	3a	1,328,175	(273,599)	1,054,576
Construction Contract, Phase III	3b	0	1,678,005	1,678,005
Construction Inspection	4	0	0	0
Project Management	5	33,660	81,340	115,000
Fixtures, Furnishings, Equipment	6	0	0	0
Other Soft Costs / Specialty Consultants	7	105,964	(51,464)	54,500
Project Contingency	8	0	120,000	120,000

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Minor Construction	9	0	0	0
Revised Project Budget		\$ 1,597,799	\$ 1,589,122	\$ 3,186,921

This Board action will increase the Project by \$1,589,122 for a revised project budget from \$1,597,799 to \$3,186,921. Of the \$1,589,122, expenditures for FY 2019/20 are estimated at \$500,000; expenditures for FY 2020/21 are estimated at \$1,089,122.

All costs associated with this Board action will be 100% funded by the Riverside County Executive Office to be reimbursed by Lease payments from GSA.

The Lease Amendment No. 1 has been approved as to form by County Counsel.

Attachments:

- Lease Amendment No. 1 with United States of America
- Notice of Completion for Angeles Contractor, Inc. - Phases I and II (JOC)
- Construction Contract with Angeles Contractor, Inc. - Phase III (EZIQC)
- Notice of Exemption

RF:HM:VC:SP:RM:ES;mg FM08000008649 8442-13954
 S:\Project Management Office\FORM 11'S\FORM 11's_In Process\8442 - 13954_D6 - 008649 - US BK Crt Renov - RevProjBdgt,
 NOC Phase I & II, and EZIQC Contract with Angeles _072319.doc


 Rahmi Dasika, Principal Management Analyst 7/15/2019


 Gregory V. Priamos, Director County Counsel 7/11/2019

PLEASE COMPLETE THIS INFORMATION
RECORDING REQUESTED BY:

KECIA R. HARPER, CLERK OF THE BOARD
4080 LEMON STREET, 1ST FLOOR CAC
P O BOX 1147 - RIVERSIDE, CA 92502

MAIL STOP # 1010

AND WHEN RECORDED MAIL TO:

RETURN TO: STOP #1010
RIVERSIDE COUNTY CLERK OF THE BOARD
P. O. BOX 1147 - RIVERSIDE, CA 92502

2019-0275880

07/24/2019 12:28 PM Fee: \$ 0.00

Page 1 of 2

Recorded in Official Records
County of Riverside
Peter Aldana
Assessor-County Clerk-Recorder



6080

THIS SPACE FOR RECORDERS USE ONLY

NOTICE OF COMPLETION

(California Civil Code §§ 8100-8118, 9200-9208)

To be recorded with County Recorder within 15 days after completion.

Notice is hereby given by the undersigned owner, a public entity of the State of California, that a public work of improvement has been completed, as follows:

Project title or description of work: United States Bankruptcy Court Renovation Project - Phase I and II
(JOC008-FM08000008649.00, FM08000008649.01, FM08000008649.02,
FM08000008649.03, FM08000008649.04, and FM08000008649.05)

Date of Completion: Date Hereof 07/23/19

Nature of owner: Public Entity

Interest or estate of owner: In Fee

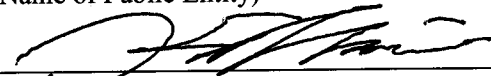
Address of owner: Clerk of the Board of Supervisors, County Administrative Center,
4080 Lemon St., Riverside, CA 92501

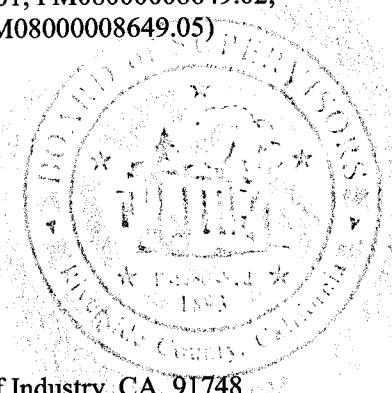
Name/address of direct contractor: Angeles Contractor, Inc., 783 Phillips Drive, City of Industry, CA 91748

Street or legal description of site: 3420 12th Street, Riverside, CA 92501

Dated: July 23, 2019

Owner: County of Riverside
(Name of Public Entity)

By: 
Kevin Jeffries, Chairman, Board of Supervisors



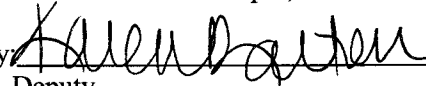
STATE OF CALIFORNIA)

ss

COUNTY OF RIVERSIDE)

I am the Chairman of the governing board of the County of Riverside, the public entity which executed the foregoing notice and on whose behalf I make this verification; I have read this notice, know its contents, and the same is true. I certify under penalty of perjury that the foregoing is true and correct.


ATTEST: Kecia R. Harper, Clerk

By: 
Deputy

Executed at Riverside, California on 07/23/19


Kevin Jeffries, Chairman, Board of Supervisors

07.23.19 3.22

FORM APPROVED COUNTY COUNSEL
BY:  4/29/19 updated 5/2016
DANIELLE D. MALAND DATE



**PETER ALDANA
COUNTY OF RIVERSIDE
ASSESSOR-COUNTY CLERK-RECORDER**

Recorder
P.O. Box 751
Riverside, CA 92502-0751
(951) 486-7000

www.riversideacr.com

CERTIFICATION

Pursuant to the provisions of Government Code 27361.7, I certify under the penalty of perjury that the following is a true copy of illegible wording found in the attached document:

(Print or type the page number(s) and wording below):

Clarification of the Seal for the Riverside County Board of Supervisors
(embossed on the document)



Date:

7-23-19

Signature:

Karen Barton

Print Name:

Karen Barton, Board Assistant



Original Negative Declaration/Notice of Determination was routed to County Clerks for posting on.

7/24/19
Date

VP
Initial

NOTICE OF EXEMPTION

July 9, 2019

Project Name: United States Bankruptcy Court Lease Amendment No. 1 and Renovation Project, Riverside

Project Number: FM08000008649

Project Location: 3420 12th Street, west of Lime Street, Riverside, CA 92501, Assessor's Parcel Number (APN): 215-321-021

Description of Project: The County of Riverside owns the building located at 3420 12th Street in the City of Riverside. On April 18, 2017, Item 3-27, the Board of Supervisors (Board) approved a Revenue Lease Agreement (Lease) between the County and the General Services Administration (GSA) for approximately 75,527 square feet of the building. The Lease commenced March 14, 2017 and will terminate on March 13, 2037. The scope of work spans three phases and includes modifications to doors, frames, and hardware; partitions, soffits and framing; areas of suspended ceilings; built-in furnishings, electrical and voice/data outlets; light fixtures, mechanical ductwork, grilles and controls and restroom fixtures. Work for Phases I and II of the improvements have been completed. Phase III of the Project will include renovation of a portion of the first and second floor for the U.S. Probation Department. To provide final authority for the Renovation Project, a Lease Amendment No. 1 is presented for approval by the Board which will authorize completion of the Renovation Project based upon the total cost, provide the financing structure for reimbursement of the Renovation Project costs to County by the U.S. Government, acting by and through the General Services Administration (GSA), and lease an additional 1,722 square feet of space to GSA within the newly renovated leased premises. The proposed project, under the California Environmental Quality Act (CEQA), includes the lease of an additional 1,722 square feet within the existing building and final renovation of the existing space to meet the requirements within the Maintenance of Provided Finishes Lease, which will ensure continued functionality of the site for GSA. No substantial increase in capacity or expansion of the existing building will occur. The operation of the facility will continue to provide public services and no additional direct or indirect physical environmental impacts are anticipated.

Name of Public Agency Approving Project: County of Riverside, Economic Development Agency

Name of Person or Agency Carrying Out Project: County of Riverside, Economic Development Agency and General Services Administration

Exempt Status: State CEQA Guidelines, Section 15301, Class 1 Existing Facilities Exemption; and Section 15061(b)(3), General Rule or Common Sense Exemption, Codified under Title 14, Articles 5 and 19, Sections 15061 and 15300 to 15301).

JUL 23 2019 3.22

P.O. Box 1180 • Riverside, California • 92502 • T: 951.955.8916 • F: 951.955.6686 ORG

Administration
Aviation
Business Intelligence
Cultural Services
Community Services
Custodial

Housing
Housing Authority
Information Technology
Maintenance
Marketing

Economic Development
Edward-Dean Museum
Environmental Planning
Fair & National Date Festival
Foreign Trade
Graffiti Abatement

Parking
Project Management
Purchasing Group
Real Property
Redevelopment Agency
Workforce Development

Reasons Why Project is Exempt: The project is exempt from the provisions of CEQA specifically by CEQA Guidelines as identified below. The project will not result in any specific or general exceptions to the use of the categorical exemption as detailed under State CEQA Guidelines Section 15300.2. The project will not cause an impact to an environmental resource of hazardous or critical concern nor would the project include a reasonable possibility of having a significant effect on the environment due to unusual circumstances. The project would not result in impacts to scenic highways, hazardous waste sites, historic resources, or other sensitive natural environments, or have a cumulative effect to the environment. No significant environmental impacts are anticipated to occur with the additional leased space and renovations within the existing building.

- **Section 15301 – Class 1 Existing Facilities Exemption:** This categorical exemption includes the operation, repair, maintenance, leasing, or minor alteration of existing public or private structures or facilities, provided the exemption only involves negligible or no expansion of the previous site’s use. The project, as proposed, is limited to the lease of an additional 1,722 square feet of space in an existing County-owned building and the final phase renovations within the building. The project does not require the construction of an addition to an existing building, but rather provides minor interior alterations within the existing building. The interior alterations and additional leased space will not substantially increase capacity or expand the use of the site, as no changes to the existing building footprint are being considered, and no significant increases in staff or people served by the facility is anticipated. The site is currently developed and does not contain environmentally sensitive areas; therefore, the project is exempt as the project meets the scope and intent of the Class 1 Exemption identified in Section 15301, Article 19, Categorical Exemptions of the CEQA Guidelines.
- **Section 15061 (b)(3) - “Common Sense” Exemption:** In accordance with CEQA, the use of the Common Sense Exemption is based on the “general rule that CEQA applies only to projects which have the potential for causing a significant effect on the environment.” State CEQA Guidelines, Section 15061(b) (3). The use of this exemption is appropriate if “it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment.” *Ibid*. This determination is an issue of fact and if sufficient evidence exists in the record that the activity cannot have a significant effect on the environment, then the exemption applies and no further evaluation under CEQA is required. See *No Oil, Inc. v. City of Los Angeles* (1974) 13 Cal. 3d 68. The ruling in this case stated that if a project falls within a category exempt by administrative regulation or 'it can be seen with certainty that the activity in question will not have a significant effect on the environment', no further agency evaluation is required. With certainty, there is no possibility that the project may have a significant effect on the environment as the proposed project would consist of an incremental increase of leased space within an existing building and minor interior alterations within the building to make the space functional. The interior alterations, would not lead to any direct or reasonably foreseeable indirect physical environmental impacts. The interior alterations would not involve the demolition of any existing buildings or structures and would be accommodated by the existing utilities and infrastructure. The use and operation of the facility would continue to provide public services, will be substantially similar to the previous use, and will not create any new environmental impacts. Therefore, in no way, would the project as proposed have the potential to cause a significant environmental impact and the project is exempt from further CEQA analysis.

Based upon the identified exemptions above, the County of Riverside, Economic Development Agency hereby concludes that no physical environmental impacts are anticipated to occur and the project as proposed is exempt under CEQA. No further environmental analysis is warranted.

Signed:  Date: 7/9/19

Mike Sullivan, Senior Environmental Planner
County of Riverside, Economic Development Agency

RIVERSIDE COUNTY CLERK & RECORDER

**AUTHORIZATION
TO BILL
BY JOURNAL VOUCHER**

Project Name: United States. Bankruptcy Court Lease Amendment No. 1 and Renovation Project, Riverside

Accounting String: 542040-30100-7200800000- FM08000008649

DATE: July 9, 2019

AGENCY: Riverside County Economic Development Agency

THIS AUTHORIZES THE COUNTY CLERK & RECORDER TO BILL FOR FILING AND HANDLING FEES FOR THE ACCOMPANYING DOCUMENT(S).

NUMBER OF DOCUMENTS INCLUDED: One (1)

AUTHORIZED BY: Mike Sullivan, Senior Environmental Planner, Economic Development Agency

Signature: 

PRESENTED BY: Steve Gilbert, Deputy Director, Real Estate, Economic Development Agency

-TO BE FILLED IN BY COUNTY CLERK-

ACCEPTED BY: -

DATE: -

RECEIPT # (S) -



Date: July 9, 2019

To: Kiyomi Moore/Josefina Castillo, Office of the County Clerk

From: Mike Sullivan, Senior Environmental Planner, Project Management Office

Subject: **County of Riverside Economic Development Agency Project # FM08000008649**
United States Bankruptcy Court Lease Amendment No. 1 and Renovation Project, Riverside

The Riverside County's Economic Development Agency's Project Management Office is requesting that you post the attached Notice of Exemption. Attached you will find an authorization to bill by journal voucher for your posting fee.

After posting, please return the document to:

Mail Stop #1330

Attention: Mike Sullivan, Senior Environmental Planner,

Economic Development Agency,

3403 10th Street, Suite 400, Riverside, CA 92501

If you have any questions, please contact Mike Sullivan at 955-8009 or email at msullivan@rivco.org.

Attachment

cc: file

GENERAL SERVICES ADMINISTRATION PUBLIC BUILDINGS SERVICE LEASE AMENDMENT	LEASE AMENDMENT No. 1
	TO LEASE NO. GS-09P-LCA00137
ADDRESS OF PREMISES 3420 12 TH STREET RIVERSIDE, CA 92501	PDN Number: N/A

THIS AMENDMENT is made and entered into between **County of Riverside**

WHEN DOCUMENT IS FULLY EXECUTED RETURN
CLERK'S COPY
to Riverside County Clerk of the Board, Stop 1010
Post Office Box 1147, Riverside, Ca 92502-1147
Thank you.

whose address is: 3403 10th Street
Riverside, CA 92501-3670

hereinafter called the Lessor, and the **UNITED STATES OF AMERICA**, hereinafter called the Government:

WHEREAS, the parties hereto desire to amend the above Lease to adjust the Tenant Improvement Allowance, issue Notice to Proceed (NTP) for Phase 3 of Construction, and add Exhibit H and Exhibit I to the Lease.

NOW THEREFORE, these parties for good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, covenant and agree that the said Lease is amended, effective upon Government execution, as follows:

Paragraphs 1.03 A.2 and 1.08 A are hereby deleted in their entirety and substituted therefore as follows:

1.03 A.2


The Tenant Improvement Amount of \$1,597,799.00 will be amortized in the form of monthly payments by Government over and above the annual shell rent and operating costs at 8 percent per annum over the remaining firm term of the Lease, commencing upon substantial completion and acceptance of the Tenant Improvements. An additional Tenant Improvement Amount of \$1,197,837.11, which includes a portion of the Phase 3 construction costs, will be amortized in the form of monthly payments by Government over and above the annual shell rent and operating costs at 9.25 percent per annum over the remaining firm term of the Lease, commencing upon substantial completion and acceptance of the Tenant Improvements.

Continued on Page 2. This Lease Amendment contains 45 pages.

All other terms and conditions of the lease shall remain in force and effect.
IN WITNESS WHEREOF, the parties subscribed their names as of the below date.


FOR THE LESSOR:

FOR THE GOVERNMENT:

Signature: 
Name: KEVIN JEFFRIES
Title: CHAIRMAN, BOARD OF SUPERVISORS
Entity Name: _____
Date: 7/23/19

Signature: 
Name: John Bell
Title: Lease Contracting Officer
GSA, Public Buildings Service
Date: 7/30/19

WITNESSED FOR THE LESSOR BY:

FORM APPROVED COUNTY COUNSEL
BY:  7/11/19
THOMAS OH DATE

Signature: _____
Name: _____
Title: _____
Date: _____

ATTEST:

KECIA R. HARPER, Clerk
By 
DEPUTY

Lease Amendment Form 12/12

JUL 23 2019 3.22 KW

INSIDE DESIGN
& CONSTRUCTION



444 Wilson Street, Suite 100
San Francisco, CA 94107
Tel: 415.774.1177
Fax: 415.774.1144
www.inside.com



U.S. PROBATION OFFICES REMODEL

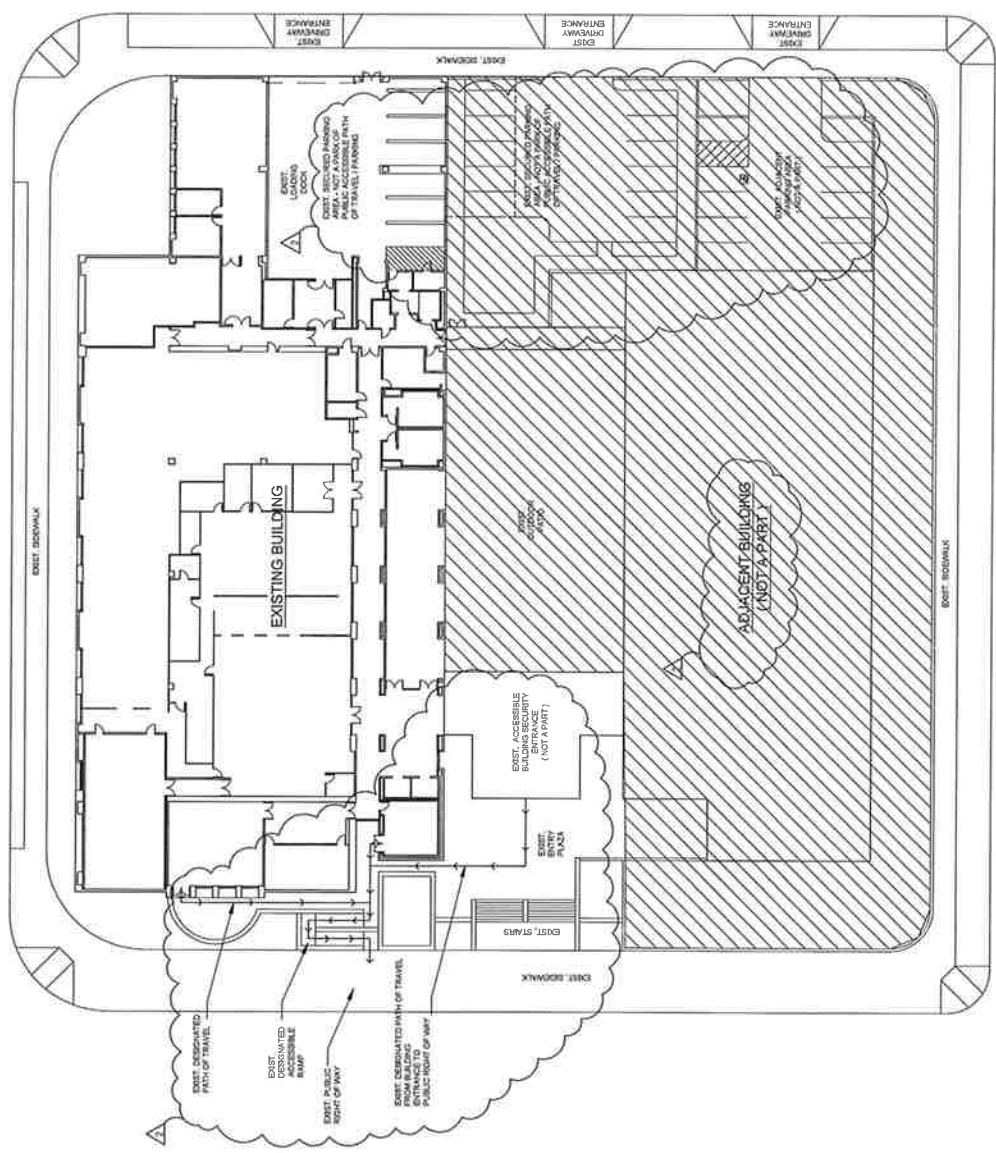
3420 12th St. Richmond, CA 94801

DATE: 08/14/14
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT NO.: [Number]
 SHEET NO.: [Number]
 TOTAL SHEETS: [Number]

4-25-2018 PLAN CHECK CORRECTIONS
 8-18-2018 PLAN CHECK CORRECTIONS

EXISTING SITE PLAN

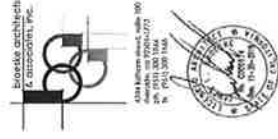
A1.1



NOTE:
 ALL PATHS OF TRAVEL FROM BUILDING ENTRANCES TO PUBLIC
 RIGHT OF WAY TO ARE EXISTING. EXISTING ACCESSIBLE PARKING IS
 LOCATED IN PARKING FACILITIES OFF-SITE.



EXISTING SITE PLAN
1.20



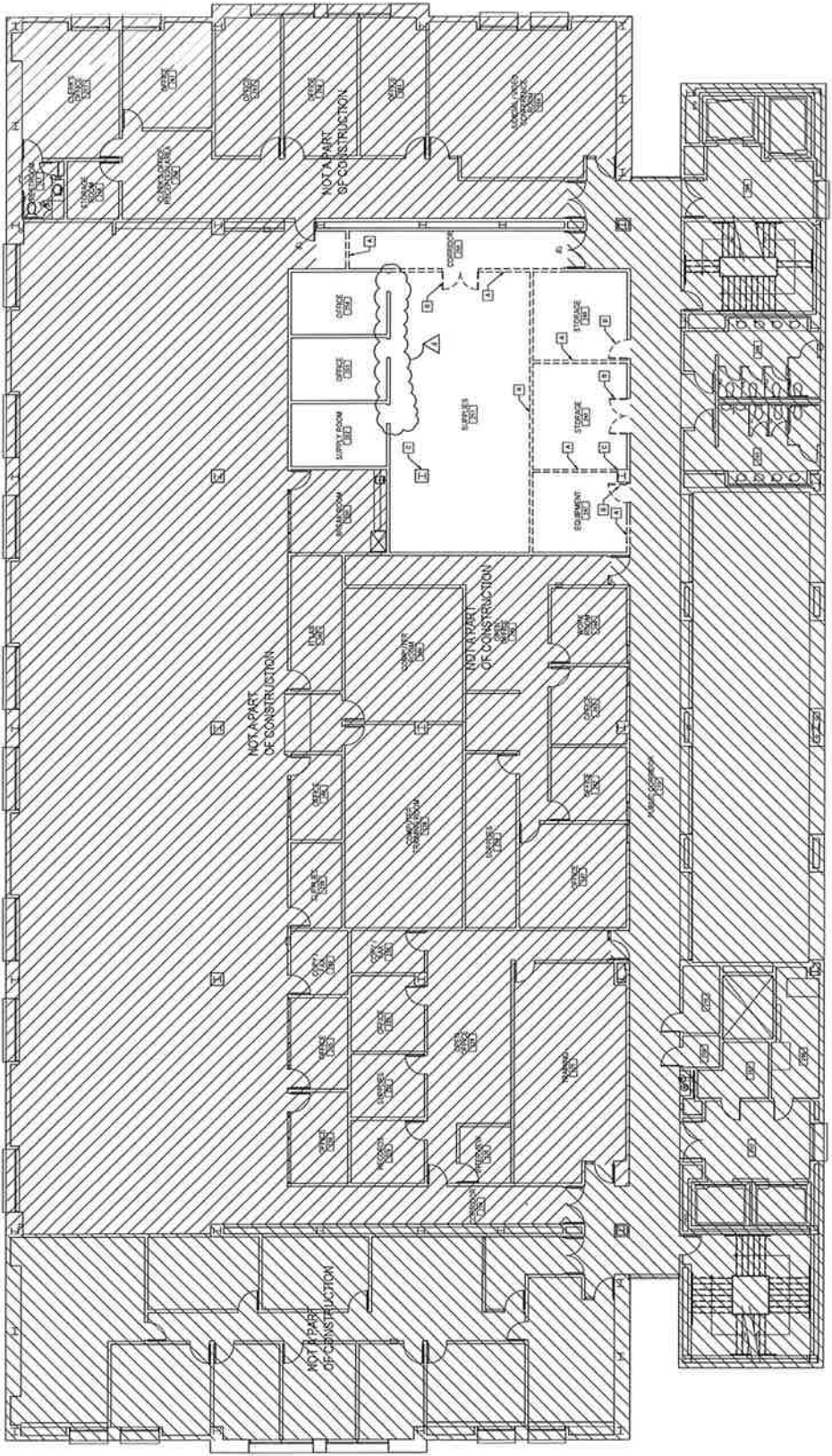
GENERAL NOTE:
 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA BUILDING CODE AND ALL APPLICABLE REGULATIONS.
 2. CONTRACTOR TO VERIFY CONDITIONS OF EXISTING STRUCTURE AND MATERIALS.
 3. VERIFY WALLS TO REMAIN FOR PARTIAL AREAS.
DEMOLITION NOTE:
 CONTRACTOR TO VERIFY ALL EXISTING STRUCTURE TO BE DEMOLISHED IS NON-STRUCTURAL.
 DEMOLITION LIMITED TO NON-STRUCTURAL PARTS OF EXISTING STRUCTURE.
 CONTRACTOR TO VERIFY CONDITIONS OF EXISTING STRUCTURE TO BE DEMOLISHED.
 CONTRACTOR TO VERIFY CONDITIONS OF EXISTING STRUCTURE TO BE DEMOLISHED.
 CONTRACTOR TO VERIFY CONDITIONS OF EXISTING STRUCTURE TO BE DEMOLISHED.
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SYMBOLS & LEGEND
 (A) EXISTING WALLS TO REMAIN
 (B) EXISTING WALLS TO BE DEMOLISHED
 (C) EXISTING WALLS TO BE DEMOLISHED
 (D) EXISTING WALLS TO BE DEMOLISHED
 (E) EXISTING WALLS TO BE DEMOLISHED
 (F) EXISTING WALLS TO BE DEMOLISHED
 (G) EXISTING WALLS TO BE DEMOLISHED
 (H) EXISTING WALLS TO BE DEMOLISHED

WALL TYPES
 1. WALLS TO REMAIN
 2. WALLS TO BE DEMOLISHED
 3. WALLS TO BE DEMOLISHED
 4. WALLS TO BE DEMOLISHED
 5. WALLS TO BE DEMOLISHED
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 7. WALLS TO BE DEMOLISHED
 8. WALLS TO BE DEMOLISHED
 9. WALLS TO BE DEMOLISHED
 10. WALLS TO BE DEMOLISHED

DEMOLITION KEY (NOTES - SECOND FLOOR)
 A. DEMO EXIST. WALL
 B. DEMO EXIST. COLUMN
 C. DEMO EXIST. COLUMN COVER TO REMAIN (U.G.S.)
 D. DEMO EXIST. PARTIAL COLUMN
 E. DEMO EXIST. PARTIAL COLUMN
 F. DEMO EXIST. PARTIAL COLUMN
 G. DEMO EXIST. PARTIAL COLUMN
 H. DEMO EXIST. PARTIAL COLUMN
 I. DEMO EXIST. PARTIAL COLUMN
 J. DEMO EXIST. PARTIAL COLUMN
 K. DEMO EXIST. PARTIAL COLUMN
 L. DEMO EXIST. PARTIAL COLUMN
 M. DEMO EXIST. PARTIAL COLUMN
 N. DEMO EXIST. PARTIAL COLUMN
 O. DEMO EXIST. PARTIAL COLUMN
 P. DEMO EXIST. PARTIAL COLUMN
 Q. DEMO EXIST. PARTIAL COLUMN
 R. DEMO EXIST. PARTIAL COLUMN
 S. DEMO EXIST. PARTIAL COLUMN
 T. DEMO EXIST. PARTIAL COLUMN
 U. DEMO EXIST. PARTIAL COLUMN
 V. DEMO EXIST. PARTIAL COLUMN
 W. DEMO EXIST. PARTIAL COLUMN
 X. DEMO EXIST. PARTIAL COLUMN
 Y. DEMO EXIST. PARTIAL COLUMN
 Z. DEMO EXIST. PARTIAL COLUMN

NOTES
 CONTRACTOR TO VERIFY ALL EXISTING STRUCTURE TO BE DEMOLISHED IS NON-STRUCTURAL.
 DEMOLITION LIMITED TO NON-STRUCTURAL PARTS OF EXISTING STRUCTURE.
 CONTRACTOR TO VERIFY CONDITIONS OF EXISTING STRUCTURE TO BE DEMOLISHED.
 CONTRACTOR TO VERIFY CONDITIONS OF EXISTING STRUCTURE TO BE DEMOLISHED.
 CONTRACTOR TO VERIFY CONDITIONS OF EXISTING STRUCTURE TO BE DEMOLISHED.
 CONTRACTOR TO VERIFY CONDITIONS OF EXISTING STRUCTURE TO BE DEMOLISHED.



**U.S. PROBATION
 OFFICES REMODEL**

3420 12th St. Riverside, CA 92501

DATE: 11/11/11
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT NO.: [Number]
 SHEET NO.: [Number]

8-18-2018 OWNER REVISIONS

SECOND FLOOR
 DEMOLITION PLAN

A2.4

SECOND FLOOR DEMOLITION PLAN

Handwritten initials/signature



U.S. PROBATION OFFICES REMODEL

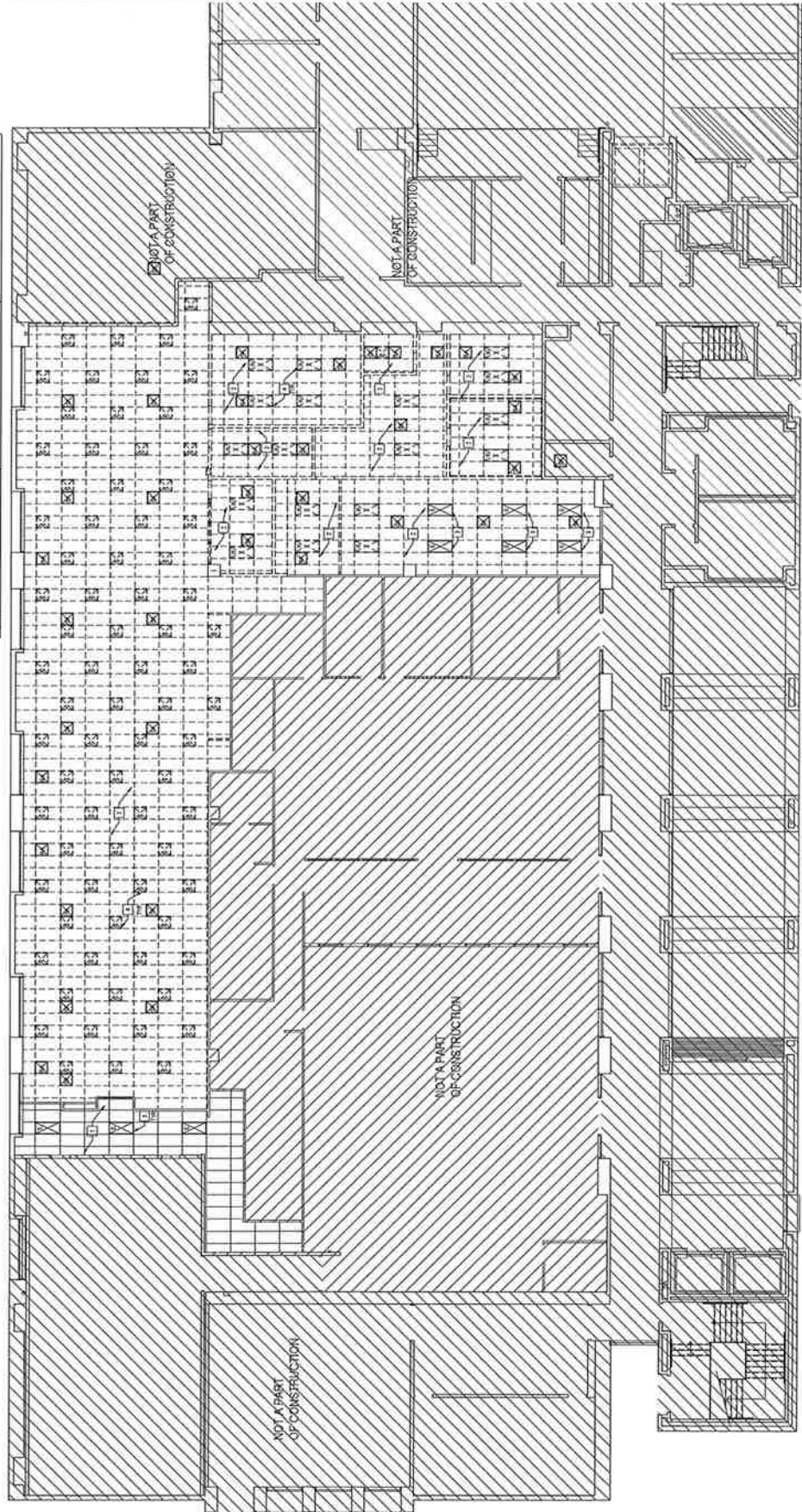
3420 12TH ST. RIVERVIEW, CA 92501

DATE	DESCRIPTION

FIRST FLOOR
DEMOLITION/RCP

A2.6

CEILING LEGEND	CEILING KEYNOTES - 1ST FLOOR DEMOLITION
<ul style="list-style-type: none"> EXIST. FALSE CEILING TO REMAIN EXIST. FALSE CEILING TO BE REMOVED EXIST. LIGHT FIXTURE TO REMAIN EXIST. LIGHT FIXTURE TO BE REMOVED NEW FALSE CEILING TO BE INSTALLED NEW RECESSED LIGHT FIXTURE TO BE INSTALLED NEW EMERGENCY EGRESS LIGHTING WITH EXIT SIGN NEW EMERGENCY EGRESS LIGHTING WITHOUT EXIT SIGN NEW SUPPLY AIR GRILL NEW RETURN AIR GRILL NEW EXHAUST FAN 	<ul style="list-style-type: none"> EXISTING FALSE CEILING TO REMAIN EXISTING FALSE CEILING TO BE REMOVED EXIST. LIGHT FIXTURE TO REMAIN EXIST. LIGHT FIXTURE TO BE REMOVED NEW FALSE CEILING TO BE INSTALLED NEW RECESSED LIGHT FIXTURE TO BE INSTALLED NEW EMERGENCY EGRESS LIGHTING WITH EXIT SIGN NEW EMERGENCY EGRESS LIGHTING WITHOUT EXIT SIGN NEW SUPPLY AIR GRILL NEW RETURN AIR GRILL NEW EXHAUST FAN



FIRST FLOOR DEMOLITION REFLECTED CEILING PLAN

KW



U.S. PROBATION
OFFICES REMODEL

3400 13th St. Riverside, CA 92501

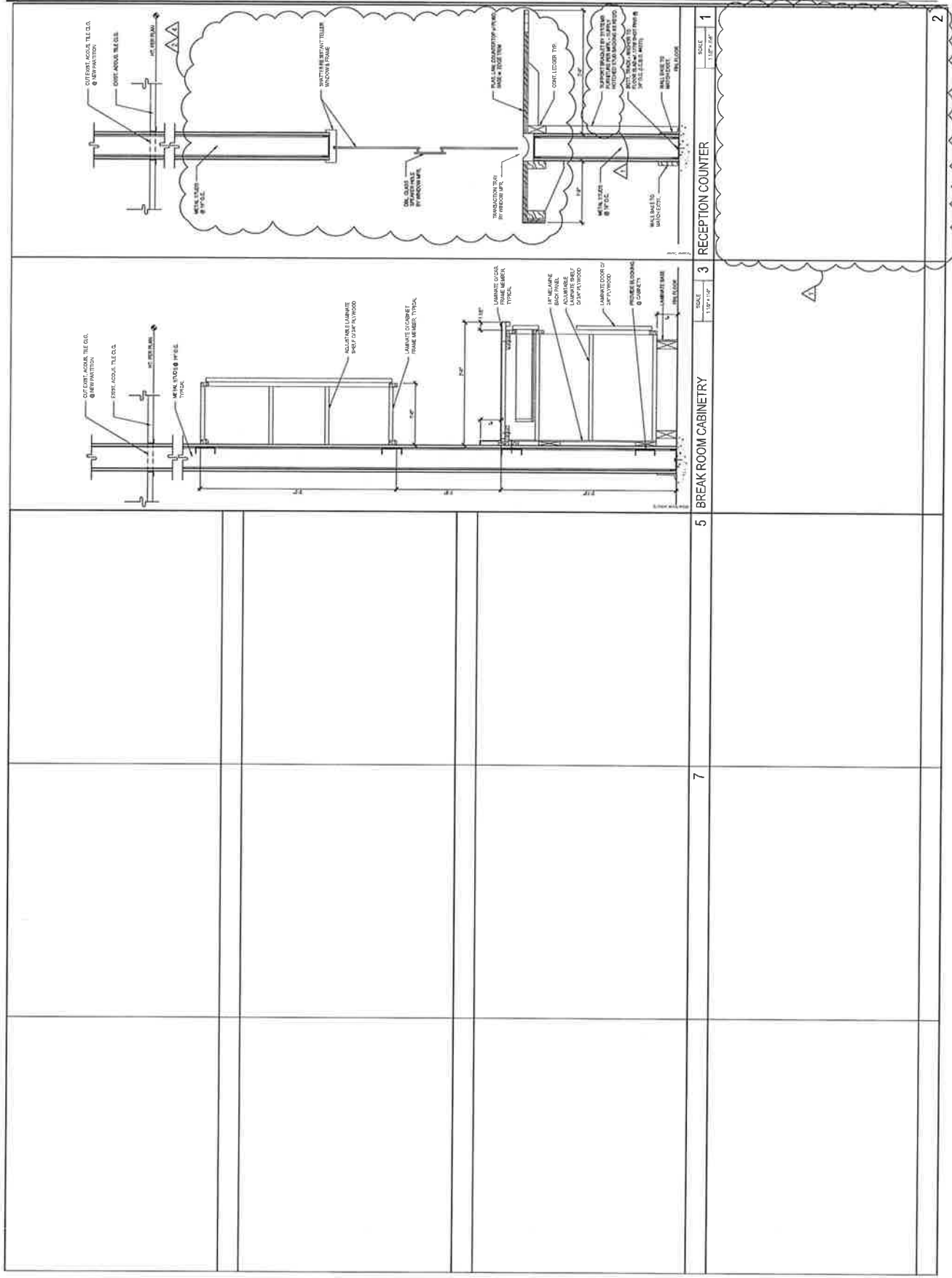
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NO.	DATE	DESCRIPTION
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2	01.11.18	ISSUED FOR PERMIT
3	03.14.18	ISSUED FOR PERMIT
4	05.15.18	ISSUED FOR PERMIT
5	07.19.18	ISSUED FOR PERMIT
6	09.13.18	ISSUED FOR PERMIT
7	11.07.18	ISSUED FOR PERMIT
8	01.09.19	ISSUED FOR PERMIT
9	03.11.19	ISSUED FOR PERMIT
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11	07.15.19	ISSUED FOR PERMIT
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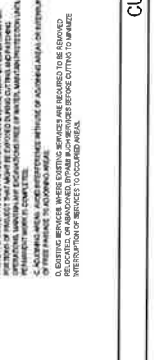
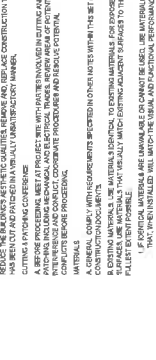
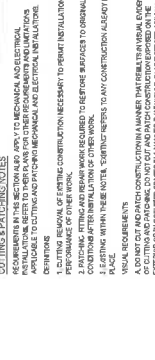
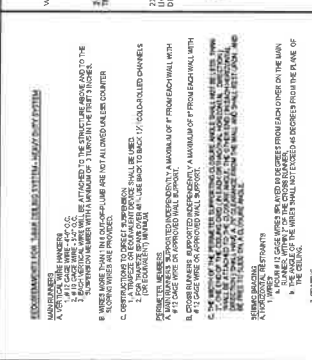
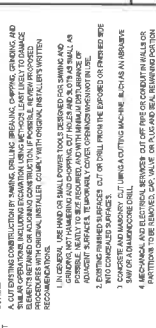
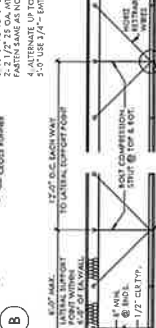
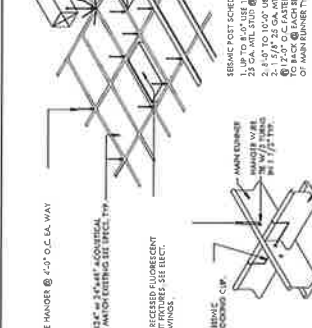
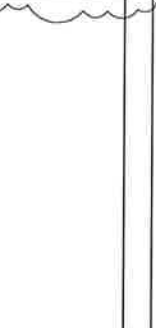
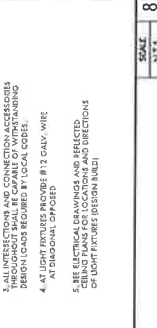
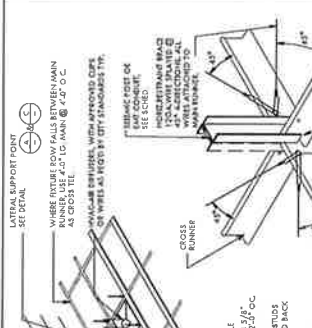
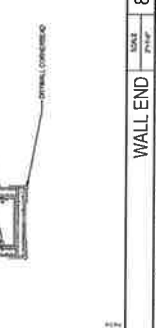
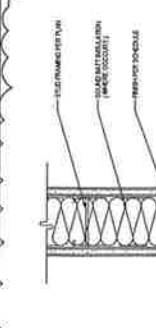
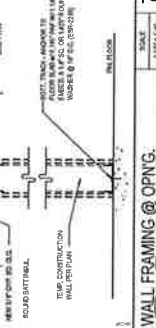
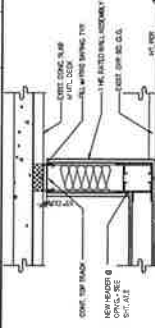
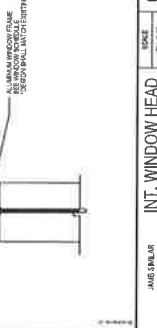
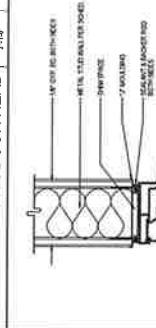
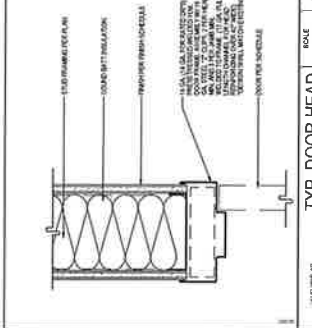
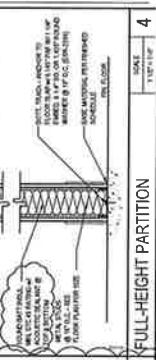
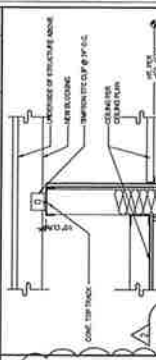
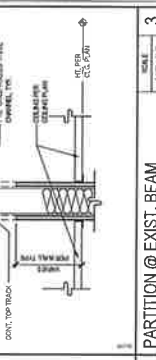
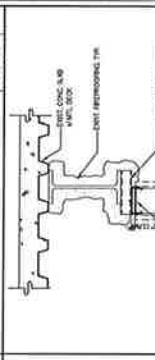
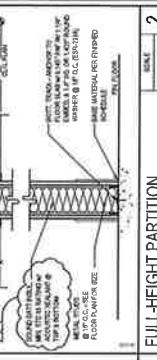
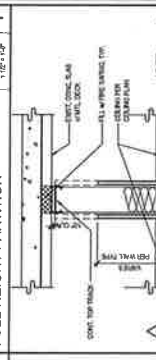
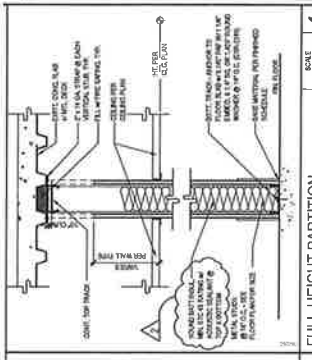
4-25-2018 PLAN CHECK CORRECTIONS
4-25-2018 OWNER REVISIONS
6-18-2018 OWNER REVISIONS

DETAILS

A4.2



KW



CUTTING AND PATCHING NOTES

1. BEFORE CUTTING, THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE ARCHITECT FOR THE LOCATION AND EXTENT OF ALL CUTS AND PATCHES.
2. ALL CUTS SHALL BE MADE WITH A SAW OR OTHER MECHANICAL MEANS TO PREVENT CRACKING AND SPLITTING.
3. AFTER CUTTING, THE CONTRACTOR SHALL PATCH ALL CUTS WITH A MATERIAL OF EQUAL OR BETTER QUALITY THAN THE ORIGINAL MATERIAL.
4. THE PATCHING SHALL BE DONE IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:
 - a. THE PATCHING SHALL BE DONE AS SOON AS POSSIBLE AFTER THE CUTTING IS COMPLETED.
 - b. THE PATCHING SHALL BE DONE BY A QUALIFIED PERSONNEL.
 - c. THE PATCHING SHALL BE DONE IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:
 - i. THE PATCHING SHALL BE DONE WITH A MATERIAL OF EQUAL OR BETTER QUALITY THAN THE ORIGINAL MATERIAL.
 - ii. THE PATCHING SHALL BE DONE IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:
 - j. THE PATCHING SHALL BE DONE WITH A MATERIAL OF EQUAL OR BETTER QUALITY THAN THE ORIGINAL MATERIAL.
 - k. THE PATCHING SHALL BE DONE IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:
 - l. THE PATCHING SHALL BE DONE WITH A MATERIAL OF EQUAL OR BETTER QUALITY THAN THE ORIGINAL MATERIAL.

GENERAL NOTES

- 1. ALL MATERIALS AND EQUIPMENT SHALL COMPLY TO THE LATEST CALIFORNIA CODE OF REGULATIONS (COP) UNLESS OTHERWISE NOTED AND ALL APPLICABLE CODES AND REGULATIONS TO BE OBSERVED.
2. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE LATEST CALIFORNIA ELECTRICAL CODE (CEC) UNLESS OTHERWISE NOTED AND ALL APPLICABLE CODES AND REGULATIONS TO BE OBSERVED.
3. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE LATEST CALIFORNIA ELECTRICAL CODE (CEC) UNLESS OTHERWISE NOTED AND ALL APPLICABLE CODES AND REGULATIONS TO BE OBSERVED.
4. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE LATEST CALIFORNIA ELECTRICAL CODE (CEC) UNLESS OTHERWISE NOTED AND ALL APPLICABLE CODES AND REGULATIONS TO BE OBSERVED.

APPLICABLE CODES

- 1. 2019 CALIFORNIA ELECTRICAL CODE (CEC)
2. 2019 CALIFORNIA BUILDING CODE (CBC)
3. 2019 CALIFORNIA MECHANICAL CODE (CMC)
4. 2019 CALIFORNIA PLUMBING CODE (CPC)
5. 2019 CALIFORNIA FIRE CODE (FC)
6. 2019 CALIFORNIA SAFETY CODE (CSC)
7. 2019 CALIFORNIA INTERNATIONAL FIRE CODE (IFC)
8. 2019 CALIFORNIA INTERNATIONAL BUILDING CODE (IBC)
9. 2019 CALIFORNIA INTERNATIONAL FIRE MARSHAL CODE (IFMC)
10. 2019 CALIFORNIA INTERNATIONAL MECHANICAL MARSHAL CODE (IMMC)

NOTE TO CONTRACTOR

CONTRACTOR SHALL VERIFY ALL EXISTING MATERIALS AND CONDITIONS ON THE JOB SITE AND SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED BY THE OWNER OR OTHER SOURCES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

ABBREVIATIONS

Table with 2 columns: Abbreviation and Description. Includes terms like AC, AD, AE, AF, AG, AH, AI, AJ, AK, AL, AM, AN, AO, AP, AQ, AR, AS, AT, AU, AV, AW, AX, AY, AZ, BA, BB, BC, BD, BE, BF, BG, BH, BI, BJ, BK, BL, BM, BN, BO, BP, BQ, BR, BS, BT, BU, BV, BW, BX, BY, BZ, CA, CB, CC, CD, CE, CF, CG, CH, CI, CJ, CK, CL, CM, CN, CO, CP, CQ, CR, CS, CT, CU, CV, CW, CX, CY, CZ, DA, DB, DC, DD, DE, DF, DG, DH, DI, DJ, DK, DL, DM, DN, DO, DP, DQ, DR, DS, DT, DU, DV, DW, DX, DY, DZ, EA, EB, EC, ED, EE, EF, EG, EH, EI, EJ, EK, EL, EM, EN, EO, EP, EQ, ER, ES, ET, EU, EV, EW, EX, EY, EZ, FA, FB, FC, FD, FE, FF, FG, FH, FI, FJ, FK, FL, FM, FN, FO, FP, FQ, FR, FS, FT, FU, FV, FW, FX, FY, FZ, GA, GB, GC, GD, GE, GF, GG, GH, GI, GJ, GK, GL, GM, GN, GO, GP, GQ, GR, GS, GT, GU, GV, GW, GX, GY, GZ, HA, HB, HC, HD, HE, HF, HG, HH, HI, HJ, HK, HL, HM, HN, HO, HP, HQ, HR, HS, HT, HU, HV, HW, HX, HY, HZ, IA, IB, IC, ID, IE, IF, IG, IH, II, IJ, IK, IL, IM, IN, IO, IP, IQ, IR, IS, IT, IU, IV, IW, IX, IY, IZ, JA, JB, JC, JD, JE, JF, JG, JH, JI, JJ, JK, JL, JM, JN, JO, JP, JQ, JR, JS, JT, JU, JV, JW, JX, JY, JZ, KA, KB, KC, KD, KE, KF, KG, KH, KI, KJ, KK, KL, KM, KN, KO, KP, KQ, KR, KS, KT, KU, KV, KW, KX, KY, KZ, LA, LB, LC, LD, LE, LF, LG, LH, LI, LJ, LK, LM, LN, LO, LP, LQ, LR, LS, LT, LU, LV, LW, LX, LY, LZ, MA, MB, MC, MD, ME, MF, MG, MH, MI, MJ, MK, ML, MN, MO, MP, MQ, MR, MS, MT, MU, MV, MW, MX, MY, MZ, NA, NB, NC, ND, NE, NF, NG, NH, NI, NJ, NK, NL, NM, NO, NP, NQ, NR, NS, NT, NU, NV, NW, NX, NY, NZ, OA, OB, OC, OD, OE, OF, OG, OH, OI, OJ, OK, OL, OM, ON, OO, OP, OQ, OR, OS, OT, OU, OV, OW, OX, OY, OZ, PA, PB, PC, PD, PE, PF, PG, PH, PI, PJ, PK, PL, PM, PN, PO, PP, PQ, PR, PS, PT, PU, PV, PW, PX, PY, PZ, QA, QB, QC, QD, QE, QF, QG, QH, QI, QJ, QK, QL, QM, QN, QO, QP, QQ, QR, QS, QT, QU, QV, QW, QX, QY, QZ, RA, RB, RC, RD, RE, RF, RG, RH, RI, RJ, RK, RL, RM, RN, RO, RP, RQ, RR, RS, RT, RU, RV, RW, RX, RY, RZ, SA, SB, SC, SD, SE, SF, SG, SH, SI, SJ, SK, SL, SM, SN, SO, SP, SQ, SR, SS, ST, SU, SV, SW, SX, SY, SZ, TA, TB, TC, TD, TE, TF, TG, TH, TI, TJ, TK, TL, TM, TN, TO, TP, TQ, TR, TS, TT, TU, TV, TW, TX, TY, TZ, UA, UB, UC, UD, UE, UF, UG, UH, UI, UJ, UK, UL, UM, UN, UO, UP, UQ, UR, US, UT, UV, UW, UX, UY, UZ, VA, VB, VC, VD, VE, VF, VG, VH, VI, VJ, VK, VL, VM, VN, VO, VP, VQ, VR, VS, VT, VU, VV, VW, VX, VY, VZ, WA, WB, WC, WD, WE, WF, WG, WH, WI, WJ, WK, WL, WM, WN, WO, WP, WQ, WR, WS, WT, WU, WV, WW, WX, WY, WZ, XA, XB, XC, XD, XE, XF, XG, XH, XI, XJ, XK, XL, XM, XN, XO, XP, XQ, XR, XS, XT, XU, XV, XW, XX, XY, XZ, YA, YB, YC, YD, YE, YF, YG, YH, YI, YJ, YK, YL, YM, YN, YO, YP, YQ, YR, YS, YT, YU, YV, YW, YX, YZ, ZA, ZB, ZC, ZD, ZE, ZF, ZG, ZH, ZI, ZJ, ZK, ZL, ZM, ZN, ZO, ZP, ZQ, ZR, ZS, ZT, ZU, ZV, ZW, ZX, ZY, ZZ.

GENERAL DEMOLITION NOTES

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
2. ALL DEMOLITION WORK SHALL BE IN ACCORDANCE WITH THE LATEST CALIFORNIA ELECTRICAL CODE (CEC) UNLESS OTHERWISE NOTED AND ALL APPLICABLE CODES AND REGULATIONS TO BE OBSERVED.
3. ALL DEMOLITION WORK SHALL BE IN ACCORDANCE WITH THE LATEST CALIFORNIA ELECTRICAL CODE (CEC) UNLESS OTHERWISE NOTED AND ALL APPLICABLE CODES AND REGULATIONS TO BE OBSERVED.

LIGHTING LEGEND AND SYMBOLS

Table with 2 columns: SYMBOL and DESCRIPTION. Includes symbols for various lighting fixtures and their descriptions.

SIGNAL LEGEND AND SYMBOLS

Table with 2 columns: SYMBOL and DESCRIPTION. Includes symbols for various signal devices and their descriptions.

LIGHTING SEQUENCE OF OPERATIONS

Table with 2 columns: SHEET NUMBER and SHEET TITLE. Lists the sequence of operations for the lighting system.

POWER LEGEND AND SYMBOLS

Table with 2 columns: SYMBOL and DESCRIPTION. Includes symbols for various power components and their descriptions.

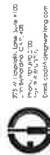
SIGNAL LEGEND AND SYMBOLS

Table with 2 columns: SYMBOL and DESCRIPTION. Includes symbols for various signal devices and their descriptions.

LIGHTING SEQUENCE OF OPERATIONS

Table with 2 columns: SHEET NUMBER and SHEET TITLE. Lists the sequence of operations for the lighting system.

Project information including 'U.S. PROBATION OFFICE REMODEL', '3420 12TH ST FIRMING, CA 92601', and logos for 'DESIGN WEST ENGINEERING' and 'E.O.1'. Includes a title block with 'ELECTRICAL LEGENDS & NOTES' and 'E.O.1'.



DESIGN WEST ENGINEERING
 ARCHITECTURAL, MECHANICAL, ELECTRICAL CONSULTANTS



U.S. PROBATION OFFICE REMODEL

3420 125th STREET, FORTMIRAGE, CA 92001

REVISIONS TO ORIGINAL DRAWING

NO.	DATE	DESCRIPTION
1	10/10/2019	ISSUED FOR PERMITS
2	10/10/2019	ISSUED FOR PERMITS
3	10/10/2019	ISSUED FOR PERMITS
4	10/10/2019	ISSUED FOR PERMITS
5	10/10/2019	ISSUED FOR PERMITS
6	10/10/2019	ISSUED FOR PERMITS
7	10/10/2019	ISSUED FOR PERMITS
8	10/10/2019	ISSUED FOR PERMITS
9	10/10/2019	ISSUED FOR PERMITS
10	10/10/2019	ISSUED FOR PERMITS

PROJECT NO. 19-0001
 SINGLE LINE DIAGRAM & PANEL SCHEDULES

E0.3

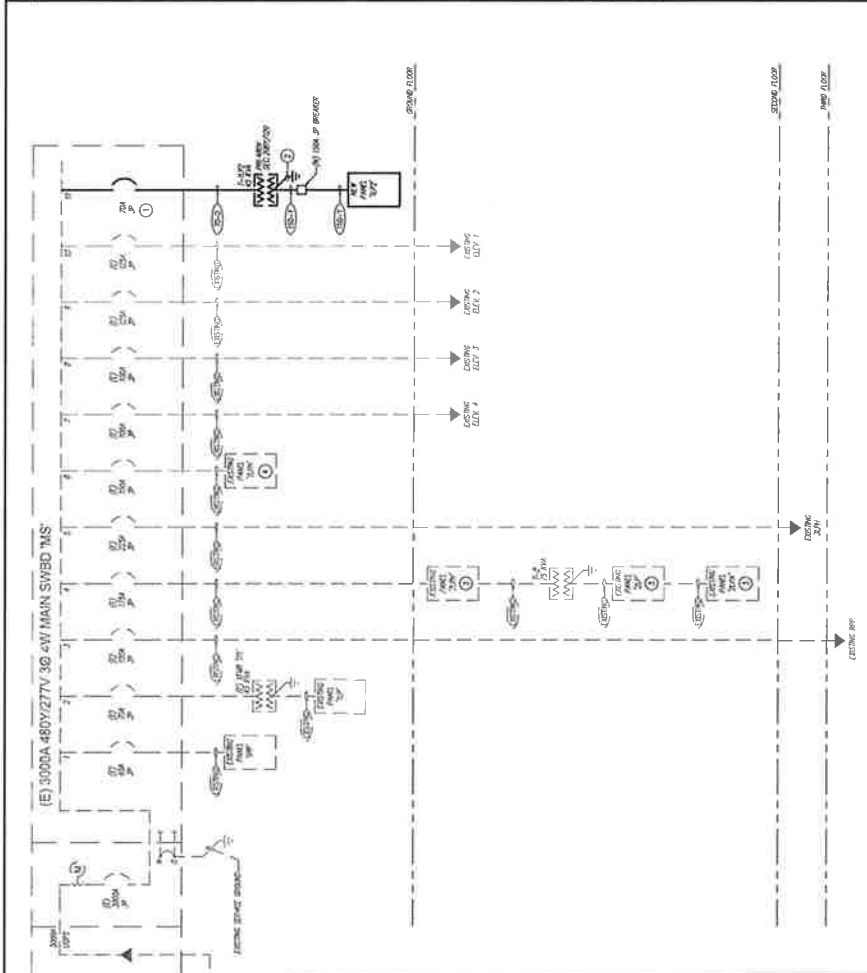
GENERAL NOTES

1. REFER TO GENERAL NOTES ON ELECTRICAL SYMBOLS AND NOTES SHEET FOR WIRING METHODS, MATERIALS, AND REQUIREMENTS.
2. ALL CIRCUIT BREAKERS, TRANSFORMERS AND TRANSFORMERS SHALL BE OF THE SAME MANUFACTURER.
3. ALL CIRCUIT BREAKERS SHALL BE CIPRO.
4. ALL TRANSFORMERS SHALL BE FULLY RATED FOR THE AVAILABLE SERVICE AND SHALL BE FULLY RATED FOR THE AVAILABLE SERVICE AND SHALL BE FULLY RATED FOR THE AVAILABLE SERVICE.
5. ALL TRANSFORMERS SHALL BE FULLY RATED FOR THE AVAILABLE SERVICE AND SHALL BE FULLY RATED FOR THE AVAILABLE SERVICE.

6. ALL TRANSFORMERS SHALL BE FULLY RATED FOR THE AVAILABLE SERVICE AND SHALL BE FULLY RATED FOR THE AVAILABLE SERVICE.
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10. ALL TRANSFORMERS SHALL BE FULLY RATED FOR THE AVAILABLE SERVICE AND SHALL BE FULLY RATED FOR THE AVAILABLE SERVICE.

CONSTRUCTION NOTES

1. PROVIDE NEW CIRCUIT BREAKER IN EXISTING DISTRIBUTION BOARD. CIRCUIT BREAKER SHALL BE RATED TO INTERRUPT AVAILABLE FAULT CURRENT.
2. USE 1/2" DIA. RIGID PVC CONDUIT.
3. WIRE ELECTRICAL CIRCUITS IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC).
4. PROVIDE NEW CIRCUIT BREAKER IN EXISTING DISTRIBUTION BOARD. CIRCUIT BREAKER SHALL BE RATED TO INTERRUPT AVAILABLE FAULT CURRENT.

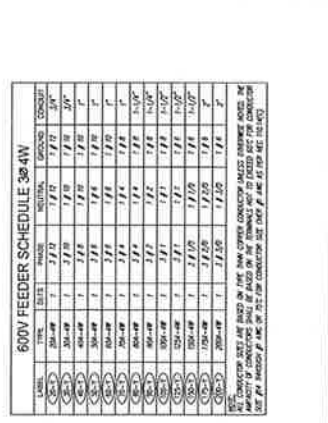


600V FEEDER SCHEDULE 3Ø 3W

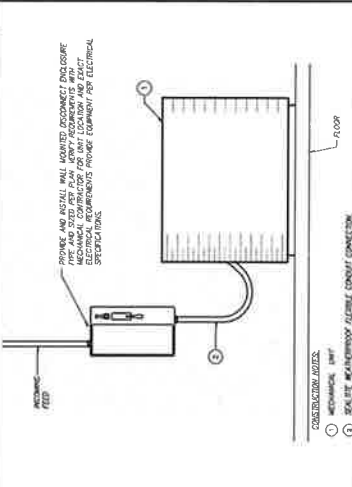
LABEL	TYPE	SIZE	PHASE	MATERIAL	CONDUIT	CONDUIT
600-1	3Ø-4W	1	3/4"	MS	1/2"	3/4"
600-2	3Ø-4W	1	3/4"	MS	1/2"	3/4"
600-3	3Ø-4W	1	3/4"	MS	1/2"	3/4"
600-4	3Ø-4W	1	3/4"	MS	1/2"	3/4"
600-5	3Ø-4W	1	3/4"	MS	1/2"	3/4"
600-6	3Ø-4W	1	3/4"	MS	1/2"	3/4"
600-7	3Ø-4W	1	3/4"	MS	1/2"	3/4"
600-8	3Ø-4W	1	3/4"	MS	1/2"	3/4"
600-9	3Ø-4W	1	3/4"	MS	1/2"	3/4"
600-10	3Ø-4W	1	3/4"	MS	1/2"	3/4"

600V FEEDER SCHEDULE 3Ø 4W

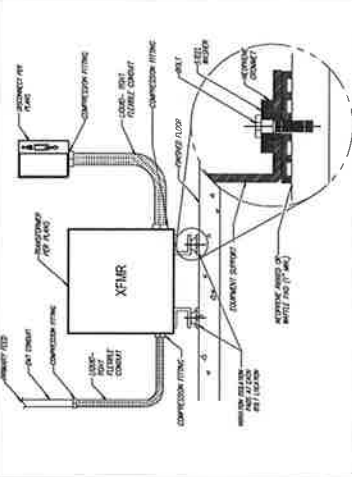
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600-11	3Ø-4W	1	3/4"	MS	1/2"	3/4"
600-12	3Ø-4W	1	3/4"	MS	1/2"	3/4"
600-13	3Ø-4W	1	3/4"	MS	1/2"	3/4"
600-14	3Ø-4W	1	3/4"	MS	1/2"	3/4"
600-15	3Ø-4W	1	3/4"	MS	1/2"	3/4"
600-16	3Ø-4W	1	3/4"	MS	1/2"	3/4"
600-17	3Ø-4W	1	3/4"	MS	1/2"	3/4"
600-18	3Ø-4W	1	3/4"	MS	1/2"	3/4"
600-19	3Ø-4W	1	3/4"	MS	1/2"	3/4"
600-20	3Ø-4W	1	3/4"	MS	1/2"	3/4"



SINGLE LINE DIAGRAM



TYPICAL TRANSFORMER VIBRATION ISOLATION



FEEDER SCHEDULE

600V FEEDER SCHEDULE 3Ø 3W

LABEL	TYPE	SIZE	PHASE	MATERIAL	CONDUIT	CONDUIT
600-1	3Ø-4W	1	3/4"	MS	1/2"	3/4"
600-2	3Ø-4W	1	3/4"	MS	1/2"	3/4"
600-3	3Ø-4W	1	3/4"	MS	1/2"	3/4"
600-4	3Ø-4W	1	3/4"	MS	1/2"	3/4"
600-5	3Ø-4W	1	3/4"	MS	1/2"	3/4"
600-6	3Ø-4W	1	3/4"	MS	1/2"	3/4"
600-7	3Ø-4W	1	3/4"	MS	1/2"	3/4"
600-8	3Ø-4W	1	3/4"	MS	1/2"	3/4"
600-9	3Ø-4W	1	3/4"	MS	1/2"	3/4"
600-10	3Ø-4W	1	3/4"	MS	1/2"	3/4"

MECHANICAL UNIT DISCONNECT



TYPICAL TRANSFORMER VIBRATION ISOLATION



FEEDER SCHEDULE

600V FEEDER SCHEDULE 3Ø 3W

LABEL	TYPE	SIZE	PHASE	MATERIAL	CONDUIT	CONDUIT
600-1	3Ø-4W	1	3/4"	MS	1/2"	3/4"
600-2	3Ø-4W	1	3/4"	MS	1/2"	3/4"
600-3	3Ø-4W	1	3/4"	MS	1/2"	3/4"
600-4	3Ø-4W	1	3/4"	MS	1/2"	3/4"
600-5	3Ø-4W	1	3/4"	MS	1/2"	3/4"
600-6	3Ø-4W	1	3/4"	MS	1/2"	3/4"
600-7	3Ø-4W	1	3/4"	MS	1/2"	3/4"
600-8	3Ø-4W	1	3/4"	MS	1/2"	3/4"
600-9	3Ø-4W	1	3/4"	MS	1/2"	3/4"
600-10	3Ø-4W	1	3/4"	MS	1/2"	3/4"

MECHANICAL UNIT DISCONNECT

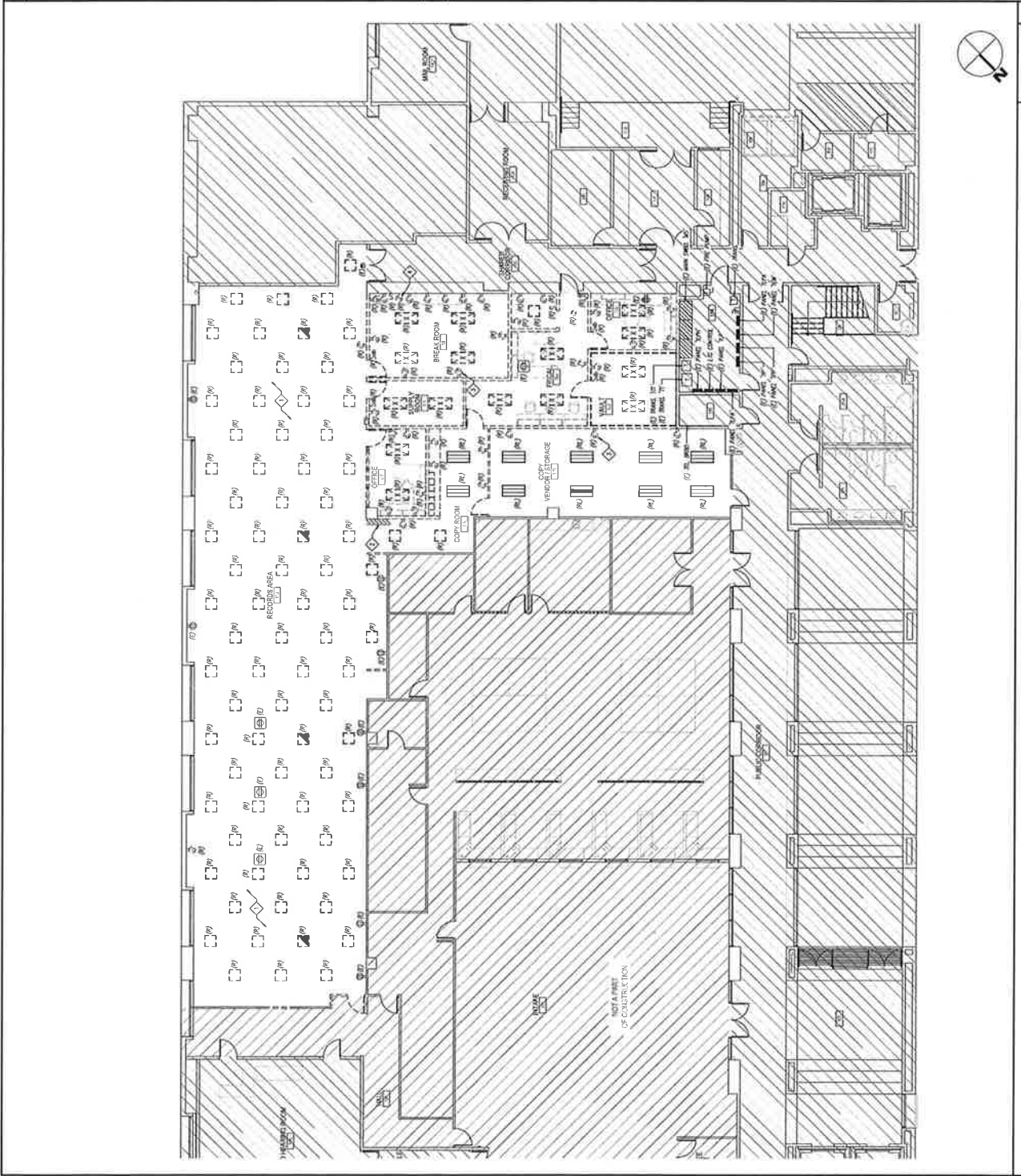


TYPICAL TRANSFORMER VIBRATION ISOLATION



GENERAL NOTES

1. REFER TO SHADING DEMOLITION NOTES ON THE ELECTRICAL LEGEND AND RELET SHEET



FIRST FLOOR ELECTRICAL DEMOLITION PLAN SCALE: 1/8" = 1'-0" 1

Peninsula Construction & Construction, Inc.
 1444 California Street, Suite 100
 Emeryville, CA 94608-1775
 Tel: (925) 525-1000
 Fax: (925) 525-1001



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 Tel: (415) 774-1000
 Fax: (415) 774-1001



**U.S. PROBATION
 OFFICE REMODEL**

3420 12TH ST. RICHMOND, CA 94801

REVISIONS

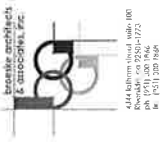
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7	01/15/11	ISSUED FOR PERMIT
8	01/15/11	ISSUED FOR PERMIT
9	01/15/11	ISSUED FOR PERMIT
10	01/15/11	ISSUED FOR PERMIT

**FIRST FLOOR ELECTRICAL
 DEMOLITION PLAN**

E1.1

DATE: 01/15/11

SCALE: 1/8" = 1'-0"



U.S. PROBATION OFFICE REMODEL

3420 12TH ST FURNERB, CA 92501

REVISIONS

NO.	DATE	DESCRIPTION
1		ISSUED FOR PERMITS
2		ISSUED FOR PERMITS
3		ISSUED FOR PERMITS
4		ISSUED FOR PERMITS
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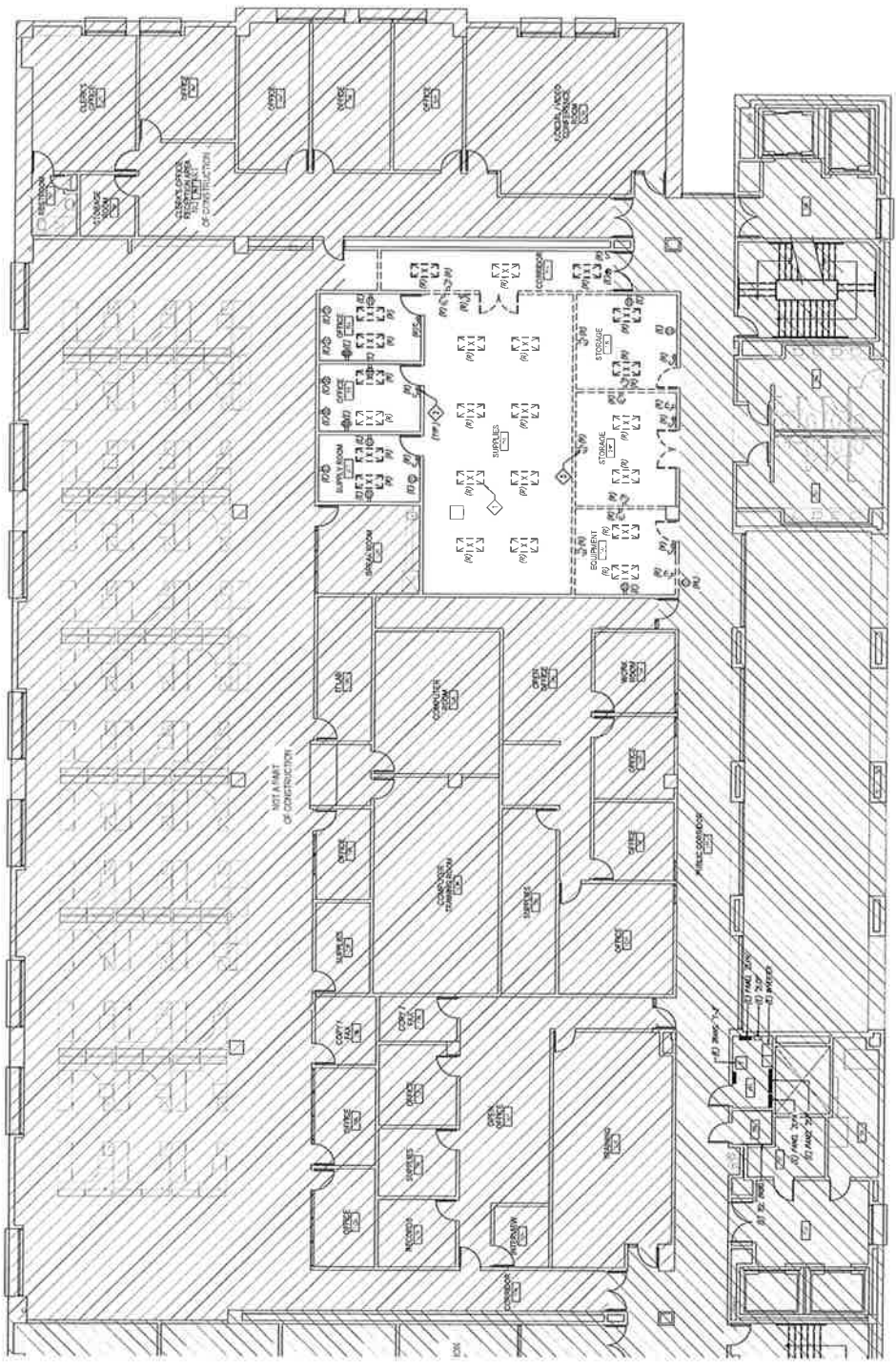
DATE: 10/15/11
 SECOND FLOOR ELECTRICAL DEMOLITION PLAN
 SHEET NO. E1.2

GENERAL NOTES

1. REFER TO GENERAL DEMOLITION NOTES ON THE ELECTRICAL LOADINGS AND NOTES SHEET.

CONSTRUCTION NOTES

- ◆ REMOVE EXISTING AND ASSOCIATED CONDUIT/CONDUITING UP TO AND INCLUDING THE POINT OF DISCONNECT AND RECONNECTED AND RECONNECTED FOR REMOVAL. PLACE TYPICAL OF ALL DEMOLISHED ITEMS.
- ◆ REMOVE EXISTING SWITCHES AND ALL ASSOCIATED CONDUIT/CONDUITING UP TO AND INCLUDING THE POINT OF DISCONNECT AND RECONNECTED FOR REMOVAL. PLACE TYPICAL OF ALL DEMOLISHED ITEMS.
- ◆ REMOVE EXISTING PANELS UP TO AND INCLUDING THE POINT OF DISCONNECT AND RECONNECTED FOR REMOVAL. PLACE TYPICAL OF ALL DEMOLISHED ITEMS.



SCALE: 1/8" = 1'-0"
 SECOND FLOOR ELECTRICAL DEMOLITION PLAN
 1

KM



DESIGN WEST ENGINEERING
ARCHITECTURE & INTERIOR DESIGN



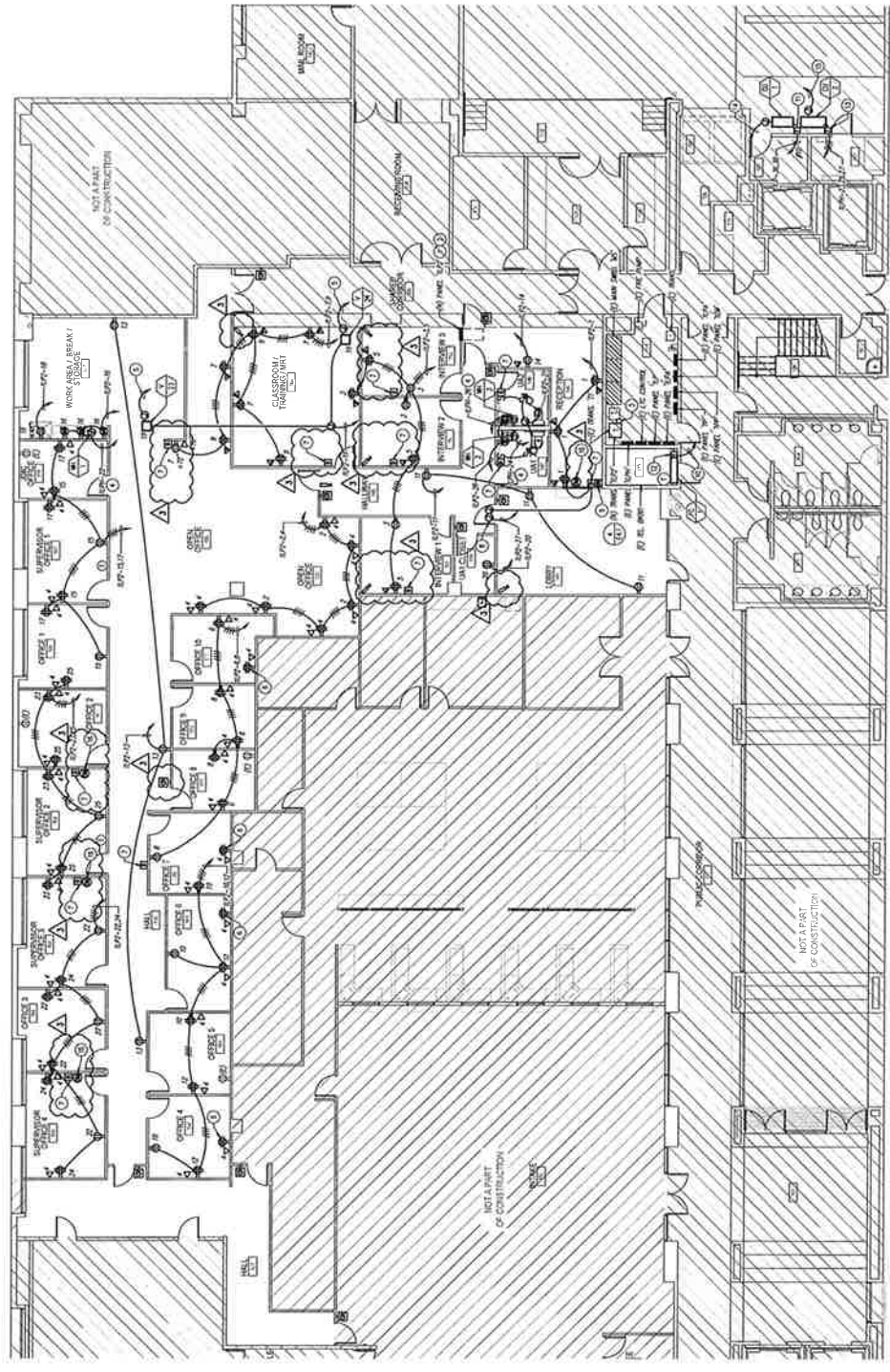
U.S. PROBATION OFFICE REMODEL

3420 12th St. Richmond, CA 94801

GENERAL NOTES

1. COORDINATE POWER AND DATA DEVICE LOCATIONS AND DEVICE PANEL LOCATION WITH ARCHITECT.
2. PROVIDE ALL NECESSARY POWER AND DATA CONNECTIONS TO ALL ROOMS. CONNECTIONS FROM FLOOR TO A DEVICE OR FROM A DEVICE TO A DEVICE SHALL BE CONSIDERED TO BE LOCATED WITHIN A SPACE UTILIZATION AREA.
3. ALL ELECTRICAL DEVICES SHALL BE INSTALLED ABOVE CEILING.
4. COORDINATE POWER AND DATA CONNECTIONS WITH MECHANICAL CONTRACTOR AND PROVIDE ALL NECESSARY POWER AND DATA CONNECTIONS TO ALL ROOMS.
5. ALL DEVICES LOCATED BACK TO BACK OR IN WALL SHALL BE 4" APART.
6. CONTRACTOR SHALL PROVIDE ALL NECESSARY PROGRAMMING AND TESTING OF ALL INSTALLED DATA DEVICES.

POWER AND DATA PATH FOR ALL WALL DEVICES INCLUDING RECEPTACLES, SWITCHES, AND DATA DEVICES SHALL BE INSTALLED WITHIN THE WALL.



CONSTRUCTION NOTES

1. PROVIDE ALL NECESSARY POWER AND DATA CONNECTIONS TO ALL ROOMS. CONNECTIONS FROM FLOOR TO A DEVICE OR FROM A DEVICE TO A DEVICE SHALL BE CONSIDERED TO BE LOCATED WITHIN A SPACE UTILIZATION AREA.
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19. PROVIDE ALL NECESSARY POWER AND DATA CONNECTIONS TO ALL ROOMS. CONNECTIONS FROM FLOOR TO A DEVICE OR FROM A DEVICE TO A DEVICE SHALL BE CONSIDERED TO BE LOCATED WITHIN A SPACE UTILIZATION AREA.
20. PROVIDE ALL NECESSARY POWER AND DATA CONNECTIONS TO ALL ROOMS. CONNECTIONS FROM FLOOR TO A DEVICE OR FROM A DEVICE TO A DEVICE SHALL BE CONSIDERED TO BE LOCATED WITHIN A SPACE UTILIZATION AREA.



FIRST FLOOR POWER & SIGNAL PLAN SCALE: 1/8" = 1'-0" 1

E2.1

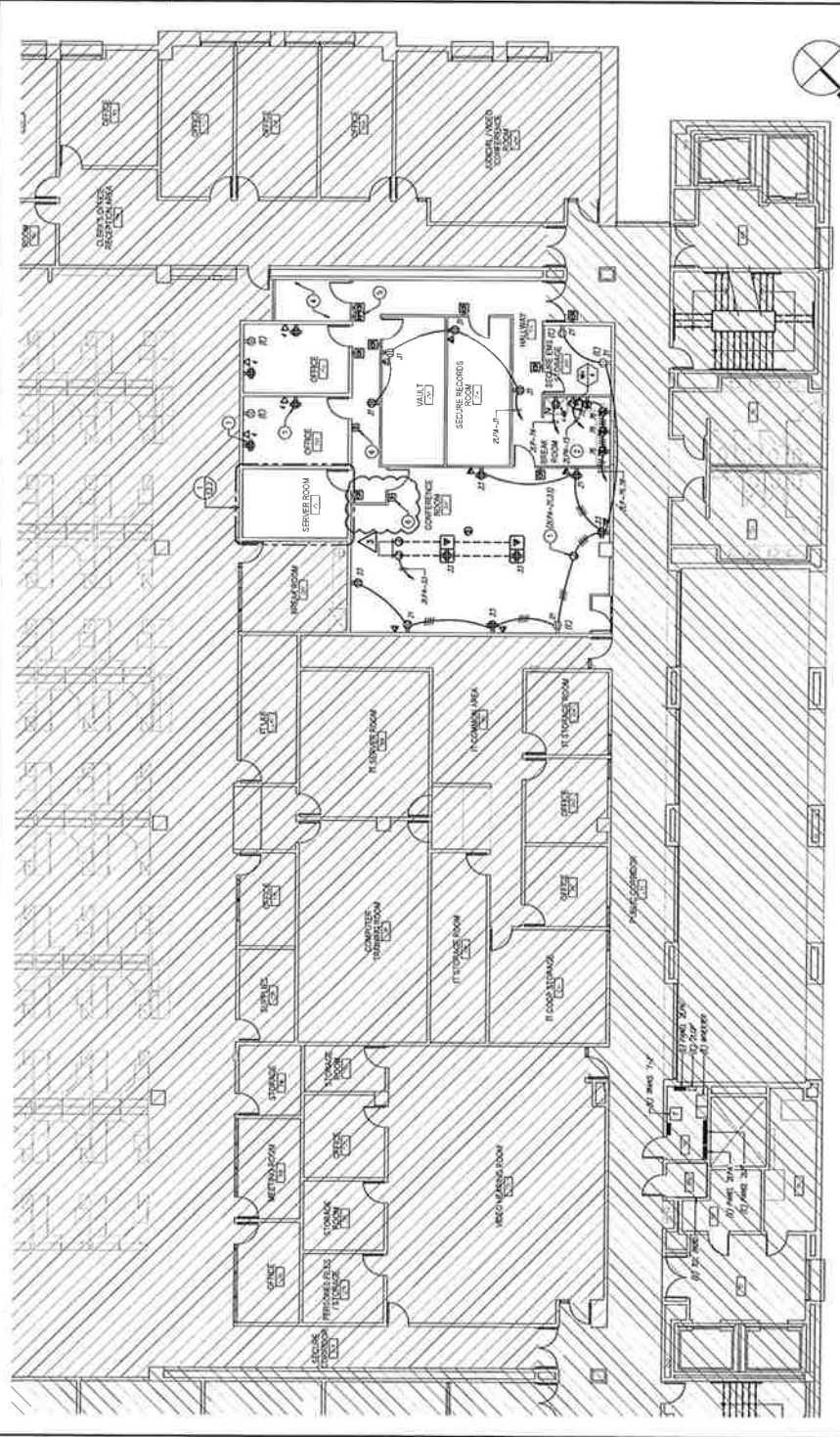
FIRST FLOOR POWER & SIGNAL PLAN

GENERAL NOTES

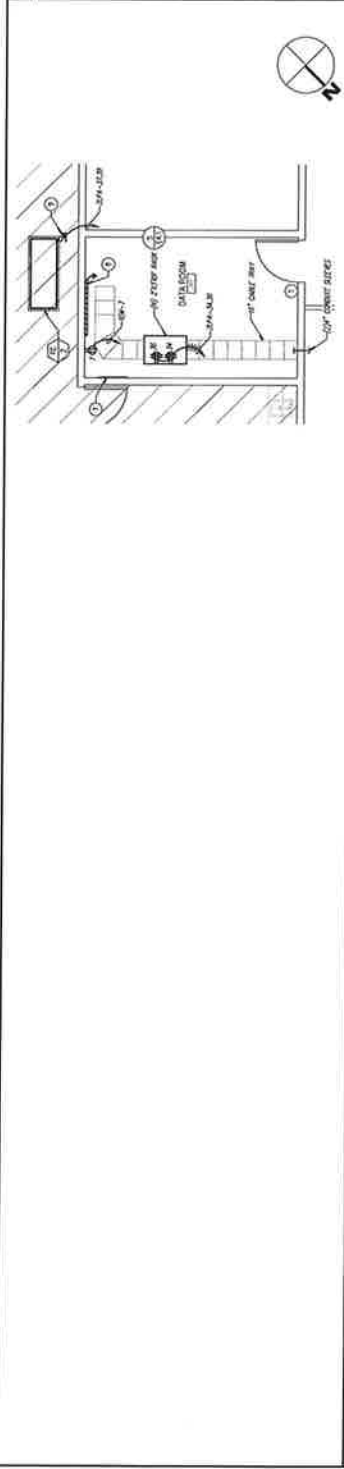
1. COORDINATE PIPING AND DATA CONDUITS, AND POWER PLUMBING WITH ARCHITECT.
2. ALL FLOOR, CEILING AND EQUIPMENT ROOMS, ALL ELECTRICAL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE ELECTRICAL CODE FROM FLOOR TO A MINIMUM OF 6' ABOVE THE EQUIPMENT DECK (IF APPLICABLE).
3. ALL ELECTRICAL DEVICES ARE NEW UNLESS NOTED OTHERWISE.
4. COORDINATE FLOOR/CILING LOCATIONS WITH ARCHITECT AND PROVISIONS FOR FLOOR/CILING LOCATIONS SHALL BE NOTED.
5. ALL ELECTRICAL DEVICES SHALL BE INSTALLED AS SHOWN UNLESS NOTED OTHERWISE.
6. CONDUITWORK SHALL PROVIDE ALL NECESSARY PROTECTIVE AND RESTRICTION OF ALL INSTALLED SIGNAL SERVICES.

PROVIDE ADDITIONAL SUPPORTS FOR ALL WALL MOUNTED ELECTRICAL DEVICES, SWITCHES, OUTLETS, CONDUITS, ETC.

ENLARGED DATA ROOM ELECTRICAL PLAN SCALE: 1/4" = 1'-0" 1



SECOND FLOOR POWER & SIGNAL PLAN SCALE: 1/8" = 1'-0" 2



U.S. PROBATION OFFICE REMODEL
3420 12th St. Riverbank, CA 92901

DESIGN WEST ENGINEERING
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725 S. Alhambra Blvd., Ste. 100
Pasadena, CA 91105-1030
Tel: (626) 792-1100
Fax: (626) 792-1101

Professional Engineer
No. 12513
Exp. 12/31/2018

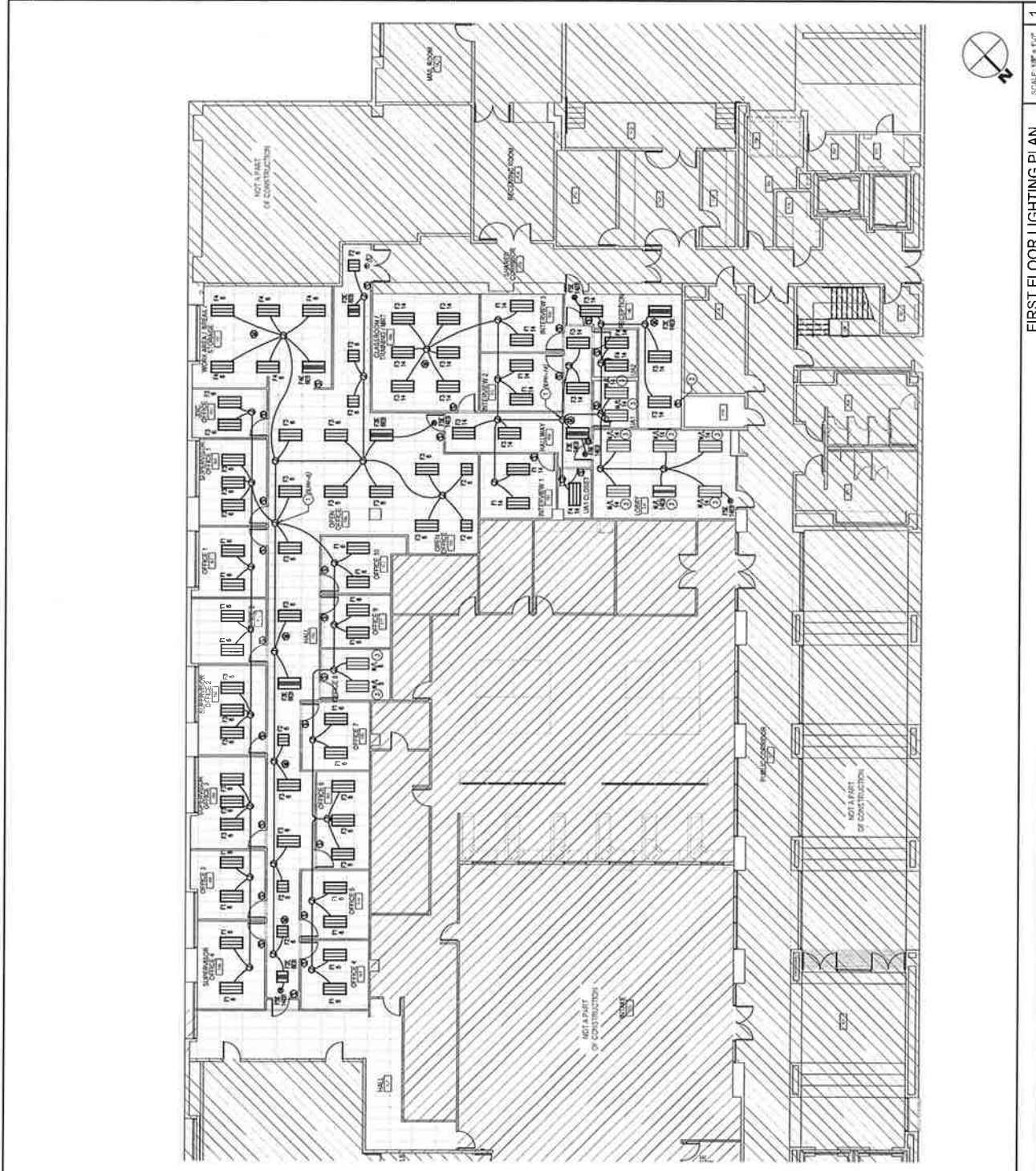
Professional Engineer
No. 12513
Exp. 12/31/2018

PROJECT TITLE: SECOND FLOOR POWER & SIGNAL PLAN
DATE: 10/20/18
DRAWN BY: [Name]
CHECKED BY: [Name]
APPROVED BY: [Name]

E2.2

GENERAL NOTES

1. COORDINATE LIGHT FIXTURE LOCATIONS AND LIGHT SWITCH LOCATIONS WITH ALL OTHER TRADES.
2. ALL LIGHT FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. THE MANUFACTURER'S INSTALLATION INSTRUCTIONS SHALL BE PROVIDED TO THE CONTRACTOR FOR EACH LIGHT FIXTURE.
3. ALL LIGHT FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. THE MANUFACTURER'S INSTALLATION INSTRUCTIONS SHALL BE PROVIDED TO THE CONTRACTOR FOR EACH LIGHT FIXTURE.
4. ALL LIGHT FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. THE MANUFACTURER'S INSTALLATION INSTRUCTIONS SHALL BE PROVIDED TO THE CONTRACTOR FOR EACH LIGHT FIXTURE.



FIRST FLOOR LIGHTING PLAN
SCALE: 1/8" = 1'-0"
1

**U.S. PROBATION
OFFICE REMODEL**

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4144 Latham Blvd., Suite 100
San Francisco, CA 94133
PH: (415) 300-1644
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DESIGN WEST ENGINEERING
ARCHITECT-ENGINEER-INTERIOR DESIGNER



CONSTRUCTION NOTES

1. SEE NOTES ON THE GENERAL NOTES SHEET FOR THE LOCATION OF LIGHT FIXTURES AND LIGHT SWITCHES. ALL LIGHT FIXTURES AND LIGHT SWITCHES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. THE MANUFACTURER'S INSTALLATION INSTRUCTIONS SHALL BE PROVIDED TO THE CONTRACTOR FOR EACH LIGHT FIXTURE AND LIGHT SWITCH.
2. ALL LIGHT FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. THE MANUFACTURER'S INSTALLATION INSTRUCTIONS SHALL BE PROVIDED TO THE CONTRACTOR FOR EACH LIGHT FIXTURE.
3. ALL LIGHT FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. THE MANUFACTURER'S INSTALLATION INSTRUCTIONS SHALL BE PROVIDED TO THE CONTRACTOR FOR EACH LIGHT FIXTURE.

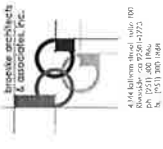
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2	ALL LIGHT FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
3	ALL LIGHT FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
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9	ALL LIGHT FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
10	ALL LIGHT FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.

E3.1

FIRST FLOOR LIGHTING PLAN

07-20





U.S. PROBATION OFFICE REMODEL

3420 17th St. Fremont, CA 94501

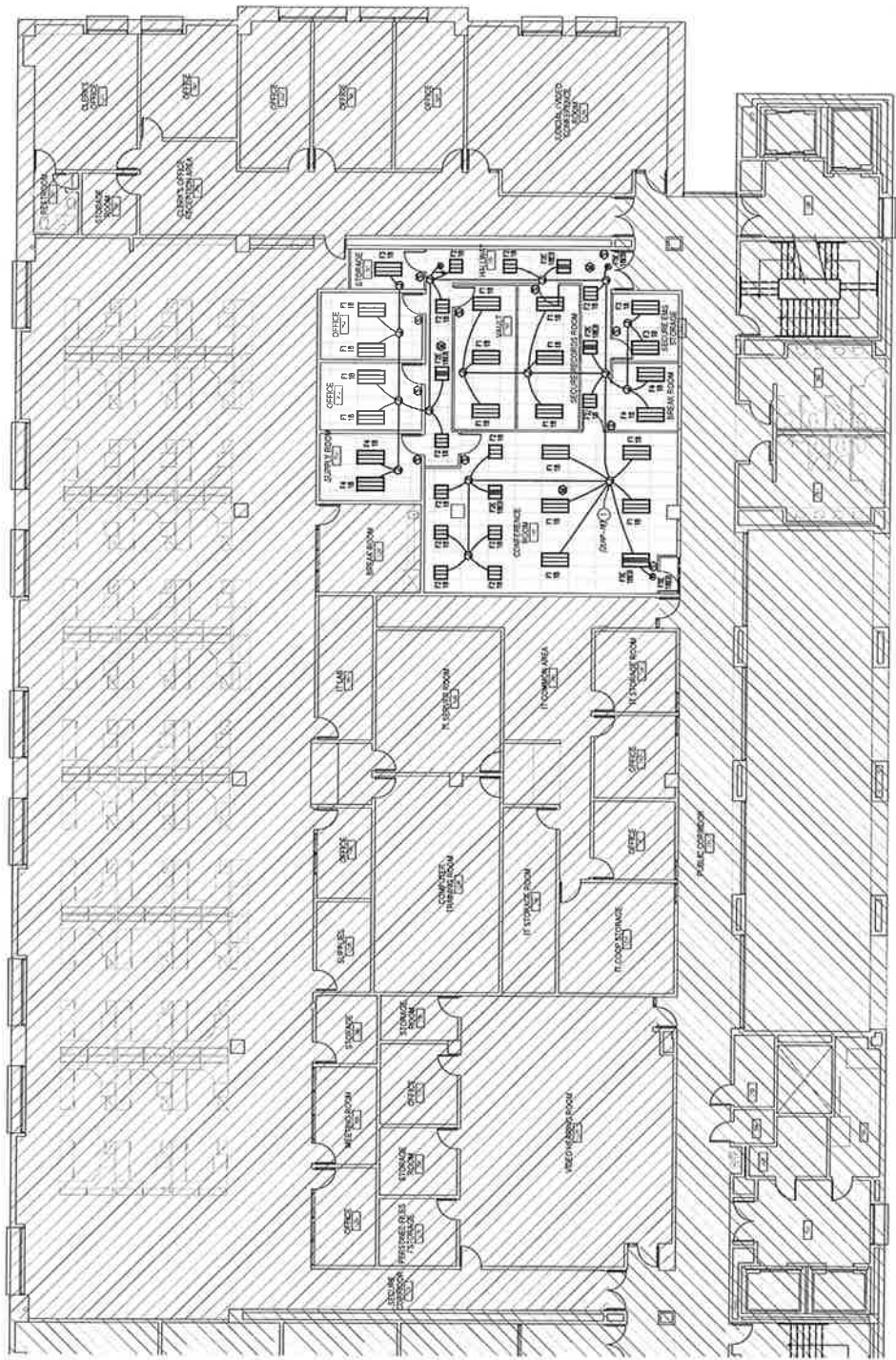
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8	ISSUED FOR PERMITTING	08/20/10
9	ISSUED FOR PERMITTING	08/20/10
10	ISSUED FOR PERMITTING	08/20/10

GENERAL NOTES

- COORDINATE LIGHT FIXTURE LOCATIONS AND LIGHT SWITCH LOCATIONS WITH OTHER TRADES AND ARCHITECT.
- WHERE INDICATED, FIXTURES ARE TO BE INSTALLED IN THE SPACE PROVIDED. COORDINATE WITH OTHER TRADES TO AVOID INTERFERENCE WITH MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS. ALL LIGHT FIXTURES SHALL BE INSTALLED WITH THE FACE OF THE FIXTURE PARALLEL TO THE CEILING.

CONSTRUCTION NOTES

- USE JOIST BRACING, PILING, BRACING, OR OTHER MEANS TO SUPPORT JOISTS TO MAINTAIN CLEAR HEIGHT OF JOISTS. ALL JOIST BRACING SHALL BE INSTALLED WITH THE FACE OF THE BRACING PARALLEL TO THE CEILING.



SECOND FLOOR LIGHTING PLAN SCALE: 1/8" = 1'-0" 1

SECOND FLOOR LIGHTING PLAN

E3.2

PLANS

Handwritten initials or signature.

AS

U.S. PROBATION OFFICE REMODEL

3420 12th St. Folsom, CA 95701



DESIGN WEST ENGINEERING
ARCHITECTURAL • ELECTRICAL • MECHANICAL CONSULTANTS



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Beverly Hills, CA 90210-1773
Tel: (310) 306-1888
Fax: (310) 306-1888



Part 1: General Information

Project Name: U.S. PROBATION OFFICE REMODEL
Address: 3420 12th St., Folsom, CA 95701
Project Type: Commercial Building
Year of Construction: 2008
Area of Building: 11,000 sq. ft.

Part 2: Building Information

Building Type: Office Building
Number of Stories: 1
Number of Units: 1
Number of Occupants: 100

Part 3: Energy Performance

Area	Energy Use Intensity (EUI)	Energy Use Intensity (EUI) - 2008	Energy Use Intensity (EUI) - 2010	Energy Use Intensity (EUI) - 2012	Energy Use Intensity (EUI) - 2014	Energy Use Intensity (EUI) - 2016	Energy Use Intensity (EUI) - 2018	Energy Use Intensity (EUI) - 2020
Electricity	110	110	110	110	110	110	110	110
Gas	10	10	10	10	10	10	10	10
Water	10	10	10	10	10	10	10	10

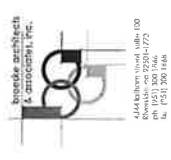
Part 4: Compliance Summary

Energy Star Rating: 1
LEED Certification: LEED Silver
Green Building Certification: Green Building Certified

Part 5: Additional Information

Notes: The building is a single-story office building. The energy performance is based on the 2008 ASHRAE 90.1-2008 energy code. The building is located in a climate zone with a heating degree day (HDD) of 4,000 and a cooling degree day (CDD) of 4,000. The building is a single-family residential building.

Handwritten initials/signature



444 BROADWAY, SUITE 100
NEW YORK, NY 10017-1772
Tel: (212) 305-1444
Fax: (212) 305-1448



DAVID A. BERMAN, P.E.
No. 15080600, Exp. 03/31/2018
100 WEST STREET, 20th FLOOR
NEW YORK, NY 10038



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U.S. PROBATION OFFICE REMODEL

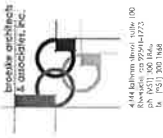
3420 12TH ST. FURNACE, CA 92501

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ENERGY COMPLIANCE FORMS
E5.2

Indoor Lighting

Area	Area Description	Area Type	Area Code	Area Area (sq ft)	Area Volume (cu ft)	Area Height (ft)	Area Perimeter (ft)	Area Area (sq ft)	Area Volume (cu ft)	Area Height (ft)	Area Perimeter (ft)
101	Office 1	Office	101	1,000	10,000	10	400	1,000	10,000	10	400
102	Office 2	Office	102	1,000	10,000	10	400	1,000	10,000	10	400
103	Office 3	Office	103	1,000	10,000	10	400	1,000	10,000	10	400
104	Office 4	Office	104	1,000	10,000	10	400	1,000	10,000	10	400
105	Office 5	Office	105	1,000	10,000	10	400	1,000	10,000	10	400
106	Office 6	Office	106	1,000	10,000	10	400	1,000	10,000	10	400
107	Office 7	Office	107	1,000	10,000	10	400	1,000	10,000	10	400
108	Office 8	Office	108	1,000	10,000	10	400	1,000	10,000	10	400
109	Office 9	Office	109	1,000	10,000	10	400	1,000	10,000	10	400
110	Office 10	Office	110	1,000	10,000	10	400	1,000	10,000	10	400
111	Office 11	Office	111	1,000	10,000	10	400	1,000	10,000	10	400
112	Office 12	Office	112	1,000	10,000	10	400	1,000	10,000	10	400
113	Office 13	Office	113	1,000	10,000	10	400	1,000	10,000	10	400
114	Office 14	Office	114	1,000	10,000	10	400	1,000	10,000	10	400
115	Office 15	Office	115	1,000	10,000	10	400	1,000	10,000	10	400
116	Office 16	Office	116	1,000	10,000	10	400	1,000	10,000	10	400
117	Office 17	Office	117	1,000	10,000	10	400	1,000	10,000	10	400
118	Office 18	Office	118	1,000	10,000	10	400	1,000	10,000	10	400
119	Office 19	Office	119	1,000	10,000	10	400	1,000	10,000	10	400
120	Office 20	Office	120	1,000	10,000	10	400	1,000	10,000	10	400
121	Office 21	Office	121	1,000	10,000	10	400	1,000	10,000	10	400
122	Office 22	Office	122	1,000	10,000	10	400	1,000	10,000	10	400
123	Office 23	Office	123	1,000	10,000	10	400	1,000	10,000	10	400
124	Office 24	Office	124	1,000	10,000	10	400	1,000	10,000	10	400
125	Office 25	Office	125	1,000	10,000	10	400	1,000	10,000	10	400
126	Office 26	Office	126	1,000	10,000	10	400	1,000	10,000	10	400
127	Office 27	Office	127	1,000	10,000	10	400	1,000	10,000	10	400
128	Office 28	Office	128	1,000	10,000	10	400	1,000	10,000	10	400
129	Office 29	Office	129	1,000	10,000	10	400	1,000	10,000	10	400
130	Office 30	Office	130	1,000	10,000	10	400	1,000	10,000	10	400
131	Office 31	Office	131	1,000	10,000	10	400	1,000	10,000	10	400
132	Office 32	Office	132	1,000	10,000	10	400	1,000	10,000	10	400
133	Office 33	Office	133	1,000	10,000	10	400	1,000	10,000	10	400
134	Office 34	Office	134	1,000	10,000	10	400	1,000	10,000	10	400
135	Office 35	Office	135	1,000	10,000	10	400	1,000	10,000	10	400
136	Office 36	Office	136	1,000	10,000	10	400	1,000	10,000	10	400
137	Office 37	Office	137	1,000	10,000	10	400	1,000	10,000	10	400
138	Office 38	Office	138	1,000	10,000	10	400	1,000	10,000	10	400
139	Office 39	Office	139	1,000	10,000	10	400	1,000	10,000	10	400
140	Office 40	Office	140	1,000	10,000	10	400	1,000	10,000	10	400
141	Office 41	Office	141	1,000	10,000	10	400	1,000	10,000	10	400
142	Office 42	Office	142	1,000	10,000	10	400	1,000	10,000	10	400
143	Office 43	Office	143	1,000	10,000	10	400	1,000	10,000	10	400
144	Office 44	Office	144	1,000	10,000	10	400	1,000	10,000	10	400
145	Office 45	Office	145	1,000	10,000	10	400	1,000	10,000	10	400
146	Office 46	Office	146	1,000	10,000	10	400	1,000	10,000	10	400
147	Office 47	Office	147	1,000	10,000	10	400	1,000	10,000	10	400
148	Office 48	Office	148	1,000	10,000	10	400	1,000	10,000	10	400
149	Office 49	Office	149	1,000	10,000	10	400	1,000	10,000	10	400
150	Office 50	Office	150	1,000	10,000	10	400	1,000	10,000	10	400
151	Office 51	Office	151	1,000	10,000	10	400	1,000	10,000	10	400
152	Office 52	Office	152	1,000	10,000	10	400	1,000	10,000	10	400
153	Office 53	Office	153	1,000	10,000	10	400	1,000	10,000	10	400
154	Office 54	Office	154	1,000	10,000	10	400	1,000	10,000	10	400
155	Office 55	Office	155	1,000	10,000	10	400	1,000	10,000	10	400
156	Office 56	Office	156	1,000	10,000	10	400	1,000	10,000	10	400
157	Office 57	Office	157	1,000	10,000	10	400	1,000	10,000	10	400
158	Office 58	Office	158	1,000	10,000	10	400	1,000	10,000	10	400
159	Office 59	Office	159	1,000	10,000	10	400	1,000	10,000	10	400
160	Office 60	Office	160	1,000	10,000	10	400	1,000	10,000	10	400
161	Office 61	Office	161	1,000	10,000	10	400	1,000	10,000	10	400
162	Office 62	Office	162	1,000	10,000	10	400	1,000	10,000	10	400
163	Office 63	Office	163	1,000	10,000	10	400	1,000	10,000	10	400
164	Office 64	Office	164	1,000	10,000	10	400	1,000	10,000	10	400
165	Office 65	Office	165	1,000	10,000	10	400	1,000	10,000	10	400
166	Office 66	Office	166	1,000	10,000	10	400	1,000	10,000	10	400
167	Office 67	Office	167	1,000	10,000	10	400	1,000	10,000	10	400
168	Office 68	Office	168	1,000	10,000	10	400	1,000	10,000	10	400
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170	Office 70	Office	170	1,000	10,000	10	400	1,000	10,000	10	400
171	Office 71	Office	171	1,000	10,000	10	400	1,000	10,000	10	400
172	Office 72	Office	172	1,000	10,000	10	400	1,000	10,000	10	400
173	Office 73	Office	173	1,000	10,000	10	400	1,000	10,000	10	400
174	Office 74	Office	174	1,000	10,000	10	400	1,000	10,000	10	400
175	Office 75	Office	175	1,000	10,000	10	400	1,000	10,000	10	400
176	Office 76	Office	176	1,000	10,000	10	400	1,000	10,000	10	400
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182	Office 82	Office	182	1,000	10,000	10	400	1,000	10,000	10	400
183	Office 83	Office	183	1,000	10,000	10	400	1,000	10,000	10	400
184	Office 84	Office	184	1,000	10,000	10	400	1,000	10,000	10	400
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186	Office 86	Office	186	1,000	10,000	10	400	1,000	10,000	10	400
187	Office 87	Office	187	1,000	10,000	10	400	1,000	10,000	10	400
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189	Office 89	Office	189	1,000	10,000	10	400	1,000	10,000	10	400
190	Office 90	Office	190	1,000	10,000	10	400	1,000	10,000	10	400
191	Office 91	Office	191	1,000	10,000	10	400	1,000	10,000	10	400
192	Office 92	Office	192	1,000	10,000	10	400	1,000	10,000	10	400
193	Office 93	Office	193	1,000	10,000	10	400	1,000	10,000	10	



EMPIRE ARCHITECT & ENGINEER, INC.
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 New York, NY 10018-3212
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DESIGN WEST ENGINEERING
 MECHANICAL/ELECTRICAL/PLUMBING CONSULTANTS
 3420 128th St. Richmond, CA 94801
 Tel: (415) 771-7370
 Fax: (415) 771-7370
 Email: info@designwesteng.com



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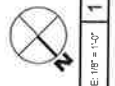
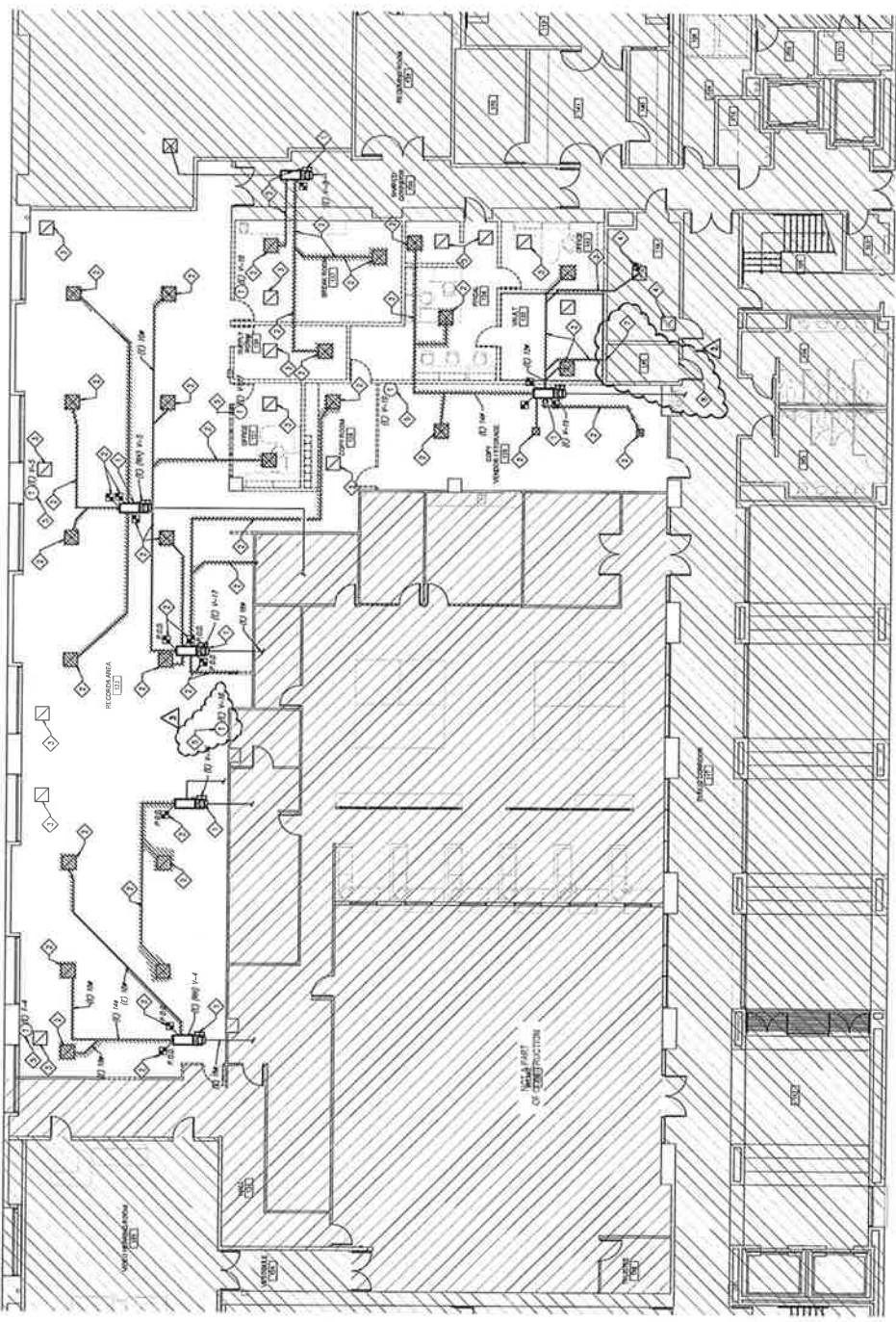
3420 128th St. Richmond, CA 94801

NO.	DATE	DESCRIPTION
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10	10/15/14	ISSUED FOR PERMIT

MECHANICAL FIRST FLOOR
 DEMOLITION PLAN

M1.1

- DEMOLITION NOTES**
- 1. DEMOLITION SHALL BE IN ACCORDANCE WITH THE EXISTING CONTRACT DOCUMENTS AND THE EXISTING AS-BUILT DRAWINGS.
 - 2. DEMOLITION SHALL BE IN ACCORDANCE WITH THE EXISTING CONTRACT DOCUMENTS AND THE EXISTING AS-BUILT DRAWINGS.
 - 3. DEMOLITION SHALL BE IN ACCORDANCE WITH THE EXISTING CONTRACT DOCUMENTS AND THE EXISTING AS-BUILT DRAWINGS.
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 - 9. DEMOLITION SHALL BE IN ACCORDANCE WITH THE EXISTING CONTRACT DOCUMENTS AND THE EXISTING AS-BUILT DRAWINGS.
 - 10. DEMOLITION SHALL BE IN ACCORDANCE WITH THE EXISTING CONTRACT DOCUMENTS AND THE EXISTING AS-BUILT DRAWINGS.



MECHANICAL FIRST FLOOR DEMOLITION PLAN SCALE: 1/8" = 1'-0" 1

Handwritten initials and signature.

DEMOLITION NOTES

1. DEMOLISH ALL EXISTING MECHANICAL EQUIPMENT AND ALL EXISTING MECHANICAL ROOMS AND EQUIPMENT ROOMS. SEE MECHANICAL SECOND FLOOR DEMOLITION PLAN FOR DETAILS.

2. DEMOLISH ALL EXISTING MECHANICAL ROOMS AND EQUIPMENT ROOMS. SEE MECHANICAL SECOND FLOOR DEMOLITION PLAN FOR DETAILS.

3. DEMOLISH ALL EXISTING MECHANICAL ROOMS AND EQUIPMENT ROOMS. SEE MECHANICAL SECOND FLOOR DEMOLITION PLAN FOR DETAILS.

4. DEMOLISH ALL EXISTING MECHANICAL ROOMS AND EQUIPMENT ROOMS. SEE MECHANICAL SECOND FLOOR DEMOLITION PLAN FOR DETAILS.

5. DEMOLISH ALL EXISTING MECHANICAL ROOMS AND EQUIPMENT ROOMS. SEE MECHANICAL SECOND FLOOR DEMOLITION PLAN FOR DETAILS.

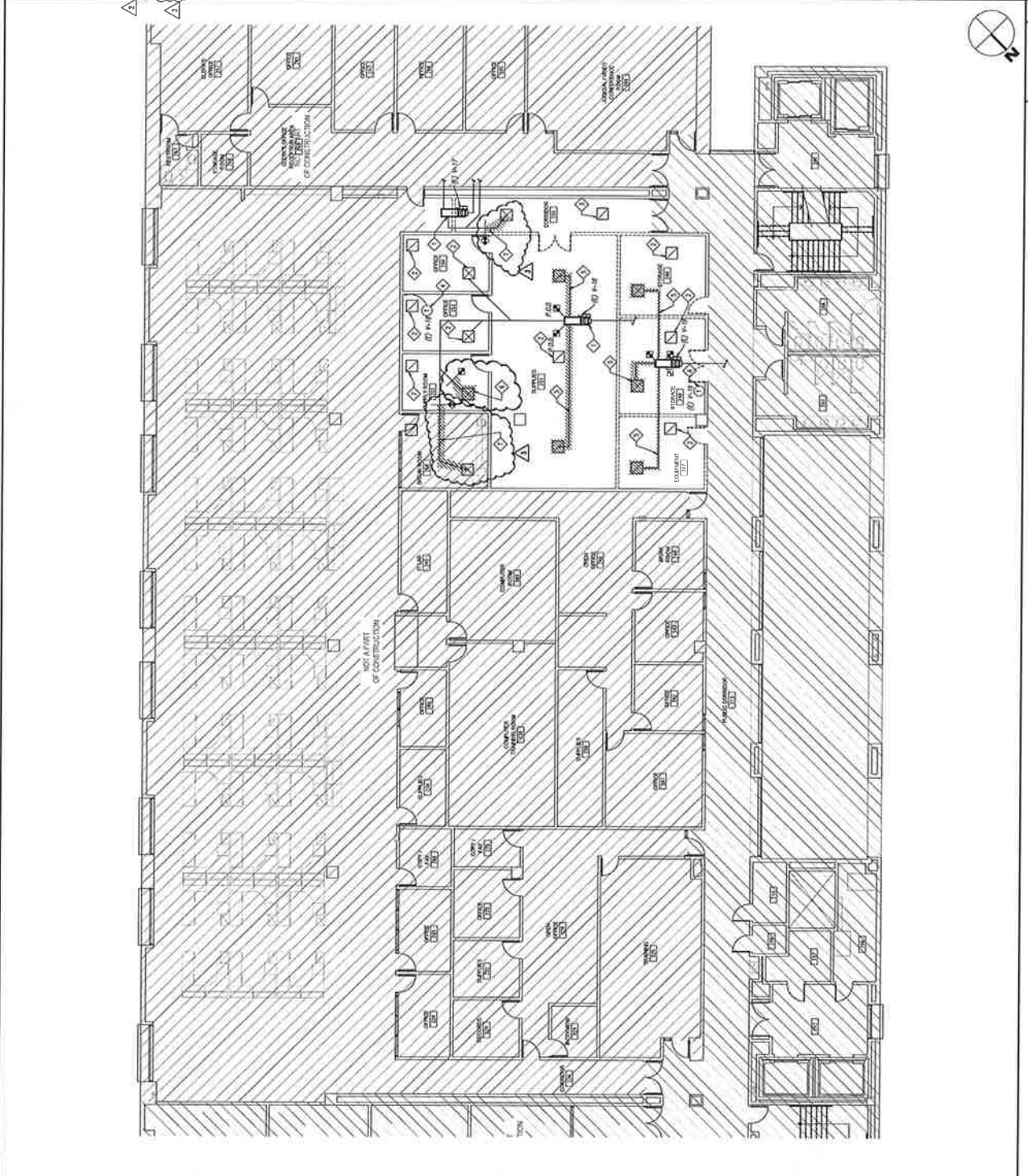
6. DEMOLISH ALL EXISTING MECHANICAL ROOMS AND EQUIPMENT ROOMS. SEE MECHANICAL SECOND FLOOR DEMOLITION PLAN FOR DETAILS.

7. DEMOLISH ALL EXISTING MECHANICAL ROOMS AND EQUIPMENT ROOMS. SEE MECHANICAL SECOND FLOOR DEMOLITION PLAN FOR DETAILS.

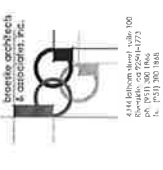
8. DEMOLISH ALL EXISTING MECHANICAL ROOMS AND EQUIPMENT ROOMS. SEE MECHANICAL SECOND FLOOR DEMOLITION PLAN FOR DETAILS.

9. DEMOLISH ALL EXISTING MECHANICAL ROOMS AND EQUIPMENT ROOMS. SEE MECHANICAL SECOND FLOOR DEMOLITION PLAN FOR DETAILS.

10. DEMOLISH ALL EXISTING MECHANICAL ROOMS AND EQUIPMENT ROOMS. SEE MECHANICAL SECOND FLOOR DEMOLITION PLAN FOR DETAILS.



MECHANICAL SECOND FLOOR DEMOLITION PLAN SCALE: 1/8" = 1'-0" 1



**U.S. PROBATION
OFFICE REMODEL**

3420 12th St. Newark, CA 92501

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NO.	REVISION
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2	ISSUED FOR PERMIT
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10	ISSUED FOR PERMIT

M1.2

MECHANICAL SECOND FLOOR
DEMOLITION PLAN

Handwritten initials and signature.



NO.	REVISION
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MECHANICAL FIRST FLOOR REMODEL PLAN

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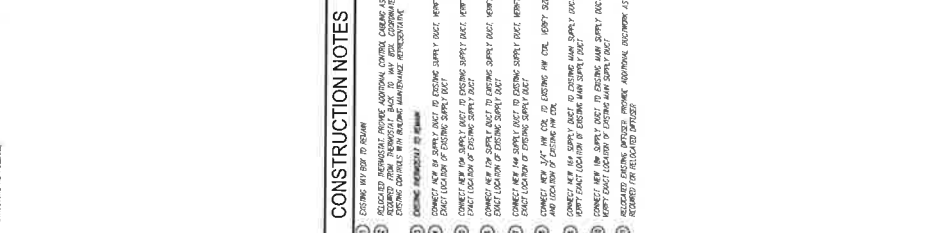
MECHANICAL FIRST FLOOR REMODEL PLAN

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MECHANICAL FIRST FLOOR REMODEL PLAN

MECHANICAL FIRST FLOOR REMODEL PLAN

- GENERAL NOTES**
1. FLOORING SHALL NOT BE INSTALLED IN AREAS OF ANY SUPPLY OR RETURN AIRWAYS. COMPARTMENT DIVISIONS SHALL NOT BE INSTALLED IN AREAS OF ANY SUPPLY OR RETURN AIRWAYS.
 2. DOOR DIMENSIONS ARE AS SHOWN. CLEARANCE AND ANY ADDITIONAL CLEARANCE SHALL BE AS SHOWN. DOOR WEIGHTS SHALL BE AS SHOWN.
 3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2015 CALIFORNIA MECHANICAL CODE AND ALL APPLICABLE LOCAL ORDINANCES.
 4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2015 CALIFORNIA MECHANICAL CODE AND ALL APPLICABLE LOCAL ORDINANCES.
 5. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2015 CALIFORNIA MECHANICAL CODE AND ALL APPLICABLE LOCAL ORDINANCES.
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 10. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2015 CALIFORNIA MECHANICAL CODE AND ALL APPLICABLE LOCAL ORDINANCES.



- CONSTRUCTION NOTES**
1. CONNECT NEW 14" SUPPLY DUCT TO EXISTING MAIN SUPPLY DUCT.
 2. EXISTING MAIN SUPPLY DUCT TO EXISTING MAIN SUPPLY DUCT.
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 10. EXISTING MAIN SUPPLY DUCT TO EXISTING MAIN SUPPLY DUCT.

MECHANICAL FIRST FLOOR REMODEL PLAN
SCALE: 1/4" = 1'-0"

MECHANICAL FIRST FLOOR REMODEL PLAN

MECHANICAL FIRST FLOOR REMODEL PLAN

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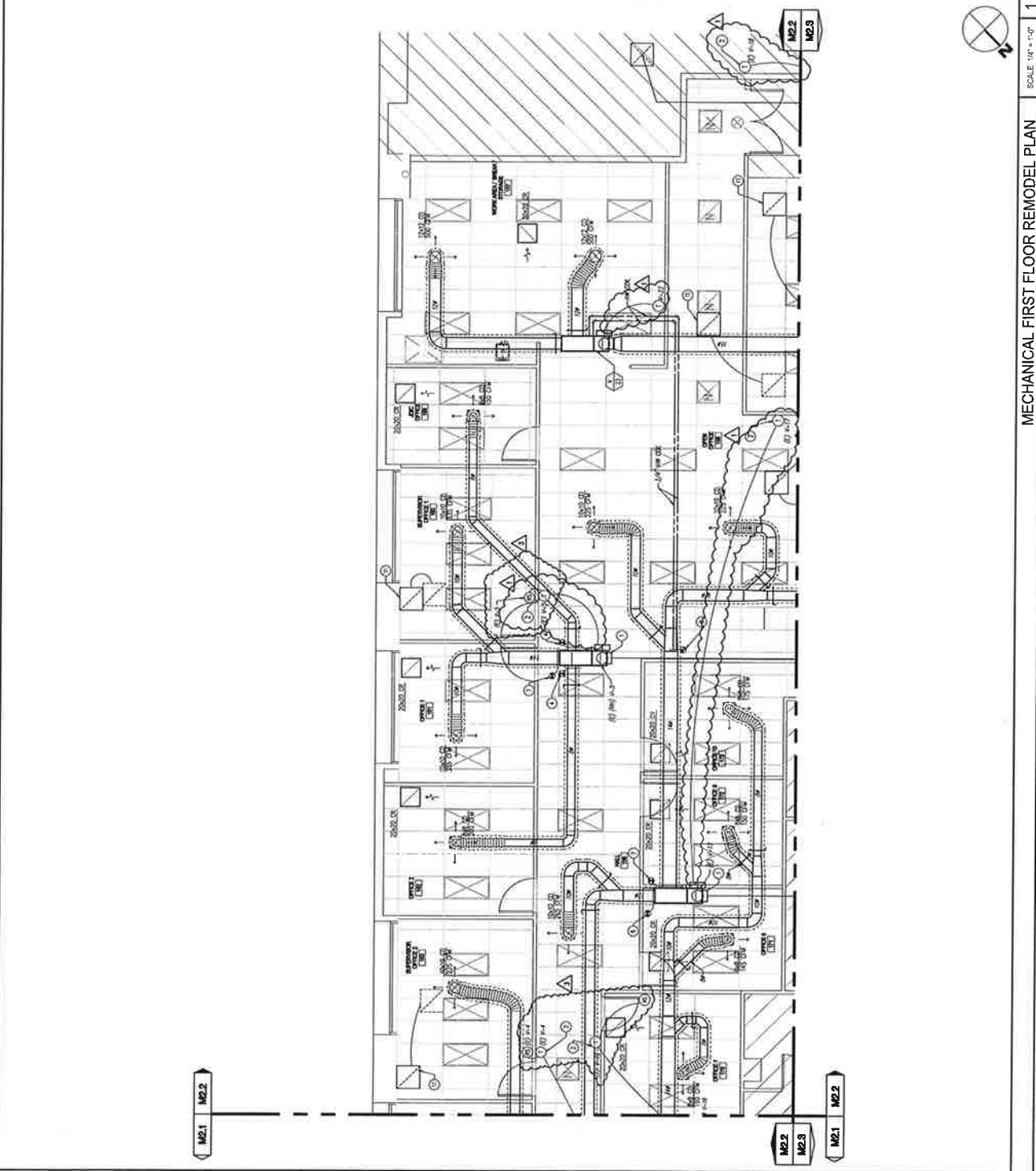
KSP

GENERAL NOTES

1. EXISTING DUCTS SHALL BE REPAIRED OR REPLACED TO MEET THE AIR SUPPLY REQUIREMENTS. ALL DUCTS SHALL BE INSTALLED USING CARTRIDGE FILTERS.
2. DUCT AMENITIES ARE TO BE CLEAR AND AN ADDITIONAL 2" CLEARANCE SHALL BE MAINTAINED BETWEEN DUCTS AND ANY CHANGES TO THE EXISTING STRUCTURE.
3. ALL DUCTWORK SHALL BE INSULATED. FLEX DUCT MAY BE USED ONLY AT SUPPLY & RETURN OUTLETS AT A MAX LENGTH OF 7'-0".
4. ALL WORKING SHALL MAINTAIN A MIN. OF 18" CLEARANCE FROM ANY EXISTING STRUCTURE. ALL WORK SHALL BE CLEARANCE ABOVE A MIN. OF 4" CLEARANCE FROM ANY EXISTING STRUCTURE. ALL WORK SHALL BE CLEARANCE FROM ANY EXISTING STRUCTURE.
5. ALL DUCTWORK SHALL BE INSTALLED FROM AND TO THE EXISTING STRUCTURE AS SHOWN.

CONSTRUCTION NOTES

1. EXISTING AIR SUPPLY TO REMAIN.
2. EXISTING RETURN AIR TO REMAIN. EXISTING RETURN AIR SHALL BE REPAIRED OR REPLACED TO MEET THE AIR SUPPLY REQUIREMENTS. ALL DUCTS SHALL BE INSTALLED USING CARTRIDGE FILTERS.
3. EXISTING EXHAUST AIR TO REMAIN.
4. EXISTING EXHAUST AIR TO REMAIN. EXISTING EXHAUST AIR SHALL BE REPAIRED OR REPLACED TO MEET THE AIR SUPPLY REQUIREMENTS. ALL DUCTS SHALL BE INSTALLED USING CARTRIDGE FILTERS.
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7. EXISTING EXHAUST AIR TO REMAIN. EXISTING EXHAUST AIR SHALL BE REPAIRED OR REPLACED TO MEET THE AIR SUPPLY REQUIREMENTS. ALL DUCTS SHALL BE INSTALLED USING CARTRIDGE FILTERS.
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14. EXISTING EXHAUST AIR TO REMAIN. EXISTING EXHAUST AIR SHALL BE REPAIRED OR REPLACED TO MEET THE AIR SUPPLY REQUIREMENTS. ALL DUCTS SHALL BE INSTALLED USING CARTRIDGE FILTERS.
15. EXISTING EXHAUST AIR TO REMAIN. EXISTING EXHAUST AIR SHALL BE REPAIRED OR REPLACED TO MEET THE AIR SUPPLY REQUIREMENTS. ALL DUCTS SHALL BE INSTALLED USING CARTRIDGE FILTERS.
16. EXISTING EXHAUST AIR TO REMAIN. EXISTING EXHAUST AIR SHALL BE REPAIRED OR REPLACED TO MEET THE AIR SUPPLY REQUIREMENTS. ALL DUCTS SHALL BE INSTALLED USING CARTRIDGE FILTERS.
17. EXISTING EXHAUST AIR TO REMAIN. EXISTING EXHAUST AIR SHALL BE REPAIRED OR REPLACED TO MEET THE AIR SUPPLY REQUIREMENTS. ALL DUCTS SHALL BE INSTALLED USING CARTRIDGE FILTERS.
18. EXISTING EXHAUST AIR TO REMAIN. EXISTING EXHAUST AIR SHALL BE REPAIRED OR REPLACED TO MEET THE AIR SUPPLY REQUIREMENTS. ALL DUCTS SHALL BE INSTALLED USING CARTRIDGE FILTERS.
19. EXISTING EXHAUST AIR TO REMAIN. EXISTING EXHAUST AIR SHALL BE REPAIRED OR REPLACED TO MEET THE AIR SUPPLY REQUIREMENTS. ALL DUCTS SHALL BE INSTALLED USING CARTRIDGE FILTERS.
20. EXISTING EXHAUST AIR TO REMAIN. EXISTING EXHAUST AIR SHALL BE REPAIRED OR REPLACED TO MEET THE AIR SUPPLY REQUIREMENTS. ALL DUCTS SHALL BE INSTALLED USING CARTRIDGE FILTERS.



MECHANICAL FIRST FLOOR REMODEL PLAN SCALE 1/4" = 1'-0" 1

Design West Engineering
 MECHANICAL-ELECTRICAL-ENERGY CONSULTANTS

3420 12th St. Richmond, CA 94801
 415.771.1111
 www.designwesteng.com



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M2.2

MECHANICAL FIRST FLOOR REMODEL PLAN

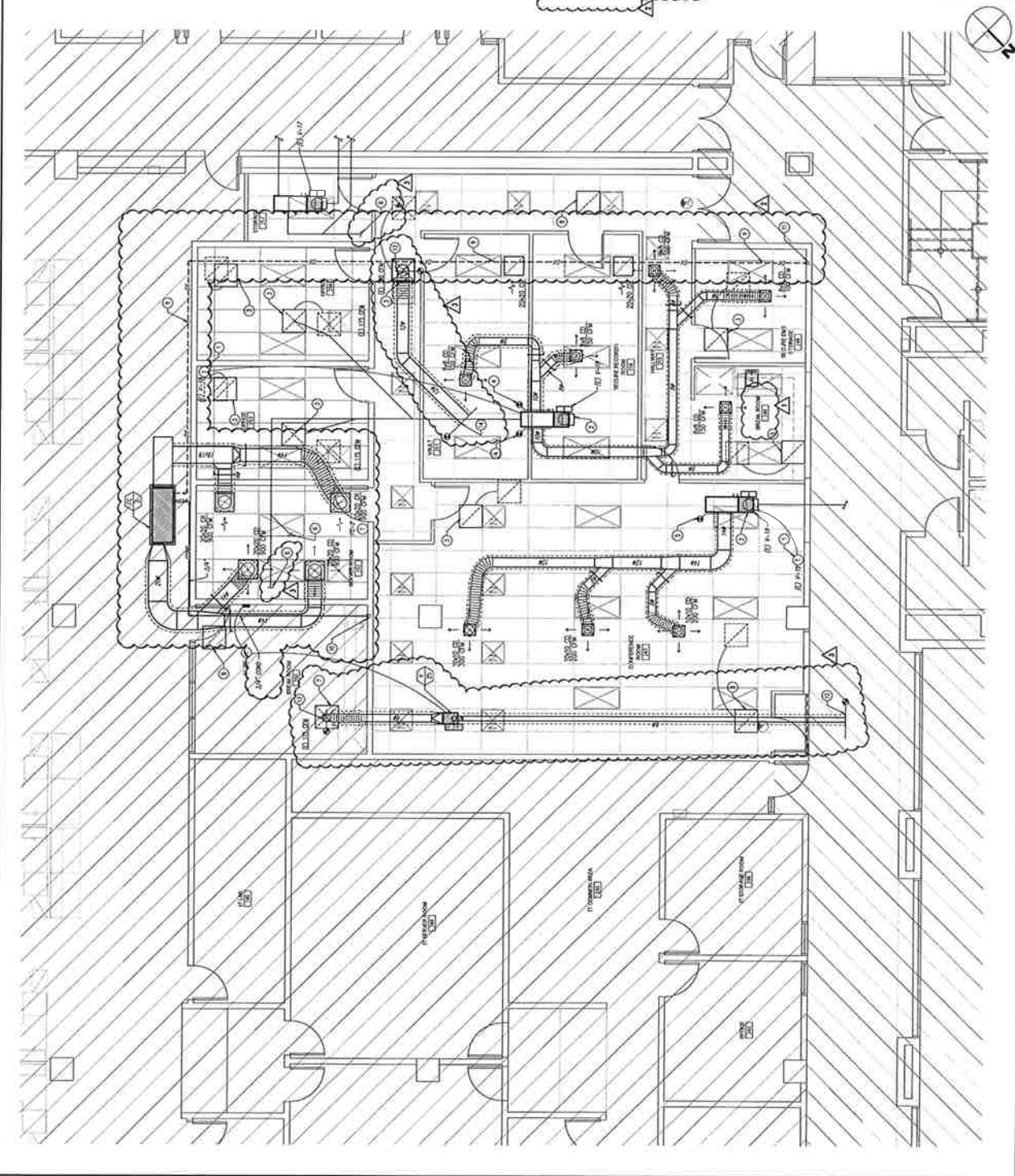
1/4" = 1'-0"

GENERAL NOTES

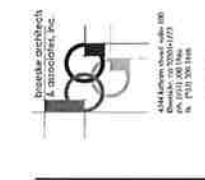
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CONSTRUCTION NOTES

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MECHANICAL SECOND FLOOR REMODEL PLAN SCALE: 1/4" = 1'-0" 1



DESIGN WEST ENGINEERING
MECHANICAL/ELECTRICAL/PLUMBING CONSULTANTS



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OFFICE REMODEL

3420 12th St. Richmond, CA 92301

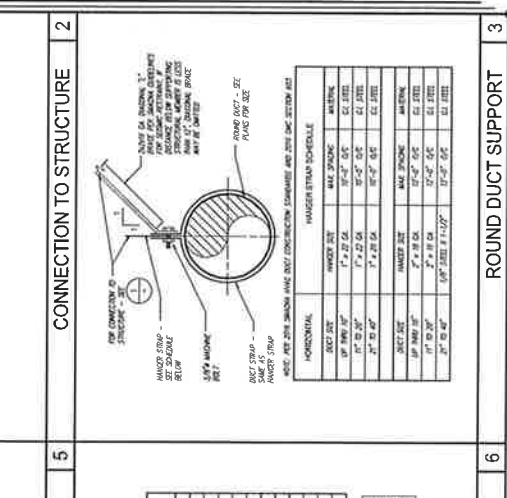
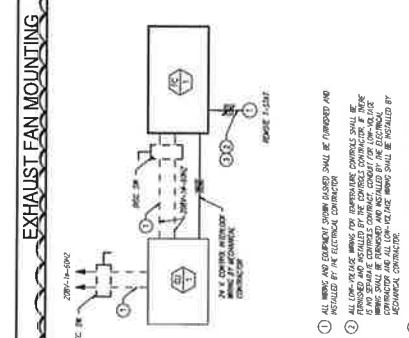
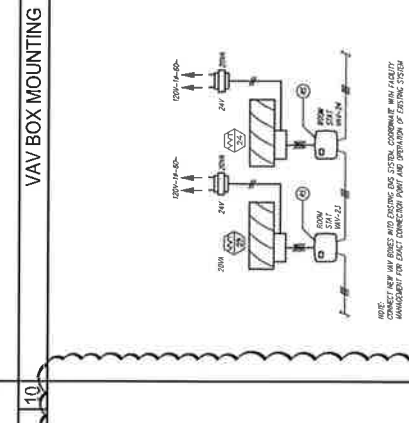
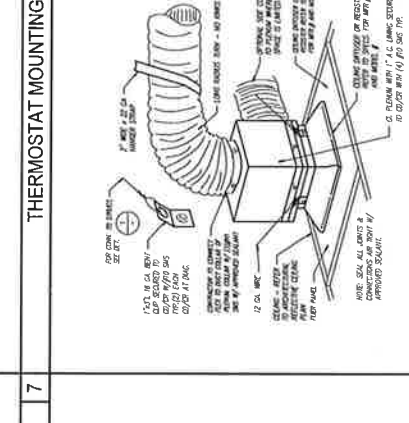
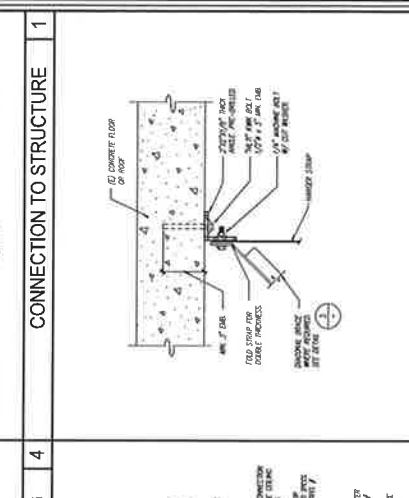
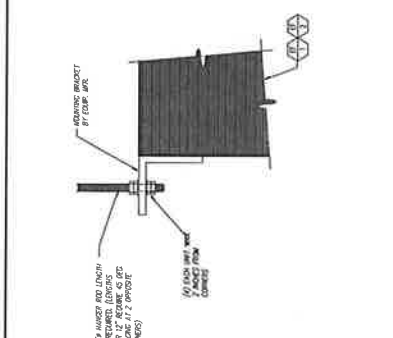
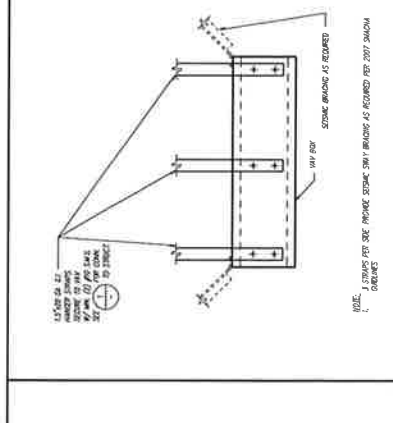
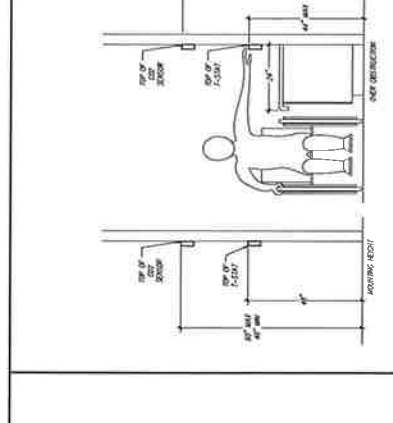
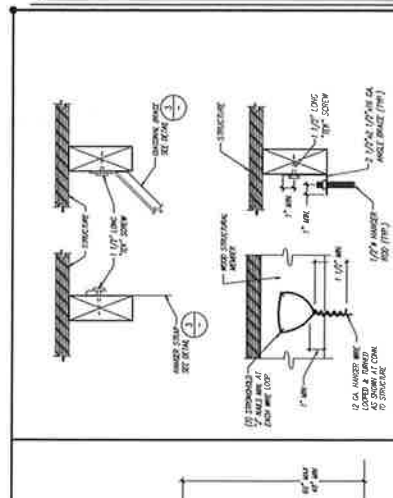
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M2.4

MECHANICAL SECOND FLOOR REMODEL PLAN

1/2" = 1'-0"

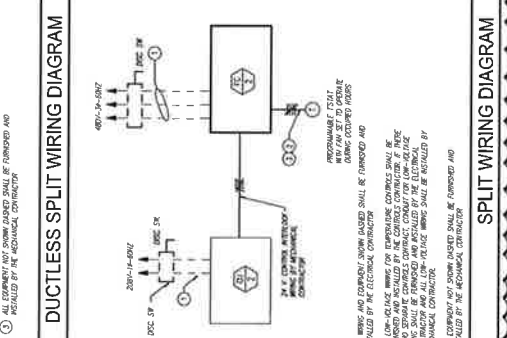
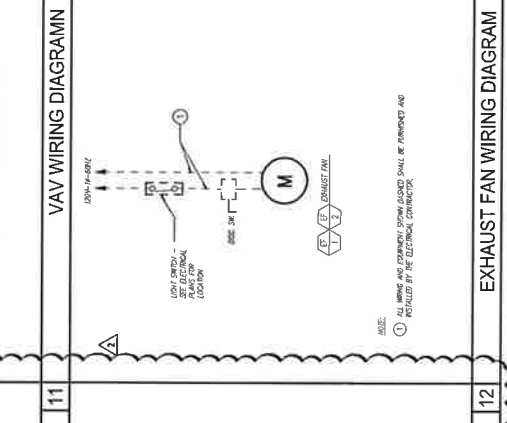
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AIR DISTRIBUTION 5

RECTANGULAR	DUCT	DUCT
DUCT SIZE	DUCT	DUCT
18\"/>		

DUCT GAUGE SCHEDULE 6



NOTES:
 1. ALL WIRING AND EQUIPMENT SHALL BE INSTALLED BY THE ELECTRICAL CONTRACTOR.
 2. ALL LOW-VOLTAGE WIRING FOR REMEDIATION PURPOSES SHALL BE INSTALLED BY THE REMEDIATION CONTRACTOR.
 3. ALL EXHAUST FAN WIRING SHALL BE INSTALLED BY THE ELECTRICAL CONTRACTOR.
 4. ALL EXHAUST FAN WIRING SHALL BE INSTALLED BY THE ELECTRICAL CONTRACTOR.
 5. ALL EXHAUST FAN WIRING SHALL BE INSTALLED BY THE ELECTRICAL CONTRACTOR.



U.S. PROBATION OFFICE REMODEL

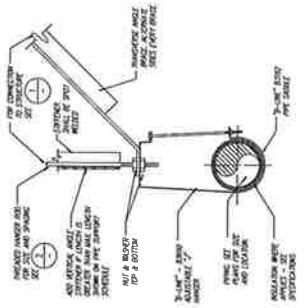
3420 128th St. Rylands, CA 92501

REVISIONS	DATE	BY	DESCRIPTION
1	06/20/2018	DW	ISSUE FOR PERMITS
2	08/15/2018	DW	REVISED PER PERMIT COMMENTS
3	10/01/2018	DW	REVISED PER PERMIT COMMENTS
4	11/15/2018	DW	REVISED PER PERMIT COMMENTS
5	12/20/2018	DW	REVISED PER PERMIT COMMENTS
6	01/10/2019	DW	REVISED PER PERMIT COMMENTS
7	02/15/2019	DW	REVISED PER PERMIT COMMENTS
8	03/20/2019	DW	REVISED PER PERMIT COMMENTS
9	04/10/2019	DW	REVISED PER PERMIT COMMENTS
10	05/01/2019	DW	REVISED PER PERMIT COMMENTS

MECHANICAL DETAILS

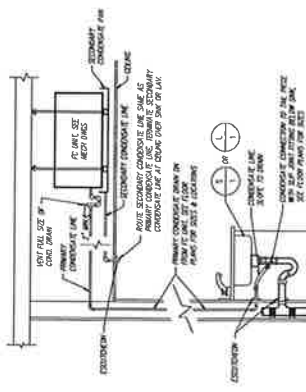


NO.	DESCRIPTION	DATE
1	PIPE SUPPORT	1
2	PIPE SUPPORT ON WALL	2
3	PIPE THRU RATED WALL	3
4	PIPE SUPPORT	4
5	CONDENSATE CONNECTION	5
6	CONDENSATE DRAIN CONNECTION	6
7	CONDENSATE DRAIN CONNECTION	7
8	DUCTLESS SPLIT CONDENSATE PUMP	8
9		9
10		10
11		11
12		12



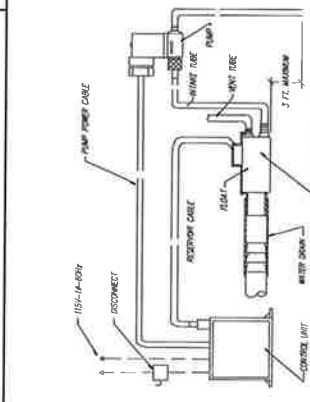
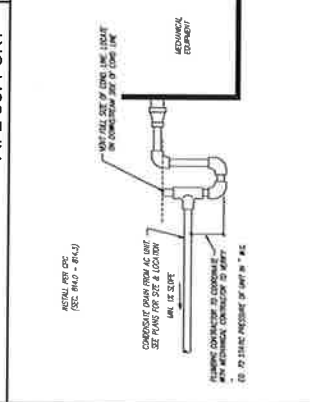
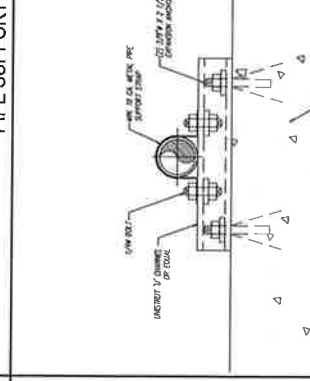
- 1. DETAIL APPLIES TO PIPES 2" TO 6" IN DIA.
- 2. DETAIL TO PIPE SUPPORT SPECIFIC FOR NATIONAL INSTITUTION

PIPE SIZE	1/2"	3/4"	1"	1 1/2"	2"	3"	4"	6"	8"	10"
HEIGHT ABOVE FINISH FLOOR	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"
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HEIGHT ABOVE FINISH FLOOR	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"

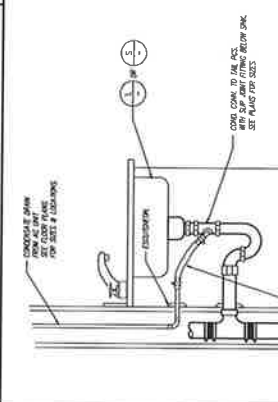
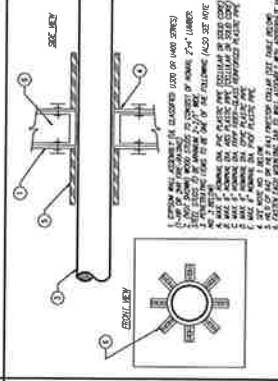


- 1. CONDENSATE DRAIN LINE TO BE CONNECTED TO RISER AT THIS POINT
- 2. RISER SHALL BE WATER TIGHT TO PIPE & FITTING FROM RISER AT HIGHEST SUPPORT CONNECTED TO CONDENSATE
- 3. ALSO SEE CONDENSATE DRAIN SPEC.

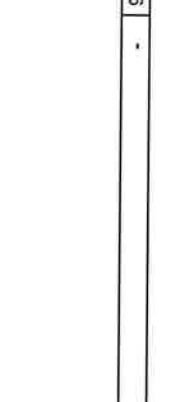
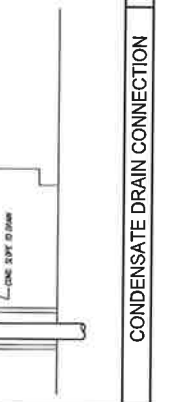
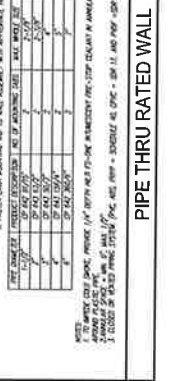
NO.	DESCRIPTION	DATE
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NO.	DESCRIPTION	DATE
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10		10
11		11
12		12

3420 123th St, Richmond, CA 94801

U.S. PROBATION OFFICE REMODEL

NO.	DATE	DESCRIPTION
1	11/10/11	ISSUED FOR PERMITS
2	05/14/12	ISSUED FOR PERMITS
3	05/14/12	ISSUED FOR PERMITS
4	05/14/12	ISSUED FOR PERMITS
5	05/14/12	ISSUED FOR PERMITS
6	05/14/12	ISSUED FOR PERMITS
7	05/14/12	ISSUED FOR PERMITS
8	05/14/12	ISSUED FOR PERMITS
9	05/14/12	ISSUED FOR PERMITS
10	05/14/12	ISSUED FOR PERMITS
11	05/14/12	ISSUED FOR PERMITS
12	05/14/12	ISSUED FOR PERMITS
13	05/14/12	ISSUED FOR PERMITS
14	05/14/12	ISSUED FOR PERMITS
15	05/14/12	ISSUED FOR PERMITS
16	05/14/12	ISSUED FOR PERMITS
17	05/14/12	ISSUED FOR PERMITS
18	05/14/12	ISSUED FOR PERMITS
19	05/14/12	ISSUED FOR PERMITS
20	05/14/12	ISSUED FOR PERMITS

DATE PLOTTED: 05/14/12
DRAWN BY: J. B. BIRD
CHECKED BY: J. B. BIRD
SCALE: 1/8" = 1'-0"

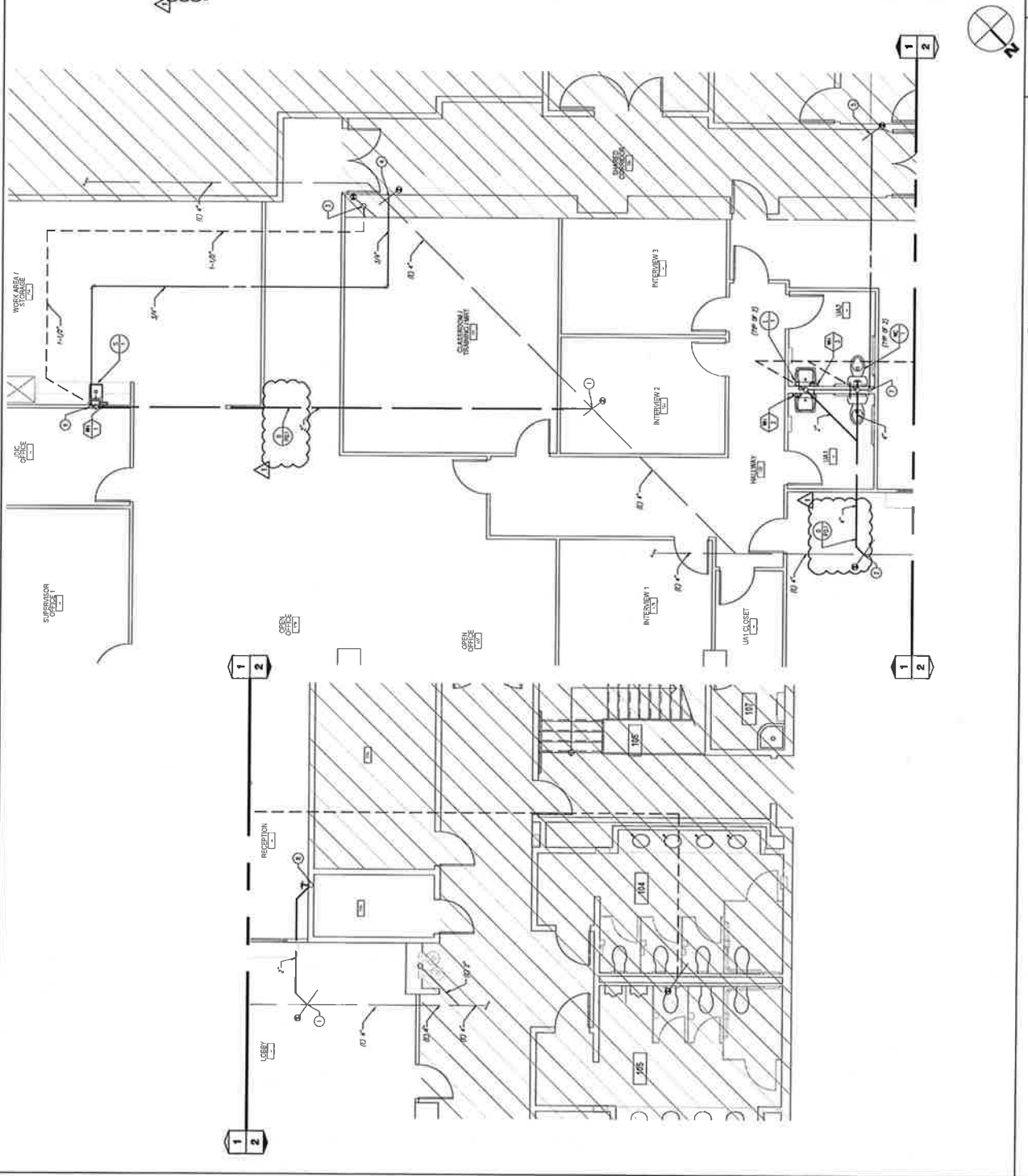
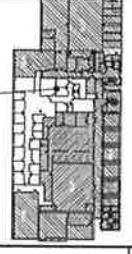
P1.1

05-39

- ### GENERAL NOTES
1. REFER TO THESE SYMBOLS & DIMENSIONS FOR LOCATIONS OF FIXTURES.
 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL PLUMBING SYMBOLS AND DIMENSIONS.
 3. ALL WORK SHALL HAVE A MIN. OF 1/2" CLEARANCE FROM ANY EXISTING OR NEW STRUCTURE UNLESS OTHERWISE NOTED.
 4. LOCATIONS OF EXISTING FIXTURES TO BE REMOVED OR RELOCATED SHALL BE INDICATED BY DASHED LINES.
 5. NEW WORK SHALL BE INDICATED BY SOLID LINES.
 6. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL PLUMBING SYMBOLS AND DIMENSIONS.
 7. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL PLUMBING SYMBOLS AND DIMENSIONS.
 8. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL PLUMBING SYMBOLS AND DIMENSIONS.
 9. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL PLUMBING SYMBOLS AND DIMENSIONS.
 10. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL PLUMBING SYMBOLS AND DIMENSIONS.

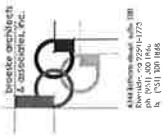
- ### CONSTRUCTION NOTES
1. TO EXISTING WASTE LINE, RED. VERIFY FOR SLOPE, SIZE & LOCATION.
 2. TO EXISTING WASTE LINE, RED. VERIFY FOR SLOPE, SIZE & LOCATION.
 3. TO EXISTING WASTE LINE, RED. VERIFY FOR SLOPE, SIZE & LOCATION.
 4. TO EXISTING WASTE LINE, RED. VERIFY FOR SLOPE, SIZE & LOCATION.
 5. TO EXISTING WASTE LINE, RED. VERIFY FOR SLOPE, SIZE & LOCATION.
 6. TO EXISTING WASTE LINE, RED. VERIFY FOR SLOPE, SIZE & LOCATION.
 7. TO EXISTING WASTE LINE, RED. VERIFY FOR SLOPE, SIZE & LOCATION.
 8. TO EXISTING WASTE LINE, RED. VERIFY FOR SLOPE, SIZE & LOCATION.
 9. TO EXISTING WASTE LINE, RED. VERIFY FOR SLOPE, SIZE & LOCATION.
 10. TO EXISTING WASTE LINE, RED. VERIFY FOR SLOPE, SIZE & LOCATION.

KEY PLAN



PLUMBING FIRST FLOOR PLAN SCALE: 1/8" = 1'-0" 1

05/14/12 11:55 AM PROBATION 9787115 P1.1.DWG - JPB - 05-11-12 09:56 LKX3
 3420 123th St, Richmond, CA 94801



DIVERSIFIED CONTRACTORS & ENGINEERS, INC.
 4444 International Blvd., Suite 100
 San Diego, CA 92121-1172
 Tel: (619) 594-1172
 Fax: (619) 594-1173



DESIGN WEST ENGINEERING
 TECHNICAL REGISTRATION CONSULTANTS
 2716 Rockwood Lane, Suite 100
 San Diego, CA 92117-1172
 Tel: (619) 594-1172
 Fax: (619) 594-1173



3420 17th St, Richmond, CA 94801

U.S. PROBATION OFFICE REMODEL

NO.	REVISION	DATE
1	ISSUED FOR PERMITS	10/26/10
2	ISSUED FOR PERMITS	10/26/10
3	ISSUED FOR PERMITS	10/26/10
4	ISSUED FOR PERMITS	10/26/10
5	ISSUED FOR PERMITS	10/26/10
6	ISSUED FOR PERMITS	10/26/10
7	ISSUED FOR PERMITS	10/26/10
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45	ISSUED FOR PERMITS	10/26/10
46	ISSUED FOR PERMITS	10/26/10
47	ISSUED FOR PERMITS	10/26/10
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49	ISSUED FOR PERMITS	10/26/10
50	ISSUED FOR PERMITS	10/26/10

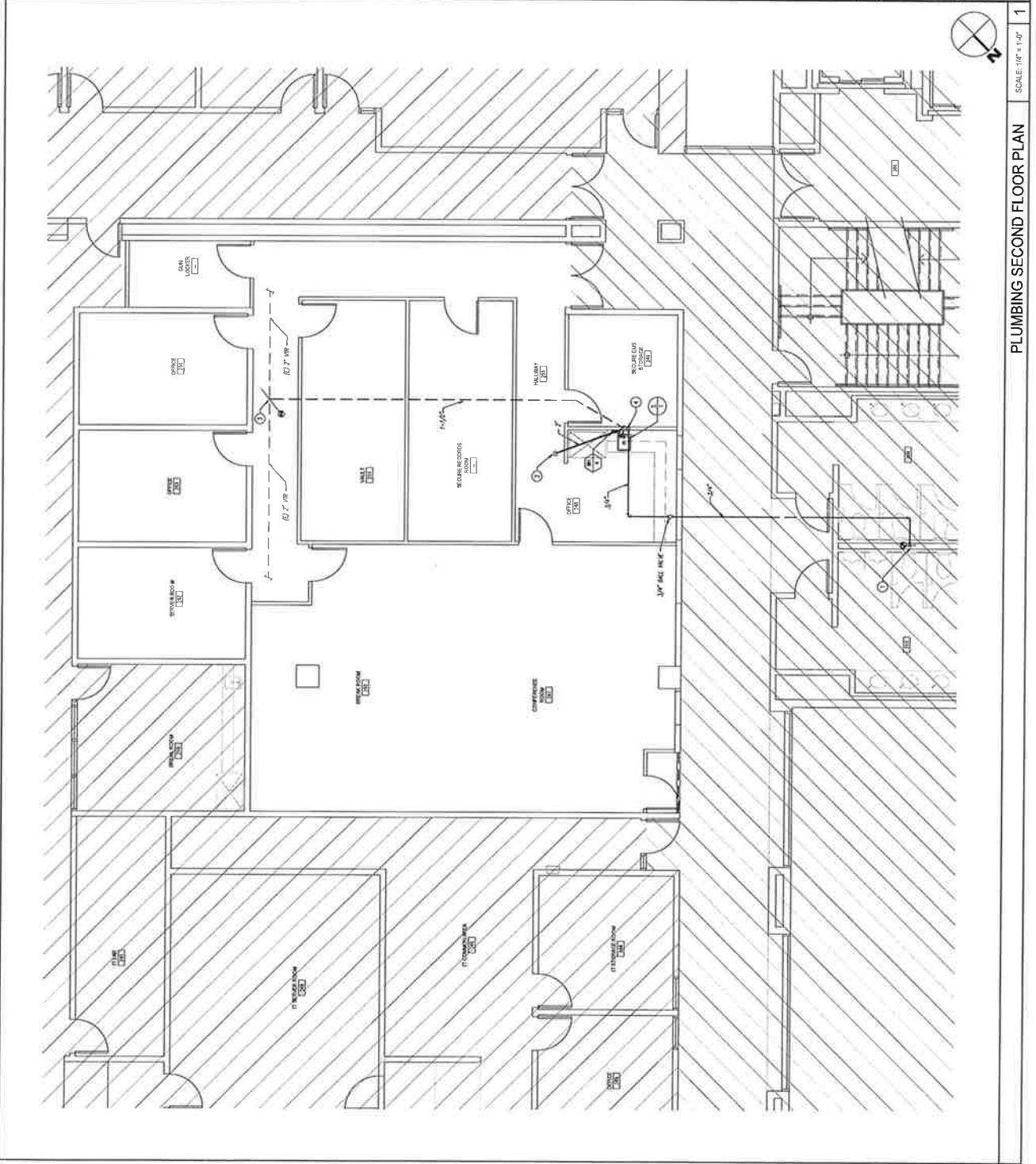
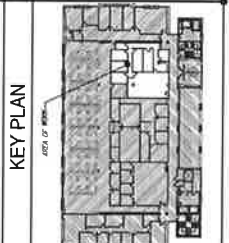
PLUMBING SECOND FLOOR PLAN
 P1.2
 10/26/10

GENERAL NOTES

1. THE WORK SHALL BE IN ACCORDANCE WITH THE CITY OF SAN DIEGO PERMITS DEPARTMENT REQUIREMENTS.
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF SAN DIEGO PERMITS DEPARTMENT REQUIREMENTS.
3. THE LOCATION OF EXISTING WORK IS SHOWN BY DASHED LINES. THE LOCATION OF NEW WORK IS SHOWN BY SOLID LINES.
4. THE LOCATION OF EXISTING WORK IS SHOWN BY DASHED LINES. THE LOCATION OF NEW WORK IS SHOWN BY SOLID LINES.
5. THE LOCATION OF EXISTING WORK IS SHOWN BY DASHED LINES. THE LOCATION OF NEW WORK IS SHOWN BY SOLID LINES.
6. THE LOCATION OF EXISTING WORK IS SHOWN BY DASHED LINES. THE LOCATION OF NEW WORK IS SHOWN BY SOLID LINES.

CONSTRUCTION NOTES

1. 1/2" DIA. CPVC TO EXISTING CPVC LINE, FIELD VERIFY FOR EXIST. SIZE & LOCATION.
2. 1/2" DIA. CPVC TO EXISTING CPVC LINE, FIELD VERIFY FOR EXIST. SIZE & LOCATION.
3. 1/2" DIA. CPVC TO EXISTING CPVC LINE, FIELD VERIFY FOR EXIST. SIZE & LOCATION.
4. 1/2" DIA. CPVC TO EXISTING CPVC LINE, FIELD VERIFY FOR EXIST. SIZE & LOCATION.



PLUMBING SECOND FLOOR PLAN SCALE: 1/4" = 1'-0" 1

Handwritten initials and signature.

EZIQC SPECIFICATIONS AND CONTRACT DOCUMENTS

FOR

EZIQC-ACI-FM08000008649.00

UNITED STATES BANKRUPTCY COURT RENOVATION PROJECT



PREPARED BY
COUNTY OF RIVERSIDE
ECONOMIC DEVELOPMENT AGENCY

March 2019

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Construction Task Catalog & Technical Specifications (CD)	<u>ON FILE WITH EDA</u>

**MEMBERSHIP AGREEMENT
PARTICIPATING MEMBER**



This Agreement, made and entered into this 1 day of September, 2011,
by and between National Joint Powers Alliance®, hereinafter referred to as "NJPA" and
County of Riverside, CA hereinafter referred to as the "Applicant".

Witnesseth:

That for a good and valuable consideration of the premises, mutual terms, covenants, provisions, and conditions hereafter set forth, it is agreed by and between the parties as follows:

Whereas, the NJPA is created by Minnesota Statute §123A.21 (with membership further defined in M.S. §471.59) to serve cities, counties, towns, public or private schools, political subdivisions of Minnesota or another state, another state, any agency of the State of Minnesota or the United States including instrumentalities of a governmental unit and all non-profits; and

Whereas, NJPA's purpose as defined in M.S. §123A.21 is to assist in meeting specific needs of clients which could be better provided by NJPA than by the members themselves; and

Whereas, the NJPA Board of Directors has established the ability for an "Applicant" desiring to participate in NJPA contracts and procurement programs to become a Participating Member; and

Whereas, the NJPA Board of Directors has determined that Participating Members will have no financial or organizational liability to NJPA or to its organizational activities;

Now Therefore, it is hereby stipulated and agreed that the "Applicant" Agency desires to be a Participating Member of NJPA with contract purchasing benefits, in accordance with terms and conditions of the applicable contract(s), and that NJPA hereby grants said Membership to said "Applicant."

Term:

This continuing agreement shall remain in force or until either party elects to dissolve the Agreement by written notice.

THEREFORE, IN WITNESS THEREOF,

the parties hereto have executed this Agreement the day and year written above.

National Joint Powers Alliance®
200 1st Street NE, Suite 1
Staples, MN 56479

Member Name:

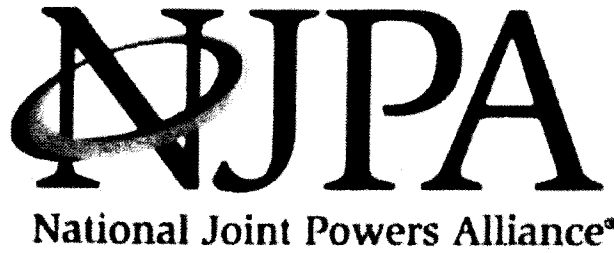
By Bob Buster
AUTHORIZED SIGNATURE
BOB BUSTER
CHAIRMAN, BOARD OF SUPERVISORS
TITLE
OCT 18 2011
DATE

[Signature]
AUTHORIZED SIGNATURE
EXECUTIVE DIRECTOR
TITLE
9/1/11
DATE

FORM APPROVED COUNTY COUNSEL
BY: [Signature]
NEAL R. KIPNIS
DATE 9/22/11

09/21/2010

NECIA HARPER-HEM, Clerk
By [Signature]
DEPUTY



INDEFINITE QUANTITY CONSTRUCTION AGREEMENT

IFB NUMBER: CA08SLBD-030618

GEOGRAPHIC AREA State of California - Southland

This Agreement dated April 04, 2018, by and between the National Joint Powers Alliance, hereinafter referred to as NJPA and Angeles Contractor, Inc. at the following address 783 Phillips Drive, City of Industry, CA 91748

hereinafter referred to as the CONTRACTOR.

WITNESSETH: NJPA and CONTRACTOR for the consideration hereafter agree as follows:

ARTICLE 1. CONTRACT DOCUMENTS

- A. Contract Documents: This Agreement; the IFB Documents; (Book 1 - Project Information, Instructions to Bidders and Execution Documents; Book 2 - IQCC Standard Terms and Conditions and General Conditions; Book 3 - Construction Task Catalog (CTC), Book 4 - Technical Specifications) and Addenda thereto, all payment and performance bonds (if any), material and workmanship bonds (if any); wage rate decisions and certified payroll records (if any); Notice of Award; all modifications issued thereto, including Supplemental Purchase Orders/Change Orders and written interpretations and all Purchase Orders and accompanying documents (Requests for Proposals, Detailed Scopes of Work, Purchase Order Proposals, etc.) issued hereunder.
- B. The terms and conditions of a Purchase Order issued by an NJPA Member in connection with any Project, including supplemental technical specifications referenced therein, shall govern.
- C. The Contractor shall, within two (2) business days of receipt of a Purchase Order from an NJPA Member, provide notification to NJPA or their designated representative of each Purchase Order by forwarding a copy of the Purchase Order via email to PO@EZIQCC.com or via facsimile to (864) 233-9100.
- D. The Contractor shall, within two (2) business days of sending an Invoice to an NJPA Member, provide notification to NJPA or their designated representative of each Invoice by forwarding a copy of the Invoice via email to Invoice@EZIQCC.com or via facsimile to (864) 233-9100.

ARTICLE 2. SCOPE OF WORK

- A. The Contractor shall provide the services required to develop each Purchase Order in accordance with the procedures for developing Purchase Orders set forth in the IQCC Standard Terms and Conditions and the Contract Documents.
- B. Each Purchase Order developed in accordance with this Agreement will be issued by an individual NJPA Member. The Purchase Order will require the Contractor to perform the Detailed Scope of Work within the Purchase Order Completion Time for the Purchase Order Price.
- C. It is anticipated that the Contractor will perform Work primarily in the Geographic Area set forth above. However, the parties may agree that the Contractor can perform Work in a different Geographic Area at its current Adjustment Factors.

ARTICLE 3. THE AGREEMENT PRICE

- A. This Agreement is an indefinite-quantity contract for construction work and services. The Estimated Annual Value of this Agreement is \$ 4,700,000. This is only an estimate and may increase or decrease at the discretion of NJPA.
- B. The Contractor shall perform any or all Tasks in the Construction Task Catalog for the Unit Price appearing therein multiplied by the following Adjustment Factors:

TO BE ENTERED BY NJPA:

- a. Normal Working Hours Prevailing Wage: Work performed from 7:00am until 4:00pm Monday to Friday, except holidays. Contractor shall perform Tasks during Normal Working Hours for the Unit Price set forth in the CTC multiplied by the Adjustment Factor of:

1.0000

(Specify to four (4) decimal places)

- b. Other Than Normal Working Hours Prevailing Wage: Work performed from 4:00pm to 7:00am Monday to Friday, and any time Saturday, Sunday and Holidays. Contractor shall perform Tasks during Other Than Normal Working Hours for the Unit Price set forth in the CTC multiplied by the Adjustment Factor of:

1.0108

(Specify to four (4) decimal places)

- c. Normal Working Hours Non Prevailing Wage: Work performed from 7:00am until 4:00pm Monday to Friday, except holidays. Contractor shall perform Tasks during Normal Working Hours for the Unit Price set forth in the CTC multiplied by the Adjustment Factor of:

0.9730

(Specify to four (4) decimal places)

- d. Other Than Normal Working Hours Non Prevailing Wage: Work performed from 4:00pm to 7:00am Monday to Friday, and any time Saturday, Sunday and Holidays. Contractor shall perform Tasks during Other Than Normal Working Hours for the Unit Price set forth in the CTC multiplied by the Adjustment Factor of:

0.9838

(Specify to four (4) decimal places)

- e. **Non Pre-priced Adjustment Factor:** To be applied to Work deemed not to be included in the CTC but within the general scope of the work:

1. 2865
(Specify to four (4) decimal places)

ARTICLE 4. TERM OF THE AGREEMENT

- A. This Agreement has an initial term of one (1) year and a bilateral option provision for three (3) additional terms. The total term of the Agreement cannot exceed four (4) years. One additional one-year renewal-extension may be offered by NJPA to Contractor beyond the original three-year term if NJPA deems such action to be in the best interests of NJPA and its Members. The Contractor may withdraw from the Agreement on each anniversary of the award, provided that the Contractor gives 60 Days written notice of its intent to withdraw. NJPA may, for any reason, terminate this Agreement at any time.
- B. All Purchase Orders issued during a term of this Agreement shall be valid and in effect notwithstanding that the Detailed Scope of Work may be performed, payments may be made, and the guarantee period may continue, after such term has expired. All terms and conditions of the Agreement apply to each Purchase Order.

ARTICLE 5. SOFTWARE LICENSING

- A. NJPA selected The Gordian Group's (Gordian) software, data and services (IQCC System) for their IQCC program. The system includes Gordian's proprietary eziQC, eGordian and Bid Safe IQCC applications (IQCC Applications) and construction cost data (Construction Task Catalog), which shall be used by the Contractor to prepare and submit Price Proposals, subcontractor lists, and other requirements specified by NJPA and NJPA Members. The Contractor's use, in whole or in part, of Gordian's IQCC Applications and Construction Task Catalog and other proprietary materials provided by Gordian for any purpose other than to execute work under this Agreement for NJPA and NJPA Members is strictly prohibited unless otherwise stated in writing by Gordian. The Contractor hereby agrees to abide by the terms of the following IQCC System License:

ARTICLE 6. IQCC SYSTEM LICENSE

- A. Gordian hereby grants to the Contractor, and the Contractor hereby accepts from Gordian for the term of this Agreement or Gordian's contract with NJPA, whichever is shorter, a non-exclusive right, privilege, and license to Gordian's proprietary IQCC System and related proprietary materials (collectively referred to as "Proprietary Information") to be used for the sole purpose of executing Contractor's responsibilities to NJPA and NJPA Members under this Agreement ("Limited Purpose"). The Contractor hereby agrees that Proprietary Information shall include, but is not limited to, Gordian's IQCC Applications and support documentation, Construction Task Catalog, training materials, marketing materials and any other proprietary materials provided to Contractor by Gordian. In the event this Agreement expires or terminates as provided herein, or the Gordian's contract with NJPA expires or terminates, this IQCC System License shall terminate and the Contractor shall return all Proprietary Information in its possession to Gordian.
- B. Contractor acknowledges that Gordian shall retain exclusive ownership of all proprietary rights to the Proprietary Information, including all U.S. and international intellectual property and other rights such as patents, trademarks, copyrights and trade secrets.

Contractor shall have no right or interest in any portion of the Proprietary Information except the right to use the Proprietary Information for the Limited Purpose set forth herein. Except in furtherance of the Limited Purpose, Contractor shall not distribute, disclose, copy, reproduce, display, publish, transmit, assign, sublicense, transfer, provide access to, use or sell, directly or indirectly (including in electronic form), any portion of the Proprietary Information.

- C. Contractor acknowledges and agrees to respect the copyrights, trademarks, trade secrets, and other proprietary rights of Gordian in the Proprietary Information during and after the term of this Agreement, and shall at all times maintain complete confidentiality with regard to the Proprietary Information provided to Contractor, subject to federal, state and local laws related to public disclosure. Contractor further acknowledges that a breach of any of the terms of this Agreement by Contractor will result in irreparable harm to Gordian for which monetary damages would be an inadequate remedy, and Gordian shall be entitled to injunctive relief (without the necessity of posting a bond) as well as all other monetary remedies available at law or in equity. In the event that it becomes necessary for either party to this IQCC System License to enforce the provisions of this Agreement or to obtain redress for the breach or violation of any of its provisions, whether by litigation, arbitration or other proceedings, the prevailing party shall be entitled to recover from the other party all costs and expenses associated with such proceedings, including reasonable attorney's fees.
- D. In the event of a conflict in terms and conditions between this IQCC System License and any other terms and conditions of this Agreement or any Purchase Order, Order or similar purchasing document (Purchase Order) issued by NJPA or an NJPA Member, this IQCC System License shall take precedence.

IN WITNESS WHEREOF, the parties hereto have executed this Agreement the day and year first above written.

By:

National Joint Powers Alliance



Authorized Signature

Jeremy Schwartz-Director of Operations & Procurement/CPO

Print Name

Contractor



Authorized Signature

Young Kang

Print Name

Contract Number: CA-08-SL-B-D-030618-ACI (assigned by NJPA)

ANNUAL RENEWAL AND MODIFICATION OF AGREEMENT

made by and between

**Angeles Contractor Inc.
783 Phillips Drive
City of Industry, CA 91748**

and

**Sourcewell
202 12th Street NE
PO Box 219
Staples, MN 56479
Phone: (218) 894-1930 or (888) 894-1930**

Whereas: "Vendor" and "Sourcewell" have entered into 1) an "Acceptance of Bid and IFB CA-08-SL-B-D-030618-ACT" with an effective date of April 4, 2018, a maturity date of April 3, 2022, and which are subject to annual renewals at the option of both parties.

MODIFICATION: FIRST RENEWAL OPTION PERIOD

Pursuant to the agreement between the parties, the following are the Adjustment Factors for the next option period:

Base Year		
	Date	Index
1	March 2017	10277.62
2	April 2017	10678.15
3	May 2017	10692.17
4	June 2017	10707.81
5	July 2017	10789.26
6	August 2017	10841.56
7	September 2017	10822.82
8	October 2017	10817.11
9	November 2017	10870.06
10	December 2017	10873.56
11	January 2018	10878.01
12	February 2018	10889.17

**Base Average
10761.4416**

Option Year		
	Date	Index
1	March 2018	10958.79
2	April 2018	10971.91
3	May 2018	11012.77
4	June 2018	11067.00
5	July 2018	11116.07
6	August 2018	11124.49
7	September 2018	11169.87
8	October 2018	11169.68
9	November 2018	11183.93
10	December 2018	11185.44
11	January 2019	11205.73
12	February 2019	11217.90

**Option Average
11115.2983**


Price Adjustment: $\frac{\text{First Year Index Average}}{\text{Base Year Index Average}} = \frac{11115.2983}{10761.4416} = 1.0329$

	AWARD MULTIPLIER	x	PRICE ADJUSTMENT	=	OPTION MULTIPLIER
# CA-08-SL-B-D-030618-ACI					
Non Pre-Priced Adjustment Factor	1.2865		1.0000		1.2865
Normal Working Hours Prevailing Wage	1.0000		1.0329		1.0329
Normal Working Hours Non-Prevailing Wage	0.9730		1.0329		1.0050
Other Than Normal Working Hours Prevailing Wage	1.0108		1.0329		1.0441
Other Than Normal Working Hours Non-Prevailing Wage	0.9838		1.0329		1.0162

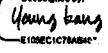
Now therefore:

"Vendor" and "Sourcewell" hereby desire and agree to extend and renew the above defined contracts and with the above identified modifications for the period of April 4, 2019 through April 3, 2020.

Sourcewell

By:  , Its: Director of Cooperative Contracts and Procurement/CPO
 Name printed or typed: Jeremy Schwartz
 Date: 2/26/2019 | 10:09 PM CST

Angeles Contractor Inc. - #CA-08-SL-B-D-030618-ACI

By:  , Its: President
 Name printed or typed: Young Kang
 Date: 2/26/2019 | 10:50 AM CST

 If you do not want to extend contract, please sign below and return this agreement.
Discontinue: We desire to discontinue the contract.

Signature: _____, Date: _____



Work Order Signature Document

EZIQC Contract No.: CA-08-SL-B-D-030618-ACI

New Work Order **Modify an Existing Work Order**

Work Order Number.: 062809.00 Work Order Date: 03/25/2019

Work Order Title: USBK Phase 3: U.S. Probation Offices Remodel - 1st and 2nd Floor

Owner Name: EDA County of Riverside Contractor Name: Angeles Contractor Inc.

Contact: Erik Sydow Contact: Javier Gil

Phone: 951-955-8274 Phone: 714-443-3655

Work to be Performed

Work to be performed as per the Final Detailed Scope of Work Attached and as per the terms and conditions of Sourcewell EZIQC Contract No CA-08-SL-B-D-030618-ACI.

Brief Work Order Description:
USBK Phase 3 - 1st and 2nd Floor - Tenant Improvement

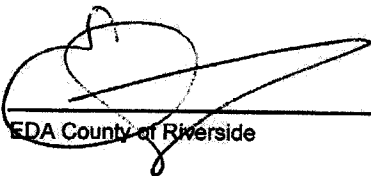
Time of Performance Estimated Start Date: 05/01/2019
Estimated Completion Date: 12/31/2019

Liquidated Damages Will apply: Will not apply:

Work Order Firm Fixed Price: \$1,678,004.70

Owner Purchase Order Number: ezIQC-ACI-FM08000008649.00

Approvals

 _____
EDA County of Riverside Date

5/9/19

 _____
Contractor Date

4/30/19



Detailed Scope of Work

To: Javier Gil
Angeles Contractor Inc.
783 Phillips Drive
City of Industry, CA 91748
714-443-3655

From: Erik Sydow
EDA County of Riverside
3403 10th Street, Suite 400
Riverside, CA 92501
951-955-8274

Date Printed: March 25, 2019

Work Order Number: 062609.00

Work Order Title: USBK Phase 3: U.S. Probation Offices Remodel - 1st and 2nd Floor

Brief Scope: USBK Phase 3 - 1st and 2nd Floor - Tenant Improvement

Preliminary

Revised

Final

The following items detail the scope of work as discussed at the site. All requirements necessary to accomplish the items set forth below shall be considered part of this scope of work.

USBK Phase 3 - 1st and 2nd Floor - Tenant Improvement per plans and specifications dated 8-18-2018 "OWNER REVISIONS," Delta 4, issued by Broeske Architects & Associates, Inc. and transmitted to contractor electronically on 11/7/2018 by Owner PM, Erik Sydow.

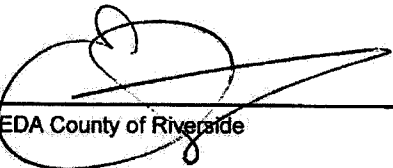
Subject to the terms and conditions of JOC Contract CA-08-SL-B-D-030618-ACI.



Contractor

4/30/19

Date



EDA County of Riverside

5/9/19

Date

Contractor's Price Proposal - Summary

Date: March 25, 2019

Re: IQC Master Contract #: CA-08-SL-B-D-030618-ACI
Work Order #: 062609.00
Owner PO #: eziQC-ACI-FM08000008649.00
Title: USBK Phase 3: U.S. Probation Offices Remodel - 1st and 2nd Floor
Contractor: Angeles Contractor Inc.
Proposal Value: \$1,678,004.70

Bond Fees	\$13,690.60
First Floor	\$1,192,164.11
Second Floor	\$472,149.99
Proposal Total	\$1,678,004.70

This total represents the correct total for the proposal. Any discrepancy between line totals, sub-totals and the proposal total is due to rounding.

The Percentage of NPP on this Proposal: 6.14%

Contractor's Price Proposal - Detail

Date: March 25, 2019

Re: IQC Master Contract #: CA-08-SL-B-D-030618-ACI
 Work Order #: 062609.00
 Owner PO #: eziQC-ACI-FM08000008649.00
 Title: USBK Phase 3: U.S. Probation Offices Remodel - 1st and 2nd Floor
 Contractor: Angeles Contractor Inc.
 Proposal Value: \$1,678,004.70

Sect.	Item	Mod.	UOM	Description	Line Total			
Labor	Equip.	Material	(Excludes)					
Bond Fees								
1	01	22	16	00 0002	EA	Reimbursable Fees Reimbursable Fees will be paid to the contractor for eligible costs. The base cost of the Reimbursable Fee is \$1.00. Insert the appropriate quantity to adjust the base cost to the actual Reimbursable Fee (e.g. quantity of 125 = \$125.00 Reimbursable Fee). If there are multiple Reimbursable Fees, list each one separately and add a comment in the "note" block to identify the Reimbursable Fee (e.g. sidewalk closure, road cut, various permits, extended warrantee, expedited shipping costs, etc.). A copy of each receipt shall be submitted with the Price Proposal.	\$13,690.60	
				Installation	Quantity	Unit Price	Factor	Total
					12,446.00	x 1.00	x 1.1000	= 13,690.60
				Bond fees [1st \$100K=1%, next \$400K=0.80%, next \$2M=0.70%, next \$2.5M=0.60%				
Subtotal for Bond Fees						\$13,690.60		
First Floor								
2	01	22	16	00 0002	EA	Reimbursable Fees Reimbursable Fees will be paid to the contractor for eligible costs. The base cost of the Reimbursable Fee is \$1.00. Insert the appropriate quantity to adjust the base cost to the actual Reimbursable Fee (e.g. quantity of 125 = \$125.00 Reimbursable Fee). If there are multiple Reimbursable Fees, list each one separately and add a comment in the "note" block to identify the Reimbursable Fee (e.g. sidewalk closure, road cut, various permits, extended warrantee, expedited shipping costs, etc.). A copy of each receipt shall be submitted with the Price Proposal.	\$36,190.00	
				Installation	Quantity	Unit Price	Factor	Total
					32,900.00	x 1.00	x 1.1000	= 36,190.00
3	01	22	16	00 0002	EA	Reimbursable Fees Reimbursable Fees will be paid to the contractor for eligible costs. The base cost of the Reimbursable Fee is \$1.00. Insert the appropriate quantity to adjust the base cost to the actual Reimbursable Fee (e.g. quantity of 125 = \$125.00 Reimbursable Fee). If there are multiple Reimbursable Fees, list each one separately and add a comment in the "note" block to identify the Reimbursable Fee (e.g. sidewalk closure, road cut, various permits, extended warrantee, expedited shipping costs, etc.). A copy of each receipt shall be submitted with the Price Proposal.	\$22,660.00	
				Installation	Quantity	Unit Price	Factor	Total
					20,600.00	x 1.00	x 1.1000	= 22,660.00
4	01	22	16	00 0002	EA	Reimbursable Fees Reimbursable Fees will be paid to the contractor for eligible costs. The base cost of the Reimbursable Fee is \$1.00. Insert the appropriate quantity to adjust the base cost to the actual Reimbursable Fee (e.g. quantity of 125 = \$125.00 Reimbursable Fee). If there are multiple Reimbursable Fees, list each one separately and add a comment in the "note" block to identify the Reimbursable Fee (e.g. sidewalk closure, road cut, various permits, extended warrantee, expedited shipping costs, etc.). A copy of each receipt shall be submitted with the Price Proposal.	\$6,380.00	
				Installation	Quantity	Unit Price	Factor	Total
					5,800.00	x 1.00	x 1.1000	= 6,380.00

Contractor's Price Proposal - Detail Continues..

Work Order Number: 062609.00

Work Order Title: USBK Phase 3: U.S. Probation Offices Remodel - 1st and 2nd Floor

First Floor

5	01 22 16 00 0002	EA	Reimbursable Fees	Reimbursable Fees will be paid to the contractor for eligible costs. The base cost of the Reimbursable Fee is \$1.00. Insert the appropriate quantity to adjust the base cost to the actual Reimbursable Fee (e.g. quantity of 125 = \$125.00 Reimbursable Fee). If there are multiple Reimbursable Fees, list each one separately and add a comment in the "note" block to identify the Reimbursable Fee (e.g. sidewalk closure, road cut, various permits, extended warrantee, expedited shipping costs, etc.). A copy of each receipt shall be submitted with the Price Proposal.						\$5,390.00
		Installation	Quantity		Unit Price		Factor	=	Total	
			4,900.00	x	1.00	x	1.1000	=	5,390.00	
6	01 22 16 00 0002	EA	Reimbursable Fees	Reimbursable Fees will be paid to the contractor for eligible costs. The base cost of the Reimbursable Fee is \$1.00. Insert the appropriate quantity to adjust the base cost to the actual Reimbursable Fee (e.g. quantity of 125 = \$125.00 Reimbursable Fee). If there are multiple Reimbursable Fees, list each one separately and add a comment in the "note" block to identify the Reimbursable Fee (e.g. sidewalk closure, road cut, various permits, extended warrantee, expedited shipping costs, etc.). A copy of each receipt shall be submitted with the Price Proposal.						\$660.00
		Installation	Quantity		Unit Price		Factor	=	Total	
			600.00	x	1.00	x	1.1000	=	660.00	
7	01 22 16 00 0002	EA	Reimbursable Fees	Reimbursable Fees will be paid to the contractor for eligible costs. The base cost of the Reimbursable Fee is \$1.00. Insert the appropriate quantity to adjust the base cost to the actual Reimbursable Fee (e.g. quantity of 125 = \$125.00 Reimbursable Fee). If there are multiple Reimbursable Fees, list each one separately and add a comment in the "note" block to identify the Reimbursable Fee (e.g. sidewalk closure, road cut, various permits, extended warrantee, expedited shipping costs, etc.). A copy of each receipt shall be submitted with the Price Proposal.						\$4,620.00
		Installation	Quantity		Unit Price		Factor	=	Total	
			4,200.00	x	1.00	x	1.1000	=	4,620.00	
8	01 22 16 00 0002	EA	Reimbursable Fees	Reimbursable Fees will be paid to the contractor for eligible costs. The base cost of the Reimbursable Fee is \$1.00. Insert the appropriate quantity to adjust the base cost to the actual Reimbursable Fee (e.g. quantity of 125 = \$125.00 Reimbursable Fee). If there are multiple Reimbursable Fees, list each one separately and add a comment in the "note" block to identify the Reimbursable Fee (e.g. sidewalk closure, road cut, various permits, extended warrantee, expedited shipping costs, etc.). A copy of each receipt shall be submitted with the Price Proposal.						\$5,500.00
		Installation	Quantity		Unit Price		Factor	=	Total	
			5,000.00	x	1.00	x	1.1000	=	5,500.00	
9	01 22 16 00 0002	EA	Reimbursable Fees	Reimbursable Fees will be paid to the contractor for eligible costs. The base cost of the Reimbursable Fee is \$1.00. Insert the appropriate quantity to adjust the base cost to the actual Reimbursable Fee (e.g. quantity of 125 = \$125.00 Reimbursable Fee). If there are multiple Reimbursable Fees, list each one separately and add a comment in the "note" block to identify the Reimbursable Fee (e.g. sidewalk closure, road cut, various permits, extended warrantee, expedited shipping costs, etc.). A copy of each receipt shall be submitted with the Price Proposal.						\$30,140.00
		Installation	Quantity		Unit Price		Factor	=	Total	
			27,400.00	x	1.00	x	1.1000	=	30,140.00	

Contractor's Price Proposal - Detail Continues..

Work Order Number: 062609.00

Work Order Title: USBK Phase 3: U.S. Probation Offices Remodel - 1st and 2nd Floor

First Floor

10	01 22 16 00 0002	EA	Reimbursable Fees	Reimbursable Fees will be paid to the contractor for eligible costs. The base cost of the Reimbursable Fee is \$1.00. Insert the appropriate quantity to adjust the base cost to the actual Reimbursable Fee (e.g. quantity of 125 = \$125.00 Reimbursable Fee). If there are multiple Reimbursable Fees, list each one separately and add a comment in the "note" block to identify the Reimbursable Fee (e.g. sidewalk closure, road cut, various permits, extended warrantee, expedited shipping costs, etc.). A copy of each receipt shall be submitted with the Price Proposal.						\$28,710.00	
		Installation	Quantity	Unit Price	Factor	=	Total				
			26,100.00	1.00	1.1000	=	28,710.00	x			
11	01 22 16 00 0002	EA	Reimbursable Fees	Reimbursable Fees will be paid to the contractor for eligible costs. The base cost of the Reimbursable Fee is \$1.00. Insert the appropriate quantity to adjust the base cost to the actual Reimbursable Fee (e.g. quantity of 125 = \$125.00 Reimbursable Fee). If there are multiple Reimbursable Fees, list each one separately and add a comment in the "note" block to identify the Reimbursable Fee (e.g. sidewalk closure, road cut, various permits, extended warrantee, expedited shipping costs, etc.). A copy of each receipt shall be submitted with the Price Proposal.						\$17,600.00	
		Installation	Quantity	Unit Price	Factor	=	Total				
			16,000.00	1.00	1.1000	=	17,600.00	x			
			Unforeseen construction-First Floor								
12	01 22 16 00 0002	EA	Reimbursable Fees	Reimbursable Fees will be paid to the contractor for eligible costs. The base cost of the Reimbursable Fee is \$1.00. Insert the appropriate quantity to adjust the base cost to the actual Reimbursable Fee (e.g. quantity of 125 = \$125.00 Reimbursable Fee). If there are multiple Reimbursable Fees, list each one separately and add a comment in the "note" block to identify the Reimbursable Fee (e.g. sidewalk closure, road cut, various permits, extended warrantee, expedited shipping costs, etc.). A copy of each receipt shall be submitted with the Price Proposal.						\$10,120.00	
		Installation	Quantity	Unit Price	Factor	=	Total				
			9,200.00	1.00	1.1000	=	10,120.00	x			
13	01 22 16 00 0002	EA	Reimbursable Fees	Reimbursable Fees will be paid to the contractor for eligible costs. The base cost of the Reimbursable Fee is \$1.00. Insert the appropriate quantity to adjust the base cost to the actual Reimbursable Fee (e.g. quantity of 125 = \$125.00 Reimbursable Fee). If there are multiple Reimbursable Fees, list each one separately and add a comment in the "note" block to identify the Reimbursable Fee (e.g. sidewalk closure, road cut, various permits, extended warrantee, expedited shipping costs, etc.). A copy of each receipt shall be submitted with the Price Proposal.						\$43,780.00	
		Installation	Quantity	Unit Price	Factor	=	Total				
			39,800.00	1.00	1.1000	=	43,780.00	x			
14	01 22 16 00 0002	EA	Reimbursable Fees	Reimbursable Fees will be paid to the contractor for eligible costs. The base cost of the Reimbursable Fee is \$1.00. Insert the appropriate quantity to adjust the base cost to the actual Reimbursable Fee (e.g. quantity of 125 = \$125.00 Reimbursable Fee). If there are multiple Reimbursable Fees, list each one separately and add a comment in the "note" block to identify the Reimbursable Fee (e.g. sidewalk closure, road cut, various permits, extended warrantee, expedited shipping costs, etc.). A copy of each receipt shall be submitted with the Price Proposal.						\$9,130.00	
		Installation	Quantity	Unit Price	Factor	=	Total				
			8,300.00	1.00	1.1000	=	9,130.00	x			

Contractor's Price Proposal - Detail Continues..

Work Order Number: 062609.00

Work Order Title: USBK Phase 3: U.S. Probation Offices Remodel - 1st and 2nd Floor

First Floor

15	01 22 16 00 0002	EA	Reimbursable Fees	Reimbursable Fees will be paid to the contractor for eligible costs. The base cost of the Reimbursable Fee is \$1.00. Insert the appropriate quantity to adjust the base cost to the actual Reimbursable Fee (e.g. quantity of 125 = \$125.00 Reimbursable Fee). If there are multiple Reimbursable Fees, list each one separately and add a comment in the "note" block to identify the Reimbursable Fee (e.g. sidewalk closure, road cut, various permits, extended warrantee, expedited shipping costs, etc.). A copy of each receipt shall be submitted with the Price Proposal.						\$5,720.00
		Installation	Quantity	x	Unit Price	x	Factor	=	Total	
			5,200.00		1.00		1.1000		5,720.00	
16	01 22 16 00 0002	EA	Reimbursable Fees	Reimbursable Fees will be paid to the contractor for eligible costs. The base cost of the Reimbursable Fee is \$1.00. Insert the appropriate quantity to adjust the base cost to the actual Reimbursable Fee (e.g. quantity of 125 = \$125.00 Reimbursable Fee). If there are multiple Reimbursable Fees, list each one separately and add a comment in the "note" block to identify the Reimbursable Fee (e.g. sidewalk closure, road cut, various permits, extended warrantee, expedited shipping costs, etc.). A copy of each receipt shall be submitted with the Price Proposal.						\$14,036.00
		Installation	Quantity	x	Unit Price	x	Factor	=	Total	
			12,760.00		1.00		1.1000		14,036.00	
17	01 22 16 00 0002	EA	Reimbursable Fees	Reimbursable Fees will be paid to the contractor for eligible costs. The base cost of the Reimbursable Fee is \$1.00. Insert the appropriate quantity to adjust the base cost to the actual Reimbursable Fee (e.g. quantity of 125 = \$125.00 Reimbursable Fee). If there are multiple Reimbursable Fees, list each one separately and add a comment in the "note" block to identify the Reimbursable Fee (e.g. sidewalk closure, road cut, various permits, extended warrantee, expedited shipping costs, etc.). A copy of each receipt shall be submitted with the Price Proposal.						\$16,610.00
		Installation	Quantity	x	Unit Price	x	Factor	=	Total	
			15,100.00		1.00		1.1000		16,610.00	
18	01 22 16 00 0002	EA	Reimbursable Fees	Reimbursable Fees will be paid to the contractor for eligible costs. The base cost of the Reimbursable Fee is \$1.00. Insert the appropriate quantity to adjust the base cost to the actual Reimbursable Fee (e.g. quantity of 125 = \$125.00 Reimbursable Fee). If there are multiple Reimbursable Fees, list each one separately and add a comment in the "note" block to identify the Reimbursable Fee (e.g. sidewalk closure, road cut, various permits, extended warrantee, expedited shipping costs, etc.). A copy of each receipt shall be submitted with the Price Proposal.						\$17,270.00
		Installation	Quantity	x	Unit Price	x	Factor	=	Total	
			15,700.00		1.00		1.1000		17,270.00	
19	01 22 16 00 0002	EA	Reimbursable Fees	Reimbursable Fees will be paid to the contractor for eligible costs. The base cost of the Reimbursable Fee is \$1.00. Insert the appropriate quantity to adjust the base cost to the actual Reimbursable Fee (e.g. quantity of 125 = \$125.00 Reimbursable Fee). If there are multiple Reimbursable Fees, list each one separately and add a comment in the "note" block to identify the Reimbursable Fee (e.g. sidewalk closure, road cut, various permits, extended warrantee, expedited shipping costs, etc.). A copy of each receipt shall be submitted with the Price Proposal.						\$9,900.00
		Installation	Quantity	x	Unit Price	x	Factor	=	Total	
			9,000.00		1.00		1.1000		9,900.00	

Contractor's Price Proposal - Detail Continues..

Work Order Number: 062609.00

Work Order Title: USBK Phase 3: U.S. Probation Offices Remodel - 1st and 2nd Floor

First Floor

20	01 22 16 00 0002	EA	Reimbursable Fees	Reimbursable Fees will be paid to the contractor for eligible costs. The base cost of the Reimbursable Fee is \$1.00. Insert the appropriate quantity to adjust the base cost to the actual Reimbursable Fee (e.g. quantity of 125 = \$125.00 Reimbursable Fee). If there are multiple Reimbursable Fees, list each one separately and add a comment in the "note" block to identify the Reimbursable Fee (e.g. sidewalk closure, road cut, various permits, extended warranty, expedited shipping costs, etc.). A copy of each receipt shall be submitted with the Price Proposal.						\$2,640.00
		Installation	Quantity	Unit Price	Factor	Total				
			2,400.00	1.00	1.1000	2,640.00	x	=		
21	01 22 20 00 0039	HR	Laborer	For tasks not included in the Construction Task Catalog® and as directed by owner only.						\$1,759.52
		Installation	Quantity	Unit Price	Factor	Total				
			24.00	72.53	1.0108	1,759.52	x	=		
			24 hours fire watch during Fire Sprinkler Upgrades							
22	01 22 20 00 0039	HR	Laborer	For tasks not included in the Construction Task Catalog® and as directed by owner only.						\$1,759.52
		Installation	Quantity	Unit Price	Factor	Total				
			24.00	72.53	1.0108	1,759.52	x	=		
			24 hours fire watch during Fire Alarm Upgrades							
23	01 74 19 00 0016	EA	40 CY Dumpster (5 Ton)	"Construction Debris" Includes delivery of dumpster, rental cost, pick-up cost, hauling, and disposal fee. Non-hazardous material.						\$1,354.41
		Installation	Quantity	Unit Price	Factor	Total				
			2.00	669.97	1.0108	1,354.41	x	=		
			disposal and haul off demoed materials only at 1st floor							
24	01 74 19 00 0018	EA	40 CY Dumpster (5 Ton)	"Construction Debris" Includes delivery of dumpster, rental cost, pick-up cost, hauling, and disposal fee. Non-hazardous material.						\$4,063.23
		Installation	Quantity	Unit Price	Factor	Total				
			6.00	669.97	1.0108	4,063.23	x	=		
			dumpster for general construction debris at 1st floor for duration of project [6 mos. x 1 per month pick up/collection]							
25	02 41 13 13 0041	SF	>3" To 6" By Hand, Break-up And Remove Concrete Paving							\$673.19
		Installation	Quantity	Unit Price	Factor	Total				
			120.00	5.55	1.0108	673.19	x	=		
			cut exist. slab for plumbing waste line [80' x 1.5']							
26	02 41 19 13 0055	LF	Saw Cut Rod Reinforced Concrete Slab Up To 4" Depth							\$802.37
		Installation	Quantity	Unit Price	Factor	Total				
			162.00	4.90	1.0108	802.37	x	=		
			plumbing trench saw cut slab [4"-6" thick slab and need extra pass]							
27	02 41 19 13 0055 0030	MOD	For Each Additional Pass (Depth To 3"), Add							\$306.21
		Installation	Quantity	Unit Price	Factor	Total				
			162.00	1.87	1.0108	306.21	x	=		
			4" to 6" slab							
28	02 41 19 16 0053	SF	Demolish Wood Or Metal Framed Interior Partition/Wall With Drywall 2 Sides							\$10,774.16
		Installation	Quantity	Unit Price	Factor	Total				
			3,472.00	3.07	1.0108	10,774.16	x	=		
			demo partition walls 1st floor 248' x 14', ref. A2.2							
29	02 84 16 00 0002	EA	Removal Of TSCA-Exempt PCB And Non-PCB Ballast From A Demolished Fixture For Recycling							\$800.86
		Installation	Quantity	Unit Price	Factor	Total				
			114.00	6.95	1.0108	800.86	x	=		
			79 + 35 = 114, ref. E1.1 - Chain of custody documents will be provided							

Contractor's Price Proposal - Detail Continues..

Work Order Number: 062609.00

Work Order Title: USBK Phase 3: U.S. Probation Offices Remodel - 1st and 2nd Floor

First Floor

30	02 84 16 00 0006	EA	Recycle TSCA-Exempt PCB Ballast Removed From Up To 4' Length Fixtures						\$485.12	
			Installation	Quantity	Unit Price	Factor	=	Total		
				114.00	4.21	1.0108		485.12		
				x	x					
				79 + 35 = 114, ref. E1.1 - Chain of custody documents and disposal tickets for hazmat will be provided						
31	03 31 13 00 0051	CF	Hand Mix And Place Concrete For use where conventional equipment access is limited or when directed by the owner.						\$1,665.39	
			Installation	Quantity	Unit Price	Factor	=	Total		
				60.00	27.46	1.0108		1,665.39		
				x	x					
				plumbing trench slab repairs						
32	03 35 16 00 0005	SF	Final Float, Concrete Floor Finish						\$146.77	
			Installation	Quantity	Unit Price	Factor	=	Total		
				120.00	1.21	1.0108		146.77		
				x	x					
				plumbing trench slab repairs finish						
33	05 05 19 00 0166	EA	5/8" Chemical Adhesive For Bolt, Dowel Or Threaded Rod						\$3,117.79	
			Installation	Quantity	Unit Price	Factor	=	Total		
				162.00	19.04	1.0108		3,117.79		
				x	x					
				plumbing trench epoxy for dowels						
34	05 05 23 00 1568	EA	Up To 1/2" Diameter Drill Through Up To 1/4" Steel Plate						\$5,152.05	
			Installation	Quantity	Unit Price	Factor	=	Total		
				300.00	16.99	1.0108		5,152.05		
				x	x					
				drill 2-holes to each 2x2x1/8 angle ref. M3.1 detail #2 [150x2]						
35	05 12 23 00 0091	LB	Structural Shapes, Primed Pipe Supports (Up To 20 LB/LF)						\$1,004.33	
			Installation	Quantity	Unit Price	Factor	=	Total		
				360.00	2.76	1.0108		1,004.33		
				x	x					
				rolled channel attached to exist beam [18' total length x 20#], Detail 3/A7.1						
36	05 12 23 00 0091	LB	Structural Shapes, Primed Pipe Supports (Up To 20 LB/LF)						\$1,339.11	
			Installation	Quantity	Unit Price	Factor	=	Total		
				480.00	2.76	1.0108		1,339.11		
				x	x					
				mounting frame for new transformer ref. 4/E4.1 [24 ea x 1' per ea x 20#]						
37	05 12 23 00 0448	LF	2" x 2" x 1/8" Angle Iron						\$949.14	
			Installation	Quantity	Unit Price	Factor	=	Total		
				150.00	6.26	1.0108		949.14		
				x	x					
				2x2x1/8 angle ref. M3.1 detail #2						
38	05 12 23 00 0465	LF	3" x 2" x 1/4" Angle Iron						\$94.00	
			Installation	Quantity	Unit Price	Factor	=	Total		
				12.00	7.75	1.0108		94.00		
				x	x					
				reception counter support						
39	05 41 00 00 0009	SF	3-5/8" Width, 16" On Center, 16 Gauge, Load Bearing, Structural Metal Stud Framing With Tracks And Runners						\$4,770.17	
			Installation	Quantity	Unit Price	Factor	=	Total		
				1,360.00	3.47	1.0108		4,770.17		
				x	x					
				extend existing walls per A2.3 const. note# 8 [340' x 4' = 1360 SF]						
40	05 41 00 00 0009 0175	MOD	For Walls >10' High, Add						\$948.53	
			Installation	Quantity	Unit Price	Factor	=	Total		
				1,360.00	0.69	1.0108		948.53		
				x	x					
41	05 41 00 00 0010	SF	4" Width, 16" On Center, 16 Gauge, Load Bearing, Structural Metal Stud Framing With Tracks And Runners						\$4,661.41	
			Installation	Quantity	Unit Price	Factor	=	Total		
				1,260.00	3.66	1.0108		4,661.41		
				x	x					
				box frame per details on 11, 12, 14, 15, 18 & 19/A7.2						

Contractor's Price Proposal - Detail Continues..

Work Order Number: 062609.00

Work Order Title: USBK Phase 3: U.S. Probation Offices Remodel - 1st and 2nd Floor

First Floor

42	05 42 33 00 0007	LF	5-1/2" - 18 Gauge Steel Joists						\$8,626.57
			Installation	Quantity	Unit Price	Factor	=	Total	
				1,344.00	6.35	1.0108		8,626.57	
			door & window jamb and header [28 ea x 24" x 2]						
43	05 42 33 00 0007	LF	5-1/2" - 18 Gauge Steel Joists						\$256.74
			Installation	Quantity	Unit Price	Factor	=	Total	
				40.00	6.35	1.0108		256.74	
			cabinets wall backing [4 ea x 10']						
44	05 43 00 00 0018	EA	Flat Plate Fitting, One Hole, 1-5/8" Channel P1064						\$1,035.06
			Installation	Quantity	Unit Price	Factor	=	Total	
				100.00	10.24	1.0108		1,035.06	
			conduit supports						
45	05 43 00 00 0036	EA	3/8-16, Steel Lock Nut Without Spring For Unistrut Channel						\$620.63
			Installation	Quantity	Unit Price	Factor	=	Total	
				100.00	6.14	1.0108		620.63	
			conduit supports						
46	05 43 00 00 0050	EA	Up To 1/2" Rod, Beam Clamp Clevis Hanger (Unistrut P2677)						\$2,031.71
			Installation	Quantity	Unit Price	Factor	=	Total	
				100.00	20.10	1.0108		2,031.71	
			conduit supports-at beams every, every 8 ft (average), two supports at corners.						
47	05 58 16 00 0003	SF	Galvanized Steel Drip Pan						\$240.33
			Installation	Quantity	Unit Price	Factor	=	Total	
				4.00	59.44	1.0108		240.33	
			condensate pan for FC-1						
48	05 75 00 00 0041	SF	0.0785" (14 Gauge) Thick Galvanized Steel Sheet, Installed On Walls						\$1,612.23
			Installation	Quantity	Unit Price	Factor	=	Total	
				0.00	15.39	1.0108		0.00	
			Demolition	Quantity	Unit Price	Factor	=	Total	
				580.00	2.75	1.0108		1,612.23	
			demo vault wall metal plate [58 lf x 10' high]						
49	06 05 23 00 0026	EA	1-1/2" Wide x 5-1/4" Long, 18 Gauge Rafter Anchor						\$3,113.77
			Installation	Quantity	Unit Price	Factor	=	Total	
				505.00	6.10	1.0108		3,113.77	
			simpson STC clip ref. 4/A7.1, 1010' @ 24" spacing						
50	06 11 16 00 0156	LF	2" x 6" Wood Blocking To Wood						\$421.30
			Installation	Quantity	Unit Price	Factor	=	Total	
				80.00	5.21	1.0108		421.30	
			blocking, ledger, base						
51	06 16 33 00 0033	SF	5/8" Thick Plywood CDX Grade Subfloor						\$190.13
			Installation	Quantity	Unit Price	Factor	=	Total	
				90.00	2.09	1.0108		190.13	
			sub-top base						
52	06 41 13 00 0008	EA	>21" To 24" Width, 34-1/2" High x 24" Deep Base CabinetPrefinished with solid hardwood face frames, hardwood door frames and drawer fronts. Hardwood veneer on raised door panels. Excludes top.						\$392.50
			Installation	Quantity	Unit Price	Factor	=	Total	
				1.00	388.31	1.0108		392.50	
			1st floor reception counter base cabinet						

Contractor's Price Proposal - Detail Continues..

Work Order Number: 062609.00

Work Order Title: USBK Phase 3: U.S. Probation Offices Remodel - 1st and 2nd Floor

First Floor

53	06 41 13 00 0034	LF	24" To 30" Wide, 34-1/2" High x 24" Deep Built In Place 2-Drawer/2-Door CabinetPrefinished with solid hardwood face frames, hardwood door frames and drawer fronts. Hardwood veneer on raised door panels. Excludes top.						\$1,901.54
		Installation	Quantity	Unit Price	Factor	=	Total		
			8.50	221.32	x	1.0108	=	1,901.54	
			A4.1 1st fl. breakroom base cabinet						
54	06 41 13 00 0034 0061	MOD	For ADA Cabinet Units (includes All ADA Hardware), Add						\$239.20
		Installation	Quantity	Unit Price	Factor	=	Total		
			8.50	27.84	x	1.0108	=	239.20	
55	06 41 13 00 0034 0071	MOD	For Premium Grade, Add						\$597.90
		Installation	Quantity	Unit Price	Factor	=	Total		
			8.50	69.59	x	1.0108	=	597.90	
56	06 41 13 00 0034 0127	MOD	For 3 Drawer Unit, Add						\$119.60
		Installation	Quantity	Unit Price	Factor	=	Total		
			8.50	13.92	x	1.0108	=	119.60	
57	06 41 13 00 0085	LF	Up To 15" Wide, 36" High x 13" Deep Built In Place Single Door Wall CabinetPrefinished with solid hardwood face frames, hardwood door frames. Hardwood veneer on raised door panels.						\$1,936.66
		Installation	Quantity	Unit Price	Factor	=	Total		
			8.50	225.41	x	1.0108	=	1,936.66	
			1st Floor Break Room wall cabinet						
58	06 41 13 00 0096	EA	Wall Corner Cabinet With ShelvingPrefinished with solid hardwood face frames, hardwood door frames. Hardwood veneer on raised door panels.						\$324.69
		Installation	Quantity	Unit Price	Factor	=	Total		
			1.00	321.42	x	1.0108	=	324.69	
			1st floor reception counter corner cabinet						
59	06 83 16 00 0002	SF	Fiberglass Reinforced Polyester (FRP) Paneling Including Adhesive And Trim						\$926.46
		Installation	Quantity	Unit Price	Factor	=	Total		
			226.00	4.02	x	1.0108	=	926.46	
			1st Floor Restroom UA1 & UA2 FRP wall panel-A4.1 [114 SF x 2]						
60	07 21 16 00 0034	SF	6-1/4" Kraft Faced, R-19 Mineral Wool Flexible Insulation						\$14,861.19
		Installation	Quantity	Unit Price	Factor	=	Total		
			10,210.00	1.44	x	1.0108	=	14,861.19	
			wall insulation [A1= 410'x11' + A3=300'x14' = A4=10'x14'] + extended wall= 340'x4' = 10210 SF						
61	07 84 13 19 0004	EA	1-1/2" Diameter Hole With 3/4" Pipe, Sealed With Intumescent Firestop Sealant						\$2,088.31
		Installation	Quantity	Unit Price	Factor	=	Total		
			100.00	20.66	x	1.0108	=	2,088.31	
			wall penetrations firestopping/caulking						
62	07 84 13 19 0018	EA	3" Diameter Hole With 3/4" Pipe, Sealed With Intumescent Firestop Sealant						\$150.77
		Installation	Quantity	Unit Price	Factor	=	Total		
			4.00	37.29	x	1.0108	=	150.77	
			wall penetrations firestopping/caulking ref. 3/E4.1, 3/M3.2						
63	07 84 43 00 0009	CLF	1/2" x 1/2" Joint, Intumescent Firestop Sealant						\$3,002.68
		Installation	Quantity	Unit Price	Factor	=	Total		
			5.00	594.12	x	1.0108	=	3,002.68	
			full-height partition fire safing per A7.1 detail #1, Wall type A 300', wall A4 10', perimeter walls 190' = 500'						
64	07 81 26 00 0032	CLF	1/2" x 6" Silicon RTV Foam Seal						\$13,585.56
		Installation	Quantity	Unit Price	Factor	=	Total		
			5.00	2,688.08	x	1.0108	=	13,585.56	
			fire safing ref. details # 2 & 7/A7.1, Wall type A 300', wall A4 10', perimeter walls 190' = 500'						

Contractor's Price Proposal - Detail Continues..

Work Order Number: 062609.00

Work Order Title: USBK Phase 3: U.S. Probation Offices Remodel - 1st and 2nd Floor

First Floor

65	08 05 13 00 0011	EA	For >2 To 4 SF, Site Installed 20 Gauge Galvannealed Steel Frame With 3/8" Glazing Pocket For Vision Glass In Door, Add						\$203.09
			Installation	Quantity	Unit Price	Factor	=	Total	
				1.00	x	200.92	x	1.0108	= 203.09
			for door C vision glass frame A2.3 & A5.1						
66	08 05 13 00 0015	EA	For >10 SF, Site Installed 20 Gauge Galvannealed Steel Frame With 3/8" Glazing Pocket For Vision Glass In Door, Add						\$5,443.01
			Installation	Quantity	Unit Price	Factor	=	Total	
				15.00	x	358.99	x	1.0108	= 5,443.01
			for door D vision glass frame A2.3 & A5.1						
67	08 12 13 13 0123	EA	3' x >7'-2" Through 8' High, 6-7/8" Through 8-3/4" Deep, 16 Gauge, Knock Down Hollow Metal Door Frame						\$12,909.08
			Installation	Quantity	Unit Price	Factor	=	Total	
				28.00	x	435.16	x	1.0108	= 12,316.07
			Demolition	Quantity	Unit Price	Factor	=	Total	
				7.00	x	83.81	x	1.0108	= 593.01
			Door A, B & D frame at 1st Floor A2.3 & A5.1						
68	08 14 16 00 0580	EA	3'-0" x 8' x 1-3/4" Thick, 5 Ply, Particleboard Core (PC), Walnut Faced Wood Door						\$13,168.05
			Installation	Quantity	Unit Price	Factor	=	Total	
				28.00	x	452.69	x	1.0108	= 12,812.21
			Demolition	Quantity	Unit Price	Factor	=	Total	
				7.00	x	50.29	x	1.0108	= 355.83
			door A, B, C & D solid core wood door at 1st floor A2.3 & A5.1						
69	08 56 19 00 0004	EA	36" x 36", Bullet Resistant Pass Through Service Window, 1.25" Acrylic Glazing Level I, Steel Frame						\$2,819.49
			Installation	Quantity	Unit Price	Factor	=	Total	
				1.00	x	2,789.36	x	1.0108	= 2,819.49
			at reception counter transaction window A2.3 & A5.1						
70	08 71 23 00 0027	PR	4-1/2" x 4-1/2" Heavy Duty, Full Mortise, Plain Bearing, Brass/Bronze, Satin Chrome Finish Hinge						\$4,153.24
			Installation	Quantity	Unit Price	Factor	=	Total	
				42.00	x	97.83	x	1.0108	= 4,153.24
			door A[11 ea], B[2 ea], C & D [15 ea] hardware at 1st floor A2.3 & A5.1 [4 ea hinges per door], please refer to existing doors at job site with 4 ea hinges						
71	08 71 23 00 1453	EA	10" x 36", 0.050" Thick, Satin Stainless Finish, Stainless Kick Plate						\$216.43
			Installation	Quantity	Unit Price	Factor	=	Total	
				4.00	x	53.53	x	1.0108	= 216.43
			Door type B only						
72	08 71 23 00 2271	EA	Surface Mounted High Security Door Closer, Metal Cover (LCN 4510)						\$10,835.29
			Installation	Quantity	Unit Price	Factor	=	Total	
				28.00	x	382.84	x	1.0108	= 10,835.29
			door A, B & D hardware at 1st floor A2.3 & A5.1						
73	08 71 23 00 2299	EA	Entrance/Office F41 Pre-Assembled Lockset.Locked with key outside and push button inside.						\$19,147.71
			Installation	Quantity	Unit Price	Factor	=	Total	
				28.00	x	676.54	x	1.0108	= 19,147.71
			door A, B, C & D hardware at 1st floor A2.3 & A5.1						
74	08 71 43 00 0011	LF	6" Width, 1/4" Height, Aluminum Saddle Threshold (Pemko 272A)						\$203.84
			Installation	Quantity	Unit Price	Factor	=	Total	
				6.00	x	33.61	x	1.0108	= 203.84
			door A, B, C & D hardware at 1st floor A2.3 & A5.1						

Contractor's Price Proposal - Detail Continues..

Work Order Number: 062609.00

Work Order Title: USBK Phase 3: U.S. Probation Offices Remodel - 1st and 2nd Floor

First Floor

75	08 81 23 23 0020	SF	3/4" Thick, Tempered, Clear Float Field Installed Glass						\$8,609.86
			Installation	Quantity	Unit Price	Factor		Total	
				213.00	x 39.99	x 1.0108	=	8,609.86	
			for door D vision glass [15 ea x 2' x 7'], door C [3 ea 6" x 2'] A2.3 & A5.1						
76	09 01 20 91 0004	SF	>4 To 8 SF, Cut And Patch Hole In Drywall To Match Existing Per location.						\$2,651.37
			Installation	Quantity	Unit Price	Factor		Total	
				224.00	x 11.71	x 1.0108	=	2,651.37	
			exist. wall patch works for elec. concealed conduits/boxes & new elec. panel mounted on wall, 28 ea x 8 SF						
77	09 22 13 00 0009	SF	7/8", 25 Gauge, 16" On Center, Installed On Ceilings, Hat Furring Channel						\$493.67
			Installation	Quantity	Unit Price	Factor		Total	
				132.00	x 3.70	x 1.0108	=	493.67	
			gypsum bd. ceiling framing intermediate & cross runner on sheet A2.7 keynote #5						
78	09 22 13 00 0009 0432	MOD	For 20 Gauge, Add						\$120.08
			Installation	Quantity	Unit Price	Factor		Total	
				132.00	x 0.90	x 1.0108	=	120.08	
79	09 22 13 00 0010	SF	1-1/2", 25 Gauge, 16" On Center, Installed On Ceilings, Hat Furring Channel						\$515.02
			Installation	Quantity	Unit Price	Factor		Total	
				132.00	x 3.86	x 1.0108	=	515.02	
			gypsum bd. ceiling framing main runner on sheet A2.7 keynote #5						
80	09 22 13 00 0010 0432	MOD	For 20 Gauge, Add						\$134.76
			Installation	Quantity	Unit Price	Factor		Total	
				132.00	x 1.01	x 1.0108	=	134.76	
81	09 22 16 13 0021	SF	3-5/8" Width, 16" On Center, 16 Gauge, Non Load Bearing, Non Structural Metal Stud Framing With Tracks And Runners						\$15,870.52
			Installation	Quantity	Unit Price	Factor		Total	
				4,715.00	x 3.33	x 1.0108	=	15,870.52	
			A1 wall 18" above ceiling 410' x 11.5' = 4715 SF [Modifier Discount = 4715 + 3990 = 8705 SF]						
82	09 22 16 13 0021 0011	MOD	For >1,000, Deduct						-\$3,079.65
			Installation	Quantity	Unit Price	Factor		Total	
				8,705.00	x -0.35	x 1.0108	=	-3,079.65	
83	09 22 16 13 0021	SF	3-5/8" Width, 16" On Center, 16 Gauge, Non Load Bearing, Non Structural Metal Stud Framing With Tracks And Runners						\$13,430.20
			Installation	Quantity	Unit Price	Factor		Total	
				3,990.00	x 3.33	x 1.0108	=	13,430.20	
			A3 wall-up to underside of slab above ceiling 285 LF x 14'						
84	09 22 16 13 0024	SF	8" Width, 16" On Center, 16 Gauge, Non Load Bearing, Non Structural Metal Stud Framing With Tracks And Runners						\$673.60
			Installation	Quantity	Unit Price	Factor		Total	
				140.00	x 4.76	x 1.0108	=	673.60	
			A4 Wall 8" thick, 10' L*14' H						
85	09 22 16 13 0024 0001	MOD	For Walls >10' High, Add						\$134.44
			Installation	Quantity	Unit Price	Factor		Total	
				140.00	x 0.95	x 1.0108	=	134.44	
86	09 22 16 13 0024 0010	MOD	For >100 To 300, Add						\$91.98
			Installation	Quantity	Unit Price	Factor		Total	
				140.00	x 0.65	x 1.0108	=	91.98	

Contractor's Price Proposal - Detail Continues..

Work Order Number: 062609.00

Work Order Title: USBK Phase 3: U.S. Probation Offices Remodel - 1st and 2nd Floor

First Floor

87	09 22 16 13 0042	LF	10" Wide, 16 Gauge Galvanized Steel Backing Plate						\$2,816.49
				Quantity	Unit Price	Factor	=	Total	
		Installation		720.00	3.87	1.0108	=	2,816.49	
			under deck plate wall type A3= 300' + A1= 410' = A4= 10' = 720'						
88	09 29 00 00 0013	SF	5/8" Type X Fire Rated Gypsum Board						\$11,776.63
				Quantity	Unit Price	Factor	=	Total	
		Installation		7,980.00	1.46	1.0108	=	11,776.63	
			A3 wall-up to underside of slab above ceiling 285 LF x 14' x 2-sides						
89	09 29 00 00 0013	SF	5/8" Type X Fire Rated Gypsum Board						\$13,916.49
				Quantity	Unit Price	Factor	=	Total	
		Installation		9,430.00	1.46	1.0108	=	13,916.49	
			A1 wall 18" above ceiling 410' x 11.5' x 2-sides = 9430 SF						
90	09 29 00 00 0013	SF	5/8" Type X Fire Rated Gypsum Board						\$413.22
				Quantity	Unit Price	Factor	=	Total	
		Installation		280.00	1.46	1.0108	=	413.22	
			A4 Wall 8" thick, 10' L*14' H x 2-sides						
91	09 29 00 00 0013	SF	5/8" Type X Fire Rated Gypsum Board						\$4,014.09
				Quantity	Unit Price	Factor	=	Total	
		Installation		2,720.00	1.46	1.0108	=	4,014.09	
			extend existing walls per A2.3 const. note# 8 [340' x 4' x 2-sides] [Modifier Discount = 2720+7980+9430+280 = 20410 SF]						
92	09 29 00 00 0013 0051	MOD	For Walls >10' High, Add						\$247.44
				Quantity	Unit Price	Factor	=	Total	
		Installation		2,720.00	0.09	1.0108	=	247.44	
93	09 29 00 00 0013 0054	MOD	For >1,536, Deduct						-\$2,269.35
				Quantity	Unit Price	Factor	=	Total	
		Installation		20,410.00	-0.11	1.0108	=	-2,269.35	
94	09 29 00 00 0056	SF	Up To 10' High, Walls, Tape, Spackle And Finish Gypsum Board						\$11,553.04
				Quantity	Unit Price	Factor	=	Total	
		Installation		20,410.00	0.56	1.0108	=	11,553.04	
			7980+9430+280+2720						
95	09 29 00 00 0056 0044	MOD	For >5,400, Deduct						-\$1,237.83
				Quantity	Unit Price	Factor	=	Total	
		Installation		20,410.00	-0.06	1.0108	=	-1,237.83	
96	09 29 00 00 0073	LF	Casing, Galvanized Steel J-Bead For Gypsum Board						\$1,647.20
				Quantity	Unit Price	Factor	=	Total	
		Installation		560.00	2.91	1.0108	=	1,647.20	
			20 LF per door; 28 doors						
97	09 29 00 00 0074	LF	Corner Bead, Galvanized Steel For Gypsum Board						\$3,749.50
				Quantity	Unit Price	Factor	=	Total	
		Installation		1,288.00	2.88	1.0108	=	3,749.50	
98	09 51 13 00 0020	SF	2' x 4' x 3/4" Mineral Fiber Acoustical Ceiling Panels						\$3,264.88
				Quantity	Unit Price	Factor	=	Total	
		Installation		0.00	2.87	1.0108	=	0.00	
		Demolition		6,460.00	0.50	1.0108	=	3,264.88	
			demo exist. ceiling, ref. A2.6						

Contractor's Price Proposal - Detail Continues..

Work Order Number: 062609.00

Work Order Title: USBK Phase 3: U.S. Probation Offices Remodel - 1st and 2nd Floor

First Floor

99	09 51 13 00 0020	SF	2' x 4' x 3/4" Mineral Fiber Acoustical Ceiling Panels						\$17,434.48	
		Installation	Quantity	Unit Price	Factor	Total				
			6,460.00	2.87	1.0108	17,434.48	x	=		
			acoustical ceiling tile							
100	09 51 13 00 0020 0102	MOD	For >5,000, Deduct						-\$1,044.76	
		Installation	Quantity	Unit Price	Factor	Total				
			6,460.00	-0.16	1.0108	-1,044.76	x	=		
101	09 51 13 00 0020 0103	MOD	For Individual Room Quantities <495, AddFor use with projects >500 SF						\$2,242.54	
		Installation	Quantity	Unit Price	Factor	Total				
			4,823.00	0.46	1.0108	2,242.54	x	=		
			all rooms less than 495 SF except open office rm. 155 & 156 & hall rm. 158, 1637 SF] = 6480 SF minus 1637 SF = 4823 SF							
102	09 53 23 00 0005	SF	2' x 4' Grid, 15/16" T Bar Ceiling Suspension System						\$14,169.80	
		Installation	Quantity	Unit Price	Factor	Total				
			6,460.00	2.17	1.0108	14,169.80	x	=		
			T-bar grid system							
103	09 53 23 00 0005 0131	MOD	For Individual Room Quantities <495, AddFor use with projects >500 SF						\$1,365.02	
		Installation	Quantity	Unit Price	Factor	Total				
			4,823.00	0.28	1.0108	1,365.02	x	=		
			all rooms less than 495 SF except open office rm. 155 & 156 & hall rm. 158, 1637 SF] = 6460 SF minus 1637 SF = 4823 SF							
104	09 53 23 00 0005 0133	MOD	For Compression Struts With Splay Wires, Add						\$1,567.14	
		Installation	Quantity	Unit Price	Factor	Total				
			6,460.00	0.24	1.0108	1,567.14	x	=		
105	09 53 23 00 0005 0139	MOD	For >5,000, Deduct						-\$979.47	
		Installation	Quantity	Unit Price	Factor	Total				
			6,460.00	-0.15	1.0108	-979.47	x	=		
106	09 53 23 00 0005	SF	2' x 4' Grid, 15/16" T Bar Ceiling Suspension System						\$2,742.50	
		Installation	Quantity	Unit Price	Factor	Total				
			0.00	2.17	1.0108	0.00	x	=		
		Demolition	Quantity	Unit Price	Factor	Total				
			6,460.00	0.42	1.0108	2,742.50	x	=		
			demo exist. ceiling, ref. A2.6							
107	09 65 13 13 0005	LF	4" High, 1/8" Rubber Base, Group 1 Black, Russet And Umber						\$838.58	
		Installation	Quantity	Unit Price	Factor	Total				
			0.00	2.55	1.0108	0.00	x	=		
		Demolition	Quantity	Unit Price	Factor	Total				
			838.00	0.99	1.0108	838.58	x	=		
			demo exist. wall base [250'x2 + 338], ref. A2.2							
108	09 65 13 13 0005	LF	4" High, 1/8" Rubber Base, Group 1 Black, Russet And Umber						\$5,103.53	
		Installation	Quantity	Unit Price	Factor	Total				
			1,980.00	2.55	1.0108	5,103.53	x	=		
			wall base							
109	09 65 13 33 0002	SF	1/8" Thick, Flexible Self Leveling Cementitious Underlayment With Liquid Latex Modifiers						\$7,922.41	
		Installation	Quantity	Unit Price	Factor	Total				
			6,998.00	1.12	1.0108	7,922.41	x	=		
			prep and skim coat existing floor							

Contractor's Price Proposal - Detail Continues..

Work Order Number: 062609.00

Work Order Title: USBK Phase 3: U.S. Probation Offices Remodel - 1st and 2nd Floor

First Floor

110	09 65 16 23 0002	SF	0.080" Overall Thickness, 0.080" Wear Layer, Homogeneous, Commercial Vinyl Sheet Flooring (Armstrong® Medintech®)						\$71.32	
		Installation	Quantity	Unit Price	Factor	=	Total			
			0.00	5.97	1.0108		0.00			
		Demolition	144.00	0.48	1.0108		71.32			
			demo exist. vinyl floor, ref. A2.2							
111	09 65 16 23 0009	LF	Heat Weld Non-Patterned Vinyl Sheet Flooring Seams						\$694.42	
		Installation	Quantity	Unit Price	Factor	=	Total			
			150.00	4.58	1.0108		694.42			
			sheet vinyl LVT at 1st floor room 145,147,148,149,150,151,152,153,154 = 1750 SF							
112	09 65 16 23 0012	EA	Forming Vinyl Sheet Flooring Inside/Outside Cove Corners						\$222.58	
		Installation	Quantity	Unit Price	Factor	=	Total			
			20.00	11.01	1.0108		222.58			
			sheet vinyl LVT at 1st floor room 145,147,148,149,150,151,152,153,154 = 1750 SF							
113	09 65 19 23 0014	SF	2.5mm Thick, Luxury Vinyl Tile (LVT) (Mannington Amtico)						\$13,673.60	
		Installation	Quantity	Unit Price	Factor	=	Total			
			1,750.00	7.73	1.0108		13,673.60			
			sheet vinyl LVT at 1st floor room 145,147,148,149,150,151,152,153,154 = 1750 SF							
114	09 65 19 43 0003	SF	1/8" Thick, Polyester Composition Floor Tile (Armstrong® BioBased Tile® Striations®)						\$1,451.00	
		Installation	Quantity	Unit Price	Factor	=	Total			
			450.00	3.19	1.0108		1,451.00			
			vinyl VCT2 at 1st floor room 157 = 450 SF							
115	09 68 13 00 0023	SY	26 Ounce, Patterned, Nylon Carpet Tile						\$3,057.81	
		Installation	Quantity	Unit Price	Factor	=	Total			
			0.00	57.42	1.0108		0.00			
		Demolition	762.00	3.97	1.0108		3,057.81			
			demo exist. carpet floor, ref. A2.2							
116	09 68 13 00 0023	SY	26 Ounce, Patterned, Nylon Carpet Tile						\$30,993.43	
		Installation	Quantity	Unit Price	Factor	=	Total			
			534.00	57.42	1.0108		30,993.43			
			Carpet CPT rooms #137,146,155,156,158 thru 173 = 4,800 SF + 9 = 534 SY							
117	09 68 13 00 0023 0413	MOD	For >400 To 600, Deduct						-\$755.67	
		Installation	Quantity	Unit Price	Factor	=	Total			
			534.00	-1.40	1.0108		-755.67			
118	09 91 23 00 0065	SF	Paint Interior Plaster/Drywall Walls, 1 Coat Primer, Sprayed						\$7,955.80	
		Installation	Quantity	Unit Price	Factor	=	Total			
			18,740.00	0.42	1.0108		7,955.80			
			A1=410' + A3=283' + A4=10' = 703'x10'x 2-sides walls = 14060 SF + [exist. perimeter wall [1-side walls]= 468'x10' = 4680							
119	09 91 23 00 0067	SF	Paint Interior Plaster/Drywall Walls, 2 Coats Paint, Sprayed						\$14,775.07	
		Installation	Quantity	Unit Price	Factor	=	Total			
			18,740.00	0.78	1.0108		14,775.07			
			1-side walls = 190' x 10' = 1900 SF + 2-sides walls = 212' x 10' x 2 = 4240 SF, Total = 6140 SF							
120	09 91 23 00 0151	SF	Paint Interior Drywall/Plaster Ceiling, 1 Coat Primer, Brush/Roller Work						\$81.39	
		Installation	Quantity	Unit Price	Factor	=	Total			
			132.00	0.61	1.0108		81.39			
			gypbd. ceiling							

Contractor's Price Proposal - Detail Continues..

Work Order Number: 062609.00

Work Order Title: USBK Phase 3: U.S. Probation Offices Remodel - 1st and 2nd Floor

First Floor

121	09 91 23 00 0153	SF	Paint Interior Drywall/Plaster Ceiling, 2 Coats Paint, Brush/Roller Work						\$148.10	
			Installation	Quantity	x	Unit Price	x	Factor	Total	
				132.00		1.11		1.0108 =	148.10	
			gypbd. ceiling							
122	09 91 23 00 0244	LF	Paint Interior Metal Door Frame And Trim, 2 Coats Paint, Brush/Roller Work						\$1,007.57	
			Installation	Quantity	x	Unit Price	x	Factor	Total	
				560.00		1.78		1.0108 =	1,007.57	
			28 ea x 20'							
123	09 91 23 00 0262	EA	Paint Interior Wood Door, Both Faces, 1 Coat Primer, Brush/Roller Work						\$1,777.11	
			Installation	Quantity	x	Unit Price	x	Factor	Total	
				28.00		62.79		1.0108 =	1,777.11	
124	09 91 23 00 0264	EA	Paint Interior Wood Door, Both Faces, 2 Coats Paint, Brush/Roller Work						\$3,165.34	
			Installation	Quantity	x	Unit Price	x	Factor	Total	
				28.00		111.84		1.0108 =	3,165.34	
125	09 91 43 00 0013	SF	Hand Wash, Minor Repair And Light Sanding Drywall Surfaces						\$2,490.61	
			Installation	Quantity	x	Unit Price	x	Factor	Total	
				5,600.00		0.44		1.0108 =	2,490.61	
			Existing walls, 1-side walls = 560'X10'							
126	10 28 13 13 0011	EA	Surface Mounted, Stainless Steel Folded Paper Towel Dispenser (Bobrick Contura B-4262)						\$305.46	
			Installation	Quantity	x	Unit Price	x	Factor	Total	
				2.00		151.10		1.0108 =	305.46	
			UA1 & UA2							
127	10 28 13 13 0042	EA	Single Fold/Double Fold, Surface Mounted, Stainless Steel Toilet Tissue Cabinet (Bobrick B-272)						\$173.03	
			Installation	Quantity	x	Unit Price	x	Factor	Total	
				2.00		85.59		1.0108 =	173.03	
			UA1 & UA2							
128	10 28 13 13 0061	EA	40 Fluid Ounce, Surface Mounted, Stainless Steel Soap Dispenser (Bobrick Contura B-4112)						\$186.43	
			Installation	Quantity	x	Unit Price	x	Factor	Total	
				2.00		92.22		1.0108 =	186.43	
			UA1 & UA2							
129	10 28 13 13 0099	EA	12 Gallon, 4" Wall Recess, Stainless Steel Waste Receptacle (Bobrick Contura B-43644)						\$828.27	
			Installation	Quantity	x	Unit Price	x	Factor	Total	
				2.00		409.71		1.0108 =	828.27	
			UA1 & UA2							
130	10 28 13 13 0133	EA	36" Length, 1-1/4" Diameter, Stainless Steel Grab Bar (Bobrick B-5806x36)						\$316.99	
			Installation	Quantity	x	Unit Price	x	Factor	Total	
				4.00		78.40		1.0108 =	316.99	
			UA1 & UA2							
131	10 28 13 13 0324	EA	24" x 36", Surface Mounted, Stainless Steel Channel Frame Glass Mirror (Bobrick B-165 2436)						\$243.14	
			Installation	Quantity	x	Unit Price	x	Factor	Total	
				2.00		120.27		1.0108 =	243.14	
			UA1 & UA2							

Contractor's Price Proposal - Detail Continues..

Work Order Number: 062609.00

Work Order Title: USBK Phase 3: U.S. Probation Offices Remodel - 1st and 2nd Floor

First Floor

132	10 88 00 00 0014	EA	12" Diameter Half-Dome Steel Dome Mirror						\$282.92
			Installation	Quantity	Unit Price	Factor	=	Total	
				2.00	139.95	1.0108		282.92	
			UA1 & UA2						
133	11 46 16 00 0016	LF	11" Deep, Tray Slide With 3 Raised Reinforced Ribs And Backing Plate, 316 Stainless Steel Solid Surface, Straight Section						\$584.71
			Installation	Quantity	Unit Price	Factor	=	Total	
				6.00	96.41	1.0108		584.71	
			reception counter transaction tray						
134	12 36 23 13 0003	SF	Plastic Laminate Countertop With Backsplash						\$1,329.59
			Installation	Quantity	Unit Price	Factor	=	Total	
				66.00	19.93	1.0108		1,329.59	
			breakroom 16.5'L x 4W						
135	12 36 23 13 0003	SF	Plastic Laminate Countertop With Backsplash						\$483.49
			Installation	Quantity	Unit Price	Factor	=	Total	
				24.00	19.93	1.0108		483.49	
			reception counter 6'x4', front facing 4" longer than normal.						
136	12 36 23 13 0005	EA	Cutout For Sink And/Or Faucet In Plastic Laminate Countertop						\$70.57
			Installation	Quantity	Unit Price	Factor	=	Total	
				1.00	68.82	1.0108		70.57	
			cutout countertop for sink						
137	13 48 63 00 0015	EA	4-Bolt Deck Anchor Connection For Seismic BraceIncludes drilling into concrete, bolts, anchor plate, seismic bracket attached with bolt, nut and washer.						\$220.31
			Installation	Quantity	Unit Price	Factor	=	Total	
				2.00	108.98	1.0108		220.31	
			VAV boxes supports [LI 13 48 63 00-0024 exclude deck anchors]						
138	13 48 63 00 0016	EA	2 Cable Seismic Brace With Center Threaded Rod StiffenerIncludes seismic bracket, bolts, and cable for attachment to ceiling anchor. Excludes deck anchors.						\$4,325.01
			Installation	Quantity	Unit Price	Factor	=	Total	
				40.00	106.97	1.0108		4,325.01	
			ducts seismic support per SMACNA requirements ref. M0.1 "Anchoring & Bracing Notes"						
139	13 48 63 00 0021	EA	4 Channel Seismic Brace With Center Threaded Rod StiffenerIncludes seismic bracket, bolts, and channel for attachment to ceiling anchor. Excludes deck anchors.						\$832.68
			Installation	Quantity	Unit Price	Factor	=	Total	
				2.00	411.89	1.0108		832.68	
			Exhaust fan EF-1 & EF-2 supports						
140	13 48 63 00 0021	EA	4 Channel Seismic Brace With Center Threaded Rod StiffenerIncludes seismic bracket, bolts, and channel for attachment to ceiling anchor. Excludes deck anchors.						\$416.34
			Installation	Quantity	Unit Price	Factor	=	Total	
				1.00	411.89	1.0108		416.34	
			fan coil FC-1 supports						
141	13 48 63 00 0024	EA	4 Rod Seismic Brace With Center Threaded Rod StiffenerIncludes seismic bracket, bolts, and rod for attachment to ceiling anchor. Excludes deck anchors.						\$514.38
			Installation	Quantity	Unit Price	Factor	=	Total	
				2.00	254.44	1.0108		514.38	
			VAV boxes supports [V-23 & V-24]						

Contractor's Price Proposal - Detail Continues..

Work Order Number: 062609.00

Work Order Title: USBK Phase 3: U.S. Probation Offices Remodel - 1st and 2nd Floor

First Floor

Item No.	Code	Description	Quantity	Unit Price	Factor	Total
143	22 07 16 00 0002	EA Neoprene Insulation Kit For Under Lavatories				\$547.50
		Installation	3.00 x	180.55 x	1.0108 =	547.50
144	22 07 19 00 0045	LF 3/4" Diameter Pipe, 2" Thick, Fiberglass Insulation With All Service Jacket (ASJ)				\$3,288.74
		Installation	280.00 x	11.62 x	1.0108 =	3,288.74
		Insulation for refrigerant and VAV hydronic pipe				
145	22 11 16 00 0735	EA 3/4", Cut And Prepare Existing In Place Copper Pipe				\$38.77
		Installation	4.00 x	9.59 x	1.0108 =	38.77
		3/4" cold water				
146	22 11 16 00 0736	EA 1", Cut And Prepare Existing In Place Copper Pipe				\$43.63
		Installation	4.00 x	10.79 x	1.0108 =	43.63
		1" cold water				
147	22 11 16 00 0762	EA 3/4" Brass Compression Union				\$75.20
		Installation	4.00 x	18.60 x	1.0108 =	75.20
		connector for insta-hot line				
148	22 11 16 00 0798	EA 3/4" Brass Compression Female Connector				\$81.67
		Installation	4.00 x	20.20 x	1.0108 =	81.67
		connector for insta-hot line				
149	22 11 16 00 0878	LF 3/4" Inside Diameter Copper Pipe/Tubing Type L Assembly/Includes all hangers and couplings, elbow, tee, reducer fittings. All hangers are complete assemblies. Not for use where detail is available.				\$1,481.87
		Installation	76.00 x	19.29 x	1.0108 =	1,481.87
		3/4" cold water				
150	22 11 16 00 0878	LF 3/4" Inside Diameter Copper Pipe/Tubing Type L Assembly/Includes all hangers and couplings, elbow, tee, reducer fittings. All hangers are complete assemblies. Not for use where detail is available.				\$5,459.53
		Installation	280.00 x	19.29 x	1.0108 =	5,459.53
		refrigerant and VAV hydronic pipe				
151	22 11 16 00 0879	LF 1" Inside Diameter Copper Pipe/Tubing Type L Assembly/Includes all hangers and couplings, elbow, tee, reducer fittings. All hangers are complete assemblies. Not for use where detail is available.				\$929.98
		Installation	44.00 x	20.91 x	1.0108 =	929.98
		1" cold water				
152	22 11 16 00 0907	EA 1-1/4" Schedule 80 Chlorinated Polyvinyl Chloride (CPVC) 90 Degree Elbow				\$78.62
		Installation	2.00 x	38.89 x	1.0108 =	78.62
		for sink 1st floor				

Contractor's Price Proposal - Detail Continues..

Work Order Number: 062609.00

Work Order Title: USBK Phase 3: U.S. Probation Offices Remodel - 1st and 2nd Floor

First Floor

153	22 11 16 00 0920	EA	1-1/2" Schedule 80 Chlorinated Polyvinyl Chloride (CPVC) 45 Degree Elbow						\$92.79	
		Installation	Quantity	Unit Price	Factor		Total			
			2.00	45.90	1.0108	=	92.79			
			for sink 1st floor							
154	22 13 13 00 0003	EA	Floor Mounted Water Closet, Single Fixture Rough-In, Cast Iron Waste And Vent PipeIncludes cast iron waste and vent pipe and copper domestic supply. Excludes fixture and flush valve.						\$1,370.02	
		Installation	Quantity	Unit Price	Factor		Total			
			2.00	677.69	1.0108	=	1,370.02			
			WC-1 rough-in							
155	22 13 13 00 0007	EA	Wall Mounted Lavatory, Single Fixture Rough-In, Cast Iron Waste And Vent PipeIncludes cast iron waste and vent pipe and copper domestic supply. Excludes fixture, carrier and faucet.						\$941.82	
		Installation	Quantity	Unit Price	Factor		Total			
			2.00	465.88	1.0108	=	941.82			
			L-1 rough-in							
156	22 13 13 00 0012	EA	Wall Mounted Service Sink, Single Fixture Rough-In, Cast Iron Waste And Vent PipeIncludes cast iron waste and vent pipe and copper domestic supply. Excludes fixture, carrier and faucet.						\$1,314.85	
		Installation	Quantity	Unit Price	Factor		Total			
			2.00	650.40	1.0108	=	1,314.85			
			S-1 rough-in							
157	22 13 16 00 0003	LF	2" Underground Bell And Spigot Cast Iron Soil Pipe AssemblyIncludes all fittings and gaskets. Excludes earthwork excavation, backfill and compaction. Not for use where detail is available.						\$1,806.50	
		Installation	Quantity	Unit Price	Factor		Total			
			80.00	22.34	1.0108	=	1,806.50			
			underground waste pipe							
158	22 13 16 00 0005	LF	4" Underground Bell And Spigot Cast Iron Soil Pipe AssemblyIncludes all fittings and gaskets. Excludes earthwork excavation, backfill and compaction. Not for use where detail is available.						\$1,078.56	
		Installation	Quantity	Unit Price	Factor		Total			
			26.00	41.04	1.0108	=	1,078.56			
			underground waste pipe							
159	22 13 16 00 0011	LF	1-1/2" Aboveground No Hub Cast Iron Soil Pipe AssemblyIncludes all fittings, couplings and hangers. Fittings are assumed every 10'. Not for use where detail is available.						\$2,865.62	
		Installation	Quantity	Unit Price	Factor		Total			
			150.00	18.90	1.0108	=	2,865.62			
			vent pipe							
160	22 13 16 00 0072	EA	4" Bell And Spigot Cast Iron Wye						\$153.95	
		Installation	Quantity	Unit Price	Factor		Total			
			1.00	152.31	1.0108	=	153.95			
			waste line connection to existing line at POC							
161	22 13 16 00 0081	EA	4" x 2" Bell And Spigot Cast Iron Reducing Wye						\$171.72	
		Installation	Quantity	Unit Price	Factor		Total			
			1.00	169.89	1.0108	=	171.72			
			waste line connection to existing line at POC							
162	22 13 16 00 0106	EA	4" Bell And Spigot Cast Iron Combination Wye And 1/8 Bend						\$161.33	
		Installation	Quantity	Unit Price	Factor		Total			
			1.00	159.81	1.0108	=	161.33			
			waste line connection to existing line at POC							

Contractor's Price Proposal - Detail Continues..

Work Order Number: 062609.00

Work Order Title: USBK Phase 3: U.S. Probation Offices Remodel - 1st and 2nd Floor

First Floor

163	22 33 13 16 0008	EA	19.2 KW, 2.8 GPM At 45 Degree Rise, Indoor Mount, Instantaneous, Tankless, Electric Domestic Water Heater (Stiebel Eltron Tempra 20 Plus)						\$3,307.71	
		Installation	Quantity	Unit Price	Factor	=	Total			
			3.00	1,090.79	1.0108		3,307.71			
			insta-hot WH-1, WH-2 & WH-3							
164	22 42 13 13 0027	EA	2 Piece Tank Type, Pressure Assisted, Siphon Jet, Floor Mounted, Back Outlet, Handicap Accessible, Elongated Vitreous China Water Closet (American Standard Yorkville™ ADA)						\$1,539.51	
		Installation	Quantity	Unit Price	Factor	=	Total			
			2.00	761.53	1.0108		1,539.51			
			WC-1							
165	22 42 16 13 0005	EA	22" x 19" Porcelain Enameled Cast Iron Wall Hung Lavatory (Kohler® Hampton™)						\$1,042.70	
		Installation	Quantity	Unit Price	Factor	=	Total			
			2.00	515.78	1.0108		1,042.70			
			Lavatory L-1 at UA1 & UA2							
166	22 42 16 13 0098	EA	Wall Mounted Adjustable Plate Type, Single Lavatory Carrier With Concealed Arms						\$595.10	
		Installation	Quantity	Unit Price	Factor	=	Total			
			2.00	294.37	1.0108		595.10			
			Lavatory L-1 at UA1 & UA2							
167	22 42 16 16 0013	EA	22" x 22" x 10" Stainless Steel Kitchen Sink, Single Bowl, 18 Gauge (Elkay DLR222210)						\$1,472.98	
		Installation	Quantity	Unit Price	Factor	=	Total			
			1.00	1,457.24	1.0108		1,472.98			
			Sink S-1 at Work/Break area							
168	22 42 39 00 0016	EA	Deck Mount Sink Faucet, 8" Center Set, Lever Handles (Chicago Faucet 1100 ABCP)						\$265.18	
		Installation	Quantity	Unit Price	Factor	=	Total			
			1.00	262.35	1.0108		265.18			
			sink faucet							
169	22 42 39 00 0054	EA	Single Hole, Chrome Plated Gooseneck Sink Faucet With Dual Beam Infared (Chicago 116.429.AB.1)						\$1,097.24	
		Installation	Quantity	Unit Price	Factor	=	Total			
			2.00	542.76	1.0108		1,097.24			
			faucet for Lavatory L-1							
170	23 01 20 91 0024	EA	Shut Down Existing Interior Piping System includes lock out/tag out and average line tracing. Use when valves are greater than 25' from work. When the shut-off valves for multiple lines are located with a 10' radius, the quantity used shall be one.						\$381.40	
		Installation	Quantity	Unit Price	Factor	=	Total			
			2.00	178.77	1.0108		381.40			
			VAV pipelines							
171	23 01 20 91 0028	EA	>250 To 500', Up To 1-1/2" Diameter Pipe, Purge Liquid System						\$1,010.82	
		Installation	Quantity	Unit Price	Factor	=	Total			
			2.00	500.01	1.0108		1,010.82			
			refrigerant pipelines							
172	23 05 23 00 1013	EA	3/4" NPT Flow Control Valve, Iron And Bronze, Water Balancing Valve With Pressures Up To 300 PSIG						\$232.87	
		Installation	Quantity	Unit Price	Factor	=	Total			
			2.00	115.19	1.0108		232.87			

Contractor's Price Proposal - Detail Continues..

Work Order Number: 062609.00

Work Order Title: USBK Phase 3: U.S. Probation Offices Remodel - 1st and 2nd Floor

First Floor

173	23 05 29 00 0862	EA	3/8" Rod Size, Up To 6" Flange Width, Top Mount I-Beam Clamp						\$450.82
		Installation	Quantity	Unit Price	Factor	=	Total		
			25.00	17.84	1.0108	=	450.82		
174	23 05 29 00 1230	EA	3/4" Standard Duty Clevis Pipe Hanger AssemblyIncludes hanger, rod, nuts, washers and clamp.						\$1,770.56
		Installation	Quantity	Unit Price	Factor	=	Total		
			44.00	39.81	1.0108	=	1,770.56		
			condensate, refrigerant & VAV pipe supports [350' @ 8' spacing]						
175	23 05 29 00 1230	EA	3/4" Standard Duty Clevis Pipe Hanger AssemblyIncludes hanger, rod, nuts, washers and clamp.						\$321.92
		Installation	Quantity	Unit Price	Factor	=	Total		
			8.00	39.81	1.0108	=	321.92		
176	23 05 29 00 1231	EA	1" Standard Duty Clevis Pipe Hanger AssemblyIncludes hanger, rod, nuts, washers and clamp.						\$166.46
		Installation	Quantity	Unit Price	Factor	=	Total		
			4.00	41.17	1.0108	=	166.46		
			1" CW support						
177	23 05 53 00 0004	EA	3/4" Outside Diameter Snap-On Plastic Marker						\$203.58
		Installation	Quantity	Unit Price	Factor	=	Total		
			20.00	10.07	1.0108	=	203.58		
			refrigerant, HW coil & condensate pipe marker						
178	23 05 93 00 0015	EA	Balancing HVAC Duct System, Ceiling Height To 12' Supply, Return, Exhaust, Register And Diffuser						\$3,980.33
		Installation	Quantity	Unit Price	Factor	=	Total		
			80.00	65.63	1.0108	=	3,980.33		
			For 30 existing registers, pre-reading & post-reading						
179	23 05 93 00 0018	EA	Balance Variable Air Volume Box						\$1,245.71
		Installation	Quantity	Unit Price	Factor	=	Total		
			20.00	61.62	1.0108	=	1,245.71		
			pre-reading & post reading air balance [10 existing VAVs x 2]						
180	23 05 93 00 0026	EA	Balance Dampers						\$2,216.99
		Installation	Quantity	Unit Price	Factor	=	Total		
			90.00	24.37	1.0108	=	2,216.99		
			(18+15+12) Balance existing dampers pre and post readings						
181	23 05 93 00 0077	EA	>250' To 500', Up To 1-1/2" Piping, Hydrostatic Testing						\$1,010.83
		Installation	Quantity	Unit Price	Factor	=	Total		
			1.00	1,000.03	1.0108	=	1,010.83		
			existing refrigerant and VAV pipe lines						
182	23 07 13 00 0015	SF	2" Type 150 (1.5 LB/CF) FSK Fiber Glass Duct Wrap Insulation						\$25,511.22
		Installation	Quantity	Unit Price	Factor	=	Total		
			5,068.00	4.98	1.0108	=	25,511.22		
			ductworks 12"=180', 14"=130', 10"=330', 8"=276', 16"=72', 18"=60', 6"=30' = 3620 SF x 1.4 factor for insulation						
183	23 07 13 00 0015	SF	2" Type 150 (1.5 LB/CF) FSK Fiber Glass Duct Wrap Insulation						\$10,159.33
		Installation	Quantity	Unit Price	Factor	=	Total		
			0.00	4.98	1.0108	=	0.00		
		Demolition	Quantity	Unit Price	Factor	=	Total		
			2,638.00	3.81	1.0108	=	10,159.33		
			demo duct insulation of various sizes [200' x 14" dia. = 740 SF + 450 x 10" dia. = 1,170 SF + 150' x 12" dia. = 471 SF + Lateral/Elbows = 257 SF = 2,638 SF						

Contractor's Price Proposal - Detail Continues..

Work Order Number: 062609.00

Work Order Title: USBK Phase 3: U.S. Probation Offices Remodel - 1st and 2nd Floor

First Floor

184	23 09 23 00 0177	EA	Fan Coil Unit Controller Without Electric Reheat Relay (Honeywell W7752G2000)						\$667.11	
		Installation	Quantity	Unit Price	Factor	=	Total			
			2.00	329.99	x	1.0108	=	667.11		
185	23 09 23 00 0303	EA	175 IN-LB, 24 Volt AC, 4-20mA, 0-10 Volt DC, Non-Spring Return Direct Coupled Damper Actuator (Honeywell MN7220A2007)						\$1,444.79	
		Installation	Quantity	Unit Price	Factor	=	Total			
			3.00	476.45	x	1.0108	=	1,444.79		
186	23 09 23 00 0473	EA	Programmable BACnet MS/TP Thermostat With 8 Button Keypad And LCD Display For DX Unit, Fan Coils And RTU (Delta Controls DAC-T305-G2B)						\$843.23	
		Installation	Quantity	Unit Price	Factor	=	Total			
			2.00	417.11	x	1.0108	=	843.23		
187	23 21 29 00 0004	EA	1/12 HP, 310 GPH (Max) Automatic Shallow Pan Condensate Pump (Little Giant 3-ABS)						\$270.17	
		Installation	Quantity	Unit Price	Factor	=	Total			
			1.00	267.28	x	1.0108	=	270.17		
			condensate pump for FC-1							
188	23 31 13 13 0007	LB	Sheet Metal Ductwork, Medium Pressure, Shop Fabricated, Galvanized, Field Assemble And Install						\$6,054.19	
		Installation	Quantity	Unit Price	Factor	=	Total			
			0.00	6.62	x	1.0108	=	0.00		
		Demoition	Quantity	Unit Price	Factor	=	Total			
			2,178.00	2.75	x	1.0108	=	6,054.19		
			demo exist. ducts 600' with various sizes x 3.63#/ft							
189	23 31 13 13 1165	LF	>4 To 8 SF Cross Section, Rework Existing Ductwork						\$4,913.30	
		Installation	Quantity	Unit Price	Factor	=	Total			
			64.00	75.95	x	1.0108	=	4,913.30		
			re-work existing ducts at existing VAV, capping & tie-ins to existing duct point of disconnection, re-work duct for relocated diffusers							
190	23 31 13 16 0005	LF	6", 26 Gauge, Factory Fabricated, Field Installed, Low Pressure, Galvanized Sheet Metal Round Duct						\$215.91	
		Installation	Quantity	Unit Price	Factor	=	Total			
			30.00	7.12	x	1.0108	=	215.91		
191	23 31 13 16 0005 0062	MOD	For 20 Gauge, Add						\$27.59	
		Installation	Quantity	Unit Price	Factor	=	Total			
			30.00	0.91	x	1.0108	=	27.59		
192	23 31 13 16 0007	LF	8", 26 Gauge, Factory Fabricated, Field Installed, Low Pressure, Galvanized Sheet Metal Round Duct						\$2,636.37	
		Installation	Quantity	Unit Price	Factor	=	Total			
			276.00	9.45	x	1.0108	=	2,636.37		
193	23 31 13 16 0007 0062	MOD	For 20 Gauge, Add						\$334.78	
		Installation	Quantity	Unit Price	Factor	=	Total			
			276.00	1.20	x	1.0108	=	334.78		
194	23 31 13 16 0008	LF	10", 26 Gauge, Factory Fabricated, Field Installed, Low Pressure, Galvanized Sheet Metal Round Duct						\$3,812.64	
		Installation	Quantity	Unit Price	Factor	=	Total			
			330.00	11.43	x	1.0108	=	3,812.64		
195	23 31 13 16 0008 0062	MOD	For 20 Gauge, Add						\$490.34	
		Installation	Quantity	Unit Price	Factor	=	Total			
			330.00	1.47	x	1.0108	=	490.34		

Contractor's Price Proposal - Detail Continues..

Work Order Number: 062609.00

Work Order Title: USBK Phase 3: U.S. Probation Offices Remodel - 1st and 2nd Floor

First Floor

196	23	31	13	16	0009	LF	12", 26 Gauge, Factory Fabricated, Field Installed, Low Pressure, Galvanized Sheet Metal Round Duct								\$2,730.98
						Installation	Quantity	Unit Price	Factor		Total				
							190.00	14.22	1.0108	=	2,730.98				
197	23	31	13	16	0009	0062	MOD	For 20 Gauge, Add							\$347.61
						Installation	Quantity	Unit Price	Factor		Total				
							190.00	1.81	1.0108	=	347.61				
198	23	31	13	16	0010	LF	14", 26 Gauge, Factory Fabricated, Field Installed, Low Pressure, Galvanized Sheet Metal Round Duct								\$2,285.12
						Installation	Quantity	Unit Price	Factor		Total				
							130.00	17.39	1.0108	=	2,285.12				
199	23	31	13	16	0010	0062	MOD	For 20 Gauge, Add							\$277.26
						Installation	Quantity	Unit Price	Factor		Total				
							130.00	2.11	1.0108	=	277.26				
200	23	31	13	16	0011	LF	16", 26 Gauge, Factory Fabricated, Field Installed, Low Pressure, Galvanized Sheet Metal Round Duct								\$1,743.75
						Installation	Quantity	Unit Price	Factor		Total				
							72.00	23.96	1.0108	=	1,743.75				
201	23	31	13	16	0011	0062	MOD	For 20 Gauge, Add							\$227.79
						Installation	Quantity	Unit Price	Factor		Total				
							72.00	3.13	1.0108	=	227.79				
202	23	31	13	16	0012	LF	18" Round Galvanized Sheet Metal Duct, 26 Gauge, Factory Fabricated, Field Installed, Low Pressure								\$1,701.78
						Installation	Quantity	Unit Price	Factor		Total				
							60.00	28.06	1.0108	=	1,701.78				
203	23	31	13	16	0012	0062	MOD	For 20 Gauge, Add							\$210.45
						Installation	Quantity	Unit Price	Factor		Total				
							60.00	3.47	1.0108	=	210.45				
204	23	31	13	16	0065	EA	6", 26 Gauge, Factory Fabricated, Field Installed, Low Pressure, Galvanized Sheet Metal Round Connector								\$19.20
						Installation	Quantity	Unit Price	Factor		Total				
							1.00	18.99	1.0108	=	19.20				
							ref. M2.1, M2.2 & M2.3								
205	23	31	13	16	0067	EA	8", 26 Gauge, Factory Fabricated, Field Installed, Low Pressure, Galvanized Sheet Metal Round Connector								\$447.38
						Installation	Quantity	Unit Price	Factor		Total				
							20.00	22.13	1.0108	=	447.38				
							ref. M2.1, M2.2 & M2.3								
206	23	31	13	16	0068	EA	10", 26 Gauge, Factory Fabricated, Field Installed, Low Pressure, Galvanized Sheet Metal Round Connector								\$484.52
						Installation	Quantity	Unit Price	Factor		Total				
							18.00	26.63	1.0108	=	484.52				
							ref. M2.1, M2.2 & M2.3								
207	23	31	13	16	0069	EA	12", 26 Gauge, Factory Fabricated, Field Installed, Low Pressure, Galvanized Sheet Metal Round Connector								\$109.05
						Installation	Quantity	Unit Price	Factor		Total				
							3.00	35.96	1.0108	=	109.05				
							ref. M2.1, M2.2 & M2.3								

Contractor's Price Proposal - Detail Continues..

Work Order Number: 062609.00

Work Order Title: USBK Phase 3: U.S. Probation Offices Remodel - 1st and 2nd Floor

First Floor

220	23	31	13	16	0134	EA	16" x 16" x 8" 26 Gauge, Slip Joint, Galvanized, Spiral Duct 45 Degree Reducing Lateral											\$773.30	
							Installation	Quantity		Unit Price		Factor	=	Total					773.30
								2.00	x	382.52	x	1.0108	=						
								ref. M2.1, M2.2 & M2.3											
221	23	31	13	16	0141	EA	8" x 6" 26 Gauge, Slip Joint, Galvanized, Spiral Duct Reducer												\$390.37
							Installation	Quantity		Unit Price		Factor	=	Total					390.37
								4.00	x	96.55	x	1.0108	=						
								ref. M2.1, M2.2 & M2.3											
222	23	31	13	16	0142	EA	10" x 8" 26 Gauge, Slip Joint, Galvanized, Spiral Duct Reducer												\$1,460.53
							Installation	Quantity		Unit Price		Factor	=	Total					1,460.53
								12.00	x	120.41	x	1.0108	=						
								ref. M2.1, M2.2 & M2.3											
223	23	31	13	16	0143	EA	12" x 10" 26 Gauge, Slip Joint, Galvanized, Spiral Duct Reducer												\$1,651.36
							Installation	Quantity		Unit Price		Factor	=	Total					1,651.36
								11.00	x	148.52	x	1.0108	=						
								ref. M2.1, M2.2 & M2.3											
224	23	31	13	16	0144	EA	14" x 12" 26 Gauge, Slip Joint, Galvanized, Spiral Duct Reducer												\$164.09
							Installation	Quantity		Unit Price		Factor	=	Total					164.09
								1.00	x	162.34	x	1.0108	=						
								ref. M2.1, M2.2 & M2.3											
225	23	31	13	16	0153	EA	8" 26 Gauge, Slip Joint, Galvanized, Spiral Duct Coupling												\$2,575.24
							Installation	Quantity		Unit Price		Factor	=	Total					2,575.24
								28.00	x	90.99	x	1.0108	=						
								ref. M2.1, M2.2 & M2.3											
226	23	31	13	16	0154	EA	10" 26 Gauge, Slip Joint, Galvanized, Spiral Duct Coupling												\$3,803.96
							Installation	Quantity		Unit Price		Factor	=	Total					3,803.96
								33.00	x	114.04	x	1.0108	=						
								ref. M2.1, M2.2 & M2.3											
227	23	31	13	16	0155	EA	12" 26 Gauge, Slip Joint, Galvanized, Spiral Duct Coupling												\$2,857.53
							Installation	Quantity		Unit Price		Factor	=	Total					2,857.53
								20.00	x	141.35	x	1.0108	=						
								ref. M2.1, M2.2 & M2.3											
228	23	31	13	16	0156	EA	14" 26 Gauge, Slip Joint, Galvanized, Spiral Duct Coupling												\$311.33
							Installation	Quantity		Unit Price		Factor	=	Total					311.33
								2.00	x	154.00	x	1.0108	=						
								ref. M2.1, M2.2 & M2.3											
229	23	31	13	16	0157	EA	16" 26 Gauge, Slip Joint, Galvanized, Spiral Duct Coupling												\$734.20
							Installation	Quantity		Unit Price		Factor	=	Total					734.20
								4.00	x	181.59	x	1.0108	=						
								ref. M2.1, M2.2 & M2.3											
230	23	33	13	13	0004	EA	8" Diameter Radial Opposed Blade Damper Round, Steel Construction, Manual Operated												\$1,028.59
							Installation	Quantity		Unit Price		Factor	=	Total					1,028.59
								20.00	x	50.88	x	1.0108	=						
								ref. M2.1, M2.2 & M2.3 [install on ducts and not in diffusers]											

Contractor's Price Proposal - Detail Continues..

Work Order Number: 062609.00

Work Order Title: USBK Phase 3: U.S. Probation Offices Remodel - 1st and 2nd Floor

First Floor

231	23	33	13	13	0005	EA	10" Diameter Radial Opposed Blade Damper Round, Steel Construction, Manual Operated					\$1,010.34
						Installation	Quantity	Unit Price	Factor		Total	
							18.00	55.53	1.0108	=	1,010.34	
							x	x				
							ref. M2.1, M2.2 & M2.3 [install on ducts and not in diffusers]					
232	23	33	13	13	0006	EA	12" Diameter Radial Opposed Blade Damper Round, Steel Construction, Manual Operated					\$185.10
						Installation	Quantity	Unit Price	Factor		Total	
							3.00	61.04	1.0108	=	185.10	
							x	x				
							ref. M2.1, M2.2 & M2.3 [install on ducts and not in diffusers]					
233	23	33	13	13	0007	EA	14" Diameter Radial Opposed Blade Damper Round, Steel Construction, Manual Operated					\$281.89
						Installation	Quantity	Unit Price	Factor		Total	
							4.00	69.72	1.0108	=	281.89	
							x	x				
							ref. M2.1, M2.2 & M2.3 [install on ducts and not in diffusers]					
234	23	33	43	00	0001	LF	Flex Duct Connector, Fabric/Sheet Metal					\$2,272.68
						Installation	Quantity	Unit Price	Factor		Total	
							220.00	10.22	1.0108	=	2,272.68	
							x	x				
							ref. M2.1, M2.2 & M2.3					
235	23	33	46	00	0006	LF	8" Diameter Flexible Duct, R4.2 Insulated With Polyester Inner Liner And Metallized Outer Jacket					\$1,476.58
						Installation	Quantity	Unit Price	Factor		Total	
							160.00	9.13	1.0108	=	1,476.58	
							x	x				
							20 ea x 8' per M2.2 & M2.3					
236	23	33	46	00	0007	LF	10" Diameter Flexible Duct, R4.2 Insulated With Polyester Inner Liner And Metallized Outer Jacket					\$1,691.35
						Installation	Quantity	Unit Price	Factor		Total	
							144.00	11.62	1.0108	=	1,691.35	
							x	x				
							18 ea x 8' per M2.2 & M2.3					
237	23	33	46	00	0008	LF	12" Diameter Flexible Duct, R4.2 Insulated With Polyester Inner Liner And Metallized Outer Jacket					\$385.96
						Installation	Quantity	Unit Price	Factor		Total	
							24.00	15.91	1.0108	=	385.96	
							x	x				
							3 ea x 8' per M2.2 & M2.3					
238	23	34	16	00	0297	EA	900 CFM Low Sound, Direct Drive Centrifugal Ceiling Exhaust Fan (Greenheck SP-A900)					\$1,390.17
						Installation	Quantity	Unit Price	Factor		Total	
							2.00	687.66	1.0108	=	1,390.17	
							x	x				
							new exhaust fan EF-1 @ UA1 & EF-2 @ UA2					
239	23	34	16	00	0313	EA	Electronic Variable Speed Control Dial, Single Gang, Exhaust Fan Controls (Broan® 57)					\$220.92
						Installation	Quantity	Unit Price	Factor		Total	
							2.00	109.28	1.0108	=	220.92	
							x	x				
							new exhaust fan speed controller for EF-1 @ UA1 & EF-2 @ UA2					
240	23	36	16	00	0029	EA	16" Diameter Inlet, 1,000 - 3,500 CFM, Variable Air Volume Box, Dual Duct					\$1,666.36
						Installation	Quantity	Unit Price	Factor		Total	
							2.00	824.28	1.0108	=	1,666.36	
							x	x				
							VAV box tag # V-23 & V-24					

Contractor's Price Proposal - Detail Continues..

Work Order Number: 062609.00

Work Order Title: USBK Phase 3: U.S. Probation Offices Remodel - 1st and 2nd Floor

First Floor

241	23 37 13 00 0026	EA	24" x 24" Ceiling Diffuser With Perforated Face, Flush Mount, Aluminum Construction With Damper						\$10,720.75
			Installation	Quantity	Unit Price	Factor		Total	
				80.00	168.02	1.0108	x	10,180.08	
			Demolition	25.00	21.00	1.0108	x	530.67	
242	23 37 13 00 0026 0202	MOD	For Diffuser Without Damper, Deduct						-\$1,027.38
			Installation	Quantity	Unit Price	Factor		Total	
				80.00	-16.94	1.0108	x	-1,027.38	
243	23 37 13 00 0069	EA	24" x 24" T-Bar Lay-In, VAV Ceiling Diffuser With Blade Damper (Acutherm TF-HC) Individual setpoints for VAV heating and VAV cooling.						\$1,097.83
			Installation	Quantity	Unit Price	Factor		Total	
				2.00	543.05	1.0108	x	1,097.83	
			VAV boc V-23 & V-24						
244	23 37 13 00 0311	EA	Removal And Reinstallation Of Lay-In Diffuser/Register/Grille						\$328.83
			Installation	Quantity	Unit Price	Factor		Total	
				12.00	27.11	1.0108	x	328.83	
			remove and relocate diffusers						
245	23 81 26 00 0029	EA	39,500 BTU, 14.6 SEER, Ceiling Recessed Ductless Split System Air Conditioners includes indoor unit, outdoor unit, wireless thermostat and refrigerant charge.						\$6,332.14
			Installation	Quantity	Unit Price	Factor		Total	
				1.00	6,264.48	1.0108	x	6,332.14	
			CU-1 & FC-1						
246	23 81 26 00 0031	LF	3" Line Set Cover, Rigid Polyvinyl Chloride (PVC) Line Set Covers						\$1,313.23
			Installation	Quantity	Unit Price	Factor		Total	
				160.00	8.12	1.0108	x	1,313.23	
			refrigerant pipe, detail note 15 and 16 on sheet M2.3						
247	23 81 26 00 0034	EA	3" Union Coupling, Rigid Polyvinyl Chloride (PVC) Line Set Covers						\$222.54
			Installation	Quantity	Unit Price	Factor		Total	
				16.00	13.76	1.0108	x	222.54	
			refrigerant pipe, detail note 15 and 16 on sheet M2.3						
248	23 81 26 00 0037	EA	3" 90 Degree Elbow, Rigid Polyvinyl Chloride (PVC) Line Set Covers						\$271.22
			Installation	Quantity	Unit Price	Factor		Total	
				8.00	33.54	1.0108	x	271.22	
			refrigerant pipe, detail note 15 and 16 on sheet M2.3						
249	23 81 26 00 0040	EA	3" 90 Degree Long Radius Elbow, Rigid Polyvinyl Chloride (PVC) Line Set Covers						\$356.13
			Installation	Quantity	Unit Price	Factor		Total	
				8.00	44.04	1.0108	x	356.13	
			refrigerant pipe, detail note 15 and 16 on sheet M2.3						
250	23 81 26 00 0043	EA	3" 45 Degree Elbow, Rigid Polyvinyl Chloride (PVC) Line Set Covers						\$542.44
			Installation	Quantity	Unit Price	Factor		Total	
				16.00	33.54	1.0108	x	542.44	
			refrigerant pipe, detail note 15 and 16 on sheet M2.3						
251	23 81 26 00 0046	EA	3" Wall Penetration Cover, Rigid Polyvinyl Chloride (PVC) Line Set Covers						\$723.09
			Installation	Quantity	Unit Price	Factor		Total	
				16.00	44.71	1.0108	x	723.09	
			refrigerant pipe, detail note 15 and 16 on sheet M2.3						

Contractor's Price Proposal - Detail Continues..

Work Order Number: 062609.00

Work Order Title: USBK Phase 3: U.S. Probation Offices Remodel - 1st and 2nd Floor

First Floor

252	23 81 26 00 0052	EA	3" Duct End Termination, Rigid Polyvinyl Chloride (PVC) Line Set Covers						\$101.61	
			Installation	Quantity	Unit Price	Factor		Total		
				4.00	25.13	1.0108	x	101.61		
			refrigerant pipe, detail note 15 and 16 on sheet M2.3							
253	23 81 26 00 0062	EA	21" Condensing Unit Type 2 Wall Bracket, 220 LB Capacity						\$186.19	
			Installation	Quantity	Unit Price	Factor		Total		
				1.00	184.20	1.0108	x	186.19		
			CU-1 mounting bracket							
254	23 81 26 00 0064	LF	3/4" ID Condensate Drain Line						\$211.06	
			Installation	Quantity	Unit Price	Factor		Total		
				120.00	1.74	1.0108	x	211.06		
			primary and secondary pipes [2 x 60']							
255	26 01 20 91 0003	EA	Lock Out/Tag Out Breaker Or Motor Starter						\$219.55	
			Installation	Quantity	Unit Price	Factor		Total		
				10.00	21.72	1.0108	x	219.55		
			safe-off existing energized panels, disconnect and breakers, ref. E0.3							
256	26 01 50 51 0148	EA	Recycle 2' Length Linear Fluorescent Lamps						\$76.66	
			Installation	Quantity	Unit Price	Factor		Total		
				316.00	0.24	1.0108	x	76.66		
			78x4-provide recycling ticket							
257	26 01 50 51 0150	EA	Recycle 4' Length Linear Fluorescent Lamps						\$48.52	
			Installation	Quantity	Unit Price	Factor		Total		
				100.00	0.48	1.0108	x	48.52		
			25x4 [provide recycling ticket]							
258	26 01 50 52 0289	EA	One Or Two Lamp, 1,100-1,400 Lumens, Ninety Minute Illumination, Emergency Fluorescent Ballast (Bodine B50)						\$1,398.78	
			Installation	Quantity	Unit Price	Factor		Total		
				7.00	197.69	1.0108	x	1,398.78		
			90 min. battery backup for fixture type F2E, F3E & F4E, ref. E0.2 & E3.1							
259	26 05 19 16 0015	MLF	#12 AWG Cable - Type THHN-THWN, 600 Volt Copper, Single Solid, Placed In Conduit						\$5,667.47	
			Installation	Quantity	Unit Price	Factor		Total		
				6.70	566.56	1.0108	x	3,836.95		
			Demolition	Quantity	Unit Price	Factor		Total		
				8.00	226.37	1.0108	x	1,830.52		
260	26 05 19 16 0016	MLF	#10 AWG Cable - Type THHN-THWN, 600 Volt Copper, Single Solid, Placed In Conduit						\$577.21	
			Installation	Quantity	Unit Price	Factor		Total		
				0.83	692.17	1.0108	x	577.21		
			power and lighting wires + ground wire for WH-1, WH-2 & WH-3 ref. E2.1							
261	26 05 19 16 0032	MLF	1/0 AWG Cable - XLP (XHHW), 600 Volt Copper, Single Stranded, Placed In Conduit						\$1,047.56	
			Installation	Quantity	Unit Price	Factor		Total		
				0.25	4,145.46	1.0108	x	1,047.56		
			150-Y main feeder wire, E0.3							
262	26 05 19 16 0127	MLF	#8 AWG Cable - Type THHN-THWN, 600 Volt Single Stranded Copper, Underground Feeder And Branch Circuit						\$410.14	
			Installation	Quantity	Unit Price	Factor		Total		
				0.43	954.73	1.0108	x	410.14		
			70-Y main feeder ground wire, E0.3 + main feeder for WH-1, WH-2 & WH-3							