

**SUBMITTAL TO THE BOARD OF SUPERVISORS  
COUNTY OF RIVERSIDE, STATE OF CALIFORNIA**



**ITEM: 21.2  
(ID # 12408)**

**MEETING DATE:**

Tuesday, June 09, 2020

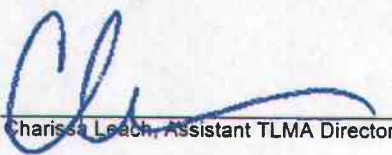
**FROM: TLMA-PLANNING:**

**SUBJECT: TRANSPORTATION & LAND MANAGEMENT AGENCY/PLANNING: PUBLIC HEARING ON AGRICULTURAL PRESERVE NO. 1062 and RESOLUTION NO. 2020-021 – Intent to Adopt a Negative Declaration - Applicant: Kenneth D. Licklider – Engineer / Representative: Kathleen Browne – Fifth Supervisorial District – Beaumont - Banning Zoning District – The Pass Area Plan: Agriculture: Agriculture (AG: AG) – Zoning: Light Agriculture (A-1)10 Acre Minimum – Location: North of Death Valley Road, south of Hill Top Drive, east of Sunset Avenue, and west of Turtle Dove Lane – REQUEST: To remove approximately 10 acres that is currently subject to a land conservation contract from San Geronimo Pass Agricultural Preserve No. 1. – APN: 537-200-014. District 5. [Applicant Fees 100%]**

**RECOMMENDED MOTION:** That the Board of Supervisors:

1. **ADOPT A NEGATIVE DECLARATION FOR ENVIRONMENTAL ASSESSMENT NO. 43010**, based on the findings and conclusions provided in the initial study, attached hereto and incorporated herein; and the conclusion that the project will not have a significant effect on the environment;

**ACTION: Policy**



Charissa Leach, Assistant TLMA Director

6/1/2020

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**MINUTES OF THE BOARD OF SUPERVISORS**

On motion of Supervisor Hewitt, seconded by Supervisor Perez and duly carried by unanimous vote, IT WAS ORDERED that the above matter is approved as recommended.

Ayes: Jeffries, Spiegel, Washington, Perez and Hewitt  
Nays: None  
Absent: None  
Date: June 9, 2020  
xc: Planning

Kecia R. Harper  
Clerk of the Board

By:   
Deputy

**SUBMITTAL TO THE BOARD OF SUPERVISORS COUNTY OF RIVERSIDE,  
STATE OF CALIFORNIA**

2. **TENTATIVELY APPROVE AGRICULTURAL PRESERVE CASE NO. 1062**, to diminish Agricultural Preserve No. 1, Map No. 161, as amended by Map No. 1062, based on the findings and conclusions provided in the Comprehensive Agricultural Preserve Technical Advisory Report and Resolution No. 2020-021; and to issue a Certificate of Tentative Cancellation to cancel the associated land conservation contract, subject to the conditions in Resolution No. 2020-021; and
3. **ADOPT RESOLUTION NO. 2020-021** approving the issuing a Certificate of Tentative Cancellation and Diminishment of San Gorgonio Pass Agricultural Preserve No. 1, Map No. 1062, subject to the conditions provided therein.

FINANCIAL DATA	Current Fiscal Year:	Next Fiscal Year:	Total Cost:	Ongoing Cost
COST	\$ N/A	\$ N/A	\$ N/A	\$ N/A
NET COUNTY COST	\$ N/A	\$ N/A	\$ N/A	\$ N/A
SOURCE OF FUNDS: Applicant Fees (100%)			Budget Adjustment: No	
			For Fiscal Year: N/A	

**C.E.O. RECOMMENDATION:** Approve

**BACKGROUND:**

**Summary**

Agricultural Preserve No. 1062 (AG No. 1062) proposes to remove approximately 10 acres from the San Gorgonio Pass Agricultural Preserve No. 1. The removal of these acres will leave approximately 1,933.58 acres within the San Gorgonio Pass Agricultural Preserve No. 1. The project site is subject to a land conservation contract, so a cancellation is necessary. The exterior boundaries of the land to be diminished from Agricultural Preserve No. 1 are shown on the map and legal description exhibits attached to Resolution No. 2020-021.

**Agricultural Preserve**

San Gorgonio Pass Agricultural Preserve No.1, which includes the project site, was established with the adoption of Map No. 161 on January 18, 1972.

**Land Conservation Contract**

A Land Conservation ("Williamson Act") contract was executed in 1972 by the land owners at the time (Instrument No. 1972-26466). However, subsequent land owners filed a Notice of Nonrenewal of the Williamson Act contract with the County of Riverside on May 6, 2015, which was recorded in May 18, 2015 (Instrument No. 2015-0206993).

**Alternative Land Use**

The proposed alternative land use is a Class IV Dog Kennel which would increase the existing Class I Dog Kennel of 5 to 10 dogs to a facility of 20 to 80 dogs. The proposed Class IV Dog

**SUBMITTAL TO THE BOARD OF SUPERVISORS COUNTY OF RIVERSIDE,  
STATE OF CALIFORNIA**

Kennel includes construction of two (2) new 30-dog kennels and a new office and training barn structure. The proposed Class IV Dog Kennel use is not part of the proposed action and requires approval of a Conditional Use Permit, pursuant to Riverside County Ordinance No. 348, Article XVIII, Section 18.45, Subsection B.5, which will be processed separately from this Agricultural Preserve Diminishment Case No. 1062.

Technical Advisory Committee

The Comprehensive Agricultural Preserve Technical Advisory Committee ("CAPTAC") met on July 17, 2018 and evaluated AG No. 1062. The CAPTAC found the proposed diminishment "Acceptable" as it is consistent with the Land Conservation Act of 1965 and, therefore, recommends that the Board of Supervisors grant the proposed diminishment.

General Plan Consistency

The proposed diminishment is consistent with the Riverside County General Plan and the Pass Area Plan because the project site is currently designated Agriculture: Agriculture (AG: AG) and there is no proposal to change the land use designation.

Environmental Analysis

An Initial Study ("IS") and a Mitigated Negative Declaration have been prepared for this project as well as the proposed alternative land use of a Class IV Dog Kennel for the site in accordance with the California Environmental Quality Act ("CEQA"). The IS and Negative Declaration represent the independent judgement of Riverside County. The documents were circulated for public review per the State CEQA Guidelines Section 15105.

Impact on Residents and Businesses

The impacts of this project have been evaluated through the environmental review and public hearing process by planning staff.

**ATTACHMENTS:**

- A. RESOLUTION NO. 2020-021
- B. NOTICE OF NON-RENEWAL
- C. CAPTAC REPORT FOR AG NO. 1062
- D. CANCELLATION VALUATION
- E. ENVIRONMENTAL ASSESSMENT NO. 43010

  
Jason Farin, Principal Management Analyst

6/2/2020

  
Gregory L. Priamos, Director County Counsel

6/2/2020



PLEASE COMPLETE THIS INFORMATION

RECORDING REQUESTED BY:

KECIA HARPER, CLERK OF THE BOARD  
RIVERSIDE CO. CLERK OF THE BOARD  
4080 LEMON STREET, 1<sup>ST</sup> FLOOR CAC  
P O BOX 1147 – RIVERSIDE, CA 92502

**MAIL STOP # 1010**

AND WHEN RECORDED MAIL TO:

**RETURN TO: STOP #1010**

RIVERSIDE COUNTY CLERK OF THE BOARD

P. O. BOX 1147 – RIVERSIDE, CA 92502

**2020-0387298**

08/21/2020 02:32 PM Fee: \$ 0.00

Page 1 of 9

Recorded in Official Records  
County of Riverside  
Peter Aldana  
Assessor-County Clerk-Recorder



690

THIS SPACE FOR RECORDERS USE ONLY

## **RESOLUTION NO. 2020-021**

Title of Document

**APPROVING AGRICULTURAL PRESERVE CASE NO. 1062 ISSUING CERTIFICATE OF  
TENTATIVE CANCELLATION AND DIMINISHMENT OF SAN GORGONIO PASS  
AGRICULTURAL PRESERVE NO.1  
(Government Code Section 51283.4)**

(TLMA-Planning Department ~ Item 21.2 of 06/09/2020)



**RESOLUTION NO. 2020-021**

**APPROVING AGRICULTURAL PRESERVE CASE NO. 1062  
ISSUING CERTIFICATE OF TENTATIVE CANCELLATION AND  
DIMINISHMENT OF SAN GORGONIO PASS  
AGRICULTURAL PRESERVE NO. 1  
(Government Code Section 51283.4)**

**WHEREAS**, a Land Conservation contract was executed by Alfred C. and Ollie M. Dysart pursuant to the Land Conservation Act of 1965 (Government Code Section 51200 et. seq.) for land within the San Gorgonio Pass Agricultural Preserve No. 1;

**WHEREAS**, such Land Conservation contract, dated January 1, 1972, with the County of Riverside is for land currently identified as Assessor's Parcel Number ("APN") 537-200-014 ("Property") and was recorded on February 29, 1972, as Instrument No. 26466, in the Office of the County Recorder of Riverside County, California;

**WHEREAS**, the Property is further described in Exhibit A for the San Gorgonio Agricultural Preserve Case No. 1062, which is attached hereto and incorporated herein by reference;

**WHEREAS**, the total gross acreage of the Property is 10 acres;

**WHEREAS**, Kenneth D. Licklider ("Property Owner"), the current owner of the Property, filed a Notice of Nonrenewal on May 6, 2015, which notice was recorded on May 18, 2015, as Instrument No. 2015-0206993, in the Office of the County Recorder of Riverside County, California;

**WHEREAS**, the Property Owner also petitioned to cancel the Land Conservation contract for the Property and to diminish the San Gorgonio Pass Agricultural Preserve No. 1, as amended through Map No. 161, by removing the Property from the boundaries of the agricultural preserve;

**WHEREAS**, Agricultural Preserve Case No. 1062 will diminish the San Gorgonio Pass Agricultural Preserve No. 1 in accordance with the map titled Map No. 161, San Gorgonio Pass Agricultural Preserve No. 1, Amended by Map No. 1062, attached hereto and incorporated herein;

**WHEREAS**, all the provisions of the California Environmental Quality Act and the Rules and Regulations Governing Agricultural Preserves in Riverside County, Resolution No. 84-526, have been

6/2/20  
DATE  
BY MICHELLE CLACK

1 satisfied, including the preparation of a Negative Declaration for Environmental Assessment No. 43010;

2           **WHEREAS**, the Property Owner has proposed, if the cancellation is approved, that the land  
3 will be used for the following alternative use: expansion of the existing Class I Dog Kennel to a Class IV  
4 Dog Kennel for a total capacity of 80 dogs to be housed within the existing 20 dog capacity facility and the  
5 construction of two new structures each with a 30 dog capacity, a new office and training barn structure  
6 (“Project”);

7           **WHEREAS**, the total amount of the cancellation fee for the Property, pursuant to Section  
8 51283.4 of the Government Code, has been determined and certified by the Board of Supervisors to be  
9 \$18,750.00; and,

10           **WHEREAS**, a public hearing was held on this matter by the Riverside County Board of  
11 Supervisors on June 9, 2020.

12           **BE IT RESOLVED, FOUND, DETERMINED, AND ORDERED** by the Board of  
13 Supervisors of the County of Riverside, State of California, in regular session assembled on June 9, 2020,  
14 that:

- 15           1. The above recitals are incorporated herein by this reference.
- 16           2. The subject parcels affected by the proposed diminishment are included under the  
17 Land Conservation contract.
- 18           3. Pursuant to the Notice of Nonrenewal submitted on May 6, 2015, the Land  
19 Conservation Contract on the 10 acres will expire on January 1, 2024 (GC 51245 and  
20 R&T Code 426(c)).
- 21           4. The cancellation fee was determined by the Riverside County Assessor’s Office to  
22 be a total of \$18,750.00.
- 23           5. According to the Natural Resource Conservation Service, the Soils Capability  
24 Classification as indicated in the USDA Soil Survey for Riverside County indicates  
25 that the site is fifty-five (55) percent within Class VI and thirty (30) percent within  
26 Class IV, and fifteen (15) percent within Class VIII.
- 27           6. A Conditional Use Permit No. 3771 is being processed with this Agricultural  
28 Preserve case and constitutes the proposed alternative land use for the 10 gross acres



1 area that is the subject of this diminishment and cancellation. The proposed  
2 alternative land use is consistent with the Riverside County General Plan, as  
3 described in more detail below.

4 **BE IT FURTHER RESOLVED** by the Board of Supervisors that:

- 5 1. The cancellation is for land on which a Notice of Nonrenewal has been served.
- 6 2. The cancellation is not likely to result in the removal of adjacent lands from  
7 agricultural use as the Project will not affect the ability to use adjacent lands for  
8 agriculture. The properties to the north, east, west and south are either uncultivated  
9 or are under agricultural production, and this cancellation would not change that  
10 circumstance. Additionally, the cancellation will only remove 10 gross acres, leaving  
11 approximately 1,933.58 gross acres in the San Gorgonio Pass Agricultural Preserve  
12 No. 1, ensuring the viability for long-term continued agricultural production on a  
13 substantial portion of the adjacent agricultural preserve. Therefore, this cancellation  
14 is not likely to result in the removal of adjacent lands from agricultural uses.
- 15 3. The cancellation is for an alternative use that is consistent with the applicable  
16 provisions of the Riverside County General Plan. The alternative land use proposed  
17 by Conditional Use Permit No. 3771 is proposing to expand the existing Class I Dog  
18 Kennel to a Class IV Dog Kennel for a total capacity of 80 dogs with the existing 20-  
19 dog capacity facility and the construction of two (2) new structures each with a 30-  
20 dog capacity, a new office and training barn structure. The underlying General Plan  
21 land use designation for the land within San Gorgonio Pass Agricultural Preserve  
22 No. 1 is primarily Agriculture (AG), which allows farming activities and animal  
23 keeping. Based upon the above, the cancellation for an alternative use is consistent  
24 with the applicable provisions of the Riverside County General Plan.
- 25 4. The cancellation will not result in discontinuous patterns of urban development  
26 because the existing General Plan land use designations and zoning classifications  
27 for the surrounding parcels to the north, south, east and west limit commercial and  
28 residential development; and, therefore, provide a buffer for the surrounding parcels



1 from urbanization by limiting lot sizes to the north and east to a minimum of at least  
2 10 acre lots, which can maintain agricultural uses. The lots to the north, south, east  
3 and west are designated in the General Plan as Agriculture. Additionally, the parcels  
4 surrounding the project have uses that are either rural or agricultural in nature.  
5 Therefore, the Project is not expected to result in discontinuous patterns of urban  
6 development.

7 5. There is also no other nearby parcel that is not subject to a land conservation contract  
8 and that is both available and suitable for the Project. The Project is located adjacent  
9 to Agriculture General Plan designated property to the north, west, east, and south.  
10 No adjacent or even nearby parcels would be available for the proposed project use  
11 because of either the existing uses of the properties or the low density designations  
12 applied to those properties. Therefore, there is no other nearby parcel that is not  
13 subject to a land conservation contract and that is both available and suitable for the  
14 Project.

15 6. Therefore, based on the above, the public's interest in implementing the goals and  
16 policies of the Riverside County General Plan substantially outweighs the purpose  
17 of the Williamson Act and there is no proximate, noncontracted alternative land  
18 available and suitable for the proposed Project.

19 7. Diminishment of San Geronio Pass Agricultural Preserve No. 1 by removing 10  
20 acres will not have a significant impact upon the environment and a Negative  
21 Declaration for Environmental Assessment No. 43010 is adopted based on the  
22 findings incorporated in the initial study.

23 **BE IT FURTHER RESOLVED** by the Board of Supervisors that the applicant shall  
24 comply with the following conditions prior to issuance of a Certificate of Final Cancellation with respect  
25 to the Property as outlined in Government Code Section 51283.4:

- 26 1. The cancellation fee of \$18,750.00 shall be paid;  
27 2. All conditions necessary for the County to issue grading permits for any portion of  
28 Conditional Use Permit No. 3771 shall have been met; and,

- 1                   3.     The landowner shall notify the Board of Supervisors when all conditions and  
2                             contingencies enumerated in this Certificate of Tentative Cancellation have been  
3                             satisfied with respect to the Land Conservation Contract. Within 30 days of receipt  
4                             of such notice, and upon determination that the conditions and contingencies have  
5                             been satisfied, the Board of Supervisors shall cause to be executed and recorded a  
6                             Certificate of Final Cancellation with respect to the Land Conservation Contract.

7                   **BE IT FURTHER RESOLVED** by the Board of Supervisors that upon fulfillment of all of  
8 the conditions, the landowners will be entitled to a Certificate of Final Cancellation that provides as follows:

- 9                   1.     San Geronio Pass Agricultural Preserve No. 1, Map No. 161, as adopted on January  
10                            18, 1972, is amended by Map No. 1062 deleting therefrom the area shown and  
11                            described in Exhibit A, attached hereto, being on file in the Office of the Clerk of the  
12                            Board.  
13                   2.     The Land Conservation Contract will be canceled to the extent said contract applies  
14                            to the land referenced in the petition for cancellation of the aforementioned  
15                            property owner, thereby removing from the effect of said contract the real property  
16                            in the County of Riverside, State of California, described in Exhibit A attached  
17                            hereto.

18                   **BE IT FURTHER RESOLVED** by the Board of Supervisors that, if any portion of the  
19 cancellation fee of \$18,750.00 is not paid within one year following the recordation of this Certificate of  
20 Tentative Cancellation, that portion of the fee shall be recomputed pursuant to Government Code Section  
21 51283.4(a), and the applicable landowner shall be required to pay the applicable portion of the  
22 recomputed fee as a condition to issuance of a Certificate of Final Cancellation of the Land Conservation  
23 Contract.

24                   **BE IT FURTHER RESOLVED** by the Board of Supervisors that, upon application of the  
25 landowner, the Board of Supervisors may hereafter amend a tentatively approved specified alternative use  
26 if the Board finds that such amendment is consistent with the findings made pursuant to Government  
27 Code Section 51282.



1           **BE IT FURTHER RESOLVED** by the Board of Supervisors that the Clerk of this Board  
2 shall file and record copies of this resolution, Property description as shown on Exhibit A and the map  
3 titled Map No. 161 San Geronio Pass Agricultural Preserve No. 1, Amended by Map No. 1062, in the  
4 Office of the County Recorder of Riverside County, California, and transmit copies thereof to the Director  
5 of Conservation of the State of California, the Treasurer of Riverside County, and the Assessor of  
6 Riverside County.

7  
8   ROLL CALL:

9   Ayes:           Jeffries, Spiegel, Washington, Perez and Hewitt  
10   Nays:           None  
11   Absent:          None

12           The foregoing is certified to be a true copy of a resolution duly  
13 adopted by said Board of Supervisors on the date therein set forth.

14                           Kecia R. Harper, Clerk of said Board

15   By \_\_\_\_\_

16                           Deputy



27  
28           06.09.2020   21.2



**EXHIBIT A**  
**SAN GORGONIO AGRICULTURAL PRESERVE NO. 1**  
**MAP NO. 1062**

The following described Real Property of Riverside County, State of California, described as follows:

Description

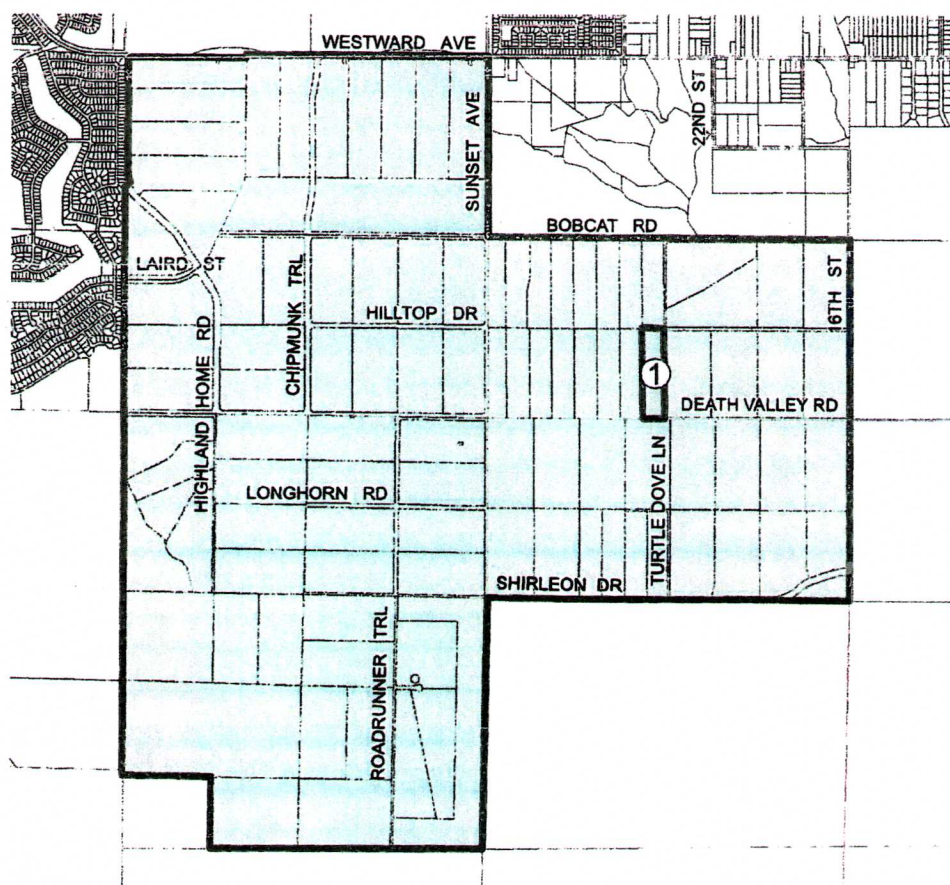
LOT 9 OF DR. OSCAR HAAS'S GRANDVIEW SUBDIVISION, IN COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 9, PAGE 2 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

Assessor Parcel No.	Acres (net)	Owner
537-200-014	10	Kenneth Licklider

# MAP NO. 161 SAN GORGONIO PASS AGRICULTURAL PRESERVE NO. 1

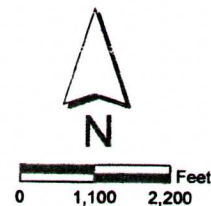
AMENDED BY MAP NO. 1062

T. 3S., R. 1E. S.B.B. & M.



AMENDMENTS:  
NO. 1, (DIMINISHMENT), , MAP NO. 1062

ADOPTED ON JANUARY 18, 1972  
BY THE BOARD OF SUPERVISORS  
OF THE COUNTY OF RIVERSIDE,  
STATE OF CALIFORNIA.



MINUTES OF THE BOARD OF SUPERVISORS  
COUNTY OF RIVERSIDE, STATE OF CALIFORNIA



**21.4**  
(MT 12153)

On motion of Supervisor Spiegel, seconded by Supervisor Jeffries and duly carried by unanimous vote, IT WAS ORDERED that the recommendation from the Planning Department regarding the Public Hearing on Agricultural Preserve No. 1062 and Resolution No. 2020-021, is continued to Tuesday, June 9, 2020 at 10:00 a.m. or as soon as possible thereafter.

Roll Call:

Ayes: Jeffries, Spiegel, Washington, Perez and Hewitt  
Nays: None  
Absent: None

I hereby certify that the foregoing is a full true, and correct copy of an order made and entered on April 7, 2020 of Supervisors Minutes.

(seal) WITNESS my hand and the seal of the Board of Supervisors  
Dated: April 7, 2020  
Kecia R. Harper, Clerk of the Board of Supervisors, in  
and for the County of Riverside, State of California.

By: [Signature] Deputy

AGENDA NO.  
**21.4**

xc: COB



**SUBMITTAL TO THE BOARD OF SUPERVISORS  
COUNTY OF RIVERSIDE, STATE OF CALIFORNIA**



**ITEM: 21.4**  
(ID # 12153)

**MEETING DATE:**  
Tuesday, April 07, 2020

**FROM :** TLMA-PLANNING:

**SUBJECT:** TRANSPORTATION & LAND MANAGEMENT AGENCY/PLANNING: PUBLIC HEARING ON AGRICULTURAL PRESERVE NO. 1062 and RESOLUTION NO. 2020-021 – Intent to Adopt a Negative Declaration - Applicant: Kenneth D. Licklider – Engineer / Representative: Kathleen Browne – Fifth Supervisorial District – Beaumont - Banning Zoning District – The Pass Area Plan: Agriculture: Agriculture (AG: AG) — Zoning: Light Agriculture (A-1)10 Acre Minimum – Location: North of Death Valley Road, south of Hill Top Drive, east of Sunset Avenue, and west of Turtle Dove Lane – REQUEST: To remove approximately 10 acres that is currently subject to a land conservation contract from San Geronio Pass Agricultural Preserve No. 1. – APN: 537-200-014. District 5. [Applicant Fees 100%] (Continue this item to June 9, 2020)

**RECOMMENDED MOTION:** That the Board of Supervisors:

1. Continue the item to the June 9, 2020 regularly scheduled Board of Supervisors Public Meeting.

**ACTION:**Policy, Set for Hearing

Charissa Leach, Assistant TLMA Director

4/2/2020

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**MINUTES OF THE BOARD OF SUPERVISORS**

**SUBMITTAL TO THE BOARD OF SUPERVISORS COUNTY OF RIVERSIDE,  
STATE OF CALIFORNIA**

<b>FINANCIAL DATA</b>	<b>Current Fiscal Year:</b>	<b>Next Fiscal Year:</b>	<b>Total Cost:</b>	<b>Ongoing Cost</b>
<b>COST</b>	\$ N/A	\$ N/A	\$ N/A	\$ N/A
<b>NET COUNTY COST</b>	\$ N/A	\$ N/A	\$ N/A	\$ N/A
<b>SOURCE OF FUNDS: Applicant Fees (100%)</b>			<b>Budget Adjustment: No</b>	
			<b>For Fiscal Year: N/A</b>	

**C.E.O. RECOMMENDATION:** Approve

**BACKGROUND:**

**Summary**

Agricultural Preserve No. 1062 (AG No. 1062) proposes to remove approximately 10 acres from the San Gorgonio Pass Agricultural Preserve No. 1. The removal of these acres will leave approximately 1,933.58 acres within the San Gorgonio Pass Agricultural Preserve No. 1. The project site is subject to a land conservation contract, so a cancellation is necessary. The exterior boundaries of the land to be diminished from Agricultural Preserve No. 1 are shown on the map and legal description exhibits attached to Resolution No. 2020-021.

**Agricultural Preserve**

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**Alternative Land Use**

The proposed alternative land use is a Class IV Dog Kennel which would increase the existing Class I Dog Kennel of 5 to 10 dogs to a facility of 20 to 80 dogs. The proposed Class IV Dog Kennel includes construction of two (2) new 30-dog kennels and a new office and training barn structure. The proposed Class IV Dog Kennel use is not part of the proposed action and requires approval of a Conditional Use Permit, pursuant to Riverside County Ordinance No. 348, Article XVIII, Section 18.45, Subsection B.5, which will be processed separately from this Agricultural Preserve Diminishment Case No. 1062.

**Technical Advisory Committee**

The Comprehensive Agricultural Preserve Technical Advisory Committee ("CAPTAC") met on July 17, 2018 and evaluated AG No. 1062. The CAPTAC found the proposed diminishment "Acceptable" as it is consistent with the Land Conservation Act of 1965 and, therefore, recommends that the Board of Supervisors grant the proposed diminishment.

**SUBMITTAL TO THE BOARD OF SUPERVISORS COUNTY OF RIVERSIDE,  
STATE OF CALIFORNIA**

General Plan Consistency

The proposed diminishment is consistent with the Riverside County General Plan and the Pass Area Plan because the project site is currently designated Agriculture: Agriculture (AG: AG) and there is no proposal to change the land use designation.

Environmental Analysis

An Initial Study ("IS") and a Mitigated Negative Declaration have been prepared for this project as well as the proposed alternative land use of a Class IV Dog Kennel for the site in accordance with the California Environmental Quality Act ("CEQA"). The IS and Negative Declaration represent the independent judgement of Riverside County. The documents were circulated for public review per the State CEQA Guidelines Section 15105.

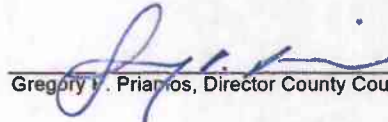
Impact on Residents and Businesses

The impacts of this project have been evaluated through the environmental review and public hearing process by planning staff.



Jason Farin, Senior Management Analyst

4/2/2020



Gregory L. Priamos, Director County Counsel

4/2/2020





CALL (951) 368-9222  
EMAIL [legals@pe.com](mailto:legals@pe.com)

# THE PRESS-ENTERPRISE

DATE	ORDER NUMBER	PONumber	PRODUCT	SIZE	Amount
3/18/20	0011373375		PE Riverside	4 x 83 Li	431.60

Invoice text: Agricultural Preserve No. 1062

Planning  
4/7/2020 21.4

Placed by: Hannah Lumanauw

## Legal Advertising Memo Invoice

**BALANCE DUE**

431.60

SALES/CONTACT INFORMATION		ADVERTISER INFORMATION		
Nick Eller 951-368-9229	BILLING DATE 03/18/2020	BILLED ACCOUNT NUMBER 5209148	ADVERTISER/CLIENT NUMBER 5209148	ADVERTISER/CLIENT NAME BOARD OF SUPERVISORS



THE PRESS-ENTERPRISE

Legal Advertising Memo Invoice

PLEASE DETACH AND RETURN THIS PORTION WITH YOUR REMITTANCE

ADVERTISER/CLIENT NAME		
BOARD OF SUPERVISORS		
BILLING DATE	BILLED ACCOUNT NUMBER	ADVERTISER/CLIENT NUMBER
03/18/2020	5209148	5209148
BALANCE DUE	ORDER NUMBER	TERMS OF PAYMENT
431.60	0011373375	DUE UPON RECEIPT

BILLING ACCOUNT NAME AND ADDRESS

REMITTANCE ADDRESS

BOARD OF SUPERVISORS  
COUNTY OF RIVERSIDE  
'PO BOX 1147'  
RIVERSIDE, CA 92502

CALIFORNIA NEWSPAPER PARTNERSHIP  
dba The Press-Enterprise  
PO Box 65210  
Colorado Springs, CO 80962-5210

# THE PRESS-ENTERPRISE

1825 Chicago Ave, Suite 100  
Riverside, CA 92507  
951-684-1200  
951-368-9018 FAX

**PROOF OF PUBLICATION  
(2010, 2015.5 C.C.P)**

Publication(s): The Press-Enterprise

PROOF OF PUBLICATION OF

Ad Desc.: Agricultural Preserve No. 1062 /

I am a citizen of the United States. I am over the age of eighteen years and not a party to or interested in the above entitled matter. I am an authorized representative of THE PRESS-ENTERPRISE, a newspaper in general circulation, printed and published daily in the County of Riverside, and which newspaper has been adjudicated a newspaper of general circulation by the Superior Court of the County of Riverside, State of California, under date of April 25, 1952, Case Number 54446, under date of March 29, 1957, Case Number 65673, under date of August 25, 1995, Case Number 267864, and under date of September 16, 2013, Case Number RIC 1309013; that the notice, of which the annexed is a printed copy, has been published in said newspaper in accordance with the instructions of the person(s) requesting publication, and not in any supplement thereof on the following dates, to wit:

**03/18/2020**

I certify (or declare) under penalty of perjury that the foregoing is true and correct.

Date: March 18, 2020  
At: Riverside, California



Legal Advertising Representative, The Press-Enterprise

BOARD OF SUPERVISORS  
COUNTY OF RIVERSIDE  
PO BOX 1147  
RIVERSIDE, CA 92502

Ad Number: 0011373375-01

P.O. Number:

## Ad Copy:

### NOTICE OF PUBLIC HEARING BEFORE THE BOARD OF SUPERVISORS OF RIVERSIDE COUNTY ON AN AGRICULTURAL PRESERVE CASE AND RESOLUTION IN THE BANNING ZONING DISTRICT AREA, FIFTH SUPERVISORIAL DISTRICT

NOTICE IS HEREBY GIVEN that a public hearing at which all interested persons will be heard, will be held before the Board of Supervisors of Riverside County, California, on the 1st Floor Board Chambers, County Administrative Center, 4080 Lemon Street, Riverside, on **Tuesday, April 7, 2020 at 10:00 A.M.** or as soon as possible thereafter, to consider the Planning Department's recommended approval on **Agricultural Preserve Case No. 1062**, which requests to remove approximately 10 acres of land that is currently subject to a Land Conservation contract from San Geronio Pass Agricultural Preserve No. 1. This project is located north of Death Valley Road, south of Hill Top Drive, east of Sunset Avenue, and west of Turtle Dove Lane in the Banning Zoning District area of the Fifth Supervisorial District.

The Planning Department recommends that the Board of Supervisors approve the project and adopt a Negative Declaration for **Environmental Assessment No. 43010**.

The project case file may be viewed from the date of this notice until the public hearing, Monday through Friday, from 8:00 a.m. to 5:00 p.m. at the Riverside County Planning Department at 4080 Lemon Street, 12th Floor, Riverside, California 92501.

FOR FURTHER INFORMATION REGARDING THIS PROJECT, PLEASE CONTACT LARRY ROSS, PRINCIPAL PLANNER, AT (951)-955-9294 OR EMAIL [lross@rivco.org](mailto:lross@rivco.org).

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Alternative formats available upon request to individuals with disabilities. If you require reasonable accommodation, please contact Clerk of the Board at (951) 955-1063, at least 72 hours prior to hearing.

Please send all written correspondence to: Clerk of the Board, 4080 Lemon Street, 1st Floor, Post Office Box 1147, Riverside, CA 92502-1147 or email [cob@rivco.org](mailto:cob@rivco.org)

Dated: March 12, 2020 Kecia R. Harper, Clerk of the Board  
By: Hannah Lumanauw, Board Assistant

3/18



OFFICE OF THE  
CLERK OF THE BOARD OF SUPERVISORS  
1st FLOOR, COUNTY ADMINISTRATIVE CENTER  
P.O. BOX 1147, 4080 LEMON STREET  
RIVERSIDE, CA 92502-1147  
PHONE: (951) 955-1060 FAX: (951) 955-1071

KECIA R. HARPER  
Clerk of the Board of Supervisors

KIMBERLY A. RECTOR  
Assistant Clerk of the Board

March 12, 2020

THE PRESS ENTERPRISE  
ATTN: LEGALS  
P.O. BOX 792  
RIVERSIDE, CA 92501

PH : (951) 368-9229  
E-MAIL: [legals@pe.com](mailto:legals@pe.com)

RE: NOTICE OF PUBLIC HEARING: AG. Preserve Case No. 1062

To Whom It May Concern:

Attached is a copy for publication in your newspaper for **One (1) time on Wednesday, March 18, 2020.**

We require your affidavit of publication immediately upon completion of the last publication.

Your invoice must be submitted to this office, **WITH TWO CLIPPINGS OF THE PUBLICATION.**

NOTE: PLEASE COMPOSE THIS PUBLICATION INTO A SINGLE COLUMN FORMAT.

Thank you in advance for your assistance and expertise.

Sincerely,

*Hannah Lumanauw*

Board Assistant to:  
KECIA R. HARPER, CLERK OF THE BOARD



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Dated: March 12, 2020

Kecia R. Harper, Clerk of the Board

By: Hannah Lumanauw, Board Assistant

# **CERTIFICATE OF POSTING**

(Original copy, duly executed, must be attached to  
the original document at the time of filing)

I, Hannah Lumanauw, Board Assistant to Kecia R. Harper, Clerk of the Board of Supervisors, for the County of Riverside, do hereby certify that I am not a party to the within action or proceeding; that on March 12, 2020, I forwarded to Riverside County Clerk & Recorder's Office a copy of the following document:

## **NOTICE OF PUBLIC HEARING**

Ag. Preserve Case No. 1062

to be posted in the office of the County Clerk at 2724 Gateway Drive, Riverside, California 92507. Upon completion of posting, the County Clerk will provide the required certification of posting.

**Board Agenda Date:** April 07, 2020 @ 10:00 a.m.

SIGNATURE: Hannah Lumanauw DATE: March 12, 2020  
Hannah Lumanauw

# CERTIFICATE OF MAILING

(Original copy, duly executed, must be attached to  
the original document at the time of filing)

I, Hannah Lumanauw, Board Assistant, for the County of Riverside, do hereby certify that  
I am not a party to the within action or proceeding; that on March 12, 2020, I mailed a  
copy of the following document:

## NOTICE OF PUBLIC HEARING

Ag. Preserve Case No. 1062

to the parties listed in the attached labels, by depositing said copy with postage thereon fully  
prepaid, in the United States Post Office, 3890 Orange St., Riverside, California, 92501.

**Board Agenda Date:** April 07, 2020 @ 10:00 a.m.

SIGNATURE: Hannah Lumanauw      DATE: March 12, 2020  
Hannah Lumanauw





# RIVERSIDE COUNTY PLANNING DEPARTMENT

Charissa Leach, P.E.  
Assistant TLMA Director

**Hearing Date: April 7, 2020**

**To:** Clerk of the Board of Supervisors

**From:** Planning Department – Riverside (Planner: Larry Ross)

**MinuteTraq #: 12153**

**Project Description:** TRANSPORTATION & LAND MANAGEMENT AGENCY/PLANNING: PUBLIC HEARING ON AGRICULTURAL PRESERVE NO. 1062 RESOLUTION NO. 2020-021 – Intent to Adopt a **Negative Declaration** - Applicant: Kenneth D. Licklider – Engineer / Representative: Kathleen Browne – Fifth Supervisorial District – Beaumont - Banning Zoning District – The Pass Area Plan: Agriculture: Agriculture (AG: AG) — Zoning: Light Agriculture (A-1)10 Acre Minimum – Location: North of Death Valley Road, south of Hill Top Drive, east of Sunset Avenue, and west of Turtle Dove Lane – **REQUEST:** To remove approximately 10 acres of land that is currently subject to a Land Conservation contract from San Geronio Pass Agricultural Preserve No. 1. – APN: 537-200-014.

**The attached item(s) require the following action(s) by the Board of Supervisors:**

- |  |  |
|--|--|
| <input type="checkbox"/> Place on Administrative Action  | <input checked="" type="checkbox"/> Set for Hearing (Legislative Action Required; CZ, GPA, SP, SPA)        |
| <input type="checkbox"/> Receive & File  |  |
| <input type="checkbox"/> EOT   |  |
| <input checked="" type="checkbox"/> Labels provided If Set For Hearing                                     | <input checked="" type="checkbox"/> Publish in Newspaper:  |
| <input type="checkbox"/> 10 Day <input checked="" type="checkbox"/> 20 Day <input type="checkbox"/> 30 day | (5th Dist) Press Enterprise  |
| <input type="checkbox"/> Place on Consent Calendar   | <input checked="" type="checkbox"/> Mitigated Negative Declaration   |
| <input type="checkbox"/> Place on Policy Calendar (Resolutions; Ordinances; PNC)                           | <input type="checkbox"/> 10 Day <input checked="" type="checkbox"/> 20 Day <input type="checkbox"/> 30 day |
| <input type="checkbox"/> Place on Section Initiation Proceeding (GPIP)                                     | <input checked="" type="checkbox"/> Notify Property Owners (app/agencies/property owner labels provided)   |

**Designate Newspaper used by Planning Department for Notice of Hearing:**

(5th Dist) Press Enterprise

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P.O. Box 1409, Riverside, California 92502-1409  
(951) 955-3200 • Fax (951) 955-1811

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Palm Desert, California 92211  
(760) 863-8277 • Fax (760) 863-7040

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RANCHO CUCAMONGA CA 91730

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EVANGELINA DIAZ  
11561 POES ST  
ANAHEIM CA 92802

544290026  
BLESSED KATERI TEKAKWITHA CATHOLIC COM  
1201 E HIGHLAND AVE  
SAN BERNARDINO CA 92404

544260030  
LEATRICE BRIONES  
12080 COTTONWOOD RD  
BANNING CA 92220

544250018  
OTERO RAMON JR ESTATE OF  
13131 SERENITY TR  
CHINO CA 91710

537130015  
MICHAEL FARRAR  
KARALE FARRAR  
FARRAR JERRY LEE & SHIRLIN 2008 TRUST

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BANNING CA 92220

544290028  
MICHAEL L FARRAR  
KARALE R FARRAR  
14620 HIGHLAND HOME RD  
BANNING CA 92220

544290006  
MICHAEL L FARRAR  
KARALE R FARRAR  
14620 S HIGHLAND HOME RD  
BANNING CA 92220

537130020  
ROBIN L FOURMY  
DARLENE FULK  
14825 S SUNSET AVE  
BANNING CA 92220

544290030  
REYES CERROS  
GLORIA CERROS  
15005 GERKIN AVE  
HAWTHORNE CA 90250

544250020  
D M BUCHANAN  
VICKIE BUCHANAN  
15333 ROADRUNNER DR  
BANNING CA. 92220

544250023  
ELIZABETH A RODRIGUEZ  
RICHARD PINNELL RODRIGUEZ  
15445 SUNSET ST  
BANNING CA. 92220

544290017  
LARRY L SARTORI  
JUNE P SARTORI  
15450 OLD BANN IDYLLWILD RD  
BANNING CA. 92220

544290009  
LARRY L SARTORI  
JUNE P SARTORI  
15450 OLD BANN IDYLLWILD  
BANNING CA 92220

544260004  
CHERYL GERMAIN  
15601 ROADRUNNER TR  
BANNING CA. 92220

544250016  
THEODORE ALVISO  
NANCY L ALVISO  
19312 SHERYL AVE  
CERRITOS CA 90703

537200019  
JOHN WESSMAN  
201 N PALM CANYON DR 200  
PALM SPRINGS CA 92262

544290011  
DARLENE GRACE NOON  
2275 W HAYS  
BANNING CA 92220

544250002  
CARLOS TREJO  
AMANDA TREJO  
MANUEL GOMEZ

537200017  
L GONZALES  
LUPE GONZALES  
2516 RALSTON LN  
REDONDO BEACH CA 90278

2435 W WESTWARD AVE  
BANNING CA 92220

544290012  
USA BIA  
2800 COTTAGE WAY  
SACRAMENTO CA 95825

544250010  
ROBERT I SHADRICK  
IRENE SHADRICK  
28895 AVE ESTRELLA  
QUAIL VALLEY CA 92587

544250021  
DAVID L KEY  
PATRICIA A KEY  
PEGGY A PIERSON

300 S HIGHLAND SPRINGS 6C  
BANNING CA 92220

537130021  
LAWRENCE E WILLIAMS  
BERTHA J WILLIAMS  
306 N SAINT CRISPEN AVE  
BREA CA 92821

537200016  
HELENE SPRING PAUGH  
3306 SAN ANSELINA AVE  
LONG BEACH CA 90808

537130012  
DORA J NORDQUIST  
4133 W WILSON ST NO 56  
BANNING CA 92220

537130017  
JESUS A DELGADO  
MARIA ELENA DELGADO  
42650 HILLTOP DR  
BANNING CA. 92220

537130022  
HAROLD W STEWART  
CHRISTINA L MUSCATELLI STEWART  
42700 DEATH VALLEY  
BANNING CA. 92220



544260029  
WILLIAM S MILLER  
ANN M MILLER  
42755 ROADRUNNER CIR  
BANNING CA. 92220

537130019  
ROBERT E ALGEA  
JUDY K ALGEA  
42850 HILLTOP DR  
BANNING CA. 92220

544250019  
HIGHLAND CREST FARMS  
42950 LONGHORN DR  
BANNING CA. 92220

537200029  
KATIE BRAY  
43091 BOBCAT RD  
BANNING CA. 92220

537200010  
DARRELL W ROMAN  
43144 HILLTOP DR  
BANNING CA. 92220

537200009  
DARRELL W ROMAN  
43144 HILLTOP DR  
BANNING CA. 92220

537200028  
EZEQUIEL MACIAS  
RAQUEL V MACIAS  
43145 BOB CAT RD  
BANNING CA. 92220

537200013  
EMILY MALDONADO  
JUAN M MALDONADO  
43320 HILLTOP DR  
BANNING CA. 92220

537200023  
JOEL ERIC LISK  
43328 COYOTE TR  
BANNING CA. 92220

544290004  
JACK LEE NAKAMOTO  
J LEE NAKAMOTO  
43330 LONGHORN RD  
BANNING CA. 92220

544290002  
JACK NAKAMOTO  
43330 LONGHORN RD  
BANNING CA. 92220

537200020  
BRUCE N PHILLIPS  
GLENDA M PHILLIPS  
43344 HILLTOP DR  
BANNING CA. 92220

537200015  
JACK F UNDERHILL  
WENDY C UNDERHILL  
43363 HILL TOP DR  
BANNING CA. 92220

544290031  
CESAR RAMOS  
43395 LONGHORN RD  
BANNING CA. 92220

537200014  
KENNETH D LICKLIDER  
43455 HILLTOP DR  
BANNING CA. 92220

544290033  
TIMOTHY TRUMAN NELSON  
JENNIFER ANN NELSON  
43485 LONGHORN RD  
BANNING CA. 92220

544290032  
ROGER PRUITT  
NANCY PRUITT  
43495 LONGHORN  
BANNING CA 92220

544290015  
RODNEY G FISHER  
4360 RIM CREST  
NORCO CA 92860

544250007  
ISSAC NORTE  
46926 VERDUGO RD  
BANNING CA 92220

537200011  
JONATHAN ROMO  
511 W LATHAM AVE  
HEMET CA 92543

544260003  
TOMMIE L ZACHRY  
RENEE A VOGELHUT  
5113 W HILTON HEAD DR  
BANNING CA 92220

544250022  
EARL G ROBERTS  
5188 SAVANNAH DR  
BANNING CA 92220

544260010  
SUSAN KISHI LEW  
S K LEW  
700 E PAMELA RD  
ARCADIA CA 91006

537200006  
KELLY LAWRENCE  
726 E MOUNTAIN VIEW AVE  
GLEN DORA CA 91741

537130016  
BARRY CAMPBELL  
PENNY CAMPBELL  
795 E 6TH ST SUITE D  
BEAUMONT CA 92223

537120030  
LENNAR HOMES OF CALIF INC  
MSD SUNSET CROSSROADS  
980 MONTECITO DR STE 302  
CORONA CA 92879

544250017  
SUNBAN  
P O BOX 1106  
SAN BERNARDINO CA 92401

537200022  
JOSEPH G BRUNEY  
P O BOX 644  
QUINCY IL 62306

544290016  
RODNEY G FISHER  
P O BOX 6557  
NORCO CA 92860

544260028  
JEFFREY S SWENDLER  
P O BOX 672  
BEAUMONT CA 92223

537130018  
JERRY CONANT  
LYNDA CONANT  
P O BOX 7908  
RIVERSIDE CA 92513

537130013  
STEWART R NESCHER  
KATHLEEN NESCHER  
P O BOX 792  
BEAUMONT CA 92223

537120023  
CITY OF BANNING  
P O BOX 998  
BANNING CA 92220

537130023  
RICHARD RUTHERFORD  
GINA RUTHERFORD  
PO BOX 167  
BANNING CA 92220



**Applicant/Owner:**  
Kenneth Licklider  
7953 N Old Route 31  
Denver, IN 46926

**Applicant/Owner:**  
Kathleen Browne  
3271 North I Street  
San Bernadino, CA 92405

Annie Giovacchini  
Division of Land Resources Protection  
California Department of Conservation  
801 K Street, MS 14-15  
Sacramento, CA 95814

Director of California Department of Conservation  
801 K Street, MS 14-15  
Sacramento, CA 95814

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Dated: March 12, 2020

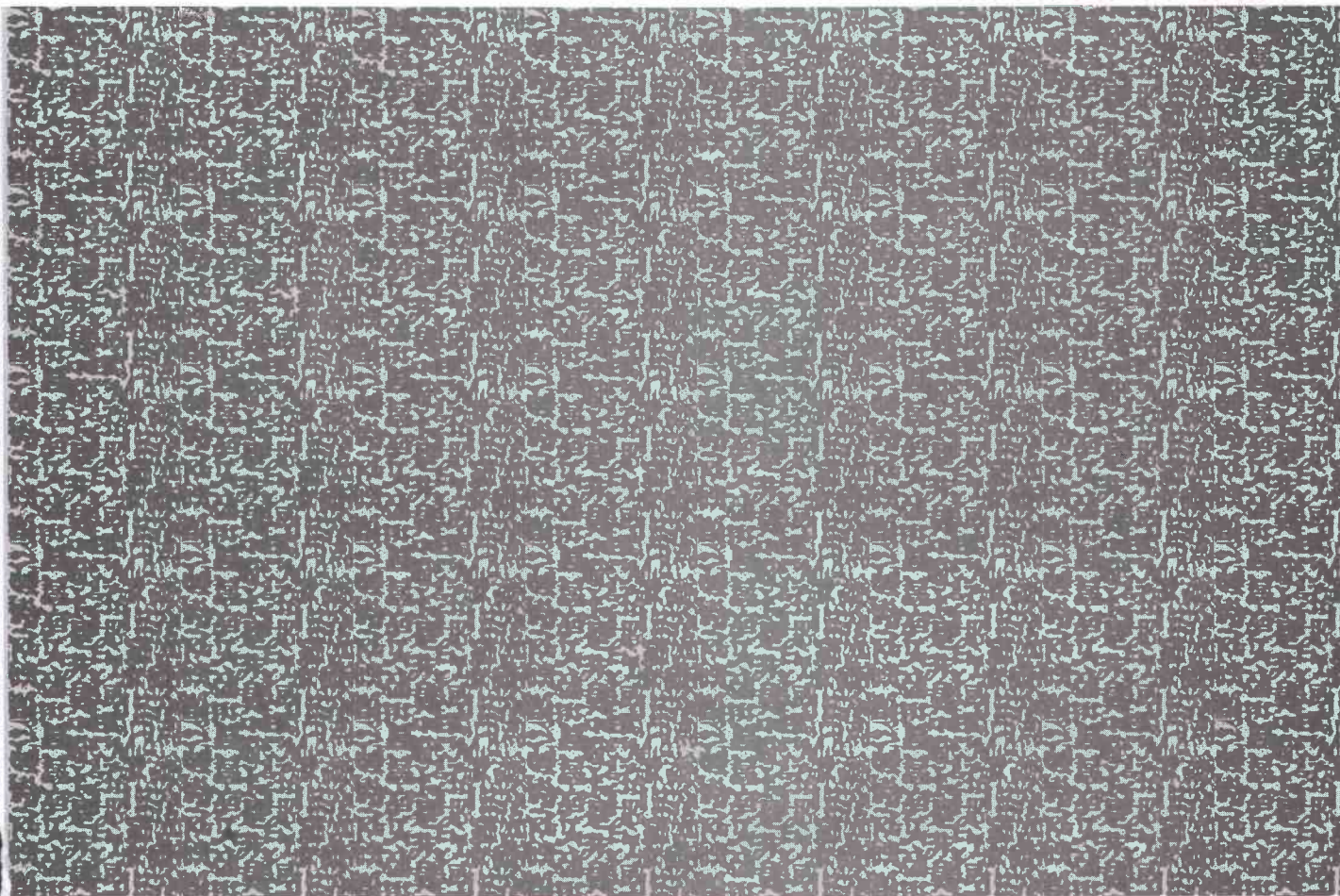
Kecia R. Harper, Clerk of the Board

By: Hannah Lumanauw, Board Assistant





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Riverside County Clerk of the Board  
County Administrative Center  
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## PUBLIC HEARING NOTICE

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Dated: March 12, 2020

Kecia R. Harper, Clerk of the Board

By: Hannah Lumanauw, Board Assistant

CLERK / BOARD OF SUPERVISORS  
COUNTY OF RIVERSIDE

2020 MAR 24 AM 10:34



Riverside County Clerk of the Board  
County Administrative Center  
4080 Lemon Street, 1<sup>st</sup> Floor Annex  
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Riverside, CA 92502-1147

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REMOVE SIDE EDGES FIRST  
THEN FOLD AND TEAR THIS STUB ALONG PERFORATION



STATE OF CALIFORNIA - THE RESOURCES AGENCY  
DEPARTMENT OF FISH AND GAME  
**ENVIRONMENTAL FILING FEE CASH RECEIPT**

Receipt #: 20-89182

State Clearinghouse # (if applicable): \_\_\_\_\_

Lead Agency: CLERK OF THE BOARD

Date: 03/12/2020

County/Agency of Filing: RIVERSIDE

Document No: E-202000277

Project Title: NOTICE OF HEARING PRESERVE CASE NO. 1062, ENVIRONMENTAL ASSES NO. 43010

Project Applicant Name: CLERK OF THE BOARD

Phone Number: \_\_\_\_\_

Project Applicant Address: 4080 LEMON STREET 1ST FLOOR, RIVERSIDE, CA 92502

Project Applicant: LOCAL PUBLIC AGENCY

CHECK APPLICABLE FEES:

☐ Environmental Impact Report

☐ Negative Declaration

☐ Application Fee Water Diversion (State Water Resources Control Board Only)

☐ Project Subject to Certified Regulatory Programs

☐ County Administration Fee

\$0.00

☐ Project that is exempt from fees (DFG No Effect Determination (Form Attached))

☐ Project that is exempt from fees (Notice of Exemption)

Total Received

\$0.00

Signature and title of person receiving payment:

C. Sandral

Deputy

Notes:



**NOTICE OF PUBLIC HEARING BEFORE THE BOARD OF SUPERVISORS OF RIVERSIDE COUNTY ON AN AGRICULTURAL PRESERVE CASE AND RESOLUTION IN THE BANNING ZONING DISTRICT AREA, FIFTH SUPERVISORIAL DISTRICT**

NOTICE IS HEREBY GIVEN that a public hearing at which all interested persons will be heard, will be held before the Board of Supervisors of Riverside County, California, on the 1<sup>st</sup> Floor Board Chambers, County Administrative Center, 4080 Lemon Street, Riverside, on **Tuesday, April 7, 2020 at 10:00 A.M.** or as soon as possible thereafter, to consider the Planning Department's recommended approval on **Agricultural Preserve Case No. 1062**, which requests to remove approximately 10 acres of land that is currently subject to a Land Conservation contract from San Geronio Pass Agricultural Preserve No. 1. This project is located north of Death Valley Road, south of Hill Top Drive, east of Sunset Avenue, and west of Turtle Dove Lane in the Banning Zoning District area of the Fifth Supervisorial District.

The Planning Department recommends that the Board of Supervisors approve the project and adopt a Negative Declaration for **Environmental Assessment No. 43010**.

The project case file may be viewed from the date of this notice until the public hearing, Monday through Friday, from 8:00 a.m. to 5:00 p.m. at the Riverside County Planning Department at 4080 Lemon Street, 12th Floor, Riverside, California 92501.

FOR FURTHER INFORMATION REGARDING THIS PROJECT, PLEASE CONTACT LARRY ROSS, PRINCIPAL PLANNER, AT (951)-955-9294 OR EMAIL [lross@rivco.org](mailto:lross@rivco.org).

Any person wishing to testify in support of or in opposition to the project may do so in writing between the date of this notice and the public hearing, or may appear and be heard at the time and place noted above. All written comments received prior to the public hearing will be submitted to the Board of Supervisors and the Board of Supervisors will consider such comments, in addition to any oral testimony, before making a decision on the project.

If you challenge the above item in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence to the Planning Commission or Board of Supervisors at, or prior to, the public hearing. Be advised that as a result of the public hearing and the consideration of all public comment, written and oral, the Board of Supervisors may amend, in whole or in part, the project and/or the related environmental document. Accordingly, the designations, development standards, design or improvements, or any properties or lands within the boundaries of the project, may be changed in a way other than specifically proposed.

Alternative formats available upon request to individuals with disabilities. If you require reasonable accommodation, please contact Clerk of the Board at (951) 955-1063, at least 72 hours prior to hearing.

Please send all written correspondence to: Clerk of the Board, 4080 Lemon Street, 1st Floor, Post Office Box 1147, Riverside, CA 92502-1147 or email [cob@rivco.org](mailto:cob@rivco.org)

Dated: March 12, 2020

Kecia R. Harper, Clerk of the Board  
By: Hannah Lumanauw, Board Assistant

**FILED / POSTED**

County of Riverside  
Peter Aldana  
Assessor-County Clerk-Recorder

E-202000277  
03/12/2020 03:35 PM Fee: \$ 0.00  
Page 1 of 1

Removed: APR 21 2020 By:  Deputy



PLEASE COMPLETE THIS INFORMATION

RECORDING REQUESTED BY:

KECIA HARPER-IHEM, CLERK OF THE BOARD  
RIVERSIDE CO. CLERK OF THE BOARD  
4080 LEMON STREET, 1<sup>ST</sup> FLOOR CAC  
PO BOX 1147 - RIVERSIDE, CA 92502

**MAIL STOP # 1010**

AND WHEN RECORDED MAIL TO:

**RETURN TO: STOP #1010**  
RIVERSIDE COUNTY CLERK OF THE BOARD  
PO BOX 1147 - RIVERSIDE, CA 92502

**2015-0206993**

05/18/2015 04:07 PM Fee: \$ 0.00

Page 1 of 6

Recorded in Official Records  
County of Riverside  
Peter Aldana  
Assessor-County Clerk-Recorder



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THIS SPACE FOR RECORDERS USE ONLY

**NOTICE OF NON-RENEWAL**  
**AGRICULTURAL PRESERVE (AGN00169)**  
**Client Submittal Date: May 6, 2015**

**San Geronio Pass Agricultural Preserve No. 1, Map No. 161**

**Current Owners:**  
**Kenneth Licklinder**

**TLMA/PLANNING**

5012 700 1e 0411:08  
THIS PAGE ADDED TO PROVIDE ADEQUATE SPACE  
FOR RECORDING INFORMATION

2015-0-12775

**EXHIBIT A**  
**SAN GORGONIO AGRICULTURAL PRESERVE NO. 1**  
**MAP NO. 161**  
**(NOTICE OF NON-RENEWAL)**

The following described Real Property of Riverside County, State of California, described as follows:

LOT 9 OF DR. OSCAR HAAS'S GRANDVIEW SUBDIVISION, IN COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 9, PAGE 2 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

Assessor Parcel No.		Acres (net)		Owner
537-200-014		10		Kenneth Licklider



PLEASE COMPLETE THIS INFORMATION

RECORDING REQUESTED BY:

CLERK OF THE BOARD  
DEPARTMENT  
(CAC - 1<sup>st</sup> Floor)

AND WHEN RECORDED MAIL TO:

RETURN TO STOP#1010  
Clerk of the Board  
(CAC Bldg. - 1<sup>st</sup> Floor)

THIS SPACE FOR RECORDERS USE ONLY

NOTICE OF NONRENEWAL NO. AGN00169 FOR THE ENTIRE PROPERTY  
UNDER A LAND CONSERVATION CONTRACT

NOTICE IS HEREBY GIVEN pursuant to Section 51245 of the California Government Code that the undersigned, being all of the owners of the affected real property, elect not to renew Land Conservation Contract or Agreement dated Jan. 1, 1972 and recorded on Feb. 29, 1972 as Instrument No. 26466 in the Office of the County Recorder of Riverside County, California. The real property affected by this notice is located in the San Geronimo Pass Agricultural Preserve No. 1, Map No. 161, dated Jan. 18, 1972.

(See attached Legal)

Assessor's Parcel Number(s) of land affected: 537-200-014-4

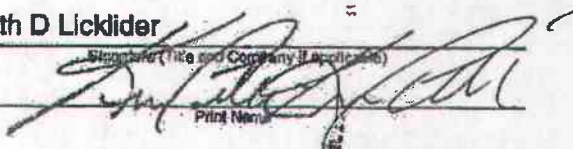
ORIGINAL OWNER(S)

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

CURRENT OWNER(S)

Kenneth D Licklider

Signature (Title and Company if applicable)

NA   
Print Name

NA

Signature (Title and Company if applicable)

NA  
Print Name

NA

Signature (Title and Company if applicable)

NA  
Print Name

NA

Signature (Title and Company if applicable)

Print Name

(All original and current owners must be listed)

Acknowledgement of Receipt  
Kecia Harper-Ihem, Clerk of the Board

By: Kailup Gitan

Deputy

Date: 5/18/15

**NOTARY ACKNOWLEDGMENT**

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

STATE OF ~~CALIFORNIA~~ Indiana )

COUNTY OF Howard )

On 28 April 15 before me, Lindsey Krisher Notary Public  
(Date) (Name and title of officer (e.g. "James Doe, Notary Public"))

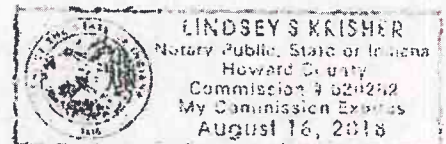
personally appeared Kenneth D. Licklider who  
(Name(s) of signer(s))

proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal. ~

Lindsey S. Krisher  
Notary Public



# MAP NO 161

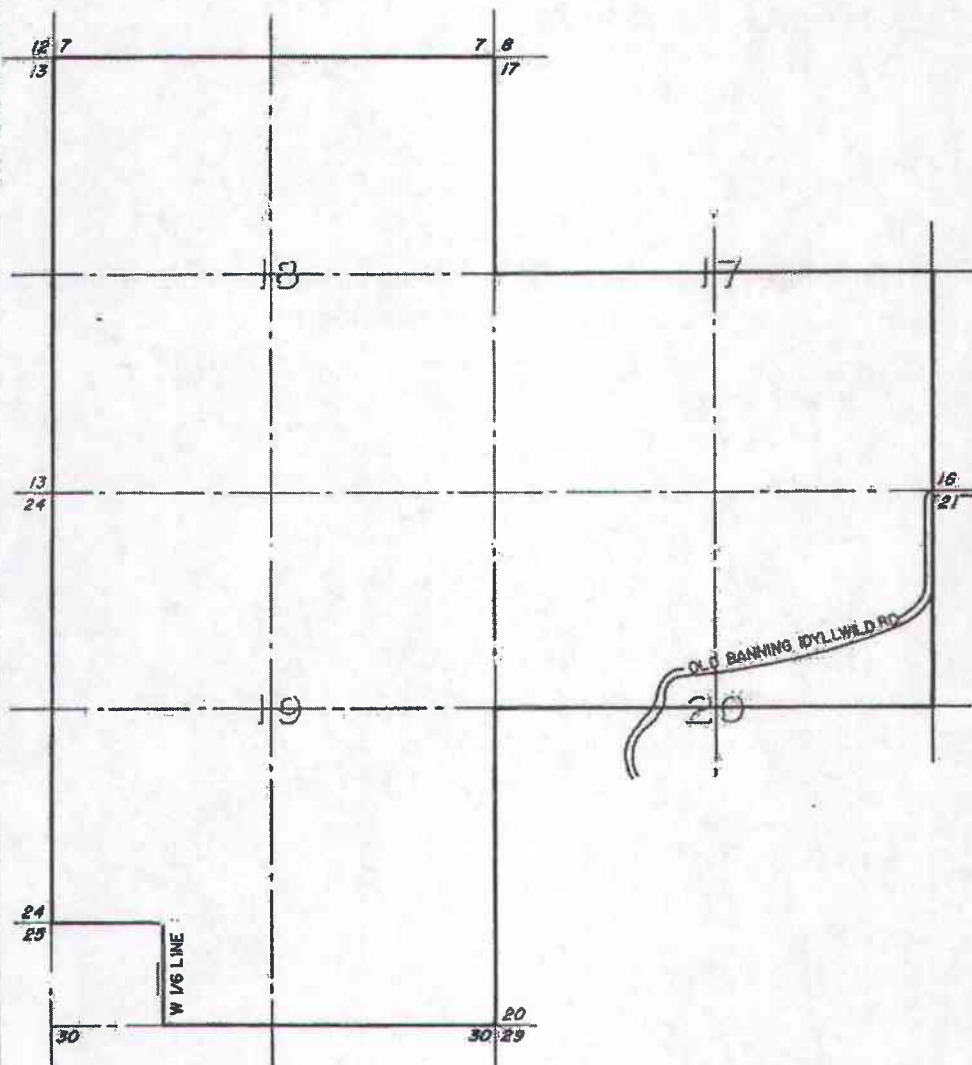
## SAN GORGONIO PASS

### AGRICULTURAL

### PRESERVE

### NO 1

T. 3S — R. 1E



ADOPTED ON JANUARY 18, 1972  
BY THE BOARD OF SUPERVISORS  
OF THE COUNTY OF RIVERSIDE,  
STATE OF CALIFORNIA



0 1000 2000





**PETER ALDANA  
COUNTY OF RIVERSIDE  
ASSESSOR-COUNTY CLERK-RECORDER**

**Recorder**  
P.O. Box 751  
Riverside, CA 92502-0751  
(951) 486-7000

www.riversideacr.com

**CERTIFICATION**

Pursuant to the provisions of Government Code 27361.7, I certify under the penalty of perjury that the following is a true copy of illegible wording found in the attached document:

(Print or type the page number(s) and wording below):

CLARIFICATION OF THE SEAL for the Riverside County Board of Supervisors  
(embossed on document)



Date:

5-18-15

Signature:

*Karen Barton*

Print Name:

Karen Barton, Board Assistant, Riverside County Clerk of the Board

# AG No. 1062 – SAN GORGONIO PASS AGRICULTURAL PRESERVE NO. 1, MAP NO. 161

Findings:	Planning	Ag. Commissioner	Cooperative Extension	Natural Resource Conservation District	Assessor
1. The application to delete lands from a preserve is for land on which a notice of nonrenewal has been served.	T	T	T	T	T
2. The application to delete lands from a preserve is not likely to result in the removal of adjacent lands from agricultural uses.	T	T	T	T	T
3. The proposed alternative use is consistent with the applicable provisions of the County general plan.	T	T	T	T	T
4. The cancellation will not result in discontinuous patterns of urban development.	T	T	T	T	T
5. A. There is no proximate non-contracted land which is both available and suitable for the proposed use; or, B. the development of the contracted land would provide more contiguous patterns of urban development than development of proximate non-contracted land.	T	T	T	T	T

Use True (Agree) or False (Do Not Agree) to answer each statement.



**PETER ALDANA  
COUNTY OF RIVERSIDE  
ASSESSOR-COUNTY CLERK-RECORDER**

Assessor  
P.O. Box 751  
Riverside, CA 92502-0751  
(951) 955-6200

Website: [www.riversideacr.com](http://www.riversideacr.com)  
Portal: [www.riversidetaxinfo.com](http://www.riversidetaxinfo.com)

**NOTICE OF AGRICULTURE PRESERVE CANCELLATION VALUE**

**Date Certified Mailed:** March 19, 2020

March 17, 2020

Licklider, Kenneth D.  
43455 Hilltop Dr.  
Banning, CA 92220

To Whom It May Concern,

Re: Agricultural Preserve Cancellation Valuation; Case 1062; San Gorgonio Pass  
Agricultural Preserve Number 1, County of Riverside, California

In accordance with Government Code Section 51203, notice is hereby given that a valuation was done by the Riverside County Assessor's Office to determine the cancellation value of an agricultural preserve parcel in Agricultural Preserve San Gorgonio Pass Number 1 (Unincorporated Area of the City of Banning, Riverside County, CA). The effective date of this valuation was March 17, 2020. Within 45 days of receiving this notice, the landowner or the California Department of Conservation (DOC) may request formal review from the County Assessor. The DOC or landowner shall submit to the Assessor and the other party the reasons for believing the valuation is not accurate and the additional information the requesting party believes may substantiate a recalculation of the property valuation.

Assessor's Parcel Number	Cancellation Value
537200014-4 (10.00 of 10.00 Acres)	\$ 150,000
Cancellation Fee @ 12.5%	\$ 18,750

Sincerely,

Peter Aldana  
Assessor-Clerk-Recorder

By: John E. O'Neil  
Supervising Appraiser  
Agriculture Division

CC: California Department of Conservation





**PETER ALDANA  
COUNTY OF RIVERSIDE  
ASSESSOR-COUNTY CLERK-RECORDER**

Assessor  
P.O. Box 751  
Riverside, CA 92502-0751  
(951) 955-6200

Website: [www.riversideacr.com](http://www.riversideacr.com)  
Portal: [www.riversidetaxinfo.com](http://www.riversidetaxinfo.com)

**ADDENDUM: Payment Instructions**

To remit payment of the cancellation penalty, please provide a copy of the "Notice of Agriculture Preserve Cancellation Value" along with the payment to the Riverside County Treasurer. The payment may be remitted in person directly to the following address:

Riverside County Treasurer  
4080 Lemon St., 4<sup>th</sup> Fl.  
Riverside, CA 92501

Or mailed to the following address:

Riverside County Treasurer  
P.O. Box 12005  
Riverside, CA 92502-2205

Please make checks payable to:  
Riverside County Treasurer

Provide proof of payment to the applicable planning department for which the cancellation application was filed for the Final Cancellation to receive the department's Board of Supervisors' or City Council's approval.

# COUNTY OF RIVERSIDE

## ENVIRONMENTAL ASSESSMENT FORM: INITIAL STUDY

**Environmental Assessment (CEQ / EA) Number:** EA43010

**Project Case Types and Numbers:** Conditional Use Permit No. 3771 and Agricultural Preserve No. 1062

**Lead Agency Name:** Riverside County Planning Department

**Address:** P.O. Box 1409, Riverside, CA 92502-1409

**Contact Person:** Ken Baez for Dionne Harris

**Telephone Number:** (951) 955-6836

**Applicant's Name:** Kenneth Licklider

**Applicant's Address:** 43455 Hilltop Drive, Banning, CA 92220

### I. PROJECT INFORMATION

#### Project Description:

**CONDITIONAL USE PERMIT NO. 3771**, proposes to expand the existing law enforcement K9 dog kennel training facility to increase the kennel's capacity to 80 dogs, changing the facility from a Class I Kennel to a Class IV Kennel. The previously approved project Plot Plan No. 25072 permitted the applicant to house up to 10 dogs at the kennel. An assortment of explosives are used to train police and military dogs to detect the odor of explosives. This will range from high explosives to low explosives and are maintained in an approved explosives magazine surrounded by a concrete bunker located in the open exercise. These explosives are used for off-site detection contracts which involve cargo and shipping facilities. No ignitions systems will be stored at the site. The expansion will include the construction of a 6,000 square foot office and training facility, two (2) 3,000 square foot kennels (each with a 30-dog capacity) not open to the public, additional OWTS facilities will be constructed. The hours of operation are 7:30am - 5:30pm, Monday through Friday. The dogs are to be trained for police and law enforcement agencies only, and not available for purchase by the general public ('the Project').

**AGRICULTURAL PRESERVE NO. 1062 (DIMINISHMENT/CANCELLATION)/ AGRICULTURAL PRESERVE NOTICE OF NON-RENEWAL NO. 169** - The applicant proposes to delete (diminish) 10 acres from San Geronio Pass Agricultural Preserve No. 1 and cancel the land conservation contract executed for San Geronio Pass No. 1, Amendment #6, Map No. 161. The applicant also filed an application for a notice of nonrenewal for the abovementioned land conservation contract.

**A. Type of Project:** Site Specific ☒; Countywide ☐; Community ☐; Policy ☐.

**B. Total Project Area:** 10 acres

<b>Residential Acres:</b>	<b>Lots:</b>	<b>Units:</b> 1	<b>Projected No. of Residents:</b> 3
<b>Commercial Acres:</b>	<b>Lots:</b>	<b>Sq. Ft. of Bldg. Area:</b> 12,000	<b>Est. No. of Employees:</b> 3
<b>Industrial Acres:</b>	<b>Lots:</b>	<b>Sq. Ft. of Bldg. Area:</b>	<b>Est. No. of Employees:</b>
<b>Other:</b> Light Agriculture - 10 acres			

**C. Assessor's Parcel No(s):** 537-200-014

**Street References:** North and adjacent to Death Valley Road, southerly of Interstate 10 and south of and adjacent to Hilltop Drive, easterly of Sunset Avenue, and west of Turtle Dove Lane.

**D. Section, Township & Range Description or reference/attach a Legal Description:** Section 17 S, Township 3 South, Range 1 East SBBM.



- E. Brief description of the existing environmental setting of the project site and its surroundings:** The project site is located within The Pass Area Plan of Western Riverside County, approximately a quarter-mile outside the southern jurisdictional boundary of the City of Banning. The surrounding area is characterized by small rolling hills interspersed with relatively flat level land and consists of 10+ acre properties developed with single-family residences and horse facilities (corrals, barns, etc.). Vacant fallow agricultural/grazing fields are to the immediate north, east, and west of the site. All roads leading to the property from Sunset Avenue, located west of the site, are unimproved and not County-maintained roads. Two small natural drainage courses traverse the unimproved portion of Sunset Avenue, between Westward Avenue and Bob Cat Road. Immediately to the west and adjacent to the site is a single-family residence and the land appears to have once been used to grow plants for use in floral arrangements but is no longer maintained. The site has been highly disturbed by past and present use of the existing residential structure, garage, and through kennel operations, which are concentrated on the southern portion of the parcel. Other areas of the property have been cleared of vegetation, planted with grass, or covered with crushed gravel. Several dirt roads traverse the property and trees are scattered throughout the site, primarily in the open area north of the existing residence and along the dirt road south of the existing kennel.

## **II. APPLICABLE GENERAL PLAN AND ZONING REGULATIONS**

### **A. General Plan Elements/Policies:**

- 1. Land Use:** The proposed project is consistent with the Agriculture (AG) land use designation and other applicable land use policies within the General Plan.
- 2. Circulation:** The project has adequate circulation to the site and is therefore consistent with the Circulation Element of the General Plan and other applicable circulation policies of the General Plan.
- 3. Multipurpose Open Space:** The project site is located within the Western Riverside County Multi-Species Habitat Conservation Plan Fee Area and is required to pay the appropriate fees. The proposed project is consistent with all other applicable Multipurpose Open Space Element policies of the General Plan.
- 4. Safety:** The proposed project is not located within a fault zone or within any other special hazard zone (including dam inundation zone, liquefaction, etc.). The proposed project has allowed for sufficient provision of emergency response services and safety measures to the project through project design and payment of development impact fees. The proposed project meets with all other applicable Safety Element policies.
- 5. Noise:** A Noise Impact Study was prepared for the proposed project and determined that noise impacts on the nearest receptor would not exceed noise levels in excess of standards established in the General Plan or noise ordinance. The proposed project meets all other applicable Noise Element policies.
- 6. Housing:** The proposed project is the expansion of an existing dog kennel and does not entail the displacement of existing housing nor does it create the need for new housing; therefore, the proposed project will not conflict with General Plan Housing Element policies.
- 7. Air Quality:** The proposed project will include site preparation and construction-related activities. The project will comply with all applicable regulatory requirements to control



fugitive dust during grading and construction activities and will not conflict with General Plan Air Quality Element policies.

8. **Healthy Communities:** The proposed project meets all applicable Health Community element policies.

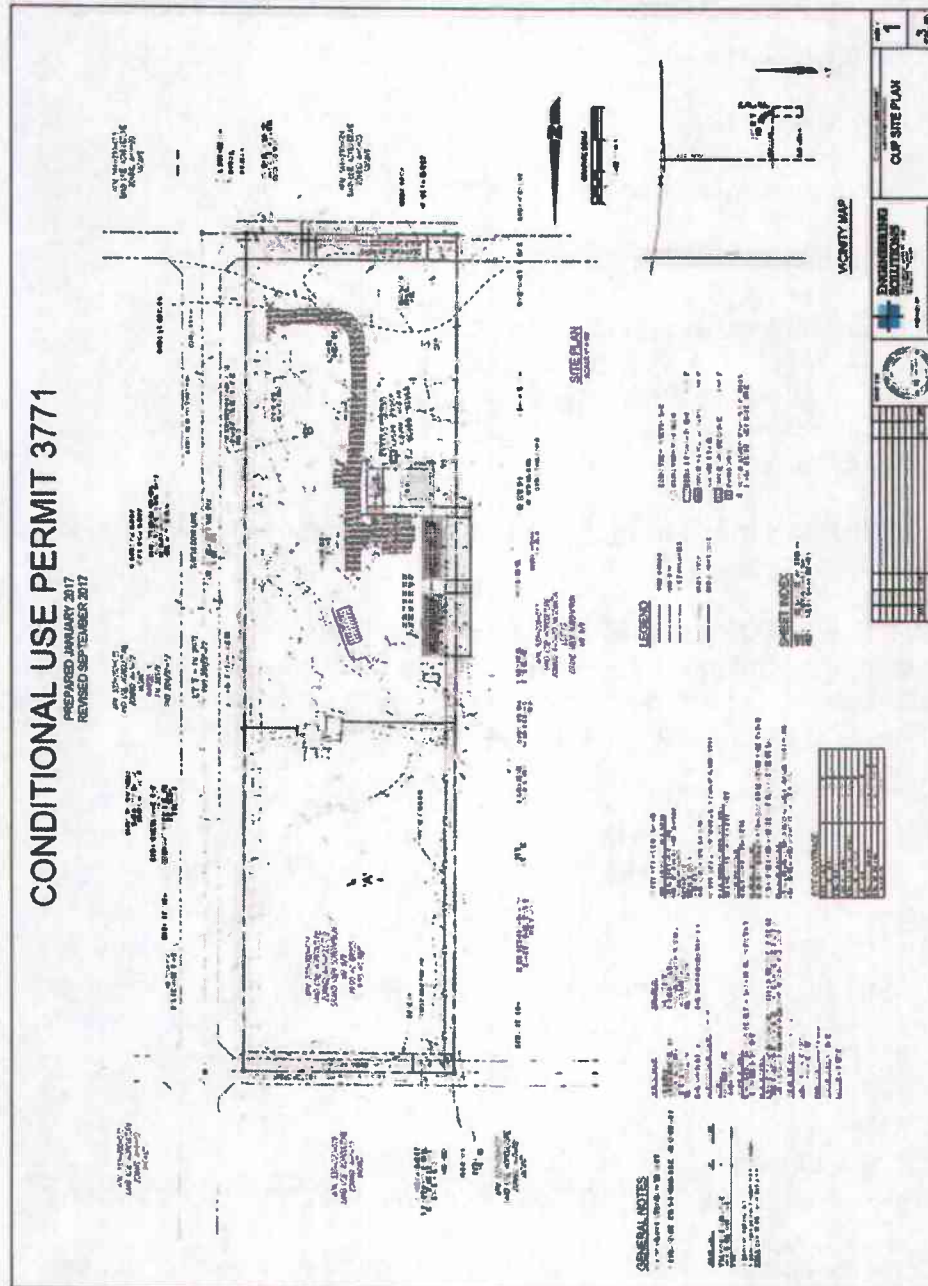


Exhibit A. Conditional Use Permit No. 3771 — Site Plan

- A. Land Use Designation(s): Agriculture (AG)
- B. Overlay(s), if any: N/A
- C. Policy Area(s), if any: N/A

D. **Adjacent and surrounding:** to the north, south, east and west is Agriculture (AG).

1. **General Plan Area Plan(s):** The Pass
2. **Foundation Component(s):** Agriculture
3. **Land Use Designation(s):** Agriculture
4. **Overlay(s), if any:** N/A
5. **Policy Area(s), if any:** N/A

E. **Adopted Specific Plan Information**

1. **Name and Number of Specific Plan, if any:** N/A
2. **Specific Plan Planning Area, and Policies, if any:** N/A

F. **Existing Zoning:** Light Agriculture (A-1) 10 acre minimum

G. **Proposed Zoning, if any:** N/A

H. **Adjacent and Surrounding Zoning:** Light Agriculture (A-1) 10 acre minimum and Light Agriculture (A-1) 20 acre minimum

II. **ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED**

The environmental factors checked below ( x ) would be potentially affected by this project, involving at least one impact that is a "Potentially Significant Impact" or "Less than Significant with Mitigation Incorporated" as indicated by the checklist on the following pages.

- |   |  |   |
|---|--|---|
| <input type="checkbox"/> Aesthetics                     | <input type="checkbox"/> Hazards & Hazardous Materials | <input type="checkbox"/> Recreation                         |
| <input type="checkbox"/> Agriculture & Forest Resources | <input type="checkbox"/> Hydrology / Water Quality     | <input type="checkbox"/> Transportation                     |
| <input type="checkbox"/> Air Quality                    | <input type="checkbox"/> Land Use / Planning           | <input type="checkbox"/> Tribal Cultural Resources          |
| <input type="checkbox"/> Biological Resources           | <input type="checkbox"/> Mineral Resources             | <input type="checkbox"/> Utilities / Service Systems        |
| <input type="checkbox"/> Cultural Resources             | <input type="checkbox"/> Noise                         | <input type="checkbox"/> Wildfire                           |
| <input type="checkbox"/> Energy                         | <input type="checkbox"/> Paleontological Resources     | <input type="checkbox"/> Mandatory Findings of Significance |
| <input type="checkbox"/> Geology / Soils                | <input type="checkbox"/> Population / Housing          |   |
| <input type="checkbox"/> Greenhouse Gas Emissions       | <input type="checkbox"/> Public Services               |   |

III. **DETERMINATION**

On the basis of this initial evaluation:

**A PREVIOUS ENVIRONMENTAL IMPACT REPORT/NEGATIVE DECLARATION WAS NOT PREPARED**

☒ I find that the proposed project **COULD NOT** have a significant effect on the environment, and a **NEGATIVE DECLARATION** will be prepared.

☐ I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because revisions in the project, described in this document, have been made or agreed to by the project proponent. **A MITIGATED NEGATIVE DECLARATION** will be prepared.

☐ I find that the proposed project **MAY** have a significant effect on the environment, and an **ENVIRONMENTAL IMPACT REPORT** is required.



**A PREVIOUS ENVIRONMENTAL IMPACT REPORT/NEGATIVE DECLARATION WAS PREPARED**

☐ I find that although the proposed project could have a significant effect on the environment, **NO NEW ENVIRONMENTAL DOCUMENTATION IS REQUIRED** because (a) all potentially significant effects of the proposed project have been adequately analyzed in an earlier EIR or Negative Declaration pursuant to applicable legal standards, (b) all potentially significant effects of the proposed project have been avoided or mitigated pursuant to that earlier EIR or Negative Declaration, (c) the proposed project will not result in any new significant environmental effects not identified in the earlier EIR or Negative Declaration, (d) the proposed project will not substantially increase the severity of the environmental effects identified in the earlier EIR or Negative Declaration, (e) no considerably different mitigation measures have been identified and (f) no mitigation measures found infeasible have become feasible.

☐ I find that although all potentially significant effects have been adequately analyzed in an earlier EIR or Negative Declaration pursuant to applicable legal standards, some changes or additions are necessary but none of the conditions described in California Code of Regulations, Section 15162 exist. An **ADDENDUM** to a previously-certified EIR or Negative Declaration has been prepared and will be considered by the approving body or bodies.

☐ I find that at least one of the conditions described in California Code of Regulations, Section 15162 exist, but I further find that only minor additions or changes are necessary to make the previous EIR adequately apply to the project in the changed situation; therefore a **SUPPLEMENT TO THE ENVIRONMENTAL IMPACT REPORT** is required that need only contain the information necessary to make the previous EIR adequate for the project as revised.

☐ I find that at least one of the following conditions described in California Code of Regulations, Section 15162, exist and a **SUBSEQUENT ENVIRONMENTAL IMPACT REPORT** is required: (1) Substantial changes are proposed in the project which will require major revisions of the previous EIR or negative declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; (2) Substantial changes have occurred with respect to the circumstances under which the project is undertaken which will require major revisions of the previous EIR or negative declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; or (3) New information of substantial importance, which was not known and could not have been known with the exercise of reasonable diligence at the time the previous EIR was certified as complete or the negative declaration was adopted, shows any the following: (A) The project will have one or more significant effects not discussed in the previous EIR or negative declaration; (B) Significant effects previously examined will be substantially more severe than shown in the previous EIR or negative declaration; (C) Mitigation measures or alternatives previously found not to be feasible would in fact be feasible, and would substantially reduce one or more significant effects of the project, but the project proponents decline to adopt the mitigation measures or alternatives; or, (D) Mitigation measures or alternatives which are considerably different from those analyzed in the previous EIR or negative declaration would substantially reduce one or more significant effects of the project on the environment, but the project proponents decline to adopt the mitigation measures or alternatives.



Signature

2/3/20

Date

Ken Baez, Principal Planner

For: Charissa Leach, P.E.  
Assistant TLMA Director

Printed Name



#### IV. ENVIRONMENTAL ISSUES ASSESSMENT

In accordance with the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000-21178.1), this Initial Study has been prepared to analyze the proposed project to determine any potential significant impacts upon the environment that would result from construction and implementation of the project. In accordance with California Code of Regulations, Section 15063, this Initial Study is a preliminary analysis prepared by the Lead Agency, the County of Riverside, in consultation with other jurisdictional agencies, to determine whether a Negative Declaration, Mitigated Negative Declaration, or an Environmental Impact Report is required for the proposed project. The purpose of this Initial Study is to inform the decision-makers, affected agencies, and the public of potential environmental impacts associated with the implementation of the proposed project.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>AESTHETICS</b> Would the project:				
<b>1. Scenic Resources</b>				
a) Have a substantial effect upon a scenic highway corridor within which it is located?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings and unique or landmark features; obstruct any prominent scenic vista or view open to the public; or result in the creation of an aesthetically offensive site open to public view?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) In non-urbanized areas, substantially degrade the existing visual character or quality of public views of the site and its surroundings? (Public views are those that are experienced from publicly accessible vantage points.) If the project is in an urbanized area, would the project conflict with applicable zoning and other regulations governing scenic quality?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Source(s):** Riverside County General Plan Figure C-9 "Scenic Highways," and Project Application Materials

**Findings of Fact:** a-c) **No Impact.** The project site is not located near a scenic highway and no scenic resources or unique landmark features exist on the site. The proposed development area is located on the southern half of the property and, due to the natural topography of the site, cannot be seen from Hilltop Drive, located at the north end of the site. No development exists north, east or south of the site. One single-family dwelling is located on the property directly west of the site. However, due to the location of the proposed development, visibility from the residence is limited. Additionally, project application materials included building plans for the proposed development. These plans have been reviewed and conditionally approved by Planning Department staff and affected County agencies. Standard conditions of approval have been attached to CUP 3771 that require development of the project site substantially conform with the approved site plan and, therefore, will not result in the creation of an aesthetically offensive site open to public view. No potential adverse direct, indirect or cumulative impacts on scenic resources will result from project development. There will be no impacts.

**Mitigation:** No mitigation is required.

**Monitoring:** No monitoring is required.

## 2. Mt. Palomar Observatory

a) Interfere with the nighttime use of the Mt. Palomar Observatory, as protected through Riverside County Ordinance No. 655?

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**Source(s):** GIS database, Ord. No. 655 (Regulating Light Pollution), and Project Application Materials

**Findings of Fact:** a) **Less Than Significant Impact.** The Pass Area Plan of the Riverside County General Plan, Figure 6 – Mt. Palomar Nighttime Lighting Policy Area, indicates that the project site is within Zone B of the policy area and, therefore, subject to the policies of Ordinance No. 655. All outdoor lighting proposed for the project will be shielded and directed downward and away from adjacent properties so as to minimize light pollution. Standard conditions of approval have been attached to CUP 3771 that require development of the project site substantially conform with the approved site plan and, therefore, will not result in the creation of new outdoor lighting that would interfere with the nighttime use of the Mt. Palomar Observatory. As a result, potential adverse direct, indirect or cumulative impacts on the Mt. Palomar Observatory are less than significant.

**Mitigation:** No mitigation is required.

**Monitoring:** No monitoring is required.

## 3. Other Lighting Issues

a) Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?

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b) Expose residential property to unacceptable light levels?

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**Source(s):** On-site Inspection, and Project Application Materials; Ordinance No. 915 (Regulating Outdoor Lighting)

**Findings of Fact:** a-b) **Less Than Significant Impact.** The project will have limited outdoor lighting, primarily located by the office/training barn. As previously stated, all outdoor lighting proposed for the project will be shielded and directed downward and away from adjacent properties and comply with the policies under Ordinance No. 655, regulating light pollution. The project will also be required to comply with Ordinance No. 915. Ordinance No. 915 requires all outdoor luminaires to be located, adequately shielded, and directed such that no direct light falls outside the parcel of origin, onto the public right-of-way. Ordinance No. 915 also prohibits blinking, flashing and rotating outdoor luminaires, with a few exceptions.

As a result, potential adverse direct, indirect or cumulative impacts through the creation of substantial light or glare are less than significant.

**Mitigation:** No mitigation is required.

**Monitoring:** No monitoring is required.

## AGRICULTURE & FOREST RESOURCES Would the project:

### 4. Agriculture

a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland) as shown on

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	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?				
b) Conflict with existing agricultural zoning, agricultural use or with land subject to a Williamson Act contract or land within a Riverside County Agricultural Preserve?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Cause development of non-agricultural uses within 300 feet of agriculturally zoned property (Ordinance No. 625 "Right-to-Farm")?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Source(s):** Riverside County General Plan Figure OS-2 "Agricultural Resources," GIS database, and Project Application Materials

**Findings of Fact:**

**a) No Impact.** According to the Farmland Mapping and Monitoring Program (FMMP), the project site is comprised of approximately 100% Other Lands Below are the defining factors of these designations:

**Prime Farmland** – Farmland with the best combination of physical and chemical features able to sustain long term agricultural production. This land has the soil quality, growing season, and moisture supply needed to produce sustained high yields. Land must have been used for irrigated agricultural production at some time during the four years prior to the mapping date.

**Unique Farmland** – Farmland of lesser quality soils used for the production of the state's leading agricultural crops. This land is usually irrigated, but may include non-irrigated orchards or vineyards as found in some climatic zones in California. Land must have been cropped at some time during the four years prior to the mapping date.

**Other Lands** – Land not included in any other mapping category. Common examples include low density rural developments; brush, timber, wetland, and riparian areas not suitable for livestock grazing; confined livestock, poultry or aquaculture facilities; strip mines, borrow pits and water bodies smaller than 40 acres. Vacant and nonagricultural land surrounded on all sides by urban development and greater than 40 acres is mapped as Other Land.

The project applicant is requesting to increase the existing dog kennel's capacity to 80 dogs with the approval of Conditional Use Permit No. 3771, changing the facility from a Class I Kennel to a Class IV Kennel. The previously approved project Plot Plan No. 25072 permitted the applicant to house up to 10 dogs at the kennel, which currently has a 20-dog capacity. The expansion will include the construction of a 6,000 square foot office and training facility, two (2) 3,000 square ft kennels (each with a 30-dog capacity).

Although the project will convert primarily Other Lands to non-agricultural uses, this conversion alone does not necessarily result in a significant impact. As shown on the FMMP, there are a number of areas designated as Other Lands/ Local importance/ Unique Farmland that will remain in the area and the current proposed change represents a small portion to the total farmland area surrounding the project. Furthermore, the existing project site has a residential dwelling, an existing dog kennel and the



Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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expansion will add an addition of three (3) buildings totalling 12,000 square foot. The project has not been used for agriculture since April 9, 2012, when the dog kennel Plot Plan No. 25072 was approved. The existing dwelling was constructed in 1952 and is consistent with dwellings on Agricultural Lands. Therefore, less than significant impacts will occur in regards to conversion of agricultural land to non-agricultural uses. The Riverside County Important Farmland Map 2016 identifies that the property is classified as Other Land, which include lands not included on any other mapping category, such as low density rural developments, brush, timber land, etc. Vacant lands located north, east, and south of the site are classified as Farmland of Local Importance and would be classified as Prime and Statewide but lack available irrigation water. The property immediately to the west of the project site is classified as Unique Farmland; however, it appears that the site is no longer actively used for agricultural production. Furthermore, surrounding development in the area consists of large lot residential development (10 acre minimum lot size) with equestrian uses. CUP 3771 is the expansion of an existing dog kennel and no change of use is being proposed. Therefore, no potential adverse direct, indirect or cumulative impacts involving the conversion of Prime Farmland, Unique Farmland, or Farmland of Statewide Importance will result from project development. There will be no impacts.

**b) Less Than Significant Impact.** The project site is currently within the Pass Area Plan and zoned Light Agriculture ten (10) Acre Minimum; which is considered an agricultural zone, pursuant to Section 13.1 of Riverside County Ordinance No. 348. The project is located within the San Gorgonio Pass No. 1 Agricultural Preserve, Map No 161. Although no change of use is being proposed and the project is consistent with the Land Use Designation and Zoning of the property, due to the commercial nature of the proposed project, the Williamson Act requires that the property be removed from the Agricultural Preserve. A Notice of Nonrenewal has been recorded on the property as Instrument No. 2015-0206993, dated May 18, 2015. The County of Riverside requires that a Petition for Cancellation of Land Conservation Contract and an Application for Disestablishment or Diminishment of an Agricultural Preserve be submitted. The Agricultural Preserve No. 1062 (AG01062), Petition for Cancellation, Diminishment of an Agricultural Preserve and CUP3771 (Dog Kennel) were submitted for concurrent processing on March 20, 2017. The CUP 3771 is considered the alternative use pursuant to the Williamson Act.

The Agricultural Preserve No. 1062 (Diminishment /Cancellation/Agricultural Preserve No. 1062), which is being processed concurrently as a related approval and is also analyzed as part of Environmental Assessment No. 43010. The applicant proposes to diminish 10 acres from San Gorgonio Pass Agricultural Preserve No. 1 and cancel the land conservation contract executed for San Gorgonio Pass Agricultural Preserve No. 1, Map No. 161. The Board of Supervisors have exclusive jurisdiction over all Agricultural Preserves and therefore AG No. 1062 would not be included with the project review by the Planning Commission. AG No. 1062 will be joined with CUP No. 3771 when it is considered by the Board of Supervisors. Therefore, upon approval of the these applications by the Board of Supervisors, potential adverse direct, indirect or cumulative impacts on land subject to a Williamson Act are less than significant.

**c) No Impact.** The proposed project is permitted under it's General Plan land use designation and zoning and is compatible with surrounding land uses, primarily large lot residential (10 acre minimum lot size) and equestrian. No agricultural production occurs or has occurred on the site for over a decade, if at all. Furthermore, the project site is not open to the public. Canines and services are provided to local, State, and out-of-State law enforcement personnel only. Therefore, the project will not cause development of non-agricultural uses on adjacent properties. No potential adverse direct, indirect or cumulative impacts involving the development of non-agricultural uses within 300 feet of agriculturally zoned property will occur. There will be no impacts.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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d) The proposed Conditional Use Permit will result in the Project site expanding the dog kennel use of 10 dogs to 80 dogs. Therefore, the project will have no impact on the site, which is classified as Other Lands/ Local importance/ Unique Farmland. There will be no impacts.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

#### 5. Forest

a) Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code section 12220(g)), timberland (as defined by Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Govt. Code section 51104(g))?

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b) Result in the loss of forest land or conversion of forest land to non-forest use?

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c) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of forest land to non-forest use?

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**Source(s):** Riverside County General Plan Figure OS-3a "Forestry Resources Western Riverside County Parks, Forests, and Recreation Areas," Figure OS-3b "Forestry Resources Eastern Riverside County Parks, Forests, and Recreation Areas," and Project Application Materials

**Findings of Fact:** a-c) **No Impact.** Pursuant to the Riverside County General Plan Figure OS-3, the County has no designation of forest land (as defined by Public Resources Code Section 4526), or timberland zoned Timberland Production (as defined by Government Code Section 51104(g)). Therefore, the project will have no adverse direct, indirect, or cumulative impacts on land designated as forest land, timberland, or timberland zoned Timberland Production.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

#### AIR QUALITY Would the project:

#### 6. Air Quality Impacts

a) Conflict with or obstruct implementation of the applicable air quality plan?

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b) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard?

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c) Expose sensitive receptors, which are located within one (1) mile of the project site, to substantial pollutant concentrations?

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	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
d) Result in other emissions (such as those leading to odors) adversely affecting a substantial number of people?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Source(s):** Riverside County General Plan, Riverside County Climate Action Plan ("CAP"), SCAQMD CEQA Air Quality Handbook

**Findings of Fact:** **a) No Impact.** The Project site is located within a portion of the South Coast Air Basin (SCAB), which is under the jurisdiction of the South Coast Air Quality Management District (SCAQMD). The SCAQMD is principally responsible for air pollution control, and has adopted a series of Air Quality Management Plans (AQMPs) to meet the State and federal ambient air quality standards, the most recent adoption being the Final 2016 AQMP, as amended.

The operations are not open to the public and would not generate additional traffic impacts. An Air Quality and Greenhouse Gas Emissions Analysis was not required for CUP 3771 due to the small size of the project and limited scope of impacts. The project will not exceed the daily emissions of construction and operations thresholds as provided by the South Coast Air Quality Management District Regional Significance. The proposed Kennel operations is for dog training and not open to the public which limits the potential of traffic impacts. The project will not result in the construction of new residential housing and will consist of the construction of a 6,000 sq. ft. office/training barn (approximately 1,000 sq. ft. provided as office space) and two (2) 3,000 sq. ft. concrete slab kennels. Short-term emissions will consist of fugitive dust and other particulate matter, as well as exhaust emission generated by construction-related vehicles. During construction activities, the project will be subject to SCAQMD Rule 403 for fugitive dust. Implementation of dust control measures, incorporated as standard conditions of approval for projects within the SCAB, will reduce potential air quality impacts relative to fugitive dust. Maximum daily emissions for the project during construction will not exceed any of SCAQMD daily regional thresholds (see Table 1, below).

**Table 1. South Coast Air Quality Management District Regional Significance Thresholds**

Pollutant	Mass Daily Thresholds (lbs/day)	
	Construction	Operational
NO <sub>x</sub>	100	55
VOC	75	55
PM <sub>10</sub>	150	150
PM <sub>2.5</sub>	55	55
SO <sub>x</sub>	150	150
CO	550	550

<sup>1</sup> Sources: SCAQMD CEQA Handbook, 1993

Operation of the facility will not significantly change the vehicle trip generation rate from what currently exists and will involve the arrival and departure of up to 50 vehicles per week, which includes law enforcement personnel scheduled for MPC training and up to three (3) employees to assist in training and/or office functions. The operational trip generation rate is consistent with development of uses permitted by the Agricultural (AG) land use designation and, therefore, will not exceed the growth



Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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projections under the Riverside County General Plan. As such, development of CUP 3771 is considered to be consistent with the AQMP and no adverse direct, indirect, or cumulative impacts associated with a conflict or obstruction of applicable air quality plans objectives will occur.

**b) Less Than Significant Impact.** The project site is located within a portion of the SCAB designated as a non-attainment area under State and federal standards for ozone, PM<sub>10</sub>, and PM<sub>2.5</sub>. Any projects in the SCAB with daily emissions that exceed any of SCAQMD regional thresholds should be considered as having an individually and cumulatively significant air quality impact. However, the proposed project is not expected to exceed the maximum daily thresholds during the construction phase or operation of the kennel. Therefore, the proposed project would not exceed the threshold referenced in Table 1, due the limited scope of the project and would fall below the threshold of significance. Minimal grading, heavy duty trucks, and construction disturbance is required for the small development area proposed under CUP 3771. Additionally, due to the limited area of the disturbance, the use of grading and/or heavy duty trucks will be short-term in duration. As stated under a) above, the project will be subject to SCAQMD Rule 403 for fugitive dust control and construction vehicles accessing the site are not permitted to idle for greater than five minutes at any location. Therefore, potential adverse direct, indirect, or cumulative impacts resulting in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or State ambient air quality standards is less than significant.

**c-d) No Impact.** A sensitive receptor is a person in the population who is particularly susceptible to health effects due to exposure to an air contaminant than is the population at large. Sensitive receptors (and the facilities that house them) in proximity to localized CO sources, toxic air contaminants, and/or odors are of particular concern. High levels of CO are associated with major traffic sources, such as freeways and major intersections, and toxic air contaminants are normally associated with manufacturing and industrial operations. As previously stated in the project description, the ScentLogix™ is used as training aids. The scent kits and narcotics detection will be used to detect explosives. The scent kits and explosives will be kept in a concrete bunker. Therefore, no odors will be detected. Land uses considered to be sensitive receptors include long-term health care facilities, rehabilitation centers, convalescent centers, retirement homes, residences, schools, playgrounds, child care centers, and athletic facilities. As previously stated, the project site is located in an area consisting of large lot residential (10+ acres) and equestrian uses. While there is one residence located west of and adjacent to the site, the project does not include any activities that could expose sensitive receptors to substantial carbon monoxide concentrations, toxic air contaminants, or odors. Standard conditions of approval require that the project implement fugitive dust control practices during construction and limit idling of heavy duty construction equipment to five minutes. There are currently no substantial point source polluters within one mile of the project site. Therefore, no potential adverse direct, indirect, or cumulative impacts resulting in the exposure of sensitive receptors to substantial pollutant concentrations or other emissions such as odor will occur.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

#### **BIOLOGICAL RESOURCES** Would the project:

##### **7. Wildlife & Vegetation**

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	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
a) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Conservation Community Plan, or other approved local, regional, or state conservation plan?				
b) Have a substantial adverse effect, either directly or through habitat modifications, on any endangered, or threatened species, as listed in Title 14 of the California Code of Regulations (Sections 670.2 or 670.5) or in Title 50, Code of Federal Regulations (Sections 17.11 or 17.12)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Wildlife or U. S. Wildlife Service?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, and regulations or by the California Department of Fish and Game or U. S. Fish and Wildlife Service?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Have a substantial adverse effect on State or federally protected wetlands (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g) Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Source(s):** GIS database, WRCMSHCP and/or CVMSHCP, On-site Inspection

**Findings of Fact:** **a-c) Less Than Significant Impact.** The project site has been highly disturbed by past and present use of the existing residential structure, garage, and through kennel operations, which are concentrated on the southern portion of the parcel. Other areas of the property have been cleared of vegetation, planted with grass, or covered with crushed gravel. Several dirt roads traverse the property and trees are scattered throughout the site, primarily in the open area north of the existing residence and along the dirt road south of the existing kennel.

The site is located within the Western Riverside County Multi-Species Habitat Conservation Plan (MSHCP) and, therefore, subject to Ordinance No. 810, which requires all new development projects pay mitigation fees for impacts on biological resources. However, no portion of the site is located within a MSHCP criteria cell, cell group, subunit, or special linkage area and no conservation is required. Pursuant to Objective 6 and Objective 7 of the MSHCP, the proposed project is conditioned for a pre-construction presence/absence survey for the burrowing owl (60.Planning-EPD.1 - 30 Day Burrowing Owl Survey). This condition of approval is not considered a mitigation measure for CEQA implementation purposes. As such, the proposed project is consistent with the goals and objectives of the MSHCP. The project site is not located within any other local, regional, or state conservation plan.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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The MSHCP Mitigation Fee is based on the "project area," defined as all project improvements and areas of intensive use on the applicant's gross acreage. As previously stated, the site supports an existing single-family residence, detached garage, 20-dog capacity kennel, and is highly disturbed; a number of dirt and/or gravel roads and parking areas are also existing on the site. The areas impacted by the new development proposed under CUP 3771 is estimated to be approximately one-half to one acre ("impact area") and includes the office/training barn, the two (2) new kennels, possible extension of water lines, and the area for the new wastewater treatment system (OWTS) proposed to support the new structures. The impact area primarily affects the southern portion of the project site and should be recalculated by the civil engineer to determine the actual area upon submittal of the Final Grading Plan. No new development impacts (i.e., ground disturbance or construction) will occur on the remaining portion of the property. Payment of MSHCP Mitigation Fees are included as standard conditions of approval on all new development projects and are not considered mitigation for CEQA implementation purposes.

Therefore, potential adverse direct, indirect, or cumulative impacts on any endangered, or threatened species or, through habitat modifications, on any species identified as a candidate, sensitive, or special status species are reduced to a less than significant level.

**d) No Impact.** Due to the site's existing use, it is highly unlikely that any portion of the site will interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors. Therefore, no potential adverse direct, indirect, or cumulative impacts will occur.

**e) No Impact.** No riparian habitat is located on the site and the site is not located within other sensitive natural community identified in local or regional plans, policies. Therefore, no potential adverse direct, indirect, or cumulative impacts on riparian habitat or sensitive natural community will occur.

**f) No Impact.** No State or federally protected wetlands are located on or immediately adjacent to the site. Therefore, no potential adverse direct, indirect, or cumulative impacts on State or federally protected wetlands will result will occur.

**g) No Impact.** The project site is not subject to any other local policies or ordinances protecting biological resources. Therefore, no potential adverse direct, indirect, or cumulative will occur.

**Mitigation:** No mitigation is required.

**Monitoring:** No monitoring is required.

#### **CULTURAL RESOURCES** Would the project:

##### **8. Historic Resources**

a) Alter or destroy a historic site?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Cause a substantial adverse change in the significance of a historical resource, pursuant to California Code of Regulations, Section 15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Source(s):** Phase I Cultural Resources Assessment, On-site Inspection, Project Application Materials

**Findings of Fact:** **a-b) Less Than Significant Impact.** In compliance with Assembly Bill 52 (AB52), notices regarding this project were mailed to all requesting tribes on April 27, 2017. No response was



Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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received from Ramona, Rincon, Soboba or Cahuilla. Twenty-Nine Palms had no interest in this project, Consultations were requested by the Morongo Band of Indians. A Phase I Cultural Resources Assessment (County Archaeological Report (PDA) No. 5044) was prepared for the project, which included a records search, literature review, and field survey of the entire site. No cultural resources of prehistoric or historical origin were observed within the property boundaries. The findings of the Phase I Cultural Resources Assessment, attached as Appendix C, did not require further research or mitigation; however, should any cultural resources be discovered during the course of ground disturbing activities anywhere on the subject property, it is recommended that all work in the area be halted or diverted until a qualified archaeologist can evaluate the resources and make a determination of their significance.

Consultation with Morongo took place onsite on May 11, 2017. During a May 25, 2017 meeting, Morongo requested that the tribe be allowed to monitor ground disturbing activities associated with this project. The conditions of approval for the project were provided to the tribe on October 16, 2017. In a follow-up consultation meeting on October 20, 2017, the tribe told Planning that they concurred with the conditions of approval and consultation was formally concluded. In conclusion, no Tribal Cultural resources were identified by any of the Tribes.

Based upon analysis of records and a survey of the property by the County Archaeologist, it has been determined that there will be no impacts to significant cultural historic resources as defined in California Code of Regulations, Section 15064.5 because they do not occur on the project site. An Archaeologist and Tribal Monitor will be present to ensure any unanticipated resources are managed according to procedures identified in the Cultural Resources Management Plan (CRMP). The project shall comply with the conditional of approval for unanticipated resources.

Therefore, to prevent potential impacts on historic resources or reduce potential impacts to a less than significant level, conditions of approval have been placed on the proposed project to ensure that the recommendations included in the *Phase I Cultural Resources Assessment* are implemented prior to grading permit issuance. These conditions of approval are considered to be mitigation for CEQA purposes and are included below. Compliance with (60.Planning.1- USE TRIBAL MONITOR) will reduce potential adverse direct, indirect, or cumulative impacts on historic resources to below a level of significance. Impacts will be less than significant.

**Mitigation:** No mitigation is required.

**Monitoring:** No monitoring is required.

#### 9. Archaeological Resources

a) Alter or destroy an archaeological site?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Cause a substantial adverse change in the significance of an archaeological resource, pursuant to California Code of Regulations, Section 15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Disturb any human remains, including those interred outside of formal cemeteries?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Source(s):** Phase I Cultural Resources Assessment, On-Site Inspection, Project Application Materials

**Findings of Fact:** **a-b) Less Than Significant Level.** A *Phase I Cultural Resources Assessment* (County Archaeological Report (PDA) No. 5044) was prepared for the project, which included a records

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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search, literature review, and field survey of the entire site. No cultural resources were observed within the property boundaries. However, the *Preliminary Geotechnical Report* indicates that subsurface soils could potentially have resources. Recommendations included in the *Phase I Cultural Resources Assessment*, attached as Appendix C, includes to prevent potential impacts on archaeological resources or reduce potential impacts to a less than significant level. Conditions of approval have been placed on the proposed project to ensure that said recommendations are implemented prior to grading permit issuance. Compliance with (60.Planning.1 - Tribal Monitor) will reduce potential adverse direct, indirect, or cumulative impacts on archaeological resources to below a level of significance.

**c) Less Than Significant Level.** Based on an analysis of the records search, a search of the Sacred Lands File by the Native American Heritage Commission for the project site's Area of Potential Effect (APE), literature search, cartographic research, and comprehensive on-foot field survey, the *Phase I Cultural Resources Assessment* found no evidence that the site included a formal cemetery or any archaeological resources that might contain interred human remains. Nonetheless, the proposed project will be required to adhere to State Health and Safety Code Section 7050.5 if, in the event that human remains are encountered, that no further disturbance occur until the County Coroner has made the necessary findings as to origin of the remains. Furthermore, pursuant to Public Resources Code Section 5097.98 (b), remains shall be left in place and free from disturbance until a final decision as to the treatment and their disposition has been made. This is a standard condition of approval and not considered mitigation for CEQA purposes. Therefore, potential adverse direct, indirect, or cumulative impacts in this regard are considered less than significant.

**Mitigation:** No mitigation is required.

**Monitoring:** No monitoring is required.

#### ENERGY Would the project:

##### 10. Energy Impacts

a) Result in potentially significant environmental impacts due to wasteful, inefficient, or unnecessary consumption of energy resources, during project construction or operation?

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b) Conflict with or obstruct a State or Local plan for renewable energy or energy efficiency?

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**Source(s):** Riverside County General Plan, Riverside County Climate Action Plan ("CAP"), Project Application Materials

#### Findings of Fact:

**a) No Impact.** Implementation of the proposed project will serve to implement energy conservation plans and will comply with the California Green Building Standards Code. Due to the nature and limited size of the proposed project, it is not anticipated to utilize a significant amount of resources, including energy. Therefore, potential adverse direct, indirect, or cumulative impacts due to wasteful, inefficient, or unnecessary consumption of energy during construction and/or operation of the facility will have no impact.

**b) No Impact.** Planning efforts by energy resources providers take into account planned land uses to ensure the long-term availability of energy resources necessary to service anticipated growth. The



Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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proposed project would develop the site in manner consistent with the County's General Plan land use designation for the property; thus, energy demands associated with the proposed project are addressed through long-range planning by energy purveyors and can be accommodated as they occur. No potential adverse direct, indirect, or cumulative impacts will occur as a result of the project.

**Mitigation:** No mitigation is required.

**Monitoring:** No monitoring is required.

**GEOLOGY AND SOILS** Would the project directly or indirectly:

**11. Alquist-Priolo Earthquake Fault Zone or County Fault Hazard Zones**

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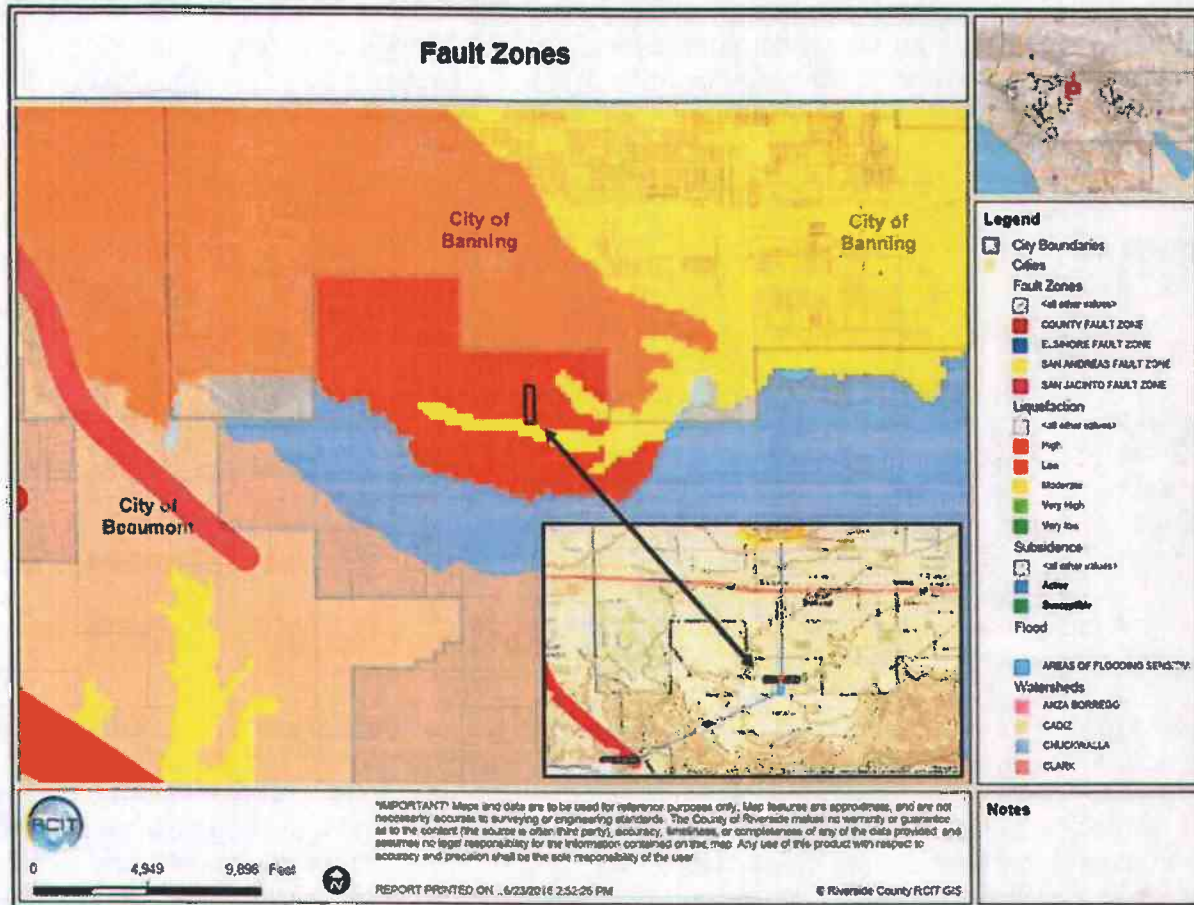
a) Be subject to rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault?

**Source(s):** Riverside County General Plan Figure S-2 "Earthquake Fault Study Zones," GIS database, Geologist Comments, and Preliminary Geotechnical Report

**Findings of Fact:** a) **Less Than Significant Impact.** Although the project site is located within a seismically active region of southern California, the property is not located within a mapped Alquist-Priolo Earthquake Fault Zone or a mapped County Fault Zone. This conclusion is supported by the *Preliminary Geotechnical Report*, attached as Appendix D, and is shown on Figure 1, below, taken from the County's online Geographic Information System (GIS) database. The closest faults within the vicinity of the project site are the San Andres Fault Zone, located within the City of Banning approximately 1.9 miles to the north and a County Fault Zone, located approximately 2.4 miles to the southwest.



Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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**Figure 1. Mapped Fault Zones.**

The *Preliminary Geotechnical Report* included an evaluation of the potential for surface fault rupture at the site. Review of black and white aerial photographs dating from 1962 to 2016 was used to aid in assessing the geologic and geomorphic characteristics of the site. The photogeologic analysis did not reveal indicators suggestive of active fissure-related features. Therefore, the potential for active fault rupture at the site is very low and adverse direct, indirect, or cumulative impacts resulting in seismically-induced rupture impacts on the site are less than significant.

Additionally, Riverside County requires that all new development comply with the California Building Code (CBC) and meet the applicable seismic design criteria for the region. Proposed structures will be designed and constructed to resist the effects of strong seismic ground motions through compliance with construction standards included in the CBC. These standards are included as conditions of approval for the project and are not considered mitigation for CEQA implementation purposes. Therefore, potential adverse direct, indirect, or cumulative impacts resulting in the exposure of people or structures to risk of loss, injury, or death are less than significant.

**Mitigation:** No mitigation is required.

**Monitoring:** No monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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## 12. Liquefaction Potential Zone

a) Be subject to seismic-related ground failure, including liquefaction?

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**Source(s):** Riverside County General Plan Figure S-3 "Generalized Liquefaction," and Preliminary Geotechnical Report

**Findings of Fact:** a) **No Impact.** The Riverside County General Plan and GIS database indicate that the project site is located in an area designated as having a low potential for liquefaction. Liquefaction occurs where there is a loss of strength or stiffness in the soils that can result in the settlement of buildings, ground failures, or other hazards. The main factors contributing to this phenomenon are: cohesionless, granular soils having relatively low density (usually of Holocene age); shallow ground water (generally less than 50 feet); and, moderate to high seismic ground shaking.

The *Preliminary Geotechnical Report* prepared for the project (attached as Appendix D) conducted field and laboratory exploration and testing which indicate that the site is underlain by older alluvial soils predominately consisting of fine- to medium-grained silty sands and clayey sands to at least a depth of 51.5 feet. Groundwater was not encountered within the subsurface exploration and, based on a historical high groundwater depth beneath the site of more than 100 feet, the *Preliminary Geotechnical Report* concludes that the potential for liquefaction is nil. Therefore, the project will have no potential adverse direct, indirect, or cumulative impacts related to seismic-related ground failure, including liquefaction.

**Mitigation:** No mitigation is required.

**Monitoring:** No monitoring is required.

## 13. Ground-shaking Zone

a) Be subject to strong seismic ground shaking?

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**Source(s):** Riverside County General Plan Figure S-4 "Earthquake-Induced Slope Instability Map," and Figures S-13 through S-21 (showing General Ground Shaking Risk), and Preliminary Geotechnical Report

**Findings of Fact:** a) **Less Than Significant Impact.** There are no known or potentially active faults that traverse the site and the site is not located within an Alquist-Priolo Earthquake Fault Zone (see Figure 1). The primary seismic hazard that could affect the site is ground shaking resulting from an earthquake occurring along several major active or potentially active faults in Southern California. Proposed structures will be designed and constructed to resist the effects of strong seismic ground motions through compliance with construction standards included in the CBC. These standards are included as conditions of approval for the project and are not considered mitigation for CEQA implementation purposes. Therefore, potential adverse direct, indirect, or cumulative impacts from seismic ground shaking are less than significant.

**Mitigation:** No mitigation is required.

**Monitoring:** No monitoring is required.



	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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#### 14. Landslide Risk

a) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, collapse, or rockfall hazards?

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**Source(s):** On-site Inspection, Riverside County General Plan Figure S-5 "Regions Underlain by Steep Slope," and Preliminary Geotechnical Report

**Findings of Fact:** a) **No Impact.** The probability of the occurrence of landslides depends on several factors involved with this type of ground failure, including the severity of the earthquake, distance from faults, topography, the state of subsurface earth materials, and groundwater conditions. The *Preliminary Geotechnical Report* conducted field and laboratory exploration and testing which indicate that the site is underlain by older alluvial soils predominately consisting of fine- to medium-grained silty sands and clayey sands to at least a depth of 51.5 feet. Based on historical groundwater data and due to the relatively low-lying relief of the site and adjacent areas, the report concludes that the potential for landsliding due to seismic shaking is considered very low. Additionally, no large rock outcrops are located on the site or on adjacent properties and the possibility of rockfalls during seismic shaking is nil. Therefore, no potential adverse direct, indirect, or cumulative impacts resulting in on- or off-site landslide, collapse or rockfall hazards will occur from project development.

**Mitigation:** No mitigation is required.

**Monitoring:** No monitoring is required.

#### 15. Ground Subsidence

a) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in ground subsidence?

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**Source(s):** Riverside County General Plan Figure S-7 "Documented Subsidence Areas Map," GIS database, and Preliminary Geotechnical Report

**Findings of Fact:** a) **Less Than Significant Impact.** The Riverside County General Plan and GIS database indicate that the project site is located in an area identified as being susceptible to ground subsidence. As stated above, all proposed structures and site development must comply with CBC standards for the region. Additionally, the *Preliminary Geotechnical Report* includes recommendations developed on the basis of field and laboratory exploration and testing on the site. These recommendations are incorporated as part of the project's conditions of approval and are implemented during the grading and construction phases of development. These standard conditions of approval for the project are not considered mitigation for CEQA implementation purposes. Therefore, adverse direct, indirect, or cumulative impacts resulting from ground subsidence are less than significant.

**Mitigation:** No mitigation is required.

**Monitoring:** No monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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#### 16. Other Geologic Hazards

a) Be subject to geologic hazards, such as seiche, mudflow, or volcanic hazard?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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**Source(s):** On-site Inspection, GIS database, Preliminary Geotechnical Report, and Project Application Materials

**Findings of Fact:** a) **No Impact.** The project site is located in the Pass Area Plan of the Riverside County General Plan and topography in the project area consists of gentle rolling hills and large open fallow fields; elevation of the site is approximately 2,350 feet above mean sea level (AMSL). The closest large bodies of water to the site are Big Bear Lake, approximately 23 miles to the north in the San Bernardino Mountains, and Diamond Valley Lake, approximately 15 miles to the southwest. No enclosed bodies of water lie adjacent to or up gradient of the site and the likelihood for induced flooding due to seiche overcoming the dams or freeboard is considered nonexistent. The chances of a major reservoir or retention system up gradient of the site would be compromised to a point of failure is considered remote. Lastly, no geological hazard will occur due to volcanic activity in that no active volcanos exist in Southern California. Therefore, no adverse direct, indirect, or cumulative impacts will occur onsite in regards to other geologic hazards.

**Mitigation:** No mitigation is required.

**Monitoring:** No monitoring is required.

#### 17. Slopes

a) Change topography or ground surface relief features?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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b) Create cut or fill slopes greater than 2:1 or higher than 10 feet?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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c) Result in grading that affects or negates subsurface sewage disposal systems?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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**Source(s):** Riv. Co. 800-Scale Slope Maps, Preliminary Geotechnical Report, Percolation Investigation, and Project Application Materials

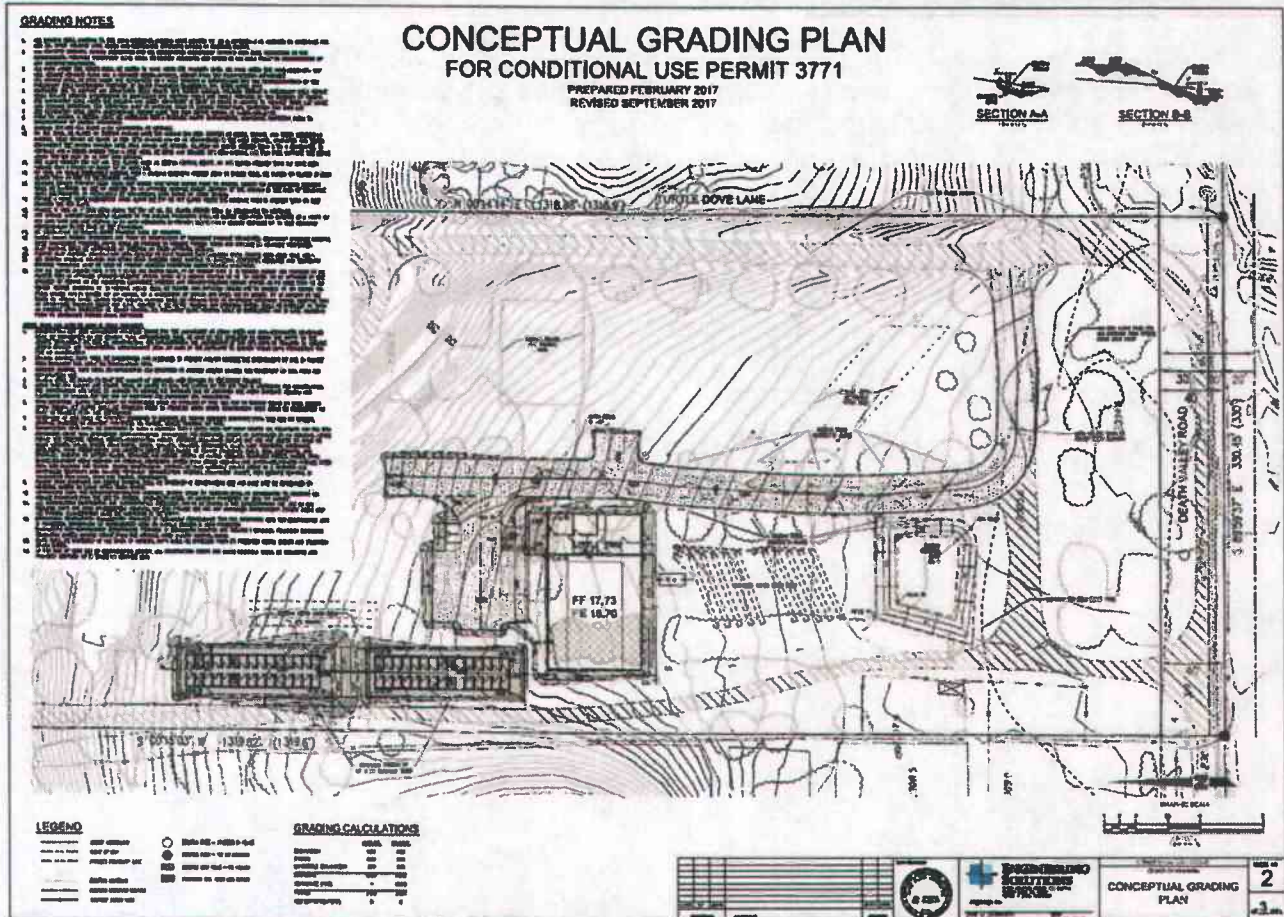
**Findings of Fact:** a-b) **Less Than Significant Impact.** As previously stated, the topography of the site ranges in elevation between approximately 2,355 feet above mean sea level (AMSL) and 2313 feet AMSL, cresting along the center of the property and continuing to slope downward to the south. The property currently supports a single-family residence and garage, located on the crest in the middle of the site; and, a 20-dog capacity kennel, located on the southern portion of the site. Each of these uses are supported by existing independent onsite wastewater treatment systems (OWTS).

CUP 3771 proposes construction of an office/training barn and two (2) additional 30-dog capacity concrete slab/chain link covered kennels on the southern portion of the project site, south of the existing kennel. A third OWTS is proposed to support the new development and will be located directly south of the proposed office/training barn. The *Conceptual Grading Plan* (see Exhibit B) estimates that approximately 2,156 cubic yards (cy) of cut will be required during grading and will be used as fill during



Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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site preparation. Grading will be in keeping with the natural topography of the site. No import or export of dirt will be required and all cut and fill slopes shall not exceed 2:1. All grading activities must substantially conform with the *Conceptual Grading Plan* submitted for the project and the recommendations of the *Preliminary Geotechnical Report* (included as standard conditions of approval for the project). Therefore, potential adverse direct, indirect, or cumulative impacts resulting from a change in topography or ground surface relief features are less than significant.



**Exhibit B. Conceptual Grading Plan**

**c) Less Than Significant Impact.** Currently, there are two existing OWTS located on the site: one to support the single family residence, located north of the development area along the crest in the middle of the site, and the other to support the existing kennel, located south of the crest adjacent to the proposed development area. Development under CUP 3771 has been designed to avoid the existing leach lines, located north of the proposed parking area and east of the proposed kennels. A third OWTS is proposed to support the new development, which consists of the office/training barn and two (2) 30-dog capacity kennels. To ensure that the placement of this system is located within an area that has adequate percolation, a *Percolation Investigation* (attached as Appendix E) was conducted on the site in accordance with the requirements of the County of Riverside Department of Environmental Health.



Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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The results of the investigation indicate that the use of a subsurface sewage effluent disposal system is feasible on the site, as designed. The evaluation of the subsoils as observed within the test holes indicates that the groundwater table is not expected to encroach within the allowable limit currently set forth by County or State requirements. During site preparation, the proposed leach line area, will be staked and flagged to prevent heavy construction equipment from traveling over this area. Therefore, potential adverse direct, indirect, or cumulative impacts on subsurface sewage disposal systems as a result of grading activities are less than significant.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

#### 18. Soils

a) Result in substantial soil erosion or the loss of topsoil?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Be located on expansive soil, as defined in Section 1802.3.2 of the California Building Code (2007), creating substantial direct or indirect risks to life or property?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Have soils incapable of adequately supporting use of septic tanks or alternative waste water disposal systems where sewers are not available for the disposal of waste water?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source(s): U.S.D.A. Soil Conservation Service Soil Surveys, Preliminary Geotechnical Report, Percolation Investigation, Preliminary Water Quality Management Plan, and Project Application Materials

Findings of Fact: **a) Less Than Significant Impact.** The proposed development will result in the loss of topsoil from grading activities, but not in a manner that will result in significant amounts of erosion due to the limited area of new disturbance. As previously stated, the project site is highly disturbed and a number of dirt/gravel roadways exist on the site. Standard conditions of approval placed on the project require that graded but undeveloped land provide any drainage facility deemed necessary to control or prevent soil erosion. The *Preliminary Water Quality Management Plan* (PWQMP), attached as Appendix F) prepared for the project includes the location and identification of all structural Best Management Practices (BMPs), including Treatment Control BMPs (see Figure 2). All grading activities will be monitored by the Building and Safety Department through the grading permit process for compliance with the approved Conceptual Grading Plan and PWQMP. Compliance with these plans are included as conditions of approval for the project and are not considered mitigation for CEQA implementation purposes. Therefore, potential adverse direct, indirect, or cumulative impacts resulting in substantial soil erosion are less than significant.



Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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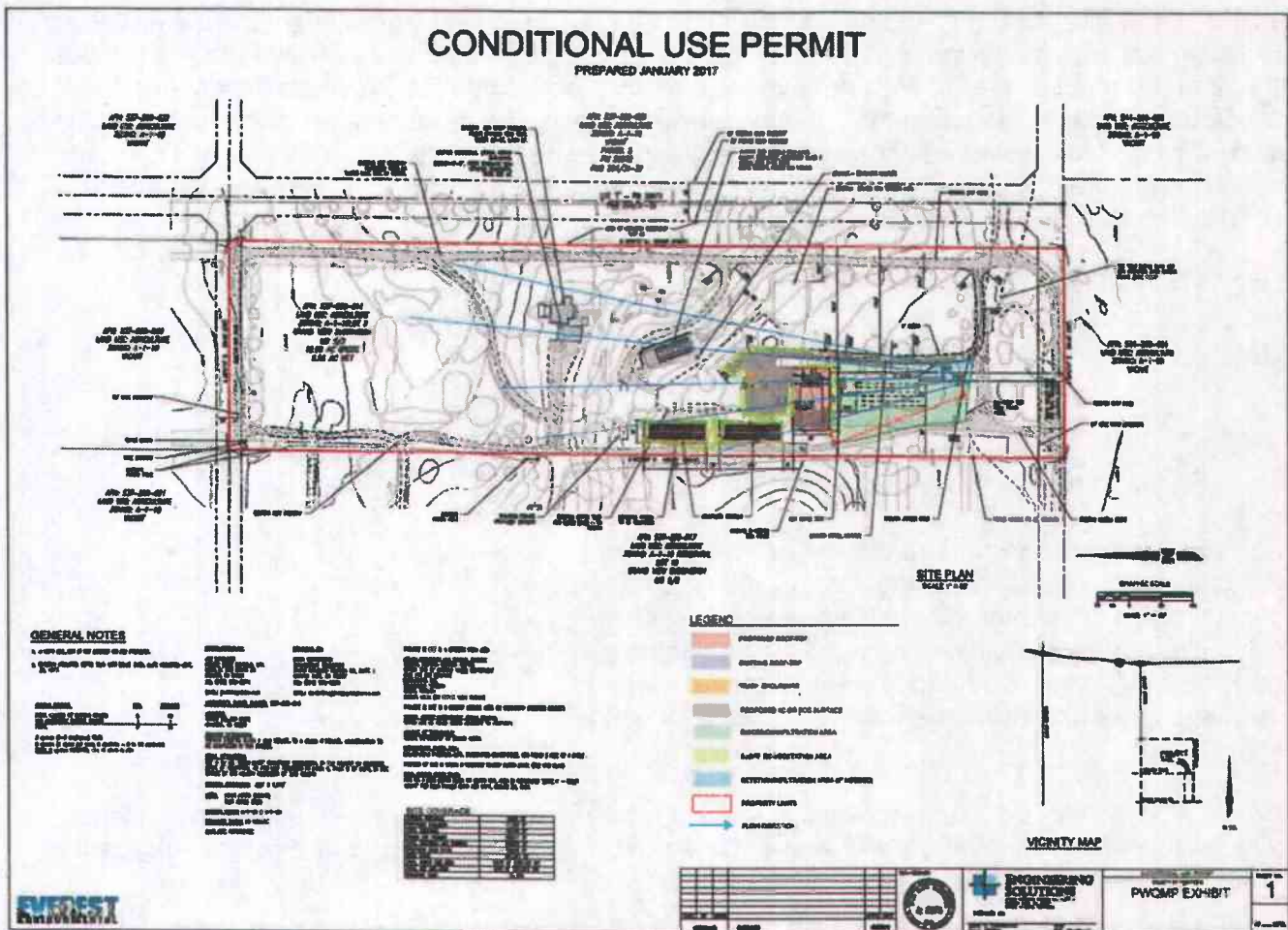


Figure 2. Preliminary Water Quality Management Plan

**b) No Impact.** Laboratory testing conducted during preparation of the *Preliminary Geotechnical Report* indicates that near-surface soil within the zone of influence to the proposed development are slightly plastic with plasticity indices ranging from 0 to 10. Expansion index testing conducted on representative samples indicates that the soils are non-expansive. As stated under 15. a) above, all proposed structures and site development must comply with CBC standards and substantially conform to the approved Site Plan and Conceptual Grading Plan. Additionally, the *Preliminary Geotechnical Report* includes recommendations developed on the basis of field and laboratory exploration and testing on the site. These recommendations are incorporated as part of the project's conditions of approval and are implemented during the grading and site preparation phases of development. These standard conditions of approval for the project are not considered mitigation for CEQA implementation purposes. Therefore, no adverse direct, indirect, or cumulative impacts related to expansive soils will result from project development.

**c) Less Than Significant Impact.** The proposed project requires the installation of a new, separate OWTS to support the new development. As stated under 17. c) above, to ensure that the project site has adequate soils to support a new OWTS, a *Percolation Investigation* was conducted on the site in accordance with the requirements of the County of Riverside Department of Environmental Health. The

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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results of the investigation indicate that the use of a subsurface sewage effluent disposal system is feasible on the site, as designed. The evaluation of the subsoils as observed within the test holes indicates that the groundwater table is not expected to encroach within the allowable limit currently set forth by County or State requirements. During site preparation, the proposed leach line area, will be staked and flagged to prevent heavy construction equipment from traveling over this area. Additionally, standard conditions of approval have been placed on the project to ensure that no grading practices undermine the stability of the site for subsurface sewage disposal systems. Therefore, potential adverse direct, indirect, or cumulative impacts on subsurface sewage disposal systems as a result of grading activities are less than significant.

**Mitigation:** No mitigation is required.

**Monitoring:** No monitoring is required.

**19. Wind Erosion and Blowsand from project either on or off site.**

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a) Be impacted by or result in an increase in wind erosion and blowsand, either on or off site?

**Source(s):** Riverside County General Plan Figure S-8 "Wind Erosion Susceptibility Map," Ord. No. 460, Article XV & Ord. No. 484

**Findings of Fact:** a) **Less Than Significant Impact.** The Project site is located in an area of designated as having a Moderate Wind Erodibility rating, shown on Figure S-8 of the Riverside County General Plan. The General Plan, Safety Element Policy for Wind Erosion requires buildings and structures to be designed to resist wind loads, which are covered by the California Building Code (CBC). As stated under 6. a) above, during grading activities, the project will be subject to SCAQMD Rule 403 for fugitive dust. Implementation of dust control measures, incorporated as standard conditions of approval for projects within the SCAB, will reduce potential impacts due to wind erosion. Much of the property has already been cleared of vegetation, planted with grass, or covered with crushed gravel. Additionally, the area of disturbance is limited in scope and exposure of soils will be temporary. Therefore, potential adverse direct, indirect, or cumulative impacts as a result of wind erosion is considered less than significant.

**Mitigation:** No mitigation is required.

**Monitoring:** No monitoring is required.

**GREENHOUSE GAS EMISSIONS** Would the project:

**20. Greenhouse Gas Emissions**

a) Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?

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b) Conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?

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Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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**Source(s):** Riverside County General Plan, Riverside County Climate Action Plan ("CAP"), Project Application Materials

**Findings of Fact:** a) **Less Than Significant Impact.** As stated under 6 b) above, the project site is located within a portion of the SCAB designated as a non-attainment area under State and federal standards for ozone, PM<sub>10</sub>, and PM<sub>2.5</sub>. Any projects in the SCAB with daily emissions that exceed any of SCAQMD regional thresholds should be considered as having an individually and cumulatively significant air quality impact. However, the proposed project is not expected to exceed the maximum daily thresholds during the construction phase or operation of the kennel. Minimal grading, heavy duty trucks, and construction disturbance is required for the small development area proposed under CUP 3771. Operation of the facility will not significantly change the vehicle trip generation rate from what currently exists and will involve the arrival and departure of up to 50 vehicles per week, which includes law enforcement personnel scheduled for MPC training and up to three (3) employees to assist in training and/or office functions. The operational trip generation will be less than 100 traffic trips during the peak hours, the project was exempt from the traffic impact analysis requirements pursuant to Exhibit A of the Riverside County Transportation Department Traffic Impact Analysis Preparation Guide. Therefore, will not exceed the growth projections under the Riverside County General Plan. Additionally, due to the limited area of the disturbance, the use of grading and/or heavy duty trucks will be short-term in duration.

The project will be subject to SCAQMD Rule 403 for fugitive dust control and construction vehicles accessing the site are not permitted to idle for greater than five minutes at any location. These measures are applied to all new development projects in Riverside County and are incorporated as standard conditions of approval and not considered mitigation for CEQA purposes. Based on the small scope of the project, the construction emissions are bundled over 30 years with the yearly operational GHG emissions, and the limited operations at the project site, GHG emissions would likely be well below the 3,000 MT CO<sub>2</sub>e/year identified in the County's Climate Action Plan. Therefore, potential adverse direct, indirect, or cumulative impacts on the environment through the generation of greenhouse gas emissions is considered less than significant.

b) **No Impact.** An Air Quality and Greenhouse Gas Emissions Analysis was not required for CUP 3771 due to the nature of the proposed project and limited scope of potential impacts on air quality resulting from the construction and operation of the kennel. The project will not result in the construction of new residential housing and will consist of the construction of a 6,000 sq. ft. office/training barn (approximately 1,000 sq. ft. provided as office space) and two (2) 3,000 sq. ft. concrete slab kennels. Short-term emissions will consist of fugitive dust and other particulate matter, as well as exhaust emission generated by construction-related vehicles. As stated under a) above, construction activities will be subject to SCAQMD Rule 403 for fugitive dust and construction vehicles accessing the site will not be permitted to idle for greater than five minutes at any location. Implementation of dust control measures, incorporated as standard conditions of approval for projects within the SCAB, will reduce potential conflicts with the adopted AQMP relative to greenhouse gas emissions. Maximum daily emissions for the project during construction will not exceed any of SCAQMD daily regional thresholds. Therefore, development of CUP 3771 is considered to be consistent with the AQMP and no adverse direct, indirect, or cumulative impacts associated with a conflict or obstruction of applicable air quality plans objectives will occur.

**Mitigation:** No mitigation is required.

**Monitoring:** No monitoring is required.



	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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#### HAZARDS AND HAZARDOUS MATERIALS Would the project:

##### 21. Hazards and Hazardous Materials

a) Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Impair implementation of or physically interfere with an adopted emergency response plan or an emergency evacuation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter (1/4) mile of an existing or proposed school?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Source(s):** Project Application Materials

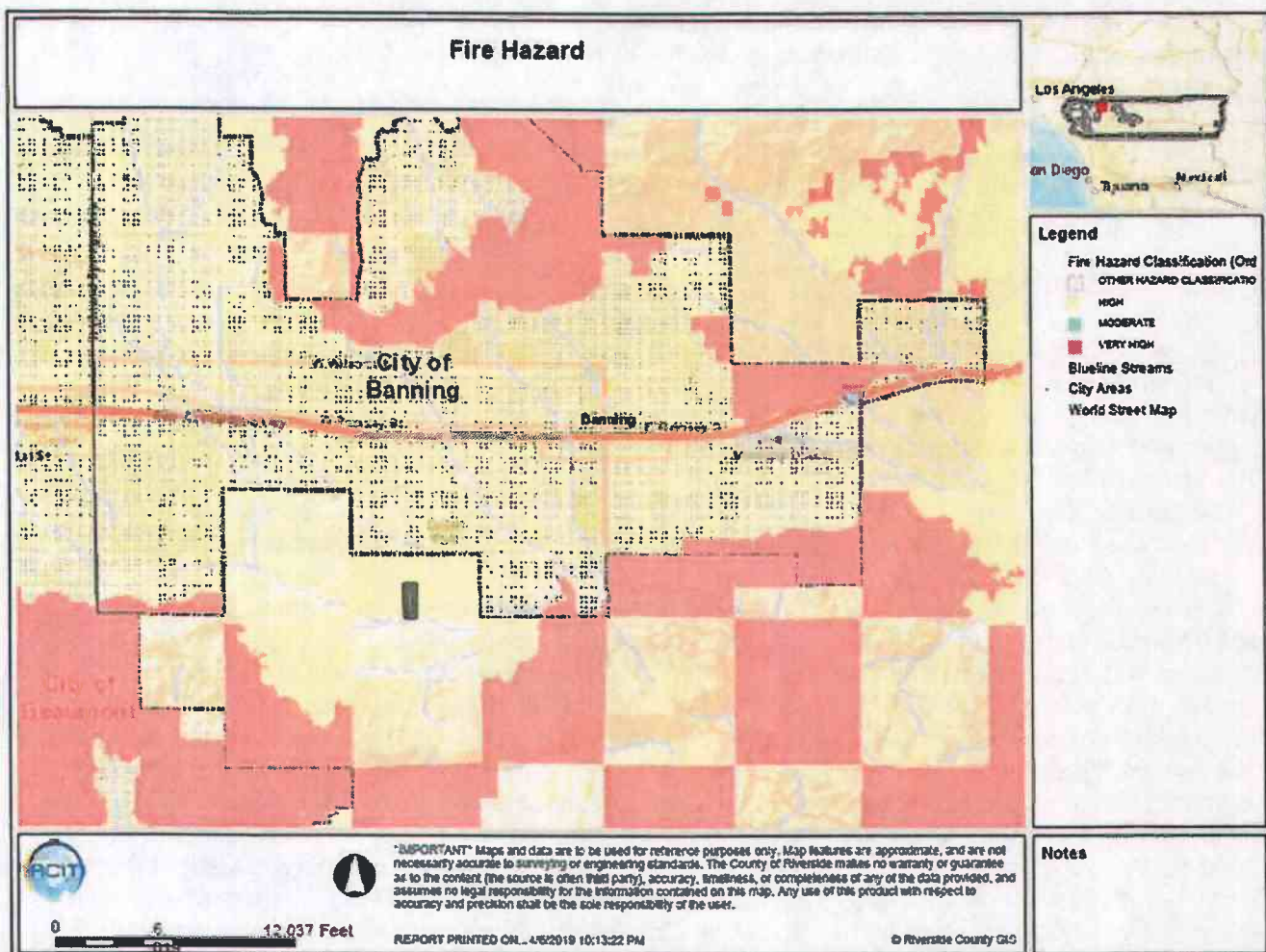
**Findings of Fact: a-b) Less Than Significant Impact.** As described under the project description and attached Appendices A and B, an assortment of explosives are used to train police and military dogs to detect the odor of explosives. This will range from high explosives to low explosives and are maintained in an **approved** explosives magazine surrounded by a concrete bunker located in the open exercise Area 'A' shown on Exhibit A. *Conditional Use Permit No. 3771 – Site Plan*. These explosives are used for **off-site** detection contracts which involve cargo and shipping facilities. The total weight permitted for storage on the site will not exceed 150 pounds. **No ignitions systems will be stored at the site.**

Currently, VLK West uses ScentLogix™ **Inert** training aids and scent kits in their explosives and narcotics detection classes at the site. These materials are for scent only but are required to be stored in accordance with federal and State laws. Appendix A includes a list of odors that the dogs are trained to detect as well as *Material Safety Data Sheets* for each of these materials. All VLK personnel associated with explosives must be familiar with the physical characteristics of each type of explosive used; the sensitivity to shock, heat, electricity, moisture; the corrosive agent of each of the explosives, and the hazards related to each type of explosive used; and, improvised explosive devices (IEDs). VLK, Inc., complies with all federal, State and local licensing/permitting requirements, which include, but are not limited to, Kennel License, Business License, Seller's Permit, Federal Explosives License/Permit, and Controlled Substance Registration Certificate. The storage, handling and transport of explosives has been reviewed and permitted by the Riverside County Sheriff's Department, Special Enforcement Bureau, Hazardous Device Team (included in Appendix B). The project has a permanent bunker which holds the explosives and has been inspected and approved by the Fire Marshall. As such, impacts resulting in the creation of a significant hazard to the public through transport or accidental release of hazardous materials into the environment will be less than significant.



Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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**c) Less Than Significant Impact.** The project site is located in a high fire hazard area, as designated on the GIS database (see Figure 3, below). Development of the proposed project includes adequate access for emergency response vehicles and personnel. Standard conditions of approval related to emergency access and egress, road widths, location of entry gates, turnarounds and surfacing materials of roadways will ensure that the proposed project does not interfere with the implementation of or physically interfere with an emergency response plan and/or emergency evacuation plan. Furthermore, an Emergency Response Plan (ERP) for the project was submitted with project application materials (see attached Appendix A). Upon development of the proposed structures, the ERP will be maintained in the office/training barn in clear view of site personnel and updated at regular intervals, as needed. Therefore, potential adverse direct, indirect, or cumulative impacts involving the impairment of implementation of or physically interference with an adopted emergency response plan or an emergency evacuation plan at the site is less than significant.



**Figure 3. Fire Hazard Classification**

**d) No Impact.** The project site is not located within one quarter mile of an existing or proposed school. The closest school to the project site is Mt. San Jacinto College San Geronimo Pass Campus, located

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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approximately one (1) mile northwest of the site, and Banning High School, located approximately two (2) miles northeast of the site. Therefore, no adverse direct, indirect, or cumulative impacts on schools through the emission or handling of hazardous material will occur.

**e) No Impact.** The project site is not located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5. Therefore, no direct, indirect, or cumulative impacts resulting in the exposure of a significant hazard to the public or the environment will occur.

**Mitigation:** No mitigation is required.

**Monitoring:** No monitoring is required.

<b>22. Airports</b>				
a) Result in an inconsistency with an Airport Master Plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Require review by the Airport Land Use Commission?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) For a project located within an airport land use plan or, where such a plan has not been adopted, within two (2) miles of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) For a project within the vicinity of a private airstrip, or heliport, would the project result in a safety hazard for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Source(s):** Riverside County General Plan Figure S-20 "Airport Locations," GIS database, Riverside County Airport Land Use Commission, Banning Municipal Airport Compatibility and Airspace Maps

**Findings of Fact: a-c) No Impact.** The project site is located approximately seven (7) miles southwest of the Banning Municipal Airport. Review of the Riverside County Airport Land Use Commission, Banning Municipal Airport Compatibility Map and Airspace Plan, as well as the GIS database, indicates that the project site is not located within the Airport's Influence Areas or Compatibility Zones. Therefore, development of the project will have no adverse direct, indirect, or cumulative impacts on airport land uses or result in a safety hazard for people residing or working in the project area.

**d) No Impact.** The project site is not located within the vicinity of a private airstrip or heliport. Accordingly, the proposed project would not result in a safety hazard for people living or residing in the Project area. No adverse direct, indirect, or cumulative impacts will occur.

**Mitigation:** No mitigation is required.

**Monitoring:** No monitoring is required.

#### **HYDROLOGY AND WATER QUALITY** Would the project:

<b>23. Water Quality Impacts</b>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
a) Violate any water quality standards or waste discharge requirements or otherwise substantially degrade surface or ground water quality?				
b) Substantially decrease groundwater supplies or interfere substantially with groundwater recharge such that the project may impede sustainable groundwater management of the basin?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river or through the addition of impervious surfaces?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Result in substantial erosion or siltation on-site or off-site?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Substantially increase the rate or amount of surface runoff in a manner which would result in flooding on-site or off-site?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) Create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g) Impede or redirect flood flows?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
h) In flood hazard, tsunami, or seiche zones, risk the release of pollutants due to project inundation?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
i) Conflict with or obstruct implementation of a water quality control plan or sustainable groundwater management plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Source(s):** Riverside County General Plan Figure S-9 "Special Flood Hazard Areas," Figure S-10 "Dam Failure Inundation Zone," Riverside County Flood Control District Flood Hazard Report/Condition, GIS database, Preliminary Water Quality Management Plan, Hydrology and Hydraulics Report, On-Site Inspection

#### Findings of Fact:

**a) Less Than Significant Impact.** The site has been highly disturbed by past and present use of the existing residential structure, garage, and through kennel operations. Other areas of the property have been cleared of vegetation, planted with grass, or covered with crushed gravel. The proposed development will result in the loss of topsoil during grading activities, but not in a manner that will result in significant amounts of erosion due to the limited area of new disturbance. It should be noted that all new and existing kennel areas are covered and will have septic system connections, so kennel wash water discharge is prohibited.

Standard conditions of approval placed on the project require that graded but undeveloped land provide any drainage facility deemed necessary to ensure that water quality standards or waste discharge requirements do not substantially degrade surface or ground water quality. The *Preliminary Water Quality Management Plan* (PWQMP), attached as Appendix F) prepared for the project includes the location and identification of all structural Best Management Practices (BMPs), including Treatment Control BMPs (see Figure 2). Post construction flows will sheet flow to the south, as they have historically. Flows from newly developed impervious areas will travel over 200 feet of soil and vegetation



Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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through naturally vegetated dispersion/infiltration zone. According to the National Resources Conservation Service, onsite soils in this area consist of gravelly coarse sands, classified by the "very high" ability to infiltrate. This area is reported to have a minimum infiltration rate of 5.95"/hr. Little to no water will be discharged from this new development, as flows will infiltrate over this gravelly sheet flow area. Any potentially remaining flows will be collected by the proposed shallow retention/infiltration area onsite, located at the south end of the site. All grading activities will be monitored by the Building and Safety Department through the grading permit process for compliance with the approved Conceptual Grading Plan and PWQMP. Compliance with these plans are included as conditions of approval for the project and are not considered mitigation for CEQA implementation purposes. This project is proposing to add just over than 5,000 square feet of impervious area to the site for parking and another 12,000 square feet of imperviousness for proposed buildings. The impervious area proposed with this development project will generate impacts to water quality. Therefore the preparation and implementation of a project specific water quality management plan (WQMP) will be required. The applicant has submitted a preliminary water quality management plan (WQMP) with the land-use package. The preliminary WQMP indicates the use of a volume-based BMP to mitigate these impacts. Specifically, onsite flows will traverse natural and landscaped pervious areas with a high infiltration rate before being collected into the proposed shallow retention/infiltration basin. Therefore, potential adverse direct, indirect, or cumulative impacts resulting in substantial soil erosion are less than significant.

**b) Less Than Significant Impact.** The proposed project will create an additional 18,850 sq. ft. of impervious features to the existing 3,992 sq. ft. of impervious surfaces developed on the site, or approximately 5.2% of the site. As stated under a) above, post construction flows will sheet flow to the south, as they have historically. Flows from newly developed impervious areas will travel over 200 feet of soil and vegetation through naturally vegetated dispersion/infiltration zone. According to the National Resources Conservation Service, onsite soils in this area consist of gravelly coarse sands, classified by the "very high" ability to infiltrate. This area is reported to have a minimum infiltration rate of 5.95"/hr. Little to no water will be discharged from this new development, as flows will infiltrate over this gravelly sheet flow area. Any potentially remaining flows will be collected by the proposed shallow retention/infiltration area onsite, located at the south end of the site. All grading activities will be monitored by the Building and Safety Department through the grading permit process for compliance with the approved Conceptual Grading Plan and PWQMP. Compliance with these plans are included as conditions of approval for the project and are not considered mitigation for CEQA implementation purposes. Therefore, potential adverse direct, indirect, or cumulative impacts by substantially decreasing groundwater supplies or interfering substantially with groundwater recharge are less than significant.

**c,d,e) Less Than Significant Impact.** The *Hydrology and Hydraulics Report* (attached as Appendix G), prepared for the proposed project, assessed existing on-site and off-site drainage conditions and proposed on-site conditions with implementation of CUP 3771. This assessment was made using hydrologic methodology per RCFC&WCD Hydrology Manual.

As previously described, the project site is rural in nature with unpaved roads and sparse impervious coverage. Although the total site acreage is 10 acres, the hydrology calculations deal only with 3.58 acres of on-site watershed, because the proposed improvements are all within the 3.58 acres, and the remainder of the property flows northward. The property owner proposes to increase the existing on-site kennel operations from one (1) 20-dog capacity kennel by adding two (2) 30-dog capacity kennels (for a maximum of up to 80 dogs) and a metal building for operations and storage. The new construction will increase the impervious cover from 1.51% to 5.2% of the on-site watershed area.



Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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The project will not result in substantial erosion or siltation on-site or off-site because the project has been graded from the previous project PP25072. The site is impacted by a well-defined watercourse with a tributary drainage area of 6 acres to the west. This watercourse enters the site where the new dog kennels and building are proposed. The grading for the proposed improvements shall be designed in a manner that perpetuates the existing natural drainage patterns with respect to tributary drainage areas, outlet points and outlet conditions. New construction shall comply with applicable ordinances and finished floors of new structures shall be constructed a minimum of one foot above the adjacent ground, measured at the upstream edge of the structure.

The northerly portion of the site has tributary drainage area of approximately 5 acres. There are no existing or proposed structures in this area. The southerly portion of the site is within the Special Flood Hazard Area of the 100-year floodplain limits for Smith Creek, which is delineated by the "San Gorgonio River and Smith Creek" study prepared by the U.S. Army Corps of Engineers dated June 1973 and listed in Ordinance 458 Section 5.b. The floodplain limits shall be kept free and clear from all buildings and obstructions including fill slopes in order to maintain the natural drainage patterns of the area. Grading within the 100-year floodplain limits shall not alter the floodplain or flow paths. The grading for the driveway shall remain at existing grade. Any proposed fencing crossing the floodplain limits shall be of a "rail" type. Chain-link fencing shall not be allowed.

This project is proposing to add just over than 5,000 square feet of impervious area to the site for parking and another 12,000 square feet of imperviousness for proposed buildings. The impervious area proposed with this development project will generate impacts to water quality. Therefore the preparation and implementation of a project specific water quality management plan (WQMP) will be required. The applicant has submitted a preliminary water quality management plan (WQMP) with the land-use package. The preliminary WQMP indicates the use of a volume-based BMP to mitigate these impacts. Specifically, onsite flows will traverse natural and landscaped pervious areas with a high infiltration rate before being collected into the proposed shallow retention/infiltration basin.

The land-use exhibit shows that there is adequate space within the pervious area between the floodplain limits and septic leach field to increase the size of the basin if necessary. Conceptually the preliminary WQMP is acceptable to the District, but may need additional information and the calculations to be refined in the final WQMP at the final plan check stage of development. Key things to note is the water quality basin shall remain outside of the 100-year floodplain limits and not within the septic leach field area.

Runoff from the site discharges to Smith Creek, which is 100 feet south of Death Valley Road. A portion of the subject property is within the 100 year flood plain and the floodway of Smith Creek, as shown in Figure 4. The developer proposes to mitigate for increase in runoff and water quality by constructing a retention basin immediately upstream from the northerly limits of the flood zone, shown in Figure 5. Since proposed impervious surfaces are greater than 50% than those existing, the Designed Capture Volume (DCV) has been calculated to include both proposed and existing impervious features.

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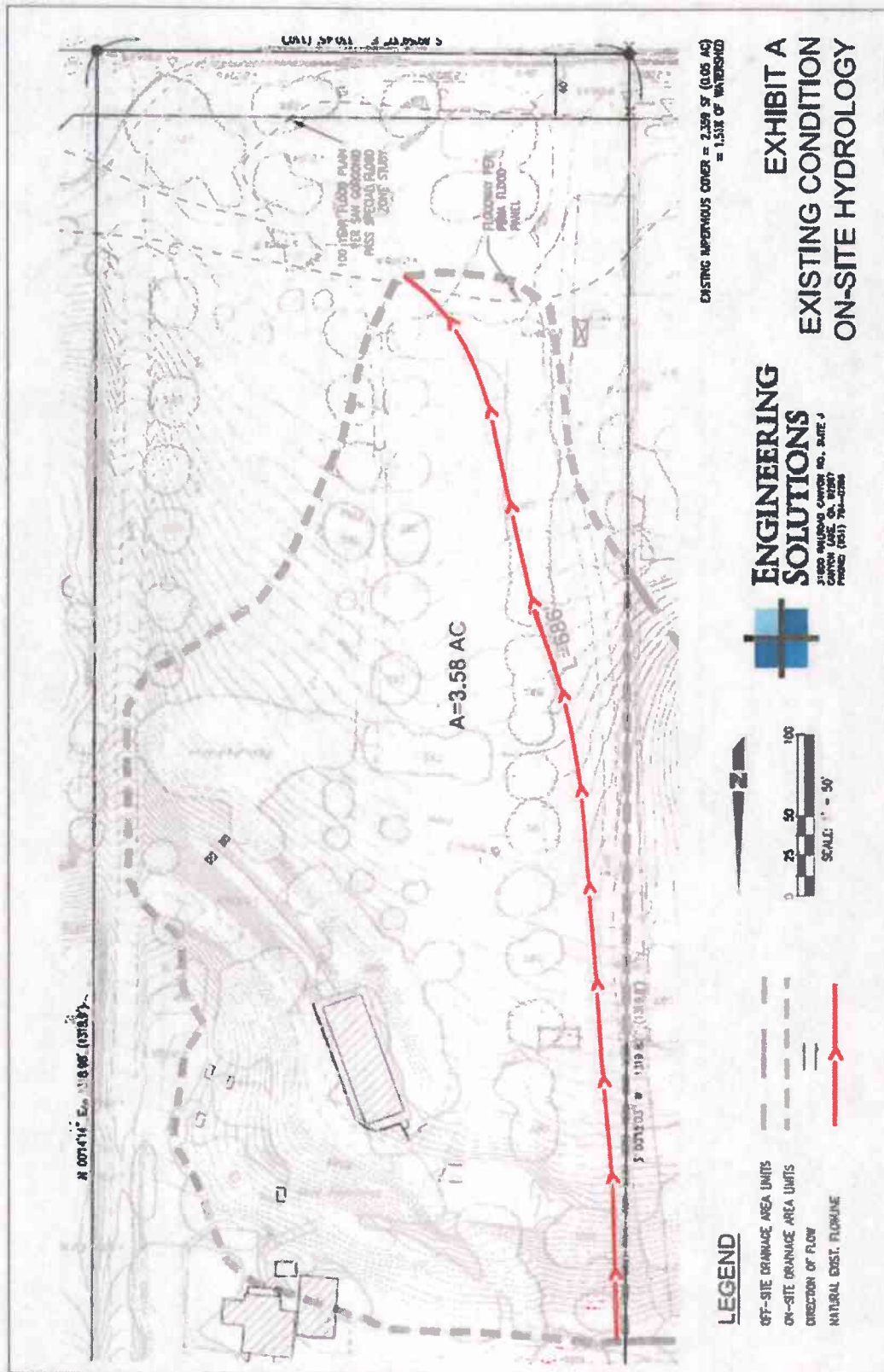


Figure 4. Existing Condition – On-Site Hydrology



NEW IMPERVIOUS COVER - 12,659 SF (0.30 AC)  
- 8.25% OF WATERSHED





Because the natural drainage will be maintained, adjacent properties will not be impacted by an increased drainage flow than what is currently existing. Additionally, the *Preliminary Water Quality Management Plan* (PWQMP) prepared for the project includes the location and identification of all structural Best Management Practices (BMPs), including Treatment Control BMPs (see Figure 2). Post construction flows will sheet flow to the south, as they have historically. Flows from newly developed impervious areas will travel over 200 feet of soil and vegetation through naturally vegetated dispersion/infiltration zone. Little no water will be discharged from this new development, as flows will infiltrate over this gravelly sheet flow area. Any potentially remaining flows will be collected by the proposed shallow retention/infiltration area onsite, located at the south end of the site (shown in Figure 5). All grading activities will be monitored by the Building and Safety Department through the grading permit process for compliance with the approved Conceptual Grading Plan and PWQMP. Compliance with these plans are included as conditions of approval for the project and are not considered mitigation for CEQA implementation purposes. Therefore, potential adverse direct, indirect, or cumulative impacts resulting from substantial change of existing drainage pattern of the site are less than significant.

**f) No Impact.** The *Hydrology and Hydraulics Report*, attached as Appendix G, states that because the natural drainage will be maintained, adjacent properties will not be impacted by an increased drainage flow than what is currently existing. However, to mitigate potential impacts to water quality as a result of increased impervious features proposed by the project, the *Preliminary Water Quality Management Plan* (PWQMP) indicates the use of a volume-based BMP to mitigate these impacts. Specifically, onsite flows will traverse natural and landscaped pervious areas with a high infiltration rate before being collected into the proposed shallow retention/infiltration basin. Since proposed impervious surfaces are greater than 50% than those existing, the Designed Capture Volume (DCV) has been calculated to include both proposed and existing impervious features. Per the Whitewater Watershed VBMP Design worksheet, the site will create a DCV of 1,089 cubic feet. Post construction flows will sheet flow to the south, as they have historically. Flows from newly developed impervious areas will travel over 200 feet of soil and vegetation through naturally vegetated dispersion/infiltration zone. According to the National Resources Conservation Service, onsite soils in this area consist of gravelly coarse sands, classified by the "very high" ability to infiltrate. This area is reported to have a minimum infiltration rate of 5.95"/hr. Little to no water will be discharged from this new development, as flows will infiltrate over this gravelly sheet flow area. At this rate The DCV will infiltrate prior to entering the small proposed retention/infiltration basin. Any potentially remaining flows will be collected by the proposed shallow retention/infiltration area onsite. Exhibit A. *Conditional Use Permit No. 3771 – Site Plan*, shows that there is adequate space within the pervious area between the floodplain limits and septic leach field to increase the size of the basin, if necessary. Implementation of recommended BMPs will ensure that water quality standards are not violated under the proposed project. Standard conditions of approval placed on the project require that site development substantially conform to the site plan and that recommended measure in the PWQMP, including submittal of a Final Preliminary Water Quality Control Plan prior to issuance of a grading permit. Therefore, no potential adverse direct, indirect, or cumulative impacts that result in substantial additional sources of polluted runoff will occur.

**g) No Impact.** The site is impacted by a well-defined watercourse with a tributary drainage area of six (6) acres to the west. This watercourse enters the site where the new dog kennels and office/training barn are proposed. Post construction flows will sheet flow to the south, as they have historically. Flows from newly developed impervious areas will travel over 200 feet of soil and vegetation through naturally vegetated dispersion/infiltration zone. Grading for the proposed improvements is designed in a manner that perpetuates the existing natural drainage patterns with respect to tributary drainage areas, outlet points and outlet conditions.



Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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The southerly portion of the site is within the Special Flood Hazard Area of the 100-year floodplain limits for Smith Creek, which is delineated by the "San Gorgonio River and Smith Creek" study prepared by the U.S. Army Corps of Engineers dated June 1973. The limits of the Special Flood Hazard Area are shown on the Public Flood Hazard Determination Interactive Map found at <http://rcflood.org>. No development, grading, or fencing is proposed within this study area.

Standard conditions of approval require that site development substantially conform to the approved site plan for the project as well as Exhibit B. *Conceptual Grading Plan* and Figure 2. *Preliminary Water Quality Management Plan*. Compliance with these plans are included as conditions of approval for the project and are not considered mitigation for CEQA implementation purposes. As such, no potential adverse direct, indirect, or cumulative impacts which impede or redirect flood flows will occur.

**h) No Impact.** The project site is not located in a mapped flood hazard, tsunami, or seiche zones, and the risk that pollutants could potentially be released due to project inundation is nil. All existing and proposed structures will be covered and have septic system connections, so kennel wash water discharge is prohibited. The findings under Section 16. and the *Preliminary Geotechnical Report*, determined that, based on the distance to large, open bodies of water and the elevation of the site, the potential of seiches/tsunamis or inundation does not present a hazard to this project. Therefore, no potential adverse direct, indirect, or cumulative quality impacts will occur due to site inundation.

**i) No Impact.** Post construction flows will sheet flow to the south, as they have historically. Flows from newly developed impervious areas will travel over 200 feet of soil and vegetation through naturally vegetated dispersion/infiltration zone. Grading for the proposed improvements is designed in a manner that perpetuates the existing natural drainage patterns with respect to tributary drainage areas, outlet points and outlet conditions. As such, no potential adverse direct, indirect, or cumulative impacts on a water quality control plan or sustainable groundwater management plan will occur as a result of project implementation.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

#### **LAND USE/PLANNING** Would the project:

##### **24. Land Use**

a) Cause a significant environmental impact due to a conflict with any land use plan, policy, or regulation adopted for the purpose of avoiding or mitigating an environmental effect?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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b) Disrupt or divide the physical arrangement of an established community (including a low-income or minority community)?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Source(s): Riverside County General Plan, City of Banning General Plan and Zoning Map, GIS database, Project Application Materials

Findings of Fact: **a) Less Than Significant Impact.** The proposed project site is the expansion of an existing dog kennel. This use is consistent under it's General Plan land use designation (AG) and an allowable use within the zone (A-1-10) contingent upon approval of CUP 3771. The kennel use is

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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compatible with surrounding land uses, which consist primarily of large lot residential (10 and 20 acre minimum lot sizes) and equestrian facilities. However, the project site is located within the San Geronio Pass No. 1 Agricultural Preserve, Map No 161. Although, no change of use is being proposed and the project is consistent with the designated Land Use Designation and Zone classification for the property site, due to the non-agricultural nature of the proposed Class IV Dog Kennel, the County of Riverside Resolution 84-526 requires that the property be removed from the Agricultural Preserve.

A Notice of Non-renewal (AGN00169) was recorded on the property as Instrument No. 2015-0206993, dated 5/18/15. Riverside County requires that a Petition for Cancellation of Land Conservation Contract and an Application for Disestablishment or Diminishment of an Agricultural Preserve be submitted to the County for concurrent processing with CUP 3771, which is considered the proposed alternative use of the land. Therefore, upon approval of the these applications by the Board of Supervisors, potential adverse direct, indirect or cumulative impacts on land subject to a Williamson Act are less than significant. (Also, see findings under Sections 6. Air Quality a-b); 7. Biological Resources a) and g); 8. Hazards and Hazardous Materials c); 22. Airports a); 37. Transportation a-b); and, 42. Solid Waste b) for consistency with other land use plans, policies, or regulations adopted for the purpose of avoiding or mitigating an environmental effect.)

**b) No Impact.** The project will not disrupt or divide the physical arrangement of an established community (including a low-income or minority community) because the existing Dog Kennel is not for the public and this expansion will not disrupt the physical arrangement of the community because the proposed use is not for the general public. The existing dog kennel and proposed expansion is a permitted use, pursuant to the Ordinance No. 348 upon approval of a Conditional Use Permit. As such, potential adverse direct, indirect, or cumulative impacts resulting in the disruption or physical division of an established community caused by project development will have no impact.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

#### **MINERAL RESOURCES** Would the project:

##### **25. Mineral Resources**

a) Result in the loss of availability of a known mineral resource that would be of value to the region or the residents of the State?

☐
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b) Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?

☐
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c) Potentially expose people or property to hazards from proposed, existing, or abandoned quarries or mines?

☐
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Source(s): Riverside County General Plan Figure OS-6 "Mineral Resources Area"

**Findings of Fact: a-c) No Impact.** The mineral resource zone (MRZ) mapped for this area is MRZ-3. This classification is an area where the available geologic information indicates that mineral deposits are likely to exist, however, the significance of the deposit is undetermined. The project site has no history of mineral resource recovery uses, does not contain any known mineral resource, and is not located within an area that has been classified or designated as a mineral resource area by the State



Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Board of Mining and Geology. Furthermore, the project site is not located in an area of proposed, existing or abandoned quarries or mines. Therefore, no potential adverse direct, indirect, or cumulative impacts resulting in the loss of know mineral resources are anticipated or the exposure of people or property to abandoned quarries or mines will occur as a result of project development.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

**NOISE** Would the project result in:

**26. Airport Noise**

a) For a project located within an airport land use plan or, where such a plan has not been adopted, within two (2) miles of a public airport or public use airport would the project expose people residing or working in the project area to excessive noise levels?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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b) For a project located within the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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**Source(s):** Riverside County General Plan Figure S-20 "Airport Locations," County of Riverside Airport Facilities Map

**Findings of Fact:** a) **No Impact.** The project site is located approximately seven (7) miles southwest of the Banning Municipal Airport. Review of the Riverside County Airport Land Use Commission, Banning Municipal Airport Compatibility Map and Airspace Plan, as well as the GIS database, indicates that the project site is not located within the Airport's Influence Areas or Compatibility Zones. Therefore, development of the project will have no adverse direct, indirect, or cumulative impacts on airport land uses or result in the exposure of people residing or working in the project area to excessive noise levels.

b) **No Impact.** The project site is not located within the vicinity of a private airstrip or heliport. Accordingly, the proposed project would not result in a safety hazard for people living or residing in the project area. No adverse direct, indirect, or cumulative impacts will occur.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

**27. Noise Effects by the Project**

a) Generation of a substantial temporary or permanent increase in ambient noise levels in the vicinity of the project in excess of standards established in the local general plan, noise ordinance, or applicable standards of other agencies?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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b) Generation of excessive ground-borne vibration or ground-borne noise levels?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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**Source(s):** Riverside County General Plan, Table N-1 ("Land Use Compatibility for Community Noise Exposure"), Noise Impact Study, dated February 15, 201, prepared by MD Acoustics, Project Application Materials

**Findings of Fact:** a) **Less Than Significant Impact.** A *Noise Impact Study*, was prepared for the proposed project to evaluate the potential noise impacts for the project study area and to recommend noise mitigation measures, if necessary, to minimize the potential noise impacts. This assessment analyzes future noise impacts as a result of the project. The analysis details the estimated exterior/interior noise levels. Stationary noise impacts are analyzed from the noise sources on-site such as operations from the dog kennel.

Noise monitoring locations were selected to represent the existing ambient conditions at or near the project site. A total of two (2) short-term 10-minute and one (1) 24-hour long-term noise measurements were conducted at or near the project site and is illustrated in Figure 6, below.

Vohne Liche Kennels West  
Noise Impact Study  
County of Riverside, CA

Study Method and Procedure

#### Exhibit E Measurement Locations



**Figure 6. Noise Monitoring Locations**

SoundPLAN (SP) acoustical modeling software was utilized to model future worst-case stationary noise impacts to the adjacent land uses. SP is capable of evaluating multiple stationary noise source impacts at various receiver locations.



Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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The future worst-case noise level projections were modeled using reference sound level data for a dog barking. The acoustical engineer measured a dog barking at 3 feet away and has a reference level of 85 dBA. This information was utilized within the model. In addition, the kennels and training area were modeled as area sources (a noise source every 3-feet from each other). Noise associated with kennels include dogs barking and humans talking. Modeling takes into account potential worst-case daytime noise levels and nighttime noise levels. During nighttime conditions, the noise levels at the kennels would be lower when dogs are resting. A reference level of 67 dBA was inputted into the model.

### ***Existing Ambient Noise Levels***

An ambient noise measurement was conducted at various locations at or near the project site. Noise measurements were taken to determine the existing ambient noise levels.

The results of the short-term noise data is presented in Table 2.

**Table 2. Existing Ambient Noise Levels – Short-Term (dBA)**

Location	Date	Start Time <sup>1</sup>	Leq	Lmin	Lmax	L2	L8	L25	L50	L90
Site 1	5/21/2016	2:24 PM	41.4	35.3	52.7	47.7	45.0	41.7	39.4	37.3
Site 2	5/21/2016	2:58 PM	47.2	35.2	53.2	52.5	51.4	48.8	45.6	43.4
Notes: <sup>1</sup> Short-term measurements were taken for ten minute intervals										

The noise data indicates the short-term ambient noise level ranged between 41.4 to 47.2 dBA Leq at/or near the project area. Maximum levels reach 52.7 dBA near the north end of the site and 53.2 dBA toward the south end of the site. Ambient levels consist of local roadway, existing operation noise levels associated with the kennel and rural noise. Additional field notes and photographs are provided in Appendix G.

The results of the long-term noise data is presented in Table 3.

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**Table 3. Existing Ambient Noise Levels – Long-Term (dBA)**

Date	Start	Stop	Leq	Lmax	Lmin	L2	L8	L25	L50	L90
5/21/2016	5:00 PM	6:00 PM	51.9	63.4	39.5	59.1	55.9	52.4	49.4	45.0
5/21/2016	6:00 PM	7:00 PM	53.5	63.1	41.3	59.8	57.2	54.5	51.5	47.3
5/21/2016	7:00 PM	8:00 PM	54.2	64.4	42.7	60.7	58.4	55.2	51.8	47.3
5/21/2016	8:00 PM	9:00 PM	52.1	63.8	40.5	58.8	55.7	52.9	50.2	45.4
5/21/2016	9:00 PM	10:00 PM	48.4	63.7	35.7	54.8	52.1	49.0	46.3	41.9
5/21/2016	10:00 PM	11:00 PM	46.9	60.5	35.7	54.3	50.7	47.0	44.4	40.1
5/21/2016	11:00 PM	12:00 AM	44.2	59.0	33.1	50.7	48.0	45.1	42.2	37.3
5/22/2016	12:00 AM	1:00 AM	45.1	55.2	35.7	50.8	48.8	46.1	43.5	39.4
5/22/2016	1:00 AM	2:00 AM	45.2	62.2	34.3	52.3	49.0	45.5	42.5	38.0
5/22/2016	2:00 AM	3:00 AM	44.1	63.7	26.8	55.0	44.6	39.2	35.8	30.2
5/22/2016	3:00 AM	4:00 AM	38.5	55.5	29.6	44.5	41.6	39.1	36.9	32.6
5/22/2016	4:00 AM	5:00 AM	42.2	61.9	29.2	52.8	43.6	39.9	37.1	32.6
5/22/2016	5:00 AM	6:00 AM	55.3	63.0	34.1	60.8	59.5	57.5	53.4	41.7
5/22/2016	6:00 AM	7:00 AM	53.3	64.5	31.3	60.2	58.4	55.4	47.5	38.1
5/22/2016	7:00 AM	8:00 AM	56.7	68.0	33.2	63.9	61.4	58.0	54.3	38.8
5/22/2016	8:00 AM	9:00 AM	50.5	67.6	34.0	61.6	54.7	46.0	41.3	36.5
5/22/2016	9:00 AM	10:00 AM	53.3	68.4	36.3	62.4	59.4	50.9	45.3	40.5
5/22/2016	10:00 AM	11:00 AM	46.2	63.2	36.7	54.4	50.0	45.3	42.7	39.5
5/22/2016	11:00 AM	12:00 PM	46.6	61.1	36.7	55.1	50.6	46.2	43.0	39.2
5/22/2016	12:00 PM	1:00 PM	47.1	64.7	35.6	55.3	51.1	46.3	42.9	38.9
5/22/2016	1:00 PM	2:00 PM	45.0	64.3	34.6	53.5	48.3	44.3	41.6	37.5
5/22/2016	2:00 PM	3:00 PM	47.9	70.3	35.7	56.1	51.8	46.8	43.5	39.1
5/22/2016	3:00 PM	4:00 PM	53.7	69.0	34.0	63.0	59.7	51.2	44.7	39.2
5/22/2016	4:00 PM	5:00 PM	47.6	64.1	35.1	56.9	51.1	46.4	42.9	38.0

**AVERAGED DAYTIME (7AM - 7PM) LEQ:** 50.4      **MAX:** 70.3      **CNEL:** 56.7  
**AVERAGED EVENING TIME (7PM - 10PM) LEQ:** 44.8      **MIN:** 26.8  
**AVERAGED NIGHTTIME (10PM - 7AM) LEQ:** 52.5

Noise measurement data consists of hourly intervals. The loudest hourly interval occurred between 7AM to 8AM and measured 56.7 dBA Leq. The quietest hourly interval occurred between 3AM to 4AM and measured 38.5 dBA Leq.

### ***Future Ambient Noise Levels***

The assessment analyzed future noise impacts as a result of the project. The analysis details the estimated exterior/interior noise levels. Stationary noise impacts are analyzed from the noise sources on-site such as operations from the dog kennel.

### ***Noise Impacts to Off-Site Receptors Due to Stationary Sources***

Sensitive receptors that may be affected by project operational noise include existing residences to the west that are 347 feet from the dog kennels. The worst-case stationary noise was modeled using SoundPLAN acoustical modeling software.



Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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A total of two (2) receptors were modeled to evaluate the proposed project's operational impact. A receptor is denoted by a yellow dot. All yellow dots represent either a property line or a sensitive receptor such as an outdoor sensitive area (e.g. courtyard, patio, backyard, etc).

Figure 7 shows the future operational noise levels (project only) at the property lines, building facade, and/or sensitive receptor area for both daytime and nighttime conditions. Depending on the receptor location, daytime operational noise levels are anticipated to range between 55.5 to 59.4 dBA Leq and 28.3 to 32.1 dBA during the nighttime. Based on the noise level projections, the noise impact will be below the County's 65/45 dBA 10-min Leq daytime/nighttime noise standard.

Vohne Liche Kennels West  
Noise Impact Study  
County of Riverside, CA

Future Noise Environment Impacts and Mitigation

### Exhibit G Operational Noise Level Daytime Contours

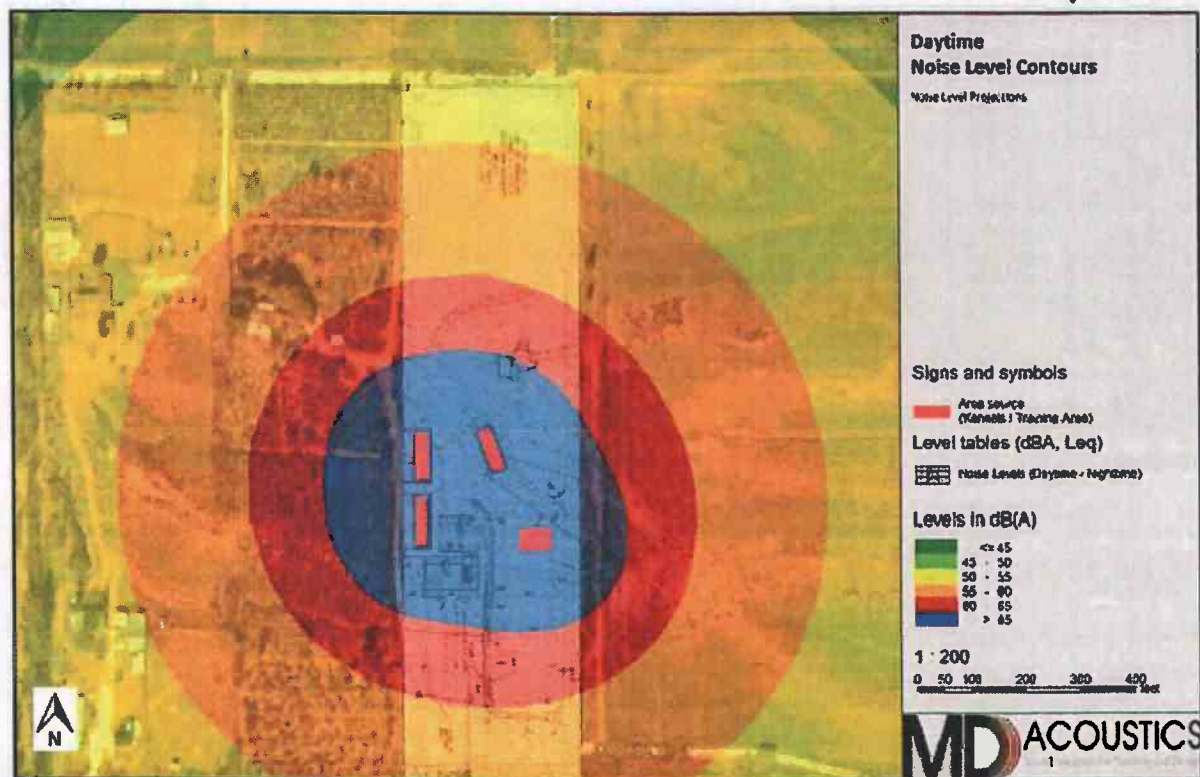


Figure 7. Operational Noise Level – Daytime Contours

The Community Equivalent Noise Level (CNEL) generated by the project operational noise at the nearest sensitive receptors will range between 55 and 59 dBA CNEL, which is consistent with the County's Land Use Compatibility table. Therefore, potential adverse direct, indirect, or cumulative impacts resulting from a substantial temporary or permanent increase in ambient noise levels resulting from the proposed project would be less than significant. Figures 7 and 8 illustrates the noise contours at the project site during daytime and nighttime conditions and illustrates how the noise will propagate at the site.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Vohne Liche Kennels West  
Noise Impact Study  
County of Riverside, CA

Future Noise Environment Impacts and Mitigation

## Exhibit H Operational Noise Level Nighttime Contours



**Figure 8. Operational Noise Level – Nighttime Contours**

To calculate projected future ambient conditions at the site, the future operational noise levels were combined with the existing ambient noise levels. The combined noise level during the daytime is anticipated to reach 61.5 dBA and 39.4 dBA, at the nearest sensitive receptor, which is below the County's 65/45 dBA 10-min Leq standard. An increase of 4.8 dBA is anticipated during the daytime and 0.9 dBA during the nighttime. It takes a change of 3 dBA to hear a barely noticeable difference. It takes a change of 5 dBA or more to hear noticeable difference. Therefore, the projected increase in noise levels from what is currently existing with the proposed project is below the County's noise limit and, therefore, potential adverse direct, indirect, or cumulative impacts is less than significant.

Typical "windows closed" condition assumes a 20 dBA noise reduction from building construction techniques. The anticipated interior noise level at the nearest sensitive receptors will range between 35.5 to 39.4 dBA with the "windows closed". The projected interior noise levels are anticipated to not exceed the County's most-strict nighttime 40 dBA 10-min Leq standard. Therefore, no additional mitigation is required beyond compliance with CBC standards.



Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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## Construction Noise

The degree of construction noise may vary for different areas of the project site and also vary depending on the construction activities. Noise levels associated with the construction will vary with the different phases of construction. Table 4 was compiled by the Environmental Protection Agency (EPA) and provides a list of typical construction equipment and the noise characteristics associated with this typical type of construction activity.

**Table 4. Typical Construction Noise Levels (dBA)**

**Equipment Powered by Internal Combustion Engines<sup>1</sup>**

Type	Noise Levels (dBA) at 50 Feet
<b>Earth Moving</b>	
Compactors (Rollers)	73 - 76
Front Loaders	73 - 84
Backhoes	73 - 92
Tractors	75 - 95
Scrapers, Graders	78 - 92
Pavers	85 - 87
Trucks	81 - 94
<b>Materials Handling</b>	
Concrete Mixers	72 - 87
Concrete Pumps	81 - 83
Cranes (Movable)	72 - 86
Cranes (Derrick)	85 - 87
<b>Stationary</b>	
Pumps	68 - 71
Generators	71 - 83
Compressors	75 - 86

**Impact Equipment<sup>1</sup>**

Type	Noise Levels (dBA) at 50 Feet
Saws	71 - 82
Vibrators	68 - 82
Notes: <sup>1</sup> Referenced Noise Levels from the Environmental Protection Agency (EPA)	

Construction noise is considered a short-term impact and would be considered significant if construction activities are taken outside the allowable times as described in the pursuant to the Noise Element policy N 13.2, "Ensure that construction activities are regulated to establish hours of operation in order to prevent and/or mitigate the generation of excessive or adverse noise impacts on surrounding areas". Construction is anticipated to occur during the permissible hours according the Riverside County Ordinance No. 84. Construction noise will have a temporary or periodic increase in the ambient noise level above the existing within the project vicinity. Furthermore, noise reduction measures are provided below to further reduce construction noise.

Typical operating cycles for these types of construction equipment may involve one or two minutes of full power operation followed by three to four minutes at lower power settings. Noise levels will be loudest during building phase. A likely worst-case construction noise scenario during building assumes

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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the use of a crane, tractor, backhoe and generator operating at 50 feet from the nearest sensitive receptor.

Assuming a usage factor of 40 percent for each piece of equipment, unmitigated noise levels at 250 feet has the potential to reach 65 dBA Leq and 67 dBALmax at the nearest sensitive receptors during building phase of the development.

#### *Ground-Borne Vibration*

Construction activities can produce vibration that may be felt by adjacent land uses. The construction of the proposed project would not require the use of equipment such as pile drivers, which are known to generate substantial construction vibration levels. The nearest sensitive receptors are located at a distance of 250 feet or more and are located outside any potential for a vibration impact. The impact is less than significant and no mitigation is required.

Construction operations must follow the County's General Plan and the Noise Element policy N13.2, which states that construction, repair or excavation work performed must occur within the permissible hours. To further ensure that construction activities do not disrupt the adjacent land uses, the following measures should be taken:

Implementation of the requirements as established in Ordinance No. 847 below, will reduce potential adverse direct, indirect, or cumulative impacts resulting from construction activities and/or ground-borne vibration will be less than significant.

Construction shall occur during the permissible hours, as defined in Section 847:

- Construction does not occur between the hours of 6:00 p.m. and 6:00 a.m. during the months of June through September; and
- Construction does not occur between the hours of 6:00 p.m. and 7:00 a.m. during the months of October through May.

Other best management practices shall also include:

During construction, the contractor shall ensure all construction equipment is equipped with appropriate noise attenuating devices.

The contractor shall locate equipment staging areas that will create the greatest distance between construction-related noise/vibration sources and sensitive receptors nearest the project site during all project construction.

Idling equipment shall be turned off when not in use.

Equipment shall be maintained so that vehicles and their loads are secured from rattling and banging.

Monitoring: No monitoring is required.

#### **PALEONTOLOGICAL RESOURCES:**



	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>28. Paleontological Resources</b>				
a) Directly or indirectly destroy a unique paleontological resource, site, or unique geologic feature?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Source(s):** Riverside County General Plan Figure OS-8 "Paleontological Sensitivity," Paleontological Resource Impact Mitigation Program ("PRIMP") Report (PDP No. 1580)

**Findings of Fact:** a) **Less Than Significant Impact.** The project site is located in an area of undetermined potential to contain paleontological resources. As such, CRM Tech performed a paleontological resource assessment on the entire site, which included a records search, literature review, and a systematic field survey in accordance with the guidelines of the Society of Vertebrate Paleontology. Findings from these research procedures indicate that the project's potential to impact significant paleontological resources appears to be low in the disturbed surface and near-surface soils but high in the relatively undisturbed, fine-grained sediments underneath. The *Paleontological Resources Assessment Report* (County Paleontological Report (PDP) No. 1580), includes conditions of approval to prevent potential impacts on paleontological resources or reduce potential impacts to a less than significant level. Conditions of approval have been placed on the proposed project to ensure that said practices are implemented prior to grading permit issuance. Compliance with 60.Planning.2-Paleo PRIMP/Monitor will reduce potential adverse direct, indirect, or cumulative impacts on paleontological resources to below a level of significance.

**Mitigation:** No mitigation is required.

**Monitoring:** No monitoring is required.

#### POPULATION AND HOUSING Would the project:

<b>29. Housing</b>				
a) Displace substantial numbers of existing people or housing, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Create a demand for additional housing, particularly housing affordable to households earning 80% or less of the County's median income?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Induce substantial unplanned population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Source(s):** Project Application Materials, GIS database, Riverside County General Plan Housing Element

**Findings of Fact:** a-b) **No Impact.** The proposed project is the expansion of an existing dog kennel and consists of the construction of an office/training barn and two (2) additional kennels. When fully operational, up to three (3) employees may be retained to assist in training exercises and/or office functions. As such, no potential adverse direct, indirect, or cumulative impacts will result from the displacement of existing people or housing nor will the development create the demand for additional new housing.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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c) **No Impact.** As previously stated, the proposed project is the expansion of an existing kennel. The facility provides MPC training to law enforcement personnel and is not open to the public. No new housing, roads, the extension of existing roads, or other public infrastructure will be required for the development. Furthermore, the proposed project is an allowable use under its County land use designation and zoning upon approval of a conditional use permit. Therefore, no potential adverse direct, indirect, or cumulative impacts resulting in unplanned population growth will occur.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

**PUBLIC SERVICES** Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered government facilities or the need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the following public services:

**30. Fire Services**

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Source(s): Riverside County General Plan Safety Element, GIS database, Project Application Materials

Findings of Fact: **Less Than Significant Impact.** The Riverside County Fire Department provides fire protection services within unincorporated Riverside County. The project site is primarily served by Riverside County Fire Station No. 89, located approximately three (3) miles northeast of the site, within the City of Banning. Thus, the site is adequately served by fire protection services under existing conditions. Furthermore, Fire Stations No. 20 and No. 63 are located within five (5) miles of the project site, in the event that additional fire services are required. Implementation CUP 3771 will not result in the need for new or physically altered fire protection facilities, and would not exceed applicable service ratios or response times for fire protection services.

The proposed office/training barn will incorporate a complete fire sprinkler system. Pursuant to NFPA 13, 2016 edition, the proposed cement slab/chain-link kennels are not required to have sprinkler systems installed. The project must with County Ordinance No. 659 (DIF fees) to prevent any potential effects on fire services from rising to a level of significance. County Ordinance No. 659 establishes the utilities and public services mitigation fee applicable to all projects to reduce incremental impacts to these services. This is a standard condition of approval and pursuant to CEQA, is not considered mitigation. Therefore, potential adverse direct, indirect, or cumulative impacts affecting fire services are considered to be less than significant.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

**31. Sheriff Services**

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Source(s): Riverside County General Plan, GIS database, Project Application Materials



Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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**Findings of Fact: No Impact.** The Riverside County Sheriff's Department and City-Operated Police Agencies provide community policing to the project area. The Banning Police Station is located approximately three (3) miles northeast of the site, and the Riverside County Sheriff's Department maintains a station in Cabazon, located approximately 10 miles east of the site. Due to the nature of the project, no increase or demand on sheriff or police protection services are anticipated. Furthermore, the project is required to comply with Ordinance No. 659 to prevent any potential effects on law enforcement services from rising to a level of significance. As stated above, County Ordinance No. 659 establishes the utilities and public services mitigation fee applicable to all projects to reduce incremental impacts to these services. This is a standard condition of approval and pursuant to CEQA, is not considered mitigation. Therefore, potential adverse direct, indirect, or cumulative impacts affecting law enforcement services will have no impact.

**Mitigation:** No mitigation is required.

**Monitoring:** No monitoring is required.

### 32. Schools

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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**Source(s):** GIS database, Project Application Materials

**Findings of Fact: No Impact.** The project site is located within the Banning Unified School District. The proposed project is the expansion of an existing kennel and no new housing, which could potentially increase the demand for school services, will result from project approval. Since the proposed project does not involve the development of single-family homes, the project is not required to pay school district mitigation fees. Therefore, no potential adverse direct, indirect, or cumulative impacts will occur from project development.

**Mitigation:** No mitigation is required.

**Monitoring:** No monitoring is required.

### 33. Libraries

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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**Source(s):** Riverside County General Plan, GIS database, Project Application Materials

**Findings of Fact: No Impact.** The Banning Public Library is located approximately four (4) miles northeast of the project site. Due to the nature of the proposed project, no increased need for library services will result from project development. The project is subject to the requirements of County Ordinance No. 659 which establishes the utilities and public services mitigation fee applicable to all projects to reduce incremental impacts to these services. This is a standard condition of approval applied to all new development projects and, pursuant to CEQA, is not considered mitigation. Therefore, no potential adverse direct, indirect, or cumulative impacts on library services will occur.

**Mitigation:** No mitigation is required.

**Monitoring:** No monitoring is required.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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#### 34. Health Services

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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**Source(s):** Riverside County General Plan, Project Application Materials

**Findings of Fact:** **No Impact.** The proposed project is the expansion of an existing kennel and no new housing, which could potentially increase the demand for health services, will result from project approval. Therefore, no potential adverse direct, indirect, or cumulative impacts will result from project approval.

**Mitigation:** No mitigation is required.

**Monitoring:** No monitoring is required.

#### RECREATION Would the project:

##### 35. Parks and Recreation

a) Include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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b) Increase the use of existing neighborhood or regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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c) Be located within a Community Service Area (CSA) or recreation and park district with a Community Parks and Recreation Plan (Quimby fees)?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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**Source(s):** GIS database, Ord. No. 460, Section 10.35 (Regulating the Division of Land – Park and Recreation Fees and Dedications), Ord. No. 659 (Establishing Development Impact Fees), Parks & Open Space Department Review

**Findings of Fact:** **a-c) No Impact.** The proposed project is the expansion of an existing kennel and no increase or new demand for park or other recreational facilities will be required. Therefore, no potential adverse direct, indirect, or cumulative impacts will result from project approval.

**Mitigation:** No mitigation is required.

**Monitoring:** No monitoring is required.

##### 36. Recreational Trails

a) Include the construction or expansion of a trail system?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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**Source(s):** Riverside County General Plan Figure C-6 Trails and Bikeway System



Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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**Findings of Fact: No Impact.** There are no designated General Plan trails located on the project site or within proximity of the site. A designated Regional Trail is located east and southeast of the site and a Historic Trail traverses the City of Banning. However, both trails are located several miles from the site. Therefore, no potential adverse direct, indirect, or cumulative impacts on recreational trails will occur.

**Mitigation:** No mitigation is required.

**Monitoring:** No monitoring is required.

**TRANSPORTATION** Would the project:

**37. Transportation**

a) Conflict with a program, plan, ordinance, or policy addressing the circulation system, including transit, roadway, bicycle, and pedestrian facilities?

☐ ☐ ☐ ☒

b) Conflict with an applicable congestion management program, including, but not limited to level of service standards and travel demand measures, or other standards established by the county congestion management agency for designated roads or highways?

☐ ☐ ☐ ☒

c) Substantially increase hazards due to a geometric design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g. farm equipment)?

☐ ☐ ☐ ☒

d) Cause an effect upon, or a need for new or altered maintenance of roads?

☐ ☐ ☐ ☒

e) Cause an effect upon circulation during the project's construction?

☐ ☐ ☐ ☒

f) Result in inadequate emergency access or access to nearby uses?

☐ ☐ ☐ ☒

**Source(s):** Riverside County General Plan, Project Application Materials

**Findings of Fact: a-b) No Impact.** The proposed project is the expansion of an existing kennel by the construction of a 6,000 sq. ft. office/training barn and two (2) concrete slab/chain-link kennels. The project is an allowable use under the Riverside County land use designation and zoning classification contingent upon approval of a conditional use permit.

Presently, the facility conducts multipurpose canine training classes and supplies equipment to federal, State, county and local law enforcement agencies in-state and out-of-state, which includes weekly and monthly K9 maintenance training for twenty (20) K9 teams from nine local and in-state law enforcement agencies. The facility is not open to the public. The anticipated 50 vehicles trips traveling to and from the site per week is considered insignificant and will have no impact on the surrounding circulation system or present level of service on adjacent roadways. Therefore, no potential adverse direct, indirect, or cumulative impacts will result from project approval.

**c-d) No Impact.** The proposed project will not require modifications to any existing public right-of-way resulting in a hazardous design feature such as sharp curves or incompatible uses. The existing roadway provides adequate access to the project site and all on-site roadways/drives will not change.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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All access roads on the site are maintained by the site's caretaker (Kennel Master). Fire conditions of approval require that the existing dirt driveway off Hilltop Drive, accessing the project development area located on the southern portion of site, be evaluated to ensure its capability of supporting a fully-loaded emergency fire vehicle. This condition of approval is not considered mitigation for CEQA purposes. As such, no potential adverse direct, indirect, or cumulative impacts resulting from substantially increased roadway hazards or the need for new or altered road maintenance will occur.

**e) No Impact.** The proposed expansion of the existing kennel and construction of the office/training barn and additional new kennels will temporarily affect adjacent roadways. However, the area of development is relatively small, requiring limited construction equipment for only a short duration of time. Therefore, potential adverse direct, indirect, or cumulative impacts due to construction activities will have no impact on surrounding residential/equestrian uses.

**f) No Impact.** Compliance with Riverside County Fire Departments development standards in terms of length of driveway, turnaround, slope, gate width and opening, will ensure that adequate emergency access into and out of the project site is available. Fire conditions of approval require that the existing dirt driveway off Hilltop Drive, accessing the project development area located on the southern portion of site, be evaluated to ensure its capability of supporting a fully-loaded emergency fire vehicle. This condition of approval is not considered mitigation for CEQA purposes. As such, no potential adverse direct, indirect, or cumulative impacts resulting from inadequate emergency access or access to nearby uses will occur.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

### 38. Bike Trails

a) Include the construction or expansion of a bike system or bike lanes?

☐
☐
☐
☒

Source(s): Riverside County General Plan

Findings of Fact: **a) No Impact.** According to The Pass Area Plan, Figure 8, no bike lanes or bike system are located in the vicinity of the project site. Therefore, no potential adverse direct, indirect, or cumulative impacts on bike systems will occur.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.



Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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**TRIBAL CULTURAL RESOURCES** Would the project cause a substantial adverse change in the significance of a Tribal Cultural Resource, defined in Public Resources Code section 21074 as either a site, feature, place, or cultural landscape that is geographically defined in terms of the size and scope of the landscape, sacred place, or object with cultural value to a California Native American Tribe, and that is:

**39. Tribal Cultural Resources**

a) Listed or eligible for listing in the California Register of Historical Resources, or in a local register of historical resources as defined in Public Resources Code section 5020.1 (k)?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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b) A resource determined by the lead agency, in its discretion and supported by substantial evidence, to be significant pursuant to criteria set forth in subdivision (c) of Public Resources Code Section 5024.1? (In applying the criteria set forth in subdivision (c) of Public Resources Code Section 5024.1, the lead agency shall consider the significance of the resource to a California Native American tribe.)

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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**Source(s):** County Archaeologist, AB52 Tribal Consultation, Phase I Cultural Resources Assessment (PDA No. 5044)

**Findings of Fact a-b) Less Than Significant Impact.** In compliance with Assembly Bill 52 (AB52), notices regarding this project were mailed to all requesting tribes on April 27, 2017. No response was received from Ramona, Rincon, Soboba or Cahuilla. Twenty-Nine Palms had no interest in this project, Consultations were requested by the Morongo Band of Indians. A Phase I Cultural Resources Assessment (County Archaeological Report (PDA) No. 5044) was prepared for the project, which included a records search, literature review, and field survey of the entire site. No cultural resources of prehistoric or historical origin were observed within the property boundaries. The findings of the Phase I Cultural Resources Assessment, attached as Appendix C, did not require further research or mitigation; however, should any cultural resources be discovered during the course of ground disturbing activities anywhere on the subject property, it is recommended that all work in the area be halted or diverted until a qualified archaeologist can evaluate the resources and make a determination of their significance.

Consultation with Morongo took place onsite on May 11, 2017. During a May 25, 2017 meeting, Morongo requested that the tribe be allowed to monitor ground disturbing activities associated with this project. The conditions of approval for the project were provided to the tribe on October 16, 2017. In a follow-up consultation meeting on October 20, 2017, the tribe told Planning that they concurred with the conditions of approval and consultation was formally concluded. In conclusion, no Tribal Cultural resources were identified by any of the Tribes.

Based upon analysis of records and a survey of the property by the County Archaeologist, it has been determined that there will be no impacts to significant cultural historic resources as defined in California Code of Regulations, Section 15064.5 because they do not occur on the project site. An Archaeologist and Tribal Monitor will be present to ensure any unanticipated resources are managed according to procedures identified in the Cultural Resources Management Plan (CRMP). The project shall comply with the condition of approval for unanticipated resources. Compliance with (60.Planning.1- USE

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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TRIBAL MONITOR) will reduce potential adverse direct, indirect, or cumulative impacts on historic resources to below a level of significance. Impacts will be less than significant.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

#### UTILITIES AND SERVICE SYSTEMS Would the project:

##### 40. Water

a) Require or result in the relocation or construction of new or expanded water, wastewater treatment, or storm water drainage systems, whereby the construction or relocation would cause significant environmental effects?

☐
☐
☒
☐

b) Have sufficient water supplies available to serve the project and reasonably foreseeable future development during normal, dry, and multiple dry years?

☐
☐
☒
☐

Source(s): Project Application Materials, Water Company, Percolation Investigation

Findings of Fact: **a-b) Less Than Significant Impact.** The proposed project is the expansion of an existing kennel to increase the number of dogs maintained at the facility from 10 dogs to 80 dogs, which includes the construction of two (2) 30-dog capacity concrete slab/chain link kennels, a 6,000 sq. ft. office/training barn, and a new OWTS to support the new structures. Water is currently supplied by the City of Banning, Department of Municipal Water and Sewer Service, and sewage is treated by two (2) existing OWTS. Based on the number of fixture units proposed for the new structures, the *Percolation Investigation*, attached as Appendix E, determined that a new 4,000 gallon septic tank would be required to support the expansion of 6,000 square foot office/training barn. Furthermore, the *Percolation Investigation* determined that the use of a new subsurface sewage effluent disposal system is feasible provided that the system is constructed in accordance with the Departmental of Environmental Health requirements and the OWTS, as designed.

Although the proposed project will result in an increase in the amount of water usage and sewage generated on the site, the disposal field associated with the proposed OWTS will release the treated wastewater into the soil at the prescribed percolation rate to be naturally reabsorbed into the ground. Storm water flows will traverse natural and landscaped pervious areas with a high infiltration rate before being collected into the proposed shallow retention/infiltration basin, located south of the office/training barn and the OWTS disposal field. The proposed retention/infiltration basin's Designed Capture Volume (DCV) has been calculated to include both proposed and existing impervious features. Per the Whitewater Watershed VBMP Design worksheet, the site will create a DCV of 1,089 cubic feet. Post construction flows will sheet flow to the south, as they have historically. Flows from newly developed impervious areas will travel over 200 feet of soil and vegetation through naturally vegetated dispersion/infiltration zone. It is anticipated that little to no water will be discharged from this new development, as flows will infiltrate over this gravelly sheet flow area.

It should be noted that the existing and expanded uses at the project site are consistent with the County's General Plan land use designation (Agriculture), which allows for farming activities and animal keeping. Therefore, potential adverse direct, indirect, or cumulative impacts resulting from the need for expanded water, wastewater treatment, or storm water drainage systems is less than significant.



Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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**Mitigation:** No mitigation is required.

**Monitoring:** No monitoring is required.

#### 41. Sewer

a) Require or result in the construction of new wastewater treatment facilities, including septic systems, or expansion of existing facilities, whereby the construction or relocation would cause significant environmental effects?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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b) Result in a determination by the wastewater treatment provider that serves or may service the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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**Source(s):** Department of Environmental Health Review

**Findings of Fact:** a) **Less Than Significant Impact.** On-site sewage is currently treated by two (2) existing OWTS and not through the City of Banning, Department of Municipal Water and Sewer Service. The proposed project includes the installation of a 4,000 gallon OWTS to support the new development. Based on the number of fixture units proposed for the new structures, the *Percolation Investigation*, attached as Appendix E, determined that the use of a new subsurface sewage effluent disposal system is feasible provided that the system is constructed in accordance with the Departmental of Environmental Health requirements and the OWTS, as designed. Based on the fixture count provided, a 4,000 gallon septic tank will be required for the onsite wastewater treatment system (OWTS) for the combined kennels and office/barn. Therefore, potential adverse direct, indirect, or cumulative impact resulting from the need for new or expanded wastewater treatment facilities is less than significant.

b) **No Impact.** The proposed project includes a 4,000 gallon OWTS to support the new development and no sewer connections are required. Therefore, no potential adverse direct, indirect, or cumulative impacts on existing wastewater treatment facilities will occur.

**Mitigation:** No mitigation is required.

**Monitoring:** No monitoring is required.

#### 42. Solid Waste

a) Generate solid waste in excess of State or Local standards, or in excess of the capacity of local infrastructure, or otherwise impair the attainment of solid waste reduction goals?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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b) Comply with federal, state, and local management and reduction statutes and regulations related to solid wastes including the CIWMP (County Integrated Waste Management Plan)?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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**Source(s):** Riverside County General Plan, Riverside County Waste Management District correspondence

**Findings of Fact: a-b) No Impact.** The Riverside County Waste Management currently serves the project site; however, at the present, Waste Management does not provide recycling collection services for the project area. The proposed project includes the construction of an enclosed area for waste disposal and separation containers for recyclable materials in the event that recycling services are made available to the project. No new landscaping is proposed for the project. Due to the limited scope and nature of the proposed expansion, the construction and operation of the facility is not anticipated to generate a substantial amount of solid waste.

During construction, the project is required to provide a minimum of two (2) trash bins, one for waste disposal and the other for recycling of construction and/or demolition materials. Condition of approval 80.Waste Resources.1 – Waste Recycle Plan (WRP) requires that the applicant or developer prepare a waste recycling plan that identifies the types of materials that will be generated during construction and development of the site, the projected amounts, methods used to recycle, reuse, and/or reduce amount of waste, the facilities and/or haulers that will be utilized, and the targeted or reduction rate. Compliance with this condition also requires that the WRP maintain accurate records for recycling of construction/demolition materials and solid waste disposal. This is a standard condition of approval placed on all new development projects and is not considered mitigation for CEQA purposes. As such, the proposed project is in compliance with federal, state, and local regulations related to solid wastes. Therefore, the proposed project will not require or result in the construction of new landfill facilities, including the expansion of existing facilities and no potential adverse direct, indirect, or cumulative impacts will occur. There will be no impacts.

**Mitigation:** No mitigation is required.

**Monitoring:** No monitoring is required.

#### 43. Utilities

Would the project impact the following facilities requiring or resulting in the construction of new facilities or the expansion of existing facilities, whereby the construction or relocation would cause significant environmental effects?

a) Electricity?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Natural gas?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Communications systems?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Street lighting?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Maintenance of public facilities, including roads?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Other governmental services?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Source(s):** Project Application Materials, Utility Companies

**Findings of Fact: a-b) Less Than Significant Impact.** Implementation of the proposed project will result in an incremental system capacity demand for energy systems. Due to the limited scope of the proposed project, these impacts are considered less than significant based on the availability of existing public facilities that support local systems. Therefore, potential adverse direct, indirect, or cumulative impacts resulting from the incremental increased demand on energy systems are less than significant.



Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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**c-f) No Impact.** The proposed project will not require the expansion of existing facilities or the construction of new facilities relative to communication systems, storm water drainage systems, street lighting systems, maintenance of public facilities, including roads and potentially other governmental services. Therefore, no potential adverse direct, indirect, or cumulative impacts will occur from implementation of the proposed project.

**Mitigation:** No mitigation is required.

**Monitoring:** No monitoring is required.

**WILDFIRE** If located in or near a State Responsibility Area ("SRA"), lands classified as very high fire hazard severity zone, or other hazardous fire areas that may be designated by the Fire Chief, would the project:

**44. Wildfire Impacts**

a) Substantially impair an adopted emergency response plan or emergency evacuation plan?

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b) Due to slope, prevailing winds, and other factors, exacerbate wildfire risks, and thereby expose project occupants to, pollutant concentrations from a wildfire or the uncontrolled spread of a wildfire?

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c) Require the installation or maintenance of associated infrastructure (such as roads, fuel breaks, emergency water sources, power lines or other utilities) that may exacerbate fire risk or that may result in temporary or ongoing impacts to the environment?

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d) Expose people or structures to significant risks, including downslope or downstream flooding or landslides, as a result of runoff, post-fire slope instability, or drainage changes?

☐ ☐ ☐ ☒

e) Expose people or structures either directly or indirectly, to a significant risk of loss, injury, or death involving wildland fires?

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**Source(s):** Riverside County General Plan Figure S-11 "Wildfire Susceptibility", GIS database, Project Application Materials

**Findings of Fact: a) No Impact.** The project site is located in a high fire hazard area, as designated on the GIS database (see Figure 3). Development of the proposed project includes adequate access for emergency response vehicles and personnel. The Riverside County Fire Department has reviewed the proposed project and standard conditions of approval, relative to emergency access and egress, road widths, location of entry gates, turnarounds and surfacing materials of roadways have been placed on CUP 3771 to ensure that the proposed project does not impair an adopted emergency response plan or emergency evacuation plan. Therefore, no adverse direct, indirect, or cumulative impacts on such plans will occur.

**b) No Impact.** The proposed project is the expansion of an existing kennel. Development of the expansion area will not substantially alter the existing topography of the site. In addition, the project is required that fire hydrants be located not more than 400 feet away from any portion of the office/training

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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barn and that the structure be equipped with a complete fire sprinkler system. No sprinkler system is required for the new kennels due to size and proposed construction materials. Operation of the facility will continue to be conducted in the same manner as is currently employed and no changes are proposed that would exacerbate wildfire risks, thereby exposing project occupants to pollutant concentrations from a wildfire or the uncontrolled spread of a wildfire. Therefore, no potential adverse direct, indirect, or cumulative impacts will occur as a result of project approval.

**c) No Impact.** Development of the proposed project will not require the installation or maintenance of associated infrastructure (such as roads, fuel breaks, emergency water sources, power lines or other utilities) that may exacerbate fire risk or that may result in temporary or ongoing impacts to the environment. Therefore, no potential adverse direct, indirect, or cumulative impacts on the environment will occur.

**d) No Impact.** As discussed under 14. a) and 16. a), the probability of a landslide occurring on the site is low. No slopes in excess of 2:1 slopes will be created during site preparation. The *Hydrology and Hydraulics Report* (attached as Appendix G), prepared for the proposed project, assessed existing on-site and off-site drainage conditions and proposed on-site conditions with implementation of CUP 3771. The site is impacted by a well-defined watercourse with a tributary drainage area of six (6) acres. Development of the proposed project will maintain the existing natural drainage patterns on the site. The proposed project will increase impervious surfaces on the site from 1.51% to 5.2% of the on-site watershed area. Runoff from the site discharges to Smith Creek, which is 100 feet south of Death Valley Road. The developer proposes to mitigate for increase in runoff and water quality by constructing a retention basin immediately upstream from the northerly limits of the flood zone, shown in Figure 5. The Designed Capture Volume (DCV) has been calculated to include both proposed and existing impervious features. It is anticipated that runoff will percolate into the soil as it crosses the site prior to reaching the basin. Therefore, no potential adverse direct, indirect, or cumulative impacts which exposure people or structures to significant risks as a result of runoff, post-fire slope stability, or drainage changes will occur.

**e) No Impact.** The proposed project has been reviewed by the Riverside County Fire Department and standard conditions of approval, relative to emergency access and egress, road widths, location of entry gates, turnarounds and surfacing materials of roadways have been placed on the project. Furthermore, said conditions required that a fire hydrant be located within 400 feet of the office/training barn and that the structure be equipped with a complete fire sprinkler system. An Emergency Response Plan (ERP) for the project was submitted with project application materials and shall be maintained in the office/training barn in clear view of site personnel and updated at regular intervals, as needed. As such, no potential adverse direct, indirect, or cumulative impacts resulting in the exposure of people or structures to significant risk involving wildfires. The secure bunker that will house the explosives is in a permanently affixed location onsite. The Fire Marshall has approved and inspected the bunker.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required

#### MANDATORY FINDINGS OF SIGNIFICANCE Does the Project:

45. Have the potential to substantially degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or

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Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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animal community, substantially reduce the number or restrict the range of a rare or endangered plant or animal, or eliminate important examples of the major periods of California history or prehistory?

**Source(s):** Staff Review, Project Application Materials

**Findings of Fact:** Conditions of approval have been placed on CUP 3771 (see conditions 60.Planning-EPA.1-30 Day Burrowing Owl Survey, 60.Planning.1-Tribal Monitor, and 60.Planning.2- Paleo PRIMP/Monitor). Implementation of these conditions of approval will ensure that implementation of the proposed project would not substantially degrade the quality of the environment, substantially reduce the habitat of fish or wildlife species, cause a fish or wildlife populations to drop below self-sustaining levels, threaten to eliminate a plant or animal community, or reduce the number or restrict the range of a rare or endangered plant or animal, or eliminate important examples of the major periods of California history or prehistory. Therefore, potential impacts would be less than significant.

46. Have impacts which are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, other current projects and probable future projects)?

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**Source(s):** Staff Review, Project Application Materials

**Findings of Fact:** As discussed throughout this environmental assessment, implementation of the proposed project, the expansion of an existing dog kennel, will not result in potentially significant or cumulative effects on the environment. There are no other components associated with the proposed project which are individually limited, but cumulatively considerable that haven't already been discussed in this environmental assessment. No impacts will occur.

47. Have environmental effects that will cause substantial adverse effects on human beings, either directly or indirectly?

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**Source(s):** Staff Review, Project Application Materials

**Findings of Fact:** Based on the preceding analysis, the proposed project would not result in environmental effects which would cause substantial adverse effects on human beings, either directly or indirectly. There are no components of this project that could result in substantial adverse effects on human beings that have not already been evaluated and disclosed throughout this environmental assessment. Therefore, potential impacts would be less than significant.

## V. EARLIER ANALYSES

Earlier analyses may be used where, pursuant to the tiering, program EIR, or other CEQA process, an effect has been adequately analyzed in an earlier EIR or negative declaration as per California Code of Regulations, Section 15063 (c) (3) (D). In this case, a brief discussion should identify the following:

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Earlier Analyses Used, if any: None

## VI. AUTHORITIES CITED

Authorities cited: Public Resources Code Sections 21083 and 21083.05; References: California Government Code Section 65088.4; Public Resources Code Sections 21080(c), 21080.1, 21080.3, 21082.1, 21083, 21083.05, 21083.3, 21093, 21094, 21095 and 21151; *Sundstrom v. County of Mendocino* (1988) 202 Cal.App.3d 296; *Leonoff v. Monterey Board of Supervisors* (1990) 222 Cal.App.3d 1337; *Eureka Citizens for Responsible Govt. v. City of Eureka* (2007) 147 Cal.App.4th 357; *Protect the Historic Amador Waterways v. Amador Water Agency* (2004) 116 Cal.App.4th at 1109; *San Franciscans Upholding the Downtown Plan v. City and County of San Francisco* (2002) 102 Cal.App.4th 656.