

**SUBMITTAL TO THE BOARD OF SUPERVISORS
COUNTY OF RIVERSIDE, STATE OF CALIFORNIA**



ITEM: 21.1
(ID # 12997)

MEETING DATE:
Tuesday, July 14, 2020

FROM: TLMA-PLANNING:

SUBJECT: TRANSPORTATION & LAND MANAGEMENT AGENCY/PLANNING: Public Hearing on TENTATIVE PARCEL MAP NO. 37819 – CEQA Exempt Section 15061 (b)(3) and Section 15315 (Minor Land Divisions) – Applicant/Engineer: Pierer Immoreal North America, LLC - Third Supervisorial District – Rancho California Zoning Area – Southwest Area Plan: Commercial Office/Commercial Retail (CO/CR) – Location: North of Winchester Road, East of Sparkman Way, South of Sky Canyon Drive, West of Borel Road – 31.86 Acres – Zoning: SP Zone (SP265)– PROJECT DESCRIPTION: A Schedule “J” Tentative Parcel Map subdivision of 31.86 gross acres into 2 parcels – APN: 963-030-013. District 3. [Applicant Fees 100%]

RECOMMENDED MOTION: That the Board of Supervisors:

1. **FIND** that the project is **EXEMPT** from the California Environmental Quality Act (CEQA), pursuant to State CEQA Guidelines Section 15315 (Minor Land Divisions) and Section 15061 (b)(3) (Common Sense Exemption), based on the findings and conclusions in the staff report; and
2. **APPROVE TENTATIVE PARCEL MAP NO. 37819**, subject to the attached advisory notification document and conditions of approval, and based upon the findings and conclusions provided in this staff report.

ACTION: Policy

Charissa Leach, Assistant TLMA Director

7/2/2020

MINUTES OF THE BOARD OF SUPERVISORS

On motion of Supervisor Washington, seconded by Supervisor Jeffries and duly carried by unanimous vote, IT WAS ORDERED that the above matter is approved as recommended.

Ayes: Jeffries, Spiegel, Washington, Perez and Hewitt
Nays: None
Absent: None
Date: July 14, 2020
xc: Planning

Kecia R. Harper
Clerk of the Board

By:
Deputy

**SUBMITTAL TO THE BOARD OF SUPERVISORS COUNTY OF RIVERSIDE,
STATE OF CALIFORNIA**

FINANCIAL DATA	Current Fiscal Year:	Next Fiscal Year:	Total Cost:	Ongoing Cost
COST	\$ N/A	\$ N/A	\$ N/A	\$ N/A
NET COUNTY COST	\$ N/A	\$ N/A	\$ N/A	\$ N/A
SOURCE OF FUNDS: Applicant Fees 100%			Budget Adjustment:	N/A
			For Fiscal Year:	N/A

C.E.O. RECOMMENDATION: Approve

BACKGROUND:

Summary

Specific Plan

The Borel Airpark Center Specific Plan (Specific Plan No. 265) was adopted by the Riverside County Board of Supervisors on November 1994 (via Resolution No. 94-240). The adopted Specific Plan No. 265 focus is to develop the premier location for corporate facilities and offices. Subsequent to this approval, the Board of Supervisors had adopted amendments to Specific Plan No. 265 on September 22, 2015. Unless otherwise stated, all references to Specific Plan No. 265 and its requirements are referring to the Specific Plan as amended.

On December 14, 2010 the Board of Supervisors approved Tentative Parcel Map No. 35212, which proposed subdividing two parcels into 23 commercial office/retail parcels that includes the parcel subject to the current subdivision and the parcel to the north. That Tentative Parcel Map has not since been implemented and recorded.

On September 7, 2018, Pierer Immoreal North America, LLC submitted a Plot Plan application for the proposed headquarters of KTM North America (PPT180022). Plot Plan No. 180022 proposed the development of an office building complex for a KTM headquarters that consists of a main HQ building a motorsport building and storage buildings. The HQ building is 47,675 square feet and approximately 32 feet in height. The Motorsport building is 60,860 square feet and includes office and equipment testing and research and is approximately 26 feet in height. The storage building is 17,917 square feet that includes storage for motorcycles and other equipment, both of which are approximately 26 feet in height. The HQ building would be primarily office space. Between the Motorsport building and storage building is a 26,696 square feet open area for truck parking and an 8,602 square-foot intake area with truck bays that also includes a washing area for motorcycles. On November 5, 2019 the Board of Supervisors approved Plot Plan No. 180022.

On February 14, 2020 Pierer Immoreal North America, LLC submitted a Tentative Parcel Map (Schedule J) application, which proposed subdividing 31.86 acres into 2 parcels ranging in size from 19.58 acres for parcel No. 1, and 12.28 acres for parcel No.2. The map is for financial purposes only and will not include any development.

**SUBMITTAL TO THE BOARD OF SUPERVISORS COUNTY OF RIVERSIDE,
STATE OF CALIFORNIA**

The project site is located within Planning Area 13 of Specific Plan No. 265, which allows primarily for commercial land uses. On June 4, 2020 the Riverside Airport Land Use Commission (ALUC), found the project consistent with the 2007 French Valley Airport Land Use Compatibility Plan.

The proposed Project was approved by the Economic Development Agency (EDA) for Fast Track processing (FTA-2017-04). The project has no significant impact on the environment, and no grading or construction will occur on the subject site.

Application Submittal

Tentative Parcel Map No. 37819 was submitted to the County of Riverside on February 14, 2020.

Impact on Citizens and Businesses

The impacts of this project have been evaluated through the environmental review and public hearing process by the Planning Department and at the Planning Commission Hearing.

SUPPLEMENTAL:

Additional Fiscal Information

All fees are paid by the applicant. There is no general fund obligation.

ATTACHMENTS:

- A. BOARD OF SUPERVISORS STAFF REPORT
- B. TPM37819 EXHIBITS



Jason Farin, Principal Management Analyst 7/8/2020



**COUNTY OF RIVERSIDE
PLANNING DEPARTMENT
STAFF REPORT**

Agenda Item No.

Board of Supervisor's Hearing: July 14, 2020

PROPOSED PROJECT

Case Number(s): TPM37819
Exempt per section 15315 & 15061 (b)(3)

CEQA:

Area Plan: Southwest

Zoning Area/District: Rancho California Area

Supervisory District: Third District

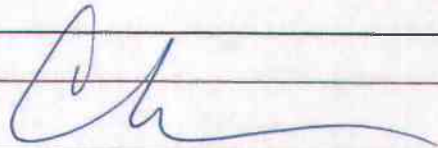
Project Planner: Mina Morgan

Project APN(s): 963-030-013

Fast Track: 2017-04

Applicant(s): Pierer Immoreal North America, LLC

Representative(s): CASC Engineering And Consulting, Inc



Charissa Leach, P.E.
Assistant TLMA Director

PROJECT DESCRIPTION AND LOCATION

TENTATIVE PARCEL MAP NO. 37819 is a proposal for a Schedule "J" subdivision of 31.86 gross acres into 2 parcels. No grading or improvements are proposed for this subdivision.

The above is hereinafter "the project."

The project is located easterly of Winchester Road (State Route 79), southerly of Sparkman Way, westerly of Sky Canyon Drive, northerly of Borel Road.

PROJECT RECOMMENDATION

STAFF RECOMMENDATIONS:

THAT THE BOARD OF SUPERVISORS TAKE THE FOLLOWING ACTIONS:

FIND that the project is **EXEMPT** from the California Environmental Quality Act (CEQA), pursuant to State CEQA Guidelines Section 15315 (Minor Land Divisions) and Section 15061 (b)(3) (Common Sense Exemption), based on the findings and conclusions in the staff report; and,

APPROVE TENTATIVE PARCEL MAP NO. 37819, subject to the attached advisory notification document and conditions of approval, and based upon the findings and conclusions provided in this staff report.

PROJECT DATA

Land Use and Zoning:

Specific Plan:	265 – Borel Airpark Center
Specific Plan Land Use:	Commercial Retail (CR)
Existing General Plan Foundation Component:	Community Development (CD)
Proposed General Plan Foundation Component:	N/A
Existing General Plan Land Use Designation:	Commercial Retail (CR), Commercial Office (CO)
Proposed General Plan Land Use Designation:	N/A
Policy / Overlay Area:	Highway 79 Policy Area
Surrounding General Plan Land Uses	
North:	Commercial Retail (CR) , Commercial Office (CO)
East:	Public Facilities (PF), Light Industrial (LI)
South:	Commercial Office (CO), Business Park (BP)
West:	City of Murrieta
Existing Zoning Classification:	Specific Plan (SP), Planning Area 13
Proposed Zoning Classification:	N/A
Surrounding Zoning Classifications	
North:	Specific Plan (SP)
East:	Manufacturing-Service Commercial (M-SC), Commercial Office (CO)
South:	Specific Plan (SP), Light Agriculture (A-1-10)
West:	City of Murrieta
Existing Use:	Vacant land
Surrounding Uses	
North:	Vacant land
East:	French Valley Airport
South:	Vacant land
West:	Single-family residential, Multi-family residential

Project Details:

<i>Item</i>	<i>Value</i>	<i>Min./Max. Development Standard</i>
Project Site (Acres):	31.86	No Requirement
Proposed Size of Parcel No. 1 (acres):	19.58	N/A
Proposed Size of Parcel No. 2 (acres):	12.28	N/A

<i>Item</i>	<i>Value</i>	<i>Min./Max. Development Standard</i>
Total Proposed Number of Parcels:	2	N/A
Map Schedule:	J	

Located Within:

City's Sphere of Influence:	Temecula
Community Service Area ("CSA"):	No
Special Flood Hazard Zone:	Outside Floodplain
Agricultural Preserve:	No
Liquefaction Area:	Yes - Low
Subsidence Area:	Yes, susceptible
Fault Zone:	No
Fire Zone:	No
Mount Palomar Observatory Lighting Zone:	Yes, Zone B
WRCMSHCP Criteria Cell:	Yes, Criteria Cells 5969
CVMSHCP Conservation Boundary:	No
Stephens Kangaroo Rat ("SKR") Fee Area:	Yes
Airport Influence Area ("AIA"):	Yes, French Valley, Zone B2

PROJECT LOCATION MAP



Figure 1: Project Location Map

PROJECT BACKGROUND AND ANALYSIS

Background:

Specific Plan

The Borel Airpark Center Specific Plan (Specific Plan No. 265) was adopted by the Riverside County Board of Supervisors on November 1994 (via Resolution No. 94-240). The adopted Specific Plan No. 265 focus is to develop the premier location for corporate facilities and offices. Subsequent to this approval, the Board of Supervisors had adopted amendments to Specific Plan No. 265 on September 22, 2015. Unless otherwise stated, all references to Specific Plan No. 265 and its requirements are referring to the Specific Plan as amended.

On December 14, 2010 the Board of Supervisors approved Tentative Parcel Map No. 35212, which proposed subdividing two parcels into 23 commercial office/retail parcels that includes the parcel subject to the current subdivision and the parcel to the north. That Tentative Parcel Map has not since been implemented and recorded.

On September 7, 2018, Pierer Immoreal North America, LLC submitted a Plot Plan application for the proposed headquarters of KTM North America (PPT180022). Plot Plan No. 180022 proposed the development of an office building complex for a KTM headquarters that consists of a main HQ building a motorsport building and storage buildings. The HQ building is 47,675 square feet and approximately 32 feet in height. The Motorsport building is 60,860 square feet and includes office and equipment testing and research and is approximately 26 feet in height. The storage building is 17,917 square feet that includes storage for motorcycles and other equipment, both of which are approximately 26 feet in height. The HQ building would be primarily office space. Between the Motorsport building and storage building is a 26,696 square feet open area for truck parking and an 8,602 square-foot intake area with truck bays that also includes a washing area for motorcycles. On November 5, 2019 the Board of Supervisors approved Plot Plan No. 180022.

On February 14, 2020 Piere Immoreal North America, LLC submitted a Tentative Parcel Map (Schedule J) application, which proposed subdividing 31.86 acres into 2 parcels ranging in size from 19.58 acres for parcel No. 1, and 12.28 acres for parcel No.2. The map is for financial purposes only and will not include any development.

The project site is located within Planning Area 13 of Specific Plan No. 265, which allows primarily for commercial land uses. On June 4, 2020 the Riverside Airport Land Use Commission (ALUC), found the project consistent with the 2007 French Valley Airport Land Use Compatibility Plan.

The proposed Project was approved by the Economic Development Agency (EDA) for Fast Track processing (FTA-2017-04). The project has no significant impact on the environment, and no grading or construction will occur on the subject site.

Application Submittal

Tentative Parcel Map No. 37819 was submitted to the County of Riverside on February 14, 2020.

ENVIRONMENTAL REVIEW / ENVIRONMENTAL FINDINGS

In accordance with State CEQA Guidelines the project qualifies for Categorical Exemption pursuant to Section 15315 Minor Land Divisions, and 15061 (b)(3), Common Sense Exemption. Section 15315 Minor Land Divisions exempt the project from the California Environmental Quality Act because there is no possibility that the proposed Schedule "J" Parcel Map will have a significant effect upon the environment. There will be no grading, ground disturbance, or construction occurring on the property, thus the proposed Schedule "J" Parcel Map is not subject to CEQA.

This proposed project is also exempt from the California Environmental Quality Act (CEQA) review pursuant to State CEQA Guidelines Section 15061 because Section (b) (3) provides: The activity is covered by the general rule that CEQA applies only to projects, which have the potential for causing a significant effect on the environment. Where it can be seen with certainty that there is no possibility that the Schedule "J" Parcel Map in question may have a significant effect on the environment, the activity is not subject to CEQA. The Project will not result in any additional impacts related to traffic, air quality, or public safety. Furthermore, there are no potential impacts related to aesthetics, biological and cultural resources, hydrology, or other similar potential impacts.

The proposed Tentative Parcel Map is a Schedule "J" map which is for financing or conveyance purposes only and will not result in any physical changes. The proposed project will subdivide an existing 31.86-acres into 2 parcels ranging in size from 19.58 acres for parcel No. 1, and 12.28 acres for parcel No.2.

FINDINGS AND CONCLUSIONS

In order for the County to approve the proposed project, the following findings are required to be made:

Land Use Findings:

1. The project site currently has a General Plan Land Use Designation of Community Development: Commercial Retail (CD:CR) and Community Development: Commercial Office (CD:CO). The proposed Tentative Parcel Map is for the subdivision of approximately 31.86 gross acres into 2 parcels for the purposes of financing. The proposed subdivision will assist in the development of the site for separate commercial uses consistent with the General Plan and Specific Plan. No grading or construction will be a part of this Map.
2. The existing zoning is Specific Plan (Specific Plan No. 265). The Proposed Tentative Parcel Map is a Schedule 'J' map and will not result in any grading or new construction. Ultimate development will occur with approved Plot Plan No. 180022 and other future use permits which will be designed in accordance with the development standards of the adopted Specific Plan No. 265.

Entitlement Findings:

Tentative Parcel Map

Tentative Tract Map No. 37819 is a Schedule "J" map that proposes a subdivision of 31.86 gross acres into 2 parcels within Planning Area 13 of the Specific Plan No. 265 (Borel Airpark Center Specific Plan).

The findings required to approve the Map, pursuant to the provisions of the Riverside County Ordinance No. 460, are followed below:

The proposed Schedule "J" Parcel Map is a proposal to subdivide an existing 31.86-acres into 2 parcels ranging in size from 19.58 acres for parcel No. 1, and 12.28 acres for parcel No.2. Currently, the subject site has a General Plan Land Use Designation of Community Development: Commercial Retail (CD:CR) and Community Development: Commercial Office (CD:CO). The Tentative Parcel Map site is consistent with these land use designations, which will allow for commercial growth allocated by Specific Plan No. 265 for this subject site by fostering future commercial development on the site. The project is consistent with all applicable requirements of State law and the ordinances of Riverside County. Specifically, General Plan Principle IV.A.3 provides that the intent of the General Plan is to provide a balanced growth through distributing growth in a rational way between urban, suburban and rural spheres with an appropriate allocation of resources to meet necessary infrastructure requirements. The primary objectives of the original SP 265 were to respond to local and regional market demands for office, commercial, and industrial development and for employment opportunities and to maximize the potential and benefits of the French Valley Airport. Previously approved and related Plot Plan No. 180022 proposed the development of an office building complex for a KTM headquarters that consists of a main HQ building a motorsport building and storage buildings, which fulfills the General Plan and Specific Plan objectives for this area.

1. The site of the proposed map is physically suitable for the type of development and intensity because the site is generally flat and has adequate access and space available to accommodate the future commercial uses planned for the site. The proposed subdivision would not directly allow for any grading or development and so would not alter the site physically. This development is consistent with the Specific Plan land use designations of Commercial Retail (CR).
2. The design of the proposed map or proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat since the proposed subdivision does not directly propose any development or improvements and will not result in any grading activities or construction. In addition, the proposed subdivision is consistent with the Specific Plan No. 265, and would not cause any additional impacts.
3. The design of the proposed map or the type of improvements are not likely to cause serious public health problems, since the proposed subdivision does not directly propose any development or improvements and any future further subdivision's impacts have been detailed in the Environmental Impact Report prepared for the Specific Plan, the project would not have a significant impact to local air quality or noise. Other impacts to the environment related to public health would be less than significant.
4. The proposed land division meets the requirements of Ordinance No. 460 for a Schedule "J" Map. Ordinance No. 460 requires all land divisions to conform to the County's General Plan, applicable specific plans, Ordinance No. 348 and with the requirements of Ordinance No. 460. The project specifically complies with the Schedule "J" improvement requirements of Ordinance No. 460 Section 10.16 as listed below:
 - a. Submission Criteria - The land to be subdivided by the Schedule "J" Map is not developed and is located within a previously approved specific plan (SP No. 265) which will ultimately be for the development of commercial uses.

- b. Minimum Requirements. All parcels meet the minimum requirements provided in the applicable zoning classification to ensure compliance with all applicable development standards. Per Article IXb Section 9.53, which the Planning Area 13 zoning is based on there is no minimum lot area requirement. Thus, the proposed two (2) parcels schedule "J" subdivision map, meets the minimum requirements. No other development standards of the applicable zone related to setbacks, building height, parking, or roof equipment screening apply to the subdivision.
 - c. Compliance. The proposed Parcel Map includes all of the required information required for the map, which includes, parcel numbers, street names, and other required notes.
6. All lots have acceptable legal access either by lot configuration or by a separate recorded document. A conceptual engineering design shall be submitted to provide assurance that access can be designed and constructed.

Because the proposed Parcel Map is for financing and conveyance purposes, no legal lots will be created nor will any grading or construction occur. Ultimate development of the site will comply with the development standards of Specific Plan No. 265.

7. There are no physical constraints which may affect the feasibility of the future development on the land.
8. The design of the proposed land division or the type of improvements will not conflict with street dedications, acquired by the public at large, for access through, or use of, property within the proposed land division. Ultimate development will occur with the approval of future maps and will be developed and designed based on the land use designation and development standards of the approved specific plan.

Other Findings:

1. The project is located within Criteria Cell 5969 of the Riverside County Multiple Species Habitat Conservation Plan. The project previously was reviewed by the County's Department of Environmental Programs (EPD) and cleared under HANS No. 1482 (dated August 13, 2007). The HANS review indicated that no conservation was required.
2. The project site is located within the City of Temecula sphere of influence. This project was provided to Temecula on March 19, 2020 for review and comment. No comments were received either in favor or opposition of the project.
3. The project site is located within the French Valley Airport Influence Area ("AIA") Compatibility Zone B2. However, since this is a Schedule "J" subdivision map for financing and conveyance purposes only, this project will not be subject to the Airport Land Use Commission ("ALUC") review.
4. The project site is located within Zone B of the Mount Palomar Observatory Lighting Zone boundary, as identified by Ordinance No. 655 (Mt. Palomar). The project is required to comply with all lighting standards specified within Ordinance No. 655, pursuant to Zone B.
5. The project site is located within the Fee Assessment Area of the Stephen's Kangaroo Rat Habitat Conservation Plan ("SKRHCP"). Per County Ordinance No. 663 and the SKRHCP, all applicants who submit for development permits, including maps, within the boundaries of the Fee Assessment Area

who cannot satisfy mitigation requirements through on-site mitigation, as determined through the environmental review process, shall pay a Mitigation Fee of \$500.00 per gross acre of the parcels proposed for development. Payment of the SKRHCP Mitigation Fee for this Project, instead of onsite mitigation, will not jeopardize the implementation of the SKRHCP as all core reserves required for permanent Stephen's Kangaroo Rat habitat have been acquired and no new land or habitat is required to be conserved under the SKRHCP.

Conclusion:

1. For the reasons discussed above, the proposed project conforms to all the requirements of the General Plan, Specific Plan, and with all applicable requirements of State law and the ordinances of Riverside County. Moreover, the proposed project would not be detrimental to the health, safety or general welfare of the community.

PUBLIC HEARING NOTIFICATION AND COMMUNITY OUTREACH

This project was advertised in the Press Enterprise Newspaper. Additionally, public hearing notices were mailed to property owners within 600 feet of the project site. As of the writing of this report, Planning Staff has not received written communication either in support or opposition to the proposed project.

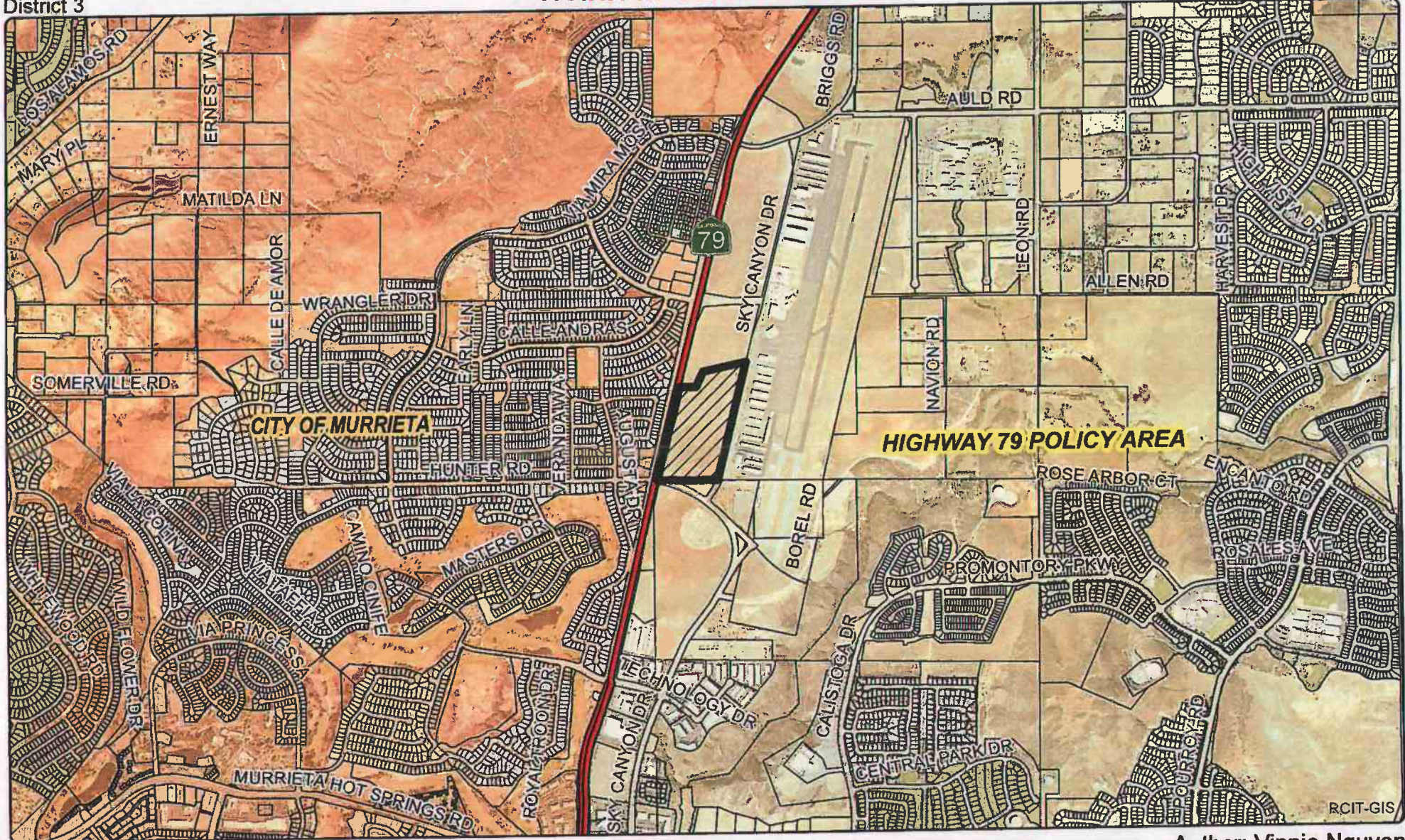
RIVERSIDE COUNTY PLANNING DEPARTMENT TR37819

Date Drawn: 06/04/2020

Supervisor: Washington
District 3

VICINITY/POLICY AREAS

Vicinity Map



Zoning Area: Rancho California

Author: Vinnie Nguyen



DISCLAIMER: On October 7, 2010, the County of Riverside adopted a new General Plan providing new land use designations for unincorporated Riverside County parcels. The new General Plan may contain different type of land use than is provided for under existing zoning. For further information, please contact the Riverside County Planning Department offices in Riverside at (951)955-3200 (Western County) or in Palm Desert at (760)965-8277 (Eastern County) or Website: <http://www.co.riverside.ca.gov>

RCIT-GIS

RIVERSIDE COUNTY PLANNING DEPARTMENT

TR37819

LAND USE

Supervisor Stone
District 3

Date Drawn: 06/04/2020
Exhibit 1



Zoning Area: Rancho California

Author: Vinnie Nguyen



DISCLAIMER: On October 7, 2003, the County of Riverside adopted a new General Plan providing new land use designations for unincorporated Riverside County parcels. The new General Plan may contain different type of land use than is provided for under existing zoning. For further information, please contact the Riverside County Planning Department offices in Riverside at (951)955-3200 (Western County) or in Palm Desert at (760)863-8277 (Eastern County) or Website <http://planning.countyofriverside.org>

RIVERSIDE COUNTY PLANNING DEPARTMENT

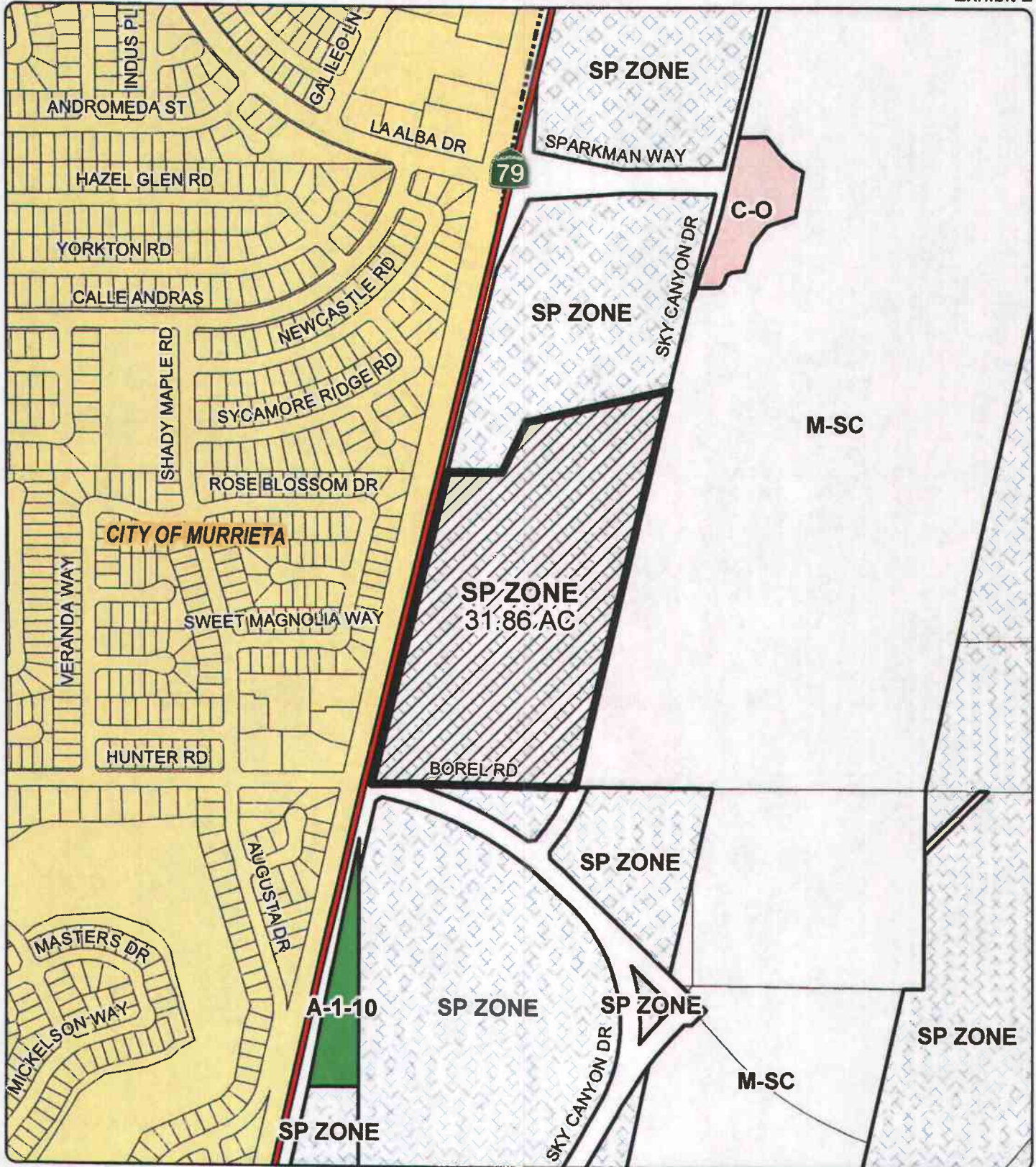
TR37819

EXISTING ZONING

Supervisor: Washington
District 3

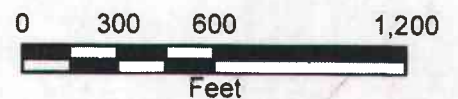
Date Drawn: 06/04/2020

Exhibit 2



Zoning Area: Rancho California

Author: Vinnie Nguyen



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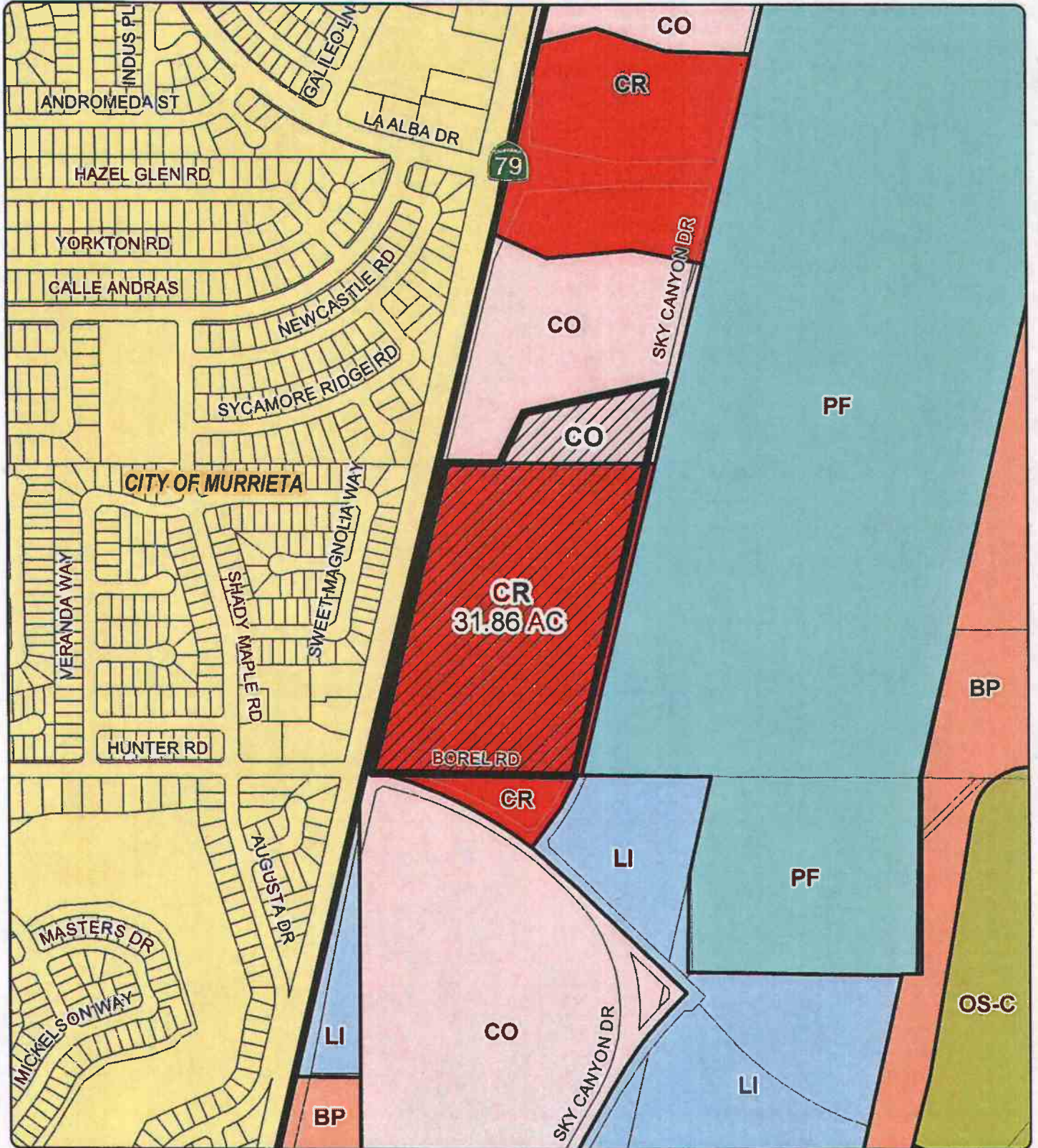
RIVERSIDE COUNTY PLANNING DEPARTMENT

TR37819

EXISTING GENERAL PLAN

Supervisor: Washington
District 3

Date Drawn: 06/04/2020
Exhibit 5



Zoning Area: Rancho California

Author: Vinnie Nguyen



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IN THE UNINCORPORATED TERRITORY OF RIVERSIDE COUNTY, STATE OF CALIFORNIA
TENTATIVE PARCEL MAP NO. 37819

BEING A SUBDIVISION OF A PORTION OF GOVERNMENT LOT 2 OF THE SOUTH-WEST QUARTER OF SECTION 7, TOWNSHIP 7 SOUTH, RANGE 2 WEST, SAN BERNARDINO MERIDIAN.

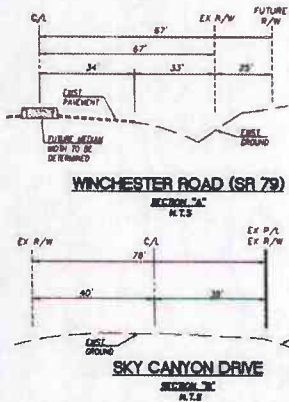
- EASEMENT NOTES**
- EASEMENT GRANTED TO CALIFORNIA ELECTRIC POWER COMPANY PURPOSE PUBLIC UTILITIES RECORDED SEPTEMBER 03, 1947 IN BOOK 847, PAGE 403 OFFICIAL RECORDS.
 - EASEMENT GRANTED TO COUNTY OF RIVERSIDE PURPOSE PUBLIC ROAD AND DRAINAGE PURPOSES, INCLUDING PUBLIC UTILITIES AND PUBLIC SERVICE PURPOSES RECORDING DATE JULY 02, 1988 RECORDING NO. 154434 OFFICIAL RECORDS.
 - EASEMENT GRANTED TO COUNTY OF RIVERSIDE PURPOSE PUBLIC ROAD AND DRAINAGE PURPOSES, INCLUDING PUBLIC UTILITIES AND PUBLIC SERVICE PURPOSES RECORDED DECEMBER 20, 1993 RECORDING NO. 31490 OFFICIAL RECORDS. (PORTION TO BE INDICATED SEE NOTE ON MAP)
 - EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THEREOF AS CONDEMNED BY AN INSTRUMENT, ENTITLED: FINAL ORDER OF CONDEMNATION CASE NO. 196083 IN FAVOR OF COUNTY OF RIVERSIDE PURPOSES AND DRAINAGE PURPOSES RECORDED DECEMBER 20, 1993 RECORDING NO. 303849 OFFICIAL RECORDS.
 - EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THEREOF, AS GRANTED IN A DOCUMENT, GRANTED TO COUNTY OF RIVERSIDE PURPOSE PUBLIC ROAD AND DRAINAGE PURPOSES, INCLUDING PUBLIC UTILITIES AND PUBLIC SERVICE PURPOSES RECORDED AUGUST 11, 1994 RECORDING NO. 315192 OFFICIAL RECORDS.
 - GRANT OF EASEMENT IN FAVOR OF EASTERN MUNICIPAL WATER DISTRICT RECORDED JUNE 26, 2000 RECORDING NO. 2005-0612435 OFFICIAL RECORDS REFERENCE IS HEREBY MADE TO SAID DOCUMENT FOR FULL PARTICULARS.

NOTES:

THIS PARCEL MAP IS FOR FINANCIAL PURPOSES ONLY
 NO IMPROVEMENTS ARE PROPOSED PER THIS PARCEL MAP
 ASSESSOR'S PARCEL NUMBER: 983-030-013
 OVERALL AREA = 31.89 ACRES
 GROSS AREA PARCEL 1 = 19.58 ACRES
 NET AREA PARCEL 1 = 19.53 ACRES
 GROSS AREA PARCEL 2 = 12.28 ACRES
 NET AREA PARCEL 2 = 12.28 ACRES

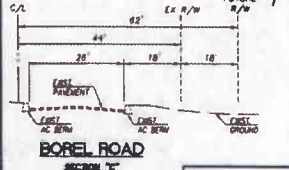
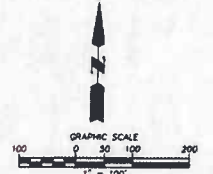
FEAR BEHAVIOR: 2005 C, PER COMMUNITY PANEL NUMBER 062245 2745 B, EFFECTIVE NOVEMBER 20, 1996.

THE PROJECT SITE IS CURRENTLY VACANT.
 THE PROJECT AREA IS LOCATED WITHIN THE FRENCH VALLEY AIRPORT INFLUENCE AREA
 THERE ARE NO KNOWN WELLS LOCATED WITHIN THE PROJECT BOUNDARY AT THIS TIME
 TOPO SOURCE: INLAND AERIAL SURVEYS, INC. (DATE: 8-04-2017)
 THE PURPOSE OF THIS MAP IS FOR LAND DIVISION ONLY.
 THE TENTATIVE MAP INCLUDES THE ENTIRE CONTIGUOUS OWNERSHIP.
 ZONING: (EXISTING) SP ZONE PLANNING AREA 13, BOREL AIRPARK CENTER PLAN NO. 285
 GENERAL PLAN: (EXISTING) (CO/CM) COMMUNITY DEVELOPMENT/ COMMERCIAL RETAIL.
 EXISTING LAND USE: VACANT
 PROPOSED LAND USE: COMMERCIAL OFFICE/ COMMERCIAL RETAIL
 THIS PROJECT IS NOT SUBJECT TO LIQUIDATION.
 THERE ARE NO OPEN CHANNELS ON THIS SITE.
 THE PROJECT DOES NOT FALL WITHIN A SPECIAL STUDIES ZONE.
 THE PROJECT DOES NOT LIE WITHIN A COMMUNITY SERVICES DISTRICT.
 T7S, R2W, SECTION 7



LEGAL DESCRIPTION

THE SOUTH HALF OF GOVERNMENT LOT 2 EAST OF THE COUNTY ROAD IN THE SOUTHWEST QUARTER OF SECTION 7, TOWNSHIP 7 SOUTH, RANGE 2 WEST, SAN BERNARDINO MERIDIAN, IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, ACCORDING TO THE OFFICIAL PLAT THEREOF, EXCEPT THAT PORTION CONVEYED TO THE COUNTY OF RIVERSIDE BY DEED RECORDED JULY 2, 1988 AS INSTRUMENT NO. 154434, OFFICIAL RECORDS, ALSO EXCEPTING THEREFROM ANY PORTION LYING WESTERLY OF THE EASTERN LINE OF THE PARCEL CONDEMNED TO THE COUNTY OF RIVERSIDE BY FINAL ORDER OF CONDEMNATION RECORDED DECEMBER 20, 1993 AS INSTRUMENT NO. 303849, OFFICIAL RECORDS, ALSO EXCEPT THAT PORTION CONVEYED TO THE COUNTY OF RIVERSIDE BY DEED RECORDED AUGUST 11, 1994 AS INSTRUMENT NO. 315192, OFFICIAL RECORDS SAID LAND IS ALSO SHOWN AS PARCEL "A" OF THAT CERTAIN NOTICE OF LOT LINE ADJUSTMENT NO. 180031, RECORDED JANUARY 31, 2018, AS INSTRUMENT NO. 2018-034727 OF OFFICIAL RECORDS OF SAID COUNTY.



REVISIONS	DATE	BY



ENGINEER
CASC
 Engineering and Consulting

SURVEYOR'S STATEMENT
 I HEREBY STATE THAT THIS MAP WAS PREPARED UNDER MY SUPERVISION AND THAT THE OWNER OF RECORD HAS KNOWLEDGE OF AND CONSENTS TO THE FILING OF THIS MAP.
 RICHARD S. FULFORD, P.L.S. 9422 DATE: 3/24/2020

LAND OWNER
 FISHER NATIONAL NORTH AMERICA LLC
 A CALIFORNIA LIMITED LIABILITY COMPANY
 38429 INNOVATION COUNTY HIGHWAY
 CA 92524 PHONE: (951) 233-8884

- NOTES:**
- WATER/SEWER DISTRICT: EASTERN MUNICIPAL WATER DISTRICT 2720 TRUMBULL ROAD PERRIS, CA 92572-8200. PHONE: (951) 928-3777
 - TELEPHONE: SPECTRUM 27536 YNEZ ROAD, SUITE F1 TEMECULA, CA 92591. PHONE: (888) 406-7083
 - CABLE TV: SPECTRUM 27536 YNEZ ROAD, SUITE F1 TEMECULA, CA 92591. PHONE: (888) 406-7083
 - CIVIL ENGINEERING: CASC ENGINEERING AND CONSULTING, INC. 1470 E. COOLEY DRIVE COLTON, CA 92324. PHONE: (909) 783-0101
 - SCHOOL DISTRICT: TEMECULA VALLEY SCHOOL DISTRICT 31250 RANCHO VISTA ROAD TEMECULA, CA 92592. PHONE: (951) 878-2661
 - ELECTRIC: SOUTHERN CALIFORNIA EDISON 24487 PHELPP DRIVE WILDOMAR, CA 92595. PHONE: (800) 835-4555
 - GAS COMPANY: THE GAS COMPANY 1981 W. LUCONIA AVENUE REDLANDS, CA 92374. PHONE: (909) 335-7530

"ANY DIVISION OF LAND SOLELY FOR THE PURPOSES OF FINANCING OR CONVEYING TITLE TO ALL OR A PORTION OF THE LAND, A SCHEDULE "J" SUBDIVISION MAP DOES NOT CREATE ANY LEGAL BUILDING SITES. A SCHEDULE "J" SUBDIVISION MAP SHALL NOT BE CONSIDERED A VESTING MAP. A FUTURE SUBDIVISION MAP OR LAND USE ENTITLEMENT OR PERMIT IS NECESSARY TO DEVELOP THIS PROPERTY. THIS MAP DOES NOT REMOVE ANY CONDITIONS OF APPROVAL FOR SEPARATE LAND USE ENTITLEMENTS OR TENTATIVE MAPS OR USE PERMITS APPROVED FOR THIS LAND."

SCHEDULE "J" PARCEL MAP

Plan: TPM37819

Parcel: 963030013

50. Prior To Map Recordation

Flood

050 - Flood. 1 ADP Fee Notice Not Satisfied

A notice of drainage fees shall be placed on the Environmental Constraint Sheet and Final Map. The exact wording of the note shall be as follows:

NOTICE OF DRAINAGE FEES

"Notice is hereby given that this property is located in the MURRIETA CREEK / WARM SPRINGS VALLEY Area Drainage Plan which was adopted by the Board of Supervisors of the County of Riverside pursuant to Section 10.25 of Ordinance No. 460 and Section 66483, et seq, of the Government Code and that said property is subject to fees for said drainage area. Notice is further given that, pursuant to Section 10.25 of Ordinance No. 460, payment of the drainage fees shall be paid to the Riverside County Flood Control and Water Conservation District at the time of issuance of the grading or building permit for said parcels, whichever occurs first, and that the owner of each parcel, at the time of issuance of either the grading or building permit, shall pay the fee required at the rate in effect at the time of issuance of the actual permit."

Planning

050 - Planning. 1 ECS NOTE MT PALOMAR Not Satisfied

The following Environmental Constraint Note shall be placed on the ECS:

"This property is subject to lighting restrictions as required by Ordinance No. 655, which are intended to reduce the effects of night lighting on the Mount Palomar Observatory. All proposed outdoor lighting systems shall be in conformance with Ordinance No. 655."

050 - Planning. 2 Map - ECS Shall be Prepared Not Satisfied

The land divider shall prepare an Environmental Constraints Sheet (ECS) in accordance with Section 2.2. E. & F. of Ordinance No. 460, which shall be submitted as part of the plan check review of the FINAL MAP.

050 - Planning. 3 Record Restriction - Finance/Conveyance Not Satisfied

The following language shall be recorded in the form of a restriction on the parcels created by the subdivision pursuant to the requirements of Ordinance No. 460 for a Schedule J subdivision:
For Finance and Conveyance Purposes Only. A Future Subdivision Map or Land Use Entitlement or Permit is Necessary to Develop this Property. This Map Does Not Remove any Conditions of Approval For Separate Land Use Entitlements or Tentative Maps or Use Permits Approved for this Land.

Survey

050 - Survey. 1 FINAL MAP REQUIREMENTS Not Satisfied

The final map shall comply with the following requirements, as approved by the County Survey Department, to clear this condition:

Any easement not owned by a public utility, public entity or subsidiary, not relocated or eliminated prior to final map approval, shall be delineated on the final map in addition to having the name of the easement holder, and the nature of their interests, shown on the map.

050 - Survey. 2 RCTD - Dedication Not Satisfied

Sufficient public street right of way along SH-79 (Winchester Road) shall be convey for public use to

Plan: TPM37819

Parcel: 963030013

50. Prior To Map Recordation

Survey

050 - Survey. 2 RCTD - Dedication (cont.) Not Satisfied
provide for a 92 foot half width right of way per County Standard No. 83, Ordinance 461.

Sufficient public street right of way along Borel Road shall be convey for public use to provide for a 62 foot half width right of way per County Standard No. 94, page (1 of 2) and (2 of 2), Ordinance 461.

Sufficient public street right-of-way along Sky Canyon Road shall be conveyed for public use to provide for a 68 foot (39 feet west of construction centerline and 29 feet on the other side of construction centerline) full-width dedicated right-of-way per modified Standard No. 111 and Standard No. 800(A), Ordinance 461. (Modified to reduce a 78 feet to 68 feet full-width right-of-way).

050 - Survey. 3 RCTD - Realign Sky Canyon Rd. Not Satisfied

Sky Canyon Road is considered an INDUSTRIAL COLLECTOR ROAD (County Standard No. 111, Ordinance 461) and shall be realigned from Sparkman Way to the southerly project boundary, the centerline radii shall be per Standard No. 114 for Industrial Collector and as directed by the Director of Transportation. If any off-site road dedication is required for said realignment, it is the project proponent responsibility to acquire the required off-site road dedication. This may require County EDA involvement.

Transportation

050 - Transportation. 1 RCTD - Access Easement Not Satisfied

Provide a 60 foot wide access easement in favor of Parcel No. 2, TPM37819.

050 - Transportation. 2 RCTD - Realign Sky Canyon Rd. Not Satisfied

Sky Canyon Road is considered an INDUSTRIAL COLLECTOR ROAD (County Standard No. 111, Ordinance 461) and shall be realigned from Sparkman Way to the southerly project boundary, the centerline radii shall be per Standard No. 114 for Industrial Collector and as directed by the Director of Transportation. If any off-site road dedication is required for said realignment, it is the project proponent responsibility to acquire the required off-site road dedication. This may require County EDA involvement.

050 - Transportation. 3 RCTD - Survey Monuments Not Satisfied

Survey monuments including centerline monuments, tie points, property corners and benchmarks shall be located and tied out and corner records filed with the County Surveyor pursuant to Section 8771 of the Business & Professions Code. Survey points shall be reset, and a second corner record filed for those points as directed by County Surveyor.

050 - Transportation. 4 RCTD - Vacation Not Satisfied

Sky Canyon Road is designated as a modified INDUSTRIAL COLLECTOR ROAD (Standard No. 111 and Standard No. 800(A), Ordinance 461.

Although the project has an approved tentative map, a separate Board of Supervisor approval is required to approve of all vacation/abandonments of the existing dedicated right-of-way.

Prior to map recordation, the project shall file for a conditional vacation of Sky Canyon Road for

Plan: TPM37819

Parcel: 963030013

50. Prior To Map Recordation

Transportation

- 050 - Transportation. 4 RCTD - Vacation (cont.) Not Satisfied
consideration by the Board. If there are existing facilities in the existing dedicated right of way, those facilities shall be relocated to their ultimate location. If the Board denies the vacation request, the approved tentative map shall be redesigned to utilize the existing right-of-way and the map shall be reprocessed after paying all the appropriate fees.

60. Prior To Grading Permit Issuance

BS-Grade

- 060 - BS-Grade. 1 EASEMENTS/PERMISSION Not Satisfied

Prior to the issuance of a grading permit, it shall be the sole responsibility of the owner/applicant to obtain any and all proposed or required easements and/or permissions necessary to perform the grading herein proposed.

A notarized letter of permission and/or recorded easement from the affected property owners or easement holders shall be provided in instances where off site grading is proposed as part of the grading plan.

In instances where the grading plan proposes drainage facilities on adjacent off site property, the owner/ applicant shall provide a copy of the recorded drainage easement or copy of Final Map.

- 060 - BS-Grade. 2 IF WQMP IS REQUIRED Not Satisfied

If a Water Quality Management Plan (WQMP) is required, the owner / applicant shall submit to the Building & Safety Department, the Final Water Quality Management Plan (WQMP) site plan for comparison to the grading plan.

- 060 - BS-Grade. 3 IMPROVEMENT SECURITIES Not Satisfied

Prior to issuance of a Grading Permit, the applicant may be required to post a Grading and/or Erosion Control Security. Please contact the Riverside County Transportation Department for additional information and requirements.

E Health

- 060 - E Health. 1 ECP Clearance Not Satisfied

Prior to grading permit issuance, clearance from the Environmental Cleanup Program (ECP) is required.

Per Phase I Environmental Site Assessment document dated June 12, 2018 conducted by Hillmann Consulting, a Limited Phase II Subsurface Investigation due to historical agricultural usage still needs to be performed for this site. Submit this document to ECP for review and approval.

Please contact ECP for additional details at (951)955-8980.

Planning

- 060 - Planning. 1 Grading Permit Referral Not Satisfied

This subdivision is for finance and conveyance purposes only. This subdivision and the conditions of the subdivision do not pertain to any new construction, grading, or building. Any grading or building plans shall refer to the conditions of PPT180022, or other applicable subdivision for the applicable area.

Plan: TPM37819

Parcel: 963030013

60. Prior To Grading Permit Issuance

Planning-EPD

060 - Planning-EPD. 1 0060-EPD-30-Day Burrowing Owl Preconstruction Survey Not Satisfied

Pursuant to Objectives 6 & 7 of the Species Account for the Burrowing Owl included in the Western Riverside County Multiple Species Habitat Conservation Plan (MSHCP), within 30 days prior to the issuance of a grading permit, a pre-construction presence/absence survey for the burrowing owl shall be conducted by a qualified biologist who holds a Memorandum of Understanding with the County. The survey results shall be provided in writing to the Environmental Programs Division (EPD) of the Planning Department. If the grading permit is not obtained within 30 days of the survey, a new survey shall be required.

If it is determined that the project site is occupied by the Burrowing Owl, take of "active" nests shall be avoided pursuant to the MSHCP and the Migratory Bird Treaty Act.

Burrowing Owl relocation shall only be allowed to take place outside of the burrowing owl nesting season (nesting season is March 1 through August 31) and is required to be performed by a qualified biologist familiar with relocation methods. The County Environmental Programs Department shall be consulted to determine appropriate type of relocation (active or passive) and potential translocation sites. Burrowing Owl Protection and Relocation Plans and Biological Monitoring Plans are required to be reviewed and approved by the California Department of Fish and Wildlife.

060 - Planning-EPD. 2 0060-EPD-Nesting Bird Survey (MBTA) Not Satisfied

Birds and their nests are protected by the Migratory Bird Treaty Act (MBTA) and California Department of Fish and Wildlife (CDFW) Codes. Since the project supports suitable nesting bird habitat, removal of vegetation or any other potential nesting bird habitat disturbances shall be conducted outside of the avian nesting season. Nesting bird season is February 15th through August 31st. If habitat or structures that support nesting birds must be cleared during the nesting season, a preconstruction nesting bird survey shall be conducted.

The preconstruction nesting bird survey must be conducted by a biologist who holds a current MOU with the County of Riverside. If nesting activity is observed, appropriate avoidance measures shall be adopted to avoid any potential impacts to nesting birds. The nesting bird survey must be completed no more than 3 days prior to any ground disturbance. If ground disturbance does not begin within 3 days of the survey date a second survey must be conducted. Prior to the issuance of a grading permit the project proponent must provide written proof to the Riverside County Planning Department, Environmental Programs Division (EPD) that a biologist who holds an MOU with the County of Riverside has been retained to carry out the required survey. Documentation submitted to prove compliance prior to grading permit issuance must at a minimum include the name and contact information for the Consulting Biologist and a signed statement from the Consulting Biologist confirming that they have been contracted by the applicant to conduct a Preconstruction Nesting Bird Survey. In some cases EPD may also require a Monitoring and Avoidance Plan prior to the issuance of a grading permit.

Prior to finalization of a grading permit or prior to issuance of any building permits the projects consulting biologist shall prepare and submit a report to Environmental Programs Division (EPD) documenting the results of the pre-construction nesting bird survey.

Planning-PAL

060 - Planning-PAL. 1 PRIMP Not Satisfied

This site is mapped in the County's General Plan as having a High potential for paleontological resources (fossils). Proposed project site grading/earthmoving activities could potentially impact this

Plan: TPM37819

Parcel: 963030013

60. Prior To Grading Permit Issuance

Planning-PAL

060 - Planning-PAL. 1 PRIMP (cont.)
resource. HENCE:

Not Satisfied

PRIOR TO ISSUANCE OF GRADING PERMITS:

1. The applicant shall retain a qualified paleontologist approved by the County to create and implement a project-specific plan for monitoring site grading/earthmoving activities (project paleontologist).
2. The project paleontologist retained shall review the approved development plan and grading plan and conduct any pre-construction work necessary to render appropriate monitoring and mitigation requirements as appropriate. These requirements shall be documented by the project paleontologist in a Paleontological Resource Impact Mitigation Program (PRIMP). This PRIMP shall be submitted to the County Geologist for approval prior to issuance of a Grading Permit. Information to be contained in the PRIMP, at a minimum and in addition to other industry standards and Society of Vertebrate Paleontology standards, are as follows:
 1. A corresponding and active County Grading Permit (BGR) Number must be included in the title of the report. PRIMP reports submitted without a BGR number in the title will not be reviewed.
 2. Description of the proposed site and planned grading operations.
 3. Description of the level of monitoring required for all earth-moving activities in the project area.
 4. Identification and qualifications of the qualified paleontological monitor to be employed for grading operations monitoring.
 5. Identification of personnel with authority and responsibility to temporarily halt or divert grading equipment to allow for recovery of large specimens.
 6. Direction for any fossil discoveries to be immediately reported to the property owner who in turn will immediately notify the County Geologist of the discovery.
 7. Means and methods to be employed by the paleontological monitor to quickly salvage fossils as they are unearthed to avoid construction delays.
 8. Sampling of sediments that are likely to contain the remains of small fossil invertebrates and vertebrates.
 9. Procedures and protocol for collecting and processing of samples and specimens.
 10. Fossil identification and curation procedures to be employed.
 11. Identification of the permanent repository to receive any recovered fossil material. *Pursuant the County "SABER Policy", paleontological fossils found in the County should, by preference, be directed to the Western Science Center in the City of Hemet. A written agreement between the property owner/developer and the repository must be in place prior to site grading.
 12. All pertinent exhibits, maps and references.
 13. Procedures for reporting of findings.
 14. Identification and acknowledgement of the developer for the content of the PRIMP as well as acceptance of financial responsibility for monitoring, reporting and curation fees. The property owner and/or applicant on whose land the paleontological fossils are discovered shall provide appropriate funding for monitoring, reporting, delivery and curating the fossils at the institution where the fossils will be placed, and will provide confirmation to the County that such funding has been paid to the institution.
 15. All reports shall be signed by the project paleontologist and all other professionals responsible for the report's content (eg. PG), as appropriate. One original signed copy of the report(s) shall be submitted to the County Geologist along with a copy of this condition and the grading plan for appropriate case processing and tracking. These documents should not be submitted to the project Planner, Plan Check staff, Land Use Counter or any other County office. In addition, the applicant shall submit proof of hiring (i.e. copy of executed contract, retainer agreement, etc.) a project paleontologist for the in-grading implementation of the PRIMP.

Plan: TPM37819

Parcel: 963030013

60. Prior To Grading Permit Issuance

Planning-PAL

060 - Planning-PAL. 1 PRIMP (cont.)

Not Satisfied

Safeguard Artifacts Being Excavated in Riverside County (SABER)

70. Prior To Grading Final Inspection

BS-Grade

070 - BS-Grade. 1 ROUGH GRADE FINAL

Not Satisfied

Prior to obtaining rough final, the applicant shall obtain rough grade approval from the Building and Safety Department. Rough Grade Final can be accomplished by complying with the following:

1. Submitting a "Wet Signed" copy of the Grading Report containing substantiating data from the Soils Engineer (registered geologist or certified geologist, civil engineer or geotechnical engineer as appropriate) for his/her certification of the project.
2. Submitting a "Wet Signed" copy of the Rough Grade certification from a Registered Civil Engineer certifying that the grading was completed in conformance with the approved grading plan.
3. Requesting a Rough Grade Inspection and obtaining rough grade approval from a Riverside County Transportation Department Inspector.
4. Rough Grade Only Permits: In addition to obtaining all required inspections and approval of all final reports, all sites permitted for rough grade only shall provide 100 percent vegetative coverage or other means of site stabilization as approved by County Inspector prior to receiving a rough grade permit final.

80. Prior To Building Permit Issuance

BS-Grade

080 - BS-Grade. 1 NO BUILDING PERMITS W/O LAND USE PERMIT

Not Satisfied

NO BUILDING PERMITS TO BE ISSUED , BY THE BUILDING AND SAFETY DEPARTMENT, FOR ANY PARCEL(S) OF THIS SUBDIVISION - UNLESS AN APPROPRIATE LAND USE PERMIT HAS ALSO BEEN ISSUED AND APPROVED, BY THE PLANNING DEPARTMENT, FOR THAT SAME PARCEL(S).

Planning

080 - Planning. 1 Building Permit Referral

Not Satisfied

This subdivision is for finance and conveyance purposes only. This subdivision and the conditions of the subdivision do not pertain to any new construction, grading, or building. Any grading or building plans shall refer to the conditions of PPT180022, or other applicable subdivision for the applicable area.

90. Prior to Building Final Inspection

BS-Grade

090 - BS-Grade. 1 NO PRECISE GRADE APPROVAL

Not Satisfied

A PRECISE GRADING INSPECTION WILL NOT BE PERFORMED, BY THE BUILDING AND SAFETY DEPARTMENT, FOR ANY PARCEL(S) OF THIS SUBDIVISION - ALL PRECISE GRADE INSPECTIONS TO BE PERFORMED UNDER THE PRECISE GRADE PERMIT ISSUED UNDER THE APPROPRIATE LAND USE PERMIT, FOR THAT SAME PARCEL(S).



**COUNTY OF RIVERSIDE
TRANSPORTATION AND LAND MANAGEMENT AGENCY**

Juan C. Perez
Agency Director



06/25/20, 3:50 pm

TPM37819

ADVISORY NOTIFICATION DOCUMENT

The following notifications are included as part of the recommendation of approval for TPM37819. They are intended to advise the applicant of various Federal, State and County regulations applicable to this entitlement and the subsequent development of the subject property.

Advisory Notification

Advisory Notification. 1 AND - Preamble

This Advisory Notification Document is included as part of the justification for the recommendation of approval of this Plan (Click here to enter text.) and is intended to advise the applicant of various Federal, State and County regulations applicable to this entitlement and the subsequent development of the subject property in accordance with approval of that entitlement and are in addition to the applied conditions of approval.

Advisory Notification. 2 AND - Project Description & Operational Limits

TENTATIVE PARCEL MAP NO. 37819 is a proposal for a Schedule "J" subdivision of 31.86 gross acres into 2 parcels. No grading or improvements are proposed for this subdivision.

Advisory Notification. 3 AND - Exhibits

The development of the premises shall conform substantially with that as shown on APPROVED MAP and/or EXHIBIT(S)

Tentative Map, dated 5/13/2020

Advisory Notification. 4 AND - Federal, State & Local Regulation Compliance

1. Compliance with applicable Federal Regulations, including, but not limited to:
 - National Pollutant Discharge Elimination System (NPDES)
 - Clean Water Act
 - Migratory Bird Treaty Act (MBTA)

2. Compliance with applicable State Regulations, including, but not limited to:
 - The current Water Quality Management Plan (WQMP) Permit issued by the applicable Regional Water Quality Control Board (RWQCB.)
 - Government Code Section 66020 (90 Days to Protest)
 - Government Code Section 66499.37 (Hold Harmless)
 - State Subdivision Map Act
 - Native American Cultural Resources, and Human Remains (Inadvertent Find)
 - School District Impact Compliance

ADVISORY NOTIFICATION DOCUMENT

Advisory Notification

Advisory Notification. 4 AND - Federal, State & Local Regulation Compliance (cont.)

- Civil Code Section 815.3 & Government Code Sections 65040.2 et al - SB 18 (Tribal Intergovernmental Consultation)
 - Public Resources Code Section 5097.94 & Sections 21073 et al - AB 52 (Native Americans: CEQA)]
3. Compliance with applicable County Regulations, including, but not limited to:
- Ord. No. 348 (Land Use Planning and Zoning Regulations)
 - Ord. No. 413 (Regulating Vehicle Parking)
 - Ord. No. 421 (Excavation Covering & Swimming Pool Safety)
 - Ord. No. 457 (Building Requirements)
 - Ord. No. 458 (Regulating Flood Hazard Areas & Implementing National Flood Insurance Program)
 - Ord. No. 460 (Division of Land)
 - Ord. No. 461 (Road Improvement Standards)
 - Ord. No. 555 (Surface Mining and Reclamation)
 - Ord. No. 625 (Right to Farm)
 - Ord. No. 630 (Regulating Dogs and Cats)
 - Ord. No. 716 (Abandoned, Neglected or Cruelly Treated Animals)
 - Ord. No. 771 (Controlling Potentially Dangerous & Dangerous Animals)
 - Ord. No. 878 (Regarding Noisy Animals)
 - Ord. No. 655 (Regulating Light Pollution)
 - Ord. No. 671 (Consolidated Fees)
 - Ord. No. 679 (Directional Signs for Subdivisions)
 - Ord. No. 787 (Fire Code)
 - Ord. No. 847 (Regulating Noise)
 - Ord. No. 857 (Business Licensing)
 - Ord. No. 859 (Water Efficient Landscape Requirements)
 - Ord. No. 915 (Regulating Outdoor Lighting)
 - Ord. No. 916 (Cottage Food Operations)
 - Ord. No. 925 (Prohibiting Marijuana Cultivating)
 - Ord. No. 927 (Regulating Short Term Rentals)
 - Ord. No. 928 (Clarifying County Prohibition on Mobile Marijuana Dispensaries and Deliveries)
4. Mitigation Fee Ordinances
- Ord. No. 659 Development Impact Fees (DIF)
 - Ord. No. 663 Stephens Kangaroo Rat Habitat Conservation Plan (SKR)
 - Ord. No. 810 Western Riverside County Multiple Species Habitat Conservation Plan (WRCMSHCP)
 - Ord. No. 824 Western Riverside County Transportation Uniform Mitigation Fee (WR TUMF)

Advisory Notification. 5 AND - Hold Harmless

The applicant/permittee or any successor-in-interest shall defend, indemnify, and hold harmless the County of Riverside or its agents, officers, and employees (COUNTY) from the following:

(a) any claim, action, or proceeding against the COUNTY to attack, set aside, void, or annul an approval of the COUNTY, its advisory agencies, appeal boards, or legislative body concerning the Plot Plan, or its

ADVISORY NOTIFICATION DOCUMENT

Advisory Notification

Advisory Notification. 5 AND - Hold Harmless (cont.)

associated environmental documentation; and,

(b) any claim, action or proceeding against the COUNTY to attack, set aside, void or annul any other decision made by the COUNTY concerning the Plot Plan, including, but not limited to, decisions made in response to California Public Records Act requests; and

(a) and (b) above are hereinafter collectively referred to as "LITIGATION."

The COUNTY shall promptly notify the applicant/permittee of any LITIGATION and shall cooperate fully in the defense. If the COUNTY fails to promptly notify the applicant/permittee of any such LITIGATION or fails to cooperate fully in the defense, the applicant/permittee shall not, thereafter, be responsible to defend, indemnify or hold harmless the COUNTY.

The obligations imposed by this condition include, but are not limited to, the following: the applicant/permittee shall pay all legal services expenses the COUNTY incurs in connection with any such LITIGATION, whether it incurs such expenses directly, whether it is ordered by a court to pay such expenses, or whether it incurs such expenses by providing legal services through its Office of County Counsel.

Payment for COUNTY's costs related to the LITIGATION shall be made on a deposit basis. Within thirty (30) days of receipt of notice from COUNTY that LITIGATION has been initiated against the Project, applicant/permittee shall initially deposit with the COUNTY's Planning Department the total amount of Twenty Thousand Dollars (\$20,000). Applicant/permittee shall deposit with COUNTY such additional amounts as COUNTY reasonably and in good faith determines, from time to time, are necessary to cover costs and expenses incurred by the COUNTY, including but not limited to, the Office of County Counsel, Riverside County Planning Department and the Riverside County Clerk of the Board associated with the LITIGATION. To the extent such costs are not recoverable under the California Public Records Act from the records requestor, applicant/permittee agrees that deposits under this section may also be used to cover staff time incurred by the COUNTY to compile, review, and redact records in response to a Public Records Act request made by a petitioner in any legal challenge to the Project when the petitioner is using the Public Records Act request as a means of obtaining the administrative record for LITIGATION purposes. Within ten (10) days of written notice from COUNTY, applicant/permittee shall make such additional deposits.

E Health

E Health. 1 Gen - Custom

If contamination or the presence of a naturally occurring hazardous material is discovered at the site, assessment, investigation, and/or cleanup may be required. Contact Riverside County Environmental Health - Environmental Cleanup Programs at (951) 955-8980, for further information.

E Health. 1 Gen - Custom

Water and Sewer will serve letter from EMWD, dated 10-22-2018, has been submitted for this project. A

ADVISORY NOTIFICATION DOCUMENT

E Health

E Health. 1 Gen - Custom (cont.)

current will serve letter may be required at time of building permit issuance.

It is the responsibility of the applicant to ensure that all requirements to obtain potable water service and sanitary sewer service are met with the appropriate purveyors, as well as all other applicable agencies.

Fire

Fire. 1 Fire - Advisory

Any future development shall comply with access and water requirements.

Flood

Flood. 1 Flood Hazard Report

PM 37819

FLOOD HAZARD REPORT: 05/04/20

BBID: 296-828-270

Parcel Map (PM) 37819 is a proposal for a Schedule "J" commercial parcel map subdivision of one (1) parcel (APN: 963-030-013) totaling 31.86 gross acres into two (2) parcels. The project site is located in the French Valley area near the French Valley airport. The project site is located east of highway 79/ Winchester Rd, west of Sky Canyon Rd/French Valley Airport, north of Borel Rd, and south of APN 963-030-012 (which is south of Sparkman Way).

The topography of the project site slopes westward then southward and consists of well-defined ridges and natural watercourses that traverse the property. The site received storm runoff from the east and north from approximately 180 acres, which enters the site at different points along its northern and eastern border (Sky Canyon Drive).

Parcel 1 includes two (2) natural watercourses and a drainage easement. Parcel 2 includes a drainage easement. The drainage easement is located within both Parcel 1 and 2. It is for a well-defined watercourse which enters near the northeast corner of Parcel 2 and Sky Canyon Drive, flows westward across the parcel then head southward parallel to Winchester Road, and exits the site near the southwestern border of Parcel 1. The two other watercourses enter Parcel 1 at its east border along Sky Canyon Drive, traverse westerly into the drainage easement watercourse, and follows the same drainage pattern of the drainage easement within Parcel 1 to near the southwestern border of Parcel 1.

There is adequate area outside of the natural watercourses for building sites. The natural watercourses should be kept free of buildings and obstructions in order to maintain the natural drainage patterns of the area and the property's grading should be designed in a manner that perpetuates the existing natural drainage patterns and conditions with respect to tributary drainage area and outlet points. All pads should be located outside of the low. If the development of this property would increase the downstream peak flow rates and adversely impact water quality and affect the downstream property owners, mitigation shall be required to offset such impact. All new construction should comply with all applicable ordinances.

ADVISORY NOTIFICATION DOCUMENT

Flood

Flood. 1 **Flood Hazard Report (cont.)**

This site is located within the bounds of the Murrieta Creek – Warm Springs Valley Area Drainage Plan (ADP) for which drainage fees have been established by the Board of Supervisors. Applicable ADP fees will be due (in accordance with the Rules and Regulations for Administration of Area Drainage Plans) prior to issuance of permits for this project. Although the current fee for this ADP is \$677 per acre, the fee due will be based on the fee in effect at the time of payment. The fee is payable to the Flood Control District by cashier's check or money order only. The District will not accept personal or company checks. The drainage fee is required to be paid prior to the issuance of the grading permits or issuance of the building permits if grading permits are not issued.

The current PM 37819 proposal is a Schedule J which does not allow pulling any grading or building permits. A new map proposal submittal Schedule A, B, C, D, E, F, G, or H will need to be processed first to be able to pull a grading or building permits.

This project does not include any existing or proposed District maintained facilities and the review/approval of the drainage plan and the Water Quality Management Plan (WQMP) will be processed by the Transportation Department.

Any questions pertaining to this project should be directed to Hilal Elhaddad at 951.955.8255 or haelhadd@rivco.org.

Planning

Planning. 1 **90 Days to Protest**

The land divider has 90 days from the date of approval of these conditions to protest, in accordance with the procedures set forth in Government Code Section 66020, the imposition of any and all fees, dedications, reservations and/or other exactions imposed on this project as a result of the approval or conditional approval of this project.

Planning. 2 **Expiration Date**

The conditionally approved TENTATIVE MAP shall expire three years after the County of Riverside Board of Supervisors' original approval date, unless extended as provided by County Ordinance No. 460. Action on a minor change and/or revised map request shall not extend the time limits of the originally approved TENTATIVE MAP. If the TENTATIVE MAP expires before the recordation of the FINAL MAP, or any phase thereof, no recordation of the FINAL MAP, or any phase thereof, shall be permitted.

Planning. 3 **Fees for Review**

Any subsequent review/approvals required by the conditions of approval, including but not limited to grading or building plan review or review of any mitigation monitoring requirement, shall be reviewed on an hourly basis, or other appropriate fee, as listed in County Ordinance No. 671. Each submittal shall be accompanied with a letter clearly indicating which condition or conditions the submittal is intended to comply with.

Planning-GEO

ADVISORY NOTIFICATION DOCUMENT

Planning-GEO

Planning-GEO. 1 GEO180033 ACCEPTED (cont.)

Planning-GEO. 1 GEO180033 ACCEPTED

County Geologic Report GEO No. 180033 submitted for the project PPT180022, was prepared by Geocon West, Inc. The report is titled; "Updated Geotechnical Investigation, KTM Development, NEC of HWY 79 and Borel Road, French Valley Area, Riverside County, California," dated August 18, 2017.

GEO No. 180033 concluded:

1. The site is not located within a State of California Earthquake Fault Zone or a Riverside County Fault Hazard Zone.
2. Based on our review of published geologic maps and reports, the site is not located on any known active, potentially active, or inactive fault traces.
3. Based on the lack of shallow groundwater, the dense consistency of the soils, and granitic bedrock underlying the site, the potential for liquefaction and associated ground deformations beneath the site is nil.
4. Based on the results of our previous laboratory testing, the onsite soils do not exhibit a significant potential for collapse upon saturation. Furthermore, remedial grading is recommended to further reduce the potential effects of collapsible soils in the near surface layers.
5. Based on a review of the current site plans and our site observations, the potential for landslides and rock fall hazard is not a design consideration for the site.
6. Fill or cut slopes greater than 10 feet in vertical height or steeper than 2:1 (h:v) are not anticipated to be constructed as part of this project.
7. The site is located approximately 40 miles from the nearest coastline; therefore, the negligible risk associated with tsunamis is not a design consideration.
8. Inundation from a seiche occurring in Lake Skinner is not a design consideration for the site.
9. Based on the material classifications and laboratory testing by Geocon, site soils generally possess a "medium" expansion potential.

GEO No. 180033 recommended:

1. Site preparation should begin with the removal of previous structures and infrastructure, deleterious material, debris, buried trash, and vegetation. Material generated during stripping and/or site demolition should be exported from the site.
2. Undocumented fill, young alluvium, and colluvium within the limits of grading should be removed to expose either bedrock or competent alluvium with a relative density of at least 85 percent of maximum

ADVISORY NOTIFICATION DOCUMENT

Planning-GEO

Planning-GEO. 1 GEO180033 ACCEPTED (cont.)

density.

3. The depth of removals is generally anticipated to be 3 to 14 feet in depth below existing ground surface based on the subsurface excavation logs.
4. Where over excavation and compaction is to be conducted within building areas, the excavations should be extended at least 2 feet below the bottom of the planned foundations and laterally a minimum distance of five feet beyond the building footprint or for a distance equal to the removal depth, whichever is greater.
5. The cut portion in cut/fill transition areas within proposed structural areas should be over excavated to remove the differential support conditions.

GEO No. 180033 satisfies the requirement for a geologic/geotechnical study for Planning/CEQA purposes. GEO No. 180033 is hereby accepted for planning purposes. Engineering and other Building Code parameters were not included as a part of this review or approval. This approval is not intended and should not be misconstrued as approval for grading permit. Engineering and other building code parameters should be reviewed and additional comments and/or conditions may be imposed by the County upon application for grading and/or building permits.

Transportation

Transportation. 1 RCTD - General Conditions

1. With respect to the conditions of approval for the referenced tentative exhibit, it is understood that the exhibit correctly shows acceptable centerline elevations, all existing easements, traveled ways, and drainage courses with appropriate Q's, and that their omission or unacceptability may require the exhibit to be resubmitted for further consideration. The County of Riverside applicable ordinances and all conditions of approval are essential parts and a requirement occurring in ONE is as binding as though occurring in all. All questions regarding the true meaning of the conditions shall be referred to the Transportation Department.
2. Alternations to natural drainage patterns shall require protecting downstream properties by means approved by the Transportation Department.
3. If the Transportation Department allows the use of streets for drainage purposes, the 10-year discharge shall be contained in the top of curb or asphalt concrete dikes, and the 100-year discharge shall be contained in the street right-of-way.
4. All corner cutbacks shall be applied per Standard 805, Ordinance 461.
5. All centerline intersections shall be at 90 degrees, plus or minus 5 degrees.
6. Sky Canyon Road is designated as an INDUSTRIAL COLLECTOR ROAD (Modified 68 foot full-width

ADVISORY NOTIFICATION DOCUMENT

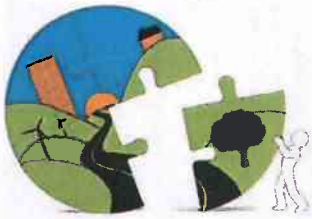
Transportation

Transportation. 1 RCTD - General Conditions (cont.)

right-of-way per modified Standard No. 111, and Standard No. 800 (A), Ordinance 461).

If the existing right-of-way along Sky Canyon Road exceeds that which is required for this project, the developer may submit a request for the vacation of said excess right-of-way. Said procedure shall be as approved by the Board of Supervisors. If said excess or superseded right-of-way is also County-owned land, it may be necessary to enter into an agreement with the County for its purchase or exchange.

7. Additional information, standards, ordinances, policies, and design guidelines can be obtained from the Transportation Department Web site: <http://rctlma.org/trans/>. If you have questions, please call the Plan Check Section at (951) 955 6527.



RIVERSIDE COUNTY PLANNING DEPARTMENT

*Charissa Leach, P.E.
Assistant TLMA Director*

DEVELOPMENT ADVISORY COMMITTEE (“DAC”) SECOND CASE TRANSMITTAL RIVERSIDE COUNTY PLANNING DEPARTMENT – RIVERSIDE PO Box 1409 Riverside, 92502-1409

DATE: June 29, 2020

TO:

Riv. Co. Transportation Dept.
P.D. Environmental Programs Division
P.D. Archaeology Section
Riv. Co. Surveyor
Riv. Co. Waste Resources Management Dept.

Riv. Co. Airport Land Use Commission
Hemet-Ryan Airport
Board of Supervisors - Supervisor: Chuck
Washington
Planning Commissioner: Gary Thornhill

Eastern Municipal Water District (EMWD)
Southern California Edison Co. (SCE)
Southern California Gas Co.

TENTATIVE PARCEL MAP NO. 37819 – CEQ200008 – Applicant: Pierer Immoreal North America, LLC
- Third Supervisorial District – Rancho California Zoning Area – Southwest Area Plan: Commercial
Office/Commercial Retail (CO/CR) – Location: North of Winchester Road, East of Sparkman Way, South
of Sky Canyon Drive, West of Borel Road – 31.86 Acres – Zoning: SP Zone (SP265)– **PROJECT
DESCRIPTION:** A Schedule “J” Tentative Parcel Map subdivision of 31.86 gross acres into 2 parcels –
APN: 963-030-013 – **BBID: 296-828-270**

DAC staff members and other listed Riverside County Agencies, Departments and Districts staff:
A Bluebeam invitation has been emailed to appropriate staff members so they can view and markup the
map(s) and/or exhibit(s) for the above-described project. Please have your markups completed and draft
conditions in the Public Land Management System (PLUS) on or before the indicated DAC date. If it is
determined that the attached map(s) and/or exhibit(s) are not acceptable, please have corrections in the
system and DENY the PLUS routing on or before the above date. This case is scheduled for a **DAC
internal review on May 7, 2020.** Once the route is complete, and the approval screen is approved with
or without corrections, the project can be scheduled for a public hearing.

Any questions regarding this project, should be directed to Mina Morgan, Project Planner
at (951) 955-6035, or e-mail at mimorgan@rivco.org / MAILSTOP #: 1070

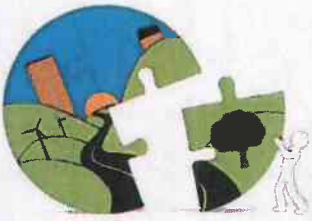
Public Hearing Path: Administrative Action: DH: PC: BOS:

DATE: _____ SIGNATURE: _____

PLEASE PRINT NAME AND TITLE: _____

TELEPHONE: _____

*If you do not include this transmittal in your response, please include a reference to the case number and project
planner's name. Thank you.*



RIVERSIDE COUNTY
PLANNING DEPARTMENT

Charissa Leach, P.E.
Assistant TLMA Director

COMMENTS:

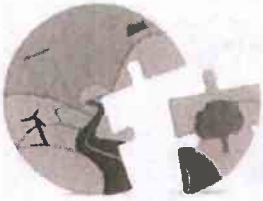
DATE: _____

SIGNATURE: _____

PLEASE PRINT NAME AND TITLE: _____

TELEPHONE: _____

If you do not include this transmittal in your response, please include a reference to the case number and project planner's name. Thank you.



Charissa Leach, P.E.
Assistant TLMA Director

RIVERSIDE COUNTY PLANNING DEPARTMENT

TPM 37819
CRE 20008

APPLICATION FOR SUBDIVISION AND DEVELOPMENT

CHECK ONE AS APPROPRIATE:

- | | |
|---|--|
| <input type="checkbox"/> TENTATIVE TRACT MAP | <input checked="" type="checkbox"/> TENTATIVE PARCEL MAP |
| <input type="checkbox"/> REVERSION TO ACREAGE | <input type="checkbox"/> EXPIRED RECORDABLE MAP |
| <input type="checkbox"/> AMENDMENT TO FINAL MAP | <input type="checkbox"/> VESTING MAP |

MINOR CHANGE Original Case No. _____

REVISED MAP Original Case No. _____

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED.

APPLICATION INFORMATION

Applicant Name: Pierer Immoreal North America, LLC

Contact Person: Robin Grangruth E-Mail: rgrangruth@ktmnorthamerica.com

Mailing Address: 38429 Innovation Court

<u>Murrieta</u>	<u>Street</u>	<u>92563</u>
<u>City</u>	<u>CA</u>	<u>ZIP</u>
	<u>State</u>	

Daytime Phone No: (951) 600-8007 Fax No: (951) 600-8866

Engineer/Representative Name: CASC Engineering and Consulting, Inc.

Contact Person: Frank Coyle E-Mail: fcoyle@cascinc.com

Mailing Address: 1470 E. Cooley Dr.

<u>Colton</u>	<u>Street</u>	<u>92324</u>
<u>City</u>	<u>CA</u>	<u>ZIP</u>
	<u>State</u>	

Daytime Phone No: (909) 783-0101 x5370 Fax No: (909) 783-0108

Property Owner Name: Pierer Immoreal North America, LLC

Contact Person: Robin Grangruth E-Mail: rgrangruth@ktmnorthamerica.com

Mailing Address: 38429 Innovation Court Murrieta, CA 92563

Riverside Office · 4080 Lemon Street, 12th Floor
P.O. Box 1409, Riverside, California 92502-1409
(951) 955-3200 · Fax (951) 955-1811

Desert Office · 77-588 El Duna Court, Suite H
Palm Desert, California 92211
(760) 863-8277 · Fax (760) 863-7555

"Planning Our Future... Preserving Our Past"

APPLICATION FOR SUBDIVISION AND DEVELOPMENT

Street

City State ZIP
Daytime Phone No: (951) 600-8007 Fax No: (951) 600-8866

Check this box if additional persons or entities have an ownership interest in the subject property(ies) in addition to that indicated above; and attach a separate sheet that references the subdivision type and number and list those names, mailing addresses, phone and fax numbers, and email addresses; and provide signatures of those persons or entities having an interest in the real property(ies) involved in this application.

AUTHORITY FOR THIS APPLICATION IS HEREBY GIVEN:

I certify that I am/we are the record owner(s) or authorized agent, and that the information filed is true and correct to the best of my knowledge, and in accordance with Govt. Code Section 65105, acknowledge that in the performance of their functions, planning agency personnel may enter upon any land and make examinations and surveys, provided that the entries, examinations, and surveys do not interfere with the use of the land by those persons lawfully entitled to the possession thereof.

(If an authorized agent signs, the agent must submit a letter signed by the owner(s) indicating authority to sign on the owner(s)'s behalf, and if this application is submitted electronically, the "wet-signed" signatures must be submitted to the Planning Department after submittal but before the subdivision is ready for public hearing.)

Pierer Immoreal North America, LLC (Authorized Agent - John Hinz

PRINTED NAME OF PROPERTY OWNER(S)

SIGNATURE OF PROPERTY OWNER(S)

Pierer Immoreal North America, LLC Authorized Agent- Diane Roth

PRINTED NAME OF PROPERTY OWNER(S)

SIGNATURE OF PROPERTY OWNER(S)

The Planning Department will primarily direct communications regarding this application to the person identified above as the Applicant. The Applicant may be the property owner, representative, or other assigned agent.

AUTHORIZATION FOR CONCURRENT FEE TRANSFER

The applicant authorizes the Planning Department and TLMA to expedite the refund and billing process by transferring monies among concurrent applications to cover processing costs as necessary. Fees collected in excess of the actual cost of providing specific services will be refunded. If additional funds are needed to complete the processing of this application, the applicant will be billed, and processing of the application will cease until the outstanding balance is paid and sufficient funds are available to continue the processing of the application. The applicant understands the deposit fee process as described above, and that there will be NO refund of fees which have been expended as part of the application review or other related activities or services, even if the application is withdrawn or the application is ultimately denied.

PROPERTY INFORMATION:

Assessor's Parcel Number(s): 963-030-013

Approximate Gross Acreage: 31.86

APPLICATION FOR SUBDIVISION AND DEVELOPMENT

General location (cross streets, etc.): North of Borel Road, South of Sparkman Way, East of Winchester Road, West of Sky Canyon Drive

SUBDIVISION PROPOSAL:

Map Schedule: E
Number of existing lots: 1
Planned Unit Development (PUD): Yes No
Number of proposed non-developable lots (excluding streets): 0
Minimum Developable Lot Size: 12.28
Number of proposed developable lots: 2
Vesting Map: Yes No
Subdivision Density: N/A dwelling units per acre.

Is there previous development application(s) filed on the same site: Yes No

If yes, provide Application No(s) PPT180022, PM35212
(e.g. Tentative Parcel Map, Zone Change, etc.)

Initial Study (EA) No. (if known) CEQ180087 EIR No. (if applicable): N/A

Have any special studies or reports, such as a traffic study, biological report, archaeological report, geological or geotechnical reports, been prepared for the subject property? Yes No

If yes, indicate the type of report(s) and provide signed copy(ies): See Attachment "A" - List of Studies

If the project located within either the Santa Ana River/San Jacinto Valley watershed, the Santa Margarita River watershed, or the Whitewater River watershed, check the appropriate checkbox below.

If not known, please refer to Riverside County's Map My County website to determine if the property is located within any of these watersheds (search for the subject property's Assessor's Parcel Number, then select the "Geographic" Map Layer - then select the "Watershed" sub-layer)

If any of the checkboxes are checked, click on the adjacent hyperlink to open the applicable Checklist Form. Complete the form and attach a copy as part of this application submittal package.

- Santa Ana River/San Jacinto Valley
- Santa Margarita River
- Whitewater River

If the applicable Checklist has concluded that the application requires a preliminary project-specific Water Quality Management Plan (WQMP), such a plan shall be prepared and included with the submittal of this application.

APPLICATION FOR SUBDIVISION AND DEVELOPMENT

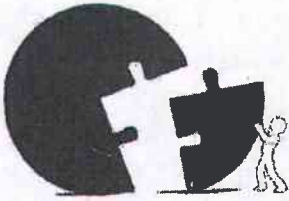
HAZARDOUS WASTE AND SUBSTANCES STATEMENT

The development project and any alternatives proposed in this application are contained on the lists compiled pursuant to Section 65962.5 of the Government Code. Accordingly, the project applicant is required to submit a signed statement that contains the following information:

Name of Applicant: Pierer Immoreal North America, LLC
Address: 38429 Innovation Court, Murrieta, CA 92563
Phone number: 951-600-8007
Address of site (street name and number if available, and ZIP Code): 37862 Winchester Road (92563)
Local Agency: County of Riverside
Assessor's Book Page, and Parcel Number: BK963 PG03, 963-030-013
Specify any list pursuant to Section 65962.5 of the Government Code: N/A
Regulatory Identification number: N/A
Date of list: N/A
Applicant: N/A Date N/A

This completed application form, together with all of the listed requirements provided on the Subdivision Application Filing Instructions Handout, are required in order to file an application with the County of Riverside Planning Department.

Y:\Current Planning\LMS Replacement\Condensed P.D. Application Forms\Subdivision Condensed Application.docx
Created: 04/08/15 Revised: 08/03/18





RIVERSIDE COUNTY PLANNING DEPARTMENT

Charissa Leach, P.E,
Assistant TLMA Director

INDEMNIFICATION AGREEMENT REQUIRED FOR ALL PROJECTS

The owner(s) of the property, at their own expense, agree to defend, indemnify and hold harmless the County of Riverside and its agents, officers, and employees from and against any lawsuit, claim, action, or proceeding (collectively referred to as "proceeding") brought against the County of Riverside, its agents, officers, attorneys and employees to attack, set aside, void, or annul the County's decision to approve any tentative map (tract or parcel), revised map, map minor change, reversion to acreage, conditional use permit, public use permit, surface mining permit, WECS permit, hazardous waste siting permit, temporary outdoor event permit, plot plan, substantial conformance, revised permit, variance, setback adjustment, general plan amendment, specific plan, specific plan amendment, specific plan substantial conformance, zoning amendments, and any associated environmental documents. This defense and indemnification obligation shall include, but not limited to, damages, fees and/or costs awarded against the County, if any, and cost of suit, attorney's fees and other costs, liabilities and expenses incurred in connection with such proceeding whether incurred by applicant, property owner, the County, and/or the parties initiating or bringing such proceeding.

 2/13/20 

Property Owner(s) Signature(s) and Date

Pierer Immoreal North America, LLC (Authorized Agents - John Hinz and Diane Roth)

Printed Name of Owner

If the property is owned by multiple owners, the paragraph above must be signed by each owner. Attach additional sheets of this page, if necessary.

If the property owner is a corporate entity, Limited Liability Company, partnership or trust, the following documentation must also be submitted with this application:

- If the property owner is a limited partnership, provide a copy of the LP-1, LP-2 (if an amendment) filed with the California Secretary of State.
- If the property owner is a general partnership, provide a copy of the partnership agreement documenting who has authority to bind the general partnership and to sign on its behalf.
- If the property owner is a corporation, provide a copy of the Articles of Incorporation and/or a corporate resolution documenting which officers have authority to bind the corporation and to sign on its behalf. The corporation must also be in good standing with the California Secretary of State.
- If the property owner is a trust, provide a copy of the trust certificate.

Riverside Office • 4080 Lemon Street, 12th Floor
P.O. Box 1409, Riverside, California 92502-1409
(951) 955-3200 • Fax (951) 955-1811

Desert Office • 77-588 El Duna Court, Suite H
Palm Desert, California 92211
(760) 863-8277 • Fax (760) 863-7040

"Planning Our Future... Preserving Our Past"

INDEMNIFICATION AGREEMENT REQUIRED FOR ALL PROJECTS

- *If the property owner is a Limited Liability Corporation, provide a copy of the operating agreement for the LLC documenting who has authority to bind the LLC and to sign on its behalf.*

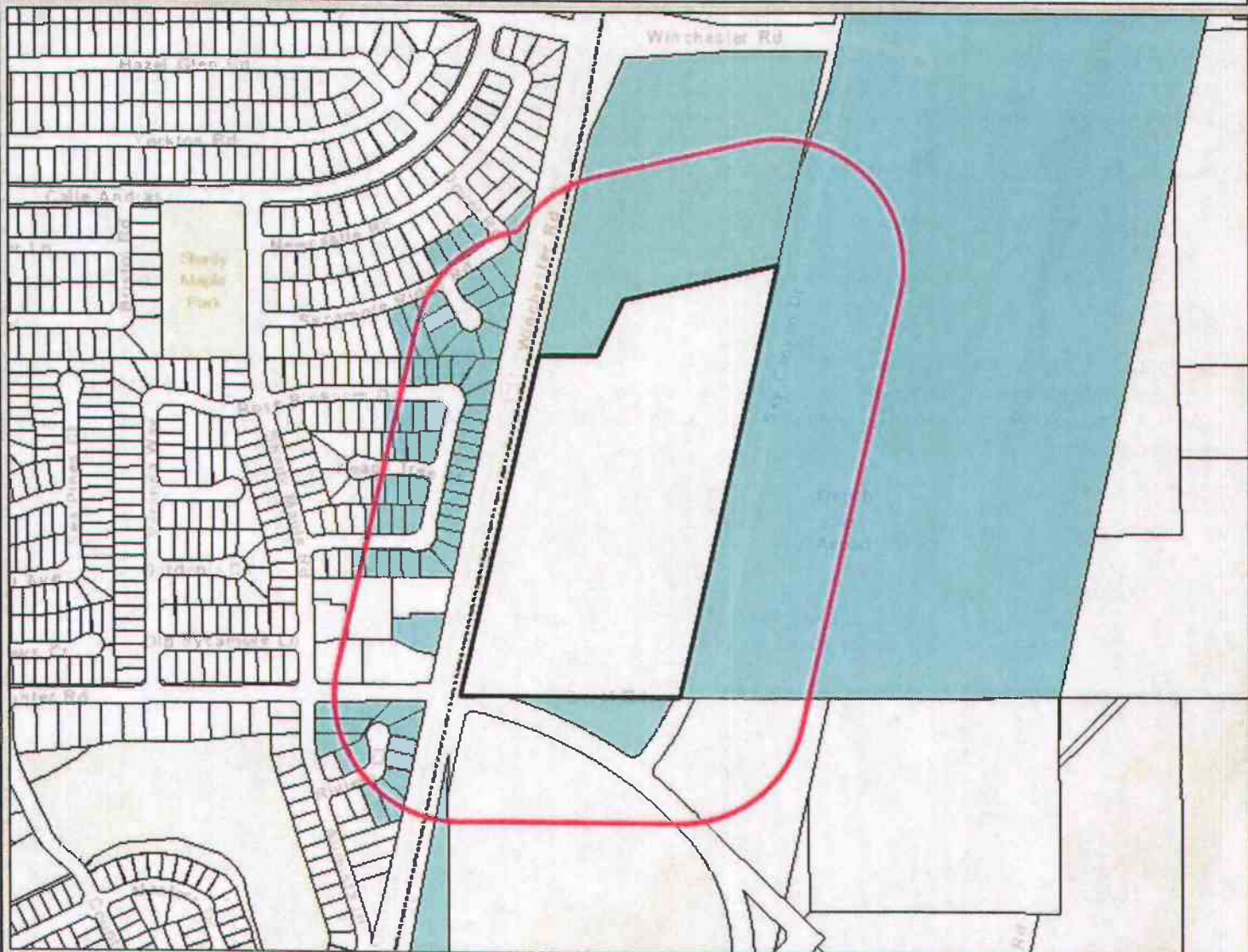
If the signing entity is also a corporate entity, Limited Liability Company, partnership or trust, the above documentation must also be submitted with this application. For any out of State legal entities, provide documentation showing registration with the California Secretary of State.

In addition to the above, provide a copy of a Preliminary Title Report for the property subject to this application. The Preliminary Title Report must be issued by a title company licensed to conduct business in the State of California and dated less than six months prior to the date of submittal of this application. The Assistant TLMA Director may waive the requirement for a Preliminary Title Report if it can be shown to the satisfaction of the Assistant TLMA Director that the property owner(s) has owned the property consistently for at least the last five years.





If the application is for a plot plan for a Wireless Communication Facility, the property owner(s) and the cellular service provider must sign the indemnification paragraph above. If the application is for a plot plan for a wireless communication co-location, only the co-locating service provider needs to sign the indemnification paragraph above.

Riverside County GIS Mailing Labels

TPM37819 (600 feet buffer)



Legend

-  County Boundary
-  Cities
-  Parcels
-  World Street Map

Notes



0 752 1,505 Feet

IMPORTANT Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

REPORT PRINTED ON...6/12/2020 4:49:18 PM

© Riverside County RCIT

PROPERTY OWNERS CERTIFICATION FORM

I, VINNIE NGUYEN certify that on June 12, 2020,

The attached property owners list was prepared by Riverside County GIS,

APN (s) or case numbers TPM37819 for

Company or Individual's Name RCIT - GIS,

Distance buffered 600'

Pursuant to application requirements furnished by the Riverside County Planning Department. Said list is a complete and true compilation of the owners of the subject property and all other property owners within 600 feet of the property involved, or if that area yields less than 25 different owners, all property owners within a notification area expanded to yield a minimum of 25 different owners, to a maximum notification area of 2,400 feet from the project boundaries, based upon the latest equalized assessment rolls. If the project is a subdivision with identified off-site access/improvements, said list includes a complete and true compilation of the names and mailing addresses of the owners of all property that is adjacent to the proposed off-site improvement/alignment.

I further certify that the information filed is true and correct to the best of my knowledge. I understand that incorrect or incomplete information may be grounds for rejection or denial of the application.

TITLE: GIS Analyst

ADDRESS: 4080 Lemon Street 9TH Floor

Riverside, Ca. 92502

TELEPHONE NUMBER (8 a.m. – 5 p.m.): (951) 955-8158

908131015
FERNANDO MOORE
37660 PLYMOUTH RD
MURRIETA CA 92563

908131016
CUPERTINO N. OPINA
30017 SYCAMORE RIDGE RD
MURRIETA CA 92563

908131017
DURU NNEKA
30005 SYCAMORE RIDGE RD
MURRIETA CA 92563

908131018
RAUL SALAS
37676 TOWNSVILLE CT
MURRIETA CA 92563

908131019
HENRICUS VANBOXTTEL
2814 OLIVE HILL RD
FALLBROOK CA 92028

908131020
NORBERTA CUPELES GARCIA
37708 TOWNSVILLE CT
MURRIETA CA 92563

908131021
EDWARD HOLLOWAY
37724 TOWNSVILLE CT
MURRIETA CA 92563

908131022
STEPHEN D. NUGENT
37727 TOWNSVILLE CT
MURRIETA CA 92563

908131023
KEVIN M. MCGUIRE
37711 TOWNSVILLE CT
MURRIETA CA 92563

908131024
BOGARDUS LARRY & BEVERLY
REVOCABLE
37695 TOWNSVILLE CT
MURRIETA CA 92563

908131025
LANCINE KONE
37679 TOWNSVILLE CT
MURRIETA CA 92563

908131026
GREGORY D. SHALIN
29945 SYCAMORE RIDGE RD
MURRIETA CA 92563

908131027
AREK TADEUS DOUGLAS
29939 SYCAMORE RIDGE RD
MURRIETA CA 92563

908134004
JOSE L. GARCIA
29972 SYCAMORE RIDGE RD
MURRIETA CA 92563

908134005
JOSE G. ALVAREZ
29984 SYCAMORE RIDGE RD
MURRIETA CA 92563

908134007
NEW LIFE VENTURE
1661 HANOVER RD STE 211
CITY OF INDUSTRY CA 91748

908151012
FRANK MCDANIEL
29998 ROSE BLOSSOM DR
MURRIETA CA 92563

908151014
MAE DANG
1148 DOVER WAY
MONTEREY PARK CA 91754

908151016
MONTE B. MONEY
30038 ROSE BLOSSOM DR
MURRIETA CA 92563

908151018
ARIEL Q. MARQUEZ
34501 STAGE RD
TEMECULA CA 92592

908151020
KAREN L. TILLOTSON
37803 SWEET MAGNOLIA WAY
MURRIETA CA 92563

908134006
LAUREN AGUILAR
29996 SYCAMORE RIDGE RD
MURRIETA CA 92563

908151011
JAROD FARNSWORTH
29988 ROSE BLOSSOM DR
MURRIETA CA 92563

908151013
KENAN DUNDAR
30008 ROSE BLOSSOM DR
MURRIETA CA 92563

908151015
MICHAEL R. PAYNE
30028 ROSE BLOSSOM DR
MURRIETA CA 92563

908151017
ERICA M. HALL
37773 SWEET MAGNOLIA WAY
MURRIETA CA 92563

908151019
IGOR GROSSMAN
37793 SWEET MAGNOLIA WAY
MURRIETA CA 92563

908151021
GLENN WUN KWAN
29170 WRANGLER DR
MURRIETA CA 92563

908151022
ANTONIO MARTINS
37823 SWEET MAGNOLIA WAY
MURRIETA CA 92563

908151023
KENNETH B. ROBINSON
37833 SWEET MAGNOLIA WAY
MURRIETA CA 92563

908151024
MEHRDAD HERAVI
37843 SWEET MAGNOLIA WAY
MURRIETA CA 92563

908151025
VU VAN NGUYEN
37853 SWEET MAGNOLIA WAY
MURRIETA CA 92563

908151026
GABRIEL RAMIREZ RIOJAS
37863 SWEET MAGNOLIA WAY
MURRIETA CA 92563

908151027
ANDREWS RALPH E JR TRUST DATED
37873 SWEET MAGNOLIA WAY
MURRIETA CA 92563

908152005
THOMAS BEKE
37946 SWEET MAGNOLIA DR
MURRIETA CA 92563

908152006
ROMANO FAMILY TRUST DATED 10/9/2019
37936 SWEET MAGNOLIA DR
MURRIETA CA 92563

908152007
JAMES FREEMAN
37926 SWEET MAGNOLIA WAY
MURRIETA CA 92563

908152008
JORGE A. SANCHEZ
37196 STARDUST WAY
MURRIETA CA 92563

908152009
PATRICIA L. WILLIS
29991 PEACHTREE CT
MURRIETA CA 92563

908152010
DIANA C. HART
29971 PEACHTREE CT
MURRIETA CA 92563

908152011
DEAN W. HOLLAND
29961 PEACHTREE CT
MURRIETA CA 92563

908152012
JOHN HOBART WOODRUFF
5485 ROTARY DR
LA VERNE CA 91750

908151022
ANTONIO MARTINS
37823 SWEET MAGNOLIA WAY
MURRIETA CA 92563

908151024
MEHRDAD HERAVI
37843 SWEET MAGNOLIA WAY
MURRIETA CA 92563

908151026
GABRIEL RAMIREZ RIOJAS
37863 SWEET MAGNOLIA WAY
MURRIETA CA 92563

908152005
THOMAS BEKE
37946 SWEET MAGNOLIA DR
MURRIETA CA 92563

908152007
JAMES FREEMAN
37926 SWEET MAGNOLIA WAY
MURRIETA CA 92563

908152009
PATRICIA L. WILLIS
29991 PEACHTREE CT
MURRIETA CA 92563

908152011
DEAN W. HOLLAND
29961 PEACHTREE CT
MURRIETA CA 92563

908151023
KENNETH B. ROBINSON
37833 SWEET MAGNOLIA WAY
MURRIETA CA 92563

908151025
VU VAN NGUYEN
37853 SWEET MAGNOLIA WAY
MURRIETA CA 92563

908151027
ANDREWS RALPH E JR TRUST DATED
37873 SWEET MAGNOLIA WAY
MURRIETA CA 92563

908152006
ROMANO FAMILY TRUST DATED 10/9/2019
37936 SWEET MAGNOLIA DR
MURRIETA CA 92563

908152008
JORGE A. SANCHEZ
37196 STARDUST WAY
MURRIETA CA 92563

908152010
DIANA C. HART
29971 PEACHTREE CT
MURRIETA CA 92563

908152012
JOHN HOBART WOODRUFF
5485 ROTARY DR
LA VERNE CA 91750

908152020
NADER SHAABAN
29964 PEACHTREE CT
MURRIETA CA 92563

908152021
DAVITH KHOR
29974 PEACHTREE CT
MURRIETA CA 92563

908152022
KIM M. MASCUZZIO
29984 PEACH TREE CT
MURRIETA CA 92563

908152023
JOHNNY LE
29994 PEACHTREE CT
MURRIETA CA 92563

908152024
FRANK ROJAS
30015 ROSE BLOSSOM DR
MURRIETA CA 92563

908152025
TRUC MAI THI TRAN
29995 ROSE BLOSSOM DR
MURRIETA CA 92563

908152026
VICTORIA TUONG VY NGUYEN
27540 YNEZ NO J5
TEMECULA CA 92591

908152027
DOUGLAS M. KATONA
29975 ROSE BLOSSOM DR
MURRIETA CA 92563

908172001
JOSE M. ROBLES
37903 SWEET MAGNOLIA WAY
MURRIETA CA 92563

908172002
AUTURIO FRAZIER
37913 SWEET MAGNOLIA WAY
MURRIETA CA 92563

908172003
CHRISTOPHER WOODS
37923 SWEET MAGNOLIA WAY
MURRIETA CA 92563

908172004
LARRY STIDHAM
41804 LEILA VERDE
MURRIETA CA 92562

908172005
VICTOR MANUEL ROJAS ALVAREZ
37943 SWEET MAGNOLIA WAY
MURRIETA CA 92563

908172006
TRANG T. NGUYEN
37953 SWEET MAGNOLIA WAY
MURRIETA CA 92563

908172010
ENRIQUE BARRERA
37883 SWEET MAGNOLIA WAY
MURRIETA CA 92563

908172012
MESA PLAZA
28636 OLD TOWN FRONT 202
TEMECULA CA 92590

908300008
SANTOS RODRIGUEZ SOTELO
38060 RIVERA CT
MURRIETA CA 92563

908300010
ISMAEL RESENDIZ
38044 RIVIERA CT
MURRIETA CA 92563

908300012
TORRES CARLOS & MAUREEN
ANNAMARIE REV
38028 RIVIERA CT
MURRIETA CA 92563

908300014
MARK D. SWINEHEART
38012 RIVIERA CT
MURRIETA CA 92563

908300016
RONALD EDUARDO MOLINA
38063 RIVIERA CT
MURRIETA CA 92563

908172011
ASHWIN SEWDARSEN
37893 SWEET MAGNOLIA WAY
MURRIETA CA 92563

908180004
COUNTY OF RIVERSIDE
P O BOX 1180
RIVERSIDE CA 92502

908300009
RAYMOND L. RUBIO
38052 RIVIERA CT
MURRIETA CA 92563

908300011
CRAIG BRADLEY
38036 RIVIERA CT
MURRIETA CA 92563

908300013
SHARON H. KINIKIN
38020 RIVIERA CT
MURRIETA CA 92563

908300015
KEVIN VANCE MILNER
42865 VIA ALHAMA
TEMECULA CA 92592

908300018
JOHN LUCACI
38052 AUGUSTA DR
MURRIETA CA 92563

908300019

DAWOOD N. BESHAY
38044 AUGUSTA DR
MURRIETA CA 92563

908300020

JUAN CARLOS LEON
38036 AUGUSTA DR
MURRIETA CA 92563

957320001

ALEXANDER A. BOREL
17775 LONG HOLLOW RD
CORNING CA 96021

963030010

COUNTY OF RIVERSIDE
PO BOX 130878
CARLSBAD CA 92013

963030012

PIERER IMMOREAL NORTH AMERICA
38429 INNOVATION CT
MURRIETA CA 92563

Southern California Edison
2244 Walnut Grove Ave
Rm. 312
P.O Box 600
Rosemead, CA 91770

Winchester/Homeland MAC
32665 Haddock St.
Winchester, CA 92596

Riverside County
Cultural Department
4080 Lemon Street
12th Floor
Riverside, CA 92501

Department of Environmental Health
3499 10th Street
Riverside CA 92501

Planning Commission
Ruthanne Taylor-Berger
4080 Lemon Street, 12th Floor
P.O. Box 1409
Riverside, CA 92502

Southern California Gas Company
Engineering Department
Attn: Teresa Roblero ML: 8031
PO Box 3003
Redlands, CA 92373

City of Temecula
Planning Division
Luke Watson
41000 Main St
Temecula, CA 92590

Waste Resources Management Department
14310 Frederick St
Moreno Valley, CA 92553

Supervisor Chuck Washington - 3rd District
4080 Lemon St., 5th Floor
Riverside, CA. 92501

Riverside County Fire Department
210 West San Jacinto Avenue
Perris, CA 92570

Applicant/Owner:

Pierer Immoreal North America, LLC
38429 Innovation, Ct
Murrieta CA, 92563

Engineer:

CASC Engineering
1470 Cooley Dr
Colton CA, 92324
Attn: Frank Coyle

Applicant/Owner:

Pierer Immoreal North America, LLC
38429 Innovation, Ct
Murrieta CA, 92563



RIVERSIDE COUNTY PLANNING DEPARTMENT

Charissa Leach, P.E.
Assistant TLMA Director

NOTICE OF EXEMPTION

TO: Office of Planning and Research (OPR) P.O. Box 3044 Sacramento, CA 95812-3044
 County of Riverside County Clerk

FROM: Riverside County Planning Department
 4080 Lemon Street, 12th Floor P. O. Box 1409 Riverside, CA 92502-1409
 38686 El Cerrito Road Palm Desert, CA 92201

Project Title/Case No.: Schedule "J" Tentative Parcel Map No. 37819

Project Location: 38429 Innovation Court, Murrieta, CA 92563

Project Description TENTATIVE PARCEL MAP NO. 37819 is a proposal for a Schedule "J" subdivision of 31.86 gross acres into 2 parcels. No grading or improvements are proposed for this subdivision.

Name of Public Agency Approving Project: Riverside County Planning Department

Project Applicant & Address: Pierer Immoreal North America, LLC – 38429 Innovation Court, Murrieta, CA 92563

Exempt Status: (Check one)

- Ministerial (Sec. 21080(b)(1); 15268)
- Declared Emergency (Sec. 21080(b)(3); 15269(a))
- Emergency Project (Sec. 21080(b)(4); 15269 (b)(c))
- Categorical Exemption 15315 & 15061(b) (3)
- Statutory Exemption (_____)
- Other:

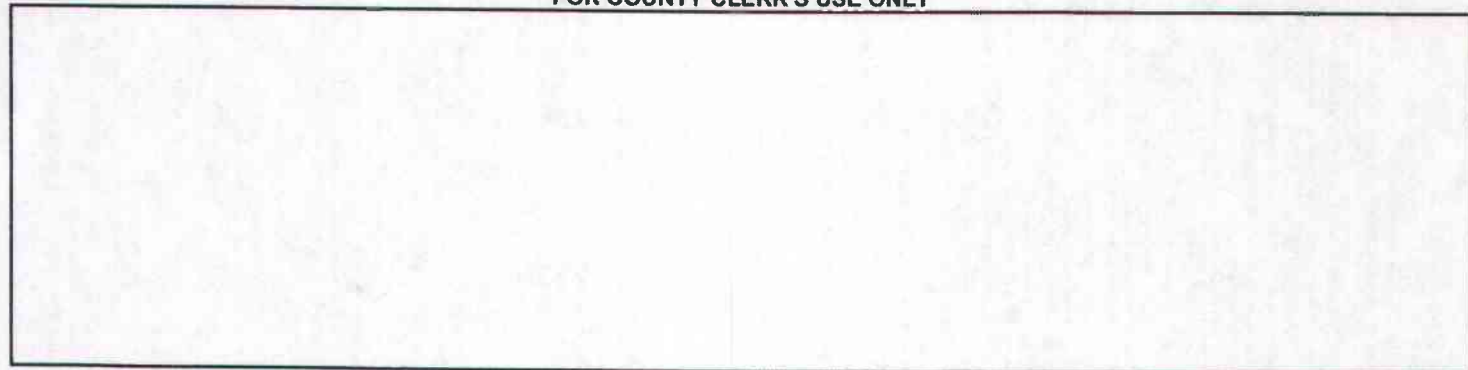
Reasons why project is exempt: The proposed project is covered by Article 5 – Categorical Exemptions, Section 15061(b) (3) (Review for Exemption). This section exempts the proposed schedule "J" Tentative Parcel Map as it indicates that, the activity is covered by the common sense exemption that CEQA applies only to projects, which have the potential for causing a significant effect on the environment. This project will have no significant impact on the environment since there's no grading or improvements proposed for this subdivision. In addition, the proposed project is also covered by Article 15 – Categorical Exemptions, Section 15315 (Minor Land Divisions). This section specifically, exempts subdivisions of property in urbanized areas zoned for residential, commercial, or industrial uses into four or fewer parcels. This subdivision proposal is only for 2 parcels, thus, complies with CEQA exemption.

Mina Morgan County Contact Person (951) 955-6035 Phone Number

Signature Project Planner Title June 29, 2020 Date

Date Received for Filing and Posting at OPR: _____
Revised: 06/29/2020: Y:\Planning Case Files-Riverside office\TPM37819\DH-PC-BOS Hearings\BOS

Please charge deposit fee case#: _____ ZCFW No. 6364- County Clerk Posting Fee
FOR COUNTY CLERK'S USE ONLY






**COUNTY OF RIVERSIDE
PLANNING DEPARTMENT
STAFF REPORT**

Agenda Item No.

4.11

Planning Commission Hearing: May 6, 2020

PROPOSED PROJECT

Case Number(s):	Tentative Parcel Map No. 37537 Conditional Use Permit No. 3775	Applicant(s): Cajalco Square, LP
EIR No.:	EIR 255, Addendum No: 1	Representative(s): J&T Management
Area Plan:	Lake Mathews/Woodcrest	c/o C. Grajeda & M. Bojorquez
Zoning Area/District:	Mead Valley District	
Supervisory District:	First District	
Project Planner:	Tim Wheeler	
Project APN(s):	321-130-053 thru 055, and 060	 Charissa Leach, P.E. Assistant TLMA Director
Continued From:	March 18, 2020 PC (Canceled)	

PROJECT DESCRIPTION AND LOCATION

Tentative Parcel Map No. 37537 proposes a Schedule E parcel map to subdivide 9.79 gross acres into four (4) parcels. Parcel 1 will be 0.98 acres gross; Parcel 2 will be 3.62 acres gross, Parcel 3 will be 1.29 acres gross, and Parcel 4 will be 1.29 acres gross.

Conditional Use Permit No. 3775 would consist of a commercial retail center on Parcels 1, 2, 3, and 4 ("the Project"), with uses such as a 3,200 square foot drive-thru fast food restaurant, a 19,097 square foot retail store with a fenced in outdoor area, a 4,395 square foot self-service gas station with eight (8) gas pump stations, a 3,800 square foot convenience store, a 2,080 square foot drive-thru carwash and associated vehicle vacuuming area, and an 8,586 sq. ft. multi-tenant retail building. The convenience store will include the sale of beer and wine for off-site consumption. The Project will include 263 parking spaces (including 7 ADA and 7 electric vehicle parking spaces). The Project will also include two (2) water quality basins, a pylon sign, two (2) tenant monument signs, and two (2) gas price monument signs.

The project site is located north of Cajalco Road, east of Wood Road, and south of Carpinus Drive.

The above is hereinafter referred to as "the project or Project."

PROJECT RECOMMENDATION

STAFF RECOMMENDATIONS:

THAT THE PLANNING COMMISSION TAKE THE FOLLOWING ACTIONS:

CONSIDER an **ADDENDUM** to **ENVIRONMENTAL IMPACT REPORT NO. 255**, based on the findings and conclusions provided in the initial study, attached hereto, and the conclusion that the project will not have a significant effect on the environment; and,

APPROVE TENTATIVE PARCEL MAP NO. 37537, subject to the attached advisory notification document and conditions of approval, and based upon the findings and conclusions provided in this staff report.

APPROVE CONDITIONAL USE PERMIT NO. 3775, subject to the attached advisory notification document and conditions of approval, and based upon the findings and conclusions provided in this staff report.

PROJECT DATA

Land Use and Zoning:

Specific Plan:	Specific Plan No. 229, as amended by Amendment No. 1 (SP229A1) Boulder Springs - Planning Area 1
Specific Plan Land Use:	Commercial Retail
Existing General Plan Foundation Component:	Community Development
Existing General Plan Land Use Designation:	Community Development: Commercial Retail (CD: CR)
Policy / Overlay Area:	Cajalco Wood Policy Area
Surrounding General Plan Land Uses	
North:	Community Development: Commercial Retail (CD: CR)
East:	Rural Community: Low Density Residential (RC: LDR)
South:	Community Development: Commercial Retail (CD: CR) and Rural Community: Low Density Residential (RC: LDR)
West:	Rural Community: Low Density Residential (RC: LDR)
Existing Zoning Classification:	Specific Plan No. 229, as amended by Amendment No. 1 (SP229A1) - Planning Area 1 (Commercial Retail-CR) – Scenic Highway Commercial (C-P-S)
Proposed Zoning Classification:	N/A
Surrounding Zoning Classifications	
North:	Specific Plan No. 229, as amended by Amendment No. 1 (SP229A1) - Planning Area 1 (Commercial Retail-CR) – Scenic Highway Commercial (C-P-S)
East:	Specific Plan No. 229, as amended by Amendment No. 1 (SP229A1) - Planning Area 2 (Rural Community: Low Density Residential-RC: LDR) – One Family Dwellings (R-1)
South:	Residential Agricultural – ½ Acre Minimum (R-A-1/2)
West:	Residential Agricultural – ½ Acre Minimum (R-A-1/2)

Existing Use:	Vacant Land
Surrounding Uses	
North:	Vacant Land
South:	Vacant Land, Agricultural Farming, Poultry
East:	Residential Development (Dwellings)
West:	Agricultural Farming (Pine Grove), Vacant Land

Project Details:

<i>Item</i>	<i>Value</i>	<i>Min./Max. Development Standard</i>
Project Site (Acres):	6.96 Net Acres	N/A
Proposed Building(s) Area (SQFT):	Total Square-Footage for all Buildings for the project is 41,158 sqft.	N/A
Building Height (FT):	Tallest Building (Retail Building #2) is at 30 feet	50 feet
Proposed Minimum Lot Size:	0.98 Gross Acres (Parcel 1)	N/A
Total Proposed Number of Lots:	4	4
Map Schedule:	E	

Parking:

<i>Type of Use</i>	<i>Building Area (in SF)</i>	<i>Parking Ratio</i>	<i>Spaces Required</i>	<i>Spaces Provided</i>
Retail Building #1	8,586 sqft.	5 ½ spaces/1000 sqft. for general retail (shopping center)	43	48
Retail Building #2	19,097 sqft.	5 ½ spaces/1000 sqft. for general retail (shopping center)	96	116
Drive-Thru Restaurant	3,200 sqft.	1/45 sqft. of serving area (+/- 1,920 sqft. of serving area)	43	49
Gas Station Convenience Store	3,800 sqft.	1/200 sqft. for general retail (shopping center-convenience store) gross floor area	19	25
Drive-Thru Car Wash	2,080 sqft.	N/A	0	8
Gas Pump Canopy	4,395 sqft.	N/A	0	0
*Additional parking	N/A	*these are extra-long parking stalls	N/A	3
TOTAL:		*including 7 ADA and 7 electric vehicle parking spaces	201	263

Located Within:

City's Sphere of Influence:	Yes – City of Riverside Sphere of Influence
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Community Service Area ("CSA"):	Yes – CSA Mead Valley 3117 – Lighting
Special Flood Hazard Zone:	No
Agricultural Preserve:	No
Liquefaction Area:	Yes – Low to Moderate
Subsidence Area:	Yes – Susceptible
Fault Zone:	No
Fire Zone:	No
Mount Palomar Observatory Lighting Zone:	Yes – Zone B
WRCMSHCP Criteria Cell:	No
CVMSHCP Conservation Boundary:	No
Stephens Kangaroo Rat ("SKR") Fee Area:	Yes
Airport Influence Area ("AIA"):	Yes – March Air Reserve Base, Zone E

PROJECT LOCATION MAP

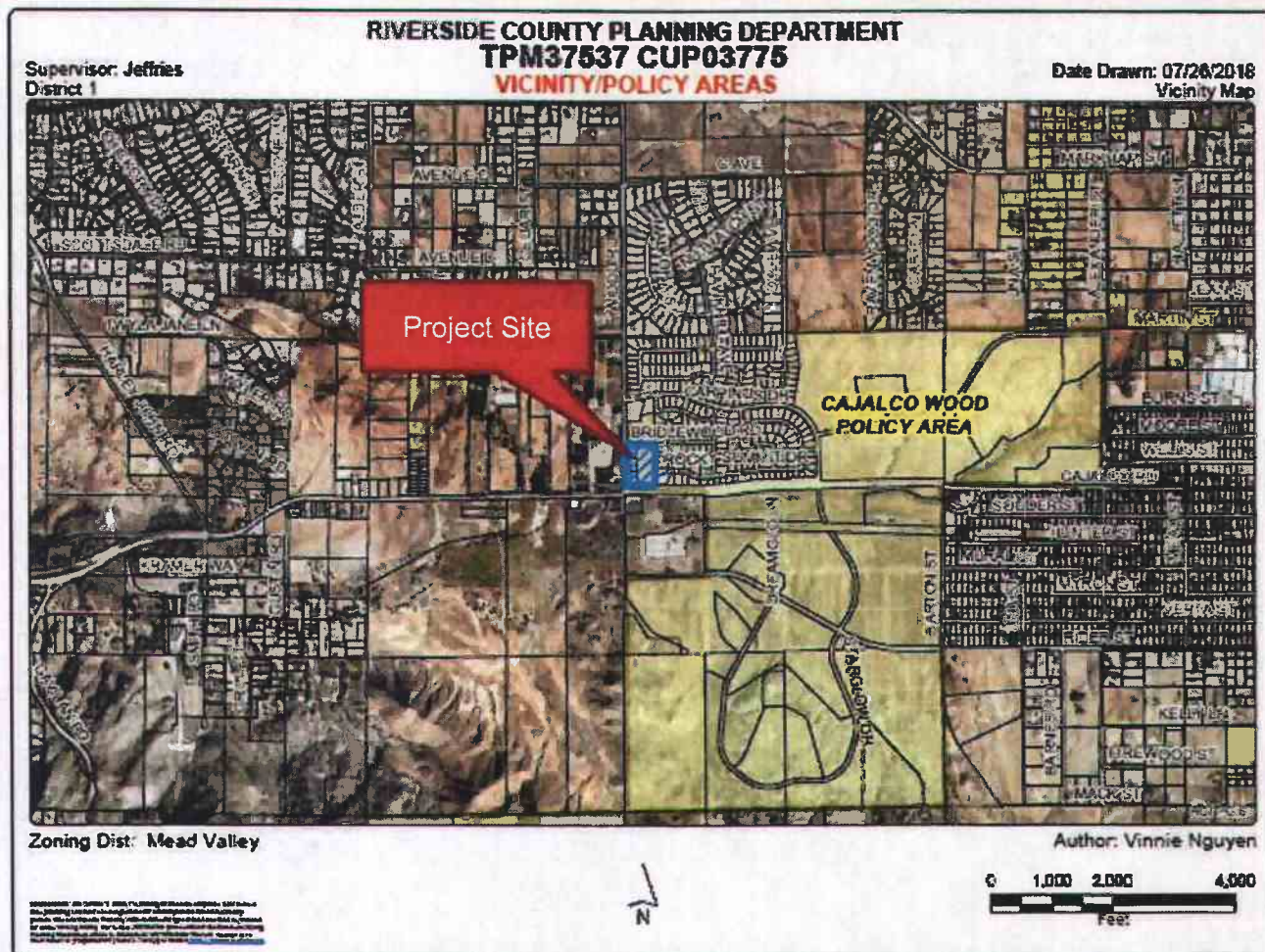


Figure 1: Project Location Map

PROJECT BACKGROUND AND ANALYSIS

Background:

Specific Plan No. 229 (formerly H. B. Ranches) was approved by the Board of Supervisors on September 6, 1988. The Final Resolution was adopted by the Board on October 4, 1988.

An amendment to SP No. 229 was applied for in April 2002 (Specific Plan No. 229 as amended by Amendment No. 1, now called Boulder Springs, "SP229A1"). This amendment was approved by the Board of Supervisors on October 28, 2003. The Final Resolution was adopted by the Board on May 4, 2004. SP229A1 implemented reduced lot sizes for single family residential lots. Residential lots were reduced in size from 20,000 to 12,000 square foot minimums. The overall number of one family dwelling residential lots now consists of 1,321 dwelling lots. SP229A1 also included 212 acres designated as open space (double the original specific plan); development of 13 acres for community use, 15 acres of commercial use, a 14 acre school site, a 7 acre park site, and 16 acres used for roadways and community trails. The proposed Project is within the 15 acres of commercial use known as Planning Area No. 1 (PA1) and will consist of 9.79 gross acres of the 15 acres of PA1.

As provided in the Zoning Ordinance for SP229A1 for PA1 utilizes the Scenic Highway Commercial (C-P-S) zone as its base zone to establish the uses and development standards. Pursuant to Section 9.50 of Ordinance No. 348, the Project uses are permitted with approval of a Conditional Use Permit.

The County received the Project application on July 3, 2017. Through Land Development Committee (LDC) meetings and Development Advisory Committee (DAC) meetings, many aspects of the Project development, layout, features, and design were discussed. During these meetings, as well as the Municipal Advisory Committee (MAC) meetings, the community provided feedback on the Project. In response to feedback provided during these meetings, as well as feedback provided during public outreach by the applicant, a number of project features were removed or revised. These revisions included removal of the self-storage facility and the truck diesel fueling area with canopy. They were replaced with a 19,097 sqft. retail store and a multi-tenant retail building. In addition, in response to feedback from the public, the number of drive-thru restaurants was reduced from two to one.

Modifications to certain design features of the shopping center were also implemented, in order to bring in a rural equestrian theme to the project with design features including ranch and barn style designs and colors. Enhanced landscaping has also been added to provide additional screening and blend the project in to the community. Signage has been redesigned to provide a welcoming enhancement to the area. The overall look of the project has been designed to meld into the rural community and equestrian atmosphere and is consistent with the Cajalco Wood Policy Area of the Lake Mathews/Woodcrest Area Plan.

ENVIRONMENTAL REVIEW AND ENVIRONMENTAL FINDINGS

An Initial Study (IS) serving as Environmental Impact Report (EIR) Addendum No. 1 has been prepared for this project in accordance with the California Environmental Quality Act (CEQA). The IS/ represents the independent judgment of Riverside County. The documents were circulated for public review per CEQA State Guidelines Section 15105.

In accordance with CEQA Guidelines Section 15164 ("Addendum to an EIR or Negative Declaration")

the Initial Study concluded that none of the circumstances identified in CEQA Guidelines Section 15162 calling for preparation of a subsequent EIR had occurred and proceeded with the preparation of an Addendum to FEIR 255. The Addendum to FEIR 255 was found to adequately comply with CEQA and was certified by the County on May 3, 2004.

In December 2018 the California Natural Resources Agency approved Updated CEQA Guidelines. Following the release of the State's updated CEQA Guidelines, the County of Riverside then updated its CEQA Guidelines. This Initial Study/Addendum has been prepared pursuant to the 2019 Riverside County CEQA Guidelines.

The proposed Project is proposing a project which is consistent with the commercial land uses designated by the Specific Plan for Planning Area 1. The proposed Project includes a fueling station and carwash which are permitted by the Specific Plan subject to approval of a Conditional Use Permit. The proposed Project is not proposing a change to the Specific Plan.

Final EIR 255 did not evaluate specific commercial uses such as a fueling station with a carwash in its analysis. This level of detail was not known at that time. Therefore, this Initial Study analyzes the environmental effects of the proposed Project to determine its potential environmental effects and to determine what type of CEQA documentation is required for the proposed Project.

This Initial Study re-evaluated all CEQA topics for conditions described in Section 15162 and concludes that some changes or additions are necessary to Final EIR 255 due to changes in circumstances that have occurred since the certification of EIR 255 and its Addendum (i.e. Greenhouse Gas emissions, Energy, Wildfire, and Assembly Bill 52). None of these conditions described call for the preparation of a subsequent EIR to the Final EIR 255 and that an Addendum to the Final EIR 255 is the appropriate document for the proposed Project in compliance with the California Environmental Quality Act. See the Initial Study provided for this project for further findings and conclusions.

The Project's IS was first noticed early (March 7, 2019) for a 10-day CEQA noticing as required by law for an Addendum to an EIR. Comment letters in response to the circulated IS/EIR Addendum were not received. Requests for additional information and documentation was provided to the public as requested. No further comments or responses were received. The applicant requested a continuance off calendar; the project would be re-noticed and re-advertised.

Due to request from the public, the second noticing of the project was noticed early (February 27, 2020) for a 20-day CEQA noticing. Comments in response to the circulated IS/EIR Addendum were not received as of the time of this Staff Report. Request for comments or documentation would be provided to the public, if requested.

FINDINGS AND CONCLUSIONS

In order for the County to approve the proposed project, the following findings are required to be made:

Tentative Parcel Map Findings

Tentative Parcel Map No. 37537 is a proposal to subdivide 9.79 gross acres into 4 lots. The findings required to approve the Map, pursuant to the provisions of the Riverside County Ordinance No. 460, are as follows:

1. The design of the proposed Project is consistent with the Riverside County General Plan, because the General Plan General Planning Principles VI and VII provide, generally, that the intent of the General Plan is to foster Rural and Economic Development principles to accommodate a rural lifestyle as well as a rapidly growing community economy consistent with housing development and the need for employment growth. General Plan Principle VI.3.4 provides that, "areas in which the rural character is clearly established, its nature is such that intensification is impractical, and current residents/property owners strongly prefer a continued rural lifestyle, should be retained as rural in the General Plan." However, "these principles do not preclude the addition of small-scale villages of a contrasting character in those communities." The proposed tentative parcel map would adjust the existing parcels boundaries under a previous recorded parcel map (PM36124), already designated for commercial use per SP229A1, to accommodate four (4) various commercial business uses. These commercial uses will blend with the existing rural lifestyle and equestrian atmosphere with complementary businesses and in-fill infrastructure.

The Project site has a General Plan Land Use Designation of Community Development: Commercial Retail (CD: CR) under Specific Plan No. 229, Amendment No. 1 in Planning Area 1 (SP229A1-PA1). The land use designation CD: CR allows local and regional serving retail and service uses. SP229A1 has two (2) commercial designated planning area (PA1 and PA5). Both can accommodate community commercial services and some institutional uses. These sites would provide for basic shopping needs for future residents in the surrounding communities. The services proposed within PA1 for this Project are consistent with the existing General Plan Land Use Designation (Commercial Retail) and with what was proposed for commercial uses under SP229A1. The underlining recorded Parcel Map (PM36124) would be reconfigured to per the proposed project's Tentative Parcel Map No. 37537 to align with the layout for each proposed commercial use of this Project.

2. The proposed map is located within the Lake Mathews/Woodcrest Area Plan and the Cajalco Wood Policy Area. These policies and areas plans represent a rural community section of the County of Riverside. This area is in a state of transition from agriculture and mining to residential and commercial land uses; with the understanding of the commercial areas would be allocated to PA1 and PA5 of SP229A1 designated for commercial uses and development. The Policy Area recognizes commercial retail areas, PA1 and PA5, at the northeast corner of Cajalco Road and Wood Road (PA1 of 15 acres) and the northwest corner of Cajalco Road and Alexander Street (PA5 also 15 acres). The proposed Project is within the southern portion of the PA1's 15 acres (approx. 7 acres) of commercial retail designated land. The Project has been designed and developed with an understanding for needs of the immediate surrounding rural community as well as the regional influence that is brought to the area by Cajalco Road's (Expressway) connection to the I-15 and I-215 Freeways.

3. The site of the proposed land division is physically suitable for the type of development and density because the terrain is relatively flat, without steep hills or mountains. Development of the tentative parcel map will not require any unique considerations as the tentative parcel map is just for adjusting existing parcel lines within their same area to accommodate for four (4) commercial business and their interconnecting parking lot(s). These adjustments will assist in providing acreage for the commercial retail uses being proposed.

4. The design of the proposed land division or proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat because, as detailed in the IS/EIR Addendum for the project, impacts to the environment overall or to fish or wildlife or their habitat would be less than significant. No habitat conservations were identified.

5. The design of the proposed land division or the type of improvements are not likely to cause serious public health problems, since as detailed in the Project's Initial Study and Amended Environmental Impact Report, the Project would not have a significant impact on the environment. In particular, impacts regarding health and safety factors, such as Air Quality, GHG, Hazards, and Noise were considered in the Initial Study and Amended Environmental Impact Report.

6. The Project complies with the Schedule 'E' improvement requirements of Ordinance No. 460 as listed below.

a. Streets. Streets are proposed as shown on the Tentative Map, which includes improvements to both Cajalco Road and Wood Road. Additionally an entry driveway will be improved for access use into the complex with landscape barriers to prevent access into the existing residential neighborhood. These improvements will be consistent with the required improvements pursuant to the General Plan and Ordinance No. 461. Sidewalks will be constructed in accordance with improvement standards per Ordinance No. 461.

b. Domestic Water. Domestic water service will be supplied by the Western Municipal Water District (WMWD) via underground pipes consistent with the requirements set forth in California Administrative Code Title 22, Chapter 16.

c. Fire Protection. The project will provide for fire hydrants with adequate spacing at 330 feet and pressure at 1,000 gallons per minute at 20 pounds per square inch and the required water system will be installed prior to any combustible building material being placed on the site.

d. Sewage Disposal. Sewer service will be supplied by the WMWD.

e. Fences/Walls. Six-foot high chain link galvanized wire fence shall be installed along any canal, drain, expressway, or other feature deemed to be hazardous. The Project proposes two (2) bio-retention/infiltration basins which are not deemed hazardous. No chain link fencing is proposed.

f. Electrical and Communication Facilities. The project will be provided electrical, telephone, street lighting, and cable television service with lines placed underground.

7. The design of the proposed land division or the type of improvements will not conflict with easements, acquired by the public at large, for access through, or use of, property within the proposed land division. The previously recorded parcel map (PM36124) has easement notes 1 thru 5 notating drainage easements in favor of the County of Riverside and the County of Riverside Flood Control. Per this new parcel map subdivision, these same drainage easements 1 thru 3 will remain in place as associated with the 25 to 35 foot wide drainage easements. Easement 4 and 5 will be realigned within the new parcels. The department of Flood Control and Transportation have cleared the proposed parcel map, recommending approval. Therefore, the subdivision will provide substantial equivalent easements to ones previously acquired by the public.

8. The lots or parcels as shown on the Tentative Parcel Map are consistent with the minimum sizes allowed by the Project site's Scenic Highway Commercial (C-P-S) Zoning Classification set forth in Ordinance No. 348 in that there is no minimum lot area required.

Conditional Use Permit Findings

1. The Project site has a General Plan Land Use Designation of Community Development-Commercial Retail (CD: CR) (0.20-0.35 FAR).

2. The Project site is located within the Cajalco/Wood Policy Area and within Planning Area No. 1 of Specific Plan No. 229, as amended by Amendment No. 1 (SP229A1).

3. The Project conforms to all the requirements of the General Plan and with all applicable requirements of State law and the ordinances of Riverside County. The land use designation CD: CR allows local and regional serving retail and service uses. SP229A1 has two commercial designated planning area (PA1 and PA5). Both can accommodate community commercial services and some institutional uses. These sites will provide for basic shopping needs for future residents and the surrounding community. The services proposed within PA1 for this Project is consistent with the existing General Plan Land Use Designation (Commercial Retail) and with what was proposed for commercial uses under SP229A1. The Lake Mathews/Woodcrest Area Plan and the Cajalco Wood Policy Area encompass SP229A1. The area plan and policy area recognized within SP229A1 is a total of approximately 30 acres of commercial designated land. The proposed project is within the southern portion of the PA1's 15 acres (approx. 7 acres); with the remaining portion of PA1 not a part of this project. Highway access to the Cajalco Expressway, which can potentially aid commercial and Industrial growth, this area is in a state of transition from agriculture and mining to residential and commercial land uses. The proposed project provides commercial development consistent with the Lake Mathews/Woodcrest Area Plan and the Cajalco Wood Policy Area.

4. As provided in the Zoning Ordinance for SP229A1, PA1 utilizes the Scenic Highway Commercial (C-P-S) zone as its base zone to establish the uses and development standards. The Zoning Classification is consistent with the Riverside County General Plan Land Use Designation of Commercial Retail (CR) because it allows for commercial retail uses. Additionally, Cajalco Road is provides access between the 15 and 215 freeways for commuters.

5. The overall development of the land shall be designed for the protection of the public health, safety and general welfare. The Project's proposed gas station and drive-thru carwash will be located at the furthest distances from existing residential dwellings of SP229A1. No diesel truck fueling pumps are not located on site (see condition - 10 Planning-No Diesel Truck Fueling Pumps/Canopy). Landscaping has been installed to provide further screening of the development from the existing residences and to limit access into the existing residential community. The Project is within Zone B for Ordinance No. 655. All lighting proposed, will be shielded and directed down as to not interfere with Mt. Palomar Observatory and prevent light spillage to roadways and neighbors. Various County department; Fire, Flood, Environmental Health, Transportation, Building & Safety, and Waste Resources have reviewed and provided comments and conditions of approval for the project site for development.

6. As provided in the Zoning Ordinance for SP229 A1, PA1 utilizes the Scenic Highway Commercial (C-P-S) zone as its base zone to establish the uses and development standards for the planning area. Pursuant to Section 9.50 of Ordinance No. 348, the proposed uses associated with the Project area are allowed within the Scenic Highway Commercial (C-P-S) Zoning Classification with an approved Conditional Use Permit.

The proposed use conforms to the logical development of the land and is compatible with the present and future logical development of the surrounding properties because the Project site is surrounded by residential dwellings from SP229A1 to the north and east of the subject property. Vacant land and/or agricultural developed lands surround the project site from the west or south. The Project site is located at a major thoroughfare as provided by the Cajalco Road Expressway. The Project will provided needed commercial and retail services to nearby residents, as well as to those traveling along Cajalco Road, which provides access between the 15 and 215 freeways for commuters.

7. The proposed use shall consider the location and need for dedication and improvement of necessary streets and sidewalks, including the avoidance of traffic congestion; and shall take into account topographical and drainage conditions, including the need for dedication and improvements of necessary structures as a part thereof. The proposed project is on the northeast corner of Cajalco & Wood Roads. The project will give up 153 feet (from Cajalco Road centerline) for road-right-of-way (ROW) access (including the ultimate ROW determined by Transportation Dept.) for improvement when deemed necessary and ready for development by the Transportation Dept. of the County. Additional improvements of sidewalks, curbs, and gutters will be established along the project roadway perimeters. Entry into the Project will come from two (2) access points, both from Wood Road. No access will be created from the roadway access point off of Wood Road. Water quality best management practices (BMPs) of infiltration basins and/or bio-retention BMPs will be installed throughout along the perimeter of the project site.

Development Findings:

As provided in the Zoning Ordinance for SP229 A1, PA1 utilizes the Scenic Highway Commercial (C-P-S) zone as its base zone to establish the uses and development standards for the planning area. Pursuant to Section 9.50 of Ordinance No. 348, the Project is consistent with the development standards of the C-P-S zone as follows:

1. There is no minimum lot area requirement, unless specifically required by zone classification for a particular area. Additionally, there is not a minimum lot size per Specific Plan No. 229A1.
2. There are no yard requirements for buildings which do not exceed 35 feet in height, except as required for specific plans. No buildings for the proposed project exceed 35 feet in height. Additionally, Specific Plan No. 229A1 does not have any yard requirements indicated for Planning Area 1. The closest building to Cajalco Road is the drive-thru carwash at 21 feet and the closest building to Wood Road is the drive-thru restaurant at 40 feet. The closest building to the residential dwellings is Retail Building 1 (multi-tenant building); with a rear yard setback of 37 feet to the property line. Therefore the proposed project meets the development standard for the C-P-S zone.
3. No building or structure shall exceed fifty (50') feet in height, unless a greater height is approved pursuant to Section 18.34 of Ordinance No. 348. In no event, however, shall a building or structure exceed seventy-five (75') feet in height, unless a variance is approved pursuant to Section 18.27 of Ordinance No. 348. As stated above, no buildings for the proposed project exceed 35 feet in height. The tallest building for the proposed project is Retail Building 2; with a height of 30 feet. Therefore no proposed building exceeds 50 feet in height and meets the development standard for the C-P-S zone.
4. The Project site is a shopping center with a total of 6 buildings or structures. The parking required a shopping center of this size is 201 parking stalls. The Project site would provide 263 parking stalls on asphalt concrete including disabled persons parking and electric vehicle parking; therefore exceeding the amount of parking required and would be consistent with the parking requirements as provided in Section 18.12 of Ordinance No. 348.
5. All roof mounted mechanical equipment shall be screened from the ground elevation view to a minimum sight distance of 1,320 feet. The Project does have mechanical equipment on the roof, but the equipment is screened by parapets on each building from view of 1,320 feet; therefore meeting the development standard for the C-P-S zone.

Other Findings:

1. The project site is not located within a Criteria Cell of the Multi-Species Habitat Conservation Plan.
2. The project site is located within the City of Riverside Sphere of Influence. As such, it is required to conform to the County's Memorandum of Understanding ("MOU") with that city. This project conforms to the MOU. This project was provided to the City of Riverside for review and comment. No comments were received either in favor or opposition of the project.
3. The project site is located within the March Air Reserve Base, Zone E, and Airport Influence Area ("AIA") boundary and is therefore subject to the Airport Land Use Commission ("ALUC") review. These project were submitted to ALUC for review on April 18, 2018. On April 26, 2018 the project were deemed consistent with the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan. Lighting for the proposed project shopping center will be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be directed downward facing. No other reviews by ALUC are required.
4. In compliance with Assembly Bill 52 (AB52), notices regarding this project were mailed to eight requesting tribes on August 03, 2017. Consultations were requested by the Soboba Band of Luiseno Indians, the Pechanga-Temecula Band of Luiseno Mission Indians and the Rincon Band of Luiseno Indians. Consultation was not requested by the Ramona Band of Indians, the Quechan Indian Nation, the Pala Band of Mission Indians, the Colorado River Indian Tribes, the Morongo Band of Mission Indians or the Cahuilla Band of Indians.

Consultation with Pechanga was initiated on September 26, 2017 and this project was discussed. The tribe informed Planning that they had been present during the prior grading of the property and would not be requesting monitoring for this project. No Tribal Cultural Resources were identified by the tribe. Draft conditions of approval were sent to the tribe on September 28, 2017 and the final conditions of approval were provided to the tribe on April 04, 2018, concluding consultation.

A letter was received from the Rincon tribe dated August 22, 2017 informing Planning that the tribe had knowledge of one place name associated with the project area. On September 06, 2017 the previous monitoring report was provided to the tribe. This project was discussed in a meeting held on October 04, 2017. No Tribal Cultural Resources were identified by the tribe. The final conditions of approval were provided to the tribe on April 04, 2018, concluding consultation.

On September 06, 2017 the previous monitoring report was provided to the Soboba tribe. A face-to-face meeting was held on November 22, 2017 in which this project was discussed. No tribal cultural resources were identified by the tribe. The final conditions of approval were provided to the tribe on April 04, 2018, concluding consultation.

Hence, based on the information gathered by Planning and the information provided by the consulting tribes, Planning has concluded that this proposed project poses no potential for a significant impact to Tribal Cultural Resources as defined in Section 21073 of the Public Resources Code because there are no Tribal Cultural Resources present.

5. The project site is located within Zone B of the Mount Palomar Observatory Lighting Zone boundary, as identified by Ordinance No. 655 (Mt. Palomar). The project is required to comply with all lighting standards specified within Ordinance No. 655, pursuant to Zone B.

6. The project site is located within the Fee Assessment Area of the Stephen's Kangaroo Rat Habitat Conservation Plan ("SKRHCP"). Per County Ordinance No. 663 and the SKRHCP, all applicants who submit for development permits, including maps, within the boundaries of the Fee Assessment Area who cannot satisfy mitigation requirements through on-site mitigation, as determined through the environmental review process, shall pay a Mitigation Fee of \$500.00 per gross acre of the parcels proposed for development. Payment of the SKRHCP Mitigation Fee for this Project, instead of onsite mitigation, will not jeopardize the implementation of the SKRHCP as all core reserves required for permanent Stephen's Kangaroo Rat habitat have been acquired and no new land or habitat is required to be conserved under the SKRHCP.

Fire Findings:

1. The project site is not located within a Cal Fire State Responsibility Area ("SRA") or Local Responsibility Area ("LRA") and is also not located within a high / moderate hazard severity zone. However, review of the project was done by the Riverside County Fire Department, Fire Marshall's office to make sure that the proposed project meet all requirements of Ordinance No. 787, plus fire suppression elements as addressed within the current California Building Code (CBC). The project has been conditioned by the Riverside County Fire Department.

Conclusion:

1. For the reasons discussed above, as well as the information provided in the Initial Study, the proposed project conforms to all the requirements of the General Plan and with all applicable requirements of State law and the ordinances of Riverside County. Moreover, the proposed project would not be detrimental to the health, safety or general welfare of the community.

PUBLIC HEARING NOTIFICATION AND COMMUNITY OUTREACH

This project was advertised in the Press Enterprise Newspaper. Additionally, public hearing notices were mailed to property owners within 600 feet of the project site. As of the writing of this report, Planning Staff has received written communication/phone calls from many who indicated opposition to the proposed project.

This project was presented before the Mead Valley Municipal Advisory Committee (MAC) on May 2, 2018 and again on November 7, 2018 and with the Woodcrest Municipal Advisory Committee (MAC) on July 12, 2018. The applicant indicated that they reached out to the Residents Association of Greater Lake Mathews (RAGLM) and that RAGLM would not meet with the applicant unless the fueling station and convenience store was removed from the project completely.

APPEAL INFORMATION

The Planning Commission's decision may be appealed to the Board of Supervisors. Such appeals shall be submitted in writing and accompanied by the fee set forth in Ordinance No. 671 to the Clerk of the Board within 10 days of the notice of decision appearing on the Board of Supervisor's agenda.

RIVERSIDE COUNTY PLANNING DEPARTMENT
TPM37537 CUP03775
VICINITY/POLICY AREAS

Supervisor: Jeffries
 District 1

Date Drawn: 07/26/2018
 Vicinity Map



Zoning Dist: Mead Valley

Author: Vinnie Nguyen



DISCLAIMER: On October 7, 2008, the County of Riverside adopted a new General Plan providing new land use designations for unincorporated Riverside County parcels. The new General Plan map contains different type of land use than is provided for under existing zoning. For further information, please contact the Riverside County Planning Department office in Riverside at (951)946-9000 (Western County) or in Palm Desert at (760)946-8277 (Eastern County) or Website <http://planning.riverside.ca.gov>

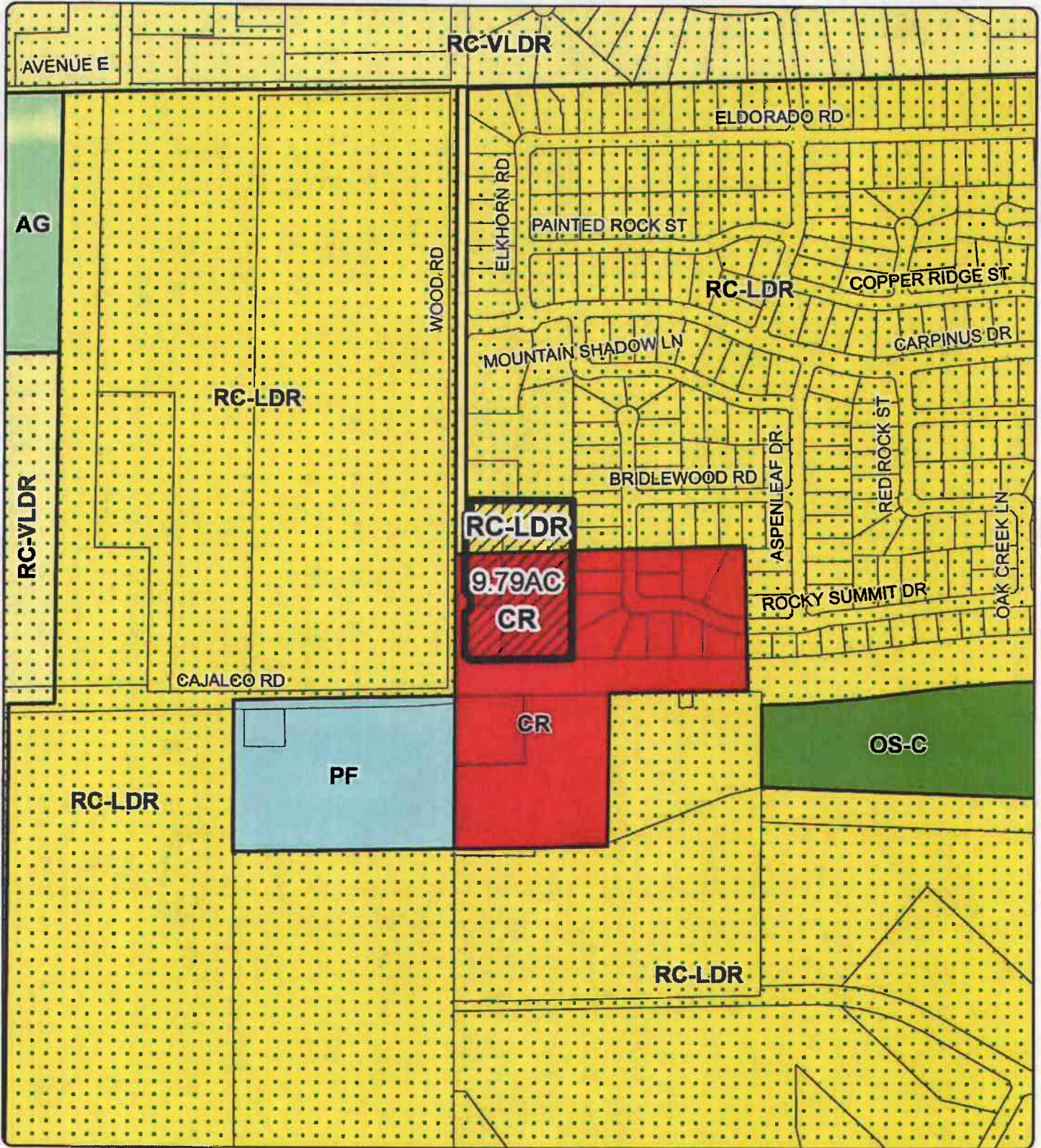
RIVERSIDE COUNTY PLANNING DEPARTMENT

TPM37537 CUP03775

EXISTING GENERAL PLAN

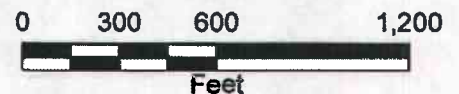
Supervisor: Jeffries
District 1

Date Drawn: 07/26/2018
Exhibit 5



Zoning Dist: Mead Valley

Author: Vinnie Nguyen



DISCLAIMER: On October 7, 2003, the County of Riverside adopted a new General Plan providing new land use designations for unincorporated Riverside County parcels. The new General Plan may contain different type of land use than is provided for under existing zoning. For further information, please contact the Riverside County Planning Department offices in Riverside at (951)955-3200 (Western County) or in Palm Desert at (760)863-8277 (Eastern County) or Website <http://planning.rotnus.org>

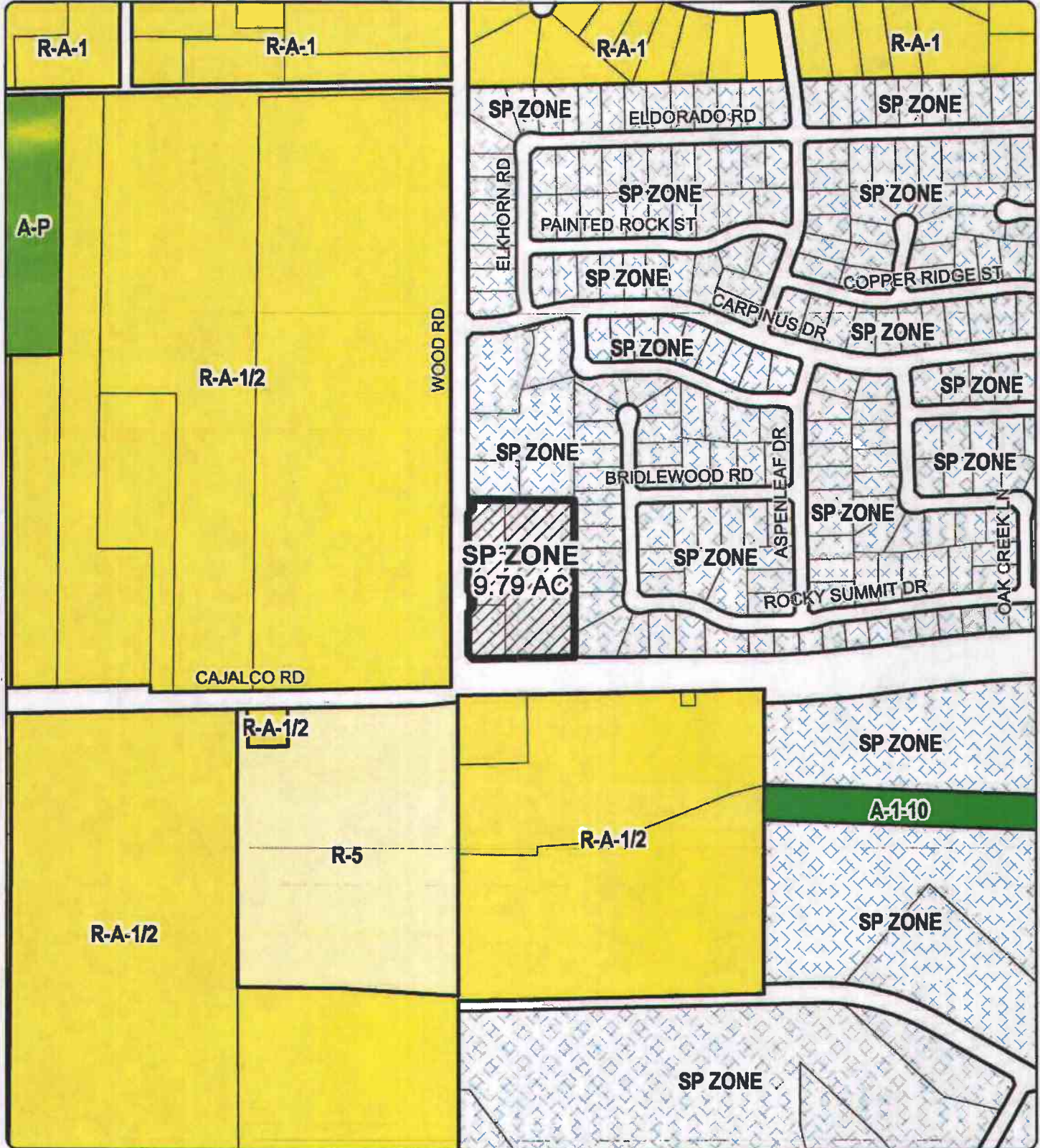
RIVERSIDE COUNTY PLANNING DEPARTMENT

TPM37537 CUP03775

EXISTING ZONING

Supervisor: Jeffries
District 1

Date Drawn: 07/26/2018
Exhibit 2



Zoning Dist: Mead Valley

Author: Vinnie Nguyen



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RIVERSIDE COUNTY PLANNING DEPARTMENT
TPM37537 CUP03775

Supervisor: Jeffries
District 1

Date Drawn: 07/26/2018
Exhibit 1

LAND USE



Zoning Dist: Mead Valley

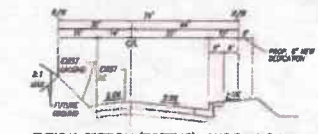
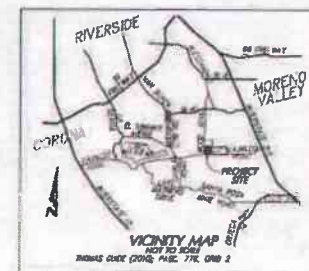
Author: Vinnie Nguyen



DISCLAIMER: On October 7, 2009, the County of Riverside adopted a new General Plan providing new land use designations for unincorporated Riverside County parcels. The new General Plan may contain different type of land use than is provided for under existing zoning. For further information, please contact the Riverside County Planning Department offices in Riverside at (951)955-3200 (Western County) or in Palm Desert at (760)865-8277 (Eastern County) or Website <http://planning.csrma.org>

SCHEDULE 'E' TENTATIVE PARCEL MAP NO. 37537

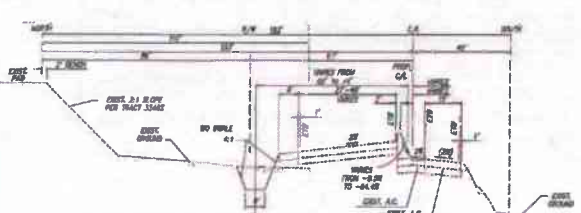
LOTS 1, 2, 3 AND 8 OF PARCEL MAP NO. 38124 AS SHOWN ON A MAP THEREOF FILED IN BOOK 231, PAGES 30 THROUGH 35, INCLUSIVE OF PARCEL MAPS, RECORDS OF RIVERSIDE COUNTY, CALIFORNIA LOCATED IN SECTION 8, TOWNSHIP 4 SOUTH, RANGE 4 WEST, S.B.M.



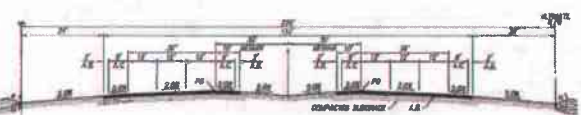
COUNTY OF RIVERSIDE STD. NO. 84
THIS DRAWING IS FOR THE USE OF THE ENGINEER AND THE LOCAL HEALTH OFFICIALS ONLY. CALIBRATION THESE ARE NOT SUBJECT UNDER ANY OF THE PROVISIONS



COUNTY OF RIVERSIDE STD. NO. 84



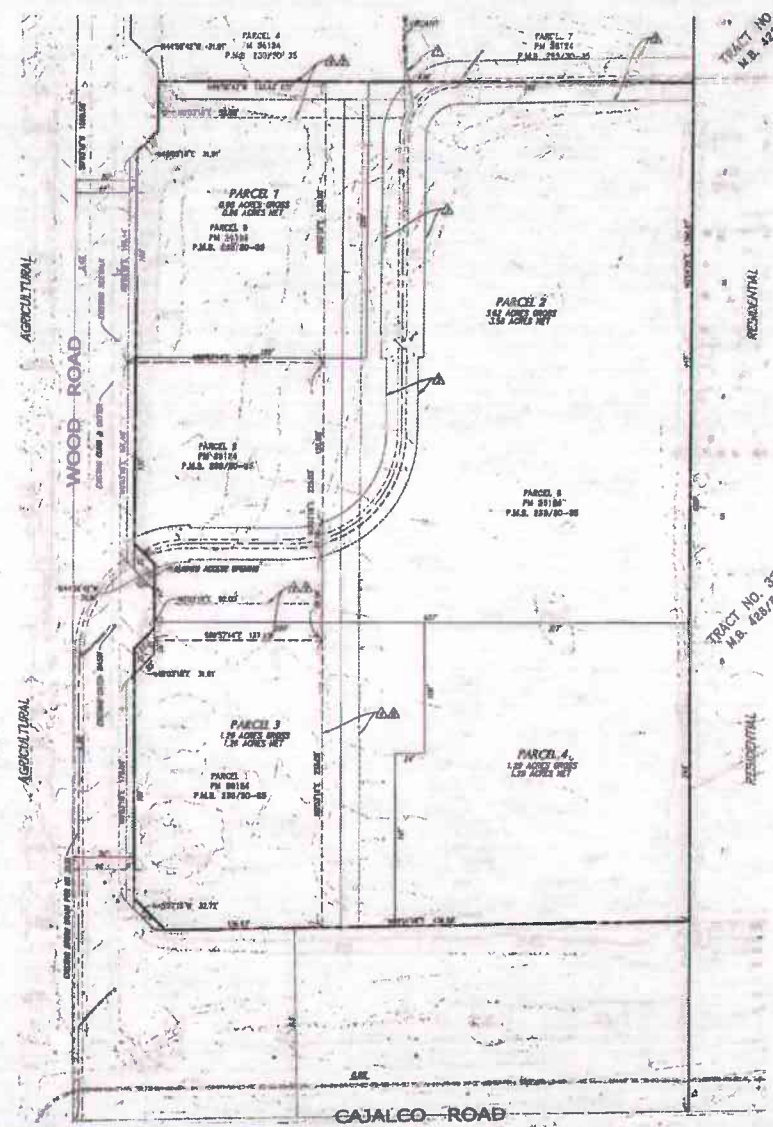
COUNTY OF RIVERSIDE STD. NO. 84



COUNTY OF RIVERSIDE STD. NO. 84

PARCEL SUMMARY:

PARCEL	WIDTH SP	WIDTH ACRES	NET SP	NET ACRES
1	121.00	2.82	115.00	2.79
2	121.00	2.82	115.00	2.79
3	121.00	2.82	115.00	2.79
4	121.00	2.82	115.00	2.79
TOTAL	484.00	11.28	460.00	11.16



TRACT No. 28864
M.S. 422/77-84

TRACT No. 53445
M.S. 422/76-88

ENGINEER
K & A ENGINEERING, INC.
302 E. BROADWAY STREET, SUITE 117
CORONA, CA 92702
PHONE: (949) 575-0988
PROJECT NUMBER: 201-RIVER-P.L.E.

APPLICANT
CAJALCO ENGINEERING
135 BROADWAY
CORONA, CA 92709
REGISTERED ENGINEER
No. (76)-129-ALL EX. 10019

OWNERS
K & A LAND - HOLDING, LLC
100 BROADWAY, SUITE 117
CORONA, CALIFORNIA 92702
PHONE: (949) 575-0988

UTILITIES AND SERVICES
AGRICULTURAL: NONE
ELECTRIC: SOUTHERN CALIFORNIA EDISON
GAS: SOUTHERN CALIFORNIA GAS CO.
WATER: SOUTHERN CALIFORNIA GAS CO.
SEWER: SOUTHERN CALIFORNIA GAS CO.
SCHOOL: THE RIVERSIDE SCHOOL DISTRICT

PROPOSED IMPROVEMENT SCHEDULE
NORMAL 'E'

PROPOSED STORM DRAINS
EXISTING 18" STORM DRAIN SYSTEM IS MAINTAINED BY A.P.C.T.C.A.

GEOLOGIC HAZARD NOTE
PROJECT SITE IS NOT SUBJECT TO UNDERMINING EXISTING BUILDING. GEOTECHNICAL REPORT OF SPECIAL PROJECT ZONE.

COMMUNITY SERVICE AREA
MORO VALLEY C.F.A. NO. 117

WELLS
NONE ARE AND NONE EXISTING WELLS OF ONE OR MORE 200 FEET OF DEPTH.

AERIAL TOPOGRAPHY
AERIAL PHOTOGRAPHY
NOVEMBER 1998
BY: J.B. FINE
200 BROADWAY, CORONA, CA 92702
PH: (949) 575-0988

FLOOD PLAN DESIGNATION
ZONE 1 OR AREAS OUTSIDE THE 100-YEAR FLOOD PLAIN.

PROPERTY ACRES
TOTAL SPA ACRES 7.18 AC.

AGREESOR'S PARCEL NUMBER
381-130-001, 381-130-004, 381-130-005 AND 381-130-006

SECTIONS, TOWNSHIPS AND RANGES
SECTION 4, T1S, R4W, S.B.M.

THOMAS BROUGHTON MAP
THOMAS BUREAU PATENT (381) PAGE 776, GRID 02

EXISTING GENERAL PLAN DESIGNATIONS
AGRICULTURAL (201 JAN. 05)

PRESENT USE
VACANT

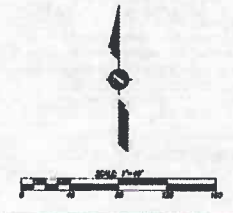
PROPOSED USE
COMMERCIAL RETAIL

EXISTING & PROPOSED ZONING
201-AH - A1, RMF
C - 201 - AGRICULTURE COMMERCIAL

LEGAL DESCRIPTION
LOTS 1, 2 AND 3 OF PARCEL MAP NO. 38124 AS SHOWN ON A MAP THEREOF FILED IN BOOK 231, PAGES 30 THROUGH 35, INCLUSIVE OF PARCEL MAPS, RECORDS OF RIVERSIDE COUNTY, CALIFORNIA LOCATED IN SECTION 8, TOWNSHIP 4 SOUTH, RANGE 4 WEST, S.B.M.

EXISTING EASEMENT NOTE

- EASEMENT OF EGRESS AND OTHER AS SET FORTH FOR DRAINAGE PURPOSES IN 2007-177-003
- EASEMENT OF EGRESS AND OTHER AS SET FORTH IN PARCEL MAP NO. 38124 AS SET FORTH IN 2007-177-003
- EASEMENT OF EGRESS AND OTHER AS SET FORTH IN PARCEL MAP NO. 38124 AS SET FORTH IN 2007-177-003
- EASEMENT OF EGRESS AND OTHER AS SET FORTH IN PARCEL MAP NO. 38124 AS SET FORTH IN 2007-177-003
- EASEMENT OF EGRESS AND OTHER AS SET FORTH IN PARCEL MAP NO. 38124 AS SET FORTH IN 2007-177-003
- EASEMENT OF EGRESS AND OTHER AS SET FORTH IN PARCEL MAP NO. 38124 AS SET FORTH IN 2007-177-003



CASE: TPM37537
EXHIBIT: Schedule E Parcel Map
PLANNER: T. Wheeler
DATE: May 6, 2020

COUNTY OF RIVERSIDE
TENTATIVE PARCEL MAP
NO. 37537
SCHEDULE 'E'

FILE NO. _____
SHEET _____
OF 2 SHEET(S)

K & A
ENGINEERING, INC.
LAND PLANNING
SAVING

307 E. BROADWAY STREET
SUITE 117
CORONA, CALIFORNIA 92702
TEL: (949) 575-0988
FAX (949) 575-4398

SITE DESCRIPTION

PROJECT DESCRIPTION:
NEW CONSTRUCTION OF A JAWO COMMERCIAL STORE SELLING ORNAMENTALS, BRICK RETAIL AND SERVICES, INCLUDING REST AND USE FOR 877-PREMIER COMPANION FROM REMOVED 2,800 S.F. GARAGE. VEHICLES DRIVE BY SELF-SERVICE CHECKOUT STRIPS, REMOVED 3,300 SQ. FT. BRICK STORE RESTROOM BY DRIVE THRU DRIVEWAY 6,000 SQ. FT. RETAIL, 1/4 AND 1/2007 SQ. FT. PARKING RETAIL, 21

LEGAL DESCRIPTION: REFER TO SHEET 1 of 1 TENTATIVE PARCEL MAP NO. 57387 FOR LOT INFORMATION.
ADDRESSOR'S PARCEL NUMBER (APN): 021-190-004, 024 028 & 020

UTILITY PURVEYORS

PHONE COMPANY VERIZON TEL: (909) 483-1000	WATER & SEWER MICHIGAN METROPOLITAN WATER DISTRICT TEL: (909) 371-7000	WASTE MANAGEMENT CHICO TRASH SERVICE (909) 943-7891
CABLE COMPANY THE BEAMER CABLE TEL: (909) 479-3127	GAZ COMPANY SUNRISE CALIFORNIA GAS CO. TEL: (909) 437-2000	SCHOOL DISTRICT THE UNIFIED SCHOOL DISTRICT 303 WEST WILSON ST. PERRIS, CA 92571 (909) 940-0000
POWER COMPANY SOUTHWEST CALIFORNIA Edison TEL: (909) 550-8000		

BUILDING DEPARTMENT NOTES

- ITEMS TO BE SUBMITTED UNDER SEPARATE PERMIT:
- A) LIGHT SHADING PLANS
 - B) HORIZONTAL SIGN PACKAGE
 - C) SIGNAGE SIGN PACKAGE
 - D) SIGN ENLIGHTENING PLANS
 - E) SIGNAGE SIGN PACKAGE

SYMBOLS LEGEND

SHEET DESIGNATION
SHEET NUMBER
SECTION I.D. NUMBER
SHEET WHERE SECTION IS LOCATED
SECTION I.D. NUMBER
SHEET WHERE ELEVATION IS LOCATED
ELEVATION HEIGHT

REVISIONS
REVISION NUMBER
REVISION AREA CIRCLED

CEILING HEIGHT
CEILING HEIGHT ABOVE FINISHED FLOOR

KEYED NOTES
KEYED NOTE DESIGNATION OF APPLICABLE SHEET

FINISH MATERIAL
FINISH DESIGNATION
COMMENTS, IF APPLICABLE

DETAIL (ENLARGEMENT)
AREA TO BE ENLARGED
SECTION I.D. NUMBER
SHEET WHERE DETAIL IS LOCATED
SECTION I.D. NUMBER

DETAIL
SHEET WHERE DETAIL IS LOCATED

ELEVATION HEIGHT
ELEVATION HEIGHT
REFERENCE POINT
USE, ELEVATION & ELEVATION

EQUIPMENT NUMBER
EQUIPMENT NUMBER

DOOR NUMBER
DOOR NUMBER DESIGNATION

WINDOW DESIGNATION
WINDOW DESIGNATION

GRAPHICS DESIGNATION
GRAPHICS DESIGNATION

VICINITY MAP



CODES

APPLICABLE CODES:
2004 CALIFORNIA BUILDING CODE (CBC), PART 2 BASED ON 2003 EDITION OF IBC (03)
2004 CALIFORNIA ELECTRICAL CODE, PART 3 BASED ON 2004 EDITION OF NFPA (04)
2004 CALIFORNIA MECHANICAL CODE, PART 4 BASED ON 2004 EDITION OF UNIFORM (04)
2004 CALIFORNIA PLUMBING CODE (CPC) BASED ON 2003 EDITION OF UNIFORM (03)
2004 CALIFORNIA FIRE CODE, PART 9 BASED ON 2003 IBC
2004 CALIFORNIA FIRE CODE (CFC), PART 9 BASED ON 2003 EDITION OF IBC (03)
2006 CALIFORNIA GREEN BUILDING STRATEGY CODE, PART 11 BASED ON 2005 IBC (05)
ACCURACY CODE - AMERICAN DISABILITIES ACT CALIFORNIA RULE 24

PROJECT CONSULTANTS

OWNER-APPLICANT CAJALCO SQUARE, LP P.O. BOX 1000 CORONA, CA 92709-1000 TEL: (951) 260-3633 FAX: (951) 260-3633 CONTACT: JAMES O'NEILL E-MAIL: james@cajalco.com	CIVIL ENGINEER K&A ENGINEERING, INC. 207 E. SHAWAN ST., SUITE 117 CORONA, CA 92709 TEL: (951) 270-7000 CONTACT: DON SCHMIDT E-MAIL: don@kandae.com	LANDSCAPE ARCHITECT R&J LANDSCAPE ARCHITECTS 87 WILLOWDALE LAGUNA BEACH, CA 92653 TEL: (949) 881-2000 CONTACT: BOB CHAMBERS E-MAIL: jrb@rlaarchitect.com
TRAFFIC ENGINEER MADHAV ASSOCIATES, INC. 1111 10TH & COUNTRY ROAD, SUITE 24, CORONA, CA 92709 TEL: (951) 924-0000 CONTACT: CHIL BALLARD E-MAIL: cballard@madhav.com	GEOTECHNICAL ENGINEER GEMPER, INC. 105 E. FERNBERG AVE., SUITE 100 CORONA, CA 92709 TEL: (951) 770-7100 CONTACT: EDWARD H. LAUGHT E-MAIL: edward@gemper.com	

SITE DATA

SITE LOCATION:
CAJALCO & WOOD
NEC CAJALCO ROAD / WOOD ROAD
PERRIS, CA

PROJECT INFORMATION

TITLE
ADDRESS: PARCEL 024 028 & 020
ZONING: - COMMERCIAL SP - CE 6000
SP200-PH (SPECIAL DISTRICT MAP, C-1-P-1)

LOT AREA (TOTAL GROSS) 2,874.76 (1/4 ACRES)
NET AREA 4,800.00 SQ. FT. (1/4 ACRES)
LOT DEVELOPMENT PERCENTAGE 16.7%
LOT COVERED AREA PER PERCENT

PARCEL 1 64,107 SQ. FT. (0.15 AC) ± 800 SQ. FT. (0.02 ACRES) = 43,800 SQ. FT. (0.10 ACRES)
PARCEL 2 1,107,000 SQ. FT. (25.1 AC) ± 1,000 SQ. FT. (0.02 ACRES) = 1,106,000 SQ. FT. (25.1 AC)
PARCEL 3 2,874.76 SQ. FT. (0.07 ACRES)
PARCEL 4 (GROSS AND NET) 2,874.76 SQ. FT. (0.07 ACRES)

LOT NET AREA PER PARCEL (EXCLUDING GARAGE) & RESERVATIONS

PARCEL 1 64,107 SQ. FT. (0.15 AC) ± 800 SQ. FT. (0.02 ACRES)
PARCEL 2 1,107,000 SQ. FT. (25.1 AC) ± 1,000 SQ. FT. (0.02 ACRES)
PARCEL 3 2,874.76 SQ. FT. (0.07 ACRES)
PARCEL 4 (GROSS AND NET) 2,874.76 SQ. FT. (0.07 ACRES)

B. BUILDING AREA

A. COMMERCIAL STORE 2,800 SQ. FT.
B. GARAGE 2,800 SQ. FT.
C. BACK SEWER REPAIRMENT BY DRIVE THRU 2,800 SQ. FT.
D. RETAIL 2,800 SQ. FT.
E. 6-100 GARAGE COOPY 2,800 SQ. FT.

LANDSCAPE AREA 4,800 SQ. FT.
PERCENT OF LOT COVERED 16.7%

C. SUBDIVISION

A. COMMERCIAL STORE 1-1 = 1/2
B. GARAGE 1-1 = 1/2
C. BACK SEWER REPAIRMENT BY DRIVE THRU 1-1 = 1/2
D. RETAIL 1-1 = 1/2
E. 6-100 GARAGE COOPY 1-1 = 1/2

D. BUILDING HEIGHT

A. COMMERCIAL STORE 20'-0"
B. GARAGE 10'-0"
C. BACK SEWER REPAIRMENT BY DRIVE THRU 10'-0"
D. RETAIL 10'-0"
E. 6-100 GARAGE COOPY 20'-0"

E. PARKING

A. COMMERCIAL STORE - 2,800 SQ. FT. (0.06 AC)
1. REQUIRED SIGNAGE SPACES (SIGN) - 10 STALLS
2. REQUIRED ACCESSIBLE SPACES (STAIR) - 1 STALL

B. GARAGE
1. SIGN SPACE REQUIREMENT BY DRIVE THRU - 2,800 SQ. FT. (0.06 AC)
2. SHALL PLUS 10% SIGNAGE SPACES
3. REQUIRED ACCESSIBLE SPACES (STAIR) - 2 STALLS

C. RETAIL - 2,800 SQ. FT. (0.06 AC)
1. SIGNAGE SPACES (SIGN) - 4 STALLS
2. REQUIRED ACCESSIBLE SPACES (STAIR) - 4 STALLS

D. RETAIL - 2,800 SQ. FT. (0.06 AC)
1. SIGNAGE SPACES (SIGN) - 4 STALLS
2. REQUIRED ACCESSIBLE SPACES (STAIR) - 4 STALLS

E. 6-100 GARAGE COOPY
1. SIGNAGE SPACES (SIGN) - 0 STALLS
2. REQUIRED ACCESSIBLE SPACES (STAIR) - 0 STALLS

TOTAL REQUIRED - 20 STALLS
TOTAL PROVIDED - 20 STALLS

F. LANDSCAPING
LANDSCAPING PROVIDED (1/2% OF PROJECT AREA) - 14,363 SQ. FT.

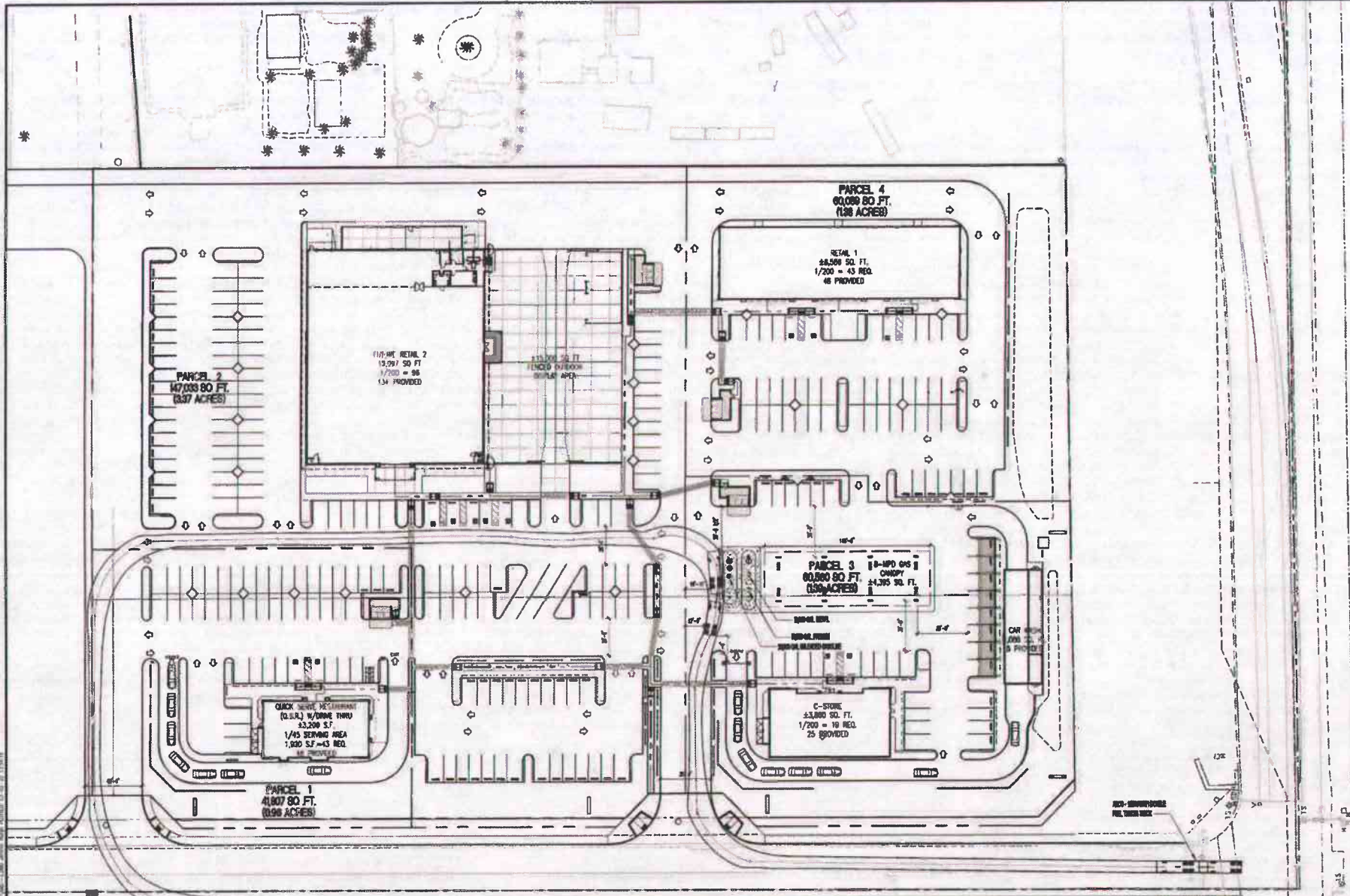
**CAJALCO SQUARE, LP
NEC CAJALCO ROAD & WOOD ROAD, PERRIS, CA 92570**

GENERAL PROJECT NOTES

- THE WORK SHALL INCLUDE THE FURNISHING OF ALL LABOR, MATERIALS, EQUIPMENT, TRANSPORTATION AND SERVICES NECESSARY TO DO A COMPLETE AND THOROUGH JOB. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS.
- APPROVED PLANS SHALL BE KEPT IN A PLAIN BOX AND SHALL NOT BE USED BY WORKMEN. ALL CONSTRUCTION SETS SHALL REFLECT SAME INFORMATION. CONTRACTOR SHALL MAINTAIN ONE COMPLETE SET OF PLANS ON THE PREMISES IN GOOD CONDITION AT ALL TIMES. WORK SHALL INCLUDE, BUT NOT BE LIMITED TO, THE FOLLOWING: ALL CONSTRUCTION SETS SHALL BE KEPT IN CONTACT WITH THE ARCHITECTURAL DRAWINGS SHALL BE CORRECTED BY THE CONTRACTOR AT HIS/HER OWN EXPENSE, AND AT NO EXPENSE TO THE OWNER OR ARCHITECT.
- IF IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES AND TO PROTECT THEM FROM DAMAGE. CONTRACTOR SHALL BEAR THE EXPENSE OF REPAIR OR REPLACEMENT OF UTILITIES ON OTHER PROPERTY DAMAGED BY OPERATIONS IN CONNECTION WITH THE EXECUTION OF THE WORK.
- GENERAL CONTRACTOR TO NOTIFY TO THESE REQUIREMENTS AS WELL AS SPECIFICATIONS FOR OBTAINMENT OF ALL OTHER NECESSARY PERMITS. ALL PERMITS NOT LISTED HEREIN ARE TO BE OBTAINED BY GENERAL CONTRACTOR, UNLESS NOTED OTHERWISE. ALL PERMITS ARE TO BE OBTAINED BY GENERAL CONTRACTOR.
- FOR CONSTRUCTION DETAILS AND SYMBOLS, USE THE MANUFACTURER'S APPROVED SHOP DRAWINGS/DETAIL SHEETS IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
- THE CONTRACTOR SHALL VERIFY LOCATIONS OF ALL FLOOR SERVICE EQUIPMENT AND COORDINATE LOCATION OF FLOOR SINKS, FLOOR DRAINS, FLOOR/CEILING REVISIONS AND FINISH GRADE, ELECTRICAL AND PLUMBING UTILITIES, AND ALL OTHER WORK UNDER THE SCOPE OF RESPONSIBILITY RELATED TO THIS CONTRACT.
- CONTRACTOR ACKNOWLEDGES THAT HE HAS INFORMED HIMSELF FULLY REGARDING REQUIREMENTS OF DRAWINGS, SPECIFICATIONS AND REGULATIONS PERTAINING TO THIS PROJECT. CONTRACTOR AGREES TO HOLD HIMSELF RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND TO BE RESPONSIBLE FOR THE OBTAINMENT OF WORK FOR CLARIFICATION.
- ALL DIMENSIONS UNLESS OTHERWISE INDICATED ON FACE-OF-CONCRETE UNLESS NOTED OTHERWISE.
- CONTRACTOR TO PROVIDE ALL CONSTRUCTION DIMENSIONS INDICATED BY DIMENSION LINES AND AS NOTED IN SPECIAL NOTES AND PERMANENT PROTECTION SHALL BE PROVIDED AND MAINTAINED BY THE GENERAL CONTRACTOR.
- NO UTILITIES EQUIP SHALL BE EXPOSED IN WHICH A PERSON IS TO BE EXPOSED SHALL BE ALLOWED WITHOUT THE CONTRACTOR'S WRITTEN PERMISSION FROM THE ARCHITECT, ENGINEER, AND OWNER OF ALL PROJECTS.
- LABELS AND CLAIMS SHALL BE MADE FROM WORK PERFORMED BY OR MATERIALS SUPPLIED BY THE CONTRACTOR AND SHALL BE MADE IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
- PROTECTION OF ADJACENT BUILDINGS AND PROPERTY: CONTRACTOR SHALL OBTAIN NECESSARY PERMITS AND TO PROTECT ALL ADJACENT BUILDINGS AND PROPERTY FROM DAMAGE TO THAT OF THE WORK OF THIS CONTRACT. CONTRACTOR SHALL BE RESPONSIBLE FOR AND PAY FOR ALL DAMAGES TO SUCH ADJACENT BUILDINGS AND PROPERTY IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
- VENUE: CONTRACTOR SHALL OBTAIN APPROVAL FROM THE BUILDING DEPT. PRIOR TO PERFORMING WORK. ALL TEST REPORTS SHALL BE SUBMITTED TO THE BUILDING DEPT. PRIOR TO FINAL INSPECTION.
- THE ENGINEER SHALL NOT HAVE CONTROL OR CHARGE OF, AND SHALL NOT BE RESPONSIBLE FOR, THE MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES OF CONSTRUCTION, FABRICATION, PERFORMANCE, SUPPORT, PROTECTION OR MAINTENANCE OF THE SUBJECT PREWORKS AND PROGRAMS IN CONNECTION WITH THE WORK. FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS, SUPPLIERS, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF ANY OF THEM TO COMPLY WITH THE MEANS OR TO MEET THEIR OBLIGATIONS TO THE BUILDING DEPARTMENT OR OTHERWISE, THE CONTRACTOR ASSUMES FULL RESPONSIBILITY.
- CONTRACTOR SHALL PROVIDE TEMPORARY WATER, POWER AND TOILET FACILITIES AS REQUIRED.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR RECEIVING, UNLOADING, UN-CRATING, INSTALLATION AND PROOF OF ALL FLOOR SERVICE EQUIPMENT AND OTHER UNDER FINISHED FLOOR.
- GENERAL CONTRACTOR IS OBLIGATED TO LABEL ALL ELECTRICAL PANELS, VALVES, AND ROOF TOP EQUIPMENT. PLASTIC PROTECTIVE DRAWINGS SHALL BE KEPT ON THE JOB.
- ALL PARTS OF THE WORK SHALL conform to the LATEST EDITION OF THE BUILDING CODE WHICH IS CURRENTLY IN FORCE, OR THE PLANS AND SPECIFICATIONS, WHICHEVER IS THE MOST STRINGENT.
- CONTRACTORS SHALL SUPPLY, LOCATE AND HOLD INTO THE WORK ALL GUILTS, ANCHORS, ANGLES, PLATES, COUPLERS, BRACKETS, JOBS BRACKETING AND VICES AS MAY BE REQUIRED BY ATTACH AND ACCORDANCE WITH OTHER WORK.
- ALL DETAILS AND SECTIONS SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL BE CORRECTED TO APPLY TO THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING SECTION PROCEDURE AND SEQUENCE TO INSURE THE SAFETY OF THE BUILDING AND ITS COMPONENT PARTS. SIGNIFICANT SECTION CHANGES SHALL BE MADE IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
- SECTION CHANGES SHALL BE PRESENTED IN THIS SET OF CONSTRUCTION DOCUMENTS OR SPECIFICATIONS.
- WRITTEN DIMENSIONS SHALL PRECEDE OVER SCALE DIMENSIONS. IF ANY DIMENSIONS ARE THE ARCHITECT IS TO BE REFERRED TO FOR THE CORRECTMENT OF WORK FOR CLARIFICATION.
- ALL DIMENSIONS UNLESS OTHERWISE INDICATED ON FACE-OF-CONCRETE UNLESS NOTED OTHERWISE.
- CONTRACTOR TO PROVIDE ALL CONSTRUCTION DIMENSIONS INDICATED BY DIMENSION LINES AND AS NOTED IN SPECIAL NOTES AND PERMANENT PROTECTION SHALL BE PROVIDED AND MAINTAINED BY THE GENERAL CONTRACTOR.
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- VENUE: CONTRACTOR SHALL OBTAIN APPROVAL FROM THE BUILDING DEPT. PRIOR TO PERFORMING WORK. ALL TEST REPORTS SHALL BE SUBMITTED TO THE BUILDING DEPT. PRIOR TO FINAL INSPECTION.

DWG. NO.	ARCHITECTURAL/SITE DRAWINGS	REV./DATE
T1-1	TITLE SHEET	06/20/10
A001-1	MASTER SITE PLAN	06/20/10
A001-2	COMMERCIAL STORE TRUCK PUNCH PLAN	06/21/10
A001-3	LIGHTING PLAN EXHIBIT	06/21/10
A001-4	LIGHTING PLAN CUTS/DETAILS	06/21/10
1 OF 1	LIGHTING PROPOSAL (PHOTOMETRIC PLAN)	06/21/10
A002-1	TRASH BRICK CHALK LINE PLAN, DETAILS & ELEVATIONS	06/21/10
A002-2	SCREEN WALL AND CROSS SECTION ALONG WOOD RD.	06/21/10
A002-3	LIGHT POLE ELEVATION AND DETAILS	06/21/10
CIVIC DRAWINGS		
1 OF 3	PRELIMINARY GRADING PLAN	06/20/10
2 OF 3	UTILITY PLAN	06/20/10
3 OF 3	DRAINAGE PLAN	06/20/10
1 OF 1	TENTATIVE PARCEL MAP	06/20/10
LANDSCAPE DRAWINGS		
L1-1	PRELIMINARY LANDSCAPE PLAN	06/21/10
L1-2	PARKING LOT SHADING PLAN	06/21/10
FINISHED FLOOR PLAN		
F1-1	COMMERCIAL STORE FLOOR PLAN	06/21/10
F1-2	COMMERCIAL STORE ROOF PLAN	06/21/10
F1-3	GARAGE FLOOR PLAN	06/21/10
F1-4	GARAGE ROOF PLAN	06/21/10
F1-5	C.S.R. WITH DRIVE-THRU ROOF PLAN	06/21/10
F1-6	C.S.R. WITH DRIVE-THRU ROOF PLAN	06/21/10
F1-7	RETAIL #1 FLOOR PLAN	06/21/10
F1-8	RETAIL #1 ROOF PLAN	06/21/10
F1-9	FUTURE RETAIL #2 FLOOR PLAN	06/21/10
F1-10	FUTURE RETAIL #2 ROOF PLAN	06/21/10
A2-1	COMMERCIAL STORE EXTERIOR ELEVATIONS	06/21/10
A2-2	COMMERCIAL STORE EXTERIOR ELEVATIONS	06/21/10
A2-3	GARAGE EXTERIOR ELEVATIONS	06/21/10
A2-4	GARAGE EXTERIOR ELEVATIONS	06/21/10
A2-5	C.S.R. WITH DRIVE-THRU EXTERIOR ELEVATIONS	06/21/10
A2-6	C.S.R. WITH DRIVE-THRU EXTERIOR ELEVATIONS	06/21/10
A2-7	RETAIL #1 EXTERIOR ELEVATIONS	06/21/10
A2-8	RETAIL #1 EXTERIOR ELEVATIONS	06/21/10
A2-9	FUTURE RETAIL #2 EXTERIOR ELEVATIONS	06/21/10
A2-10	FUTURE RETAIL #2 EXTERIOR ELEVATIONS	06/21/10
CANOPY DRAWINGS		
CA1-1	6' BPO CANOPY SLAB PLAN	06/21/10
CA1-2	6' BPO CANOPY INSPECTOR CEILING PLAN	06/21/10
CA2-1	6' BPO CANOPY EXTERIOR ELEVATIONS	06/21/10
SEWERAGE DRAWINGS		
SB01-1	MASTER SITE SEWERAGE PLAN	06/21/10
SB01-2	SEWERAGE DETAILS	06/21/10
SB01-3	PYLON SIGN	06/21/10
SB01-4	COMMERCIAL STORE SEWERAGE	06/21/10
SB01-5	GARAGE SEWERAGE	06/21/10
SB01-6	C.S.R. WITH DRIVE-THRU SEWERAGE	06/21/10
SB01-7	C.S.R. WITH DRIVE-THRU SEWERAGE	06/21/10
SB01-8	RETAIL #1 SEWERAGE	06/21/10
SB01-9	RETAIL #1 SEWERAGE	06/21/10
SB01-10	FUTURE RETAIL #2 SEWERAGE	06/21/10
SB01-11	6' BPO CANOPY SEWERAGE	06/21/10
MATERIAL SCHEDULE		
1ST PRE-APP SUBMITTAL	06/20/10	
1ST PRE-APP COMMENTS	06/20/10	
REVISIONS		
1ST CLIP SUBMITTAL	07/02/10	
2ND CLIP SUBMITTAL	08/07/10	
3RD CLIP SUBMITTAL	08/16/10	
4TH CLIP SUBMITTAL	09/21/10	
APPROVALS		
PLAN CHECK APPROVAL	06/20/10	
BUILDING PERMIT ISSUE	06/20/10	
602 NET PHOTOGRAPH ISSUE	06/20/10	
CONSTRUCTION SET ISSUE	06/20/10	

CASE: CUP03775
EXHIBIT A: Title Sheet/Site Plan/Detail Sheets
PLANNER: T. Wheeler
DATE: May 6, 2020



139 PACIFIC ROAD
CORONA, CA 92705
P.O. BOX 1528
CORONA, CA 92706-1528
DIRECT (951) 265-2822
FAX (951) 265-2822



**CONVENIENCE STORE
TRUCK PATH PLAN**

CALILCO SQUARE LP
180 CALILCO ROAD + WOOD ROAD
COUNTY OF INVERGIDE, CA

REVISION	
NO.	DESCRIPTION
1	
2	
3	
4	
5	
6	
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10	

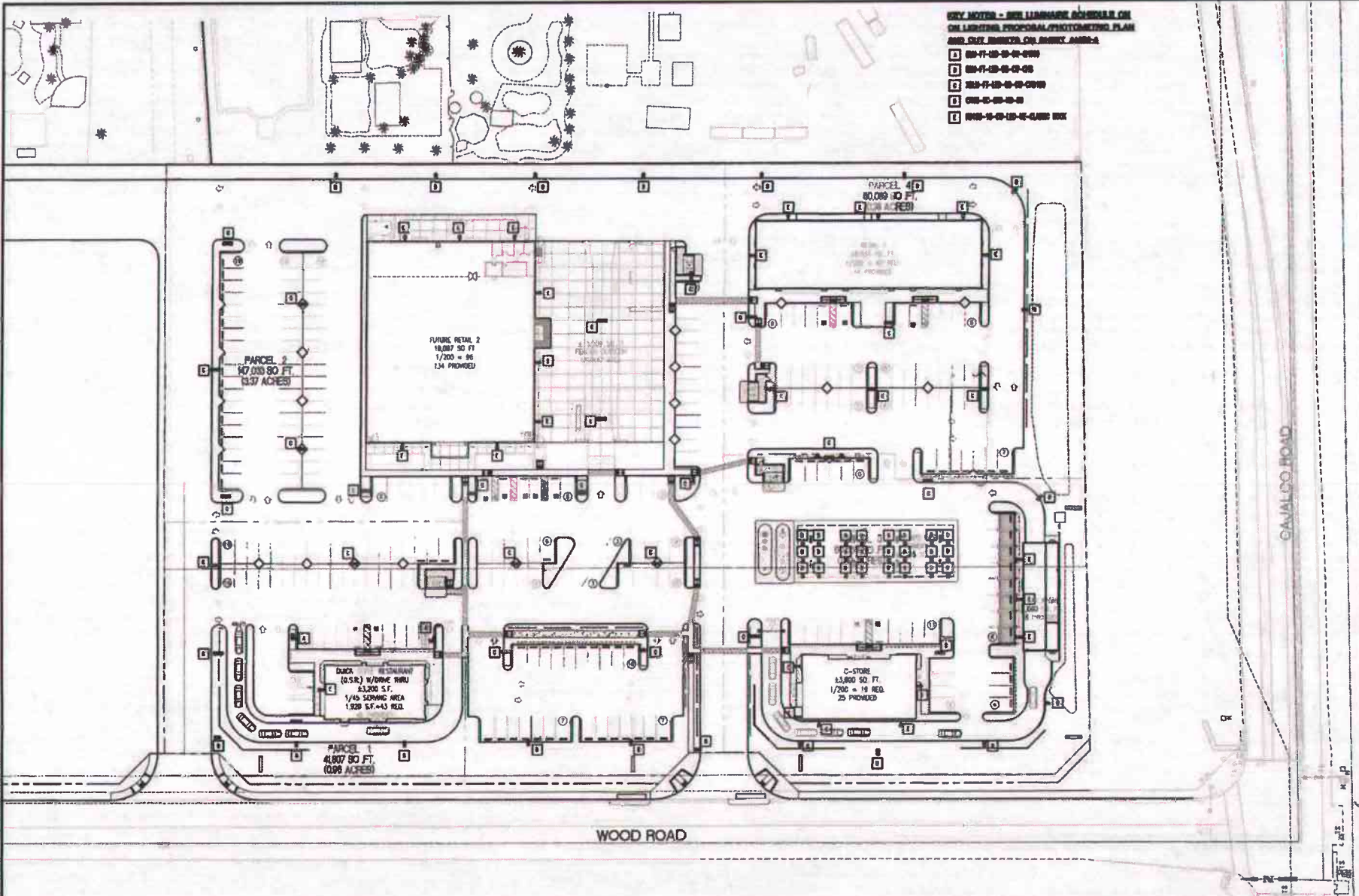
DATE	JOB NO
10-01-18	000,000
SCALE	DRAWN BY
AS SHOWN	JUN

CUP
DRAWING NO.

AMS1-2

TRUCK PATH PLAN

GRAPHIC SCALE: 1"=30'-0"



CITY NOTES - SEE LANGUAGE CONTAINED ON
 OR LIGHTING PROFESSIONAL'S CONTRACTING PLAN
 AND CITY PERMITS OR PERMIT AMENDMENTS
 A 00-77-10-00-00-0000
 B 00-77-10-00-00-0000
 C 00-77-10-00-00-0000
 D 00-77-10-00-00-0000
 E 00-77-10-00-00-0000

139 RADIO ROAD
 CORONA, CA 92679
 P.O. BOX 1958
 CORONA, CA 92676-1958
 DIRECT (951) 240-2632
 DIRECT FAX (951) 240-2632



LIGHTING PLAN EXHIBIT
 CALVALCO SQUARE LP
 NEC CALVALCO ROAD & WOOD ROAD
 COUNTY OF RIVERSIDE, CA

DATE 10-06-18
 SCALE AS SHOWN
 JOB NO. 000,000
 DRAWN BY JMB

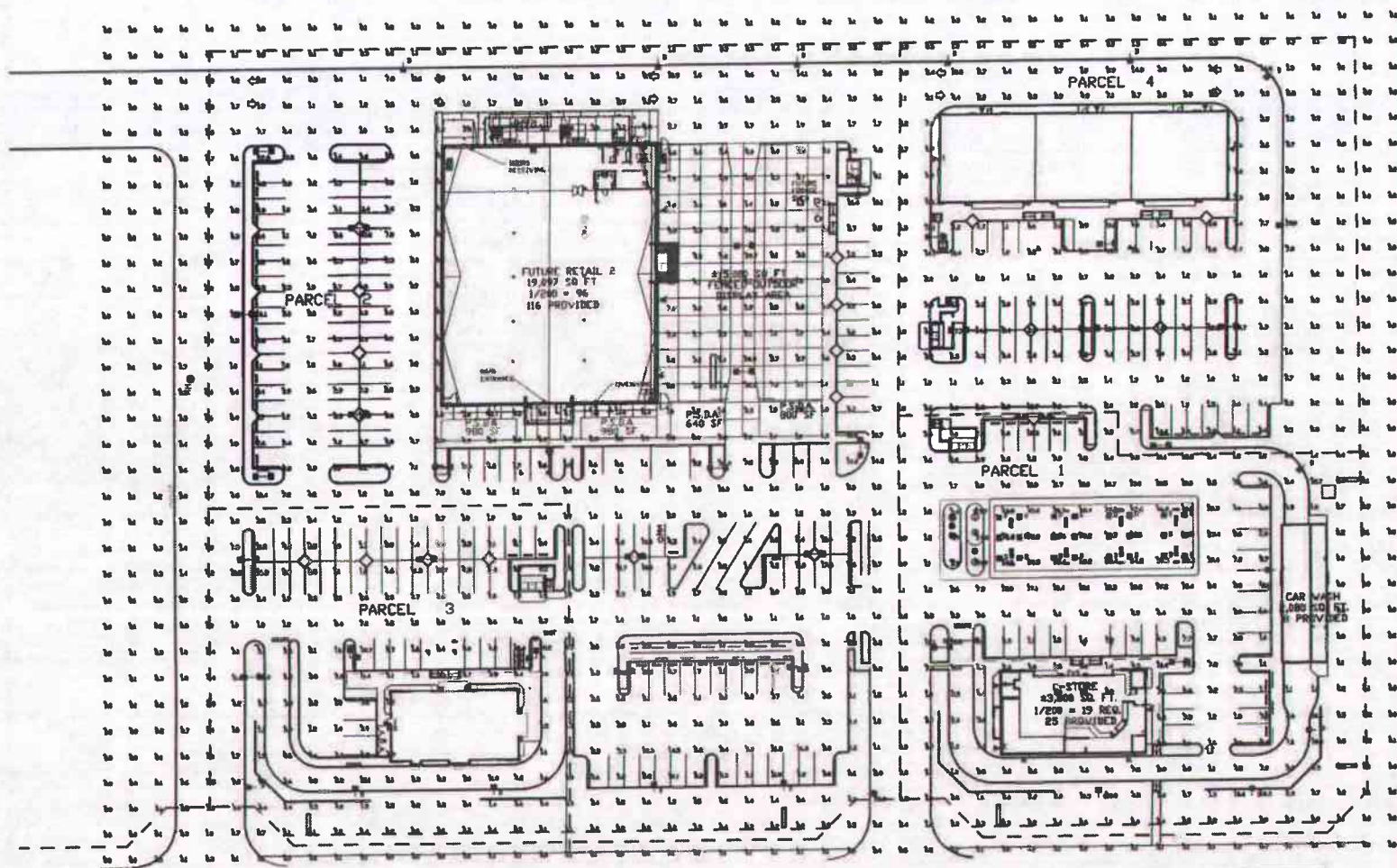
LIGHTING PLAN EXHIBIT

GRAPHIC SCALE: 1"=30'-0"

CUP

DRAWING NO.

AMS1-3



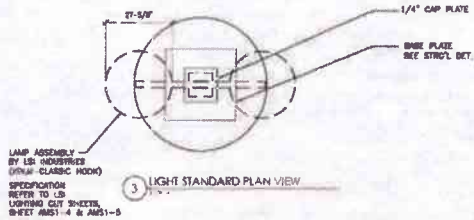
Symbol	Qty	Label	Arrangement	Description	LLF	Lumens/Lamp	Arr. Lum. Lumens	Arr. Watts
E	2	A	2 @ 90 DEGREES	XDLS-PT-LED-25-CV-200 - 14" NH	1.00	NA	20766	192.4
F	16	B	SINGLE	XDLS-PT-LED-25-CV-200 - 14" NH	1.00	NA	11203	96.2
G	29	C	2x2	XDLS-PT-LED-25-CV-200 - 14" NH	1.00	NA	20766	192.4
H	24	D	SINGLE	CRUS-25-LED-16-50 - 18" NH	1.00	NA	18632	130.4
I	18	C	SINGLE	RDV23-PT-LED-48-150-CV-UL - 18" NH	1.00	NA	6159	72

Label	CalcType	Units	Avg	Max	Min	Avg/W	Max/W
ALL CALC POINTS AT GRADE	Illuminance	Fc	4.95	10.6	1.8	NA	NA
INDIC CARP PARCEL 1	Illuminance	Fc	5.79	3.1	3.8	NA	NA
INDIC CARP PARCEL 2	Illuminance	Fc	3.79	36.8	3.2	19.08	19.48
INDIC CARP PARCEL 3	Illuminance	Fc	3.93	30.7	3.3	13.19	18.09
INDIC CARP PARCEL 4	Illuminance	Fc	4.33	43.1	3.8	22.75	29.08

Based on the information provided, all dimensions and luminaire locations shown represent recommended practices. The engineer neither warrants nor demonstrates the appropriateness of the luminaire or luminaire field conditions. This lighting plan represents the best practice based on the information provided. It is the responsibility of the client to verify the luminaire and luminaire field conditions in accordance with the manufacturer's instructions. The engineer is not responsible for any errors or omissions in the drawings or for any other architectural elements shown on the drawings. The engineer is not responsible for any errors or omissions in the drawings or for any other architectural elements shown on the drawings. The engineer is not responsible for any errors or omissions in the drawings or for any other architectural elements shown on the drawings.

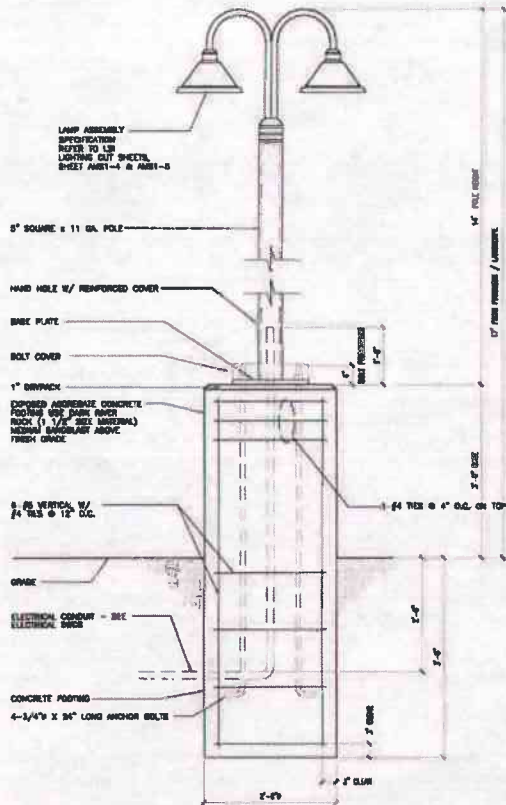
Total Project 10/10
 Date: 10/10/10

 SULLIVAN
 ARCHITECTURAL
 1000 N. W. 10th St.
 MIAMI, FL 33136
 (305) 575-1111
 www.sullivanarchitect.com
 SHEET 1
 OF 1



LAMP ASSEMBLY BY L&S INDUSTRIES (DYNAL-CLASSIC HOOK) SPECIFICATIONS REFER TO L&S LIGHTING CATALOG SHEETS, SHEET AMST-4 & AMST-5

3 LIGHT STANDARD PLAN VIEW



5\"/>

HAND HOLE W/ REINFORCED COVER

BACK PLATE

BOLT COVER

1\"/>

CONCRETE FOUNDATION

4-1/4\"/>

8 #6 VERTICAL W/ 7/8\"/>

GRADE

ELECTRICAL CONDUIT - SEE ELECTRICAL SPEC

CONCRETE FOOTING

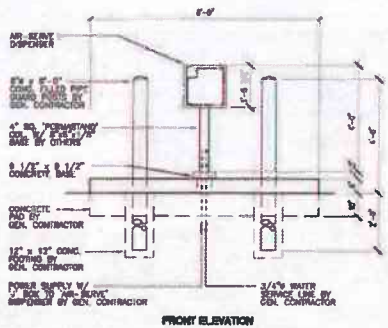
4-1/4\"/>

Dispenser Technical Specifications

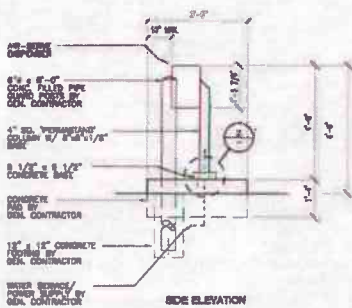
AIR-SCRY MODEL, AIRZODAL, COM OPERATED AIR AND WATER DISPENSER.

1. CHASSIS: 18\"/>
2. COIN METER: MINIMAL RESISTANT, FACTORY SET AT 3.3 MINUTES FOR 25 CENTS. TIME IS FIELD ADJUSTABLE.
3. POWER-SERVE COMPRESSOR: 1/2 HP OR LESS, 10,000 HOUR HEAVY DUTY CYCLE, 100 PSI, 4 CFM AIR FLOW, THERMAL PROTECTION, 180 PSI CONTINUOUS FLOW PRESSURE VALVE AND PATENTED HEAD DESIGN ALLOWS NO-LEAK FILLING.
4. CHASSIS - HEAVY DUTY SWIRL-1 STYLE DUNGE, HOBB - 25 FEET, 2750 PSI BRANDED STEEL OUTPROOF HOSE.
5. ELECTRICAL: QUICK DISCONNECT ELECTRICAL CONNECTIONS, STANDARD 110V, 60 HZ, 15 AMP AC POWER, 15 FOOT, 14 GA. POWER CORD IS SUPPLIED FOR PORTABLE USE ONLY AND MUST BE CONNECTED TO AN ELECTRICAL OUTLET THAT IS PROTECTED BY A GROUND FAULT INTERRUPTER. CONSULT LOCAL, STATE AND NATIONAL ELECTRICAL CODES FOR WIRING INSTRUCTIONS. WIRE AND WIRING PERMANENTLY MARKED TO SHOW THE CIRCUIT IS WELL GROUNDING.
6. WATER VALVE: WATER IS FEDERALLY SUPPLIED, SOLIDHO VALVE CONTROLLED FLOW RATE AT APPROXIMATELY (2) GPM.
7. LOCKING SYSTEM: MEDCOX LOCK SYSTEM AND STEEL LOCKING BAR.
8. INSTALLATION UNIT HAS FOUR PRE-DRILLED HOLES LOCATED ON BACK PANEL FOR WALL MOUNTED INSTALLATION AND FOR A REINFORCATED "PERMANENT" (WIRE MESH OR CONCRETE) FLOOR WITH STEEL PLATE BASE FOR PERMANENT INSTALLATION. (PERMANENT BASE CAN ONLY BE INSTALLED ON A CONCRETE SURFACE)
9. PREVENT A BACKFLOW PREVENTER AT WATER DISPENSER LOCATED IN AREA NOT READILY VISIBLE TO THE PUBLIC.

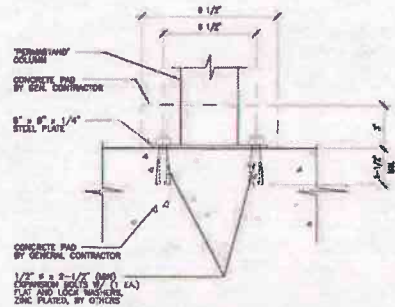
UNLESS SHOWN OR NOTED OTHERWISE ON DRAWING, ALL DIMENSIONS ARE IN INCHES. DIMENSIONS IN PARENTHESIS ARE ALTERNATE DIMENSIONS PER INSTALLATION INSTRUCTIONS PROVIDED BY AIR WIND METER FOR SA.



FRONT ELEVATION



SIDE ELEVATION



CONCRETE PAD BY GENERAL CONTRACTOR

1/2\"/>

1370 RADIO ROAD
CORONA, CA 92709
P.O. BOX 1858
CORONA, CA 92716-1858
DIRECT (951) 240-3833
FAX (951) 240-3832



LIGHT POLE ELEVATION AND DETAILS

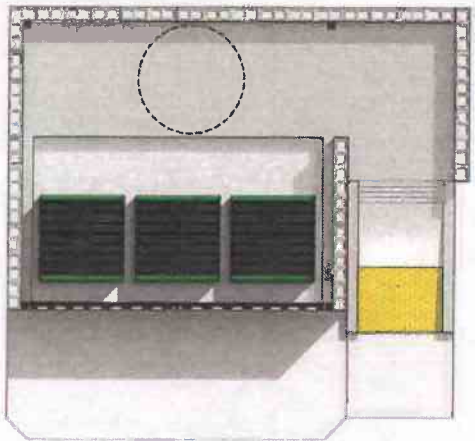
CANAICO SQUARE LP
REC CANAICO ROAD + WOOD ROAD
COUNTY OF RIVERSIDE, CA

DATE	JOB NO
08-21-18	000,000
SCALE	DRAWN BY
AS SHOWN	JM

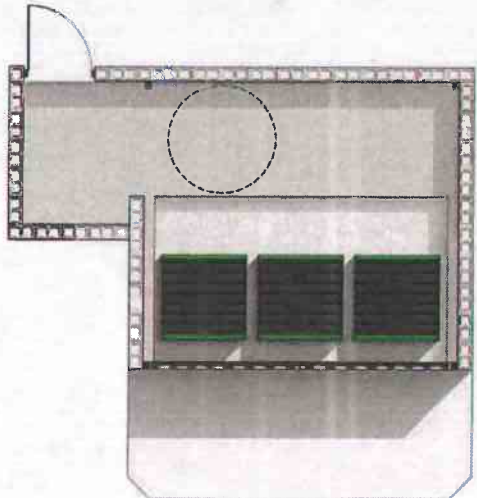
OUT

DRAWING NO.

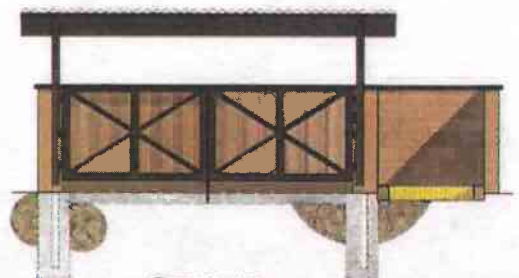
AS2-3



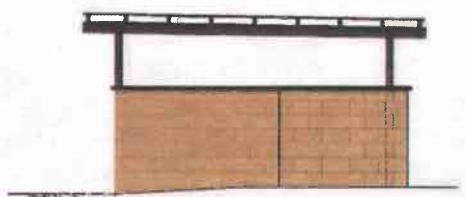
1 FLOOR PLAN - A



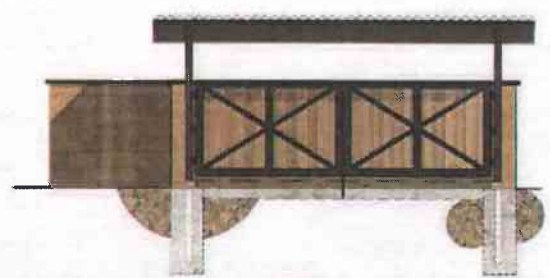
2 FLOOR PLAN - B



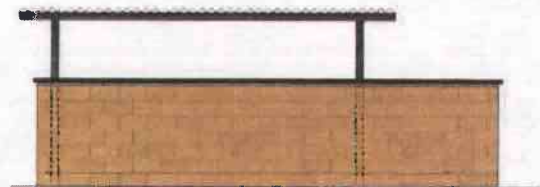
3 FRONT ELEVATION



5 SIDE ELEVATION



6 FRONT ELEVATION



4 REAR ELEVATION



7 REAR ELEVATION



8 REAR ELEVATION

139 RADIO ROAD
CORONA, CA 92679
TEL: (951) 262-1888
CORONA, CA 92679-1888
DIRECT (951) 262-9833
FAX (951) 262-9832

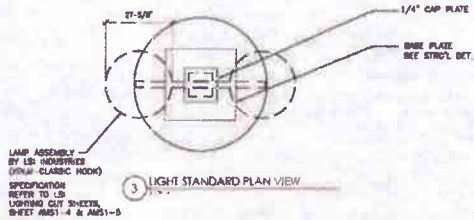
**TRASH ENCLOSURE
PLANS AND ELEVATIONS**
CALALCO SQUARE LP
NEC CALALCO ROAD & WOOD ROAD
COUNTY OF RIVERSIDE, CA

NO.	DATE	DESCRIPTION

DATE	JOB NO.
08-21-15	002.000
SCALE	DRAWN BY
AS SHOWN	MBC

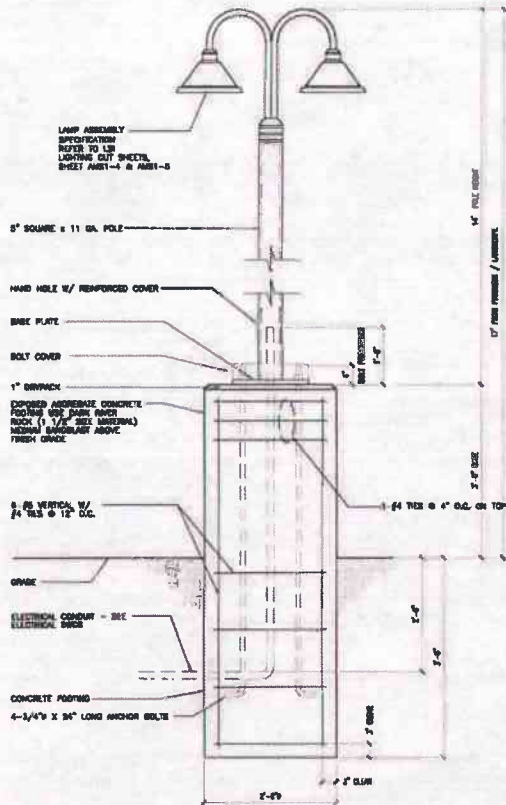
CUP
ENGINEERING INC.
AS2-1

08/21/2015 10:00 AM C:\Users\jmc\Documents\CAD\Projects\AS2-1\AS2-1.dwg



LAMP ASSEMBLY BY L&S INDUSTRIES (DYNAL CLASSIC HOOK) SPECIFICATIONS REFER TO L&S LIGHTING CUT SHEETS, SHEET AMST-4 & AMST-5

3 LIGHT STANDARD PLAN VIEW



5\"/>

HAND HOLE W/ REINFORCED COVER

BACK PLATE

BOLT COVER

1\"/>

CONCRETE FOUNDATION

4-1/4\"/>

8 #6 VERTICAL W/ 7/8\"/>

GRADE

ELECTRICAL CONDUIT - SEE ELECTRICAL SPEC

CONCRETE FOOTING

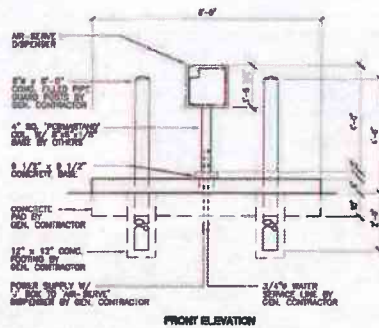
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Dispenser Technical Specifications

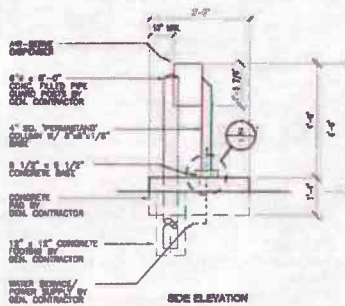
AIR-SERV MODEL AR200A, COM OPERATED AIR AND WATER DISPENSER.

1. CHASSIS: 18\"/>
2. COIN METER: MINIMAL RESISTANT, FACTORY SET AT 3.3 MINUTES FOR 25 CENTS. TIME IS FIELD ADJUSTABLE.
3. POWER-SERVE COMPRESSOR: 1/2 HP OR LESS, 10,000 HOUR HEAVY DUTY CYCLE, 100 PSI, 4 CFM AIR FLOW, THERMAL PROTECTION, 180 PSI CONTINUOUS FLOW PRESSURE VALVE AND PATENTED HEAD DESIGN ALLOWS NO-LEAK SERVING.
4. CHASSIS: HEAVY DUTY SWIVEL STYLE CUNING, HOBB - 25 FEET; 2750 PSI BRANDED STEEL OUTPROOF HOSE.
5. ELECTRICAL: QUICK DISCONNECT ELECTRICAL CONNECTIONS, STANDARD 110V, 60 HZ, 15 AMP AC POWER, 15 FOOT, 14 GA. POWER CORD IS SUPPLIED FOR PORTABLE SERVING ONLY AND MUST BE CONNECTED TO AN ELECTRICAL OUTLET THAT IS PROTECTED BY A GROUND FAULT INTERRUPTER. CONSULT LOCAL, STATE AND NATIONAL ELECTRICAL CODES FOR SERVING INSTRUCTIONS. WHEN SERVING PERMANENTLY, SERVING MUST BE DONE IN THE OUTLET'S WELL-GROUNDED.
6. WATER VALVE: WATER IS FEDERALLY SUPPLIED, SOLIDHO VALVE CONTROLLED FLOW RATE AT APPROXIMATELY (2) GPM.
7. LOCKING SYSTEM: MEDCOX LOCK SYSTEM AND STEEL LOCKING BAR.
8. INSTALLATION UNIT HAS FOUR PRE-DRILLED HOLES LOCATED ON BACK PANEL FOR WALL MOUNTED INSTALLATION AND FOR A REINFORCATED "PERMANENT" (WIRE MESH OR CONCRETE) FLOOR WITH STEEL PLATE BASE FOR PERMANENT INSTALLATION. (PERMANENT BASE CAN ONLY BE INSTALLED ON A CONCRETE SURFACE)
9. PROVIDE A BACKFLOW PREVENTER AT WATER DISPENSER LOCATED IN AREA NOT READILY VISIBLE TO THE PUBLIC.

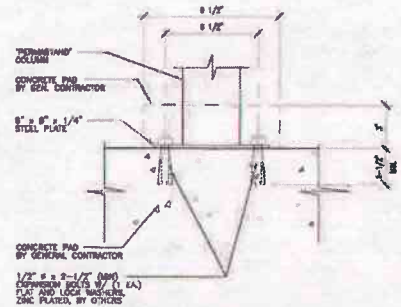
UNLESS SHOWN OR NOTED OTHERWISE ON DRAWING, ALL MATERIALS SHALL BE AS SHOWN PER INSTALLATION INSTRUCTIONS PROVIDED BY MANUFACTURER FOR EACH ITEM.



FRONT ELEVATION



SIDE ELEVATION



CONCRETE PAD BY GENERAL CONTRACTOR

1/2\"/>

1370 RADIO ROAD
CORONA, CA 92709
P.O. BOX 1858
CORONA, CA 92716-1858
DIRECT (951) 240-3833
FAX (951) 240-3832

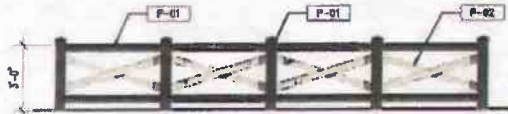


**LIGHT POLE
ELEVATION AND DETAILS**
CANALCO SQUARE LP
REC CANALCO ROAD + WOOD ROAD
COUNTY OF RIVERSIDE, CA

DATE	JOB NO
08-21-18	000,000
SCALE	DRAWN BY
AS SHOWN	JM

OUT
DRAWING NO.

AS2-3



3 ELEVATION
SCALE 1/8"=1'-0"

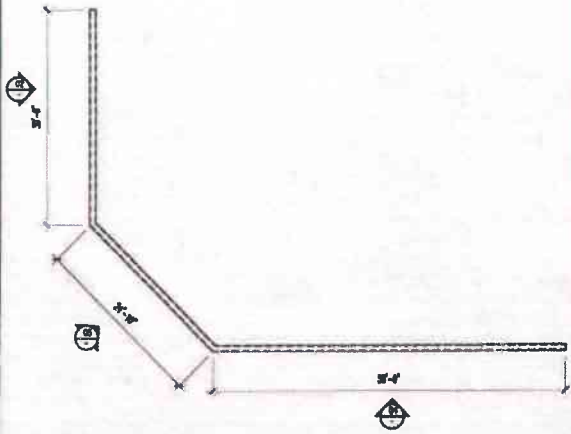


4 FLOOR PLAN
SCALE 1/8"=1'-0"

- P-01 COLOR: SHERWIN WILLIAMS SW 7027 "WELL-BRED BROWN"
- P-02 COLOR: SHERWIN WILLIAMS SW 7021 "SIMPLE WHITE"
- LOCATION: REFER TO SITE PLAN

PVC DECORATIVE FENCE

REV. 1/24/17 1



5 FLOOR PLAN
SCALE 1/8"=1'-0"



6 ELEVATION
SCALE 1/8"=1'-0"



7 ELEVATION
SCALE 1/8"=1'-0"

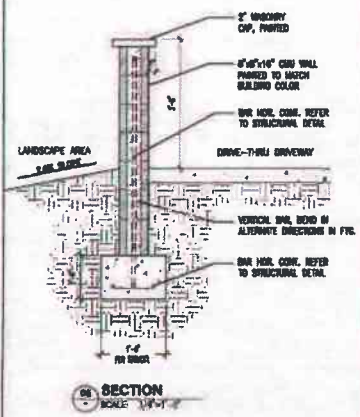


8 ELEVATION
SCALE 1/8"=1'-0"

- P-01 COLOR: SHERWIN WILLIAMS SW 3043 "WASSET BROWN"
- P-02 COLOR: SHERWIN WILLIAMS SW 7027 "WELL-BRED BROWN"

SCREEN WALL ALONG DRIVE-THRU CORNER

REV. 2/20/17 2



9 SECTION
SCALE 1/8"=1'-0"

39 RADIO ROAD
CORONA, CA 92709
P.O. BOX 1988
CORONA, CA 92716-1988
DIRECT (951) 240-2423
FAX (951) 240-3822

SCREEN WALL AND CROSS-SECTION ALONG WOOD RD.

CALALCO SQUARE, LP
NEC CALALCO ROAD & WOOD ROAD
COUNTY OF RIVERSIDE, CA

DATE	JOB NO.
08-21-18	000.000
SCALE	DRAWN BY
AS SHOWN	ENC

DRAWING NO.
AS2-2



NORTH ELEVATION

SCALE: 1/4" = 1'-0" 1

NOTE: FINISHES AND PAINT COLOR - SEE KEYNOTES ON BLACK AND WHITE ELEVATIONS AND MATERIAL BOARD



EAST ELEVATION

SCALE: 1/4" = 1'-0" 2

CASE: CUP03775
 EXHIBIT B: Project Site Elevations
 PLANNER: T. Wheeler
 DATE: May 6, 2020



139 MADRID ROAD
 CORONA, CA 92679
 P.O. BOX 1598
 CORONA, CA 92676-1598
 DIRECT: (951) 280-3433
 FAX: (951) 280-3432



CONVENIENCE STORE
 EXTERIOR ELEVATIONS

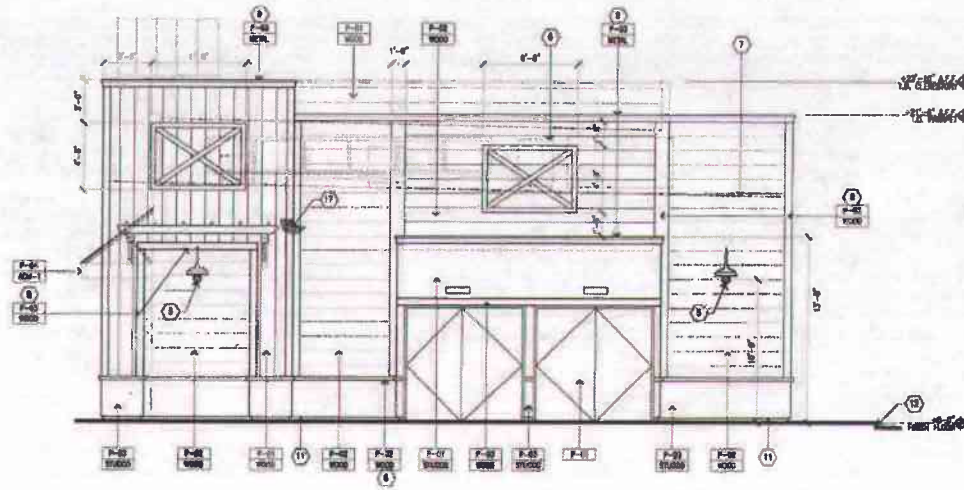
CALIFORNIA SQUARE, LP
 NEC: CALIFORNIA ROAD + MADRID ROAD
 COUNTY OF RIVERSIDE, CA

REVISION	DATE	BY

DATE	JOB NO.
05-21-20	030.000
SCALE	DRAWN BY
AS SHOWN	JXC

CUP
 DRAWING NO.
 A2-1

05/11/2020 10:00 AM C:\Users\T.Wheeler\Documents\CUP03775 - 01 - 1200 - Exterior Elevations - 01 - 1200 - 01.dwg T.Wheeler 15:00



NORTH ELEVATION

SDG 1
1/8" = 1'-0"

GENERAL NOTES:

SEVERAL LOCATIONS IN FRONT ELEVATION SHOWN ARE TO ALIGN AS CLARITY AS POSSIBLE TO READER.

KEYNOTES:

- | | | | |
|----|--|----|---|
| 1 | BRICK | 14 | WOOD COLUMN PAINTED TO MATCH BUILDING COLOR |
| 2 | ALUMINUM SIDING | 15 | CANOPY WOOD BRACE PAINTED TO MATCH BUILDING COLOR |
| 3 | METAL CANOPY | 16 | BUILDING BRACKETS LOCATIONS REFER TO ROOF PLAN |
| 4 | ORIGINALLY ILLUMINATED SIGNIFIED WILL BE 48" X 24" FC | 17 | BUILDING RECEIVERS - DIMENSIONS REFER TO FLOOR PLAN |
| 5 | CHIMNEY LIGHTS - REFER TO PROVIDING PLAN | 18 | WOOD BRACE WITH BRACE PAINTED TO MATCH BUILDING COLOR |
| 6 | ROOF TOP MECHANICAL UNITS | 19 | WOOD BRACE WITH BRACE PAINTED TO MATCH BUILDING COLOR |
| 7 | APPROXIMATE ROOF LINE | 20 | WOOD BRACE WITH BRACE PAINTED TO MATCH BUILDING COLOR |
| 8 | WOOD TRIM / DECORATIVE BRICK SIDING | 21 | WOOD BRACE WITH BRACE PAINTED TO MATCH BUILDING COLOR |
| 9 | METAL CANOPY | 22 | WOOD BRACE WITH BRACE PAINTED TO MATCH BUILDING COLOR |
| 10 | ARCHIT. SIGNAGE TO BE PAINTED BRICK, SEE COMMON REQUIREMENTS | 23 | WOOD TRIM |
| 11 | 4" METAL BRACE | 24 | WOOD TRIM |
| 12 | 4" CONCRETE CURB | 25 | WOOD TRIM |
| 13 | HORIZONTAL & VERTICAL WOOD SIDING | 26 | WOOD TRIM |

EXTERIOR MATERIAL, FINISHES AND PAINT COLOR LEGEND - SEE MATERIAL BOARD:

- [F-01] COLOR SHEEN WILLIAMS BY 604 "VANGUARD"
- [F-02] COLOR SHEEN WILLIAMS BY 604 "SELECT BROWN"
- [F-03] COLOR SHEEN WILLIAMS BY 707 "WELL-WOOD BROWN"
- [F-04] COLOR PARTRIDGE 1000 "ORANGE"
- [F-05] COLOR DUNE EDWARDS BY 634 "SODAS TO LARRY"
- [F-06] COLOR SHEEN WILLIAMS BY 701 "SUNBLE WHITE"
- [WOOD] BRICK AND WOOD
- [MET-1] ALUMINUM COMPOSITE MATERIAL - FINISH: PINE 1000 "ORANGE WITH GLOSS"
- [GLASS] 1/2" CLEAR GLASS PANELS PER IFC SPECIFICATIONS TYPICAL: FINE GRID FINISH

NOTE: SIGNAGE SEPARATE SUBMITTAL

1378 RADIO ROAD
CORONA, CA 92679
P.O. BOX 1538
CORONA, CA 92678-1538
DIRECT (951) 280-3833
FAX (951) 280-3832



CONVENIENCE STORE
EXTERIOR ELEVATIONS
CAJALCO SQUARE LP
NEC CAJALCO ROAD + WOOD ROAD
COUNTY OF RIVERSIDE, CA



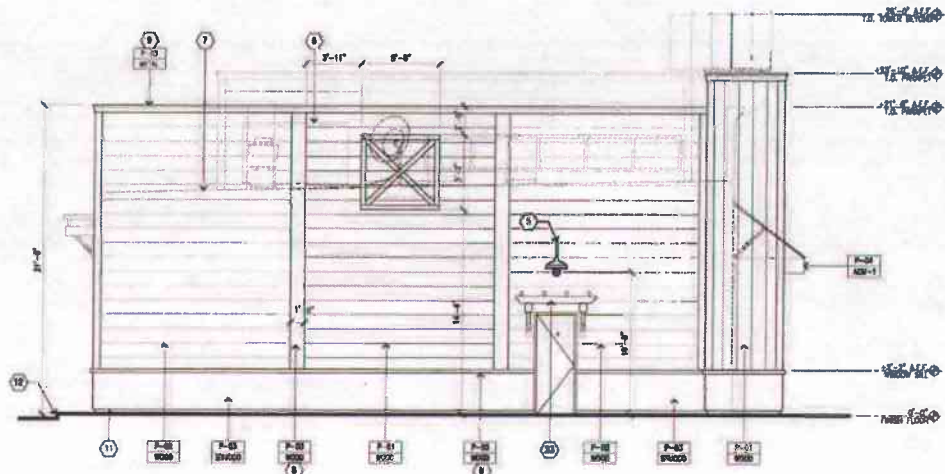
EAST ELEVATION

SDG 2
1/8" = 1'-0"

DATE 08-21-18 JOB NO 081000
SCALE AS SHOWN DRAWN BY JAH

CUP
DRAWING NO.

A2-1



SOUTH ELEVATION

SCALE 1/4" = 1'-0"

GENERAL NOTES:

KEYNOTE LOCATIONS IN FINISH SCHEDULE SHOWN ARE TO ALIGN AS CLOSELY AS POSSIBLE TO ELEMENTS.

KEYNOTES:

- | | |
|--|--|
| 1 SIGNAGE | 16 ROUND COLUMN PAINTED TO MATCH BUILDING COLOR |
| 2 ALUMINUM STOREFRONT | 17 CHERRY WOOD GRACE PAINTED TO MATCH BUILDING COLOR |
| 3 METAL CANOPY | 18 BUILDING CORNER LOCATIONS REFER TO ROOF PLAN |
| 4 INTERNALLY ALIGNED HANGAR WALL DOOR 42.125 BL. FT. | 19 BUILDING CORNER-DIMENSIONS REFER TO FLOOR PLAN |
| 5 EXTERIOR LIGHTS-REFER TO PRACTICING PLAN | 20 WINDOW FROM MAIN GATE PAINTED TO MATCH BUILDING COLOR |
| 6 ROOF TOP MECHANICAL UNITS | 21 WINDOW FROM FENCE PAINTED TO MATCH BUILDING COLOR |
| 7 APPROXIMATE ROOF LINE | 22 WINDOW FROM BLINDING GATE PAINTED TO MATCH BLDG. COLOR |
| 8 WOOD TRIM / DECKING/PAVE BOND BOARD | 23 COLUMN PAINTED MATCH BUILDING COLOR |
| 9 METAL CORNICE | 24 2" x 1" 1/2" ROLL-UP DOOR PAINTED MATCH TO THE BUILDING |
| 10 FINISH SCHEDULE TO BE PAINTED GRAY. SEE FINISH SCHEDULE | 25 WOOD TRIM |
| 11 4" METAL SHOE | 26 RETAINING WALL |
| 12 4" CONCRETE CURB | 27 BELL POSTS |
| 13 HORIZONTAL & VERTICAL WOOD TRIMMING | |

EXTERIOR MATERIAL FINISHES AND PAINT COLOR LEGEND - SEE MATERIAL BOARD:

- [P-01] COLOR: SHERWIN WILLIAMS BY 7024 "WEDGE COUL"
- [P-02] COLOR: SHERWIN WILLIAMS BY 3040 "TRUSS BROWN"
- [P-03] COLOR: SHERWIN WILLIAMS BY 7027 "WELL-BRED BROWN"
- [P-04] COLOR: PAROC 100C "GRANITE"
- [P-05] COLOR: DAWN COVERS BY 824 "DORNING TO SHINE"
- [P-06] COLOR: SHERWIN WILLIAMS BY 7021 "SIMPLE WHITE"
- WOOD: STAIN AND TRIM
- [CON-1] ALUMINUM COMPOSITE MATERIAL-PANORAMA PLUS 100C "ORANGE HIGH GLOSS"
- [FIN-1] 1/2" CLEAR PLASTER GIBBERL PFR MFC. SPECIFICATIONS REQUIRED FINE SAND FINISH

NOTE: SIGNAGE SEPARATE SUBMITTAL

139 PACIFIC ROAD
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P.O. BOX 1558
CORONA, CA 92674-1558
DIRECT (951) 840-5433
FAX (951) 840-5432

CONVENIENCE STORE
EXTERIOR ELEVATIONS
CALIFORNIA SQUARE LP
NEC CALIFORNIA ROAD + WOOD ROAD
COUNTY OF RIVERSIDE, CA

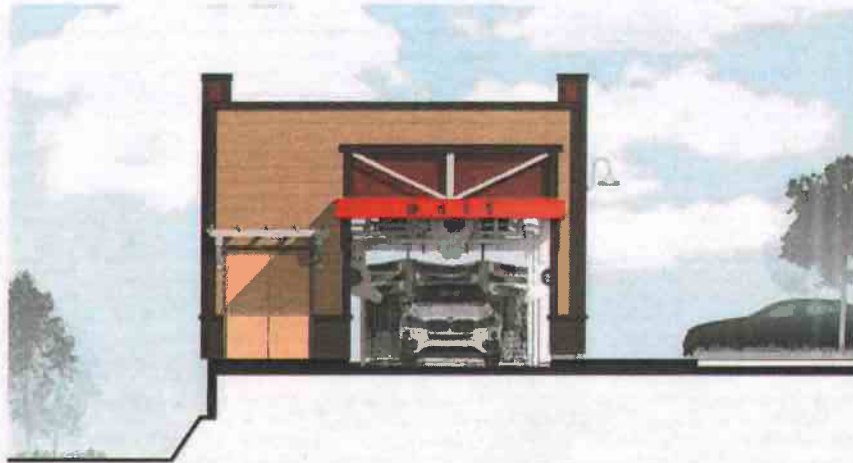


WEST ELEVATION

SCALE 1/4" = 1'-0"

DATE 08-21-18
SCALE AS SHOWN
JOB NO 080.000
DRAWN BY JH1

CUP
ARCHITECTURE
DRAWING NO. **A2-2**



EAST ELEVATION

SCALE 1/4" = 1'-0"

NO. 1

NOTE: FINISHES AND PAINT COLOR -
SEE KEYNOTES ON BLACK AND WHITE
ELEVATIONS AND MATERIAL BOARD



NORTH ELEVATION

SCALE 1/4" = 1'-0"

NO. 2

139 PACIFIC ROAD
CORONA, CA 92679
P.O. BOX 1958
CORONA, CA 92676-1958
DIRECT (951) 280-3833
FAX (951) 280-3832



CARWASH
EXTERIOR ELEVATIONS

CAJALCO SQUARE, LP
NEC CAJALCO ROAD + WOOD ROAD
COURT OF RIVERSIDE, CA

ELEVATION

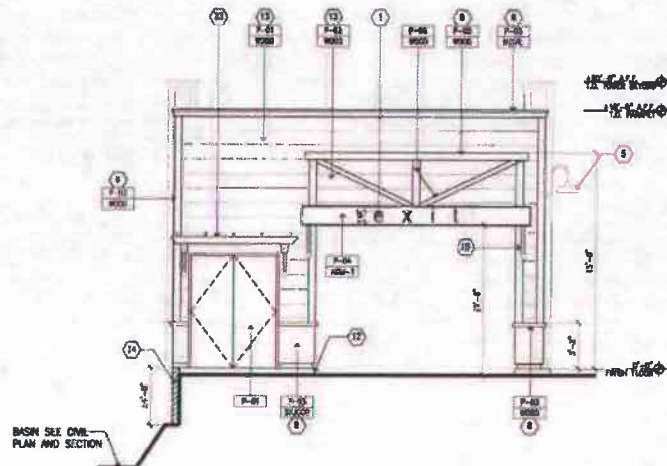
SCALE

DATE	JOB NO.
08-21-18	000.000
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CUP

ARCHITECTURAL

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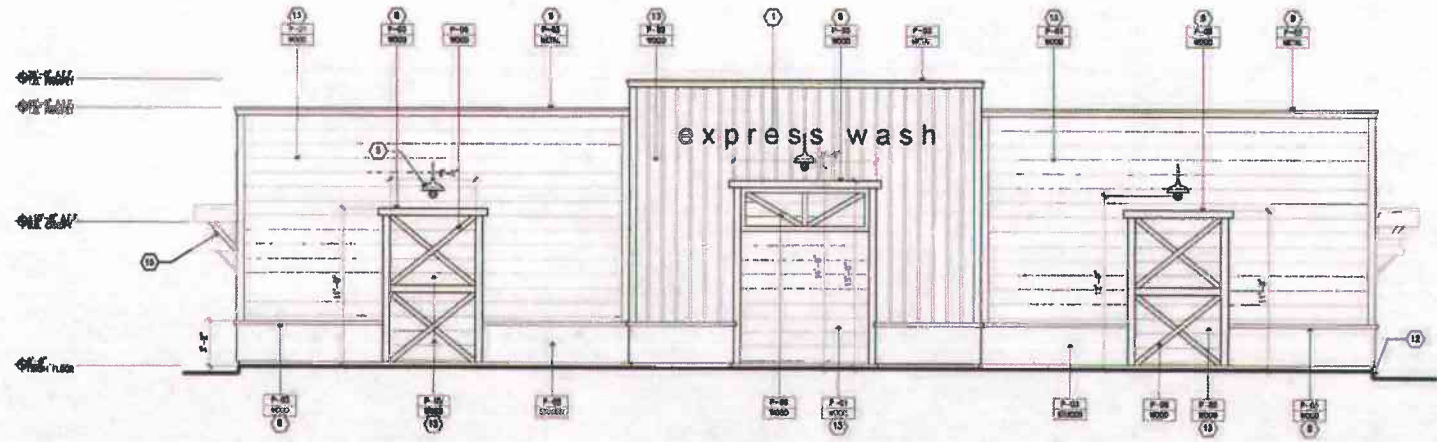


EAST ELEVATION

- GENERAL NOTES:**
 REVEAL LOCATIONS IN FRONT ELEVATION SHOWN ARE TO ALIGN AS CLOSELY AS POSSIBLE TO ELEVATIONS.
- KEYNOTES:**
- 1 SIGNAGE
 - 2 ALUMINUM SIDING/FROST
 - 3 METAL CHIMNEY
 - 4 INTERNALLY ILLUMINATED MOUNTED WALL SIGN 48.125 SQ. FT.
 - 5 EXTERIOR LIGHTS-REFER TO PROFESSIONAL PLAN
 - 6 ROOF TOP MECHANICAL UNITS
 - 7 APPROXIMATE ROOF LINE
 - 8 WOOD TRIM / DECORATIVE WOOD SIDING
 - 9 METAL COPING
 - 10 JEWEL SIGNAGE TO BE PAINTED GRAY, SEE CARWASH WORKBOOK 4" METAL BRICK
 - 11 4" CONCRETE CURB
 - 12 HORIZONTAL & VERTICAL WOOD SIDING
 - 13 ROUND COLUMN PAINTED TO MATCH BUILDING COLOR
 - 14 CHIPPY WOOD SIDING PAINTED TO MATCH BUILDING COLOR
 - 15 BRASS HANDLING LOCATIONS REFER TO FLOOR PLAN
 - 16 BRASS RECEIVED-SIGNATURES REFER TO FLOOR PLAN
 - 17 BRASS SIGN WITH DATE PAINTED TO MATCH BUILDING COLOR
 - 18 WOOD SIGN WITH DATE PAINTED TO MATCH BUILDING COLOR
 - 19 WOOD SIGN WITH DATE PAINTED TO MATCH BUILDING COLOR
 - 20 WOOD SIGN WITH DATE PAINTED TO MATCH BUILDING COLOR
 - 21 COLUMN PAINTED MATCH BUILDING COLOR
 - 22 16" x 16" BULL-UP DOOR PAINTED MATCH TO THE BUILDING WOOD TRIM
 - 23 SCRAMBLER WALL
 - 24 WALL POWER

- EXTERIOR MATERIAL, FINISHES AND PAINT COLOR LEGEND - SEE MATERIAL BOARD:**
- P-21 COLOR SHERRIN WALLING BY 7024 "ORANGE GOLD"
 - P-22 COLOR SHERRIN WALLING BY 7024 "HONEY BROWN"
 - P-23 COLOR SHERRIN WALLING BY 7027 "COLD-BEEZ BROWN"
 - P-24 COLOR PAINTING 1000 "GRANGE"
 - P-25 COLOR SHERRIN WOOD GET 624 "TORNADO TO LIFT"
 - P-26 COLOR SHERRIN WALLING BY 7021 "TRIPLE BROWN"
 - 10000 SIDING AND TRIM
 - 10001 ALUMINUM COMPOSITE MATERIAL-PANOTE PRO 1000 "ORANGE HEN BLOSS"
- 1/2" GYPSUM PLASTER INSTALLED PER INFO SPECIFICATION
 FINISHES: FINE SAND FINISH
- NOTE: SIGNAGE SEPARATE SUBMITTAL**

1330 RADIO ROAD
 CORONA, CA 92709
 P.O. BOX 1926
 CORONA, CA 92726-1926
 DIRECT (951) 296-2893
 FAX (951) 290-2832



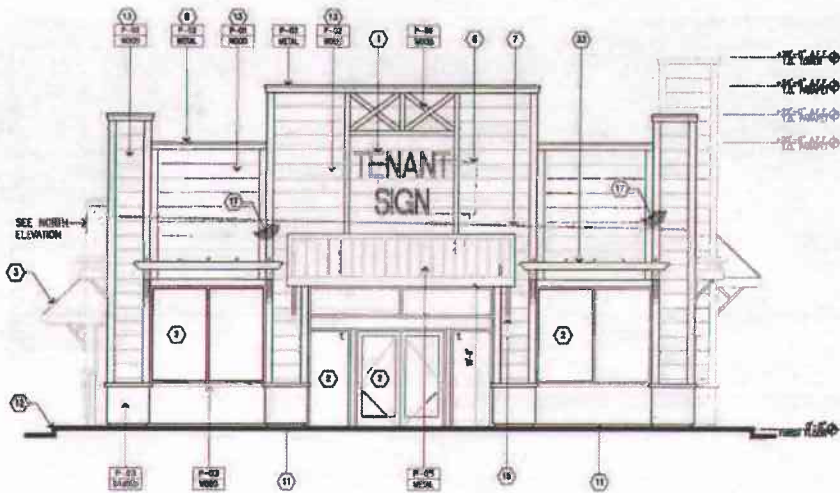
NORTH ELEVATION

CARWASH
 EXTERIOR ELEVATIONS
 CALIFORNIA SQUARE, LP
 NEC CALIFORNIA ROAD + WOOD ROAD
 COUNTY OF FRESNO, CA

DATE	JOB NO.
09-21-18	000000
SCALE	DRAWN BY
AS SHOWN	JM

0UP
 DRAWING NO.
A2-3

18/21/2018 10:00 AM AutoSave - 09-21-18 10:00 AM



SOUTH ELEVATION

2025
17-7-7

GENERAL NOTES:

FINISH LOCATIONS IN THIS ELEVATION SHOWN ARE TO ALIGN AS CLOSELY AS POSSIBLE TO ELEVATION.

KEYNOTES:

- 1 BRONZE
- 2 ALUMINUM BRACKET
- 3 METAL CORNER
- 4 ORIGINALLY ALUMINATED LIGHTED WALL SIGN 48.125 IN. FT.
- 5 EXPANDED LEAD-GLASS TO PERFORMANCE PLAN
- 6 1/2" X 1/2" METAL CORNER
- 7 APPROXIMATE ROOF LINE
- 8 WOOD TRIM / REPAIRS
- 9 METAL CORNER
- 10 FINISH TO BE POWER GRAB, SEE GENERAL NOTES
- 11 1/2" METAL CORNER
- 12 METAL CORNER & VERTICAL WOOD BOARD
- 13 FINISH TO BE POWER GRAB, SEE GENERAL NOTES
- 14 FINISH TO BE POWER GRAB, SEE GENERAL NOTES
- 15 FINISH TO BE POWER GRAB, SEE GENERAL NOTES
- 16 FINISH TO BE POWER GRAB, SEE GENERAL NOTES
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- 99 FINISH TO BE POWER GRAB, SEE GENERAL NOTES
- 100 FINISH TO BE POWER GRAB, SEE GENERAL NOTES

EXTERIOR MATERIAL FINISHES

AND PAINT COLOR LEGEND -

SEE MATERIAL BOARD:

- P-01 COLOR: SHOWN WALLING BY 2024 "WAGNER GOLD"
- P-02 COLOR: SHOWN WALLING BY 2024 "BEECH BROWN"
- P-03 COLOR: SHOWN WALLING BY 2024 "WALL-BRED BROWN"
- P-04 COLOR: PAINT: 100% "GRAB"
- P-05 COLOR: SIGN LETTERS SET 624 "SERRANO TO EARTH"
- P-06 COLOR: SHOWN WALLING BY 2024 "TRIPLE BROWN"
- WOOD BRONZE AND TRIM
- ALUMINUM COMPACT METAL-FINISH: 100% "BRONZE HIGH GLOSS"
- 1/2" GYPSUM PLASTER REPAIRS PER INFO, SPECIFICATION EXEMPTED PER 2024 PERM

NOTE: SIGNAGE SEPARATE SUBMITTAL

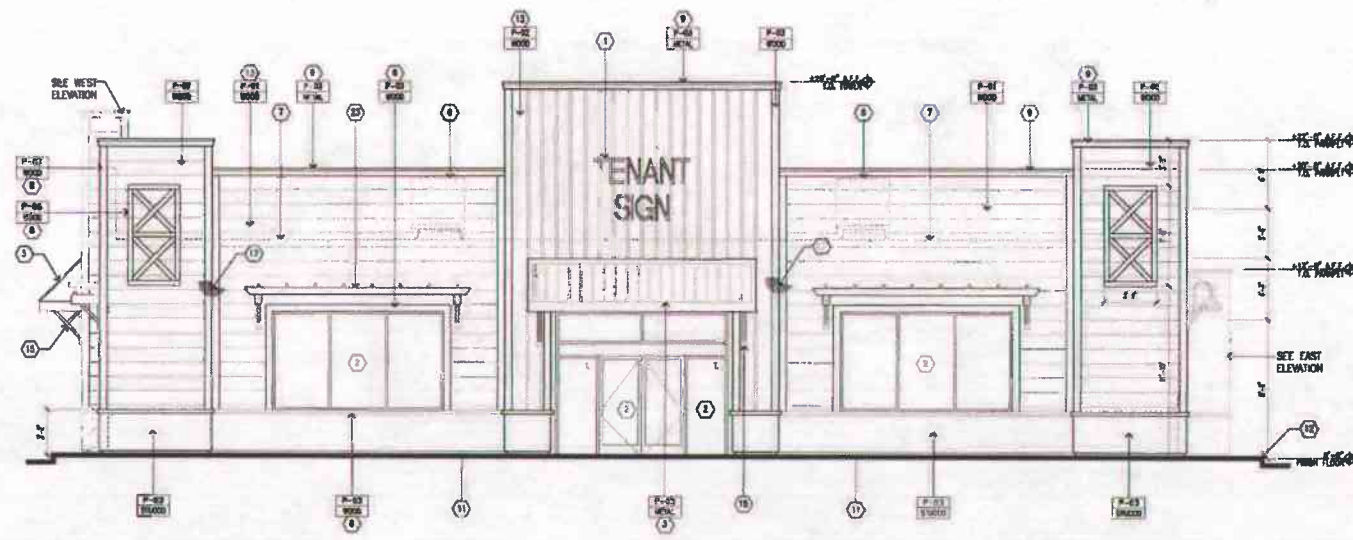
1300 BANCROFT ROAD
CORONA, CA 92719

P.O. BOX 13558
CORONA, CA 92716-1358

DIRECT (951) 260-3633
FAX (951) 260-3632

OSR WITH DRIVE-THRU
EXTERIOR ELEVATIONS

CAJALCO SQUARE LP
NEC CAJALCO ROAD + WOOD ROAD
COUNTY OF INDIAN WELLS, CA



EAST ELEVATION

2025
17-7-7

DATE: 08-21-18
SCALE: AS SHOWN

JOB NO: 000.000
DRAWN BY: A&I

CUP

VERSION NO.

A2-5



NORTH ELEVATION

SCALE 1/4" = 1'-0" 1

NOTE: FINISHES AND PAINT COLOR -
SEE KEYNOTES ON BLACK AND WHITE
ELEVATIONS AND MATERIAL BOARD



WEST ELEVATION

SCALE 1/4" = 1'-0" 2

139 RADIO ROAD
CORONA, CA 92679
P.O. BOX 1458
CORONA, CA 92674-1458
DIRECT (951) 265-3632
FAX (951) 265-3652



O.B.R. WITH DRIVE-THRU
EXTERIOR ELEVATIONS

CAJALCO SQUARE LP
NEC CAJALCO ROAD + WOOD ROAD
COUNTY OF IMPERIAL, CA

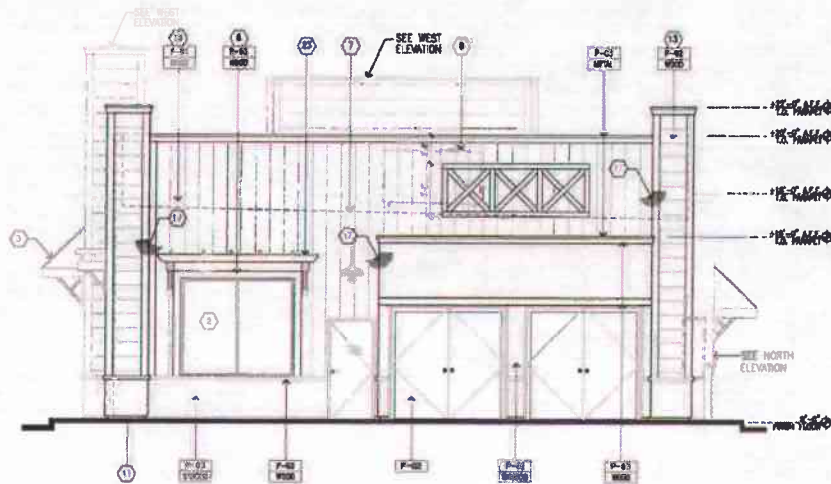
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AS SHOWN	XBC

CUP

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NORTH ELEVATION

SCALE: 1/4" = 1'-0"

GENERAL NOTES:

GENERAL LOCATIONS IN FINISH SCHEDULE SHOWN ARE TO ALIGN AS CLOSELY AS POSSIBLE TO ELEVATIONS.

KEYNOTES:

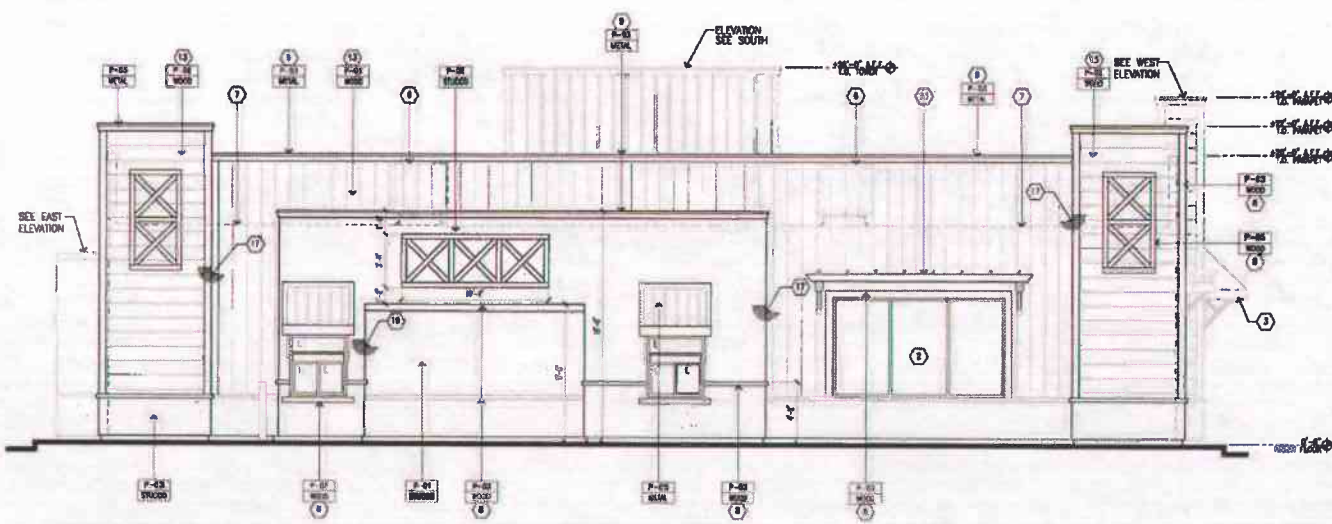
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|---|--|
| 1) STUCCO | 16) ROUND COLUMN FINISH TO MATCH BUILDING COLOR |
| 2) ALUMINUM SHUTTERING | 17) CANOPY WOOD BRIDGE FINISH TO MATCH BUILDING COLOR |
| 3) METAL GRIPPY | 18) BUILDING BRIDGE FINISH TO MATCH BUILDING COLOR |
| 4) EXTERIOR ELEVATION FINISHES REFER TO MATERIAL BOARD | 19) BUILDING BRIDGE FINISH TO MATCH BUILDING COLOR |
| 5) EXTERIOR LEVELS REFER TO PHOTOGRAPHIC PLAN | 20) BUILDING BRIDGE FINISH TO MATCH BUILDING COLOR |
| 6) ROOF TOP ARCHITECTURAL FINISH | 21) BUILDING BRIDGE FINISH TO MATCH BUILDING COLOR |
| 7) APPROXIMATE ROOF LINE | 22) 1/2" x 1/2" WOOD BRIDGE FINISH TO MATCH BUILDING COLOR |
| 8) WOOD TRIM / SCAPING | 23) 1/2" x 1/2" WOOD BRIDGE FINISH TO MATCH BUILDING COLOR |
| 9) METAL CORNER | 24) 1/2" x 1/2" WOOD BRIDGE FINISH TO MATCH BUILDING COLOR |
| 10) FINISH SCHEDULE TO BE PROVIDED SEPARATE, SEE CONSTRUCTION NOTES | 25) 1/2" x 1/2" WOOD BRIDGE FINISH TO MATCH BUILDING COLOR |
| 11) 4" METAL BRIDGE | 26) 1/2" x 1/2" WOOD BRIDGE FINISH TO MATCH BUILDING COLOR |
| 12) 1/2" x 1/2" WOOD BRIDGE | 27) 1/2" x 1/2" WOOD BRIDGE FINISH TO MATCH BUILDING COLOR |
| 13) 1/2" x 1/2" WOOD BRIDGE | 28) 1/2" x 1/2" WOOD BRIDGE FINISH TO MATCH BUILDING COLOR |
| 14) 1/2" x 1/2" WOOD BRIDGE | 29) 1/2" x 1/2" WOOD BRIDGE FINISH TO MATCH BUILDING COLOR |
| 15) 1/2" x 1/2" WOOD BRIDGE | 30) 1/2" x 1/2" WOOD BRIDGE FINISH TO MATCH BUILDING COLOR |

EXTERIOR MATERIAL, FINISHES AND PAINT COLOR LEGEND -

SEE MATERIAL BOARD:

- [P-01] COLOR: STUCCO FINISH BY 100% "ORANGE"
- [P-02] COLOR: STUCCO FINISH BY 100% "ORANGE"
- [P-03] COLOR: STUCCO FINISH BY 100% "ORANGE"
- [P-04] COLOR: STUCCO FINISH BY 100% "ORANGE"
- [P-05] COLOR: STUCCO FINISH BY 100% "ORANGE"
- [P-06] COLOR: STUCCO FINISH BY 100% "ORANGE"
- [P-07] COLOR: STUCCO FINISH BY 100% "ORANGE"
- [P-08] COLOR: STUCCO FINISH BY 100% "ORANGE"
- [P-09] COLOR: STUCCO FINISH BY 100% "ORANGE"
- [P-10] COLOR: STUCCO FINISH BY 100% "ORANGE"
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- [P-15] COLOR: STUCCO FINISH BY 100% "ORANGE"
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- [P-31] COLOR: STUCCO FINISH BY 100% "ORANGE"
- [P-32] COLOR: STUCCO FINISH BY 100% "ORANGE"

NOTE: SIGNAGE SEPARATE SUBMITTAL



WEST ELEVATION

SCALE: 1/4" = 1'-0"

1376 RADIO ROAD
CORONA, CA 92725
P.O. BOX 1958
CORONA, CA 92729-1958
DIRECT (951) 280-3833
FAX (951) 280-3833

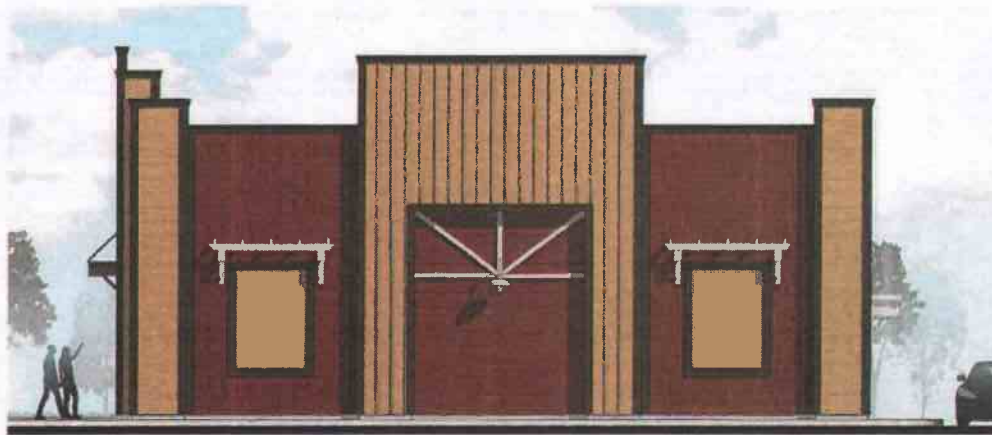


QSR WITH DRIVE-THRU
EXTERIOR ELEVATIONS
CALIFORNIA SQUARE, LP
NEC CALIFORNIA ROAD + WOOD ROAD
COUNTY OF INDIAN WELLS, CA

DATE: 09-21-18
JOB NO: 000000
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NOTE: FINISHES AND PAINT COLOR -
SEE KEYNOTES ON BLACK AND WHITE
ELEVATIONS AND MATERIAL BOARD

SOUTH ELEVATION

SCALE
1" = 4'-0"

1



WEST ELEVATION

SCALE
1" = 4'-0"

2

1705 PARKS ROAD
CORONA, CA 92709
P.O. BOX 1958
CORONA, CA 92719-1958
DIRECT (951) 260-8833
FAX (951) 260-8852



RETAL 1
EXTERIOR ELEVATIONS

CALIFORNIA SQUARE, LP
NEC CALIFORNIA ROAD + WOOD ROAD
COUNTY OF RIVERSIDE, CA

KEY PLAN

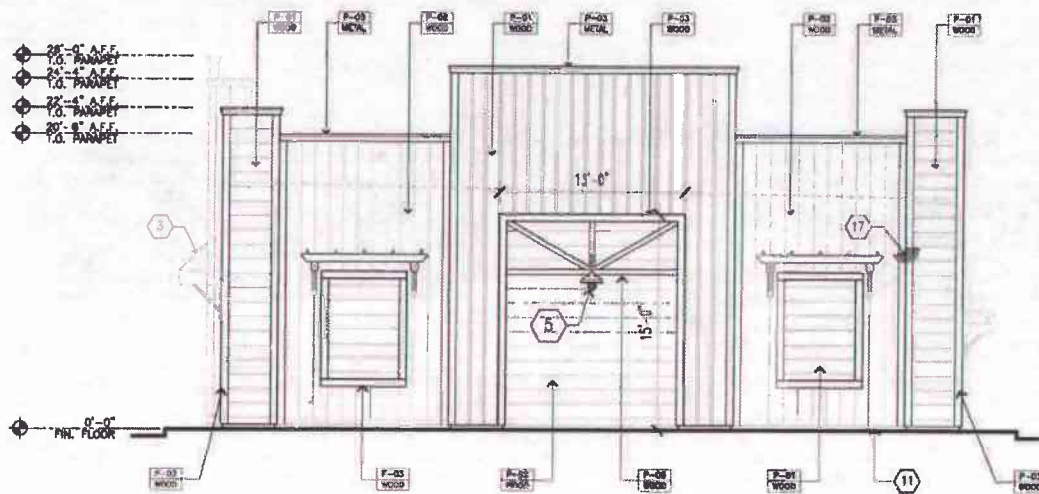
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AS SHOWN	XTC

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SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

GENERAL NOTES:

REVEAL LOCATIONS IN FINISH SYSTEM SHOW ARE TO ALIGN AS CLOSELY AS POSSIBLE TO ELEVATIONS.

KEYNOTES:

- 1 SHIMMICK
- 2 ALUMINUM STRUCTURE
- 3 METAL CRUISE
- 4 INTERNALLY ELIMINATED REINFORCED WALL SIGN
- 5 EXTERIOR LIGHTS-REFER TO PHOTOGRAPHIC PLAN
- 6 ROOF TOP MECHANICAL UNITS
- 7 APPROXIMATE ROOF LINE
- 8 WOOD TRIM / BRICKWORK
- 9 METAL COPING
- 10 APPROX. BRIDGE TO BE PRINTED GRAPHIC SEE CURRENT ENGINEERING
- 11 4" METAL BASE
- 12 4" CONCRETE CURB
- 13 HORIZONTAL & VERTICAL WOOD SIGNAGE
- 14 WOOD COLUMN FINISHED TO MATCH BUILDING SIGN
- 15 EMPTY WOOD SPACE FINISHED TO MATCH BUILDING COLOR
- 16 BUILDING SIGNAGE LOCATIONS REFER TO ROOF PLAN
- 17 BUILDING SIGNAGE-REFER TO FLOOR PLAN
- 18 INTERIOR SIGN WITH GORE FINISHED TO MATCH BUILDING COLOR
- 19 INTERIOR SIGN WITH GORE FINISHED TO MATCH BUILDING COLOR
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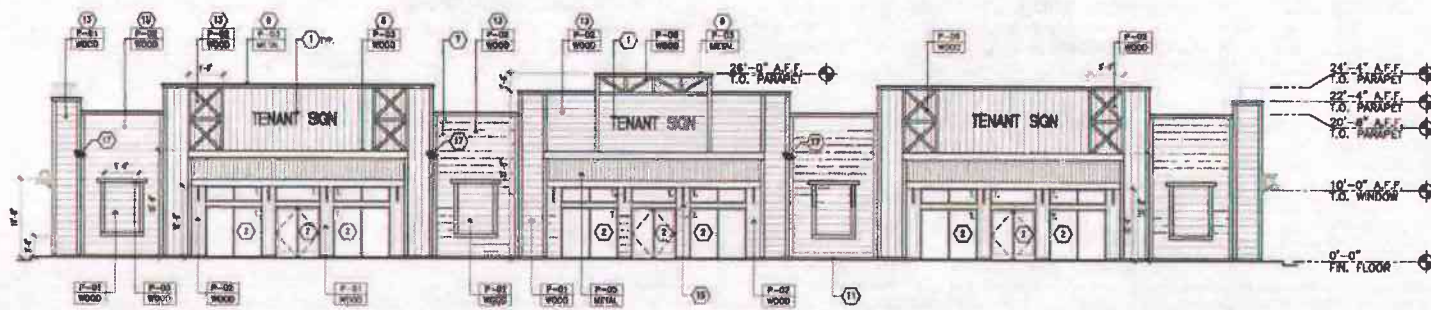
EXTERIOR MATERIAL FINISHES

AND PAINT COLOR LEGEND -

SEE MATERIAL BOARD:

- F-01 COLOR SHERRIN WALLS ON 2X4 "SHERRIN GOLD"
- F-02 COLOR SHERRIN WALLS ON 2X4 "SHERRIN BROWN"
- F-03 COLOR SHERRIN WALLS ON 2X4 "SHERRIN GREEN"
- F-04 COLOR SHERRIN WALLS ON 2X4 "SHERRIN BLUE"
- F-05 COLOR SHERRIN WALLS ON 2X4 "SHERRIN RED"
- F-06 COLOR SHERRIN WALLS ON 2X4 "SHERRIN PURPLE"
- F-07 COLOR SHERRIN WALLS ON 2X4 "SHERRIN PINK"
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- F-09 COLOR SHERRIN WALLS ON 2X4 "SHERRIN YELLOW"
- F-10 COLOR SHERRIN WALLS ON 2X4 "SHERRIN WHITE"
- F-11 COLOR SHERRIN WALLS ON 2X4 "SHERRIN BLACK"
- F-12 COLOR SHERRIN WALLS ON 2X4 "SHERRIN GREY"
- F-13 COLOR SHERRIN WALLS ON 2X4 "SHERRIN TAN"
- F-14 COLOR SHERRIN WALLS ON 2X4 "SHERRIN BROWN"
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- F-100 COLOR SHERRIN WALLS ON 2X4 "SHERRIN BLUE"

NOTE: SIGNAGE SEPARATE SUBMITTAL



WEST ELEVATION

SCALE: 1/4" = 1'-0"

1300 RADIO ROAD
CORONA, CA 92729
P.O. BOX 1858
CORONA, CA 92729-1858
DIRECT (951) 380-3823
FAX (951) 280-3652



RETAIL 1
EXTERIOR ELEVATIONS
CALIFORNIA SQUARE LP
NEC CALIFORNIA ROAD + WOOD ROAD
COUNTY OF RIVERSIDE, CA

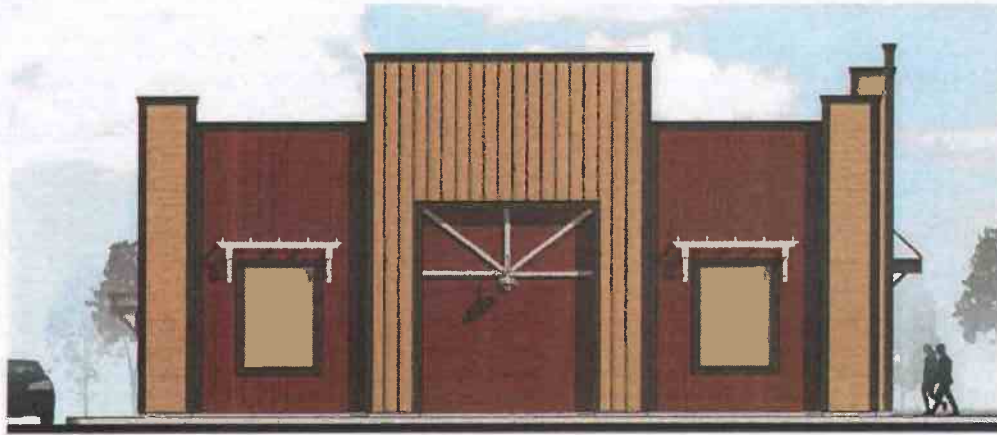


DATE: 08-21-18
JOB NO: 003.000
SCALE: AS SHOWN
DRAWN BY: JHM

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NOTE: FINISHES AND PAINT COLOR -
SEE KEYNOTES ON BLACK AND WHITE
ELEVATIONS AND MATERIAL BOARD

NORTH ELEVATION

DATE: 09-21-18
JOB NO: 000-000



EAST ELEVATION

DATE: 09-21-18
JOB NO: 000-000

139 RADIO ROAD
CORONA, CA 92719
P.O. BOX 1958
CORONA, CA 92718-1958
DIRECT (951) 260-3833
FAX (951) 260-3832



RETAL #1
EXTERIOR ELEVATIONS

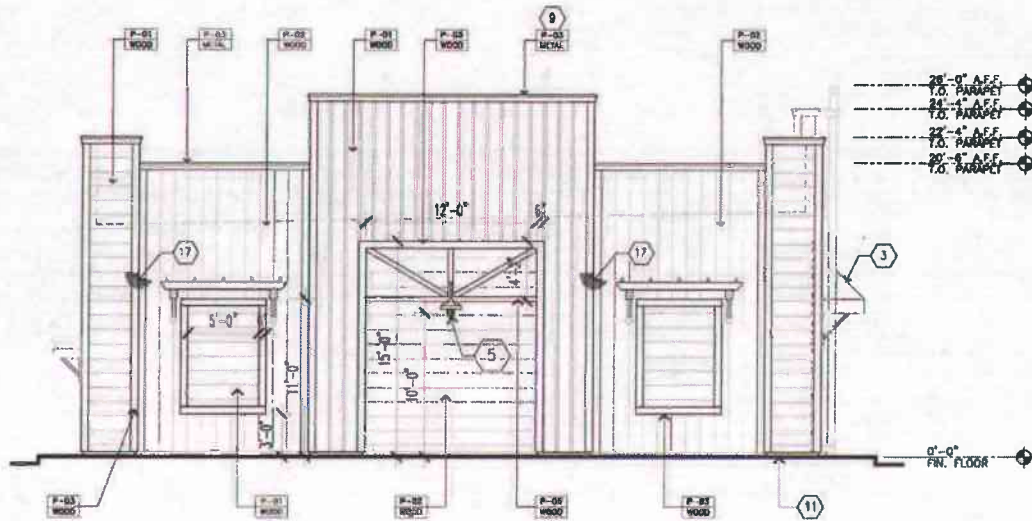
CAJALCO SQUARE LP
NEC CAJALCO ROAD + WOOD ROAD
COUNTY OF RIVERSIDE, CA

DATE	09-21-18	JOB NO	000-000
SCALE	AS SHOWN	DRAWN BY	JXC

DATE	09-21-18	JOB NO	000-000
SCALE	AS SHOWN	DRAWN BY	JXC

DRWING NO.
A2-8

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NORTH ELEVATION

SCALE 1/4" = 1'-0"

GENERAL NOTES:

SEVERAL LOCATIONS IN OTHER SHEETS SHOW ARE TO ALIGN AS CLOSELY AS POSSIBLE TO ELEVATIONS.

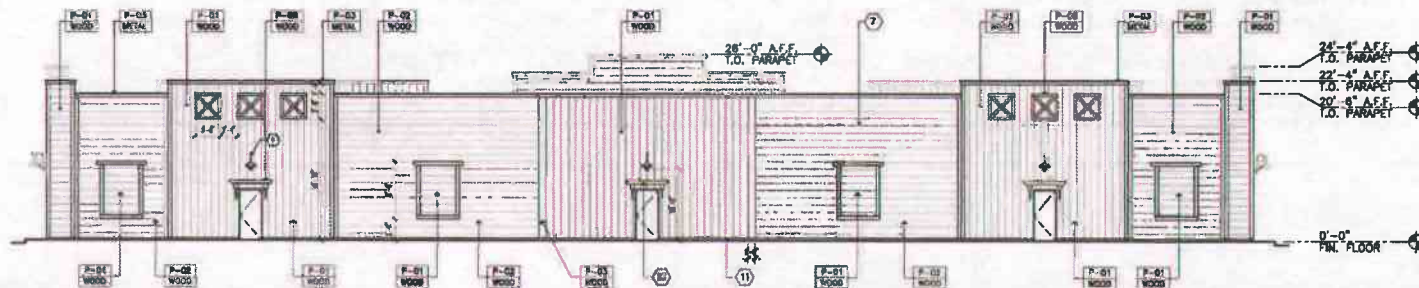
KEYNOTES:

- (1) SWING
- (2) ALUMINUM MICROFRONT
- (3) NEAR CHIPPY
- (4) INTERNALLY ILLUMINATED SIGNIFICANT WALL SIGN 48 IN. HIG. 77"
- (5) EXTERIOR LIGHTS-OUTER TO PHOTOGRAPHIC FLASH
- (6) ROOF SIP INSULATION LAYER
- (7) APPROXIMATE ROOF LINE
- (8) WOOD TRIM / RECEPTIVE WOOD BOWNS
- (9) METAL CORNER
- (10) APPROX. SIGNAGE TO BE PAINTED CONCRETE, SEE CORNERAL RECORDING
- (11) 4" METAL BASE
- (12) 6" CONCRETE CURB
- (13) HORIZONTAL & VERTICAL WOOD FINISHES
- (14) FINISH COLORING FINISHES TO MATCH BUILDING COLOR
- (15) CARRYING WOOD FINISHES PAINTED TO MATCH BUILDING COLOR
- (16) BUILDING CHANGE LOCATIONS REFER TO ROOF PLAN
- (17) BUILDING REVISIONS-REVISIONS REFER TO FLOOR PLAN
- (18) WROUGHT IRON HANG RODS PAINTED TO MATCH BUILDING COLOR
- (19) CHANGING FROM FINISH PAINTED TO MATCH BUILDING COLOR
- (20) BUILDING FROM SLAB ON GROUND FINISHES TO MATCH BLDG. COLOR
- (21) COLORING PAINTED BRUSH-BUILDING COLOR
- (22) 1/2" x 1/2" HILL-UP DOOR PAINTED MATCH TO THE BUILDING WOOD TRIMMS
- (23) BETWEEN WALL
- (24) WALL FINISH

EXTERIOR MATERIAL, FINISHES AND PAINT COLOR LEGEND - SEE MATERIAL BOARD:

- F-01 COLOR SWATCH WILLIAMS BY 2024 "VINTAGE GOLD"
- F-02 COLOR SWATCH WILLIAMS BY 2046 "BURNED BROWN"
- F-03 COLOR SWATCH WILLIAMS BY 7027 "HELL-BROOD BROWN"
- F-04 COLOR: PAINTING 1000 "GRAY"
- F-05 COLOR: DEAN SWANSON BY 634 "TODAY TO LIVE"
- F-06 COLOR: DEAN SWANSON BY 7021 "SIMPLY WHITE"
- WOOD GRAYS AND TANS
- COM-1 ALUMINUM COMPOSITE MATERIAL-PAINING PMS 1000 "ONION HUSH GLOSS"
- FINISH 7/8" CERAMIC PLAZER INSTALLED PER MFG. SPECIFICATION TEXTURED FINE SAND FINISH

NOTE: SIGNAGE SEPARATE SUBMITTAL



EAST ELEVATION

SCALE 1/4" = 1'-0"



139 MACRID ROAD
CORONA, CA 92679
P.O. BOX 1928
CORONA, CA 92676-1928
DIRECT (951) 246-2832
FAX (951) 246-2832

FETAL #1 EXTERIOR ELEVATIONS

CALVALCO SQUARE, LP
NEC CALVALCO ROAD + WOOD ROAD
COUNTY OF INVERSB, CA

DATE	JOB NO
08-27-18	000,000
SCALE	DRAWN BY
AS SHOWN	JAB

CUP
DRAWING NO. **A2-8**

DATE PLOTTED: 08/27/2018 10:20:00 AM



NOTE: FINISHES AND PAINT COLOR -
SEE KEYNOTES ON BLACK AND WHITE
ELEVATIONS AND MATERIAL BOARD

SOUTH ELEVATION

SCALE
1/8" = 1'-0"

1



WEST ELEVATION

SCALE
1/8" = 1'-0"

2

139 RADIO ROAD
CORONA, CA 92679
P.O. BOX 1958
CORONA, CA 92676-1958
DIRECT (951) 246-3932
FAX (951) 246-3932

C U P CONSULTANTS, INC.

FUTURE RETAIL #2
EXTERIOR ELEVATIONS

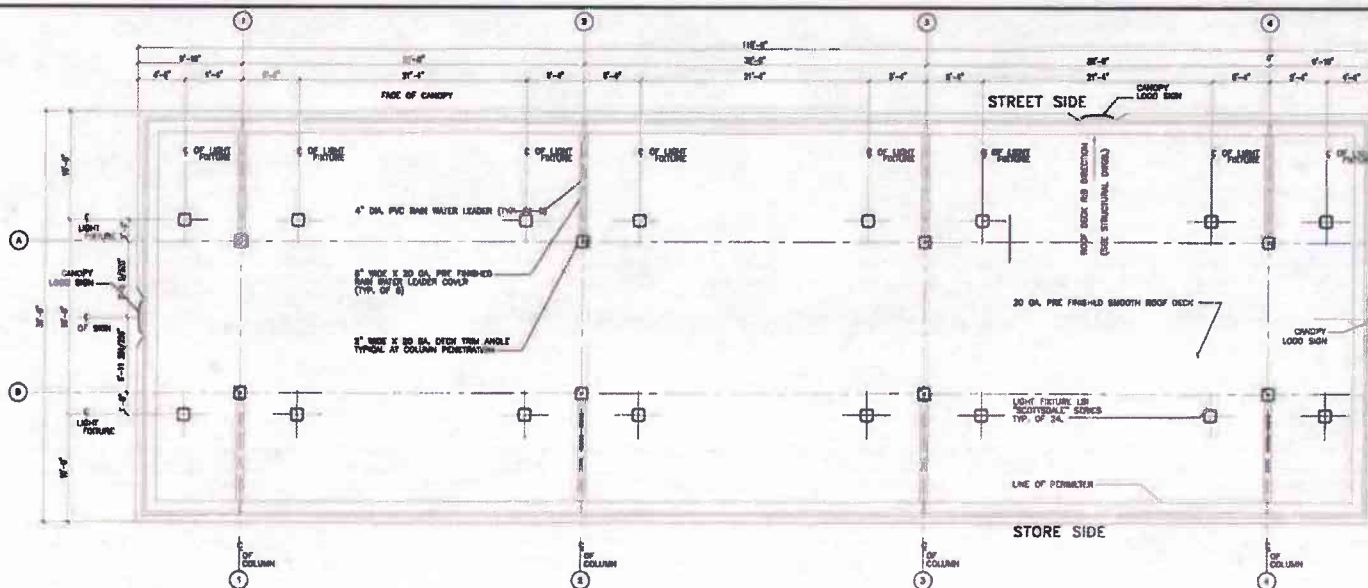
CAJALCO SQUARE LP
NEC CAJALCO ROAD + WOOD ROAD
COUNTY OF RIVERSIDE, CA

SECTION	1	2	3	4	5	6	7	8	9	10
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DATE	JOB NO.
09-21-18	000-500
SCALE	DRAWN BY
AS SHOWN	ZPC

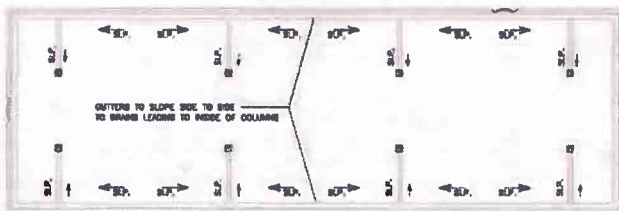
CUP
CONSULTANTS, INC.
DRAWING NO.
A2-9

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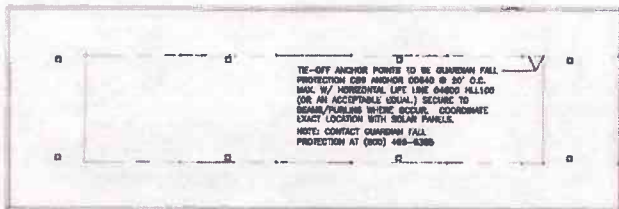
Canopy Reflected Ceiling Plan

SCALE 3/16" = 1'-0"



ROOF PLAN

SCALE 1/16" = 1'-0"



Safety System Plan

SCALE 1/16" = 1'-0"

Schedule of In-Column Requirements by Canopy Mfr.:

1-A	3" DOWNSPOUT	1" CONDUIT FOR SECURITY SYSTEM
2-A	3" DOWNSPOUT	1" CONDUIT FOR LIGHTING
3-A	3" DOWNSPOUT	1" CONDUIT FOR SECURITY SYSTEM
		1" CONDUIT FOR FUTURE SATELLITE
4-A	3" DOWNSPOUT	1" CONDUIT FOR LIGHTING
5-A	3" DOWNSPOUT	1" CONDUIT FOR LIGHTING
1-B	3" DOWNSPOUT	1" CONDUIT FOR FUTURE
2-B	3" DOWNSPOUT	
3-B	3" DOWNSPOUT	1" CONDUIT FOR SPARE
4-B	3" DOWNSPOUT	1" CONDUIT FOR LIGHTING
5-B	3" DOWNSPOUT	1" CONDUIT FOR LIGHTING

ALL COLUMNS TO HAVE 1" CONDUIT FOR CCTV CAMERA DROPS PER SIDE.

Canopy Ceiling and General Notes

- ALL CEILING DECK SHALL BE 30 GA. EMBOSSED AND PREPARED SHEET METAL WITH 3-INCH HIGH RISE AT 18 INCHES O.C. PANELS SHALL BE WATERPROOF INTERLOCKING SECTIONS CLIPPED TO CANOPY FRAME PER STRUCTURAL DRAW. OR PER MANUFACTURER'S REQUIREMENTS.
- ALL EXPOSED METAL SURFACES UNDER CANOPY, INCLUDING BUT NOT LIMITED TO, CONDUITS, DOWNSPOUT LEADERS, COVERS AND COLUMNS SHALL BE PRE-FINISHED TO MATCH CEILING DECK.
- CANOPY CONTRACTOR SHALL PROVIDE OPENINGS IN DECK FOR LIGHT FIXTURES WHICH SHALL BE PROVIDED BY OTHER AND REINSTALLED BY GENERAL CONTRACTOR.
- FASCO GRAPHICS BACKING AND FLASHING SHALL BE PROVIDED BY CANOPY CONTRACTOR. ACM GRAPHICS, BLUE TRIM, SPARK ETC ARE PROVIDED BY ANOTHER GRAPHICS CONTRACTOR UNDER SEPARATE CONTRACT UNLESS CANOPY AND GRAPHICS CONTRACTOR ARE THE SAME ENTITY.
- CANOPY CONTRACTOR IS RESPONSIBLE FOR ALL DRAINAGE AND PROTECTION FOR CANOPY ROOF REQUIREMENTS BUT NOT LIMITED TO, BUTTERS, GUTTERS, FASCO, OVERLAYS, DOWNSPOUTS AND STAIRWAY CONNECTIONS AT COLUMN BASE. IN-SIDE O.C. SHALL THEN EXTEND TO THE SITE'S DRAINAGE SYSTEM. SEE CA1-1 NOTE J1.
- THE CANOPY SHALL BE CREATED IN TWO STAGES:
 - STAGE 1: CANOPY CONTRACTOR TO FURNISH ANCHOR BOLTS AND TEMPLATES FOR GENERAL CONTRACTOR'S INSTALLATION PRIOR TO POURING FOUNDATIONS. AFTER FOUNDATIONS HAVE SET, CANOPY CONTRACTOR SHALL INSTALL COLUMNS AND SECURE THEM TO FOUNDATIONS. COLUMNS SHALL BE STABLE, PLUMB AND TRUE.
 - STAGE 2: AFTER SINK SLAB AND SUBGRADE GRAD IS OBTAINED OR EQUALS GRAD HAS BEEN INSTALLED, CANOPY CONTRACTOR SHALL DISEMPOWER BACK TO THE SITE TO COMPLETE THE CANOPY. CANOPY CONTRACTOR SHALL VERIFY THAT COLUMNS HAVE REMAINED PLUMB PRIOR TO COMMENCING CANOPY ROOF WORK.
- ALL CONDUIT INSTALLED BY CANOPY CONTRACTOR SHALL HAVE FULL ROPS AND SHALL BE ACCESSIBLE TO GENERAL CONTRACTOR'S ELECTRICIAN TO MAKE CONNECTIONS. EACH END OF CONDUIT SHALL BE TAPPED WITH INSULATED CONDUIT RUN (E.G. SALES COUNTER TO CANOPY ROOF.)



8 MFD CANOPY REFLECTED CEILING PLAN



DATE: 09-21-18
SCALE: AS SHOWN

JOB NO: 000,000
DRAWN BY: JMB

CUP DRAWING NO.

CA1-2

139 RADIO ROAD
CORONA, CA 92629
P.O. BOX 1928
CORONA, CA 92676-1928
DIRECT (951) 266-3433
FAX (951) 266-3622



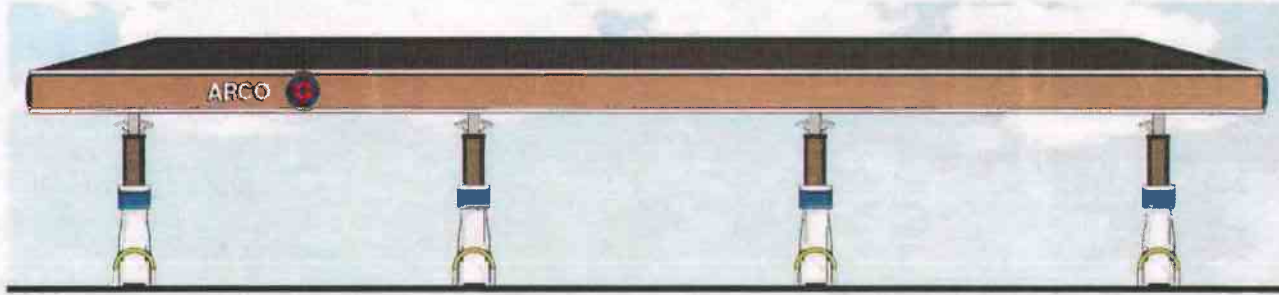
SOUTH ELEVATION

DATE: 11/17/18
SCALE: 1/4" = 1'-0"

NORTH ELEVATION

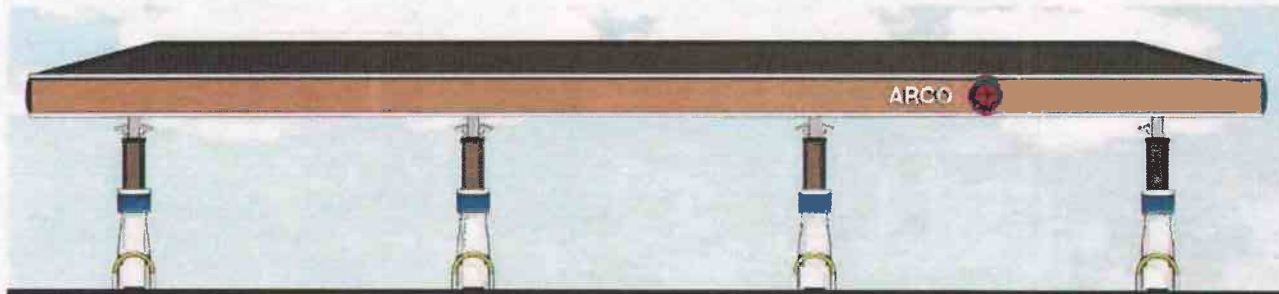


DATE: 11/17/18
SCALE: 1/4" = 1'-0"



EAST ELEVATION

DATE: 11/17/18
SCALE: 1/4" = 1'-0"



WEST ELEVATION

DATE: 11/17/18
SCALE: 1/4" = 1'-0"

133 JALISCO ROAD
CORONA, CA 92709
P.O. BOX 1956
CORONA, CA 92709-1956
DIRECT (951) 260-3833
FAX (951) 260-3832



8 MFD CANOPY
ELEVATIONS

CAJALCO SQUARE, LP
MEC CAJALCO ROAD + WOOD ROAD
COUNTY OF RIVERSIDE, CA

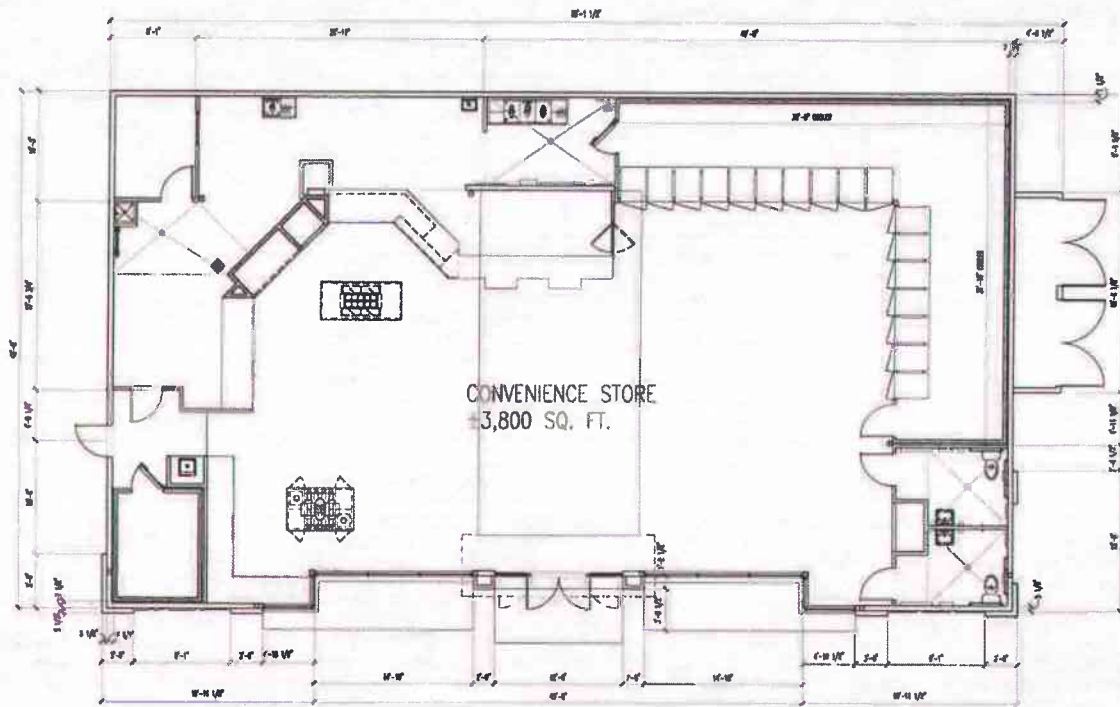
BY: [Signature]

SCALE

DATE: 09-21-18
SCALE: AS SHOWN
JOB NO: 000,000
DRAWN BY: ZXC

CUP
DRAWING NO: CA2-1

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FLOOR PLAN

CASE: CUP03775
 EXHIBIT C: Project Site Floor/Plan Plans
 PLANNER: T. Wheeler
 DATE: May 6, 2020



139 RADIO ROAD
 CORONA, CA 92879
 P.O. BOX 1058
 CORONA, CA 92878-1058
 DIRECT (951) 260-2833
 FAX (951) 260-2833



CONVENIENCE STORE
 FLOOR PLAN
 CALALCO SQUARE, LP
 NEC CALALCO ROAD + WOOD ROAD
 COUNTY OF RIVERSIDE, CA

REVISION	
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A1-1

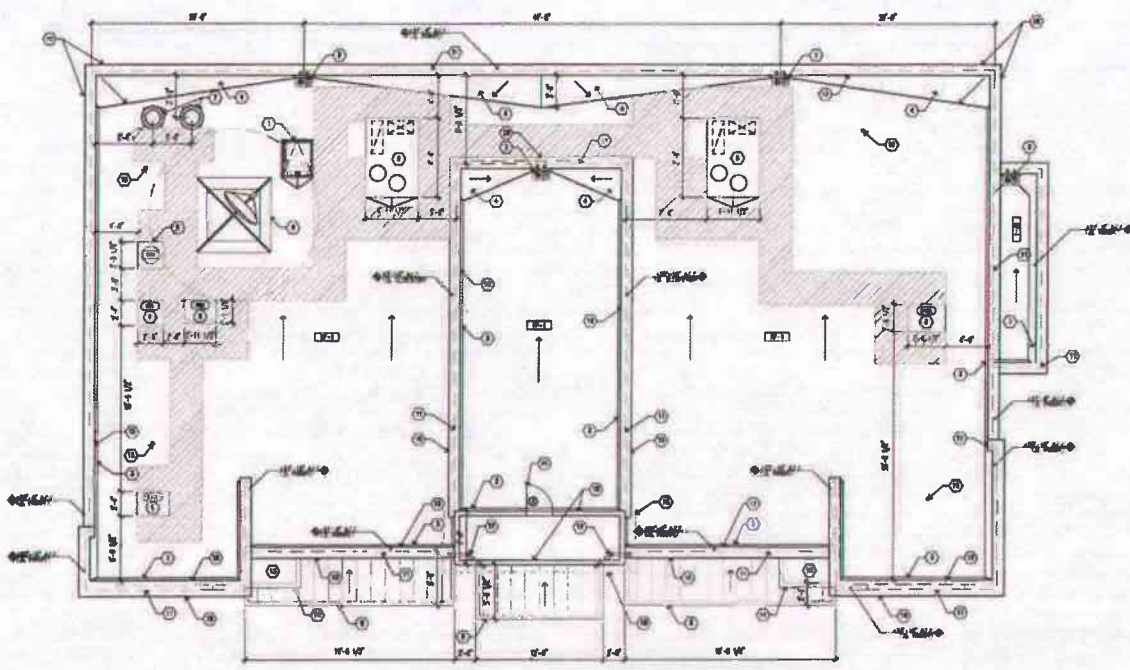
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1300 BAYVIEW ROAD
CORONA, CA 92709
P.O. BOX 8928
CORONA, CA 92709-1928
DIRECT (951) 260-3823
FAX (951) 260-3822



COMMERCE STORE
ROOF PLAN

CALIFORNIA SQUARE, LP
NEC CALIFORNIA ROAD + WOOD ROAD
COUNTY OF FRESNO, CA



ROOF PLAN

SCALE 1/8" = 1'-0"

KEYED NOTES

- 1 ROOF HATCH, REFER TO DETAILS
- 2 ROOF DRAIN AND OVERFLOW, REFER TO DETAILS
- 3 CANT STRIP, REFER TO DETAILS
- 4 TAPERED INSULATION CRUISE?
- 5 ROOF TOP UNIT, REFER TO MECHANICAL PLANS
- 6 CONDENSER, REFER TO EQUIPMENT AND ELECTRICAL PLANS
- 7 EXHAUST FAN, REFER TO MECHANICAL PLANS
- 8 METAL CANOPY BELOW
- 9 SATELLITE ON BALLASTED CURB
- 10 SHOP FORMED PRE-FINISHED METAL COPING, REFER TO DETAIL

- 11 FACE OF EXTERIOR WALL BELOW
- 12 FACE OF PARAPET WALL
- 13 METAL LID FLASHING
- 14 METAL CANOPY GUTTER
- 15 ROOF JACK, REFER TO MECHANICAL PLANS
- 16 GAS WATER HEATER FLUE, REFER TO MECHANICAL PLANS
- 17 CANOPY DOWNSPOUT
- 18 LINE OF TOWER ROOF
- 19 WORKER WALL
- 20 30"x48" ACCESS DOOR

ROOFING

- R-1 REINFORCED MECHANICALLY FASTENED .048" THICK SINGLE-PLY EPDM MEMBRANE, PRODUCT: FIRESTONE RUBBERMAID SCOMETIC ROOFING SYSTEM OR EQUIVALENT
- INSULATION PROTECTION BOARD: 3/4" OSB, PLYWOOD, OR EQUIVALENT
- ROOF INSULATION: RIGID POLYISOCYANURATE WITH A MINIMUM R-VALUE AS NOTED IN THE ENERGY CALCULATIONS, REFER TO SPECIFICATION SHEET A7-4 FOR ADDITIONAL COMPLIANCE REQUIREMENTS.

Equipment Maintenance Path

GENERAL NOTES

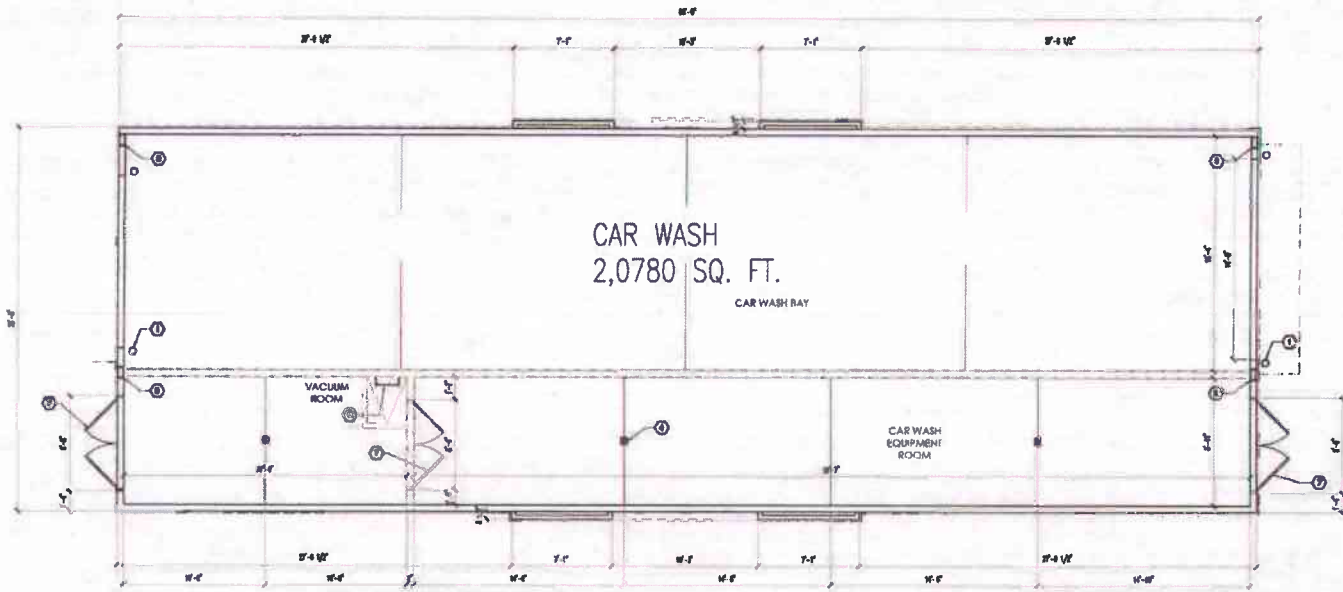
- A. REFER TO SPECIFICATION SHEETS A7.1 & A7.2 FOR ROOF SYSTEM INCLUDING GUARANTEE, DRAIN, FLASHING, AND ETC.
- B. REFER TO ROOFING SUBCONTRACTOR'S WRITTEN INSTRUCTIONS AND DETAILS FOR ROOFING SYSTEM SUBSTALLATION, CONTRACTOR TO PROVIDE COMPLETE ROOFING PACKAGE FOR MANUFACTURER'S RECOMMENDATIONS.
- C. ROOF ASSEMBLY SHALL COMPLY WITH ALL IBC AND FM CLASS "0" RATINGS INCLUDING COPING, FLASHING, PARAPET WALL, AND ROOF SYSTEM.
- D. DO NOT STOCKPILE EQUIPMENT OR MATERIALS ON THE ROOF STRUCTURE, UNLESS APPROVED IN WRITING BY THE ARCHITECT, STRUCTURAL ENGINEER, AND THE TRUSS MANUFACTURER.
- E. FOR EQUIPMENT COMPRESSOR & CONDENSER REFER TO EQUIPMENT PLAN ON SHEET 01-1 AND EQUIPMENT SCHEDULE ON SHEET 01-1.
- F. GENERAL CONTRACTOR IS TO PROVIDE TEMPORARY CONSTRUCTION PERIMETER GUARDRAIL TO COMPLY WITH CODE OF FEDERAL REGULATIONS 29 CFR 1926.501(b)(1) GUARDRAIL TO BE 42" HEIGHT AND BE ABLE TO WITHSTAND 200 POUNDS AT TOP EDGE.
- G. REFER TO MECHANICAL PLANS FOR VENT PIPE PENETRATIONS AND CURB DETAILS. ALL ROOF PENETRATIONS SHALL BE THROUGH THE CURB, UNLESS NOTED OTHERWISE.
- H. PARAPET ADJACENT TO MECHANICAL EQUIPMENT / ROOF ACCESS TO BE MINIMUM 42" HIGH WITHIN 10 FEET OF ROOF EDGE.

DATE 08-21-18 JOB NO 006,000
SCALE AS SHOWN DRAWN BY JSM

CUP DRAWING NO. A1-2

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KEYED NOTES

- ① 6" CONCRETE BOLLARD AT THIS LOCATION (TOP OF 4)
 - ② NOT USED
 - ③ NOT USED
 - ④ FLOOR DRAIN
 - ⑤ COLUMN
 - ⑥ NOT USED
 - ⑦ 2070 LAMINATED METAL DOUBLE DOORS
- CARRISAN RECEIVED BOARDS BY OTHERS PER CSD 110-02612
 CARRISAN 82541 BOARD BEYOND BY OTHERS PER CSD 110-216.1
 SEE REVISION #01 ON THIS PLAN, SHEET A1-1
 CARRISAN BEVERLY COUNTY COURT METER BY OTHERS - SEE REVISION #17
 ON THIS PLAN, SHEET J01-1
 ⑧ ROOF ACCESS HATCH AND LADDER SEE DETAIL
 LINE OF 6" CURB LOCATION SEE THIS PLAN, SHEET A0-1,
 REVISION #01.

139 RADIO ROAD
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 FAX (951) 260-2832



CAR WASH FLOOR PLAN
 CAJALCO SQUARE, LP
 850 CAJALCO ROAD & WOOD ROAD
 COUNTY OF RIVERSIDE, CA

NO.	REVISION
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DATE: 08-21-10
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 JOB NO: 000.000
 DRAWN BY: JAH

CUP

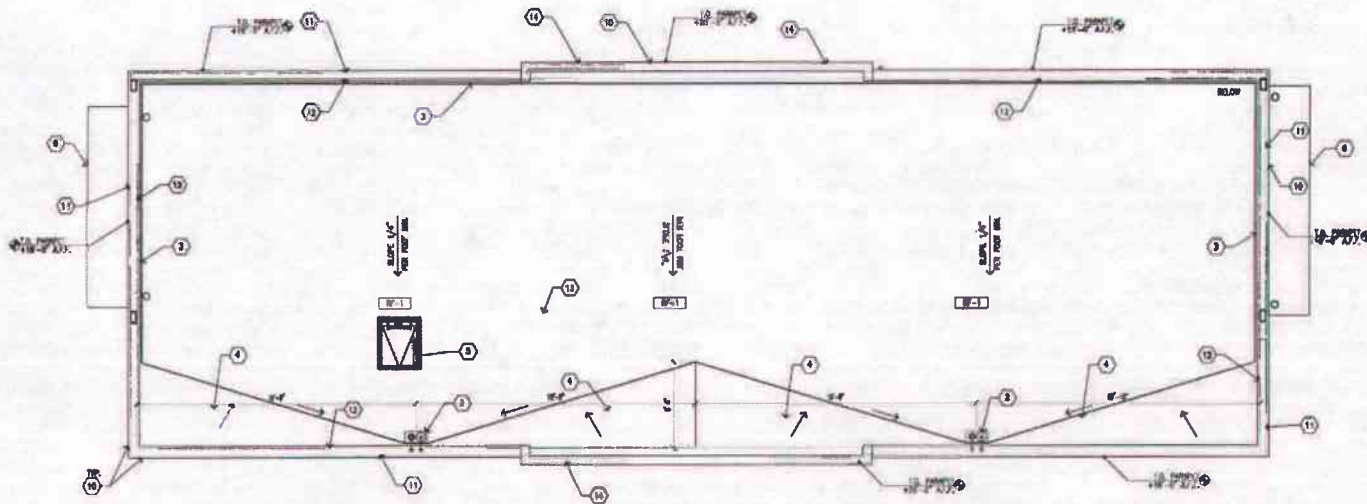
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A1-3

FLOOR PLAN

1

18" x 24" (457mm x 609mm) Plot Size - 1/8" = 1'-0" Scale - 11/10/2014



ROOF PLAN

DATE: 08-21-18
 DRAWN BY: [Signature]
 1

KEYED NOTES:

- ① ROOF ACCESS HATCH AND LADDER
- ② ROOF DRAIN AND OVERFLOW
- ③ GUT DRAIN FOR DECK
- ④ TYPICAL INSULATION CHECKOUT
- ⑤ ROOF HATCH, PROVIDE 2x4 SOFT SURROUNDING ROOF ACCESS ABOVE APPLY 7" STP, BOARD AND SMOOTH FASH ALL OVER DECK.
- ⑥ CRUFTY
- ⑦ NOT USED
- ⑧ NOT USED
- ⑨ NOT USED
- ⑩ SHIP FORMER PRE-FINISHED METAL COPING, REFER TO
- ⑪ FACE OF PARAPET EXTERIOR WALL
- ⑫ FACE OF PARAPET WALL
- ⑬ WALL BELIEF
- ⑭ POP-OUT WALL BELOW

ROOFING

REINFORCED MECHANICALLY FASTENED 3/4" THICK
 SINGLE-PLY EPDM MEMBRANE,
 PROVIDE PROTECTIVE SUBSTRATE ECONOMY ROOFING
 SYSTEM OR APPROVED
 INSULATION PROTECTION BOARD: 7/8" OSB, PLYWOOD, OR
 EQUIVALENT.
 ROOF INSULATION: RIB POLYISOCYANURATE WITH A
 DENSITY 8 POUNDS PER CUBIC FOOT IN THE DESIGN
 OCCUPANCY. REFER TO SPECIFICATION SHEET 07-1 FOR
 ADDITIONAL COMPLIANCE REQUIREMENTS.

1835 BRAND ROAD
 CORONA, CA 92709
 P.O. BOX 1898
 CORONA, CA 92708-1898
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 FAX (951) 280-3832



**CAR WASH
 ROOF PLAN**

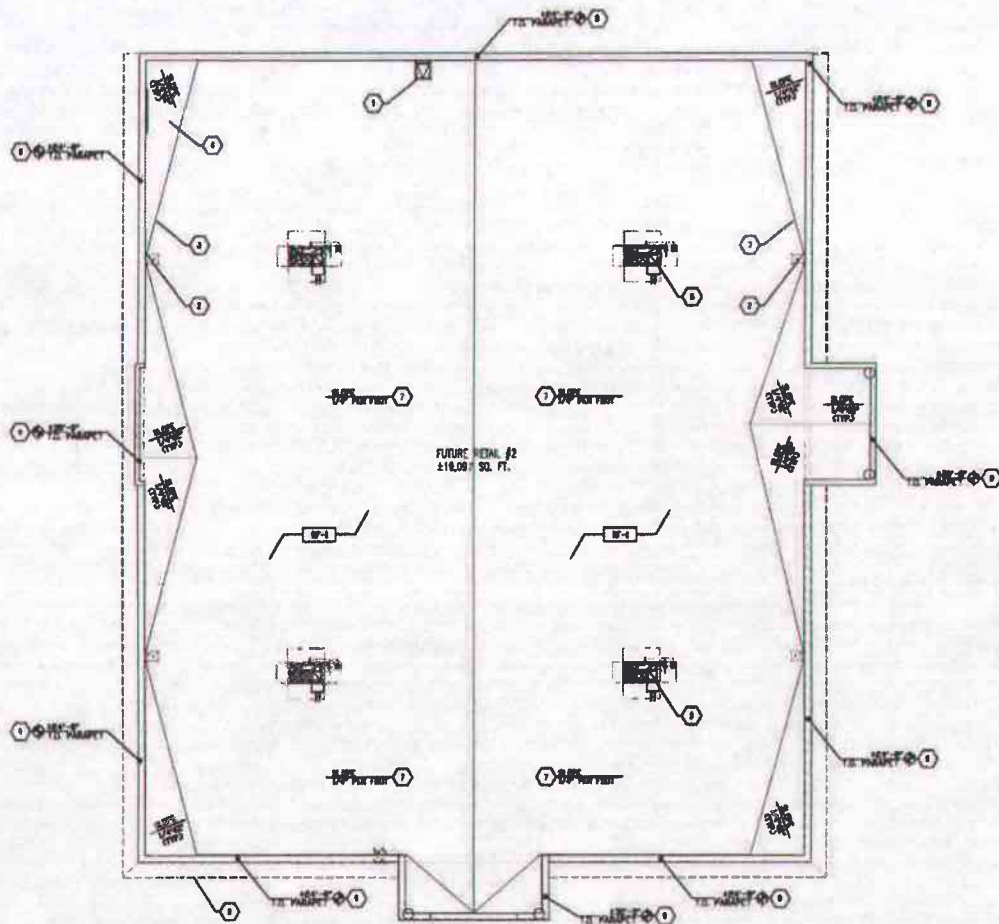
CALALCO SQUARE LP
 NEC CALALCO ROAD WOOD ROAD
 COUNTY OF RIVERSIDE, CA



DATE: 08-21-18
 DRAWN BY: [Signature]

CUP
 DRAWING NO.
A1-4

10/16/2010 10:00 AM 10/16/2010 10:00 AM 10/16/2010 10:00 AM



KEYED NOTES

- ① ROOF HATCH
- ② ROOF DEBRIS AND OVERFLOW
- ③ GANTT STRIP
- ④ TAPERED INSULATION OROCKET
- ⑤ ROOFING UNIT
- ⑥ ROOF LIFT
- ⑦ ROOF SLOPE
- ⑧ METAL CANOPY BELOW
- ⑨ METAL COPING

ROOFING

①-1 REINFORCED MECHANICALLY FASTENED .845" THICK
 SINGLE-PLY EPDM MEMBRANE
 PRODUCT'S FURSTONE RUBBERMASS COORBITIC ROOFING
 SYSTEM OR APPROVED
 INSULATION PROTECTION BOARD 1/2" OSB, PLYWOOD,
 OR EQUIVALENT
 ROOF INSULATION: RIBS POLYISOCYANURATE WITH A
 MINIMUM R-VALUE AS NOTED IN THE ENERGY
 CALCULATIONS. REFER TO SPECIFICATION SHEET A7-4
 FOR ADDITIONAL COMPLIANCE REQUIREMENTS.

139 RANCHO ROAD
 CORONA, CA 92679
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 CORONA, CA 92676-1956
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 FAX (951) 260-3832

**FUTURE RETAIL #2
ROOF PLAN**

CAJALCO SQUARE, LP
 MEC CAJALCO ROAD + WOOD ROAD
 COUNTY OF RIVERSIDE, CA

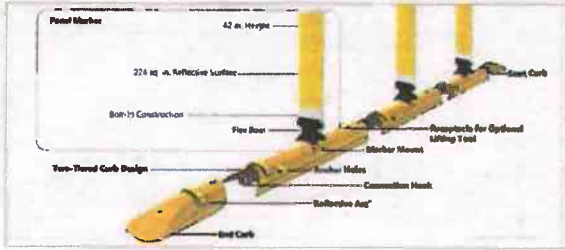
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10-21-10	000,000
SCALE	DRAWN BY
AS SHOWN	JM



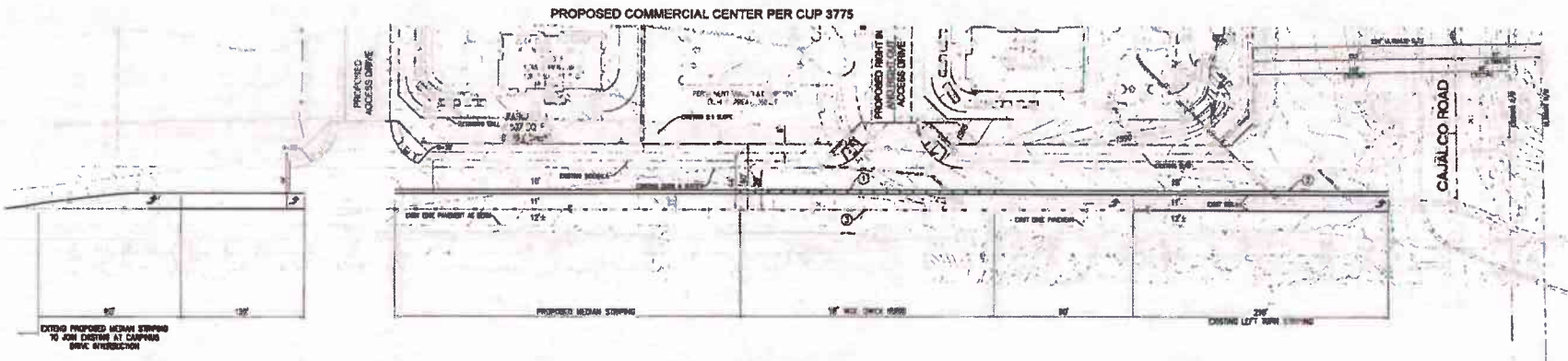
ROOF PLAN

SHEET
 1/2" = 1'-0" 1

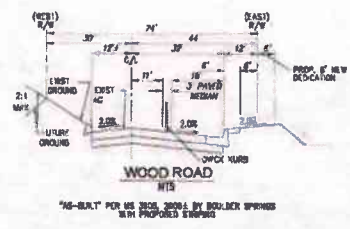
CUP
 DIVISION NO.
A1-10



① TYPICAL DETAIL



WOOD ROAD



CONSTRUCTION NOTES	
①	INSTALL ORANGE PLUMB MEGA MARKER SYSTEM
②	DOUBLE YELLOW PAVED MEDIAN PER CALTRANS DETAIL 28
③	LANE LINE PER CALTRANS DETAIL 27C

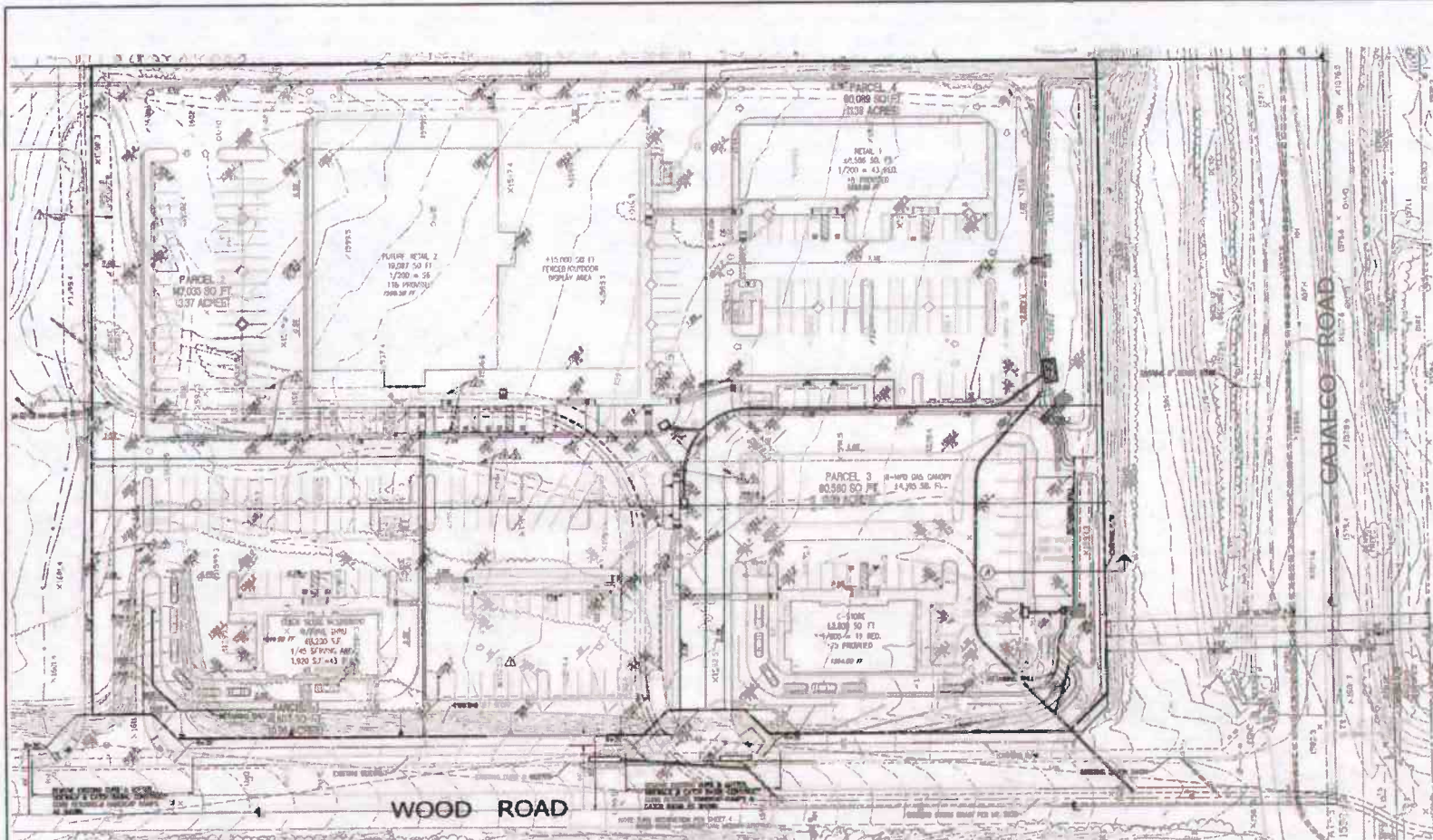


CASE: CUP03775
EXHIBIT F: Conceptual Median Exhibit
PLANNER: T. Wheeler
DATE: May 6, 2020

KA ENGINEERING
 LAND PLANNING
 SURVEYING

307 N. BROADWAY
 SUITE 117
 CORRAL CORRAL, CALIFORNIA 95031
 TEL: (925) 279-9900
 FAX: (925) 279-4300

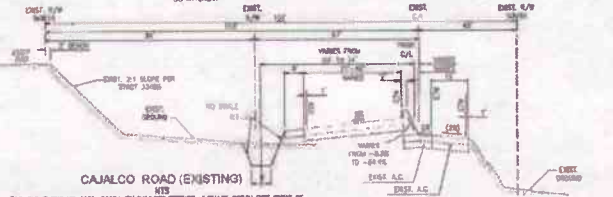
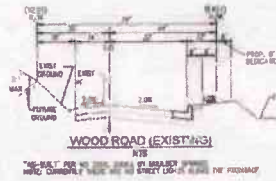
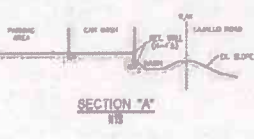
CUP 3775
 PROPOSED COMMERCIAL CENTER
 WOOD ROAD - CONCEPTUAL MEDIAN
 STRIPING



- EXISTING EASEMENT NOTES**
- ▲ CONVEYANCE OF EASEMENT, 20 FEET WIDE, FOR HIGHWAY PURPOSES IN FAVOR OF THE COUNTY OF RIVERSIDE, RECORDING BOOKS 13, 2000 AS SET. REC. NO. 2000-177528. CA.
 - ▲ EASEMENT GRANT UNDER EASEMENT IN FAVOR OF RIVERSIDE COUNTY ROAD CONTROL AND WATER CONSERVATION DISTRICT, RECORDING BOOKS 13, 2000 AS SET. REC. NO. 2000-177528. CA.
 - ▲ EASEMENT GRANT UNDER EASEMENT, 20 FEET WIDE, IN FAVOR OF THE COUNTY OF RIVERSIDE COUNTY ROAD CONTROL AND WATER CONSERVATION DISTRICT, RECORDING BOOKS 13, 2000 AS SET. REC. NO. 2000-177528. CA.
 - ▲ CONVEYANCE OF EASEMENT, 20 FEET WIDE, RECORDED HEREIN.
 - ▲ CONVEYANCE OF EASEMENT FOR PUBLIC UTILITY PURPOSES, 20 FEET IN WIDTH, TOGETHER WITH 20 FEET OF MARGINS AND TOLERANCE FOR EASEMENT, RECORDED HEREIN.

LEGAL DESCRIPTION

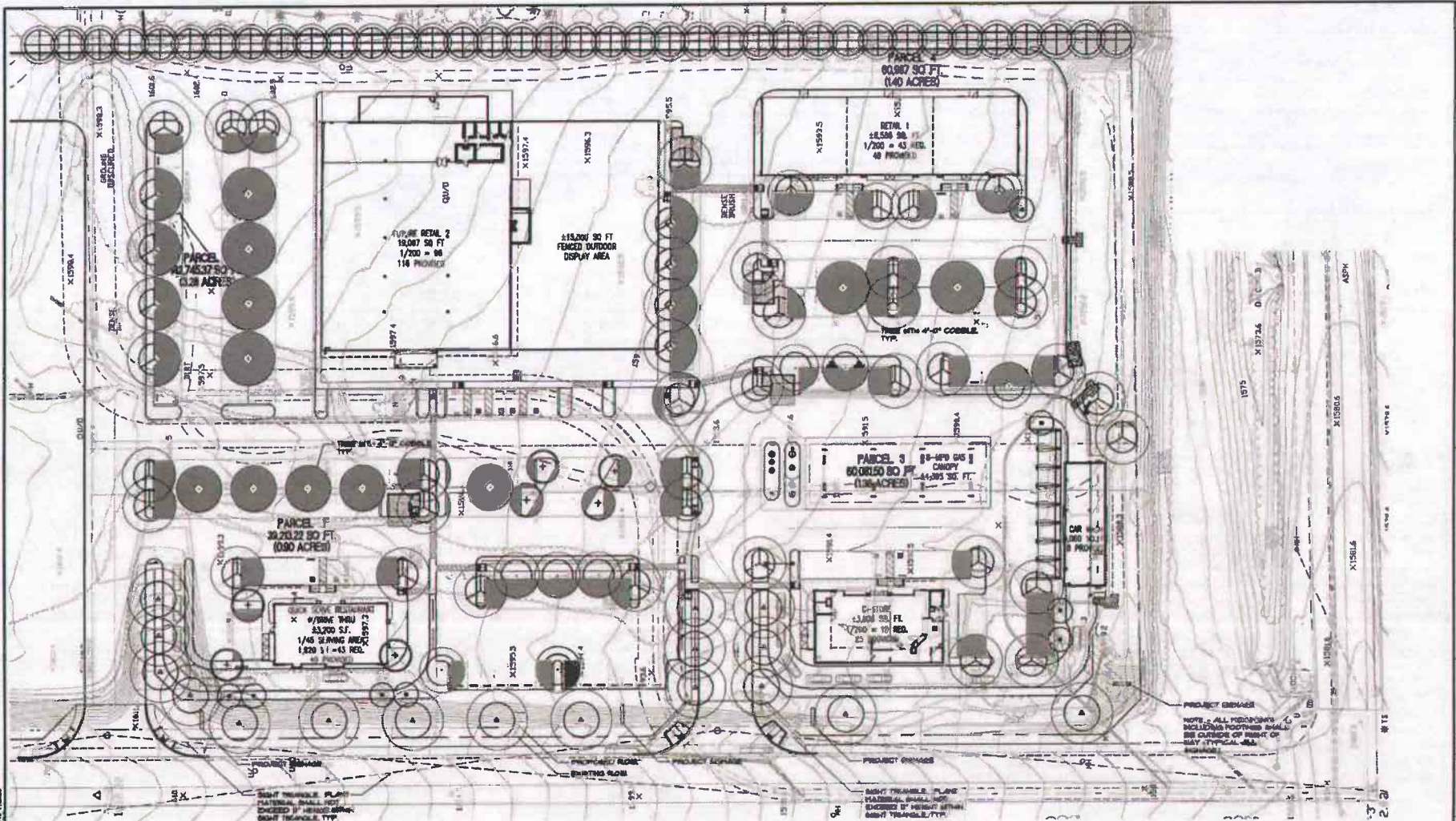
LOTS 12, 1 AND 3 OF PARCEL MAP NO. 20214 OF SECTION 34, TOWNSHIP 35N, RANGE 12E, S20E, COUNTY OF RIVERSIDE, CALIFORNIA, LOCATED IN SECTION 34, TOWNSHIP 35N, RANGE 12E, S20E.



CASE: CUP03775
EXHIBIT G: Preliminary Grading Plan
PLANNER: T. Wheeler
DATE: May 6, 2020



ALL INFORMATION CONTAINED HEREIN IS UNCLASSIFIED EXCEPT WHERE SHOWN OTHERWISE. THIS INFORMATION IS UNCLASSIFIED DATE 05/06/20 BY 60322 UCBAW/STP/STP	COUNTY OF RIVERSIDE BUILDING AND SAFETY APPROVED BY:	COUNTY OF RIVERSIDE SEAL DATE:	KA ENGINEERING 257 N. SHARDON STREET SUITE 117 CORONA, CALIFORNIA 92620 TEL: (951) 270-5800 FAX: (951) 270-5808	PROJECT NO.: SHEET NO.:	CUP 3775 COUNTY OF RIVERSIDE PRELIMINARY GRADING PLAN WOOD ROAD & CAJALCO ROAD	SHEET NO. 1 OF 4 SHEETS
	PREPARED BY: DONALD H. BARK CHECKED BY:	DATE:	SCALE: AS SHOWN	DRAWN BY:	DATE:	PROJECT NO.:



PLANT PALETTE				MILCO REGION 4		5 YEAR GROWTH	
SYM	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS	WATER USE		CANOPY
TREES							
○	RAV LARIX	AFRICAN SPRUCE	36" BOX	STANDARD	LOW	26'-0"	
○	LARIX PRINCEPIS	GRAPE HYDRS	36" BOX	STANDARD	MODERATE	16'-0"	
○	PAIS HALEPENSO	ALEPPO PINE	36" BOX	NATURAL	LOW	26'-0"	
○	PLATANUS ACERIFOLIA 'YANWOOD'	YANWOOD PLANE TREE	36" BOX	STANDARD	MODERATE	20'-0"	
○	PYRUS CALLERYANA 'BRANDRED'	BRANDRED PEAR	36" BOX	STANDARD	MODERATE	22'-0"	
○	QUERCUS LIX	HOLLY OAK	48" BOX	STANDARD	LOW	48'-0"	

SHADING STUDY		
PARCEL	NO. OF PARKING SPACES	AREA
TOTAL PARKING	792 SPACES	48,742 SF.
SHADING REQUIRED		22,871 SF. 46%
SHADING PROVIDED		22,887 SF. 46.3%

PARKING LOT SHADING STUDY

GRAPHIC SCALE: 1" = 30'-0"

138 RADIO ROAD
CORONA, CA 92719
P.O. BOX 1388
CORONA, CA 92718-1388
DIRECT (951) 260-3822
FAX (951) 260-3822



PARKING LOT SHADING STUDY

CALICO SQUARE LP
NEC CALICO ROAD + WOOD ROAD
COUNTY OF IMPERIAL, CA

DATE	JOB NO.
SCALE	DRAWN BY
OUT	
DRAWING NO.	
L1-2	

MATERIAL BOARD

**NEC CAJALCO ROAD & WOOD ROAD
COUNTY OF RIVERSIDE, CA**

CASE: CUP03775
EXHIBIT M: Project Color & Material Board
PLANNER: T. Wheeler
DATE: May 6, 2020



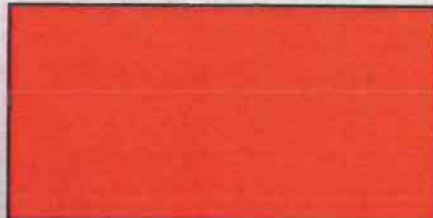
P-1 : COLOR SHERWIN WILLIAMS SW9024
"VINTAGE GOLD"



P-2 : COLOR SHERWIN WILLIAMS SW3045
"RUSSET BROWN"



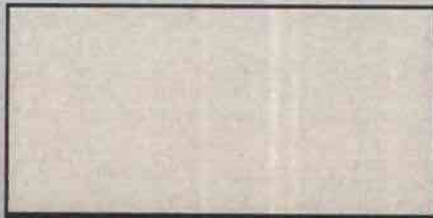
P-3 : COLOR SHERWIN WILLIAMS SW7027
"WELL-BRED BROWN"



P-4 : COLOR PANTONE 166C "ORANGE"



P-5 : DUNN EDWARDS DET 634
"DOWNING TO EARTH"



P-6: SHERWIN WILLIAMS SW 7021
"SIMPLE WHITE"

CAJALCO

WOOD ROAD



138 RADIO ROAD
CORONA, CA 92879
P.O. BOX 1988
CORONA, CA 92878-1988
DIRECT (951) 280-3833
FAX (951) 280-3832

CASE: CUP03775
 EXHIBIT S: Project Signage Plans
 PLANNER: T. Wheeler
 DATE: May 6, 2020



F SIGN-F: MONUMENT PRICE GAS STATION SIGN
 1/2" = 1'-0"



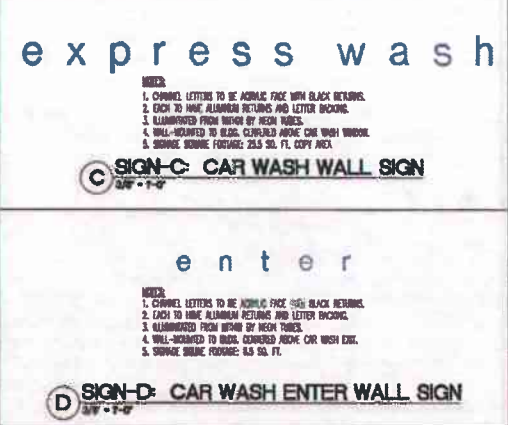
A SIGN-A: ARCO SPARK AND CHANNEL LETTERS
 1/2" = 1'-0"



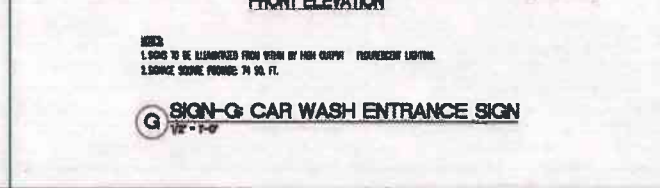
B SIGN-B: AM/PM CHANNEL LETTERS
 1/2" = 1'-0"



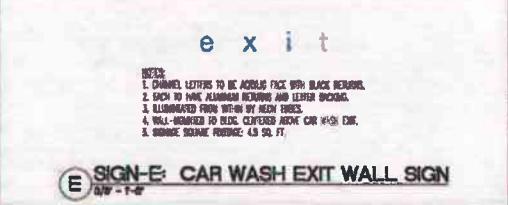
C SIGN-C: CAR WASH WALL SIGN
 1/2" = 1'-0"



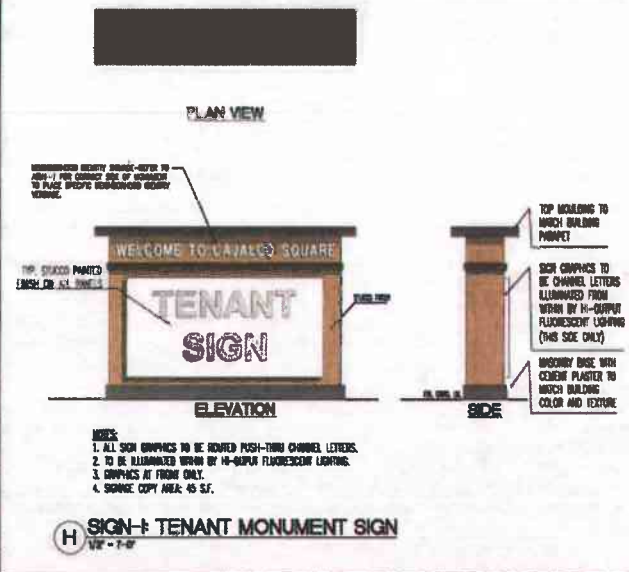
D SIGN-D: CAR WASH ENTER WALL SIGN
 1/2" = 1'-0"



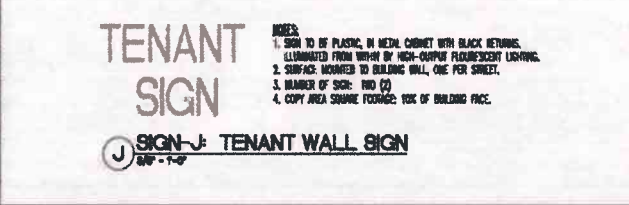
G SIGN-G: CAR WASH ENTRANCE SIGN
 1/2" = 1'-0"



E SIGN-E: CAR WASH EXIT WALL SIGN
 1/2" = 1'-0"



H SIGN-H: TENANT MONUMENT SIGN
 1/2" = 1'-0"



J SIGN-J: TENANT WALL SIGN
 1/2" = 1'-0"

359 MADRID ROAD
 CORONA, CA 92679
 P.O. BOX 1928
 CORONA, CA 92676-1928
 DIRECT (951) 260-3033
 DIRECT FAX (951) 260-3032



SIGNAGE DETAILS

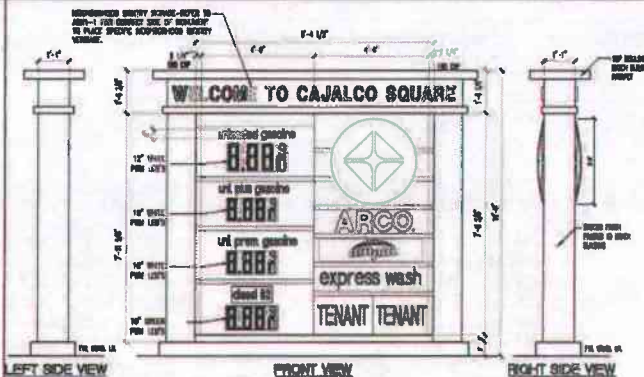
CAVALCO SQUARE, 1/2
 359 MADRID ROAD
 CORONA, CA 92679



DATE	JOB NO.
08-21-18	000,000
SCALE	DRAWN BY
AS SHOWN	

SIGN

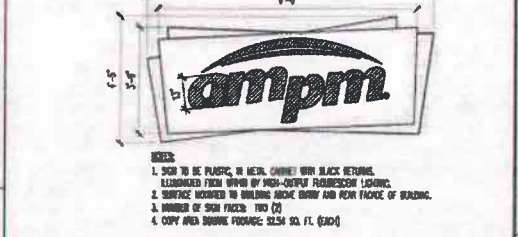
ASNT-2



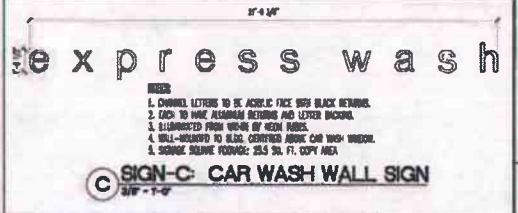
F SIGN-F: MONUMENT PRICE GAS STATION SIGN
 14'-0" x 7'-4 1/2"



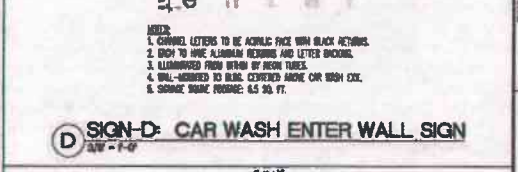
A SIGN-A: ARCO SPARK AND CHANNEL LETTERS
 7'-0" x 7'-0"



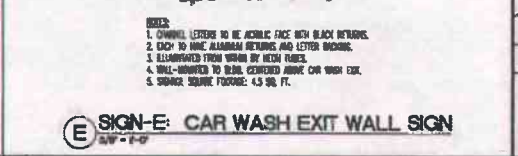
B SIGN-B: AM/PM CHANNEL LETTERS
 7'-11 1/2" x 5'-0"



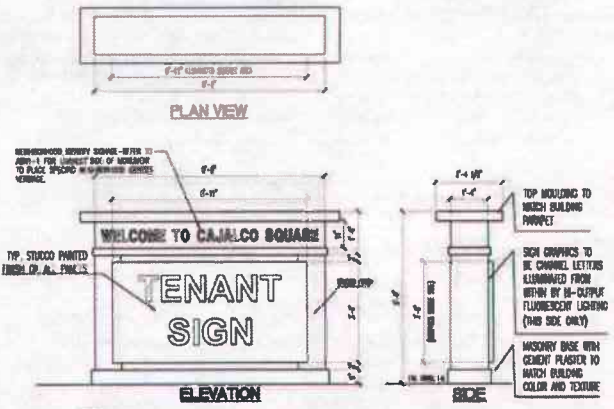
C SIGN-C: CAR WASH WALL SIGN
 14'-0" x 4'-0"



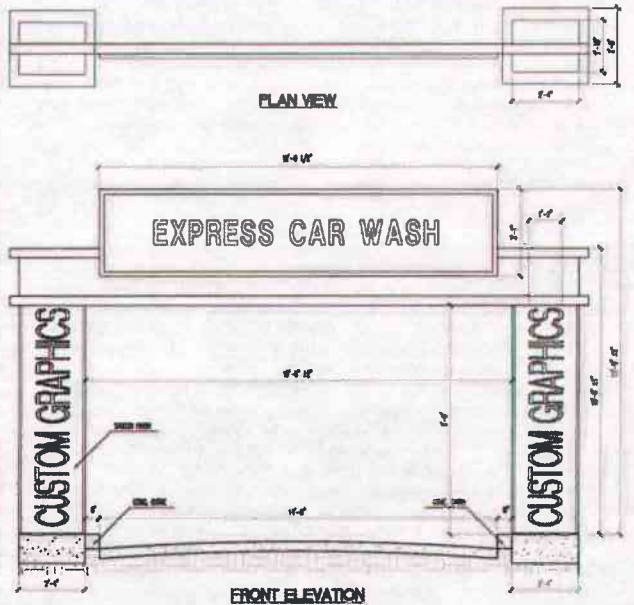
D SIGN-D: CAR WASH ENTER WALL SIGN
 14'-0" x 4'-0"



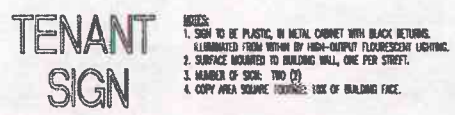
E SIGN-E: CAR WASH EXIT WALL SIGN
 14'-0" x 4'-0"



H SIGN-H: TENANT MONUMENT SIGN
 8'-0" x 4'-0"



G SIGN-G: CAR WASH ENTRANCE SIGN
 14'-0" x 4'-0"



J SIGN-J: TENANT WALL SIGN
 14'-0" x 4'-0"

130 BACDIO ROAD
 CORONA, CA 92679
 P.O. BOX 1558
 CORONA, CA 92674-1558
 DIRECT (951) 260-3636
 FAX (951) 260-3636

STORAGE DETAILS
 CAJALCO SQUARE, LP
 NEC CAJALCO ROAD - WOOD ROAD
 COUNTY OF RIVERSIDE, CA

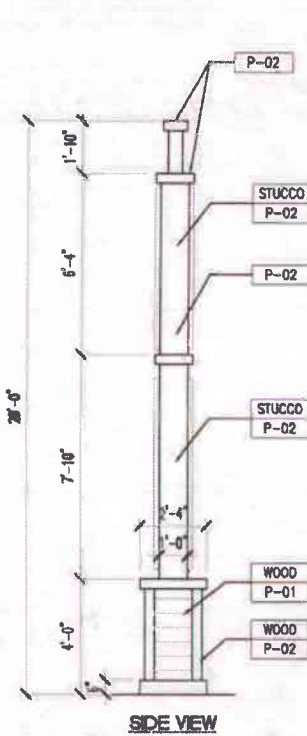
NO.	DATE	JOB NO.
1	08-21-79	000,000
2		BROKEN BY
3		AS SHOWN

DATE 08-21-79
 JOB NO. 000,000
 SCALE AS SHOWN
 DRAWING NO. ASN1-2

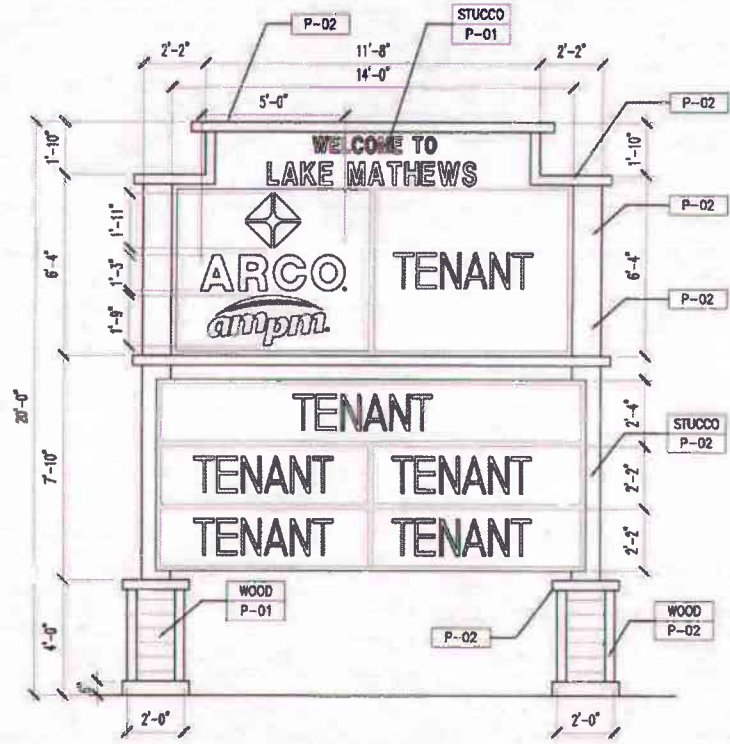
ALL SIGN GRAPHICS TO BE INSTALLED FROM WITHIN WITH HIGH OUTPUT FLUORESCENT LIGHTING.



M SIGN-M: PYLON SIGN COLOR DETAIL
1/8" = 1'-0"



SIDE VIEW



M SIGN-M: PYLON SIGN
1/8" = 1'-0"

- P-01** COLOR: SHERWIN WILLIAMS SW 9024 "VINTAGE GOLD"
- P-02** COLOR: COLOR-SHERWIN WILLIAMS SW 7027 "WELL-BRED BROWN"
- WOOD** MATERIAL: SIDINGS AND TRIM
- STUCCO** MATERIAL: STUCCO FINISH

138 RADIO ROAD
CORONA, CA 92679
P.O. BOX 1998
CORONA, CA 92679-1998
DIRECT (951) 380-3833
FAX (951) 380-3832



PYLON SIGN

CAJALCO SQUARE, LP
NEC CAJALCO ROAD & WOOD ROAD
COUNTY OF RIVERSIDE, CA

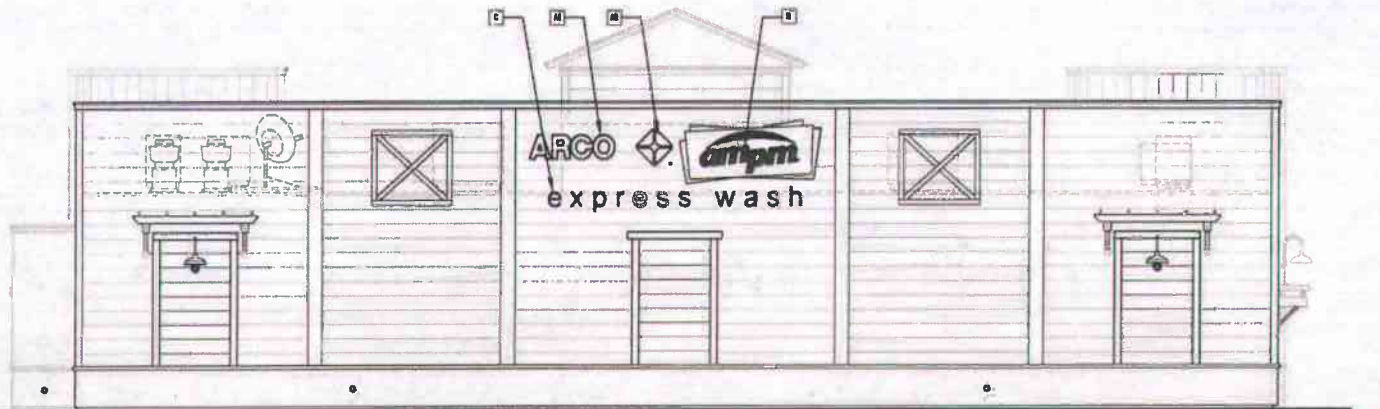
DATE	JOB NO.
09-21-18	000.000
SCALE	DRAWN BY
AS SHOWN	JBC

SIGN

ASNT-3

11/15/18 11:45 AM

10/10/2018 10:00 AM 10/10/2018 10:00 AM 10/10/2018 10:00 AM 10/10/2018 10:00 AM 10/10/2018 10:00 AM 10/10/2018 10:00 AM 10/10/2018 10:00 AM 10/10/2018 10:00 AM 10/10/2018 10:00 AM 10/10/2018 10:00 AM



WEST ELEVATION

SCALE 1/4" = 1'-0" 1



EAST ELEVATION

SCALE 1/4" = 1'-0" 2

SIGNAGE KEYNOTES

- A ALUMINUM SIGN BOARD (30 SQ. FT.)
- B LAMINATED GLASS SIGN (24 SQ. FT.)
- C SIGN BOARD, LETTERS (24 SQ. FT. COPY AREA)
- D CAR WASH WALL SIGN (24 SQ. FT. COPY AREA)
- E CAR WASH SIGN WALL SIGN (24 SQ. FT. SIGN)
- F CAR WASH SIGN WALL SIGN (24 SQ. FT. SIGN)
- G CAR WASH SIGN WALL SIGN (24 SQ. FT. SIGN)
- H CAR WASH SIGN WALL SIGN (24 SQ. FT. SIGN)
- I CAR WASH SIGN WALL SIGN (24 SQ. FT. SIGN)
- J CAR WASH SIGN WALL SIGN (24 SQ. FT. SIGN)
- K CAR WASH SIGN WALL SIGN (24 SQ. FT. SIGN)
- L CAR WASH SIGN WALL SIGN (24 SQ. FT. SIGN)
- M CAR WASH SIGN WALL SIGN (24 SQ. FT. SIGN)
- N CAR WASH SIGN WALL SIGN (24 SQ. FT. SIGN)
- O CAR WASH SIGN WALL SIGN (24 SQ. FT. SIGN)
- P CAR WASH SIGN WALL SIGN (24 SQ. FT. SIGN)
- Q CAR WASH SIGN WALL SIGN (24 SQ. FT. SIGN)
- R CAR WASH SIGN WALL SIGN (24 SQ. FT. SIGN)
- S CAR WASH SIGN WALL SIGN (24 SQ. FT. SIGN)
- T CAR WASH SIGN WALL SIGN (24 SQ. FT. SIGN)
- U CAR WASH SIGN WALL SIGN (24 SQ. FT. SIGN)
- V CAR WASH SIGN WALL SIGN (24 SQ. FT. SIGN)
- W CAR WASH SIGN WALL SIGN (24 SQ. FT. SIGN)
- X CAR WASH SIGN WALL SIGN (24 SQ. FT. SIGN)
- Y CAR WASH SIGN WALL SIGN (24 SQ. FT. SIGN)
- Z CAR WASH SIGN WALL SIGN (24 SQ. FT. SIGN)

138 6400 ROAD
 CORONA, CA 92719
 P.O. BOX 1128
 CORONA, CA 92718-1128
 DIRECT (951) 260-3822
 FAX (951) 260-3822

**CONVENIENCE STORE
 SIGNAGE**
 CALIFORNIA SQUARE LP
 100 CALIFORNIA ROAD + WOOD ROAD
 COUNTY OF RIVERSIDE, CA

NO.	DATE	BY
1	10/10/18	AS SHOWN
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DATE	JOB NO.
10-21-18	000,000
SCALE	DRAWN BY
AS SHOWN	

SIGN

CONTRACT NO.

ASN2-1



WEST ELEVATION

SCALE: 1/4" = 1'-0" 1



EAST ELEVATION

SCALE: 1/4" = 1'-0" 2

SIGNAGE KEYNOTES

- A ILLUMINATED AND CHANNEL LETTERS (24 IN. FT.)
- B ALUMINUM CHANNEL LETTERS (24 IN. FT.)
- C PLATE CHANNEL LETTERS (24 IN. FT., COPY AREA)
- D ONE SIDE WALL SIGN (24 IN. FT., COPY AREA)
- E ONE SIDE WALL SIGN (24 IN. FT., NO COPY)
- F ONE SIDE WALL SIGN (24 IN. FT., NO COPY)
- G MOUNTED WALL ONE SIDE SIGN (24 IN. FT.)
- H ONE SIDE CHANNEL SIGN (24 IN. FT., COPY AREA)
- I ONE SIDE "T" ONE SIDE "L"
- J TOWER SIGNAGE SIGN (24 IN. FT., PRICE POSITION NOT COVERED BY SIGN)
- K ONE SIDE
- L TOWER WALL SIGN (1/2 OF FACE OF WALL - 100 IN. FT. WALL)
- M SIGNAGE SIGNAGE SIGN (24 IN. FT., NO COPY)
- N ONE SIDE WALL SIGN (24 IN. FT.)
- O PLATE SIGN, SEE SHEET SIGN-3

139 MAJADO ROAD
CORONA, CA 92675
P.O. BOX 1558
CORONA, CA 92674-1558
DIRECT (951) 285-3832
FAX (951) 285-3832

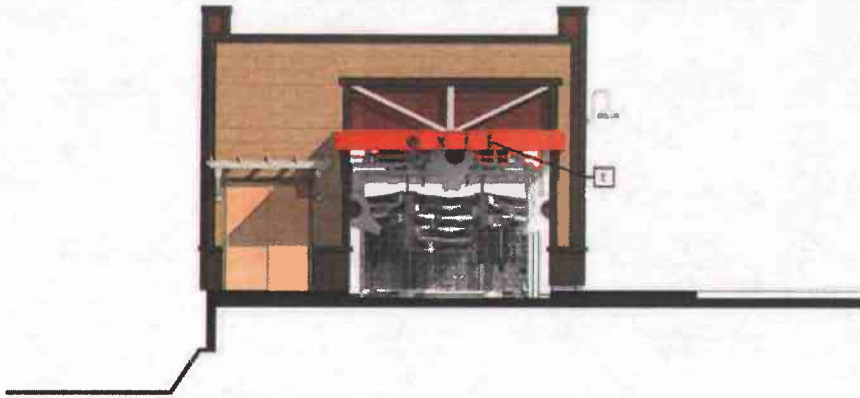


COMMERCE STORE
SIGNAGE

CAJALCO SQUARE, LP
NEC CAJALCO ROAD + WOOD ROAD
COUNTY OF INDIAN WELLS, CA

DATE	2010 02
08-21-10	COLLADO
SCALE	SHOWN BY
AS SHOWN	XIC

SIGN
DRAWING NO.
ASN2-1



EAST ELEVATION

DATE: 11/21/18
SHEET: 1

SIGNAGE KEYNOTES

- A** ILLUMINATED ABCD CHANNEL LETTERS (30 IN. FT.)
- B** ILLUMINATED CHANNEL SIGN LIGHT (7 IN. FT.)
- C** ALPHABET CHANNEL LETTERS (24IN IN. FT. COPY AREA)
- D** ONE SIGN WALL SIGN (24IN IN. FT. COPY AREA)
- E** ONE SIGN CENTER WALL SIGN (24 IN. FT. SIGN)
- F** ONE SIGN SIDE WALL SIGN (48 IN. FT. SIGN)
- G** SIGNPOST PRICE AND SERVICE SIGN (30 IN. FT.)
- H** ONE SIGN CHANNEL SIGN (24IN IN. FT. COPY AREA) SEE DETAIL "C", SHEET SIGN-1
- I** SIGNPOST SIGNPOST SIGN (48 IN. IN. FT., PRICE PROMOTION NET CHECKS 30 IN. FT.) SEE SIGN
- J** SIGN WALL SIGN (1' OF FACE OF WALL- 120 IN. FT. SIGN)
- K** SIGNPOST SIGNPOST SIGN (48 IN. FT. SIGN)
- L** SIGNPOST SIGNPOST SIGN (30 IN. FT.)
- M** SIGNPOST SIGN, SEE SHEET SIGN-1



NORTH ELEVATION

DATE: 11/21/18
SHEET: 2

135 RAND ROAD
CORONA, CA 92709
P.O. BOX 1958
CORONA, CA 92726-1958
DIRECT (951) 280-3833
FAX (951) 280-3832



CARWASH SIGNAGE

CAJUN CO SQUARE LP
HEC CAJUN CO ROAD + WOOD ROAD
COUNTY OF FRESNO, CA

REVISION	DATE	BY

DATE	JOB NO.
08-21-18	020100
SCALE	DRAWING BY
AS SHOWN	SKC

SIGN
DRAWING NO.

ASN2-2

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SOUTH ELEVATION

SAC 1

SIGNAGE KEYNOTES

- A ALUMINUM GRID CHANNEL, LETTERS (30 SQ. FT.)
- B ALUMINUM GRID CHANNEL, LETTERS (7 SQ. FT.)
- C ALUMINUM CHANNEL, LETTERS (20 SQ. FT. COPY AREA)
- D ONE SIGN WALL, 600 (20 SQ. FT. COPY AREA)
- E ONE SIGN CHASE WALL, 600 (5 SQ. FT. SIGN)
- F ONE SIGN CHASE WALL, 600 (5 SQ. FT. SIGN)
- G SIGNAGE PANEL, ONE CHASED SIGN (20 SQ. FT.)
- H ONE SIGN EXTENSION SIGN (20 SQ. FT. COPY AREA) SEE SHEET 'V', SHEET A001-3.
- I TENANT SIGNAGE SIGN (20 SQ. FT., PRICE PER SIGN NOT SHOWN 20 SQ. FT.) NOT USED
- J TENANT WALL, SIGN (1' OF FEET OF WALL - 120 SQ. FT. SIGN)
- K SIGNAGE, STRUCTURAL SIGN (10 SQ. FT. SIGN)
- L DRIVE THRU SIGN BOARD (20 SQ. FT.)
- M PAVILION SIGN, SEE SHEET A001-3

135 PACIFIC BLVD.
CORONA, CA 92709
P.O. BOX 1956
CORONA, CA 92707-1956
DIRECT (951) 280-2832
FAX (951) 280-2832



EAST ELEVATION

SAC 2

O.B.R. WITH DRIVE-THRU
SIGNAGE

CALICO SQUARE LP
1100 CALICO ROAD
COUNTY OF RIVERSIDE, CA

16/1/2008

DATE 09-21-10 JOB NO. 008.000
SCALE AS SHOWN DRAWN BY

SIGN

DRAWING NO. ASN2-4



SOUTH ELEVATION

SCALE 1/8" = 1'-0"

SIGNAGE KEYNOTES

- A) ALUMINUM AND CHROME LETTERS (20 SQ. FT.)
- B) ALUMINUM CHROME SPAN LETTER (7' SQ. FT.)
- C) WHITE CHROME LETTER (240 SQ. FT. COPY AREA)
- D) ONE TWIN WALL SIGN (24 SQ. FT. COPY AREA)
- E) ONE TWIN SIGN WALL SIGN (4.5 SQ. FT. SIGN)
- F) ONE TWIN SIGN WALL SIGN (4.5 SQ. FT. SIGN)
- G) WINDOW PANEL ONE SIGN (20 SQ. FT.)
- H) ONE TWIN SIGNAGE SIGN (21.25 SQ. FT. COPY AREA) SEE DETAIL 'V', SHEET SIGN-5.
- I) TYPICAL SIGNAGE SIGN (20 SQ. FT., PRICE PORTED FOR FINISH 20 SQ. FT.)
- J) SIGN USED
- K) TYPICAL WALL SIGN (1' OF FIBER 1/2" OF WELD- 100 SQ. FT. SIGN)
- L) SIGNAGE SIGNAGE SIGN (20 SQ. FT. SIGN)
- M) ONE TWIN SIGN SIGN (20 SQ. FT.)
- N) PLUMB SIGN SEE SHEET SIGN-3

139 RADIO ROAD
CORONA, CA 92779
P.O. BOX 1958
CORONA, CA 92778-1958
DIRECT (951) 780-3833
FAX (951) 780-3832

O.S.R. WITH DRIVE-THRU
SIGNAGE
CALIFORNIA SQUARE, LP
NEC CALIFORNIA ROAD + WOOD ROAD
COUNTY OF IMPERIAL, CA



EAST ELEVATION

SCALE 1/8" = 1'-0"

ELEVATION

▲	▲	▲	▲	▲	▲	▲	▲	▲	▲
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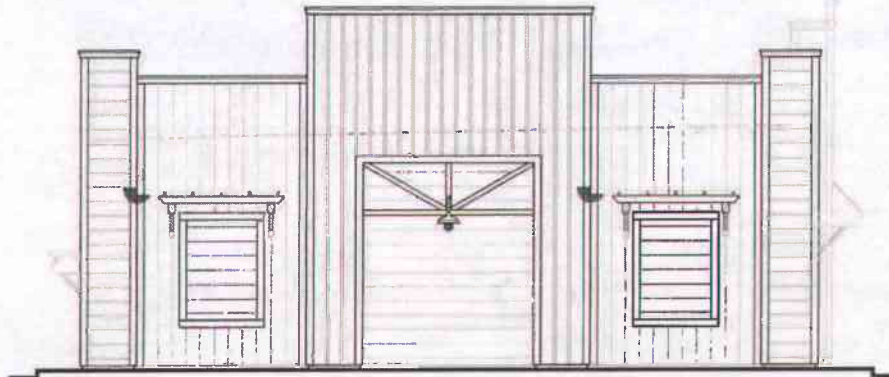
DATE	JOB NO.
09-21-10	000.000
SCALE	DRAWN BY
AS SHOWN	NRC

SIGN
DRAWING NO.

ASN2-4

2

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NORTH ELEVATION

REV. 1

SIGNAGE KEYNOTES

- 1 ELONGATED ARCH GRAPHIC LETTERS (24 IN. FT.)
- 2 ELONGATED ARCH GRAPHIC LETTERS (24 IN. FT.)
- 3 AUTO GRAPHIC LETTERS (24 IN. FT. COPY AREA)
- 4 ONE WORD WALL SIGN (24 IN. FT. COPY AREA)
- 5 ONE WORD WALL SIGN (24 IN. FT. COPY AREA)
- 6 ONE WORD WALL SIGN (24 IN. FT. COPY AREA)
- 7 ONE WORD WALL SIGN (24 IN. FT. COPY AREA)
- 8 ONE WORD WALL SIGN (24 IN. FT. COPY AREA)
- 9 ONE WORD WALL SIGN (24 IN. FT. COPY AREA)
- 10 ONE WORD WALL SIGN (24 IN. FT. COPY AREA)
- 11 ONE WORD WALL SIGN (24 IN. FT. COPY AREA)
- 12 ONE WORD WALL SIGN (24 IN. FT. COPY AREA)
- 13 ONE WORD WALL SIGN (24 IN. FT. COPY AREA)
- 14 ONE WORD WALL SIGN (24 IN. FT. COPY AREA)
- 15 ONE WORD WALL SIGN (24 IN. FT. COPY AREA)
- 16 ONE WORD WALL SIGN (24 IN. FT. COPY AREA)
- 17 ONE WORD WALL SIGN (24 IN. FT. COPY AREA)
- 18 ONE WORD WALL SIGN (24 IN. FT. COPY AREA)
- 19 ONE WORD WALL SIGN (24 IN. FT. COPY AREA)
- 20 ONE WORD WALL SIGN (24 IN. FT. COPY AREA)
- 21 ONE WORD WALL SIGN (24 IN. FT. COPY AREA)
- 22 ONE WORD WALL SIGN (24 IN. FT. COPY AREA)
- 23 ONE WORD WALL SIGN (24 IN. FT. COPY AREA)
- 24 ONE WORD WALL SIGN (24 IN. FT. COPY AREA)
- 25 ONE WORD WALL SIGN (24 IN. FT. COPY AREA)
- 26 ONE WORD WALL SIGN (24 IN. FT. COPY AREA)
- 27 ONE WORD WALL SIGN (24 IN. FT. COPY AREA)
- 28 ONE WORD WALL SIGN (24 IN. FT. COPY AREA)
- 29 ONE WORD WALL SIGN (24 IN. FT. COPY AREA)
- 30 ONE WORD WALL SIGN (24 IN. FT. COPY AREA)
- 31 ONE WORD WALL SIGN (24 IN. FT. COPY AREA)
- 32 ONE WORD WALL SIGN (24 IN. FT. COPY AREA)
- 33 ONE WORD WALL SIGN (24 IN. FT. COPY AREA)
- 34 ONE WORD WALL SIGN (24 IN. FT. COPY AREA)
- 35 ONE WORD WALL SIGN (24 IN. FT. COPY AREA)
- 36 ONE WORD WALL SIGN (24 IN. FT. COPY AREA)
- 37 ONE WORD WALL SIGN (24 IN. FT. COPY AREA)
- 38 ONE WORD WALL SIGN (24 IN. FT. COPY AREA)
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135 RADIO ROAD
CORONA, CA 92879
P.O. BOX 1958
CORONA, CA 92878-1958
DIRECT (951) 260-2833
FAX (951) 260-2832

RETAIL #1 SIGNAGE

CAJALCO SQUARE, LP
NEC CAJALCO ROAD + WOOD ROAD
COUNTY OF INVERSIDA, CA



WEST ELEVATION

REV. 2



DATE: 05-21-18
SCALE: AS SHOWN

DESIGNED BY: [Signature]
DRAWN BY: [Signature]

PROGRAM NO.: ASN2-5

2

10/21/2018 10:00 AM C:\Users\jason\OneDrive\Documents\ASN2-5.dwg - Jason James - 10/21/2018 10:00 AM



NORTH ELEVATION

SCALE 1/8" = 1'-0"

- SIGNAGE KEYNOTES**
- A ILLUMINATED ARCH CHANNEL LETTERS (30 SQ. FT.)
 - B ILLUMINATED CHOPPY SIGNAGE LETTERS (7 SQ. FT.)
 - C ARCH CHANNEL LETTERS (28.84 SQ. FT. COPY AREA)
 - D CHS SIGN WALL SIGN (26.54 SQ. FT. COPY AREA)
 - E CHS SIGN CHOPPY WALL SIGN (4.5 SQ. FT. SIGN)
 - F CHS SIGN CHOPPY WALL SIGN (4.8 SQ. FT. SIGN)
 - G SIGNAGE PANEL CHS SYSTEM SIGN (26 SQ. FT.)
 - H CHS SIGN SQUARE SIGN (21.25 SQ. FT. COPY AREA) SEE SHEET "V", SHEET ARCH-2
 - I TYPING SIGNAGE SIGN (24 SQ. FT. PANEL PORTION NOT EXCEED 30 SQ. FT.) SEE SHEET "V"
 - J TYPING WALL SIGN (1 SF PER LF OF WALL= 100 SQ. FT. MAX)
 - K SIGNAGE PANEL CHS SYSTEM SIGN (26 SQ. FT. SIGN)
 - L SIGNAGE PANEL CHS SYSTEM SIGN (26 SQ. FT.)
 - M PLYWOOD SIGN, SEE SHEET ARCH-2

1328 RADIO ROAD
CORONA, CA 92679
P.O. BOX 1558
CORONA, CA 92678-1558
DIRECT (951) 240-3833
FAX (951) 240-3832



FUTURES RETAIL #2
SIGNAGE
CUALILCO SQUARE, LP
MEC CUALILCO ROAD + WOOD ROAD
COUNTY OF INDIANOLA, CA

1	2	3	4	5	6	7	8	9	10
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SCALE AS SHOWN
DRAWN BY JSC

SIGN
ENGINEERING INC.

ASN2-6

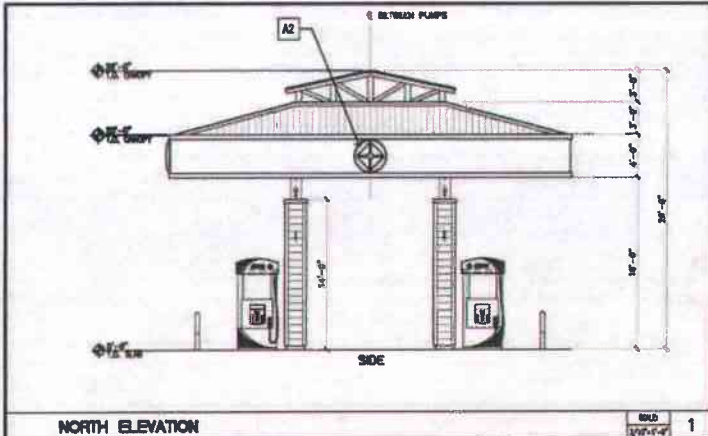
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EAST ELEVATION

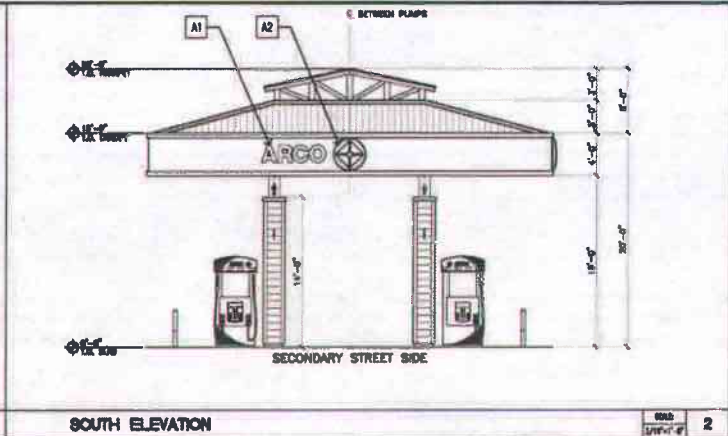
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DATE PLOTTED: 00-21-18 10:00 AM



NORTH ELEVATION

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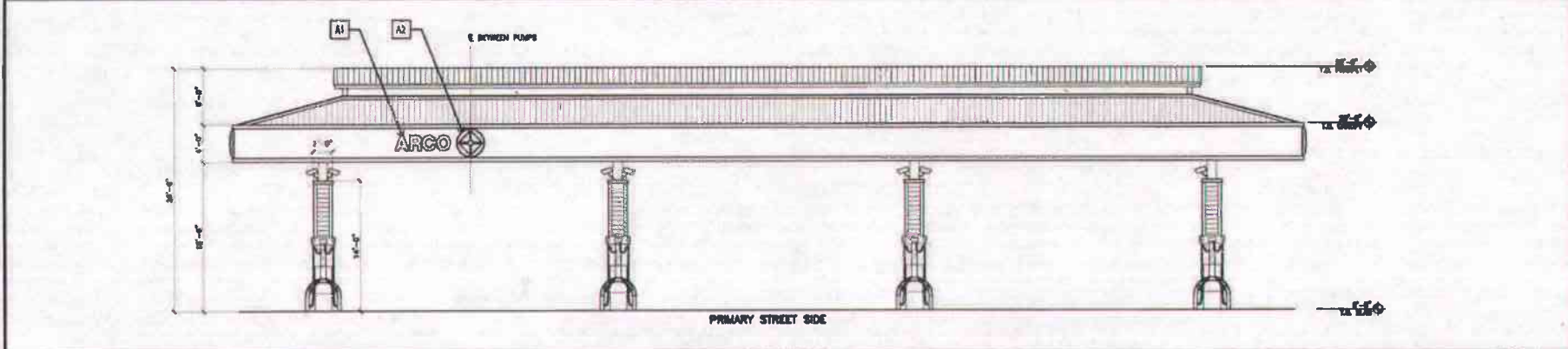


SOUTH ELEVATION

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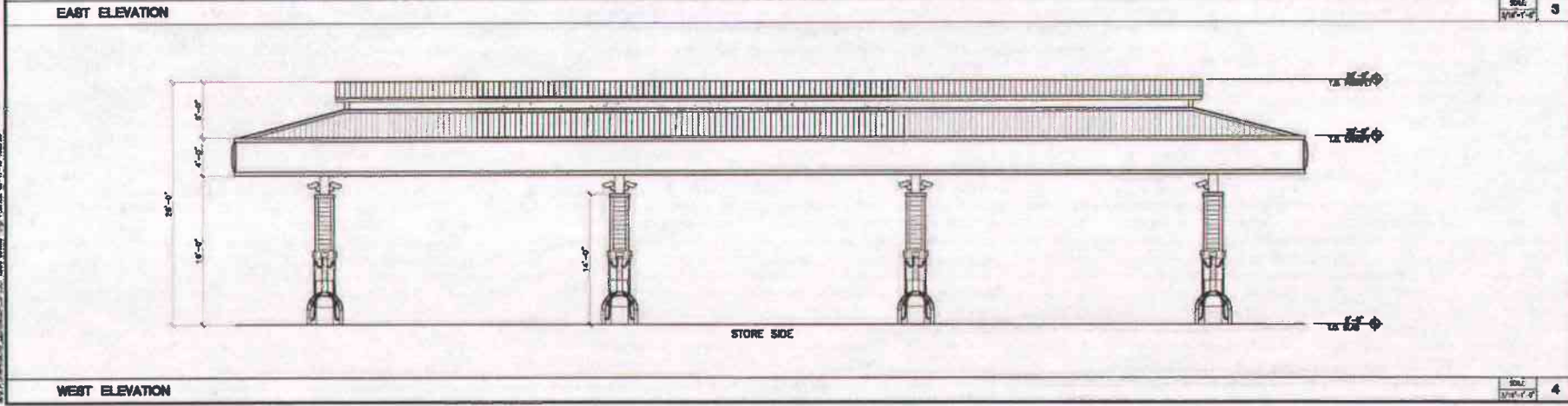
SIGNAGE KEYNOTES

- 1. ALLOWED AREA SIGNS: LETTERS (20 SQ. FT.)
- 2. ALLOWED CANOPY SPAN (10 SQ. FT.)
- 3. AREA CHANGES: LETTERS (20 SQ. FT. COPY AREA)
- 4. CANOPY WALL SIGN (20 SQ. FT. COPY AREA)
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- 19. CANOPY WALL SIGN (20 SQ. FT. COPY AREA)
- 20. CANOPY WALL SIGN (20 SQ. FT. COPY AREA)



EAST ELEVATION

Scale: 1/4" = 1'-0"



WEST ELEVATION

Scale: 1/4" = 1'-0"

139 RADIO ROAD
CORONA, CA 92675
P.O. BOX 19549
CORONA, CA 92678-1958
DIRECT (951) 280-3833
FAX (951) 280-3832

8 MFT CANOPY ELEVATIONS
CALICO SQUARE LP
NEC CALICO ROAD + WOOD ROAD
COUNTY OF RIVERSIDE, CA

ELEVATION	1	2	3	4
SCALE	1/4" = 1'-0"	1/4" = 1'-0"	1/4" = 1'-0"	1/4" = 1'-0"

DATE: 07-27-18
SCALE: AS SHOWN
DRAWN BY: JAH

SIGN
DRAWING NO.

ASN2-7

DATE PLOTTED: 08-15-18 11:52:33

125 RASO ROAD
CORONA, CA 92629
P.O. BOX 1928
CORONA, CA 92629-1928
DIRECT (951) 260-2832
FAX (951) 260-2832

MASTER SITE SIGNAGE PLAN
CALALCO SQUARE LP
COUNTY OF RIVERSIDE, CA

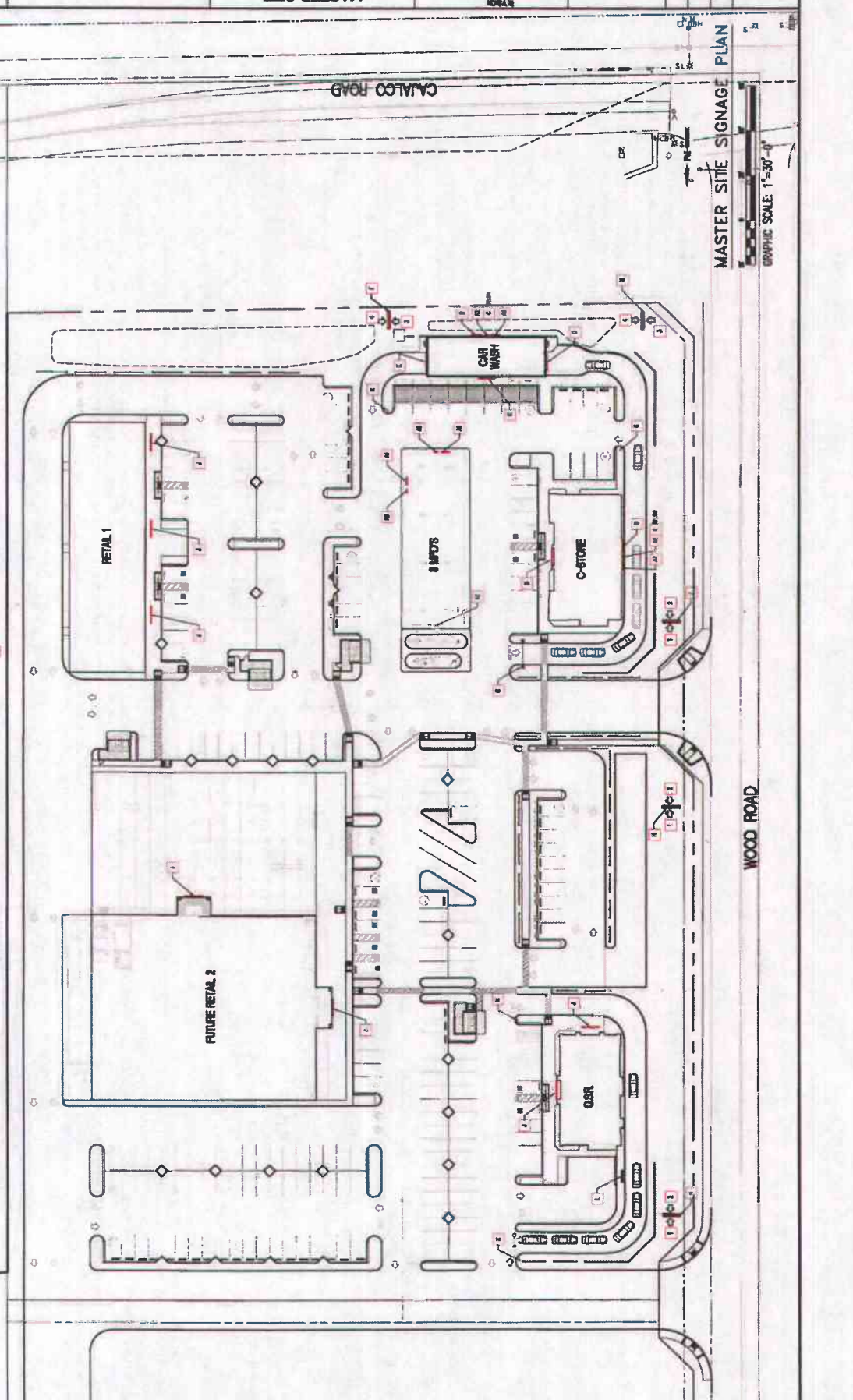
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ASNI-1

MASTER SITE SIGNAGE PLAN
GRAPHIC SCALE: 1"=30'-0"

- NEIGHBORHOOD IDENTITY SIGNAGE KEYNOTES**
- 1 THE SIGN OF NEIGHBORHOOD IDENTITY SIGNAGE SHALL BE PLACED AT THE INTERSECTION OF CALALCO ROAD AND WOOD ROAD.
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- SIGNAGE KEYNOTES**
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CALALCO ROAD

WOOD ROAD

RETAIL 1

FUTURE RETAIL 2

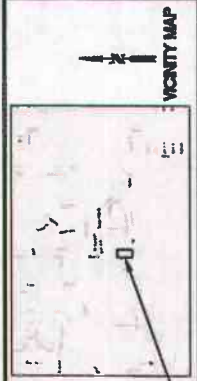
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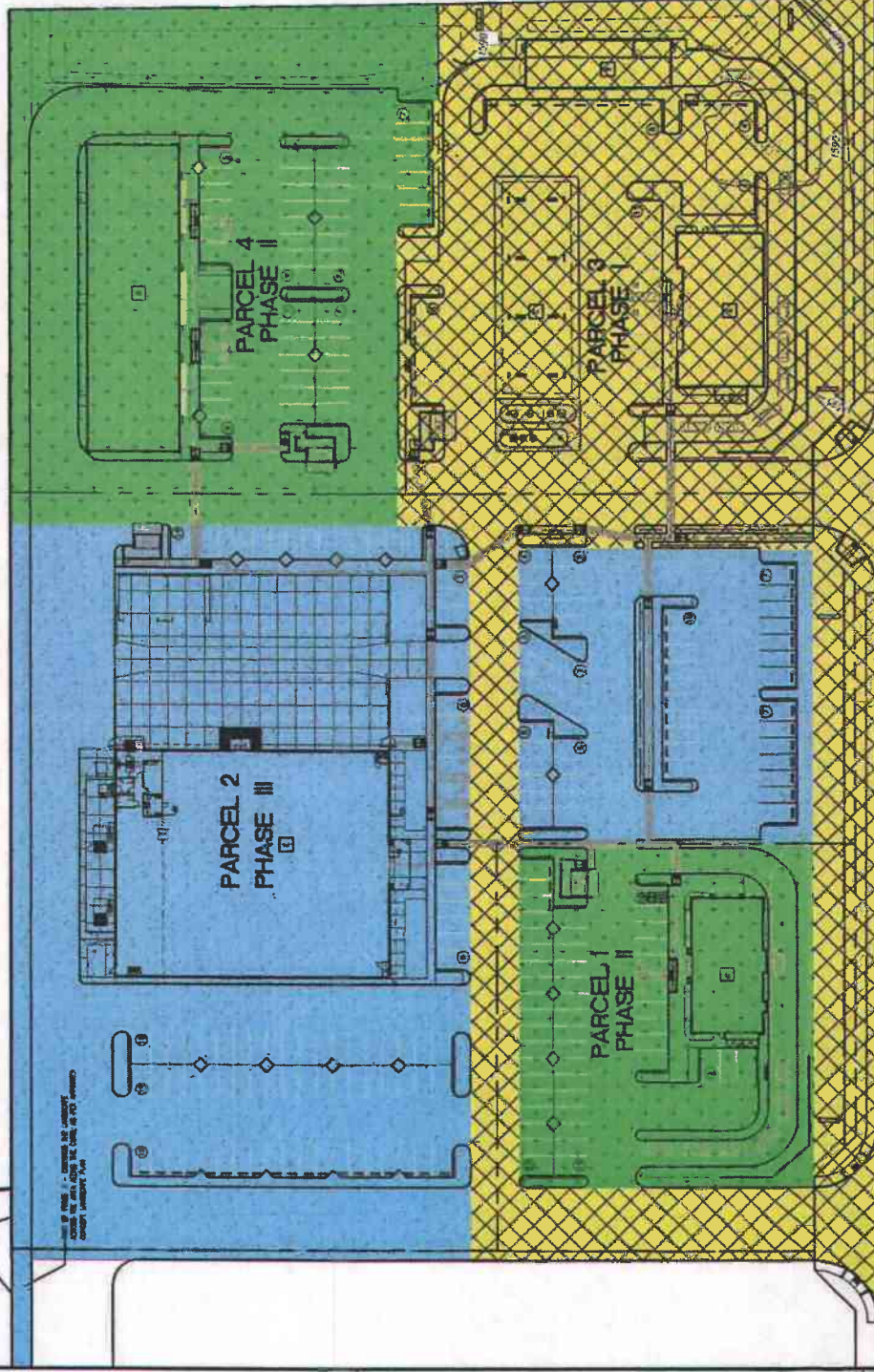
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SCALE	SHEET NO.	TOTAL SHEETS
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PROJECT DESCRIPTION:
THE CONSTRUCTION OF A 3,000 SQ. FT. COMMERCIAL STORE SELLING CONCRETE, BRICK, BLOCK AND REINFORCING BARS AND THE CONSTRUCTION OF A 10,000 SQ. FT. OFFICE BUILDING WITH 100 WORK STATIONS. THE PROJECT IS SCHEDULED TO BE CONSTRUCTED IN PHASES. THE PHASING PLAN SHOWS THE PHASES AND THE ORDER OF CONSTRUCTION. THE PHASING PLAN IS SUBJECT TO THE APPROVAL OF THE COUNTY OF RIVERSIDE PLANNING DEPARTMENT. THE PHASING PLAN IS SUBJECT TO THE APPROVAL OF THE COUNTY OF RIVERSIDE PLANNING DEPARTMENT.



- REMARKS:**
- 1. PARCEL 1 - PHASE II - COMMERCIAL STORE SELLING CONCRETE, BRICK, BLOCK AND REINFORCING BARS AND THE CONSTRUCTION OF A 10,000 SQ. FT. OFFICE BUILDING WITH 100 WORK STATIONS.
 - 2. PARCEL 2 - PHASE III - COMMERCIAL STORE SELLING CONCRETE, BRICK, BLOCK AND REINFORCING BARS AND THE CONSTRUCTION OF A 10,000 SQ. FT. OFFICE BUILDING WITH 100 WORK STATIONS.
 - 3. PARCEL 3 - PHASE I - COMMERCIAL STORE SELLING CONCRETE, BRICK, BLOCK AND REINFORCING BARS AND THE CONSTRUCTION OF A 10,000 SQ. FT. OFFICE BUILDING WITH 100 WORK STATIONS.
 - 4. PARCEL 4 - PHASE II - COMMERCIAL STORE SELLING CONCRETE, BRICK, BLOCK AND REINFORCING BARS AND THE CONSTRUCTION OF A 10,000 SQ. FT. OFFICE BUILDING WITH 100 WORK STATIONS.

PHASING PLAN

WOOD ROAD

GRAPHIC SCALE 1"=30'-0"

CASE: CUP03775
EXHIBIT P: Project Phase Plan
PLANNER: T. Wheeler
DATE: May 6, 2020



10/10/18 10:10:18 AM 10/10/18 10:10:18 AM 10/10/18 10:10:18 AM



RIVERSIDE COUNTY
PLANNING DEPARTMENT

Charissa Leach
Assistant TLMA Director

**FIRST ADDENDUM to ENVIRONMENTAL IMPACT REPORT
NO. 255 (Specific Plan No. 229, Amendment No. 1)**

Project/Case Number: TPM37537 / CUP03775 / EA43037

Based on the Initial Study, it has been determined that the proposed project, subject to the proposed mitigation measures, will not have a significant effect upon the environment.

PROJECT DESCRIPTION, LOCATION, AND MITIGATION MEASURES REQUIRED TO AVOID POTENTIALLY SIGNIFICANT EFFECTS. (see Initial Study, Advisory Notification Document, and Conditions of Approval)

COMPLETED/REVIEWED BY:

By: Tim Wheeler Title: Project Planner Date: January 23, 2020

Applicant/Project Sponsor: _____ Date Submitted: _____

ADOPTED BY: Planning Commission

Person Verifying Adoption: Tim Wheeler Date: May 6, 2020

The First Addendum to Environmental Impact Report No. 255 (Specific Plan No. 229, Amendment No. 1) may be examined, along with documents referenced in the initial study, if any, at:

Riverside County Planning Department 4080 Lemon Street, 12th Floor, Riverside, CA 92501

For additional information, please contact Tim Wheeler at 951-955-6060.

Please charge deposit fee case#: ZEA43037 ZCFG06410

FOR COUNTY CLERK'S USE ONLY

Project Information
Cajalco and Wood Commercial Project
County of Riverside

Prepared for:
County of Riverside
Community Development Department

Prepared By:
Environmental & Regulatory Specialists, Inc.
223 62nd Street
Newport Beach California 92663

January 2020

TABLE OF CONTENTS

Section	Page
Project Information	4
Project Description.....	11
Existing Cconditions.....	18

Copies of the following documents and the Project Application are on file with the County of Riverside Community development Department

- A. Cajalco + Wood Project Air Quality and Global Climate Change Impact Analysis (AQR) prepared by Kunzman Associates, Inc., August 2018.
- B. Step I Habitat Assessment, Step II Part A Focused Burrow Survey for Burrowing Owls and MSHCP Section 6.1.2 Riparian/Riverine and Vernal Pool Evaluation, July 14, 2017
- C. Updated Geotechnical Report “Proposed Retail Development, Assessor’s Parcel Numbers (APNs) 321-130-053, -054, -055 and -060, Northeast Corner of Cajalco Road and Wood Road, Woodcrest Area of Riverside County, California, Prepared by GeoTek Inc., March 16, 2018
- D. Phase I Environmental Site Assessment prepared by ADR Environmental Group, 2017 (ADR 2017)
- E. Drainage Report, Cajalco and Wood Commercial Project prepared by K&A Engineering, Inc., February 2018
- F. Project Specific Water Quality Management Plan, Cajalco and Wood Commercial Project, prepared by K& A Engineering, Inc., February 2018
- G. Cajalco + Wood Project Noise Impact Analysis prepared by Ganddini Group, Inc., September 17.
- H. Cajalco + Wood Project Traffic Impact Analysis (revised) prepared by Kunzman Associates, Inc., July 17, 2019 (2019 TIA).
- I. Western Municipal Water District “Will Serve” letter dated March 8, 2018

LIST OF FIGURES

Figure	Page
Figure 1 - Regional Location Map.....	5
Figure 2 - Vicinity Map	5
Figure 3 - Boulder Springs Specific Plan - Land Use Plan.....	6
Figure 4 - Tentative Parcel Pap 37537.....	8
Figure 5 - Master Site Plan	9
Figure 6 - Illustrative Site Plan	10
Figure 7 - Building Elevations #1 (all to the same scale).....	12
Figure 8 - Building Elevations #2 (all to the same scale).....	13
Figure 9 - Building Elevations #3 (all to the same scale).....	14
Figure 10 - Aerial Site Photo	22
Figure 11 - Site Photo Location Map.....	23
Figure 12 - Site Photos 1 & 2.....	24
Figure 13 - Site Photos 3 & 4.....	25
Figure 14 - Site Photos 5 & 6.....	26
Figure 15 - Site Photos 7 & 8.....	27

Project Information**Environmental Assessment (E.A.) Number:** EA43037**Project Case Type (s) and Number(s):** TPM37537 and CUP3775**Lead Agency Name:** Riverside County Planning Department
Address: P.O. Box 1409, Riverside, CA 92502-1409
Contact Person: Tim Wheeler
Telephone Number: 951 955-6060**Applicant's Name:** Cajalco Square, LP
Applicant Address: 139 Radio Road, Corona, CA 92879**Project Title:** Cajalco and Wood Commercial Project**Project Location:** Northeast corner of the Wood Road and Cajalco Road
Unincorporated Riverside County, CA
Regional and Vicinity maps are shown on Figures 1 and 2.

The Project is also located within the Southern portion of Planning Area 1 within the Boulder Springs Specific Plan (SP229). The Boulder Springs Specific Plan Land Use Exhibit is shown on Figure 3

Assessor's Parcel No(s): 321-130-053, 054, 055 & 060**General Plan Land Use Designation(s):** Commercial Retail (0.20 - 0.35 FAR)**Zoning Designation:** Specific Plan 229, Amendment No.1 (SP229A1) – Boulder Springs Planning Area I, Commercial (defers to the C-P-S-Z Zone of Article IXb, Section 9.50 of County Ordinance No. 348 unless otherwise stated in the Specific Plan).**General Plan Area Plan(s):** Lake Mathews/Woodcrest Area Plan**Foundation Component(s):** Community Development**Policy Areas:** Cajalco-Wood Policy Area
March Joint Air Reserve Base Influence Area,
Mt. Palomar Night Time Lighting Policy Area - Zone B

Figure 1 - Regional Location Map

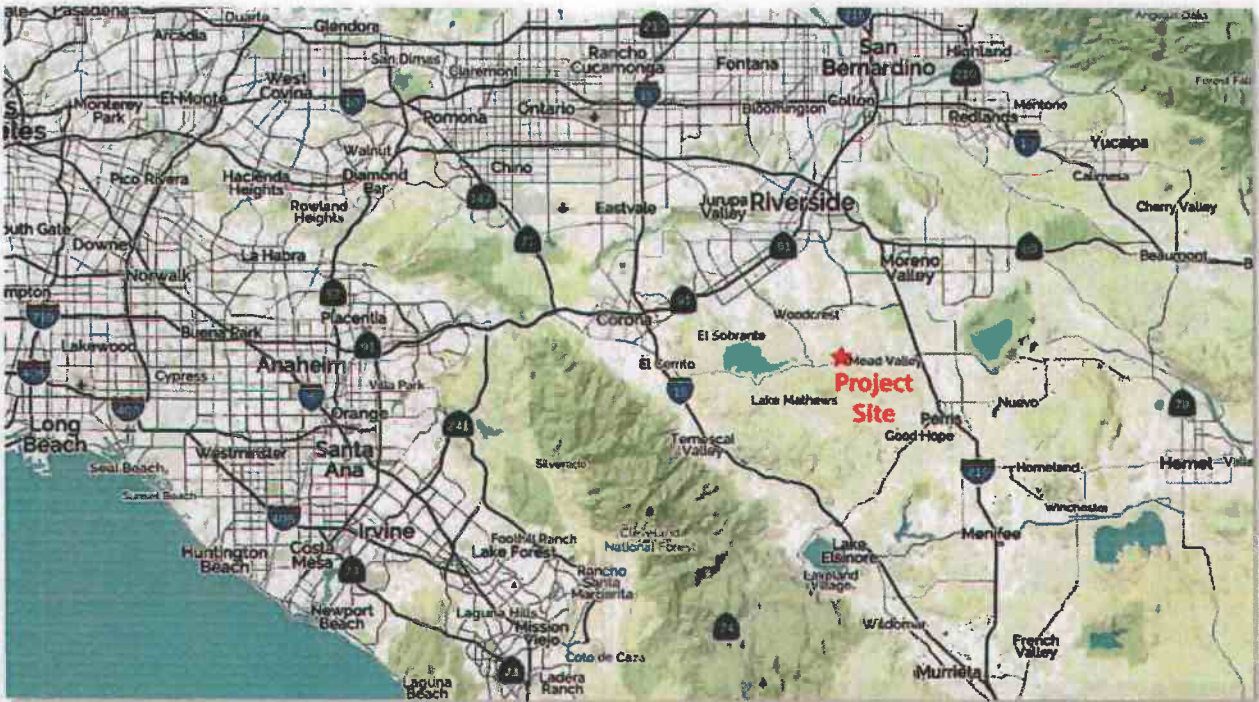
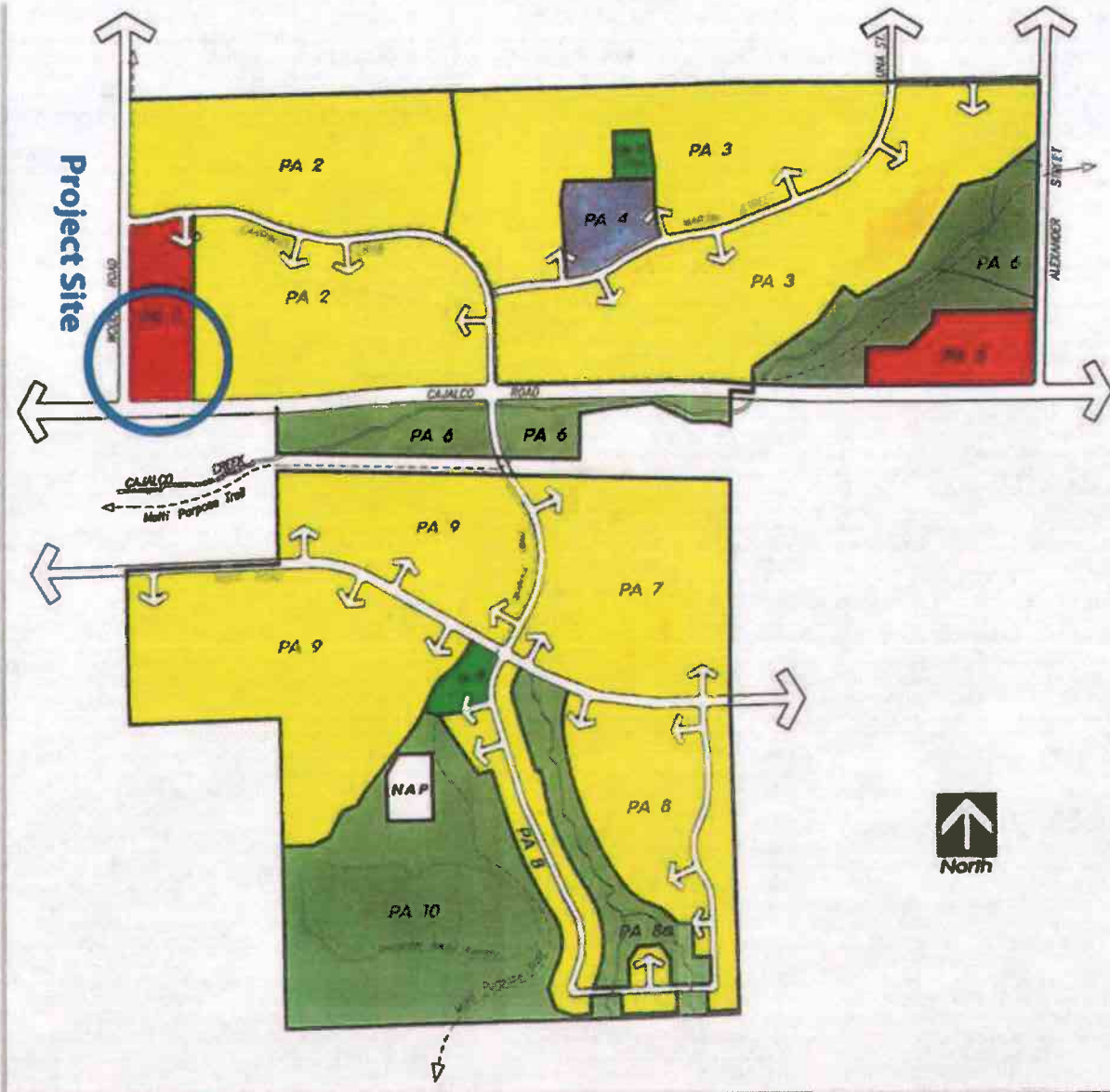


Figure 2 - Vicinity Map





PLANNING AREA SUMMARY

Planning Area	Acres	Max. D. U.	Density / Use
1	15	150,000sq.ft.	Commercial
2	151	257	1.7(20,000sq.ft.)
3	202	429	2.1(12,000sq.ft.)
4	12	N/A	School
5	15	150,000sq.ft.	Commercial
6	78	N/A	Open Space
7	71	177	2.5(12,000sq.ft.)
8	92	217	2.4(12,000sq.ft.)
8A	32	N/A	Open Space
9	147	241	1.5(20,000sq.ft.)
10	100	N/A	Open Space
11	2.4	N/A	Park
12	5	N/A	Park
ROADS	16	N/A	N/A
TOTAL	938	1321	1.4
N.A.P.	28		
N.A.P.	5		

LAND USE PLAN
Figure 7

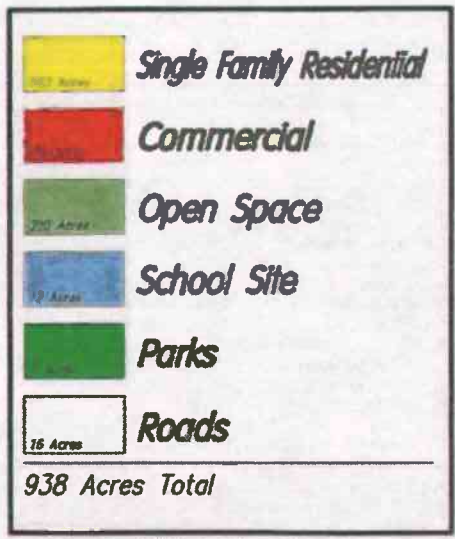


Figure 3 - Boulder Springs Specific Plan - Land Use Plan

Entitlement Request:

Tentative Parcel Map: Tentative Parcel Map No. 37537 proposes to subdivide the existing 7.18 gross acres into four (4) parcels. Parcel 1 will be 0.98 acres gross; Parcel 2 will be 3.40 acres gross; Parcel 3 will be 1.42 acres gross; and Parcel 4 will be 1.38 acres gross. TPM37537 proposes changes to Parcel Map No. 36124 to adjust the internal boundaries of the parcels to accommodate the land uses proposed by a Conditional Use Permit (CUP 3775). Proposed Tentative Parcel Map 37537 is provided on Figure 4.

Conditional Use Permit: Conditional Use Permit No. 3775 will encompass all four (4) Parcels for a shopping center (“the Project”) which will include the following:

- Parcel 1 will consist of a 3,200 sq. ft. Drive-Thru restaurant.
- Parcel 2 will consist of a 19,097 sq. ft. retail store with a fenced in outdoor area.
- Parcel 3 will consist of a self-service gas station and 4,395 sq. ft. canopy with a convenience store and carwash. The 3,800 sq. ft. convenience store will include the sale of beer and wine for off-site consumption. The 2,080 sq. ft. carwash is separate from the convenience store with a canopy for vacuuming vehicles.
- Parcel 4 will consist of an 8,586 sq. ft. single-three (3) suite retail shell building. The shopping center complex will provide overall 249 parking spaces; including 7 ADA spaces and 6 electric vehicle spaces.
- The shopping center also provides two (2) bio-retention/infiltration basins. Additionally, the Conditional Use Permit will include signage consisting of one (1) pylon sign, two (2) monument signs, and two (2) gas price monument signs.

A Master Site Plan is shown on Figure 5. An Illustrative Site Plan is shown on Figure 6.

Figure 5 – Master Site Plan

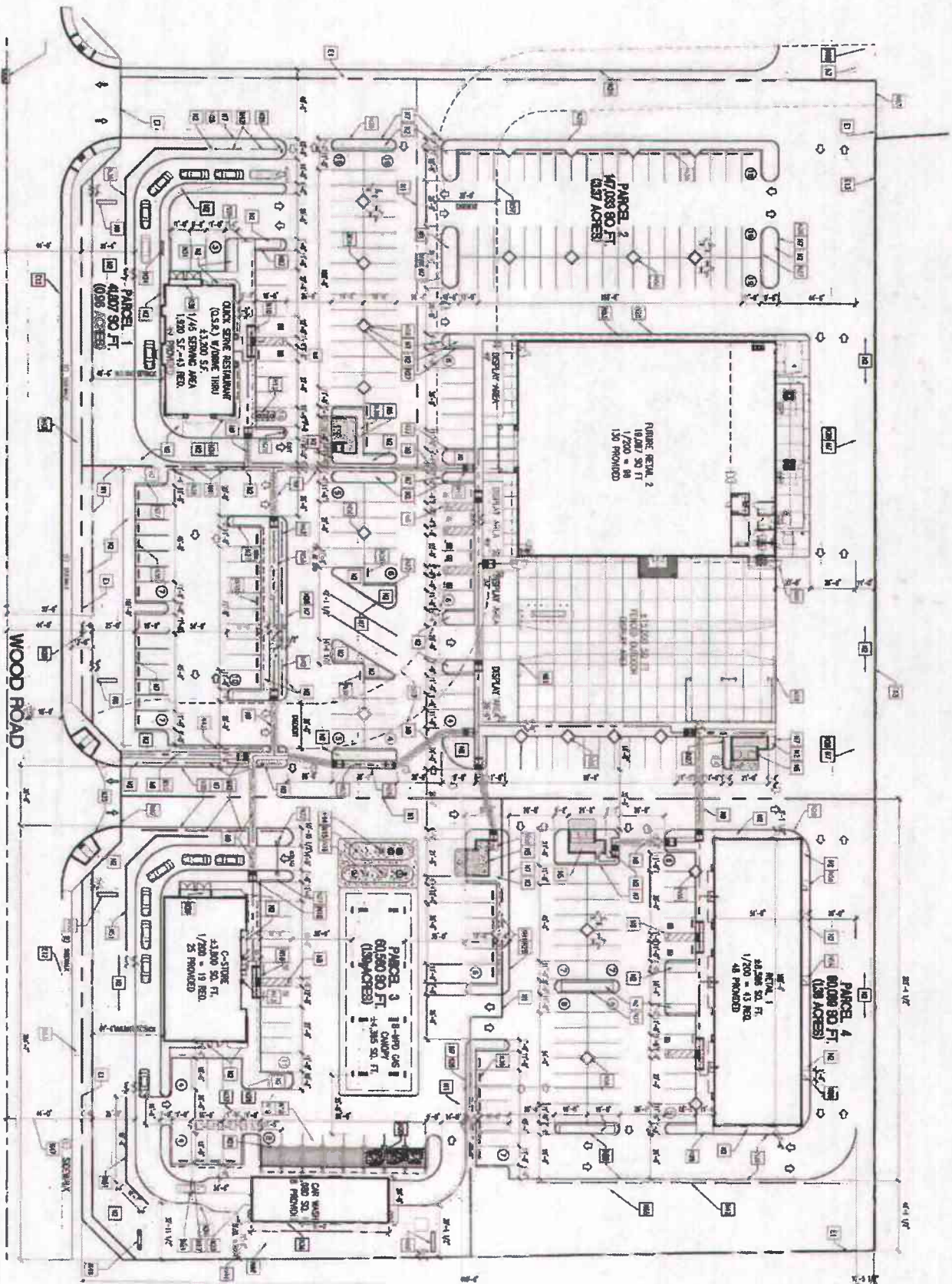


Figure 6 - Illustrative Site Plan



PROJECT DESCRIPTION

PROPOSED DEVELOPMENT

New construction of:

- 1) A detached 3,800 sq. ft. Convenience Store selling groceries, snack items and beverages, including beer and wine for off-premises consumption with a detached 2,080 sq. ft. Carwash and a detached 4,395 sq. ft. Canopy for self-service gasoline sales.
- 2) A detached 3,200 sq. ft. Quick Serve restaurant w/ drive thru.
- 3) A detached 19,097 sq. ft. Retail Store.
- 4) A detached 8,586 sq. ft. Retail Store.

Total building area is 41,158 sq. ft. Maximum building height is 30'. Proposed Building Elevations are shown on Figures 6 thru 8.

- **Parking:** Total required: 201 stalls. Total provided: 249 stalls.
The shopping center complex will provide overall 249 parking spaces; including 7 ADA spaces and 6 electric vehicle spaces.

Project Phasing: Project construction is anticipated to be in four phases beginning in 2020 and completed by 2021. The Project is anticipated to be operational in 2021. Construction will be restricted from 7 a.m. to 8 p.m., Monday through Friday, and 8 a.m. to 6 p.m. on Saturday.

Hours of Operation:

- Convenience Store: 24 hours/day, 7 days/week
Liquor sales: 6 am - 2 am
Fueling Station: 24 hours/day, 7 days/week
Carwash: 7 am - 10 pm, 7 days/week
- Quick Serve Restaurant with Drive Thru: 24 hours/day, 7 days/week
- Retail #1: 6 am - 10 pm
- Retail #2: 7 am - 10 pm

Project Grading

The Site has been previously mass graded to a relatively flat pad. Site grading will require approximately 8,500 cubic yards of cut and 8,500 cubic yards of fill. During final engineering the grades will be adjusted to compensate for other factors: clearing and grubbing, footings, tanks, pipes, etc. All grading will be balanced on-site. No import or export of earth material is proposed.

Figure 7 - Building Elevations #1

Convenience Store



East Elevation



North Elevation



West Elevation



South Elevation

Car Wash



South Elevation



West Elevation



North Elevation



East Elevation

Gasoline Dispenser Canopy



East Elevation



South Elevation



West Elevation



North Elevation

Figure 8 - Building Elevations #2

Quick Serve Restaurant



East Elevation



South Elevation



West Elevation



North Elevation

Retail (Three Units)



West Elevation



East Elevation



South Elevation



North Elevation

Figure 9 - Building Elevations #3

Large Retail (One Unit)



West Elevation



East Elevation



South Elevation



North Elevation

Signage



Main Entrance



Car Wash Entrance



Gas Station Sign



Tenant Monument Sign

Project Design Elements

Air Quality

The Project design has and will continue to incorporate energy saving design features throughout to reduce the projects Air Quality and Greenhouse Gas Emissions. Features include use of drought tolerant vegetation, energy efficient lighting and appliances. The Project will install low flow kitchen and bathroom faucets, toilets and fixtures and demand (tankless or instantaneous) water heater systems. As a result, the Project will comply with the minimum building energy efficiency of 15% and indoor water use reductions per CalGreen Code requirements.

- The construction area will be kept sufficiently dampened to control dust caused by grading and hauling in compliance with SCAQMD Rule 403. At all times, measures will be taken to provide reasonable control of dust caused by wind. All clearing, earth moving or excavation activities will be discontinued during periods of high winds (greater than 15 mph) to prevent excessive dust.
- General contractors will maintain and operate construction equipment so as to minimize exhaust emissions.
- The Project will use only low- and non-VOC-containing paints, sealants, adhesives and solvents during construction.

Drainage/Soil Erosion

The Project will comply with all standard County Building and Safety provisions and County Ordinances. Compliance with County standard provisions and Ordinances will minimize the potential drainage and soil erosion impacts on the environment.

Prior to approval of final engineering plans, the Project will be required to obtain approval of a Stormwater Pollution Prevention Plan (SWPPP). A SWPPP identifies potential sources of pollution that may reasonably be expected to affect the quality of storm water discharges from the construction site. The SWPPP describes practices to be used to reduce pollutants in storm water discharges from the construction site and helps assure compliance with the terms and conditions of the permit.

The Project design includes a drainage plan that will convey runoff into two (2) Bio-infiltration Detention basins located along the southern property line. These Bio-infiltration Detention basins minimize soil erosion, filter and retain/detain runoff and allow infiltration or discharge of filtered runoff into a storm drain.

Energy Efficiency

The Project will be constructed in compliance with the applicable California Energy Commissions Building Energy Efficiency Standards for Residential and Non-Residential Buildings which includes compliance with Public Resources Code Sections 25402 subdivisions (a)-(b) and 25402 and all county codes and ordinances.

The Project will meet or exceed Title 24 California Building Standards Code requirements. Title 24 California Building Standards Code is a broad set of requirements for “energy conservation, green design, construction and maintenance, fire and life safety, and accessibility” that apply to the

“structural, mechanical, electrical, and plumbing systems” in a building. Title 24 was published by the California Building Standards Commission and applies to all buildings in California, not just state-owned buildings.

Compliance will affect many aspects of Project design, many of which have not been determined at this time. Energy efficient feature will be identified throughout the planning and building permit process. Examples of how the Project has been designed in to meet or exceed applicable energy standards include:

- **Site Grading:** Mass grading for the Specific Plan was designed to balance site grading within the Specific Plan boundary to eliminate export of earth material. By balancing grading on-site, the Specific Plan minimizes heavy truck trips on local streets, reduces total vehicle miles traveled, reduces fuel consumption, noise, air quality and greenhouse gas emissions during the grading phase.
- **Architectural Design:** Examples: Fenestration shall comply with Title 24 requirements including; dual pane tempered windows and doors with high performance glazing. Locating windows and use of flooring to capture solar heating, Cool roof (a light-colored roof designed to reflect and emits the sun's heat back to the sky instead of transferring it to the building below.). Display windows and front door are covered with 5' width overhang from metal canopy. Heating, cooling, and lighting loads will be reduced through climate responsive design and conservation practices.
- **Outdoor Lighting:** Emergency efficient outdoor light fixtures, incorporation of motion detectors where applicable, use of smart controllers, sensors, timer, etc.
- **Indoor lighting:** LED lighting throughout with lighting control system (exceeds title 24 requirements). The Project is designed to optimize energy use. Detailed building plans apply a comprehensive, integrated approach to reduce heat and lighting demand through passive strategies such climate-responsive design, daylighting, sensor, timer, energy efficient lighting and conservation practices. Optimize system control strategies by using occupancy sensors, (electric lighting controls).
- **Construction Materials:** Wall, ceiling, and attic insulation per Title 24 requirements, double pane windows.
- **Appliances:** Energy certified appliances, Tank-less water heaters, roof mounted solar assisted hot water (exceeds title 24 requirements). Use of sealed combustion or ducted system to introduce combustion air strategically into the building enclosure for mechanical equipment.
- All faucets, toilets and showers installed in the proposed structures utilize low-flow fixtures that would reduce indoor water demand by 20% per CalGreen Standards. Water-efficient irrigation systems will be used on-site per County requirements.
- Recycling programs shall be used to reduce waste to landfills by a minimum of 75 percent (per AB 341).

Grading

The Project will comply with all standard County Building and Safety provisions and County Ordinances. Compliance with County standard provisions and Ordinances will minimize the impacts on the environment from site grading.

- The Project has been designed to balance all grading on-site.
- Excavation and finish grading activities shall be scheduled during dry weather periods. If grading occurs during the rainy season (October 15 through April 1), diversion dikes will be constructed to channel runoff around the site. Channels will be lined with grass or roughened pavement to reduce runoff velocity.
- Stockpiled, excavated and exposed soil will be covered with secured tarps, plastic sheeting, erosion control fabrics or treated with a biodegradable soil stabilizer.
- Appropriate erosion control and drainage devices will be provided to the satisfaction of the County and Regional Water Quality Control Board.

Landscape Plan

- The Landscape design is a combination of beauty, function and environmental sustainability. The plant palette incorporates Mediterranean species, suitable for dry, hot summers and mild winters. The plant palette and irrigation system comply with the County of Riverside Landscape Water Use Calculations. This calculation is achieved with the selection of drought tolerant plant material. All shrubs and more than half the trees are in the low water consumption category per the Water Use Classification of Landscape Species 4th edition (WUCOLS IV) water use plant classification.
- An evergreen hedge of trees is located along the project site's eastern boundary to screen the existing block wall along the adjacent residential neighborhood, as well as provide dark green backdrop from Wood Road. The parking lot trees are selected to provide shade consistent with the County of Riverside Parking Lot Shading Ordinance. Accent shrubs and drought tolerant hedges complete the landscape design.
- Two Bio-retention Detention basins are located along the southern boundary of the project site. These basins are designed to capture low-flow surface run-off, while filtering sediment and allowing infiltration and evaporation rates to maintain the existing runoff and groundwater recharge rates during low-flow conditions. The grasses specified within these basins have extensive fibrous root systems suitable for absorbing nutrients and pollutants. These grasses also provide erosion control and facilitate a more controlled infiltration.
- All planting areas are to be irrigated utilizing low volume drip irrigation and deep watering systems for the trees. Irrigation lines are connected to automatic remote-control valves that are connected to a central automatic ET (Evapotranspiration Sensor) based irrigation controller. Advanced irrigation equipment such as master valve, flow sensors and an ET controller will insure maximum conservation of water.

Lighting Plan

Outdoor lighting will be designed and installed with shielding such that the light source will be minimized from adjacent residential properties.

Light and Glare

The Project includes glare resistant surfaces, awnings over windows, landscaping (trees to provide mass and providing shading) and shielded light fixtures. Building placement is designed to reduce day and nighttime light and glare affecting adjacent residential areas.

Noise

- During excavation and grading, construction contractors will equip all construction equipment, fixed or mobile, with properly operating and maintained mufflers consistent with manufacturer standards.
- The contractor shall place all stationary construction equipment so that emitted noise is directed away from the noise sensitive receptors nearest the Site.
- Equipment shall be shut off and not left idling when not in use.
- The contractor will locate equipment staging in areas that will create the greatest distance between construction-related noise sources and sensitive receptors nearest the Site during project construction.
- Jackhammers, pneumatic equipment and other portable stationary noise sources shall be shielded and noise shall be directed away from sensitive receptors.

Water Quality/Drainage

The Project design includes a drainage plan that will convey runoff into two (2) Bio-infiltration Detention basins located along the southern property line. These Bio-infiltration Detention basins will filter and retain/detain runoff and allow infiltration or discharge of filtered runoff into a storm drain.

Fire Protection

The Project design minimizes the risks from on-site generated fires, as well as the risk from fires originating off-site which could threaten the Site and its occupants. The Project is being designed in compliance with Riverside County Fire Department technical policies and standards which summarize and clarify County and State Codes to facilitate fire safety and life safety solutions. Fire protection features include:

- Reporting: All fires, regardless of size shall be reported immediately via the 9-1-1 system to the Fire Department.
- Landscaping design: The landscape design shall provide defensible space around all structures. A safety zone will be maintained between structures and combustible vegetation. Fire-resistant

ground cover, shrubs and trees will be used throughout. Roof and gutters will be regularly cleaned and maintained.

- Trees and vegetation shall be trimmed to maintain five feet of vertical clearance between roof surfaces and portions of overhanging trees.
- Roof surfaces shall be maintained free of substantial accumulation of leaves, needles, twigs and any other combustible matter. Gutters will be regularly cleaned and maintained.
- An automatic irrigation system will be installed.
- Access: The Project has been designed to extend Fire Dept. access onto the site. Structures will be designed to enable firefighters to quickly locate various features such as fire department connection (FDC's), fire command center, fire alarm control equipment, fire pump room, hose valves, annunciators, key boxes etc. The Site Plan is designed to accommodate fire apparatus into and around the site.
- Exterior surfaces: Fire-resistant or non-combustible materials will be used on roofs and exterior surfaces. Vents, louver, and other openings will be covered with wire mesh to prevent embers and framing debris from entering.
- Structures: Structures will be constructed having one-hour fire rated exterior materials (i.e., 7/8" cement stucco). Proposed exterior walls will be constructed with combination of stucco and hardwood panel per manufacturer specifications.
- Structures will have sealed eaves and attic ventilation. Metal coping and metal roofing will be used.
- Emergency power: Emergency power, lighting and exit signage shall address survivability of system; electrical safety.

EXISTING SITE CONDITIONS

The Site occupies the southern half of Planning Area 1 of the Boulder Springs Specific Plan #229. The Site is rectangular, devoid of structures and relatively flat having previously been mass graded in anticipation of commercial/retail development.

The Site is bordered on the north by undeveloped land (the northern half of Planning Area 1), which has been mass graded in anticipation of commercial/retail development. Further northward is Carpinus Drive and single-family residential homes. The Site is bordered on the west by single-family homes. The Site is bordered on the south by mass graded relative flat undeveloped land (reserved for potential widening of Cajalco Road). Continuing south is Cajalco Road and agricultural uses. The Site is bordered on the west by Wood Road and agricultural uses. An aerial photo is shown on Figure 9. A photo location map including both the northern and southern halves of the Planning Area is shown on Figure 10. Site photos appear on Figures 11-14.

Aesthetic Resources: The Site is totally disturbed and contains no scenic/aesthetic resources. The Site is not adjacent to any designated aesthetic/scenic resources.

Air Quality/Greenhouse Gas: Most of the Site is devoid of vegetation. The Site generates little to no air emissions.

Biological Resources: The Site is relatively flat having previously been mass graded in anticipation of commercial/retail development consistent with the Boulder Springs Specific Plan. Therefore, vegetation onsite is generally limited to weedy species. Dominant vegetative species include Russian thistle, short-pod mustard, wall barley and stinknet. Other species present include common sunflower, pigweed, sow thistle, red brome and prickly lettuce.

In June 2017, an updated biological assessment was conducted to determine if 1) suitable Burrowing Owl habitat was present on-site and 2) if any burrows onsite were potentially utilized by the Burrowing Owl. Due to the presence of somewhat suitable habitat a Step II Part A, a Focused Burrowing Survey was conducted to determine if any potentially suitable burrows were present on-site. The Assessment concluded that potentially suitable burrows were absent on-site. No individual Burrowing Owls or evidence of utilization of the Site was detected on or near the Site during this Assessment.

Additionally, the Assessment evaluated the Site to determine if (MSHCP Section 6.1.2) riparian riverine and vernal pool areas were present onsite. The Assessment concluded that while incipient ponding areas and a detention basin were observed on-site, these were human-made and not created for the purpose of providing wetland habitat and that no riparian/riverine or vernal pool resources were present on-site.

Cultural/Historical Resources: The Site is relatively flat having previously been mass graded in anticipation of commercial/retail development. There are no cultural/historical resources on-site.

Drainage: The Site drains from north to south. During mass grading a temporary retention basin was installed at the southwest corner of the Site.

Geology and Soils: The Site is in a seismically active region. No active or potentially active fault is known to exist at this Site nor is the Site situated within an "Alquist-Priolo" Earthquake Fault Zone. The County of Riverside has designated the Site area as "not in a fault zone", "not in a fault line," having a "low" to "moderate" potential for liquefaction and as "susceptible" to subsidence.

Topography: Topography of the Site varies from approximately 1,610 feet above mean sea level atop the existing slope at the northwest corner of the Site adjacent to Wood Road to approximately 1,585 feet at the southwest corner. The change in elevation is roughly 25 feet. The graded pad area varies from approximately 1,600 feet on the northern boundary to 1,590' on the southern boundary. The change in elevation of the graded pad area is roughly 10 feet.

Liquefaction: The County of Riverside has designated the Site as having a "low" to "moderate" liquefaction potential. Liquefaction is not considered to be a hazard at the Site due to the depth of engineered fill below the Site and underlying dense material.

Hazards/Hazardous Materials: No Recognized Environmental Conditions have been identified on the Site. The Site is identified as within Compatibility Zone E of March Air Reserve Base/Inland Port Airport Influence Area. Zone E does not restrict non-residential intensity. The Site is not located within a Fire Hazard Severity Zone. The Lake Mathews/Woodcrest Area Plan Figure 10 (Flood Hazards) shows that the Site is not located within a dam inundation area.

Mineral Resources: The County General Plan Multipurpose Open Space Element designates the Site within the MRZ-3 Zone (Significance of mineral deposits undetermined). The Site lies within the boundary of the Lake Mathews/Woodcrest Area Plan. There are no "Mineral Resource Areas identified within the Lake Mathews/Woodcrest Area Plan.

Noise: Ambient noise level on-site are approximately 41.3 dBA Leq. The dominant noise source is noise from offsite vehicular traffic volumes.

Paleontological Resources: No paleontological resources have been identified on-site.

Population and Housing: The Site is vacant uninhabited land.

Public Services: The Site requires no public services. However, public services are available if needed.

Recreation/Recreational Trails: The Site is vacant private land. There are no trails on-site.

Transportation/Traffic: The Site is vacant private land with no public roads. The Site generates no traffic.

Tribal/Cultural Resources: The Site is vacant private land. No tribal/cultural resources have been identified on-site.

Utility and Service Systems: The Site uses no utility or service systems. Utility and service system connections exist adjacent to the Site. The Site generates no solid waste, uses no electricity, water, natural gas, telephone services, etc. An underground storm drain main has been constructed on-site.

Figure 10 - Aerial Site Photo



Figure 11 - Site Photo Location Map



Figure 12 - Site Photos 1 & 2



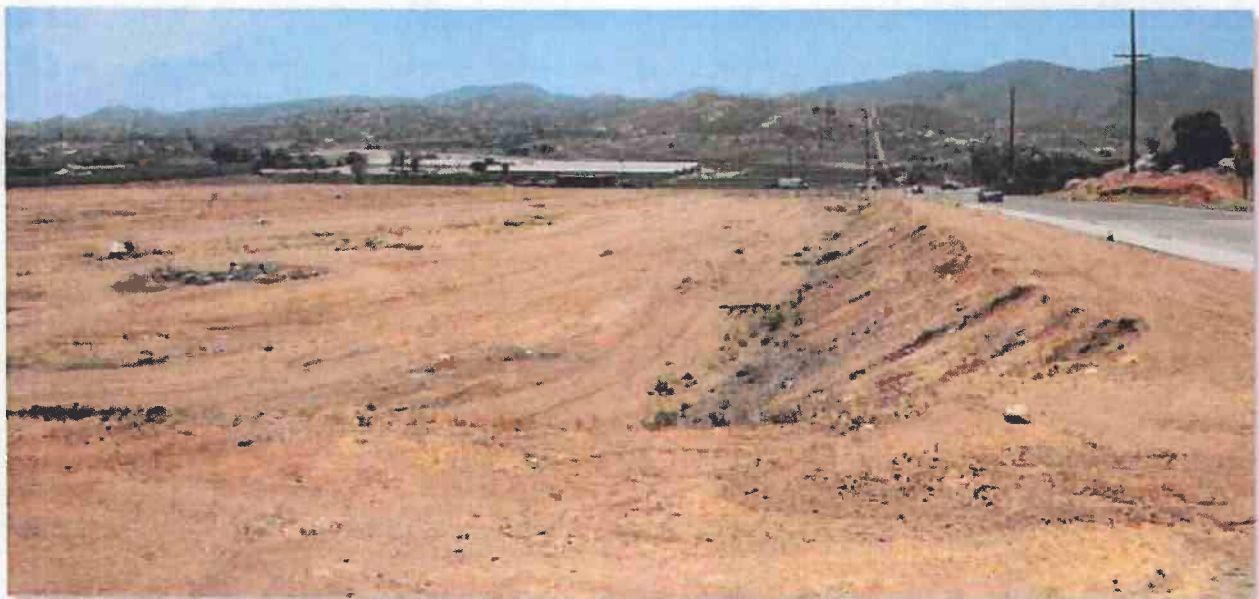
Figure 13 - Site Photos 3 & 4



Figure 14 - Site Photos 5 & 6



Figure 15 - Site Photos 7 & 8



COUNTY OF RIVERSIDE
ENVIRONMENTAL ASSESSMENT FORM: INITIAL STUDY

Environmental Assessment (E.A.) Number: EA43037
Project Case Type (s) and Number(s): TPM37537 and CUP3775
Lead Agency Name: Riverside County Planning Department
Address: P.O. Box 1409, Riverside, CA 92502-1409
Contact Person: Tim Wheeler
Telephone Number: 915-955-6060
Applicant's Name: Cajalco Square, LP
Applicant's Address: 139 Radio Road, Corona, CA 92879

I. PROJECT INFORMATION

A. Project Description:

The proposed Project (CUP3775/PM37537) is a continuation of the development of Planning Area 1 within Specific Plan 229A1. The proposed Project requests the following land use entitlements:

Tentative Parcel Map No. 37537 proposes a Schedule E parcel map to subdivide 9.79 gross acres into four (4) parcels. Parcel 1 would be 0.98 acres gross; Parcel 2 would be 3.62 acres gross, Parcel 3 would be 1.29 acres gross, and Parcel 4 would be 1.29 acres gross. TPM37537 proposes changes to Parcel Map No. 36124 to adjust the internal boundaries of the parcels to accommodate the land uses proposed by a Conditional Use Permit (CUP3775).

Conditional Use Permit No. 3775 would consist of a commercial retail center on Parcels 1, 2, 3, and 4 ("the Project"), with uses such as a 3,200 square foot drive-thru fast food restaurant, a 19,097 square foot retail store with a fenced in outdoor area, a 4,395 square foot self-service gas station with eight (8) gas pump stations, a 3,800 square foot convenience store, a 2,080 square foot drive-thru carwash and associated vehicle vacuuming area, and an 8,586 sq. ft. multi-tenant retail building. The convenience store would include the sale of beer and wine for off-site consumption. The Project would include 249 parking spaces (including 7 ADA and 6 electric vehicle parking spaces). The Project would also include two (2) water quality basins, a monument pylon sign, two (2) tenant monument signs, and two (2) gas price monument signs.

B. Type of Project: Site Specific ; Countywide ; Community ; Policy .

C. Project Area:

Residential Acres:	Lots: 0	Projected No. of Residents: 0
Commercial Acres: 7.18	Lots: 4	Est. No. of Employees:
net		
Industrial Acres:	Lots:	Est. No. of Employees:
Other:		

D. Assessor's Parcel No(s): 321-130-053, 054, 055 & 060

Street References: Northeast corner of Cajalco Road & Wood Road.

E. Section, Township & Range Description or reference/attach a Legal Description:
Northwestern portion of Section 8 of Township 4 South, Range 4 West.

F. Brief description of the existing environmental setting of the Project Site and its surroundings: The Project site occupies the southern portion of Planning Area 1 (PA1) of the Boulder Springs Specific Plan No. 229, Amendment No. 1 (SP229A1). The Site is rectangular, devoid of structures and relatively flat having previously been mass graded in anticipation of commercial/retail development.

The Project site is bordered on the north by undeveloped land (the northern half of PA1), which has been mass graded in anticipation of commercial/retail development. Further north is Carpinus Drive and single-family residential homes. The Project site is bordered on the west by single family homes. The Project site is bordered on the south by mass graded relative flat undeveloped land (reserved for potential widening of Cajalco Road). Continuing south is Cajalco Road and agricultural uses. The Site is bordered on the west by Wood Road and agricultural uses. See attached Environmental Setting for more information.

II. APPLICABLE GENERAL PLAN AND ZONING REGULATIONS

A. General Plan Elements/Policies:

1. **Land Use:** The Project site has a General Plan land use designation of Commercial Retail (CR) in SP229A1, PA1. The proposed Project will meet all applicable land use policies of the General Plan and zoning regulations.
2. **Circulation:** The proposed Project has been reviewed for conformance with County Ordinance 461 by the Riverside County Transportation Department. SP229A1 depicts Cajalco Road as an Urban Arterial (138' ROW) and Wood Road as a Secondary (88' ROW). The Lake Mathews/Woodcrest Area Plan depicts Cajalco Road as an Expressway with a ROW that varies from 128' to 220' and Wood Road as a Secondary (100' ROW). The Riverside County Transportation Department Cajalco Rd Widening Project depicts Cajalco Rd with a ROW that varies from 94' to 142' (98' in the vicinity of Wood Road). Adequate circulation facilities exist and are proposed to serve the proposed Project. The proposed Project meets all applicable circulation policies of the General Plan.
3. **Multipurpose Open Space:** The proposed Project would develop a commercial/retail center on a site designated for commercial use. No multi-purpose or natural open space land was required to be preserved within the boundaries of this Project Site. The proposed Project meets all other applicable Multipurpose Open Space Element policies.
4. **Safety:** The proposed Project is within an area with low to moderate susceptibility to liquefaction and has soil subsidence potential. The proposed Project is not located within a high fire hazard, fault hazard, or flood hazard area/zone. The Site does not have steep slopes or subject to landslides or rockfalls. The proposed Project meets all other applicable Safety Element policies.
5. **Noise:** The Noise Element requires projects to minimize noise spillover onto adjoining residential or other noise-sensitive areas or uses.
6. **Housing:** The proposed Project does not include housing and no impacts to housing are applicable to the Housing Element policies.
7. **Air Quality:** The Project site is within the South Coast Air Basin, which is within the jurisdiction of the South Coast Air Quality Management District. The proposed Project has

been conditioned to control any fugitive dust during grading and construction activities. The proposed Project meets all other applicable Air Quality Element policies.

Healthy Communities: The Health Communities Element states that, where feasible, air pollutant sources and sensitive receptors should be sited apart from each other.

B. General Plan Area Plan(s): Lake Mathews/Woodcrest Area Plan

C. Foundation Component(s): Community Development

D. Land Use Designation(s): Community Development: Commercial Retail (CD: CR)

E. Overlay(s), if any: N/A

F. Policy Area(s), if any: Cajalco-Wood Policy Area, March Joint Air Reserve Base Airport Influence Area, Mt. Palomar Night Time Lighting Policy Area - Zone B.

G. Adjacent and Surrounding:

1. **Area Plan(s):** Lake Mathews/Woodcrest Area Plan

2. **Foundation Component(s):** Community Development and Rural Community

3. **Land Use Designation(s):** Areas to the north are designated for Community Development: Commercial Retail (CD: CR) in SP229A1. To the east the designation is Rural Community: Low Density Residential (RC: LDR) in SP229A1. Area to the west is designated for Community Development: Very Low Density Residential (CD: VLDR). Finally area to the south is designated for Community Development: Commercial Retail and Public Facilities (CD: CR & CD: PF)

4. **Overlay(s), if any:** N/A

5. **Policy Area(s), if any:** Cajalco-Wood Policy Area, March Joint Air Reserve Base Airport Influence Area, Mt. Palomar Night Time Lighting Policy Area - Zone B

H. Adopted Specific Plan Information

1. **Name and Number of Specific Plan, if any:** Boulder Springs - Specific Plan No. 229, Amendment No. 1 (Formerly the HB Ranches - Specific Plan No. 229).

2. **Specific Plan Planning Area, and Policies, if any:** Southern portion of Planning Area 1 (PA1).

I. Existing Zoning: SP229A1 (Boulder Springs, PA1) is a commercial zone (defers to the Scenic Highway Commercial, C-P-S zone, of Article IXb, Section 9.50 of County Ordinance No. 348 unless otherwise stated in the Specific Plan).

J. Proposed Zoning, if any: N/A

K. Adjacent and Surrounding Zoning: Surrounding the Project site to the north and east is SP229A1. To the west is Rural Agricultural, ½ Acre Minimum (R-A ½). Finally to the south is R-A ½ and Open Space Combining Zone-Residential Developments (R-5).

III. PROJECT BACKGROUND AND CEQA COMPLIANCE

The Subject Property lies within Planning Area 1 of Specific Plan #229A1 which is designated for commercial land use.

In 1988 a Draft Environmental Impact Report (EIR 255) was prepared for the H.B. Ranches Specific Plan. EIR 255 evaluated the environmental impacts anticipated from the ultimate build-out of the Specific Plan at a programmatic level. The specific mix of commercial uses allowed by the Specific Plan for Planning Area 1 was not known at that time. However, design criteria contained in the Specific Plan along with modeling of the anticipated environmental effects from build-out of the Specific Plan were evaluated by EIR 255. It is intended that as build-out of the Specific Plan proceeds each project will be re-evaluated by the County to determine the adequacy of EIR 255 for that project. EIR 255 was found to adequately comply with the California Environmental Quality Act (CEQA) and certified by the County on October 3, 1988. Final EIR 255 concluded the build-out of Specific Plan #229 would result in the following potentially significant unavoidable adverse impacts.

Specific Plan EIR 255 Potentially Significant Unavoidable Adverse Impacts

- Topography
- Soils
- Biology
- Air Quality
- Archaeology
- Traffic
- Noise
- Schools

Mitigation measures were identified in Final EIR 225 and have been or are being implemented as the build-out of the Specific Plan progresses. Mitigation measures requiring detailed studies or payment of fees prior to site grading were completed for all of the potentially significant impacts within the categories listed above.

On October 4, 1988 the HB Ranches Specific Plan (SP229) was found consistent with the General Plan and approved by Resolution 88-476 following certification of the Final Environmental Impact Report.

In 2003, an amendment to the HB Ranches Specific Plan was proposed (SP229A1). At that time the Specific Plan was renamed the Boulder Springs Specific Plan. The proposed changes included the reconfiguration of Planning Area 1. Planning Area 1 in the original Specific Plan fronted on and took access from Cajalco Road. The proposed amendments to the Specific Plan reconfigured Planning Area 1 to front on and take access from Wood Road.

In compliance with CEQA an Initial Study was prepared for SP229A1. In accordance with CEQA Guidelines Section 15164 ("Addendum to an EIR or Negative Declaration") the Initial Study concluded that none of the circumstances identified in CEQA Guidelines Section 15162 calling for preparation of a subsequent EIR had occurred and proceeded with the preparation of an Addendum to FEIR 255. The Addendum to FEIR 255 was found to adequately comply with CEQA and was certified by the County on May 3, 2004.

In December 2018 the California Natural Resources Agency approved Updated CEQA Guidelines. Following the release of the State's updated CEQA Guidelines, the County of Riverside then updated its CEQA Guidelines. This Initial Study/Addendum has been prepared pursuant to the 2019 Riverside County CEQA Guidelines.

The proposed Project (CUP3775/PM37537) is proposing a project which is consistent with the commercial land uses designated by the Specific Plan for Planning Area 1. The proposed Project

includes a fueling station and carwash which are permitted by the Specific Plan subject to approval of a Conditional Use Permit. The proposed Project is not proposing a change to the Specific Plan.

Final EIR 255 did not evaluate specific commercial uses such as a fueling station with a carwash in its analysis. This level of detail was not known at that time. Therefore, this Initial Study analyzes the environmental effects of the proposed Project to determine its potential environmental effects and to determine what type of CEQA documentation is required for the proposed Project. The following guidance is provided by the CEQA Guidelines.

CEQA Guidelines § 15164. Addendum to an EIR or Negative Declaration

- (a) The lead agency or a responsible agency shall prepare an addendum to a previously certified EIR if some changes or additions are necessary but none of the conditions described in Section 15162 calling for preparation of a subsequent EIR have occurred.*
- (b) An addendum to an adopted negative declaration may be prepared if only minor technical changes or additions are necessary or none of the conditions described in Section 15162 calling for the preparation of a subsequent EIR or negative declaration have occurred.*
- (c) An addendum need not be circulated for public review but can be included in or attached to the final EIR or adopted negative declaration.*
- (d) The decision-making body shall consider the addendum with the final EIR or adopted negative declaration prior to making a decision on the project.*
- (e) A brief explanation of the decision not to prepare a subsequent EIR pursuant to Section 15162 should be included in an addendum to an EIR, the lead agency's required findings on the project, or elsewhere in the record. The explanation must be supported by substantial evidence.*

This Initial Study evaluates the proposed Project to determine if any of the conditions described in Section 1562 have occurred. CEQA Guidelines Section 15162 states:

CEQA Guidelines § 15162. Subsequent EIRs and Negative Declarations

- (a) When an EIR has been certified or a negative declaration adopted for a Project, no subsequent EIR shall be prepared for that Project unless the lead agency determines, on the basis of substantial evidence in the light of the whole record, one or more of the following:*
 - (1) Substantial changes are proposed in the Project which will require major revisions of the previous EIR or negative declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects;*
 - (2) Substantial changes occur with respect to the circumstances under which the Project is undertaken which will require major revisions of the previous EIR or negative declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; or*
 - (3) New information of substantial importance, which was not known and could not have been known with the exercise of reasonable diligence at the time the previous EIR was certified as complete or the negative declaration was adopted, shows any of the following:*

(A) The Project will have one or more significant effects not discussed in the previous EIR or negative declaration;

(B) Significant effects previously examined will be substantially more severe than shown in the previous EIR;

(C) Mitigation measures or alternatives previously found not to be feasible would in fact be feasible and would substantially reduce one or more significant effects of the Project, but the Project proponents decline to adopt the mitigation measure or alternative; or

(D) Mitigation measures or alternatives which are considerably different from those analyzed in the previous EIR would substantially reduce one or more significant effects on the environment, but the Project proponents decline to adopt the mitigation measure or alternative.

(b) If changes to a Project or its circumstances occur or new information becomes available after adoption of a negative declaration, the lead agency shall prepare a subsequent EIR if required under subdivision (a). Otherwise the lead agency shall determine whether to prepare a subsequent negative declaration, an addendum, or no further documentation.

(c) Once a Project has been approved, the lead agency's role in Project approval is completed, unless further discretionary approval on that Project is required. Information appearing after an approval does not require reopening of that approval. If after the Project is approved, any of the conditions described in subdivision (a) occurs, a subsequent EIR or negative declaration shall only be prepared by the public agency which grants the next discretionary approval for the Project, if any. In this situation no other responsible agency shall grant an approval for the Project until the subsequent EIR has been certified or subsequent negative declaration adopted.

(d) A subsequent EIR or subsequent negative declaration shall be given the same notice and public review as required under Section 15087 or Section 15072. A subsequent EIR or negative declaration shall state where the previous document is available and can be reviewed.

This Initial Study concluded since the certification of EIR 255 and its CEQA Addendum for SPA 29A1:

1. There have been no substantial changes in the Project which will require major revisions of the previous EIR due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects;
2. There have been no substantial changes with respect to the circumstances under which the Project is undertaken which will require major revisions of the previous EIR due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; and
3. There is no new information of substantial importance, which was not known and could not have been known with the exercise of reasonable diligence at the time the previous EIR was certified as complete or the negative declaration was adopted, shows any of the following:
 - (A) The Project will have one or more significant effects not discussed in the previous EIR;
 - (B) Significant effects previously examined will be substantially more severe than shown in the previous EIR;
 - (C) Mitigation measures or alternatives previously found not to be feasible would in fact be feasible and would substantially reduce one or more significant effects of the Project, but the Project proponents decline to adopt the mitigation measure or alternative; or
 - (D) Mitigation measures or alternatives which are considerably different from those analyzed in the previous EIR would substantially reduce one or more significant effects on the environment, but the Project proponents decline to adopt the mitigation measure or alternative.

Explanation of Finding #3 above: Changes in circumstances have occurred since the adoption of Final EIR 255 and its Addendum. These changes in circumstances include the requirement to evaluate:

- Greenhouse Gas (GHG) emissions as a separate category in a CEQA Initial Study;
- Energy as a separate category in a CEQA Initial Study;
- Wildfire as a separate category in CEQA Initial Study; and
- State Assembly Bill 52 "Native Americans" (AB 52) which was passed in 2014. AB 52 requires the County to consult with Native American tribes when preparing CEQA documents.

These and other changes in circumstances that have occurred since the certification of EIR 255 were evaluated in this Initial Study for conditions described in CEQA Guidelines Section 15162 (above) to determine the type of CEQA document to prepare for the proposed Project. This evaluation included the following:

Green House Gas

Prior Analysis - Air Quality emission were evaluated in Final EIR 255 for build-out of Specific Plan 229. The Air Quality analysis analyzed the constituent emissions that make up greenhouse gases. A specific analysis of greenhouse gas emissions from the proposed Project and their impact on the environment was not performed, as it was not required at that time, nor had a specific design for the Planning Area 1 been developed, and GHG emissions modeling software was not available to perform this task. Since that time, programs and regulations have been adopted to analyze greenhouse gas emissions. The Air Quality analysis in Final EIR 255 did not analyze a fueling station with a car wash within Planning Area 1 even though it is a permitted use subject to approval of a Conditional Use Permit.

Current Analysis - This Initial Study evaluated the proposed Projects impact on Greenhouse Gas emissions in Section 20 and concluded that the proposed Project would result in less than significant impacts.

Energy

Prior Analysis - Energy usage was evaluated in Final EIR 255 for build-out of Specific Plan 229. The Air quality analysis contained estimates of energy usage. Utility purveyors were contacted to determine if adequate supplies were available to serve the future needs of the Specific Plan upon buildout. Adequate supplies are available.

A specific analysis of energy usage for the proposed Project and its impact on the environment was not performed, as it was not required at that time, nor had a specific design for the Planning Area 1 been developed. It was assumed energy usage for the Specific Plan would be equal to the average energy use for similar land uses in the region. Since that time, programs and regulations have been adopted to require energy efficiency.

Current Analysis – Energy was re-evaluated in this Initial Study as a separate topic (Section 10). It was determined that the continued buildout of the Specific Plan and the proposed Project would not increase the use of energy beyond that previously evaluated in EIR 255A1. Compliance with new regulations will reduce energy usage. This Initial Study concluded the proposed Project would result in less than significant impact.

Wildfire

Prior Analysis – Fire risk was evaluated in Final EIR 255 for the phased build-out of Specific Plan 229. The Public Services analysis involved communications with emergency responders (County Fire & Sheriff Departments) and inter-departmental County review to determine adequate site design, infrastructure needed, Project compliance with design standards and to ensure emergency response times were within acceptable time limits during the phased buildout of the Specific Plan. Specific analysis of Wildfire as an individual topic in EIR 255 was not required. However, the threat of wildfire was an important consideration in the evaluation of fire safety which was part of the interdepartmental County and emergency responder's evaluation. The Specific Plan received approval from County departments and emergency responders. EIR 255 concluded the Specific Plan would have a less than significant impact to public services. In December 2018 the State updated the CEQA Guidelines which recommend Wildfire be treated as a separate topic. The 2019 County CEQA Guideline include Wildfire as a separate topic.

Current Analysis – Wildfire was re-evaluated in this Initial Study as a separate topic (Section 44). It was determined that the continued buildout of the Specific Plan and the proposed Project would not increase the wildfire risk beyond that previously evaluated in EIR 255A1. Compliance with new regulations will reduce the risks to wildfire. The proposed Project will result in less than significant impacts.

Assembly Bill 52 Native Americans

Prior Analysis - Potential impacts to Cultural and Historical Resources were evaluated in Final EIR 255. The evaluation of Cultural and Historical Resources included Impacts to Native Americans. Mitigation measures were adopted to minimize the impact to Cultural and Historical Resources (Native Americans). These mitigation measures have been satisfied prior to and during mass grading of Planning Area 1.

Current Analysis - This Initial Study evaluated the proposed Projects impact on Tribal Cultural Resources in Section 45. AB 52 requires:

“a lead agency to begin consultation with a California Native American tribe that is traditionally and culturally affiliated with the geographic area of the proposed Project, if the tribe requested to the lead agency, in writing, to be informed by the lead agency of proposed Projects in that geographic area and the tribe requests consultation, prior to determining whether a negative declaration, mitigated negative declaration, or environmental impact report is required for a project.”

In compliance with Assembly Bill 52, notices regarding the Proposed Project were mailed to eight requesting tribes on August 03, 2017. Consultations were requested by the Soboba Band of Luiseno Indians, the Pechanga-Temecula Band of Luiseno Mission Indians and the Rincon Band of Luiseno Indians. In consultation with these Tribes, no Tribal Cultural Resources were identified by the tribes.

Hence, based on the information gathered by Planning and the information provided by the consulting tribes, Planning has concluded that this proposed Project poses no potential for a significant impact to Tribal Cultural Resources as defined in Section 21073 of the Public Resources Code because there are no Tribal Cultural Resources present.

Therefore, in making finding #3 above, the Initial Study concluded after review of all CEQA topics that none of the conditions described in CEQA Guidelines Section 15162, 3,(A-D) calling for preparation of a subsequent EIR have occurred.

CEQA Conclusion

This Initial Study re-evaluated all CEQA topics for conditions described in Section 15162 and concludes that some changes or additions are necessary to Final EIR 255 due to changes in circumstances that have occurred since the certification of EIR 255 and its Addendum, but none of the conditions described in Section 15162 calling for preparation of a subsequent EIR have occurred and that an Addendum to Final EIR 255 is the appropriate document for the proposed Project in compliance with the California Environmental Quality Act.

Pursuant to California Code of Regulations Section 15152 the County is using the CEQA tiering concept. This Addendum is being tiered with Final EIR 255. Final EIR 255 remains the master environmental document for development of all phases of Specific Plan #229A1. Final EIR 255 is available for public review at the following location:

County of Riverside Planning Department
4080 Lemon Street, 12th Floor
Riverside, CA 92505

Existing Plans, Programs, or Policies (PPPs)

The intent of including existing Plans, Programs and Policies in this Initial Study is to identify the role existing regulations play in insuring a project's potential impacts on the environment are minimized and or avoided.

All projects must comply with existing Plans, Programs and Policies. Existing Plans, Programs and Policies are not project specific. Compliance with existing Plans, Programs and Policies can be more aptly characterized as an integral part of the overall project (and therefore not "mitigation"). For clarity, the term "mitigation" as defined by CEQA is used for measures that are to reduce an impact that has been determined to be significant. Measures used to avoid or minimize impacts which have NOT been determined to be significant should not be considered or labeled "mitigation".

IV. ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED

The environmental factors checked below (X) would be potentially affected by this Project, involving at least one impact that is a "Potentially Significant Impact" or "Less than Significant with Mitigation Incorporated" as indicated by the checklist on the following pages.

- | | | |
|---|--|---|
| <input type="checkbox"/> Aesthetics | <input type="checkbox"/> Hazards & Hazardous Materials | <input type="checkbox"/> Recreation |
| <input type="checkbox"/> Agriculture & Forest Resources | <input type="checkbox"/> Hydrology / Water Quality | <input type="checkbox"/> Transportation / Traffic |
| <input type="checkbox"/> Air Quality | <input type="checkbox"/> Land Use / Planning | <input type="checkbox"/> Tribal Cultural Resources |
| <input type="checkbox"/> Biological Resources | <input type="checkbox"/> Mineral Resources | <input type="checkbox"/> Utilities / Service Systems |
| <input type="checkbox"/> Cultural Resources | <input type="checkbox"/> Noise | <input type="checkbox"/> Wildfire |
| <input type="checkbox"/> Energy | <input type="checkbox"/> Paleontological Resources | <input type="checkbox"/> Mandatory Findings of Significance |
| <input type="checkbox"/> Geology / Soils | <input type="checkbox"/> Population / Housing | |
| <input type="checkbox"/> Greenhouse Gas Emissions | <input type="checkbox"/> Public Services | |

V. DETERMINATION

On the basis of this initial evaluation:

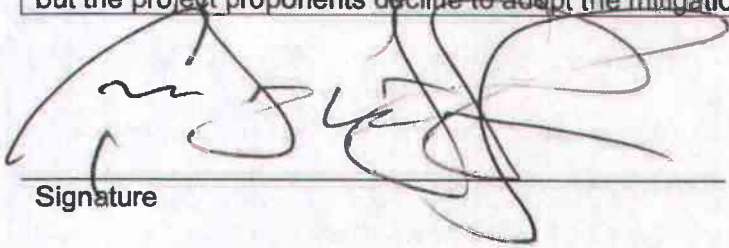
A PREVIOUS ENVIRONMENTAL IMPACT REPORT/NEGATIVE DECLARATION WAS NOT PREPARED

- I find that the proposed project **COULD NOT** have a significant effect on the environment, and a **NEGATIVE DECLARATION** will be prepared.
- I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because revisions in the project, described in this document, have been made or agreed to by the project proponent. **A MITIGATED NEGATIVE DECLARATION** will be prepared.
- I find that the proposed project **MAY** have a significant effect on the environment, and an **ENVIRONMENTAL IMPACT REPORT** is required.

A PREVIOUS ENVIRONMENTAL IMPACT REPORT/NEGATIVE DECLARATION WAS PREPARED

- I find that although the proposed project could have a significant effect on the environment, **NO NEW ENVIRONMENTAL DOCUMENTATION IS REQUIRED** because (a) all potentially significant effects of the proposed project have been adequately analyzed in an earlier Environmental Impact Report (EIR) or Negative Declaration pursuant to applicable legal standards, (b) all potentially significant effects of the proposed project have been avoided or mitigated pursuant to that earlier EIR or Negative Declaration, (c) the proposed project will not result in any new significant environmental effects not identified in the earlier EIR or Negative Declaration, (d) the proposed project will not substantially increase the severity of the environmental effects identified in the earlier EIR or Negative Declaration, (e) no considerably different mitigation measures have been identified and (f) no mitigation measures found infeasible have become feasible.
- I find that although all potentially significant effects have been adequately analyzed in an earlier EIR or Negative Declaration pursuant to applicable legal standards, some changes or additions are necessary but none of the conditions described in California Code of Regulations, Section 15162 exist. An **ADDENDUM** to a previously-certified EIR or Negative Declaration has been prepared and will be considered by the approving body or bodies.
- I find that at least one of the conditions described in California Code of Regulations, Section 15162 exist, but I further find that only minor additions or changes are necessary to make the previous EIR adequately apply to the project in the changed situation; therefore a **SUPPLEMENT TO THE ENVIRONMENTAL IMPACT REPORT** is required that need only contain the information necessary to make the previous EIR adequate for the project as revised.
- I find that at least one of the following conditions described in California Code of Regulations, Section 15162, exist and a **SUBSEQUENT ENVIRONMENTAL IMPACT REPORT** is required: (1) Substantial changes are proposed in the project which will require major revisions of the previous EIR or negative declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; (2) Substantial changes have occurred with respect to the circumstances under which the project is undertaken which will require major revisions of the previous EIR or negative declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; or (3) New information of substantial importance, which was not known and could not have been known with the exercise of reasonable diligence at the time the previous EIR was certified as complete or the negative declaration was adopted, shows any the following:(A) The project will have one or more significant effects not discussed in the previous EIR or negative declaration;(B) Significant effects previously examined will be substantially more severe than shown in the previous EIR or negative declaration;(C) Mitigation measures or alternatives previously found not to be feasible would in fact be feasible, and would substantially reduce one or more significant effects of the project, but the project proponents decline to adopt the mitigation measures or alternatives; or,(D) Mitigation measures or alternatives which are considerably different from those analyzed in the previous EIR or negative

declaration would substantially reduce one or more significant effects of the project on the environment, but the project proponents decline to adopt the mitigation measures or alternatives.



Signature

January 23, 2020

Date

Tim Wheeler
Urban Regional Planner

Printed Name

For: Charissa Leach, P.E.
Assistant TLMA Director

VI. ENVIRONMENTAL ISSUES ASSESSMENT

In accordance with the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000-21178.1), this Initial Study has been prepared to analyze the proposed project to determine any potential significant impacts upon the environment that would result from construction and implementation of the project. In accordance with California Code of Regulations, Section 15063, this Initial Study is a preliminary analysis prepared by the Lead Agency, the County of Riverside, in consultation with other jurisdictional agencies, to determine whether a Negative Declaration, Mitigated Negative Declaration, or an Environmental Impact Report is required for the proposed project. The purpose of this Initial Study is to inform the decision-makers, affected agencies and the public of potential environmental impacts associated with the implementation of the proposed project.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
AESTHETICS. Except as provided in Public Resources Code Section 21099, would the project:				
1. Scenic Resources				
a) Have a substantial effect upon a scenic highway corridor within which it is located?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings and unique or landmark features; obstruct any prominent scenic vista or view open to the public; or result in the creation of an aesthetically offensive site open to public view?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) In non-urbanized areas, substantially degrade the existing visual character or quality of public views of the site and its surroundings? (Public views are those that are experienced from publicly accessible vantage points.) If the project is in an urbanized area, would the project conflict with applicable zoning and other regulations governing scenic quality?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Sources:

- Final Environmental Impact Report (FEIR 255)
- Riverside County General Plan Figure C-8 "Scenic Highways"
- Lake Mathews/Woodcrest Area Plan, Figure 9
- California Department of Transportation, State Scenic Highways website:
http://www.dot.ca.gov/hq/LandArch/16_livability/scenic_highways/index.htm

Background and Conclusion:

Final EIR 255 identified change in topography as an Unavoidable Adverse Impact that will result from development of Specific Plan 229A1. All required studies were completed and approved, and all required permits were obtained prior to mass grading. The Project site has been mass graded in anticipation of commercial development. The proposed Project is consistent with Specific Plan 229A1 and has been designed in compliance with all Plans, Programs and Policies to reduce Project impacts. None of the conditions described in California Code of Regulations, Section 15162 exist and the proposed Project will not cause any new or increase the severity of any previously identified impacts evaluated in Final EIR 255. Analysis in support of this conclusion follows.

Findings of Fact:

a) No Impact. There are no designated US (federal), Interstate or State Scenic Highways in the Project vicinity. The nearest scenic highway is Interstate Route 215 located 4.55 miles to the east of the Project site. The nearest state scenic highway is Highway 74 located 6.56 miles to the southeast of the Project site. The Project site is visible from Cajalco Road, a designated Expressway (220' ROW). Cajalco Road lies adjacent to the Project site on the south and is not a designated scenic highway. The Projects potentially significant impacts to scenic highways were adequately addressed in FEIR 255. The Project is being developed consistent with the County General Plan and SP229A1. None of the conditions described in California Code of Regulations, Section 15162 exist. Therefore, the Project will not have a substantial effect upon a scenic highway/corridor. There will be no impacts.

b) No Impact. The Project site is rectangular, devoid of structures, relatively flat having previously been mass graded in anticipation of retail commercial development as part of the prior approvals. Views of the Project site as evaluated in FEIR 255 do not include scenic resources. The Project is being developed consistent with the County General Plan and SP229A1. Therefore, the Project will not have the potential to damage scenic resources or result in the creation of an aesthetically offensive site open to public view. There will be no impacts.

c) No Impact. The Project site is located in a rural area planned for urban development. The Project is being developed consistent with the County General Plan and SP229A1 for commercial use. The Projects potentially significant impacts to visual resources were adequately addressed in FEIR 255. Therefore, the Project will not have the potential to degrade the existing visual character or quality of public views of the site and its surroundings, or conflict with applicable zoning and other regulations governing scenic quality. There will be no impacts.

Existing Plans, Programs or Policies: There are no PPPs related to scenic resources.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
2. Mt. Palomar Observatory				
a) Interfere with the nighttime use of the Mt. Palomar Observatory, as protected through Riverside County Ordinance No. 655?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Sources:

- Ord. No. 655 (Regulating Light Pollution)
- Lake Mathews/Woodcrest Area Plan Mt. Palomar Night Time Lighting Policy Area, Figure 6
- FEIR 255

Background and Conclusion:

Final EIR 255 evaluated the environmental impact that will result from development of Specific Plan 229A1. All required studies were completed and approved, and all required permits were obtained prior to mass grading. The Project site has been mass graded in anticipation of commercial development.

The proposed Project is consistent with Specific Plan 229A1 and has been designed in compliance with all Plans, Programs and Policies to reduce Project impacts. None of the conditions described in California Code of Regulations, Section 15162 exist and the proposed Project will not cause any new or increase the severity of any previously identified impacts evaluated in Final EIR 255. Analysis in support of this conclusion follows.

Findings of Fact:

a) Less Than Significant Impact. The Project site is more than 42 miles northwest of the Mt. Palomar Observatory within Zone B of the Mt. Palomar Night Time Lighting Policy Area. Zone B includes areas between 15 and 45 miles from the observatory. As codified by Riverside County Ordinance No. 655, areas within Zone B are required to meet specific lighting design standards to minimize light that could have a detrimental effect on astronomical observation and research. To ensure that lighting meets required standards, the proposed Project is required to submit lighting plans for approval as part of the Project permitting process. Thus, through the County's development review process, as included by PPP AES-1, the proposed Project would be required to comply with Riverside County Ordinance No. 655 and potential Project interference with nighttime use of the Mt. Palomar Observatory. Impacts will be less than significant.

Existing Plans, Programs, or Policies: Plans, Programs and Policies are adopted to insure that a project's potential impacts on the environment are minimized. Plans, Programs and Policies are not mitigation measures. The following Plans, Programs and Policies are applicable to the proposed Project.

PPP AES-1: Lighting Plans - All parking lot lights and other outdoor lighting shall be hooded and directed so as not to shine directly upon adjoining property or public rights-of-way, shall be shown on electrical plans submitted to the Department of Building and Safety for plan check approval and shall comply with the requirements of Riverside County Ordinance No. 655 and the Riverside County comprehensive General Plan.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
3. Other Lighting Issues				
a) Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Expose residential property to unacceptable light levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Sources:

- Riverside County Ord. No. 655 (Regulating Light Pollution)
- FEIR 255

Background and Conclusion:

Final EIR 255 evaluated the environmental impact that will result from development of Specific Plan 229A1. All required studies were completed and approved, and all required permits were obtained prior to mass grading. The Project site has been mass graded in anticipation of commercial development. The proposed Project is consistent with Specific Plan 229A1 and has been designed in compliance with all Plans, Programs and Policies to reduce Project impacts. None of the conditions described in California Code of Regulations, Section 15162 exist and the proposed Project will not cause any new or increase the severity of any previously identified impacts evaluated in Final EIR 255. Analysis in support of this conclusion follows.

Findings of Fact:

a) Less Than significant impact. The Project site is undeveloped and there is no source of onsite nighttime lighting. However, areas near the Project site provide sources of nighttime lighting including street lighting, security and parking lot lighting from developed parcels, illumination from vehicle headlights along Cajalco Road and Wood Road and offsite interior illumination from nearby residential uses passing through windows. Sensitive receptors relative to lighting and glare include residents, motorists and pedestrians.

Build-out of Specific Plan 229 will result in new sources of light and glare. The Specific Plan incorporates site design features to protect sensitive resources. These measures included requirements for walls, landscaping, building setbacks and compliance with the County Municipal Code. FEIR 255 did not address light and glare at the project specific level.

The proposed Project includes installation of new lighting sources on the Project site including exterior lighting for security in the parking lot and from signage for the Project site; along with building exteriors and interior lighting that could be visible through windows to the outside. The exterior security and parking lot lighting would be hooded, appropriately angled to focus on the Project site and would comply with the County's lighting ordinance and Building and Safety standards as required by County Ordinance No. 655 and included as PPP AES-1. On site signage will be illuminated from within the pylon and/or monument signs by fluorescent lighting. In addition, as described above, the proposed Project would be required to submit lighting plans for approval as part of the Project permitting process to ensure compliance with the Riverside County lighting requirements. Therefore, implementation of the Project would not result in a substantial new source of lighting.

Reflective light (glare) can be caused by sunlight or artificial light reflecting from finished surfaces such as window glass or other reflective materials. Buildings constructed of highly reflective materials from which the sun reflects at a low angle can cause adverse glare. The proposed commercial buildings will not be developed with reflective surfaces. Energy efficient windows made from glare reducing materials will be used. Non-reflective surfaces combined with glare reducing windows, landscaping perimeter fencing combined with building placement and mass will contribute to a reduction in glare. Therefore, the proposed Project would not generate substantial sources of glare. Impacts will be less than significant.

b) No Impact. As described above, existing low-density residential uses are located east of the Project site. However, the Project would adhere to all applicable Riverside County lighting regulations that specify lighting be hooded and angled to focus on the Project site and away from residential uses. The proposed Project would be required to submit lighting plans for approval as part of the Project permitting process per PPP AES-1 and Ordinance No. 655 to ensure compliance with the Riverside County lighting requirements. This process would ensure that residential property is not exposed to unacceptable levels of light and impacts related to unacceptable levels of light would not occur. There will be no impacts.

Existing Plans, Programs, or Policies: **PPP AES-1:** Listed previously in Section 2.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
AGRICULTURE & FOREST RESOURCES Would the project				
4. Agriculture				
a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland) as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Conflict with existing agricultural zoning, agricultural use or with land subject to a Williamson Act contract or land within a Riverside County Agricultural Preserve?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Cause development of non-agricultural uses within 300 feet of agriculturally zoned property (Ordinance No. 625 "Right-to-Farm")?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Sources:

- On-site inspection
- Riverside County General Plan Figure OS-2 "Agricultural Resources"
- FEIR 255

Background and Conclusion:

Final EIR 255 identified change in topography as an Unavoidable Adverse Impact that will result from development of Specific Plan 229A1. All required studies were completed and approved, and all required permits were obtained prior to mass grading. The Project site has been mass graded in anticipation of commercial development. There are no agricultural resources on the Project site. The proposed Project is consistent with Specific Plan 229A1 and has been designed in compliance with all Plans, Programs and Policies to reduce Project impacts. None of the conditions described in California Code of Regulations, Section 15162 exist and the proposed Project will not cause any new or increase the severity of any previously identified impacts evaluated in Final EIR 255. Analysis in support of this conclusion follows.

Findings of Fact:

a) No Impact. The Project is relatively flat having previously been mass graded in anticipation of commercial/retail development. Development of the site will not convert Farmlands, as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use. There will be no impacts.

b) No Impact. The Project will not conflict with existing agricultural zoning, agricultural use or with land subject to a Williamson Act contract or land within a Riverside County Agricultural Preserve. There will be no impacts.

c) No Impact. The Project site occupies the southern portion of PA1 within the approved Boulder Springs Specific Plan (SP229A1). The proposed Project is consistent with the approved land use permitted for the Project site by SP229A1. The Project will not change land uses, causing development of non-agricultural uses within 300 feet of agriculturally zoned property (Ordinance No. 625 "Right-to-Farm"). The proposed gas station and retail uses (including a detached 8,586 sq. ft. Retail Store anticipated to be occupied by a tractor supply tenant) will support existing agricultural uses within 300 feet of the Project on the west and in the Project vicinity. There will be no impacts.

d) Less Than Significant Impact. The Project impacts to agricultural resources were analyzed in FEIR 255. The proposed Project is being developed consistent with the County General Plan and Specific Plan 229A1. The proposed Project is consistent with the phased development of Specific Plan 229A1. The cumulative effects of urban development within this region of the County may impact the viability of agricultural uses. None of the conditions described in California Code of Regulations, Section 15162 exist and the proposed Project will not cause any new or additional impacts not previously evaluated in Final EIR 255.

Existing Plans, Programs, or Policies: There are no PPPs related to agricultural resources.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
5. Forest	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a) Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code section 12220(g)), timberland (as defined by Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Govt. Code section 51104(g))?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Result in the loss of forest land or conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Sources:

- Riverside County General Plan Figure OS-3a "Forestry Resources Western Riverside County Parks, Forests, and Recreation Areas"
- Figure OS-3b "Forestry Resources Eastern Riverside County Parks, Forests, and Recreation Areas"
- FEIR 255

Background and Conclusion:

Final EIR 255 identified change in topography as an Unavoidable Adverse Impact that will result from development of Specific Plan 229A1. All required studies were completed and approved, and all required permits were obtained prior to mass grading. The Project site has been mass graded in anticipation of commercial development. There are no forest resources on the Project site. The proposed Project is consistent with Specific Plan 229A1 and has been designed in compliance with all Plans, Programs and Policies to reduce Project impacts. None of the conditions described in California Code of Regulations, Section 15162 exist and the proposed Project will not cause any new or increase the severity of any previously identified impacts evaluated in Final EIR 255. Analysis in support of this conclusion follows.

Findings of Fact:

a-c) No Impact. The Project site and surrounding lands are either vacant lands awaiting development, areas developed with urban uses such as roadways and residential uses or areas currently used for agriculture, which are regularly disked.

There is no existing forest land or timberland on the Project site or in the Project vicinity. The zoning designation of the Project site is SP229A1. The Project site occupies a portion of PA1, a commercial designated site (defined in SP229A1 as C-P-S per Ordinance No. 348). The zoning designations of the areas surrounding the Project site do not include forest or timberland. Thus, the proposed Project would not conflict with zoning or cause rezoning or any forest or timber land, result in the loss of forest land or involve other changes that could result in the conversion of forest land to non-forest uses. There will be no impacts.

Existing Plans, Programs or Policies: There are no PPPs related to forest resources.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
AIR QUALITY Would the project:				
6. Air Quality Impacts				
a) Conflict with or obstruct implementation of the applicable air quality plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Expose sensitive receptors, which are located within one (1) mile of the project site, to substantial pollutant concentrations?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Result in other emissions (such as those leading to odors) adversely affecting a substantial number of people?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Sources:

- Riverside County General Plan, Riverside County Climate Action Plan ("CAP"), SCAQMD CEQA Air Quality Handbook
- Cajalco + Wood Project Air Quality and Global Climate Change Impact Analysis (AQR) prepared by Kunzman Associates, Inc., September 2018
- Cajalco + Wood Project Traffic Impact Analysis prepared by Kunzman Associates, Inc., July 25, 2018
- County of Riverside, Lake Mathews/Woodcrest Area Plan, December 2015
- Greiner, H.B. Ranches Specific Plan #229 and Environmental Impact Report #255, January 1988
- South Coast Air Quality Management District, Air Quality Management Plan, 2016
- South Coast Air Quality Management District, Final Localized Significance Threshold Methodology, revised 2008

Background and Conclusion:

Air Pollutants

Criteria Air Pollutants

Air quality, in part, is defined by ambient air concentrations of seven "criteria air pollutants", which are a group of common air pollutants identified by the U.S. Environmental Protection Agency ("USEPA") to be of concern with respect to the health and welfare of the general public. Federal and State governments regulate such pollutants by adopting acceptable ambient air quality standards that are based on criteria regarding the health and/or environmental effects of each pollutant. The seven regulated pollutants include nitrogen dioxide ("NO₂"); ozone ("O₃"); particulate matter, including both particles equal to or smaller than 10 microns ("PM₁₀") and particles equal to or smaller than 2.5 microns ("PM_{2.5}");¹ carbon monoxide ("CO"); sulfur dioxide ("SO₂"); and lead.

Nitrogen Dioxide

Nitrogen gas, normally relatively inert (i.e., nonreactive), comprises about 80 percent of the air. At high temperatures (e.g., in combustion processes used to operate motor vehicles) and under certain other conditions, nitrogen can combine with oxygen to form several different gaseous compounds collectively called nitrogen oxides ("NO_x"). Nitric oxide ("NO"), NO₂, and nitrous oxide ("N₂O") are important constituents of NO_x. NO and NO₂ are both precursors in the formation of O₃ and PM_{2.5}, as discussed below. Because of this and the fact that NO emissions largely convert to NO₂, NO_x emissions are typically examined when assessing potential air quality impacts.

NO₂ is a red-brown pungent gas and is toxic to various animals and to humans because of its ability to form nitric acid with water in the eyes, lungs, mucus membranes, and skin. In animals, long-term exposure to NO_x increases susceptibility to respiratory infections, lowering resistance to such diseases as pneumonia and influenza. Laboratory studies show that susceptible humans, such as asthmatics, who are exposed to high concentrations of NO₂ can suffer lung irritation and, potentially, lung damage. Epidemiological studies have also shown associations between NO₂ concentrations and daily mortality from respiratory and cardiovascular causes, and with hospital admissions for respiratory conditions.

¹ Particulate matter size refers to the aerodynamic diameter of the particle.

Ozone

Ozone is a secondary pollutant, meaning that it is not directly emitted. It is a gas that is formed when volatile organic compounds ("VOCs") (also referred to as reactive organic gases) and NO_x undergo photochemical reactions that occur only in the presence of sunlight. The primary source of VOC emissions is unburned hydrocarbons in motor vehicle and other internal combustion engine exhaust. NO_x also forms as a result of the combustion process, most notably due to the operation of motor vehicles. Sunlight and hot weather cause ground-level O₃ to form; as a result, ozone is known as a summertime air pollutant (Ground-level O₃ is not to be confused with atmospheric O₃ or the "ozone layer", which occurs very high in the atmosphere and shields the planet from some ultraviolet rays.). Ground-level O₃ is the primary constituent of smog. Because O₃ formation occurs over extended periods of time, both O₃ and its precursors are transported by wind, and high O₃ concentrations can occur in areas well away from sources of its constituent pollutants.

People with lung disease, children, older adults, and people who are active can be affected when ozone levels exceed ambient air quality standards. Numerous scientific studies have linked ground-level ozone exposure to a variety of problems, including:

- lung irritation that can cause inflammation much like a sunburn;
- wheezing, coughing, pain when taking a deep breath, and breathing difficulties during exercise or outdoor activities;
- permanent lung damage to those with repeated exposure to ozone pollution; and
- aggravated asthma, reduced lung capacity, and increased susceptibility to respiratory illnesses like pneumonia and bronchitis.

Particulate Matter

Particulate matter includes both aerosols and solid particles of a wide range of size and composition. Of particular concern are PM₁₀ and PM_{2.5}. Particulate matter tends to occur primarily in the form of fugitive dust. This dust appears to be generated by both local sources and by region-wide dust during moderate to high wind episodes. These regional episodes tend to be multi-district and sometimes interstate in scope. The principal sources of dust in urban areas are from grading, construction, disturbed areas of soil, and dust entrained by vehicles on roadways.

PM₁₀ is generally emitted directly as a result of mechanical processes that crush or grind larger particles or from the re-suspension of dusts, most typically through construction activities and vehicular travels. PM₁₀ generally settles out of the atmosphere rapidly and is not readily transported over large distances.

PM_{2.5} is directly emitted in combustion exhaust and is formed in atmospheric reactions between various gaseous pollutants including NO_x, sulfur oxides ("SO_x"), and VOCs. PM_{2.5} can remain suspended in the atmosphere for days and/or weeks and can be transported long distances. The principal health effects of airborne particulate matter are on the respiratory system. Short-term exposure to high PM_{2.5} and PM₁₀ levels is associated with premature mortality and increased hospital admissions and emergency room visits; increased respiratory symptoms are also associated with short-term exposure to high PM₁₀ levels. Long-term exposure to high PM_{2.5} levels is associated with premature mortality and development of chronic respiratory disease. According to the USEPA, some people are much more sensitive than others to breathing PM₁₀ and PM_{2.5}. People with influenza, chronic respiratory and cardiovascular diseases, and the elderly may suffer worse illnesses; people with bronchitis can expect aggravated symptoms; and children may experience decline in lung function due to breathing in PM₁₀ and PM_{2.5}. Other groups considered sensitive include smokers and people who cannot breathe well through their noses. Exercising athletes are also considered sensitive because many breathe through their mouths.

Carbon Monoxide

Carbon monoxide is a colorless and odorless gas which, in the urban environment, is associated primarily with the incomplete combustion of fossil fuels in motor vehicles. CO combines with hemoglobin in the bloodstream and reduces the amount of oxygen that can be circulated through the body. High CO concentrations can cause headaches; aggravate cardiovascular disease; and impair central nervous system functions.

CO concentrations can vary greatly over comparatively short distances. Relatively high concentrations are typically found near crowded intersections; along heavily used roadways carrying slow-moving traffic; and at or near ground level. Even under the most severe meteorological and traffic conditions, high concentrations of CO are limited to locations within a relatively short distance (i.e., up to 600 feet or 185 meters) of heavily traveled roadways.

Sulfur Dioxide

SO_x constitute a class of compounds of which SO₂ and sulfur trioxide ("SO₃") are of greatest importance. Ninety-five percent of pollution-related SO_x emissions are in the form of SO₂. SO_x emissions are typically examined when assessing potential air quality impacts of SO₂. The primary contributor of SO_x emissions is fossil fuel combustion for generating electric power. Industrial processes, such as nonferrous metal smelting, also contribute to SO_x emissions. SO_x is also formed during combustion of motor fuels; however, most of the sulfur has been removed from fuels, greatly reducing SO_x emissions from vehicles.

SO₂ combines easily with water vapor, forming aerosols of sulfurous acid ("H₂SO₃"), a colorless, mildly corrosive liquid. This liquid may then combine with oxygen in the air, forming the even more irritating and corrosive sulfuric acid ("H₂SO₄"). Peak levels of SO₂ in the air can cause temporary breathing difficulty for people with asthma who are active outdoors. Longer-term exposures to high levels of SO₂ gas and particles cause respiratory illness and aggravate existing heart disease. SO₂ reacts with other chemicals in the air to form tiny sulfate particles which are measured as PM_{2.5}.

Lead

Lead is a stable compound, which persists and accumulates both in the environment and in animals. In humans, it affects the body's blood-forming (or hematopoietic), nervous, and renal systems. In addition, lead has been shown to affect the normal functions of the reproductive, endocrine, hepatic, cardiovascular, immunological and gastrointestinal systems, although there is significant individual variability in response to lead exposure. In general, an emissions analysis of lead is limited to projects that emit significant quantities of the pollutant (i.e., lead smelters) and not required for transportation projects.

Toxic Air Contaminants/Hazardous Air Pollutants/Chemicals of Potential Concern

Toxic air contaminants ("TACs") are a diverse group of air pollutants that may cause or contribute to an increase in deaths or in serious illness, or that may pose a present or potential hazard to human health. TACs may be emitted from a variety of common sources, including motor vehicles, gasoline stations, dry cleaners, industrial operations, painting operations, and research and teaching facilities.

TACs are different than the criteria air pollutants previously discussed in that ambient air quality standards have not been established for them. Rather, TAC impacts are described by reference to carcinogenic (i.e., cancer) risk and chronic (i.e., of long duration) and acute (i.e., severe but of short duration) adverse effects on human health. Diesel particulate matter ("Diesel PM") is a TAC and is

responsible for the majority of California's known cancer risk from outdoor air pollutants. The USEPA uses the term "hazardous air pollutants" ("HAP") for TACs.

Final EIR 255 identified change in air quality levels as an Unavoidable Adverse Impact that will result from development of Specific Plan 229. All required studies were completed and approved, and all required permits were obtained prior to mass grading. The Project site has been mass graded in anticipation of commercial development. The proposed Project is consistent with Specific Plan 229A1 and has been designed in compliance with all Plans, Programs and Policies to reduce Project impacts.

The 1988 H. B. Ranches Specific Plan proposed construction and operation of 1,431 residential units, 15 acres of commercial, a 10-acre elementary school site and over 100 acres of open space/riparian habitat. Final EIR225 prepared for Specific Plan 229 states on page 73 that "both short-term and long-term project-related impacts are somewhat unavoidable. Construction related emissions and dust will be short-term impacts, and long-term emissions from vehicle exhaust and energy consumption are also inevitable." The air quality-related impacts associated with the Specific Plan stated that "development at the project site will add pollutants to the local air shed, but most pollutants are from non-local sources."

The following mitigation measure for Specific Plan air quality impacts is listed in adopting Resolution 88-476.

Mitigation: Dust generation during grading will be minimized through compliance with County Ordinance NO. 457 which specifies watering during construction and planting of ground cover. On-site provisions for schools, shopping, and passive recreation has been incorporated into project design. The number of residential units proposed exceeds the threshold for significant adverse impacts as indicated by the Air Quality Handbook; however, the projected population of this proposal is consistent with that allocated by the Lake Mathews Community Plan, for which overriding findings were made. Those overriding findings are hereby incorporated herein by reference and therefore no additional overriding findings for air quality and required.

Therefore, the Project's impacts to Air Quality will be less than significant. None of the conditions described in California Code of Regulations, Section 15162 exist and the proposed Project will not cause any new or increase the severity of any previously identified impacts evaluated in Final EIR 255. Analysis in support of this conclusion follows.

Findings of Fact:

The proposed Project is within the Boulder Springs Specific Plan No. 229, Amendment No. 1 dated 2004. Environmental Impact Report No. 255 (EIR 255) was prepared in 1988 for the H. B. Ranches Specific Plan (SP229) included an analysis of air quality related impacts within the Specific Plan area. Final EIR 225 concluded that Specific Plan 229 would result in new sources of air emission and incorporated site design features to protect sensitive resources. These measures included a mixture of commercial and residential land uses and compliance with the County Municipal Code.

The H. B. Ranches Specific Plan proposed 1,431 residential units, 15 acres of commercial, a 10-acre elementary school site and over 100 acres of open space/riparian habitat. The air quality-related impacts associated with the Specific Plan stated, "...development at the Project site will add pollutants to the local airshed, but most pollutants are from non-local sources."

In 2018 an Air Quality and Global Climate Change Impact Analysis was prepared for the Proposed Project (Kunzman Associates, Inc.). The 2018 Analysis evaluates development of the southern half of PA1 (approximately 7 net acres) and includes a more in-depth analysis than was done for the Specific Plan. Since adoption of the Specific Plan, air quality-related regulations have become more stringent, air quality emissions modeling and methodology has become more in depth. Air quality emissions

models were not available for use in 1988; therefore, the analysis for the Specific Plan was performed using the 1987 Air Quality Handbook for EIRs which facilitated emissions estimates from construction grading, operational energy use (natural gas and electricity) and vehicle exhaust. The current Air Quality and Global Climate Change Impact Analysis used the California Emissions Estimator Model Version 2016.3.2 (CalEEMod 2016.3.2) to model the proposed Project's air quality-related emissions from construction, mobile sources, energy usage and area sources.

The 2018 Air Quality and Global Climate Change Impact Analysis found that the proposed Project would create less than significant impacts to air quality. None of the conditions described in California Code of Regulations, Section 15162 exist and the proposed Project will not cause any new or additional impacts not previously evaluated in Final EIR 255. Therefore, the proposed Project's impacts would not result in an increase of the air quality-related impacts previously identified in the FEIR 255 and, as analyzed, the air quality emissions for the proposed Project will remain less than significant for both construction and operations.

a) No Impact. The Project is located within an unincorporated area of the County of Riverside in the portion of Riverside County that lies within the South Coast Air Basin (Basin). The Project area is under the jurisdiction of the South Coast Air Quality Management District (SCAQMD). The SCAQMD is the agency principally responsible for comprehensive air pollution control in the Basin. As a regional agency, the SCAQMD works directly with the Southern California Association of Governments (SCAG), county transportation commissions and local governments and cooperates with federal and state agencies. The SCAQMD is directly responsible for reducing emissions from stationary, mobile and indirect sources. It has responded to this requirement by preparing a sequence of AQMPs. On June 30, 2016, the SCAQMD released its Draft 2016 AQMP. The 2016 AQMP is a regional blueprint for achieving the federal air quality standards and healthful air.

The 2016 AQMP includes both stationary and mobile source strategies to ensure that rapidly approaching attainment deadlines are met, that public health is protected to the maximum extent feasible and that the region is not faced with burdensome sanctions if the Plan is not approved or if the NAAQS are not met on time. As with every AQMP, a comprehensive analysis of emissions, meteorology, atmospheric chemistry, regional growth projections and the impact of existing control measures is updated with the latest data and methods. The most significant air quality challenge in the Basin is to reduce nitrogen oxide (NOx) emissions sufficiently to meet the upcoming ozone standard deadlines. On March 23, 2017 CARB approved the 2016 AQMP. The primary goal of this Air Quality Management Plan is to meet clean air standards and protect public health, including ensuring benefits to environmental justice and disadvantaged communities.

Consistency with the AQMP assumptions is determined by performing an analysis of the proposed Project with the assumptions in the AQMP. The emphasis of this criterion is to insure that the analyses conducted for the proposed Project are based on the same forecasts as the AQMP. The 2016 - 2040 Regional Transportation/Sustainable Communities Strategy prepared by SCAG (2016) includes chapters on the challenges in a changing region, creating a plan for our future, the road to greater mobility and sustainable growth. These chapters currently respond directly to federal and state requirements placed on SCAG. Local governments are required to use these as the basis of their plans for purposes of consistency with applicable regional plans under CEQA. For this Project, the County Land Use Plan defines the assumptions that are represented in the AQMP.

The Project site has a Lake Mathews/Woodcrest Area Plan land use designation of Commercial Retail. The proposed Project would develop the approximately 7.18 net acre site with a drive-thru restaurant, two commercial retail buildings, and a 16 fueling position service station canopy with convenience market and carwash, which would be consistent with the existing Commercial Retail land use designation. The proposed Project would not result in an inconsistency with the current land use designation in the County's Area Plan. Therefore, the proposed Project is not anticipated to exceed the

AQMP assumptions for the Project site and is found to be consistent with the assumptions in the AQMP and would not conflict with SCAQMD's attainment plans.

In addition, emissions generated by construction and operation of the proposed Project would not exceed SCAQMD thresholds, as described in the analysis below, which are based on the AQMP and are designed to bring the Basin into attainment for the criteria pollutants for which it currently is in nonattainment. Therefore, because the proposed Project does not exceed any of the thresholds it would not conflict with SCAQMD's goal of bringing the Basin into attainment for all criteria pollutants and, as such, is consistent with the AQMP. As a result, impacts related to conflict with the AQMP from the proposed Project are not foreseen. There will be no impacts.

b) Less than Significant Impact. The Basin has been designated by the California Air Resources Board as a nonattainment area for ozone, PM10 and PM2.5. Currently, the Basin is in attainment with the ambient air quality standards for CO, lead, SO₂, NO₂ and sulfates and is unclassified for visibility reducing particles and Hydrogen Sulfide. The attainment status of the Basin is shown below in Table AQ-4.

**Table AQ-4
South Coast Air Basin Attainment Status**

Pollutant	State Status ¹	National Status ²
Ozone	Nonattainment	Nonattainment (Extreme)
Carbon monoxide	Attainment	Attainment/Unclassified
Nitrogen dioxide	Attainment	Attainment/Unclassified
Sulfur dioxide	Attainment	Attainment/Unclassified
PM10	Nonattainment	Attainment (Maintenance)
PM2.5	Nonattainment	Nonattainment (Moderate)

¹ Source of State status: California Air Resources Board 2015 (<https://www.arb.ca.gov/desig/adm/adm.htm>).

² Source of National status: <http://www3.epa.gov/airquality/greenbk/index.html> and CARB 2015.

As shown in Table AQ-4, the Project area is out of attainment for both ozone and particulate matter (PM-10 and PM-2.5). Construction and operation of cumulative projects will further degrade the local air quality, as well as the air quality of the South Coast Air Basin. The greatest cumulative impact on the quality of regional air cell will be the incremental addition of pollutants mainly from increased traffic volumes from residential, commercial and industrial development and the use of heavy equipment and trucks associated with the construction of these projects. Air quality will be temporarily degraded during construction activities that occur separately or simultaneously. However, in accordance with the SCAQMD methodology, projects that do not exceed the SCAQMD criteria or can be mitigated to less than criteria levels are not significant and do not add to the overall cumulative impact.

Neither construction nor operation of the proposed Project would result in an exceedance of any of SCAQMD's recommended daily thresholds. Therefore, the proposed Project would not result in a cumulatively considerable net increase of any criteria pollutant. Impacts will be less than significant.

c) Less than Significant Impact. Those who are sensitive to air pollution include children, the elderly and persons with pre-existing respiratory or cardiovascular illness. For purposes of CEQA, the SCAQMD defines a sensitive receptor as a land use such as residences, schools, child care centers, athletic facilities, playgrounds, retirement homes and convalescent homes (South Coast Air Quality Management District 2008). The closest sensitive receptors are residents within Tract 33465 located adjacent to the commercial site (PA 2) and Citrus Hills High School at 18150 Wood Road approximately 1.25 miles from the Project site. Commercial and industrial facilities are not included in the definition

because employees do not typically remain on-site for 24 hours. The proposed Project contains a fueling station, a potential emission point source.

The 2009 California Air Pollution Control Officers Association (CAPCOA) Guidance Document, Health Risk Assessments for Proposed Land Use Projects, recommends a 50-foot separation between sensitive uses and typical gas-dispensing facilities. As the closest sensitive receptors (residential units within Tract 33465) are located approximately 260 feet from the proposed gasoline fueling pumps (over five times the CAPCOA-recommended buffer distance), the proposed Project will not be a significant source of toxic air contaminants and sensitive receptors would not be exposed to toxic sources of air pollution during operation.

In addition, the service station portion of the Project will be permitted by SCAQMD. Fuel-related emissions will be regulated by the SCAQMD Rule 461 and will be required to obtain a Permit To Operate. Gasoline dispensing facilities are required to use Phase I/II EVR (enhanced vapor recovery) systems. According to ARB's Revised Emission Factors for Gasoline Marketing Operations at California Gasoline Dispensing Facilities (12/23/2013) and ARB's Attachment 1: Revised Emission Factors for Phase II Vehicle Fueling at California Gasoline Dispensing Facilities (12/23/2013), Phase II EVR has an average efficiency of 95.1 percent and Phase I EVR has an average efficiency of 98 percent. Therefore, the potential for fugitive VOC or TAC emissions from the gasoline pumps is negligible.

In order to verify that the proposed Project will not result in a potentially significant impact on sensitive receptors an updated air quality analysis (Cajalco + Wood Project Air Quality and Global Climate Change Impact Analysis (AQR)) was prepared for the proposed Project. The results of that assessment confirm that the proposed Project will not expose sensitive receptors which are located within 1 mile of the Project site to project substantial point source emissions. The facts leading to this conclusion are summarized below.

To assess local air quality impacts, the SCAQMD has developed Localized Significant Thresholds (LSTs) to characterize project-related air emissions in the Project vicinity. The SCAQMD has also provided Final Localized Significant Threshold Methodology (LST Methodology), June 2003, which details the methodology to analyze local air emission impacts. The Localized Significant Threshold Methodology found that the primary emissions of concern are NO₂, CO, PM₁₀, and PM_{2.5}.

The significance thresholds for the local emissions of NO₂ and CO are determined by subtracting the highest background concentration from the last three years of these pollutants from Table AQ-5 below from the most restrictive ambient air quality standards for these pollutants that are outlined in the Localized Significant Thresholds. Table AQ-1 above shows the ambient air quality standards for NO₂, CO, PM₁₀, and PM_{2.5} as well as the background concentrations and resultant significance concentrations.

**Table AQ-5
Air Quality Monitoring Summary¹**

Pollutant (Standard) ²	Year		
	2015	2016	2017
Ozone:			
Maximum 1-Hour Concentration (ppm)	0.124	0.131	0.120
Days > CAAQS (0.09 ppm)	25	23	33
Maximum 8-Hour Concentration (ppm)	0.103	0.099	0.106
Days > NAAQS (0.075 ppm)	49	55	80
Days > CAAQS (0.070 ppm)	50	56	86
Carbon Monoxide:³			
Maximum 8-Hour Concentration (ppm)	*	*	*
Days > CAAQS (9 ppm)	0	0	*
Days > NAAQS (9 ppm)	0	0	*
Nitrogen Dioxide:³			
Maximum 1-Hour Concentration (ppm)	0.0472	0.0513	0.049
Days > CAAQS (0.18 ppm)	0	0	0
Inhalable Particulates (PM10):			
Maximum 24-Hour Concentration (ug/m ³)	188.0	76.0	75.4
Days > NAAQS (150 ug/m ³)	1	0	0
Days > CAAQS (50 ug/m ³)	4	*	*
Annual Average (ug/m ³)	33.1	32.2	32.6
Ultra-Fine Particulates (PM2.5):³			
Maximum 24-Hour Concentration (ug/m ³)	41.7	31.5	27.2
Days > NAAQS (35 ug/m ³)	*	*	*
Annual Average (ug/m ³)	*	9.7	11.3

* means no data available

¹ Source: <https://www.arb.ca.gov/adam/topfour/topfourdisplay.php>

Data from the Perris monitoring station unless noted.

² CAAQS = California Ambient Air Quality Standard; NAAQS = National Ambient Air Quality Standard; ppm = parts per million

³ Data from Lake Elsinore-W Flint Street monitoring station.

Construction

The Air Quality and Greenhouse Gas Impact Analysis (Kunzman Associates, Inc., 2018) examined the local air quality emissions from construction using the SCAQMD's Mass Rate Localized Significant Threshold Look-up Tables and the methodology described in Localized Significance Threshold Methodology prepared by SCAQMD (revised July 2008). The Look-up Tables were developed by the SCAQMD to readily determine if daily emissions of CO, NO_x, PM₁₀ and PM_{2.5} from a proposed Project could result in a significant impact to local air quality. The emission thresholds were calculated based on the Perris Valley source receptor area (SRA) 24 and, to be conservative, a disturbance value of two acres per day (see Table AQ-6). According to LST Methodology, any receptor located closer than 25 meters (82 feet) shall be based on the 25 meter thresholds. The nearest sensitive receptors are the

single-family detached residential dwelling units located adjacent to the eastern property line of the Project site. Therefore, to be conservative, the SCAQMD Look-up Tables for 25 meters were used.

**Table AQ-6
Maximum Number of Acres Disturbed Per Day¹**

Activity	Equipment	Number	Acres/8hr-day	Total Acres
Site Grading	Graders	1	0.5	0.5
	Rubber Tired Dozers	1	0.5	0.5
	Excavators	1	0.5	0.5
	Tractors/Loaders/Backhoes	3	0.5	1.5
Maximum per phase		-	-	3

¹ Source: South Coast AQMD, Fact Sheet for Applying CalEEMod to Localized Significance Thresholds, Kunzman Associates, Inc., 2018.

Table AQ-7 shows the on-site emissions from the CalEEMod model for the different construction phases and the calculated LST emissions thresholds. As shown in Table AQ-7, the daily construction emissions from the proposed Project would not exceed the applicable SCAQMD LST thresholds, and localized construction impacts. Impacts will be less than significant.

**Table AQ-7
Local Construction Emissions at the Nearest Receptors¹**

Activity	On-Site Pollutant Emissions (pounds/day)			
	NOx	CO	PM10	PM2.5
Grading	28.35	16.29	3.96	2.60
Building Construction	24.55	20.37	1.54	1.44
Paving	15.24	14.66	0.82	0.76
Architectural Coating	1.84	1.84	0.13	0.13
SCAQMD Thresholds²	170	883	7	4
Exceeds Threshold?	No	No	No	No

¹ Source: Calculated from CalEEMod 2016.3.2, Kunzman Associates, Inc., 2018.

² Source: SCAQMD's Mass Rate Look-up Tables for two acres at a distance of 25 m (nearest sensitive receptors are adjacent to the east) in SRA 24 Perris Valley area.

Operations

Project-related air emissions from on-site sources such as architectural coatings, landscaping equipment, on-site usage of natural gas appliances as well as the operation of vehicles on-site may have the potential to exceed the State and Federal air quality standards in the Project vicinity, even though these pollutant emissions may not be significant enough to create a regional impact to the South Coast Air Basin. The nearest sensitive receptors that may be impacted by the proposed Project are existing single-family detached residential dwelling units located adjacent to the eastern property line of the Project site.

The local air quality emissions from on-site operations were analyzed in the Air Quality Study according to the methodology described in Localized Significance Threshold Methodology prepared by SCAQMD (revised July 2008). The Look-up Tables were developed by the SCAQMD to readily determine if daily emissions of CO, NOx, PM10 and PM2.5 from the proposed Project could result in a significant impact to the local air quality. Per SCAQMD staff, the 5-acre Look-up Table can be used as a conservative screening analysis for on-site operational emissions to determine whether more-detailed dispersion

modeling would be necessary. The proposed Project was analyzed based on the Perris Valley source receptor area (SRA 24) and used the thresholds for a two acre Project site.

Table AQ-8 shows the on-site emissions from the CalEEMod model that includes natural gas usage, landscape maintenance equipment and vehicles operating on-site and the calculated emissions thresholds. Per LST methodology, mobile emissions include onsite vehicles, which equate to approximately 10 percent of the project-related new mobile sources. (Note: The Project site is approximately 0.13 miles in length at its longest point. Therefore, the on-site mobile source emissions represent approximately 1/53th of the shortest CalEEMod default distance of 6.9 miles. To be conservative, 1/10th the distance, dividing the mobile emissions by 10, was used to represent the portion of the overall mobile source emissions that would occur on-site.) The data provided in Table AQ-8 shows that the on-going operations of the proposed Project would not exceed the local NOx, CO, PM10 and PM2.5 thresholds of significance. Therefore, the proposed Project would create a less than significant impact related to localized emissions from operational activities.

**Table AQ-8
Local Operational Emissions at the Nearest Receptors¹**

On-Site Emission Source	On-Site Pollutant Emissions (pounds/day)			
	NOx	CO	PM10	PM2.5
Area Sources ²	0.00	0.01	0.00	0.00
Energy Usage ³	0.35	0.29	0.03	0.03
Vehicle Emissions ⁴	4.37	5.51	1.31	0.36
Total Emissions	4.72	5.81	1.34	0.39
SCAQMD Thresholds⁵	170	883	2	1
Exceeds Threshold?	No	No	No	No

¹ Source: Calculated from CalEEMod and SCAQMD's Mass Rate Look-up Tables for two acres in Perris Valley area (SRA 24).

² Area sources consist of emissions from consumer products, architectural coatings and landscaping equipment.

³ Energy usage consists of emissions from on-site natural gas usage.

⁴ Per LST methodology, mobile source emissions do not need to be included except for land use emissions and on-site vehicle emissions. It is estimated that approximately 10% of mobile emissions will occur on the Project site.

⁵ The thresholds are based on 25 meters as the nearest home is located adjacent to the east.

Hot Spots

The Air Quality and Greenhouse Gas Impact Analysis per the Traffic Impact Analysis indicates that the proposed Project would generate a maximum of approximately 3,703 daily vehicle trips. The intersection with the highest peak hour traffic volume is located at Wood Road and Cajalco Road and has an evening peak hour volume of 1,061 trips for the Existing plus Ambient Growth plus Project plus Cumulative traffic conditions. The 1992 Federal Attainment Plan for Carbon Monoxide (1992 CO Plan) showed that an intersection that has a daily traffic volume of approximately 100,000 vehicles per day would not violate the CO standard. Therefore as the intersection with the highest traffic volume falls short of 100,000 vehicles per day, no CO "hot spot" modeling was performed and no significant long-term air quality impact is anticipated to local air quality with on-going use of the proposed Project.

Toxic Air Contaminants

Construction

The greatest potential for toxic air contaminant emissions would be related to diesel particulate emissions associated with heavy equipment operations during construction of the proposed Project. According to SCAQMD methodology, health effects from carcinogenic air toxics are usually described in terms of "individual cancer risk". "Individual Cancer Risk" is the likelihood that a person exposed to concentrations of toxic air contaminants over a 30 year lifetime will contract cancer, based on the use of standard risk-assessment methodology. Given the relatively limited use of heavy-duty construction machinery and the short-term construction schedule, the proposed Project would not result in a long-term (i.e., 30 years) substantial source of toxic air contaminant emissions and corresponding individual cancer risk. Furthermore, as shown in Table AQ-7 above, construction-based emissions (including diesel exhaust emissions) do not exceed any local or regional thresholds. Therefore, no significant short-term toxic air contaminant impacts would occur during construction of the proposed Project.

Operations

The Project proposes to develop the site with a drive-thru restaurant, two (2) commercial retail buildings, and a 16 fueling position service station with canopy, convenience market, and carwash. Per the Air Quality and Greenhouse Gas Impact Analysis, the service station portion of the Project will be permitted by SCAQMD. Fuel-related emissions will be regulated by the SCAQMD Rule 461 and will be required to obtain a Permit To Operate. Gasoline dispensing facilities are required to use Phase I/II EVR (enhanced vapor recovery) systems. According to ARB's Revised Emission Factors for Gasoline Marketing Operations at California Gasoline Dispensing Facilities (12/23/2013) and ARB's Attachment 1: Revised Emission Factors for Phase II Vehicle Fueling at California Gasoline Dispensing Facilities (12/23/2013), Phase II EVR has an average efficiency of 95.1 percent and Phase I EVR has an average efficiency of 98 percent. Therefore, the potential for fugitive VOC or TAC emissions from the gasoline pumps is negligible.

Furthermore, According to the 2009 California Air Pollution Control Officers Association (CAPCOA) Guidance Document, Health Risk Assessments for Proposed Land Use Projects, a 50-foot separation is recommended between sensitive uses and typical gas-dispensing facilities. As the closest sensitive receptors are located approximately 260 feet from the proposed gasoline fueling pumps (over five times the CAPCOA-recommended buffer distance), the proposed Project will not be a significant source of toxic air contaminants and sensitive receptors would not be exposed to toxic sources of air pollution during operation.

d) Less than Significant Impact. The SCAQMD CEQA Handbook states that an odor impact would occur if the proposed Project creates an odor nuisance pursuant to SCAQMD Rule 402, which states:

A person shall not discharge from any source whatsoever such quantities of air contaminants or other material which cause injury, detriment, nuisance, or annoyance to any considerable number of persons to the public, or which endanger the comfort, repose, health or safety of any such persons or the public, or which cause, or have a natural tendency to cause, injury or damage to business or property.

The provisions of this rule shall not apply to odors emanating from agricultural operations necessary for the growing of crops or the raising of fowl or animals.

Construction

Potential sources that may emit odors during construction activities include the application of materials such as asphalt pavement. Objectionable odors that may be produced during the construction process are short-term in nature and the odor emissions are expected to cease upon the drying or hardening of the odor producing materials. Diesel exhaust and VOCs would be emitted during construction of the Project, which are objectionable to some. However, emissions would disperse rapidly from the Project site and therefore should not reach an objectionable level at the nearest sensitive receptors. Due to the short-term nature and limited amounts of odor producing materials being utilized, a less than significant impact related to odors would occur during construction of the proposed Project.

Operations

Land uses typically considered associated with odors include: agricultural uses (livestock and farming); wastewater treatment plants; food processing plants; chemical plants; composting operations; refineries; landfills; dairies; and fiberglass molding facilities. The proposed Project does not contain land uses typically associated with emitting objectionable odors. Potential odor sources associated with the proposed Project may result from construction equipment exhaust and the application of concrete pads for the buildings. Standard construction requirements would minimize odor impacts from construction. The construction odor emissions would be temporary, short-term, and intermittent in nature and would cease upon completion of the respective phase of construction. Therefore, odors associated with the proposed Project construction and operations would have a less than significant impact.

Existing Plans, Programs, or Policies: Plans, Programs and Policies are adopted to insure that a project's potential impacts on the environment are minimized. Plans, Programs and Policies are not mitigation measures. The following Plans, Programs and Policies are applicable to the proposed Project.

SCAQMD

PPP AQ-1: The Project is required to comply with the provisions of South Coast Air Quality Management District (SCAQMD) Rule 403, which includes the following:

- All clearing, grading, earth-moving or excavation activities shall cease when winds exceed 25 mph per SCAQMD guidelines in order to limit fugitive dust emissions.
- The contractor shall ensure that all disturbed unpaved roads and disturbed areas within the Project are watered, with complete coverage of disturbed areas, at least 3 times daily during dry weather; preferably in mid-morning, afternoon and after work is done for the day.
- The contractor shall ensure that traffic speeds on unpaved roads and Project site areas are reduced to 15 miles per hour or less.

PPP AQ-2: The proposed Project is required to comply with the provisions of the South Coast Air Quality Management District (SCAQMD) Rule 461 and is required to obtain a Permit To Operate for the service station.

PPP AQ-3: The proposed Project is required to comply with the provisions of South Coast Air Quality Management District (SCAQMD) Rule 402.

Riverside County General Plan

PPP AQ-4: Require site plan designs to protect people and land uses sensitive to air pollution through the use of barriers and/or distance from emissions sources when possible.

PPP AQ-5: Encourage the use of building materials/methods that reduce emissions.

PPP AQ-6: Encourage the use of efficient heating equipment and other appliances, such as water heaters, swimming pool heaters, cooking equipment, refrigerators, furnaces and boiler units.

PPP AQ-7: Require stationary pollutions sources to minimize the release of toxic pollutants through: design features, operating procedures, preventative maintenance, operator training and emergency response planning.

PPP AQ-8: Require stationary air pollution sources to comply with applicable air district rules and control measures.

PPP AQ-9: To the greatest extent possible, require every project to mitigate any of its anticipated emissions that exceed allowable emissions as established by the SCAQMD, MDAQMD, SOCAB, the Environmental Protection Agency and the California Air Resources Board.

PPP AQ-10: Expand, as appropriate, measures contained in the County's Fugitive Dust Reduction Program for the Coachella Valley to the entire County.

PPP AQ-11: Require compliance with SCAQMD Rules 403 and 403.1 and implement appropriate future measures to reduce fugitive dust emanating from construction sites.

PPP AQ-12: Coordinate with the SCAQMD and MDAQMD to create a communications plan to alert those conducting grading operations in the County of first, second and third stage smog alerts and when wind speeds exceed 25 miles per hour. During these instances all grading operations should be suspended. (AI 111).

PPP AQ-13: Encourage the incorporation of energy-efficient design elements, including appropriate site orientation and the use of shade and windbreak trees to reduce fuel consumption for heating and cooling.

PPP AQ-14: Encourage business owners to schedule deliveries at off-peak traffic periods.

PPP AQ-15: Identify and monitor sources, enforce existing regulations and promote stronger controls to reduce particulate matter.

PPP AQ-16: Cooperate with local, regional, state and federal jurisdictions to better control particulate matter.

PPP AQ-17: Reduce particulate matter from agriculture, construction, demolition, debris hauling, street cleaning, utility maintenance, railroad rights-of-way and off-road vehicles to the extent possible. (AI 123)

PPP AQ-18: Identify and create a control plan for areas within the County prone to wind erosion of soil.

PPP AQ-19: Adopt incentives, regulations and/or procedures to manage paved and unpaved roads and parking lots so they produce the minimum practicable level of particulates. (AI 111)

PPP AQ-20: Adopt incentives and/or procedures to limit dust from agricultural lands and operations, where applicable. (AI 123)

PPP AQ-21: Reduce emissions from building materials and methods that generate excessive pollutants through incentives and/or regulations.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
BIOLOGICAL RESOURCES Would the project:				
7. Wildlife & Vegetation				
a) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Conservation Community Plan, or other approved local, regional, or state conservation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Have a substantial adverse effect, either directly or through habitat modifications, on any endangered, or threatened species, as listed in Title 14 of the California Code of Regulations (Sections 670.2 or 670.5) or in Title 50, Code of Federal Regulations (Sections 17.11 or 17.12)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Wildlife or U. S. Wildlife Service?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, and regulations or by the California Department of Fish and Game or U. S. Fish and Wildlife Service?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Have a substantial adverse effect on State or federally protected wetlands (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g) Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Sources:

- FEIR 255
- Step I Habitat Assessment, Step II Part A Focused Burrow Survey for Burrowing Owls and MSHCP Section 6.1.2 Riparian/Riverine and Vernal Pool Evaluation, July 14, 2017
- Western Riverside County Multiple Species Habitat Conservation Plan (Adopted June 2003)
- Western Riverside Multiple Species Habitat Conservation Plan Area, March 29, 2006

Background and Conclusion:

Final EIR 255 identified change in biology as an Unavoidable Adverse Impact that will result from development of Specific Plan 229A1. All required studies were completed and approved, and all required permits were obtained prior to mass grading. The Project site has been mass graded in anticipation of commercial development. The Project site is being maintained in this condition. Compliance with the Western Riverside Multi Species Habitat Conservation Plan will insure the potential for impacts to the burrowing owl will be maintained at a level of less than significant. The proposed Project is consistent with Specific Plan 229A1 and has been designed in compliance with all Plans, Programs and Policies to reduce Project impacts. None of the conditions described in California Code of Regulations, Section 15162 exist and the proposed Project will not cause any new or increase the severity of any previously identified impacts evaluated in Final EIR 255. Analysis in support of this conclusion follows.

Findings of Fact:

a) Less than Significant Impact. Western Riverside Multi Species Habitat Conservation Plan (MSHCP) consistency. This Project does not contain MSHCP Riparian/Riverine habitat or the species associated with them. The Project site is not located within a Narrow Endemic Plant Species Survey Area. The Project site is located within the required habitat assessment area for burrowing owl. A burrowing owl habitat assessment and focused burrow survey were conducted on June 16, 2017. The Site was determined to have marginally suitable burrowing owl habitat, triggering a focused burrow survey. The focused burrow survey did not identify any burrows suitable for burrowing owl occupation. The proposed Project will be required to conduct pre-construction monitoring for burrowing owls. Compliance with the Western Riverside Multi Species Habitat Conservation Plan will insure the potential for impacts to the burrowing owl will be maintained at a level of less than significant. Therefore, the Project is consistent with all applicable portions of the Western Riverside MSHCP. With the inclusion of MSHCP required 30-day preconstruction surveys and preconstruction nesting bird surveys, the Project will have less than significant impacts on the Riverside County's adopted Habitat Conservation Plan.

b) No Impact. No State or Federal threatened or endangered species, or their habitats, were documented as occurring on site. The Project will have no impacts to threatened or endangered species.

c) Less than Significant Impact. A single special status species was observed/detected onsite during field work, the California horned lark (*Eremophila alpestris actia*). This species has a NatureServe Element Ranking of G5T4 S4 (species is Globally Secure, subspecies Globally Apparently Secure, State Apparently Secure) and is on the California Department of Fish and Wildlife Watch List. The California horned lark is an MSHCP Covered Species, and is considered adequately conserved.

The Riverside County Planning Department, Environmental Programs Division determined the implementation of requiring a nesting bird pre-construction survey during the nesting bird season prior to grading, which is included as a Condition of Approval, would reduce impacts to special-status species to below a level of significance.

d) Less than Significant Impact. The Project site is not located within or adjacent to any existing or proposed MSHCP Core or Linkage, Conservation Area, or wildlife nursery.

The Project will not interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites with adherence to required nesting bird pre-construction surveys. The Project will have less than significant impacts to the movement of native and migratory wildlife.

e) **No Impact.** The project site does not contain any riparian habitat or other sensitive natural community. No impacts to such habitats will occur.

f) **No Impact.** The Project site does not contain State or federally protected wetlands. State and federal wetlands are defined based on classification systems utilized by the U.S. Fish and Wildlife Service, U.S. Army Corps of Engineers, California Department of Fish and Wildlife or Regional Water Quality Control Board and other state and federal agencies. No impacts to State or federally protected wetlands through direct impact or indirectly through hydrological interruption, or other means will occur.

g) **No Impact.** The proposed Project is subject to the Riverside County Oak Tree Management Guidelines. No oak trees are located on the project site. No impacts will occur.

Existing Plans, Programs or Policies: Plans, Programs and Policies are adopted to insure that a project's potential impacts on the environment are minimized. Plans, Programs and Policies are not mitigation measures. The following Plans, Programs and Policies are applicable to the proposed Project.

PPP BIO-1: Compliance with the Western Riverside Multi Species Habitat Conservation Plan will insure that the potential for impacts to the burrowing owl will be maintained at a level of less than significant.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
CULTURAL RESOURCES Would the project				
8. Historic Resources				
a) Alter or destroy an historic site?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Cause a substantial adverse change in the significance of a historical resource pursuant to California Code of Regulations, Section 15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Sources:

- FEIR 255
- On-site Inspection

Background and Conclusion:

Final EIR 255 identified change in archaeology as an Unavoidable Adverse Impact that will result from development of Specific Plan 229A1. All required studies were completed and approved, and all required permits were obtained prior to mass grading. The Project site has been mass graded in anticipation of commercial development. There are no historic resources on the Project site. The proposed Project is consistent with Specific Plan 229A1 and has been designed in compliance with all Plans, Programs and Policies to reduce Project impacts. None of the conditions described in California Code of Regulations, Section 15162 exist and the proposed Project will not cause any new or increase the severity of any previously identified impacts evaluated in Final EIR 255. Analysis in support of this conclusion follows.

Findings of Fact:

a & b) No Impact. The Project will not impact historical resources, because prior grading of the Project site has eliminated any potential for impacts to historical resources. Moreover, the Project site is vacant of buildings and does not support historical resources of any kind. Therefore, there will be no impacts in this regard.

Existing Plans, Programs or Policies: There are no PPPs related to cultural resources.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
9. Archaeological Resources				
a) Alter or destroy an archaeological site?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Cause a substantial adverse change in the significance of an archaeological resource, pursuant to California Code of Regulations, Section 15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Disturb any human remains, including those interred outside of formal cemeteries?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Sources:

- FEIR 255
- On-site Inspection

Background and Conclusion:

Final EIR 255 identified change in topography as an Unavoidable Adverse Impact that will result from development of Specific Plan 229A1. All required studies were completed and approved, and all required permits were obtained prior to mass grading. The Project site has been mass graded in anticipation of commercial development. There are no archaeological resources on the Project site. The proposed Project is consistent with Specific Plan 229A1 and has been designed in compliance with all Plans, Programs and Policies to reduce Project impacts. None of the conditions described in California Code of Regulations, Section 15162 exist and the proposed Project will not cause any new or increase the severity of any previously identified impacts evaluated in Final EIR 255. Analysis in support of this conclusion follows.

Findings of Fact:

a-c) No Impact. The Project will not impact archaeological resources since prior grading of the Project site has eliminated any potential for impacts to buried archaeological resources. Therefore, there will be no impacts in this regard.

Existing Plans, Programs or Policies: There are no PPPs related to archaeological resources.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

ENERGY Would the project:

10. Energy Impacts

a) Result in potentially significant environmental impacts due to wasteful, inefficient, or unnecessary consumption of energy resources, during project construction or operation?

b) Conflict with or obstruct a State or Local plan for renewable energy or energy efficiency?

Sources:

- Riverside County General Plan
- Riverside County Climate Action Plan ("CAP")
- Project Application Materials

Background and Conclusion:

Final EIR 255 evaluated the environmental impact that will result from development of Specific Plan 229A1. All required studies were completed and approved, and all required permits were obtained prior to mass grading. The Project site has been mass graded in anticipation of commercial development. The proposed Project is consistent with Specific Plan 229A1 and has been designed in compliance with all Plans, Programs and Policies to reduce Project impacts. None of the conditions described in California Code of Regulations, Section 15162 exist and the proposed Project will not cause any new or increase the severity of any previously identified impacts evaluated in Final EIR 255. Analysis in support of this conclusion follows.

Findings of Fact:

a) Less than Significant Impact. The applicable energy conservation plan for the Project is the County of Riverside Climate Action Plan (CAP), which has been described in Response 20 Greenhouse Gas emissions. The CAP contains a menu of 47 overall measures potentially applicable to discretionary development that include energy conservation measures. Implementation of these measures, will further insure there will be a less than significant impact from the continued buildout of the Specific Plan, and the proposed Project due to due to wasteful, inefficient, or unnecessary consumption of energy resources, during project construction or operation.

b) No Impact. As described in Response 20 and listed in Table GHG-1, the proposed Project will be consistent with the applicable energy conservation measures in the CAP. In addition, the proposed Project will be required to comply with the CEC and the Title 24/California Green Building Standards Code, which establishes mandatory measures related to energy efficiency in new construction. Implementation of these measures, will further insure there will be no impact related to a conflict with an adopted energy conservation plan from buildout of the Specific Plan and the proposed Project.

Existing Plans, Programs or Policies: Plans, Programs and Policies are adopted to insure that a project's potential impacts on the environment are minimized. Plans, Programs and Policies are not mitigation measures. The following Plans, Programs and Policies are applicable to the proposed Project.

PPP ENE-1: California Energy Code

PPP ENE-2: Title 24/California Green Building Standards Code

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
GEOLOGY AND SOILS Would the project directly or indirectly:				
11. Alquist-Priolo Earthquake Fault Zone or County Fault Hazard Zones	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a) Be subject to rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault?				

Sources:

- Riverside County General Plan Figure S-2 "Earthquake Fault Study Zones".
- FEIR 255
- Updated Geotechnical Report "Proposed Retail Development, Assessor's Parcel Numbers (APNs) 321-130-053, -054, -055 and -060, Northeast Corner of Cajalco Road and Wood Road, Woodcrest Area of Riverside County, California, Prepared by GeoTek Inc., March 16, 2018.
- County of Riverside Planning Department letter: "Conditions of approval County Geologic Report No. 180009", April 3, 2018.

Background and Conclusion:

Final EIR 255 identified change in topography and soils as Unavoidable Adverse Impacts that will result from development of Specific Plan 229A1. All required studies were completed and approved, and all required permits were obtained prior to mass grading. The Project site has been mass graded in anticipation of commercial development. The proposed Project is consistent with Specific Plan 229A1 and has been designed in compliance with all Plans, Programs and Policies to reduce Project impacts. None of the conditions described in California Code of Regulations, Section 15162 exist and the proposed Project will not cause any new or increase the severity of any previously identified impacts evaluated in Final EIR 255. Analysis in support of this conclusion follows.

Findings of Fact:

a) Less Than Significant Impact. The geologic structure of the entire southern California area is dominated mainly by northwest trending faults associated with the San Andreas system. The Project site is in a seismically active region. No active or potentially active fault is presently known to exist at this site nor is the site situated within an "Alquist-Priolo" Earthquake Fault Zone. The County of Riverside has designated the site area as "not in a fault zone", "not in a fault line," having a "low" to "moderate" potential for liquefaction and as "susceptible" to subsidence. The Project will be designed in compliance with the 2016 California Building Code. This code requires the design of structures to consider dynamic forces resulting from seismic events, thereby reducing the exposure of people or structures to potential substantial adverse seismic induced effects, including the risk of loss, injury or death to less than significant.

Existing Plans, Programs or Policies: Plans, Programs and Policies are adopted to insure that a project's potential impacts on the environment are minimized. Plans, Programs and Policies are not mitigation measures. The following Plans, Programs and Policies are applicable to the proposed Project.

PPP GE0-1: California Building Code (CBC) Compliance. The Project is required to comply with the California Building Standards Code as included in the County's Municipal Code to preclude significant adverse effects associated with seismic and soils hazards. CBC related and geologist and/or civil engineer specifications for the proposed Project are required to be incorporated into grading plans and building specifications as a condition of construction permit approval.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
12. Liquefaction Potential Zone				
a) Be subject to seismic-related ground failure, including liquefaction?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Sources:

- Riverside County General Plan Figure S-3 "Generalized Liquefaction"
- FEIR 255
- Updated Geotechnical Report "Proposed Retail Development, Assessor's Parcel Numbers (APNs) 321-130-053, -054, -055 and -060, Northeast Corner of Cajalco Road and Wood Road, Woodcrest Area of Riverside County, California, Prepared by GeoTek Inc., March 16, 2018
- County of Riverside Planning Department letter "Conditions of approval County Geologic Report No. 180009", April 3, 2018

Background and Conclusion:

Final EIR 255 identified change in topography and soils as Unavoidable Adverse Impacts that will result from development of Specific Plan 229A1. All required studies were completed and approved, and all required permits were obtained prior to mass grading. The Project site has been mass graded in anticipation of commercial development. The proposed Project is consistent with Specific Plan 229A1 and has been designed in compliance with all Plans, Programs and Policies to reduce Project impacts. None of the conditions described in California Code of Regulations, Section 15162 exist and the proposed Project will not cause any new or increase the severity of any previously identified impacts evaluated in Final EIR 255. Analysis in support of this conclusion follows.

Findings of Fact:

a) No Impact. The County of Riverside has designated the site as having a "low" to "moderate" liquefaction potential. Liquefaction is not considered to be a hazard at the subject site due to the depth of engineered fill below the site and underlying dense material.

Existing Plans, Programs, or Policies: **PPP GE0-1:** listed previously in Section 11.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
13. Ground-shaking Zone				
a) Be subject to strong seismic ground shaking?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Sources:

- Riverside County General Plan Figure S-4 "Earthquake-Induced Slope Instability Map" and Figures S-13 through S-21 (showing General Ground Shaking Risk)
- FEIR 255
- Updated Geotechnical Report "Proposed Retail Development, Assessor's Parcel Numbers (APNs) 321-130-053, -054, -055 and -060, Northeast Corner of Cajalco Road and Wood Road, Woodcrest Area of Riverside County, California, Prepared by GeoTek Inc., March 16, 2018
- County of Riverside Planning Department letter "Conditions of approval County Geologic Report No. 180009", April 3, 2018

Background and Conclusion:

Final EIR 255 identified change in topography and soils as Unavoidable Adverse Impacts that will result from development of Specific Plan 229A1. All required studies were completed and approved, and all required permits were obtained prior to mass grading. The Project site has been mass graded in anticipation of commercial development. Impacts to Geology and Soils from development of the Specific Plan were adequately addressed in FEIR 255. The proposed Project is consistent with Specific Plan 229A1 and has been designed in compliance with all Plans, Programs and Policies to reduce Project impacts. None of the conditions described in California Code of Regulations, Section 15162 exist and the proposed Project will not cause any new or increase the severity of any previously identified impacts evaluated in Final EIR 255. Analysis in support of this conclusion follows.

Findings of Fact:

a) **Less Than Significant Impact.** Analysis of potential seismic ground shaking was undertaken for the Project site. The analysis concluded that compliance with the 2016 California Building Code seismic design parameters will reduce the potential impacts from strong seismic ground shaking to less than significant.

Existing Plans, Programs or Policies: PPP GE0-1: listed previously in Section 11.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
14. Landslide Risk				
a) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, collapse, or rockfall hazards?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Sources:

- Riverside County General Plan Figure S-5 "Regions Underlain by Steep Slope"
- FEIR 255
- Updated Geotechnical Report "Proposed Retail Development, Assessor's Parcel Numbers (APNs) 321-130-053, -054, -055 and -060, Northeast Corner of Cajalco Road and Wood Road, Woodcrest Area of Riverside County, California, Prepared by GeoTek Inc., March 16, 2018
- County of Riverside Planning Department letter "Conditions of approval County Geologic Report No. 180009", April 3, 2018

Background and Conclusion:

Final EIR 255 identified change in topography and soils as Unavoidable Adverse Impacts that will result from development of Specific Plan 229A1. All required studies were completed and approved, and all required permits were obtained prior to mass grading. The Project site has been mass graded in anticipation of commercial development. The proposed Project is consistent with Specific Plan 229A1 and has been designed in compliance with all Plans, Programs and Policies to reduce Project impacts. None of the conditions described in California Code of Regulations, Section 15162 exist and the proposed Project will not cause any new or increase the severity of any previously identified impacts evaluated in Final EIR 255. Analysis in support of this conclusion follows.

Findings of Fact:

a) No Impact. The Site is relatively flat having previously been mass graded in anticipation of commercial/retail development. The County has concluded the potential for landslides is considered negligible for design purposes.

Existing Plans, Programs, or Policies: PPP GE0-1: listed previously in Section 10.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
15. Ground Subsidence				
a) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in ground subsidence?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Sources:

- Riverside County General Plan Figure S-7 "Documented Subsidence Areas Map"
- FEIR 255
- Updated Geotechnical Report "Proposed Retail Development, Assessor's Parcel Numbers (APNs) 321-130-053, -054, -055 and -060, Northeast Corner of Cajalco Road and Wood Road, Woodcrest Area of Riverside County, California, Prepared by GeoTek Inc., March 16, 2018
- County of Riverside Planning Department letter "Conditions of approval County Geologic Report No. 180009", April 3, 2018

Background and Conclusion:

Final EIR 255 identified change in topography and soils as Unavoidable Adverse Impacts that will result from development of Specific Plan 229A1. All required studies were completed and approved, and all required permits were obtained prior to mass grading. The Project site has been mass graded in anticipation of commercial development. The proposed Project is consistent with Specific Plan 229A1 and has been designed in compliance with all Plans, Programs and Policies to reduce Project impacts. None of the conditions described in California Code of Regulations, Section 15162 exist and the proposed Project will not cause any new or increase the severity of any previously identified impacts evaluated in Final EIR 255. Analysis in support of this conclusion follows.

Findings of Fact:

a) No Impact. Subsidence is a general lowering of the ground surface over a large area that is generally attributed to lowering of the ground water levels within a groundwater basin. Localized or focal subsidence or settlement of the ground can occur as a result of earthquake motion in an area where groundwater in a basin is lowered. The Site is relatively flat having previously been mass graded in anticipation of commercial/retail development. Ground subsidence is not considered an environmental factor due to the depth of engineered fill below the site and underlying dense material.

Existing Plans, Programs, or Policies: PPP GE0-1: listed previously in Section 11.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
16. Other Geologic Hazards				
a) Be subject to geologic hazards, such as seiche, mudflow, or volcanic hazard?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Sources:

- FEIR 255
- Updated Geotechnical Report "Proposed Retail Development, Assessor's Parcel Numbers (APNs) 321-130-053, -054, -055 and -060, Northeast Corner of Cajalco Road and Wood Road, Woodcrest Area of Riverside County, California, Prepared by GeoTek Inc., March 16, 2018
- County of Riverside Planning Department letter "Conditions of approval County Geologic Report No. 180009", April 3, 2018

Background and Conclusion:

Final EIR 255 identified change in topography and soils as Unavoidable Adverse Impacts that will result from development of Specific Plan 229A1. All required studies were completed and approved, and all required permits were obtained prior to mass grading. The Project site has been mass graded in anticipation of commercial development. The proposed Project is consistent with Specific Plan 229A1 and has been designed in compliance with all Plans, Programs and Policies to reduce Project impacts. None of the conditions described in California Code of Regulations, Section 15162 exist and the proposed Project will not cause any new or increase the severity of any previously identified impacts evaluated in Final EIR 255. Analysis in support of this conclusion follows.

Findings of Fact:

Planning Area 1 has been mass graded in anticipation of commercial development. Required studies and permits were obtained prior to mass grading. Impacts to Geology and Soils from development of the Specific Plan were adequately addressed in FEIR 255. The proposed Project is being developed consistent with the County General Plan, SP229A1 and the County Municipal Code. None of the conditions described in California Code of Regulations, Section 15162 exist. Therefore, the proposed Project will not result in any new or substantially increase the severity of previously identified impacts to Other Geologic Hazards. The following discussions summarize the conclusion of the current analysis for the proposed Project.

a) Less Than Significant Impact. The potential for secondary seismic hazards such as a seiche or tsunami is considered negligible due to site elevation and distance to an open body of water. There are no active volcanoes in the project region.

A mudflow is an earthflow consisting of material that is wet enough to flow rapidly and typically occurs in small, steep stream channels or hillsides. The site is relatively flat engineered/compacted fill having little to no potential to generate mudflows. Continued maintenance of the adjacent upslope undeveloped portion of Planning Area 1, in compliance with the California Build Code will insure the potential for mudflows is less than significant.

Existing Plans, Programs, or Policies: PPP GE0-1: listed previously in Section 11.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
17. Slopes				
a) Change topography or ground surface relief features?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Create cut or fill slopes greater than 2:1 or higher than 10 feet?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Result in grading that affects or negates subsurface sewage disposal systems?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Sources:

- FEIR 255
- Updated Geotechnical Report "Proposed Retail Development, Assessor's Parcel Numbers (APNs) 321-130-053, -054, -055 and -060, Northeast Corner of Cajalco Road and Wood Road, Woodcrest Area of Riverside County, California, Prepared by GeoTek Inc., March 16, 2018
- County of Riverside Planning Department letter "Conditions of approval County Geologic Report No. 180009", April 3, 2018

Background and Conclusion:

Final EIR 255 identified change in topography and soils as Unavoidable Adverse Impacts that will result from development of Specific Plan 229A1. All required studies were completed and approved, and all required permits were obtained prior to mass grading. The Project site has been mass graded in

anticipation of commercial development. The proposed Project is consistent with Specific Plan 229A1 and has been designed in compliance with all Plans, Programs and Policies to reduce Project impacts. None of the conditions described in California Code of Regulations, Section 15162 exist and the proposed Project will not cause any new or increase the severity of any previously identified impacts evaluated in Final EIR 255. Analysis in support of this conclusion follows.

Findings of Fact:

Planning Area 1 has been mass graded in anticipation of commercial development. Required studies and permits were obtained prior to mass grading. Impacts to Geology and Soils from development of the Specific Plan were adequately addressed in FEIR 255. The proposed Project is being developed consistent with the County General Plan, SP229A1 and the County Municipal Code. None of the conditions described in California Code of Regulations, Section 15162 exist. Therefore, the proposed Project will not result in any new or substantially increase the severity of previously identified impacts to Slopes. The following discussions summarize the conclusion of the current analysis for the proposed Project.

a) Less than Significant Impact. The Site is relatively flat having previously been mass graded in anticipation of commercial/retail development. Proposed finish grading to accommodate the proposed Project is minor (cut/fill less than one foot over the site).

b-c) No Impact. Prior mass grading of the Planning Area created engineered slopes adjacent to Wood Road. The proposed Project would include some limited excavation and grading to install building footings, foundations, fuel storage tanks and infrastructure. Development of the proposed Project will not create cut or fill slopes greater than 2:1 or higher than 10 feet.

The proposed grading would not negate the use of the sewage disposal systems. The proposed Project would install a sewer lateral that would connect to the existing sewer system. The proposed grading and infrastructure design (that will be reviewed by the County's Department of Building and Safety prior to construction approval) would ensure that grading would not impact sewer functions. Therefore, Project impacts related to slopes would not occur.

Existing Plans, Programs or Policies: There are no PPPs related to slopes.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
18. Soils				
a) Result in substantial soil erosion or the loss of topsoil?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Be located on expansive soil, as defined in Section 1802.3.2 of the California Building Code (2007), creating substantial direct or indirect risks to life or property?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Have soils incapable of adequately supporting use of septic tanks or alternative waste water disposal systems where sewers are not available for the disposal of waste water?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source:

- General Plan Figure S-6 "Engineering Geologic Materials Map"; Santa Ana Regional Water Quality Control Board Riverside County Permits (Accessed at: https://www.waterboards.ca.gov/santaana/water_issues/programs/stormwater/riverside_permit.html)
- FEIR 255
- Updated Geotechnical Report "Proposed Retail Development, Assessor's Parcel Numbers (APNs) 321-130-053, -054, -055 and -060, Northeast Corner of Cajalco Road and Wood Road, Woodcrest Area of Riverside County, California, Prepared by GeoTek Inc., March 16, 2018
- County of Riverside Planning Department letter "Conditions of approval County Geologic Report No. 180009", April 3, 2018

Background and Conclusion:

Final EIR 255 identified change in topography and soils as Unavoidable Adverse Impacts that will result from development of Specific Plan 229A1. All required studies were completed and approved, and all required permits were obtained prior to mass grading. The Project site has been mass graded in anticipation of commercial development. The proposed Project is consistent with Specific Plan 229A1 and has been designed in compliance with all Plans, Programs and Policies to reduce Project impacts. None of the conditions described in California Code of Regulations, Section 15162 exist and the proposed Project will not cause any new or increase the severity of any previously identified impacts evaluated in Final EIR 255. Analysis in support of this conclusion follows.

Findings of Fact:

Planning Area 1 has been mass graded in anticipation of commercial development. Required studies and permits were obtained prior to mass grading. Impacts to Geology and Soils from development of the Specific Plan were adequately addressed in FEIR 255. The proposed Project is being developed consistent with the County General Plan, SP229A1 and the County Municipal Code. None of the conditions described in California Code of Regulations, Section 15162 exist. Therefore, the proposed Project will not result in any new or substantially increase the severity of previously identified impacts to Soils. The following discussions summarize the conclusion of the current analysis for the proposed Project.

a) Less Than Significant Impact. Construction of the proposed Project has the potential to contribute to soil erosion and the loss of topsoil. The Project site has been mass graded in anticipation of future commercial development. Mass grading removed the topsoil. Grading activities required for the Project would expose and loosen soil, which could be eroded by wind or water.

The County's Municipal Code Chapter 13.12, Article 2 Stormwater Management and Discharge Controls implement the requirements of the California Regional Water Quality Control Board. Riverside County (RWQCB) National Pollutant Discharge Elimination System (NPDES) Storm Water Permit Order No. R8-201 0-0033 (MS4 Permit) establishes minimum stormwater management requirements and controls that are required to be implemented for the Project.

To reduce the potential for soil erosion, County and RWQCB regulations mandate that a Stormwater Pollution Prevention Plan (SWPPP) be developed by a QSD (Qualified SWPPP Developer). PPP WQ-1 and PPP WQ-2 would implement this. The SWPPP is required to address site-specific conditions related to specific grading and construction activities that could cause erosion and loss of topsoil and to identify erosion control BMPs (best management practices) to reduce or eliminate the erosion and loss of topsoil. Erosion control BMPs include use of silt fencing, fiber rolls or gravel bags, stabilized construction entrance/exit, hydroseeding, etc. In compliance with the County's Municipal Code stormwater management requirements, RWQCB SWPPP requirements and BMPs to be mandated by

the County's Department of Building and Safety project review process, construction impacts related to erosion and loss of topsoil would be less than significant.

The proposed Project includes installation of topsoil and landscaping adjacent to proposed buildings, roadways and throughout the parking areas. With this landscaping, areas of loose topsoil that could erode by wind or water would not exist during operation of the proposed Project. In addition, as described in Section 24, Hydrology and Water Quality the hydrologic features of the proposed Project have been designed to slow, filter and retain stormwater within landscaping and the infiltration basin on the site, which would also reduce the potential for stormwater to erode topsoil. Furthermore, implementation of the Project requires County approval of a Water Quality Management Plan (WQMP), which would ensure that RWQCB requirements and appropriate operational Best Management Practices (BMPs) would be implemented to minimize or eliminate the potential for soil erosion or loss of topsoil to occur. As a result, with implementation of existing requirements and PPP WQ-1 and PPP WQ-2, potential impacts related to substantial soil erosion or loss of topsoil would be less than significant.

b) Less Than Significant Impact. Expansive soils contain significant amounts of clay particles that swell when wet and shrink when dry. Foundations constructed on expansive soils are subjected to forces caused by the swelling and shrinkage of the soils. Without proper measures taken, heaving and cracking of both building foundations and slabs-on-grade could result.

The Geotechnical Investigation prepared for the Project site conducted soils testing, which based on laboratory analysis determined that onsite soils have a "very low" expansion potential. In addition, as described above, compliance with the California Building Code (CBC) is a standard County practice, is included as PPP GE0-1 and would be required by the Riverside County Department of Building and Safety. Therefore, compliance with the requirements of the CBC as part of the building plan check and development review process will ensure that potential soil related impacts would be less than significant.

c) No Impact. The Project proposes to connect to existing sewers and would not use septic tanks or alternative wastewater disposal systems. As a result, impacts related to septic tanks or alternative waste water disposal systems will not occur from implementation of the proposed Project.

Existing Plans, Programs or Policies: Plans, Programs and Policies are adopted to insure that a project's potential impacts on the environment are minimized. Plans, Programs and Policies are not mitigation measures. The following Plans, Programs and Policies are applicable to the proposed Project.

PPP WQ-1: Comply with National Pollutant Discharge Elimination System (NPDES): Since this Project is one acre or more, the permit holder shall comply with all of the applicable requirements of the NPDES and shall conform to NPDES Best Management Practices for Stormwater Pollution Prevention Plans during the life of this permit.

PPP WQ-2: NPDES/SWPPP: Prior to issuance of any grading or construction permits - whichever comes first - the applicant shall provide the Building and Safety Department evidence of compliance with the NPDES requirement to obtain a construction permit from the State Water Resource Control Board (SWRCB). The permit requirement applies to grading and construction sites of one acre or larger. The owner operator can comply by submitting a Notice of Intent (NOI), develop and implement a Stormwater Pollution Prevention Plan (SWPPP) and a monitoring program and reporting plan for the construction site.

PPP GE0-1: Listed previously in Section 11.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
19. Wind Erosion and Blowsand from project either on or off site.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a) Be impacted by or result in an increase in wind erosion and blowsand, either on or off site?				

Sources:

- Riverside County General Plan Figure S-8 "Wind Erosion Susceptibility Map"
- Ord. No. 460, Article XV
- Ord. No. 484

Background and Conclusion:

Final EIR 255 evaluated the environmental impact that will result from development of Specific Plan 229A1. All required studies were completed and approved, and all required permits were obtained prior to mass grading. The Project site has been mass graded in anticipation of commercial development. The proposed Project is consistent with Specific Plan 229A1 and has been designed in compliance with all Plans, Programs and Policies to reduce Project impacts. None of the conditions described in California Code of Regulations, Section 15162 exist and the proposed Project will not cause any new or increase the severity of any previously identified impacts evaluated in Final EIR 255. Analysis in support of this conclusion follows.

Findings of Fact:

a) No Impact. Like the majority of the County, the Project site is identified by the General Plan Safety Element Figure S-8 as having moderate wind erosion susceptibility. The General Plan, Safety Element Policy for Wind Erosion requires buildings and structures to be designed to resist wind loads that are covered by the CBC. In addition, as described above, the proposed Project includes installation of landscaping adjacent to the proposed building, roadways and throughout the parking areas. With this landscaping, areas of loose topsoil that could erode by wind would not exist upon operation of the proposed Project. As described previously, the proposed Project would be developed in compliance with CBC regulations, which would be verified by the County Department of Building and Safety prior to approval of building permits. Therefore, the Project would not result in an increase in wind erosion and blow sand, either on or off site, and impacts would not occur.

Existing Plans, Programs or Policies: There are no PPPs related to wind erosion.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
GREENHOUSE GAS EMISSIONS Would the project				
20. Greenhouse Gas Emissions				
a) Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Sources:

- Cajalco + Wood Project Air Quality and Global Climate Change Impact Analysis (AQR) prepared by Kunzman Associates, Inc., September 2018
- County of Riverside, Comprehensive Update to the General Plan, 2008
- County of Riverside, Draft Climate Action Plan, February 2015
- H.B. Ranches Specific Plan 229A1
- FEIR 255

Background and Conclusion:

Final EIR 255 identified change in air quality levels as an Unavoidable Adverse Impact that will result from development of Specific Plan 229. Although the constituent emissions that make up greenhouse gases were analyzed in the Final EIR, a specific analysis of greenhouse gas emissions from the Specific Plan and their impact on the environment was not performed, as it was not required at that time; no specific design for the project been developed; and GHG emissions modeling software was not then available to perform the task. However, all the information necessary to evaluate greenhouse gas emissions generated by the Project was available in EIR #255.

EIR #255 states on page 73 that “both short-term and long-term project-related impacts are somewhat unavoidable. Construction related emissions and dust will be short-term impacts, and long-term emissions from vehicle exhaust and energy consumption are also inevitable.” The air quality-related impacts associated with the Specific Plan stated that “development at the project site will add pollutants to the local air shed, but most pollutants are from non-local sources.”

The following mitigation measure for Specific Plan air quality impacts is listed in adopting Resolution 88-476.

Mitigation: Follow design guidelines of this Specific Plan concerning energy conservation where appropriate

Following Approval of SPA 229A1 all required studies were completed and approved, and all required permits were obtained prior to mass grading. The Project site has been mass graded in anticipation of commercial development. The proposed Project is consistent with Specific Plan 229A1 and has been designed in compliance with all Plans, Programs and Policies to reduce Project impacts.

Since this time programs and regulations have been adopted to analyze greenhouse gas emissions. The current analysis concludes with incorporation of project design features and compliance with regulation, operation of the proposed Project would not create a significant cumulative impact to global climate change. None of the conditions described in California Code of Regulations, Section 15162

exist and the proposed Project will not cause any new or increase the severity of any previously identified impacts evaluated in Final EIR 255. Analysis in support of this conclusion follows.

Findings of Fact:

The Air Quality and Global Climate Change Impact Analysis (Kunzman Associates, Inc., 2018) prepared for the proposed Project includes a more in-depth analysis than was done for the Specific Plan.

The proposed Project's greenhouse gas emissions were calculated using the California Emissions Estimator Model Version 2016.3.2 (CalEEMod 2016.3.2). The Air Quality and Global Climate Change Impact Analysis (AQR) found that the project with incorporation of project design features and regulatory compliance would create a less than significant impact to greenhouse gases. Therefore, the Project's impacts would not result in an increase of those previously identified in the Specific Plan.

Climate Action Plan

The Climate Action Plan (CAP) for the County of Riverside summarizes County greenhouse gas emission and climate change issues and plans in the Basin, programs administered by federal, state and special purpose agencies and establishes goals and policies to reduce greenhouse gas emissions. These Climate Action Plan goals and policies include:

1.2 Goals: To fulfill the purposes of the CAP (Climate Action Plan), the County identified the following goals to be achieved:

- Provide a list of specific actions that will reduce Greenhouse Gas (GHG) emissions, giving the highest priority to actions that provide the greatest reduction in GHG emissions and benefit to the community at the least cost.
- Reduce emissions attributable to Riverside County to levels consistent with the target reductions of AB-32.
- Establish a qualified reduction plan for which future development within the County can tier and thereby streamline the environmental analysis necessary under CEQA.

To determine whether the Project's GHG emissions were significant, the Kunzman AQR used the SCAQMD draft local agency tier 3 threshold of 3,000 MTCO₂e per year for all land use types.

a) Less than Significant Impact. The proposed Project is anticipated to generate GHG emissions from area sources, energy usage, mobile sources, waste, water and construction equipment. The construction-related GHG emissions were also included and were based on a 30-year amortization rate as recommended in the SCAQMD GHG Working Group meeting on November 19, 2009.

As shown in Table GHG-1, with the incorporation of project design features (use of ENERGY STAR™ appliances and planting 133 new trees) and compliance with regulation, the proposed Project's GHG emissions would be reduced to 2,626.42 MTCO₂e per year. Therefore, with incorporation of project design features and compliance with regulation and incorporation of the CAPCOA-based land use and site enhancement reduction measures: LUT-1 Increased Density, LUT-4 Improved Destination Accessibility, LUT-5 Increased Transit Accessibility and SDT-1 Improved Pedestrian Network (see CalEEMod annual output in the AQR for details), the proposed Project's emissions would not exceed the SCAQMD draft threshold of 3,000 metric tons per year of CO₂e for all land uses. Given the low GHG emissions based on the level of project design features incorporated into the Project, the Project itself is deemed to be in compliance with the County's GHG emission controls pursuant to both AB-32 and SB-32. Therefore, with incorporation of project design features and compliance with regulation, operation of the proposed Project would not create a significant cumulative impact to global climate change.

**Table GHG-1
Project-Related Greenhouse Gas Emissions¹**

Category	Greenhouse Gas Emissions (Metric Tons/Year)					
	Bio-CO2	NonBio-CO2	CO2	CH4	N2O	CO2e
Area Sources ²	0.00	0.00	0.00	0.00	0.00	0.00
Energy Usage ³	0.00	321.17	321.17	0.01	0.00	322.49
Mobile Sources ⁴	0.00	2,248.51	2,248.51	0.21	0.00	2,253.70
Solid Waste ⁵	4.58	0.00	4.58	0.27	0.00	11.35
Water ⁶	1.10	21.96	23.06	0.11	0.00	26.77
Construction ⁷	0.00	16.73	16.73	0.00	0.00	16.81
Sequestration ⁸						-4.71
Total Emissions	5.68	2,608.38	2,614.07	0.61	0.01	2,626.42
SCAQMD and Riverside County CAP Draft Screening Threshold						3,000
Exceeds Threshold?						No

¹ Source: CalEEMod Version 2016.3.2 (mitigated values [to show reductions from regulation and design features]).
² Area sources consist of GHG emissions from consumer products, architectural coatings and landscape equipment.
³ Energy usage consist of GHG emissions from electricity and natural gas usage.
⁴ Mobile sources consist of GHG emissions from vehicles for Year 2020.
⁵ Solid waste includes the CO₂ and CH₄ emissions created from the solid waste placed in landfills.
⁶ Water includes GHG emissions from electricity used for transport of water and processing of wastewater.
⁷ Construction GHG emissions CO₂e based on a 30-year amortization rate.
⁸ CO₂ sequestration from the planting of ~133 trees (94.1640/20 years [trees' lifetime])

b) Less than Significant Impact. While the proposed Project will generate greenhouse gas emissions, the Project will not conflict with any applicable plan, policy or regulation of an agency adopted for the purpose of reducing the emissions of greenhouse gases. The applicable plan for the proposed Project is the County of Riverside Climate Action Plan (CAP), which includes goals and policies such as those pertaining to energy and water use reduction, promotion of green building measures, waste reduction and reduction in vehicle miles traveled that are applicable to the proposed Project.

The SCAQMD's tier 3 thresholds used Executive Order S-3-05 goal as the basis for deriving the screening level. The California Governor issued Executive Order S-3-05, GHG Emission, in June 2005, which established the following reduction targets:

- 2010: Reduce greenhouse gas emissions to 2000 levels
- 2020: Reduce greenhouse gas emissions to 1990 levels
- 2050: Reduce greenhouse gas emissions to 80 percent below 1990 levels.

In 2006, the California State Legislature adopted AB-32, the California Global Warming Solutions Act of 2006. AB-32 requires CARB, to adopt rules and regulations that would achieve GHG emissions equivalent to statewide levels in 1990 by 2020 through an enforceable statewide emission cap, which will be phased in starting in 2012.

Therefore, the Project's emissions meet the threshold for compliance with Executive Order S-3-05. The proposed Project's emissions also comply with the goals of AB-32. Additionally, as the proposed Project meets the current interim emissions targets/thresholds established by SCAQMD, the proposed Project would also be on track to meet the reduction target of 40 percent below 1990 levels by 2030 mandated by SB-32. Furthermore, all of the post 2020 reductions in GHG emissions are addressed via regulatory requirements at the State level and the proposed Project will be required to comply with these regulations as they come into effect.

At a level of 2,626.42 MTCO₂e per year, the proposed Project's GHG emissions meet the Riverside County CAP and SCAQMD draft local agency tier 3 screening threshold of 3,000 MTCO₂e per year for all land use types and the proposed Project is in compliance with the reduction goals of the County of Riverside Climate Action Plan, AB-32 and SB-32.

The proposed Project will comply with applicable Title 24 and Green Building Standards and the County of Riverside's policies regarding sustainability (as dictated by the County's General Plan and CAP). The Project's parking of 249 parking spaces will also include 6 electric vehicle parking spaces. Therefore, through compliance with Riverside County and SCAQMD regulations and the incorporation of project design features, implementation of the proposed Project would not conflict with existing plans, policies, and regulations adopted for the purpose of reducing the emissions of greenhouse gas.

Existing Plans, Programs or Policies: There are no PPPs related to greenhouse gas emissions.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
HAZARDS AND HAZARDOUS MATERIALS Would the project				
21. Hazards and Hazardous Materials				
a) Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Impair implementation of or physically interfere with an adopted emergency response plan or an emergency evacuation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter (1/4) mile of an existing or proposed school?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Sources:

- Project Application Materials
- Phase I Environmental Site Assessment prepared by ADR Environmental Group, 2017 (ADR 2017)

Background and Conclusion:

Final EIR 255 evaluated the environmental impact that will result from development of Specific Plan 229A1. All required studies were completed and approved, and all required permits were obtained prior to mass grading. The Project site has been mass graded in anticipation of commercial development.

The proposed Project is consistent with Specific Plan 229A1 and has been designed in compliance with all Plans, Programs and Policies to reduce Project impacts. Business owners and operators of the proposed fueling station and possible tractor supply use as well as any future businesses that occupy the proposed Project and use or store hazardous materials would be required to comply with all applicable federal, state and local regulations as permitted by the County Department of Environmental Health Hazardous Materials Branch to ensure proper use, storage and disposal of hazardous substances. None of the conditions described in California Code of Regulations, Section 15162 exist and the proposed Project will not cause any new or increase the severity of any previously identified impacts evaluated in Final EIR 255. Analysis in support of this conclusion follows.

Findings of Fact:

a) Less than Significant Impact. A hazardous material is typically defined as any material that due to its quantity, concentration or physical or chemical characteristics poses a significant potential hazard to human health and safety or the environment if released. Hazardous materials may include, but are not limited to hazardous substances, hazardous wastes and any material that would be harmful if released.

There are multiple state and local laws that regulate the storage, use, and disposal of hazardous materials. The Riverside County Department of Environmental Health Hazardous Materials Branch is the local administrative agency that coordinates programs that regulate use, storage and handling of hazardous materials, including Hazardous Materials Disclosure Plan Business Plans.

Construction

Construction activities for the proposed Project would involve transport, use and disposal of hazardous materials such as paints, solvents, oils, grease and caulking. In addition, hazardous materials would be used for fueling and serving construction equipment onsite. The types of hazardous materials used during construction are not acutely hazardous and all storage, handling, use and disposal of these materials are regulated by existing state and federal laws to which the Project is required to strictly adhere. As a result, the routine transport, use or disposal of hazardous materials during construction activities for the proposed Project would be less than significant.

Operation

Operation of the proposed Project includes general commercial uses (restaurants and retail stores) which generally use limited hazardous materials, such as cleaning agents, paints, pesticides, batteries and aerosol cans. Normal routine use of these products would not result in a significant hazard to residents or workers in the vicinity of the Project.

The Project includes a fueling station and possible tractor supply use, which will involve the routine transport, use or disposal of hazardous materials.

These uses, as well as any future use that handles acutely hazardous materials, as defined in Section 25500 of California Health and Safety Code, Division 20, Chapter 6.95, would require a permit from the Riverside County Department of Environmental Health Hazardous Materials Branch. Such businesses are also required to comply with California's Hazardous Materials Release Response Plans and Inventory Law, which requires immediate reporting to the County Hazardous Materials Branch and the State Office of Emergency Services regarding any release or threatened release of a hazardous material, regardless of the amount handled by the business.

In addition, the proposed fueling station and possible tractor supply use, any future businesses handling greater than 500 pounds of solid, 55 gallons of liquid or 200 cubic feet of gaseous hazardous material at any one time are required under Assembly Bill 2185 (AB 2185) to file a Hazardous Materials Business

Emergency Plan with the County. A Hazardous Materials Business Emergency Plan is a written set of procedures and information created to help minimize the effects and extent of a release or threatened release of a hazardous material. The intent of the Hazardous Materials Business Emergency Plan is to satisfy federal and state right-to-know laws and to provide detailed information for use by emergency responders.

Therefore, the business owners and operators of the proposed fueling station and possible tractor supply use as well as any future businesses that occupy the proposed Project and use or store hazardous materials would be required to comply with all applicable federal, state and local regulations as permitted by the County Department of Environmental Health Hazardous Materials Branch to ensure proper use, storage and disposal of hazardous substances. Given this oversight, operation of the proposed Project would result in a less than significant hazard to the public or the environment through the routine transport, use or disposal of hazardous materials.

b) Less than Significant Impact. From at least 1938 until sometime between 1938 and 1946, the subject Property was utilized for agriculture. From sometime between 1967 and 1978 until sometime between 1994 and 2005, the subject Property was part of an orchard that extended onto the north and east adjoining properties. Since at least 2005, the subject Property has been graded undeveloped land. Between 2006 and 2009, the east adjoining property was developed with the residences observed during the site inspection. Prior to its development and since at least 1938, the east adjoining property was structurally undeveloped land. The south, west and north adjoining properties have been structurally undeveloped land since at least 1938. Regulations in place prior to grading required the site to be tested for hazardous materials and remediated.

As described above, construction and operation activities of the proposed Project would involve the limited use and disposal of hazardous materials. Equipment used in project construction has the potential to release gas, oils, greases and solvents. Spills of paint and other finishing substances are possible. However, the amount of hazardous materials onsite would be limited and construction activities would be required to adhere to all applicable regulations regarding hazardous materials storage and handling, as well as relevant construction BMPs (through implementation of a required SWPPP mandated by PPP WQ-2) to prevent a hazardous materials release and to promptly contain and clean up any spills. This would minimize the potential for harmful exposures. With compliance to existing laws and regulations, which is mandated by the County in order to receive construction permits, the Project's construction-related impacts would be less than significant.

The proposed restaurant and retail commercial uses would utilize and store small quantities of hazardous materials such as cleaners, solvents, paints and pesticides. These types of hazardous materials are not acutely hazardous and are regulated by existing laws that have been implemented to reduce risks related to the use of these substances.

The proposed fueling station and potentially the proposed tractor supply use, as well as any future use that occupies the site and handle hazardous materials, will be required to file a Hazardous Materials Business Plan and receive a permit from the County Department of Environmental Health Hazardous Materials Branch to ensure proper use, storage and disposal of hazardous substances. As a result, operation of the proposed Project would not create a reasonably foreseeable upset and accident condition involving the release of hazardous materials into the environment and impacts would be less than significant.

c) Less than Significant Impact. The County of Riverside has implemented a Multi-Jurisdictional Local Hazard Mitigation Plan (2012) that identifies risks by natural and human-made disasters and ways to minimize the damage from those disasters. The proposed Project would provide commercial uses that would be permitted and approved in compliance with existing safety regulations, such as the

California Building Code and California Fire Code to ensure that it would not conflict with implementation of the Multi-Jurisdictional Local Hazard Mitigation Plan.

The proposed construction activities, including equipment and supply staging and storage, would occur within the Project site and would not restrict access of emergency vehicles to the Project site or adjacent areas. During construction of the Project driveways, Cajalco Road and Wood Road would remain open to ensure adequate emergency access to the Project area and vicinity. Impacts related to interference with an adopted emergency response of evacuation plan during construction activities would be less than significant.

d) Less than Significant Impact. There are no existing schools within one-quarter mile of the Project site. The Boulder Springs Specific Plan designates 10 acres for a future elementary school site (Boulder Springs Elementary). The construction and operation of the proposed Project would involve the use, storage and disposal of hazardous materials. These hazardous materials would be limited and used and disposed of in compliance with federal, state and local regulations, which would reduce the potential of accidental release into the environment.

Furthermore, the emissions that would be generated from construction and operation of the proposed Project were evaluated in the air quality analysis presented in Section 3. Emissions generated from the proposed Project would not cause or contribute to an exceedance of the federal or state air quality standards. Thus, the proposed Project would not emit hazardous or handle acutely hazardous materials, substances or waste within one-quarter mile of school and impacts would not occur.

e) No Impact. The Phase I Environmental Site Assessment that was prepared for the proposed Project conducted a database search to determine if the Project site or any nearby properties are identified as having hazardous materials. The Phase I record search determined that the Project site is not located on or near by a site that is included on a list of hazardous materials sites (ADR 2017). As a result, impacts related to hazards from being located on or adjacent to a hazardous materials site would not occur from implementation of the proposed Project.

Existing Plans, Programs or Policies: There are no PPPs related to hazards and hazardous materials.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
22. Airports				
a) Result in an inconsistency with an Airport Master Plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Require review by the Airport Land Use Commission?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) For a project located within an airport land use plan or, where such a plan has not been adopted, within two (2) miles of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) For a project within the vicinity of a private airstrip, or heliport, would the project result in a safety hazard for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Sources:

- Riverside County General Plan Figure S-20 "Airport Locations"
- Lake Mathews/Woodcrest Area Plan MJARB Airport Influence Area, Figure 5
- Airport Land Use Commission Riverside County letter dated: July 18, 2017

Background and Conclusion:

Final EIR 255 evaluated the environmental impact that will result from development of Specific Plan 229A1. The proposed Project is consistent with Specific Plan 229A1 and has been designed in compliance with all Plans, Programs and Policies to reduce Project impacts. None of the conditions described in California Code of Regulations, Section 15162 exist and the proposed Project will not cause any new or increase the severity of any previously identified impacts evaluated in Final EIR 255. Analysis in support of this conclusion follows.

Findings of Fact:

a) No Impact. The Project site is identified as within Compatibility Zone E of March Air Reserve Base/Inland Port Airport Influence Area, which does not restrict non-residential uses.

b) No Impact. In July 2017, the Project was reviewed for consistency with the ALUCP by the Riverside County Airport Land Use Commission (ALUC). ALUC determined the Project would be consistent with the ALUCP, subject to conditions. These conditions are contained within Mitigation Measure HAZ-1. With implementation of this mitigation measure, impacts related to an inconsistency with an Airport Master Plan would be less than significant.

c) No Impact. The Project site is identified as within Compatibility Zone E of March Air Reserve Base/Inland Port Airport Influence Area which does not restrict non-residential intensity. Therefore, the Project will not result in a safety hazard for people residing or working in the Project area.

d) No Impact. The Project site is not located within the vicinity of a private airstrip or heliport and would not result in a safety hazard related to airstrip or heliport uses.

Existing Plans, Programs or Policies: There are no PPPs related to hazards and hazardous materials.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
HYDROLOGY AND WATER QUALITY Would the project:				
23. Water Quality Impacts				
a) Violate any water quality standards or waste discharge requirements or otherwise substantially degrade surface or ground water quality?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Substantially decrease groundwater supplies or interfere substantially with groundwater recharge such that the project may impede sustainable groundwater management of the basin?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

c) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river or through the addition of impervious surfaces?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Result in substantial erosion or siltation on-site or off-site?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Substantially increase the rate or amount of surface runoff in a manner which would result in flooding on-site or off-site?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) Create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g) Impede or redirect flood flows?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
h) In flood hazard, tsunami, or seiche zones, risk the release of pollutants due to project inundation?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
i) Conflict with or obstruct implementation of a water quality control plan or sustainable groundwater management plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Sources:

- County of Riverside Ordinance No. 754.2 (WQMP)
- Riverside County Flood Control District Flood Hazard Report/Condition
- Flood Insurance Rate Map No. FM06065C1405G (effective date August 28, 2008)
- Drainage Report, Cajalco and Wood Commercial Project prepared by K&A Engineering, Inc., February 2018
- Project Specific Water Quality Management Plan, Cajalco and Wood Commercial Project, prepared by K&A Engineering, Inc., February 2018
- Riverside County General Plan Figure S-9 "Special Flood Hazard Areas," Figure S-10 "Dam Failure Inundation Zone," Riverside County Flood Control District Flood Hazard Report/Condition, GIS database

Background and Conclusion:

Final EIR 255 evaluated the environmental impact that will result from development of Specific Plan 229A1. All required studies were completed and approved, and all required permits were obtained prior to mass grading. The Project site has been mass graded in anticipation of commercial development. The proposed Project is consistent with Specific Plan 229A1 and has been designed in compliance with all Plans, Programs and Policies to reduce Project impacts. None of the conditions described in California Code of Regulations, Section 15162 exist and the proposed Project will not cause any new or increase the severity of any previously identified impacts evaluated in Final EIR 255. Analysis in support of this conclusion follows.

Findings of Fact:

a) No Impact. The Project site is within the Santa Ana River watershed and under the jurisdiction of the Santa Ana RWQCB, which sets water quality standards for all ground and surface waters within its region. Water quality standards are defined under the Clean Water Act (CWA) to include both the beneficial uses of specific water bodies and the levels of water quality that must be met and maintained to protect those uses (water quality objectives). Water quality standards for all ground and surface waters overseen by the Santa Ana RWQCB are documented in its Basin Plan and the regulatory

program of the Santa Ana RWQCB is designed to minimize and control discharges to surface and groundwater, largely through permitting, such that water quality standards are attained.

The Project site has been mass graded in anticipation of commercial development. Underground utilities (storm drains) have been constructed on-site and are designed to capture the 100-year storm event. Currently, stormwater that does not infiltrate into the pervious surfaces on-site drains southwest toward Wood Road.

Construction

Construction of the proposed Project would require grading and excavation of soils, which would loosen sediment and then have the potential to mix with surface water runoff and degrade water quality. Additionally, construction would require the use of heavy equipment and construction-related chemicals, such as concrete, cement, asphalt, fuels, oils, antifreeze, transmission fluid, grease, solvents and paints. These potentially harmful materials could be accidentally spilled or improperly disposed of during construction and, if mixed with surface water runoff, could wash into and pollute waters.

These types of water quality impacts during construction of the proposed Project would be prevented through implementation of a grading and erosion control plan required by the Construction Activities General Permit (State Water Resources Board Order No. 2012-0006-DWQ, NPDES No. CAS000002), which requires preparation of a SWPPP by a Qualified SWPPP Developer, as indicated by PPP WQ-1, listed previously. The SWPPP is required for plan check and approval by the County's Building and Safety Division prior to provision of permits for the Project and would include construction.

BMPs such as:

- Silt fencing, fiber rolls or gravel bags
- Street sweeping and vacuuming
- Storm drain inlet protection
- Stabilized construction entrance/exit
- Vehicle and equipment maintenance, cleaning and fueling
- Hydroseeding
- Material delivery and storage
- Stockpile management
- Spill prevention and control
- Solid waste management
- Concrete waste management

Adherence to the existing requirements and implementation of the appropriate BMPs per the permitting process, and PPP WQ-1, would ensure that activities associated with construction would not violate any water quality standards or waste discharge requirements and impacts would not occur.

Operation

The proposed Project would introduce commercial uses to the Project site, which would introduce the potential for pollutants such as chemicals from cleaners, pesticides and sediment from landscaping, trash and debris, oil and grease from vehicles and a gas station (gasoline and diesel fuel). These pollutants could potentially discharge into surface waters and result in degradation of water quality. However, in accordance with State Water Resources Board Order No. 2012-0006-DWQ, NPDES No. CAS000002 the proposed Project would be required to incorporate a WQMP with post-construction (or permanent) Low Impact Development (LID) site design, source control and treatment control BMPs. The LID site design would to minimize impervious surfaces and provide infiltration of runoff into landscaped areas.

The source control BMPs would minimize the introduction of pollutants that may result in water quality impacts. Treatment control BMPs would treat stormwater runoff. The proposed Project would install an onsite infiltration basin to treat stormwater, which removes coarse sediment, trash and pollutants (i.e., sediments, nutrients, heavy metals, oxygen demanding substances, oil and grease, bacteria and pesticides). The additional types of BMPs that would be implemented as part of the proposed Project are listed in Table HWQ-1.

**Table HWQ-1
Types of BMPs Incorporated into the Project Design**

Type of BMP	Description of BMPs
LID Site Design	<p><u>Optimize the site layout</u>: The site has been designed so that runoff from impervious surfaces would flow over pervious surfaces or to the infiltration basin. Runoff would LID Site be directed to the onsite infiltration basin that would slow and retain runoff.</p> <p><u>Use pervious surfaces</u>: Landscaping and an onsite infiltration basin have been incorporated into the Project design to increase the amount of pervious area and on-site retention of stormflows.</p>
Source Control	<p><u>Storm Drain Stenciling</u>: All inlets/catch basins would be stenciled with the words "Only Rain Down the Storm Drain," or equivalent message.</p> <p><u>Need for future indoor & structural pest control</u>: Buildings would be designed to avoid openings that would encourage entry of pests.</p> <p><u>Landscape/outdoor pesticide use</u>: Final landscape plans would accomplish all of the Following:</p> <ul style="list-style-type: none"> • Design landscaping to minimize irrigation and runoff, to promote surface infiltration where appropriate and to minimize the use of fertilizers and pesticides that can contribute to storm water pollution. • Consider using pest-resistant plants, especially adjacent to hardscape. • To ensure successful establishment, select plants appropriate to site soils, slopes, climate, sun, wind, rain, land use, air movement, ecological consistency and plant interactions.
Treatment Control	<p><u>Biofiltration Systems</u>: The infiltration basin proposed for the Project would detain runoff and filter it prior to discharge.</p>

With implementation of the operational BMPs that would be required by the County pursuant to the NPDES permit, which would be verified during the permitting process for the proposed Project, potential pollutants would be reduced to the maximum extent feasible and the proposed Project would not violate any water quality standards or waste discharge requirements or otherwise substantially degrade surface or ground water quality. Therefore, impacts would not occur.

b) Less than Significant Impact. The proposed Project would not deplete groundwater supplies. The Western Municipal Water District (WMWD) provides water serves to the Project area, which receives a large portion of water from imported sources (UWMP 2015). The Project area overlies the Perris North Groundwater basin, which is located within the West San Jacinto Basin and is managed through the WSJ Groundwater Management Plan that was adopted in 1995. The plan manages groundwater extraction, supply and quality. Because the groundwater basin is managed through this plan, which limits the allowable withdrawal of water from the basin by water purveyors and the Project would not pump water from the Project area (as water supplies would be provided by WMWD), the proposed Project would not result in a substantial depletion of groundwater supplies.

Development of the proposed Project would result in a large area of impervious surface on the Project site. However, the Project design includes Bio-infiltration/Detention basins that would capture and infiltrate runoff. The proposed Project includes installation of landscaping that would treat on-site runoff. As a result, the proposed Project would not substantially interfere with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level, and impacts would be less than significant.

c) Less than Significant Impact. The Project site is not adjacent to, a stream or river. No natural drainage courses are present onsite. The Project site has been mass graded. Underground utilities (storm drains) have been constructed on-site and are designed to capture the 100-year storm event. Currently, stormwater that does not infiltrate into the soils on-site drains southwest toward Wood Road. The Project will construct impervious surfaces (parking areas and commercial buildings). Surface runoff generated by the proposed Project would be conveyed to unlined Bio-retention/Detention planters allowing for infiltration into the underlying soil. Should the infiltration rate of the soil be exceeded, fully bio-treated flows will be discharged via filtered sub-drains to elevated outlets to an existing storm drain. The Project would not substantially alter the existing drainage pattern of the site or course of a stream or river through addition of impervious surfaces.

Construction

Construction of the proposed Project would require grading and excavation of soils, which would loosen sediment and could result in erosion or siltation. However, construction requires County approval of a grading and erosion control plan per the State General Permit to Discharge Storm Water Associated with Construction Activities (NPDES No. CAS000002). This requires preparation of a SWPPP by a Qualified SWPPP Developer, which would be implemented by PPP WQ-1 and PPP WQ-2, listed previously. The grading and erosion control plan and SWPPP are required for plan check and approval by the County's Building and Safety Division prior to provision of permits for the proposed Project and would include construction BMPs to reduce erosion or siltation. Typical BMPs for erosion or siltation include use of silt fencing, fiber rolls, gravel bags, stabilized construction driveway and stockpile management (as further described below). Adherence to the existing requirements and implementation of the required BMPs per the permitting process would ensure that erosion and siltation associated with construction activities would be minimized, and impacts would be less than significant.

Operation

Surface runoff generated by the proposed Project would be conveyed to unlined Bio-retention/Detention planters allowing for infiltration into the underlying soil. Should the infiltration rate of the soil be exceeded, fully bio-treated flows will be discharged via filtered sub-drains to elevated outlets to an existing storm drain.

The Bio-retention/Detention basins would filter, retain and slowly discharge drainage into the soil, such that drainage would be controlled and would not result in substantial erosion or siltation on- or off-site. In addition, a WQMP is required to be developed, approved and implemented to satisfy the requirements of the adopted NPDES program. This would be verified by the County's Building and Safety Division through the County's permitting and inspection process. With implementation of PPP WQ-1 and PPP WQ-2 during the County's standard review and permitting process, impacts would be less than significant.

d) Less Than Significant Impact. Construction of the proposed Project has the potential to contribute to soil erosion and the loss of topsoil. The Project site has been mass graded in anticipation of future commercial development. Mass grading removed the topsoil. Grading activities required for the Project would expose and loosen soil, which could be eroded by wind or water.

The County's Municipal Code Chapter 13.12, Article 2 Stormwater Management and Discharge Controls implement the requirements of the California Regional Water Quality Control Board. Riverside County (RWQCB) National Pollutant Discharge Elimination System (NPDES) Storm Water Permit Order No. R8-201 0-0033 (MS4 Permit) establishes minimum stormwater management requirements and controls that are required to be implemented for the Project.

To reduce the potential for soil erosion, County and RWQCB regulations mandate that a Stormwater Pollution Prevention Plan (SWPPP) be developed by a QSD (Qualified SWPPP Developer). PPP WQ-1 and PPP WQ-2 would implement this. The SWPPP is required to address site-specific conditions related to specific grading and construction activities that could cause erosion and loss of topsoil and to identify erosion control BMPs (best management practices) to reduce or eliminate the erosion and loss of topsoil. Erosion control BMPs include use of silt fencing, fiber rolls or gravel bags, stabilized construction entrance/exit, hydroseeding, etc. In compliance with the County's Municipal Code stormwater management requirements, RWQCB SWPPP requirements and BMPs to be mandated by the County's Department of Building and Safety project review process, construction impacts related to erosion and loss of topsoil would be less than significant.

The proposed Project includes installation of topsoil and landscaping adjacent to proposed buildings, roadways and throughout the parking areas. With this landscaping, areas of loose topsoil that could erode by wind or water would not exist during operation of the proposed Project. In addition, the hydrologic features of the proposed Project have been designed to slow, filter and retain stormwater within landscaping and the infiltration basin on the site, which would also reduce the potential for stormwater to erode topsoil. Furthermore, implementation of the Project requires County approval of a Water Quality Management Plan (WQMP), which would ensure that RWQCB requirements and appropriate operational Best Management Practices (BMPs) would be implemented to minimize or eliminate the potential for soil erosion or loss of topsoil to occur. As a result, with implementation of existing requirements and PPP WQ-1 and PPP WQ-2, potential impacts related to substantial soil erosion or loss of topsoil on-site or off-site would be less than significant.

e-f) Less than Significant Impact. As described above in response 23a, the runoff generated by the proposed Project would be conveyed to Bio-infiltration/Detention basins that would be developed on-site. These filters, retain, allow infiltration or discharge filtered runoff into a storm drain. The basins have been sized to accommodate anticipated flows and would control drainage such that it would not exceed the capacity of the existing and planned stormwater drainage system. The Project would not increase the rate or amount of surface runoff which would result in flooding on-site or off-site or exceed the capacity of existing or planned stormwater drainage systems.

In addition, a WQMP is required to be developed, approved and implemented to satisfy the requirements of the adopted NPDES program. The County's Building and Safety Division would verify this through the permitting and inspection process to ensure the proposed Project would not provide additional sources of polluted runoff. As listed previously, implementation of PPP WQ-1 and PPP WQ-2 during the County's standard review and permitting process would provide that impacts related to pollution runoff would be less than significant. The Project would not provide substantial additional sources of polluted runoff.

g) No Impact. Runoff generated by the proposed Project would be conveyed to Bio-infiltration/Detention basins that would be developed on-site. The storm drain conveyance system which includes the basins has been sized to accommodate anticipated flows and would control drainage such that it would not exceed the capacity of the existing and planned stormwater drainage system. The Project would not impede or redirect flood flows.

h) No Impact. The Project site is no located within a flood hazard, tsunami, or seiche zone, therefore, the Project will not risk release of pollutants due to project inundation.

i) No Impact. The Project is consistent with the County General Plan, Specific Plan 229A1 and has been designed in compliance with all Plans, Programs and Policies to reduce Project impacts on groundwater management. The Project will not conflict with or obstruct implementation of a water quality control plan or sustainable groundwater management plan.

Existing Plans, Programs or Policies:

PPP WQ-1: Listed previously in Section 18.

PPP WQ-2: Listed previously in Section 18.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
LAND USE/PLANNING Would the project:				
24. Land Use				
a) Cause a significant environmental impact due to a conflict with any land use plan, policy, or regulation adopted for the purpose of avoiding or mitigating an environmental effect?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Disrupt or divide the physical arrangement of an established community (including a low-income or minority community)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Sources:

- Riverside County General Plan
- GIS database
- Project Application Materials

Background and Conclusion:

Final EIR 255 evaluated the environmental impact that will result from development of Specific Plan 229A1. All required studies were completed and approved, and all required permits were obtained prior to mass grading. The Project site has been mass graded in anticipation of commercial development. The proposed Project is consistent with Specific Plan 229A1 and has been designed in compliance with all Plans, Programs and Policies to reduce Project impacts. None of the conditions described in California Code of Regulations, Section 15162 exist and the proposed Project will not cause any new or increase the severity of any previously identified impacts evaluated in Final EIR 255. Analysis in support of this conclusion follows.

Findings of Fact:

a) No Impact. The Project site is currently vacant. The site has been mass graded. Backbone underground utilities have been installed at the Project site in anticipation of future commercial development consistent with the Boulder Springs Specific Plan. The proposed Project would develop

commercial uses on the Project site. Therefore, implementation of the proposed Project would not conflict with any land use plan, policy, or regulation adopted for the purpose of avoiding or mitigating an environmental effect.

b) No Impact. As described in the previous response, the proposed Project would develop commercial uses consistent with the Boulder Springs Specific Plan. Thus, implementation of the proposed Project will not disrupt or divide the physical arrangement of an established community (including a low-income or minority community).

Existing Plans, Programs or Policies: There are no PPP's related to land use.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
MINERAL RESOURCES Would the project				
25. Mineral Resources				
a) Result in the loss of availability of a known mineral resource that would be of value to the region or the residents of the State?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Potentially expose people or property to hazards from proposed, existing or abandoned quarries or mines?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Sources:

- Riverside County General Plan Figure OS-6 "Mineral Resources Zones".
- Lake Mathews/Woodcrest Area Plan, Figure 3 Land Use Plan and Table 1 Land Use Designations Summary.

Background and Conclusion:

Final EIR 255 evaluated the environmental impact that will result from development of Specific Plan 229A1. All required studies were completed and approved, and all required permits were obtained prior to mass grading. The Project site has been mass graded in anticipation of commercial development. The proposed Project is consistent with Specific Plan 229A1 and has been designed in compliance with all Plans, Programs and Policies to reduce Project impacts. None of the conditions described in California Code of Regulations, Section 15162 exist and the proposed Project will not cause any new or increase the severity of any previously identified impacts evaluated in Final EIR 255. Analysis in support of this conclusion follows.

Findings of Fact:

a-b) No Impact. The County General Plan Multipurpose Open Space Element designates the Project site within the MRZ-3 Zone (Significance of mineral deposits undetermined). The Project site lies within the boundary of the Lake Mathews/Woodcrest Area Plan. There are no "Mineral Resource Areas identified within the Lake Mathews/Woodcrest Area Plan. No mineral resources were identified within

the HB Ranches (Boulder Springs) Specific Plan by Final EIR 255. The Project site has been mass graded. No mineral resources have been identified in the geotechnical investigations prepared for the proposed Project. Therefore, no impacts related to the loss of availability of a known mineral resource that would be of value to the region or the residents of the state or a mineral resource recovery site delineated on a land use plan would occur from implementation of the proposed Project.

c) No Impact. There are no existing surface mines or state classified/designated mining areas in the vicinity of the Project site. Thus, impacts related to incompatible land uses in mine areas and impacts related to potential exposure to hazards from quarries or mines would not occur from implementation of the proposed Project.

Existing Plans, Programs or Policies: There are no PPP's related to mineral resources.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
NOISE Would the project result in:				
26. Airport Noise				
a) For a project located within an airport land use plan or, where such a plan has not been adopted, within two (2) miles of a public airport or public use airport would the project expose people residing or working in the project area to excessive noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) For a project located within the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Sources:

- Riverside County General Plan Figure S-20 "Airport Locations"
- County of Riverside Airport Facilities Map
- County of Riverside, Comprehensive Update to the General Plan, 2008
- Google Earth, 2019
- County of Riverside Planning Department. Specific Plan No. 229 Amendment No. 1 Boulder Springs (formerly H.B. Ranches), May 3, 2004
- Riverside County Airport Land Use Commission "March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, 2014 (ALUCP 2014)
- Rull, Paul (Riverside County Airport Land Use Commission) Airport Land Use Commission (ALUC) Development Review Required Jurisdiction Project Case: CUP 3775. Received by Tim Wheeler July 18, 2017
- Wieland Associates, Inc. Acoustical Evaluation for Boulder Springs Planned Community Specific Plan 229A1, Riverside County, October 25, 2002

Background and Conclusion:

Final EIR 255 identified change in noise levels as an Unavoidable Adverse Impact that will result from development of Specific Plan 229. All required studies were completed and approved, and all required permits were obtained prior to mass grading. The Project site has been mass graded in anticipation of

commercial development. The proposed Project is consistent with Specific Plan 229A1 and has been designed in compliance with all Plans, Programs and Policies to reduce Project impacts. The Project site is approximately 4.8 miles southwest from the March Air Reserve Base/Inland Port Airport. The Project's impact to Airport Noise will be less than significant. None of the conditions described in California Code of Regulations, Section 15162 exist and the proposed Project will not cause any new or increase the severity of any previously identified impacts evaluated in Final EIR 255. Analysis in support of this conclusion follows.

Findings of Fact:

a) Less than Significant Impact. The Project site is approximately 4.8 miles southwest from the March Air Reserve Base/Inland Port Airport, and is identified as being within Compatibility Zone E of the Airport Influence Area in the March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan (ALUCP). Land uses within Compatibility Zone E are not within the 55-CNEL noise contour (ALUCP 2014). Although, occasional overflights may be intrusive to some outdoor activities, the proposed Project does not include any noise sensitive exterior land uses. The proposed Project is consistent with County of Riverside General Plan Noise Element Policy N7.1. The proposed Project would not expose people residing or working in the Project area to excessive noise levels associated with aircraft.

b) No Impact. The closest private airstrip to the Project site is the Perris Valley Airport located approximately 7.98 miles southeast of Project site. Therefore, the proposed Project would not result in excessive noise related to a private airstrip.

Existing Plans, Programs or Policies: Plans, Programs and Policies are adopted to insure that a project's potential impacts on the environment are minimized. Plans, Programs and Policies are not mitigation measures. The following Plans, Programs and Policies are applicable to the proposed Project.

The following policies found in the County of Riverside General Plan Noise Element are applicable to the Project.

PPP-NOI 1: County of Riverside General Plan Noise Element Policy N7.1:

New land use development within Airport Influence Areas shall comply with airport land use noise compatibility criteria contained in the corresponding airport land use compatibility plan for the area. Each Area Plan affected by a public-use airport includes one or more Airport Influence Areas, one for each airport.

As stated above, the Project site is approximately 4.8 miles southwest from the March Air Reserve Base/Inland Port Airport, and is identified as being within Compatibility Zone E of the Airport Influence Area in the March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan (ALUCP). Land uses within Compatibility Zone E are not within the 55-CNEL noise contour (ALUCP 2014). The only land use restriction listed for Zone E are major spectator-oriented sports stadiums, amphitheatres, and concert halls beneath principal flight tracks; and a special review for objects greater than 100-feet in height.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
27. Noise Effects by the Project				
a) Generation of a substantial temporary or permanent increase in ambient noise levels in the vicinity of the project in excess of standards established in the local general plan, noise ordinance, or applicable standards of other agencies?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Generation of excessive ground-borne vibration or ground-borne noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Sources:

- Google Earth, 2019
- On-site Inspection
- Cajalco + Wood Project Noise Impact Analysis prepared by Ganddini Group, Inc., September 17, 2018
- Cajalco + Wood Project Traffic Impact Analysis prepared by Kunzman Associates, Inc., July 25, 2018
- County of Riverside. Comprehensive Update to the General Plan, 2008
- County of Riverside. Municipal Code, 2015
- County of Riverside Planning Department. Specific Plan No. 229 Amendment No. 1 Boulder Springs (formerly H.B. Ranches), May 3, 2004
- Riverside County Department of Public Health. Guidelines for Determining and Mitigating Traffic Noise Impacts, 2009
- Wieland Associates, Inc. Acoustical Evaluation for Boulder Springs Planned Community Specific Plan 229A1, Riverside County, October 25, 2002

Background and Conclusion:

Final EIR 255 identified change in noise levels as an Unavoidable Adverse Impact that will result from development of Specific Plan 229. All required studies were completed and approved, and all required permits were obtained prior to mass grading. The Project site has been mass graded in anticipation of commercial development. The proposed Project is consistent with Specific Plan 229A1 and has been designed in compliance with all Plans, Programs and Policies to reduce Project impacts.

The Noise Study prepared for Specific Plan Amendment 229A1 and its CEQA Addendum states that as a result of the project, established communities in the study area will be exposed to noise from several new sources, including activities at the commercial center. Page 2 lists design measures that can be incorporated into future Specific Plan projects to minimize potential noise impacts related to operation of the commercial center including:

1. Proper site design to use the proposed commercial and community buildings to shield the noise-sensitive areas from traffic and stationary noise sources.
2. Noise barriers at the property lines of the commercial, school, park and community use areas to shield the residential community from the on-site noise sources.
3. Limiting activities at the commercial center, school, park, and community use area to the hours of 7:00 AM to 10:00 PM.

The above measures have been incorporated into the proposed Project design.

The noise study shows that build-out of the Specific Plan would result in increases in noise levels along affected roadways ranging between 0 to 3.5 dB. Two roadway segments anticipated to have increases of more than 3 dB include Cajalco Road from Wood Road to Starglow Drive and Wood Road from north of Cajalco Road to north of Markham Street. The noise study stated construction noise associated with buildout of the Specific Plan would cause increases in the ambient noise levels but would be less than significant as long as construction occurs within the hours of 7:00 AM and 7:00 PM. The noise study also provides measures to minimize impacts associated with construction noise including:

1. To minimize annoyance, construction activities should be limited to daytime hours of 7:00 AM to 5:00 PM
2. All construction equipment should be fitted with properly sized mufflers.
3. Noisy equipment items should be located as far as practicable from the surrounding residential properties.

The project level analysis, presented below finds that project generated vehicle traffic may result in increases in noise levels between approximately 0.04 to 2.37 dBA CNEL. These findings are consistent with the expected increase in noise levels found in the noise study prepared for Specific Plan Amendment 229A1 and its CEQA Addendum. The following project level analysis finds that noise impacts will not result in significant impacts. None of the conditions described in California Code of Regulations, Section 15162 exist and the proposed Project will not cause any new or increase the severity of any previously identified impacts evaluated in Final EIR 255. Analysis in support of this conclusion follows.

Findings of Fact:

a) Less than Significant Impact. Land uses in the vicinity of the Project site that may be affected by project generated noise include the single-family detached residential dwelling units east of the Project site.

On-Site Operational Noise

The operational stationary noise standard that applies to the proposed Project is the 65/45 dBA Leq established by the Dept. of Industrial Hygiene and included in the General Plan and presented as a threshold in the Noise Study prepared for Specific Plan 229A1 and EIR 255.

County of Riverside General Plan Noise Element

The County of Riverside General Plan has not established numerical criteria to determine if an increase due to a stationary noise sources is substantial. It does however set forth stationary noise standards for daytime and nighttime hours. Specifically, the County of Riverside General Plan Noise Element requires that facility-related noise, as projected to any portion of any surrounding property containing a "habitable dwelling, hospital, school, library, or nursing home", must not exceed the following worst-case noise levels:

- 45 dBA – 10 minute noise equivalent level (Leq), between the hours of 10:00 PM and 7:00 AM (nighttime standard)
- 65 dBA – 10 minute noise equivalent level (Leq) between the hours of 7:00 AM and 10:00 PM (daytime standard)

The Wieland report included a list of mitigation measures for operational noise impacts. Appropriate measures in this list have been implemented by the residential tract constructed adjacent to the east. These measures have been included in the noise model for the proposed Project.

The SoundPLAN noise model was utilized to model peak hour on-site project operational noise at nearby sensitive receptors for the proposed Project. The SoundPLAN model is a three-dimensional software that utilizes algorithms (based on the inverse square law) to calculate noise level projections. The software allows the user to input specific noise sources, spectral content, sound barriers, building placement, topography, and sensitive receptor locations. Noise associated with the proposed parking lots, fueling stations, car wash, and drive-through speakers were modeled. Parking lot noise was modeled with 158 parking spaces and 296 peak hour trips per the Traffic Impact Analysis (Kunzman Associates, Inc. 2018) prepared for the proposed Project. Project generated noise associated with the drive-thru fast-food restaurant speakers were modeled using representative noise data from the SoundPLAN model. Noise associated with car washes will vary depending upon the design and the proposed equipment. A conservative reference noise level associated with a 15 horsepower blower/dryer² was utilized for modeling purposes. This noise reference level (96 dB at 1 meter) was multiplied by seven to represent a typical drive-thru car wash and converted to a sound power level prior to being inserted into the SoundPLAN model. A sound power level of 95.4 dB was utilized to model the entrance of the car wash. This assumes that the blowers are 10 feet within the tunnel area. The fueling area was modeled as an area source with a sound power level of 65 dB at every square meter to represent conversation, vehicles coming and going and amplified music.

The existing measured ambient noise level at the Project site is 41.3 dBA Leq. Figures 5 and 6 of the Noise Impact Analysis (Ganddini Group 2018) show that the modeled exterior noise levels at the property lines of the nearest sensitive receptors are expected to range between 56 and 59 dBA Leq during peak-hour Project operation. Therefore, it is anticipated that the Project will result in increases in the ambient noise level by greater than 5 dB. This increase occurs during peak-hour operations and would not occur during the nighttime hours.

Although the build-out of the Specific Plan and the proposed Project may result in substantial increases over existing levels, it is not expected to cause noise levels that violate the County's noise standards for residential land uses. Therefore, while the proposed Project will result in a substantial increase over the existing on-site conditions, the proposed Project will not result in a substantial permanent increase in ambient noise levels in the Project vicinity above levels projected for build-out of the Specific Plan.

Off-Site Project Generated Vehicle Noise Impacts

The proposed Project is within the Boulder Springs Specific Plan No. 229A1. A Noise study was prepared for the Specific Plan in October 2002 (Wieland Associates, Inc. 2002). Noise impacts associated with a substantial permanent increase in ambient noise levels above existing due to future traffic noise in the study area was addressed in the Wieland Noise study prepared for the Specific Plan. The Wieland Noise study found that the traffic noise levels in the study area would have increases ranging from 0 to 3.5 dB due to the addition of Specific Plan generated vehicle traffic. The two roadway segments that were anticipated to have over a 3 dB increase were Cajalco Road from Wood Road to Starglow Drive and Wood Road from north of Cajalco Road to north of Markham Street.

Roadway noise impacts would be considered significant if the Project increases noise levels at a noise sensitive land use by 3 dBA CNEL and if: (1) the existing noise levels already exceed the applicable land use compatibility standard for "clearly compatible", or (2) the Project increases noise levels from below the applicable standard to above the standard. The type of sensitive receptor that may be

² Reference sound pressure level provided by MACNEIL Wash Systems, October 2007

impacted by project generated vehicle noise in this case is single-family residential and the County's clearly compatible noise standard for this type of land use is 60 dBA CNEL.

In order to quantify the Project's contribution to existing ambient noise levels, existing traffic noise levels, and worst-case project generated traffic noise levels were modeled utilizing the FHWA Traffic Noise Prediction Model - FHWA-RD-77-108, for all road segments affected by Project generated vehicle noise.

Existing and Existing Plus Project vehicle mixes were obtained from the Project's Traffic Impact Analysis (Kunzman Associates, Inc., 2018). Vehicle/truck mixes and D/E/N splits for use in acoustical studies published by the Riverside County Department of Industrial Hygiene were utilized for noise modeling. Existing Plus Project vehicle mixes were calculated by adding the proposed Project trips to existing conditions.

As shown in Table N-1, modeled Existing traffic noise levels range between 54.9-77.6 dBA CNEL and the modeled Existing Plus Project traffic noise levels are expected to range between 55.2- 77.7 dBA CNEL at 50 feet from the centerline of each modeled road segment. A substantial increase would require an increase of 3 dBA CNEL as well as either an existing exceedance of the land use compatibility standard or an increase in noise levels from below the 60 dBA CNEL standard to above the 60 dBA CNEL standard. As shown in Table N-1 all modeled roadway segments are anticipated to change the noise a nominal amount (between approximately 0.04 to 2.37 dBA CNEL).

The only increase above 1 dB would be along Wood Road from Cajalco Road to Carpinus Drive. Land uses adjacent to this road segment are currently agricultural land and vacant land. The Noise report for Specific Plan 229AI identified that noise levels along this road segment would increase by at least 3 dBA Leq. The proposed project would not result in new significant impacts.

Table N-1
Change in Existing Noise Levels Along Roadways as a Result of Project (CNEL)¹

Roadway	Segment	Modeled Noise Levels (CNEL) @ 50 feet from centerline				
		Existing Without Project	Existing Plus Project	Change in Noise Level	Exceeds Standards	3 dB Increase
Harley John Road	North of Cajalco Road	72.6	72.7	0.10	YES	NO
Wood Road	North of Mariposa Road	68.1	68.3	0.26	YES	NO
	Mariposa Road to Markham St	69.0	69.5	0.47	YES	NO
	South of Markham Street	70.1	70.7	0.63	YES	NO
	North of Carpinus Drive	68.8	69.7	0.88	YES	NO
	Carpinus Drive to Cajalco Road	68.4	70.8	2.37	YES	NO
Alexander Street	North of Cajalco Road	64.7	65.1	0.47	YES	NO
	South of Cajalco Road	64.1	64.3	0.14	YES	NO
Mariposa Avenue	West of Wood Road	59.0	59.3	0.27	NO	NO
	East of Wood Road	67.0	67.2	0.18	YES	NO
Markham Street	East of Wood Road	65.4	65.8	0.40	YES	NO
Carpinus Drive	East of Wood Road	54.9	55.2	0.35	NO	NO
Cajalco Road	West of Harley John Road	77.2	77.2	0.04	YES	NO
	East of Harley John Road	77.6	77.7	0.08	YES	NO
	West of Wood Road	77.3	77.4	0.18	YES	NO
	Wood Road to Carpinus Drive	76.9	77.2	0.24	YES	NO
	Carpinus Drive to Alexander St	76.8	76.9	0.11	YES	NO
	East of Alexander Street	75.9	76.0	0.05	YES	NO

¹ Exterior noise levels calculated 5-feet above pad elevation, perpendicular to subject roadway.

Off-site Project Generated Noise Impacts to Sensitive Receptors

Existing single-family detached residential dwelling units to the east will be subject to temporary short-term noise impacts from the transport of workers, the movement of construction materials to and from the Project site, ground clearing, excavation, final grading, and building activities.

Typical noise sources and noise levels associated with the site grading phase of construction are shown in N-2. Site grading is expected to produce the highest sustained construction noise levels. Typical operating cycles for these types of construction equipment may involve one or two minutes of full power operation followed by three to four minutes at lower power settings.

**Table N-2
Typical Construction Equipment Noise Levels¹**

Type of Equipment	Range of Maximum Sound Levels Measured (dBA at 50 feet)	Suggested Maximum Sound Levels for Analysis (dBA at 50 feet)
Rock Drills	83-99	96
Jack Hammers	75-85	82
Pneumatic Tools	78-88	85
Pumps	74-84	80
Dozers	77-90	85
Scrappers	83-91	87
Haul Trucks	83-94	88
Cranes	79-86	82
Portable Generators	71-87	80
Rollers	75-82	80
Tractors	77-82	80
Front-End Loaders	77-90	86
Hydraulic Excavators	81-90	86
Graders	79-89	86
Air Compressors	76-89	86
Trucks	81-87	86

¹ Source: Bolt, Beranek & Newman; Noise Control for Buildings and Manufacturing Plants, 1987.

A likely worst-case construction noise scenario during grading that assumed the use of a grader, a dozer, a water truck (modeled as a dump truck), two (2) backhoes, and an excavator operating between 120 and 300 feet from the nearest sensitive receptor (single-family detached residential dwelling unit located approximately 110 feet to the east) was modeled using the Road Construction Noise Model (RCNM). Assuming a usage factor of 40 percent for each piece of equipment, unmitigated noise levels have the potential to reach 74.9 dBA Leq and 77.4 dBA Lmax at the nearest sensitive receptor, a single-family detached residential dwelling unit located approximately 110 feet to the east, during grading.

Construction noise will result in temporary and periodic increases in the ambient noise levels above the existing within the Project vicinity. In order to minimize this impact, the County of Riverside has adopted Ordinance 847 which limits construction to between the hours of 6:00 AM to 6:00 PM during the months of June through September and between the hours of 7:00 AM and 6:00 PM during the months of October through May. Construction is anticipated to occur during the permissible hours according to the County's Code. Adherence to these hours for construction activities, and implementation of the best management construction practices that are included in the Project description will minimize construction noise impacts. Impacts related to construction noise would be less than significant.

Compliance with the General Plan, Noise Ordinance, and Applicable Standards

Development of the proposed Project will not result in exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies.

The County of Riverside General Plan has set forth goals and policies regarding noise/land use compatibility and established stationary noise standards to prevent noise nuisances between land uses and to minimize impacts related to construction noise.

Project Construction Noise

County of Riverside Ordinance 847

As discussed previously, the County of Riverside has adopted Ordinance 847 which limits construction to between the hours of 6:00 AM to 6:00 PM during the months of June through September and between the hours of 7:00 AM and 6:00 PM during the months of October through May. The proposed Project would comply with the County's construction regulations. Therefore, construction noise would not result in an impact related to the exposure of persons to or generation of noise levels in excess of regulations.

Project Operational Noise

County of Riverside General Plan Noise Element

As discussed previously, the Riverside County Office of Industrial Hygiene has established noise standards for stationary noise sources that apply to Project generated operational noise. These standards have been incorporated into the Noise Element of the General Plan.

As shown on Figures 5 and 6 of the Noise Impact Analysis (Ganddini Group 2018), the modeled future operational noise levels are expected to range between 56 and 59 dBA Leq along the western property lines at the nearest sensitive receptors (single-family detached residential dwelling units). Project operational noise is not expected to exceed either the County daytime exterior noise standard of 65 dBA Leq or the County nighttime exterior noise standard of 45 dBA Leq. Operations of the proposed Project would not result in the exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance.

Project Construction and operation will result in short-term construction noise, long-term operational noise and offsite traffic noise. The project site has been mass graded. The proposed Project is consistent with Specific Plan 229A1 and has been designed in compliance with all Plans, Programs and Policies to reduce Project noise impacts. Temporary and permanent increases in noise levels will not exceed the noise levels projected in Final EIR 255 and its addendum. Therefore, the proposed Project will not result in the generation of new noise impacts beyond those previously approved for the Project.

b) Less than Significant Impact. Construction activity can result in varying degrees of ground vibration, depending on the equipment used on site. Operation of construction equipment causes ground vibrations that spread through the ground and diminish in strength with distance. Buildings respond to these vibrations with varying results ranging from no perceptible effects at the low levels to slight damage at the highest levels. Table N-3 gives approximate vibration levels for particular construction activities. This data provides a reasonable estimate for a wide range of soil conditions.

**Table N-3
Vibration Source Levels for Construction Equipment¹**

Equipment	Peak Particle Velocity (inches/second) at 25 feet	Approximate Vibration Level LV (dVB) at 25 feet
Pile driver (impact)	1.518 (upper range)	112
	0.644 (typical)	104
Pile driver (sonic)	0.734 upper range	105
	0.170 typical	93
Clam shovel drop (slurry wall)	0.202	94
Hydromill	0.008 in soil	66
(Slurry wall)	0.017 in rock	75
Vibratory Roller	0.21	94
Hoe Ram	0.089	87
Large bulldozer	0.089	87
Caisson drill	0.089	87
Loaded trucks	0.076	86
Jackhammer	0.035	79
Small bulldozer	0.003	58

¹ Source: Transit Noise and Vibration Impact Assessment, Federal Transit Administration, May 2006.

The nearest existing structure to the Project site is located approximately 110 feet to the east of the Project site. As shown in Table N-4, the threshold at which there may be a risk of architectural damage to normal houses with plastered walls and ceilings is 0.20 PPV in/second. Primary sources of vibration during construction would be from bulldozers. As shown in Table N-3, a large bulldozer could produce up to 0.089 PPV at 25 feet. At a distance of 110 feet, a bulldozer would yield a worst-case 0.01 PPV (in/sec) which is below the level at which groundborne vibration becomes annoying, and below any risk of architectural damage. Temporary vibration levels associated with Project construction would be less than significant.

**Table N-4
Typical Human Reaction and Effect on Buildings Due to Groundborne Vibration¹**

Vibration Level Peak Particle Velocity (PPV)	Human Reaction	Effect on Buildings
0.006–0.019 in/sec	Threshold of perception, possibility of intrusion	Vibrations unlikely to cause damage of any type
0.08 in/sec	Vibrations readily perceptible	Recommended upper level of vibration to which ruins and ancient monuments should be subjected
0.10 in/sec	Level at which continuous vibration begins to annoy people	Virtually no risk of “architectural” (i.e., not structural) damage to normal buildings
0.20 in/sec	Vibrations annoying to people in buildings	Threshold at which there is a risk to “architectural” damage to normal dwelling – houses with plastered walls and ceilings
0.4–0.6 in/sec	Vibrations considered unpleasant by people subjected to continuous vibrations and unacceptable to some people walking on bridges	Vibrations at a greater level than normally expected from traffic, but would cause “architectural” damage and possibly minor structural damage

¹ Source: California Department of Transportation. Transportation and Construction Vibration Guidance Manual, Chapter 6 Tables 5 and 12, September 2013.

Project Construction will result in short-term ground vibration from earth moving and construction equipment. The project site has been mass graded. Much of the ground-borne vibration and noise has already occurred. The proposed Project is consistent with Specific Plan 229A1 and has been designed in compliance with all Plans, Programs and Policies to reduce Project ground-borne vibration and noise impacts. Temporary and permanent increases in ground-borne vibration and noise levels will not exceed the ground-borne vibration and noise levels projected in Final EIR 255 and its addendum. Therefore, the proposed Project will not result in the generation of new ground-borne vibration and noise impacts beyond those previously approved for the Project.

Existing Plans, Programs or Policies: There are no PPP’s related to noise effects by the Project.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
PALEONTOLOGICAL RESOURCES				
28. Paleontological Resources				
a) Directly or indirectly destroy a unique paleontological resource, or site, or unique geologic feature?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source:

- Riverside County General Plan Figure OS-8 "Paleontological Sensitivity"

Background and Conclusion:

Final EIR 255 evaluated the environmental impact that will result from development of Specific Plan 229A1. All required studies were completed and approved, and all required permits were obtained prior to mass grading. The Project site has been mass graded in anticipation of commercial development. The proposed Project is consistent with Specific Plan 229A1 and has been designed in compliance with all Plans, Programs and Policies to reduce Project impacts. None of the conditions described in California Code of Regulations, Section 15162 exist and the proposed Project will not cause any new or increase the severity of any previously identified impacts evaluated in Final EIR 255. Analysis in support of this conclusion follows.

Findings of Fact:

a) No Impact. Potential impacts to paleontological resources and unique geological features were addressed in Final EIR 255. The site contains no unique paleontological resources or geological features. The site has been mass graded. The proposed Project will not directly or indirectly destroy a unique paleontological resource, or site, or unique geologic feature.

Existing Plans, Programs or Policies: There are no PPP's related to paleontological resources.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
POPULATION AND HOUSING Would the project:				
29. Housing				
a) Displace substantial numbers of existing people or housing, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Create a demand for additional housing, particularly housing affordable to households earning 80% or less of the County's median income?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Induce substantial unplanned population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Sources:

- Project Application Materials
- GIS database
- Riverside County General Plan Housing Element

Background and Conclusion:

Final EIR 255 evaluated the environmental impact that will result from development of Specific Plan 229A1. All required studies were completed and approved, and all required permits were obtained prior to mass grading. The Project site has been mass graded in anticipation of commercial development. The proposed Project is consistent with Specific Plan 229A1 and has been designed in compliance with all Plans, Programs and Policies to reduce Project impacts. None of the conditions described in California Code of Regulations, Section 15162 exist and the proposed Project will not cause any new or increase the severity of any previously identified impacts evaluated in Final EIR 255. Analysis in support of this conclusion follows.

Findings of Fact:

a-c) No Impact. The Project site occupies the southern portion of Planning Area 1 within the Boulder Springs Specific Plan. Planning Area 1 is zoned for commercial development. The Boulder Springs Specific Plan is the master land use plan for development of lands within the boundaries of the Boulder Springs Specific Plan. The mixture of land uses within the Boulder Springs Specific Plan, their spatial relationships to one another and their compatibility with adjacent existing and proposed land uses have been determined to be compatible by the County at the time of approval of the HB Ranches Specific Plan 229 and again when the County approved Amendment #1 to the Specific Plan (which renamed the Specific Plan the "Boulder Springs Specific Plan"). Fifteen (15) acres of commercial land use was included within the Boulder Springs Specific Plan to meet the needs of the future residents within the Specific Plan.

The Project site has been mass graded in anticipation of commercial development. Development of the proposed Project will provide neighborhood serving commercial uses in close proximity to existing and proposed residential uses. The proposed Project will not displace existing people of housing, create a demand for additional housing, or induce substantial unplanned population growth either directly or indirectly.

Existing Plans, Programs or Policies: There are no PPP's related to population and housing.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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PUBLIC SERVICES Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered government facilities or the need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the following public services:

30. Fire Services	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Sources:

- Riverside County General Plan Safety Element
- Riverside County Fire Department website: www.rvcfire.org

Background and Conclusion:

Final EIR 255 evaluated the environmental impact that will result from development of Specific Plan 229A1. All required studies were completed and approved, and all required permits were obtained prior to mass grading. The proposed Project is consistent with Specific Plan 229A1 and has been designed in compliance with all Plans, Programs and Policies to reduce Project impacts. None of the conditions described in California Code of Regulations, Section 15162 exist and the proposed Project will not cause any new or increase the severity of any previously identified impacts evaluated in Final EIR 255. Analysis in support of this conclusion follows.

Findings of Fact:

a) Less than Significant Impact. The Project site is located within three (3) miles of two Riverside County Fire Stations, listed below:

- Riverside County Station 4 (Lake Mathews Station), located at 16453 El Sobrante Road, Riverside, CA 92503, approximately 2.5 miles by road from the Project site.
- Riverside County Station 59 (Mead Valley Station), located at 21510 Pinewood Street, Perris, CA 92570, approximately 2.75 miles by road from the Project site.

Implementation of the proposed Project would be required to adhere to the Uniform Fire Code, as included in the County's Municipal Code Section 8.32 and would be reviewed by the County's Department of Building and Safety to ensure that project plans meet the fire protection requirements.

The new commercial structures and increase in employees that would occur from implementation of the proposed Project on the currently vacant site would result in an incremental increase in demand for fire protection and emergency medical services. However, the increase in people onsite is limited and would not increase demands such that provision of a new or physically altered fire station would be required that could cause environmental impacts. Therefore, impacts related to fire protection services from the proposed Project would be less than significant.

In addition, Riverside County Ordinance 659 sets forth policies, regulations and fees related to the funding and construction of facilities necessary to address direct and cumulative environmental effects generated by new development. This includes fees for fire facilities for every acre of new commercial and industrial use, as included by PPP PS-1, listed below. Overall, impacts related to fire services from implementation of the proposed Project would be less than significant.

Existing Plans, Programs or Policies: Plans, Programs and Policies are adopted to insure that a project's potential impacts on the environment are minimized. Plans, Programs and Policies are not mitigation measures. The following Plans, Programs and Policies are applicable to the proposed Project.

PPP PS-1: Ordinance No. 659: Prior to the issuance of either a certificate of occupancy or prior to building permit final inspection, the applicant shall comply with the provisions of Riverside County Ordinance No. 659, which requires the payment of the appropriate fee set forth in the Ordinance.

Riverside County Ordinance No. 659 has been established to set forth policies, regulations and fees related to the funding and installation of facilities and the acquisition of open space and habitat necessary to address the direct and cumulative environmental effects generated by new development projects described and defined in this Ordinance and it establishes the authorized uses of the fees collected.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
31. Sheriff Services	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Sources:

- Riverside County General Plan
- Riverside County Sheriff Department website: www.riversidesheriff.org
- FEIR 255

Background and Conclusion:

Final EIR 255 evaluated the environmental impact that will result from development of Specific Plan 229A1. All required studies were completed and approved, and all required permits were obtained prior to mass grading. The proposed Project is consistent with Specific Plan 229A1 and has been designed in compliance with all Plans, Programs and Policies to reduce Project impacts. None of the conditions described in California Code of Regulations, Section 15162 exist and the proposed Project will not cause any new or increase the severity of any previously identified impacts evaluated in Final EIR 255. Analysis in support of this conclusion follows.

Findings of Fact:

a) Less than Significant Impact. The Project site is located 8.5 miles by road from the Riverside County Sheriff Department station located in the City of Perris (137 N. Perris Blvd. Suite A, Perris, CA 92570), which currently serves the project region.

The proposed Project would result in additional onsite employees and goods that could create the need for sheriff services. Crime and safety issues during project construction may include theft of building materials and construction equipment, malicious mischief, graffiti and vandalism. Operation of the commercial use is anticipated to generate a typical range of sheriff service calls, such as burglaries, thefts and employee disturbances.

However, to reduce the need for law enforcement services, security concerns are addressed in the Project design by providing low-intensity security lighting and security cameras. Pursuant to the County's existing permitting process, the Sheriff's Department would review and approve the site plans to ensure that crime prevention and emergency access measures are incorporated appropriately to provide a safe environment.

Although an incremental increase could occur from implementation of the Project, the need for law enforcement services from the Project would not result in the need for new or physically altered sheriff facilities. Thus, substantial adverse physical impacts associated with the provision of new or expanded facilities would not occur and impacts would be less than significant.

In addition, Riverside County Ordinance 659 sets forth policies, regulations and fees related to the funding and construction of facilities necessary to address direct and cumulative environmental effects generated by new development. This includes fees for sheriff facilities per every acre of new

commercial and industrial use, as included by PPP PS-1, listed below. Overall, impacts related to Sheriff Services from implementation of the proposed Project would be less than significant.

Existing Plans, Programs or Policies: **PPP PS-1: Ordinance No. 659 (Listed in response 30).**

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
32. Schools	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Sources:

- Val Verde School District correspondence
- FEIR 255

Background and Conclusion:

Final EIR 255 identified impacts to schools as an Unavoidable Adverse Impact that will result from development of Specific Plan 229A1. All required studies were completed and approved, and all required permits were obtained prior to mass grading. The proposed Project is consistent with Specific Plan 229A1 and has been designed in compliance with all Plans, Programs and Policies to reduce Project impacts. None of the conditions described in California Code of Regulations, Section 15162 exist and the proposed Project will not cause any new or increase the severity of any previously identified impacts evaluated in Final EIR 255. Analysis in support of this conclusion follows.

Findings of Fact:

a) Less than Significant Impact. The Project is a commercial project that would not directly generate students. As described previously, the proposed Project is designed to serve the needs of the Boulder Springs Specific Plan and immediate Project vicinity. The employees needed to operate the commercial uses are anticipated to come from within the Project region.

All projects within the County, including the proposed Project, is required to pay School Mitigation Impact fees, as included by PPP-PS-2, listed below. Overall, impacts related to schools would be less than significant.

Existing Plans, Programs or Policies: Plans, Programs and Policies are adopted to insure that a project's potential impacts on the environment are minimized. Plans, Programs and Policies are not mitigation measures. The following Plans, Programs and Policies are applicable to the proposed Project.

PPP PS-2: School Mitigation: Prior to the issuance of either a certificate of occupancy or prior to building permit final inspection, the applicant shall provide payment of the appropriate fees set forth by the Val Verde Unified School related to the funding of school facilities pursuant to Government Code Section 65995 et seq.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
33. Libraries	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Sources:

- Riverside County General Plan
- FEIR 255

Background and Conclusion:

Final EIR 255 evaluated the environmental impact that will result from development of Specific Plan 229A1. All required studies were completed and approved, and all required permits were obtained prior to mass grading. The proposed Project is consistent with Specific Plan 229A1 and has been designed in compliance with all Plans, Programs and Policies to reduce Project impacts. None of the conditions described in California Code of Regulations, Section 15162 exist and the proposed Project will not cause any new or increase the severity of any previously identified impacts evaluated in Final EIR 255. Analysis in support of this conclusion follows.

Findings of Fact:

a) Less than Significant Impact. The proposed Project is a commercial use that would not directly generate a substantial new population that would utilize libraries. As described previously, the employees needed to operate the proposed Project are anticipated to come from the Project region and commute to the Project site. Substantial usage of library facilities is not anticipated to occur. Overall, impacts related to libraries from implementation of the proposed Project would be less than significant.

Additionally, Riverside County Ordinance 659 sets forth policies, regulations, and fees related to the funding and construction of facilities necessary to address direct and cumulative environmental effects generated by new development. This includes fees for library facilities per every acre of new commercial and industrial use, as included in by PPP PS-1.

Existing Plans, Programs or Policies: PPP PS-1: Ordinance No. 659 (Listed previously in response 30).

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
34. Health Services	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Sources:

- Riverside County General Plan
- FEIR 255

Background and Conclusion:

Final EIR 255 evaluated the environmental impact that will result from development of Specific Plan 229A1. All required studies were completed and approved, and all required permits were obtained prior to mass grading. The proposed Project is consistent with Specific Plan 229A1 and has been designed in compliance with all Plans, Programs and Policies to reduce Project impacts. None of the conditions described in California Code of Regulations, Section 15162 exist and the proposed Project will not cause any new or increase the severity of any previously identified impacts evaluated in Final EIR 255. Analysis in support of this conclusion follows.

Findings of Fact:

a) Less than Significant Impact. The proposed Project is a commercial use that would not directly generate a substantial new population that would need health services. As described previously, the employees needed to operate the proposed Project are anticipated to come from the Project region. The proposed Project is not anticipated to generate substantial need for health services. Impacts related to health services from implementation of the proposed Project would be less than significant.

Existing Plans, Programs, or Policies: There are no PPP's related to health services.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
RECREATION Would the project				
35. Parks and Recreation				
a) Include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Increase the use of existing neighborhood or regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Be located within a Community Service Area (CSA) or recreation and park district with a Community Parks and Recreation Plan (Quimby fees)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Sources:

- FEIR 255
- Ord. No. 460, Section 10.35 (Regulating the Division of Land – Park and Recreation Fees and Dedications)
- Ord. No. 659 (Establishing Development Impact Fees)
- Parks & Open Space Department Review

Background and Conclusion:

Final EIR 255 evaluated the environmental impact that will result from development of Specific Plan 229A1. All required studies were completed and approved, and all required permits were obtained prior

to mass grading. The proposed Project is consistent with Specific Plan 229A1 and has been designed in compliance with all Plans, Programs and Policies to reduce Project impacts. None of the conditions described in California Code of Regulations, Section 15162 exist and the proposed Project will not cause any new or increase the severity of any previously identified impacts evaluated in Final EIR 255. Analysis in support of this conclusion follows.

Findings of Fact:

a-b) Less than Significant Impact. The proposed Project would develop commercial uses. The Project does not include development of recreational facilities. The proposed Project is not anticipated to result in an influx of new residents. The employees needed to operate the proposed commercial uses are anticipated to come from the region. Thus, the proposed Project would not generate a substantial population that would require construction or expansion of recreational facilities or a significant use of existing neighborhood or regional parks and recreation facilities such that substantial physical deterioration would occur or be accelerated. Project impacts would be less than significant.

Riverside County Ordinance No. 659 sets forth policies, regulations and fees related to the funding and construction of facilities necessary to address direct and cumulative environmental effects generated by new development. This includes fees for park and recreation facilities per every acre of new commercial and industrial use, as included by PPP PS-1.

c) No Impact. The Project site is not located within a CSA or recreation park district with a Community Park and Recreation Plan. Thus, no impacts related to a park district or recreation plan would occur from implementation of the proposed Project.

Existing Plans, Programs or Policies: **PPP PS-1:** Ordinance No. 659 (Listed previously in response 30).

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
36. Recreational Trails	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a) Include the construction or expansion of a trail system?				

Sources:

- Riverside County General Plan Figure C-6 Trails and Bikeway System
- Riv. Co. Open Space and Conservation Map for Western County trail alignments
- Specific Plan 255A1
- FEIR 255 and its Addendum

Background and Conclusion:

Specific Plan 229A1 includes recreational trails. Final EIR 255 evaluated the environmental impact that will result from development of Specific Plan 229A1. All required studies were completed and approved, and all required permits were obtained prior to mass grading. The proposed Project is consistent with

Specific Plan 229A1 and has been designed in compliance with all Plans, Programs and Policies to reduce Project Impacts. None of the conditions described in California Code of Regulations, Section 15162 exist and the proposed Project will not cause any new or increase the severity of any previously identified impacts evaluated in Final EIR 255. Analysis in support of this conclusion follows.

Findings of Fact:

a) No Impact. There are no existing recreational trails within or adjacent to the Project site. The Project does not include the construction or expansion of a trail system. The proposed Project will have no impact to recreational trails.

Existing Plans, Programs or Policies: There are no PPP's related to recreational trails.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
TRANSPORTATION/TRAFFIC Would the project				
37. Circulation	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a) Conflict with an applicable plan, ordinance or policy establishing a measure of effectiveness for the performance of the circulation system, taking into account all modes of transportation, including mass transit and non-motorized travel and relevant components of the circulation system, including but not limited to intersections, streets, highways and freeways, pedestrian and bicycle paths, and mass transit?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Conflict with an applicable congestion management program, including, but not limited to level of service standards and travel demand measures, or other standards established by the county congestion management agency for designated roads or highways?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Alter waterborne, rail or air traffic?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g. farm equipment)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) Cause an effect upon, or a need for new or altered maintenance of roads?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g) Cause an effect upon circulation during the project's construction?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h) Result in inadequate emergency access or access to nearby uses?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
i) Conflict with adopted policies, plans or programs regarding public transit, bikeways or pedestrian facilities, or	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

otherwise substantially decrease the performance or safety of such facilities?

Sources:

- Riverside County General Plan
- Boulder Springs Specific Plan 229A1
- FEIR 255
- Cajalco + Wood Project Traffic Impact Analysis (Revised) prepared by Kunzman Associates, Inc., July 17, 2019 (2019 TIA)

Background and Conclusion:

Final EIR 255 identified change in traffic levels as an Unavoidable Adverse Impact that will result from development of Specific Plan 229. All required studies were completed and approved, and all required permits were obtained prior to mass grading. The Project site has been mass graded in anticipation of commercial development. The proposed Project is consistent with Specific Plan 229A1 and has been designed in compliance with all Plans, Programs and Policies to reduce Project impacts.

The 1988 H. B. Ranches Specific Plan proposed construction and operation of 1,431 residential units, 15 acres of commercial, a 10-acre elementary school site and over 100 acres of open space/riparian habitat. EIR 255 states on page 73 that "The project will generate traffic in the project vicinity. Increased levels will necessitate area road improvements." Traffic-related impacts associated with the Specific Plan stated that "For future traffic conditions, roadways in the vicinity of the site will operate within acceptable levels, with improvements." Improvements included traffic signals at the intersections of Wood Road at Cajalco Road, Loop A at Cajalco Road, Loop B at Cajalco Road, and Clark Street at Cajalco Road. The intersections of Wood Road at Cajalco Road and Clark Street at Cajalco Road are currently signalized. The Loop A and Loop B roadways have been redesigned with changes in traffic patterns since the H.B. Ranches Traffic Study prepared by Kunzman Associates, December 23, 1987, and therefore no longer meet the traffic signal requirements as identified in the aforementioned traffic study.

The following mitigation measure for Specific Plan traffic impacts is listed in adopting Resolution 88-476.

Mitigation: The Road Department has specified Conditions of Approval. Road improvements within the project boundaries shall be built according to Road Department requirements. The applicant shall participate in the Traffic Signal Mitigation Program and other measures as required by the Road Department.

The proposed Project is consistent with Specific Plan 229A1 and has been designed in compliance with all Plans, Programs and Policies to reduce Project impacts. The Project includes the following road improvements:

1. Wood Road at Project North Access: Construct a traffic signal.
2. Wood Road at Cajalco Road: Construct a second westbound through lane and receiving lane.
3. Alexander Street at Cajalco Road: Construct a second westbound through lane and receiving lane.

Traffic Threshold: The project site is located in a Community Development area. As described in the Riverside County General Plan Policy C 2.1, LOS D may be allowed in Community Development areas. Thus, the LOS threshold is LOS D.

Traffic Study Area and Existing Conditions: The roadways included in the 2018 Traffic Impact Analysis (TIA) study area include Harley John Road, Smith Road, Wood Road, Alexander Street, Mariposa Avenue, Markham Street, Carpinus Drive and Cajalco Road. To identify existing traffic conditions, traffic counts at the study intersections were conducted in December 2014 and July 2018. As shown in Table 1 of the 2018 TIA, the study intersections are currently operating within acceptable LOS D or better during the weekday morning and evening peak hours under Existing Conditions. Therefore, the Project's impacts to traffic will be less than significant. None of the conditions described in California Code of Regulations, Section 15162 exist and the proposed Project will not cause any new or increase the severity of any previously identified impacts evaluated in Final EIR 255. Analysis in support of this conclusion follows.

Findings of Fact:

a) Less than Significant Impact. The proposed Project would develop and operate a fast-food restaurant with drive-through totaling 3,200 square feet, 42,683 square feet of commercial retail and a 16 fueling position service station with convenience market on the Project site. As shown in Table 2 in the 2018 TIA, the proposed Project would generate a total of approximately 3,703 daily trips; 230 would occur in the morning peak hour and 317 would occur during the evening peak hour.

Based on the location of the proposed Project, it is likely that most regional project trips would utilize Cajalco Road to travel east or west and Wood Road to travel north. The remaining local trips would utilize local streets to travel to/from nearby neighborhoods.

Existing Plus Project:

An intersection operations analysis was conducted for the study area to evaluate the Existing Plus Project weekday morning and evening peak hour conditions with the Project. As shown in Table 4 of the 2018 TIA, the intersection of Wood Road/Cajalco Road would deteriorate from LOS D to LOS F during the morning peak hour with addition of the Project trips. However, the study intersections are forecast to operate at satisfactory LOS D or better during the weekday morning and evening peak hours with the addition of a westbound through lane (consistent with the Riverside County General Plan Circulation Element) at the intersection of Wood Road/Cajalco Road. Therefore, impacts would be less than significant in the Existing Plus Project condition.

Existing Plus Ambient Growth Plus Project:

Existing Plus Ambient Growth Plus Project traffic volumes were determined by adding a growth rate of 2 percent per year to the Existing traffic volumes. These traffic volumes were then added to the vehicular trips that would be generated by the proposed Project to determine Existing Plus Ambient Growth Plus Project traffic volumes. As shown in Table 5 of the 2018 TIA, the intersection of Wood Road/Cajalco Road would deteriorate from LOS D to LOS F during the morning peak hour with addition of growth and the Project trips and the intersection of Alexander Street/Cajalco Road would deteriorate from LOS D to LOS E during the morning peak hour with addition of growth and the Project trips. However, the study intersections are forecast to operate at satisfactory LOS D or better during the weekday morning and evening peak hours with the addition of a westbound through lane (consistent with the Riverside County General Plan Circulation Element) at the intersections of Wood Road/Cajalco Road and Alexander Street/Cajalco Road. Therefore, impacts would be less than significant in the Existing Plus Ambient Growth Plus Project condition.

b) No Impact. Every County in California is required to develop a Congestion Management Program (CMP) that looks at the links between land use, transportation and air quality. The Riverside County Transportation Commission (RCTC) prepares and periodically updates the Riverside County CMP to

meet federal Congestion Management System guidelines as well as State CMP legislation. The Riverside County CMP does not require traffic impact assessments for development projects such as the proposed Project. However, the CMP does require that local agencies prepare a deficiency plan if proposed development impacts cause the LOS on a CMP facility to fall to below the LOS E standard. As described in the response above, the study intersections are not projected to exceed LOS D with Riverside County General Plan Circulation Element Improvements and thus, would not fall below LOS E. Therefore, the proposed Project would not result in a conflict with an applicable CMP and impacts would not occur.

c) No Impact. As described above, the proposed Project is approximately five miles from the March Air Reserve Base. Due to the distance, the proposed Project would not result in a change in air traffic patterns and impacts would not occur.

d) No Impact. There are no navigable waterways in the vicinity of the Project site. Thus, the Project would not alter waterborne traffic. The proposed Project is 4 miles from the railroad that parallels the I-215 Freeway. Due to the distance, the proposed Project would not alter railroad traffic. In addition, as described above, the proposed Project is approximately 5 miles from the March Air Reserve Base. Due to the distance, the proposed Project would not alter air traffic and impacts would not occur.

e) Less than Significant Impact. The proposed Project includes only commercial retail uses. There are no proposed uses that would be incompatible. The proposed Project would also not increase any hazards related to a design feature. Operation of the proposed Project would involve delivery trucks entering and exiting the Project site from Wood Road via driveways designed to accommodate delivery trucks. Passenger vehicles would enter and exit the site using the same driveways. The on-site circulation design prepared for the proposed Project provides fire truck accessibility and turning ability throughout the site. Thus, impacts related to vehicular circulation design features from the proposed Project would be less than significant. In addition, as shown in Tables 4, 5, and 6 of the 2018 TIA, project driveways are forecast to operate at acceptable LOS during the morning and evening peak hours for all project traffic conditions. Based on the LOS and the design of the driveways, vehicles and delivery trucks entering and exiting the Project site would be able to do so without undue congestion. As such, Project access would be adequate and impacts related to hazardous design features would be less than significant.

f) Less than Significant Impact. The proposed Project would not result in the altered need for road maintenance. However, as described above, the proposed Project would generate a total of approximately 3,703 daily trips, which would contribute to the need for regular maintenance of roads. To provide for public facility maintenance needs, Riverside County Ordinance No. 659 sets forth policies, regulations and fees related to the funding and construction of facilities necessary to address direct and cumulative environmental effects generated by new development. This includes fees for road improvements and maintenance, which are levied per every acre of new commercial and industrial use, as included in PPP PS-1. In addition, the taxes generated from the proposed uses on the Project site would support regular road maintenance. Thus, the proposed Project would provide funding for future roadway maintenance needs. Impacts related to roadway maintenance needs would be less than significant.

g) Less than Significant Impact. As described above, implementation of the proposed Project in the Existing condition, in 2018, and in the Cumulative 2020 conditions would not generate significant traffic impacts. As described in the Project Description, the construction of the proposed Project is anticipated to take approximately 18 months and would include transportation of equipment, materials and workers to/from the Project site. The short-term construction related vehicular trips would result in fewer daily and peak hour trips than were evaluated in the 2018 TIA. Therefore, traffic impacts related to construction activities would be less than significant.

h) Less than Significant Impact. The proposed construction activities, including equipment and supply staging and storage, would largely occur within the Project site and would not restrict access of emergency vehicles to the Project site or adjacent areas. During construction of the driveways to Wood Road, a minimum of one lane would remain open to ensure adequate emergency access to the Project area and vicinity and impacts related to interference with an adopted emergency response of evacuation plan during construction activities would be less than significant.

Operation of the proposed Project would also not result in inadequate emergency access. Direct access to the Project site would be provided from Wood Road, which is adjacent to the Project site. The proposed Project would also be required to design and construct internal access and provide fire suppression facilities (e.g., hydrants and sprinklers) in conformance with the County Municipal Code. The Riverside County Fire Department would review the development plans prior to approval to ensure adequate emergency access pursuant to the requirements in the Uniform Fire Code and Section 503 of the California Fire Code (Title 24, California Code of Regulations Part 9). As such, the proposed Project would not result in inadequate emergency access, and impacts would be less than significant.

i) Less than Significant Impact. There are no bicycle lanes or public transit routes located adjacent to the Project. A sidewalk is provided on Wood Road adjacent to the Project site. The proposed Project would not alter any existing off-site bicycle or pedestrian facilities. Development of the commercial retail uses is not expected to significantly increase bicycle, pedestrian or transit trips. Therefore, the proposed Project would not result in conflicts related to public transit, bicycle or pedestrian facilities and impacts would not occur.

Existing Plans, Programs or Policies: **PPP PS-1: Ordinance No. 659** (Listed previously in response 36).

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
38. Bike Trails	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a) Include the construction or expansion of a bike system or bike lanes?				

Source:

- Riverside County General Plan

Background and Conclusion:

Final EIR 255 identified change in traffic levels as an Unavoidable Adverse Impact that will result from development of Specific Plan 229. All required studies were completed and approved, and all required permits were obtained prior to mass grading. The Project site has been mass graded in anticipation of commercial development. The proposed Project is consistent with Specific Plan 229A1 and has been designed in compliance with all Plans, Programs and Policies to reduce Project impacts.

There are no existing recreational trails within or adjacent to the project site. A multi-purpose trail exists north of the project site along Carpinus Drive. Additional trails are identified within the Boulder Springs Specific Plan. The Project will comply with County Ordinance No. 659. Therefore, the Project's impacts to bike trails will be less than significant. None of the conditions described in California Code of Regulations, Section 15162 exist and the proposed Project will not cause any new or increase the

severity of any previously identified impacts evaluated in Final EIR 255. Analysis in support of this conclusion follows.

Findings of Fact:

a) Less than Significant Impact. The Project site is surrounded by roadways, developed lands and undeveloped parcels that were previously used for agriculture. There are no existing recreational trails within or adjacent to the Project site. A multi-purpose trail exists north of the Project site along Carpinus Drive. Additional trails are identified within the Boulder Springs Specific Plan.

Riverside County Ordinance 659 sets forth policies, regulations and fees related to the funding and construction of facilities necessary to address direct and cumulative environmental effects generated by new development. This includes fees for open space and recreational trail facilities per every acre of new commercial and industrial use, as included by PPP PS-1.

Existing Plans, Programs or Policies: PPP PS-1: Ordinance No. 659 (Listed previously in response 36).

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
TRIBAL CULTURAL RESOURCES Would the project				
39. Tribal Cultural Resources				
a) Listed or eligible for listing in the California Register of Historical Resources, or in a local register of historical resources as defined in Public Resources Code section 5020.1 (k)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) A resource determined by the lead agency, in its discretion and supported by substantial evidence, to be significant pursuant to criteria set forth in subdivision (c) of Public Resources Code Section 5024.1? (In applying the criteria set forth in subdivision (c) of Public Resources Code Section 5024.1 the lead agency shall consider the significance of the resource to a California Native American tribe.)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Sources:

- County Archaeologist
- AB52 Tribal Consultation
- Project Application Materials

Background and Conclusion:

Final EIR 255 identified impacts to archaeology as an Unavoidable Adverse Impact that will result from development of Specific Plan 229A1. All required studies were completed and approved, and all required permits were obtained prior to mass grading. The Project site has been mass graded in anticipation of commercial development. The proposed Project is consistent with Specific Plan 229A1 and has been designed in compliance with all Plans, Programs and Policies to reduce Project impacts.

In compliance with Assembly Bill 52 (AB52), notices regarding this Project were mailed to eight requesting tribes on August 03, 2017. Consultations were requested by the Soboba Band of Luiseno Indians, the Pechanga-Temecula Band of Luiseno Mission Indians and the Rincon Band of Luiseno Indians. Based on the information gathered by Planning and the information provided by the consulting tribes, Planning has concluded that this proposed Project poses no potential for a significant impact to Tribal Cultural Resources as defined in Section 21073 of the Public Resources Code. None of the conditions described in California Code of Regulations, Section 15162 exist and the proposed Project will not cause any new or increase the severity of any previously identified impacts evaluated in Final EIR 255. Analysis in support of this conclusion follows.

Findings of Fact:

a-b) No Impact. In compliance with Assembly Bill 52 (AB52), notices regarding this Project were mailed to eight requesting tribes on August 03, 2017. Consultations were requested by the Soboba Band of Luiseno Indians, the Pechanga-Temecula Band of Luiseno Mission Indians and the Rincon Band of Luiseno Indians. Consultation was not requested by the Ramona Band of Indians, the Quechan Indian Nation, the Pala Band of Mission Indians, the Colorado River Indian Tribes, the Morongo Band of Mission Indians or the Cahuilla Band of Indians.

Consultation with Pechanga was initiated on September 26, 2017 and this Project was discussed. The tribe informed Planning that they had been present during the prior grading of the property and would not be requesting monitoring for this Project. No Tribal Cultural Resources were identified by the tribe. Draft conditions of approval were sent to the tribe on September 28, 2017 and the final conditions of approval were provided to the tribe on April 04, 2018, concluding consultation.

A letter was received from the Rincon tribe dated August 22, 2017 informing Planning that the tribe had knowledge of one place name associated with the Project area. On September 06, 2017 the previous monitoring report was provided to the tribe. This Project was discussed in a meeting held on October 04, 2017. No Tribal Cultural Resources were identified by the tribe. The final conditions of approval were provided to the tribe on April 04, 2018, concluding consultation.

On September 06, 2017 the previous monitoring report was provided to the Soboba tribe. A face-to-face meeting was held on November 22, 2017 in which this Project was discussed. No tribal cultural resources were identified by the tribe. The final conditions of approval were provided to the tribe on April 04, 2018, concluding consultation.

Hence, based on the information gathered by Planning and the information provided by the consulting tribes, Planning has concluded that this proposed Project poses no potential for a significant impact to Tribal Cultural Resources as defined in Section 21073 of the Public Resources Code because there are no Tribal Cultural Resources present.

Existing Plans, Programs or Policies: There are no PPPs related to tribal cultural resources.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
UTILITY AND SERVICE SYSTEMS Would the project				
40. Water				
a) Require or result in the relocation or construction of new or expanded water, wastewater treatment or storm water drainage systems whereby the construction or relocation would cause significant environmental effects?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Have sufficient water supplies available to serve the project and reasonably foreseeable future development during normal, dry, and multiple dry years?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Sources:

- Western Municipal Water District "Will Serve" letter dated March 8, 2018
- Boulder Springs Specific Plan No. 229A1
- FEIR 255

Background and Conclusion:

Final EIR 255 evaluated the environmental impact that will result from development of Specific Plan 229A1. All required studies were completed and approved, and all required permits were obtained prior to mass grading. The Project site has been mass graded in anticipation of commercial development. Underground utilities have been constructed. The proposed Project is consistent with Specific Plan 229A1 and has been designed in compliance with all Plans, Programs and Policies to reduce Project impacts. None of the conditions described in California Code of Regulations, Section 15162 exist and the proposed Project will not cause any new or increase the severity of any previously identified impacts evaluated in Final EIR 255. Analysis in support of this conclusion follows.

Findings of Fact:

a-b) Less than Significant Impact. The Project site occupies the southern portion of Planning Area 1 within the Boulder Springs Specific Plan. Planning Area 1 is zoned for commercial development. The Boulder Springs Specific Plan is the master land use plan for development of lands within the boundaries of the Boulder Springs Specific Plan. "Will Serve" letters were received from Western Municipal Water District (WMWD), the public water and sewer provider for the proposed Project prior to the approval of Specific Plan 229. Utility and Service systems impacts were addressed in FEIR 255. Underground water mains were designed to serve the Boulder Springs Specific Plan prior to the issuance of the mass-grading permit. Water mains have been installed and stubbed out to Planning Area 1. Planning Area 1 has been mass graded. A letter requesting water and sewer service was submitted to WMWD as required prior to the issuance part of a Conditional Use Permit application. A letter was issued by WMWD (March 8, 2018) stating conditions under which water and sewer service would be provided. The proposed Project will comply with all conditions. The proposed Project will complete onsite water lines and pay water connection fees prior to the issuance of building permits. Therefore, the proposed Project will not result in the construction of new or expanded water, wastewater treatment, or stormwater drainage systems, whereby the construction or relocation would cause significant environmental effects beyond that anticipated by Specific Plan 255A1. The proposed Project will have sufficient water supplies available to serve the Project during normal, dry, and multiple dry years.

Existing Plans, Programs or Policies: There are no PPPs related to water.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
41. Sewer	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a) Require or result in the construction of new wastewater treatment facilities, including septic systems, or expansion of existing facilities, whereby the construction or relocation would cause significant environmental effects?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Result in a determination by the wastewater treatment provider that serves or may service the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Sources:

- Western Municipal Water District "Will Serve" letter dated March 8, 2018
- Boulder Springs Specific Plan No. 229A1
- FEIR 255

Background and Conclusion:

Final EIR 255 evaluated the environmental impact that will result from development of Specific Plan 229A1. All required studies were completed and approved, and all required permits were obtained prior to mass grading. The Project site has been mass graded in anticipation of commercial development. Underground utilities have been constructed. The proposed Project is consistent with Specific Plan 229A1 and has been designed in compliance with all Plans, Programs and Policies to reduce Project impacts. None of the conditions described in California Code of Regulations, Section 15162 exist and the proposed Project will not cause any new or increase the severity of any previously identified impacts evaluated in Final EIR 255. Analysis in support of this conclusion follows.

Findings of Fact:

a-b) Less than Significant Impact. The Project site occupies the southern portion of Planning Area 1 within the Boulder Springs Specific Plan. Planning Area 1 is zoned for commercial development. The Boulder Springs Specific Plan is the master land use plan for development of lands within the boundaries of the Boulder Springs Specific Plan. "Will Serve" letters were received from Western Municipal Water District (WMWD), the public water and sewer provider for the proposed Project prior to the approval of Specific Plan 229. Utility and Service systems impacts were addressed in FEIR 255. Underground sewer mains were designed to serve the Boulder Springs Specific Plan prior to the issuance of the mass-grading permit. A sewer main beneath the Cajalco Road ROW was constructed and stubbed out to serve Planning Area 1. Planning Area 1 has been mass graded. A letter requesting water and sewer service was submitted to WMWD as required prior to the issuance part of a Conditional Use Permit application. A letter was issued by WMWD (March 8, 2018) stating conditions under which water and sewer service would be provided. The proposed Project will comply with all conditions. The proposed Project will complete onsite sewer lines and pay sewer connection fees prior to the issuance of building permits. Therefore, the proposed Project will not result in the construction of new wastewater treatment facilities or expansion of existing facilities, whereby the construction of which would cause

significant environmental effects. Adequate sewer capacity is available to serve the Project demand in addition.

Existing Plans, Programs or Policies: There are no PPPs related to sewer.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
42. Solid Waste				
a) Generate solid waste in excess of state or local standards, or in excess of the capacity of local infrastructure, of otherwise impair the attainment of solid waste reduction goals?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Comply with federal, state, and local management and reduction statutes and regulations related to solid wastes including the CIWMP (County Integrated Waste Management Plan)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Sources:

- Riverside County General Plan
- Riverside County Waste Management District correspondence
- Boulder Springs Specific Plan No. 229A1
- FEIR 255

Background and Conclusion:

Final EIR 255 evaluated the environmental impact that will result from development of Specific Plan 229A1. All required studies were completed and approved, and all required permits were obtained prior to mass grading. The proposed Project is consistent with Specific Plan 229A1 and has been designed in compliance with all Plans, Programs and Policies to reduce Project impacts. None of the conditions described in California Code of Regulations, Section 15162 exist and the proposed Project will not cause any new or increase the severity of any previously identified impacts evaluated in Final EIR 255. Analysis in support of this conclusion follows.

Findings of Fact:

a-b) Less than Significant Impact. The Project site occupies the southern portion of Planning Area 1 within the Boulder Springs Specific Plan. Planning Area 1 is zoned for commercial development. The Boulder Springs Specific Plan is the master land use plan for development of lands within the boundaries of the Boulder Springs Specific Plan. Disposal of solid waste from the Specific Plan was addressed in Specific Plan 229 and FEIR 255. Impacts to landfills were addressed in FEIR 255. The solid waste generated by the Boulder Springs Specific Plan has been incorporated into the long-term development projections for County landfills at the time of Specific Plan approval.

The proposed Project will comply with all regulations related to solid waste. All solid waste-generating activities within the County are subject to the requirements set forth in AB 939 that requires diversion of a minimum of 50 percent of solid waste. In addition, after 2020 all development would be required to divert 75 percent of solid waste pursuant to state regulations. Implementation of the proposed Project

would be consistent with all state regulations. All projects in the County undergo development review prior to permit approval, which includes an analysis of project compliance with these programs. Therefore, impacts related to compliance with solid waste regulations would not occur.

Existing Plans, Programs or Policies: There are no PPPs related to solid waste.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
43. Utilities				
Would the project impact the following facilities requiring or resulting in the construction of new facilities or the expansion of existing facilities; whereby the construction or relocation would cause significant environmental effects?				
a) Electricity?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Natural gas?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Communications systems?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Storm water drainage?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Street lighting?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) Maintenance of public facilities, including roads?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g) Other governmental services?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Sources:

- Riverside County General Plan
- Boulder Springs Specific Plan No. 229A1
- FEIR 255

Background and Conclusion:

Final EIR 255 evaluated the environmental impact that will result from development of Specific Plan 229A1. All required studies were completed and approved, and all required permits were obtained prior to mass grading. The Project site has been mass graded in anticipation of commercial development. Underground utilities have been constructed. The proposed Project is consistent with Specific Plan 229A1 and has been designed in compliance with all Plans, Programs and Policies to reduce Project impacts. None of the conditions described in California Code of Regulations, Section 15162 exist and the proposed Project will not cause any new or increase the severity of any previously identified impacts evaluated in Final EIR 255. Analysis in support of this conclusion follows.

Findings of Fact:

a-g) Less than Significant Impact. The Project site is vacant. Underground backbone utilities were installed prior to mass grading. The Project site does not currently generate a demand for utilities. Implementation of the proposed Project would result in an incremental increase in demand for electricity, natural gas, communication systems, street lighting, maintenance of public facilities and potentially other governmental services. The Project's demand on utilities was addressed in Specific Plan 229 and FEIR 255.



THE PRESS-ENTERPRISE

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EMAIL: legals@pe.com

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07/04/20	0011395334		PE Riverside	4 x 85 Li	442.00

Invoice text: NOH - TPM 37819

*TRMA / Planning
Item 21.1 of 7/14/20*

Place by: Hannah Lumanauw

Legal Advertising Memo Invoice

BALANCE DUE
\$442.00

SALES/CONTACT INFO		ADVERTISER INFORMATION		
Nick Eller 951-368-9229	BILLING DATE	BILLED ACCOUNT NUMBER	ADVERTISER/CLIENT NUMBER	ADVERTISER/CLIENT NAME
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THE PRESS-ENTERPRISE

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7/4/2020	5209148	5209148
BALANCE DUE	ORDER NUMBER	TERMS OF PAYMENT
\$442.00	0011395334	DUE UPON RECEIPT

BILLING ACCOUNT NAME AND ADDRESS

REMITTANCE ADDRESS

BOARD OF SUPERVISORS
COUNTY OF RIVERSIDE
PO BOX 1147
RIVERSIDE, CA 92502

CALIFORNIA NEWSPAPERS PARTNERSHIP
dba The Press-Enterprise
PO Box 65210
COLORADO SPRINGS, CO 80962-5210

THE PRESS-ENTERPRISE

1825 Chicago Ave, Suite 100
Riverside, CA 92507
951-684-1200
951-368-9018 FAX

**PROOF OF PUBLICATION
(2010, 2015.5 C.C.P)**

Publication(s): The Press-Enterprise

PROOF OF PUBLICATION OF

Ad Desc.: NOH - TPM 37819 /

I am a citizen of the United States. I am over the age of eighteen years and not a party to or interested in the above entitled matter. I am an authorized representative of THE PRESS-ENTERPRISE, a newspaper in general circulation, printed and published daily in the County of Riverside, and which newspaper has been adjudicated a newspaper of general circulation by the Superior Court of the County of Riverside, State of California, under date of April 25, 1952, Case Number 54446, under date of March 29, 1957, Case Number 65673, under date of August 25, 1995, Case Number 267864, and under date of September 16, 2013, Case Number RIC 1309013; that the notice, of which the annexed is a printed copy, has been published in said newspaper in accordance with the instructions of the person(s) requesting publication, and not in any supplement thereof on the following dates, to wit:

07/04/2020

I certify (or declare) under penalty of perjury that the foregoing is true and correct.

Date: July 04, 2020
At: Riverside, California



Legal Advertising Representative, The Press-Enterprise

BOARD OF SUPERVISORS
COUNTY OF RIVERSIDE
PO BOX 1147
RIVERSIDE, CA 92502

Ad Number: 0011395334-01

P.O. Number:

Ad Copy:

NOTICE OF PUBLIC HEARING BEFORE THE BOARD OF SUPERVISORS OF RIVERSIDE COUNTY ON TENTATIVE PARCEL MAP IN THE RANCHO CALIFORNIA ZONING AREA, THIRD SUPERVISORIAL DISTRICT

NOTICE IS HEREBY GIVEN that a public hearing at which all interested persons will be heard, will be held before the Board of Supervisors of Riverside County, California, on the 1st Floor Board Chambers, County Administrative Center, 4080 Lemon Street, Riverside, on **Tuesday, July 14, 2020 at 10:00 A.M.** or as soon as possible thereafter, to consider the Planning Department's recommended approval on **Tentative Parcel Map No. 37819**, which proposes for a Schedule "J" Tentative Parcel Map subdivision of 31.86 gross acres into 2 parcels - APN: 963-030-013. This project is located North of Winchester Road, East of Sparkman Way, South of Sky Canyon Drive, West of Borel Road of Third Supervisorial District.

The Planning Department recommends that the Board of Supervisors find that the project is Exempt from the California Environmental Quality Act (CEQA), pursuant to State CEQA Guidelines Section 15315 (Minor Land Divisions) and Section 15061 (b)(3) (Common Sense Exemption); and tentatively approve the project.

The project case file may be viewed from the date of this notice until the public hearing, Monday through Friday, from 8:00 a.m. to 5:00 p.m. at the Riverside County Planning Department at 4080 Lemon Street, 12th Floor, Riverside, California 92501.

FOR FURTHER INFORMATION REGARDING THIS PROJECT, PLEASE CONTACT MINA MORGAN, PROJECT PLANNER, AT (951)-955-6035 OR EMAIL MIMORGAN@RIVCO.ORG.

Any person wishing to testify in support of or in opposition to the project may do so in writing between the date of this notice and the public hearing, or may appear and be heard at the time and place noted above. All written comments received prior to the public hearing will be submitted to the Board of Supervisors and the Board of Supervisors will consider such comments, in addition to any oral testimony, before making a decision on the project.

If you challenge the above item in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence to the Planning Commission or Board of Supervisors at, or prior to, the public hearing. Be advised that as a result of the public hearing and the consideration of all public comment, written and oral, the Board of Supervisors may amend, in whole or in part, the project and/or the related environmental document. Accordingly, the designations, development standards, design or improvements, or any properties or lands within the boundaries of the project, may be changed in a way other than specifically proposed.

Alternative formats available upon request to individuals with disabilities. If you require reasonable accommodation, please contact Clerk of the Board at (951) 955-1063, at least 72 hours prior to hearing.

Please send all written correspondence to: Clerk of the Board, 4080 Lemon Street, 1st Floor, Post Office Box 1147, Riverside, CA 92502-1147 or email cob@rivco.org

Dated: June 30, 2020 Kecia R. Harper, Clerk of the Board
By: Hannah Lumanauw, Board Assistant
Press-Enterprise, 7/04

NOTICE OF PUBLIC HEARING BEFORE THE BOARD OF SUPERVISORS OF RIVERSIDE COUNTY ON TENTATIVE PARCEL MAP IN THE RANCHO CALIFORNIA ZONING AREA, THIRD SUPERVISORIAL DISTRICT

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Please send all written correspondence to: Clerk of the Board, 4080 Lemon Street, 1st Floor, Post Office Box 1147, Riverside, CA 92502-1147 or email cob@rivco.org

Dated: June 30, 2020

Kecia R. Harper, Clerk of the Board
By: Hannah Lumanauw, Board Assistant



OFFICE OF THE
CLERK OF THE BOARD OF SUPERVISORS
1st FLOOR, COUNTY ADMINISTRATIVE CENTER
P.O. BOX 1147, 4080 LEMON STREET
RIVERSIDE, CA 92502-1147
PHONE: (951) 955-1060 FAX: (951) 955-1071

KECIA R. HARPER
Clerk of the Board of Supervisors

KIMBERLY A. RECTOR
Assistant Clerk of the Board

June 30, 2020

THE PRESS ENTERPRISE
ATTN: LEGALS
P.O. BOX 792
RIVERSIDE, CA 92501

PH : (951) 368-9229
E-MAIL: legals@pe.com

RE: NOTICE OF PUBLIC HEARING: Tentative Parcel Map No. 37819

To Whom It May Concern:

Attached is a copy for publication in your newspaper for **One (1) time on Saturday, July 04, 2020.**

We require your affidavit of publication immediately upon completion of the last publication.

Your invoice must be submitted to this office, **WITH TWO CLIPPINGS OF THE PUBLICATION.**

NOTE: PLEASE COMPOSE THIS PUBLICATION INTO A SINGLE COLUMN FORMAT.

Thank you in advance for your assistance and expertise.

Sincerely,

Hannah Lumanauw

Board Assistant to:
KECIA R. HARPER, CLERK OF THE BOARD

CERTIFICATE OF POSTING

(Original copy, duly executed, must be attached to
the original document at the time of filing)

I, Hannah Lumanauw, Board Assistant to Kecia R. Harper, Clerk of the Board of Supervisors, for the County of Riverside, do hereby certify that I am not a party to the within action or proceeding; that on July 02, 2020, I forwarded to Riverside County Clerk & Recorder's Office a copy of the following document:

NOTICE OF PUBLIC HEARING

Tentative Parcel Map No. 37819

to be posted in the office of the County Clerk at 2724 Gateway Drive, Riverside, California 92507. Upon completion of posting, the County Clerk will provide the required certification of posting.

Board Agenda Date: July 14, 2020 @ 10:00 a.m.

SIGNATURE: Hannah Lumanauw DATE: July 02, 2020
Hannah Lumanauw

CERTIFICATE OF MAILING

(Original copy, duly executed, must be attached to
the original document at the time of filing)

I, Hannah Lumanauw, Board Assistant, for the County of Riverside, do hereby certify that I am not a party to the within action or proceeding; that on July 02, 2020, I mailed a copy of the following document:

NOTICE OF PUBLIC HEARING

Tentative Parcel Map No. 37819

to the parties listed in the attached labels, by depositing said copy with postage thereon fully prepaid, in the United States Post Office, 3890 Orange St., Riverside, California, 92501.

Board Agenda Date: July 14, 2020 @ 10:00 a.m.

SIGNATURE: Hannah Lumanauw DATE: July 02, 2020
Hannah Lumanauw



RIVERSIDE COUNTY PLANNING DEPARTMENT

Charissa Leach, P.E.
Assistant TLMA Director

Hearing Date: July 14, 2020

To: Clerk of the Board of Supervisors

From: Planning Department – Riverside (Planner: Mina Morgan)

MinuteTraq #: 12997

Project Description:

TRANSPORTATION & LAND MANAGEMENT AGENCY/PLANNING: Public Hearing on TENTATIVE PARCEL MAP NO. 37819 – CEQ200008 – Applicant: Pierer Immoreal North America, LLC - Third Supervisorial District – Rancho California Zoning Area – Southwest Area Plan: Commercial Office/Commercial Retail (CO/CR) – Location: North of Winchester Road, East of Sparkman Way, South of Sky Canyon Drive, West of Borel Road – 31.86 Acres – Zoning: SP Zone (SP265) – REQUEST: A Schedule “J” Tentative Parcel Map subdivision of 31.86 gross acres into 2 parcels – APN: 963-030-013.

The attached item(s) require the following action(s) by the Board of Supervisors:

- Place on Administrative Action
- Receive & File
- EOT
- Labels provided If Set For Hearing
 - 10 Day
 - 20 Day
 - 30 day
- Place on Consent Calendar
- Place on Policy Calendar (Resolutions, Ordinances; PNC)
- Place on Section Initiation Proceeding (GPIP)
- Set for Hearing (Legislative Action Required, CZ, GPA, SP, SPA)
- Publish in Newspaper: (3rd Dist) Press Enterprise
- Addendum to earlier Environmental Document
 - 10 Day
 - 20 Day
 - 30 day
- Notify Property Owners (app/agencies/property owner labels provided)

Designate Newspaper used by Planning Department for Notice of Hearing:
(3rd Dist) Press Enterprise

Riverside Office · 4080 Lemon Street, 12th Floor
P.O. Box 1409, Riverside, California 92502-1409
(951) 955-3200 · Fax (951) 955-1811

Desert Office · 77-588 Duna Court, Suite H
Palm Desert, California 92211
(760) 863-8277 · Fax (760) 863-7040

“Planning Our Future... Preserving Our Past”

**SUBMITTAL TO THE BOARD OF SUPERVISORS
COUNTY OF RIVERSIDE, STATE OF CALIFORNIA**



ITEM:

(ID # 12997)

MEETING DATE:

Tuesday, July 14, 2020

FROM : TLMA-PLANNING:

SUBJECT: TRANSPORTATION & LAND MANAGEMENT AGENCY/PLANNING: APPROVE TENTATIVE PARCEL MAP NO. 37819 – CEQA Exempt, Article 5 – Preliminary Review of Projects and Conduct of Initial Study, Section 15061 (b)(3) and Article 15 – Categorical Exemptions, Section 15315 (Minor Land Divisions) – Applicant/Engineer: Pierer Immoreal North America, LLC - Third Supervisorial District – Rancho California Zoning Area – Southwest Area Plan: Commercial Office/Commercial Retail (CO/CR) – Location: North of Winchester Road, East of Sparkman Way, South of Sky Canyon Drive, West of Borel Road – 31.86 Acres – Zoning: SP Zone (SP265)– **PROJECT DESCRIPTION:** A Schedule “J” Tentative Parcel Map subdivision of 31.86 gross acres into 2 parcels – APN: 963-030-013. [Applicant Fees 100%].

RECOMMENDED MOTION: That the Board of Supervisors:

FIND that the project is **EXEMPT** from the California Environmental Quality Act (CEQA), pursuant to State CEQA Guidelines Section 15315 (Minor Land Divisions) and Section 15061 (b)(3) (Common Sense Exemption), based on the findings and conclusions in the staff report; and,

APPROVE TENTATIVE PARCEL MAP NO. 37819, subject to the attached advisory notification document and conditions of approval, and based upon the findings and conclusions provided in this staff report.

ACTION:Set for Hearing

MINUTES OF THE BOARD OF SUPERVISORS

**SUBMITTAL TO THE BOARD OF SUPERVISORS COUNTY OF RIVERSIDE,
STATE OF CALIFORNIA**

FINANCIAL DATA	Current Fiscal Year:	Next Fiscal Year:	Total Cost:	Ongoing Cost
COST	\$ N/A	\$ N/A	\$ N/A	\$ N/A
NET COUNTY COST	\$ N/A	\$ N/A	\$ N/A	\$ N/A
SOURCE OF FUNDS: APPLICANT FEES 100%			Budget Adjustment:	N/A
			For Fiscal Year:	N/A

C.E.O. RECOMMENDATION:

BACKGROUND:

Summary

Specific Plan

The Borel Airpark Center Specific Plan (Specific Plan No. 265) was adopted by the Riverside County Board of Supervisors on November 1994 (via Resolution No. 94-240). The adopted Specific Plan No. 265 focus is to develop the premier location for corporate facilities and offices. Subsequent to this approval, the Board of Supervisors had adopted amendments to Specific Plan No. 265 on September 22, 2015. Unless otherwise stated, all references to Specific Plan No. 265 and its requirements are referring to the Specific Plan as amended.

On February 23, 2011 the Board of Supervisors approved Tentative Parcel Map No. 35212, which proposed subdividing two parcels into 23 commercial office/retail parcels that includes the parcel subject to the current subdivision and the parcel to the north. That Tentative Parcel Map has not since been implemented and recorded.

On September 7, 2018, Pierer Immoreal North America, LLC submitted a Plot Plan application for the proposed headquarters of KTM North America (PPT180022). Plot Plan No. 180022 proposed the development of an office building complex for a KTM headquarters that consists of a main HQ building a motorsport building and storage buildings. The HQ building is 47,675 square feet and approximately 32 feet in height. The Motorsport building is 60,860 square feet and includes office and equipment testing and research and is approximately 26 feet in height. The storage building is 17,917 square feet that includes storage for motorcycles and other equipment, both of which are approximately 26 feet in height. The HQ building would be primarily office space. Between the Motorsport building and storage building is a 26,696 square feet open area for truck parking and an 8,602 square-foot intake area with truck bays that also includes a washing area for motorcycles. On November 5, 2019 the Board of Supervisors approved Plot Plan No. 180022.

On February 14, 2020 Piere Immoreal North America, LLC submitted a Tentative Parcel Map (Schedule J) application, which proposed subdividing 31.86 acres into 2 parcels ranging in size

**SUBMITTAL TO THE BOARD OF SUPERVISORS COUNTY OF RIVERSIDE,
STATE OF CALIFORNIA**

from 19.58 acres for parcel No. 1, and 12.28 acres for parcel No.2. The map is for financial purposes only and will not include any development.

The project site is located within Planning Area 13 of Specific Plan No. 265, which allows primarily for commercial land uses. On June 4, 2020 the Riverside Airport Land Use Commission (ALUC), found the project consistent with the 2007 French Valley Airport Land Use Compatibility Plan.

The proposed Project was approved by the Economic Development Agency (EDA) for Fast Track processing (FTA-2017-04). The project has no significant impact on the environment, and no grading or construction will occur on the subject site.

Application Submittal

Tentative Parcel Map No. 37819 was submitted to the County of Riverside on February 14, 2020.

Board Action

The Director's decision is final and no action by the Board of Supervisors is required unless the Board assumes jurisdiction by ordering the matter set for a future noticed public hearing, or the applicant or an interested person files a complete appeal application within 10 days of this notice appearing on the Board's agenda.

Impact on Citizens and Businesses

The Projects have no direct impact on citizens or businesses, as these are private projects. All impacts have been Exempt through CEQA.

SUPPLEMENTAL:

Additional Fiscal Information

All fees are paid by the applicant. There is no general fund obligation.

ATTACHMENTS:

A. BOARD OF SUPERVISORS STAFF REPORT

PROPERTY OWNERS CERTIFICATION FORM

I, VINNIE NGUYEN certify that on June 12, 2020,

The attached property owners list was prepared by Riverside County GIS,

APN (s) or case numbers TPM37819 for

Company or Individual's Name RCIT - GIS,

Distance buffered 600'

Pursuant to application requirements furnished by the Riverside County Planning Department. Said list is a complete and true compilation of the owners of the subject property and all other property owners within 600 feet of the property involved, or if that area yields less than 25 different owners, all property owners within a notification area expanded to yield a minimum of 25 different owners, to a maximum notification area of 2,400 feet from the project boundaries, based upon the latest equalized assessment rolls. If the project is a subdivision with identified off-site access/improvements, said list includes a complete and true compilation of the names and mailing addresses of the owners of all property that is adjacent to the proposed off-site improvement/alignment.

I further certify that the information filed is true and correct to the best of my knowledge. I understand that incorrect or incomplete information may be grounds for rejection or denial of the application.

TITLE: GIS Analyst

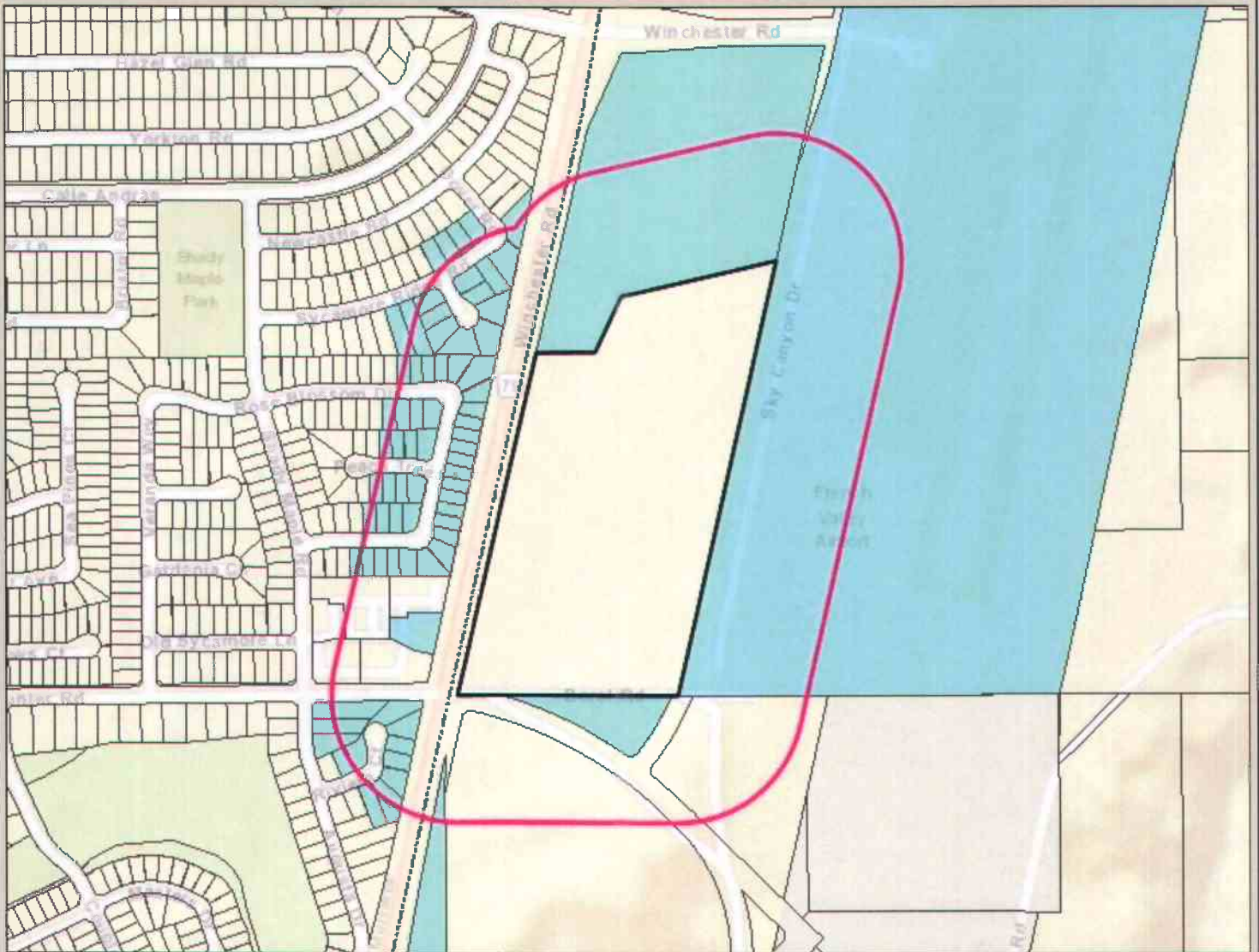
ADDRESS: 4080 Lemon Street 9TH Floor

Riverside, Ca. 92502

TELEPHONE NUMBER (8 a.m. – 5 p.m.): (951) 955-8158

Riverside County GIS Mailing Labels

TPM37819 (600 feet buffer)



Legend

- County Boundary
- Cities
- Parcels
- World Street Map

Notes



0 752 1,505 Feet

IMPORTANT Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

REPORT PRINTED ON...6/12/2020 4:49:18 PM

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908131015
FERNANDO MOORE
37660 PLYMOUTH RD
MURRIETA CA 92563

908131016
CUPERTINO N. OPINA
30017 SYCAMORE RIDGE RD
MURRIETA CA 92563

908131017
DURU NNEKA
30005 SYCAMORE RIDGE RD
MURRIETA CA 92563

908131018
RAUL SALAS
37676 TOWNSVILLE CT
MURRIETA CA 92563

908131019
HENRICUS VANBOXTEL
2814 OLIVE HILL RD
FALLBROOK CA 92028

908131020
NORBERTA CUPELES GARCIA
37708 TOWNSVILLE CT
MURRIETA CA 92563

908131021
EDWARD HOLLOWAY
37724 TOWNSVILLE CT
MURRIETA CA 92563

908131022
STEPHEN D. NUGENT
37727 TOWNSVILLE CT
MURRIETA CA 92563

908131023
KEVIN M. MCGUIRE
37711 TOWNSVILLE CT
MURRIETA CA 92563

908131024
BOGARDUS LARRY & BEVERLY REVOCABLE
37695 TOWNSVILLE CT
MURRIETA CA 92563

908131025
LANCINE KONE
37679 TOWNSVILLE CT
MURRIETA CA 92563

908131026
GREGORY D. SHALIN
29945 SYCAMORE RIDGE RD
MURRIETA CA 92563

908131027
AREK TADEUS DOUGLAS
29939 SYCAMORE RIDGE RD
MURRIETA CA 92563

908134004
JOSE L. GARCIA
29972 SYCAMORE RIDGE RD
MURRIETA CA 92563

908134005
JOSE G. ALVAREZ
29984 SYCAMORE RIDGE RD
MURRIETA CA 92563

908134006
LAUREN AGUILAR
29996 SYCAMORE RIDGE RD
MURRIETA CA 92563

908134007
NEW LIFE VENTURE
1661 HANOVER RD STE 211
CITY OF INDUSTRY CA 91748

908151011
JAROD FARNSWORTH
29988 ROSE BLOSSOM DR
MURRIETA CA 92563

908151012
FRANK MCDANIEL
29998 ROSE BLOSSOM DR
MURRIETA CA 92563

908151013
KENAN DUNDAR
30008 ROSE BLOSSOM DR
MURRIETA CA 92563

908151014
MAE DANG
1148 DOVER WAY
MONTEREY PARK CA 91754

908151015
MICHAEL R. PAYNE
30028 ROSE BLOSSOM DR
MURRIETA CA 92563

908151016
MONTE B. MONEY
30038 ROSE BLOSSOM DR
MURRIETA CA 92563

908151017
ERICA M. HALL
37773 SWEET MAGNOLIA WAY
MURRIETA CA 92563

908151018
ARIEL Q. MARQUEZ
34501 STAGE RD
TEMECULA CA 92592

908151019
IGOR GROSSMAN
37793 SWEET MAGNOLIA WAY
MURRIETA CA 92563

908151020
KAREN L. TILLOTSON
37803 SWEET MAGNOLIA WAY
MURRIETA CA 92563

908151021
GLENN WUN KWAN
29170 WRANGLER DR
MURRIETA CA 92563

908151022
ANTONIO MARTINS
37823 SWEET MAGNOLIA WAY
MURRIETA CA 92563

908151023
KENNETH B. ROBINSON
37833 SWEET MAGNOLIA WAY
MURRIETA CA 92563

908151024
MEHRDAD HERAVI
37843 SWEET MAGNOLIA WAY
MURRIETA CA 92563

908151025
VU VAN NGUYEN
37853 SWEET MAGNOLIA WAY
MURRIETA CA 92563

908151026
GABRIEL RAMIREZ RIOJAS
37863 SWEET MAGNOLIA WAY
MURRIETA CA 92563

908151027
ANDREWS RALPH E JR TRUST DATED
37873 SWEET MAGNOLIA WAY
MURRIETA CA 92563

908152005
THOMAS BEKE
37946 SWEET MAGNOLIA DR
MURRIETA CA 92563

908152006
ROMANO FAMILY TRUST DATED 10/9/2019
37936 SWEET MAGNOLIA DR
MURRIETA CA 92563

908152007
JAMES FREEMAN
37926 SWEET MAGNOLIA WAY
MURRIETA CA 92563

908152008
JORGE A. SANCHEZ
37196 STARDUST WAY
MURRIETA CA 92563

908152009
PATRICIA L. WILLIS
29991 PEACHTREE CT
MURRIETA CA 92563

908152010
DIANA C. HART
29971 PEACHTREE CT
MURRIETA CA 92563

908152011
DEAN W. HOLLAND
29961 PEACHTREE CT
MURRIETA CA 92563

908152012
JOHN HOBART WOODRUFF
5485 ROTARY DR
LA VERNE CA 91750

908152020
NADER SHAABAN
29964 PEACHTREE CT
MURRIETA CA 92563

908152021
DAVITH KHOR
29974 PEACHTREE CT
MURRIETA CA 92563

908152022
KIM M. MASCUZZIO
29984 PEACH TREE CT
MURRIETA CA 92563

908152023
JOHNNY LE
29994 PEACHTREE CT
MURRIETA CA 92563

908152024
FRANK ROJAS
30015 ROSE BLOSSOM DR
MURRIETA CA 92563

908152025
TRUC MAI THI TRAN
29995 ROSE BLOSSOM DR
MURRIETA CA 92563

908152026
VICTORIA TUONG VY NGUYEN
27540 YNEZ NO J5
TEMECULA CA 92591

908152027
DOUGLAS M. KATONA
29975 ROSE BLOSSOM DR
MURRIETA CA 92563

908172001
JOSE M. ROBLES
37903 SWEET MAGNOLIA WAY
MURRIETA CA 92563

908172002
AUTURIO FRAZIER
37913 SWEET MAGNOLIA WAY
MURRIETA CA 92563

908172003
CHRISTOPHER WOODS
37923 SWEET MAGNOLIA WAY
MURRIETA CA 92563

908172004
LARRY STIDHAM
41804 LEILA VERDE
MURRIETA CA 92562

908172005
VICTOR MANUEL ROJAS ALVAREZ
37943 SWEET MAGNOLIA WAY
MURRIETA CA 92563

908172006
TRANG T. NGUYEN
37953 SWEET MAGNOLIA WAY
MURRIETA CA 92563

908172010
ENRIQUE BARRERA
37883 SWEET MAGNOLIA WAY
MURRIETA CA 92563

908172011
ASHWIN SEWDARSEN
37893 SWEET MAGNOLIA WAY
MURRIETA CA 92563

908172012
MESA PLAZA
28636 OLD TOWN FRONT 202
TEMECULA CA 92590

908180004
COUNTY OF RIVERSIDE
P O BOX 1180
RIVERSIDE CA 92502

908300008
SANTOS RODRIGUEZ SOTELO
38060 RIVIERA CT
MURRIETA CA 92563

908300009
RAYMOND L. RUBIO
38052 RIVIERA CT
MURRIETA CA 92563

908300010
ISMAEL RESENDIZ
38044 RIVIERA CT
MURRIETA CA 92563

908300011
CRAIG BRADLEY
38036 RIVIERA CT
MURRIETA CA 92563

908300012
TORRES CARLOS & MAUREEN ANNAMARIE REV
38028 RIVIERA CT
MURRIETA CA 92563

908300013
SHARON H. KINIKIN
38020 RIVIERA CT
MURRIETA CA 92563

908300014
MARK D. SWINEHEART
38012 RIVIERA CT
MURRIETA CA 92563

908300015
KEVIN VANCE MILNER
42865 VIA ALHAMA
TEMECULA CA 92592

908300016
RONALD EDUARDO MOLINA
38063 RIVIERA CT
MURRIETA CA 92563

908300018
JOHN LUCACI
38052 AUGUSTA DR
MURRIETA CA 92563

908300019
DAWOOD N. BESHAY
38044 AUGUSTA DR
MURRIETA CA 92563

908300020
JUAN CARLOS LEON
38036 AUGUSTA DR
MURRIETA CA 92563

957320001
ALEXANDER A. BOREL
17775 LONG HOLLOW RD
CORNING CA 96021

963030010
COUNTY OF RIVERSIDE
PO BOX 130878
CARLSBAD CA 92013

963030012
PIERER IMMOREAL NORTH AMERICA
38429 INNOVATION CT
MURRIETA CA 92563

Southern California Edison
2244 Walnut Grove Ave
Rm. 312
P.O Box 600
Rosemead, CA 91770

Waste Resources Management Department
14310 Frederick St
Moreno Valley, CA 92553

Winchester/Homeland MAC
32665 Haddock St.
Winchester, CA 92596

Supervisor Chuck Washington - 3rd District
4080 Lemon St., 5th Floor
Riverside, CA. 92501

Riverside County
Cultural Department
4080 Lemon Street
12th Floor
Riverside, CA 92501

Riverside County Fire Department
210 West San Jacinto Avenue
Perris, CA 92570

Department of Environmental Health
3499 10th Street
Riverside CA 92501

Planning Commission
Ruthanne Taylor-Berger
4080 Lemon Street, 12th Floor
P.O. Box 1409
Riverside, CA 92502

Southern California Gas Company
Engineering Department
Attn: Teresa Roblero ML: 8031
PO Box 3003
Redlands, CA 92373

City of Temecula
Planning Division
Luke Watson
41000 Main St
Temecula, CA 92590

Applicant/Owner:

Pierer Immoreal North America, LLC
38429 Innovation, Ct
Murrieta CA, 92563

Engineer:

CASC Engineering
1470 Cooley Dr
Colton CA, 92324
Attn: Frank Coyle

Applicant/Owner:

Pierer Immoreal North America, LLC
38429 Innovation, Ct
Murrieta CA, 92563

NOTICE OF PUBLIC HEARING BEFORE THE BOARD OF SUPERVISORS OF RIVERSIDE COUNTY ON TENTATIVE PARCEL MAP IN THE RANCHO CALIFORNIA ZONING AREA, THIRD SUPERVISORIAL DISTRICT

NOTICE IS HEREBY GIVEN that a public hearing at which all interested persons will be heard, will be held before the Board of Supervisors of Riverside County, California, on the 1st Floor Board Chambers, County Administrative Center, 4080 Lemon Street, Riverside, on **Tuesday, July 14, 2020 at 10:00 A.M.** or as soon as possible thereafter, to consider the Planning Department's recommended approval on **Tentative Parcel Map No. 37819**, which proposes for a Schedule "J" Tentative Parcel Map subdivision of 31.86 gross acres into 2 parcels – APN: 963-030-013. This project is located North of Winchester Road, East of Sparkman Way, South of Sky Canyon Drive, West of Borel Road of Third Supervisorial District.

The Planning Department recommends that the Board of Supervisors find that the project is Exempt from the California Environmental Quality Act (CEQA), pursuant to State CEQA Guidelines Section 15315 (Minor Land Divisions) and Section 15061 (b)(3) (Common Sense Exemption); and tentatively approve the project.

The project case file may be viewed from the date of this notice until the public hearing, Monday through Friday, from 8:00 a.m. to 5:00 p.m. at the Riverside County Planning Department at 4080 Lemon Street, 12th Floor, Riverside, California 92501.

FOR FURTHER INFORMATION REGARDING THIS PROJECT, PLEASE CONTACT MINA MORGAN, PROJECT PLANNER, AT (951)-955-6035 OR EMAIL MIMORGAN@RIVCO.ORG.

Any person wishing to testify in support of or in opposition to the project may do so in writing between the date of this notice and the public hearing, or may appear and be heard at the time and place noted above. All written comments received prior to the public hearing will be submitted to the Board of Supervisors and the Board of Supervisors will consider such comments, in addition to any oral testimony, before making a decision on the project.

If you challenge the above item in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence to the Planning Commission or Board of Supervisors at, or prior to, the public hearing. Be advised that as a result of the public hearing and the consideration of all public comment, written and oral, the Board of Supervisors may amend, in whole or in part, the project and/or the related environmental document. Accordingly, the designations, development standards, design or improvements, or any properties or lands within the boundaries of the project, may be changed in a way other than specifically proposed.

Alternative formats available upon request to individuals with disabilities. If you require reasonable accommodation, please contact Clerk of the Board at (951) 955-1063, at least 72 hours prior to hearing.

Please send all written correspondence to: Clerk of the Board, 4080 Lemon Street, 1st Floor, Post Office Box 1147, Riverside, CA 92502-1147 or email cob@rivco.org

Dated: June 30, 2020

Kecia R. Harper, Clerk of the Board
By: Hannah Lumanauw, Board Assistant

PSEMPV

* 61602 61603

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REMOVE SIDE EDGES FIRST
THEN FOLD AND TEAR THIS STUB ALONG PERFORATION

REMOVE THESE EDGES FIRST
FOLD, CREASE AND TEAR ALONG PERFORATION

REMOVE THESE EDGES FIRST
FOLD, CREASE AND TEAR ALONG PERFORATION



Riverside County Clerk of the Board
County Administrative Center
4080 Lemon Street, 1st Floor Annex
P. O. Box 1147
Riverside, CA 92502-1147

PUBLIC HEARING NOTICE
This may affect your property

PRESORTED
FIRST CLASS



U.S. POSTAGE PITNEY BOWES



ZIP 92504 \$ 000.43⁹
02 4W
0000348270 JUL 06 2020

SEE OTHER SIDE FOR
OPENING INSTRUCTIONS

SEE OTHER SIDE FOR
OPENING INSTRUCTIONS

CLERK / BOARD OF SUPERVISORS

2020 JUL 14 AM 10:38

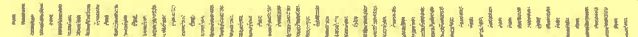


908152005
THOMAS BEKE
37946 SWEET MAGNOLIA DR
MURRIETA CA 92563

NIXIE 911 FE 1260 0007/12/20

RETURN TO SENDER
NOT DELIVERABLE AS ADDRESSED
UNABLE TO FORWARD

BC: 92502114747 *0852-07087-12-19



UTF
FY 92502 114747

STATE OF CALIFORNIA - THE RESOURCES AGENCY
DEPARTMENT OF FISH AND GAME
ENVIRONMENTAL FILING FEE CASH RECEIPT

RECEIVED RIVERSIDE COUNTY
CLERK / BOARD OF SUPERVISORS
2020 AUG 10 AM 11:05

Receipt #: 20-211759

State Clearinghouse # (if applicable): _____

Lead Agency: COUNTY OF RIVERSIDE CLERK OF THE BOARD OF SUPERVISORS Date: 07/02/2020

County Agency of Filing: RIVERSIDE Document No: E-202000774

Project Title: NOTICE OF PUBLIC HEARING TRACT MAP 37819

Project Applicant Name: COUNTY OF RIVERSIDE CLERK OF THE BOARD OF Phone Number: (951) 955-1071

Project Applicant Address: 4080 LEMON STREET 1ST FLOOR, ROOM 127, RIVERSIDE, CA 92501

Project Applicant: LOCAL PUBLIC AGENCY

CHECK APPLICABLE FEES:

- Environmental Impact Report _____
 - Negative Declaration _____
 - Application Fee Water Diversion (State Water Resources Control Board Only) _____
 - Project Subject to Certified Regulatory Programs _____
 - County Administration Fee _____ \$0.00
 - Project that is exempt from fees (DFG No Effect Determination (Form Attached))
 - Project that is exempt from fees (Notice of Exemption)
- Total Received** _____ **\$0.00**

Signature and title of person receiving payment: *U. Sandraal* Deputy _____

Notes:

7/14/20 21.1
2020-8-147461

NOTICE OF PUBLIC HEARING BEFORE THE BOARD OF SUPERVISORS OF RIVERSIDE COUNTY ON TENTATIVE PARCEL MAP IN THE RANCHO CALIFORNIA ZONING AREA, THIRD SUPERVISORIAL DISTRICT

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Dated: June 30, 2020

Kecia R. Harper, Clerk of the Board
By: Hannah Lumanauw, Board Assistant

FILED / POSTED
County of Riverside
Peter Aldana
Assessor-County Clerk-Recorder
E-20200774
07/02/2020 03:33 PM Fee: \$ 0.00
Page 1 of 1
Removed: **AUG 04 2020** By: **SZ** Deputy





ASSESSOR-COUNTY CLERK-RECORDER
PO BOX 751
RIVERSIDE CA 92502-0751

RIVERSIDE COUNTY CLERK OF THE
BOARD

P O BOX 1147

RIVERSIDE CA 92502-1147

2020 AUG 10 AM 11:05

PRESORTED
FIRST CLASS



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HITNEY BOWES
ZIP 92504 \$ 000.43⁹
02 4W
00000348240 AUG 06 2020

