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ORDINANCE NO. 348.\_\_\_\_\_

AN ORDINANCE OF THE COUNTY OF RIVERSIDE  
AMENDING ORDINANCE NO. 348.\_\_\_\_\_ RELATING TO ZONING

The Board of Supervisors of the County of Riverside ordains as follows:

Section 1. Section 4.\_\_\_\_ of Ordinance No. 348, and Official Zoning Plan Map No.\_\_\_\_, as amended, are further amended by placing in effect in the Rancho California Zoning Area the zone or zones as shown on the map entitled, "Change of Official Zoning Plan Amending Ordinance No. 348, Map No.\_\_\_\_.\_\_\_\_\_, Change of Zone Case No.\_\_\_\_\_,," which is made a part of this ordinance.

Section 2. Article XVIIa Section 17.76 of Ordinance No. 348.\_\_\_\_\_ is hereby amended to read as follows:

“SECTION 17.76 SP ZONE REQUIREMENTS AND STANDARDS FOR SPECIFIC  
PLAN NO. 286.

a. Planning Areas 1, 3, and 6.

(1) The uses permitted in Planning Areas 1, 3, and 6 of Specific Plan No. 286 shall be the same as those standards identified in Article VI, Section 6.1 of Ordinance No. 348., except that uses permitted pursuant to Section 6.1.b.(1) and (3) and d. shall not be permitted.

(2) The development standards for Planning Areas 1, 3, and 6 of Specific Plan 286 shall be the same as those permitted in Article VI, Section 6.2 of Ordinance No. 348, except that the development standards set forth in Article VI, Section 6.2.b., c., d. and e.(1), (2), (3) and (4) shall be deleted and replaced by the following:

- A. The minimum front yard setback to a habitable portion of the main building shall be fifteen feet (15’) measured from the right-of-way.
- B. The minimum front yard setback for garages shall be twenty feet (20’) measured from the right-of-way.
- C. Lot area shall be not less than five thousand (5,000) square feet. The

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minimum lot area shall be determined by excluding that portion of a lot that is used solely for access to the portion of a lot used as a building site.

- D. The minimum average width of that portion of a lot to be used as a building site shall be fifty feet (50') with a minimum average depth of eighty feet (80'). That portion of a lot used for access on "flag" lots shall have minimum width of twenty feet (20').
- E. The minimum frontage of a lot shall be forty feet (40') except that lots fronting on knuckles or cul-de-sacs may have a minimum frontage of thirty-five (35') and flag lots may have a minimum frontage of twenty (20') feet.
- F. Side yards on interior and through lots shall be not less than five feet (5') in width.
- G. Side yards on corner and reversed corner lots shall be not less than ten feet (10') from the existing street line or from any future street line as shown on any Specific Plan of Highways, whichever is nearer the proposed structure, upon which the main building sides, except where the lot is less than fifty feet (50') wide, the yard need not exceed twenty percent (20%) of the width of the lot.
- H. The rear yard shall be not less than fifteen feet (15') if adjacent to a greenbelt or other open space identified in Specific Plan No. 286. Otherwise, the rear yard shall not be less than twenty feet (20').
- I. Chimneys and fireplaces shall be allowed to encroach into side yards a maximum of two feet (2'). No other structural encroachments shall be permitted in the front, rear or side yard except as provided for in Section 18.19 of Ordinance No. 348.

In addition, the following standard shall also apply:

- AA. Lot coverage shall not exceed fifty percent (50%) for one-story buildings.
- (3) Except as provided above, all other zoning requirements shall be the same as those requirements identified in Article VI of Ordinance 348.

1           b.       Planning Areas 2A, 2C, 20, 22, 25, 35A, 35B, 52A and 52B.

2                   (1)       The uses permitted in Planning Areas 2A, 2C, 20, 22, 25, 35A, 35B, 52A and  
3           52B of Specific Plan No. 286 shall be the same as those uses permitted in Article VIIIe,  
4           Section 8.100 of Ordinance No. 348, except that uses permitted pursuant to Section  
5           8.100.a.(1), (2), (3), (4), (5), and (8); and b.(1); and c.(1) shall not be permitted. In addition,  
6           the permitted uses identified under Section 8.100.a. shall include undeveloped open space  
7           and drainage areas.

8                   (2)       The development standards for Planning Areas 2A, 2C, 20, 22, 25, 35A, 35B,  
9           52A and 52B of Specific Plan No. 286 shall be the same as those standards identified in  
10          Article VIIIe, Section 8.101 of Ordinance No. 348.

11                  (3)       Except as provided above, all other zoning requirements shall be the same as  
12          those requirements identified in Article VIIIe of Ordinance No. 348.

13          c.       Planning Areas 4, 27, and 34.

14                  (1)       The uses permitted in Planning Areas 4, 27, and 34 of Specific Plan No. 286  
15          shall be the same as those uses permitted in Article VI, Section 6.1 of Ordinance No. 348,  
16          except that uses permitted pursuant to Section 6.1.b.(1) and (3) and d. shall not be permitted.

17                  (2)       The development standards for Planning Areas 4, 27, and 34 of Specific Plan  
18          No. 286 shall be the same as those standards identified in Article VI, Section 6.2 of  
19          Ordinance No. 348, except that the development standards set forth in Article VI, Section  
20          6.2.c. and e.(3) and (4) shall be deleted and replaced by the following:

21                   A.       The minimum average width of that portion of a lot to be used as a building  
22                   site shall be one hundred (100') feet with a minimum average depth of one  
23                   hundred fifty (150') feet.

24                   B.       The rear yard shall be not less than fifty (50') feet.

25                   C.       Chimneys and fireplaces shall be allowed to encroach into side yards a  
26                   maximum of two (2') feet. No other structural encroachments shall be  
27                   permitted in the front, rear or side yard except as provided for in Section  
28                   18.19 of Ordinance No. 348.

1 (3) Except as provided above, all other requirements shall be the same as those  
2 requirements identified in Article VI of Ordinance No. 348.

3 d. Planning Areas 5A, 5B, 7, 10B, 12A, 13A, 13B, 14A, 14B, 21A, 21B, 23, 24, 32, 37,  
4 38, and 44.

5 (1) The uses permitted in Planning Areas 5A, 5B, 7, 10B, 12A, 13A, 13B, 14A,  
6 14B, 21A, 21B, 23, 24, 32, 37, 38, and 44 of Specific Plan No. 286 shall be the same as those  
7 uses permitted in Article VI, Section 6.1 of Ordinance No. 348, except that uses permitted  
8 pursuant to Section 6.1.b.(1) and (3) and d. shall not be permitted. In addition, the permitted  
9 uses identified under Section 6.1.a shall also include public parks and public playgrounds.

10 (2) The development standards for Planning Areas 5A, 5B, 7, 10B, 12A, 13A,  
11 13B, 14A, 14B, 21A, 21B, 23, 24, 32, 37, 38, and 44 of Specific Plan No. 286 shall be the  
12 same as those standards identified in Article VI, Section 6.2 of Ordinance No. 348, except  
13 that the development standards set forth in Article VI, Section 6.2.e.(3) and (4) shall be  
14 deleted and replaced by the following:

- 15 A. The rear yard shall be not less than twenty (20) feet.  
16 B. Chimneys and fireplaces shall be allowed to encroach into side yards a  
17 maximum of two (2) feet. No other structural encroachments shall be  
18 permitted in the front, rear or side yard except as provided for in Section  
19 18.19 of Ordinance No. 348.

20 (3) Except as provided above, all other requirements shall be the same as those  
21 requirements identified in Article VI of Ordinance No. 348.

22 e. Planning Area 8 and 40.

23 (1) The uses permitted in Planning Area 8 of Specific Plan No. 286 shall be the  
24 same as those uses permitted in Article IXb, Section 9.50 of Ordinance No. 348 except that  
25 the uses permitted pursuant to Section 9.50.a.(30), (52), and (64) shall not be permitted. In  
26 addition, the permitted uses identified under Section 9.50.b. shall include mini-warehouses,  
27 trailer and boat storage, recreational vehicle storage, and vehicle storage.

28 (2) The development standards for Planning Area 8 of Specific Plan No. 286 shall



1 be the same as those standards identified in Article IXb, Section 9.53 of Ordinance No. 348.

2 (3) Except as provided above, all other zoning requirements shall be the same as  
3 those requirements identified in Article IXb of Ordinance No. 348.

4 f. Planning Area 9.

5 (1) The uses permitted in Planning Area 9 of Specific Plan No. 286 shall be the  
6 same as those uses permitted in Article VIII, Section 8.1 of Ordinance No. 348.

7 (2) The development standards for Planning Areas 9 of Specific Plan No. 286  
8 shall be the same as those standards identified in Article VIII, Section 8.2 of Ordinance No.  
9 348.

10 (3) Except as provided above, all other zoning requirements shall be the same as  
11 those requirements identified in Article VIII of Ordinance No. 348.

12 g. Planning Areas 10A, 11, 19, 31, 39 and 42.

13 (1) The uses permitted in Planning Areas 10A, 11, 19, 31, 39 and 42 of Specific  
14 Plan No. 286 shall be the same as those standards identified in Article VI, Section 6.1 of  
15 Ordinance No. 348, except that uses permitted pursuant to Section 6.1.b.(1) and (3) and d.  
16 shall not be permitted.

17 (2) The development standards for Planning Areas 10A, 11, 19, 31, 39 and 42 of  
18 Specific Plan 286 shall be the same as those permitted in Article VI, Section 6.2 of Ordinance  
19 No. 348, except that the development standards set forth in Article VI, Section 6.2.b., c., d.  
20 and e.(2), (3) and (4) shall be deleted and replaced by the following:

21 A. Lot area shall be not less than five thousand (5,000) square feet. The  
22 minimum lot area shall be determined by excluding that portion of a lot that is  
23 used solely for access to the portion of a lot used as a building site.

24 B. The minimum average width of that portion of a lot to be used as a building  
25 site shall be fifty feet (50') with a minimum average depth of eighty feet (80').  
26 That portion of a lot used for access on "flag" lots shall have minimum width  
27 of twenty feet (20').  
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- 1 C. The minimum frontage of a lot shall be forty feet (40') except that lots  
2 fronting on knuckles or cul-de-sacs may have a minimum frontage of thirty-  
3 five (35') and except that "flag" lots may have a minimum frontage of twenty  
4 (20') feet. Lot frontage along curvilinear streets may be measured at the  
5 building setback in accordance with zone development standards.
- 6 D. Side yards on interior and through lots shall be not less than five feet (5') in  
7 width. Side yards on corner and reversed corner lots shall be not less than ten  
8 feet (10') from the existing street line or from any future street line as shown  
9 on any Specific Plan of Highways, whichever is nearer the proposed structure,  
10 upon which the main building sides, except where the lot is less than fifty feet  
11 (50') wide, the yard need not exceed twenty percent (20%) of the width of the  
12 lot.
- 13 E. The rear yard shall be not less than fifteen feet (15') if adjacent to a greenbelt  
14 or other open space identified in Specific Plan No. 286. Otherwise, the rear  
15 yard shall not be less than twenty feet (20').
- 16 F. Chimneys and fireplaces shall be allowed to encroach into side yards a  
17 maximum of two feet (2'). No other structural encroachments shall be  
18 permitted in the front, rear or side yard except as provided for in Section  
19 18.19 of Ordinance No. 348.

20 In addition, the following standard shall also apply:

- 21 AA. Lot coverage shall not exceed fifty percent (50%) for one-story buildings.  
22 (3) Except as provided above, all other zoning requirements shall be the same as  
23 those requirements identified in Article VI of Ordinance 348.

24 h. Planning Areas 12B, 16A, 16B, 26A, 33 and 45.

- 25 (1) The uses permitted in Planning Areas 12B, 16A, 16B, 26A, 33, and 45 of  
26 Specific Plan No. 286 shall be the same as those uses permitted in Article VIIIe, Section  
27 8.100 of Ordinance No. 348, except that uses permitted pursuant to Section 8.100.a.(1), (2),  
28 and (6) and b.(1) shall not be permitted. In addition, the permitted uses identified under

1 Section 8.100.a. shall include public parks and trails.

2 (2) The development standards for Planning Areas 12B, 16A, 16B, 26A, 33, and  
3 45 of Specific Plan No. 286 shall be the same as those standards identified in Article VIIIe,  
4 Section 8.101 of Ordinance No. 348.

5 (3) Except as provided above, all other zoning requirements shall be the same as  
6 those requirements identified in Article VIIIe of Ordinance No. 348.

7 i. Planning Areas 15, 26B and 46.

8 (1) The uses permitted in Planning Areas 15, 26B and 46 of Specific Plan No. 286  
9 shall be the same as those uses permitted in Article VI, Section 6.1 of Ordinance No. 348. In  
10 addition, the permitted uses identified under Section 6.1.a. shall also include public schools.

11 (2) The development standards for Planning Areas 15, 26B and 46 of Specific  
12 Plan No. 286 shall be the same as those standards identified in Article VI, Section 6.2 of  
13 Ordinance No. 348, except that the development standards set forth in Article VI, Section  
14 6.2.e.(3) and (4) shall be deleted and replaced by the following:

15 A. The rear yard shall be not less than twenty (20') feet.

16 B. Chimneys and fireplaces shall be allowed to encroach into side yards a  
17 maximum of two (2') feet. No other structural encroachments shall be  
18 permitted in the front, rear or side yard except as provided for in Section  
19 18.19 of Ordinance No. 348.

20 (3) Except as provided above, all other zoning requirements shall be the same as  
21 those requirements identified in Article VI of Ordinance No. 348.

22 j. Planning Area 18.

23 (1) The uses permitted in Planning Area 18 of Specific Plan No. 286 shall be the  
24 same as those uses permitted in Article IXb, Section 9.50 of Ordinance No. 348, except that  
25 the uses permitted pursuant to Section 9.50.a.(11), (23), (30), (32), (52) and (64); b.(5) and  
26 (7) shall not be permitted. In addition, the permitted uses identified under Section 9.50.a.  
27 shall also include single-family dwellings, multiple family dwellings, congregate care  
28 residential facilities, public and private recreation areas, and paseos/trails.

1           (2)     The developments standards for commercial uses within Planning Area 18 of  
2 Specific Plan No. 286 shall be the same as those standards identified in Article IXb, Section  
3 9.53 of Ordinance No. 348. For purposes of this ordinance amendment, a commercial use  
4 shall be defined as development that included any permitted use other than single-family  
5 dwellings, multiple family dwelling or apartments.

6           (3)     The development standards for residential uses and combined residential and  
7 commercial uses within Planning Area 18 of Specific Plan No. 286 shall be as follows:

8           A.     Lot area shall be not less than seven thousand two hundred (7,200) square feet  
9                 for detached single-family dwellings with a minimum average width of sixty  
10                feet (60') and a minimum average depth of one hundred feet (100').

11          B.     The minimum front and rear yards shall be twenty feet (20') and ten feet (10')  
12                 respectively for single-family dwellings. The minimum front and rear yards  
13                 shall be ten feet (10') for all other permitted uses that do not exceed thirty-five  
14                 feet (35') in height. Any portion of a building that exceeds thirty-five feet  
15                 (35') in height shall be set back from the front and rear lot lines no less than  
16                 ten feet (10') plus two (2') feet for each foot by which the height exceeds  
17                 thirty-five feet (35'). The front setback shall be measured from any existing  
18                 or future street line as shown on any specific street plan of the County. The  
19                 rear setback shall be measured from the existing rear lot line or from any  
20                 recorded alley or easement; if the rear line adjoins a street, the rear setback  
21                 requirement shall be the same as required for a front setback.

22          C.     The minimum side yard shall be five feet (5') for buildings that do not exceed  
23                 thirty-five feet (35') in height. Any portion of a building that exceeds thirty-  
24                 five feet (35') in height shall be set back from each side lot line five feet (5')  
25                 plus two feet (2') for each foot by which the height exceeds thirty-five feet  
26                 (35'). If the side yard adjoins a street, the side setback requirement shall be  
27                 the same as required for a front setback. No structural encroachments shall be  
28                 permitted in the front, side or rear yards except as provided in Section 18.19

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of Ordinance No. 348.

D. No structural encroachments shall be permitted in the front, side, or rear yard except as provided in Section 18.19 of Ordinance No. 348.

E. No lot shall have more than fifty percent (50%) of its net area covered with building or structures.

F. The maximum ratio of floor area to lot area shall not be greater than two to one (2:1), not including basement floor area.

G. All buildings and structures shall not exceed fifty feet (50') in height, unless a height up to seventy-five feet (75') is specifically permitted under the provisions of Section 18.34 of Ordinance No. 348.

H. Automobile storage space shall be provided as required by Section 18.12 of Ordinance No. 348.

I. Interior side yards may be reduced to accommodate zero lot line or common wall situations, except that, in no case shall the reduction in side yard areas reduce the required separation between detached structures.

J. Setback areas may be used for driveways, parking and landscaping.

K. A minimum of fifteen percent (15%) of the site proposed for development shall be landscaped and irrigated.

L. Trash collection areas shall be screened by landscaping or architectural features in such a manner as not to be visible from a public street or from any adjacent residential area.

M. Outside storage areas are prohibited.

N. Utilities shall be installed underground except that electrical lines rated at 33kV or greater may be installed above ground.

O. All lighting fixtures, including spot lights, electrical reflectors and other means of illumination for signs, structures, landscaping, parking, loading, unloading and similar areas, shall be focused, directed and arranged to

1 prevent glare to direct illumination on residential uses.

2 (4) Except as provided above, all other zoning requirement shall be the same as those  
3 requirements identified in Article IXb of Ordinance No. 348.

4 k. Planning Areas 28 and 30.

5 (1) The uses permitted in Planning Areas 28 and 30 of Specific Plan No. 286 shall  
6 be the same as those uses permitted in Article VI, Section 6.1 of Ordinance No. 348, except  
7 that uses permitted pursuant to Section 6.1.b.(1) and (3) and d. shall not be permitted.

8 (2) The development standards for Planning Areas 28 and 30 of Specific Plan No.  
9 286 shall be the same as those standards identified in Article VI, Section 6.2 of Ordinance  
10 No. 348, except that the development standards set forth in Article VI, Section 6.2.b., c., d.  
11 and e.(2) and (3) shall be deleted and replaced by the following:

12 A. Lot area shall be not less than twenty thousand (20,000) square feet. The  
13 minimum lot area shall be determined by excluding that portion of a lot that is  
14 used solely for access to the portion of a lot used as a building site.

15 B. The minimum average width of that portion of a lot to be used as a building  
16 site shall be one hundred feet (100') with a minimum average depth of one  
17 hundred fifty feet (150'). That portion of a lot used for access on "flag" lots  
18 shall have a minimum width of twenty feet (20').

19 C. The side yard shall not be less than ten feet (10').

20 D. The rear yard shall not be less than fifty feet (50').

21 (3) Except as provided above, all other zoning requirements shall be the same as  
22 those requirements identified in Article VI of Ordinance No. 348.

23 l. Planning Area 29.

24 (1) The uses permitted in Planning Area 29 of Specific Plan No. 286 shall be the  
25 same as those uses permitted in Article VI, Section 6.1 of Ordinance No. 348, except that  
26 uses permitted pursuant to Section 6.1.b.(I) and (3) and d. shall not be permitted.

27 (2) The development standards for Planning Area 29 of Specific Plan No. 286  
28 shall be the same as those standards identified in Article VI, Section 6.2 of Ordinance No.

1 348, except that the development standards set forth in Article VI, Section 6.2.b., c., d. and  
2 e.(2), (3) and (4) shall be deleted and replaced by the following:

- 3 A. Lot area shall be not less than two and one-half (2 1/2) gross acres. The  
4 minimum lot area shall be determined by excluding that portion of a lot that is  
5 used solely for access to the portion of a lot used as a building site.
- 6 B. The minimum average width of that portion of a lot to be used as a building  
7 site shall be fifty feet (50') with a minimum average depth of eighty feet (80').
- 8 C. The minimum frontage of a lot shall be forty feet (40').
- 9 D. Side yards on interior and through lots shall be not less than five feet (5') in  
10 width. Side yards on comer and reversed comer lots shall be not less than ten  
11 feet (10') from the existing street line or from any future street line as shown  
12 on any Specific Plan of Highways, whichever is nearer the proposed structure,  
13 upon which the main building sides, except where the lot is less than fifty feet  
14 (50') wide, the yard need not exceed twenty percent (20%) of the width of the  
15 lot.
- 16 E. The rear yard shall be not less than fifteen feet (15') if adjacent to a greenbelt  
17 or other open space identified in Specific Plan No. 286. Otherwise, the rear  
18 yard shall not be less than twenty feet (20').
- 19 F. Chimneys and fireplaces shall be allowed to encroach into side yards a  
20 maximum of two (2) feet. No other structural encroachments shall be  
21 permitted in the front, rear or side yard except as provided for in Section  
22 18.19 of Ordinance No. 348.

23 In addition, the following standard shall also apply:

- 24 AA. Lot coverage shall not exceed fifty percent (50%).
- 25 (3) Except as provided above, all other zoning requirements shall be the same as  
26 those requirements identified in Article VI of Ordinance 348.

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28 m. Planning Area 36.

1 (1) The uses permitted in Planning Area 36 of Specific Plan No. 286 shall be the  
2 same as those uses permitted in Article IXb, Section 9.50 of Ordinance No. 348 except that  
3 the uses permitted pursuant to Section 9.50.a.(30), (52), and (64) shall not be permitted.

4 (2) The development standards for Planning Area 36 of Specific Plan No. 286  
5 shall be the same as those standards identified in Article IXb, Section 9.53 of Ordinance No.  
6 348.

7 (3) Except as provided above, all other zoning requirements shall be the same as  
8 those requirements identified in Article IXb of Ordinance No. 348.

9 n. Planning Area 40.

10 (1) The uses permitted in Planning Area 40 of Specific Plan No. 286 shall be the  
11 same as those uses permitted in Article VI, Section 6.1 of Ordinance No. 348, except that  
12 uses permitted pursuant to Section 6.1.A.(3), (5), (7), (8), and (9); B.(5) and (6); C.(1); and  
13 E.(1). shall not be permitted.

14 (2) The development standards for Planning Area 40 of Specific Plan No. 286  
15 shall be the same as those standards identified in Article VI, Section 6.2 of Ordinance No.  
16 348, except that the development standards set forth in Article VI, Section 6.2. A., B., C., D.,  
17 E., F., and G. shall be deleted and replaced by the following:

18 A. Building height shall not exceed three stories, with a maximum height of forty  
19 (40') feet.

20 B. Lot area shall be not less than two thousand seven hundred (2,700) square  
21 feet.

22 C. The minimum average width of that portion of a lot to be used as a building  
23 site shall be forty feet (40') with a minimum average depth of sixty-eight feet  
24 (68'). That portion of a lot used for access on flag lots shall have minimum  
25 width of twenty feet (20').

26 D. The minimum frontage of a lot shall be forty feet (40') except that lots  
27 fronting on knuckles or cul-de-sacs may have a minimum frontage of twenty  
28 feet (20') and flag lots may have a minimum frontage of twenty feet (20'). The



1 minimum frontage of each abutting lot utilizing shared private driveways  
2 shall be fifteen (15') feet, provided that the combined frontage of these  
3 abutting lots have a minimum combined frontage of thirty-five feet (35').

4 E. Minimum yard requirements are as follows:

- 5 1. The minimum front yard setback to a habitable portion of the main  
6 building shall be eight feet (8') measured from edge of the right-of-  
7 way or the back of sidewalk for a private residential street. The  
8 minimum front yard setback to side-in garages shall be eight feet (8').  
9 The minimum front yard setback to front facing garages shall be  
10 eighteen feet (18').
- 11 2. Side yards on interior and through lots shall be not less than three feet  
12 (3') in width. Side yards on corner and reversed corner lots shall be  
13 not less than ten feet (10').
- 14 3. The rear yard shall be not less than ten feet (10').
- 15 4. Chimneys, fireplaces, and other unhabitable architectural features that  
16 extend beyond the building face shall be allowed to encroach into  
17 setbacks a maximum of two feet (2') provided there is a minimum  
18 setback of three feet (3') provided from the edge of foundation to the  
19 property line. No other structural encroachments shall be permitted in  
20 the front, rear or side yard except as provided for in Section 18.19 of  
21 Ordinance No. 348.

22 F. Each dwelling unit shall provide a minimum of two (2) garage spaces.

23 G. In no case shall more than eighty percent (80%) of any lot be covered by  
24 dwelling.

25 In addition, the following standard shall also apply:

- 26 AA. No Parking curb striping shall be provided at the outside curve of knuckle and  
27 corner conditions.
- 28 BB. Zero-inch, mountable, or rolled curbs shall be provided at knuckle and corner

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conditions to allow for fire apparatus turning movements.

CC. Shared private driveways are allowed from a private street to serve a maximum of two (2) dwelling units, provided that the shared driveway is no less than twenty (20') feet wide for its entire length.

(3) Except as provided above, all other zoning requirements shall be the same as those requirements identified in Article VI of Ordinance 348.

o. Planning Area 41.

(1) The uses permitted in Planning Area 41 of Specific Plan No. 286 shall be the same as those uses permitted in Article VIII, Section 8.1 of Ordinance No. 348.

(2) The development standards for Planning Areas 41 of Specific Plan No. 286 shall be the same as those standards identified in Article VIII, Section 8.2 of Ordinance No. 348.

(3) The residential uses within Planning Area 41 of Specific Plan No. 286 shall also be subject to the standards for Planned Residential Developments set forth in Article XVIII, Section 18.5 of Ordinance 348 except that the standards set forth in Section 18.5 b. and c. shall be deleted and replaced with the following:

A. Not less than 20 percent (20%) of a project area shall be used for open area or recreational facilities, or a combination thereof. The height of buildings shall not exceed thirty-five feet (35') and the distance between buildings shall be ten feet (10').

B. Building setbacks from a project's interior streets and boundary lines shall be eight feet (8'). The minimum building setback from interior drives shall be five feet (5').

(4) Except as provided above, all other zoning requirements shall be the same as those requirements identified in Article VIII of Ordinance No. 348.

p. Planning Area 43.

1           (1)     The uses permitted in Planning Area 43 of Specific Plan No. 286 shall be the  
2 same as those uses permitted in Article VI, Section 6.1 of Ordinance No. 348, except that  
3 uses permitted pursuant to Section 6.1.b.(1) and (3) and d. shall not be permitted.

4           (2)     The development standards for Planning Area 43 of Specific Plan No. 286  
5 shall be the same as those standards identified in Article VI, Section 6.2 of Ordinance No.  
6 348, except that the development standards set forth in Article VI, Section 6.2.b., c., d. and  
7 e.(2), (3) and (4) shall be deleted and replaced by the following:

- 8           A.     Lot area shall be not less than four (4) acres gross. The minimum lot area  
9 shall be determined by excluding that portion of a lot that is used solely for  
10 access to the portion of a lot used as a building site.
- 11           B.     The minimum average width of that portion of a lot to be used as a building  
12 site shall be fifty feet (50') with a minimum average depth of eighty feet (80').
- 13           C.     The minimum frontage of a lot shall be forty feet (40').
- 14           D.     Side yards on interior and through lots shall be not less than five feet (5') in  
15 width. Side yards on corner and reversed corner lots shall be not less than ten  
16 feet (10') from the existing street line or from any future street line as shown  
17 on any Specific Plan of Highways, whichever is nearer the proposed structure,  
18 upon which the main building sides, except where the lot is less than fifty feet  
19 (50') wide, the yard need not exceed twenty percent (20%) of the width of the  
20 lot.
- 21           E.     The rear yard shall be not less than fifteen feet (15') if adjacent to a greenbelt  
22 or other open space identified in Specific Plan No. 286. Otherwise, the rear  
23 yard shall not be less than twenty feet (20').
- 24           F.     Chimneys and fireplaces shall be allowed to encroach into side yards a  
25 maximum of two feet (2'). No other structural encroachments shall be  
26 permitted in the front, rear or side yard except as provided for in Section  
27 18.19 of Ordinance No. 348.

28           In addition, the following standard shall also apply:

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AA. Lot coverage shall not exceed fifty percent (50%).

(3) Except as provided above, all other zoning requirements shall be the same as those requirements identified in Article VI of Ordinance 348.

q. Planning Areas 47, 49, 50, and 51.

(1) The uses permitted in Planning Areas 47, 49, 50, and 51 of Specific Plan No. 286 shall be the same as those uses permitted in Article VI, Section 6.1 of Ordinance No. 348, except that uses permitted pursuant to Section 6.1.b.(1) and (3) and d. shall not be permitted.

(2) The development standards for Planning Areas 47, 49, 50, and 51 of Specific Plan No. 286 shall be the same as those standards identified in Article VI, Section 6.2 of Ordinance No. 348, except that the development standards set forth in Article VI, Section 6.2.c., and e.(3) and (4) shall be deleted and replaced by the following:

A. The minimum average width of that portion of a lot to be used as a building site shall be sixty feet (60') with a minimum average depth of one hundred feet (100'). However, for areas immediately adjacent to low density residential as shown on Figure 4-10 of Specific Plan No. 286, the minimum average width of that portion of the lot to be used as a building site shall be one hundred feet (100') with a minimum average depth of one hundred fifty feet (150'). That portion of a lot used for access on "flag" lots shall have minimum width of twenty feet (20').

B. The rear yard shall be not less than twenty feet (20'). However, for areas immediately adjacent to low-density residential as shown on Figure 4-10 of Specific Plan No. 286, the rear yard shall not be less than fifty feet (50').

C. Chimneys and fireplaces shall be allowed to encroach into side yards a maximum of two feet (2'). No other structural encroachments shall be permitted in the front, rear or side yard except as provided for in Section 18.19 of Ordinance No. 348.

(3) Except as provided above, all other zoning requirements shall

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be the same as those requirements identified in Article VI of Ordinance 348.

r. Planning Area 48.

(1) The uses permitted in Planning Area 48 of Specific Plan No. 286 shall be the same as those uses permitted in Article IXb, Section 9.50 of Ordinance No. 348, except that the uses permitted pursuant to Section 9.50.a.(14), (19), (22), (25), (29),(30), (37), (41), (43), (44), (49), (50), (52), (54), (62), (64), (69), (71), (72), (80), (85), and (91); b.(1), (2), (6), (7), (9), (13), (17), and (18) shall not be permitted.

(2) The development standards for Planning Area 48 of Specific Plan No. 286 shall be the same as those standards identified in Article IXb, Section 9.53 of Ordinance No. 348.

(3) Except as provided above, all other zoning requirements shall be the same as those requirements identified in Article IXb of Ordinance No. 348.”

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Section 3. This ordinance shall take effect thirty (30) days after its adoption.

BOARD OF SUPERVISORS OF THE COUNTY  
OF RIVERSIDE, STATE OF CALIFORNIA

By \_\_\_\_\_  
Chairman, Board of Supervisors

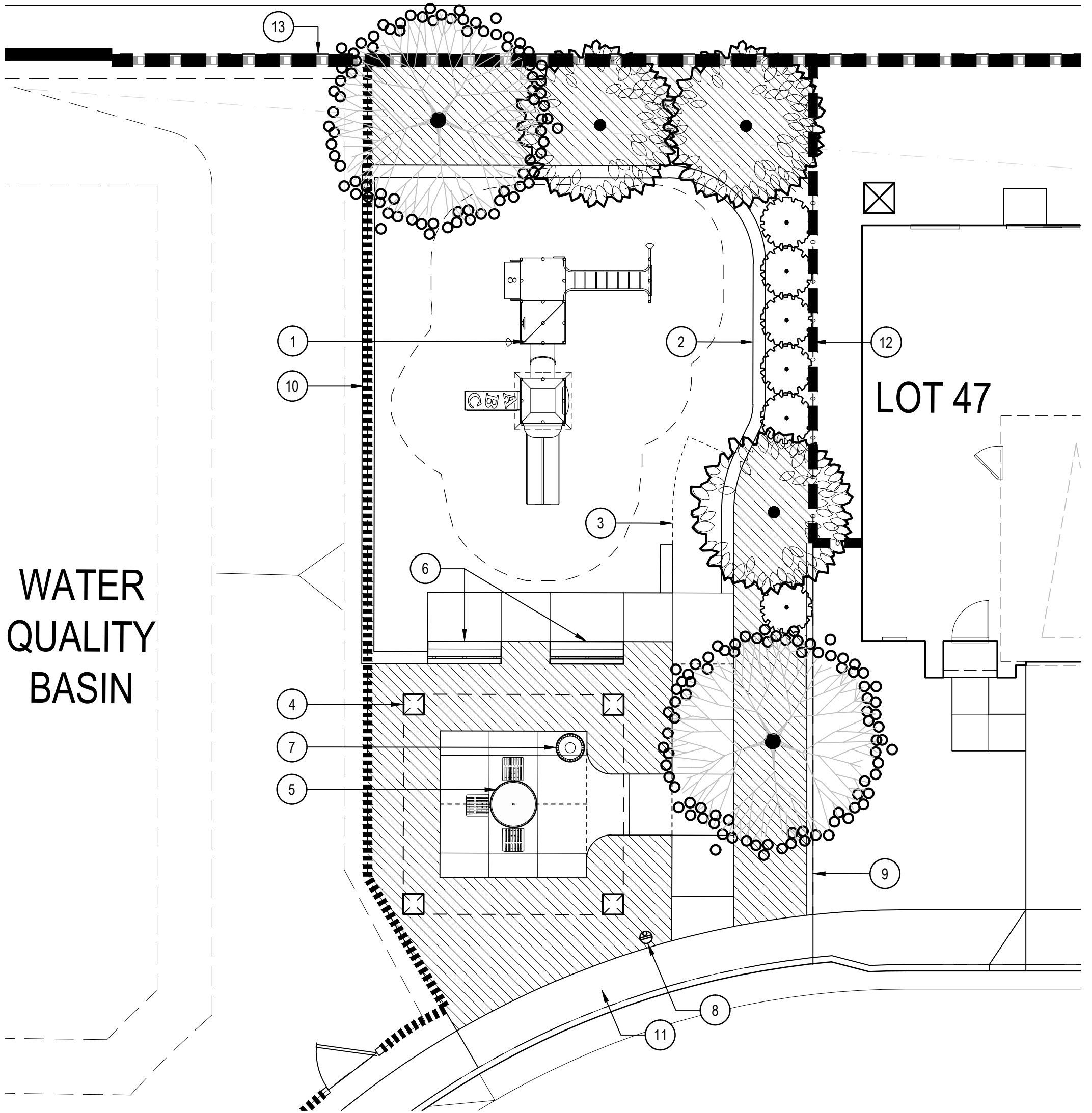
ATTEST:  
KECIA HARPER  
Clerk of the Board

By \_\_\_\_\_  
Deputy

(SEAL)

APPROVED AS TO FORM:  
August \_\_\_\_, 2020

By: \_\_\_\_\_  
AARON C. GETTIS  
Supervising Deputy County Counsel



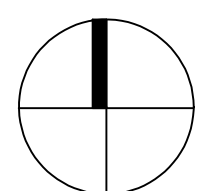
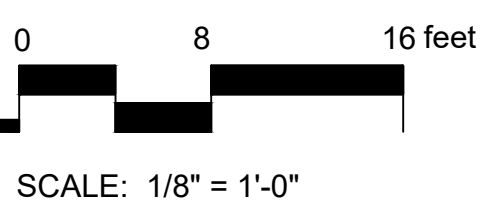
WATER  
QUALITY  
BASIN

LOT 47

**LEGEND**

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
1	PLAY STRUCTURE	8	DOG BAG STATION
2	12" WIDE TOT LOT CURB	9	MOW CURB
3	ADA ACCESSIBLE CONCRETE RAMP	10	BASIN FENCE
4	WOOD TRELLIS SHADE STRUCTURE	11	PUBLIC SIDEWALK
5	ADA PICNIC TABLE	12	RESIDENTIAL WALL
6	6'-0" BENCH	13	PERIMETER WALL
7	TRASH RECEPTACLE		

**LOT 46 PARK**  
**OPEN SPACE EXHIBIT**



**BGB | DESIGN GROUP**  
Landscape Architecture Planning Urban Design  
3185 C1 Airway Avenue Costa Mesa, CA 92626  
P: 714-545-2898 F: 714-545-2878 bgb-inc.com  
7/17/20





**TREE LEGEND**

TREES	BOTANICAL / COMMON NAME	SIZE	WUCOLS
	GLEDITSIA TRIACANTHOS INERMIS / THORNLESS COMMON HONEYLOCUST POURROY ROAD	24" BOX	LOW
	INTERIOR STREET TREES - AGONIS FLEXUOSA - QUERCUS ILEX - RHUS LANCEA	24" BOX	LOW
	LAGERSTROEMIA INDICA / CRAPE MYRTLE SAN REMO & BENTON ROAD MEDIAN	24" BOX	MEDIUM
	PINUS ELDERICA / AFGHAN PINE BENTON ROAD	24" BOX	LOW
	PODOCARPUS GRACILIOR / FERN PINE SAN REMO	24" BOX	MEDIUM
	PYRUS CALLERYANA 'BRADFORD' / BRADFORD FLOWERING PEAR BENTON ROAD	24" BOX	MEDIUM
	QUERCUS ILEX / HOLLY OAK BENTON ROAD MEDIAN	24" BOX	LOW
	SCHINUS MOLLE / CALIFORNIA PEPPER LARGE ACCENT TREE	24" BOX	LOW
	X CHITALPA TASHKENTENSIS / CHITALPA BASINS	24" BOX	MEDIUM
EXISTING	BOTANICAL / COMMON NAME	SIZE	WUCOLS
	GLEDITSIA TRIACANTHOS INERMIS EXISTING - EAST SIDE OF POURROY ROAD	EXISTING	
	LAGERSTROEMIA INDICA EXISTING - NORTH SIDE OF SAN REMO	EXISTING	
	PODOCARPUS GRACILIOR EXISTING - NORTH SIDE OF SAN REMO	EXISTING	

**PLANT PALETTE**

SHRUB - BOTANICAL / COMMON NAME	SIZE	WUCOLS
ANIGONANTHOS FLAVIDUS / KANGAROO PAW	5 GAL	LOW
CALLISTEMON VIMINALIS 'LITTLE JOHN' / DWARF WEEPING BOTTLEBRUSH	5 GAL	LOW
DIANELLA REVOLUTA 'BIG REV' / DIANELLA	5 GAL	LOW
ELAEAGNUS PUNGENS / THORNY ELAEAGNUS	5 GAL	LOW
LANTANA 'GOLD MOUND' / NEW GOLD LANTANA	5 GAL	LOW
MULLENBERGIA CAPILLARIS 'REGAL MISS' / MULHLY	5 GAL	LOW
OLEA EUROPAEA 'LITTLE OLLIE' / LITTLE OLLIE OLIVE	5 GAL	LOW
ROSMARINUS OFFICINALIS 'TUSCAN BLUE' / UPRIGHT ROSEMARY	5 GAL	LOW
WESTRINGIA FRUTICOSA 'SMOKEY' / SMOKEY WESTRINGIA	5 GAL	LOW
GROUNDCOVER - BOTANICAL / COMMON NAME	SIZE	WUCOLS
MYOPORUM PARVIFOLIUM 'PINK' / TRAILING MYOPORUM	1 GAL	LOW
ROSMARINUS O. 'HUNTINGTON CARPET' / HUNTINGTON CARPET ROSEMARY	1 GAL	LOW
VINE - BOTANICAL / COMMON NAME	SIZE	WUCOLS
MACFADYENA UNGUIS-CATI / YELLOW TRUMPET VINE	5 GAL	LOW
BASIN - BOTANICAL / COMMON NAME	SIZE	WUCOLS
BACCHARIS PILULARIS 'PIGEON POINT' / COYOTE BRUSH	5 GAL	LOW
CAREX PRAEGRACILIS / CALIFORNIA FIELD SEDGE	1 GAL	MEDIUM
JUNCUS PATENS / CALIFORNIA GRAY RUSH	5 GAL	LOW
BENTON ROAD MEDIAN - BOTANICAL / COMMON NAME	SIZE	WUCOLS
CALLISTEMON VIMINALIS 'LITTLE JOHN' / DWARF WEEPING BOTTLEBRUSH	5 GAL	LOW
DIETES BICOLOR / FORTNIGHT LILY	5 GAL	MEDIUM
RHAPHIOLEPIS INDICA 'BALLERINA' / BALLERINA INDIAN HAWTHORN	5 GAL	MEDIUM

**WALL AND FENCE LEGEND**

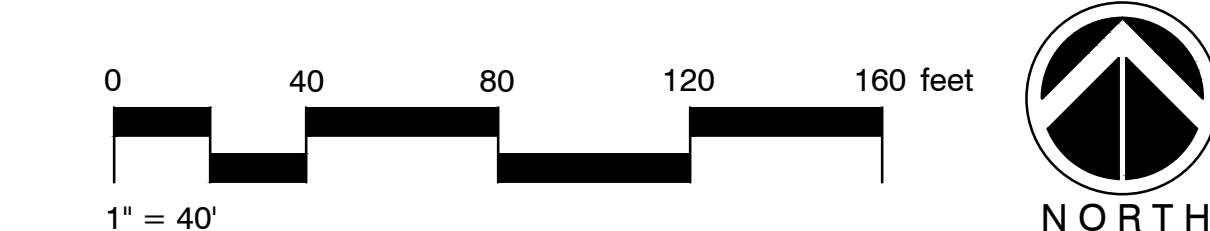
SYMBOL	DESCRIPTION	QTY
	BLOCK WALL	4,844 LF
	VINYL FENCE	7,797 LF
	TUBULAR STEEL FENCE	459 LF
	BLOCK PILASTER	
	REAR YARD GATE / ACCESS GATE	

**NOTES:**

- PRIOR TO PROJECT CONSTRUCTION, I AGREE TO SUBMIT A COMPLETE LANDSCAPE CONSTRUCTION DOCUMENT PACKAGE THAT COMPLIES WITH THE REQUIREMENTS OF APPLICABLE ORDINANCES, INCLUDING BUT NOT NECESSARILY LIMITED TO ORDINANCE NO. 859.3, ORDINANCE 348, ORDINANCE 461; PROJECT CONDITIONS OF APPROVAL; AND IN SUBSTANTIAL CONFORMANCE WITH THE APPROVED LANDSCAPE CONCEPT PLAN. SHOULD THE ORDINANCES BE REVISED, PLANS MAY BE SUBJECT TO CHANGE.
- MONUMENTS, INCLUDING FOOTINGS MUST NOT BE LOCATED WITHIN THE RIGHT-OF-WAY.
- BENTON ROAD STREETSCAPE MATCHING WITH EXISTING STREETSCAPE EAST OF PROJECT SITE.
- TREE 'CLEAR TRUNK HEIGHT' SHALL BE 5' MINIMUM ABOVE FINISH GRADE FOR VIEWING UNDER FOLIAGE CANOPY OF TREE. IF MATURE SPREAD DIA. OF TREE EXTENDS BEYOND THE CURB FACES, THERE SHALL BE 17' MIN. CLEARANCE ABOVE ROAD TO THE BRANCHING / FOLIAGE.
- PROVIDE VINES / LANDSCAPING FOR FENCING AND WALLS TO PREVENT GRAFFITI
- SHRUB PLANTINGS SHALL BE MIN. 5 GALLON, EXCEPT WHERE 1 GALLON PLANTS ARE APPROPRIATE.
- MAX. SHRUB HEIGHT AT MATURITY IN SIGHT LINES SHALL BE 24" ABOVE FINISH GRADE (OR LESS DEPENDING ON VERTICAL CURVE SIGHT VISIBILITY RESTRICTIONS)

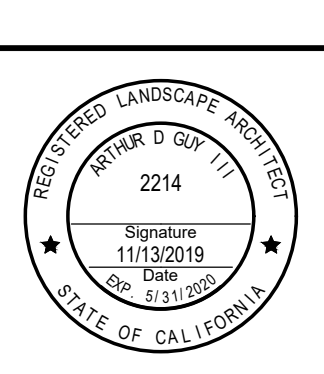
**EROSION CONTROL NOTES:**

- FOR SLOPES OVER 3 FEET IN VERTICAL HEIGHT - GROUND COVER SHALL BE SPACED AT 12" MAX O.C.
- FOR SLOPES OVER 15 FEET IN VERTICAL HEIGHT - SHRUBS SHALL HAVE 10' MAX O.C. SPACING, TREES 20' MAX O.C. OR COMBINATION THEREOF



NO.	REVISIONS	APP'D	DATE

APPLICANT:  
  
**MLC Holdings, Inc.**  
 3 PETERS CANYON SUITE 310  
 IRVINE, CA 92606  
 CONTACT: AARON TALARICO (949) 372-3309  
 AARON.TALARICO@MERITAGEHOMES.COM



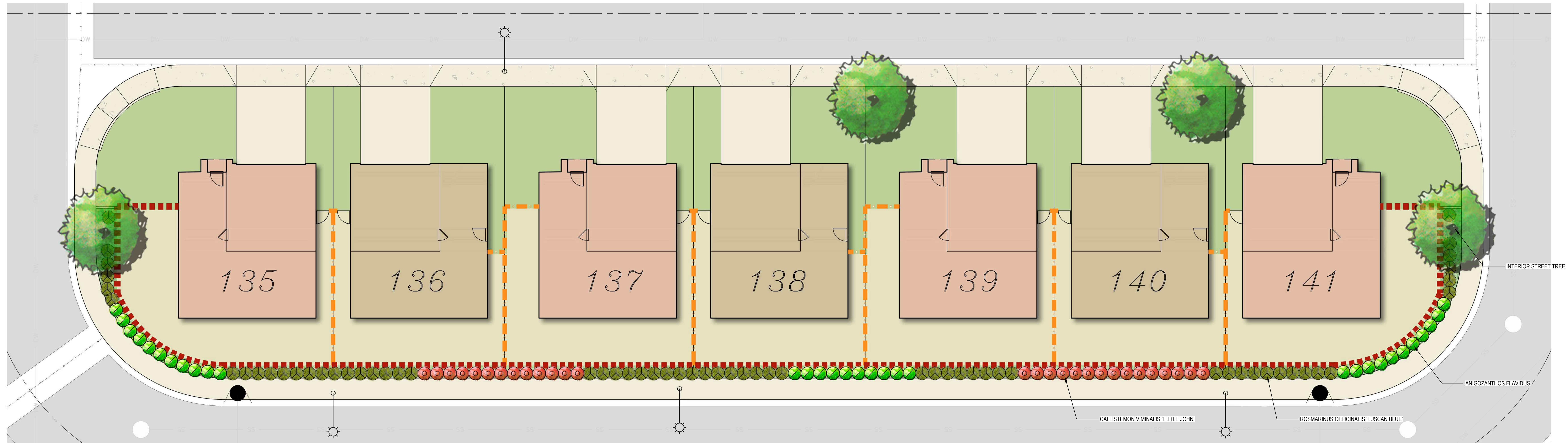
PREPARED BY:  
**BGB DESIGN GROUP**  
 Landscape Architecture Planning Urban Design  
 3185 C1 Airway Avenue Costa Mesa, CA 92626  
 P: 714-545-2998 F: 714-545-2878 bgb-inc.com  
 CONTACT: JEFF KRAUS  
 JKRAUS@BGB-INC.COM

DESIGNED BY: BCBP  
 DRAWN BY: NN / NK  
 CHECKED BY: JK  
 DATE: 11/13/2019

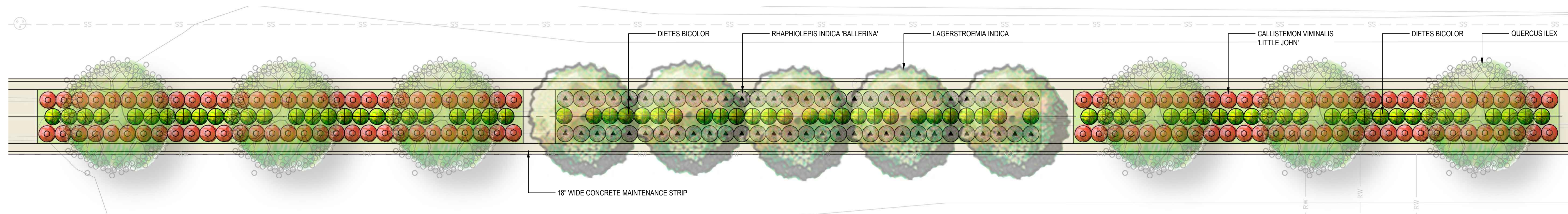
TENTATIVE TRACT - MAP 37715  
 BENTON ROAD & POURROY ROAD  
 WINCHESTER, CA  
**PRELIMINARY LANDSCAPE PLAN**

SHEET	1
OF	3
SHEETS	
JOB NO.	R310141.01

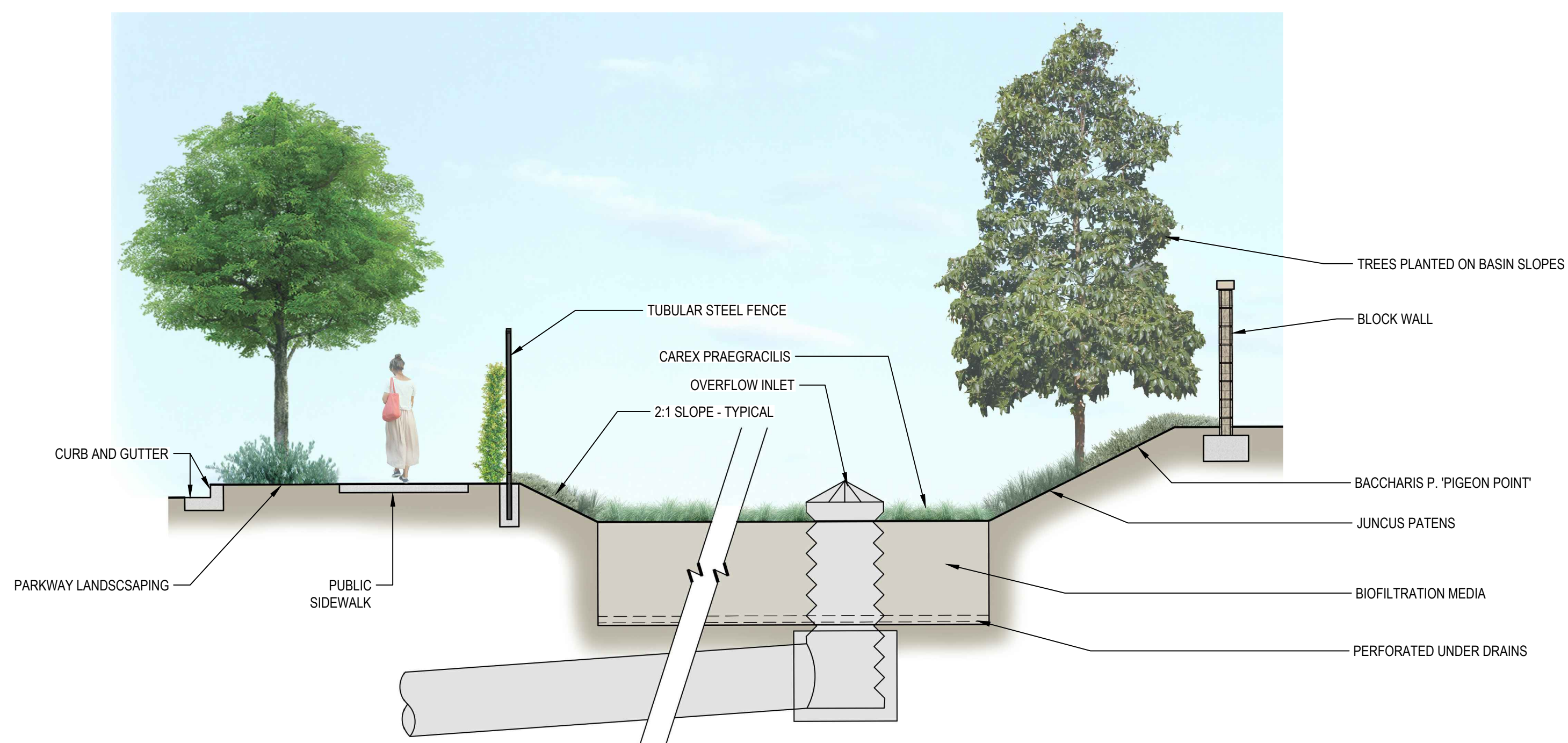




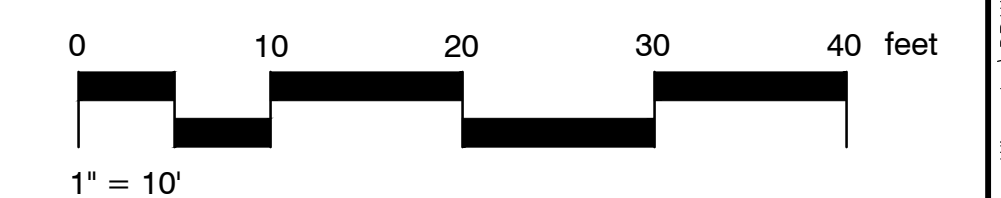
**TYPICAL HOA PLANTING SCHEME**  
SCALE: 1" = 10'



**TYPICAL MEDIAN PLANTING SCHEME - BENTON ROAD**  
SCALE: 1" = 10'

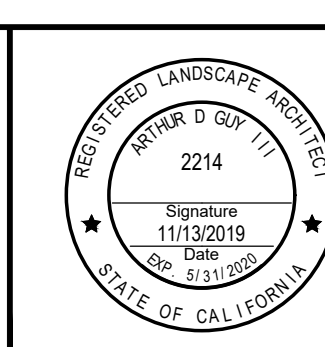


**TYPICAL BASIN SECTION**  
SCALE: 1/4" = 1'-0"



NO.	REVISIONS	APP'D	DATE

APPLICANT:  
**MLC Holdings, Inc.**  
 5 PETERS CANYON, SUITE 310  
 IRVINE, CA 92606  
 CONTACT: AARON TALARICO (949) 372-3309  
 AARON.TALARICO@MERITAGEHOMES.COM



PREPARED BY:  
**BGB | DESIGN GROUP**  
 Landscape Architecture Planning Urban Design  
 3185 C1 Airway Avenue Costa Mesa, CA 92626  
 P: 714-545-2898 F: 714-545-2878 bgb-inc.com  
 CONTACT: JEFF KRAUS  
 JKRAUS@BGB-INC.COM

DESIGNED BY: BCBF  
 DRAWN BY: NN / NK  
 CHECKED BY: JK  
 DATE: 11/13/2019

TENTATIVE TRACT - MAP 37715  
 BENTON ROAD & POURROY ROAD  
 WINCHESTER, CA  
**ENLARGEMENTS & SECTION**

SHEET 2 OF 3 SHEETS  
 JOB NO. R310141.01

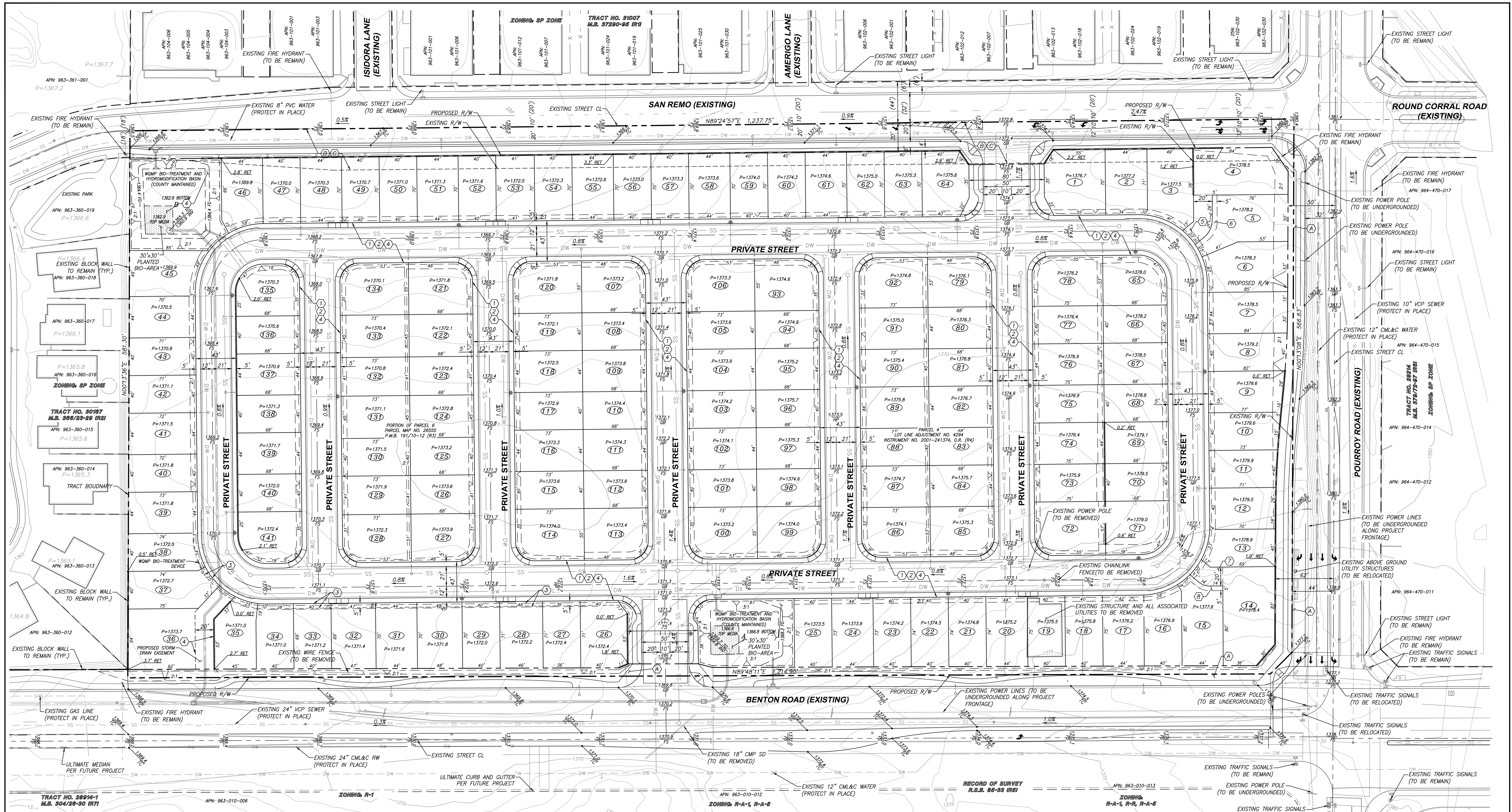












SOURCE OF EXISTING TOPOGRAPHY: FIELD SURVEY COMPLETED BY HUITT-ZOLLARS, DATED NOVEMBER 5, 2018.

**NOTES:**  
 1.) NO EXISTING WELLS ARE ON THE PROPERTY OR WITHIN 200 FEET OF THE PROPERTY BOUNDARY.  
 2.) SUBSURFACE SEPTIC SEWAGE DISPOSAL IS NOT INTENDED FOR THE PROPOSED DEVELOPMENT.  
 3.) PER GEOTECHNICAL REPORT NUMBER 2013-CR, PREPARED BY GEOTEK, DATED NOVEMBER 26, 2018, THE SITE IS NOT SUBJECT TO LIQUEFACTION, GEOLOGIC HAZARDS OR IS WITHIN A SPECIAL STUDIES ZONE.  
 4.) THE PROPERTY IS WITHIN FEMA ZONE D.  
 5.) ALL PROPOSED ONSITE SEWER AND WATER MAINS ARE TO BE PUBLICLY MAINTAINED BY EASTERN MUNICIPAL WATER DISTRICT.  
 6.) ALL SLOPES ARE TO BE GRADED AT 2:1 MAXIMUM.  
 7.) PROJECT SITE IS IN A VERY HIGH FIRE HAZARD AREA AND WITHIN A STATE RESPONSIBILITY AREA (SRA).

NOTE: ONLY THE 30'x30' BIO-AREAS ARE TO BE PLANTED, THE REMAINDER OF THE BASIN IS TO REMAIN UNPLANTED.

PROJECT IS LOCATED WITHIN A VERY HIGH FIRE HAZARD SEVERITY ZONE AND SHALL COMPLY WITH CBC CHAPTER 7A AND CFC CHAPTER 49.

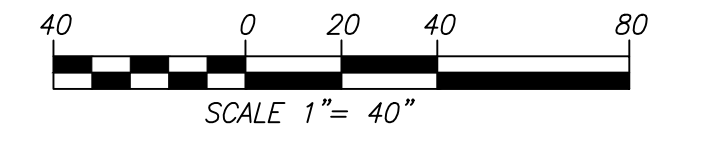
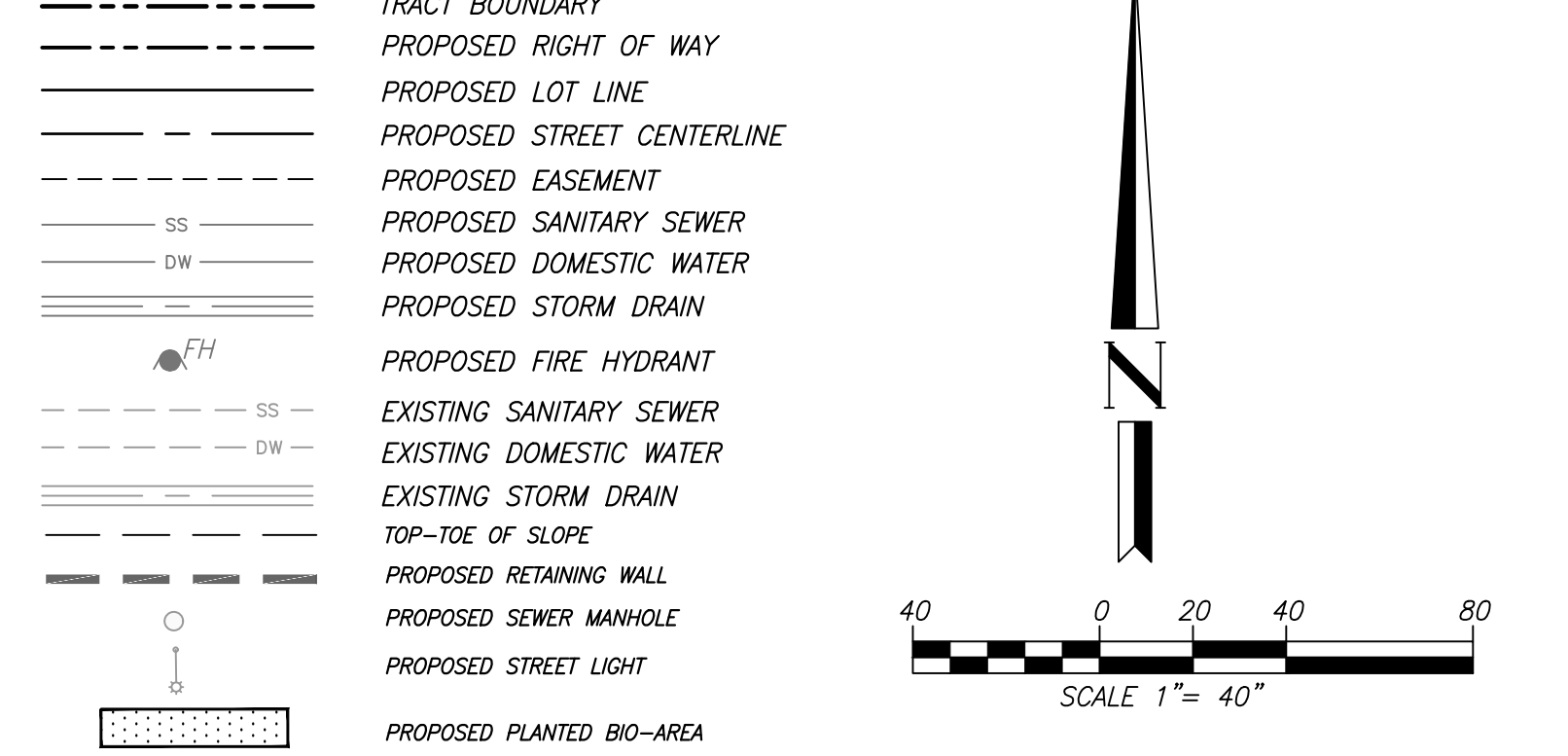
**EXISTING EASEMENTS**

- (A) ABUTTER'S RIGHT OF INGRESS AND EGRESS TO OR FROM BENTON ROAD AND POURROY ROAD, EXCEPT THE GENERAL EASEMENT OF TRAVEL AND EXCEPT THE TWO 60' ACCESS OPENINGS, HAVE BEEN DEDICATED OR RELINQUISHED ON PARCEL MAP NO. 26555 ON FILE IN BOOK 191, PAGE 10-12, OR PARCEL MAPS.
- (B) AN EASEMENT FOR PUBLIC ROAD, DRAINAGE, PUBLIC UTILITY AND PUBLIC SERVICES PURPOSES IN FAVOR OF THE COUNTY OF RIVERSIDE, RECORDED JULY 16, 2004, AS INSTRUMENT NO. 2004-0552053, OFFICIAL RECORDS.
- (C) AN EASEMENT OF PIPELINE PURPOSES IN FAVOR OF EASTERN MUNICIPAL WATER DISTRICT RECORDED JANUARY 28, 2005 AS INSTRUMENT NO. 2005-0080901, OFFICIAL RECORDS.

**PROPOSED EASEMENTS**

- (1) EMERGENCY VEHICLE ACCESS EASEMENT TO COUNTY OF RIVERSIDE.
- (2) SEWER AND WATER MAINTENANCE AND ACCESS EASEMENT TO EASTERN MUNICIPAL WATER DISTRICT.
- (3) DRAINAGE EASEMENT TO FUTURE H.O.A.
- (4) DRAINAGE EASEMENT TO COUNTY OF RIVERSIDE.
- (5) ACCESS EASEMENT FOR THE BENEFIT OF LOT 5
- (6) ACCESS EASEMENT FOR THE BENEFIT OF LOT 4
- (7) ACCESS EASEMENT FOR THE BENEFIT OF LOT 15
- (8) ACCESS EASEMENT FOR THE BENEFIT OF LOT 14

**LEGEND:**



NO.	REVISIONS	APP'D	DATE	APPLICANT/OWNER:	PREPARED BY:	DESIGNED BY:	DRAWN BY:	CHECKED BY:	DATE:	TENTATIVE TRACT MAP 37715 WINCHESTER, CA	SHEET 2 OF 2 SHEETS
				MLC Holdings, Inc. 5 PETERS CANYON, SUITE 310 IRVINE, CA 92606 CONTACT: AARON TALARICO (949) 372-3309	HUITT-ZOLLARS 2 03 Main Street, Suite 400 Irvine, CA 92614 P: 949.441.1155 F: 949.441.1150	SMC	SCP	SMC	01/23/2020	SCHEDULE A MAP	SHEET 2 OF 2 SHEETS



**NOTICE OF PUBLIC HEARING BEFORE THE BOARD OF SUPERVISORS OF RIVERSIDE COUNTY ON A GENERAL PLAN AMENDMENT, SPECIFIC PLAN AMENDMENT, CHANGE OF ZONE, AND TENTATIVE TRACT MAP IN THE RANCHO CALIFORNIA ZONING AREA – SOUTHWEST AREA PLAN, THIRD SUPERVISORIAL DISTRICT**

NOTICE IS HEREBY GIVEN that a public hearing at which all interested persons will be heard, will be held before the Board of Supervisors of Riverside County, California, on the 1<sup>st</sup> Floor Board Chambers, County Administrative Center, 4080 Lemon Street, Riverside, on **Tuesday, August 25, 2020 at 10:00 A.M.** or as soon as possible thereafter, to consider the Planning Department's recommended approval on **General Plan Amendment No. 190013**, which proposes to modify the General Plan Land Use Designation of the project site from Community Development: Commercial Retail (CD:CR) and from Community Development: Very High Density Residential (CD:VHDR) to Community Development: High Density Residential (CD:HDR). **Specific Plan No. 286A7**, which proposes to amend the Land Use designation for Planning Area 40 from CR to HDR and for Planning Area 41 from VHDR to HDR, re-configure the boundaries and acreages of Planning Areas 40 and 41, and re-allocate the unused units from Planning Area 41 to Planning Area 40. **Change Zone No. 1900017**, which proposes to revise the Specific Plan Zone Ordinance text and zoning map to reflect the re-configuration of the boundaries and acreages of Planning Area 40 and 41, and to modify the minimum lot size requirements, permitted uses, and other development standards for Planning Area 40. **Tentative Tract Map No. 37715**, which proposes to subdivide one (1) 16.6-acre lot into 140 residential lots and one lot for a pocket park. This project is located North of Benton Road, South of San Remo Drive, East of Winchester Road, and West of Pourroy Road in the Rancho California Zoning Area – Southwest Area Plan of Third Supervisorial District.

The Riverside County Planning Department recommends that the Board of Supervisors consider an **Addendum to Environmental Impact Report No. 374**, tentatively approve **General Plan Amendment No. 190013**, **Specific Plan No. 286 Amendment No. 7**, **Change of Zone No. 1900017**, and approve **Tentative Tract Map No. 37715**.

The Planning Department's report package for the project may be viewed from the date of this notice until the public hearing, Monday through Friday, from 8:00 a.m. to 5:00 p.m. at the Riverside County Planning Department at 4080 Lemon Street, 12th Floor, Riverside, California 92501.

FOR FURTHER INFORMATION REGARDING THIS PROJECT, PLEASE CONTACT DEBORAH BRADFORD, PROJECT PLANNER, AT (951) 955-6646 OR EMAIL [dbradfor@rivco.org](mailto:dbradfor@rivco.org).

Any person wishing to testify in support of or in opposition to the project may do so in writing between the date of this notice and the public hearing, or may appear and be heard at the time and place noted above. All written comments received prior to the public hearing will be submitted to the Board of Supervisors and the Board of Supervisors will consider such comments, in addition to any oral testimony, before making a decision on the project.

If you challenge the above item in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence to the Planning Department or Board of Supervisors at, or prior to, the public hearing. Be advised that as a result of the public hearing and the consideration of all public comment, written and oral, the Board of Supervisors may amend, in whole or in part, the project and/or the related environmental document. Accordingly, the designations, development standards, design or improvements, or any properties or lands within the boundaries of the project, may be changed in a way other than specifically proposed.

Alternative formats available upon request to individuals with disabilities. If you require reasonable accommodation, please contact Clerk of the Board at (951) 955-1063, at least 72 hours prior to hearing.

Please send all written correspondence to: Clerk of the Board, 4080 Lemon Street, 1st Floor, and Post Office Box 1147, Riverside, CA 92502-1147 or email [cob@rivco.org](mailto:cob@rivco.org)

Dated: August 10, 2020

Kecia R. Harper, Clerk of the Board  
By: Hannah Lumanauw, Board Assistant

PSEMPV

57179

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REMOVE SIDE EDGES FIRST  
THEN FOLD AND TEAR THIS STUB ALONG PERFORATION

REMOVE THESE EDGES FIRST  
FOLD, CREASE AND TEAR ALONG PERFORATION

REMOVE THESE EDGES FIRST  
FOLD, CREASE AND TEAR ALONG PERFORATION



Riverside County Clerk of the Board  
County Administrative Center  
4080 Lemon Street, 1<sup>st</sup> Floor Annex  
P. O. Box 1147  
Riverside, CA 92502-1147

**PUBLIC HEARING NOTICE**  
*This may affect your property*

PRESORTED  
FIRST CLASS



U.S. POSTAGE PITNEY BOWES  
ZIP 92504 \$ 000.43<sup>9</sup>  
02 4W  
0000348202 AUG 12 2020

SEE OTHER SIDE FOR  
OPENING INSTRUCTIONS

SEE OTHER SIDE FOR  
OPENING INSTRUCTIONS

CLERK / BOARD OF SUPERVISORS  
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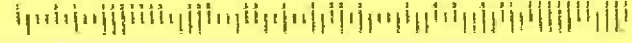
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36373 CINZIA LN  
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**NOTICE OF PUBLIC HEARING BEFORE THE BOARD OF SUPERVISORS OF RIVERSIDE COUNTY ON A GENERAL PLAN AMENDMENT, SPECIFIC PLAN AMENDMENT, CHANGE OF ZONE, AND TENTATIVE TRACT MAP IN THE RANCHO CALIFORNIA ZONING AREA – SOUTHWEST AREA PLAN, THIRD SUPERVISORIAL DISTRICT**

NOTICE IS HEREBY GIVEN that a public hearing at which all interested persons will be heard, will be held before the Board of Supervisors of Riverside County, California, on the 1<sup>st</sup> Floor Board Chambers, County Administrative Center, 4080 Lemon Street, Riverside, on **Tuesday, August 25, 2020 at 10:00 A.M.** or as soon as possible thereafter, to consider the Planning Department's recommended approval on **General Plan Amendment No. 190013**, which proposes to modify the General Plan Land Use Designation of the project site from Community Development: Commercial Retail (CD:CR) and from Community Development: Very High Density Residential (CD:VHDR) to Community Development: High Density Residential (CD:HDR). **Specific Plan No. 286A7**, which proposes to amend the Land Use designation for Planning Area 40 from CR to HDR and for Planning Area 41 from VHDR to HDR, re-configure the boundaries and acreages of Planning Areas 40 and 41, and re-allocate the unused units from Planning Area 41 to Planning Area 40. **Change Zone No. 1900017**, which proposes to revise the Specific Plan Zone Ordinance text and zoning map to reflect the re-configuration of the boundaries and acreages of Planning Area 40 and 41, and to modify the minimum lot size requirements, permitted uses, and other development standards for Planning Area 40. **Tentative Tract Map No. 37715**, which proposes to subdivide one (1) 16.6-acre lot into 140 residential lots and one lot for a pocket park. This project is located North of Benton Road, South of San Remo Drive, East of Winchester Road, and West of Pourroy Road in the Rancho California Zoning Area – Southwest Area Plan of Third Supervisorial District.

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Dated: August 10, 2020

Kecia R. Harper, Clerk of the Board  
By: Hannah Lumanauw, Board Assistant





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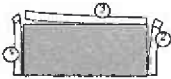
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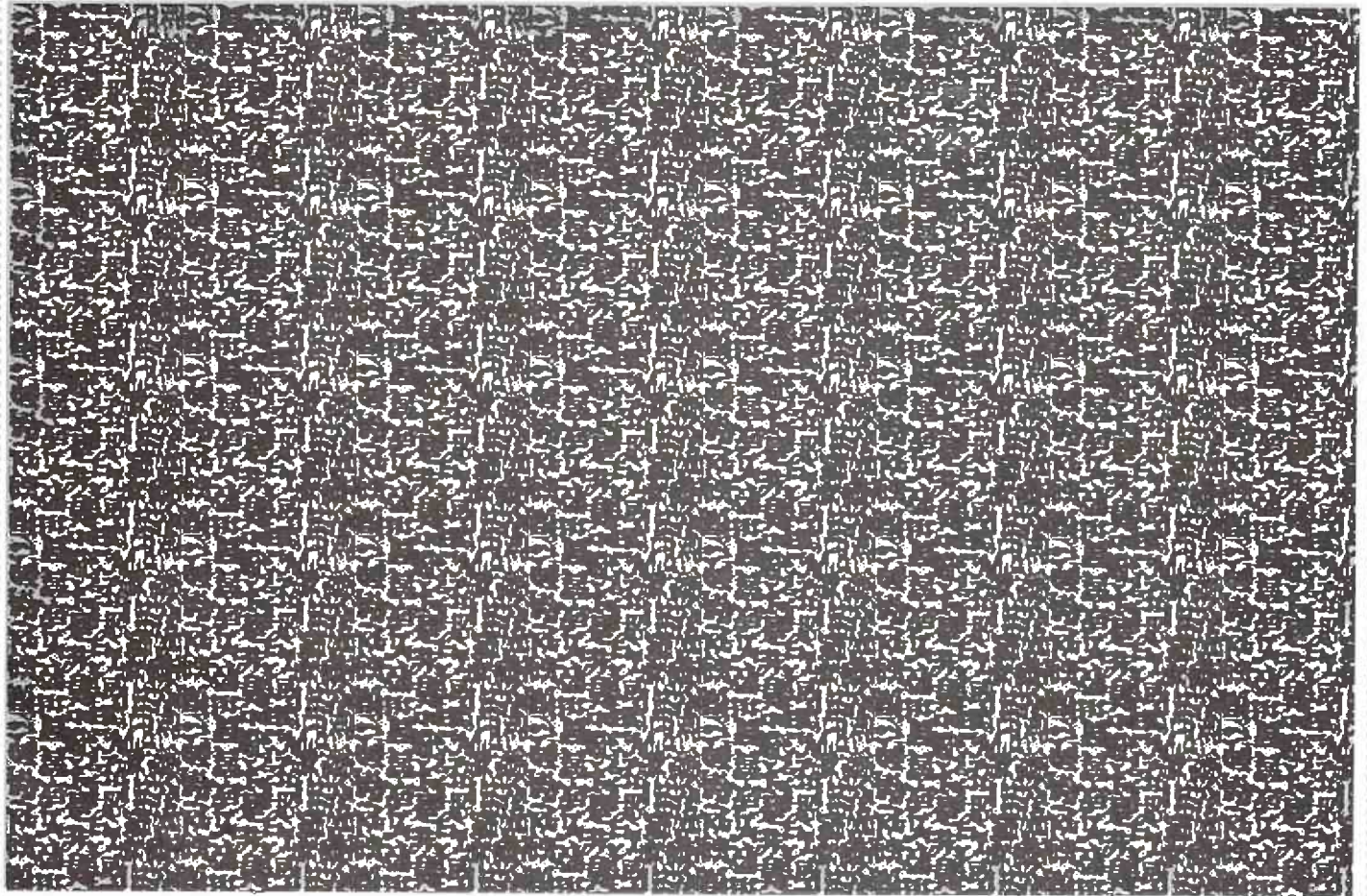




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REBECCA M. RAMIREZ  
P O BOX 77853  
CORONA CA 92877

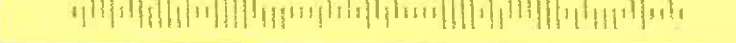
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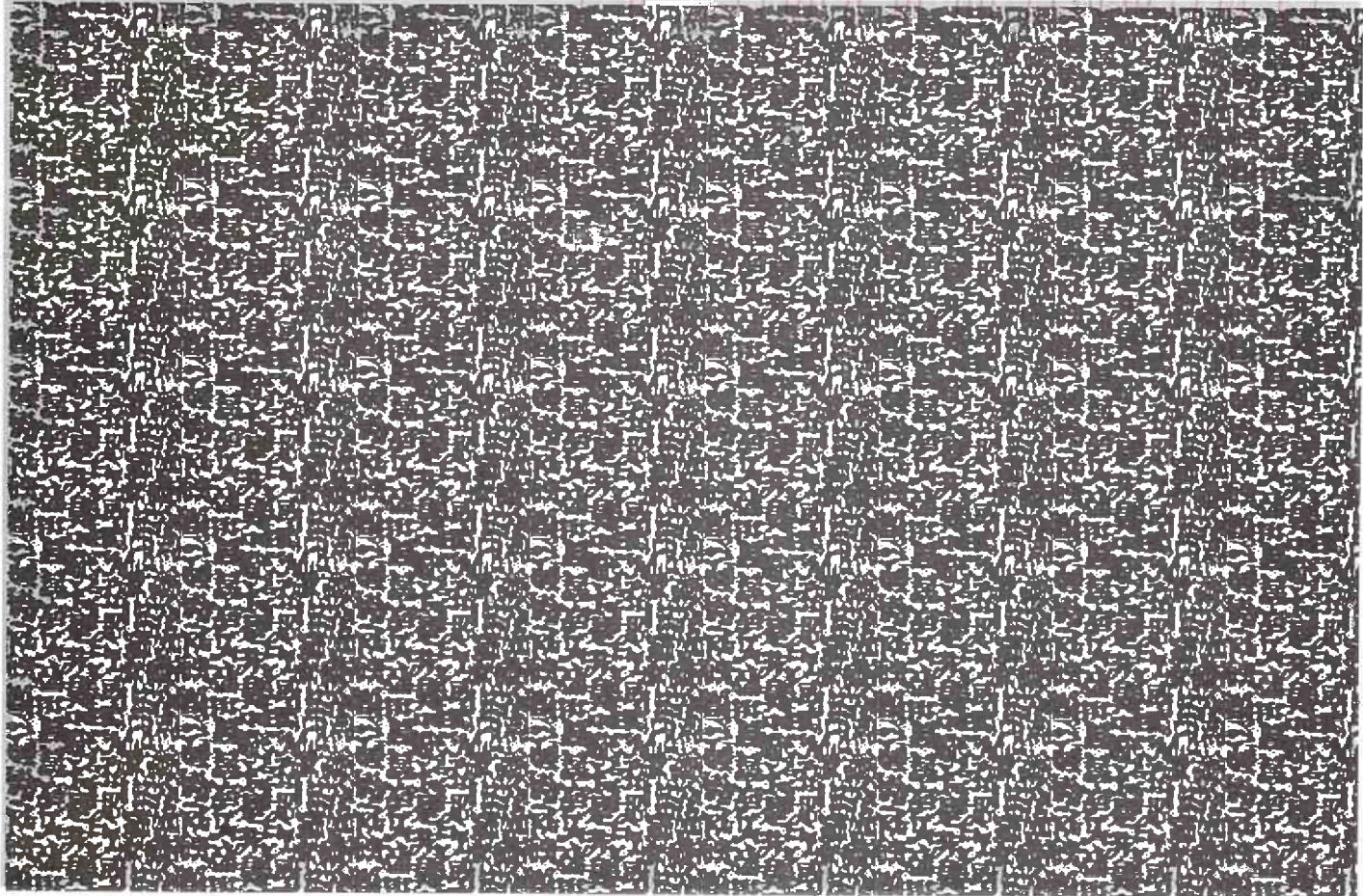
Dated: August 10, 2020

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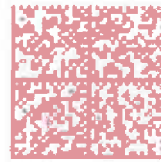


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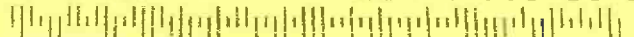
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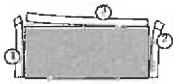
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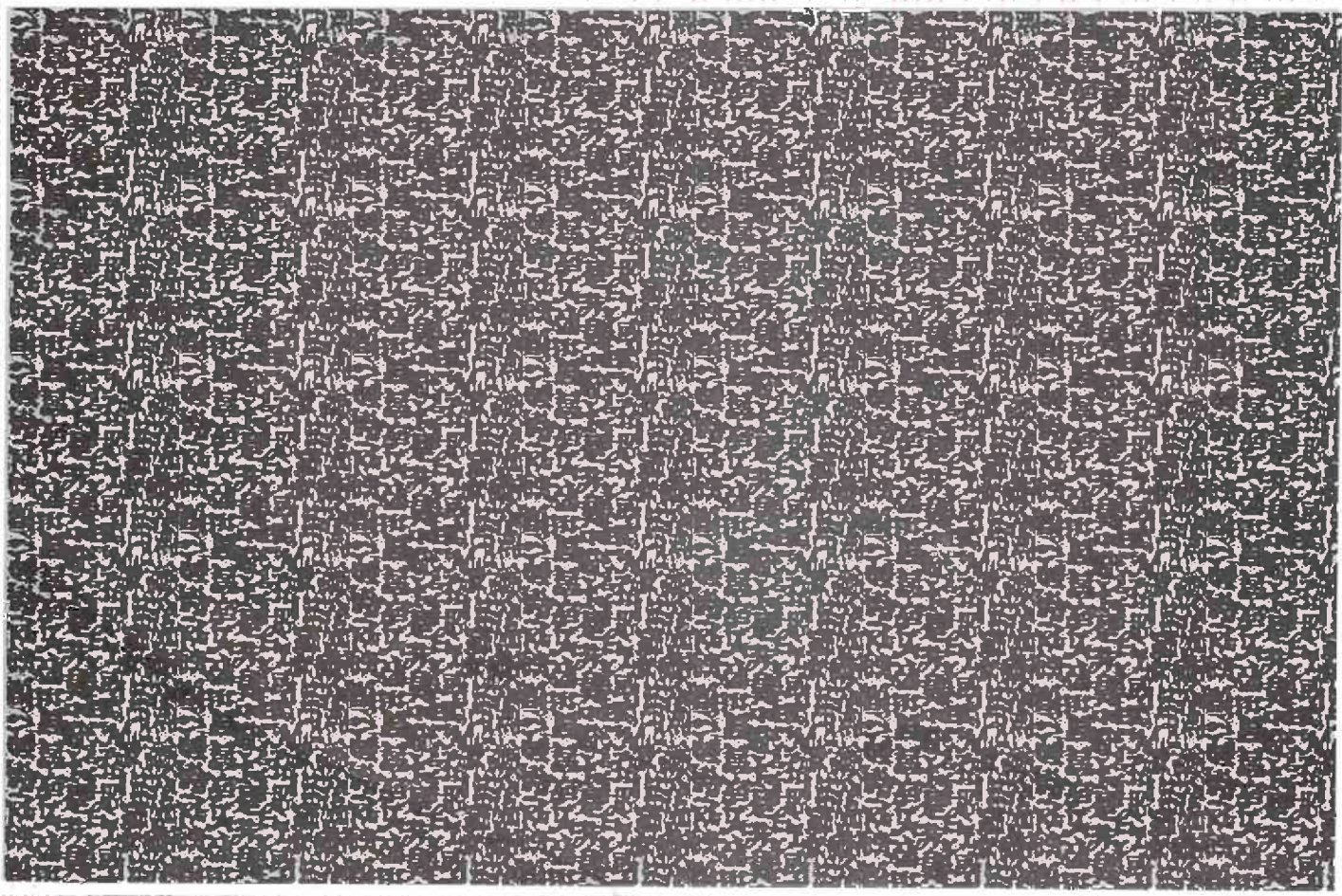




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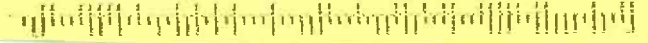
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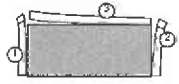
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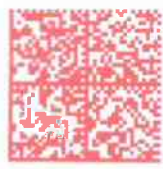
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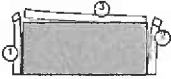
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Dated: August 10, 2020

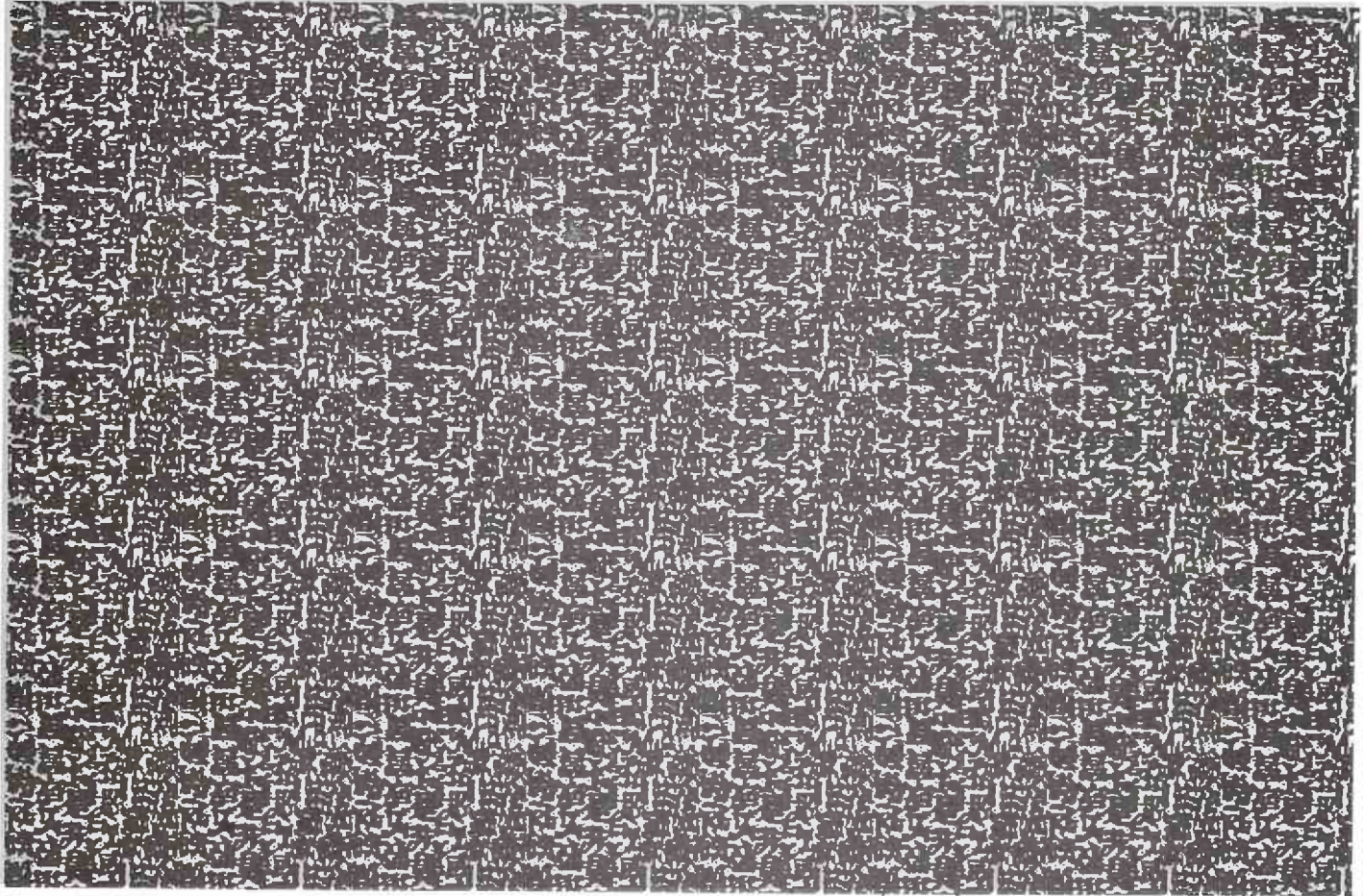
Kecia R. Harper, Clerk of the Board  
By: Hannah Lumanaw, Board Assistant



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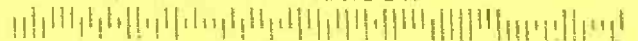
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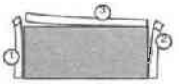
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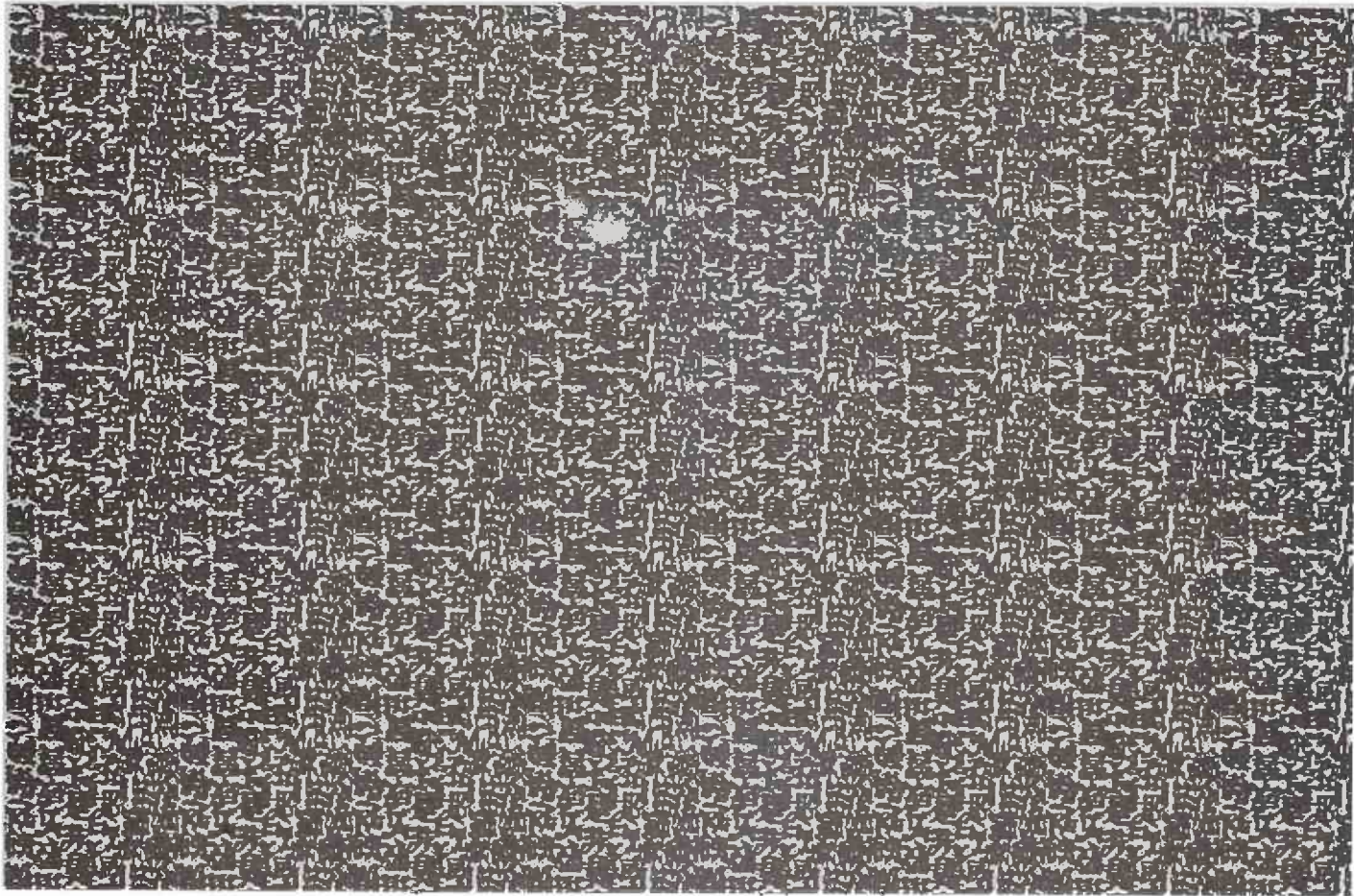




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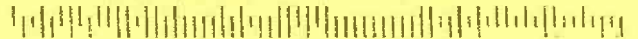
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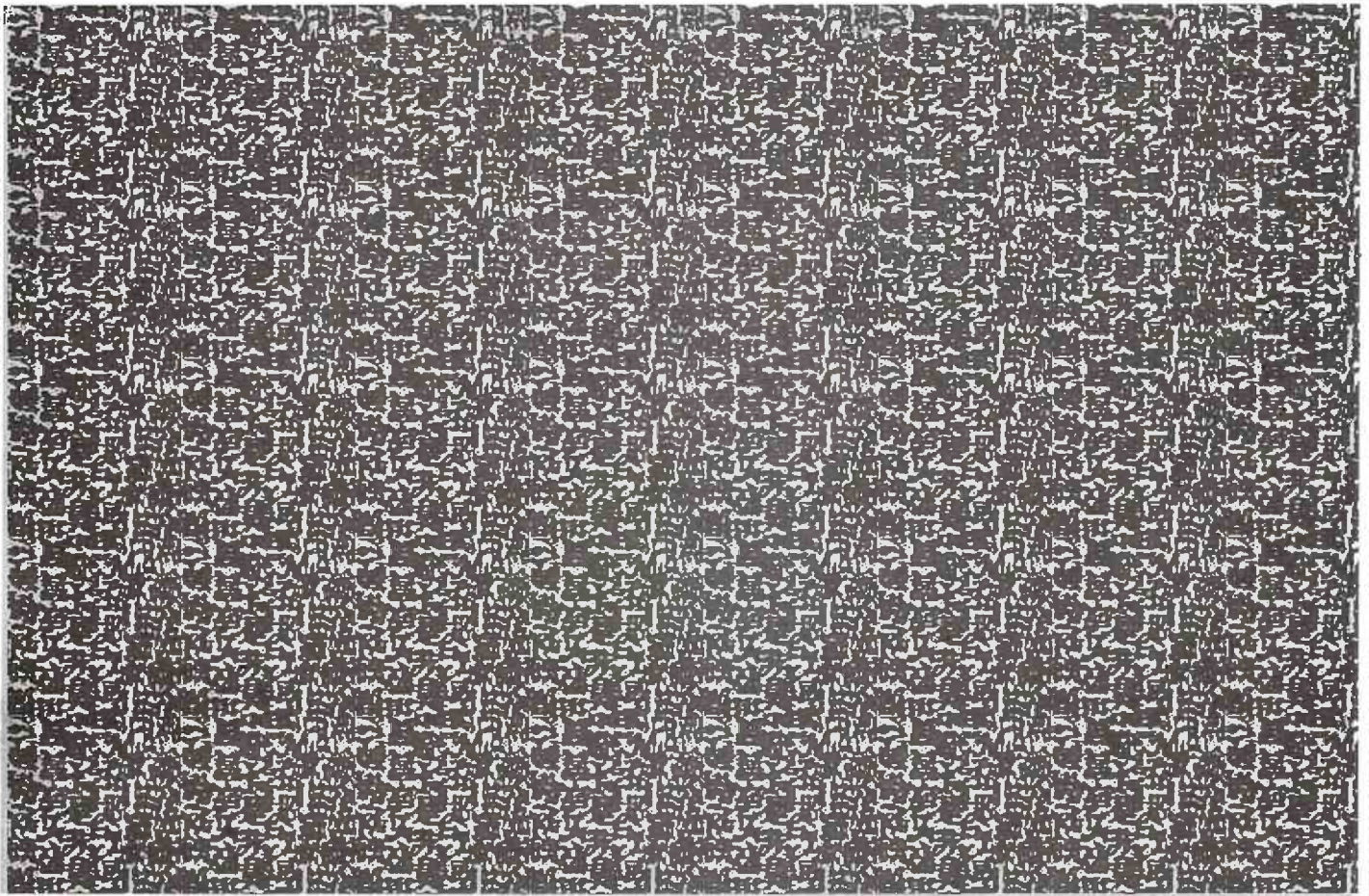




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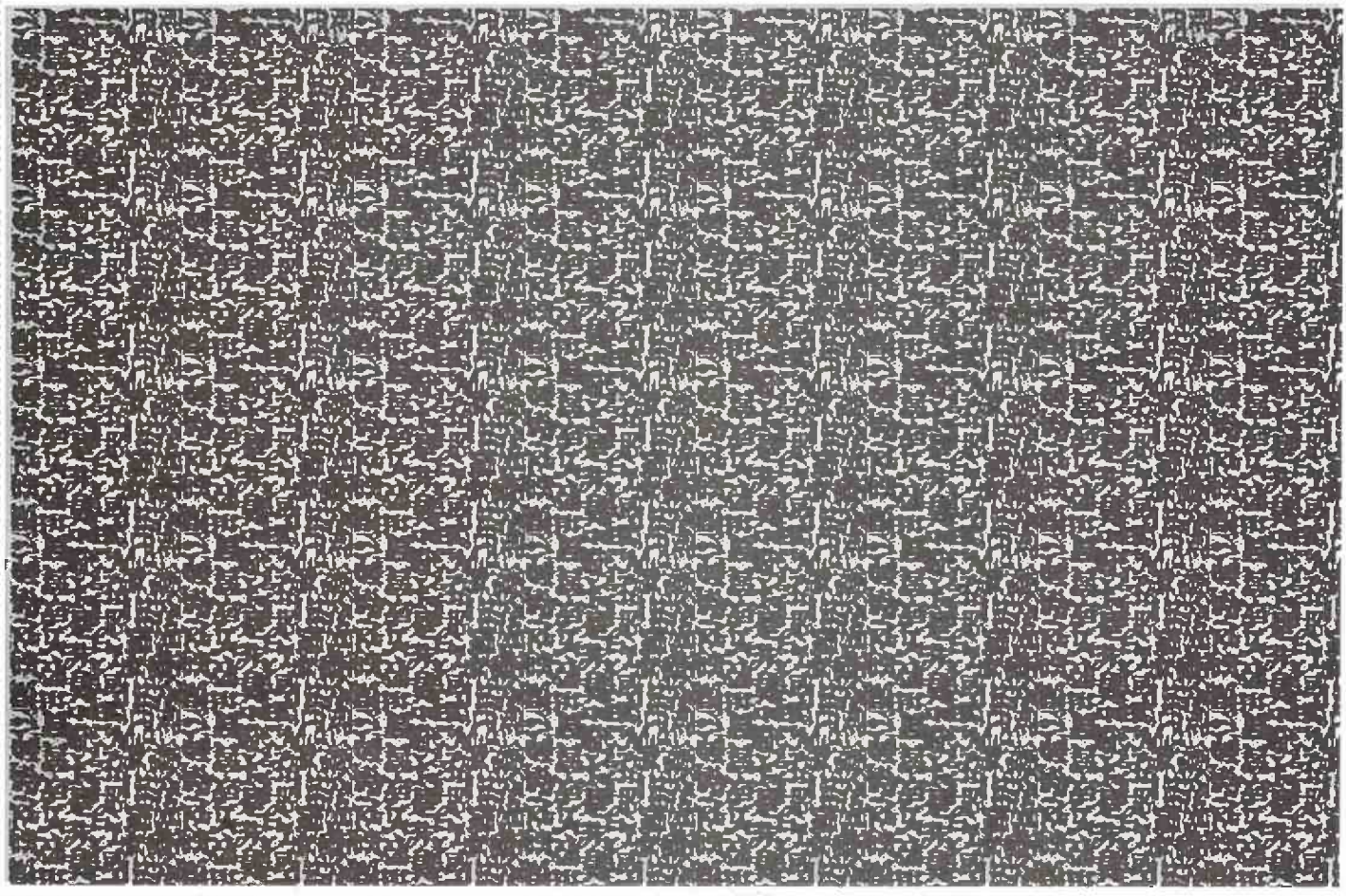
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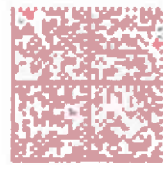
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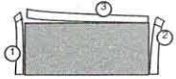
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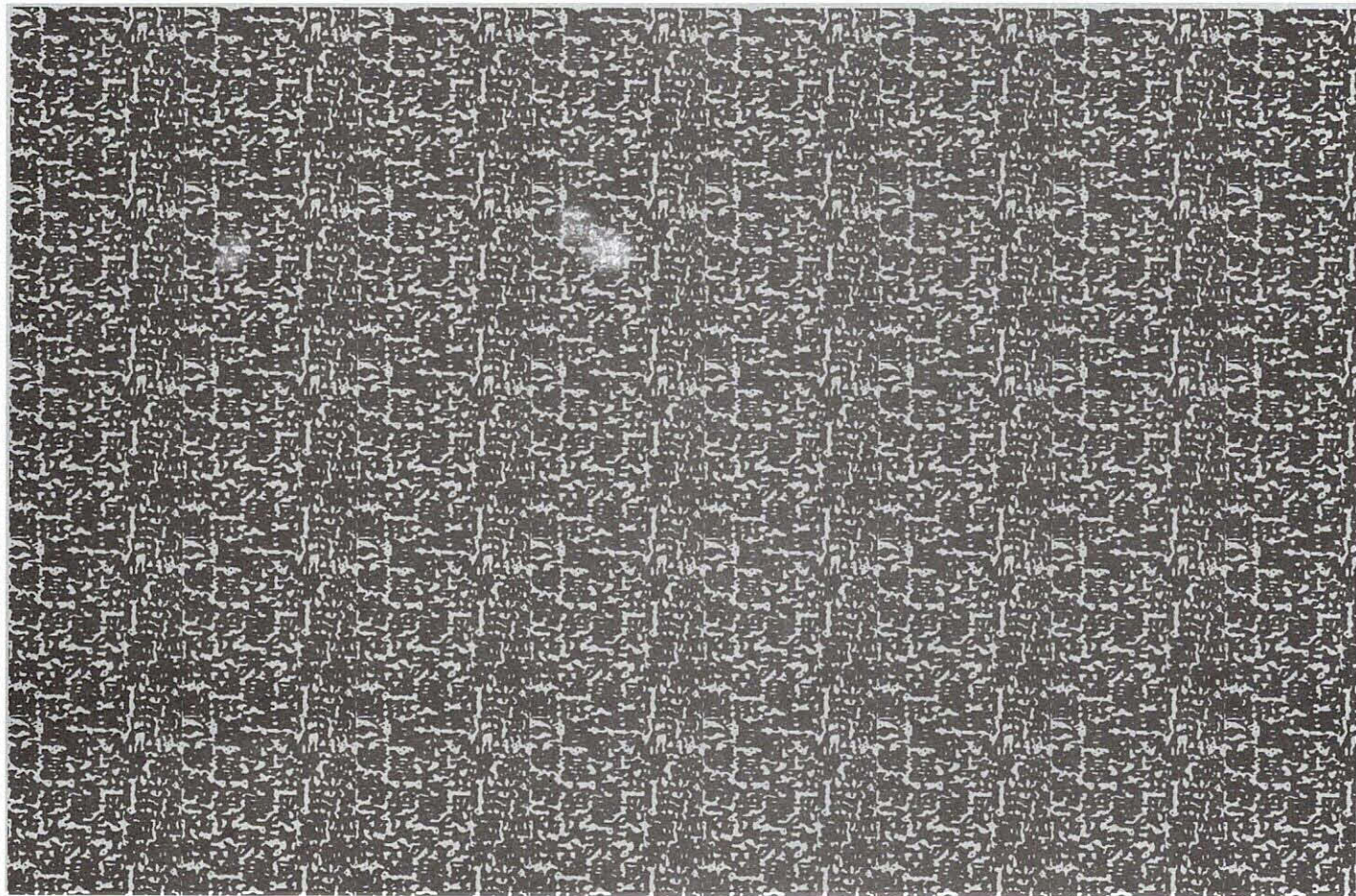




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BC: 92502114747 \*2152-08974-16-17

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**NOTICE OF PUBLIC HEARING BEFORE THE BOARD OF SUPERVISORS OF RIVERSIDE COUNTY ON A GENERAL PLAN AMENDMENT, SPECIFIC PLAN AMENDMENT, CHANGE OF ZONE, AND TENTATIVE TRACT MAP IN THE RANCHO CALIFORNIA ZONING AREA – SOUTHWEST AREA PLAN, THIRD SUPERVISORIAL DISTRICT**

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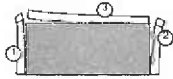
Alternative formats available upon request to individuals with disabilities. If you require reasonable accommodation, please contact Clerk of the Board at (951) 955-1063, at least 72 hours prior to hearing.

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Dated: August 10, 2020

Kecia R. Harper, Clerk of the Board  
By: Hannah Lumanauw, Board Assistant





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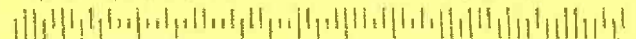
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36368 GRAZIA WAY  
WINCHESTER CA 92596

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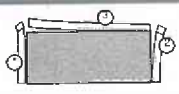
Dated: August 10, 2020

Kecia R. Harper, Clerk of the Board  
By: Hannah Lumanauw, Board Assistant

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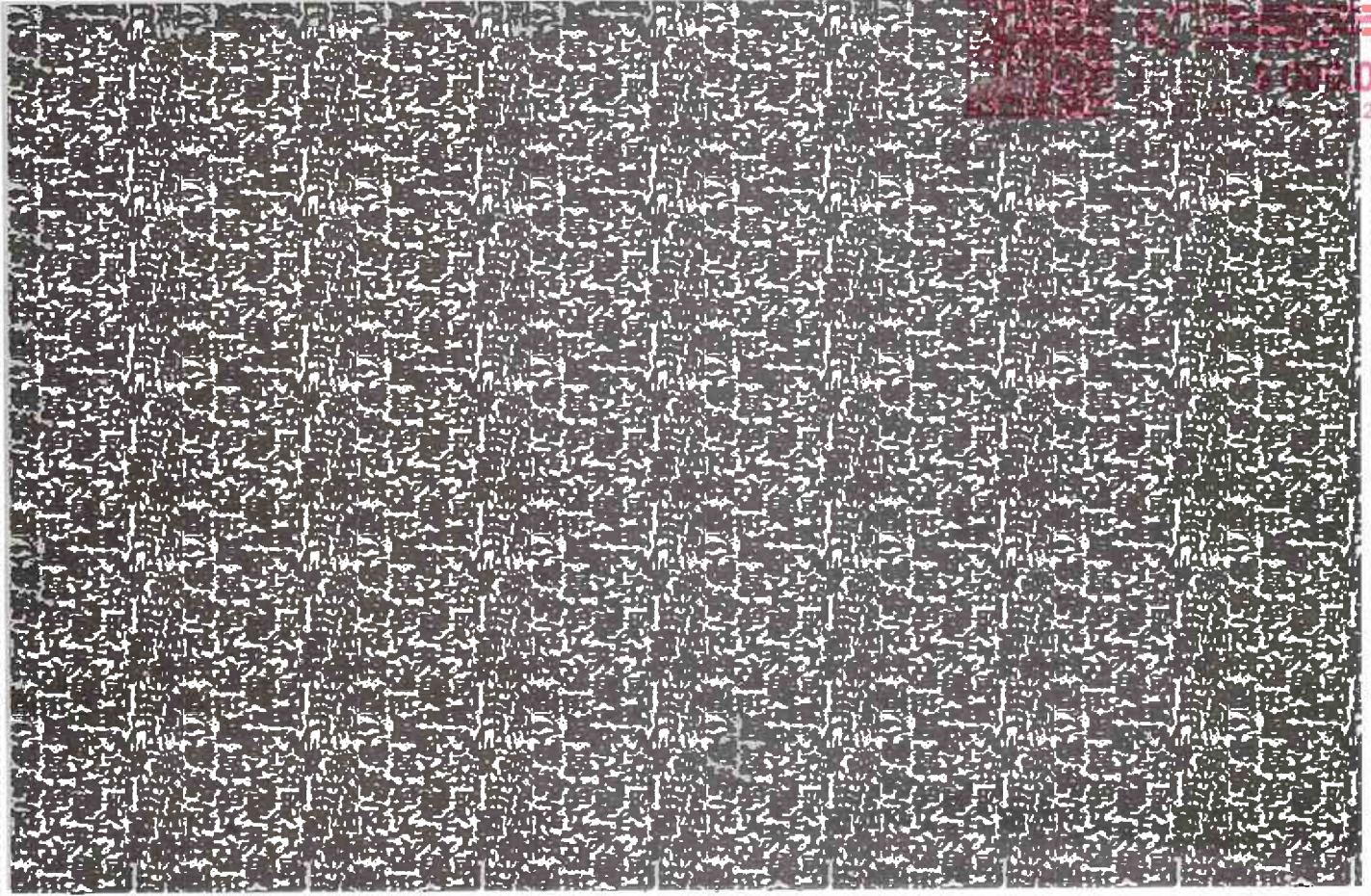
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By: Hannah Lumanauw, Board Assistant



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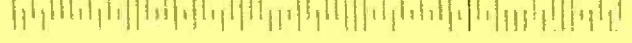
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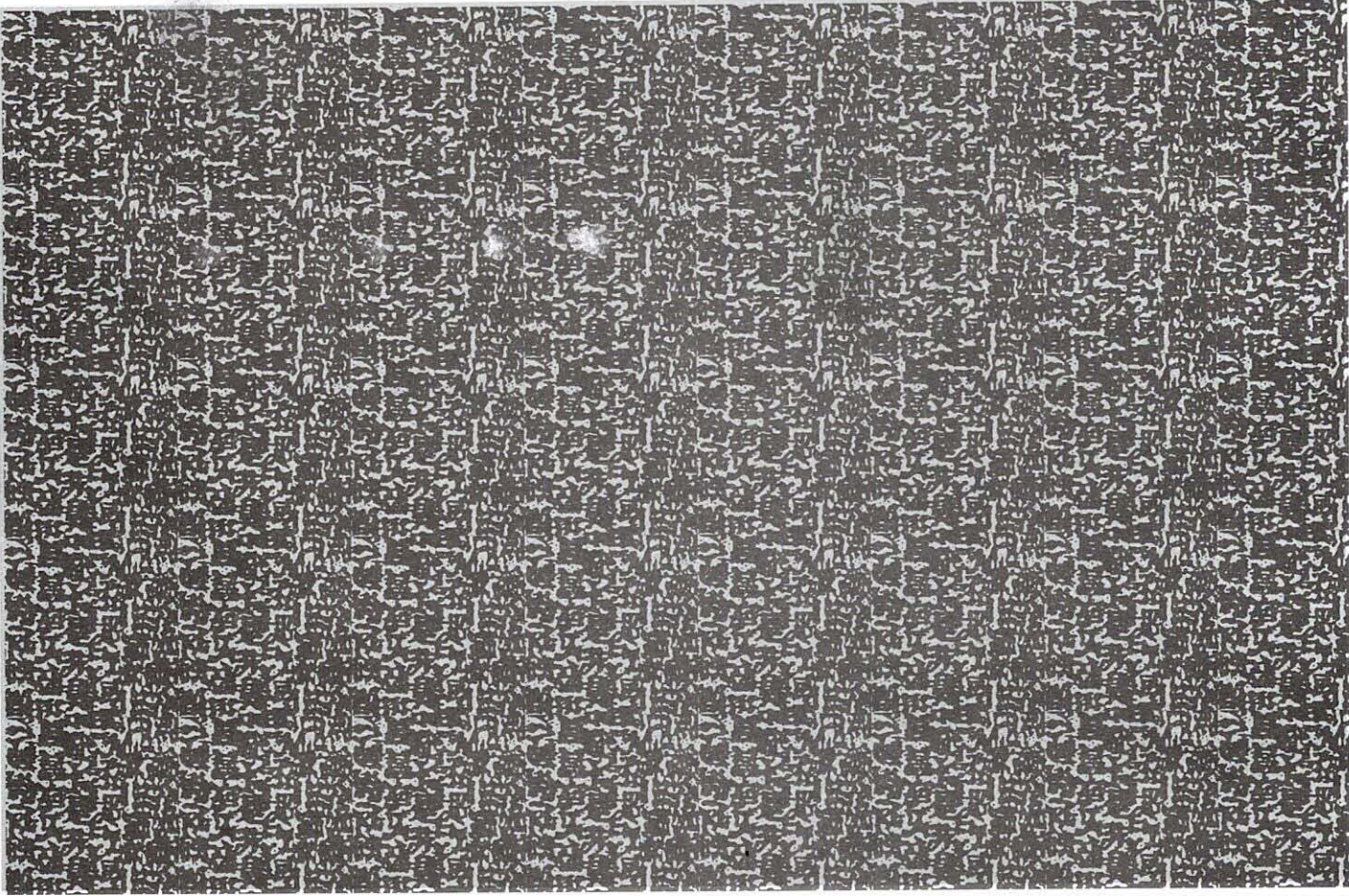


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36373 CINZIA LN  
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STATE OF CALIFORNIA - THE RESOURCES AGENCY  
DEPARTMENT OF FISH AND GAME  
**ENVIRONMENTAL FILING FEE CASH RECEIPT**

Receipt #: 20-263933

State Clearinghouse # (if applicable): \_\_\_\_\_

Lead Agency: RIVERSIDE COUNTY CLERK OF THE BOARD OF SUPERVISORS Date: 08/11/2020

County Agency of Filing: RIVERSIDE Document No: E-202000932

Project Title: GENERAL PLAN AMEND 190013, SPECIFIC PLAN 286A7, CZ 1900017, TTM 37715

Project Applicant Name: RIVERSIDE COUNTY CLERK OF THE BOARD OF Phone Number: (951) 955-1060

Project Applicant Address: 4080 LEMON STREET 1ST FLOOR ROOM 127, RIVERSIDE, CA 92501

Project Applicant: LOCAL PUBLIC AGENCY

CHECK APPLICABLE FEES:

- Environmental Impact Report \_\_\_\_\_
  - Negative Declaration \_\_\_\_\_
  - Application Fee Water Diversion (State Water Resources Control Board Only) \_\_\_\_\_
  - Project Subject to Certified Regulatory Programs \_\_\_\_\_
  - County Administration Fee \_\_\_\_\_ \$0.00
    - Project that is exempt from fees (DFG No Effect Determination (Form Attached))
    - Project that is exempt from fees (Notice of Exemption)
- Total Received \_\_\_\_\_ \$0.00

Signature and title of person receiving payment: *W. Sandral* Deputy

Notes:

8/25/20 21.2  
2020-11-148379



County of Riverside  
Peter Aldana  
Assessor-County Clerk-Recorder

E-20200932  
08/11/2020 02:06 PM Fee: \$ 0.00  
Page 1 of 1

Removed: SEP 21 2020 By:  Deputy

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MENT, SPECIFIC PLAN AMENDMENT, CHANGE OF ZONE, AND  
E RANCHO CALIFORNIA ZONING AREA - SOUTHWEST AREA  
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