

**SUBMITTAL TO THE BOARD OF SUPERVISORS
COUNTY OF RIVERSIDE, STATE OF CALIFORNIA**



ITEM: 1.2
(ID # 13379)

MEETING DATE:
Tuesday, September 22, 2020

FROM: TLMA-PLANNING:

SUBJECT: TRANSPORTATION AND LAND MANAGEMENT AGENCY/PLANNING: RECEIVE AND FILE THE PLANNING COMMISSION'S DECISION TO APPROVE CONDITIONAL USE PERMIT NO. 190022 AND TO FIND THE PROJECT EXEMPT FROM CEQA PER CEQA GUIDELINES SECTION 15061 (b)3 and 15303 (Small Facilities) – Applicant: Carl R. Wood – First Supervisorial District – Elsinore Area Plan – Lakeland Village Zoning District - General Plan: Community Development: Mixed Use Area (MUA)- 1.27 acres – Zoning: General Commercial (C-1/C-P) – Location: The southwest corner of Grand Avenue and Blanche Drive. – REQUEST: A Conditional Use Permit for the construction of a 9,100 square foot stand-alone retail store that will include the sale of beer and wine for off site consumption (Subject to a type 20 license), with associated parking and detention basin. - APN 381-344-023 – District 1. [Applicant fees 100%]

RECOMMENDED MOTION: That the Board of Supervisors:

1. **RECEIVE AND FILE** the Planning Commission Notice of Decision for the above-referenced project acted on by the Planning Commission on August 19, 2020.

ACTION: Consent

Charissa Leach, Assistant TLMA Director

9/10/2020

MINUTES OF THE BOARD OF SUPERVISORS

On motion of Supervisor Jeffries, seconded by Supervisor Spiegel and duly carried by unanimous vote, IT WAS ORDERED that the above matter is approved as recommended.

Ayes: Jeffries, Spiegel, Washington, Perez and Hewitt
Nays: None
Absent: None
Date: September 22, 2020
xc: Planning

Kecia R. Harper
Clerk of the Board

By:
Deputy

**SUBMITTAL TO THE BOARD OF SUPERVISORS COUNTY OF RIVERSIDE,
STATE OF CALIFORNIA**

FINANCIAL DATA	Current Fiscal Year:	Next Fiscal Year:	Total Cost:	Ongoing Cost
COST	\$ N/A	\$ N/A	\$ N/A	\$ N/A
NET COUNTY COST	\$ N/A	\$ N/A	\$ N/A	\$ N/A
SOURCE OF FUNDS: Applicant Fees 100%			Budget Adjustment: No	
			For Fiscal Year:	N/A

C.E.O. RECOMMENDATION: Approve

BACKGROUND:

Summary

Site Characteristics

Presently the site is vacant consisting of exposed soil and localized trees, shrubs and weed growth. The site is relatively flat with no major changes in grade. The project will obtain access from Blanche Drive and Sangston Drive. No direct access will be provided from Grand Avenue. The project is for a general retail store with the concurrent sale of beer and wine for off site consumption (subject to a type 20 license) with associated parking and a detention basin.

The project was submitted on September 13, 2019. The Planning Commission considered the project on August 19, 2020. The Planning Commission found the project categorically exempt from CEQA, as set forth per Sections 15301 and 15061 (b)(3) of the State CEQA Guidelines and approved the Conditional Use Permit and approved the Public Convenience and Necessity Findings with a 5-0 vote.

Board Action

The Planning Commission's decision is final and no action by the Board of Supervisors is required unless the Board assumes jurisdiction by ordering the matter set for a future noticed public hearing, or the applicant or an interested person files a complete appeal application within 10 days of this notice appearing on the Board's agenda.

Impact on Residents and Businesses

The impacts of the project have been evaluated through the environmental review and public hearing process by Planning Department and the Planning Commission.

ATTACHMENTS

- ATTACHMENT A. Planning Commission Minutes
- ATTACHMENT B. Planning Commission Staff Report Package
- ATTACHMENT C. Planning Commission Memo


 Jason Farin, Principal Management Analyst 9/15/2020



**PLANNING COMMISSION
MINUTE ORDER
AUGUST 19, 2020**

I. AGENDA ITEM 4.1

TENTATIVE PARCEL MAP NO. 37675 (TPM37675) and PLOT PLAN NO. 190025 (PPT190025) – Exempt from the California Environmental Quality Act (CEQA), pursuant to State CEQA Guidelines Sections 15303 (New Construction or Conversion of Small Structures), 15315 (Minor Land Divisions), and 15061 (Common Sense Exemption) – Owner/Applicant: Michael Griswold – Engineer: Egan Civil, Inc. – Fourth Supervisorial District – Bermuda Dunes Zoning District – Western Coachella Valley Area Plan: Community Development: Light Industrial (CD-LI) (0.25 – 0.60 Floor Area Ratio) – Location: Southerly of Interstate 10 and Country Club Drive, northerly of Bermuda Dunes Airport, easterly of Adams Street, and westerly of Jefferson Street – 0.70 Acres – Zoning: Industrial Park (I-P).

II. PROJECT DESCRIPTION:

Tentative Parcel Map No. 37675 proposes a Schedule "E" subdivision that will create a single parcel of 0.70 acres with five (5) Commercial Condominium Units for Vehicle, Recreational Vehicle (R-V), and Boat Storage. The condominium units consist of Unit 1 consisting of 1,660 sq. ft., Unit 2 consisting of 1,125 sq. ft., Unit 3 consisting of 1,125 sq. ft., Unit 4 consisting of 1,350 sq. ft., and Unit 5 consisting of 1,375 sq. ft. Plot Plan No. 190025 proposes to construct a 6,748 sq. ft. metal sided building up to 24 feet in height with enclosed vehicle, recreational vehicle, and boat storage spaces for the above-described five (5) condominium units with common areas for parking, landscaping, and retention basin.

III. MEETING SUMMARY:

The following staff presented the subject proposal:

Project Planner: Jay Olivas at (760) 863-7050 or email at jolivas@rivco.org.

Spoke in favor:

Benjamin Egan, Applicant's Representative, began@egancivil.com.

Spoke in opposition or in a neutral position.

IV. CONTROVERSIAL ISSUES:

None.

V. PLANNING COMMISSION ACTION:

Public Comments: Closed

Motion by Commissioner Sanchez, 2nd by Commissioner Shaffer

By a vote of 5-0

FOUND the project exempt from the California Environmental Quality Act (CEAQ); and,

APPROVED Tentative Parcel Map No. 37675; and,

APPROVED Plot Plan No. 190025; and, subject to the conditions of approval as modified at hearing.



**PLANNING COMMISSION
MINUTE ORDER
AUGUST 19, 2020**

I. AGENDA ITEM 4.3

CONDITIONAL USE PERMIT NO. 190022 – Exempt from the California Environmental Quality Act (CEQA), pursuant to State CEQA Guidelines Section 15303 (Small Facilities) and 15061 (b)(3) (Common Sense) – Applicant: Carl R. Wood – First Supervisorial District – Lakeland Village Policy Area – Elsinore Area Plan – General Plan: Community Development: Mixed Use Area (CD-MUA) – Zoning: General Commercial (C-1/C-P) – Location: Southwesterly corner of Grand Avenue and Blanche Drive – 1.27 gross acres.

II. PROJECT DESCRIPTION:

A Conditional Use Permit for the construction of a 9,100 sq. ft. stand-alone retail store with associated parking and detention basin, that will include the sale of beer and wine for off site consumption (Subject to a type 20 license), and to approve the Public Convenience and Necessity Findings.

III. MEETING SUMMARY:

The following staff presented the subject proposal:

Project Planner: Brett Dawson at (951) 955-0972 or email at bdawson@rivco.org.

Spoke in favor:

David Church, Applicant, david@nnnretaildevelopment.com.

No one spoke in opposition or in a neutral position.

IV. CONTROVERSIAL ISSUES:

None.

V. PLANNING COMMISSION ACTION:

Public Comments: Closed

Motion by Commissioner Shaffer, 2nd by Commissioner Thornhill

By a vote of 5-0

FOUND the project exempt from the California Environmental Quality Act (CEQA); and,

APPROVED Public Convenience and Necessity Findings; and,

ADOPT Conditional Use Permit No. 190022, subject to the conditions of approval.



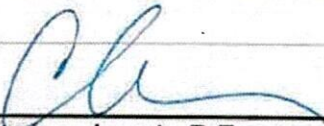
**COUNTY OF RIVERSIDE
PLANNING DEPARTMENT
STAFF REPORT**

Agenda Item No.

4.3

Planning Commission: **August 19, 2020**

PROPOSED PROJECT

Case Number(s):	CUP190022	Applicant(s):	Carl R Wood
Environmental:	Exempt, Section 15061 & 15303		
Area Plan:	Elsinore	Representative(s):	
Zoning Area/District:	Lakeland Village District		
Supervisory District:	First District		
Project Planner:	Brett Dawson		
Project APN(s):	381-344-023		
		 Charissa Leach, P.E. Assistant TLMA Director	

PROJECT DESCRIPTION AND LOCATION

CONDITIONAL USE PERMIT NO. 190022 – A conditional Use Permit for the construction of a 9,100 square foot stand-alone retail store that will include the sale of beer and wine for off site consumption (subject to a type 20 license), with associated parking and detention basin.

The proposed project site is located at the southwest corner of Grand Avenue and Blanche Avenue.

PROJECT RECOMMENDATION

STAFF RECOMMENDATIONS:

THAT THE PLANNING COMMISSION TAKE THE FOLLOWING ACTIONS:

FIND that the project is **EXEMPT** from the California Environmental Quality Act (CEQA), pursuant to State CEQA Guidelines Section 15303 (Small Facilities) and 15061 (b)(3) (Common Sense) based on the findings and conclusions in the staff report; and,

APPROVE PUBLIC CONVENIENCE AND NECESSITY FINDINGS as stated in the staff report; AND

APPROVE CONDITIONAL USE PERMIT NO 190022, subject to the attached Advisory Notification Document, Conditions of Approval, and based upon the findings and conclusions provided in this staff report.

PROJECT DATA

Land Use and Zoning:

Specific Plan: N/A

Specific Plan Land Use: N/A

Existing General Plan Foundation Component:	Community Development
Proposed General Plan Foundation Component:	N/A
Existing General Plan Land Use Designation:	Mixed Use Area (MUA)
Proposed General Plan Land Use Designation:	N/A
Policy / Overlay Area:	Lakeland Village Policy Area
Surrounding General Plan Land Uses	
North:	Medium Density Residential
East:	Mixed Use Area and Medium Density Residential
South:	Mixed Use Area and Medium Density Residential
West:	Mixed Use Area and Medium Density Residential
Existing Zoning Classification:	General Commercial (C-1/C-P)
Proposed Zoning Classification:	N/A
Surrounding Zoning Classifications	
North:	General Residential (R-3)
East:	General Residential (R-3) and General Commercial (C-1/C-P)
South:	One Family Dwellings (R-1)
West:	General Commercial (C-1/C-P) and One Family Dwellings (R-1)
Existing Use:	Vacant
Surrounding Uses	
North:	Single Family Residential
South:	Single Family Residential and Vacant
East:	Single Family Residential and Vacant
West:	Single Family Residential and Commercial

Project Details:

<i>Item</i>	<i>Value</i>	<i>Min./Max. Development Standard</i>
Project Site (Acres):	1.27	N/A
Building Height (FT):	24'	35'

Parking:

<i>Type of Use</i>	<i>Building Area (in SF)</i>	<i>Parking Ratio</i>	<i>Spaces Required</i>	<i>Spaces Provided</i>
Convenience Market	9,100	1/200 sq. ft. gross floor area.	45	46
TOTAL:				

**SUBMITTAL TO THE BOARD OF SUPERVISORS
COUNTY OF RIVERSIDE, STATE OF CALIFORNIA**



ITEM: 1.2
(ID # 13379)

MEETING DATE:
Tuesday, September 22, 2020

FROM: TLMA-PLANNING:

SUBJECT: TRANSPORTATION AND LAND MANAGEMENT AGENCY/PLANNING: RECEIVE AND FILE THE PLANNING COMMISSION'S DECISION TO APPROVE CONDITIONAL USE PERMIT NO. 190022 AND TO FIND THE PROJECT EXEMPT FROM CEQA PER CEQA GUIDELINES SECTION 15061 (b)3 and 15303 (Small Facilities) – Applicant: Carl R. Wood – First Supervisorial District – Elsinore Area Plan – Lakeland Village Zoning District - General Plan: Community Development: Mixed Use Area (MUA)- 1.27 acres – Zoning: General Commercial (C-1/C-P) – Location: The southwest corner of Grand Avenue and Blanche Drive. – REQUEST: A Conditional Use Permit for the construction of a 9,100 square foot stand-alone retail store that will include the sale of beer and wine for off site consumption (Subject to a type 20 license), with associated parking and detention basin. - APN 381-344-023 – District 1. [Applicant fees 100%]

RECOMMENDED MOTION: That the Board of Supervisors:

1. **RECEIVE AND FILE** the Planning Commission Notice of Decision for the above-referenced project acted on by the Planning Commission on August 19, 2020.

ACTION: Consent

Charissa Leach, Assistant TLMA Director

9/10/2020

MINUTES OF THE BOARD OF SUPERVISORS

On motion of Supervisor Jeffries, seconded by Supervisor Spiegel and duly carried by unanimous vote, IT WAS ORDERED that the above matter is approved as recommended.

Ayes: Jeffries, Spiegel, Washington, Perez and Hewitt
Nays: None
Absent: None
Date: September 22, 2020
xc: Planning

Kecia R. Harper
Clerk of the Board

By:
Deputy

**SUBMITTAL TO THE BOARD OF SUPERVISORS COUNTY OF RIVERSIDE,
STATE OF CALIFORNIA**

FINANCIAL DATA	Current Fiscal Year:	Next Fiscal Year:	Total Cost:	Ongoing Cost
COST	\$ N/A	\$ N/A	\$ N/A	\$ N/A
NET COUNTY COST	\$ N/A	\$ N/A	\$ N/A	\$ N/A
SOURCE OF FUNDS: Applicant Fees 100%			Budget Adjustment:	No
			For Fiscal Year:	N/A

C.E.O. RECOMMENDATION: Approve

BACKGROUND:

Summary

Site Characteristics

Presently the site is vacant consisting of exposed soil and localized trees, shrubs and weed growth. The site is relatively flat with no major changes in grade. The project will obtain access from Blanche Drive and Sangston Drive. No direct access will be provided from Grand Avenue. The project is for a general retail store with the concurrent sale of beer and wine for off site consumption (subject to a type 20 license) with associated parking and a detention basin.

The project was submitted on September 13, 2019. The Planning Commission considered the project on August 19, 2020. The Planning Commission found the project categorically exempt from CEQA, as set forth per Sections 15301 and 15061 (b)(3) of the State CEQA Guidelines and approved the Conditional Use Permit and approved the Public Convenience and Necessity Findings with a 5-0 vote.

Board Action


The Planning Commission's decision is final and no action by the Board of Supervisors is required unless the Board assumes jurisdiction by ordering the matter set for a future noticed public hearing, or the applicant or an interested person files a complete appeal application within 10 days of this notice appearing on the Board's agenda.

Impact on Residents and Businesses

The impacts of the project have been evaluated through the environmental review and public hearing process by Planning Department and the Planning Commission.

ATTACHMENTS

- ATTACHMENT A. Planning Commission Minutes
- ATTACHMENT B. Planning Commission Staff Report Package
- ATTACHMENT C. Planning Commission Memo


 Jason Farin, Principal Management Analyst 9/15/2020

2. The project site is located within the General Commercial (C-1/C-P) zone. Convenience stores, not including the sale of motor vehicle fuel are permitted within this zone with the approval of a plot plan. The sale of alcoholic beverages for off-premises consumption shall be allowed in the C-1/C-P zone provided a Conditional Use Permit has been approved. Since the applicant is proposing the off-premises consumption which triggers the CUP, the project will be evaluated under the CUP, and no Plot Plan application would be required.
3. The project site is located within the Lakeland Village Policy Area. The Project proposed here is in conjunction with the Lakeland Village Policy Area for commercial development. It provides desired growth and maturity for a unique community while also establishing a community design for development in the future. The Project has been designed to be consistent with the approved guidelines and features of the Lakeland Village Design Guidelines.

ELAP 6.6 The height, bulk and placement of buildings in the gateway areas of the Lakeland Village Policy Area should be visually compatible with the surrounding uses.

ELAP 6.8 Projects for development along Grand Avenue should encourage walkability, bicycle use, and traffic calming measures where safety permits.

The overall design of the project is visually compatible with the surrounding uses. The design of the location of the building helps encourage walkability through pedestrian access route off Grand, and the relative adjacent to the surrounding residential neighborhood, bicycle use through the implementation of bike racks, and access is provided off of Blanche and Sangston Drives instead of Grand Avenue.

4. The proposed use, a Convenience Store with the concurrent sale of beer and wine is consistent with Ordinance 348 (Land Use) and is allowed within the General Commercial (C-1/C-P) Zoning Classification, subject to a Conditional Use Permit approval.

Entitlement Findings:

The following findings shall be made prior to making a recommendation to grant a Conditional Use Permit or Public Use Permit, pursuant to the provisions of the Riverside County Zoning Ordinance 348 (Land Use):

1. The proposed use conforms to all the requirements of the General Plan and with all applicable requirements of State law and the ordinances of Riverside County. The project site has a General Plan Land Use Designation of Community Development Mixed Use. The Mixed Use Area Designation is for areas where residential, commercial, office, entertainment, educational, and/or recreational uses, or other uses are planned. The Mixed-Use Area designation encourages combinations of business, office, retail, and other commercial uses, community facilities, and residential uses in a single building, on a single site, or on adjacent sites where the uses are integrated and include a functional interrelationship and a coherent physical design. Higher density residential uses are encouraged in locations close to transit stations and other areas near transit. (p. LU-69). The proposed Dollar General is considered general retail commercial use which is supported by the Mixed Use Area.



**PLANNING COMMISSION
MINUTE ORDER
AUGUST 19, 2020**

I. AGENDA ITEM 4.1

TENTATIVE PARCEL MAP NO. 37675 (TPM37675) and PLOT PLAN NO. 190025 (PPT190025) – Exempt from the California Environmental Quality Act (CEQA), pursuant to State CEQA Guidelines Sections 15303 (New Construction or Conversion of Small Structures), 15315 (Minor Land Divisions), and 15061 (Common Sense Exemption) – Owner/Applicant: Michael Griswold – Engineer: Egan Civil, Inc. – Fourth Supervisorial District – Bermuda Dunes Zoning District – Western Coachella Valley Area Plan: Community Development: Light Industrial (CD-LI) (0.25 – 0.60 Floor Area Ratio) – Location: Southerly of Interstate 10 and Country Club Drive, northerly of Bermuda Dunes Airport, easterly of Adams Street, and westerly of Jefferson Street – 0.70 Acres – Zoning: Industrial Park (I-P).

II. PROJECT DESCRIPTION:

Tentative Parcel Map No. 37675 proposes a Schedule "E" subdivision that will create a single parcel of 0.70 acres with five (5) Commercial Condominium Units for Vehicle, Recreational Vehicle (R-V), and Boat Storage. The condominium units consist of Unit 1 consisting of 1,660 sq. ft., Unit 2 consisting of 1,125 sq. ft., Unit 3 consisting of 1,125 sq. ft., Unit 4 consisting of 1,350 sq. ft., and Unit 5 consisting of 1,375 sq. ft. Plot Plan No. 190025 proposes to construct a 6,748 sq. ft. metal sided building up to 24 feet in height with enclosed vehicle, recreational vehicle, and boat storage spaces for the above-described five (5) condominium units with common areas for parking, landscaping, and retention basin.

III. MEETING SUMMARY:

The following staff presented the subject proposal:

Project Planner: Jay Olivas at (760) 863-7050 or email at jolivas@rivco.org.

Spoke in favor:

Benjamin Egan, Applicant's Representative, began@egancivil.com.

Spoke in opposition or in a neutral position.

IV. CONTROVERSIAL ISSUES:

None.

V. PLANNING COMMISSION ACTION:

Public Comments: Closed

Motion by Commissioner Sanchez, 2nd by Commissioner Shaffer

By a vote of 5-0

FOUND the project exempt from the California Environmental Quality Act (CEAQ); and,

APPROVED Tentative Parcel Map No. 37675; and,

APPROVED Plot Plan No. 190025; and, subject to the conditions of approval as modified at hearing.



**PLANNING COMMISSION
MINUTE ORDER
AUGUST 19, 2020**

I. AGENDA ITEM 4.3

CONDITIONAL USE PERMIT NO. 190022 – Exempt from the California Environmental Quality Act (CEQA), pursuant to State CEQA Guidelines Section 15303 (Small Facilities) and 15061 (b)(3) (Common Sense) – Applicant: Carl R. Wood – First Supervisorial District – Lakeland Village Policy Area – Elsinore Area Plan – General Plan: Community Development: Mixed Use Area (CD-MUA) – Zoning: General Commercial (C-1/C-P) – Location: Southwesterly corner of Grand Avenue and Blanche Drive – 1.27 gross acres.

II. PROJECT DESCRIPTION:

A Conditional Use Permit for the construction of a 9,100 sq. ft. stand-alone retail store with associated parking and detention basin, that will include the sale of beer and wine for off site consumption (Subject to a type 20 license), and to approve the Public Convenience and Necessity Findings.

III. MEETING SUMMARY:

The following staff presented the subject proposal:

Project Planner: Brett Dawson at (951) 955-0972 or email at bdawson@rivco.org.

Spoke in favor:

David Church, Applicant, david@nnnretaildevelopment.com.

No one spoke in opposition or in a neutral position.

IV. CONTROVERSIAL ISSUES:

None.

V. PLANNING COMMISSION ACTION:

Public Comments: Closed

Motion by Commissioner Shaffer, 2nd by Commissioner Thornhill

By a vote of 5-0

FOUND the project exempt from the California Environmental Quality Act (CEQA); and,

APPROVED Public Convenience and Necessity Findings; and,

ADOPT Conditional Use Permit No. 190022, subject to the conditions of approval.

Other Findings:

1. The project site is not located within a Criteria Cell of the Multi-Species Habitat Conservation Plan.
2. The project site is located within the City of Lake Elsinore Sphere of Influence. This project was provided to the City of Lake Elsinore for review and comment. No comments were received either in favor or opposition of the project.
3. The project site is not located within an Airport Influence Area ("AIA") boundary and is therefore not subject to the Airport Land Use Commission ("ALUC") review.
4. The project has been found to be exempt from CEQA whereby Assembly Bill 52 (AB 52) or Senate Bill 18 (SB 18) is not initiated.
5. The project site is located within Zone B of the Mount Palomar Observatory Lighting Zone boundary, as identified by Ordinance No. 655 (Mt. Palomar). The project is required to comply with all lighting standards specified within Ordinance No. 655, pursuant to Zone B.
6. The project site is not located within the Fee Assessment Area of the Stephen's Kangaroo Rat Habitat Conservation Plan ("SKRHCP").

Fire Findings:

7. Fire protection and suppression services will be available for the subdivision through the Riverside County Fire Department.
8. The project site is located within a very high fire severity location. It also falls under the fire responsibility of LRA. The surrounding area is built out with commercial and residential structures. The high fire severity pertains to the mountains and brush to the south. There is a large divide of commercial and residential structures, roads etc. that being in a high fire severity location is not a concern.

Conclusion:

9. For the reasons discussed above, the proposed project conforms to all the requirements of the General Plan and with all applicable requirements of State law and the ordinances of Riverside County. Moreover, the proposed project would not be detrimental to the health, safety or general welfare of the community.

PUBLIC HEARING NOTIFICATION AND COMMUNITY OUTREACH

This project was advertised in the Press Enterprise Newspaper. Additionally, public hearing notices were mailed to property owners within 1,000 feet of the project site. As of the writing of this report, Planning Staff has/had not received written communication/phone calls who indicated support/opposition to the proposed project.

The applicant has met with the Lakeland Village Community Advisory Committee meeting for neighborhood outreach on November 20, 2019.

APPEAL INFORMATION

The Planning Commission's decision may be appealed to the Board of Supervisors. Such appeals shall be submitted in writing to the Clerk of the Board, with the required fee as set forth in Ordinance No. 671 (Consolidated Fees for Land Use and Related Functions), within 10 days after the mailing of the Planning Commission's decision.

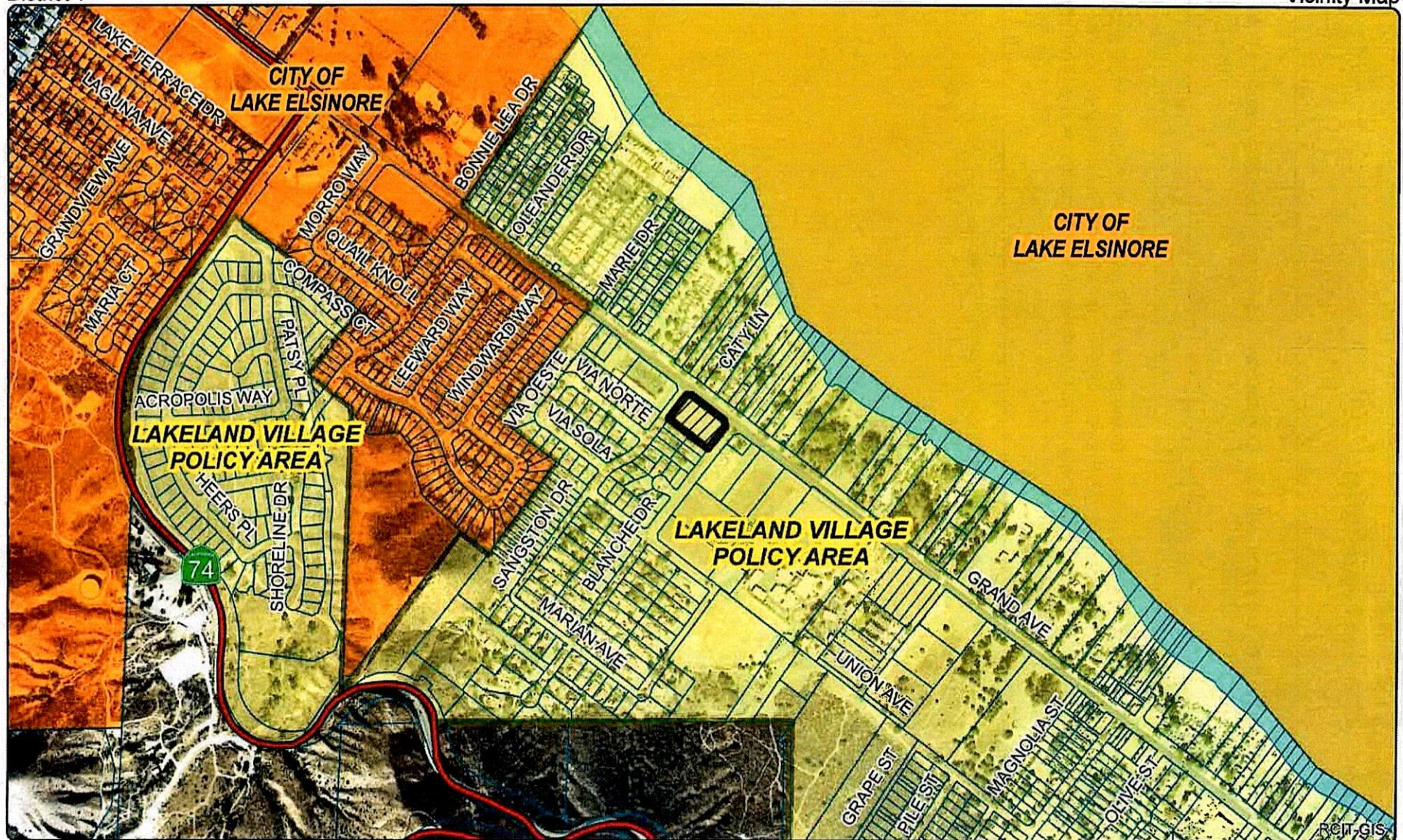
Template Location: Y:\Planning Master Forms\Templates\Staff Report\Staff_Report_Template_DH_PC.docx
Template Revision: 08/24/20

RIVERSIDE COUNTY PLANNING DEPARTMENT
CUP190022

VICINITY/POLICY AREAS

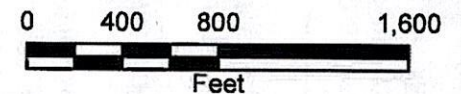
Supervisor: Jeffries
District 1

Date Drawn: 07/27/2020
Vicinity Map



Zoning Dist: Lakeland Village

Author: Vinnie Nguyen



DISCLAIMER: On October 7, 2003, the County of Riverside adopted a new General Plan providing new land use designations for unincorporated Riverside County parcels. The new General Plan may contain different type of land use than is provided for under existing zoning. For further information, please contact the Riverside County Planning Department offices in Riverside at (951)955-3200 (Western County) or in Palm Desert at (760)963-8277 (Eastern County) or Website <https://planning.rctmwa.gov>

RIVERSIDE COUNTY PLANNING DEPARTMENT

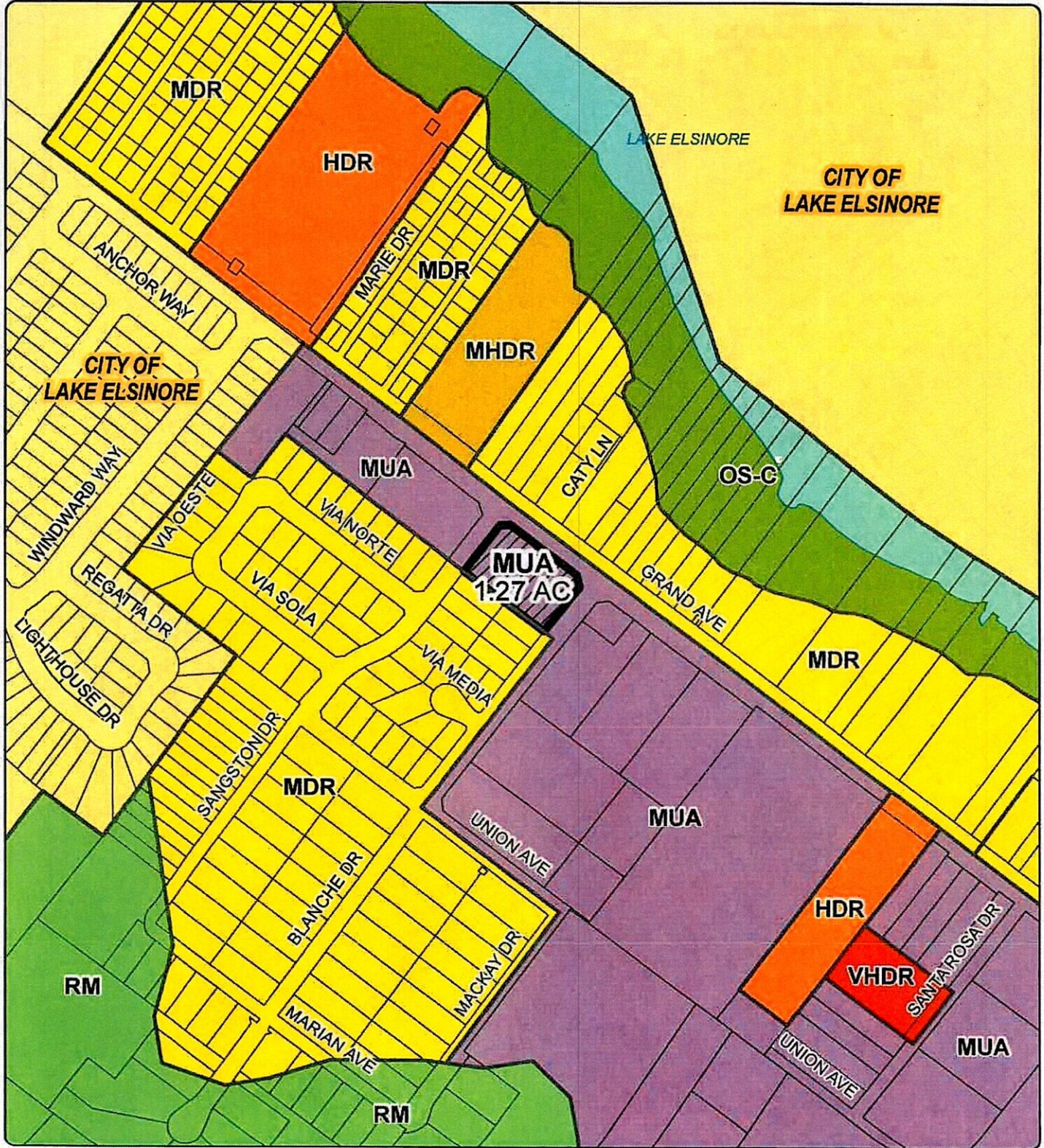
CUP190022

EXISTING GENERAL PLAN

Supervisor: Jeffries
District 1

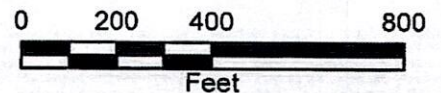
Date Drawn: 07/27/2020

Exhibit 5



Zoning Dist: Lakeland Village

Author: Vinnie Nguyen



DISCLAIMER: On October 7, 2003, the County of Riverside adopted a new General Plan providing new land use designations for unincorporated Riverside County parcels. The new General Plan may contain different type of land use than is provided for under existing zoning. For further information, please contact the Riverside County Planning Department offices in Riverside at (951)935-3200 (Western County) or in Palm Desert at (760)863-8277 (Eastern County) or Website <http://planning.rcfdms.org>

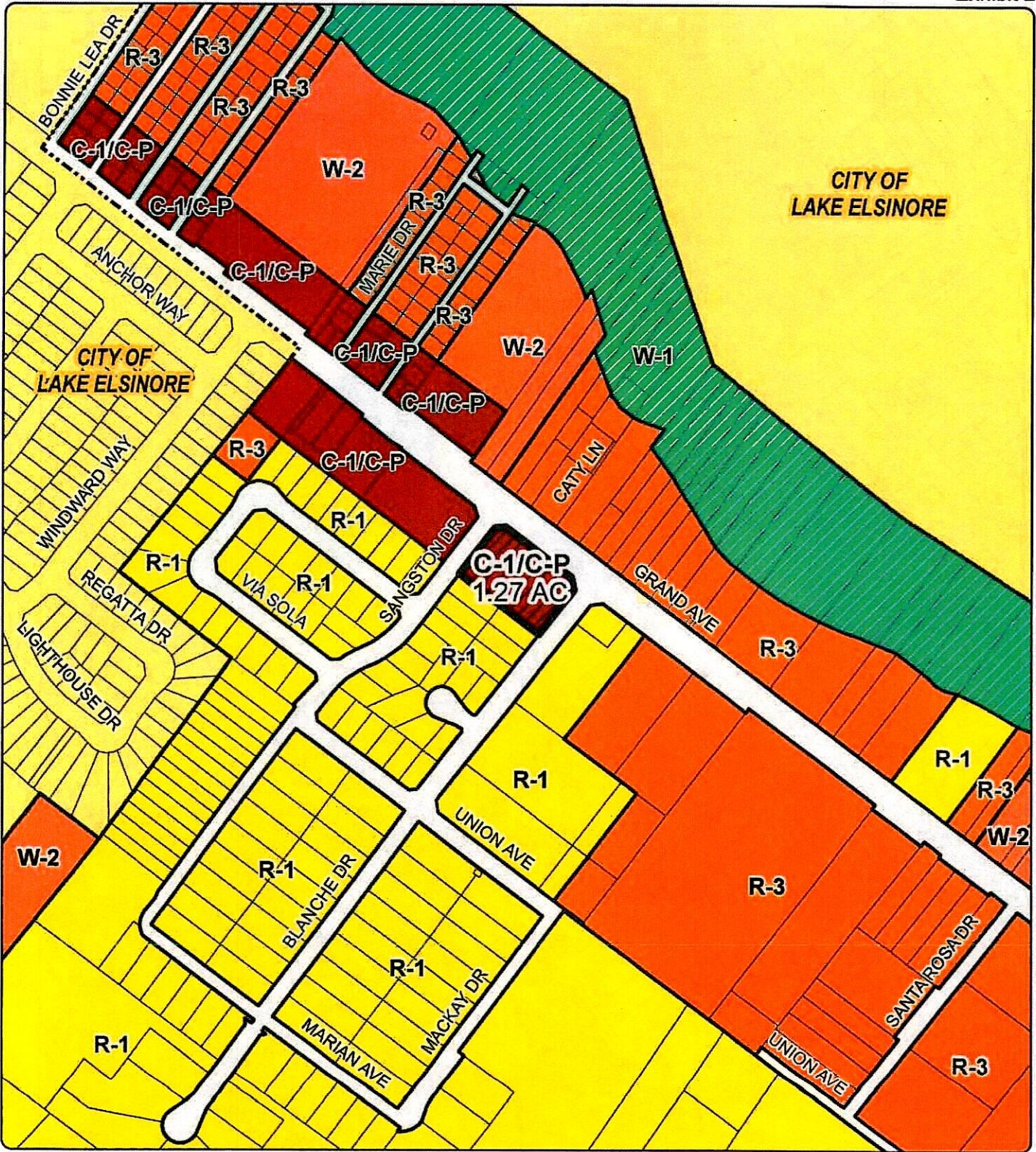
RIVERSIDE COUNTY PLANNING DEPARTMENT

CUP190022

EXISTING ZONING

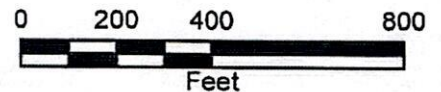
Supervisor: Jeffries
District 1

Date Drawn: 07/27/2020
Exhibit 2



Zoning Dist: Lakeland Village

Author: Vinnie Nguyen



DISCLAIMER: On October 7, 2003, the County of Riverside adopted a new General Plan providing new land use designations for unincorporated Riverside County parcels. The new General Plan may contain different type of land use than is provided for under existing zoning. For further information, please contact the Riverside County Planning Department offices in Riverside at (951)955-3200 (Western County) or in Palm Desert at (760)863-8277 (Eastern County) or Website <http://planning.rotlma.org>

RIVERSIDE COUNTY PLANNING DEPARTMENT

CUP190022

LAND USE

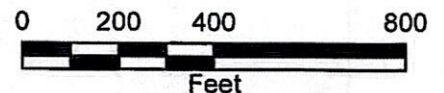
Supervisor: Jeffries
District 1

Date Drawn: 07/27/2020
Exhibit 1



Zoning Dist: Lakeland Village

Author: Vinnie Nguyen



DISCLAIMER: On October 7, 2003, the County of Riverside adopted a new General Plan providing new land use designations for unincorporated Riverside County parcels. The new General Plan may contain different type of land use than is provided for under existing zoning. For further information, please contact the Riverside County Planning Department offices in Riverside at (951)955-3200 (Western County) or in Palm Desert at (760)863-8277 (Eastern County) or Website <http://planning.rcdima.org>

CONDITIONAL USE PERMIT			
SE CORNER OF GRAND AVE. & SANGSTON DR. LAKE ELSINORE, CA 92530			
PROTOTYPE: 9100 C	DEVELOPER	DESIGNER	DATE: 04-17-2020
BLDG SALES SF: 9,100/302	CO: NNN RETAIL DEVELOPMENT	CO: MOUR GROUP	
ACREAGE: 1.27	NAME: DAVID CHURCH	NAME: ROB BENEDICT	
REQ'D. PARKING SPACES: 46	PHONE #: 858-354-0007	PHONE #: 619-727-4800	

LEGEND:

	HEAVY DUTY PCC
	HEAVY DUTY AC
	LIGHT DUTY AC
	LANDSCAPE

APPLICANT EMAIL:
CARL@NNNRETAILDEVELOPMENT.COM

EXHIBIT PREPARER:
MOUR GROUP

SCHOOL DISTRICT:
LAKE ELSINORE UNIFIED SCHOOL DISTRICT

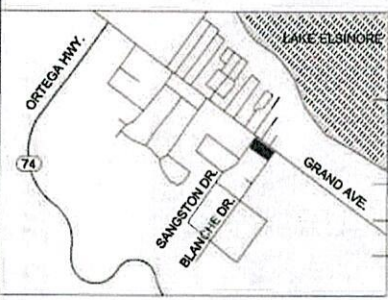
BUILDING PERMIT:
NO BUILDING PERMIT LOCATED.

LAND OWNER:
DAVID C. CHRISTIAN FAMILY TRUST

PROJECT DESCRIPTION:
NEW ONE STORY, TYPE II-B RETAIL STORE AND SITE IMPROVEMENTS FOR A SINGLE USER OCCUPANT TO BE BUILT ON UNDEVELOPED SITE. ONSITE AND OFF-SITE IMPROVEMENTS INCLUDING BUT NOT LIMITED TO UNDERGROUND UTILITIES, GRADING, PAVING, LANDSCAPE, AND SHELL BUILDING CONSTRUCTION INCLUDING BUT NOT LIMITED TO BUILDING FLOOR SLAB, BUILDING WALLS, PLUMBING, SUSPENDED CEILING, LIGHTING AND POWER.

LEGAL DESCRIPTION:
LOT 39 OF TRACT NO. 19002, AS SHOWN BY MAP ON FILE IN BOOK 135, PAGES 8-10, INCLUSIVE OF MAPS, RECORDS OF RIVERSIDE COUNTY, CALIFORNIA. T&S, R3IV, SECTION 14.

- NOTES & ISSUES:**
1. Site layout based on aerial data only. Lot lines and property dimensions need to be verified by ALTA/ACSM survey.
 2. Landscape, utility, drainage, and signage requirements have not been reviewed.
 3. Current zoning is: C-1 General Commercial



BUILDING SETBACKS:
FRONT: 0'
SIDE: 0'
REAR: 0'

*BUILDING IS LESS THAN 35' IN HEIGHT

BUILDING OCCUPANCY:
REAS: M - MERCANTILE

REQUIRED PARKING:
5 SPACES PER 1,000 SQ FT
9100 / 1000 x 4.5 = 46 SPACES
46 SPACES PROVIDED

MINIMUM DIMENSIONS
DRIVE AISLE: 36'
STD. STALLS: 9' X 20'

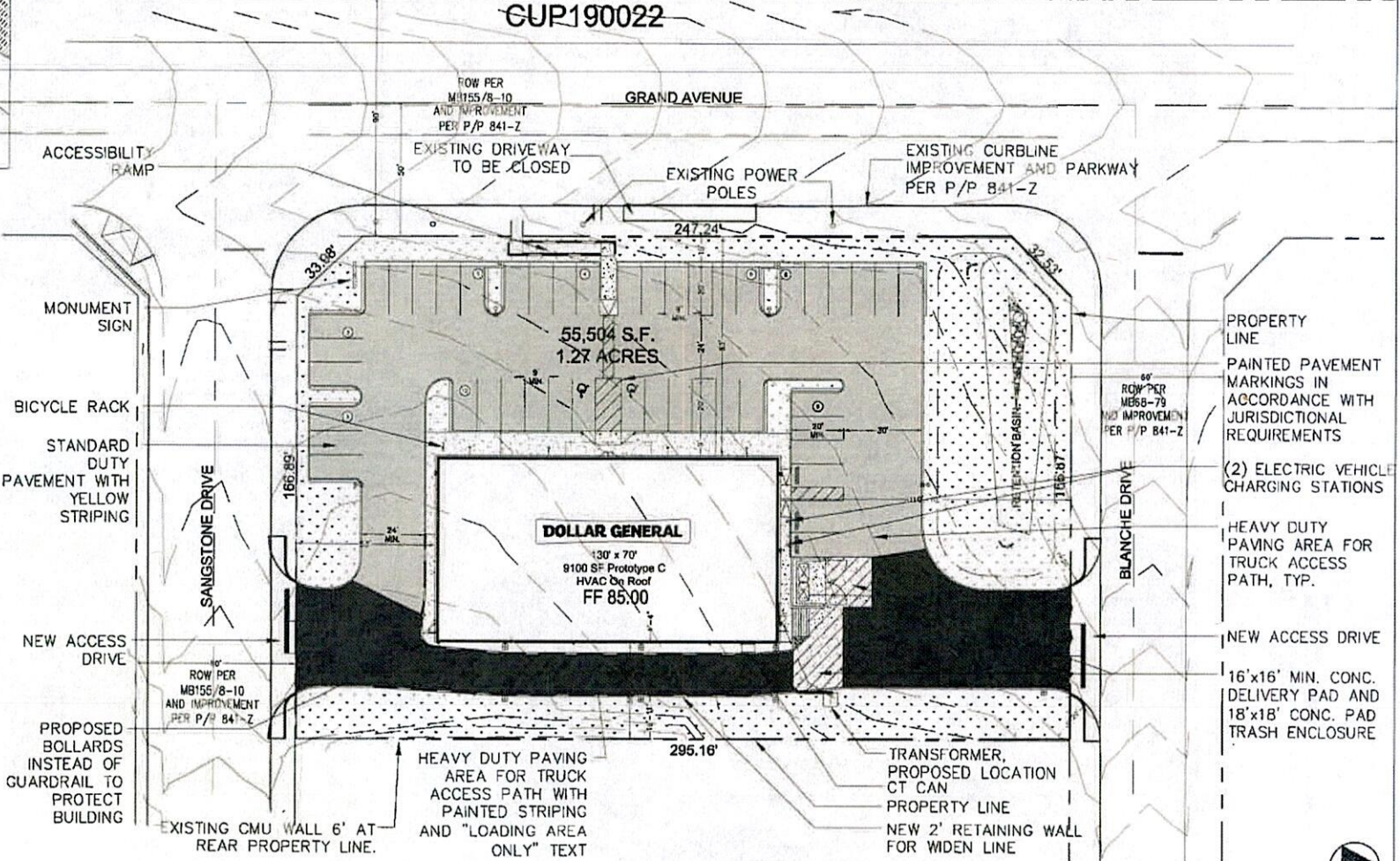
JURISDICTION:
COUNTY OF RIVERSIDE, CA.

APN:
881-344-023-8

OCCUPANCY:
"M" MERCANTILE

ZONING:
EXISTING: C1
PROPOSED: C1

UTILITY PURVEYORS:
WATER/SEWER- ELSINORE VALLEY MUNICIPAL DISTRICT
PHONE- ATT
GAS- SO CAL GAS
ELECTRIC- SO CAL EDISON



AREA AND DENSITY CALCULATIONS:

TOTAL AREA: 55,504 S.F. (1.27 AC)
BUILDING AREA: 9,100 S.F. (16%)
PAVED AREA: 30,493 S.F. (55%)
LANDSCAPE AREA: 15,911 S.F. (29%)

EXHIBIT "A"- SITE PLAN

SCALE: 1" = 40'-0"



CONDITIONAL USE PERMIT

S/E CORNER GRAND AVE. & SANGSTON DR. LAKE ELSINORE, CA 92530

PROTOTYPE: 9100 C DEVELOPER: **NON RETAIL DEVELOPMENT CO.** DESIGNER: **MOUR GROUP** DATE: **04-17-2020**
 BLDG/SALES SF: **9,100/7,101** CO.: **NON RETAIL DEVELOPMENT CO.** MOUR GROUP
 ACREAGE: **1.17** NAME: **DAVID CURRICH** NAME: **ROB BENEDECT**
 REQ'D. PARKING SPACES: **46** PHONE N: **838-354-8007** PHONE R: **619-727-4800**
 APN: **381-344-023** EMAIL: **EMAIL:** **ROB@MOURGROUP.COM**

JURISDICTION:
RIVERSIDE COUNTY, CA

BUILDING SETBACKS:
FRONT: 0"

SIDE: 0"

REAR: 0"

*BUILDING IS LESS THAN 35' IN HEIGHT

BUILDING OCCUPANCY:
M - MERCANTILE

BUILDING CONSTRUCTION TYPE:
TYPE II-B (SPRINKLED)

APN:
381-344-023

REQUIRED PARKING:
5 SPACES PER 1,000 SQ FT
9100 / 1000 x 5 = 46 SPACES
46 SPACES PROVIDED

MINIMUM DIMENSIONS
DRIVE AISLE: 36'
STD. STALLS: 9' X 20'

- NOTES & ISSUES:**
1. Site layout based on aerial data only. Lot lines and property dimensions need to be verified by ALTA/ACSM survey.
 2. Landscape, utility, drainage, and signage requirements have not been reviewed.
 3. Current zoning is: C-1 (General Commercial)
 4. Site is not in a floodplain or floodway.

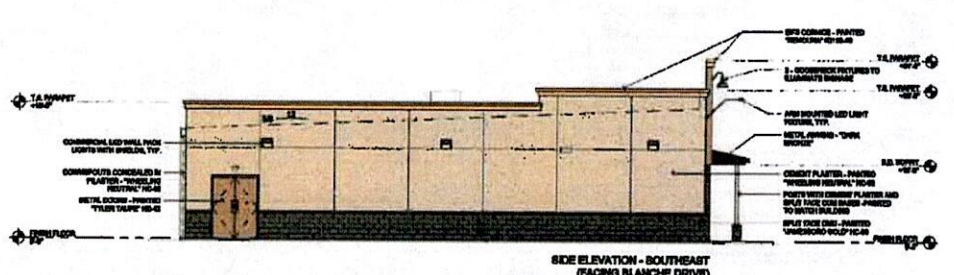
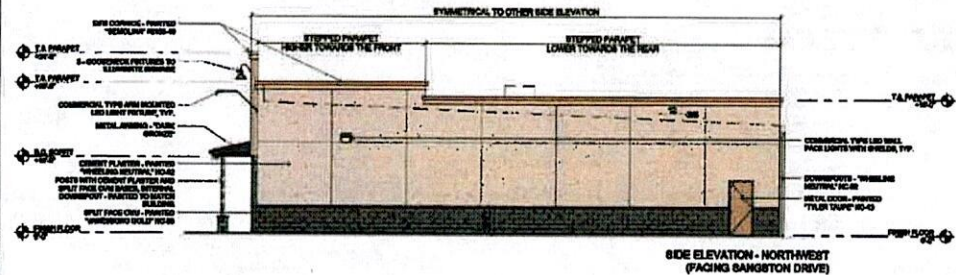
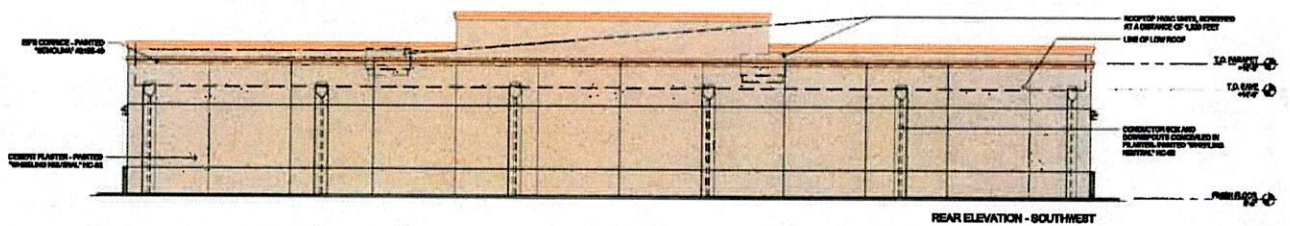
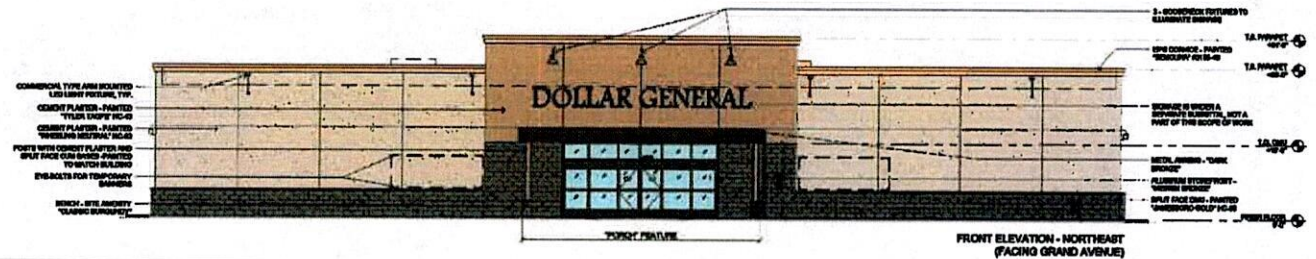
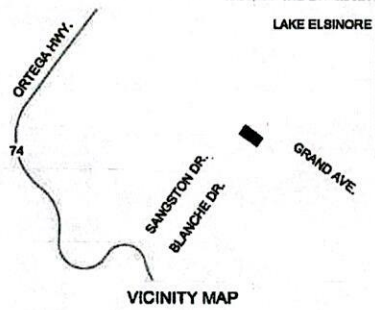


EXHIBIT "C" - EXTERIOR ELEVATIONS
SCALE: 1/16"=1'-0"

CONDITIONAL USE PERMIT

S/E CORNER OF GRAND AVE. & SANGSTON
DR. LAKE ELSINORE, CA 92530

PROTOTYPE: 9100 C	DEVELOPER	DESIGNER	DATE: 09-16-2019
BLDG SALES SF: 9,160/7,302	CO.: NNN RETAIL DEVELOPMENT	CO.: MOUR GROUP	
ACREAGE: 1.27	NAME: DAVID CHURCH	NAME: ROB BENEDICT	
REQ'D. PARKING SPACES: 46	PHONE #: 858-354-0097	PHONE #: 619-737-4800	

BUILDING SETBACKS:
FRONT: 0'^{**}

SIDE: 0'^{**}

REAR: 0'^{**}

^{**}BUILDING IS LESS THAN 35' IN HEIGHT

BUILDING OCCUPANCY:
M - MERCANTILE

MINIMUM DIMENSIONS
DRIVE AISLE: 36'
STD. STALLS: 9' X 20'

JURISDICTION:
COUNTY OF RIVERSIDE, CA.

APN:
381-344-023-8

NOTES & ISSUES:

1. Site layout based on aerial data only. Lot lines and property dimensions need to be verified by ALTA/ACSM survey.
2. Landscape, utility, drainage, and signage requirements have not been reviewed.
3. Current zoning is: C-1 General Commercial

REQUIRED PARKING:
3 SPACES PER 1,000 SQ FT
9100 / 1000 x 4.5 = 46 SPACES
46 SPACES PROVIDED

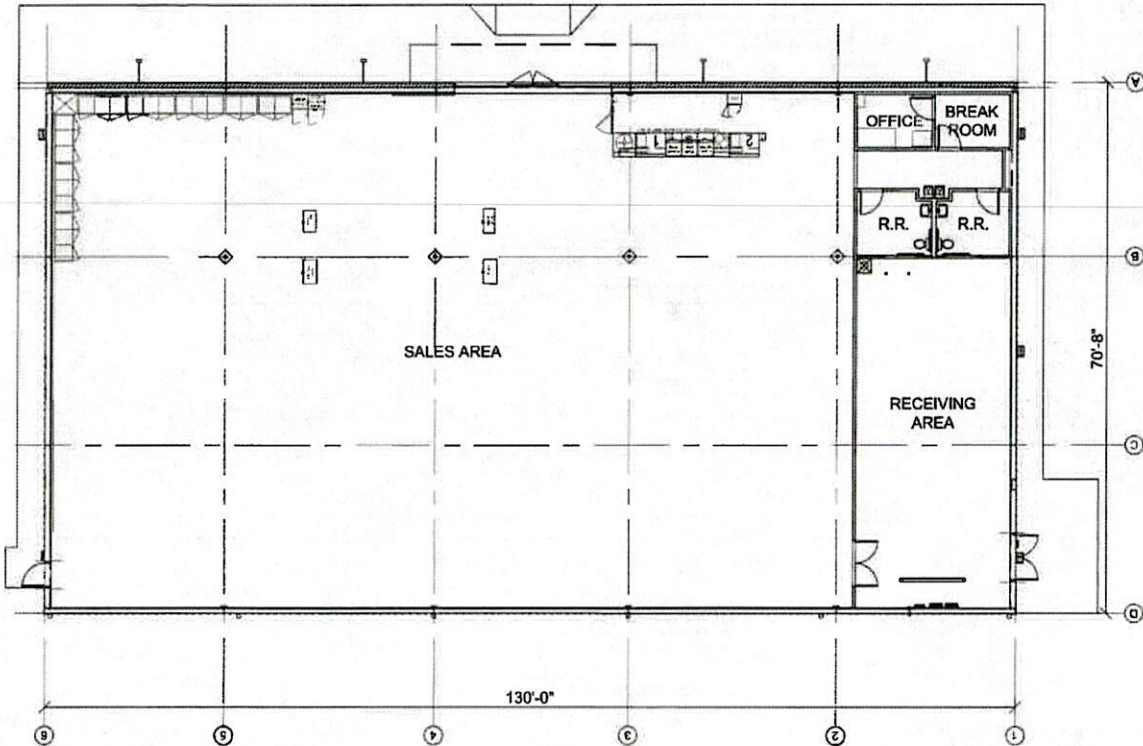


EXHIBIT "B" - FLOOR PLAN

SCALE: 1/16" = 1'-0"



NORTH

CONDITIONAL USE PERMIT

S/E CORNER GRAND AVE. & SANGSTON DR. LAKE ELSINORE, CA 92530

PROTOTYPE: 9100 E	DEVELOPER	DESIGNER	DATE:
BLDG SALES SF: 9,100/7,302	CO.: NNN RETAIL DEVELOPMENT	CO.: NNN RETAIL DEVELOPMENT	06-17-2019
ACREAGE: 1.27	NAME: DAVID CHURCH	NAME: DAVID CHURCH	
REQ'D. PARKING SPACES: 46	PHONE #: 858-354-6007	PHONE #: 858-354-6007	
APN:	EMAIL:	EMAIL:	
381-344-823	david@nnnretaildevelopment.com	david@nnnretaildevelopment.com	

LEGEND:

	HEAVY DUTY PCC
	HEAVY DUTY AC
	LIGHT DUTY AC
	LANDSCAPE

JURISDICTION:
RIVERSIDE COUNTY, CA

BUILDING SETBACKS:
FRONT: 0"
SIDE: 0"
REAR: 0"

REAR: 0"

*BUILDING IS LESS THAN 35' IN HEIGHT

BUILDING OCCUPANCY:
M - MERCANTILE

BUILDING CONSTRUCTION TYPE:
TYPE II-B (NON-SPRINKLED)

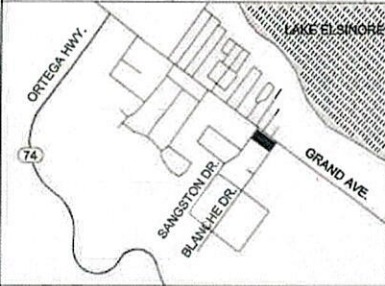
EXISTING EASEMENT:
NONE ONSITE

REQUIRED PARKING:
5 SPACES PER 1,000 SQ FT
9100 / 1000 x 5 = 46 SPACES
46 SPACES PROVIDED

MINIMUM DIMENSIONS
DRIVE AISLE: 36'
STD. STALLS: 9' X 20'

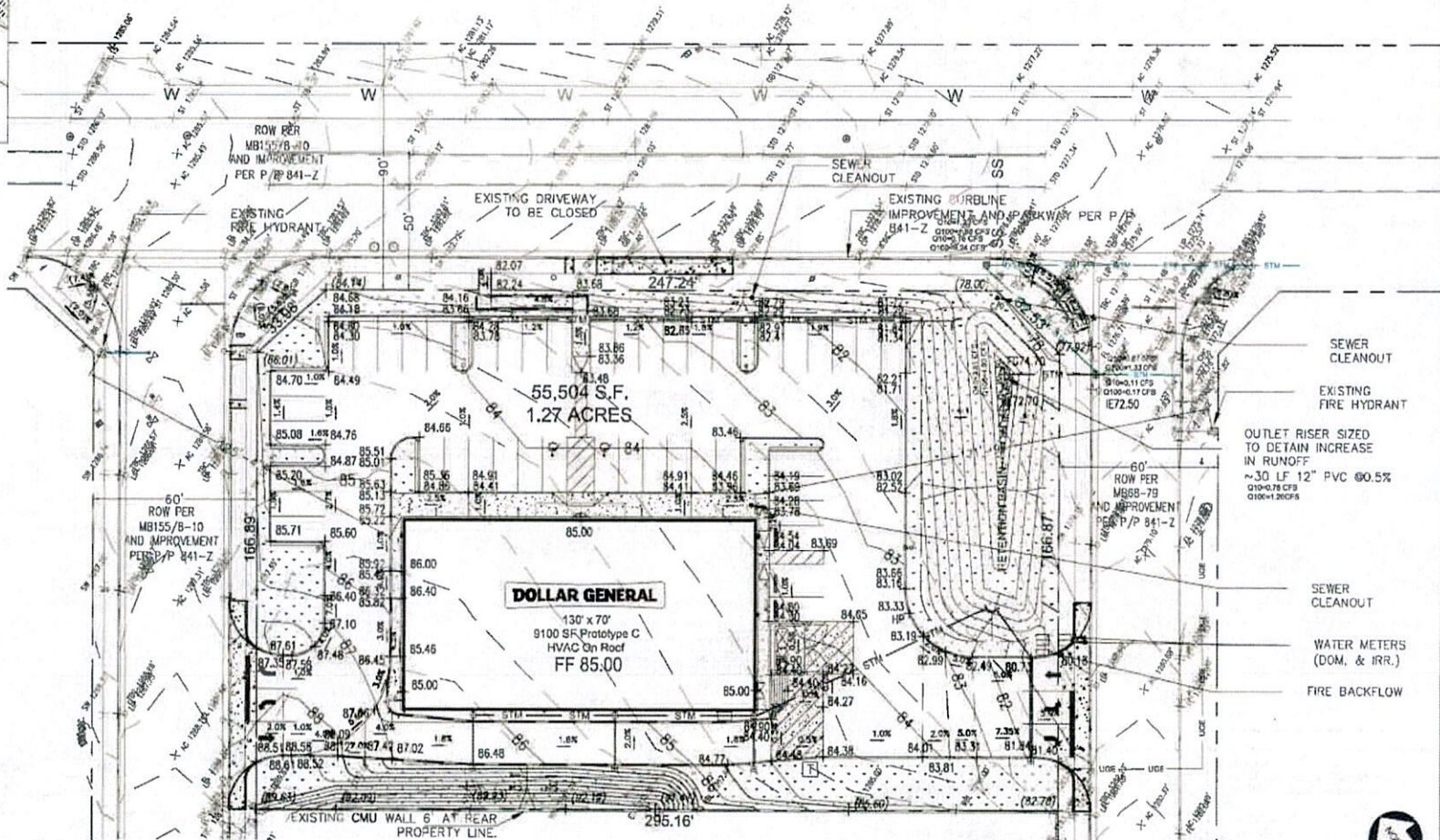
- NOTES & ISSUES:**
1. Site layout based on aerial data only. Lot lines and property dimensions need to be verified by ALTA/ACSM survey.
 2. Landscape, utility, drainage, and signage requirements have not been reviewed.
 3. Current zoning is: C-1 General Commercial

CUP190022



VICINITY MAP

ACREAGE:
NET ACRES: 1.27 ACRES
GROSS ACRES: 1.27 ACRES



DOLLAR GENERAL

130' x 70'
8100 SF Prototype C
HVAC On Roof
FF 85.00

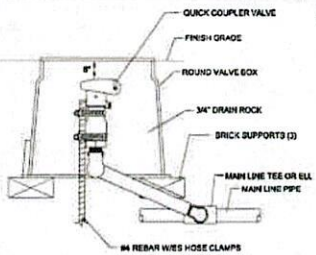
PRELIMINARY GRADING AND DRAINAGE

SCALE: 1"=40'

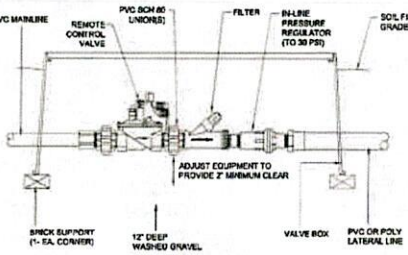


LANDSCAPE GENERAL NOTES

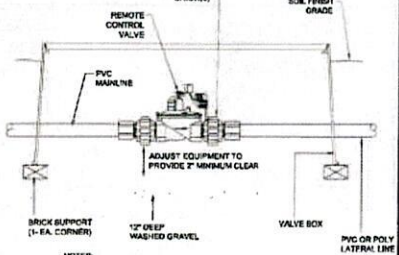
- CONSTRUCTION DOCUMENTS ARE PART OF THE CONTRACT DOCUMENTS. BY SUBMITTING A BID OR STARTING WORK, THE CONTRACTOR SIGNIFIES UNDERSTANDING AND ACCEPTANCE OF ALL REQUIREMENTS OF THE CONTRACT DOCUMENTS PROVIDED BY THE OWNER/DEVELOPER, INCLUDING BUT NOT LIMITED TO THE GENERAL CONDITIONS, SPECIAL CONDITIONS, PROJECT SPECIFICATIONS, CONSTRUCTION DOCUMENTS AND ANY ADDENDA.
- THE CONTRACTOR SHALL EXAMINE THE SITE, COMPARE IT WITH THE PLANS, CAREFULLY EXAMINE ALL THE CONTRACT DOCUMENTS AND BECOME SATISFIED AS TO THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED BEFORE ENTERING INTO THIS CONTRACT. NO ALLOWANCE SHALL BE MADE OR DEMAND BY THE CONTRACTOR UNLESS IT IS SPECIFICALLY NOTED THAT CONTRACTORS ENQUIR, NEGLIGENCE OR FAILURE TO BECOME ACQUAINTED WITH THE CONDITIONS OF THE SITE.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO VISUALLY INSPECT THE SITE PRIOR TO STARTING THE WORK AND FOR DOCUMENTING DAMAGE TO ANY EXISTING FEATURES. ANY DAMAGE TO THE EXISTING STREETS, SIDEWALKS, ADJACENT PROPERTIES OR ANY EXISTING FEATURES THAT ARE TO REMAIN (INCLUDING BUT NOT LIMITED TO EXISTING PLANT MATERIAL AND UTILITIES) DURING THE CONSTRUCTION OF THIS PROJECT SHALL BE REPAIRED OR REPLACED TO ORIGINAL CONDITIONS BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- COMPACTION OF BACKFILL BY JETTING IS NOT PERMITTED UNLESS SPECIFIC DIRECTIONS ARE SUBMITTED BY THE GEOTECHNICAL ENGINEER TO THE ENGINEERING DIVISION STATING THAT COMPACTION BY JETTING IS AN ACCEPTABLE METHOD OF COMPACTION FOR THE SOILS ENCOUNTERED.
- THE CONTRACTOR SHALL PERFORM ALL CLEARING, DEMOLITION, REMOVAL AND SITE PREPARATION NECESSARY FOR THE PROPER EXECUTION OF ALL WORK DESCRIBED WITHIN THIS PLAN SET. ANY ITEMS REQUIRED TO BE REMOVED SHALL BE LEGALLY DISPOSED OF OFF SITE.
- ALL EXISTING FEATURES AND STRUCTURES NOT SPECIFICALLY NOTED FOR REMOVAL SHALL BE RETAINED AND PROTECTED IN PLACE. ANY EXISTING FEATURES THAT ARE DAMAGED DURING CONSTRUCTION SHALL BE REPLACED TO ORIGINAL CONDITIONS BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL COMPLETE THE REQUIREMENTS OF THE LOCAL MODEL WATER EFFICIENT LANDSCAPE ORDNANCE AND THE CERTIFICATE OF COMPLETION (INDEMNITIES ABOVE) UPON COMPLETION OF THE LANDSCAPE IMPROVEMENTS. FAILURE TO SUBMIT THE REQUIRED CERTIFICATES MAY DELAY THE FINAL APPROVAL OF THE LANDSCAPE IMPROVEMENTS AND PROJECT CERTIFICATE OF OCCUPANCY.
- LANDSCAPE SUBMITTALS (MANUFACTURERS PRODUCT SHEETS) AND SAMPLES SHALL BE PROVIDED PRIOR TO THE START OF THE WORK. LANDSCAPE SUBMITTALS SHALL INCLUDE SOIL AMENDMENT ANALYSIS REPORT AND MATERIAL SAMPLES.
- THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST DURING THE CONSTRUCTION PERIOD OR WHENEVER SOIL IS LEFT EXPOSED. ALL DUST CONTROL MEASURES SHALL BE IMPLEMENTED AS NECESSARY, INCLUDING DASH WHEN CONSTRUCTION ACTIVITIES ARE NOT OCCURRING (I.E. WEDNESDAYS OR HOLIDAYS).
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A MINIMUM 60-DAY MAINTENANCE PERIOD FOR ALL PLANTING AREAS. BEYOND MAINTENANCE ALL PLANTING IMMEDIATELY UPON INSTALLATION AND COMPLETION OF THE MAINTENANCE PERIOD. THE MAINTENANCE PERIOD SHALL NOT BEGIN UNTIL WRITTEN NOTICE IS PROVIDED TO THE CONTRACTOR BY THE OWNER. THE CONTRACTOR SHALL CONTINUE TO MAINTAIN THE LANDSCAPE BEYOND THE 60-DAY PERIOD UNTIL THE OWNER PROVIDES WRITTEN ACCEPTANCE OF THE WORK. OCCASIONAL PLANTING SHALL BE REPLACED BY THE CONTRACTOR AT NO COST TO THE OWNER DURING THE MAINTENANCE PERIOD.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING AN ELECTRICAL CONNECTION IN THE FIELD FOR THE IRRIGATION CONTROLLER. COORDINATE THE ELECTRICAL WORK WITH OTHER TRADES.
- UNLESS OTHERWISE NOTED, THE CONTRACTOR SHALL PROVIDE AND PAY FOR LABOR, MATERIALS, EQUIPMENT, TOOLS, MACHINERY, UTILITIES, TRANSPORTATION AND OTHER FACILITIES AND SERVICES NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK, WHETHER TEMPORARY OR PERMANENT, AND WHETHER INCORPORATED OR NOT INCORPORATED IN THE WORK.
- THE CONTRACTOR SHALL SUPERVISE AND DIRECT ALL WORK, INCLUDING COORDINATION OF TRADES. ALL WORK SHALL BE ACCOMPLISHED BY LICENSED CONTRACTORS AND EXPERIENCED WORKERS. THE CONTRACTOR SHALL EMPLOY A SUPERINTENDENT TO SUPERVISE THE WORK ON SITE WHO SHALL BE THE CONTRACTORS REPRESENTATIVE.
- CONFORM TO ALL APPLICABLE CODES AND ORDINANCES, INCLUDING AIR QUALITY, NOISE AND WORK HOUR REQUIREMENTS.
- IF ANY HAZARDOUS MATERIALS, BURIAL MARKERS, ARCHIEOLOGICAL MATERIALS OR WETLANDS ARE FOUND, CONTRACTOR SHALL SUSPEND WORK IMMEDIATELY AND NOTIFY THE OWNER IN WRITING. WORK SHALL BE SUSPENDED UNTIL THE SIGNIFICANCE OF THE DISCOVERY IS ASSESSED BY A QUALIFIED PROFESSIONAL AND RESTORATION MEASURES ARE APPROVED.
- DURING PROGRESSION OF THE WORK, THE CONTRACTOR SHALL MAINTAIN A COPY OF THE DRAWINGS ON SITE IN A NEAT AND ORDERLY MANNER, INCLUDING ALL ADDENDA, REQUESTS FOR INFORMATION, SUPPLEMENTAL INFORMATION APPROVED SUBSTITUTIONS, APPROVED SHOP DRAWINGS, AND OTHER DOCUMENTS AND MARK THIS COPY TO INDICATE FIELD CHANGES AND AS-built CONDITIONS THROUGHOUT THE PROGRESSION OF THE WORK.
- UNTIL PROJECT ACCEPTANCE, THE CONTRACTOR SHALL BE RESPONSIBLE TO PROTECT AND MAINTAIN THE JOB SITE, INCLUDING ERECTING TEMPORARY FENCING, SIGNPOSTS, BARRIERS AND CLEARING. THE JOB SITE SHALL BE KEPT IN A NEAT AND CLEAN CONDITION AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MATERIALS ON THE JOB SITE AND SHALL REPLACE ANY MATERIALS DAMAGED OR LOST THROUGH THEFT OR OTHER REASONS AT NO ADDITIONAL COST TO THE OWNER.



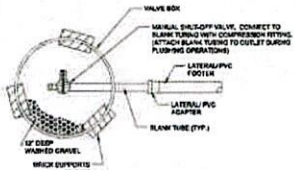
A- QUICK COUPLER
NTS



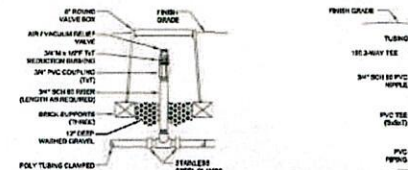
B-REMOTE CONTROL VALVE (DRIP ZONES)
NTS



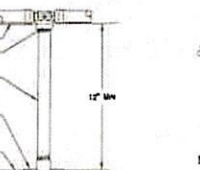
C-REMOTE CONTROL VALVE (BUBBLER ZONES)
NTS



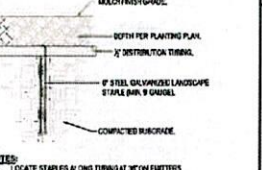
D- LINE FLUSH VALVE
NTS



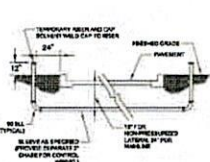
E- AIR/VACUUM RELIEF
NTS



F- STARTER CONNECTION
NTS



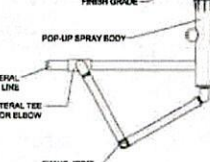
G-DRIPTUBE STAPLE
NTS



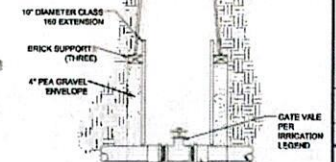
H- SLEEVE INSTALLATION
NTS



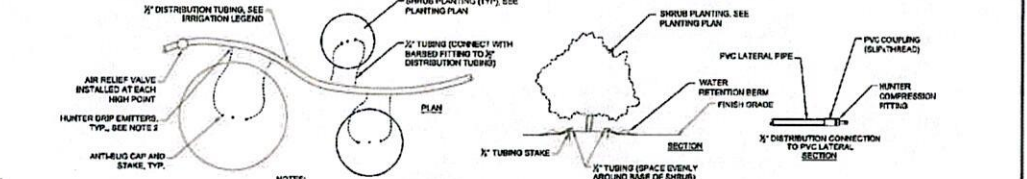
I- TRENCHING
NTS



J- POP-UP SPRAY
NTS



K- GATE VALVE
NTS



L- POINT SOURCE DRIP TUBE LAYOUT
NTS

CERTIFICATE OF COMPLETION

This certificate for City Council Certification is to be completed by the responsible person upon completion of the landscape project. Contractor is responsible for requirements with the owner and/or building inspector as required (document) prior to final inspection. Contractor is responsible to include all relevant documents noted in the sample certificate as part of the landscape scope of work.

PART 1- PROJECT INFORMATION

Project Address and Contact Information

Date	Advertiser's Parcel Number
Project Name	Parcel Number
Name of Applicant	Phone Number
Title	Fax Number
Company	Email Address
City	Street Address
City	State
City	Zip Code

Property Owner or Master Designer

Name of Applicant	Phone Number
Fax Number	Email Address
Company	Street Address
City	State
City	Zip Code

Property Owner

I hereby certify that I have reviewed copies of all the documents within the landscape documentation package and the contents of same and that I do hereby accept and agree that the project is maintained in accordance with the landscape and irrigation maintenance schedule.

Signature _____ Date _____

PART 2- CERTIFICATION OF INSTALLATION ACCORDING TO THE LANDSCAPE DOCUMENTATION PACKAGE

This is to certify that based on the project site observations, the work has been substantially completed in accordance with the water efficient landscape ordinance and that the landscape planting and irrigation installation conform with the details and specifications of the approved landscape documentation package.

Signature	Date
Name (Print)	Telephone Number
Title	Phone Number
License Type and Number	Fax Number
Company	Email Address
City	Street Address
City	State
City	Zip Code

*Owner, owners representative or the installation contractor

PART 3- SAMPLE IRRIGATION SCHEDULE

Irrigation contractor shall prepare an irrigation schedule for the entire project designating irrigation runtimes for each zone with days of operation per season (Spring, Summer, Fall and Winter), cycles per day and shall be set per specific site requirements. The final schedule shall consider plant water requirements, sun exposure and water application.

PART 4- SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE

Contractor to provide a written schedule for the planting and irrigation maintenance as required by the user efficient landscape ordinance.

PART 5- LANDSCAPE IRRIGATION AUDIT REPORT

Contractor to provide a written report upon completion of a 100% fully certified landscape irrigation audit. Irrigation audit shall not be conducted by the person who designed the landscape or installed the irrigation.

PART 6- SOIL MANAGEMENT REPORT

Contractor to submit the soil test report upon planting. Include a statement on contractor company methods including that all planned work generated per the recommendations of the soil test report. Include the certificate as part of the certificate of completion.

SITE MAINTENANCE

PROPOSED MAINTENANCE ENTITY (OR ENTITIES) FOR ON-SITE AND OFF-SITE (ROW) AREAS IS TO BE PROVIDED BY:

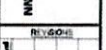
INNOVOC LLC
CONTACT: DAVID CHURCH (858) 354-0027

PRIOR TO CONSTRUCTION, I AGREE TO SUBMIT A COMPLETE LANDSCAPE CONSTRUCTION DOCUMENTATION PACKAGE THAT COMPLES WITH THE REQUIREMENTS OF APPLICABLE ORDINANCES, INCLUDING BUT NOT LIMITED TO ORDINANCE NO. 88-1, ORDINANCE 248, ORDINANCE 481, PROJECT CONDITIONS OF APPROVAL, AND IN SUBSTANTIAL CONFORMANCE WITH THE APPROVED LANDSCAPE CONCEPT PLAN. SHOULD THE ORDINANCES BE REVERSED, PLANS MAY BE SUBJECT TO CHANGE.



DATE: JUNE 26, 2020
 Project No.: 2000000000
 Client: Mr. & Mrs. Charles and Jo Ann Church
 Address: 33026 SANGSTON DRIVE, LAKE ELSINORE, CA 92530
 Project Name: DOLLAR GENERAL STORE

MINI RETAIL DEVELOPMENT
 33026 SANGSTON DRIVE
 LAKE ELSINORE, CA 92530
 (951) 354-0027



Project No.	2000000000
Date	JUN 26 2020
Client	Mr. & Mrs. Charles and Jo Ann Church
Address	33026 SANGSTON DRIVE, LAKE ELSINORE, CA 92530
Project Name	DOLLAR GENERAL STORE

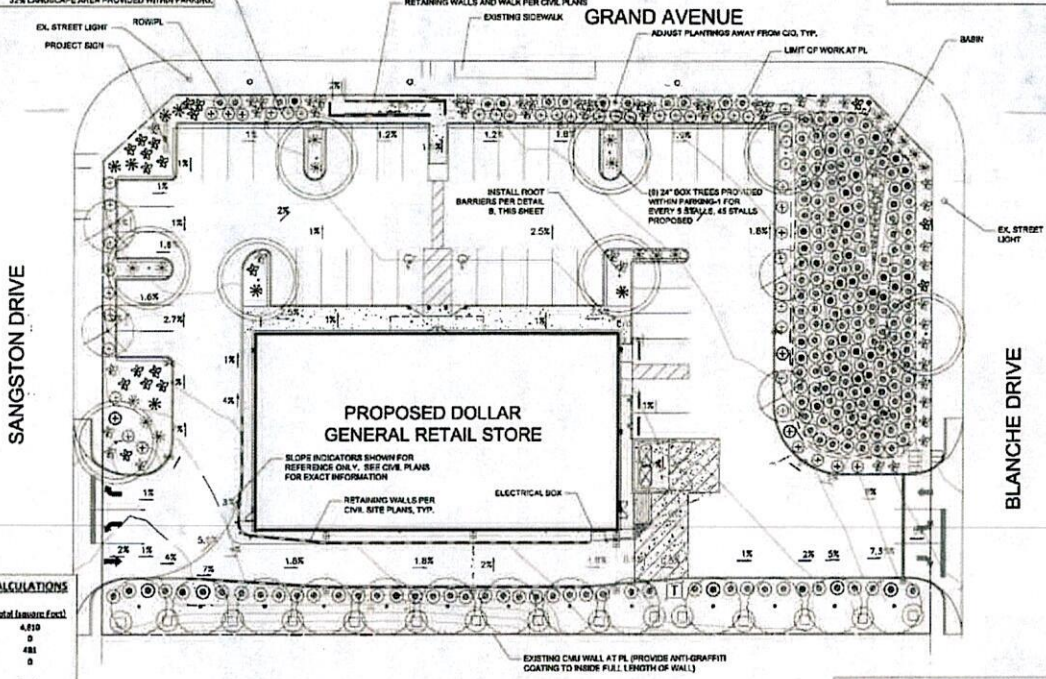
DOLLAR GENERAL RETAIL STORE
 33026 SANGSTON DRIVE
 LAKE ELSINORE CA 92530
LANDSCAPE NOTES AND DETAILS

PLANTING NOTES

- PLANTING SHALL CONFORM TO LOCAL REQUIREMENTS FOR LANDSCAPE SITE DEVELOPMENT.
- PROVIDE MINIMUM SLOPE OF 1% FOR POSITIVE DRAINAGE AWAY FROM CENTER IN ALL PLANTED AREAS.
- THE PLANT QUANTITIES SHOWN ON THE DRAWINGS ARE INFORMATIONAL ONLY. THE CONTRACTOR IS RESPONSIBLE FOR FINAL QUANTITIES REQUIRED TO COMPLETE THE WORK. IN CASE OF DISCREPANCY, THE PLAN SHALL GOVERN.
- ALL TREES SHALL BE PLANTED A MINIMUM OF 8' FROM UNDERGROUND UTILITIES.
- IMMEDIATELY AFTER AWARD OF CONTRACT, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IF SPECIFIED PLANT MATERIAL IS AVAILABLE FROM COMMERCIAL NURSERIES. IN THE EVENT THAT A PLANT IS NOT AVAILABLE, THE LANDSCAPE ARCHITECT WILL PROVIDE ALTERNATE PLANT MATERIAL SELECTIONS. SUCH CHANGES WILL NOT ALTER THE CONTRACTOR'S ORIGINAL BID PRICE UNLESS A CREDIT IS DUE TO THE OWNER.
- THE CONTRACTOR SHALL ENSURE THAT ALL EXCAVATED PLANT PITS HAVE POSITIVE DRAINAGE. PLANT PITS SHALL BE FULLY FILLED WITH WATER AND SHALL DRAIN WITHIN ONE (1) HOUR OF FILLING. THE CONTRACTOR SHALL EXCAVATE THROUGH ANY SUPERFICIAL LAYER IF ENCOUNTERED.
- ALL PLANT MATERIAL SHALL COMPLY WITH ANSI Z601 STANDARD FOR NURSERY STOCK.
- ROOT BARRIERS SHALL BE PROVIDED FOR ALL TREES WITHIN 8' OF ANY CURB AND/OR HARDSCAPE PAVEMENT. INSTALL IN LINE WITH FASHION AND EXTEND A MIN. OF 3' IN EACH DIRECTION. DO NOT OVERLAP THE ROOTBALL.
- ALL PLANTER AREAS (AND/OR AREAS NOTED) SHALL RECEIVE A 2" LAYER OF CRUSHED ROCK MULCH TO COVER BARE SOIL. ROCK SHALL BE LOCALLY AVAILABLE AND BE A SIZE RANGE OF 1" TO 3/4" MINUS. NO FINES. BARK MULCH SHALL NOT BE USED. NOTE: DO NOT INSTALL CRUSHED ROCK MULCH IN HYDROSEED OR LAWN AREAS (AS APPLICABLE).
- INSTALL WEED MAT BELOW ALL CRUSHED ROCK.
- THE CONTRACTOR SHALL PROVIDE A SOILS REPORT PREPARED BY A QUALIFIED SOILS SPECIALIST AND SUBMIT TO THE OWNER FOR FINAL APPROVAL. SOILS SAMPLES SHALL BE COLLECTED AFTER ROUGH GRADING OPERATIONS AND PRIOR TO THE INSTALLATION OF PLANT MATERIAL. SOIL SAMPLES SHALL BE SUFFICIENTLY NUMEROUS TO ACCOUNT FOR ANY SOIL VARIATIONS THAT MAY BE PRESENT ON THE SITE. THE FOLLOWING MINIMUM ITEMS SHALL BE INCLUDED IN THE ANALYSIS:
 - INFILTRATION RATE.
 - SOIL TEXTURE.
 - CATION EXCHANGE CAPACITY.
 - SOIL PHOSPHORUS INCLUDING TESTS FOR NITROGEN, POTASSIUM, PHOSPHORUS, PH, ORGANIC MATTER AND SPECIFIC CONDUCTANCE (E.C.).
- PRIOR TO PLANTING, SOIL AND/OR MULCH SHALL BE ADDED PER RECOMMENDATIONS OF THE SOILS REPORT. SOIL AMENDMENTS SHOWN ON THE PLANS ARE TO BE USED FOR RIDING PURPOSES ONLY. THE RESULTS OF THE SOILS TESTS TO THE CONTRACTOR PERFORMER SHALL DETERMINE ACTUAL AMENDMENTS.
- COMPOST AT A RATE OF A MINIMUM OF FOUR CUBIC YARDS PER 1,000 SQUARE FEET OF PERMEABLE AREA (OR PER RECOMMENDATIONS OF THE SOILS TEST, WHICHEVER IS GREATER) SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOIL. SOILS WITH GREATER THAN SIX ORGANIC MATTER IN THE TOP 6 INCHES OF SOIL ARE EXEMPT FROM ADDING COMPOST AND TILLAGE.
- APPLY AN APPLICATION OF GRANULAR PRE-EMERGENT DIMENSION 2200 OR APPROVED EQUAL PRIOR TO MULCH PLACEMENT. INSTALL PER MANUFACTURER'S SPECIFICATIONS. APPLY WATER AS REQUIRED FOR ACTIVATION.
- CONTRACTOR RESPONSIBLE FOR EROSION AND SEDIMENT CONTROL AT ALL TIMES. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED UNTIL DISTURBED AREAS ARE STABILIZED. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CHECKED BEFORE AND AFTER ALL STORMS TO ENSURE ALL MEASURES ARE FUNCTIONING PROPERLY.
- ALL AREAS THAT ARE EXPOSED SHALL BE PLANTED WITH HYDROSEED MIX. NO AREAS SHALL BE LEFT EXPOSED DURING THE WINTER MONTHS. EXPOSED SURFACE SHALL HAVE EROSION CONTROL MEASURES IN PLACE PRIOR TO OCTOBER 1.
- ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS, DRIVEWAYS OR OTHER NON-PLANTER AREAS SHALL BE SWEEPED AT THE END OF EACH WORKING DAY.
- CONTRACTOR SHALL ADHERE TO THE REQUIREMENTS OF THE CIVIL EROSION CONTROL PLAN AND/OR THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IN ADDITION TO THESE MINIMUM REQUIREMENTS (AS APPLICABLE).
- ALL PLANTER AREAS TO BE FREE FROM DEBRIS, TRASH, CONSTRUCTION MATERIAL, WOOD, ETC WITHIN THE TOP 6" OF THE SOIL. SOIL SHALL BE FREE FROM STONES GREATER THAN 1" IN DIAMETER WITHIN THE TOP 6" OF SOIL PROFILE.

- PARKING AREA LANDSCAPE**
- 7.5%-8.5% REQUIRED.
 - 4,388 LANDSCAPE SQUARE FEET PROPOSED.
 - 11,708 SQUARE FEET PARKING AREA.
 - 32% LANDSCAPE AREA PROVIDED WITHIN PARKING.

- MINIMUM COUNTY REQUIRED LANDSCAPE**
- 40% SHADE COVERAGE IN PARKING LOT.
 - 7.5%-8.5% PARKING LOT LANDSCAPE.
 - 44 PARKING SPACES PROPOSED.



PLANT LEGEND

SYM	BOTANICAL/COMMON NAME	SIZE	QTY	WATER USE (ZONE 4) SOUTH INLAND VALLEY
SHRUBS				
(Symbol)	Laurus nobilis 'SANTOGA' / SANTOGA LAUREL	24" BOX	13	LOW
(Symbol)	Lagerströmia indica / TUSCANY LAVENDER	24" BOX	4	LOW
(Symbol)	Pistacia chinensis / CHINESE PISTACHE	24" BOX	6	LOW
TREES				
(Symbol)	Callistemon viminalis / LITTLE JEWEL BOTTLEBRUSH	5 GAL	46	LOW
(Symbol)	Dryas vegeta / FORTNIGHT LILY	5 GAL	24	LOW
(Symbol)	Muhlenbergia rogersii / DEER GRASS	5 GAL	254	LOW
(Symbol)	Rosmarinus officinalis 'TUSCAN BLUE' / ROSEMARY	5 GAL	61	LOW
(Symbol)	Xylosma congestum / COMPACTA SHINY XYLONIA	5 GAL	18	LOW

PARKING LOT SHADE CALCULATIONS

Tree Below

COVERAGE	SIZE	#	Total Shade Area (sq. ft.)
100%	5	982	4,810
75%	0	732	0
50%	1	481	481
25%	0	340	0
Total Shade Provided:			5,600
Parking Surface Area:			11,708
Parking Shade Percentage:			53%

Tree Crops

COVERAGE	SIZE	#	Total
100%	0	314	0
75%	0	255	0
50%	2	157	314
25%	0	79	0

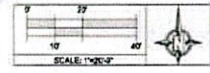
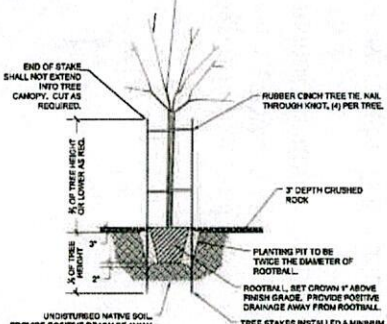
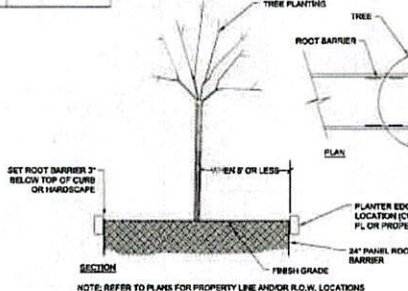
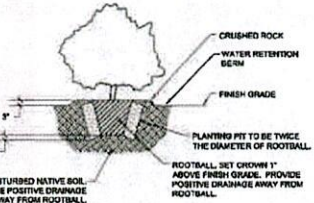
PLANTING DESIGN NOTES:

- THE EXISTING SITE IS SURROUNDED BY LANDSCAPE THAT DOES NOT CREATE A SPECIFIC DESIGN THEME OR HOLD CONTINUITY OR ANY LANDSCAPE AESTHETIC.
- THE PROPOSED LANDSCAPE APPROACH WAS TO CREATE A CONTINUOUS PLANTING THEME AROUND THE THREE VISIBLE SIDES OF THE SITE WHILE PROVIDING A BUFFER BETWEEN THE PROPOSED SITE AND ADJACENT RESIDENTIAL.
- THE PROJECT IS NOT LOCATED WITHIN AN ADOPTED OR PROPOSED COMMUNITY DESIGN GUIDELINE AREA OR DISTRICT.
- DESIGN GUIDELINES WERE NOT USED IN DEVELOPING THE PLAN.
- THE SITE IS NOT WITHIN AN ADOPTED OR PROPOSED SPECIFIC PLAN AREA.
- THE PROJECT IS NOT THE FIRST PHASE TO BE DEVELOPED. HOWEVER, THE LAKE COUNTRY PLAZA ACROSS THE STREET DOES NOT CONTAIN LANDSCAPE THAT DEFINES A THEME OR AESTHETIC. THEREFORE, THIS SITE WILL ESTABLISH A THEME FOR THE AREA.

LAKE COUNTRY PLAZA AGREEMENT

I HAVE COMPLIED WITH THE CRITERIA OF THE WATER EFFICIENT ORNAMENTATION AND APPLIED THEM ACCORDINGLY FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.

DATE: 05/09/2019



MSLA
LANDSCAPE ARCHITECTURE
1000 P STREET, SUITE 100
SAN DIEGO, CA 92101
Phone: 619.594.9200

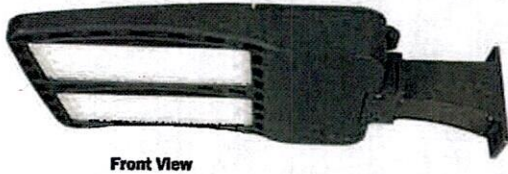


DATE: JUNE 10, 2020
DRAWN BY: MS
CHECKED BY: MS
SCALE: AS NOTED
PROJECT NUMBER: 19101001

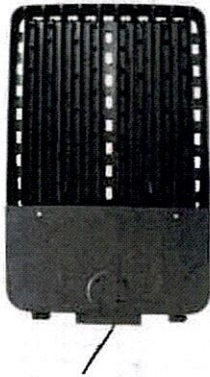
MINI RETAIL DEVELOPMENT
15842 WALKER HILL LANE
SAN DIEGO, CA 92127
(619) 354-0007

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	05/09/2019
2		
3		

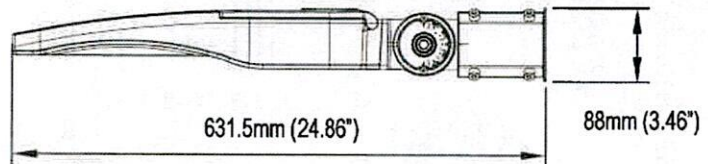
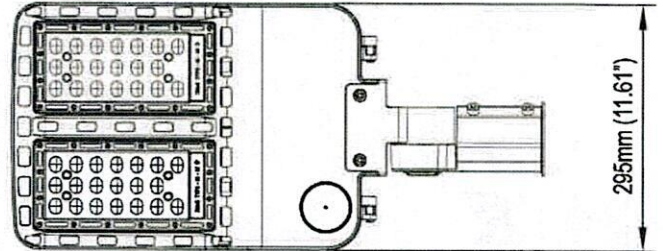
DOLLAR GENERAL RETAIL STORE
33026 SANGSTON DRIVE
LAKE EL SINORE CA 92530
PLANTING PLAN



Front View



Back View



Structure Features

- Shell materials: Aluminum & PC.
- Finish: Dark Bronze/White
- Net Weight: 2.9Kg (6.4 lbs)
- Product Size: 631.5mm *295mm*88mm
- Carton Size: 390mm*267mm*185mm

Area Light Series (Parking Lot)

Order Code	Part Number	Watts	Lumens	CCT	Input	Voltage
AL1110	AL-15050-MV	150	18000	5000	>80	120-277
AL1112	AL-24050-MV	240	28000	5000	>80	120-277

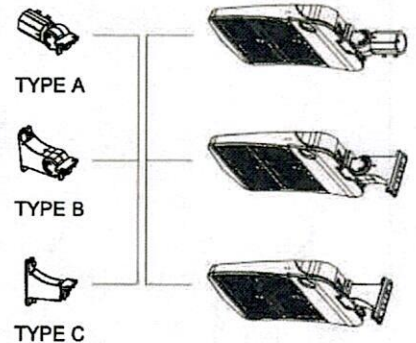
150W MOUNTING BRACKETS:

Mount Type	Order Code	Part #
Slip Fitter (A)	AL5550	AL-SF-001
Square Pole Mount (B)	AL5551	AL-SP-001
Round Pole Mount (C)	AL5552	AL-RP-001

240W MOUNTING BRACKETS:

Mount Type	Order Code	Part #
Slip Fitter (A)	AL6660	AL-SF-240
Square Pole Mount (B)	AL6661	AL-SP-240
Round Pole Mount (C)	AL6662	AL-RP-240

There are 5 optional brackets for this fixture. The following is shoebox fixtures with different brackets.



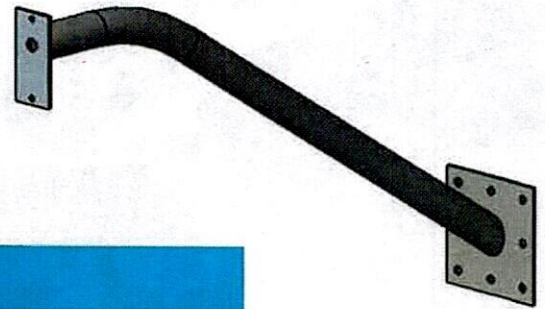
Area Light Series:

The LEDS Area Lights are perfect for new construction, retrofit and lighting upgrade solutions. High output and top of the line specifications. Available in multiple wattage and lumen output configurations to meet any lighting application. Type 4 & 5 available.

Features:

- Lumileds LEDs: High efficacy, long life
- High efficiency driver: 120V - 277V
- Die-cast aluminum construction for superior thermal management.
- Premium optics for even light distribution, Utilization and control.
- 5-Year warranty

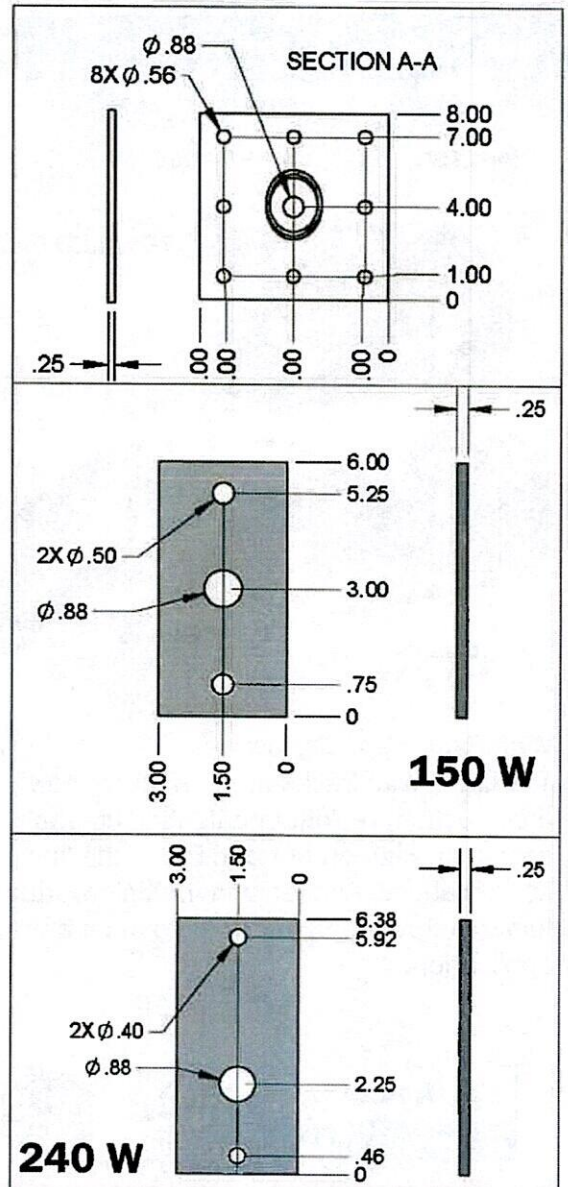
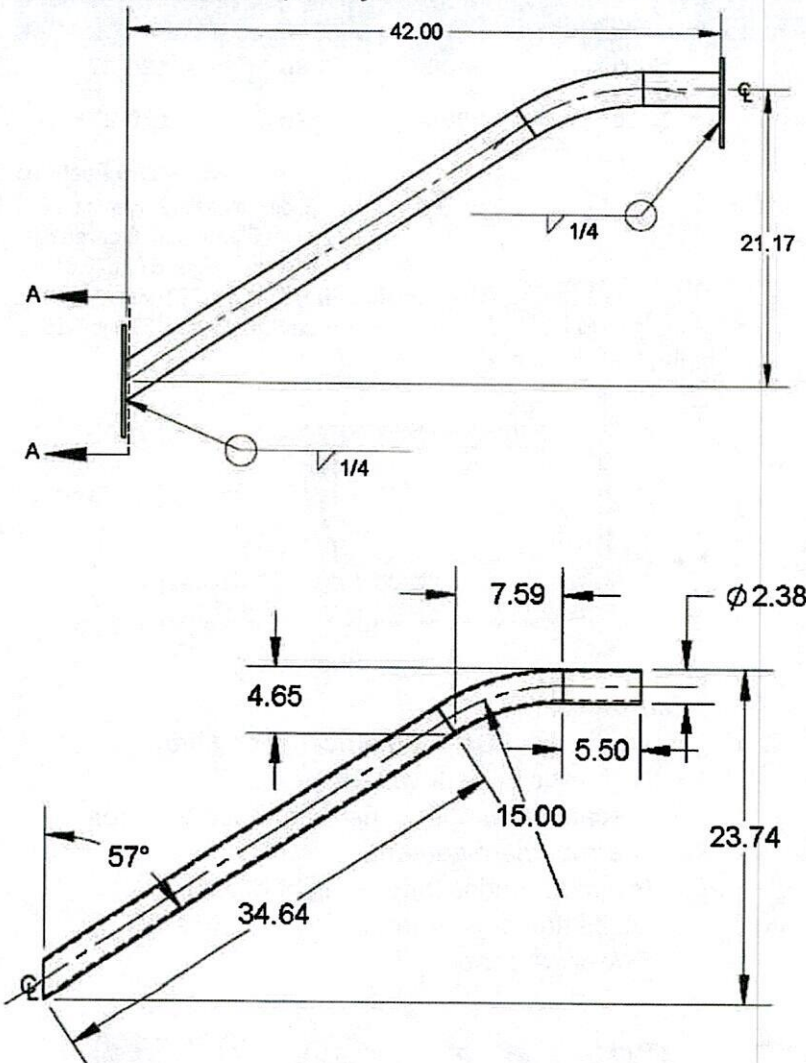


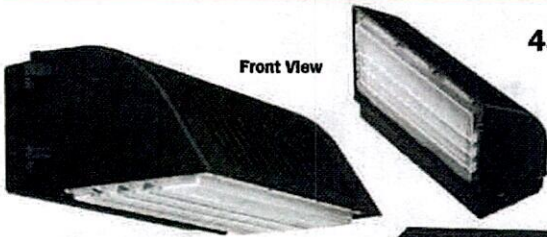


Building Mounted Arm Series

Part Number	Description
LEDS-ARM-150	Building Mounted Arm for 150W Area Light, 42" Upsweep, Bronze Finish
LEDS-ARM-240	Building Mounted Arm for 240W Area Light, 42" Upsweep, Bronze Finish

All dimensions are in inches.
 All dimensions and specifications are subject to change without notice.

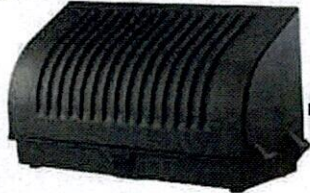




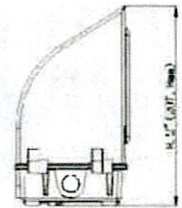
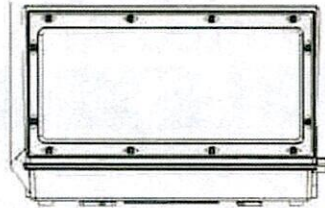
Front View

45W LED Full Cut-off

Dimension
16 x 11 x 9



Back View



- Structure Features**
- Shell materials: Aluminum & Glass
 - Finish: Dark Bronze/White
 - Net Weight: 2.9Kg (6.4 lbs)
 - Product Size: 354.8mm *207.8mm*126.4mm
 - Carton Size: 390mm*267mm*185mm

Full Cut-off Series

Order Code	Part Number	Watts	Lumens	CCT	Input	Voltage
WP1113	WP-FC-4550-MV	45	4800	5000	>80	120-277
WP1114	WP-FC-7050-MV	70	7200	5000	>80	120-277



Back View

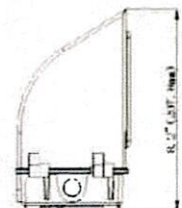
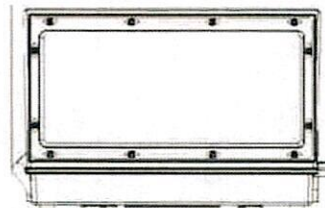
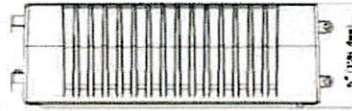
70W LED Full Cut-off



Front View



Front View



- Structure Features**
- Shell materials: Aluminum & PC.
 - Finish: Dark Bronze/White
 - Net weight: 3.0Kg (6.61 lbs)
 - Product Size: 354.8mm *207.8mm*126.4mm
 - Carton Size: 390mm*267mm*185mm

Dimension
16 x 11 x 9

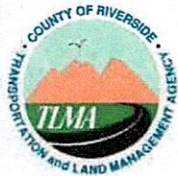
Wall Pack Light Series:

The LEDS Wall Packs are perfect for new construction, retrofit and lighting upgrade solutions. High output and top of the line specifications. Available in multiple wattage and lumen output configurations to meet any lighting application.

Features:

- Lumileds LEDs: High efficacy, long life.
- High efficiency driver: 120V – 277V
- Diecast aluminum construction for superior thermal management.
- Premium optics for even light distribution, utilization and control.
- 5-Year warranty





**COUNTY OF RIVERSIDE
TRANSPORTATION AND LAND MANAGEMENT AGENCY**

Juan C. Perez
Agency Director



08/05/20, 3:16 pm

CUP190022

ADVISORY NOTIFICATION DOCUMENT

The following notifications are included as part of the recommendation of approval for CUP190022. They are intended to advise the applicant of various Federal, State and County regulations applicable to this entitlement and the subsequent development of the subject property.

Advisory Notification

Advisory Notification. 1 AND - Expiration

This approved permit shall be used within eight (8) years from the approval date; otherwise, the permit shall be null and void. The term used shall mean the beginning of construction pursuant to a validly issued building permit for the use authorized by this approval. Prior to the expiration of the 8 years, the permittee/applicant may request an extension of time to use the permit. The extension of time may be approved by the Assistant TLMA Director upon a determination that a valid reason exists for the permittee not using the permit within the required period. If an extension is approved, the total time allowed for use of the permit shall not exceed ten (10) years.

Advisory Notification. 2 AND - Exterior Noise Levels

Exterior noise levels produced by any use allowed under this permit, including, but not limited to, any outdoor public address system, shall not exceed 45 db(A), 10 minute LEQ, between the hours of 10:00 p.m. to 7:00a.m., and 65 db(A), 10 minute LEQ, at all other times as measured at any residential, hospital, school, library, nursing home or other similar noise sensitive land use. In the event noise exceeds this standard, the permittee or the permittee's successor in interest shall take the necessary steps to remedy the situation, which may include discontinued operation of the facilities. The permit holder shall comply with the applicable standards of Ordinance No. 847. The car wash and vacuum operations are not permitted to operate between the hours of 10:00 PM and 7:00 AM.

Advisory Notification. 3 AND - Preamble

This Advisory Notification Document is included as part of the justification for the recommendation of approval of this Plan (CUP190022) and is intended to advise the applicant of various Federal, State and County regulations applicable to this entitlement and the subsequent development of the subject property in accordance with approval of that entitlement and are in addition to the applied conditions of approval.

Advisory Notification. 4 AND - Project Description & Operational Limits

CONDITIONAL USE PERMIT NO. 190022 – A conditional Use Permit for the construction of a 9,100 square foot stand-alone retail store that will include the sale of beer and wine for off site consumption (subject to a type 210 license), with associated parking and detention basin.

ADVISORY NOTIFICATION DOCUMENT

Advisory Notification

Advisory Notification. 5 AND - Beer and Wine (cont.)

Advisory Notification. 5 AND - Beer and Wine

The following Development standards shall apply:

- a. Only beer and wine may be sold.
- b. The owner of each location and the management at each location shall educate the public regarding driving under the influence of intoxicating beverages, minimum age for purchase and consumption of alcoholic beverages, driving with open containers and the penalty associated with violation of these laws. In addition, the owner and management shall provide health warnings about the consumption of alcoholic beverages. This educational requirement may be met by posting prominent signs, decals or brochures at points of purchase. In addition, the owner and management shall provide adequate training for all employees at the location as to these matters.
- c. No displays of beer, wine or other alcoholic beverages shall be located within five feet of any building entrance or checkout counter.
- d. Cold beer or wine shall be sold from, or displayed in, the main, permanently affixed electrical coolers only.
- e. No beer, wine or other alcoholic beverages advertising shall be located on gasoline islands; and no lighted advertising for beer, wine, or other alcoholic beverages shall be located on the exterior of buildings or within window areas.
- f. Employees selling beer and wine between the hours of 10:00 p.m. and 2:00 a.m. shall be at least 21 years of age.
- g. No sale of alcoholic beverages shall be made from a drive-in window.

Advisory Notification. 6 AND - Design Guidelines

Compliance with applicable Design Guidelines:

1. Lakeland Village Design Guidelines
2. County Wide Design Guidelines and Standards

Advisory Notification. 7 AND - Exhibits

The development of the premises shall conform substantially with that as shown on EXHIBITS
 Exhibit A (Site Plan), dated 4/17/20
 Exhibit B (Elevations), dated 5/21/20
 Exhibit C (Floor Plans), dated 9/16/19
 Exhibit G (Conceptual Grading Plan), dated 6/17/19 (Stamped 3/31/20)
 Exhibit L (Conceptual Landscaping and Irrigation Plans) dated 6/26/20
 Other Exhibit(s) Lighting Plans, Wall Pack

Advisory Notification. 8 AND - Federal, State & Local Regulation Compliance

1. Compliance with applicable Federal Regulations, including, but not limited to:
 - National Pollutant Discharge Elimination System (NPDES)
 - Clean Water Act
 - Migratory Bird Treaty Act (MBTA)

ADVISORY NOTIFICATION DOCUMENT

Advisory Notification

Advisory Notification. 8 AND - Federal, State & Local Regulation Compliance (cont.)

2. Compliance with applicable State Regulations, including, but not limited to:
 - The current Water Quality Management Plan (WQMP) Permit issued by the applicable Regional Water Quality Control Board (RWQCB.)
 - Government Code Section 66020 (90 Days to Protest)
 - Government Code Section 66499.37 (Hold Harmless)
 - State Subdivision Map Act
 - Native American Cultural Resources, and Human Remains (Inadvertent Find)
 - School District Impact Compliance
3. Compliance with applicable County Regulations, including, but not limited to:
 - Ord. No. 348 (Land Use Planning and Zoning Regulations)
 - Ord. No. 413 (Regulating Vehicle Parking)
 - Ord. No. 421 (Excavation Covering & Swimming Pool Safety)
 - Ord. No. 457 (Building Requirements)
 - Ord. No. 484 (Control of Blowing Sand)
 - Ord. No. 625 (Right to Farm)
 - Ord. No. 655 (Regulating Light Pollution)
 - Ord. No. 671 (Consolidated Fees)
 - Ord. No. 787 (Fire Code)
 - Ord. No. 847 (Regulating Noise)
 - Ord. No. 857 (Business Licensing)
 - Ord. No. 859 (Water Efficient Landscape Requirements)
 - Ord. No. 915 (Regulating Outdoor Lighting)
 - Ord. No. 916 (Cottage Food Operations)
 - Ord. No. 925 (Prohibiting Marijuana Cultivating)
 - Ord. No. 927 (Regulating Short Term Rentals)
 - Ord. No. 928 (Clarifying County Prohibition on Mobile Marijuana Dispensaries and Deliveries)
4. Mitigation Fee Ordinances
 - Ord. No. 659 Development Impact Fees (DIF)
 - Ord. No. 663 Stephens Kangaroo Rat Habitat Conservation Plan (SKR)
 - Ord. No. 673 Coachella Valley Transportation Uniform Mitigation Fee (CV TUMF)
 - Ord. No. 810 Western Riverside County Multiple Species Habitat Conservation Plan (WRCMSHCP)
 - Ord. No. 824 Western Riverside County Transportation Uniform Mitigation Fee (WR TUMF)
 - Ord. No. 875 Coachella Valley Multiple Species Habitat Conservation Plan (CV MSHCP)

Advisory Notification. 9 AND - Section 18.48 Standards

The owner and the management of the store shall educate the public regarding driving under the influence of intoxicating beverages, minimum age for purchase and consumption of alcoholic beverages, driving with open containers and the penalty associated with violation of these laws. In addition, the owner and management shall provide health warnings about the consumption of alcoholic beverages. This educational requirement may be met by posting prominent signs, decals or brochures at points of purchase. In addition, the owner and management shall provide adequate training for all employees at the location as to these matters. No displays of beer, wine or other alcoholic beverages shall be located

ADVISORY NOTIFICATION DOCUMENT

Advisory Notification

Advisory Notification. 9 AND - Section 18.48 Standards (cont.)

within five feet of any building entrance or checkout counter. Cold beer or wine shall be sold from, or displayed in, the main, permanently affixed electrical coolers only. Employees selling beer and wine between the hours of 10:00 p.m. and 2:00 a.m. shall be at least 21 years of age.

BS-Plan Check

BS-Plan Check. 1 Gen - Custom

BUILDING AND SAFETY COMMENTS

To assist in providing an expeditious review, please cloud all corrections on revised exhibit. Items labeled as "Notifications" are for your information only and are not required for entitlement approval. Thank You.

NOTIFICATIONS:

ACCESSIBLE PATH OF TRAVEL:

Please include with the building submittal a revised site plan to indicate the required continuous accessible paved path of travel. The accessible path of travel details shall include;

1. Accessible path construction type (Asphalt or concrete).
2. Accessible path width.
3. Accessible path directional slope % and cross slope %.
4. All accessible ramp and curb cut-out locations and details where applicable.

The Accessible path of travel shall:

1. Connect to the public R.O.W.
2. Connect to all building(s).
3. Connect to all accessible parking loading/unloading areas.
4. Connect to accessible sanitary facilities.
5. Connect to areas of public accommodation.

Please be aware that the approved site plan with accessibility requirements should be included with any building plan submittals. The plan review staff may have additional comments depending on the additional information or revisions provided during the plan review process. Additional accessible requirements within the structure shall be reviewed during the building plan review.

CODE/ORDINANCE REQUIREMENTS:

The applicant shall obtain the required building permit(s) from the building department prior to any construction on the property. All building plans and supporting documentation shall comply with current adopted California Building Codes, Riverside County Ordinances regulations in effect at the time of building plan submittal and fee payment to the Building Department. All Building Department plan submittal and fee requirements shall apply.

NOTE: The new updated 2019 California Building Codes will be in effect as of January 1st 2020, as mandated by the state of California. Any building plan and fee payment submitted to the building department on or after January 1st, 2020 will be subject to the new updated California Building Code(s).

PERMIT ISSUANCE:

Per section 105.1 (2016 California Building Code, CBC): Where any owner or authorized agent intends to construct, enlarge, alter, repair, move, demolish or change the occupancy of a building or structure, or to erect, install, enlarge, alter, repair, remove, convert, or replace any electrical, gas, mechanical, or plumbing system, the regulation of which is governed by this code, or to cause any such work to be done, shall first make application to the building official and obtain the required permit.

ADVISORY NOTIFICATION DOCUMENT

BS-Plan Check

BS-Plan Check. 1

Gen - Custom (cont.)

The applicant shall obtain the required building permit(s) from the building department prior to any construction or placement of any building, structure or equipment on the property.

The applicant shall obtain an approved final building inspection and certificate of occupancy from the building department prior to any use or occupancy of the building, or structure.

At no time shall the approval of the planning case exhibit allow for the construction or use of any building, structure, or equipment. In residential applications, each separate structure will require a separate building permit.

E Health

E Health. 1

EVMWD WATER AND SEWER

CUP190022 is proposing to receive potable water and sanitary sewer service from Elsinore Valley Municipal Water District (EVMWD). It is the responsibility of the developer to ensure that all requirements to obtain water and sewer service are met with EVMWD as well as all other applicable agencies.

Fire

Fire. 1

Fire - Advisory

Fire Department emergency vehicle apparatus access road locations and design shall be in accordance with the California Fire Code, Riverside County Ordinance 460, Riverside County Ordinance 787, and Riverside County Fire Department Standards. Plans must be submitted to the Fire Department for review and approval prior to building permit issuance.

Fire Department water system(s) for fire protection shall be in accordance with the California Fire Code, Riverside County Ordinance 787 and Riverside County Fire Department Standards. Plans must be submitted to the Fire Department for review and approval prior to building permit issuance.

This project is in a High Fire Hazard, State Responsibility Area. In addition to County Ordinance, it will also be required to comply with all provisions of the State Board of Forestry, California Code of Regulations, Title 14.

Planning

Planning. 1

Gen - ADA Parking Spaces

A minimum of 2 accessible parking spaces for persons with disabilities shall be provided as shown on APPROVED EXHIBIT

A. Each parking space reserved for persons with disabilities shall be identified by a permanently affixed reflectorized sign constructed of porcelain on steel, beaded text or equal, displaying the International Symbol of Accessibility. The sign shall not be smaller than 70 square inches in area and shall be centered at the interior end of the parking space at a minimum height of 80 inches from the bottom of the sign to the parking space finished grade, or centered at a minimum height of 36 inches from the parking space finished grade, ground or sidewalk. A sign shall also be posted in a conspicuous place, at each entrance to the off-street parking facility, not less than 17 inches by 22 inches, clearly and conspicuously stating the

ADVISORY NOTIFICATION DOCUMENT**Planning****Planning. 1 Gen - ADA Parking Spaces (cont.)**

following:

"Unauthorized vehicles not displaying distinguishing placards or licence plates issued for physically handicapped persons may be towed away at owners expense, Towed vehicles may be reclaimed at ___ or by telephoning ___."

In addition to the above requirements, the surface of each parking space shall have a surface identification sign duplicating the symbol of accessibility in blue paint of at least 3 square feet in size.

Planning. 2 Gen - Anti Graffiti Coating

The Southerly masonry wall dividing the property from the residences shall be coated with anti Graffiti Coating.

Planning. 3 Gen - Bike Racks

The property shall implement bike racks.

Planning. 4 Gen - Colors and Materials

Building colors and materials shall be in substantial conformance with those shown on APPROVED EXHIBIT B

Planning. 5 Gen - Electric Vehicle Parking

Two parking spaces are required to be designated for electric vehicle parking with one charging station.

Planning. 6 Gen - Graffiti

Any graffiti painted or marked upon the premises or on any adjacent area under the control of the licensee(s) shall be removed or painted over within hours of being applied.

Planning. 7 Gen - Hold Harmless

The applicant/permittee or any successor in interest shall defend, indemnify, and hold harmless the County of Riverside or its agents, officers, and employees (COUNTY) from the following:

(a) any claim, action, or processing against the COUNTY to attack, set aside, void, or annul and approval of the COUNTY, its advisory agencies, appeal boards, or legislative body concerning the CUP190022 or its associated environmental documentation; and, (b) any claim, action or proceeding against the COUNTY to attack, set aside, void or annul any other decision made by the COUNTY concerning the CUP190022 including, but not limited to decisions made in response to California Public Records Act requests; and (a) and (b) above are hereinafter collectively referred to as "LITIGATION".

The COUNTY shall promptly notify the applicant/permittee of any LITIGATION and shall cooperate fully in the defense. If the COUNTY fails to promptly notify the applicant/permittee of any such LITIGATION or fails to cooperate fully in the defense, the applicant/permittee shall not thereafter, be responsible to defend, indemnify or hold harmless to the COUNTY.

The obligations imposed by this condition include, but are not limited to, the following: the

ADVISORY NOTIFICATION DOCUMENT

Planning

Planning. 7

Gen - Hold Harmless (cont.)

applicant/permittee shall pay all legal services expenses the COUNTY incurs in connection with any such LITIGATION, whether it incurs such expenses directly, whether it is ordered by a court to pay such expenses, or whether it incurs such expenses by providing legal services through its Office of County Counsel.

Payment for the COUNTY's costs related to the LITIGATION shall be made on a deposit basis. Within thirty (30) days of receipt of notice from COUNTY that LITIGATION has been initiated against the project, applicant/permittee shall initially deposit with the COUNTY's Planning Department the total amount of Twenty Thousand Dollars (20,000). Applicant/permittee shall deposit with the COUNTY such additional amounts as COUNTY reasonably and in good faith determines, from time to time, are necessary to cover costs and expenses incurred by the COUNTY, including but not limited to, the Office of the County Counsel, Riverside County Planning Department and the Riverside County Clerk of the Board associated with the LITIGATION. To the extent such costs are not recoverable under the California Public Records Act from the records requestor, applicant/permittee agrees that deposits under this section may also be used to cover staff time incurred by the COUNTY to compile, review, and redact records in response to a Public Record Act request made by a petitioner in any legal challenge to the Project when the petitioner is using the Public Records Act request as a means of obtaining the administrative record for LITIGATION purposes. Within ten (10) days of written notice from COUNTY, applicant/permittee shall make such additional deposits.

Planning. 8

Gen - Landscape requirement

This condition applies to both onsite and offsite (ROW) landscaping:

The developer/ permit holder shall:

- 1) Ensure all landscape and irrigation plans are in conformance with the APPROVED EXHIBITS;
- 2) Ensure all landscaping is provided with California Friendly landscaping and a weather-based irrigation controller(s) as defined by County Ordinance No. 859;
- 3) Ensure that irrigation plans which may use reclaimed water conform with the requirements of the local water purveyor; and,
- 4) Be responsible for maintenance, viability and upkeep of all slopes, landscaped areas, and irrigation systems until the successful completion of the twelve (12) month inspection or those operations become the responsibility of the individual property owner(s), a property owner's association, or any other successor-in-interest, whichever occurs later.

To ensure ongoing maintenance, the developer/ permit holder or any successor-in-interest shall:

- 1) Connect to a reclaimed water supply for landscape irrigation purposes when reclaimed water is made available.
- 2) Ensure that landscaping, irrigation and maintenance systems comply with the Riverside County Guide to California Friendly Landscaping, and Ordinance No. 859.
- 3) Ensure that all landscaping is healthy, free of weeds, disease and pests.

Planning. 9

Gen - Lighting Hooded/Directed

Any outside lighting shall be hooded and directed so as not to shine directly upon adjoining property or public rights of way.

Lighting shall be implemented to ensure that no light will spread into the residential properties to the south.

ADVISORY NOTIFICATION DOCUMENT

Planning-GEO

Planning-GEO. 1

GEO200023 ACCEPTED (cont.)

minimum depth of 5 feet below existing grade or 3 feet below foundation bearing grade, whichever is deeper.

2. The overexcavation and recompaction should also extend laterally 5 feet beyond the edges of the proposed footings.

3. Prior to fill placement, the upper 8 inches of subgrade soils should be scarified, moisture conditioned to slightly above optimum moisture content, and recompacted to a minimum of 95 percent of the maximum dry density.

4. All fill material should be compacted to a minimum of 95 percent of the maximum density.

GEO No. 200023 satisfies the requirement for an updated geologic/geotechnical study for Planning/CEQA purposes. GEO No. 200023 is hereby accepted for planning purposes. Engineering and other Building Code parameters were not included as a part of this review or approval. This approval is not intended and should not be misconstrued as approval for grading permit. Engineering and other building code parameters should be reviewed and additional comments and/or conditions may be imposed by the County upon application for grading and/or building permits.

Planning-PAL

Planning-PAL. 1

LOW PALEO POTENTIAL

According to the County's General Plan, this site has been mapped as having a "Low Potential" for paleontological resources. This category encompasses lands for which previous field surveys and documentation demonstrates a low potential for containing significant paleontological resources subject to adverse impacts. As such, this project is not anticipated to require any direct mitigation for paleontological resources. However, should fossil remains be encountered during site development:

1. All site earthmoving shall be ceased in the area of where the fossil remains are encountered. Earthmoving activities may be diverted to other areas of the site.

2. The owner of the property shall be immediately notified of the fossil discovery who will in turn immediately notify the County Geologist of the discovery.

3. The applicant shall retain a qualified paleontologist approved by the County of Riverside.

4. The paleontologist shall determine the significance of the encountered fossil remains.

5. Paleontological monitoring of earthmoving activities will continue thereafter on an as-needed basis by the paleontologist during all earthmoving activities that may expose sensitive strata. Earthmoving activities in areas of the project area where previously undisturbed strata will be buried but not otherwise disturbed will not be monitored. The supervising paleontologist will have the authority to reduce monitoring once he/she determines the probability of encountering any additional fossils has dropped below an acceptable level.

6. If fossil remains are encountered by earthmoving activities when the paleontologist is not onsite,

ADVISORY NOTIFICATION DOCUMENT

Planning-PAL

Planning-PAL. 1 LOW PALEO POTENTIAL (cont.)

these activities will be diverted around the fossil site and the paleontologist called to the site immediately to recover the remains.

7. Any recovered fossil remains will be prepared to the point of identification and identified to the lowest taxonomic level possible by knowledgeable paleontologists. The remains then will be curated (assigned and labeled with museum* repository fossil specimen numbers and corresponding fossil site numbers, as appropriate; places in specimen trays and, if necessary, vials with completed specimen data cards) and catalogued, an associated specimen data and corresponding geologic and geographic site data will be archived (specimen and site numbers and corresponding data entered into appropriate museum repository catalogs and computerized data bases) at the museum repository by a laboratory technician. The remains will then be accessioned into the museum repository fossil collection, where they will be permanently stored, maintained, and, along with associated specimen and site data, made available for future study by qualified scientific investigators. * Per the County of Riverside "SABER Policy", paleontological fossils found in the County of Riverside should, by preference, be directed to the Western Science Center in the City of Hemet.

8. The property owner and/or applicant on whose land the paleontological fossils are discovered shall provide appropriate funding for monitoring, reporting, delivery and curating the fossils at the institution where the fossils will be placed, and will provide confirmation to the County that such funding has been paid to the institution.

Transportation

Transportation. 1 RCTD - GENERAL CONDITIONS

1. With respect to the conditions of approval for the referenced tentative exhibit, it is understood that the exhibit correctly shows acceptable centerline elevations, all existing easements, traveled ways, and drainage courses with appropriate Q's, and that their omission or unacceptability may require the exhibit to be resubmitted for further consideration. The County of Riverside applicable ordinances and all conditions of approval are essential parts and a requirement occurring in ONE is as binding as though occurring in all. All questions regarding the true meaning of the conditions shall be referred to the Transportation Department.

2. The Project shall submit a preliminary soils and pavement investigation report addressing the construction requirements within the road right-of-way.

3. A signing and striping plan is required for this project. The Project shall be responsible for any additional paving and/or striping removal caused by the striping plan or as approved by the Director of Transportation.

4. Alternations to natural drainage patterns shall require protecting downstream properties by means approved by the Transportation Department.

5. If the Transportation Department allows the use of streets for drainage purposes, the 10-year discharge

ADVISORY NOTIFICATION DOCUMENT

Transportation

Transportation. 1 RCTD - GENERAL CONDITIONS (cont.)

shall be contained in the top of curb or asphalt concrete dikes, and the 100-year discharge shall be contained in the street right-of-way.

6. All centerline intersections shall be at 90 degrees, plus or minus 5 degrees.

7. The project shall comply with the most current ADA requirements. If the existing ADA Ramps do not meet the current ADA requirements, it shall be reconstructed at all "T" intersections per Standard No. 403, sheets 1 through 7 of Ordinance 461.

8. The Project shall obtain approval of street improvement plans from the Transportation Department.

Improvement plans shall be based upon a design profile extending a minimum of 300 feet beyond the project limits.

9. Additional information, standards, ordinances, policies, and design guidelines can be obtained from the Transportation Department Web site: <http://rctlma.org/trans/>. If you have questions, please call the Plan Check Section at (951) 955 6527.

Transportation. 2 Traffic Trip Generation

Based on the submitted trip generation analysis prepared by Urban Systems Associates dated on April 14, 2020 for the proposed Dollar General project (CUP190022) generates low peak trips and Transportation do not require further traffic impact analysis based on the traffic engineer analysis conclusion.

Waste Resources

Waste Resources. 1 Waste - General

Hazardous materials are not accepted at Riverside County landfills. In compliance with federal, state, and local regulations and ordinances, any hazardous waste generated in association with the project shall be disposed of at a permitted Hazardous Waste disposal facility. Hazardous waste materials include, but are not limited to, paint, batteries, oil, asbestos, and solvents. For further information regarding the determination, transport, and disposal of hazardous waste, please contact the Riverside County Department of Environmental Health, Environmental Protection and Oversight Division. AB 341 focuses on increased commercial waste recycling as a method to reduce greenhouse gas (GHG) emissions. The regulation requires businesses and organizations that generate four or more cubic yards of waste per week and multifamily units of 5 or more, to recycle. A business shall take at least one of the following actions in order to reuse, recycle, compost, or otherwise divert commercial solid waste from disposal:

- Source separate recyclable and/or compostable material from solid waste and donate or self-haul the material to recycling facilities.
- Subscribe to a recycling service with their waste hauler.
- Provide recycling service to their tenants (if commercial or multi-family complex).
- Demonstrate compliance with the requirements of California Code of Regulations Title 14.

For more information, please visit:

ADVISORY NOTIFICATION DOCUMENT

Waste Resources

Waste Resources. 1

Waste - General (cont.)

www.rivcowm.org/opencms/recycling/recycling_and_compost_business.html#mandatory

The use of mulch and/or compost in the development and maintenance of landscaped areas within the project boundaries is recommended. Recycle green waste through either onsite composting of grass, i.e., leaving the grass clippings on the lawn, or sending separated green waste to a composting facility. Consider xeriscaping and using drought tolerant/low maintenance vegetation in all landscaped areas of the project.

AB 1826 requires businesses and multifamily complexes to arrange for organic waste recycling services. Those subject to AB 1826 shall take at least one of the following actions in order to divert organic waste from disposal:

- Source separate organic material from all other recyclables and donate or self-haul to a permitted organic waste processing facility.

- Enter into a contract or work agreement with gardening or landscaping service provider or refuse hauler to ensure the waste generated from those services meet the requirements of AB 1826.

Plan: CUP190022

Parcel: 381344023

60. Prior To Grading Permit Issuance

BS-Grade

060 - BS-Grade. 1 EASEMENTS/PERMISSION Not Satisfied

Prior to the issuance of a grading permit, it shall be the sole responsibility of the owner/applicant to obtain any and all proposed or required easements and/or permissions necessary to perform the grading herein proposed.

A notarized letter of permission and/or recorded easement from the affected property owners or easement holders shall be provided in instances where off site grading is proposed as part of the grading plan.

In instances where the grading plan proposes drainage facilities on adjacent off site property, the owner/ applicant shall provide a copy of the recorded drainage easement or copy of Final Map.

060 - BS-Grade. 2 IF WQMP IS REQUIRED Not Satisfied

If a Water Quality Management Plan (WQMP) is required, the owner / applicant shall submit to the Building & Safety Department, the Final Water Quality Management Plan (WQMP) site plan for comparison to the grading plan.

060 - BS-Grade. 3 IMPROVEMENT SECURITIES Not Satisfied

Prior to issuance of a Grading Permit, the applicant may be required to post a Grading and/or Erosion Control Security. Please contact the Riverside County Transportation Department for additional information and requirements.

E Health

060 - E Health. 1 ECP Clearance Not Satisfied

Prior to grading permit issuance, clearance from the Environmental Cleanup Program (ECP) is required. Please contact ECP for additional details.

According to the Phase I Environmental Site Assessment report, agricultural activity is associated with the property, therefore soil sampling and analysis is required to evaluate for the presence of pesticides. The soil sampling shall be conducted in accordance to the "Interim Guidance for Sampling Agricultural Properties" (DTSC, 2008). The document can be found at the following link. <http://www.dtsc.ca.gov/Schools/upload/Ag-Guidance-Rev-3-August-7-2008-2.pdf>. For further information, please contact RCDEH-ECP at (951) 955-8980.

Planning

060 - Planning. 1 Gen - Blowsand and Dust Control Not Satisfied

The permittee shall institute blowsand and dust control measures during grading and shall note or show the measures to be used on their grading plans. These measures shall include, but not be limited to: a) The use of irrigation during any construction activities; b) planting of cover crop or vegetation upon previously graded but undeveloped portions of the site; and c) provision of windbreaks or windrows, fencing, and/or landscaping to reduce the effects upon adjacent properties and property owners. The permittee shall comply with the directives of the Director of the Building and Safety Department with regards to the applicable sections of Ordinance No. 484 (Blowsand Control) and Ordinance No. 742 (Control of Fugitive Dust/PM10 in Urban Areas).

060 - Planning. 2 Gen - Grading Plans Not Satisfied

If grading is proposed, the project must comply with the following:

a. The developer shall submit one print of a comprehensive grading plan to the Department of Building

Plan: CUP190022

Parcel: 381344023

60. Prior To Grading Permit Issuance

Planning

060 - Planning. 2 Gen - Grading Plans (cont.) Not Satisfied

and Safety which complies with the Uniform Building Code, Chapter 70, as amended by Ordinance No. 457 and as may be additionally provided for in these conditions.

b. A grading permit shall be obtained from the Department of Building and Safety prior to commencement of any grading outside of a County maintained road right of way.

c. Graded but undeveloped land shall be planted with interim landscaping or provided with other erosion control measures as approved by the Director of Building and Safety.

d. Graded areas shall be revegetated or landscaped with native species which are fire resistant, drought tolerant, low water using and erosion controlling.

Transportation

060 - Transportation. 1 RCTD - FILE L&LMD APPLICATION Not Satisfied

File an application with the Transportation Department, L&LMD Section, 8th Floor, 4080 Lemon Street, Riverside, CA, for required annexation.

If you have any questions or for the processing fee amount, please call the L&LMD Section at (951) 955-6748.

060 - Transportation. 2 RCTD - SUBMIT GRADING PLANS Not Satisfied

The project proponent shall submit two sets of grading plans (24 x 36 inch) to the Transportation Department for review and approval. If road right-of-way improvements are required, the project proponent shall submit street improvement plans for review and approval, open an IP account, and pay for all associated fees in order to clear this condition. The Standard plan check turnaround time is 10 working days. Approval is required prior to issuance of a grading permit.

060 - Transportation. 3 RCTD-MAP-WQ - Santa Ana Region - FINAL WQMP REQUIII Not Satisfied

The project is located in the Santa Ana watershed. An approved Water Quality Management Plan (WQMP) is required prior to recordation of a final map or issuance of a grading permit. The project shall submit a single PDF on two CD/DVD copies, in accordance with the latest version of the WQMP manual, found at <https://rctlma.org/trans/Land-Development/WQMP>. In addition, the project proponent shall ensure that the effects of increased peak flowrate for the 1, 3, 6, 24-hour storm events for the 2, 5, and 10-year return periods from the project are mitigated. All details necessary to build BMPs per the WQMP shall be included on the grading plans.

80. Prior To Building Permit Issuance

BS-Grade

080 - BS-Grade. 1 NO BUILDING PERMIT W/O GRADING PERMIT Not Satisfied

Prior to the issuance of any building permit, the property owner shall obtain a grading permit and/or approval to construct from the Building and Safety Department.

080 - BS-Grade. 2 ROUGH GRADE APPROVAL Not Satisfied

Prior to the issuance of any building permit, the applicant shall obtain rough grade approval and/or approval to construct from the Building and Safety Department. The Building and Safety Department must approve the completed grading of your project before a building permit can be issued. Rough Grade approval can be accomplished by complying with the following:

Plan: CUP190022

Parcel: 381344023

80. Prior To Building Permit Issuance

BS-Grade

080 - BS-Grade. 2 ROUGH GRADE APPROVAL (cont.) Not Satisfied

1. Submitting a "Wet Signed" copy of the Grading Report containing substantiating data from the Soils Engineer (registered geologist or certified geologist, civil engineer or geotechnical engineer as appropriate) for his/her certification of the project.
2. Submitting a "Wet Signed" copy of the Rough Grade certification from a Registered Civil Engineer certifying that the grading was completed in conformance with the approved grading plan.
3. Requesting a Rough Grade Inspection and obtaining rough grade approval from a Riverside County inspector.
4. Rough Grade Only Permits: In addition to obtaining all required inspections and approval of all final reports, all sites permitted for rough grade only shall provide 100 percent vegetative coverage or other means of site stabilization as approved by the County Inspector prior to receiving a rough grade permit final.

Prior to release for building permit, the applicant shall have met all rough grade requirements to obtain Building and Safety Department clearance.

E Health

080 - E Health. 1 Food Plans Not Satisfied

A total of three complete set of plans for each food establishment are needed including a fixture schedule, a finish schedule, and a plumbing schedule in order to ensure compliance with applicable California Health and Safety Code.

Fire

080 - Fire. 1 Prior to permit Not Satisfied

Minimum fire flow for the construction of all commercial buildings is required per CFC Appendix B and Table B105.1. Prior to building permit issuance, the applicant/developer shall provide documentation to show there exists a water system capable of delivering the fire flow based on the information given. Per this submittal the minimum fire flow will be 1500 gpm at 20 psi for 2 hours. Subsequent design changes may increase or decrease the required fire flow.

Prior to issuance of Building Permits, the applicant/developer shall furnish one copy of the water system plans to the Office of the Fire Marshal for review and approval.

The required water system, including fire hydrants, shall be installed, made serviceable, and be accepted by the Office of the Fire Marshal prior to beginning construction. They shall be maintained accessible.

Existing fire hydrants on public streets are allowed to be considered available. Existing fire hydrants on adjacent properties shall not be considered available unless fire apparatus access roads extend between properties and easements are established to prevent obstruction of such roads. (CFC 507, 501.3)

080 - Fire. 2 Prior to permit Not Satisfied

Prior to Building Permit Issuance, a plan indicating the emergency vehicle path of travel as it circulates within the site, and an emergency striping/signing plan, will be required. (CFC 501.3)
Prior to building construction, fire apparatus access roads extending beyond 150 feet which have not been completed shall have a turnaround capable of accommodating fire apparatus. (CFC 503.2.5)
The Fire Apparatus Access Road shall be (all weather surface) capable of sustaining an imposed load of 75,000 lbs. GVW. The fire apparatus access road or temporary access road shall be reviewed and approved by the Office of the Fire Marshal and in place during the time of construction. (CFC 501.4)

Plan: CUP190022

Parcel: 381344023

80. Prior To Building Permit Issuance

Fire

080 - Fire. 2 Prior to permit (cont.) Not Satisfied

Fire apparatus access roads shall have an unobstructed width of not less than twenty-four (24) feet as approved by the Office of the Fire Marshal and an unobstructed vertical clearance of not less than thirteen (13) feet six (6) inches or 15 feet if project is located in a State Responsibility Area Fire Hazard Zone. (CFC 503.2.1)

Planning

080 - Planning. 1 Gen - Construction Hour Restrictions Not Satisfied

Prior to building permit issuance, construction of the proposed project shall not occur from 6:00 p.m. to 6:00 a.m. during the months of June through September or from 6:00 p.m. to 7:00 a.m. during the months of October through May.

080 - Planning. 2 Gen - Lighting Plans Not Satisfied

All street lights and other outdoor lighting shall be shown on electrical plans submitted to the Department of Building and Safety for plan check approval and shall comply with the requirements of Riverside County Ordinance No. 655 and the Riverside County Comprehensive General Plan.

080 - Planning. 3 Gen - Roof Mounted Shielding Not Satisfied

Roof mounted equipment shall be shielded from ground view. Screening material shall be subject to Planning Department approval.

080 - Planning. 4 Gen - School Mitigation Not Satisfied

Impacts to the Corona Norco Unified School District shall be mitigated in accordance with California State law.

080 - Planning. 5 Use - Fee Balance Not Satisfied

Prior to issuance of building permits, the Planning Department shall determine if the deposit based fees for project are in a negative balance. If so, any outstanding fees shall be paid by the applicant/developer.

Survey

080 - Survey. 1 RCTD - SURVEY MONUMENT Not Satisfied

The Project shall install survey monumentation as directed by the Transportation Department, or bond and enter into an agreement with the Transportation Department.

Transportation

080 - Transportation. 1 RCTD - ANNEXATION INTO L&LMD OR OTHER DISTRICT Not Satisfied

Prior to the issuance of a building permit, the project proponent shall comply with County requirements within public road rights-of-way, in accordance with Ordinance 461. Assurance of maintenance is required by filing an application for annexation to Landscaping and Lighting Maintenance District No. 89-1-Consolidated by contacting the Transportation Department at (951) 955-6767, and/or any other maintenance district approved by the Transportation Department or by processing and filing a 'Landscape Maintenance Agreement' through the Transportation Department

Plan: CUP190022

Parcel: 381344023

80. Prior To Building Permit Issuance

Transportation

080 - Transportation. 1 RCTD - ANNEXATION INTO L&LMD OR OTHER DISTRICT Not Satisfied
Plan Check Division. Said annexation should include the following:

- (1) Landscaping along Grand Avenue, Sangston Drive, and Blanche Drive.
- (2) Graffiti abatement of walls and other permanent structure.
- (3) Street sweeping.

080 - Transportation. 2 RCTD - LANDSCAPING DESIGN PLANS Not Satisfied

Landscaping within public road right of-way shall comply with Transportation Department standards, Ordinance 461, Comprehensive Landscaping Guidelines & Standards, and Ordinance 859 and shall require approval by the Transportation Department.

Landscaping plans shall be designed within Grand Avenue, Sangston Drive, and Blanche Drive (project boundaries) and submitted to the Transportation Department. Landscaping Plans shall be submitted on standard County format (24 x 36 inch). Landscaping plans shall with the street improvement plans.

080 - Transportation. 3 RCTD - UTILITY PLAN Not Satisfied

Proposed electrical power, telephone, communication, and cable television lines within public right of way for this project site shall be designed to be placed underground in accordance with Ordinance 460 and 461, or as approved by the Transportation Department. The applicant is responsible for coordinating the work with the serving utility company. A disposition note describing the above shall be reflected on the site plan. A written proof for initiating the design and/or application of the relocation issued by the utility company shall be submitted to the Transportation Department for verification purposes

080 - Transportation. 4 RCTD-USE-WQ - ESTABLISH WQMP MAINT ENTITY Not Satisfied

A maintenance plan and signed WQMP/BMP maintenance agreement shall be submitted to the Transportation Department shall be approved and recorded against the property. A maintenance organization will be established with a funding source for the permanent maintenance.

080 - Transportation. 5 RCTD-USE-WQ - IMPLEMENT WQMP Not Satisfied

The Project shall construct BMP facilities described in the approved Final County WQMP prior to the issuance of a building permit to the satisfaction of County Grading Inspection Section. The Project is responsible for performing all activities described in the County WQMP and that copies of the approved Final County WQMP are provided to future owners/occupants.

Waste Resources

080 - Waste Resources. 1 Waste - Recyclables Collection and Loading Area Not Satisfied

Prior to issuance of a building permit, the applicant shall submit one electronic (1) copy of a Recyclables Collection and Loading Area plot plan to the Riverside County Department of Waste Resources for review and approval to WastePlanning@rivco.org. The plot plan shall conform to Design Guidelines for Recyclables Collection and Loading Areas, provided by the Department of

Plan: CUP190022

Parcel: 381344023

80. Prior To Building Permit Issuance

Waste Resources

080 - Waste Resources. 1 Waste - Recyclables Collection and Loading Area (cont.) Not Satisfied

Waste Resources, and shall show the location of and access to the collection area for recyclable materials, shall demonstrate space allocation for trash and recyclable materials and have the adequate signage indicating the location of each bin in the trash enclosure.

The project applicant is advised that clearance of the Recyclables Collection and Loading Area plot plan only satisfies the Waste Resources' conditions for Recyclables Collection and Loading Areas space allocation and other Recyclables Collection and Loading Area Guideline items. Detailed drawings of the Trash Enclosure and its particular construction details, e.g., building materials, location, construction methods etc., should be included as part of the Project plan submittal to the Riverside County Department of Building and Safety.

080 - Waste Resources. 2 Waste Recycling Plan Not Satisfied

Prior to issuance of a building permit, a Waste Recycling Plan (WRP) shall be submitted to the Riverside County Department of Waste Resources for approval. At a minimum, the WRP must identify the materials (i.e., concrete, asphalt, wood, etc.) that will be generated by construction and development, the projected amounts, the measures/methods that will be taken to recycle, reuse, and/or reduce the amount of materials, the facilities and/or haulers that will be utilized, and the targeted recycling or reduction rate. During project construction, the project site shall have, at a minimum, two (2) bins: one for waste disposal and the other for the recycling of Construction and Demolition (C&D) materials. Additional bins are encouraged to be used for further source separation of C&D recyclable materials. Accurate record keeping (receipts) for recycling of C&D recyclable materials and solid waste disposal must be kept. Arrangements can be made through the franchise hauler.

90. Prior to Building Final Inspection

BS-Grade

090 - BS-Grade. 1 PRECISE GRADE APPROVAL Not Satisfied

Prior to final building inspection, the applicant shall obtain precise grade approval and/or clearance from the Building and Safety Department. The Building and Safety Department must approve the precise grading of your project before a building final can be obtained. Precise Grade approval can be accomplished by complying with the following:

1. Requesting and obtaining approval of all required grading inspections.
2. Submitting a "Wet Signed" copy of the Grading Report from the Soils Engineer (registered geologist or certified geologist, civil engineer or geotechnical engineer as appropriate) for the sub-grade and base of all paved areas.
3. Submitting a "Wet Signed" copy of the Sub-grade (rough) Certification from a Registered Civil Engineer certifying that the sub-grade was completed in conformance with the approved grading plan.
4. Submitting a "Wet Signed" copy of the Precise (Final) Grade Certification for the entire site from a Registered Civil Engineer certifying that the precise grading was completed in conformance with the approved grading plan.

Prior to release for building final, the applicant shall have met all precise grade requirements to obtain Building and Safety Department clearance.

E Health

090 - E Health. 1 Hazmat Review Not Satisfied

If further review of the site indicates additional environmental health issues, the Hazardous Materials

Plan: CUP190022

Parcel: 381344023

90. Prior to Building Final Inspection

E Health

- 090 - E Health. 1 Hazmat Review (cont.) Not Satisfied
Management Division reserves the right to regulate the business in accordance with applicable County Ordinances. Please contact (951)358-5055 for additional questions.

Planning

- 090 - Planning. 1 Gen - Driveway Design Not Satisfied

Stop sign control shall be provided at the project driveways for vehicles exiting the project site. On site traffic signaling and striping shall be implemented in conjunction with detailed construction plans for the project. Minimum sight distances shall be provided at the project driveways.

- 090 - Planning. 2 Gen - Electric Vehicle Parking Not Satisfied

Per ordinance no. 348, the project shall designate 2 parking spaces for electric vehicle parking. All electrical vehicle parking spaces shall be serviced by an electrical vehicle charging station. If capable, a charging station may serve more than one electrical vehicle parking space. All electrical vehicle parking spaces shall be shown on parking site plans.

- 090 - Planning. 3 Gen - Lighting Plan Comply Not Satisfied

All street lights and outdoor lighting shall be shown on electrical plans submitted to the Department of Building and Safety for plan check approval and shall comply with the requirements of the Riverside County Ordinance No. 655 and the Riverside County Comprehensive General Plan.

- 090 - Planning. 4 Gen - Parking Not Satisfied

A minimum of 45 parking spaces shall be provided as shown on the APPROVED EXHIBIT A, unless otherwise approved by the Planning Department. The parking area shall be surfaced with asphaltic concrete or concrete to current standards as approved by the Department of Building and Safety.

- 090 - Planning. 5 Gen - Roof Mounted Equipment Not Satisfied

Roof-mounted equipment shall be shielded from ground view to a minimum sight distance of 1,320 feet. Screening material shall be subject to Planning Department approval.

- 090 - Planning. 6 Gen - Trash Enclosures Not Satisfied

A trash enclosure which is adequate to enclose a minimum of 1 bin shall be located as shown on the APPROVED EXHIBIT A, and shall be constructed prior to the issuance of occupancy permits. The enclosure(s) shall be a minimum of six (6) feet in height and shall be made with masonry block and a solid gate which screens the bins from external view. Additional enclosed area for collection of recyclable materials shall be located within, near or adjacent to each trash and rubbish disposal area. The recycling collection area shall be a minimum of fifty percent (50%) of the area provided for the trash/rubbish enclosure(s) or as approved by the Riverside County Waste Management Department.

Transportation

- 090 - Transportation. 1 RCTD - COMPLETE ANNEXATION INTO L&LMD OR OTHER Not Satisfied

Prior to issuance of an occupancy permit, the project proponent shall complete annexation to Landscaping and Lighting Maintenance District No. 89-1-Consolidated, and/or any other maintenance district approved by the Transportation Department or by processing and filing a 'Landscape

Plan: CUP190022

Parcel: 381344023

90. Prior to Building Final Inspection

Transportation

090 - Transportation. 1 RCTD - COMPLETE ANNEXATION INTO L&LMD OR OTHER 'Maintenance Agreement' through the Transportation Department Plan Check Division for continuous maintenance within public road rights-of-way, in accordance with Ordinance 461, Comprehensive Landscaping Guidelines & Standards, and Ordinance 859. Not Satisfied

A Streetlight Authorization form from SCE, or other electric provider required in order to complete the annexation process.

090 - Transportation. 2 RCTD - EXISTING CURB & GUTTER Not Satisfied

On existing curb and gutter, reconstructing existing driveways, closure of existing driveway and constructing sidewalks (on Grand Avenue), and/or drainage devices within County right-of-way, including sewer and water laterals, on Grand Avenue, Sangston Drive, and Blanche Drive shall be constructed within the dedicated right-of-way in accordance with County standards, Ordinance 461. Such construction shall be shown on existing street improvement plans and approved and permitted by the Transportation Department. Process a plan revision through the Plan Check Section per Section I, Part E, page 10 of the "Policies and Guidelines" available on the Internet at: [http://rctlma.org/trans/General-Information/Pamphlets - Brochures](http://rctlma.org/trans/General-Information/Pamphlets-Brochures)

If you have questions, please call the Plan Check Section at (951) 955-6527.

NOTE:

1. All driveways shall be reconstructed in accordance with County Standard No. 207A.
2. Close the existing driveway along Grand Avenue and construct a 6 foot concrete sidewalk to match up with the existing sidewalk as directed by the Director of Transportation.

090 - Transportation. 3 RCTD - LANDSCAPING INSTALLATION COMPLETION Not Satisfied

Landscaping within public road right-of-way shall comply with Transportation Department standards and Ordinance 461 and shall require approval by the Transportation Department. Landscaping shall be improved within Grand Avenue, Sangston Drive, and Blanche Drive.

090 - Transportation. 4 RCTD - PAYMENT OF TRANSPORTATION FEES Not Satisfied

Prior to the time of issuance of a Certificate of Occupancy or upon final inspection, whichever occurs first, the Project shall pay fees in accordance with the fee schedule in effect at the time of payment:

- Transportation Uniform Mitigation Fees (TUMF) in accordance with Ordinance No. 824.

090 - Transportation. 5 RCTD - UTILITY INSTALL Not Satisfied

Proposed electrical power, telephone, communication, and cable television lines shall be installed underground in accordance with Ordinance 460 and 461, or as approved by the Transportation Department. A certificate should be obtained from the pertinent utility company and submitted to the Department of Transportation as proof of completion.

090 - Transportation. 6 RCTD-USE-WQ - WQMP COMPLETION Not Satisfied

Prior to Building Final Inspection, the Project is required to furnish educational materials regarding

Plan: CUP190022

Parcel: 381344023

90. Prior to Building Final Inspection

Transportation

090 - Transportation. 6 RCTD-USE-WQ - WQMP COMPLETION (cont.) Not Satisfied
water quality to future owners/occupants, provide an engineered WQMP certification, inspection of BMPs, GPS location of BMPs, ensure that the requirements for inspection and cleaning the BMPs are established, and for businesses registering BMPs with the Transportation Department's Business Storm Water Compliance Program Section.

Waste Resources

090 - Waste Resources. 1 Waste - Mandatory Commercial and Organics Recycling Not Satisfied
Prior to final inspection, the applicant shall complete a Mandatory Commercial Recycling and Organics Recycling Compliance form (Form D). Form D requires applicants to identify programs or plans that address commercial and organics recycling, in compliance with State legislation/regulation. Once completed, Form D shall be submitted to the Recycling Section of the Department of Waste Resources for approval. To obtain Form D, please contact the Recycling Section at 951-486-3200, or email to: Waste-CompostingRecycling@rivco.org.

090 - Waste Resources. 2 Waste - Recyclables Collection and Loading Area Inspection Not Satisfied
Prior to final building inspection, the applicant shall construct the recyclables collection and loading area in compliance with the Recyclables Collection and Loading Area plot plan, as approved and verified through inspection by the Riverside County Department of Waste Resources.

090 - Waste Resources. 3 Waste Reporting Form and Receipts Not Satisfied
Prior to final building inspection, evidence (i.e., waste reporting form along with receipts or other types of verification) to demonstrate project compliance with the approved Waste Recycling Plan (WRP) shall be presented by the project proponent to the Planning Division of the Riverside County Department of Waste Resources. Receipts must clearly identify the amount of waste disposed and Construction and Demolition (C&D) materials recycled.

Plan: CUP190022

Parcel: 381344023

60. Prior To Grading Permit Issuance

BS-Grade

060 - BS-Grade. 1 EASEMENTS/PERMISSION Not Satisfied

Prior to the issuance of a grading permit, it shall be the sole responsibility of the owner/applicant to obtain any and all proposed or required easements and/or permissions necessary to perform the grading herein proposed.

A notarized letter of permission and/or recorded easement from the affected property owners or easement holders shall be provided in instances where off site grading is proposed as part of the grading plan.

In instances where the grading plan proposes drainage facilities on adjacent off site property, the owner/ applicant shall provide a copy of the recorded drainage easement or copy of Final Map.

060 - BS-Grade. 2 IF WQMP IS REQUIRED Not Satisfied

If a Water Quality Management Plan (WQMP) is required, the owner / applicant shall submit to the Building & Safety Department, the Final Water Quality Management Plan (WQMP) site plan for comparison to the grading plan.

060 - BS-Grade. 3 IMPROVEMENT SECURITIES Not Satisfied

Prior to issuance of a Grading Permit, the applicant may be required to post a Grading and/or Erosion Control Security. Please contact the Riverside County Transportation Department for additional information and requirements.

E Health

060 - E Health. 1 ECP Clearance Not Satisfied

Prior to grading permit issuance, clearance from the Environmental Cleanup Program (ECP) is required. Please contact ECP for additional details.

According to the Phase I Environmental Site Assessment report, agricultural activity is associated with the property, therefore soil sampling and analysis is required to evaluate for the presence of pesticides. The soil sampling shall be conducted in accordance to the "Interim Guidance for Sampling Agricultural Properties" (DTSC, 2008). The document can be found at the following link. <http://www.dtsc.ca.gov/Schools/upload/Ag-Guidance-Rev-3-August-7-2008-2.pdf>. For further information, please contact RCDEH-ECP at (951) 955-8980.

Planning

060 - Planning. 1 Gen - Blowsand and Dust Control Not Satisfied

The permittee shall institute blowsand and dust control measures during grading and shall note or show the measures to be used on their grading plans. These measures shall include, but not be limited to: a) The use of irrigation during any construction activities; b) planting of cover crop or vegetation upon previously graded but undeveloped portions of the site; and c) provision of windbreaks or windrows, fencing, and/or landscaping to reduce the effects upon adjacent properties and property owners. The permittee shall comply with the directives of the Director of the Building and Safety Department with regards to the applicable sections of Ordinance No. 484 (Blowsand Control) and Ordinance No. 742 (Control of Fugitive Dust/PM10 in Urban Areas).

060 - Planning. 2 Gen - Grading Plans Not Satisfied

If grading is proposed, the project must comply with the following:

a. The developer shall submit one print of a comprehensive grading plan to the Department of Building

Plan: CUP190022

Parcel: 381344023

60. Prior To Grading Permit Issuance

Planning

060 - Planning. 2 Gen - Grading Plans (cont.) Not Satisfied

and Safety which complies with the Uniform Building Code, Chapter 70, as amended by Ordinance No. 457 and as may be additionally provided for in these conditions.

b. A grading permit shall be obtained from the Department of Building and Safety prior to commencement of any grading outside of a County maintained road right of way.

c. Graded but undeveloped land shall be planted with interim landscaping or provided with other erosion control measures as approved by the Director of Building and Safety.

d. Graded areas shall be revegetated or landscaped with native species which are fire resistant, drought tolerant, low water using and erosion controlling.

Transportation

060 - Transportation. 1 RCTD - FILE L&LMD APPLICATION Not Satisfied

File an application with the Transportation Department, L&LMD Section, 8th Floor, 4080 Lemon Street, Riverside, CA, for required annexation.

If you have any questions or for the processing fee amount, please call the L&LMD Section at (951) 955-6748.

060 - Transportation. 2 RCTD - SUBMIT GRADING PLANS Not Satisfied

The project proponent shall submit two sets of grading plans (24 x 36 inch) to the Transportation Department for review and approval. If road right-of-way improvements are required, the project proponent shall submit street improvement plans for review and approval, open an IP account, and pay for all associated fees in order to clear this condition. The Standard plan check turnaround time is 10 working days. Approval is required prior to issuance of a grading permit.

060 - Transportation. 3 RCTD-MAP-WQ - Santa Ana Region - FINAL WQMP REQUIII Not Satisfied

The project is located in the Santa Ana watershed. An approved Water Quality Management Plan (WQMP) is required prior to recordation of a final map or issuance of a grading permit. The project shall submit a single PDF on two CD/DVD copies, in accordance with the latest version of the WQMP manual, found at <https://rctlma.org/trans/Land-Development/WQMP>. In addition, the project proponent shall ensure that the effects of increased peak flowrate for the 1, 3, 6, 24-hour storm events for the 2, 5, and 10-year return periods from the project are mitigated. All details necessary to build BMPs per the WQMP shall be included on the grading plans.

80. Prior To Building Permit Issuance

BS-Grade

080 - BS-Grade. 1 NO BUILDING PERMIT W/O GRADING PERMIT Not Satisfied

Prior to the issuance of any building permit, the property owner shall obtain a grading permit and/or approval to construct from the Building and Safety Department.

080 - BS-Grade. 2 ROUGH GRADE APPROVAL Not Satisfied

Prior to the issuance of any building permit, the applicant shall obtain rough grade approval and/or approval to construct from the Building and Safety Department. The Building and Safety Department must approve the completed grading of your project before a building permit can be issued. Rough Grade approval can be accomplished by complying with the following:

Plan: CUP190022

Parcel: 381344023

80. Prior To Building Permit Issuance

BS-Grade

080 - BS-Grade. 2 ROUGH GRADE APPROVAL (cont.) Not Satisfied

1. Submitting a "Wet Signed" copy of the Grading Report containing substantiating data from the Soils Engineer (registered geologist or certified geologist, civil engineer or geotechnical engineer as appropriate) for his/her certification of the project.
2. Submitting a "Wet Signed" copy of the Rough Grade certification from a Registered Civil Engineer certifying that the grading was completed in conformance with the approved grading plan.
3. Requesting a Rough Grade Inspection and obtaining rough grade approval from a Riverside County inspector.
4. Rough Grade Only Permits: In addition to obtaining all required inspections and approval of all final reports, all sites permitted for rough grade only shall provide 100 percent vegetative coverage or other means of site stabilization as approved by the County Inspector prior to receiving a rough grade permit final.

Prior to release for building permit, the applicant shall have met all rough grade requirements to obtain Building and Safety Department clearance.

E Health

080 - E Health. 1 Food Plans Not Satisfied

A total of three complete set of plans for each food establishment are needed including a fixture schedule, a finish schedule, and a plumbing schedule in order to ensure compliance with applicable California Health and Safety Code.

Fire

080 - Fire. 1 Prior to permit Not Satisfied

Minimum fire flow for the construction of all commercial buildings is required per CFC Appendix B and Table B105.1. Prior to building permit issuance, the applicant/developer shall provide documentation to show there exists a water system capable of delivering the fire flow based on the information given. Per this submittal the minimum fire flow will be 1500 gpm at 20 psi for 2 hours. Subsequent design changes may increase or decrease the required fire flow.

Prior to issuance of Building Permits, the applicant/developer shall furnish one copy of the water system plans to the Office of the Fire Marshal for review and approval.

The required water system, including fire hydrants, shall be installed, made serviceable, and be accepted by the Office of the Fire Marshal prior to beginning construction. They shall be maintained accessible.

Existing fire hydrants on public streets are allowed to be considered available. Existing fire hydrants on adjacent properties shall not be considered available unless fire apparatus access roads extend between properties and easements are established to prevent obstruction of such roads. (CFC 507, 501.3)

080 - Fire. 2 Prior to permit Not Satisfied

Prior to Building Permit Issuance, a plan indicating the emergency vehicle path of travel as it circulates within the site, and an emergency striping/signing plan, will be required. (CFC 501.3)
Prior to building construction, fire apparatus access roads extending beyond 150 feet which have not been completed shall have a turnaround capable of accommodating fire apparatus. (CFC 503.2.5)
The Fire Apparatus Access Road shall be (all weather surface) capable of sustaining an imposed load of 75,000 lbs. GVW. The fire apparatus access road or temporary access road shall be reviewed and approved by the Office of the Fire Marshal and in place during the time of construction. (CFC 501.4)

Plan: CUP190022

Parcel: 381344023

80. Prior To Building Permit Issuance

Fire

080 - Fire. 2 Prior to permit (cont.) Not Satisfied

Fire apparatus access roads shall have an unobstructed width of not less than twenty-four (24) feet as approved by the Office of the Fire Marshal and an unobstructed vertical clearance of not less than thirteen (13) feet six (6) inches or 15 feet if project is located in a State Responsibility Area Fire Hazard Zone. (CFC 503.2.1)

Planning

080 - Planning. 1 Gen - Construction Hour Restrictions Not Satisfied

Prior to building permit issuance, construction of the proposed project shall not occur from 6:00 p.m. to 6:00 a.m. during the months of June through September or from 6:00 p.m. to 7:00 a.m. during the months of October through May.

080 - Planning. 2 Gen - Lighting Plans Not Satisfied

All street lights and other outdoor lighting shall be shown on electrical plans submitted to the Department of Building and Safety for plan check approval and shall comply with the requirements of Riverside County Ordinance No. 655 and the Riverside County Comprehensive General Plan.

080 - Planning. 3 Gen - Roof Mounted Shielding Not Satisfied

Roof mounted equipment shall be shielded from ground view. Screening material shall be subject to Planning Department approval.

080 - Planning. 4 Gen - School Mitigation Not Satisfied

Impacts to the Corona Norco Unified School District shall be mitigated in accordance with California State law.

080 - Planning. 5 Use - Fee Balance Not Satisfied

Prior to issuance of building permits, the Planning Department shall determine if the deposit based fees for project are in a negative balance. If so, any outstanding fees shall be paid by the applicant/developer.

Survey

080 - Survey. 1 RCTD - SURVEY MONUMENT Not Satisfied

The Project shall install survey monumentation as directed by the Transportation Department, or bond and enter into an agreement with the Transportation Department.

Transportation

080 - Transportation. 1 RCTD - ANNEXATION INTO L&LMD OR OTHER DISTRICT Not Satisfied

Prior to the issuance of a building permit, the project proponent shall comply with County requirements within public road rights-of-way, in accordance with Ordinance 461. Assurance of maintenance is required by filing an application for annexation to Landscaping and Lighting Maintenance District No. 89-1-Consolidated by contacting the Transportation Department at (951) 955-6767, and/or any other maintenance district approved by the Transportation Department or by processing and filing a 'Landscape Maintenance Agreement' through the Transportation Department

Plan: CUP190022

Parcel: 381344023

80. Prior To Building Permit Issuance

Transportation

080 - Transportation. 1 RCTD - ANNEXATION INTO L&LMD OR OTHER DISTRICT Not Satisfied
Plan Check Division. Said annexation should include the following:

- (1) Landscaping along Grand Avenue, Sangston Drive, and Blanche Drive.
- (2) Graffiti abatement of walls and other permanent structure.
- (3) Street sweeping.

080 - Transportation. 2 RCTD - LANDSCAPING DESIGN PLANS Not Satisfied

Landscaping within public road right of-way shall comply with Transportation Department standards, Ordinance 461, Comprehensive Landscaping Guidelines & Standards, and Ordinance 859 and shall require approval by the Transportation Department.

Landscaping plans shall be designed within Grand Avenue, Sangston Drive, and Blanche Drive (project boundaries) and submitted to the Transportation Department. Landscaping Plans shall be submitted on standard County format (24 x 36 inch). Landscaping plans shall with the street improvement plans.

080 - Transportation. 3 RCTD - UTILITY PLAN Not Satisfied

Proposed electrical power, telephone, communication, and cable television lines within public right of way for this project site shall be designed to be placed underground in accordance with Ordinance 460 and 461, or as approved by the Transportation Department. The applicant is responsible for coordinating the work with the serving utility company. A disposition note describing the above shall be reflected on the site plan. A written proof for initiating the design and/or application of the relocation issued by the utility company shall be submitted to the Transportation Department for verification purposes

080 - Transportation. 4 RCTD-USE-WQ - ESTABLISH WQMP MAINT ENTITY Not Satisfied

A maintenance plan and signed WQMP/BMP maintenance agreement shall be submitted to the Transportation Department shall be approved and recorded against the property. A maintenance organization will be established with a funding source for the permanent maintenance.

080 - Transportation. 5 RCTD-USE-WQ - IMPLEMENT WQMP Not Satisfied

The Project shall construct BMP facilities described in the approved Final County WQMP prior to the issuance of a building permit to the satisfaction of County Grading Inspection Section. The Project is responsible for performing all activities described in the County WQMP and that copies of the approved Final County WQMP are provided to future owners/occupants.

Waste Resources

080 - Waste Resources. 1 Waste - Recyclables Collection and Loading Area Not Satisfied

Prior to issuance of a building permit, the applicant shall submit one electronic (1) copy of a Recyclables Collection and Loading Area plot plan to the Riverside County Department of Waste Resources for review and approval to WastePlanning@rivco.org. The plot plan shall conform to Design Guidelines for Recyclables Collection and Loading Areas, provided by the Department of

Plan: CUP190022

Parcel: 381344023

80. Prior To Building Permit Issuance

Waste Resources

080 - Waste Resources. 1 Waste - Recyclables Collection and Loading Area (cont.) Not Satisfied

Waste Resources, and shall show the location of and access to the collection area for recyclable materials, shall demonstrate space allocation for trash and recyclable materials and have the adequate signage indicating the location of each bin in the trash enclosure.

The project applicant is advised that clearance of the Recyclables Collection and Loading Area plot plan only satisfies the Waste Resources' conditions for Recyclables Collection and Loading Areas space allocation and other Recyclables Collection and Loading Area Guideline items. Detailed drawings of the Trash Enclosure and its particular construction details, e.g., building materials, location, construction methods etc., should be included as part of the Project plan submittal to the Riverside County Department of Building and Safety.

080 - Waste Resources. 2 Waste Recycling Plan Not Satisfied

Prior to issuance of a building permit, a Waste Recycling Plan (WRP) shall be submitted to the Riverside County Department of Waste Resources for approval. At a minimum, the WRP must identify the materials (i.e., concrete, asphalt, wood, etc.) that will be generated by construction and development, the projected amounts, the measures/methods that will be taken to recycle, reuse, and/or reduce the amount of materials, the facilities and/or haulers that will be utilized, and the targeted recycling or reduction rate. During project construction, the project site shall have, at a minimum, two (2) bins: one for waste disposal and the other for the recycling of Construction and Demolition (C&D) materials. Additional bins are encouraged to be used for further source separation of C&D recyclable materials. Accurate record keeping (receipts) for recycling of C&D recyclable materials and solid waste disposal must be kept. Arrangements can be made through the franchise hauler.

90. Prior to Building Final Inspection

BS-Grade

090 - BS-Grade. 1 PRECISE GRADE APPROVAL Not Satisfied

Prior to final building inspection, the applicant shall obtain precise grade approval and/or clearance from the Building and Safety Department. The Building and Safety Department must approve the precise grading of your project before a building final can be obtained. Precise Grade approval can be accomplished by complying with the following:

1. Requesting and obtaining approval of all required grading inspections.
2. Submitting a "Wet Signed" copy of the Grading Report from the Soils Engineer (registered geologist or certified geologist, civil engineer or geotechnical engineer as appropriate) for the sub-grade and base of all paved areas.
3. Submitting a "Wet Signed" copy of the Sub-grade (rough) Certification from a Registered Civil Engineer certifying that the sub-grade was completed in conformance with the approved grading plan.
4. Submitting a "Wet Signed" copy of the Precise (Final) Grade Certification for the entire site from a Registered Civil Engineer certifying that the precise grading was completed in conformance with the approved grading plan.

Prior to release for building final, the applicant shall have met all precise grade requirements to obtain Building and Safety Department clearance.

E Health

090 - E Health. 1 Hazmat Review Not Satisfied

If further review of the site indicates additional environmental health issues, the Hazardous Materials

Plan: CUP190022

Parcel: 381344023

90. Prior to Building Final Inspection

E Health

090 - E Health. 1 Hazmat Review (cont.) Not Satisfied
Management Division reserves the right to regulate the business in accordance with applicable County Ordinances. Please contact (951)358-5055 for additional questions.

Planning

090 - Planning. 1 Gen - Driveway Design Not Satisfied
Stop sign control shall be provided at the project driveways for vehicles exiting the project site. On site traffic signaling and striping shall be implemented in conjunction with detailed construction plans for the project. Minimum sight distances shall be provided at the project driveways.

090 - Planning. 2 Gen - Electric Vehicle Parking Not Satisfied
Per ordinance no. 348, the project shall designate 2 parking spaces for electric vehicle parking. All electrical vehicle parking spaces shall be serviced by an electrical vehicle charging station. If capable, a charging station may serve more than one electrical vehicle parking space. All electrical vehicle parking spaces shall be shown on parking site plans.

090 - Planning. 3 Gen - Lighting Plan Comply Not Satisfied
All street lights and outdoor lighting shall be shown on electrical plans submitted to the Department of Building and Safety for plan check approval and shall comply with the requirements of the Riverside County Ordinance No. 655 and the Riverside County Comprehensive General Plan.

090 - Planning. 4 Gen - Parking Not Satisfied
A minimum of 45 parking spaces shall be provided as shown on the APPROVED EXHIBIT A, unless otherwise approved by the Planning Department. The parking area shall be surfaced with asphaltic concrete or concrete to current standards as approved by the Department of Building and Safety.

090 - Planning. 5 Gen - Roof Mounted Equipment Not Satisfied
Roof-mounted equipment shall be shielded from ground view to a minimum sight distance of 1,320 feet. Screening material shall be subject to Planning Department approval.

090 - Planning. 6 Gen - Trash Enclosures Not Satisfied
A trash enclosure which is adequate to enclose a minimum of 1 bin shall be located as shown on the APPROVED EXHIBIT A, and shall be constructed prior to the issuance of occupancy permits. The enclosure(s) shall be a minimum of six (6) feet in height and shall be made with masonry block and a solid gate which screens the bins from external view. Additional enclosed area for collection of recyclable materials shall be located within, near or adjacent to each trash and rubbish disposal area. The recycling collection area shall be a minimum of fifty percent (50%) of the area provided for the trash/rubbish enclosure(s) or as approved by the Riverside County Waste Management Department.

Transportation

090 - Transportation. 1 RCTD - COMPLETE ANNEXATION INTO L&LMD OR OTHEI Not Satisfied
Prior to issuance of an occupancy permit, the project proponent shall complete annexation to Landscaping and Lighting Maintenance District No. 89-1-Consolidated, and/or any other maintenance district approved by the Transportation Department or by processing and filing a 'Landscape

Plan: CUP190022

Parcel: 381344023

90. Prior to Building Final Inspection

Transportation

090 - Transportation. 1 RCTD - COMPLETE ANNEXATION INTO L&LMD OR OTHER 'Maintenance Agreement' through the Transportation Department Plan Check Division for continuous maintenance within public road rights-of-way, in accordance with Ordinance 461, Comprehensive Landscaping Guidelines & Standards, and Ordinance 859. Not Satisfied

A Streetlight Authorization form from SCE, or other electric provider required in order to complete the annexation process.

090 - Transportation. 2 RCTD - EXISTING CURB & GUTTER Not Satisfied

On existing curb and gutter, reconstructing existing driveways, closure of existing driveway and constructing sidewalks (on Grand Avenue), and/or drainage devices within County right-of-way, including sewer and water laterals, on Grand Avenue, Sangston Drive, and Blanche Drive shall be constructed within the dedicated right-of-way in accordance with County standards, Ordinance 461. Such construction shall be shown on existing street improvement plans and approved and permitted by the Transportation Department. Process a plan revision through the Plan Check Section per Section I, Part E, page 10 of the "Policies and Guidelines" available on the Internet at: [http://rctlma.org/trans/General-Information/Pamphlets - Brochures](http://rctlma.org/trans/General-Information/Pamphlets-Brochures)

If you have questions, please call the Plan Check Section at (951) 955-6527.

NOTE:

1. All driveways shall be reconstructed in accordance with County Standard No. 207A.
2. Close the existing driveway along Grand Avenue and construct a 6 foot concrete sidewalk to match up with the existing sidewalk as directed by the Director of Transportation.

090 - Transportation. 3 RCTD - LANDSCAPING INSTALLATION COMPLETION Not Satisfied

Landscaping within public road right-of-way shall comply with Transportation Department standards and Ordinance 461 and shall require approval by the Transportation Department. Landscaping shall be improved within Grand Avenue, Sangston Drive, and Blanche Drive.

090 - Transportation. 4 RCTD - PAYMENT OF TRANSPORTATION FEES Not Satisfied

Prior to the time of issuance of a Certificate of Occupancy or upon final inspection, whichever occurs first, the Project shall pay fees in accordance with the fee schedule in effect at the time of payment:

- Transportation Uniform Mitigation Fees (TUMF) in accordance with Ordinance No. 824.

090 - Transportation. 5 RCTD - UTILITY INSTALL Not Satisfied

Proposed electrical power, telephone, communication, and cable television lines shall be installed underground in accordance with Ordinance 460 and 461, or as approved by the Transportation Department. A certificate should be obtained from the pertinent utility company and submitted to the Department of Transportation as proof of completion.

090 - Transportation. 6 RCTD-USE-WQ - WQMP COMPLETION Not Satisfied

Prior to Building Final Inspection, the Project is required to furnish educational materials regarding

Plan: CUP190022

Parcel: 381344023

90. Prior to Building Final Inspection

Transportation

090 - Transportation. 6 RCTD-USE-WQ - WQMP COMPLETION (cont.) Not Satisfied
water quality to future owners/occupants, provide an engineered WQMP certification, inspection of BMPs, GPS location of BMPs, ensure that the requirements for inspection and cleaning the BMPs are established, and for businesses registering BMPs with the Transportation Department's Business Storm Water Compliance Program Section.

Waste Resources

090 - Waste Resources. 1 Waste - Mandatory Commercial and Organics Recycling Not Satisfied
Prior to final inspection, the applicant shall complete a Mandatory Commercial Recycling and Organics Recycling Compliance form (Form D). Form D requires applicants to identify programs or plans that address commercial and organics recycling, in compliance with State legislation/regulation. Once completed, Form D shall be submitted to the Recycling Section of the Department of Waste Resources for approval. To obtain Form D, please contact the Recycling Section at 951-486-3200, or email to: Waste-CompostingRecycling@rivco.org.

090 - Waste Resources. 2 Waste - Recyclables Collection and Loading Area Inspection Not Satisfied
Prior to final building inspection, the applicant shall construct the recyclables collection and loading area in compliance with the Recyclables Collection and Loading Area plot plan, as approved and verified through inspection by the Riverside County Department of Waste Resources.

090 - Waste Resources. 3 Waste Reporting Form and Receipts Not Satisfied
Prior to final building inspection, evidence (i.e., waste reporting form along with receipts or other types of verification) to demonstrate project compliance with the approved Waste Recycling Plan (WRP) shall be presented by the project proponent to the Planning Division of the Riverside County Department of Waste Resources. Receipts must clearly identify the amount of waste disposed and Construction and Demolition (C&D) materials recycled.



RIVERSIDE COUNTY PLANNING DEPARTMENT

Charissa Leach, P.E.
Assistant TLMA Director

DEVELOPMENT ADVISORY COMMITTEE ("DAC") INITIAL CASE TRANSMITTAL RIVERSIDE COUNTY PLANNING DEPARTMENT – RIVERSIDE PO Box 1409 Riverside, 92502-1409

DATE: September 24, 2019

TO:

Riv. Co. Transportation Dept.
Riv. Co. Environmental Health Dept.
Riv. Co. Public Health Dept.
Riverside County Flood Control
Riv. Co. Fire Department (Riv. Office)
Riv. Co. Building & Safety – Grading
Riv. Co. Building & Safety – Plan Check

Riv. Co. Regional Parks & Open Space
P.D. Environmental Programs Division
P.D. Geology Section
Riv. Co. Trans. Dept. – Landscape Section
P.D. Archaeology Section
Riv. Co. Surveyor
Riverside Transit Agency

Riv. Co. Sheriff's Dept.
Board of Supervisors - Supervisor: Jeffries
Planning Commissioner: Shaffer
City of Lake Elsinore Sphere of Influence
Alcohol Beverage Control

CONDITIONAL USE PERMIT NO. 190022 – Applicant: Carl R Wood – First Supervisorial District – Lakeland Village Policy Area – Elsinore Area Plan – General Plan: Community Development: Mixed Use Area (MUA) – Zoning: General Commercial (C-1/C-P) – Location: Southwest corner of Grand Avenue and Blanche Drive – 1.27 gross acres – **REQUEST:** A Conditional Use Permit for the construction of a 9,100 square foot stand-alone retail store that will include the sale of beer and wine for off site consumption (Subject to a type 20 license), with associated parking and detention basin. - APN 381-344-023 – Related Cases: PAR 190024 – **BBID: 256-784-055**

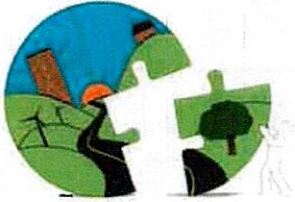
DAC staff members and other listed Riverside County Agencies, Departments and Districts staff:
A Bluebeam invitation has been emailed to appropriate staff members so they can view and markup the map(s) and/or exhibit(s) for the above-described project. Please have your markups completed and draft conditions in the Public Land Use System (PLUS) on or before the indicated DAC date. If it is determined that the attached map(s) and/or exhibit(s) are not acceptable, please have corrections in the system and DENY the PLUS routing on or before the above date. This case is scheduled for a **DAC meeting on October 10, 2019.** Once the route is complete, and the approval screen is approved with or without corrections, the project can be scheduled for a public hearing.

DATE: _____ SIGNATURE: _____

PLEASE PRINT NAME AND TITLE: _____

TELEPHONE: _____

If you do not include this transmittal in your response, please include a reference to the case number and project planner's name. Thank you.



RIVERSIDE COUNTY PLANNING DEPARTMENT

Charissa Leach, P.E.
Assistant TLMA Director

Any questions regarding this project, should be directed to Brett Dawson, Project Planner at (951) 955-0972, or e-mail at bdawson@rivco.org / MAILSTOP #: 1070

Public Hearing Path: Administrative Action: DH: PC: BOS:

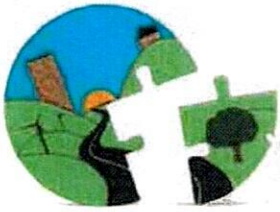
COMMENTS:

DATE: _____ SIGNATURE: _____

PLEASE PRINT NAME AND TITLE: _____

TELEPHONE: _____

If you do not include this transmittal in your response, please include a reference to the case number and project planner's name. Thank you.



RIVERSIDE COUNTY PLANNING DEPARTMENT

Charissa Leach, P.E.
Assistant TLMA Director

APPLICATION FOR LAND USE AND DEVELOPMENT

CHECK ONE AS APPROPRIATE:

- PLOT PLAN PUBLIC USE PERMIT VARIANCE
 CONDITIONAL USE PERMIT TEMPORARY USE PERMIT

REVISED PERMIT Original Case No. _____

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED.

APPLICATION INFORMATION

Applicant Name: NNN Retail Development

Contact Person: CARL WOOD E-Mail: carl@NNNretaildevelopment.com

Mailing Address: PO Box 2071
SCOTTSDALE City AZ State 85252 ZIP

Daytime Phone No: (702) 759 2620 Fax No: () _____

Engineer/Representative Name: Mour Group

Contact Person: ROB BENEDICT E-Mail: rob@mourgroupp.com

Mailing Address: 6593 Riverdale St
San Diego City CA State 92120 ZIP

Daytime Phone No: (619) 727 4800 Fax No: () _____

Property Owner Name: Dolores Christian

Contact Person: D'ANN Morgan E-Mail: dann^Mmorgan@hotmail.com

Mailing Address: 73261 Lone Mountain Lane
Palm Desert City CA State 92260 ZIP

Daytime Phone No: (949) 413-6754 Fax No: () _____

Riverside Office • 4080 Lemon Street, 12th Floor
 P.O. Box 1409, Riverside, California 92502-1409
 (951) 955-3200 • Fax (951) 955-1811

Desert Office • 77-588 El Duna Court, Suite H
 Palm Desert, California 92211
 (760) 863-8277 • Fax (760) 863-7555

"Planning Our Future... Preserving Our Past"

APPLICATION FOR LAND USE AND DEVELOPMENT

Check this box if additional persons or entities have an ownership interest in the subject property(ies) in addition to that indicated above; and attach a separate sheet that references the use permit type and number and list those names, mailing addresses, phone and fax numbers, and email addresses; and provide signatures of those persons or entities having an interest in the real property(ies) involved in this application.

AUTHORITY FOR THIS APPLICATION IS HEREBY GIVEN:

I certify that I am/we are the record owner(s) or authorized agent, and that the information filed is true and correct to the best of my knowledge, and in accordance with Govt. Code Section 65105, acknowledge that in the performance of their functions, planning agency personnel may enter upon any land and make examinations and surveys, provided that the entries, examinations, and surveys do not interfere with the use of the land by those persons lawfully entitled to the possession thereof.

(If an authorized agent signs, the agent must submit a letter signed by the owner(s) indicating authority to sign on the owner(s)'s behalf, and if this application is submitted electronically, the "wet-signed" signatures must be submitted to the Planning Department after submittal but before the use permit is ready for public hearing.)

<u>Dolores J. Christian</u> <small>PRINTED NAME OF PROPERTY OWNER(S)</small>	<u>Dolores J. Christian</u> <small>SIGNATURE OF PROPERTY OWNER(S)</small>
_____ <small>PRINTED NAME OF PROPERTY OWNER(S)</small>	_____ <small>SIGNATURE OF PROPERTY OWNER(S)</small>

The Planning Department will primarily direct communications regarding this application to the person identified above as the Applicant. The Applicant may be the property owner, representative, or other assigned agent.

AUTHORIZATION FOR CONCURRENT FEE TRANSFER

The applicant authorizes the Planning Department and TLMA to expedite the refund and billing process by transferring monies among concurrent applications to cover processing costs as necessary. Fees collected in excess of the actual cost of providing specific services will be refunded. If additional funds are needed to complete the processing of this application, the applicant will be billed, and processing of the application will cease until the outstanding balance is paid and sufficient funds are available to continue the processing of the application. The applicant understands the deposit fee process as described above, and that there will be **NO** refund of fees which have been expended as part of the application review or other related activities or services, even if the application is withdrawn or the application is ultimately denied.

PROPERTY INFORMATION:

Assessor's Parcel Number(s): 381-344-023

Approximate Gross Acreage: 1.27

General location (nearby or cross streets): North of _____, South of Grand, East of Sangston, West of Blanche.

APPLICATION FOR LAND USE AND DEVELOPMENT

PROJECT PROPOSAL:

Describe the proposed project.

Construct a new ground up 9,100 sqft Dollar General

Identify the applicable Ordinance No. 348 Section and Subsection reference(s) describing the proposed land use(s): C1

Number of existing lots: 1

EXISTING Buildings/Structures: Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>						
No.*	Square Feet	Height	Stories	Use/Function	To be Removed	Bldg. Permit No.
1					<input type="checkbox"/>	
2					<input type="checkbox"/>	
3					<input type="checkbox"/>	
4					<input type="checkbox"/>	
5					<input type="checkbox"/>	
6					<input type="checkbox"/>	
7					<input type="checkbox"/>	
8					<input type="checkbox"/>	
9					<input type="checkbox"/>	
10					<input type="checkbox"/>	

Place check in the applicable row, if building or structure is proposed to be removed.

PROPOSED Buildings/Structures: Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>					
No.*	Square Feet	Height	Stories	Use/Function	
1	9,100	18	1	General Merchandise Retail	
2					
3					
4					
5					
6					
7					
8					
9					
10					

PROPOSED Outdoor Uses/Areas: Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		
No.*	Square Feet	Use/Function
1		
2		
3		
4		
5		

APPLICATION FOR LAND USE AND DEVELOPMENT

6		
7		
8		
9		
10		

* Match to Buildings/Structures/Outdoor Uses/Areas identified on Exhibit "A".

Check this box if additional buildings/structures exist or are proposed, and attach additional page(s) to identify them.)

Related cases filed in conjunction with this application:

N/A

Are there previous development applications filed on the subject property: Yes No

If yes, provide Application No(s). _____
(e.g. Tentative Parcel Map, Zone Change, etc.)

Initial Study (EA) No. (if known) _____ EIR No. (if applicable): _____

Have any special studies or reports, such as a traffic study, biological report, archaeological report, geological or geotechnical reports, been prepared for the subject property? Yes No

If yes, indicate the type of report(s) and provide a signed copy(ies): _____

Is the project located within 1,000 feet of a military installation, beneath a low-level flight path or within special use airspace as defined in Section 21098 of the Public Resources Code, and within an urbanized area as defined by Government Code Section 65944? Yes No

Is this an application for a development permit? Yes No

If the project located within either the Santa Ana River/San Jacinto Valley watershed, the Santa Margarita River watershed, or the Whitewater River watershed, check the appropriate checkbox below.

If not known, please refer to [Riverside County's Map My County website](#) to determine if the property is located within any of these watersheds (search for the subject property's Assessor's Parcel Number, then select the "Geographic" Map Layer – then select the "Watershed" sub-layer)

If any of the checkboxes are checked, click on the adjacent hyperlink to open the applicable Checklist Form. Complete the form and attach a copy as part of this application submittal package.

- [Santa Ana River/San Jacinto Valley](#)
- [Santa Margarita River](#)
- [Whitewater River](#)

APPLICATION FOR LAND USE AND DEVELOPMENT

If the applicable Checklist has concluded that the application requires a preliminary project-specific Water Quality Management Plan (WQMP), such a plan shall be prepared and included with the submittal of this application.

HAZARDOUS WASTE AND SUBSTANCES STATEMENT

The development project and any alternatives proposed in this application are contained on the lists compiled pursuant to [Section 65962.5](#) of the Government Code. Accordingly, the project applicant is required to submit a signed statement that contains the following information:

Name of Applicant: _____
Address: _____
Phone number: _____
Address of site (street name and number if available, and ZIP Code): _____
Local Agency: County of Riverside
Assessor's Book Page, and Parcel Number: _____
Specify any list pursuant to Section 65962.5 of the Government Code: _____
Regulatory Identification number: _____
Date of list: _____
Applicant: _____ Date _____

HAZARDOUS MATERIALS DISCLOSURE STATEMENT

[Government Code Section 65850.2](#) requires the owner or authorized agent for any development project to disclose whether:

1. Compliance will be needed with the applicable requirements of Section 25505 and Article 2 (commencing with Section 25531) of Chapter 6.95 of Division 20 of the Health and Safety Code or the requirements for a permit for construction or modification from the air pollution control district or air quality management district exercising jurisdiction in the area governed by the County. Yes No
2. The proposed project will have more than a threshold quantity of a regulated substance in a process or will contain a source or modified source of hazardous air emissions. Yes No

I (we) certify that my (our) answers are true and correct.

Owner/Authorized Agent (1) Nolana Christian Date 8-21-19
Owner/Authorized Agent (2) _____ Date _____

APPLICATION FOR LAND USE AND DEVELOPMENT

This completed application form, together with all of the listed requirements provided on the Land Use and Development Application Filing Instructions Handout, are required in order to file an application with the County of Riverside Planning Department.

Y:\Current Planning\LMS Replacement\Condensed P.D. Application Forms\Land Use and Development Condensed application.docx
Created: 04/29/2015 Revised: 08/03/2018



RIVERSIDE COUNTY PLANNING DEPARTMENT

Charissa Leach, P.E.,
Assistant TLMA Director

INDEMNIFICATION AGREEMENT REQUIRED FOR ALL PROJECTS

The owner(s) of the property, at their own expense, agree to defend, indemnify and hold harmless the County of Riverside and its agents, officers, and employees from and against any lawsuit, claim, action, or proceeding (collectively referred to as "proceeding") brought against the County of Riverside, its agents, officers, attorneys and employees to attack, set aside, void, or annul the County's decision to approve any tentative map (tract or parcel), revised map, map minor change, reversion to acreage, conditional use permit, public use permit, surface mining permit, WECS permit, hazardous waste siting permit, temporary outdoor event permit, plot plan, substantial conformance, revised permit, variance, setback adjustment, general plan amendment, specific plan, specific plan amendment, specific plan substantial conformance, zoning amendments, and any associated environmental documents. This defense and indemnification obligation shall include, but not limited to, damages, fees and/or costs awarded against the County, if any, and cost of suit, attorney's fees and other costs, liabilities and expenses incurred in connection with such proceeding whether incurred by applicant, property owner, the County, and/or the parties initiating or bringing such proceeding.

Dolores J. Christian 8-21-19
Property Owner(s) Signature(s) and Date

DOLORIS J. CHRISTIAN
Printed Name of Owner

If the property is owned by multiple owners, the paragraph above must be signed by each owner. Attach additional sheets of this page, if necessary.

If the property owner is a corporate entity, Limited Liability Company, partnership or trust, the following documentation must also be submitted with this application:

- **If the property owner is a limited partnership, provide a copy of the LP-1, LP-2 (if an amendment) filed with the California Secretary of State.**
- **If the property owner is a general partnership, provide a copy of the partnership agreement documenting who has authority to bind the general partnership and to sign on its behalf.**
- **If the property owner is a corporation, provide a copy of the Articles of Incorporation and/or a corporate resolution documenting which officers have authority to bind the corporation and to sign on its behalf. The corporation must also be in good standing with the California Secretary of State.**
- **If the property owner is a trust, provide a copy of the trust certificate.**

Riverside Office • 4080 Lemon Street, 12th Floor
P.O. Box 1409, Riverside, California 92502-1409
(951) 955-3200 • Fax (951) 955-1811

Desert Office • 77-588 El Duna Court, Suite H
Palm Desert, California 92211
(760) 863-8277 • Fax (760) 863-7040

"Planning Our Future... Preserving Our Past"

INDEMNIFICATION AGREEMENT REQUIRED FOR ALL PROJECTS

- *If the property owner is a Limited Liability Corporation, provide a copy of the operating agreement for the LLC documenting who has authority to bind the LLC and to sign on its behalf.*

If the signing entity is also a corporate entity, Limited Liability Company, partnership or trust, the above documentation must also be submitted with this application. For any out of State legal entities, provide documentation showing registration with the California Secretary of State.

In addition to the above, provide a copy of a Preliminary Title Report for the property subject to this application. The Preliminary Title Report must be issued by a title company licensed to conduct business in the State of California and dated less than six months prior to the date of submittal of this application. The Assistant TLMA Director may waive the requirement for a Preliminary Title Report if it can be shown to the satisfaction of the Assistant TLMA Director that the property owner(s) has owned the property consistently for at least the last five years.

If the application is for a plot plan for a Wireless Communication Facility, the property owner(s) and the cellular service provider must sign the indemnification paragraph above. If the application is for a plot plan for a wireless communication co-location, only the co-locating service provider needs to sign the indemnification paragraph above.

NOTICE OF PUBLIC HEARING

A **PUBLIC HEARING** has been scheduled, pursuant to Riverside County Land Use Ordinance No. 348, before the **RIVERSIDE COUNTY PLANNING COMMISSION** to consider a proposed project in the vicinity of your property, as described below:

CONDITIONAL USE PERMIT NO. 190022 – Exempt from the California Environmental Quality Act (CEQA), pursuant to State CEQA Guidelines Section 15303 (Small Facilities) and 15061 (b)(3) (Common Sense) – Applicant: Carl R. Wood – First Supervisorial District – Lakeland Village Policy Area – Elsinore Area Plan – General Plan: Community Development: Mixed Use Area (CD-MUA) – Zoning: General Commercial (C-1/C-P) – Location: Southwesterly corner of Grand Avenue and Blanche Drive – 1.27 gross acres – **REQUEST:** A Conditional Use Permit for the construction of a 9,100 sq. ft. stand-alone retail store with associated parking and detention basin, that will include the sale of beer and wine for off site consumption (Subject to a type 20 license), and to approve the Public Convenience and Necessity Findings.

TIME OF HEARING: 9:00 a.m. or as soon as possible thereafter.
DATE OF HEARING: **AUGUST 19, 2020**
PLACE OF HEARING: RIVERSIDE COUNTY ADMINISTRATIVE CENTER
BOARD CHAMBERS, 1ST FLOOR
4080 LEMON STREET, RIVERSIDE, CA 92501

Pursuant to Executive Order N-25-20, this meeting will be conducted by teleconference only. Information on how to participate in the hearing will be available on the Planning Department website at: <https://planning.rctlma.org/>.

For further information regarding this project please contact Project Planner Brett Dawson at (951) 955-0972 or email at bdawson@rivco.org, or go to the County Planning Department's Planning Commission agenda web page at <http://planning.rctlma.org/PublicHearings.aspx>.

The Riverside County Planning Department has determined that the above-described application is exempt from the provisions of the California Environmental Quality Act (CEQA). The Planning Commission will consider the proposed application at the public hearing.

The case file for the proposed project is available for review via email by contacting the project planner. Please contact the project planner regarding additional viewing methods.

Any person wishing to comment on the proposed project may submit their comments in writing by mail or email, or by phone between the date of this notice and the public hearing. Public access to this meeting will not be available. You may participate remotely by registering with the Planning Department. All comments received prior to the public hearing will be submitted to the Planning Commission for consideration, in addition to any oral testimony, before making a decision on the proposed project. All correspondence received before and during the meeting will be distributed to the Planning Commission and retained for the official record.

If you challenge this project in court, you may be limited to raising only those issues you or someone else raised at the public hearing, described in this notice, or in written correspondence delivered to the Planning Commission at, or prior to, the public hearing. Be advised that, as a result of public hearings and comment, the Planning Commission may amend, in whole or in part, the proposed project. Accordingly, the designations, development standards, design or improvements, or any properties or lands, within the boundaries of the proposed project, may be changed in a way other than specifically proposed.

Please send all written correspondence to:
RIVERSIDE COUNTY PLANNING DEPARTMENT
Attn: Brett Dawson
P.O. Box 1409, Riverside, CA 92502-1409

PROPERTY OWNERS CERTIFICATION FORM

I, VINNIE NGUYEN certify that on July 28, 2020,

The attached property owners list was prepared by Riverside County GIS,

APN (s) or case numbers CUP190022 for

Company or Individual's Name RCIT - GIS,

Distance buffered 600'

Pursuant to application requirements furnished by the Riverside County Planning Department. Said list is a complete and true compilation of the owners of the subject property and all other property owners within 600 feet of the property involved, or if that area yields less than 25 different owners, all property owners within a notification area expanded to yield a minimum of 25 different owners, to a maximum notification area of 2,400 feet from the project boundaries, based upon the latest equalized assessment rolls. If the project is a subdivision with identified off-site access/improvements, said list includes a complete and true compilation of the names and mailing addresses of the owners of all property that is adjacent to the proposed off-site improvement/alignment.

I further certify that the information filed is true and correct to the best of my knowledge. I understand that incorrect or incomplete information may be grounds for rejection or denial of the application.

TITLE: GIS Analyst

ADDRESS: 4080 Lemon Street 9TH Floor

Riverside, Ca. 92502





TELEPHONE NUMBER (8 a.m. - 5 p.m.): (951) 955-8158

Riverside County GIS Mailing Labels

CUP190022 (600 feet buffer)



Legend

-  County Boundary
-  Cities
-  Parcels
-  World Street Map

Notes



0 376

752 Feet

IMPORTANT Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

REPORT PRINTED ON... 7/28/2020 7:57:35 AM

© Riverside County RCIT

381341002
PHILBERT H. RIVERA
16064 VIA NORTE
LAKE ELSINORE CA 92530

381300014
DOMINGO ROMERO
16109 GRAND AVE
LAKE ELSINORE CA 92530

381342004
JAMES H. HILL
16067 VIA NORTE
LAKE ELSINORE CA 92530

381344006
KATHLEEN M. MAROLD
32405 OAK KNOLL LN
LAKE ELSINORE CA 92530

381344005
JACK TRINH
16090 UNION AVE
LAKE ELSINORE CA 92530

381344012
DENNIS JAY MERRITT
33096 SANGSTON DR
LAKE ELSINORE CA 92530

381342006
VICTOR A. SOTO
33117 SANGSTON DR
LAKE ELSINORE CA 92530

381341003
JANINE ANDERSON
16060 VIA NORTE
LAKE ELSINORE CA 92530

381341026
MARJORY H. VITALE
30724 BENTON RD STE C302-617
WINCHESTER CA 92596

381342007
GREGORY LEINEN
16058 VIA SOLA
LAKE ELSINORE CA 92530

381341025
JAIME MARTINEZ
16040 VIA NORTE
LAKE ELSINORE CA 92530

381344008
JAIME R. MACIAS
16091 VIA MEDIA
LAKE ELSINORE CA 92530

381344001
STEVEN PATRICK MUNOZ
16074 UNION AVE
LAKE ELSINORE CA 92530

381342010
MOURLYN HENDRIX
16025 VIA NORTE
LAKE ELSINORE CA 92530

381344004
JAMES D. STRALEY
16086 UNION AVE
LAKE ELSINORE CA 92530

381344007
MARVIN C. LANGOHR
4056 ALCORN ST
SAN DIEGO CA 92154

381344009
JAIME R. MACIAS
16087 VIA MEDIA
LAKE ELSINORE CA 92530

381080007
SAMUEL TAOUIL
9051 EVONVALE DR
CORONA CA 92883

381091008
MARK A. PIASCIK
16190 GRAND AVE
LAKE ELSINORE CA 92530

381091012
DIANA J. WOLTER
P O BOX 873
TEMECULA CA 92593

381071036
DANNY STEVENS
28601 N FRONTAGE RD
LAKE ELSINORE CA 92532

381080001
GAP LAND HOLDINGS
40101 AVENIDA LA CRESTA
MURRIETA CA 92562

381300009
TRAC PHAM
2859 S EUCLID AVE
ONTARIO CA 91762

381341001
CARLOS A. FRANCO
16068 VIA NORTE
LAKE ELSINORE CA 92530

381341004
SWH 2017 1 BORROWER
8665 E HARTFORD DR NO 200
SCOTTSDALE AZ 85255

381341007
AARAV INV
16005 GRAND AVE
LAKE ELSINORE CA 92530

381342002
RONALD L. DETAL
16057 VIA NORTE
LAKE ELSINORE CA 92530

381342003
CHRISTOPHER R. SANZARO
16063 VIA NORTE
LAKE ELSINORE CA 92530

381342005
ROCKNEY J. HUDSON
33101 SANGSTON DR
LAKE ELSINORE CA 92530

381342014
ENGBERSON PAUL B
16038 VIA SOLA
LAKE ELSINORE CA 92530

381080005
STEPHEN C. KILBURN
16056 GRAND AVE
LAKE ELSINORE CA 92530

381344014
ANTONIO SANCHEZ
16086 VIA MEDIA
LAKE ELSINORE CA 92530

381341005
WILLIAM C. SAUTER
16052 VIA NORTE
LAKE ELSINORE CA 92530

381091006
WILLIAM W. AMANN
30544 AUDELO ST
LAKE ELSINORE CA 92530

381071037
MARTHA VALENCIA
15996 GRAND AVE
LAKE ELSINORE CA 92530

381342008
ROBERT SANFORD
16054 VIA SOLA
LAKE ELSINORE CA 92530

381080002
DEIDRE ANN CURTIS
16038 GRAND AVE
LAKE ELSINORE CA 92530

381344013
SYBIL C. SULLIVAN
1676 RHODE ISLAND CIR
COSTA MESA CA 92626

381344015
MICHAEL J. ROBBINS
33172 BLANCHE DR
LAKE ELSINORE CA 92530

381091005
LOREN ROJEK
16339 MT DANA CR
FOUNTAIN VALLEY CA 92708

381091009
VERLIE WELLES
P O BOX 873
TEMECULA CA 92593

381091001
MELODY R. ANTHONY
16086 GRAND AVE
LAKE ELSINORE CA 92530

381071038
JOSE ANTONIO SERRANO MARTINEZ
16002 GRAND AVE
LAKE ELSINORE CA 92530

381091004
MOK KA & LING FAMILY TRUST DATED
1988 CERCO ALTA DR
MONTEREY PARK CA 91754

381091010
ELSINORE VALLEY MUNICIPAL WATER DIST
P O BOX 1180
RIVERSIDE CA 92502

381080003
PASCUAL A. MARTINEZ
25427 JUNO ST
SUN CITY CA 92586

381080008
WALTER A. DONAHUE
16084 GRAND AVE
LAKE ELSINORE CA 92530

381080013
RICHARD M. CATY
16072 GRAND AVE
LAKE ELSINORE CA 92530

381091007
RAYMOND J. BUHR
16170 GRAND AVE
LAKE ELSINORE CA 92530

381344011
TED H. MCKENNA
31281 CALLE DEL CAMPO
SAN JUAN CAPISTRANO CA 92675

381300017
COUNTY OF RIVERSIDE
3403 10TH ST STE 400
RIVERSIDE CA 92501

381342001
SCOTT A. JUHNKE
16053 VIA NORTE
LAKE ELSINORE CA 92530

381342009
2018-4 IH BORROWER
1717 MAIN ST STE 2000
DALLAS TX 75201

381344022
MARTIN SALDANA
33050 SANGSTON DR
LAKE ELSINORE CA 92530

381300008
CHIA LING LIN
3065 DIBBLE CT
SANTA CLARA CA 95051

381300015
EVERLEAD EDUCATION INC CO INC
87 N RAYMOND AVE # 200
PASADENA CA 91103

381341023
SIMON VELAZQUEZ GARCIA
16026 VIA NORTE
LAKE ELSINORE CA 92530

381344003
ROBERT ALAN CHISHOLM
2105 W MEADOWLARK DR
CHINO VALLEY AZ 86323

381344017
JESUS A. ALTAMIRANO
33075 BLANCHE DR
LAKE ELSINORE CA 92530

381344020
2018-3 IH BORROWER LP
1717 MAIN ST STE 200
DALLAS TX 75201

381344016
TRUDY A. PULIDO
16096 VIA MEDIA
LAKE ELSINORE CA 92530

381344010
DON MARTIN
33122 SANGSTON DR
LAKE ELSINORE CA 92530

381071035
PAMELA LEE COLEMAN
32970 ETHLENE DR
LAKE ELSINORE CA 92530

381341024
CHARLES RAY DICKEY
16032 VIA NORTE
LAKE ELSINORE CA 92530

381344021
PETER W. HURLEY
430 CANAL ST
NEWPORT BEACH CA 92663

381344018
MICHAEL SANDLER
33063 BLANCHE DR
LAKE ELSINORE CA 92530

381344002
CAROLYNNE J. SHOUSE
16078 UNION AVE
LAKE ELSINORE CA 92530

381344019
ROBERT S. AVALOS
33051 BLANCHE DR
LAKE ELSINORE CA 92530

381344023
DAVID C. CHRISTIAN
73261 LONE MOUNTAIN LN
PALM DESERT CA 92260

381080004
ROBERT THOMAS RAWLS
8806 SIERRA AVE
FONTANA CA 92335

381080009
PRO VALUE PROP INC
PO BOX 517
AGOURA HILLS CA 91376

381091002
CRAIG H. BLOOM
16088 GRAND AVE
LAKE ELSINORE CA 92530

381091003
DEAN S. ROSE
16096 GRAND AVE
LAKE ELSINORE CA 92530

NNN Retail Development
Carl Wood
PO Box 2017
Scottsdale AZ 85252

Kirkland West
Habitat Defense Council
PO Box 7821
Laguna Niguel, CA 92607-7821

Mour Group
Rob Benedict
6593 Riverdale Street
San Diego CA 92120

Richard Drury
Theresa Rettinghouse
Lozeau Drury, LLC.
410 12th Street Suite 250
Oakland, CA 94607

Robert Avalos
33051 Blanche Drive
Lake Elsinore CA 92530

Eastern Municipal Water District
2270 Trumble Road
Perris CA 92570

Dolores Christian
D'Ann Morgan
73261 Lone Mountain Land
Palm desert CA 92260



RIVERSIDE COUNTY PLANNING DEPARTMENT

Charissa Leach, P.E.
Assistant TLMA Director

NOTICE OF EXEMPTION

TO: Office of Planning and Research (OPR) FROM: Riverside County Planning Department
P.O. Box 3044 4080 Lemon Street, 12th Floor 38686 El Cerrito Road
Sacramento, CA 95812-3044 P. O. Box 1409 Palm Desert, CA 92201
 County of Riverside County Clerk Riverside, CA 92502-1409

Project Title/Case No.: CUP190022

Project Location: Southwest corner of Grand Avenue and Blanche Drive

Project Description: **CONDITIONAL USE PERMIT NO. 190022** – Applicant: Carl R Wood – First Supervisorial District – Lakeland Village Policy Area – Elsinore Area Plan – General Plan: Community Development: Mixed Use Area (MUA) – Zoning: General Commercial (C-1/C-P) – Location: Southwest corner of Grand Avenue and Blanche Drive – 1.27 gross acres – **REQUEST:** A Conditional Use Permit for the construction of a 9,100 square foot stand-alone retail store that will include the sale of beer and wine for off site consumption (Subject to a type 20 license), with associated parking and detention basin. - APN 381-344-023 – Related Cases: PAR 190024

Name of Public Agency Approving Project: Riverside County Planning Department

Project Applicant & Address: NNN Retail Development Carl Wood PO Box 2071 Scottsdale AZ 85252

Exempt Status: (Check one)

- Ministerial (Sec. 21080(b)(1); 15268) Categorical Exemption (Sec. 15061(b)3)
 Declared Emergency (Sec. 21080(b)(3); 15269(a)) Statutory Exemption (15303)
 Emergency Project (Sec. 21080(b)(4); 15269 (b)(c)) Other:

Reasons why project is exempt: Exempt per Sections 15303. and 15061 of the state CEQA guidelines. 15303 exempts the construction and location of new small facilities and structures and per 15061(b)3 it can be found with certainty that there is no possibility that the activity in question may have a significant effect on the environment.

County Contact Person Phone Number

Signature Title Date

Date Received for Filing and Posting at OPR: _____

Please charge deposit fee case#: ZCFG No. - County Clerk Posting Fee \$50

FOR COUNTY CLERK'S USE ONLY

--	--



RIVERSIDE COUNTY PLANNING DEPARTMENT

Charissa Leach
Assistant TLMA Director

Memorandum

Date: August 18, 2020

To: Planning Commission

From: Brett Dawson, Project Planner, Planning Department

RE: Updated Information for Agenda Item 4.3 (CUP190022)

To the Honorable Chair,

Attached are recent comment letters received and additional findings and corrections to the staff report.

Riverside Office · 4080 Lemon Street, 12th Floor
P.O. Box 1409, Riverside, California 92502-1409
(951) 955-3200 · Fax (951) 955-1811

Desert Office · 77-588 El Duna Court, Suite H
Palm Desert, California 92211
(760) 863-8277 · Fax (760) 863-7040

Revisions to the Staff Report and Additional Findings:

Environmental Review /Environmental Findings

Additional Findings:

The project is located within a vacant lot surrounded by an unincorporated area that is directly adjacent to the City of Lake Elsinore. The population density of the unincorporated area equals the existing density of the adjacent City of Lake Elsinore.

All necessary public facilities and services are available for the project.

The surrounding area is currently developed with a mix of commercial and residential development. The project is not located within an environmentally sensitive area.

The project is for a convenience store with existing residential properties surrounding the project, there is a strip mall to the west, and vacant properties to the south and east. With the existing development of this area and the current General Plan Designations and Zoning Classifications for the surrounding available vacant lots, any cumulative impacts would not be significant.

There are no reasonable possibilities that the activity will have a significant impact due to unusual circumstances.

The nearest state eligible scenic highway is State Route 79, which is not located adjacent to the project site.

The project is not located on a hazardous waste site.

There are no historical resources on the project site and the proposal will not cause a substantial adverse change in the significance of a historical resource.

Corrections:

To clarify the proposal is for the construction of a 9,100 square foot building. The "no construction proposed and utilization of existing buildings etc." is provided as an example of an instance that can be determined with certainty that the project would not result in a significant effect on the environment and not meant to be included as a part of the project itself. The project includes the construction of a 9,100 square foot building and can be determined with certainty that the project would not result in a significant effect on the environment.

The project will not have a limited lifespan.

25,000 square feet should be revised to 2,500.

Land Use Findings

Add language to finding #4 "Section 18.48 allows the sale of beer and wine within the General Commercial (C-1/C-P) Zone Classification."

Entitlement Findings

Revise the language to delete the striked out section:

The following findings shall be made prior to making a recommendation to grant a Conditional Use Permit ~~or Public Use Permit~~, pursuant to the provisions of the Riverside County Zoning Ordinance 348 (Land Use):

Fire Findings

Replace language in Finding #7 from "the subdivision" to "the project".

Appeal Information

The Planning Commission's decision may be appealed to the Board of Supervisors. Such appeals shall be submitted in writing to the Clerk of the Board, with the required fee as set forth in Ordinance No. 671 (Consolidated Fees for Land Use and Related Functions), within 10 days after the notice of decision appears on the Board's agenda.

Dawson, Brett

From: Carol Donahue <carol.donahue@outlook.com>
Sent: Saturday, August 15, 2020 6:15 PM
To: Dawson, Brett
Subject: Conditional use permit No. 190022

CAUTION: This email originated externally from the **Riverside County** email system.
DO NOT click links or open attachments unless you recognize the sender and know the content is safe.

I am writing regarding this project because I do not want another liquor store or Circle K to attract drug abusers and criminals who hang out and cause problems. We already have about 5 in a five mile radius of this site! All attract drug abusers, gangs, homeless and more. We do NOT need another liquor store in the area!

Thank you for your consideration of this information.
Carol and Walter Donahue

Get [Outlook for iOS](#)

Dawson, Brett

From: Jim Hill <jazhill2u@yahoo.com>
Sent: Thursday, August 13, 2020 5:06 PM
To: Dawson, Brett
Subject: conditional use permit 190022

I live at 16067 Via Norte, just up the street from the proposed development you are considering. Here are my reasons I am opposed:

1. There's already an existing strip center, with liquor store, on Sangston and Grand.
2. It's already very difficult to get out onto Grand from Sangston/Blanch, and the increased congestion from a new store will only make it more difficult and dangerous.
3. There have been multiple fatalities due to people crossing Grand to get to the store. The most recent involved a motorcycle. The rider was killed when a car dashed out in front of him trying to cross the street.
4. The lighting is so poor on Grand at night that it's very, very, difficult to see people walking along the side of the road, and worse if they are crossing the street. A new store will only increase the pedestrian activity and the chance for more accidents.
5. There's already enough transient activity at the corner due to the existing liquor store and smoke shop, and a new store will only make it worse.
6. Finally, a new store so close to the existing one could cause the old one to go out of business. If that happens the rest of the tenants will probably leave and the "tagger"s will have a field day. That would not be good for our already challenged property values.

I've lived here for 30 yrs. Please trust me when I say I think a new store at this location is a BAD idea.

Sincerely,

Jim Hill

Sent from [Mail](#) for Windows 10