

**SUBMITTAL TO THE BOARD OF SUPERVISORS  
COUNTY OF RIVERSIDE, STATE OF CALIFORNIA**



**ITEM: 1.2  
(ID # 18936)**

**MEETING DATE:  
Tuesday, May 10, 2022**

**FROM :** TLMA-PLANNING:

**SUBJECT:** TRANSPORTATION AND LAND MANAGEMENT AGENCY/PLANNING:  
TENTATIVE PARCEL MAP NO. 38147, and PLOT PLAN NO. 210022 – Adoption of a Mitigated Negative Declaration – CEQ210040 – Applicant: Benjamin Horning – Engineer/Representative: Norah Jaffan – First Supervisorial District – North Perris Zoning Area – Mead Valley Area Plan – Land Use Designation: Community Development: Light Industrial: (CD:LI) – Location: north of Perry Street, south of Markham Street - 9.8 Gross Acres – Zoning: Industrial Park (I-P) and Manufacturing-Service Commercial (M-SC). REQUEST: PLOT PLAN NO. 210022 proposes to develop two (2) 49,470 sq. ft. warehouse buildings each provided with 2,500 sq. ft. of office space, 16 loading docks, separate truck trailer parking courts and separate parking lots. TENTATIVE PARCEL MAP NO. 38147 proposes a Schedule E subdivision of 9.8 gross acres into two (2) lots. APN: 314-091-005. District 1. [Applicant Fees 100%]

**RECOMMENDED MOTION:** That the Board of Supervisors:

1. **RECEIVE AND FILE** the Planning Commission Notice of Decision for the above referenced cases acted on by the Planning Commission on April 6, 2022.

**ACTION:Consent**

  
John Hildebrand, Planning Director 4/25/2022

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**MINUTES OF THE BOARD OF SUPERVISORS**

On motion of Supervisor Washington, seconded by Supervisor Jeffries and duly carried by unanimous vote, IT WAS ORDERED that the above matter is received and filed as recommended.

Ayes: Jeffries, Spiegel, Washington, Perez, and Hewitt  
Nays: None  
Absent: None  
Date: May 10, 2022  
xc: Planning

Kecia R. Harper  
Clerk of the Board

By:   
Deputy

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<b>FINANCIAL DATA</b>	<b>Current Fiscal Year:</b>	<b>Next Fiscal Year:</b>	<b>Total Cost:</b>	<b>Ongoing Cost</b>
<b>COST</b>	\$ N/A	\$ N/A	\$ N/A	\$ N/A
<b>NET COUNTY COST</b>	\$ N/A	\$ N/A	\$ N/A	\$ N/A
<b>SOURCE OF FUNDS: Applicant Fees 100%</b>			<b>Budget Adjustment:</b>	No
			<b>For Fiscal Year:</b>	N/A

**C.E.O. RECOMMENDATION:** Approve

**BACKGROUND:**

**Summary**

**Tentative Parcel Map No. 38147** proposes a Schedule E subdivision of 9.8 gross acres into two (2) lots. Parcel 1 has an area of 4.821 gross acres and 4.669 net acres. Parcel 1 has an area of 4.986 gross acres and 4.759 net acres.

**Plot Plan No. 210022** proposes to develop two (2) 49,470 square foot warehouse buildings each with 2,500 square feet of office space. Both Buildings will be provided with 16 loading docks, a separate truck trailer parking yard and a separate parking lot. The site will be subdivided to place each building on its own lot. Each building site meets parking standards independent of the other site including electrical vehicle requirements. Building 1 is located on Parcel 1 and has 34 parking spaces and parking for 55 truck trailers. Building 2 is located on Parcel 2 and has 35 parking spaces and parking for 76 truck trailers.

*Application Submittal*

Tentative Parcel Map No. 38147, and Plot Plan No. 210022 were submitted to the County of Riverside on April 19, 2021.

*Planning Commission Decision*

The Planning Commission approved the Tentative Parcel Map, and Plot Plan on April 6, 2022 on a 4-0 vote.

**Board Action**

The Planning Commission's decision is final and no action by the Board of Supervisors is required unless the Board assumes jurisdiction by ordering the matter set for a future noticed public hearing, or the applicant or an interested person files a complete appeal application within 10 days of this notice appearing on the Board's agenda.

**Impact on Citizens and Businesses**

The impacts of this project have been evaluated through the environmental review and the public hearing process by the Planning Department and the Planning Commission.

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**SUPPLEMENTAL:**

**Additional Fiscal Information**

All fees are paid by the applicant, there is no General Fund obligation.

**Contract History and Price Reasonableness**

N/A

**ATTACHMENTS:**

- A. Planning Commission Minutes
- B. Planning Commission Staff Report Package

  
\_\_\_\_\_  
Jason Farin Principal Management Analyst 5/2/2022



# RIVERSIDE COUNTY PLANNING DEPARTMENT

## MINUTE ORDER

RIVERSIDE COUNTY PLANNING COMMISSION – APRIL 6, 2022  
COUNTY ADMINISTRATIVE CENTER

1<sup>st</sup> FLOOR, BOARD CHAMBERS, 4080 LEMON STREET, RIVERSIDE, CA 92501

### I. AGENDA ITEM NO. 3.2

**PLOT PLAN NO. 210022, TENTATIVE PARCEL MAP NO. 38147 – Intent to Adopt a Mitigated Negative Declaration – CEQ210040** – Applicant: Benjamin Horning – Engineer/Representative: Norah Jaffan – First Supervisorial District – North Perris Zoning Area – Mead Valley Area Plan – Land Use Designation: Community Development: Light Industrial: (CD:LI) – Location: north of Perry Street, south of Markham Street, east of Beck Street, and west of Seaton Avenue – 9.8 Gross Acres – Zoning: Industrial Park (I-P) and Manufacturing-Service Commercial (M-SC).

### II. PROJECT DESCRIPTION:

**PLOT PLAN NO. 210022** proposes to develop two (2) 49,470 sq. ft. warehouse buildings each provided with 2,500 sq. ft. of office space, 16 loading docks, separate truck trailer parking courts and separate parking lots. **TENTATIVE PARCEL MAP NO. 38147** proposes a Schedule E subdivision of 9.8 gross acres into two (2) lots. APN: 314-091-005.

### III. MEETING SUMMARY:

Project Planner Manuel Baeza presented the subject proposal. Contact information: (951) 955-9294, email [mbaeza@rivco.org](mailto:mbaeza@rivco.org).

The Public Hearing was opened at the meeting of March 23, 2022 to accept public comments, and remained open to accept comments into the record at this meeting.

#### Spoke in favor:

Jeremy Krout, Applicant's representative – agreed to the Conditions of Approval

Alex Zamora, interested party

Al Sanchez, interested party

Julio Flores, a neighbor

#### Spoke in opposition:

Ms. Miller, interested party

Chair Leonard closed the Public Hearing.

### IV. CONTROVERSIAL ISSUES:

None.

**V. PLANNING COMMISSION ACTION:**

Motion by Commissioner Shaffer, Seconded by Vice-Chair Thornhill, by a vote of 4-0 (Commissioner Sanchez Absent), the Planning Commission took the following actions:

**ADOPTED** a **MITIGATED NEGATIVE DECLARATION** for **ENVIRONMENTAL ASSESSMENT NO. CEQ210040**, based on the findings and conclusions provided in the initial study, and the conclusion that the project will not have a significant effect on the environment; and,

**APPROVED PLOT PLAN NO. 210022**, subject to the Advisory Notification document and Conditions of Approval; and,

**APPROVED TENTATIVE PARCEL MAP NO. 38147**, subject to the Advisory Notification document and Conditions of Approval.



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**Agenda Item No.**

3.2

(ID # 18728)


**MEETING DATE:**

**Wednesday, April 06, 2022**

**SUBJECT:** PLOT PLAN NO. 210022, TENTATIVE PARCEL MAP NO. 38147 – Intent to Adopt a Mitigated Negative Declaration – CEQ210040 – Applicant: Benjamin Horning – Engineer/Representative: Norah Jaffan – First Supervisorial District – North Perris Zoning Area – Mead Valley Area Plan – Land Use Designation: Community Development: Light Industrial: (CD:LI) – Location: north of Perry Street, south of Markham Street, east of Beck Street, and west of Seaton Avenue – 9.8 Gross Acres – Zoning: Industrial Park (I-P) and Manufacturing-Service Commercial (M-SC). REQUEST: PLOT PLAN NO. 210022 proposes to develop two (2) 49,470 sq. ft. warehouse buildings each provided with 2,500 sq. ft. of office space, 16 loading docks, separate truck trailer parking courts and separate parking lots. TENTATIVE PARCEL MAP NO. 38147 proposes a Schedule E subdivision of 9.8 gross acres into two (2) lots. APN: 314-091-005. Project Planner: Manuel Baeza at (951) 955-9294 or email at mbaeza@rivco.org.

**PROPOSED PROJECT**

Case Number(s):	PPT210022 TPM38147
Environmental Type:	Mitigated Negative Declaration
Area Plan No.	Mead Valley
Zoning Area/District:	North Perris Area
Supervisorial District:	First District
Project Planner:	Manuel Baeza
Project APN(s):	314-091-005
Continued From:	3/23/2022



John Hildebrand, Planning Director 3/3

**PROJECT DESCRIPTION AND LOCATION**

**Plot Plan No. 210022** proposes to develop two (2) 49,470 square foot warehouse buildings each with 2,500 square feet of office space. Both Buildings will be provided with 16 loading docks, a separate truck trailer parking yard and a separate parking lot. The site will be subdivided to place each building on its own lot. Each building site meets parking standards independent of the other site including electrical vehicle requirements. Building 1 is located on Parcel 1 and has 34 parking spaces and parking for 55 truck trailers. Building 2 is located on Parcel 2 and has 35 parking spaces and parking for 76 truck trailers. **Tentative Parcel Map No. 38147** proposes a Schedule E subdivision of 9.8 gross acres into two (2) lots. Parcel 1 has an area of 4.821 gross acres and 4.669 net acres. Parcel 2 has an area of 4.986 gross acres and 4.759 net acres.

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The description as included above constitutes the "Project" as further referenced in this staff report.

The Project site is located north of Perry Street, South of Markham Street, east of Beck Street and west of Seaton Avenue. The Project site is within the Mead Valley Area Plan.

**PROJECT RECOMMENDATION**

**STAFF RECOMMENDATIONS:**

**THAT THE PLANNING COMMISSION TAKE THE FOLLOWING ACTIONS:**

**ADOPT** a **MITIGATED NEGATIVE DECLARATION** for **ENVIRONMENTAL ASSESSMENT NO. CEQ210040**, based on the findings and conclusions provided in the initial study, attached hereto, and the conclusion that the project will not have a significant effect on the environment; and,

**APPROVE PLOT PLAN NO. 210022**, subject to the attached advisory notification document, conditions of approval, and based upon the findings and conclusions provided in this staff report; and,

**APPROVE TENTATIVE PARCEL MAP NO. 38147**, subject to the attached advisory notification document, conditions of approval, and based upon the findings and conclusions provided in this staff report.

**PROJECT DATA**

**Land Use and Zoning:**

Specific Plan:	N/A
Specific Plan Land Use:	N/A
Existing General Plan Foundation Component:	Community Development
Proposed General Plan Foundation Component:	N/A
Existing General Plan Land Use Designation:	Light Industrial
Proposed General Plan Land Use Designation:	N/A
Policy / Overlay Area:	N/A
Surrounding General Plan Land Uses	
North:	Rural Community: Very Low Density Residential (RC: VLDR)
East:	Community Development: Light Industrial (CD: LI)
South:	Community Development: Light Industrial (CD: LI)
West:	Rural Community: Very Low Density Residential (RC: VLDR)
Existing Zoning Classification:	Industrial Park (I-P) and Manufacturing- Service

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	Commercial (M-SC)
Proposed Zoning Classification:	N/A
Surrounding Zoning Classifications	
North:	Rural Residential (R-R) and Light Agriculture (A-1)
East:	Industrial Park (I-P)
South:	Manufacturing - Service Commercial (M-SC)
West:	Light Agriculture (A-1)
Existing Use:	Vacant Land
Surrounding Uses	
North:	Residential and Industrial Uses
East:	Vacant Land
South:	Industrial Uses and Vacant Land
West:	Residential and Outdoor Storage

**Project Details:**

<i>Item</i>	<i>Value</i>	<i>Min./Max. Development Standard</i>
Project Site (Acres):	9.807 gross acres 9.428 net	20,000 SF (I-P) 10,000 SF (M-SC)
Proposed Building Area (SQFT):	98,940 SF	N/A
Floor Area Ratio:	0.24	0.25-0.60
Building Height (FT):	40.5 feet	50 feet
Proposed Minimum Lot Size:	4.669 net acres	20,000 SF
Total Proposed Number of Lots:	2	
Map Schedule:	E	

**Parking:**

<i>Type of Use</i>	<i>Building Area (in SF)</i>	<i>Parking Ratio</i>	<i>Spaces Required</i>	<i>Spaces Provided</i>
<b>Building 1</b>				
Warehouse	46,970	1 space/2,000 SF of gross floor area	23.5	
Office	2,500	1 space/250 SF of office area	10	
		Total	33.5	34



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<i>Type of Use</i>	<i>Building Area (in SF)</i>	<i>Parking Ratio</i>	<i>Spaces Required</i>	<i>Spaces Provided</i>
<b>Building 2</b>				
Warehouse	46,970	1 space/2,000 SF of gross floor area	23.5	
Office	2,500	1 space/250 SF of office area	10	
		Total	33.5	35
<b>TOTAL:</b>				

**Located Within:**

City's Sphere of Influence:	Yes – Perris
Community Service Area ("CSA"):	Yes – CSA152
Special Flood Hazard Zone:	No
Agricultural Preserve:	No
Liquefaction Area:	Yes – Low
Subsidence Area:	Yes – Susceptible
Fault Zone:	No
Fire Zone:	No
Mount Palomar Observatory Lighting Zone:	Yes – Zone B
WRCMSHCP Criteria Cell:	No
CVMSHCP Conservation Boundary:	No
Stephens Kangaroo Rat ("SKR") Fee Area:	Yes – In or partially in
Airport Influence Area ("AIA"):	Yes – March Air Reserve Base: Zone C2

**PROJECT LOCATION MAP**

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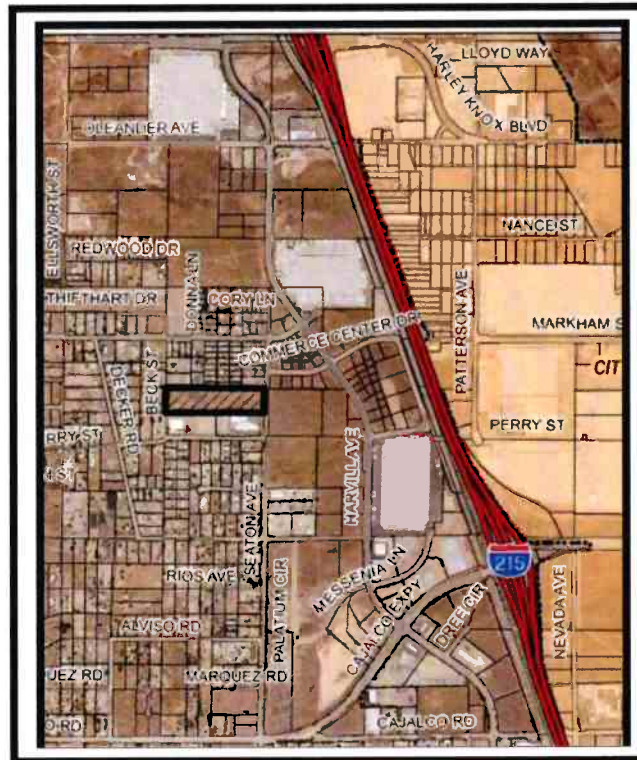


Figure 1: Project Location Map

**PROJECT BACKGROUND AND ANALYSIS**

**Background:**

***Project Location***

The Project site consists of a single 9.81 gross acre parcel (314-091-005) located in the unincorporated area of Riverside County, within the City of Perris Sphere of Influence. The site is located north of Perry Street, south of Markham Street, on the west side of Seaton Avenue and east side of Beck Street in an area of the county that is designated for and has a cluster of similar warehouse/distribution facilities. Regional access to the site is provided by Interstate 215 (I-215) and the Interstate 215 Cajalco Expressway exit or Harley Knox Boulevard exit. Local access to the site is provided from Harvill Avenue, which is a major roadway, and Seaton Avenue, which is a secondary roadway.

**PROJECT DESCRIPTION**

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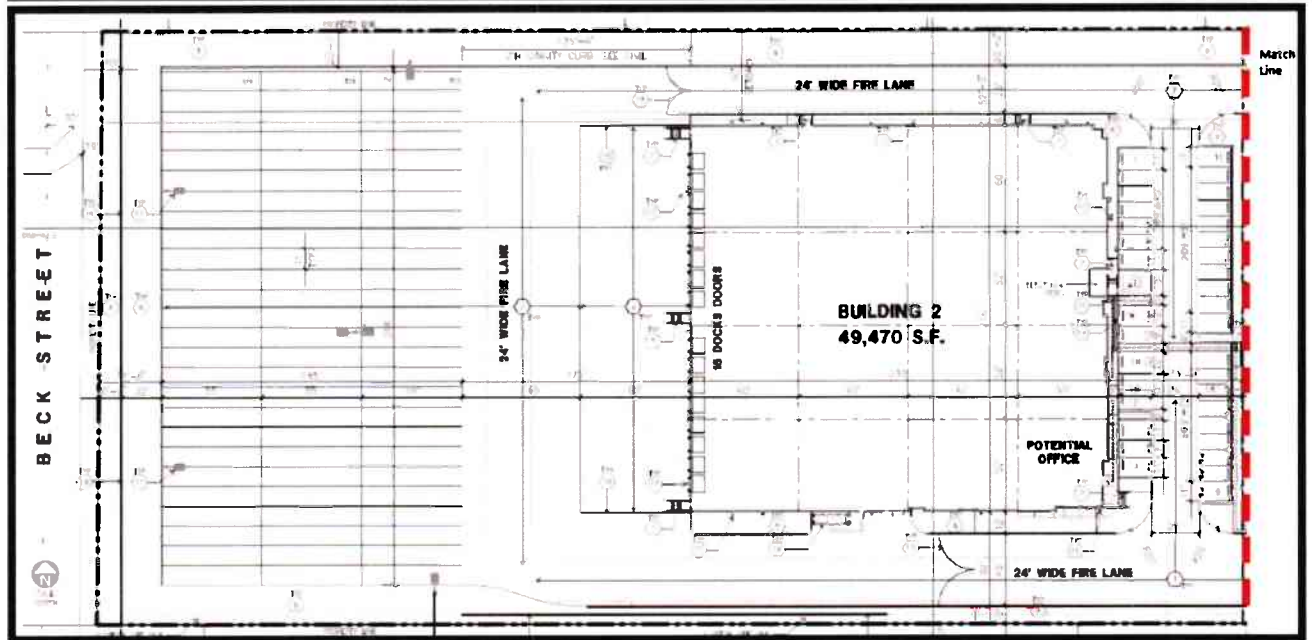
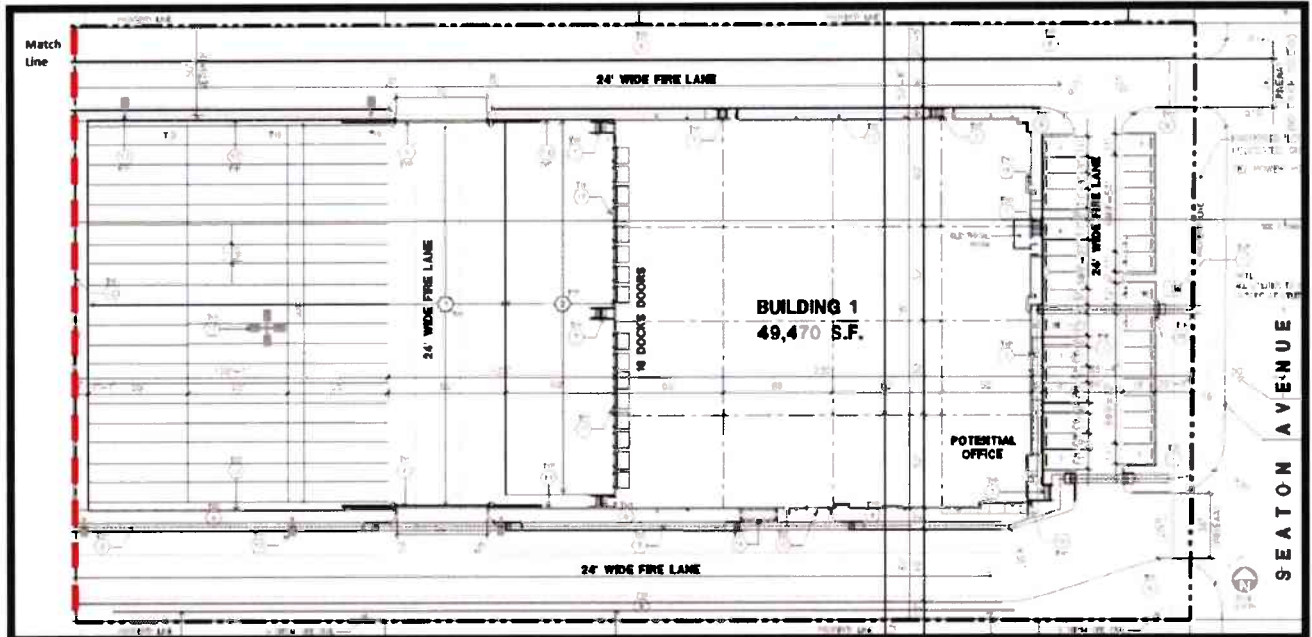
The Project was first submitted for Pre-Application Review (PAR200061) to the Planning Department and was scheduled for comment with the Development Advisory Committee (DAC) on December 17, 2020. The original proposal consisted of a single 95,250 square foot warehouse/distribution building including 5,000 square feet of office space, 27 loading docks, 82 parking stalls and 126 trailer parking stalls. Based on recommendations from the First District Office and staff the proposal was changed to a two (2) building layout with a significant increase in landscaping along north and south property lines.

The current application, Plot Plan No. 210022 (PPT210022) and Tentative Parcel Map No. 38147 (TPM38147), was submitted to the Planning Department for review on April 19, 2021.

The applicant is proposing the construction of two (2) 49,970 square foot speculative warehouse buildings. Floor area of each building consist of 46,970 square feet of warehouse space and 2,500 square feet of office space. The structures will range in height from 35 feet at the north elevation to 40.5 feet at the south elevation as measured from the finished floor of each building. Building walls will be comprised of concrete tilt-up construction in the form of offset building panels painted in shades of grey with white accents. Blue reflective glazing is also used as an accent on all sides of each building. A total of 16 docks will be provided on the west side of each building and both buildings will be provided with its own separate truck court and parking lot. For both buildings trailer parking is located directly adjacent to loading docks and passenger vehicle parking is located near each building main entrance. Building 1 will have 55 trailer parking stalls, and 34 passenger vehicle stalls including 2 stalls for electric vehicles. Building 2 will have 76 trailer parking stalls and 35 passenger vehicle parking stalls including 2 stalls for electric vehicles.

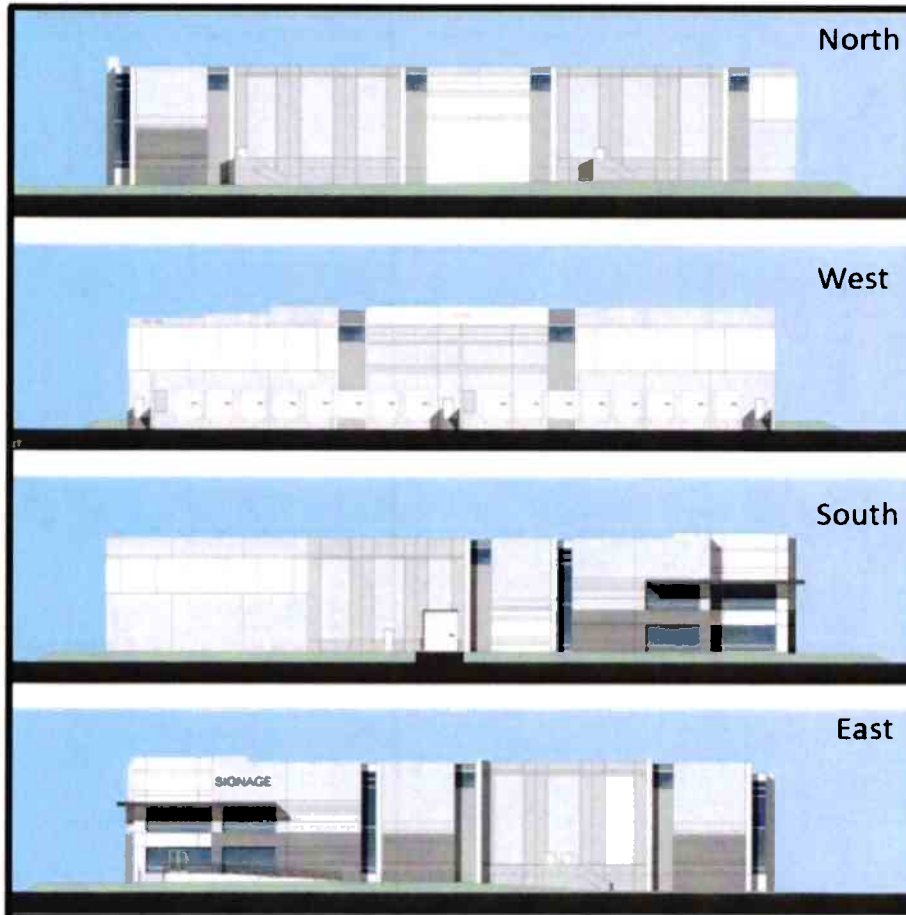
TPM38147 proposes a Schedule E subdivision of 9.8 gross acres into two (2) lots. Parcel 1 has an area of 4.821 gross acres and 4.669 net acres. Parcel 2 has an area of 4.986 gross acres and 4.759 net acres.

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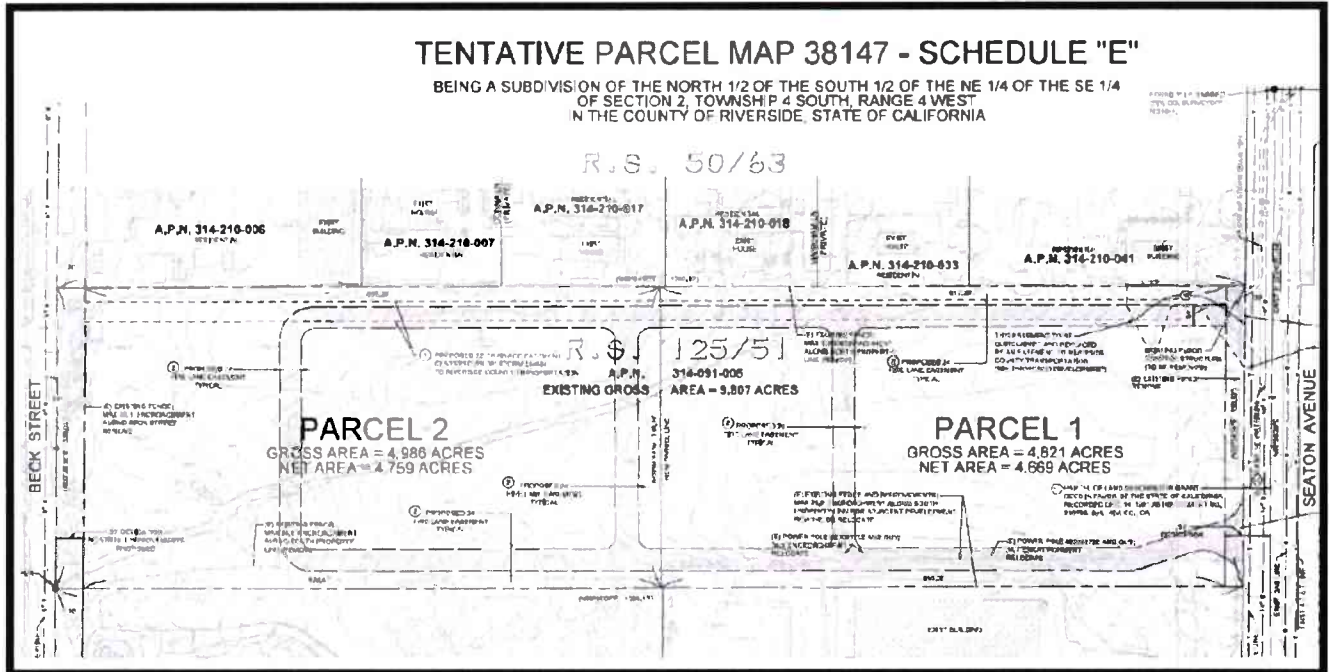
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Ingress and egress for the project is provided by two (2) driveways on Seaton Avenue. To reduce impacts to adjacent residential development, the north driveway will only be used by passenger and emergency vehicles and truck traffic will be restricted to using only the south driveway. Because of this restriction, and because no access is proposed along Beck Street, Parcel 2 (west parcel) must be given an access easement over Parcel 1 (east parcel) in order to access Seaton Avenue. An emergency access easement is also being provided in the form of a 24-foot-wide fire lane over both parcels as shown on the tentative parcel map.

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**General Plan Consistency**

The Project site's existing General Plan Foundation Component is Community Development (CD) and Land Use Designation is Light Industrial (LI). The Light Industrial land use designation allows for a wide variety of industrial and related uses, including assembly and light manufacturing, repair and other service facilities, warehousing, distribution centers, and supporting retail uses. The proposed warehousing distribution use is allowed the LI designation and is located adjacent to other Light Industrial designated property to the east and south. East of the project along Harvill Avenue are a number of large warehouse/distribution buildings and immediately south of the project site are older industrial uses along Perry Street consisting of a fiberglass and composite manufacturing use and packaging manufacturing use.

The building intensity for development within the LI designation ranges from 0.25 to 0.60 Floor Area Ratio (FAR). The project's FAR is 0.24, which is below the FAR range noted in the General Plan for LI. The FAR consists of the gross building area of all floors divided by lot area. Policy LU 30.9 of the Land Use Element allows for a FAR that is less intense in order to encourage good project design and efficient site utilization. The Project was designed to be sensitive to the existing Rural Community - Very Low Density Residential lands to the north and west by developing two buildings instead of a single large building that would be more likely to host a more intense use. In addition, the design of the site proposes large landscape setbacks along the north property line and both street frontages. Although the Project's FAR, is slightly

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lower than the suggested range for LI, the proposal still provides an efficient use of the site while at the same time presenting a design that is sensitive to nearby residential uses.

The project is located in an Environmental Justice (EJ) Community and has been evaluated for consistency with recently adopted EJ Policies. As part of this process, Planning and the First District staff met with the applicant to discuss how the project could address applicable policies. As a result of these discussions the applicant has agreed to contribute toward new public improvements in the immediate area of the project by purchasing four (4) bus shelters specifically designed for the Mead Valley community, contribute towards funding a community garden project at Columbia Elementary School, and provide an additional \$215,000 towards community improvement projects. The evaluation matrix prepared for the project is included as an attachment to this report.

**Zoning/Development Consistency**

The site's current split zoning with the east half classified as Manufacturing-Service Commercial (M-SC) and the west half classified as Industrial Park (I-P). The buildings are designed for warehouse and distribution activities and both these zones allow for this use with approval of a plot plan. Although the project is split zoned, the applicant was directed to follow the more stringent standards of the I-P Zone for uniformity and improved design. The project meets all development standards of the I-P zone. The minimum lot size is 20,000 square feet and each lot exceeds an area of four (4) acres. The maximum height of buildings is 35 feet at the required setback line, with an additional two (2) feet of setback required for each one (1) foot in height that is in excess of 35 feet with an overall maximum height of 50 feet. The building has a varied height ranging from 35 on the north to 40.5 feet on the south and east as measured from the finished floor. All building setbacks meet I-P standards including any additional distance needed due to building height. Along the street the I-P requires a minimum 25-foot setback with 10 feet of landscaping. At Seaton Avenue an 88-foot setback is provided with 20 feet of landscaping and at Beck Street the setback is over 200 feet with 34.5 feet of landscaping. For side setbacks, ten feet is required for the combined measurement of both side yards, however yards that abut a residential zone require a minimum 50-foot setback with 20 feet of landscaping. The project meets both standards by providing a continuous 50-foot setback with 20 feet of landscaping along the entirety of the north property line and minimum building setbacks of 62 feet from the south property line. The minimum rear yard setback is 15 feet and Building 1 meets this standard as it is over 250 feet away from the rear property line. No front yard standard is given for buildings that do not front on a street but Building 2 is over 70 feet away from its front property line. Parking for the project is based on a rate of one (1) space for every 2,000 gross square feet of warehousing and one (1) space for 250 square feet of office. With an office area of 2,500 square feet and warehouse area of 46,970 square feet there is a

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parking requirement of 34 stalls for each building. Each building will have at least this many stalls thereby meeting minimum standards. There are additional standards for the screening of parking, loading, trash, service areas and outdoor storage and these have been addressed through the design of the project as discussed below.

### **Landscaping and Walls**

The proposed Project includes approximately 68,012 square feet of landscaping that would cover approximately 16.6 percent of the site. The I-P Zone requires that a minimum of 15 percent of a project the site be landscaped. Individually 15.6 percent of Parcel 1 and 17.5 percent of Parcel 2 will be landscaped. The submitted conceptual landscape plan meets the standards of Ordinance No. 348 Section 18.12 E, regarding landscaping requirements for off-street vehicle parking and Ordinance No. 859, regarding water efficient landscaping. Proposed landscaping would include 20-foot-wide landscape planters along the north, and east property line, a 34.5-foot-wide planter at the west property line and a 10-foot-wide planter along the south property line. Along the north and west property lines 36-inch box and 48-inch box trees will be provided with 24-inch box trees, 15-gallon trees being used for the rest of the site. The landscape plan also includes various shrubs, and ground covers to screen the proposed buildings, and parking and loading areas from off-site viewpoints. To bolster screening from residentially zoned areas the project will provide a 10-foot-high screen wall along the northern property line, 10-foot-high wing walls on the north side of each building next to loading areas and an 8-foot-high wall along the western project boundary along the Beck Street frontage.

### **AB52 Consultation**

Four Native American tribes, the Soboba Band of Luiseño Indians, the Pechanga Band of Luiseño Indians, the Rincon Band of Luiseño Indians, and the Agua Caliente Band of Cahuilla Indians, requested AB 52 consultation on the project and consultation with all tribes was concluded by November 2021. Based on information provided by the consulting tribes, this Project will require a Native American Monitor to be present during ground disturbing activities.

### **Airport Land Use Commission**

The Project is located within the Airport Influence Area of the March Air Reserve Base, specifically located within Compatibility Zone C2. This Project was reviewed by the Riverside County Airport Land Use Commission (ALUC) on June 10, 2021. The ALUC determined the Project conditionally consistent with the March Air Reserve Base Land Use Compatibility Plan subject to 12 conditions of approval placed on the project.

### **Off-Site Improvements**



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Seaton Avenue is classified in the General Plan as a secondary roadway having a 100-foot right of way requirement and Beck Street is classified as a local street with a standard right of way width of 60 feet. The Project includes a 50-foot dedication along Seaton Avenue and a 30-foot dedication along Beck Street. Although the project will dedicate 30 feet of right-of-way for Beck Street, there is no existing dedication on the west side of Beck Street to develop a roadway that can accommodate truck traffic. Therefore, Beck Street could not be used as a point of access for the project.

**ENVIRONMENTAL REVIEW AND ENVIRONMENTAL FINDINGS**

An Initial Study (IS) and a Mitigated Negative Declaration (MND) have been prepared for this project in accordance with the California Environmental Quality Act (CEQA), Environmental Assessment No. CEQ210040. The Initial Study identified potentially significant impacts in regard to the issue areas of Biological Resources, Cultural Resources, Paleontological Resources, and Tribal Resources; however, with the incorporation of mitigation measures the impacts were reduced to less than significant. Based on the Initial Study's conclusions, the County of Riverside determined that an MND is appropriate for the proposed Project pursuant to CEQA Guidelines. The IS and MND represent the independent judgement of Riverside County. The documents were circulated for public review on March 1, 2022 per the California Environmental Quality Act Statute and Guidelines Section 15105. The public review period ended on March 21, 2022.

Comments on the Initial Study were received from an attorney (Mitchell M. Tsai) representing the Southwest Regional Council of Carpenters union. These comments are found in Chapter 2 of the Final MND for prepared for PPT210022 and TPM38147 (Attachment D). The comments in general urge the utilization of a skilled and trained workforce by the project presumably during the construction period. None of the comments warrant changes to the mitigation measures or warrant the recirculation of IS/MND per CEQA Statute and Guidelines Section 15073.5(c).

**FINDINGS AND CONCLUSIONS**

**In order for the County to approve a proposed project, the following findings are required to be made:**

**Land Use Findings:**

1. The project site has a General Plan Land Use Designation of Community Development: Light Industrial (CD:LI). The Light Industrial land use designation allows for a wide variety of

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industrial and related uses, including assembly and light manufacturing, repair and other service facilities, warehousing, distribution centers, and supporting retail uses. Building intensity ranges from 0.25 to 0.6 FAR. The Project proposes the development of two (2) 49,470 square foot warehouse buildings that are designed for warehousing and distribution activities which are identified as allowable in the CD:LI land use designation. In addition, light industrial development exists immediately to the south of the project site and properties immediately to the east are either developed or approved for development as warehouse and distribution facilities. The project proposes an FAR is 0.24, which is below the FAR range noted in the General Plan for LI. General Plan Policy LU 30.9 of the Land Use Element allows for a FAR that is less intense in order to encourage good project design and efficient site utilization. The Project was designed to be sensitive to the existing Rural Community - Very Low Density Residential lands to the north and west by developing two buildings instead of a single large building that would be more likely to host a more intense use. In addition, the design of the site proposes large landscape setbacks along the north property line and both street frontages. Although the Project's FAR, is slightly lower than the suggested range for LI, the proposal still provides an efficient use of the site while at the same time presenting a design that is sensitive to nearby residential uses. Thus the Project is, consistent with the current land use designation as shown in both the General Plan and the Mead Valley Area Plan.

2. The Project site is located within an Environmental Justice Community as identified in the Healthy Communities Element. Attached to this staff report is a checklist that evaluates the project's applicability and consistency with the Environmental Justice policies of the General Plan. As shown in the checklist, the Project is consistent with all applicable policies and therefore is consistent with this component of the General Plan. In particular to note, the applicant will contribute toward new public improvements in the immediate area. Specifically, the applicant will purchase four (4) bus shelters specifically designed for the Mead Valley community to Riverside Transit Agency, contribute towards funding a community garden project at Columbia Elementary School and provide additional \$215,000 towards community improvements within Mead Valley.
3. The Project site currently has two Zoning Classifications, Industrial Park (I-P) and Manufacturing – Service Commercial (M-SC) and has a General Plan Land Use Designation of CD:LI. The LI designation allows for a wide variety of industrial and related uses, including assembly and light manufacturing, repair and other service facilities, warehousing, distribution centers, and supporting retail uses. Both the I-P and M-SC zones specifically allow warehouse, distribution, as well as range of other industrial manufacturing, assembly and supporting retail uses. Therefore both these classifications are consistent with the General Plan land use designation.

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4. The Project, currently does not have a tenant however, uses proposed include, warehouse, distribution, and manufacturing, which is consistent with Ordinance No. 348 (Land Use) and are allowable uses within Industrial Park (I-P) and Manufacturing-Service Commercial (M-SC) zoning classifications, subject to Plot Plan approval. Specific findings relating to the proposed uses, including findings relating to the applicable development standards, are in the following separate sections below.

**Entitlement Findings:**

**Plot Plan**

The following findings shall be made prior to making a recommendation to grant a Plot Plan, pursuant to the provisions of the Riverside County Zoning Ordinance No. 348 (Land Use):

1. The proposed use conforms to all the requirements of the General Plan and with all applicable requirements of State law and the ordinances of Riverside County. The Project site is designated as Light Industrial in the Riverside County General Plan. The Plot Plan proposes the construction of a building designed to be used for warehouse, distribution, or manufacturing purposes. These general uses are specifically listed as consistent with the Light Industrial land use designation of the General Plan and are listed as permitted uses with a plot plan in I-P and M-SC Zones of Ordinance No. 348.
2. The overall development of the land shall be designed for the protection of the public health, safety and general welfare. As detailed in the Project's Initial Study/Mitigated Negative Declaration all impacts have been reduced through feasible mitigation to levels that are less than significant. The project includes The Project is designed and conditioned to meet all applicable Building and Fire Code. The Project prepared a Health Risk Assessment which determined that impacts from the Project's emissions on the surrounding residents will be within typical acceptable levels and will be less than significant. Conditions of approval incorporated for the Plot Plan will further ensure that public health, safety and general welfare are protected.
3. The proposed use conforms to the logical development of the land and is compatible with the present and future logical development of the surrounding property, as areas south and east of the Project site have been developed with, approved for, or designated for similar uses as the proposed Project for industrial and warehouse type uses. Residential areas to the north and west of the proposed Project have been considered in the design of the Project. Future truck access is limited to a single driveway on Seaton Avenue, located away from residential uses. The project would include 20-foot-wide landscape planters along the north, and east property line, and a 34.5-foot-wide planter at the west property line. Larger

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tree sizes are proposed along the north and west property lines consisting of 36-inch box and 48-inch box trees for more immediate screening. In addition, the project will provide a 10-foot-high screen wall along the northern property line, 10-foot-high wing walls on the north side of each building next to loading areas and an 8-foot-high wall along the western project boundary along the Beck Street frontage.

4. The plan for the proposed use shall consider the location and need for dedication and improvement of necessary streets and sidewalks, including the avoidance of traffic congestion; and shall take into account topographical and drainage conditions, including the need for dedication and improvements of necessary structures as a part thereof. The Project is conditioned to provide a 50-foot half width improvements on Seaton Avenue and pay cash-in-lieu for 30-foot half-width improvements for Beck Street. Curb and gutter and sidewalks will be provided on the project side along Seaton Avenue in accordance with the Riverside County Road Improvement Standards. To address drainage from the surrounding area and the project site, the project will also be required to install drainage improvements at Beck Street. From this point drainage will be conveyed through the site and connect to an existing drainage facility located at Seaton Avenue.
  
5. All plot plans which permit the construction of more than one structure on a single legally divided parcel shall, in addition to all other requirements, be subject to a condition which prohibits the sale of any existing or subsequently constructed structures on the parcel until the parcel is divided and a final map recorded in accordance with Ordinance No. 460 in such a manner that each building is located on a separate legally divided parcel. A tentative parcel map subdividing the project site into two (2) lots is being proposed resulting in a single building on each lot. Thus this requirement is not applicable.

The following findings shall be made prior to making a recommendation to grant a Tentative Parcel Map, pursuant to the provisions of the Riverside County Ordinance No. 460 (Subdivisions):

Tentative Parcel Map No. 38147 is a proposal to subdivide 9.8-acres into 2 lots. The findings required to approve a Map, pursuant to the provisions of the Riverside County Ordinance No. 460, are as follows:

1. The proposed map, subdivision design and improvements are consistent with General Plan, applicable community and specific plans and with all applicable requirements of State law and the ordinances of Riverside County, the design of the tentative parcel map is consistent with the County's General Plan specifically General Plan Principle IV.A.1 which provides that the intent of the General Plan is to foster variety and choice in community development.

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Development of the property will provide industrial uses that will further the overall vision. General Plan Principle VII.C.1. encourages the stimulation of industrial/business-type clusters that facilitate competitive advantage in the marketplace, that are appropriate for the County, provide attractive and well landscaped work environments, and fit with the character of our varied communities. The Project will be comprised of smaller industrial buildings serving as a transition between existing residential development to the north and west and much larger industrial warehouse distribution buildings located east, northeast and southeast of the project site along Seaton and Harvill Avenues. The project proposes an attractively landscaped development as seen from the street and will use materials and colors that are present in the community and designed to be harmonious with the area and coordinate well with newer industrial development found in the immediate area. General Plan Principle VII.F.1 calls for locating industrial uses in proximity to existing and planned rail lines, freeways, arterial highways and utilities. The project is located just west of the I-215 Freeway and is in close proximity to Harley Knox Boulevard which is classified as a 152-foot wide Urban Arterial and Cajalco Road which is classified as a 220-foot Expressway.

2. The site of the proposed land division is physically suitable for the type of development. The proposed land division is to subdivide an approximately 9.8 gross-acre property into two (2) lots for the development of a two (2) building industrial project with one (1) building on each lot. This area of the Mead Valley has been found suitable for development of this type of industrial project due to its proximity to the I-215 Freeway and major transportation corridors Cajalco Road and Harley Knox Boulevard. Additionally, the site does not have any topographical features or environmental constraints that result in the inability to develop the project site as required pursuant to the Zoning Ordinance.
3. The site of the proposed land division is physically suitable for the proposed density of the development. The project has split zoning of I-P and M-SC. The I-P Zone requires a minimum lot size of 20,000 square feet and a minimum 100-foot lot width. The M-SC Zone requires a minimum lot size of 10,000 square feet and minimum 75-foot lot width. The project proposes to subdivide the 9.8 acre site into two (2) lots each with an area of over 4.5 acres and a minimum width of over 330 feet well in excess of I-P and M-SC Zones. Thus, the density of the proposed division is physically suitable for the project site.
4. The design of the proposed land division or proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat. The Initial Study prepared for the project determined that no significant impacts would occur as a result of the proposed Project that would substantially and avoidably injure fish or wildlife or their habitat.

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5. The design of the proposed land division or the type of improvements are not likely to cause serious public health problems because, the initial study and mitigated negative declaration, Environmental Assessment No. CEQ210040, prepared for the project determined that the project would not have a significant impact on the environment, in particular regarding health and safety factors considered, such as Air Quality Hazards and Noise. Therefore, the proposed Project is consistent with this finding.
  
6. As indicated in the included project conditions of approval, the proposed land division includes the type of improvements as required by the Riverside County Land Division Ordinance for a Schedule "E" Map and as detailed below:
  - a. Streets – All road improvements within the project boundaries will be constructed to ultimate County standards in accordance with Ordinance Nos. 460 and 461 and stated in the Advisory Notification Document (AND), and Conditions of Approval. Seaton Avenue shall be conveyed and improved for public use to provide for a 50-foot half-width right-of-way per Standard No. 94, Ordinance 461 and sufficient public street right-of-way along Beck Street shall be conveyed for public use to provide for a 30-foot half-width right-of-way per Standard No. 105, Section D, Ordinance 461. Ordinance No. 460, Section 10.10 (A), as it pertains to streets, has been met.
  
  - b. Domestic Water – As stated in the Advisory Notification Document, the Project will obtain potable water service and sanitary service from Eastern Municipal Water District (EMWD). Prior to building permit issuance the applicant shall submit an original copy of water and sewer "will-serve letters to the Department of Environmental Health for review and record keeping. The provisions of the service are contingent upon the developer completing the necessary arrangements in accordance with EMWD rules and regulations. Additionally, because EMWD is regulated by the State, compliance with the criteria of California Administrative Code Title 22, Chapter 16 is required. Therefore, the requirement of Ordinance No. 460 10.10. B, as it pertains to domestic water will met.
  
  - c. Fire Protection – The Project site is not located within a high fire area or a state or local responsibility area. The project has been conditioned by the Fire Department to provide emergency vehicle apparatus access road locations and designs in accordance with the California Fire Code, Riverside County Ordinance 460, Riverside County Ordinance 787, and Riverside County Fire Department Standards. The project has also be conditioned per Riverside County Ordinance 460, Schedule E subdivisions shall meet the minimum requirements for fire protection set forth in Riverside County Fire Ordinance No. 787. Therefore, the requirement of Ordinance No. 460 Section 10.10 C, as it pertains to fire protection has been met.

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- d. Sewage Disposal – The proposed Project will be connecting to sewer and has obtained from EMWD. Prior to building permit issuance, the applicant shall submit an original copy of water and sewer “will-serve” letters to the Department of Environmental Health. Therefore, the requirements of the Ordinance No. 460 10.10, D., as it pertains to the sewage disposal has been met.
  - e. Fences- The project currently contains an existing flood control facility that is enclosed with chain link fencing. As part of the project this facility will be removed and all drainage facilities will be placed underground. Therefore, the requirements of Ordinance No. 460 are not applicable.
  - f. Electrical and Communication Facilities – All electrical and communication facilities will be placed underground. Therefore, the requirements of the Ordinance No. 460 10.10 (F) as it pertains to electrical and communication facilities are met.
7. The design of the proposed land division or the type of improvements will not conflict with easements, acquired by the public at large, for access through, or use of, property within the proposed land division. An existing flood control easement will be replaced with an equivalent easement that ties into the design of the project subject to review and approval by Riverside County Flood. A separate easement in favor of Eastern Municipal Water District will be retained by the project. As such, the project is consistent with this finding.
8. The lots or parcels as shown on the Tentative Map are consistent with the minimum size allowed by the project site’s Zoning Classification. The project has split zoning of I-P and M-SC. The I-P Zone requires a minimum lot size of 20,000 square feet and a minimum 100-foot lot width. The M-SC Zone requires a minimum lot size of 10,000 square feet and minimum 75-foot lot width. The project proposes to subdivide the 9.8 acre site into two (2) lots each with an area of over 4.5 acres and a minimum width of over 330 feet well in excess of I-P and M-SC Zones. Thus, the project is consistent size standards of the applicable zoning classifications.

**Development Standards Findings:**

- 1. The proposed use is consistent with Ordinance No. 348, in particular with the permitted uses and development standards of the Manufacturing – Service Commercial (M-SC) and Industrial Park (I-P) zones as detailed below. Although there are two different zones that the Project is located within, the development standards of the Industrial Park (I-P) zone are more restrictive than the Manufacturing – Service Commercial (M-SC) zone, so the

**COUNTY OF RIVERSIDE PLANNING DEPARTMENT  
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Industrial Park (I-P) standards have been complied with across the entire Project. The project proposes one building within the M-SC zone and one building in the I-P zone, however, due to the I-P zone development standards being more restrictive the standards of the I-P zone are what are shown below to show compliance and since the standards of the M-SC zone are less restrictive the Project would also comply with the M-SC standards where they may apply to those portions of the site and building that are located within the M-SC zone.

- a. *The minimum lot size shall be 20,000 square feet with a minimum average lot width of 100 feet. The Tentative Parcel Map No. 38147 proposes two lots each with an area of over 4.5 acres and a width of over 300 feet. Therefore the project meets is standard.*
- b. *The maximum height of all structures, including buildings, shall be 35 feet at the yard setback line. Any portion of a structure that exceeds 35 feet in height shall be set back from each yard setback line not less than two feet for each one foot in height that is in excess of 35 feet. All buildings and structures shall not exceed 50 feet in height, unless a height up to 75 feet for buildings, or 105 feet for other structures is specifically permitted under the provisions of Section 18.34. of Ordinance No. 348. The maximum height proposed for the building is 40.5 feet. As also noted below in subsection g of this section, the applicable baseline setback requirements are 25 foot minimum along streets, side yard setback of 10 feet, rear yard setback of 15 feet, and when abutting a residential or commercially zoned property of 50 feet.*

As the Project is designed, the critical setback relative to the allowed height is the setback to residential or commercial zoned properties. The project abuts residential zoning to the north, and has a height of 35 feet on the north side of the building as measured from the finished floor. Thus, the required setback is 50 feet. The proposed setback of the building to the north property line is a minimum of 52 feet, therefore this standard is met. Although not abutting, there is residentially zoned property west of the project site on the opposite side (west side) of Beck Street. With a building height of 39 feet, a 58 foot setback is required. The building is setback over 200 feet therefore this standard is also being met on the west side of the project. No other residential or commercial zoned properties abut the Project site. In addition, All other standard required setbacks per the Industrial Park (I-P) zone are met as shown in subsections d, e, and f of this section to not affect the maximum allowed height of the building.

- c. *A minimum 15 percent of the site shall be landscaped and automatic irrigation shall be installed. The proposed Project includes approximately 68,012 square feet of landscaping that would cover approximately 16.6 percent of the site. Individually 15.6 percent of Parcel 1 and 17.5 percent of Parcel 2 will be landscaped.*



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- d. *A minimum 25 foot setback shall be required on any street. A minimum ten foot strip adjacent to the street line shall be appropriately landscaped and maintained, except for designated pedestrian and vehicular access ways. The remainder of the setback may be used for off-street automobile parking, driveways or landscaping.* The Project's building site is bordered by Seaton Avenue on the east and Beck Street on the west. At Seaton Avenue an 88-foot setback is provided with 20 feet of landscaping and at Beck Street the setback is over 200 feet with 34.5 feet of landscaping outside of the right-of-way for both frontages, excluding where driveways are located.
  
- e. *The minimum side yard setback shall equal not less than ten feet for the two side lot areas combined.* The Project site is bordered by streets on the east and west, residentially zoned properties on the north and industrially zone properties on south. As previously discussed, a 50-foot setback applies to the north property line pursuant to the prior height findings and following setback findings for residentially zoned properties. The side yard standard applies to the south property line and a setback of 62 feet is being provided meeting this standard.
  
- f. *The minimum rear yard setback shall be 15 feet.* With the proposed configuration of the project site, the rear yard setback standard only applies to Building 1. For Building 1 a rear setback of over 250 feet is provided meeting this standard. The rear setback does not apply to Building 2 as the rear side of Building 2 faces Beck Street and is subject to the street setback requirement as explained previously.
  
- g. *A minimum 50 foot setback shall be required on any boundary where the industrial property abuts a residential or commercially zoned property. A minimum of 20 feet of the setback shall be landscaped, unless a tree screen is approved, in which case the setback area may be used for automobile parking, driveways or landscaping. Block walls or other fencing may be required.* The Project abuts a residentially zoned property on the north and will provide a 50-foot setback along this property line. Within this setback a minimum 20-foot landscape area is also proposed. In addition, a 10-foot-high screen wall will be constructed along the north property line shared with the residentially zoned property and two (2) more 10-foot-high wing walls will be provided immediately north of loading docks to screen noise and views of the loading area from residential properties to the north.
  
- h. *Parking, loading, trash and service areas shall be screened by structures or landscaping. They shall be located in such a manner as to minimize noise or odor nuisance. Block walls or other fencing may be required.* Standard vehicle parking areas are located near the center and east side of the project site and are screened with

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landscaping or by buildings and walls. The loading areas are located on the west side of each building, not facing residential land uses, and are screened with perimeter and wing walls and landscaping located on site. Trash and other service areas are proposed on the south side of buildings and would be adequately screened by buildings and proposed landscaping.

- i. *Outside storage shall be screened with structures or landscaping. Landscaping shall be placed in a manner adjacent to the exterior boundaries of the area so that materials stored are screened from view. If a non-screened exhibit of products is proposed, it shall be part of the industrial park plot plan, and shall be set back at least ten feet from the street line.* All outdoor truck trailer parking will be screened by walls and landscaping located adjacent to exterior boundaries of the project site. The project is not designed to allow for the outdoor display of products and outdoor display is not proposed as part of the project.
  
- j. *Automobile parking shall be provided as required by Section 18.12 of Ordinance No. 348.*

Based on the conceptual floor plans provided and the division between office and warehouse uses, the building for the proposed Project provides adequate parking consistent with Section 18.12 of Ordinance No. 348. Each building proposes 2,500 square feet of office area and 46,970 square feet of warehouse area. At 1 space per 250 square feet, as required by Ordinance No. 348, the office area requires 10 spaces. At 1 space per 2,000 square feet, as required by Ordinance No. 348, the warehouse area requires 24 spaces. A total of 34 spaces is required per building. Building 1 proposes 34 parking spaces and Building 2 proposes 35 each meeting the minimum required number of spaces. If future tenants propose tenant improvements through the building permit process that increase the amount of office or other area that requires more parking, such parking shall be provided on the Project site as appropriate and necessary consistent with Section 18.12 of Ordinance No. 348 and may be subject to further review pursuant to Section 18.43 of Ordinance No. 348. Additionally, disabled person and electrical vehicle parking is noted on the site plan with at least 2 spaces devoted to each classification per building, which meets the minimum requirement of Section 18.12.

- k. *All new utilities shall be underground.* The Project is conditioned to underground any new utilities, excluding electrical lines rated higher than 33 kV.
  
- l. *All roof mounted mechanical equipment shall be screened from the ground elevation view to a minimum sight distance of 1,320 feet.* No specific use is proposed at this time and therefore no specific equipment is proposed. However, any future tenants would be

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required to comply with the development standards of the I-P and M-SC zones and would be subject to this requirement to have any manufacturing equipment enclosed in a building. The Project is conditioned to provide complete screening of roof mounted mechanical equipment from ground view. The building design with parapet is anticipated to provide the necessary screening. If roof mounted equipment exceeds the parapet height, it may be necessary to screen the equipment immediately around the equipment to not require an increase in the height to the parapet.

- m. *All signs shall be in conformance with Article XIX of Ordinance No. 348.* No signs are proposed at this time, but applications future signs will be reviewed as part of the building permit process for consistency with Article XIX of Ordinance No. 348.
  
- n. *All lighting, including spotlights, floodlights, electrical reflectors and other means of illumination for signs, structures, landscaping, parking, loading, unloading and similar areas shall be focused, directed, and arranged to prevent glare or direct illumination on streets or adjoining property.* The Project is conditioned to comply with Ordinance No. 915 which similarly requires direction of lighting downward and away from adjoin properties.

**Other Findings:**

1. The project site is not located within a Criteria Cell of the Western Riverside County Multiple Species Habitat Conservation Plan. Accordingly, this Project fulfills the Conservation Area requirements of the MSHCP and is consistent with the MSHCP.
  
2. This Project is within the City Sphere of Influence of Perris. No memorandum of understanding exists with the City of Perris regarding development applications and consistency of General Plans and zoning. Regardless, the Project was initially transmitted to the City of Perris on May 4, 2021 and no comment was received.
  
3. The Project is located within the Airport Influence Area of the March Air Reserve Base, specifically located within Compatibility Zone C2. This Project was reviewed by the Riverside County Airport Land Use Commission (ALUC) on June 10, 2021. The ALUC determined the Project consistent subject to recommended conditions of approval that are included in the recommended conditions of approval on the Project.
  
4. In compliance with Assembly Bill 52 (AB52), notices regarding this project were mailed to all requesting tribes on May 06, 2021. Consultation was requested by the Agua Caliente Band of Cahuilla Indians, the Soboba Band of Indians, the Pechanga Band of Luiseno Indians, and the Rincon Band of Luiseno Indians. The project was discussed with the Soboba Band

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of Indians on June 9, 2021 and conditions of approval were provided to the Tribe on July 16, 2021. Consultation was concluded during a meeting held on September 08, 2021. The cultural resources assessment was prepared and provided to the Rincon Band and after review, the band provided recommendations for archaeological and tribal monitoring during grading activities. The conditions of approval were provided to the tribe on July 26, 2021. Rincon concurred with these conditions and consultation was concluded October 21, 2021. The cultural resources assessment was also provided to the Agua Caliente Band of Indians. Agua Caliente expressed concerns regarding previously unidentified subsurface tribal cultural resources that may be uncovered during ground disturbing grading activities. As such, the Band recommended that an Agua Caliente qualified monitor be present during grading. With that, consultation was concluded by the band.

The Pechanga Ban was provided the cultural resource assessment, followed by the conditions of approval on July 26, 2021. On August 13, 2021, Project exhibits were provided, and on September 22, 2021. This Project was discussed during a consultation meeting on October 08, 2021. County Planning confirmed that there would be archaeological and Native American monitoring during ground disturbing activities. Pechanga concurred with these conditions. A follow up email was sent to the tribe on October 25, 2021 and consultation was concluded on November 01, 2021.

5. The project site is located within Zone B of the Mount Palomar Observatory Lighting Zone boundary, as identified by Ordinance No. 655 (Mt. Palomar). The project is required to comply with all lighting standards specified within Ordinance No. 655, pursuant to Zone B.
6. The project site is located within the Fee Assessment Area of the Stephen's Kangaroo Rat Habitat Conservation Plan ("SKRHCP"). Per County Ordinance No. 663 and the SKRHCP, all applicants who submit for development permits, including maps, within the boundaries of the Fee Assessment Area who cannot satisfy mitigation requirements through on-site mitigation, as determined through the environmental review process, shall pay a Mitigation Fee of \$500.00 per gross acre of the parcels proposed for development. Payment of the SKRHCP Mitigation Fee for this Project, instead of onsite mitigation, will not jeopardize the implementation of the SKRHCP as all core reserves required for permanent Stephen's Kangaroo Rat habitat have been acquired and no new land or habitat is required to be conserved under the SKRHCP.

**Fire Findings:**

1. The project site is located within a Local Responsibility Area ("LRA") and is not located within any fire hazard severity zone.

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**Conclusion:**

1. For the reasons discussed above, as well as the information provided in the Initial Study, the proposed project conforms to all the requirements of the General Plan and with all applicable requirements of State law and the ordinances of Riverside County. Moreover, the proposed project would not be detrimental to the health, safety or general welfare of the community.

**PUBLIC HEARING NOTIFICATION AND COMMUNITY OUTREACH**

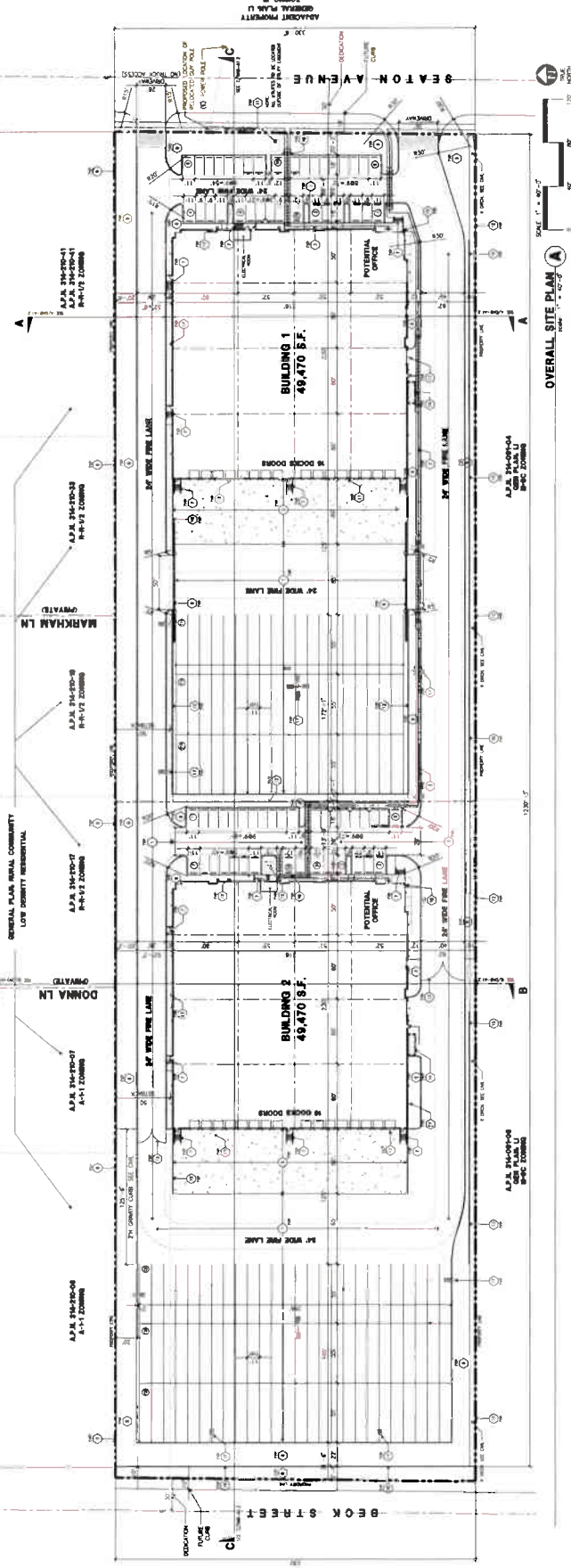
This project was advertised in the Press Enterprise Newspaper. Additionally, public hearing notices were mailed to property owners within 600 feet of the project site. As of the writing of this report, Planning Staff has not received written communication or phone calls that indicates support or opposition to the proposed project.

This project was presented before the Mead Valley Municipal Advisory Council (MAC) on July 7, 2021.

**APPEAL INFORMATION**

The Planning Commission's decision may be appealed to the Board of Supervisors. Such appeals shall be submitted in writing to the Clerk of the Board, with the required fee as set forth in Ordinance No. 671 (Consolidated Fees for Land Use and Related Functions), within 10 days after the Planning Commission's decision.

# Plot Plan No. 210022



**PROPERTY OWNER**  
 GENERAL INVESTMENTS  
 1000 BROADWAY, SUITE 200  
 SAN FRANCISCO, CA 94133  
 PHONE: 415-774-1000

**APPLICANT**  
 PETERSON & ASSOCIATES  
 1001 MARSHALL STREET, SUITE 100  
 SAN FRANCISCO, CA 94102  
 PHONE: 415-774-1000

**ARCHITECT**  
 HOK  
 100 CALIFORNIA STREET, SUITE 100  
 SAN FRANCISCO, CA 94111  
 PHONE: 415-774-1000

**CIVIL**  
 GOODEMAN & ASSOCIATES  
 1001 MARSHALL STREET, SUITE 100  
 SAN FRANCISCO, CA 94102  
 PHONE: 415-774-1000

**LANDSCAPE**  
 NORTON LORBER & ASSOCIATES  
 1001 MARSHALL STREET, SUITE 100  
 SAN FRANCISCO, CA 94102  
 PHONE: 415-774-1000

**ADDRESS OF THE PROPERTY**  
 200 W. BERRY STREET, WEST OF  
 SEATON AVE.

**ASSESSOR'S PARCEL NUMBER**  
 21-091-00

**LAND USE DESIGNATION**  
 UGP (INDUSTRIAL)

**ZONING**  
 UGP (INDUSTRIAL SERVICE COMMERCIAL)

**LEGAL DESCRIPTION**  
 PART OF THE LOT 1 OF THE 1/4 OF SECTION 30, T3N, R3W, S100E, COUNTY OF ALameda, CALIFORNIA.

**UTILITIES**  
 WATER: (SEE SANITARY MAP, WEST DISTRICT)  
 SEWER: (SEE SANITARY MAP, WEST DISTRICT)  
 GAS: (SEE SANITARY MAP, WEST DISTRICT)  
 ELECTRIC: (SEE SANITARY MAP, WEST DISTRICT)  
 TELEPHONE: (SEE SANITARY MAP, WEST DISTRICT)  
 FIBER OPTIC: (SEE SANITARY MAP, WEST DISTRICT)

**SCHOOL DISTRICT**  
 N. WOOD LAKE SCHOOL DISTRICT

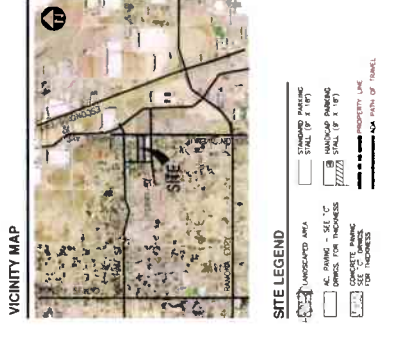
**GEOLOGY/HYDROLOGY**  
 UNDESIGNED AREA  
 UNDESIGNED AREA  
 UNDESIGNED AREA  
 UNDESIGNED AREA  
 UNDESIGNED AREA  
 UNDESIGNED AREA  
 UNDESIGNED AREA

**FEMA FLOOD ZONE**  
 FLOOD ZONE: X 0001  
 FLOOD MAP: 154-20-04

**SCOPE OF WORK**  
 PREPARE PLOT PLAN, GENERAL NOTES, SPECIFICATIONS, AND LANDSCAPE EXHIBIT FOR THE DEVELOPMENT AND CONSTRUCTION OF THE PROPERTY.

**PROJECT DATA**

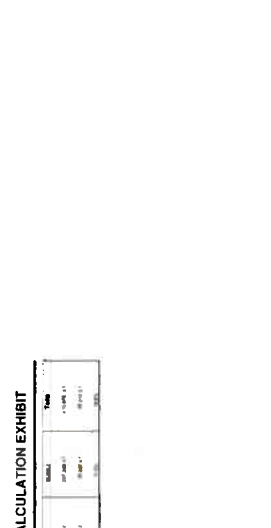
NO.	DESCRIPTION	DATE	BY
1	PLANNING	1/24/00	AL
2	SCHEMATIC DESIGN	2/24/00	AL
3	FINAL DESIGN	3/24/00	AL
4	AS-BUILT	4/24/00	AL



- PROPERTY OWNER**  
 GENERAL INVESTMENTS  
 1000 BROADWAY, SUITE 200  
 SAN FRANCISCO, CA 94133  
 PHONE: 415-774-1000
- APPLICANT**  
 PETERSON & ASSOCIATES  
 1001 MARSHALL STREET, SUITE 100  
 SAN FRANCISCO, CA 94102  
 PHONE: 415-774-1000
- ARCHITECT**  
 HOK  
 100 CALIFORNIA STREET, SUITE 100  
 SAN FRANCISCO, CA 94111  
 PHONE: 415-774-1000
- CIVIL**  
 GOODEMAN & ASSOCIATES  
 1001 MARSHALL STREET, SUITE 100  
 SAN FRANCISCO, CA 94102  
 PHONE: 415-774-1000
- LANDSCAPE**  
 NORTON LORBER & ASSOCIATES  
 1001 MARSHALL STREET, SUITE 100  
 SAN FRANCISCO, CA 94102  
 PHONE: 415-774-1000

**SITE PLAN KEYNOTES**

1. SEE PLOT PLAN FROM 154-20-04 FOR GENERAL NOTES.
2. CONCRETE WALLS.
3. CONCRETE FOUNDATION.
4. CONCRETE WALKWAYS.
5. SEE PLOT PLAN FROM 154-20-04 FOR GENERAL NOTES.
6. SEE PLOT PLAN FROM 154-20-04 FOR GENERAL NOTES.
7. SEE PLOT PLAN FROM 154-20-04 FOR GENERAL NOTES.
8. SEE PLOT PLAN FROM 154-20-04 FOR GENERAL NOTES.
9. SEE PLOT PLAN FROM 154-20-04 FOR GENERAL NOTES.
10. SEE PLOT PLAN FROM 154-20-04 FOR GENERAL NOTES.
11. SEE PLOT PLAN FROM 154-20-04 FOR GENERAL NOTES.
12. SEE PLOT PLAN FROM 154-20-04 FOR GENERAL NOTES.
13. SEE PLOT PLAN FROM 154-20-04 FOR GENERAL NOTES.
14. SEE PLOT PLAN FROM 154-20-04 FOR GENERAL NOTES.
15. SEE PLOT PLAN FROM 154-20-04 FOR GENERAL NOTES.



CAUTION: IF THIS SHEET IS NOT 30" X 42" IT IS A REDUCED PRINT



HPA INC.  
18011 Sandstone  
Irvine, CA 92614  
Tel: (949) 453-7770  
Fax: (949) 453-0851  
www.hpaarchitecture.com

CLIENT:  
**DIDEAUX PROJECTS**  
100 Westside Blvd Suite 200  
San Jose, CA 95041  
Tel: (408) 981-8228

Project:  
**SEATON AVE. & PERRY STREET**

COUNTY OF SHERBEE, CA

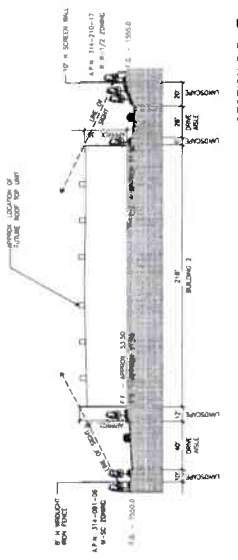
Consultants:  
CIVIL: Coulter & Associates  
STRUCTURAL: STAC & ASSOCIATES  
MECHANICAL: MECHANICAL  
PLUMBING: PLUMBING  
LANDSCAPE: LANDSCAPE  
PERSPECTIVE: PERSPECTIVE  
SCHEDULING: SCHEDULING

DATE: 01/15/2011

Project Number: 20423  
Drawn by: KT  
Date: 01/15/2011  
Revision:  
1ST SUBMITTAL: 01/15/2011  
2ND SUBMITTAL: 01/15/2011  
3RD SUBMITTAL: 01/15/2011

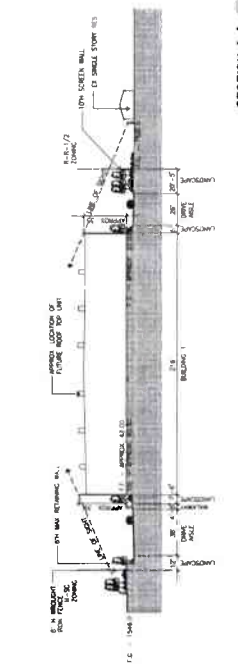
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NOTE: ALL ROOF JOISTS, MECHANICAL, ELECTRICAL SHALL BE COORDINATED WITH THE GENERAL CONTRACTOR PER TO A MINIMUM DISTANCE OF 1'-0" (SEE DET)



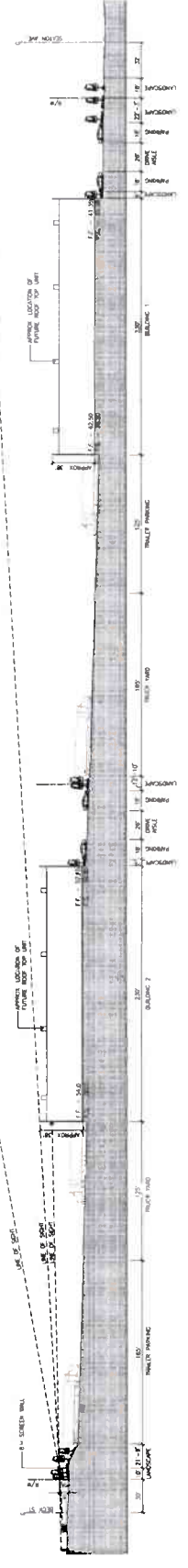
SECTION A-A  
1/15/11

NOTE: ALL ROOF JOISTS, MECHANICAL, ELECTRICAL SHALL BE COORDINATED WITH THE GENERAL CONTRACTOR PER TO A MINIMUM DISTANCE OF 1'-0" (SEE DET)

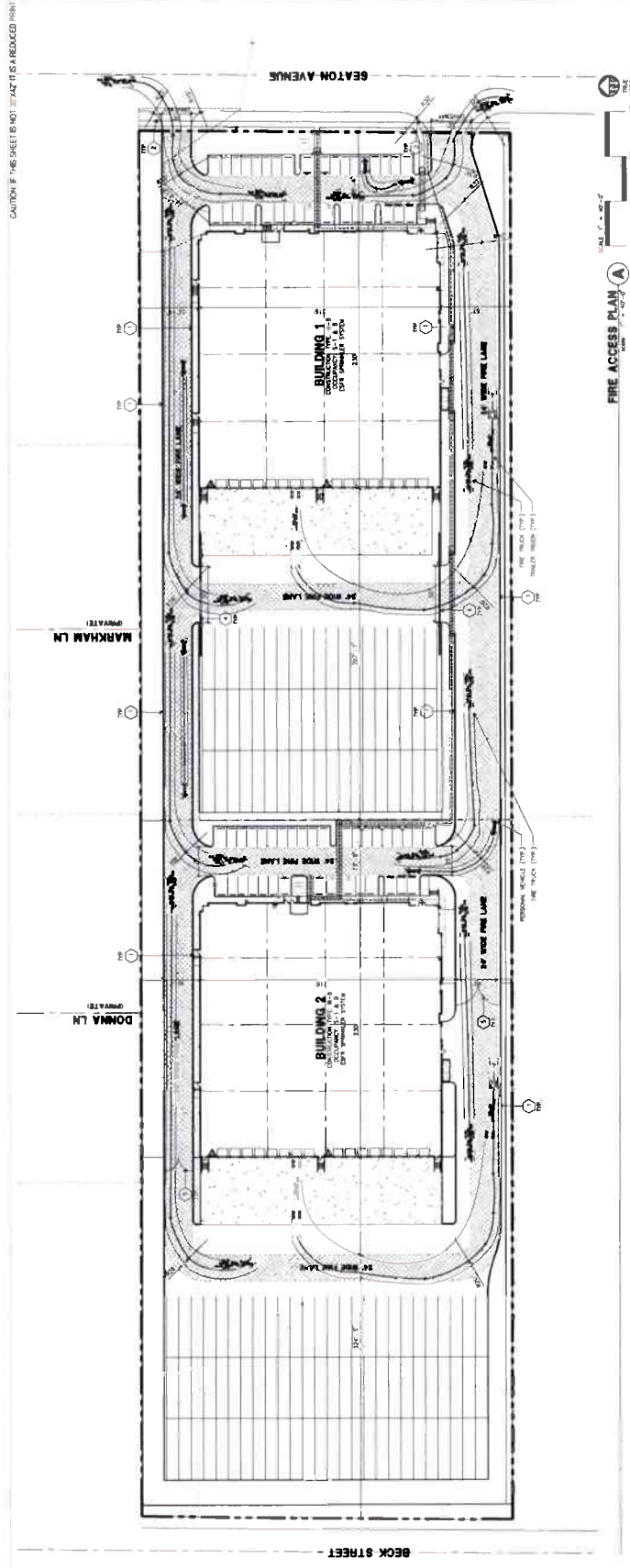


SECTION B-B  
1/15/11

NOTE: ALL ROOF JOISTS, MECHANICAL, ELECTRICAL SHALL BE COORDINATED WITH THE GENERAL CONTRACTOR PER TO A MINIMUM DISTANCE OF 1'-0" (SEE DET)



SECTION C-C  
1/15/11

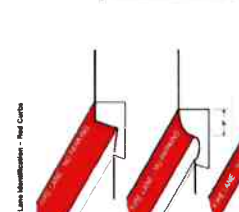
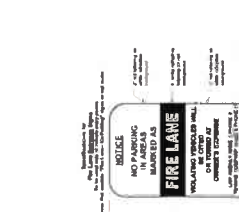
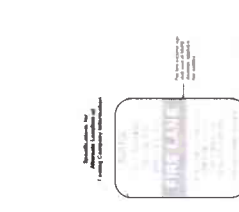
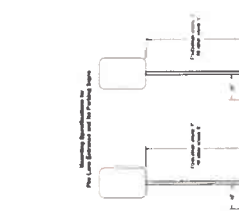
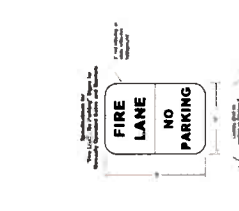
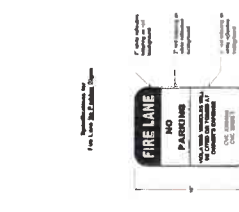
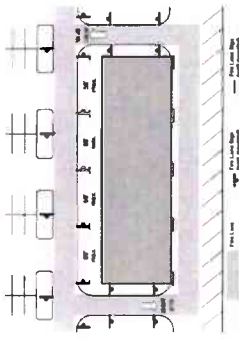


**FIRE KEYNOTES**

- FIRE LANE IDENTIFICATION - RED CURBS SEE DETAILS 9 & 10 (FORM-A-1)
- FIRE LANE ENTRANCE SIGN - SEE DETAILS 2 & 3 (FORM-A-1)
- FIRE LANE NO PARKING SIGN - SEE DETAILS 3 AND 4 (FORM-A-1)
- MARKED ROLLING CURB WITH HOOD INDICATOR
- MANUALLY OPERATED TRUCK CURB WITH HOOD INDICATOR
- 12" HIGH CONCRETE CURB AND SOURCE
- 12" HIGH CONCRETE CURB AND SOURCE



**CONCRETE PAVEMENT SECTIONS (B)**



**FIRE LANE IDENTIFICATION**

Signs are to be placed at the end of each fire lane. The sign should be placed at the end of the fire lane. The sign should be placed at the end of the fire lane. The sign should be placed at the end of the fire lane.

Signage shall be installed in accordance with the specifications. The sign shall be installed in accordance with the specifications. The sign shall be installed in accordance with the specifications.

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**FIRE LANE SIGN LOCATIONS**

**SIGNAGE DETAIL 5**

**SIGNAGE DETAIL 4**

**SIGNAGE DETAIL 3**

**SIGNAGE DETAIL 2**

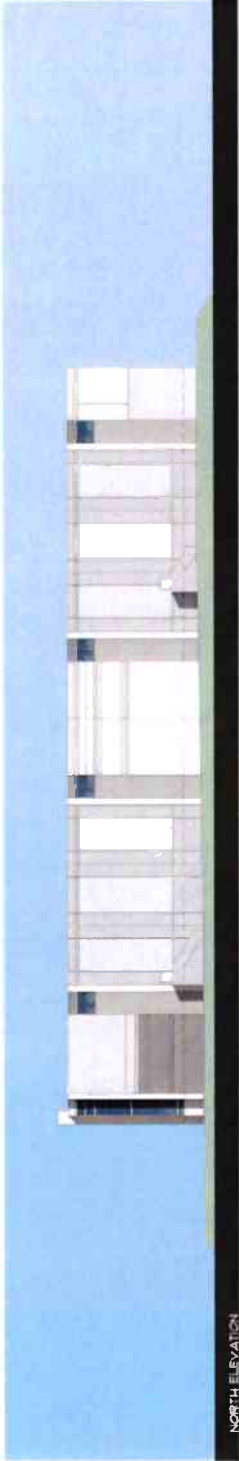
**SIGNAGE DETAIL 1**



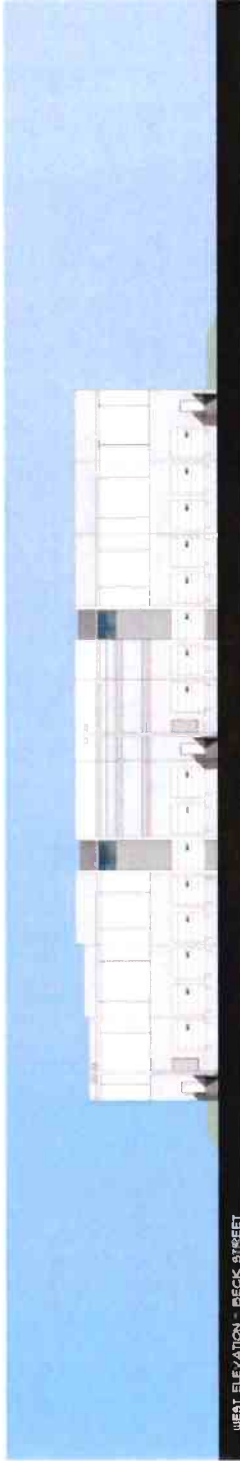




CASE: PPT10021  
DATE: 09/01/2021  
P: JAMES H. HARRIS



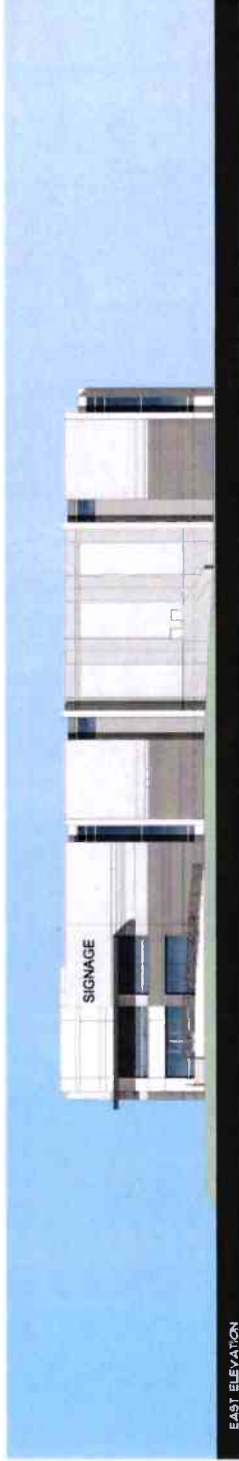
NORTH ELEVATION



WEST ELEVATION - BECK STREET



SOUTH ELEVATION



EAST ELEVATION



# Seaton Ave. & Perry St.

PERRIS, COUNTY OF RIVERSIDE, CA



CAUTION: IF THIS SHEET IS NOT 30"x42" IT IS A REDUCED PRINT

**HPA**  
ARCHITECTURE

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email: info@hparch.com

**OWITZ**

**DEDEAUX**  
ARCHITECTS

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Santa Monica, CA 90401  
Tel: (310) 314-8226

**Project:**  
SEATON AVE.  
&  
PERRY STREET  
BUILDING 1

COUNTY OF RIVERSIDE, CA

**Consultants:**

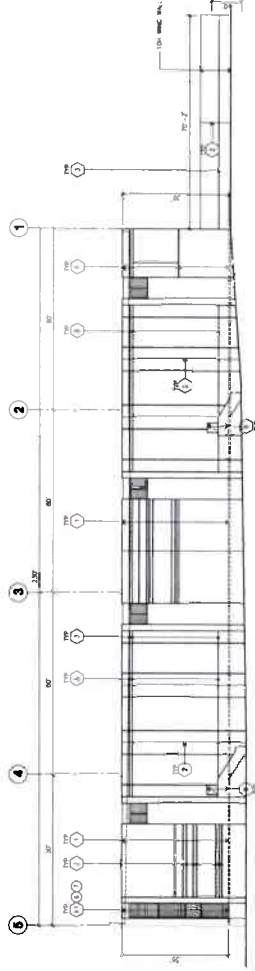
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FF:  HOK  
SOUNDING:  HOK

**Title:** ELEVATION

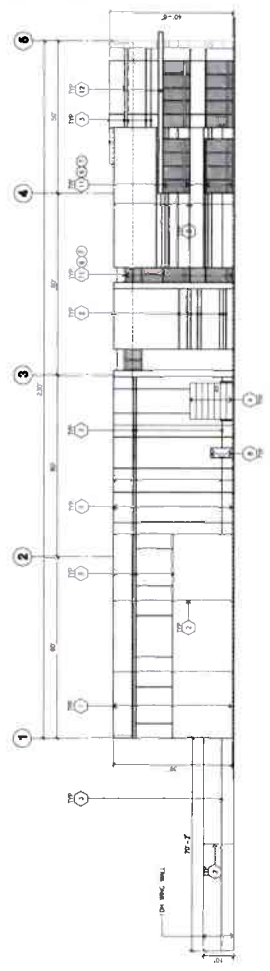
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Drawn by: JCT  
Date: 10/15/2021

Location:  
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2ND SUBMITTAL 07.09.2021  
3RD SUBMITTAL 09.09.2021

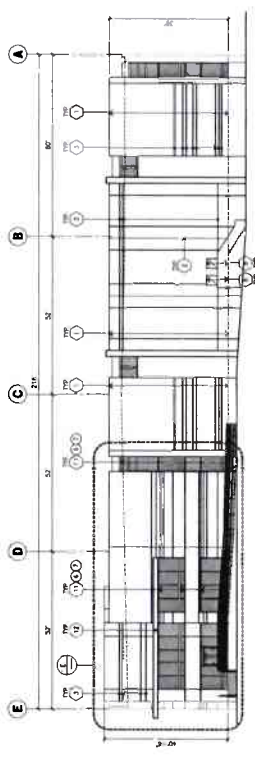
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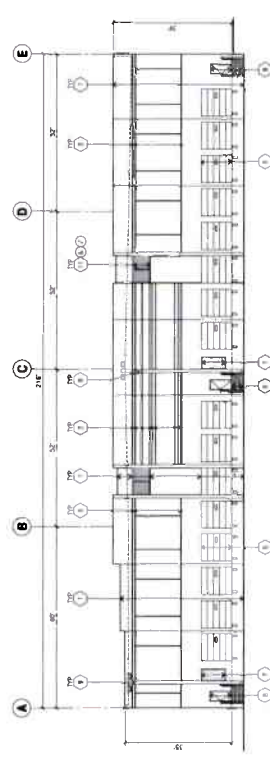
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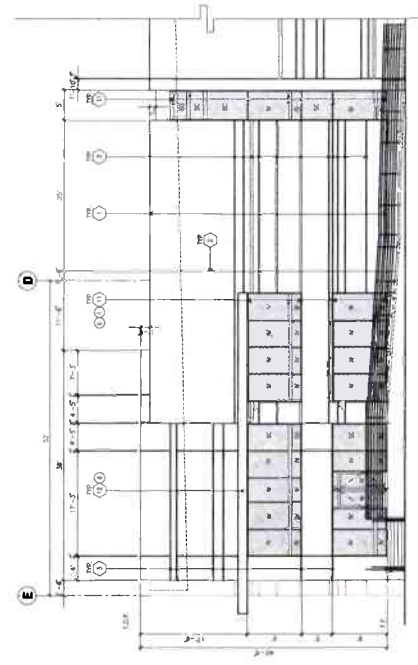
**SOUTH ELEVATION**



**EAST ELEVATION**



**WEST ELEVATION**



**ENLARGED EAST ELEVATION**

**GENERAL NOTES - ELEVATIONS**

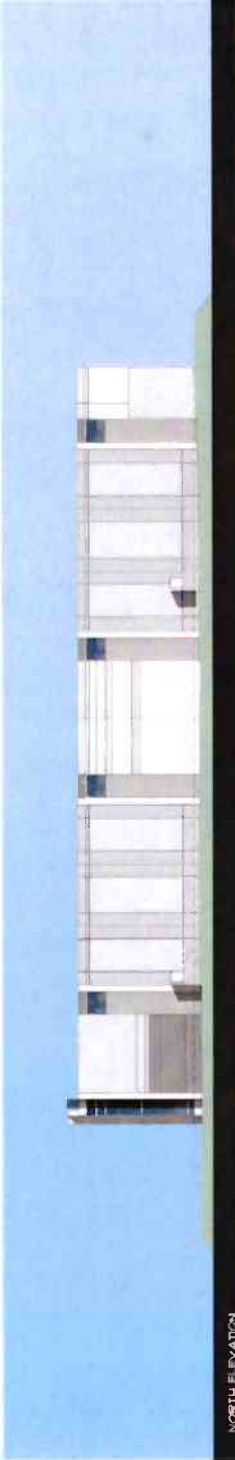
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3. ALL MATERIALS TO BE USED AS SHOWN ON THE DRAWINGS.
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**GLAZING LEGEND**

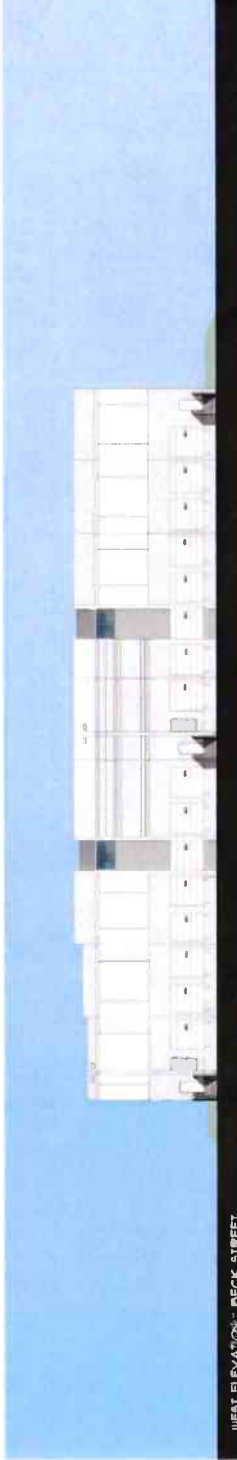
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- 3. CONCRETE IN-LIP PANEL: PAINT BRUSH SYSTEM, PAINT BRUSH SYSTEM, PAINT BRUSH SYSTEM
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**COLOR SCHEDULE - ELEVATIONS**

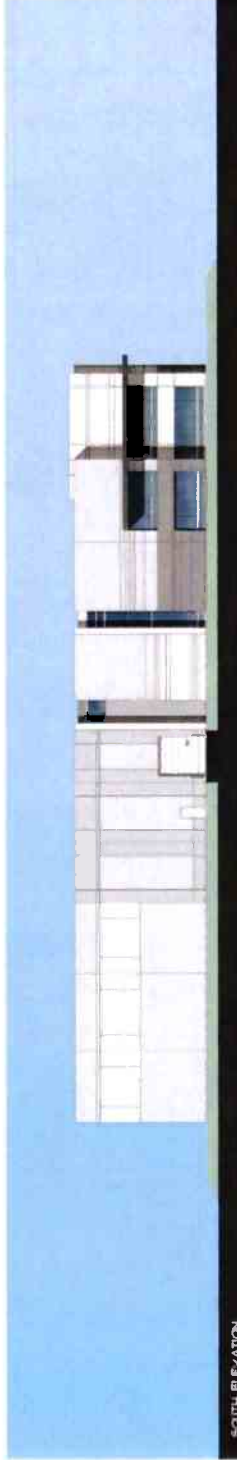
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- 15. CONCRETE IN-LIP PANEL: PAINT BRUSH SYSTEM, PAINT BRUSH SYSTEM, PAINT BRUSH SYSTEM
- 16. CONCRETE IN-LIP PANEL: PAINT BRUSH SYSTEM, PAINT BRUSH SYSTEM, PAINT BRUSH SYSTEM
- 17. CONCRETE IN-LIP PANEL: PAINT BRUSH SYSTEM, PAINT BRUSH SYSTEM, PAINT BRUSH SYSTEM
- 18. CONCRETE IN-LIP PANEL: PAINT BRUSH SYSTEM, PAINT BRUSH SYSTEM, PAINT BRUSH SYSTEM
- 19. CONCRETE IN-LIP PANEL: PAINT BRUSH SYSTEM, PAINT BRUSH SYSTEM, PAINT BRUSH SYSTEM
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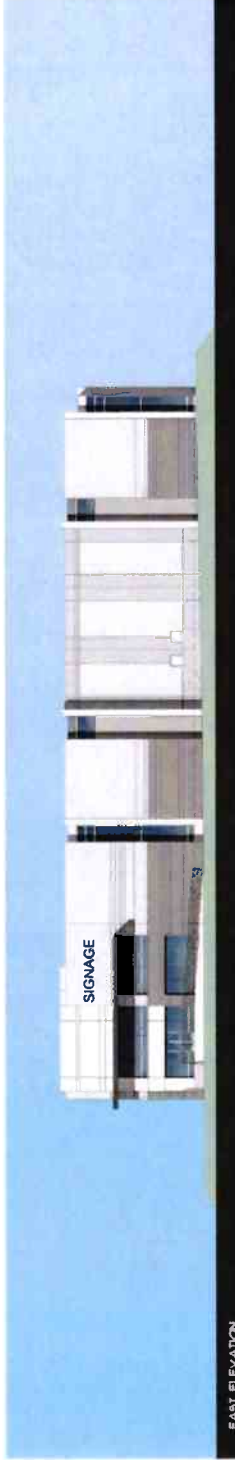
NORTH ELEVATION



WEST ELEVATION - BECK STREET



SOUTH ELEVATION



EAST ELEVATION



Job No. 20423/00

# Seaton Ave. & Perry St.

PERRIS, COUNTY OF RIVERSIDE, CA

CONCEPTUAL COLORED ELEVATIONS - BUILDING 2



09.01.2021

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**HPA**  
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FAX: 214-343-7701  
WWW.HPA-ARCHITECT.COM

OWNER:  
**DIDEAUX**  
CORPORATION

123 Wilshire Blvd Suite 250  
Santa Monica, CA 90401  
PH: 310-841-8226

Project:  
**SEATON AVE.  
&  
PERRY STREET  
BUILDING 2**

COUNTY OF REVERESE, CA

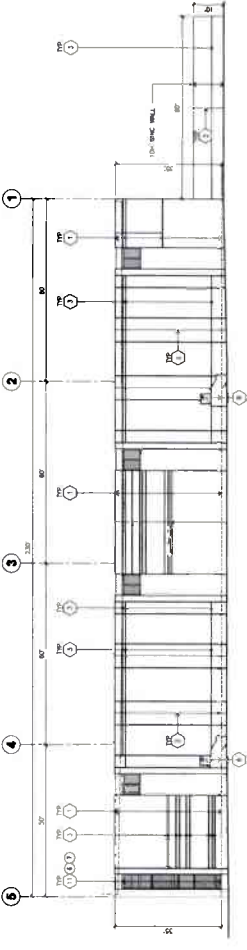
Consultants:  
CITY OF  
ENGINEER & ARCHITECTS  
MECHANICAL  
ELECTRICAL  
PLUMBING  
LANDSCAPE  
ARCHITECTURE  
INTERIOR ARCHITECTURE  
SOUND/VIDEO

Title: ELEVATION

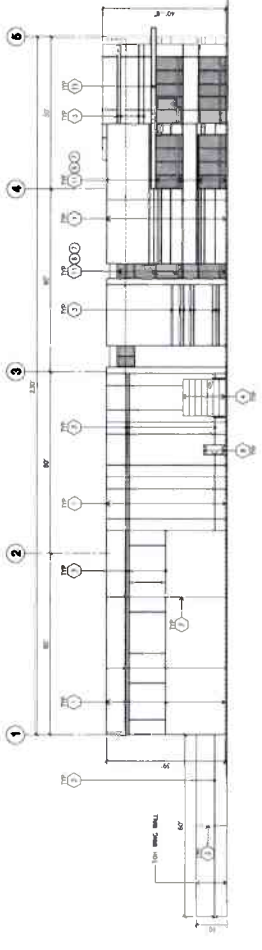
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Drawn by: JKT  
Date: 01/15/2011

Revision:  
01/15/2011  
20423 SUBMITTAL 01/15/2011  
01/15/2011  
20423 SUBMITTAL 01/15/2011

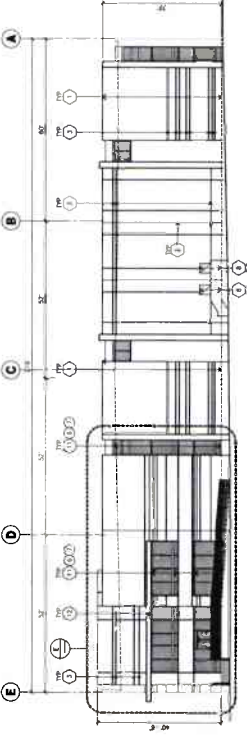
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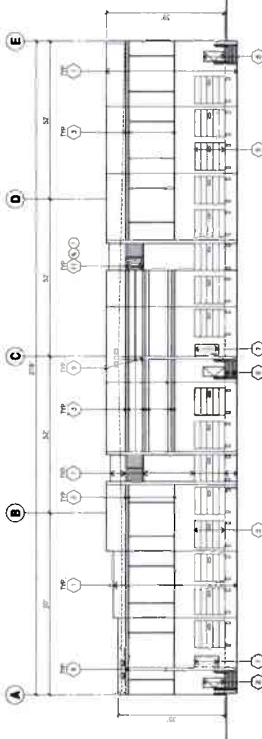
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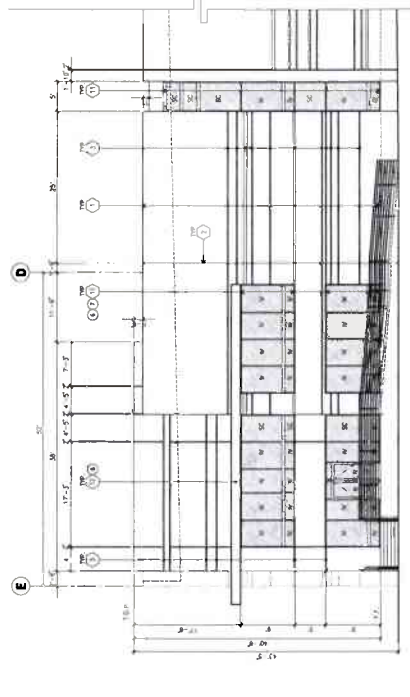
**SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**EAST ELEVATION**  
SCALE: 1/8" = 1'-0"



**WEST ELEVATION**  
SCALE: 1/8" = 1'-0"



**ENLARGED EAST ELEVATION**  
SCALE: 1/4" = 1'-0"

**GENERAL NOTES - ELEVATIONS**

1. ALL ELEVATION COORDINATES TO BE SHOWN IN FEET AND INCHES.
2. ALL DIMENSIONS TO FACE UNLESS NOTED OTHERWISE.
3. ALL DIMENSIONS TO FACE UNLESS NOTED OTHERWISE.
4. ALL DIMENSIONS TO FACE UNLESS NOTED OTHERWISE.
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18. ALL DIMENSIONS TO FACE UNLESS NOTED OTHERWISE.
19. ALL DIMENSIONS TO FACE UNLESS NOTED OTHERWISE.
20. ALL DIMENSIONS TO FACE UNLESS NOTED OTHERWISE.

**GLAZING LEGEND**

- 1. CONCRETE TILT-UP PANEL
- 2. CONCRETE TILT-UP PANEL
- 3. CONCRETE TILT-UP PANEL
- 4. CONCRETE TILT-UP PANEL
- 5. CONCRETE TILT-UP PANEL
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- 19. CONCRETE TILT-UP PANEL
- 20. CONCRETE TILT-UP PANEL

**COLOR SCHEDULE - ELEVATIONS**

- 1. CONCRETE TILT-UP PANEL
- 2. CONCRETE TILT-UP PANEL
- 3. CONCRETE TILT-UP PANEL
- 4. CONCRETE TILT-UP PANEL
- 5. CONCRETE TILT-UP PANEL
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- 18. CONCRETE TILT-UP PANEL
- 19. CONCRETE TILT-UP PANEL
- 20. CONCRETE TILT-UP PANEL

1. ALL DIMENSIONS TO FACE UNLESS NOTED OTHERWISE.

2. ALL DIMENSIONS TO FACE UNLESS NOTED OTHERWISE.

3. ALL DIMENSIONS TO FACE UNLESS NOTED OTHERWISE.

4. ALL DIMENSIONS TO FACE UNLESS NOTED OTHERWISE.

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18. ALL DIMENSIONS TO FACE UNLESS NOTED OTHERWISE.

19. ALL DIMENSIONS TO FACE UNLESS NOTED OTHERWISE.

20. ALL DIMENSIONS TO FACE UNLESS NOTED OTHERWISE.

CAUTION IF THIS SHEET IS NOT APPROVED BY A REGISTERED PROFESSIONAL ENGINEER

HPA  
Architecture

18251 Sandbar Avenue, Ste #110  
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Tel: 619-451-7772  
Tel: 619-451-1845  
Email: info@hpaarch.com

OWNER:

DEDEUX  
CONSULTANTS

100 Marina Blvd Suite 250  
Santa Monica, CA 90401  
Tel: (310) 381-4228

Project:  
**SEATON AVE.  
&  
PERRY STREET**

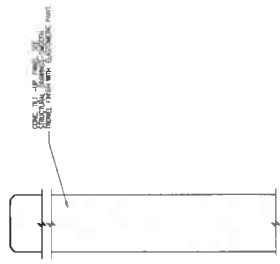
COUNTY OF RIVERSIDE, CA

Consultants:

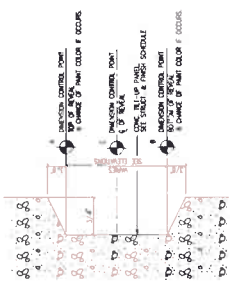
- Civil
- Structural
- Electrical
- Landscape
- Site Services

144 SITE DETAILS

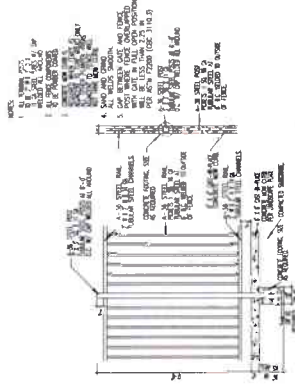
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Drawn by	KT
Date	10/15/2021
Revision	
DESIGNER	KT
PROJECT MANAGER	KT
DATE	10/15/2021
SCALE	AS SHOWN



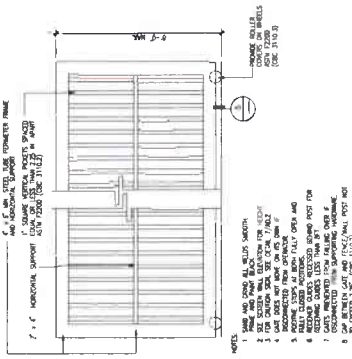
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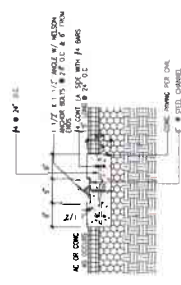
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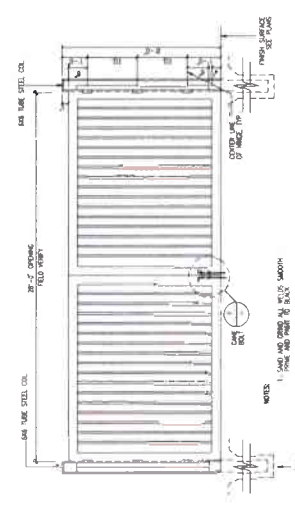
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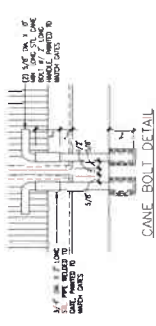
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METAL GATE



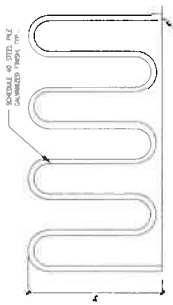
5  
GATE TRACK @ DRIVE  
SINGLE SLIDING



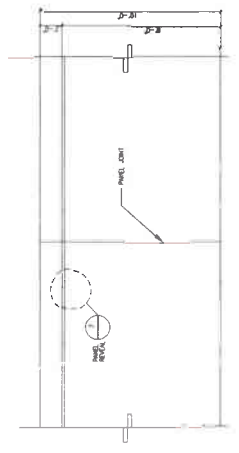
6  
METAL SWING GATE



7  
METAL SWING GATE LATCHES



8  
BIKE RACK DETAIL



9  
TYP. SCREEN/WING WALL ELEVATION

Sheet: PLOT PLAN NO. 210022  
**DAB-A4.1**



NORTH ELEVATION

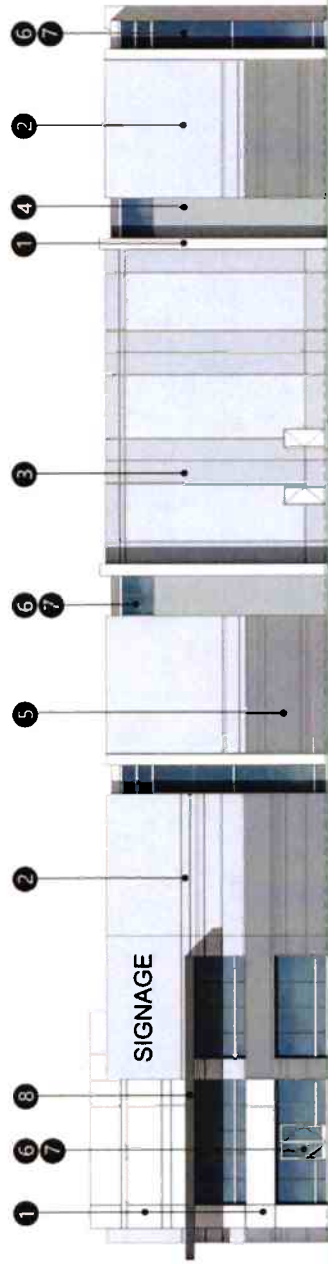


SOUTH ELEVATION



EAST ELEVATION

- 1 Sherwin Williams SW 7005 Pure White
- 2 Sherwin Williams SW 7071 Gray Screen
- 3 Sherwin Williams SW 7072 Online
- 4 Sherwin Williams SW 7073 Network Gray
- 5 Sherwin Williams SW 7074 Software
- 6 Blue Reflective GLAZING
- 7 Clear Anodized MULLIONS
- 8 Sherwin Williams Acrylic Latex Systems High Gloss/High performance in color: SW 7076 Cyberspace @ Metal CANOPY



ENLARGED VIEW OF EAST ELEVATION



# Seaton Ave. & Perry St.

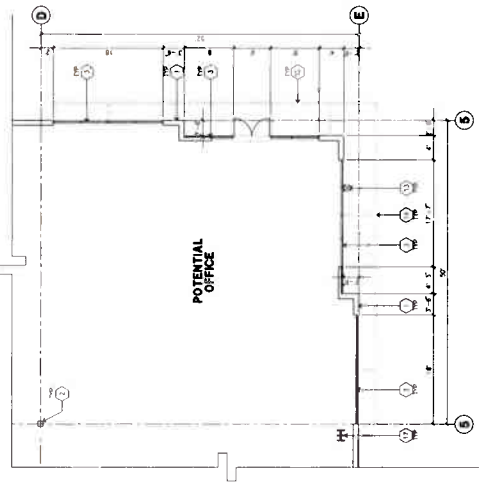
PERRIS, COUNTY OF RIVERSIDE, CA



CAUTION: IF THE SHEET IS NOT 30" X 42" IT IS A REDUCED PRINT



CASE: PPT210022  
 EXHIBIT: C  
 DATE: 3/23/2022  
 PLANNER: M.Braza



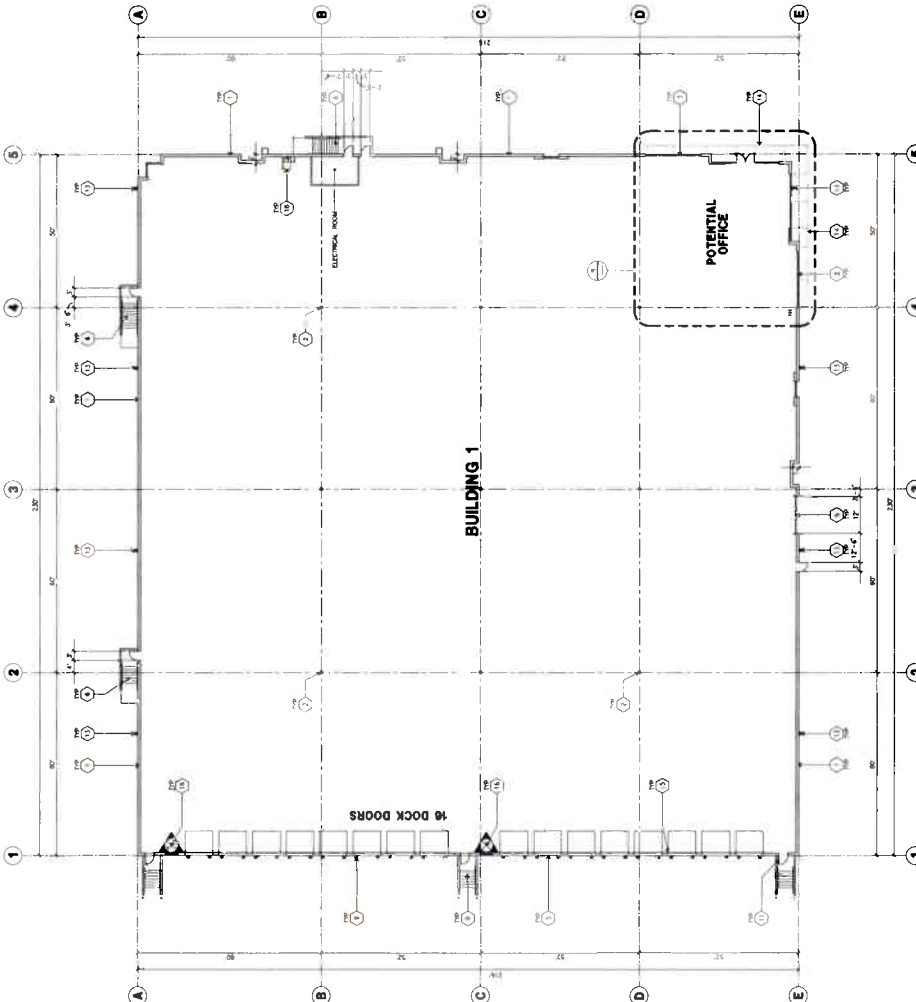
ENLARGED FLOOR PLAN (B)  
 SCALE: 1/8" = 1'-0"

**KEYNOTES - FLOOR PLAN**

- 1. CONCRETE TYP. OF PANEL.
- 2. STRUCTURAL STEEL COLUMN.
- 3. 1/2" DIA. CONCRETE WALL.
- 4. 1/2" DIA. CONCRETE WALL.
- 5. 1/2" DIA. CONCRETE WALL.
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- 98. 1/2" DIA. CONCRETE WALL.
- 99. 1/2" DIA. CONCRETE WALL.
- 100. 1/2" DIA. CONCRETE WALL.

**GENERAL NOTES - FLOOR PLAN**

- 1. THIS BUILDING IS DESIGNED FOR HIGH PILE STORAGE WITH FIRE ACCESS MAIN FOR ANY MODIFICATION TO THIS PLAN.
- 2. THE FIRE LOCATIONS SHALL BE APPROVED FOR THE DEPARTMENT OF FIRE AND CALIFORNIA FIRE MARSHAL'S OFFICE.
- 3. ALL WALLS SHALL BE CONCRETE WALLS UNLESS NOTED OTHERWISE.
- 4. ALL WALLS SHALL BE 12" THICK UNLESS NOTED OTHERWISE.
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OVERALL FLOOR PLAN (A)  
 SCALE: 1/8" = 1'-0"

**HPA architecture**  
 100A, INC.  
 3801 Garden View Ave., Ste. #100  
 San Diego, CA 92123  
 Tel: 619-444-1170  
 Fax: 619-444-1170  
 Email: info@hpaarch.com

Owner:  
**DEDEALX**  
 110 Wilshire Blvd Suite 250  
 Santa Monica, CA 90401  
 Tel: (310) 841-6228

Project:  
**SEATON AVE. & PERRY STREET**  
**BUILDING 1**  
 COUNTY OF RIVERSIDE, CA

Consultants:  
 CIVIL: COOPER & ASSOCIATES  
 STRUCTURAL: COOPER & ASSOCIATES  
 MECHANICAL: COOPER & ASSOCIATES  
 ELECTRICAL: COOPER & ASSOCIATES  
 LANDSCAPE: COOPER & ASSOCIATES  
 9433 BOYER

100 OVERALL FLOOR PLAN  
 Project Number: 20202  
 Drawn By: JKT  
 Date: 10/15/2021  
 Revision:  
 SET SUBMITTAL - 04/12/2022  
 PREL SUBMITTAL - 03/28/2022  
 PREL SUBMITTAL - 02/08/2021

Sheet: PLOT PLAN NO. 210022  
**1-DAB-A2.1**





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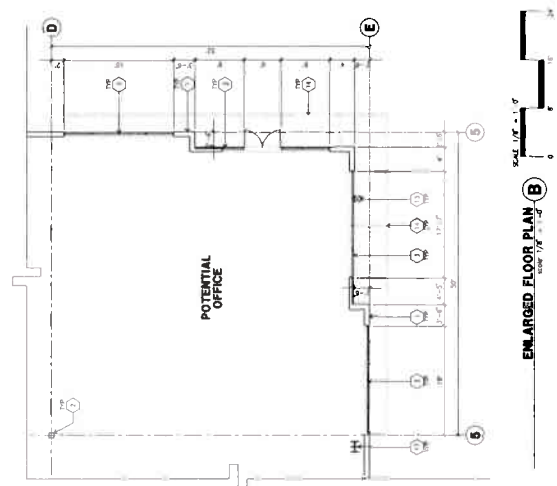
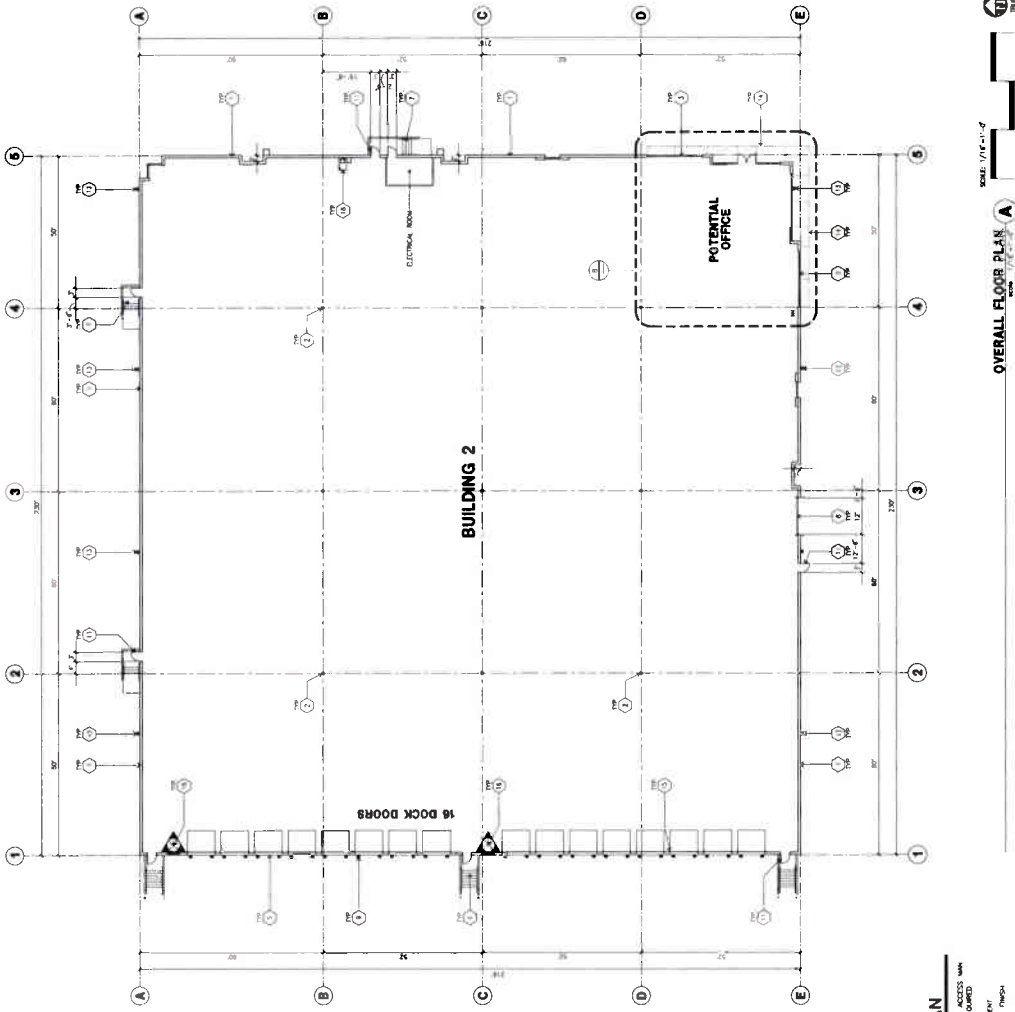
HPA  
 architecture  
 707, INC.  
 1801 Marinway Avenue, # 100  
 San Francisco, CA 94115  
 Tel: 415-463-1177  
 Fax: 415-463-1178  
 www.hparchitecture.com

ONTRAC  
 DEDEAUX  
 100 Marina Bay Suite 250  
 San Francisco, CA 94111  
 Tel: (415) 391-5225

Project:  
 SEATON AVE.  
 &  
 PERRY STREET  
 BUILDING 2  
 COUNTY OF RIVERSIDE CA

Consultants:  
 CIVIL  
 STRUCTURAL  
 MECHANICAL  
 ELECTRICAL  
 LANDSCAPE  
 INTERIORS  
 VERTICAL TRANSPORT  
 SPECIALTY CONTRACTORS

Title: OVERALL FLOOR PLAN  
 Project No.: 2040  
 Drawn By: JKT  
 Date: 10/15/2021  
 Revision:  
 01/12/2021  
 07/08/2021  
 09/08/2021  
 SHEET NO.: 2-DAB-A2.1  
 SHEET TITLE: FLOOR PLAN NO. 210022



**GENERAL NOTES - FLOOR PLAN**

- THE BUILDING IS DESIGNED FOR 100% USE OF CONCRETE WITH THE ACCESS WITH DOORS AT THE MAIN ENTRANCE AND A SECONDARY ENTRANCE WILL BE PROVIDED.
- THE BUILDING FLOOR SLAB IS SLATED. SEE 'C' DRAWINGS FOR FRESH SURFACE FINISHES.
- WHERE SHOWN INTERIOR CONCRETE WALLS ARE PAINTED WHITE. COLUMNS ARE TO BE PAINTED WHITE TO MATCH. ALL WALLS TO BE FINISHED TO RECEIVE FINISHES AS SHOWN.
- ALL CONCRETE TO BE TO THE FACE OF CONCRETE PANEL. WALL, CURBLINE, OR FINISH LINE AS SHOWN. SEE 'C' DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES.
- SEE 'C' DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES FOR POWER, GAS, AND SANITARY SERVICES.
- CONTRACTOR TO PROTECT AND KEEP THE FLOOR SLAB CLEAN. ALL EQUIPMENT TO BE REMOVED FROM THE FLOOR SLAB AS SOON AS POSSIBLE.
- ALL EXISTING DOORS TO BE MAINTAINED TO MATCH EXISTING DOOR FINISHES.
- DOOR SCHEDULES AND COMMENTS: MATERIAL SHALL NOT BE USED UNLESS SPECIFICALLY NOTED OTHERWISE.
- DOOR SCHEDULES FOR DOOR SHALL BE IDENTIFIED BY A NOTICE DETAIL SOON AS THE CONTRACTOR HAS BEEN ADVISED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF THE DOOR TO THE CENTER OF THE DOOR.
- SEE 'C' DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES.
- ALL DOOR MOUNTED MATERIALS SHALL BE FULLY SCHEDULED FROM THE INTERIOR. SEE 'C' DRAWINGS FOR DETAILS.

**KETNOTES - FLOOR PLAN**

- CONCRETE TYPICAL PANEL
- STRUCTURAL STEEL CORNER BRACKET
- FOR WALL COLOR AND LOCATIONS
- NOT USED
- 3" x 4" x 10' TRUSS ROOF SECTION, CH, STANDARD GANGE
- EXTERIOR CONCRETE FINISH
- 3" x 12" x 12" FINISH CONCRETE EXTERIOR LANDING AND FINISH AT ALL EXTERIOR WALLS. SEE 'C' DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES.
- 12" x 14" JAMB TRUSS SECTION, CH, STANDARD GANGE
- DOOR DOOR BUMPER
- CONCRETE FILLER GROUND POST, 6" DIA. U.S.G., 42'4"
- 5000 PSI CONCRETE
- EXTERIOR DOWNPOUT WITH OVERHUNG SECTION
- PAINTED METAL CANOPY
- 2" GROUND
- INTERIOR BILE BACK
- DOOR ACCESS LANDING

CAUTION: THIS SHEET IS NOT 30% SCALE. IT IS A REDUCED PRINT.



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Irvine, CA 92614  
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Santa Monica, CA 90401  
Tel: (310) 394-8228

Project:  
SEATON AVE.  
&  
PERRY STREET  
BUILDING 2  
COUNTY OF RIVERSIDE, CA

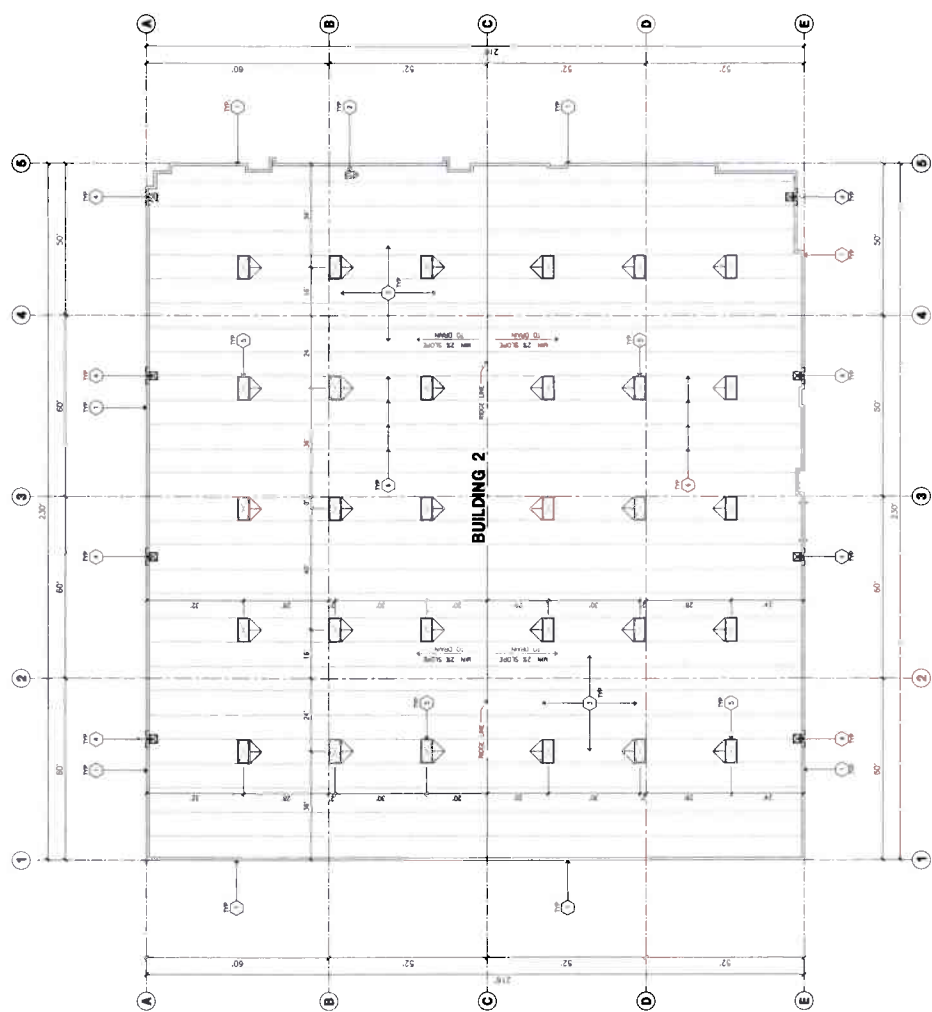
Consultants:  
CIVIL, Structural & Mechanical  
MECHANICAL  
ELECTRICAL  
LANDSCAPE  
PRE-DESIGN  
SUSCEPTIBLE

The OVERALL ROOF PLAN

Project Number: 20420  
Drawn by: KT  
Date: 10/15/2021  
Revision:

10/15/2021  
20420 SUBMITTAL  
20420 SUBMITTAL

Sheet: R001 PLAN NO. 210022  
2-DAB-A2.10

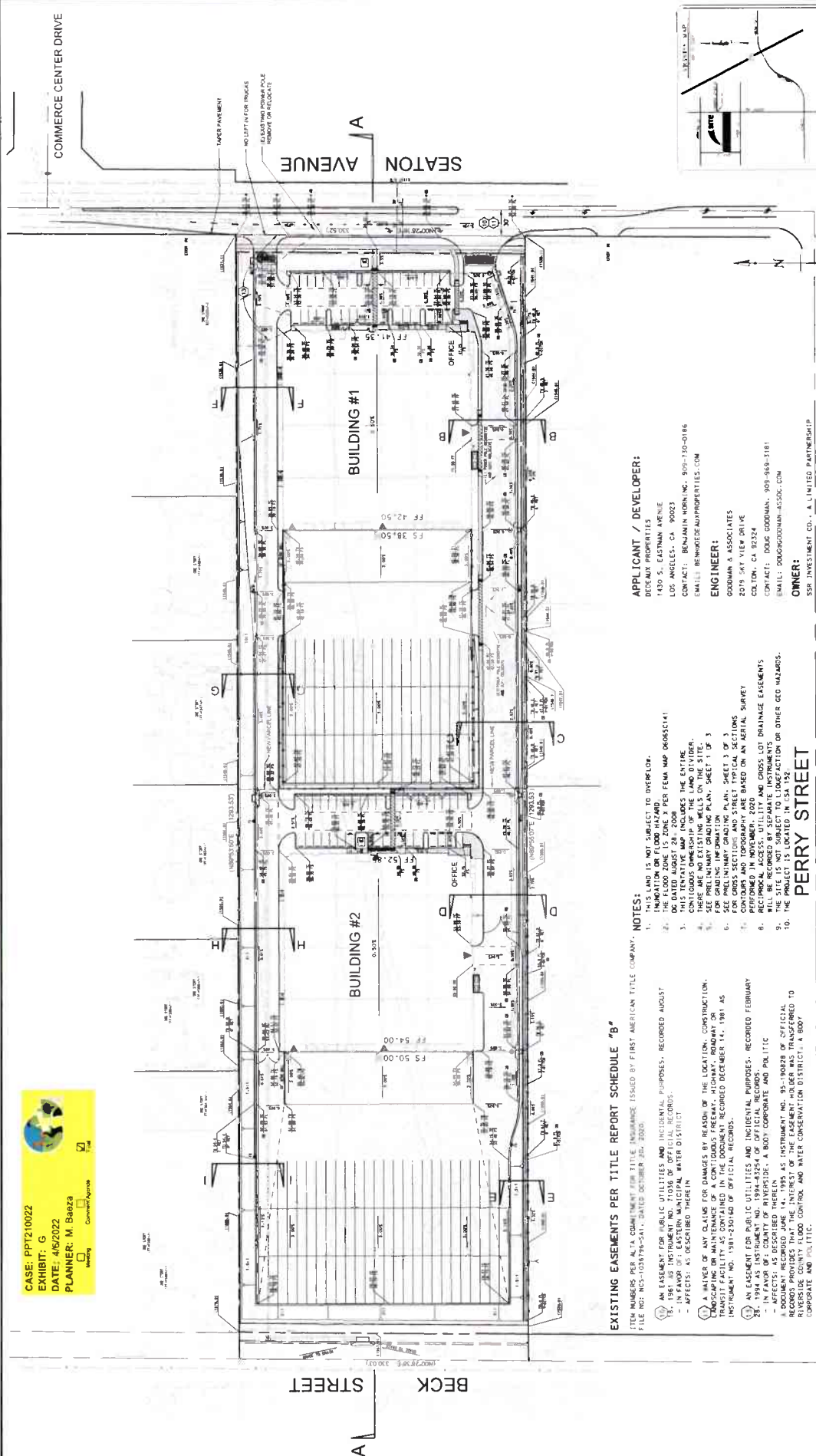


OVERALL ROOF PLAN

- ROOF PLAN KEYNOTES
- 1. CONCRETE SLAB
  - 2. ROOF WITH
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- ROOF PLAN GENERAL NOTES
1. ALL DIMENSIONS ARE TO FACE OF CONCRETE WALL, UNLESS OTHERWISE NOTED.
  2. ALL ROOF AREAS ARE TO BE CONCRETE SLAB WITH 4" MIN. THICKNESS.
  3. ALL ROOF AREAS ARE TO BE FINISHED WITH 2" MIN. THICKNESS OF CONCRETE SLAB.
  4. ALL ROOF AREAS ARE TO BE FINISHED WITH 2" MIN. THICKNESS OF CONCRETE SLAB.
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  10. ALL ROOF AREAS ARE TO BE FINISHED WITH 2" MIN. THICKNESS OF CONCRETE SLAB.
  11. ALL ROOF AREAS ARE TO BE FINISHED WITH 2" MIN. THICKNESS OF CONCRETE SLAB.
  12. ALL ROOF AREAS ARE TO BE FINISHED WITH 2" MIN. THICKNESS OF CONCRETE SLAB.
  13. ALL ROOF AREAS ARE TO BE FINISHED WITH 2" MIN. THICKNESS OF CONCRETE SLAB.
  14. ALL ROOF AREAS ARE TO BE FINISHED WITH 2" MIN. THICKNESS OF CONCRETE SLAB.
  15. ALL ROOF AREAS ARE TO BE FINISHED WITH 2" MIN. THICKNESS OF CONCRETE SLAB.
  16. ALL ROOF AREAS ARE TO BE FINISHED WITH 2" MIN. THICKNESS OF CONCRETE SLAB.
  17. ALL ROOF AREAS ARE TO BE FINISHED WITH 2" MIN. THICKNESS OF CONCRETE SLAB.

CASE: PPT1210022  
 EXHIBIT: G  
 DATE: 4/6/2022  
 PLANNER: M. Baoza



**EXISTING EASEMENTS PER TITLE REPORT SCHEDULE "B"**

- ITEM NUMBERS PER ALTA COMMITMENT FOR TITLE INSURANCE ISSUED BY FIRST AMERICAN TITLE COMPANY. NOTES:
1. THIS LAND IS NOT SUBJECT TO DIVERGENCE, INUNDATION OR FLOOD HAZARD.
  2. THE FLOOD ZONE IS ZONE 4 PER FEMA MAP DROUSC141.
  3. THIS TENTATIVE MAP INCLUDES THE ENTIRE CONTOUR OWNERSHIP OF THE LAND DIVIDER.
  4. SEE PRELIMINARY GRADING PLAN, SHEET 1 OF 3 FOR GRADING INFORMATION.
  5. SEE PRELIMINARY GRADING PLAN, SHEETS 2 OF 3 FOR GRADING INFORMATION.
  6. CONTOURS AND TOPOGRAPHY ARE BASED ON AN AERIAL SURVEY PERFORMED IN NOVEMBER, 2020.
  7. CONTOURS WILL BE RECORDED BY SEPARATE INSTRUMENTS.
  8. THE SITE IS NOT SUBJECT TO LIQUIDATION OR OTHER GEO HAZARDS.
  9. THE SITE IS LOCATED IN USA 1922.
  10. THE SITE IS LOCATED IN USA 1922.

**APPLICANT / DEVELOPER:**

DESIGN PROPERTIES  
 1430 S. EASTMAN AVENUE  
 LOS ANGELES, CA 90023  
 CONTACT: BENJAMIN MORNING, 909-710-0186  
 EMAIL: BENJAMIN@DESIGNPROPERTIES.COM

**ENGINEER:**

GOODMAN & ASSOCIATES  
 2075 SKYVIEW DRIVE  
 COLTON, CA 92324  
 CONTACT: DOUG GOODMAN, 909-969-3181  
 EMAIL: DOUGGOODMAN@GASOC.COM

**OWNER:**

SEA INVESTMENT CO., A LIMITED PARTNERSHIP

**PRELIMINARY EARTHWORK ESTIMATE**

CUT - 17,400 CY  
 FILL - 16,540 CY  
 THESE ARE RAR QUANTITIES WITH NO ADJUSTMENTS FOR SUBSIDENCE, SHRINKAGE, OR OTHER REMEDIAL GRADING OPERATIONS.  
 EXPORT LOCATION TO BE DETERMINED AT A LOCATION NO FURTHER THAN 20 MILES FROM THE SITE.

**LEGEND**

- FF - FINISH FLOOR
- TC - TOP OF CURB
- FS - FINISH SURFACE
- FL - FLOW LINE
- PL - PROPERTY LINE
- GB - GRADE BREAK
- TW - TOP OF WALL
- FH - PROPOSED FIRE HYDRANT
- XX.XX - EXISTING ELEVATION (AOD 1988)
- XX.XX - DESIGN ELEVATION (AOD 1988)
- PC - PCC SIDEWALK
- PC - PCC V-01TC

**NOTES:**

1. SEE ARCHITECT'S SITE PLAN FOR DIMENSIONS AND SITE IDENTITIES
2. SEE TENTATIVE PARCEL MAP FOR EXISTING PARCEL DIMENSIONS, EASEMENTS, ENCROACHMENTS, AND PROPOSED STREET MODIFICATIONS
3. STREET GRADES AND ELEVATIONS SHOWN WITH AN "A" ARE PRELIMINARY

**SHEET INDEX**

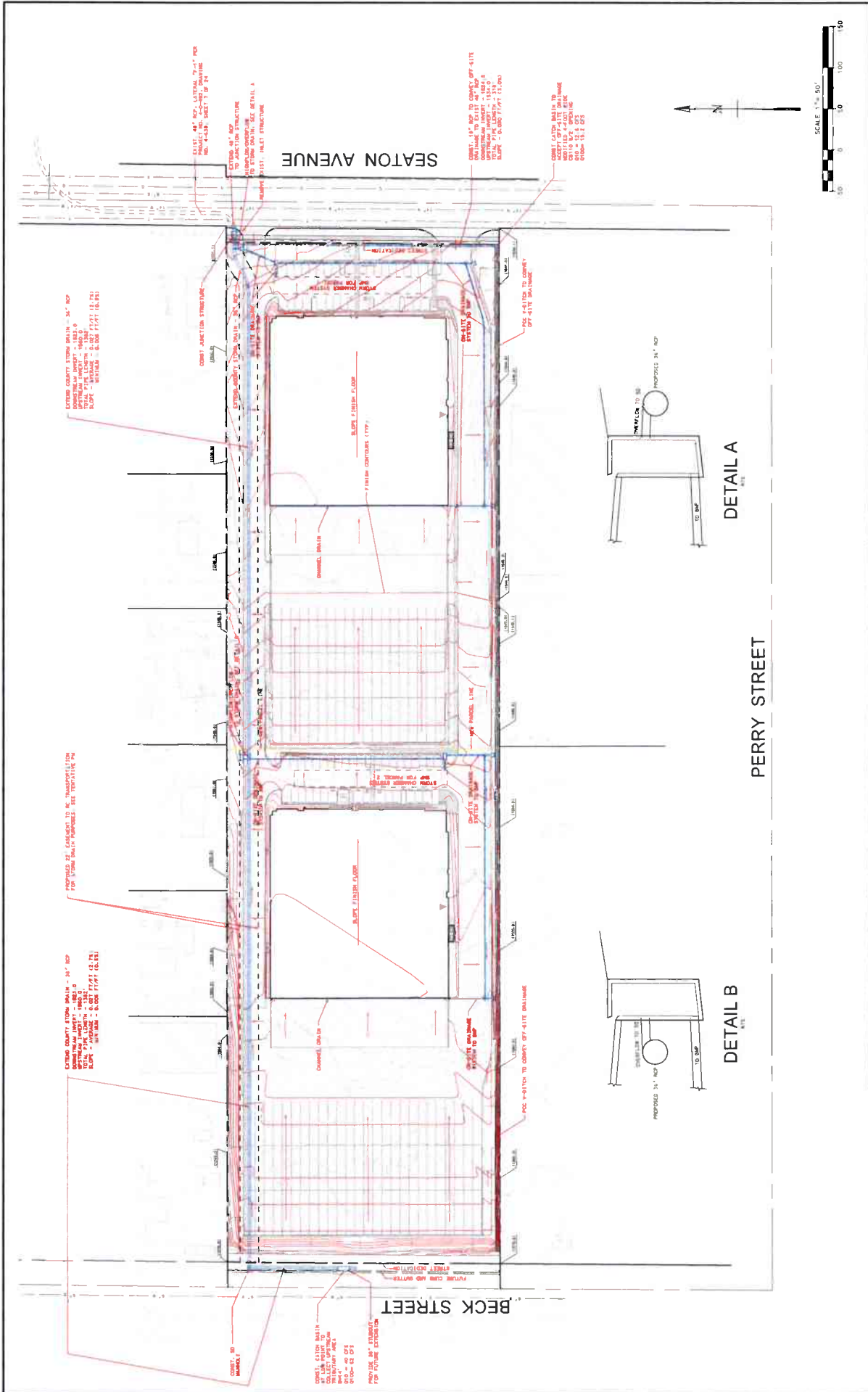
- SHEET 1 - PRELIMINARY GRADING PLAN
- SHEET 2 - PRELIMINARY GRADING/DRAINAGE PLAN
- SHEET 3 - PRELIMINARY GRADING PLAN - SECTIONS



**Goodman & Associates**  
 2075 SKYVIEW DRIVE  
 COLTON, CA 92324  
 (909) 969-3181  
 DOUGLAS L. GOODMAN  
 PCE 50922 3-31-2022

COUNTY OF RIVERSIDE, PERRIS AREA  
 PRELIMINARY GRADING PLAN  
 PREPARED FOR DEBEAUX PROPERTIES  
 SEATON AVENUE AND N/O PERRY STREET  
 PPT1210022  
 PERRIS, CA  
 APR 314-09-1005

SCALE 1" = 50'  
 DATE: 4/6/2022  
 DRAWN BY: M. Baoza  
 CHECKED BY: M. Baoza  
 SHEET NO. 1 OF 3



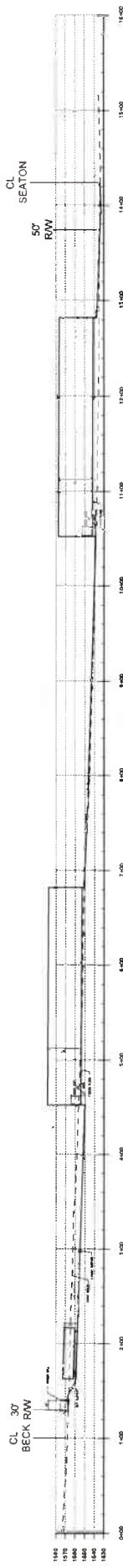
COUNTY OF RIVERSIDE PRELIMINARY GRADING/DRAINAGE PLAN PREPARED FOR DEBEAUX PROPERTIES SEATON AVENUE AND NO PERRY STREET PERRIS, CALIFORNIA APN 314-09-006	
BENCHMARK: RIV CO B IM 600-40-88 RESET 1988 ALUMINUM DISC IN CONC 7' NLY OF VALVERDE AND EAST SIDE OF RR & 1900 NLY OF CAJALCO EXPRESSWAY ELEVATION 1505.97	
SHEET NO. 12 OF 12	DATE
GARDNER & ASSOCIATES CIVIL ENGINEERS 1000 S. CALIFORNIA P.O. BOX 231322 RIVERSIDE, CALIFORNIA 92502 (951) 524-2775	

SCALE 1" = 50'

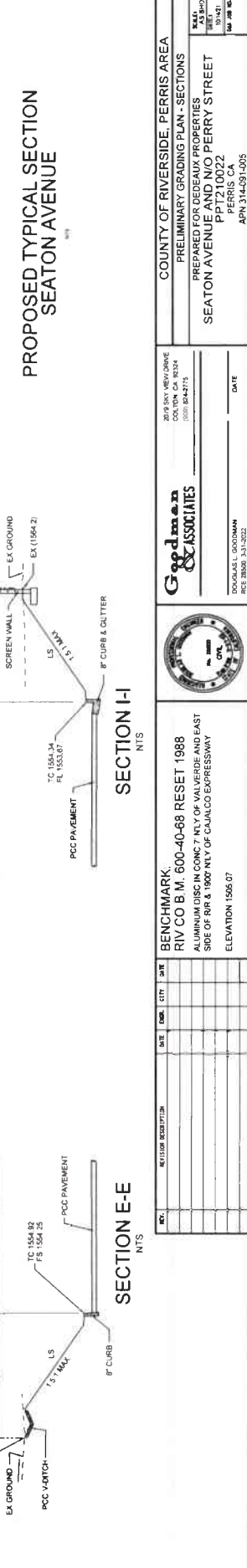
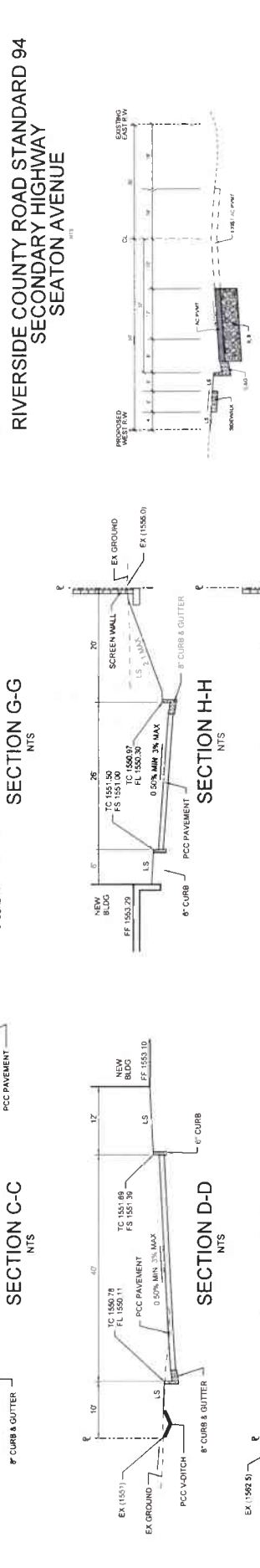
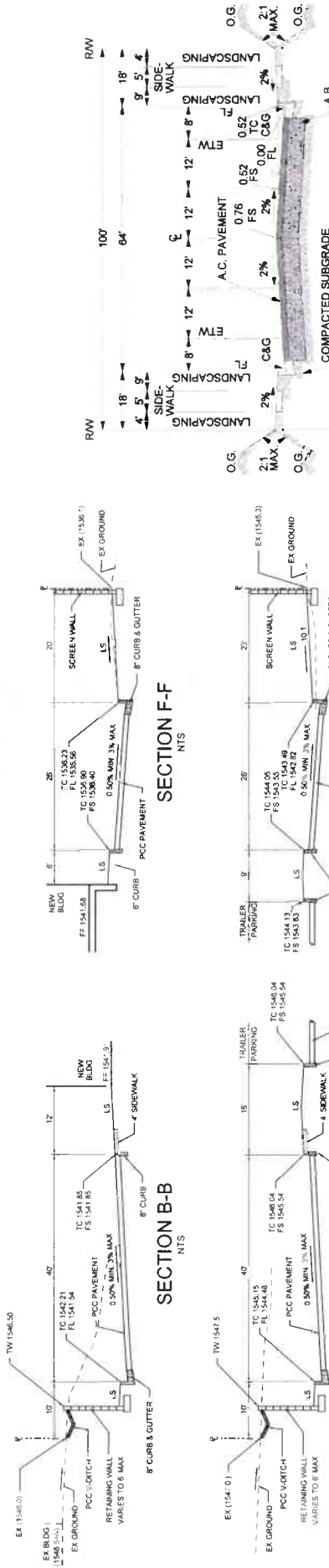
0 50 100 150

PROPOSED 34" RCP  
 TO BOP

PROPOSED 34" RCP  
 TO BOP



**SECTION A-A**  
SCALE: 1" = 50' (HORI. AND VERT.)



**PROPOSED TYPICAL SECTION  
SEATON AVENUE**

**RIVERSIDE COUNTY ROAD STANDARD 94  
SECONDARY HIGHWAY  
SEATON AVENUE**

2019 SAN JUAN DRIVE  
COLTON, CA 92324  
(925) 844-8775

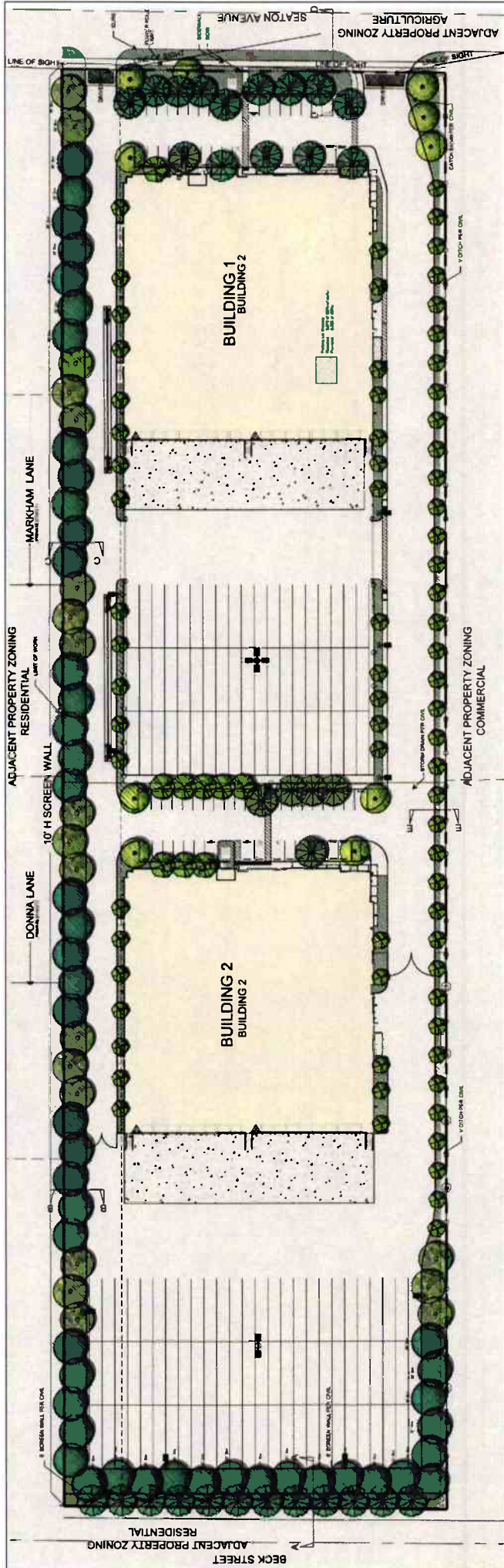


**Goodman & Associates**  
DOUGLAS L. GOODMAN  
PCE 44822, 3.11.2022

COUNTY OF RIVERSIDE, PERRIS AREA  
PRELIMINARY GRADING PLAN - SECTIONS  
PREPARED FOR GREASY PROPERTIES  
SEATON AVENUE AND N/O PERRY STREET  
PPT210022  
PERRIS, CA  
APN 314-091-005

REV.	DATE	DESCRIPTION	DATE	BY	CHK

**BENCHMARK:**  
RIV CO B.M. 600-40-68 RESET 1988  
ALUMINUM PIPES IN CONCS 7' SW OF VALLEJO AND EAST  
SIDE OF R/R & 1980 N/O OF CALICO EXPRESSWAY  
ELEVATION 1595.07



**PLANTING LEGEND**

TREES	SYMBOL	BOTANICAL COMMON NAME	SIZE	QTY	REMARKS
		Cercidium longistylis Blue Palo Verde	24" Box	10	Mult
		Chitalpa tashiroensis Chitalpa	24" Box	31	Standard
		Pinus attenuata Alpian Pine	48" Box 36" Box	25 25	Screen Tree Standard
		Bauhinia acuminata African Sycamore	48" Box 36" Box	17 3	Screen Tree Standard
		Ipomoea coccinea Bridal Box	15 Gall	84	Standard

**CASE** PPT210022  
 EXHIBIT 1 (1/1/2021)  
 DATE: 11/18/2021  
 PLANNER: E. BROWN  
 COUNTY: Santa Monica

SHRUBS	SYMBOL	BOTANICAL COMMON NAME	SIZE	QTY	REMARKS
		Diospyros Forsythia	5 Gall	0	Parking 3" O.C.
		Lythrum Tinsel Privet	5 Gall	0	Parking 3" O.C.
		Wisteria Wisteria	5 Gall	0	Parking 2' 6" O.C.

ACCENTS	SYMBOL	BOTANICAL COMMON NAME	SIZE	QTY	REMARKS
		Agave americana Century Plant	5 Gall	0	6" O.C.
		Agave attenuata Blue Agave	5 Gall	0	3" O.C.
		Agave schottlandii Blue Agave	5 Gall	0	3" O.C.
		Agave attenuata Century Plant	5 Gall	0	3" O.C.
		Agave attenuata Century Plant	5 Gall	0	2' 6" O.C.
		Agave attenuata Century Plant	5 Gall	0	6" O.C.

GROUNDCOVER	SYMBOL	BOTANICAL COMMON NAME	SIZE	SPACING	REMARKS
		Aspidistra Oxeye	1 Gall	6" O.C.	Parking Groundcover at 3' 0" O.C. at 3' 0" O.C.
		Baccharis Dwarf Coyote Bush	1 Gall	6" O.C.	L
		Calceolaria California Meadow Sage	4" Pot	12" O.C.	M
		Carissa Prostrate Natal Palm	1 Gall	30" O.C.	M
		Lonicera Halls Honeysuckle	1 Gall	48" O.C.	L
		Myoporum Prostrate Rosemary	1 Gall	36" O.C.	L
		Rosa Prostrate Rosemary	1 Gall	48" O.C.	L

**GENERAL NOTES:**

- PLANTING AREAS SHALL BE IRRIGATED WITH A THREE INCH 1/2" MINIMUM LAYER OF ORGANIC MULCH AREAS OF GROUNDCOVER LAYER OF ORGANIC MULCH.
- PLANTING SHALL BE IRRIGATED WITH A COMBINATION OF PLANK Drip AND ROTOR IRRIGATION.
- NO OVERHEAD IRRIGATION ALLOWED WITHIN 24" OF SUBSURFACE OR LOW-VOLUME IRRIGATION MUST BE USED FOR IRRIGATION OF AREAS LESS THAN 8 FEET IN HEIGHT.
- IRREGULARLY SHAPED AREAS OR AREAS LESS THAN 8 FEET IN HEIGHT SHALL BE PLANTED WITH GROUNDCOVER FROM PLATE 17 OF C.
- SLOPES OVER 3% TO BE PLANTED WITH GROUNDCOVER FROM PLATE 17 OF C.
- SLOPES EXCEEDING 15% TO BE PLANTED WITH GROUNDCOVER FROM PLATE 17 OF C.
- SHRUBS SPACED AT NO MORE THAN 10 FEET ON CENTER OR SPACED AT NO MORE THAN 10 FEET ON CENTER OR SPACING OF SUCH SHRUBS AND TREES AT EQUIVALENT COMBINATION OF SUCH SHRUBS AND TREES AT EQUIVALENT SPACING IN ADDITION TO A DROUGHT-TOLERANT GRASS OR GROUND COVER.

**PROPERTY OWNER ARCHITECT**  
 HPA INC.  
 100 W. SHREVE BLVD. SUITE 250  
 SANTA MONICA, CA 90401  
 PHONE: 310-381-4226

**DEDEAUX PROPERTIES ARCHITECT**  
 1831 BARBER AVENUE, STE 101  
 IRVINE, CA 92612  
 PHONE: 714-966-2400



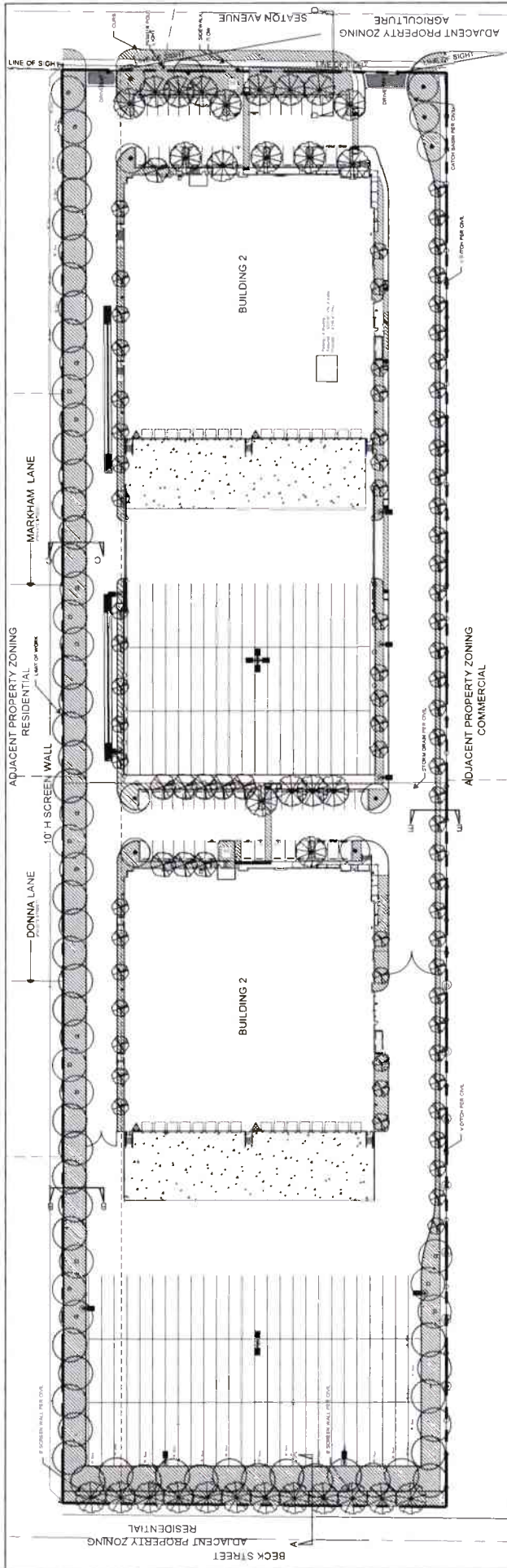
**HUNTER LANDSCAPE**  
 TOM HAYES tom@hunterlandscape.net  
 711 FEE ANA STREET PLACENTIA, CA 92870  
 714.966.2400 FAX: 714.966.2408



**Seaton Ave. & Perry St.**  
 Perris, California

**Dedeaux Properties**

714-966-2400  
 06/23/21 06/23/21  
 06/23/21 06/23/21  
 06/28/21 06/30/21



**PLANTING LEGEND**

TREES	SYMBOL	BOTANICAL/COMMON NAME	SIZE	CoP	QTY	REMARKS
		California Desert Museum Blue Palo Verde	24" Box	2' - 1 1/2'	10	Mult
		Cholla, cholla, cholla, Cholla	24" Box	2' - 1 1/2'	31	Standard
		Desert Ash, Agave Palm	48" Box 36" Box	6' 5-6'	25 25	Screen Tree Standard
		Rhus leucos, African Sumac	48" Box 36" Box	3' - 3 1/2' 2 1/2'	17 3	Screen Tree Standard
		Tulane, wattle, Bluebonnet	15 Gal	1' - 1"	84	Standard

SHRUBS	SYMBOL	BOTANICAL/COMMON NAME	SIZE	QTY	REMARKS
		Desert Shrub, Foothill Lily, Leadwort, L. tinatum, Texas Privet	5 Gal	0	Parking 3' O.C.
		Shrub, Shrub, Wreath of Snow	5 Gal	0	Parking 3' O.C.
		Shrub, Shrub	5 Gal	0	Parking 2' 6" O.C.

GROUNDCOVER	SYMBOL	BOTANICAL/COMMON NAME	SIZE	SPACING	REMARKS
		Asiatic, Dwarf Acacia	1 Gal	6" O.C.	Parking at 3' O.C.
		Baccharis, Dwarf Coyote Bush	1 Gal	6" O.C.	Parking at 3' O.C.
		California Madroño, Sedg	4" Pots	12" O.C.	M
		California Madroño, Sedg	1 Gal	36" O.C.	M
		Lonchocarpus, Hall's	1 Gal	48" O.C.	M
		Madroño, Madroño	1 Gal	36" O.C.	L
		Prostrate Rosemary	1 Gal	48" O.C.	L

**GENERAL NOTES:**

- PLANTING AREAS SHALL BE MAINTAINED WITH A THREE-INCH (3") LAYER OF ORGANIC MULCH.
- PLANTED MATERIALS SHALL BE MAINTAINED WITH A 1" PANAMA LAYER OF ORGANIC MULCH.
- IN LINE DRIP AND NOT ON IRRIGATION.
- NO OVERHEAD IRRIGATION ALLOWED WITHIN 2' OF PLANTING AREAS.
- IRREGULARLY SHAPED AREAS OR AREAS LESS THAN 8 FEET IN WIDTH SHALL BE PLANTED WITH GROUND COVER FROM THE SLOPE OF 2 TO BE PLANTED WITH GROUND COVER FROM THE SLOPE OF 4 TO EXCEEDING 15 FEET IN VERTICAL HEIGHT SHALL BE PLANTED WITH DROUGHT TOLERANT TREES, SPACED NOT TO EXCEED 20 FEET ON CENTER, OR A COMBINATION OF SUCH SHRUBS AND TREES AT EQUIVALENT SPACING TO DROUGHT TOLERANT GRASS OR GROUND COVER.

**PROPERTY OWNER**  
**ARCHITECT**

Prior to project construction, I agree to submit a complete Landscape Construction Document Package that complies with the requirements of applicable ordinances including but not necessarily limited to Ordinance No. 855.2, Ordinance 348, Ordinance 461, project Conditions of Approval, and in substantial conformance with the approved Landscape Concept Plan. Should the ordinances be revised, plans may be subject to change.

1000-1000-1000  
 1000-1000-1000  
 1000-1000-1000  
 1000-1000-1000

0 20' 40' 80'



**HUNTER LANDSCAPE**  
 TOM HAYES tom@hunterlandscape.net  
 711 FEE ANN STREET PLACENTIA, CA 92670  
 714.986.2400 FAX 714.986.2408

**Dedeaux Properties**  
 21-043  
 06/20/21  
 06/28/21 08:50:21



**Riverside County Ordinance 809 Landscape Water Use Calculations**  
**Project Type: Commercial**  
**Dedeaux Properties Perris**  
 6/4/ ETO clearance

Applied to use crop down areas in color that indicate a selection to describe each hydrant. When "INPUT" is shown, refer to table project specific information. Please note that embossed formulas will reflect as "table" or as an area unit selection are completed.

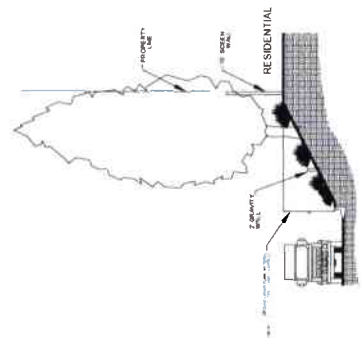
1. Maximum Annual Water Allowance (MAWA) (6667A)

INPUT the total square footage of landscape = 38,338 sq ft  
 INPUT the MAWA ETO for the area = 28.85  
 MAWA = 119,083 CU FT / YR

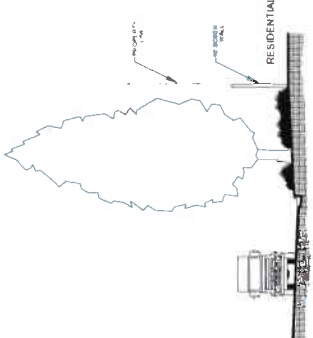
2. Estimated Annual Water Use (EAWU) (6667B)

Hydrant #	Plant Type	Water Use
Hydrant #1	Plant Factor = 0.2	Water Use
INPUT Square Foot Area of Hydrant = 37,000	Plant Type	Water Use
Hydrant Irrigation Efficiency = 0.85	Plant Type	Water Use
EAWU = 21,372 CU FT / YR	Plant Type	Water Use
Hydrant #2	Plant Factor = 0.5	Water Use
INPUT Square Footage of Hydrant = 18,769	Plant Type	Water Use
Hydrant Irrigation Efficiency = 0.85	Plant Type	Water Use
EAWU = 31,179 CU FT / YR	Plant Type	Water Use
Hydrant #3	Plant Factor = 0.5	Water Use
INPUT Square Footage of Hydrant = 344	Plant Type	Water Use
Hydrant Irrigation Efficiency = 0.85	Plant Type	Water Use
EAWU = 365 CU FT / YR	Plant Type	Water Use
Hydrant #4	Plant Factor = 0	Water Use
INPUT Square Footage of Hydrant = 0	Plant Type	Water Use
Hydrant Irrigation Efficiency = 1	Plant Type	Water Use
EAWU = 0 CU FT / YR	Plant Type	Water Use
Hydrant #5	Plant Factor = 0	Water Use
INPUT Square Footage of Hydrant = 0	Plant Type	Water Use
Hydrant Irrigation Efficiency = 1	Plant Type	Water Use
EAWU = 0 CU FT / YR	Plant Type	Water Use
Hydrant #6	Plant Factor = 0	Water Use
INPUT Square Footage of Hydrant = 0	Plant Type	Water Use
Hydrant Irrigation Efficiency = 1	Plant Type	Water Use
EAWU = 0 CU FT / YR	Plant Type	Water Use
Subtotal EAWU = 54,101 CU FT / YR		
Input Irrigation System Operation Factor = 0.85		
Total EAWU = 110,707 CU FT / YR		
MAWA - EAWU = 8,376 CU FT / YR		
(This number must be positive)		
PERCENTAGE OF WATER SAVED RELATIVE TO MAX ALLOWED = 7%		

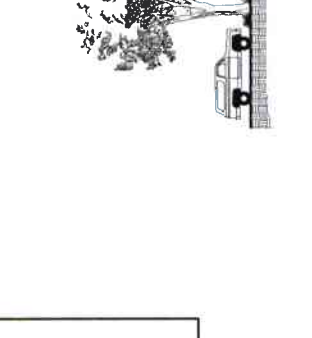
\* There are not required to be listed as a separate hydrant if unnecessary, if unnecessary, a planted with plants of an equal or higher plant factor, and foot area is already included in calculations.



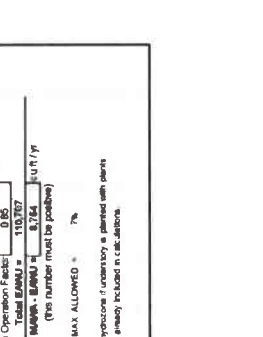
SECTION A-A



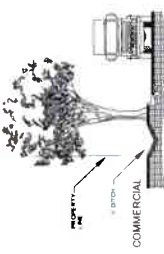
SECTION B-B



SECTION C-C



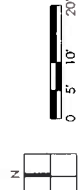
SECTION D-D



SECTION E-E

**PROPERTY OWNER**  
 DEDEAUX PROPERTIES  
 10000 WILSON AVENUE SUITE 250  
 SAN JUAN BAPTIST CA 92512  
 CONTACT BENJAMIN M. HORING  
 PHONE 951-981-8226

**ARCHITECT**  
 HPA INC  
 10000 WILSON AVENUE SUITE 100  
 SAN JUAN BAPTIST CA 92512  
 CONTACT NIKON KIM  
 PHONE 949-862-2122



**HUNTER LANDSCAPE**  
 TOM HAYES tom@hunterlandscape.net  
 711 FEE AVE STREET PLACENTIA, CA 92870  
 714 986-2400 FAX 714 986-2408

**Seaton Ave. & Perry St.**  
 Perris, California

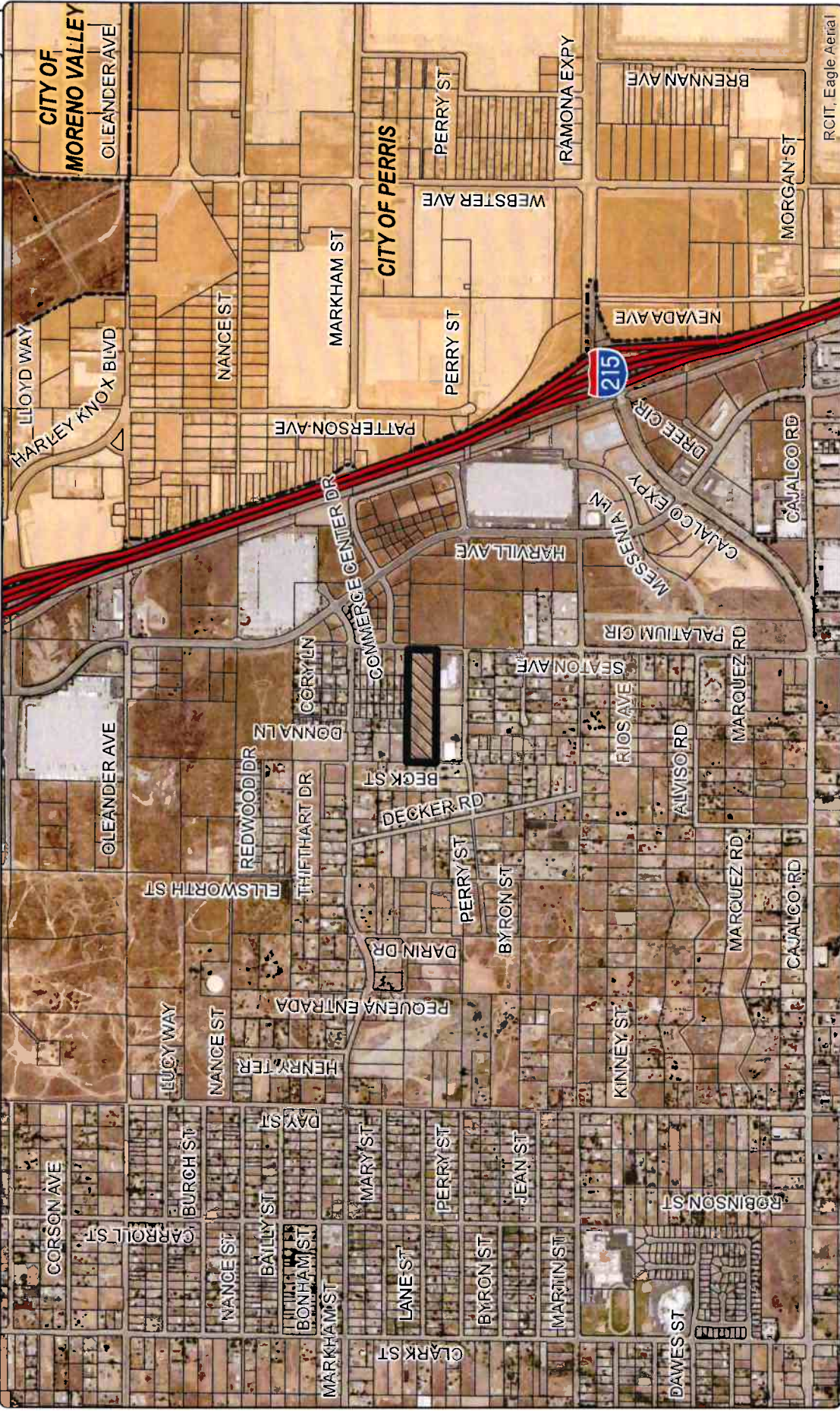
**Dedeaux Properties**  
 21 04-3  
 06/09/21 06/30/21  
 06/23/21 06/26/21  
 06/28/21 06/30/21



**RIVERSIDE COUNTY PLANNING DEPARTMENT**  
**PPT210022**  
**VICINITY/POLICY AREAS**

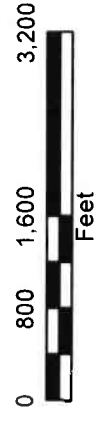
Supervisor: Jeffries  
 District 1

Date Drawn: 02/07/2022  
 Vicinity Map



Zoning Area: North Perris

Author: Vinnie Nguyen



DISCLAIMER: On October 7, 2011, the County of Riverside adopted a new General Plan providing for land use designations for unincorporated Riverside County. The General Plan is a long-range policy document that guides the County's land use decisions. The County's General Plan is subject to periodic updates. For further information, please contact the Riverside County Planning Department office at Riverside at (951) 955-3326. Western County or at Palm Desert at (760) 865-5277. Images sourced via WebSat.

# RIVERSIDE COUNTY PLANNING DEPARTMENT

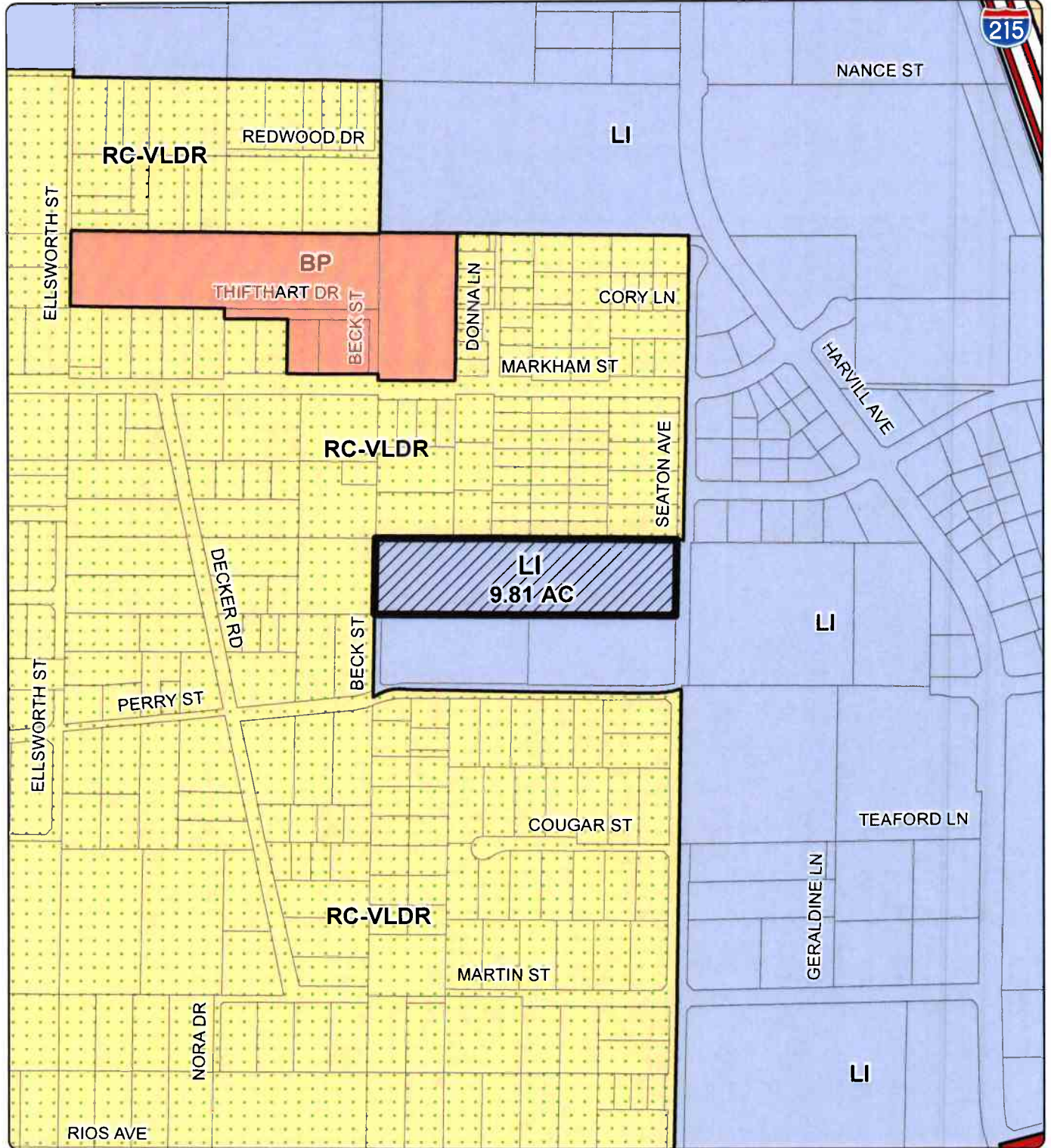
## PPT210022

### EXISTING GENERAL PLAN

Supervisor: Jeffries  
District 1

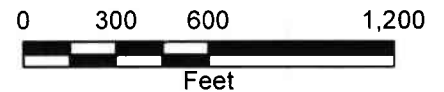
Date Drawn: 02/07/2022

Exhibit 5



Zoning Area: North Perris

Author: Vinnie Nguyen



DISCLAIMER: On October 7, 2003, the County of Riverside adopted a new General Plan providing new land use designations for unincorporated Riverside County parcels. The new General Plan may contain different type of land use than is provided for under existing zoning. For further information, please contact the Riverside County Planning Department offices in Riverside at (951)955-3200 (Western County) or in Palm Desert at (760)863-8277 (Eastern County) or Website <http://planning.rcclsa.us>

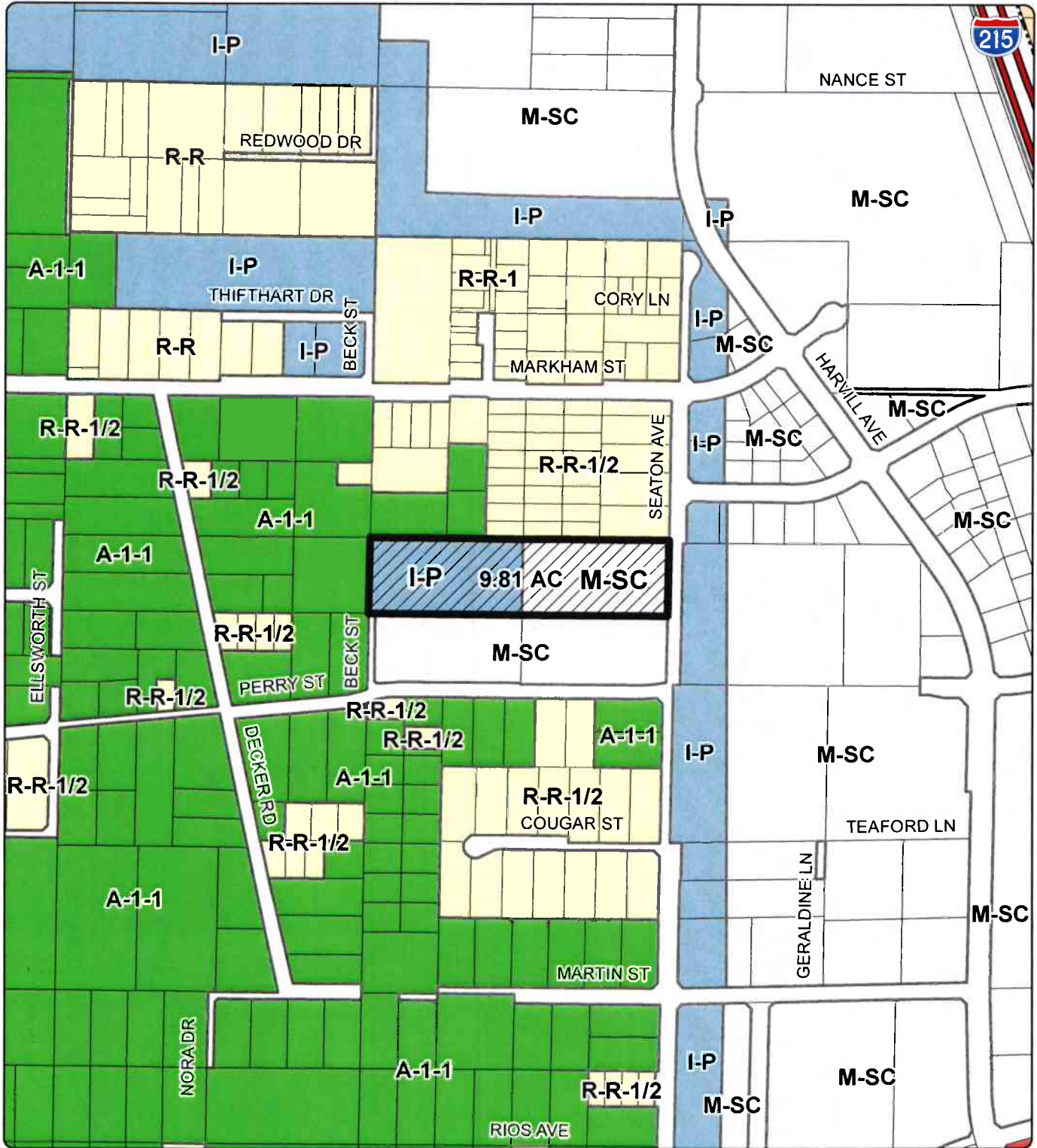
# RIVERSIDE COUNTY PLANNING DEPARTMENT

## PPT210022

### EXISTING ZONING

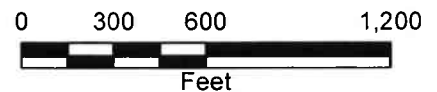
Supervisor: Jeffries  
District 1

Date Drawn: 02/07/2022  
Exhibit 2



Zoning Area: North Perris

Author: Vinnie Nguyen



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# RIVERSIDE COUNTY PLANNING DEPARTMENT

## PPT210022

### LAND USE

Supervisor: Jeffries

District 1

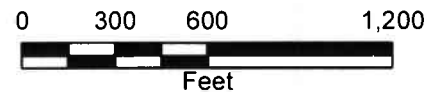
Date Drawn: 02/07/2022

Exhibit 1



Zoning Area: North Perris

Author: Vinnie Nguyen



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# RIVERSIDE COUNTY PLANNING DEPARTMENT

Charissa Leach, P.E.  
Assistant TLMA Director

## MITIGATED NEGATIVE DECLARATION

Project/Case Number: PPT210022 and TPM38147

Based on the Initial Study, it has been determined that the proposed project, subject to the proposed mitigation measures, will not have a significant effect upon the environment.

PROJECT DESCRIPTION, LOCATION, AND MITIGATION MEASURES REQUIRED TO AVOID POTENTIALLY SIGNIFICANT EFFECTS. (see Environmental Assessment/Initial Study and Conditions of Approval)

**COMPLETED/REVIEWED BY:**

By: Manuel Baeza Title: Project Planner Date: February 28, 2022

Applicant/Project Sponsor: Benjamin Horning Date Submitted: April 19, 2021

**ADOPTED BY:** Planning Commission

Person Verifying Adoption: \_\_\_\_\_ Date: \_\_\_\_\_

The Mitigated Negative Declaration may be examined, along with documents referenced in the initial study, if any, at:

Riverside County Planning Department 4080 Lemon Street, 12th Floor, Riverside, CA 92501

For additional information, please contact Manuel Baeza at (951) 955-9294 or email mbaeza@rivco.org

Revised: 03/30/22  
Y:\Planning Master Forms\Templates\CEQA Forms\Cover\_Sheet\_Mitigated\_Negative\_Declaration.docx

Please charge deposit fee case#: ZEA ZCFG

**FOR COUNTY CLERK'S USE ONLY**

### Notice of Completion & Environmental Document Transmittal

Mail to: State Clearinghouse, P.O. Box 3044, Sacramento, CA 95812-3044 (916) 445-0613  
 For Hand Delivery/Street Address: 1400 Tenth Street, Sacramento, CA 95814

<b>SCH #</b>
--------------

**Project Title:** Seaton Avenue and Perry Street Industrial Project

Lead Agency: County of Riverside Contact Person: Manuel Baeza  
 Mailing Address: 4080 Lemon Street, 12th Floor Phone: (951)955-3200  
 City: Riverside, CA Zip: 92501 County: Riverside

**Project Location:** County: Riverside City/Nearest Community: Perris  
 Cross Streets: Seaton Avenue and Perry Street Zip Code: 92570

Longitude/Latitude (degrees, minutes and seconds): 33 ° 50 ' 58.1 " N / 117 ° 15 ' 48.9 " W Total Acres: 9.43

Assessor's Parcel No.: 314-091-005 Section: 2 Twp.: 4S Range: 4W Base: SBBM

Within 2 Miles: State Hwy #: I-215 Waterways: \_\_\_\_\_  
 Airports: March Air Reserve Base Railways: \_\_\_\_\_ Schools: Tomas Rivera Middle School

**Document Type:**

CEQA:  NOP  Draft EIR NEPA:  NOI Other:  Joint Document  
 Early Cons  Supplement/Subsequent EIR  EA  Final Document  
 Neg Dec (Prior SCH No.) \_\_\_\_\_  Draft EIS  Other: \_\_\_\_\_  
 Mit Neg Dec Other: \_\_\_\_\_  FONSI \_\_\_\_\_

**Local Action Type:**

General Plan Update  Specific Plan  Rezone  Annexation  
 General Plan Amendment  Master Plan  Prezone  Redevelopment  
 General Plan Element  Planned Unit Development  Use Permit  Coastal Permit  
 Community Plan  Site Plan  Land Division (Subdivision, etc.)  Other: \_\_\_\_\_

**Development Type:**

Residential: Units \_\_\_\_\_ Acres \_\_\_\_\_  
 Office: Sq.ft. \_\_\_\_\_ Acres \_\_\_\_\_ Employees \_\_\_\_\_  
 Commercial: Sq.ft. \_\_\_\_\_ Acres \_\_\_\_\_ Employees \_\_\_\_\_  
 Industrial: Sq.ft. 98,940 Acres 9.43 Employees 28  
 Educational: \_\_\_\_\_  
 Recreational: \_\_\_\_\_  
 Water Facilities: Type \_\_\_\_\_ MGD \_\_\_\_\_  
 Transportation: Type \_\_\_\_\_  
 Mining: Mineral \_\_\_\_\_  
 Power: Type \_\_\_\_\_ MW \_\_\_\_\_  
 Waste Treatment: Type \_\_\_\_\_ MGD \_\_\_\_\_  
 Hazardous Waste: Type \_\_\_\_\_  
 Other: \_\_\_\_\_

**Project Issues Discussed in Document:**

Aesthetic/Visual  Fiscal  Recreation/Parks  Vegetation  
 Agricultural Land  Flood Plain/Flooding  Schools/Universities  Water Quality  
 Air Quality  Forest Land/Fire Hazard  Septic Systems  Water Supply/Groundwater  
 Archeological/Historical  Geologic/Seismic  Sewer Capacity  Wetland/Riparian  
 Biological Resources  Minerals  Soil Erosion/Compaction/Grading  Growth Inducement  
 Coastal Zone  Noise  Solid Waste  Land Use  
 Drainage/Absorption  Population/Housing Balance  Toxic/Hazardous  Cumulative Effects  
 Economic/Jobs  Public Services/Facilities  Traffic/Circulation  Other: \_\_\_\_\_

**Present Land Use/Zoning/General Plan Designation:**

Vacant/ Light Industrial (LI)/ Industrial Park (I-P) and Manufacturing, Service Commercial (M-SC) zoning.

**Project Description:** *(please use a separate page if necessary)*

The applicant for the proposed Project is requesting approval of a Tentative Parcel Map to subdivide the parcel into two lots and Plot Plan from the County of Riverside to construct two warehouse buildings totaling 98,940 square feet (SF), parking lot, ornamental landscaping, and associated infrastructure. Each warehouse would be 49,470 SF and provide 46,970 SF of warehouse space and 2,500 SF of first floor office space. Approximately 20 percent of each building would be utilized for cold storage. The proposed buildings would result in an FAR of 0.24, which is below the allowable maximum FAR of 0.60 for the Light Industrial land use designation.

Note: The State Clearinghouse will assign identification numbers for all new projects. If a SCH number already exists for a project (e.g. Notice of Preparation or previous draft document) please fill in.



**Reviewing Agencies Checklist**

Lead Agencies may recommend State Clearinghouse distribution by marking agencies below with and "X". If you have already sent your document to the agency please denote that with an "S".

- |  |  |
|--|--|
| <input type="checkbox"/> Air Resources Board                         | <input type="checkbox"/> Office of Historic Preservation                     |
| <input type="checkbox"/> Boating & Waterways, Department of          | <input type="checkbox"/> Office of Public School Construction                |
| <input type="checkbox"/> California Emergency Management Agency      | <input type="checkbox"/> Parks & Recreation, Department of                   |
| <input type="checkbox"/> California Highway Patrol                   | <input type="checkbox"/> Pesticide Regulation, Department of                 |
| <input type="checkbox"/> Caltrans District # _____                   | <input type="checkbox"/> Public Utilities Commission                         |
| <input type="checkbox"/> Caltrans Division of Aeronautics            | <input type="checkbox"/> Regional WQCB # _____                               |
| <input type="checkbox"/> Caltrans Planning                           | <input type="checkbox"/> Resources Agency                                    |
| <input type="checkbox"/> Central Valley Flood Protection Board       | <input type="checkbox"/> Resources Recycling and Recovery, Department of     |
| <input type="checkbox"/> Coachella Valley Mtns. Conservancy          | <input type="checkbox"/> S.F. Bay Conservation & Development Comm.           |
| <input type="checkbox"/> Coastal Commission                          | <input type="checkbox"/> San Gabriel & Lower L.A. Rivers & Mtns. Conservancy |
| <input type="checkbox"/> Colorado River Board                        | <input type="checkbox"/> San Joaquin River Conservancy                       |
| <input type="checkbox"/> Conservation, Department of                 | <input type="checkbox"/> Santa Monica Mtns, Conservancy                      |
| <input type="checkbox"/> Corrections, Department of                  | <input type="checkbox"/> State Lands Commission                              |
| <input type="checkbox"/> Delta Protection Commission                 | <input type="checkbox"/> SWRCB: Clean Water Grants                           |
| <input type="checkbox"/> Education, Department of                    | <input type="checkbox"/> SWRCB: Water Quality                                |
| <input type="checkbox"/> Energy Commission                           | <input type="checkbox"/> SWRCB: Water Rights                                 |
| <input type="checkbox"/> Fish & Game Region # _____                  | <input type="checkbox"/> Tahoe Regional Planning Agency                      |
| <input type="checkbox"/> Food & Agriculture, Department of           | <input type="checkbox"/> Toxic Substances Control, Department of             |
| <input type="checkbox"/> Forestry and Fire Protection, Department of | <input type="checkbox"/> Water Resources, Department of                      |
| <input type="checkbox"/> General Services, Department of             |  |
| <input type="checkbox"/> Health Services, Department of              | <input type="checkbox"/> Other: _____  |
| <input type="checkbox"/> Housing & Community Development             | <input type="checkbox"/> Other: _____  |
| <input type="checkbox"/> Native American Heritage Commission         |  |

**Local Public Review Period (to be filled in by lead agency)**

Starting Date March 1, 2022 Ending Date March 21, 2022

**Lead Agency (Complete if applicable):**

Consulting Firm: <u>EPD Solutions, Inc.</u>	Applicant: <u>Dedeaux Properties</u>
Address: <u>2355 Main Street, Suite 100</u>	Address: <u>100 Wilshire Boulevard, Suite 250</u>
City/State/Zip: <u>Irvine, CA 92614</u>	City/State/Zip: <u>Santa Monica, CA</u>
Contact: <u>Konnie Dobrev</u>	Phone: <u>(323) 981-8294</u>
Phone: <u>(949)794-1183</u>	

**Signature of Lead Agency Representative:**  **Date:** 2/23/22  
Manuel Baeza, Urban/Regional Planner IV

Authority cited: Section 21083, Public Resources Code. Reference: Section 21161, Public Resources Code.



# RIVERSIDE COUNTY PLANNING DEPARTMENT

**John Hildebrand**  
Planning Director

**TO:**  Office of Planning and Research (OPR)  
P.O. Box 3044  
Sacramento, CA 95812-3044  
 County of Riverside County Clerk

**FROM:** Riverside County Planning Department  
 4080 Lemon Street, 12th Floor  
P. O. Box 1409  
Riverside, CA 92502-1409

38686 El Cerrito Road  
Palm Desert, California 92211

**SUBJECT: Filing of Notice of Determination in compliance with Section 21152 of the California Public Resources Code.**

**PPT210022; CEQ210040 MND**

*Project Title/Case Numbers*

**Manuel Baeza, Project Planner**

**(951) 955-9294**

*County Contact Person*

*Phone Number*

2022030012

*State Cleannghouse Number (if submitted to the State Cleannghouse)*

**Benjamin Horning**

*Project Applicant*

*Address*

**Project Location: north of Perry Street, south of Markham Street, east of Beck Street, and west of Seaton Avenue.**

Project Description: Plot Plan No. 210022 proposes to develop two (2) 49,470 square foot warehouse buildings each with 2,500 square feet of office space. Both Buildings will be provided with 16 loading docks, a separate truck trailer parking yard and a separate parking lot. The site will be subdivided to place each building on its own lot. Each building site meets parking standards independent of the other site including electrical vehicle requirements. Building 1 is located on Parcel 1 and has 34 parking spaces and parking for 55 truck trailers. Building 2 is located on Parcel 2 and has 35 parking spaces and parking for 76 truck trailers. Tentative Parcel Map No. 38147 proposes a Schedule E subdivision of 9.8 gross acres into two (2) lots. Parcel 1 has an area of 4.821 gross acres and 4.669 net acres. Parcel 1 has an area of 4.986 gross acres and 4.759 net acres.

This is to advise that the Riverside County Planning Commission, as the lead agency, has approved the above-referenced project on April 6, 2022, and has made the following determinations regarding that project:

1. The Project **WILL NOT** have a significant effect on the environment.
2. A Mitigated Negative Declaration was prepared for this project pursuant to the provisions of CEQA.
3. Mitigation measures **WERE** made a condition of the approval of the project.
4. A Mitigation Monitoring and Reporting Plan/Program **WAS** adopted for this project.
5. A Statement of Overriding Consideration **WAS NOT** adopted for this project.
6. Findings **WERE** made pursuant to the provisions of CEQA.

This is to certify that the Final Mitigated Negative Declaration (MND) is available to the General Public at: Riverside County Planning Department, 4080 Lemon Street, 12<sup>th</sup> Floor, Riverside, CA 92501.

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Project Planner  
Title

\_\_\_\_\_  
Date

Date Received for Filing and Posting at OPR: \_\_\_\_\_

Please charge deposit fee case#: CEQ210040

**FOR COUNTY CLERK'S USE ONLY**



# Final MND for the Seaton Avenue and Perry Street Industrial Project

**Lead Agency:**

County of Riverside  
4080 Lemon Street  
Riverside, CA 92501

**Project Applicant:**

Dedeaux Properties  
100 Wilshire Boulevard, Suite 250  
Santa Monica, CA 90401

**CEQA Consultant:**

**ENVIRONMENT | PLANNING | DEVELOPMENT SOLUTIONS, INC.**

2355 Main Street, Suite 100  
Irvine, CA 92614

March 2022

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**CH. 3** **MITIGATION MONITORING AND REPORTING PROGRAM**.....3-1

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# Seaton Avenue and Perry Street Industrial Project

Environmental Assessment/Mitigated Negative  
Declaration

**Lead Agency:**

County of Riverside  
4080 Lemon Street  
Riverside, CA 92501

**Project Applicant:**

Dedeaux Properties  
100 Wilshire Boulevard, Suite 250  
Santa Monica, CA 90401

**CEQA Consultant:**

**ENVIRONMENT | PLANNING | DEVELOPMENT SOLUTIONS, INC.**

2 Park Plaza, Suite 1120  
Irvine, CA 92614

February 2022

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Appendix C.	General Biological Assessment & Western Riverside County MSHCP Consistency Analysis
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# 1 INTRODUCTION

## 1.1 PURPOSE AND SCOPE

This document is an Initial Study and Mitigated Negative Declaration (IS/MND) prepared pursuant to the California Environmental Quality Act (CEQA) for the proposed Seaton Avenue & Perry Street Industrial Project (proposed Project). This IS/MND has been prepared in accordance with CEQA, Public Resources Code Sections 21000 et seq., and the Guidelines for Implementation of the California Environmental Quality Act (State CEQA Guidelines).

An initial study is conducted by a lead agency to determine if a project may have a significant effect on the environment. In accordance with CEQA Guidelines Section 15064, an environmental impact report (EIR) must be prepared if the initial study indicates that the proposed project under review may have a potentially significant impact on the environment. A negative declaration may be prepared instead, if the lead agency prepares a written statement describing the reasons why a proposed project would not have a significant effect on the environment, and, therefore, why it does not require the preparation of an EIR (State CEQA Guidelines Section 15371). According to State CEQA Guidelines Section 15070, a negative declaration shall be prepared for a project subject to CEQA when either:

- (a) The initial study shows there is no substantial evidence, in light of the whole record before the agency, that the project may have a significant effect on the environment, or
- (b) The initial study identified potentially significant effects, but:
  - (1) Revisions in the project plans or proposals made by or agreed to by the applicant before a proposed mitigated negative declaration and initial study are released for public review would avoid the effects or mitigate the effects to a point where clearly no significant effects would occur, and
  - (2) There is no substantial evidence, in light of the whole record before the agency, that the project as revised may have a significant effect on the environment.

If revisions are adopted into the proposed project in accordance with the State CEQA Guidelines Section 15070(b), a mitigated negative declaration is prepared. This document includes such revisions in the form of mitigation measures. Therefore, this document is a Mitigated Negative Declaration and incorporates all of the elements of an Initial Study. Hereafter this document is referred to as an MND.

This IS/MND incorporates by reference the technical documents that relate to the proposed Project or provide additional information concerning the environmental setting of the proposed Project. The information within in this IS/MND is based on the following technical studies and/or planning documents:

- County of Riverside General Plan (<https://planning.rctlma.org/General-Plan-Zoning/General-Plan>)
- Riverside County Code ([https://library.municode.com/ca/riverside\\_county/codes/code\\_of\\_ordinances?nodemd=RICOCACOVO1](https://library.municode.com/ca/riverside_county/codes/code_of_ordinances?nodemd=RICOCACOVO1))
- Technical studies, personal communications, and web sites listed in Section 6, *References*

In addition to the websites listed above, all documents are available for review at the Riverside County Planning Department, located at 4080 Lemon Street, Riverside, CA 92501.

The applicant for the proposed Project is requesting approval from the County of Riverside to construct two warehouse buildings totaling 98,940 square feet (SF), parking lot, ornamental landscaping, and associated infrastructure. The applicant is requesting approval from the County of Riverside for a Tentative Parcel Map to subdivide the parcel into two lots. The proposed buildings would result in an FAR of 0.24, which is below the allowable maximum FAR of 0.60 for the Light Industrial land use designation. The associated land use entitlement cases include Plot Plan No. 210022 and Parcel Map No. 38147.

This IS/MND serves as the environmental review for the proposed Seaton Avenue & Perry Street Industrial Project (proposed Project). The Project proposes development of a site within the boundaries of the County, which would fulfill the purpose of the County's General Plan land use designation and zoning designation for the site.

## 2 ENVIRONMENTAL SETTING

### 2.1 PROJECT LOCATION

The proposed Project site is located within the western portion of the County near the City of Perris, on one parcel north of Perry Street and between Seaton Avenue and Beck Street. Regional access to the Project site is provided by Interstate 215 (I-215) and the Interstate 215 Cajalco Expressway exit or Harley Knox Boulevard Exit. Local access to the site is provided from Harvill Avenue, which is a major roadway, and Seaton Avenue, which is a secondary roadway. The Project site and surrounding area is shown in Figure 2-1, *Regional Location*.

### 2.2 EXISTING PROJECT SITE

The Project site comprises one parcel encompassing approximately 9.43 acres. This parcel is identified as Riverside County Assessor's Parcel Number 314-091-005. The parcel consists of vacant and disturbed land. The site is relatively flat with a gentle slope in the easterly direction. The Project site contains moderate vegetation consisting of grasses, weeds, and trees. The Project site's existing conditions are shown in Figure 2-2, *Local Vicinity*, and Figure 2-3, *Aerial*.

### 2.3 EXISTING LAND USES AND ZONING CLASSIFICATION OF THE PROJECT SITE

The Project site has a General Plan Land Use designation of Light Industrial (LI) and zoning classifications of Industrial Park (I-P) and Manufacturing, Service Commercial (M-SC). The western portion of the site is zoned I-P and the western portion of the site is zoned M-SC. The General Plan states that the LI land use designation is intended for industrial and related uses including warehousing/distribution, assembly and light manufacturing, repair facilities, and supporting retail uses at an allowable Floor Area Ratio (FAR) of 0.25-0.60.

### 2.4 SURROUNDING GENERAL PLAN AND ZONING CLASSIFICATIONS

The Project site is located within a predominately developed area. The surrounding land uses are described in Table 1.

**Table 1: Surrounding Existing Land Use and Zoning Classifications**

	<b>Existing Land Use</b>	<b>General Plan Designation</b>	<b>Zoning Classification</b>
<b>North</b>	Single-family residences	Rural Community - Very Low Density Residential (RC-VLDR)	Light Agriculture (A-1-1) and Rural Residential (R-R-1/2)
<b>West</b>	Beck Street followed by single-family residences.	Rural Community - Very Low Density Residential (RC-VLDR)	Light Agriculture (A-1-1)
<b>South</b>	Warehouses followed by Perry Street.	Light Industrial (LI)	Manufacturing-Service Commercial (M-SC)
<b>East</b>	Seaton Avenue followed by vacant land.	Light Industrial (LI)	Industrial Park (I-P) and Manufacturing, Service Commercial (M-SC)

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# Regional Location



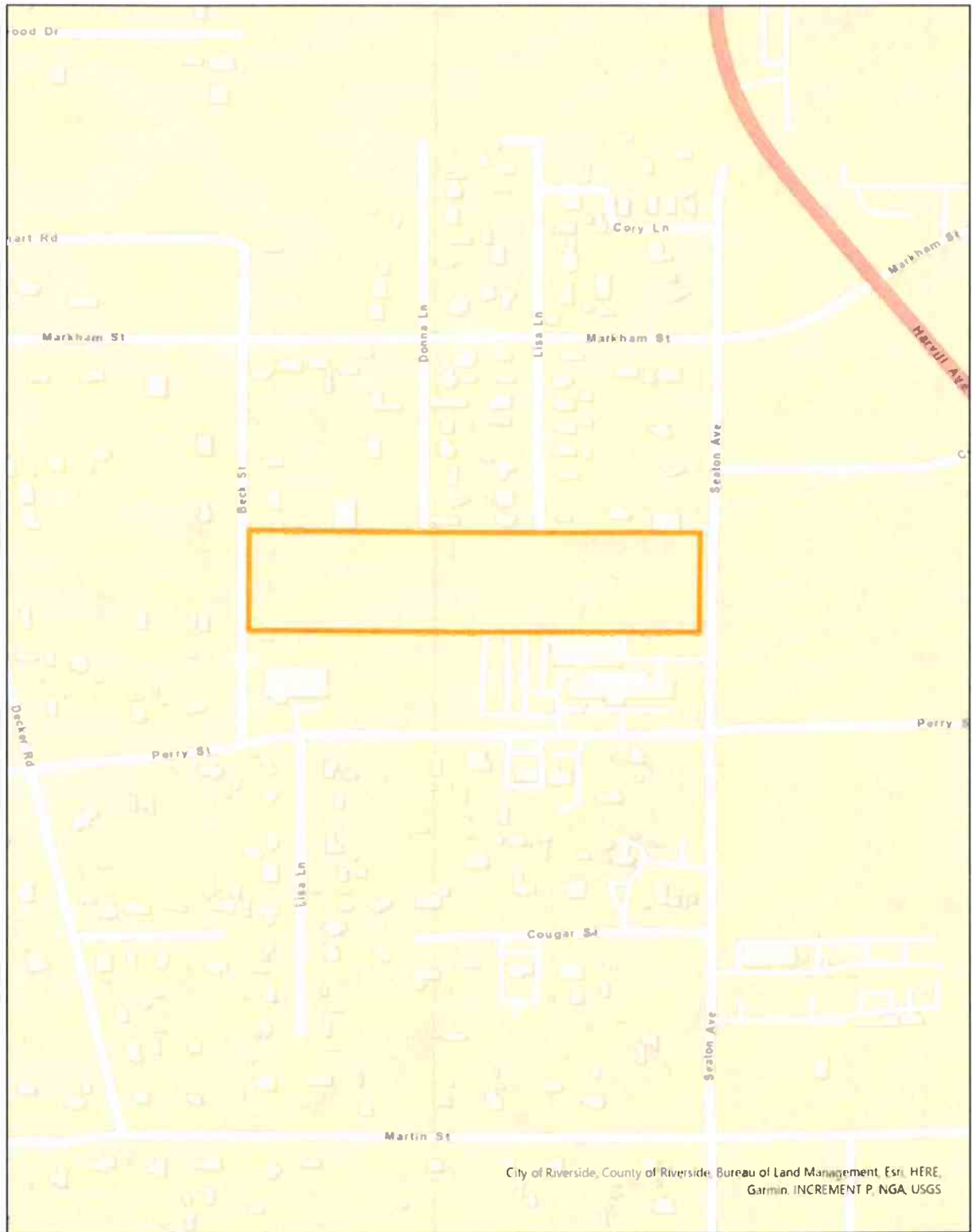
● Project Site



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# Local Vicinity

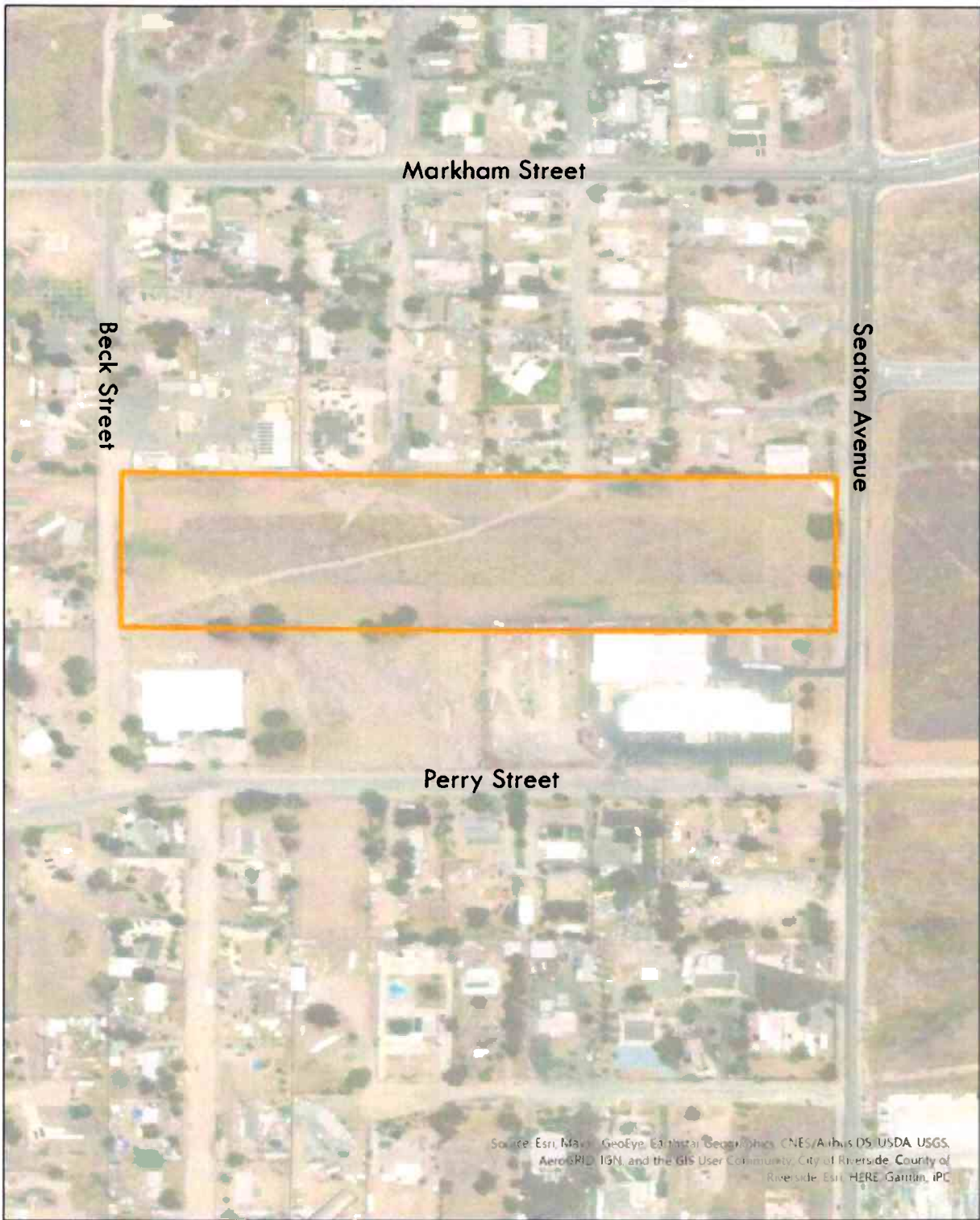


 Project Site



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# Aerial View



Source: Esri, Mapbox, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community, City of Riverside, County of Riverside, Esri, HERE, Garmin, IPC

 Project Site



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### 3 PROJECT DESCRIPTION

#### PROJECT OVERVIEW

The applicant for the proposed Project is requesting approval from the County of Riverside to construct two warehouse buildings totaling 98,940 square feet (SF), parking lot, ornamental landscaping, and associated infrastructure. The proposed buildings would result in an FAR of 0.24, which is below the allowable maximum FAR of 0.60 for the Light Industrial land use designation. The applicant is requesting approval from the County of Riverside for a Tentative Parcel Map to subdivide the parcel into two lots. Figure 3-1, *Conceptual Site Plan*, illustrates the proposed site plan.

#### PROJECT FEATURES

##### **Building Summary and Architecture**

The proposed light industrial warehouse buildings would be single-story and approximately 35 feet tall at the northern elevation and 38 feet tall at the parapet, and include a mezzanine, loading docks, and associated vehicle and truck trailer parking spaces. Each building would be 49,470 SF and provide 46,970 SF of warehouse space and 2,500 SF of first floor office space. Approximately 20 percent of each building would be utilized for cold storage.

The Project would include a street front landscape setback of 20 feet along Seaton Avenue and Beck Street and both buildings would be setback from the property line by approximately 52 feet.

As shown in Figure 3-2, *Elevations*, the proposed Project would establish an architectural presence through emphasis on building finish materials and consistent material usage and color scheme. The building would also be set back from both street frontages and landscaping would be provided along all property boundaries in order to screen buildings and loading docks. The use of landscaping, building layout, finish materials, and accenting on the Project site would create a quality architectural presence along Seaton Avenue.

##### **Parking and Loading Dock Summary**

Truck loading docks and trailer parking would be located along the eastern side of Building 1 and Building 2. Each building would include 16 loading dock doors. Building 1 would include 55 trailer parking stalls and Building 2 would include 76 trailer parking stalls. Access to trailer stalls and loading dock areas would be controlled through the use of swingling and sliding gates. Building 1 would provide 35 car parking stalls with 2 ADA stalls and Building 2 would provide 35 car parking stalls with 2 ADA stalls. The Project would also include bike racks for each building.

##### **Landscaping and Fencing**

A 10-foot screen wall is proposed along the northern property line adjacent to the single-family homes. An 8-foot-high wall is proposed along the and eastern and western Project boundaries and 8-foot-high tubular steel fencing is proposed along the southern boundary. The proposed Project would include 10-foot wing walls on the north side of each building to screen loading areas. The proposed Project includes approximately 63,960 square feet of ornamental landscaping that would cover approximately 15.6 percent of the site, as shown in Figure 3-3, *Proposed Landscape Plan*. Proposed landscaping would include minimum 20-foot wide landscape planters along the north, east and south property line and a 10-foot wide planter along the south property line. Along the north and west property lines 36-inch box

and 48-inch box trees will be provided with 24-inch box trees, 15-gallon trees being used for the rest of the site. The landscape plan also includes various shrubs, and ground covers to screen the proposed buildings, and parking and loading areas from off-site viewpoints.

### **Access and Circulation**

Seaton Avenue is classified in the General Plan as a secondary roadway having a 100-foot right of way requirement and Beck Street is classified as a local street with a standard right of way width of 60 feet. The Project includes a 50-foot dedication along Seaton Avenue and a 30-foot dedication along Beck Street. A 24-foot fire lane would be included within a fire lane easement, as shown in Figure 3-1, *Conceptual Site Plan*. Access to the proposed Project would be provided via two driveways from Seaton Avenue. No access is proposed from Beck Street. The northern driveway along Seaton Avenue is proposed to be restricted to passenger and emergency vehicles only. The Project would provide a reciprocal access easement so that trucks and cars from the western parcel could cross over the eastern parcel.

### **Infrastructure Improvements**

#### *Water and Sewer Improvements*

The Project applicant would install onsite water lines that would connect to the existing 14-inch diameter water line in Seaton Avenue and would install an onsite sewer system that would connect to the existing 8-inch diameter sewer line in Seaton Avenue, which would be extended approximately 330 feet south to serve the Project site.

#### *Drainage Improvements*

Proposed underground infiltration systems would be located to the east of each building. A water clarifier is proposed for pretreatment ahead of the underground infiltration system. The proposed Project would extend Perris Valley Area Drain Plan Lateral F-1 to the west side of the site. Lateral F-1 currently connects to a 48-inch storm drain in Seaton Avenue. Overflows in excess of water quality capture volumes would be directed to Lateral F-1.

#### *Sidewalk Improvements*

The proposed Project would include construction of a sidewalk along the project frontage along Seaton Avenue.

### **General Plan and Zoning**

The Project site has a land use designation of Light Industrial (LI) and zoning classification of Industrial Park (I-P) and Manufacturing, Service Commercial (M-SC) that allows development of the site up to a maximum FAR of 0.60. The proposed Project is consistent with the existing land use and zoning classifications associated with the Project site. Due to the site's split zoning the proposed Project would conform with the I-P zone development standards as they are more restrictive.

### **Construction and Phasing**

Construction activities for the Project would occur over one phase and include site preparation, grading, building construction, paving, and architectural coatings. Grading work of soils would require cut of 37,400 cubic yards of soil and fill of 16,540 cubic yards of soil.

Construction is expected to occur over 8 months and would occur 7 days a week within the hours allowable by the Riverside County Ordinance No. 847 Regulating Noise Section 2 i, , which states that construction shall occur only between the hours of 6:00 AM and 6:00 PM during the months of June through September and the hours of 7:00 AM and 6:00 PM during the months of October through May.

### **Operational Characteristics**

The Project would be operated as industrial warehouse buildings. Typical operational characteristics include employees traveling to and from the site, delivery of materials and supplies to the site, truck loading and unloading, and manufacturing activities. Operation is assumed to be 24 hours a day, 7 days a week.

### **Discretionary Approvals, Permits, and Studies**

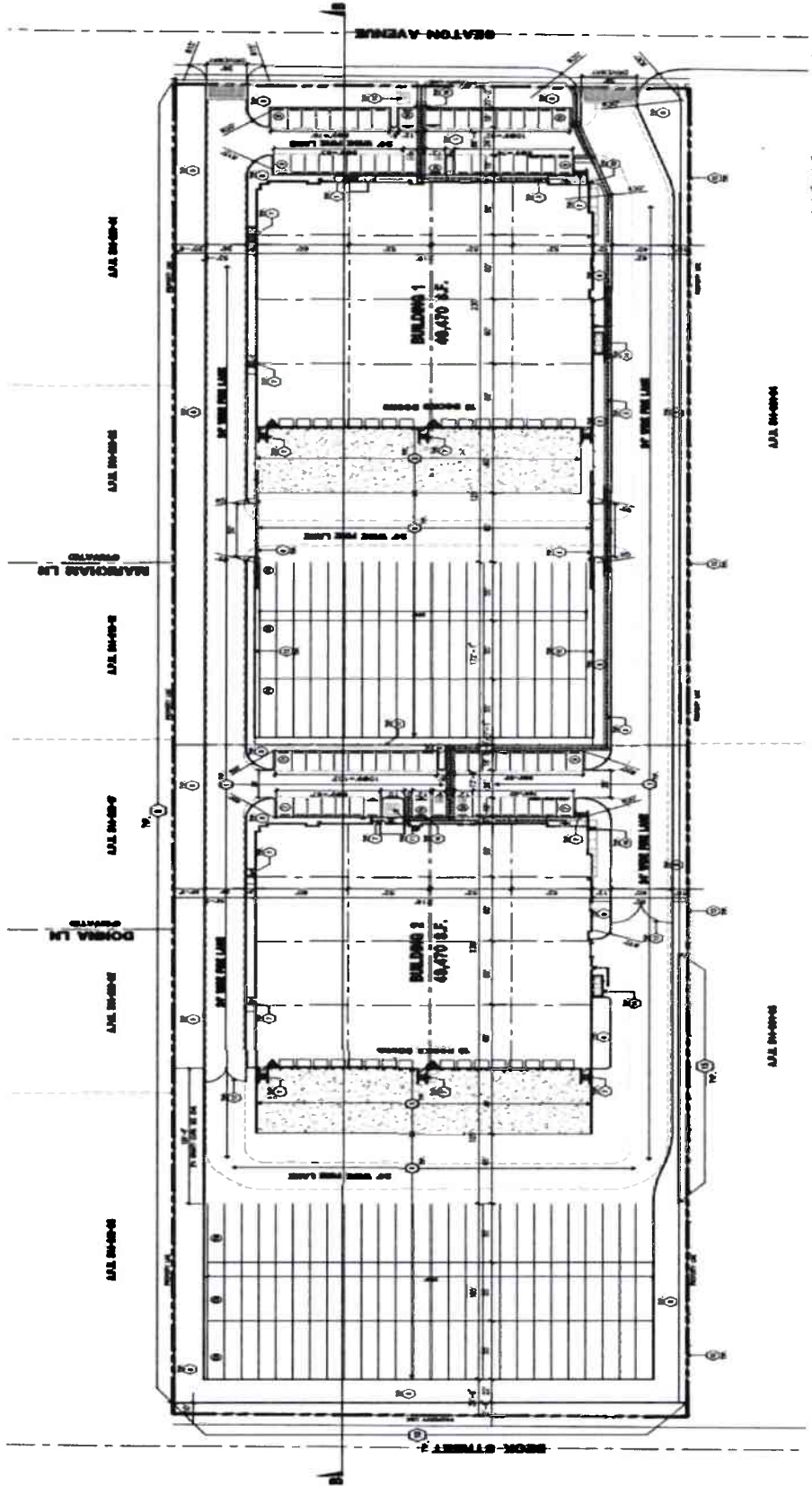
The following discretionary approval, permits, and studies are anticipated to be necessary for implementation of the proposed Project from the County of Riverside:

- Adoption of this Mitigated Negative Declaration
- Plot Plan Approval
- Tentative Parcel Map Approval
- Approvals and permits necessary to execute the proposed Project, including but not limited to, grading permit, building permit, etc.

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# Conceptual Site Plan

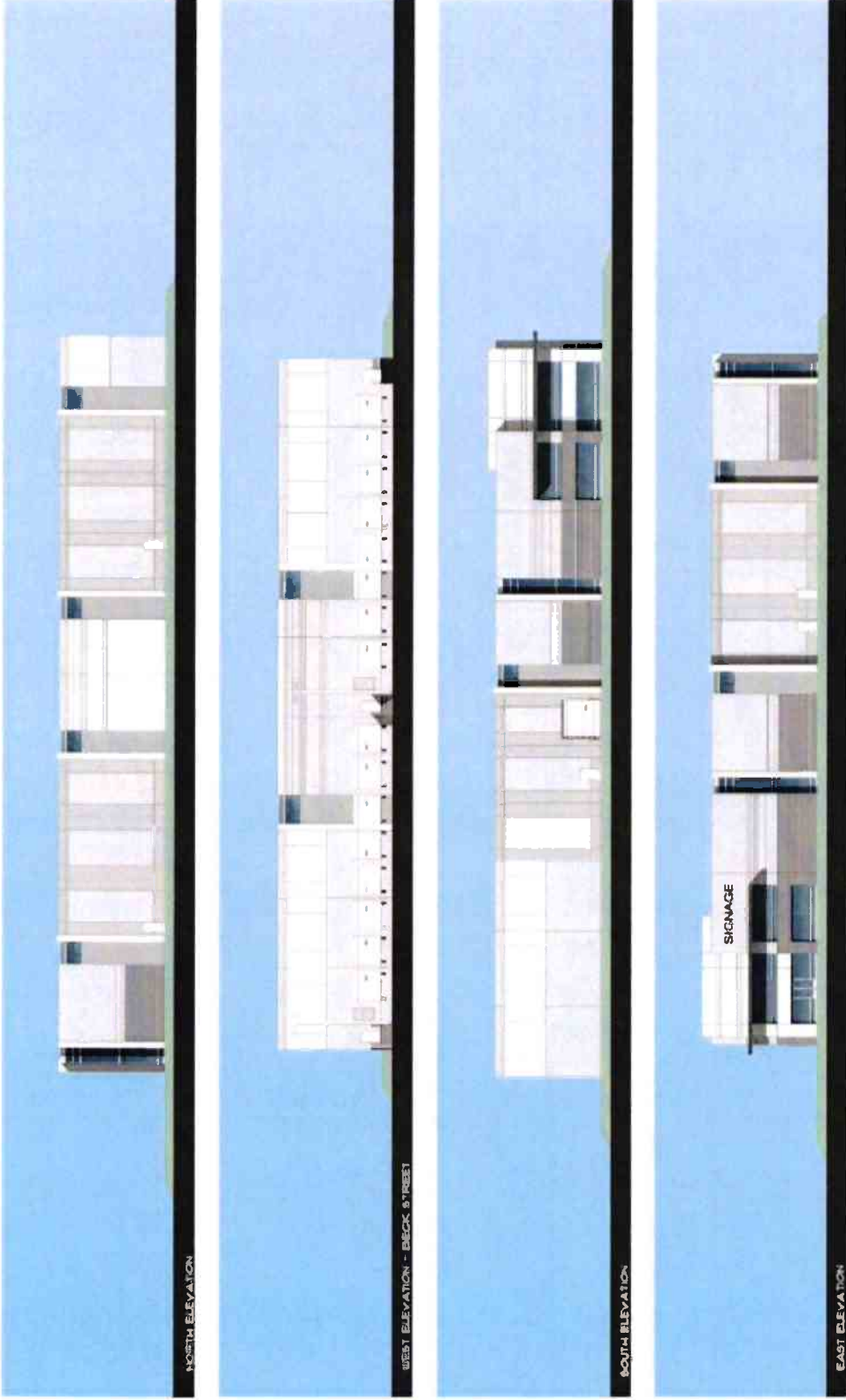


Section and Perry IS/MND

Figure 3-1

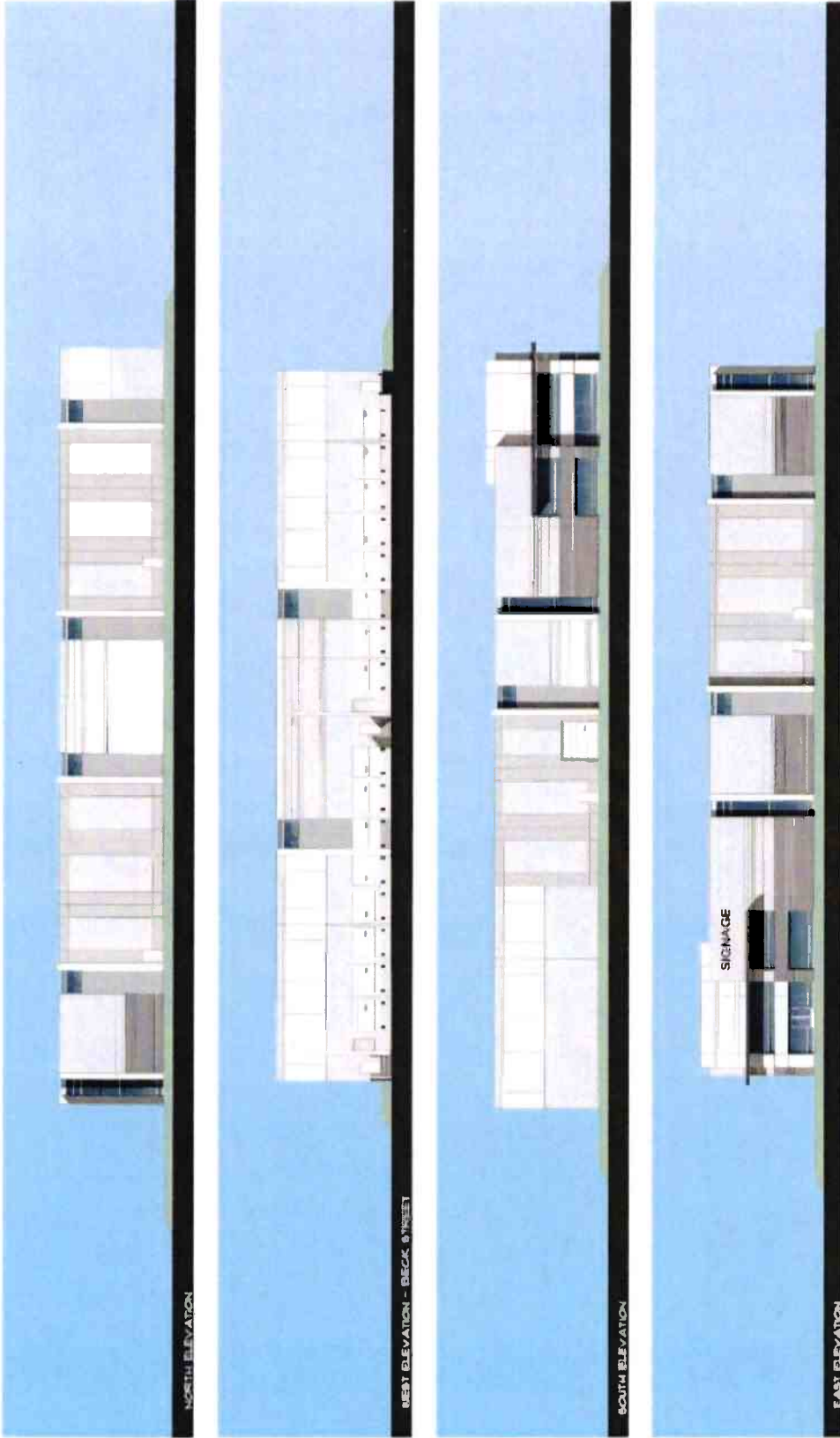
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# Building 1 Elevations



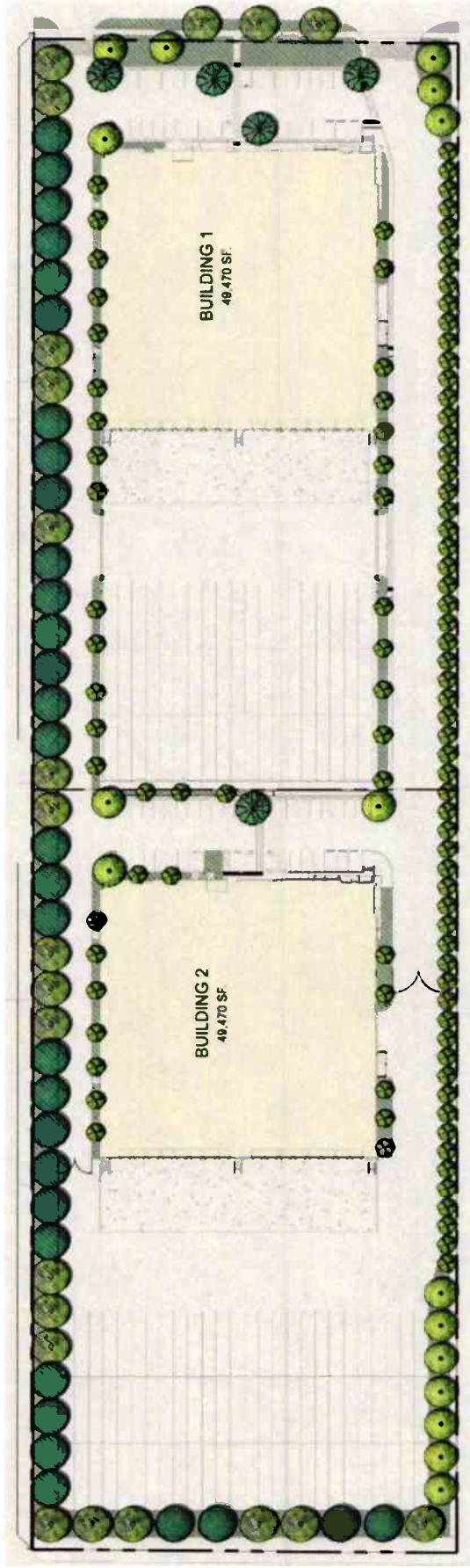
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# Building 2 Elevations



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# Conceptual Landscape Plan



**PLANTING LEGEND**

Symbol	Plant Name	Quantity	Notes
[Large Green Circle]	Large Tree	1	
[Medium Green Circle]	Medium Tree	1	
[Small Green Circle]	Small Tree	1	
[Large Green Circle]	Large Tree	1	
[Medium Green Circle]	Medium Tree	1	
[Small Green Circle]	Small Tree	1	
[Large Green Circle]	Large Tree	1	
[Medium Green Circle]	Medium Tree	1	
[Small Green Circle]	Small Tree	1	
[Large Green Circle]	Large Tree	1	
[Medium Green Circle]	Medium Tree	1	
[Small Green Circle]	Small Tree	1	

**PLANTING LEGEND**

Symbol	Plant Name	Quantity	Notes
[Large Green Circle]	Large Tree	1	
[Medium Green Circle]	Medium Tree	1	
[Small Green Circle]	Small Tree	1	
[Large Green Circle]	Large Tree	1	
[Medium Green Circle]	Medium Tree	1	
[Small Green Circle]	Small Tree	1	
[Large Green Circle]	Large Tree	1	
[Medium Green Circle]	Medium Tree	1	
[Small Green Circle]	Small Tree	1	
[Large Green Circle]	Large Tree	1	
[Medium Green Circle]	Medium Tree	1	
[Small Green Circle]	Small Tree	1	

Figure 3-4

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**COUNTY OF RIVERSIDE  
ENVIRONMENTAL ASSESSMENT FORM: INITIAL STUDY**

**Environmental Assessment (CEQ / EA) Number:** CEQ210040  
**Project Case Type (s) and Number(s):** PPT210022, TPM38147  
**Lead Agency Name:** County of Riverside Planning Department  
**Address:** 4080 Lemon Street 12<sup>th</sup> Floor, Riverside, CA 92501  
**Contact Person:** Manuel Baeza  
**Telephone Number:** (951) 955-3200  
**Applicant's Name:** Dedeaux Properties  
**Applicant's Address:** 100 Wilshire Boulevard, Suite 250, Santa Monica, CA 90401

**I. PROJECT INFORMATION**

**Project Description:** The applicant for the proposed Project is requesting approval from the County of Riverside to construct two warehouse buildings totaling 98,940 square feet (SF), parking lot, ornamental landscaping, and associated infrastructure. The proposed buildings would result in an FAR of 0.24, which is below the allowable maximum FAR of 0.60 for the Light Industrial land use designation. Figure 3-1, *Conceptual Site Plan*, illustrates the proposed site plan.

**A. Type of Project:** Site Specific ; Countywide ; Community ; Policy .

**B. Total Project Area:** 9.43 acres

<b>Residential Acres:</b>	<b>Lots:</b>	<b>Units:</b>	<b>Projected No. of Residents:</b>
<b>Commercial Acres:</b>	<b>Lots:</b>	<b>Sq. Ft. of Bldg. Area:</b>	<b>Est. No. of Employees:</b>
<b>Industrial Acres:</b> 9.43 ac	<b>Lots:</b> 1	<b>Sq. Ft. of Bldg. Area:</b> 98,940 SF	<b>Est. No. of Employees:</b> 28
<b>Other:</b>			

**C. Assessor's Parcel No(s):** 314-091-005

**Street References:** The Project is located west of Seaton Avenue, north of Perry Street, and east of Beck Street.

**D. Section, Township & Range Description or reference/attach a Legal Description:** Section 2, Township 4 South, Range 4 West

**E. Brief description of the existing environmental setting of the project site and its surroundings:** The Project site comprises one parcel encompassing approximately 9.43 acres. This parcel is identified as Riverside County Assessor's Parcel Number 314-091-005. The parcel consists of vacant disturbed land. The site is relatively flat with a gentle slope in the easterly direction. The Project site contains moderate vegetation consisting of grasses, weeds, and trees. The Project site has a General Plan Land Use designation of Light Industrial (LI) and zoning classifications of Industrial Park (I-P) and Manufacturing, Service Commercial (M-SC). The western portion of the site is zoned I-P and the western portion of the site is zoned M-SC. The Project site is located in a primarily developed area.

**II. APPLICABLE GENERAL PLAN AND ZONING REGULATIONS**

**A. General Plan Elements/Policies:**

1. **Land Use:** The Project site has a General Plan land use designation of Light Industrial (LI). The General Plan states that the LI land use designation is intended for industrial and related uses including warehousing/distribution, assembly and light manufacturing, repair facilities, and supporting retail uses at an allowable Floor Area Ratio (FAR) of 0.25-0.60. The Project is consistent with the land use designation as it would provide two speculative warehouse buildings at an FAR of 0.24.
2. **Circulation:** The Project would result in a trip generation of approximately 625 daily passenger car equivalent (PCE) trips including 88 PCE trips during the AM peak hour and 79 PCE trips during the PM peak hour.
3. **Multipurpose Open Space:** The Project is located within a designated area requiring surveys for burrowing owl. As a result, the General Biological Assessment Report that was prepared for the Project conducted the habitat assessment outlined by the MSHCP. Proposed underground infiltration systems would be located to the east of each building. A water clarifier is proposed for pretreatment ahead of the underground infiltration system. The proposed Project would extend Perris Valley Area Drain Plan Lateral F-1 to the west side of the site. Lateral F-1 currently connects to a 48-inch storm drain in Seaton Avenue. Overflows in excess of water quality capture volumes would be directed to Lateral F-1. The Project would not conflict with the Multipurpose Open Space Element.
4. **Safety:** The proposed Project is not located within any special hazard zone (including fault zone, high liquefaction, dam inundation zone, high fire hazard area, etc.). The proposed Project has allowed for sufficient provision of emergency response services to the future users of this Project through the design and payment of development impact fees. The proposed Project meets with all other applicable Safety Element policies.
5. **Noise:** The Project will not generate noise levels in excess of standards established in the General Plan or noise ordinance. The Project meets all other applicable Noise Element Policies.
6. **Housing:** The Project would develop and operate two warehouse buildings on the undeveloped site, which has been planned for Light Industrial uses. The Project would not require relocation of existing residential and does not include residential uses. Therefore, no impacts related to housing would result from the Project.
7. **Air Quality:** The proposed Project would follow South Coast Air Quality Management District (SCAQMD) policies to control any fugitive dust during grading and construction activities and would not exceed air quality emissions thresholds during either construction or operation of the Project. The proposed Project meets all other applicable Air Quality element policies.
8. **Healthy Communities:** The Project would not result in any air quality, hazardous materials, noise or other impacts that would affect Healthy Communities. Thus, the Project would not result in conflicts with the Healthy Communities policies.

**Environmental Justice Policies:** The Project would develop and operate two speculative warehouse buildings on the undeveloped site, which has been planned for Light Industrial uses. The Project site is located within the Mead Valley Environmental Justice Community. In compliance with General Plan Policy HC 15.1, multiple outreach events have been conducted during the planning process for the Project. Additionally, the Project complies with all applicable Environmental Justice Policies and the applicant will contribute towards trail improvements, bus shelter improvements, and school programs in the Mead Valley Area.

**B. General Plan Area Plan(s):** Mead Valley Area Plan

**C. Foundation Component(s):** Community Development

**D. Land Use Designation(s):** Light Industrial

**E. Overlay(s), if any:** N/A

**F. Policy Area(s), if any:** N/A

**G. Adjacent and Surrounding:**

1. **General Plan Area Plan(s):** Mead Valley Area Plan to the north, south, east, and west.
2. **Foundation Component(s):** Rural Community to the north and west and Community Development to the south and east.
3. **Land Use Designation(s):** Very Low Density Residential to the north. Light Industrial to the south. Light Industrial to the east. Very Low Density Residential to the west.
4. **Overlay(s), if any:** N/A
5. **Policy Area(s), if any:** N/A

**H. Adopted Specific Plan Information**

1. **Name and Number of Specific Plan, if any:** N/A
2. **Specific Plan Planning Area, and Policies, if any:** N/A

**I. Existing Zoning:** Manufacturing, Service Commercial (M-SC) and Industrial Park (I-P)

**J. Proposed Zoning, if any:** N/A

**K. Adjacent and Surrounding Zoning:** Light Agriculture, 1 acre min. (A-1-1) and Rural Residential, ½ acre min. (R-R-1/2) to the north. Manufacturing, Service Commercial (M-SC) to the south. Industrial Park (I-P) followed by Manufacturing, Service Commercial (M-SC) to the east. Light Agriculture, 1 acre min. (A-1-1) to the west.

### III. ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED

The environmental factors checked below ( x ) would be potentially affected by this project, involving at least one impact that is a "Potentially Significant Impact" or "Less than Significant with Mitigation Incorporated" as indicated by the checklist on the following pages.

- |  |   |   |
|--|---|---|
| <input type="checkbox"/> Aesthetics                      | <input type="checkbox"/> Hazards & Hazardous Materials        | <input type="checkbox"/> Recreation                           |
| <input type="checkbox"/> Agriculture & Forest Resources  | <input type="checkbox"/> Hydrology / Water Quality            | <input type="checkbox"/> Transportation                       |
| <input type="checkbox"/> Air Quality                     | <input type="checkbox"/> Land Use / Planning                  | <input checked="" type="checkbox"/> Tribal Cultural Resources |
| <input checked="" type="checkbox"/> Biological Resources | <input type="checkbox"/> Mineral Resources                    | <input type="checkbox"/> Utilities / Service Systems          |
| <input checked="" type="checkbox"/> Cultural Resources   | <input type="checkbox"/> Noise                                | <input type="checkbox"/> Wildfire                             |
| <input type="checkbox"/> Energy                          | <input checked="" type="checkbox"/> Paleontological Resources |   |

Geology / Soils

Population / Housing

Mandatory Findings of Significance

Greenhouse Gas Emissions

Public Services

#### IV. DETERMINATION

On the basis of this initial evaluation:

##### **A PREVIOUS ENVIRONMENTAL IMPACT REPORT/NEGATIVE DECLARATION WAS NOT PREPARED**

I find that the proposed project **COULD NOT** have a significant effect on the environment, and a **NEGATIVE DECLARATION** will be prepared.

I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because revisions in the project, described in this document, have been made or agreed to by the project proponent. **A MITIGATED NEGATIVE DECLARATION** will be prepared.

I find that the proposed project **MAY** have a significant effect on the environment, and an **ENVIRONMENTAL IMPACT REPORT** is required.

##### **A PREVIOUS ENVIRONMENTAL IMPACT REPORT/NEGATIVE DECLARATION WAS PREPARED**

I find that although the proposed project could have a significant effect on the environment, **NO NEW ENVIRONMENTAL DOCUMENTATION IS REQUIRED** because (a) all potentially significant effects of the proposed project have been adequately analyzed in an earlier EIR or Negative Declaration pursuant to applicable legal standards, (b) all potentially significant effects of the proposed project have been avoided or mitigated pursuant to that earlier EIR or Negative Declaration, (c) the proposed project will not result in any new significant environmental effects not identified in the earlier EIR or Negative Declaration, (d) the proposed project will not substantially increase the severity of the environmental effects identified in the earlier EIR or Negative Declaration, (e) no considerably different mitigation measures have been identified and (f) no mitigation measures found infeasible have become feasible.

I find that although all potentially significant effects have been adequately analyzed in an earlier EIR or Negative Declaration pursuant to applicable legal standards, some changes or additions are necessary but none of the conditions described in California Code of Regulations, Section 15162 exist. An **ADDENDUM** to a previously-certified EIR or Negative Declaration has been prepared and will be considered by the approving body or bodies.

I find that at least one of the conditions described in California Code of Regulations, Section 15162 exist, but I further find that only minor additions or changes are necessary to make the previous EIR adequately apply to the project in the changed situation; therefore a **SUPPLEMENT TO THE ENVIRONMENTAL IMPACT REPORT** is required that need only contain the information necessary to make the previous EIR adequate for the project as revised.

I find that at least one of the following conditions described in California Code of Regulations, Section 15162, exist and a **SUBSEQUENT ENVIRONMENTAL IMPACT REPORT** is required: (1) Substantial changes are proposed in the project which will require major revisions of the previous EIR or negative declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; (2) Substantial changes have occurred with respect to the circumstances under which the project is undertaken which will require major revisions of the previous EIR or negative declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; or (3) New information of substantial importance, which was not known and could not have been known with the exercise of reasonable diligence at the time the previous EIR was certified as complete or the negative declaration was adopted, shows any the following:(A) The project will have one or more significant effects not discussed in the previous EIR or negative declaration;(B) Significant effects previously examined will be substantially more severe than shown in the previous EIR or negative

declaration;(C) Mitigation measures or alternatives previously found not to be feasible would in fact be feasible, and would substantially reduce one or more significant effects of the project, but the project proponents decline to adopt the mitigation measures or alternatives; or,(D) Mitigation measures or alternatives which are considerably different from those analyzed in the previous EIR or negative declaration would substantially reduce one or more significant effects of the project on the environment, but the project proponents decline to adopt the mitigation measures or alternatives.

*Manuel Baeza*

Signature

February 28, 2022

Date

Manuel Baeza

Printed Name

For: John Hildebrand  
*Planning Director*

**V. ENVIRONMENTAL ISSUES ASSESSMENT**

In accordance with the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000-21178.1), this Initial Study has been prepared to analyze the proposed project to determine any potential significant impacts upon the environment that would result from construction and implementation of the project. In accordance with California Code of Regulations, Section 15063, this Initial Study is a preliminary analysis prepared by the Lead Agency, the County of Riverside, in consultation with other jurisdictional agencies, to determine whether a Negative Declaration, Mitigated Negative Declaration, or an Environmental Impact Report is required for the proposed project. The purpose of this Initial Study is to inform the decision-makers, affected agencies, and the public of potential environmental impacts associated with the implementation of the proposed project.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>AESTHETICS</b> Would the project:				
<b>1. Scenic Resources</b>				
a) Have a substantial effect upon a scenic highway corridor within which it is located?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings and unique or landmark features; obstruct any prominent scenic vista or view open to the public; or result in the creation of an aesthetically offensive site open to public view?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) In non-urbanized areas, substantially degrade the existing visual character or quality of public views of the site and its surroundings? (Public views are those that are experienced from publicly accessible vantage points.) If the project is in an urbanized area, would the project conflict with applicable zoning and other regulations governing scenic quality?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Source(s):** Riverside County General Plan Figure C-8 "Scenic Highways"

**a) Would the Project have a substantial effect upon a scenic highway corridor within which it is located?**

**No Impact.** As shown on Riverside County General Plan Figure C-8, the Project site is not located within or near a scenic highway. The closest Officially Designated State Scenic Highway is State Route 91 near Yorba Linda, approximately 23 miles from the Project site. The closest Eligible State Scenic Highway is State Route 74 in the City of Perris, located approximately 5 miles from the Project site. The closest County designated scenic highway is Cajalco Road, located approximately 0.85 mile from the Project site. The Project site is not visible from Cajalco Road. Therefore, due to the distance of the Project site from either a designated or eligible State or County scenic highway, the proposed Project would not have a substantial effect upon a scenic highway corridor within which it is located and there would be no impacts.

**b) Would the Project substantially damage scenic resources, including, but not limited to, trees, rock outcroppings and unique or landmark features; obstruct any prominent scenic vista or**

**view open to the public; or result in the creation of an aesthetically offensive site open to public view?**

**Less than Significant.** The Project site is currently vacant and is located in a developed area with residential uses and multiple industrial developments. The Riverside County General Plan describes that in addition to scenic corridors, scenic resources include natural landmarks and prominent or unusual features of the landscape; however, the General Plan does not designate specific scenic resources. Views of the surrounding foothills are available from public vantage points on Seaton Avenue, Markham Lane, and Beck Street.

The Project would develop two industrial warehouse buildings that would be set back from the adjacent streets and would not encroach into the existing public long-distance views. The proposed Project includes setbacks of 52 feet from the property line to the north, 62 feet from the property line to the south, 90 feet from Seaton Avenue, and 321 feet from Beck Street to the proposed buildings. All setbacks would be larger than what is required by County Ordinance No. 348. Long range views of the surrounding foothills would continue to be available from public vantage points on surrounding streets. Therefore, the Project would not substantially damage scenic resources, obstruct any prominent scenic vista or view open to the public, or result in the creation of an aesthetically offensive site. As such, impacts would be less than significant.

**c) Would the Project, in non-urbanized areas, substantially degrade the existing visual character or quality of public views of the site and its surroundings? (Public views are those that are experienced from publicly accessible vantage points.) If the project is in an urbanized area, would the project conflict with applicable zoning and other regulations governing scenic quality?**

**Less than Significant.** The following regulatory standards are applicable to development of the Project site, and would ensure the preservation of visual character and quality through architecture, landscaping, and site planning:

**Riverside County Ordinance Nos. 348**

The following provisions of the Ordinance No. 348 are intended to minimize adverse aesthetic impacts associated with new development projects and are relevant to the proposed Projects.

**Table AES-1: Development Standard Consistency**

County Development Standard		Project Consistency
Minimum Lot Size	20,000 square feet	410,670 square feet
Maximum Building Height	35 feet at the yard setback line, any portion exceeding 35 feet shall be set back from each yard setback line not less than two feet for each one foot in height that is in excess of thirty-five (35) feet	35-foot building, 38 feet at the parapet, which are setback from the lot lines by at least 52 feet.
Minimum Landscape Area	15 percent	16.8%
Maximum Floor Area Ratio	0.25-0.60	0.24
Minimum Street Setback	25 feet w/10-foot landscape setback	22-foot landscape setback for 90-foot building setback from Seaton Avenue right-of-way 31-foot landscape from Beck Street right-of-way

Parking	1 space/250 sq. ft. of office area, PLUS 1 space/500 sq. ft. of fabrication area, PLUS 1 space/1,000 sq. ft. of storage area, AND 1 space/500 sq. ft. of floor plan which is uncommitted to any type of use (68 stalls total)	70 stalls
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The proposed Project would change the scenic quality of the site from an undeveloped site and would construct two approximately 49,470 square foot warehouse buildings, parking lot, ornamental landscaping, and associated infrastructure. The proposed buildings would result in an FAR of 0.24 and be approximately 35 feet tall and 38 feet tall at the parapet. The Project site is within an urbanizing area that is mostly developed with residential uses, light industrial uses, and vacant lots planned for industrial development. The Project applicant would develop two new 35-foot-high industrial warehouse buildings with a parapet extending to 38 feet maximum that would be set back from adjacent streets and would not encroach into public long-distance views. The proposed structures would be painted concrete and have accented glass windows and doors. The Project site is located on the slope of an incline up to Beck Street, which would visually reduce the size and bulk of the structures from Beck Street. Parking and landscaping areas would be located in the setback space between roadways and buildings, which would minimize the visual scale of the structures. The proposed Project applicant would install landscaping onsite and along adjacent streets. Areas adjacent to the buildings would be landscaped with trees and a variety of shrubs and ground covers. Additionally, the layering of landscaping between the proposed building and the surrounding roadways would provide visual depth and distance between the roadways and proposed structures, while functioning as a screen to trailer parking and truck yards. Therefore, while the Project would change the visual character of the site, it would not substantially degrade the existing visual character or quality of public views of the site and its surroundings and impacts would be less than significant.

Plans, Programs, or Policies/Conditions of Approval: None.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

**2. Mt. Palomar Observatory**

a) Interfere with the nighttime use of the Mt. Palomar Observatory, as protected through Riverside County Ordinance No. 655?

Source(s): GIS database, Ord. No. 655 (Regulating Light Pollution)

**a) Would the Project interfere with the nighttime use of the Mt. Palomar Observatory, as protected through Riverside County Ordinance No. 655?**

**Less than Significant.** Mt. Palomar Observatory is located approximately 37 miles southeast of the Project site. The Project site lies within the Mt. Palomar Observatory Special Lighting Area B and is subject to the lighting restrictions established by Riverside County Ordinance No. 655 to control the effects of skyglow and to reduce the impact of development upon the Mt. Palomar Observatory. Zone B includes areas between 15 and 45 miles from the observatory. Areas within Zone B are required to meet specific lighting design standards to minimize light that could have a detrimental effect on



Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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astronomical observation and research. To ensure that lighting meets the required standards, the proposed Project is required to submit lighting plans for approval as part of the Project permitting process. Thus, through the County's development review process and conditions of approval, the proposed Project would be required to comply with Riverside County Ordinance No. 655, included as PPP AES-1, and potential Project interference with nighttime use of the Mt. Palomar Observatory would also be less than significant.

Plans, Programs, or Policies/Conditions of Approval: None.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

3. Other Lighting Issues	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
a) Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Expose residential property to unacceptable light levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source(s): On-site Inspection, Project Application Description

**a) Would the Project create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?**

**Less than Significant.** The Project proposes to develop two approximately 49,470 square foot warehouse buildings, which would result in an FAR of 0.24. Development of the Project would introduce new sources of light and glare into the area from street lighting, parking lot, and outdoor lighting. The proposed Project is located in a developed area with other industrial developments. Spill of light onto surrounding properties and "night glow" would be reduced by using hoods and other design features on the light fixtures used within the proposed Project. Implementation of the existing regulatory requirements per Riverside County Ordinance No. 915 (Outdoor Lighting), included as PPP AES-2, would occur during the County's permitting process and would ensure that impacts related to light and glare are less than significant.

The proposed building materials do not consist of highly reflective materials, lights would be shielded consistent with Ordinance No. 915 requirements, and the proposed landscaping along Project boundaries would screen sources of light and reduce the potential for glare. The proposed Project would create limited new sources of light or glare from security and site lighting but would not adversely affect day or nighttime views in the area given the similarity of the existing lighting in the surrounding urbanizing environment. Thus, the Project would not create a new source of substantial light or glare which would adversely affect day or nighttime views in the area, and impacts would be less than significant.

**b) Would the Project expose residential property to unacceptable light levels?**

**Less than Significant.** Existing residential uses are located to the west across Beck Street and directly adjacent to the north of the Project site. However, the Project would adhere to all applicable Riverside

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

County lighting regulations that specify lighting be hooded and angled to focus on the Project site and away from residential uses. The proposed Project would be required to submit lighting plans for approval as part of the Project permitting process per Ordinance No. 655 and Ordinance No. 915 to ensure compliance with the Riverside County lighting requirements. This process would ensure that residential property and other light sensitive uses are not exposed to unacceptable levels of light, and impacts related to levels of light would be less than significant.

**Plans, Programs, or Policies/Conditions of Approval:**

**PPP AES-1: Lighting Plans.** All parking lot lights and other outdoor lighting shall be hooded and directed so as not to shine directly upon adjoining property or public rights-of-way, and shall be shown on electrical plans submitted to the Department of Building and Safety for plan check approval and shall comply with the requirements of Riverside County Ordinance No. 655 and the Riverside County Comprehensive General Plan.

**PPP AES-2: Outdoor Lighting.** All outdoor luminaires in shall be appropriately located and adequately shielded and directed such that no direct light falls outside the parcel of origin, or onto the public right-of-way. In addition, outdoor luminaires shall not blink, flash, or rotate and shall be shown on electrical plans submitted to the Department of Building and Safety for plan check approval and shall comply with the requirements of Riverside County Ordinance No. 915.

**Mitigation:** No mitigation is required.

**Monitoring:** No monitoring is required.

**AGRICULTURE & FOREST RESOURCES** Would the project:

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>4. Agriculture</b>				
a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland) as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Conflict with existing agricultural zoning, agricultural use or with land subject to a Williamson Act contract or land within a Riverside County Agricultural Preserve?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Cause development of non-agricultural uses within 300 feet of agriculturally zoned property (Ordinance No. 625 "Right-to-Farm")?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Source(s):** Riverside County General Plan Figure OS-2 "Agricultural Resources," GIS database, Project Application Materials

a) **Would the Project convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland) as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?**

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

**No Impact.** The Project is identified by the Farmland Mapping and Monitoring Program as Other Land. Additionally, none of the surrounding areas are designated as Prime Farmland, Unique Farmland, or Farmland of Statewide Importance. Therefore, the Project would not convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland) as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use and no impacts would occur.

**b) Would the Project conflict with existing agricultural zoning, agricultural use or with land subject to a Williamson Act contract or land within a Riverside County Agricultural Preserve?**

**No Impact.** The Project site is designated by the Riverside County General Plan as Light Industrial (LI) and zoning classification of Industrial Park (I-P) and Manufacturing, Service Commercial (M-SC). The Project site is vacant and undeveloped; and no agricultural activities occur onsite. Therefore, a conflict with an agricultural zone or use would not occur. In addition, the Project site is not subject to a Williamson Act contract and is not land within a Riverside County Agricultural Preserve. As a result, impacts related to conflict with agricultural zoning, agricultural use, a Williamson Act contract, or a Riverside County Agricultural Preserve from implementation of the proposed Project would not occur.

**c) Would the Project cause development of non-agricultural uses within 300 feet of agriculturally zoned property (Ordinance No. 625 “Right-to-Farm”)?**

**Less than Significant.** Properties to the north and west of the Project site are zoned Light Agriculture (A-1). However, none of these properties are currently utilized for agricultural activity or operation, including but not limited to, the cultivation and tillage of the soil, dairying, the production, cultivation, growing, and harvesting of any agricultural commodity, including timber, viticulture, apiculture, or horticulture, the raising of livestock, fur bearing animals, fish, or poultry, and any practices performed by a farmer or on a farm as incident to or in conjunction with such farming operations, including preparation for market, delivery to storage or to market, or to carriers for transportation to market. Additionally, the Project would not result in the development of industrial uses that would impact agricultural uses in the area. Therefore, while the Project would cause development of non-agricultural uses within 300 feet of agriculturally zoned property, impacts to agricultural zoned property would be less than significant.

**d) Would the Project involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use?**

**No Impact.** The proposed Project includes the construction of two new light industrial warehouse buildings consistent with the land use designation and zoning of the Project site. There is no existing agricultural onsite or in the surrounding area. Development of the Project site would not convert farmland to other uses. Additionally, the areas surrounding the Project site are designated by the Farmland Mapping and Monitoring Program as Urban Built-Up Land, Other Land, and Farmland of Local Importance. There is no state-designated farmland within the vicinity of the site. Therefore, the development of the proposed Project would not result in the conversion of Farmland to non-agricultural use and no impacts would occur.

Plans, Programs, or Policies/Conditions of Approval: None.

Mitigation: No mitigation is required.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Monitoring: No monitoring is required.

<b>5. Forest</b>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a) Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code section 12220(g)), timberland (as defined by Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Govt. Code section 51104(g))?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Result in the loss of forest land or conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source(s): Riverside County General Plan Figure OS-3a "Forestry Resources Western Riverside County Parks, Forests, and Recreation Areas," Figure OS-3b "Forestry Resources Eastern Riverside County Parks, Forests, and Recreation Areas," Project Application Materials

**a) Would the Project conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code section 12220(g)), timberland (as defined by Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Govt. Code section 51104(g))?**

**No Impact.** The Project site is undeveloped and located in an urbanizing area of the County. There is no forest land or resources on or in proximity to the Project site. Additionally, the Project site is not designated or zoned for forest or timberland or used for foresting. As such, development of the proposed Project would not conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code section 12220(g)), timberland (as defined by Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Govt. Code section 51104(g)) and no impact would occur.

**b) Would the Project result in the loss of forest land or conversion of forest land to non-forest use?**

**No Impact.** The Project site is located in a developed area of the County; there is no forest land in the vicinity of the Project site. Therefore, development of the proposed Project would not cause loss of forest land or convert forest land to non-forest use. No impacts would occur to forest land or timberlands.

**c) Would the Project involve other changes in the existing environment which, due to their location or nature, could result in conversion of forest land to non-forest use?**

**No Impact.** The Project site is located in a developed area of the County and there is no existing forest land or timberland on the Project site or in the Project vicinity, and the Project would not involve other changes that could result in the conversion of forest land to non-forest uses, and no impact would occur.

Plans, Programs, or Policies/Conditions of Approval: None.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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**Mitigation:** No mitigation is required.

**Monitoring:** No monitoring is required.

<b>AIR QUALITY</b> Would the project:				
<b>6. Air Quality Impacts</b>				
a) Conflict with or obstruct implementation of the applicable air quality plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Expose sensitive receptors, which are located within one (1) mile of the project site, to substantial pollutant concentrations?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Result in other emissions (such as those leading to odors) adversely affecting a substantial number of people?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Source(s):** Riverside County General Plan, Riverside County Climate Action Plan (“CAP”); SCAQMD CEQA Air Quality Handbook; CalEEMod Emission Summary, prepared by Vince Mirabella, July 2021 (Appendix A); Health Risk Assessment, prepared by Vince Mirabella, July 2021, (Appendix B).

**a) Would the Project conflict with or obstruct implementation of the applicable air quality plan?**

**Less than Significant.** The Project site is located in the South Coast Air Basin and is under the jurisdiction of the South Coast Air Quality Management District (SCAQMD). The SCAQMD and the Southern California Association of Governments (SCAG) are responsible for preparing the Air Quality Management Plan (AQMP), which addresses federal and state Clean Air Act (CAA) requirements. The AQMP details goals, policies, and programs for improving air quality in the Basin. In preparation of the AQMP, SCAQMD and SCAG uses regional growth projections to forecast, inventory, and allocate regional emissions from land use and development-related sources. For purposes of analyzing consistency with the AQMP, if a proposed Project would result in growth that is substantially greater than what was anticipated, then the proposed Project would conflict with the AQMP. On the other hand, if a Project’s density is within the anticipated growth of a jurisdiction, its emissions would be consistent with the assumptions in the AQMP, and the Project would not conflict with SCAQMD’s attainment plans. In addition, the SCAQMD considers a Project consistent with the AQMP if the Project would not result in an increase in the frequency or severity of existing air quality violations or cause a new violation.

Furthermore, the South Coast Air Basin (SCAB) is in a non-attainment status for federal ozone standards, and state and federal particulate matter standards. The SCAB has a maintenance status for federal PM<sub>10</sub> standards. Any development in the SCAB, including the proposed Project, could cumulatively contribute to these pollutant violations. Should construction or operation of the proposed Project exceed these thresholds, a significant impact could occur; however, if estimated emissions are less than the thresholds, impacts would be considered less than significant.

The proposed Project applicant would develop the site with two industrial warehouse buildings. The proposed Project would be consistent with the land use and zoning classifications of the site. As

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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discussed below, the emissions generated by the construction and operation of the proposed Project would not exceed thresholds, and the Project would not result in an increase in the frequency or severity of existing air quality violations or cause a new violation. Therefore, impacts related to conflict with the AQMP from the proposed Project would be less than significant.

**b) Would the Project result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard?**

**Less than Significant.** The SCAB is in non-attainment status for federal ozone standards, and state and federal particulate matter standards. The SCAB is designated as a maintenance area for federal PM<sub>10</sub> standards. Any development in the Basin, including the proposed Project could cumulatively contribute to these pollutant violations. Evaluation of the cumulative air quality impacts of the proposed Project has been completed pursuant to SCAQMD's cumulative air quality impact methodology. SCAQMD states that if an individual project results in air emissions of criteria pollutants (ROG, CO, NO<sub>x</sub>, SO<sub>x</sub>, PM<sub>10</sub>, and PM<sub>2.5</sub>) that exceed the SCAQMD's recommended daily thresholds for project-specific impacts, then it would also result in a cumulatively considerable net increase of the criteria pollutant(s) for which the Project region is in non-attainment under an applicable federal or state ambient air quality standard. SCAQMD has established daily mass thresholds for regional pollutant emissions, which are shown in Table AQ-1.

**Table AQ-1: SCAQMD Regional Daily Emissions Thresholds**

Pollutant	Construction (lbs/day)	Operations (lbs/day)
NO <sub>x</sub>	100	55
ROG	75	55
PM <sub>10</sub>	150	150
PM <sub>2.5</sub>	55	55
SO <sub>x</sub>	150	150
CO	550	550
Lead	3	3

Source: CalEEMod Emission Summary (Appendix A)

**Construction**

Construction activities associated with the proposed Project would generate pollutant emissions from the following: (1) site preparation, (2) grading, (3) building construction, (4) paving, and (5) architectural coating. The amount of emissions generated on a daily basis would vary, depending on the intensity and types of construction activities occurring.

It is mandatory for all construction projects to comply with several SCAQMD Rules, including Rule 403 for controlling fugitive dust, PM<sub>10</sub>, and PM<sub>2.5</sub> emissions from construction activities. Rule 403 requirements include, but are not limited to, applying water in sufficient quantities to prevent the generation of visible dust plumes, applying soil binders to uncovered areas, reestablishing ground cover as quickly as possible, utilizing a wheel washing system to remove bulk material from tires and vehicle undercarriages before vehicles exit the Project site, covering all trucks hauling soil with a fabric cover and maintaining a freeboard height of 12-inches, and maintaining effective cover over exposed areas.

Compliance with Rule 403, included as PPP AQ-2, was accounted for in the construction emissions modeling. In addition, implementation of SCAQMD Rule 1113, included as PPP AQ-3, which governs the VOC content in architectural coating, paint, thinners, and solvents was accounted for in construction

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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emissions modeling. As shown in Table AQ-2, the CalEEMod results indicate that construction emissions generated by the proposed Project would not exceed SCAQMD regional thresholds. Therefore, construction activities would result in a less than significant.

**Table AQ-2: Project Construction Emissions and Regional Thresholds**

Construction Activity	Maximum Daily Regional Construction Emissions (pounds/day)					
	ROG	NO <sub>x</sub>	CO	SO <sub>x</sub>	PM <sub>10</sub>	PM <sub>2.5</sub>
2022						
Site Preparation	5.0	53.4	23.2	0.1	7.6	4.8
Grading	3.7	50.3	21.6	0.2	5.6	2.8
Building Construction	2.5	18.9	24.2	<0.1	3.3	1.4
Paving	2.2	11.1	15.2	<0.1	0.8	1.4
Architectural Coating	65.9	1.5	3.2	<0.1	0.6	4.7
<b>Maximum Daily Emissions</b>	<b>65.9</b>	<b>53.4</b>	<b>24.2</b>	<b>0.1</b>	<b>7.6</b>	<b>4.8</b>
<b>SCAQMD Significance Thresholds</b>	<b>75</b>	<b>100</b>	<b>550</b>	<b>150</b>	<b>150</b>	<b>55</b>
<b>Emissions Exceed Thresholds?</b>	<b>No</b>	<b>No</b>	<b>No</b>	<b>No</b>	<b>No</b>	<b>No</b>
<small>(ROG = reactive organic gases    NO<sub>x</sub> = oxides of nitrogen    PM<sub>10</sub> = particulate matter 10 microns or less in diameter            PM<sub>2.5</sub> = particulate matter 2.5 microns or less in diameter    CO = carbon monoxide    SO<sub>x</sub> = sulfur oxides            Source: CalEEMod Emission Summary (Appendix A)</small>						

**Operation**

Implementation of the proposed Project would result in long-term regional emissions of criteria air pollutants and ozone precursors associated with area sources, such as natural gas consumption, landscaping, applications of architectural coatings, and consumer products. Operation of the proposed Project would include emissions from vehicles traveling to the Project site and from vehicles in the parking lots and loading areas. Area source emissions would occur from operation of the two warehouse buildings with 20 percent cold storage uses and from operation of proposed fire pumps within each building. Additionally, it was assumed that 20 percent of all heavy-duty diesel trucks would be equipped with a transportation refrigeration unit (TRU), which would operate while trucks travel to and from the site and while trucks are at the loading docks.

Operational emissions associated with the proposed Project were modeled using CalEEMod and are presented in Table AQ-3. As shown, the proposed Project would result in long-term regional emissions of criteria pollutants, however, these emissions would be below the SCAQMD's applicable thresholds. Therefore, the Project's operational emissions would not exceed the NAAQS and CAAQS, would not result in a cumulatively considerable net increase of any criteria pollutant, and impacts would be less than significant.

Potentially Significant Impact      Less than Significant with Mitigation Incorporated      Less Than Significant Impact      No Impact

**Table AQ-3: Project Operational Emissions and Regional Thresholds**

Operational Activity	Maximum Daily Regional Operational Emissions (pounds/day)				
	ROG	NO <sub>x</sub>	CO	PM <sub>10</sub>	PM <sub>2.5</sub>
Area	2.3	<0.1	<0.1	<0.1	<0.1
Energy	<0.1	0.3	0.3	<0.1	<0.1
Mobile Vehicles- Passenger and Local Delivery Trucks	0.8	2.2	11.8	3.9	1.1
Mobile Vehicles- Haul Trucks	0.2	10.0	2.1	2.5	0.8
Transportation Refrigeration Units	0.5	3.9	3.0	<0.1	<0.1
Stationary Sources (Fire Pumps)	0.7	2.1	1.9	0.1	0.1
Off-road Sources (Forklifts)	0.1	5.8	70.1	0.1	0.1
<b>Total Project Operational Emissions</b>	<b>4.6</b>	<b>20.9</b>	<b>89.2</b>	<b>6.8</b>	<b>2.3</b>
<b>SCAQMD Significance Threshold</b>	<b>55</b>	<b>55</b>	<b>550</b>	<b>150</b>	<b>55</b>
<b>Exceed Threshold?</b>	<b>No</b>	<b>No</b>	<b>No</b>	<b>No</b>	<b>No</b>

NO<sub>x</sub> = oxides of nitrogen    PM<sub>10</sub> = particulate matter 10 microns or less in diameter    ROG = reactive organic gases  
 PM<sub>2.5</sub> = particulate matter 2.5 microns or less in diameter    CO = carbon monoxide  
 Maximum of daily Summer or winter season emissions presented  
 All Sox emissions are <0.1 pounds/day  
 Source: CalEEMod Emission Summary (Appendix A)

**c) Would the Project expose sensitive receptors, which are located within one (1) mile of the project site, to substantial pollutant concentrations?**

**Less than Significant.** The SCAQMD's *Final Localized Significance Threshold Methodology* (SCAQMD 2008) recommends the evaluation of localized NO<sub>x</sub>, CO, PM<sub>10</sub>, and PM<sub>2.5</sub> construction-related impacts to sensitive receptors in the immediate vicinity of the Project site. Such an evaluation is referred to as a localized significance threshold (LST) analysis. According to the SCAQMD's *Final Localized Significance Threshold Methodology*, "off-site mobile emissions from the Project should not be included in the emissions compared to the LSTs" (SCAQMD 2008). SCAQMD has developed LSTs that represent the maximum emissions from a project that are not expected to cause or contribute to an exceedance of the most stringent applicable federal or state ambient air quality standards, and thus would not cause or contribute to localized air quality impacts. LSTs are developed based on the ambient concentrations of NO<sub>x</sub>, CO, PM<sub>10</sub>, and PM<sub>2.5</sub> pollutants for each of the 38 source receptor areas (SRAs) in the Basin. The City of Perris is located within SRA 24 (Perris Valley).

Sensitive receptors can include residences, schools, playgrounds, childcare centers, athletic facilities. The nearest sensitive receptors are existing residences are located adjacent to the Project site. For the purpose of the air quality analysis and modeling, which utilizes the distance from the property line to the closest sensitive structure for determining LST thresholds, the distance between the Project site boundary and the closest existing residential structure is approximately 10 meters (33 feet) north of the Project. The LST Methodology explicitly states that "It is possible that a project may have receptors closer than 25 meters. Projects with boundaries located closer than 25 meters (82 feet) to the nearest



Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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receptor should use the LSTs for receptors located at 25 meters.” As the existing residence is located less than 25 meters from the Project site, the 25-meter receptor distance is used for evaluation of localized impacts.

**Construction**

Construction of the proposed Project may expose nearby residential sensitive receptors to airborne particulates as well as a small quantity of construction equipment pollutants (i.e., usually diesel-fueled vehicles and equipment). However, construction contractors would be required to implement measures to reduce or eliminate emissions by following SCAQMD’s standard construction practices Rule 402 requires implementation of dust suppression techniques to prevent fugitive dust from creating a nuisance off site. Rule 403 requires that fugitive dust be controlled with best available control measures so that the presence of such dust does not remain visible in the atmosphere beyond the property line of the emission source. As shown in Table AQ-4, Project construction-source emissions would not exceed SCAQMD LSTs and impacts would be less than significant.

**Table AQ-4: Localized Significance Summary of Construction Emissions**

Construction Activity	Maximum Daily Localized Construction Emissions (pounds/day)			
	NO <sub>x</sub>	CO	PM <sub>10</sub>	PM <sub>2.5</sub>
<b>2022</b>				
Site Preparation	53.4	22.5	7.4	4.7
Grading	36.9	18.0	3.4	2.2
Building Construction	15.6	16.4	0.8	0.8
Paving	11.1	14.6	0.6	0.5
Architectural Coating	1.4	1.8	0.1	0.1
<b>Maximum Daily Emissions</b>	<b>53.4</b>	<b>22.5</b>	<b>7.4</b>	<b>4.7</b>
<b>SCAQMD LST</b>	<b>220</b>	<b>1,230</b>	<b>10</b>	<b>6</b>
<b>Emissions Exceed Thresholds?</b>	<b>No</b>	<b>No</b>	<b>No</b>	<b>No</b>
NO <sub>x</sub> = oxides of nitrogen    PM <sub>10</sub> = particulate matter 10 microns or less in diameter PM <sub>2.5</sub> = particulate matter 2.5 microns or less in diameter    CO = carbon monoxide Source: CalEEMod Emission Summary (Appendix A)				

**Operation**

Operation of the proposed Project would include emissions from vehicles traveling to the Project site and from vehicles in the parking lots and loading areas. Area source emissions would occur from operation of the two warehouse buildings with 20 percent cold storage uses and from operation of proposed fire pumps within each building. Additionally, it was assumed that 20 percent of all heavy-duty diesel trucks would be equipped with a TRU, which would travel to and from the site and operate while trucks are at the loading docks. As demonstrated in Table AQ-5, emissions would not exceed SCAQMD LSTs for operations, and impacts would be less than significant.

**Table AQ-5: Localized Significance Summary of Operation Emissions**

Operational Activity	Maximum Daily Localized Emissions (pounds/day)			
	NO <sub>x</sub>	CO	PM <sub>10</sub>	PM <sub>2.5</sub>
Area	<0.1	<0.1	<0.1	<0.1

			Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
Energy	0.3	0.3	<0.1	<0.1		
Mobile Vehicles- Passenger and Local Delivery Trucks	0.2	2.0	0.1	<0.1		
Mobile Vehicles- Haul Trucks	1.1	0.9	<0.1	<0.1		
Transportation Refrigeration Units	1.8	2.6	<0.1	<0.1		
Stationary Sources (Fire Pumps)	2.1	1.9	0.1	0.1		
Off-road Sources (Forklifts)	5.8	70.1	0.1	0.1		
<b>Total Operational Emissions</b>	<b>11.3</b>	<b>77.8</b>	<b>0.4</b>	<b>0.4</b>		
<b>SCAQMD Significance Threshold</b>	<b>270</b>	<b>1,577</b>	<b>4</b>	<b>2</b>		
<b>Exceed Threshold?</b>	<b>No</b>	<b>No</b>	<b>No</b>	<b>No</b>		
NO <sub>x</sub> = oxides of nitrogen    PM <sub>10</sub> = particulate matter 10 microns or less in diameter PM <sub>2.5</sub> = particulate matter 2.5 microns or less in diameter    CO = carbon monoxide Maximum of daily Summer or winter season emissions presented Source: CalEEMod Emission Summary (Appendix A)						

**Diesel Mobile Source Health Risk Analysis.** A Health Risk Assessment (HRA), included as Appendix B, was prepared to evaluate the health risk impacts as a result of exposure to diesel particulate matter (DPM) as a result of heavy-duty diesel trucks entering and leaving the site during operation of the proposed industrial uses. DPM has been identified by the California Air Resources Board (ARB) as a carcinogenic substance responsible for nearly 70 percent of the airborne cancer risk in California. The estimated health risk impacts were compared to the health risk significance thresholds recommended by the SCAQMD for use in CEQA assessments. The County of Riverside has not adopted a numerical significance threshold for cancer risk or non-cancer hazards. Therefore, the significance thresholds recommended by the SCAQMD were adopted for this analysis. The relevant significance thresholds are provided below:

- Cancer Risk: ten (10) persons per million population as the maximum acceptable incremental cancer risk due to exposure to toxic air contaminants (TAC)
- Non-cancer Hazard Index: 1.0

To evaluate DPM emissions vehicles, including trucks with TRUs, were assumed to enter/depart the Project at the southern driveway on Seaton Avenue. Two truck route scenarios were analyzed based on whether Perry Street would be fully developed prior to the completion of Project construction. As shown in Figure AQ-1, in the first scenario where Perry Street is in its existing state, 50 percent of the trucks traveling to and from the site would proceed from the Project site to the I-215 freeway via Seaton Avenue to Commerce Center Drive, south on Harvill Avenue, to the Cajalco Expressway and 50 percent would proceed via Seaton Avenue to Markham Street, north on Harvill Avenue, to Harley Knox Boulevard. As shown in Figure AQ-2, in the second scenario where Perry Street is developed, 50 percent of the trucks would proceed from the Project site to the I-215 freeway via Seaton Avenue to Perry Street, south on Harvill Avenue to the Cajalco Expressway and 50 percent would proceed via Seaton Avenue to Markham Street, north on Harvill Avenue to Harley Knox Boulevard. The nearest sensitive receptors are existing residences to the north of the Project on Seaton Avenue. In addition, the nearest worker receptors are located along the boundaries of the Project site to the south at the existing industrial buildings.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Table AQ-6 provides a summary of the HRA modeling of cancer risks and chronic non-cancer hazards resulting from the Project's operational DPM emissions along with the SCAQMD health risk significance. As shown, the estimated cancer risk for a sensitive receptor from 30 years of exposure is 3.0 in one million and from 70 years of exposure is 9.1 in one million. The estimated cancer risk for the maximum impacted worker receptor is 1.0 in one million. These levels are less than the 10 in one million significance threshold. Also, the estimated non-cancer hazard index is less than the significance threshold. Therefore, operation of the Project would result in less than significant impacts.

**Table AQ-6: Localized Significance Summary of Operation Emissions**

Location <sup>(1)</sup>	Cancer Risk (per million)		Exceeds Significance Threshold?
	Maximum Lifetime Proposed Project Risk	Significance Threshold	
Maximum Impacted Sensitive Receptor- Infant - Adult			
Offsite Alternative 1	7.7	10	No
Offsite Alternative 2	7.7	10	No
Maximum Impacted Sensitive Receptor - Child			
Offsite Alternative 1	4.2	10	No
Offsite Alternative 2	4.2	10	No
Maximum Impacted Sensitive Receptor – Adult			
Offsite Alternative 1	1.3	10	No
Offsite Alternative 2	1.3	10	No
Maximum Impacted Sensitive Receptor – 70-years			
Offsite Alternative 1	9.1	10	No
Offsite Alternative 2	9.1	10	No
Maximum Impacted Worker Receptor			
Offsite Alternative 1	1.0	10	No
Offsite Alternative 2	1.0	10	No
Location <sup>(1)</sup>	Chronic Non-Cancer Hazard Index		Exceeds Significance Threshold?
	Estimated Hazard Index	Significance Threshold	
Maximum Impacted Sensitive Receptor- Infant	<0.001	1.0	No
Maximum Impacted Sensitive Receptor - Child	<0.001	1.0	No
Maximum Impacted Sensitive Receptor – Adult	<0.001	1.0	No
Maximum Impacted Sensitive Receptor – 70-years	<0.001	1.0	No
Maximum Impacted Worker Receptor	<0.001	1.0	No
Note: (1) The maximum impacted sensitive receptor is located at an existing residence along the northern boundary of the Project The maximum impacted worker receptor is located along the southern boundary of the Project Source: Health Risk Assessment (Appendix B)			

**d) Would the Project result in other emissions (such as those leading to odors) adversely affecting a substantial number of people?**

**Less than Significant.** The proposed Project would not generate other emissions, not described previously. The Project site does not contain land uses typically associated with emitting objectionable odors. According to the SCAQMD CEQA Air Quality Handbook, land uses associated with odor issues include agricultural uses, wastewater treatment plants, food processing plants, chemical plants, composting activities, refineries, landfills, dairies, and fiberglass molding operations. The proposed

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Project would develop and operate two industrial warehouse buildings, which would not involve the types of uses that lead to odors.

Potential odor sources associated with the proposed Project may result from construction equipment exhaust and the application of asphalt and architectural coatings during construction activities and the temporary storage of typical solid waste (refuse) associated with the proposed Project's operational uses. Standard construction requirements would minimize odor impacts from construction. The construction odor emissions would be temporary, short-term, and intermittent in nature and would cease upon completion of construction; no impact would occur.

It is expected that Project-generated refuse would be stored in covered containers and removed at regular intervals in compliance with the County's solid waste regulations. The proposed project would also be required to comply with SCAQMD Rule 402 (included as PPP AQ-1) to prevent occurrences of public nuisance odors. Therefore, other emissions (such as those leading to odors) that could adversely affect a substantial number of people would not occur from the proposed Project.

Plans, Programs, or Policies/Conditions of Approval:

**PPP AQ-1: Rule 402.** The Project is required to comply with the provisions of South Coast Air Quality Management District (SCAQMD) Rule 402. The Project shall not discharge from any source whatsoever such quantities of air contaminants or other material which cause injury, detriment, nuisance, or annoyance to any considerable number of persons or to the public, or which endanger the comfort, repose, health or safety of any such persons or the public, or which cause, or have a natural tendency to cause, injury or damage to business or property.

**PPP AQ-2: Rule 403.** The Project is required to comply with the provisions of South Coast Air Quality Management District (SCAQMD) Rule 403, which includes the following:

- All clearing, grading, earth-moving, or excavation activities shall cease when winds exceed 25 mph per SCAQMD guidelines in order to limit fugitive dust emissions.
- The contractor shall ensure that all disturbed unpaved roads and disturbed areas within the project are watered, with complete coverage of disturbed areas, at least 3 times daily during dry weather; preferably in the mid-morning, afternoon, and after work is done for the day.
- The contractor shall ensure that traffic speeds on unpaved roads and project site areas are reduced to 15 miles per hour or less.

**PPP AQ-3: Rule 1113.** The Project is required to comply with the provisions of South Coast Air Quality Management District Rule (SCAQMD) Rule 1113. Only "Low-Volatile Organic Compounds" paints (no more than 50 gram/liter of VOC) and/or High Pressure Low Volume (HPLV) applications shall be used.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

**BIOLOGICAL RESOURCES** Would the project:

7. **Wildlife & Vegetation**

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
a) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Conservation Community Plan, or other approved local, regional, or state conservation plan?				
b) Have a substantial adverse effect, either directly or through habitat modifications, on any endangered, or threatened species, as listed in Title 14 of the California Code of Regulations (Sections 670.2 or 670.5) or in Title 50, Code of Federal Regulations (Sections 17.11 or 17.12)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c) Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Wildlife or U. S. Wildlife Service?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
e) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, and regulations or by the California Department of Fish and Game or U. S. Fish and Wildlife Service?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Have a substantial adverse effect on State or federally protected wetlands (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g) Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Source(s):** GIS database; WRCMSHCP; On-site Inspection; Biological Resources Assessment prepared by Hernandez Environmental Services (Hernandez 2021) (Appendix C).

**a) Would the Project conflict with the provisions of an adopted Habitat Conservation Plan, Natural Conservation Community Plan, or other approved local, regional, or state conservation plan?**

**Less than Significant with Mitigation Incorporated.** The Project site is located within the boundaries of the Western Riverside County Multiple Species Habitat Conservation Plan (MSHCP) Mead Valley Area Plan. The Project site is not located within or adjacent to a Plan Cell Group, Plan Criteria Cell, or Conservation Area, and is not located within plan-defined areas requiring surveys for narrow endemic plant species or criteria area plant species. However, the Project is located within a designated area requiring surveys for burrowing owl. As a result, the General Biological Assessment Report that was prepared for the Project conducted the habitat assessment outlined by the MSHCP in *Step 1: Habitat Assessment*, which identified suitable habitat for burrowing owls and determined that no burrowing owls are currently on the site. Consistent with the MSHCP requirements, focused surveys were conducted pursuant to *Step II, Part B: Focused Burrowing Owl Surveys of the Burrowing Owl Survey Instructions for the Western Riverside Multiple Species Habitat Conservation Plan Area* (2006). The focused surveys were conducted on March 23, 2021, April 13, 2021, April 21, 2021, and April 30, 2021. Based on the focused surveys, the Biological Resource Assessment concluded that the burrowing owls do not

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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currently exist on the site. However, due to the fact that the Project site is located within the MSHCP burrowing owl survey area, a 30-day preconstruction survey is required prior to the commencement of Project activities, as included in MM BIO-1. With implementation of Mitigation Measure BIO-1, potential conflict with the MSHCP would be less than significant.

Regarding MSHCP Section 6.1.2, the Project area does not contain any drainage, riparian, or riverine features. In addition, none of the riparian/riverine bird species listed in Section 6.1.2 of the MSHCP were found within the Project area. Due to the lack of suitable riparian habitat on the Project site, focused surveys for riparian/riverine bird species listed in Section 6.1.2 of the MSHCP are not warranted and were not conducted. None of the conditions associated with vernal pools (i.e., depressions, ponded water, hydric soils, etc.) were observed on site. No features are present that would support fairy shrimp. No standing water or other sign of areas that pond water (e.g., mud cracks, tire ruts, drainages) were recorded.

In addition, MSHCP Section 6.1.3, Protection of Narrow Endemic Plant Species, is not applicable to the site because the Project site is not within an MSHCP-defined Narrow Endemic Plant Species survey area (NEPSSA) or Criteria Area Species survey area (CASSA). Likewise, MSHCP Section 6.1.4, Guidelines Pertaining to the Urban/Wildlands Interface, are not applicable to the Project site because the guidelines are related to the MSHCP Conservation Area; and the Project site is not within the vicinity of a conservation area. Thus, impacts related to MSHCP Sections 6.1.3 and 6.1.4 would not occur from implementation of the Project.

Additionally, the Project applicant would be required to pay fees required pursuant to Riverside County Ordinance No. 810 (Western Riverside County MSHCP Fee Program Ordinance), included as PPP BIO-1. With payment of fees pursuant to PPP BIO-1 and incorporation of MM BIO-1, the Project would not result in any conflicts with the MSHCP and impacts would be less than significant with mitigation incorporated.

**b) Would the Project have a substantial adverse effect, either directly or through habitat modifications, on any endangered, or threatened species, as listed in Title 14 of the California Code of Regulations (Sections 670.2 or 670.5) or in Title 50, Code of Federal Regulations (Sections 17.11 or 17.12)?**

**Less than Significant with Mitigation Incorporated.** A Biological Resources Assessment was prepared for the proposed Project, which included a field survey conducted on March 23, 2021 (Appendix C). The Biological Resources Assessment describes that the Project site contains two habitats, disturbed/developed and ruderal. According to the California Natural Diversity Database (CNDDDB), a total of 47 sensitive species of plants and 58 sensitive species of animals have the potential to occur on or within the vicinity of the Project area. These include those species listed or candidates for listing by the U. S. Fish and Wildlife Service (USFWS), California Department of Fish and Wildlife (CDFW) and California Native Plant Society (CNPS). All habitats with the potential to be used by sensitive species were evaluated during the field survey for their presence or potential presence.

*Sensitive Plant Species*

A total of 19 plant species are listed as state and/or federal Threatened, Endangered, or Candidate species; are 1B.1 listed plants on the CNPS Rare Plant Inventory; or have been found to have a potential to exist within the Project region. Table Bio-1 shows survey results for listed and potential plant species and demonstrates that no sensitive plant species are present at the Project site.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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**Table Bio-1: Potentially Occurring Plant Species**

Plant Species	Presence
Chaparral Sand-Verbena	Not Present
Munz's Onion	Not Present
San Diego Ambrosia	Not Present
Marsh Sandwort	Not Present
San Jacinto Valley Crownscale	Not Present
Parish's Brittlescale	Not Present
Nevin's Barberry	Not Present
Thread-Leaved Brodiaea	Not Present
Smooth Tarplant	Not Present
Salt Marsh Bird's-Beak	Not Present
Parry's Spineflower	Not Present
Slender-Horned Spineflower	Not Present
Santa Ana River Woollystar	Not Present
Tecate Cypress	Not Present
Mesa Horkelia	Not Present
Coulter's Goldfields	Not Present
Spreading Navarretia	Not Present
Brand's Star Phacelia	Not Present
California Orcutt Grass	Not Present

Source: Hernandez, 2021 (Appendix C)

*Sensitive Animal Species*

Based on the CNDDDB, a total of 16 animal species that are listed as state or federally Threatened, Endangered, or Candidate have the potential to occur within the Project region. However, Table Bio-2 shows survey results for listed and potential animal species, which demonstrates that no sensitive species are present at the Project site.

**Table Bio-2: Potentially Occurring Animal Species**

Animal Species	Presence
Tricolored Blackbird	Not Present
Burrowing Owl	Suitable habitat found during focused survey; species not present
Crotch Bumble Bee	Not Present
Swainson's Hawk	Not Present
Santa Ana Sucker	Not Present
Western Snowy Plover	Not Present
Western Yellow-Billed Cuckoo	Not Present
San Bernardino Kangaroo Rat	Not Present
Stephen's Kangaroo Rat	Not Present
Quino Checkerspot Butterfly	Not Present
Bald Eagle	Not Present
California Black Rail	Not Present
Steelhead-Southern California DPS	Not Present
Coastal California Gnatcatcher	Not Present
Riverside Fairy Shrimp	Not Present
Least Bell's Vireo	Not present

Source: Hernandez, 2021 (Appendix C)

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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The Biological Assessment determined that the Project site does not provide suitable habitat for any special-status plant or wildlife species, besides potential habitat for burrowing owl, due to the disturbed status of the site. The Project is located within a designated area requiring surveys for burrowing owl and contains potentially suitable habitat for burrowing owls. As a result, focused surveys were conducted pursuant to *Step II, Part B: Focused Burrowing Owl Surveys of the Burrowing Owl Survey Instructions for the Western Riverside Multiple Species Habitat Conservation Plan Area* (2006). The focused surveys were conducted on March 23, 2021, April 13, 2021, April 21, 2021, and April 30, 2021. Based on the focused surveys, the Biological Resource Assessment concluded that the burrowing owls do not currently exist on the site. However, due to the fact that the Project site is located within the Western Riverside County MSHCP burrowing owl survey area, a 30-day preconstruction survey is required prior to the commencement of Project activities, as included in MM BIO-1. With implementation of Mitigation Measure BIO-1, potential impacts to threatened or endangered animal species would be less than significant.

The existing trees on the site have the potential to provide habitat for nesting migratory birds. Many of these trees would be removed during construction. Therefore, the proposed Project has the potential to impact active bird nests if vegetation and trees are removed during the nesting season. Nesting birds are protected under the federal Migratory Bird Treaty Act (MBTA) (United States Code Title 33, Section 703 et seq.; see also Code of Federal Regulations Title 50, Part 10) and Section 3503 of the California Fish and Game Code. Any activities that occur during the nesting/breeding season of birds protected by the MBTA could result in a potentially significant impact if requirements of the MBTA are not followed. However, implementation of mitigation measure MM Bio 2 would ensure MBTA compliance and would require a nesting bird survey to be conducted prior to the commencement of construction during nesting season, which would reduce potential impacts related to nesting avian species and native wildlife nursery sites to a less than significant level. Therefore, impacts to threatened and endangered species.

**c) Would the Project have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Wildlife or U. S. Wildlife Service?**

**Less than Significant with Mitigation Incorporation.** As described in the previous response, the focused burrowing owl surveys were conducted on March 23, 2021, April 13, 2021, April 21, 2021, and April 30, 2021. Based on the focused surveys, the Biological Resource Assessment concluded that the burrowing owls do not currently exist on the site. However, due to the fact that the Project site is located within the Western Riverside County MSHCP burrowing owl survey area, a 30-day preconstruction survey is required prior to the commencement of Project activities, as included in MM BIO-1. With implementation of Mitigation Measure BIO-1, potential impacts to candidate, sensitive, or special-status animal species would be less than significant.

No additional special-status species were observed or are expected to occur within the Project site. Therefore, the Project would result in a less than significant impact related to candidate, sensitive, or special status species in local or regional plans, or state regulations.

**d) Would the Project interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?**



Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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**Less than Significant with Mitigation Incorporated.** Wildlife corridors are linear features that connect areas of open space and provide avenues for the migration of animals and access to additional areas of foraging. The Project site does not contain, or is not adjacent to, any wildlife corridors. The Project site is relatively flat, and no hillside or drainages exist on the site. No wildlife movement corridors were found to be present within the Project site. Areas of industrial and undeveloped land are located beyond the roadways adjacent to the site. Development of the site would not result in impacts related to established native resident or migratory wildlife corridor.

The Project site contains shrubs and trees that can be utilized by nesting birds and raptors during the nesting bird season of February 1 through September 15. Therefore, if vegetation is required to be removed during nesting bird season, Mitigation Measure BIO-2 has been included to require a nesting bird survey to be conducted prior to initiating vegetation clearing. With the implementation of Mitigation Measure BIO-2, impacts related to nesting birds would be reduced to a less than significant level.

**e) Would the Project have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, and regulations or by the California Department of Fish and Game or U. S. Fish and Wildlife Service?**

**No Impact.** The General Biological Assessment Report describes that the project site does not contain any drainage, riparian, or riverine features. There are no CDFW, United States Army Corps of Engineers (USACE), or Regional Water Quality Control Board (RWQCB) jurisdictional waters within the project site boundaries. The Project area does not contain any wetlands or vernal pools. Also, as described previously, the Project site contains approximately 7.7 acres of heavily disturbed ruderal areas and approximately 1.98 acres of disturbed, non-vegetated areas; none of which is a sensitive natural community (Hernandez 2021). Therefore, the Project would not result in impacts related to riparian habitat or other sensitive natural community.

**f) Would the Project have a substantial adverse effect on State or federally protected wetlands (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?**

**No Impact.** As described in the previous response, the Project site does not include any wetlands or vernal pools. In addition, there are no CDFW, United States Army Corps of Engineers (USACE), or Regional Water Quality Control Board (RWQCB) jurisdictional waters within the Project site boundaries. Therefore, the Project would not impact federally protected wetlands.

**g) Would the Project conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?**

**No Impact.** The proposed Project would not conflict with any local policies or ordinances protecting biological resources. See prior discussions regarding compliance with the MSHCP. The County of Riverside has two tree management ordinances; one which manages the removal of oak trees, and the other that manages the removal of trees above 5,000 feet in elevation. The Project does not include any oak trees. The proposed Project site does not contain any oak trees and elevation of the project site ranges between 1,532 feet above mean sea-level to 1,571 feet above mean sea-level (Hernandez 2021). Thus, the proposed Project would not conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance, and no impacts would not occur.

Plans, Programs, or Policies/Conditions of Approval:

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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**PPP BIO-1: County Ordinance No. 810.** Prior to the issuance of any grading permits, fees required pursuant to Riverside County Ordinance No. 810 (Western Riverside County Multiple Species Habitat Conservation Plan (MSHCP) Fee Program Ordinance) shall be submitted to the County. County Ordinance No. 810 requires a per-acre local development impact and mitigation fee payment prior to the issuance of a building permit.

Mitigation:

**Mitigation Measure BIO-1: Burrowing Owl Pre-Construction.** Within 30 days of construction, conduct burrowing owl (BUOW) take avoidance surveys within the project site and the 150-meter survey area surrounding the project site for BUOW presence/absence, per guidelines specified in the Western Riverside County Regional Conservation Authority Burrowing Owl Survey Instructions for the Plan Area (2006).

If BUOW are observed to occupy the project site and/or adjacent areas during take avoidance surveys or incidentally during construction, the Riverside County Planning Department and the Environmental Programs Department will be notified, and avoidance measures shall be implemented during the breeding season (March 1 through August 31). If it is determined that the project site is occupied by BUOW, take of "active" nests shall be avoided pursuant to the MSHCP and the Migratory Bird Treaty Act (MBTA). If burrowing owls are present during the non-breeding season (September 1 through February 28), burrowing owl exclusion measures may be implemented in accordance with the MSHCP. Relocation outside of the nesting season by a qualified biologist shall be required. The County Biologist shall be consulted to determine appropriate type of relocation (active or passive) and translocation sites, in accordance with California Department of Fish and Wildlife (CDFW) guidelines. In the event that burrowing owls are occupying the Project site at the time of the pre-construction survey, passive relocation shall not be allowed. A grading permit may be issued once the species has been relocated. If the grading permit is not obtained within 30 days of the survey, a new survey shall be required.

**Mitigation Measure BIO-2: Nesting Bird Survey.** Vegetation removal should occur outside of the nesting bird season (generally between February 1 and August 31). If vegetation removal is required during the nesting bird season, the applicant must conduct take avoidance surveys for nesting birds prior to initiating vegetation removal/clearing. Surveys will be conducted by a qualified biologist(s) within three days of vegetation removal. If active nests are observed, a qualified biologist will determine appropriate minimum disturbance buffers and other adaptive mitigation techniques (e.g., biological monitoring of active nests during construction-related activities, staggered schedules, etc.) to ensure that impacts to nesting birds are avoided until the nest is no longer active. At a minimum, construction activities will stay outside of a 300-foot buffer around the active nests. For raptor species, the buffer is to be expanded to 500 feet. The approved buffer zone shall be marked in the field with construction fencing, within which no vegetation clearing or ground disturbance shall commence until the qualified biologist and Riverside County Environmental Programs Department verify that the nests are no longer occupied, and the juvenile birds can survive independently from the nests. Once the young have fledged and left the nest, or the nest otherwise becomes inactive under natural conditions, normal construction activities may occur.

Monitoring:

A maximum of 30 days prior to the issuance of any grading permits, burrowing owl surveys shall be completed and the results of the preconstruction surveys shall be reviewed by the Riverside County

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Planning Department. If burrowing owls are identified onsite prior to initiation of grading activities, a Burrowing Owl Protection and Relocation Plan shall be prepared in accordance with the MSHCP prior to the issuance of any grading permits. If active nesting birds are observed, a qualified biologist will determine appropriate minimum disturbance buffers or other adaptive mitigation techniques.

**CULTURAL RESOURCES** Would the project:

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>8. Historic Resources</b>				
a) Alter or destroy a historic site?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Cause a substantial adverse change in the significance of a historical resource, pursuant to California Code of Regulations, Section 15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Source(s):** Phase I Cultural Resources Assessment, Prepared by Material Culture Consulting 2021. (CULT 2021) (Appendix D).

**a) Would the Project alter or destroy a historic site?**

**No Impact.** As described by the Phase I Cultural Resources Assessment, the Project site is undeveloped vacant land with no previous development. Additionally, the site is adjacent to undeveloped vacant land, industrial warehouse buildings, and single-family residences. There are no historic sites within or adjacent to the Project site, and impacts related to historic sites would not occur from implementation of the Project.

**b) Would the Project cause a substantial adverse change in the significance of a historical resource, pursuant to California Code of Regulations, Section 15064.5?**

**No Impact.** As described by the previous response, the Project site is undeveloped vacant land with no previous development and is adjacent to either undeveloped vacant land, industrial warehouse buildings, and single-family residences. As the site does not include any historic resources, an impact related to the significance of a historical resource would not occur from implementation of the Project.

Plans, Programs, or Policies/Conditions of Approval: None.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>9. Archaeological Resources</b>				
a) Alter or destroy an archaeological site?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) Cause a substantial adverse change in the significance of an archaeological resource, pursuant to California Code of Regulations, Section 15064.5?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c) Disturb any human remains, including those interred outside of formal cemeteries?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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**Source(s):** Phase I Cultural Resources Assessment, Prepared by Material Culture Consulting 2021. (CULT 2021) (Appendix D).

**a) Would the Project alter or destroy an archaeological site?**

**Less than Significant with Mitigation Incorporated.** The Project site is an undeveloped vacant site. As described previously, the Project site has been previously disturbed from various past uses that involve disking and plowing of the site. The Phase I Cultural Resources Assessment prepared for the Project included an archaeological records search that was completed at the University of California, Riverside, Eastern Information Center (UCR-EIC). The UCR-EIC is the countywide clearing house/repository for all archaeological and cultural studies completed within the Riverside County. All pertinent data was researched, including previous studies for a one-mile radius surrounding the project area and the identification of recorded resources within one mile. In addition, the research included review of the current listings (federal, state, and local) for evaluated resources and reviewed historic maps. The records search indicated that 75 cultural resources have been recorded within 1-mile of the Project area, with none of the previously recorded resources occurring onsite. Furthermore, the cultural resources survey conducted on April 21, 2021 found no existing archaeological resources at the site. However, as discussed in the Cultural Resources Assessment, there is a potential for previously unknown archaeological resources to be below the soil surface. As a result, the potential for archaeological resources exists on site are unknown to low. As a result, Mitigation Measure CUL-2 has been included to require a qualified professional archeologist to prepare and implement a Cultural Resource Monitoring Program (CRMP) in coordination with the consulting tribe(s). The CRMP will include the archaeologist(s) presence at the pre-grade meeting, archaeological monitoring of ground disturbing activities, and for contractors to halt work in the event of uncovering a potential archaeological resource and to have the find evaluated by the qualified archaeologist. Further, the CRMP will include measures to ensure the proper treatment of any unknown resources that might be identified during construction activities. Therefore, Mitigation Measures CUL-1 through CUL-4, which provide measures for unanticipated discoveries and artifact disposition, requires archaeological monitoring for initial ground disturbing activities up to five feet deep, and requires preparation of a Phase IV Monitoring Report, shall be implemented to reduce impacts related to historical and archaeological resources to a less than significant level.

**b) Would the Project cause a substantial adverse change in the significance of an archaeological resource, pursuant to California Code of Regulations, Section 15064.5?**

**Less than Significant with Mitigation Incorporated.** As described in the previous response, the Phase I Cultural Resources Assessment (including field survey) prepared for the Project did not identify any archaeological resources within the Project site. However, as discussed in the Cultural Resources Assessment, there is a potential for previously unknown archaeological resources to be below the soil surface. As a result, the potential for archaeological resources exists on site are unknown to low. Therefore, mitigation measures CUL-1 through CUL-4, which provide measures for unanticipated discoveries and artifact disposition, requires archaeological monitoring for initial ground disturbing activities up to five feet deep, and requires preparation of a Phase IV Monitoring Report, shall be implemented to reduce impacts related to historical and archaeological resources to a less than significant level.

**c) Would the Project disturb any human remains, including those interred outside of formal cemeteries?**

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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**No Impact.** The Project site has not been previously used as a cemetery. Thus, human remains are not anticipated to be uncovered during project construction. In addition, California Health and Safety Code Section 7050.5, CEQA Section 15064.5, and Public Resources Code Section 5097.98, included as PPP CUL-1, mandate the process to be followed in the event of an accidental discovery of any human remains. Specifically, California Health and Safety Code Section 7050.5 requires that if human remains are discovered, disturbance of the site shall remain halted until the coroner has conducted an investigation into the circumstances, manner, and cause of death, and made recommendations concerning the treatment and disposition of the human remains to the person responsible for the excavation, or to his or her authorized representative, in the manner provided in Section 5097.98 of the Public Resources Code. If the coroner determines that the remains are not subject to his or her authority and if the coroner has reason to believe the human remains to be those of a Native American, he or she shall contact, by telephone within 24 hours, the Native American Heritage Commission. Compliance with existing law would ensure that significant impacts to human remains would not occur.

Plans, Programs, or Policies (PPPs)/Conditions of Approval:

**PPP CUL-1: Human Remains (COA Planning-CUL 1).** If human remains are found on this site, the developer/permit holder or any successor in interest shall comply with State Health and Safety Code Section 7050.5.

Mitigation:

**Mitigation Measure CUL-1: Unanticipated Resources (COA Planning-CUL 2).** The developer/permit holder or any successor in interest shall comply with the following for the life of this permit. If during ground disturbance activities, unanticipated cultural resources are discovered, the following procedures shall be followed:

All ground disturbance activities within 100 feet of the discovered cultural resource shall be halted and the applicant shall call the County Archaeologist immediately upon discovery of the cultural resource. A meeting shall be convened between the developer, the Project archaeologist, the Native American tribal representative (or other appropriate ethnic/cultural group representative), and the County Archaeologist to discuss the significance of the find. At the meeting with the aforementioned parties, a decision is to be made, with the concurrence of the County Archaeologist, as to the appropriate treatment (documentation, recovery, avoidance, etc.) for the cultural resource. Resource evaluations shall be limited to nondestructive analysis.

Further ground disturbance shall not resume within the area of the discovery until the appropriate treatment has been accomplished.

**Mitigation Measure CUL-2: Project Archaeologist/Monitor (COA 060-Planning-CUL 2).** Prior to issuance of grading permits: The applicant/developer shall provide evidence to the County of Riverside Planning Department that a County certified professional archaeologist (Project Archaeologist) has been contracted to implement a Cultural Resource Monitoring Program (CRMP). A Cultural Resource Monitoring Plan shall be developed in coordination with the consulting tribe(s) that addresses the details of all activities and provides procedures that must be followed in order to reduce the impacts to cultural, tribal cultural and historic resources to a level that is less than significant as well as address potential impacts to undiscovered buried archaeological resources associated with this Project. A fully executed copy of the contract and a digitally-signed copy of the Monitoring Plan shall be provided to the County Archaeologist to ensure compliance with this condition of approval. Working directly under the Project

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Archaeologist, an adequate number of qualified Archaeological Monitors shall be present to ensure that all earth moving activities are observed and shall be on-site during all grading activities for areas to be monitored including off-site improvements. Inspections will vary based on the rate of excavation, the materials excavated, and the presence and abundance of artifacts and features.

The Professional Archaeologist may submit a detailed letter to the County of Riverside during grading requesting a modification to the monitoring program if circumstances are encountered that reduce the need for monitoring.

**Mitigation Measure CUL-3: Artifact Disposition (COA 070-Planning-CUL1).** In the event cultural resources are identified during ground disturbing activities, the landowner(s) shall relinquish ownership of all cultural resources and provide evidence to the satisfaction of the County Archaeologist that all archaeological materials recovered during the archaeological investigations (this includes collections made during an earlier Project, such as testing of archaeological sites that took place years ago), have been handled through the following methods. Any artifacts identified and collected during construction grading activities are not to leave the Project area and shall remain onsite in a secure location until final disposition.

*Historic Resources*

All historic archaeological materials recovered during the archaeological investigations (this includes years ago), have been curated at the Western Science Center, a Riverside County curation facility that meets State Resources Department Office of Historic Preservation Guidelines for the Curation of Archaeological Resources. Evidence shall be in the form of a letter from the curation facility identifying that archaeological materials have been received and that all fees have been paid.

*Prehistoric and/or Tribal Cultural Resources*

One of the following treatments shall be applied.

1. Preservation-in-place, if feasible is the preferred option. Preservation in place means avoiding the resources, leaving them in the place where they were found with no development affecting the integrity of the resources.
2. Reburial of the resources on the Project property. The measures for reburial shall be culturally appropriate as determined through consultation with the consulting Tribe(s) and include, at least, the following: Measures to protect the reburial area from any future impacts in perpetuity. Reburial shall not occur until all required cataloguing (including a complete photographic record) and analysis have been completed on the cultural resources, with the exception that sacred and ceremonial items, burial goods, and Native American human remains are excluded. No cataloguing, analysis, or other studies may occur on human remains grave goods, and sacred and ceremonial items. Any reburial processes shall be culturally appropriate and approved by the consulting tribe(s). Listing of contents and location of the reburial shall be included in the confidential Phase IV Report. The Phase IV Report shall be filed with the County under a confidential cover and not subject to a Public Records Request.

*Human Remains*

Pursuant to State Health and Safety Code Section 7050.5, if human remains are encountered, no further disturbance shall occur until the County Coroner has made the necessary findings as to origin. Further, pursuant to Public Resources Code Section 5097.98 (b), remains shall be left in place and free from disturbance until a final decision as to the treatment and their disposition has been made. If the Riverside County Coroner determines the remains to be Native American, the Native American Heritage Commission shall be contacted by the Coroner within the period specified by law (24 hours).

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Subsequently, the Native American Heritage Commission shall identify the “Most Likely Descendant”. The Most Likely Descendant shall then make recommendations and engage in consultation with the property owner concerning the treatment of the remains and any associated items as provided in Public Resources Code Section 5097.98.

**Mitigation Measure CUL-4: Phase IV Monitoring Report (COA 070-Planning-CUL 2).** Prior to Grading Permit Final Inspection, a Phase IV Cultural Resources Monitoring Report shall be submitted that complies with the Riverside County Planning Department’s requirements for such reports for all ground disturbing activities associated with this grading permit. The report shall follow the County of Riverside Planning Department Cultural Resources (Archaeological) Investigations Standard Scopes of Work posted on the TLMA website. The report shall include results of any feature relocation or residue analysis required as well as evidence of the required cultural sensitivity training for the construction staff held during the required pre-grade meeting and evidence that any artifacts have been treated in accordance to procedures stipulated in the Cultural Resources Monitoring Plan.

Monitoring:

Prior to the issuance of the first grading permit, the applicant shall provide a letter to the County Planning Department, or designee identifying that the qualified archaeologist has been retained for activities detailed in Mitigation Measure CUL-2.

<b>ENERGY</b> Would the project:				
<b>10. Energy Impacts</b>				
a) Result in potentially significant environmental impacts due to wasteful, inefficient, or unnecessary consumption of energy resources, during project construction or operation?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Conflict with or obstruct a State or Local plan for renewable energy or energy efficiency?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Source(s):** Riverside County General Plan; Riverside County Climate Action Plan (“CAP”); CalEEMod Emission Summary, prepared by Vince Mirabella, July 2021, Appendix A.

**a) Would the Project result in potentially significant environmental impacts due to wasteful, inefficient, or unnecessary consumption of energy resources, during project construction or operation?**

**Less than Significant.**

*Construction*

During construction of the proposed Project would consume energy in three general forms:

1. Petroleum-based fuels used to power off-road construction vehicles and equipment on the Project site, construction worker travel to and from the Project site, as well as delivery truck trips;
2. Electricity associated with providing temporary power for lighting and electric equipment; and

Potentially Significant Impact      Less than Significant with Mitigation Incorporated      Less Than Significant Impact      No Impact

- Energy used in the production of construction materials, such as asphalt, steel, concrete, pipes, and manufactured or processed materials such as lumber and glass.

Construction activities related to the proposed industrial development and the associated infrastructure is not expected to result in demand for fuel greater on a per-development basis than other development projects in Southern California. Table E-1 details the construction fuel usage over the Project's construction period, as shown in Table E-1 below.

**Table E-1: Construction Equipment Fuel Usage**

Activity	Equipment	Number	Hours per day	Horse - power	Total Horsepower -hours	Fuel Rate (gal/hp-hr)	Fuel Use (gallons)
Site Preparation	Off-Highway Truck	1	6	403	9,188	0.019800	182
	Crawler Tractors	4	8	212	29,171	0.022173	647
	Rubber Tired Dozers	3	8	247	23,712	0.020461	485
Grading	Crawler Tractors	4	8	212	29,171	0.022173	647
	Excavators	1	8	158	9,606	0.019763	190
	Graders	1	8	187	12,267	0.021143	259
	Off-Highway Truck	1	6	403	18,377	0.019800	364
	Rubber Tired Dozers	1	8	247	15,808	0.020461	323
Building Construction	Cranes	1	7	231	75,029	0.014896	1,118
	Forklifts	3	8	89	68,352	0.019105	1,306
	Tractors/Loaders/Backhoes	3	7	97	120,590	0.023965	2,890
	Welders	1	8	46	26,496	0.023965	635
Paving	Pavers	2	8	130	13,104	0.021525	282
	Generator Set	1	8	84	79,565	0.023965	1,907
	Paving Equipment	2	8	132	11,405	0.018334	209
	Rollers	2	8	80	7,296	0.019412	142
Architectural Coating	Air Compressors	1	6	78	3,370	0.023965	81
Total							12,636

Source: Vince Mirabella, 2021 (Appendix A)

Table E-2 shows that construction workers would use approximately 13,924 gallons of diesel and 14,387 gallons of gasoline fuel to travel to and from the Project site. This is in addition to the construction equipment fuel listed in Table E-1.

**Table E-2: Estimated Construction Worker Fuel Consumption**

Construction Source	Gallons of Diesel Fuel	Gallons of Gasoline Fuel
Haul Trucks	5,842	0
Vendor Trucks	8,082	0
Worker Vehicles	0	14,387
Construction Vehicles Total	13,924	14,387



Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Source: see Data Attachment

Source: Vince Mirabella, 2021 (Appendix A)

Construction of the Project would result in fuel consumption from the use of construction tools and equipment, vendor and haul truck trips, and vehicle trips generated from construction workers traveling to and from the site. There are no unusual project characteristics that would cause the use of construction equipment that would be less energy efficient compared with other similar construction sites in other parts of the State. Therefore, construction-related fuel consumption by the Project would not result in inefficient, wasteful, or unnecessary energy use compared with other construction sites in the region, and impacts would be less than significant.

*Operation*

Once operational, the Project would generate demand for electricity, natural gas, as well as gasoline for fuel tanks. Operational use of energy includes the heating, cooling, and lighting of the buildings, water heating, operation of electrical systems and plug-in appliances, parking lot and outdoor lighting, and the transport of electricity, natural gas, and water to the areas where they would be consumed. This use of energy is typical for urban development, and no operational activities or land uses would occur that would result in extraordinary energy consumption.

The State of California provides a minimum standard for building design and construction standards through Title 24 of the California Code of Regulations (CCR). Compliance with Title 24 is mandatory at the time new building permits are issued by local governments. The City's administration of the Title 24 requirements includes review of design components and energy conservation measures that occurs during the permitting process, which ensures that all requirements are met. Typical Title 24 measures include insulation; use of energy-efficient heating, ventilation and air conditioning equipment (HVAC); energy-efficient indoor and outdoor lighting systems; reclamation of heat rejection from refrigeration equipment to generate hot water; and incorporation of skylights, etc. In complying with the Title 24 standards, impacts to peak energy usage periods would be minimized, and impacts on statewide and regional energy needs would be reduced. Thus, operation of the Project would not use large amounts of energy or fuel in a wasteful manner, and no operational energy impacts would occur. As detailed in Table E-3, operation of the proposed Project is estimated to result in the annual use of approximately 52,838 gallons of diesel fuel, 86,413 gallons of gasoline, approximately 1,182,831 thousand British thermal units (BTU) of natural gas, and approximately 1,006,518 kilowatt-hours (kWh) of electricity.

**Table E-3: Project Annual Operational Energy Demand Summary**

Operational Source	Energy Usage	
<b>Electricity (Kilowatt-Hours)</b>		
Project	1,006,518	
<b>Natural Gas (Thousands British Thermal Units)</b>		
Project	1,182,831	
<b>Petroleum (gasoline) Consumption</b>		
	Annual VMT	Gallons of Gasoline Fuel
Project	2,287,608	86,413
<b>Diesel Consumption</b>		
	Annual VMT	Gallons of Diesel Fuel <sup>1</sup>
Project	496,655	52,838

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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<sup>1</sup>Operation of trucks and emergency fire pumps  
Source: Vince Mirabella, 2021 (Appendix A)

Therefore, construction and operations-related fuel consumption by the Project would not result in inefficient, wasteful, or unnecessary energy use compared with other construction sites in the region, and impacts would be less than significant.

**b) Would the Project conflict with or obstruct a State or Local plan for renewable energy or energy efficiency?**

**Less than Significant.** The California Title 24 Building Energy Efficiency Standards are designed to ensure new and existing buildings achieve energy efficiency and preserve outdoor and indoor environmental quality. These measures (Title 24, Part 6) are listed in the California Code of Regulations. The California Energy Commission is responsible for adopting, implementing and updating building energy efficiency. Local city and county enforcement agencies have the authority to verify compliance with applicable building codes, including energy efficiency. As required by County Code, Chapter 15.04 Building Regulations, prior to issuance of a building permit, the Project Applicant shall submit plans showing that the Project would be in compliance with 2019 Title 24 requirements. Therefore, the Project would not conflict with or obstruct a state or local plan for renewable energy or energy efficiency, and impacts would not occur. As such, the Project would have less than significant impacts related to energy.

Plans, Programs, or Policies/Conditions of Approval:

**PPP E-1: CalGreen Compliance:** The project is required to comply with the CalGreen Building Code as included in the County Code to ensure efficient use of energy. CalGreen specifications are required to be incorporated into building plans as a condition of building permit approval.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

**GEOLOGY AND SOILS** Would the project directly or indirectly:

**11. Alquist-Priolo Earthquake Fault Zone or County Fault Hazard Zones**                       

a) Be subject to rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault?

**Source(s):** Riverside County General Plan Figure S-2 “Earthquake Fault Study Zones,” GIS database; Geotechnical Investigation, prepared by Sladden Engineering, December 2020, Appendix E.

a) Be subject to rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault?

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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**No Impact.** The Project site is not located within an Alquist-Priolo Earthquake Fault zone (Geo 2020). The closest Alquist-Priolo Earthquake Fault zone is the San Jacinto Fault zone that is located approximately 9 miles northeast of the Project site. Due to the distance of the Project site from the closest fault zone, there is no potential for the Project to be subject to rupture of a known earthquake fault. Impacts related to a fault zone would not occur from implementation of the proposed Project.

Plans, Programs, or Policies/Conditions of Approval: None.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

**12. Liquefaction Potential Zone**

a) Be subject to seismic-related ground failure, including liquefaction?

**Source(s):** Riverside County General Plan Figure S-3 “Generalized Liquefaction;” Geotechnical Investigation, prepared by Sladden Engineering, December 2020, Appendix E.

**a) Would the Project be subject to seismic-related ground failure, including liquefaction?**

**Less than Significant.** Liquefaction occurs when vibrations or water pressure causes soil particles to lose its friction properties. As a result, soil behaves like a liquid, has an inability to support weight, and can flow down very gentle slopes. This condition is usually temporary and is most often caused by an earthquake vibrating water-saturated fill or unconsolidated soil. However, effects of liquefaction can include sand boils, settlement, and structural foundation failures. Soils that are most susceptible to liquefaction are clean, loose, saturated, and uniformly graded fine-grained sands in areas where the groundwater table is within approximately 50 feet below ground surface.

The Geotechnical Investigation describes that the site contains approximately 1 foot of artificial fill that is underlain by granitic bedrock, which is not liquefiable. No groundwater was encountered during onsite borings and is estimated to be approximately 50 feet below the ground surface (Geo 2020). Additionally, all structures built in the County are required to be developed in compliance with the California Building Code (CBC) (California Code of Regulations, Title 24, Part 2), which is adopted as Chapter 15.04 of the County Code. Compliance with the CBC would require proper construction of building footings and foundations so that it would withstand the effects of potential ground movement, including liquefaction.

The Riverside County Department of Building and Safety reviews structural plans and geotechnical data prior to issuance of a grading permit and conducts inspections during construction, which would ensure that all required CBC measures are incorporated. Compliance with the CBC as included as a condition of approval and verified by the County’s review process would ensure that impacts related to liquefaction are less than significant.

Plans, Programs, or Policies/Conditions of Approval: None.

Mitigation: No mitigation is required.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Monitoring: No monitoring is required.

**13. Ground-shaking Zone**

a) Be subject to strong seismic ground shaking?

**Source(s):** Riverside County General Plan Figure S-4 “Earthquake-Induced Slope Instability Map,” and Figures S-13 through S-21 (showing General Ground Shaking Risk), Geotechnical Investigation, prepared by Sladden Engineering, December 2020, Appendix E.

**a) Be subject to strong seismic ground shaking?**

**Less than Significant.** The Project site, like most of southern California, could be subject to seismically related strong ground shaking. Ground shaking is a major cause of structural damage from earthquakes. The amount of motion expected at a building site can vary from none to forceful depending upon the distance to the fault, the magnitude of the earthquake, and the local geology.

The closest fault to the project site is the San Jacinto Fault zone that is located 9.2 miles to the northeast of the Project site. A major earthquake along this fault or another regional fault could cause substantial seismic ground shaking at the site. However, structures built in the County are required to be built in compliance with the CBC (California Code of Regulations, Title 24, Part 2) that provides provisions for earthquake safety based on factors including building occupancy type, the types of soils onsite, and the probable strength of ground motion. Compliance with the CBC would require the incorporation of: 1) seismic safety features to minimize the potential for significant effects as a result of earthquakes; 2) proper building footings and foundations; and 3) construction of the building structure so that it would withstand the effects of strong ground shaking.

The Riverside County Department of Building and Safety permitting process would ensure that all required CBC seismic safety measures are incorporated into the building. Compliance with the CBC as verified by the County’s review process and included as a condition of approval, would reduce impacts related to strong seismic ground shaking to a less than significant level.

Plans, Programs, or Policies/Conditions of Approval: None.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

**14. Landslide Risk**

a) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, collapse, or rockfall hazards?

**Source(s):** On-site Inspection, Riverside County General Plan Figure S-5 “Regions Underlain by Steep Slope,” Geotechnical Investigation, prepared by Sladden Engineering, December 2020, Appendix E.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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**a) Would the Project be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, collapse, or rockfall hazards?**

**Less than Significant Impact.** Landslides are the downhill movement of masses of earth and rock and are often associated with earthquakes; but other factors, such as the slope, moisture content of the soil, composition of the subsurface geology, heavy rains, and improper grading can influence the occurrence of landslides. The elevation of the Project site ranges between 1,532 feet above mean sea-level to 1,571 feet above mean sea-level (Hernandez 2021). The Project site and the adjacent parcels are flat and do not contain any hills or steep slopes and no landslides on or adjacent to the project site would occur. Furthermore, the Project area is not identified as an area having a risk of landslides on the Mead Valley Area Plan Figure 14, *Steep Slopes*. Therefore, impacts related to landslides or rock falls would not occur from implementation of the proposed Project.

Lateral spreading is a type of liquefaction induced ground failure associated with the lateral displacement of surficial blocks of sediment resulting from liquefaction in a subsurface layer. Once liquefaction transforms the subsurface layer into a fluid mass, gravity plus the earthquake inertial forces may cause the mass to move downslope towards a free face (such as a river channel or an embankment). Lateral spreading may cause large horizontal displacements and such movement typically damages pipelines, utilities, bridges, and structures. As described previously, high groundwater does not exist in the Project vicinity and the site contains 1 foot of artificial fill that is underlain by granitic bedrock, which is not liquefiable. Therefore, the Geotechnical Investigation determined that the Project site is not susceptible to liquefaction (Geo 2020). Similarly, the site is not susceptible to lateral spreading. Impacts would be less than significant with compliance with the mandatory CBC requirements.

In addition, the Geotechnical Investigation describes that the tonalite bedrock do not have the potential for settlement, and excavation and recompaction of the artificial fill soils in compliance with the CBC as required through the County's permitting process would ensure that settlement related impacts would be less than significant.

Plans, Programs, or Policies/Conditions of Approval: None.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

**15. Ground Subsidence**

a) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in ground subsidence?

**Source(s):** Riverside County General Plan Figure S-7 "Documented Subsidence Areas Map," Geotechnical Investigation, prepared by Sladden Engineering, December 2020, Appendix E.

**a) Would the Project be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in ground subsidence?**

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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**Less than Significant Impact.** Ground subsidence is the gradual settling or sinking of the ground surface with little or no horizontal movement, and occur in areas with subterranean oil, gas, or groundwater. Effects of subsidence include fissures, sinkholes, depressions, and disruption of surface drainage. The Project site is located within a susceptible subsidence hazard zone as shown on Riverside County General Plan Figure S-7. However, due to the shallow bedrock underlying the site, the potential for subsidence to occur on this site is low. Also, groundwater extraction is managed by groundwater management plans, which limits the allowable withdrawal of water and potential of subsidence.

In addition, compliance with the CBC would be required by the Riverside County Department of Building and Safety, as implemented as a condition of approval. Compliance with the requirements of the CBC as part of the building plan check and development review process, would ensure that impacts related to subsidence would be less than significant.

Plans, Programs, or Policies/Conditions of Approval: None.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

**16. Other Geologic Hazards**

a) Be subject to geologic hazards, such as seiche, mudflow, or volcanic hazard?

Source(s): Geotechnical Investigation, prepared by Sladden Engineering, December 2020, Appendix E.

**a) Be subject to geologic hazards, such as seiche, mudflow, or volcanic hazard?**

**No Impact.** A seiche is the sloshing of a closed body of water from earthquake shaking. Seiches are of concern relative to water storage facilities because inundation from a seiche can occur if the wave overflows a containment wall, such as the wall of a reservoir, water storage tank, dam, or other artificial body of water. The nearest water body is the Perris Reservoir, which is located over 4 miles from the Project site. Due to the distance of the closest water body an impact related to seiche would not occur from the Project.

A mudflow is an earthflow consisting of material that is wet enough to flow rapidly and typically occurs in small, steep stream channels. The Project site and the adjacent parcels are relatively flat. The elevation of the Project site ranges between 1,532 feet above mean sea-level to 1,571 feet above mean sea-level (Hernandez 2021). The site does not contain steep slopes and is not adjacent to any steep slopes that could be subject to a mudflow. Therefore, the proposed Project would not be subject to a mudflow, and no impacts would occur.

In addition, there are no known volcanoes in the Project region. Thus, impacts related to volcanic hazards would not occur. Overall, the proposed Project would not result in impacts related to seiche, mudflow, or volcanic hazards, and no impacts would occur.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Plans, Programs, or Policies/Conditions of Approval: None.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

17. Slopes				
a) Change topography or ground surface relief features?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Create cut or fill slopes greater than 2:1 or higher than 10 feet?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Result in grading that affects or negates subsurface sewage disposal systems?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source(s): Riv. Co. 800-Scale Slope Maps, Project Application Materials, Slope Stability Report

**a) Would the Project change topography or ground surface relief features?**

**No Impact.** As described previously, the project site and the adjacent parcels are relatively flat. The elevation of the Project site ranges between 1,532 feet above mean sea-level to 1,571 feet above mean sea-level (Hernandez 2021). The site does not contain steep slopes and is not adjacent to any steep slopes. The proposed Project would include excavation to a depth of approximately 3-feet below existing grade and to a depth of approximately 2-feet below the building pad subgrade elevation, whichever is greater. These areas would be backfilled with recompacted on site soils and imported soils to be used for recompaction on the site. Thus, the Project would not change topography or ground surface relief features, and impacts would not occur.

**b) Would the Project create cut or fill slopes greater than 2:1 or higher than 10 feet?**

**No Impact.** As described in the previous response, the Project would include excavation to a depth of approximately 3-feet below existing grade and to a depth of approximately 2-feet below the building pad subgrade elevation, whichever is greater. Thus, the Project would not create cut or fill slopes greater than 2:1 or higher than 10 feet, and impacts would not occur.

**c) Would the Project result in grading that affects or negates subsurface sewage disposal systems?**

**No Impact.** The Project includes installation of an onsite sewer system that would connect to the existing 8-inch sewer line in Seaton Avenue. The installation and grading of the site would be completed pursuant to the County’s and service provider’s required specifications for sewer installation such that the Project would not negate the use of the sewage disposal systems. Therefore, no impacts would occur.

Plans, Programs, or Policies/Conditions of Approval: None.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>18. Soils</b>				
a) Result in substantial soil erosion or the loss of topsoil?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Be located on expansive soil, as defined in Section 1803.5.3 of the California Building Code (2019), creating substantial direct or indirect risks to life or property?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Have soils incapable of adequately supporting use of septic tanks or alternative waste water disposal systems where sewers are not available for the disposal of waste water?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Source(s):** U.S.D.A. Soil Conservation Service Soil Surveys; Project Application Materials; On-site Inspection; Geotechnical Investigation, prepared by Sladden Engineering, December 2020, Appendix E.

**a) Would the Project result in substantial soil erosion or the loss of topsoil?**

**Less than Significant Impact.** Construction of the proposed Project has the potential to contribute to soil erosion and the loss of topsoil. Grading activities that would be required for the Project would expose and loosen topsoil, which could be eroded by wind or water. However, the County Code Chapter 13.12, Article 2 Stormwater Management and Discharge Controls implement the requirements of the California Regional Water Quality Control Board, Riverside County (RWQCB) National Pollutant Discharge Elimination System (NPDES) Storm Water Permit Order No. R8-2010-0033 (MS4 Permit) establishes minimum stormwater management requirements and controls that are required to be implemented for the Project.

To reduce the potential for soil erosion and the loss of topsoil, a Stormwater Pollution Prevention Plan (SWPPP) is required by these County and RWQCB regulations to be developed by a QSD (Qualified SWPPP Developer), which would be implemented by the County's conditions of approval. The SWPPP is required to address site-specific conditions related to specific grading and construction activities that could cause erosion and the loss of topsoil and provide erosion control BMPs to reduce or eliminate the erosion and loss of topsoil. Erosion control BMPs include use of silt fencing, fiber rolls, or gravel bags, stabilized construction entrance/exit, hydroseeding, etc. With compliance with the County Code stormwater management requirements, RWQCB SWPPP requirements, and installation of BMPs, which would be implemented by the County's project review by the Department of Building and Safety, construction impacts related to erosion and loss of topsoil would be less than significant.

The proposed Project includes installation of landscaping adjacent to the proposed buildings and throughout the proposed parking areas. With this landscaping, areas of loose topsoil that could erode by wind or water, would not exist upon operation of the proposed Project. In addition, as described in Section 23, Hydrology and Water Quality, the hydrologic features of the proposed Project have been designed to slow, filter, and retain stormwater within landscaping and the proposed detention basins, which would also reduce the potential for stormwater to erode topsoil. Furthermore, implementation of the Project requires County approval of a Water Quality Management Plan (WQMP), which would ensure that RWQCB requirements and appropriate operational BMPs would be implemented to minimize or eliminate the potential for soil erosion or loss of topsoil to occur. As a result, with



Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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implementation of existing requirements, impacts related to substantial soil erosion or loss of topsoil would be less than significant.

**b) Would the Project be located on expansive soil, as defined in Section 1803.5.3 of the California Building Code (2019), creating substantial direct or indirect risks to life or property?**

**Less than Significant Impact.** Expansive soils contain significant amounts of clay particles that swell when wet and shrink when dry. Foundations constructed on expansive soils are subjected to forces caused by the swelling and shrinkage of the soils. Without proper measures taken, heaving and cracking of both building foundations and slabs-on-grade could result.

The Geotechnical Investigation prepared for the Project describes that near-surface soils consist of silty sands with no appreciable clay content that is underlain by granitic bedrock, which is not liquefiable (Geo 2020). In addition, as described above, compliance with the CBC is a standard County practice and is included as a condition of approval. Therefore, compliance with the requirements of the CBC as part of the building plan check and development review process, would ensure that expansive soil related impacts would be less than significant.

**c) Would the Project have soils incapable of adequately supporting use of septic tanks or alternative waste water disposal systems where sewers are not available for the disposal of waste water?**

**No Impact.** The Project includes installation of an onsite sewer system that would connect to the 8-inch sewer line in Seaton Avenue and the Project would not use septic tanks or alternative wastewater disposal systems. As a result, no impacts related to septic tanks or alternative wastewater disposal systems would not occur from implementation of the proposed Project.

Plans, Programs, or Policies/Conditions of Approval: None.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

**19. Wind Erosion and Blowsand from project either on or off site.**

a) Be impacted by or result in an increase in wind erosion and blowsand, either on or off site?

**Source(s):** Riverside County General Plan Figure S-8 "Wind Erosion Susceptibility Map," Ord. No. 460, Article XV & Ord. No. 484

**a) Would the Project be impacted by or result in an increase in wind erosion and blowsand, either on or off site?**

**No Impact.** Like the majority of the County, the Project site is identified by the General Plan Safety Element Figure S-8 as having a moderate wind erosion susceptibility. The General Plan, Safety Element Policy for Wind Erosion requires buildings and structures to be designed to resist wind loads that are covered by the CBC. In addition, as described above, the proposed Project includes installation of

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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landscaping adjacent to the proposed buildings and throughout the parking areas. With this landscaping, areas of loose topsoil that could erode by wind, would not exist upon operation of the proposed Project. As described previously, the proposed Project would be developed in compliance with CBC regulations (included as PPP GEO-1), which would be verified by the County Department of Building and Safety prior to approval of building permits. Therefore, the Project would not result in an increase in wind erosion and blow sand, either on or off site, and impacts would not occur.

Plans, Programs, or Policies/Conditions of Approval:

**PPP GEO-1: CBC Compliance.** The project is required to comply with the California Building Standards Code as included in the County’s Code Chapter 16.08 to preclude significant adverse effects associated with seismic and soils hazards. CBC related and geologist and/or civil engineer specifications for the proposed project are required to be incorporated into grading plans and building specifications as a condition of construction permit approval.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

<b>GREENHOUSE GAS EMISSIONS</b>	Would the project:			
<b>20. Greenhouse Gas Emissions</b>				
a) Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Source(s):** Riverside County General Plan; Riverside County Climate Action Plan (“CAP”); CalEEMod Emission Summary, prepared by Vince Mirabella, July 2021 (Appendix A).

**Thresholds**

The analysis methodologies from SCAQMD and the Riverside County Climate Action Plan (CAP) are used in evaluating potential impacts related to GHG from implementation of the proposed project.

**SCAQMD:** SCAQMD does not have approved thresholds; however, SCAQMD does have draft thresholds that provide a tiered approach to evaluate GHG impacts. The current interim SCAQMD thresholds consist of the following:

- Tier 1 consists of evaluating whether or not the project qualifies for any applicable exemption under CEQA.
- Tier 2 consists of determining whether the project is consistent with a GHG reduction plan. If a project is consistent with a qualifying local GHG reduction plan, it does not have significant GHG emissions.
- Tier 3 consists of screening values, which the lead agency can choose, but must be consistent with all projects within its jurisdiction. A project’s construction emissions are averaged over 30 years and are added to the project’s operational emissions. If a project’s emissions are below one of the following screening thresholds, then the project is less than significant:

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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- o Residential and Commercial land use: 3,000 MTCO<sub>2</sub>e per year
- o Industrial land use: 10,000 MTCO<sub>2</sub>e per year
- o Based on land use type: residential: 3,500 MTCO<sub>2</sub>e per year; commercial: 1,400 MTCO<sub>2</sub>e per year; or mixed use: 3,000 MTCO<sub>2</sub>e per year
- o Tier 4 has the following options:
  - o Option 1: Reduce BAU emissions by a certain percentage; this percentage is currently undefined.
  - o Option 2: Early implementation of applicable AB 32 Scoping Plan measures
  - o Option 3, 2020 target for service populations (SP), which includes residents and employee: 4.8 MTCO<sub>2</sub>e/SP/year for projects and 6.6 MTCO<sub>2</sub>e/SP/year for plans;
  - o Option 3, 2035 target: 3.0 MTCO<sub>2</sub>e/SP/year for projects and 4.1 MTCO<sub>2</sub>e/SP/year
- o Tier 5 involves mitigation offsets to achieve target significance threshold.

In addition, SCAQMD methodology for project's construction are to average them over 30-years and then add them to the project's operational emissions to determine if the project would exceed the screening values listed above (Appendix A).

**Climate Action Plan:** The County of Riverside adopted the CAP in December 8, 2015. The CAP was designed under the premise that Riverside County's emission reduction efforts should coordinate with the state strategies of reducing emissions in order to accomplish these reductions in an efficient and cost-effective manner. The County of Riverside CAP Update, November 2019 (CAP Update) establishes GHG emission reduction programs and regulations that correlate with and support evolving State GHG emissions reduction goals and strategies. The CAP Update includes reduction targets for year 2030 and year 2050. These reduction targets require the County to reduce emissions by at least 525,511 MT CO<sub>2</sub>e below the Adjusted Business As Usual (ABAU)<sup>1</sup> scenario by 2030 and at least 2,982,948 MT CO<sub>2</sub>e below the ABAU scenario by 2050 (CAP Update, p.7-1).

In order to evaluate consistency of development projects with the CAP, the CAP includes Screening Tables to aid in measuring the reduction of GHG emissions attributable to certain design and construction measures incorporated into development projects. The CAP contains a menu of measures potentially applicable to discretionary development that include energy conservation, water use reduction, increased residential density or mixed uses, transportation management and solid waste recycling. Individual sub-measures are assigned a point value within the overall screening table of GHG implementation measures. The point values are adjusted according to the amount of GHG emissions are reduced by the measures.

The CAP identifies a two-step approach in evaluating GHG emissions. First, a screening threshold of 3,000 MTCO<sub>2</sub>e per year is used to determine if additional analysis is required. The 3,000 MTCO<sub>2</sub>e per year value is used in defining small projects that, when combined with the modest efficiency measures required by Title 24 requirements, are considered less than significant. Projects that exceed the 3,000 MTCO<sub>2</sub>e per year are required to quantify and disclose the anticipated GHG emissions, then either 1) demonstrate GHG emissions reductions at project buildout year levels from implementation of project design features and/or mitigation measures to reduce GHG emissions or 2) garner 100 points through the Screening Tables.

<sup>1</sup> Adjusted Business As Usual (ABAU) Scenario reflects GHG emissions reductions achieved through anticipated future State actions (CAP Update, p. 2-1).

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Projects that garner at least 100 points (equivalent to an approximate 49 percent reduction in GHG emissions) are determined to be consistent with the reduction quantities anticipated in the CAP. As such, pursuant to the County's CAP, projects that achieve a total of 100 points or more are considered to have a less than significant individual and cumulative impact on GHG emissions (Appendix A).

**a) Would the Project generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?**

**Less than Significant.** Construction activities produce combustion emissions from various sources, such as site excavation, grading, utility engines, heavy-duty construction vehicles onsite, equipment hauling materials to and from the site, asphalt paving, and motor vehicles transporting the construction crew. Exhaust emissions from onsite construction activities would vary daily as construction activity levels change.

In addition, operation of the proposed industrial warehouses would result in area and indirect sources of operational GHG emissions that would primarily result from vehicle trips, electricity and natural gas consumption, water transport (the energy used to pump water), and solid waste generation. GHG emissions from electricity consumed by the building would be generated off-site by fuel combustion at the electricity provider. GHG emissions from water transport are also indirect emissions resulting from the energy required to transport water from its source.

The estimated operational GHG emissions that would be generated from implementation of the proposed Project are shown in Table GHG-1. Additionally, in accordance with SCAQMD recommendation, the Project's amortized construction related GHG emissions are added to the operational emissions estimate in order to determine the Project's total annual GHG emissions. As shown, GHG emissions would be less than SCAQMD and Riverside CAP thresholds. Therefore, based upon the CAP's screening threshold, impacts related to GHG emissions would be less than significant.

**Table GHG-1: Greenhouse Gas Emissions**

Activity	Annual GHG Emissions (MTCO <sub>2e</sub> )
<b>Project Operational Emissions</b>	
Area	0
Energy	243
Mobile-Passenger Vehicles and Local Delivery Trucks	606
Mobile – Haul Trucks	1,200
TRU	16
Waste	47
Water	88
Stationary	9
Offroad	242
Total	2,451
Project Construction Emissions	19
<b>Project Construction and Operation</b>	<b>2,470</b>

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<b>Significance Threshold</b>	<b>3,000</b>
<b>Project Exceeds Threshold?</b>	<b>No</b>
Source: CalEEMod Emission Summary, July 2021 Appendix A	

**b) Would the Project conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?**

**Less than Significant.** The proposed Project would result in development of two industrial warehouses. The design of the buildings would comply with state and federal programs that are designed to ensure energy efficiency. The proposed Project would comply with all mandatory measures under California Title 24, California Energy Code, and the CALGreen Code, which would provide for efficient energy and water consumption.

In addition, the Project would be consistent with the County's CAP, as Project GHG emissions are below 3,000 MTCO<sub>2</sub>e and since the Project will implement modest efficiency measures, including meeting Title 24 requirements and water conservation measures per the California Green Building Standards Code. In addition, the project would be consistent with the County's CAP, as detailed in Table GHG-2.

**Table GHG-2: Project Consistency with CAP**

<b>GHG Reduction Measures</b>	<b>Project Consistency</b>
R1-T1: Assembly Bill 1493: Pavley I	<b>Consistent.</b> Project vehicles would be required to comply with CARB's standards related to motor vehicles.
R1-T2: Assembly Bill 1493: Pavley II	
R1-T3: Executive Order S-1-07 (Low Carbon Fuel Standard)	
R2-T1: Alternative Transportation Options	<b>Consistent.</b> The Project would include construction of a sidewalk along the site's Seaton Avenue frontage to promote walking. Additionally, each proposed building would include a bike rack to promote biking.
R2-T2: Adopt and Implement a Bicycle Master Plan to Expand Bike Routes around the County	<b>Not Applicable.</b> This measure is intended for the County. However, the Project would not conflict with the use of existing bike lanes.
R2-T3: Ride-Sharing and Bike-to-Work Programs within Businesses	<b>Consistent.</b> The Project would provide preferential parking spaces for ride-share, carpool, and electric vehicles. Additionally, the Project would include one bike rack at each building.
R2-T4: Electrify the Fleet	<b>Consistent.</b> The Project would include preferential parking for electric vehicles. Additionally, each proposed building would include two EV charging spaces.
R1-EE1: California Building Code Title 24	<b>Consistent.</b> The proposed Project would be consistent with Title 24 requirements, which would be assured during the building plan check process.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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R2-EE1: Energy Efficiency Training, Education, and Recognition in the Residential Sector	<b>Not Applicable.</b> The proposed Project does not include residential development.
R2-EE2: Increase Community Participation in Existing Energy-Efficiency Programs	<b>Not Applicable.</b> This measure is intended for the County, not development projects.
R2-EE3: Home Energy Evaluations	<b>Not Applicable.</b> The proposed Project does not include residential development.
R2-EE4: Residential Home Energy Renovations	<b>Not Applicable.</b> The proposed Project does not include residential development.
R2-EE5: Exceed Energy Efficiency Standards in New Residential Units	<b>Not Applicable.</b> The proposed Project does not include residential development.
R2-EE6: Energy Efficiency Training, Education and Recognition in the Commercial Sector	<b>Not Applicable.</b> This measure is intended for the County, not development projects.
R2-EE7: Increase Business Participation in Existing Energy Efficiency Programs	<b>Not Applicable.</b> This measure is intended for the County, not development projects.
R2-EE8: Non-Residential Building Energy Audits	<b>Not Applicable.</b> This measure is intended for the County, not development projects.
R2-EE9: Non-Residential Building Retrofits	<b>Not Applicable.</b> The proposed Project involves the construction of two new industrial buildings. It does not involve the retrofit of an existing building.
R2-EE10: Energy Efficiency Enhancement of Existing and New Infrastructure	<b>Consistent.</b> The proposed Project would install energy efficient lighting along the Seaton Avenue frontage.
R2-EE11: Exceed Energy Efficiency Standards in New Commercial Units	<b>Consistent.</b> The Project would comply with existing Title 24 requirements and go beyond Title 24 requirements by installing four EV Chargers onsite.
R1-CE1: Renewable Portfolio Standard	<b>Consistent.</b> The Project would use energy from Southern California Edison (SCE). SCE has committed to diversify its portfolio of energy sources by increasing energy from wind and solar sources. The Project would not interfere with or obstruct SCE energy source diversification efforts.
R2-CE1: Clean Energy	<b>Not Applicable.</b> As the Project would construct two buildings totaling less than 100,000 SF, the Project would not be required to install solar panels.
R2-CE2: Community Choice Aggregation Program	<b>Not Applicable.</b> This measure is intended for the County, not development projects.
R2-L1: Tree Planting for Shading and Energy Saving	<b>Consistent.</b> The Project would provide landscaping throughout the site, including shade trees.
R2-L2: Light Reflecting Surfaces for Energy Saving	<b>Consistent.</b> As shown on Figures 3-2 and 3-3, Project elevations would be comprised of light colored materials, which would reflect light and heat in order to increase energy efficiency.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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R1-W1: Renewable Portfolio Standard Related to Water Supply and Conveyance	<b>Consistent.</b> The Project would use energy from Southern California Edison (SCE). SCE has committed to diversify its portfolio of energy sources by increasing energy from wind and solar sources. The Project would not interfere with or obstruct SCE energy source diversification efforts.
R2-W1: Water Efficiency through Enhanced Implementation of Senate Bill X7-7	<b>Consistent.</b> The proposed Project would utilize low-irrigation and drought tolerant landscaping in order to reduce water use.
R2-W2: Exceed Water Efficiency Standards	<b>Not Applicable.</b> This measure is intended for the County, not development projects. Furthermore, recycled water is not available to the Project site.
R2-S1: Reduce Waste to Landfills	<b>Consistent.</b> All construction would be required to divert 65 percent of construction waste and operations of development would be required to divert 75 percent of solid waste pursuant to state regulations.

In addition, since the Project building square footage is less than 100,000 SF, the Project would not be required to comply with CAP Measure R2-CE 1, which requires that if any tentative tract map, plot plan, or conditional use permit that proposes to add more than 75 new dwelling units of residential development or one or more new building totaling more than 100,000 gross square feet of commercial, office, industrial or manufacturing development the project must offset its energy demands by 20 percent. As the CAP regulates GHG emissions from the Project area, the Project would not conflict with existing plans, policies, and regulations adopted for the purpose of reducing the emissions of greenhouse gas. Impacts would be less than significant.

Plans, Programs, or Policies/Conditions of Approval:

**PPP E-1: CALGreen Code.** Listed previously in Section 10.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

**HAZARDS AND HAZARDOUS MATERIALS** Would the project:

**21. Hazards and Hazardous Materials**

a) Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?

b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
c) Impair implementation of or physically interfere with an adopted emergency response plan or an emergency evacuation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter (1/4) mile of an existing or proposed school?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Source(s):** Phase I Environmental Site Assessment, prepared by Stantec Consulting Services, Inc., December 2020, (Appendix F).

**a) Would the Project create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?**

**Less than Significant Impact.** A hazardous material is typically defined as any material that due to its quantity, concentration, or physical or chemical characteristics, poses a significant potential hazard to human health and safety or the environment if released. Hazardous materials may include, but are not limited to hazardous substances, hazardous wastes, and any material that would be harmful if released.

There are multiple state and local laws that regulate the storage, use, and disposal of hazardous materials. The Riverside County Department of Environmental Health Hazardous Materials Branch is the local administrative agency that coordinates regulatory programs that regulate use, storage, and handling of hazardous materials, including Hazardous Materials Business Plans. As required by the County's standard conditions of approval, should tenants of the proposed building utilize or transport hazardous materials, the tenant/business would also be required to comply with Riverside County Department of Environmental Health conditions, and if required, the California Accidental Release Program (CalARP). CalARP would require the tenant to provide a Risk Management Plan and allow site access for routine inspections of CalARP facilities.

**Construction**

Construction activities for the proposed Project would involve routine transport, use, and disposal of hazardous materials such as paints, solvents, oils, grease, and calking. In addition, routine hazardous materials would be used for fueling and serving construction equipment onsite. These types of hazardous materials routinely used during construction are not acutely hazardous, and all storage, handling, use, and disposal of these materials are regulated by existing state and federal laws that the project is required to strictly adhere to. As a result, the routine transport, use or disposal of hazardous materials during construction activities for the proposed Project would be less than significant.

**Operation**

The proposed Project would operate two industrial warehouses, which generally use limited hazardous materials, such as: cleaning agents, paints, pesticides, batteries, and aerosol cans. Normal routine use of these products would not result in a significant hazard to residents or workers in the vicinity of the Project.

Also, should any future business that occupies the proposed building handle acutely hazardous materials (as defined in Section 25500 of California Health and Safety Code, Division 20, Chapter 6.95)



Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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the business would require a permit from the Riverside County Department of Environmental Health Hazardous Materials Branch. Such businesses are also required to comply with California’s Hazardous Materials Release Response Plans and Inventory Law, which requires immediate reporting to the County Hazardous Materials Branch and the State Office of Emergency Services regarding any release or threatened release of a hazardous material, regardless of the amount handled by the business. In addition, any business handling at any one time, greater than 500 pounds of solid, 55 gallons of liquid, or 200 cubic feet of gaseous hazardous material, is required, under Assembly Bill 2185 (AB 2185), to file a Hazardous Materials Business Emergency Plan with the County. A Hazardous Materials Business Emergency Plan is a written set of procedures and information created to help minimize the effects and extent of a release or threatened release of a hazardous material. The intent of the Hazardous Materials Business Emergency Plan is to satisfy federal and state right-to-know laws and to provide detailed information for use by emergency responders.

Therefore, if future businesses that use or store hazardous materials occupy the proposed buildings, the business owners and operators would be required to comply with all applicable federal, state, and local regulations, as permitted by the County Department of Environmental Health Hazardous Materials Branch to ensure proper use, storage, and disposal of hazardous substances. Overall, operation of the proposed Project would result in a less than significant impact related to the routine transport, use, or disposal of hazardous materials.

**b) Would the Project create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?**

**Less than Significant.** In 2020, a Phase I Environmental Site Assessment (ESA) was conducted for the Project site by Stantec Consulting Services (Appendix F). One de minimis condition was identified, which is discussed below. The Phase I ESA did not identify any recognized environmental conditions (RECs), controlled RECs, or historic RECs.

***De Minimis Conditions***

Several piles of illegally dumped municipal waste, including asphalt, roof shingles, a plastic tote, and unidentified waste were observed throughout the Project site. Hazardous materials and asbestos-containing materials may be present within the waste at levels that could potentially require special handling in accordance with local and/or state regulations. It is recommended that this material be removed from the Project site prior to construction and disposed of at a proper disposal facility.

Since the Phase I ESA was conducted, the Project site has been cleared of all illegally dumped municipal waste. However, should any additional waste be dumped on the site prior to construction, it shall be removed and disposed of at a proper disposal facility in compliance with California Code of Regulations (CCR) Title 27, CCR Title 22, and County standards.

**Construction**

As described previously, construction of the proposed Project would involve the limited use and disposal of hazardous materials. Equipment that would be used in construction of the project has the potential to release gas, oils, greases, solvents; and spills of paint and other finishing substances. However, the amount of hazardous materials onsite would be limited, and construction activities would be required to adhere to all applicable regulations regarding hazardous materials storage and handling, as well as to implement construction BMPs, such as silt fencing, fiber rolls, or gravel bags, vehicle and equipment maintenance, cleaning, and fueling, and fuel management (through implementation of a required

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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SWPPP implemented by County conditions of approval, and included as PPP HYD-1) to prevent a hazardous materials release and to promptly contain and clean up any spills, which would minimize the potential for harmful exposures. With compliance to existing laws and regulations, including Code of Federal Regulations (CFR), Title 49, Chapter I; California Code of Regulations (CCR), Title 8; CFR, Title 40, Part 263, which are mandated by the County through construction permitting, the Project's construction-related impacts would be less than significant.

**Operation**

As described previously, operation of the proposed industrial warehouses includes use of limited hazardous materials, such as: cleaning agents, paints, pesticides, batteries, and aerosol cans. These types of hazardous materials are not acutely hazardous and regulated by existing laws that have been implemented to reduce risks related to the use of these substances. Similarly, should any future business that occupies the approved or proposed building handle acutely hazardous materials, it would be required to file a Hazardous Materials Business Plan and receive a permit from the County Department of Environmental Health Hazardous Materials Branch to ensure proper use, storage, and disposal of hazardous substances. As a result, operation of the proposed Project would not create a reasonably foreseeable upset and accident condition involving the release of hazardous materials into the environment, and impacts would be less than significant.

**c) Would the Project impair implementation of or physically interfere with an adopted emergency response plan or an emergency evacuation plan?**

**No Impact.** The County of Riverside has implemented a Multi-Jurisdictional Local Hazard Mitigation Plan (July 2018) that identifies risks by natural and human-made disasters and ways to minimize the damage from those disasters. The proposed Project would operate two industrial warehouses that would be permitted and approved in compliance with existing safety regulations, such as the CBC and California Fire Code (included in the County Code as Chapter 15.04 and Chapter 8.32, respectively) to ensure that it would not conflict with implementation of the Multi-Jurisdictional Local Hazard Mitigation Plan.

**Construction**

The proposed construction activities, including equipment and supply staging and storage, would occur within the Project site and would not restrict access of emergency vehicles to the project site or adjacent areas. During construction of the Project driveways and connections to existing infrastructure along Seaton Avenue and Beck Street, the roadways would remain open to ensure adequate emergency access to the project area and vicinity, and impacts related to interference with an adopted emergency response of evacuation plan during construction activities would not occur.

**Operation**

Operation of the proposed project would also not result in a physical interference with an emergency response evacuation. Direct access to the Project site would be provided from Seaton Avenue, which is adjacent to the project site. The Project would also be required to design and construct internal access and provide fire suppression facilities (e.g., hydrants and sprinklers) in conformance with the County Code and the Riverside County Fire Department would review the development plans prior to approval to ensure adequate emergency access pursuant to the requirements in the International Fire Code and Section 503 of the California Fire Code (Title 24, California Code of Regulations, Part 9. As a result, the proposed Project would not impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan, and no impacts would occur.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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**d) Would the Project emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter (1/4) mile of an existing or proposed school?**

**No Impact.** The closest school site is at the Thomas Rivera Middle School, located at 21675 Martin Street, approximately 1 mile southwest of the Project site. Therefore there are no schools located within a 0.25 mile of the Project site. As such, there would be no impacts that would occur to any schools in the vicinity of the Project.

As described previously, the use of hazardous materials related to the proposed industrial warehouse uses would be limited and used and disposed of in compliance with federal, state, and local regulations, which would reduce the potential of accidental release into the environment. Also, the emissions that would be generated from construction and operation of the proposed Project were evaluated in the air quality analysis presented in Section 3, and the emissions generated from the proposed Project would not cause or contribute to an exceedance of the federal or state air quality standards. Thus, the proposed Project would not emit hazardous or handle acutely hazardous materials, substances, or waste within 0.25 mile of school, and no impacts would occur.

**e) Would the Project be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?**

**Less than Significant.** The Phase I ESA conducted database searches to determine if the Project area or any nearby properties are identified as currently having hazardous materials. The record searches determined that although the site has a history of various uses and identified as previously generating hazardous wastes and clean-up activities, the Project site is not located on which is included on a list of hazardous materials sites pursuant to Government Code Section 65962.5 (Phase I 2021).

In addition, the Phase I ESA identified three facilities which are listed pursuant to Government Code Section 65962.5. As shown in Table HAZ-1, these facilities are not located on the Project site (between 177 feet and 1,211 feet away) and none of these sites are considered a REC for the Project site. As such, impacts would be less than significant.

**Table HAZ-1: Nearby Listed Sites**

Listed Facility Name/Address	Database Listing	Distance from Project site	REC?
Painted Rhino/ Painted Rhino Perris 22850 Perry Street Perris, CA	CERS HAZ WASTE EMI NPDES CIWQS CERS RCRA NonGen/NLR	0.034 mile/177 feet southwest at a lower elevation.	The site is listed as hazardous waste generator since at least 2017. In 2018, the site received a violation for failure to properly store and manage hazardous chemicals and their containers, keep updated materials inventory and appropriate labels/signage, and maintain alarm and emergency equipment. These were returned to compliance in 2018. Due to the lack of spills or releases, this site is not considered a REC for the Project site.
Green Bee Yard 18890 Seaton Avenue Perris, CA	RCRA-SQG	0.205 mile/1,084 feet south	The site is listed as a small quantity generator of hazardous waste, including ignitable hazardous waste, cadmium,

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		southwest at a lower elevation	chromium, and lead. Due to the lack of reported releases or violations, this site is not considered a REC for the Project site.
White House Sanitation/Universal Waste Systems, Inc. 18916 Seaton Avenue Perris, CA	CERS HAZ WASTE CERS TANKS CIWQS CERS RCRA NonGen/NLR	0.229 mile/1,211 feet south southeast at a lower elevation	The site is listed as a hazardous waste generator and is reported as having an AST containing petroleum. In 2020, the site received a violation for failure to provide personnel training and maintain permit-related documents/requirements. In 2019, the site received violations for failure to pay appropriate fees, provide personnel training, maintain inventory lists, maintain active permit, and maintain adequate safety facility operations and permit-related documents. In 2018, the site received a violation for failure to comply with permit requirements. In 2017, the site received a violation for failure to comply with permit requirements. In 2016, the site received violations for failure to submit permit-related documentation/requirements, submit material inventory, and submit a completed site map. All violations have since been corrected. Due to lack of reported leaks or releases, the site is not considered a REC for the Project site.

Plans, Programs, or Policies/Conditions of Approval: None.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

**22. Airports**

a) Result in an inconsistency with an Airport Master Plan?

b) Require review by the Airport Land Use Commission?

c) For a project located within an airport land use plan or, where such a plan has not been adopted, within two (2) miles of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area?

d) For a project within the vicinity of a private airstrip, or heliport, would the project result in a safety hazard for people residing or working in the project area?

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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**Source(s):** Riverside County General Plan Figure S-20 “Airport Locations,” GIS database; March Air Reserve Base / Inland Port Airport Land Use Compatibility Plan, 2014 (ALUCP 2014). Accessed: <http://www.rcaluc.org/Portals/13/17%20-%20Vol.%201%20March%20Air%20Reserve%20Base%20Final.pdf?ver=2016-08-15-145812-700>.

**a) Would the Project result in an inconsistency with an Airport Master Plan?**

**Less than Significant Impact.** The Project site is located approximately 1 mile southwest of the March Air Reserve Base (ARB) and is within Compatibility Zones C2 in the March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan (ALUCP). The C2 zone is identified as a flight corridor zone for March Air Reserve Base. The ALUCP restricts the number of people within the C2 zone to an average of 200 people per acre, with no more than 500 people in one acre. Highly noise-sensitive outdoor non-residential uses and hazards to flight are prohibited. In addition, an airspace review is required for any objects taller than 70-feet in height within the C2 zone.

On June 10, 2021, the Project was reviewed for consistency with the ALUCP by the Riverside County Airport Land Use Commission (ALUC). ALUC determined the Project would be consistent with the ALUCP, subject to conditions of approval. With implementation of these conditions of approval listed below, impacts related to an inconsistency with an Airport Master Plan would be less than significant.

**b) Would the Project require review by the Airport Land Use Commission?**

**Less than Significant Impact.** As described in the previous response, the Project has been reviewed for consistency with the ALUCP by the Riverside ALUC. ALUC determined the Project would be consistent with the ALUCP, subject to conditions of approval. With implementation of these conditions of approval, impacts related to inconsistency with an Airport Master Plan would be less than significant.

**c) For a project located within an airport land use plan or, where such a plan has not been adopted, within two (2) miles of a public airport or public use airport, would the Project result in a safety hazard for people residing or working in the project area?**

**Less than Significant Impact.** The Project site is approximately 1 mile southwest of the March ARB. As described previously, the Project site is identified as within Compatibility Zone C2, which is a flight corridor zone. The Project has been reviewed by the Riverside County ALUC. ALUC determined the Project would be consistent with the ALUCP, subject to conditions of approval. These conditions of approval include actions that would minimize the potential for harm to workers at the Project site, such as a requirement for interior noise levels from aircraft operations to be attenuated to 45 dBA CNEL or less. With implementation of these conditions of approval, impacts related to a safety hazard for people residing or working in the Project area would be less than significant.

**d) For a project within the vicinity of a private airstrip, or heliport, would the project result in a safety hazard for people residing or working in the project area?**

**No Impact.** The Project site is not located within the vicinity of a private airstrip and would not result in a safety hazard related to an airstrip for people residing or working in the Project Area.

Plans, Programs, or Policies/Conditions of Approval:

**PPP HAZ-1: ALUC Conditions.** The Project will be required to comply with the following conditions issued by the Airport Land Use Commission on June 10, 2021:

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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1. Any outdoor lighting installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The following uses/activities are not included in the proposed Project and shall be prohibited at this site:
  - (a) Any use or activity which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
  - (b) Any use or activity which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
  - (c) Any use or activity which would generate smoke or water vapor or which would **attract** large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, or row crops, composting operations, wastewater management facilities, artificial marshes, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)
  - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
  - (e) Highly noise sensitive outdoor nonresidential uses.
  - (f) Other Hazards to flight
3. The attached "Notice of Airport in Vicinity" shall be provided to all prospective purchasers and occupants of the property and be recorded as a deed notice. In the event that the Office of the Riverside County Assessor-Clerk-Recorder declines to record said notice, the text of the notice shall be included on the Environmental Constraint Sheet (ECS) of the final parcel map, if an ECS is otherwise required.
4. The Project has been conditioned to utilize underground detention systems, which shall not contain surface water or attract wildlife. Any new detention basins or facilities shall be designed and maintained to provide for a maximum 48-hour detention period following the design storm, and remain totally dry between rainfalls. Vegetation in and around the detention basins that would provide food or cover for birds would be incompatible with airport operations and shall not be utilized in project landscaping. Trees shall be spaced so as to prevent large expanses of contiguous canopy, when mature. Landscaping in and around the detention basin(s) shall not include trees or shrubs that produce seeds, fruits, or berries.

Landscaping in the detention basin, if not rip-rap, should be in accordance with the guidance provided in ALUC "LANDSCAPING NEAR AIRPORTS" brochure, and the "AIRPORTS, WILDLIFE AND STORMWATER MANAGEMENT" brochure available at RCALUC.ORG which list acceptable plants from Riverside County Landscaping Guide or other alternative landscaping as may be recommended by a qualified wildlife hazard biologist.

A notice sign, in a form similar to that attached hereto, shall be permanently affixed to the stormwater basin with the following language: "There is an airport nearby. This stormwater basin is designed to hold stormwater for only 48 hours and not attract birds. Proper maintenance is necessary to avoid bird strikes". The sign will also include the name, telephone number or other contact information of the person or entity responsible to monitor the stormwater basin.

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5. March Air Reserve Base must be notified of any land use having an electromagnetic radiation component to assess whether a potential conflict with Air Base radio communications could result. Sources of electromagnetic radiation include radio wave transmission in conjunction with remote equipment inclusive of irrigation controllers, access gates, etc.
6. The Project has been evaluated for 93,940 square feet of manufacturing area, and 5,000 square feet of office area. Any increase in building area, change in use to any higher intensity use, change in building location, or modification of the tentative parcel map lot lines and areas will require an amended review to evaluate consistency with the ALUCP compatibility criteria, at the discretion of the ALUC Director.
7. The Project **does not** propose rooftop solar panels at this time. However, if the Project were to propose solar rooftop panels in the future, the applicant/developer shall prepare a solar glare study that analyzes glare impacts, and this study shall be reviewed by the Airport Land Use Commission and March Air Reserve Base.
8. The Federal Aviation Administration has conducted an aeronautical study of the proposed project (Aeronautical Study Nos. 2021-AWP-7737-OE and 2021-AWP-7738-OE) and has determined that neither marking nor lighting of the structures are necessary for aviation safety. However, if marking and/or lighting for aviation safety are accomplished on a voluntary basis, such marking and/or lighting (if any) shall be installed in accordance with FAA Advisory Circular 70/7460-1 M and shall be maintained in accordance therewith for the life of the project.
9. The proposed structures shall not exceed a height of 41 feet above ground level and a maximum elevation at top point of 1,611 feet above mean sea level.
10. The maximum height and top point elevation specified above shall not be amended without further review by the Airport Land Use Commission and the Federal Aviation Administration; provided, however, that reduction in structure height or elevation shall not require further review by the Airport Land Use Commission.
11. Temporary construction equipment used during actual construction of the structure shall not exceed 41 feet in height and a maximum elevation of 1,611 feet above mean sea level, unless separate notice is provided to the Federal Aviation Administration through the Form 7460-1 process.
12. Within five (5) days after construction of the structure reaches its greatest height, FAA Form 7460-2 (Part II), Notice of Actual Construction or Alteration, shall be completed by the project proponent or his/her designee and e-filed with the Federal Aviation Administration. (Go to <https://oeaaa.faa.gov> for instructions.) This requirement is also applicable in the event the project is abandoned or a decision is made not to construct the applicable structure.

**Mitigation:** No mitigation is required.

**Monitoring:** No monitoring is required.

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<b>HYDROLOGY AND WATER QUALITY</b> Would the project:				
<b>23. Water Quality Impacts</b>				
a) Violate any water quality standards or waste discharge requirements or otherwise substantially degrade surface or ground water quality?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Substantially decrease groundwater supplies or interfere substantially with groundwater recharge such that the project may impede sustainable groundwater management of the basin?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river or through the addition of impervious surfaces?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Result in substantial erosion or siltation on-site or off-site?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Substantially increase the rate or amount of surface runoff in a manner which would result in flooding on-site or off-site?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) Create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g) Impede or redirect flood flows?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
h) In flood hazard, tsunami, or seiche zones, risk the release of pollutants due to project inundation?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
i) Conflict with or obstruct implementation of a water quality control plan or sustainable groundwater management plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Source(s):** Riverside County General Plan Figure S-9 “Special Flood Hazard Areas,” Figure S-10 “Dam Failure Inundation Zone,” Riverside County Flood Control District Flood Hazard Report/Condition, GIS database, Preliminary Water Quality Management Plan, 2021, prepared by Goodman & Associates, Inc. (WQMP 2021) (Appendix G); Hydrology-Hydraulics Study, 2021, prepared by Goodman & Associates, Inc. (HYDRO 2021) (Appendix H); Eastern Municipal Water District 2020 Urban Water Management Plan (UWMP 2020);

**a) Would the Project violate any water quality standards or waste discharge requirements or otherwise substantially degrade surface or ground water quality?**

**Less Than Significant Impact.** The Project site is within the Santa Ana Watershed Region of Riverside County, within the San Jacinto Sub-Watershed and under the jurisdiction of the Santa Ana RWQCB, which sets water quality standards for all ground and surface waters within its region. Water quality standards are defined under the Clean Water Act (CWA) to include both the beneficial uses of specific water bodies and the levels of water quality that must be met and maintained to protect those uses (water quality objectives). Water quality standards for all ground and surface waters overseen by the Santa Ana RWQCB are documented in its Basin Plan, and the regulatory program of the Santa Ana RWQCB is designed to minimize and control discharges to surface and groundwater, largely through



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permitting, such that water quality standards are effectively attained. Water quality standards are determined based on the identified beneficial use of the water body.

Receiving waters of the project site in order of upstream to downstream include, San Jacinto River, Canyon Lake, and Lake Elsinore. Beneficial uses Canyon Lake consist of municipal and domestic supply (MUN), agriculture supply (AGR), groundwater recharge (GWR), water contact recreation (REC1), non-contact water recreation (REC2), warm freshwater habitat (WARM), and wildlife habitat (WILD) (WQMP 2021). Beneficial uses of Lake Elsinore consist of water contact recreation (REC1), non-contact water recreation (REC2), warm freshwater habitat (WARM), cold freshwater habitat (COLD), and wildlife habitat (WILD).

The existing vacant property generally slopes from west to east at approximately three percent (HYDRO 2021). Per the County's Perris Valley Area Drainage Plan, the site is part of the area tributary to Lateral F-1, with approximately 60 acres of upstream off-site area that is tributary to the site. Existing drainage sheet flows through and across the site, discharging to an existing inlet structure at the northeast corner of the site. There is an existing 4-inch storm drainpipe in Seaton Avenue, constituting the current upstream end of Lateral F-1.

**Construction**

Construction of the proposed Project would require demolition of the existing improvements on the site and excavation of soils, which would loosen sediment, and then have the potential to mix with surface water runoff and degrade water quality. Additionally, construction would require the use of heavy equipment and construction-related chemicals, such as concrete, cement, asphalt, fuels, oils, antifreeze, transmission fluid, grease, solvents, and paints. These potentially harmful materials could be accidentally spilled or improperly disposed of during construction and, if mixed with surface water runoff could wash into and pollute waters.

These types of water quality impacts during construction of the Project would be prevented through implementation of a grading and erosion control plan that is required by the Construction Activities General Permit (State Water Resources Board Order No. 2012-0006-DWQ, NPDES No. CAS000002), which requires preparation of a SWPPP by a Qualified SWPPP Developer, as discussed previously in Section 18. The SWPPP is required for plan check and approval by the County's Building and Safety Division, prior to provision of permits for the Project, and would include construction BMPs such as:

- Silt fencing, fiber rolls, or gravel bags
- Street sweeping and vacuuming
- Storm drain inlet protection
- Stabilized construction entrance/exit
- Vehicle and equipment maintenance, cleaning, and fueling
- Hydroseeding
- Material delivery and storage
- Stockpile management
- Spill prevention and control
- Solid waste management
- Concrete waste management

Adherence to the existing requirements and implementation of the appropriate BMPs per the permitting process would ensure that activities associated with construction would not violate any water quality standards. The Project would be required to have an approved grading and erosion control plan and

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approval of a SWPPP, which would include construction BMPs to minimize the potential for construction related sources of pollution, per County conditions of approval, which would be implemented during construction to protect water quality. As a result, impacts related to the degradation of water quality during construction of the proposed Project would be less than significant.

**Operation**

Post construction, the Project site would support operation of two warehouse buildings totaling 98,940 SF. Project operation would introduce the potential for pollutants such as, chemicals from cleaners, pesticides and sediment from landscaping, trash and debris, and oil and grease from vehicles. These pollutants could potentially discharge into surface waters and result in degradation of water quality. However, in accordance with State Water Resources Board Order No. 2012-0006-DWQ, NPDES No. CAS000002 the proposed Project would be required to incorporate a WQMP with post-construction (or permanent) Low Impact Development (LID) site design, source control, and treatment control BMPs, included as PPP HYD-1. The LID site design would minimize impervious surfaces and provide infiltration of runoff into landscaped areas.

The source control BMPs would minimize the introduction of pollutants that may result in water quality impacts; and treatment control BMPs that would treat stormwater runoff. The proposed landscaped areas would introduce planting media that will likely enhance the capability to store runoff on-site within the media. Some of the runoff will drain to nearby landscaping areas. The remainder of the Project is designed to flow to two proposed underground infiltration tanks, with designed capacity to capture 8,044 cubic feet and 7,809 cubic feet, which would have pretreatment continuous deflection separation (CDS) system screens to separate and trap debris, sediment, and oil and grease from stormwater runoff prior to discharging into the tanks. The additional types of BMPs that would be implemented as part of the proposed Project are listed in Table HYD-1.

With implementation of the operational source and treatment control BMPs that is outlined in the preliminary WQMP (Appendix G) that would be reviewed and approved by the County during the Project permitting and approval process, potential pollutants would be reduced to the maximum extent feasible, and implementation of the proposed Project would not substantially degrade water quality. Therefore, impacts would be less than significant.

**b) Would the Project substantially decrease groundwater supplies or interfere substantially with groundwater recharge such that the project may impede sustainable groundwater management of the basin?**

**Less than Significant Impact.** The proposed Project would not deplete groundwater supplies. The Eastern Municipal Water District (EMWD) provides water services to the Project site and vicinity, which receives a large portion of water from imported sources (UWMP 2020). The Project area overlies the Perris North Groundwater basin, which is located within the West San Jacinto Basin, and is managed through the West San Jacinto Groundwater Management Plan. The plan manages groundwater extraction, supply, and quality. Because the groundwater basin is managed through this plan, which limits the allowable withdrawal of water from the basin by water purveyors, and the Project would not pump water from the project area (as water supplies would be provided by EMWD), the proposed Project would not result in a substantial depletion of groundwater supplies.

In addition, development of the proposed Project would result in a large area of impervious surface (342,345 SF) on the Project site. However, the Project site is underlain by granitic rock that limits infiltration. The Project design includes two underground infiltration basins that would capture and filter

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runoff. In addition, the Project includes installation of landscaping that would infiltrate stormwater onsite. As a result, the proposed Project would not decrease groundwater supplies or interfere substantially with groundwater recharge such that the Project may impede sustainable groundwater management of the basin. The proposed Project would have a less than significant impact.

**Table HYD-1: Permanent and Operational Source Control Measures**

Potential Sources of Runoff Pollutants	Permanent Structural Source Control BMPs	Operational Source Control BMPs
Landscaping/Outdoor Pesticide Use	<p>Final Landscape Plans will accomplish all of the following:</p> <ul style="list-style-type: none"> <li>• Preserve existing native trees, shrubs, and ground cover to the maximum extent possible.</li> <li>• Design landscaping to minimize irrigation and runoff, to promote surface infiltration where appropriate, and to minimize the use of fertilizers and pesticides that can contribute to stormwater pollution.</li> <li>• Where landscaped areas are used to retain or detain stormwater, specify plants that are tolerant of saturated soil conditions.</li> <li>• Consider using pest-resistant plants, especially adjacent to hardscape.</li> <li>• To ensure successful establishment, select plants appropriate to site soils, slopes, climate, sun, wind, rain, land use, air movement, ecological consistence, and plant interactions.</li> </ul>	<ul style="list-style-type: none"> <li>• Maintain landscaping using minimum or no pesticides</li> <li>• Do not rake or blow leaves, clippings or pruning waste into the street, gutter or storm drain. Instead dispose of green waste by composting, hauling it to a permitted landfill, or recycling through the City of Riverside's recycling program.</li> <li>• Provide integrated Pest Management information to new owners, lessees, and operators</li> </ul>

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<p>Refuse Areas</p>	<ul style="list-style-type: none"> <li>• Trash receptacles shall be emptied by trained personnel on a regular basis to maintain clean facilities</li> <li>• Trash enclosures area shall be kept clean by sweeping on a regular basis.</li> <li>• Trash enclosures shall be emptied by a qualified, contracted waste management company or the City of Riverside.</li> <li>• Signs will be posted on or near dumpsters with the words, "Do not dump hazardous materials here" or similar.</li> </ul>	<ul style="list-style-type: none"> <li>• Provide adequate number of receptacles</li> <li>• Inspect receptacles regularly, and repair or replace leaky receptacles</li> <li>• Keep receptacles covered</li> <li>• Prohibit/prevent dumping of liquid or hazardous wastes</li> <li>• Post "No Hazardous Materials signs"</li> <li>• Inspect and pick up litter daily and clean up spills immediately</li> <li>• Keep spill control materials on-site</li> </ul>
<p>Condensate Drain Lines</p>	<ul style="list-style-type: none"> <li>• Condensate lines for equipment get drained into the sanitary sewer at the mop sink.</li> </ul>	
<p>Plazas, sidewalks, loading docks and parking lots</p>		<ul style="list-style-type: none"> <li>• Sweep plazas, sidewalks, and parking lots regularly to prevent accumulation of litter and debris. Collect debris from pressure washing to prevent entry into the storm drain system. Collect washwater containing and cleaning agent or degreaser and discharge to the sanitary sewer, not to a storm drain.</li> </ul>

**c) Would the Project substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river or through the addition of impervious surfaces?**

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**Less than Significant Impact.** The Project site does not include or is adjacent to any river or stream. Thus, impacts related to alteration of the course of a stream or river would not occur. The Project site generally slopes  $\pm 3\%$  from the west to east. Currently, runoff from the site is collected in discharging to an existing inlet structure at the northeast corner of the site (HYDRO 2021). The stormwater runoff from the addition of impervious surfaces from development of the Project would be conveyed to the CDS clarifier for pre-treatment ahead of two underground infiltration systems. Each system is proposed to be situated to the east of each building. Over-flows in excess of water quality capture volume requirements will be directed to the aforementioned Lateral F-1 for conveyance off-site. Drainage would be controlled and would not result in substantial alteration of the drainage pattern. In addition, a WQMP is required to be developed, approved, and implemented to satisfy the requirements of the adopted NPDES program, which would be verified by the County's Building and Safety Division through the County's permitting process and through conditions of approval. Therefore, the proposed Project would result in less than significant impacts related to alteration of the drainage pattern of the site or area.

**d) Would the Project result in substantial erosion or siltation on-site or off-site?**

**Less than Significant Impact.** As described previously, existing RWQCB and County regulations require the Project to implement a Project specific SWPPP during construction activities, included as PPP HYD-2, that would implement erosion control BMPs, such as silt fencing, fiber rolls, or gravel bags, stabilized construction entrance/exit, hydroseeding, etc. to reduce the potential for siltation or erosion. In addition, the Project is required to implement a WQMP that would provide operational BMPs to ensure that operation of the industrial warehouse use would not result in erosion or siltation. With implementation of these regulations, impacts related to erosion or siltation onsite or off-site would be less than significant.

**e) Would the Project substantially increase the rate or amount of surface runoff in a manner which would result in flooding on-site or off-site?**

**Less than Significant Impact.** As detailed previously, runoff generated by the proposed Project would be conveyed to clarifier screens and underground infiltration basins that would be developed on the east side of each of the proposed warehouse buildings, which would filter, retain, and slowly discharge drainage into Lateral F-1, such that drainage would be controlled and would not result in an increase in runoff that could result in on or off-site flooding. In addition, a WQMP is required to be developed, approved, and implemented to satisfy the requirements of the adopted NPDES program, which would be verified by the County's Building and Safety Division through the County's permitting process to ensure that the proposed Project would meet the stormwater control requirements. Therefore, the proposed Project would not increase the rate or amount of surface runoff in a manner which would result in flooding onsite or off-site, and impacts would be less than significant.

**f) Would the Project create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff?**

**Less than Significant Impact.** As described previously, the runoff generated by the proposed Project would be conveyed CDS screens and underground infiltration basins that would be developed on the east side of each of the proposed warehouse buildings, which would filter, retain, and slowly discharge drainage into Lateral F-1. The basins have been sized to accommodate the anticipated flows, and would control drainage, such that it would not exceed the capacity of the stormwater drainage system. The Preliminary Hydrology Report details that the storm drain facilities are be sized adequately for 100-year

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storm event. The required capture volumes are 8,044 and 7,809 cubic feet of storm water per the current Riverside County design criteria and the basin has been sized to capture and treat 22,464 cubic feet of storm water (HYDRO 2021). Thus, runoff from the Project site would not exceed the capacity of stormwater drainage systems.

In addition, a WQMP is required to be developed, approved, and implemented to satisfy the requirements of the adopted NPDES program, which would be verified by the County's Building and Safety Division through the County's permitting process to ensure that the proposed Project would not provide additional sources of polluted runoff. As listed previously in Section 18, implementation of a WQMP during the County's standard review and permitting process would result in less than significant impacts related to the stormwater drainage system and polluted runoff.

**g) Would the Project impede or redirect flood flows?**

**No Impact.** The Project would develop an undeveloped vacant site into two industrial warehouse buildings and associated infrastructure and install underground infiltration basins onsite that would retain and convey storm flows to the drainage system. According to the FEMA FIRM map (06065C1410G) and the Mead Valley Area Plan Figure 11, Special Flood Hazard Zones, the Project site is not located within a flood zone. Thus, the proposed Project would not impede or redirect flood flows, and no impacts would occur.

**h) Would the Project, in flood hazard, tsunami, or seiche zones, risk the release of pollutants due to project inundation?**

**No Impact.** As described above, the Project is not located within a flood zone. Therefore, the Project would not potentially risk the release of pollutants due to project inundation. The Project site is located over 37 miles northeast of the Pacific Ocean and separated by the Santa Ana Mountains. Therefore, the Project is not located within a tsunami zone and no impacts would occur. Similarly, a seiche is the sloshing of a closed body of water from earthquake shaking. Seiches are of concern relative to water storage facilities because inundation from a seiche can occur if the wave overflows a containment wall, such as the wall of a reservoir, water storage tank, dam, or other artificial body of water. There are no water bodies near enough to the project site to pose a flood hazard to the site resulting from a seiche. The nearest water body is the Perris Reservoir, which is located approximately 4 miles from the Project site. Therefore, no seiche impacts would occur.

**i) Would the Project conflict with or obstruct implementation of a water quality control plan or sustainable groundwater management plan?**

**No Impact.** As described previously, the Project would be required to have an approved SWPPP, which would include construction BMPs to minimize the potential for construction related sources of pollution. For operations, the proposed Project would be required to implement source control BMPs to minimize the introduction of pollutants; and treatment control BMPs to treat runoff. With implementation of the operational source and treatment control BMPs that would be required by the County during the project permitting and approval process, potential pollutants would be reduced to the maximum extent feasible, and implementation of the proposed Project would not obstruct implementation of a water quality control plan.

Also as described previously, the Project site overlies the Perris North Groundwater basin, which is located within the West San Jacinto Basin, and is managed through the West San Jacinto Groundwater

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Management Plan. The plan limits the allowable withdrawal of water from the basin by water purveyors. Additionally, the project would not pump water and water supplies would be provided by EMWD. Thus, the proposed project would not conflict with or obstruct a groundwater management plan, and no impacts would occur.

Plans, Programs, or Policies (PPPs)/Conditions of Approval:

**PPP HYD-1: Comply with NPDES.** Since this Project is one acre or more, the permit holder shall comply with all of the applicable requirements of the National Pollutant Discharge Elimination System (NPDES) and shall conform to NPDES Best Management Practices for Stormwater Pollution Prevention Plans during the life of this permit.

**PPP HYD-2: NPDES/SWPPP.** Prior to issuance of any grading or construction permits - whichever comes first - the applicant shall provide the Building and Safety Department evidence of submitting a Notice of Intent (NOI), develop and implement a Stormwater Pollution Prevention Plan (SWPPP) and a monitoring program and reporting plan for the construction site.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

**LAND USE/PLANNING** Would the project:

**24. Land Use**

a) Cause a significant environmental impact due to a conflict with any land use plan, policy, or regulation adopted for the purpose of avoiding or mitigating an environmental effect?

b) Disrupt or divide the physical arrangement of an established community (including a low-income or minority community)?

Source(s): Riverside County General Plan Land Use Element and County Code. Riverside Board of Supervisors "Good Neighbor Policy" for Logistics and Warehouse/Distribution Uses Policy F-1.

**a) Would the Project cause a significant environmental impact due to a conflict with any land use plan, policy, or regulation adopted for the purpose of avoiding or mitigating an environmental effect?**

**Less than Significant Impact.** The Project site is vacant and undeveloped. The site is surrounded by roadways, light industrial warehousing uses, and single-family residences. The proposed Project would develop two industrial warehouse buildings and associated infrastructure. The Riverside County General Plan Land Use Element designates the site for Light Industrial (LI) uses which includes industrial and related uses including warehousing/distribution, assembly and light manufacturing, repair facilities, and supporting retail uses. Furthermore, as shown in Table LU-1, the proposed Project would be consistent with applicable Riverside County General Plan Policies.

**Table LU-1: General Plan Consistency**

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General Plan Policy	Project Consistency
<b>Land Use Element</b>	
<p><b>LU 5.1</b> Ensure that development does not exceed the ability to adequately provide supporting infrastructure and services, such as libraries, recreational facilities, educational and day care centers transportation systems, and fire/police/medical services. (AI 3, 4, 32, 74)</p>	<p><b>Consistent.</b> As discussed in Sections 30-34, <i>Public Services</i>, the Project would not exceed the ability to provide adequate supporting infrastructure and services. The Project Applicant shall pay all development fees pursuant to Ordinance No. 659.</p>
<p><b>LU 5.3</b> Review all projects for consistency with individual urban water management plans (AI 3).</p>	<p><b>Consistent.</b> As discussed in the Utilities Section, the Project would be consistent with the existing General Plan designation for the site, which informs the water demand projections in the Eastern Municipal Water District 2020 Urban Water Management Plan. As such, the Project would be consistent with the Urban Water Management Plan.</p>
<p><b>LU 7.1</b> Require land uses to develop in accordance with the General Plan and area plans to ensure compatibility and minimize impacts. (AI 1, 3)</p>	<p><b>Consistent.</b> As previously discussed, the Project site has a General Plan designation of Light Industrial (LI). As outlined in the Project Description, the proposed Project would be consistent with the applicable development standard for the Light Industrial designation.</p>
<p><b>LU 8.8</b> Stimulate industrial/business-type clusters that facilitate competitive advantage in the marketplace, provide attractive and well landscaped work environments, and fit with the character of our varied communities. (AI 17, 19)</p>	<p><b>Consistent.</b> The proposed Project would develop two industrial buildings on a vacant site. The site is bordered by existing manufacturing uses to the south. Furthermore, as shown in Figures 3-1, <i>Building 1 Elevations</i>, and 3-2, <i>Building 2 Elevations</i>, the proposed buildings would provide an attractive work environment.</p>
<p><b>LU 9.2</b> Require that development protect environmental resources by compliance with the Multipurpose Open Space Element of the General Plan and federal and state regulations such as CEQA, NEPA, the Clean Air Act, and the Clean Water Act. (AI 3, 10)</p>	<p><b>Consistent.</b> As discussed throughout this IS/MND, the proposed Project would be consistent with CEQA and would not result in significant impacts to the environment.</p>
<p><b>LU 9.6</b> If any area is classified by the State Geologist as an area that contains mineral deposits and is of regional or statewide significance, and Riverside County either has designated that area in its general plan as having important minerals to be protected pursuant to subdivision (a) of Section 2761 of the Surface Mining and Reclamation Act, or has otherwise not yet acted pursuant to subdivision (a), then prior to permitting a use which would threaten the potential to extract minerals in that area, Riverside County shall prepare, in conjunction with its project CEQA documentation, a statement specifying its reason for permitting the proposed use, and shall forward a copy to the State Geologist and the State Mining and Geology Board for review.</p>	<p><b>Consistent.</b> As discussed in Section 25, <i>Mineral Resources</i>, the Project site is located within Mineral Resource Zone 3, which indicates that information related to mineral deposits is unknown. Therefore, the Project would not impact known mineral deposits.</p>
<p><b>LU 10.1</b> Require that new development contribute their fair share to fund infrastructure and public facilities such as police and fire facilities. (AI 3)</p>	<p><b>Consistent.</b> As discussed in Sections 30-34, <i>Public Services</i>, the Project would not exceed the ability to provide adequate supporting</p>



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	infrastructure and services. The Project Applicant shall pay all development fees pursuant to Ordinance No. 659.
<b>LU 11.1</b> Provide sufficient commercial and industrial development opportunities in order to increase local employment levels and thereby minimize long-distance commuting. (AI 1, 17)	<b>Consistent.</b> The proposed Project would generate short-term construction jobs and approximately 96 long-term jobs within the proposed warehouse buildings.
<b>LU 11.2</b> Ensure adequate separation between pollution producing activities and sensitive emission receptors, such as hospitals, residences, child care centers and schools. (AI 3)	<b>Consistent.</b> As discussed in Section 1, <i>Aesthetics</i> , proposed buildings would be set back from residences to the north of the Project site by approximately 52 feet. Additionally, as discussed in Section 6, <i>Air Quality</i> , emissions of criteria pollutants and diesel particulate matter from the proposed Project would be below SCAQMD thresholds.
<b>LU 11.5</b> Ensure that all new developments reduce Greenhouse Gas emissions as prescribed in the Air Quality Element and Climate Action Plan.	<b>Consistent.</b> As described in Section 20, <i>Greenhouse Gas Emissions</i> , Project GHG emissions would be less than applicable SCAQMD and Riverside County Climate Action Plan Thresholds. Additionally, as demonstrated in Table GHG-2, the Project would be consistent with the Riverside County Climate Action Plan.
<b>LU 13.2</b> Locate employment and service uses in areas that are easily accessible to existing or planned transportation facilities.	<b>Consistent.</b> The proposed Project would provide employment for 96 long-term employees. The proposed buildings would be easily accessible from I-215 and Seaton Avenue.
<b>LU 18.1</b> Ensure compliance with Riverside County's water-efficient landscape policies. Ensure that projects seeking discretionary permits and/or approvals develop and implement landscaping plans prepared in accordance with the Water-Efficient Landscape Ordinance (Ordinance No. 859), the County of Riverside Guide to California Friendly Landscaping and Riverside County's California Friendly Plant List. Ensure that irrigation plans for all new development incorporate weather-based controllers and utilize state-of-the-art water-efficient irrigation components.	<b>Consistent.</b> As shown in Figure 3-4, <i>Landscape Plan</i> , the proposed Project would provide drought-friendly, water-efficient landscaping throughout the Project site.
<b>LU 30.1</b> Accommodate the continuation of existing and development of new industrial, manufacturing, research and development, and professional offices in areas appropriately designated by General Plan and area plan land use maps. (AI 1, 2, 6)	<b>Consistent.</b> As previously discussed, the Project site has a General Plan designation of Light Industrial (LI). As outlined in the Project Description, the proposed Project would be consistent with the applicable development standard for the Light Industrial designation.
<b>LU 30.2</b> Control heavy truck and vehicular access to minimize potential impacts on adjacent properties. (AI 43)	<b>Consistent.</b> As discussed in the Project Description, truck access to the site would be limited to the southern driveway in order to limit truck traffic near adjacent residences.
<b>LU 30.4</b> Concentrate industrial and business park uses in proximity to transportation facilities and utilities, and along transit corridors	<b>Consistent.</b> The proposed industrial buildings would be located in proximity to the I-215 corridor and various truck routes.
<b>LU 30.6</b> Control the development of industrial uses that use, store, produce, or transport toxins,	<b>Consistent.</b> Additionally, as discussed in Section 6, <i>Air Quality</i> , emissions of criteria pollutants and

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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generate unacceptable levels of noise or air pollution, or result in other impacts. (AI 1)	diesel particulate matter from the proposed Project would be below SCAQMD thresholds. Furthermore, the proposed Project would not regularly use, store produce, or transport toxins.
<b>LU 30.7</b> Require that adequate and available circulation facilities, water resources, and sewer facilities exist to meet the demands of the proposed land use. (AI 3)	<b>Consistent.</b> As discussed in the Utilities Section, the proposed Project would be adequately served by existing water and sewer infrastructure. Additionally, as further in the Transportation Section, the Project would be within the capacity of surrounding roadways, and no additional improvements would be needed.
<b>LU 30.8</b> Require that industrial development be designed to consider their surroundings and visually enhance, not degrade, the character of the surrounding area. (AI 3)	<b>Consistent.</b> As shown in Figures 3-1, <i>Building 1 Elevations</i> , and 3-2, <i>Building 2 Elevations</i> , the proposed buildings would provide visual appeal through the use of various materials. Additionally, the Project would transform and underutilized and vacant lot.

**Circulation Element**

<p><b>C 2.1</b> The following minimum target levels of service have been designated for the review of development proposals in the unincorporated areas of Riverside County with respect to transportation impacts on roadways designated in the Riverside County Circulation Plan (Figure C-1) which are currently County maintained, or are intended to be accepted into the County maintained roadway system:</p> <p>LOS C shall apply to all development proposals in any area of the Riverside County not located within the boundaries of an Area Plan, as well those areas located within the following Area Plans: &amp; Level of Service A qualitative measure describing the efficiency of traffic flow. Level of Service designations are used to describe the operating characteristics of the street system in terms of level of congestion or delay experienced by traffic. County of Riverside General Plan July 7, 2020 C-7 REMAP, Eastern Coachella Valley, Desert Center, Palo Verde Valley, and those non-Community Development areas of the Elsinore, Lake Mathews/Woodcrest, Mead Valley and Temescal Canyon Area Plans.</p> <p>LOS D shall apply to all development proposals located within any of the following Area Plans: Eastvale, Jurupa, Highgrove, Reche Canyon/Badlands, Lakeview/Nuevo, Sun City/Menifee Valley, Harvest Valley/Winchester, Southwest Area, The Pass, San Jacinto Valley, Western Coachella Valley and those Community Development Areas of the Elsinore, Lake Mathews/Woodcrest, Mead Valley and Temescal Canyon Area Plans.</p>	<p><b>Consistent.</b> As discussed further in the Transportation Section, the proposed Project would generate 623 daily trips including 88 AM peak hour and 79 PM peak hour trips. Per the County's request, a Traffic Impact Analysis was prepared for the Project, and is included as Appendix K. An intersection operations analysis was conducted for the study area to evaluate the existing plus Project weekday a.m. and p.m. peak hour conditions with the Project. Two scenarios were analyzed, Perry Street between Seaton Avenue and Harvill Avenue continuing to operate in the undeveloped condition and Perry Street between Seaton Avenue and Harvill Avenue being fully developed. As shown in Table T-3 and T-4, all study intersections are forecast to continue to operate at satisfactory LOS C or better during the weekday a.m. and p.m. peak hours with the addition of Project traffic in both scenarios.</p> <p>Opening Year Baseline (2023) traffic volumes were developed by applying a growth rate of two percent per year to the existing (2021) traffic volumes and adding traffic generated by 20 other approved and pending development projects in the vicinity of the proposed Project. As shown in Table T-5 and T-6, all of the intersections are forecast to operate at satisfactory LOS C or better in the opening year 2021 plus project condition for both scenarios. As such, no roadway improvements are required for the Project. Therefore, the proposed Project would be consistent with Policy C 2.1.</p>
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Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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<p>LOS E may be allowed by the Board of Supervisors within designated areas where transit-oriented development and walkable communities are proposed.</p> <p>Notwithstanding the forgoing minimum LOS targets, the Board of Supervisors may, on occasion by virtue of their discretionary powers, approve a project that fails to meet these LOS targets in order to balance congestion management considerations in relation to benefits, environmental impacts and costs, provided an Environmental Impact Report, or equivalent, has been completed to fully evaluate the impacts of such approval. Any such approval must incorporate all feasible mitigation measures, make specific findings to support the decision, and adopt a statement of overriding considerations. (AI 3)</p>	
<p><b>C 2.2</b> Require that new development prepare a traffic impact analysis as warranted by the Riverside County Traffic Impact Analysis Preparation Guidelines or as approved by the Director of Transportation. Apply level of service targets to new development per the Riverside County Traffic Impact Analysis Preparation Guidelines to evaluate traffic impacts and identify appropriate mitigation measures for new development. (AI 3)</p>	
<p><b>C 2.3</b> Traffic studies prepared for development entitlements (tracts, public use permits, conditional use permits, etc.) shall identify project related traffic impacts and determine the significance of such impacts in compliance with CEQA and the Riverside County Congestion Management Program Requirements. (AI 3)</p>	
<p><b>C 2.4</b> The direct project related traffic impacts of new development proposals shall be mitigated via conditions of approval requiring the construction of any improvements identified as necessary to meet level of service targets.</p>	
<p><b>C 2.5</b> The cumulative and indirect traffic impacts of development may be mitigated through the payment of various impact mitigation fees such as County of Riverside Development Impact Fees, Road and Bridge Benefit District Fees, and Transportation Uniform Mitigation Fees to the extent that these programs provide funding for the improvement of facilities impacted by development.</p>	
<p><b>C 3.6</b> Require private developers to be primarily responsible for the improvement of streets and highways that serve as access to developing commercial, industrial, and residential areas.</p>	

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These may include road construction or widening, installation of turning lanes and traffic signals, and the improvement of any drainage facility or other auxiliary facility necessary for the safe and efficient movement of traffic or the protection of road facilities.	
<b>C 3.11</b> Generally locate commercial and industrial land uses so that they take driveway access from General Plan roadways with a classification of Secondary Highway or greater, consistent with design criteria limiting the number of such commercial access points and encouraging shared access. Exceptions to the requirement for access to a Secondary Highway or greater would be considered for isolated convenience commercial uses, such as standalone convenience stores or gas stations at an isolated off ramp in a remote area. Industrial park type developments may be provided individual parcel access via an internal network of Industrial Collector streets.	<b>Consistent.</b> The proposed Project would have two driveways off of Seaton Avenue, which is designated by the County General Plan Circulation Element as a Secondary Highway.
<b>C 3.7</b> Design interior collector street systems for commercial and industrial subdivisions to accommodate the movement of heavy trucks.	<b>Consistent.</b> The proposed Project's internal street system has been designed and would be constructed to accommodate the movement, including the turning radii, of heavy trucks.
<b>C 3.9</b> Design off-street loading facilities for all new commercial and industrial developments so that they do not face surrounding roadways or residential neighborhoods. Truck backing and maneuvering to access loading areas shall not be permitted on the public road system, except when specifically permitted by the Transportation Department.	<b>Consistent.</b> As shown on Figure 3-1, <i>Conceptual Site Plan</i> , the proposed buildings would be oriented so that loading dock areas are oriented away from adjacent residential development. Furthermore, the loading docks for Building 2 would be screened from views along Beck Street through the incorporation of landscaping and screen walls.
<b>C 4.7</b> Make reasonable accommodation for safe pedestrian walkways that comply with the Americans with Disabilities Act (ADA) requirements within commercial, office, industrial, mixed use, residential, and recreational developments.	<b>Consistent.</b> The proposed Project would provide ADA compliant walkways within the site and would construct ADA compliant sidewalks along the Project's Seaton Avenue frontage.
<b>C 5.3</b> Require parking areas of all commercial and industrial land uses that abut residential areas to be buffered and shielded by adequate landscaping	<b>Consistent.</b> As shown on Figure 3-4, <i>Landscaping Plan</i> , the Project would include landscaping and trees along the Project perimeter, which would shield parking areas from offsite views.
<b>C 6.7</b> Require that the automobile and truck access of commercial and industrial land uses abutting residential parcels be located at the maximum practical distance from the nearest residential parcels to minimize noise impacts. (AI 105)	<b>Consistent.</b> As shown on Figure 3-1, <i>Conceptual Site Plan</i> , truck access to the Project site would be limited to the southern driveway. Furthermore, as analyzed in Section 27, <i>Noise Effects of the Project</i> , the proposed Project would not result in significant noise impacts to surrounding sensitive receptors.
<b>Safety Element</b>	

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<p><b>S 1.1</b> Mitigate hazard impacts through adoption and strict enforcement of current building codes, which will be amended as necessary when local deficiencies are identified.</p>	<p><b>Consistent.</b> The proposed Project would be consistent with the requirements set forth by the 2019 California Building Code, as verified through the plan check process.</p>
<p><b>S 2.2</b> Require geological and geotechnical investigations in areas with potential for earthquake-induced liquefaction, landsliding or settlement, for any building proposed for human occupancy and any structure whose damage would cause harm, except for accessory buildings. (AI 81)</p>	<p><b>Consistent.</b> As discussed previously, a Geotechnical Investigation was conducted for the proposed Project and is included as Appendix E. As demonstrated by the investigation, the proposed Project would not result in significant impacts related to geologic hazards.</p>
<p><b>S 2.6</b> Require that cut and fill transition lots be over-excavated to mitigate the potential of seismically induced differential settlement.</p>	<p><b>Consistent.</b> The proposed Project would be constructed and graded in compliance with the requirements set forth in the 2019 California Building Code and the Project-specific recommendations included in the Geotechnical Investigation.</p>
<p><b>Noise Element</b></p>	
<p><b>N 1.1</b> Protect noise-sensitive land uses from high levels of noise by restricting noise-producing land uses from these areas. If the noise-producing land use cannot be relocated, then noise buffers such as setbacks, landscaping, or block walls shall be used. (AI 107)</p>	<p><b>Consistent.</b> As discussed further in Section 27, <i>Noise Effects of the Project</i>, a Noise Impact Analysis, included as Appendix I, was prepared for the proposed Project. The Noise Impact Analysis analyzed noise levels associated with construction and operation of the proposed Project in relation to the County's applicable noise regulations. As shown in table N-2, construction noise at the nearby receiver locations would range from 50 to 78 dBA Leq, which would not exceed the 80 dba Leq daytime construction noise level threshold. Therefore, construction impacts would be less than significant. As shown in Table N-4, the noise levels generated by the Project would be less than the 55 dBA daytime maximum noise level and the 45 dBA nighttime maximum noise level at the closest sensitive receptors. Therefore, noise generated from operation of the proposed Project would not exceed noise standards and would be less than significant. Therefore, noise from the proposed Project would not exceed the County's noise standard.</p> <p>Furthermore, loading docks would be oriented away from adjacent residences in order to limit potential noise impacts. Additionally, trucks would only access the Project site from the southern driveway, which would limit noise impacts from truck travel.</p>
<p><b>N 1.4</b> Determine if existing land uses will present noise compatibility issues with proposed projects by undertaking site surveys. (AI 106, 109)</p>	
<p><b>N 1.5</b> Prevent and mitigate the adverse impacts of excessive noise exposure on the residents, employees, visitors, and noise-sensitive uses of Riverside County. (AI 105, 106, 108)</p>	
<p><b>N 1.6</b> Minimize noise spillover or encroachment from commercial and industrial land uses into adjoining residential neighborhoods or noise-sensitive uses. (AI 107)</p>	
<p><b>N 1.8</b> Limit the maximum permitted noise levels that cross property lines and impact adjacent land uses.</p>	
<p><b>N 3.3</b> Ensure compatibility between industrial development and adjacent land uses. To achieve compatibility, industrial development projects may be required to include noise mitigation measures to avoid or minimize project impacts on adjacent uses. (AI 107)</p>	
<p><b>N 3.5</b> Require that a noise analysis be conducted by an acoustical specialist for all proposed projects that are noise producers. Include recommendations for design mitigation if the project is to be located either within proximity of a noise-sensitive land use, or land designated for noise sensitive land uses. (AI 109)</p>	

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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<p><b>N 4.8</b> Require that the parking structures, terminals, and loading docks of commercial or industrial land uses be designed to minimize the potential noise impacts of vehicles on the site as well as on adjacent land uses. (AI 106, 107)</p>	
<p><b>N 6.3</b> Require commercial or industrial truck delivery hours be limited when adjacent to noise-sensitive land uses unless there is no feasible alternative or there are overriding transportation benefits. (AI 105, 107)</p>	
<p><b>N 9.3</b> Require development that generates increased traffic and subsequent increases in the ambient noise level adjacent to noise-sensitive land uses to provide for appropriate mitigation measures. (AI 106)</p>	
<p><b>N 9.4</b> Require that the loading and shipping facilities of commercial and industrial land uses, which abut residential parcels be located and designed to minimize the potential noise impacts upon residential parcels. (AI 105)</p>	
<p><b>N 13.1</b> Minimize the impacts of construction noise on adjacent uses within acceptable practices. (AI 105, 108)</p>	
<p><b>N 13.4</b> Require that all construction equipment utilizes noise reduction features (e.g. mufflers and engine shrouds) that are no less effective than those originally installed by the manufacturer. (AI 105, 108)</p>	
<p><b>N 14.5</b> Consider the issue of adjacent residential land uses when designing and configuring all new, nonresidential development. Design and configure on-site ingress and egress points that divert traffic away from nearby noise-sensitive land uses to the greatest degree practicable. (AI 106, 107)</p>	
<p><b>Air Quality Element</b></p>	
<p><b>AQ 4.1</b> Require the use of all feasible building materials/methods which reduce emissions.</p>	<p><b>Consistent.</b> The proposed Project would utilize standard building materials for construction. As shown in Section 6, <i>Air Quality</i>, the Project's construction air quality emissions would be less than applicable SCAQMD thresholds. Furthermore, the Project would comply with SCAQMD Rules 402, 403, and 1113, included as PPP AQ-1 through PPP AQ-3.</p>
<p><b>AQ 4.2</b> Require the use of all feasible efficient heating equipment and other appliances, such as water heaters, swimming pool heaters, cooking equipment, refrigerators, furnaces, and boiler units.</p>	<p><b>Consistent.</b> The proposed Project would comply with current CalGreen requirements for building energy efficiency.</p>
<p><b>AQ 4.5</b> Require stationary pollution sources to minimize the release of toxic pollutants through: Design features; Operating procedures; Preventive maintenance; Operator training; and Emergency response planning</p>	<p><b>Consistent.</b> As shown in Section 6, <i>Air Quality</i>, the Project's operational emissions of criteria pollutants and diesel particulate matter would be less than applicable SCAQMD thresholds. Furthermore, the Project would comply with SCAQMD Rule 1113, included as PPP AQ-3.</p>

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<b>AQ 4.6</b> Require stationary air pollution sources to comply with applicable air district rules and control measures.	<b>Consistent.</b> The Project would adhere to applicable SCAQMD rules and control measures.
<b>AQ 4.7</b> To the greatest extent possible, require every project to mitigate any of its anticipated emissions which exceed allowable emissions as established by the SCAQMD, MDAQMD, SCAB, the Environmental Protection Agency and the California Air Resources Board	<b>Consistent.</b> As shown in Section 6, <i>Air Quality</i> , the Project's construction and operational air quality emissions would be less than applicable SCAQMD thresholds and impacts would be less than significant. As such, no mitigation is required to reduce air quality impacts. Furthermore, the Project would comply with SCAQMD Rules 402, 403, and 1113, included as PPP AQ-1 through PPP AQ-3.
<b>Healthy Community Element</b>	
<b>HC 5.5</b> When building sidewalks, ensure that they are sufficiently wide and clear of obstructions to facilitate pedestrian movement and access for the disabled	<b>Consistent.</b> The proposed Project would provide ADA compliant walkways within the site and would construct ADA compliant sidewalks along the Project's Seaton Avenue frontage.
<b>HC 6.5</b> Promote job growth within Riverside County to reduce the substantial out-of-county job commutes that exist today.	<b>Consistent.</b> The Project would provide short-term construction jobs during building construction and approximately 96 long-term jobs during operations.
<b>HC 9.4</b> Improve safety and the perception of safety by requiring adequate lighting, street visibility, and defensible space.	<b>Consistent.</b> The Project would include security lighting throughout the site and would include setbacks all property lines. Furthermore, the loading docks areas would be gated.
<b>HC 14.2</b> When feasible, avoid locating new sources of air pollution near homes and other sensitive receptors.	<b>Consistent.</b> As shown in Section 6, <i>Air Quality</i> , the Project's construction and operational air quality emissions would be less than applicable SCAQMD thresholds and impacts would be less than significant. Furthermore, the Project would comply with SCAQMD Rules 402, 403, and 1113, included as PPP AQ-1 through PPP AQ-3.
<b>HC 14.3</b> When feasible incorporate design features into projects, including flood control and water quality basins, to minimize the harborage of vectors such as mosquitoes.	<b>Consistent.</b> As discussed in Section 23, <i>Water Quality Impacts</i> , the proposed Project would include landscaping to infiltrate stormwater and two underground infiltration tanks. As such, the Project would minimize areas that would contribute to the harborage of vectors such as mosquitoes.

The site has a zoning classification of Industrial Park (I-P) and Manufacturing, Service Commercial (M-SC). Pursuant to Riverside County Ordinance No. 348 Section 10.1 B, the I-P zone allows a variety of uses that include: industrial and manufacturing uses, service and commercial uses, office uses, transportation related industries, engineering and scientific uses, warehousing and distribution, and other similar uses. Riverside County Ordinance No. 348 Section 11.1 states that the intent of the M-SC zone is to promote and attract industrial and manufacturing activities which will provide jobs to local residents and strengthen the county's economic base; provide the necessary improvements to support industrial growth; ensure that new industry is compatible with uses on adjacent lands; and protect industrial areas from encroachment by incompatible uses that may jeopardize industry.

Even though the Good Neighbor Policy only applies to warehouse projects that are larger than 250,000 SF, due to the Project site's proximity to existing homes, the proposed industrial warehousing facility would also comply with the Board of Supervisors Good Neighbor Policy for Logistics and

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Warehouse/Distribution Uses by preparing appropriate studies to ensure there are no significant air quality, health risk, or noise impacts to existing residences, ensuring that the proposed buildings are adequately set back from existing residences, and limiting truck access to the Project to the southern driveway. The proposed industrial warehousing facility would be compatible with the allowable light industrial land uses allowed within a I-P and M-M zoned area. The project is designed so that sensitive receptors are more than 50 feet away from loading bays and dock doors, which are designed to be oriented toward Beck Street. The loading area would not be visible from sensitive receptors as the site sits lower than adjacent residential buildings and would be screened with walls and landscaping. As discussed in Section V1, *Aesthetics*, the proposed Project would install landscaping onsite and along Seaton Avenue and Beck Street. Adequate parking would be provided for both vehicles and trucks to avoid spill-over and queuing. In addition, there are separate access points for trucks and passenger vehicles into the site. Operation of the proposed Project would involve trucks entering and exiting the Project site via the 36-foot-wide southern driveway on Seaton Avenue for access to the loading bays and trailer parking. Passenger vehicles would enter and exit the site using the northern driveway on Seaton Avenue, which would be restricted to passenger and emergency vehicles only. Finally, as discussed in Section V3 *Lighting*, outdoor lighting shall be hooded and directed so as not to shine directly upon adjoining property or public rights-of-way and shall comply with the requirements of Riverside County Ordinance No. 655 and the Riverside County Comprehensive General Plan.

Therefore, the proposed Project would be consistent with the site's General Plan land use and zoning classifications, and a conflict with a land use plan or policy adopted for the purpose of avoiding or mitigating an environmental effect would not occur from implementation of the Project. As such, impacts would be less than significant.

**b) Would the Project disrupt or divide the physical arrangement of an established community (including a low-income or minority community)?**

**No Impact.** As described in the previous response, the Project site is vacant and undeveloped. The site is surrounded by existing roadways, existing industrial uses, and single-family residences. As described in the previous response, the Project site is designated for Light Industrial uses and the proposed Project is consistent with the planned land uses for the site. In addition, the Project does not involve development of roadways or other infrastructure that could divide a community. While low-income and minority communities are located within the Project vicinity, the Project would not change the physical arrangement of the established community. Therefore, the proposed Project would not disrupt or divide the physical arrangement of an established community, and no impact would occur.

Plans, Programs, or Policies (PPPs)/Conditions of Approval: None.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

**MINERAL RESOURCES** Would the project:

**25. Mineral Resources**

a) Result in the loss of availability of a known mineral resource that would be of value to the region or the residents of the State?



	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
b) Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Potentially expose people or property to hazards from proposed, existing, or abandoned quarries or mines?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Source(s):** Riverside County General Plan Figure OS-6 "Mineral Resources Area"

**a) Would the Project result in the loss of availability of a known mineral resource that would be of value to the region or the residents of the State?**

**No Impact.** The Riverside County General Plan Figure OS-6 "Mineral Resources Area" identifies the Project site and vicinity as within MRZ-3 Mineral Resource Zone, which indicates that information related to mineral deposits is unknown. No mining activities occur within the Project site or within the surrounding project vicinity. Thus, impacts related to the loss of availability of a known mineral resource that would be of value to the region, or the residents of the state, would not occur from implementation of the proposed Project.

**b) Would the Project result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan, or other land use plan?**

**No Impact.** The Riverside County General Plan Figure OS-6 "Mineral Resources Area" identifies the Project site as within MRZ-3 Mineral Resource Zone, which indicates that information related to mineral deposits is unknown. Thus, impacts related to the loss of availability of a mineral resource recovery site delineated on a land use plan would not occur from implementation of the proposed Project.

**c) Would the Project potentially expose people or property to hazards from proposed, existing, or abandoned quarries or mines?**

**No Impact.** There are no existing surface mines in the vicinity of the Project site. Thus, impacts related to incompatible land uses in mine areas, and impacts related to exposure to hazards from quarries or mines would not occur from implementation of the proposed Project.

Plans, Programs, or Policies (PPPs)/Conditions of Approval: None.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

**NOISE** Would the project result in:

**26. Airport Noise**

a) For a project located within an airport land use plan or, where such a plan has not been adopted, within two (2) miles of a public airport or public use airport would the project expose people residing or working in the project area to excessive noise levels?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
b) For a project located within the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Source(s):** Riverside County General Plan Figure S-20 "Airport Locations," Mead Valley Area Plan Figure 5 "March Air Reserve Base & Perris Valley Airport Influence Area," March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, 2014 (ALUCP 2014); Noise Impact Analysis, prepared by Vista Environmental, 2021 (Urban 2021) (Appendix I)

**a) For a project located within an airport land use plan or, where such a plan has not been adopted, within two (2) miles of a public airport or public use airport would the Project expose people residing or working in the Project area to excessive noise levels?**

**Less than Significant Impact.** The March Air Reserve Base/Inland Port Airport (March ARB) is located approximately 1 mile northeast of the Project site. The project site is located outside of the 60 dBA CNEL noise level contour boundary of the airport as shown in the March ARB Land Use Compatibility Plan (LUCP). Also, the March ARB LUCP includes the policies for determining the land use compatibility of development projects. The project site is located within Compatibility Zone C2. The County of Riverside guidelines indicate that industrial uses, such as the proposed Project, are considered normally acceptable with exterior noise levels of up to 70 dBA CNEL. As the Project is located outside of the airport's 60 dBA CNEL contour, the Project would not expose people residing or working in the project area to excessive noise levels. Therefore, noise impacts related to March ARB would be less than significant.

**b) For a project located within the vicinity of a private airstrip, would the Project expose people residing or working in the Project area to excessive noise levels?**

**No Impact.** The Project site is not located within the vicinity of a private airstrip and would not result in excessive noise related to an airstrip. Therefore, no impacts would occur.

Plans, Programs, or Policies (PPPs)/Conditions of Approval: None.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>27. Noise Effects of the Project</b>				
a) Generation of a substantial temporary or permanent increase in ambient noise levels in the vicinity of the project in excess of standards established in the local general plan, noise ordinance, or applicable standards of other agencies?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Generation of excessive ground-borne vibration or ground-borne noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Source(s):** Riverside County General Plan, Table N-1 ("Land Use Compatibility for Community Noise Exposure"); Noise Impact Analysis, prepared by Vista Environmental, 2021 (Vista 2021) (Appendix I)

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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County Noise and Vibration Standards

**General Plan Noise Element Policy N 4.1:** The exterior noise limit is not to be exceeded for a cumulative period of more than ten minutes in any hour of 65 dBA Leq for daytime hours of 7:00 a.m. to 10:00 p.m., and 45 dBA Leq during the noise-sensitive nighttime hours of 10:00 p.m. to 7:00 a.m.

**General Plan Noise Element Policy N 16.3:** Prohibit exposure of residential dwellings to perceptible ground vibration. Perceptible motion shall be presumed to be a motion velocity of 0.01 inches/second over a range of 1 to 100 Hz.

**Ordinance No. 847 Regulating Noise Section 2i, Construction Noise:** Noise associated with any private construction activity located within one-quarter of a mile from an inhabited dwelling is considered exempt between the hours of 6:00 a.m. and 6:00 p.m., during the months of June through September, and 7:00 a.m. and 6:00 p.m., during the months of October through May.

**a) Would the Project result in generation of a substantial temporary or permanent increase in ambient noise levels in the vicinity of the project in excess of standards established in the local general plan, noise ordinance, or applicable standards of other agencies?**

**Less than Significant.**

**Construction**

As described above, Ordinance No. 847 Regulating Noise Section 2i exempts construction noise between the hours of 6:00 a.m. and 6:00 p.m. during the months of June through September, and 7:00 a.m. and 6:00 p.m., during the months of October through May. The Project would comply with the County's construction hours regulations, as required by standard County Conditions of Approval. A construction-related noise level threshold is applied from the Federal Transit Administration's (FTA) *Transit Noise and Vibration Impact Assessment Manual*. To evaluate whether the Project would generate potentially significant short-term noise levels at off-site sensitive receiver locations a construction-related FTA noise level threshold of 80 dBA Leq is used.

Noise generated by construction equipment would include a combination of trucks, power tools, concrete mixers, and portable generators that when combined can reach high levels. Construction is expected to occur in the following stages: excavation and grading, building construction, architectural coating, and paving. Noise levels generated by heavy construction equipment can range from approximately 74 dBA to 83 Lmax when measured at 50 feet, as shown on Table N-1.

**Table N-1: Construction Reference Noise Levels**

Equipment Description	Spec 721.560 Lmax at 50 feet <sup>2</sup> (dBA, slow <sup>3</sup> )	Actual Measured Lmax at 50 feet <sup>4</sup> (dBA, slow <sup>3</sup> )
<b>Site Preparation</b>		
Rubber Tired Dozer	85	82
Crawler Tractors	84	N/A
<b>Grading</b>		
Excavator	85	81
Grader	85	83
Rubber Tired Dozer	85	82
Crawler Tractor	84	N/A
<b>Building Construction</b>		
Crane	85	81
Forklift (Gradall)	85	83

Potentially Significant Impact      Less than Significant with Mitigation Incorporated      Less Than Significant Impact      No Impact

Generator	82	81
Tractor, Loader or Backhoe <sup>5</sup>	84	N/A
Welder	73	74
<b>Paving</b>		
Pavers	85	77
Paving Equipment	85	77
Rollers	85	80
<b>Architectural Coating</b>		
Air Compressor	80	78
Notes: <sup>2</sup> Spec 721.560 is the equipment noise level utilized by the RCNM program. <sup>3</sup> The "slow" response averages sound levels over 1-second increments. A "fast" response averages sound levels over 0.125-second increments. <sup>4</sup> Actual Measured is the average noise level measured of each piece of equipment during the Central Artery/Tunnel project in Boston, Massachusetts primarily during the 1990s. <sup>5</sup> For the tractor/loader/backhoe, the tractor noise level is shown, since it is the loudest of the three types of equipment. Source: Vista Environmental, July 2021 (Appendix I).		

For the purposes of the Noise Impact Analysis, the closest off-site sensitive receiver to the Project site are the existing homes to the north, directly adjacent to the Project site, approximately 33 feet away, and the homes located approximately 120 feet to the west of the Project, across Beck Street. For the purposes of the Noise Impact Analysis, construction noise levels at adjacent sensitive receivers were calculated from the center of the site, which is 160 feet from the homes to the north and 750 feet from the homes to the west of the site, based on guidance provided by the FTA's *Transit Noise and Vibration Impact Assessment Manual*. Construction noise would be temporary in nature as the operation of each piece of construction equipment would not be constant throughout the construction day, and equipment would be turned off when not in use. The typical operating cycle for a piece of equipment involves one or two minutes of full power operation followed by three or four minutes at lower power settings. Furthermore, the majority of construction equipment would operate in the center of the Project site, where the proposed buildings would be located. Only a small amount of site construction activities would occur immediately along the northern and western edges of the Project site. As shown in table N-2, construction noise at the nearby receiver locations would range from 50 to 78 dBA Leq, which would not exceed the 80 dba Leq daytime construction noise level threshold. Therefore, construction impacts would be less than significant.

**Table N-2: Construction Noise Levels at Sensitive Receivers**

Construction Phase	Construction Noise Level (dBA Leq) at:	
	Homes to North <sup>1</sup>	Homes to West <sup>2</sup>
Site Preparation	78	64
Grading	77	64
Building Construction	77	64
Paving	72	58
Painting	64	50
<b>FTA Construction Noise Threshold</b>	<b>80</b>	<b>80</b>
<b>Exceed Thresholds?</b>	<b>No</b>	<b>No</b>
<sup>1</sup> The distance from the center of the Project site to the homes to the north was measured at 160 feet. <sup>2</sup> The distance from the center of the Project site to the homes to the west was measured at 750 feet. Source: Vista Environmental, July 2021 (Appendix I).		

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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**Operation**

The Noise Impact Analysis describes that the background ambient noise levels in the Project area are dominated by transportation related noise and March ARB, in addition to existing industrial land use activities to the south of the Project. The 24-hour noise level measurement completed for the Noise Impact Analysis, as shown in Table N-3, shows that the existing 24-hour ambient noise in the Project area is between 48.9 and 60.5 dBA Leq.

**Table N-3: Existing Ambient Noise Levels**

Site No.	Site Description	Average (dBA Leq)		1-hr Average (dBA Leq/Time)		Average (dBA Ldn)
		Daytime <sup>1</sup>	Nighttime <sup>2</sup>	Minimum	Maximum	
1	Located on a fence near the northeast corner of the Project site, approximately 40 feet east of Seaton Avenue centerline.	60.5	54.9	45.6 2:17 a.m.	66.9 9:04 a.m.	62.7
2	Located on a fence near the southwest corner of the Project site approximately 40 feet east of Beck Street centerline.	51.0	48.9	38.7 1:43 a.m.	54.8 10:01 a.m.	55.7
3	Located on a fence on the north side of the Project site and shared property line with the home at 22903 Markham Lane, approximately 40 feet west of Markham Lane centerline.	53.7	58.4	39.9 2:34 a.m.	65.9 11:31 p.m.	64.4

Notes:  
<sup>1</sup> Daytime defined as 7:00 a.m. to 10:00 p.m. (Ordinance No. 847 Regulating Noise Section 2i)  
<sup>2</sup> Nighttime define as 10:00 p.m. to 7:00 a.m. (Ordinance No. 847 Regulating Noise Section 2i)  
 Noise measurements taken between Tuesday, May 25, 2021 and Wednesday, May 26, 2021.  
 Source: Vista Environmental, July 2021 (Appendix I).

**Onsite Operational Noise.** The General Plan Noise Element establishes a noise standard for sensitive uses of 45 dBA Leq between 10:00 p.m. and 7:00 a.m. and 55 dBA Leq between 7:00 a.m. and 10:00 p.m. The Noise Impact Analysis prepared for the Project evaluated potential impacts to ambient noise levels at the nearest sensitive receptors resulting from the proposed onsite noise sources such as idling trucks, delivery truck activities, backup alarms, loading and unloading of trucks, and roof-top air conditioning units (Vista 2021). As shown in Table N-4, the noise levels generated by the Project would be less than the 55 dBA daytime maximum noise level and the 45 dBA nighttime maximum noise level at the closest sensitive receptors. Therefore, noise generated from operation of the proposed Project would not exceed noise standards and would be less than significant.

**Table N-4: Project Onsite Operational Noise Levels**

Noise Source	Nearest Homes to North		Nearest Homes to West	
	Distance - Source to Property Line (feet)	Noise Level <sup>1</sup> (dBA Leq)	Distance - Source to Property Line (feet)	Noise Level <sup>2</sup> (dBA Leq)
Rooftop Equipment <sup>3</sup>	145	24.2	435	17.0
Auto Parking Lot <sup>4</sup>	150	18.9	670	14.1

Potentially Significant Impact      Less than Significant with Mitigation Incorporated      Less Than Significant Impact      No Impact

Onsite Truck Operations <sup>5</sup>	33	41.2	145	29.6
Forklift <sup>6</sup>	75	41.7	300	37.5
<b>Combined Noise Level</b>		<b>44.6</b>		<b>38.2</b>
<b>County Noise Standard (day/night)</b>		<b>55/45</b>		<b>55/45</b>
<b>Exceed County Noise Standard?</b>		<b>No/No</b>		<b>No/No</b>

Notes:  
<sup>1</sup> The calculated noise levels account for the noise reduction provided by the proposed 10 foot high wall on the north side of the project site.  
<sup>2</sup> The calculated noise levels account for the noise reduction provided by the proposed 8 foot high wall on the west side of the project site.  
<sup>3</sup> Rooftop equipment is based on a reference noise measurement of 65.1 dBA at 6 feet.  
<sup>4</sup> Parking lot is based on a reference noise measurement of 63.1 dBA at 5 feet.  
<sup>5</sup> Onsite truck operations is based on a reference noise measurement of 63.3 dBA at 10 feet.  
<sup>6</sup> Forklift activities is based on a reference noise measurement of 74.4 dBA at 10 feet.  
 Noise calculation methodology from Caltrans, 2013  
 Source: Noise Impact Analysis, July 2021 (Appendix I)

**Off-Site Traffic Noise.** The proposed Project would generate traffic related noise from operation. The proposed Project provides access from Seaton Avenue. Modeling of vehicular noise on area roadways was conducted in the Noise Impact Analysis (Appendix I). The tables below provide a summary of the exterior traffic noise levels for the 5 study area roadway segments in the without and with Project conditions.

With operation of the Project in the Opening Year 2023 condition, Table N-5 shows that noise would range from 44.4 to 66.5 dBA Ldn. Implementation of the proposed Project would generate a noise level increase of up to 1.6 on the study area roadway segments, which is less than the increase thresholds. Thus, off-site traffic noise impacts would be less than significant.

**Table N-5: Project Off-Site Traffic Noise**

Roadway	Segment	dBA Ldn at Nearest Receptor			Increase Threshold <sup>1</sup>
		Year 2023	Year 2023 Plus Project	Project Contribution	
Seaton Avenue	South of Perry Street	58.0	58.9	0.9	+3 dBA
Seaton Avenue	North of Project Driveway 1	52.6	54.2	1.6	+5 dBA
Seaton Avenue	North of Commerce Center Drive	52.9	53.8	0.9	+5 dBA
Perry Street	West of Seaton Avenue	44.2	44.4	0.2	+7 dBA
Markham Street	West of Seaton Avenue	66.5	66.5	0.0	+1 dBA

Notes:  
<sup>1</sup> Increase Threshold obtained from the FTA's allowable noise impact exposures. FHWA Traffic Noise Prediction Model FHWA-RD-77-108.  
 Source: Noise Impact Analysis, Appendix I.

**b) Would the Project result in generation of excessive ground-borne vibration or ground-borne noise levels?**

**Less than Significant.**

**Construction**

Construction activity can cause varying degrees of ground vibration, depending on the equipment and methods used, the distance to receptors, and soil type. Construction vibrations are intermittent,

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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localized intrusions. The use of heavy construction equipment, particularly large bulldozers, and large loaded trucks hauling materials to or from the site generate construction-period vibration impacts.

The Noise Impact Analysis prepared for the Project evaluated construction equipment vibration levels at the closest sensitive receptors. As shown in Table N-6, at approximately 25 feet, a large bulldozer would create a vibration level of 0.089 inch per second PPV. Therefore, based on typical vibration propagation rates, the vibration level at the nearest sensitive receptor would be 0.24 inch per second PPV. Therefore, the vibration level would be less than the 0.25 inch per second PPV vibration threshold from Caltrans. As such, construction vibration impacts would be less than significant.

**Table N-6: Construction Equipment Vibration Levels**

Equipment		Peak Particle Velocity (inches/second)	Approximate Vibration Level (L <sub>v</sub> ) at 25 feet
Pile driver (impact)	Upper range	1.518	112
	Typical	0.644	104
Pile driver (sonic)	Upper range	0.734	105
	Typical	0.170	93
Clam shovel drop (slurry wall)		0.202	94
Vibratory Roller		0.210	94
Hoe Ram		0.089	87
Large bulldozer		0.089	87
Caisson drill		0.089	87
Loaded trucks		0.076	86
Jackhammer		0.035	79
Small bulldozer		0.003	58

Source: Federal Transit Administration, May 2018.

**Operation**

Caltrans has done extensive research on vibration level created along freeways and State Routes and their vibration measurements of roads have never exceeded 0.08 inches per second PPV at 15 feet from the center of the nearest lane, with the worst combinations of heavy trucks. Truck activities would occur onsite as near as 30 feet from the homes to the north. Based on typical propagation rates, the vibration level at the nearest proposed homes would be 0.009 inch per second PPV. Therefore, vibration created from operation of the proposed Project would be within the 0.25 inch per second PPV threshold of detailed above. As such, impacts would be less than significant.

Plans, Programs, or Policies (PPPs)/Conditions of Approval: None.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

**PALEONTOLOGICAL RESOURCES:**

**28. Paleontological Resources**

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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a) Directly or indirectly destroy a unique paleontological resource, site, or unique geologic feature?

**Source(s):** Riverside County General Plan Figure OS-8 “Paleontological Sensitivity,” Phase I Paleontological Resources Assessment, prepared by Material Culture Consulting (MCC 2021), Appendix J.

**a) Would the Project Directly or indirectly destroy a unique paleontological resource, site, or unique geologic feature?**

**Less than Significant with Mitigation.** The Project consists of two industrial warehouse buildings. Earthmoving activities, including grading and trenching activities, would have the potential to disturb previously unknown paleontological resources if earthmoving activities occur at substantial, undisturbed depths. The Phase I Paleontological Resources Assessment describes that the Project site is underlain by very old alluvial fan deposits in the eastern portion of the site, which has a high paleontological sensitivity, and Val Verde tonalite in the western portion of the Project site, which has a low paleontological sensitivity. Additionally, the Project site is mapped by the County of Riverside as being within a low potential zone for paleontological sensitivity. However, areas located approximately 50 feet east of the Project site are designated as high potential for paleontological sensitivity. The paleontological survey, conducted on April 21, 2021, did not identify any visible paleontological resources onsite.

In addition, the record searches completed as part of the Paleontological Resources Assessment included the Los Angeles County Natural History Museum (LACM). A records search at the Los Angeles County Museum of Natural History did not identify any previous finds of vertebrate fossil localities within the Project site. However, records of vertebrate fossil localities have been found in other local sedimentary deposits similar to those that occur on the Project site. Previous finds include a vertebrate fossil locality from similar deposits located approximately in Lake Elsinore. Fossils from this locality were discovered at an unknown depth. Therefore, Project related excavations that extend down into older Quaternary deposits may encounter fossil vertebrates. As a result, Mitigation Measure PAL-1 is included to require that any substantial excavations below four feet be monitored to identify and recover any significant fossil remains. With implementation of Mitigation Measure PAL-1, impacts to paleontological resources would be less than significant.

Plans, Programs, or Policies (PPPs)/Conditions of Approval: None.

Mitigation:

**MM PAL-1: Paleontological Monitoring.** Prior to the issuance of grading permits, the applicant shall provide a letter to the County of Riverside Planning Department, or designee, from a professional paleontologist, stating that a qualified paleontologist has been retained to provide services for the Project. The paleontologist shall develop a Paleontological Resources Impact Mitigation Plan (PRIMP) to mitigate the potential impacts to unknown buried paleontological resources that may exist onsite. The PRIMP shall be provided to the County for review and approval. The PRIMP shall require that the paleontologist be present at the pre-grading conference to establish procedures for paleontological resource surveillance. The PRIMP shall also require paleontological monitoring for excavation below five feet below ground surface.



Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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In the event paleontological resources are encountered, ground disturbing activity within 50 feet of the area shall cease. The paleontologist shall examine the materials encountered, assess the nature and extent of the find, and recommend a course of action to further investigate and protect or recover and salvage those resources that have been encountered.

Criteria for discard of specific fossil specimens shall be made explicit in the PRIMP. If the qualified paleontologist determines that impacts to a sample containing significant paleontological resources cannot be avoided by project construction, then recovery techniques may be applied. Actions include recovering a sample of the fossiliferous material prior to construction, monitoring construction activities and halting construction if an important fossil needs to be recovered, and/or cleaning, identifying, and cataloging specimens for curation and research purposes. Recovery, salvage, and treatment shall be done at the Applicant's expense. All recovered and salvaged resources shall be prepared to the point of identification and permanent preservation by the paleontologist. Resources shall be identified and curated into an established accredited professional repository. The paleontologist shall have a repository agreement in hand prior to initiating recovery of the resource. A report documenting the results of the monitoring, including any salvage activities and the significance of any fossils, will be prepared and submitted to the appropriate County personnel.

Monitoring: No monitoring is required.

**POPULATION AND HOUSING** Would the project:

**29. Housing**

a) Displace substantial numbers of existing people or housing, necessitating the construction of replacement housing elsewhere?

b) Create a demand for additional housing, particularly housing affordable to households earning 80% or less of the County's median income?

c) Induce substantial unplanned population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?

Source(s): Project Application Materials, GIS database, Riverside County General Plan Housing Element

**a) Would the Project displace substantial numbers of existing people or housing, necessitating the construction of replacement housing elsewhere?**

**No impact.** The Project site is undeveloped and does not contain any housing and has not been historically used for housing. The Project site has a General Plan Land Use designation of Light Industrial (LI) and zoning classifications of Industrial Park (I-P) and Manufacturing, Service Commercial (M-SC) that does not provide for residential development. Thus, the Project would not displace any housing and would not necessitate the construction of replacement housing. As a result, no impact would occur.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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**b) Would the Project create a demand for additional housing, particularly housing affordable to households earning 80% or less of the County’s median income?**

**Less than Significant Impact.** The proposed project consists of two warehouse buildings totaling 98,940 SF, parking lot, ornamental landscaping, and associated infrastructure. For purposes of analysis, employment estimates were calculated using data and average employment density factors utilized in the County of Riverside General Plan. The General Plan estimates that Light Industrial (LI) businesses would employ approximately one worker for every 1,030 square feet of building area. Thus, the Project would generate approximately 96 employees. The employees that would fill these roles are anticipated to come from the region, as the unemployment rate of Riverside County in June 2021 was 7.9 percent, the City of Perris was 9.8 percent, City of Hemet was 11 percent, City of Moreno Valley was 9 percent, and the City of Menifee was at 8.1 percent (State Employment Development Department, July 2021). Due to these levels of unemployment, it is anticipated that new employees at the project site would already reside within commuting distance and would not generate needs for any housing.

In addition, should the Project require employees to relocate to the area for work, there is sufficient vacant housing available within the region. The County of Riverside had a vacancy rate of 13 percent, the City of Perris was 6.4 percent, City of Hemet was 13.2 percent, City of Moreno Valley was 6.1 percent, and the City of Menifee was 6.5 percent, in January 2021 (State Department of Finance 2021). Thus, the proposed Project would not create a demand for any housing, including housing affordable to households earning 80 percent or less of the County’s median income. Impacts would be less than significant.

**c) Would the Project induce substantial unplanned population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?**

**Less than Significant Impact.** As discussed above, employees that would work at the proposed Project are anticipated to come from within the region. Any employees relocating for Project related employment would be accommodated by the existing vacant housing in the region. Furthermore, the Project site has been planned for light industrial uses. This land use designation under the County General Plan allows for development of projects that result in employment generation. Thus, direct impacts related to population growth in an area would be less than significant.

The proposed Project would not include the extension of roads or most infrastructure. The project would be served by the adjacent roadway system and utilities would be provided by the existing infrastructure located in adjacent roadways. The Project would extend the existing 8-inch sewer line in Seaton Avenue south approximately 330 feet. However, the sewer line would be sized to serve the Project and existing development and would not indirectly induce substantial unplanned population growth in the area. Therefore, the proposed Project would not extend roads or other infrastructure that could indirectly induce population growth. Thus, both direct and indirect impacts related to population growth would be less than significant.

Plans, Programs, or Policies/Conditions of Approval: None.

Mitigation: No mitigation is required.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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**Monitoring:** No monitoring is required.

**PUBLIC SERVICES** Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered government facilities or the need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the following public services:

**30. Fire Services**

**Source(s):** Riverside County General Plan Safety Element

a) **Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered government facilities or the need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for fire services?**

**Less than Significant Impact.** The Project site is located within 5.2 miles of two Riverside County Fire Stations, listed below:

- Riverside County Fire Station 59, located at 21510 Pinewood Street, 2.7 miles from the Project site.
- Riverside County Fire Station 1, located at 210 West San Jacinto Avenue, 5.2 miles from the Project site

Implementation of the proposed Project would be required to adhere to the California Fire Code, as included in the Riverside County Ordinance No. 787, Fire Code and would be reviewed by the County's Department of Building and Safety to ensure that the project plans meet the fire protection requirements.

The two new warehouse buildings and the 96-employee increase that would occur from implementation of the proposed Project would result in an incremental increase in demand for fire protection and emergency medical services. However, there are two existing fire stations within 5.2 miles of the Project site that currently serve the Project vicinity; the closest station is 2.7 miles from the Project site. The increase in fire service demands from the Project would not require construction of a new or physically altered fire station that could cause environmental impacts. Therefore, impacts related to fire protection services would be less than significant.

In addition, Riverside County Ordinance No. 659, included as PPP PS-1, sets forth policies, regulations, and fees related to the funding and construction of facilities necessary to address direct and cumulative environmental effects generated by new development. This includes imposing development impact fees for fire facilities for every acre of new industrial use. Overall, impacts related to fire services would be less than significant.

**Plans, Programs, or Policies/Conditions of Approval:**

**PPP PS-1: Ordinance No. 659.** Prior to the issuance of either a certificate of occupancy or prior to building permit final inspection, the applicant shall comply with the provisions of Riverside County Ordinance No. 659, which requires the payment of the appropriate fee set forth in the Ordinance. Riverside County Ordinance No. 659 has been established to set forth policies, regulations and fees

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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related to the funding and installation of facilities and the acquisition of open space and habitat necessary to address the direct and cumulative environmental effects generated by new development projects, and it establishes the authorized uses of the fees collected.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

**31. Sheriff Services**

Source(s): Riverside County General Plan, Riverside County Sheriff Department website ([www.riversidesheriff.org](http://www.riversidesheriff.org)).

**b) Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered government facilities or the need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for sheriff services?**

**Less than Significant Impact.** The Project site is located 5.7 miles from the Riverside County Sherriff Station in the City of Perris (137 N. Perris Boulevard), which currently serves the Project region. The Project would result in additional onsite employees and goods that could create the need for sheriff services. Crime and safety issues during project construction may include theft of building materials and construction equipment, malicious mischief, graffiti, and vandalism. Operation of the industrial warehouses may generate a typical range of sheriff service calls, such as burglaries, thefts, and employee disturbances. Pursuant to the County's existing permitting process, the Sheriff's Department would review and approve the site plans to ensure that crime prevention and emergency access measures are incorporated appropriately to provide a safe environment.

The need for law enforcement services from the Project would not result in the need for, new or physically altered sheriff facilities. Thus, impacts related to sheriff services would be less than significant.

In addition, Riverside County Ordinance No. 659, included as PPP PS-1, sets forth policies, regulations, and fees related to the funding and construction of facilities necessary to address direct and cumulative environmental effects generated by new development. This includes imposing development impact fees for sheriff facilities per every acre of new and industrial use. Overall, impacts would be less than significant.

Plans, Programs, or Policies/Conditions of Approval:

**PPP PS-1: Ordinance No. 659:** Listed previously in 30, *Fire Services*.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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**32. Schools**

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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**Source(s):** School District correspondence, GIS database

**c) Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered government facilities or the need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for school services?**

**Less than Significant Impact.** The Project consists of two industrial warehouse facilities that would not directly generate students. As described previously, the proposed Project is not anticipated to generate a new population, as the employees needed to operate the Project are anticipated to come from within the Project region, and substantial in-migration of employees that could generate new students is not anticipated to occur. Additionally, pursuant to Government Code Section 65995 et seq., the need for additional school facilities is addressed through compliance with school impact fee assessment. SB 50 (Chapter 407 of Statutes of 1998) sets forth a state school facilities construction program that includes restrictions on a local jurisdiction's ability to condition a project on mitigation of a project's impacts on school facilities in excess of fees set forth in the Government Code. These fees, included in PPP PS-2, are collected by school districts at the time of issuance of building permits for development projects. Pursuant to Government Code Section 65995 applicants shall pay developer fees to the appropriate school districts at the time building permits are issued; and payment of the adopted fees provides full and complete mitigation of school impacts. As a result, impacts related to school facilities would be less than significant with the Government Code required fee payments.

Plans, Programs, or Policies/Conditions of Approval:

**PPP PS-2:** Prior to the issuance of either a certificate of occupancy or prior to building permit final inspection, the applicant shall provide payment of the appropriate fees set forth by the Val Verde Unified School District related to the funding of school facilities pursuant to Government Code Section 65995 et seq.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

**33. Libraries**

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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**Source(s):** Riverside County General Plan

**d) Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered government facilities or the need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for library services?**

**Less than Significant Impact.** The Project would develop and operate two industrial warehouse facilities that would not generate a substantial new population to utilize libraries. As described

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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previously, the employees needed to operate the proposed Project are anticipated to come from the Project region and commute to the Project site, and substantial in-migration of employees that could generate substantial usage of library facilities is not anticipated to occur. Therefore, impacts would be less than significant.

Additionally, Riverside County Ordinance No. 659, included as PPP PS-1, sets forth policies, regulations, and fees related to the funding and construction of facilities necessary to address direct and cumulative environmental effects generated by new development. This includes imposing development impact fees for library facilities per every acre of new industrial use.

Plans, Programs, or Policies/Conditions of Approval:

**PPP PS-1: Ordinance No. 659:** Listed previously in 30, *Fire Services*.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

**34. Health Services**

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Source(s): Riverside County General Plan

**e) Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered government facilities or the need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for health services?**

**Less than Significant Impact.** The Project would consist of two industrial warehouse facilities that would not directly generate a substantial new population that would need health services. As described previously, the employees needed to operate the proposed project are anticipated to come from the project region and commute to the Project site, and substantial in-migration of employees that could generate substantial need for health services is not anticipated to occur.

There could be an incremental increase in medical needs within the area during construction and operation. However, the Riverside University Health System facilities and associated medical center are located 9.7 miles from the Project site. In addition, the Kindred Hospital Riverside, located on 2224 Medical Center Dr, is approximately 5.1 miles from the Project site. Kaiser Permanente Moreno Valley Medical Center, located on 27300 Iris Ave in Moreno Valley, is 8.3 miles from the Project site. As the Project employees likely would already reside in the Project region, the Project would create no substantial increase in medical needs, impacts would be less than significant.

Plans, Programs, or Policies/Conditions of Approval: None.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

**RECREATION** Would the project:

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>35. Parks and Recreation</b>				
a) Include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Increase the use of existing neighborhood or regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Be located within a Community Service Area (CSA) or recreation and park district with a Community Parks and Recreation Plan (Quimby fees)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Source(s):** GIS database, Ord. No. 460, Section 10.35 (Regulating the Division of Land – Park and Recreation Fees and Dedications), Ord. No. 659 (Establishing Development Impact Fees), Parks & Open Space Department Review

- a) **Would the Project include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?**

**Less than Significant Impact.** The proposed Project consists of two industrial warehouse facilities and would not include development of recreational facilities. In addition, as described previously, the proposed Project is not anticipated to result in an influx of new residents, as the employees needed to operate the Project are anticipated to come from the labor force in the surrounding area. Thus, the proposed Project would not generate a need for construction or expansion of recreational facilities. Overall, impacts would be less than significant.

- b) **Would the Project increase the use of existing neighborhood or regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?**

**Less than Significant Impact.** As described previously, the proposed Project consists of two industrial warehouse facilities that would not result in an influx of new residents. Additionally, the employees needed to operate the project are anticipated to come from the unemployed labor force in the region. The proposed Project would not generate an increase in residential use of the existing neighborhood or regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated. Impacts would be less than significant.

In addition, as described above, Riverside County Ordinance No. 659, included as PPP PS-1, sets forth policies, regulations, and fees related to the funding and construction of facilities necessary to address direct and cumulative environmental effects generated by new development. This includes fees for park and recreation facilities per every acre of new industrial use.

- c) **Would the Project be located within a Community Service Area (CSA) or recreation and park district with a Community Parks and Recreation Plan (Quimby fees)?**

**No Impact.** The Project site is not located within a CSA or recreation park district with a Community Park and Recreation Plan. The closest CSAs are the Perris CSA 89 and Mead Valley CSA 117, neither

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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of which include the Project site. The Quimby Act, Section 66477 of the California Government Code, allows the County to require parkland dedications to three acres per 1,000 residents. As previously discussed, the Project would not generate any new residents, and the Project would not include the development of any new recreational land. Thus, it would not affect any ratio of residents to recreational land required within the area. Thus, no associated Quimby fees would be applicable. No impacts related to recreation plan would occur from implementation of the proposed Project.

Plans, Programs, or Policies/Conditions of Approval: None.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

<b>Recreational Trails</b>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>a) Include the construction or expansion of a trail system?</b>				

Source(s): Riverside County General Plan Figure C-6 Trails and Bikeway System

**a) Would the Project include the construction or expansion of a trail system?**

**Less than Significant Impact.** The Project consists of industrial warehouse facilities and does not include the construction or expansion of a trail system. There are no identified General Plan trails adjacent to the proposed Project site. However, as part of the Environmental Justice Community requirements, the applicant would contribute towards improving the trail system within the Mead Valley Environmental Justice Community area. However, specific trail improvements are unknown at this time. As described previously, the proposed Project is not anticipated to result in an influx of new residents, as the employees needed to operate the proposed industrial warehouse facility is anticipated to come from the labor force in the region. Thus, the proposed Project would not generate a substantial population increase that would use or require recreational trails, and impacts would be less than significant.

In addition, Riverside County Ordinance No. 659, included as PPP PS-1, sets forth policies, regulations, and fees related to the funding and construction of facilities necessary to address direct and cumulative environmental effects generated by new development. This includes fees for open space and recreational trail facilities per every acre of new industrial use.

Plans, Programs, or Policies/Conditions of Approval:

**PPP PS-1: Ordinance No. 659:** Listed previously in 30, *Fire Services*.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

**TRANSPORTATION** Would the project:



	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
a. Conflict with a program, plan, ordinance, or policy addressing the circulation system, including transit, roadway, bicycle, and pedestrian facilities?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Conflict or be inconsistent with CEQA Guidelines section 15064.3, subdivision (b)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. Substantially increase hazards due to a geometric design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g. farm equipment)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d. Cause an effect upon, or a need for new or altered maintenance of roads?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e. Cause an effect upon circulation during the project's construction?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f. Result in inadequate emergency access or access to nearby uses?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Source(s):** Riverside County General Plan; Traffic Impact Analysis, prepared by EPD Solutions, 2021 (EPD 2021) (Appendix K); VMT Screening Memo, prepared by EPD Solutions, July 2021 (Appendix L).

**a) Would the Project conflict with a program, plan, ordinance, or policy addressing the circulation system, including transit, roadway, bicycle, and pedestrian facilities?**

**Less than Significant.**

**General Plan Policy C 2.1** As described in the Riverside County General Plan Policy C 2.1, LOS D shall apply to all intersections located within the Mead Valley Area Plan. As such, development proposals shall review potential impacts to intersections in the Mead Valley Area Plan. Thus, the LOS threshold at intersections is LOS D.

This is an existing requirement under the General Plan and related to General Plan consistency. Based on updates to the State CEQA Guidelines as further described in Threshold b, LOS is no longer deemed a physical environmental impact under CEQA. As such, the below discussion is included for informational purposes only.

**Traffic Study Area and Existing Conditions**

The roadways included in the traffic study area include Markham Street, Seaton Avenue, Commerce Center Drive, Perry Street, and Harvill Avenue. To identify the existing traffic conditions, traffic counts at the study intersections were conducted on Wednesday, June 16, 2021 and Thursday, July 8, 2021. As shown in Table T-1, all of the study intersections operate at satisfactory LOS C or better during the weekday a.m. and p.m. peak hours under existing conditions.

**Table T-1: Existing Peak Hour Levels of Service**

Intersection	Signal Control	AM Peak		PM Peak	
		Delay <sup>1</sup>	LOS <sup>2</sup>	Delay <sup>1</sup>	LOS <sup>2</sup>
1. Harvill Ave/Markham St	Signal	25.9	C	29.1	C
2. Seaton Ave/Markham St	AWSC	9.9	A	16.4	C
3. Harvill Ave/Commerce Center Dr	TWSC	7.6	A	11.9	B
4. Seaton Ave/Commerce Center Dr	TWSC	8.8	A	9.3	A

Potentially Significant Impact      Less than Significant with Mitigation Incorporated      Less Than Significant Impact      No Impact

5. Seaton Ave/Driveway 1	TWSC	-	-	-	-
6. Seaton Ave/Driveway 2	TWSC	-	-	-	-
7. Seaton Ave/Perry St	TWSC	9.2	A	9.7	A
8. Harvill Ave/Perry St	TWSC	11.2	B	13.3	B

Source: EPD, 2021 (Appendix K).  
 AWSC=All-Way Stop Controlled  
 TWSC = Two-Way Stop Controlled  
<sup>1</sup> Delay in Seconds  
<sup>2</sup> Level of Service

**Operation**

Table T-2 identifies the number of trips that would be generated by the Project. The trip generation is broken out by vehicle type and passenger car equivalent (PCE) factors are applied to the truck trips to determine the PCE trip generation. Passenger car equivalent factors account for the additional roadway capacity utilized by trucks due to their larger size, slower acceleration and reduced maneuverability when compared to passenger cars. As shown, the Project would generate 623 daily trips including 88 AM peak hour and 79 PM peak hour trips.

**Table T-2: Project Trip Generation**

Land Use	Units	Daily	AM Peak Hour			PM Peak Hour		
			In	Out	Total	In	Out	Total
<u>Trip Rates</u>								
General Light Industrial <sup>1</sup>	TSF	4.96	0.62	0.08	0.70	0.08	0.55	0.63
<b><i>Proposed Project Trip Generation (Total Vehicles)</i></b>								
Project	98,940 TSF	491	61	8	69	8	54	62
<b><i>Vehicle Mix<sup>2</sup></i></b>		<b><i>Percent</i></b>						
Passenger Vehicles	78.60%	386	48	7	54	6	43	49
2-Axle Trucks	8.00%	39	5	1	6	1	4	5
3-Axle Trucks	3.90%	19	2	0	3	0	2	2
4+-Axle Trucks	9.50%	47	6	1	7	1	5	6
		491	61	8	69	8	54	62
<b><i>PCE Trip Generation<sup>3</sup></i></b>		<b><i>PCE Factor</i></b>						
Passenger Vehicles	1.0	386	48	7	54	6	43	49
2-Axle Trucks	1.5	59	7	1	8	1	7	7
3-Axle Trucks	2.0	38	5	1	5	1	4	5
4+-Axle Trucks	3.0	140	17	2	20	2	15	18
Total PCE Trip Generation		623	77	11	88	10	69	79

Source: EPD, 2021 (Appendix K)  
 TSF = Thousand Square Feet  
 PCE = Passenger Car Equivalent

<sup>1</sup> Trip rates from TUMF High-Cube Warehouse Trip Generation Study, WSP, January 29, 2019. In/Out splits from the Institute of Transportation Engineers, *Trip Generation, 10th Edition, 2017*. Land Use Code 110 – General Light Industrial

<sup>2</sup> Vehicle Mix from the City of Fontana, *Truck Trip Generation Study*, August 2003, Classification: Light Industrial

<sup>3</sup> Passenger Car Equivalent (PCE) factors from County of Riverside Transportation Analysis Guidelines, 2020

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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**Existing Plus Project:** An intersection operations analysis was conducted for the study area to evaluate the existing plus Project weekday a.m. and p.m. peak hour conditions with the Project. Two scenarios were analyzed, Perry Street between Seaton Avenue and Harvill Avenue continuing to operate in the undeveloped condition and Perry Street between Seaton Avenue and Harvill Avenue being fully developed. As shown in Table T-3 and T-4, all study intersections are forecast to continue to operate at satisfactory LOS C or better during the weekday a.m. and p.m. peak hours with the addition of Project traffic in both scenarios.

**Table T-3: Existing Plus Project Conditions (Perry St Undeveloped)**

Intersection	Existing				Existing plus Project				Impact?	
	AM Peak		PM Peak		AM Peak		PM Peak		AM	PM
	Delay	LOS	Delay	LOS	Delay	LOS	Delay	LOS		
1 Harvill Ave/Markham St	25.9	C	29.1	C	25.2	C	31.0	C	No	No
2 Seaton Ave/Markham St	9.9	A	16.4	C	10.2	B	17.5	C	No	No
3 Harvill Ave/Commerce Center Dr	7.5	A	11.9	B	10.8	B	12.2	B	No	No
4 Seaton Ave/Commerce Center Dr	8.8	A	9.3	A	9.4	A	9.6	A	No	No
5 Seaton Ave/Driveway 1	-	-	-	-	9.3	A	9.5	A	No	No
6 Seaton Ave/Driveway 2	-	-	-	-	9.1	A	9.4	A	No	No
7 Seaton Ave/Perry St	9.2	A	9.7	A	9.5	A	10.0	A	No	No
8 Harvill Ave/Perry St	11.2	B	13.3	B	11.4	B	13.6	B	No	No

Source: EPD, 2021 (Appendix K)

**Table T-4: Existing Plus Project Conditions (Perry St Developed)**

Intersection	Existing				Existing plus Project				Impact?	
	AM Peak		PM Peak		AM Peak		PM Peak		AM	PM
	Delay	LOS	Delay	LOS	Delay	LOS	Delay	LOS		
1 Harvill Ave/Markham St	25.9	C	29.1	C	25.2	C	30.3	C	No	No
2 Seaton Ave/Markham St	9.9	A	16.4	C	10.2	B	17.2	C	No	No
3 Harvill Ave/Commerce Center Dr	7.5	A	11.9	B	10.4	B	12.1	B	No	No
4 Seaton Ave/Commerce Center Dr	8.8	A	9.3	A	9.2	A	9.5	A	No	No
5 Seaton Ave/Driveway 1	-	-	-	-	9.2	A	9.3	A	No	No
6 Seaton Ave/Driveway 2	-	-	-	-	9.3	A	9.4	A	No	No
7 Seaton Ave/Perry St	9.2	A	9.7	A	9.8	A	10.5	B	No	No
8 Harvill Ave/Perry St	11.2	B	13.3	B	11.9	B	13.5	B	No	No

Source: EPD, 2021 (Appendix K)

**Opening Year 2021 Plus Project:** Opening Year Baseline (2023) traffic volumes were developed by applying a growth rate of two percent per year to the existing (2021) traffic volumes and adding traffic generated by 20 other approved and pending development projects in the vicinity of the proposed Project. As shown in Table T-5 and T-6, all of the intersections are forecast to operate at satisfactory LOS C or better in the opening year 2021 plus project condition for both scenarios.

**Table T-5: Opening Year (2023) Plus Project (Perry St Undeveloped)**

Intersection	Existing				Existing plus Project				Impact?	
	AM Peak		PM Peak		AM Peak		PM Peak		AM	PM
	Delay	LOS	Delay	LOS	Delay	LOS	Delay	LOS		
1 Harvill Ave/Markham St	21.1	C	26.7	C	20.9	C	26.6	C	No	No
2 Seaton Ave/Markham St	10.3	B	18.5	C	10.6	B	19.7	C	No	No
3 Harvill Ave/Commerce Center Dr	13.0	B	15.1	C	13.6	B	15.4	C	No	No
4 Seaton Ave/Commerce Center Dr	8.9	A	9.3	A	9.4	A	9.6	A	No	No
5 Seaton Ave/Driveway 1	-	-	-	-	9.3	A	9.4	A	No	No

					Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact			
6	Seaton Ave/Driveway 2	-	-	-	-	9.1	A	9.4	A	No	No
7	Seaton Ave/Perry St	9.2	A	9.8	A	9.5	A	10.1	B	No	No
8	Harvill Ave/Perry St	13.4	B	17.4	C	13.6	B	17.6	C	No	No

Source: EPD, 2021 (Appendix K)

**Table T-6: Opening Year (2023) Plus Project (Perry St Developed)**

Intersection	Existing				Existing plus Project				Impact?	
	AM Peak		PM Peak		AM Peak		PM Peak		AM	PM
	Delay	LOS	Delay	LOS	Delay	LOS	Delay	LOS		
1 Harvill Ave/Markham St	21.1	C	26.7	C	20.9	C	26.5	C	No	No
2 Seaton Ave/Markham St	10.3	B	18.5	C	10.6	B	19.8	C	No	No
3 Harvill Ave/Commerce Center Dr	13.0	B	15.1	C	13.0	B	15.4	C	No	No
4 Seaton Ave/Commerce Center Dr	8.9	A	9.3	A	9.2	A	9.6	A	No	No
5 Seaton Ave/Driveway 1	-	-	-	-	9.2	A	9.4	A	No	No
6 Seaton Ave/Driveway 2	-	-	-	-	9.3	A	9.4	A	No	No
7 Seaton Ave/Perry St	9.2	A	9.8	A	9.8	A	10.6	B	No	No
8 Harvill Ave/Perry St	13.4	B	17.4	C	14.2	B	18.1	C	No	No

Source: EPD, 2021 (Appendix K)

### Construction

Construction activities of the Project would generate vehicular trips from construction workers traveling to and from project site, delivery of construction supplies and import materials to, and export of debris from the Project site. However, these activities would only occur for a period of 8 months. As shown in Table T-3 and T-4, all study intersections are forecast to continue to operate at satisfactory LOS C or better in the Existing Plus Project condition during the weekday a.m. and p.m. peak hours with the addition of the Project's operational trips of 623 new net daily PCE trips, with 88 a.m. peak hour trips, and 79 p.m. peak hour trips. The increase of trips during construction activities would be limited and would not exceed the number of operational trips.

### Alternative Transportation

The Riverside Transit Agency (RTA) does not operate any bus stops or bus routes within the vicinity of the Project. Furthermore, no bike lanes exist within the Project vicinity. Additionally, the Project would include a sidewalk along the Seaton Avenue frontage. The proposed Project would improve the existing pedestrian access to nearby locations. Therefore, the proposed Project would also not conflict with pedestrian facilities. Overall, Project impacts to transit, bicycle, and pedestrian facilities would be less than significant.

### b) Would the Project conflict or be inconsistent with CEQA Guidelines section 15064.3, subdivision (b)?

**Less than Significant.** Senate Bill (SB) 743 was signed by Governor Brown in 2013 and required the Governor's Office of Planning and Research (OPR) to amend the CEQA Guidelines to provide an alternative to LOS for evaluating Transportation impacts. SB 743 specified that the new criteria should promote the reduction of greenhouse gas emissions, the development of multimodal transportation networks and a diversity of land uses. The bill also specified that delay-based level of service could no longer be considered an indicator of a significant impact on the environment. In response, Section 15064.3 was added to the CEQA Guidelines beginning January 1, 2019. Section 15064.3 - Determining the Significance of Transportation Impacts states that Vehicle Miles Traveled (VMT) is the most appropriate measure of transportation impacts and provides lead agencies with the discretion to choose the most appropriate methodology and thresholds for evaluating VMT. Section 15064.3(c) states that the provisions of the section shall apply statewide beginning on July 1, 2020.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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The County of Riverside Transportation Department's *Transportation Analysis Guidelines for Level of Service Vehicle Miles Traveled* were adopted in December 2020 and contain the following screening thresholds to assess whether further VMT analysis is required. If the project meets any of the following screening thresholds, then the VMT impact of the project is considered less than significant and further VMT analysis is not required.

1. Small Projects: This applies to projects with low trip generation (110 trips per day), or projects that have GHG emissions that are less than 3,000 metric tons of Carbon Dioxide Equivalent (MTCO<sub>2</sub>e) per year.
2. Projects Near High Quality Transit: Projects which are located within a Transit Priority Area (TPA) are presumed to have a less than significant impact on VMT and therefore would not need to prepare a full VMT analysis.
3. Local Serving Retail: Retail that does not exceed 50,000 sf
4. Affordable Housing: Residential Projects that have a high percentage of affordable housing.
5. Local Essential Services: Projects that include Day Care, Public School, and Police or Fire facilities.
6. Map Based Screening: Areas of development that is under threshold as shown on a screening map.
7. Redevelopment projects: Projects that replace existing land uses with an existing VMT that is higher than the proposed project.

The Project meets the first screening threshold for a small Project because it would generate less than 3,000 MTCO<sub>2</sub>e per year from Project operation, as shown in Section 20, *Greenhouse Gas Emissions*, of this IS/MND. Additionally, per Figure 3 of the County's *Transportation Analysis Guidelines for Level of Service Vehicle Miles Traveled*, General Light Industrial buildings with an area less than or equal to 179,000 SF are screened out of conducting a VMT analysis. Since the Project Applicant proposes the construction of two light industrial warehouse buildings totaling 98,940 SF, the Project is presumed to have a less than significant impact on VMT. Therefore, the project would meet the small project screening criteria, and project impacts related to VMT would be less than significant.

**c) Would the Project substantially increase hazards due to a geometric design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g. farm equipment)?**

**No Impact.** The proposed Project includes only two industrial warehouse buildings. There are no proposed uses that would be incompatible. The Project would also not increase any hazards related to a design feature. Operation of the proposed Project would involve trucks entering and exiting the Project site from Seaton Avenue for access to the loading bays and trailer parking adjacent to the two buildings via the 36-foot wide southern driveway that is designed to accommodate trucks. Passenger vehicles would enter and exit the site using the northern driveway on Seaton Avenue. The onsite circulation design prepared for the Project provides fire truck accessibility and turning ability throughout the site. Thus, no impacts related to vehicular circulation design features would occur from the proposed Project.

**d) Would the Project cause an effect upon, or a need for new or altered maintenance of roads?**

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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**No Impact.** The proposed Project would not result in the altered need for road maintenance; however, as described above, the proposed Project would generate 623 new daily PCE trips, which would contribute to the need for regular maintenance of roads. To provide for public facility maintenance needs, Riverside County Ordinance No. 659, included as PPP PS-1, sets forth policies, regulations, and fees related to the funding and construction of facilities necessary to address direct and cumulative environmental effects generated by new development. This includes fees for road improvements and traffic signal improvements, which are levied per every acre of new industrial use. In addition, the property taxes and revenue generated from the proposed uses on the Project site would support regular road maintenance. Thus, the Project would provide funding for future roadway maintenance needs, and impacts would not occur.

**e) Would the Project cause an effect upon circulation during the project's construction?**

**Less than Significant.** As described in Response 37(a), construction activities of the Project would generate vehicular trips from construction workers traveling to and from the Project site, delivery of construction supplies and import materials to, and export of debris from the Project site. However, these activities would only occur for a period of 8 months. The increase of trips during construction activities would be limited and are not anticipated to exceed the number of operational trips, which as detailed previously, would not result in a significant impact related to traffic. Therefore, the short-term vehicle trips from construction of the Project would be less than significant.

**f) Would the Project result in inadequate emergency access or access to nearby uses?**

**No Impact.**  
**Construction**

The proposed construction activities, including equipment and supply staging and storage, would occur within the Project site and would not restrict access of emergency vehicles to the project site or adjacent areas. During construction of the Project driveways along Seaton Avenue and extension of the sewer main in Seaton Avenue, the roadway would remain open to ensure adequate emergency access to the Project area and vicinity, and impacts related to inadequate emergency access during construction activities would not occur.

**Operation**

Operation of the proposed Project would also not result in inadequate emergency access or access to nearby uses. Direct access to the Project site would be provided from Seaton Avenue, which is adjacent to the Project site. The Project is also required to design and construct internal access and provide fire suppression facilities (e.g., hydrants and sprinklers) in conformance with the County Code and the Riverside County Fire Department would review the development plans prior to approval to ensure adequate emergency access pursuant to the requirements in the International Fire Code and Section 503 of the California Fire Code (gTitle 24, California Code of Regulations, Part 9). As part of internal emergency access, the Project includes a 24-foot wide fire lane to ensure adequate emergency access. As a result, the proposed Project would not result in inadequate emergency access or access to nearby uses, and no impacts would occur.

Plans, Programs, or Policies/Conditions of Approval:

**PPP PS-1: Ordinance No. 659:** Listed previously in 30, *Fire Services*.

Mitigation: No mitigation is required.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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**Monitoring:** No monitoring is required.

**Bike Trails**

Include the construction or expansion of a bike system or bike lanes?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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**Source(s):** Riverside County General Plan

**a) Would the Project include the construction or expansion of a bike system or bike lanes?**

**No Impact.** The proposed Project consists of two industrial warehouse buildings and does not include the construction or expansion of a bike system or bike lanes. As described previously, the proposed Project is not anticipated to result in an influx of new residents, as the employees needed to operate the proposed industrial warehouse buildings are anticipated to come from the unemployed labor force in the region. Thus, the proposed Project would not generate a substantial population that would use or require a bike system or bike lanes, and impacts would be less than significant.

In addition, Riverside County Ordinance No. 659, included as PPP PS-1, sets forth policies, regulations, and fees related to the funding and construction of facilities necessary to address direct and cumulative environmental effects generated by new development.

Plans, Programs, or Policies/Conditions of Approval:

**PPP PS-1: Ordinance No. 659.** Listed previously in 30, *Fire Services*.

**Mitigation:** No mitigation is required.

**Monitoring:** No monitoring is required.

**TRIBAL CULTURAL RESOURCES** Would the project cause a substantial adverse change in the significance of a Tribal Cultural Resource, defined in Public Resources Code section 21074 as either a site, feature, place, or cultural landscape that is geographically defined in terms of the size and scope of the landscape, sacred place, or object with cultural value to a California Native American Tribe, and that is:

**a)** Listed or eligible for listing in the California Register of Historical Resources, or in a local register of historical resources as defined in Public Resources Code section 5020.1 (k)?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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**b)** A resource determined by the lead agency, in its discretion and supported by substantial evidence, to be significant pursuant to criteria set forth in subdivision (c) of Public Resources Code Section 5024.1? (In applying the criteria set forth in subdivision (c) of Public Resources Code Section 5024.1, the lead agency shall consider the

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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significance of the resource to a California Native American tribe.)

**Source(s):** County Archaeologist, AB52 Tribal Consultation, Riverside County Parcel Report, Phase I Cultural Resources Assessment, Prepared by Material Culture Consulting, 2021 (CULT 2021) (Appendix D).

**a) Listed or eligible for listing in the California Register of Historical Resources, or in a local register of historical resources as defined in Public Resources Code section 5020.1 (k)?**

**Less than Significant Impact.** Changes in the California Environmental Quality Act, effective July 2015, require that the County address a new category of cultural resources – tribal cultural resources – not previously included within the law’s purview. Tribal Cultural Resources are those resources with inherent tribal values that are difficult to identify through the same means as archaeological resources. These resources can be identified and understood through direct consultation with the tribes who attach tribal value to the resource. Tribal cultural resources may include Native American archaeological sites, but they may also include other types of resources such as cultural landscapes or sacred places. The appropriate treatment of tribal cultural resources is determined through consultation with tribes. Assembly Bill (AB) 52 requires meaningful consultation between lead agencies and California Native American tribes regarding potential impacts on tribal cultural resources. Tribal cultural resources are sites, features, places, cultural landscapes, sacred places, and objects with cultural value to a California Native American tribe that are either eligible or listed in the California Register of Historical Resources or local register of historical resources (PRC Section 21074). To identify if any tribal cultural resources are potentially located within the Project site, a Sacred Lands File Search was requested from the Native American Heritage Commission (NAHC) on March 12, 2021. The NAHC responded on March 24, 2021, stating that there are no known sacred lands within a 1-mile radius of the Project area. The NAHC requested that 21 Native American tribes or individuals be contacted for further information regarding the Project area and vicinity.

In compliance with Assembly Bill 52 (AB52), notices regarding this project were mailed to all requesting tribes on May 06, 2021. No response was received from the Colorado River Indian Tribes, the Santa Rosa Band of Cahuilla, Ramona Band of Cahuilla, Cahuilla Band of Indians, the Morongo Band or the Pala Band of Mission Indians. Consultation was requested by the Agua Caliente Band of Cahuilla Indians, the Soboba Band of Indians, the Pechanga Band of Luiseno Indians, and the Rincon Band of Luiseno Indians.

The Soboba Band responded in an email dated May 25, 2021. This Project was discussed during a meeting on June 09, 2021. Soboba provided information that the Project location is in proximity to known sites, is in a shared use area that was used in ongoing trade between the tribes and is a cultural landscape and is considered to be culturally sensitive by the people of Soboba. The Cultural Resources Assessment and the conditions of approval were provided to the Tribe on July 16, 2021. Consultation was concluded during a meeting held on September 08, 2021.

The Rincon Band responded in an email letter dated May 13, 2021. The Cultural Resources Assessment was provided to the Tribe on July 16, 2021. Rincon provided information that the Project location is within the Traditional Use Area (TUA) of the Luiseño people and within the Band’s specific Area of Historic Interest (AHI). As such, Rincon is traditionally and culturally affiliated to the Project area. After review of the Cultural Resources Assessment, the band provided recommendations for



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archaeological and tribal monitoring during grading activities. The conditions of approval were provided to the tribe on July 26, 2021. Rincon concurred with these conditions and consultation was concluded October 21, 2021.

The Agua Caliente Band of Cahuilla Indians requested consultation in a letter dated June 15, 2021. The band was provided with the Cultural Resources Assessment on July 16, 2021 and the conditions of approval on July 26, 2021. In an email dated August 20, 2021, the band provided information that the project is located in the Cahuilla Traditional Use Area and that it is near villages and recorded resources. Further, that there is a tribal cultural resource located within .25 miles of the Project. Agua Caliente expressed concerns regarding previously unidentified subsurface tribal cultural resources that may be uncovered during ground disturbing grading activities. As such, the Band recommended that an Agua Caliente qualified monitor be present during grading. With that, consultation was concluded by the band.

The Pechanga Band of Luiseno Indians responded in an email dated May 21, 2021 requesting consultation. The band told County Planning that the Project area is part of 'Ataaxum (Luiseño), and therefore the Tribe's, aboriginal territory as evidenced by the existence of cultural resources, named places, *tóota yixélval* (rock art, pictographs, petroglyphs), and an extensive 'Ataaxum artifact record in the vicinity of the Project. Pechanga said that this culturally sensitive area is affiliated with the Pechanga Band of Luiseño Indians because of the Tribe's cultural ties to this area. Planning provided the Project Cultural Resource Assessment, followed by the conditions of approval on July 26, 2021. On August 13, 2021, Project exhibits were provided, and on September 22, 2021, the updated cultural report was provided to Pechanga. This Project was discussed during a consultation meeting on October 08, 2021. During this meeting Pechanga told County Planning that the Project was located within two separate Traditional Cultural Properties which the tribe considers to be landscapes. Pechanga also expressed concern for subsurface resources. County Planning confirmed that there would be archaeological and Native American monitoring during ground disturbing activities. Pechanga concurred with these conditions. A follow up email was sent to the tribe on October 25, 2021 and consultation was concluded on November 01, 2021.

Although no specific impacts to tangible tribal cultural resources were identified, the Project location was said to be within a landscape and all of the consulting tribes expressed concerns that the Project has the potential for as yet unidentified subsurface tribal cultural resources. The tribes request that a Native American monitor be present during ground disturbing activities so any unanticipated finds will be handled in a timely and culturally appropriate manner.

Based on information provided by the consulting tribes this Project will require a Native American Monitor to be present during ground disturbing activities, as outlined below in Mitigation Measure TCR-1. In the event that human remains are encountered during Project construction, the Project would be required to adhere to State Health and Safety Code Section 7050.5, as included in PPP CUL-1. Additionally, the Project would implement Mitigation Measure CUL-1, which provides procedures if unanticipated cultural resources are discovered during Project construction. In addition, CEQA requires the Lead Agency to address any unanticipated cultural resources discoveries during Project construction. Therefore, with implementation of Mitigation Measure CUL-1, PPP CUL-1, and Mitigation Measure TCR-1, impacts to a tribal cultural resource would be less than significant.

**b) A resource determined by the lead agency, in its discretion and supported by substantial evidence, to be significant pursuant to criteria set forth in subdivision (c) of Public Resources Code Section 5024.1? (In applying the criteria set forth in subdivision (c) of Public**

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**Resources Code Section 5024.1, the lead agency shall consider the significance of the resource to a California Native American tribe.)**

**Less than Significant Impact.** In accordance with Public Resource Code (PRC) Section 5024.1(c), a resource is considered historically significant if it meets at least one of the following criteria:

- 1) Associated with events that have made a significant contribution to the broad patterns of local or regional history or the cultural heritage of California or the United States;
- 2) Associated with the lives of persons important to local, California or national history;
- 3) Embodies the distinctive characteristics of a type, period, region or method of construction or represents the work of a master or possesses high artistic values; or
- 4) Has yielded, or has the potential to yield, information important to the prehistory or history of the local area, California or the nation.

The Project site does not meet any of the criteria listed above from PRC Section 5024.1(c). As described in the previous response, there are no resources onsite that meet the criteria for the CRHR. As described above, four Native American tribes, the Soboba Band of Luiseño Indians, the Pechanga Band of Luiseño Indians, the Rincon Band of Luiseño Indians, and the Agua Caliente Band of Cahuilla Indians, requested to proceed with AB 52 consultation, which concluded in November 2021. Based on information provided by the consulting tribes, this Project will require a Native American Monitor to be present during ground disturbing activities. As such, Mitigation Measure TCR-1 is included to require retention of a Native American Monitor. Therefore, with implementation of Mitigation Measure TCR-1 and Mitigation Measure CUL-1, impacts to a tribal cultural resource resulting from inadvertent discoveries of tribal cultural resources would be less than significant.

As discussed in the Cultural Resources, Item 9, in the unlikely event that human remains are encountered during grading or soil disturbance activities, the California Health and Safety Code Section 7050.5 Compliance with the established regulatory framework (i.e., California Health and Safety Code Section 7050.5 and Public Resources Code Section 5097.98, included as PPP CUL-1) would provide that any potential impacts to human remains and tribal cultural resources would be less than significant.

Plans, Programs, or Policies/Conditions of Approval:

**PPP CUL-1: Human Remains.** Listed previously in Cultural Resources, Item 9, Archaeological Resources.

Mitigation:

**MM CUL-1: Unanticipated Resources.** Listed previously in Cultural Resources, Item 9, Archaeological Resources.

**MM TCR-1: Native American Monitor (COA 60-Planning-CUL.1).** Prior to the issuance of grading permits, the developer/permit applicant shall enter into agreement(s) with the consulting tribe(s) for Native American Monitor(s). In conjunction with the Archaeological Monitor(s), the Native American Monitor(s) shall attend the pre-grading meeting with the contractors to provide Cultural Sensitivity Training for all construction personnel. In addition, an adequate number of Native American Monitor(s) shall be on-site during all initial ground disturbing activities and excavation of each

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portion of the project site including clearing, grubbing, tree removals, grading and trenching. In conjunction with the Archaeological Monitor(s), the Native American Monitor(s) have the authority to temporarily divert, redirect or halt the ground disturbance activities to allow identification, evaluation, and potential recovery of cultural resources. The developer/permit applicant shall submit a fully executed copy of the agreement(s) to the County Archaeologist to ensure compliance with this condition of approval. Upon verification, the Archaeologist shall clear this condition. This agreement shall not modify any condition of approval or mitigation measure.

**Monitoring: Native American Monitor.** Prior to the issuance of the first grading permit, the applicant shall provide a letter to the County Planning Department, or designee identifying that the agreement for the Native American monitor for activities detailed in County condition of approval Planning-CUL 1(Unanticipated Resources) and 60-Planning- CUL 1 (Native American Monitor) has been completed, or the applicant will provide a binding agreement to retain a Native American Monitor.

**UTILITIES AND SERVICE SYSTEMS** Would the project:

**1. Water**

a) Require or result in the relocation or construction of new or expanded water, wastewater treatment, or storm water drainage systems, whereby the construction or relocation would cause significant environmental effects?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Have sufficient water supplies available to serve the project and reasonably foreseeable future development during normal, dry, and multiple dry years?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source(s): Eastern Municipal Water District 2020 Urban Water Management Plan (UWMP 2020). Eastern Municipal Water District Sanitary Sewer System Planning & Design Guide (EMWD 2006). Accessed: [https://www.emwd.org/sites/main/files/file-attachments/emwdsewer\\_system\\_design.pdf](https://www.emwd.org/sites/main/files/file-attachments/emwdsewer_system_design.pdf). Eastern Municipal Water District Water System Planning & Design Principal Guidelines Criteria (EMWD 2007) Accessed: [https://www.emwd.org/sites/main/files/file-attachments/emwdwater\\_system\\_design.pdf](https://www.emwd.org/sites/main/files/file-attachments/emwdwater_system_design.pdf). EWMD Perris Valley Regional Water Reclamation Facility Factsheet, January 2021 (EMWD 2021). Accessed: <https://www.emwd.org/sites/main/files/file-attachments/pvrwrffactsheet.pdf?1620227213>

**a) Require or result in the relocation or construction of new or expanded water, wastewater treatment, or storm water drainage systems, whereby the construction or relocation would cause significant environmental effects?**

**Less than Significant Impact.**

**Water Infrastructure**

The Project would develop the site for new industrial warehouse facilities. There is an existing 14-inch water line along Seaton Ave. The Project would connect to the existing water infrastructure, and additional off-site water infrastructure would not be required to be constructed to serve the proposed Project. Installation of the onsite water infrastructure and connection to the existing water supply lines

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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is part of construction of the proposed Project would not result in any physical environmental effects beyond those described throughout this document.

The Eastern Municipal Water District (EMWD) provides water supplies to the project area. In addition to treated water that is delivered to EMWD by the Metropolitan Water District, EMWD operates two microfiltration plants that filter raw imported water to achieve potable water standards. The two treatment plants, the Perris Water Filtration Plant and the Hemet Water Filtration Plant, are located in Perris and Hemet, respectively. These two water treatment plants provide a portion of the water supplied by EMWD (UWMP 2020). Because the site's proposed use is consistent with the existing land use designation, the Project's water demand projection is included in the UWMP and the EMWD would have sufficient water supplies and has adequate planned infrastructure to serve the Project from existing entitlements/resources. Therefore, no new or expanded water treatment facilities would be required as a result of the proposed Project and impacts related to water infrastructure would be less than significant.

**Wastewater Treatment**

The Project would develop and operate new industrial warehouse facilities that would generate wastewater. The existing 8-inch sewer line in Seaton Avenue would be extended south approximately 330 feet in order to serve the Project site. Installation of the sewer extension in Seaton Avenue and onsite sewer infrastructure is part of construction of the proposed Project would not result in any physical environmental effects beyond those described throughout this document. Additionally, the offsite sewer extension would be sized to serve the proposed Project and existing development and would not result in significant environmental effects.

EMWD provides wastewater treatment to the Project area. EMWD has four wastewater treatment facilities located throughout its service area that are interconnected to provide for operational flexibility, improved reliability, and deliveries of recycled water. The Perris Valley Regional Water Reclamation Facility is closest to the Project site and has a treatment capacity of 22 million gallons per day (mgd), and currently has a typical daily flow of 15.5 mgd. In 2015, EMWD treated on average of 13,806 mgd (UWMP 2015). In addition, the facility has a planned ultimate capacity of 100 mgd (EMWD Fact Sheet).

Industrial uses generate approximately 1,700 gallons per day (gpd) per acre of wastewater for light industrial land uses. Thus, the proposed Project would generate approximately 16,031 gallons of wastewater per day (1,700 gpd per acre × 9.43 acres = 16,031 gpd) (EMWD, 2006, Table 1). Under existing conditions, the Perris Valley Regional Water Reclamation Facility has an excess treatment capacity of approximately 6.5 mgd. Implementation of the project would utilize approximately 0.2 percent of the Perris Valley Regional Water Reclamation Facility daily excess treatment capacity. Thus, the wastewater treatment plant has ample capacity, and the Project would not create the need for any new or expanded wastewater facility (such as conveyance lines, treatment facilities, or lift stations) to serve the proposed Project. Therefore, impacts related to wastewater infrastructure would be less than significant.

**Stormwater Drainage**

The Project includes installation of an onsite drainage system that would convey stormwater to a clarifier for pre-treatment ahead of two underground infiltration systems, which would be to the east of each building. Over-flows in excess of water quality capture volume requirements will be directed to the existing Lateral F-1 storm drain for conveyance off-site. The existing off-site drainage systems is designed and sized appropriately and would be able to accommodate the proposed Project. Thus, the

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Project would not require or result in the relocation or construction of new or expanded off-site drainage systems. The proposed onsite stormwater drainage infrastructure is included as part of the construction of the proposed Project and would not result in any physical environmental effects beyond those identified in other sections of this document. Therefore, impacts related to drainage infrastructure would be less than significant.

**b) Have sufficient water supplies available to serve the project and reasonably foreseeable future development during normal, dry, and multiple dry years?**

**Less than Significant Impact.** Water supplies to the project site are provided by EMWD, which serves 555 square miles of Western Riverside County (UWMP 2020). In 2020, EMWD had a retail water demand of 84,673-acre feet (AF), and projects a retail demand of 102,600 AF in 2025, which is a 21 percent increase. The UWMP projects continued growth in retail demand through 2045, when demand is projected to be 123,000 AF (UWMP 2020). The UWMP identified increases in imported water to meet this increase in demand. The UWMP details the district’s reliable and drought-resilient water supply capable of meeting projected demands over the next 25 years and beyond (UWMP 2020). The UWMP specifically states that industrial developments are proposed around I-215 and other main transportation corridors. Much of the proposed growth consists of large warehouse projects (similar to the proposed Project) with minimal water demand. As much as feasible, EMWD will meet the needs of high-water demand industrial customers with recycled water (UWMP page 4-4). To ensure that planning efforts for future growth are comprehensive, the Urban Water Management Planning Act requires water purveyors to incorporate regional projections and land uses in UWMPs.

The Project site has a General Plan Land Use designation of Light Industrial. The 2020 UWMP identifies water supply and retail demands through 2045 (123,000 AF) and indicates it would meet all anticipated water supply needs. The proposed Project is consistent with the land use designations for the site, and therefore the existing growth projections included in the UWMP. In addition, County Ordinance No. 859, included as PPP UT-1, requires compliance with the County’s Water Efficient Landscape Ordinance. Therefore, the proposed Project would have sufficient water supplies available to serve the Project and reasonably foreseeable future development during normal, dry, and multiple dry years, and impacts would be less than significant.

Plans, Programs, or Policies/Conditions of Approval:

**PPP UT-1: County Ordinance No. 859.** Project plans and specifications shall comply with Riverside County Ordinance No. 859, Water Efficient Landscape Ordinance.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

**2. Sewage**

c) Require or result in the construction of new wastewater treatment facilities, including septic systems, or expansion of existing facilities, whereby the construction or relocation would cause significant environmental effects?

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
d) Result in a determination by the wastewater treatment provider that serves or may service the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Source(s):** Department of Environmental Health Review, EMWD

**a) Require or result in the construction of new wastewater treatment facilities, including septic systems, or expansion of existing facilities, whereby the construction or relocation would cause significant environmental effects?**

**Less than Significant Impact.** As described previously, the proposed Project consists of new industrial warehouse facilities that would generate an increase in wastewater generated from the project site. The Project includes expansion of the existing sewage infrastructure located on Seaton Avenue approximately 330 feet south and construct onsite connections. Installation of the onsite sewer infrastructure and extension of the existing offsite sewers is part of construction of the proposed Project and the impacts associated with construction of these facilities have been addressed in various sections of this document.

EMWD provides wastewater treatment to the project area. EMWD has four wastewater treatment facilities located throughout its service area that are interconnected to provide for operational flexibility and reliability. As discussed above, the Perris Valley Regional Water Reclamation Facility is closest to the Project site and has ample capacity to serve the project. Thus, the Project would not require expansion to serve the proposed Project and impacts related to wastewater infrastructure would be less than significant.

**b) Result in a determination by the wastewater treatment provider that serves or may service the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?**

**No Impact.** As described previously under Response 40(a), under existing conditions, the Perris Valley Regional Water Reclamation Facility has an excess treatment capacity of approximately 6.5 mgd. Implementation of the Project would utilize approximately 0.2 percent of the Perris Valley Regional Water Reclamation Facility's daily excess treatment capacity. Therefore, the proposed Project would not result in impacts related to wastewater treatment plant capacity.

Plans, Programs, or Policies/Conditions of Approval: None.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

**3. Solid Waste**

a. Generate solid waste in excess of State or Local standards, or in excess of the capacity of local infrastructure,	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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or otherwise impair the attainment of solid waste reduction goals?

b. Comply with federal, state, and local management and reduction statutes and regulations related to solid wastes including the CIWMP (County Integrated Waste Management Plan)?

**Source(s):** Riverside County General Plan, CalRecycle Facility Database, accessible at: <https://www2.calrecycle.ca.gov/SWFacilities/Directory/>.

**a) Generate solid waste in excess of State or Local standards, or in excess of the capacity of local infrastructure, or otherwise impair the attainment of solid waste reduction goals?**

**Less than Significant Impact**

The closest landfill to the Project site that is permitted to operate into the future is the El Sobrante Sanitary Landfill, which is located at 10910 Dawson Canyon Road and is approximately 21.3 miles from the Project site. The landfill is permitted to accept 16,054 tons per day of solid waste and is permitted to operate through 2051 (CalRecycle 2021). In June 2021, the landfill averaged 10,861 tons per day (CalRecycle 2021). Therefore, the El Sobrante Landfill has an average capacity for 5,193 additional tons of solid waste each day.

The CalEEMod solid waste generation rate for general light industrial land use is 1.24 tons per year per 1,000 square feet. The 98,940 SF industrial warehouse buildings would generate approximately 0.34 tons of solid waste per day, or 2.36 tons of solid waste per week (based on a seven-day work week).

Recycling requirements require diversion of 75 percent of solid waste away from landfills, the proposed Project would result in 0.085 tons of solid waste per day (0.6 tons per week), which is within the existing available permitted capacity of the El Sobrante Sanitary Landfill. Therefore, the existing landfill has sufficient capacity to accommodate the Project's solid waste disposal need, and impacts would be less than significant.

**b) Comply with federal, state, and local management and reduction statutes and regulations related to solid wastes including the CIWMP (County Integrated Waste Management Plan)?**

**No Impact.** The proposed Project would comply with all regulations related to solid waste. All construction would be required to divert 65 percent of construction waste and operations of development would be required to divert 75 percent of solid waste pursuant to state regulations. Implementation of the proposed Project would be required to be consistent with all mandatory federal, state and County regulations related to solid waste. All projects in the County undergo development review prior to permit approval, which includes an analysis of project compliance with these regulations as well as the County Integrated Waste Management Plan. Therefore, impacts related to compliance with solid waste regulations would not occur.

Plans, Programs, or Policies/Conditions of Approval:

**PPP UT-2: AB 341:** This state law requires diversion of 75 percent of operational solid waste from landfills.

Mitigation: No mitigation is required.

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Monitoring: No monitoring is required.

**4. Utilities**

Would the project impact the following facilities requiring or resulting in the construction of new facilities or the expansion of existing facilities, whereby the construction or relocation would cause significant environmental effects?

a) Electricity?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Natural gas?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Communications systems?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Street lighting?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Maintenance of public facilities, including roads?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Other governmental services?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source(s): Project Application Materials, Utility Companies

**a-f) No Impact.** Because the Project site is vacant and undeveloped, it currently generates no demand for utilities, implementation of the proposed project would result in an incremental increase in demand for electricity, natural gas, communication systems, street lighting, maintenance of public facilities, and potentially other governmental services. The proposed Project would connect into the utility grid that is adjacent to the site. The Project applicant would construct a curb, gutter, and sidewalk on the Project's Seaton Avenue frontage and would install streetlights surrounding the Project site. Impacts related to the construction of these facilities is analyzed throughout this document. The electrical, gas, and telecommunication lines all already exist surrounding the site. The Project would be required to comply with the conditions of the service provider terms and connection specifications prior to service connections. Therefore, all utility infrastructures would exist, and the Project would not result in the construction of new utility facilities that could cause significant environmental effects. Therefore, no impacts would occur

Plans, Programs, or Policies/Conditions of Approval: None.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

**WILDFIRE** If located in or near a State Responsibility Area ("SRA"), lands classified as very high fire hazard severity zone, or other hazardous fire areas that may be designated by the Fire Chief, would the project:

<b>5. Wildfire Impacts</b>				
a. Substantially impair an adopted emergency response plan or emergency evacuation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Due to slope, prevailing winds, and other factors, exacerbate wildfire risks, and thereby expose project occupants to, pollutant concentrations from a wildfire or the uncontrolled spread of a wildfire?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c. Require the installation or maintenance of associated infrastructure (such as roads, fuel breaks, emergency water	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>



	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
sources, power lines or other utilities) that may exacerbate fire risk or that may result in temporary or ongoing impacts to the environment?				
d. Expose people or structures to significant risks, including downslope or downstream flooding or landslides, as a result of runoff, post-fire slope instability, or drainage changes?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e. Expose people or structures either directly or indirectly, to a significant risk of loss, injury, or death involving wildland fires?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Source(s):** Riverside County General Plan Figures S-11 “Wildfire Susceptibility” and S-8 “, GIS database, Project Application Materials, CAL Fire, California Fire Hazard Severity Zone Map Update Project, Accessed: <http://egis.fire.ca.gov/FHSZ>

**a) Substantially impair an adopted emergency response plan or emergency evacuation plan?**

**No Impact.** The California Fire Hazard Severity Zone Mapping, the County of Riverside GIS database, and the County General Plan Figures show that the Project site and adjacent areas are not within a High Fire Severity Zone. As described previously in the Hazards and Hazardous Materials analysis section, the County of Riverside has implemented a Multi-Jurisdictional Local Hazard Mitigation Plan that identifies risks by natural and human-made disasters and ways to minimize the damage from those disasters.

**Construction**

The proposed construction activities, including equipment and supply staging and storage, would occur within the Project site and would not restrict access of emergency vehicles to the project site or adjacent areas. During construction, Seaton Avenue and Beck Street would remain open to ensure adequate emergency access to the Project area and vicinity, and no impacts related to interference with an adopted emergency response or evacuation plan during construction activities would occur.

**Operation**

The Project consists of two industrial warehousing buildings that would be permitted and approved in compliance with the California Fire Code and the Riverside County Ordinance No. 787, Fire Code, which provides requirements related to emergency access. Compliance with these requirements would be verified by the County prior to approving building permits for the Project. As per Ordinance No. 787, included as PPP WF-1, the site does not have a fire hazard classification of being in a fire hazard zone or fire responsibility area.

Direct access to the Project site would be provided from Seaton Avenue, which is adjacent to the Project site. As a result, the proposed Project would not impair an adopted emergency response plan or emergency evacuation plan, and no impacts would occur.

**b) Due to slope, prevailing winds, and other factors, exacerbate wildfire risks, and thereby expose project occupants to, pollutant concentrations from a wildfire or the uncontrolled spread of a wildfire?**

**No Impact.** The Project site is relatively flat and does not contain any hills or steep slopes and is identified by the General Plan Safety Element Figure S-8 as having a moderate wind susceptibility. In

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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addition, the Project would be required to comply with California Fire Code Chapter 47 and the Riverside County Ordinance No. 787, included as PPP WF-1, which provides requirements to reduce the potential of fires that include vegetation management, construction materials and methods, installation of automatic sprinkler systems, and fire flows (the quantity of water available for fire-protection purposes). Compliance with these requirements would be verified by the County prior to approving building permits for the Project. In addition, the proposed Project structure would consist mostly of concrete, which is a non-flammable material. Overall, the Project would not exacerbate wildfire risks, and no impacts would occur.

**c) Require the installation or maintenance of associated infrastructure (such as roads, fuel breaks, emergency water sources, power lines or other utilities) that may exacerbate fire risk or that may result in temporary or ongoing impacts to the environment?**

**No Impact.** The proposed Project is a concrete building, which would be nonflammable and would not exacerbate the fire risk to the environment. The Project does not include installation or maintenance of infrastructure related to roads, fuel breaks, emergency water sources, or power lines that could exacerbate wildfire risk. In addition, the Project would be required to meet the specific standards and regulations outlined by the California Fire Code Chapter 47 and the Riverside County Ordinance No. 787, included as PPP WF-1, which would be verified during the County’s permitting process. Therefore, no impacts would occur.

**d) Expose people or structures to significant risks, including downslope or downstream flooding or landslides, as a result of runoff, post-fire slope instability, or drainage changes?**

**No Impact.** The Project site is not within a High Fire Hazard Severity Zone and there is no indication of landslides, slumps, rock fall hazard, debris flow or slope instability surrounding the Project site. The Project site and surrounding area are flat with no steep slopes. As the Project site and vicinity are not within a wildfire hazard zone, wildfire hazards are not anticipated to occur. The Project would not expose people or structures to downslope or downstream flooding or landslides, as a result of runoff, post-fire slope instability, or drainage changes. Therefore, no impacts would occur.

**e) Expose people or structures either directly or indirectly, to a significant risk of loss, injury, or death involving wildland fires?**

**No Impact.** As described previously, the Project site is not located within a High Fire Hazard Severity Zone, and the Project would be required to comply with California Fire Code and the Riverside County Ordinance No. 787, Fire Code, included as PPP WF-1, which provides requirements to reduce the potential of fires that include vegetation management, construction materials and methods, installation of automatic sprinkler systems, and provision of fire flows. Compliance with these requirements would be verified during the permitting process. In addition, the proposed Project structure would consist of concrete, which is a non-flammable material. Overall, the location and design of the proposed Project in addition to compliance with state and County fire regulations, would provide that no impacts related to wildland fire hazards would occur.

Plans, Programs, or Policies/Conditions of Approval:

**PPP WF-1:** The project shall comply with the California Fire Code and the Riverside County Ordinance No. 787, Fire Code.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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**Mitigation:** No mitigation is required.

**Monitoring:** No monitoring is required

**MANDATORY FINDINGS OF SIGNIFICANCE** Does the Project:

- |  |                          |                                     |                          |                          |
|--|--------------------------|-------------------------------------|--------------------------|--------------------------|
| a) Have the potential to substantially degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, substantially reduce the number or restrict the range of a rare or endangered plant or animal, or eliminate important examples of the major periods of California history or prehistory? | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
|--|--------------------------|-------------------------------------|--------------------------|--------------------------|

**Source(s):** Staff Review, Project Application Materials

- a) **Does the Project have the potential to substantially degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, substantially reduce the number or restrict the range of a rare or endangered plant or animal, or eliminate important examples of the major periods of California history or prehistory?**

**Less than Significant with Mitigation Incorporated.** The Biological Resources Report identified that no wildlife species listed as state and/or federal threatened, endangered, or candidate or for special consideration under the Western Riverside County MSHCP have the potential to exist on the Project site. However, the Project is located within a Focused Survey Area for Burrowing Owl. As a result, consistent with the MSHCP requirements, Mitigation Measure BIO-1 has been included to conduct preconstruction surveys and implementation of relocation measures if owls are found during the surveys. With implementation of this mitigation, impacts related to special status species would not occur from implementation of the proposed Project.

Additionally, if vegetation is required to be removed during nesting bird season, Mitigation Measure BIO-2 requires a nesting bird survey to be conducted prior to activities. With the implementation of the mitigation, impacts related to nesting birds would be reduced to a less than significant level.

Also, as described above in Sections 8 and 9, the Project site is vacant and undeveloped and does not contain any historic resources. However, based on the potential for encountering previously undiscovered cultural resources, the Project may result in impacts to unknown cultural resources. Therefore, Mitigation Measure CUL-1 requires a qualified professional archeologist to be present at the pre-grade meeting, archaeological monitoring for all initial ground disturbing activities up to five feet in depth, and for contractors to halt work within 50 feet in the event of uncovering a potential archaeological resource and to have the find evaluated by a qualified archaeologist. Also, County condition of approval 60-Planning-CUL 3 requires a Native American Monitor to be present for all initial ground disturbing activities, and have the authority to temporarily divert, redirect, or halt the ground disturbance activities to allow identification, evaluation, and potential recovery of resources. Condition 60-Planning-CUL 2 (Inadvertent Discoveries) also states that the developer shall have a Native American Monitor and

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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protocols during grading for the treatment of Native American human remains and the repatriation of Native American sacred items and artifacts. With implementation of these mitigation measures and conditions of approval, impacts related to important examples of the major periods of California history or prehistory would be less than significant.

Therefore, with implementation of mitigation and compliance with the MSHCP, the proposed Project would not substantially degrade the quality of the environment, substantially reduce the habitat of fish or wildlife species, cause a fish or wildlife populations to drop below self-sustaining levels, threaten to eliminate a plant or animal community, or reduce the number or restrict the range of a rare or endangered plant or animal, or eliminate important examples of the major periods of California history or prehistory.

b) Have impacts which are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, other current projects and probable future projects)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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**Source(s):** Staff Review, Project Application Materials

**b) Would the Project have impacts which are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, other current projects and probable future projects)?**

**Less than Significant with Mitigation Incorporated.** The Project consists of two industrial warehouse buildings on a site that was planned for such uses within a partially developed area. As described above, all of the potential impacts related to implementation of the Project would be less than significant or reduced to a less than significant level with implementation of mitigation measures that are imposed by the County of Riverside and effectively reduce environmental impacts.

The cumulative effect of the proposed Project taken into consideration with other development projects in the area would be limited, because the Project would develop the site in consistency with the General Plan land use designation, zoning classification, and County code, and would not result in substantial effects to any environmental resource topic, as described though out this document.

As discussed in Section V.6 Air Quality, SCAQMD's CEQA Air Quality Handbook methodology describes that any projects that result in daily emissions that exceed any of these thresholds would have both an individually (project-level) and cumulatively significant air quality impact. If estimated emissions are less than the thresholds, impacts would be considered less than significant. As shown in Table AQ-2, CalEEMod results indicate that construction emissions generated by the proposed Project would not exceed SCAQMD regional thresholds. Operational emissions associated with the proposed Project were modeled using CalEEMod and are presented in Tables AQ-3 and AQ-5. As shown, the proposed Project would result in long-term regional emissions of the criteria pollutants that would be below the SCAQMD's applicable thresholds. Therefore, the Project's operational emissions would not exceed the NAAQS and CAAQS, would not result in a cumulatively considerable net increase of any criteria pollutant impacts, and operational impacts would be less than significant.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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As discussed in Section V.20, Greenhouse Gas Emissions, global climate change occurs as the result of global emissions of GHGs. An individual development Project does not have the potential to result in direct and significant global climate change effects in the absence of cumulative sources of GHGs. The Project's total annual GHG emissions at buildout would not exceed the Riverside County CAP's annual GHG emissions threshold of 3,000 MTCO<sub>2e</sub>. As shown on Table GHG-1, the Project would result in approximately 2,245 MTCO<sub>2e</sub> per year. Therefore, the Project would not result in cumulative impacts related to GHG emissions.

To provide for public facility maintenance needs, Riverside County Ordinance No. 659 sets forth policies, regulations, and fees related to the funding and construction of facilities necessary to address direct and cumulative environmental effects generated by new development. This includes fees for road improvements and traffic signal improvements, which are levied per every acre of new industrial use. In addition, the taxes generated from the proposed uses on the Project site would support regular road maintenance. Thus, the Project would provide funding for future roadway maintenance needs, and impacts would not occur. In addition, the Project meets the County's VMT screening criteria for small projects. Therefore, the proposed Project would have a less than significant cumulative impact related to VMT. Therefore, cumulatively considerable transportation related impacts would be less than significant.

Overall, impacts to environmental resources or issue areas would not be cumulatively considerable; and cumulative impacts would be less than significant.

c) Have environmental effects that will cause substantial adverse effects on human beings, either directly or indirectly?

**Source(s):** Staff Review, Project Application Materials

**c) Would the Project have environmental effects that will cause substantial adverse effects on human beings, either directly or indirectly?**

**Less than Significant Impact with Mitigation Incorporated.** The Project proposes the construction and operation of two industrial warehouse buildings. The Project would not consist of any use or any activities that would result in a substantial negative affect on persons in the vicinity. All resource topics associated with the proposed Project have been analyzed in accordance with CEQA and the State CEQA Guidelines and were found to pose no impacts or less-than-significant impacts with implementation of mitigation measures and existing plans, programs, or policies that are required by the County. Consequently, the proposed Project would not result in environmental effects that would cause substantial adverse effects on human beings directly or indirectly, and impacts would be less than significant with mitigation.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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**VI. PREPARERS AND PERSONS CONTACTED**

**E|P|D Solutions, Inc.**

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 Konnie Dobрева, JD  
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 Erika McMullin

**Vince Mirabella, CalEEMod Emission Summary & Health Risk Assessment**

Vince Mirabella

**Vista Environmental, Noise Impact Analysis**

Greg Tonkavich

**Sladden Engineering, Geotechnical Report**

James W. Minor III

**Goodman & Associates, Inc., Preliminary Water Quality Management Plan**

Douglas L. Goodman

**VII. EARLIER ANALYSES**

Earlier analyses may be used where, pursuant to the tiering, program EIR, or other CEQA process, an effect has been adequately analyzed in an earlier EIR or negative declaration as per California Code of Regulations, Section 15063 (c) (3) (D). In this case, a brief discussion should identify the following:

Earlier Analyses Used, if any: N/A

Location Where Earlier Analyses, if used, are available for review:

Location: County of Riverside Planning Department

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Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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4080 Lemon Street 12<sup>th</sup> Floor  
Riverside, CA 92501

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## 2. Response to Comments on the Public Review MND

This chapter of the Final Mitigated Negative Declaration (MND) contains responses to the comments that the County of Riverside (Lead Agency) received on the Public Review MND (SCH No. 2022030012) (Chapter 1) for the Seaton Avenue and Perry Street Industrial Project during the public review period, which began March 1, 2022 and closed March 21, 2022. This document has been prepared in accordance with California Environmental Quality Act (CEQA) as amended (Public Resources Code Section 21000 et seq.) and the Guidelines for Implementation of the California Environmental Quality Act (State CEQA Guidelines) (Cal. Code Regs., tit. 14, § 15000 et seq.) and represents the independent judgment of the Lead Agency. This document, together with the Public Review MND and the Mitigation Monitoring and Reporting Program comprise the Final MND.

The following public comments were submitted to the County of Riverside during the public review period:

1. Mitchell M. Tsai (representing Southwest Regional Council of Carpenters), Received March 21, 2022 (265 pages)

The public comments and responses to comments are included in the public record and are available to the Lead Agency decision-makers for their review and consideration prior to making their decision whether to approve the proposed Project. Pursuant to State CEQA Guidelines Section 15074(b) *Consideration and Adoption of a Negative Declaration or Mitigated Negative Declaration*, none of the comments provide substantial evidence that the Project will have significant environmental effects which would require preparation of an Environmental Impact Report. Further, none of the information in the letters or responses constitute the type of significant new information that requires recirculation of the Seaton Avenue and Perry Street Industrial Project MND for further public review under State CEQA Guidelines Section 15073.5 *Recirculation of a Negative Declaration Prior to Adoption*. None of this new material indicates that the Project will result in a significant new environmental impact not previously disclosed in the Seaton Avenue and Perry Street Industrial Project MND. Additionally, none of this information indicates that there would be a substantial increase in the severity of a previously identified environmental impact that will not be mitigated, or that there would be any of the other circumstances requiring recirculation described in State CEQA Guidelines Section 15073.5.

Although State CEQA Guidelines Section 15088 does not require a Lead Agency to prepare written responses to comments received, the County of Riverside has elected to prepare the following written responses with the intent of providing a comprehensive and meaningful evaluation of the proposed Project. The number designations in the responses are correlated to the bracketed and identified portions of each comment letter.



**Letter 1: Mitchell M. Tsai (representing Southwest Regional Council of Carpenters), Received March 21, 2022 (265 pages)**

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139 South Hudson Avenue  
Suite 200  
Pasadena, California 91101

**VIA E-MAIL**

March 21, 2022

Manuel Baeza, Project Manager  
County of Riverside Planning Dept  
4800 Lemon Street 12<sup>th</sup> Floor  
Riverside California 92501  
Em: mnaeza.rivco.org

**RE: County of Riverside’s Seaton Avenue and Perry Street Industrial Project (SCH#: 2022030012).**

Dear Manuel Baeza

On behalf of the Southwest Regional Council of Carpenters (“**Southwest Carpenter**” or “**SWRCC**”), my Office is submitting these comments for the County of Riverside (“**County**”) March 23, 2022 Planning Commission Meeting for Seaton Avenue and Perry Street Industrial Project (“**Project**”).

The Southwest Carpenters is a labor union representing 50,000 union carpenters in six states, including California, and has a strong interest in well ordered land use planning and addressing the environmental impacts of development projects.

Individual members of the Southwest Carpenters live, work and recreate in the City and surrounding communities and would be directly affected by the Project’s environmental impacts.

1.1

SWRCC expressly reserves the right to supplement these comments at or prior to hearings on the Project, and at any later hearings and proceedings related to this Project. Cal. Gov. Code § 65009(b); Cal. Pub. Res. Code § 21177(a); *Bakersfield Citizens for Local Control v. Bakersfield* (2004) 124 Cal. App. 4th 1184, 1199-1203; see *Galante Vineyards v. Monterey Water Dist.* (1997) 60 Cal. App. 4th 1109, 1121.

SWRCC incorporates by reference all comments raising issues regarding the EIR submitted prior to certification of the EIR for the Project. *Citizens for Clean Energy v City of Woodland* (2014) 225 Cal. App. 4th 173, 191 (finding that any party who has objected

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March 18, 2022  
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to the Project’s environmental documentation may assert any issue timely raised by other parties).

Moreover, SWRCC requests that the City provide notice for any and all notices referring or related to the Project issued under the California Environmental Quality Act (“CEQA”), Cal Public Resources Code (“PRC”) § 21000 *et seq.*, and the California Planning and Zoning Law (“Planning and Zoning Law”), Cal. Gov’t Code §§ 65000–65010. California Public Resources Code Sections 21092.2, and 21167(f) and Government Code Section 65092 require agencies to mail such notices to any person who has filed a written request for them with the clerk of the agency’s governing body.

1.1  
cont.

The City should require the use of a local skilled and trained workforce to benefit the community’s economic development and environment. The City should require the use of workers who have graduated from a Joint Labor Management apprenticeship training program approved by the State of California, or have at least as many hours of on-the-job experience in the applicable craft which would be required to graduate from such a state approved apprenticeship training program or who are registered apprentices in an apprenticeship training program approved by the State of California.

Community benefits such as local hire and skilled and trained workforce requirements can also be helpful to reduce environmental impacts and improve the positive economic impact of the Project. Local hire provisions requiring that a certain percentage of workers reside within 10 miles or less of the Project Site can reduce the length of vendor trips, reduce greenhouse gas emissions and providing localized economic benefits. Local hire provisions requiring that a certain percentage of workers reside within 10 miles or less of the Project Site can reduce the length of vendor trips, reduce greenhouse gas emissions and providing localized economic benefits. As environmental consultants Matt Hagemann and Paul E. Rosenfeld note:

1.2

[A]ny local hire requirement that results in a decreased worker trip length from the default value has the potential to result in a reduction of construction-related GHG emissions, though the significance of the reduction would vary based on the location and urbanization level of the project site.

March 8, 2021 SWAPE Letter to Mitchell M. Tsai re Local Hire Requirements and Considerations for Greenhouse Gas Modeling.

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Skilled and trained workforce requirements promote the development of skilled trades that yield sustainable economic development. As the California Workforce Development Board and the UC Berkeley Center for Labor Research and Education concluded:

. . . labor should be considered an investment rather than a cost – and investments in growing, diversifying, and upskilling California’s workforce can positively affect returns on climate mitigation efforts. In other words, well trained workers are key to delivering emissions reductions and moving California closer to its climate targets.<sup>1</sup>

Local skilled and trained workforce requirements and policies have significant environmental benefits since they improve an area’s jobs-housing balance, decreasing the amount of and length of job commutes and their associated greenhouse gas emissions. Recently, on May 7, 2021, the South Coast Air Quality Management District found that the “[u]se of a local state-certified apprenticeship program or a skilled and trained workforce with a local hire component” can result in air pollutant reductions.<sup>2</sup>

Cities are increasingly adopting local skilled and trained workforce policies and requirements into general plans and municipal codes. For example, the City of Hayward 2040 General Plan requires the City to “promote local hiring . . . to help achieve a more positive jobs-housing balance, and reduce regional commuting, gas consumption, and greenhouse gas emissions.”<sup>3</sup>

In fact, the City of Hayward has gone as far as to adopt a Skilled Labor Force policy into its Downtown Specific Plan and municipal code, requiring developments in its Downtown area to requiring that the City “[c]ontribute to the stabilization of regional construction markets by spurring applicants of housing and nonresidential

1.2  
cont.

<sup>1</sup> California Workforce Development Board (2020) Putting California on the High Road: A Jobs and Climate Action Plan for 2030 at p. ii, available at <https://laborcenter.berkeley.edu/wp-content/uploads/2020/09/Putting-California-on-the-High-Road.pdf>.

<sup>2</sup> South Coast Air Quality Management District (May 7, 2021) Certify Final Environmental Assessment and Adopt Proposed Rule 2305 – Warehouse Indirect Source Rule – Warehouse Actions and Investments to Reduce Emissions Program, and Proposed Rule 316 – Fees for Rule 2305, Submit Rule 2305 for Inclusion Into the SIP, and Approve Supporting Budget Actions, available at <http://www.aqmd.gov/docs/default-source/Agendas/Governing-Board/2021/2021-May7-027.pdf?sfvrsn=10>.

<sup>3</sup> City of Hayward (2014) Hayward 2040 General Plan Policy Document at p. 3-99, available at [https://www.hayward-ca.gov/sites/default/files/documents/General\\_Plan\\_FINAL.pdf](https://www.hayward-ca.gov/sites/default/files/documents/General_Plan_FINAL.pdf).

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developments to require contractors to utilize apprentices from state-approved, joint labor-management training programs, . . .”<sup>4</sup> In addition, the City of Hayward requires all projects 30,000 square feet or larger to “utilize apprentices from state-approved, joint labor-management training programs.”<sup>5</sup>

Locating jobs closer to residential areas can have significant environmental benefits. As the California Planning Roundtable noted in 2008:

People who live and work in the same jurisdiction would be more likely to take transit, walk, or bicycle to work than residents of less balanced communities and their vehicle trips would be shorter. Benefits would include potential reductions in both vehicle miles traveled and vehicle hours traveled.<sup>6</sup>

In addition, local hire mandates as well as skill training are critical facets of a strategy to reduce vehicle miles traveled. As planning experts Robert Cervero and Michael Duncan noted, simply placing jobs near housing stock is insufficient to achieve VMT reductions since the skill requirements of available local jobs must be matched to those held by local residents.<sup>7</sup> Some municipalities have tied local hire and skilled and trained workforce policies to local development permits to address transportation issues. As Cervero and Duncan note:

In nearly built-out Berkeley, CA, the approach to balancing jobs and housing is to create local jobs rather than to develop new housing.” The city’s First Source program encourages businesses to hire local residents, especially for entry- and intermediate-level jobs, and sponsors vocational training to ensure residents are employment-ready. While the program is voluntary, some 300 businesses have used it to date, placing more than 3,000 city residents in local jobs since it was launched in 1986. When

1.2 cont.

<sup>4</sup> City of Hayward (2019) Hayward Downtown Specific Plan at p. 5-24, available at <https://www.hayward-ca.gov/sites/default/files/Hayward%20Downtown%20Specific%20Plan.pdf>

<sup>5</sup> City of Hayward Municipal Code, Chapter 10, § 28.5.3.020(C).

<sup>6</sup> California Planning Roundtable (2008) Deconstructing Jobs-Housing Balance at p. 6, available at <https://cprroundtable.org/static/media/uploads/publications/cpr-jobs-housing.pdf>.

<sup>7</sup> Cervero, Robert and Duncan, Michael (2006) Which Reduces Vehicle Travel More: Jobs-Housing Balance or Retail-Housing Mixing? Journal of the American Planning Association 72 (4), 475-490, 482, available at <http://reconnectingamerica.org/assets/Uploads/UTCT-825.pdf>.


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needed, these carrots are matched by sticks, since the city is not shy about negotiating corporate participation in First Source as a condition of approval for development permits.

1.2 cont.

The City should consider utilizing skilled and trained workforce policies and requirements to benefit the local area economically and mitigate greenhouse gas, air quality and transportation impacts.

Sincerely,



Mitchell M. Tsai

Attorneys for Southwest Regional  
Council of Carpenters

Attached:

March 8, 2021 SWAPE Letter to Mitchell M. Tsai re Local Hire Requirements and Considerations for Greenhouse Gas Modeling (Exhibit A);

Air Quality and GHG Expert Paul Rosenfeld CV (Exhibit B); and

Air Quality and GHG Expert Matt Hagemann CV (Exhibit C).

**EXHIBIT A**



Technical Consultation, Data Analysis and  
Litigation Support for the Environment

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March 8, 2021

Mitchell M. Tsai  
155 South El Molino, Suite 104  
Pasadena, CA 91101

**Subject: Local Hire Requirements and Considerations for Greenhouse Gas Modeling**

Dear Mr. Tsai,

Soil Water Air Protection Enterprise ("SWAPE") is pleased to provide the following draft technical report explaining the significance of worker trips required for construction of land use development projects with respect to the estimation of greenhouse gas ("GHG") emissions. The report will also discuss the potential for local hire requirements to reduce the length of worker trips, and consequently, reduced or mitigate the potential GHG impacts.

1.3

**Worker Trips and Greenhouse Gas Calculations**

The California Emissions Estimator Model ("CalEEMod") is a "statewide land use emissions computer model designed to provide a uniform platform for government agencies, land use planners, and environmental professionals to quantify potential criteria pollutant and greenhouse gas (GHG) emissions associated with both construction and operations from a variety of land use projects."<sup>1</sup> CalEEMod quantifies construction-related emissions associated with land use projects resulting from off-road construction equipment; on-road mobile equipment associated with workers, vendors, and hauling; fugitive dust associated with grading, demolition, truck loading, and on-road vehicles traveling along paved and unpaved roads; and architectural coating activities; and paving.<sup>2</sup>

1.4

The number, length, and vehicle class of worker trips are utilized by CalEEMod to calculate emissions associated with the on-road vehicle trips required to transport workers to and from the Project site during construction.<sup>3</sup>

<sup>1</sup> "California Emissions Estimator Model." CAPCOA, 2017, available at: <http://www.aqmd.gov/caleemod/home>.

<sup>2</sup> "California Emissions Estimator Model." CAPCOA, 2017, available at: <http://www.aqmd.gov/caleemod/home>.

<sup>3</sup> "CalEEMod User's Guide." CAPCOA, November 2017, available at: [http://www.aqmd.gov/docs/default-source/caleemod/01\\_user-39-s-guide2016-3-2\\_15november2017.pdf?sfvrsn=4](http://www.aqmd.gov/docs/default-source/caleemod/01_user-39-s-guide2016-3-2_15november2017.pdf?sfvrsn=4), p. 34.

Specifically, the number and length of vehicle trips is utilized to estimate the vehicle miles travelled (“VMT”) associated with construction. Then, utilizing vehicle-class specific EMFAC 2014 emission factors, CalEEMod calculates the vehicle exhaust, evaporative, and dust emissions resulting from construction-related VMT, including personal vehicles for worker commuting.<sup>4</sup>

Specifically, in order to calculate VMT, CalEEMod multiplies the average daily trip rate by the average overall trip length (see excerpt below):

$$VMT_d = \sum (Average\ Daily\ Trip\ Rate_i * Average\ Overall\ Trip\ Length_i)_n$$

Where:

n = Number of land uses being modeled.<sup>5</sup>

Furthermore, to calculate the on-road emissions associated with worker trips, CalEEMod utilizes the following equation (see excerpt below):

$$Emissions_{pollutant} = VMT * EF_{running,pollutant}$$

Where:

Emissions<sub>pollutant</sub> = emissions from vehicle running for each pollutant

VMT = vehicle miles traveled

EF<sub>running,pollutant</sub> = emission factor for running emissions.<sup>6</sup>

Thus, there is a direct relationship between trip length and VMT, as well as a direct relationship between VMT and vehicle running emissions. In other words, when the trip length is increased, the VMT and vehicle running emissions increase as a result. Thus, vehicle running emissions can be reduced by decreasing the average overall trip length, by way of a local hire requirement or otherwise.

#### Default Worker Trip Parameters and Potential Local Hire Requirements

As previously discussed, the number, length, and vehicle class of worker trips are utilized by CalEEMod to calculate emissions associated with the on-road vehicle trips required to transport workers to and from the Project site during construction.<sup>7</sup> In order to understand how local hire requirements and associated worker trip length reductions impact GHG emissions calculations, it is important to consider the CalEEMod default worker trip parameters. CalEEMod provides recommended default values based on site-specific information, such as land use type, meteorological data, total lot acreage, project type and typical equipment associated with project type. If more specific project information is known, the user can change the default values and input project-specific values, but the California Environmental Quality Act (“CEQA”) requires that such changes be justified by substantial evidence.<sup>8</sup> The default number of construction-related worker trips is calculated by multiplying the

<sup>4</sup> “Appendix A Calculation Details for CalEEMod.” CAPCOA, October 2017, available at: [http://www.aqmd.gov/docs/default-source/caleemod/02\\_appendix-a2016-3-2.pdf?sfvrsn=6](http://www.aqmd.gov/docs/default-source/caleemod/02_appendix-a2016-3-2.pdf?sfvrsn=6), p. 14-15.

<sup>5</sup> “Appendix A Calculation Details for CalEEMod.” CAPCOA, October 2017, available at: [http://www.aqmd.gov/docs/default-source/caleemod/02\\_appendix-a2016-3-2.pdf?sfvrsn=6](http://www.aqmd.gov/docs/default-source/caleemod/02_appendix-a2016-3-2.pdf?sfvrsn=6), p. 23.

<sup>6</sup> “Appendix A Calculation Details for CalEEMod.” CAPCOA, October 2017, available at: [http://www.aqmd.gov/docs/default-source/caleemod/02\\_appendix-a2016-3-2.pdf?sfvrsn=6](http://www.aqmd.gov/docs/default-source/caleemod/02_appendix-a2016-3-2.pdf?sfvrsn=6), p. 15.

<sup>7</sup> “CalEEMod User’s Guide.” CAPCOA, November 2017, available at: [http://www.aqmd.gov/docs/default-source/caleemod/01\\_user-39-s-guide2016-3-2\\_15november2017.pdf?sfvrsn=4](http://www.aqmd.gov/docs/default-source/caleemod/01_user-39-s-guide2016-3-2_15november2017.pdf?sfvrsn=4), p. 34.

<sup>8</sup> CalEEMod User Guide, available at: <http://www.caleemod.com/>, p. 1, 9.

1.4  
cont.

1.5



number of pieces of equipment for all phases by 1.25, with the exception of worker trips required for the building construction and architectural coating phases.<sup>9</sup> Furthermore, the worker trip vehicle class is a 50/25/25 percent mix of light duty autos, light duty truck class 1 and light duty truck class 2, respectively.<sup>10</sup> Finally, the default worker trip length is consistent with the length of the operational home-to-work vehicle trips.<sup>11</sup> The operational home-to-work vehicle trip lengths are:

“[B]ased on the location and urbanization selected on the project characteristic screen. These values were supplied by the air districts or use a default average for the state. Each district (or county) also assigns trip lengths for urban and rural settings” (emphasis added).<sup>12</sup>

Thus, the default worker trip length is based on the location and urbanization level selected by the User when modeling emissions. The below table shows the CalEEMod default rural and urban worker trip lengths by air basin (see excerpt below and Attachment A).<sup>13</sup>

Worker Trip Length by Air Basin		
Air Basin	Rural (miles)	Urban (miles)
Great Basin Valleys	16.8	10.8
Lake County	16.8	10.8
Lake Tahoe	16.8	10.8
Mojave Desert	16.8	10.8
Mountain Counties	16.8	10.8
North Central Coast	17.1	12.3
North Coast	16.8	10.8
Northeast Plateau	16.8	10.8
Sacramento Valley	16.8	10.8
Salton Sea	14.6	11
San Diego	16.8	10.8
San Francisco Bay Area	10.8	10.8
San Joaquin Valley	16.8	10.8
South Central Coast	16.8	10.8
South Coast	19.8	14.7
<b>Average</b>	<b>16.47</b>	<b>11.17</b>
<b>Minimum</b>	<b>10.80</b>	<b>10.80</b>
<b>Maximum</b>	<b>19.80</b>	<b>14.70</b>
<b>Range</b>	<b>9.00</b>	<b>3.90</b>

1.5  
cont.

<sup>9</sup> “CalEEMod User’s Guide.” CAPCOA, November 2017, available at: [http://www.aqmd.gov/docs/default-source/calceemod/01\\_user-39-s-guide2016-3-2\\_15november2017.pdf?sfvrsn=4](http://www.aqmd.gov/docs/default-source/calceemod/01_user-39-s-guide2016-3-2_15november2017.pdf?sfvrsn=4), p. 34.

<sup>10</sup> “Appendix A Calculation Details for CalEEMod.” CAPCOA, October 2017, available at:

[http://www.aqmd.gov/docs/default-source/calceemod/02\\_appendix-a2016-3-2.pdf?sfvrsn=6](http://www.aqmd.gov/docs/default-source/calceemod/02_appendix-a2016-3-2.pdf?sfvrsn=6), p. 15.

<sup>11</sup> “Appendix A Calculation Details for CalEEMod.” CAPCOA, October 2017, available at:

[http://www.aqmd.gov/docs/default-source/calceemod/02\\_appendix-a2016-3-2.pdf?sfvrsn=6](http://www.aqmd.gov/docs/default-source/calceemod/02_appendix-a2016-3-2.pdf?sfvrsn=6), p. 14.

<sup>12</sup> “Appendix A Calculation Details for CalEEMod.” CAPCOA, October 2017, available at:

[http://www.aqmd.gov/docs/default-source/calceemod/02\\_appendix-a2016-3-2.pdf?sfvrsn=6](http://www.aqmd.gov/docs/default-source/calceemod/02_appendix-a2016-3-2.pdf?sfvrsn=6), p. 21.

<sup>13</sup> “Appendix D Default Data Tables.” CAPCOA, October 2017, available at: [http://www.aqmd.gov/docs/default-source/calceemod/05\\_appendix-d2016-3-2.pdf?sfvrsn=4](http://www.aqmd.gov/docs/default-source/calceemod/05_appendix-d2016-3-2.pdf?sfvrsn=4), p. D-84 – D-86.

As demonstrated above, default rural worker trip lengths for air basins in California vary from 10.8- to 19.8- miles, with an average of 16.47 miles. Furthermore, default urban worker trip lengths vary from 10.8- to 14.7- miles, with an average of 11.17 miles. Thus, while default worker trip lengths vary by location, default urban worker trip lengths tend to be shorter in length. Based on these trends evident in the CalEEMod default worker trip lengths, we can reasonably assume that the efficacy of a local hire requirement is especially dependent upon the urbanization of the project site, as well as the project location.

1.5  
cont.

**Practical Application of a Local Hire Requirement and Associated Impact**

To provide an example of the potential impact of a local hire provision on construction-related GHG emissions, we estimated the significance of a local hire provision for the Village South Specific Plan ("Project") located in the City of Claremont ("City"). The Project proposed to construct 1,000 residential units, 100,000-SF of retail space, 45,000-SF of office space, as well as a 50-room hotel, on the 24-acre site. The Project location is classified as Urban and lies within the Los Angeles-South Coast County. As a result, the Project has a default worker trip length of 14.7 miles.<sup>14</sup> In an effort to evaluate the potential for a local hire provision to reduce the Project's construction-related GHG emissions, we prepared an updated model, reducing all worker trip lengths to 10 miles (see Attachment B). Our analysis estimates that if a local hire provision with a 10-mile radius were to be implemented, the GHG emissions associated with Project construction would decrease by approximately 17% (see table below and Attachment C).

Local Hire Provision Net Change	
<b>Without Local Hire Provision</b>	
Total Construction GHG Emissions (MT CO <sub>2</sub> e)	3,623
Amortized Construction GHG Emissions (MT CO <sub>2</sub> e/year)	120.77
<b>With Local Hire Provision</b>	
Total Construction GHG Emissions (MT CO <sub>2</sub> e)	3,024
Amortized Construction GHG Emissions (MT CO <sub>2</sub> e/year)	100.80
<b>% Decrease in Construction-related GHG Emissions</b>	<b>17%</b>

1.6

As demonstrated above, by implementing a local hire provision requiring 10 mile worker trip lengths, the Project could reduce potential GHG emissions associated with construction worker trips. More broadly, any local hire requirement that results in a decreased worker trip length from the default value has the potential to result in a reduction of construction-related GHG emissions, though the significance of the reduction would vary based on the location and urbanization level of the project site.

This serves as an example of the potential impacts of local hire requirements on estimated project-level GHG emissions, though it does not indicate that local hire requirements would result in reduced construction-related GHG emission for all projects. As previously described, the significance of a local hire requirement depends on the worker trip length enforced and the default worker trip length for the project's urbanization level and location.

<sup>14</sup> "Appendix D Default Data Tables." CAPCOA, October 2017, available at: [http://www.aqmd.gov/docs/default-source/cal-eemod/05\\_appendix-d2016-3-2.pdf?sfvrsn=4](http://www.aqmd.gov/docs/default-source/cal-eemod/05_appendix-d2016-3-2.pdf?sfvrsn=4), p. D-85.

**Disclaimer**

SWAPE has received limited discovery. Additional information may become available in the future; thus, we retain the right to revise or amend this report when additional information becomes available. Our professional services have been performed using that degree of care and skill ordinarily exercised, under similar circumstances, by reputable environmental consultants practicing in this or similar localities at the time of service. No other warranty, expressed or implied, is made as to the scope of work, work methodologies and protocols, site conditions, analytical testing results, and findings presented. This report reflects efforts which were limited to information that was reasonably accessible at the time of the work, and may contain informational gaps, inconsistencies, or otherwise be incomplete due to the unavailability or uncertainty of information obtained or provided by third parties.

1.7

Sincerely,

  
Matt Hagemann, P.G., C.Hg.

  
Paul E. Rosenfeld, Ph.D.

## Attachment A

<b>Location Type</b>	<b>Location Name</b>	<b>Rural H-W (miles)</b>	<b>Urban H-W (miles)</b>
Air Basin	Great Basin	16.8	10.8
Air Basin	Lake County	16.8	10.8
Air Basin	Lake Tahoe	16.8	10.8
Air Basin	Mojave Desert	16.8	10.8
Air Basin	Mountain	16.8	10.8
Air Basin	North Central	17.1	12.3
Air Basin	North Coast	16.8	10.8
Air Basin	Northeast	16.8	10.8
Air Basin	Sacramento	16.8	10.8
Air Basin	Salton Sea	14.6	11
Air Basin	San Diego	16.8	10.8
Air Basin	San Francisco	10.8	10.8
Air Basin	San Joaquin	16.8	10.8
Air Basin	South Central	16.8	10.8
Air Basin	South Coast	19.8	14.7
Air District	Amador County	16.8	10.8
Air District	Antelope Valley	16.8	10.8
Air District	Bay Area AQMD	10.8	10.8
Air District	Butte County	12.54	12.54
Air District	Calaveras	16.8	10.8
Air District	Colusa County	16.8	10.8
Air District	El Dorado	16.8	10.8
Air District	Feather River	16.8	10.8
Air District	Glenn County	16.8	10.8
Air District	Great Basin	16.8	10.8
Air District	Imperial County	10.2	7.3
Air District	Kern County	16.8	10.8
Air District	Lake County	16.8	10.8
Air District	Lassen County	16.8	10.8
Air District	Mariposa	16.8	10.8
Air District	Mendocino	16.8	10.8
Air District	Modoc County	16.8	10.8
Air District	Mojave Desert	16.8	10.8
Air District	Monterey Bay	16.8	10.8
Air District	North Coast	16.8	10.8
Air District	Northern Sierra	16.8	10.8
Air District	Northern	16.8	10.8
Air District	Placer County	16.8	10.8
Air District	Sacramento	15	10

Air District	San Diego	16.8	10.8
Air District	San Joaquin	16.8	10.8
Air District	San Luis Obispo	13	13
Air District	Santa Barbara	8.3	8.3
Air District	Shasta County	16.8	10.8
Air District	Siskiyou County	16.8	10.8
Air District	South Coast	19.8	14.7
Air District	Tehama County	16.8	10.8
Air District	Tuolumne	16.8	10.8
Air District	Ventura County	16.8	10.8
Air District	Yolo/Solano	15	10
County	Alameda	10.8	10.8
County	Alpine	16.8	10.8
County	Amador	16.8	10.8
County	Butte	12.54	12.54
County	Calaveras	16.8	10.8
County	Colusa	16.8	10.8
County	Contra Costa	10.8	10.8
County	Del Norte	16.8	10.8
County	El Dorado-Lake	16.8	10.8
County	El Dorado-	16.8	10.8
County	Fresno	16.8	10.8
County	Glenn	16.8	10.8
County	Humboldt	16.8	10.8
County	Imperial	10.2	7.3
County	Inyo	16.8	10.8
County	Kern-Mojave	16.8	10.8
County	Kern-San	16.8	10.8
County	Kings	16.8	10.8
County	Lake	16.8	10.8
County	Lassen	16.8	10.8
County	Los Angeles-	16.8	10.8
County	Los Angeles-	19.8	14.7
County	Madera	16.8	10.8
County	Marin	10.8	10.8
County	Mariposa	16.8	10.8
County	Mendocino-	16.8	10.8
County	Mendocino-	16.8	10.8
County	Mendocino-	16.8	10.8
County	Mendocino-	16.8	10.8
County	Merced	16.8	10.8
County	Modoc	16.8	10.8
County	Mono	16.8	10.8
County	Monterey	16.8	10.8
County	Napa	10.8	10.8

County	Nevada	16.8	10.8
County	Orange	19.8	14.7
County	Placer-Lake	16.8	10.8
County	Placer-Mountain	16.8	10.8
County	Placer-	16.8	10.8
County	Plumas	16.8	10.8
County	Riverside-	16.8	10.8
County	Riverside-	19.8	14.7
County	Riverside-Salton	14.6	11
County	Riverside-South	19.8	14.7
County	Sacramento	15	10
County	San Benito	16.8	10.8
County	San Bernardino-	16.8	10.8
County	San Bernardino-	19.8	14.7
County	San Diego	16.8	10.8
County	San Francisco	10.8	10.8
County	San Joaquin	16.8	10.8
County	San Luis Obispo	13	13
County	San Mateo	10.8	10.8
County	Santa Barbara-	8.3	8.3
County	Santa Barbara-	8.3	8.3
County	Santa Clara	10.8	10.8
County	Santa Cruz	16.8	10.8
County	Shasta	16.8	10.8
County	Sierra	16.8	10.8
County	Siskiyou	16.8	10.8
County	Solano-	15	10
County	Solano-San	16.8	10.8
County	Sonoma-North	16.8	10.8
County	Sonoma-San	10.8	10.8
County	Stanislaus	16.8	10.8
County	Sutter	16.8	10.8
County	Tehama	16.8	10.8
County	Trinity	16.8	10.8
County	Tulare	16.8	10.8
County	Tuolumne	16.8	10.8
County	Ventura	16.8	10.8
County	Yolo	15	10
County	Yuba	16.8	10.8
Statewide	Statewide	16.8	10.8

<b>Worker Trip Length by Air Basin</b>		
<b>Air Basin</b>	<b>Rural (miles)</b>	<b>Urban (miles)</b>
Great Basin Valleys	16.8	10.8
Lake County	16.8	10.8
Lake Tahoe	16.8	10.8
Mojave Desert	16.8	10.8
Mountain Counties	16.8	10.8
North Central Coast	17.1	12.3
North Coast	16.8	10.8
Northeast Plateau	16.8	10.8
Sacramento Valley	16.8	10.8
Salton Sea	14.6	11
San Diego	16.8	10.8
San Francisco Bay Area	10.8	10.8
San Joaquin Valley	16.8	10.8
South Central Coast	16.8	10.8
South Coast	19.8	14.7
<b>Average</b>	<b>16.47</b>	<b>11.17</b>
<b>Minimum</b>	<b>10.80</b>	<b>10.80</b>
<b>Maximum</b>	<b>19.80</b>	<b>14.70</b>
<b>Range</b>	<b>9.00</b>	<b>3.90</b>

Attachment B

CalEEMod Version: CalEEMod 2016.3.2

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Village South Specific Plan (Proposed) - Los Angeles-South Coast County, Annual

**Village South Specific Plan (Proposed)  
Los Angeles-South Coast County, Annual**

**1.0 Project Characteristics**

**1.1 Land Usage**

Land Uses	Size	Metric	Lot Acreage	Floor Surface Area	Population
General Office Building	45.00	1000sqft	1.03	45,000.00	0
High Turnover (Sit Down Restaurant)	38.00	1000sqft	0.83	38,000.00	0
Hotel	50.00	Room	1.67	72,800.00	0
Quality Restaurant	8.00	1000sqft	0.18	8,000.00	0
Apartments Low Rise	25.00	Dwelling Unit	1.58	25,000.00	72
Apartments Mid Rise	975.00	Dwelling Unit	25.36	975,000.00	2789
Regional Shopping Center	56.00	1000sqft	1.29	56,000.00	0

**1.2 Other Project Characteristics**

Urbanization	Urban	Wind Speed (m/s)	2.2	Precipitation Freq (Days)	33
Climate Zone	9			Operational Year	2028
Utility Company	Southern California Edison				
CO2 Intensity (lb/MWh)	702.44	CH4 Intensity (lb/MWh)	0.029	N2O Intensity (lb/MWh)	0.006

**1.3 User Entered Comments & Non-Default Data**



Project Characteristics - Consistent with the DEIR's model

Land Use - See SWAPE comment regarding residential and retail and uses.

Construction Phase - See SWAPE comment regarding individual construction phase lengths

Demolition - Consistent with the DEIR's model. See SWAPE comment regarding demolition

Vehicle Trips - Saturday trips consistent with the DEIR's model. See SWAPE comment regarding weekday and Sunday trips

Woodstoves - Woodstoves and wood-burning fireplaces consistent with the DEIR's model. See SWAPE comment regarding gas fireplaces

Energy Use -

Construction Off-road Equipment Mitigation - See SWAPE comment on construction-related mitigation

Area Mitigation - See SWAPE comment regarding operational mitigation measures

Water Mitigation - See SWAPE comment regarding operational mitigation measures

Table Name	Column Name	Default Value	New Value
tblFireplaces	Fireplace/WoodMass	1,018.20	0.00
tblFireplaces	Fireplace/WoodMass	1,018.20	0.00
tblFireplaces	NumberWood	1.25	0.00
tblFireplaces	NumberWood	49.75	0.00
tblVehicleTrips	ST_TR	7.16	6.17
tblVehicleTrips	ST_TR	6.39	3.67
tblVehicleTrips	ST_TR	2.48	1.39
tblVehicleTrips	ST_TR	158.37	79.82
tblVehicleTrips	ST_TR	8.19	3.75
tblVehicleTrips	ST_TR	94.36	63.99
tblVehicleTrips	ST_TR	49.67	10.74
tblVehicleTrips	SU_TR	6.07	5.16
tblVehicleTrips	SU_TR	0.88	4.18
tblVehicleTrips	SU_TR	1.05	0.89
tblVehicleTrips	SU_TR	131.84	78.27

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lb/VehicleTrips	SU_TR	5.95	3.20
lb/VehicleTrips	SU_TR	72.16	57.85
lb/VehicleTrips	SU_TR	25.24	6.39
lb/VehicleTrips	WD_TR	6.59	5.83
lb/VehicleTrips	WD_TR	6.65	4.13
lb/VehicleTrips	WD_TR	11.03	5.41
lb/VehicleTrips	WD_TR	127.15	65.80
lb/VehicleTrips	WD_TR	8.17	3.84
lb/VehicleTrips	WD_TR	89.65	62.64
lb/VehicleTrips	WD_TR	42.70	9.43
lb/Woodstoves	NumberCatalytic	1.25	0.00
lb/Woodstoves	NumberCatalytic	48.75	0.00
lb/Woodstoves	NumberNoncatalytic	1.25	0.00
lb/Woodstoves	NumberNoncatalytic	48.75	0.00
lb/Woodstoves	WoodstoveDayYear	25.00	0.00
lb/Woodstoves	WoodstoveDayYear	25.00	0.00
lb/Woodstoves	WoodstoveWoodMass	999.50	0.00
lb/Woodstoves	WoodstoveWoodMass	999.50	0.00

2.0 Emissions Summary

2.1 Overall Construction

Unmitigated Construction

Year	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Sox CO2	NOx CO2	Total CO2	CH4	N2O	CO2e
Year	ton/yr										MT/yr					
2021	0.1713	1.8262	1.1882	2.4000e-003	0.4188	0.6817	0.4988	0.1786	0.0764	0.2549	0.0000	213.1868	213.1868	0.0001	0.0000	214.6883
2022	0.6804	4.1142	6.1825	0.0181	1.3068	0.1301	1.4258	0.3460	0.1118	0.4588	0.0000	1,721,882.6	1,721,882.6	0.1284	0.0000	1,724,917.7
2023	0.6148	3.3049	5.6747	0.0178	1.1963	0.0888	1.2858	0.3203	0.0936	0.4136	0.0000	1,827,529.5	1,827,529.5	0.1186	0.0000	1,830,492.5
2024	4.1819	0.1336	3.2810	6.9000e-004	0.0000	6.4700e-003	0.0360	8.6000e-003	0.0147	0.0000	52.9078	52.9078	6.0000e-003	0.0000	0.0000	63.1082
Maximum	4.1819	4.1142	6.1825	0.0181	1.3068	0.1301	1.4258	0.3460	0.1128	0.4588	0.0000	1,721,882.6	1,721,882.6	0.1284	0.0000	1,724,917.7

Village South Specific Plan (Proposed) - Los Angeles-South Coast County, Annual

2.1 Overall Construction

Mitigated Construction

Year	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
	tons/yr										MT/yr					
2021	0.1713	1.8242	1.1082	2.4080e-003	0.4189	0.0917	0.4986	0.1796	0.0754	0.2049	0.0080	213.1967	213.1967	0.0801	0.6000	214.6991
2022	0.6904	4.1142	0.1825	0.0189	1.3058	0.1201	1.4259	0.3460	0.1129	0.4589	0.0080	1,721,882.3	1,721,882.3	0.1294	0.6000	1,724,918.3
2023	0.6148	3.3848	5.6747	0.0178	1.1963	0.0995	1.2929	0.3203	0.0935	0.4138	0.0080	1,827,529.1	1,827,529.1	0.1185	0.6000	1,830,482.1
2024	4.1819	0.1306	0.2810	5.9030e-004	0.0326	0.4703e-003	0.0390	0.8300e-003	0.0400e-003	0.0147	0.0080	62,907.7	62,907.7	0.0200e-003	0.9300	63.1082
Maximum	4.1819	4.1142	0.1825	0.0189	1.3058	0.1201	1.4259	0.3460	0.1129	0.4589	0.0080	1,721,882.3	1,721,882.3	0.1294	0.6000	1,726,918.3

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Percent Reduction	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00

Quarter	Start Date	End Date	Maximum Unmitigated ROG + NOx (tons/quarter)	Maximum Mitigated ROG + NOx (tons/quarter)
1	9-1-2021	11-30-2021	1.4103	1.4103
2	12-1-2021	2-29-2022	1.3813	1.3813
3	3-1-2022	5-31-2022	1.1985	1.1985
4	6-1-2022	8-31-2022	1.1921	1.1921
5	9-1-2022	11-30-2022	1.1918	1.1918
6	12-1-2022	2-28-2023	1.0774	1.0774
7	3-1-2023	5-31-2023	1.0320	1.0320
8	6-1-2023	8-31-2023	1.0280	1.0280

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0	0-1-2023	11-30-2023	1.0266	1.0266
90	12-1-2023	2-29-2024	2.8857	2.8857
11	3-1-2024	6-31-2024	1.6207	1.6207
		Highest	2.8857	2.8857

2.2 Overall Operational

Unmitigated Operational

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio CO2	NBio CO2	Total CO2	CH4	N2O	CO2e
	ton/yr										MTCO2e/yr					
Area	5.1437	0.2950	19.3634	1.0700e-003		0.0214	0.0714		0.0714	0.0714	0.0000	220.9670	220.9670	0.0201	3.7400e-003	222.5835
Energy	0.1398	1.2312	0.7770	7.8500e-003		0.0966	0.0966		0.0966	0.0966	0.0000	3.896e-073	3.896e-073	0.1303	0.0448	3.893283
Mobile	1.5857	7.8852	19.1834	0.0821	7.7879	0.6580	7.8556	2.0895	0.0538	2.1434	0.0000	7.820498	7.820498	0.3407	0.6000	7.829018
Waste						0.0000	0.0000		0.0000	0.0000	207.8079	0.0000	207.8079	12.2811	2.9200	0.142344
Water						0.0000	0.0000		0.0000	0.0000	28.1832	566.8420	585.0252	3.0183	0.0756	683.7587
<b>Total</b>	<b>6.8682</b>	<b>9.4223</b>	<b>38.3497</b>	<b>0.0814</b>	<b>7.7879</b>	<b>0.2280</b>	<b>8.2240</b>	<b>2.0895</b>	<b>0.2218</b>	<b>2.3114</b>	<b>236.8712</b>	<b>12,294.1807</b>	<b>12,531.1818</b>	<b>15.7894</b>	<b>6.1268</b>	<b>12,663.1751</b>

**2.2 Overall Operational**

**Mitigated Operational**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Ble-CO2	Nble-CO2	Total CO2	CH4	N2O	CO2e
Category	ton/yr										MT/yr					
Area	5.1437	0.2950	19.3804	1.6700e-003		0.0714	0.0714		0.0714	0.0714	0.0080	229.9870	229.9870	0.0201	3.7400e-003	222.2835
Energy	0.1398	1.2312	0.7770	7.6200e-003		0.0988	0.0988		0.0988	0.0988	0.0080	3.895.0732	3.895.0732	0.1303	0.8488	3.813.2833
Mobile	1.5857	7.9352	19.1834	0.2621	7.7879	0.0580	7.8559	2.0855	3.0538	2.1434	0.0080	7.620.4986	7.620.4986	0.3407	0.6000	7.629.0182
Waste						0.0000	0.0000		0.0000	0.0000	207.8078	0.0000	207.8078	12.2811	0.6000	514.9364
Water						0.0000	0.0000		0.0000	0.0000	29.1032	568.8420	598.9452	3.0183	0.6755	683.7547
<b>Total</b>	<b>6.8682</b>	<b>9.5323</b>	<b>39.3467</b>	<b>0.9914</b>	<b>7.7879</b>	<b>0.2280</b>	<b>8.0160</b>	<b>2.0855</b>	<b>3.2218</b>	<b>2.3114</b>	<b>236.8712</b>	<b>12,284.1887</b>	<b>12,531.1518</b>	<b>15.7994</b>	<b>6.1268</b>	<b>12,663.1751</b>

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Ble-CO2	Nble-CO2	Total CO2	CH4	N2O	CO2e
Percent Reduction	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00

**3.0 Construction Detail**

**Construction Phase**

Village South Specific Plan (Proposed) - Los Angeles South Coast County, Annual

Phase Number	Phase Name	Phase Type	Start Date	End Date	Num Days Week	Num Days	Phase Description
1	Demolition	Demolition	9/1/2021	13/12/2021	5	30	
2	Site Preparation	Site Preparation	10/13/2021	11/6/2021	5	20	
3	Grading	Grading	1/1/2022	1/11/2022	5	45	
4	Building Construction	Building Construction	1/12/2022	12/12/2023	5	500	
5	Paving	Paving	12/13/2023	1/30/2024	5	35	
6	Architectural Coating	Architectural Coating	1/31/2024	3/15/2024	5	35	

Acres of Grading (Site Preparation Phase): 0

Acres of Grading (Grading Phase): 112.6

Acres of Paving: 0

Residential Indoor: 2,025,000; Residential Outdoor: 675,000; Non-Residential Indoor: 326,400; Non-Residential Outdoor: 108,800; Striped Parking Area: 0 (Architectural Coating – sqft)

OffRoad Equipment

Village South Specific Plan (Proposed) - Los Angeles-South Coast County, Annual

Phase Name	Offroad Equipment Type	Amount	Usage Hours	Horse Power	Load Factor
Demolition	Concrete/Industrial Saws	1	8.00	81	0.73
Demolition	Excavators	3	8.00	158	0.38
Demolition	Rubber Tired Dozers	2	8.00	247	0.40
Site Preparation	Rubber Tired Dozers	3	8.00	247	0.40
Site Preparation	Tractors/Loaders/Backhoes	4	8.00	97	0.37
Grading	Excavators	2	8.00	158	0.38
Grading	Graders	1	8.00	187	0.41
Grading	Rubber Tired Dozers	1	8.00	247	0.40
Grading	Scrapers	2	8.00	367	0.48
Grading	Tractors/Loaders/Backhoes	2	8.00	97	0.37
Building Construction	Cranes	1	7.00	231	0.29
Building Construction	Forklifts	3	8.00	89	0.20
Building Construction	Generator Sets	1	8.00	84	0.74
Building Construction	Tractors/Loaders/Backhoes	3	7.00	97	0.37
Building Construction	Welders	1	8.00	40	0.45
Paving	Pavers	2	8.00	130	0.42
Paving	Paving Equipment	2	8.00	132	0.36
Paving	Rollers	2	8.00	80	0.38
Architectural Coating	Air Compressors	1	6.00	78	0.48

**Trips and VMT**



Village South Specific Plan (Proposed) - Los Angeles South Coast County, Annual

Phase Name	Offroad Equipment Count	Worker Trip Number	Vendor Trip Number	Hauling Trip Number	Worker Trip Length	Vendor Trip Length	Hauling Trip Length	Worker Vehicle Class	Vendor Vehicle Class	Hauling Vehicle Class
Demolition		6	15.00	0.00	456.00	14.70	6.90	20.00	LD_Mix	HDT_Mix
Site Preparation		7	18.00	0.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix
Grading		8	20.00	0.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix
Building Construction		5	801.00	143.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix
Paving		6	15.00	0.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix
Architectural Coating		1	180.00	0.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix

3.1 Mitigation Measures Construction

3.2 Demolition - 2021

Unmitigated Construction On-Site

Category	NOG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	SOx CO2	NOx CO2	Total CO2	CH4	H2O	CO2e
	tons/yr										M T/yr					
Fugitive Dust					0.0496	0.0000	0.0496	7.510e-003	0.0000	7.510e-003	0.0000	0.0009	0.0000	0.0009	0.0000	0.0000
Off Road	0.0476	0.4718	0.3235	5.8000e-004		0.0233	0.0233		0.0216	0.0216	0.0000	51.8012	51.8012	0.0144	0.0000	51.8011
<b>Total</b>	<b>0.0476</b>	<b>0.4718</b>	<b>0.3235</b>	<b>5.8000e-004</b>	<b>0.0496</b>	<b>0.0233</b>	<b>0.0233</b>	<b>7.510e-003</b>	<b>0.0216</b>	<b>0.0216</b>	<b>0.0000</b>	<b>51.8012</b>	<b>51.8012</b>	<b>0.0144</b>	<b>0.0000</b>	<b>51.8011</b>

3.2 Demolition - 2021

**Unmitigated Construction Off-Site**

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
	toms/yr										MT/yr					
Hauling	1.8300e-003	0.0634	0.0148	1.8000e-004	3.9600e-003	1.8000e-004	4.1300e-003	1.3850e-003	1.8000e-004	1.2100e-003	0.0000	17.4565	17.4565	1.2150e-003	0.0000	17.4958
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	9.7000e-004	7.5800e-004	8.5100e-003	2.0000e-005	2.4700e-003	2.0000e-005	2.4900e-003	8.5600e-004	2.0000e-005	6.7000e-004	0.0000	2.2251	2.2251	7.0000e-005	0.0000	2.2287
<b>Total</b>	<b>2.8000e-003</b>	<b>0.0641</b>	<b>0.0233</b>	<b>2.8000e-004</b>	<b>6.4100e-003</b>	<b>2.1000e-004</b>	<b>6.6200e-003</b>	<b>1.7300e-003</b>	<b>2.8000e-004</b>	<b>1.8300e-003</b>	<b>0.0000</b>	<b>19.6816</b>	<b>19.6816</b>	<b>1.2850e-003</b>	<b>0.0000</b>	<b>19.7138</b>

**Mitigated Construction On-Site**

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
	toms/yr										MT/yr					
Fugitive Dust					0.0498	0.0000	0.0498	7.5100e-003	0.0000	7.5100e-003	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Off Road	0.0475	0.4718	0.3235	5.8000e-004		0.0233	0.0233		0.0216	0.0216	0.0000	51.0011	51.0011	0.0144	0.0000	51.0000
<b>Total</b>	<b>0.0475</b>	<b>0.4718</b>	<b>0.3235</b>	<b>5.8000e-004</b>	<b>0.0498</b>	<b>0.0233</b>	<b>0.0729</b>	<b>7.5100e-003</b>	<b>0.0216</b>	<b>0.0216</b>	<b>0.0000</b>	<b>51.0011</b>	<b>51.0011</b>	<b>0.0144</b>	<b>0.0000</b>	<b>51.0000</b>

3.2 Demolition - 2021

Mitigated Construction Off-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	SO2-CO2	NOx-CO2	Total CO2	CH4	NO2	CO2e
	tons/yr										MT/yr					
Hauling	1.5350e-003	6.6454	0.0148	1.8000e-004	3.3500e-003	1.9000e-004	4.1300e-003	1.0800e-003	1.8650e-004	1.2600e-003	0.0000	17.4568	17.4568	1.2100e-008	0.0000	17.4868
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	8.7000e-004	7.5000e-004	8.6100e-003	2.0000e-006	2.4700e-003	2.0000e-006	2.4900e-003	6.5000e-004	2.0030e-005	6.7000e-004	0.0000	2.2251	2.2251	7.0000e-008	0.0000	2.2287
<b>Total</b>	<b>2.4050e-003</b>	<b>6.6454</b>	<b>8.6233</b>	<b>2.8000e-004</b>	<b>5.8200e-003</b>	<b>2.1000e-006</b>	<b>6.6200e-003</b>	<b>1.7380e-003</b>	<b>2.8680e-004</b>	<b>1.9270e-003</b>	<b>0.0000</b>	<b>19.6819</b>	<b>19.6819</b>	<b>1.2800e-008</b>	<b>0.0000</b>	<b>19.7139</b>

3.3 Site Preparation - 2021

Unmitigated Construction On-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	SO2-CO2	NOx-CO2	Total CO2	CH4	NO2	CO2e
	tons/yr										MT/yr					
Fugitive Dust					0.1807	0.0250	0.1807	0.0093	0.0000	0.0093	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Off-Road	0.0389	6.4050	0.2115	3.8000e-004		0.0004	0.0204		0.0190	0.0188	0.0000	33.4357	33.4357	0.0100	0.0000	33.7061
<b>Total</b>	<b>0.0389</b>	<b>6.4050</b>	<b>0.2115</b>	<b>3.8000e-004</b>	<b>0.1807</b>	<b>0.0204</b>	<b>0.2011</b>	<b>0.0093</b>	<b>0.0190</b>	<b>0.0181</b>	<b>0.0000</b>	<b>33.4357</b>	<b>33.4357</b>	<b>0.0100</b>	<b>0.0000</b>	<b>33.7061</b>

**3.3 Site Preparation - 2021**

**Unmitigated Construction Off-Site**

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	Nbio-CO2	Total CO2	CH4	N2O	CO2e	
	toms/yr										MT/yr						
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	7.7000e-004	0.0000e-004	0.0000e-003	2.0000e-005	1.9700e-003	2.0000e-005	1.9900e-003	3.2000e-004	1.0000e-005	5.4000e-004	0.0000	1.7801	1.7801	5.0000e-005	0.0000	0.0000	1.7814
<b>Total</b>	<b>7.7000e-004</b>	<b>0.0000e-004</b>	<b>0.0000e-003</b>	<b>2.0000e-005</b>	<b>1.9700e-003</b>	<b>2.0000e-005</b>	<b>1.9900e-003</b>	<b>3.2000e-004</b>	<b>1.0000e-005</b>	<b>5.4000e-004</b>	<b>0.0000</b>	<b>1.7801</b>	<b>1.7801</b>	<b>5.0000e-005</b>	<b>0.0000</b>	<b>0.0000</b>	<b>1.7814</b>

**Mitigated Construction On-Site**

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	Nbio-CO2	Total CO2	CH4	N2O	CO2e	
	toms/yr										MT/yr						
Fugitive Dust					0.1807	0.0000	0.1807	0.0993	0.0000	0.0993	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Off Road	0.0389	0.4950	0.2115	3.8000e-004		0.0204	0.0204		0.0198	0.0198	0.0000	33.4357	33.4357	0.0149	0.0000	33.7080	
<b>Total</b>	<b>0.0389</b>	<b>0.4950</b>	<b>0.2115</b>	<b>3.8000e-004</b>	<b>0.1807</b>	<b>0.0204</b>	<b>0.2011</b>	<b>0.0993</b>	<b>0.0198</b>	<b>0.1181</b>	<b>0.0000</b>	<b>33.4357</b>	<b>33.4357</b>	<b>0.0149</b>	<b>0.0000</b>	<b>33.7080</b>	

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**3.3 Site Preparation - 2021**

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	7.7000e-004	6.0000e-004	6.8100e-003	2.0000e-005	1.9700e-003	2.0000e-005	1.9900e-003	5.2000e-004	1.0000e-005	5.4000e-004	0.0000	1.7601	1.7601	5.0000e-005	0.0000	1.7814
<b>Total</b>	<b>7.7000e-004</b>	<b>6.0000e-004</b>	<b>6.8100e-003</b>	<b>2.0000e-005</b>	<b>1.9700e-003</b>	<b>2.0000e-005</b>	<b>1.9900e-003</b>	<b>5.2000e-004</b>	<b>1.0000e-005</b>	<b>5.4000e-004</b>	<b>0.0000</b>	<b>1.7601</b>	<b>1.7601</b>	<b>5.0000e-005</b>	<b>0.0000</b>	<b>1.7814</b>

**3.4 Grading - 2021**

**Unmitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Fugitive Dust					0.1741	0.0000	0.1741	0.0693	0.0000	0.0693	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Off-Road	0.0796	0.0816	0.5957	1.1800e-003		0.0377	0.0377		0.0347	0.0347	0.0000	103.5405	103.5405	0.0335	0.0000	104.3776
<b>Total</b>	<b>0.0796</b>	<b>0.0816</b>	<b>0.5957</b>	<b>1.1800e-003</b>	<b>0.1741</b>	<b>0.0377</b>	<b>0.2118</b>	<b>0.0693</b>	<b>0.0347</b>	<b>0.1040</b>	<b>0.0000</b>	<b>103.5405</b>	<b>103.5405</b>	<b>0.0335</b>	<b>0.0000</b>	<b>104.3776</b>

**3.4 Grading - 2021**

**Unmitigated Construction Off-Site**

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NI Bio-CO2	Total CO2	CH4	N2O	CO2e
	tons/yr										M T/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	1.8400e-003	1.2700e-003	0.0144	4.0000e-005	4.1000e-003	3.0000e-005	4.2000e-003	1.1100e-003	3.0000e-005	1.1400e-003	0.0000	3.7579	3.7579	1.1000e-004	0.0000	3.7607
<b>Total</b>	<b>1.8400e-003</b>	<b>1.2700e-003</b>	<b>0.0144</b>	<b>4.0000e-005</b>	<b>4.1000e-003</b>	<b>3.0000e-005</b>	<b>4.2000e-003</b>	<b>1.1100e-003</b>	<b>3.0000e-005</b>	<b>1.1400e-003</b>	<b>0.0000</b>	<b>3.7579</b>	<b>3.7579</b>	<b>1.1000e-004</b>	<b>0.0000</b>	<b>3.7607</b>

**Mitigated Construction On-Site**

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NI Bio-CO2	Total CO2	CH4	N2O	CO2e
	tons/yr										M T/yr					
Fugitive Dust					0.1741	0.0000	0.1741	0.0693	0.0000	0.0693	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Off-Road	0.0798	0.0618	0.5887	1.1800e-003		0.0377	0.0377		0.0347	0.0347	0.0000	103.5493	103.5493	0.0335	0.0000	104.3773
<b>Total</b>	<b>0.0798</b>	<b>0.0618</b>	<b>0.5887</b>	<b>1.1800e-003</b>	<b>0.1741</b>	<b>0.0377</b>	<b>0.2118</b>	<b>0.0693</b>	<b>0.0347</b>	<b>0.1040</b>	<b>0.0000</b>	<b>103.5493</b>	<b>103.5493</b>	<b>0.0335</b>	<b>0.0000</b>	<b>104.3773</b>

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**3.4 Grading - 2021**

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	1.6400e-003	1.2700e-003	0.0144	4.0000e-005	4.1900e-003	3.0000e-005	4.2000e-003	1.1100e-003	3.0000e-005	1.1400e-003	0.0000	3.7579	3.7579	1.1000e-004	0.0000	3.7607
<b>Total</b>	<b>1.6400e-003</b>	<b>1.2700e-003</b>	<b>0.0144</b>	<b>4.0000e-005</b>	<b>4.1900e-003</b>	<b>3.0000e-005</b>	<b>4.2000e-003</b>	<b>1.1100e-003</b>	<b>3.0000e-005</b>	<b>1.1400e-003</b>	<b>0.0000</b>	<b>3.7579</b>	<b>3.7579</b>	<b>1.1000e-004</b>	<b>0.0000</b>	<b>3.7607</b>

**3.4 Grading - 2022**

**Unmitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Fugitive Dust					0.0807	0.0000	0.0807	0.0180	0.0000	0.0180	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Off-Road	0.0127	0.1390	0.1017	2.2000e-004		5.7200e-003	5.7200e-003		5.2600e-003	5.2600e-003	0.0000	19.9871	19.9871	6.1700e-005	0.0000	19.2414
<b>Total</b>	<b>0.0127</b>	<b>0.1390</b>	<b>0.1017</b>	<b>2.2000e-004</b>	<b>0.0807</b>	<b>5.7200e-003</b>	<b>0.0885</b>	<b>0.0180</b>	<b>5.2600e-003</b>	<b>0.0233</b>	<b>0.0000</b>	<b>19.9871</b>	<b>19.9871</b>	<b>6.1700e-005</b>	<b>0.0000</b>	<b>19.2414</b>

3.4 Grading - 2022

**Unmitigated Construction Off-Site**

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NDso-CO2	Total CO2	GHG	MDO	CO2e
	tons/yr										MT/yr					
Heating	0.0000	0.0000	0.0000	0.0000	5.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	2.8000e-004	2.1000e-004	2.4400e-003	1.0000e-005	7.7000e-004	1.0000e-005	7.7000e-004	2.0000e-004	1.0000e-005	2.1000e-004	0.0000	0.0079	0.0079	2.0000e-006	0.0000	0.0004
<b>Total</b>	<b>2.8000e-004</b>	<b>2.1000e-004</b>	<b>2.4400e-003</b>	<b>1.0000e-005</b>	<b>7.7000e-004</b>	<b>1.0000e-005</b>	<b>7.7000e-004</b>	<b>2.0000e-004</b>	<b>1.0000e-005</b>	<b>2.1000e-004</b>	<b>0.0000</b>	<b>0.0079</b>	<b>0.0079</b>	<b>2.0000e-006</b>	<b>0.0000</b>	<b>0.0004</b>

**Mitigated Construction On-Site**

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NDso-CO2	Total CO2	GHG	MDO	CO2e
	tons/yr										MT/yr					
Fugitive Dust					0.0807	0.0000	0.0807	0.0180	0.0000	0.0180	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Off-Road	0.0127	0.1580	0.1017	2.2000e-004		5.7200e-005	5.7200e-005	5.2800e-005	5.2800e-005	0.0000	0.0000	19.0071	19.0071	6.1700e-003	0.0000	19.2414
<b>Total</b>	<b>0.0127</b>	<b>0.1580</b>	<b>0.1017</b>	<b>2.2000e-004</b>	<b>0.0807</b>	<b>5.7200e-005</b>	<b>0.0807</b>	<b>0.0180</b>	<b>5.2800e-005</b>	<b>0.0180</b>	<b>0.0000</b>	<b>19.0071</b>	<b>19.0071</b>	<b>6.1700e-003</b>	<b>0.0000</b>	<b>19.2414</b>



**3.4 Grading - 2022**

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	Net-CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										M T/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Water	2.8000e-004	2.1900e-004	2.4400e-003	1.0000e-006	7.7000e-004	1.0000e-006	7.7000e-004	2.9000e-004	1.0000e-006	2.1000e-004	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
<b>Total</b>	<b>2.8000e-004</b>	<b>2.1900e-004</b>	<b>2.4400e-003</b>	<b>1.0000e-006</b>	<b>7.7000e-004</b>	<b>1.0000e-006</b>	<b>7.7000e-004</b>	<b>2.9000e-004</b>	<b>1.0000e-006</b>	<b>2.1000e-004</b>	<b>0.0000</b>	<b>0.0000</b>	<b>0.0000</b>	<b>0.0000</b>	<b>0.0000</b>	<b>0.0000</b>

**3.5 Building Construction - 2022**

**Unmitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	Net-CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										M T/yr					
Off-Road	0.2158	1.9754	2.0700	3.4100e-003	0.1023	0.1023	0.1023	0.0883	0.0883	0.0883	0.0000	293.1324	293.1324	0.0702	0.0000	294.8881
<b>Total</b>	<b>0.2158</b>	<b>1.9754</b>	<b>2.0700</b>	<b>3.4100e-003</b>	<b>0.1023</b>	<b>0.1023</b>	<b>0.1023</b>	<b>0.0883</b>	<b>0.0883</b>	<b>0.0883</b>	<b>0.0000</b>	<b>293.1324</b>	<b>293.1324</b>	<b>0.0702</b>	<b>0.0000</b>	<b>294.8881</b>

**3.5 Building Construction - 2022**

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	HBio-CO2	Total CO2	CH4	N2O	CO2e	
Category	ton/yr										MT/yr						
Heating	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0527	1.8951	0.4580	4.5400e-003	0.1140	3.1800e-003	0.1171	0.0020	3.0430e-003	0.0398	0.0000	441.9835	441.9835	0.0264	0.0000	442.8435	
Worker	0.4088	0.3085	3.5300	0.0107	1.1103	8.8700e-003	1.1192	0.2949	8.1730e-003	0.3031	0.0000	888.8117	888.8117	0.0265	0.0000	887.4773	
<b>Total</b>	<b>0.4615</b>	<b>2.0927</b>	<b>3.9983</b>	<b>0.0107</b>	<b>1.2243</b>	<b>0.0121</b>	<b>1.2363</b>	<b>0.3878</b>	<b>0.0192</b>	<b>0.3390</b>	<b>0.0000</b>	<b>1,498,795.2</b>	<b>1,498,795.2</b>	<b>0.0530</b>	<b>0.0000</b>	<b>1,419,129.8</b>	

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	HBio-CO2	Total CO2	CH4	N2O	CO2e
Category	ton/yr										MT/yr					
Off Road	0.2158	1.9734	2.0790	3.4100e-003		0.1023	0.1023		0.0983	0.0983	0.0000	293.1321	293.1321	0.0762	0.0000	294.8877
<b>Total</b>	<b>0.2158</b>	<b>1.9734</b>	<b>2.0790</b>	<b>3.4100e-003</b>		<b>0.1023</b>	<b>0.1023</b>		<b>0.0983</b>	<b>0.0983</b>	<b>0.0000</b>	<b>293.1321</b>	<b>293.1321</b>	<b>0.0762</b>	<b>0.0000</b>	<b>294.8877</b>

3.5 Building Construction - 2022

Mitigated Construction Off-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0827	1.6961	0.4596	4.5600e-003	0.1140	3.1800e-003	0.1171	0.0329	3.0400e-003	0.0368	0.0000	441.9835	441.9835	0.0264	0.0000	442.0435
Water	0.4088	0.3080	3.5300	0.0107	1.1103	8.6700e-003	1.1182	0.2948	8.1700e-003	0.3031	0.0000	986.8117	986.8117	0.0260	0.0000	987.4773
<b>Total</b>	<b>0.4915</b>	<b>2.0027</b>	<b>3.9895</b>	<b>0.0107</b>	<b>1.2243</b>	<b>0.0121</b>	<b>1.2363</b>	<b>0.3278</b>	<b>0.0112</b>	<b>0.3390</b>	<b>0.0000</b>	<b>1,428.7952</b>	<b>1,428.7952</b>	<b>0.0524</b>	<b>0.0000</b>	<b>1,429.1298</b>

3.5 Building Construction - 2023

Unmitigated Construction On-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
On-Road	0.1942	1.7765	2.0961	3.3300e-003		0.0864	0.0864		0.0813	0.0813	0.0000	286.2789	286.2789	0.0661	0.0000	287.9814
<b>Total</b>	<b>0.1942</b>	<b>1.7765</b>	<b>2.0961</b>	<b>3.3300e-003</b>		<b>0.0864</b>	<b>0.0864</b>		<b>0.0813</b>	<b>0.0813</b>	<b>0.0000</b>	<b>286.2789</b>	<b>286.2789</b>	<b>0.0661</b>	<b>0.0000</b>	<b>287.9814</b>

**3.5 Building Construction - 2023**

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	H2O	CO2e
Category	toms/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0382	1.2511	0.4011	4.9000e-003	0.1113	1.6800e-003	0.1127	0.0021	1.4000e-003	0.0036	0.0000	417.9930	417.9930	0.0278	0.0000	418.5824
Worker	0.3753	0.2788	3.1690	0.0101	1.0840	8.4100e-003	1.0924	0.2879	7.7400e-003	0.2957	0.0000	909.3439	909.3439	0.0234	0.0000	909.9291
<b>Total</b>	<b>0.4135</b>	<b>1.5298</b>	<b>3.5797</b>	<b>0.0144</b>	<b>1.1953</b>	<b>8.2700e-003</b>	<b>1.2051</b>	<b>0.3200</b>	<b>8.1400e-003</b>	<b>0.3292</b>	<b>0.0000</b>	<b>1,327,336.9</b>	<b>1,327,336.9</b>	<b>0.0492</b>	<b>0.0000</b>	<b>1,328,481.6</b>

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	H2O	CO2e
Category	toms/yr										MT/yr					
Oil Road	0.1942	1.7705	2.0061	3.3300e-003		0.0864	0.0864		0.0813	0.0813	0.0000	286.2785	286.2785	0.0661	0.0000	287.9811
<b>Total</b>	<b>0.1942</b>	<b>1.7705</b>	<b>2.0061</b>	<b>3.3300e-003</b>		<b>0.0864</b>	<b>0.0864</b>		<b>0.0813</b>	<b>0.0813</b>	<b>0.0000</b>	<b>286.2785</b>	<b>286.2785</b>	<b>0.0661</b>	<b>0.0000</b>	<b>287.9811</b>

**3.5 Building Construction - 2023**

**Mitigated Construction Off-Site**

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Category	ton/yr										Mt/yr					
Hauling	0.0000	0.6930	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0382	1.2611	0.4011	4.3300e-003	0.1113	1.4800e-003	0.1127	0.0321	1.4000e-003	0.0336	0.0000	417.6930	417.6930	0.0228	0.0406	418.5624
Worker	0.3753	0.2708	3.1696	0.0101	1.0840	8.4100e-003	1.0824	0.2978	7.7400e-003	0.2967	0.0000	908.3439	909.5439	0.0234	0.0000	909.9291
<b>Total</b>	<b>0.4135</b>	<b>1.9218</b>	<b>3.5707</b>	<b>0.0104</b>	<b>1.1953</b>	<b>8.8700e-003</b>	<b>1.2031</b>	<b>0.3299</b>	<b>8.1400e-003</b>	<b>0.3282</b>	<b>0.0000</b>	<b>1,327.3268</b>	<b>1,327.3268</b>	<b>0.0462</b>	<b>0.0000</b>	<b>1,328.4916</b>

**3.6 Paving - 2023**

**Unmitigated Construction On-Site**

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Category	ton/yr										Mt/yr					
Off-Road	8.7100e-003	0.0043	0.0948	1.5000e-004	3.3300e-003	3.3300e-003	3.3300e-003	3.0500e-003	3.0500e-003	3.0500e-003	0.0000	13.0175	13.0175	4.2100e-003	0.0000	13.1227
Paving	0.0000				0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
<b>Total</b>	<b>8.7100e-003</b>	<b>0.0043</b>	<b>0.0948</b>	<b>1.5000e-004</b>	<b>3.3300e-003</b>	<b>3.3300e-003</b>	<b>3.3300e-003</b>	<b>3.0500e-003</b>	<b>3.0500e-003</b>	<b>3.0500e-003</b>	<b>0.0000</b>	<b>13.0175</b>	<b>13.0175</b>	<b>4.2100e-003</b>	<b>0.0000</b>	<b>13.1227</b>

3.6 Paving - 2023

Unmitigated Construction Off-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	3.7000e-004	2.7800e-004	3.2300e-003	1.0000e-005	1.0700e-003	1.0000e-005	1.0800e-003	2.8000e-004	1.0000e-005	2.9000e-004	0.0000	0.0000	0.0000	2.0000e-005	0.0000	0.0000
<b>Total</b>	<b>3.7000e-004</b>	<b>2.7800e-004</b>	<b>3.1200e-003</b>	<b>1.0000e-005</b>	<b>1.0700e-003</b>	<b>1.0000e-005</b>	<b>1.0800e-003</b>	<b>2.8000e-004</b>	<b>1.0000e-005</b>	<b>2.8000e-004</b>	<b>0.0000</b>	<b>0.0000</b>	<b>0.0000</b>	<b>2.0000e-005</b>	<b>0.0000</b>	<b>0.0000</b>

Mitigated Construction On-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
	tons/yr										MT/yr					
Off Road	8.7100e-003	0.0043	0.0048	1.5000e-004	1.3200e-003	1.3200e-003	1.3200e-003	1.0500e-005	1.0500e-005	1.0500e-005	0.0000	13.0175	13.0175	4.2100e-003	0.0000	13.1277
Paving	0.0000				0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
<b>Total</b>	<b>8.7100e-003</b>	<b>0.0043</b>	<b>0.0048</b>	<b>1.5000e-004</b>	<b>1.3200e-003</b>	<b>1.3200e-003</b>	<b>1.3200e-003</b>	<b>1.0500e-005</b>	<b>1.0500e-005</b>	<b>1.0500e-005</b>	<b>0.0000</b>	<b>13.0175</b>	<b>13.0175</b>	<b>4.2100e-003</b>	<b>0.0000</b>	<b>13.1277</b>

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3.6 Paving - 2023

Mitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	3.7000e-004	2.7000e-004	3.1200e-003	1.0000e-005	1.0700e-003	1.0000e-005	1.0900e-003	2.8000e-004	1.0000e-005	2.9000e-004	0.0000	0.9663	0.8663	2.0000e-006	0.0000	0.8966
<b>Total</b>	<b>3.7000e-004</b>	<b>2.7000e-004</b>	<b>3.1200e-003</b>	<b>1.0000e-005</b>	<b>1.0700e-003</b>	<b>1.0000e-005</b>	<b>1.0900e-003</b>	<b>2.8000e-004</b>	<b>1.0000e-005</b>	<b>2.9000e-004</b>	<b>0.0000</b>	<b>0.9663</b>	<b>0.8663</b>	<b>2.0000e-006</b>	<b>0.0000</b>	<b>0.8966</b>

3.6 Paving - 2024

Unmitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Off-Road	0.0109	0.1048	0.1609	2.5000e-004	5.1500e-003	5.1500e-003	5.1500e-003	4.7400e-003	4.7400e-003	4.7400e-003	0.0000	22.8282	22.0282	7.1200e-003	0.0000	22.2073
Paving	0.0000				0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
<b>Total</b>	<b>0.0109</b>	<b>0.1048</b>	<b>0.1609</b>	<b>2.5000e-004</b>	<b>5.1500e-003</b>	<b>5.1500e-003</b>	<b>5.1500e-003</b>	<b>4.7400e-003</b>	<b>4.7400e-003</b>	<b>4.7400e-003</b>	<b>0.0000</b>	<b>22.8282</b>	<b>22.0282</b>	<b>7.1200e-003</b>	<b>0.0000</b>	<b>22.2073</b>

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3.6 Paving - 2024

Unmitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	HBio-CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr											M T/yr				
Hauling	0.0000	0.0000	0.0030	0.0050	0.0060	0.0000	0.0060	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	5.9000e-004	4.1000e-004	4.9200e-003	2.0000e-005	1.8100e-003	1.0000e-005	1.8200e-003	4.8000e-004	1.0000e-005	4.9000e-004	0.0000	1.4097	1.4097	4.0000e-006	0.0000	14.708
<b>Total</b>	<b>5.9000e-004</b>	<b>4.1000e-004</b>	<b>4.9200e-003</b>	<b>2.0000e-005</b>	<b>1.8100e-003</b>	<b>1.0000e-005</b>	<b>1.8200e-003</b>	<b>4.8000e-004</b>	<b>1.0000e-005</b>	<b>4.9000e-004</b>	<b>0.0000</b>	<b>1.4097</b>	<b>1.4097</b>	<b>4.0000e-006</b>	<b>0.0000</b>	<b>14.708</b>

Mitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr											M T/yr				
Off Road	0.0109	0.1048	0.1859	2.5000e-004	5.1500e-003	5.1500e-003	5.1500e-003	4.7400e-003	4.7400e-003	0.0000	27.0702	27.0702	7.1200e-003	0.0000	0.0000	22.2673
Paving	0.0000				0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
<b>Total</b>	<b>0.0109</b>	<b>0.1048</b>	<b>0.1859</b>	<b>2.5000e-004</b>	<b>5.1500e-003</b>	<b>5.1500e-003</b>	<b>5.1500e-003</b>	<b>4.7400e-003</b>	<b>4.7400e-003</b>	<b>0.0000</b>	<b>27.0702</b>	<b>27.0702</b>	<b>7.1200e-003</b>	<b>0.0000</b>	<b>0.0000</b>	<b>22.2673</b>



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3.6 Paving - 2024

Mitigated Construction Off-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										M T/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Water	5.9000e-004	4.1000e-004	4.9200e-003	2.0000e-005	1.8100e-003	1.0000e-005	1.6200e-003	4.8000e-004	1.0000e-005	4.9000e-004	0.0000	1.4697	1.4697	4.0000e-005	0.0000	1.4706
Total	5.9000e-004	4.1000e-004	4.9200e-003	2.0000e-005	1.8100e-003	1.0000e-005	1.6200e-003	4.8000e-004	1.0000e-005	4.9000e-004	0.0000	1.4697	1.4697	4.0000e-005	0.0000	1.4706

3.7 Architectural Coating - 2024

Unmitigated Construction On-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										M T/yr					
Arch. Coating	4.1372					0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Off-Road	3.1800e-003	0.0213	0.0317	5.0000e-005	1.0700e-003	0.7000e-003	1.7700e-003	1.0700e-003	1.0700e-003	2.1400e-003	0.0000	4.4682	4.4682	2.5000e-004	0.0000	4.4745
Total	4.1484	0.0213	0.0317	5.0000e-005	1.0700e-003	0.7000e-003	1.7700e-003	1.0700e-003	1.0700e-003	2.1400e-003	0.0000	4.4682	4.4682	2.5000e-004	0.0000	4.4745

**3.7 Architectural Coating - 2024**

**Unmitigated Construction Off-Site**

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										M T/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0101	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
<b>Total</b>	<b>0.0101</b>	<b>0.0000</b>	<b>0.0000</b>	<b>0.0000</b>	<b>0.0000</b>	<b>0.0000</b>	<b>0.0000</b>	<b>0.0000</b>	<b>0.0000</b>	<b>0.0000</b>	<b>0.0000</b>	<b>0.0000</b>	<b>0.0000</b>	<b>0.0000</b>	<b>0.0000</b>	<b>0.0000</b>

**Mitigated Construction On-Site**

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										M T/yr					
Arch Coating	4.1372					0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Off Road	3.1600	0.0213	0.0317	0.0000	1.0700	1.0700	1.0700	1.0700	1.0700	1.0700	0.0000	4.4682	4.4682	2.5000	0.0000	4.4745
<b>Total</b>	<b>4.1404</b>	<b>0.0213</b>	<b>0.0317</b>	<b>0.0000</b>	<b>1.0700</b>	<b>1.0700</b>	<b>1.0700</b>	<b>1.0700</b>	<b>1.0700</b>	<b>1.0700</b>	<b>0.0000</b>	<b>4.4682</b>	<b>4.4682</b>	<b>2.5000</b>	<b>0.0000</b>	<b>4.4745</b>

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3.7 Architectural Coating - 2024

Mitigated Construction Off-Site

Category	RGG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	SO2-CO2	NOx-CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										t/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0101	8.9900e-003	0.0833	2.8000e-004	0.0307	2.3000e-004	0.0309	8.1500e-003	2.2000e-004	8.3700e-003	0.0000	24.9407	24.9407	6.1000e-004	0.0000	24.9558
<b>Total</b>	<b>0.0101</b>	<b>8.9900e-003</b>	<b>0.0833</b>	<b>2.8000e-004</b>	<b>0.0307</b>	<b>2.3000e-004</b>	<b>0.0309</b>	<b>8.1500e-003</b>	<b>2.2000e-004</b>	<b>8.3700e-003</b>	<b>0.0000</b>	<b>24.9407</b>	<b>24.9407</b>	<b>6.1000e-004</b>	<b>0.0000</b>	<b>24.9558</b>

4.0 Operational Detail - Mobile

4.1 Mitigation Measures Mobile

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	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	So-CO2	NOx-CO2	Total CO2	CH4	N2O	CO2e
Exposure	ton/day										MT/yr					
Mitigated	1.8857	7.9982	19.1834	0.0821	7.7970	0.0680	7.8650	2.0895	0.0530	2.1434	0.0000	7.620488	7.620488	0.3487	0.0000	7,629,016.2
Unmitigated	1.8857	7.9982	19.1834	0.0821	7.7970	0.0680	7.8650	2.0895	0.0530	2.1434	0.0000	7.620488	7.620488	0.3487	0.0000	7,629,016.2

4.2 Trip Summary Information

Land Use	Average Daily Trip Rate			Unmitigated Annual VMT	Mitigated Annual VMT
	Weekday	Saturday	Sunday		
Apartments Low Rise	145.75	154.25	154.00	508,227	508,227
Apartments Mid Rise	4,028.75	3,773.25	4,075.50	13,860,065	13,860,065
General Office Building	268.45	62.55	31.05	706,812	706,812
High Turnover (Sit Down Restaurant)	2,368.90	2,873.52	2,817.72	3,413,937	3,413,937
Hotel	192.00	187.50	180.00	445,703	445,703
Quality Restaurant	501.12	511.62	461.20	707,488	707,488
Regional Shopping Center	328.08	601.44	357.54	1,112,221	1,112,221
<b>Total</b>	<b>8,050.95</b>	<b>8,164.43</b>	<b>9,057.31</b>	<b>29,552,452</b>	<b>29,552,452</b>

4.3 Trip Type Information

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Land Use	M/Sec			Trip %			Trip Purpose %		
	H-W or C-W	H-S or C-C	H-O or C-NW	H-W or C-W	H-S or C-C	H-O or C-NW	Primary	Diverted	Pass-by
Apartments Low Rise	14.70	5.90	8.70	40.20	19.20	40.60	86	11	3
Apartments Mid Rise	14.70	5.90	8.70	40.20	19.20	40.60	86	11	3
General Office Building	16.80	8.40	8.90	33.00	48.00	19.00	77	19	4
High Turnover (Sit Down)	16.80	8.40	8.90	8.50	72.50	19.00	37	20	43
Hotel	16.80	8.40	8.90	19.40	61.60	19.00	58	38	4
Quality Restaurant	16.80	8.40	8.90	12.00	68.00	19.00	38	18	44
Regional Shopping Center	16.80	8.40	8.90	16.30	64.70	19.00	54	35	11

4.4 Fleet Mix

Land Use	LDA	LDT1	LDT2	MDV	LHD1	LHD2	MHD	RHD	OBUS	UBUS	MCY	SBUS	MH
Apartments Low Rise	0.543088	0.044216	0.206971	0.116369	0.014033	0.006332	0.021166	0.033577	0.002613	0.001817	0.005285	0.000712	0.000821
Apartments Mid Rise	0.543088	0.044216	0.206971	0.116369	0.014033	0.006332	0.021166	0.033577	0.002613	0.001817	0.005285	0.000712	0.000821
General Office Building	0.543088	0.044216	0.206971	0.116369	0.014033	0.006332	0.021166	0.033577	0.002613	0.001817	0.005285	0.000712	0.000821
High Turnover (Sit Down Restaurant)	0.543088	0.044216	0.206971	0.116369	0.014033	0.006332	0.021166	0.033577	0.002613	0.001817	0.005285	0.000712	0.000821
Hotel	0.543088	0.044216	0.206971	0.116369	0.014033	0.006332	0.021166	0.033577	0.002613	0.001817	0.005285	0.000712	0.000821
Quality Restaurant	0.543088	0.044216	0.206971	0.116369	0.014033	0.006332	0.021166	0.033577	0.002613	0.001817	0.005285	0.000712	0.000821
Regional Shopping Center	0.543088	0.044216	0.206971	0.116369	0.014033	0.006332	0.021166	0.033577	0.002613	0.001817	0.005285	0.000712	0.000821

5.0 Energy Detail

Historical Energy Use: N

5.1 Mitigation Measures Energy

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	Net CO2	Total CO2	GHG	N2O	CO2e
	ton/yr										M T/yr					
Electricity Mitigated					0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	2,512,848.5	2,512,848.5	0.1037	0.0215	2,521,635.6
Electricity Unmitigated					0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	2,512,848.5	2,512,848.5	0.1037	0.0215	2,521,635.6
NaturalGas Mitigated	0.1388	1.2312	0.7770	7.6200e-003	0.0866	0.0866	0.0996	0.0866	0.0866	0.0996	0.0000	1,383,426.7	1,383,426.7	0.0245	0.0264	1,391,647.8
NaturalGas Unmitigated	0.1388	1.2312	0.7770	7.6200e-003	0.0866	0.0866	0.0996	0.0866	0.0866	0.0996	0.0000	1,383,426.7	1,383,426.7	0.0245	0.0264	1,391,647.8

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5.2 Energy by Land Use - Natural Gas

Unmitigated

Land Use	Natural Gas Use kBTU/yr	ton/yr										MT/yr					
		COG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	BaP-CO2	NbP-CO2	Total CO2	CH4	N2O	CO2e
Apartments Low Rise	408484	2.3000e-003	0.0188	8.0190e-003	1.2000e-004	1.5200e-003	1.5200e-003	1.5200e-003	1.5200e-003	1.5200e-003	0.0000	21.7868	21.7868	4.2000e-034	4.0000e-004		21.8284
Apartments Mid Rise	1.30813e+007	0.0704	0.8018	0.2561	3.8400e-003	3.0467	0.3487	0.6487	0.6487	0.6487	0.0000	695.9689	695.9689	0.0134	0.0129		701.1459
General Office Bldg	468450	2.5300e-003	0.0230	0.0193	1.4000e-004	1.7500e-003	1.7500e-003	1.7500e-003	1.7500e-003	1.7500e-003	0.0000	24.9903	24.9903	4.8000e-034	4.5000e-004		25.1488
High Turnover (Sit Down) Restaurant	8.30739e+006	0.0448	0.4072	0.2421	2.4400e-003	0.9210	0.2310	0.9310	0.9310	0.9310	0.0000	443.3124	443.3124	9.5000e-003	8.1500e-003		445.9458
Hotel	1.74965e+006	8.3600e-003	0.0653	0.0717	5.1000e-004	6.4900e-003	6.4500e-003	6.4900e-003	6.4900e-003	6.4900e-003	0.0000	82.8036	82.8036	1.7800e-003	1.7000e-003		83.4657
Quick Restaurant	1.84608e+006	9.2600e-003	0.3605	0.0763	6.4000e-004	8.8900e-003	8.8900e-003	8.8900e-003	8.8900e-003	8.8900e-003	0.0000	98.6136	98.6136	1.9500e-003	1.8100e-003		99.0693
Regional Shopping Center	91840	5.3000e-004	4.5000e-003	3.7800e-003	3.0000e-005	3.4500e-004	3.4500e-004	3.4500e-004	3.4500e-004	3.4500e-004	0.0000	4.9328	4.9008	8.0000e-005	8.0000e-005		4.9301
<b>Total</b>		<b>0.1388</b>	<b>1.2312</b>	<b>0.7770</b>	<b>7.6200e-003</b>	<b>0.0966</b>	<b>0.0966</b>	<b>0.0966</b>	<b>0.0966</b>	<b>0.0966</b>	<b>0.0000</b>	<b>1,383,428.8</b>	<b>1,383,428.8</b>	<b>0.0265</b>	<b>8.0234</b>		<b>1,391,847.8</b>

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5.2 Energy by Land Use - Natural Gas

Mitigated

Land Use	Natural Gas Use	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	Net CO2	Total CO2	CH4	N2O	CO2e
Land Use	kBTU/yr	lb/yr										MT/yr					
Apartments Low Rise	408494	2.2500e-003	0.0198	0.0193e-003	1.2000e-004		1.6200e-003	1.6200e-003		1.6200e-003	1.6200e-003	0.0000	21.7888	21.7988	4.2000e-004	4.0000e-004	21.9284
Apartments Mid Rise	130613e+007	0.0704	0.5018	0.2541	3.8400e-003		0.0487	0.0487		0.0487	0.0487	0.0000	865.9989	866.9989	0.0134	0.0128	701.1438
General Office Building	468450	2.5300e-003	0.0230	0.0193	1.4000e-004		1.7500e-003	1.7500e-003		1.7500e-003	1.7500e-003	0.0000	24.9983	24.9983	4.8000e-004	4.8000e-004	25.1488
High Turnover (Sit Down Restaurant)	930736e+006	0.0448	0.4072	0.3421	2.4400e-003		0.0310	0.0310		0.0310	0.0310	0.0000	443.3124	443.3124	8.9000e-003	8.1300e-003	445.9488
Hotel	174087e+008	9.3800e-003	0.5863	0.0717	5.1000e-004		6.4900e-003	6.4900e-003		6.4900e-003	6.4900e-003	0.0000	82.9038	82.9038	1.7800e-003	1.7000e-003	83.4567
Quality Restaurant	184809e+006	9.9500e-003	0.3606	0.0783	5.4000e-004		6.9800e-003	6.9800e-003		6.9800e-003	6.9800e-003	0.0000	98.6139	98.6139	1.8800e-003	1.8100e-003	99.6663
Regional Shopping Center	91840	5.3000e-004	4.5000e-003	3.7800e-003	3.0000e-005		3.4300e-004	3.4300e-004		3.4300e-004	3.4300e-004	0.0000	4.9008	4.9008	9.0000e-005	9.0000e-005	4.9501
<b>Total</b>		<b>6.1398</b>	<b>1.2317</b>	<b>6.7770</b>	<b>7.6200e-003</b>		<b>6.6966</b>	<b>6.6966</b>		<b>6.6966</b>	<b>6.6966</b>	<b>0.0000</b>	<b>1,383.426</b>	<b>1,383.426</b>	<b>0.8265</b>	<b>0.8254</b>	<b>1,381.847</b>



**5.3 Energy by Land Use - Electricity**

**Unmitigated**

	Electricity Use	Total CO2	CH4	N2O	CO2e
Land Use	kWh/yr	t/yr			
Apartments Low Rise	106610	33.7776	1.2600e-003	2.9000e-004	33.8878
Apartments Mid Rise	3.94687e+005	1,267.5878	0.02819	0.01987	1,267.6268
General Office Building	584550	188.2588	7.8800e-003	1.5800e-003	189.9105
High Turnover (Sit Down) Restaurant	1.88904e+008	606.3022	0.22109	4.3200e-003	608.1136
Hotel	560308	175.3388	7.3400e-003	1.5000e-003	176.9872
Quick Restaurant	383120	112.5118	4.4800e-003	9.8000e-004	112.9141
Regional Shopping Center	756600	240.8778	8.9800e-003	2.0800e-003	241.7385
<b>Total</b>		<b>2,912.8485</b>	<b>0.1027</b>	<b>0.0215</b>	<b>2,921.8368</b>

**5.3 Energy by Land Use - Electricity**

**Mitigated**

Land Use	Electricity Use kWh/yr	Total GHG Emissions (MT/yr)			
		Total CO <sub>2</sub> e	CH <sub>4</sub>	N <sub>2</sub> O	CO <sub>2</sub> e
Apartment Low Rise	108810	337770	1.350e-003	2.800e-004	338920
Apartment Mid Rise	394887e+008	1.2575879	0.0619	0.0107	1.2682869
General Office Building	584550	1882582	7.800e-003	1.500e-003	1889105
High Turnover (Seasonal) Restaurant	158904e+008	6083022	0.0209	4.320e-003	6081136
Hotel	500308	1763398	7.340e-003	1.500e-003	1768072
Quality Restaurant	383120	1125118	4.850e-003	8.600e-004	1129141
Regional Shopping Center	758900	2408778	8.840e-003	2.080e-003	2417385
<b>Total</b>		<b>2,612,648.5</b>	<b>0.1037</b>	<b>0.0215</b>	<b>2,521,635.8</b>

**6.0 Area Detail**

**6.1 Mitigation Measures Area**

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Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
	tons/yr										MT/yr					
Mitigated	5.1437	0.2950	19.3804	1.5700e-003		0.0714	0.0714		0.0714	0.0714	0.0000	220.9670	220.9670	0.0201	3.7400e-003	222.5835
Unmitigated	5.1437	0.2950	19.3804	1.5700e-003		0.0714	0.0714		0.0714	0.0714	0.0000	220.9670	220.9670	0.0201	3.7400e-003	222.5835

6.2 Area by SubCategory

Unmitigated

SubCategory	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
	tons/yr										MT/yr					
Architectural Coating	0.4137					0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Capitular Products	4.3998					0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Hearth	0.0206	0.1763	0.0750	1.1200e-003		0.0143	0.0143		0.0143	0.0143	0.0000	204.1186	204.1186	3.9100e-003	3.7400e-003	205.3286
Landscaping	0.3096	0.1187	19.3054	5.4000e-004		0.0572	0.0572		0.0572	0.0572	0.0000	19.8504	16.8504	0.0181	0.0000	17.2540
<b>Total</b>	<b>5.1437</b>	<b>0.2950</b>	<b>19.3804</b>	<b>1.6600e-003</b>		<b>0.0714</b>	<b>0.0714</b>		<b>0.0714</b>	<b>0.0714</b>	<b>0.0000</b>	<b>220.9670</b>	<b>220.9670</b>	<b>0.0201</b>	<b>3.7400e-003</b>	<b>222.5835</b>

6.2 Area by SubCategory

Mitigated

SubCategory	lb/dry										MT/yr						
	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Net CO2	Net CH4	Total CO2	CH4	H2O	CO2e	
Architectural Coating	0.4137					0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Consumer Products	4.3999					0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Health	0.0206	0.1783	0.0750		1.200e-003	0.0143	0.0143		0.0143	0.0143	0.0000	204.1180	204.1180	3.9100e-003	3.7400e-003	205.3280	
Landscaping	0.3098	0.1187	10.3054		5.6000e-004	0.0672	0.0672		0.0672	0.0672	0.0000	18.9504	18.9504	0.0181	0.0000	17.2540	
<b>Total</b>	<b>5.1437</b>	<b>0.2970</b>	<b>10.3804</b>		<b>1.6600e-003</b>	<b>0.0714</b>	<b>0.0714</b>		<b>0.0714</b>	<b>0.0714</b>	<b>0.0000</b>	<b>220.9670</b>	<b>220.9670</b>	<b>0.9201</b>	<b>3.7400e-003</b>	<b>222.5830</b>	

7.0 Water Detail

7.1 Mitigation Measures Water

	Total CO2	CH4	N2O	CO2e
Category	M t/yr			
Mitigated	585.8952	3.0183	0.0756	603.7567
Unmitigated	585.8952	3.0183	0.0756	603.7567

7.2 Water by Land Use

Unaffiliated

Land Use	Water Use MGal	Total CO2	CH4	N2O	CO2e
		MT/yr			
Apartments Low Rise	1,07865 / 1,02988	10,9385	0,0535	1,3470e-003	12,8471
Apartments Mid Rise	63,3552 / 40,0485	425,4719	2,0967	0,0523	493,2763
General Office Building	7,99802 / 4,85201	53,0718	0,2627	6,5820e-003	61,0019
High Turnover, Sit Down Restaurant	10,9272 / 6,697482	51,2702	0,3480	6,8200e-003	62,8462
Hotel	1,28834 / 0,148927	0,1853	0,0418	1,0300e-003	7,5078
Quality Restaurant	2,43927 / 0,154868	11,3034	0,0785	1,9600e-003	13,9663
Regional Shopping Center	4,14808 / 2,54234	27,8250	0,1363	3,4200e-003	31,8497
<b>Total</b>		<b>583,9652</b>	<b>3,0183</b>	<b>0,0758</b>	<b>683,7567</b>

**7.2 Water by Land Use**

**Mitigated**

	Indoor/Outdoor Use	Total CO2	CH4	N2O	CO2e
Land Use	Mgal	MT/yr			
Apartment Low Rise	1.02685 / 1.02688	10.9355	0.0535	1.3400e-003	12.6471
Apartment Mid Rise	83.5252 / 40.0485	425.4719	2.0867	0.0523	493.2963
General Office Building	7.99602 / 4.90201	53.0719	0.2627	6.5900e-003	61.0019
High Turnover (Sit Down Restaurant)	10.9272 / 0.697482	61.2702	0.3590	8.8200e-003	62.8492
Hotel	1.26634 / 0.149927	6.1633	0.0419	1.0300e-003	7.5376
Quality Restaurant	2.43827 / 0.154566	11.3924	0.0796	1.9600e-003	13.9663
Regional Shopping Center	4.14809 / 2.94236	27.5250	0.1363	3.4200e-003	31.9490
<b>Total</b>		<b>585.9052</b>	<b>3.0183</b>	<b>0.0756</b>	<b>643.7567</b>

**8.0 Waste Detail**

**8.1 Mitigation Measures Waste**

**Category/Year**

	Total CO <sub>2</sub>	CH <sub>4</sub>	H <sub>2</sub> O	CO <sub>2</sub> e
	M T Yr			
Mitigated	207 8078	12.2811	0.0000	514.8354
Unmitigated	207 8078	12.2811	0.0000	514.8354



**8.2 Waste by Land Use**

**Unmitigated**

Land Use	Waste Disposed Tons	Total CO2	CH4	H2O	CO2e
		M T/yr			
Apartments Low Rise	11.5	2.3244	0.1383	0.0000	6.7834
Apartments Mid Rise	448.6	91.0415	5.3804	0.0000	225.5613
General Office Building	41.65	0.4862	0.5621	0.0000	21.0464
High Turnover (Sit Down Restaurant)	428.4	89.9513	6.1393	0.0000	215.4430
Hotel	27.38	6.6678	0.3285	0.0000	13.7894
Quality Restaurant	7.3	1.4818	0.0876	0.0000	3.6712
Regional Shopping Center	58.8	11.8359	0.7054	0.0000	39.5708
<b>Total</b>		<b>207.2878</b>	<b>12.2811</b>	<b>0.0000</b>	<b>614.8304</b>

**8.2 Waste by Land Use**

Mitigated

Land Use	Waste Disposed Tons	TfM CO <sub>2</sub>	CH <sub>4</sub>	N <sub>2</sub> O	CO <sub>2</sub> e
Apartment Low Rise	11.5	2.344	0.1380	0.0000	6.7804
Apartment Mid Rise	68.5	91.0415	6.3804	0.0000	225.5613
General Office Building	41.85	8.4952	0.5021	0.0000	21.0484
High Turnover Sit Down Restaurant	429.4	85.9913	6.1383	0.0000	216.4430
<b>Total</b>	<b>27.30</b>	<b>6.6579</b>	<b>0.3285</b>	<b>0.0000</b>	<b>13.7694</b>
Quality Restaurant	7.3	1.4818	0.0878	0.0000	3.8712
Regional Shopping Center	59.8	11.8369	0.7054	0.0000	29.5799
<b>Total</b>		<b>29.79879</b>	<b>12.2811</b>	<b>0.0000</b>	<b>914.8254</b>

**9.0 Operational Offroad**

Equipment Type	Number	Hours/Day	Days/Year	Horse Power	Load Factor	Fuel Type
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**10.0 Stationary Equipment**

Fire Pumps and Emergency Generators

Equipment Type	Number	Hours/Day	Hours/Year	Horse Power	Load Factor	Fuel Type
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**Boilers**

Equipment Type	Number	Heat Input/Day	Heat Input/Year	Boiler Rating	Fuel Type
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**User Defined Equipment**

Equipment Type	Number
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**11.0 Vegetation**

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Village South Specific Plan (Proposed) - Los Angeles-South Coast County, Summer

**Village South Specific Plan (Proposed)**  
**Los Angeles-South Coast County, Summer**

**1.0 Project Characteristics**

**1.1 Land Usage**

Land Uses	Size	Metric	Lot Acreage	Floor Surface Area	Population
General Office Building	45.00	1000sqft	1.03	45,000.00	0
High Turnover (Sit Down Restaurant)	36.00	1000sqft	0.83	36,000.00	0
Hotel	50.00	Room	1.67	72,000.00	0
Quality Restaurant	8.00	1000sqft	0.18	8,000.00	0
Apartments Low Rise	25.00	Dwelling Unit	1.56	25,000.00	72
Apartments Mid Rise	975.00	Dwelling Unit	25.86	975,000.00	2789
Regional Shopping Center	56.00	1000sqft	1.29	56,000.00	0

**1.2 Other Project Characteristics**

Urbanization	Urban	Wind Speed (m/s)	2.2	Precipitation Freq (Days)	33
Climate Zone	9			Operational Year	2028
Utility Company	Southern California Edison				
CO2 Intensity (lb/MWh)	702.44	CH4 Intensity (lb/MWh)	0.029	N2O Intensity (lb/MWh)	0.006

**1.3 User Entered Comments & Non-Default Data**

Village South Specific Plan (Proposed) - Los Angeles-South Coast County, Summer

Project Characteristics - Consistent with the DEIR's model

Land Use - See SWAPE comment regarding residential and retail land uses.

Construction Phase - See SWAPE comment regarding individual construction phase lengths.

Demolition - Consistent with the DEIR's model. See SWAPE comment regarding demolition

Vehicle Trips - Saturday trips consistent with the DEIR's model. See SWAPE comment regarding weekday and Sunday trips.

Woodstoves - Woodstoves and wood-burning fireplaces consistent with the DEIR's model. See SWAPE comment regarding gas fireplaces.

Energy Use -

Construction Off-road Equipment Mitigation - See SWAPE comment on construction-related mitigation.

Area Mitigation - See SWAPE comment regarding operational mitigation measures.

Water Mitigation - See SWAPE comment regarding operational mitigation measures.

Table Name	Column Name	Default Value	New Value
tblFireplaces	FireplaceWoodMass	1,019.20	0.00
tblFireplaces	FireplaceWoodMass	1,019.20	0.00
tblFireplaces	NumberWood	1.25	0.00
tblFireplaces	NumberWood	48.75	0.00
tblVehicleTrips	ST_TR	7.16	6.17
tblVehicleTrips	ST_TR	6.39	3.67
tblVehicleTrips	ST_TR	2.46	1.39
tblVehicleTrips	ST_TR	158.37	79.62
tblVehicleTrips	ST_TR	8.19	3.75
tblVehicleTrips	SI_TR	94.36	63.99
tblVehicleTrips	ST_TR	49.97	10.74
tblVehicleTrips	SU_TR	6.07	6.16
tblVehicleTrips	SU_TR	5.66	4.18
tblVehicleTrips	SU_TR	1.05	0.69
tblVehicleTrips	SU_TR	131.84	78.27

Village South Specific Plan (Proposed) - Los Angeles-South Coast County, Summer

lb/VehicleTrips	SU_TR	5.96	3.20
lb/VehicleTrips	SU_TR	77.16	57.65
lb/VehicleTrips	SU_TR	25.24	6.39
lb/VehicleTrips	WD_TR	6.59	5.83
lb/VehicleTrips	WD_TR	6.65	4.13
lb/VehicleTrips	WD_TR	11.03	8.41
lb/VehicleTrips	WD_TR	127.15	65.80
lb/VehicleTrips	WD_TR	8.17	3.84
lb/VehicleTrips	WD_TR	80.95	62.64
lb/VehicleTrips	WD_TR	42.70	9.43
lb/Woodstoves	NumberCatalytic	1.25	0.00
lb/Woodstoves	NumberCatalytic	48.75	0.00
lb/Woodstoves	NumberNoncatalytic	1.25	0.00
lb/Woodstoves	NumberNoncatalytic	48.75	0.00
lb/Woodstoves	WoodstoveDayYear	25.00	0.00
lb/Woodstoves	WoodstoveDayYear	75.00	0.00
lb/Woodstoves	WoodstoveWoodMass	999.60	0.00
lb/Woodstoves	WoodstoveWoodMass	999.60	0.00

2.0 Emissions Summary

2.1 Overall Construction (Maximum Daily Emission)

Unmitigated Construction

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Net CO2	Mobile CO2	Total CO2	CH4	N2O	CO2e
Year	lb/day										lb/day					
2021	4.2788	46.4649	31.6640	0.0643	18.2875	2.0481	20.3356	9.9840	1.8824	11.8664	0.0000	8,234.7974	8,234.7974	1.8486	0.6000	8,283.5322
2022	6.3304	38.8967	48.5629	0.1517	9.6688	1.6368	10.7727	3.6508	1.5267	5.1615	0.0000	15,281.5674	15,281.5674	1.9503	0.6000	15,278.6208
2023	4.8857	26.3317	44.7567	0.1472	9.8086	0.7784	10.6482	2.6381	0.7322	3.3702	0.0000	14,807.5268	14,807.5268	1.0250	0.6000	14,833.1521
2024	237.1830	8.6676	16.1043	0.0664	1.1884	0.4698	1.6582	0.4743	0.4322	0.8474	0.0000	2,381.3688	2,381.3688	0.7177	0.6000	2,379.3421
Maximum	237.1830	46.4388	48.5629	0.1517	18.2875	2.0481	20.3356	9.9840	1.8824	11.8664	0.0000	15,251.5674	15,251.5674	1.9503	0.6000	15,278.6208

Village South Specific Plan (Proposed) - Los Angeles-South Coast County, Summer

2.1 Overall Construction (Maximum Daily Emission)

**Mitigated Construction**

Year	Wday										Friday						
	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	HF-CO2	HFw-CO2	Total CO2	CH4	N2O	CO2e	
2021	4.2798	46.4598	31.8840	0.0643	18.2875	2.0461	20.3336	8.5240	1.8924	11.8664	0.0080	8.2317574	8.2317574	1.9495	0.6000	8.2835262	
2022	5.3304	38.8967	49.6429	0.1517	9.9688	1.6389	10.7727	3.6558	1.5057	5.1815	0.0080	15.2515674	15.2515674	1.9503	0.6000	15.2785208	
2023	4.8957	28.3317	46.7567	0.1472	8.6698	0.7794	10.0482	2.4381	0.7322	3.3702	0.0080	14.8075269	14.8075269	1.0250	0.6000	14.8331520	
2024	237.1830	9.6575	16.1043	0.0244	1.7884	0.4988	1.9828	0.4743	0.4322	0.5478	0.0080	2.3813989	2.3813989	0.7177	0.6000	2.3793421	
<b>Maximum</b>	<b>237.1830</b>	<b>46.4598</b>	<b>49.6429</b>	<b>0.1517</b>	<b>18.2875</b>	<b>2.0461</b>	<b>20.3336</b>	<b>8.5240</b>	<b>1.8924</b>	<b>11.8664</b>	<b>0.0080</b>	<b>15.2515674</b>	<b>15.2515674</b>	<b>1.9503</b>	<b>0.6000</b>	<b>15.2785208</b>	
<b>Percent Reduction</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	



2.2 Overall Operational

Unmitigated Operational

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	Non-CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Area	30.5020	15.0488	88.4430	0.0644		1.5874	1.5874		1.5874	1.5874	0.0080	18,148.58 50	18,148.58 80	0.4874	0.3300	18,258.11 82
Energy	0.7680	8.7462	4.2573	0.0418		0.5282	0.5282		0.5282	0.5282		8,356.983 2	8,356.983 2	0.1802	0.1532	8,405.636 7
Mobile	9.8489	45.4304	114.8495	0.4917	45.9582	0.3380	46.2961	12.2860	0.3118	12.6070		50,308.80 34	50,308.80 34	2.1807		50,361.12 88
<b>Total</b>	<b>41.1168</b>	<b>67.2282</b>	<b>207.5497</b>	<b>0.8278</b>	<b>45.9582</b>	<b>2.4628</b>	<b>48.4217</b>	<b>12.2950</b>	<b>2.4383</b>	<b>14.7238</b>	<b>0.0080</b>	<b>76,811.18 18</b>	<b>76,811.18 18</b>	<b>2.8282</b>	<b>0.4832</b>	<b>77,823.97 88</b>

Mitigated Operational

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	Non-CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Area	30.5020	15.0488	88.4430	0.0644		1.5874	1.5874		1.5874	1.5874	0.0080	18,148.58 50	18,148.58 50	0.4874	0.3300	18,258.11 82
Energy	0.7680	8.7462	4.2573	0.0418		0.5282	0.5282		0.5282	0.5282		8,356.983 2	8,356.983 2	0.1802	0.1532	8,405.636 7
Mobile	9.8489	45.4304	114.8495	0.4917	45.9582	0.3380	46.2961	12.2860	0.3118	12.8070		50,308.80 34	50,308.80 34	2.1807		50,361.12 88
<b>Total</b>	<b>41.1168</b>	<b>67.2282</b>	<b>207.5497</b>	<b>0.8278</b>	<b>45.9582</b>	<b>2.4628</b>	<b>48.4217</b>	<b>12.2950</b>	<b>2.4383</b>	<b>14.7238</b>	<b>0.0080</b>	<b>76,811.18 18</b>	<b>76,811.18 18</b>	<b>2.8282</b>	<b>0.4832</b>	<b>77,823.97 88</b>

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Village South Specific Plan (Proposed) - Los Angeles-South Coast County, Summer

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Site CO2	Non-CO2	Total CO2	CH4	N2O	CO2e
Percent Reduction	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00

3.0 Construction Detail

Construction Phase

Phase Number	Phase Name	Phase Type	Start Date	End Date	Num Days Week	Num Days	Phase Description
1	Demolition	Demolition	9/1/2021	10/12/2021	5	30	
2	Site Preparation	Site Preparation	10/13/2021	11/6/2021	5	20	
3	Grading	Grading	11/7/2021	1/11/2022	5	45	
4	Building Construction	Building Construction	1/12/2022	12/12/2023	5	500	
5	Paving	Paving	12/13/2023	1/30/2024	5	35	
6	Architectural Coating	Architectural Coating	1/31/2024	3/19/2024	5	35	

Acres of Grading (Site Preparation Phase): 0

Acres of Grading (Grading Phase): 112.5

Acres of Paving: 0

Residential Indoor: 2,026,000; Residential Outdoor: 675,000; Non-Residential Indoor: 328,400; Non-Residential Outdoor: 108,800; Striped Parking Area: 0 (Architectural Coating – sqft)

OffRoad Equipment

Village South Specific Plan (Proposed) - Los Angeles-South Coast County, Summer

Phase Name	Offroad Equipment Type	Amount	Usage Hours	Horse Power	Load Factor
Demolition	Concrete/Industrial Saws	1	8.00	81	0.73
Demolition	Excavators	3	8.00	156	0.38
Demolition	Rubber Tired Dozers	2	8.00	247	0.40
Site Preparation	Rubber Tired Dozers	3	8.00	247	0.40
Site Preparation	Tractors/Loaders/Backhoes	1	8.00	97	0.27
Grading	Excavators	2	8.00	156	0.38
Grading	Graders	1	8.00	187	0.41
Grading	Rubber Tired Dozers	1	8.00	247	0.40
Grading	Scrapers	2	8.00	367	0.46
Grading	Tractors/Loaders/Backhoes	2	8.00	97	0.37
Building Construction	Cranes	1	7.00	231	0.29
Building Construction	Forklifts	3	8.00	89	0.20
Building Construction	Generator Sets	1	8.00	84	0.74
Building Construction	Tractors/Loaders/Backhoes	3	7.00	97	0.37
Building Construction	Welders	1	8.00	40	0.45
Paving	Pavers	2	8.00	130	0.42
Paving	Paving Equipment	2	8.00	132	0.38
Paving	Rollers	2	8.00	80	0.38
Architectural Coating	Air Compressors	1	6.00	76	0.46

**Trips and VMT**

Village South Specific Plan (Proposed) - Los Angeles-South Coast County, Summer

Phase Name	Offroad Equipment Count	Worker Trip Number	Vendor Trip Number	Hauling Trip Number	Worker Trip Length	Vendor Trip Length	Hauling Trip Length	Worker Vehicle Class	Vendor Vehicle Class	Hauling Vehicle Class
Demolition	6	15.00	0.00	458.00	14.70	5.90	20.00	LD_Mix	HDT_Mix	HHDT
Site Preparation	7	18.00	0.00	0.00	14.70	8.90	20.00	LD_Mix	HDT_Mix	HHDT
Grading	8	20.00	0.00	0.00	14.70	9.90	20.00	LD_Mix	HDT_Mix	HHDT
Building Construction	9	801.00	143.00	0.00	14.70	9.90	20.00	LD_Mix	HDT_Mix	HHDT
Paving	6	15.00	0.00	0.00	14.70	8.90	20.00	LD_Mix	HDT_Mix	HHDT
Architectural Coating	1	180.00	0.00	0.00	14.70	9.90	20.00	LD_Mix	HDT_Mix	HHDT

3.1 Mitigation Measures Construction

3.2 Demolition - 2021

Unmitigated Construction On-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	CO2	NO2	Total CO2	CH4	H2O	CO2e
Fugitive Dust					3.3074	0.0000	3.3074	0.5008	0.0000	0.5008			0.0000			0.0000
Off-Road	3.1951	31.4497	21.5650	0.0388		1.5513	1.5513		1.4411	1.4411			3,747,944.9	1.0549		3,774,317.4
<b>Total</b>	<b>3.1951</b>	<b>31.4497</b>	<b>21.5650</b>	<b>0.0388</b>	<b>3.3074</b>	<b>1.5513</b>	<b>4.8588</b>	<b>0.5008</b>	<b>1.4411</b>	<b>1.9419</b>			<b>3,747,944.9</b>	<b>1.0549</b>		<b>3,774,317.4</b>

3.2 Demolition - 2021

Unmitigated Construction Off-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
t/day																
Hauling	0.1273	4.0952	0.9922	0.0118	0.2968	0.0128	0.2786	0.0732	0.0120	0.0862		1,292,241.5	1,292,241.5	0.0877		1,294,433.7
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Waste	0.0043	0.0442	0.0042	1.7100e-003	0.1877	1.3500e-003	0.1680	0.0440	1.2200e-003	0.0467		170,816.6	170,816.6	5.0300e-003		170,841.3
<b>Total</b>	<b>0.1316</b>	<b>4.1394</b>	<b>1.0004</b>	<b>0.0118</b>	<b>0.4246</b>	<b>0.0128</b>	<b>0.4485</b>	<b>0.1172</b>	<b>0.0120</b>	<b>0.1388</b>		<b>1,463,058.1</b>	<b>1,463,058.1</b>	<b>0.0927</b>		<b>1,465,375.0</b>

Mitigated Construction On-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
t/day																
Fugitive Dust					3.3074	0.0000	3.3074	0.5008	0.0000	0.5008			0.0000			0.0000
Off-Road	3.1661	31.4487	21.5650	0.0388		1.5613	1.5613		1.4411	1.4411	0.0000	3,747,944.8	3,747,944.8	1.0542		3,774,317.4
<b>Total</b>	<b>3.1661</b>	<b>31.4487</b>	<b>21.5650</b>	<b>0.0388</b>	<b>3.3074</b>	<b>1.5613</b>	<b>4.8588</b>	<b>0.5008</b>	<b>1.4411</b>	<b>1.9419</b>	<b>0.0000</b>	<b>3,747,944.8</b>	<b>3,747,944.8</b>	<b>1.0542</b>		<b>3,774,317.4</b>

Village South Specific Plan (Proposed) - Los Angeles-South Coast County, Summer

3.2 Demolition - 2021

**Mitigated Construction Off-Site**

Category	ROG	NOx	CO	SO <sub>2</sub>	Fugitive PM <sub>10</sub>	Exhaust PM <sub>10</sub>	PM <sub>10</sub> Total	Fugitive PM <sub>2.5</sub>	Exhaust PM <sub>2.5</sub>	PM <sub>2.5</sub> Total	lbs-CO <sub>2</sub>	lbs-CO <sub>2</sub>	Total CO <sub>2</sub>	CH <sub>4</sub>	N <sub>2</sub> O	CO <sub>2</sub> e
	lb/day										lb/day					
Hauling	0.1273	4.0962	0.9002	0.0119	0.2909	0.7728	0.2795	0.8732	0.0120	0.0852			1,282,241.3	1,282,241.3	0.0877	1,284,433.1
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000			0.0000	0.0000	0.0000	0.0000
Worker	0.0943	0.0442	0.0042	1.7100e-003	0.1877	1.3500e-003	0.1880	0.0445	1.2500e-003	0.0457			170,8155	170,8155	5.0300e-003	170,8413
<b>Total</b>	<b>0.2916</b>	<b>4.1394</b>	<b>1.5844</b>	<b>0.0136</b>	<b>0.4346</b>	<b>0.0139</b>	<b>0.4495</b>	<b>0.1178</b>	<b>0.0133</b>	<b>0.1309</b>			<b>1,483,096.8</b>	<b>1,483,096.8</b>	<b>0.0927</b>	<b>1,485,373.9</b>

3.3 Site Preparation - 2021

**Unmitigated Construction On-Site**

Category	ROG	NOx	CO	SO <sub>2</sub>	Fugitive PM <sub>10</sub>	Exhaust PM <sub>10</sub>	PM <sub>10</sub> Total	Fugitive PM <sub>2.5</sub>	Exhaust PM <sub>2.5</sub>	PM <sub>2.5</sub> Total	lbs-CO <sub>2</sub>	lbs-CO <sub>2</sub>	Total CO <sub>2</sub>	CH <sub>4</sub>	N <sub>2</sub> O	CO <sub>2</sub> e
	lb/day										lb/day					
Fugitive Dust					18.0883	0.0000	18.0883	9.9507	0.0000	9.9507			0.0000			0.0000
Off-Road	3.8887	40.4871	21.1543	0.0388		2.0643	2.0645		1.8806	1.8808			3,695,856.8	3,695,856.8	1.1920	3,715,457.3
<b>Total</b>	<b>3.8887</b>	<b>40.4871</b>	<b>21.1543</b>	<b>0.0388</b>	<b>18.0883</b>	<b>2.0643</b>	<b>20.1187</b>	<b>9.9507</b>	<b>1.8806</b>	<b>11.8118</b>			<b>3,695,856.8</b>	<b>3,695,856.8</b>	<b>1.1920</b>	<b>3,715,457.3</b>

**3.3 Site Preparation - 2021**

**Unmitigated Construction Off-Site**

Category	RSG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	lbs CO2	Nlbs CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Wuraw	0.0772	0.0530	0.7250	2.0800e-003	0.2012	1.8300e-003	0.2028	0.0034	1.5000e-003	0.0049		204.9788	204.9788	6.0480e-003		205.1298
<b>Total</b>	<b>0.0772</b>	<b>0.0530</b>	<b>0.7250</b>	<b>2.0800e-003</b>	<b>0.2012</b>	<b>1.8300e-003</b>	<b>0.2028</b>	<b>0.0034</b>	<b>1.5000e-003</b>	<b>0.0049</b>		<b>204.9788</b>	<b>204.9788</b>	<b>6.0480e-003</b>		<b>205.1298</b>

**Mitigated Construction On-Site**

Category	RSG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	lbs CO2	Nlbs CO2	Total CO2	CH4	NGO	CO2e
Category	lb/day										lb/day					
Fugitive Dust					18.0663	0.0000	18.0663	9.9307	0.0000	9.9307			0.0000			0.0000
Off Road	3.8882	60.4671	21.1563	0.0388		2.0645	2.0645		1.8809	1.8809	0.0000	3,682.8568	3,682.8568	1.1920		3,715.4573
<b>Total</b>	<b>3.8882</b>	<b>60.4671</b>	<b>21.1563</b>	<b>0.0388</b>	<b>18.0663</b>	<b>2.0645</b>	<b>20.1107</b>	<b>9.9307</b>	<b>1.8809</b>	<b>11.8116</b>	<b>0.0000</b>	<b>3,682.8568</b>	<b>3,682.8568</b>	<b>1.1920</b>		<b>3,715.4573</b>

Village South Specific Plan (Proposed) - Los Angeles-South Coast County, Summer

3.3 Site Preparation - 2021

Mitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Worker	0.0772	0.0530	0.7250	2.0000e-003	0.2012	1.8300e-003	0.2028	0.0534	1.5000e-003	0.0549		204.8788	204.8788	0.0480e-003		205.1298
Total	0.0772	0.0530	0.7250	2.0000e-003	0.2012	1.8300e-003	0.2028	0.0534	1.5000e-003	0.0549		204.8788	204.8788	0.0480e-003		205.1298

3.4 Grading - 2021

Unmitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Fugitive Dust					8.8733	0.0000	8.8733	3.5865	0.0000	3.5865			0.0000			0.0000
Off-Road	4.1812	40.3098	30.8785	0.0620		1.0053	1.0053		1.0296	1.0296			0.0070434	0.0070434	1.9420	0.0558134
Total	4.1812	40.3098	30.8785	0.0620	8.8733	1.0053	10.0587	3.5865	1.0296	5.4230			0.0070434	0.0070434	1.9420	0.0558134



3.4 Grading - 2021

Unmitigated Construction Off-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Category	Daily										Daily					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Water	0.0857	0.0588	0.8058	2.2200E-003	0.2236	1.8100E-003	0.2234	0.0593	1.8620E-003	0.0910		227.7543	227.7660	6.7100E-003		227.9217
Total	0.0857	0.0588	0.8058	2.2200E-003	0.2236	1.8100E-003	0.2234	0.0593	1.8620E-003	0.0910		227.7543	227.7660	6.7100E-003		227.9217

Mitigated Construction On-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Category	Daily										Daily					
Fugitive Dust					0.8733	0.0000	0.8733	3.5865	0.0000	3.5865			0.0000			0.0000
Off Road	4.1912	46.3698	30.8785	0.0820		1.8853	1.8853	1.8285	1.8285	3.7138	0.0000	0.0070434	0.0070434	1.9420		0.0558134
Total	4.1912	46.3698	30.8785	0.0820	0.8733	1.8853	1.8853	3.5865	1.8285	5.4273	0.0000	0.0070434	0.0070434	1.9420		0.0558134

**3.4 Grading - 2021**

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Category	t/day										t/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000			0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000			0.0000	0.0000	0.0000	0.0000
Works	0.0857	0.0588	0.8056	2.2900e-003	0.2236	1.8100e-003	0.2254	0.0593	1.8600e-003	0.0610			227.7540	227.7540	8.7100e-003	227.9217
Total	0.0857	0.0588	0.8056	2.2900e-003	0.2236	1.8100e-003	0.2254	0.0593	1.8600e-003	0.0610			227.7540	227.7540	8.7100e-003	227.9217

**3.4 Grading - 2022**

**Unmitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Category	t/day										t/day					
Fugitive Dust					8.8733	0.0200	8.8733	3.5865	0.0200	3.5965			0.0000			0.0000
Off-Road	3.6248	38.8835	20.0415	0.0621		1.8349	1.8349		1.5081	1.5081			8.0114105	8.0114105	1.9642	6.0808158
Total	3.6248	38.8835	20.0415	0.0621	8.8733	1.8349	18.3082	3.5865	1.5081	5.1088			8.0114105	8.0114105	1.9642	6.0808158

3.4 Grading - 2022

Unmitigated Construction Off-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	SO <sub>x</sub> -CO <sub>2</sub>	NO <sub>x</sub> -CO <sub>2</sub>	Total CO <sub>2</sub>	CH <sub>4</sub>	N <sub>2</sub> O	CO <sub>2</sub> e
Daily																
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.3520	0.0000	0.0000		0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Water	0.0803	0.0532	0.7432	2.2100e-003	0.2236	1.7500e-003	0.2233	0.0593	1.6100e-003	0.0608		219.7425	219.7425	6.0000e-003		219.9941
<b>Total</b>	<b>0.0803</b>	<b>0.0532</b>	<b>0.7432</b>	<b>2.2100e-003</b>	<b>0.2236</b>	<b>1.7500e-003</b>	<b>0.2233</b>	<b>0.0593</b>	<b>1.6100e-003</b>	<b>0.0608</b>		<b>219.7425</b>	<b>219.7425</b>	<b>6.0000e-003</b>		<b>219.9941</b>

Mitigated Construction On-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	SO <sub>x</sub> -CO <sub>2</sub>	NO <sub>x</sub> -CO <sub>2</sub>	Total CO <sub>2</sub>	CH <sub>4</sub>	N <sub>2</sub> O	CO <sub>2</sub> e
Daily																
Fugitive Dust					0.8733	0.0000	0.8733	3.5965	0.0000	3.5965			0.0000			0.0000
Off-Road	3.8248	39.0435	29.0415	0.0821		1.8349	1.8349		1.5041	1.5041	0.0000	8.0114105	8.0114105	1.9442		8.0905158
<b>Total</b>	<b>3.8248</b>	<b>39.0435</b>	<b>29.0415</b>	<b>0.0821</b>	<b>0.8733</b>	<b>1.8349</b>	<b>1.8349</b>	<b>3.5965</b>	<b>1.5041</b>	<b>1.5041</b>	<b>0.0000</b>	<b>8.0114105</b>	<b>8.0114105</b>	<b>1.9442</b>		<b>8.0905158</b>

**3.4 Grading - 2022**

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	RBio-CO2	Total CO2	CH4	H2O	CO2e
Category	b/dy										b/dy					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0069	0.0000	0.0069	0.0000	0.0000	0.0000			0.0069	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000			0.0000	0.0000	0.0000	0.0000
Worker	0.0803	0.0532	0.7432	2.2100e-003	0.2236	1.7500e-000	0.2253	0.0693	1.8100e-000	0.0698			219.7425	219.7425	0.0000e-000	219.9841
Total	0.0803	0.0532	0.7432	2.2100e-003	0.2236	1.7500e-000	0.2253	0.0693	1.8100e-000	0.0698			219.7425	219.7425	0.0000e-000	219.9841

**3.5 Building Construction - 2022**

**Unmitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	RBio-CO2	Total CO2	CH4	H2O	CO2e
Category	b/dy										b/dy					
Off Road	1.7062	15.8156	16.3834	0.0298		0.8090	0.8090		0.7812	0.7812			2,554,332.8	2,554,332.8	0.8120	2,569,632.2
Total	1.7062	15.8156	16.3834	0.0298		0.8090	0.8090		0.7812	0.7812			2,554,332.8	2,554,332.8	0.8120	2,569,632.2

3.5 Building Construction - 2022

Unmitigated Construction Off-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	Net CO2	Total CO2	CH4	NO2	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Vendor	0.4078	13.2032	3.4345	0.0364	0.9155	0.0248	0.9404	0.2636	0.0237	0.2873		3,898,548	3,898,548	0.2236		3,902,138
Water	2.2162	2.1318	29.7854	0.0863	8.9533	0.0701	9.0234	2.3742	0.0644	2.4386		8,902,647	8,900,655	0.2429		8,904,758
Total	2.6242	15.3350	33.1993	0.1247	8.8688	0.0949	8.9637	2.6381	0.0883	2.7263		12,897,338	12,897,338	0.4665		12,766,998

Mitigated Construction On-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	Net CO2	Total CO2	CH4	NO2	CO2e
Category	lb/day										lb/day					
Off-Road	1.7062	15.0454	16.3634	0.0288		0.8090	0.8090		0.7612	0.7612	0.0000	2,554,333	2,554,333	0.6120		2,569,432
Total	1.7062	15.0454	16.3634	0.0288		0.8090	0.8090		0.7612	0.7612	0.0000	2,554,333	2,554,333	0.6120		2,569,432

3.5 Building Construction - 2022

Mitigated Construction On-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	3.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000
Vendor	0.4078	13.2032	3.4341	0.0364	7.9155	0.0248	0.0408	0.2638	0.0237	0.2875	3,998,548	3,998,548	3,998,548	0.2236		3,907,130
Worker	3.2162	2.1318	29.7864	0.0083	8.9533	0.0701	9.0734	2.3740	0.0646	2.4390	8,600,887	8,600,887	8,600,887	0.2429		8,606,759
<b>Total</b>	<b>3.6242</b>	<b>15.3350</b>	<b>33.1985</b>	<b>0.1247</b>	<b>8.9988</b>	<b>0.0949</b>	<b>9.0837</b>	<b>2.6381</b>	<b>0.0883</b>	<b>2.7263</b>	<b>12,600,223</b>	<b>12,600,223</b>	<b>12,600,223</b>	<b>0.4665</b>		<b>12,708,990</b>

3.5 Building Construction - 2023

Unmitigated Construction On-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
	lb/day										lb/day					
Off Road	1.5728	14.3849	16.2448	0.0288		0.6907	0.6907		0.6584	0.6584	2,555,209	2,555,209	2,555,209	0.6079		2,576,486
<b>Total</b>	<b>1.5728</b>	<b>14.3849</b>	<b>16.2448</b>	<b>0.0288</b>		<b>0.6907</b>	<b>0.6907</b>		<b>0.6584</b>	<b>0.6584</b>	<b>2,555,209</b>	<b>2,555,209</b>	<b>2,555,209</b>	<b>0.6079</b>		<b>2,576,486</b>

**3.5 Building Construction - 2023**

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Vendor	0.3027	10.0181	3.1014	0.0352	0.9156	0.0116	0.9271	0.2636	0.0111	0.2747		3,773,876 2	3,773,876 2	0.1982		3,778,830 0
Worker	3.0203	1.9287	27.4113	0.0851	9.9533	0.0681	9.0214	2.3745	0.0627	2.4372		8,478,440 8	8,478,440 8	0.2190		8,483,916 0
<b>Total</b>	<b>3.3229</b>	<b>11.9468</b>	<b>30.5127</b>	<b>0.1203</b>	<b>8.8988</b>	<b>0.0797</b>	<b>9.9485</b>	<b>2.6381</b>	<b>0.0738</b>	<b>2.7118</b>		<b>12,252,317</b>	<b>12,252,317</b>	<b>0.4172</b>		<b>12,262,746</b>

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	1.5728	14.3848	16.2440	0.0289		0.6997	0.6997		0.6584	0.6584	0.0000	2,555,209 9	2,555,209 9	0.6079		2,570,466 1
<b>Total</b>	<b>1.5728</b>	<b>14.3848</b>	<b>16.2440</b>	<b>0.0289</b>		<b>0.6997</b>	<b>0.6997</b>		<b>0.6584</b>	<b>0.6584</b>	<b>0.0000</b>	<b>2,555,209</b>	<b>2,555,209</b>	<b>0.6079</b>		<b>2,570,466</b>

3.5 Building Construction - 2023

Mitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e	
Category	Industry										Industry						
Heating	0.0000	0.0000	0.0000	0.0020	0.0000	0.0030	0.0030	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000			0.0000
Vendor	0.3027	10.0181	3.1014	0.0352	0.9154	0.0116	0.9271	0.2636	0.0111	0.2747		3,773.8762	3,773.8762	0.1982			3,778.0300
Worker	3.0203	1,9287	27,4113	0.0851	9,9533	0.0681	9,0214	2,3240	0.0627	2,4072		8,478.4408	8,478.4408	0.2190			8,483.9180
Total	3.3229	11.0468	30.5127	0.1203	8.8887	0.0797	9.9485	2.6371	0.0738	2.7118		12,252.3178	12,252.3178	0.4172			12,262.7490

3.6 Paving - 2023

Unmitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e	
Category	Industry										Industry						
On Road	1.0327	10.1917	14.5842	0.0228		0.5102	0.5102		0.4884	0.4884		2,207.5861	2,207.5861	0.7140			2,225.4336
Paving	0.0000					0.0000	0.0000		0.0000	0.0000			0.0000				0.0000
Total	1.0327	10.1917	14.5842	0.0228		0.5102	0.5102		0.4884	0.4884		2,207.5861	2,207.5861	0.7140			2,225.4336



3.6 Paving - 2023

Unmitigated Construction Off-Site

Category	RGG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	GHG	NGO	CO2e
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Water	0.0588	0.0361	0.5133	1.5800e-003	0.1877	1.2800e-003	0.1689	0.0445	1.1700e-003	0.0456		158.7723	158.7723	4.1000e-003		158.8748
<b>Total</b>	<b>0.0588</b>	<b>0.0361</b>	<b>0.5133</b>	<b>1.5800e-003</b>	<b>0.1877</b>	<b>1.2800e-003</b>	<b>0.1689</b>	<b>0.0445</b>	<b>1.1700e-003</b>	<b>0.0456</b>		<b>158.7723</b>	<b>158.7723</b>	<b>4.1000e-003</b>		<b>158.8748</b>

Mitigated Construction On-Site

Category	RGG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	GHG	NGO	CO2e
Off-Road	1.0327	10.1917	14.5862	0.0228	0.3102	0.3102	0.4894	0.4894	0.0000	2,207.5841	2,207.5841	0.7143				2,215.4336
Paving	0.0000				0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000			0.0000
<b>Total</b>	<b>1.0327</b>	<b>10.1917</b>	<b>14.5862</b>	<b>0.0228</b>	<b>0.3102</b>	<b>0.3102</b>	<b>0.4894</b>	<b>0.4894</b>	<b>0.0000</b>	<b>2,207.5841</b>	<b>2,207.5841</b>	<b>0.7143</b>				<b>2,215.4336</b>

3.6 Paving - 2023

Mitigated Construction Off-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Water	0.0566	0.0361	0.5133	1.5900e-003	0.1877	1.2800e-003	0.1889	0.0445	1.1700e-003	0.0456	158.7723	158.7723	4.1000e-003			158.8748
<b>Total</b>	<b>0.0566</b>	<b>0.0361</b>	<b>0.5133</b>	<b>1.5900e-003</b>	<b>0.1877</b>	<b>1.2800e-003</b>	<b>0.1889</b>	<b>0.0445</b>	<b>1.1700e-003</b>	<b>0.0456</b>	<b>158.7723</b>	<b>158.7723</b>	<b>4.1000e-003</b>			<b>158.8748</b>

3.6 Paving - 2024

Unmitigated Construction On-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Off-Road	0.9882	0.5248	14.6258	0.0228		0.4885	0.4885		0.4310	0.4310			2,287,547.2	0.7140		2,225,398.3
Paving	0.0000					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
<b>Total</b>	<b>0.9882</b>	<b>0.5248</b>	<b>14.6258</b>	<b>0.0228</b>		<b>0.4885</b>	<b>0.4885</b>		<b>0.4310</b>	<b>0.4310</b>			<b>2,287,547.2</b>	<b>0.7140</b>		<b>2,225,398.3</b>

**3.6 Paving - 2024**

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Category	bldg										bldg					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Worker	0.0536	0.0329	0.4785	1.5600e-003	0.1877	1.2600e-003	0.1689	0.0440	1.1600e-003	0.0458		153.8517	153.8517	3.7600e-003		153.9408
Total	0.0536	0.0329	0.4785	1.5600e-003	0.1877	1.2600e-003	0.1689	0.0440	1.1600e-003	0.0458		153.8517	153.8517	3.7600e-003		153.9408

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Category	bldg										bldg					
Off-Road	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Paving	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Total	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000

3.6 Paving - 2024

**MITigated Construction On-Site**

	PM10	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-GO2	NO2-GO2	Total GO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Worker	0.0535	0.0529	0.4790	1.5400e-003	0.1877	1.2600e-003	0.1899	0.0445	1.1600e-003	0.0458		153.8517	153.8517	3.7000e-003		153.9468
Total	0.0535	0.0529	0.4790	1.5400e-003	0.1877	1.2600e-003	0.1899	0.0445	1.1600e-003	0.0458		153.8517	153.8517	3.7000e-003		153.9468

3.7 Architectural Coating - 2024

**Unmitigated Construction On-Site**

	PM10	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-GO2	NO2-GO2	Total GO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Arch Coating	256.4115					0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000			0.0000
Off Road	0.1808	1.2189	1.8101	2.9700e-003		0.0809	0.0809	0.0808	0.0808	0.0809		281.4481	281.4481	0.0159		281.8443
Total	256.5923	1.2189	1.8101	2.9700e-003		0.0809	0.0809	0.0808	0.0808	0.0809		281.4481	281.4481	0.0159		281.8443

**3.7 Architectural Coating - 2024**

**Unmitigated Construction Off-Site**

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	Net- CO2	Total CO2	CH4	NO2	CO2e
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Water	0.0707	0.3513	0.1044	0.0166	1.7884	0.0134	1.8018	0.4743	0.0123	0.4866		1,641,082	1,641,082	0.0491		1,642,888
<b>Total</b>	<b>0.0707</b>	<b>0.3513</b>	<b>0.1044</b>	<b>0.0166</b>	<b>1.7884</b>	<b>0.0134</b>	<b>1.8018</b>	<b>0.4743</b>	<b>0.0123</b>	<b>0.4866</b>		<b>1,641,082</b>	<b>1,641,082</b>	<b>0.0491</b>		<b>1,642,888</b>

**Mitigated Construction On-Site**

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	Net- CO2	Total CO2	CH4	NO2	CO2e
Arch. Coating	238.4115					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Off-Road	0.1808	1.2188	1.8101	2.9700e-003		0.0809	0.0809		0.0809	0.0809	0.0000	281.4481	281.4481	0.0159		281.8443
<b>Total</b>	<b>238.5923</b>	<b>1.2188</b>	<b>1.8101</b>	<b>2.9700e-003</b>		<b>0.0809</b>	<b>0.0809</b>		<b>0.0809</b>	<b>0.0809</b>	<b>0.0000</b>	<b>281.4481</b>	<b>281.4481</b>	<b>0.0159</b>		<b>281.8443</b>

**3.7 Architectural Coating - 2024**

**Mitigated Construction Off-Site**

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	MBio-CO2	Total CO2	CH4	N2O	CO2e
	Daily										Daily					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Works	0.5707	0.3513	5.1044	0.0185	1.7884	0.0134	1.8018	0.4743	0.0123	0.4866		1,641,985.2	1,641,985.2	0.0401		1,642,025.6
<b>Total</b>	<b>0.5707</b>	<b>0.3513</b>	<b>5.1044</b>	<b>0.0185</b>	<b>1.7884</b>	<b>0.0134</b>	<b>1.8018</b>	<b>0.4743</b>	<b>0.0123</b>	<b>0.4866</b>		<b>1,641,985.2</b>	<b>1,641,985.2</b>	<b>0.0401</b>		<b>1,642,025.6</b>

**4.0 Operational Detail - Mobile**

**4.1 Mitigation Measures Mobile**

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Mitigated	8.8439	45.4364	114.8485	0.4817	48.9592	0.3380	48.2961	12.2560	0.3119	12.6070	50,308.80	50,308.80	2,189.7			58,361.12
Unmitigated	8.8439	45.4364	114.8485	0.4817	48.9592	0.3380	48.2961	12.2560	0.3119	12.6070	50,308.80	50,308.80	2,189.7			58,361.12

4.2 Trip Summary Information

Land Use	Average Daily Trip Rate			Unmitigated Annual VMT	Mitigated Annual VMT
	Weekday	Saturday	Sunday		
Apartments Low Rise	145.75	154.25	154.00	506,227	506,227
Apartments Mid Rise	4,026.75	3,773.25	4,075.90	13,860,065	13,660,065
General Office Building	288.42	62.55	31.05	706,812	706,812
High Turnover (Sit Down Restaurant)	2,368.80	2,873.52	2,817.72	3,413,937	3,413,937
Hotel	192.00	187.50	180.00	445,703	445,703
Quality Restaurant	501.12	511.62	461.20	707,488	707,488
Regional Shopping Center	528.08	801.44	357.84	1,112,221	1,112,221
<b>Total</b>	<b>8,050.85</b>	<b>8,184.43</b>	<b>8,057.31</b>	<b>23,552,452</b>	<b>23,552,452</b>

4.3 Trip Type Information

Village South Specific Plan (Proposed) - Los Angeles-South Coast County, Summer

Land Use	Miles			Trip %			Trip Purpose %		
	H-W or C-W	H-S or C-C	H-O or C-NW	H-W or C-W	H-S or C-C	H-O or C-NW	Primary	Diverted	Pass-by
Apartments Low Rise	14.70	5.90	8.70	40.20	19.20	40.60	86	11	3
Apartments Mid Rise	14.70	5.90	8.70	40.20	19.20	40.60	86	11	3
General Office Building	16.80	8.40	6.90	33.00	48.00	19.00	77	19	4
High Turnover (Sit Down Restaurant)	16.80	8.40	6.90	8.50	72.50	19.00	37	20	43
Hotel	16.80	8.40	6.90	19.40	81.60	19.00	58	36	4
Quality Restaurant	16.80	8.40	6.90	12.00	88.00	19.00	38	18	44
Regional Shopping Center	16.80	8.40	6.90	16.30	64.70	19.00	54	35	11

4.4 Fleet Mix

Land Use	LDA	LDT1	LDT2	MDV	LHD1	LHD2	BRD	HND	CRUS	URUS	MCY	SRUS	NH
Apartments Low Rise	0.543088	0.044216	0.209971	0.116369	0.014033	0.006332	0.021166	0.033577	0.002613	0.001817	0.005285	0.000712	0.000821
Apartments Mid Rise	0.543088	0.044216	0.209971	0.116369	0.014033	0.006332	0.021166	0.033577	0.002613	0.001817	0.005285	0.000712	0.000821
General Office Building	0.543088	0.044216	0.209971	0.116369	0.014033	0.006332	0.021166	0.033577	0.002613	0.001817	0.005285	0.000712	0.000821
High Turnover (Sit Down Restaurant)	0.543088	0.044216	0.209971	0.116369	0.014033	0.006332	0.021166	0.033577	0.002613	0.001817	0.005285	0.000712	0.000821
Hotel	0.543088	0.044216	0.209971	0.116369	0.014033	0.006332	0.021166	0.033577	0.002613	0.001817	0.005285	0.000712	0.000821
Quality Restaurant	0.543088	0.044216	0.209971	0.116369	0.014033	0.006332	0.021166	0.033577	0.002613	0.001817	0.005285	0.000712	0.000821
Regional Shopping Center	0.543088	0.044216	0.209971	0.116369	0.014033	0.006332	0.021166	0.033577	0.002613	0.001817	0.005285	0.000712	0.000821

5.0 Energy Detail

Historical Energy Use: N

5.1 Mitigation Measures Energy



	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	Non- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Natural Gas Mitigated	0.7990	6.7462	4.2573	0.0418		0.5292	0.5292		0.5292	0.5292		8,355,983	8,355,983	0.1602	0.1532	8,405,436
Natural Gas Unmitigated	0.7990	6.7462	4.2573	0.0418		0.5292	0.5292		0.5292	0.5292		8,355,983	8,355,983	0.1602	0.1532	8,405,436

Village South Specific Plan (Proposed) - Los Angeles-South Coast County, Summer

5.2 Energy by Land Use - Natural Gas

Unmitigated

Land Use	Natural Gas Use	COG	NOx	CO	SO2	PM10						PM2.5						
						Exhaust	Exhaust	Exhaust	Exhaust	Exhaust	Exhaust	Exhaust	Exhaust	Exhaust	Exhaust	Exhaust	Exhaust	
Apartment Low Rise	1199.16	0.0121	0.1031	0.0438	6.6000e-004	8.3400e-003	8.3400e-003	8.3400e-003	8.3400e-003	8.3400e-003	8.3400e-003	8.3400e-003	8.3400e-003	131.6862	131.6862	2.5200e-003	2.4100e-003	132.4496
Apartment Mid Rise	35784.3	0.3859	3.2078	1.4033	0.8211	0.2984	0.2984	0.2984	0.2984	0.2984	0.2984	0.2984	0.2984	4,209,916.4	4,209,916.4	0.0807	0.0772	4,234,933.9
General Office Building	1283.42	0.0138	0.1258	0.1057	7.5000e-004	9.5800e-003	9.5800e-003	9.5800e-003	9.5800e-003	9.5800e-003	9.5800e-003	9.5800e-003	9.5800e-003	150.9811	150.9811	2.8900e-003	2.7700e-003	151.8894
High Turnover (Sit Down Restaurant)	22769.9	0.2485	2.2314	1.8743	0.0134	0.1898	0.1898	0.1898	0.1898	0.1898	0.1898	0.1898	0.1898	2,677,834.2	2,677,834.2	0.0613	0.0491	2,680,548.0
Hotel	4799.72	0.0514	0.4678	0.3828	2.8100e-003	0.0355	0.0355	0.0355	0.0355	0.0355	0.0355	0.0355	0.0355	581,1438	581,1438	0.0108	0.0103	584,4792
Quickly Restaurant	6067.75	0.0545	0.4969	0.4185	2.9800e-003	0.0377	0.0377	0.0377	0.0377	0.0377	0.0377	0.0377	0.0377	685,0298	685,0298	0.0114	0.0108	688,5658
Regional Shopping Center	251,816	2.7100e-003	0.0247	0.0207	1.5000e-004	1.8700e-003	1.8700e-003	1.8700e-003	1.8700e-003	1.8700e-003	1.8700e-003	1.8700e-003	1.8700e-003	29,8018	29,8018	5.7000e-004	5.4000e-004	29,7778
<b>Total</b>		<b>0.7869</b>	<b>6.7483</b>	<b>4.2573</b>	<b>8.0418</b>	<b>0.5282</b>	<b>0.5282</b>	<b>0.5282</b>	<b>0.5282</b>	<b>0.5282</b>	<b>0.5282</b>	<b>0.5282</b>	<b>0.5282</b>	<b>8,355,983.7</b>	<b>8,355,983.7</b>	<b>0.1892</b>	<b>0.1832</b>	<b>8,405,838.7</b>

**5.2 Energy by Land Use - Natural Gas**

**Mitigated**

Land Use	Natural Gas Use	COG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	Net-CO2	Total CO2	CH4	N2O	CO2e
	kBTU/yr	lb/day										lb/yr					
Apartments Low Rise	1.1181E+06	0.0121	0.1031	0.0039	6.600E-004	0.340E-003	0.340E-003	0.340E-003	0.340E-003	0.340E-003	0.340E-003		131.8642	131.8662	2.520E-003	2.410E-003	132.4488
Apartments Mid Rise	35.7843	0.3864	3.2978	1.4033	0.6211	0.2888	0.2888	0.2888	0.2888	0.2888	0.2888		4,209.9184	4,209.9184	0.0807	0.0772	4,224.9339
General Office Building	1.2834E+06	0.0138	0.1258	0.1067	7.500E-004	3.580E-003	3.580E-003	3.580E-003	3.580E-003	3.580E-003	3.580E-003		150.9811	150.9811	2.890E-003	2.770E-003	151.8984
High Turnover (Sit Down Restaurant)	22.7599	0.2456	2.2014	1.8743	0.0134	3.1864	0.1669	0.1669	0.1669	0.1669	0.1669		2,677.6312	2,677.6312	0.0613	0.0491	2,693.5460
Hotel	4.7097E+06	0.0514	0.4676	0.3829	2.810E-003	0.0356	0.0356	0.0356	0.0356	0.0356	0.0356		681.1436	681.1436	0.0108	0.0103	684.4782
Quick Restaurant	6.0677E+06	0.0646	0.4669	0.4165	2.980E-003	0.0377	0.0377	0.0377	0.0377	0.0377	0.0377		945.0298	945.0298	0.0114	0.0109	948.9636
Regional Shopping Center	0.25181E+06	0.0247	0.0247	0.0207	1.500E-004	1.870E-003	1.870E-003	1.870E-003	1.870E-003	1.870E-003	1.870E-003		28.6019	28.6019	5.700E-004	5.400E-004	29.7778
<b>Total</b>		<b>0.7966</b>	<b>6.7443</b>	<b>4.2973</b>	<b>0.0418</b>	<b>0.5292</b>	<b>0.5292</b>	<b>0.5292</b>	<b>0.5292</b>	<b>0.5292</b>	<b>0.5292</b>		<b>8,355.9832</b>	<b>8,355.9832</b>	<b>0.1682</b>	<b>0.1532</b>	<b>8,495.8387</b>

**6.0 Area Detail**

**6.1 Mitigation Measures Area**

Village South Specific Plan (Proposed) - Los Angeles-South Coast County, Summer

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	Non- CO2	Total CO2	CH4	N2O	CO2e
Category	Ridgey										Ridgey					
Mitigated	30.5670	15.0498	88.4430	0.0844		1.5974	1.5974		1.5974	1.5974	0.0000	18,148.5950	18,148.5950	0.4874	0.3300	18,258.1192
Unmitigated	30.5670	15.0498	88.4430	0.0844		1.5974	1.5974		1.5974	1.5974	0.0000	18,148.5950	18,148.5950	0.4874	0.3300	18,258.1192

6.2 Area by SubCategory

Unmitigated

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	Non- CO2	Total CO2	CH4	N2O	CO2e
SubCategory	Ridgey										Ridgey					
Architecture Coating	2.2870					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Consumer Products	24.1085					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Health	1.6500	14.1000	6.0000	0.0800		1.1400	1.1400		1.1400	1.1400	0.0000	18,000.0000	18,000.0000	0.3450	0.3300	18,108.9850
Landscaping	2.4788	0.9498	82.4430	0.3600		0.4574	0.4574		0.4574	0.4574		148.5950	148.5950	0.1424		152.1542
Total	30.5670	15.0498	88.4430	0.0844		1.5974	1.5974		1.5974	1.5974	0.0000	18,148.5950	18,148.5950	0.4874	0.3300	18,258.1192

6.2 Area by SubCategory

Mitigated

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	Hbio- CO2	Total CO2	LHA	N2O	CO2e
SubCategory	lb/day										lb/day					
Architectural Coating	2.2870				0.0000	0.0000	0.0000	0.0000	0.0000	0.0000			0.0000			0.0000
Consumer Products	24.1686				0.0000	0.0000	0.0000	0.0000	0.0000	0.0000			0.0000			0.0000
Wearth	1.6500	14.1000	0.0000	0.0000	1.1400	1.1400	1.1400	1.1400	1.1400	1.1400	0.0000	18,000.00	18,000.00	0.3400	0.3300	18,196.36
Landscaping	2.4788	0.9498	82.4430	4.3600e-003	0.4574	0.4574	0.4574	0.4574	0.4574	0.4574		148.6930	148.6960	0.1424		152.1642
<b>Total</b>	<b>30.5029</b>	<b>15.0498</b>	<b>82.4430</b>	<b>0.0000</b>	<b>1.5974</b>	<b>1.5974</b>	<b>1.5974</b>	<b>1.5974</b>	<b>1.5974</b>	<b>1.5974</b>	<b>0.0000</b>	<b>18,148.69</b>	<b>18,148.69</b>	<b>0.4824</b>	<b>0.3300</b>	<b>18,256.11</b>

7.0 Water Detail

7.1 Mitigation Measures Water

8.0 Waste Detail

8.1 Mitigation Measures Waste

9.0 Operational Offroad

Equipment Type	Number	Hours/Day	Days/Year	Horse Power	Load Factor	Fuel Type
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10.0 Stationary Equipment

Village South Specific Plan (Proposed) - Los Angeles-South Coast County, Summer

**Fire Pumps and Emergency Generators**

Equipment Type	Number	Hours/Day	Hours/Year	Horse Power	Load Factor	Fuel Type
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**Boilers**

Equipment Type	Number	Heat Input/Day	Heat Input/Year	Boiler Rating	Fuel Type
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**User Defined Equipment**

Equipment Type	Number
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**11.0 Vegetation**

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**Village South Specific Plan (Proposed)**  
**Los Angeles-South Coast County, Winter**

**1.0 Project Characteristics**

**1.1 Land Usage**

Land Uses	Size	Metric	Lot Acreage	Floor Surface Area	Population
General Office Building	45.00	1000sqft	1.03	45,000.00	0
High Turnover (Sit Down Restaurant)	36.00	1000sqft	0.83	36,000.00	0
Hotel	50.00	Room	1.67	72,600.00	0
Quality Restaurant	8.00	1000sqft	0.18	8,000.00	0
Apartments Low Rise	25.00	Dwelling Unit	1.56	25,000.00	72
Apartments Mid Rise	975.00	Dwelling Unit	25.86	975,000.00	2789
Regional Shopping Center	56.00	1000sqft	1.29	56,000.00	0

**1.2 Other Project Characteristics**

Urbanization	Urban	Wind Speed (mi/s)	2.2	Precipitation Freq (Days)	33
Climate Zone	9			Operational Year	2028
Utility Company	Southern California Edison				
CO2 Intensity (lb/MWh)	702.44	CH4 Intensity (lb/MWh)	0.029	N2O Intensity (lb/MWh)	0.006

**1.3 User Entered Comments & Non-Default Data**

Village South Specific Plan (Proposed) - Los Angeles South Coast County, Winter

Project Characteristics - Consistent with the DEIR's model

Land Use - See SWAPE comment regarding residential and retail land uses.

Construction Phase - See SWAPE comment regarding individual construction phase lengths.

Demolition - Consistent with the DEIR's model. See SWAPE comment regarding demolition.

Vehicle Trips - Saturday trips consistent with the DEIR's model. See SWAPE comment regarding weekday and Sunday trips.

Woodstoves - Woodstoves and wood-burning fireplaces consistent with the DEIR's model. See SWAPE comment regarding gas fireplaces.

Energy Use -

Construction Off-road Equipment Mitigation - See SWAPE comment on construction-related mitigation.

Area Mitigation - See SWAPE comment regarding operational mitigation measures.

Water Mitigation - See SWAPE comment regarding operational mitigation measures.

Table Name	Column Name	Default Value	New Value
tblFireplaces	FireplaceWoodMass	1,019.20	0.00
tblFireplaces	FireplaceWoodMass	1,019.20	0.00
tblFireplaces	NumberWood	1.25	0.00
tblFireplaces	NumberWood	49.75	0.00
tblVehicleTrips	ST_TR	7.16	6.17
tblVehicleTrips	ST_TR	6.39	3.87
tblVehicleTrips	ST_TR	2.46	1.39
tblVehicleTrips	ST_TR	158.37	79.82
tblVehicleTrips	ST_TR	8.19	3.75
tblVehicleTrips	SI_TR	94.36	63.99
tblVehicleTrips	ST_TR	49.97	10.74
tblVehicleTrips	SU_TR	6.07	5.16
tblVehicleTrips	SU_TR	5.86	4.18
tblVehicleTrips	SU_TR	1.05	0.69
tblVehicleTrips	SU_TR	131.84	78.27



Village South Specific Plan (Proposed) - Los Angeles-South Coast County, Winter

lbVehicleTrips	SU_TR	5.95	3.20
lbVehicleTrips	SU_TR	77.16	57.85
lbVehicleTrips	SU_TR	25.24	6.39
lbVehicleTrips	WD_TR	6.59	5.83
lbVehicleTrips	WD_TR	6.85	4.13
lbVehicleTrips	WD_TR	11.03	6.41
lbVehicleTrips	WD_TR	127.15	65.80
lbVehicleTrips	WD_TR	8.17	3.84
lbVehicleTrips	WD_TR	89.55	62.84
lbVehicleTrips	WD_TR	42.70	9.40
lbWoodstoves	NumberCatalytic	1.25	0.00
lbWoodstoves	NumberCatalytic	49.75	0.00
lbWoodstoves	NumberNoncatalytic	1.25	0.00
lbWoodstoves	NumberNoncatalytic	49.75	0.00
lbWoodstoves	WoodstoveDayYear	25.00	0.00
lbWoodstoves	WoodstoveDayYear	25.00	0.00
lbWoodstoves	WoodstoveWoodMass	999.60	0.00
lbWoodstoves	WoodstoveWoodMass	999.60	0.00

2.0 Emissions Summary

**2.1 Overall Construction (Maximum Daily Emission)**

**Unmitigated Construction**

Year	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	Fossil- CO2	Total CO2	CH4	N2O	CO2e
	lb/day										lb/day					
2021	4.2866	48.4851	31.6150	0.3042	18.2376	2.0481	20.3156	9.2520	1.8924	11.8864	0.0000	6,221.4827	6,221.4827	1.8481	0.8000	6,276.2214
2022	6.7219	38.8024	47.3319	0.1465	9.8688	1.6368	10.7736	3.9558	1.5291	5.1811	0.0000	14,830.3099	14,830.3099	1.9499	0.8000	14,857.2863
2023	5.2705	26.4914	44.5930	0.1413	9.8688	0.7800	10.6488	2.6381	0.7328	3.3708	0.0000	14,210.3434	14,210.3434	1.0230	0.8000	14,226.9160
2024	237.2328	9.6910	16.0811	0.0283	1.7884	0.4689	1.9828	0.4743	0.4322	0.6478	0.0000	2,352.4178	2,352.4178	0.7176	0.8000	2,370.3660
Maximum	237.2328	48.4851	47.3319	0.1455	18.2376	2.0481	20.3153	9.9848	1.8924	11.8864	0.0000	14,830.3099	14,830.3099	1.9428	0.8000	14,857.2863

2.1 Overall Construction (Maximum Daily Emission)

Mitigated Construction

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	RBio-CO2	Total CO2	CH4	N2O	CO2e
Year	lb/day										lb/day					
2021	4.2805	48.4881	31.6150	0.2842	18.2875	2.0491	20.3366	8.2840	1.8826	11.8664	0.0000	8.2214837	8.2214837	1.8481	0.0000	8.2702214
2022	6.7218	38.6024	47.3318	0.1455	9.8888	1.8388	10.7276	3.8528	1.5087	5.1615	0.0000	14.8303888	14.8303888	1.9498	0.0000	14.8572888
2023	5.2705	26.4814	44.5836	0.1413	9.8888	0.7800	10.6688	2.6381	0.7328	3.3708	0.0000	14.2103434	14.2103434	1.0230	0.0000	14.2309180
2024	237.2328	188810	16.0811	0.0543	1.1884	0.4898	1.6782	0.4743	0.4322	0.8478	0.0000	2.3524178	2.3524178	0.7176	0.0000	2.3783660
Maximum	237.2328	48.4881	47.3318	0.1455	18.2875	2.0491	20.3366	8.8868	1.8826	11.8694	0.0000	14.8303888	14.8303888	1.9498	0.0000	14.8572888
Percent Reduction	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00

2.2 Overall Operational

Unmitigated Operational

	ROG	NOx	CO	CO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	ND- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Area	30.5620	15.5428	65.4420	0.2844		1.5974	1.5974		1.5974	1.5974	0.0000	18,148.59	18,148.59	0.4874	0.3260	18,256.11
Energy	0.7880	8.7482	4.2573	0.0418		0.5292	0.5292		0.5292	0.5292		8,355.983	8,355.983	0.1802	0.1532	8,405.638
Mobile	9.5233	45.9914	110.0422	0.4681	45.9582	0.3373	46.2965	12.2950	0.3132	12.6083		47,917.80	47,917.80	2.1953		47,972.98
Total	40.7912	67.7872	202.7424	0.8043	45.9582	2.4640	48.4221	12.2950	2.4399	14.7348	0.0000	74,422.37	74,422.37	2.8429	0.4832	74,637.44

Mitigated Operational

	ROG	NOx	CO	CO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	ND- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Area	30.5620	15.0495	66.4430	0.2844		1.5974	1.5974		1.5974	1.5974	0.0000	18,148.59	18,148.59	0.4874	0.3260	18,256.11
Energy	0.7880	8.7482	4.2573	0.0418		0.5292	0.5292		0.5292	0.5292		8,355.983	8,355.983	0.1802	0.1532	8,405.638
Mobile	9.5233	45.9914	110.0422	0.4681	45.9582	0.3373	46.2965	12.2950	0.3132	12.6083		47,917.80	47,917.80	2.1953		47,972.98
Total	40.7912	67.7872	202.7424	0.8043	45.9582	2.4640	48.4221	12.2950	2.4399	14.7348	0.0000	74,422.37	74,422.37	2.8429	0.4832	74,637.44

Village South Specific Plan (Proposed) - Los Angeles South Coast County, Winter

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio-CO2	Total CO2	CH4	N2o	CO3e
Percent Reduction	0.99	0.00	0.00	0.00	0.99	0.99	0.99	0.99	0.99	0.99	0.00	0.00	0.00	0.00	0.00	0.00

3.0 Construction Detail

Construction Phase

Phase Number	Phase Name	Phase Type	Start Date	End Date	Num Days Week	Num Days	Phase Description
1	Demolition	Demolition	8/1/2021	10/1/2021	5	30	
2	Site Preparation	Site Preparation	10/1/2021	11/1/2021	5	20	
3	Grading	Grading	11/1/2021	11/1/2022	5	45	
4	Building Construction	Building Construction	1/12/2022	12/1/2023	5	500	
5	Paving	Paving	12/1/2023	1/30/2024	5	30	
6	Architectural Coating	Architectural Coating	1/5/2024	3/19/2024	5	35	

Acres of Grading (Site Preparation Phase): 0

Acres of Grading (Grading Phase): 112.6

Acres of Paving: 0

Residential Indoor: 2,026,000; Residential Outdoor: 676,000; Non-Residential Indoor: 326,400; Non-Residential Outdoor: 108,800; Striped Parking Area: 0 (Architectural Coating – sqft)

OffRoad Equipment

Village South Specific Plan (Proposed) - Los Angeles-South Coast County, Winter

Phase Name	Offroad Equipment Type	Amount	Usage Hours	Horse Power	Load Factor
Demolition	Concrete/Industrial Saws	1	8.00	81	0.73
Demolition	Excavators	3	8.00	158	0.38
Demolition	Rubber Tired Dozers	2	8.00	247	0.40
Site Preparation	Rubber Tired Dozers	3	8.00	247	0.40
Site Preparation	Tractors/Loaders/Backhoes	4	8.00	97	0.37
Grading	Excavators	2	8.00	158	0.38
Grading	Graders	1	8.00	187	0.41
Grading	Rubber Tired Dozers	1	8.00	247	0.40
Grading	Scrapers	2	8.00	387	0.48
Grading	Tractors/Loaders/Backhoes	2	8.00	97	0.37
Building Construction	Cranes	1	7.00	231	0.29
Building Construction	Forklifts	3	8.00	89	0.20
Building Construction	Generator Sets	1	8.00	84	0.74
Building Construction	Tractors/Loaders/Backhoes	3	7.00	97	0.37
Building Construction	Welders	1	8.00	46	0.45
Paving	Pavers	2	8.00	130	0.42
Paving	Paving Equipment	2	8.00	132	0.36
Paving	Rollers	2	8.00	80	0.38
Architectural Coating	Air Compressors	1	8.00	78	0.48

**Trips and VMT**

Village South Specific Plan (Proposed) - Los Angeles South Coast County, Winter

Phase Name	Offroad Equipment Count	Worker Trip Number	Vendor Trip Number	Hauling Trip Number	Worker Trip Length	Vendor Trip Length	Hauling Trip Length	Worker Vehicle Class	Vendor Vehicle Class	Hauling Vehicle Class
Demolition	6	15.00	0.00	458.00	14.70	8.90	20.00	L_Mix	HDT_Mix	HHDT
Site Preparation	7	18.00	0.00	0.00	14.70	8.90	20.00	L_Mix	HDT_Mix	HHDT
Grading	8	20.00	0.00	0.00	14.70	8.90	20.00	L_Mix	HDT_Mix	HHDT
Building Construction	9	801.00	143.00	0.00	14.70	8.90	20.00	L_Mix	HDT_Mix	HHDT
Paving	6	15.00	0.00	0.00	14.70	8.90	20.00	L_Mix	HDT_Mix	HHDT
Architectural Coating	1	80.00	0.00	0.00	14.70	8.90	20.00	L_Mix	HDT_Mix	HHDT

3.1 Mitigation Measures Construction

3.2 Demolition - 2021

Unmitigated Construction On-Site

Category	RDG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	lbs CO2	Nlbs CO2	Total CO2	CH4	N2O	CO2e
Fugitive Dust					3.3074	0.0000	3.3074	0.5008	0.0000	0.5008			0.0080			0.0000
Off Road	3.1661	31.4407	21.5660	0.0388		1.5613	1.5613		1.4411	1.4411			3,747,944.9	3,747,944.9	1.0548	3,774,317.4
<b>Total</b>	<b>3.1661</b>	<b>31.4407</b>	<b>21.5660</b>	<b>0.0388</b>	<b>3.3074</b>	<b>1.5613</b>	<b>4.8688</b>	<b>1.5008</b>	<b>1.4411</b>	<b>1.9419</b>			<b>3,747,944.9</b>	<b>3,747,944.9</b>	<b>1.0548</b>	<b>3,774,317.4</b>

3.2 Demolition - 2021

Unmitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	Net-CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.1304	4.1454	1.0152	0.0117	0.2909	0.0128	0.3037	0.0732	0.0122	0.0854			1,288.825	1,288.825	0.0898	1,272.125
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000			0.0000	0.0000	0.0000	0.0000
Worker	0.0715	0.0488	0.0524	1.8100e-003	0.1677	1.5500e-003	0.1680	0.0445	1.2500e-003	0.0457			180.8377	180.8377	4.7300e-003	180.8500
Total	0.2019	4.1943	1.0776	0.0117	0.4586	0.0128	0.4714	0.1177	0.0122	0.1311			1,430.663	1,430.663	0.0955	1,433.891

Mitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	Net-CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Fugitive Dust					3.3074	0.0000	3.3074	0.5308	0.0000	0.5308			0.0000			0.0000
Off-Road	3.1851	31.4487	21.5650	0.0388		1.5513	1.5513		1.4411	1.4411	0.0000	3,747.944	3,747.944	1.0549		3,774.317
Total	3.1851	31.4487	21.5650	0.0388	3.3074	1.5513	4.8587	0.5308	1.4411	1.9719	0.0000	3,747.944	3,747.944	1.0549		3,774.317



3.2 Demolition - 2021

Mitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	H2O	CO2e
Category	bbl/day										bbl/day					
Hauling	0.1304	4.1454	1.0182	0.0117	0.3268	0.0128	0.2767	0.0732	0.0122	0.0854		1.2558265	1.2558265	0.0993		1.2721252
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Worker	0.0715	0.0488	0.0524	1.8100e-03	0.1877	1.3600e-03	0.1889	0.0440	1.2500e-03	0.0457		108.8377	150.8377	4.7300e-03		160.8660
Total	0.2019	4.1943	1.0706	0.0133	0.4146	0.0141	0.4687	0.1176	0.0130	0.1311		1.430882	1.430882	0.0993		1,433.0812

3.3 Site Preparation - 2021

Unmitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	H2O	CO2e
Category	bbl/day										bbl/day					
Fugitive Dust					18.9963	0.0000	18.9963	9.9307	0.0000	9.9307			0.0000			0.0000
Off Road	3.8882	80.8871	21.1543	0.0388		2.0445	2.0445		1.8808	1.8808		3.682858	3.682858	1.1820		3,715.4573
Total	3.8882	80.8871	21.1543	0.0388	18.9963	2.0445	20.1187	9.9307	1.8808	11.8118		3.682858	3,682.8588	1.1820		3,715.4573

**3.3 Site Preparation - 2021**

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	H2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Worker	0.0858	0.0587	0.0029	1.8400e-003	0.2012	1.8300e-003	0.2028	0.0034	1.8300e-003	0.0549		193.0052	193.0052	5.6800e-003		193.1472
<b>Total</b>	<b>0.0858</b>	<b>0.0587</b>	<b>0.0029</b>	<b>1.8400e-003</b>	<b>0.2012</b>	<b>1.8300e-003</b>	<b>0.2028</b>	<b>0.0034</b>	<b>1.8300e-003</b>	<b>0.0549</b>		<b>193.0052</b>	<b>193.0052</b>	<b>5.6800e-003</b>		<b>193.1472</b>

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	H2O	CO2e
Category	lb/day										lb/day					
Fugitive Dust					18.0663	0.0000	18.0663	9.9007	0.0000	9.9007			0.0000			0.0000
Off-Road	3.8882	40.4971	21.1543	0.0380		2.0445	2.0445		1.8808	1.8808	0.0000	3,685,858.9	3,685,858.9	1.1920		3,715,457.3
<b>Total</b>	<b>3.8882</b>	<b>40.4971</b>	<b>21.1543</b>	<b>0.0380</b>	<b>18.0663</b>	<b>2.0445</b>	<b>20.1107</b>	<b>9.9007</b>	<b>1.8808</b>	<b>11.8118</b>	<b>0.0000</b>	<b>3,685,858.9</b>	<b>3,685,858.9</b>	<b>1.1920</b>		<b>3,715,457.3</b>

**3.3 Site Preparation - 2021**

**Mitigated Construction Off-Site**

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Category	bldg										bldg					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Works	0.0058	0.0067	0.0029	1.8400e-003	0.2012	1.8300e-003	0.2028	0.0034	1.5000e-003	0.0049		193.0052	193.0052	5.6807e-003		193.1472
Total	0.0058	0.0067	0.0029	1.8400e-003	0.2012	1.8300e-003	0.2028	0.0034	1.5000e-003	0.0049		193.0052	193.0052	5.6807e-003		193.1472

**3.4 Grading - 2021**

**Unmitigated Construction On-Site**

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Category	bldg										bldg					
Fugitive Dust					0.8733	0.0000	0.8733	3.5665	0.0000	3.5665			0.0000			0.0000
Off Road	4.1912	68.3998	30.9785	0.0820		1.9853	1.9853	1.0286	1.9285			8.007043	8.007043	1.9420		8.055813
Total	4.1912	68.3998	30.9785	0.0820	0.8733	1.9853	1.9853	3.5665	1.9285	5.4230		8.007043	8.007043	1.9420		8.055813

Village South Specific Plan (Proposed) - Los Angeles South Coast County, Winter

3.4 Grading - 2021

Unmitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NIbio-CO2	Total CO2	CS4	N2O	CO2e
Category	lb/day										lb/day					
hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000			0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000			0.0000	0.0000	0.0000	0.0000
Worker	0.0954	0.0652	0.7380	2.1500e-003	0.2226	1.8100e-003	0.2254	0.0693	1.8800e-003	0.0810			214.4582	214.4502	8.3100e-003	214.6089
Total	0.0954	0.0652	0.7380	2.1500e-003	0.2226	1.8100e-003	0.2254	0.0693	1.8800e-003	0.0810			214.4582	214.4502	8.3100e-003	214.6089

Mitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NIbio-CO2	Total CO2	CS4	N2O	CO2e
Category	lb/day										lb/day					
Fugitive Dust					0.0733	0.0000	0.0733	3.5865	0.0000	3.5865			0.0000			0.0000
Off-Road	4.1912	46.3098	30.8785	0.0620		1.9853	1.9853		1.8295	1.8295	0.0000		8.007.043.4	8.007.043.4	1.9420	8.055.813.4
Total	4.1912	46.3098	30.8785	0.0620	0.0733	1.9853	10.6587	3.5865	1.8295	5.4230	0.0000		8.007.043.4	8.007.043.4	1.9420	8.055.813.4

3.4 Grading - 2021

Mitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Category	Industry										Industry					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Worker	0.0954	0.0452	0.7300	2.1500e-003	0.2236	1.8100e-003	0.2254	0.0593	1.8630e-003	0.0810		214.4562	214.4502	8.3100e-003		214.6080
Total	0.0954	0.0452	0.7300	2.1500e-003	0.2236	1.8100e-003	0.2254	0.0593	1.8630e-003	0.0810		214.4562	214.4502	8.3100e-003		214.6080

3.4 Grading - 2022

Unmitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Category	Industry										Industry					
Fugitive Dust					8.6733	0.0000	8.6733	3.5963	0.0000	3.5963			0.0000			0.0000
Off-Road	3.8248	38.8435	28.0418	0.0021		1.8349	1.8349		1.5041	1.5041		8,011.4105	8,011.4105	1.9442		8,088.0158
Total	3.8248	38.8435	28.0418	0.0021	8.6733	1.8349	10.3082	3.5963	1.5041	5.1008		8,011.4105	8,011.4105	1.9442		8,088.0158

3.4 Grading - 2022

Unmitigated Construction Off-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0030	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000			0.0000	0.0000		0.0000
Vendor	0.0000	0.0000	0.0030	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000			0.0000	0.0000		0.0000
Worker	0.0898	0.0588	0.6794	2.0800e-003	0.2238	1.7500e-003	0.2253	0.0693	1.8100e-003	0.0698			208.8138	208.8138	5.7000e-003	207.0583
<b>Total</b>	<b>0.0898</b>	<b>0.0588</b>	<b>0.6794</b>	<b>2.0800e-003</b>	<b>0.2238</b>	<b>1.7500e-003</b>	<b>0.2253</b>	<b>0.0693</b>	<b>1.8100e-003</b>	<b>0.0698</b>			<b>208.8138</b>	<b>208.8138</b>	<b>5.7000e-003</b>	<b>207.0583</b>

Mitigated Construction On-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
	lb/day										lb/day					
Fugitive Dust					8.8733	0.0000	8.8733	3.5885	0.0000	3.5885			0.0000			0.0000
Off-Road	3.8248	38.8435	28.0415	0.0821		1.8348	1.8348		1.5041	1.5041	0.0000		8,011.4105	8,011.4105	1.9442	8,088.0158
<b>Total</b>	<b>3.8248</b>	<b>38.8435</b>	<b>28.0415</b>	<b>0.0821</b>	<b>8.8733</b>	<b>1.8348</b>	<b>10.3082</b>	<b>3.5885</b>	<b>1.5041</b>	<b>5.1088</b>	<b>0.0000</b>		<b>8,011.4105</b>	<b>8,011.4105</b>	<b>1.9442</b>	<b>8,088.0158</b>

**3.4 Grading - 2022**

**Mitigated Construction Off-Site**

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	Hbio-CO2	Total CO2	CH4	N2O	CO2e
Category	bldg										bldg					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Worker	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
<b>Total</b>	<b>0.0000</b>	<b>0.0000</b>	<b>0.0000</b>	<b>0.0000</b>	<b>0.0000</b>	<b>0.0000</b>	<b>0.0000</b>	<b>0.0000</b>	<b>0.0000</b>	<b>0.0000</b>		<b>0.0000</b>	<b>0.0000</b>	<b>0.0000</b>		<b>0.0000</b>

**3.5 Building Construction - 2022**

**Unmitigated Construction On-Site**

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	Hbio-CO2	Total CO2	CH4	N2O	CO2e
Category	bldg										bldg					
On-Road	1.7062	15.8154	16.3634	0.0288		0.8090	0.8090		0.7612	0.7612		2,554.333	2,554.333	0.6120		2,549.432
<b>Total</b>	<b>1.7062</b>	<b>15.8154</b>	<b>16.3634</b>	<b>0.0288</b>		<b>0.8090</b>	<b>0.8090</b>		<b>0.7612</b>	<b>0.7612</b>		<b>2,554.333</b>	<b>2,554.333</b>	<b>0.6120</b>		<b>2,549.432</b>

Village South Specific Plan (Proposed) - Los Angeles-South Coast County, Winter

3.5 Building Construction - 2022

Unmitigated Construction Off-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NO2-CO2	Total CO2	CH4	H2O	CO2e
	lb/day										lb/day					
House	0.0000	6.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Vendor	0.4284	13.1673	3.9005	0.0354	0.9154	0.0256	0.9412	0.2636	0.0265	0.2901		3,799.0760	3,799.0760	0.2381		3,799.0763
Worker	0.5872	2.3660	27.1890	0.0832	8.9833	0.0701	9.0534	2.3745	0.0646	2.4390		6,289.9013	6,289.9013	0.2282		6,292.9058
<b>Total</b>	<b>4.0156</b>	<b>15.5266</b>	<b>30.9895</b>	<b>0.1186</b>	<b>8.9987</b>	<b>0.0957</b>	<b>9.0945</b>	<b>2.6381</b>	<b>0.0901</b>	<b>2.7271</b>		<b>12,075.8763</b>	<b>12,075.8763</b>	<b>0.4663</b>		<b>12,077.6341</b>

Mitigated Construction On-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NO2-CO2	Total CO2	CH4	H2O	CO2e
	lb/day										lb/day					
Off Road	1.7067	15.8136	16.2634	0.0268		0.8090	0.8090		0.7812	0.7812	0.9000	2,554.3306	2,554.3306	0.6122		2,559.6322
<b>Total</b>	<b>1.7067</b>	<b>15.8136</b>	<b>16.2634</b>	<b>0.0268</b>		<b>0.8090</b>	<b>0.8090</b>		<b>0.7812</b>	<b>0.7812</b>	<b>0.9000</b>	<b>2,554.3306</b>	<b>2,554.3306</b>	<b>0.6122</b>		<b>2,559.6322</b>



**3.5 Building Construction - 2022**

**Mitigated Construction Off-Site**

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	Nbio- CO2	Total CO2	CH4	N2O	CO2e
Category	bldg										bldg					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.4284	13.1673	3.8035	0.0384	0.9155	0.0288	0.9443	0.2836	0.0288	0.2864		3,788,078.0	3,788,078.0	0.2381		3,788,078.3
Worker	3.5872	2.3680	27.1880	0.0032	0.9533	0.0701	9.0734	2.3242	0.0646	2.4388		0.283,901.3	0.286,901.3	0.2282		0.287,665.9
Total	4.0156	15.3753	30.9915	0.1116	0.9933	0.0989	9.9943	2.6321	0.0934	2.7271		12,075,87.83	12,075,87.83	0.4663		12,097,63.41

**3.5 Building Construction - 2023**

**Unmitigated Construction On-Site**

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	Nbio- CO2	Total CO2	CH4	N2O	CO2e
Category	bldg										bldg					
Off-Road	1.5728	14.3848	14.2360	0.0225		0.0997	0.0997		0.0584	0.0584		2,555,208.0	2,555,208.0	0.0879		2,570,488.1
Total	1.5728	14.3848	14.2360	0.0225		0.0997	0.0997		0.0584	0.0584		2,555,208.0	2,555,208.0	0.0879		2,570,488.1

**3.5 Building Construction - 2023**

**Unmitigated Construction Off-Site**

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NO <sub>2</sub> -CO2	Total CO2	GHG	N2O	CO2e
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Vendor	0.3183	0.9726	3.3771	0.0343	0.8154	0.0722	0.8277	0.2638	0.0116	0.2752		3,671.4007	3,671.4007	0.2096		3,676.6417
Worker	0.0795	2.1338	24.8725	0.0801	8.9533	0.0881	9.0214	2.3745	0.0827	2.4372		7,983.7318	7,983.7318	0.2055		7,988.9693
<b>Total</b>	<b>0.8978</b>	<b>12.1063</b>	<b>28.3496</b>	<b>0.1144</b>	<b>8.8687</b>	<b>0.0893</b>	<b>9.8491</b>	<b>2.6381</b>	<b>0.0743</b>	<b>2.7134</b>		<b>11,655.1325</b>	<b>11,655.1325</b>	<b>0.4151</b>		<b>11,665.5098</b>

**Mitigated Construction On-Site**

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NO <sub>2</sub> -CO2	Total CO2	GHG	N2O	CO2e
Off-Road	1.5728	14.3849	16.2440	0.0269		0.8947	0.8947		0.8984	0.8984	0.0300	2,555.2089	2,555.2089	0.8879		2,570.4961
<b>Total</b>	<b>1.5728</b>	<b>14.3849</b>	<b>16.2440</b>	<b>0.0269</b>		<b>0.8947</b>	<b>0.8947</b>		<b>0.8984</b>	<b>0.8984</b>	<b>0.0300</b>	<b>2,555.2089</b>	<b>2,555.2089</b>	<b>0.8879</b>		<b>2,570.4961</b>

**3.5 Building Construction - 2023**

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	Nbio-CO2	Total CO2	CH4	N2O	CO2e
Category	Building										Building					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Vendor	0.3193	9.9726	3.3771	0.0343	0.9156	0.0722	0.9277	0.2636	0.0118	0.2752		3,671.407	3,671.407	0.2088		3,676.6417
Worker	0.3786	2.1338	34.9725	0.0801	8.9553	0.0581	9.0214	2.3742	0.0627	2.4372		7,983.7318	7,983.7318	0.2055		7,988.9683
Total	0.6979	12.1065	38.3496	0.1144	8.9689	0.0883	9.0481	2.4381	0.0743	2.7124		11,655.1325	11,655.1325	0.4143		11,663.9098

**3.6 Paving - 2023**

**Unmitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	Nbio-CO2	Total CO2	CH4	N2O	CO2e
Category	Building										Building					
Off-Road	1.0327	10.1917	14.5842	0.0228		0.5102	0.5102		0.4894	0.4894		2,207.5861	2,207.5861	0.7143		2,225.4336
Paving	0.0000					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Total	1.0327	10.1917	14.5842	0.0228		0.5102	0.5102		0.4894	0.4894		2,207.5861	2,207.5861	0.7143		2,225.4336

3.6 Paving - 2023

Unmitigated Construction Off-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
t/day																
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000			0.0000	0.0000		0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000			0.0000	0.0000		0.0000
Worker	0.0033	0.0400	0.4877	1.5000e-003	0.1877	1.2800e-003	0.1889	0.0445	1.1700e-003	0.0458			149.5081	149.5081	3.8500e-003	149.9043
<b>Total</b>	<b>0.0033</b>	<b>0.0400</b>	<b>0.4877</b>	<b>1.5000e-003</b>	<b>0.1877</b>	<b>1.2800e-003</b>	<b>0.1889</b>	<b>0.0445</b>	<b>1.1700e-003</b>	<b>0.0458</b>			<b>149.5081</b>	<b>149.5081</b>	<b>3.8500e-003</b>	<b>149.9043</b>

Mitigated Construction On-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
t/day																
Off-Road	1.0327	10.1917	14.5842	0.0228		0.5102	0.5102	0.4894	0.4894	0.9788	0.0000	2,207.5841	2,207.5841	0.7140		2,224.4338
Paving	0.0000					0.0000	0.0000	0.0000	0.0000	0.0000			0.0000			0.0000
<b>Total</b>	<b>1.0327</b>	<b>10.1917</b>	<b>14.5842</b>	<b>0.0228</b>		<b>0.5102</b>	<b>0.5102</b>	<b>0.4894</b>	<b>0.4894</b>	<b>0.9788</b>	<b>0.0000</b>	<b>2,207.5841</b>	<b>2,207.5841</b>	<b>0.7140</b>		<b>2,224.4338</b>

3.6 Paving - 2023

Mitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Op- CO2	NOp- CO2	Total CO2	CH4	NGO	CO2e
Category	bldg										bldg					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Worker	0.0633	0.0400	0.4877	1.5000e-003	0.1677	1.2000e-003	0.1689	0.0447	1.1700e-003	0.0458		149.5081	149.5081	3.8500e-003		149.6043
Total	0.0633	0.0400	0.4877	1.5000e-003	0.1677	1.2000e-003	0.1689	0.0447	1.1700e-003	0.0458		149.5081	149.5081	3.8500e-003		149.6043

3.6 Paving - 2024

Unmitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Op- CO2	NOp- CO2	Total CO2	CH4	NGO	CO2e
Category	bldg										bldg					
Off-Road	0.0082	0.5288	14.6258	0.0228		0.6885	0.6885		0.4310	0.4310		2,207.5672	2,207.5672	0.7160		2,225.9883
Paving	0.0000					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Total	0.0082	0.5288	14.6258	0.0228		0.6885	0.6885		0.4310	0.4310		2,207.5672	2,207.5672	0.7160		2,225.9883

**3.6 Paving - 2024**

**Unmitigated Construction Off-Site**

	PM10	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NO2- CO2	Total CO2	CH4	H2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Worker	0.0801	0.0364	0.4354	1.4500e-003	0.1877	1.2000e-003	0.1689	0.0445	1.1600e-003	0.0456		144.8708	144.8708	3.5300e-003		144.9587
Total	0.0801	0.0364	0.4354	1.4500e-003	0.1877	1.2000e-003	0.1689	0.0445	1.1600e-003	0.0456		144.8708	144.8708	3.5300e-003		144.9587

**Mitigated Construction On-Site**

	PM10	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NO2- CO2	Total CO2	CH4	H2O	CO2e
Category	lb/day										lb/day					
Off Road	0.8882	0.5248	14.6758	0.0228		0.4695	0.4695	0.4310	0.4310	0.8700		2,207,547.2	2,207,547.2	0.7140		2,225,398.3
Paving	0.0000					0.0000	0.0000	0.0000	0.0000	0.0000						0.0000
Total	0.8882	0.5248	14.6758	0.0228		0.4695	0.4695	0.4310	0.4310	0.8700		2,207,547.2	2,207,547.2	0.7140		2,225,398.3

Village South Specific Plan (Proposed) - Los Angeles South Coast County, Winter

3.6 Paving - 2024

Mitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Category	b/day										b/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Water	0.0001	0.0304	0.4354	1.4500e-003	0.1077	1.2000e-003	0.1609	0.0047	1.1630e-003	0.0456		144.8708	144.8708	3.5300e-000		144.9287
Total	0.0001	0.0304	0.4354	1.4500e-003	0.1077	1.2000e-003	0.1609	0.0047	1.1630e-003	0.0456		144.8708	144.8708	3.5300e-000		144.9287

3.7 Architectural Coating - 2024

Unmitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Category	b/day										b/day					
Archl. Coating	238.5119					0.0000	0.0000	0.0000	0.0000	0.0000			0.0000			0.0000
Off-Road	0.1808	1.2188	1.8101	2.9700e-003		0.0000	0.0000	0.0000	0.0000	0.0000		281.4481	281.4481	0.0159		281.8443
Total	238.5927	1.2188	1.8101	2.9700e-003		0.0000	0.0000		0.0000	0.0000		281.4481	281.4481	0.0159		281.8443

**3.7 Architectural Coating - 2024**

**Unmitigated Construction Off-Site**

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Category	bbl/day										bbl/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Worker	0.0406	0.3880	4.8436	0.0155	1.7884	0.0134	1.8018	0.4743	0.0123	0.4866		1,545,290	1,545,290	0.0078		1,548,229
<b>Total</b>	<b>0.0406</b>	<b>0.3880</b>	<b>4.8436</b>	<b>0.0155</b>	<b>1.7884</b>	<b>0.0134</b>	<b>1.8018</b>	<b>0.4743</b>	<b>0.0123</b>	<b>0.4866</b>		<b>1,545,290</b>	<b>1,545,290</b>	<b>0.0078</b>		<b>1,548,229</b>

**Mitigated Construction On-Site**

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Category	bbl/day										bbl/day					
Archit. Coating	258.4119					0.0000	0.0000	0.0000	0.0000	0.0000			0.0000			0.0000
On-Road	0.1808	1.2180	1.8101	2.8700e-003		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	281,4481	281,4481	0.0159		281,8443
<b>Total</b>	<b>258.5927</b>	<b>1.2180</b>	<b>1.8101</b>	<b>2.8700e-003</b>		<b>0.0000</b>	<b>0.0000</b>	<b>0.0000</b>	<b>0.0000</b>	<b>0.0000</b>		<b>281,4481</b>	<b>281,4481</b>	<b>0.0159</b>		<b>281,8443</b>



**3.7 Architectural Coating - 2024**

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	Nbio- CO2	Total CO2	CH4	N2O	CO2e	
Category	Daily										Daily						
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.8408	0.3888	4.8438	0.0155	1.7884	0.0134	1.8018	8.4743	0.0123	0.4866	1,543,286	0	1,543,286	0.0378	0	1,546,228	2
<b>Total</b>	<b>0.8408</b>	<b>0.3888</b>	<b>4.8438</b>	<b>0.0155</b>	<b>1.7884</b>	<b>0.0134</b>	<b>1.8018</b>	<b>8.4743</b>	<b>0.0123</b>	<b>0.4866</b>	<b>1,543,286</b>	<b>0</b>	<b>1,543,286</b>	<b>0.0378</b>	<b>0</b>	<b>1,546,228</b>	<b>2</b>

**4.0 Operational Detail - Mobile**

**4.1 Mitigation Measures Mobile**

	RGG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	BBQ-CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Mitigated	0.5233	45.9014	110.0422	0.4661	45.9502	0.3373	46.2865	12.2650	0.3132	12.5783			47,917.8005	47,917.8005	2.1953	47,972.6830
Unmitigated	0.5233	45.9014	110.0422	0.4661	45.9502	0.3373	46.2866	12.2650	0.3132	12.5783			47,917.8005	47,917.8005	2.1953	47,972.6830

4.2 Trip Summary Information

Land Use	Average Daily Trip Rate			Unmitigated Annual VMT	Mitigated Annual VMT
	Weekday	Saturday	Sunday		
Apartments Low Rise	145.75	154.25	154.00	506,227	506,227
Apartments Mid Rise	4,026.75	3,773.25	4,075.50	13,660,065	13,660,065
General Office Building	268.45	62.55	31.05	706,812	706,812
High Turnover (Sit Down Restaurant)		2,873.52	2,817.72	3,413,937	3,413,937
Hotel	192.00	187.50	160.00	445,703	445,703
Quality Restaurant	501.12	511.82	461.20	707,489	707,488
Regional Shopping Center	528.08	601.44	357.84	1,112,221	1,112,221
<b>Total</b>	<b>8,050.95</b>	<b>6,184.43</b>	<b>8,057.31</b>	<b>20,552,452</b>	<b>20,552,452</b>

4.3 Trip Type Information

Village South Specific Plan (Proposed) - Los Angeles-South Coast County, Winter

Land Use	Miles			Trip %			Trip Purpose %		
	H-W or C-W	H-S or C-C	H-O or C-NW	H-W or C-W	H-S or C-C	H-O or C-NW	Primary	Diverted	Pass-by
Apartments Low Rise	14.70	5.90	8.70	40.20	19.20	40.80	86	11	3
Apartments Mid Rise	14.70	5.90	8.70	40.20	19.20	40.80	86	11	3
General Office Building	16.80	8.40	6.90	33.00	48.00	19.00	77	19	4
High Turnover (Sit Down Restaurant)	16.80	8.40	6.90	8.50	72.50	19.00	37	20	43
Hotel	16.80	8.40	6.90	19.40	61.60	19.00	58	38	4
Quality Restaurant	16.80	8.40	6.90	12.00	69.00	19.00	38	18	44
Regional Shopping Center	16.80	8.40	6.90	16.30	64.70	19.00	54	35	11

4.4 Fleet Mix

Land Use	LDA	LDT1	LDT2	MDV	LHD1	LHD2	MHD	HHD	OBUS	UBUS	MCY	SBUS	NH
Apartments Low Rise	0.543088	0.044216	0.205971	0.116369	0.014033	0.008332	0.021166	0.033577	0.002613	0.001817	0.005285	0.000712	0.000821
Apartments Mid Rise	0.543088	0.044216	0.205971	0.116369	0.014033	0.008332	0.021166	0.033577	0.002613	0.001817	0.005285	0.000712	0.000821
General Office Building	0.543088	0.044216	0.205971	0.116369	0.014033	0.008332	0.021166	0.033577	0.002613	0.001817	0.005285	0.000712	0.000821
High Turnover (Sit Down Restaurant)	0.543088	0.044216	0.205971	0.116369	0.014033	0.008332	0.021166	0.033577	0.002613	0.001817	0.005285	0.000712	0.000821
Hotel	0.543088	0.044216	0.205971	0.116369	0.014033	0.008332	0.021166	0.033577	0.002613	0.001817	0.005285	0.000712	0.000821
Quality Restaurant	0.543088	0.044216	0.205971	0.116369	0.014033	0.008332	0.021166	0.033577	0.002613	0.001817	0.005285	0.000712	0.000821
Regional Shopping Center	0.543088	0.044216	0.205971	0.116369	0.014033	0.008332	0.021166	0.033577	0.002613	0.001817	0.005285	0.000712	0.000821

5.0 Energy Detail

Historical Energy Use: N

5.1 Mitigation Measures Energy

Village South Specific Plan (Proposed) - Los Angeles-South Coast County, Winter

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Total CO2	CH4	N2O	CO2e
	Industry										Industry			
Natural Gas Unmitigated	0.7980	8.7462	4.2573	0.0418		0.5292	0.5292		0.5292	0.5292	8,355,983	0.1602	0.1532	8,406,638
Natural Gas Mitigated											2	2		7
Natural Gas Unmitigated	0.7980	8.7462	4.2573	0.0418		0.5292	0.5292		0.5292	0.5292	8,355,983	0.1602	0.1532	8,406,638
Natural Gas Mitigated											2	2		7

6.2 Energy by Land Use - Natural Gas

Unmitigated

Land Use	Natural Gas Use kBTU/yr	lb/day										lb/day						
		RQG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	SO2-CO2	NO2-CO2	Total CO2	CH4	N2O	CO2e	
Apartments Low Rise	1119.56	0.0121	0.1631	0.0438	6.6000e-004	0.3400e-003	0.3400e-003	0.3400e-003	0.3400e-003	0.3400e-003	0.3400e-003			131.8662	131.8662	2.5200e-003	2.4100e-003	132.4488
Apartments Mid Rise	35784.3	0.3869	3.2978	1.4033	0.0211	0.2886	0.2886	0.2886	0.2886	0.2886	0.2886			4,208.9164	4,208.9164	0.0807	0.0772	6,234.9339
General Office Building	1283.42	0.0138	0.1268	0.1057	7.5800e-004	0.5800e-003	0.5800e-003	0.5800e-003	0.5800e-003	0.5800e-003	0.5800e-003			150.8811	150.8811	2.8800e-003	2.7700e-003	151.8884
High Turnover (Sit Down) Restaurant	22789.9	0.2466	2.2014	1.9743	0.0134	0.1896	0.1896	0.1896	0.1896	0.1896	0.1896			2,877.8342	2,877.8342	0.0613	0.0491	2,890.8480
Hotel	4769.72	0.0614	0.4678	0.3828	2.8100e-003	0.0366	0.0366	0.0366	0.0366	0.0366	0.0366			581.1436	581.1436	0.0108	0.0103	584.4782
Quality Restaurant	6067.76	0.0646	0.4969	0.4185	2.9800e-003	3.9377	0.0377	0.0377	0.0377	0.0377	0.0377			645.0296	645.0296	0.0114	0.0106	648.6898
Regional Shopping Center	231818	2.7190e-003	0.0247	0.0207	5.000e-004	1.8700e-003	1.8700e-003	1.8700e-003	1.8700e-003	1.8700e-003	1.8700e-003			29.6018	29.6018	5.7000e-004	5.4000e-004	29.7778
<b>Total</b>		<b>0.7860</b>	<b>6.7443</b>	<b>4.2873</b>	<b>8.0418</b>	<b>0.9282</b>	<b>0.5292</b>		<b>0.5292</b>	<b>0.5292</b>			<b>8,388.9632</b>	<b>8,388.9632</b>	<b>0.1662</b>	<b>0.1632</b>	<b>8,406.8387</b>	

**5.2 Energy by Land Use - Natural Gas**  
**Mitigated**

Land Use	Natural Gas Use kBtu/yr	ROG	NOx	CO	SO2	lb/day					lb/day				
						Regulair PM10	Exhaust PM10	PM10 Total	Regulair PM2.5	Exhaust PM2.5	PM2.5 Total	Re-CO2	NIRe-CO2	Total CO2	CH4
Apartments Low Rise	1.11816	0.0121	0.1031	0.0439	6.6000e-008	6.3400e-003	8.3100e-003	0.3400e-003	8.3100e-003		131.8082	131.8082	2.5200e-003	2.4100e-003	132.4498
Apartments Mid Rise	35.7843	0.3959	3.2978	1.4033	0.0211	0.2896	0.2898	0.2899	0.2898		4,209.9184	4,209.9184	0.0807	0.0772	8,234.9338
General Office Building	1.28342	0.0138	0.1258	0.1057	7.5600e-004	9.5800e-003	9.5600e-003	9.2400e-003	9.5600e-003		150.9811	150.9811	2.8800e-003	2.7700e-003	151.8894
High Turnover (Sit Down Restaurant)	22.7599	0.2466	2.2914	1.8743	0.0134	0.1996	0.1996	0.1998	0.1998		2,677.6342	2,677.6342	0.0613	0.0491	2,805.8480
Hotel	4.79872	0.0514	0.4678	0.3828	2.8100e-003	0.0366	0.0366	0.0366	0.0366		681.1436	681.1436	0.0108	0.0103	684.4782
Quickly Restaurant	6.06776	0.0646	0.4959	0.4185	2.9800e-005	0.0377	0.0377	0.0377	0.0377		696.0298	696.0298	0.0114	0.0109	698.6658
Regional Shopping Center	0.251818	2.7100e-003	0.0247	0.0207	1.5000e-004	1.8700e-003	1.8700e-003	1.8700e-003	1.8700e-003		29.8018	29.8018	5.7000e-004	5.4000e-004	29.7778
<b>Total</b>		<b>0.7860</b>	<b>6.7483</b>	<b>4.2573</b>	<b>8.9418</b>	<b>0.5282</b>	<b>0.5282</b>	<b>0.5292</b>	<b>0.5292</b>		<b>9,355.9832</b>	<b>9,355.9832</b>	<b>0.1882</b>	<b>0.1832</b>	<b>9,405.8387</b>

**6.0 Area Detail**

**6.1 Mitigation Measures Area**

Village South Specific Plan (Proposed) - Los Angeles-South Coast County, Winter

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Mitigated	30.5020	15.0498	88.4430	0.0944		1.5974	1.5974		1.5974	1.5974	0.0000	18,148.5950	18,148.5950	0.4874	0.3300	18,259.1192
Unmitigated	30.5020	15.0498	88.4430	0.0944		1.5974	1.5974		1.5974	1.5974	0.0000	18,148.5950	18,148.5950	0.4874	0.3300	18,259.1192

6.2 Area by SubCategory

Unmitigated

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
SubCategory	lb/day										lb/day					
Architecture Coating	2.2670					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Consumer Products	24.1085					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Hearth	1.6500	14.1000	0.0000	0.0600		1.1400	1.1400		1.1400	1.1400	0.0000	18,000.0000	18,000.0000	0.3450	0.3300	18,106.9650
Landscaping	2.4766	0.9498	82.4430	4.3000		0.4574	0.4574		0.4574	0.4574		148.5950	148.5950	0.1424		152.1542
Total	30.5020	15.0498	88.4430	0.0944		1.5974	1.5974		1.5974	1.5974	0.0000	18,148.5950	18,148.5950	0.4874	0.3300	18,259.1192

6.2 Area by SubCategory

Mitigated

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e	
SubCategory	lb/day										lb/day						
Architectural Coating	2.2870					0.0000	0.0000		0.0000	0.0000			0.0000				0.0000
Consumer Products	24.1095					0.0000	0.0000		0.0000	0.0000			0.0000				0.0000
Hearth	1.6500	14.1000	0.0000	0.0500		1.1400	1.1400		1.1400	1.1400	0.0000	18,000.0000	18,000.0000	0.3450	0.3300		18,190.3650
Landscaping	2.4786	0.8498	82.4430	4.3600e-003		0.4574	0.4574		0.4574	0.4574		148.5950	148.5950	0.1424			152.1642
<b>Total</b>	<b>30.5229</b>	<b>15.0498</b>	<b>82.4430</b>	<b>0.0504</b>		<b>1.5974</b>	<b>1.5974</b>		<b>1.5974</b>	<b>1.5974</b>	<b>0.0000</b>	<b>18,148.5950</b>	<b>18,148.5950</b>	<b>0.4874</b>	<b>0.3300</b>		<b>18,256.1182</b>

7.0 Water Detail

7.1 Mitigation Measures Water

8.0 Waste Detail

8.1 Mitigation Measures Waste

9.0 Operational Offroad

Equipment Type	Number	Hours/Day	Days/Year	Horse Power	Load Factor	Fuel Type
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10.0 Stationary Equipment



**Fire Pumps and Emergency Generators**

Equipment Type	Number	Hours/Day	Hours/Year	Horse Power	Load Factor	Fuel Type
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**Boilers**

Equipment Type	Number	Heat Input/Day	Heat Input/Year	Boiler Rating	Fuel Type
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**User Defined Equipment**

Equipment Type	Number
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**11.0 Vegetation**

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Village South Specific Plan (Proposed) - Los Angeles-South Coast County, Annual

**Village South Specific Plan (Proposed)**  
**Los Angeles-South Coast County, Annual**

**1.0 Project Characteristics**

**1.1 Land Usage**

Land Uses	Size	Metric	Lot Acreage	Floor Surface Area	Population
General Office Building	45.00	1000sqft	1.03	45,000.00	0
High Turnover (Sit Down Restaurant)	36.00	1000sqft	0.83	36,000.00	0
Hotel	50.00	Room	1.67	72,800.00	0
Quickly Restaurant	8.00	1000sqft	0.18	8,000.00	0
Apartments Low Rise	25.00	Dwelling Unit	1.56	25,000.00	72
Apartments Mid Rise	975.00	Dwelling Unit	25.98	975,000.00	2789
Region of Shopping Center	56.00	1000sqft	1.29	56,000.00	0

**1.2 Other Project Characteristics**

Urbanization	Urban	Wind Speed (m/s)	2.2	Precipitation Freq (Days)	33
Climate Zone	9			Operational Year	2028
Utility Company	Southern California Edison				
CO2 Intensity (lb/MWh)	702.44	CH4 Intensity (lb/MWh)	0.029	N2O Intensity (lb/MWh)	0.006

**1.3 User Entered Comments & Non-Default Data**

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Project Characteristics - Consistent with the DEIR's model

Land Use - See SWAPE comment regarding residential and retail land uses.

Construction Phase - See SWAPE comment regarding individual construction phase lengths.

Demolition - Consistent with the DEIR's model. See SWAPE comment regarding demolition.

Vehicle Trips - Saturday trips consistent with the DEIR's model. See SWAPE comment regarding weekday and Sunday trips.

Woodstoves - Woodstoves and wood-burning fireplaces consistent with the DEIR's model. See SWAPE comment regarding gas fireplaces.

Energy Use -

Construction Off-road Equipment Mitigation - See SWAPE comment on construction-related mitigation.

Area Mitigation - See SWAPE comment regarding operational mitigation measures.

Water Mitigation - See SWAPE comment regarding operational mitigation measures.

Trips and VMT - Local hire provision

Table Name	Column Name	Default Value	New Value
tblFireplaces	FireplaceWoodMass	1,019.20	0.00
tblFireplaces	FireplaceWoodMass	1,019.20	0.00
tblFireplaces	NumberWood	1.25	0.00
tblFireplaces	NumberWood	43.75	0.00
tblTripsAndVMT	WorkerTripLength	14.70	10.00
tblTripsAndVMT	WorkerTripLength	14.70	10.00
tblTripsAndVMT	WorkerTripLength	14.70	10.00
tblTripsAndVMT	WorkerTripLength	14.70	10.00
tblTripsAndVMT	WorkerTripLength	14.70	10.00
tblTripsAndVMT	WorkerTripLength	14.70	10.00
tblVehicleTrips	ST_TR	7.16	6.17
tblVehicleTrips	ST_TR	6.39	3.87
tblVehicleTrips	ST_TR	2.46	1.39
tblVehicleTrips	ST_TR	156.37	79.62

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lbVehicleTrips	ST_TR	8.19	3.75
lbVehicleTrips	ST_TR	94.36	83.99
lbVehicleTrips	ST_TR	43.97	10.74
lbVehicleTrips	SU_TR	6.07	6.16
lbVehicleTrips	SU_TR	5.86	4.18
lbVehicleTrips	SU_TR	1.05	0.69
lbVehicleTrips	SU_TR	131.84	78.27
lbVehicleTrips	SU_TR	5.95	3.20
lbVehicleTrips	SU_TR	72.16	57.85
lbVehicleTrips	SU_TR	23.24	6.39
lbVehicleTrips	WD_TR	6.59	5.83
lbVehicleTrips	WD_TR	6.65	4.13
lbVehicleTrips	WD_TR	11.03	8.41
lbVehicleTrips	WD_TR	127.15	65.80
lbVehicleTrips	WD_TR	8.17	3.84
lbVehicleTrips	WD_TR	89.95	82.84
lbVehicleTrips	WD_TR	42.70	9.43
lbWoodstoves	NumberCatalytic	1.25	0.00
lbWoodstoves	NumberCatalytic	49.75	0.00
lbWoodstoves	NumberNoncatalytic	1.25	0.00
lbWoodstoves	NumberNoncatalytic	49.75	0.00
lbWoodstoves	WoodstoveDayYear	25.00	0.00
lbWoodstoves	WoodstoveDayYear	25.00	0.00
lbWoodstoves	WoodstoveWoodMass	999.60	0.00
lbWoodstoves	WoodstoveWoodMass	999.60	0.00

**2.0 Emissions Summary**

**2.1 Overall Construction**  
**Unmitigated Construction**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	NO2	CO2	Total CO2	CH4	N2O	CO2e
Year	ton/yr										M T yr					
2021	0.1704	1.8234	1.1827	2.2600e-003	0.4141	0.0817	0.4958	0.1788	0.0754	0.2542	0.0000	210.7854	210.7854	0.0000	0.0000	212.2881
2022	0.5885	4.0260	3.1546	0.0184	0.9608	0.1175	1.0683	0.2518	0.1103	0.3621	0.0000	1,418,855.4	1,418,855.4	0.1215	0.0000	1,421,892.5
2023	0.5180	3.2850	4.7076	0.0147	0.8487	0.0971	0.9458	0.2283	0.0912	0.3195	0.0000	1,342,441.2	1,342,441.2	0.1115	0.0000	1,345,229.1
2024	4.1842	0.1313	0.2567	5.0000e-004	0.0221	0.3903e-003	0.0296	0.9700e-003	0.9700e-003	0.0119	0.0000	44,8365	44,8365	7.8300e-003	0.0000	44,9311
Maximum	4.1582	4.8340	3.1546	0.0155	0.9189	0.1175	1.0683	0.2518	0.1103	0.3621	0.0000	1,418,855.4	1,418,855.4	0.1215	0.0000	1,421,892.5

2.1 Overall Construction

Mitigated Construction

Year	tons/yr											MT/yr					
	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	Net-CO2	Total CO2	CH4	N2O	CO2e	
2021	0.1704	1.8204	1.1577	2.3800e-003	0.4141	0.0817	0.4958	0.1788	0.3254	0.2542	0.0080	218.7851	218.7851	0.0000	0.8200	212.2658	
2022	0.5895	4.0280	5.1544	0.0196	0.9508	0.1175	1.0683	0.2518	0.1103	0.3621	0.0080	1,418.8550	1,418.8550	0.1215	0.8200	1,421.8921	
2023	0.5180	3.2850	4.7878	0.0147	0.8497	0.0971	0.9468	0.2280	0.0912	0.3192	0.0080	1,342.4409	1,342.4409	0.1115	0.8200	1,345.2287	
2024	4.1582	0.1313	0.2567	5.0000e-004	0.0221	8.3900e-003	0.0286	8.8700e-003	5.9700e-003	0.0118	0.0080	44.8354	44.8354	7.8300e-003	0.8200	44.8311	
Maximum	4.1582	4.8210	5.1544	8.9155	0.8588	0.1175	1.0683	0.2518	0.1103	0.3621	0.0080	1,418.8550	1,418.8550	0.1215	0.8200	1,421.8921	

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	Net-CO2	Total CO2	CH4	N2O	CO2e
Percent Reduction	8.88	8.88	8.88	8.88	8.88	8.88	8.88	8.88	8.88	8.88	8.88	8.88	8.88	8.88	8.88	8.88

Quarter	Start Date	End Date	Maximum Unmitigated ROG + NOx (tons/quarter)	Maximum Mitigated ROG + NOx (tons/quarter)
1	8-1-2021	11-30-2021	1.4091	1.4061
2	12-1-2021	2-29-2022	1.3328	1.3328
3	3-1-2022	5-31-2022	1.1488	1.1488
4	6-1-2022	8-31-2022	1.1457	1.1457
5	9-1-2022	11-30-2022	1.1415	1.1415
6	12-1-2022	2-28-2023	1.0778	1.0778
7	3-1-2023	5-31-2023	0.9868	0.9868
8	6-1-2023	8-31-2023	0.9831	0.9831

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8	6-1-2023	11-30-2023	0.9788	0.9788
10	12-1-2023	2-29-2024	2.8757	2.8757
11	3-1-2024	5-31-2024	1.6188	1.6188
		Highest	2.8757	2.8757

2.2 Overall Operational

Unmitigated Operational

Category	lbm/yr										MT/yr					
	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio CO2	Non-Bio CO2	Total CO2	CH4	N2O	CO2e
Area	5.1437	0.2850	18.3804	1.8780e-003	0.0714	0.0714	0.0714	0.0714	0.0714	0.0714	0.0080	230.8870	230.8870	0.0201	3.7400e-003	222.5835
Energy	0.1368	1.2312	3.7770	7.8200e-003	0.0988	0.0988	0.0988	0.0988	0.0988	0.0988	0.0090	3,898.0732	3,898.0732	0.1303	0.8488	3,913.2603
Mobile	1.0857	7.9802	19.1834	0.0821	7.7879	0.0580	7.8658	2.0886	0.0038	2.1434	0.0000	7,820.4985	7,820.4985	0.3407	0.0000	7,829.0182
Vessel					0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	287.8079	0.0000	287.8079	12.2811	0.0000	614.6364
Water					0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	28.1852	556.8420	585.0272	3.0183	0.0755	683.7507
<b>Total</b>	<b>6.3692</b>	<b>9.5223</b>	<b>38.3407</b>	<b>0.0014</b>	<b>7.7970</b>	<b>0.2280</b>	<b>8.8240</b>	<b>2.0895</b>	<b>0.2218</b>	<b>2.3114</b>	<b>238.8712</b>	<b>12,294.1867</b>	<b>12,531.1918</b>	<b>16.7064</b>	<b>0.1288</b>	<b>12,863.1751</b>

2.2 Overall Operational

Mitigated Operational

Category	lb/day											MT/yr					
	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e	
Area	5.1437	0.2820	18.3804	1.8700e-003	0.0714	0.0714		0.0714	0.0714	0.0000	226.9670	229.9670	0.0201	3.7400e-003		222.8836	
Energy	0.1388	1.2312	0.7770	7.6200e-003	0.0008	0.0008		0.0044	0.0098	0.0000	3.892.0732	3.895.0732	0.1303	0.8468		3.813.2633	
Mobile	1.5857	7.8962	19.1834	0.0821	7.7879	0.0580	7.8509	2.0886	0.0538	2.1434	0.0000	7.620.4988	7.620.4988	0.3407	0.6000	7.629.0182	
Waste					0.0000	0.0000		0.0000	0.0000	0.0000	207.8078	207.8078	12.2811	0.6000		614.8954	
Water					0.0000	0.0000		0.0000	0.0000	0.0000	29.1932	568.8420	598.0352	3.0180	0.6765	883.7547	
<b>Total</b>	<b>6.8682</b>	<b>9.4123</b>	<b>38.3407</b>	<b>0.0014</b>	<b>7.7879</b>	<b>0.2293</b>	<b>8.0240</b>	<b>2.0886</b>	<b>0.2218</b>	<b>2.3114</b>	<b>236.9712</b>	<b>12,394.1987</b>	<b>12,531.1518</b>	<b>15.7984</b>	<b>6.1268</b>	<b>12,863.4751</b>	

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Percent Reduction	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00

3.0 Construction Detail

Construction Phase



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Phase Number	Phase Name	Phase Type	Start Date	End Date	Num Days/Week	Num Days	Phase Description
1	Demolition	Demolition	9/1/2021	10/12/2021	5	30	
2	Site Preparation	Site Preparation	10/13/2021	11/6/2021	5	20	
3	Grading	Grading	11/16/2021	1/11/2022	5	46	
4	Building Construction	Building Construction	1/12/2022	12/12/2023	5	500	
5	Paving	Paving	12/13/2023	1/31/2024	5	35	
6	Architectural Coating	Architectural Coating	1/31/2024	3/18/2024	5	35	

Acres of Grading (Site Preparation Phase): 0

Acres of Grading (Grading Phase): 112.5

Acres of Paving: 0

Residential Indoor: 2,026,000; Residential Outdoor: 875,000; Non-Residential Indoor: 326,400; Non-Residential Outdoor: 108,800; Striped Parking Area: 0 (Architectural Coating – sqft)

OffRoad Equipment

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Phase Name	Offroad Equipment Type	Amount	Usage Hours	Horse Power	Load Factor
Demolition	Concrete/Industrial Saws	1	8.00	81	0.73
Demolition	Excavators	3	8.00	158	0.38
Demolition	Rubber Tired Dozers	2	8.00	247	0.40
Site Preparation	Rubber Tired Dozers	3	8.00	247	0.40
Site Preparation	Tractors/Loaders/Backhoes	4	8.00	97	0.37
Grading	Excavators	2	8.00	158	0.38
Grading	Graders	1	8.00	187	0.41
Grading	Rubber Tired Dozers	1	8.00	247	0.40
Grading	Scrapers	2	8.00	367	0.48
Grading	Tractors/Loaders/Backhoes	2	8.00	97	0.37
Building Construction	Cranes	1	7.00	231	0.29
Building Construction	Forklifts	3	8.00	89	0.20
Building Construction	Generator Sets	1	8.00	84	0.74
Building Construction	Tractors/Loaders/Backhoes	3	7.00	97	0.37
Building Construction	Welders	1	8.00	46	0.45
Paving	Pavers	2	8.00	130	0.42
Paving	Paving Equipment	2	8.00	132	0.38
Paving	Rollers	2	8.00	80	0.38
Architectural Coating	Air Compressors	1	6.00	78	0.48

Trips and VMT

Village South Specific Plan (Proposed) - Los Angeles-South Coast County, Annual

Phase Name	Offroad Equipment Count	Worker Trip Number	Vendor Trip Number	Hauling Trip Number	Worker Trip Length	Vendor Trip Length	Hauling Trip Length	Worker Vehicle Class	Vendor Vehicle Class	Hauling Vehicle Class
Demolition	6	15.00	0.00	458.00	10.00	5.90	20.00	LD_Mix	HDT_Mix	HHDT
Site Preparation	7	18.00	0.00	0.00	10.00	5.90	20.00	LD_Mix	HDT_Mix	HHDT
Grading	8	20.00	0.00	0.00	10.00	5.90	20.00	LD_Mix	HDT_Mix	HHDT
Building Construction	5	801.00	143.00	0.00	10.00	5.90	20.00	LD_Mix	HDT_Mix	HHDT
Paving	6	16.00	0.00	0.00	10.00	5.90	20.00	LD_Mix	HDT_Mix	HHDT
Architectural Coating	1	60.00	0.00	0.00	10.00	5.90	20.00	LD_Mix	HDT_Mix	HHDT

3.1 Mitigation Measures Construction

3.2 Demolition - 2021

Unmitigated Construction On-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	NO2-CD2	NO2-CD2	Total CO2	GHG	NO2	CO2e
	tans/yr										MT/yr					
Fugitive Dust					0.0488	0.0000	0.0488	7.5100e-003	0.0000	7.5100e-003	0.0000	0.0000	0.0000	0.0090	0.0000	0.0000
Off Road	0.0475	0.4716	0.3235	5.8000e-004		0.0233	0.0233		0.0216	0.0216	0.0000	51.8012	51.8012	0.0144	0.0000	51.3601
<b>Total</b>	<b>0.0475</b>	<b>0.4716</b>	<b>0.3235</b>	<b>5.8000e-004</b>	<b>0.0488</b>	<b>0.0233</b>	<b>0.0721</b>	<b>7.5100e-003</b>	<b>0.0216</b>	<b>0.0281</b>	<b>0.0000</b>	<b>51.8012</b>	<b>51.8012</b>	<b>0.0144</b>	<b>0.0000</b>	<b>51.3601</b>

3.2 Demolition - 2021

**Unmitigated Construction Off-Site**

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	H2O	CO2e
	tons/yr										MT/yr					
Hauling	1.9700e-003	0.0954	0.0158	1.8900e-004	3.5200e-003	1.8000e-004	4.1260e-003	1.5400e-003	1.8000e-004	1.2800e-003	0.0000	17.4566	17.4566	1.2100e-003	0.0000	17.4999
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	7.2000e-004	5.3080e-004	8.9900e-005	2.0000e-005	1.8800e-003	1.0000e-006	1.8900e-003	4.5000e-004	1.0000e-005	4.6000e-004	0.0000	1.5281	1.5281	5.0000e-006	0.0000	1.5283
<b>Total</b>	<b>2.6900e-003</b>	<b>0.0958</b>	<b>0.0216</b>	<b>2.9900e-004</b>	<b>3.6200e-003</b>	<b>2.8000e-004</b>	<b>3.9290e-003</b>	<b>1.5300e-003</b>	<b>1.8000e-004</b>	<b>1.7200e-003</b>	<b>0.0000</b>	<b>18.9847</b>	<b>18.9847</b>	<b>1.2900e-003</b>	<b>0.0000</b>	<b>19.0181</b>

**Mitigated Construction On-Site**

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	H2O	CO2e
	tons/yr										MT/yr					
Fugitive Dust					0.0488	0.0000	0.0488	7.5100e-003	0.0000	7.5100e-003	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Off Road	0.0475	0.4716	0.3235	5.8000e-004		0.0233	0.0233		0.0216	0.0216	0.0000	51.0011	51.0011	0.0144	0.0000	51.3600
<b>Total</b>	<b>0.0475</b>	<b>0.4716</b>	<b>0.3235</b>	<b>5.8000e-004</b>	<b>0.0488</b>	<b>0.0233</b>	<b>0.0729</b>	<b>7.5100e-003</b>	<b>0.0216</b>	<b>0.0291</b>	<b>0.0000</b>	<b>51.0011</b>	<b>51.0011</b>	<b>0.0144</b>	<b>0.0000</b>	<b>51.3600</b>

3.2 Demolition - 2021

Mitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	Nbio-CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	1.9300e-003	8.5634	0.0146	1.8000e-004	3.9600e-003	1.8000e-004	4.1360e-003	1.8000e-003	1.8000e-004	1.7830e-003	0.0000	17.4598	17.4598	1.2100e-008	0.0000	17.4688
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Wrecker	7.2000e-004	5.3900e-004	6.8800e-003	2.0000e-005	1.8800e-003	1.0000e-005	1.6900e-003	4.5000e-004	1.0000e-005	4.6000e-004	0.0000	1.5281	1.5281	5.0000e-008	0.0000	1.5293
<b>Total</b>	<b>3.6300e-003</b>	<b>8.9938</b>	<b>8.9298</b>	<b>2.8000e-004</b>	<b>3.9700e-003</b>	<b>2.8000e-004</b>	<b>5.8260e-003</b>	<b>1.9200e-003</b>	<b>1.8800e-004</b>	<b>1.7280e-003</b>	<b>0.0000</b>	<b>18.9847</b>	<b>18.9847</b>	<b>1.2080e-008</b>	<b>0.0000</b>	<b>19.0191</b>

3.3 Site Preparation - 2021

Unmitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	Nbio-CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Fugitive Dust					0.1857	0.0000	0.1857	0.0893	0.0000	0.0893	0.0000	0.0000	0.0000	0.0000	0.0000	0.3300
Off-Road	0.0389	0.4050	0.2115	3.8000e-004		0.0004	0.0004	0.0188	0.0188	0.0000	0.0000	33.4357	33.4357	0.0168	0.0000	33.7081
<b>Total</b>	<b>0.0389</b>	<b>0.4050</b>	<b>0.2115</b>	<b>3.8000e-004</b>	<b>0.1857</b>	<b>0.0004</b>	<b>0.2011</b>	<b>0.0893</b>	<b>0.0188</b>	<b>0.1181</b>	<b>0.0000</b>	<b>33.4357</b>	<b>33.4357</b>	<b>0.0168</b>	<b>0.0000</b>	<b>33.7681</b>

**3.3 Site Preparation - 2021**

**Unmitigated Construction Off-Site**

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	H2O	CO2e
	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	5.8000e-004	4.3900e-004	4.8700e-003	1.0000e-005	1.3600e-003	1.0000e-005	1.3590e-003	3.6000e-004	1.0000e-005	3.7000e-004	0.0000	1.2275	1.2275	4.0000e-008	0.0000	1.2284
<b>Total</b>	<b>5.8000e-004</b>	<b>4.3900e-004</b>	<b>4.8700e-003</b>	<b>1.0000e-005</b>	<b>1.3600e-003</b>	<b>1.0000e-005</b>	<b>1.3590e-003</b>	<b>3.6000e-004</b>	<b>1.0000e-005</b>	<b>3.7000e-004</b>	<b>0.0000</b>	<b>1.2275</b>	<b>1.2275</b>	<b>4.0000e-008</b>	<b>0.0000</b>	<b>1.2284</b>

**Mitigated Construction On-Site**

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	H2O	CO2e
	tons/yr										MT/yr					
Fugitive Dust					0.1807	0.0000	0.1807	0.0003	0.0032	0.0003	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Off-Road	0.0398	0.4050	0.2115	3.8000e-004		0.0204	0.0204	0.0196	0.0196	0.0198	0.0000	33.4357	33.4357	0.0198	0.0000	33.7060
<b>Total</b>	<b>0.0398</b>	<b>0.4050</b>	<b>0.2115</b>	<b>3.8000e-004</b>	<b>0.1807</b>	<b>0.0204</b>	<b>0.2011</b>	<b>0.0003</b>	<b>0.0192</b>	<b>0.1121</b>	<b>0.0000</b>	<b>33.4357</b>	<b>33.4357</b>	<b>0.0198</b>	<b>0.0000</b>	<b>33.7060</b>

**3.3 Site Preparation - 2021**

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	H2O	CO2e
Category	toneyr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	5.8000e-004	4.3900e-004	4.8700e-003	1.0000e-005	1.3400e-003	1.0000e-005	1.3500e-003	3.6000e-004	1.0000e-005	3.7000e-004	0.0000	1.2215	1.2225	4.0000e-008	0.0000	1.2224
<b>Total</b>	<b>5.8000e-004</b>	<b>4.3900e-004</b>	<b>4.8700e-003</b>	<b>1.0000e-005</b>	<b>1.3400e-003</b>	<b>1.0000e-005</b>	<b>1.3500e-003</b>	<b>3.6000e-004</b>	<b>1.0000e-005</b>	<b>3.7000e-004</b>	<b>0.0000</b>	<b>1.2215</b>	<b>1.2225</b>	<b>4.0000e-008</b>	<b>0.0000</b>	<b>1.2224</b>

**3.4 Grading - 2021**

**Unmitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	H2O	CO2e
Category	toneyr										MT/yr					
Fugitive Dust					0.1741	0.0000	0.1741	0.0693	0.0000	0.0693	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Off-Road	0.0798	0.0918	0.5887	1.1800e-003		0.0377	0.0377		0.0347	0.0347	0.0000	103.5465	103.5405	0.0335	0.0000	104.3778
<b>Total</b>	<b>0.0798</b>	<b>0.0918</b>	<b>0.5887</b>	<b>1.1800e-003</b>	<b>0.1741</b>	<b>0.0377</b>	<b>0.2118</b>	<b>0.0693</b>	<b>0.0347</b>	<b>0.1040</b>	<b>0.0000</b>	<b>103.5465</b>	<b>103.5405</b>	<b>0.0335</b>	<b>0.0000</b>	<b>104.3778</b>

**3.4 Grading - 2021**

**Unmitigated Construction Off-Site**

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	1.2200e-003	9.0000e-004	0.0100	3.0000e-005	2.8000e-003	2.0000e-006	2.8000e-003	7.5000e-004	2.0000e-006	7.8000e-004	0.0000	2.5800	2.5800	0.0000e-006	0.0000	2.5828
<b>Total</b>	<b>1.2200e-003</b>	<b>9.0000e-004</b>	<b>0.0100</b>	<b>3.0000e-005</b>	<b>2.8000e-003</b>	<b>2.0000e-006</b>	<b>2.8000e-003</b>	<b>7.5000e-004</b>	<b>2.0000e-006</b>	<b>7.8000e-004</b>	<b>0.0000</b>	<b>2.5800</b>	<b>2.5800</b>	<b>0.0000e-006</b>	<b>0.0000</b>	<b>2.5828</b>

**Mitigated Construction On-Site**

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
	tons/yr										MT/yr					
Fugitive Dust					0.1741	0.0000	0.1741	0.0693	0.0000	0.0693	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Off-Road	0.0796	0.0016	0.5957	1.1900e-003		0.0377	0.0377		0.0347	0.0347	0.0000	103.5483	103.5403	0.0335	0.0000	104.3775
<b>Total</b>	<b>0.0796</b>	<b>0.0016</b>	<b>0.5957</b>	<b>1.1900e-003</b>	<b>0.1741</b>	<b>0.0377</b>	<b>0.2118</b>	<b>0.0693</b>	<b>0.0347</b>	<b>0.1040</b>	<b>0.0000</b>	<b>103.5483</b>	<b>103.5403</b>	<b>0.0335</b>	<b>0.0000</b>	<b>104.3775</b>



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3.4 Grading - 2021

Mitigated Construction Off-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	Non- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	1.2200e-003	9.0000e-004	0.0103	3.0000e-005	2.8300e-003	2.0000e-005	2.8500e-003	7.5000e-004	2.0000e-005	7.5000e-004	0.0000	2.5600	2.5600	8.0000e-005	0.0000	2.5820
<b>Total</b>	<b>1.2200e-003</b>	<b>9.0000e-004</b>	<b>0.0103</b>	<b>3.0000e-005</b>	<b>2.8300e-003</b>	<b>2.0000e-005</b>	<b>2.8500e-003</b>	<b>7.5000e-004</b>	<b>2.0000e-005</b>	<b>7.5000e-004</b>	<b>0.0000</b>	<b>2.5600</b>	<b>2.5600</b>	<b>8.0000e-005</b>	<b>0.0000</b>	<b>2.5820</b>

3.4 Grading - 2022

Unmitigated Construction On-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	Non- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Fugitive Dust					0.0807	0.0000	0.0807	0.0180	0.0000	0.0180	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Off-Road	0.0127	0.1380	0.1017	2.2000e-004		5.7200e-003	5.7200e-003		5.2800e-003	5.2800e-003	0.0000	19.0871	19.0871	6.1700e-005	0.0000	19.2414
<b>Total</b>	<b>0.0127</b>	<b>0.1380</b>	<b>0.1017</b>	<b>2.2000e-004</b>	<b>0.0807</b>	<b>5.7200e-003</b>	<b>0.0807</b>	<b>0.0180</b>	<b>5.2800e-003</b>	<b>0.0180</b>	<b>0.0000</b>	<b>19.0871</b>	<b>19.0871</b>	<b>6.1700e-005</b>	<b>0.0000</b>	<b>19.2414</b>

3.4 Grading - 2022

Unmitigated Construction Off-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	HBio-CO2	Total CO2	CH4	N2O	CO2e
	tons/yr										MT/yr					
Hauling	0.0000	0.9600	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	2.1000e-004	1.5800e-004	1.7400e-003	1.0000e-005	5.2000e-004	0.0000	5.3000e-004	1.4000e-004	0.0000	1.4000e-004	0.0000	0.4587	0.4587	1.0000e-006	0.0000	0.4580
<b>Total</b>	<b>2.1000e-004</b>	<b>1.5800e-004</b>	<b>1.7400e-003</b>	<b>1.0000e-005</b>	<b>5.2000e-004</b>	<b>0.0000</b>	<b>5.3000e-004</b>	<b>1.4000e-004</b>	<b>0.0000</b>	<b>1.4000e-004</b>	<b>0.0000</b>	<b>0.4587</b>	<b>0.4587</b>	<b>1.0000e-006</b>	<b>0.0000</b>	<b>0.4580</b>

Mitigated Construction On-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	HBio-CO2	Total CO2	CH4	N2O	CO2e
	tons/yr										MT/yr					
Fugitive Dust					0.0807	0.0000	0.0807	0.0180	0.0000	0.0180	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Off-Road	0.0127	0.1380	0.1017	2.2000e-004		5.7200e-003	5.7200e-003		5.2600e-003	5.2600e-003	0.0000	9.0671	10.0671	6.1700e-003	0.0000	10.2414
<b>Total</b>	<b>0.0127</b>	<b>0.1380</b>	<b>0.1017</b>	<b>2.2000e-004</b>	<b>0.0807</b>	<b>5.7200e-003</b>	<b>5.7200e-003</b>	<b>0.0180</b>	<b>5.2600e-003</b>	<b>5.2600e-003</b>	<b>0.0000</b>	<b>9.0671</b>	<b>10.0671</b>	<b>6.1700e-003</b>	<b>0.0000</b>	<b>10.2414</b>

**3.4 Grading - 2022**

**Mitigated Construction Off-Site**

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	3.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	3.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	2.1000e-004	1.5000e-004	1.7400e-003	1.0000e-005	5.2200e-004	0.0000	5.2200e-004	1.4000e-004	0.0000	1.4000e-004	0.0000	0.4287	0.4287	1.0000e-008	0.0000	0.4288
<b>Total</b>	<b>2.1000e-004</b>	<b>1.5000e-004</b>	<b>1.7400e-003</b>	<b>1.0000e-005</b>	<b>5.2200e-004</b>	<b>0.0000</b>	<b>5.2200e-004</b>	<b>1.4000e-004</b>	<b>0.0000</b>	<b>1.4000e-004</b>	<b>0.0000</b>	<b>0.4287</b>	<b>0.4287</b>	<b>1.0000e-008</b>	<b>0.0000</b>	<b>0.4288</b>

**3.5 Building Construction - 2022**

**Unmitigated Construction On-Site**

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
	tons/yr										MT/yr					
Off-Road	0.2158	1.9754	2.0700	3.4100e-003	0.1023	0.1023	0.1023	0.0963	0.0963	0.0000	293.1324	293.1324	0.0792	0.0000	0.0000	294.8981
<b>Total</b>	<b>0.2158</b>	<b>1.9754</b>	<b>2.0700</b>	<b>3.4100e-003</b>	<b>0.1023</b>	<b>0.1023</b>	<b>0.1023</b>	<b>0.0963</b>	<b>0.0963</b>	<b>0.0000</b>	<b>293.1324</b>	<b>293.1324</b>	<b>0.0792</b>	<b>0.0000</b>	<b>0.0000</b>	<b>294.8981</b>

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3.5 Building Construction - 2022

Unmitigated Construction Off-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NIbio-CO2	Total CO2	CH4	N2O	CO2e
	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0527	1.8961	0.4580	4.5500e-003	0.1140	3.1800e-003	0.1171	0.0320	3.0400e-003	0.0349	0.0000	441.9835	441.9835	0.0284	0.0000	442.8435
Worker	0.2051	0.2104	2.5233	7.3500e-003	0.7507	8.2300e-003	0.7619	0.2007	0.7400e-003	0.2088	0.0000	863.9936	863.9936	0.0187	0.0000	864.4804
<b>Total</b>	<b>0.2578</b>	<b>1.9125</b>	<b>2.9812</b>	<b>8.9110e-003</b>	<b>0.8998</b>	<b>8.4100e-003</b>	<b>0.8790</b>	<b>0.2338</b>	<b>8.7800e-003</b>	<b>0.2434</b>	<b>0.0000</b>	<b>1,105.9771</b>	<b>1,105.9771</b>	<b>0.0451</b>	<b>0.0000</b>	<b>1,107.1939</b>

Mitigated Construction On-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NIbio-CO2	Total CO2	CH4	N2O	CO2e
	tons/yr										MT/yr					
Off-Road	0.2158	1.9754	2.0700	3.4100e-003	0.1023	0.1023	0.1023	0.0693	0.0693	0.0693	0.0000	293.1321	293.1321	0.0782	0.0000	294.8877
<b>Total</b>	<b>0.2158</b>	<b>1.9754</b>	<b>2.0700</b>	<b>3.4100e-003</b>	<b>0.1023</b>	<b>0.1023</b>	<b>0.1023</b>	<b>0.0693</b>	<b>0.0693</b>	<b>0.0693</b>	<b>0.0000</b>	<b>293.1321</b>	<b>293.1321</b>	<b>0.0782</b>	<b>0.0000</b>	<b>294.8877</b>

**3.5 Building Construction - 2022**

**Mitigated Construction Off-Site**

Category	ton/yr											M T/yr				
	ROB	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	Net-CO2	Total CO2	CH4	N2O	CO2e
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0527	1.4951	0.4590	4.5600e-003	0.1140	3.1900e-003	0.1171	0.0029	3.0400e-003	0.0369	0.0000	441.9833	441.9833	0.0264	0.0000	442.9430
Worker	0.3051	0.2164	2.0233	7.3500e-003	0.7507	0.2300e-003	0.7619	0.2007	5.7400e-003	0.2085	0.0000	0.0000	0.0000	0.0187	0.0000	0.0440
<b>Total</b>	<b>0.3578</b>	<b>1.9125</b>	<b>2.4812</b>	<b>0.0119</b>	<b>0.8607</b>	<b>3.4100e-003</b>	<b>0.8790</b>	<b>0.2036</b>	<b>8.7800e-003</b>	<b>0.2454</b>	<b>0.0000</b>	<b>1,193,977</b>	<b>1,193,977</b>	<b>0.0451</b>	<b>0.0000</b>	<b>1,197,192</b>

**3.5 Building Construction - 2023**

**Unmitigated Construction On-Site**

Category	ton/yr											M T/yr				
	ROB	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	Net-CO2	Total CO2	CH4	N2O	CO2e
Off-Road	0.1842	1.7765	2.0051	3.3300e-003	0.0654	0.0654	0.0613	0.0613	0.0000	0.0613	0.0000	204.2789	204.2789	0.0001	0.0000	207.9814
<b>Total</b>	<b>0.1842</b>	<b>1.7765</b>	<b>2.0051</b>	<b>3.3300e-003</b>	<b>0.0654</b>	<b>0.0654</b>	<b>0.0613</b>	<b>0.0613</b>	<b>0.0000</b>	<b>0.0613</b>	<b>0.0000</b>	<b>204.2789</b>	<b>204.2789</b>	<b>0.0001</b>	<b>0.0000</b>	<b>207.9814</b>

**3.5 Building Construction - 2023**

**Unmitigated Construction Off-Site**

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NDso-CO2	Total CO2	CH4	N2O	CO2e
	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0392	1.2511	0.4011	4.3000e-003	0.1113	1.4800e-003	0.1127	0.0321	1.4000e-003	0.0336	0.0000	417.9930	417.9930	0.0278	0.0000	418.5624
Worker	0.2795	0.1910	2.2830	6.9100e-003	0.7377	5.9100e-003	0.7436	0.1960	5.4500e-003	0.2014	0.0000	624.5363	624.5363	0.0184	0.0000	624.9468
<b>Total</b>	<b>0.3177</b>	<b>1.4420</b>	<b>2.6841</b>	<b>6.9112</b>	<b>0.8108</b>	<b>7.3700e-003</b>	<b>0.8564</b>	<b>0.2281</b>	<b>6.8500e-003</b>	<b>0.2348</b>	<b>0.0000</b>	<b>1,042.5284</b>	<b>1,042.5284</b>	<b>0.0292</b>	<b>0.0000</b>	<b>1,043.5999</b>

**Mitigated Construction On-Site**

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NDso-CO2	Total CO2	CH4	N2O	CO2e
	tons/yr										MT/yr					
Off-Road	0.1942	1.7785	2.0981	3.3300e-003		0.0854	0.0854		0.0813	0.0813	0.0000	286.2785	286.2785	0.0881	0.0000	287.9911
<b>Total</b>	<b>0.1942</b>	<b>1.7785</b>	<b>2.0981</b>	<b>3.3300e-003</b>		<b>0.0854</b>	<b>0.0854</b>		<b>0.0813</b>	<b>0.0813</b>	<b>0.0000</b>	<b>286.2785</b>	<b>286.2785</b>	<b>0.0881</b>	<b>0.0000</b>	<b>287.9911</b>

**3.5 Building Construction - 2023**

**Mitigated Construction Off-Site**

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Ble- CO2	Nble- CO2	Total CO2	CH4	N2O	CO2e
	tons/yr										M/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0382	1.2811	0.4011	4.3000e-003	0.1113	1.4600e-003	0.1127	0.0321	1.4000e-003	0.0336	0.0000	417.6930	417.6930	0.0228	0.0000	418.5824
Worker	0.2795	0.1910	2.2830	8.9100e-003	0.7577	5.9100e-003	0.7638	0.1960	5.4000e-003	0.2014	0.0000	624.5363	624.5363	0.0164	0.0000	624.9466
<b>Total</b>	<b>0.3177</b>	<b>1.4420</b>	<b>2.6840</b>	<b>0.0112</b>	<b>0.8498</b>	<b>1.3700e-003</b>	<b>0.8564</b>	<b>0.2281</b>	<b>6.8500e-003</b>	<b>0.2348</b>	<b>0.0000</b>	<b>1,042,529.6</b>	<b>1,042,529.6</b>	<b>0.0392</b>	<b>0.0000</b>	<b>1,043,599.0</b>

**3.6 Paving - 2023**

**Unmitigated Construction On-Site**

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Ble- CO2	Nble- CO2	Total CO2	CH4	N2O	CO2e
	tons/yr										M/yr					
Off-Road	6.7100e-003	0.0963	0.0968	1.5000e-004	3.3200e-003	3.3200e-003	3.3200e-003	3.0500e-003	3.0500e-003	3.0500e-003	0.0000	13.0175	13.0175	4.2100e-003	0.0000	13.1227
Paving	0.0000				0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
<b>Total</b>	<b>6.7100e-003</b>	<b>0.0963</b>	<b>0.0968</b>	<b>1.5000e-004</b>	<b>3.3200e-003</b>	<b>3.3200e-003</b>	<b>3.3200e-003</b>	<b>3.0500e-003</b>	<b>3.0500e-003</b>	<b>3.0500e-003</b>	<b>0.0000</b>	<b>13.0175</b>	<b>13.0175</b>	<b>4.2100e-003</b>	<b>0.0000</b>	<b>13.1227</b>

**3.6 Paving - 2023**

**Unmitigated Construction Off-Site**

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	Net-CO2	Total CO2	CH4	N2O	CO2e
	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	2.8000e-004	1.9000e-004	2.2300e-003	1.0000e-005	7.3000e-004	1.0000e-005	7.3000e-004	1.9000e-004	1.0000e-005	2.0000e-004	0.0000	0.0156	0.0156	2.0000e-008	0.0000	0.0160
<b>Total</b>	<b>2.8000e-004</b>	<b>1.9000e-004</b>	<b>2.2300e-003</b>	<b>1.0000e-005</b>	<b>7.3000e-004</b>	<b>1.0000e-005</b>	<b>7.3000e-004</b>	<b>1.9000e-004</b>	<b>1.0000e-005</b>	<b>2.0000e-004</b>	<b>0.0000</b>	<b>0.0156</b>	<b>0.0156</b>	<b>2.0000e-008</b>	<b>0.0000</b>	<b>0.0160</b>

**Mitigated Construction On-Site**

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	Net-CO2	Total CO2	CH4	N2O	CO2e
	tons/yr										MT/yr					
On Road	8.7100e-003	0.0083	0.0048	1.5000e-004		3.3200e-003	3.3200e-003		3.0500e-003	3.0500e-003	0.0000	13.0175	13.0175	4.2100e-003	0.0000	13.1227
Paving	0.0000					0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
<b>Total</b>	<b>8.7100e-003</b>	<b>0.0083</b>	<b>0.0048</b>	<b>1.5000e-004</b>		<b>3.3200e-003</b>	<b>3.3200e-003</b>		<b>3.0500e-003</b>	<b>3.0500e-003</b>	<b>0.0000</b>	<b>13.0175</b>	<b>13.0175</b>	<b>4.2100e-003</b>	<b>0.0000</b>	<b>13.1227</b>



**3.6 Paving - 2023**

**Mitigated Construction Off-Site**

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	2.8000e-004	1.9000e-004	2.2300e-003	1.0000e-005	7.3300e-004	1.0000e-005	7.3300e-004	1.9000e-004	1.0000e-005	2.0000e-004	0.0000	0.0156	0.0156	2.0000e-005	0.0000	0.0100
<b>Total</b>	<b>2.8000e-004</b>	<b>1.9000e-004</b>	<b>2.2300e-003</b>	<b>1.0000e-005</b>	<b>7.3300e-004</b>	<b>1.0000e-005</b>	<b>7.3300e-004</b>	<b>1.9000e-004</b>	<b>1.0000e-005</b>	<b>2.0000e-004</b>	<b>0.0000</b>	<b>0.0156</b>	<b>0.0156</b>	<b>2.0000e-005</b>	<b>0.0000</b>	<b>0.0100</b>

**3.6 Paving - 2024**

**Unmitigated Construction On-Site**

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Off-Road	0.0108	0.0448	0.1808	2.9300e-004	5.1500e-003	5.1800e-003	4.7400e-003	4.7400e-003	0.0000	22.0202	22.0202	7.1200e-003	0.0000	0.0000	0.0000	22.2073
Paving	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
<b>Total</b>	<b>0.0108</b>	<b>0.0448</b>	<b>0.1808</b>	<b>2.9300e-004</b>	<b>5.1500e-003</b>	<b>5.1800e-003</b>	<b>4.7400e-003</b>	<b>4.7400e-003</b>	<b>0.0000</b>	<b>22.0202</b>	<b>22.0202</b>	<b>7.1200e-003</b>	<b>0.0000</b>	<b>0.0000</b>	<b>0.0000</b>	<b>22.2073</b>

**3.6 Paving - 2024**

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	Non- CO2	Total CO2	CH4	H2O	CO2e
Category	tons/yr											MT/yr				
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	4.4000e-004	2.9000e-004	3.5100e-003	1.0000e-005	1.2300e-003	1.0000e-005	1.2400e-003	3.3000e-004	1.0000e-005	3.4000e-004	0.0000	1.0094	1.0094	3.0000e-005	0.0000	1.0100
<b>Total</b>	<b>4.4000e-004</b>	<b>2.9000e-004</b>	<b>3.5100e-003</b>	<b>1.0000e-005</b>	<b>1.2300e-003</b>	<b>1.0000e-005</b>	<b>1.2400e-003</b>	<b>3.3000e-004</b>	<b>1.0000e-005</b>	<b>3.4000e-004</b>	<b>0.0000</b>	<b>1.0094</b>	<b>1.0094</b>	<b>3.0000e-005</b>	<b>0.0000</b>	<b>1.0100</b>

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	Non- CO2	Total CO2	CH4	H2O	CO2e
Category	tons/yr											MT/yr				
Off-Road	0.0100	0.1040	0.1800	2.9900e-004		5.1500e-003	5.1500e-003		4.7400e-003	4.7400e-003	0.0000	22.0202	22.0202	7.1200e-003	0.0000	22.2073
Paving	0.0000					0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
<b>Total</b>	<b>0.0100</b>	<b>0.1040</b>	<b>0.1800</b>	<b>2.9900e-004</b>		<b>5.1500e-003</b>	<b>5.1500e-003</b>		<b>4.7400e-003</b>	<b>4.7400e-003</b>	<b>0.0000</b>	<b>22.0202</b>	<b>22.0202</b>	<b>7.1200e-003</b>	<b>0.0000</b>	<b>22.2073</b>

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3.6 Paving - 2024

Mitigated Construction Off-Site

Category	RGD	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	GHG	H2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	4.4000e-004	2.8000e-004	3.5100e-003	1.0000e-005	1.2200e-003	1.0000e-005	1.2400e-003	3.3000e-004	1.0000e-005	3.4000e-004	0.0000	1.0000	1.0000	3.0000e-008	0.0000	1.0100
<b>Total</b>	<b>4.4000e-004</b>	<b>2.8000e-004</b>	<b>3.5100e-003</b>	<b>1.0000e-005</b>	<b>1.2200e-003</b>	<b>1.0000e-005</b>	<b>1.2400e-003</b>	<b>3.3000e-004</b>	<b>1.0000e-005</b>	<b>3.4000e-004</b>	<b>0.0000</b>	<b>1.0000</b>	<b>1.0000</b>	<b>3.0000e-008</b>	<b>0.0000</b>	<b>1.0100</b>

3.7 Architectural Coating - 2024

Unmitigated Construction On-Site

Category	RGD	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	GHG	H2O	CO2e
Category	tons/yr										MT/yr					
Arch. Coating	4.1372					0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Off-Road	3.1600e-003	0.0213	0.0317	5.0000e-005		1.0700e-003	1.0700e-003		1.0700e-003	1.0700e-003	0.0000	4.4682	4.4682	2.5000e-004	0.0000	4.4745
<b>Total</b>	<b>4.1414</b>	<b>0.0213</b>	<b>0.0317</b>	<b>5.0000e-005</b>		<b>1.0700e-003</b>	<b>1.0700e-003</b>		<b>1.0700e-003</b>	<b>1.0700e-003</b>	<b>0.0000</b>	<b>4.4682</b>	<b>4.4682</b>	<b>2.5000e-004</b>	<b>0.0000</b>	<b>4.4745</b>

3.7 Architectural Coating - 2024

Unmitigated Construction Off-Site

Category	ton/yr											M T/yr				
	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	Net-CO2	Total CO2	CH4	H2O	CO2e
Hauling	0.0000	0.0053	0.0033	0.0000	5.0000	0.0000	0.0200	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	7.4800e-003	4.9340e-003	0.0536	1.9000e-004	0.0209	1.9000e-004	0.0211	5.5500e-003	1.5000e-004	5.7000e-003	0.0000	17.1287	17.1287	4.3000e-004	0.0000	17.1384
<b>Total</b>	<b>7.4800e-003</b>	<b>4.9340e-003</b>	<b>0.0536</b>	<b>1.9000e-004</b>	<b>0.0209</b>	<b>1.9000e-004</b>	<b>0.0211</b>	<b>5.5500e-003</b>	<b>1.5000e-004</b>	<b>5.7000e-003</b>	<b>0.0000</b>	<b>17.1287</b>	<b>17.1287</b>	<b>4.3000e-004</b>	<b>0.0000</b>	<b>17.1384</b>

Mitigated Construction On-Site

Category	ton/yr											M T/yr				
	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	Net-CO2	Total CO2	CH4	H2O	CO2e
Archit. Coating	4.1372				0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Off Road	3.1600e-003	0.0213	0.0317	5.0000e-005	1.0700e-003	1.0700e-003	1.0700e-003	1.0700e-003	1.0700e-003	1.0700e-003	0.0000	4.4682	4.4682	2.5000e-004	0.0000	4.4745
<b>Total</b>	<b>4.1484</b>	<b>0.0213</b>	<b>0.0317</b>	<b>5.0000e-005</b>	<b>1.0700e-003</b>	<b>1.0700e-003</b>	<b>1.0700e-003</b>	<b>1.0700e-003</b>	<b>1.0700e-003</b>	<b>1.0700e-003</b>	<b>0.0000</b>	<b>4.4682</b>	<b>4.4682</b>	<b>2.5000e-004</b>	<b>0.0000</b>	<b>4.4745</b>

**3.7 Architectural Coating - 2024**

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Ba- CO2	Nba- CO2	Total CO2	CH4	H2O	CO2e
Category	ton/day										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	7.4800e-003	4.9200e-003	0.0000	1.8000e-004	0.0000	1.8000e-004	0.0211	5.5000e-003	1.0000e-004	5.7000e-003	0.0000	17.1287	17.1287	4.3000e-004	0.0000	17.1394
<b>Total</b>	<b>7.4800e-003</b>	<b>4.9200e-003</b>	<b>0.0000</b>	<b>1.8000e-004</b>	<b>0.0000</b>	<b>1.8000e-004</b>	<b>0.0211</b>	<b>5.5000e-003</b>	<b>1.0000e-004</b>	<b>5.7000e-003</b>	<b>0.0000</b>	<b>17.1287</b>	<b>17.1287</b>	<b>4.3000e-004</b>	<b>0.0000</b>	<b>17.1394</b>

**4.0 Operational Detail - Mobile**

**4.1 Mitigation Measures Mobile**

Village South Specific Plan (Proposed) - Los Angeles-South Coast County, Annual

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
	tons/yr										MT/yr					
Mitigated	1.5857	7.9962	19.1834	0.0621	7.7979	0.0580	7.8559	2.0695	0.0536	2.1434	0.0000	7.620498	7.620498	0.3487	0.0000	7.629 016 2
Unmitigated	1.5857	7.9962	19.1834	0.0621	7.7979	0.0580	7.8559	2.0695	0.0536	2.1434	0.0000	7.620498	7.620498	0.3487	0.0000	7.629 016 2

4.2 Trip Summary Information

Land Use	Average Daily Trip Rate			Unmitigated Annual VMT	Mitigated Annual VMT
	Weekday	Saturday	Sunday		
Apartment Low Rise	145.75	154.25	154.00	506,227	506,227
Apartment Mid Rise	4,026.75	3,773.25	4,075.50	13,560,065	13,680,065
General Office Building	288.45	82.55	31.05	706,812	706,812
High Turnover (Sit Down Restaurant)	2,368.80	2,873.52	2,817.72	3,413,937	3,413,937
Hotel	192.00	187.50	189.00	445,703	445,703
Quality Restaurant	501.12	511.82	461.20	707,485	707,488
Regional Shopping Center	528.08	801.44	357.84	1,112,221	1,112,221
<b>Total</b>	<b>8,050.95</b>	<b>8,184.43</b>	<b>8,057.31</b>	<b>20,552,452</b>	<b>20,552,452</b>

4.3 Trip Type Information

Village South Specific Plan (Proposed) - Los Angeles-South Coast County, Annual

Land Use	Miles			Trip %			Trip Purpose %		
	H-W or C-W	H-S or C-C	H-O or C-NW	H-W or C-W	H-S or C-C	H-O or C-NW	Primary	Diverted	Pass-by
Apartments Low Rise	14.70	5.90	8.70	40.20	19.20	40.60	86	11	3
Apartments Mid Rise	14.70	5.90	8.70	40.20	19.20	40.60	86	11	3
General Office Building	16.80	8.40	8.90	33.00	48.00	19.00	77	19	4
High Turnover (Sit Down)	16.80	8.40	8.90	8.50	72.50	19.00	37	20	43
Hotel	16.80	8.40	8.90	19.40	61.80	19.00	58	38	4
Quality Restaurants	16.80	8.40	8.90	12.00	69.00	19.00	38	18	44
Regional Shopping Center	16.80	8.40	8.90	18.30	64.70	19.00	54	35	11

4.4 Fleet Mix

Land Use	LDA	LDT1	LDT2	MDF	LHD1	LHD2	MHD	HHD	OBUS	UBUS	MCY	SBUS	MH
Apartments Low Rise	0.543088	0.044216	0.209971	0.116369	0.014033	0.006332	0.021166	0.033577	0.002613	0.001817	0.005285	0.000712	0.000821
Apartments Mid Rise	0.543088	0.044216	0.209971	0.116369	0.014033	0.006332	0.021166	0.033577	0.002613	0.001817	0.005285	0.000712	0.000821
General Office Building	0.543088	0.044216	0.209971	0.116369	0.014033	0.006332	0.021166	0.033577	0.002613	0.001817	0.005285	0.000712	0.000821
High Turnover (Sit Down Restaurants)	0.543088	0.044216	0.209971	0.116369	0.014033	0.006332	0.021166	0.033577	0.002613	0.001817	0.005285	0.000712	0.000821
Hotel	0.543088	0.044216	0.209971	0.116369	0.014033	0.006332	0.021166	0.033577	0.002613	0.001817	0.005285	0.000712	0.000821
Quality Restaurant	0.543088	0.044216	0.209971	0.116369	0.014033	0.006332	0.021166	0.033577	0.002613	0.001817	0.005285	0.000712	0.000821
Regional Shopping Center	0.543088	0.044216	0.209971	0.116369	0.014033	0.006332	0.021166	0.033577	0.002613	0.001817	0.005285	0.000712	0.000821

5.0 Energy Detail

Historical Energy Use: N

5.1 Mitigation Measures Energy

Village South Specific Plan (Proposed) - Los Angeles-South Coast County, Annual

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	ton/yr										MT/yr					
Electricity Mitigated					0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	2,512,846.5	2,512,846.5	0.1037	0.0215	2,521,635.6
Electricity Unmitigated					0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	2,512,846.5	2,512,846.5	0.1037	0.0215	2,521,635.6
Natural Gas Mitigated	0.1398	1.2312	0.7770	7.6200e-003	0.0866	0.0866	0.0996	0.0996	0.0996	0.0996	0.0000	1,383,426.7	1,383,426.7	0.0285	0.0254	1,391,647.6
Natural Gas Unmitigated	0.1398	1.2312	0.7770	7.6200e-003	0.0866	0.0866	0.0996	0.0996	0.0996	0.0996	0.0000	1,383,426.7	1,383,426.7	0.0285	0.0254	1,391,647.6



**5.2 Energy by Land Use - Natural Gas**  
**Unmitigated**

Land Use	Natural Gas Use	CO2	NOx	CO	SO2	Regione PM10	Exhaust PM10	PM10 Total	Regione PM2.5	Exhaust PM2.5	PM2.5 Total	Ba- CO2	NIRe- CO2	Total CO2	CH4	H2O	COLe
	kBTU/yr	ton/yr										M7/yr					
Apartments Low Rise	408494	2.200e-003	0.0188	8.916e-003	1.260e-004	1.520e-003	1.520e-003	1.520e-003	1.520e-003	1.520e-003	1.520e-003	0.0000	21.7868	21.7868	4.260e-004	4.084e-004	21.8284
Apartments Mid Rise	130613e+007	0.0704	0.8018	0.2541	3.840e-003	0.0487	0.0487	0.0487	0.0487	0.0487	0.0487	0.0000	846.9688	846.9688	0.0134	0.0128	701.1457
General Office Building	458450	2.530e-003	0.0230	0.0193	1.400e-004	1.750e-003	1.750e-003	1.750e-003	1.750e-003	1.750e-003	1.750e-003	0.0000	24.8883	24.8883	4.950e-004	4.600e-004	25.1488
High Turnover Sit Down Restaurant	9307389e+008	0.0448	0.4072	0.3421	2.440e-003	0.0319	0.0310	0.0310	0.0310	0.0310	0.0310	0.0000	443.3124	443.3124	8.500e-003	8.130e-003	448.9428
Hotel	174895e+008	8.389e-003	0.0853	0.0717	5.100e-004	6.480e-003	6.480e-003	6.480e-003	6.480e-003	6.480e-003	6.480e-003	0.0000	82.8038	82.8038	1.780e-003	1.700e-003	83.4537
Quality Restaurant	184808e+008	9.360e-003	0.0806	0.0763	5.400e-004	6.880e-003	6.880e-003	6.880e-003	6.880e-003	6.880e-003	6.880e-003	0.0000	88.5136	88.5136	1.850e-003	1.810e-003	89.0666
Regional Shopping Center	91840	5.200e-004	4.800e-003	3.780e-003	3.000e-006	3.400e-004	3.400e-004	3.400e-004	3.400e-004	3.400e-004	3.400e-004	0.0000	4.9009	4.9009	8.000e-005	8.000e-005	4.9809
<b>Total</b>		<b>0.1382</b>	<b>1.2312</b>	<b>0.7770</b>	<b>7.620e-003</b>	<b>0.0886</b>	<b>0.0886</b>	<b>0.0886</b>	<b>0.0886</b>	<b>0.0886</b>	<b>0.0886</b>	<b>0.0000</b>	<b>1,383,426.8</b>	<b>1,383,426.8</b>	<b>0.0283</b>	<b>0.0284</b>	<b>1,381,847.8</b>

5.2 Energy by Land Use - Natural Gas

Mitigated

Land Use	Natural Gas Use kBTU/yr	ton/yr										MT/yr					
		NO <sub>x</sub>	CO	SO <sub>2</sub>	Fugitive PM <sub>10</sub>	Exhaust PM <sub>10</sub>	PM <sub>10</sub> Total	Fugitive PM <sub>2.5</sub>	Exhaust PM <sub>2.5</sub>	PM <sub>2.5</sub> Total	B <sub>5</sub> -CO <sub>2</sub>	N <sub>2</sub> O-CO <sub>2</sub>	Total CO <sub>2</sub>	CH <sub>4</sub>	N <sub>2</sub> O	CO <sub>2e</sub>	
Apartments Low Rise	408494	2.295e-003	0.0188	8.0165e-003	1.290e-004	1.5200e-003	1.5200e-003	1.5200e-003	1.5200e-003	1.5200e-003	0.0000	21.7898	21.7898	4.200e-004	4.5900e-004	21.3284	
Apartments Mid Rise	1.30813e+007	0.0704	0.8018	0.2541	3.8400e-003	0.0487	0.3487	0.0487	0.0487	0.0487	0.0000	896.9089	896.9089	0.0134	0.0128	701.1438	
General Office Building	468450	2.5300e-003	0.0230	0.0193	1.4000e-004	1.7500e-003	1.7500e-003	1.7500e-003	1.7500e-003	1.7500e-003	0.0000	24.9903	24.9903	4.9000e-004	4.9000e-004	25.1488	
High Turnover (Se Down Restaurant)	8.30739e+006	0.0448	0.4072	0.3421	2.4400e-003	0.0310	0.2310	0.0310	0.0310	0.0310	0.0000	443.3124	443.3124	8.9000e-003	8.1300e-003	445.9498	
Hotel	1.74085e+008	9.3900e-003	0.0853	0.0717	5.1000e-004	6.4900e-003	6.4900e-003	6.4900e-003	6.4900e-003	6.4900e-003	0.0000	82.9030	82.9030	1.7800e-003	1.7000e-003	83.4647	
Quality Restaurant	1.84909e+006	0.0600e-003	0.3005	0.0783	5.4000e-004	6.9800e-003	6.9800e-003	6.9800e-003	6.9800e-003	6.9800e-003	0.0000	98.5138	98.5138	1.8900e-003	1.8100e-003	99.0003	
Regional Shopping Center	91840	5.0000e-004	4.8000e-003	3.7800e-003	3.0000e-006	3.4300e-004	3.4000e-004	3.4000e-004	3.4000e-004	3.4000e-004	0.0000	4.9028	4.9008	9.0000e-005	9.0000e-005	4.9301	
<b>Total</b>		<b>0.1388</b>	<b>1.2312</b>	<b>6.7770</b>	<b>7.6200e-003</b>	<b>0.0986</b>	<b>0.0988</b>	<b>0.0986</b>	<b>0.0986</b>	<b>0.0986</b>	<b>0.0000</b>	<b>1,263.426</b>	<b>1,263.426</b>	<b>0.0265</b>	<b>0.0254</b>	<b>1,381.847</b>	

**5.3 Energy by Land Use - Electricity**

**Unmitigated**

Land Use	Electricity Use	Total CO2	CH4	N2O	CO2e
	MWh/yr	MT/yr			
Apartments Low Rise	108810	33.7770	1.3600e-003	2.9000e-004	33.8878
Apartments Mid Rise	3.94667e+006	1.267587	0.0619	0.0187	1.282086
General Office Building	594500	186.2582	7.6900e-003	1.5800e-003	186.9165
High Turnover (Sit Down Restaurant)	1.58904e+006	606.8022	0.3209	4.3000e-003	608.1136
Hotel	560308	175.3388	7.3400e-003	1.5000e-003	175.8872
Quality Restaurant	363120	112.6118	4.6500e-003	9.8000e-004	112.6141
Regional Shopping Center	759900	240.8778	5.9400e-003	2.0800e-003	241.7985
<b>Total</b>		<b>2,612,646.5</b>	<b>0.1037</b>	<b>0.0215</b>	<b>2,621,836.8</b>

**5.3 Energy by Land Use - Electricity**

**Mitigated**

Land Use	Electricity Use kWh/yr	GHG Emissions MT/yr			
		CO <sub>2</sub> e	CH <sub>4</sub>	N <sub>2</sub> O	CO <sub>2</sub> e
Apartments Low Rise	108910	33 7770	1 3800e-003	2 5003e-004	33 8978
Apartments Mid Rise	3 84687e+008	1 257 687 9	0 0519	0 0107	1 262 096 8
General Office Building	564550	188 2582	7 6900e-003	1 5900e-003	188 9102
High Turnover (36 Days) Restaurant	1 58104e+008	508 3022	0 2209	4 3280e-003	508 1136
Hotel	509308	175 3388	7 2400e-003	1 5000e-003	175 9172
Quality Restaurant	363120	112 5118	4 8600e-003	8 8000e-004	112 9141
Regional Shopping Center	756800	240 8778	8 8400e-003	2 0800e-003	241 7385
<b>Total</b>		<b>2,612,648.5</b>	<b>0.1037</b>	<b>8.0215</b>	<b>2,521,639.8</b>

**6.0 Area Detail**

**6.1 Mitigation Measures Area**

Village South Specific Plan (Proposed) - Los Angeles-South Coast County, Annual

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Mitigated	5.1437	0.2950	10.3804	1.6700e-003		0.0714	0.0714		0.0714	0.0714	0.0000	220.9670	220.9670	0.0201	3.7400e-003	222.5835
Unmitigated	5.1437	0.2950	10.3804	1.6700e-003		0.0714	0.0714		0.0714	0.0714	0.0000	220.9670	220.9670	0.0201	3.7400e-003	222.5835

6.2 Area by SubCategory

Unmitigated

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
SubCategory	tons/yr										MT/yr					
Architectural Coating	0.4137					0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Consumer Products	4.3698					0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Hearth	0.0206	0.1783	0.0750	1.1200e-003		0.0143	0.0143		0.0143	0.0143	0.0000	204.1186	204.1186	3.3100e-003	3.7400e-003	205.3286
Landscaping	0.3096	0.1187	10.3054	5.4000e-004		0.0572	0.0572		0.0572	0.0572	0.0000	16.8504	16.8504	0.0181	0.0000	17.2940
<b>Total</b>	<b>5.1437</b>	<b>0.2950</b>	<b>10.3804</b>	<b>1.6600e-003</b>		<b>0.0714</b>	<b>0.0714</b>		<b>0.0714</b>	<b>0.0714</b>	<b>0.0000</b>	<b>220.9670</b>	<b>220.9670</b>	<b>0.0201</b>	<b>3.7400e-003</b>	<b>222.5835</b>

**6.2 Area by SubCategory**

**Mitigated**

SubCategory	ton/yr										Mtyr						
	NOx	NO2	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	MBio- CO2	Total CO2	CH4	N2O	CO2e	
Architecture Coating	0.4137				0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Consumer Products	4.3099				0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Hearth	0.0206	0.1783	0.0750	1.1200e-003	0.0143	0.0143	0.0143	0.0143	0.0143	0.0000	204.1190	204.1190	3.9100e-003	3.7400e-003		205.3285	
Landscaping	0.3095	0.1187	10.3054	5.4000e-004	0.0572	0.0572	0.0572	0.0572	0.0572	0.0000	16.9504	16.9504	0.0181	0.0000		17.2540	
<b>Total</b>	<b>5.1437</b>	<b>0.2960</b>	<b>10.3804</b>	<b>1.8000e-003</b>		<b>0.0714</b>	<b>0.0714</b>		<b>0.0714</b>	<b>0.0714</b>	<b>0.0000</b>	<b>228.9670</b>	<b>228.9670</b>	<b>0.8301</b>	<b>3.7400e-003</b>	<b>222.2823</b>	

**7.0 Water Detail**

**7.1 Mitigation Measures Water**

	Total CO2	CH4	N2O	CO2e
Category	MT/yr			
Mitigated	585.8052	3.0183	0.0755	683.7567
Unmitigated	585.8052	3.0183	0.0755	683.7567

7.2 Water by Land Use

Unmitigated

Land Use	Indoor/Outdoor Use	Total CO <sub>2</sub>	CH <sub>4</sub>	N <sub>2</sub> O	CO <sub>2e</sub>
Land Use	Eqgal.	MT/yr			
Apartment Low Rise	1,02986 / 1,02988	10,9086	0,0535	1,3400e-003	12,8471
Apartment Mid Rise	83,8252 / 40,0486	425,4719	2,0897	0,0923	493,7383
General Office Building	7,99802 / 4,90201	53,0719	0,2427	6,5920e-003	61,0019
High Turnover (Sit Down Restaurant)	10,8072 / 9,697482	51,2702	0,3480	8,8200e-003	62,9482
Hotel	1,28834 / 0,146927	8,1633	0,0418	1,0500e-003	7,5278
Casino Restaurant	2,42827 / 0,154388	11,3934	0,0798	1,8830e-003	13,9463
Regional Shopping Center	4,14808 / 2,64236	27,5250	0,1363	3,4200e-003	31,8493
<b>Total</b>		<b>959,2892</b>	<b>3,8183</b>	<b>8,8736</b>	<b>883,7587</b>



7.2 Water by Land Use

Mitigated

Land Use	Average #/sq ft	Total CO <sub>2</sub>	CH <sub>4</sub>	N <sub>2</sub> O	CO <sub>2</sub> e
Apartments Low Rise	1,029,965 / 1,029,965	10,839.6	0.8530	1.3420e-003	12,647.1
Apartments Mid Rise	83,526.7 / 40,048.6	429,471.9	2.0887	0.0823	493,236.3
General Office Building	7,888,027 / 4,902,011	63,071.9	0.2427	5.5920e-003	61,001.9
High Turnover (Sit Down) Restaurant	90,927.2 / 8,687,482	61,270.2	0.3690	8.8200e-003	62,948.2
Hotel	1,288,347 / 0.149822	8,163.3	0.0418	1.0300e-003	7,537.6
Quality Restaurant	2,426,277 / 0.154968	11,363.4	0.0798	1.9800e-003	13,986.3
Regional Shopping Center	4,148,087 / 2,842,234	27,526.0	0.1363	3.4200e-003	31,949.3
<b>Total</b>		<b>689,866.2</b>	<b>3.0183</b>	<b>8.8750e-003</b>	<b>693,796.7</b>

8.0 Waste Detail

8.1 Mitigation Measures Waste

**Category/Year**

	Total CO2	CH4	N2O	CO2e
	MT/yr			
Mitigated	207.8078	12.2911	0.0000	514.8354
Unmitigated	207.8078	12.2911	0.0000	514.8354

**8.2 Waste by Land Use**

**Unmitigated**

	Waste Disposed	Total CO2	CH4	N2O	CO2e
Land Use	tons	MT/y			
Apartment Low Rise	11.5	2.3344	0.1280	0.0000	6.7834
Apartment Mid Rise	448.6	91.0415	6.3804	0.0000	228.5613
General Office Building	41.85	8.4862	0.5621	0.0000	21.0464
High Turnover (Sit Down Restaurant)	429.4	89.9913	6.1593	0.0000	216.4390
Hotel	27.38	5.5679	0.3285	0.0000	13.7884
Quality Restaurant	7.3	1.4918	0.0978	0.0000	3.6712
Regional Shopping Center	58.8	11.9368	0.7054	0.0000	29.6706
<b>Total</b>		<b>207.8076</b>	<b>12.2811</b>	<b>0.0000</b>	<b>514.8264</b>

**8.2 Waste by Land Use**

**Mitigated**

Land Use	Waste Disposed tons	Total CO2 MT/yr	CH4	N2O	CO2e
Apartments Low Rise	11.5	2,3544	0.1340	0.0000	5,7804
Apartments Mid Rise	448.5	91,0415	5,3804	0.0000	229,5013
General Office Building	41.85	8,4952	0.5621	0.0000	21,0464
High Turnover Sit Down Restaurant	429.4	89,9913	6,1393	0.0000	216,4430
Hotel	27.38	6,5579	0.3285	0.0000	13,7894
Quality Restaurant	7.3	1,4818	0.0878	0.0000	3,6712
Regional Shopping Center	98.8	11,8359	0.7054	0.0000	29,5705
<b>Total</b>		<b>207,9978</b>	<b>12,2811</b>	<b>0.0000</b>	<b>614,8354</b>

**9.0 Operational Offroad**

Equipment Type	Number	Hours/Day	Days/Year	Horse Power	Load Factor	Fuel Type
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**10.0 Stationary Equipment**

**Fire Pumps and Emergency Generators**

Equipment Type	Number	Hours/Day	Hours/Year	Horse Power	Load Factor	Fuel Type
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Village South Specific Plan (Proposed) - Los Angeles-South Coast County, Annual

**Boilers**

Equipment Type	Number	Heat Input/Day	Heat Input/Year	Boiler Rating	Fuel Type
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**User Defined Equipment**

Equipment Type	Number
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**11.0 Vegetation**

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Village South Specific Plan (Proposed) - Los Angeles-South Coast County, Summer

**Village South Specific Plan (Proposed)**  
**Los Angeles-South Coast County, Summer**

**1.0 Project Characteristics**

**1.1 Land Usage**

Land Uses	Size	Metric	Lot Acreage	Floor Surface Area	Population
General Office Building	45.00	1000sqft	1.03	45,000.00	0
High Turnover (Sit Down Restaurant)	38.00	1000sqft	0.83	38,000.00	0
Hotel	50.00	Room	1.67	72,800.00	0
Quickly Restaurant	8.00	1000sqft	0.18	8,000.00	0
Apartments Low Rise	28.00	Dwelling Unit	1.56	28,000.00	72
Apartments Mid Rise	975.00	Dwelling Unit	25.66	975,000.00	2789
Regional Shopping Center	58.00	1000sqft	1.29	58,000.00	0

**1.2 Other Project Characteristics**

Urbanization	Urban	Wind Speed (m/s)	2.2	Precipitation Freq (Days)	33
Climate Zone	9			Operational Year	2028
Utility Company	Southern California Edison				
CO2 Intensity (lb/MWh)	702.44	CH4 Intensity (lb/MWh)	0.029	N2O Intensity (lb/MWh)	0.006

**1.3 User Entered Comments & Non-Default Data**

Village South Specific Plan (Proposed) - Los Angeles-South Coast County, Summer

Project Characteristics - Consistent with the DEIR's model

Land Use - See SWAPE comment regarding residential and retail land uses

Construction Phase - See SWAPE comment regarding individual construction phase lengths

Demolition - Consistent with the DEIR's model. See SWAPE comment regarding demolition

Vehicle Trips - Saturday trips consistent with the DEIR's model. See SWAPE comment regarding weekday and Sunday trips

Woodstoves - Woodstoves and wood-burning fireplaces consistent with the DEIR's model. See SWAPE comment regarding gas fireplaces

Energy Use -

Construction Off-road Equipment Mitigation - See SWAPE comment on construction-related mitigation

Area Mitigation - See SWAPE comment regarding operational mitigation measures

Water Mitigation - See SWAPE comment regarding operational mitigation measures

Trips and VMT - Local hire provision

Table Name	Column Name	Default Value	New Value
tblFireplaces	FireplaceWoodMass	1,019.20	0.00
tblFireplaces	FireplaceWoodMass	1,019.20	0.00
tblFireplaces	NumberWood	1.25	0.00
tblFireplaces	NumberWood	43.75	0.00
tblTripsAndVMT	WorkerTriplength	14.70	10.00
tblTripsAndVMT	WorkerTriplength	14.70	10.00
tblTripsAndVMT	WorkerTriplength	14.70	10.00
tblTripsAndVMT	WorkerTriplength	14.70	10.00
tblTripsAndVMT	WorkerTriplength	14.70	10.00
tblTripsAndVMT	WorkerTriplength	14.70	10.00
tblTripsAndVMT	WorkerTriplength	14.70	10.00
tblVehicleTrips	ST_TR	7.16	6.17
tblVehicleTrips	ST_TR	6.39	3.87
tblVehicleTrips	ST_TR	2.46	1.39
tblVehicleTrips	ST_TR	158.37	79.82

Village South Specific Plan (Proposed) - Los Angeles-South Coast County, Summer

lb/VehicleTrips	ST_TR	8.19	3.75
lb/VehicleTrips	ST_TR	94.76	63.94
lb/VehicleTrips	ST_TR	40.97	10.74
lb/VehicleTrips	SU_TR	6.07	6.16
lb/VehicleTrips	SU_TR	5.88	4.16
lb/VehicleTrips	SU_TR	1.05	0.69
lb/VehicleTrips	SU_TR	131.84	78.27
lb/VehicleTrips	SU_TR	5.95	3.20
lb/VehicleTrips	SU_TR	72.16	57.85
lb/VehicleTrips	SU_TR	25.24	6.39
lb/VehicleTrips	WD_TR	6.59	5.83
lb/VehicleTrips	WD_TR	6.85	4.13
lb/VehicleTrips	WD_TR	11.05	6.41
lb/VehicleTrips	WD_TR	127.15	65.80
lb/VehicleTrips	WD_TR	8.17	3.84
lb/VehicleTrips	WD_TR	89.93	82.64
lb/VehicleTrips	WD_TR	42.70	9.43
lb/Woodstoves	NumberCatalytic	1.25	0.00
lb/Woodstoves	NumberCatalytic	49.75	0.00
lb/Woodstoves	NumberNoncatalytic	1.25	0.00
lb/Woodstoves	NumberNoncatalytic	49.75	0.00
lb/Woodstoves	WoodstoveDayYear	25.00	0.00
lb/Woodstoves	WoodstoveDayYear	25.00	0.00
lb/Woodstoves	WoodstoveWoodMass	999.60	0.00
lb/Woodstoves	WoodstoveWoodMass	999.60	0.00

2.0 Emissions Summary



Village South Specific Plan (Proposed) - Los Angeles-South Coast County, Summer

2.1 Overall Construction (Maximum Daily Emission)

Unmitigated Construction

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	NO2	CH4	N2O	CO2e		
Year	t/day										t/day					
2021	4.2581	46.4415	31.4484	0.2635	18.2332	2.5458	20.7790	9.9870	1.8820	11.8690	0.0000	8,193.4186	8,193.4186	1,9475	0.0000	8,212.1039
2022	4.6441	39.8811	49.8776	0.1240	9.8266	1.4361	11.2627	3.8369	1.5092	5.3461	0.0000	12,483.4480	12,483.4480	1,9485	0.0000	12,618.6707
2023	4.1534	25.7868	38.7457	0.1208	7.0088	0.7592	7.7680	1.8788	0.7138	2.5826	0.0000	12,150.4890	12,150.4890	0.9589	0.0000	12,174.4015
2024	237.8219	9.8478	14.9842	0.0239	1.2171	0.4894	1.7065	0.3228	0.4319	0.4821	0.0000	2,313.1898	2,313.1898	0.7188	0.0000	2,331.0868
Maximum	237.8219	46.4415	49.8776	0.1269	18.3032	2.5458	20.3488	9.9870	1.8820	11.5490	0.0000	12,483.4480	12,483.4480	1,9485	0.0000	12,518.3707

**2.1 Overall Construction (Maximum Daily Emission)**

**Mitigated Construction**

Year	lb/day											lb/day					
	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e	
2021	4.2581	46.4415	31.4494	0.3035	16.2032	2.0458	30.3490	9.8670	1.6920	11.5650	0.0000	6,183.4166	6,183.4166	1.8475	0.8000	6,212.1039	
2022	4.5441	39.8811	48.8778	0.1340	8.6295	1.6361	10.4616	3.6389	1.5082	5.1421	0.0000	12,483.4400	12,483.4403	1.9495	0.8000	12,518.5707	
2023	4.1534	25.7658	38.7457	0.1206	7.0088	0.7592	7.7679	1.8798	0.7138	2.5835	0.0000	12,150.4890	12,150.4890	0.9599	0.8000	12,174.4615	
2024	237.0219	9.6478	14.9642	0.0238	1.2171	0.4894	1.2875	0.3229	0.4319	0.4621	0.0000	2,313.1808	2,313.1808	0.7188	0.8000	2,331.0655	
Maximum	237.0219	46.4415	48.8778	0.1340	16.2032	2.0458	30.3490	9.8670	1.8920	11.5650	0.0000	12,483.4400	12,483.4403	1.9495	0.8000	12,518.5707	
Percent Reduction	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	

Village South Specific Plan (Proposed) - Los Angeles-South Coast County, Summer

2.2 Overall Operational

Unmitigated Operational

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Area	30.5020	18.0498	88.4430	0.0944	1.5974	1.5974	1.5974	1.5974	1.5974	1.5974	0.0000	18,148.59	18,148.59	0.4874	0.3300	18,258.11
Energy	0.7860	8.7462	4.2573	0.0418	0.5292	0.5292	0.5292	0.5292	0.5292	0.5292		8,356.983	8,356.983	0.1802	0.1532	8,405.638
Mobility	9.8489	45.4304	114.8495	0.4917	45.9582	0.3380	46.2951	12.2952	0.3119	12.8070		50,308.80	50,308.80	2.1807		50,361.12
Total	41.1188	67.2292	207.5497	0.6278	45.9582	2.4628	48.6217	12.2952	2.4385	14.7328	0.0000	76,811.18	76,811.18	2.8282	0.4832	77,825.87

Mitigated Operational

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Area	30.5020	18.0498	88.4430	0.0944	1.5974	1.5974	1.5974	1.5974	1.5974	1.5974	0.0000	18,148.59	18,148.59	0.4874	0.3300	18,258.11
Energy	0.7860	8.7462	4.2573	0.0418	0.5292	0.5292	0.5292	0.5292	0.5292	0.5292		8,356.983	8,356.983	0.1802	0.1532	8,405.638
Mobility	9.8489	45.4304	114.8495	0.4917	45.9582	0.3380	46.2951	12.2952	0.3119	12.8070		50,308.80	50,308.80	2.1807		50,361.12
Total	41.1188	67.2292	207.5497	0.6278	45.9582	2.4628	48.6217	12.2952	2.4385	14.7328	0.0000	76,811.18	76,811.18	2.8282	0.4832	77,825.87

Village South Specific Plan (Proposed) - Los Angeles-South Coast County, Summer

	ROG	NOx	CO	CO2	PM10	PM10	PM10 Total	PM2.5	PM2.5	PM2.5 Total	Strip-CO2	Res-CO2	Total CO2	CH4	N2O	CO2e
Percent Reduction	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00

3.0 Construction Detail

Construction Phase

Phase Number	Phase Name	Phase Type	Start Date	End Date	Num Days Week	Num Days	Phase Description
1	Demolition	Demolition	8/1/2021	10/12/2021	5	30	
2	Site Preparation	Site Preparation	10/13/2021	11/6/2021	5	20	
3	Grading	Grading	11/10/2021	11/11/2022	5	45	
4	Building Construction	Building Construction	1/12/2022	12/17/2023	5	500	
5	Paving	Paving	12/13/2023	1/30/2024	5	35	
6	Architectural Coating	Architectural Coating	1/31/2024	3/19/2024	5	35	

Acres of Grading (Site Preparation Phase): 0

Acres of Grading (Grading Phase): 112.5

Acres of Paving: 0

Residential Indoor: 2,026,000; Residential Outdoor: 875,000; Non-Residential Indoor: 328,400; Non-Residential Outdoor: 108,800; Striped Parking Area: 0 (Architectural Coating – sqft)

OffRoad Equipment

Village South Specific Plan (Proposed) - Los Angeles-South Coast County, Summer

Phase Name	Offroad Equipment Type	Amount	Usage Hours	Horse Power	Load Factor
Demolition	Concrete/Industrial Saws	1	8.00	81	0.73
Demolition	Excavators	3	8.00	158	0.38
Demolition	Rubber Tired Dozers	2	8.00	247	0.40
Site Preparation	Rubber Tired Dozers	3	8.00	247	0.40
Site Preparation	Tractors/Loaders/Backhoes	4	8.00	97	0.37
Grading	Excavators	2	8.00	158	0.38
Grading	Graders	1	8.00	187	0.41
Grading	Rubber Tired Dozers	1	8.00	247	0.40
Grading	Scrapers	2	8.00	387	0.48
Grading	Tractors/Loaders/Backhoes	2	8.00	97	0.37
Building Construction	Cranes	1	7.00	231	0.29
Building Construction	Forklifts	3	8.00	89	0.20
Building Construction	Generator Sets	1	8.00	84	0.74
Building Construction	Tractors/Loaders/Backhoes	3	7.00	97	0.37
Building Construction	Welders	1	8.00	46	0.45
Paving	Pavers	2	8.00	130	0.42
Paving	Paving Equipment	2	8.00	132	0.38
Paving	Rollers	2	8.00	80	0.38
Architectural Coating	Air Compressors	1	6.00	78	0.48

**Tires and VMT**

Village South Specific Plan (Proposed) - Los Angeles-South Coast County, Summer

Phase Name	Offroad Equipment Count	Worker Trip Number	Vendor Trip Number	Hauling Trip Number	Worker Trip Length	Vendor Trip Length	Hauling Trip Length	Worker Vehicle Class	Vendor Vehicle Class	Hauling Vehicle Class
Demolition	6	15.00	0.00	458.00	10.00	5.90	20.00	LD_Mix	HDT_Mix	HHDT
Site Preparation	7	18.00	0.00	0.00	10.00	5.90	20.00	LD_Mix	HDT_Mix	HHDT
Grading	8	20.00	0.00	0.00	10.00	5.90	20.00	LD_Mix	HDT_Mix	HHDT
Building Construction	9	801.00	143.00	0.00	10.00	5.90	20.00	LD_Mix	HDT_Mix	HHDT
Paving	6	15.00	0.00	0.00	10.00	5.90	20.00	LD_Mix	HDT_Mix	HHDT
Architectural Coating	1	180.00	0.00	0.00	10.00	5.90	20.00	LD_Mix	HDT_Mix	HHDT

3.1 Mitigation Measures Construction

3.2 Demolition - 2021

Unmitigated Construction On-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	HBio-CO2	Total CO2	CH4	N2O	CO2e
Fugitive Dust					3.3074	0.0000	3.3074	0.5009	0.0000	0.5009			0.0000			0.0000
Off Road	3.1651	31.4407	21.5650	0.0388		1.5813	1.5813		1.4411	1.4411		3,747,944 g	3,747,944 g	1.0549		3,774,317.4
<b>Total</b>	<b>3.1651</b>	<b>31.4407</b>	<b>21.5650</b>	<b>0.0388</b>	<b>3.3074</b>	<b>1.5813</b>	<b>4.8887</b>	<b>0.5009</b>	<b>1.4411</b>	<b>1.9419</b>		<b>3,747,944 g</b>	<b>3,747,944 g</b>	<b>1.0549</b>		<b>3,774,317.4</b>

**3.2 Demolition - 2021**

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.1273	4.0862	0.9002	0.0119	0.2869	0.0126	0.2785	0.0732	0.0120	0.0862		1,292,241.3	1,292,241.3	0.0877		1,294,433.7
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Worker	0.0487	0.0313	0.4282	1.1800e-003	0.1141	5.5000e-004	0.1151	0.0303	8.8000e-004	0.0311		117,279.9	117,279.9	3.5200e-003		117,367.8
<b>Total</b>	<b>0.1760</b>	<b>4.1265</b>	<b>1.3884</b>	<b>0.0121</b>	<b>0.3810</b>	<b>0.0135</b>	<b>0.3949</b>	<b>0.1034</b>	<b>0.0129</b>	<b>0.1192</b>		<b>1,409,521.2</b>	<b>1,409,521.2</b>	<b>0.0912</b>		<b>1,411,801.5</b>

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Fugitive Dust					3.3074	0.0000	3.3074	0.5008	0.0000	0.5008			0.0000			0.0000
Off-Road	3.1651	31.4407	21.5650	0.0388		1.5613	1.5613		1.4411	1.4411	0.0000	3,747,944.9	3,747,944.9	1.0549		3,774,317.4
<b>Total</b>	<b>3.1651</b>	<b>31.4407</b>	<b>21.5650</b>	<b>0.0388</b>	<b>3.3074</b>	<b>1.5613</b>	<b>4.8588</b>	<b>0.5008</b>	<b>1.4411</b>	<b>1.9419</b>	<b>0.0000</b>	<b>3,747,944.9</b>	<b>3,747,944.9</b>	<b>1.0549</b>		<b>3,774,317.4</b>

3.2 Demolition - 2021

Mitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.1273	4.0952	0.8032	0.0119	3.2899	0.0128	0.2795	0.0732	0.0120	0.0802			1,292.2413	1,292.2413	0.0877	1,294.4337
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000			0.0000	0.0000	0.0000	0.0000
Worker	0.0487	0.0313	0.4282	1.1800e-005	0.1141	9.5000e-004	0.1151	0.0003	8.8000e-004	0.0011			117.2799	117.2799	3.5200e-003	117.3678
Total	0.1760	4.1265	1.2314	0.0131	3.3810	0.0135	0.3046	0.0738	0.0120	0.1183			1,409.5212	1,409.5212	0.0912	1,411.8915

3.3 Site Preparation - 2021

Unmitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Fugitive Dust					18.0663	0.0000	18.0663	9.9307	0.0000	9.9307			0.0000			0.0000
Off-Road	3.8882	40.4971	21.1543	0.0380		2.0445	2.0445		1.8878	1.8878			3,895.6568	3,895.6568	1.1920	3,715.4573
Total	3.8882	40.4971	21.1543	0.0380	18.0663	2.0445	20.1187	9.9307	1.8878	11.8110			3,895.6568	3,895.6568	1.1920	3,715.4573



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3.3 Site Preparation - 2021

Unmitigated Construction Off-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	H2O	CO2e
Category	Daily										Daily					
Hauling	0.0000	0.0000	0.0030	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Worker	0.0584	0.0375	0.0138	1.4100e-003	0.1369	1.1400e-003	0.1381	0.0363	1.0000e-003	0.0374		140.7358	140.7358	4.2200e-000		140.8414
<b>Total</b>	<b>0.0584</b>	<b>0.0375</b>	<b>0.0138</b>	<b>1.4100e-003</b>	<b>0.1369</b>	<b>1.1400e-003</b>	<b>0.1381</b>	<b>0.0363</b>	<b>1.0000e-003</b>	<b>0.0374</b>		<b>140.7358</b>	<b>140.7358</b>	<b>4.2200e-000</b>		<b>140.8414</b>

Mitigated Construction On-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	H2O	CO2e
Category	Daily										Daily					
Fugitive Dust					18.0663	0.0000	18.0663	9.9307	0.0000	9.9307			0.0000			0.0000
Off-Road	3.8882	40.4871	21.1543	0.0388		2.0445	2.0445		1.8808	1.8808	0.0008	3,683.838	3,683.838	1.1820		3,715.4573
<b>Total</b>	<b>3.8882</b>	<b>40.4871</b>	<b>21.1543</b>	<b>0.0388</b>	<b>18.0663</b>	<b>2.0445</b>	<b>20.1107</b>	<b>9.9307</b>	<b>1.8808</b>	<b>11.8115</b>	<b>0.0008</b>	<b>3,683.838</b>	<b>3,683.838</b>	<b>1.1820</b>		<b>3,715.4573</b>

**3.3 Site Preparation - 2021**

**Mitigated Construction Off-Site**

Category	PM10	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	Net-CO2	Total CO2	CH4	N2O	CO2e
	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Worker	0.0584	0.0375	0.5136	1.4100e-003	0.1369	1.400e-003	0.1381	0.0363	1.0500e-003	0.0374		140.7358	140.7358	4.2200e-003		140.8414
<b>Total</b>	<b>0.0584</b>	<b>0.0375</b>	<b>0.5136</b>	<b>1.4100e-003</b>	<b>0.1369</b>	<b>1.400e-003</b>	<b>0.1381</b>	<b>0.0363</b>	<b>1.0500e-003</b>	<b>0.0374</b>		<b>140.7358</b>	<b>140.7358</b>	<b>4.2200e-003</b>		<b>140.8414</b>

**3.4 Grading - 2021**

**Unmitigated Construction On-Site**

Category	PM10	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	Net-CO2	Total CO2	CH4	N2O	CO2e
	lb/day										lb/day					
Fugitive Dust					8.8733	0.0000	8.8733	3.5955	0.0000	3.5955			0.0000			0.0000
Off-Road	4.1912	45.3598	30.8785	0.0620		1.8853	1.8853		1.8295	1.8285		6.007.043	6.007.043	1.9428		6.055.813
<b>Total</b>	<b>4.1912</b>	<b>45.3598</b>	<b>30.8785</b>	<b>0.0620</b>	<b>8.8733</b>	<b>1.8853</b>	<b>10.6587</b>	<b>3.5955</b>	<b>1.8295</b>	<b>5.4230</b>		<b>6.007.043</b>	<b>6.007.043</b>	<b>1.9428</b>		<b>6.055.813</b>

**3.4 Grading - 2021**

**Unmitigated Construction Off-Site**

Category	RGG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e	
Category	bbl/day										bbl/day						
Hauling	0.0000	0.0000	0.0000	0.0000	0.0009	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000			0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000			0.0000
Worker	0.0648	0.0417	0.0710	1.5700e-003	0.1521	1.2700e-003	0.1534	0.0404	1.1700e-003	0.0415		156.3732	156.3732	4.8900e-003			156.4904
<b>Total</b>	<b>0.0648</b>	<b>0.0417</b>	<b>0.0710</b>	<b>1.5700e-003</b>	<b>0.1521</b>	<b>1.2700e-003</b>	<b>0.1534</b>	<b>0.0404</b>	<b>1.1700e-003</b>	<b>0.0415</b>		<b>156.3732</b>	<b>156.3732</b>	<b>4.8900e-003</b>			<b>156.4904</b>

**Mitigated Construction On-Site**

Category	RGG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e	
Category	bbl/day										bbl/day						
Fugitive Dust					8.8733	0.0000	8.8733	3.5865	0.0000	3.5865			0.0000			0.0000	
Off-Road	4.1912	46.3668	30.8785	0.0620		1.0853	1.0853		1.8285	1.8285	0.0000	8,007.0434	8,007.0434	1.9420			8,065.6134
<b>Total</b>	<b>4.1912</b>	<b>46.3668</b>	<b>30.8785</b>	<b>0.0620</b>	<b>8.8733</b>	<b>1.0853</b>	<b>10.8587</b>	<b>3.5865</b>	<b>1.8285</b>	<b>5.4230</b>	<b>0.0000</b>	<b>8,007.0434</b>	<b>8,007.0434</b>	<b>1.9420</b>			<b>8,065.6134</b>

Village South Specific Plan (Proposed) - Los Angeles-South Coast County, Summer

3.4 Grading - 2021

Mitigated Construction Off-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NRio-CO2	Total CO2	CH4	N2O	CO2e
b/dry																
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Worker	0.0848	0.0417	0.0710	1.5700e-003	0.1521	1.2700e-003	0.1534	0.0404	1.1700e-003	0.0415		158.3732	158.3732	4.8900e-003		158.4804
<b>Total</b>	<b>0.0848</b>	<b>0.0417</b>	<b>0.0710</b>	<b>1.5700e-003</b>	<b>0.1521</b>	<b>1.2700e-003</b>	<b>0.1534</b>	<b>0.0404</b>	<b>1.1700e-003</b>	<b>0.0415</b>		<b>158.3732</b>	<b>158.3732</b>	<b>4.8900e-003</b>		<b>158.4804</b>

3.4 Grading - 2022

Unmitigated Construction On-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NRio-CO2	Total CO2	CH4	N2O	CO2e
b/dry																
Fugitive Dust					8.8733	0.0000	8.8733	3.5965	0.0000	3.5965			0.0000			0.0000
Off Road	3.8248	38.8435	26.0415	0.0621		1.8349	1.8349		1.5041	1.5041		8,011,410.5	8,011,410.5	1.9442		8,086,015.8
<b>Total</b>	<b>3.8248</b>	<b>38.8435</b>	<b>26.0415</b>	<b>0.0621</b>	<b>8.8733</b>	<b>1.8349</b>	<b>10.3082</b>	<b>3.5965</b>	<b>1.5041</b>	<b>5.1006</b>		<b>8,011,410.5</b>	<b>8,011,410.5</b>	<b>1.9442</b>		<b>8,086,015.8</b>

3.4 Grading - 2022

Unmitigated Construction Off-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Worker	0.0007	0.0370	0.0283	1.5100e-003	0.1521	1.2300e-003	0.1534	0.0404	1.1300e-003	0.0415		150.8754	100.8754	4.2400e-003		180.9813
<b>Total</b>	<b>0.0007</b>	<b>0.0370</b>	<b>0.0283</b>	<b>1.5100e-003</b>	<b>0.1521</b>	<b>1.2300e-003</b>	<b>0.1534</b>	<b>0.0404</b>	<b>1.1300e-003</b>	<b>0.0415</b>		<b>150.8754</b>	<b>100.8754</b>	<b>4.2400e-003</b>		<b>180.9813</b>

Mitigated Construction On-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
	lb/day										lb/day					
Fugitive Dust					0.0733	0.0000	0.0733	3.5865	0.0000	3.5865			0.0000			0.0000
Off-Road	3.0248	38.0435	28.0415	0.0621		1.0349	1.0349	1.5041	1.5041	1.5041	0.0000	0.0114105	0.0114105	1.9442		0.0000158
<b>Total</b>	<b>3.0248</b>	<b>38.0435</b>	<b>28.0415</b>	<b>0.0621</b>	<b>0.0733</b>	<b>1.0349</b>	<b>1.1082</b>	<b>3.5865</b>	<b>1.5041</b>	<b>3.1088</b>		<b>0.0114105</b>	<b>0.0114105</b>	<b>1.9442</b>		<b>0.0000158</b>

**3.4 Grading - 2022**

**Mitigated Construction Off-Site**

Category	ROG	ROx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	Nbio-CO2	Total CO2	CH4	N2O	CO2e
Daily											Daily					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Water	0.0607	0.0378	0.5283	1.5100e-003	0.1521	1.2300e-003	0.1534	0.0404	1.1300e-003	0.0415		150.8754	150.8754	4.2400e-003		150.8810
<b>Total</b>	<b>0.0607</b>	<b>0.0378</b>	<b>0.5283</b>	<b>1.5100e-003</b>	<b>0.1521</b>	<b>1.2300e-003</b>	<b>0.1534</b>	<b>0.0404</b>	<b>1.1300e-003</b>	<b>0.0415</b>		<b>150.8754</b>	<b>150.8754</b>	<b>4.2400e-003</b>		<b>150.8810</b>

**3.5 Building Construction - 2022**

**Unmitigated Construction On-Site**

Category	ROG	ROx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	Nbio-CO2	Total CO2	CH4	N2O	CO2e
Daily											Daily					
On Road	1.7062	15.8158	18.3834	0.0289		0.8000	0.8000		0.7612	0.7612		2,554.3338	2,554.3338	0.8120		2,566.8327
<b>Total</b>	<b>1.7062</b>	<b>15.8158</b>	<b>18.3834</b>	<b>0.0289</b>		<b>0.8000</b>	<b>0.8000</b>		<b>0.7612</b>	<b>0.7612</b>		<b>2,554.3338</b>	<b>2,554.3338</b>	<b>0.8120</b>		<b>2,566.8327</b>

Village South Specific Plan (Proposed) - Los Angeles-South Coast County, Summer

**3.5 Building Construction - 2022**

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Vendor	0.4079	13.2032	3.4341	0.0364	0.9155	0.0248	0.9404	0.2638	0.0237	0.2875		3,896,548.2	3,896,548.2	0.2235		3,902,139.4
Worker	2.4299	1.5074	21.0801	0.0907	0.0832	0.0483	6.1425	1.6163	0.0454	1.6617		6,042,558.5	6,042,558.5	0.1697		6,046,809.0
<b>Total</b>	<b>2.8378</b>	<b>14.7106</b>	<b>24.5142</b>	<b>0.0971</b>	<b>7.0067</b>	<b>0.0731</b>	<b>7.0828</b>	<b>1.8799</b>	<b>0.0691</b>	<b>1.9490</b>		<b>9,939,106.7</b>	<b>9,939,106.7</b>	<b>0.3933</b>		<b>9,944,938.4</b>

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	1.7062	15.9156	16.3634	0.0269		0.8090	0.8090		0.7612	0.7612	0.0000	2,554,333.8	2,554,333.8	0.6120		2,569,632.2
<b>Total</b>	<b>1.7062</b>	<b>15.9156</b>	<b>16.3634</b>	<b>0.0269</b>		<b>0.8090</b>	<b>0.8090</b>		<b>0.7612</b>	<b>0.7612</b>	<b>0.0000</b>	<b>2,554,333.8</b>	<b>2,554,333.8</b>	<b>0.6120</b>		<b>2,569,632.2</b>

**3.5 Building Construction - 2022**

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NI Bio-CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Heating	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.4078	13.2032	3.4341	0.0384	0.9155	0.0248	0.9404	0.2638	0.0237	0.2875			3,895,548.2	3,895,548.2	0.2236	3,907,138.4
Worker	2.4299	1.5974	21.0801	0.0807	0.0932	0.0493	0.1425	1.6163	0.0454	1.6617			8,042,528.5	8,042,528.5	0.1697	8,044,800.0
Total	2.8378	14.7196	24.5142	0.0871	7.9987	0.0741	7.9928	1.8799	0.0691	1.9490			8,938,106.7	8,938,106.7	0.3933	8,948,938.4

**3.5 Building Construction - 2023**

**Unmitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NI Bio-CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
On Road	1.5728	14.3849	16.2448	0.0288		0.0997	0.0997		0.0594	0.0594			2,555,208.9	2,555,208.9	0.6879	2,570,496.1
Total	1.5728	14.3849	16.2448	0.0288		0.0997	0.0997		0.0594	0.0594			2,555,208.9	2,555,208.9	0.6879	2,570,496.1



**3.5 Building Construction - 2023**

**Unmitigated Construction Off-Site**

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Vendor	0.3027	10.0181	3.1014	0.0352	0.9156	0.0116	0.9271	0.2836	0.0111	0.2747		3,773,876	3,773,876	0.1982		3,778,830
Worker	2.2780	1.3628	18.4002	0.0584	0.0832	0.0479	0.1411	1.0163	0.0441	1.0604		5,821,402	5,821,402	0.1529		5,825,225
<b>Total</b>	<b>2.5807</b>	<b>11.3809</b>	<b>21.5017</b>	<b>0.0936</b>	<b>7.9688</b>	<b>0.0595</b>	<b>7.0682</b>	<b>1.8799</b>	<b>0.9352</b>	<b>1.8390</b>		<b>9,595,278</b>	<b>9,595,278</b>	<b>0.3511</b>		<b>9,604,052</b>

**Mitigated Construction On-Site**

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
	lb/day										lb/day					
Off-Road	1.5728	14.3848	16.2440	0.0288		0.6697	0.6697		0.6584	0.6584	0.0000	2,555,209	2,555,209	0.6079		2,570,408
<b>Total</b>	<b>1.5728</b>	<b>14.3848</b>	<b>16.2440</b>	<b>0.0288</b>		<b>0.6697</b>	<b>0.6697</b>		<b>0.6584</b>	<b>0.6584</b>	<b>0.0000</b>	<b>2,555,209</b>	<b>2,555,209</b>	<b>0.6079</b>		<b>2,570,408</b>

**3.5 Building Construction - 2023**

**Mitigated Construction Off-Site**

Category	ROG	NOx	CO	SO <sub>2</sub>	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NO <sub>2</sub> -CO2	Total CO2	CH4	N2O	CO2e
	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.3027	10.9181	3.1014	0.0302	0.9156	0.0116	0.9271	0.2638	0.0111	0.2747	0.0000	3,773.8762	3,773.8762	0.1882	0.0000	3,776.8300
Worker	2.2780	1.3626	19.4002	0.0584	8.0932	0.0479	8.1411	1.6163	0.0441	1.6604	0.0000	5,821.4028	5,821.4028	0.1529	0.0000	5,825.2254
<b>Total</b>	<b>2.5807</b>	<b>11.3889</b>	<b>22.5017</b>	<b>0.0884</b>	<b>7.0088</b>	<b>0.0595</b>	<b>7.0682</b>	<b>1.8799</b>	<b>0.0552</b>	<b>1.9250</b>	<b>0.0000</b>	<b>8,595.2790</b>	<b>8,595.2790</b>	<b>0.3511</b>	<b>0.0000</b>	<b>8,604.9554</b>

**3.6 Paving - 2023**

**Unmitigated Construction On-Site**

Category	ROG	NOx	CO	SO <sub>2</sub>	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NO <sub>2</sub> -CO2	Total CO2	CH4	N2O	CO2e
	lb/day										lb/day					
Off Road	1.0327	10.1917	14.5942	0.0228	0.5102	0.5102	0.5102	0.4694	0.4694	0.9288	0.0000	2,207.5861	2,207.5861	0.7140	0.0000	2,215.4338
Paving	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
<b>Total</b>	<b>1.0327</b>	<b>10.1917</b>	<b>14.5942</b>	<b>0.0228</b>	<b>0.5102</b>	<b>0.5102</b>	<b>0.5102</b>	<b>0.4694</b>	<b>0.4694</b>	<b>0.9288</b>	<b>0.0000</b>	<b>2,207.5861</b>	<b>2,207.5861</b>	<b>0.7140</b>	<b>0.0000</b>	<b>2,215.4338</b>

**3.6 Paving - 2023**

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0427	0.0255	0.3933	1.9900e-003	0.1141	9.9000e-004	0.1159	0.0303	8.3000e-004	0.0311	109.0150	109.0150	2.8600e-003			109.0866
<b>Total</b>	<b>0.0427</b>	<b>0.0255</b>	<b>0.3933</b>	<b>1.9900e-003</b>	<b>0.1141</b>	<b>9.9000e-004</b>	<b>0.1159</b>	<b>0.0303</b>	<b>8.3000e-004</b>	<b>0.0311</b>	<b>109.0150</b>	<b>109.0150</b>	<b>2.8600e-003</b>			<b>109.0866</b>

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	1.0327	10.1917	14.5842	0.0228		0.5102	0.5102		0.4694	0.4694	0.0000	2,297.5841	2,297.5841	0.7140		2,225.4336
Paving	0.0000					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
<b>Total</b>	<b>1.0327</b>	<b>10.1917</b>	<b>14.5842</b>	<b>0.0228</b>		<b>0.5102</b>	<b>0.5102</b>		<b>0.4694</b>	<b>0.4694</b>	<b>0.0000</b>	<b>2,297.5841</b>	<b>2,297.5841</b>	<b>0.7140</b>		<b>2,225.4336</b>

3.6 Paving - 2023

Mitigated Construction Off-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	GHG	R20	CO2e
	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Worker	0.0427	0.0255	0.3633	1.0000e-003	0.1141	0.0000e-004	0.1150	0.0303	0.3020e-004	0.0311		109.0150	109.0150	2.9000e-003		109.0000
<b>Total</b>	<b>0.0427</b>	<b>0.0255</b>	<b>0.3633</b>	<b>1.0000e-003</b>	<b>0.1141</b>	<b>0.0000e-004</b>	<b>0.1150</b>	<b>0.0303</b>	<b>0.3020e-004</b>	<b>0.0311</b>		<b>109.0150</b>	<b>109.0150</b>	<b>2.9000e-003</b>		<b>109.0000</b>

3.6 Paving - 2024

Unmitigated Construction On-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	GHG	R20	CO2e
	lb/day										lb/day					
Off-Road	0.5892	9.5249	14.6258	0.0228		0.8885	0.8885		0.4310	0.4310		2,207,547.2	2,207,547.2	0.7140		2,225,386.3
Paving	0.0000					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
<b>Total</b>	<b>0.5892</b>	<b>9.5249</b>	<b>14.6258</b>	<b>0.0228</b>		<b>0.8885</b>	<b>0.8885</b>		<b>0.4310</b>	<b>0.4310</b>		<b>2,207,547.2</b>	<b>2,207,547.2</b>	<b>0.7140</b>		<b>2,225,386.3</b>

**3.6 Paving - 2024**

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	Non-CO2	Total CO2	CH4	N2O	CO2e
Category	bldg										bldg					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0403	0.0233	0.0384	1.0000e-003	0.1141	8.8000e-004	0.1150	0.0003	8.1000e-004	0.0311		105.6338	105.6338	2.6300e-003		105.6692
<b>Total</b>	<b>0.0403</b>	<b>0.0233</b>	<b>0.0384</b>	<b>1.0000e-003</b>	<b>0.1141</b>	<b>8.8000e-004</b>	<b>0.1150</b>	<b>0.0003</b>	<b>8.1000e-004</b>	<b>0.0311</b>		<b>105.6338</b>	<b>105.6338</b>	<b>2.6300e-003</b>		<b>105.6692</b>

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	Non-CO2	Total CO2	CH4	N2O	CO2e
Category	bldg										bldg					
Off-Road	0.0002	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	2,207,547.2	2,207,547.2	0.7143		2,215,399.3
Paving	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
<b>Total</b>	<b>0.0002</b>	<b>0.0000</b>	<b>0.0000</b>	<b>0.0000</b>	<b>0.0000</b>	<b>0.0000</b>	<b>0.0000</b>	<b>0.0000</b>	<b>0.0000</b>	<b>0.0000</b>	<b>0.0000</b>	<b>2,207,547.2</b>	<b>2,207,547.2</b>	<b>0.7143</b>		<b>2,215,399.3</b>

**3.6 Paving - 2024**

**Mitigated Construction Off-Site**

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Net CO2	Net CO2	Total CO2	CH4	N2O	CO2e
Hauling	0.0000	0.2920	0.0030	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0403	0.0233	0.3384	1.0000e-003	0.1141	8.8000e-004	0.1150	0.0003	8.1000e-004	0.0311	105.6338	105.6338	2.6300e-003			105.6992
<b>Total</b>	<b>0.0403</b>	<b>0.0233</b>	<b>0.3384</b>	<b>1.0000e-003</b>	<b>0.1141</b>	<b>8.8000e-004</b>	<b>0.1150</b>	<b>0.0003</b>	<b>8.1000e-004</b>	<b>0.0311</b>	<b>105.6338</b>	<b>105.6338</b>	<b>2.6300e-003</b>			<b>105.6992</b>

**3.7 Architectural Coating - 2024**

**Unmitigated Construction On-Site**

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Net CO2	Net CO2	Total CO2	CH4	N2O	CO2e
Archit. Coating	238.4115					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Off Road	0.1808	1.2188	1.8181	2.9700e-003		0.0809	0.0809		0.0000	0.0809			281.4481	281.4481	0.0150	281.8443
<b>Total</b>	<b>238.5923</b>	<b>1.2188</b>	<b>1.8181</b>	<b>2.9700e-003</b>		<b>0.0809</b>	<b>0.0809</b>		<b>0.0000</b>	<b>0.0809</b>			<b>281.4481</b>	<b>281.4481</b>	<b>0.0150</b>	<b>281.8443</b>

**3.7 Architectural Coating - 2024**

**Unmitigated Construction Off-Site**

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NIbio-CO2	Total CO2	CH4	N2O	CO2e
Category	Daily										Daily					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Waste	0.4296	0.2481	3.8096	0.0113	1.2171	5.4300e-003	1.2268	0.3229	8.8300e-003	0.3315		1,120.7583	1,120.7583	0.0280		1,127.4983
<b>Total</b>	<b>0.4296</b>	<b>0.2481</b>	<b>3.8096</b>	<b>0.0113</b>	<b>1.2171</b>	<b>5.4300e-003</b>	<b>1.2268</b>	<b>0.3229</b>	<b>8.8300e-003</b>	<b>0.3315</b>		<b>1,120.7583</b>	<b>1,120.7583</b>	<b>0.0280</b>		<b>1,127.4983</b>

**Mitigated Construction On-Site**

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NIbio-CO2	Total CO2	CH4	N2O	CO2e
Category	Daily										Daily					
Arch Coating	238.4115					0.4330	0.0000		0.0000	0.0000			0.0000			0.0000
Off Road	0.1808	1.2188	1.8101	2.9700e-003		0.0609	0.0609		0.0809	0.0809	0.0000	281.4481	281.4481	0.0158		281.8443
<b>Total</b>	<b>238.5923</b>	<b>1.2188</b>	<b>1.8101</b>	<b>2.9700e-003</b>		<b>0.0609</b>	<b>0.0609</b>		<b>0.0809</b>	<b>0.0809</b>	<b>0.0000</b>	<b>281.4481</b>	<b>281.4481</b>	<b>0.0158</b>		<b>281.8443</b>

**3.7 Architectural Coating - 2024**

**Mitigated Construction Off-Site**

	ROB	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Btu-CO2	Nbto-CO2	Total CO2	GHG	H2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Worker	0.4290	0.2461	0.0096	0.0113	1.2171	9.4300e-003	1.2286	0.3229	8.8800e-003	0.3315		1,128,758.3	1,128,758.3	0.0290		1,127,458.3
<b>Total</b>	<b>0.4290</b>	<b>0.2461</b>	<b>0.0096</b>	<b>0.0113</b>	<b>1.2171</b>	<b>9.4300e-003</b>	<b>1.2286</b>	<b>0.3229</b>	<b>8.8800e-003</b>	<b>0.3315</b>		<b>1,128,758.3</b>	<b>1,128,758.3</b>	<b>0.0290</b>		<b>1,127,458.3</b>

**4.0 Operational Detail - Mobile**

**4.1 Mitigation Measures Mobile**



Village South Specific Plan (Proposed) - Los Angeles-South Coast County, Summer

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Category	t/day										t/day					
Mitigated	9.8489	45.4304	114.8466	0.4917	45.9592	0.3360	46.2961	12.2650	0.3119	12.6070		50,306.80	50,306.80	2.1807		50,361.12
Unmitigated	9.8489	45.4304	114.8466	0.4917	45.9592	0.3360	46.2961	12.2650	0.3119	12.6070		34	34	2.1807		50,361.12

4.2 Trip Summary Information

Land Use	Average Daily Trip Rate			Unmitigated	Mitigated
	Weekday	Saturday	Sunday	Annual VMT	Annual VMT
Apartment Low Rise	145.75	154.25	154.00	506,227	506,227
Apartment Mid Rise	4,026.75	3,773.25	4,075.90	13,660,065	13,660,065
General Office Building	268.45	62.55	31.05	706,812	706,812
High Turnover (Sit Down Restaurant)	2,368.80	2,873.52	2,817.72	3,413,937	3,413,937
Hotel	192.00	187.50	160.00	445,703	445,703
Quality Restaurant	501.12	511.52	461.20	707,488	707,488
Regional Shopping Center	528.06	601.44	357.84	1,112,221	1,112,221
<b>Total</b>	<b>8,050.95</b>	<b>6,164.43</b>	<b>8,057.31</b>	<b>20,552,452</b>	<b>20,552,452</b>

4.3 Trip Type Information

Village South Specific Plan (Proposed) - Los Angeles-South Coast County, Summer

Land Use	Miles			Trip %			Trip Purpose %		
	H-W or C-W	H-S or C-C	H-D or C-NW	H-A or C-W	H-S or C-C	H-D or C-NW	Primary	Diverted	Pass-by
Apartments Low Rise	14.70	5.90	8.70	40.20	19.20	40.60	86	11	3
Apartments Mid Rise	14.70	5.90	8.70	40.20	19.20	40.60	86	11	3
General Office Building	16.80	8.40	8.90	33.00	48.00	19.00	77	19	4
High Turnover (Sit Down)	16.80	8.40	8.90	8.50	72.50	19.00	37	20	43
Hotel	16.80	8.40	8.90	19.40	81.60	19.00	58	38	4
Quickly Restaurant	16.80	8.40	8.90	12.00	68.00	19.00	36	18	44
Regional Shopping Center	16.80	8.40	8.90	16.33	64.70	19.00	54	33	11

4.4 Fleet Mix

Land Use	LDA	LDT1	LDT2	MDV	LHD1	LHD2	MHD	HHD	OBUS	UBUS	MCY	SBUS	NH
Apartments Low Rise	0.543088	0.044216	0.209971	0.116369	0.014033	0.006332	0.021166	0.033577	0.002613	0.001817	0.005285	0.006712	0.000821
Apartments Mid Rise	0.543088	0.044216	0.209971	0.116369	0.014033	0.006332	0.021166	0.033577	0.002613	0.001817	0.005285	0.006712	0.000821
General Office Building	0.543088	0.044216	0.209971	0.116369	0.014033	0.006332	0.021166	0.033577	0.002613	0.001817	0.005285	0.006712	0.000821
High Turnover (Sit Down Restaurant)	0.543088	0.044216	0.209971	0.116369	0.014033	0.006332	0.021166	0.033577	0.002613	0.001817	0.005285	0.006712	0.000821
Hotel	0.543088	0.044216	0.209971	0.116369	0.014033	0.006332	0.021166	0.033577	0.002613	0.001817	0.005285	0.006712	0.000821
Quickly Restaurant	0.543088	0.044216	0.209971	0.116369	0.014033	0.006332	0.021166	0.033577	0.002613	0.001817	0.005285	0.006712	0.000821
Regional Shopping Center	0.543088	0.044216	0.209971	0.116369	0.014033	0.006332	0.021166	0.033577	0.002613	0.001817	0.005285	0.006712	0.000821

5.0 Energy Detail

Historical Energy Use: N

5.1 Mitigation Measures Energy

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	Industry										Industry					
NaturalGas Mitigated	0.7660	6.7462	4.2573	0.0418	0.5292	0.5292	0.5292	0.5292	0.5292	0.5292	8,355,985	8,355,985	8,355,985	0.1602	0.1532	8,405,638
NaturalGas Unmitigated	0.7660	6.7462	4.2573	0.0418	0.5292	0.5292	0.5292	0.5292	0.5292	0.5292	8,355,985	8,355,985	8,355,985	0.1602	0.1532	8,405,638

Village South Specific Plan (Proposed) - Los Angeles-South Coast County, Summer

5.2 Energy by Land Use - Natural Gas

Unmitigated

Land Use	Natural Gas Use	ROG	NOx	CO	SO2	Reactive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Ble-CO2	NIle-CO2	Total CO2	CH4	N2O	CO2e
	kBTU/yr	lb/day										lb/day					
Apartments Low Rise	1119.16	0.0121	0.1031	0.0439	6.6000e-004		8.3400e-003	8.3400e-003		8.3490e-003	8.3400e-003		131.8862	131.8862	2.5200e-035	2.4180e-003	132.4496
Apartments Mid Rise	35784.3	0.3859	3.2978	1.4033	0.0211		0.2986	0.2986		0.2989	0.2986		4,209.9184	4,209.9184	0.0807	0.0772	4,234.9339
General Office Building	126342	0.0138	0.1258	0.1057	7.5800e-004		9.5800e-003	9.5800e-003		9.5800e-003	9.5800e-003		150.9811	150.9811	2.8800e-039	2.7700e-003	151.6984
High Turnover (Sit Down Restaurant)	22769.9	0.2455	2.2314	1.8743	0.0134		0.1896	0.1896		0.1898	0.1896		2,677.6342	2,677.6342	0.0613	0.0491	2,685.5480
Hotel	4709.72	0.0514	0.4078	0.3829	2.8100e-003		0.0326	0.0326		0.0326	0.0326		581.1438	581.1438	0.0108	0.0103	584.4792
Quickly Restaurant	5067.76	0.0545	0.4059	0.4185	2.9800e-003		0.0377	0.0377		0.0377	0.0377		586.0298	586.0298	0.0114	0.0109	588.5658
Regional Shopping Center	251816	2.7100e-003	0.0247	0.0207	1.5000e-004		1.8700e-003	1.8700e-003		1.8700e-003	1.8700e-003		29.8018	29.8018	5.7000e-004	5.4000e-004	29.7778
<b>Total</b>		<b>0.7866</b>	<b>6.7483</b>	<b>4.2573</b>	<b>0.0418</b>		<b>0.5282</b>	<b>0.5282</b>		<b>0.5292</b>	<b>0.5292</b>		<b>8,355.9837</b>	<b>8,355.9837</b>	<b>0.1692</b>	<b>0.1632</b>	<b>8,406.8387</b>

**5.2 Energy by Land Use - Natural Gas**

**Mitigated**

Land Use	Natural Gas Use (MMBtu/yr)	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	NO-CO2	NOx-CO2	Total CO2	CH4	N2O	CO2e	
		lb/day										lb/day						
Apartments Low Rise	1.11818	0.0121	0.1031	0.0438	6.9900e-004		0.3400e-003	0.3400e-003		0.3400e-003	0.3400e-003			131.8882	131.8882	2.5200e-003	2.4100e-003	132.4488
Apartments Mid Rise	35.7843	0.3889	3.2978	1.4033	0.0211		0.2886	0.2886		0.2886	0.2886			4,209.8164	4,209.8164	0.0807	0.0772	4,234.9339
General Office Building	1.28342	0.0138	0.1258	0.1057	7.5000e-004		0.5400e-003	0.5400e-003		0.5400e-003	0.5400e-003			150.9811	150.9811	2.8800e-003	2.7700e-003	151.8894
High Turnover (Sit Down Restaurant)	22.7599	0.2466	2.2014	1.8743	0.0134		0.1896	0.1896		0.1896	0.1896			2,877.8342	2,877.8342	0.0513	0.0491	2,902.3460
Hotel	4.78872	0.0516	0.4678	0.3828	2.8100e-003		0.0326	0.0326		0.0326	0.0326			581.1436	581.1436	0.0108	0.0103	584.4782
Quality Restaurant	6.88716	0.0846	0.8668	0.4186	2.8800e-003		0.0377	0.0377		0.0377	0.0377			685.0298	685.0298	0.0114	0.0108	688.5658
Regional Shopping Center	0.251816	2.7100e-003	0.0247	0.0207	1.5000e-004		1.8700e-003	1.8700e-003		1.8700e-003	1.8700e-003			28.6018	28.6018	5.7000e-004	5.4000e-004	28.7778
<b>Total</b>		<b>0.7860</b>	<b>6.7483</b>	<b>4.2573</b>	<b>0.0418</b>		<b>0.5282</b>	<b>0.5282</b>		<b>0.5282</b>	<b>0.5282</b>			<b>8,355.8832</b>	<b>8,355.8832</b>	<b>0.1692</b>	<b>0.1632</b>	<b>8,400.8387</b>

**6.0 Area Detail**

**6.1 Mitigation Measures Area**

Village South Specific Plan (Proposed) - Los Angeles-South Coast County, Summer

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NRto- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Mitigated	30.5030	15.0498	88.4430	0.0044		1.5974	1.5974		1.5974	1.5974	0.0000	18,148.5850	18,148.5850	0.4874	0.3300	18,258.1182
Unmitigated	30.5020	15.0498	88.4430	0.0044		1.5974	1.5974		1.5974	1.5974	0.0000	18,148.5850	18,148.5850	0.4874	0.3300	18,258.1182

6.2 Area by SubCategory

Unmitigated

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NRto- CO2	Total CO2	CH4	N2O	CO2e
SubCategory	lb/day										lb/day					
Architecture Coating	2.2870					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Consumer Products	24.1085					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Hearth	1.6500	14.1000	8.0000	0.0900		1.1400	1.1400		1.1400	1.1400	0.0000	18,000.0000	18,000.0000	0.3450	0.3300	18,108.8850
Landscaping	2.4788	0.9498	82.4430	4.3600		0.4574	0.4574		0.4574	0.4574		148.5950	148.5950	0.1424		152.1542
Total	30.5020	15.0498	88.4430	0.9944		1.5974	1.5974		1.5974	1.5974	0.0000	18,148.5850	18,148.5850	0.4874	0.3300	18,258.1182

6.2 Area by SubCategory

Mitigated

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Refr. CO2	Hydro. CO2	Total CO2	CH4	N2O	CO2e
SubCategory	lb/day										lb/day					
Architectural Coating	2.2670				0.0000	0.0000	0.0000	0.0000	0.0000	0.0000			0.0000			0.0000
Consumer Products	24.1085				0.0000	0.0000	0.0000	0.0000	0.0000	0.0000			0.0000			0.0000
Health	1.6500	14.1000	0.0000	0.0000	1.1400	1.1400	1.1400	1.1400	1.1400	1.1400	0.0000	18,000.00	18,000.00	0.3450	0.3300	18,108.90
Landscaping	2.4798	0.0498	0.2430	0.0000	0.4674	0.4674	0.4674	0.4674	0.4674	0.4674		148.5900	148.5900	0.1420		152.1842
<b>Total</b>	<b>30.5020</b>	<b>15.0498</b>	<b>0.2430</b>	<b>0.0000</b>	<b>1.5874</b>	<b>1.5874</b>	<b>1.5874</b>	<b>1.5874</b>	<b>1.5874</b>	<b>1.5874</b>	<b>0.0000</b>	<b>18,148.59</b>	<b>18,148.59</b>	<b>0.4870</b>	<b>0.3300</b>	<b>18,258.11</b>

7.0 Water Detail

7.1 Mitigation Measures Water

8.0 Waste Detail

8.1 Mitigation Measures Waste

9.0 Operational Offroad

Equipment Type	Number	Hours/Day	Days/Year	Horse Power	Load Factor	Fuel Type
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10.0 Stationary Equipment

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Village South Specific Plan (Proposed) - Los Angeles-South Coast County, Summer

**Fire Pumps and Emergency Generators**

Equipment Type	Number	Hours/Day	Hours/Year	Horse Power	Load Factor	Fuel Type
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**Boilers**

Equipment Type	Number	Heat Input/Day	Heat Input/Year	Boiler Rating	Fuel Type
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**User Defined Equipment**

Equipment Type	Number
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**11.0 Vegetation**

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**Village South Specific Plan (Proposed)**  
**Los Angeles-South Coast County, Winter**

**1.0 Project Characteristics**

**1.1 Land Usage**

Land Uses	Size	Metric	Lot Acreage	Floor Surface Area	Population
General Office Building	45.00	1000sqft	1.03	45,000.00	0
High Turnover (Sit Down Restaurant)	38.00	1000sqft	0.83	38,000.00	0
Hotel	50.00	Room	1.67	72,600.00	0
Quality Restaurant	8.00	1000sqft	0.18	8,000.00	0
Apartments Low Rise	25.00	Dwelling Unit	1.56	25,000.00	72
Apartments Mid Rise	975.00	Dwelling Unit	25.66	975,000.00	2789
Regional Shopping Center	56.00	1000sqft	1.29	56,000.00	0

**1.2 Other Project Characteristics**

Urbanization	Urban	Wind Speed (m/s)	2.2	Precipitation Freq (Days)	33
Climate Zone	9			Operational Year	2028
Utility Company	Southern California Edison				
CO2 Intensity (lb/MWh)	702.44	CH4 Intensity (lb/MWh)	0.029	N2O Intensity (lb/MWh)	0.006

**1.3 User Entered Comments & Non-Default Data**

Village South Specific Plan (Proposed) - Los Angeles-South Coast County, Winter

Project Characteristics - Consistent with the DEIR's model

Land Use - See SWAPE comment regarding residential and retail land uses.

Construction Phase - See SWAPE comment regarding individual construction phase lengths

Demolition - Consistent with the DEIR's model. See SWAPE comment regarding demolition

Vehicle Trips - Saturday trips consistent with the DEIR's model. See SWAPE comment regarding weekday and Sunday trips

Woodstoves - Woodstoves and wood-burning fireplaces consistent with the DEIR's model. See SWAPE comment regarding gas fireplaces

Energy Use -

Construction Off-road Equipment Mitigation - See SWAPE comment on construction-related mitigation.

Area Mitigation - See SWAPE comment regarding operational mitigation measures.

Water Mitigation - See SWAPE comment regarding operational mitigation measures.

Trips and VMT - Local hire provision

Table Name	Column Name	Default Value	New Value
tblFireplaces	FireplacesWoodMass	1,019.20	0.00
tblFireplaces	FireplacesWoodMass	1,019.20	0.00
tblFireplaces	NumberWood	1.25	0.00
tblFireplaces	NumberWood	49.75	0.00
tblTripsAndVMT	WorkerTripLength	14.70	10.00
tblTripsAndVMT	WorkerTripLength	14.70	10.00
tblTripsAndVMT	WorkerTripLength	14.70	10.00
tblTripsAndVMT	WorkerTripLength	14.70	10.00
tblTripsAndVMT	WorkerTripLength	14.70	10.00
tblTripsAndVMT	WorkerTripLength	14.70	10.00
tblVehicleTrips	ST_TR	7.16	5.17
tblVehicleTrips	ST_TR	6.39	3.87
tblVehicleTrips	ST_TR	2.46	1.39
tblVehicleTrips	ST_TR	156.37	79.82

Village South Specific Plan (Proposed) - Los Angeles-South Coast County, Winter

lbVehicleTrips	ST_TR	8.18	3.75
lbVehicleTrips	ST_TR	94.38	63.98
lbVehicleTrips	ST_TR	45.67	10.74
lbVehicleTrips	SU_TR	6.07	6.16
lbVehicleTrips	SU_TR	5.88	4.18
lbVehicleTrips	SU_TR	1.05	0.69
lbVehicleTrips	SU_TR	131.84	78.27
lbVehicleTrips	SU_TR	5.95	3.20
lbVehicleTrips	SU_TR	72.16	57.65
lbVehicleTrips	SU_TR	25.24	8.39
lbVehicleTrips	WD_TR	6.59	5.83
lbVehicleTrips	WD_TR	6.65	4.13
lbVehicleTrips	WD_TR	11.03	6.41
lbVehicleTrips	WD_TR	127.15	65.80
lbVehicleTrips	WD_TR	8.17	3.84
lbVehicleTrips	WD_TR	89.55	62.64
lbVehicleTrips	WD_TR	42.70	9.43
lbWoodstoves	NumberCatalytic	1.25	0.00
lbWoodstoves	NumberCatalytic	48.75	0.00
lbWoodstoves	NumberNoncatalytic	1.25	0.00
lbWoodstoves	NumberNoncatalytic	48.75	0.00
lbWoodstoves	WoodstoveDayYear	25.00	0.00
lbWoodstoves	WoodstoveDayYear	25.00	0.00
lbWoodstoves	WoodstoveWoodMass	998.50	0.00
lbWoodstoves	WoodstoveWoodMass	998.50	0.00

2.0 Emissions Summary

2.1 Overall Construction (Maximum Daily Emission)

Unmitigated Construction

Year	Daily											Daily				
	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
2021	4.2821	46.4423	31.4498	0.0005	18.2302	2.0458	20.2760	8.9570	1.8920	10.8490	0.0000	6,154,237.7	6,154,237.7	1.9472	0.0000	6,203,918.6
2022	4.7988	38.8851	30.6338	0.1195	8.8294	1.6361	10.4655	3.6369	1.6082	5.1421	0.0000	12,025,344.0	12,025,344.0	1.9482	0.0000	12,080,601.3
2023	4.3038	25.8848	37.5631	0.1182	7.0088	0.7588	7.7676	1.8799	0.7142	2.5840	0.0000	11,710,408.0	11,710,408.0	0.9917	0.0000	11,734,448.7
2024	237.0864	9.6503	14.8372	0.0038	1.2171	0.4894	1.7065	0.3229	0.4319	0.4821	0.0000	2,307,067.7	2,307,067.7	0.7164	0.0000	2,324,982.7
Maximum	237.0864	46.4423	38.6338	0.1195	18.2302	2.0458	20.2760	8.9570	1.8920	10.8490	0.0000	12,025,344.0	12,025,344.0	1.9482	0.0000	12,080,601.3

2.1 Overall Construction (Maximum Daily Emission)

Mitigated Construction

Year	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Refr. CO2	Non-Ref. CO2	Total CO2	CH4	N2O	CO2e
	lb/day										lb/day					
2021	4.3621	46.4480	31.4398	0.3635	18.2022	2.0456	20.2478	8.9670	1.8820	11.8490	0.0000	6,154,337.7	6,154,337.7	1.9472	0.0000	6,203,018.6
2022	4.7886	38.8851	30.6338	0.1195	8.8255	1.5351	10.4816	3.6309	1.5082	5.1421	0.0000	12,035.3440	12,035.3440	1.9482	0.0000	12,080.6013
2023	4.3638	25.8848	37.5631	0.1162	7.0088	0.7588	7.7685	1.8788	0.7142	2.5940	0.0000	11,710.4080	11,710.4080	0.9817	0.0000	11,734.4487
2024	237.0866	9.6520	14.9372	0.3238	1.2171	0.4894	1.2975	0.3229	0.4319	0.4821	0.0000	2,307.0577	2,307.0577	0.7184	0.0000	2,334.9627
<b>Maximum</b>	<b>237.0866</b>	<b>46.4480</b>	<b>38.6338</b>	<b>0.1195</b>	<b>18.2022</b>	<b>2.0456</b>	<b>20.2478</b>	<b>8.9670</b>	<b>1.8820</b>	<b>11.8490</b>	<b>0.0000</b>	<b>12,035.3440</b>	<b>12,035.3440</b>	<b>1.9482</b>	<b>0.0000</b>	<b>12,080.6013</b>
	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Refr. CO2	Non-Ref. CO2	Total CO2	CH4	N2O	CO2e
<b>Percent Reduction</b>	<b>0.00</b>	<b>0.00</b>	<b>8.66</b>	<b>8.00</b>	<b>0.00</b>	<b>8.00</b>	<b>0.00</b>	<b>8.00</b>	<b>8.59</b>	<b>8.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>8.00</b>	<b>8.68</b>

Village South Specific Plan (Proposed) - Los Angeles-South Coast County, Winter

2.2 Overall Operational

Unmitigated Operational

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Area	30.5920	15.0495	88.4430	0.0944		1.5974	1.5974		1.5974	1.5974	0.0000	18,148.5950	18,148.5950	0.4974	0.3300	18,258.1192
Energy	0.7980	8.7482	4.2573	0.0418		0.5292	0.5292		0.5292	0.5292		8,355.9832	8,355.9832	0.1602	0.1532	8,405.6387
Mobile	9.5233	45.9914	110.0472	0.4681	45.9582	0.3373	46.2955	12.2950	0.3132	12.6083		47,917.8005	47,917.8005	2.1953		47,972.9839
<b>Total</b>	<b>40.7912</b>	<b>67.7872</b>	<b>202.7424</b>	<b>0.8043</b>	<b>45.9582</b>	<b>2.4640</b>	<b>48.4231</b>	<b>12.2950</b>	<b>2.4398</b>	<b>14.7348</b>	<b>0.0000</b>	<b>74,422.3787</b>	<b>74,422.3787</b>	<b>2.8429</b>	<b>0.4832</b>	<b>74,837.4417</b>

Mitigated Operational

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Area	30.5920	15.0495	88.4430	0.0944		1.5974	1.5974		1.5974	1.5974	0.0000	18,148.5950	18,148.5950	0.4974	0.3300	18,258.1192
Energy	0.7980	8.7482	4.2573	0.0418		0.5292	0.5292		0.5292	0.5292		8,355.9832	8,355.9832	0.1602	0.1532	8,405.6387
Mobile	9.5233	45.9914	110.0472	0.4681	45.9582	0.3373	46.2955	12.2950	0.3132	12.6083		47,917.8005	47,917.8005	2.1953		47,972.9839
<b>Total</b>	<b>40.7912</b>	<b>67.7872</b>	<b>202.7424</b>	<b>0.8043</b>	<b>45.9582</b>	<b>2.4640</b>	<b>48.4231</b>	<b>12.2950</b>	<b>2.4398</b>	<b>14.7348</b>	<b>0.0000</b>	<b>74,422.3787</b>	<b>74,422.3787</b>	<b>2.8429</b>	<b>0.4832</b>	<b>74,837.4417</b>

Village South Specific Plan (Proposed) - Los Angeles - South Coast County, Winter

	ROG	NOx	CO	SO2	PM10 Fugitive	Exhaust PM10	PM10 Total	PM2.5 Fugitive	Exhaust PM2.5	PM2.5 Total	SO <sub>x</sub> -CO <sub>2</sub>	NO <sub>2</sub> -CO <sub>2</sub>	Total CO <sub>2</sub>	CH <sub>4</sub>	N <sub>2</sub> O	CO <sub>2</sub> e
Percent Reduction	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00

3.0 Construction Detail

Construction Phase

Phase Number	Phase Name	Phase Type	Start Date	End Date	Plan Days Week	Num Days	Phase Description
1	Demolition	Demolition	8/1/2021	10/12/2021	5	30	
2	Site Preparation	Site Preparation	10/13/2021	11/6/2021	5	20	
3	Grading	Grading	11/10/2021	1/11/2022	5	45	
4	Building Construction	Building Construction	1/12/2022	12/12/2023	5	500	
5	Paving	Paving	12/13/2023	1/30/2024	5	35	
6	Architectural Coating	Architectural Coating	1/31/2024	3/19/2024	5	35	

Acres of Grading (Site Preparation Phase): 0

Acres of Grading (Grading Phase): 112.6

Acres of Paving: 0

Residential Indoor: 2,025,000; Residential Outdoor: 675,000; Non-Residential Indoor: 326,400; Non-Residential Outdoor: 108,800; Striped Parking Area: 0 (Architectural Coating – sqft)

Off Road Equipment

Village South Specific Plan (Proposed) - Los Angeles South Coast County Winter

Phase Name	Offroad Equipment Type	Amount	Usage Hours	Horse Power	Load Factor
Demolition	Concrete/Industrial Saws	1	8.00	51	0.73
Demolition	Excavators	3	8.00	158	0.38
Demolition	Rubber Tired Dozers	2	8.00	247	0.40
Site Preparation	Rubber Tired Dozers	3	8.00	247	0.40
Site Preparation	Tractors/Loaders/Backhoes	4	8.00	97	0.37
Grading	Excavators	2	8.00	158	0.38
Grading	Graders	1	8.00	187	0.41
Grading	Rubber Tired Dozers	1	8.00	247	0.40
Grading	Scrapers	3	8.00	367	0.48
Grading	Tractors/Loaders/Backhoes	2	8.00	97	0.37
Building Construction	Cranes	1	7.00	231	0.29
Building Construction	Crane Lifts	3	8.00	89	0.29
Building Construction	Generator Sets	1	8.00	54	0.74
Building Construction	Tractors/Loaders/Backhoes	3	7.00	97	0.37
Building Construction	Welders	1	8.00	46	0.45
Paving	Pavers	2	8.00	130	0.42
Paving	Paving Equipment	2	8.00	132	0.38
Paving	Rollers	2	8.00	80	0.38
Architectural Coating	Air Compressors	1	6.00	78	0.48

Trips and VMT



Village South Specific Plan (Proposed) - Los Angeles South Coast County, Winter

Phase Name	Offroad Equipment Count	Worker Trip Number	Vendor Trip Number	Hauling Trip Number	Worker Trip Length	Vendor Trip Length	Hauling Trip Length	Worker Vehicle Class	Vendor Vehicle Class	Hauling Vehicle Class
Demolition	6	15.00	0.00	456.00	10.00	6.60	20.00	LD_Mix	HD_Mix	HHDT
Site Preparation	7	18.00	0.00	0.00	10.00	8.90	20.00	LD_Mix	HD_Mix	HHDT
Grading	8	20.00	0.00	0.00	10.00	8.90	20.00	LD_Mix	HD_Mix	HHDT
Building Construction	8	801.00	143.00	0.00	10.00	8.60	20.00	LD_Mix	HD_Mix	HHDT
Paving	6	15.00	0.00	0.00	10.00	8.60	20.00	LD_Mix	HD_Mix	HHDT
Architectural Coating	1	160.00	0.00	0.00	10.00	8.90	20.00	LD_Mix	HD_Mix	HHDT

3.1 Mitigation Measures Construction

3.2 Demolition - 2021

Unmitigated Construction On-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	lbs CO2	lbs CO2e	Total CO2	CH4	H2O	CO2e
Fugitive Dust					3.3074	0.0000	3.3074	0.5008	0.0000	0.5008			0.0000			0.0000
Off Road	3.1651	31.4407	21.5650	0.0388		1.5513	1.5513		1.4411	1.4411			3,747.8449	3,747.8449	1.0649	3,774.3174
<b>Total</b>	<b>3.1651</b>	<b>31.4407</b>	<b>21.5650</b>	<b>0.0388</b>	<b>3.3074</b>	<b>1.5513</b>	<b>4.8588</b>	<b>0.5008</b>	<b>1.4411</b>	<b>1.9419</b>			<b>3,747.8449</b>	<b>3,747.8449</b>	<b>1.0649</b>	<b>3,774.3174</b>

**3.2 Demolition - 2021**

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.1304	4.1454	1.0182	0.0117	0.2009	0.0128	0.2787	0.0732	0.0122	0.0854		1,269,855	1,269,855	0.0999		1,272,125
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Worker	0.0532	0.0346	0.3993	1.1100e-003	0.1141	8.5000e-004	0.1151	0.0303	8.8000e-004	0.0311		110,4707	110,4707	3.3300e-003		110,5539
<b>Total</b>	<b>0.1835</b>	<b>4.1800</b>	<b>1.4144</b>	<b>0.0128</b>	<b>0.3810</b>	<b>0.0127</b>	<b>0.3948</b>	<b>0.1034</b>	<b>0.0131</b>	<b>0.1165</b>		<b>1,380,326</b>	<b>1,380,326</b>	<b>0.0941</b>		<b>1,382,679</b>

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Fugitive Dust					3.3074	0.0000	3.3074	0.5008	0.0000	0.5008			0.0000			0.0000
Off-Road	3.1851	31.4407	21.5650	0.0388		1.5513	1.5513		1.4411	1.4411	0.0000	3,747,944	3,747,944	1.0549		3,774,317
<b>Total</b>	<b>3.1851</b>	<b>31.4407</b>	<b>21.5650</b>	<b>0.0388</b>	<b>3.3074</b>	<b>1.5513</b>	<b>4.8588</b>	<b>0.5008</b>	<b>1.4411</b>	<b>1.9419</b>	<b>0.0000</b>	<b>3,747,944</b>	<b>3,747,944</b>	<b>1.0549</b>		<b>3,774,317</b>

**3.2 Demolition - 2021**

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	Net-CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.1304	4.1684	1.0182	0.0117	0.2608	0.0128	0.2737	0.0732	0.0132	0.0864		1,258,256	1,258,866	0.0000		1,272,126
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Worker	0.0532	0.0348	0.0083	1.1100e-003	0.1141	8.5000e-004	0.1151	0.0003	8.8000e-004	0.0011		110,4707	110,4707	3.3000e-003		110,5038
<b>Total</b>	<b>0.1835</b>	<b>4.1800</b>	<b>1.0144</b>	<b>0.0128</b>	<b>0.3810</b>	<b>0.0127</b>	<b>0.3948</b>	<b>0.0834</b>	<b>0.0121</b>	<b>0.1150</b>		<b>1,380,328</b>	<b>1,380,328</b>	<b>0.0041</b>		<b>1,382,879</b>

**3.3 Site Preparation - 2021**

**Unmitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	Net-CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Fugitive Dust					19.0643	0.0000	19.0643	9.9507	0.0000	9.9507			0.0000			0.0000
Off-Road	3.8882	40.4871	21.1543	0.0080		2.0645	2.0645		1.8900	1.8900		3,645,856	3,645,856	1.1920		3,715,457
<b>Total</b>	<b>3.8882</b>	<b>40.4871</b>	<b>21.1543</b>	<b>0.0080</b>	<b>19.0643</b>	<b>2.0645</b>	<b>20.1187</b>	<b>9.9507</b>	<b>1.8900</b>	<b>11.8116</b>		<b>3,645,856</b>	<b>3,645,856</b>	<b>1.1920</b>		<b>3,715,457</b>

Village South Specific Plan (Proposed) - Los Angeles-South Coast County, Winter

3.3 Site Preparation - 2021

Unmitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Category	Daily										Daily					
Hauling	0.0000	0.0000	0.0000	0.0000	2.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	2.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Worker	0.0638	0.0415	0.4752	1.3300E-003	2.1369	1.1400E-003	0.1381	0.0063	1.0000E-003	0.0074		132.5649	132.5649	3.9800E-005		132.6048
Total	0.0638	0.0415	0.4752	1.3300E-003	2.1369	1.1400E-003	0.1381	0.0063	1.0000E-003	0.0074		132.5649	132.5649	3.9800E-005		132.6048

Mitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Category	Daily										Daily					
Fugitive Dust					18.0663	0.0000	18.0663	9.9307	0.0000	9.9307			0.6000			0.9300
Off Road	3.8827	40.4971	21.1543	0.0380		2.0645	2.0645		1.8806	1.8806	0.0000	3.685.858	3.685.858	1.1920		3,715,457.5
Total	3.8827	40.4971	21.1543	0.0380	18.0663	2.0645	20.1107	9.9307	1.8806	11.8116	0.0000	3,685.858	3,685.858	1.1920		3,715,457.5

3.3 Site Preparation - 2021

Mitigated Construction Off-Site

Category	RG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NGeo-CO2	Total CO2	CH4	N2O	CO2e
Category	bldg										bldg					
Hoisting	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000			0.0000	0.0000		0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000			0.0000	0.0000		0.0000
Walter	0.0038	0.0415	0.4750	1.3300e-003	0.1369	1.1400e-003	0.1381	0.0063	1.0500e-003	0.0374			132.5649	132.5649	3.8800e-003	132.8849
Total	0.0038	0.0415	0.4750	1.3300e-003	0.1369	1.1400e-003	0.1381	0.0063	1.0500e-003	0.0374			132.5649	132.5649	3.8800e-003	132.8849

3.4 Grading - 2021

Unmitigated Construction On-Site

Category	RG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NGeo-CO2	Total CO2	CH4	N2O	CO2e
Category	bldg										bldg					
Fugitive Dust					0.8733	0.0000	0.8733	3.5865	0.0000	3.5865			0.0000			0.0000
Off Road	4.1912	46.3698	30.8785	0.0020		1.9853	1.9853	1.8286	1.8286				0.0070434	0.0070434	1.9420	0.0556134
Total	4.1912	46.3698	30.8785	0.0020	0.8733	1.9853	10.8587	3.5865	1.8286	5.4230			0.0070434	0.0070434	1.9420	0.0556134

3.4 Grading - 2021

Unmitigated Construction Off-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	Net Bio-CO2	Total CO2	CH4	N2O	CO2e
Daily																
Hauling	0.0000	0.0030	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Vendor	0.0000	0.0050	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Worker	0.0709	0.0462	0.5284	1.4800e-003	3.1521	1.2700e-003	0.1534	0.0404	1.1730e-003	0.0415		147.2943	147.2943	4.4300e-003		147.4051
<b>Total</b>	<b>0.0709</b>	<b>0.0462</b>	<b>0.5284</b>	<b>1.4800e-003</b>	<b>3.1521</b>	<b>1.2700e-003</b>	<b>0.1534</b>	<b>0.0404</b>	<b>1.1730e-003</b>	<b>0.0415</b>		<b>147.2943</b>	<b>147.2943</b>	<b>4.4300e-003</b>		<b>147.4051</b>

Mitigated Construction On-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	Net Bio-CO2	Total CO2	CH4	N2O	CO2e
Daily																
Fugitive Dust					0.8733	0.0000	0.8733	3.5965	0.0000	3.5965			0.0000			0.0000
Off Road	4.1912	40.3998	30.8785	0.0620		1.9853	1.9853		1.8295	1.8285	0.0000	0.0070434	6.0570434	1.9470		6.0556134
<b>Total</b>	<b>4.1912</b>	<b>40.3998</b>	<b>30.8785</b>	<b>0.0620</b>	<b>0.8733</b>	<b>1.9853</b>	<b>1.9853</b>	<b>3.5965</b>	<b>1.8295</b>	<b>5.4250</b>	<b>0.0000</b>	<b>0.0070434</b>	<b>6.0640868</b>	<b>1.9470</b>		<b>6.0556134</b>

**3.4 Grading - 2021**

**Mitigated Construction Off-Site**

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e	
Category	Emissions										Emissions						
Hauling	0.5000	0.5000	0.0500	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Water	0.0709	0.0462	0.0284	1.4800e-03	0.1521	1.2700e-03	0.1534	0.0404	1.1700e-03	0.0415	147.2943	147.2943	147.2943	4.4300e-03		147.4001	
<b>Total</b>	<b>0.0709</b>	<b>0.0462</b>	<b>0.0284</b>	<b>1.4800e-03</b>	<b>0.1521</b>	<b>1.2700e-03</b>	<b>0.1534</b>	<b>0.0404</b>	<b>1.1700e-03</b>	<b>0.0415</b>	<b>147.2943</b>	<b>147.2943</b>	<b>147.2943</b>	<b>4.4300e-03</b>		<b>147.4001</b>	

**3.4 Grading - 2022**

**Unmitigated Construction On-Site**

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Category	Emissions										Emissions					
Fugitive Dust					0.0733	0.0000	0.0733	3.5865	0.0000	3.5865			0.0000			0.0000
Off-Road	3.0248	30.0435	29.0415	0.0021		1.0349	1.0349		1.5041	1.5041			6,011.4105	1.9442		6,060.0158
<b>Total</b>	<b>3.0248</b>	<b>30.0435</b>	<b>29.0415</b>	<b>0.0021</b>	<b>0.0733</b>	<b>1.0349</b>	<b>10.3082</b>	<b>3.5865</b>	<b>1.5041</b>	<b>5.1088</b>			<b>6,011.4105</b>	<b>1.9442</b>		<b>6,060.0158</b>

**3.4 Grading - 2022**

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	H2O	CO2e	
Category	Daily										Daily						
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000			0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000			0.0000
Worker	0.0888	0.0418	0.4881	1.4300e-003	0.1521	1.2500e-003	0.1534	0.0404	1.1300e-003	0.0415		142.1207	142.1207	4.0000e-003			142.2207
<b>Total</b>	<b>0.0888</b>	<b>0.0418</b>	<b>0.4881</b>	<b>1.4300e-003</b>	<b>0.1521</b>	<b>1.2500e-003</b>	<b>0.1534</b>	<b>0.0404</b>	<b>1.1300e-003</b>	<b>0.0415</b>		<b>142.1207</b>	<b>142.1207</b>	<b>4.0000e-003</b>			<b>142.2207</b>

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	H2O	CO2e	
Category	Daily										Daily						
Fugitive Dust					0.0733	0.0000	0.0733	3.5685	0.0000	3.5685			0.0000				0.0000
Off-Road	3.8248	38.8435	20.0415	0.0421		1.8349	1.8349		1.5041	1.5041	0.0000	0.0114105	0.0114105	1.9442			0.0000158
<b>Total</b>	<b>3.8248</b>	<b>38.8435</b>	<b>20.0415</b>	<b>0.0421</b>	<b>0.0733</b>	<b>1.8349</b>	<b>1.9082</b>	<b>3.5685</b>	<b>1.5041</b>	<b>5.0726</b>	<b>0.0000</b>	<b>0.0114105</b>	<b>0.0114105</b>	<b>1.9442</b>			<b>0.0000158</b>



3.4 Grading - 2022

Mitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NH3-CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Worker	0.0000	0.0416	0.4801	1.4300e-003	0.1521	1.2000e-003	0.1534	0.0404	1.1300e-003	0.0415		142.1207	142.1207	4.0000e-000		142.2207
Total	0.0000	0.0416	0.4801	1.4300e-003	0.1521	1.2000e-003	0.1534	0.0404	1.1300e-003	0.0415		142.1207	142.1207	4.0000e-000		142.2207

3.5 Building Construction - 2022

Unmitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NH3-CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	1.7082	15.0154	14.3634	0.0288	0.8040	0.8040	0.7812	0.7812		0.7812		2,554.3338	2,554.3338	0.6120		2,569.4322
Total	1.7082	15.0154	14.3634	0.0288	0.8040	0.8040	0.7812	0.7812		0.7812		2,554.3338	2,554.3338	0.6120		2,569.4322

**3.5 Building Construction - 2022**

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	Net-CO2	Total CO2	CH4	N2O	CO2e
Category	b/day										b/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Vendor	0.4284	13.1673	3.8005	0.0354	0.9155	0.0256	0.9412	0.2836	0.0268	0.2881		3,788.078 0	3,788.078 0	0.2381		3,795.078 3
Worker	2.0920	1.6677	19.4889	0.0571	0.0932	0.0493	6.1425	1.0163	0.0454	1.0017		5,691.934 4	5,691.934 4	0.1902		5,695.940 8
Total	3.0984	14.8350	23.2784	0.0925	7.0987	0.0749	7.0936	1.8799	0.0986	1.8488		9,481.010 4	9,481.010 4	0.3884		9,486.960 1

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	Net-CO2	Total CO2	CH4	N2O	CO2e
Category	b/day										b/day					
On-Road	1.2062	15.8154	16.3834	0.0289		0.8090	0.8090		0.7812	0.7812	0.0000	2,554.333 8	2,554.333 6	0.6120		2,560.632 2
Total	1.2062	15.8154	16.3834	0.0289		0.8090	0.8090		0.7812	0.7812	0.0000	2,554.333 8	2,554.333 6	0.6120		2,560.632 2

Village South Specific Plan (Proposed) - Los Angeles South Coast County, Winter

3.5 Building Construction - 2022

Mitigated Construction Off-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Category	b/day										b/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Vendor	0.4284	13.1673	3.8005	0.0354	3.9155	0.0286	0.0412	0.2838	0.0245	0.2881		3.788076	3.788076	0.2381		3.788076
Water	2.0520	1.8477	19.4089	0.0571	0.0832	0.0483	0.1425	1.6183	0.0454	1.6617		5.081936	5.081936	0.1602		5.081936
Total	2.0994	14.9339	23.2784	0.0926	7.9987	0.0749	7.0836	1.9799	0.0898	1.8498		8.481010	8.481010	0.3984		8.481010

3.5 Building Construction - 2023

Unmitigated Construction On-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Category	b/day										b/day					
On-Road	1.5728	14.3848	16.3440	0.0280	0.8897	0.8897	0.8897	0.6584	0.6584	0.6584		2,555,208	2,555,208	0.8070		2,570,488
Total	1.5728	14.3848	16.3440	0.0280	0.8897	0.8897	0.8897	0.6584	0.6584	0.6584		2,555,208	2,555,208	0.8070		2,570,488

**3.5 Building Construction - 2023**

**Unmitigated Construction Off-Site**

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NIbio-CO2	Total CO2	CH4	N2O	CO2e	
	lb/day										lb/yr						
Hauling	0.0000	0.0030	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000			0.0000
Vendor	0.3183	9.9726	3.3771	0.0343	0.9156	0.0722	0.9277	0.2636	0.0116	0.2752		3,671.407	3,671.400	0.2098			3,676.641
Worker	2.5029	5.073	17.8620	0.9550	8.0832	0.0479	6.1411	1.6183	0.0441	1.0604		5,483.797	5,483.797	0.1442			5,487.402
<b>Total</b>	<b>2.8211</b>	<b>11.4799</b>	<b>21.2591</b>	<b>0.9893</b>	<b>7.0088</b>	<b>0.0901</b>	<b>7.0899</b>	<b>1.8799</b>	<b>0.0557</b>	<b>1.9356</b>		<b>9,155.198</b>	<b>9,155.198</b>	<b>0.3578</b>			<b>9,164.643</b>

**Mitigated Construction On-Site**

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NIbio-CO2	Total CO2	CH4	N2O	CO2e	
	lb/day										lb/yr						
OffRoad	1.5728	14.3848	16.2440	0.0298		0.8897	0.8997		0.6584	0.6584	0.0000	2,555.238	2,555.209	0.6879			2,576.488
<b>Total</b>	<b>1.5728</b>	<b>14.3848</b>	<b>16.2440</b>	<b>0.0298</b>		<b>0.8897</b>	<b>0.8997</b>		<b>0.6584</b>	<b>0.6584</b>	<b>0.0000</b>	<b>2,555.238</b>	<b>2,555.209</b>	<b>0.6879</b>			<b>2,576.488</b>

3.5 Building Construction - 2023

Mitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	GHG	N2O	CO2e
Category	b/day										b/day					
Heating	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000
Vendor	0.3193	0.9726	3.3771	0.0343	0.9156	0.0722	0.9277	0.2636	0.0118	0.2752		3,671.4007	3,671.4007	0.2088		3,676.6417
Worker	2.2029	1.5073	17.8820	0.8550	8.0932	0.0479	6.1411	1.0163	0.0441	1.0004		6,483.7874	6,483.7874	0.1442		6,487.4020
Total	2.8211	31.4799	21.2591	0.8893	7,9988	0.0901	7,0988	1.8799	0.0257	1.8299		8,155.1881	8,155.1881	0.2930		8,164.0437

3.6 Paving - 2023

Unmitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	GHG	N2O	CO2e
Category	b/day										b/day					
Off-Road	1.0327	10.1917	14.5862	0.0228	0.3182	0.3182	0.4994	0.0894		0.0894		2,207.5841	2,207.5841	0.7140		2,225.4336
Paving	0.0000					0.0000	0.0000	0.0000	0.0000	0.0000			0.0000			0.0000
Total	1.0327	10.1917	14.5862	0.0228	0.3182	0.3182	0.4994	0.0894		0.0894		2,207.5841	2,207.5841	0.7140		2,225.4336

**3.6 Paving - 2023**

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Worker	0.0489	0.0282	0.3345	1.0000e-003	0.1141	0.0000e-004	0.1150	0.0003	0.0000e-004	0.0011		102.6929	102.6928	2.7000e-005		102.7803
Total	0.0489	0.0282	0.3345	1.0000e-003	0.1141	0.0000e-004	0.1150	0.0003	0.0000e-004	0.0011		102.6929	102.6928	2.7000e-005		102.7803

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
On Road	1.0327	10.1917	14.5942	0.0228		0.5107	0.5107		0.0000	0.0000	0.0000	2,207.5841	2,207.5841	0.7140		2,225.4336
Paving	0.0000					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Total	1.0327	10.1917	14.5942	0.0228		0.5107	0.5107		0.0000	0.0000	0.0000	2,207.5841	2,207.5841	0.7140		2,225.4336

3.6 Paving - 2023

Mitigated Construction Off-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	SO2-CO2	N2O-CO2	Total CO2	CH4	N2O	CO2e
Category	bldg										bldg					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Worker	0.0488	0.0282	0.0346	1.0000e-003	0.1141	0.0000e-004	0.1150	0.0000	0.0000e-004	0.0311		102.6928	102.6928	2.7000e-003		102.7003
Total	0.0488	0.0282	0.0346	1.0000e-003	0.1141	0.0000e-004	0.1150	0.0000	0.0000e-004	0.0311		102.6928	102.6928	2.7000e-003		102.7003

3.6 Paving - 2024

Unmitigated Construction On-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	SO2-CO2	N2O-CO2	Total CO2	CH4	N2O	CO2e
Category	bldg										bldg					
Off-Road	0.0882	0.0248	14.6258	0.0228		0.0000	0.0882		0.4310	0.4310		2,207.5472	2,207.5472	0.7140		2,225.3883
Paving	0.0000					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Total	0.0882	0.0248	14.6258	0.0228		0.0000	0.0882		0.4310	0.4310		2,207.5472	2,207.5472	0.7140		2,225.3883

Village South Specific Plan (Proposed) - Los Angeles South Coast County, Winter

3.6 Paving - 2024

Unmitigated Construction Off-Site

	PM10	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	Net CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Worker	0.0444	0.0257	0.3114	1.0000e-003	0.1141	8.8000e-004	0.1150	0.0003	8.1000e-004	0.0311		98.5045	98.5045	2.4700e-003		89.5693
Total	0.0444	0.0257	0.3114	1.0000e-003	0.1141	8.8000e-004	0.1150	0.0003	8.1000e-004	0.0311		98.5045	98.5045	2.4700e-003		89.5693

Mitigated Construction On-Site

	PM10	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	Net CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Paving	0.0000					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Total	0.0000					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000



**3.6 Paving - 2024**

**Mitigated Construction Off-Site**

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	NGO	CO2e
Category	b/day										b/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Worker	0.0444	0.0257	0.3114	1.0000e-003	0.1141	8.8000e-004	0.1150	0.0303	8.1000e-004	0.0311		98.5045	99.5045	2.4790e-003		98.5045
<b>Total</b>	<b>0.0444</b>	<b>0.0257</b>	<b>0.3114</b>	<b>1.0000e-003</b>	<b>0.1141</b>	<b>8.8000e-004</b>	<b>0.1150</b>	<b>0.0303</b>	<b>8.1000e-004</b>	<b>0.0311</b>		<b>98.5045</b>	<b>99.5045</b>	<b>2.4790e-003</b>		<b>98.5045</b>

**3.7 Architectural Coating - 2024**

**Unmitigated Construction On-Site**

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	NGO	CO2e
Category	b/day										b/day					
Arch. Coating	2.18e-115					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Off-Road	0.1808	1.2188	1.8101	2.9700e-003		0.0009	0.0009		0.0006	0.0006		281.4481	281.4481	0.0158		281.4481
<b>Total</b>	<b>2.38e-115</b>	<b>1.2188</b>	<b>1.8101</b>	<b>2.9700e-003</b>		<b>0.0009</b>	<b>0.0009</b>		<b>0.0006</b>	<b>0.0006</b>		<b>281.4481</b>	<b>281.4481</b>	<b>0.0158</b>		<b>281.4481</b>

Village South Specific Plan (Proposed) - Los Angeles South Coast County, Winter

3.7 Architectural Coating - 2024

Unmitigated Construction Off-Site

	P.G.	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NDIR- CO2	Total CO2	GHG	NZO	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Worker	0.4734	0.2743	3.3220	0.0107	1.2171	8.4300e-003	1.2298	0.3229	8.8800e-003	0.3315		1.0813818	1.0813818	0.0294		1.0829418
Total	0.4734	0.2743	3.3220	0.0107	1.2171	8.4300e-003	1.2298	0.3229	8.8800e-003	0.3315		1.0813818	1.0813818	0.0294		1.0829418

Mitigated Construction On-Site

	ROB	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NDIR- CO2	Total CO2	GHG	NZO	CO2e
Category	lb/day										lb/day					
Arch. Coating	238.4115					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Off Road	0.1808	1.2188	1.8101	2.9700e-003		0.0000	0.0000		0.0000	0.0000	0.0000	281.4481	281.4481	0.0159		281.8443
Total	238.5923	1.2188	1.8101	2.9700e-003		0.0000	0.0000		0.0000	0.0000	0.0000	281.4481	281.4481	0.0159		281.8443

**3.7 Architectural Coating - 2024**

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	HBio- CO2	Total CO2	CH4	N2O	CO2e
Category	Daily										Total					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.4734	0.2743	3.3220	0.0107	1.2171	0.4300e-003	1.2268	0.3229	0.0000e-003	0.3316	1,081.3818	1,081.3818	1,081.3818	0.0264		1,082.0410
<b>Total</b>	<b>0.4734</b>	<b>0.2743</b>	<b>3.3220</b>	<b>0.0107</b>	<b>1.2171</b>	<b>0.4300e-003</b>	<b>1.2268</b>	<b>0.3229</b>	<b>0.0000e-003</b>	<b>0.3316</b>	<b>1,081.3818</b>	<b>1,081.3818</b>	<b>1,081.3818</b>	<b>0.0264</b>		<b>1,082.0410</b>

**4.0 Operational Detail - Mobile**

**4.1 Mitigation Measures Mobile**

Village South Specific Plan (Proposed) - Los Angeles-South Coast County, Winter

Category	ROG	NOx	CO	CO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Sox CO2	Nbso CO2	Total CO2	CH4	N2O	CO2e
Mitigated	9.5233	45.9814	110.0422	0.4981	45.9592	0.3373	46.2965	12.2940	0.3132	12.6073	47,817.8005	47,817.8005	2.1953			47,872.8839
Unmitigated	9.5233	45.9814	110.0422	0.4981	45.9592	0.3373	46.2965	12.2940	0.3132	12.6073	47,817.8005	47,817.8005	2.1953			47,872.8839

4.2 Trip Summary Information

Land Use	Average Daily Trip Rate			Unmitigated Annual VMT	Mitigated Annual VMT
	Weekday	Saturday	Sunday		
Apartments Low Rise	145.75	154.25	154.00	506,227	506,227
Apartments Mid Rise	4,028.75	3,773.25	4,075.50	13,860,085	13,860,085
General Office Building	288.45	82.55	31.05	706,812	706,812
High Turnover (Sit Down Restaurant)	2,368.80	2,873.52	2,817.72	3,413,937	3,413,937
Hotel	182.00	187.50	180.00	445,703	445,703
Quality Restaurant	501.12	511.82	461.20	707,489	707,489
Regional Shopping Center	528.08	601.44	357.84	1,112,221	1,112,221
<b>Total</b>	<b>8,050.93</b>	<b>8,164.43</b>	<b>8,057.31</b>	<b>20,557,452</b>	<b>20,557,452</b>

4.3 Trip Type Information

Village South Specific Plan (Proposed) - Los Angeles South Coast County, Winter

Land Use	Miles			Trip %			Trip Purpose %		
	H-W or C-W	H-S or C-C	H-O or C-NW	H-W or C-W	H-S or C-C	H-O or C-NW	Primary	Diverted	Pass-by
Apartments Low Rise	14.70	5.90	8.70	40.20	19.20	40.60	86	11	3
Apartments Mid Rise	14.70	5.90	8.70	40.20	19.20	40.60	86	11	3
General Office Building	16.80	8.40	6.50	33.00	48.00	19.00	77	19	4
High Turnover (Sit Down)	16.80	8.40	6.50	8.50	72.50	19.00	37	20	43
Hotel	16.80	8.40	6.50	19.40	61.60	19.00	58	38	4
Quality Restaurant	16.80	8.40	6.50	12.00	69.00	19.00	38	18	44
Regional Shopping Center	16.80	8.40	6.50	16.30	64.70	19.00	54	35	11

4.4 Fleet Mix

Land Use	LDA	LDT1	LDT2	MDV	LHD1	LHD2	MHD	HHD	OBUS	UBUS	MCY	SBUS	MH
Apartments Low Rise	0.543088	0.044216	0.206971	0.116369	0.014033	0.006332	0.021166	0.033577	0.002613	0.001817	0.005285	0.000712	0.000821
Apartments Mid Rise	0.543088	0.044216	0.206971	0.116369	0.014033	0.006332	0.021166	0.033577	0.002613	0.001817	0.005285	0.000712	0.000821
General Office Building	0.543088	0.044216	0.206971	0.116369	0.014033	0.006332	0.021166	0.033577	0.002613	0.001817	0.005285	0.000712	0.000821
High Turnover (Sit Down Restaurant)	0.543088	0.044216	0.206971	0.116369	0.014033	0.006332	0.021166	0.033577	0.002613	0.001817	0.005285	0.000712	0.000821
Hotel	0.543088	0.044216	0.206971	0.116369	0.014033	0.006332	0.021166	0.033577	0.002613	0.001817	0.005285	0.000712	0.000821
Quality Restaurant	0.543088	0.044216	0.206971	0.116369	0.014033	0.006332	0.021166	0.033577	0.002613	0.001817	0.005285	0.000712	0.000821
Regional Shopping Center	0.543088	0.044216	0.206971	0.116369	0.014033	0.006332	0.021166	0.033577	0.002613	0.001817	0.005285	0.000712	0.000821

5.0 Energy Detail

Historical Energy Use: N

5.1 Mitigation Measures Energy

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	SO2	CO2	Total CO2	CH4	N2O	CO2e
Category	Bibby										Bibby					
Natural Gas Mitigated	0.7990	8.7482	4.2573	0.0418	0.8292	0.5292	0.5292	0.5292	0.5292	0.5292	0.366	8,366,983	8,362,983	0.1632	0.1632	8,406,638
Natural Gas Unmitigated	0.7990	8.7482	4.2573	0.0418	0.8292	0.5292	0.5292	0.5292	0.5292	0.5292	0.366	8,366,983	8,366,983	0.1632	0.1632	8,406,638

5.2 Energy by Land Use - Natural Gas

Unmitigated

Land Use	Natural Gas Use	CO2	CH4	N2O	CO2e	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	Net-CO2	Total CO2	CH4	N2O	CO2e
Land Use	kBTU/yr	lb/day										lb/day					
Apartments Low Rise	1119.16	0.0121	0.1031	0.0438	6.600e-004		8.3400e-003	8.3400e-003		8.3400e-003	8.3400e-003		131.8662	131.8662	2.3e-003	2.4100e-003	132.4488
Apartments Mid Rise	35184.3	0.3888	3.2978	1.4033	0.0211		0.2886	0.2886		0.2886	0.2886		4,208.9164	4,208.9164	0.0807	0.0772	4,234.6338
General Office Building	128342	0.0138	0.1268	0.1957	7.5000e-004		9.5600e-003	9.5600e-003		9.5600e-003	9.5600e-003		150.9811	150.9811	2.8800e-003	2.7700e-003	151.8884
High Turnover (Sit Down Restaurant)	22769.8	0.2466	2.2514	1.8743	0.0134		0.1898	0.1898		0.1898	0.1898		2,677.8342	2,677.8342	0.0613	0.0491	2,865.5180
Hotel	4789.72	0.0514	0.4076	0.3828	2.8100e-003		0.0356	0.0356		0.0356	0.0356		581.1438	581.1438	0.0108	0.0103	584.4782
Quick Restaurant	8087.96	0.0846	0.4664	0.4186	2.8830e-003		0.0377	0.0377		0.0377	0.0377		686.0298	686.0298	0.0114	0.0108	698.6606
Regional Shopping Center	251816	2.7100e-003	0.0247	0.0207	1.8600e-004		1.8700e-003	1.8700e-003		1.8700e-003	1.8700e-003		28.6018	28.6018	5.7000e-004	5.4000e-004	29.7728
<b>Total</b>		<b>0.7869</b>	<b>6.7483</b>	<b>4.2873</b>	<b>8.0418</b>		<b>0.5282</b>	<b>0.5282</b>		<b>0.5282</b>	<b>0.5282</b>		<b>8,386.9632</b>	<b>8,386.9632</b>	<b>0.1682</b>	<b>0.1632</b>	<b>8,466.8387</b>

5.2 Energy by Land Use - Natural Gas

Mitigated

Land Use	Natural Gas Use kg/100yr	NO <sub>x</sub>	NO <sub>x</sub>	CO	SO <sub>2</sub>	PM <sub>10</sub>			PM <sub>2.5</sub>			B <sub>e</sub> -CO <sub>2</sub>	N <sub>2</sub> O	Total CO <sub>2</sub>	CH <sub>4</sub>	N <sub>2</sub> O	CO <sub>2</sub> e
						Rightway	Exhaust	PM <sub>10</sub> Total	Rightway	Exhaust	PM <sub>2.5</sub> Total						
Apartments Low Rise	1.11916	0.0121	0.1031	0.0438	6.6000e-006	8.3400e-003	8.3400e-003	8.3400e-003	8.3400e-003	8.3400e-003	8.3400e-003	131.8882	131.8882	2.2200e-003	2.4100e-003	132.4488	
Apartments Mid Rise	35.7843	0.3899	3.2078	1.4033	0.0211	0.2894	0.2894	0.2894	0.2894	0.2894	0.2894	4,209.9184	4,209.9184	0.0807	0.0772	4,234.9339	
General Office Building	1.28342	0.0138	0.1228	0.1057	7.5070e-006	9.5800e-003	9.5800e-003	9.5800e-003	9.5800e-003	9.5800e-003	9.5800e-003	150.9811	150.9811	2.8800e-003	2.7700e-003	151.8894	
High Turnover 15A Diner Restaurant	22.7899	0.2465	2.2214	1.8743	0.0134	0.1898	0.1898	0.1898	0.1898	0.1898	0.1898	2,677.8342	2,677.8342	0.0513	0.0491	2,680.5480	
Hotel	4.78972	0.0514	0.4676	0.3828	2.8100e-003	0.0356	0.0356	0.0356	0.0356	0.0356	0.0356	581.1436	581.1436	0.0108	0.0103	584.4782	
Quality Restaurant	6.66776	0.0546	0.4959	0.4185	2.9970e-003	0.0377	0.0377	0.0377	0.0377	0.0377	0.0377	595.0298	595.0298	0.0114	0.0109	598.6658	
Regional Shopping Center	0.251816	2.7100e-005	0.0247	0.0207	1.5000e-004	1.8700e-003	1.8700e-003	1.8700e-003	1.8700e-003	1.8700e-003	1.8700e-003	29.8018	29.8018	5.7000e-004	5.4000e-004	29.7778	
<b>Total</b>		<b>0.7886</b>	<b>6.7483</b>	<b>4.2973</b>	<b>9.9418</b>	<b>0.5282</b>	<b>0.5282</b>	<b>0.5282</b>	<b>0.5282</b>	<b>0.5282</b>	<b>0.5282</b>	<b>8,355.9837</b>	<b>8,355.9837</b>	<b>0.1982</b>	<b>0.1932</b>	<b>8,405.8387</b>	

6.0 Area Detail

6.1 Mitigation Measures Area



Village South Specific Plan (Proposed) - Los Angeles South Coast County, Winter

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	Nitro- CO2	Total CO2	CH4	N2O	CO2e
Mitigated	30.5020	15.0498	88.4430	0.0644	1.5874	1.5874	1.5874	1.5874	1.5874	1.5874	0.0000	18,148.5060	18,148.5060	0.4874	0.3300	18,258.1192
Unmitigated	30.5020	15.0498	88.4430	0.0644	1.5874	1.5874	1.5874	1.5874	1.5874	1.5874	0.0000	18,148.5060	18,148.5060	0.4874	0.3300	18,258.1192

6.2 Area by SubCategory

Unmitigated

SubCategory	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	Nitro- CO2	Total CO2	CH4	N2O	CO2e
Architecture Coating	2.2870				0.0000	0.0000	0.0000	0.0000	0.0000	0.0000			0.0000			0.0000
Consumer Products	24.1080				0.0000	0.0000	0.0000	0.0000	0.0000	0.0000			0.0000			0.0000
Hearth	1.6500	14.1000	8.8000	0.0800	1.1400	1.1400	1.1400	1.1400	1.1400	1.1400	0.0000	18,000.0000	18,000.0000	0.3450	0.3300	18,188.9850
Landscaping	2.4786	0.9498	82.4430	0.3600	0.4574	0.4574	0.4574	0.4574	0.4574	0.4574		148.5060	148.5060	0.1424		152.1542
<b>Total</b>	<b>30.5020</b>	<b>15.0498</b>	<b>88.4430</b>	<b>0.0644</b>	<b>1.5874</b>	<b>1.5874</b>	<b>1.5874</b>	<b>1.5874</b>	<b>1.5874</b>	<b>1.5874</b>	<b>0.0000</b>	<b>18,148.5060</b>	<b>18,148.5060</b>	<b>0.4874</b>	<b>0.3300</b>	<b>18,258.1192</b>

6.2 Area by SubCategory

Mitigated

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	HRe- CO2	Total CO2	CH4	N2O	CO2e
SubCategory	lb/day										lb/day					
Architectural Coating	2.2870				0.0000	0.0000		0.0000	0.0000				0.0000			0.0000
Consumer Products	24.1095				0.0000	0.0000		0.0000	0.0000				0.0000			0.0000
Hearth	1.9500	14.1000	8.0000	0.0800	1.1400	1.1400		1.1400	1.1400		0.0000	18,000.00	18,000.00	0.3450	0.3300	18,105.90
Landscaping	2.4788	0.0498	82.4430	4.3600e-003	0.4574	0.4574		0.4574	0.4574			148.5950	148.5950	0.1424		152.1542
<b>Total</b>	<b>30.5629</b>	<b>15.8498</b>	<b>82.4430</b>	<b>0.0844</b>		<b>1.5874</b>	<b>1.5874</b>		<b>1.5874</b>	<b>1.5874</b>	<b>0.0000</b>	<b>18,148.59</b>	<b>18,148.59</b>	<b>0.4874</b>	<b>0.3300</b>	<b>18,338.11</b>

7.0 Water Detail

7.1 Mitigation Measures Water

8.0 Waste Detail

8.1 Mitigation Measures Waste

9.0 Operational Offroad

Equipment Type	Number	Hours/Day	Days/Year	Horse Power	Load Factor	Fuel Type
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10.0 Stationary Equipment

**Fire Pumps and Emergency Generators**

Equipment Type	Number	Hours/Day	Hours/Year	Horse Power	Load Factor	Fuel Type
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**Boilers**

Equipment Type	Number	Heat Input/Day	Heat Input/Year	Boiler Rating	Fuel Type
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**User Defined Equipment**

Equipment Type	Number
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**11.0 Vegetation**

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Attachment C

<b>Local Hire Provision Net Change</b>	
<b>Without Local Hire Provision</b>	
Total Construction GHG Emissions (MT CO2e)	3,623
Amortized (MT CO2e/year)	120.77
<b>With Local Hire Provision</b>	
Total Construction GHG Emissions (MT CO2e)	3,024
Amortized (MT CO2e/year)	100.80
<b>% Decrease in Construction-related GHG Emissions</b>	<b>17%</b>

**EXHIBIT B**



**SOIL WATER AIR PROTECTION ENTERPRISE**  
 2656 29th Street, Suite 201  
 Santa Monica, California 90405  
 Attn: Paul Rosenfeld, Ph.D.  
 Mobile: (310) 892-2335  
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## ***Paul Rosenfeld, Ph.D.***

*Principal Environmental Chemist*

**Chemical Fate and Transport & Air Dispersion Modeling**

**Risk Assessment & Remediation Specialist**

### **Education**

Ph.D. Soil Chemistry, University of Washington, 1999. Dissertation on volatile organic compound filtration

M.S. Environmental Science, U.C. Berkeley, 1995. Thesis on organic waste economics

B.A. Environmental Studies, U.C. Santa Barbara, 1991. Thesis on wastewater treatment

### **Professional Experience**

Dr. Rosenfeld has over 25 years' experience conducting environmental investigations and risk assessments for evaluating impacts to human health, property, and ecological receptors. His expertise focuses on the fate and transport of environmental contaminants, human health risk, exposure assessment, and ecological restoration. Dr. Rosenfeld has evaluated and modeled emissions from unconventional oil drilling operations, oil spills, landfills, boilers and incinerators, process stacks, storage tanks, confined animal feeding operations, and many other industrial and agricultural sources. His project experience ranges from monitoring and modeling of pollution sources to evaluating impacts of pollution on workers at industrial facilities and residents in surrounding communities.

Dr. Rosenfeld has investigated and designed remediation programs and risk assessments for contaminated sites containing lead, heavy metals, mold, bacteria, particulate matter, petroleum hydrocarbons, chlorinated solvents, pesticides, radioactive waste, dioxins and furans, semi- and volatile organic compounds, PCBs, PAHs, perchlorate, asbestos, per- and poly-fluoroalkyl substances (PFCA/PFOA), unusual polymers, fuel oxygenates (MTBE), among other pollutants. Dr. Rosenfeld also has experience evaluating greenhouse gas emissions from various projects and is an expert on the assessment of odors from industrial and agricultural sites, as well as the evaluation of odor nuisance impacts and technologies for abatement of odorous emissions. As a principal scientist at SWAPE, Dr. Rosenfeld directs air dispersion modeling and exposure assessments. He has served as an expert witness and testified about pollution sources causing nuisance and/or personal injury at dozens of sites and has testified as an expert witness on more than ten cases involving exposure to air contaminants from industrial sources.

**Professional History:**

Soil Water Air Protection Enterprise (SWAPE): 2003 to present, Principal and Founding Partner  
 UCLA School of Public Health, 2007 to 2011, Lecturer (Assistant Researcher)  
 UCLA School of Public Health, 2003 to 2006, Adjunct Professor  
 UCLA Environmental Science and Engineering Program; 2002-2004, Doctoral Intern Coordinator  
 UCLA Institute of the Environment, 2001-2002; Research Associate  
 Komex H<sub>2</sub>O Science, 2001 to 2003; Senior Remediation Scientist  
 National Groundwater Association, 2002-2004; Lecturer  
 San Diego State University, 1999-2001; Adjunct Professor  
 Anteon Corp., San Diego, 2000-2001; Remediation Project Manager  
 Ogden (now Amec), San Diego, 2000-2000; Remediation Project Manager  
 Bechtel, San Diego, California, 1999 – 2000, Risk Assessor  
 King County, Seattle, 1996 – 1999; Scientist  
 James River Corp., Washington, 1995-96, Scientist  
 Big Creek Lumber, Davenport, California, 1995; Scientist  
 Plumas Corp., California and USFS, Tahoe 1993-1995; Scientist  
 Peace Corps and World Wildlife Fund, St. Kitts, West Indies, 1991-1993, Scientist

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Sok, H.L.; Waller, C.C.; Feng, L.; Gonzalez, J.; Sutherland, A.J.; Wisdom-Stack, T.; Sahai, R.K.; Hesse, R.C.; Rosenfeld, P.E. (June 20-23, 2010). Atrazine: A Persistent Pesticide in Urban Drinking Water. *Urban Environmental Pollution*. Lecture conducted from Boston, MA.

Feng, L.; Gonzalez, J.; Sok, H.L.; Sutherland, A.J.; Waller, C.C.; Wisdom-Stack, T.; Sahai, R.K.; La, M.; Hesse, R.C.; Rosenfeld, P.E. (June 20-23, 2010). Bringing Environmental Justice to East St. Louis, Illinois. *Urban Environmental Pollution*. Lecture conducted from Boston, MA.

Rosenfeld, P.E. (April 19-23, 2009). Perfluorooctanoic Acid (PFOA) and Perfluorooctane Sulfonate (PFOS) Contamination in Drinking Water From the Use of Aqueous Film Forming Foams (AFFF) at Airports in the United States. *2009 Ground Water Summit and 2009 Ground Water Protection Council Spring Meeting*, Lecture conducted from Tucson, AZ.

Rosenfeld, P.E. (April 19-23, 2009). Cost to Filter Atrazine Contamination from Drinking Water in the United States” Contamination in Drinking Water From the Use of Aqueous Film Forming Foams (AFFF) at Airports in the United States. *2009 Ground Water Summit and 2009 Ground Water Protection Council Spring Meeting*. Lecture conducted from Tucson, AZ.

Wu, C.; Tam, L.; Clark, J.; Rosenfeld, P. (20-22 July, 2009). Dioxin and furan blood lipid concentrations in populations living near four wood treatment facilities in the United States. Brebbia, C.A. and Popov, V., eds., *Air Pollution XVII: Proceedings of the Seventeenth International Conference on Modeling, Monitoring and Management of Air Pollution*. Lecture conducted from Tallinn, Estonia.

Rosenfeld, P. E. (October 15-18, 2007). Moss Point Community Exposure To Contaminants From A Releasing Facility. *The 23<sup>rd</sup> Annual International Conferences on Soils Sediment and Water*. Platform lecture conducted from University of Massachusetts, Amherst MA.

Rosenfeld, P. E. (October 15-18, 2007). The Repeated Trespass of Tritium-Contaminated Water Into A Surrounding Community Form Repeated Waste Spills From A Nuclear Power Plant. *The 23<sup>rd</sup> Annual International Conferences on Soils Sediment and Water*. Platform lecture conducted from University of Massachusetts, Amherst MA.

**Rosenfeld, P. E.** (October 15-18, 2007). Somerville Community Exposure To Contaminants From Wood Treatment Facility Emissions. *The 23<sup>rd</sup> Annual International Conferences on Soils Sediment and Water*. Lecture conducted from University of Massachusetts, Amherst MA.

**Rosenfeld P. E.** (March 2007). Production, Chemical Properties, Toxicology, & Treatment Case Studies of 1,2,3-Trichloropropane (TCP). *The Association for Environmental Health and Sciences (AEHS) Annual Meeting*. Lecture conducted from San Diego, CA.

**Rosenfeld P. E.** (March 2007). Blood and Attic Sampling for Dioxin/Furan, PAH, and Metal Exposure in Florida, Alabama. *The AEHS Annual Meeting*. Lecture conducted from San Diego, CA.

Hensley A.R., Scott, A., **Rosenfeld P.E.**, Clark, J.J.J. (August 21 – 25, 2006). Dioxin Containing Attic Dust And Human Blood Samples Collected Near A Former Wood Treatment Facility. *The 26th International Symposium on Halogenated Persistent Organic Pollutants – DIOXIN2006*. Lecture conducted from Radisson SAS Scandinavia Hotel in Oslo Norway.

Hensley A.R., Scott, A., **Rosenfeld P.E.**, Clark, J.J.J. (November 4-8, 2006). Dioxin Containing Attic Dust And Human Blood Samples Collected Near A Former Wood Treatment Facility. *APHA 134 Annual Meeting & Exposition*. Lecture conducted from Boston Massachusetts.

**Paul Rosenfeld Ph.D.** (October 24-25, 2005). Fate, Transport and Persistence of PFOA and Related Chemicals. Mealey's C8/PFOA. *Science, Risk & Litigation Conference*. Lecture conducted from The Rittenhouse Hotel, Philadelphia, PA.

**Paul Rosenfeld Ph.D.** (September 19, 2005). Brominated Flame Retardants in Groundwater: Pathways to Human Ingestion, Toxicology and Remediation. *PEMA Emerging Contaminant Conference*. Lecture conducted from Hilton Hotel, Irvine California.

**Paul Rosenfeld Ph.D.** (September 19, 2005). Fate, Transport, Toxicity, And Persistence of 1,2,3-TCP. *PEMA Emerging Contaminant Conference*. Lecture conducted from Hilton Hotel in Irvine, California.

**Paul Rosenfeld Ph.D.** (September 26-27, 2005). Fate, Transport and Persistence of PDBEs. *Mealey's Groundwater Conference*. Lecture conducted from Ritz Carlton Hotel, Marina Del Ray, California.

**Paul Rosenfeld Ph.D.** (June 7-8, 2005). Fate, Transport and Persistence of PFOA and Related Chemicals. *International Society of Environmental Forensics: Focus On Emerging Contaminants*. Lecture conducted from Sheraton Oceanfront Hotel, Virginia Beach, Virginia.

**Paul Rosenfeld Ph.D.** (July 21-22, 2005). Fate Transport, Persistence and Toxicology of PFOA and Related Perfluorochemicals. *2005 National Groundwater Association Ground Water And Environmental Law Conference*. Lecture conducted from Wyndham Baltimore Inner Harbor, Baltimore Maryland.

**Paul Rosenfeld Ph.D.** (July 21-22, 2005). Brominated Flame Retardants in Groundwater: Pathways to Human Ingestion, Toxicology and Remediation. *2005 National Groundwater Association Ground Water and Environmental Law Conference*. Lecture conducted from Wyndham Baltimore Inner Harbor, Baltimore Maryland.

**Paul Rosenfeld, Ph.D.** and James Clark Ph.D. and Rob Hesse R.G. (May 5-6, 2004). Tert-butyl Alcohol Liability and Toxicology, A National Problem and Unquantified Liability. *National Groundwater Association. Environmental Law Conference*. Lecture conducted from Congress Plaza Hotel, Chicago Illinois.

**Paul Rosenfeld, Ph.D.** (March 2004). Perchlorate Toxicology. *Meeting of the American Groundwater Trust*. Lecture conducted from Phoenix Arizona.

Hagemann, M.F., **Paul Rosenfeld, Ph.D.** and Rob Hesse (2004). Perchlorate Contamination of the Colorado River. *Meeting of tribal representatives*. Lecture conducted from Parker, AZ.

**Paul Rosenfeld, Ph.D.** (April 7, 2004). A National Damage Assessment Model For PCE and Dry Cleaners. *Drycleaner Symposium. California Ground Water Association*. Lecture conducted from Radison Hotel, Sacramento, California.

**Rosenfeld, P. E., Grey, M.,** (June 2003) Two stage biofilter for biosolids composting odor control. *Seventh International In Situ And On Site Bioremediation Symposium Battelle Conference* Orlando, FL.

**Paul Rosenfeld, Ph.D. and James Clark Ph.D.** (February 20-21, 2003) Understanding Historical Use, Chemical Properties, Toxicity and Regulatory Guidance of 1,4 Dioxane. *National Groundwater Association. Southwest Focus Conference. Water Supply and Emerging Contaminants.* Lecture conducted from Hyatt Regency Phoenix Arizona.

**Paul Rosenfeld, Ph.D.** (February 6-7, 2003). Underground Storage Tank Litigation and Remediation. *California CUPA Forum*. Lecture conducted from Marriott Hotel, Anaheim California.

**Paul Rosenfeld, Ph.D.** (October 23, 2002) Underground Storage Tank Litigation and Remediation. *EPA Underground Storage Tank Roundtable*. Lecture conducted from Sacramento California.

**Rosenfeld, P.E. and Suffet, M.** (October 7- 10, 2002) Understanding Odor from Compost, Wastewater and Industrial Processes. *Sixth Annual Symposium On Off Flavors in the Aquatic Environment. International Water Association*. Lecture conducted from Barcelona Spain.

**Rosenfeld, P.E. and Suffet, M.** (October 7- 10, 2002). Using High Carbon Wood Ash to Control Compost Odor. *Sixth Annual Symposium On Off Flavors in the Aquatic Environment. International Water Association*. Lecture conducted from Barcelona Spain.

**Rosenfeld, P.E. and Grey, M. A.** (September 22-24, 2002). Biocycle Composting For Coastal Sage Restoration. *Northwest Biosolids Management Association*. Lecture conducted from Vancouver Washington.

**Rosenfeld, P.E. and Grey, M. A.** (November 11-14, 2002). Using High-Carbon Wood Ash to Control Odor at a Green Materials Composting Facility. *Soil Science Society Annual Conference*. Lecture conducted from Indianapolis, Maryland.

**Rosenfeld, P.E.** (September 16, 2000). Two stage biofilter for biosolids composting odor control. *Water Environment Federation*. Lecture conducted from Anaheim California.

**Rosenfeld, P.E.** (October 16, 2000). Wood ash and biofilter control of compost odor. *Biofest*. Lecture conducted from Ocean Shores, California.

**Rosenfeld, P.E.** (2000). Bioremediation Using Organic Soil Amendments. *California Resource Recovery Association*. Lecture conducted from Sacramento California.

**Rosenfeld, P.E., C.L. Henry, R. Harrison** (1998). Oat and Grass Seed Germination and Nitrogen and Sulfur Emissions Following Biosolids Incorporation With High-Carbon Wood-Ash. *Water Environment Federation 12th Annual Residuals and Biosolids Management Conference Proceedings*. Lecture conducted from Bellevue Washington.

**Rosenfeld, P.E., and C.L. Henry.** (1999). An evaluation of ash incorporation with biosolids for odor reduction. *Soil Science Society of America* Lecture conducted from Salt Lake City Utah.

**Rosenfeld, P.E., C.L. Henry, R. Harrison** (1998). Comparison of Microbial Activity and Odor Emissions from Three Different Biosolids Applied to Forest Soil. *Brown and Caldwell* Lecture conducted from Seattle Washington.

**Rosenfeld, P.E., C.L. Henry.** (1998). Characterization, Quantification, and Control of Odor Emissions from Biosolids Application To Forest Soil. *Biofest*. Lecture conducted from Lake Chelan, Washington.

**Rosenfeld, P.E., C.L. Henry, R. Harrison. (1998)** Oat and Grass Seed Germination and Nitrogen and Sulfur Emissions Following Biosolids Incorporation With High-Carbon Wood-Ash. Water Environment Federation 12th Annual Residuals and Biosolids Management Conference Proceedings. Lecture conducted from Bellevue Washington.

**Rosenfeld, P.E., C.L. Henry, R. B. Harrison, and R. Dills. (1997).** Comparison of Odor Emissions From Three Different Biosolids Applied to Forest Soil. *Soil Science Society of America*. Lecture conducted from Anaheim California.

### **Teaching Experience:**

UCLA Department of Environmental Health (Summer 2003 through 2010) Taught Environmental Health Science 100 to students, including undergrad, medical doctors, public health professionals and nurses. Course focused on the health effects of environmental contaminants.

National Ground Water Association, Successful Remediation Technologies. Custom Course in Sante Fe, New Mexico. May 21, 2002. Focused on fate and transport of fuel contaminants associated with underground storage tanks.

National Ground Water Association; Successful Remediation Technologies Course in Chicago Illinois. April 1, 2002. Focused on fate and transport of contaminants associated with Superfund and RCRA sites.

California Integrated Waste Management Board, April and May, 2001. Alternative Landfill Caps Seminar in San Diego, Ventura, and San Francisco. Focused on both prescriptive and innovative landfill cover design.

UCLA Department of Environmental Engineering, February 5, 2002. Seminar on Successful Remediation Technologies focusing on Groundwater Remediation.

University Of Washington, Soil Science Program, Teaching Assistant for several courses including: Soil Chemistry, Organic Soil Amendments, and Soil Stability.

U.C. Berkeley, Environmental Science Program Teaching Assistant for Environmental Science 10

### **Academic Grants Awarded:**

California Integrated Waste Management Board. \$41,000 grant awarded to UCLA Institute of the Environment. Goal: To investigate effect of high carbon wood ash on volatile organic emissions from compost. 2001.

Synagro Technologies, Corona California. \$10,000 grant awarded to San Diego State University. Goal: investigate effect of biosolids for restoration and remediation of degraded coastal sage soils. 2000.

King County, Department of Research and Technology, Washington State. \$100,000 grant awarded to University of Washington. Goal: To investigate odor emissions from biosolids application and the effect of polymers and ash on VOC emissions. 1998.

Northwest Biosolids Management Association, Washington State. \$20,000 grant awarded to investigate effect of polymers and ash on VOC emissions from biosolids. 1997.

James River Corporation, Oregon. \$10,000 grant was awarded to investigate the success of genetically engineered Poplar trees with resistance to round-up. 1996.

United State Forest Service, Tahoe National Forest. \$15,000 grant was awarded to investigating fire ecology of the Tahoe National Forest. 1995.

**Kellogg Foundation**, Washington D.C. \$500 grant was awarded to construct a large anaerobic digester on St. Kitts in West Indies. 1993.

**Deposition and/or Trial Testimony:**

- In the United States District Court For The District of New Jersey  
 Duarte et al, *Plaintiffs*, vs. United States Metals Refining Company et al. *Defendant*.  
 Case No : 2:17-cv-01624-ES-SCM  
 Rosenfeld Deposition: 6-7-2019
- In the United States District Court of Southern District of Texas Galveston Division  
 M/T Carla Maersk, *Plaintiffs*, vs. Conti 168., Schiffahrts-GMBH & Co. Bulker KG MS "Conti Perdido"  
*Defendant*.  
 Case No.: 3:15-CV-00106 consolidated with 3:15-CV-00237  
 Rosenfeld Deposition: 5-9-2019
- In The Superior Court of the State of California In And For The County Of Los Angeles – Santa Monica  
 Carole-Taddeo-Bates et al., vs. Hiran Khan et al., *Defendants*  
 Case No : No. BC615636  
 Rosenfeld Deposition, 1-26-2019
- In The Superior Court of the State of California In And For The County Of Los Angeles – Santa Monica  
 The San Gabriel Valley Council of Governments et al. vs El Adobe Apts. Inc. et al., *Defendants*  
 Case No: No. BC646857  
 Rosenfeld Deposition, 10-6-2018; Trial 3-7-19
- In United States District Court For The District of Colorado  
 Bells et al. Plaintiff vs. The 3M Company et al., *Defendants*  
 Case: No 1:16-cv-02531-RBJ  
 Rosenfeld Deposition, 3-15-2018 and 4-3-2018
- In The District Court Of Regan County, Texas, 112<sup>th</sup> Judicial District  
 Phillip Bales et al., Plaintiff vs. Dow Aggrosciences, LLC, et al., *Defendants*  
 Cause No 1923  
 Rosenfeld Deposition, 11-17-2017
- In The Superior Court of the State of California In And For The County Of Contra Costa  
 Simons et al., *Plaintiffs* vs. Chevron Corporation, et al., *Defendants*  
 Cause No C12-01481  
 Rosenfeld Deposition, 11-20-2017
- In The Circuit Court Of The Twentieth Judicial Circuit, St Clair County, Illinois  
 Martha Custer et al., *Plaintiff* vs. Cerro Flow Products, Inc., *Defendants*  
 Case No.: No. 0i9-L-2295  
 Rosenfeld Deposition, 8-23-2017
- In The Superior Court of the State of California, For The County of Los Angeles  
 Warm Gilbert and Penny Gilber, *Plaintiff* vs. BMW of North America LLC  
 Case No.: LC102019 (c/w BC582154)  
 Rosenfeld Deposition, 8-16-2017, Trial 8-28-2018
- In the Northern District Court of Mississippi, Greenville Division  
 Brenda J. Cooper, et al, *Plaintiffs*, vs. Meritor Inc., et al., *Defendants*  
 Case Number: 4:16-cv-52-DMB-JVM  
 Rosenfeld Deposition: July 2017

- In The Superior Court of the State of Washington, County of Snohomish  
Michael Davis and Julie Davis et al., Plaintiff vs. Cedar Grove Composting Inc., Defendants  
Case No.: No. 13-2-03987-5  
Rosenfeld Deposition, February 2017  
Trial, March 2017
- In The Superior Court of the State of California, County of Alameda  
Charles Spain, Plaintiff vs. Thermo Fisher Scientific, et al., Defendants  
Case No.: RG14711115  
Rosenfeld Deposition, September 2015
- In The Iowa District Court In And For Poweshiek County  
Russell D. Winburn, et al., Plaintiffs vs. Doug Hoksbergen, et al., Defendants  
Case No.: LALA002187  
Rosenfeld Deposition, August 2015
- In The Iowa District Court For Wapello County  
Jerry Dovico, et al., Plaintiffs vs. Valley View Sine LLC, et al., Defendants  
Law No.: LALA105144 - Division A  
Rosenfeld Deposition, August 2015
- In The Iowa District Court For Wapello County  
Doug Pauls, et al., et al., Plaintiffs vs. Richard Warren, et al., Defendants  
Law No.: LALA105144 - Division A  
Rosenfeld Deposition, August 2015
- In The Circuit Court of Ohio County, West Virginia  
Robert Andrews, et al v. Antero, et al.  
Civil Action NO. 14-C-30000  
Rosenfeld Deposition, June 2015
- In The Third Judicial District County of Dona Ana, New Mexico  
Betty Gonzalez, et al. Plaintiffs vs. Del Oro Dairy, Del Oro Real Estate LLC, Jerry Settles and Deward  
DeRuyter, Defendants  
Rosenfeld Deposition: July 2015
- In The Iowa District Court For Muscatine County  
Lauric Freeman et. al. Plaintiffs vs. Grain Processing Corporation, Defendant  
Case No 4980  
Rosenfeld Deposition: May 2015
- In the Circuit Court of the 17<sup>th</sup> Judicial Circuit, in and For Broward County, Florida  
Walter Hinton, et. al. Plaintiff, vs. City of Fort Lauderdale, Florida, a Municipality, Defendant.  
Case Number CACE07030358 (26)  
Rosenfeld Deposition: December 2014
- In the United States District Court Western District of Oklahoma  
Tommy McCarty, et al., Plaintiffs, v. Oklahoma City Landfill, LLC d/b/a Southeast Oklahoma City  
Landfill, et al. Defendants  
Case No. 5:12-cv-01152-C  
Rosenfeld Deposition: July 2014

In the County Court of Dallas County Texas

Lisa Parr et al, *Plaintiff*, vs. Aruba et al, *Defendant*.

Case Number cc-11-01650-E

Rosenfeld Deposition: March and September 2013

Rosenfeld Trial: April 2014

In the Court of Common Pleas of Tuscarawas County Ohio

John Michael Abicht, et al, *Plaintiffs*, vs. Republic Services, Inc., et al, *Defendants*

Case Number: 2008 CT 10 0741 (Cons. w/ 2009 CV 10 0987)

Rosenfeld Deposition: October 2012

In the United States District Court of Southern District of Texas Galveston Division

Kyle Cannon, Eugene Donovan, Genaro Ramirez, Carol Sassler, and Harvey Walton, each individually and on behalf of those similarly situated, *Plaintiffs*, vs. BP Products North America, Inc., *Defendant*.

Case 3:10-cv-00622

Rosenfeld Deposition: February 2012

Rosenfeld Trial: April 2013

In the Circuit Court of Baltimore County Maryland

Philip E. Cvach, II et al, *Plaintiffs* vs. Two Farms, Inc. d/b/a Royal Farms, Defendants

Case Number: 03-C-12-012487 OT

Rosenfeld Deposition: September 2013

**EXHIBIT C**





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**Matthew F. Hagemann, P.G., C.Hg., QSD, QSP**

**Geologic and Hydrogeologic Characterization  
Industrial Stormwater Compliance  
Investigation and Remediation Strategies  
Litigation Support and Testifying Expert  
CEQA Review**

**Education:**

M.S. Degree, Geology, California State University Los Angeles, Los Angeles, CA, 1984.  
B.A. Degree, Geology, Humboldt State University, Arcata, CA, 1982.

**Professional Certifications:**

California Professional Geologist  
California Certified Hydrogeologist  
Qualified SWPPP Developer and Practitioner

**Professional Experience:**

Matt has 25 years of experience in environmental policy, assessment and remediation. He spent nine years with the U.S. EPA in the RCRA and Superfund programs and served as EPA's Senior Science Policy Advisor in the Western Regional Office where he identified emerging threats to groundwater from perchlorate and MTBE. While with EPA, Matt also served as a Senior Hydrogeologist in the oversight of the assessment of seven major military facilities undergoing base closure. He led numerous enforcement actions under provisions of the Resource Conservation and Recovery Act (RCRA) while also working with permit holders to improve hydrogeologic characterization and water quality monitoring.

Matt has worked closely with U.S. EPA legal counsel and the technical staff of several states in the application and enforcement of RCRA, Safe Drinking Water Act and Clean Water Act regulations. Matt has trained the technical staff in the States of California, Hawaii, Nevada, Arizona and the Territory of Guam in the conduct of investigations, groundwater fundamentals, and sampling techniques.

Positions Matt has held include:

- Founding Partner, Soil/Water/Air Protection Enterprise (SWAPE) (2003 – present);
- Geology Instructor, Golden West College, 2010 – 2014;
- Senior Environmental Analyst, Komex H2O Science, Inc. (2000 -- 2003);

- Executive Director, Orange Coast Watch (2001 – 2004);
- Senior Science Policy Advisor and Hydrogeologist, U.S. Environmental Protection Agency (1989– 1998);
- Hydrogeologist, National Park Service, Water Resources Division (1998 – 2000);
- Adjunct Faculty Member, San Francisco State University, Department of Geosciences (1993 – 1998);
- Instructor, College of Marin, Department of Science (1990 – 1995);
- Geologist, U.S. Forest Service (1986 – 1998), and
- Geologist, Dames & Moore (1984 – 1986).

**Senior Regulatory and Litigation Support Analyst:**

With SWAPE, Matt's responsibilities have included:

- Lead analyst and testifying expert in the review of over 100 environmental impact reports since 2003 under CEQA that identify significant issues with regard to hazardous waste, water resources, water quality, air quality, Valley Fever, greenhouse gas emissions, and geologic hazards. Make recommendations for additional mitigation measures to lead agencies at the local and county level to include additional characterization of health risks and implementation of protective measures to reduce worker exposure to hazards from toxins and Valley Fever.
- Stormwater analysis, sampling and best management practice evaluation at industrial facilities.
- Manager of a project to provide technical assistance to a community adjacent to a former Naval shipyard under a grant from the U.S. EPA.
- Technical assistance and litigation support for vapor intrusion concerns.
- Lead analyst and testifying expert in the review of environmental issues in license applications for large solar power plants before the California Energy Commission.
- Manager of a project to evaluate numerous formerly used military sites in the western U.S.
- Manager of a comprehensive evaluation of potential sources of perchlorate contamination in Southern California drinking water wells.
- Manager and designated expert for litigation support under provisions of Proposition 65 in the review of releases of gasoline to sources drinking water at major refineries and hundreds of gas stations throughout California.
- Expert witness on two cases involving MTBE litigation.
- Expert witness and litigation support on the impact of air toxins and hazards at a school.
- Expert witness in litigation at a former plywood plant.

With Komex H2O Science Inc., Matt's duties included the following:

- Senior author of a report on the extent of perchlorate contamination that was used in testimony by the former U.S. EPA Administrator and General Counsel.
- Senior researcher in the development of a comprehensive, electronically interactive chronology of MTBE use, research, and regulation.
- Senior researcher in the development of a comprehensive, electronically interactive chronology of perchlorate use, research, and regulation.
- Senior researcher in a study that estimates nationwide costs for MTBE remediation and drinking water treatment, results of which were published in newspapers nationwide and in testimony against provisions of an energy bill that would limit liability for oil companies.
- Research to support litigation to restore drinking water supplies that have been contaminated by MTBE in California and New York.

- Expert witness testimony in a case of oil production-related contamination in Mississippi.
- Lead author for a multi-volume remedial investigation report for an operating school in Los Angeles that met strict regulatory requirements and rigorous deadlines.

- Development of strategic approaches for cleanup of contaminated sites in consultation with clients and regulators.

#### **Executive Director:**

As Executive Director with Orange Coast Watch, Matt led efforts to restore water quality at Orange County beaches from multiple sources of contamination including urban runoff and the discharge of wastewater. In reporting to a Board of Directors that included representatives from leading Orange County universities and businesses, Matt prepared issue papers in the areas of treatment and disinfection of wastewater and control of the discharge of grease to sewer systems. Matt actively participated in the development of countywide water quality permits for the control of urban runoff and permits for the discharge of wastewater. Matt worked with other nonprofits to protect and restore water quality, including Surfrider, Natural Resources Defense Council and Orange County CoastKeeper as well as with business institutions including the Orange County Business Council.

#### **Hydrogeology:**

As a Senior Hydrogeologist with the U.S. Environmental Protection Agency, Matt led investigations to characterize and cleanup closing military bases, including Mare Island Naval Shipyard, Hunters Point Naval Shipyard, Treasure Island Naval Station, Alameda Naval Station, Moffett Field, Mather Army Airfield, and Sacramento Army Depot. Specific activities were as follows:

- Led efforts to model groundwater flow and contaminant transport, ensured adequacy of monitoring networks, and assessed cleanup alternatives for contaminated sediment, soil, and groundwater.
- Initiated a regional program for evaluation of groundwater sampling practices and laboratory analysis at military bases.
- Identified emerging issues, wrote technical guidance, and assisted in policy and regulation development through work on four national U.S. EPA workgroups, including the Superfund Groundwater Technical Forum and the Federal Facilities Forum.

At the request of the State of Hawaii, Matt developed a methodology to determine the vulnerability of groundwater to contamination on the islands of Maui and Oahu. He used analytical models and a GIS to show zones of vulnerability, and the results were adopted and published by the State of Hawaii and County of Maui.

As a hydrogeologist with the EPA Groundwater Protection Section, Matt worked with provisions of the Safe Drinking Water Act and NEPA to prevent drinking water contamination. Specific activities included the following:

- Received an EPA Bronze Medal for his contribution to the development of national guidance for the protection of drinking water.
- Managed the Sole Source Aquifer Program and protected the drinking water of two communities through designation under the Safe Drinking Water Act. He prepared geologic reports, conducted public hearings, and responded to public comments from residents who were very concerned about the impact of designation.

- Reviewed a number of Environmental Impact Statements for planned major developments, including large hazardous and solid waste disposal facilities, mine reclamation, and water transfer.

Matt served as a hydrogeologist with the RCRA Hazardous Waste program. Duties were as follows:

- Supervised the hydrogeologic investigation of hazardous waste sites to determine compliance with Subtitle C requirements.
- Reviewed and wrote "part B" permits for the disposal of hazardous waste.
- Conducted RCRA Corrective Action investigations of waste sites and led inspections that formed the basis for significant enforcement actions that were developed in close coordination with U.S. EPA legal counsel.
- Wrote contract specifications and supervised contractor's investigations of waste sites.

With the National Park Service, Matt directed service-wide investigations of contaminant sources to prevent degradation of water quality, including the following tasks:

- Applied pertinent laws and regulations including CERCLA, RCRA, NEPA, NRDA, and the Clean Water Act to control military, mining, and landfill contaminants.
- Conducted watershed-scale investigations of contaminants at parks, including Yellowstone and Olympic National Park.
- Identified high-levels of perchlorate in soil adjacent to a national park in New Mexico and advised park superintendent on appropriate response actions under CERCLA.
- Served as a Park Service representative on the Interagency Perchlorate Steering Committee, a national workgroup.
- Developed a program to conduct environmental compliance audits of all National Parks while serving on a national workgroup.
- Co-authored two papers on the potential for water contamination from the operation of personal watercraft and snowmobiles, these papers serving as the basis for the development of nation-wide policy on the use of these vehicles in National Parks.
- Contributed to the Federal Multi-Agency Source Water Agreement under the Clean Water Action Plan.

#### Policy:

Served senior management as the Senior Science Policy Advisor with the U.S. Environmental Protection Agency, Region 9. Activities included the following:

- Advised the Regional Administrator and senior management on emerging issues such as the potential for the gasoline additive MIBL and ammonium perchlorate to contaminate drinking water supplies.
- Shaped EPA's national response to these threats by serving on workgroups and by contributing to guidance, including the Office of Research and Development publication, *Oxygenates in Water: Critical Information and Research Needs*.
- Improved the technical training of EPA's scientific and engineering staff.
- Earned an EPA Bronze Medal for representing the region's 300 scientists and engineers in negotiations with the Administrator and senior management to better integrate scientific principles into the policy-making process.
- Established national protocol for the peer review of scientific documents.

**Geology:**

With the U.S. Forest Service, Matt led investigations to determine hillslope stability of areas proposed for timber harvest in the central Oregon Coast Range. Specific activities were as follows:

- Mapped geology in the field, and used aerial photographic interpretation and mathematical models to determine slope stability.
- Coordinated his research with community members who were concerned with natural resource protection.
- Characterized the geology of an aquifer that serves as the sole source of drinking water for the city of Medford, Oregon.

As a consultant with Dames and Moore, Matt led geologic investigations of two contaminated sites (later listed on the Superfund NPL) in the Portland, Oregon, area and a large hazardous waste site in eastern Oregon. Duties included the following:

- Supervised year-long effort for soil and groundwater sampling.
- Conducted aquifer tests.
- Investigated active faults beneath sites proposed for hazardous waste disposal.

**Teaching:**

From 1990 to 1998, Matt taught at least one course per semester at the community college and university levels:

- At San Francisco State University, held an adjunct faculty position and taught courses in environmental geology, oceanography (lab and lecture), hydrogeology, and groundwater contamination.
- Served as a committee member for graduate and undergraduate students.
- Taught courses in environmental geology and oceanography at the College of Marin.

Matt taught physical geology (lecture and lab) and introductory geology at Golden West College in Huntington Beach, California from 2010 to 2014.

**Invited Testimony, Reports, Papers and Presentations:**

**Hagemann, M.F., 2008.** Disclosure of Hazardous Waste Issues under CEQA. Presentation to the Public Environmental Law Conference, Eugene, Oregon.

**Hagemann, M.F., 2008.** Disclosure of Hazardous Waste Issues under CEQA. Invited presentation to U.S. EPA Region 9, San Francisco, California.

**Hagemann, M.F., 2005.** Use of Electronic Databases in Environmental Regulation, Policy Making and Public Participation. Brownfields 2005, Denver, Colorado.

**Hagemann, M.F., 2004.** Perchlorate Contamination of the Colorado River and Impacts to Drinking Water in Nevada and the Southwestern U.S. Presentation to a meeting of the American Groundwater Trust, Las Vegas, NV (served on conference organizing committee).

**Hagemann, M.F., 2004.** Invited testimony to a California Senate committee hearing on air toxins at schools in Southern California, Los Angeles.

- Brown, A., Farrow, J., Gray, A. and **Hagemann, M.**, 2004. An Estimate of Costs to Address MTBE Releases from Underground Storage Tanks and the Resulting Impact to Drinking Water Wells. Presentation to the Ground Water and Environmental Law Conference, National Groundwater Association.
- Hagemann, M.F.**, 2004. Perchlorate Contamination of the Colorado River and Impacts to Drinking Water in Arizona and the Southwestern U.S. Presentation to a meeting of the American Groundwater Trust, Phoenix, AZ (served on conference organizing committee).
- Hagemann, M.F.**, 2003. Perchlorate Contamination of the Colorado River and Impacts to Drinking Water in the Southwestern U.S. Invited presentation to a special committee meeting of the National Academy of Sciences, Irvine, CA.
- Hagemann, M.F.**, 2003. Perchlorate Contamination of the Colorado River. Invited presentation to a tribal EPA meeting, Pechanga, CA.
- Hagemann, M.F.**, 2003. Perchlorate Contamination of the Colorado River. Invited presentation to a meeting of tribal representatives, Parker, AZ.
- Hagemann, M.F.**, 2003. Impact of Perchlorate on the Colorado River and Associated Drinking Water Supplies. Invited presentation to the Inter-Tribal Meeting, Torres Martinez Tribe.
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**Hagemann, M.F.**, 1992. Dense Nonaqueous Phase Liquid Contamination of Groundwater: An Ounce of Prevention... Proceedings, Association of Engineering Geologists Annual Meeting, v. 35.

**Other Experience:**

Selected as subject matter expert for the California Professional Geologist licensing examination, 2009-2011.

**RESPONSE TO COMMENT LETTER 1: Mitchell M. Tsai, Attorney at Law**

**Response to Comment 1.1:** This comment introduces the comment letter, and that the commenter is writing on behalf of the Southwest Regional Council of Carpenters (“SWRCC”). This comment provides background on the SWRCC and Project and introduces the comment letter. Additionally, the comment requests the County notify the firm of any and all notices related to the proposed Project. The firm and SWRCC will be notified regarding any CEQA actions and public hearings related to the Project. The comment does not contain any information requiring changes to the MND. No further response is warranted.

**Response to Comment 1.2:** This comment states that the County should require the applicant to provide additional community benefits such as requiring local hire to build the Project. The comment further states that the use of local hire serves to reduce length of trips, decrease greenhouse gas (GHG) emissions, decrease air pollutants, decrease vehicle miles travelled (VMT), and provides localized economic benefits. As discussed in the MND in the Air Quality Section, emissions of air pollutants from construction would be less than the South Coast Air Quality Management District (SCAQMD) thresholds. As discussed in the Greenhouse Gas Emissions Section of the MND, GHG emissions from construction and operation would be less than the threshold Climate Action Plan (CAP). As discussed in the Transportation Section of the MND, the proposed Project is located in a Low VMT area and would result in less than 3,000 MTCO<sub>2e</sub> of GHG emissions, and therefore, screens out of conducting a VMT assessment. As such, no mitigation related to air quality, GHG emissions, or VMT would be required, and impacts would be less than significant. Therefore, pursuant to CEQA Guidelines Section 15126.4, subd. (a)(4)(A)–(B), there is no nexus between mitigation requiring local hire and impacts from the Project on air quality, GHG emissions, and VMT. Comment 1.2 does not provide evidence of significant impacts that require the preparation of an EIR or that would require substantial changes to the MND. Comment 1.2 will be forwarded to all decision-making bodies to inform their decision on the Project. No further response is warranted.

**Response to Comment 1.3:** This comment provides an introduction to the attached comment letter from SWAPE and states that the attachment provides a draft technical report explaining the significance of worker trips required for construction of land use development projects with respect to the estimation of GHG emissions. The report will also discuss the potential for local hire requirements to reduce the length of worker trips, and consequently, reduced or mitigate the potential GHG impacts. This comment is introductory in nature and does not provide comments regarding the analysis within the MND. As such, no further response is required.

**Response to Comment 1.4:** This comment provides background information on the use and purpose of California Emissions Estimator Model (CalEEMod). The comment further provides information on how emissions, trip length, and VMT relate. This comment is introductory in nature and does not provide comments regarding the analysis within the MND. As such, no further response is required.

**Response to Comment 1.5:** This comment provides technical information on default trip lengths within CalEEMod and how to calculate and justify trip lengths. Comment 1.5 does not provide evidence of significant impacts that require the preparation of an EIR or that would require changes to the Public Review MND. Comment 1.5 and this response will be forwarded to all decision-making bodies to inform their decision on the Project. No further response is warranted.

**Response to Comment 1.6:** This comment provides a summary of an example on the potential impact of local hire provisions on construction related GHG emissions utilizing the Village South Specific Plan in the City of Claremont. The comment states that for the example, the Project reduced the default trip length of 14.7 miles to 10 miles, which resulted in a decrease of GHG emissions by approximately 17%. As shown on page 55 of the Air Quality, GHG, and Energy Analysis included as Appendix A to the Public Review MND, the trip length utilized for the proposed Project’s air quality and GHG analysis was 14.7 miles. Using this trip length, GHG emissions resulting from construction and operation of the proposed Project would be less

than significant, as stated on page 66 of the MND. As such, not only does the MND provide a conservative analysis of potential GHG emissions resulting from construction of the proposed Project, that conservative analysis would result in emissions below the threshold set by the County of Riverside Climate Action Plan. Additionally, as detailed in Response to Comment 1.2, above, since GHG impacts would be less than significant from Project construction, pursuant to CEQA Guidelines Section 15126.4, subd. (a)(4)(A)–(B), there is no nexus between requiring local hire provisions and impacts from the proposed Project. Comment 1.6 does not provide evidence of significant impacts that require the preparation of an EIR or that would require changes to the Public Review MND. Comment 1.6 and this response will be forwarded to all decision-making bodies to inform their decision on the Project. No further response is warranted.

**Response to Comment 1.7:** This comment provides a conclusion to the SWAPE letter attachment and states that SWAPE retains the right to revise or amend this report when additional information becomes available. Comment 1.7 is general in nature does not provide evidence of significant impacts that require the preparation of an EIR or that would require changes to the Public Review MND. Comment 1.7 and this response will be forwarded to all decision-making bodies to inform their decision on the Project. No further response is warranted.

# 3. Mitigation Monitoring and Reporting Program

## Introduction

The California Environmental Quality Act (CEQA) requires a lead or public agency that approves or carries out a project for which an Mitigated Negative Declaration has been certified which identifies one or more significant adverse environmental effects and where findings with respect to changes or alterations in the project have been made, to adopt a "...reporting or monitoring program for the changes to the project which it has adopted or made a condition of project approval in order to mitigate or avoid significant effects on the environment" (CEQA, Public Resources Code Sections 21081, 21081.6).

A Mitigation Monitoring and Reporting Program (MMRP) is required to ensure that adopted mitigation measures are successfully implemented for the Seaton Avenue and Perry Street Industrial Project (Project). The County of Riverside is the Lead Agency for the Project and is responsible for implementation of the MMRP. This report describes the MMRP for the Project and identifies the parties that will be responsible for monitoring implementation of the individual mitigation measures in the MMRP.

## Mitigation Monitoring and Reporting Program

The MMRP for the Project will be active through all phases of the Project, including design, construction, and operation. The attached table identifies the mitigation program required to be implemented by the County for the Seaton Avenue and Perry Street Industrial Project. The table identifies the Plans, Programs, Policies (PPPs); and mitigation measures required by the County to mitigate or avoid significant adverse impacts associated with the implementation of the project, the timing of implementation, and the responsible party or parties for monitoring compliance.

The MMRP also includes a column that will be used by the compliance monitor (individual responsible for monitoring compliance) to document when implementation of the measure is completed. As individual Plan, Program, Policies; and mitigation measures are completed, the compliance monitor will sign and date the MMRP, indicating that the required actions have been completed.

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**TABLE 1: MITIGATION MONITORING AND REPORTING PROGRAM  
THE SEATON AVENUE AND PERRY STREET INDUSTRIAL PROJECT**

Plan, Program, Policy / Mitigation Measure	Action and Timing	Responsible for Ensuring Compliance / Verification	Date Completed and Initials
<b>AESTHETICS</b>			
<b>PPP AES-1: Lighting Plans.</b> All parking lot lights and other outdoor lighting shall be hooded and directed so as not to shine directly upon adjoining property or public rights-of-way, and shall be shown on electrical plans submitted to the Department of Building and Safety for plan check approval and shall comply with the requirements of Riverside County Ordinance No. 655 and the Riverside County Comprehensive General Plan.	In construction plans and specifications. Prior to building permits.	County of Riverside Building & Safety Department	
<b>PPP AES-2: Outdoor Lighting.</b> All outdoor luminaires in shall be appropriately located and adequately shielded and directed such that no direct light falls outside the parcel of origin, or onto the public right-of-way. In addition, outdoor luminaires shall not blink, flash, or rotate and shall be shown on electrical plans submitted to the Department of Building and Safety for plan check approval and shall comply with the requirements of Riverside County Ordinance No. 915.	In construction plans and specifications. Prior to building permits.	County of Riverside Building & Safety Department	
<b>AIR QUALITY</b>			
<b>PPP AQ-1: Rule 402.</b> The Project is required to comply with the provisions of South Coast Air Quality Management District (SCAQMD) Rule 402. The Project shall not discharge from any source whatsoever such quantities of air contaminants or other material which cause injury, detriment, nuisance, or annoyance to any considerable number of persons or to the public, or which endanger the comfort, repose, health or safety of any such persons or the public, or which cause, or have a natural tendency to cause, injury or damage to business or property.	In construction plans and specifications. Prior to grading and building permits.	County of Riverside Building & Safety Department	
<b>PPP AQ-2: Rule 403.</b> The Project is required to comply with the provisions of South Coast Air Quality Management District (SCAQMD) Rule 403, which includes the following:	In construction plans and specifications. Prior to grading permits.	County of Riverside Building & Safety Department	

Plan, Program, Policy / Mitigation Measure	Action and Timing	Responsible for Ensuring Compliance / Verification	Date Completed and Initials
<ul style="list-style-type: none"> <li>All clearing, grading, earth-moving, or excavation activities shall cease when winds exceed 25 mph per SCAQMD guidelines in order to limit fugitive dust emissions.</li> <li>The contractor shall ensure that all disturbed unpaved roads and disturbed areas within the project are watered, with complete coverage of disturbed areas, at least 3 times daily during dry weather; preferably in the mid-morning, afternoon, and after work is done for the day.</li> <li>The contractor shall ensure that traffic speeds on unpaved roads and project site areas are reduced to 15 miles per hour or less.</li> </ul>	<p>In construction plans and specifications. Prior to building permits.</p>	<p>County of Riverside Building &amp; Safety Department</p>	
<p><b>PPP AQ-3: Rule 1113.</b> The Project is required to comply with the provisions of South Coast Air Quality Management District Rule (SCAQMD) Rule 1113. Only "Low-Volatile Organic Compounds" paints (no more than 50 gram/liter of VOC) and/or High Pressure Low Volume (HPLV) applications shall be used.</p>			
<p><b>BIOLOGICAL RESOURCES</b></p>			
<p><b>PPP BIO-1: County Ordinance No. 810.</b> Prior to the issuance of any grading permits, fees required pursuant to Riverside County Ordinance No. 810 (Western Riverside County Multiple Species Habitat Conservation Plan (MSHCP) Fee Program Ordinance) shall be submitted to the County. County Ordinance No. 810 requires a per-acre local development impact and mitigation fee payment prior to the issuance of a building permit.</p>	<p>Submittal MSHCP fees. Prior to Grading Permits.</p>	<p>County of Riverside Planning Department</p>	
<p><b>Mitigation Measure BIO-1: Burrowing Owl Pre-Construction.</b> Within 30 days of construction, conduct burrowing owl (BUOW) take avoidance surveys within the project site and the 150-meter survey area surrounding the project site for BUOW presence/absence, per guidelines specified in the Western Riverside County Regional Conservation Authority Burrowing Owl Survey Instructions for the Plan Area (2006).</p> <p>If BUOW are observed to occupy the project site and/or adjacent areas during take avoidance surveys or incidentally during construction, the Riverside County Planning Department and the Environmental Programs Department will be notified, and avoidance measures shall be implemented during the breeding</p>	<p>Submittal of pre-activity field survey results report. Prior to Grading Permits</p>	<p>County of Riverside Planning Department</p>	

Plan, Program, Policy / Mitigation Measure	Action and Timing	Responsible for Ensuring Compliance / Verification	Date Completed and Initials
<p><b>Plan, Program, Policy / Mitigation Measure</b>                      season (March 1 through August 31). If it is determined that the project site is occupied by BUOW, take of "active" nests shall be avoided pursuant to the MSHCP and the Migratory Bird Treaty Act (MBTA). If burrowing owls are present during the non-breeding season (September 1 through February 28), burrowing owl exclusion measures may be implemented in accordance with the MSHCP. Relocation outside of the nesting season by a qualified biologist shall be required. The County Biologist shall be consulted to determine appropriate type of relocation (active or passive) and translocation sites, in accordance with California Department of Fish and Wildlife (CDFW) guidelines. In the event that burrowing owls are occupying the Project site at the time of the pre-construction survey, passive relocation shall not be allowed. A grading permit may be issued once the species has been relocated. If the grading permit is not obtained within 30 days of the survey, a new survey shall be required</p>			
<p><b>Mitigation Measure BIO-2: Nesting Bird Survey.</b> Vegetation removal should occur outside of the nesting bird season (generally between February 1 and August 31). If vegetation removal is required during the nesting bird season, the applicant must conduct take avoidance surveys for nesting birds prior to initiating vegetation removal/clearing. Surveys will be conducted by a qualified biologist(s) within three days of vegetation removal. If active nests are observed, a qualified biologist will determine appropriate minimum disturbance buffers and other adaptive mitigation techniques (e.g., biological monitoring of active nests during construction-related activities, staggered schedules, etc.) to ensure that impacts to nesting birds are avoided until the nest is no longer active. At a minimum, construction activities will stay outside of a 300-foot buffer around the active nests. For raptor species, the buffer is to be expanded to 500 feet. The approved buffer zone shall be marked in the field with construction fencing, within which no vegetation clearing or ground disturbance shall commence until the qualified biologist and Riverside County Environmental Programs Department verify that the nests are no longer occupied, and the juvenile birds can survive independently from the nests. Once the young have fledged and left the nest, or the nest otherwise becomes inactive under natural conditions, normal construction activities may occur.</p>	<p>Submittal of pre-activity field survey results report. Prior to Grading Permits</p>	<p>County of Riverside Planning Department</p>	
<b>CULTURAL RESOURCES</b>			



Plan, Program, Policy / Mitigation Measure	Action and Timing	Responsible for Ensuring Compliance / Verification	Date Completed and Initials
<p><b>PPP CUL-1: Human Remains (COA Planning-CUL 1).</b> If human remains are found on this site, the developer/permit holder or any successor in interest shall comply with State Health and Safety Code Section 7050.5.</p> <p><b>Mitigation Measure CUL-1: Unanticipated Resources (COA Planning-CUL 2).</b> The developer/permit holder or any successor in interest shall comply with the following for the life of this permit. If during ground disturbance activities, unanticipated cultural resources are discovered, the following procedures shall be followed:</p> <p>All ground disturbance activities within 100 feet of the discovered cultural resource shall be halted and the applicant shall call the County Archaeologist immediately upon discovery of the cultural resource. A meeting shall be convened between the developer, the Project archaeologist, the Native American tribal representative (or other appropriate ethnic/cultural group representative), and the County Archaeologist to discuss the significance of the find. At the meeting with the aforementioned parties, a decision is to be made, with the concurrence of the County Archaeologist, as to the appropriate treatment (documentation, recovery, avoidance, etc.) for the cultural resource. Resource evaluations shall be limited to nondestructive analysis.</p> <p>Further ground disturbance shall not resume within the area of the discovery until the appropriate treatment has been accomplished.</p>	<p>In construction plans and specifications. During construction activities.</p> <p>In construction plans and specifications. During construction activities.</p>	<p>County of Riverside Planning Department, County Archaeologist</p> <p>County of Riverside Planning Department, County Archaeologist</p>	
<p><b>Mitigation Measure CUL-2: Project Archaeologist/Monitor (COA 060-Planning-CUL 2).</b> Prior to issuance of grading permits: The applicant/developer shall provide evidence to the County of Riverside Planning Department that a County certified professional archaeologist (Project Archaeologist) has been contracted to implement a Cultural Resource Monitoring Program (CRMP). A Cultural Resource Monitoring Plan shall be developed in coordination with the consulting tribe(s) that addresses the details of all activities and provides procedures that must be followed in order to reduce the impacts to cultural, tribal cultural and historic resources to a level that is less than significant as well as address potential impacts to undiscovered buried archaeological resources associated with this Project. A fully executed copy of the contract and a digitally-signed copy of the Monitoring Plan shall be provided to the County Archaeologist</p>	<p>In construction plans and specifications. Prior to grading permit.</p>	<p>County of Riverside Planning Department, County Archaeologist</p>	

Plan, Program, Policy / Mitigation Measure	Action and Timing	Responsible for Ensuring Compliance / Verification	Date Completed and Initials
<p>to ensure compliance with this condition of approval. Working directly under the Project Archaeologist, an adequate number of qualified Archaeological Monitors shall be present to ensure that all earth moving activities are observed and shall be on-site during all grading activities for areas to be monitored including off-site improvements. Inspections will vary based on the rate of excavation, the materials excavated, and the presence and abundance of artifacts and features.</p> <p>The Professional Archaeologist may submit a detailed letter to the County of Riverside during grading requesting a modification to the monitoring program if circumstances are encountered that reduce the need for monitoring.</p> <p><b>Mitigation Measure CUL-3: Artifact Disposition (COA 070-Planning-CUL1).</b> In the event cultural resources are identified during ground disturbing activities, the landowner(s) shall relinquish ownership of all cultural resources and provide evidence to the satisfaction of the County Archaeologist that all archaeological materials recovered during the archaeological investigations (this includes collections made during an earlier Project, such as testing of archaeological sites that took place years ago), have been handled through the following methods. Any artifacts identified and collected during construction grading activities are not to leave the Project area and shall remain onsite in a secure location until final disposition.</p> <p><i>Historic Resources</i></p> <p>All historic archaeological materials recovered during the archaeological investigations (this includes years ago), have been curated at the Western Science Center, a Riverside County curation facility that meets State Resources Department Office of Historic Preservation Guidelines for the Curation of Archaeological Resources. Evidence shall be in the form of a letter from the curation facility identifying that archaeological materials have been received and that all fees have been paid.</p> <p><i>Prehistoric and/or Tribal Cultural Resources</i></p> <p>One of the following treatments shall be applied.</p>	<p>In construction plans and specifications. During construction activities.</p>	<p>County of Riverside Planning Department, County Archaeologist</p>	

Plan, Program, Policy / Mitigation Measure	Action and Timing	Responsible for Ensuring Compliance / Verification	Date Completed and Initials
<p>1. Preservation-in-place, if feasible is the preferred option. Preservation in place means avoiding the resources, leaving them in the place where they were found with no development affecting the integrity of the resources.</p> <p>2. Reburial of the resources on the Project property. The measures for reburial shall be culturally appropriate as determined through consultation with the consulting Tribe(s) and include, at least, the following: Measures to protect the reburial area from any future impacts in perpetuity. Reburial shall not occur until all required cataloguing (including a complete photographic record) and analysis have been completed on the cultural resources, with the exception that sacred and ceremonial items, burial goods, and Native American human remains are excluded. No cataloguing, analysis, or other studies may occur on human remains grave goods, and sacred and ceremonial items. Any reburial processes shall be culturally appropriate and approved by the consulting tribe(s). Listing of contents and location of the reburial shall be included in the confidential Phase IV Report. The Phase IV Report shall be filed with the County under a confidential cover and not subject to a Public Records Request.</p> <p><i>Human Remains</i></p> <p>Pursuant to State Health and Safety Code Section 7050.5, if human remains are encountered, no further disturbance shall occur until the County Coroner has made the necessary findings as to origin. Further, pursuant to Public Resources Code Section 5097.98 (b), remains shall be left in place and free from disturbance until a final decision as to the treatment and their disposition has been made. If the Riverside County Coroner determines the remains to be Native American, the Native American Heritage Commission shall be contacted by the Coroner within the period specified by law (24 hours). Subsequently, the Native American Heritage Commission shall identify the "Most Likely Descendant". The Most Likely Descendant shall then make recommendations and engage in consultation with the property owner concerning the treatment of the remains and any associated items as provided in Public Resources Code Section 5097.98.</p>			

Plan, Program, Policy / Mitigation Measure	Action and Timing	Responsible for Ensuring Compliance / Verification	Date Completed and Initials
<p><b>Mitigation Measure CUL-4: Phase IV Monitoring Report (COA 070-Planning-CUL 2).</b> Prior to Grading Permit Final Inspection, a Phase IV Cultural Resources Monitoring Report shall be submitted that complies with the Riverside County Planning Department's requirements for such reports for all ground disturbing activities associated with this grading permit. The report shall follow the County of Riverside Planning Department Cultural Resources (Archaeological) Investigations Standard Scopes of Work posted on the TLMA website. The report shall include results of any feature relocation or residue analysis required as well as evidence of the required cultural sensitivity training for the construction staff held during the required pre-grade meeting and evidence that any artifacts have been treated in accordance to procedures stipulated in the Cultural Resources Monitoring Plan.</p>	<p>Submittal of a Phase IV Monitoring Report. Prior to grading permit final inspection.</p>	<p>County of Riverside Planning Department, County Archaeologist</p>	
<b>ENERGY</b>			
<p><b>PPP E-1: CalGreen Compliance:</b> The project is required to comply with the CalGreen Building Code as included in the County Code to ensure efficient use of energy. CalGreen specifications are required to be incorporated into building plans as a condition of building permit approval.</p>	<p>In construction plans and specifications. Prior to building permit.</p>	<p>County of Riverside Building &amp; Safety Division</p>	
<b>GEOLOGY AND SOILS</b>			
<p><b>PPP GEO-1: CBC Compliance.</b> The project is required to comply with the California Building Standards Code as included in the County's Code Chapter 16.08 to preclude significant adverse effects associated with seismic and soils hazards. CBC related and geologist and/or civil engineer specifications for the proposed project are required to be incorporated into grading plans and building specifications as a condition of construction permit approval.</p>	<p>In construction plans and specifications. Prior to building permit.</p>	<p>County of Riverside Building &amp; Safety Division</p>	
<b>HAZARDS AND HAZARDOUS MATERIALS</b>			
<p><b>PPP HAZ-1: ALUC Conditions.</b> The Project will be required to comply with the following conditions issued by the Airport Land Use Commission on June 10, 2021:</p>	<p>In construction plans and specifications. Prior to building permit.</p>	<p>County of Riverside Building &amp; Safety Division</p>	

Plan, Program, Policy / Mitigation Measure	Action and Timing	Responsible for Ensuring Compliance / Verification	Date Completed and Initials
<p>1. Any outdoor lighting installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.</p> <p>2. The following uses/activities are not included in the proposed Project and shall be prohibited at this site:</p> <ul style="list-style-type: none"> <li>(a) Any use or activity which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.</li> <li>(b) Any use or activity which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.</li> <li>(c) Any use or activity which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, or row crops, composting operations, wastewater management facilities, artificial marshes, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)</li> <li>(d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.</li> <li>(e) Highly noise sensitive outdoor nonresidential uses.</li> <li>(f) Other Hazards to flight</li> </ul> <p>3. The attached "Notice of Airport in Vicinity" shall be provided to all prospective purchasers and occupants of the property and be recorded as a deed notice. In the event that the Office of the Riverside County Assessor-Clerk-Recorder declines to record said notice, the text of the notice shall be included on the Environmental Constraint Sheet (ECS) of the final parcel map, if an ECS is otherwise required.</p>			

Plan, Program, Policy / Mitigation Measure	Action and Timing	Responsible for Ensuring Compliance / Verification	Date Completed and Initials
<p>4. The Project has been conditioned to utilize underground detention systems, which shall not contain surface water or attract wildlife. Any new detention basins or facilities shall be designed and maintained to provide for a maximum 48-hour detention period following the design storm, and remain totally dry between rainfalls. Vegetation in and around the detention basins that would provide food or cover for birds would be incompatible with airport operations and shall not be utilized in project landscaping. Trees shall be spaced so as to prevent large expanses of contiguous canopy, when mature. Landscaping in and around the detention basin(s) shall not include trees or shrubs that produce seeds, fruits, or berries.</p> <p>Landscaping in the detention basin, if not rip-rap, should be in accordance with the guidance provided in ALUC "LANDSCAPING NEAR AIRPORTS" brochure, and the "AIRPORTS, WILDLIFE AND STORMWATER MANAGEMENT" brochure available at RCALUC.ORG which list acceptable plants from Riverside County Landscaping Guide or other alternative landscaping as may be recommended by a qualified wildlife hazard biologist.</p> <p>A notice sign, in a form similar to that attached hereto, shall be permanently affixed to the stormwater basin with the following language: "There is an airport nearby. This stormwater basin is designed to hold stormwater for only 48 hours and not attract birds. Proper maintenance is necessary to avoid bird strikes". The sign will also include the name, telephone number or other contact information of the person or entity responsible to monitor the stormwater basin.</p> <p>5. March Air Reserve Base must be notified of any land use having an electromagnetic radiation component to assess whether a potential conflict with Air Base radio communications could result. Sources of electromagnetic radiation include radio wave transmission in conjunction with remote equipment inclusive of irrigation controllers, access gates, etc.</p>			

Plan, Program, Policy / Mitigation Measure	Action and Timing	Responsible for Ensuring Compliance / Verification	Date Completed and Initials
<p>6. The Project has been evaluated for 93,940 square feet of manufacturing area, and 5,000 square feet of office area. Any increase in building area, change in use to any higher intensity use, change in building location, or modification of the tentative parcel map lot lines and areas will require an amended review to evaluate consistency with the ALUCP compatibility criteria, at the discretion of the ALUC Director.</p>			
<p>7. The Project does not propose rooftop solar panels at this time. However, if the Project were to propose solar rooftop panels in the future, the applicant/developer shall prepare a solar glare study that analyzes glare impacts, and this study shall be reviewed by the Airport Land Use Commission and March Air Reserve Base.</p>			
<p>8. The Federal Aviation Administration has conducted an aeronautical study of the proposed project (Aeronautical Study Nos. 2021-AWP-7737-OE and 2021-AWP-7738-OE) and has determined that neither marking nor lighting of the structures are necessary for aviation safety. However, if marking and/or lighting for aviation safety are accomplished on a voluntary basis, such marking and/or lighting (if any) shall be installed in accordance with FAA Advisory Circular 70/7460-1 M and shall be maintained in accordance therewith for the life of the project.</p>			
<p>9. The proposed structures shall not exceed a height of 41 feet above ground level and a maximum elevation at top point of 1,611 feet above mean sea level.</p>			
<p>10. The maximum height and top point elevation specified above shall not be amended without further review by the Airport Land Use Commission and the Federal Aviation Administration; provided, however, that reduction in structure height or elevation shall not require further review by the Airport Land Use Commission.</p>			
<p>11. Temporary construction equipment used during actual construction of the structure shall not exceed 41 feet in height and a maximum elevation of 1,611 feet above mean sea level, unless separate notice is provided</p>			

Plan, Program, Policy / Mitigation Measure	Action and Timing	Responsible for Ensuring Compliance / Verification	Date Completed and Initials
<p>to the Federal Aviation Administration through the Form 7460-1 process.</p> <p>12. Within five (5) days after construction of the structure reaches its greatest height, FAA Form 7460-2 (Part II), Notice of Actual Construction or Alteration, shall be completed by the project proponent or his/her designee and e-filed with the Federal Aviation Administration. (Go to <a href="https://oeaaa.faa.gov">https://oeaaa.faa.gov</a> for instructions.) This requirement is also applicable in the event the project is abandoned or a decision is made not to construct the applicable structure.</p>			
<b>HYDROLOGY &amp; WATER QUALITY</b>			
<p><b>PPP HYD-1: Comply with NPDES.</b> Since this Project is one acre or more, the permit holder shall comply with all of the applicable requirements of the National Pollutant Discharge Elimination System (NPDES) and shall conform to NPDES Best Management Practices for Stormwater Pollution Prevention Plans during the life of this permit.</p>	<p>In construction plans and specifications. Prior to building permit.</p>	<p>County of Riverside Building &amp; Safety Department</p>	
<p><b>PPP HYD-2: NPDES/SWPPP.</b> Prior to issuance of any grading or construction permits - whichever comes first - the applicant shall provide the Building and Safety Department evidence of submitting a Notice of Intent (NOI), develop and implement a Stormwater Pollution Prevention Plan (SWPPP) and a monitoring program and reporting plan for the construction site.</p>	<p>In construction plans and specifications. Prior to building permit.</p>	<p>County of Riverside Building &amp; Safety Department</p>	
<b>PALEONTOLOGICAL RESOURCES</b>			
<p><b>MM PAL-1: Paleontological Monitoring.</b> Prior to the issuance of grading permits, the applicant shall provide a letter to the County of Riverside Planning Department, or designee, from a professional paleontologist, stating that a qualified paleontologist has been retained to provide services for the Project. The paleontologist shall develop a Paleontological Resources Impact Mitigation Plan (PRIMP) to mitigate the potential impacts to unknown buried paleontological resources that may exist onsite. The PRIMP shall be provided to the County for review and approval. The PRIMP shall require that the paleontologist be present at the pre-grading conference to establish procedures for paleontological</p>	<p>Preparation of a PRIMP. Prior to grading permit.</p>	<p>County of Riverside Planning Department</p>	



Plan, Program, Policy / Mitigation Measure	Action and Timing	Responsible for Ensuring Compliance / Verification	Date Completed and Initials
<p>resource surveillance. The PRIMP shall also require paleontological monitoring for excavation below five feet below ground surface.</p> <p>In the event paleontological resources are encountered, ground disturbing activity within 50 feet of the area shall cease. The paleontologist shall examine the materials encountered, assess the nature and extent of the find, and recommend a course of action to further investigate and protect or recover and salvage those resources that have been encountered.</p> <p>Criteria for discard of specific fossil specimens shall be made explicit in the PRIMP. If the qualified paleontologist determines that impacts to a sample containing significant paleontological resources cannot be avoided by project construction, then recovery techniques may be applied. Actions include recovering a sample of the fossiliferous material prior to construction, monitoring construction activities and halting construction if an important fossil needs to be recovered, and/or cleaning, identifying, and cataloging specimens for curation and research purposes. Recovery, salvage, and treatment shall be done at the Applicant's expense. All recovered and salvaged resources shall be prepared to the point of identification and permanent preservation by the paleontologist. Resources shall be identified and curated into an established accredited professional repository. The paleontologist shall have a repository agreement in hand prior to initiating recovery of the resource. A report documenting the results of the monitoring, including any salvage activities and the significance of any fossils, will be prepared and submitted to the appropriate County personnel.</p>			
<b>PUBLIC SERVICES</b>			
<p><b>PPP PS-1: Ordinance No. 659.</b> Prior to the issuance of either a certificate of occupancy or prior to building permit final inspection, the applicant shall comply with the provisions of Riverside County Ordinance No. 659, which requires the payment of the appropriate fee set forth in the Ordinance. Riverside County Ordinance No. 659 has been established to set forth policies, regulations and fees related to the funding and installation of facilities and the acquisition of open space and habitat necessary to address the direct and cumulative</p>	<p>Submittal of fees. Prior to Certificate of Occupancy or Building Permit Final Inspection.</p>	<p>County of Riverside Planning Department</p>	

Plan, Program, Policy / Mitigation Measure	Action and Timing	Responsible for Ensuring Compliance / Verification	Date Completed and Initials
environmental effects generated by new development projects, and it establishes the authorized uses of the fees collected.			
<b>PPP PS-2:</b> Prior to the issuance of either a certificate of occupancy or prior to building permit final inspection, the applicant shall provide payment of the appropriate fees set forth by the Val Verde Unified School District related to the funding of school facilities pursuant to Government Code Section 65995 et seq.	Submittal of fees. Prior to Certificate of Occupancy or Building Permit Final Inspection.	County of Riverside Planning Department	
<b>TRIBAL CULTURAL RESOURCES</b>			
<b>MM TCR-1: Native American Monitor (COA 60-Planning-CUL.1).</b> Prior to the issuance of grading permits, the developer/permit applicant shall enter into agreement(s) with the consulting tribe(s) for Native American Monitor(s). In conjunction with the Archaeological Monitor(s), the Native American Monitor(s) shall attend the pre-grading meeting with the contractors to provide Cultural Sensitivity Training for all construction personnel. In addition, an adequate number of Native American Monitor(s) shall be on-site during all initial ground disturbing activities and excavation of each portion of the project site including clearing, grubbing, tree removals, grading and trenching. In conjunction with the Archaeological Monitor(s), the Native American Monitor(s) have the authority to temporarily divert, redirect or halt the ground disturbance activities to allow identification, evaluation, and potential recovery of cultural resources. The developer/permit applicant shall submit a fully executed copy of the agreement(s) to the County Archaeologist to ensure compliance with this condition of approval. Upon verification, the Archaeologist shall clear this condition. This agreement shall not modify any condition of approval or mitigation measure.	Submission of Tribal Monitoring Agreements. Prior to grading permits.	County of Riverside Planning Department, County Archaeologist	
<b>UTILITIES &amp; SERVICE SYSTEMS</b>			
<b>PPP UT-1: County Ordinance No. 859.</b> Project plans and specifications shall comply with Riverside County Ordinance No. 859, Water Efficient Landscape Ordinance.	In construction plans and specifications. Prior to building permit.	County of Riverside Building & Safety Department	
<b>PPP UT-2: AB 341:</b> This state law requires diversion of 75 percent of operational solid waste from landfills.	During operations	County of Riverside Building & Safety Department	

Plan, Program, Policy / Mitigation Measure	Action and Timing	Responsible for Ensuring Compliance / Verification	Date Completed and Initials
<b>WILDFIRE</b>			
PPP WF-1: The project shall comply with the California Fire Code and the Riverside County Ordinance No. 787, Fire Code.	In construction plans and specifications. Prior to building permit.	County of Riverside Building & Safety Department	



**COUNTY OF RIVERSIDE  
TRANSPORTATION AND LAND MANAGEMENT AGENCY**

Charissa Leach, P.E.  
Assistant CEO/TLMA Director



03/30/22, 4:49 pm

PPT210022

## **ADVISORY NOTIFICATION DOCUMENT**

The following notifications are included as part of the recommendation of approval for PPT210022. They are intended to advise the applicant of various Federal, State and County regulations applicable to this entitlement and the subsequent development of the subject property.

### **Advisory Notification**

#### **Advisory Notification. 1            AND - Preamble**

This Advisory Notification Document is included as part of the justification for the recommendation of approval of this Plan (PPT210022) and is intended to advise the applicant of various Federal, State and County regulations applicable to this entitlement and the subsequent development of the subject property in accordance with approval of that entitlement and are in addition to the applied conditions of approval.

#### **Advisory Notification. 2            AND - Project Description & Operational Limits**

Plot Plan No. 210022 proposes to develop two (2) 49,470 square foot warehouse buildings each with 2,500 square feet of office space. Both Buildings will be provided with 16 loading docks, a separate truck trailer parking yard and a separate parking lot. The site will be subdivided to place each building on its own lot. Each building site meets parking standards independent of the other site including electrical vehicle requirements. Building 1 is located on Parcel 1 and has 34 parking spaces and parking for 55 truck trailers. Building 2 is located on Parcel 2 and has 35 parking spaces and parking for 76 truck trailers. Ingress and egress for the project is provided by two (2) driveways on Seaton Avenue. To reduce impacts to adjacent residential development, the north driveway will only be used by passenger and emergency vehicles and truck traffic will be restricted to using only the south driveway. No access is proposed along Beck Street . The north driveway.

#### **Advisory Notification. 3            AND - Design Guidelines**

Compliance with Riverside County Wide Design Guidelines and Standards

#### **Advisory Notification. 4            AND - Exhibits**

The development of the premises shall conform substantially with that as shown on APPROVED [MAP and/or] EXHIBIT(S)

Exhibit A (Site Plan), dated March 23, 2022.

Exhibit B (Elevations), dated March 23, 2022.

Exhibit C (Floor Plans), dated March 23, 2022.

Exhibit G (Conceptual Grading Plan), dated April 6, 2022.

Exhibit L (Conceptual Landscaping and Irrigation Plans), dated March 23, 2022.

## ADVISORY NOTIFICATION DOCUMENT

### Advisory Notification

**Advisory Notification. 5                    AND - Federal, State & Local Regulation Compliance (cont.)**

**Advisory Notification. 5                    AND - Federal, State & Local Regulation Compliance**

1. Compliance with applicable Federal Regulations, including, but not limited to:
  - National Pollutant Discharge Elimination System (NPDES)
    - Clean Water Act
    - Migratory Bird Treaty Act (MBTA)
  
2. Compliance with applicable State Regulations, including, but not limited to:
  - The current Water Quality Management Plan (WQMP) Permit issued by the applicable Regional Water Quality Control Board (RWQCB.)
    - Government Code Section 66020 (90 Days to Protest)
    - Government Code Section 66499.37 (Hold Harmless)
    - State Subdivision Map Act
    - Native American Cultural Resources, and Human Remains (Inadvertent Find)
    - School District Impact Compliance
    - Public Resources Code Section 5097.94 & Sections 21073 et al - AB 52 (Native Americans: CEQA)
  
3. Compliance with applicable County Regulations, including, but not limited to:
  - Ord. No. 348 (Land Use Planning and Zoning Regulations)
  - Ord. No. 413 (Regulating Vehicle Parking)
  - Ord. No. 457 (Building Requirements)
  - Ord. No. 458 (Regulating Flood Hazard Areas & Implementing National Flood Insurance Program)
  - Ord. No. 460 (Division of Land)
  - Ord. No. 461 (Road Improvement Standards)
  - Ord. No. 484 (Control of Blowing Sand)
  - Ord. No. 655 (Regulating Light Pollution)
  - Ord. No. 671 (Consolidated Fees)
  - Ord. No. 787 (Fire Code)
  - Ord. No. 847 (Regulating Noise)
  - Ord. No. 857 (Business Licensing)
  - Ord. No. 859 (Water Efficient Landscape Requirements)
  - Ord. No. 915 (Regulating Outdoor Lighting)
  
4. Mitigation Fee Ordinances
  - Ord. No. 659 Development Impact Fees (DIF)
  - Ord. No. 663 Stephens Kangaroo Rat Habitat Conservation Plan (SKR)
  - Ord. No. 810 Western Riverside County Multiple Species Habitat Conservation Plan (WRCMSHCP)
  - Ord. No. 824 Western Riverside County Transportation Uniform Mitigation Fee (WR TUMF)

### BS-Plan Check

**BS-Plan Check. 1                    Gen - Custom**

#### BUILDING AND SAFETY COMMENTS

To assist in providing an expeditious review, please cloud all corrections on revised exhibit. Items labeled

## ADVISORY NOTIFICATION DOCUMENT

### BS-Plan Check

#### BS-Plan Check. 1

#### Gen - Custom (cont.)

as "Corrections" must be addressed prior to entitlement approval. Items labeled as "Notifications" are for your information only and are not required for entitlement approval. Include a comment response list addressing each correction on the comment list. Thank You.

CORRECTIONS: N/A

NOTIFICATIONS:

#### ACCESSIBLE PATH OF TRAVEL:

1- Please provide a revised site plan to indicate the required continuous accessible paved path of travel. The accessible path of travel details shall include;

1. Accessible path construction type (Asphalt or concrete).
2. Accessible path width.
3. Accessible path directional slope % and cross slope %.
4. All accessible ramp and curb cut-out locations and details where applicable.

The Accessible path of travel shall:

1. Connect to the public R.O.W.
2. Connect to all building(s).
3. Connect to all accessible parking loading/unloading areas.
4. Connect to accessible sanitary facilities.
5. Connect to areas of public accommodation.

Please be aware that the approved site plan with accessibility requirements should be included with any building plan submittal. The plan review staff may have additional comments depending on the additional information or revisions provided during the plan review process. Additional accessible requirements within the structure shall be reviewed during the building plan review.

2- Relocate the ADA parking to comply with the following:

Parking spaces complying with 11B- 502 (Parking Spaces) that serve a particular building or facility shall be located on the shortest accessible route from parking to an entrance

3-Where parking serves more than one accessible entrance, parking spaces complying with 11B-502 (Parking Spaces) shall be dispersed and located on the shortest accessible route to the accessible entrances.

#### EV PARKING:

Revise the site plan to show the required designated EV parking per CGC.

#### DISABLED ACCESS GUIDELINE:

EVCS are not considered parking spaces by the code. In addition, the required accessible parking spaces shall not double as required EVCS. 11B-208.1.

#### Required Number of Accessible EVCS

Where EVCS are provided for public use or common use, accessible EVCS shall be provided in accordance with the table below. (11B-228.3.1) (11B-228.3.2) (11B-228.3.2.1)

#### Electric Vehicle Charging Stations for Public Use and Common Use

Total Number of EVCS at a Facility | Minimum Number (by type) of Accessible EVCS Required

Van Accessible   Standard Accessible   Ambulatory

1 to 4: Van Accessible – 1; Standard Accessible – 0; Ambulatory - 0

## ADVISORY NOTIFICATION DOCUMENT

### BS-Plan Check

#### BS-Plan Check. 1

#### Gen - Custom (cont.)

5 to 25: Van Accessible – 1; Standard Accessible – 1; Ambulatory - 0

26 to 50: Van Accessible – 1; Standard Accessible - 1; Ambulatory - 1

51 to 75: Van Accessible – 1; Standard Accessible - 2; Ambulatory - 2

76 to 100: Van Accessible – 1; Standard Accessible – 3; Ambulatory – 3

101 and over 1, plus 1 for each 300, or fraction thereof, over 100, plus 1 for each 60, or fraction thereof, over 100 3, plus 1 for each 50, or fraction thereof, over 100.

#### EV PARKING:

Revise the site plan to show the required designated EV parking per CGC.

#### DISABLED ACCESS:

EVCS are not considered parking spaces by the code. In addition, the required accessible parking spaces shall not double as required EVCS. 11B-208.1.

#### Required Number of Accessible EVCS

Where EVCS are provided for public use or common use, accessible EVCS shall be provided in accordance with the table below. (11B-228.3.1) (11B-228.3.2) (11B-228.3.2.1)

#### Electric Vehicle Charging Stations for Public Use and Common Use

#### EVCS Locations

Accessible EVCS that serve a particular building or facility shall be located on an accessible route to an accessible entrance. (11B-812.5.1) (11B-812.5.1)

Where EVCS do not serve a particular building or facility, accessible EVCS shall be located on an accessible route to an accessible pedestrian entrance of the EV charging facility. (11B-812.5.1) (11B-812.5.1)

Vehicle spaces and access aisles shall be designed so that persons using them are not required to travel behind vehicle spaces or parking spaces other than the vehicle space in which their vehicle has been left to charge. (11B-812.5.4)

#### ALLOWABLE AREA:

The building must be surrounded by 60' clear yard to be qualified for unlimited area. Reduced yard for 40' is permitted if all the conditions per 2019 C.B.C. section 507.2.1 are met. Please check for each applicable building otherwise justify per tables 506.2.

#### CODE/ORDINANCE REQUIREMENTS:

The applicant shall obtain the required building permit(s) from the building department prior to any construction on the property. All building plans and supporting documentation shall comply with current adopted California Building Codes, Riverside County Ordinances regulations in effect at the time of building plan submittal and fee payment to the Building Department. All Building Department plan submittal and fee requirements shall apply.

NOTE: The new updated 2019 California Building Codes will be in effect as of January 1st 2020, as mandated by the state of California. Any building plan and fee payment submitted to the building department on or after January 1st, 2020 will be subject to the new updated California Building Code(s).

#### PERMIT ISSUANCE:

Per section 105.1 (2019 California Building Code, CBC): Where any owner or authorized agent intends to

## ADVISORY NOTIFICATION DOCUMENT

### BS-Plan Check

#### BS-Plan Check. 1

#### Gen - Custom (cont.)

construct, enlarge, alter, repair, move, demolish or change the occupancy of a building or structure, or to erect, install, enlarge, alter, repair, remove, convert, or replace any electrical, gas, mechanical, or plumbing system, the regulation of which is governed by this code, or to cause any such work to be done, shall first make application to the building official and obtain the required permit.

The applicant shall obtain the required building permit(s) from the building department prior to any construction or placement of any building, structure or equipment on the property.

The applicant shall obtain an approved final building inspection and certificate of occupancy from the building department prior to any use or occupancy of the building, or structure.

At no time shall the approval of the planning case exhibit allow for the construction or use of any building, structure, or equipment. In residential applications, each separate structure will require a separate building permit.

### E Health

#### E Health. 1

#### DEH ECP COMMENTS

Based on the information provided in the environmental assessment documents submitted for this project and with the provision that the information was accurate and representative of site conditions, RCDEH-ECP (Riverside County Department of Environmental Health – Environmental Cleanup Program) concludes no further environmental assessment is required for this project.

If previously unidentified contamination or the presence of a naturally occurring hazardous material is discovered at the site, assessment, investigation, and/or cleanup may be required. Contact Riverside County Environmental Health - Environmental Cleanup Programs at (951) 955-8980, for further information.

#### E Health. 2

#### DEH LAND USE COMMENTS

Project Summary:

-----  
-Two (2) 49,470 square foot warehouses each with 2,500 square foot office space, 16 loading docks, a separate truck trailer parking yard, and a separate parking lot.

-Project is proposing Eastern Municipal Water District (EMWD) water and sewer service.

#### E Health. 3

#### Gen - Custom

This project will connect to EMWD water and sewer.

It is the responsibility of the applicant to ensure that all requirements to obtain potable water service and sanitary sewer service are met with the appropriate purveyors, as well as, all other applicable agencies.

### Fire

#### Fire. 1

#### Fire - Advisory

Fire Department emergency vehicle apparatus access road locations and design shall be in accordance with the California Fire Code, Riverside County Ordinance 460, Riverside County Ordinance 787, and Riverside County Fire Department Standards. Plans must be submitted to the Fire Department for review and



## ADVISORY NOTIFICATION DOCUMENT

### Fire

#### **Fire. 1** **Fire - Advisory (cont.)**

approval prior to building permit issuance.

Fire Department water system(s) for fire protection shall be in accordance with the California Fire Code, Riverside County Ordinance 787 and Riverside County Fire Department Standards. Plans must be submitted to the Fire Department for review and approval prior to building permit issuance.

Per Riverside County Ordinance 460, Schedule E subdivisions shall meet the minimum requirements for fire protection set forth in Riverside County Fire Ordinance No. 787.

Final fire and life safety conditions will be addressed when the Office of the Fire Marshal reviews building plans. These conditions will be based on occupancy, use, California Building Code (CBC), California Fire Code (CFC), and related codes, which are in effect at the time of building plan submittal.

### Flood

#### **Flood. 1** **Flood Hazard Report**

FLOOD HAZARD REPORT: 3/21/2022

Bluebeam Session ID: 511-477-952

Plot Plan (210022) is a proposal to develop two (2) 49,470 square foot warehouse buildings each with 2,500 square feet of office space, 16 loading docks, a separate truck trailer parking yard and a separate parking lot. It was submitted with Parcel Map (PM) 38147 which proposes a schedule E subdivision of approximately 9.8 gross acres into two (2) lots. The project site is located North of Perry Street, South of Markham Street, East of Beck Street, and West of Seaton Avenue. The project was previously reviewed under PAR 200061.

The District has reviewed the site plan (dated 10/15/21), grading plan (2/2/22), hydrology study (11/22/21), and parcel map (11/22/21).

The topography of the site is a mild west to east slope. The site is subject to a drainage tributary to the west. Flows traverse the site and are collected at the northeast corner of the site by an existing portion of Perris Valley MDP Lateral F-1.

The site is located within the Perris Valley Master Drainage Plan (MDP), which proposes Line E & F drainage system to collect stormwater runoff from the hills to the west of the site and convey the flows to Perris Valley Channel. The proposed upstream terminus of Lateral F-1 is 700 feet west of the southwest corner of the site. Lateral F-1 drains east toward the site's southwest corner, north, then east along the site's north border. Per the MDP, Lateral F-1 was planned to convey offsite runoff tributary to PP 210022, as well as onsite flows. This project will need to construct Lateral F-1 to protect the site from offsite runoff and convey onsite flows to the existing portion of Lateral F-1.

The applicant has proposed that Lateral F-1 will extend to a low point on Beck Street; this is acceptable since Beck Street is not being improved by this project. If Beck Street is improved prior to the completion of this project, then Lateral F-1 shall be extended in Beck Street to avoid ripping up Beck Street to build the extension in the future.

Plans dated 11/22/21 show the proposed extension of Lateral F-1 along the north boundary and half of the west boundary of the site to collect offsite flows from the west. Flows from the south are collected in a V-ditch along the south boundary, to a proposed lateral along the east boundary which conveys flows north

## ADVISORY NOTIFICATION DOCUMENT

### Flood

#### Flood. 1

#### Flood Hazard Report (cont.)

to Lateral F-1.

All facilities being proposed by PM 38147 are on private property, and will be privately maintained. Transportation Department will have the responsibility to process the review and approval of any hydrology or drainage studies including the preliminary and final Water Quality Management Plan (WQMP). The Transportation Department will require an easement over the alignment of Lateral F-1 in order to provide emergency maintenance should the owner fail to maintain it.

Onsite drainage facilities located outside of road right-of-way shall be contained within drainage easements shown on the Final Map. A note shall be added to the Final Map for PM 38147 stating: "Drainage easements shall be kept free of all buildings and obstructions."

Lateral F-1 will be connecting to an existing District facility, and will require changes to the easement currently in place for the existing inlet on site. An encroachment permit shall be obtained for any work that is to be performed within the District right-of-way or involving District facilities. The encroachment permit application shall be processed and approved concurrently with the improvement plans. See condition 60/80 ENCROACHMENT PERMIT REQUIRED.

On parcel map 38147, the proposed parcels are called "parcel 1" and "parcel 2", with parcel 2 being west of parcel 1. Both parcels rely on the construction of Lateral F-1 proposed on both parcels, as the west end provides protection and the east end provides an adequate outlet. If the site is built or recorded in phases, each phase must be protected from the one-percent annual chance (100-year) tributary flows and shall mitigate its water quality impacts. Additionally, the water quality features necessary to mitigate impacts associated with each phase shall be constructed. The construction of all necessary improvements along with easements and/or permission from affected property owners to safely discharge the concentrated or diverted one-percent annual chance (100-year) tributary flows of each phase shall be required prior to issuance of permits. See condition 60 PHASING.

Future exhibit shall depict all proposed grading including but not limited to all cut/fill slopes with slope ratios, pad sites, pad elevations and finished floor elevations. The property's grading should be designed in a manner that perpetuates the existing natural drainage patterns and conditions with respect to tributary drainage area and outlet points and outlet conditions.

The purpose of entitlement drainage review is to ensure drainage is addressed at a planning level to protect the site from off-site flows in the existing, interim and ultimate conditions, accommodate right of way for proposed drainage facilities, provide an adequate outlet, not adversely affect adjacent properties, properly floodproof structures and potentially mitigate for increases in runoff. Detailed analyses during the final design may result in changes to assumptions made during entitlement phase, such as, revisions to facility sizes, inlet and outlet requirements, revisions to hydrology and/or hydraulic parameters, etc. .

The hydrology portion of the study dated 11/22/21 is acceptable for entitlement, but may need to be revised in plan check. Revisions are likely to include (but are not limited to): to address both interim and ultimate conditions offsite runoff, to evaluate how onsite runoff will be conveyed to Lateral F-1, and to analyze the capacity of the v-gutter and CB110 inlet.

## ADVISORY NOTIFICATION DOCUMENT

### Flood

#### **Flood. 1 Flood Hazard Report (cont.)**

The site is located within the bounds of the PERRIS VALLEY Area Drainage Plan (ADP) for which drainage fees and mitigation fees have been established by the Board of Supervisors. Applicable ADP/mitigation fees will be due (in accordance with the Rules and Regulations for Administration of Area Drainage Plans) prior to permits for this project. Although the current fee for this ADP is \$8,875 per acre, the fee due will be based on the fee in effect at the time of payment. The fee is payable to the Flood Control District by cashier's check or money order only. The District will not accept personal or company checks. The drainage fee is required to be paid prior to the issuance of the grading permits or issuance of the building permits if grading permits are not issued. See condition 60/80 MITIGATION CHARGE.

Any questions pertaining to this project may be directed to Kelly O'Sullivan of this office at 951-955-8851 or kosulliv@rivco.org.

### Planning

#### **Planning. 1 15 - PLANNING - Landscape Requirement**

##### Landscape Requirement

This condition applies to both onsite and offsite (ROW) landscaping:

The developer/ permit holder shall:

- 1) Ensure all landscape and irrigation plans are in conformance with the APPROVED EXHIBITS;
- 2) Ensure all landscaping is provided with California Friendly landscaping and a weather-based irrigation controller(s) as defined by County Ordinance No. 859;
- 3) Ensure that irrigation plans which may use reclaimed water conform with the requirements of the local water purveyor; and,
- 4) Be responsible for maintenance, viability and upkeep of all slopes, landscaped areas, and irrigation systems until the successful completion of the twelve (12) month inspection or those operations become the responsibility of the individual property owner(s), a property owner's association, or any other successor-in-interest, whichever occurs later.

To ensure ongoing maintenance, the developer/ permit holder or any successor-in-interest shall:

- 1) Connect to a reclaimed water supply for landscape irrigation purposes when reclaimed water is made available.
- 2) Ensure that landscaping, irrigation and maintenance systems comply with the Riverside County Guide to California Friendly Landscaping, and Ordinance No. 859.
- 3) Ensure that all landscaping is healthy, free of weeds, disease and pests.

#### **Planning. 2 Advisory Notification - AND - IS-MND Mitigation Measures**

Mitigation Measures from the Project Initial Study/Mitigated Negative Declaration have been incorporated as conditions of approval of this project where appropriate. Beyond these conditions of approval that have been incorporated, development of the project shall conform to the analysis, conclusions, and mitigation measures of the Project Initial Study/Mitigated Negative Declaration.

#### **Planning. 3 ALUC General Conditions**

## ADVISORY NOTIFICATION DOCUMENT

### Planning

#### Planning. 3

#### ALUC General Conditions (cont.)

1. Any new outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The following uses/activities are not included in the proposed project and shall be prohibited at this site:
  - (a) Any use or activity which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
  - (b) Any use or activity which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
  - (c) Any use or activity which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, wastewater management facilities, artificial marshes, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)
  - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
  - (e) Highly noise sensitive outdoor nonresidential uses.
  - (f) Other Hazards to flight.
3. The attached "Notice of Airport in Vicinity" shall be provided to all prospective purchasers and occupants of the property and be recorded as a deed notice. In the event that the Office of the Riverside County Assessor-Clerk-Recorder declines to record said notice, the text of the notice shall be included on the Environmental Constraint Sheet (ECS) of the final parcel map, if an ECS is otherwise required.
4. The project has been conditioned to utilize underground detention systems, which shall not contain surface water or attract wildlife. Any new detention basins or facilities shall be designed and maintained to provide for a maximum 48-hour detention period following the design storm, and remain totally dry between rainfalls. Vegetation in and around the detention basins that would provide food or cover for birds would be incompatible with airport operations and shall not be utilized in project landscaping. Trees shall be spaced so as to prevent large expanses of contiguous canopy, when mature. Landscaping in and around the detention basin(s) shall not include trees or shrubs that produce seeds, fruits, or berries.

Landscaping in the detention basin, if not rip-rap, should be in accordance with the guidance provided in ALUC "LANDSCAPING NEAR AIRPORTS" brochure, and the "AIRPORTS, WILDLIFE AND STORMWATER

## ADVISORY NOTIFICATION DOCUMENT

### Planning

#### Planning. 3 ALUC General Conditions (cont.)

MANAGEMENT” brochure available at RCALUC.ORG which list acceptable plants from Riverside County Landscaping Guide or other alternative landscaping as may be recommended by a qualified wildlife hazard biologist.

A notice sign, in a form similar to that attached hereto, shall be permanently affixed to the stormwater basin with the following language: “There is an airport nearby. This stormwater basin is designed to hold stormwater for only 48 hours and not attract birds. Proper maintenance is necessary to avoid bird strikes”. The sign will also include the name, telephone number or other contact information of the person or entity responsible to monitor the stormwater basin.

5. March Air Reserve Base must be notified of any land use having an electromagnetic radiation component to assess whether a potential conflict with Air Base radio communications could result. Sources of electromagnetic radiation include radio wave transmission in conjunction with remote equipment inclusive of irrigation controllers, access gates, etc.

6. The project has been evaluated for 93,940 square feet of manufacturing area, and 5,000 square feet of office area. Any increase in building area, change in use to any higher intensity use, change in building location, or modification of the tentative parcel map lot lines and areas will require an amended review to evaluate consistency with the ALUCP compatibility criteria, at the discretion of the ALUC Director.

7. The project does not propose rooftop solar panels at this time. However, if the project were to propose solar rooftop panels in the future, the applicant/developer shall prepare a solar glare study that analyzes glare impacts, and this study shall be reviewed by the Airport Land Use Commission and March Air Reserve Base.

The following conditions were added subsequent to the June 10, 2021 ALUC hearing.

8. The Federal Aviation Administration has conducted an aeronautical study of the proposed project (Aeronautical Study Nos. 2021-AWP-7737-OE and 2021-AWP-7738-OE) and has determined that neither marking nor lighting of the structures are necessary for aviation safety. However, if marking and/or lighting for aviation safety are accomplished on a voluntary basis, such marking and/or lighting (if any) shall be installed in accordance with FAA Advisory Circular 70/7460-1 M and shall be maintained in accordance therewith for the life of the project.

9. The proposed structures shall not exceed a height of 41 feet above ground level and a maximum elevation at top point of 1,611 feet above mean sea level.

10. The maximum height and top point elevation specified above shall not be amended without further review by the Airport Land Use Commission and the Federal Aviation Administration; provided, however, that reduction in structure height or elevation shall not require further review by the Airport Land Use Commission.

11. Temporary construction equipment used during actual construction of the structure shall not exceed 41 feet in height and a maximum elevation of 1,611 feet above mean sea level, unless separate notice is











## ADVISORY NOTIFICATION DOCUMENT

### Planning

#### Planning. 19

#### Logistics/Warehouse – General/Operations Measures (cont.)

available for inspection by the County.

5. Facility operators shall train their managers and employees on efficient scheduling and load management to eliminate unnecessary queuing and idling of trucks.

6. Facility operators shall coordinate with CAR B and SCAQMD to obtain the latest information about regional

air quality concentrations, health risks, and trucking regulations.

7. Facility operators shall establish specific truck routes between the facility and regular destinations, identifying the most direct routes to the nearest highway/freeway and avoid traveling near sensitive receptors.

8. Facility operators shall require their drivers to park and perform any maintenance of trucks in designated on site areas and not within the surrounding community or on public streets.

9. Facility operators for sites that exceed 250 employees shall establish a rideshare program, in accordance with AQMD rule 2202, with the intent of discouraging single occupancy vehicle trips and promote alternate modes of transportation, such as carpooling and transit where feasible.

10. If a public address (PA) system is being used in conjunction with a warehouse/distribution facility operations, the PA system shall be oriented away from sensitive receptors and the volume set at a level not readily audible past the property line.

11.

Facility Operation shall comply with the exterior noise decibel levels as required by Ord. 847 (Noise Ordinance), which includes a maximum exterior decibel level of 55 dba (between 7:00 a.m. and 10:00 p.m.) and 45 dba (between 10:00 p.m. and 7:00 a.m.) as measured on adjacent occupied residences, or as modified

by the most current version of Ordinance No. 847.

12. Each Facility shall designate a Compliance Officer responsible for implementing the measures described herein and/or in the project conditions of approval and mitigation measures. Contact information should be

provided to the County and updated annually, and signs should be posted in visible locations providing the contact information for the Compliance Officer to the surrounding community. These signs shall also identify

the website and contact information for the South Coast Air Quality Management District.

13. On site equipment, such as forklifts, shall be electric with the necessary electrical charging stations provided.

#### Planning. 20

#### No Outdoor Advertising

No outdoor advertising display, sign or billboard (not including on-site advertising or directional signs) shall be constructed or maintained within the property subject to this approval.

#### Planning. 21

#### No Resident Occupancy

No permanent occupancy shall be permitted within the property approved under this plot plan as a principal place of residence. No person shall use the premises as a permanent mailing address nor be entitled to vote using an address within the premises as a place of residence.

#### Planning. 22

#### Outside Storage





## ADVISORY NOTIFICATION DOCUMENT

### Planning-GEO

#### Planning-GEO. 1

#### GEO210020 ACCEPTED

County Geologic Report GEO No. 210020, submitted for the project PPT210022, was prepared by Sladden Engineering, and is titled; "Geotechnical Investigation, Proposed Warehouse Building, APN 314-091-005, Seaton Avenue, Perris Area, California," dated December 23, 2020.

GEO210020 concluded:

1. Based on our research, the site is not currently located within any State of California designated fault zone.
2. Based upon published maps, onsite mapping, and a review of non-stereo digitized photographs of the site, risks associated with primary surface ground rupture should be considered "low."
3. No fissures or other evidence of subsidence were observed at the subject site. Generally, subsidence related to groundwater depletion is areal in nature with very little differential settlement over short distances such as across individual buildings.
4. Based on the underlying granitic bedrock materials, it is our professional opinion that risks associated with liquefaction should be considered "negligible".
5. Based on the results of our laboratory testing (EI=33), the materials underlying the site are considered to have a "low" expansion potential.
6. Static settlement is calculated to be less than one inch when using the recommended bearing pressures, and static differential settlement between footings can be assumed as one-half of the total static settlement.
7. Based on the relatively flat nature of the site, risks associated with slope failure, landsliding, rock falls, and debris flows are considered negligible/remote.

GEO210020 recommended:

1. Areas to be graded and paved should be cleared of any vegetation, associated root systems, and debris, and disposed of offsite, or stockpiled for later use in landscape areas.
2. All areas scheduled to receive fill should be cleared of old fill and any irreducible matter.
3. All near surface soil and bedrock should be removed and compacted in place so that at least 90 percent relative compaction is attained to a depth of at least 3 feet below existing grade or 2 feet below the bottom of footings, whichever is deeper.
4. The competency of native soil encountered within the excavation bottoms should be generally evaluated based on the minimums of 85 percent relative compaction or 85 percent saturation.
5. Removals should extend at least 5 feet laterally beyond the footing limits where possible.

GEO No. 210020 satisfies the requirement for a geologic/geotechnical study for Planning/CEQA purposes. GEO No. 210020 is hereby accepted for planning purposes. Engineering and other Building Code parameters were not included as a part of this review or approval. This approval is not intended and should not be misconstrued as approval for grading permit. Engineering and other building code parameters should be reviewed and additional comments and/or conditions may be imposed by the County upon application for grading and/or building permits.

### Transportation

#### Transportation. 1

#### RCTD-USE - General Conditions

- The Project shall submit a preliminary soils and pavement investigation report addressing the construction requirements within the road right-of-way.
- A signing and striping plan is required for this project. The Project shall be responsible for any

## ADVISORY NOTIFICATION DOCUMENT

### Transportation

#### Transportation. 1                      RCTD-USE - General Conditions (cont.)

additional paving and/or striping removal caused by the striping plan or as approved by the Director of Transportation.

- The project shall comply with the most current ADA requirements.
- Additional information, standards, ordinances, policies, and design guidelines can be obtained from the Transportation Department Web site: <http://rctlma.org/trans/>. If you have questions, please call the Plan Check Section at (951) 955 6527.
- Improvement plans for the required improvements must be prepared and shall be based upon a design profile extending a minimum of 300 feet beyond the limit of construction at a grade and alignment as approved by the Riverside County Transportation Department. Completion of road improvements does not imply acceptance for maintenance by County. Street Improvement Plans shall comply with Ordinance 460, 461, Riverside County Improvement Plan Check Policies and Guidelines, which can be found online <http://rctlma.org/trans>.

### Waste Resources

#### Waste Resources. 1                      Waste - General

Hazardous materials are not accepted at Riverside County landfills. In compliance with federal, state, and local regulations and ordinances, any hazardous waste generated in association with the project shall be disposed of at a permitted Hazardous Waste disposal facility. Hazardous waste materials include, but are not limited to, paint, batteries, oil, asbestos, and solvents. For further information regarding the determination, transport, and disposal of hazardous waste, please contact the Riverside County Department of Environmental Health, Environmental Protection and Oversight Division.

AB 341 focuses on increased commercial waste recycling as a method to reduce greenhouse gas (GHG) emissions. The regulation requires businesses and organizations that generate four or more cubic yards of waste per week and multifamily units of 5 or more, to recycle. A business shall take at least one of the following actions in order to reuse, recycle, compost, or otherwise divert commercial solid waste from disposal:

- Source separate recyclable and/or compostable material from solid waste and donate or self-haul the material to recycling facilities.
- Subscribe to a recycling service with their waste hauler.
- Provide recycling service to their tenants (if commercial or multi-family complex).
- Demonstrate compliance with the requirements of California Code of Regulations Title 14.

For more information, please visit:

[www.rivcowm.org/opencms/recycling/recycling\\_and\\_compost\\_business.html#mandatory](http://www.rivcowm.org/opencms/recycling/recycling_and_compost_business.html#mandatory)

Consider xeriscaping and using drought tolerant/low maintenance vegetation in all landscaped areas of the project.

The use of mulch and/or compost in the development and maintenance of landscaped areas within the project boundaries is recommended. Recycle green waste through either onsite composting of grass, i.e., leaving the grass clippings on the lawn, or sending separated green waste to a composting facility.

AB 1826 requires businesses and multifamily complexes to arrange for organic waste recycling services. Those subject to AB 1826 shall take at least one of the following actions in order to divert organic waste from disposal:

## ADVISORY NOTIFICATION DOCUMENT

### Waste Resources

#### Waste Resources. 1

#### Waste - General (cont.)

- Source separate organic material from all other recyclables and donate or self-haul to a permitted organic waste processing facility.
- Enter into a contract or work agreement with gardening or landscaping service provider or refuse hauler to ensure the waste generated from those services meet the requirements of AB 1826.



**COUNTY OF RIVERSIDE  
TRANSPORTATION AND LAND MANAGEMENT AGENCY**

Charissa Leach, P.E.  
Assistant CEO/TLMA Director



03/30/22, 4:47 pm

**TPM38147**

**ADVISORY NOTIFICATION DOCUMENT**

The following notifications are included as part of the recommendation of approval for TPM38147. They are intended to advise the applicant of various Federal, State and County regulations applicable to this entitlement and the subsequent development of the subject property.

**Advisory Notification**

**Advisory Notification. 1            AND - Preamble**

This Advisory Notification Document is included as part of the justification for the recommendation of approval of this Plan (TPM37398) and is intended to advise the applicant of various Federal, State and County regulations applicable to this entitlement and the subsequent development of the subject property in accordance with approval of that entitlement and are in addition to the applied conditions of approval.

**Advisory Notification. 2            AND - Project Description & Operational Limits**

Tentative Parcel Map No. 38147 is a Schedule "E" subdivision of one parcel totaling 9.81 gross acres into two (2) lots. Parcel 1 - 4.669 net acres, Parcel 2 - 4.759 net acres

**Advisory Notification. 3            AND - Design Guidelines**

Compliance with applicable Design Guidelines:  
1. County Wide Design Guidelines and Standards

**Advisory Notification. 4            AND - Exhibits**

The development of the premises shall conform substantially with that as shown on Tentative Map No. 38417 dated March 23, 2022.

**Advisory Notification. 5            AND - Federal, State & Local Regulation Compliance**

1. Compliance with applicable Federal Regulations, including, but not limited to:
  - National Pollutant Discharge Elimination System (NPDES)
    - Clean Water Act
    - Migratory Bird Treaty Act (MBTA)
  
2. Compliance with applicable State Regulations, including, but not limited to:
  - The current Water Quality Management Plan (WQMP) Permit issued by the applicable Regional Water Quality Control Board (RWQCB.)
    - Government Code Section 66020 (90 Days to Protest)
    - Government Code Section 66499.37 (Hold Harmless)
    - State Subdivision Map Act
    - Native American Cultural Resources, and Human Remains (Inadvertent Find)



# ADVISORY NOTIFICATION DOCUMENT

## Advisory Notification

### Advisory Notification. 5                    AND - Federal, State & Local Regulation Compliance (cont.)

- School District Impact Compliance
  - Public Resources Code Section 5097.94 & Sections 21073 et al - AB 52 (Native Americans: CEQA)
3. Compliance with applicable County Regulations, including, but not limited to:
- Ord. No. 348 (Land Use Planning and Zoning Regulations)
  - Ord. No. 413 (Regulating Vehicle Parking)
  - Ord. No. 457 (Building Requirements)
  - Ord. No. 458 (Regulating Flood Hazard Areas & Implementing National Flood Insurance Program)
  - Ord. No. 460 (Division of Land)
  - Ord. No. 461 (Road Improvement Standards)
  - Ord. No. 484 (Control of Blowing Sand)
  - Ord. No. 655 (Regulating Light Pollution)
  - Ord. No. 671 (Consolidated Fees)
  - Ord. No. 787 (Fire Code)
  - Ord. No. 847 (Regulating Noise)
  - Ord. No. 857 (Business Licensing)
  - Ord. No. 859 (Water Efficient Landscape Requirements)
  - Ord. No. 915 (Regulating Outdoor Lighting)
4. Mitigation Fee Ordinances
- Ord. No. 659 Development Impact Fees (DIF)
  - Ord. No. 663 Stephens Kangaroo Rat Habitat Conservation Plan (SKR)
  - Ord. No. 810 Western Riverside County Multiple Species Habitat Conservation Plan (WRCMSHCP)
  - Ord. No. 824 Western Riverside County Transportation Uniform Mitigation Fee (WR TUMF)

## E Health

### E Health. 1                                    DEH ECP COMMENTS

Based on the information provided in the environmental assessment documents submitted for this project and with the provision that the information was accurate and representative of site conditions, RCDEH-ECP (Riverside County Department of Environmental Health – Environmental Cleanup Program) concludes no further environmental assessment is required for this project.

If previously unidentified contamination or the presence of a naturally occurring hazardous material is discovered at the site, assessment, investigation, and/or cleanup may be required. Contact Riverside County Environmental Health - Environmental Cleanup Programs at (951) 955-8980, for further information.

### E Health. 2                                    DEH LAND USE COMMENTS

Project Summary:

-----

- Schedule "E" Subdivision of 10.0 acre gross into two lots.
- All lots are proposing Eastern Municipal Water District (EMWD) water and sewer service.

## Fire





## ADVISORY NOTIFICATION DOCUMENT

### Flood

#### **Flood. 1** **Flood Hazard Report (cont.)**

analyze the capacity of the v-gutter and CB110 inlet.

The site is located within the bounds of the PERRIS VALLEY Area Drainage Plan (ADP) for which drainage fees and mitigation fees have been established by the Board of Supervisors. Applicable ADP/mitigation fees will be due (in accordance with the Rules and Regulations for Administration of Area Drainage Plans) prior to permits for this project. Although the current fee for this ADP is \$8,875 per acre, the fee due will be based on the fee in effect at the time of payment. The fee is payable to the Flood Control District by cashier's check or money order only. The District will not accept personal or company checks. The drainage fee is required to be paid prior to the issuance of the grading permits or issuance of the building permits if grading permits are not issued. See condition 50/60/80 ADP FEE, and 50- SUBMIT ECS & FINAL MAP.

Any questions pertaining to this project may be directed to Kelly O'Sullivan of this office at 951-955-8851 or kosulliv@rivco.org.

### Planning

#### **Planning. 1** **90 Days to Protest**

The land divider has 90 days from the date of approval of these conditions to protest, in accordance with the procedures set forth in Government Code Section 66020, the imposition of any and all fees, dedications, reservations and/or other exactions imposed on this project as a result of the approval or conditional approval of this project.

#### **Planning. 2** **ALUC General Conditions**

1. Any new outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The following uses/activities are not included in the proposed project and shall be prohibited at this site:
  - (a) Any use or activity which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
  - (b) Any use or activity which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
  - (c) Any use or activity which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, wastewater management facilities, artificial marshes, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)

## ADVISORY NOTIFICATION DOCUMENT

### Planning

#### Planning. 2

#### ALUC General Conditions (cont.)

(d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.

(e) Highly noise sensitive outdoor nonresidential uses.

(f) Other Hazards to flight.

3. The attached "Notice of Airport in Vicinity" shall be provided to all prospective purchasers and occupants of the property and be recorded as a deed notice. In the event that the Office of the Riverside County Assessor-Clerk-Recorder declines to record said notice, the text of the notice shall be included on the Environmental Constraint Sheet (ECS) of the final parcel map, if an ECS is otherwise required.

4. The project has been conditioned to utilize underground detention systems, which shall not contain surface water or attract wildlife. Any new detention basins or facilities shall be designed and maintained to provide for a maximum 48-hour detention period following the design storm, and remain totally dry between rainfalls. Vegetation in and around the detention basins that would provide food or cover for birds would be incompatible with airport operations and shall not be utilized in project landscaping. Trees shall be spaced so as to prevent large expanses of contiguous canopy, when mature. Landscaping in and around the detention basin(s) shall not include trees or shrubs that produce seeds, fruits, or berries.

Landscaping in the detention basin, if not rip-rap, should be in accordance with the guidance provided in ALUC "LANDSCAPING NEAR AIRPORTS" brochure, and the "AIRPORTS, WILDLIFE AND STORMWATER MANAGEMENT" brochure available at [RCALUC.ORG](http://RCALUC.ORG) which list acceptable plants from Riverside County Landscaping Guide or other alternative landscaping as may be recommended by a qualified wildlife hazard biologist.

A notice sign, in a form similar to that attached hereto, shall be permanently affixed to the stormwater basin with the following language: "There is an airport nearby. This stormwater basin is designed to hold stormwater for only 48 hours and not attract birds. Proper maintenance is necessary to avoid bird strikes". The sign will also include the name, telephone number or other contact information of the person or entity responsible to monitor the stormwater basin.

5. March Air Reserve Base must be notified of any land use having an electromagnetic radiation component to assess whether a potential conflict with Air Base radio communications could result. Sources of electromagnetic radiation include radio wave transmission in conjunction with remote equipment inclusive of irrigation controllers, access gates, etc.

6. The project has been evaluated for 93,940 square feet of manufacturing area, and 5,000 square feet of office area. Any increase in building area, change in use to any higher intensity use, change in building location, or modification of the tentative parcel map lot lines and areas will require an amended review to evaluate consistency with the ALUCP compatibility criteria, at the discretion of the ALUC Director.

## ADVISORY NOTIFICATION DOCUMENT

### Planning

#### Planning. 2

#### ALUC General Conditions (cont.)

7. The project does not propose rooftop solar panels at this time. However, if the project were to propose solar rooftop panels in the future, the applicant/developer shall prepare a solar glare study that analyzes glare impacts, and this study shall be reviewed by the Airport Land Use Commission and March Air Reserve Base.

The following conditions were added subsequent to the June 10, 2021 ALUC hearing.

8. The Federal Aviation Administration has conducted an aeronautical study of the proposed project (Aeronautical Study Nos. 2021-AWP-7737-OE and 2021-AWP-7738-OE) and has determined that neither marking nor lighting of the structures are necessary for aviation safety. However, if marking and/or lighting for aviation safety are accomplished on a voluntary basis, such marking and/or lighting (if any) shall be installed in accordance with FAA Advisory Circular 70/7460-1 M and shall be maintained in accordance therewith for the life of the project.

9. The proposed structures shall not exceed a height of 41 feet above ground level and a maximum elevation at top point of 1,611 feet above mean sea level.

10. The maximum height and top point elevation specified above shall not be amended without further review by the Airport Land Use Commission and the Federal Aviation Administration; provided, however, that reduction in structure height or elevation shall not require further review by the Airport Land Use Commission.

11. Temporary construction equipment used during actual construction of the structure shall not exceed 41 feet in height and a maximum elevation of 1,611 feet above mean sea level, unless separate notice is provided to the Federal Aviation Administration through the Form 7460-1 process.

12. Within five (5) days after construction of the structure reaches its greatest height, FAA Form 7460-2 (Part II), Notice of Actual Construction or Alteration, shall be completed by the project proponent or his/her designee and e-filed with the Federal Aviation Administration. (Go to <https://oeaaa.faa.gov> for instructions.) This requirement is also applicable in the event the project is abandoned or a decision is made not to construct the applicable structure.

#### Planning. 3

#### AND - Hold Harmless

The applicant/permittee or any successor in interest shall defend, indemnify, and hold harmless the County of Riverside or its agents, officers, and employees (COUNTY) from the following:

- (a) any claim, action, or proceeding against the COUNTY to attack, set aside, void, or annul an approval of the COUNTY, its advisory agencies, appeal boards, or legislative body concerning the Plot Plan, or its associated environmental documentation; and,
  - (b) any claim, action or proceeding against the COUNTY to attack, set aside, void or annul any other decision made by the COUNTY concerning the Plot Plan, including, but not limited to, decisions made in response to California Public Records Act requests; and
- (a) and (b) above are hereinafter collectively referred to as "LITIGATION."

The COUNTY shall promptly notify the applicant/permittee of any LITIGATION and shall cooperate fully in the defense. If the COUNTY fails to promptly notify the applicant/permittee of any such



## ADVISORY NOTIFICATION DOCUMENT

### Planning

#### Planning. 8

#### Planning - Expiration Date (cont.)

The conditionally approved TENTATIVE MAP shall expire three years after the County of Riverside Board of Supervisors original approval date, unless extended as provided by County Ordinance No. 460. Action on a minor change and/or revised map request shall not extend the time limits of the originally approved TENTATIVE MAP. If the TENTATIVE MAP expires before the recordation of the FINAL MAP, or any phase thereof, no recordation of the FINAL MAP, or any phase thereof, shall be permitted.

#### Planning. 9

#### Review Fees

Any subsequent submittals required by these conditions of approval, including but not limited to grading plan, building plan, or mitigation and monitoring review, shall be reviewed on an hourly basis (research fee), or other such review fee as may be in effect at the time of submittal, as required by Ordinance No. 671. Each submittal shall be accompanied with a letter clearly indicating which condition or conditions the submittal is intended to comply with.

### Planning-CUL

#### Planning-CUL. 1

#### Human Remains

If human remains are found on this site, the developer/permit holder or any successor in interest shall comply with State Health and Safety Code Section 7050.5.

Comments: RECOMMEND HThomson 09/22/2021

#### Planning-CUL. 2

#### Unanticipated Resources

The developer/permit holder or any successor in interest shall comply with the following for the life of this permit.

If during ground disturbance activities, unanticipated cultural resources\* are discovered, the following procedures shall be followed:

All ground disturbance activities within 100 feet of the discovered cultural resource shall be halted and the applicant shall call the County Archaeologist immediately upon discovery of the cultural resource. A meeting shall be convened between the developer, the project archaeologist\*\*, the Native American tribal representative (or other appropriate ethnic/cultural group representative), and the County Archaeologist to discuss the significance of the find. At the meeting with the aforementioned parties, a decision is to be made, with the concurrence of the County Archaeologist, as to the appropriate treatment (documentation, recovery, avoidance, etc.) for the cultural resource. Resource evaluations shall be limited to nondestructive analysis.

Further ground disturbance shall not resume within the area of the discovery until the appropriate treatment has been accomplished.

\* A cultural resource site is defined, for this condition, as being a feature and/or three or more artifacts in close association with each other.

\*\* If not already employed by the project developer, a County approved archaeologist shall be employed by the project developer to assess the significance of the cultural resource, attend the meeting described above, and continue monitoring of all future site grading activities as necessary.

Comments: RECOMMEND HThomson 09/22/2021



## ADVISORY NOTIFICATION DOCUMENT

### Transportation

#### Transportation. 1

#### RCTD-MAP - General Conditions

- The Project shall submit a preliminary soils and pavement investigation report addressing the construction requirements within the road right-of-way.
- A signing and striping plan is required for this project. The Project shall be responsible for any additional paving and/or striping removal caused by the striping plan or as approved by the Director of Transportation.
- The project shall comply with the most current ADA requirements.
- Additional information, standards, ordinances, policies, and design guidelines can be obtained from the Transportation Department Web site: <http://rctlma.org/trans/>. If you have questions, please call the Plan Check Section at (951) 955 6527.
- Improvement plans for the required improvements must be prepared and shall be based upon a design profile extending a minimum of 300 feet beyond the limit of construction at a grade and alignment as approved by the Riverside County Transportation Department. Completion of road improvements does not imply acceptance for maintenance by County. Street Improvement Plans shall comply with Ordinance 460, 461, Riverside County Improvement Plan Check Policies and Guidelines, which can be found online <http://rctlma.org/trans>.

Plan: PPT210022

Parcel: 314091005

60. Prior To Grading Permit Issuance

BS-Grade

060 - BS-Grade. 1                      CURBS ALONG PLANTERS                      Not Satisfied

Prior to issuance of a grading permit, the grading plan shall include six inch high curb with a twelve (12) inch wide walkway shall be constructed along planters on end stalls adjacent to automobile parking areas. Public parking areas shall be designed with permanent curb, bumper, or wheel stop or similar device so that a parked vehicle does not overhang required sidewalks, planters, or landscaped areas.

060 - BS-Grade. 2                      EASEMENTS/PERMISSION                      Not Satisfied

Prior to the issuance of a grading permit, it shall be the sole responsibility of the owner/applicant to obtain any and all proposed or required easements and/or permissions necessary to perform the grading herein proposed.

A notarized letter of permission and/or recorded easement from the affected property owners or easement holders shall be provided in instances where off site grading is proposed as part of the grading plan.

In instances where the grading plan proposes drainage facilities on adjacent off site property, the owner/ applicant shall provide a copy of the recorded drainage easement or copy of Final Map.

060 - BS-Grade. 3                      IF WQMP IS REQUIRED                      Not Satisfied

If a Water Quality Management Plan (WQMP) is required, the owner / applicant shall submit to the Building & Safety Department, the Final Water Quality Management Plan (WQMP) site plan for comparison to the grading plan.

060 - BS-Grade. 4                      IMPROVEMENT SECURITIES                      Not Satisfied

Prior to issuance of a Grading Permit, the applicant may be required to post a Grading and/or Erosion Control Security. Please contact the Riverside County Transportation Department for additional information and requirements.

Flood

060 - Flood. 1                      Encroachment Permit Required                      Not Satisfied

An encroachment permit shall be obtained for any work that is to be performed within the District right-of-way or involving District facilities. The encroachment permit application shall be processed and approved concurrently with the improvement plans.

060 - Flood. 2                      Mitcharge - Use                      Not Satisfied

This project is located within the limits of the Perris Valley Area Drainage Plan (ADP). The County Board of Supervisors has adopted this ADP to establish a drainage fee within the plan area.

This project may require earlier construction of downstream ADP facilities. Therefore, the District recommends that this project be required to pay a flood mitigation fee. The mitigation charge for this project shall be equal to the prevailing ADP fee rate multiplied by the area of the new development. Fees shall be paid after final approval of the staff report/conditions of approval by the Board of Supervisors and prior to issuance of permits. Drainage fees shall be paid directly to the District. Personal or corporate checks will not be accepted for payment.

060 - Flood. 3                      Phasing                      Not Satisfied

Plan: PPT210022

Parcel: 314091005

60. Prior To Grading Permit Issuance

Flood

060 - Flood. 3                      Phasing (cont.)                      Not Satisfied

If the project is built or recorded in phases, each phase must be protected from the one-percent annual chance (100-year) tributary flows and shall mitigate its water quality impacts. Additionally, the water quality features necessary to mitigate impacts associated with each phase shall be constructed. The construction of all necessary improvements along with easements and/or permission from affected property owners to safely discharge the concentrated or diverted one-percent annual chance (100-year) tributary flows of each phase shall be required prior to the issuance of permits.

Planning

060 - Planning. 1                      Construction Noise                      Not Satisfied

Grading Plans shall note that during all Project-related excavation and grading, the construction contractor(s) shall equip all construction equipment, fixed and mobile, with properly operating and maintained mufflers consistent with manufacturer standards. Grading Plans shall note that the contractor(s) shall locate equipment staging in areas that will create the greatest distance between construction-related noise/vibration sources and sensitive receptors (residences) nearest the Project site during all Project construction. Grading Plans shall note that the use of amplified music or sound is prohibited on the Project site during construction.

060 - Planning. 2                      Detention Basins                      Not Satisfied

Any aboveground detention basins on the site (including water quality management basins) shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the detention basins that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.

060 - Planning. 3                      Fee Status                      Not Satisfied

Prior to the issuance of grading permits for Plot Plan No. 210022, the Planning Department shall determine the status of the deposit based fees. If the fees are in a negative status, the permit holder shall pay the outstanding balance.

060 - Planning. 4                      SKR Fee Condition                      Not Satisfied

Prior to the issuance of a grading permit, the applicant shall comply with the provisions of Riverside County Ordinance No. 663, which generally requires the payment of the appropriate fee set forth in that ordinance. The amount of the fee required to be paid may vary depending upon a variety of factors, including the type of development application submitted and the applicability of any fee reduction or exemption provisions contained in Riverside County Ordinance No. 663. Said fee shall be calculated on the approved development project which is anticipated to be 9.81 acres (gross) in accordance with APPROVED EXHIBIT NO. A. If the development is subsequently revised, this acreage amount may be modified in order to reflect the revised development project acreage amount. In the event Riverside County Ordinance No. 663 is rescinded, this condition will no longer be applicable.

060 - Planning. 5                      Underground Utilities                      Not Satisfied

All utilities, except electrical lines rated 33 kV or greater, shall be installed underground. If the

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60. Prior To Grading Permit Issuance

Planning

060 - Planning. 5                      Underground Utilities (cont.)                      Not Satisfied  
    permittee provides to the Department of Building and Safety and the Planning Department a definitive statement from the utility provider refusing to allow underground installation of the utilities they provide, this condition shall be null and void with respect to that utility.

060 - Planning. 6                      Warehouse - Grading Plan Notes                      Not Satisfied

Prior to grading permit issuance, the following measures shall be noted on grading plans and shall be complied with during grading operations:

1. During construction of the warehouse/distribution facility, all heavy duty haul trucks accessing the site shall have CARB-Compliant 2010 engines or newer approved CARB engine standards.
2. All diesel fueled off-road construction equipment greater than 50 horsepower, including but not limited to excavators, graders, rubber-tired dozers, and similar "off-road" construction equipment shall be equipped with CARB Tier 4 Compliant engines. If the operator lacks Tier 4 equipment, and it is not available for lease or short-term rental within 50 miles of the project site, Tier 3 or cleaner off-road construction equipment may be utilized subject to County approval.
3. Construction contractors shall utilize construction equipment, with properly operating and maintained mufflers, consistent with manufacturers' standards.
4. Construction contractors shall locate or park all stationary construction equipment so that the emitted noise is directed away from sensitive receptors nearest the project site, to the extent practicable.
5. The surrounding streets shall be swept on a regular basis, to remove any construction related debris and dirt.
6. Appropriate dust control measures that meet the SCAQMD standards shall be implemented for grading and construction activity.
7. Construction equipment maintenance records and data sheets, which includes equipment design specifications and equipment emission control tier classifications, as well as any other records necessary to verify compliance with the items above, shall be kept onsite and furnished to the County upon request.
8. Construction Contractors shall prohibit truck drivers from idling more than five (5) minutes and require operators to turn off engines when not in use, in compliance with the California Air Resources Board regulations.
9. During construction, the Transportation & Land Management Agency representative shall conduct an on-site inspection with a facility representative to verify compliance with these policies, and to identify other opportunities to reduce construction impacts.
10. Facility construction shall comply with the hours of operation and exterior noise decibel levels as required by Riverside County Ordinance No. 847 ("Noise Ordinance").

Planning-CUL

060 - Planning-CUL. 1                      Native American Monitor                      Not Satisfied

Prior to the issuance of grading permits, the developer/permit applicant shall enter into agreement(s) with the consulting tribe(s) for Native American Monitor(s).  
In conjunction with the Archaeological Monitor(s), the Native American Monitor(s) shall attend the pre-grading meeting with the contractors to provide Cultural Sensitivity Training for all construction personnel. In addition, an adequate number of Native American Monitor(s) shall be on-site during all initial ground disturbing activities and excavation of each portion of the project site including clearing, grubbing, tree removals, grading and trenching. In conjunction with the Archaeological Monitor(s), the Native American Monitor(s) have the authority to temporarily divert, redirect or halt the ground disturbance activities to allow identification, evaluation, and potential recovery of cultural resources.

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60. Prior To Grading Permit Issuance

Planning-CUL

060 - Planning-CUL. 1 Native American Monitor (cont.) Not Satisfied

The developer/permit applicant shall submit a fully executed copy of the agreement(s) to the County Archaeologist to ensure compliance with this condition of approval. Upon verification, the Archaeologist shall clear this condition.

This agreement shall not modify any condition of approval or mitigation measure.

060 - Planning-CUL. 2 Project Archaeologist / Monitor Not Satisfied

Prior to issuance of grading permits: The applicant/developer shall provide evidence to the County of Riverside Planning Department that a County certified professional archaeologist (Project Archaeologist) has been contracted to implement a Cultural Resource Monitoring Program (CRMP). A Cultural Resource Monitoring Plan shall be developed in coordination with the consulting tribe(s) that addresses the details of all activities and provides procedures that must be followed in order to reduce the impacts to cultural, tribal cultural and historic resources to a level that is less than significant as well as address potential impacts to undiscovered buried archaeological resources associated with this project. A fully executed copy of the contract and a digitally-signed copy of the Monitoring Plan shall be provided to the County Archaeologist to ensure compliance with this condition of approval. Working directly under the Project Archaeologist, an adequate number of qualified Archaeological Monitors shall be present to ensure that all earth moving activities are observed and shall be on-site during all grading activities for areas to be monitored including off-site improvements. Inspections will vary based on the rate of excavation, the materials excavated, and the presence and abundance of artifacts and features.

The Professional Archaeologist may submit a detailed letter to the County of Riverside during grading requesting a modification to the monitoring program if circumstances are encountered that reduce the need for monitoring

Planning-EPD

060 - Planning-EPD. 1 0060-Burrowing Owl Preconstruction Survey - EPD Not Satisfied

Pursuant to Objectives 6 & 7 of the Species Account for the Burrowing Owl included in the Western Riverside County Multiple Species Habitat Conservation Plan (MSHCP), within 30 days prior to the issuance of a rough grading permit, a pre-construction presence/absence survey for the burrowing owl shall be conducted by a qualified biologist and the results provided in writing to the Environmental Programs Department. If it is determined that the project site is occupied by the Burrowing Owl, take of "active" nests shall be avoided pursuant to the MSHCP and the Migratory Bird Treaty Act. However, when the Burrowing Owl is present, relocation outside of the nesting season (February 1 through August 31) by a qualified biologist shall be required. The County Biologist shall be consulted to determine appropriate type of relocation (active or passive) and translocation sites. A grading permit may be issued once the species has been relocated.

When the requested documents/studies are completed and ready for EPD review, please upload them to our Secure File Transfer server to ensure prompt response and review. If you are unfamiliar with the process for uploading biological documents to the FTP site, please contact Matthew Poonamallee at mpoonama@rivco.org for instructions.

Biological reports not uploaded to the FTP site may result in delayed review and approval.

060 - Planning-EPD. 2 0060-MBTA Nesting Bird Preconstruction Survey - EPD Not Satisfied

Birds and their nests are protected by the Migratory Bird Treaty Act (MBTA) and California Department of Fish and Wildlife (CDFW) Codes. Since the project supports suitable nesting bird habitat, removal of vegetation or any other potential nesting bird habitat disturbances shall be conducted outside of the











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80. Prior To Building Permit Issuance

BS-Grade

080 - BS-Grade. 2                      ROUGH GRADE APPROVAL (cont.)                      Not Satisfied  
reports, all sites permitted for rough grade only shall provide 100 percent vegetative coverage or other means of site stabilization as approved by the County Inspector prior to receiving a rough grade permit final.

Prior to release for building permit, the applicant shall have met all rough grade requirements to obtain Building and Safety Department clearance.

E Health

080 - E Health. 1                      "First Commitment Letter" Required                      Not Satisfied  
"First Commitment Letter" from Eastern Municipal Water District (EMWD) for water and sewer service shall be required.

Fire

080 - Fire. 1                      Prior to permit - access                      Not Satisfied

Prior to building construction, fire apparatus access roads extending beyond 150 feet which have not been completed shall have a turnaround capable of accommodating fire apparatus. (CFC 503.2.5)  
- If construction is phased, each phase shall provide approved emergency vehicular access for fire protection prior to any building construction. (CFC 501.4)  
- Prior to issuance of Building Permits, an approved site plan for fire apparatus access roads and signage shall be submitted and approved by the Office of the Fire Marshal. (CFC 501.3)  
-The Fire Apparatus Access Road shall be (all weather surface) capable of sustaining an imposed load of 75,000 lbs. GVW. The fire apparatus access road or temporary access road shall be reviewed and approved by the Office of the Fire Marshal and in place during the time of construction. (CFC 501.4)  
- Fire apparatus access roads shall have an unobstructed width of not less than twenty-four (24) feet as approved by the Office of the Fire Marshal and an unobstructed vertical clearance of not less the thirteen (13) feet six (6) inches.

080 - Fire. 2                      Prior to permit - water                      Not Satisfied

Minimum fire flow for the construction of all commercial buildings is required per CFC Appendix B and Table B105.1. Prior to building permit issuance, the applicant/developer shall provide documentation to show there exists a water system capable of delivering the fire flow based on the information given. Per this submittal the minimum fire flow will be 3000 gpm at 20 psi for 3 hours. Subsequent design changes may increase or decrease the required fire flow.  
- Prior to issuance of Building Permits, the applicant/developer shall furnish one copy of the water system plans to the Office of the Fire Marshal for review and approval.  
The required water system, including fire hydrants, shall be installed, made serviceable, and be accepted by the Office of the Fire Marshal prior to beginning construction. They shall be maintained accessible.  
- Existing fire hydrants on public streets are allowed to be considered available. Existing fire hydrants on adjacent properties shall not be considered available unless fire apparatus access roads extend between properties and easements are established to prevent obstruction of such roads. (CFC 507, 501.3)

Flood

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80. Prior To Building Permit Issuance

Flood

080 - Flood. 1                      Encroachment Permit Required                      Not Satisfied

An encroachment permit shall be obtained for any work that is to be performed within the District right-of-way or involving District facilities. The encroachment permit application shall be processed and approved concurrently with the improvement plans.

080 - Flood. 2                      Mitcharge - Use                      Not Satisfied

This project is located within the limits of the Perris Valley Area Drainage Plan (ADP). The County Board of Supervisors has adopted this ADP to establish a drainage fee within the plan area pursuant to Ordinance No. 460 Section 10.25.

This project may require earlier construction of downstream ADP facilities. Therefore, the District recommends that this project be required to pay a flood mitigation fee. The mitigation charge for this project shall be equal to the prevailing ADP fee rate multiplied by the area of the new development. The charge is payable to the Flood Control District, and shall be paid after final approval of the staff report/conditions of approval by the Board of Supervisors and prior to issuance of permits. Personal or corporate checks will not be accepted for payment.

Planning

080 - Planning. 1                      CALGreen Compliance                      Not Satisfied

The project is required to comply with the CalGreen Building Code as included in the County Code to ensure efficient use of energy. CalGreen specifications are required to be incorporated into building plans as a condition of building permit approval.

080 - Planning. 2                      Contribution to Val Verde USD                      Not Satisfied

The applicant shall make a contribution to Val Verde Unified School District to address Environmental Justice Polices as they relate to the Mead Valley community.

080 - Planning. 3                      Gen - Mead Valley Community Contribution                      Not Satisfied

The project site is within an area identified as an Environmental Justice Community (General Plan Land Use Element Figure LU 4-1, September 21, 2021). As such, the project developer will agrees to voluntarily contribute \$10,000 per truck dock in order to provide additional community enhancements within the Mead Valley area. The proposed project has 32 truck docks; therefore, the total contribution amount that will be \$320,000. The contribution will be utilized to help achieve the overarching goals of the General Plan Healthy Communities Element policies, such as developing high quality parks and green space; recreational trail development; and other community public facility enhancements. (See General Plan Healthy Communities Element policies HC 19.2, 19.6, 19.7, and 20.1). Contributions made for new bus shelters in Mead Valley and to the Val Verde Unified School District for a community garden project shall be applied toward the \$320,000 contribution amount.

080 - Planning. 4                      Lighting Plans                      Not Satisfied

All parking lot lights and other outdoor lighting shall be hooded and directed so as not to shine directly upon adjoining property or public rights-of-way, and shall be shown on electrical plans submitted to the Department of Building and Safety for plan check approval and shall comply with the requirements of Riverside County Ordinance No. 655 and the Riverside County Comprehensive General Plan.

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80. Prior To Building Permit Issuance

Planning

080 - Planning. 5                      Outdoor Lighting                      Not Satisfied

All outdoor luminaires in shall be appropriately located and adequately shielded and directed such that no direct light falls outside the parcel of origin, or onto the public right-of-way. In addition, outdoor luminaires shall not blink, flash, or rotate and shall be shown on electrical plans submitted to the Department of Building and Safety for plan check approval and shall comply with the requirements of Riverside County Ordinance No. 915.

080 - Planning. 6                      School Mitigation                      Not Satisfied

Impacts to the Val Verde Unified School District shall be mitigated in accordance with California State Law

Survey

080 - Survey. 1                      RCTD-USE - Dedication                      Not Satisfied

Sufficient public street right-of-way along Seaton Avenue on the project side shall be conveyed for public use to provide for a 50-foot half-width right-of-way per Standard No. 94, Ordinance 461.

Sufficient public street right-of-way along Beck Street on the project side shall be conveyed for public use to provide for a 30-foot half-width right-of-way per Standard No. 105, Section D, Ordinance 461.

080 - Survey. 2                      RCTD-USE - Storm Drain Easement                      Not Satisfied

Drainage easement for Riverside County Transportation Department for the purpose of accessing the proposed-privately maintained 36" RCP within the project site. Drainage easement width per Riverside County Flood Control and Water Conservation District requirements.

080 - Survey. 3                      RCTD-USE - Survey Monument                      Not Satisfied

Prior to construction, if survey monuments including centerline monuments, tie points, property corners and benchmarks found it shall be located and tied out and corner records filed with the County Surveyor pursuant to Section 8771 of the Business & Professions Code. Survey points destroyed during construction shall be reset, and a second corner record filed for those points prior to completion and acceptance of the improvements.

Transportation

080 - Transportation. 1                      80 - TRANSPORTATION - Landscape Common Area CCRs                      Not Satisfied

Landscape Common Area CCRs

The developer/ permit holder shall:

Prior to map recordation, the developer/permit holder shall submit Covenants, Conditions, and Restrictions (CC&R) to the Riverside County Counsel for review along with the required fees set forth by the Riverside County Fee Schedule.

For purposes of landscaping and maintenance, the following minimum elements shall be incorporated into the CC&R's:

1) Permanent public, quasi-public or private maintenance organization shall be established for proper management of the water efficient landscape and irrigation systems. Any agreements with the

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80. Prior To Building Permit Issuance

Transportation

080 - Transportation. 1            80 - TRANSPORTATION - Landscape Common Area CCRs ( Not Satisfied  
maintenance organization shall stipulate that maintenance of landscaped areas will occur in  
accordance with Ordinance No. 859 (as adopted and any amendments thereto) and the County of  
Riverside Guide to California Friendly Landscaping.

2) The CC&R's shall prohibit the use of water-intensive landscaping and require the use of low water  
use landscaping pursuant to the provisions of Ordinance No. 859 (as adopted and any amendments  
thereto).

3) The common maintenance areas shall include all those identified on the approved landscape  
maintenance exhibit.

The Transportation Department, Landscape Section shall clear this condition once a copy of the  
County Counsel approved CC&R's has been submitted to the Transportation Department, Landscape  
Section.

080 - Transportation. 2            80 - TRANSPORTATION - Landscape Inspection Deposit Re    Not Satisfied  
Landscape Inspection Deposit Required

This condition applies to both onsite and offsite (ROW) landscaping:

The developer/ permit holder shall:

Prior to building permit issuance, the developer/permit holder shall verify all plan check fees have  
been paid and deposit sufficient funds to cover the costs of the required landscape inspections  
associated with the approved landscape plans. The deposit required for landscape inspections shall  
be determined by the Transportation Department, Landscape Section. The Transportation  
Department, Landscape Section shall clear this condition upon determination of compliance.

080 - Transportation. 3            80 - TRANSPORTATION - Landscape Plot Plan/Permit Requ    Not Satisfied  
Landscape Plot Plan/Permit Required

This condition applies to both onsite and offsite (ROW) landscaping:

The developer/ permit holder shall:

Prior to issuance of building permits, the developer/permit holder shall apply for a Plot Plan  
(Administrative/PPA) Landscape Permit (LSP) or Landscape Plot Plan (LPP) from TLMA Land Use  
along with applicable deposit (plan check and inspection are DBF fees).

Provide construction level landscape plans in PDF (all sheets compiled in 1 PDF file), along with an  
electronic transmittal memo in PDF (include Owner contact, Developer, if not the same as the owner,  
Project manager, person or persons most likely to inquire about the status of the plans, Landscape  
Architect, Principal or LA signing the plans, Landscape Architect, Project Manager, person  
responsible for making the corrections, if different from above), and a current set of grading plans in  
PDF, and submit all three PDF files on a CD (compact Disc) with application. The landscape plans  
shall be prepared in a professional manner by a California Licensed/Registered Landscape Architect  
and signed/stamped by such.

Drawings shall be completed on County standard Transportation Department title block, plan sheet

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80. Prior To Building Permit Issuance

Transportation

080 - Transportation. 3            80 - TRANSPORTATION - Landscape Plot Plan/Permit Requ    Not Satisfied  
format (24 inch x 36 inch), 1:20 scale, north arrow, limit of work lines, hardscape features, graphic  
scale, and street names, etc. The landscaping plans shall be in conformance with the APPROVED  
EXHIBITS; in compliance with Ordinance No. 348, Section 18.12; Ordinance No. 859; and, be  
prepared consistent with the County of Riverside Guide to California Friendly Landscaping. At  
minimum, plans shall include the following components:

- 1) Landscape and irrigation working drawings (stamped) by a California certified/registered landscape architect;
- 2) Weather-based controllers and necessary components to eliminate water waste;
- 3) A copy of the (stamped) approved grading plans; and,
- 4) Emphasis on native and drought tolerant species.

When applicable, plans shall include the following components:

- 1) Identification of all common/open space areas;
- 2) Natural open space areas and those regulated/conserved by the prevailing MSHCP and or ALUC;
- 3) Shading plans for projects that include parking lots/areas;
- 4) The use of canopy trees (24 inch box or greater) within the parking areas;
- 5) Landscaping plans for slopes exceeding 3 feet in height;
- 6) Landscaping and irrigation plans associated with entry monuments. All monument locations shall be located outside of the ROW and dimensions shall be provided on the plan; and/or,
- 7) If this is a phased development, then a copy of the approved phasing plan shall be submitted for reference.

Please reference Landscape Plan Checklists available online at RCTLMA.org.

NOTE: When the Landscaping Plot Plan is located within a special district such as LMD/CSA/CFD or Valleywide, the developer/permit holder shall submit plans for review to the appropriate special district for simultaneous review. The permit holder shall show evidence to the Transportation Department, Landscape Section that the subject district has approved said plans. Water Districts such as CVWD, TVWD, and EMWD may be required to approve plans prior to County approval.

Upon verification of compliance with this condition and the APPROVED EXHIBITS, the Transportation Department, Landscape Section shall clear this condition.

080 - Transportation. 4            80 - TRANSPORTATION - Landscape Project Specific Requi    Not Satisfied  
Landscape Project Specific Requirements

This condition applies to both onsite and offsite (ROW) landscaping:

The developer/ permit holder shall:

In addition to the requirements of the Landscape and Irrigation Plan submittal, the following project specific conditions shall be imposed:

- a. Landscape screening located from (Beck Street & Donna Lane) to (Markham Lane & Seaton Avenue) shall be designed to ensure full, opaque, coverage up to a minimum height of (20) feet at maturity except that planting within ten feet of an entry or exit driveway shall not be permitted to grow higher than eighteen (18) inches and no trees shall be planted within ten (10) feet of driveways, alleys,

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80. Prior To Building Permit Issuance

Transportation

080 - Transportation. 4 80 - TRANSPORTATION - Landscape Project Specific Requi Not Satisfied  
or street intersections.

b. Project shall comply with the latest version of Ord. 859 ETo of .45, for commercial applications, .50 ETo for residential, or .70 ETo for recycled water uses. Project shall comply with the latest State Model Water Efficient Landscape Ordinance. Project shall comply with the local servicing water purveyor/district/company landscape requirements including those related to recycled water.

c. Project proponent shall design overhead irrigation with a minimum 24 inch offset from non-permeable surfaces, even if that surface drains into a permeable area.

d. Landscaping plans shall incorporate the use of specimen (24 inch box or greater) canopy trees. All trees and shrubs shall be drawn to reflect the average specimen size at 15 years of age. All trees shall be double or triple staked and secured with non-wire ties.

e. Project shall prepare water use calculations as outlined in Ord 859.3.

f. Trees shall be hydrozoned separately.

g. Irrigation shall be designed using hydrozones by plant water type, irrigation type, and flat/sloped areas.

h. The developer/ permit holder/landowner shall use the County of Riverside's California Friendly Plant List when making plant selections. Use of plant material with a LOW or VERY LOW water use designation is strongly encouraged.

i. All plant materials within landscaped areas shall be maintained in a viable growth condition throughout the useful plant life, and replaced with an equal or lessor water use plant.

j. Project shall use County standard details for which the application is available in County Standard Detail Format.

k. Monuments, boulders, and fan palms shall be located outside the County Maintained Road Right-of-Way (ROW).

l. Restricted plant species noted in MSHCP documents shall not be used if MSHCP areas are adjacent to the project.

m. Plant species shall meet ALUC requirements, if applicable.

n. Hydroseeding is not permitted in stormwater BMP slope areas, container stock will be required on slopes. Trees must be located to avoid drainage swales and drain, utility, leach, etc. lines and structures.

o. Landscape and irrigation plans must meet erosion control requirements of Ordinance 457.

p. Project shall use (25) Percent point source irrigation type regardless of meeting the water budget with alternative irrigation methods, except as needed within stormwater BMP areas as noted in an approved WQMP document. Point source is defined as one emitter (or two) located at each plant.

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80. Prior To Building Permit Issuance

Transportation

080 - Transportation. 4            80 - TRANSPORTATION - Landscape Project Specific Requi    Not Satisfied  
In-line emitter tubing is not defined as point source for the purpose of this requirement.

q. Typical Front Yard landscaping plans (construction document level package) shall be submitted to Transportation Department for approval. Front yards shall not have turf lawns.

r. Common areas and open space landscaping plans (construction document level package) shall be submitted to Transportation Department for approval.

s. The project proponent or current property owner shall connect to a reclaimed water supply for landscape watering purposes when secondary or reclaimed water is made available to the site.

t. Project shall install purple/reclaimed/recycled components as deemed necessary and as determined by the County and/or water district.

u. Project proponent shall provide 12 inch wide concrete maintenance walkway on planter islands adjacent to parking spaces. Concrete maintenance walkway shall be shown on landscape and grading plans, typical.

080 - Transportation. 5            RCTD-USE - Annexation into L&LMD or Other District            Not Satisfied

Prior to the issuance of a building permit, the project proponent shall comply with County requirements within public road rights-of-way, in accordance with Ordinance 461. Assurance of maintenance is required by filing an application for annexation to Landscaping and Lighting Maintenance District No. 89-1-Consolidated by contacting the Transportation Department at (951) 955-6767, and/or any other maintenance district approved by the Transportation Department or by processing and filing a 'Landscape Maintenance Agreement' through the Transportation Department Plan Check Division. Said annexation should include the following:

- (1) Landscaping
- (2) Graffiti abatement of walls and other permanent structure.
- (3) Street sweeping.
- (4) Street light

080 - Transportation. 6            RCTD-USE - Coordination with Others            Not Satisfied

Approval of the Street Improvement plans by the Transportation Department will clear this condition. The Project shall comply with recommendations from the following:

- Coordinate with TPM38147

080 - Transportation. 7            RCTD-USE - Landscaping Design Plans            Not Satisfied

Landscaping within public road right of-way shall comply with Transportation Department standards, Ordinance 461, Comprehensive Landscaping Guidelines & Standards, and Ordinance 859 and shall require approval by the Transportation Department.

Landscaping plans shall be designed within the streets associated with the development and submitted to the Transportation Department. Landscaping Plans shall be submitted on standard County format (24" x 36"). Landscaping plans shall be included with the street improvement plans.



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80. Prior To Building Permit Issuance

Transportation

080 - Transportation. 8 RCTD-USE - Lighting Plan Not Satisfied

A separate street light plan shall be approved by the Transportation Department. Street lighting shall be designed in accordance with County Ordinance 460 and Streetlight Specification Chart found in Specification Section 22 of Ordinance 461. For projects within SCE boundaries use County of Riverside Ordinance 461, Standard No. 1000 or No. 1001.

080 - Transportation. 9 RCTD-USE - Utility Plan Not Satisfied

Electrical power, telephone, communication, street lighting, and cable television lines shall be designed to be placed underground in accordance with Ordinance 460 and 461, or as approved by the Transportation Department. The applicant is responsible for coordinating the work with the serving utility company. This also applies to existing overhead lines which are 33.6 kilovolts or below along the project frontage and between the nearest poles offsite in each direction of the project site. A disposition note describing the above shall be reflected on design improvement plans whenever those plans are required. A written proof for initiating the design and/or application of the relocation issued by the utility company shall be submitted to the Transportation Department for verification purposes.

080 - Transportation. 10 RCTD-USE-WQ - ESTABLISH WQMP MAINT ENTITY Not Satisfied

A maintenance plan and signed WQMP/BMP maintenance agreement shall be submitted to the Transportation Department shall be approved and recorded against the property. A maintenance organization will be established with a funding source for the permanent maintenance.

080 - Transportation. 11 RCTD-USE-WQ - IMPLEMENT WQMP Not Satisfied

The Project shall construct BMP facilities described in the approved Final County WQMP prior to the issuance of a building permit to the satisfaction of County Grading Inspection Section. The Project is responsible for performing all activities described in the County WQMP and that copies of the approved Final County WQMP are provided to future owners/occupants.

Waste Resources

080 - Waste Resources. 1 Waste - Recyclables Collection and Loading Area Not Satisfied

Prior to issuance of a building permit, the applicant shall submit one electronic (1) copy of a Recyclables Collection and Loading Area plot plan to the Riverside County Department of Waste Resources for review and approval to [WastePlanning@rivco.org](mailto:WastePlanning@rivco.org). The plot plan shall conform to Design Guidelines for Recyclables Collection and Loading Areas, provided by the Department of Waste Resources (found at <http://www.rcwaste.org/business/planning/design>) and shall show the location of and access to the collection area for recyclable materials, shall demonstrate space allocation for trash and recyclable materials and have the adequate signage indicating the location of each bin in the trash enclosure. The project applicant is advised that clearance of the Recyclables Collection and Loading Area plot plan only satisfies the Waste Resources' conditions for Recyclables Collection and Loading Areas space allocation and other Recyclables Collection and Loading Area Guideline items. Detailed drawings of the Trash Enclosure and its particular construction details, e.g., building materials, location, construction methods etc., should be included as part of the Project plan submittal to the Riverside County Department of Building and Safety.

080 - Waste Resources. 2 Waste Recycling Plan Not Satisfied

Prior to issuance of a building permit, a Waste Recycling Plan (WRP) shall be submitted to the

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80. Prior To Building Permit Issuance

Waste Resources

080 - Waste Resources. 2 Waste Recycling Plan (cont.) Not Satisfied

Riverside County Department of Waste Resources for approval. At a minimum, the WRP must identify the materials (i.e., concrete, asphalt, wood, etc.) that will be generated by construction and development, the projected amounts, the measures/methods that will be taken to recycle, reuse, and/or reduce the amount of materials, the facilities and/or haulers that will be utilized, and the targeted recycling or reduction rate. During project construction, the project site shall have, at a minimum, two (2) bins: one for waste disposal and the other for the recycling of Construction and Demolition (C&D) materials. Additional bins are encouraged to be used for further source separation of C&D recyclable materials. Accurate record keeping (receipts) for recycling of C&D recyclable materials and solid waste disposal must be kept. Arrangements can be made through the franchise hauler.

90. Prior to Building Final Inspection

BS-Grade

090 - BS-Grade. 1 CURBS ALONG PLANTERS Not Satisfied

A six inch high curb with a twelve (12) inch wide walkway shall be constructed along planters on end stalls adjacent to automobile parking areas. Public parking areas shall be designed with permanent curb, bumper, or wheel stop or similar device so that a parked vehicle does not overhang required sidewalks, planters, or landscaped areas.

090 - BS-Grade. 2 PRECISE GRADE APPROVAL Not Satisfied

Prior to final building inspection, the applicant shall obtain precise grade approval and/or clearance from the Building and Safety Department. The Building and Safety Department must approve the precise grading of your project before a building final can be obtained. Precise Grade approval can be accomplished by complying with the following:

1. Requesting and obtaining approval of all required grading inspections.
2. Submitting a "Wet Signed" copy of the Grading Report from the Soils Engineer (registered geologist or certified geologist, civil engineer or geotechnical engineer as appropriate) for the sub-grade and base of all paved areas.
3. Submitting a "Wet Signed" copy of the Sub-grade (rough) Certification from a Registered Civil Engineer certifying that the sub-grade was completed in conformance with the approved grading plan.
4. Submitting a "Wet Signed" copy of the Precise (Final) Grade Certification for the entire site from a Registered Civil Engineer certifying that the precise grading was completed in conformance with the approved grading plan.

Prior to release for building final, the applicant shall have met all precise grade requirements to obtain Building and Safety Department clearance.

E Health

090 - E Health. 1 Hazmat BUS Plan Not Satisfied

The facility will require a business emergency plan for the storage of hazardous materials greater than 55 gallons, 200 cubic feet or 500 pounds, or any acutely hazardous materials or extremely hazardous substances.

Planning

090 - Planning. 1 Bus Shelters Not Satisfied

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90. Prior to Building Final Inspection

Planning

090 - Planning. 1                      Bus Shelters (cont.)                      Not Satisfied

Prior to certificate of occupancy the applicant shall purchase and install four (4) bus shelters as part of the project's contribution to address Environmental Justice for the Mead Valley community.

090 - Planning. 2                      ORD No. 659 (DIF)                      Not Satisfied

Prior to the issuance of either a certificate of occupancy or prior to building permit final inspection, the applicant shall comply with the provisions of Riverside County Ordinance No. 659, which requires the payment of the appropriate fee set forth in the Ordinance. Riverside County Ordinance No. 659 has been established to set forth policies, regulations and fees related to the funding and installation of facilities and the acquisition of open space and habitat necessary to address the direct and cumulative environmental effects generated by new development project described and defined in this Ordinance, and it establishes the authorized uses of the fees collected.

The amount of the fee for commercial or industrial development shall be calculated on the basis of the "Project Area," as defined in the Ordinance, which shall mean the net area, measured in acres, from the adjacent road right-of-way to the limits of the project development. The Project Area for Plot Plan No. 210022 has been calculated to be approximately 9.428 net acres.

090 - Planning. 3                      ORD No. 810 Open Space Fee                      Not Satisfied

Prior to the issuance of a certificate of occupancy, or upon building permit final inspection prior to use or occupancy for cases without final inspection or certificate of occupancy (such as an SMP), whichever comes first, the applicant shall comply with the provisions of Riverside County Ordinance No. 810, which requires the payment of the appropriate fee set forth in the Ordinance. The amount of the fee will be based on the "Project Area" as defined in the Ordinance and the aforementioned Condition of Approval. The Project Area for Plot Plan No. 210022 is calculated to be approximately 9.81 gross acre site.

090 - Planning. 4                      Utilities Underground                      Not Satisfied

All utilities, except electrical lines rated 33 kV or greater, shall be installed underground unless the permittee provides to the Department of Building and Safety and the Planning Department a definitive statement from the utility provider refusing to allow underground installation of the utilities they provide, this condition shall be null and void with respect to that utility.

090 - Planning. 5                      Warehouse - Signs                      Not Satisfied

Prior to Final Inspection, the following measures shall be implemented:

1. Signs should be posted in the appropriate locations that trucks should not idle for more than five (5) minutes and that truck drivers should turn off their engines when not in use.
2. Signs should be posted in the appropriate locations that clearly show the designated entry and exit points for trucks and service vehicles.
3. Signs should be posted in the appropriate locations that state parking and maintenance of all trucks is to be conducted within designated areas and not within the surrounding community or on public streets.
4. Signs should be posted in the appropriate locations and/or handouts should be provided that show the locations of nearest food options, fueling, truck maintenance services, and other similar convenience services, if these services are not available onsite.
5. Each Facility shall designate a Compliance Officer responsible for implementing the measures described herein and/or in the project conditions of approval and mitigation measures. Contact

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90. Prior to Building Final Inspection

Planning

090 - Planning. 5 Warehouse - Signs (cont.) Not Satisfied

information should be provided to the County and updated annually, and signs should be posted in visible locations providing the contact information for the Compliance Officer to the surrounding community. These signs shall also identify the website and contact information for the South Coast Air Quality Management District.

6. Signs shall be posted in accordance with Ordinance No. 348, which may be amended from time to time.

Transportation

090 - Transportation. 1 90 - TRANSPORTATION - Landscape Inspection and Drought Not Satisfied

Landscape Inspection and Drought Compliance

This condition applies to both onsite and offsite (ROW) landscaping:

The developer/ permit holder shall:

The developer/permit holder shall coordinate with their designated landscape representative and the Transportation Department landscape inspector to ensure all landscape planting and irrigation systems have been installed in accordance with APPROVED EXHIBITS, landscaping, irrigation, and shading plans. The Transportation Department will ensure that all landscaping is healthy, free of weeds, disease and pests; and, irrigation systems are properly constructed and determined to be in good working order. The developer/permit holder's designated landscape representative and the Transportation Department landscape inspector shall determine compliance with this condition and execute a Landscape Certificate of Completion. All landscape inspection deposits and plan check fees shall be paid.

Upon determination of compliance, the Transportation Department, Landscape Section shall clear this condition.

090 - Transportation. 2 RCTD-USE - Complete Annexation into L&LMD or Other Dist Not Satisfied

Prior to issuance of an occupancy permit, the project proponent shall complete annexation to Landscaping and Lighting Maintenance District No. 89-1-Consolidated, and/or any other maintenance district approved by the Transportation Department or by processing and filing a 'Landscape Maintenance Agreement' through the Transportation Department Plan Check Division for continuous maintenance within public road rights-of-way, in accordance with Ordinance 461, Comprehensive Landscaping Guidelines & Standards, and Ordinance 859.

090 - Transportation. 3 RCTD-USE - Existing County Maintained Road Not Satisfied

Seaton Avenue is a paved County maintained road designated as a Secondary Highway per standard no. 94 and shall be improved along the project boundaries with 32' half-width AC pavement, and reconstruction or resurfacing of existing paving as determine by the Director of Transportation, within the 50' half width dedicated right of way as follows:

1. 6" Curb & Gutter at 32' from centerline.
2. 5' wide sidewalk within the parkway, at 9' from the curb face and 4' from the Right of Way line.

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90. Prior to Building Final Inspection

Transportation

090 - Transportation. 3 RCTD-USE - Existing County Maintained Road (cont.) Not Satisfied

3. North commercial driveway for passenger car traffic usage per Standard No. 207A
4. South commercial driveway for both passenger car and truck traffic usage per Standard No. 207A
5. A northbound left-turn pocket shall be provided on Seaton Avenue at the approach to the south commercial driveway. Appropriate transition tapers shall be provided for northbound and southbound traffic.
6. In the event Perry Street is improved with at least 2-lanes between Seaton Avenue and Harvill Avenue, the following shall be provided: At the approach to Perry Street, a southbound left-turn pocket shall be provided on Seaton Avenue. Appropriate transition tapers shall be provided for northbound and southbound traffic.

or as approved by the Director of Transportation.

Before the street improvement plan(s) are prepared, please review the Street Improvement Plan Policies and Guidelines from the Transportation Department Web site:  
<http://rctlma.org/trans/General-Information/Pamphlets-Brochures>

090 - Transportation. 4 RCTD-USE - Fee Payment Not Satisfied

Prior to the time of issuance of a Certificate of Occupancy or upon final inspection, whichever occurs first, the Project shall pay fees in accordance with the fee schedule in effect at the time of payment:

- All Transportation Uniform Mitigation Fees (TUMF) in accordance with Ordinance 824.

090 - Transportation. 5 RCTD-USE - Improvements Not Satisfied

Beck Street is a Non County road and sufficient public street right-of-way along Beck Street on the project side shall be conveyed for public use to provide for a 30-foot half-width right-of-way per Standard No. 105, Section D, Ordinance No. 461.

NOTE: The applicant may elect to pay cash-in-lieu of constructing the improvements per Std. No. 105, Section D, Ordinance No. 461.

The applicant shall provide the following drainage improvements to accept offsite stormwater flow (Q100 year) within the Beck Street 30-foot half-width right of way, on the project side:

1. Re-grade area to drain to a low point and provide drain inlet to accept the offsite 100 year flowrate.
2. Provide drain inlet Type IX or Type X per Standards No. CB107 or CB108.
3. Provide a storm drain lateral pipe.
4. Provide a storm drain main, 36" RCP per Lateral F-1 in the Perris Valley area drainage plan. Provide a stub out and install concrete bulkhead per standard M816 for future connection.
5. Provide a storm drain manhole at the Right of Way for future change of maintenance.

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90. Prior to Building Final Inspection

Transportation

090 - Transportation. 5 RCTD-USE - Improvements (cont.) Not Satisfied

6. Provide an emergency outlet for the offsite stormwater runoff.

7. Drainage facilities will be maintained by the owner. In the event, the maintenance crew can not access these drainage facilities from Beck St, the owner will provide an alternative access path and gate within the project site.

Or as approved by the Director of Transportation.

090 - Transportation. 6 RCTD-USE - Landscaping Installation Completion Not Satisfied

Landscaping within public road right-of-way shall comply with Transportation Department standards and Ordinance 461 and shall require approval by the Transportation Department. Landscaping shall be improved along the streets associated with this development.

090 - Transportation. 7 RCTD-USE - Utility Install Not Satisfied

Electrical power, telephone, communication, street lighting, and cable television lines shall be installed underground in accordance with Ordinance 460 and 461, or as approved by the Transportation Department. This also applies to all overhead lines below 34 kilovolts along the project frontage and all offsite overhead lines in each direction of the project site to the nearest offsite pole. A certificate should be obtained from the pertinent utility company and submitted to the Department of Transportation as proof of completion for clearance.

In addition, the Project shall ensure that streetlights are energized and operational along the streets of those lots where the Project is seeking Building Final Inspection (Occupancy).

090 - Transportation. 8 RCTD-USE-WQ - WQMP COMPLETION Not Satisfied

Prior to Building Final Inspection, the Project is required to furnish educational materials regarding water quality to future owners/occupants, provide an engineered WQMP certification, inspection of BMPs, GPS location of BMPs, ensure that the requirements for inspection and cleaning the BMPs are established, and for businesses registering BMPs with the Transportation Department's Business Storm Water Compliance Program Section.

Waste Resources

090 - Waste Resources. 1 Waste - Mandatory Commercial and Organics Recycling Com Not Satisfied

Prior to final inspection, the applicant shall complete a Mandatory Commercial Recycling and Organics Recycling Compliance form (Form D). Form D requires applicants to identify programs or plans that address commercial and organics recycling, in compliance with State legislation/regulation. Once completed, Form D shall be submitted to the Recycling Section of the Department of Waste Resources for approval. For more information go to: [www.rcwaste.org/business/planning/applications](http://www.rcwaste.org/business/planning/applications). To obtain Form D, please contact the Recycling Section at 951-486-3200, or email to: [Waste-CompostingRecycling@rivco.org](mailto:Waste-CompostingRecycling@rivco.org).

090 - Waste Resources. 2 Waste Reporting Form and Receipts Not Satisfied

Prior to final building inspection, evidence (i.e., waste reporting form along with receipts or other types of verification) to demonstrate project compliance with the approved Waste Recycling Plan (WRP)

03/30/22  
16:50

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90. Prior to Building Final Inspection

Waste Resources

090 - Waste Resources. 2 Waste Reporting Form and Receipts (cont.) Not Satisfied  
shall be presented by the project proponent to the Planning Division of the Riverside County  
Department of Waste Resources. Receipts must clearly identify the amount of waste disposed and  
Construction and Demolition (C&D) materials recycled.

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50. Prior To Map Recordation

Fire

050 - Fire. 1                      Fire - Prior to recordation                      Not Satisfied

ECS map must be stamped by the Riverside County Surveyor with the following note: The applicant or developer shall provide written certification from the appropriate water company that the required fire hydrants are either existing or that financial arrangements have been made to provide them.

050 - Fire. 2                      Fire - Prior to recordation                      Not Satisfied

ECS map must be stamped by the Riverside County Surveyor with the following note: The required water system, including fire hydrants, shall be installed and accepted by the appropriate water agency prior to any combustible building material placed on an individual lot.

050 - Fire. 3                      Fire - Prior to recordation                      Not Satisfied

ECS map must be stamped by the Riverside County Surveyor with the following note: In the interest of Public Safety, the project shall provide an Alternate or Secondary Access(s). Said Alternate or Secondary Access(s) shall have concurrence and approval of both the Transportation Department and the Riverside County Fire Department. (Riverside County Ordinance 460 and California Fire Code 503.1.2)

050 - Fire. 4                      Fire - Prior to recordation                      Not Satisfied

ECS map must be stamped by the Riverside County Surveyor with the following note: Emergency vehicle access shall be provided in accordance with the California Fire Code and Riverside County Fire Department standards.

050 - Fire. 5                      Fire - Prior to recordation                      Not Satisfied

ECS map must be stamped by the Riverside County Surveyor with the following note: All buildings shall be constructed with Class B material as per the California Building Code.

Flood

050 - Flood. 1                      ADP Fee Notice                      Not Satisfied

A notice of drainage fees shall be placed on the Environmental Constraint Sheet and Final Map. The exact wording of the note shall be as follows:

NOTICE OF DRAINAGE FEES

"Notice is hereby given that this property is located in the Perris Valley Area Drainage Plan which was adopted by the Board of Supervisors of the County of Riverside pursuant to Section 10.25 of Ordinance No. 460 and Section 66483, et seq, of the Government Code and that said property is subject to fees for said drainage area. Notice is further given that, pursuant to Section 10.25 of Ordinance No. 460, payment of the drainage fees shall be paid to the Riverside County Flood Control



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50. Prior To Map Recordation

Flood

050 - Flood. 1 ADP Fee Notice (cont.) Not Satisfied

and Water Conservation District at the time of issuance of the grading or building permit for said parcels, whichever occurs first, and that the owner of each parcel, at the time of issuance of either the grading or building permit, shall pay the fee required at the rate in effect at the time of issuance of the actual permit."

050 - Flood. 2 Encroachment Permit Required Not Satisfied

An encroachment permit shall be obtained for any work that is to be performed within the District right-of-way or involving District facilities. The encroachment permit application shall be processed and approved concurrently with the improvement plans.

050 - Flood. 3 On-site Drainage Easement Not Satisfied

Onsite drainage facilities located outside of road right-of-way shall be contained within drainage easements shown on the Final Map. A note shall be added to the Final Map stating: "Drainage easements shall be kept free of all buildings and obstructions."

050 - Flood. 4 Phasing Not Satisfied

If the project is built or recorded in phases, each phase must be protected from the one-percent annual chance (100-year) tributary flows and shall mitigate its water quality impacts. Additionally, the water quality features necessary to mitigate impacts associated with each phase shall be constructed. The construction of all necessary improvements along with easements and/or permission from affected property owners to safely discharge the concentrated or diverted one-percent annual chance (100-year) tributary flows of each phase shall be required prior to recordation of the Final Map.

050 - Flood. 5 Submit ECS & Final Map Not Satisfied

A copy of the Environmental Constraint Sheet and the Final Map shall be submitted to the District for review and approval. All submittals shall be date stamped by the engineer and include a completed Flood Control Deposit Based Fee Worksheet and the appropriate plan check fee deposit.

Planning

050 - Planning. 1 Map - CC&R Reciprocal Easement Not Satisfied

"\*The land divider shall notify the Planning Department that the following documents shall be submitted to the Office of the County Counsel and submit said documents for review along with the current fee, which documents shall be subject to County Counsel approval:

1. A cover letter identifying the project for which approval is sought referencing the Planning Department case number;
2. A copy AND an original wet signed, notarized grant of reciprocal easement document, which includes, but is not necessarily limited to, both a legal description of the boundaries of the reciprocal easement and a scaled map or diagram of such boundaries, both signed and stamped by a California registered civil engineer or licensed land surveyor;
3. A sample document conveying title to the purchaser of an individual lot or unit which provides that the grant of reciprocal easement is incorporated therein by reference; and
4. A deposit equaling three (3) hours at the current hourly rate for the Review of Covenants, Conditions and Restrictions as established pursuant to Ordinance No. 671 at the time the above

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50. Prior To Map Recordation

Planning

050 - Planning. 1                      Map - CC&R Reciprocal Easement (cont.)                      Not Satisfied  
documents are submitted for review by the Office of the County Counsel.

The grant of reciprocal easement document submitted for review shall (a) provide for no limit to the term of years or life of the reciprocal easement, (b) provide reciprocal easements for ingress and egress, parking, drainage and flood control facilities between parcels shown on the TENTATIVE MAP property known as Parcels 1-2, and (c) contain the following provisions verbatim:

"Notwithstanding any provision in this Grant of Reciprocal Easement to the contrary, the following provision shall apply:

This Grant of Reciprocal Easement shall not be terminated, 'substantially' amended, or property deannexed therefrom absent the prior written consent of the Planning Director of the County of Riverside, or the County's successor-in-interest. A proposed amendment shall be considered 'substantial' if it affects the extent, usage or maintenance of the reciprocal easement established pursuant to the Grant of Reciprocal Easement." Once approved by the Office of the County Counsel, the copy and the original grant of reciprocal easement document shall be forwarded to the Planning Department. The Planning Department shall keep the copy for the case file and forward the original document to the Transportation Department-Survey Division-for safe keeping until the final map is ready to record. The Transportation Department-Survey Division-shall record the original grant of reciprocal easement document in conjunction with the recordation of the final map.

050 - Planning. 2                      Map - ECS Note-Mt. Palomar Lighting                      Not Satisfied

The following Environmental Constraint Note shall be placed on the ECS: This property is subject to lighting restrictions as required by Ordinance No. 655, which are intended to reduce the effects of night lighting on the Mount Palomar Observatory. All proposed outdoor lighting systems shall be in conformance with Ordinance No. 655."

050 - Planning. 3                      Map - ECS Shall be Prepared                      Not Satisfied

The land divider shall prepare an Environmental Constraints Sheet (ECS) in accordance with Section 2.2. E. & F. of Ordinance No. 460, which shall be submitted as part of the plan check review of the FINAL MAP.

050 - Planning. 4                      Map - Fee Balance                      Not Satisfied

Prior to recordation, the Planning Department shall determine if the deposit based fees for the TENTATIVE MAP are in a negative balance. If so, any unpaid fees shall be paid by the land divider and/or the land divider's successor-in-interest.

Transportation

050 - Transportation. 1                      RCTD-MAP - Coordination with Others                      Not Satisfied

Approval of the Street Improvement plans by the Transportation Department will clear this condition. The Project shall comply with recommendations from the following:

- Coordinate with PPT210022

050 - Transportation. 2                      RCTD-MAP - Existing County Maintained Road                      Not Satisfied

Seaton Avenue is a paved County maintained road designated as a Secondary Highway per standard

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Transportation

050 - Transportation. 2 RCTD-MAP - Existing County Maintained Road (cont.) Not Satisfied  
no. 94 and shall be improved along the project boundaries with 32' half-width AC pavement, and reconstruction or resurfacing of existing paving as determine by the Director of Transportation, within the 50' half width dedicated right of way as follows:

1. 6" Curb & Gutter at 32' from centerline.
2. 5' wide sidewalk within the parkway, at 9' from the curb face and 4' from the Right of Way line.
3. North commercial driveway for passenger car traffic usage per Standard No. 207A
4. South commercial driveway for both passenger car and truck traffic usage per Standard No. 207A
5. A northbound left-turn pocket shall be provided on Seaton Avenue at the approach to the south commercial driveway. Appropriate transition tapers shall be provided for northbound and southbound traffic.
6. In the event Perry Street is improved with at least 2-lanes between Seaton Avenue and Harvill Avenue, the following shall be provided: At the approach to Perry Street, a southbound left-turn pocket shall be provided on Seaton Avenue. Appropriate transition tapers shall be provided for northbound and southbound traffic.

or as approved by the Director of Transportation.

Before the street improvement plan(s) are prepared, please review the Street Improvement Plan Policies and Guidelines from the Transportation Department Web site:  
<http://rctlma.org/trans/General-Information/Pamphlets-Brochures>

050 - Transportation. 3 RCTD-MAP - File L&LMD Application Not Satisfied

File an application with the Transportation Department, L&LMD Section, 8th Floor, 4080 Lemon Street, Riverside, CA, for required annexation.

If you have any questions or for the processing fee amount, please call the L&LMD Section at (951) 955-6748.

050 - Transportation. 4 RCTD-MAP - Improvements Not Satisfied

Beck Street is a Non County road and sufficient public street right-of-way along Beck Street on the project side shall be conveyed for public use to provide for a 30-foot half-width right-of-way per Standard No. 105, Section D, Ordinance No. 461.

NOTE: The applicant may elect to pay cash-in-lieu of constructing the improvements per Std. No. 105, Section D, Ordinance No. 461.

The applicant shall provide the following drainage improvements to accept offsite stormwater flow (Q100 year) within the Beck Street 30-foot half-width right of way, on the project side:

1. Re-grade area to drain to a low point and provide drain inlet to accept the offsite 100 year flowrate.

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50. Prior To Map Recordation

Transportation

050 - Transportation. 4 RCTD-MAP - Improvements (cont.) Not Satisfied

2. Provide drain inlet Type IX or Type X per Standards No. CB107 or CB108.
3. Provide a storm drain lateral pipe.
4. Provide a storm drain main, 36" RCP per Lateral F-1 in the Perris Valley area drainage plan. Provide a stub out and install concrete bulkhead per standard M816 for future connection.
5. Provide a storm drain manhole at the Right of Way for future change of maintenance.
6. Provide an emergency outlet for the offsite stormwater runoff.
7. Drainage facilities will be maintained by the owner. In the event, the maintenance crew can not access these drainage facilities from Beck St, the owner will provide an alternative access path and gate within the project site.

Or as approved by the Director of Transportation.

050 - Transportation. 5 RCTD-MAP - Landscaping Design Plans Not Satisfied

Landscaping within public road right of-way shall comply with Transportation Department standards, Ordinance 461, Comprehensive Landscaping Guidelines & Standards, and Ordinance 859 and shall require approval by the Transportation Department.

Landscaping plans shall be designed within the streets associated with the development and submitted to the Transportation Department. Landscaping Plans shall be submitted on standard County format (24" x 36"). Landscaping plans shall be included with the street improvement plans.

050 - Transportation. 6 RCTD-MAP - Lighting Plan Not Satisfied

A separate street light plan shall be approved by the Transportation Department. Street lighting shall be designed in accordance with County Ordinance 460 and Streetlight Specification Chart found in Specification Section 22 of Ordinance 461. For projects within SCE boundaries use County of Riverside Ordinance 461, Standard No. 1000 or No. 1001.

050 - Transportation. 7 RCTD-MAP - Utility Plan Not Satisfied

Electrical power, telephone, communication, street lighting, and cable television lines shall be designed to be placed underground in accordance with Ordinance 460 and 461, or as approved by the Transportation Department. The applicant is responsible for coordinating the work with the serving utility company. This also applies to existing overhead lines which are 33.6 kilovolts or below along the project frontage and between the nearest poles offsite in each direction of the project site. A disposition note describing the above shall be reflected on design improvement plans whenever those plans are required. A written proof for initiating the design and/or application of the relocation issued by the utility company shall be submitted to the Transportation Department for verification purposes.

050 - Transportation. 8 RCTD-MAP-WQ - Santa Ana Region - FINAL WQMP REQUII Not Satisfied

The project is located in the Santa Ana watershed. An approved Water Quality Management Plan (WQMP) is required prior to recordation of a final map or issuance of a grading permit. The project shall submit a single PDF on two CD/DVD copies, in accordance with the latest version of the WQMP

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50. Prior To Map Recordation

Transportation

050 - Transportation. 8 RCTD-MAP-WQ - Santa Ana Region - FINAL WQMP REQUIII Not Satisfied  
manual, found at <https://rctlma.org/trans/Land-Development/WQMP>. In addition, the project proponent shall ensure that the effects of increased peak flowrate for the 1, 3, 6, 24-hour storm events for the 2, 5, and 10-year return periods from the project are mitigated. All details necessary to build BMPs per the WQMP shall be included on the grading plans.

The 18 in pipe in the parkway will need to be moved so that it is located in the Street.

60. Prior To Grading Permit Issuance

BS-Grade

060 - BS-Grade. 1 EASEMENTS/PERMISSION Not Satisfied

Prior to the issuance of a grading permit, it shall be the sole responsibility of the owner/applicant to obtain any and all proposed or required easements and/or permissions necessary to perform the grading herein proposed.

A notarized letter of permission and/or recorded easement from the affected property owners or easement holders shall be provided in instances where off site grading is proposed as part of the grading plan.

In instances where the grading plan proposes drainage facilities on adjacent off site property, the owner/ applicant shall provide a copy of the recorded drainage easement or copy of Final Map.

060 - BS-Grade. 2 IF WQMP IS REQUIRED Not Satisfied

If a Water Quality Management Plan (WQMP) is required, the owner / applicant shall submit to the Building & Safety Department, the Final Water Quality Management Plan (WQMP) site plan for comparison to the grading plan.

060 - BS-Grade. 3 IMPROVEMENT SECURITIES Not Satisfied

Prior to issuance of a Grading Permit, the applicant may be required to post a Grading and/or Erosion Control Security. Please contact the Riverside County Transportation Department for additional information and requirements.

Flood

060 - Flood. 1 ADP Fee - Map Not Satisfied

Parcel Map (PM) 38147 is located within the boundaries of the Perris Valley Area Drainage Plan (ADP) for which the Board of Supervisors has adopted drainage fees pursuant to Ordinance No. 460 Section 10.25. Applicable ADP fees will be due (in accordance with the Rules and Regulations for Administration of Area Drainage Plans) prior to issuance of permits for this project. Actual fee will be calculated based on the fee in effect at the time of payment. Drainage fees shall be payable to the Flood Control District. Personal or corporate checks will not be accepted for payment.

060 - Flood. 2 Encroachment Permit Required Not Satisfied

An encroachment permit shall be obtained for any work that is to be performed within the District right-of-way or involving District facilities. The encroachment permit application shall be processed and approved concurrently with the improvement plans.

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60. Prior To Grading Permit Issuance

Flood

060 - Flood. 3                      Phasing    Not Satisfied

If the project is built or recorded in phases, each phase must be protected from the one-percent annual chance (100-year) tributary flows and shall mitigate its water quality impacts. Additionally, the water quality features necessary to mitigate impacts associated with each phase shall be constructed. The construction of all necessary improvements along with easements and/or permission from affected property owners to safely discharge the concentrated or diverted one-percent annual chance (100-year) tributary flows of each phase shall be required prior to the issuance of permits.

Planning

060 - Planning. 1                      Fee Balance    Not Satisfied

Prior to issuance of grading permits, the Planning Department shall determine if the deposit based fees are in a negative balance. If so, any outstanding fees shall be paid by the applicant/developer.

060 - Planning. 2                      Plot Plan    Not Satisfied

See Plot Plan No. 210022

060 - Planning. 3                      SKR Fee Condition    Not Satisfied

Prior to the issuance of a grading permit, the applicant shall comply with the provisions of Riverside County Ordinance No. 663, which generally requires the payment of the appropriate fee set forth in that ordinance. The amount of the fee required to be paid may vary depending upon a variety of factors, including the type of development application submitted and the applicability of any fee reduction or exemption provisions contained in Riverside County Ordinance No. 663. Said fee shall be calculated on the approved development project which is anticipated to be 9.81 acres (gross) in accordance with APPROVED EXHIBIT NO. A. If the development is subsequently revised, this acreage amount may be modified in order to reflect the revised development project acreage amount. In the event Riverside County Ordinance No. 663 is rescinded, this condition will no longer be applicable.

060 - Planning. 4                      Underground Utilities    Not Satisfied

All utilities, except electrical lines rated 33 kV or greater, shall be installed underground. If the permittee provides to the Department of Building and Safety and the Planning Department a definitive statement from the utility provider refusing to allow underground installation of the utilities they provide, this condition shall be null and void with respect to that utility.

Planning-EPD

060 - Planning-EPD. 1                      0060-Burrowing Owl Preconstruction Survey - EPD    Not Satisfied

Pursuant to Objectives 6 & 7 of the Species Account for the Burrowing Owl included in the Western Riverside County Multiple Species Habitat Conservation Plan (MSHCP), within 30 days prior to the issuance of a rough grading permit, a pre-construction presence/absence survey for the burrowing owl shall be conducted by a qualified biologist and the results provided in writing to the Environmental Programs Department. If it is determined that the project site is occupied by the Burrowing Owl, take of "active" nests shall be avoided pursuant to the MSHCP and the Migratory Bird Treaty Act. However, when the Burrowing Owl is present, relocation outside of the nesting season (February 1 through August 31) by a qualified biologist shall be required. The County Biologist shall be consulted to

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60. Prior To Grading Permit Issuance

Planning-EPD

060 - Planning-EPD. 1            0060-Burrowing Owl Preconstruction Survey - EPD (cont.)            Not Satisfied  
determine appropriate type of relocation (active or passive) and translocation sites. A grading permit may be issued once the species has been relocated.

When the requested documents/studies are completed and ready for EPD review, please upload them to our Secure File Transfer server to ensure prompt response and review. If you are unfamiliar with the process for uploading biological documents to the FTP site, please contact Matthew Poonamallee at [mpoonama@rivco.org](mailto:mpoonama@rivco.org) for instructions.

Biological reports not uploaded to the FTP site may result in delayed review and approval.

060 - Planning-EPD. 2            0060-MBTA Nesting Bird Preconstruction Survey - EPD            Not Satisfied

Birds and their nests are protected by the Migratory Bird Treaty Act (MBTA) and California Department of Fish and Wildlife (CDFW) Codes. Since the project supports suitable nesting bird habitat, removal of vegetation or any other potential nesting bird habitat disturbances shall be conducted outside of the avian nesting season (February 1st through August 31st). If habitat must be cleared during the nesting season, a preconstruction nesting bird survey shall be conducted. The preconstruction nesting bird survey must be conducted by a biologist who holds a current MOU with the County of Riverside. If nesting activity is observed, appropriate avoidance measures shall be adopted to avoid any potential impacts to nesting birds. The nesting bird survey must be completed no more than 3 days prior to any ground disturbance. If ground disturbance does not begin within 3 days of the survey date a second survey must be conducted.

Prior to issuance of a permit for rough grading, the project's consulting biologist shall prepare and submit a report, documenting the results of the survey, to EPD for review. In some cases EPD may also require a Monitoring and Avoidance Plan prior to the issuance of a rough grading permit.

When the requested documents/studies are completed and ready for EPD review, please upload them to our Secure File Transfer server to ensure prompt response and review. If you are unfamiliar with the process for uploading biological documents to the FTP site, please contact Matthew Poonamallee at [mpoonama@rivco.org](mailto:mpoonama@rivco.org) for instructions.

Biological reports not uploaded to the FTP site may result in delayed review and approval.

Transportation

060 - Transportation. 1            60 - TRANSPORTATION – BCS ANNEX OTHER            Not Satisfied

Prior to the issuance of a grading permit, the project proponent shall comply with County requirements to annex into new or existing CSA/CFD/LMD or other maintenance district as determined by County BCS.

Applicant shall contact County BCS to discuss the specific requirements to fulfill the condition.

Upon determination of compliance from BCS including the completion of all required reports and annexations, the Transportation Department shall clear this condition at the request of County BCS only.

060 - Transportation. 2            RCTD-MAP - File L&LMD Application            Not Satisfied

File an application with the Transportation Department, L&LMD Section, 8th Floor, 4080 Lemon Street, Riverside, CA, for required annexation.

If you have any questions or for the processing fee amount, please call the L&LMD Section at (951)

Plan: TPM38147

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60. Prior To Grading Permit Issuance

Transportation

060 - Transportation. 2            RCTD-MAP - File L&LMD Application (cont.)            Not Satisfied  
955-6748.

060 - Transportation. 3            RCTD-MAP - Submit Grading Plans            Not Satisfied

The project proponent shall submit two sets of grading plans (24" x 36") to the Transportation Department for review and approval. If road right-of-way improvements are required, the project proponent shall submit street improvement plans for review and approval, open an IP account, and pay for all associated fees in order to clear this condition. The Standard plan check turnaround time is 10 working days. Approval is required prior to issuance of a grading permit.

70. Prior To Grading Final Inspection

BS-Grade

070 - BS-Grade. 1            ROUGH GRADE FINAL            Not Satisfied

Prior to obtaining Rough Grade Final, the applicant shall obtain rough grade approval from the Building and Safety Department. Rough Grade approval can be accomplished by complying with the following:

1. Submitting a "Wet Signed" copy of the Grading Report containing substantiating data from the Soils Engineer (registered geologist or certified geologist, civil engineer or geotechnical engineer as appropriate) for his/her certification of the project.
2. Submitting a "Wet Signed" copy of the Rough Grade certification from a Registered Civil Engineer certifying that the grading was completed in conformance with the approved grading plan.
3. Requesting a Rough Grade Inspection and obtaining rough grade approval from a Riverside County Transportation Department Inspector.

Rough Grade Only Permits: In addition to obtaining all required inspections and approval of all final reports, all sites permitted for rough grade only shall provide 100 percent vegetative coverage or other means of site stabilization as approved by County Inspector prior to receiving a rough grade permit final.

Prior to Rough Grade Final, the applicant shall have met all rough grade requirements to obtain Building and Safety Department clearance.

80. Prior To Building Permit Issuance

BS-Grade

080 - BS-Grade. 1            NO BUILDING PERMITS W/O LAND USE PERMIT            Not Satisfied

NO BUILDING PERMITS TO BE ISSUED , BY THE BUILDING AND SAFETY DEPARTMENT, FOR ANY PARCEL(S) OF THIS SUBDIVISION - UNLESS AN APPROPRIATE LAND USE PERMIT HAS ALSO BEEN ISSUED AND APPROVED, BY THE PLANNING DEPARTMENT, FOR THAT SAME PARCEL(S).

E Health

080 - E Health. 1            "First Commitment Letter" for water and sewer.            Not Satisfied

A "First Commitment Letter" for water and sewer service shall be required from the appropriate purveyor.

Flood

080 - Flood. 1            ADP Fee - Map            Not Satisfied



Plan: TPM38147

Parcel: 314091005

80. Prior To Building Permit Issuance

Flood

080 - Flood. 1                      ADP Fee - Map (cont.)                      Not Satisfied

Parcel Map (PM) 38147 is located within the boundaries of the Perris Valley Area Drainage Plan (ADP) for which the Board of Supervisors has adopted drainage fees pursuant to Ordinance No. 460 Section 10.25. Applicable ADP fees will be due (in accordance with the Rules and Regulations for Administration of Area Drainage Plans) prior to issuance of permits for this project. Actual fee will be calculated based on the fee in effect at the time of payment. Drainage fees shall be payable to the Flood Control District. Personal or corporate checks will not be accepted for payment.

080 - Flood. 2                      Encroachment Permit Required                      Not Satisfied

An encroachment permit shall be obtained for any work that is to be performed within the District right-of-way or involving District facilities. The encroachment permit application shall be processed and approved concurrently with the improvement plans.

Planning

080 - Planning. 1                      Plot Plan                      Not Satisfied

See Plot Plan No. 210022

080 - Planning. 2                      School Mitigation                      Not Satisfied

Impacts to the Val Verde Unified School District be addressed in accordance with California State law.

Transportation

080 - Transportation. 1                      RCTD-MAP - Annexation into L&LMD or Other District                      Not Satisfied

Prior to the issuance of a building permit, the project proponent shall comply with County requirements within public road rights-of-way, in accordance with Ordinance 461. Assurance of maintenance is required by filing an application for annexation to Landscaping and Lighting Maintenance District No. 89-1-Consolidated by contacting the Transportation Department at (951) 955-6767, and/or any other maintenance district approved by the Transportation Department or by processing and filing a 'Landscape Maintenance Agreement' through the Transportation Department Plan Check Division. Said annexation should include the following:

- (1) Landscaping
- (2) Graffiti abatement of walls and other permanent structure.
- (3) Street sweeping.
- (4) Street light

080 - Transportation. 2                      RCTD-MAP-WQ - ESTABLISH WQMP MAINT ENTITY                      Not Satisfied

A maintenance plan and signed WQMP/BMP maintenance agreement shall be submitted to the Transportation Department shall be approved and recorded against the property. A maintenance organization will be established with a funding source for the permanent maintenance.

080 - Transportation. 3                      RCTD-MAP-WQ - IMPLEMENT WQMP                      Not Satisfied

The Project shall construct BMP facilities described in the approved Final County WQMP prior to the issuance of a building permit to the satisfaction of County Grading Inspection Section. The Project is responsible for performing all activities described in the County WQMP and that copies of the approved Final County WQMP are provided to future owners/occupants.

Plan: TPM38147

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80. Prior To Building Permit Issuance

Transportation

080 - Transportation. 3            RCTD-MAP-WQ - IMPLEMENT WQMP (cont.)            Not Satisfied

90. Prior to Building Final Inspection

BS-Grade

090 - BS-Grade. 1            NO PRECISE GRADE APPROVAL            Not Satisfied

A PRECISE GRADING INSPECTION WILL NOT BE PERFORMED, BY THE BUILDING AND SAFETY DEPARTMENT, FOR ANY PARCEL(S) OF THIS SUBDIVISION - ALL PRECISE GRADE INSPECTIONS TO BE PERFORMED UNDER THE PRECISE GRADE PERMIT ISSUED UNDER THE APPROPRIATE LAND USE PERMIT, FOR THAT SAME PARCEL(S).

Transportation

090 - Transportation. 1            RCTD-MAP - Complete Annexation into L&LMD or Other Dist            Not Satisfied

Prior to issuance of an occupancy permit, the project proponent shall complete annexation to Landscaping and Lighting Maintenance District No. 89-1-Consolidated, and/or any other maintenance district approved by the Transportation Department or by processing and filing a 'Landscape Maintenance Agreement' through the Transportation Department Plan Check Division for continuous maintenance within public road rights-of-way, in accordance with Ordinance 461, Comprehensive Landscaping Guidelines & Standards, and Ordinance 859.

090 - Transportation. 2            RCTD-MAP - Fee Payment            Not Satisfied

Prior to the time of issuance of a Certificate of Occupancy or upon final inspection, whichever occurs first, the Project shall pay fees in accordance with the fee schedule in effect at the time of payment:

- All Transportation Uniform Mitigation Fees (TUMF) in accordance with Ordinance 824.

090 - Transportation. 3            RCTD-MAP - Landscaping Installation Completion            Not Satisfied

Landscaping within public road right-of-way shall comply with Transportation Department standards and Ordinance 461 and shall require approval by the Transportation Department. Landscaping shall be improved along the streets associated with this development.

090 - Transportation. 4            RCTD-MAP - Utility Install            Not Satisfied

Electrical power, telephone, communication, street lighting, and cable television lines shall be installed underground in accordance with Ordinance 460 and 461, or as approved by the Transportation Department. This also applies to all overhead lines below 34 kilovolts along the project frontage and all offsite overhead lines in each direction of the project site to the nearest offsite pole. A certificate should be obtained from the pertinent utility company and submitted to the Department of Transportation as proof of completion for clearance.

In addition, the Project shall ensure that streetlights are energized and operational along the streets of those lots where the Project is seeking Building Final Inspection (Occupancy).

090 - Transportation. 5            RCTD-MAP-WQ - WQMP COMPLETION            Not Satisfied

Prior to Building Final Inspection, the Project is required to furnish educational materials regarding water quality to future owners/occupants, provide an engineered WQMP certification, inspection of

03/30/22  
16:45

Riverside County PLUS  
CONDITIONS OF APPROVAL

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90. Prior to Building Final Inspection

Transportation

090 - Transportation. 5 RCTD-MAP-WQ - WQMP COMPLETION (cont.) Not Satisfied  
BMPs, GPS location of BMPs, ensure that the requirements for inspection and cleaning the BMPs are established, and for businesses registering BMPs with the Transportation Department's Business Storm Water Compliance Program Section.

# Environmental Justice Form

## Applicability

Sites located within Environmental Justice boundaries have compatibility policies related to the environment and quality of life change as well as outreach. To address these policies: Planning staff will review and evaluate your submittal and will note what policies are applicable to your proposed project and provide options for addressing the policies.

1. Community Outreach will be required to present the proposed project. Staff will assist in scheduling a meeting with the appropriate Community Council (CC), Community Advisory (CAC), or other form of outreach when the proposed project is not located within a MAC or CC boundary.

## Development Process

Environmental Justice policies apply to proposed projects located within the designed EJ communities. You can see a map of applicable communities by using the [Environmental Justice Mapping App](#) and on [Map My County](#). The digitized map depicts the EJ communities shown on Figure LU 4.1 of the Land Use Element of the General Plan. All discretionary approvals for the proposed projects including housing, and/or nonresidential uses including but not limited to commercial, services, industrial, agricultural, and nonprofit will be evaluated for compatibility with applicable policies.

1. **New development** within the Environmental Justice Communities.
2. **Discretionary requests** for development, including residential and/or nonresidential uses and development.

## Directions

Please review the following checklist to analyze your project with respect to the Environmental Justice policies. Policies will include a response which note whether the project can be compatible with the Environmental Justice policy by Conditions of Approval, Mitigation Measures, or Project Design Features. The response may also note if a policy is not applicable. The following describes responses:

1. **Compatible Through Mitigation Measure or Condition of Approval:** The project meets the provision through a CEQA mitigation measure or the application of a Condition of Approval.
2. **Compatible Through Project Design Feature:** The project meets the provision through the implementation of a design feature.
3. **Policy Not Applicable:** The policy does not apply to the project. Some policies are not development orientated. The notes section may elaborate on why the policy is not applicable.
4. **Notes:** Elaborate and explain on the selection made in the checklist.

## Important Documents and Links (Hyperlinked)

1. [Environmental Justice Mapping App](#)
2. [Map My County](#)
3. [Policies](#)
4. [Implementation Plan](#)
5. [Proposed Affected Areas](#)

## Health Risk Reduction

Mitigation Measure or Condition of Approval	Project Design Feature	Policy Not Applicable	Notes (250-word max per response)
<p><b>HC 16.5 – Location to Sensitive Receptors.</b> Evaluate the compatibility of unhealthy and polluting land uses being located near sensitive receptors including possible impacts on ingress, egress, and access routes. Similarly, encourage sensitive receptors, such as housing, schools, hospitals, clinics, and childcare facilities to be located away from uses that pose potential hazards to human health and safety.</p>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<p>Limited access on surrounding streets is anticipated. No access proposed on Beck Street which will eliminate the need to use Perry Street west of Seaton Ave. Project is designed to use a single driveway for truck access on the south end of the site away from residential uses to the north. Very limited use of Seaton Ave. is anticipated north of the project site. Trucks will be conditioned to utilize Commerce Center Dr to access Harvill Ave to limit truck traffic in front of existing homes on Seaton Ave. <b>Project is compliant with the policy.</b></p>
<p><b>HC 16.6 – Good Neighbor Policy.</b> For large scale logistics, warehouse and distribution projects, address the Good Neighbor Policy for Logistics and Warehouse/Distribution uses criteria adopted by the Board of Supervisors on November 19, 2019, and as may be subsequently amended.</p>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>The Good Neighbor policy applies to buildings in excess of 100,000 square feet. Building area is less than 100,000 square feet. <b>Policy not applicable to project.</b></p>
<p><b>HC 16.10 – Compact Development.</b> Plan for compact development projects in appropriate locations, including in existing communities and the clustering of affordable and mixed-income housing therein, that make the most efficient use of land and concentrate complementary uses close to transit or non-transit mobility options and advocate for expanded transit and non-transit mobility options to serve such areas.</p>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>The project does not involve the development of housing. <b>Policy not applicable to project.</b></p>
<p><b>HC 16.14 – Sensitive Receptors, Pesticides and Fertilizers.</b> Assure that sensitive receptors are separated and protected from polluting point sources, as feasible, including agricultural businesses that produce or use pesticides and chemical fertilizers.</p>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>The project will develop two warehouses. Warehouses are not considered polluting point sources. <b>Policy is not applicable to this project.</b></p>
<p><b>HC 16.15 – Site Design and Industrial and Warehousing.</b> Assure that site plan design protects people and land, particularly sensitive land uses such as housing and schools, from air pollution and other externalities associated with industrial and</p>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<p>The project will provide a 20-foot landscape setback planted with larger</p>

Mitigation Measure or Condition of Approval	Project Design Feature	Policy Not Applicable	Notes (250-word max per response)
warehouse development through the use of barriers, distance, or similar solutions or measures from emission sources when possible.	<input type="checkbox"/>		caliper screening trees next to residential uses to the north. In addition, 10-foot-high screen walls are provided at the north PL and north of the docks. Lighting will be sensitive to surrounding residential uses with light shields. <b>Project is compliant with the policy.</b>
<b>HC 16.16 – Landscaping, Particulate Matter, and Air Pollution.</b> Apply pollution control measures such as landscaping, vegetation, and green zones (in cooperation with the SCAQMD) and other materials, which trap particulate matter or control air pollution.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The project will provide a 20-foot landscape setback planted with larger caliper screening trees along the north property line. Along Seaton Avenue a 20-foot landscape will be provided and along Beck Street a 34'-6"-foot landscape setback is also provided. <b>Project is compliant with this policy.</b>
<b>HC 16.18 – Job Creation and Reduction of Vehicle Miles.</b> Promote new development that emphasizes job creation and reduction in vehicle miles traveled in job-poor areas and does not otherwise contribute to onsite emissions to improve air quality.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The project will create jobs and may reduce VMT. Per Air Quality Analysis for the project, emissions impacts are below SCAQMD significance thresholds during both construction and operations. <b>Project is compliant with this policy.</b>
<b>HC 16.22 – Industrial Water Use Discharges and Agriculture and Pesticide/Chemical Use.</b> Discourage industrial uses which use large quantities of water in manufacturing or cooling processes that result in subsequent effluent discharges and encourage agricultural businesses to limit and reduce the production and use of pesticides and chemical fertilizers to the maximum extent possible thereby minimizing contaminated infiltration and runoff, including runoff to the Salton Sea and other standing bodies of water.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Project buildings are designed as warehouses with loading docks and trailer parking. Warehouses do not typically use large quantities of water, pesticides, or fertilizers. <b>Policy is not applicable to this project.</b>
<b>HC 16.23 – Industrial and Agriculture Uses and Toxic Contamination.</b> Discourage industrial and agricultural uses which produce significant quantities of toxic emissions into the air, soil, and groundwater to prevent the contamination of these physical environments.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Project buildings are designed as warehouses with loading docks and trailer parking. Future use of project site is not likely to involve activities

Notes (250-word max per response)

Policy Not Applicable

Project Design Feature

Mitigation Measure or Condition of Approval

<p>that would contaminate soils or groundwater. Per Air Quality Analysis, all emissions impacts are below SCAQMD significance thresholds during both construction and operations. <b>Policy is not applicable to this project.</b></p>			
<p><b>HC 16.24 – Compatibility Criteria for Industrial, Agricultural, And Adjacent Land Uses.</b> Ensure compatibility between industrial development and agricultural uses and adjacent land uses. To achieve compatibility, industrial development and agricultural uses will be required to include criteria addressing noise, land, traffic, and greenhouse gas emissions to avoid or minimize creating adverse conditions for adjacent communities.</p>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>The project has been designed for compatibility with the adjacent residential uses through its layout, architecture, landscaping and lighting. Project features enhanced landscaping along adjacent edge of Residential Land Use to mitigate emissions and noise impacts, though related studies have specified that both impacts will be less than significant through the life of the construction and operation of the project with mitigation measures. <b>Project is compliant with this policy.</b></p>
<p><b>HC 16.25 – Mining Projects and Compatibility.</b> Require the conversion of mining operations into uses that are compatible with surrounding areas in accordance with the Surface Mining and Reclamation Act.</p>	<input type="checkbox"/>	<input type="checkbox"/>	<p>Project buildings are designed as warehouses with loading docks and trailer parking. <b>Policy is not applicable to this project.</b></p>

Notes (250-word max per response)

Policy Not Applicable

Project Design Feature

Mitigation Measure or Condition of Approval

<p><b>HC 17.2 – Building Setback and Activation of Sidewalks.</b> Orient buildings closer to streets or provide landscaped promenades that connect buildings to bus stops with routes that provide access to shopping centers, grocery stores, and areas where farmer's markets are held.</p>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>The project will provide landscaping along street frontages improving aesthetics in the immediate area. The</p>
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Food Access

<p>closest bus stop is located less than a mile away at the intersection of Seaton Ave. and Cajalco Rd. Project will install new sidewalks along the Seaton Ave. frontage. In addition, the project will pay cash in lieu fees for required improvements to Beck St. for future sidewalks in the area. DIF provided from project development may be spent on road/sidewalk improvements in Mead Valley. <b>Project is compliant with this policy.</b></p>			<p><input type="checkbox"/></p>
<p>Project would develop two warehouse buildings. Given the nature of the development there is no opportunity to provide areas for recreation or other neighborhood uses on site. To address this policy the applicant has made a \$31,500 contribution to Val Verde Unified School District to fund improvements to Columbia Elementary School's community garden located in Mead Valley. <b>The Project is compliant with this policy.</b></p>	<p><input type="checkbox"/></p>	<p><input checked="" type="checkbox"/></p>	<p><input type="checkbox"/></p>
<p>Project buildings are designed as warehouses with loading docks and trailer parking. <b>Policy is not applicable to this project.</b></p>	<p><input checked="" type="checkbox"/></p>	<p><input type="checkbox"/></p>	<p><input type="checkbox"/></p>
<p>Project buildings are designed as warehouses with loading docks and trailer parking. Given the nature of the development these activities are not possible on the project site. To address this policy the applicant has made a \$31,500 contribution to Val</p>	<p><input checked="" type="checkbox"/></p>	<p><input type="checkbox"/></p>	<p><input type="checkbox"/></p>

**HC 17.3 – Site Design and Interior Spaces.** Encourage site design for new development to accommodate interior spaces for recreational and other neighborhood uses, such as community gardens and farmer's markets in order to increase access to fresh and healthy foods; and to render such spaces convenient and available to neighboring streets, neighborhoods, and other nearby facilities to fill the void or lack of small grocery stores and increase access to fresh and healthy foods within EJ Communities.

**HC 17.5 – Diverse Food Establishments.** Encourage the development of diverse food establishments prioritizing mom and pop healthy food establishments and community kitchens for homemade foods to be sold in areas with a high concentration of fast-food establishments, convenience stores, and liquor stores.

**HC 17.6 – Affordable Access to Fruits and Vegetables.** Work with local farmers and growers to develop a program to provide affordable access to fruits and vegetables grown in the area to the EJ communities. Identify and establish the location of grocery stores, healthy corner stores, farmer's markets all of which carry a complement of healthy foods to be located in close proximity to transit nodes and other active transportation system links.



			Verde Unified School District to fund improvements to Columbia Elementary School's community garden located in Mead Valley. In addition, access to healthy food is available in the area. The project is located within 1 mile of bus stop with fresh food access within 1.3 miles of location. <b>Project is compliant with this policy.</b>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Project buildings are designed as warehouses with loading docks and trailer parking. See response to Policy HC17.3 and 17.6 above. <b>Project is compliant with this policy.</b>

**HC 17.7 – Edible Landscaping and Community Gardens.** Promote edible landscaping and community gardens for suitable public and private land as well as for residential and mixed-use projects.

## Safe and Sanitary Homes

Mitigation Measure or Condition of Approval	Project Design Feature	Policy Not Applicable	Notes (250-word max per response)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Project buildings are designed as warehouses with loading docks and trailer parking. A number of technical studies have been prepared for the project to evaluate the environmental impacts of the project including both AQ/GHG, and Noise studies. Both studies have determined impacts to be less than significant. Project will comply to dust mitigation procedures required during construction by SCAQMD as part of COA. The project was presented before the Mead Valley MAC on July 7, 2021 as part of community outreach efforts. The

**HC 18.7 – Polluting Uses and Noticing Requirements.** Discourage industrial, agricultural, and other land uses that may pollute and cause health conflicts with residential land uses either directly or indirectly. Ensure that community members are properly notified and involved in the decision-making process for new land-use proposals.

			<p>project will follow standard notification and has conducted community outreach requirements to ensure community members are informed of the project potential impacts. <b>The Project is compliant with this policy.</b></p>
<p><b>HC 18.8 – Design to Limit Exposure of Residential Development.</b> Work with the development community including small property and mobile home park owners so new residential development, particularly for low-income households, is designed to limit their exposure to high noise levels, pesticide and fertilizer exposure, dust pollution, and other potential impacts associated with adjacent industrial and agricultural uses.</p>	<p><input type="checkbox"/></p>	<p><input type="checkbox"/></p>	<p>The project does not propose new residential development as such the <b>policy is not applicable.</b></p>
<p><b>HC 18.9 – Design and Character of the Surrounding Area.</b> Encourage the location and design of new developments to visually enhance and not degrade the character of the surrounding area through consideration of the following concepts.</p>	<p><input type="checkbox"/></p>	<p><input type="checkbox"/></p>	
<p><b>a. Use of Design Standards.</b> Using design standards of the appropriate Area Plan land use category.</p>	<p><input type="checkbox"/></p>	<p><input checked="" type="checkbox"/></p>	<p>The project will feature a contemporary building design comprised of concrete tilt-up construction in the form of offset building panels painted in shades of grey with white accents. Blue reflective glazing is also used as an accent on all sides of each building.. Though project is exempt from Good Neighbor Policy, several design requirements of GNP are featured in design plan. <b>Project is compliant with this policy.</b></p>
<p><b>b. Codes and Regulations.</b> Construction of structures in accordance with the requirements of Riverside County's zoning, building, and other pertinent codes and regulations.</p>	<p><input type="checkbox"/></p>	<p><input checked="" type="checkbox"/></p>	<p>Construction of proposed project will be subject to the development standards of I-P and M-SC zoning classifications and County building</p>

Mitigation Measure or Condition of Approval	Project Design Feature	Policy Not Applicable	Notes (250-word max per response)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	codes. <b>Project is compliant with this policy.</b> Landscaping Plan submitted as part of Exhibit L Requirement. The submitted conceptual landscape plan meets the standards of Ordinance No. 348 Section 18.12 E, regarding landscaping requirements for off-street vehicle parking. <b>Project is compliant with this policy.</b>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Landscaping plan submitted is in accordance with Ordinance No. 859 regarding water efficiency landscaping, including the use of mulch, subsurface drip irrigation. <b>Project is compliant with this policy.</b>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Project features energy efficiency in use of landscape shading, building and parking shading, and energy efficient lighting program. <b>Project is compliant with this policy.</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Project landscaping plan features drought-tolerant landscaping. <b>Project is compliant with this policy.</b>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	This project incorporates articulated forms and modern materials beyond typical industry standards. Interior layout offers flexibility for future tenants' and smaller tenant spaces than most buildings in the Mead Valley area. Site and street improvements are designed with native landscaping and accessibility in mind.

**c. Landscaping Plan.** Require that an appropriate landscape plan be submitted and implemented for development projects subject to discretionary review.

**d. Drought Resistant Landscaping.** Use of drought-tolerant landscaping that incorporates adequate drought-conscious irrigation systems.

**e. Energy Efficiency in Design.** Application of energy efficiency through street configuration, building orientation, and landscaping to capitalize on shading and facilitate solar energy.

**f. Water Conservation.** Application of water conservation techniques, such as groundwater recharge basins, use of porous pavement, drought-tolerant landscaping, and water recycling, as appropriate.

**g. Innovative Design.** Encourage innovative and creative design concepts.

Mitigation Measure or Condition of Approval	Project Design Feature	Policy Not Applicable	Notes (250-word max per response)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Project design does not include provision of public art on site however the project will provide a contribution for the installation of four bus shelters in the immediate area of the project. The design of the bus shelter contains an area that can potentially display historic pictures of Mead Valley or artwork of local children. <b>Project is compliant with this policy.</b>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Project site does not currently have tenant. Any future signage is subject to review by Planning Staff for consistency with Zoning requirements. The design of signs will be consistent with the architecture of the building. <b>The policy is not applicable at this time.</b>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Vehicular access to project site will be provided by two driveways connected to Seaton Avenue with no access proposed onto Beck Street. The project site will be subdivided into two lots with an access easement being provided to the west parcel over the east parcel. <b>Project is compliant with this policy.</b>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Project building loading docks face away from front-facing public view. Project site features two separate site entry/exit and no direct access on to Beck Street to minimize issues with

**h. Public Art.** Encourage the provision of public art that enhances the community's identity, which may include elements of historical significance and creative use of children's art.

**i. Signage.** Include consistent and well-designed signage that is integrated with the building's architectural character.

**j. Vehicular Access.** Provide safe and convenient vehicular access and reciprocal access between adjacent commercial uses.

**k. Service Areas and Residential.** Locate site entries and storage bays to minimize conflicts with adjacent residential neighborhoods.

Mitigation Measure or Condition of Approval	Project Design Feature	Policy Not Applicable	Notes (250-word max per response)
<b>i. Mitigation.</b> Mitigate noise, odor, lighting, pollution exposure, and other impacts on surrounding properties.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	the adjacent residential neighborhood. <b>Project is compliant with this policy.</b> As determined in the Initial Study prepared for the project and detailed in the analysis provided in AQ/GHG, and Noise studies project impacts will be less than significant. Project will comply to dust mitigation procedures required during construction by SCAQMD as part of COA. Project also features 10' screen wall and increased landscaping along northern edge adjacent to existing residential development for increased buffering. <b>Project is compliant with this policy.</b>
<b>m. Landscaping in Open Spaces and Parking Lots.</b> Provide and maintain landscaping in open spaces and parking lots.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Submitted landscaping plan (Exhibit L) includes landscaping for interior parking spots. Maintenance of landscaping is required as COA. Project site does not contain open spaces; therefore, exempt from open space landscaping. <b>Project is compliant with this policy.</b>
<b>n. Drought Tolerant Landscaping.</b> As feasible, maximize landscape coverage with an emphasis on drought-tolerant landscaping.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Landscaping plan submitted is in accordance with Ordinance No. 859 regarding water efficiency landscaping, including the use of mulch, subsurface drip irrigation. <b>Project is compliant with this policy.</b>
<b>o. Preservation of Natural Features.</b> Preserve, as feasible, natural features, such as unique natural terrain, arroyos, canyons, and other drainage ways, and native vegetation, wherever possible, particularly where they provide continuity with more extensive regional systems.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Project site does not contain natural features affected by this project. <b>Policy is not applicable to this project.</b>

Mitigation Measure or Condition of Approval	Project Design Feature	Policy Not Applicable	Notes (250-word max per response)
<p><b>p. Pedestrian Activity.</b> Require, as feasible, that new development be designed to provide adequate space for pedestrian connectivity and access, recreational trails, vehicular access, and parking, supporting functions, open space, and other pertinent elements.</p>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>Project site is not located near or on any existing pedestrian/vehicle accessible trails, open space, or pertinent elements. <b>Policy is not applicable to this project.</b></p>
<p><b>q. Integration of Parking Lots.</b> Design parking lots and structures to be functionally and visually integrated and connected.</p>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<p>Project parking lot and structures are designed to be functionally and visually integrated and connected to each other. Vehicle parking is located in front of the main building entrance. <b>Project is compliant with this policy.</b></p>
<p><b>r. Building Access Points.</b> As feasible, site building access points along sidewalks, pedestrian areas, and bicycle routes, and include amenities that encourage pedestrian activity where such passthrough areas include wayfinding signage, street trees, grade and lateral separation from roads, all with consideration given to adequate safety lighting, and landscape screening.</p>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>Given the nature of the project (warehouses) the locating of building access point along future sidewalks is not desirable. <b>The policy is not applicable to this project.</b></p>
<p><b>s. Pedestrian Crossings.</b> Encourage safe and frequent pedestrian crossings and ensure that sidewalks and other pedestrian walkways provide continuity between land uses essential to a functional lifestyle, and as needed such sidewalks and pedestrian walkways should provide sufficient lighting and signage to ensure public safety.</p>	<input type="checkbox"/>	<input type="checkbox"/>	<p>The project is required to provide sidewalks along its Seaton Avenue frontage and will also be required pay cash-in-lieu fees for future sidewalk and frontage improvements along Beck. The project is also required to adhere to safety, lighting, and striping plan included in project submission as a COA. <b>Project is compliant with this policy.</b></p>
<p><b>t. Human Scale.</b> Encourage the creation of a human-scale ground floor environment that includes public open areas that separate pedestrian space from auto traffic or where mixed, it does so with special regard to pedestrian safety.</p>	<input type="checkbox"/>	<input type="checkbox"/>	<p>Project entrance features human-scale ground floor element. Parking is located near main building entry and includes walkways or walkway striping for pedestrian safety. <b>Project is compliant with this policy.</b></p>

Mitigation Measure or Condition of Approval	Project Design Feature	Policy Not Applicable	Notes (250-word max per response)
<p><b>u. Recognition of Open Space.</b> Recognize open space, including hillsides, arroyos, riparian areas, and other natural features as amenities that add community identity, beauty, recreational opportunities, and monetary value to adjacent developed areas.</p>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Project site is not located near open space land use designation lands, hillsides, arroyos, riparian areas, or other natural features as amenities that add community identity, beauty, recreational opportunities, or monetary value to adjacent developed areas. <b>Policy is not applicable to this project.</b>
<p><b>v. Fire Hazards.</b> Manage wildland fire hazards in the design of development proposals located adjacent to natural open space.</p>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Project site is not located within a fire hazard zone or fire responsibility area. <b>Policy is not applicable to this project.</b>
<p><b>HC 18.12 – Safe Affordable Housing and Displacement.</b> Prioritize the development of safe and affordable housing in EJ Communities while at the same time minimizing the displacement of existing residents consistent with Housing Element, Goal 2, Action 2.1h and as may be amended by the 6th Cycle Housing Element. Affordable housing projects should include various housing types that respond to community priorities and input.</p>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Project is not a housing development project. <b>Policy is not applicable to this project.</b>

## Safe and Sanitary Homes

Mitigation Measure or Condition of Approval	Compatible through Project Design Feature	Policy Not Applicable	Notes (250-word max per response)
<p><b>HC 19.2 – Outdoor Recreation.</b> Develop of high-quality parks, green space, hiking trails, recreational facilities and natural environments in areas where such facilities are lacking.</p>	<input type="checkbox"/>	<input type="checkbox"/>	Project site is not located near or any existing or planned parks, green space and hiking trails, but the client has made a contribution toward the development of a community to Val Verde Unified School District. <b>Project is compliant with this policy.</b>

**HC 19.6 – Local Trails.** Plan for a system of local trails that enhances recreational opportunities and connects with regional trails.

**HC 19.7 – Incorporate Recreation Opportunities.** Incorporate open space, community greenbelt separators, and recreational amenities into development areas in order to enhance recreational opportunities and community aesthetics to improve the quality of life.

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>There are no trails required of the project along the project frontage on Seaton Avenue.  <b>Policy is not applicable to this project.</b></p>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<p>Project will be separated from residential development to the north as depicted on the landscaping plan (Exhibit L) with a 10' screen wall paired with increased landscaping screening along northern border as a design/ mitigation feature and to maintain community aesthetics.  <b>Project is compliant with this policy.</b></p>



## Public Facilities

Mitigation Measure or Condition of Approval	Project Design Feature	Policy Not Applicable	Notes (250-word max per response)
<p><b>HC 20.1 – Public Facilities and Supporting Infrastructure.</b> New development should provide for public services including but not limited to solar street lighting, shading structures at bus stops, other supporting infrastructure, and extension of trash and recyclables pickup routes.</p>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<p>The project will be responsible for installing off-site improvements in front of their project frontage along Seaton Avenue. In addition the project will fund 4 new bus shelters in the immediate area of the project. <b>Project is compliant with this policy.</b></p>
<p><b>HC 20.2 – Development and Internal Pedestrian Circulation.</b> New development should promote convenient internal pedestrian circulation among land uses (existing and proposed) within each neighborhood and connecting with existing adjacent developed areas and as applicable consistent with the Southern California Association of Governments Regional Transportation Plan/Sustainable Communities Strategy, and amendments thereto.</p>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<p>The project is required to provide sidewalks along its Seaton Avenue frontage and will also be required to pay cash in lieu for improvements along Beck Street frontage. <b>Project is compliant with this policy.</b></p>
<p><b>HC 20.4 -</b> New development and conservation land uses should not infringe upon existing essential public facilities and public utility corridors, which include county regional landfills, fee-owned rights-of-way, and permanent easements, whose true land use is that of public facilities.</p>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<p>Project site does not infringe upon existing essential public facilities or public utility corridors. <b>Policy is not applicable to this project.</b></p>

## PROPERTY OWNERS CERTIFICATION FORM

I, VINNIE NGUYEN certify that on January 25, 2022

The attached property owners list was prepared by Riverside County GIS

APN (s) or case numbers PPT210022 for

Company or Individual's Name RCIT – GIS

Distance buffered 600'

Pursuant to application requirements furnished by the Riverside County Planning Department. Said list is a complete and true compilation of the owners of the subject property and all other property owners within 600 feet of the property involved, or if that area yields less than 25 different owners, all property owners within a notification area expanded to yield a minimum of 25 different owners, to a maximum notification area of 2,400 feet from the project boundaries, based upon the latest equalized assessment rolls. If the project is a subdivision with identified off-site access/improvements, said list includes a complete and true compilation of the names and mailing addresses of the owners of all property that is adjacent to the proposed off-site improvement/alignment.

I further certify that the information filed is true and correct to the best of my knowledge. I understand that incorrect or incomplete information may be grounds for rejection or denial of the application.

TITLE: GIS Analyst

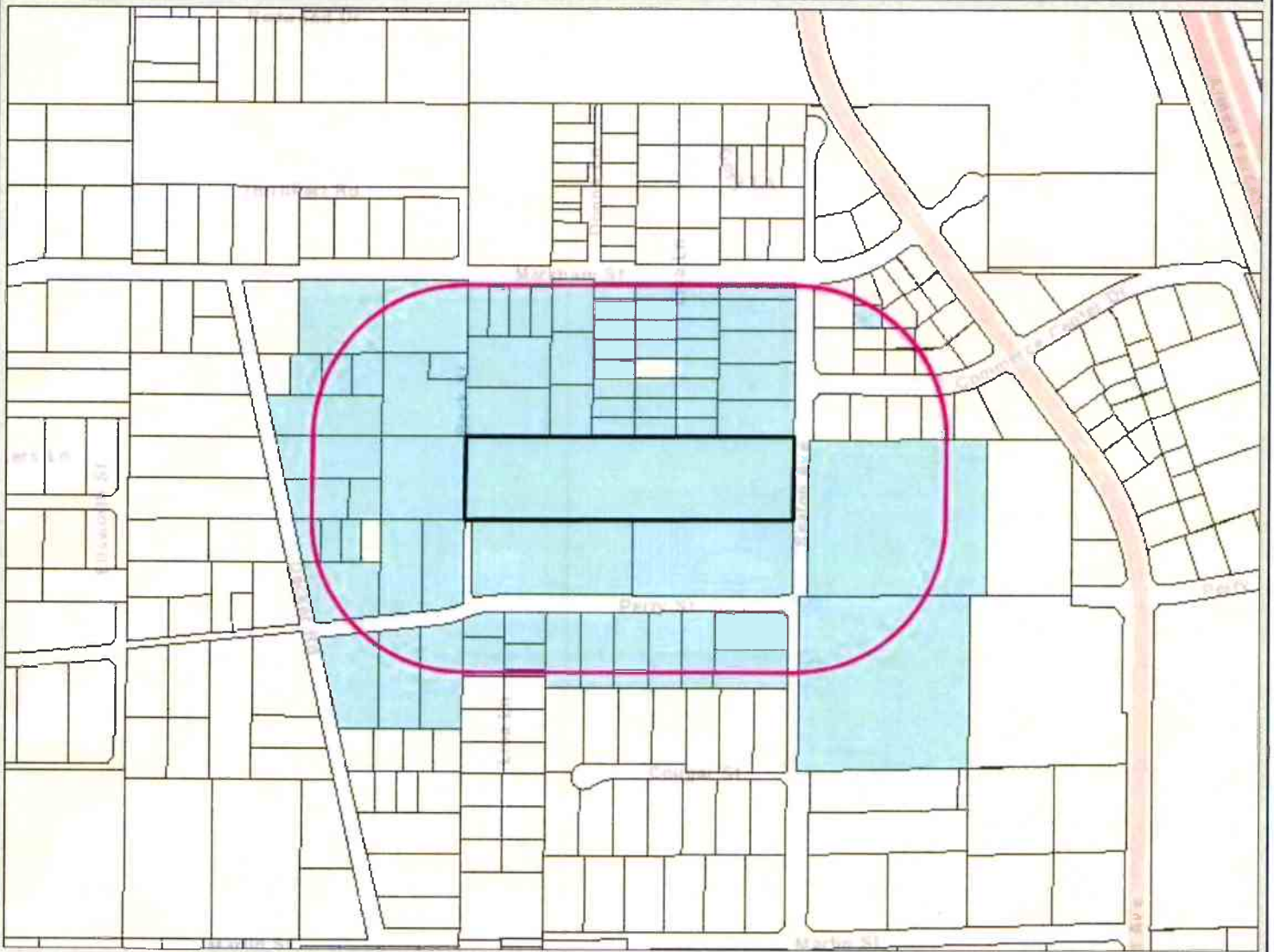
ADDRESS: 4080 Lemon Street 9<sup>TH</sup> Floor

Riverside, Ca. 92502

TELEPHONE NUMBER (8 a.m. – 5 p.m.): (951) 955-8158

# Riverside County GIS Mailing Labels

PPT210022 ( 600 feet buffer )



### Legend

-  County Boundary
-  Cities
-  Parcels
-  World Street Map

### Notes



0 752 1,505 Feet

**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

REPORT PRINTED ON... 1/25/2022 10:22:21 AM

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314091006  
RICHARD B. HULL  
16150 REINER CIR  
RIVERSIDE CA 92504

314092058  
JOLET PROP  
776 HIGHRIDGE ST  
RIVERSIDE CA 92506

314092079  
LYDELL GABRIEL TURNER  
18780 LISA LN  
PERRIS CA 92570

314210009  
JEFFIE J. LAZROVICH  
18531 DONNA LN  
PERRIS CA 92570

314210010  
MICHAEL T. STANLEY  
22841 MARKHAM ST  
PERRIS CA 92570

314210014  
LARRY STEVE GEORGE  
22856 MARKHAM ST  
PERRIS CA 92570

314210020  
STEVE G. LUCAS  
22893 MARKHAM ST  
PERRIS CA 92570

314210025  
JOSE MARES NEGRETE  
22871 MARKHAM ST  
PERRIS CA 92570

314210026  
LUIS GIL  
22909 MARKHAM ST  
PERRIS CA 92570

314230005  
JESUS GRAJEDA  
18660 DECKER RD  
PERRIS CA 92570

314240009  
GUS LAZROVICH  
18806 DECKER RD  
PERRIS CA 92570

314091005  
SSR INV CO  
1930 ALPHA AVE  
SOUTH PASADENA CA 91030

314240011  
IRENE D. JAMROZ  
25913 PLEASANT ST  
HEMET CA 92544

314130007  
SEATON PERRY  
18W140 BUTTERFIELD RD STE 750  
OAKBROOK TER IL 60181

314092002  
LUIS ALFONSO URIBE  
18811 LISA LN  
PERRIS CA 92570

314210015  
LORENA OCAMPO ESTRADA  
22860 MARKHAM ST  
PERRIS CA 92570

314210022  
CLAUDIA J. BEECHER  
21520 YORBA LINDA BLVD STE G-123  
YORBA LINDA CA 92887

314091004  
RYAN D. FRANKLIN  
16411 JAMES CT  
RIVERSIDE CA 92504

314092001  
CLEMENCIO MARTINEZ ROJO  
18771 LISA LN  
PERRIS CA 92570

314092078  
MAGDALENA GONZALEZ  
22905 PERRY ST  
PERRIS CA 92570

314210029  
VICTOR A. JUAREZ  
22919 MARKHAM ST  
PERRIS CA 92570

314210032  
LORENA IVARRA ESQUIVEL  
22937 MARKHAM ST  
PERRIS CA 92570

314210041  
SANDRA MAGALLON  
18605 SEATON ST  
PERRIS CA 92570

314210006  
HECTOR CASTELLON  
18610 BECK ST  
PERRIS CA 92570

314210008  
FLAVIO ROBLES  
18609 DONNA LN  
PERRIS CA 92570

314210011  
ANNETTE CINDY LAZROVICH  
22844 MARKHAM ST  
PERRIS CA 92570

314210017  
AUGUSTINE MICHAEL LAZROVICH  
18806 DECKER RD  
PERRIS CA 92570

314210027  
MANUEL O. ORTEGA  
22911 MARKHAM ST  
PERRIS CA 92570

314210030  
DEBRA CHRISTENSON  
22923 MARKHAM ST  
PERRIS CA 92570

314220006  
ANTONIO GARCIA  
1076 13TH ST  
RICHMOND CA 94801

314220012  
CECILIA VIZCAINO  
7031 36TH ST  
RIVERSIDE CA 92509

314230021  
SALVADOR RODRIGUEZ  
18690 DECKER RD  
PERRIS CA 92570

314092052  
MICHAEL J. STANLEY  
22933 PERRY ST  
PERRIS CA 92570

314092071  
JORGE CARRANZA  
18810 LISA LN  
PERRIS CA 92570

314210012  
MARCO A. TOSTADO  
22848 MARKHAM ST  
PERRIS CA 92570

314092057  
AGUSTIN SANDOVAL  
18775 SEATON AVE  
PERRIS CA 92570

314210003  
MARIA MATA  
34965 WILLOW SPRINGS DR  
YUCAIPA CA 92399

314210016  
ALEX STANLEY  
22865 MARKHAM ST  
PERRIS CA 92570

314210024  
JACKIE LEEN  
22875 MARKHAM ST  
PERRIS CA 92570

314210031  
MARGARITA CATALINA CASTILLO ELISALDE  
22931 MARKHAM ST  
PERRIS CA 92570

314210013  
LETICIA ORTEGA  
22852 MARKHAM ST  
PERRIS CA 92570

314210023  
CAROL LONSFORD  
22879 MARKHAM ST  
PERRIS CA 92570

314210042  
STANLEY JODY C LIVING TRUST  
22985 MARKHAM ST  
PERRIS CA 92570

314220013  
EDUARDO LEON  
18541 BECK ST  
PERRIS CA 92570

314230003  
TOMAS SANTAMARIA  
18602 BECK ST  
PERRIS CA 92570

314230011  
ANA MARIA ALDAREGUIA  
18708 DECKER RD  
PERRIS CA 92570

314092076  
LAURO CUEVAS  
22825 PERRY ST  
PERRIS CA 92570

314230014  
CORELYN RIVERA  
22720 PERRY ST  
PERRIS CA 92570

314230009  
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7464 FIRE OAK DR  
HIGHLAND CA 92346

314230013  
PEGGY A. MITTAN  
22690 PERRY ST  
PERRIS CA 92570

314240010  
SAUL MONTES  
11612 MAC DUFF ST  
GARDEN GROVE CA 92841

314092077  
PAULINO H. VEGA  
22831 PERRY ST  
PERRIS, CA 92571

314092075  
AGAPITO ORTIZ  
20902 WELLS ST  
PERRIS CA 92570

314260001  
MAJESTIC FREEWAY BUSINESS CENTER  
13191 CROSSROADS PKWY N  
LA PUENTE CA 91746

314280004  
MAJESTIC FREEWAY BUSINESS CENTER  
13191 CROSSROADS N 6TH FL  
CITY OF INDUSTRY CA 91746

314210043  
REGGIE STANLEY  
22991 MARKHAM ST  
PERRIS CA 92570

314210044  
GUS GOLOBE  
4620 GRAVENSTINE HWY S  
SEBASTOPOL CA 95472

314220010  
CHRISTINA E. ARIPEZ  
18580 DECKER RD  
PERRIS CA 92570

314210019  
MIGUEL LEAL  
22897 MARKHAM ST  
PERRIS CA 92570

314210028  
ANGELINA A. GONZALEZ  
22915 MARKHAM ST  
PERRIS CA 92570

314230002  
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18640 DECKER RD  
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314230006  
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314230010  
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18704 DECKER RD  
PERRIS CA 92570

314210002  
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22765 MARKHAM ST  
PERRIS CA 92570

314210004  
DAVID M. ROMERO  
22805 MARKHAM ST  
PERRIS CA 92570

314220014  
GLORIA AMESUR  
18600 DECKER RD  
PERRIS CA 92570

314210001  
JOSHUAL LAZROVICH  
18510 BECK ST  
PERRIS CA 92570

314210005  
HERCA PROP  
18610 BECK ST  
PERRIS CA 92570

314210007  
RODNEY DEAN STANLEY  
22929 MARKHAM ST  
PERRIS CA 92570

314210018  
SANTIAGO HERNANDEZ  
22903 MARKHAM ST  
PERRIS CA 92570



314210033  
MANUEL IGNACIO  
20523 MYRON ST  
PERRIS CA 92570

314210040  
RAMON SALGADO  
22971 MARKHAM ST  
PERRIS CA 92570

314220005  
JAMIE M. STANLEY  
22625 MARKHAM ST  
PERRIS CA 92570

314220009  
XOCHITL ZAMBRANO  
18570 DECKER RD  
PERRIS CA 92570

314220011  
BELCHER FAMILY TRUST DTD 3/29/2019  
18590 DECKER RD  
PERRIS CA 92570

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City of Perris  
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Perris, CA 92570

Val Verde Unified School District  
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Regional Water Quality Control Board #8  
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Riverside, CA. 92501

Riverside Transit Agency  
Joe Forgiarini  
1825 3rd St.  
Riverside, CA 92517-1968

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Soboba Band of Luiseno  
Indians  
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Rincon Band of Luiseno Indians  
Cheryl Madrigal, Tribal Historic  
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Benjamin Horning  
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EPD Solutions  
2355 Main Street, Ste 100  
Irvine, CA 92614



OUTREACH &  
COMMUNITY  
ENGAGEMENT

# SEATON SMALL BUSINESS CENTER

**PROJECT ADDRESS:**

SEATON AVE & PERRY ST  
RIVERSIDE COUNTY, CA 92570



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# DEDEAUX PROPERTIES

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Dedeaux Properties and its affiliates have a long and successful history in California real estate, dating back over 50 years. What sets Dedeaux apart from other developers is their efforts to get involved, give back and listen at a local level to understand the needs of the community.

Through the Rod Dedeaux Foundation, Dedeaux actively gives back and engages with the communities they work in. For example, the Foundation awards annual college scholarships to support underprivileged youth to achieve their dreams.

In Mead Valley, the Dedeaux Foundation volunteered and contributed \$41.5k towards several community events and programs. This report provides context on Dedeaux's outreach and community engagement efforts for the Seaton Small Business Center.

# PROJECT OVERVIEW



Dedeaux Properties plans to revitalize a 9.4 acre site that they own on Seaton Avenue with a small, state of the art business center that is consistent with the County's current General Plan land use designation General Plan land use designation of Light Industrial and zoning designation of Industrial Park (I-P) and Manufacturing, Service Commercial (M-SC). The land use and zoning figures are provided on the following page.

The Seaton Small Business Center would contain two single-story warehouse buildings (each approximately 49,500 SF) with a limited office space. To protect the privacy of the neighboring residents, there will be adequate screening along the west and north property lines. Additionally, access to the site will be restricted to Seaton Ave.

The proposed project is thoughtfully designed to be compatible with the neighboring properties and Mead Valley community. The Seaton Small Business Center will ultimately add long-term value by bringing improvements to the site and good business to the area. An aerial view of the Seaton Small Business Center is provided above.



*The project is consistent with the General Plan land use designation of Light Industrial (LI).*



*The project is consistent with the zoning designation of Industrial Park (I-P) and Manufacturing, Service Commercial (M-SC)*



# OUR APPROACH

## Outreach and Community Engagement

It was important to Dedeaux Properties to go above and beyond the required outreach efforts for the proposed Seaton Small Business Center. Dedeaux developed a strategy that intertwined outreach and community engagement to increase transparency on the project, build trust with the community, and establish meaningful partnerships. The key stakeholders for both strategies included the Mead Valley MAC board members, District 1, neighboring property owners, and local residents.

The outreach efforts focused on:

1. **Informing** the community on the proposed Seaton Small Business Center.
2. **Listening** to the community's comments/inquiries.
3. **Engaging** with local residents to address comments/inquiries.

The community engagement efforts focused on:

1. **Building long-term relationships** with Mead Valley residents and community leaders.
2. **Contributing** towards community needs.



# OUTREACH STRATEGY

DEDEAUX'S OUTREACH EFFORTS WERE EXECUTED IN FOUR MAIN PHASES.

## PROMOTE

- English and Spanish community notices were sent out to residents within the project's 1,200 foot radius. The mailing map is provided on the following page.
- June 23, 2021 - first set of mailing notices were sent (refer to Appendix A).

## PREPARE

- July 1, 2021 - second set of mailing notices were sent (refer to Appendix B).
- The outreach email was monitored for comments / inquiries. The team received no comments / inquiries from the community.

## INFORM

- July 7, 2021 - Dedeaux provided an informational presentation to the Mead Valley MAC Board and local community members. Over 100 community members attended the MAC meeting.

## ENGAGE

- July 7, 2021 - Dedeaux also held an open house at the MAC to engage with community members before and after the MAC meeting. The open house included five informational stations, two booths, and sponsored snacks. (refer to Appendix E)

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# OUTREACH MAILING MAP



*To inform the community on the proposed Seaton Small Business Center and to promote Dedeaux Properties participation at the July MAC Meeting, community flyers were sent to residents that fell within the 1,200' foot radius of the project site.*

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# COMMUNITY ENGAGEMENT

The following captures Dedeaux's community engagement involvement from June 2021 through February 2022.

## COMMUNITY ENGAGEMENT EFFORTS

### FEEDING AMERICA FOOD DRIVE

JUNE 23, 2021

ROLE: VOLUNTEER



The Feeding America Drive Through volunteering event was a success - Dedeaux helped distribute approximately 200 food packages. Key relationships that were established included Misty Felix (Mead Valley Community Center stakeholder) and active community members of The Grove (local church that partners with the 1st District on leading community events throughout the year). Dedeaux was the first developer in the area to engage on a hyper-local level with the community at the Feeding America Food Drive.

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### CONCERT & MOVIE IN THE PARK

JULY 16, 2021

ROLE: VOLUNTEER



Mead Valley Concert and Movie in the Park volunteering event was a success. Approximately 130 community members came to event. Dedeaux's role was greeting, mingling with attendees, and handing out popcorn throughout the night.

Key relationships that were nourished include the following:

- Hashish Winstead - 1st District stakeholder
- Misty Felix - Mead Valley Community Center stakeholder
- Noland Turnage - The Grove (local church) stakeholder

---

### FALL TOWN HALL

SEPTEMBER 17, 2021

ROLE: PARTICIPANT



SPONSOR



The Fall Town Hall was a very well attended community event (over 100 community members came). The event was organized by District 1 and hosted by The Grove. Participating in this community event helped further nourish a continuous partnership relationship with these two key stakeholders.

Before the meeting started, community members checked in and completed a

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## FALL TOWN HALL (CONT)

SEPTEMBER 17, 2021

ROLE: PARTICIPANT



SPONSOR



passport activity. This activity required community members to visit 14 agency vendor tables to learn how each agency works to make Mead Valley a stronger community. Vendor tables ranged from the EMWD to the Riverside County Board of Supervisors.

District 1 shined extra light on their only sponsor of the night, Dedeaux Properties, by marketing Dedeaux's logo on the back of each community member's passport; and having Dedeaux as the final table that community members needed to visit in order to get a ticket to enter the Dedeaux-sponsored raffle. The sponsored prizes included one Macbook, two iPads, and two AirPod Pros.

The raffled prizes were memorable and well received by the community because they served as educational technology and mental health/wellness resources.

---

## FALL FESTIVAL

OCTOBER 20, 2021

ROLE: VOLUNTEER



SPONSOR



Mead Valley held its annual Fall Festival where 20 local agencies/organizations participated in the trunk or treat and over 1,000 community members attend the event. Gaining increased exposure and developing relationships, Dedeaux Properties engaged with the community and participated in the trunk or treat. Dedeaux sponsored the community raffle and the prizes included one Airpod Pro, one iPad, and three Macbook Pros.

As the only developer in the area that participated in the event and sole community raffle sponsor, Dedeaux Properties presence stood out to both the community and County.

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## FESTIVAL OF LIGHTS

DECEMBER 4, 2021

ROLE: SPONSOR



Dedeaux contributed to the funding for the community's holiday event.

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## COLUMBIA ELEMENTARY GARDEN

FEBRUARY 16, 2022

ROLE: SPONSOR



Dedeaux fully funded the Columbia Elementary School's garden. As part of the sponsorship, the elementary school has invited Dedeaux to attend their garden dedication event (late April/early May) and will have a Dedeaux banner that hang on the fence year round. Refer to Appendix F for the thank you letter Dedeaux received from the Val Verde Unified School District.

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# CONCLUSION & NEXT STEPS

Dedeaux's outreach and community engagement efforts for the Seaton Small Business Center went above and beyond simply informing the community about the project. Dedeaux focused on engaging with the community, establishing long-term relationships, and understanding the community's interests and needs. This allowed the team to increase transparency on the Seaton Small Business Center, build trust with the community, and give back to Mead Valley in a meaningful way.

The inclusive relationship building nature of Dedeaux's outreach and community engagement strategy was intentional. Ultimately it enabled public participation and community input to determine the perception of not only the proposed project, but also who Dedeaux is as a neighbor in the community.

Overall, the community feels positive about the proposed project for the following reasons:

- The proposed project is **consistent** with the General Plan land use designation of Light Industrial and zoning designation of Industrial Park (I-P) and Manufacturing, Service Commercial (M-SC).
- District 1, The Grove, and Mead Valley Community Center are particularly hopeful of the **continuous partnership** with Dedeaux to empower their community.
- Dedeaux plans to **continue their engagement** with the community and participate as a volunteer, participant, and/or sponsor for future community events.

The outreach team will continue to monitor the project outreach email and maintain communication with the neighboring residents and local businesses as the project moves forward with construction and occupancy.

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# APPENDIX A:

**INFORMATIONAL MAILING  
COLLATERAL - JUNE 23, 2021**

# SEATON SMALL BUSINESS CENTER

SUPPORTING RIVERSIDE COUNTY WITH MEANINGFUL TRANSFORMATIONS, COMMUNITY PARTNERSHIPS,  
& BUILDING AN UNSHAKEABLE LOCAL ECONOMY



*The aerial and street views above are renderings of the Seaton Small Business Center.*

## INTRODUCING DEDEAUX PROPERTIES & THE PROPOSED SEATON SMALL BUSINESS CENTER

Dedeaux Properties is pleased to be a part of your community. What sets us apart from other developers is our efforts to be a good neighbor by creating transparency on our projects. Dedeaux Properties is involved and listens at a local level to understand the needs of the community.

To that end, we plan to revitalize and enhance the 9.4 acre site we own on Seaton Avenue with a small, state of the art business center that is consistent with the County's current industrial zoning. The Seaton Small Business Center will add long-term value by bringing improvements to our site and good business to the area.

Our business center would contain two single-story warehouse buildings (each approximately 49,500 SF) with a limited office space.

To protect the privacy of our residential neighbors, there will be adequate screening along the west and north property lines. Additionally, access to the site will be restricted to Seaton Ave.

The Seaton Small Business Center is thoughtfully designed to be compatible with the neighboring properties and your community. We look forward to speaking with you about our company and this project at upcoming events. Please reach out to us at anytime at the email and phone number below if you have questions or feedback.



WANT TO LEARN MORE MORE ABOUT:



01

THE PROPOSED SMALL  
BUSINESS CENTER



02

STRATEGIC BUILDING  
DESIGN FEATURES



03

PROJECT ECONOMIC  
BENEFITS



04

DEVELOPMENT  
SCHEDULE



05

PROJECT COMMUNITY  
BENEFITS



06

COMMUNITY  
PARTNERSHIPS &  
SPONSORSHIPS

WE INVITE YOU TO ATTEND OUR  
JULY **MAC MEETING & OPEN HOUSE.**

WHEN: JULY 7TH

TIME: 5:30 PM

LOCATION: MEAD VALLEY COMMUNITY CENTER | 21091 RIDER ST, PERRIS, CA 92570

PLEASE EMAIL YOUR RSVP OR CONTACT US TO PROVIDE FEEDBACK AT:

**[SEATONAVEOUTREACH@GMAIL.COM](mailto:SEATONAVEOUTREACH@GMAIL.COM) | 949-794-1190**

\*\*\*LIGHT SNACKS & REFRESHMENTS WILL BE PROVIDED\*\*\*

WE LOOK FORWARD TO SEEING YOU THERE!

# SEATON SMALL BUSINESS CENTER

APOYANDO AL CONDADO DE RIVERSIDE CON TRANSFORMACIONES SIGNIFICATIVAS, ASOCIACIONES COMUNITARIAS Y CONSTRUIR UNA ECONOMÍA LOCAL MÁS FUERTE



## PRESENTAMOS DEDEAUX PROPERTIES Y LA PROPUESTA SEATON SMALL BUSINESS CENTER

Dedeaux Properties se complace en ser parte de su comunidad. Lo que nos diferencia de otros desarrolladores son nuestros esfuerzos por ser un buen vecino mediante la creación de transparencia en nuestros proyectos. Dedeaux Properties está involucrado y escucha a nivel local para entender las necesidades de la comunidad.

Al final, planeamos revitalizar y mejorar el sitio de 9.4 acres que poseemos en Seaton Avenue con un pequeño centro de negocios que es consistente con la zonificación industrial del Condado. El Seaton Small Business Center agregará valor a largo plazo al traer mejoras estructurales a nuestro sitio y buenos negocios a la Zona.

Nuestro centro de negocios contendría dos edificios de almacenes de un solo piso (cada uno de aproximadamente 49,500 pies cuadrados) con un espacio de oficinas limitado.

*Las vistas aéreas y de la calle de arriba son representaciones del Seaton Small Business Center.*

Para proteger la privacidad de nuestros vecinos residenciales, habrá una evaluación adecuada a lo largo de las líneas de propiedad oeste y norte. Además, el acceso al sitio estará restringido a Seaton Ave.

El Seaton Small Business Center está cuidadosamente diseñado para ser compatible con las propiedades vecinas y su comunidad. Esperamos poder hablar con usted sobre nuestra empresa y este proyecto en los próximos eventos. Llámanos en cualquier momento en el correo electrónico y el número de teléfono a continuación si tienes preguntas o comentarios.

## SI DESEA MÁS INFORMACIÓN SOBRE:



**01**  
EL PROPUESTO  
SEATON SMALL  
BUSINESS CENTER



**02**  
ESTRATÉGIAS DE  
DISEÑO DE EDIFICIOS



**03**  
BENEFICIOS  
ECONÓMICOS DEL  
PROYECTO



**04**  
CALENDARIO DE  
DESARROLLO



**05**  
BENEFICIOS DE LA  
COMUNIDAD DEL  
PROYECTO



**06**  
ASOCIACIONES  
COMUNITARIAS Y  
PATROCINIO

TE INVITAMOS A ASISTIR A NUESTRA **REUNIÓN MAC**  
Y **CASA ABIERTA** EN JULIO .

CUANDO: 7 DE JULIO

HORA: 5:30 PM

LOCALIZACIÓN: MEAD VALLEY COMMUNITY CENTER | 21091 RIDER ST, PERRIS, CA 92570

ENVÍE UN CORREO ELECTRÓNICO A SU RSVP O PÓNGASE EN CONTACTO CON NOSOTROS PARA  
PROPORCIONAR COMENTARIOS A:

**SEATONAVEOUTREACH@GMAIL.COM | 949-794-1190**

\*\*\*SE PROPORCIONARÁN REFRIGERIOS\*\*\*

¡ESPERAMOS VERTE ALLÍ!

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**APPENDIX B:**

**PROMOTIONAL MAILING  
COLLATERAL - JULY 1, 2021**



# JULY MAC/OPEN HOUSE MEETING

## SEATON SMALL BUSINESS CENTER

### DATE

July 7, 2021

### TIME

5:30 PM - Open House

6:00 PM - MAC Meeting

### PURPOSE OF MEETING

LEARN MORE ABOUT THE  
PROPOSED DEVELOPMENT

### LOCATION

Mead Valley Community Center  
21091 Rider St  
Perris, CA 92570

# RSVP NOW!

Please respond by July 6. Email

RSVP to Catherine Aguilar at

[seatonaveoutreach@gmail.com](mailto:seatonaveoutreach@gmail.com)

or call 949-794-1190. Hope to see

you there!



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# APPENDIX C:

## MAILING LIST

1200' RADIUS  
SEATON AVE PROJECT

APN	OCCUPANT	SITE_ADDR	SITE_CITY	SITE_STATE	SITE_ZIP	OWNER_NAME	OWNER_ADDRESS	OWNER_CITY	OWNER_STATE	OWNER_ZIP
314-190-025	OCCUPANT	18391 SEATON AVE	PERRIS	CA	92570-7782	MAROUN JAY	15543 SADDLEBACK RD	RIVERSIDE	CA	92506-5829
314-190-024	OCCUPANT	18399 SEATON AVE	PERRIS	CA	92570-7782	PERALEZ LORI	18399 SEATON AVE	PERRIS	CA	92570-7782
314-190-067	OCCUPANT	18411 DONNA LN	PERRIS	CA	92570-9731	STANLEY JERRY M	18411 DONNA LN	PERRIS	CA	92570-9731
314-190-038	OCCUPANT	18412 DONNA LN	PERRIS	CA	92570-9731	STANLEY ANTHONY FRANK	18412 DONNA LN	PERRIS	CA	92570-9731
314-190-026	OCCUPANT	18431 SEATON AVE	PERRIS	CA	92570-9724	RAYMOND KEN	18431 SEATON AVE	PERRIS	CA	92570-9724
314-190-039	OCCUPANT	18437 DONNA LN	PERRIS	CA	92570-9731	STANLEY ROBERT STEVE	555 McLAUGHLIN AVE SPC 21	SAN JOSE	CA	95116-3356
314-190-069	OCCUPANT	18435 DONNA LN	PERRIS	CA	92570-9731	STANLEY JOHN	18435 DONNA LN	PERRIS	CA	92570-9731
314-190-040	OCCUPANT	18440 DONNA LN	PERRIS	CA	92570-9731	STANLEY ROBERT	18440 DONNA LN	PERRIS	CA	92570-9731
314-190-046	OCCUPANT	18443 DONNA LN	PERRIS	CA	92570-9731	STANLEY JIM	18443 DONNA LN	PERRIS	CA	92570-9731
314-190-041	OCCUPANT	18450 DONNA LN	PERRIS	CA	92570-9731	LAZROVICH BUD S	12307 RIATA RD	LOWER LAKE	CA	95457-9809
314-190-059	OCCUPANT	18453 DONNA LN	PERRIS	CA	92570-9731	CASTRO BERENICE	18453 DONNA LN	PERRIS	CA	92570-9731
314-190-048	OCCUPANT	18461 DONNA LN	PERRIS	CA	92570-9731	FRANCO EFRACIO	491 LISBON ST	PERRIS	CA	92571-4031
314-190-063	OCCUPANT	18466 SEATON AVE	PERRIS	CA	92570-9724	PETERSON JOSHUA	18463 SEATON AVE	PERRIS	CA	92570-9724
314-190-063	OCCUPANT	18466 DONNA LN	PERRIS	CA	92570-9731	STANLEY WILLIAM	18466 DONNA LN	PERRIS	CA	92570-9731
314-190-060	OCCUPANT	18479 DONNA LN	PERRIS	CA	92570-9731	ESTEVANOVICH CHRISTOPHER MARC	18479 DONNA LN	PERRIS	CA	92570-9731
314-190-062	OCCUPANT	18491 DONNA LN	PERRIS	CA	92570-9731	GARFIAS RODRIGO	18491 DONNA LN	PERRIS	CA	92570-9731
314-210-001	OCCUPANT	18510 BECK ST	PERRIS	CA	92570-9728	LAZROVICH JOSHUA	18510 BECK ST	PERRIS	CA	92570-9728
314-210-010	OCCUPANT	18518 DONNA LN	PERRIS	CA	92570-9761	STANLEY MICHAEL T	22841 MARKHAM ST	PERRIS	CA	92570-9733
314-220-016	OCCUPANT	18519 DECKER RD	PERRIS	CA	92570-9715	ARMAS ENRIQUE	18519 DECKER RD	PERRIS	CA	92570-9715
314-220-013	OCCUPANT	18541 BECK ST	PERRIS	CA	92570-9728	LEON EDUARDO	18541 BECK ST	PERRIS	CA	92570-9728
314-210-005	OCCUPANT	18550 BECK ST	PERRIS	CA	92570-9728	PROP HERCA	18510 BECK ST	PERRIS	CA	92570-9185
314-220-004	OCCUPANT	18550 DECKER RD	PERRIS	CA	92570-9715	BARAHONA JUAN	18550 DECKER RD	PERRIS	CA	92570-9715
314-220-008	OCCUPANT	18560 DECKER RD	PERRIS	CA	92570-9715	TODOROVITCH ROBERT S	18560 DECKER RD	PERRIS	CA	92570-9715
314-220-012	OCCUPANT	18561 BECK ST	PERRIS	CA	92570-9728	VIZCAINO CECILIA	18561 BECK ST	PERRIS	CA	92570-9728
314-220-018	OCCUPANT	18565 DECKER RD	PERRIS	CA	92570-9715	BERUMEN HUGO S	18565 DECKER RD	PERRIS	CA	92570-9715
314-220-010	OCCUPANT	18580 DECKER RD	PERRIS	CA	92570-9715	CHIC AMINE	18570 DECKER RD	PERRIS	CA	92570-9715
314-220-011	OCCUPANT	18590 DECKER RD	PERRIS	CA	92570-9715	ARPEZ CHRISTINA E	18580 DECKER RD	PERRIS	CA	92570-9715
314-220-014	OCCUPANT	18600 DECKER RD	PERRIS	CA	92570-9715	THE BELCHER FAMILY TRUST	18580 DECKER RD	PERRIS	CA	92570-9715
314-230-003	OCCUPANT	18601 BECK ST	PERRIS	CA	92570-7158	AMESUR GLORIA	PO BOX 6553	MARCH AIR RESERVE BASE	CA	92518-6553
314-210-041	OCCUPANT	18605 SEATON AVE	PERRIS	CA	92570-9185	SANTAMARIA TOMAS	18600 DECKER RD	PERRIS	CA	92570-7158
314-210-006	OCCUPANT	18610 BECK ST	PERRIS	CA	92570-9191	MAGALLON SANDRA	18602 BECK ST	PERRIS	CA	92570
314-220-017	OCCUPANT	18640 DECKER RD	PERRIS	CA	92570-9185	CASTELLON HECTOR	18610 BECK ST	PERRIS	CA	92570-9185
314-230-002	OCCUPANT	18640 DECKER RD	PERRIS	CA	92570-7158	STANLEY MICHAEL N	18611 DECKER RD	PERRIS	CA	92570-7158
314-230-001	OCCUPANT	18643 DECKER RD	PERRIS	CA	92570-7158	GONZALEZ SERGIO H	18640 DECKER RD	PERRIS	CA	92570-7158
314-230-005	OCCUPANT	18660 DECKER RD	PERRIS	CA	92570-7158	STANLEY MICHAEL T	22841 MARKHAM ST	PERRIS	CA	92570-9733
314-230-004	OCCUPANT	18661 DECKER RD	PERRIS	CA	92570-7158	IBARRA JUAN FRANCISCO	18660 DECKER RD	PERRIS	CA	92570-7158
314-230-007	OCCUPANT	18690 DECKER RD	PERRIS	CA	92570-7158	CABRERA JUAN P	18661 DECKER RD	PERRIS	CA	92570-7158
314-230-021	OCCUPANT	18690 DECKER RD	PERRIS	CA	92570-7158	RODRIGUEZ SALVADOR	18661 DECKER RD	PERRIS	CA	92570-7158
314-230-008	OCCUPANT	18691 DECKER RD	PERRIS	CA	92570-7158	PENA EDILBERTO	18691 DECKER RD	PERRIS	CA	92570-7158
314-230-009	OCCUPANT	18700 DECKER RD	PERRIS	CA	92570-7159	CABRERA JUAN PABLO	7464 FIRE OAK DR	HIGHLAND	CA	92346-3998
314-230-010	OCCUPANT	18704 DECKER RD	PERRIS	CA	92570-7159	TINOCO BERNARDO	18704 DECKER RD	PERRIS	CA	92570-7159
314-230-011	OCCUPANT	18708 DECKER RD	PERRIS	CA	92570-7159	ALDAREGUIA ANA	18708 DECKER RD	PERRIS	CA	92570-7159
314-230-012	OCCUPANT	18708 DECKER RD	PERRIS	CA	92570-7159	ALDAREGUIA ANA	18708 DECKER RD	PERRIS	CA	92570-7159
314-240-004	OCCUPANT	18711 DECKER RD	PERRIS	CA	92570-7160	RENDON EDWARD ALEXANDER	18711 DECKER RD	PERRIS	CA	92570-7160
314-240-007	OCCUPANT	18719 DECKER RD	PERRIS	CA	92570-7160	PETERSON JEAN	18719 DECKER RD	PERRIS	CA	92570-7160
314-092-001	OCCUPANT	18771 USA LN	PERRIS	CA	92570-8727	ROJO CLEMENCIO MARTINEZ	18771 USA LN	PERRIS	CA	92570-8727
314-092-079	OCCUPANT	18780 USA LN	PERRIS	CA	92570-7162	TURNER LYDELL GABRIEL	18780 USA LN	PERRIS	CA	92570-7162
314-092-058	OCCUPANT	18795 SEATON AVE	PERRIS	CA	92570-8721	PROP JOLET	776 HIGHRIDGE ST	RIVERSIDE	CA	92506-7563
314-240-009	OCCUPANT	18806 DECKER RD	PERRIS	CA	92570-9791	LAZROVICH GUS	18806 DECKER RD	PERRIS	CA	92570-9791
314-092-071	OCCUPANT	18810 USA LN	PERRIS	CA	92570-9726	CARRANZA JORGE	18810 USA LN	PERRIS	CA	92570-9726
314-092-002	OCCUPANT	18811 USA LN	PERRIS	CA	92570-8727	URIBE LUIS ALFONSO	18811 USA LN	PERRIS	CA	92570-8727

1200' RADIUS  
SEATON AVE PROJECT

314-092-003	OCCUPANT	18829 LISA LN	PERRIS	CA	92570-8727	CASTILLO NORMA L	18829 LISA LN	PERRIS	CA	92570-8727
314-092-080	OCCUPANT	18830 LISA LN	PERRIS	CA	92570-9726	HERNANDEZ JUAN	18830 LISA LN	PERRIS	CA	92570-9726
314-240-012	OCCUPANT	18840 DECKER RD	PERRIS	CA	92570-9791	BLANCO ADOLFO	18840 DECKER RD	PERRIS	CA	92570-9791
314-092-004	OCCUPANT	18847 LISA LN	PERRIS	CA	92570-8727	JARVIS EDWARD	18847 LISA LN	PERRIS	CA	92570-8727
314-240-013	OCCUPANT	18848 DECKER RD	PERRIS	CA	92570-9791	SANCHEZ JAVIER	18848 DECKER RD	PERRIS	CA	92570-9791
314-250-008	OCCUPANT	18850 DECKER RD	PERRIS	CA	92570-9791	GUTIERREZ VICTOR	18850 DECKER RD	PERRIS	CA	92570-9791
314-092-065	OCCUPANT	18856 LISA LN	PERRIS	CA	92570-9726	WALLACE JERRY CLIFFORD	1218 PARK AVE	PERRIS	CA	92570-4540
314-092-005	OCCUPANT	18855 LISA LN	PERRIS	CA	92570-8727	SEABRA GAIL	18855 LISA LN	PERRIS	CA	92570-8727
314-240-014	OCCUPANT	18856 DECKER RD	PERRIS	CA	92570-9791	GROCHOWSKY JENNIE MARIE	48755 LEANING ROCK CT	PERRIS	CA	92536-9003
314-092-018	OCCUPANT	18859 LISA LN	PERRIS	CA	92570-8727	MCCREEDY KENNETH ROGER	2041 RICE CANYON RD	FALLBROOK	CA	92028-9632
314-092-019	OCCUPANT	18863 LISA LN	PERRIS	CA	92570-8727	MACE ELISIE M	18863 LISA LN	PERRIS	CA	92570-8727
314-250-003	OCCUPANT	18865 DECKER RD	PERRIS	CA	92570-9791	PLAZA RODOLFO	18865 DECKER RD	PERRIS	CA	92570-9791
314-240-015	OCCUPANT	18866 DECKER RD	PERRIS	CA	92570-9791	HONG CHRISTOPHER M	18866 DECKER RD	PERRIS	CA	92570-9791
314-250-005	OCCUPANT	18870 DECKER RD	PERRIS	CA	92570-9791	RAMOS FAUSTINA CUREL	18870 DECKER RD	PERRIS	CA	92570-9791
314-092-012	OCCUPANT	18870 LISA LN	PERRIS	CA	92570-9726	BERARDINI VITO	PO BOX 489	MENIFEE	CA	92586-0489
314-092-057	OCCUPANT	18875 SEATON AVE	PERRIS	CA	92570-8720	SANDOVAL AGUSTIN	18775 SEATON AVE	PERRIS	CA	92570-8719
314-092-011	OCCUPANT	18876 LISA LN	PERRIS	CA	92570-9726	LUCIAS JORGE R	18876 LISA LN	PERRIS	CA	92570-9726
314-250-006	OCCUPANT	18878 DECKER RD	PERRIS	CA	92570-9791	GUTIERREZ FELIPE	18878 DECKER RD	PERRIS	CA	92570-9791
314-092-010	OCCUPANT	18878 LISA LN	PERRIS	CA	92570-9726	BERARDINI VITO	PO BOX 489	PERRIS	CA	92572-0489
314-250-007	OCCUPANT	18886 DECKER RD	PERRIS	CA	92570-9791	MONREAL PATRICIA	18886 DECKER RD	PERRIS	CA	92570-9791
314-130-028	OCCUPANT	18890 SEATON AVE	PERRIS	CA	92570-8720	PSLQ INC	18890 SEATON AVE	PERRIS	CA	92570-8720
314-250-009	OCCUPANT	18910 DECKER RD	PERRIS	CA	92570-7161	MERCADO EDUARDO	23051 CAJALCO RD	PERRIS	CA	92570-9584
314-130-011	OCCUPANT	18916 SEATON AVE	PERRIS	CA	92570-8720	BLACKBURN MARK S	29390 VIA NORTE	TEMECULA	CA	92591-1837
314-230-016	OCCUPANT	22508 PERRY ST	PERRIS	CA	92570-9716	MARTINEZ CHARLES	22508 PERRY ST	PERRIS	CA	92570-9716
314-230-023	OCCUPANT	22510 PERRY ST	PERRIS	CA	92570-9716	VALDIVIA FELIPE	22510 PERRY ST	PERRIS	CA	92570-9716
314-220-015	OCCUPANT	22541 MARKHAM ST	PERRIS	CA	92570-8882	STANKO DANIEL N	PO BOX 2314	MORGAN HILL	CA	95038-2314
314-220-002	OCCUPANT	22551 MARKHAM ST	PERRIS	CA	92570-8883	MATTHEWS ROBERT L	4931 DASSCO CT	SAN DIEGO	CA	92102-3717
314-240-002	OCCUPANT	22551 PERRY ST	PERRIS	CA	92570-9716	WAND RUTH J	12430 INDIAN RIVER DR	APPLE VALLEY	CA	92308-6773
314-051-005	OCCUPANT	22560 MARKHAM ST	PERRIS	CA	92570-8883	STANKO RICK	22560 MARKHAM ST	PERRIS	CA	92570
314-230-024	OCCUPANT	22574 PERRY ST	PERRIS	CA	92570-9716	AGUIRRE GERMAN	14329 DOVE CANYON DR	RIVERSIDE	CA	92503-6430
314-051-006	OCCUPANT	22586 MARKHAM ST	PERRIS	CA	92570-8883	RIGGS LARRY	514 S PLYMOUTH PL	ANAHEIM	CA	92806-4210
314-051-007	OCCUPANT	22620 MARKHAM ST	PERRIS	CA	92570-7961	VILLEGAS JOSE LUIS	701 RYAN AVE	LA HABRA	CA	90631-2762
314-220-005	OCCUPANT	22625 MARKHAM ST	PERRIS	CA	92570-7961	STANLEY JAMIE M	22625 MARKHAM ST	PERRIS	CA	92570-7961
314-240-003	OCCUPANT	22631 PERRY ST	PERRIS	CA	92570-9716	GASPAR EMILIANO R	22631 PERRY ST	PERRIS	CA	92570-9716
314-051-008	OCCUPANT	22634 MARKHAM ST	PERRIS	CA	92570-7961	GEORGE CHRISTOPHER	22634 MARKHAM ST	PERRIS	CA	92570-7961
314-230-025	OCCUPANT	22636 PERRY ST	PERRIS	CA	92570-9716	ORTEGA FRANCISCO PEREZ	21980 PALM LN	PERRIS	CA	92570-8288
314-051-009	OCCUPANT	22650 MARKHAM ST	PERRIS	CA	92570-7961	ALDERSON CHARLES T	22650 MARKHAM ST	PERRIS	CA	92570-7961
314-230-013	OCCUPANT	22690 PERRY ST	PERRIS	CA	92570-8925	MITTAN PEGGY	22690 PERRY ST	PERRIS	CA	92570-8925
314-240-010	OCCUPANT	22695 PERRY ST	PERRIS	CA	92570-8925	MONTES SAUL	11612 MAC DUFF ST	GARDEN GROVE	CA	92841-1944
314-230-014	OCCUPANT	22720 PERRY ST	PERRIS	CA	92570-8925	RIVERA CORELYN	22720 PERRY ST	PERRIS	CA	92570-8925
314-240-011	OCCUPANT	22723 PERRY ST	PERRIS	CA	92570-8925	JAMROZ IRENE D	25913 PLEASANT ST	HEMET	CA	92544-7601
314-220-006	OCCUPANT	22735 MARKHAM ST	PERRIS	CA	92570-9729	GARCIA ANTONIO	1076 13TH ST	RICHMOND	CA	94801-2349
314-190-001	OCCUPANT	22770 MARKHAM ST	PERRIS	CA	92570-9729	HERNANDEZ RENE A	22765 MARKHAM ST	PERRIS	CA	92570-9729
314-091-006	OCCUPANT	22770 PERRY ST	PERRIS	CA	92570-9725	TILED	3535 INLAND EMPIRE BLVD	ONTARIO	CA	91764-4908
314-210-003	OCCUPANT	22785 MARKHAM ST	PERRIS	CA	92570-9725	HULL RICHARD	16150 REINER CIR	RIVERSIDE	CA	92504-6150
314-210-004	OCCUPANT	22805 MARKHAM ST	PERRIS	CA	92570-9730	ROMERO DAVID M	34965 WILLOW SPRINGS DR	YUCAIPA	CA	92399-5932
314-092-043	OCCUPANT	22817 COUGAR ST	PERRIS	CA	92570-7650	DOMINGUEZ YOSELIN	22805 MARKHAM ST	PERRIS	CA	92570-9730
314-092-053	OCCUPANT	22820 COUGAR ST	PERRIS	CA	92570-7650	POURDARANI MINA	22817 COUGAR ST	PERRIS	CA	92570-7650
314-092-076	OCCUPANT	22825 PERRY ST	PERRIS	CA	92570-9725	CUEVAS LAURO	2010 CITRUS WOOD LN	RIVERSIDE	CA	92503-6608
314-092-054	OCCUPANT	22830 COUGAR ST	PERRIS	CA	92570-7650	PAYAN JULIO CESAR RUELAS	22825 PERRY ST	PERRIS	CA	92570-9725
314-092-044	OCCUPANT	22835 COUGAR ST	PERRIS	CA	92570-7650	GONZALEZ AURORA HERRERA	22830 COUGAR ST	PERRIS	CA	92570-7650
314-190-065	OCCUPANT	22840 MARKHAM ST # A	PERRIS	CA	92570-9021	STANLEY GEORGE	22835 COUGAR ST	PERRIS	CA	92570-7650
							22840 MARKHAM ST # A	PERRIS	CA	92570-9021



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314-190-064	OCCUPANT	22840 MARKHAM ST # B	CA	92570-9021	STANLEY GEORGE	22840 MARKHAM ST # B	PERRIS	CA	92570-9021
314-210-011	OCCUPANT	22844 MARKHAM ST	PERRIS	92570-9022	LAZROVICH ANNETTE	22844 MARKHAM ST	PERRIS	CA	92570-9022
314-210-012	OCCUPANT	22848 MARKHAM ST	PERRIS	92570-9022	TOSTADO MARCO A	22848 MARKHAM ST	PERRIS	CA	92570-9022
314-091-004	OCCUPANT	22850 PERRY ST	PERRIS	92570-9725	FRANKLIN RYAN D	16411 JAMES CT	PERRIS	CA	92504-5793
314-210-013	OCCUPANT	22852 MARKHAM ST	PERRIS	92570-9022	ORTEGA LETICIA	22852 MARKHAM ST	PERRIS	CA	92570-9022
314-210-014	OCCUPANT	22857 MARKHAM ST	PERRIS	92570-9733	GEORGE LARRY STEVE	22856 MARKHAM ST	PERRIS	CA	92570-9022
314-210-015	OCCUPANT	22861 MARKHAM ST	PERRIS	92570-9733	MITCHELL BRENDA J	19336 E CASAD ST	PERRIS	CA	91723-3226
314-210-016	OCCUPANT	22865 MARKHAM ST	PERRIS	92570-9733	STANLEY ALEX	22865 MARKHAM ST	PERRIS	CA	92570
314-210-017	OCCUPANT	22869 MARKHAM ST	PERRIS	92570-9733	LAZROVICH AUGUSTINE	18806 DECKER RD	PERRIS	CA	92570-9791
314-092-055	OCCUPANT	22870 COUGAR ST	PERRIS	92570-7650	CULLUM RONALD	22870 COUGAR ST	PERRIS	CA	92570-7650
314-210-024	OCCUPANT	22871 MARKHAM ST	PERRIS	92570-9733	NEGRETE JOSE MARES	22871 MARKHAM ST	PERRIS	CA	92570-9733
314-210-025	OCCUPANT	22875 MARKHAM ST	PERRIS	92570-9733	LEEN JACKIE	22875 MARKHAM ST	PERRIS	CA	92570-9733
314-092-045	OCCUPANT	22877 COUGAR ST	PERRIS	92570-7650	RODRIGUES TERESA F	21413 BLOOMFIELD AVE	PERRIS	CA	90715-2350
314-210-023	OCCUPANT	22879 MARKHAM ST	PERRIS	92570-9733	LONSFORD CAROL	22879 MARKHAM ST	PERRIS	CA	92570-9733
314-210-022	OCCUPANT	22881 MARKHAM ST	PERRIS	92570-9733	BEECHER DAVID W	5753G SANTA ANA CYN 5600	PERRIS	CA	92807
314-092-056	OCCUPANT	22890 COUGAR ST	PERRIS	92570-7650	MITCHELL ERICKA	22890 COUGAR ST	PERRIS	CA	92570-7650
314-210-020	OCCUPANT	22893 MARKHAM ST	PERRIS	92570-9733	LUCAS STEVE G	22893 MARKHAM ST	PERRIS	CA	92570-9733
314-210-021	OCCUPANT	22893 MARKHAM ST	PERRIS	92570-9733	LUCAS STEVE G	22893 MARKHAM ST	PERRIS	CA	92570-9733
314-210-019	OCCUPANT	22897 MARKHAM ST	PERRIS	92570-9733	LEAL MIGUEL	22897 MARKHAM ST	PERRIS	CA	92570-9733
314-092-046	OCCUPANT	22899 COUGAR ST	PERRIS	92570-7650	STANLEY DAN R	22899 COUGAR ST	PERRIS	CA	92570-7650
314-190-019	OCCUPANT	22900 MARKHAM ST	PERRIS	92570-9734	STANKO SHANNON	PO BOX 2314	PERRIS	CA	95038-2314
314-210-018	OCCUPANT	22903 MARKHAM ST	PERRIS	92570-8884	HERNANDEZ SANTIAGO	22903 MARKHAM ST	PERRIS	CA	92570-8884
314-092-078	OCCUPANT	22905 PERRY ST	PERRIS	92570-9725	GONZALEZ MAGDALENA	22905 PERRY ST	PERRIS	CA	92570-8884
314-190-018	OCCUPANT	22906 MARKHAM ST	PERRIS	92570-9734	LAZROVICH MICHAEL JAMES	22906 MARKHAM ST	PERRIS	CA	92570-9734
314-210-026	OCCUPANT	22909 MARKHAM ST	PERRIS	92570-8884	GIL LUIS	22909 MARKHAM ST	PERRIS	CA	92570-8884
314-210-027	OCCUPANT	22911 MARKHAM ST	PERRIS	92570-8884	ORTEGA MANUEL O	22911 MARKHAM ST	PERRIS	CA	92570-8884
314-190-016	OCCUPANT	22911 MARKHAM ST	PERRIS	92570-9734	STANLEY JOHN R	22911 MARKHAM ST	PERRIS	CA	92570-9734
314-210-028	OCCUPANT	22915 MARKHAM ST	PERRIS	92570-8884	GONZALEZ ANGELINA A	22915 MARKHAM ST	PERRIS	CA	92570-8884
314-210-029	OCCUPANT	22919 MARKHAM ST	PERRIS	92570-8884	IUAEREZ VICTOR	22919 MARKHAM ST	PERRIS	CA	92570-8884
314-190-015	OCCUPANT	22920 MARKHAM ST	PERRIS	92570-9734	LAZROVICH GLORIA	22920 MARKHAM ST	PERRIS	CA	92570-9734
314-092-083	OCCUPANT	22921 COUGAR ST	PERRIS	92570-7654	GARCIA ARNULFO PEREZ	22921 COUGAR ST	PERRIS	CA	92570-7654
314-210-030	OCCUPANT	22923 MARKHAM ST	PERRIS	92570-8886	CHRISTENSON DEBRA	22923 MARKHAM ST	PERRIS	CA	92570-8886
314-210-009	OCCUPANT	22925 MARKHAM ST	PERRIS	92570-8886	LAZROVICH JEFFIE J	22925 MARKHAM ST	PERRIS	CA	92570-8886
314-092-033	OCCUPANT	22926 COUGAR ST	PERRIS	92570-7654	VALADEZ ESMERALDA	22926 COUGAR ST	PERRIS	CA	92570-7654
314-210-008	OCCUPANT	22927 MARKHAM ST	PERRIS	92570-8886	ROBLES FLAVIO	18609 DONNA LN	PERRIS	CA	92570
314-210-007	OCCUPANT	22929 MARKHAM ST	PERRIS	92570-8886	STANLEY RODNEY DEAN	22929 MARKHAM ST	PERRIS	CA	92570-8886
314-190-020	OCCUPANT	22930 MARKHAM ST	PERRIS	92570-7962	LAZROVICH JOHN & BERTINA JOIN	22930 MARKHAM ST	PERRIS	CA	92570-7962
314-210-031	OCCUPANT	22931 MARKHAM ST	PERRIS	92570-8887	CASTILLO ELISALDE MARGARITA CATALINA	22931 MARKHAM ST	PERRIS	CA	92570-8887
314-092-052	OCCUPANT	22933 PERRY ST	PERRIS	92570-9725	STANLEY MICHAEL J	22933 PERRY ST	PERRIS	CA	92570-9725
314-210-032	OCCUPANT	22937 MARKHAM ST	PERRIS	92570-8887	ESQUIVEL LORENA IVARRA	22937 MARKHAM ST	PERRIS	CA	92570-8887
314-190-021	OCCUPANT	22938 MARKHAM ST	PERRIS	92570-7962	LAZROVICH NANCY	22938 MARKHAM ST	PERRIS	CA	92570-7962
314-210-033	OCCUPANT	22941 MARKHAM ST	PERRIS	92570-8887	IGNACIO MANUEL	20523 MYRON ST	PERRIS	CA	92570-8996
314-190-030	OCCUPANT	22942 CORY LN	PERRIS	92570-8816	STANLEY MARK D	22942 CORY LN	PERRIS	CA	92570-8816
314-190-022	OCCUPANT	22944 MARKHAM ST	PERRIS	92570-5700	STANLEY DAN	22944 MARKHAM ST	PERRIS	CA	92570-5700
314-092-034	OCCUPANT	22948 COUGAR ST	PERRIS	92570-7654	GEORGE ANTHONY J	22948 COUGAR ST	PERRIS	CA	92570-7654
314-190-023	OCCUPANT	22948 MARKHAM ST	PERRIS	92570-7962	LAZROVICH JAMES P	PO BOX 59396	PERRIS	CA	95159-0396
314-190-032	OCCUPANT	22950 MARKHAM ST	PERRIS	92570-7963	TODOROVITCH JIM	4033 AGASSI DR	PERRIS	CA	95407-2567
314-092-082	OCCUPANT	22953 COUGAR ST	PERRIS	92570-7654	ORTIZ JUAN	16037 EBONY AVE	PERRIS	CA	92551-9227
314-190-029	OCCUPANT	22960 CORY LN	PERRIS	92570-8816	STANLEY MARK D	22942 CORY LN	PERRIS	CA	92590
314-190-028	OCCUPANT	22970 CORY LN	PERRIS	92570-8816	MORA GABRIELA	22970 CORY LN	PERRIS	CA	92570-8816
314-092-035	OCCUPANT	22970 COUGAR ST	PERRIS	92570-7654	GEORGE ALEX	22970 COUGAR ST	PERRIS	CA	92570-7654
314-190-033	OCCUPANT	22970 MARKHAM ST	PERRIS	92570-7963	PEREZ JOSE	22970 MARKHAM ST	PERRIS	CA	92570-7963
314-210-040	OCCUPANT	22971 MARKHAM ST	PERRIS	92570-8885	SALGADO RAMON	22971 MARKHAM ST	PERRIS	CA	92570-8885

1200' RADIUS  
SEATON AVE PROJECT

314-092-081	OCCUPANT	22975 COUGAR ST	PERRIS	CA	92570-7654	CHANSAMONE SAKPRASERT	10335 VANTAGE ST	STANTON	CA	90680-1741
314-210-044	OCCUPANT	22979 MARKHAM ST	PERRIS	CA	92570-7965	GOLOBE GUS	4620 GRAVENSTEIN HWY S	SEBASTOPOLE	CA	95472-6038
314-190-027	OCCUPANT	22980 CORY LN	PERRIS	CA	92570-8816	CAMPOS DAVID	22980 CORY LN	PERRIS	CA	92570-8816
314-210-042	OCCUPANT	22985 MARKHAM ST	PERRIS	CA	92570-7965	STANLEY JODY	22985 MARKHAM ST	PERRIS	CA	92570-7965
314-190-034	OCCUPANT	22990 MARKHAM ST	PERRIS	CA	92570-9252	HUFFMAN VICKI	22990 MARKHAM ST	PERRIS	CA	92570-9252
314-210-043	OCCUPANT	22991 MARKHAM ST	PERRIS	CA	92570-7965	STANLEY REGGIE	22991 MARKHAM ST	PERRIS	CA	92570-7965
314-260-001	ROADWAY					MAJESTIC FREEWAY	13191 CROSSROADS PKWY N	CITY OF INDUSTRY	CA	91746-3421
314-260-002	ROADWAY					MAJESTIC FREEWAY	13191 CROSSROADS PKWY N	CITY OF INDUSTRY	CA	91746-3421
314-260-003	ROADWAY					MAJESTIC FREEWAY	13191 CROSSROADS PKWY N	CITY OF INDUSTRY	CA	91746-3421
314-260-004	ROADWAY					MAJESTIC FREEWAY	13191 CROSSROADS PKWY N	CITY OF INDUSTRY	CA	91746-3421
314-260-005	ROADWAY					MAJESTIC FREEWAY	13191 CROSSROADS PKWY N	CITY OF INDUSTRY	CA	91746-3421
314-260-006	ROADWAY					MAJESTIC FREEWAY	13191 CROSSROADS PKWY N	CITY OF INDUSTRY	CA	91746-3421
314-260-007	ROADWAY					MAJESTIC FREEWAY	13191 CROSSROADS PKWY N	CITY OF INDUSTRY	CA	91746-3421
314-260-008	ROADWAY					MAJESTIC FREEWAY	13191 CROSSROADS PKWY N	CITY OF INDUSTRY	CA	91746-3421
314-260-009	ROADWAY					MAJESTIC FREEWAY	13191 CROSSROADS PKWY N	CITY OF INDUSTRY	CA	91746-3421
314-260-010	ROADWAY					MAJESTIC FREEWAY	13191 CROSSROADS PKWY N	CITY OF INDUSTRY	CA	91746-3421
314-260-011	ROADWAY					MAJESTIC FREEWAY	13191 CROSSROADS PKWY N	CITY OF INDUSTRY	CA	91746-3421
314-260-012	ROADWAY					MAJESTIC FREEWAY	13191 CROSSROADS PKWY N	CITY OF INDUSTRY	CA	91746-3421
314-260-017	ROADWAY					MAJESTIC FREEWAY	13191 CROSSROADS PKWY N	CITY OF INDUSTRY	CA	91746-3421
314-260-018	ROADWAY					MAJESTIC FREEWAY	20225 N SCOTTSDALE RD	SCOTTSDALE	AZ	85255-6456
314-270-005	ROADWAY					MAJESTIC FREEWAY	13191 CROSSROADS N FL 6TH	LA PUENTE	CA	91746
314-270-006	ROADWAY					MAJESTIC FREEWAY	13191 CROSSROADS PKWY N	CITY OF INDUSTRY	CA	91746-3421
314-270-007	ROADWAY					MAJESTIC FREEWAY	13191 CROSSROADS PKWY N	CITY OF INDUSTRY	CA	91746-3421
314-270-008	ROADWAY					MAJESTIC FREEWAY	13191 CROSSROADS PKWY N	CITY OF INDUSTRY	CA	91746-3421
314-270-009	ROADWAY					MAJESTIC FREEWAY	13191 CROSSROADS PKWY N	CITY OF INDUSTRY	CA	91746-3421
314-270-010	ROADWAY					MAJESTIC FREEWAY	13191 CROSSROADS PKWY N	CITY OF INDUSTRY	CA	91746-3421
314-270-011	ROADWAY					MAJESTIC FREEWAY	13191 CROSSROADS PKWY N	CITY OF INDUSTRY	CA	91746-3421
314-270-012	ROADWAY					MAJESTIC FREEWAY	13191 CROSSROADS PKWY N	CITY OF INDUSTRY	CA	91746-3421
314-270-013	ROADWAY					MAJESTIC FREEWAY	13191 CROSSROADS PKWY N	CITY OF INDUSTRY	CA	91746-3421
314-270-014	ROADWAY					MAJESTIC FREEWAY	13191 CROSSROADS PKWY N	CITY OF INDUSTRY	CA	91746-3421
314-270-015	ROADWAY					MAJESTIC FREEWAY	13191 CROSSROADS PKWY N	CITY OF INDUSTRY	CA	91746-3421
314-270-016	ROADWAY					MAJESTIC FREEWAY	13191 CROSSROADS PKWY N	CITY OF INDUSTRY	CA	91746-3421
314-270-017	ROADWAY					MAJESTIC FREEWAY	13191 CROSSROADS PKWY N	CITY OF INDUSTRY	CA	91746-3421
314-270-018	ROADWAY					MAJESTIC FREEWAY	13191 CROSSROADS PKWY N	CITY OF INDUSTRY	CA	91746-3421
314-270-019	ROADWAY					MAJESTIC FREEWAY	13191 CROSSROADS PKWY N	CITY OF INDUSTRY	CA	91746-3421
314-270-020	ROADWAY					MAJESTIC FREEWAY	13191 CROSSROADS PKWY N	CITY OF INDUSTRY	CA	91746-3421
314-270-021	ROADWAY					MAJESTIC FREEWAY	13191 CROSSROADS PKWY N	CITY OF INDUSTRY	CA	91746-3421
314-270-022	ROADWAY					MAJESTIC FREEWAY	13191 CROSSROADS PKWY N	CITY OF INDUSTRY	CA	91746-3421
314-270-023	ROADWAY					MAJESTIC FREEWAY	13191 CROSSROADS PKWY N	CITY OF INDUSTRY	CA	91746-3421
314-270-024	ROADWAY					MAJESTIC FREEWAY	13191 CROSSROADS PKWY N	CITY OF INDUSTRY	CA	91746-3421
314-270-025	ROADWAY					MAJESTIC FREEWAY	13191 CROSSROADS PKWY N	CITY OF INDUSTRY	CA	91746-3421
314-280-001	ROADWAY					MAJESTIC FREEWAY	13191 CROSSROADS PKWY N	CITY OF INDUSTRY	CA	91746-3421
314-280-002	ROADWAY					MAJESTIC FREEWAY	13191 CROSSROADS PKWY N	CITY OF INDUSTRY	CA	91746-3421
314-280-003	ROADWAY					MAJESTIC FREEWAY	13191 CROSSROADS PKWY N	CITY OF INDUSTRY	CA	91746-3421
314-280-004	ROADWAY					MAJESTIC FREEWAY	13191 CROSSROADS N FL 6TH	LA PUENTE	CA	91746
314-051-002	VACANT					GROUP SAN	4900 SANTA ANITA AVE STE 2C	EL MONTE	CA	91731-1490
314-051-010	VACANT					GROUP SAN	4900 SANTA ANITA AVE STE 2C	EL MONTE	CA	91731-1490
314-051-011	VACANT					LEON LUIS LAFFITE	15023 FOLGER ST	EL MONTE	CA	91745-2016
314-091-005	VACANT					SSR INV CO	1930 ALPHA ST	SOUTH PASADENA	CA	91030-4219
314-092-072	VACANT					CARRANZA JORGE	18810 LISA LN	PERRIS	CA	92570-9726
314-092-075	VACANT					ORTIZ AGAPITO	20902 WELLS ST	PERRIS	CA	92570-9381
314-092-077	VACANT					VEGA PAULINO	22831 PERRY ST	PERRIS	CA	92570-9725
314-110-073	VACANT					MAJESTIC FREEWAY	13191 CROSSROADS N FL 6TH	LA PUENTE	CA	91746

1200' RADIUS  
SEATON AVE PROJECT

314-130-007	VACANT	SEATON PERRY	18W140 BUTTERFIELD RD STE 750	IL	60181-4877
314-130-015	VACANT	MAJESTIC FREEWAY	13191 CROSSROADS PKWY N	CA	91746-3421
314-130-024	VACANT	MAJESTIC FREEWAY	13191 CROSSROADS N FL 6TH	CA	91746
314-190-017	VACANT	LAZROVICH MICHAEL	22906 MARKHAM ST	CA	92570-9734
314-190-037	VACANT	EBELING VICKIE	26346 RIDGEMOOR RD	CA	92586-2706
314-190-058	VACANT	LOVE ALBERT	8726 S SEPULVEDA BLVD # 1911	CA	90045-4014
314-190-068	VACANT	STANLEY JIM	18443 DONNA LN	CA	92570-9731
314-230-006	VACANT	LEWIS CLARENCE	349 W 119TH ST	CA	90061-1326
314-230-026	VACANT	TORRES ALIDA M	8651 FOOTHILL BLVD SPC 46	CA	91730-3315
314-240-008	VACANT	GUILLEN MARIA E	5705 N YOSEMITE DR	CA	92407-5306
			OAKBROOK TERRACE		
			CITY OF INDUSTRY		
			LA PUENTE		
			PERRIS		
			MENIFEE		
			LOS ANGELES		
			PERRIS		
			LOS ANGELES		
			RANCHO CUCAMONGA		
			SAN BERNARDINO		

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**APPENDIX D:**

**MAILER AFFIDAVITS**



STATE OF CALIFORNIA     )  
  )  
COUNTY OF ORANGE)

**DECLARATION OF MAILING**  
**RE:**  
July MAC/Open House Meeting

I, Celeste Marshall, do hereby declare as follows:

1. I am a Project Manager of Express Notice and Mail LLC. I am over 18 years of age and I am a resident of the County of Orange, State of California.
2. On July 1, 2021 I caused to be mailed and/or distributed a copy of “ July MAC/Open House Meeting” to the following location(s) within the 1200 foot boundaries of the proposed site:

a. See Attached Map  
See Attached Mailing List  
See Attached Notice

b. SEATON AVE PROJECT  
APN: 314-091-05

c. See Attached Envelope  
\_\_\_\_\_  
\_\_\_\_\_

d. \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

3. The attached list was prepared using the latest available data per the County Assessor’s Office.

I declare under penalty of perjury under the laws of the State of California that the foregoing is true and correct.

Executed July 2, 2021 at County of Orange, California.

By:

*Celeste Marshall*

Celeste Marshall

[Please Print Name]

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# APPENDIX E:

## COMMUNITY EVENT PICTURES

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# MEAD VALLEY MAC & OPEN HOUSE





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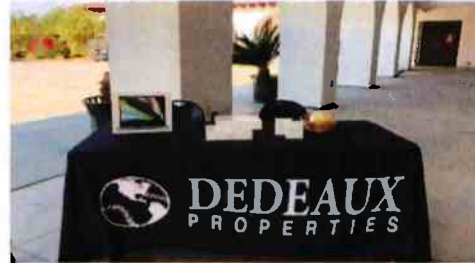
# '21 MEAD VALLEY COMMUNITY EVENTS



Fall Town Hall



Mead Valley Feeding America  
Drive Through



Fall Town Hall  
Dedeaux Sponsored Raffle  
Prizes



Fall Festival  
Trunk or Treat



Dedeaux  
Sponsored Raffle



Fall Festival- Community Raffle



Fall Festival - Raffle Winners

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**APPENDIX F:**

**VUSD THANK YOU LETTER**



# Val Verde Unified School District

975 W Morgan Street • Perris, CA 92571 • 951-940-6100

February 10, 2022

**BOARD OF EDUCATION:**

*Julio Gonzalez  
Marla Kirkland  
Ty Liddell  
Marisol Roque  
Matthew Serafin*

Benjamin Horning  
Dedeaux Properties  
100 Wilshire Blvd. Suite 250  
Santa Monica, CA 90401

Dear Mr. Horning,

**Michael R. McCormick**  
*Superintendent*

On behalf of the Val Verde Unified School District, we thank you for serving as a good neighbor to our community and for your \$31,500 donation to the Columbia Elementary garden modernization project.

**Stacy Coleman**  
*Deputy Superintendent  
Business Services*

The funds from your sponsorship are meaningful to the students because this will enable them to grow food that will be served in the school cafeteria as part of VVUSD Farm 2 School program. The donation money will be used to rebuild the old raised grow beds, plant new citrus trees, create a butterfly garden, new timers with a drip system, and hydroponic towers for growing food in the classrooms. The garden will be a place for students to utilize their problem solving skills as a collaborative group to generate food that will be sold to our food services department.

**Mark LeNoir**  
*Assistant Superintendent  
Education Services*

As a sponsor, your name and logo will be printed on a banner and mounted on the garden fence that faces the main entrance and parking lot.

**Juan Cabral**  
*Assistant Superintendent  
Human Resources*

We have not set a date yet for the grand opening, but would love for you to be a part of our garden dedication. An invitation will follow once the date is set.

Thank you again for your donation and support for our Mead Valley community.

Sincerely,

Michael R. McCormick  
Superintendent  
Val Verde Unified School District