

TEME WINERY



This document is the property of John S. Beery, Architect, AIA. Any reproduction, use or reproduction of this document, in whole or part, is prohibited.

NOTES

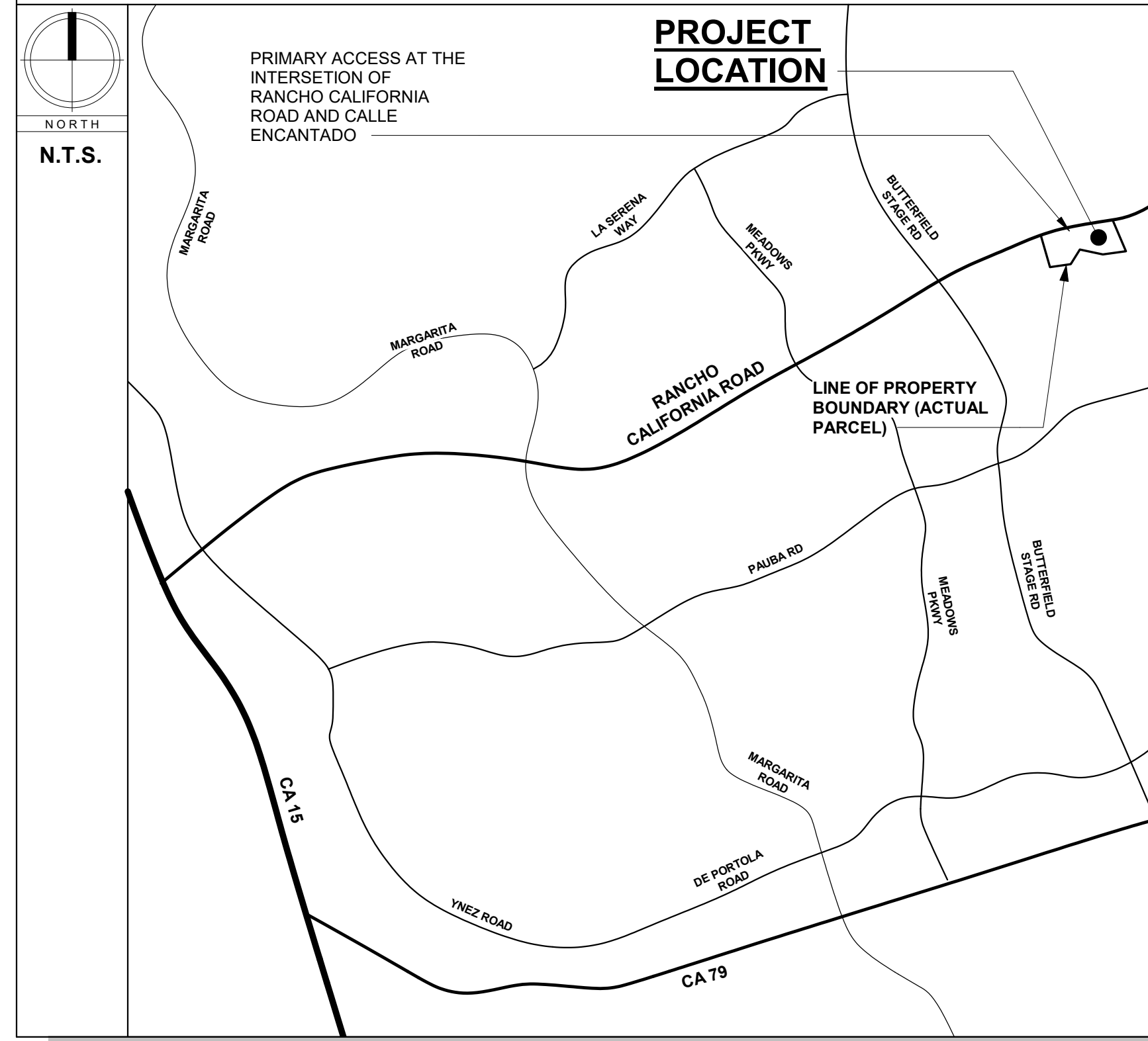
GENERAL NOTES

- THE DRAWINGS REFLECT GENERAL ARRANGEMENT, DESIGN AND EXTENT OF WORK, AND ARE NOT TO BE SCALED FOR MEASUREMENTS. THE DRAWINGS ARE PARTLY DIAGRAMMATIC AND ARE NOT INTENDED TO BE AN EXACT REPRESENTATION OF FIELD CONDITIONS OR TO SERVE AS THE CONTRACTOR'S SHOP DRAWINGS.
- AT ANY TIME SHOULD CONDITIONS ARISE WHEREIN THE INTENT OF THE DRAWINGS ARE IN DOUBT, OR WHERE THE DRAWINGS ARE IN CONFLICT WITH EACH OTHER, OR WHERE THERE IS A DISCREPANCY BETWEEN THE DRAWINGS AND FIELD CONDITIONS, THE ARCHITECT SHALL BE NOTIFIED AT ONCE FOR CLARIFICATION.
- "EXISTING" "AS-BUILT" "SIZE TO FIT" AND SIMILAR PHRASES REQUIRE THE CONTRACTOR TO VERIFY AND COORDINATE DIMENSIONS AND CONDITIONS INDICATED IN THE DRAWINGS WITH THE ACTUAL FIELD CONDITIONS. DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT FOR DIRECTION ON HOW TO PROCEED.
- DIMENSIONS SHOWN ARE TO FACE OF STUD UNLESS NOTED OTHERWISE.
- REFER TO STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR EQUIPMENT ANCHORAGE, HVAC, PLUMBING, LIGHTING, COMMUNICATION, AND DATA AND POWER REQUIREMENTS.
- THE ARCHITECT AND OWNERS' CONSULTANTS SHALL HAVE NO RESPONSIBILITY FOR THE DISCOVERY, PRESENCE, HANDLING, REMOVAL OR DISPOSAL OF OR EXPOSURE OF PERSONS TO HAZARDOUS MATERIALS IN ANY FORM AT THE PROJECT SITE, INCLUDING BUT NOT LIMITED TO ASBESTOS, ASBESTOS PRODUCTS, POLYCHLORINATED BIPHENYL (PCB) OR OTHER TOXIC SUBSTANCES.
- CONTRACTOR SHALL CONTACT OWNER 48 HOURS IN ADVANCE OF ANY RESTRICTION OF OWNER ACCESS OR UTILITY OUTAGES. AUTHORIZATION FROM OWNER TO BE RECEIVED IN WRITING.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO BEGINNING WORK. AT ANY TIME SHOULD ANY CONDITIONS ARISE WHEREIN THE INTENT OF THE DRAWINGS IS IN DOUBT OR WHERE THERE IS A DISCREPANCY BETWEEN THE DRAWINGS AND FIELD CONDITIONS THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY IN WRITING FOR CLARIFICATION.
- THE CONTRACTOR SHALL HAVE FULL RESPONSIBILITY AND CHARGE OF AND SHALL BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTOR OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK OR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. SAFETY OF ALL PARTIES PRESENT ON THE JOB SITE IS SOLELY THE CONTRACTOR'S RESPONSIBILITY.
- THESE DRAWINGS ARE FOR PERMIT ONLY. GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL ADDITIONAL DETAILS AND REQUIRED COORDINATION DURING CONSTRUCTION.

FIRE NOTES

- FIRE DEPARTMENT FINAL INSPECTION REQUIRED. SCHEDULE ALL INSPECTIONS 2 DAYS IN ADVANCE.
- LOCATIONS AND CLASSIFICATIONS OF FIRE EXTINGUISHERS SHALL BE IN ACCORDANCE WITH THE CALIFORNIA FIRE CODE STANDARD 10-1 AND PLACEMENT IS SUBJECT TO THE APPROVAL OF THE FIRE INSPECTOR.
- STORAGE, DISPENSING OR USE OF ANY FLAMMABLE AND COMBUSTIBLE LIQUIDS, FLAMMABLE AND COMPRESSED GASES, AND OTHER HAZARDOUS MATERIALS SHALL COMPLY WITH UNIFORM FIRE CODE REGULATIONS. THE STORAGE AND USE OF HAZARDOUS MATERIALS SHALL BE APPROVED BY THE FIRE AUTHORITY PRIOR TO ANY MATERIALS BEING STORED OR USED ON SITE. A SEPARATE PLAN SUBMITTAL IS REQUIRED PRIOR TO THE STORAGE AND USE OF HAZARDOUS MATERIALS.
- PLANS OF NEW OR MODIFICATIONS TO EXISTING FIRE PROTECTION, DETECTION, ALARM OR MONITORING SYSTEM(S) SHALL BE APPROVED BY THE FIRE DEPARTMENT PRIOR TO INSTALLATION. A SEPARATE PLAN SUBMITTAL AND APPROVAL BY THE FIRE DEPARTMENT IS REQUIRED PRIOR TO COMMENCEMENT OF WORK.
- PROVIDE 2A-10BC MINIMUM RATED FIRE EXTINGUISHERS TO BE LOCATED ON EACH FLOOR WITHIN 75 FEET MAX. OF TRAVEL DISTANCE FROM ALL AREAS.
- DRAPE AND OTHER DECORATIVE MATERIALS SHALL BE FLAME RETARDANT. CERTIFICATION THEREOF SHALL BE PROVIDED. EXITS, EXIT SIGNS, FIRE ALARM STATIONS HOSE CABINETS AND EXTINGUISHER LOCATIONS SHALL NOT BE CONCEALED BY DECORATIVE MATERIALS.
- ALL INTERIOR FINISHES SHALL CONFORM WITH THE TITLE 24, CCR, CHAPTER 42.

PROJECT LOCATION



PROJECT DIRECTORY

<p>OWNER MTAD 2666 HUNINGTON DRIVE DUARTE, CA 91010 ATTN: SANDY WANG</p>	<p>ARCHITECT BGI ARCHITECTURE 2292 FARADAY AVENUE, #100 CARLSBAD, CA 92008 P: 760.438.2963 F: 760.438.2965 bgichitecture.com</p>
<p>GENERAL CONTRACTOR (TO BE DETERMINED)</p>	<p>GOVERNING AGENCY COUNTY OF RIVERSIDE 4080 LEMON STREET RIVERSIDE, CA 92501 Phone # 951-955-3200</p>
<p>STRUCTURAL ENGINEER (TO BE DETERMINED)</p>	<p>MEP ENGINEER (TO BE DETERMINED)</p>
<p>CIVIL ENGINEER 4M ENGINEERING & DEVELOPMENT 41635 ENTERPRISE CIRCLE N. SUITE B TEMECULA, CA 92590 Phone # 951-293-3466</p>	<p>GEOTECHNICAL ENGINEER (SEE EPD SOLUTIONS)</p>
<p>LANDSCAPE ARCHITECT ALHAMBRA GROUP 41635 ENTERPRISE CIRCLE N. SUITE C TEMECULA, CA 92590 Phone # 951-296-6802</p>	<p>ENTITLEMENTS / CEQA EPD SOLUTIONS 2 PARK PLAZA, SUITE 1120 IRVINE, CA 92614 Phone # 949-794-1180</p>
<p>BIOLOGICAL HERNANDEZ ENVIRONMENTAL 17037 LAKESHORE DRIVE LAKE ELSINORE, CA 92530 Phone # 909-772-9009</p>	

PROJECT DATA

PROJECT DESCRIPTION	THE PROJECT IS TO DEVELOP A WINERY ON THE 21.1 ACRE PROPERTY. THE PROPOSED IMPROVEMENTS TO THE PROPERTY ARE: • AN EXISTING TO REMAIN (MAINTENANCE AND REPAIR) SINGLE FAMILY RESIDENCE. THE RESIDENCE IS A 2,200 S.F. SINGLE STORY STRUCTURE OF "SPANISH" STYLE. • A VINEYARD WHICH SHALL BE A MINIMUM OF 75% OF THE PROPERTY AREA. • A WINE PRODUCTION AND STORAGE FACILITY (CLASS V WINERY MIN. 3,000 S.F. AND PRODUCE MIN. 7,000 GALLONS OF WINE ANNUALLY AS DETERMINED BY THE COUNTY AGRICULTURAL COMMISSIONER.) • A WINE TASTING, SPECIAL OCCASIONS (WEDDINGS) AND RESTAURANT FACILITY • A GUEST INN TO PROVIDE 10 ROOMS FOR PATRONS		
PROJECT ADDRESS	41325 CALLE ENCANTADO, TEMECULA, CA 92592		
APN NO.	• 951-020-001: 4.31 ACRES	• 951-060-001: 8.71 ACRES	• 951-020-002: 4.36 ACRES
LEGAL DESCRIPTION	• PARCELS 951-020-001 & 002 RECORDED IN BOOK PW, 75 / PAGE 384 MAP NO. 13867 IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA • PARCELS 951-060-001 & 002 RECORDED IN BOOK PW, 16 / PAGE 81 MAP NO. _____ IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA		
ZONE	EXISTING: C.V, C2 5487 PROPOSED: WC-C		
SPECIAL PLANS	N.A.		
LAND USE	AGRICULTURE		
EXISTING RESIDENCE USE	SINGLE FAMILY RESIDENTIAL - TO REMAIN. NO STRUCTURAL IMPROVEMENTS TO EXISTING RESIDENCE AS PART OF THIS PERMIT.		
GENERAL PLAN	TEMECULA VALLEY WINE COUNTRY POLICY DISTRICT (WINERY DISTRICT).		
FIRE HAZARD ZONE	N.A.		
FAULT ZONE	N.A.		
LOT SIZE	GROSS = 21.1 ACRES. NET = 19.42 ACRE (MIN. LOT AREA = 10 ACRE. SPECIAL OCCASION MIN. LOT AREA = 10 ACRE. GUEST INN MIN. LOT AREA = 15 ACRE)		
LOT COVERAGE	N.A.		
F.A.R.	N.A.		
SETBACKS	PER THE FOLLOWING, THE PROPERTY IS LOCATED NEXT TO RANCHO CALIFORNIA ROAD.		
	WINERY	SPECIAL OCCASION	GUEST INN
	FRONT YARD = 100'-0"	FRONT YARD = 300'-0"	FRONT YARD = 100'-0"
	SIDE YARD = 50'-0"	SIDE YARD = 100'-0"	SIDE YARD = 50'-0"
	REAR YARD = 50'-0"	REAR YARD = 100'-0"	REAR YARD = 50'-0"
NUMBER OF STORIES / HEIGHT	- / 50'-0" ALLOWED	- / 30'-0" ALLOWED	2 / 30'-0" ALLOWED
SECONDARY ACCESS	REQUIRED: 1,320 LINEAR FEET (AS HOSE LIES) MINIMUM FROM NEAREST MAJOR STREET CORNER TO FURTHEST CORNER OF BUILDING PROPOSED: 1,189 LINEAR FEET @ CENTERLINE OF ROADS TO FURTHEST BUILDING CORNER. SEE SHEET AC-1		
WINERY	CLASS V: AREA = 3,000 S.F. MINIMUM PRODUCE = 7,000 G. WINE ANNUALLY		
VINEYARD REQUIREMENT	75% MIN. OF NET LOT AREA.		
OCCUPANCY	• A-2: ASSEMBLY / DINING SPACES (NON-FIXED SEATING)	2,564 S.F. / 15 = 170 OCC.	
	• B: BUSINESS OPERATIONS	2,461 S.F. / 150 = 17 OCC.	
	• F-2: FACTORY - LOW HAZARD	4,811 S.F. / 500 = 10 OCC.	
	• R-1: RESIDENTIAL (TRANSIENT RESIDENTS, INN)	4,011 S.F. / 200 = 21 OCC.	
	• SERVICE AREAS (NON-DESCRIPT CIRCULATION, SERVICE AREAS, BATHROOMS)	5,006 S.F. = 0 OCC.	
PARKING	SEE PARKING ANALYSIS CALCULATIONS ON SHEET A-0.0		
TYPE OF CONSTRUCTION	TYPE V-A (SPRINKLED / FIRE SUPPRESSION SYSTEM)		
FLOOR AREA	WINERY • PRODUCTION / BOTTLING / LABELING = 2,802 S.F. • STORAGE = 2,009 S.F. WINE TASTING / RESTAURANT / SPECIAL OCCASION • MAIN ENTRANCE / LOBBY / SPECIAL EVENT SPACE = 1,134 S.F. • RESTAURANT = 1,189 S.F. • WINE TASTING = 1,082 S.F. • BUSINESS = 1,901 S.F. • AUXILIARY CIRCULATION, HALLWAYS, STORAGE, BATHROOMS = 3,156 S.F. GUEST INN • GUEST ROOMS (10) = 4,011 S.F. • BUSINESS = 568 S.F. • AUXILIARY CIRCULATION, HALLWAYS, STORAGE, BATHROOMS = 1,849 S.F. BUILDING TOTAL = 19,701 S.F. GROSS BUILDING AREA NOTE: ALL BUILDING AREAS ABOVE ARE GROSS AREAS (NOT NET) AND INCLUDE NON-INHABITABLE AREAS SUCH AS WALL THICKNESSES, VOIDS, ETC. FOR THIS REASON, THESE AREAS ARE NOT TO BE USED FOR OCCUPANCY OR PARKING CALCULATIONS.		
SCHOOL DISTRICT	TEMECULA VALLEY UNIFIED		
COMMUNITIES	RANCHO CALIFORNIA		
FIRE DISTRICT	-		
LIGHTING (ORD 655)	ZONE B		
WELL WATER PERMIT	N.A.		
SEPTIC PERMIT	# 0N0006105 (NOV. 22, 2016)		
WATER DISTRICT	EASTERN MUNICIPAL DISTRICT		
FLOOD CONTROL DISTRICT	RIVERSIDE COUNTY FLOOD CONTROL DISTRICT		
GOVERNING CODES	THESE PLANS AND ALL WORK SHALL COMPLY WITH COUNTY OF RIVERSIDE ZONING ORDINANCE, THE 2019 EDITION OF THE CALIFORNIA BUILDING CODE FOUND IN STATE OF CALIFORNIA TITLE 24 CCR AS AMENDED AND ADOPTED BY THE CITY OF SANTA ANA. THE 2019 EDITIONS OF THE CALIFORNIA BUILDING CODES SHALL APPLY: • 2019 CALIFORNIA BUILDING CODE • 2019 CALIFORNIA GREEN BUILDING CODE • 2019 CALIFORNIA HISTORICAL BUILDING CODE • 2019 CALIFORNIA ELECTRICAL CODE • 2019 CALIFORNIA MECHANICAL CODE • 2019 CALIFORNIA PLUMBING CODE • 2019 CALIFORNIA TITLE 24 • 2019 CALIFORNIA FIRE CODE		

SHEETS

T-1	PROJECT TITLE SHEET
C-1	CONCEPTUAL GRADING PLAN - SHEET 1
C-1.2	CONCEPTUAL GRADING PLAN - SHEET 2 (SECTIONS)
AC-1	ARCHITECTURAL SITE PLAN
AC-2	ARCHITECTURAL SITE PLAN - ENLARGED
AC-3	FIRE ACCESS TEMPLATE DETAILS
A-0.0	PARKING AND ZONING EXHIBITS
A-1.0	KEY PLANS - FLOOR PLANS
A-1.1	MAIN FLOOR PLAN - SECTION 1.1
A-1.2	MAIN FLOOR PLAN - SECTION 1.2
A-1.3	MAIN FLOOR PLAN - SECTION 1.3
A-2.0	ROOF PLAN - SECTION 1.1
A2.1	ROOF PLAN - SECTION 1.2
A-2.2	ROOF PLAN - SECTION 1.3
A-3.0	KEY PLANS & ENLARGED ELEVATIONS
A-3.1	ENLARGED ELEVATIONS - SOUTH
A-3.2	ENLARGED ELEVATIONS - NORTH
A-4.0	BUILDING SECTIONS
AP-1	PERSPECTIVES
AP-2	PERSPECTIVES
AP-3	PERSPECTIVES
L-1	COMPREHENSIVE LANDSCAPE PLAN
L-2	SITE BREAKDOWN PLAN

LANDSCAPE CALCULATIONS

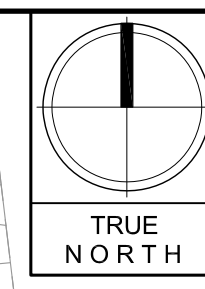
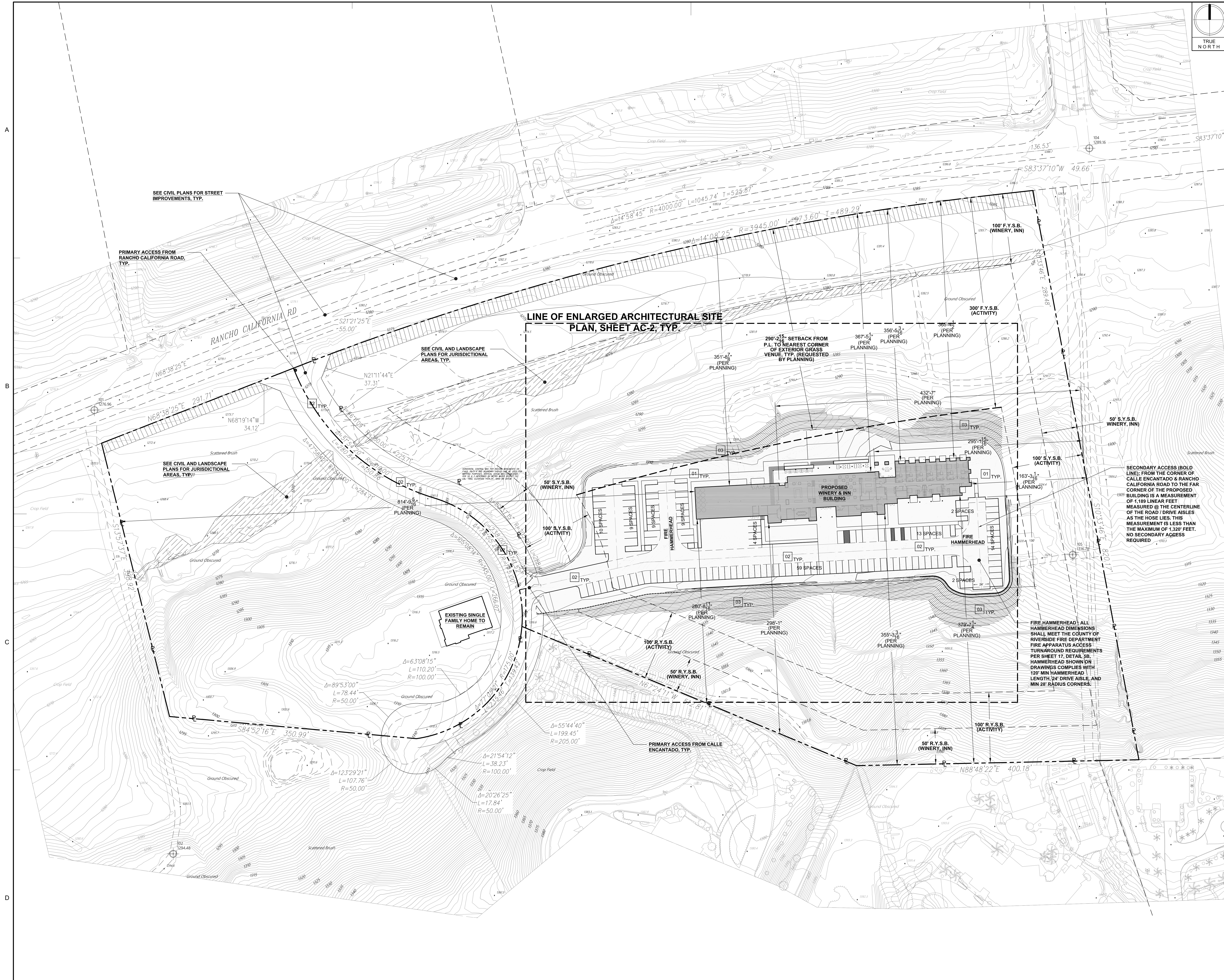
PERCENTAGE BREAKDOWN (PER LANDSCAPE COLORED EXHIBIT)			
ITEM	SQUARE FEET	ACREAGE	PERCENTAGE
SITE GROSS	919,116 S.F.	21.10 ACS.	-
SITE NET	802,307 S.F.	18.42 ACS.	-
WATERCOURSE	159,542 S.F.	3.66 ACS.	0.3%
SITE USABLE AREA	642,765 S.F.	14.76 ACS.	100%
BUILDINGS	24,924 S.F.	.57 ACS.	3.9%
PAVERS, DRIVEWAYS & WALK	60,725 S.F.	1.39 ACS.	9.7%
LAWN	1,806 S.F.	0.04 ACS.	0.9%
PLANTING	37,078 S.F.	0.85 ACS.	5.8%
VINEYARDS	518,232 S.F.	11.89 ACS.	80.1%

PRELIMINARY
NOT FOR CONSTRUCTION

I have reviewed these construction documents and have approved their contents as including all of the design aspects I had previously authorized. I understand my project will be constructed as specified by these construction documents.
Signature _____ Date _____

TEME WINERY
41325 CALLE ENCANTADO
TEMECULA, CA 92592

REVISIONS	By
Date	2021.11.16
Scale	NO SCALE
Drawn By	BPB
Job No.	2005
Sheet Name	PROJECT TITLE SHEET
Sheet No.	T-1



- ### KEYNOTES
- PER COUNTY OF RIVERSIDE FIRE DEPARTMENT CONDITIONS OF APPROVAL, UPGRADED NFPA 13 FIRE SPRINKLER SYSTEM SHALL BE INSTALLED IN LIEU OF MINIMUM 150' HOSE PULL REQUIREMENT, TYP.
 - FOR FIRE ACCESS AISLE DETAILS AND MINIMUM REQUIRED DIMENSIONS, SEE SHEET AC-3, FIRE ACCESS TEMPLATE DETAILS, TYP.
 - FOR GRADING, SLOPES AND CIVIL DESIGN, SEE CONCEPTUAL GRADING PLANS SHEETS C-1 THROUGH C-12.

- ### GENERAL NOTES
- SEE CIVIL PLANS FOR RANCHO CALIFORNIA ROAD STREET IMPROVEMENTS AND BOUNDARIES, TYP. 1.
 - PER COUNTY OF RIVERSIDE FIRE DEPARTMENT, FUEL MODIFICATION SHALL BE PROVIDED, TYP.
 - ANY FUTURE INCREASED KITCHEN CAPACITY (GREASE TRAPS, INDUSTRIAL VENTILATION, ETC.) SHALL BE SEPARATELY PERMITTED THROUGH THE COUNTY OF RIVERSIDE PLANNING DEPARTMENT.
 - FIRE TRUCK DRIVE AISLE SHOWN ON SITE PLANS SHALL BE 24'-0" MINIMUM WIDTH FOR THE ENTIRE LENGTH OF THE DRIVE AISLE. SEE ALSO SHEET AC-3, FIRE ACCESS TEMPLATE DETAILS.
 - PER RIVERSIDE COUNTY CODE 17.142.04(E)(9), AT LEAST FIFTY (50) PERCENT OF THE WINE SOLD BY A WINERY SHALL BE PRODUCED ON THE WINERY SITE.

ARCHITECTURAL LEGEND

(01)	Doors
(A)	Windows
(01)	Keynote
(A)	Wall Type
(01)	Interior Elevation
(A-1)	Storefront Elevation
(A-1)	Building Elevation
(---)	New Wall
(---)	Existing Wall
(---)	Demolition
(---)	Insulation
(---)	Overhead
(---)	Centerline
(---)	Property Line
(01)	Revision

NOTE: NOT ALL SYMBOLS SHOWN ABOVE ARE USED IN THIS SET OF DRAWINGS.

ARCHITECTURAL SITE PLAN
1" = 50'-0"

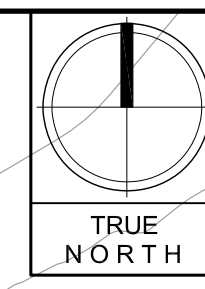
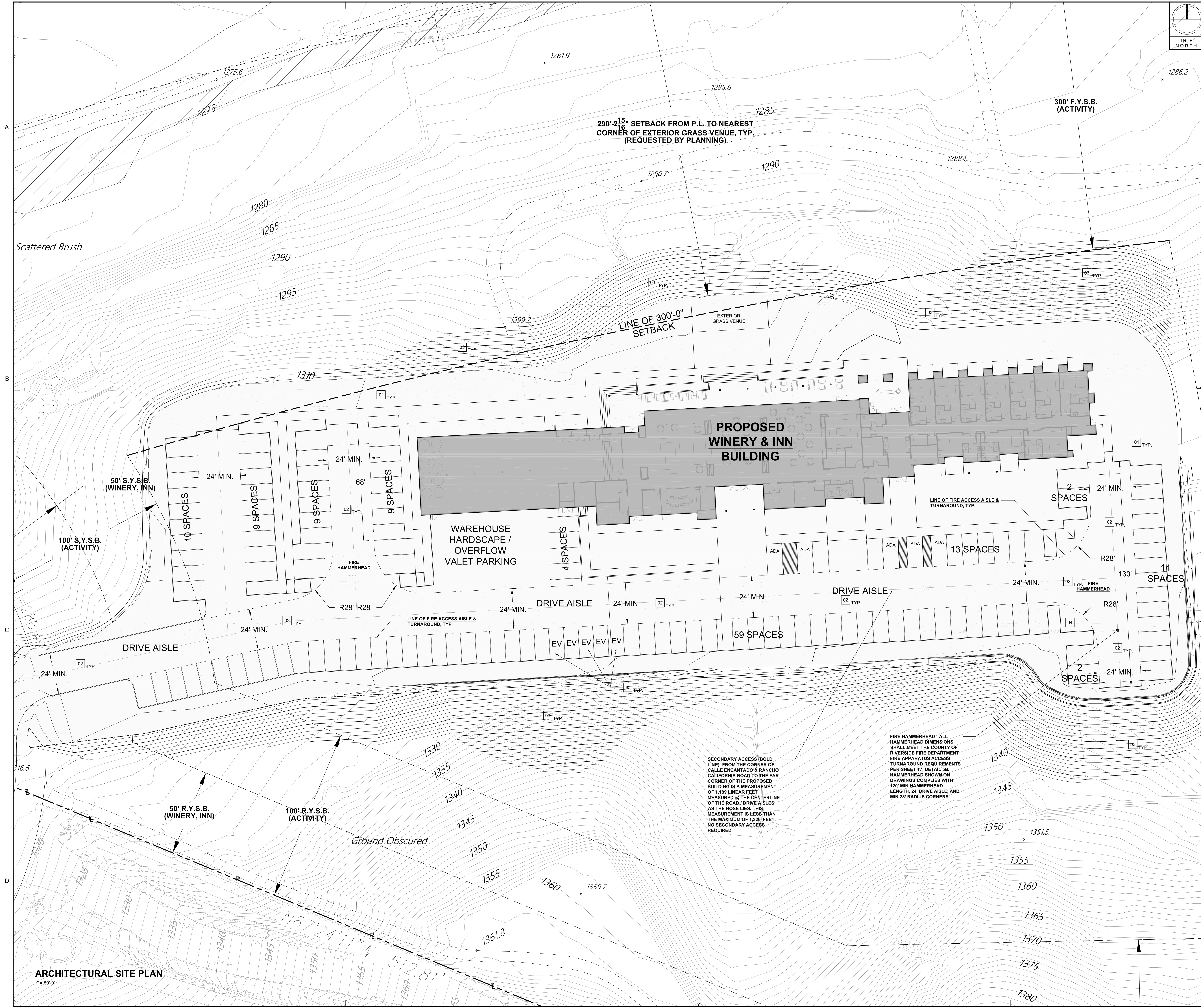
BGI ARCHITECTURE
Beery Group Inc.
2292 Faraday Avenue, #100
Carlsbad, CA 92008
(760) 438-2963
bgiarchitect.com

This document is the property of John S. Beery, Architect, AIA. Any unauthorized use or reproduction of this document, in whole or part, is prohibited.

TEME WINERY
41325 CALLE ENCANTADO
TEMECULA, CA 92592

REVISIONS	By

Date	2021.09.03
Scale	1" = 50'-0"
Drawn by	BPB
Job No.	2005
Sheet Name	ARCHITECTURAL SITE PLAN
Sheet No.	AC-1



KEYNOTES

01. PER COUNTY OF RIVERSIDE FIRE DEPARTMENT CONDITIONS OF APPROVAL, UPGRADED NFPA 13 FIRE SPRINKLER SYSTEM SHALL BE INSTALLED IN LIEU OF MINIMUM 150' HOSE PULL REQUIREMENT. TYP.
02. FOR FIRE ACCESS AISLE DETAILS AND MINIMUM REQUIRED DIMENSIONS, SEE SHEET AC-3, FIRE ACCESS TEMPLATE DETAILS, TYP.
03. FOR GRADING, SLOPES AND CIVIL DESIGN, SEE CONCEPTUAL GRADING PLANS SHEETS C-1 THROUGH C-12.
04. PROPOSED LOCATION OF BICYCLE PARKING, 5 BICYCLE PARKING SPACES REQUIRED PER BICYCLE PARKING CALCULATIONS SHOWN ON SHEET A-0.0, RIGHT HAND SIDE OF SHEET, TYP.
05. PROPOSED ELECTRIC VEHICLE PARKING LOCATION, 5 ELECTRIC VEHICLE SPACES REQUIRED PER ELECTRIC VEHICLE CALCULATIONS SHOWN ON SHEET A-0.0, RIGHT HAND SIDE OF SHEET.

GENERAL NOTES

1. SEE CIVIL PLANS FOR RANCHO CALIFORNIA ROAD STREET IMPROVEMENTS AND BOUNDARIES, TYP.
2. PER COUNTY OF RIVERSIDE FIRE DEPARTMENT, FUEL MODIFICATION SHALL BE PROVIDED, TYP.
3. ANY FUTURE INCREASED KITCHEN CAPACITY (GREASE TRAPS, INDUSTRIAL VENTILATION, ETC.) SHALL BE SEPARATELY PERMITTED THROUGH THE COUNTY OF RIVERSIDE PLANNING DEPARTMENT.
4. FIRE TRUCK DRIVE AISLE SHOWN ON SITE PLANS SHALL BE 24'-0" MINIMUM WIDTH FOR THE ENTIRE LENGTH OF THE DRIVE AISLE. SEE ALSO SHEET AC-3, FIRE ACCESS TEMPLATE DETAILS.

ARCHITECTURAL LEGEND

- (01) Doors
- (A) Windows
- (01) Keynote
- (A) Wall Type
- (01) Interior Elevation
- (A-1) Storefront Elevation
- (A-1) Building Elevation
- New Wall
- Existing Wall
- Demolition
- Insulation
- Overhead
- Centerline
- Property Line
- (01) Revision

NOTE: NOT ALL SYMBOLS SHOWN ABOVE ARE USED IN THIS SET OF DRAWINGS.

I have reviewed these construction documents and have approved their contents as including all of the design aspects that I have previously authorized. I understand my project will be constructed as specified by these construction documents.

Signature _____ Date _____

BGI ARCHITECTURE
Beery Group Inc.
2292 Faraday Avenue, #100
Carlsbad, CA 92008
(760) 438-2963
bgiarchitect.com

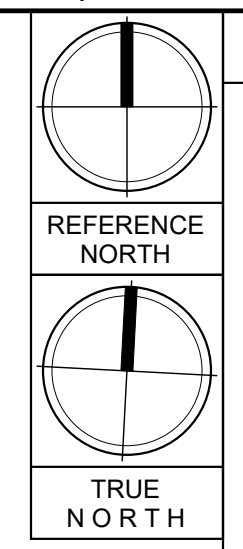
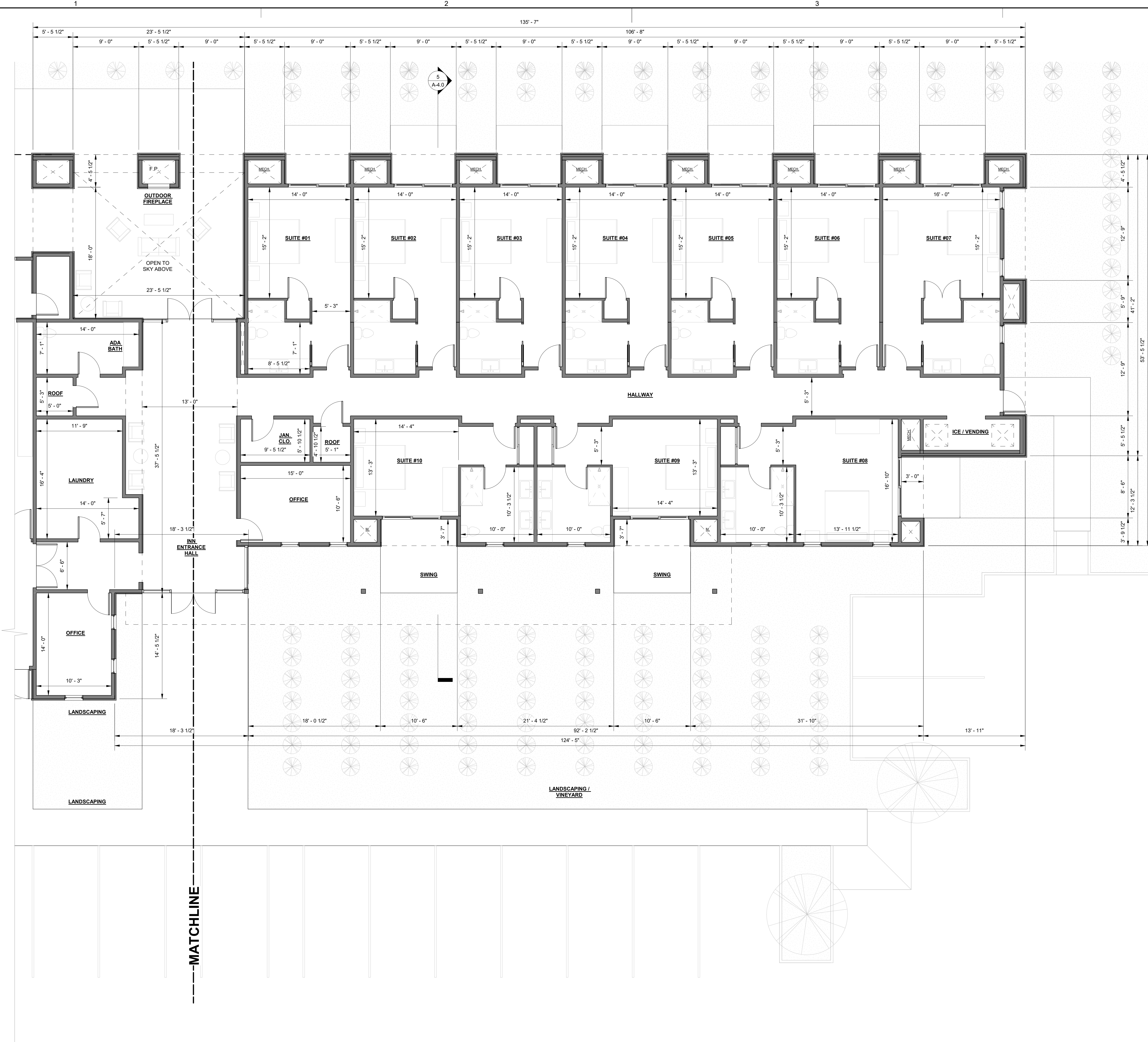
TEME WINERY
41325 CALLE ENCANTADO
TEMECULA, CA 92592

REVISIONS

No.	Description	By

Date: 2021.09.03
Scale: 1" = 50'-0"
Drawn by: BPB
Job No.: 2005
Sheet Name: ARCHITECTURAL SITE PLAN - ENLARGED
Sheet No.: AC-2

ARCHITECTURAL SITE PLAN
1" = 50'-0"



KEYNOTES

1) THERE SHALL BE NO COOKING FACILITIES WITHIN HOTEL ROOMS OR SUITES, TYP.

GENERAL NOTE

ARCHITECTURAL LEGEND

- Doors
- Windows
- Keystone
- Wall Type
- Interior Elevation
- Storefront Elevation
- Building Elevation
- New Wall
- Existing Wall
- Demolition
- Insulation
- Overhead
- Centerline
- Property Line
- Revision

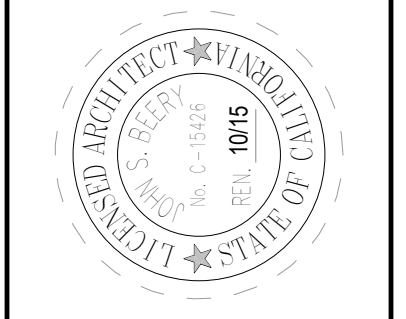
NOTE: NOT ALL SYMBOLS SHOWN ABOVE ARE USED IN THIS SET OF DRAWINGS.

MAIN FLOOR PLAN - SECTION 1.3
3/16" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION

I have reviewed these construction documents and have approved their contents as including all of the design aspects I had previously authorized. I understand my project will be constructed as specified by these construction documents.

BGI ARCHITECTURE
Beery Group Inc.
2091 Las Palmas Drive, St. D
Carlsbad, CA 92011
(760) 438-2963
bgiaarchitect.com



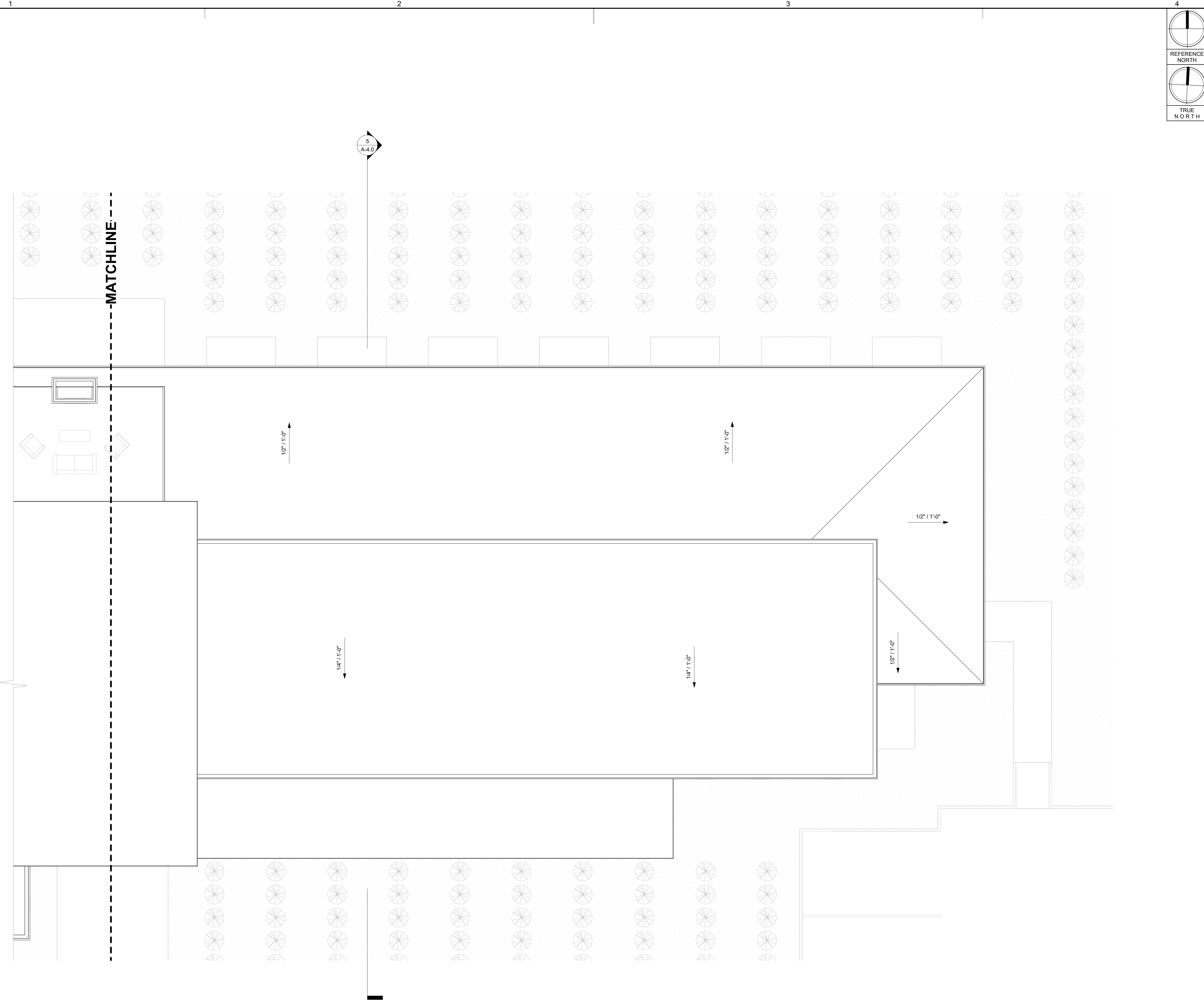
This document is the property of John S. Beery Architect, AIA. Any unauthorized use or reproduction of this document, in whole or part, is prohibited.

TEME WINERY
41325 CALLE ENCANTADO
TEMECULA, CA 92592

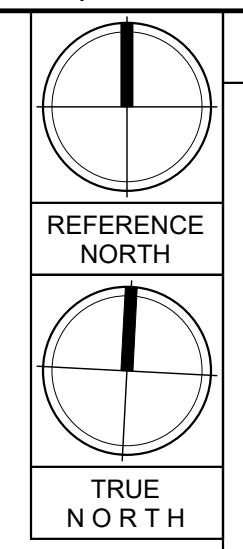
REVISIONS	By

Date: 2021.11.16
Scale: 3/16" = 1'-0"
Drawn By: BPB
Job No.: 2005
Sheet Name:

MAIN FLOOR PLAN - SECTION 1.3
Sheet No. **A-1.3**



ROOF PLAN - SECTION 1.3
3/16" = 1'-0"



KEYNOTES

ARCHITECTURAL LEGEND

- Doors
- Windows
- Keynote
- Wall Type
- Interior Elevation
- Storefront Elevation
- Building Elevation
- New Wall
- Existing Wall
- Demolition
- Insulation
- Overhead
- Centerline
- Property Line
- Revision

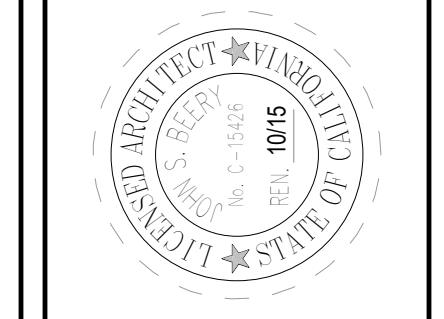
NOTE: NOT ALL SYMBOLS SHOWN ABOVE ARE USED IN THIS SET OF DRAWINGS.

PRELIMINARY
NOT FOR CONSTRUCTION

I have reviewed these construction documents and have approved their contents as including all of the design aspects I had previously authorized. I understand my project will be constructed as specified by these construction documents.

Signature _____ Date _____

BGI ARCHITECTURE
Beery Group Inc.
2091 Las Palmas Drive, Ste. D
Carlsbad, CA 92011
(760) 438-2963
bgiarchitect.com



This document is the property of John S. Beery Architect, A.I.A. Any unauthorized use or reproduction of this document, in whole or part, is prohibited.

TEME WINERY
41325 CALLE ENCANTADO
TEMECULA, CA 92592

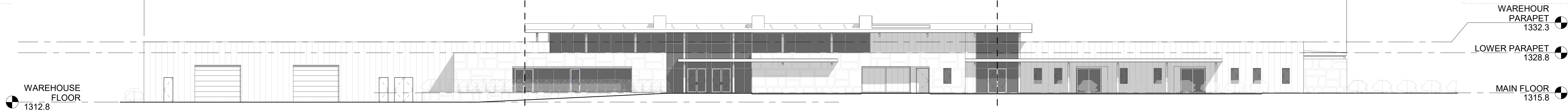
REVISIONS	By
Date	2021.11.16
Scale	3/16" = 1'-0"
Drawn By	BPB
Job No.	2005
Sheet Name	ROOF PLAN - SECTION 1.3
Sheet No.	A-2.2

1 2 3 4

SECTION 1.1
SEE SHEET A-3.1

SECTION 1.2
SEE SHEET A-3.1

SECTION 1.3
SEE SHEET A-3.1

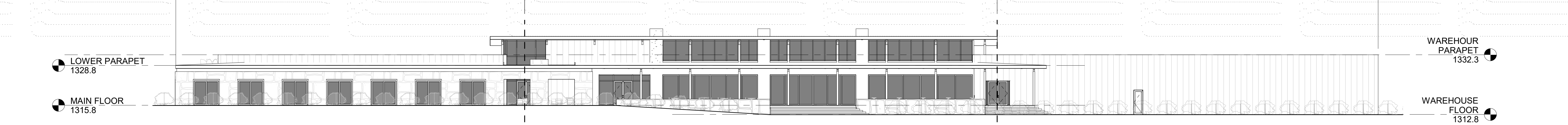


SOUTH ELEVATION
1/16" = 1'-0"

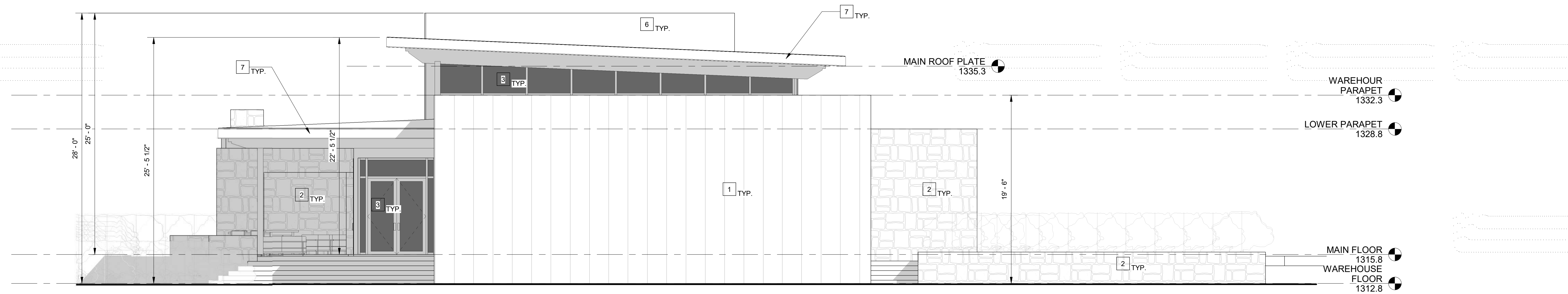
SECTION 1.1
SEE SHEET A-3.2

SECTION 1.2
SEE SHEET A-3.2

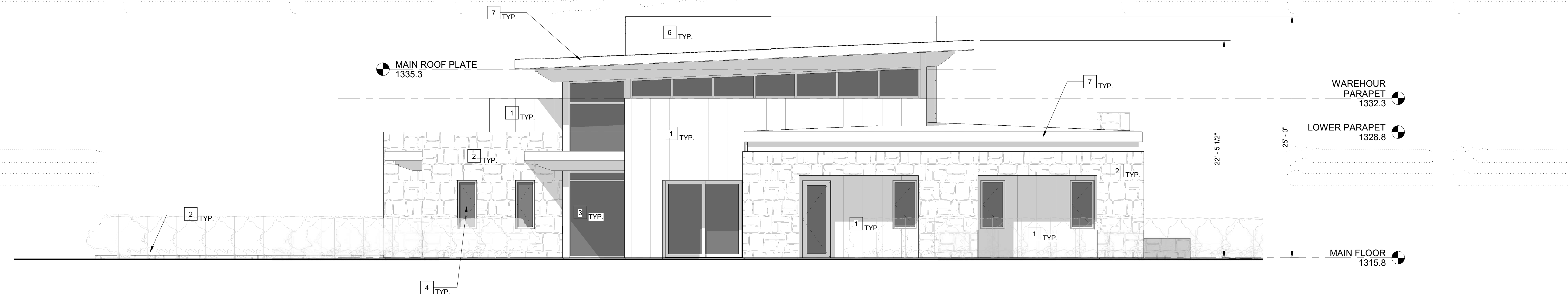
SECTION 1.3
SEE SHEET A-3.2



NORTH ELEVATION
1/16" = 1'-0"



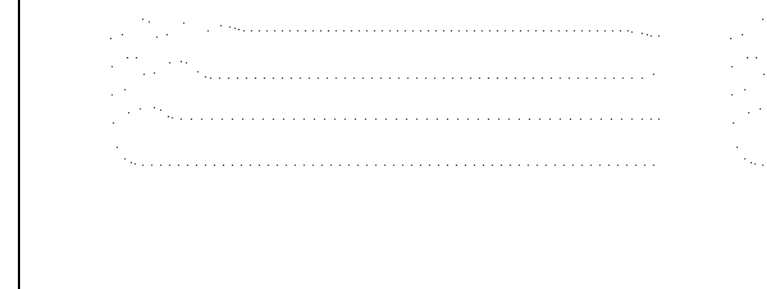
WEST ELEVATION
3/16" = 1'-0"



EAST ELEVATION
3/16" = 1'-0"

KEYNOTES

- 1 CORTEN EXTERIOR FINISH: ASTM A606 STEEL @ 18 GA. MINIMUM THICK STEEL COIL RUN VERTICALLY FULL HEIGHT, TYP.
- 2 OLD WORLD STONE FINISH: CREATIVE MINES ORCHARD LIMESTONE WITH FULL OVERGROUT JOINTS, TYP.
- 3 STOREFRONT WINDOW GLAZING, TYP.
- 4 WINDOW PER WINDOW SCHEDULE, TYP.
- 5 NOT USED
- 6 FINISH STUCCO: SMOOTH SAND FINISH 3 COAT STUCCO WITH WHITE COLOR COAT, TYP.
- 7 FASCIA: CLEAR ALUMINUM BREAKMETAL FASCIA, TYP.



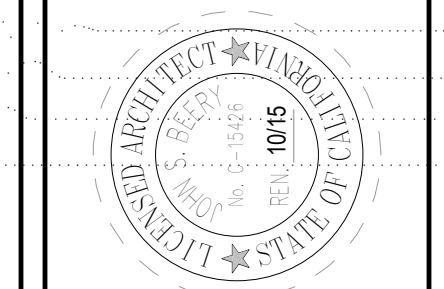
NOTE: NOT ALL SYMBOLS SHOWN ABOVE ARE USED IN THIS SET OF DRAWINGS.

ARCHITECTURAL LEGEND

- 1 Doors
- A Windows
- 1 Keynote
- A Wall Type
- 1 Interior Elevation
- 1 A-1 Storefront Elevation
- A-1 Building Elevation
- Existing Wall
- New Wall
- Demolition
- Insulation
- Overhead
- Centerline
- Property Line
- 1 Revision

NOTE: NOT ALL SYMBOLS SHOWN ABOVE ARE USED IN THIS SET OF DRAWINGS.

BGI ARCHITECTURE
Beery Group Inc.
2091 Las Palmas Drive, St. D
Carlsbad, CA 92011
(760) 438-2963
bgiarchitect.com



This document is the property of John S. Beery Architect, AIA. Any unauthorized use or reproduction of this document, in whole or part, is prohibited.

TEME WINERY
41325 CALLE ENCANTADO
TEMECULA, CA 92592

REVISIONS	By

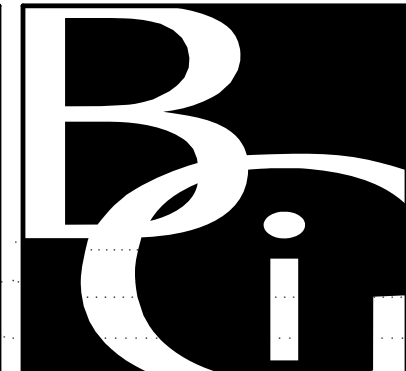
Date: 2021.11.16
Scale: As indicated
Drawn By: BPB
Job No.: 2005
Sheet Name: KEY PLANS & ENLARGED ELEVATIONS
Sheet No.: A-3.0

PRELIMINARY
NOT FOR CONSTRUCTION

Signature: _____ Date: _____

KEYNOTES

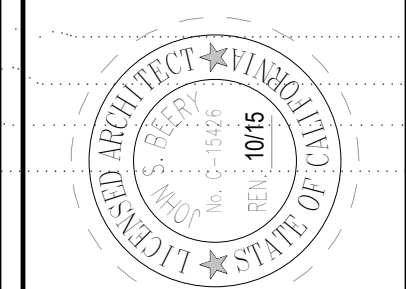
- 1 CORTEN EXTERIOR FINISH: ASTM A606 STEEL @ 18 GA. MINIMUM THICK STEEL COIL RUN VERTICALLY FULL HEIGHT, TYP.
- 2 OLD WORLD STONE FINISH: CREATIVE MINES ORCHARD LIMESTONE "WHITE GOLD" COLOR WITH FULL OVERGROUT JOINTS, TYP.
- 3 STOREFRONT WINDOW GLAZINGS, TYP.
- 4 WINDOW PER WINDOW SCHEDULE, TYP.
- 5 DOOR PER DOOR SCHEDULE, TYP.
- 6 FINISH STUCCO, SMOOTH SAND FINISH 3 COAT STUCCO WITH WHITE COLOR COAT, TYP.
- 7 FASCIA: CLEAR ALUMINUM BREAKMETAL FASCIA, TYP.
- 8 TRASH ENCLOSURE SLIDING GATES: CORTEN METAL FINISH TO MATCH FACADE ASTM A606 STEEL @ 18 GA. MINIMUM THICK STEEL.



ARCHITECTURE | DESIGN

BGI ARCHITECTURE

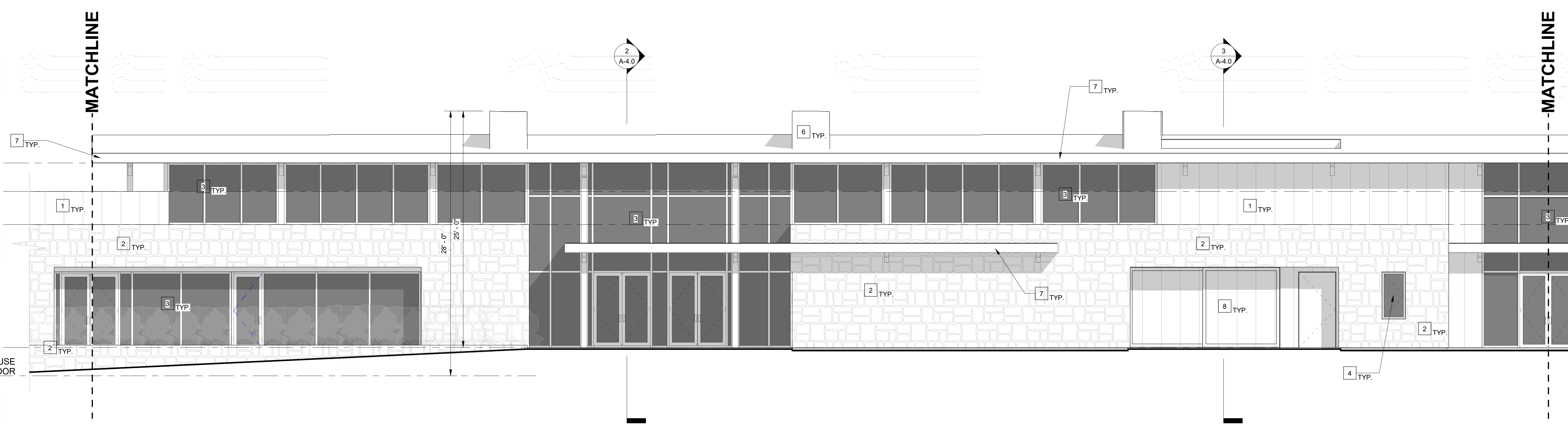
Beery Group Inc.
2091 Las Palmas Drive, St. D
Carlsbad, CA 92011
(760) 438-2963
bgiaarchitect.com



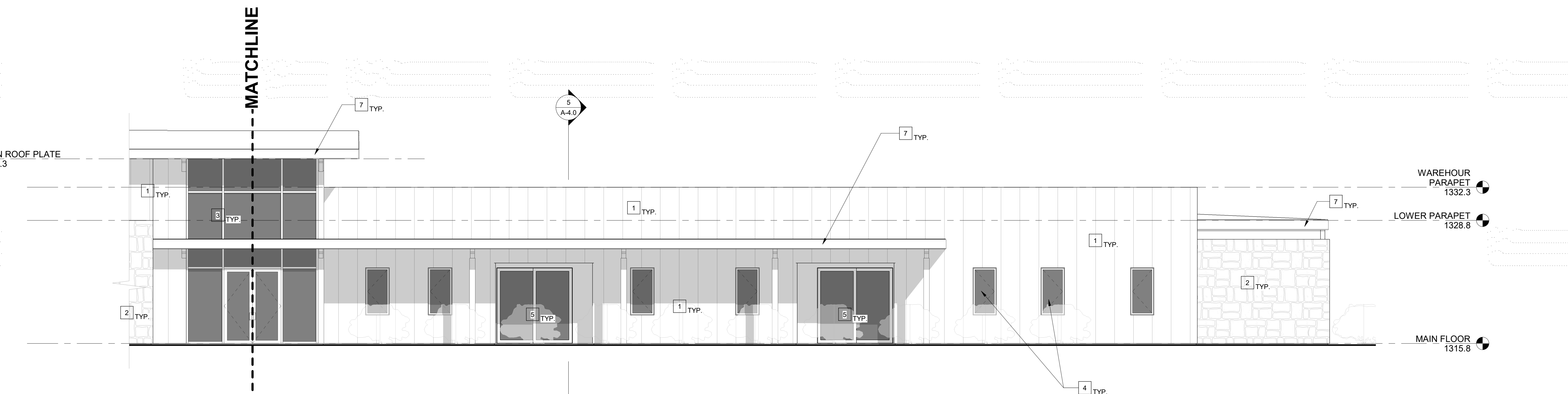
This document is the property of John S. Beery Architects, A.I.A. Any reproduction, use or reproduction of this document, in whole or part, is prohibited.



SOUTH ELEVATION - ENLARGED - SECTION 1.1
3/16" = 1'-0"



SOUTH ELEVATION - ENLARGED - SECTION 1.2
3/16" = 1'-0"



SOUTH ELEVATION - ENLARGED - SECTION 1.3
3/16" = 1'-0"

GENERAL NOTES

ARCHITECTURAL LEGEND

- ① Doors
- Ⓐ Windows
- 1 Keynote
- Ⓐ Wall Type
- 1 Interior Elevation
- 1 A-1 Storefront Elevation
- ▲ A-1 Building Elevation
- ▬ New Wall
- ▬ Existing Wall
- ▬ Demolition
- ▬ Insulation
- ▬ Overhead
- ▬ Centerline
- ▬ Property Line
- ① Revision

NOTE: NOT ALL SYMBOLS SHOWN ABOVE ARE USED IN THIS SET OF DRAWINGS.

If you have reviewed these construction documents and have approved their contents as including all of the design aspects I had previously authorized, I understand my project will be constructed as specified by these construction documents.

PRELIMINARY
NOT FOR CONSTRUCTION

TEME WINERY
41325 CALLE ENCANTADO
TEMECULA, CA 92592

REVISIONS	By

Date: 2021.11.16
Scale: 3/16" = 1'-0"
Drawn By: BPB
Job No.: 2005
Sheet Name: ENLARGED ELEVATIONS - SOUTH
Sheet No.: **A-3.1**

WAREHOUS PARAPET
1332.3

LOWER PARAPET
1328.8

MAIN FLOOR
1315.8

NORTH ELEVATION - ENLARGED - SECTION 1.3
3/16" = 1'-0"

WAREHOUS PARAPET
1332.3

MAIN FLOOR
1315.8

NORTH ELEVATION - ENLARGED - SECTION 1.2
3/16" = 1'-0"

MAIN ROOF PLATE
1335.3

LOWER PARAPET
1328.8

MAIN FLOOR
1315.8

NORTH ELEVATION - ENLARGED - SECTION 1.1
3/16" = 1'-0"

108' WALL LENGTH FOR SIGNAGE AREA CALCULATION
PER COUNTY OF RIVERSIDE 17.252.040 (B)(2)

Temecula Winery

- KEYNOTES**
- CORTEN EXTERIOR FINISH: ASTM A666 STEEL @ 18 GA. MINIMUM THICK STEEL COIL RUN VERTICALLY FULL HEIGHT. TYP.
 - OLD WORLD STONE FINISH: CREATIVE MINES ORCHARD LIMESTONE "WHITE GOLD" COLOR WITH FULL OVERGROUT JOINTS. TYP.
 - STOREFRONT WINDOW GLAZING. TYP.
 - NOT USED
 - STACKING SLIDER GLASS WALL SYSTEM. TYP.
 - FINISH STUCCO: SMOOTH SAND FINISH 3 COAT STUCCO WITH WHITE COLOR COAT. TYP.
 - FASCIA: CLEAR ALUMINUM BREAKMETAL FASCIA. TYP.
 - WINERY BUILDING SIGNAGE PER COUNTY OF RIVERSIDE 17.252.040 (B)(2). SEE BUILDING SIGNAGE CALC'S BELOW. THIS SHEET NORTH FACING SIGNAGE SHALL NOT EXCEED 10% WALL AREA. TYP.
- BUILDING SIGNAGE CALC'S**
- PER COUNTY OF RIVERSIDE 17.252
 - PER COUNTY OF RIVERSIDE 17.252.040 (B)(2) SIGNAGE SHALL BE AFFIXED TO THE WALL OF THE BUILDING AND PLACED BELOW THE TOP OF THE PARAPET. THE BUILDING SIGNAGE MAY BE EITHER ILLUMINATED OR NON-ILLUMINATED PER 17.252.030 (B)(13). SIGNAGE SHALL FOLLOW TEMECULA VALLEY WINE COUNTRY DESIGN GUIDELINES. TYP.
 - SIGNS AFFIXED TO BUILDING - ALL AREAS
 - FRONT WALL OF BUILDING (FACING RANCHO CA ROAD) = 10% OF OVERALL WALL AREA.
 - SEE NORTH ELEVATION AND KEYNOTE #8 ABOVE.
 - OVERALL WALL AREA = 108' X 19.5' = 2,106 S.F.
 - ALLOWED SIGNAGE AREA (FRONT FACING)
2,106 S.F. X 10% = 210.6 S.F. MAXIMUM ALLOWED
- NOTE:** FOR ANY ADDITIONAL SIDE OR REAR FACING BUILDING SIGNAGE: SIDE WALLS OF A BUILDING = THE SURFACE AREA OF THE SIGN SHALL NOT EXCEED TEN (10) PERCENT OF THE SURFACE AREA OF THE SIDE FACE OF THE BUILDING. REAR WALL OF A BUILDING = THE SURFACE AREA OF THE SIGN SHALL NOT EXCEED FIVE PERCENT OF THE SURFACE AREA OF THE REAR FACE OF THE BUILDING.

- GENERAL NOTES**
- ARCHITECTURAL LEGEND**
- Doors
 - Windows
 - Keynote
 - Wall Type
 - Interior Elevation
 - Storefront Elevation
 - Building Elevation
 - New Wall
 - Existing Wall
 - Demolition
 - Insulation
 - Overhead
 - Centerline
 - Property Line
 - Revision
- NOTE:** NOT ALL SYMBOLS SHOWN ABOVE ARE USED IN THIS SET OF DRAWINGS.

PRELIMINARY
NOT FOR CONSTRUCTION

BGI ARCHITECTURE
Beery Group Inc.
2091 Las Palmas Drive, St. D
Carlsbad, CA 92011
(760) 438-2963
bgiaarchitect.com

TEME WINERY
41325 CALLE ENCANTADO
TEMECULA, CA 92592

REVISIONS	By

Date: 2021.11.16
Scale: 3/16" = 1'-0"
Drawn By: BPB
Job No.: 2005
Sheet Name: ENLARGED ELEVATIONS - NORTH
Sheet No.: A-3.2

PERSPECTIVE - NORTHWEST (REAR)
12" = 1'-0"



PERSPECTIVE - MAIN ENTRANCE
12" = 1'-0"



PERSPECTIVE - DINING ROOM
12" = 1'-0"



PERSPECTIVE - WINE TASTING
12" = 1'-0"



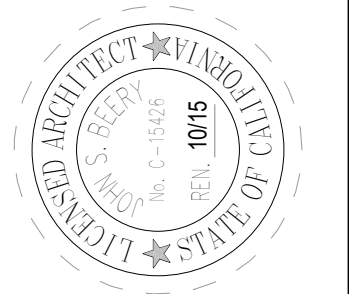
PERSPECTIVE - SOUTH MAIN ENTRANCE (FRONT)
12" = 1'-0"



ARCHITECTURE | DESIGN

BGI ARCHITECTURE

Beery Group Inc.
2091 Las Palmas Drive, St. D
Carlsbad, CA 92011
(760) 438-2963
bgiarchitect.com



This document is the property of John S. Beery Architect, A.I.A. Any unauthorized use or reproduction of this document, in whole or part, is prohibited.

TEME WINERY
41325 CALLE ENCANTADO
TEMECULA, CA 92592

REVISIONS By

REVISIONS	By

Date 2021.11.16

Scale 12" = 1'-0"

Drawn By BPB

Job No. 2005

Sheet Name

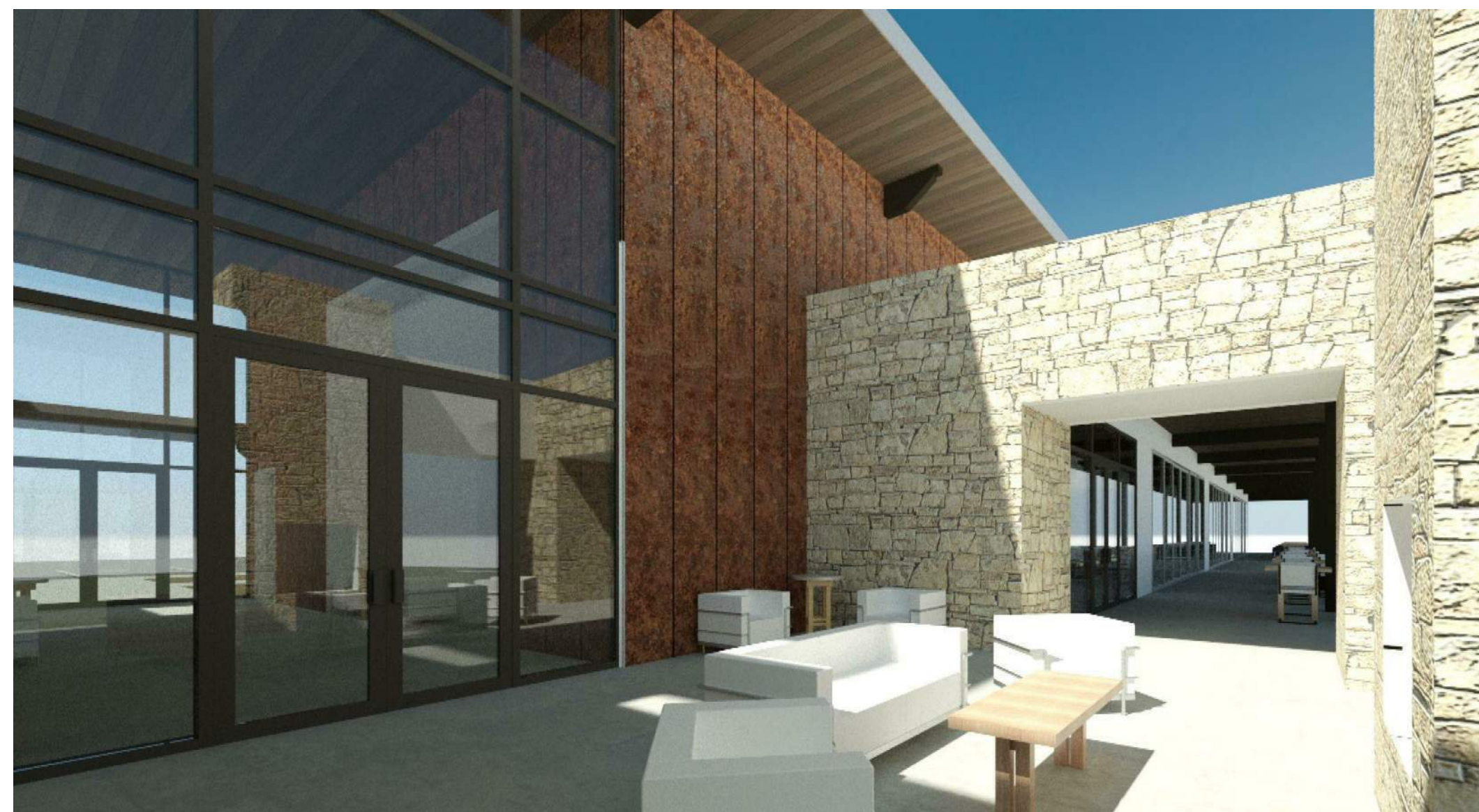
PERSPECTIVES

Sheet No.

AP-1



PERSPECTIVE - NORTHEAST (REAR)
12" = 1'-0"



PERSPECTIVE - INN ENTRANCE HALL & OUTDOOR FIREPLACE
12" = 1'-0"



PERSPECTIVE - INN OUTDOOR FIREPLACE
12" = 1'-0"



PERSPECTIVE - SOUTH INN ENTRANCE
12" = 1'-0"



PERSPECTIVE - NORTHWEST ENTRANCE
12" = 1'-0"



ARCHITECTURE | DESIGN

BGI ARCHITECTURE

Beery Group Inc.
2091 Las Palmas Drive, St. D
Carlsbad, CA 92011
(760) 438-2963
bgiarchitect.com



This document is the property of John S. Beery, Architect, AIA. Any unauthorized use or reproduction of this document, in whole or part, is prohibited.

TEME WINERY
41325 CALLE ENCANTADO
TEMECULA, CA 92592

REVISIONS By

NO.	DESCRIPTION	DATE	BY

Date 2021.11.16

Scale 12" = 1'-0"

Drawn By BPB

Job No. 2005

Sheet Name

PERSPECTIVES

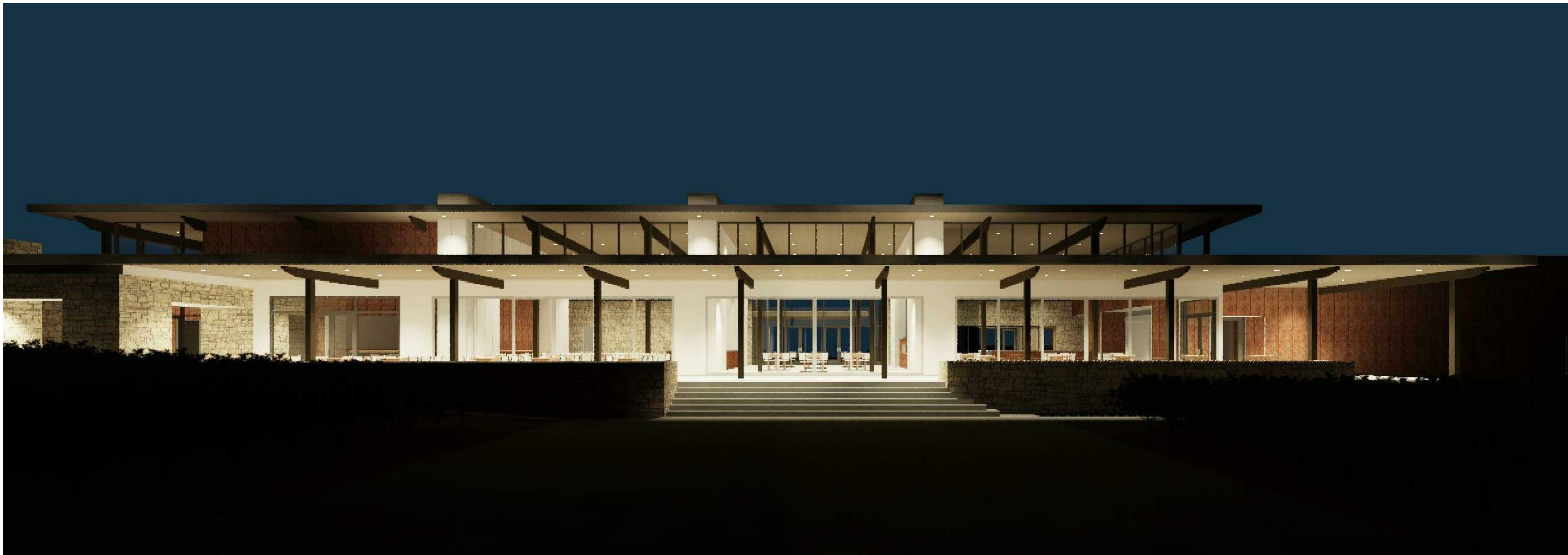
Sheet No.

AP-2



PERSPECTIVE - REAR EVENT GRASS VENUE

12" = 1'-0"



PERSPECTIVE - REAR EVENT GRASS VENUE (NIGHTTIME)

12" = 1'-0"



ARCHITECTURE | DESIGN

BGI ARCHITECTURE

Beery Group Inc.
2091 Las Palmas Drive, St. D
Carlsbad, CA 92011
(760) 438-2963
bgiarchitect.com



This document is the property of John S. Beery, Architect, AIA. Any unauthorized use or reproduction of this document, in whole or part, is prohibited.

TEME WINERY
41325 CALLE ENCANTADO
TEMECULA, CA 92592

REVISIONS	By

Date 2021.11.16
Scale 12" = 1'-0"
Drawn By Author
Job No. 2005
Sheet Name

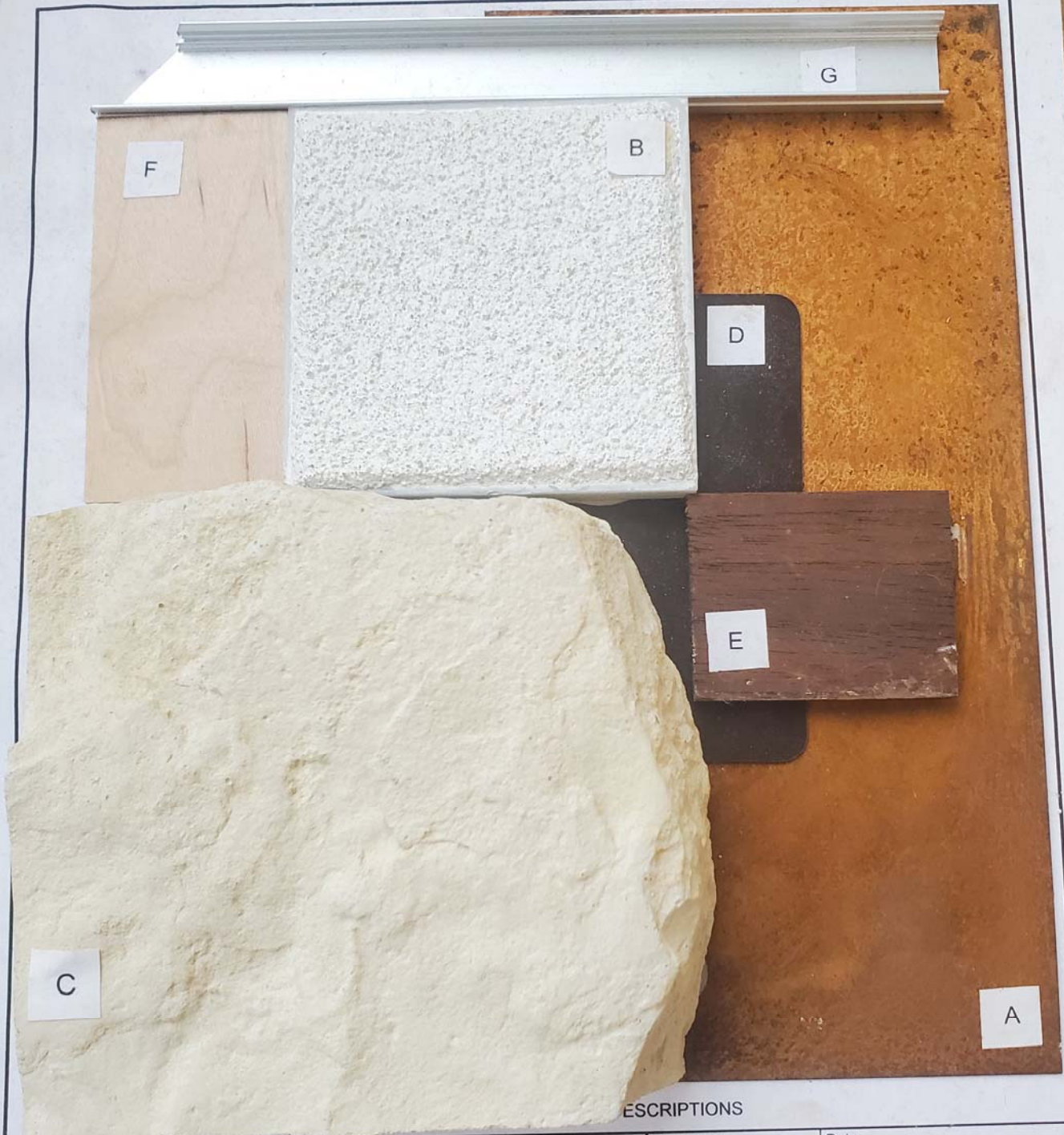
PERSPECTIVES

Sheet No.
AP-3

PRELIMINARY
NOT FOR CONSTRUCTION

I have reviewed these construction documents and have approved their contents as including all of the design aspects I had previously authorized. I understand my project will be constructed as specified by these construction documents.

Signature _____ Date _____



DESCRIPTIONS



BGI ARCHITECTURE
 Beery Group Inc.
 2091 Las Palmas Drive, St. D
 Carlsbad, CA 92011
 (760) 438-2963
 bgiarchitect.com



Drawn By	BPB	Date	2021.08.05
Job No.	-	Scale	N.T.S.
Project Name	TEME WINERY - PPT210017		
Sheet Name	EXTERIOR FINISH MATERIAL BOARD		

MATERIAL BOARD DESCRIPTIONS - TEME WINERY

A) CORTEN EXTERIOR FINISH: ASTM A606 STEEL @ 18 GA. MINIMUM THICK STEEL COIL RUN VERTICALLY FULL HEIGHT, TYP.

B) FINISH STUCCO: SMOOTH SAND FINISH 3 COAT STUCCO WITH BRIGHT WHITE COLOR COAT, TYP.

C) OLD WORLD STONE FINISH: CREATIVE MINES ORCHARD LIMESTONE IN "WHITE GOLD" COLOR WITH FULL OVERGROUT JOINTS, TYP.

D) DOOR & WINDOW FRAMES/TRIM: DARK BRONZE/BROWN ANNODIZED ALUMINUM FINISH

E) EXPOSED WOOD BEAMS & COLUMNS: STAIN DARK BRONZE/BROWN TO MATCH DOOR & WINDOW FRAMES

F) ROOF CEILING UNDERSIDE: CLEAR COAT SEALED CLEAR (NO KNOTS) FIR OR SIMILAR SPECIES.

G) ROOF FASCIA: CLEAR ANNODIZED ALUMINUM FINISH

NOTE: FOR EXTERIOR FINISH LOCATIONS ON PROPOSED BUILDING, SEE BUILDING ELEVATION SHEETS A-3.0, A-3.1 & A-3.2 WITH MATERIAL LOCATIONS KEYNOTED ON EACH ELEVATION.



BGI ARCHITECTURE

Beery Group Inc.
2091 Las Palmas Drive, St. D
Carlsbad, CA 92011

(760) 438-2963

bgiarchitect.com



Drawn By	BPB	Date	2021.08.05
Job No.	-	Scale	N.T.S.
Project Name	TEME WINERY - PPT210017		
Sheet Name	EXTERIOR FINISH MATERIAL BOARD		

PLOT PLAN- 21017

COMPREHENSIVE LANDSCAPE PLAN

GENERAL NOTES

LEGAL DESCRIPTION

1. PARCEL A: (APN 951-020-002) PARCEL 2 OF PARCEL MAP NO. 13867, IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 75 PAGE(S) 3 AND 4 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

PARCEL B: (APN'S: 951-060-001 AND 951-060-002) PARCEL 1 OF PARCEL MAP NO. 5506, IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 16 PAGE(S) 81 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

PARCEL C: (APN: 951-020-001) PARCEL 1 OF PARCEL MAP NO. 13867, IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 75 PAGE(S) 3 AND 4 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

2. **TOTAL ACREAGE:** 21.10 ACRES GROSS ; 18.42 ACRES NET
3. **NUMBER OF PARCELS:** 4
4. **MINIMUM LOT SIZE:** 10 ACRES GROSS
5. **EXISTING ZONING:** C/V
6. **PROPOSED ZONING:** WC-W
7. **EXISTING LAND USE:** AGRICULTURE/WINERY
8. **PROPOSED LAND USE:** AGRICULTURAL/WINERY
9. **EXISTING LAND USE DESIGNATION:** AGRICULTURAL
10. **PROPOSED LAND USE DESIGNATION:** AGRICULTURAL/WINERY
11. **METHOD OF SEWAGE DISPOSAL:** PUBLIC SEWER
12. **UTILITIES:**
WATER - RANCHO CALIFORNIA WATER DISTRICT
SEWER - EASTERN MUNICIPAL WATER DISTRICT
GAS - ONSITE PROPANE
ELECTRIC - SOUTHERN CALIFORNIA EDISON
TELEPHONE - VERIZON CABLE - VERIZON
13. **SCHOOL DISTRICT:** TEMECULA VALLEY UNIFIED SCHOOL DISTRICT
14. **ASSESSORS PARCEL NO.:** 951-020-001, 951-020-002, 951-060-001, 951-060-002
15. **SITE ADDRESS:** 41325 CALLE ENCANTADO, TEMECULA, CA 92592
16. **2010 THOMAS BROS. GUIDE:** 959 F-3, F-4, G-3, G-4
17. **PLOT PLAN PREPARED:** JANUARY 15, 2021
18. **OCCUPANCY:** SEE TABLE
19. **POLICY AREA:** TEMECULA VALLEY WINE COUNTRY POLICY AREA
20. ALL PROPOSED DRAINAGE FACILITIES SHALL BE DESIGNATED TO ACCOMMODATE 100 YEAR STORM FLOWS.
21. THIS PROPERTY IS NOT IN A SPECIFIC PLAN AREA.
22. TOPO SOURCE: AEROTECH MAPPING, INC., FLOWN TOPO 7-15-2020
23. THIS PROPERTY IS SUSCEPTIBLE TO SUBSIDENCE.
24. THIS PROPERTY LIES OUTSIDE OF THE FLOODPLAIN
25. THIS PROPERTY HAS A HIGH PALEONTOLOGY SENSITIVITY (HIGH A)
26. THERE ARE EXISTING STRUCTURES ON THIS PROPERTY TO REMAIN.
27. THE FINAL DESIGN WILL CONSIDER AND COMPLY WITH NPDES SUPPLEMENT "A", THE COUNTY SERVICE AREA (CSA) DESIGNATION OF THIS
28. PROPERTY IS "WINE COUNTRY #149"

LANDSCAPE NOTES:

THE FOLLOWING ITEMS WILL BE INCORPORATED INTO THE FINAL LANDSCAPE CONSTRUCTION PLANS AND SPECIFICATIONS.

1. A SMART CONTROLLER W/ AN ET GAGE WITH ACCESS TO REAL-TIME ET (CONTROLLER SHALL BE LIGHT COMMERCIAL RATING MINIMUM)
2. MASTER VALVE AND FLOW SENSOR (EXCEPT FOR PRIVATE RESIDENTIAL SLOTS)
3. RAIN SENSING DEVICE
4. ANTI-DRAIN CHECK VALVES
5. PRESSURE REGULATOR (IF NEEDED)
6. HYDROZONES WILL BE PROPERLY DESIGNATED
7. NO OVERHEAD IRRIGATION WITHIN 24" OF NON-PERMEABLE SURFACES. (NO RESTRICTIONS TO METHOD IF ADJACENT TO PERMEABLE SURFACE W/ NO RUNOFF/OVERSPRAY)
8. SUBSURFACE OR LOW-VOLUME IRRIGATION WILL BE USED FOR IRREGULARLY SHAPED AREAS, OR AREAS LESS THAN 8' IN WIDTH.
9. PROVIDE A 3" LAYER OF MULCH (MIN.) IN SHRUB BED AND UNPLANTED AREAS; 3" LAYER OF MULCH IN GROUNDCOVER AREAS; 3" LAYER OF SHREDDED STABILIZING MULCH FOR SLOPES
10. TREES SHALL BE STAKED W/ 2-3 STAKES AND 6 TIES PER COUNTY STANDARD DETAILS.
11. ROOT BARRIERS SHALL BE INSTALLED FOR TREES WITHIN 6' (MIN.) OF HARDSCAPE PER COUNTY STANDARD DETAILS. ROOT BARRIER SHALL NOT ENIRCLE THE TREE ROOTBALL BUT SHALL BE LOCATED AT THE EDGE OF HARDSCAPE AND EXTEND BEYOND CENTER OF TREE A MINIMUM OF 5' IN EACH DIRECTION.
12. TREES SHALL HAVE BREATHER TUBES PER COUNTY STANDARD DETAILS.
13. PLANTER ISLANDS ADJACENT TO PARKING SPACES SHALL HAVE A 12" WIDE CONCRETE WALKWAY STRIP INSTALLED ADJACENT TO AND INTEGRAL WITH OR DOWELED INTO THE 6" WIDE CURB.

NOTES:

1. ALL PLANTING AND IRRIGATION SHALL CONFORM TO THE COUNTY OF RIVERSIDE STANDARDS, ORDINANCE 859 AND THE GUIDE TO CALIFORNIA FRIENDLY LANDSCAPING.
2. A DRIP IRRIGATION SYSTEM SHALL BE UTILIZED FOR THIS PROJECT PER THE COUNTY OF RIVERSIDE'S WATER CONSERVATION ORDINANCE 859.
3. ALL MATURE PLANTING SHALL NOT INTERFERE WITH UTILITY LINES OR TRAFFIC SITE LINES.
4. ALL UTILITIES SHALL BE SCREENED W/ PLANTING TYP.
5. ALL EXISTING TREES SHALL BE REMOVED FROM THE SITE.
6. ALL SLOPES OVER 3' IN VERTICAL HEIGHT SHALL BE PLANTED AND IRRIGATED PER THE BUILDING AND SAFETY REQUIREMENTS.
7. A 3" LAYER OF WOOD MULCH SHALL BE INSTALLED TO ALL PLANTING AREAS AS REQUIRED.
8. ALL ONSITE LANDSCAPE SHALL BE MAINTAINED BY OWNER IN ONE PHASE.
9. ALL EXISTING OFF-SITE LANDSCAPE SHALL BE MAINTAINED BY CSA.
10. THERE ARE NO FENCES PROPOSED FOR THIS PROJECT

PRIOR TO PROJECT CONSTRUCTION, I AGREE TO SUBMIT A COMPLETE LANDSCAPE CONSTRUCTION DOCUMENT PACKAGE THAT COMPLIES WITH THE REQUIREMENTS OF THE APPLICABLE ORDINANCES, INCLUDING BUT NOT NECESSARILY LIMITED TO NO. 859.2; ORDINANCE 348; ORDINANCE 461; PROJECT CONDITIONS OF APPROVAL AND IN SUBSTANTIAL CONFORMANCE WITH THE APPROVED LANDSCAPE CONCEPT PLAN. SHOULD THE ORDINANCES BE REVISED, THESE PLANS MAY BE SUBJECT TO CHANGE.

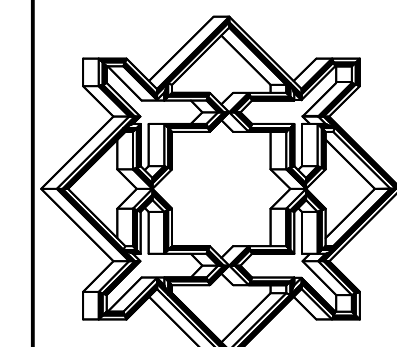
Vincent DiDante
APPLICANT'S SIGNATURE
03/02/2021
DATE

NO.	DATE	REVISION

OWNER/APPLICANT:

Mexim Teme Agriculture
C/O Ting Jun Huang
2666 Huntington Drive
Duarte, CA. 91010

LANDSCAPE ARCHITECT



ALHAMBRA GROUP
LANDSCAPE ARCHITECTURE
California license #2017
RECREATION FACILITIES PLANNING
41635 Enterprise Circle North, Suite C
Temecula, CA 92590 (951) 296-6802

JOB# 20-114

SHEET L-1 OF 2

943-260-057

PARCEL MAP 001
P.M.B. 030-033
943-260-056

PARCEL MAP
5505 P.M.B. 11/23
943-260-057

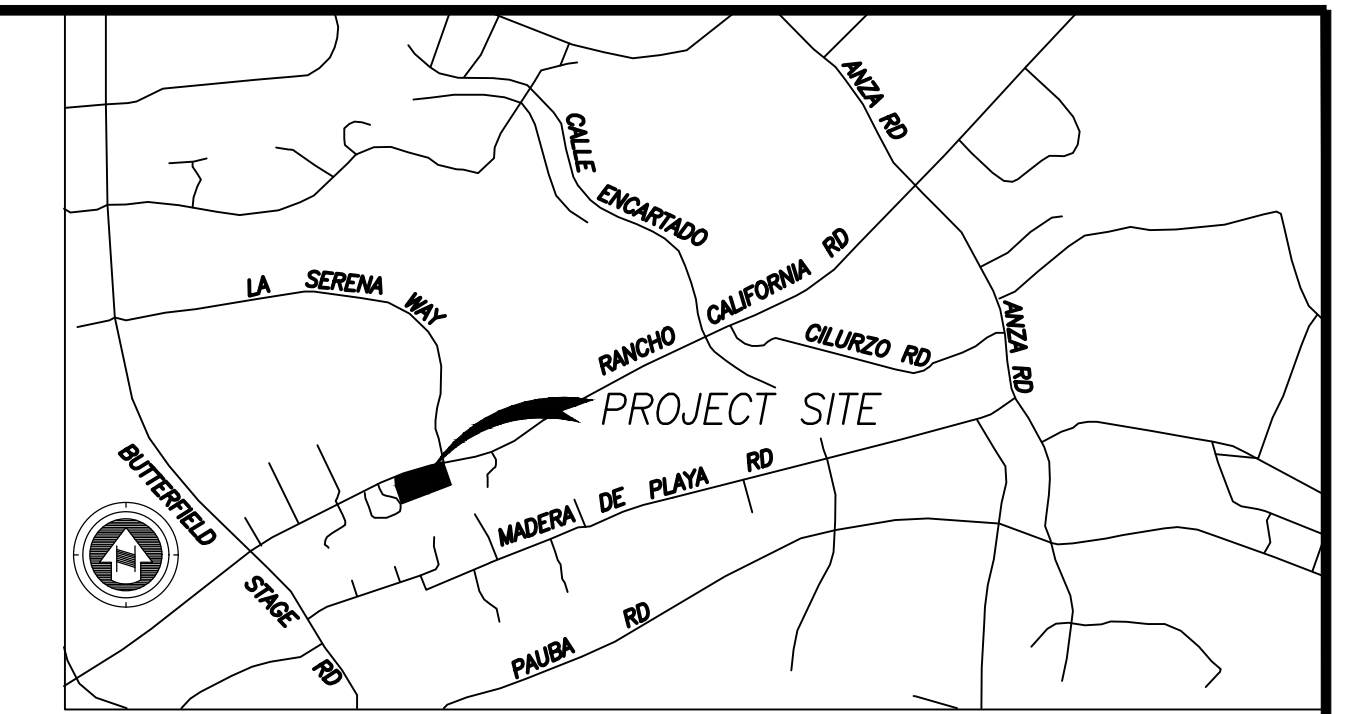
PARCEL MAP 5506
P.M.B. 16/81

PARCEL MAP 13867
P.M.B. 75/4
951-020-001

951-020-004
ZONE R-A-2 1/2
951-020-004

951-020-003
ZONE R-A-2 1/2

951-070-013
ZONE R-A-2 1/2
PARCEL MAP 05162
9 P.M.B. 11/28



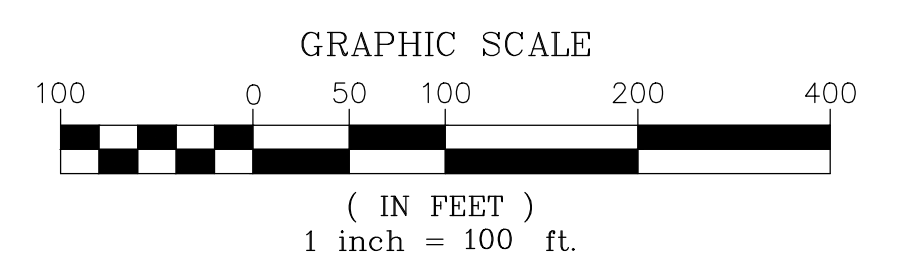
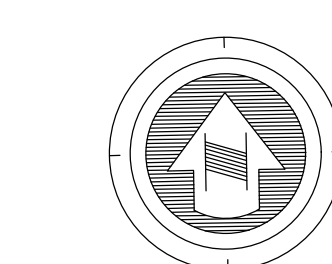
VICINITY MAP
2010 THOMAS GUIDE PG 959, F-3, F-4, G-3, AND G-4
SEC 33, 775, 776, 777
NOT TO SCALE

EASEMENT NOTES

1. AN EASEMENT FOR UTILITIES AND RIGHTS INCIDENTAL THERETO, AS SET FORTH IN A DOCUMENT RECORDED ON OCTOBER 27, 1969, AS INSTRUMENT NO. 109081 OF OFFICIAL RECORDS.
2. AN EASEMENT FOR WATER LINE AND WELL SITE ACCESS PURPOSES AND RIGHTS INCIDENTAL THERETO, AS SET FORTH IN A DOCUMENT RECORDED ON DECEMBER 9, 1965, AS INSTRUMENT NO. 138462, OF OFFICIAL RECORDS.
3. AN EASEMENT FOR ROADWAY, PUBLIC UTILITY AND RIGHTS INCIDENTAL THERETO, AS SET FORTH IN A DOCUMENT RECORDED ON JUNE 1, 1966, AS INSTRUMENT NO. 56979, OF OFFICIAL RECORDS.
4. AN EASEMENT FOR PUBLIC PURPOSES NO INCONSISTENT WITH USE AS A PUBLIC STREET AND RIGHTS INCIDENTAL THERETO, AS SET FORTH IN A DOCUMENT RECORDED ON OCTOBER 24, 1967, AS INSTRUMENT NO. 93692, OF OFFICIAL RECORDS.
5. AN EASEMENT FOR ROADWAY AND UTILITY AND RIGHTS INCIDENTAL THERETO, AS SET FORTH IN A DOCUMENT RECORDED ON JUNE 5, 1968, AS INSTRUMENT NO. 51935, OF OFFICIAL RECORDS.
6. SLOPE EASEMENTS ADJOINING THE EASEMENT LAST ABOVE MENTIONED AT A RATE OF 2:1 AS REQUIRED BY GOVERNMENTAL AGENCIES, AS RESERVED BY RANCHO CALIFORNIA, A PARTNERSHIP, IN DEED RECORDED JUNE 5, 1968, AS INSTRUMENT NO. 51935, OF OFFICIAL RECORDS.
7. AN EASEMENT FOR PUBLIC UTILITIES AND RIGHTS INCIDENTAL THERETO, AS SET FORTH IN A DOCUMENT RECORDED ON JUNE 8, 1970, AS INSTRUMENT NO. 53584, OF OFFICIAL RECORDS.
8. AN EASEMENT FOR ROADWAY AND PUBLIC MAINTENANCE OF WATER PIPELINE AND RELATED APPURTENANCES AND RIGHTS INCIDENTAL THERETO, AS SET FORTH IN A DOCUMENT RECORDED DECEMBER 2, 1970, AS INSTRUMENT NO. 120970, OF OFFICIAL RECORDS.
9. AN EASEMENT FOR ROAD AND WATER COURSE AND RIGHTS INCIDENTAL THERETO, AS SHOWN OR OFFERED FOR DEDICATION, AS PER MAP RECORDED IN BOOK 75 PAGES 3 AND 4 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF RIVERSIDE COUNTY.
10. AN EASEMENT FOR PUBLIC UTILITIES AND RIGHTS INCIDENTAL THERETO, AS SET FORTH IN A PARCEL MAP 13867 AS RECORDED IN BOOK 75 PAGE 3 OF PARCEL MAPS, RECORDS OF RIVERSIDE COUNTY, CALIFORNIA.
11. AN EASEMENT FOR THE HEREAFTER SPECIFIC PURPOSE AND INCIDENTAL PURPOSES, AS SHOWN ON FILE IN BOOK 1 PAGE 30 TO 33 OF PARCEL MAPS, RECORDS OF RIVERSIDE COUNTY, CALIFORNIA, SAID EASEMENT IS FOR UTILITIES, AND IS LOCATED WITHIN THE SIX FEET ADJOINING THE PERIMETER OF SAID LOT, EXCEPT ALONG RANCHO CALIFORNIA ROAD.

PROJECT DESCRIPTION

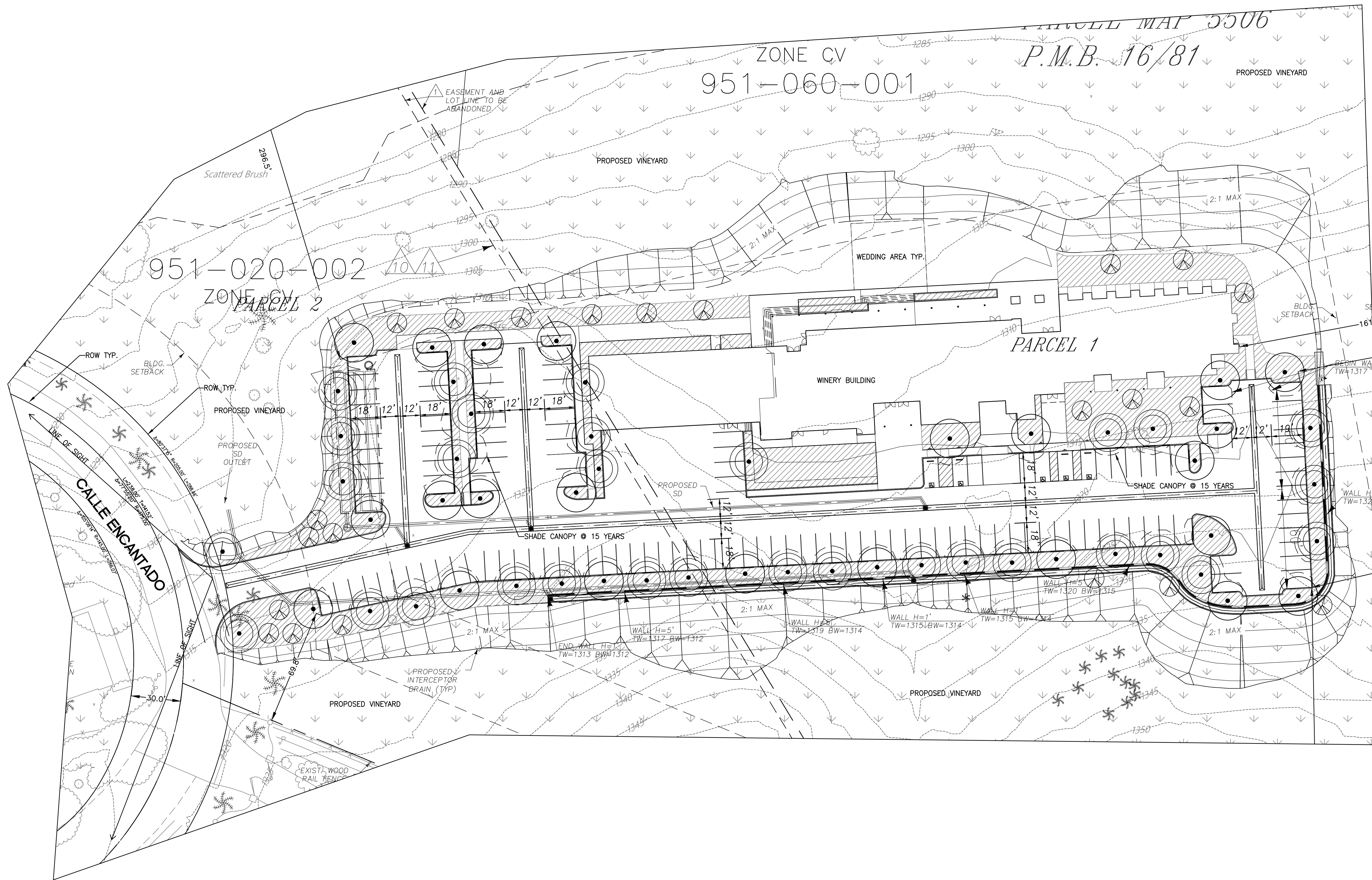
THE PROJECT IS A PROPOSED WINERY AND VINEYARD. WE ARE PROPOSING VEHICULAR ACCESS FROM CALLE ENCANTADO ROAD, A WINERY BUILDING, PARKING AND A VINEYARD. ALL PROPOSED PLANTING WILL COMPLY WITH THE RIVERSIDE COUNTY CALIFORNIA FRIENDLY PLANT LIST. THE PROJECT HAS A SENSITIVE DRAINAGE AREA THAT WILL REMAIN AND PROTECT IN PLACE AND NO PLANTING WILL BE ADDED TO THE AREAS 50' FEET FROM THE DESIGNATED EDGES SHOWN. THE SLOPES WILL BE PLANTED PER BUILDING AND SAFETY EROSION CONTROL STANDARDS WITH THE REQUIRED PLANT MATERIAL OR GRAPE VINES. THE PROJECT IS SURROUNDED BY WINERIES, VINEYARDS AND RESIDENTIAL PROPERTY TO THE NORTH, WEST AND SOUTH AND NO FUEL MODIFICATION WILL BE REQUIRED FOR THOSE AREAS. THE PROPERTY TO THE EAST IS VACANT AND THE VINEYARD PLANTING ON OUR PROPERTY WILL BE ADEQUATE FUEL MODIFICATION UNTIL THE PROPERTY IS DEVELOPED.



TITLE SHEET

PLOT PLAN- 21017

COMPREHENSIVE LANDSCAPE PLAN



Riverside County Ordinance 859 Landscape Water Use Calculations			
Project Type Commercial			
Project Name TEME WINERY			
ETo allowance 0.45			
Applicant to use drop down menus in cells that indicate a selection to describe each hydrozone. Where "INPUT" is shown, applicant to enter project specific information. Please note that embedded formulas will reflect as 'false' or as an error until selections are completed.			
1 Maximum Annual Water Allowance (MAWA)			
INPUT the total square footage of landscape =	43,203	S.F.	
INPUT the Hist. ETo for the area =	57.33		REGENALL
MAWA =	92,384	cu ft / yr	
2 Estimated Annual Water Use (EAWU)			
Hydrozone # 1	Plant Factor = 0.2	Plant Type	Water Use
INPUT square footage of hydrozone =	37,078	Shrubs / Groundcover	Low
Hydrozone Irrigation Efficiency =	0.85		
EAWU =	39,154	Point Source Drip	
Hydrozone # 2	Plant Factor = 0.8	Plant Type	Water Use
INPUT square footage of hydrozone =	6,125	Turf - Recreational	High
Hydrozone Irrigation Efficiency =	0.85	SS	
EAWU =	27,394	In-line Drip-Densely Planted	
Hydrozone # 3	Plant Factor = 0	Plant Type	Water Use
INPUT square footage of hydrozone =	0	n/a	n/a
Hydrozone Irrigation Efficiency =	1		
EAWU =	0		
Hydrozone # 4	Plant Factor = 0	Plant Type	Water Use
INPUT square footage of hydrozone =	0	n/a	n/a
Hydrozone Irrigation Efficiency =	1		
EAWU =	0		
Hydrozone # 5	Plant Factor = 0	Plant Type	Water Use
INPUT square footage of hydrozone =	0	n/a	n/a
Hydrozone Irrigation Efficiency =	1		
EAWU =	0		
Hydrozone # 6	Plant Factor = 0	Plant Type	Water Use
INPUT square footage of hydrozone =	0	n/a	n/a
Hydrozone Irrigation Efficiency =	1		
EAWU =	0		
SubTotal EAWU =	66,548	cu ft / yr	
Input Irrigation System Operation Factor =	0.85		
Total EAWU =	78,292		
MAWA - EAWU =	14,092	cu ft / yr	
(this number must be positive)			
PERCENTAGE OF WATER SAVED RELATIVE TO MAX. ALLOWED = 15%			
* Trees are not required to be listed as a separate hydrozone if understory is planted with plants of an equal or higher plant factor, and foot area is already included in calculations.			

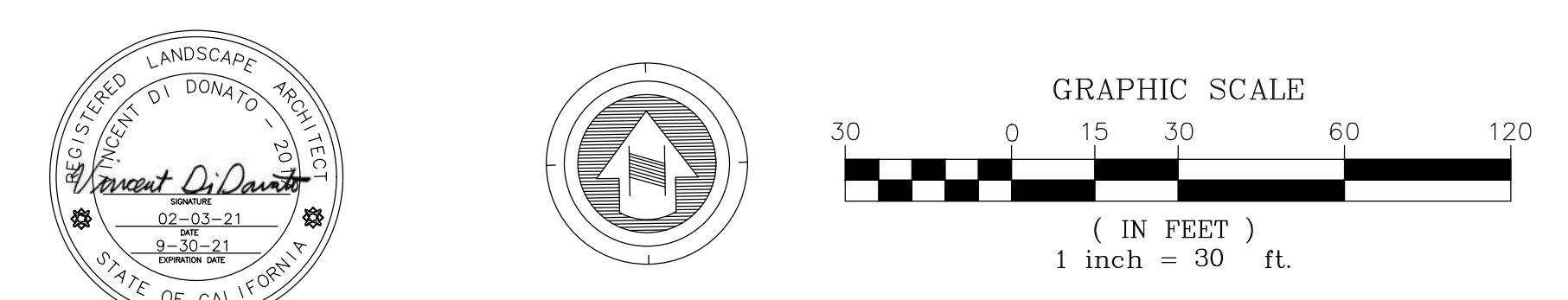
PLANTING LEGEND						
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	NUMBER	REMARKS	WUCOLS IV
TREES:						
○	CERCIS OCCIDENTALIS	WESTERN REDBUD	15 GAL.	23	DOUBLE STAKE / HEIGHT 7-8', SPREAD 2'-3' MIN.	L
○	CHITALPA TASHKENTENSIS	PINK CHITALPA	24" BOX	27	DOUBLE STAKE / HEIGHT 8-10', SPREAD 3'-4' MIN.	L
○	OLEA EUROPEA 'WILSONI'	FRUITLESS OLIVE TREE	24" BOX	22	DOUBLE STAKE / HEIGHT 8-10', SPREAD 2'-3' MIN.	L
SHRUBS:						
○	BACCHARIS PILLULARIS 'PIGEON POINT'	PROSTRATE COYOTE BUSH	1 GAL.	-	TRIANGULAR SPACING @ 5' O.C. GROUNDCOVER TYP.	L
○	HESPERALOE PARVIFLORA	RED YUCCA	5 GAL.	-	FULL & BUSHY @ 4' O.C. MEDIUM ACCENT SHRUB	L
○	CALLISTEMON VIMINALIS 'LITTLE JOHN'	DWARF BOTTLE BRUSH	5 GAL.	-	FULL & BUSHY @ 3' O.C. SMALL HEDGE SHRUB	L
○	LEUCOPHYLLUM FRUIT. 'GREEN CLOUD'	GREEN TEXAS RANGER	5 GAL.	-	FULL & BUSHY @ 5' O.C. LARGE SCREEN SHRUB	L
○	NASSELLA TENUISSIMA	MEXICAN FEATHER GRASS	1 GAL.	-	FULL & BUSHY @ 3' O.C. SMALL ORNAMENTAL GRASS	L
○	DIANELLA REVOLUTA 'LITTLE REV'	LITTLE REV FLAX LILY	1 GAL.	-	FULL & BUSHY @ 3' O.C. SMALL PARKING SHRUB	L
○	LANTANA MONTEVIDENSIS	PURPLE LANTANA	1 GAL.	-	FULL & SPREADING @ 5' O.C. COLOR GROUNDCOVER	L
VINES:						
○	MACFADYENA UNGUIS CATI	CAT'S CLAW	5 GAL.	-	ATTACH TO TRASH ENCLOSURE WALLS	L
MULCH & LAWN:						
■	FOREST BLEND WOOD MULCH	MEDIUM GRIND WOOD MULCH	3" MAX.	AS REQ'D.	3" DEEP - INSTALL TO ALL PLANTING AREAS	
■	MARATHON TURF TYPE TALL FESCUE	TALL FESCUE SOD	SOD	AS REQ'D.	PLANT PER SPECIFICATIONS	H

SHADE REQUIREMENT

PROVIDED 129 SPACES @ 162 S.F. EA. = 20,898 S.F.
 20,898 S.F. @ 50% COVERAGE REQUIRED= 10,449 S.F.
 ACTUAL AREA SHADED= 10,600 S.F.

INTERIOR LANDSCAPE REQUIREMENT

PROVIDED 129 SPACES @ 162 S.F. EA. = 20,898 S.F.
 20,898 S.F. @ 10% COVERAGE REQUIRED= 2,090 S.F.
 ACTUAL AREA = 2,100 S.F.



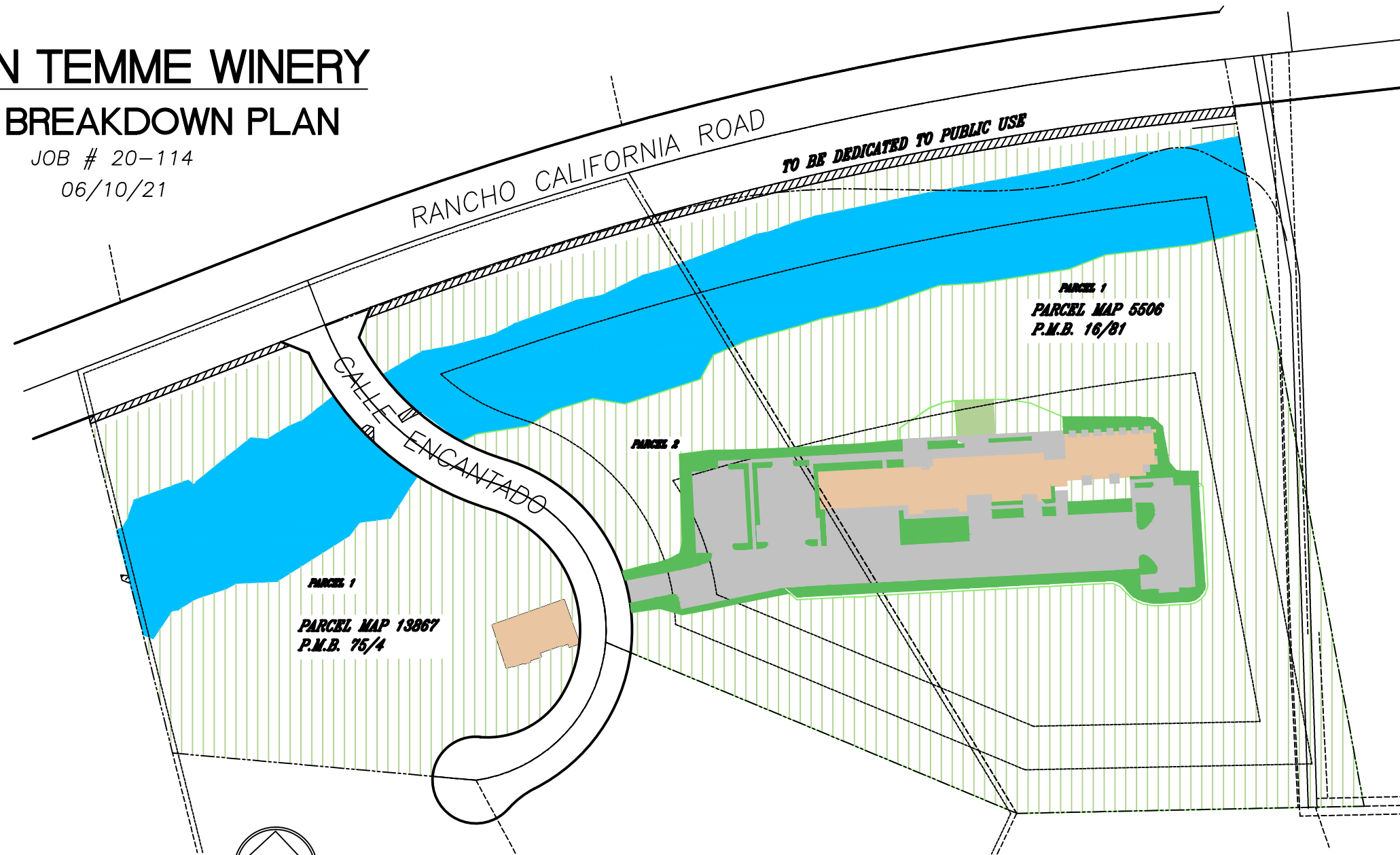
<p>OWNER/APPLICANT:</p> <p>Mexim Teme Agriculture C/O Ting Jun Huang 2666 Huntington Drive Duarte, CA. 91010</p>	<p>LANDSCAPE ARCHITECT</p> <p>ALHAMBRA GROUP LANDSCAPE ARCHITECTURE California license #2017 RECREATION FACILITIES PLANNING 41635 Enterprise Circle North, Suite C Temecula, CA 92590 (951) 296-6802</p>
--	---

MEXIN TEMME WINERY

SITE BREAKDOWN PLAN

JOB # 20-114

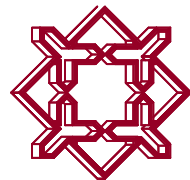
06/10/21



GRAPHIC SCALE



1 INCH = 150 FT.



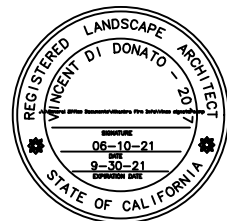
ALHAMBRA GROUP

LANDSCAPE ARCHITECTURE

California license #2017

RECREATION FACILITIES PLANNING

41635 Enterprise Circle North, Suite C
Temecula, CA 92590 (951) 296-6802 FAX 296-6803



PERCENTAGE BREAKDOWN

SYMBOL	ITEM	SQUARE FEET	ACREAGE	PERCENTAGE
	SITE GROSS	919,116 S.F.	21.10 ACS.	
	SITE NET	802,307 S.F.	18.42 ACS.	
	WATERCOURSE	159,542 S.F.	3.66 ACS.	.3%
	SITE USEABLE AREA	642,765 S.F.	14.76 ACS.	100%
	BUILDINGS	24,924 S.F.	.57 ACS.	3.9%
	PAVERS, DRIVEWAYS & WALKS	60,725 S.F.	1.39 ACS.	9.7%
	LAWN	1,806 S.F.	0.04 ACS.	0.9%
	PLANTING	37,078 S.F.	0.85 ACS.	5.8%
	VINEYARDS	518,232 S.F.	11.89 ACS.	80.1%

PLOT PLAN-210017 CONCEPTUAL GRADING PLAN

GENERAL NOTES

LEGAL DESCRIPTION

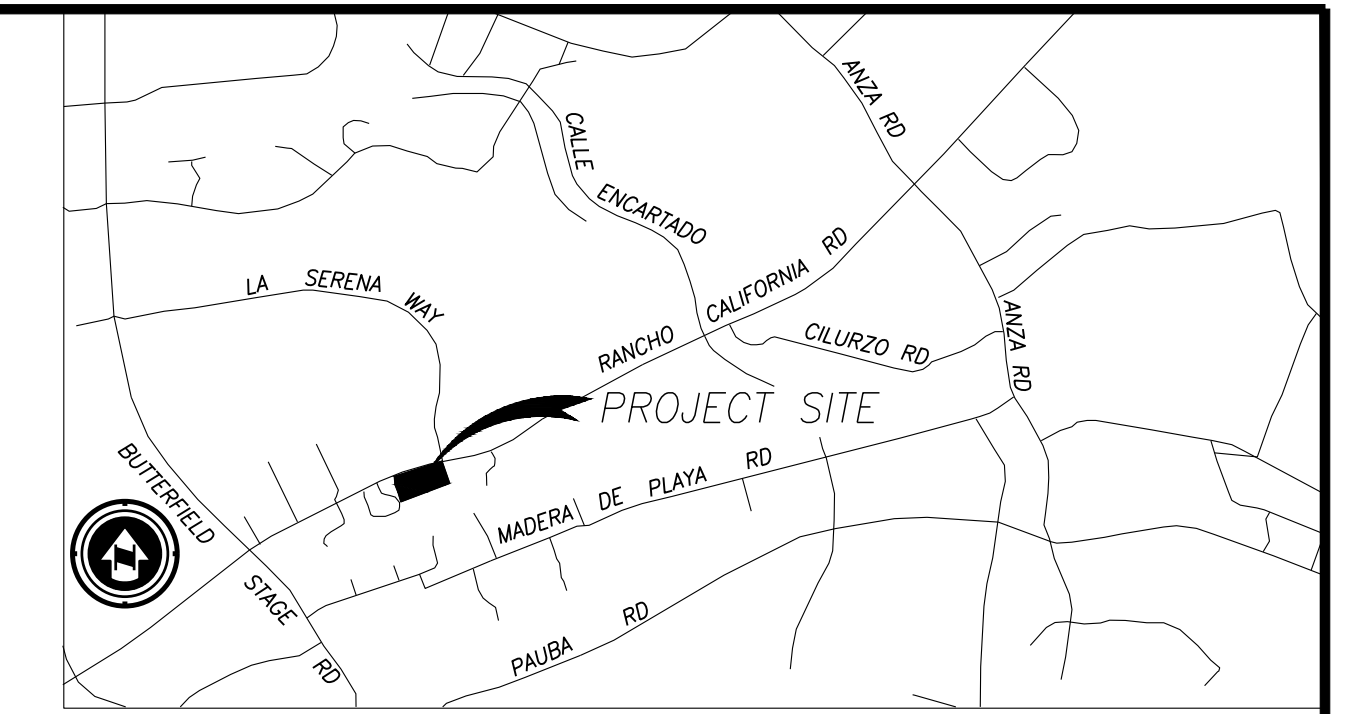
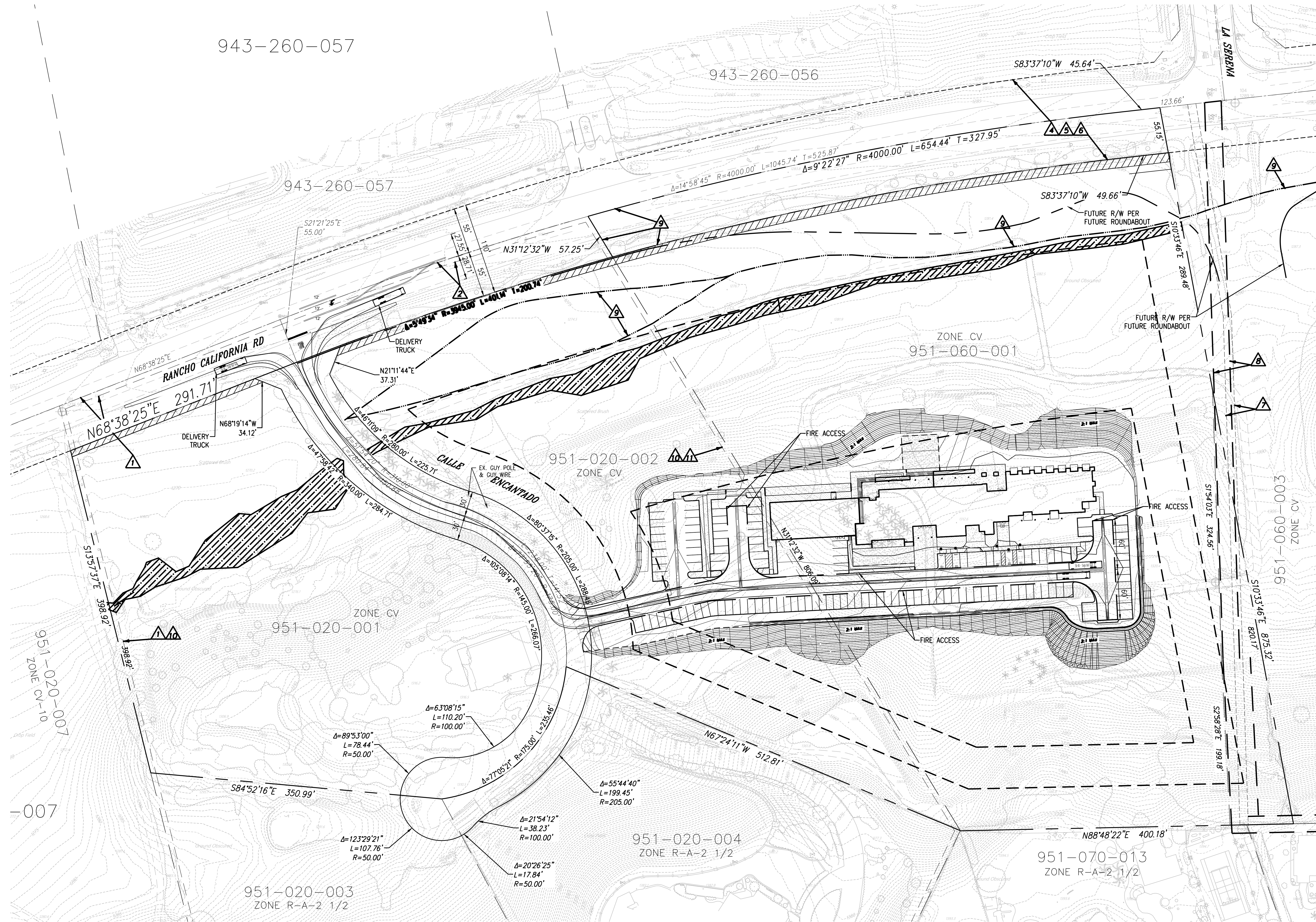
1. **PARCEL A:** (APN 951-020-002) PARCEL 2 OF PARCEL MAP NO. 13867, IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 75 PAGE(S) 3 AND 4 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

PARCEL B: (APN'S: 951-060-001 AND 951-060-002) PARCEL 1 OF PARCEL MAP NO. 5506, IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 16 PAGE(S) 81 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

PARCEL C: (APN: 951-020-001) PARCEL 1 OF PARCEL MAP NO. 13867, IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 75 PAGE(S) 3 AND 4 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

2. **TOTAL ACREAGE:**
21.10 ACRES GROSS ; 18.42 ACRES NET
3. **NUMBER OF PARCELS:** 4
4. **MINIMUM LOT SIZE:** 10 ACRES GROSS
5. **EXISTING ZONING:** C/V
6. **PROPOSED ZONING:** WC-W
7. **EXISTING LAND USE:** AGRICULTURE/WINERY
8. **PROPOSED LAND USE:** AGRICULTURAL/WINERY
9. **EXISTING LAND USE DESIGNATION:** AGRICULTURAL
10. **PROPOSED LAND USE DESIGNATION:** AGRICULTURAL/WINERY
11. **METHOD OF SEWAGE DISPOSAL:** PUBLIC SEWER
12. **UTILITIES:**
WATER - RANCHO CALIFORNIA WATER DISTRICT
SEWER - EASTERN MUNICIPAL WATER DISTRICT
GAS - ONSITE PROPANE
ELECTRIC - SOUTHERN CALIFORNIA EDISON
TELEPHONE - VERIZON CABLE - VERIZON
13. **SCHOOL DISTRICT:** TEMECULA VALLEY UNIFIED SCHOOL DISTRICT
14. **ASSESSORS PARCEL NO.:** 951-020-001, 951-020-002, 951-060-001, 951-060-002
15. **SITE ADDRESS:** 41325 CALLE ENCANTADO, TEMECULA, CA 92592
16. **2010 THOMAS BROS. GUIDE:** 959 F-3, F-4, G-3, G-4
17. **PLOT PLAN PREPARED:** JANUARY 15, 2021
18. **OCCUPANCY:** SEE TABLE
19. **POLICY AREA:** TEMECULA VALLEY WINE COUNTRY POLICY AREA
20. ALL PROPOSED DRAINAGE FACILITIES SHALL BE DESIGNATED TO ACCOMMODATE 100 YEAR STORM FLOWS.
21. THIS PROPERTY IS NOT IN A SPECIFIC PLAN AREA.
22. TOPO SOURCE: AEROTECH MAPPING, INC., FLOWN TOPO 7-15-2020
23. THIS PROPERTY IS SUSCEPTIBLE TO SUBSIDENCE.
24. THIS PROPERTY LIES OUTSIDE OF THE FLOODPLAIN
25. THIS PROPERTY HAS A HIGH PALEONTOLOGY SENSITIVITY (HIGH A)
26. THERE ARE EXISTING STRUCTURES ON THIS PROPERTY TO REMAIN.
27. THE FINAL DESIGN WILL CONSIDER AND COMPLY WITH NPDES SUPPLEMENT "A", THE COUNTY SERVICE AREA (CSA) DESIGNATION OF THIS
28. PROPERTY IS "WINE COUNTRY #149"

943-260-057



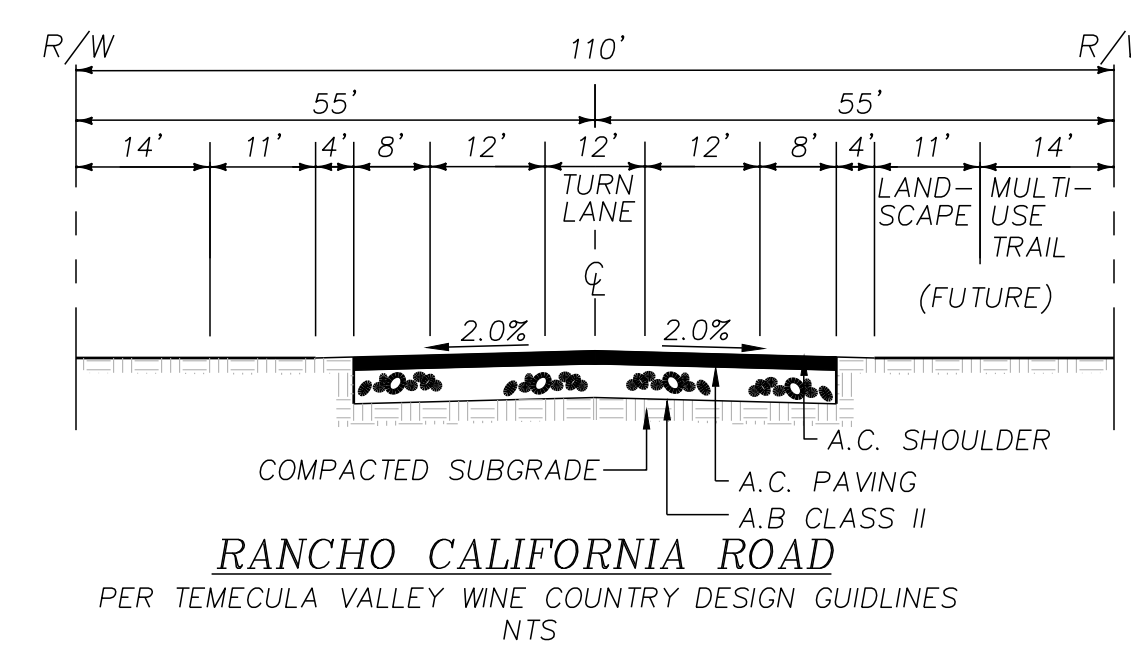
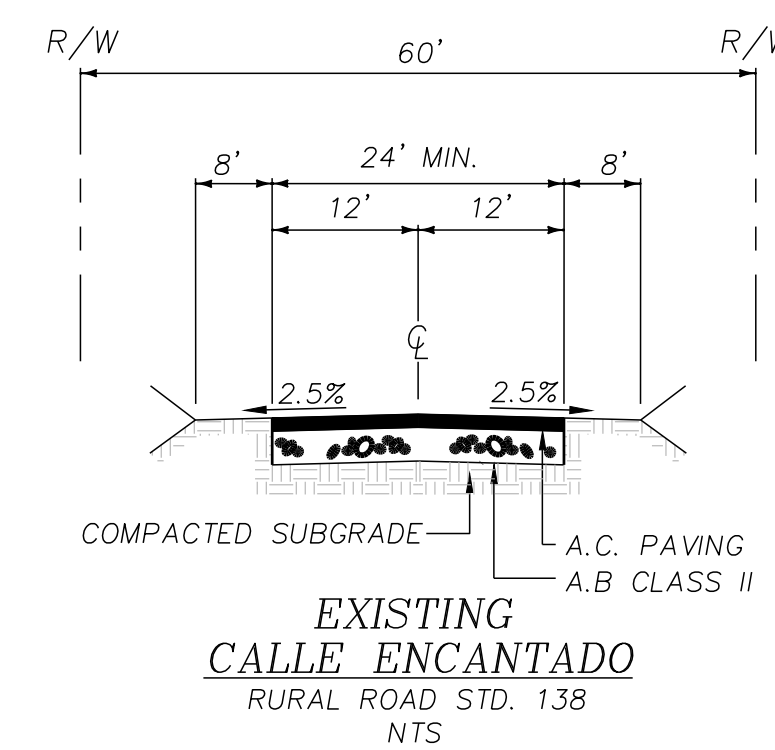
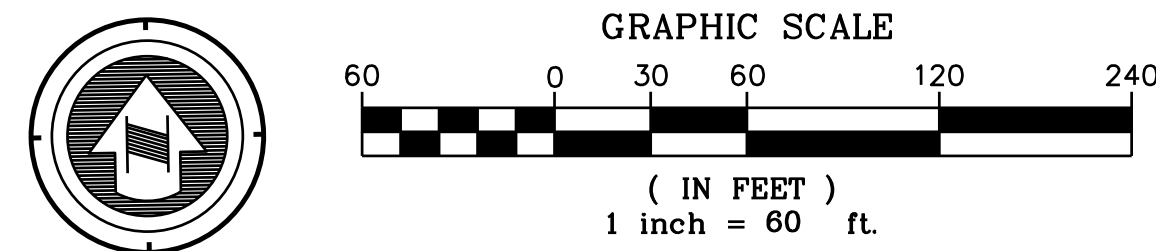
VICINITY MAP
2010 THOMAS GUIDE PG 959, F-3, F-4, G-3, AND G-4
SEC 33, T2S, R2W
NOT TO SCALE

EASEMENT NOTES

- ⚠ AN EASEMENT FOR UTILITIES AND RIGHTS INCIDENTAL THERETO, AS SET FORTH IN A DOCUMENT RECORDED ON OCTOBER 27, 1969, AS INSTRUMENT NO. 109081 OF OFFICIAL RECORDS.
- ⚠ AN EASEMENT FOR WATER LINE AND WELL SITE ACCESS PURPOSES AND RIGHTS INCIDENTAL THERETO, AS SET FORTH IN A DOCUMENT RECORDED ON DECEMBER 9, 1965, AS INSTRUMENT NO. 138462, OF OFFICIAL RECORDS.
- ⚠ AN EASEMENT FOR ROADWAY, PUBLIC UTILITY AND RIGHTS INCIDENTAL THERETO, AS SET FORTH IN A DOCUMENT RECORDED ON JUNE 1, 1966, AS INSTRUMENT NO. 56979, OF OFFICIAL RECORDS.
- ⚠ AN EASEMENT FOR PUBLIC PURPOSES NO INCONSISTENT WITH USE AS A PUBLIC STREET AND RIGHTS INCIDENTAL THERETO, AS SET FORTH IN A DOCUMENT RECORDED ON OCTOBER 24, 1967, AS INSTRUMENT NO. 93692, OF OFFICIAL RECORDS.
- ⚠ AN EASEMENT FOR ROADWAY AND UTILITY AND RIGHTS INCIDENTAL THERETO, AS SET FORTH IN A DOCUMENT RECORDED ON JUNE 5, 1968, AS INSTRUMENT NO. 51935, OF OFFICIAL RECORDS.
- ⚠ SLOPE EASEMENTS ADJOINING THE EASEMENT LAST ABOVE MENTIONED AT A RATE OF 2:1 AS REQUIRED BY GOVERNMENTAL AGENCIES, AS RESERVED BY RANCHO CALIFORNIA, A PARTNERSHIP, IN DEED RECORDED JUNE 5, 1968, AS INSTRUMENT NO. 51935, OF OFFICIAL RECORDS.
- ⚠ AN EASEMENT FOR PUBLIC UTILITIES AND RIGHTS INCIDENTAL THERETO, AS SET FORTH IN A DOCUMENT RECORDED ON JUNE 8, 1970, AS INSTRUMENT NO. 53584, OF OFFICIAL RECORDS.
- ⚠ AN EASEMENT FOR ROADWAY AND PUBLIC MAINTENANCE OF WATER PIPELINE AND RELATED APPURTENANCES AND RIGHTS INCIDENTAL THERETO, AS SET FORTH IN A DOCUMENT RECORDED DECEMBER 2, 1970, AS INSTRUMENT NO. 120970, OF OFFICIAL RECORDS.
- ⚠ AN EASEMENT FOR ROAD AND WATER COURSE AND RIGHTS INCIDENTAL THERETO, AS SHOWN OR OFFERED FOR DEDICATION, AS PER MAP RECORDED IN BOOK 75 PAGE(S) 3 AND 4 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF RIVERSIDE COUNTY.
- ⚠ AN EASEMENT FOR PUBLIC UTILITIES AND RIGHTS INCIDENTAL THERETO, AS SET FORTH IN A PARCEL MAP 13867 AS RECORDED IN BOOK 75 PAGE 3 OF PARCEL MAPS, RECORDS OF RIVERSIDE COUNTY, CALIFORNIA.
- ⚠ AN EASEMENT FOR THE HEREAFTER SPECIFIC PURPOSE AND INCIDENTAL PURPOSES, AS SHOWN ON FILE IN BOOK 1 PAGE 30 TO 33 OF PARCEL MAPS, RECORDS OF RIVERSIDE COUNTY, CALIFORNIA. SAID EASEMENT IS FOR UTILITIES, AND IS LOCATED WITHIN THE SIX FEET ADJOINING THE PERIMETER OF SAID LOT, EXCEPT ALONG RANCHO CALIFORNIA ROAD.

LEGEND

- JDL LIMITS
- PROP PAVEMENT
- EX MINOR CONTOURS
- EX MAJOR CONTOURS
- WATER COURSE



NO.	DATE	REVISION

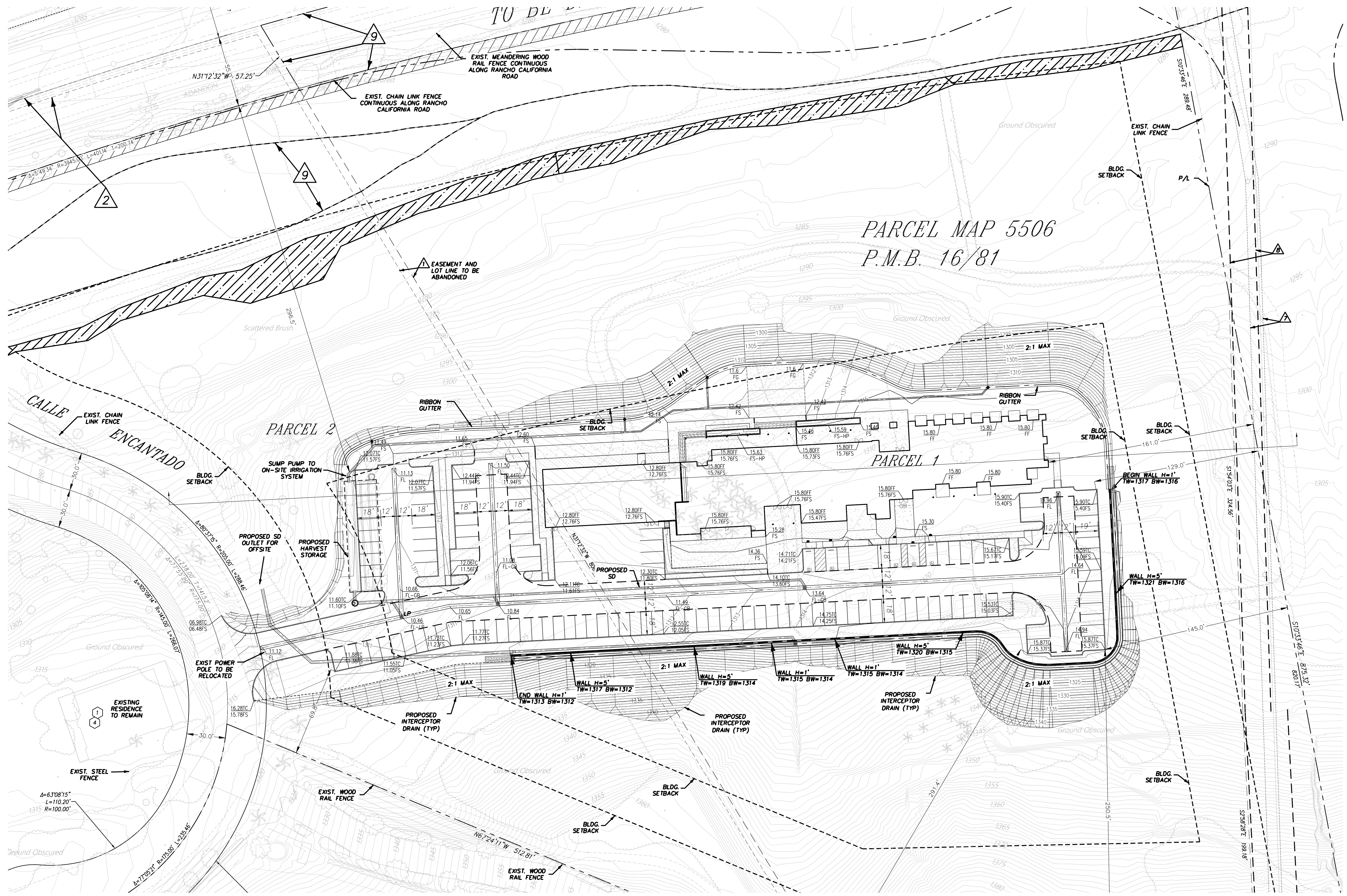
OWNER/APPLICANT:
Mexim Teme Agriculture
C/O Ting Jun Huang
2666 Huntington Drive
Duarte, CA. 91010

ENGINEER:

4M ENGINEERING AND DEVELOPMENT, INC.
41635 Enterprise Circle N. - Suite B
Temecula, California 92590
TEL: (951) 296-3466
KIRK R. MEDROS R.C.E. 06558

PLOT PLAN-210017

CONCEPTUAL GRADING PLAN



PARCEL MAP 5506
P.M.B. 16/81

LEGEND	
	JDL LIMITS
	RESTRICTED RIGHT OF ACCESS
	PROP. A.C. PAVEMENT
	EXISTING CONCRETE PAVING
	EXISTING A.C. PAVEMENT
	PROPOSED CONCRETE PAVING
	EXISTING BUILDING TO REMAIN
	LIMITS PER JURISDICTIONAL DELINEATION
	EX. MINOR CONTOURS
	EX. MAJOR CONTOURS
	WATER COURSE
	PROPERTY LINE
	FIRE DEPT. TURNAROUND
	UNDERGROUND STORM DRAIN
	ENERGY DISSIPATOR RIP RAP
	PROPOSED STORM DRAIN

ALL SLOPES ARE 2:1 UNLESS OTHERWISE NOTED ON PLANS

- PERMIT NOTES:**
- 1 ON0006105 - SEPTIC PERMIT - 11/22/2016
 - 2 BDE170129 - DEMO UTILITIES TO MH - FINAL
 - 3 BMR980276 - ADD PERMANENT FOUNDATION - FINAL TO EXISTING MOBILE HOME
 - 4 PDB05969 - PAR05969 FOR GPA01077 - EIR00524 TEMECULA VALLEY WINERY COMMUNITY PLAN

NO.	DATE	REVISION

OWNER/APPLICANT:
 Mexim Teme Agriculture
 C/O Ting Jun Huang
 2666 Huntington Drive
 Duarte, CA. 91010

ENGINEER:

4M ENGINEERING AND DEVELOPMENT, INC.
 41635 Enterprise Circle N. - Suite B
 Temecula, California 92590
 TEL: (951) 296-3466
 KIRK R. MEDEROS R.C.E. 06558

